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All compliant submissions may be accessed as follows:

- **“Initial Submissions”**: Compliant submissions received no later than by end of day Monday of the week prior to the meeting, which are not integrated by reference or exhibit in the Staff Report, will be appended at the end of the Staff Report. The Staff Report is linked to the case number on the specific meeting agenda.
- **“Secondary Submissions”**: Submissions received after the Initial Submission deadline up to 48-hours prior to the Commission meeting are contained in this file and bookmarked by the case number.
- **“Day of Hearing Submissions”**: Submissions after the Secondary Submission deadline up to and including the day of the Commission meeting will be uploaded to this file within two business days after the Commission meeting.

Material which does not comply with the submission rules is not distributed to the Commission.

### ENABLE BOOKMARS ONLINE:

\*\*If you are using Explorer, you need will need to enable the Acrobat  toolbar to see the bookmarks on the left side of the screen.

If you are using Chrome, the bookmarks are on the upper right-side of the screen. If you do not want to use the bookmarks, simply scroll through the file.

If you have any questions, please contact the Commission Office at (213) 978-1300.

# **SECONDARY SUBMISSIONS**



## Department of City Planning

City Hall, 200 N. Spring Street, Room 525, Los Angeles, CA 90012

June 30, 2025

TO: North Valley Area Planning Commission

FROM: Renata Ooms, City Planner

### **ADDITIONAL INFORMATION TO THE STAFF RECOMMENDATION REPORT FOR CASE NO. APCNV-2022-8497-VZC; 20012 WEST CHASE STREET**

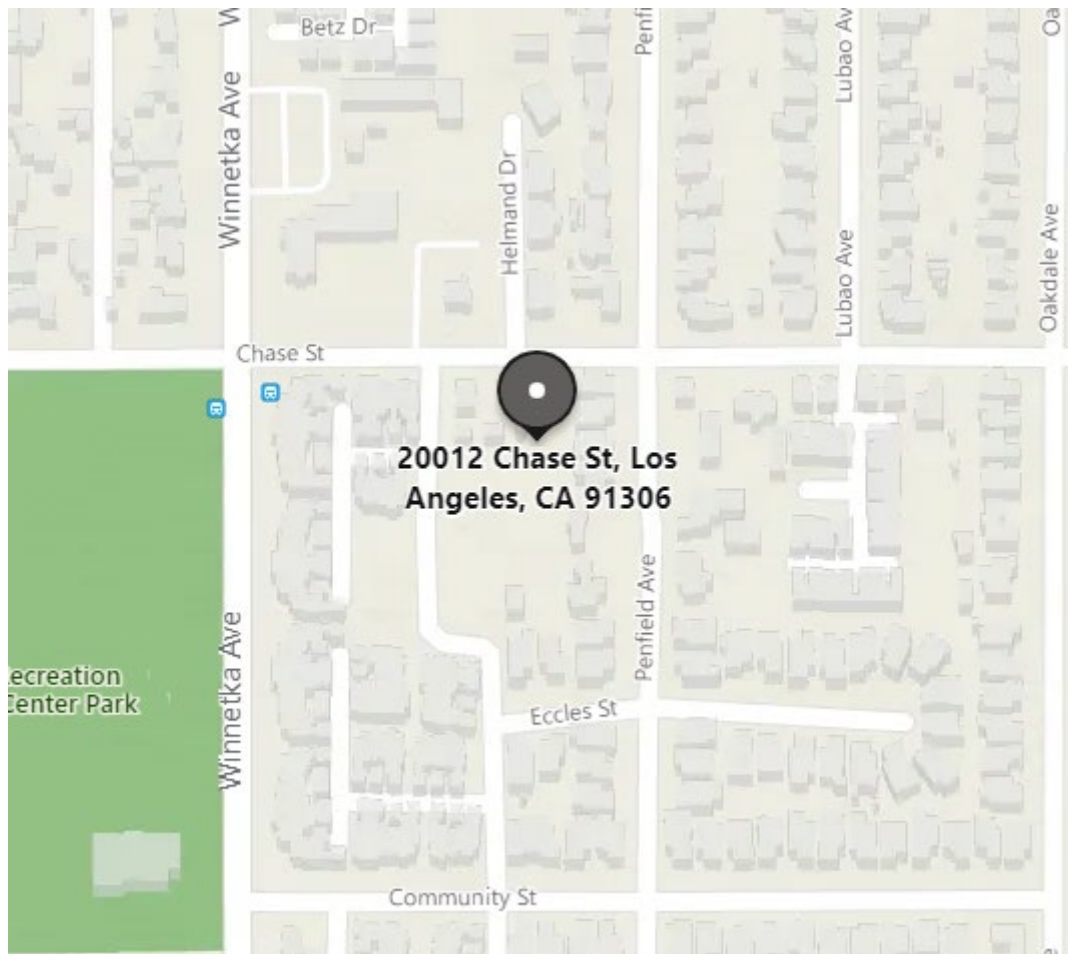
Transmitted herewith, are the exhibits associated with the previously submitted staff report to be considered at the Area Planning Commission meeting of July 3, 2025, related to Item No. 5 on the meeting agenda. The exhibits were initially omitted from the staff report linked from the agenda and they are included here for the purpose of adding them to the administrative record.

# Exhibit A1 – Maps (Vicinity Map)




# Vicinity Map

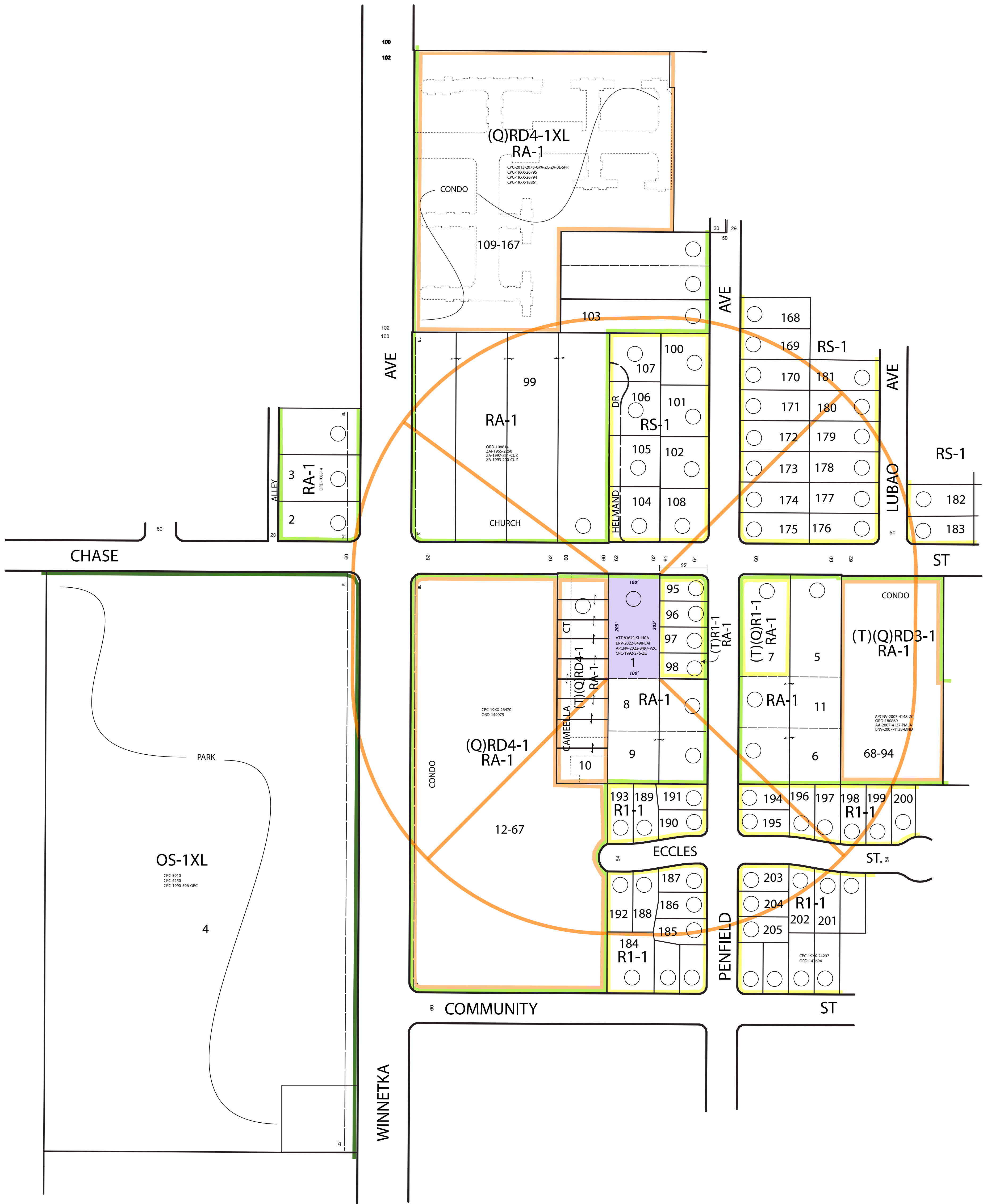
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Address: 20012 CHASE ST

 # 21-328B

# Exhibit A2 – Maps (Radius Map)



REQUEST: RA-1 TO (T)(Q)RD4-1

VESTING TENTATIVE TRACT NUMBER 83673 - VESTING ZONE CHANGE

**QMS** Quality Mapping Service  
14549 Archwood St. Suite 301  
Van Nuys, California 91405  
Phone (818) 997-7949 - Fax (818) 997-0351  
qmapping@qesqms.com

DRAWN BY:

**THOMAS BROTHERS**  
Page: 530 Grid: E2  
  
**LEGAL**  
LOT: POR 8 (ARB 1)  
**TRACT:** TR 8740  
M B 127-75/76  
  
**CONTACT:** QES

**A.P.N.** 2782-010-013  
  
**CD:** 3  
**CT:** 1134.01  
**PA:** 221 - CHATSWORTH -  
PORTER RANCH  
**USES:** FIELD

**SITE ADDRESS** 20012 CHASE ST.  
  
**CASE NO:**  
  
**SCALE:** 1"=100'  
**D.M.:** 192B113, 195B113  
  
**PHONE:** 818-997-8033

**DATE:** 12-14-2021  
Update: 01-29-2024  
04-01-2025  
  
NET AC: 0.471 +/-  
  
**QMS: 21-328B**

# Exhibit A3 – Maps (Plan Map)



## GENERAL NOTES:

- PROJECT ADDRESS: 20012 W. CHASE STREET
- APN: 2782-010-013
- RECORD OWNER: BUSINESS PURPOSE FUNDING, INC.
- GROSS AREA: 0.47 ACRES (20,499 SF)
- NET AREA: 0.46 (20,205 SF)
- NUMBER OF PROPOSED LOTS: 5
- EXISTING GENERAL PLAN LAND USE: LOW MEDIUM / RESIDENTIAL
- PROPOSED GENERAL PLAN LAND USE: LOW MEDIUM / RESIDENTIAL
- EXISTING ZONING: RA-1
- PROPOSED ZONING: (T)(Q)RD4-1
- DEVELOPMENT TYPE: SMALL LOT SUBDIVISION/SINGLE FAMILY
- PROPOSED METHOD OF SEWAGE DISPOSAL IS PUBLIC SANITARY SEWER.
- EACH UNIT CONTAINS PRIVATE TRASH CONTAINERS STORED IN THE GARAGE OR SIDEYARD TO BE COLLECTED ON-SITE.
- ALL NEW STRUCTURES ARE TO BE SPRINKLERED.
- NO PROTECTED TREES AND 1 PROTECTED SHRUB ON SITE PER ARBORIST PROTECTED TREE AND SHRUB REPORT PREPARED BY LEONARD MARKOWITZ DATED 3-25-2022.
- PARKING PROVIDED IN COMPLIANCE WITH THE CITY OF LOS ANGELES MUNICIPAL CODE. SEE ARCHITECTURAL DRAWINGS FOR DETAILED BREAKDOWN AND ALLOCATION OF PARKING STALLS.
- ALL EXISTING STRUCTURES ON SITE ARE TO BE REMOVED.

## BASIS OF BEARINGS

THE BEARING OF N00°01'38"E OF THE CENTERLINE OF WINNETKA AVE. AS SHOWN ON BOOK 127 PAGES 76-76 OF MAPS, RECORDS OF LOS ANGELES COUNTY WAS USED AS THE BASIS OF BEARINGS FOR THIS MAP.

## BENCHMARK

CITY OF LOS ANGELES BENCH MARK: 07-20615, DATUM: NAVD1988, 2000 ADJUSTMENT, ELEVATION = 824.228 FEET, WIRE SPIKE IN EAST CURB WINNETKA AVE.; 2 FT. SOUTH OF BC CURB RETURN SOUTH OF CHASE ST.

## EASEMENTS:

NO RECORDED EASEMENTS PER PROVIDENT TITLE COMPANY ORDER NO.: 10516896, DATED JUNE 2, 2021

## PROJECT DESCRIPTION:

PROPOSED 5 LOT SUBDIVISION OF LOT 8, TRACT 8740 CONSISTING OF THE CONSTRUCTION OF 5, TWO-STORY AT-GRADE RESIDENCES WITH ATTACHED TWO-CAR GARAGES, TOTALING 10 PARKING SPACES AND 3 GUEST PARKING SPACES.

## LEGAL DESCRIPTION

THE NORTH 205 FEET OF LOT 8, OF TRACT 8740, IN THE CITY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 127 PAGES 75 TO 76 OF MAPS, RECORDS OF LOS ANGELES COUNTY.

## VESTING TENTATIVE TRACT MAP NO. 83673

## SMALL LOT SUBDIVISION FOR 5 LOTS PURSUANT TO ORDINANCE NO. 176.354

THE NORTH 205 FEET OF LOT 8, OF TRACT 8740, IN THE CITY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 127 PAGES 75 TO 76 OF MAPS, RECORDS OF LOS ANGELES COUNTY.

## UTILITIES AND SERVICES:

SANITARY SEWER: CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS 201 N. FIGUEROA STREET LOS ANGELES, CA 90012 (213) 462-7039

WATER: CITY OF LOS ANGELES DEPARTMENT OF WATER AND POWER 111 N. HOPE ST LOS ANGELES, CA 90012 (800) 342-5397

GAS: SOUTHERN CALIFORNIA GAS CO. 9400 OAKDALE AVE. CHATSWORTH, CA 91311 (818) 701-3263

## UTILITIES AND SERVICES:(CONT.)

ELECTRICITY: CITY OF LOS ANGELES DEPARTMENT OF WATER AND POWER 111 N. HOPE ST LOS ANGELES, CA 90012 (800) 342-5397

TELEPHONE: AT&T 14709 VANOWEN ST. VAN NUYS, CA 91405 (805) 310-2355

CABLE TV: TIME WARNER CABLE 14221 COVELLO ST. VAN NUYS, CA 91405 (818) 296-9289

## LAND ENTITLEMENTS:

GES, INC. 14549 ARCHWOOD ST., STE. 308 VAN NUYS, CA 91405 (818) 997-8033 Contact: ERIC LIEBERMAN

## ARCHITECT:

SAMMIE TABRIZI ARCHITECT 4419 TYRONE AVE. SHERMAN OAKS, CA 91423 (818) 489-8364 Contact: SAMMIE TABRIZI

## LAND SURVEYOR:

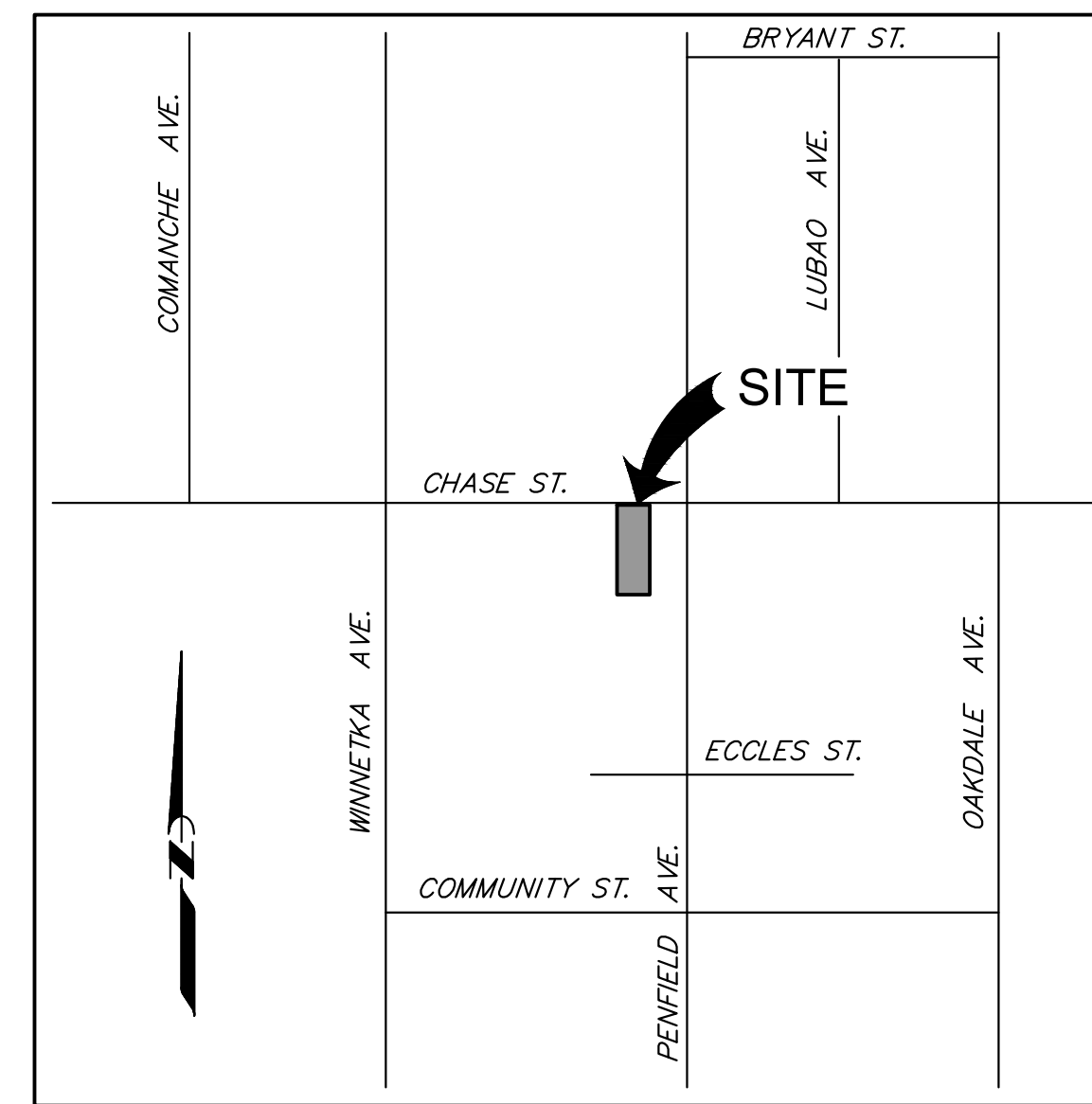
SOUTHLAND CIVIL ENGINEERING & SURVEY, LLP 87 N. RAYMOND AVE., STE. 300 PASADENA, CA 91103 (626) 486-2555 Contact: LARRY MAR

## OWNER/SUBDIVIDER:

EDUD INVESTMENTS, LLC 23679 CALABASAS RD #304 CALABASAS, CA 91302 (818) 687-0096 Contact: YURI SOGOMONOVA

## CIVIL ENGINEER:

SOUTHLAND CIVIL ENGINEERING & SURVEY, LLP 87 N. RAYMOND AVE., STE. 300 PASADENA, CA 91103 (626) 486-2555 Contact: LARRY MAR



## VICINITY MAP

SCALE: 1" = 400'

## LEGEND:

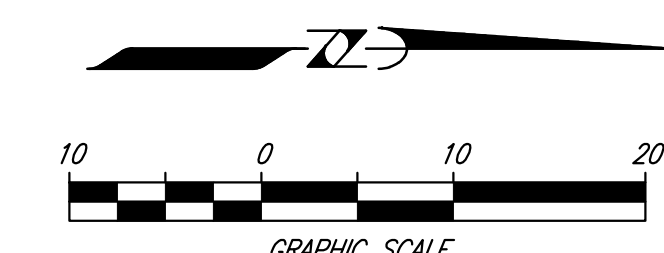
- P.O.C. POINT OF CONNECTION  
T.C. TOP OF CURB  
F.L. FLOW LINE  
F.S. FINISH SURFACE
- EXISTING GAS LINE  
EXISTING TELEPHONE LINE  
EXISTING SEWER LINE  
EXISTING WATER LINE  
EXISTING STORM DRAIN LINE  
PROPOSED WATER LINE  
PROPOSED SEWER LINE  
PROPOSED STORM DRAIN LINE  
PROPOSED WATER METER  
PROPOSED BACKFLOW VALVE ASSEMBLY  
PROPOSED FIRE HYDRANT  
PROPOSED R/W  
EXISTING R/W  
STREET CENTERLINE  
LOT LINE
- LOCATION AND NUMBER OF TREE TO BE REMOVED. SEE PROTECTED TREE AND SHRUB REPORT PREPARED BY LEONARD MARKOWITZ DATED 3-25-22.

## EARTHWORK:

VOLUME BASE SURFACE, EXISTING TOPO COMPARISON SURFACE, PROPOSED CUT VOLUME (UNADJUSTED): 400 CU. YD. FILL VOLUME (UNADJUSTED): 900 CU. YD. NET VOLUME (UNADJUSTED): 500 CU. YD. (IMPORT)

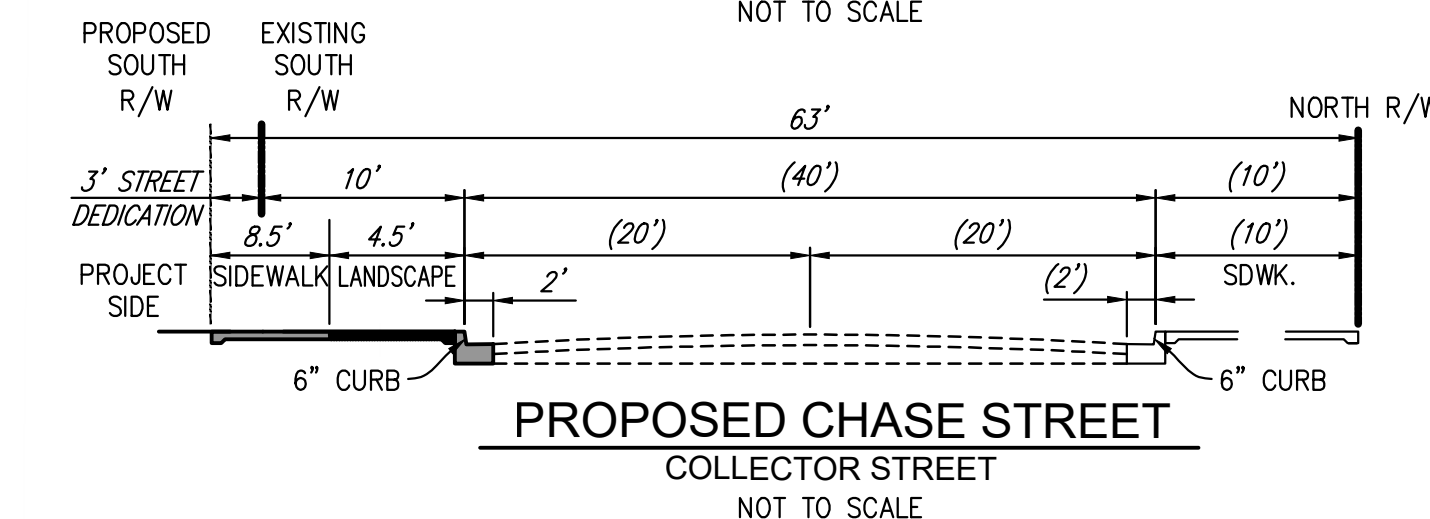
## GENERAL NOTES:

- QUANTITIES SHOWN HEREON ARE FOR PERMIT FEE ESTABLISHMENT PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING OR CONTRACT PURPOSES.
- IMPORT IS ANTICIPATED.
- QUANTITIES SHOWN ARE RAW EARTHWORKS ONLY. NO BULKING OR SHRINKAGE IS INCLUDED.



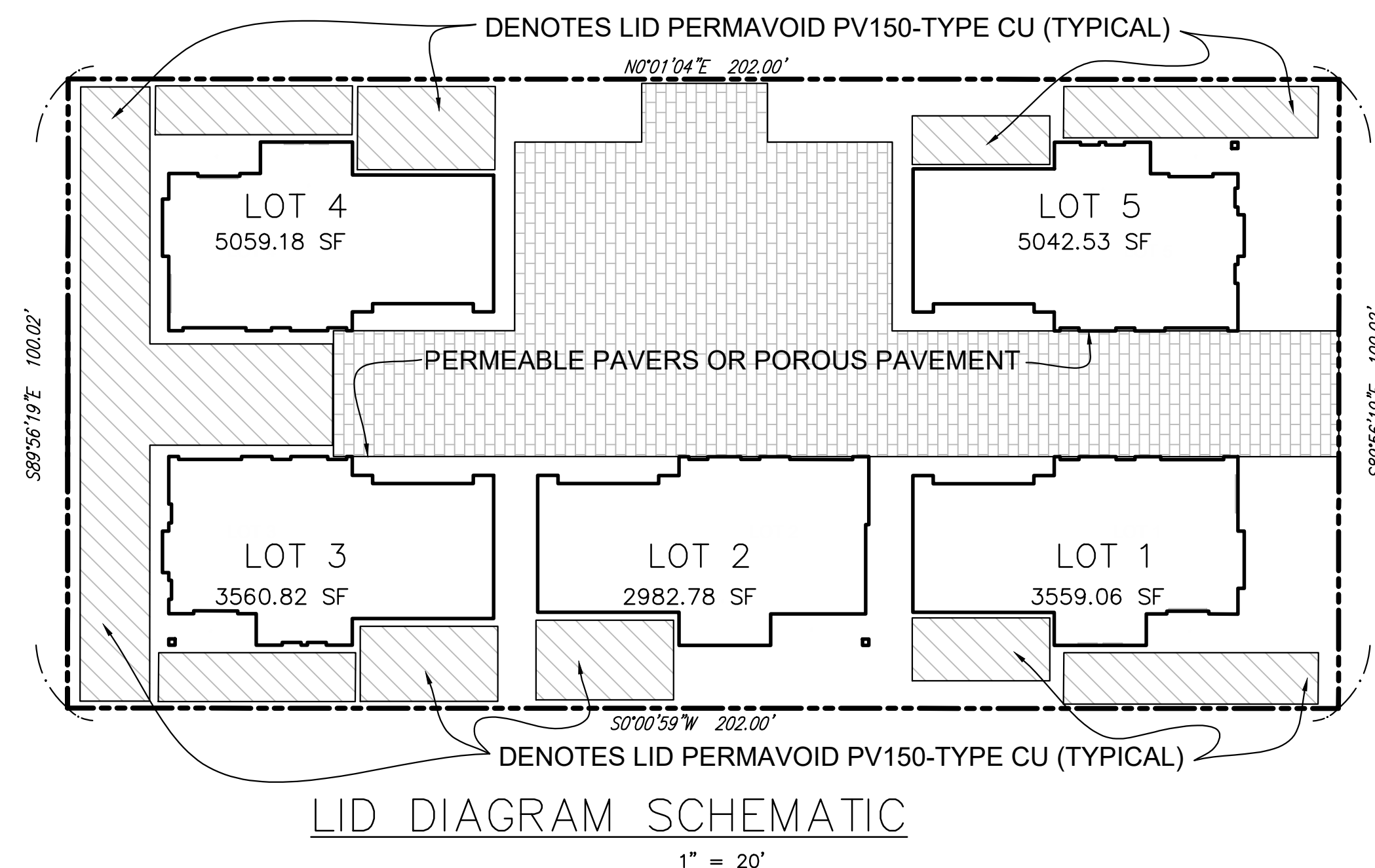
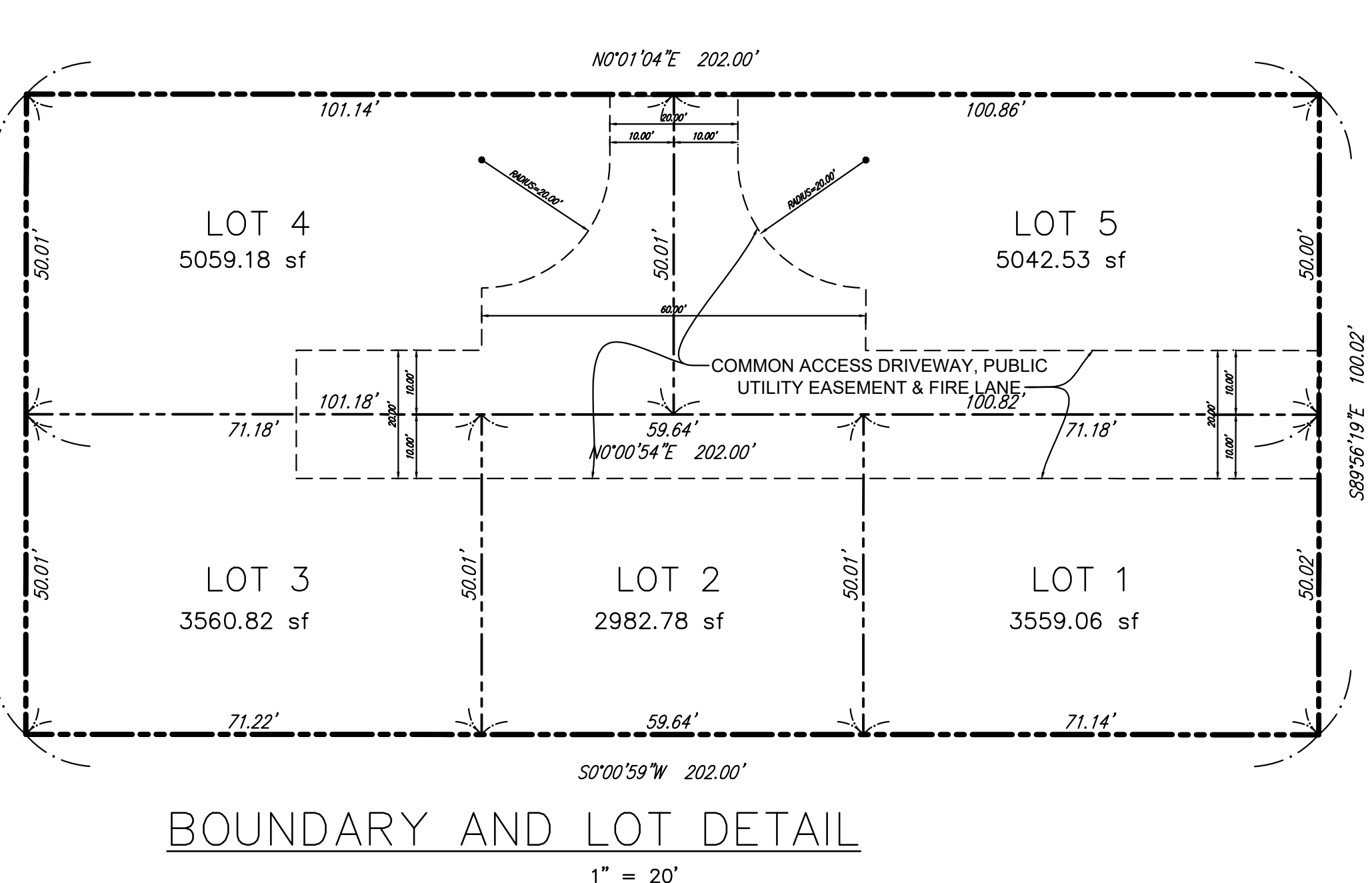
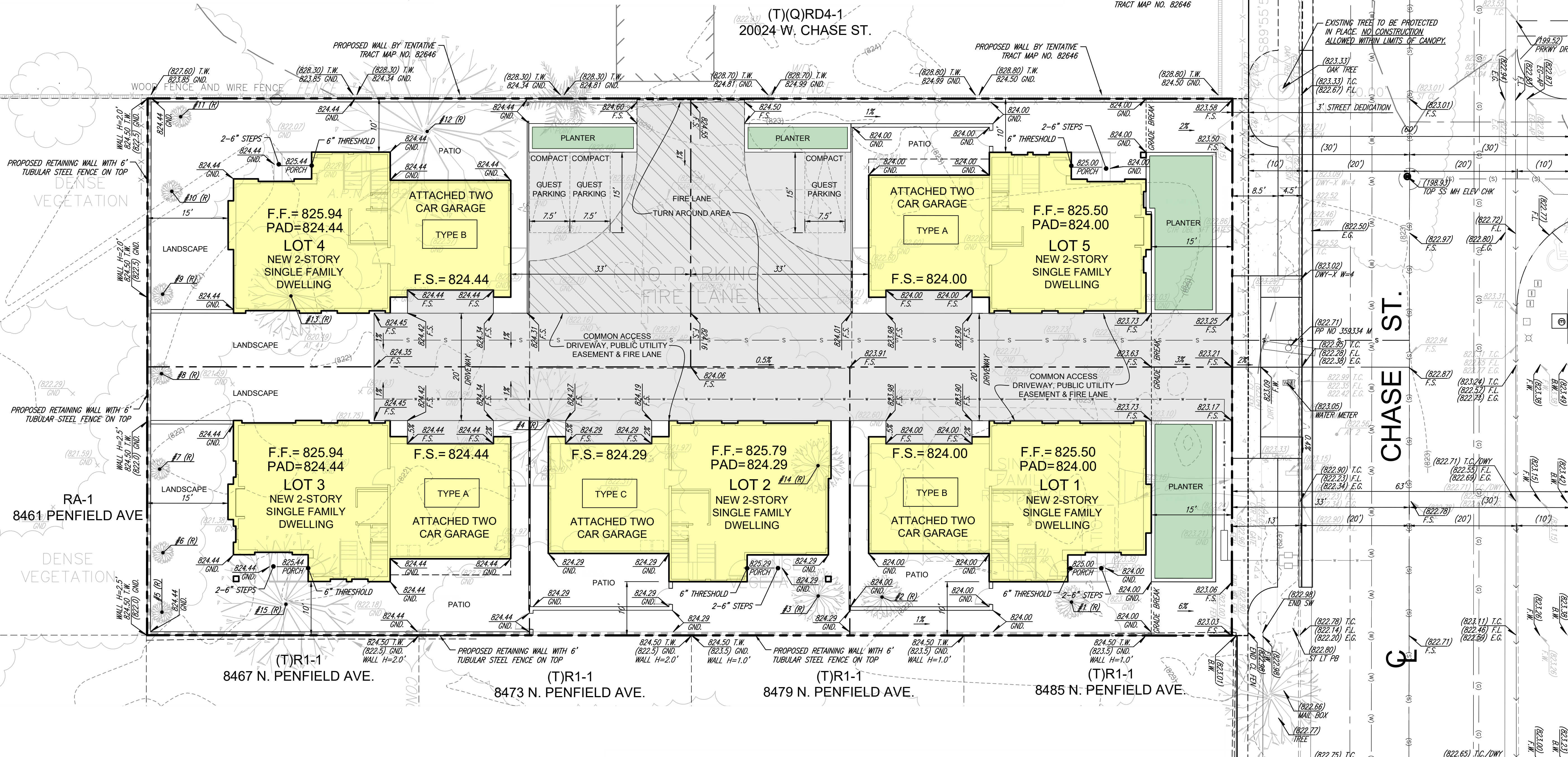
## EXISTING CHASE STREET

COLLECTOR STREET NOT TO SCALE



## PROPOSED CHASE STREET

COLLECTOR STREET NOT TO SCALE



LOT AREA		
LOT #	GROSS AREA (SF)	GROSS AREA (AC)
LOT 1	3559.06	0.082
LOT 2	2982.78	0.068
LOT 3	3560.82	0.082
LOT 4	5059.18	0.116
LOT 5	5042.53	0.116

SETBACK REQUIREMENTS				
LOT #	FRONT YARD	SIDEYARD (N)	SIDEYARD (S)	REAR YARD
LOT 1	10'	15'	3.5'	10'
LOT 2	10'	3.5'	3.5'	10'
LOT 3	10'	3.5'	15'	10'
LOT 4	10'	3.5'	15'	10'
LOT 5	10'	15'	3.5'	10'

Received from Planning on 1/9/2025

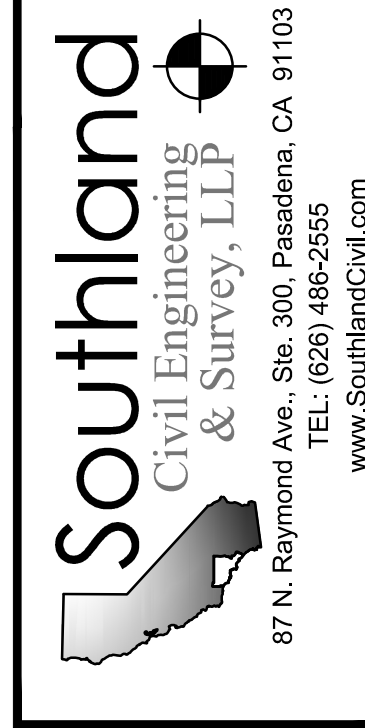


APN: 2782-010-013

## BENCH MARK:

CITY OF LOS ANGELES BENCH MARK NO. 07-20615 WIRE SPIKE IN EAST CURB WINNETKA AVE., 2 FEET SOUTH OF BC CURB RETURN SOUTH OF CHASE ST. ELEV. = 824.228 FEET DATUM

DATE	BY	REVISIONS	REFERENCE



SOUTHLAND CIVIL ENGINEERING AND SURVEYING, LLP				
ENGINEER:	L.M.	BL	MT	10/10/2024
DESIGNED BY:				
DRAWN BY:				
CHECKED BY:				
DATE:				

SHEET TITLE: VESTING TENTATIVE TRACT MAP 83673 SMALL LOT SUBDIVISION PURSUANT TO ORD. NO. 176.354 20012 CHASE ST. WINNETKA, CA 91305  
OWNER: BUSINESS PURPOSE FUNDING, INC. CARLOS ZECENA

JOB NUMBER: 9592-24010  
DRAWING NO. 1

SHEET 1 OF 1 SHEETS



# Exhibit B – Plans







SAMMIE  
TABRIZI  
ARCHITECT

4419 TYRONE AVENUE,  
SHERMAN OAKS, CA. 91423

PROJECT:  
SMALL LOT SUBDIVISION  
5 PRIVATE RESIDENCES  
20012 CHASE STREET  
WINNETKA, CA 91306

OWNER:  
BUSINESS PURPOSE FUNDING INC.  
15206 VENTURA BOULEVARD, #206  
SHERMAN OAKS, CA 91403

NOT FOR CONSTRUCTION



EQUINE KEEPING CHECKLIST FORM

No building permit shall be issued for any building creating new habitable space on a lot located in whole or in part within an Equine Keeping "K" District and/or any lot zoned RA, RE20, RE40, A1, or A2 without completing this form. This form shall be completed and submitted during plan check. For more information on the process, refer to the flowchart.

Address: 20012 W CHASE STREET

PCIS: 22010 - 10000 - 01910-01902

Please read the following two (2) questions carefully and answer either YES or NO:

- (1) Is there any equine keeping on any of the adjacent properties?  
(i.e. an equine, animal keeping enclosure, barn, equine license)
- (2) Is there any equine keeping on your property?  
(i.e. an equine, animal keeping enclosure, barn, equine license)

If the answer to either of the above questions is "yes", you will need to provide a dimensioned site plan that is to-scale and which shows the location of the equine keeping structure and/or enclosure on your lot and any of the adjacent properties and indicate the distances between your proposed habitable room additions, new single family dwelling unit, Accessory Living Quarters or Servant Quarters and such structures and/or enclosures. The information on the site plan shall be verified by LADBS inspection before construction can commence.

Please call (888)LA4BUILD or (888)524-2845, for Equinekeeping pre-construction inspection to verify the accuracy of the provided information before starting any construction.

For information on the setback requirements from an equine keeping structure and/or enclosure, please see LADBS Information Bulletin No. P/ZC 2002-018.

[http://ladbs.org/LADBSWeb/LADBS\\_Forms/InformationBulletins/IB-P-ZC2014-018EquineKeeping.pdf](http://ladbs.org/LADBSWeb/LADBS_Forms/InformationBulletins/IB-P-ZC2014-018EquineKeeping.pdf)

Any incorrect information may lead to the revocation of the corresponding permits.

Property owner or the authorized agent's name: BUSINESS PURPOSE FUNDING INC

Property owner or the authorized agent's signature: [Signature]

Date: 9/18/22

September 2, 2014

CONSTRUCTION			PRE-CONSTRUCTION	
REV.	BULLETIN	DATE	ISSUED FOR	DATE

CHECKED BY: DATE:  
DRAWN BY: JOB NUMBER:

SHEET TITLE

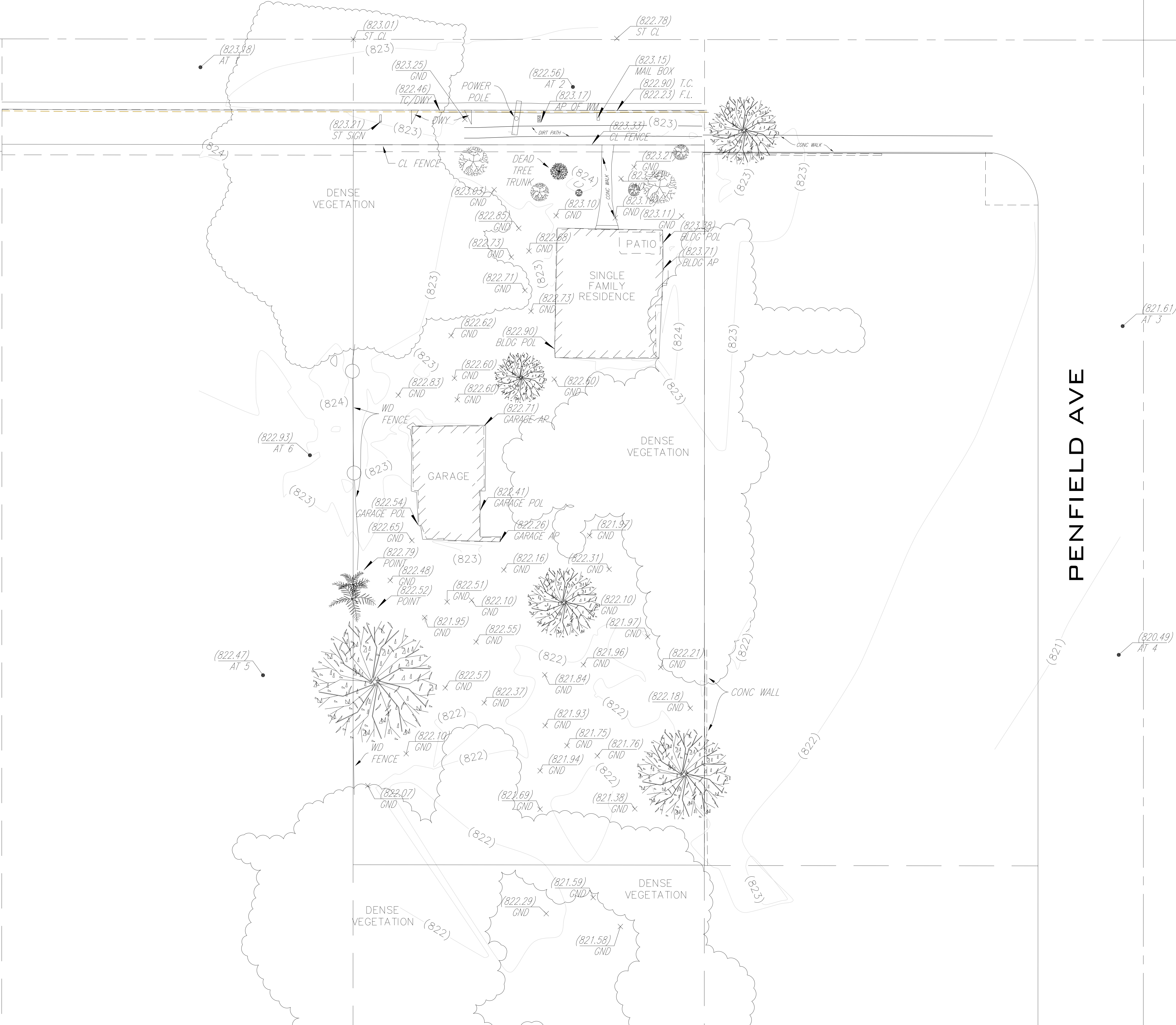
TITLE SHEET

SHEET NUMBER

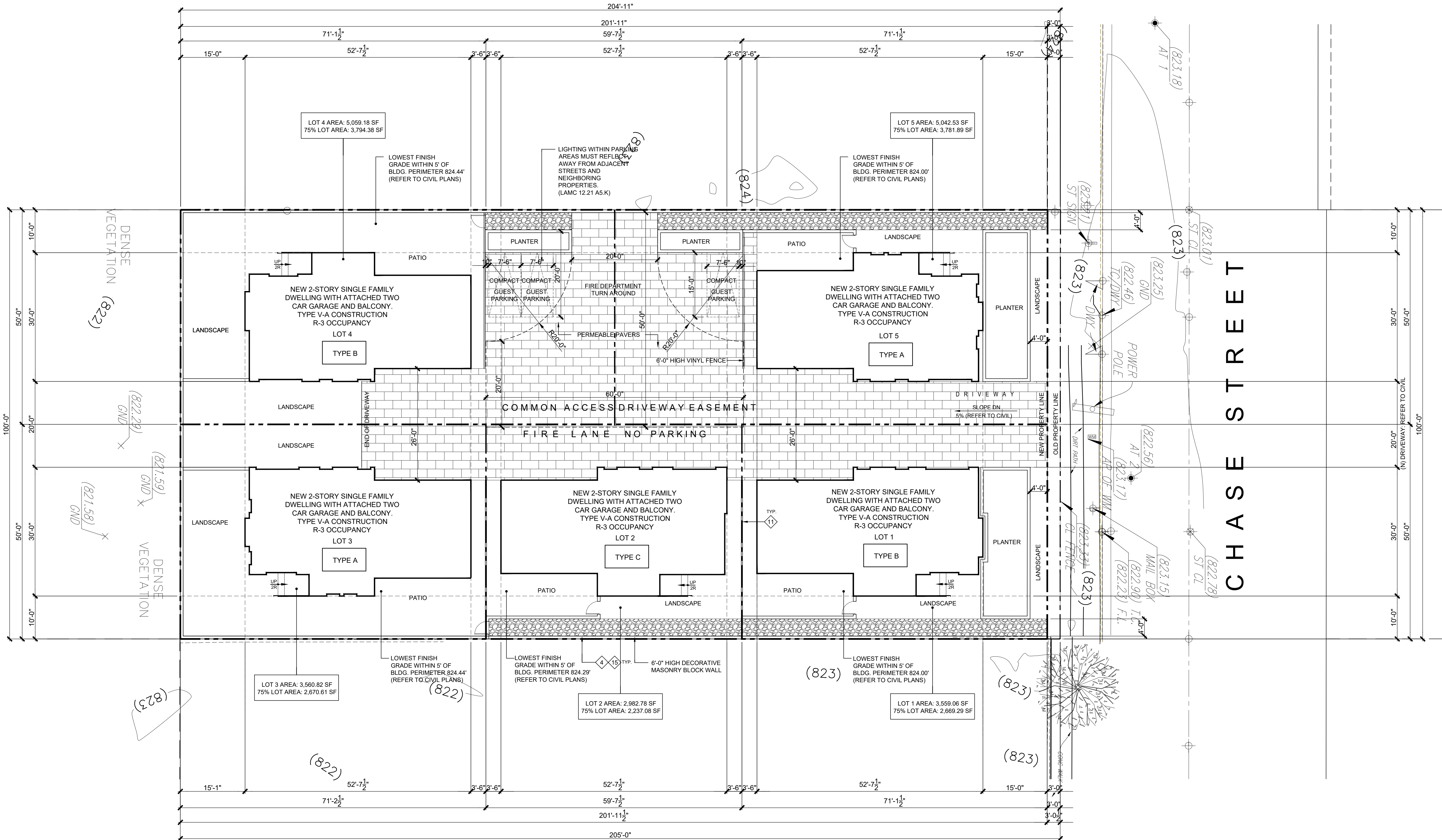
TS.2



# CHASE



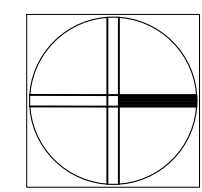




S I T E   P L A N

\*REFER TO GRADING PLANS FOR ALL FINISH FLOOR AND SITE ELEVATIONS

SCALE: 3/32" =1'-0"



NORTH

ARCHITECTURAL SITE PLAN SHEET NOTES			ARCHITECTURAL SITE PLAN KEY NOTES				
1.	ARCHITECTURAL SITE PLAN IS FOR BUILDING DEPARTMENT REFERENCE ONLY. REFER TO SURVEY, CIVIL AND LANDSCAPE PLANS FOR ALL INFORMATION.	8.	LOCATE THE PERIMETER WALLS/RETAINING WALLS MINIMUM 4" AWAY FROM THE PROPERTY LINE TO ACCOMMODATE THE PLACEMENT OF THE SUB-DRAIN DEVICE. (CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION)	1	100% OF HARDSCAPE USED SHALL BE DEX-O-TEX WITH AN SRI OF 49 PER SPECS ON D-11 OR EQUAL. R.R. #02360	12	3' WIDE 6" HIGH GALV. METAL SECURITY GATE WITH 10" KICK PLATE.
2.	REFER TO TO CIVIL, MECHANICAL, PLUMBING, ELECTRICAL, UTILITY AND LANDSCAPE PLANS FOR HORIZONTAL AND VERT. CONTROLS CONTROLS, SITE DRAINAGE, SITE ACCESSIBILITY, SITE UTILITIES AND ADDITIONAL INFORMATION.	9.	PROVIDE AN APPROVED OUTLET STRUCTURE FOR ALL DOWN DRAINS. STRUCTURES TO HAVE VELOCITY REDUCERS, DIVERSION WALLS, RIP-WRAP, AND CONCRETE APRONS.	2	INDICATES LINE OF BALC./BLDG. ABOVE.	13	INDICATES GUARDRAIL, T.O. GUARDRAIL AT 3'-6" ABOVE ADJACENT FINISH FLOOR.
3.	REFER TO LANDSCAPE PLANS FOR PLANTER AND PLANTER DRAIN LOCATIONS.	10.	CONCENTRATED DRAINAGE TO BE DISCHARGED INTO AN APPROVED LOCATION. (DRAINAGE REQUIRED INTO STREET, NATURAL WATERCOURSE IS NOT ALLOWED.	3	3'-6" HIGH MAX. CMU FENCE WALL AT FRONT YARD SET BACK. REFER TO ELEVATIONS INDICATED ON THE PLANS.	14	FIRE DEPARTMENT CONNECTION.
4.	NOT USED			4	6" THICK COLORED SLUMP BLOCK OR DECORATIVE COLORED CONC. BLOCK WALL.	15	6'-0" HIGH CONC. BLK. WALL
5.	A REGISTERED DEPUTY GRADING INSPECTOR IS REQUIRED FOR ALL ON SITE SHORING WORK INCLUDING SLOT CUTS.	11.	ENTIRE FACILITY SHALL COMPLY WITH THE CALIFORNIA BUILDING CODE FOR ACCESSIBILITY. WHEN CONFLICTS EXIST BETWEEN THE ADA AND THE CALIFORNIA BUILDING CODE THE STANDARD THAT PROVIDES THE GREATEST DEGREE OF ACCESSIBILITY SHALL COMPLY.	5	INDICATES APPROX. DECK DRAIN LOCATION. REFER TO CIVIL & LANDSCAPE PLANS FOR ACTUAL NUMBER, LOCATION AND ELEV. OF AREA DRAINS.	16	ADDITIONAL SERVICE CAPACITY, SPACE FOR FUTURE METER, AND CONDUIT FOR FUTURE INSTALLATION OF ELECTRICAL OUTLETS.
6.	SHORING REQUIRES CONTINUOUS INSPECTION BY THE SOILS ENGINEER/GEOLOGIST.			6	PLANTER WALL. (SEE LANDSCAPE PLANS FOR PLANTER DRAIN LOCATIONS AND ADDITIONAL COURTYARD PLANTERS).	17	GAS SHUTVALVE (C.C.R., TITLE 19)
7.	RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF THE WALL SHALL BE BACKFIELD NOT LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY RESPONSIBLE ENGINEER.	12.	INSTALL WITHIN PROJECT AN AIR INFILTRATION SYSTEM (EITHER CHAERCOAL OR ELECTRONIC) TO REDUCE AIR QUALITY EFFECTS ON THE PROXECT RESIDENTS.	7	INDICATES LOCATION OF ELEC. TRANSFORMER.	18	SHORT TERM BICYCLE PARKING
		13.	MAIL BOX EQUIPMENT SHALL BE PROVIDED BY GENERAL CONTRACTOR AT A LOCATION APPROVED BY US POSTAL SERVICE. MAIL BOXES SHALL MEET ACCESSIBILITY STANDARDS.	8	INDICATES DOOR LANDING AREA SLOPED 1/8"/FT. AWAY FROM DOOR. FOR ADDITIONAL INFORMATION REFER TO SHEETS GN.1 & GN.2		NOTE: 1. OPENING PROTECTIVE ARE NOT REQUIRED WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 AND THE EXTERIOR OPENINGS ARE PROTECTED BY A WATER CURTAIN USING AUTOMATIC SPRINKLERS APPROVED FOR THAT USE.
		14.	PROJECT SITE DIRECTORY SHALL BE PROVIDED BY GENERAL CONTRACTOR AS REQUIRED BY LOCAL FIRE DEPARTMENT REG. AND APPROVED BY OWNER.	9	INDICATES WATER CURTAIN SPRINKLER SYSTEM IS INSTALLED OVER EA. OPENG. FOR ADDITIONAL INFORMATION REFER TO IST FLR. BLDG PLAN		
				10	DRIVEWAY. REFER TO GARAGE PLAN FOR ADDITIONAL INFORMATION.		
				11	6'-0" HIGH WHITE VINYL FENCE WALL.		

NOTE:  
1- OPENING PROTECTIVE ARE NOT REQUIRED WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 AND THE EXTERIOR OPENINGS ARE PROTECTED BY A WATER CURTAIN USING AUTOMATIC SPRINKLERS APPROVED FOR THAT USE.

CHECKED BY	DATE
DRAWN BY	JOB NUMBER
SHEET TITLE	
SITE PLAN	
SHEET NUMBER	AS.2



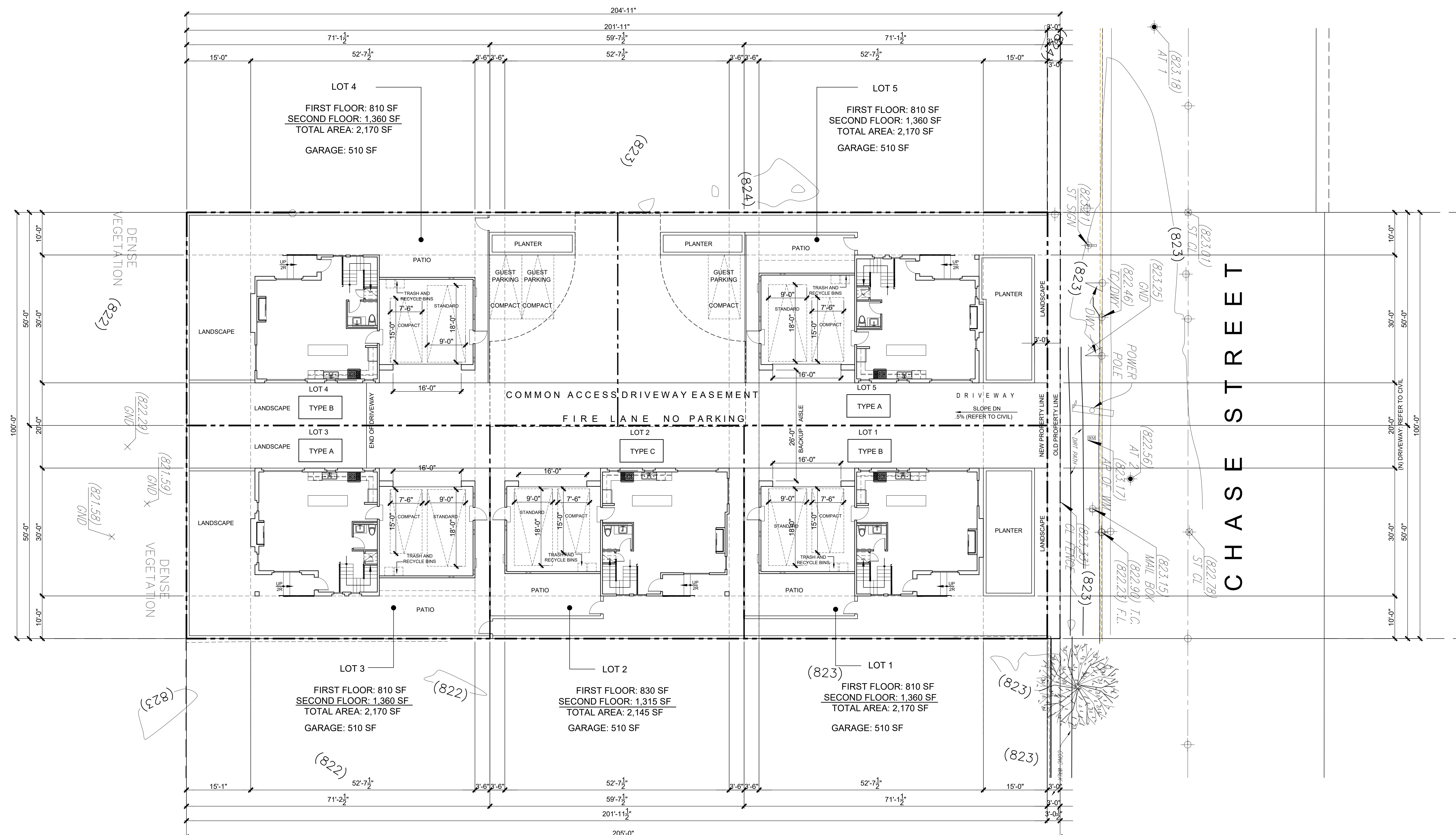
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CHECKED BY	DATE
DRAWN BY	JOB NUMBER

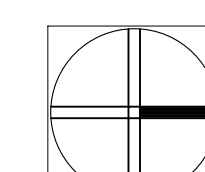
SHEET TITLE

FIRST FLOOR PLAN

SHEET NUMBER



SCALE: 3/32" = 1'-0"



NORTH

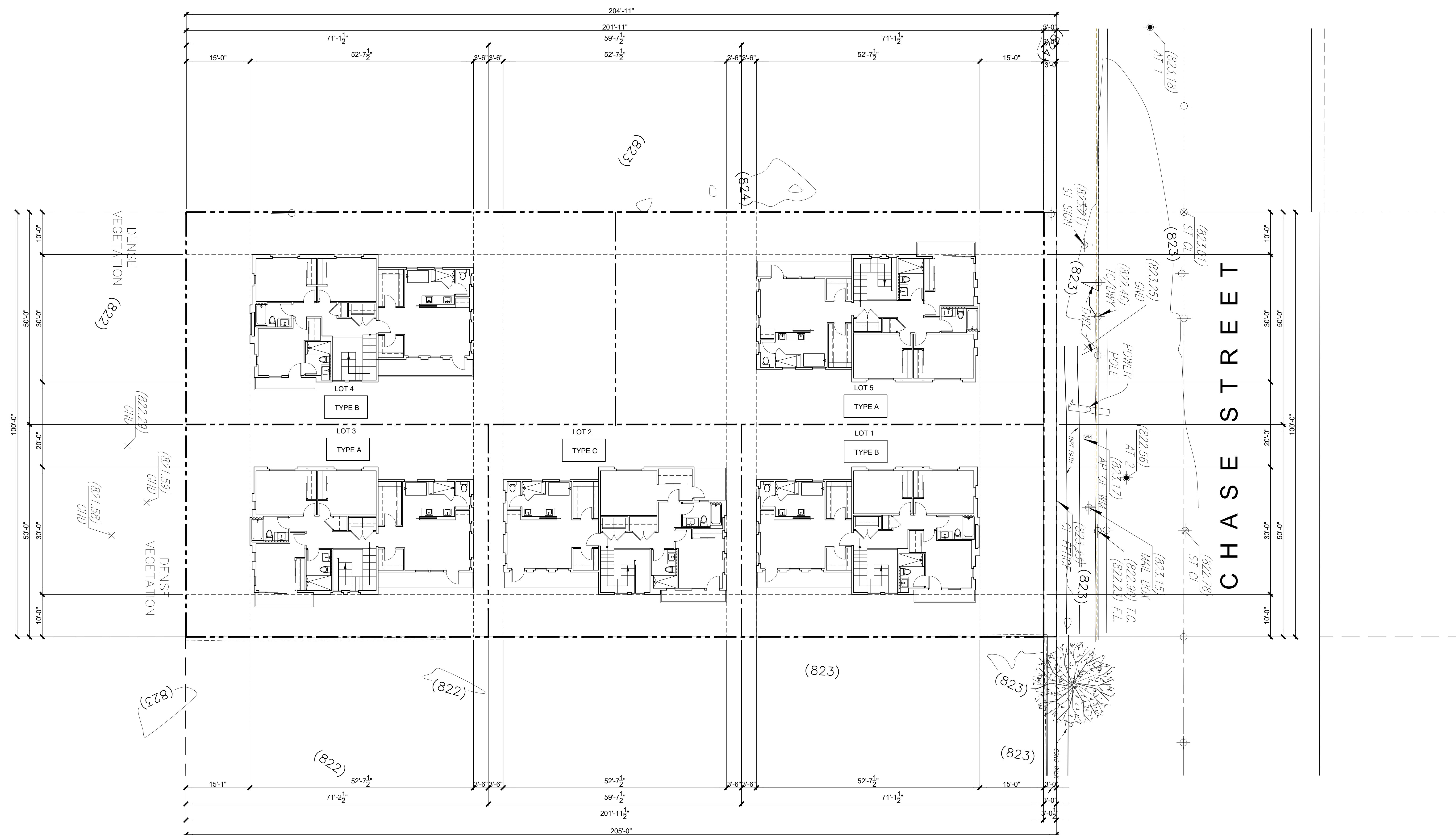
OWNER:  
BUSINESS PURPOSE FUNDING INC.  
15206 VENTURA BOULEVARD, #206  
SHERMAN OAKS, CA 91403

[illegible]


SHEET TITLE

SECOND FLOOR PLAN

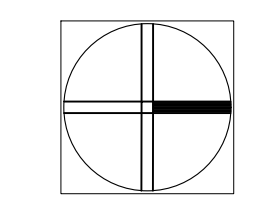
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\*REFER TO GRADING PLANS FOR ALL FINISH FLOOR AND SITE ELEVATIONS



NORTH





OWNER:  
BUSINESS PURPOSE FUNDING INC.  
15206 VENTURA BOULEVARD, #206  
SHERMAN OAKS, CA 91403

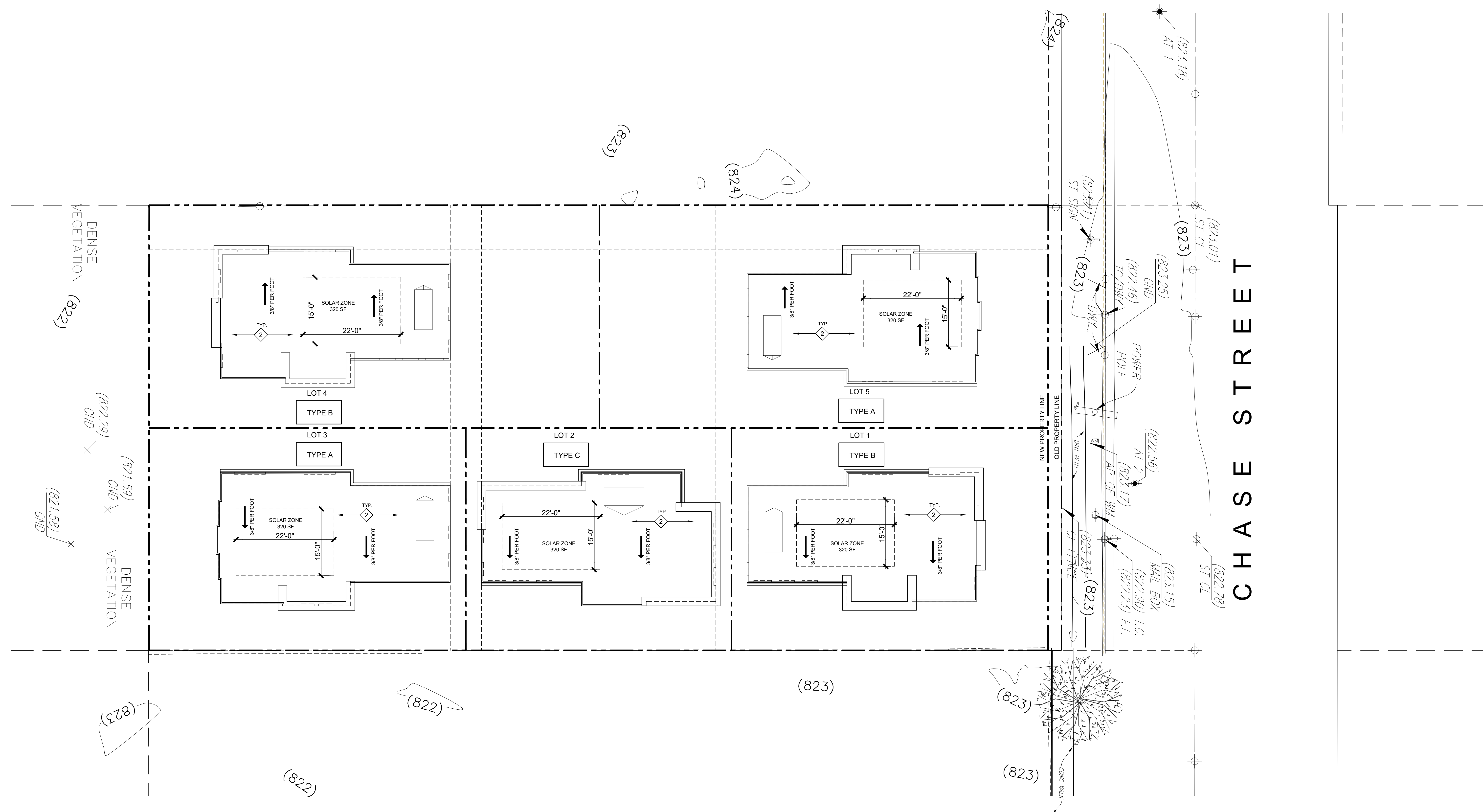
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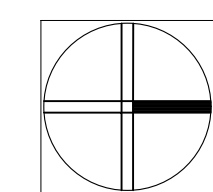
ROOF PLAN

SHEET NUMBER




















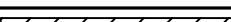







A2.1



SCALE: 3/32" = 1'-0"



NORTH

ROOF PLAN SHEET LEGEND		ROOF PLAN SHEET NOTES		ROOF PLAN SHEET KEYNOTES	
D.S.	INDICATES GALV. MTL. DOWNSPOUT, FILTERED AND DISCHARGED PER CIVIL PLANS. PRIME AND PAINT DOWNSPOUT, TO MATCH ADJ. FINISH.	1.	FOR TYP. PIPE PENETRATION AT BUILT-UP ROOF REFER TO DETAIL: 		NOT USED
	INDICATES DIRECTION OF SLOPED BUILT-UP ROOF 1/8"FT.	2.	FOR TYP. VENT FLASHING AT ROOF REFER TO DETAILS:  		
	INDICATES DIRECTION OF PITCHED ROOF TYP. 5:12	3.	FOR TYP. PIPE SUPPORT AT BUILT-UP ROOF REFER TO DETAIL: 		CLASS 'A' BUILT-UP ROOFING BY 'SOPREMA' OR EQUAL, RR #02602, SEE D-11 FOR SPECS.
	INDICATES LOCATION OF CONCEALED METAL ROOF VENTILATORS, COLOR & PROFILE TO MATCH ROOF TILE.	4.	CONTRACTOR PRIOR TO CONSTRUCTION SHALL COORDINATE ROOF MOUNTED MECHANICAL EQUIPMENT LOCATION AND WEIGHT WITH MECHANICAL CONSULTANT & STRUCTURAL ENGINEER.		ROOF MOUNTED MECHANICAL EQUIPMENT PLATFORM PER: 
	INDICATES ATTIC DRAFT STOP PER C.B.C.	5.	REFER TO PLANS PREPARED BY OTHERS FOR SIZE, ROUTE, FILTER AND DISCHARGE POINT OF ALL ROOF RUN-OFF WATER.		INDICATES 22"x22" SELF FLASHING ALUM. SKYLIGHT BY "BRISTOLITE" MODEL NO. 2222-AL-SF-2-4" OR APPROVED EQUAL (EVALUATION REPORT NO. "E-2469").
	1 - HOUR DWELLING SEPARATION WALL	6.	AS A MINIMUM STANDARDS ALL BUILT-UP ROOF SHEATHING EDGES SHALL BE BLOCKED, EDGE NAILED AND GAPPED PER ROOFING MANUFACTURER RECOMMENDATIONS, REFER TO STRL. PLANS FOR MORE RESTRICTED REQUIREMENTS.		INDICATES LOCKABLE 22"x30" ATTIC ACCESS.
	1-HOUR WALL W/ NO OPENINGS	7.	PROTECT ALL TRAFFIC AND MECH. EQUIP REPAIR AREA BY "DYNATREAD" PLUS ROOF WALKWAY" BY "JOHNS MANVILLE" ROOFING PRODUCT OR EQUAL.		INDICATES LINE OF BLDG. BELOW.
	2 - HOUR FIRE WALL	8.	ROOF DRAINAGE MUST BE CONDUCTED UNDER SIDEWALK.		INDICATES LINE OF DRAFT STOP. INSTALL PER C.B.C SEC 708.3.
	INDICATES 1-HR. FIRE RESISTIVE ROOF ASSEMBLY WITH NO PENETRATIONS ALLOWED.	9.	ALL ROOF VENTS SHALL BE LOCATED A MINIMUM OF 2'-0" FROM ANY ROOF FLASHING CONDITION.		INDICATES ROOF CRACK, SLOPED 12"FT. VALLEYS SLOPED 1/4"FT. REFER TO DETAIL: 
		10.	ROOF/CLG. ASSEMBLIES SHALL BE ONE-HOUR RATED FIRE- RESISTIVE CONSTRUCTION. 		INDICATES LOCATION OF COMBINED ROOF DRAIN AND OVERFLOW SCUPPER.
					 INDICATES 2-HR PARAPET 30" ABOVE ROOF SHEATHING.   WATERPROOF DECK TOPPING OVER CONCRETE WITH A SOLAR REFLECTANCE OF AT LEAST .30 DEX-O-TEX OR EQUAL RR #02360

PROJECT:

SMALL LOT SUBDIVISION  
5 PRIVATE RESIDENCES  
20012 CHASE STREET  
WINNETKA, CA 91306

OWNER:

BUSINESS PURPOSE FUNDING INC.  
15206 VENTURA BOULEVARD, #206  
SHERMAN OAKS, CA 91403

NOT FOR CONSTRUCTION

CONSTRUCTION			PRE-CONSTRUCTION		
REV.	BULLETIN	DATE	ISSUED FOR	DATE	

CHECKED BY	DATE
DRAWN BY	JOB NUMBER

SHEET TITLE

ELEVATIONS  
TYPE 'A'

SHEET NUMBER

A3.1



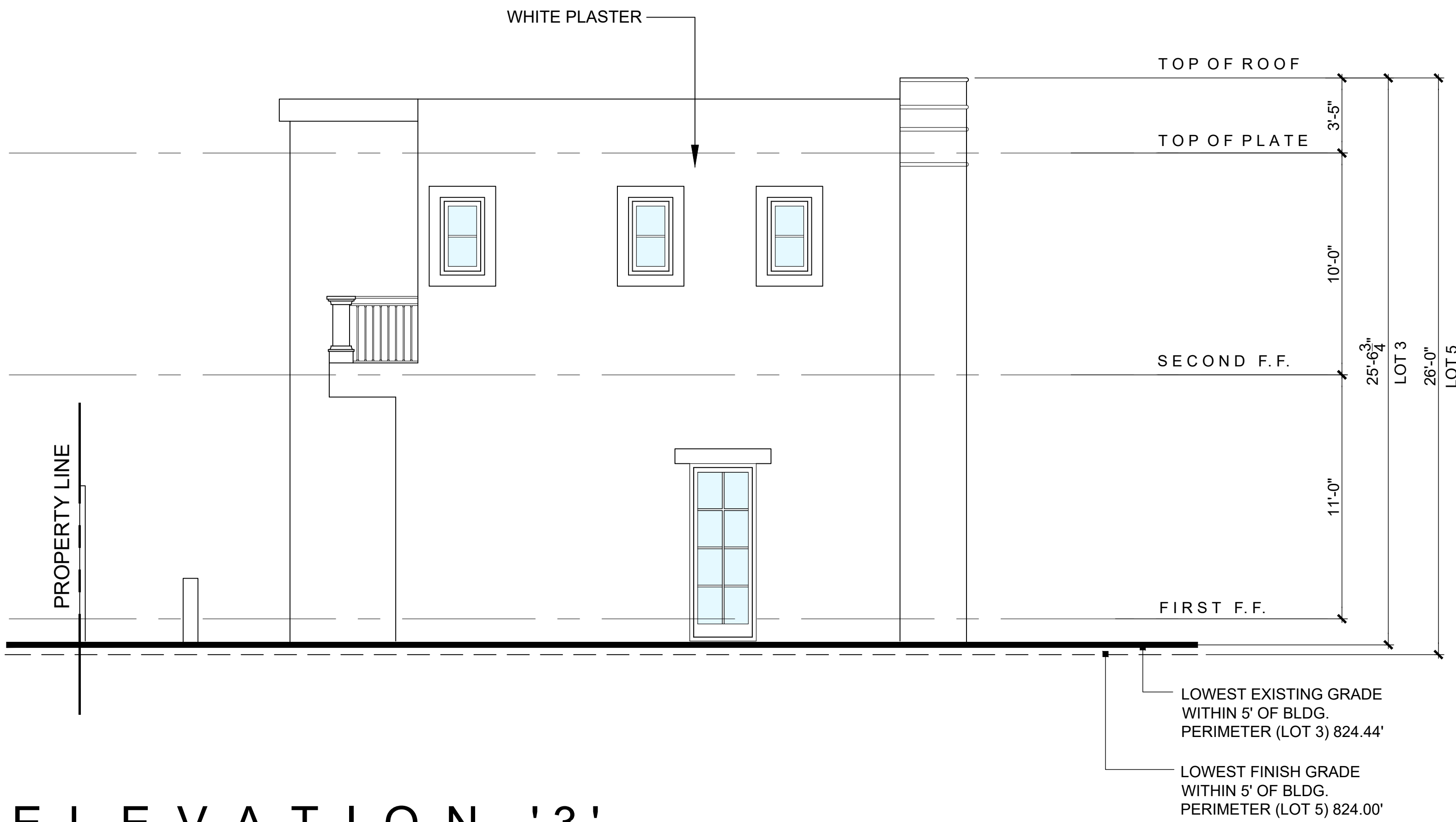
ELEVATION '1'

SCALE: 1/4" =1'-0"



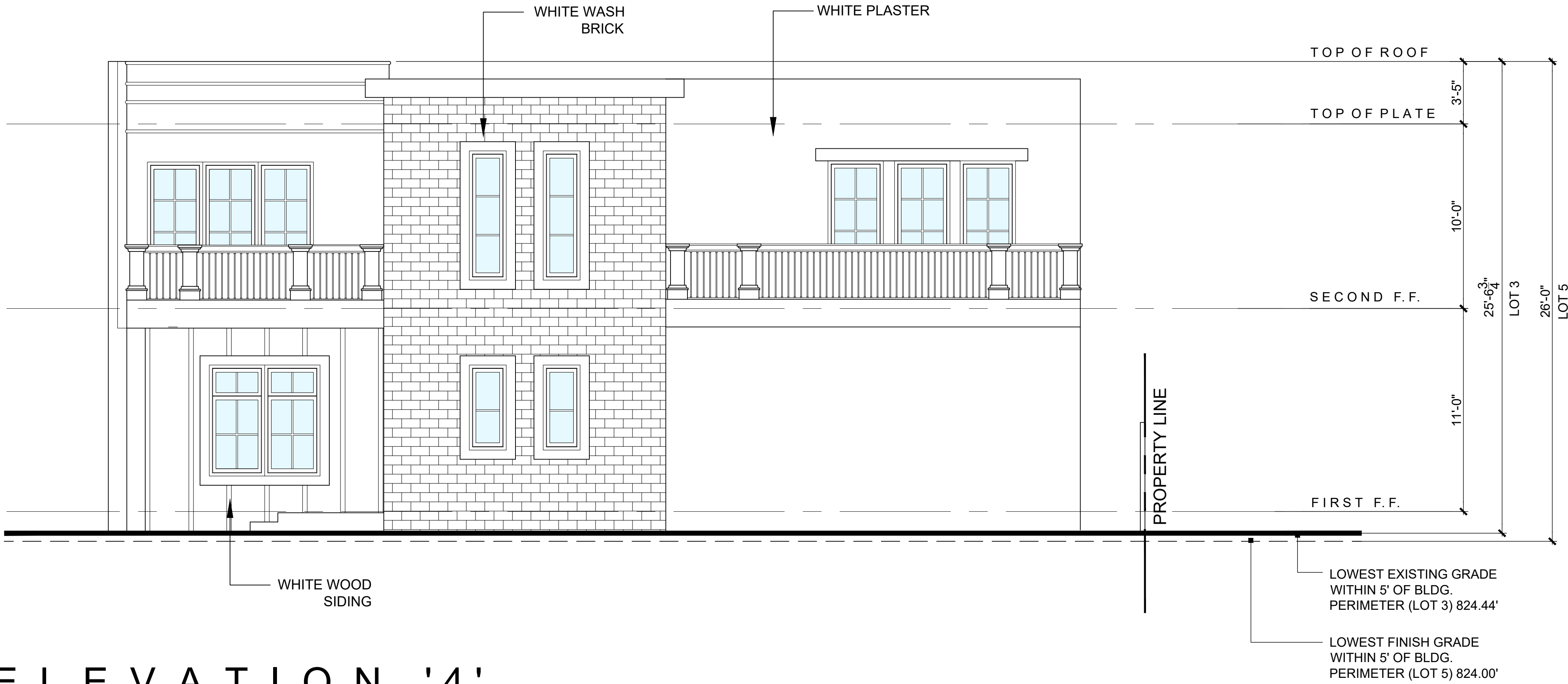
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SCALE: 1/4" =1'-0"



ELEVATION '3'

SCALE: 1/4" =1'-0"

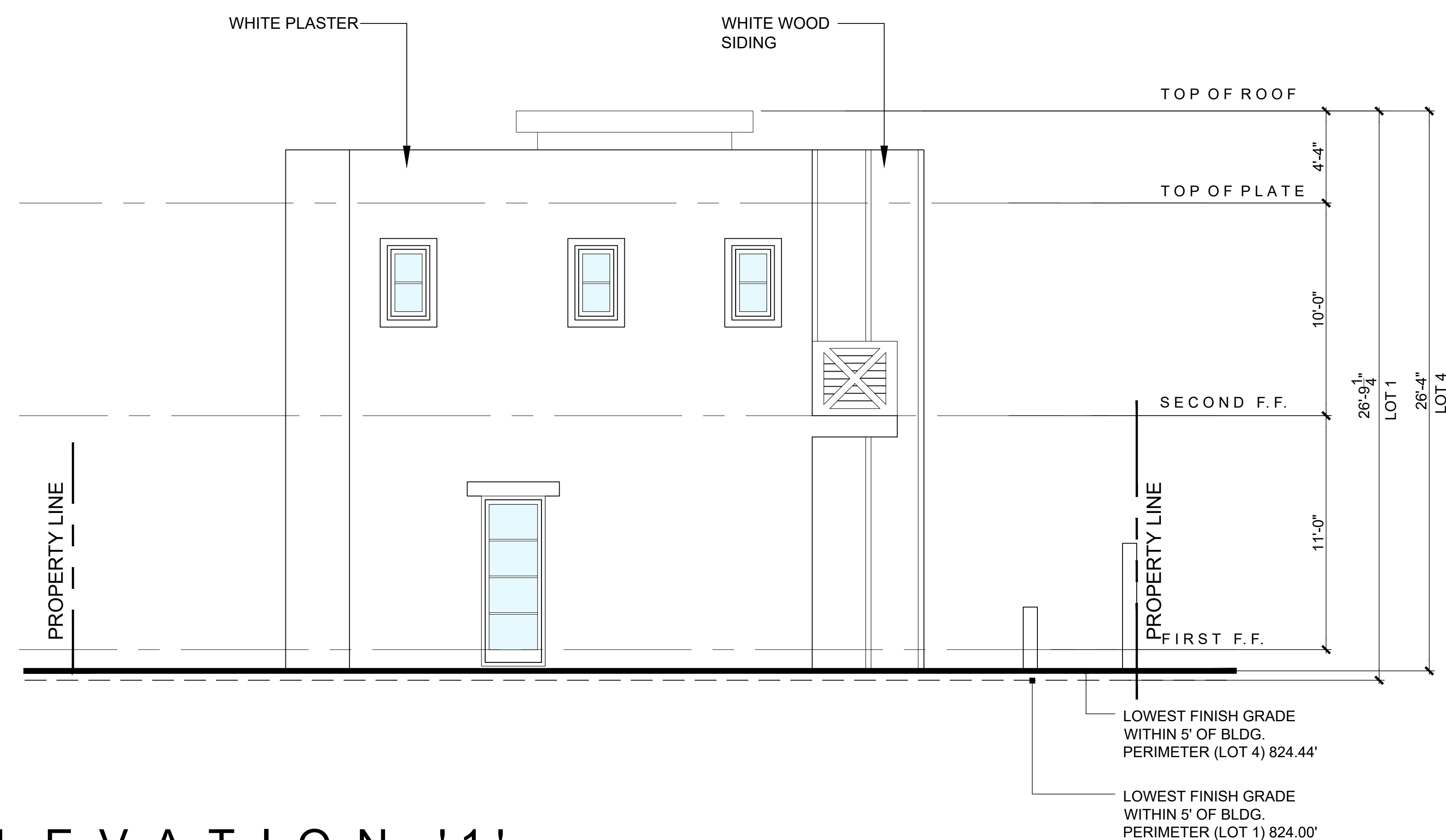


ELEVATION '4'

SCALE: 1/4" =1'-0"

TYPE 'A'

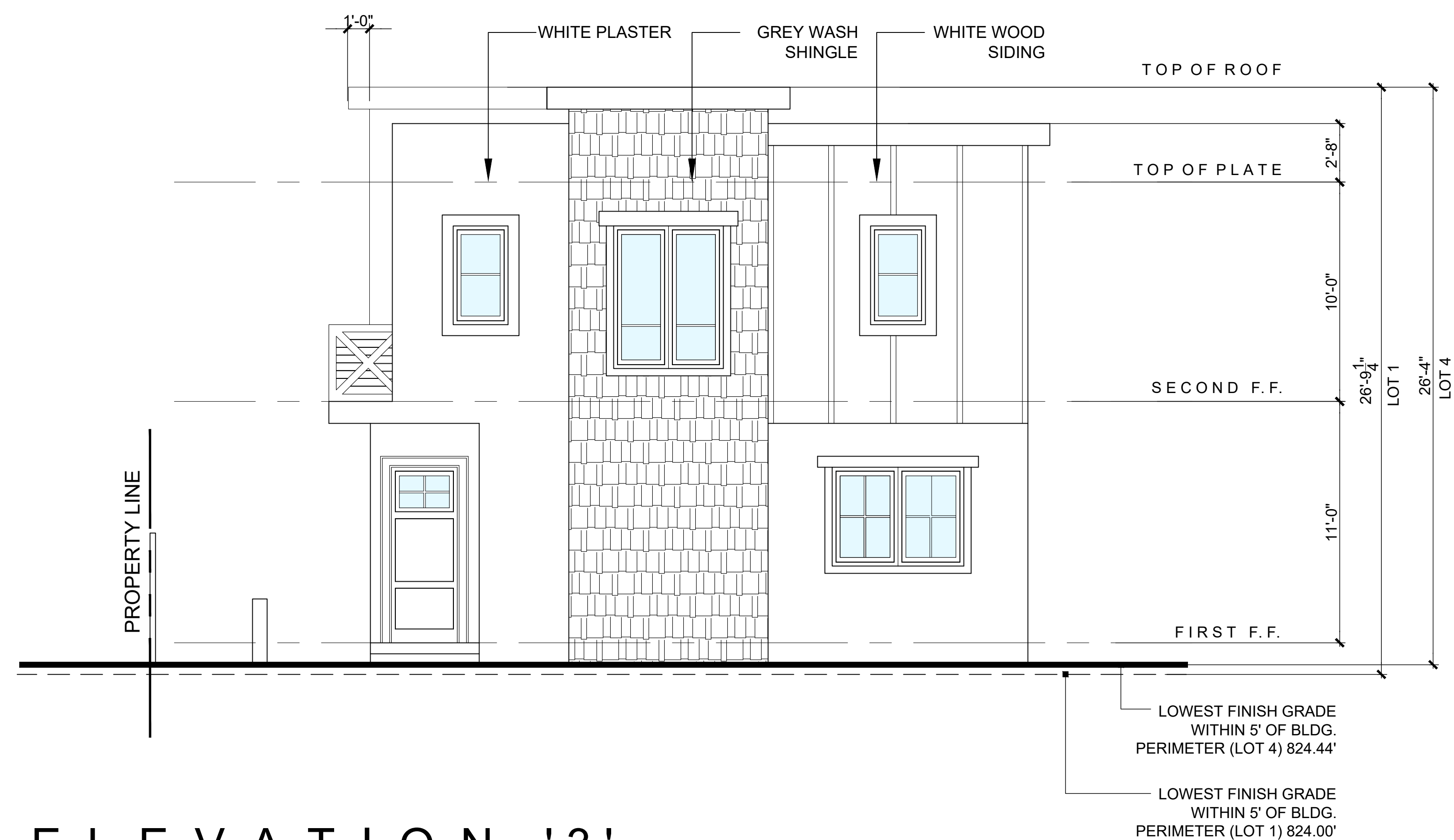




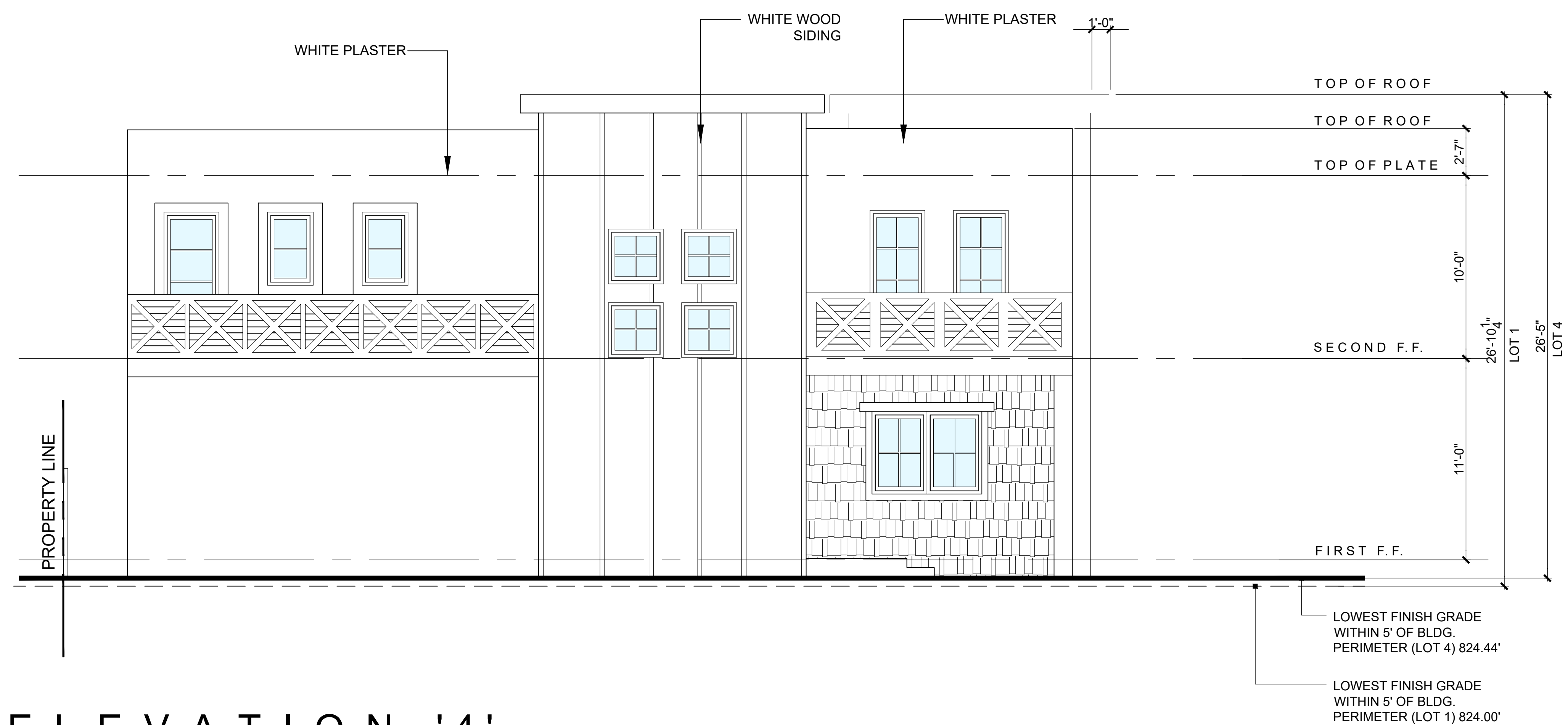
SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

## TYPE 'B'

SAMMIE  
TABRIZI  
ARCHITECT

4419 TYRONE AVENUE.  
SHERMAN OAKS. CA. 91423

PROJECT:

SMALL LOT SUBDIVISION  
5 PRIVATE RESIDENCES  
20012 CHASE STREET  
WINNETKA, CA 91306

OWNER:

BUSINESS PURPOSE FUNDING INC.  
15206 VENTURA BOULEVARD, #206  
SHERMAN OAKS, CA 91403

NOT FOR CONSTRUCTION

[illegible]

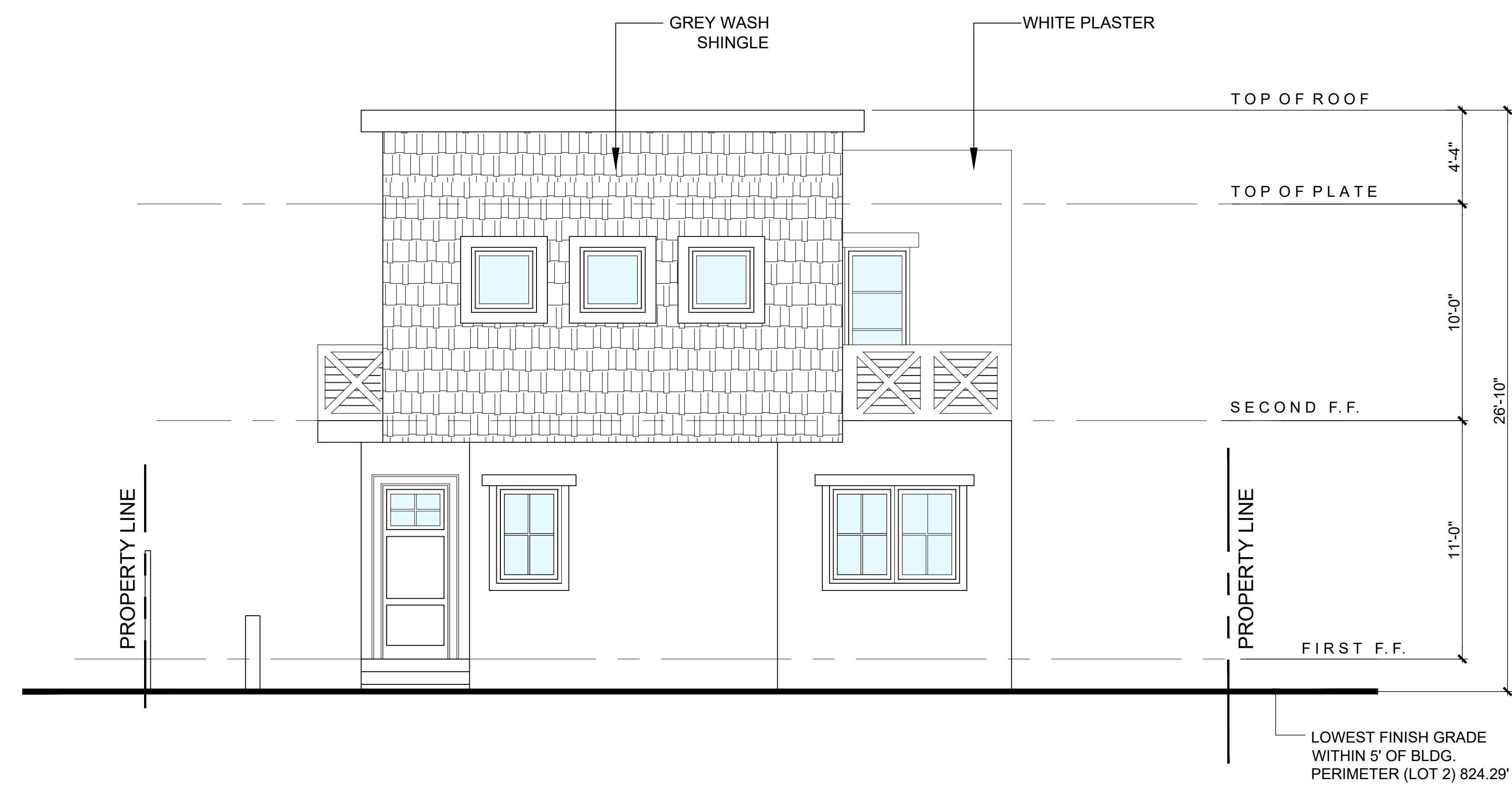
CHECKED BY	DATE
DRAWN BY	JOB NUMBER

SHEET TITLE

ELEVATIONS  
TYPE 'B'

SHEET NUMBER

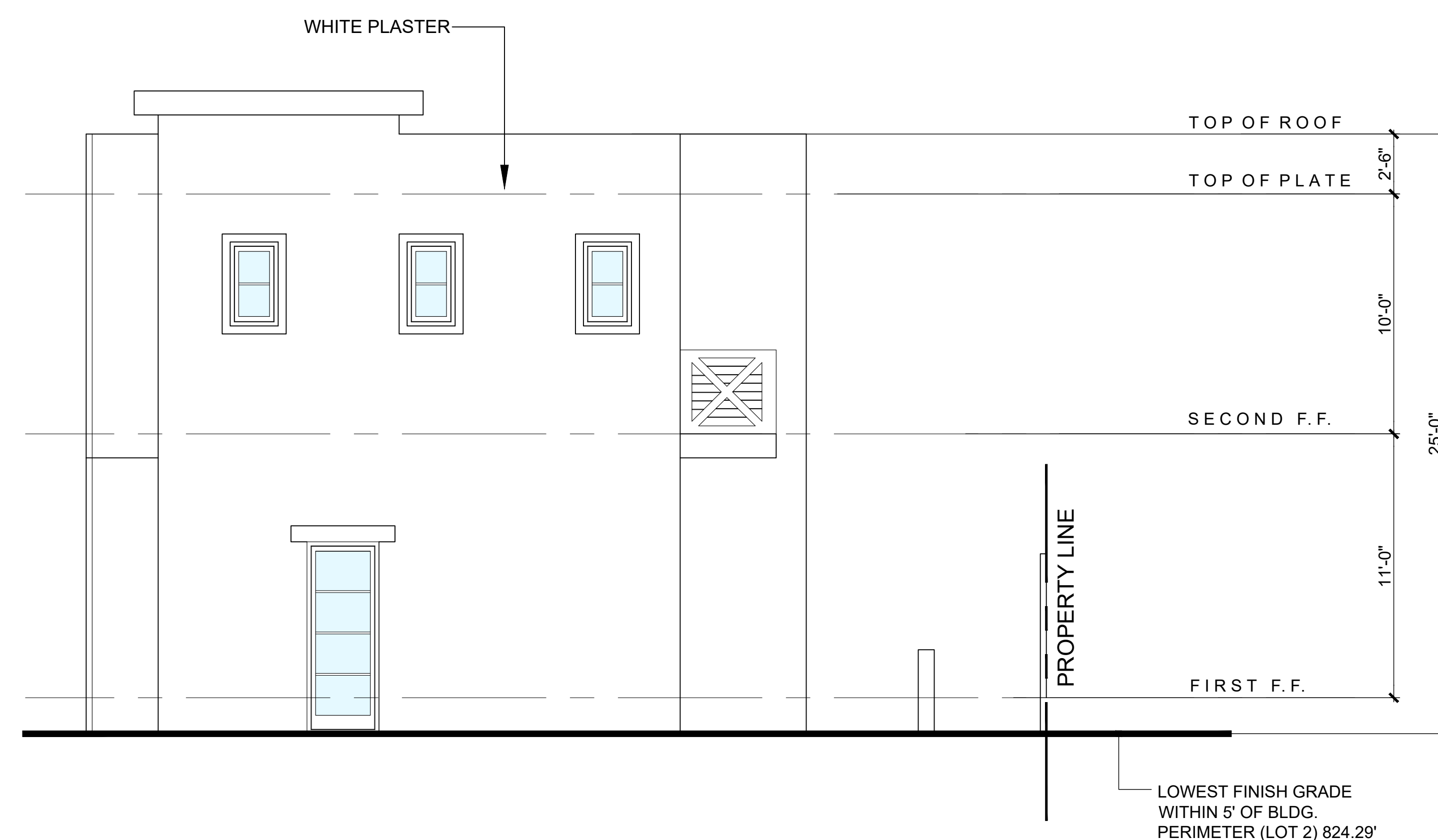
### A3.2



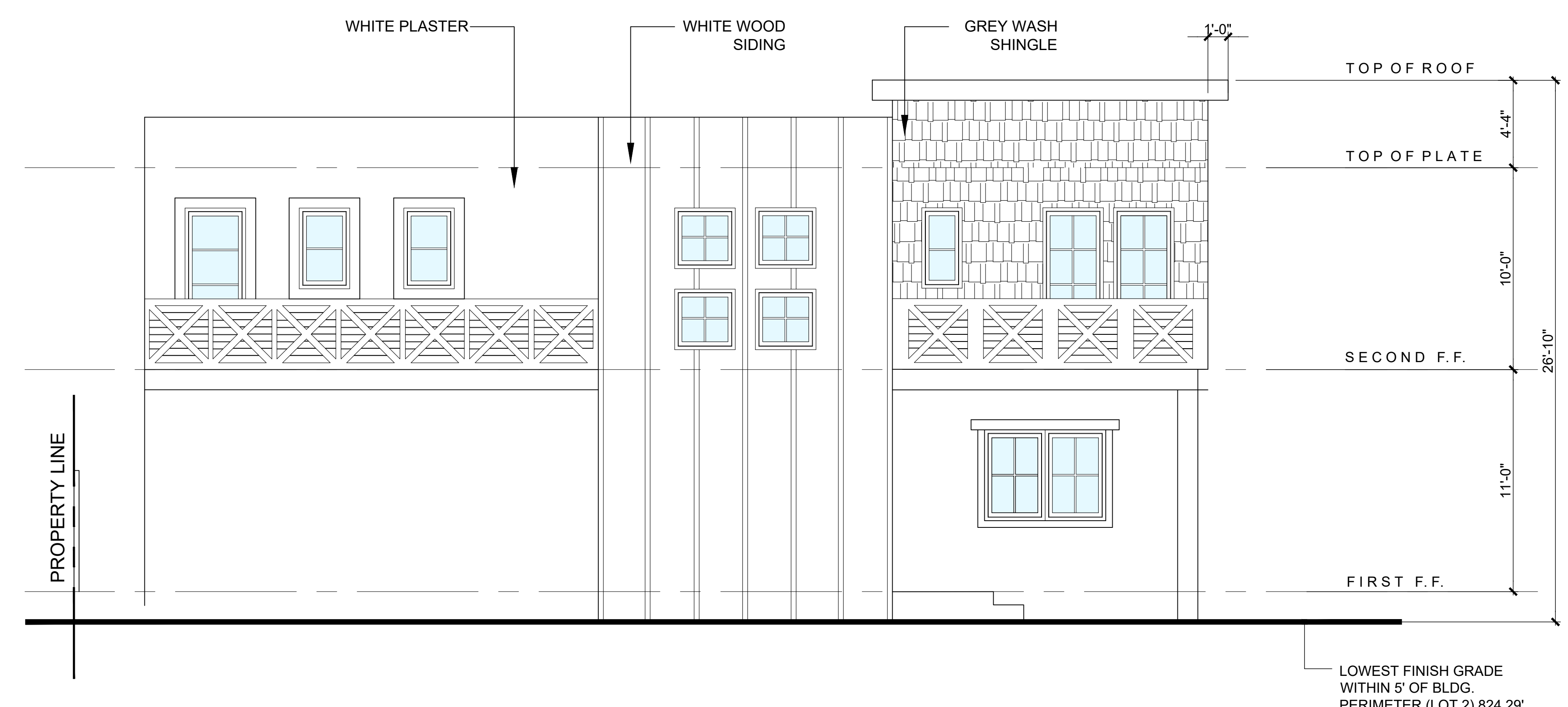
SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

## TYPE 'C'

SAMMIE  
TABRIZI  
ARCHITECT

4419 TYRONE AVENUE.  
SHERMAN OAKS. CA. 91423

PROJECT: \_\_\_\_\_

SMALL LOT SUBDIVISION  
5 PRIVATE RESIDENCES  
20012 CHASE STREET  
WINNETKA, CA 91306

OWNER: \_\_\_\_\_

BUSINESS PURPOSE FUNDING INC.  
15206 VENTURA BOULEVARD, #206  
SHERMAN OAKS, CA 91403

NOT FOR CONSTRUCTION

[illegible]

CHECKED BY	DATE
DRAWN BY	JOB NUMBER

DRAWN BY	JOB NUMBER

SHEET TITLE

ELEVATIONS  
TYPE 'C'

SHEET NUMBER

### A3.3



CONSTRUCTION			PRE-CONSTRUCTION	
REV.	BULLETIN	DATE	ISSUED FOR	DATE

CHECKED BY

DATE

DRAWN BY

JOB NUMBER

SHEET TITLE

MATERIALS  
LEGEND

LA HABRA PLASTER FINISH IN 'CRYSTAL WHITE'



HARDIBOARD FIBER EXTERIOR SIDING IN 'ARCTIC WHITE'



BRAVA CEDAR WOOD SIDING IN 'ASPEN'



EL DORADO STONE TUNDRA BRICK IN 'CHALK DUST'





OWNER:  
BUSINESS PURPOSE FUNDING INC.  
15206 VENTURA BOULEVARD, #206  
SHERMAN OAKS, CA 91403

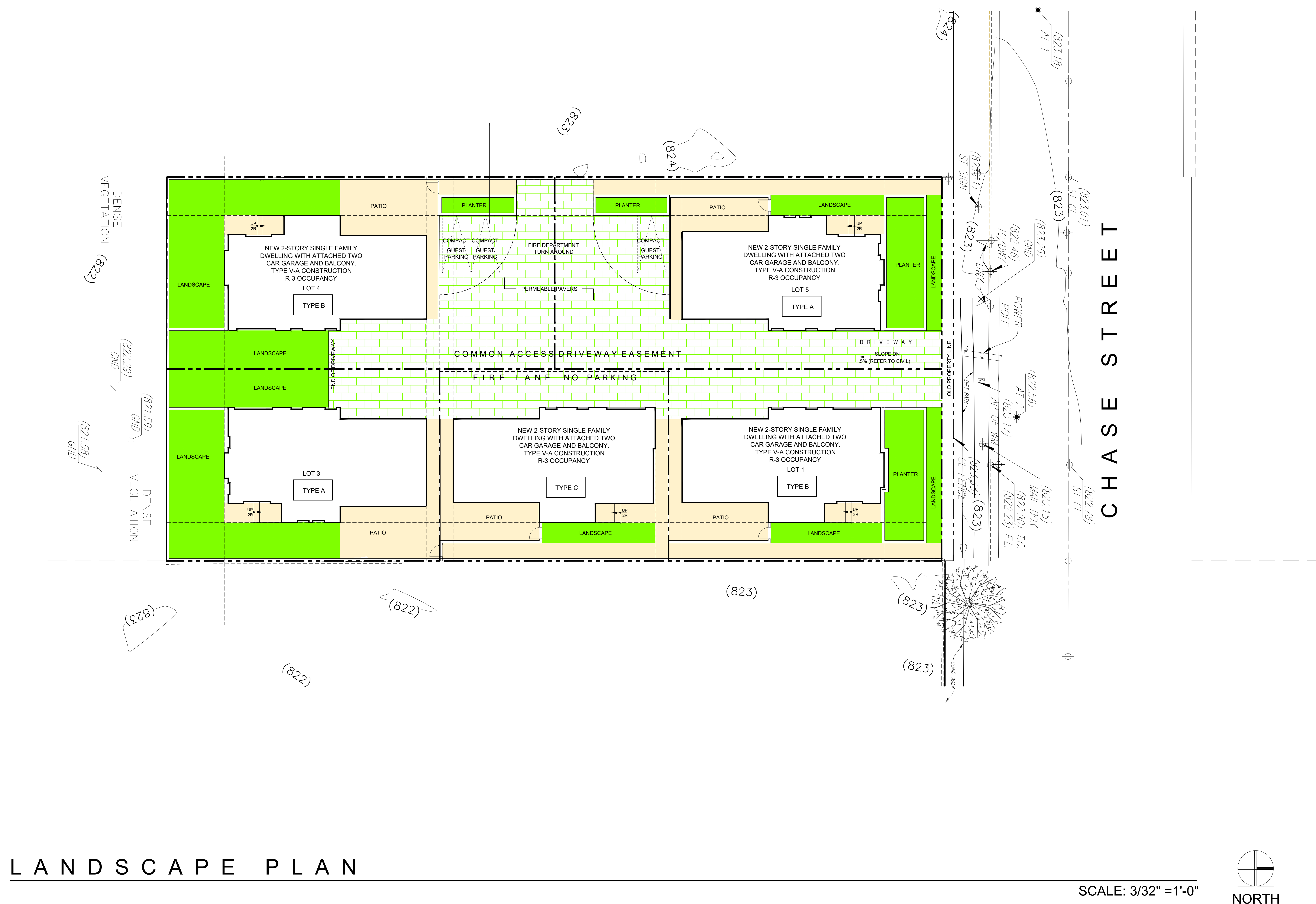
[illegible]

CHECKED BY	DATE
DRAWN BY	JOB NUMBER

SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER 1



# Exhibit C – Environmental Clearance

COUNTY CLERK'S USE

**CITY OF LOS ANGELES**  
OFFICE OF THE CITY CLERK  
200 NORTH SPRING STREET, ROOM 395  
LOS ANGELES, CALIFORNIA 90012  
**CALIFORNIA ENVIRONMENTAL QUALITY ACT**  
**NOTICE OF EXEMPTION**  
(PRC Section 21152; CEQA Guidelines Section 15062)

Pursuant to Public Resources Code § 21152(b) and CEQA Guidelines § 15062, the notice should be posted with the County Clerk by mailing the form and posting fee payment to the following address: Los Angeles County Clerk/Recorder, Environmental Notices, P.O. Box 1208, Norwalk, CA 90650. Pursuant to Public Resources Code § 21167 (d), the posting of this notice starts a 35-day statute of limitations on court challenges to reliance on an exemption for the project. Failure to file this notice as provided above, results in the statute of limitations being extended to 180 days.

PARENT CASE NUMBER(S) / REQUESTED ENTITLEMENTS APCNV-2022-8497-VZC/VT-83673-SL-HCA	SCH NUMBER
LEAD CITY AGENCY <b>City of Los Angeles (Department of City Planning)</b>	CASE NUMBER ENV-2022-8498-CE
PROJECT TITLE 20012 West Chase Street	COUNCIL DISTRICT 3 - Blumenfield
PROJECT LOCATION (Street Address and Cross Streets and/or Attached Map) <b>20012 West Chase Street</b>	<input type="checkbox"/> Map attached.
PROJECT DESCRIPTION: The project involves the demolition of a single-family dwelling for the construction of five single-family homes, each on a separate small lot. The residences will be accessed by a central common access driveway with one curb cut on Chase Street. The small lot homes will reach a maximum height of 26 feet 10 inches, and range in size from 2,145 square feet to 2,170 square feet. The project will provide 13 parking spaces (two per unit and three guest parking spaces). The site has one protected shrub on the site. The project proposes replacing six (6) non-protected trees and four (4) protected shrubs. Each protected shrub will be replaced at a ratio of 4:1 and each non-protected tree will be replaced at a 1:1 ratio.	
NAME OF APPLICANT / OWNER: <b>Sammie Tabrizi</b>	
CONTACT PERSON (If different from Applicant/Owner above) <b>Eric Lieberman</b>	(AREA CODE) TELEPHONE NUMBER   EXT. (818) 997-8033

EXEMPT STATUS: (Check all boxes, and include all exemptions, that apply and provide relevant citations.)

## STATE CEQA STATUTE &amp; GUIDELINES

- ☐ STATUTORY EXEMPTION(S)  
Public Resources Code Section(s) \_\_\_\_\_
- ☒ CATEGORICAL EXEMPTION(S) (State CEQA Guidelines Sec. 15301-15333 / Class 1-Class 33)  
CEQA Guideline Section(s) / Class(es) 15332 (Class 32) – In-Fill Development Projects
- ☐ OTHER BASIS FOR EXEMPTION (E.g., CEQA Guidelines Section 15061(b)(3) or (b)(4) or Section 15378(b) )  
\_\_\_\_\_

JUSTIFICATION FOR PROJECT EXEMPTION:

☐ Additional page(s) attached

Please see the attached Class 32 Justification.

- ☒ None of the exceptions in CEQA Guidelines Section 15300.2 to the categorical exemption(s) apply to the Project.
- ☐ The project is identified in one or more of the list of activities in the City of Los Angeles CEQA Guidelines as cited in the justification.

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT ISSUED BY THE CITY PLANNING DEPARTMENT STATING THAT THE DEPARTMENT HAS FOUND THE PROJECT TO BE EXEMPT.

If different from the applicant, the identity of the person undertaking the project.

**CITY STAFF USE ONLY:**

CITY STAFF NAME AND SIGNATURE Correy Kitchens, <i>Correy Kitchens</i> <i>OK</i> <i>6/27/2025</i>	STAFF TITLE City Planning Associate
ENTITLEMENTS APPROVED Vesting Tract Map & Zone Change	

DISTRIBUTION: County Clerk, Agency Record

Rev. 1-30-2025

**DEPARTMENT OF  
CITY PLANNING**

COMMISSION OFFICE  
(213) 978-1300

**CITY PLANNING COMMISSION**

MONIQUE LAWSHE  
PRESIDENT

MICHAEL R. NEWHOUSE  
VICE-PRESIDENT

MARIA CABILDO  
CAROLINE CHOE  
MARTINA DIAZ  
PHYLLIS KLEIN  
KAREN MACK  
JACOB SAITMAN  
ELIZABETH ZAMORA

**CITY OF LOS ANGELES  
CALIFORNIA**



KAREN BASS  
MAYOR

**EXECUTIVE OFFICES**

200 N. SPRING STREET, ROOM 525  
LOS ANGELES, CA 90012-4801  
(213) 978-1271

VINCENT P. BERTONI, AICP  
DIRECTOR

KEVIN J. KELLER, AICP  
EXECUTIVE OFFICER

SHANA M.M. BONSTIN  
DEPUTY DIRECTOR

HAYDEE URITA-LOPEZ  
DEPUTY DIRECTOR

ARTHI L. VARMA, AICP  
DEPUTY DIRECTOR

LISA M. WEBBER, AICP  
DEPUTY DIRECTOR

## JUSTIFICATION FOR PROJECT EXEMPTION CASE NO. ENV-2022-8498-CE

On February 25, 2025, the Planning Department determined that the City of Los Angeles Guidelines for the implementation of the California Environmental Quality Act of 1970 and the State CEQA Guidelines designate the subject project as Categorically Exempt under Article 19, Section 15332, Class 32.

A project qualifies for a Class 32 Categorical Exemption if it is developed on an infill site and meets the following criteria:

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations;
- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses;
- (c) The project site has no value as habitat for endangered, rare or threatened species;
- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and
- (e) The site can be adequately served by all required utilities and public services.

The project is a Small Lot Subdivision of one lot into five small lots, for the construction of five single-family homes, one on each proposed Small Lot pursuant to VTT-83673-SL-HCA. The project also includes a Zone Change from RA-1 to (T)(Q)RD4-1 to allow the density of five small lot single homes pursuant to Case No. APCNV-2022-8497-VZC (Vesting Zone Change).

The site is comprised of one lot with a total area of 20,499 square feet. The lot is currently developed with a single-family residence. The project proposes the construction of five single-family homes with a proposed maximum height of 26 feet and 10 inches. Lots 1, 3, 4 and 5 will include a two-story, 2,710 square foot single-family dwelling. Lot 2 will include a two-story, 2,145 square foot dwelling. The proposed unit density is based on the RD4 Zone (Restricted Multi-family) which permits one unit for every 4,000 square feet of lot area. Access to the residential subdivision will be by means of a proposed 20-foot wide community driveway accessed off Chase Street. Eight hundred sixty cubic yards of on-site grading are proposed. As a five lot single-family residential Small Lot Subdivision, the project is characterized as in-fill development, thereby, the project qualifies for the Class 32 Categorical Exemption.

The site is currently zoned RA-1 and has a General Plan Land Use Designation of Low Medium I Residential. As shown in the case file, the project is consistent with the applicable Chatsworth – Porter Ranch Community Plan designation and policies and all applicable zoning designations and regulations. The subject site is within the City of Los Angeles boundaries, on a site that is approximately 0.47 acres. Lots adjacent to the subject site are developed with the following urban uses: one-story single-family uses to the east and southeast; a small lot subdivision with nine one- to two-story single-family dwellings to the west; and a mix of one-story single-family residential uses and a house of worship use to the north across Chase Street. The site is previously disturbed and surrounded by development and therefore is not, and has no value as, a habitat for endangered, rare or threatened species. In a Tree Report prepared by Leonard Markowitz on March 25, 2022 and reviewed by the Urban Forestry Division on November 8, 2022, based on the required removals, the landscape architect must replace six non-protected trees and four protected *Sambucus Mexicana* on the site. These trees shall be spotted and located by the landscape architect on the approved landscape plan.

The project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance, pollutant discharge, dewatering, stormwater mitigations; and Best Management Practices for stormwater runoff. These RCMs will ensure the project will not have significant impacts on noise and water. Furthermore, the project does not exceed the threshold criteria established by LADOT and therefore it does not require a traffic study. Therefore, the project will not have any significant impacts to traffic. An Air Quality Study is not required due to the project not exceeding the South Coast Air Quality Management District construction or operational thresholds. The project site will be adequately served by all public utilities and services given that the construction of a five unit Small Lot Subdivision will be on a site which has been previously developed and as stated above, is consistent with the General Plan. Therefore, the project meets all of the Criteria for the Class 32.

#### Exceptions Narrative for Class 32 Categorical Exemption

There are five (5) Exceptions which must be considered in order to find a project exempt under Class 32: (a) Cumulative Impacts; (b) Significant Effect; (c) Scenic Highways; (d) Hazardous Waste Sites; and (e) Historical Resources.

The project is for the construction of five single-family small lot homes that are two stories in height with two covered parking spaces each, a maximum height of 26 feet 6 inches, and ranging from 2,145 square feet to 2,170 square-feet of floor area in size, for a total of 10,850 square-feet of floor area. The subject site is currently developed with a single-family home proposed for demolition. There are similar projects on this block of Chase Street between Penfield Avenue and Winnetka Avenue, so the project does not create a cumulative impact of known projects of the same type. Therefore, in conjunction with Citywide Regulatory Compliance Measures (RCMs) and compliance with other applicable regulations, no foreseeable cumulative impacts are expected.

As mentioned, the project proposes five single-family small lot homes in an area established and designated for such a development. All adjacent lots are developed with similarly-scaled residential uses – with one-story single-family uses to the east and southeast; a small lot subdivision of nine one- to two-story single-family dwellings to the west; and a mix of one-story single-family residential uses and house of worship use to the north across Chase Street. The subject site is also of a similar size and slope to nearby properties. The project proposes a Floor Area Ratio (FAR) of no higher than 0.6:1 on for the five proposed small lots a site that is permitted to have a maximum FAR of 3:1 per the proposed RD4-1 Zone. The proposed two-story single-family dwellings are not unusual for the vicinity of the subject site, and are similar in scope and character to other existing low- to medium-density residential land uses in the area. Thus, there are no unusual circumstances which may lead to a significant effect on the environment.

Additionally, the only State Scenic Highway within the City of Los Angeles is the Topanga Canyon State Scenic Highway, State Route 27, which travels through a portion of Topanga State Park. The State Scenic Highway is located approximately 12 miles away from the project. Therefore, the subject site will not create any impacts within a designated state scenic highway. Furthermore, according to Envirostor, the State of California's database of Hazardous Waste Sites, neither the subject site, nor any site in the vicinity, is identified as a hazardous waste site. The project site has not been identified as a historic resource by local or state agencies, and the project site has not been determined to be eligible for listing in the National Register of Historic Places, California Register of Historical Resources, the Los Angeles Historic-Cultural Monuments Register, and/or any local register; and was not found to be a potential historic resource based on the City's HistoricPlacesLA website or SurveyLA, the citywide survey of Los Angeles. Finally, the City does not treat the site as a historic resource.



22010-1000-0978  
01982

1. Tree Expert:

Leonard Markowitz, Certified Arborist # WE 0342, PCA # 070070  
1684 Meander Dr. Simi Valley, CA 93065 lenmtree@aol.com (805) 813-2134

2. Prepared By: Len Markowitz

3: Prepared for: Business Purpose Funding Inc.

Email: Phone: 323-945-  
carloszecena@yahoo.com 5434  
Address: 15206 Ventura Blvd., Ste. 209  
Sherman Oaks CA 91403

4. APN #: 2782-010-013

Location/geographic description: 20012 Chase St. Winnetka, Ca. The north 205 feet of lot 8, of tract 8740, in the City of Los Angeles, State of California, as per map recorded in book 127 pages 75-76 of maps, records of Los Angeles County.

5. Date Prepared: 3-25-2022

6. Date Inspected: 2-10-2022

Date Trees Tagged: 2-10-2022

7. PTR Purpose:

The City of Los Angeles planner has asked to conduct a tree report which includes the location, type, size, and general condition of trees and shrubs on-site and within public r-o-w.

This report is being prepared at the request of the City of Los Angeles Board of Public Works and in accordance with the City of Los Angeles Protected Tree and Shrub Ordinance No.186,873

8. Table of Contents listed below this table

9. Project Description and Background: Development of a five (5) Lot Subdivision with 10 residential parking spaces and 3 guest spaces. Vesting Tentative Tract for Small Lot Subdivision and Vesting Zone Change from RA-1 to (T)(Q)RD4-1. The Project will involve the demolition of one single family residence.

10: Square footage

Entire property: 20,499 Sq. Ft.

Existing Footprint: 924 sq. ft.

Proposed Footprint: 4,129.22  
Sq. Ft.

**REVIEWED  
BY**

Table of contents:

Summary of report

Field Observations

Recommendations and Mitigations

Protected tree construction impact guidelines

Summary of Field Observations (protected trees)

Proposed protected tree removals

Current Licenses and certificates

Tree List

Photos of trees

All other documents pertaining to this Report-Tree Map

Page 2

Page 2

Page 2

Page 3

Page 2-6


Page 7

Page 8

Page 8

Page 9- 28

Page 29-30

  
Bryan Ramirez, St. Tree Superintendent  
Urban Forestry Division  
Reviewing Tree Report Only  
Review of report does not  
indicate UFD approval for  
any tree removal



If protected tree report is accepted, a Tree removal permit from [www.MyLA311.com](http://www.MyLA311.com) will be required for removals or planting in the parkway.

**Report Summary:** I was asked to review this site for protected trees per City of Los Angeles protected tree ordinance. I arrived at the site on 2-10-2022 at 9 am. The site has one (1) protected variety of Shrub, *Sambucus mexicana*, the 14 other trees are not protected varieties. All 14 trees will have to be removed for construction of the 5 proposed residential homes. The site has numerous smaller trees, and shrubs that will have to be removed but are not discussed in this report.

The site has 2 off-site street trees 1 to the west. A protected *Quercus agrifolia*. 1 to the east a leaning *Lagerstroemia indica*. The *Quercus* to the west, 20004 Chase St., has a chain-link fence around the trunk for protection, please see page 26.

All off sites trees are noted on the tree map.

Leonard Markowitz

Certified Arborist

**Field Observations:**

- Site review 2-10-2022, 9 AM.
- This a single family dwelling on approx. ½ acre of land, the overall landscape is very mature and overgrown. The site has 14 trees and 1 shrub (*Sambucus mexicana*) which meet review requirements. All 15 plants will have to be removed for construction. 6 of these larger trees are nut trees and are not ornamentals. These trees should not be replaced because of tree removals. The Elderberry (*Sambucus*) is very decayed with many dead and broken limbs. It is a safety hazard in its present state and needs removal.
- There are not any protected varieties on abutting address. See tree map for variety and locations.

**Recommendations and Mitigations:**

Based on the required removals, the landscape architect must replace six (6) non protected trees and four (4) protected *Sambucus mexicana* on the site. These trees shall be spotted and located by the landscape architect on the approved landscape plan. Urban Forestry should review the *Lagerstroemia* east of property for stability, health and vigor. There are not any existing parkway trees in front of this address.

**Protected tree construction impact guidelines:**

It is the goal of the City of the City of Los Angeles Protected Tree and Shrub Ordinance – No.186, 873 to curb the destruction of our beautiful California native oaks (*Quercus* sp.), Western Sycamores (*Platanus racemose*), Southern California Black walnuts (*Juglans californica*), and California bay tree (*Umbellularia californica*), (Mexican elderberry) *Sambucus mexicana* and (Toyan) *Heteromeles arbutifolia*, preserve the natural environment, and protect the City's plant life heritage.

The city of Los Angeles requires the following information to be present in every tree and shrub report submitted.

The following are general and specific Protected Tree and Shrub care guidelines:

**A. Control of Diseases and Pests**

California native Oaks, Western sycamores, Southern California black walnut, and California bay tree are susceptible to numerous, indigenous insect pests and should be monitored regularly for possible damaging infestations.

During my visual, above-ground inspection I found no sign of Oak Root Fungus (*Armillaria mellea*). Bleeding Canker Disease (*Phytophthora cactorum*) was not found. Note: Oak Root Fungus is the most serious problem of oaks in landscape settings (annual root collar inspections are recommended as a preventative measure).

**B. Protective Fencing During Grading or Construction**

Equipment damage to the limbs, trunks, and roots must be avoided. Protected trees should be given as much space as possible free from vehicle compaction and construction encroachments. Protective fencing is recommended to help prevent construction encroachments within the dripline of any native Protected Tree listed to remain. Fencing must be in place before construction begins (refer to "Mitigation Measures"). Fencing should be installed as close to the dripline as possible. The fencing is to remain in place until the project has been completed. The Project Arborist should inspect the trees and fencing at the completion of the project prior to dismantling the fencing.

**C. Methods and Frequency of Pruning**

California native Oak, Western sycamore trees, Southern California black walnut, California bay tree will grow beyond their ability to support themselves and may fail at a main crotch or limb attachment if not pruned for weight reduction. Oaks, and sycamores, black walnuts and bay trees in a residential or public setting must be maintained for public safety as well as tree longevity. Corrective pruning, thinning, raising, and deadwood removal should be accomplished every 3 - 5 years by Certified Tree Workers

or Certified Arborists. Large oaks and sycamores, black walnuts and bay trees should be inspected on an annual basis for health and structural integrity. Installing support cables can help to prevent main crotch failures. These trees should be diligently maintained to help prevent limb or main crotch failures. All pruning should be performed in accordance with ANSI. A-300 Pruning Standards.

**D. Frequency of Watering**

California native Oaks, Southern California black walnut, Western sycamores and California bay tree and native plants have the inherent ability to survive through the cyclical droughts of our region and generally do not require supplemental irrigation. Oaks in residential settings are susceptible to serious problems from over-watering. Care should be taken to avoid placing any sprinkler devices within watering distance to the trunks of any oak. Grass or ground covers must not be planted next to the trunks. Residential oaks would benefit from a deep-watering during the months of June and/or November during years of drought conditions. A twelve-hour, slow application with a "soaker-hose" is an effective method of deep-watering.

**E. Grading Restrictions Near the Driplines**

Care must be taken to limit grade changes near the trunk areas. If possible, the grade should not be lowered or raised around oaks during construction activities. Note: even a 2" raise of grade at the root collar could result in an Oak Root Fungus infection. The soil level must be lowered if the root flare or collar is not visible. Trenching within the dripline should be avoided if possible. If trenching for utilities is required in this critical zone, the work should be monitored by a Certified Arborist and roots should be tunneled-around and protected.

**F. Mitigation Measures**

As this project proceeds, the following mitigation measures should apply. The Urban Forestry Division will review these recommended measures and concur with or adjust them as needed:

- i. The tags numbering each tree on this site should not be removed until the project is completed. Palms tree are not tagged do to the dead leaf mass on all trunks. Trees are numbered on summary report and pictures attached.
- ii. Clean-cut and treat any roots encountered during trenching that measure 1" diameter or larger. Protect and preserve by tunneling around all roots larger than 1" diameter.

**F. Mitigation Measures (continued)**

- iii. Construction waste-water, i.e., paint products cleaning fluids, thinner, concrete or concrete run-off, plastering materials, etc., should not be allowed to drain within the driplines of any of the trees to remain.
- iv. It is the client/owner's responsibility to notify the Project Arborist to schedule any recommended monitoring of the trees on this site. Monitoring of on-site trees or newly-planted "mitigation" trees is no guarantee of tree survival or long-term tree health.

SUMMARY OF FIELD INSPECTION - Protected Trees / Non Protected Trees																					
Address:		20012 Chase St.		APN: 2782-010-013																	
Date:		2/12/2022		Weather:		clear and cool															
Time:		10:00 AM																			
FORM				PHYSICAL CONDITION											TREATMENT			RATING		RATING CODE	
		SIZE																			
1	Tree Number																				
2	Platanus Racemosa																				
3	Umbellularia Californica																				
4	Juglans Californica																				
5	Quercus Agrifolia																				
6	Trunk Diameter (Inches)																				
7	4.5 ft above base																				
8	Height (Feet)																				
9	Spread (Feet)																				
10	Tree Declining																				
11	Drought Stressed																				
12	Broken Hanging Limb(s)																				
13	Weak Main Crotch(s)																				
14	Sparse Foliage																				
15	Fire Damage																				
16	Cavity(s) in tree																				
17	Trunk Damage or Exudation																				
18	Hollow Trunk or Cavity																				
19	Mainstem Dieback																				
20	Insect Damaged																				
21	Diseased																				
22	Leaning																				
23	Soil Buildup at Base																				
24	Regrown Stump																				
25	Surface Roots																				
26	Safety Hazard																				
27	Safety Prune (Crown Reduction)																				
28	Raise Canopy																				
29	Remove Dead Wood																				
30	Insect Treatment																				
31	Disease Treatment																				
32	Cable / Brace																				
33	Replenish Nutrients																				
34	Health																				
35	Aesthetics & Conformity																				
36	Balance																				
R = Remove for Consistent T = Trained for Trunk NT = Not Trunk BML = Below Main Limb REMARKS																					

20012 CHASE ST.

**TABLE 1: SUMMARY OF DATA (Prescribed trees 4" dia. or larger)**

Total number of Protected trees on map	15
Total number of dead (or nearly dead) Protected trees	1
Total number of Protected trees to be removed not incl. dead trees	1
Total number of Protected trees to be impacted by construction within right-of-way	1
Total number of Protected trees not dead, not removed or impacted	0

**TABLE 2: SCHEDULE OF PROPOSED REMOVALS (Protected trees)**

[illegible]



Exp: 6-31-23



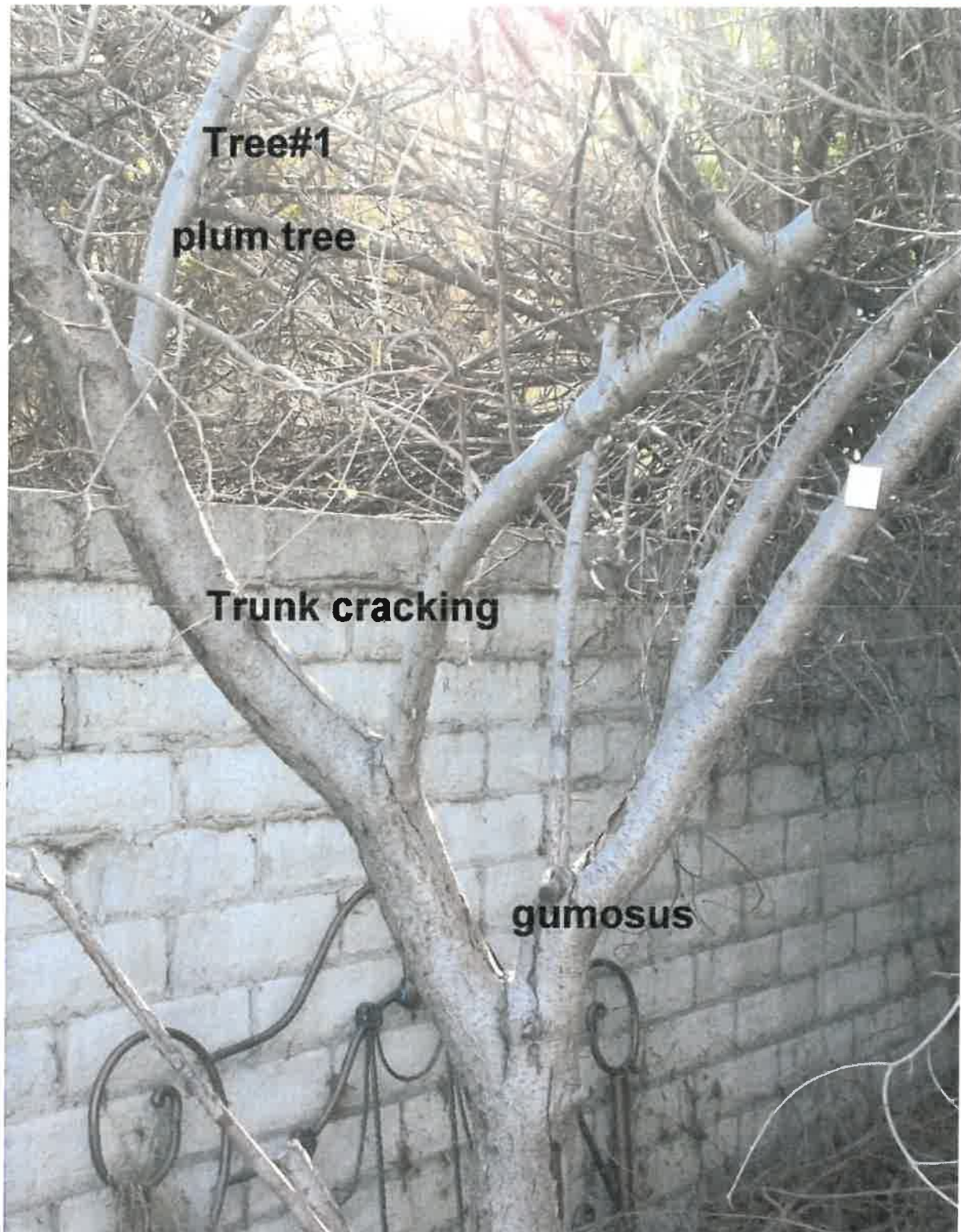
#	Botanical Name	Common Name	DBH"	Height'	Spread'	Health
1.	Prunus	fruiting plum	4",5"	10	12	E
2.	Fraxinus uhedi	Shamel ash	48	50	20	C
3.	Fraxinus uhedi	Shamel ash	50	70	25	C
4.	<b>Sambucus mexicana</b>	<b>Mexican elderberry</b>	<b>40</b>	<b>18</b>	<b>20</b>	<b>E</b>
5.	Fraxinus uhedi	Shamel ash	4,5	12	8	E
6.	Fraxinus uhedi	Shamel ash	4,10,8	40	20	E
7.	Fraxinus uhedi	Shamel ash	3,5,7	40	20	E
8.	Fraxinus uhedi	Shamel ash	6	30	12	E
9.	Carya illinoensis	Pecan tree	15	35	15	E
10.	Carya illinoensis	Pecan tree	6,5	35	15	D
11.	Fraxinus uhedi	Shamel ash	5,5	15	10	D
12.	Carya illinoensis	Pecan tree	10,8	25	18	D
13.	Carya illinoensis	Pecan tree	12,12	20	20	D
14.	Morus nigra	Fruiting mulberry	10,7,10,10	25	25	D
15.	Morus nigra	Fruiting mulberry	3,6,8	25	18	D

**Photographs of trees:**

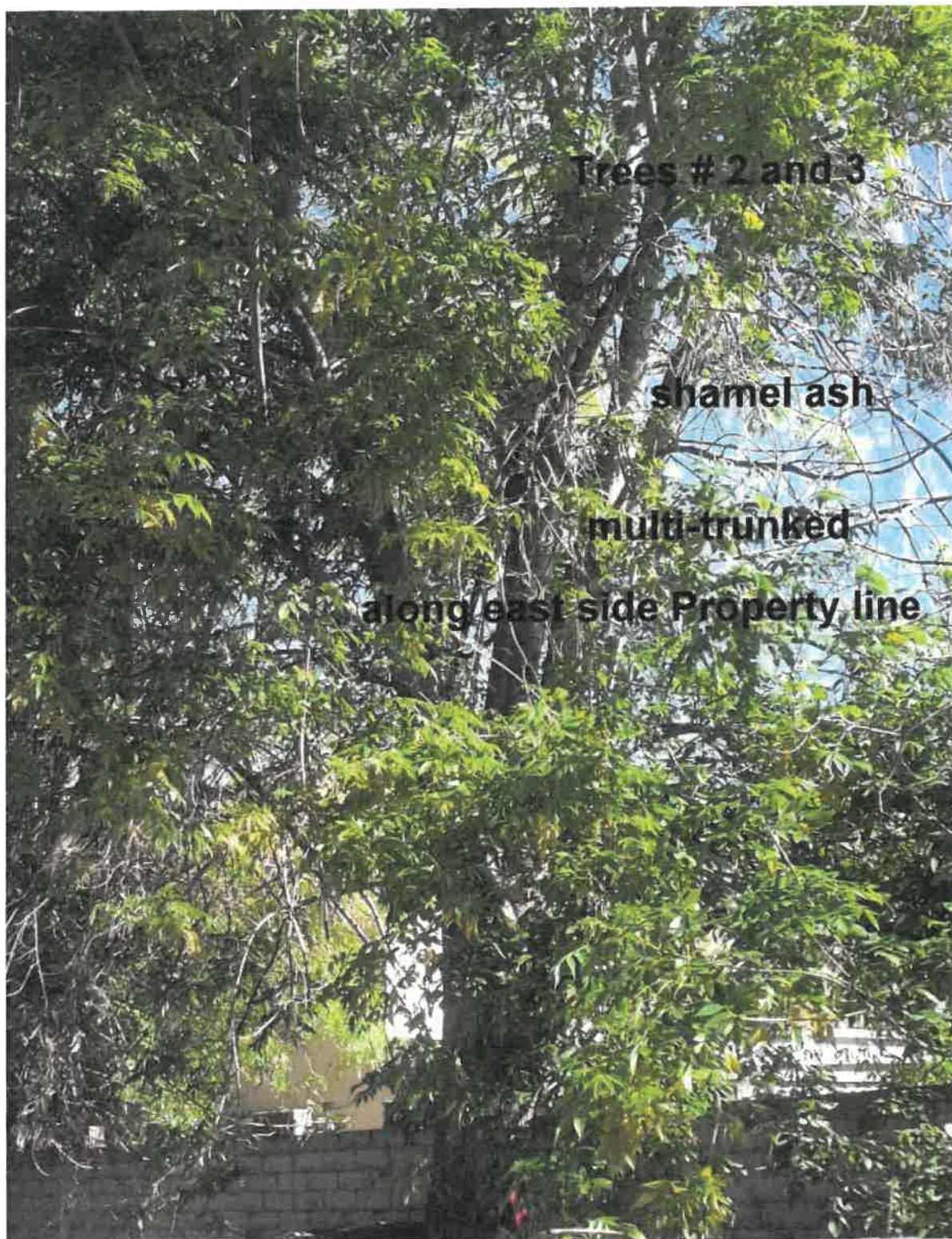
20012 Chase St. looking south















Remove and replace with four approved trees.

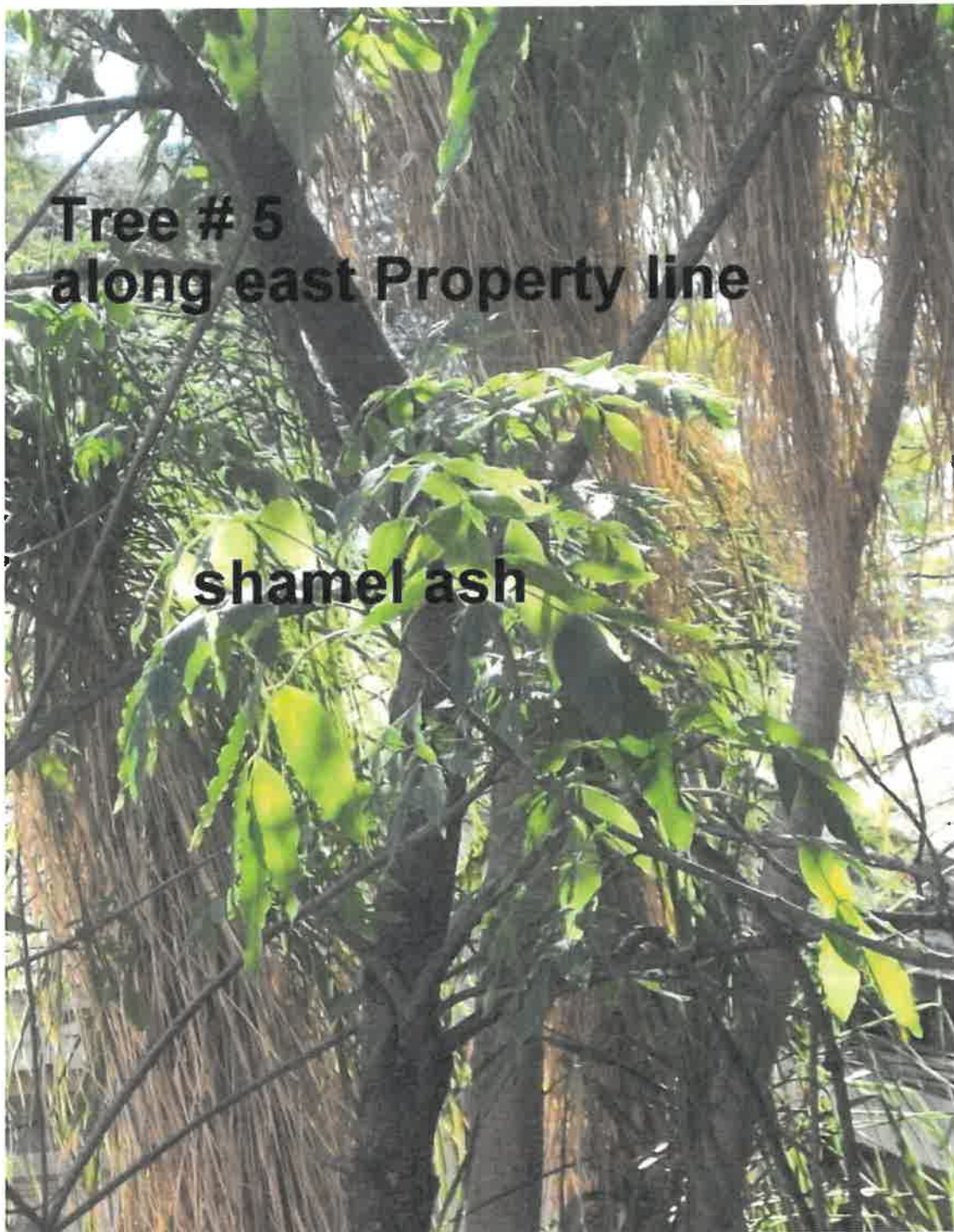




















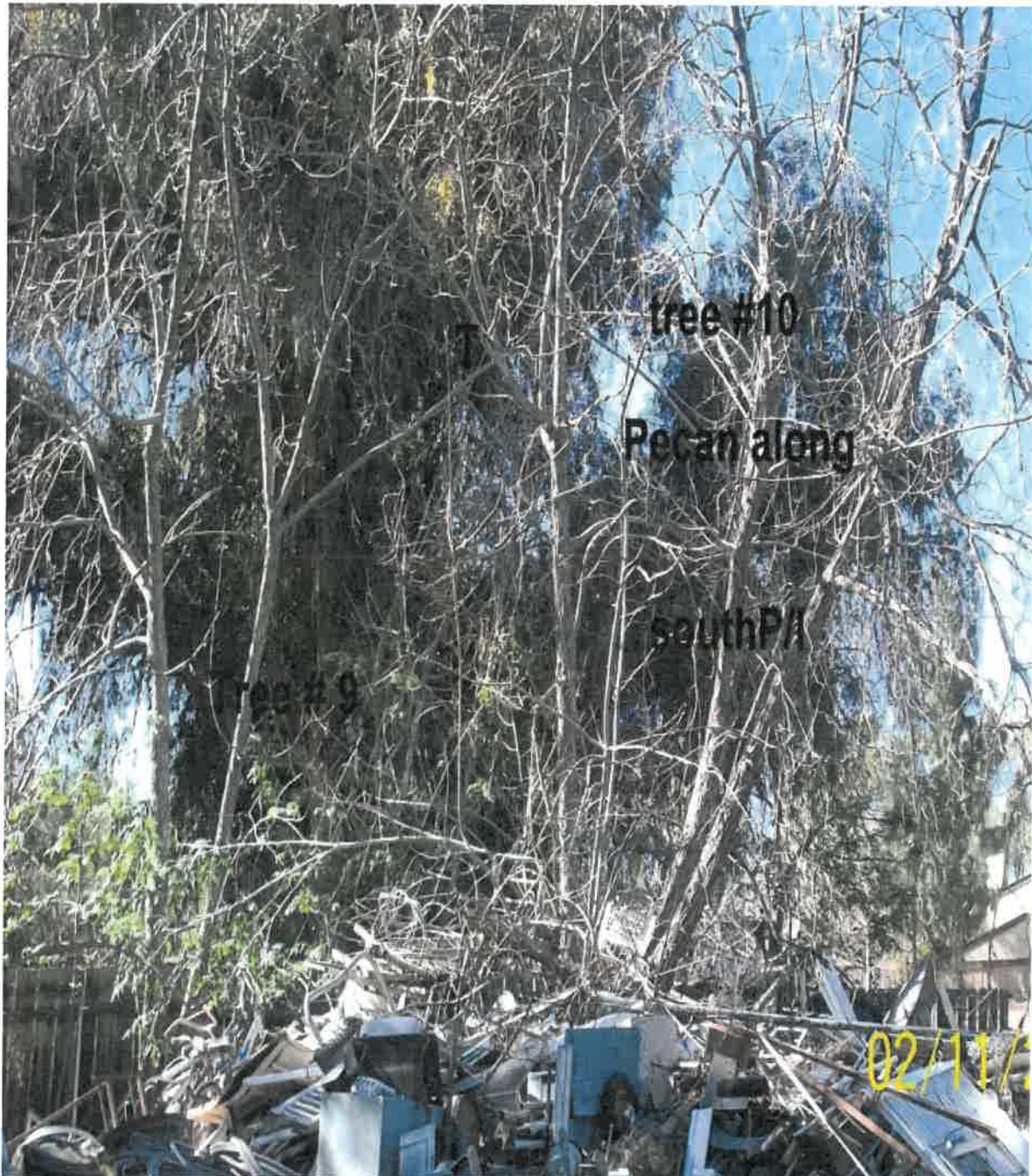












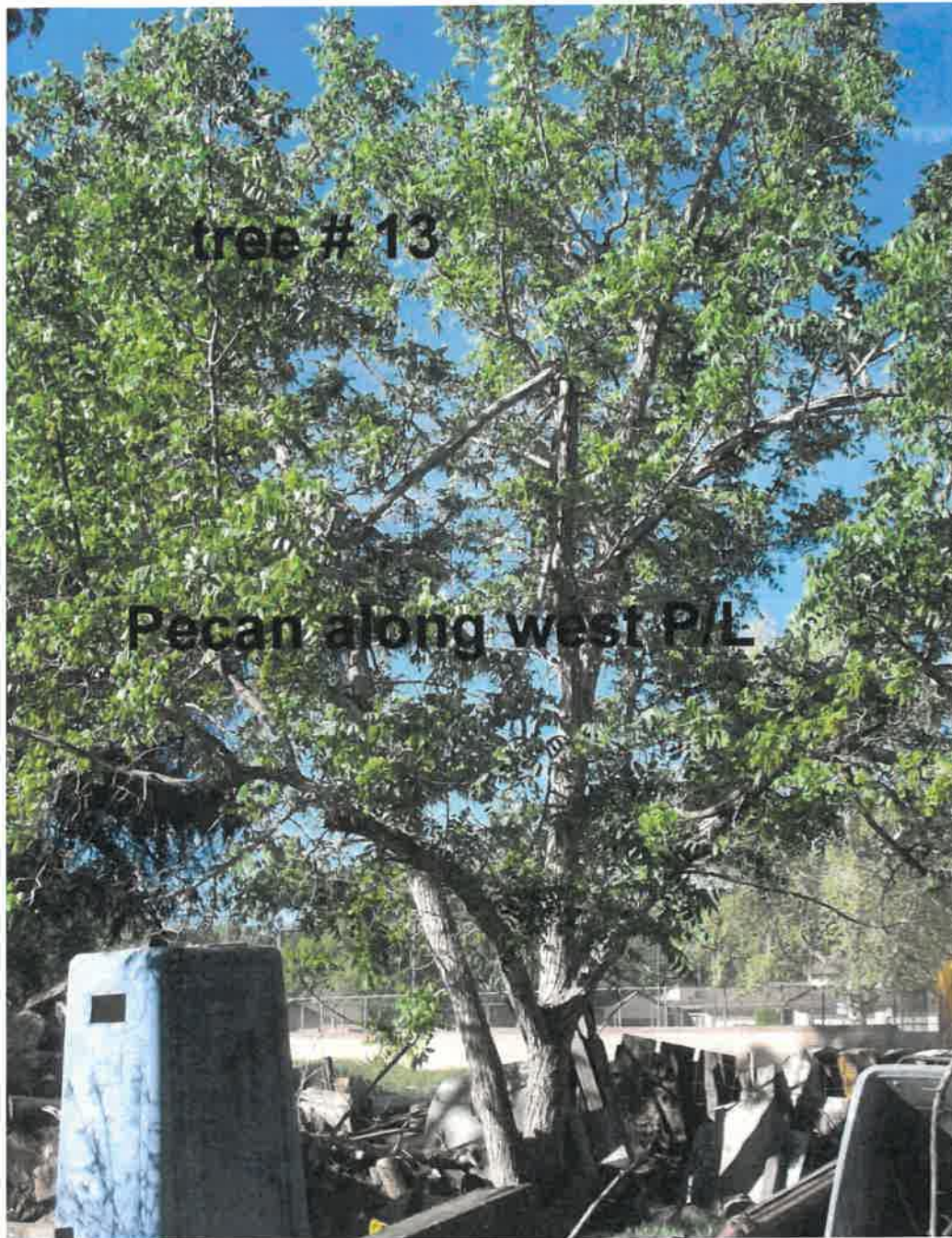








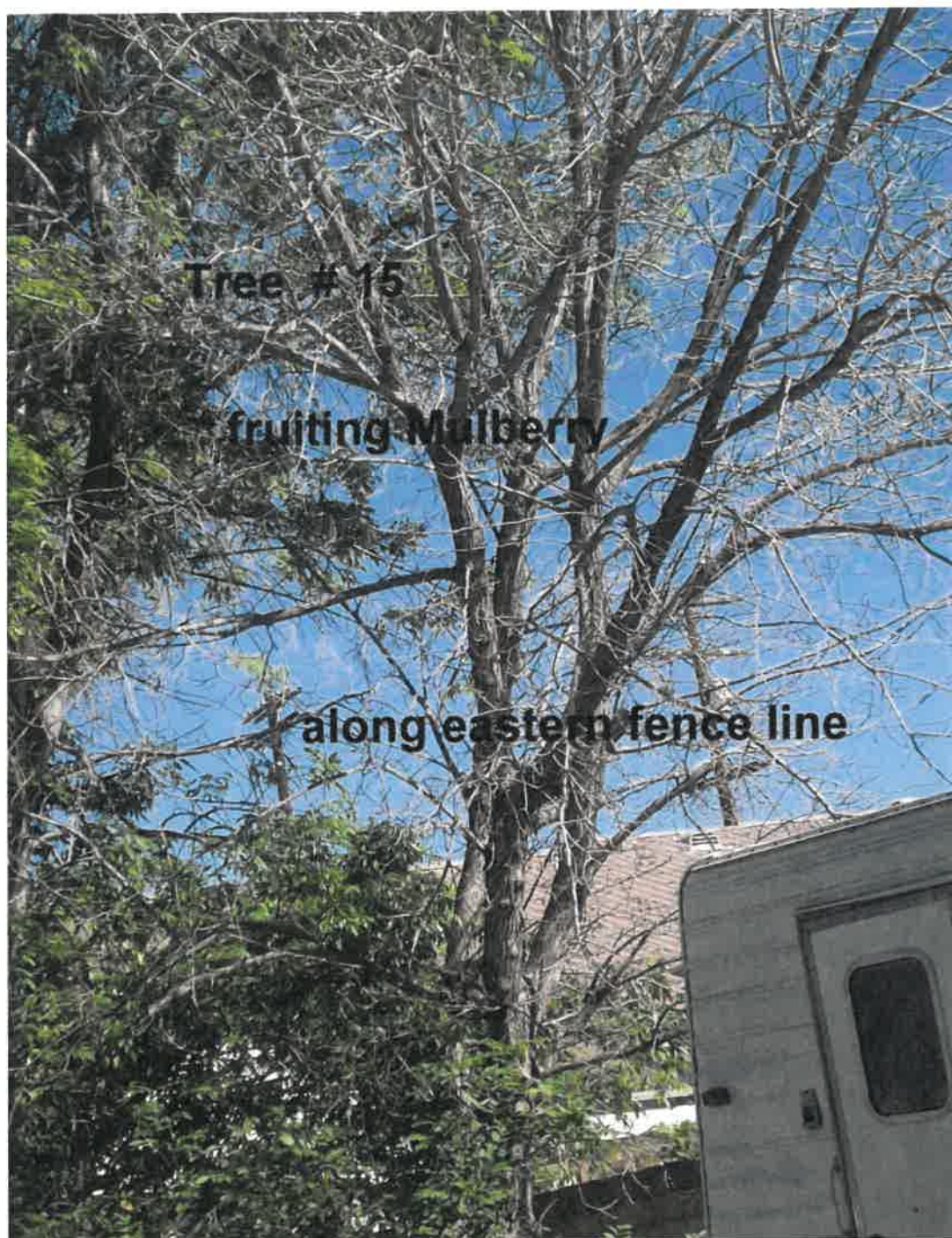
















Quercus agrifolia



Crape Myrtle





**ADDRESS: 20012 Chase St. Winnetka, CA.  
APN: 2782-010-013**

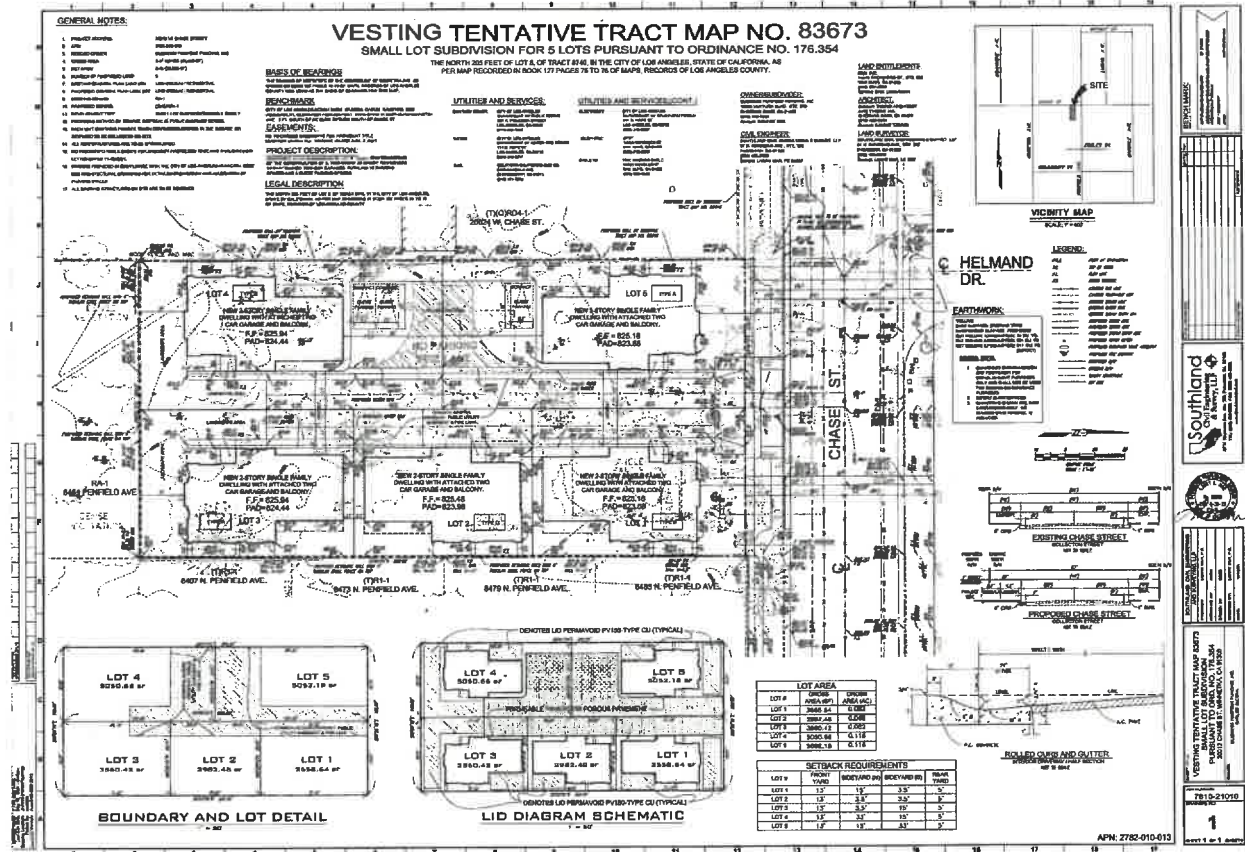
[illegible]

Tree #	Botanical Name	Common Name	DBH*	Height	Spread*	Health
1	<i>Prunus</i>	Bruising plum	4.5	10	12	F
2	<i>Fraxinus uhedi</i>	Shamel ash	48	50	20	C
3	<i>Fraxinus uhedi</i>	Shamel ash	50	70	25	C
4	<i>Sambucus neiviana</i>	Mexican elderberry	40	18	20	B
5	<i>Fraxinus uhedi</i>	Shamel ash	45	12	8	F
6	<i>Fraxinus uhedi</i>	Shamel ash	41.0, B	40	70	F
7	<i>Fraxinus uhedi</i>	Shamel ash	15.7, F	40	10	B
8	<i>Fraxinus uhedi</i>	Shamel ash	6	30	12	F
9	<i>Carya ilicinoensis</i>	Pecan tree	5.5	15	15	F
10	<i>Carya ilicinoensis</i>	Pecan tree	6.5	35	15	D
11	<i>Fraxinus uhedi</i>	Shamel ash	5.4	14	10	F
12	<i>Carya ilicinoensis</i>	Pecan tree	10.8	25	18	D
13	<i>Carya ilicinoensis</i>	Pecan tree	12.12	20	20	D
14	<i>Morus nigra</i>	Fruiting Mulberry	10.7, 10.10	25	25	D
15	<i>Morus nigra</i>	Fruiting Mulberry	3.6, 8	25	18	D

RED = TREE REMOVAL  
PINK = MEXICAN ELDERBERRY (*SAMBUCUS MEXICANA*)

PENFIELD AVE





# Exhibit D – Photos



Business Purpose Funding Inc.  
Address: 20012 W. Chase Street  
APN: 2782-010-013



Address: 20012 W CHASE ST

APN: 2782010013

PIN #: 192B113 224

Tract: TR 8740

Block: None

Lot: 8

Arb: 1

Zoning: RA-1

General Plan: Low Medium Density Residential





1. On Chase Street facing Southeast toward the Subject Site.





2. On Chase Street facing South toward the Subject Site.

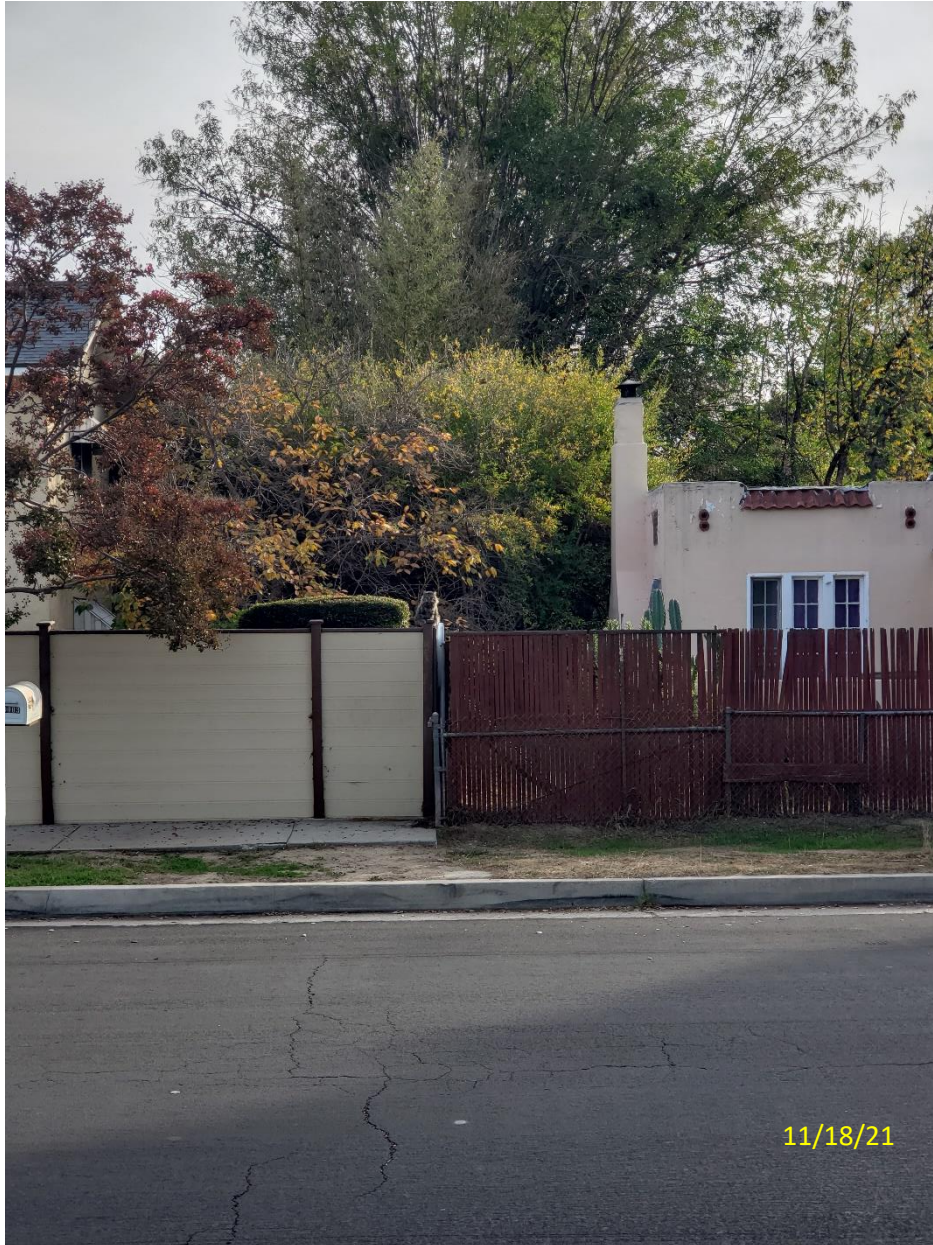


3. On Chase Street facing the Southwest corner of the Subject Site.





4. On Chase Street facing the Southeast corner of the Subject Site.



5. On Chase Street facing West toward the Subject Site.





6. On Chase Street facing Southwest.



# Exhibit E – Agency Reports



**CITY OF LOS ANGELES**  
INTERDEPARTMENTAL CORRESPONDENCE

Date: March 6, 2024

To: Vincent P. Bertoni, Director  
Department of City Planning  
Attention: Deputy Advisory Agency

From: Hui Huang, Principal Civil Engineer  
Permit Case Management Division  
Bureau of Engineering (BOE)

Subject: **Vesting Tentative Tract Map No. 83673**

Transmitted is a print of vesting tentative map of Tract Map No. 83673, stamp-dated December 12, 2022 and located at 20012 West Chase Street in Council District 3.

This map has been filed for 5-lot single-family residential Small Lot Subdivision purposes. Proposed lot lay-outs and common access easements shall be reviewed and approved by City Planning Department.

There is an existing sewer available in the street adjoining the subdivision. The construction of mainline and house connection sewers within suitable easements will be required to serve the tract. This tract will connect to the public sewer system and will not result in violation of the California Water Code. I therefore recommend that you make the necessary determination.

I recommend vesting tentative map of Tract No. 83673 be approved, subject to the standard conditions issued by your department and the following special conditions:

1. That along Chase Street and adjoining the subdivision, a 3-foot wide strip of land be dedicated to complete a 33-foot wide half right-of-way in accordance with Collector Street standard.
2. That if this tract map is approved as "Small Lot Subdivision" then, if necessary for street address purposes, all the common access to this subdivision be named on the final map satisfactory to the City Engineer.

3. That if this tract map is approved as small lot subdivision, then the final map be labeled as "Small Lot Subdivision per Ordinance No. 185462" satisfactory to the City Engineer.
4. That all common access easements including the vehicular access and pedestrian access easements be part of the adjoining lots.
5. That all pedestrian common access easements be shown on the final map.
6. That, if necessary, the owners of the property record an agreement satisfactory to the City Engineer that they will provide name signs for the common access driveways.
7. That, if necessary, public sanitary sewer easements be dedicated on the final map based on an alignment approved by the BOE - Valley District Office.
8. That the subdivider make a request to the BOE - Valley District Office to determine the capacity of existing sewers in this area.
9. That the following improvements be either constructed prior to recordation of the final map or that the construction be suitably guaranteed satisfactory to the City Engineer:
  - a. Improve Chase Street adjoining the subdivision by the construction of a new 5-foot wide concrete sidewalk with landscaping of the parkway. Remove and replace any broken, or off-grade or concrete curb, gutter and roadway pavement. Construct ADA compliant driveway(s), including any necessary removal and reconstruction of the existing improvements. The new sidewalk shall terminate at a distance before the existing oak tree westerly of the tract boundary satisfactory to Urban Forestry Division (UFD).
  - b. Construct the necessary on-site mainline and house sewers to serve the development.

Any questions regarding this report may be directed to Quyen Phan of my staff via [quyen.phan@lacity.org](mailto:quyen.phan@lacity.org).



**CITY OF LOS ANGELES**  
**INTER-DEPARTMENTAL CORRESPONDENCE**

DATE: February 4, 2025

TO: Blake Lamb, Deputy Advisory Agency  
6262 Van Nuys Boulevard, Room 430  
Department of City Planning

FROM: Laura Duong, Subdivision Review  
Minye Pak, Zoning Engineer  
201 N. Figueroa Street, Room 1030  
Department of Building and Safety

SUBJECT: **TRACT MAP NO. 83673 - SL - Vesting – HCA – Revised Map  
20012 W. CHASE STREET**

The Department of Building and Safety Zoning Section has reviewed the above Subdivision Map, distributed on January 9, 2025 by the Department of City Planning. The site is designated as being in the **RA-1 Zone**. This Small Lot Subdivision shall comply with the requirements pursuant to Ordinance No. 185,462. A clearance letter will be issued stating that no Building or Zoning Code violations exist on the subject site once the following items have been satisfied.

- a. Obtain permits for the demolition or removal of all existing structures on the site. Accessory structures and uses are not permitted to remain on lots without a main structure or use. Provide copies of the demolition permits and signed inspection cards to show completion of the demolition work.
- b. Provide a copy of APC case APCNV-2022-8497-VZC. Show compliance with all the conditions/requirements of the APC case as applicable.
- c. Provide a copy of ADM case ADM-2022-8499-SLD. Show compliance with all the conditions/requirements of the ADM case as applicable.
- d. Small Lot subdivision is not allowed in the RA Zone. The zone must be changed to the proposed RD4 zone prior to obtaining Zoning clearance.
- e. Provide a copy of the Zone change and show compliance to the zone change requirements/conditions and allowable density per the new zone as applicable.
- f. The following setbacks shall apply to the perimeter of the subdivision:

- For any subdivision that shares a property line with an R1 or more restrictive single-family zone, the provisions of the front yard, side yard and rear yard of the underlying zone shall apply.
  - The lot line for the subdivision shall apply to the perimeter of the subdivision as follows: front lot line along the street, side lot lines along west and east perimeter, and rear lot line along the south perimeter of subdivision.
  - For the proposed RD4 zone, there shall be a side of not less than five feet or 10% of the width of the lot, whichever is larger, but in no event shall a side yard of more than 10 feet be required. For the 100 ft. lot width (per the subdivision boundary), a minimum ten-foot yard shall be required along west and east side lot line of the perimeter of the subdivision (10 ft. side yard along east lot line for Lots 1, 2, and 3 and 10 ft. side yard along west lot line for Lots 4 and 5).
  - Revise the Map to show compliance with the above requirement or obtain approval from the Department of City Planning for the setbacks indicated in the Setback Matrix.
- g. The setbacks on map is not matching the setbacks shown on the Setback Matrix. Revise the Setback Matrix to provide the correct directions for the required setbacks (N side for the front yards, E and W sides for the side yards, and S for the rear yards). Revise the Setback Matrix to correspond with the required setbacks for the small lot subdivision as describe above or obtain approval from the Department of City Planning to re-designate the lot lines.
- h. Show all street dedication as required by Bureau of Engineering and provide net lot area after all dedication. "Area" requirements shall be re-checked as per net lot area after street dedication. Front yard and density requirements shall be required to comply with current code as measured from new property lines after dedication.

Notes:

Owners are to record a Maintenance Agreement that runs with the land for the purpose of reciprocal private easements maintenance program to all common areas and shared facilities such as trees, landscaping, drainage, trash, parking, community driveway (ground floor width and width clear to sky above the ground floor level), including walkways as shown on the approved Small Lot Subdivision Map.

This property is located in a Liquefaction Zone.



The proposed building plans have not been checked for and shall comply with Building and Zoning Code requirements. With the exception of revised health or safety standards, the subdivider shall have a vested right to proceed with the proposed development in substantial compliance with the ordinances, policies, and standards in effect at the time the subdivision application was deemed complete. Plan check will be required before any construction, occupancy or change of use.

The proposed buildings may not comply with City of Los Angeles Building Code requirements concerning exterior wall, protection of openings and exit requirements with respect to the proposed and existing property lines. Compliance shall be to the satisfactory of LADBS at the time of plan check.

If the proposed development does not comply with the current Zoning Code, all zoning violations shall be indicated on the Map.

Backup space for parking space with less than 26'-8" shall provide sufficient parking stall width and garage door opening width to comply with the current Zoning Code requirement. Comply with the above requirement at the time of Plan Check or obtain City Planning approval.

An appointment is required for the issuance of a clearance letter from the Department of Building and Safety. The applicant is asked to contact Laura Duong at (213) 482-0434 to schedule an appointment.

cc: [planning.valleyprojects@lacity.org](mailto:planning.valleyprojects@lacity.org)

**CITY OF LOS ANGELES**  
INTER-DEPARTMENTAL CORRESPONDENCE

**Date:** 12/22/2022

**To:** Charlie Rausch, Senior City Planner  
Department of City Planning  
200 N. Spring St., 6th Floor MS-395

**From:**   
Gil De La Cruz, P.E.  
Case Management Supervisor  
Private Development Division  
Bureau of Street Lighting

**SUBJECT: STREET LIGHTING REQUIREMENTS FOR DISCRETIONARY ACTIONS**

**CITY PLANNING CASE No.:** CPC 2022-8497 VZC  
20012 W Chase St.

The Bureau of Street Lighting's recommended condition of approval for the subject city planning case is as follows: (Improvement condition added to S-3 (c) where applicable.)

**IMPROVEMENT CONDITION:** No street lighting requirements.

**NOTES:**

The quantity of street lights identified may be modified slightly during the plan check process based on illumination calculations and equipment selection.

Conditions set: 1) in compliance with a Specific Plan, 2) by LADOT, or 3) by other legal instrument excluding the Bureau of Engineering conditions, requiring an improvement that will change the geometrics of the public roadway or driveway apron may require additional or the reconstruction of street lighting improvements as part of that condition.



**CITY OF LOS ANGELES**  
INTER-DEPARTMENTAL CORRESPONDENCE

January 14, 2023

TO: Vincent Bertoni, AICP, Director of Planning  
Department of City Planning  
Attention: [planning.valleyprojects@lacity.org](mailto:planning.valleyprojects@lacity.org)

FROM: Los Angeles Fire Department

SUBJECT: **VTT-83673 & CPC-2022-8497.:20012 Chase**

Submit plot plans for Fire Department approval and review prior to recordation of Tract Map action and City Planning Case.

RECOMMENDATIONS:

Access for Fire Department apparatus and personnel to and into all structures shall be required.

Address identification. New and existing buildings shall have approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property.

One or more Knox Boxes will be required to be installed for LAFD access to project. Location and number to be determined by LAFD Field Inspector. (Refer to FPB Req # 75).

The entrance or exit of all ground dwelling units shall not be more than 150 feet from the edge of a roadway of an improved street, access road, or designated fire lane.

No building or portion of a building shall be constructed more than 150 feet from the edge of a roadway of an improved street, access road, or designated fire lane.

Fire Lane Requirements:

- 1) Fire lane width shall not be less than 20 feet. When a fire lane must accommodate the operation of Fire Department aerial ladder apparatus or where fire hydrants are installed, those portions shall not be less than 28 feet in width.
- 2) The width of private roadways for general access use and fire lanes shall not be less than 20 feet, and the fire lane must be clear to the sky.
- 3) Fire lanes, where required and dead ending streets shall terminate in a cul-de-sac or other approved turning area. No dead ending street or fire lane shall be greater than 700 feet in length or secondary access shall be required.
- 4) Submit plot plans indicating access road and turning area for Fire Department approval.
- 5) All parking restrictions for fire lanes shall be posted and/or painted prior to any Temporary Certificate of Occupancy being issued.
- 6) Plans showing areas to be posted and/or painted, "FIRE LANE NO PARKING" shall be submitted and approved by the Fire Department prior to building permit application sign-off.

- 7) Electric Gates approved by the Fire Department shall be tested by the Fire Department prior to Building and Safety granting a Certificate of Occupancy.
- 8) All public street and fire lane cul-de-sacs shall have the curbs painted red and/or be posted "No Parking at Any Time" prior to the issuance of a Certificate of Occupancy or Temporary Certificate of Occupancy for any structures adjacent to the cul-de-sac.
- 9) No framing shall be allowed until the roadway is installed to the satisfaction of the Fire Department.

Construction of public or private roadway in the proposed development shall not exceed 10 percent in grade.

Site plans shall include all overhead utility lines adjacent to the site.

Where access for a given development requires accommodation of Fire Department apparatus, overhead clearance shall not be less than 14 feet.

The Fire Department may require additional vehicular access where buildings exceed 28 feet in height.

Smoke Vents may be required where roof access is not possible; location and number of vents to be determined at Plan Review.

No proposed development utilizing cluster, group, or condominium design of one or two family dwellings shall be more than 150 feet from the edge of the roadway of an improved street, access road, or designated fire lane.

On small lot subdivisions, any lots used for access purposes shall be recorded on the final map as a "Fire Lane".

Private development shall conform to the standard street dimensions shown on Department of Public Works Standard Plan S-470-0.

Standard cut-corners will be used on all turns

Where above ground floors are used for residential purposes, the access requirement shall be interpreted as being the horizontal travel distance from the street, driveway, alley, or designated fire lane to the main entrance of individual units.

The following recommendations of the Fire Department relative to fire safety shall be incorporated into the building plans, which includes the submittal of a plot plan for approval by the Fire Department either prior to the recordation of a final map or the approval of a building permit. The plot plan shall include the following minimum design features: fire lanes, where required, shall be a minimum of 20 feet in width; all structures must be within 300 feet of an approved fire hydrant, and entrances to any dwelling unit or guest room shall not be more than 150 feet in distance in horizontal travel from the edge of the roadway of an improved street or approved fire lane.



FPB #105

5101.1 Emergency responder radio coverage in new buildings. All new buildings shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communication systems of the jurisdiction at the exterior of the building. This section shall not require improvement of the existing public safety communication systems.

That in order to provide assurance that the proposed common fire lane and fire protection facilities, for the project, not maintained by the City, are properly and adequately maintained, the sub-divider shall record with the County Recorder, prior to the recordation of the final map, a covenant and agreement (Planning Department General Form CP-6770) to assure the following:

- A. The establishment of a property owners association, which shall cause a yearly inspection to be, made by a registered civil engineer of all common fire lanes and fire protection facilities. The association will undertake any necessary maintenance and corrective measures. Each future property owner shall automatically become a member of the association or organization required above and is automatically subject to a proportionate share of the cost.
- B. The future owners of affected lots with common fire lanes and fire protection facilities shall be informed of their responsibility for the maintenance of the devices on their lots. The future owner and all successors will be presented with a copy of the maintenance program for their lot. Any amendment or modification that would defeat the obligation of said association as the Advisory Agency must approve required hereinabove in writing after consultation with the Fire Department.
- C. In the event that the property owners association fails to maintain the common property and easements as required by the CC and R's, the individual property owners shall be responsible for their proportional share of the maintenance.
- D. Prior to any building permits being issued, the applicant shall improve, to the satisfaction of the Fire Department, all common fire lanes and install all private fire hydrants to be required.
- E. That the Common Fire Lanes and Fire Protection facilities be shown on the Final Map.

The plot plans shall be approved by the Fire Department showing fire hydrants and access for each phase of the project prior to the recording of the final map for that phase. Each phase shall comply independently with code requirements.

Any roof elevation changes in excess of 3 feet may require the installation of ships ladders.

Provide Fire Department pathway front to rear with access to each roof deck via gate or pony wall less than 36 inches.

Where rescue window access is required, provide conditions and improvements necessary to meet accessibility standards as determined by the Los Angeles Fire Department.

Adequate off-site public and on-site private fire hydrants may be required. Their number and location to be determined after the Fire Department's review of the plot plan.

Any required fire hydrants to be installed shall be fully operational and accepted by the Fire Department prior to any building construction.

The applicant is further advised that all subsequent contact regarding these conditions must be with the Hydrant and Access Unit. This would include clarification, verification of condition compliance and plans or building permit applications, etc., and shall be accomplished **BY APPOINTMENT ONLY**, in order to assure that you receive service with a minimum amount of waiting please call **(213) 482-6543**. You should advise any consultant representing you of this requirement as well.

Kristin M. Crowley  
Fire Chief

Orin Saunders, Fire Marshal  
Bureau of Fire Prevention and Public Safety

OS:MRC:mrc

VTT-83673 & CPC-2022-8497.:20012 Chase



JAVIER NUNEZ  
VICE PRESIDENT

JOSELYN GEAGA-ROSENTHAL  
LAUREL GILLETTE  
GEORGE HOVAGUIMIAN  
ELVIN W. MOON



ERIC GARCETTI  
MAYOR

OSAMA YOUNAN, P.E.  
GENERAL MANAGER  
SUPERINTENDENT OF BUILDING

JOHN WEIGHT  
EXECUTIVE OFFICER

## SOILS REPORT APPROVAL LETTER

May 24, 2022

LOG # 121532  
SOILS/GEOLOGY FILE - 2  
LIQ

Business Purpose Funding, Inc.  
15206 Ventura Blvd., Suite 209  
Sherman Oaks, CA 91403

TRACT: TR 8740 (VTT 83673)  
LOT(S): 8 (arb 1)  
LOCATION: 20012 W. Chase St.

CURRENT REFERENCE <u>REPORT/LETTER(S)</u>	REPORT <u>No.</u>	DATE OF <u>DOCUMENT</u>	<u>PREPARED BY</u>
Soils Report	BG 23547	04/27/2022	Byer Geotechnical, Inc.

The Grading Division of the Department of Building and Safety has reviewed the referenced report that provides recommendations for the proposed five-lot residential subdivision (five, two-story at-grade residences with attached two-car garage). The earth materials at the subsurface exploration locations consist of silty sand and sandy silt.

The consultants recommend to support the proposed structures on mat or post-tensioned slab foundations bearing on compacted fill underlain by competent native soils.

The site is located in a designated liquefaction hazard zone as shown on the Seismic Hazard Zones map issued by the State of California. The Liquefaction study included as a part of the report demonstrates that the earthquake induced total and differential settlements are within acceptable levels. The requirements of the 2020 City of Los Angeles Building Code have been satisfied.

The referenced report is acceptable, provided the following conditions are complied with during site development:

(Note: Numbers in parenthesis ( ) refer to applicable sections of the 2020 City of LA Building Code. P/BC numbers refer the applicable Information Bulletin. Information Bulletins can be accessed on the internet at LADBS.ORG.)

1. The soils engineer shall review and approve the detailed plans prior to issuance of any permit. This approval shall be by signature on the plans that clearly indicates the soils engineer has reviewed the plans prepared by the design engineer; and, that the plans included the recommendations contained in their reports (7006.1).

2. All recommendations of the report that are in addition to or more restrictive than the conditions contained herein shall be incorporated into the plans.
3. A copy of the subject and appropriate referenced reports and this approval letter shall be attached to the District Office and field set of plans (7006.1). Submit one copy of the above reports to the Building Department Plan Checker prior to issuance of the permit.
4. A grading permit shall be obtained for all structural fill and retaining wall backfill (106.1.2).
5. All man-made fill shall be compacted to a minimum 90 percent of the maximum dry density of the fill material per the latest version of ASTM D 1557. Where cohesionless soil having less than 15 percent finer than 0.005 millimeters is used for fill, it shall be compacted to a minimum of 95 percent relative compaction based on maximum dry density. Placement of gravel in lieu of compacted fill is only allowed if complying with LAMC Section 91.7011.3.
6. If import soils are used, no footings shall be poured until the soils engineer has submitted a compaction report containing in-place shear test data and settlement data to the Grading Division of the Department; and, obtained approval (7008.2).
7. Compacted fill shall extend beyond the footings a minimum distance equal to the depth of the fill below the bottom of footings or a minimum of three feet whichever is greater (7011.3).
8. Existing uncertified fill shall not be used for support of footings, concrete slabs or new fill (1809.2, 7011.3).
9. Drainage in conformance with the provisions of the Code shall be maintained during and subsequent to construction (7013.12).
10. The applicant is advised that the approval of this report does not waive the requirements for excavations contained in the General Safety Orders of the California Department of Industrial Relations (3301.1).
11. Temporary excavations that remove lateral support to the public way, adjacent property, or adjacent structures shall be supported by shoring or constructed using ABC slot cuts. Note: Lateral support shall be considered to be removed when the excavation extends below a plane projected downward at an angle of 45 degrees from the bottom of a footing of an existing structure, from the edge of the public way or an adjacent property. (3307.3.1)
12. Prior to the issuance of any permit that authorizes an excavation where the excavation is to be of a greater depth than are the walls or foundation of any adjoining building or structure and located closer to the property line than the depth of the excavation, the owner of the subject site shall provide the Department with evidence that the adjacent property owner has been given a 30-day written notice of such intent to make an excavation (3307.1).
13. Unsurcharged temporary excavations over 5 feet exposing soil shall be trimmed back at a gradient not exceeding 1:1, as recommended.
14. ABC slot-cut method may be used for unsurcharged temporary excavations with each slot not exceeding 5 feet in height and not exceeding 8 feet in width, as recommended. The



- soils engineer shall verify in the field if the existing earth materials are stable in the slot-cut excavation. Each slot shall be inspected by the soils engineer and approved in writing prior to any worker access.
15. All foundations shall derive entire support from compacted fill underlain by competent native soils, as recommended and shall be approved by the geologist and soils engineer by inspection.
  16. The seismic design shall be based on a Site Class D, as recommended. All other seismic design parameters shall be reviewed by LADBS building plan check.
  17. All roof, pad and deck drainage shall be conducted to the street in an acceptable manner in non-erosive devices or other approved location in a manner that is acceptable to the LADBS and the Department of Public Works (7013.10).
  18. An on-site storm water infiltration system at the subject site shall not be implemented, as recommended.
  19. All concentrated drainage shall be conducted in an approved device and disposed of in a manner approved by the LADBS (7013.10).
  20. The soils engineer shall inspect all excavations to determine that conditions anticipated in the report have been encountered and to provide recommendations for the correction of hazards found during grading (7008, 1705.6 & 1705.8).
  21. Prior to pouring concrete, a representative of the consulting soils engineer shall inspect and approve the footing excavations. The representative shall post a notice on the job site for the LADBS Inspector and the Contractor stating that the work inspected meets the conditions of the report. No concrete shall be poured until the LADBS Inspector has also inspected and approved the footing excavations. A written certification to this effect shall be filed with the Grading Division of the Department upon completion of the work. (108.9 & 7008.2)
  22. Prior to excavation an initial inspection shall be called with the LADBS Inspector. During the initial inspection, the sequence of construction; [shoring; ABC slot cuts; underpinning; pile installation;] protection fences; and, dust and traffic control will be scheduled (108.9.1).
  23. Installation of shoring, underpinning, slot cutting and/or pile excavations shall be performed under the inspection and approval of the soils engineer and deputy grading inspector (1705.6, 1705.8).
  24. Prior to the placing of compacted fill, a representative of the soils engineer shall inspect and approve the bottom excavations. The representative shall post a notice on the job site for the LADBS Inspector and the Contractor stating that the soil inspected meets the conditions of the report. No fill shall be placed until the LADBS Inspector has also inspected and approved the bottom excavations. A written certification to this effect shall be included in the final compaction report filed with the Grading Division of the Department. All fill shall be placed under the inspection and approval of the soils engineer. A compaction report together with the approved soil report and Department approval letter shall be submitted to the Grading Division of the Department upon completion of the compaction. In addition, an Engineer's Certificate of Compliance with the legal

description as indicated in the grading permit and the permit number shall be included (7011.3).

25. No footing/slab shall be poured until the compaction report is submitted and approved by the Grading Division of the Department.



YING LIU

Geotechnical Engineer II

Log No. 121532

213-482-0480

cc: Byer Geotechnical, Inc., Project Consultant  
VN District Office



CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
Grading Division

District	VN	Log No.	121532
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APPLICATION FOR REVIEW OF TECHNICAL REPORTS

INSTRUCTIONS

- A. Address all communications to the Grading Division, LADBS, 221 N. Figueroa St., 12th Fl., Los Angeles, CA 90012  
Telephone No. (213)482-0480.
- B. Submit two copies (three for subdivisions) of reports, one "pdf" copy of the report on a CD-Rom or flash drive,  
and one copy of application with items "1" through "10" completed.
- C. Check should be made to the City of Los Angeles.

1. LEGAL DESCRIPTION

Tract: TR 8740

Block: None Lots 8 Adj: 1

3. OWNER: Business Purpose Funding, Inc.

Address: 15206 Ventura Blvd. Suite 209

City: Sherman Oaks Zip: 91403

Phone (Daytime):

2. PROJECT ADDRESS:

20012 W. Chase St. Winnetka

4. APPLICANT Gabriel Pena-Lora, QES, Inc

Address: 14549 Archwood St. Suite 308

City: Van Nuys Zip: 91405

Phone (Daytime): (818)624-1956

E-mail address: gabriel@qesqms.com

5. Report(s) Prepared by: Byer Geotechnical, Inc

6. Report Date(s): 04/27/2022

7. Status of project: ☒ Proposed ☐ Under Construction ☐ Storm Damage  
8. Previous site reports? ☐ YES if yes, give date(s) of report(s) and name of company who prepared report(s)

9. Previous Department actions? ☐ YES if yes, provide dates and attach a copy to expedite processing.

Dates:

10. Applicant Signature:  Position: Representative

(DEPARTMENT USE ONLY)

REVIEW REQUESTED	FEES	REVIEW REQUESTED	FEES
<input type="checkbox"/> Soils Engineering	363.00	No. of Lots	5
<input type="checkbox"/> Geology		No. of Acres	.46
<input type="checkbox"/> Combined Soils Engr. & Geol.		<input checked="" type="checkbox"/> Division of Land	453.00
<input type="checkbox"/> Supplemental		Other	
<input type="checkbox"/> Combined Supplemental		<input type="checkbox"/> Expedite	
<input type="checkbox"/> Import-Export Route		<input type="checkbox"/> Response to Correction	
Cubic Yards:		<input type="checkbox"/> Expedite ONLY	
		Sub-total	836.00
		Surcharge	193.92
		TOTAL FEE	1,029.92

Fee Due: 1,029.92  
Fee Verified By: AM Date: 5/3/22  
(Cashier Use Only)

Receipt #  
1320398

ACTION BY:

THE REPORT IS: ☐ NOT APPROVED

☐ APPROVED WITH CONDITIONS

☐ BELOW

☐ ATTACHED

For Geology

Date

For Soils

Date

**CITY OF LOS ANGELES**  
INTER-DEPARTMENTAL MEMORANDUM

20012 W Chase St  
LADOT Project ID No. 54714

Date: December 19, 2022

To: Deputy Advisory Agency  
Department of City Planning

From: Sheila Ahraian, Transportation Engineering Associate II  
Department of Transportation

Subject: **Tentative Tract Map No. VTT-83673-SL-HCA & CPC-2022-8497-VZC**

Reference is made to your request for review of this case regarding potential traffic access problems. Based upon this review, it is recommended that:

1. A minimum 20-foot reservoir space is required between any security gate or parking space and the property line, or to the satisfaction of LADOT.
2. A two-way driveway width of W=24 feet is required for all two-way driveways, or to the satisfaction of LADOT.
3. A parking area and driveway plan should be submitted to the Citywide Planning Coordination Section of the Los Angeles Department of Transportation for approval prior to submittal of building permit plans for plan check by the Department of Building and Safety. Transportation approvals are conducted at 6262 Van Nuys Blvd., Room 320, Van Nuys, CA 91401.
4. The subdivision report fee and condition clearance fee be paid to the Los Angeles Department of Transportation as required per Ordinance No. 183270 and LAMC Section 19.15 prior to recordation of the final map. Note: The applicant may be required to comply with any other applicable fees per this new ordinance.

If you have any questions, you may contact me at [sheila.ahraian@lacity.org](mailto:sheila.ahraian@lacity.org) or 818-374-4699.



January 20, 2023

Mr. Vince Bertoni  
Department of City Planning  
200 North Spring Street, Room 721  
Los Angeles, California 90012

Dear Mr. Bertoni:

Subject: Tract No. 83673  
20012 West Chase Street

This is in reply to your letter dated November 18, 2022. This tract can be supplied with water from the municipal system subject to the Los Angeles Department of Water and Power's (LADWP) Water System Rules and upon payment of regular service connection charges. All required water mains have been installed.

On the basis of the map submitted with your form letter, the LADWP's Water Services Organization (WSO) will not object to the recording of the subdivision map.

Questions regarding WSO clearance should be directed to LADWP, Water Distribution Engineering, P.O. Box 51111, Room 1425, Los Angeles, California 90051-5700 or (213) 367-1250.

Sincerely,

*Rafael Viramontes*

Rafael Viramontes, P.E.  
Engineer of West Valley District  
Water Distribution Engineering

DA:rp

Enclosure

c: Bureau of Engineering (2)  
Land Developing and Mapping Division  
District Engineer  
Map Nos. 192, 194-114

Business Purpose Funding, Inc./R.Box  
Los Angeles City Fire Department  
Water Service Representative

ITEMS CHECKED APPLY TO THIS SUBDIVISION

DEVELOPER SHALL COMPLETE THE FOLLOWING FINANCIAL AND  
ENGINEERING ARRANGEMENTS AS CONDITIONS OF MAP CLEARANCE:

LAFD-related Requirements

1. New hydrants shall be installed.  
**Per LAFD Inspector Craig's review on 1/9/2023, no public fire hydrants are required.** \_\_\_\_\_
2. Existing hydrant tops shall be changed. \_\_\_\_\_
3. New water mains shall be installed to serve new hydrants. \_\_\_\_\_

DWP-WS Requirements

4. Acreage supply charges shall be paid. \_\_\_\_\_
5. Water main charges shall be paid. \_\_\_\_\_
6. Existing facilities shall be relocated or abandoned. \_\_\_\_\_
7. Street improvement/sewer/storm drain/water plans shall be submitted.     X
8. Covenant and Maintenance Agreement for Small Lot Subdivision Map or Map with Land Locked Lots (see Item 18 below)  
**Covenant and maintenance agreement required to be recorded due to Lots 1-5 sharing a common access road.**     X
9. Dedicate Water Easement to LADWP (see Item 19 below) \_\_\_\_\_

DEVELOPER SHALL COMPLETE THE FOLLOWING FINANCIAL AND  
ENGINEERING ARRANGEMENTS AS CONDITIONS OF SERVICE (BUT NOT  
CONDITIONS OF MAP CLEARANCE):

10. New water mains shall be installed.  
**The existing 8-inch water main on Chase St is sufficient to meet fire flow requirements. An additional hydraulic analysis needs to be completed based on the domestic demands and/or fire protection requirements of this subdivision to determine if mainline upsizing is needed.** \_\_\_\_\_
11. New services & meters shall be installed.     X
12. Street/sewer/storm drain/water plans shall be submitted.     X
13. Pressure regulators will be required in accordance with the Los Angeles City Plumbing Code for the following lot(s) where pressure exceeds 80 psi at the building pad elevation:     X
14. Water Service Elevation Agreements will be required, as the minimum pressure \_\_\_\_\_



is less than 35 PSI.

OTHER PERTINENT INFORMATION APPLICABLE TO THIS SUBDIVISION:

15. On January 1, 2018, LADWP implemented a new policy regarding water service for multi-unit residential structures. If a development allows LADWP to install an individual meter in front of each house and the water main serving that development fronts the property and is in a public right-of-way, then this is a conventional installation and LADWP will provide individual meters. However, if the small lot is completely and within private property and the request is for a manifold type installation of consecutive meters in a coffin-type configuration, LADWP can provide up to five meters in that manifold-setting. LADWP can provide a master meter if the number of meters required is greater than five.
16. The Bureau of Engineering (BOE) may not permit any new services to be installed in the public right of way. Please submit plans to the Water System that show adequate space on private property for new service installations, UNLESS BOE is making an exception for this project. If an exception has been made, please submit written proof to LADWP that the BOE will allow services within the right of way. The written documentation shall make clear that the BOE is aware of the specific sizes quantities, sizes, and locations of new services being requested for this project, rather than a general statement. Even with BOE's permission, LADWP will not install services within, or nearer than five (5) feet from the edge of, any travelled way subject to vehicle loading (streets, driveways, etc.).
17. Proposed equestrian trails shall be located so that the full alignment does not overlap or cross any existing or proposed LADWP water easement. Further review is required by LADWP Water Distribution Engineering if this condition cannot be met.
18. During the Preliminary or Tentative Map stage, the developer shall contact the appropriate LADWP Water Distribution Engineering District to coordinate the location of the proposed water service locations for their subdivision especially for small lot subdivisions or developments with land locked lots (lots with no frontage to the public right-of-way or public water main).  
For these type of developments, LADWP will require a Covenant and Maintenance Agreement (CMA) to be recorded. The developer/engineer shall provide an exhibit with the proposed water service locations for review. Upon review and approval, the CMA must be recorded with the LA County Recorder's office and sent back to LADWP. The recorded CMA is required for LADWP to provide subdivision map clearance and water service.  
If there is no space available for LADWP to install the proposed water services within the public right of way, the services may need to be installed in private property and LADWP will require an easement to be dedicated on the final, recorded map.
19. If an easement is required by LADWP, the final map must include the following information:
- Standard Dedication Language on Title Sheet

- Delineated and called out easement for each sheet affected  
(# FEET WIDE EASEMENT TO THE CITY OF LOS ANGELES FOR  
WATERLINE RIGHT-OF-WAY PURPOSES)



BOARD OF COMMISSIONERS

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ASSISTANT GENERAL MANAGER

(213) 202-2633

Letter sent via email to:  
[planning.valleyprojects@lacity.org](mailto:planning.valleyprojects@lacity.org)

June 1, 2023

Blake Lamb  
Deputy Advisory Agency  
6262 Van Nuys Boulevard, Room 430  
Los Angeles, CA 91401

**DEPARTMENT OF RECREATION AND PARKS REPORT AND RECOMMENDATIONS  
RELATIVE TO VTT-83673-SL-HCA**

Dear Blake Lamb,

The City of Los Angeles Department of Recreation and Parks (RAP) has prepared the following report and recommendations in response to your request for comments relative to VTT-83673-SL-HCA (project), a proposed residential subdivision.

RAP's report and recommendation(s) regarding the proposed project are as follows:

**General Comments:**

The applicant is requesting approval of the proposed project, a residential subdivision. Los Angeles Municipal Code (LAMC) 12.33 requires most residential projects that create new dwelling units or joint living and work quarters to dedicate land or pay a fee for the purpose of developing park and recreational facilities and LAMC 19.17 specifies how those fees are to be calculated.

Effective January 11, 2017, RAP is responsible for calculating the required park fees owed by each residential development project, including subdivision projects, pursuant to LAMC 12.33, and issuing the fee calculation letters to applicants.

**RAP Recommendation:**

The applicant is requesting approval of a subdivision that will contain dwelling units. Therefore, pursuant to Los Angeles Municipal Code sections 12.33.E and 19.17, RAP recommends the following be added as a condition of the approval of the proposed project:

**That the Park Fee paid to the Department of Recreation and Parks be calculated as a Subdivision (Quimby in-lieu) fee.**



June 1, 2023

Page 2

Thank you for the opportunity to provide information relative to recreation and park issues related to this proposed project. Please provide the RAP contact listed below with any and all agendas, notices, and staff reports for the Advisory Agency actions and/or hearings related to this application.

If you have any questions or comments regarding this information please feel free to contact Park Fees staff, at 213-202-2682 or [rap.parkfees@lacity.org](mailto:rap.parkfees@lacity.org), at your convenience.

Sincerely,

A handwritten signature in black ink, appearing to read 'Darryl Ford', with a stylized 'D' and 'F'.

DARRYL FORD  
Superintendent

DF:dl

cc: Business Purpose Funding, 15206 Ventura Boulevard, Suite 209, Sherman Oaks, CA 91403  
Eric Lieberman, QES, Inc., 14549 Archwood Street, Suite 308, Van Nuys, CA 91405  
Sammie Tabrizi, Sammie Tabrizi Architect, 4419 Tyrone Avenue, Sherman Oaks, CA 91423


cc: Reading file



**CITY OF LOS ANGELES**  
INTER-DEPARTMENTAL CORRESPONDENCE

**DATE:** January 27, 2022

**TO:** Shana M.M. Bonstin  
Arthi L. Varma  
Lisa M. Webber  
Deputy Director of Planning  
Department of City Planning

**FROM:** Kwasi Berko, Division Manager  for KB  
Clean Water North Conveyance Division  
LA Sanitation & Environment

<p><b>SUBJECT:</b> <b>ADM-2022-8749-PMUL</b> AA-2020-7474-PMLA-SL-HCA AA-2022-6646-PMLA-HCA ADM-2022-7448-PMUL  APCSV-2022-8171-SPE-2AD-SPP ADM-2022-8083-PMUL ADM-2022-8187-PMUL ADM-2022-8215-PMUL ADM-2022-8252-PMUL ADM-2022-8478-PMUL AA-2022-8676-PMLA-HCA TRACT MAP No. 68852 TRACT MAP No. 74268 TRACT MAP No. 74745  TRACT MAP No. 82865  TRACT MAP No. 83080-SL-HCA TRACT MAP No. 83673-SL-HCA TRACT MAP No. 83745-SL TRACT MAP No. 83769-SL-HCA TRACT MAP No. 84832</p>	<p><b>5040 North Corbin Avenue</b> 14568 West Dickens Street 14150 West Chandler Boulevard 19244 - 19246 West Hatteras Street 5746 North Tampa Avenue 11601 Ventura Boulevard 17607 West Parthenia Street 5271 North Marmol Drive 14308 West Osborne Street 15535 West El Cajon Street 7669 North Bellaire Avenue 406 South Saltair Avenue 10637 North Mount Gleason Avenue 8052 – 8070 West Beverly Boulevard 900, 910 &amp; 926 East 4<sup>th</sup> Street 405, 407 &amp; 411 South Hewitt Street APN 5434037010, 5434037011, 5434037016 &amp; 5434037022 1839 &amp; 1845 North Kenmore Avenue 20012 West Chase Street 2346 West Ridgeview Avenue 1212 South Dunsmuir Avenue 700 South Flower Street 700 West 7<sup>th</sup> Street 711 South Hope Street</p>
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Our office has reviewed the sewer/storm drain lines serving the subject tracts/areas, and found no potential problems to our structures and/or potential maintenance issues, with the exception of **ADM-2022-8749-PMUL (5040 N. Corbin AV).**

There are easements contained within the aforementioned properties. Any proposed development in close proximity to the easements must secure Department of Public Works approval. Note: This Approval is for the Tract Map only and represents the office of LA Sanitation/CWCDs. The applicant may be required to obtain other necessary Clearances/Permits from LA Sanitation and appropriate District office of the Bureau of Engineering.


If you have any questions, please contact Rafael Yanez at (323) 342-1563.



**CITY OF LOS ANGELES**  
**INTER-DEPARTMENTAL CORRESPONDENCE**

**DATE:** March 23, 2023

**TO:** Blake Lamb, Deputy Advisory Agency  
Department of City Planning

**FROM:**  Bryan Ramirez, Street Tree Superintendent I  
Bureau of Street Services, Urban Forestry Division

**SUBJECT:** VTT-83673-SL-HCA – 20012 W. CHASE ST,

In regard to your request for review of this case regarding Urban Forestry requirements, it is our recommendation that:

**1. NATIVE PROTECTED TREES**

- a. All tree and shrub preservation measures shall be considered to retain all protected native species whenever possible. Project should include feasible alternatives in project design to retain native trees and shrubs. A permit is required for the removal of any native protected tree and shrub. Removal of any on site native tree or shrub shall be replaced in kind at a 4:1 ratio as approved by the Board of Public Works and Urban Forestry Division. The tree replacement plan shall include all retained native trees and shrubs. All on-site tree and shrub replacements shall be planted in locations favorable to the long term survival of the species.
- b. The applicant shall submit a Protected Tree Report with an acceptable tree and shrub replacement plan prepared by a reputable Tree Expert, as required by Ordinance No. 186,873 for approval by the Advisory Agency and the Bureau of Street Services, Urban Forestry Division. The Protected Tree Report (PTR) shall contain the Tree Expert's recommendations for the preservation of as many protected trees as possible and shall provide their species, health, size, and condition. The PTR shall include a topographical map (construction drawing) identifying tree and shrub location, drip line, and correctly numbered and plotted.

**Note:** Removal of Native Protected trees and shrubs requires approval from the Board of Public Works. All projects must have environmental (CEQA) documents that appropriately address any removal and replacement of native protected trees and shrubs. Contact Urban Forestry Division at: (213) 847-3077 for tree removal permit information.

**2. STREET TREES**

- a. Project shall preserve all healthy mature street trees whenever possible. All feasible alternatives in project design should be considered and implemented to retain healthy mature street trees. A permit is required for the removal of any street tree and shall be replaced 2:1 as approved by the Board of Public Works and Urban Forestry Division.
- b. Plant street trees at all feasible planting locations within dedicated streets as directed and required by the Bureau of Street Services, Urban Forestry Division. All tree plantings shall be installed to current tree planting standards when the City has previously been paid for tree plantings. The subdivider or contractor shall notify the Urban Forestry Division at: (213) 847-3077 upon completion of construction for tree planting direction and instructions.

**Note:** Removal of street trees requires approval from the Board of Public Works. All projects must have environmental (CEQA) documents that appropriately address any removal and replacement of street trees. Contact Urban Forestry Division at: (213) 847-3077 for tree removal permit information.

BR:djm

# Exhibit F – Correspondences





Correy Kitchens &lt;correy.kitchens@lacity.org&gt;

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**Fwd: APCNV-2022-8497-VZC & VTT-83673-SL-HCA / 20012 Chase**

2 messages

---

**Marianne King** <mkingofchatsworth@gmail.com>  
To: Correy Kitchens <correy.kitchens@lacity.org>

Fri, May 23, 2025 at 9:38 AM

also a landscape plan if you have one...

----- Forwarded message -----

From: **Marianne King** <mkingofchatsworth@gmail.com>  
Date: Fri, May 23, 2025 at 9:37 AM  
Subject: APCNV-2022-8497-VZC & VTT-83673-SL-HCA / 20012 Chase  
To: Correy Kitchens <correy.kitchens@lacity.org>

Hi Correy,

Can you email me the tree report for this project?

Thanks,  
Marianne

---

**Correy Kitchens** <correy.kitchens@lacity.org>  
To: Marianne King <mkingofchatsworth@gmail.com>

Fri, May 23, 2025 at 9:54 AM

Hi Marianne,

Please see attached.

Correy K  
[Quoted text hidden]

--



**Correy N. Kitchens, MPA**  
City Planning Associate  
**Los Angeles City Planning**  
6262 Van Nuys Blvd., Room 430  
Van Nuys, CA 91401  
T: (818) 374-5034 | Planning4LA.org



Please note that on **January 27, 2025** the New Zoning Code will become operative in the Downtown area. Applications filed in this area on or after this date are required to use the revised forms available on the Department's Forms page.

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**2 attachments**

**Plans - 2024 10 21 - rev1.pdf**  
5599K



**Tree Report - 2022 04 13.pdf**  
7466K



## Department of City Planning

City Hall, 200 N. Spring Street, Room 763, Los Angeles, CA 90012

June 30, 2025

TO: North Valley Area Planning Commission

FROM: Jordann Turner, Associate Zoning Administrator

### **CORRECTION TO THE FINDINGS FOR CASE NO. ZA-2021-832-ELD-SPR-HCA-1A; 15151 - 15155 MISSION HILLS ROAD**

The following is a proposed revision to the first paragraph of Finding No. 1, located on Page 16 of the Zoning Administrator's Letter of Determination dated April 3, 2025. The purpose of the correction is to delete an address that is not a part of the project site. The paragraph is proposed to be amended as follows:

The project site, located at ~~15149~~, 15151 and 15155 Mission Hills Road, is a sloping, irregular-shaped parcel of land totaling 11 .97 acres and consisting of five lots. The site is located within the Mission Hills - Panorama City - North Hills Community Plan, which designates the parcel for Very Low Residential with land uses and the site is zoned A2-1 and RA-1.

The letter of determination will be corrected to delete 15149 Mission Hills Road, once the APC process is completed.

# **DAY OF HEARING SUBMISSIONS**