

Los Angeles Department of City Planning

RECOMMENDATION REPORT

CULTURAL HERITAGE COMMISSION

CASE NO.: CHC-2015-1613-MAEX

HEARING DATE: September 17, 2015
TIME: 10:00 AM
PLACE: City Hall, Room 1010
200 N. Spring Street
Los Angeles, CA 90012

Location: 464 N. June Street
Council District: 4
Community Plan Area: Wilshire
Area Planning Commission: Central
Neighborhood Council: Greater Wilshire
Legal Description: Lot 282 of TR 8320

PROJECT: 464 N. June Street
Contributor to the Hancock Park Historic Preservation Overlay Zone (HPOZ)

APPLICANT & OWNER: Dante Di Lorento
464 N. June Street
Los Angeles, CA 90004

APPLICANT'S REPRESENTATIVE: Vanessa Withers
419 Concord Avenue
Monrovia, CA 91016

REQUEST: APPROVAL OF EXEMPTION FROM LIMITATION OF ELIGIBILITY FOR HISTORICAL PROPERTY CONTRACT (MILLS ACT) APPLICATION

RECOMMENDATION: That the Cultural Heritage Commission:

1. **FIND** the above-listed property meets the stated conditions for valuation exemption.
2. **APPROVE** the above-listed property for exemption from the valuation limit.

MICHAEL J. LOGRANDE
Director of Planning

[SIGNED ORIGINAL IN FILE]

Ken Bernstein, AICP, Manager
Office of Historic Resources

[SIGNED ORIGINAL IN FILE]

Lambert M. Giessinger, Architect
Historical Property Contracts Manager
Office of Historic Resources
(213) 978-1183

ATTACHED EXHIBITS:

- Attachment 1 – ZIMAS Report
- Attachment 2 – Mills Act Historical Property Contract Application
- Attachment 3 – Historic Structure Report (HSR)

BACKGROUND

Economic incentives foster preservation of residential neighborhoods and revitalization of downtown commercial districts. The Mills Act is the single most important economic incentive program in California for preservation of qualified historic buildings by private property owners.

Enacted in 1972, Mills Act legislation grants participating local governments (cities and counties) authority to enter into contracts with owners of qualified historic properties who actively participate in rehabilitation, restoration, and maintenance work to receive property tax relief. The City of Los Angeles (City) adopted Mills Act legislation in 1996. Since then, 769 properties have benefited from the program.

A formal agreement, known as a Mills Act or Historical Property Contract (Mills Act Contract), is executed between the City and property owner for a revolving minimum ten-year term. Contracts are automatically renewed each year. Property owners agree to rehabilitate, restore, maintain, and protect the property in accordance with the *Secretary of the Interior's Standards for Rehabilitation (Secretary's Standards)* and conditions identified in the Contract. Periodic inspections by City and County officials ensure proper maintenance. The City may impose penalties for breach of Contract or failure to protect the historic property. The Contract is binding to all successive owners during the term of the contract.

The Mills Act is codified in Los Angeles Administrative Code Chapter 14. Section 19.142 identifies limitations on eligibility for the Mills Act. The current pre-contract assessed value limits are \$1,500,000 for single-family residential properties and \$3,000,000 for multi-family residential, commercial, or industrial properties. Properties located in the Greater Downtown Los Angeles Area, including the Figueroa Economic Strategy Area, and National Register of Historic Places listed Hollywood Boulevard Commercial and Entertainment District are exempt from valuation limits. The Cultural Heritage Commission may grant an exemption from the limitations imposed by Administrative Code Section 19.142 under the following conditions:

- (a) *granting the exemption will not cause the cumulative loss of property tax revenue to the City to exceed \$2,000,000 annually; and*
- (b) *the site, building or structure is a particularly significant Historic-Cultural Monument or Contributing Structure to an Historic Preservation Overlay Zone; and*
- (c) *granting the exemption will assist in the preservation of a site, building or structure which would otherwise be in danger of demolition, substantial alteration or relocation.*

The above-listed criteria are further delineated in Contract application materials to include excessive and/or unusual maintenance requirements for a property.

In order to better substantiate justification for exemption properties to meet the ordinance criteria, the application process requires preparation of a Historic Structure Report (HSR) consistent with format requirements published by the National Park Service in *Preservation Brief 43: The Preparation and Use of Historic Structure Reports*. An HSR provides documentary, graphic, and physical information about a property's history and existing condition. Broadly recognized as an effective part of preservation planning, an HSR also addresses management or owner goals for continued use or re-use of the property. It provides a thoughtfully considered argument for selecting the most appropriate approach to treatment, prior to commencement of work, and outlines a scope of recommended tasks. The HSR serves as an important guide for all changes made to a historic property during a project—repair, rehabilitation, or restoration—and can also provide information for maintenance procedures. This requirement sets a higher bar for exemption requests and allows property owners and staff to better understand the unique challenges such properties entail and the owner's commitment to preservation under a Mills Act Contract.

SUBJECT PROPERTY

The subject property is located on the east side of N. June Street between Rosewood and Oakwood Avenues. It is currently a locally designated contributor to the Hancock Park HPOZ for its well-executed Italian Revival style architecture. The parcel is rectangular and includes one single family residence with an attached garage, front yard, side yard and back yard. The property was developed by Chisholm, Fortine and Meikle in 1928. This firm, although short lived, constructed a number of homes within the Hancock Park area. Although none of the principals in the firm were licensed architects, they most likely had either draftsman on staff or subcontracted the design to architectural firms in the area. The initial owners of the property after development were Marvel and Frank Chessman. After their divorce in 1933, Marvel lived in the house through 1935. Frank Chessman was a gynecological and obstetrics doctor working at and a board member of the Gorgas Memorial Institute, an organization dedicated to prolonging life and preventing illness.



Primary, west elevation, view east

Description

The two-story residence is L-shaped in plan, oriented west, and made wood frame construction on a concrete foundation. Unpainted stucco covers the entire exterior envelope. The residence features two volumes that make up the L-shaped plan: a two story volume that runs parallel to N. June, and a one-story wing that extends towards the back of the property. A gabled roof with clay tiles was installed on both.

The first floor of the primary elevation features three sets of French doors that open onto Juliet balconies and a various smaller windows along the second floor. This elevation also features the primary entrance to the residence, which is adorned with a stucco cartouche, a

faux-quoin archway and a Regency Revival style metal awning that was added in the 1960s. A long, concrete driveway extends from the street to the rear of the property. A concrete path leads from the driveway to a concrete patio in front of the primary elevation.

The north elevation features a concrete balcony from the second floor bedroom, a secondary entrance hooded by an ornate iron awning original to the residence, a series of windows on both the first and second floors, a tertiary entrance and the attached garage at the very end. The roof above the garage and tertiary entrance make up the one-story volume of the residence. Various windows on all elevations feature window shutters that are inoperable.

The landscape between the front elevation and the street consists of a concrete driveway, concrete paths, a concrete patio, a yard of grass, a retaining wall and a row of bushes obscuring the view of the front yard from the public right of way. None of these appear to date back to the period of significance; however, the design is compatible with the historical landscaping. There is also a grassy yard on the north side of the driveway that occupies a city right of way for Rosewood Street. The extension of the street was never constructed, so, at an unknown time, the landscape of the property extended into this area. A vacation of the land rights is being sought by the ownership to ensure no code enforcement issues will result from occupying this area of land.

The interior of the house is composed of three floors: a partially finished basement, first floor and second floor. The basement is accessed through a door in the side hallway and down a flight of stairs. The basement floor is partially finished with concrete. The first floor includes the entryway that allows

access to the parlor, living room, powder room, and dining room. This entry area also features the grand staircase to the second floor that has two landings as it wraps around a central volume. The staircase features a wrought iron balustrade. The flooring in the entry consists of terracotta tiles that were exposed after the current owner removed linoleum tiles installed in the 1960s. Some damage to the terracotta occurred as part of the demolition; however, the rehabilitation plan proposes to restore this area. Upon entering through the primary entrance, a door on the left opens to the parlor and an archway to the right opens onto a living room. The living room underwent inappropriate alterations in the 1960s: carpets were installed, wall paper was glued to the walls and a false wall was constructed at the south end of the room that encapsulated two arched coves and a picture window. The owner has removed all the aforementioned alterations and restored the room.

To the east of this room was originally an outdoor patio; however, it was enclosed during the 1960's. The current owner proposes to keep this alteration, but install more appropriate doors that allow access to the back yard. Currently, there is a ribbon of aluminum sliding glass doors. North of the enclosed porch is a door into the entry hallway immediately opposite where the staircase begins. Further past the staircase lies the secondary entrance door that leads out onto the north side of the property. Moving east is the dining room. The floors have been restored back to their original wood slats and the coffered ceiling has been painted. East of this room is a breakfast nook and butler's pantry. East of these rooms are the kitchen. The butler's pantry seems to retain a high amount of integrity, and the kitchen and breakfast nook appear to have been altered during the 1960's rehabilitation. East of the kitchen is a hallway that leads into the three-car garage. On the north side of this hallway is the tertiary entrance framed by large windows, and the south side of the hallway features doors into two different bedrooms and a bathroom.

The second floor contains three bedrooms and three bathrooms. The master suite occupies the north west corner of the second floor and was heavily altered during the 1960's rehabilitation. The bedroom allows access to the concrete balcony which features a wrought iron railing. This balcony is badly damaged and the rehabilitation plan proposes to restore it. The master bath is heavily altered. The south west portion of the house features another bedroom. The south east portion of the second floor is made up of an office, a bedroom and a bathroom. This bathroom seems to have retained original tilework and fixtures. This bedroom also features a balcony overlooking the back yard.

The rear yard has been altered through time with the addition of the swimming pool and concrete walkways.

The subject property retains integrity; nevertheless, it has undergone alterations by the current and previous owners.

Rehabilitation/Restoration/Maintenance Plan

The scope of rehabilitation, restoration, and maintenance work is substantial. Shortly after purchasing the property in 2013, the current owner completed interior restoration of the entry and public areas of the residence, which required substantial investment.

Proposed future work prioritizes the rewiring of the electrical system, addressing the site drainage and water management of the landscape, restoration of the primary elevation, rehabilitation of bathrooms while retaining historic features, and continued restoration in the public areas of the residence. Other rehabilitation work includes repair to stucco and decorative trim elements, repair of the wood windows and doors, stabilization of the concrete balcony, repair of the historic iron elements, replacement of the aluminum sliding doors, placement of additional bolting on the foundation, and repair of the roof as needed.

Review

Chattel, Inc. (Chattel) reviewed Mills Act contract application materials and conducted an on-site, pre-approval inspection on behalf of the Office of Historic Resources (OHR) on August 13, 2015. The inspection was attended by the property owner, Dante Di Lorento, and his consultant, Vanessa Withers. During the inspection, Chattel noted the following additional items that should be addressed in the Rehabilitation/Restoration/Maintenance Plan, which are consequently being added as Conditions for Approval:

- Master landscape plan: create a master landscape plan that identifies aspects of the landscape which are historically significant; study evidence of what historic elements have been removed; study the hydrology of the site; propose a schedule of vegetation removal or relocation for plants that are in close proximity to the residence; and propose a landscape plan for the entire property that focuses restoration and rehabilitation.
- Pursue a vacation of land rights from the City to ensure no code enforcement issues occur in the future regarding the land improvements made by the current and previous owners.

With added Conditions for Approval, the scope of recently completed and proposed work substantiates necessity for a Mills Act Contract and conforms with the *Secretary's Standards*.

Given uniqueness of the property, substantial private investment beyond routine maintenance, and appropriateness of completed and proposed rehabilitation, restoration, and maintenance tasks with Conditions for Approval, staff recommends approval of exemption from limitation of eligibility for a Mills Act Contract.

FINDINGS

A) *Granting the exemption will not cause the cumulative loss of property tax revenue to the City to exceed \$2,000,000 annually.*

The estimated fiscal impact to the City of Los Angeles on the existing and proposed Mills Act Contracts for 2015 is as follows:

Fiscal Impact of (769) existing Mills Act Contracts:	\$1,005,425
Fiscal Impact of (60) 2015 Applications (excluding exemptions):	\$76,362
Fiscal Impact of Pending Exemption Application:	\$2,843
Fiscal Impact of (8) other Exemption Application:	\$20,669
Fiscal Impact of All Proposed and Executed Contracts (1997 to 2015):	\$1,105,299
Fiscal Impact for All Agencies (estimated)*:	\$10,518,376
Percentage of Annual Cap Committed:	55%
Percentage of Annual Cap Available:	45%

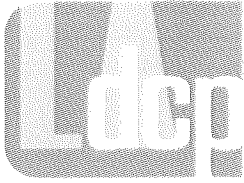
*The City's share of the general levy property tax collected by the County Assessor for FY 2014-15 (1% of property value) is .105082662, or 10.5%. The 2015-16 Apportionment Factor has not been posted as of the writing of this report, so the "Total Tax Revenue Loss for All Agencies (estimated)" will change slightly after the new factor is programmed into the calculation.

B) *The site, building or structure is a particularly significant Historic-Cultural Monument or Contributing Structure to an Historic Preservation Overlay Zone.*

The house is currently a locally designated contributor to the Hancock Park HPOZ for its well-executed Italian Revival style architecture. The house retains its integrity from Hancock Park's period of significance. Many original exterior elements are remain intact such as the unpainted stucco, windows and what appear to be original wooden shutters. The property was developed by Chisholm, Fortine and Meikle in 1928. This firm, although short lived, constructed a number of homes within the Hancock Park area. Although none of the principals in the firm were licensed architects, they most likely had either draftsman on staff or subcontracted the design to architectural firms in the area.

C) Granting the exemption will assist in the preservation of a site, building or structure which would otherwise be in danger of demolition, substantial alteration or relocation.

The current owner has shown they are a good steward of a historic property through completion of restoration work, systems upgrades, and rehabilitating the landscape. After purchasing the property in 2013, the owner immediately began removing the inappropriate alterations made in the 1960's and began restoration to the 1928 period of significance. As discussed previously, the owner has completed substantial rehabilitation of the public areas of the house, but still needs to finance restoration of the bedrooms, kitchen, building exterior and landscape. Also, there are aspects of the completed restoration that need more work, such as repairing the damage to the terra cotta tile at the entry that was done as part of the installation of the linoleum in the 1960s. The owner also intends to complete larger rehabilitation projects, including resetting the tiles on the roof and adding seismic upgrades. The owner is committed to continue the necessary repair and restoration work to ensure the material health of the residence. Granting the exemption will provide an incentive to complete many of the complex, expensive tasks, which will enhance historic character of the subject property. Since this site is a contributor to a HPOZ, there is currently no design review of interior modifications. Approval of the contract will ensure the protection of significant interior character-defining features that would otherwise be in danger of substantial alteration.



City of Los Angeles Department of City Planning

4/29/2015

PARCEL PROFILE REPORT

PROPERTY ADDRESSES

464 N JUNE ST

ZIP CODES

90004

RECENT ACTIVITY

CHC-2015-1613-MAEX

CASE NUMBERS

CPC-2007-2705-HPOZ-MS

CPC-2004-4578-ICO

CPC-2002-6157-ICO

CPC-2002-230-HPOZ

ORD-180162

ORD-177839

ORD-176228

ORD-175149

ENV-2006-1017-CE

ENV-2002-358-CE

Address/Legal Information

PIN Number	141B185 1011
Lot/Parcel Area (Calculated)	13,884.8 (sq ft)
Thomas Brothers Grid	PAGE 593 - GRID E7
Assessor Parcel No. (APN)	5523003013
Tract	TR 8320
Map Reference	M B 98-41/43
Block	None
Lot	282
Arb (Lot Cut Reference)	None
Map Sheet	141B185

Jurisdictional Information

Community Plan Area	Wilshire
Area Planning Commission	Central
Neighborhood Council	Greater Wilshire
Council District	CD 4 - Tom LaBonge
Census Tract #	1923.00
LADBS District Office	Los Angeles Metro

Planning and Zoning Information

Special Notes	None
Zoning	R1-1-HPOZ
Zoning Information (ZI)	ZI-2440 Hancock Park ZI-1195 State of California (Division of Oil and Gas) Approval
General Plan Land Use	Low II Residential
General Plan Footnote(s)	Yes
Hillside Area (Zoning Code)	No
Baseline Hillside Ordinance	No
Baseline Mansionization Ordinance	Yes
Specific Plan Area	None
Special Land Use / Zoning	None
Design Review Board	No
Historic Preservation Review	Yes
Historic Preservation Overlay Zone	Hancock Park
Other Historic Designations	None
Other Historic Survey Information	None
Mills Act Contract	None
POD - Pedestrian Oriented Districts	None
CDO - Community Design Overlay	None
NSO - Neighborhood Stabilization Overlay	No
Streetscape	No
Sign District	No
Adaptive Reuse Incentive Area	None
CRA - Community Redevelopment Agency	None
Central City Parking	No
Downtown Parking	No
Building Line	None
500 Ft School Zone	No

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at zimas.lacity.org
(* - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

500 Ft Park Zone	No
Assessor Information	
Assessor Parcel No. (APN)	5523003013
Ownership (Assessor)	
Owner1	DI LORETO,DANTE C/O C/O RANDY SUGARMAN
Address	11845 W OLYMPIC BLVD NO 1125W LOS ANGELES CA 90064
Ownership (City Clerk)	
Owner	DI LORETO, DANTE C/O RANDY SUGARMAN
Address	11845 W OLYMPIC BLVD STE 1125W LOS ANGELES CA 90064
APN Area (Co. Public Works)*	0.322 (ac)
Use Code	0101 - Single Residence with Pool
Assessed Land Val.	\$2,600,461
Assessed Improvement Val.	\$1,113,750
Last Owner Change	03/26/13
Last Sale Amount	\$3,625,036
Tax Rate Area	67
Deed Ref No. (City Clerk)	445465
	306291
	182
	126565
	1096269
Building 1	
Year Built	1928
Building Class	D10C
Number of Units	1
Number of Bedrooms	5
Number of Bathrooms	4
Building Square Footage	5,128.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5

Additional Information

Airport Hazard	None
Coastal Zone	None
Farmland	Area Not Mapped
Very High Fire Hazard Severity Zone	No
Fire District No. 1	No
Flood Zone	None
Watercourse	No
Hazardous Waste / Border Zone Properties	No
Methane Hazard Site	Methane Zone
High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	No
Oil Wells	None

Seismic Hazards

Active Fault Near-Source Zone	
Nearest Fault (Distance in km)	2.87761737166357
Nearest Fault (Name)	Hollywood Fault
Region	Transverse Ranges and Los Angeles Basin
Fault Type	B
Slip Rate (mm/year)	1.00000000
Slip Geometry	Left Lateral - Reverse - Oblique

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 (*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

Slip Type	Poorly Constrained
Down Dip Width (km)	14.00000000
Rupture Top	0.00000000
Rupture Bottom	13.00000000
Dip Angle (degrees)	70.00000000
Maximum Magnitude	6.40000000
Alquist-Priolo Fault Zone	No
Landslide	No
Liquefaction	No
Tsunami Inundation Zone	No

Economic Development Areas

Business Improvement District	None
Renewal Community	No
Revitalization Zone	None
State Enterprise Zone	None
State Enterprise Zone Adjacency	No
Targeted Neighborhood Initiative	None

Public Safety

Police Information

Bureau	West
Division / Station	Wilshire
Reporting District	719

Fire Information

Division	3
Batallion	5
District / Fire Station	27
Red Flag Restricted Parking	No

CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number: CPC-2007-2705-HPOZ-MSC

Required Action(s): HPOZ-HISTORIC PRESERVATION OVERLAY ZONE
MSC-MISCELLANEOUS (POLICIES, GUIDELINES, RESOLUTIONS, ETC.)

Project Descriptions(s): RE-ADOPTION OF HANCOCK PARK HPOZ WITH REVISIONS TO THE HISTORIC RESOURCES SURVEY AND DEVELOPMENT OF A PRESERVATION PLAN.

Case Number: CPC-2004-4578-ICO

Required Action(s): ICO-INTERIM CONTROL ORDINANCE

Project Descriptions(s): INTERIM CONTROL ORDINANCE IMPOSING A TEMPORARY PROHIBITION ON THE ISSUANCE OF CERTAIN BUILDING PERMITS FOR THE DEMOLITION OF, CHANGE OF USE OF, ADDITION OR ALTERATION TO A BUILDING OR STRUCTURE INVOLVING 51% OR MORE OF THE FLOOR AREA, MODIFYING MORE THAN 51% OF THE LINEAL DIMENSION OF THE FRONT BUILDING FACADE OR INCLUDING ESTIMATED CONSTRUCTION COSTS EXCEEDING 51% OF THE CURRENT VALUE OF IMPROVEMENTS AS DETERMINED BY THE DEPARTMENT OF BUILDING AND SAFETY WITHIN THE PROPOSED HANCOCK PARK HPOZ AREA.

Case Number: CPC-2002-6157-ICO

Required Action(s): ICO-INTERIM CONTROL ORDINANCE

Project Descriptions(s): A TEMPORARY PROHIBITION ON THE ISSUANCE OF CERTAIN BUILDING PERMITS WHICH AFFECT THE DEMOLITION OF, CHANGE OF USE OF, ADDITION OR ALTERATION TO A BUILDING OR STRUCTURE.

Case Number: CPC-2002-230-HPOZ

Required Action(s): HPOZ-HISTORIC PRESERVATION OVERLAY ZONE

Project Descriptions(s):

Case Number: ENV-2006-1017-CE

Required Action(s): CE-CATEGORICAL EXEMPTION

Project Descriptions(s):

Case Number: ENV-2002-358-CE

Required Action(s): CE-CATEGORICAL EXEMPTION

Project Descriptions(s):

DATA NOT AVAILABLE

ORD-180162

ORD-177839

ORD-176228

ORD-175149

04/29/2015

2011 Digital Color-Ortho

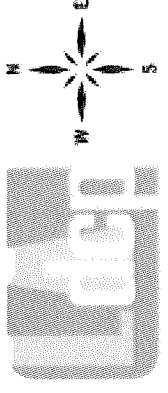
ZIMAS INTRANET



Address: 464 N JUNE ST
APN: 5523003013
PIN #: 141B185 1011










Tract: TR 8320
Block: None
Lot: 282
Arb: None

Zoning: R1-1-HPOZ
General Plan: Low II Residential



LEGEND

GENERALIZED ZONING

-  OS, GW
-  A, RA
-  RE, RS, R1, RU, RZ, RW1
-  R2, RD, RMP, RW2, R3, RAS, R4, R5
-  CR, C1, C1.5, C2, C4, C5, CW, ADP, LASED, CEC, USC, PVSP
-  CM, MR, WC, CCS, UV, UI, UC, M1, M2, LAX, M3, SL
-  P, PB
-  PF
-  HILLSIDE

GENERAL PLAN LAND USE

LAND USE

RESIDENTIAL





-  Minimum Residential
Very Low / Very Low I Residential
-  Very Low II Residential
-  Low / Low I Residential
-  Low II Residential
-  Low Medium / Low Medium I Residential
-  Low Medium II Residential
-  Medium Residential
-  High Medium Residential
-  High Density Residential
-  Very High Medium Residential

COMMERCIAL






-  Limited Commercial
-  Limited Commercial - Mixed Medium Residential
-  Highway Oriented Commercial
-  Highway Oriented and Limited Commercial
-  Highway Oriented Commercial - Mixed Medium Residential
-  Neighborhood Office Commercial
-  Community Commercial
-  Community Commercial - Mixed High Residential
-  Regional Center Commercial

FRAMEWORK

COMMERCIAL

-  Neighborhood Commercial
-  General Commercial
-  Community Commercial
-  Regional Mixed Commercial






INDUSTRIAL

-  Commercial Manufacturing
-  Limited Manufacturing
-  Light Manufacturing
-  Heavy Manufacturing
-  Hybrid Industrial

PARKING

-  Parking Buffer






PORT OF LOS ANGELES

-  General / Bulk Cargo - Non Hazardous (Industrial / Commercial)
-  General / Bulk Cargo - Hazard
-  Commercial Fishing
-  Recreation and Commercial
-  Intermodal Container Transfer Facility Site



LOS ANGELES INTERNATIONAL AIRPORT

-  Airport Landside
-  Airport Airside
-  Airport Northside

OPEN SPACE / PUBLIC FACILITIES
















-  Open Space
-  Public / Open Space
-  Public / Quasi-Public Open Space
-  Other Public Open Space
-  Public Facilities

















INDUSTRIAL

-  Limited Industrial
-  Light Industrial

CIRCULATION

STREET
























-  Arterial Mountain Road
-  Collector Scenic Street
-  Collector Street
-  Collector Street (Hillside)
-  Collector Street (Modified)
-  Collector Street (Proposed)
-  Country Road
-  Divided Major Highway II
-  Divided Secondary Scenic Highway
-  Local Scenic Road
-  Local Street
-  Major Highway (Modified)
-  Major Highway I
-  Major Highway II
-  Major Highway II (Modified)

-  Major Scenic Highway
-  Major Scenic Highway (Modified)
-  Major Scenic Highway II
-  Mountain Collector Street
-  Park Road
-  Parkway
-  Principal Major Highway
-  Private Street
-  Scenic Divided Major Highway II
-  Scenic Park
-  Scenic Parkway
-  Secondary Highway
-  Secondary Highway (Modified)
-  Secondary Scenic Highway
-  Special Collector Street
-  Super Major Highway

FREEWAYS

-  Freeway
-  Interchange
-  On-Ramp / Off-Ramp
-  Railroad
-  Scenic Freeway Highway




MISC. LINES

-  Airport Boundary
-  Bus Line
-  Coastal Zone Boundary
-  Coastline Boundary
-  Collector Scenic Street (Proposed)
-  Commercial Areas
-  Commercial Center
-  Community Redevelopment Project Area
-  Country Road
-  DWP Power Lines
-  Desirable Open Space
-  Detached Single Family House
-  Endangered Ridgeline
-  Equestrian and/or Hiking Trail
-  Hiking Trail
-  Historical Preservation
-  Horsekeeping Area
-  Local Street
-  MSA Desirable Open Space
-  Major Scenic Controls
-  Multi-Purpose Trail
-  Natural Resource Reserve
-  Park Road
-  Park Road (Proposed)
-  Quasi-Public
-  Rapid Transit Line
-  Residential Planned Development
-  Scenic Highway (Obsolete)
-  Secondary Scenic Controls
-  Secondary Scenic Highway (Proposed)
-  Site Boundary
-  Southern California Edison Power
-  Special Study Area
-  Specific Plan Area
-  Stagecoach Line
-  Wildlife Corridor

POINTS OF INTEREST




 Alternative Youth Hostel (Proposed)	 Horticultural Center	 Public Elementary School
 Animal Shelter	 Hospital	 Public Elementary School (Proposed)
 Area Library	 Hospital (Proposed)	 Public Golf Course
 Area Library (Proposed)	HW House of Worship	 Public Golf Course (Proposed)
 Bridge	e Important Ecological Area	 Public Housing
 Campground	 Important Ecological Area (Proposed)	 Public Housing (Proposed Expansion)
 Campground (Proposed)	 Interpretive Center (Proposed)	 Public Junior High School
 Cemetery	 Junior College	 Public Junior High School (Proposed)
HW Church	 MTA / Metrolink Station	 Public Middle School
 City Hall	 MTA Station	 Public Senior High School
 Community Center	 MTA Stop	 Public Senior High School (Proposed)
 Community Library	MWD MWD Headquarters	 Pumping Station
 Community Library (Proposed Expansion)	 Maintenance Yard	 Pumping Station (Proposed)
 Community Library (Proposed)	 Municipal Office Building	 Refuse Collection Center
 Community Park	 Municipal Parking lot	 Regional Library
 Community Park (Proposed Expansion)	 Neighborhood Park	 Regional Library (Proposed Expansion)
 Community Park (Proposed)	 Neighborhood Park (Proposed Expansion)	 Regional Library (Proposed)
 Community Transit Center	 Neighborhood Park (Proposed)	 Regional Park
 Convalescent Hospital	 Oil Collection Center	 Regional Park (Proposed)
 Correctional Facility	 Parking Enforcement	RPD Residential Plan Development
 Cultural / Historic Site (Proposed)	 Police Headquarters	 Scenic View Site
 Cultural / Historical Site	 Police Station	 Scenic View Site (Proposed)
 Cultural Arts Center	 Police Station (Proposed Expansion)	 School District Headquarters
DMV DMV Office	 Police Station (Proposed)	 School Unspecified Loc/Type (Proposed)
DWP DWP	 Police Training site	 Skill Center
 DWP Pumping Station	PO Post Office	 Social Services
 Equestrian Center	 Power Distribution Station	 Special Feature
 Fire Department Headquarters	 Power Distribution Station (Proposed)	 Special Recreation (a)
 Fire Station	 Power Receiving Station	 Special School Facility
 Fire Station (Proposed Expansion)	 Power Receiving Station (Proposed)	 Special School Facility (Proposed)
 Fire Station (Proposed)	C Private College	 Steam Plant
 Fire Supply & Maintenance	E Private Elementary School	 Surface Mining
 Fire Training Site	 Private Golf Course	 Trail & Assembly Area
 Fireboat Station	 Private Golf Course (Proposed)	 Trail & Assembly Area (Proposed)
 Health Center / Medical Facility	JH Private Junior High School	UTL Utility Yard
 Helistop	PS Private Pre-School	 Water Tank Reservoir
 Historic Monument	 Private Recreation & Cultural Facility	 Wildlife Migration Corridor
 Historical / Cultural Monument	SH Private Senior High School	 Wildlife Preserve Gate
 Horsekeeping Area	SF Private Special School	
 Horsekeeping Area (Proposed)	 Public Elementary (Proposed Expansion)	

500 FT. SCHOOL/PARK ZONE



























-  Existing School/Park Site
-  Planned School/Park Site
-  Inside 500 Ft. Buffer

- | | |
|--|--|
|  Aquatic Facilities |  Opportunity School |
|  Beaches |  Other Facilities |
|  Charter School |  Park / Recreation Centers |
|  Child Care Centers |  Parks |
|  Elementary School |  Performing / Visual Arts Centers |
|  Golf Course |  Recreation Centers |
|  High School |  Span School |
|  Historic Sites |  Special Education School |
|  Horticulture/Gardens |  Senior Citizen Centers |
|  Middle School |  Skate Parks |

COASTAL ZONES

-  Dual Jurisdictional Coastal Zone
-  Calvo Exclusion Area
-  Coastal Zone Commission Authority

OTHER SYMBOLS

- | | | |
|--|---|--|
|  Lot Line |  Airport Hazard Zone |  Flood Zone |
|  Tract Line |  Census Tract |  Hazardous Waste |
|  Lot Cut |  Coastal Zone |  High Wind Zone |
|  Easement |  Council District |  Hillside Grading |
|  Zone Boundary |  LADBS District Office |  Historic Preservation Overlay Zone |
|  Building Line |  Downtown Parking |  Specific Plan Area |
|  Lot Split |  Fault Zone |  Very High Fire Hazard Severity Zone |
|  Community Driveway |  Fire District No. 1 |  Oil Wells |
|  Tract Map | | |
|  Parcel Map | | |
|  Lot Ties | | |
|  Building Outlines | | |

RECORDING REQUESTED BY
AND WHEN RECORDED RETURN TO:

Los Angeles Department of City Planning
Historical Property Contracts Program
200 North Spring Street, Room 559
Los Angeles, California 90012

SPACE ABOVE THIS LINE IS RESERVED FOR RECORDER'S USE

TITLE(S)

HISTORICAL PROPERTY CONTRACT

BY AND BETWEEN THE CITY OF LOS ANGELES,
A MUNICIPAL CORPORATION, AND

DANTE DI LORETO

(PRINT NAME OF EACH OWNER AS LISTED ON TITLE)

FOR THE PRESERVATION AND BENEFIT OF THE
HISTORIC-CULTURAL MONUMENT OR
CONTRIBUTING STRUCTURE PROPERTY LOCATED AT

464 N. JUNE STREET

(L.A.M.C. SECTIONS 19.140, et seq.)

THIS AGREEMENT is made and entered into this _____ day of _____ 2015, by and
(LEAVE DATE BLANK UNTIL RECORDED)

between the CITY OF LOS ANGELES, a municipal corporation (hereinafter referred to as the "City") and
DANTE DI LORETO (hereinafter referred to as the "Owner").

(PRINT NAME OF EACH OWNER AS LISTED ON TITLE)

WITNESSETH:

- (i) California Government Code Sections 50280, et seq. authorize cities to enter into contracts with the owners of qualified historical properties to provide for the use, maintenance and restoration of such historical properties so as to retain their characteristics as properties of historical significance.
- (ii) Owner possesses fee title in and to that certain real property, together with associated structures and improvements thereon, commonly known as the Contributing Property _____ and located at the street address 464 N. JUNE STREET _____, Los Angeles, California 90004 _____, (hereinafter such property shall be referred to as the "Property"). A legal description of the Property and Rehabilitation/Restoration/Maintenance Plan (hereinafter referred to as the "Plan") for the Property is attached hereto, marked as **Exhibit "A"**, and is incorporated herein by this reference.

- (iii) On N/A, N/A: (a) the City Council of the City of Los Angeles declared the Property Historic-Cultural Monument No. N/A pursuant to Section 22.171.10 of the Los Angeles Administrative Code (Council File No. N/A - N/A); or, (b) The Property was determined to be a Contributing Structure to the Windsor Square Historic Preservation Overlay Zone pursuant to Section 12.20.3 of the Los Angeles Municipal Code.
- (iv) City and Owner, for their mutual benefits, now desire to enter into this agreement both to protect and preserve the characteristics of historical significance of the Property and to qualify the Property for an assessment of valuation pursuant to the provisions of Section 439, et seq., of the California Revenue and Taxation Code.

NOW THEREFORE, City and Owner, in consideration of the mutual covenants and conditions set forth herein, do hereby agree as follows:

1. Effective Date and Term of Agreement.

This Historical Property Contract (hereinafter referred to as the "Agreement") shall be effective and commence on the date it is recorded (hereinafter referred to as the "effective date") and shall remain in effect for a term of ten (10) years thereafter. Each year upon the anniversary of the effective date, such initial term will automatically be extended, subject to provisions of paragraph 2, below.

2. Renewal.

Each year on the anniversary of the effective date of this Agreement (hereinafter referred to as the "renewal date"), a year shall automatically be added to the initial term of this Agreement unless notice of nonrenewal is mailed as provided herein. If either Owner or City desires in any year not to renew the Agreement, Owner or City shall serve written notice of nonrenewal of the Agreement on the other party in advance of the annual renewal date of the Agreement. Unless such notice is served by Owner to City at least ninety (90) days prior to the annual renewal date, or served by City to Owner at least sixty (60) days prior to the annual renewal date, one (1) year shall automatically be added to the term of the Agreement as provided herein. Upon receipt by Owner of a notice of nonrenewal from City, Owner may make a written protest of the notice. City may, at any time prior to the annual renewal date of the Agreement, withdraw its notice to Owner of nonrenewal. If either City or Owner serves notice to the other of nonrenewal in any year, the Agreement shall remain in effect for the balance of the term then remaining, either from its original execution or from the last renewal of the Agreement, whichever may apply.

3. Standards for Historical Property.

During the term of this Agreement, the Property shall be subject to the following conditions, requirements and restrictions:

- a. Owner shall preserve and maintain the characteristics of historical significance of the Property in accordance with the Plan. Attached hereto, marked as **Exhibit "B"**, and incorporated herein by this reference, is a list of those minimum standards and conditions for maintenance, use and preservation of the Property, which shall apply to such property throughout the term of this Agreement.
- b. Owner shall restore and rehabilitate the property according to the Plan, the rules and

- regulations of the Secretary of the Interior's Standards for Rehabilitation (Exhibit "B"), and the California Historical Building Code.
- c. Owner shall allow reasonable periodic examinations, by prior appointment, of the interior and exterior of the Property by representatives of the City, County or City and County prior to any new agreement and every 5 years thereafter, and as may be necessary to determine owner's compliance with the terms and provisions of this Agreement.

4. Provision of Information of Compliance.

Owner hereby agrees to furnish City with any and all information requested by the City which may be necessary or advisable to determine compliance with the terms and provisions of this Agreement.

5. Cancellation.

City, following a duly noticed public hearing as set forth in California Government Code Sections 50280, et seq., may cancel this Agreement if it determines that Owner breached any of the conditions of this Agreement or has allowed the property to deteriorate to the point that it no longer meets the standards for a Historic-Cultural Monument or Contributing Structure. City may also cancel this Agreement if it determines that the Owner has failed to restore or rehabilitate the property in the manner specified in subparagraph 3(b) of the Agreement, including but not limited to Owner's failure to comply with the Plan and/or Owner's failure to complete the rehabilitation and restoration identified in the Plan as provided for in the Plan. Except as otherwise provided in Section 19.143 of the Los Angeles Municipal Code, in the event of cancellation of this Agreement by the City, Owner shall pay the State of California a cancellation fee of Twelve and One-Half percent (12 1/2%) of the current fair market value of the Property at the time of cancellation, as determined by County Assessor without regard to any restrictions on the Property imposed pursuant to this Agreement. Payment of the fee shall be made in accordance with the provisions of subsection (b) of Section 50286 of the Government Code.

6. Enforcement of Agreement.

In lieu of and/or in addition to any provisions to cancel the Agreement as referenced herein, City may specifically enforce, or enjoin the breach of, the terms of this Agreement. In the event of a default under the provisions of this Agreement by Owner, City shall give written notice to Owner by registered or certified mail addressed to the address stated in this Agreement, and if such a violation is not corrected to the reasonable satisfaction of the City within thirty (30) days thereafter, or if not corrected within such a reasonable time as may be required to cure the breach or default if said breach or default cannot be cured within thirty (30) days (provided that acts to cure the breach or default must be commenced within thirty (30) days and must thereafter be diligently pursued to completion by Owner), then City may, without further notice, declare a default under the terms of this Agreement and may bring any action necessary to specifically enforce the obligations of Owner pursuant to the terms of this Agreement, apply to any court, state or federal, for injunctive relief against any violation by Owner, or apply for such other relief as may be appropriate. City does not waive any claim of default by Owner if City does not enforce or cancel this Agreement. All other remedies at law or in equity which are not otherwise provided for in this Agreement or in City's regulations governing historic properties

are available to the City to pursue in the event that there is a breach of this Agreement. No waiver of any breach or default under this Agreement shall be deemed to a waiver of any other subsequent breach thereof or default hereunder.

7. Binding Effect of Agreement.

The Owner hereby voluntarily subjects the Property described in Exhibit "A" hereto to the covenants, reservations and restrictions as set forth in this Agreement. City and Owner hereby declare their specific intent that the covenants, reservations and restrictions as set forth herein shall be deemed covenants running with the land and shall pass to and be binding upon the Owner's successors and assigns in title or interest to the Property. Each and every contract, deed or other instrument hereinafter executed, covering or conveying the Property, or any portion thereof, shall conclusively be held to have been executed, delivered and accepted subject to the covenants, reservations and restrictions expressed in this Agreement whether or not such covenants, reservations and restrictions are set forth in such contract, deed or other instrument.

City and Owner hereby declare their understanding and intent that the burden of the covenants, reservations and restrictions set forth herein touch and concern the land in that Owner's legal interest in the Property is rendered less valuable thereby. City and Owner hereby further declare their understanding and intent that the benefit of such covenants, reservations and restrictions touch and concern the land by enhancing and maintaining the historic characteristics and significance of the Property for the benefit of the public and Owner.

8. Notice.

Any notice required to be given by the terms of this Agreement shall be provided at the address of the respective parties as specified below or at any other address as may be later specified by the parties hereto.

To City: Los Angeles Department of City Planning
200 North Spring Street, Room 559
Los Angeles, California 90012
Attn: Historical Property Contracts Manager

To Owner: Name DANTE DI LORETO
Address 464 N. JUNE STREET
LOS ANGELES, CA 90004

9. General Provisions.

a. None of the terms, provisions or conditions of this Agreement shall be deemed to create a partnership between the parties hereto and any of their heirs, successors or assigns, nor

shall such terms, provisions or conditions cause them to be considered joint venturers or members of any joint enterprise.

- b. Owner agrees to and shall hold City and its elected officials, officers, employees and agents harmless from any and all liability for damage or claims for damage for personal injuries, including death, and claims for property damage which may arise from the direct or indirect use or operations of Owner or those of his contractor, subcontractor, agent, employee or other person acting on his behalf which relate to the use, operation and maintenance of the Property. Owner hereby agrees to and shall defend the City and its elected officials, officers, employees and agents with respect to any and all actions for damages caused by, or alleged to have been caused by, reason of Owner's activities in connection with the Property. This hold harmless provision applies to all damages and claims for damages suffered, or alleged to have been suffered, by reason of the operations referred to in this Agreement whether or not the City prepared, supplied or approved the plans, specifications or other documents for the Property.
- c. All of the agreements, rights, covenants, reservations and restrictions contained in this Agreement shall be binding upon and shall inure to the benefit of the parties herein, their heirs, successors, legal representatives, assigns and all persons acquiring any part or portion of the Property, whether by operation of law or in any manner whatsoever.
- d. In the event legal proceedings are brought by any party or parties to enforce or restrain a violation of any of the covenants, reservations or restrictions contained herein, or to determine the rights and duties of any party hereunder, the prevailing party in such proceeding may recover all reasonable attorney's fees to be fixed by the court, in addition to court costs and other relief ordered by the court.
- e. In the event that any of the provisions of this Agreement are held to be unenforceable or invalid by any court of competent jurisdiction, or by subsequent preemptive legislation, the validity and enforceability of the remaining provisions, or portions thereof, shall not be effected thereby.
- f. This Agreement shall be construed and governed in accordance with the laws of the State of California.

10. Recordation.

No later than twenty (20) days after the parties execute and enter into this Agreement, City shall cause this Agreement to be recorded in the Office of the County Recorder of the County of Los Angeles.

11. Amendments.

This Agreement may be amended, in whole or in part, only by a written recorded instrument executed by the parties hereto.

12. Fees.

Owner agrees to pay any such fees associated with the administration of the Agreement, so long as the fee does not exceed the City's and County's reasonable cost of providing the service pursuant to this article for which the fee is charged.

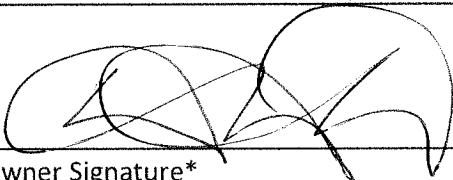
IN WITNESS WHEREOF, the parties have caused this contract to be duly executed.

THE CITY OF LOS ANGELES, a municipal corporation:

ATTEST: HOLLY WOLCOTT, City Clerk/Executive Officer

By: _____
Deputy Date

By: _____
MICHAEL J. LOGRANDE, Director of Planning Date

By:  _____
Owner Signature*

DANTE DI LORETO 5.14.15
Print Name Date

By: _____
Owner Signature*

Print Name Date

By: _____
Owner Signature*

Print Name Date

APPROVED AS TO FORM

MICHAEL N. FEUER, City Attorney

By: _____
Deputy City Attorney, Office of the City Attorney Date

* Approved Recording Signature Method: The contract signature(s) and printed names(s) above MUST BE IDENTICAL to the printed names(s) on the first page of the contract and the Notary Acknowledgement Form. If not, the contract will be rejected by the County Recorder.

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Los Angeles)

On 5-14-2015 before me, Jeanette R. Atlas, Notary Public
(insert name and title of the officer)

personally appeared DANTE DI LORETO,
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are
subscribed to the within instrument and acknowledged to me that he/~~she/they~~ executed the same in
his/~~her/their~~ authorized capacity(ies), and that by his/~~her/their~~ signature(s) on the instrument the
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Jeanette R. Atlas (Seal)



CITY OF LOS ANGELES

HISTORICAL PROPERTY CONTRACT APPLICATION FORM

OWNER INFORMATION

PROPERTY ADDRESS: 464 N. June Street Los Angeles, Ca 90004

OWNER(S) OF PROPERTY: Dante Di Loreto

OWNER(S) MAILING ADDRESS: 464 N. June Street Los Angeles, Ca 90004

HOME TELEPHONE: WORK TELEPHONE:

MOBILE TELEPH: ALTERNATE TELEPHONE:

OWNER(S) EMA: ALTERNATE EMAIL:

PROPERTY INFORMATION

Legal Description: TRACT: TR 8320 BLOCK: None LOT: 282 ARB: None

Assessor Identification Number (AIN): 5523 - 003 - 013 COUNCIL DISTRICT NO.: 4

PROPERTY PURCHASE DATE: 3/26/2013 MOST RECENT ASSESSED VALUE: 3714211

OWNER OCCUPIED: YES NO USE: SINGLE-FAMILY DWELLING MULTI-FAMILY/ COMMERCIAL/ INDUSTRIAL

ADDRESSES FOR ALL OTHER PROPERTY OWNED WITHIN THE CITY OF LOS ANGELES ARE NOTED ON A SEPARATE SHEET OF PAPER, LABELED "ATTACHMENT E", AND SUBMITTED WITH THIS APPLICATION? YES NA

TAXES ON ALL PROPERTY OWNED WITHIN THE CITY OF LOS ANGELES ARE PAID TO DATE? YES NO

ARE THERE ANY OUTSTANDING ORDERS TO COMPLY AGAINST THE PROPERTY FROM THE LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY OR LOS ANGELES HOUSING + COMMUNITY INVESTMENT DEPARTMENT? YES NO

HISTORICAL SIGNIFICANCE

HISTORIC-CULTURAL MONUMENT (HCM)

HCM NUMBER: HCM NAME:

CONTRIBUTOR TO A HISTORIC PRESERVATION OVERLAY ZONE (HPOZ)

HPOZ NAME: Hancock Park HISTORIC PROPERTY NAME: Residence for Mrs. Fon Chessman

ORIGINAL CONSTRUCTION DATE: 1928 ARCHITECT(S): Builder: Chisholm, Fortine & Meikle

ARCHITECTURAL STYLE: Mediterranean Revival

I AM (WE ARE) THE PRESENT OWNER(S) OF THE PROPERTY DESCRIBED ABOVE AND HEREBY APPLY FOR AN HISTORICAL PROPERTY CONTRACT.

Handwritten signature and date 3/30/15

OWNER SIGNATURE DATE OWNER SIGNATURE DATE

Dante Di Loreto

PRINT NAME PRINT NAME

EXHIBIT "A"

REHABILITATION/RESTORATION/MAINTENANCE PLAN

PROPERTY ADDRESS: 464 N. JUNE ST. LOS ANGELES, CA 90004

Use this form to propose all preservation work necessary to rehabilitate the property. In this plan, include all of the expected maintenance, restoration and replacement of historic features on the property, not modernization or construction of new elements. Although modernization may be an important part of your rehabilitation project, this form is meant to specifically capture the preservation work involved and not anything else. Copy this page as necessary to include all items that apply to your property. Begin by listing recently completed preservation work (if applicable) and continue with work proposed to complete within the next ten years arranging in order of priority.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Windows and DoorsCost \$ 30,000 (round to nearest dollar) Contract Year of Proposed Work Completion: _____Description of work: Repaired/Re-built (when necessary) some windows and doors

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Window and Door HardwareCost \$ 15,000 (round to nearest dollar) Contract Year of Proposed Work Completion: _____Description of work: Restored original hardware on windows and doors

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Hardwood FloorsCost \$ 25,000 (round to nearest dollar) Contract Year of Proposed Work Completion: _____Description of work: Refinished original hardwood floors

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Interior Walls, Moldings, and Architectural ElementsCost \$ 75,000 (round to nearest dollar) Contract Year of Proposed Work Completion: _____Description of work: Restored interior walls, moldings, and architectural elements and re-painted

EXHIBIT "A"

REHABILITATION/RESTORATION/MAINTENANCE PLAN

PROPERTY ADDRESS: 464 N. JUNE ST. LOS ANGELES, CA 90004

Use this form to propose all preservation work necessary to rehabilitate the property. In this plan, include all of the expected maintenance, restoration and replacement of historic features on the property, not modernization or construction of new elements. Although modernization may be an important part of your rehabilitation project, this form is meant to specifically capture the preservation work involved and not anything else. Copy this page as necessary to include all items that apply to your property. Begin by listing recently completed preservation work (if applicable) and continue with work proposed to complete within the next ten years arranging in order of priority.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Site conditions/drainageCost \$ 15,000 (round to nearest dollar) Contract Year of Proposed Work Completion: 2017Description of work: Improve site drainage and water management

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Electrical SystemCost \$ 25,000 (round to nearest dollar) Contract Year of Proposed Work Completion: 2017Description of work: Re-wire electrical system for house

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Front FacadeCost \$ 10,000 (round to nearest dollar) Contract Year of Proposed Work Completion: 2018Description of work: Remove metal awning at front entry (alteration) and repair stucco

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: BathroomsCost \$ 60,000 (round to nearest dollar) Contract Year of Proposed Work Completion: 2019Description of work: Rehabilitate existing bathrooms, retaining/restoring original tile where possible

EXHIBIT "A"

REHABILITATION/RESTORATION/MAINTENANCE PLAN

PROPERTY ADDRESS: 464 N. JUNE ST. LOS ANGELES, CA 90004

Use this form to propose all preservation work necessary to rehabilitate the property. In this plan, include all of the expected maintenance, restoration and replacement of historic features on the property, not modernization or construction of new elements. Although modernization may be an important part of your rehabilitation project, this form is meant to specifically capture the preservation work involved and not anything else. Copy this page as necessary to include all items that apply to your property. Begin by listing recently completed preservation work (if applicable) and continue with work proposed to complete within the next ten years arranging in order of priority.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: HardscapeCost \$ 20,000 (round to nearest dollar) Contract Year of Proposed Work Completion: 2019Description of work: Replace damaged hardscape in front of house

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Interior terracotta tile floorsCost \$ 15,000 (round to nearest dollar) Contract Year of Proposed Work Completion: 2020Description of work: Repair and restore interior terracotta tile floors

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Exterior IronworkCost \$ 25,000 (round to nearest dollar) Contract Year of Proposed Work Completion: 2020Description of work: Repair and restore ironwork around exterior of property

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Sliding DoorsCost \$ 35,000 (round to nearest dollar) Contract Year of Proposed Work Completion: 2021Description of work: Replace sliding doors in addition

EXHIBIT "A"

REHABILITATION/RESTORATION/MAINTENANCE PLAN

PROPERTY ADDRESS: 464 N. JUNE ST. LOS ANGELES, CA 90004

Use this form to propose all preservation work necessary to rehabilitate the property. In this plan, include all of the expected maintenance, restoration and replacement of historic features on the property, not modernization or construction of new elements. Although modernization may be an important part of your rehabilitation project, this form is meant to specifically capture the preservation work involved and not anything else. Copy this page as necessary to include all items that apply to your property. Begin by listing recently completed preservation work (if applicable) and continue with work proposed to complete within the next ten years arranging in order of priority.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Windows and DoorsCost \$ 30,000 (round to nearest dollar) Contract Year of Proposed Work Completion: 2022Description of work: Rehabilitate windows and doors that still need rehabilitation

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Exterior stucco and cast elements around exteriorCost \$ 50,000 (round to nearest dollar) Contract Year of Proposed Work Completion: 2022Description of work: Repair and restore stucco and cast elements and re-paint exterior

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: FoundationCost \$ 15,000 (round to nearest dollar) Contract Year of Proposed Work Completion: 2023Description of work: Place additional foundation bolting

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Plumbing - Drain LinesCost \$ 15,000 (round to nearest dollar) Contract Year of Proposed Work Completion: 2025Description of work: Replace/address drain lines when required

EXHIBIT "A"

REHABILITATION/RESTORATION/MAINTENANCE PLAN

PROPERTY ADDRESS: 464 N. JUNE ST. LOS ANGELES, CA 90004

Use this form to propose all preservation work necessary to rehabilitate the property. In this plan, include all of the expected maintenance, restoration and replacement of historic features on the property, not modernization or construction of new elements. Although modernization may be an important part of your rehabilitation project, this form is meant to specifically capture the preservation work involved and not anything else. Copy this page as necessary to include all items that apply to your property. Begin by listing recently completed preservation work (if applicable) and continue with work proposed to complete within the next ten years arranging in order of priority.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Roof

Cost \$45,000 (round to nearest dollar) Contract Year of Proposed Work Completion: 2025

Description of work: Re-roof when needed

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature:

Cost \$ (round to nearest dollar) Contract Year of Proposed Work Completion:

Description of work:

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature:

Cost \$ (round to nearest dollar) Contract Year of Proposed Work Completion:

Description of work:

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature:

Cost \$ (round to nearest dollar) Contract Year of Proposed Work Completion:

Description of work:

EXHIBIT "A"

REHABILITATION/RESTORATION/MAINTENANCE PLAN

PROPERTY ADDRESS: 464 N. June Street

Use this form to propose all preservation work necessary to rehabilitate the property. In this plan, include all of the expected maintenance, restoration and replacement of historic features on the property, not modernization or construction of new elements. Although modernization may be an important part of your rehabilitation project, this form is meant to specifically capture the preservation work involved and not anything else. Copy this page as necessary to include all items that apply to your property. Begin by listing recently completed preservation work (if applicable) and continue with work proposed to complete within the next ten years arranging in order of priority.

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Master Landscape Plan

Cost \$ 3000 (round to nearest dollar)

Contract Year of Proposed Work Completion: 2017

Description of work: Identify aspects of the historic landscape and their condition, study the hydrology of the site, and propose rehab. plan for entire property

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature: Property occupancy rights

Cost \$ 2000 (round to nearest dollar)

Contract Year of Proposed Work Completion: 2020

Description of work: Pursue a vacation of land rights from the City to ensure no code enforcement issues occur regarding the land improvements made on the adjacent land

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature:

Cost \$ (round to nearest dollar)

Contract Year of Proposed Work Completion:

Description of work:

Maintenance Rehabilitation/Restoration Completed Proposed

Building Feature:

Cost \$ (round to nearest dollar)

Contract Year of Proposed Work Completion:

Description of work:

EXHIBIT "A"

MAINTENANCE AND REHABILITATION STANDARDS AND CONDITIONS**Secretary of the Interior's Standards for Rehabilitation**

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Property Maintenance

All buildings, structures, yards and other improvements shall be maintained in a superior manner. All current building and zoning codes will be enforced. The following conditions are prohibited:

- a. Dilapidated buildings or features such as fences, roofs, doors, walls and windows.
- b. Abandoned or discarded objects, equipment or materials such as automobiles, automobile parts, furniture, appliances, containers, lumber or similar items stored outside but within property lines.
- c. Stagnant water or open excavations.
- d. Any device, decoration or structure, which is unsightly by reason of its height, condition or location.
- e. Peeling exterior paint or unremoved/uncovered graffiti.
- f. Overgrown landscaping, exposed bald areas within yards or grounds and broken hardscape features which could cause injury.
- g. Other substandard conditions as cited by the Cultural Heritage Commission, the Director of Planning, or the City's Historical Property Contracts Manager.

Conditions

This Historical Property Contract provides the potential for property tax reduction in exchange for agreement to rehabilitate and maintain an historic building. Existing conditions not in conformance with the Secretary of the Interior's Standards, may be required to be removed and the original conditions remedied as part of this contract.

THE CHESSMAN RESIDENCE

464 NORTH JUNE STREET IN HANCOCK PARK

HISTORIC STRUCTURE REPORT



Prepared by: Historic Preservation Partners
on behalf of property owner, Dante Di Loreto

May 2015

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STUDY SUMMARY

Purpose

The main purpose of a Historic Structure Report (HSR) is to provide a planning tool for a building's steward(s) that directs preservation efforts through a recommended treatment approach. In addition to this primary purpose, a HSR also functions as a record of a building's history and its existing condition.

Preservation Brief 43, and other technical documents that guide the preparation of historic structure reports, dictate that the report be organized into three parts.

Part 1 documents a property's developmental history. This history is typically described in the following sections:

- Historical Background and Context – a brief history of the building set in context, its creators and builders, and other persons associated with its history and development.
- Chronology of Development and Use – a description of the building's original construction phase, alterations, and uses, based on historical evidence and documentation.
- Physical Description – a description of elements, materials, and spaces of the building, including both significant and non-significant features of the building.
- Evaluation of Significance – a discussion of significant features, original and non-original materials and elements, and identification of the period(s) of significance (if appropriate).
- Condition Assessment – a description of the condition of the building materials, elements, and systems and causes of deterioration, and discussion of materials testing and analysis.

Part 2 deals with Treatment and Work Recommendations. This portion of the report defines the selected preservation treatment and makes recommendations for work that are consistent with the chosen treatment. Part 2 is typically divided into the following sections:

- Historic Preservation Objectives – a description and rationale for the chosen preservation treatment and how it meets the goals for the historic resource.
- Requirements for Work – a brief outline of applicable laws, regulations, and guidelines that should be followed when performing work (e.g. life safety, hazardous materials abatement, etc.) This section is tailored to be appropriate for the use of building. Single-family residences will not have the same requirements for work as a building that is open to the public.
- Work Recommendations and Alternatives – a detailed report of tasks that are recommended in order to comply with the proposed treatment approach. Specific recommendations are described to address the building's issues that were identified in the conditions assessment. Different alternatives will be outlined if appropriate.

Part 3 is the living and changing portion of the report where details of work performed is stored. Part 3 is an important element because it provides accountability and organization

moving into the work phase of the project. In cases where some work has been performed prior to preparation of the HSR, any available details from those projects can be included here to be part of the official record (and also included in the report appendices as appropriate). In order to encourage the addition of future documentation for projects moving forward Part 3 has been prepared in a loose-leaf binder format for ease of use.

The Chessman Residence presents itself as a well-maintained residence. There have been extensive recent rehabilitation efforts, including careful attention to restoring interior character-defining features. Although the residence appears to be in good condition on the interior there are numerous large project that must still be undertaken in order to ensure the property's well-being. The emphasis of this report will be to address existing areas of concern and delineate recommendations for further action. As is the case with many historic properties, the investigations conducted as part of this report resulted in the identification of future areas of study. It is anticipated that this document will be expanded and refined as additional technical reports are completed.

The primary projects identified as a top priority for the welfare of the building include:

- Improving site drainage and water management/landscape plan
- Re-wiring electrical system
- Removing the metal awning at the front entry (an alteration) and repair the stucco
- Rehabilitating existing bathrooms (many of which contain original tile that needs restoration)
- Replacing the damaged hardscape in the front of the house
- Repairing and restoring the interior terracotta floors
- Repairing and restoring ironwork around the exterior of the property
- Replacing the sliding doors in the addition
- Rehabilitating windows and doors that still need rehabilitation
- Repair and restore stucco and cast elements and re-paint certain exterior elements
- Place additional foundation bolting
- Replace/address drain lines when required
- Re-roof when needed

Key Issues and Use

The Chessman Residence has maintained consistent use as a single-family residence. The key issues investigated for the purposes of this study involved identifying areas of the property that still need rehabilitation and/or restoration work. The recent large-scale rehabilitation has addressed many of the home's interior issues, but there are important projects remaining.

PROJECT DATA

This Historic Structure Report has been prepared for the property located at 464 N June Street in the Hancock Park neighborhood of Los Angeles. The historic name for the residence, assigned through previous field survey, is the "Residence for E.E. Chessman." The first owner of the property was Frederick (Fred) E. Chessman, a retired merchant and rancher, and his wife Hattie L. Chessman. An additional name for the home could be "The Chessman Residence" for the original owner and this title will be used for the purposes of this report. The site accommodates a Main House and a Garage.

Administrative Data

Location Data

Historic Name: Residence for Chessman
Other Name(s): The Chessman Residence
Building Address: 464 N. June St.
Los Angeles, Ca 90004

Legal Description of the Property: Assessor's I.D. No. – 5523-003-013

Tract – TR 8320
Map Reference – M B 98-41 / 43
Block – None
Lot – 282
Arb – None
Map Sheet – 141B185

Ownership

The property located at 464 North June Street is currently owned by Dante Di Loreto.

Cultural Resource Data

The Chessman Residence is a contributing resource to the Hancock Park Historic Preservation Overlay Zone (HPOZ) located in Los Angeles, California.

Project Team

Principal Author: Vanessa Withers
Historic Preservation Partners
Historic Preservation Consultant
Monrovia, Ca
Historic Research: Tim Gregory
Building Biographer
Pasadena, Ca
Organizational Assistant: Sarah Kellers
Monrovia, Ca

Methodology

This Historic Structure Report (HSR) follows the conventions outlined by Preservation Brief 43 – The Preparation and Use of Historic Structure Reports published by the National Park Service. The scope of the study, as well as content and organization of the report, was informed by the brief as well as the specific needs of the property.

After initial meetings with the property owner, an existing conditions walk-through of the property was conducted by Vanessa Withers and Sarah Kellers to gather an understanding of the building and its overall historic features, its condition, and areas of deterioration. The property owner was interviewed to discuss the extent of work completed during his ownership and any known issues of the property in its present state.

The initial walk through also provided a brief introduction to the building's potential problem areas. These areas were noted and received specific attention in the survey of existing conditions that was conducted of the property. An important consideration when embarking on the preparation of a HSR is to determine a building's potential key issues. These issues help form the main research questions, which should be answered during the course of the project. An outline of the site visit and walk through/research questions is as follows:

- What have you undertaken since you've moved in?
- Are there particular problems that you know of? (Electrical)
- Current situation with chimneys

The existing condition survey that was performed documented physical elements and spaces to assess their potential historic significance and their condition. Areas requiring further study and potential testing were identified. The primary focus of this report is the Main House.

Although all interior spaces were studied, areas that are known to be new spaces received less rigorous study and focus for the purposes of this report.

An original set of blueprints is available at the property and the drawings have been carefully copied to be available to multiple end users in digital format.

Digital format photographs were also taken of all spaces and areas of deterioration to assist in documenting the house, its historic features, and elements requiring intervention. Digital format photography was chosen for its ability to be maintained and shared in digital format, thus enhancing its availability to various end-users of the report.

Historical data and physical evidence were utilized to help uncover the building's construction and ownership history. Historical research specifically focused on the building's development history and research questions that arose during the course of initial investigations. A detailed construction history of the building was written, utilizing the available documentation. The nature of the building, its architect, and the significance of previous occupants were considered when conducting an assessment of the home's significance. (See Appendix C for Historic Report)

Once the property's level of significance was determined an appropriate treatment approach was chosen. The Secretary of the Interior's Standards for the Treatment of Historic Properties describes four different treatment approaches. A single overall approach was chosen in order to avoid "inappropriate combinations of work, such as restoring a building's appearance to an

earlier time in history while simultaneously constructing a new addition.” (Brief 43, p.12)

Work recommendations were developed based on the information gleaned from the historical data, existing conditions survey, and the selected treatment approach. Some areas of the building require further study before a substantially detailed plan for repair can be determined. The report preparation and organization were strongly guided by Preservation Brief 43 in an effort to maintain consistency and ease of use for multiple end-users.

PART 1

DEVELOPMENTAL HISTORY

HISTORICAL BACKGROUND AND CONTEXT

The Chessman Residence was designed by Chisholm, Fortine & Meikle. The Italian Revival home was constructed in 1928 for Marvel W. Chessman and her physician husband Frank N. Chessman.

Detailed information about the history of 464 N. June Street was gathered and compiled by Building Biographer, Tim Gregory. His report is utilized as the historical background and context for the purposes of this report.

Architect – Chisholm, Fortine & Meikle

Although the firm of Chisholm, Fortine & Meikle only flourished for a very short time, they were responsible for substantial residences designed in the European Revival styles in both Hancock Park and Windsor Square. The Chessman Residence features many well-articulated design elements that make it an excellent representation of their work as a firm.

The principal of the firm, Alexander David Chisholm, was born in Canada in 1884 and emigrated to the United States in 1918, eventually settling in Los Angeles in the 1920s. While in Los Angeles, Chisholm was operating a building business with his brother-in-law E. Lorenzo Meikle. They also took on another partner named William Fortine. At that time they seemed to be especially active in real estate. The firm disbanded around 1930, possibly due to the Great Depression. The Chessman Residence was constructed towards the latter part of the firm's existence and is an excellent representation of the Mediterranean/Italian Revival style. It appears that none of the firm's partners had architectural training and likely had trained architects on staff. None-the-less they contributed greatly to the development of grand residences of Hancock Park.

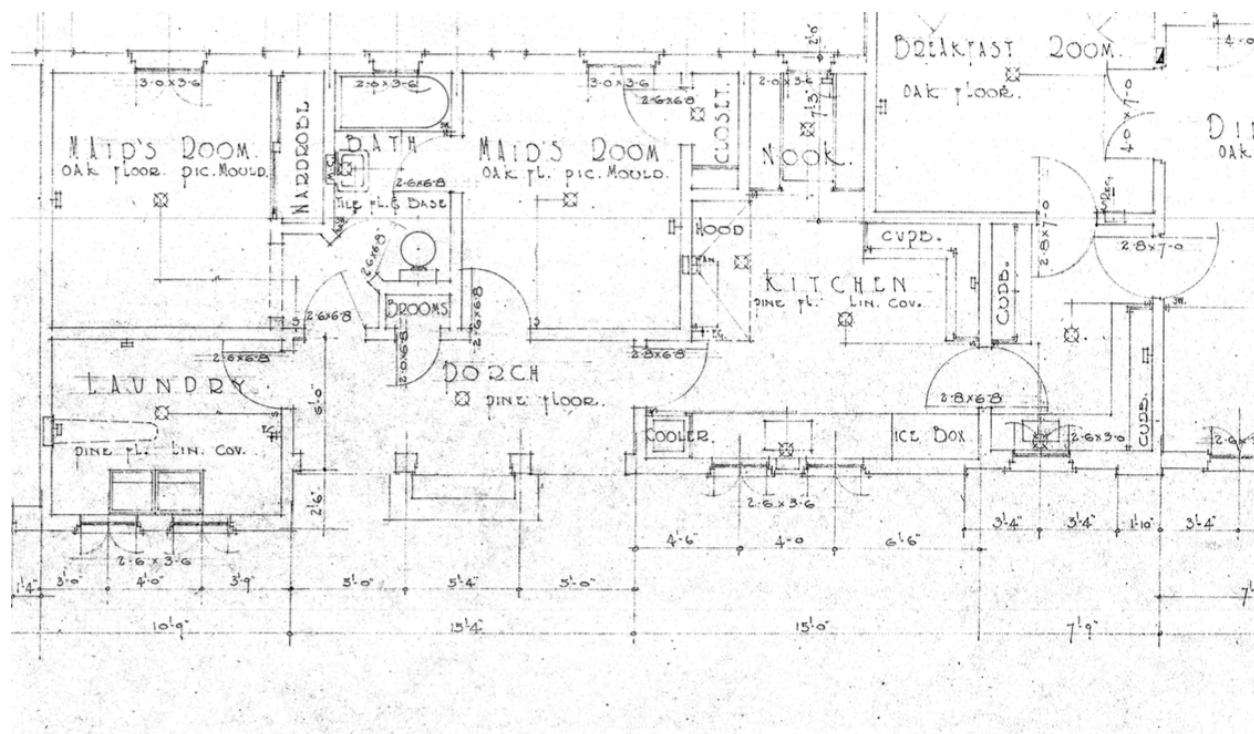


A. D. CHISHOLM

Owner of the A. D. Chisholm Company, Architects and Builders, 509 South Western avenue, Los Angeles; born New Glasgow, Canada, February 6, 1884, the son of James and Mary (Ross) Chisholm; educated in the public schools of his native community; married in 1912 to Miss Margaret Meikle at New Glasgow; they have four children. Came to Los Angeles from Seattle, Washington, in 1920, and has been engaged in the building business here continuously ever since, having built some of the finest homes in the city. Treasurer and Director of the California Properties Incorporated. Member of the Optimist and the Deauville Clubs; resides at 580 North Arden Blvd., Los Angeles.

First Owner: Marvel V. Chessman (1886 – 1977)

Marvel V. Chessman and her husband Frank N. Chessman were the first owners of the home. They occupied the residence with their daughter and a live-in maid. Interestingly, the house has fairly elaborate maid's quarters with a wing featuring a bedroom, bathroom, and a dedicated laundry with built-in ironing board and iron storage.



Dr. and Mrs. Chessman did not remain married and various family members lived in the home. Note: The original building plans spell the owner's last name as Chesman (with one "s"), but numerous other newspaper articles and documentation use the spelling with a double "s". Chessman has been used for the purposes of this report.

- 1935** By 1935 the owner was a horse breeder named Edmond Gage Soule.
- 1956** Richard F. McWhorter gained title in April 1956. Mr. McWhorter was a production manager at Universal Studios. Loreine McWhorter joined her husband as co-owner in 1957. She was active in the National Charity League.
- 1960** In June 1960, Robert C. and Elizabeth F. Hill gained possession.
- 1989** Title was transferred to Karen L. Van Sant in June 1989.
- 1991** Robert F. Hill became a co-trustee owner in July 1991.
- 2013** Dante Di Loreto has been the owner since March 2013.

CHRONOLOGY OF DEVELOPMENT AND USE

- 1928** Original construction – A permit was issued for a two-story, twelve-room residence and garage. The house, to measure approximately 46 by 126 feet with a maximum height of 26 feet, would have a concrete foundation, wood frame walls covered in plaster, a tiled roof, and a brick chimney. The house cost \$20,000 to build, which was a larger than average cost for the time.
- 1957** A 14 x 32-foot addition to a lanai was constructed
- 1965** 684 square foot gunite swimming pool was added
- 1968** 4 x 16-foot passageway built to an existing patio porch converted into a family room. Contractor: H & P Construction
- 1971** Bathroom remodeled
Contractor: H & P Construction
- 1973** Another bathroom remodeled
Contractor: H & P Construction

Notes: On July 28, 1935 the Los Angeles Times reported that Mrs. Marvel Rusk had sold the property to E. J. Soule. A photograph accompanying the article shows how the original front door has been altered. At some unknown date, a French style canopy was placed over the entry porch, obscuring the original cast-stone quoining that had surrounded an arched opening.

Comments on Recent Work



Since purchasing the home, the present owner has worked painstakingly to reverse alterations that covered up and obscured original character-defining features of the home. The additions made in the 1960s have not been reversed, but finishes have been rehabilitated and stylistic changes have been made to lessen the distraction from the original construction style, while still recognizing and telling the story of the later modifications. For example – the family room has a different type of flooring, but it has been stained a similar color, so that the spaces are distinct from each other while also being compatible.

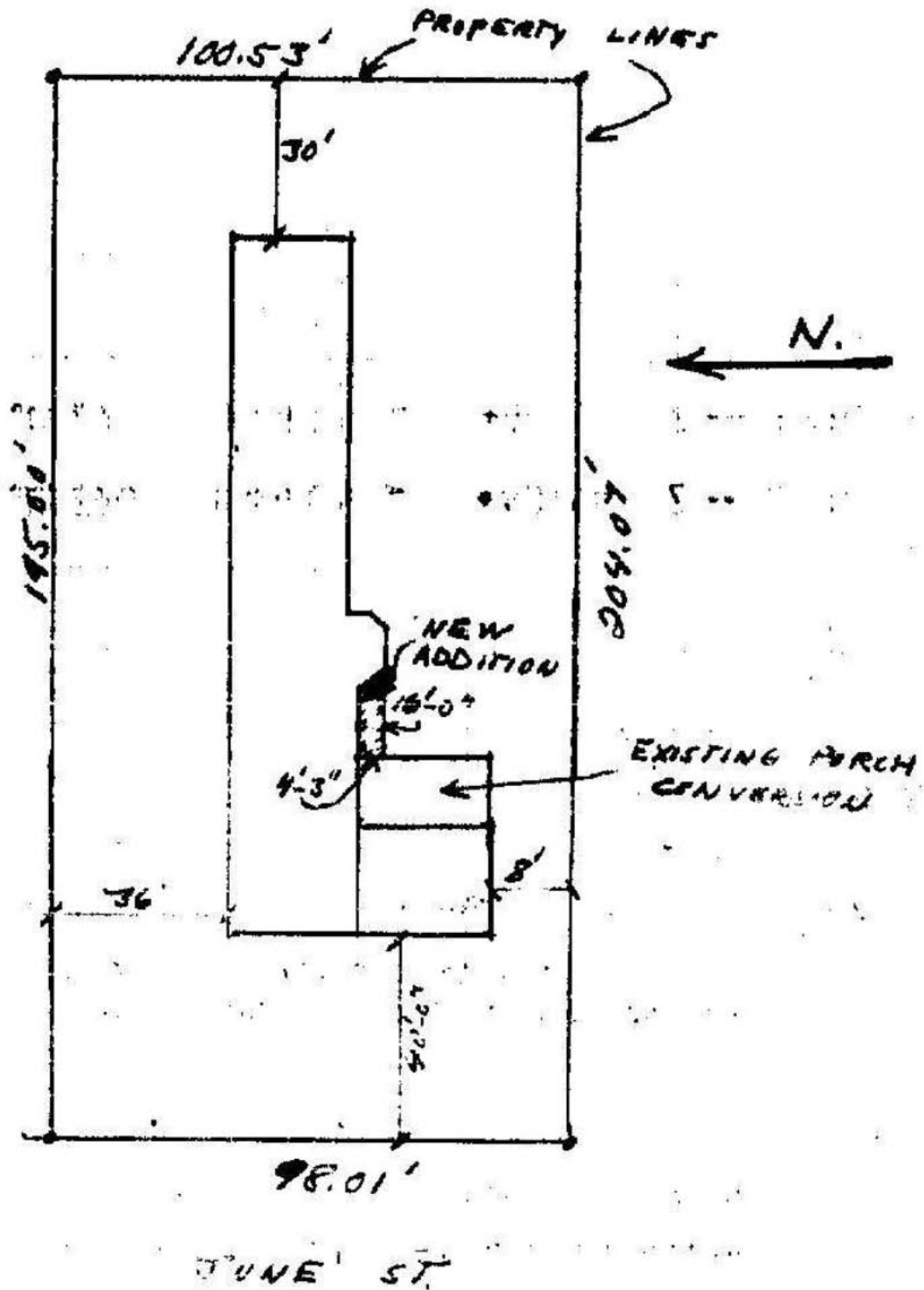


When the current owners purchased the property it had undergone numerous alterations and was also suffering from deferred maintenance. Documented alterations include a “4-by-16 foot passageway” that was built and an existing patio porch was converted into a family room in 1968. The 1968 permit shows the location of the additions.

Current photographs show the space created in 1968 as it appears today.



Notice change in materials, beams and ceiling treatment, and sliding glass doors



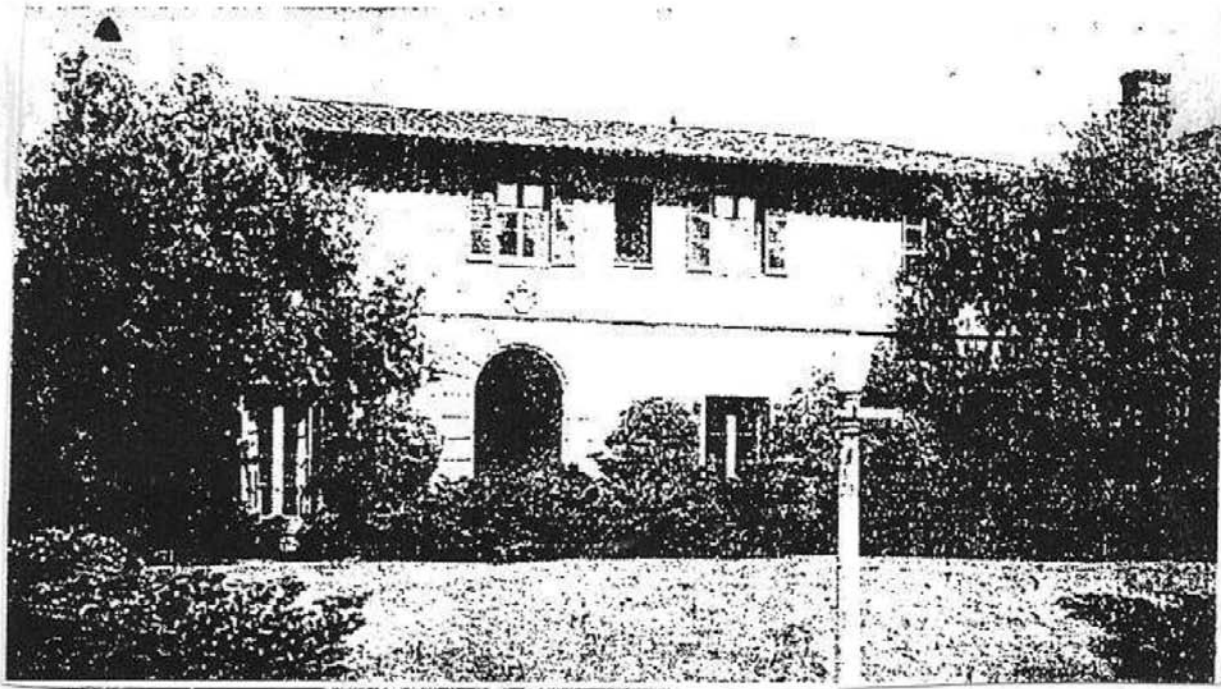
PHYSICAL DESCRIPTION

Architectural Description and Context

The Chessman Residence was built at a time when the surrounding area was rapidly developing. "The increase in population represented both the momentum of the mass migration to southern California during the health and real estate booms and the eventual emergence of Los Angeles as one of the largest metropolitan areas in the nation."¹

The Hancock Park area was developed by G. Allan Hancock as an upper-middle class neighborhood. Many of the houses built during that time period were large single-family residences designed in various revival styles, and many were architect designed.

A detailed description of The Chessman Residence is included in the following conditions assessment.



The immediately above view is of the Mediterranean-type residence, at 404 North June street, adjoining the Wilshire Country Club, in the Hancock Park area, just bought by E. J. Soule of New York, from Mrs. Marvel Rusk for approximately \$30,000, it was announced. The transaction was handled by George Schnelders of Kells and Grant.

Los Angeles Times
July 28, 1935; p. 9

¹Harold Kirker, Old Forms on a New Land: California Architecture in Perspective (Niwot, Colorado: Roberts Rinehart Publishers, 1991) 67.

CONDITIONS ASSESSMENT – WITH DETAILED PHYSICAL DESCRIPTIONS

Summary of Historic Character

The Chessman Residence retains strong feeling and association as a Mediterranean/Italian Revival style residence. Although some alterations have occurred and some spaces have been modernized, there is an abundance of historic material retained.

Associated Site Features/Conditions

Site Features include:



Garage: A garage is located at the rear of the property. The garage is attached to the house along the long L of the plan. It is accessed from a driveway that runs along the north side of the house. The garage has three bays, each with a wood planked door. There are vines growing on a significant portion of the garage.

Pool: There is a pool in the rear yard that was constructed in 1965. The pool appears to be in fair/good condition, but should be further evaluated.

Garden: There is a small garden area in the north-east corner of the property near the golf course. It is separated from the rest of the outdoor space and is in good condition.

Hardscape: There is a large concrete patio at the entrance of the house that is in poor condition. Cracks and unevenness are present. The hardscape likely dates to the 1960s era.



Exterior – Materials and Finishes

Main House (Exterior)

Structural System: The foundation of the residence has been inspected. Additional bolting is recommended as a long-term bolstering of the existing system.

Roof System: The overall shape of the roof is a low-pitched hipped roof of clay tile. The current roof material on the house appears to be original clay tile and is in good condition. The roof may need attention at some point.

East (Front) Elevation: The Chessman Residence is a two-story home designed in the Mediterranean/Italian Revival style, articulated in un-painted stucco with quoin detail at the corners and classical decoration. Multiple window types are utilized and are symmetrically ordered on the front facade. Main floor fenestration features French doors and the second floor has wood casements (3 panes to each sash).



West (Rear) Elevation:

The rear elevation has been expanded by additions that are called out by the change in fenestration evident.



North Side: The North side of the residence accommodates the driveway. This elevation shows some damaged stucco and cracks in the driveway, damage to ironwork and a balcony, but otherwise appears to be in good condition.



South Elevation: The South Elevation exhibits similar materials to the other elevations of the house and appears to be in fair/good condition. Proximity of trees/planters should be further investigated.

Interior – Materials and Finishes

Main House (Interior)

The Chessman Residence interior retains historic character. A large-scale recent rehabilitation of the residence began, focused on addressing deferred maintenance and restoring existing character-defining features including wood floors and moldings, window and door hardware and other finishes. The interior of the main house has fairly elaborate detail in most primary rooms of the first floor. The saying “a picture is worth a thousand words” comes to mind when seeing the juxtaposition of the MLS photos (before rehabilitation) and the current photos. Layers of later incompatible alterations were painstakingly peeled away to reveal the original material underneath.

Stair Hall



Front Stair Hall after removal of floor tile (non-original) and stair carpet



Front Stair Hall before removal of floor tile and carpet

The Stair Hall features an iron balustrade stair, low arched openings, and terracotta floors. Many of the home's primary rooms are accessed from the Hall including the study (just to the left as you enter the front door). The Stair Hall is in good condition. The main concern in the stair hall is the terracotta floors, which are in poor condition and require restoration.



Living Room

The Living Room is located at the front of the house. The room is in good condition. French doors that had been covered up were restored.



Living Room in its current condition



Living Room before rehabilitation and restoration of French doors

Dining Room

The Dining Room contains many original architectural features, including a paneled ceiling. It appears to be in good condition.



Kitchen/Great Room

The kitchen has received some alterations over the years, but is an older kitchen. It appears to be in fair condition.

Windows

There are numerous casement windows throughout the house. Some have been repaired, but many are still in disrepair and need attention.

Second Floor

The second floor of The Chessman Residence contains bedrooms and bathrooms. The rooms are in fair/good condition. There are bathrooms that contain original tile, while some have been altered (c.1970s).



Interior – Systems (Plumbing and Electrical)

The plumbing has been updated, with the exception of the drain lines. The overall condition of the systems is as follows:

- *Electrical:* Poor / Fair condition
- *Plumbing:* Good condition
- *HVAC:* Fair condition

EVALUATION OF SIGNIFICANCE

The Chessman Residence is significant not only a substantial contributor to the Hancock Park historic neighborhood, but also as an excellent representation of the work of Chisholm, Fortine & Meikle, Los Angeles. The residence is stylistically unique with carefully executed details and a wealth of intact original historic fabric.

The Chessman Residence retains historic integrity. There have been alterations, but much historic character-defining fabric remains intact.

Appendix C contains the Historical Report, which includes biographical information about the architect and further detailed information about the building's history.

PART 2 TREATMENT AND WORK RECOMMENDATIONS

HISTORIC PRESERVATION OBJECTIVES

The historic preservation **objective** in the case of The Chessman Residence is to address the areas of the building that have not been addressed by the recently completed work. There are four approaches that can be chosen with respect to treatment of historic buildings; sometimes a combination of these different treatment approaches is required. The four approaches are: Preservation, Rehabilitation, Restoration, and Reconstruction. The choice of Preservation as a treatment approach requires the highest level of retention of historic fabric. Choosing Rehabilitation as a treatment specifies the retention of and protection of historic character-defining features, as in the standards for Preservation, but Rehabilitation allows some flexibility in order to improve the building's function for contemporary usage. Restoration allows for the depiction of the building in a specific time period; this sometimes requires the removal of later additions. Reconstruction involves the recreation of historic elements of a building that are no longer in existence.

The overall treatment approach of **Rehabilitation** was chosen as the most appropriate alternative given the home's use as a single-family residence. Historic character-defining features will be retained, while the family will reserve the ability to make small alterations to improve the building's everyday livability. The Secretary of the Interior's Standards for Rehabilitation are also the guiding force behind the requirements for adherence to a Mills Act contract with the City of Los Angeles. These standards, along with specific maintenance requirements, can be found as an appendix to this report.

REQUIREMENTS FOR WORK

Any work performed to the property (interior, exterior and grounds) must conform to the Secretary of the Interior's Standards for Rehabilitation and the California Historical Building Code.

If the property is granted a Mills Act Contract -- The Mills Act Historical Property Contract Program is under the authority of the Office of Historic Resources and Cultural Heritage Commission. As such, Cultural Heritage Commission staff and the Historical Property Contracts Manager review and approve alterations to the property. This review supersedes HPOZ Board review and includes interior, exterior and landscaping work. Most HPOZs only review exterior work visible from the public right-of-way. However, it is the policy of the Office of Historic Resources to consult the HPOZ Planner for the district to allow the HPOZ Board to comment on proposed exterior work on the property.²

In addition to following the Secretary of the Interior's Standards for Rehabilitation, work performed on the Chessman Residence should also follow all local laws and regulations, especially with regard to building codes and safety. The owners can take precautions to ensure adherence to these laws and guidelines by hiring licensed contractors who are well-versed in working with historic buildings in Los Angeles.

² 2015 Mills Act Program Packet

Secretary of the Interior's Standards for Rehabilitation

Detailed recommendations for adherence to the Secretary of the Interior's Standards for specific work projects is discussed in the following section of the report – work recommendations and alternatives.

WORK RECOMMENDATIONS AND ALTERNATIVES

The work recommendations and alternatives developed for The Chessman Residence serve to support the historic preservation objectives and treatment approach that have been chosen for the building. The Secretary of the Interior's Standards and Guidelines for Rehabilitation and the Los Angeles Office of Historic Resources should be consulted before any intervention is undertaken involving The Chessman Residence.

The following is a detailed list of recommendations for treatment, organized by space and/or called out as a whole building element when appropriate. This should assist in focusing rehabilitation efforts in the areas that are most in need. The Chessman Residence has undergone extensive rehabilitation in the past year, including extensive rehabilitation of interior character-defining features. Looking forward there are projects that still need to be completed, especially with regard to systems and the exterior of the residence.

Windows and Doors

Some of the windows and doors have been rehabilitated, however, many of the windows and doors still require rehabilitation (National Park Service Level I and II primarily). These areas will be addressed as part of the work plan.

Landscape

Improving site drainage and water management is an important component in the care and maintenance of this property. A comprehensive landscape plan is recommended to address the many on-site trees, planters, and hardscape. Specimen trees in good condition should be retained, while invasive trees that pose a concern for the foundation and/or adjacent structures should be removed. Landscaping near foundations should be low-water.

Roof

The roof of The Chessman Residence is an important character-defining feature of the building. It is a clay tile that is installed using mortar. These particular tiles are especially prone to breakage when undergoing intervention. Vincent H. Hobson's book Historic and Obsolete Roofing Tile offers a catalog of photographic samples to help identify the particular manufacturer of the tile that exists on the building. Taking a sample from the building and determining type and manufacturer can assist in locating a source for new replica tiles (should the need arise). It is always preferable to re-use as much of the original tile as possible whenever undertaking a roof intervention with this type of roof system. It is recommended that the roof be carefully monitored for leaks and that only skilled roofers with experience with historic buildings work on the roof.



Interior Tile

The Chessman residence has an abundance of tile (both bathroom tile and terracotta tile) that requires rehabilitation. It is recommended that a tile specialist evaluate the rooms on a case-by-case basis and develop an alternative that retains the most original tile as possible. Given the alterations that have occurred in some of the bathrooms, there may be a need to prioritize in which rooms it is realistic to maintain historic tile.

System

There are many aged systems present in the Chessman Residence and each should be evaluated and addressed based on condition. Knob-and-tube wiring is still present in the house and the electrical system is inadequate for the house's current use. It is recommended that the electrical system be replaced. The HVAC system has been worked on, but may require additional intervention.

PROJECT SUMMARY

- Improving site drainage and water management/landscape plan
- Re-wiring electrical system
- Removing the metal awning at the front entry (an alteration) and repair the stucco
- Rehabilitating existing bathrooms (many of which contain original tile that needs restoration)
- Replacing the damaged hardscape in the front of the house
- Repairing and restoring the interior terracotta floors
- Repairing and restoring ironwork around the exterior of the property
- Replacing the sliding doors in the addition
- Rehabilitating windows and doors that still need rehabilitation
- Repair and restore stucco and cast elements and re-paint certain exterior elements
- Place additional foundation bolting
- Replace/address drain lines when required
- Re-roof when needed

While the above project summary provides a guideline for needed work, this list is not designed to be all-inclusive. Responsible stewardship of a building of this type includes regular maintenance and monitoring of existing conditions to ensure protection of historic fabric and preservation of this important residence. The current owner has already demonstrated a strong commitment to a preservation-minded, sensitive approach to the building through the recent work that has been completed.

SOURCES CONSULTED

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Harris, Samuel Y. PE, AIA, Esq. Building Pathology. New York: John Wiley, 2001.

Hobson, Vincent H., Historic and Obsolete Roofing Tile. Colorado: Remail Publishing Company, Inc., 2001.

Other sources:

Technical Reports (included in digital format)

Preservation Brief 43: The Preparation and Use of Historic Structure Reports

Permits from the office of Building and Safety. Los Angeles, Ca

Sanborn Maps

Census Records

Death Records

Marriage Records

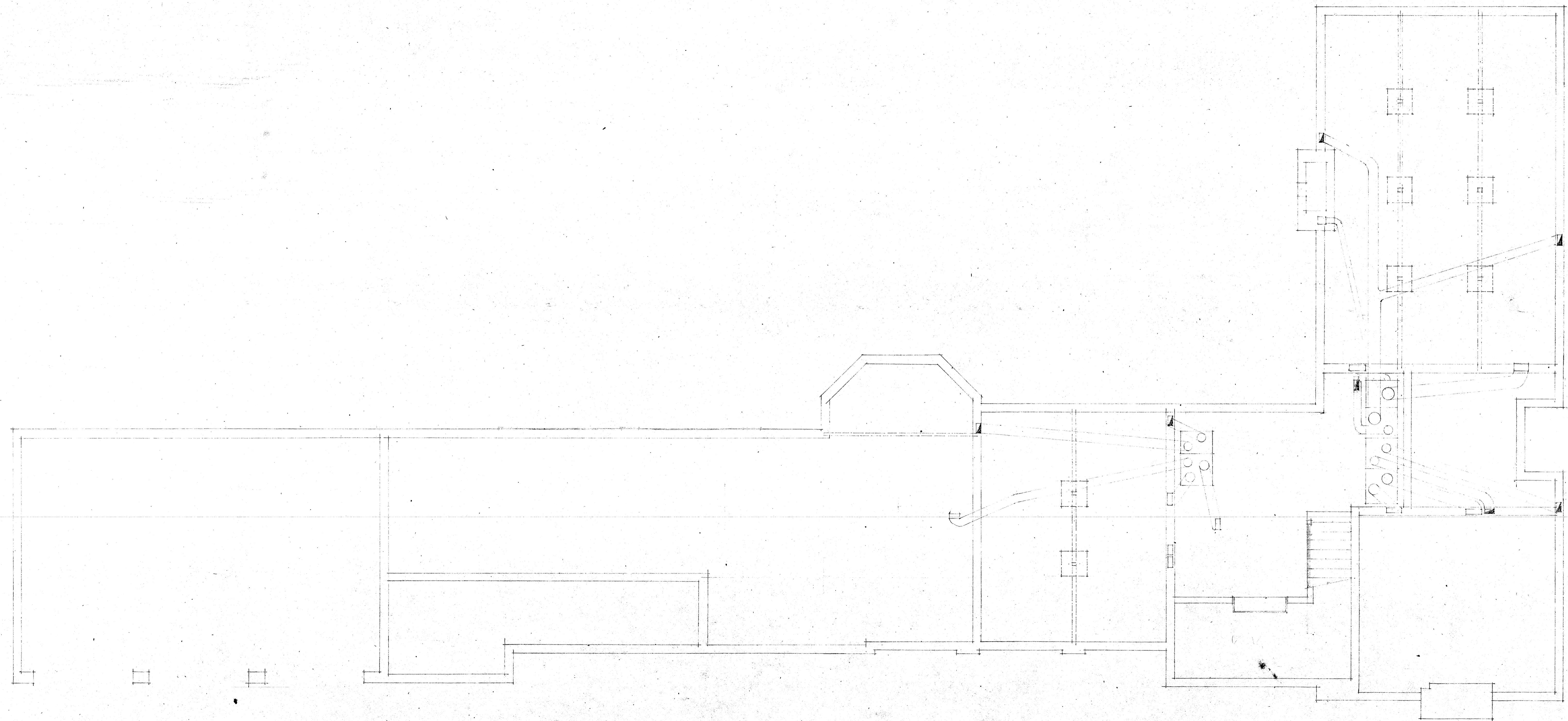
Los Angeles Public Library Photo Collection (Online)

National Park Service Website. (cr.nps.gov)

Secretary of the Interior's Standards and Guidelines for Rehabilitation

APPENDIX A

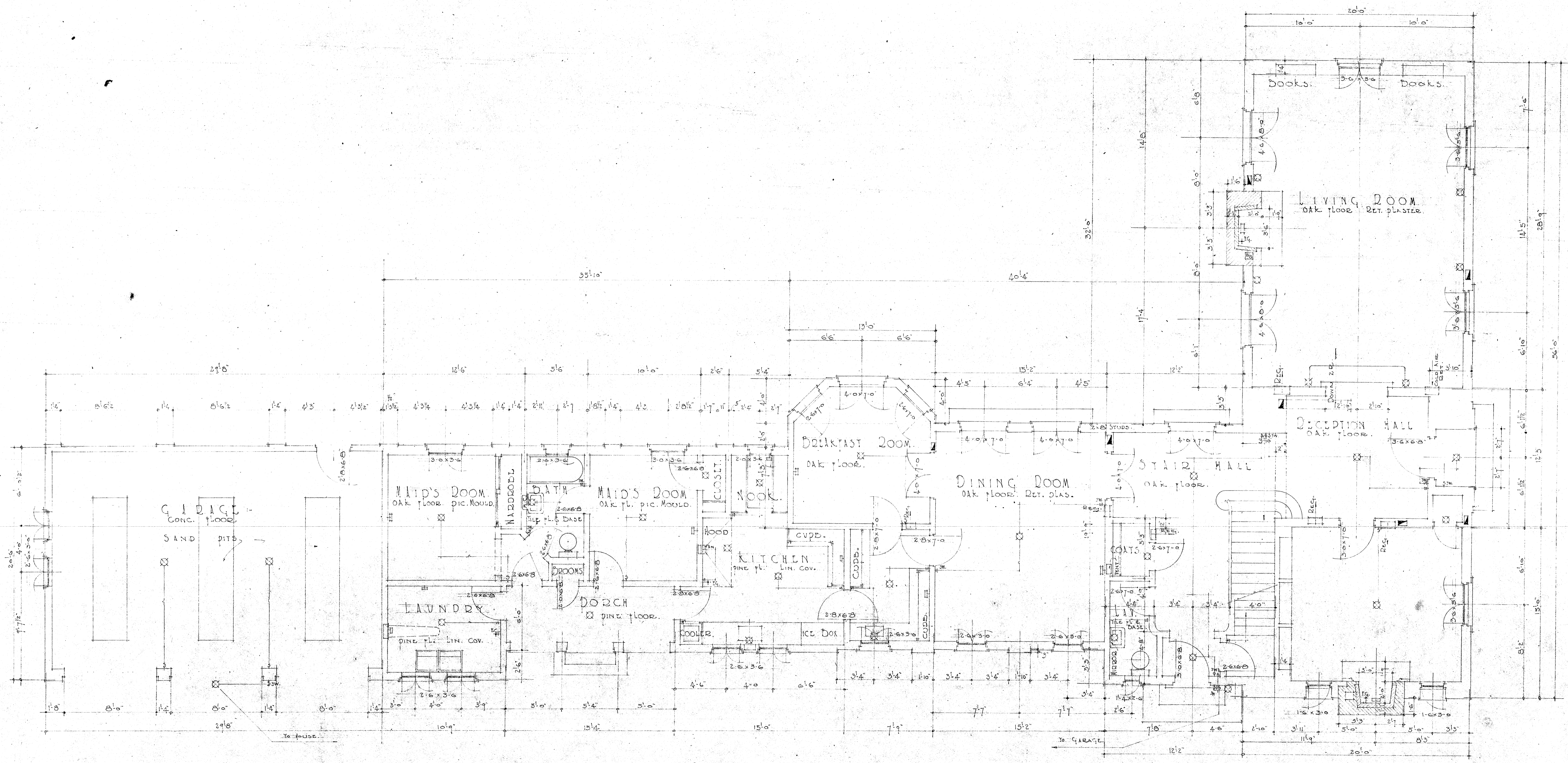
DRAWINGS



DATE: _____
 DRAWN BY: _____
 PLAN # 133
 SHEET # 2

RESIDENCE
 DR. & MRS. T. N. CHESMAN
 No JUNE ST. LOS ANGELES, CAL.

CHISHOLM-TODTINE & MILLER
 ARCHITECTS-ENGINEERS & CONSTRUCTORS
 309 So WESTERN AVE. L.A. CAL.

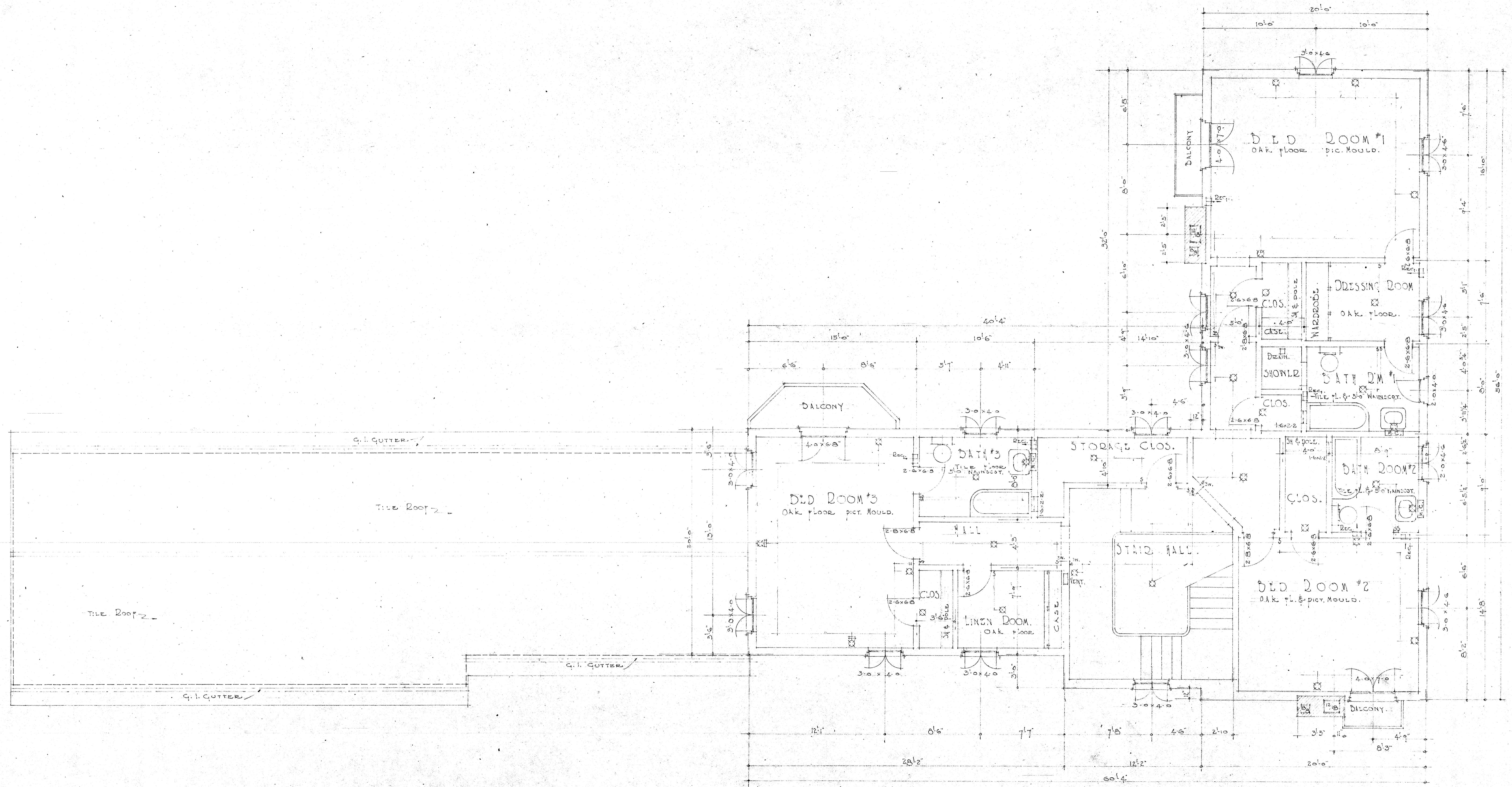


FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

DATE: _____
 DRAWN BY: _____
 PLAN # 133
 SHEET 3

RESIDENCE FOR
 DR. & MRS. J. N. CHESMAN
 NO. JUNE ST. LOS ANGELES, CAL.

CHISHOLM-TORTINE & MEIKLE
 ARCHITECTURE, ENGINEERING & CONSTRUCTION
 509 SO. WESTERN AVE. L.A., CAL.

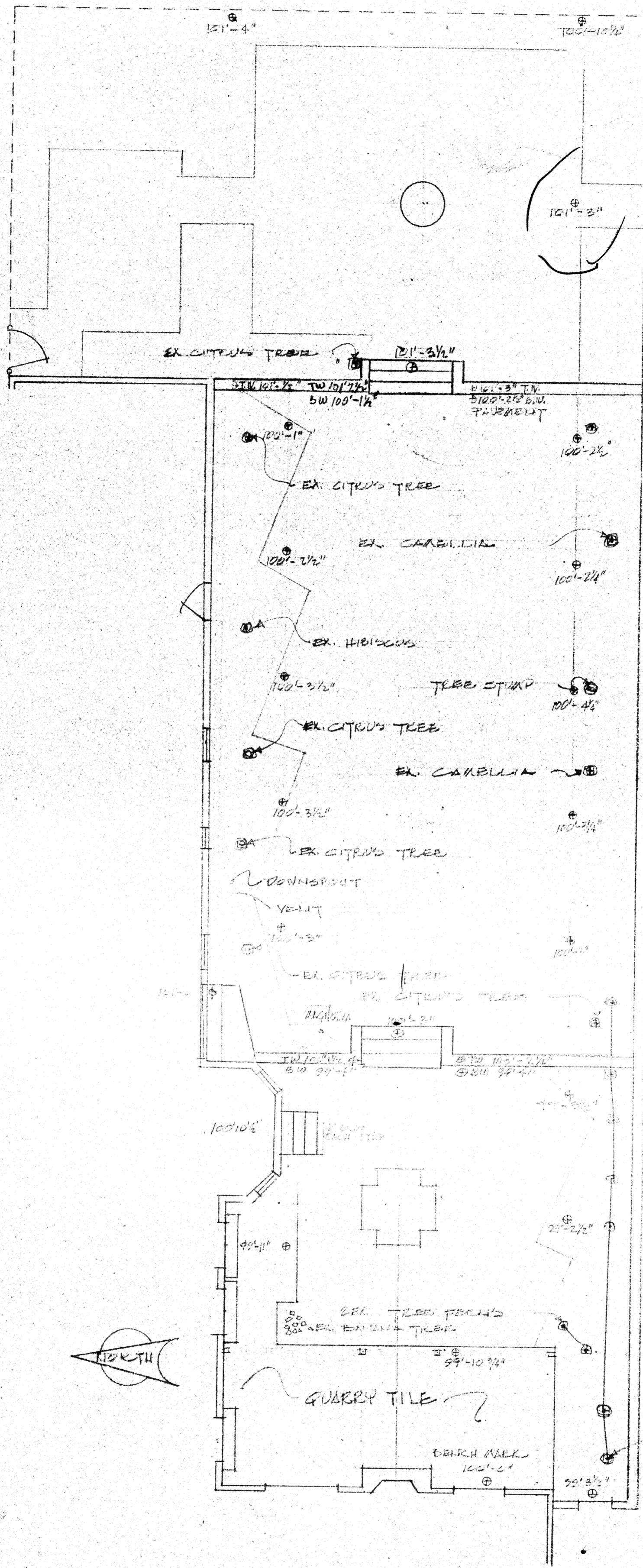


SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

DATE: PLAN # 133
DRAWN BY: SHEET # 4

RESIDENCE
DR. & MRS. T. CHESTNOR
NO. JUNE ST. LOS ANGELES, CAL.

CHISHOLM, FORTINE & MEIKLE
ARCHITECTURE-ENGINEERING & CONSTRUCTION
509 SO. WESTERN AVE. L.A., CAL.

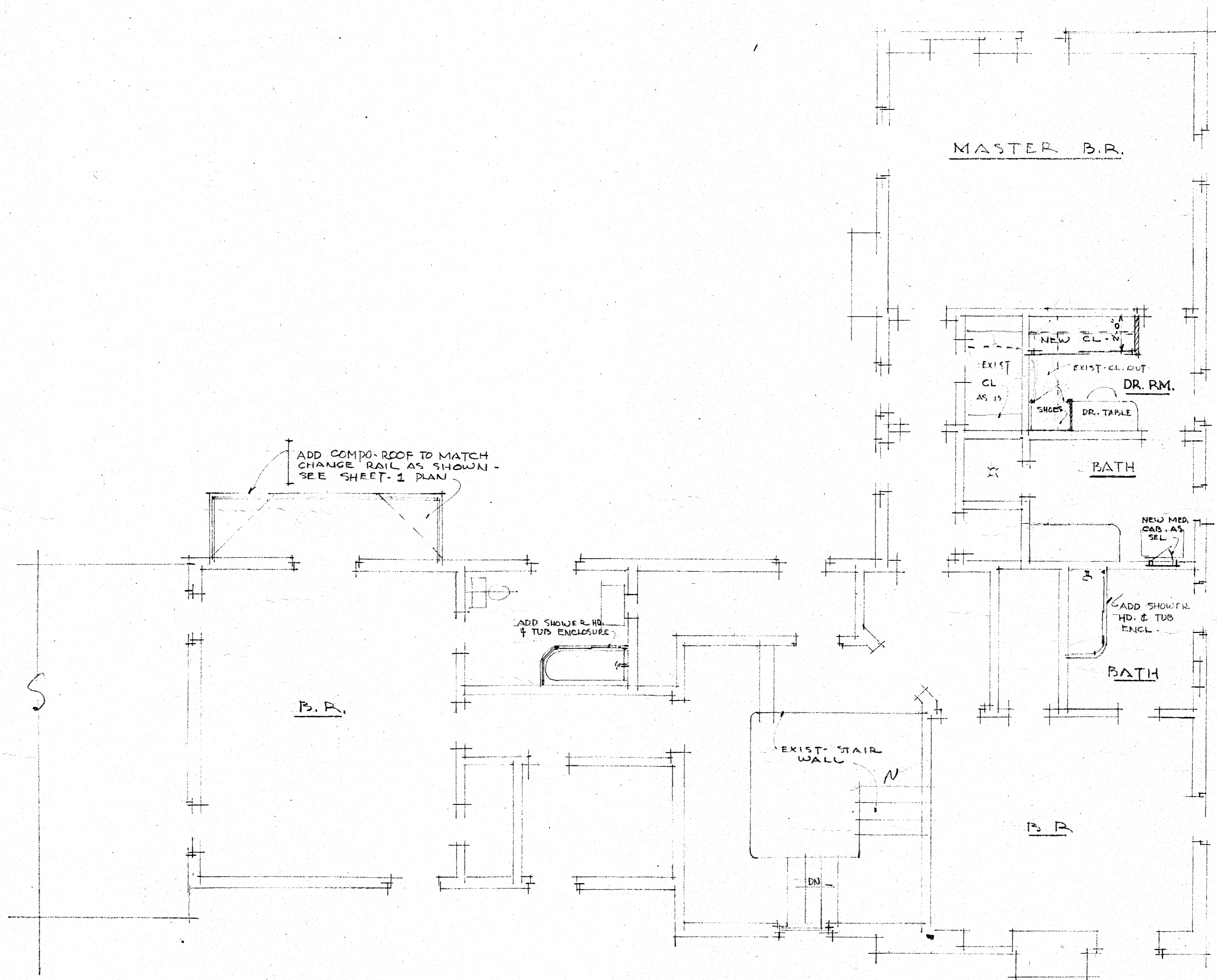


NEIGHBOR'S CARLAGE



PLOT PLAN
 MR. & MRS. HILL
 464 NO. JUNE
 LOS ANGELES, CAL.

SCALE 1/8" = 1'-0"



ADD COMPO-ROOF TO MATCH
CHANGE RAIL AS SHOWN -
SEE SHEET-1 PLAN

ADD SHOWER HD.
& TUB ENCLOSURE

NEW MED.
CAB. AS
SEL.

ADD SHOWER
HD. & TUB
ENCL.

EXIST-STAIR
WALL

LEGEND
EXIST WALLS AS IS
NEW WALL
EXIST WALL OUT

PLAN 2ND FL
SCALE 1/4" = 1'-0"

ALTERATION
Residence
MR. & MRS. RICHARD McWHORTER
464 N. JUNE
LOS ANGELES, CALIF.
J. SENTER

SHEET # 2

APPENDIX B

SECRETARY OF THE INTERIOR'S STANDARDS

MAINTENANCE AND REHABILITATION STANDARDS AND CONDITIONS**Secretary of the Interior's Standards for Rehabilitation**

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Property Maintenance

All buildings, structures, yards and other improvements shall be maintained in a superior manner. All current building and zoning codes will be enforced. The following conditions are prohibited:

- a. Dilapidated buildings or features such as fences, roofs, doors, walls and windows.
- b. Abandoned or discarded objects, equipment or materials such as automobiles, automobile parts, furniture, appliances, containers, lumber or similar items stored outside but within property lines.
- c. Stagnant water or open excavations.
- d. Any device, decoration or structure, which is unsightly by reason of its height, condition or location.
- e. Peeling exterior paint or unremoved/uncovered graffiti.
- f. Overgrown landscaping, exposed bald areas within yards or grounds and broken hardscape features which could cause injury.
- g. Other substandard conditions as cited by the Cultural Heritage Commission, the Director of Planning, or the City's Historical Property Contracts Manager.

Conditions

This Historical Property Contract provides the potential for property tax reduction in exchange for agreement to rehabilitate and maintain an historic building. Existing conditions not in conformance with the Secretary of the Interior's Standards, may be required to be removed and the original conditions remedied as part of this contract.

APPENDIX C

HISTORICAL REPORT



**THE BUILDING
BIOGRAPHER
TIM GREGORY**

- ❖ Building Histories
- ❖ Archival Consulting
- ❖ Cultural Resource Studies
- ❖ Historic Resources Surveys
- ❖ Local, State and National Landmarking

464 NORTH JUNE STREET

LOS ANGELES

Original Style: Italian Revival (altered)

Year of Completion: 1928

Original Building Permit: #9522, issued by the City of Los Angeles on April 2, 1928 for a two-story, twelve-room residence and garage. The house, to measure approximately 46 by 126 feet with a maximum height of 26 feet, would have a concrete foundation, wood-frame walls covered in plaster, a tiled roof, and a brick chimney.

A copy of this permit is attached on pages 17 and 18.

Cost to Build: \$20,000—a larger-than-average cost for a new house at the time.

Architect and Builder: Chisholm, Fortine & Meikle, Los Angeles. Additional biographical on this talented but short-lived firm is attached on pages 6 through 10.

First Owner: Marvel W. Chessman, who shared the house with her husband Frank N. Chessman, a physician, their daughter, and a live-in maid. Mrs. Chessman had purchased the vacant parcel from Archibald W. Edes.

Mrs. Chessman was born Marvel DeWitt White in Lyons, Kansas on October 20, 1886. Her father was a fireman. After attending St. Mary's boarding school in Knox, Illinois, she lived with a cousin in French Lick, Indiana. She married her husband in Seattle in June 1909. They would have one child: Jane Newhall Chessman (1920-2000).

400 E. California Blvd. #3 ❖ Pasadena, CA 91106-3763
(626) 792-7465 ❖ timgregory@sbcglobal.net
www.buildingbiographer.com

Dr. Frank Newhall Chessman was born in Helena, Montana on May 5, 1877. His father William was a miner who had participated in the California Gold Rush and relocated to Montana in 1864. Dr. Chessman attended St. Paul's School in Concord, New Hampshire and graduated from Harvard in 1900. He earned his M.D. degree from the College of Physicians and Surgeons in New York City in 1904, specializing in gynecology and obstetrics. He first worked at that city's St. Luke's Hospital, leaving to become associated with the Sloane Hospital for Women in 1907. By 1913 he had established a private practice in Seattle. By 1925, he and his family had moved to Los Angeles where Dr. Chessman was appointed to the governing committee of the Gorgas Memorial Institute, an organization dedicated to prolonging life and preventing illness.

Dr. and Mrs. Chessman had parted company by 1933. Dr. Chessman and his daughter went to live with his sister elsewhere in Los Angeles while his ex-wife remained at the June Street house. In 1934, she announced her engagement to Marshall Rusk (1882-1963), a well-known singer and voice teacher who had trained and worked in Paris for the past thirteen years. He moved into the house and set up a vocal studio there. Name on the property's title changed to Marvel W. Rusk in 1935.

Evidently the Rusk marriage did not last very long. Later in 1935, the June Street house was sold, and by 1940 Mr. and Mrs. Rusk were no longer living together. At some point thereafter, known once again as Marvel Chessman, she moved to New York City where she died at the age of 90 on April 20, 1977. She was interred at Forest Lawn in Glendale. Dr. Chessman had passed away on January 18, 1971 at the age of 93 and was interred in Helena. Biographical materials on Dr. and Mrs. Chessman and Mr. Rusk are attached on pages 11 through 13.

Other Building Permits: A permit was issued in October 1957 for a 14-by-32-foot addition to a lanai. The owner was to act as his own contractor for this job, valued at \$1,200.

In June 1965, permission was given to build a 684-square-foot gunite swimming pool at a cost of \$4,200. R. B. Perry & Associates was the contractor.

A new 4-by-16-foot passageway was to be built and an existing patio porch converted into a family room, according to a permit issued in January 1968. The cost was estimated at \$7,500. The H & P Construction Company was the contractor.

In May 1971, an existing bathroom was to be remodeled for \$1,200. No structural changes were to be made. H & P Construction was again the contractor.

A new air-conditioning system was installed in July 1972.

H & P Construction was called back in June 1973 to remodel another existing bathroom at a cost of \$1,800.

Copies of these permits are attached on pages 19 through 26.

(Note: Permits for very minor alterations, such as water heater replacement, are not included. Also not included are permits missing from the file or whose microfilmed or digital copies are indecipherable and not otherwise recorded or described in Assessor's records.)

Assessor's Records: The Los Angeles County Assessor first visited the property on October 22, 1928 and recorded a two-story residence with a concrete foundation, stucco walls, a hipped and gabled tile roof, and plaster and tile trim. Heat was provided by two fireplaces and an electrically-controlled gas furnace with ten openings. There were eighteen (later upgraded to nineteen) "good"-quality plumbing fixtures. Lighting fixtures were rated "special." Interior finishes consisted of plaster, Sanitas wall coverings, and plain woodwork. The house had a total of nine hardwood floors.

The Assessor estimated the square footage at 4,654. On the first floor were an entry hall with a tile floor, four living rooms (one was probably a dining room), two bedrooms, one bathroom, a pass pantry, a kitchen, and a breakfast room. The second floor contained three bedrooms and three bathrooms, one with a walk-in tiled shower. There was also a plastered basement that measured approximately sixteen by twenty feet. The attached garage, measuring approximately twenty by thirty feet, had a cement floor, stucco walls, a tiled gabled roof, and a plastered interior.

The Assessor added an 18-by-38-foot swimming pool in 1965. It included a filter and a heater.

The Assessor later recorded a 474-square-foot L-shaped addition to the side of the house. It had a shed-like tile roof and steel sash. The interior contained tongue-in-groove detailing, exposed rafters, one wall paneled in ash, an 18-foot sliding glass door, a parquet floor, and a bar sink.

The Los Angeles County Assessor currently estimates the square footage of the house at 5,128 with five bedrooms and four bathrooms.

Copies of the Assessor's building records are attached on pages 27 through 30.

Other Owners and Residents: In July 1935, Edmond Gage Soule, a horse-breeder from New York, became the owner. In 1953, Gladys Soule was recorded as the executor-owner.

Richard F. McWhorter gained title in April 1956. Mr. McWhorter was a production manager at Universal Studios. Loreine McWhorter joined her husband as co-owner in 1957. She was active in the National Charity League.

In June 1960, Robert C. and Elizabeth F. Hill gained possession.

Title was transferred to Karen L. Van Sant in June 1989.

Robert F. Hill became a co-trustee owner in July 1991.

Dante Di Loreto has been the owner since March 2013.

Notes: On July 28, 1935 the *Los Angeles Times* reported that Mrs. Marvel Rusk had sold the property to E. J. Soule. A photograph accompanying the article shows how the original front door has been altered. At some unknown date, a French style canopy was placed over the entry porch, obscuring the original cast-stone quoining that had surrounded an arched opening.

The house was advertised for sale in the *Times* in November 1954, described as having “gunite construction” with a “lovely living room and library, spacious bedrooms, excellent-sized dining room, and nice garden.” Another ad in June 1955 described the house as having the “finest construction.” Copies of both ads can be found on page 15.

Significance: The City of Los Angeles has determined that the Chessman house is a contributor to the Hancock Park Historic Preservation Overlay Zone. The City’s recording form is attached on page 16.

Sources:

City of Los Angeles, Building & Safety Department
Los Angeles County Assessor (Culver City district office and Los Angeles archives)
Los Angeles Public Library

Gebhard, David and Robert Winter. *An Architectural Guidebook to Los Angeles*.
Salt Lake City, Gibbs-Smith, 2003.

McAlester, Virginia and Lee. *A Field Guide to American Houses*.
New York, Knopf, 1984.

Who's Who on the Pacific Coast, 1913.

City Directories: 1928-

Los Angeles Times: January 27, 1935; July 28, 1935; November 14, 1954; June 13, 1955

Internet Resources, including California Index, California Death Index,
Gale Biography Master Index, Ancestry.com, and Historic *Los Angeles Times*
Database.

Tim Gregory
The Building Biographer
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Pasadena, CA 91106-3763
626-792-7465
timgregory@sbcglobal.net
www.buildingbiographer.com

Copyright May 2015
by Tim Gregory

CHISHOLM, FORTINE & MEIKLE

Designer/Builders

The firm of Chisholm, Fortine & Meikle, although it flourished for a relatively short time, produced a number of fine residences in a variety of European styles in the Hancock Park and Windsor Square areas of Los Angeles. The principal, Alexander David Chisholm, was born in Canada in 1884 and emigrated to the United States in 1919 with his wife Margaret Meikle Chisholm. They settled first in Montana, but by the early 1920s had relocated to Los Angeles and were living at 4311 Beverly Boulevard. From that address around 1923, Mr. Chisholm began operating a building contracting business, known as Chisholm & Meikle, a partnership between himself and his wife's brother Evan (or Eban) Lorenzo Meikle. Mr. Meikle (1890-1959) was also a native of Canada who had emigrated from Nova Scotia around 1916. He lived with Mr. and Mrs. Chisholm for a number of years, eventually moving with them to a new home at 580 North Arden Boulevard.

Around 1925, Mr. Chisholm took on another partner, William Herschul Fortine (1888-1941) who had already found success in the oil industry and also lived in Hancock Park. Chisholm, Fortine & Meikle became well-known for not just their construction activities but also for their ventures in real estate development. At that time, the firm was located at 509 South Western Avenue.

Perhaps due to the onset of the Great Depression, the partnership disbanded around 1930, Mr. Chisholm forming his own construction business known as the A. D. Chisholm Company, Inc., operating from 3981 West 6th Street. Another brother-in-law, John J. Meikle, who had emigrated from Canada in 1924 and had his own house-painting business, served as vice-president and Mrs. Chisholm was secretary of the firm. They appear not to have been involved in real estate. Mr. and Mrs. Chisholm later moved to North Hollywood where Mr. Chisholm died in 1946 at the age of 62 as a result of injuries sustained from being hit by a car as he walked across Magnolia Avenue. A copy of Mr. Chisholm's entry in the 1927/28 edition of *Who's Who in Los Angeles County* is attached.

Mr. Meikle also continued in the construction business until his own death at the age of 68. He had lived on Chisholm Avenue in Van Nuys which had perhaps been named at the time his earlier firm had been involved in real estate development. Mr. Fortine, a native of Illinois, evidently returned to the oil business in California and Mexico. At the time of his death at the age of 53 he was living in Porterville where he was a well-known landowner.

None of the principals of Chisholm, Fortine & Meikle appear to have had architectural training. The fact they took credit for the design of many of the residences they built indicates they probably had experienced architects on their staff. They also on occasion used the architectural services of the well-known firms of Webber, Staunton & Spaulding and Clarence J. Smale. At least eleven of Chisholm, Fortine & Meikle's homes were featured in the *Architectural Digest* between 1925 and 1930. Three documented addresses are: a residence at 543 Muirfield Road in the Italian style that the firm built on speculation; the White residence at 366 South June Street;

the Chessman residence at 464 North June Street; the Ridgway residence at 355 Rimpau Boulevard. Both of the latter houses were done in the French Revival style.

Sources:

Los Angeles Times: January 18, 1931; March 23, 1941; March 20, 1946; August 31, 1959
Who's Who in Los Angeles County, 1927/28.

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July 2008



A. D. CHISHOLM

Owner of the A. D. Chisholm Company, Architects and Builders, 509 South Western avenue, Los Angeles; born New Glasgow, Canada, February 6, 1884, the son of James and Mary (Ross) Chisholm; educated in the public schools of his native community; married in 1912 to Miss Margaret Meikle at New Glasgow; they have four children. Came to Los Angeles from Seattle, Washington, in 1920, and has been engaged in the building business here continuously ever since, having built some of the finest homes in the city. Treasurer and Director of the California Properties Incorporated. Member of the Optimist and the Deauville Clubs; resides at 580 North Arden Blvd., Los Angeles.

HEART ILLS END LIFE OF F.F. FORTINE

Los Angeles Times (1886-Current File); Jan 18, 1931; ProQuest Historical Newspapers Los Angeles Times (1881 - 1986)
pg. A5

HEART ILLS END LIFE OF F.F. FORTINE

*Unexpected Attack at His
Home Terminates Career
of Veteran Oil Man*

An unexpected heart attack closed the career yesterday of Fred A. Fortine, 52-year-old vice-president and



**FRED A.
FORTINE**

manager of operations for the Barnsdall Oil Company. Death occurred at his home, 136 South Lucerne Boulevard. Funeral services will be conducted at 3 p.m. tomorrow at Pierce Brothers mortuary, with interment in Forest Lawn Memorial Park.

Besides his widow, Mrs. Lina Langstaff

Fortine, Mr. Fortine leaves his brother, William H. Fortine of the oil industry; five sisters, Emma Bergren of Alberhill, Mrs. E. H. Smith of Riverside, Mrs. C.-E. Wayne of Fillmore, Mrs. C. S. Hirt and Mrs. Dora Dresser of Oxnard, and three sons. Wayne and Douglas are connected with Barnsdall, and Dwight is with the Shell Oil Company in Venezuela.

Mr. Fortine was born in Kankakee, Ill., in 1879. While still a young man, and shortly after his arrival in California, he obtained employment in the old Kern River oil fields near Bakersfield, and there worked up through the various branches of the industry. After gaining wide experience and a thorough knowledge of the oil industry, Mr. Fortine joined the K.T.O. Oil Company, a subsidiary of the Southern Pacific. He later joined the Republic Petroleum Company.

Evan L. Meikle

Funeral services for Evan L. Meikle, 68, building contractor, will be conducted by Pierce Bros. Van Nuys Mortuary today at noon in the Church of the Recessional, followed by interment in Forest Lawn Memorial-Park. Born in Canada, Mr. Meikle had been a California resident for 36 years. He lived at 6932 Chisholm Ave., Van Nuys, and died in Valley Hospital on Thursday. Mr. Meikle leaves his widow, Mrs. Evelyn Meikle; a daughter, Margaret; son, John; two sisters, Margaret Chisholm and Mrs. William Milligan, and two brothers, John J. and W. Carr Meikle.

Los Angeles Times
August 31, 1959; p. 23

CHESSMAN, Frank Newhall, Physician; born, Helena, Mont., May 5, 1877; son, William Allen and Penelope Virginia (Newhall) C.; his father, Wm. A. Chessman, went around Horn to Cal. in sailing ship "Boston," arriving at San Francisco, Dec., 1849; left Cal. for Mont. in 1864. *Edu.*: St. Paul's School, Concord, N. H., 1893-6; Harvard, 1896-1900; M. D., College of Phys. & Surg., N. Y. City, 1900-4; St. Luke's Hosp., N. Y. City, 1905-7; Sloane Hosp. for Women, 1907-8. Married, Marvel White, June 16, 1909, at Seattle, Wash. Specialty: gynecology and obstetrics. *Clubs*: University, Seattle Tennis. *Res.*: 909 Boylston ave., North; *Office*: 1010 Cobb bldg., Seattle, Wash.



Frank and Marvel Chessman
Passport Photo, 1921

MARSHALL RUSK

"BUILDER OF VOICES"

464 N. JUNE.

OR. 2860.

Associate and Successor of Angelo
de Trabadelo, Paris, France. Special-
ist in Phonetic English and French
Diction.

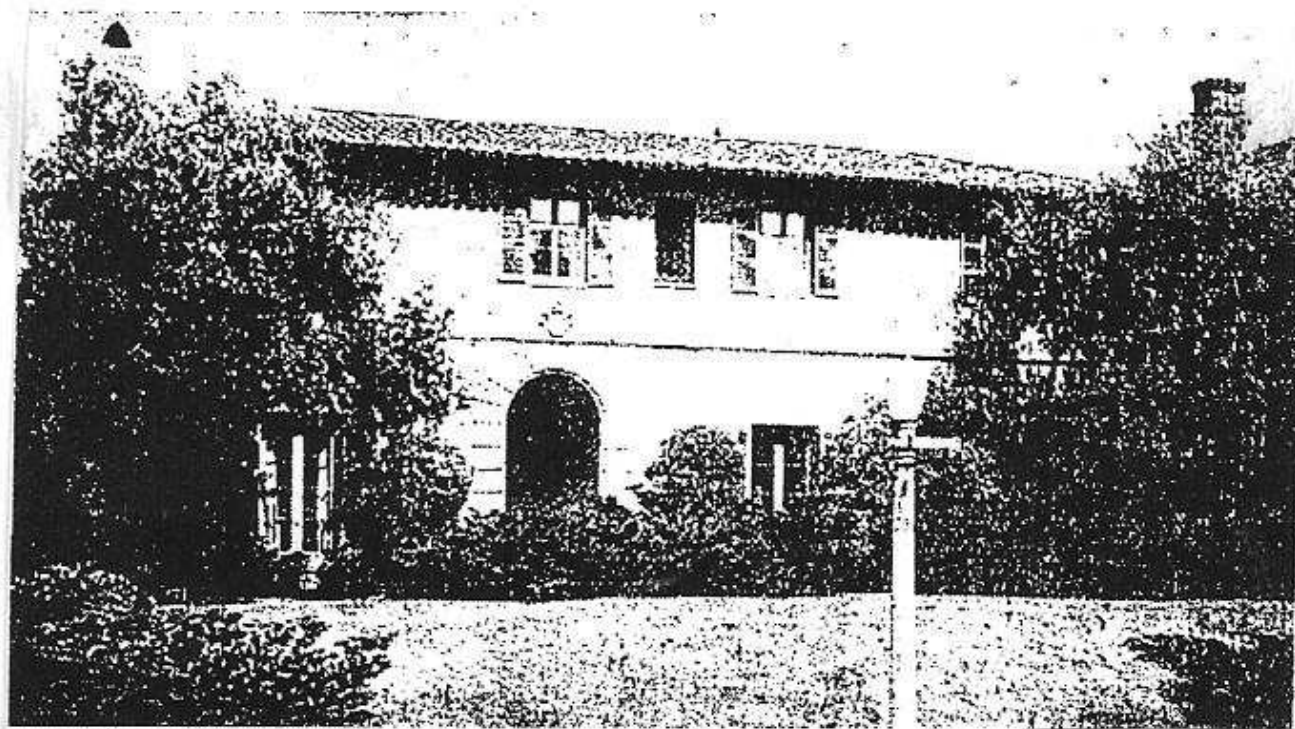
Trabadelo's Aide Opens Studio in Los Angeles

Marshall Rusk, well-known in Paris for thirteen years as the associate of Trabadelo, teacher of such internationally famous singers as Sissy Sanderson, Emma James, Melba, Caruso, David Stephens, Geraldine Farrar and Mary Garden, has just opened a studio in Los Angeles.

Chosen by Trabadelo himself to be his successor, Mr. Rusk for five years had daily lessons from the great maestro on how to "place" voices. This highly specialized training has earned for him a European reputation as a "builder of voices." Trabadelo said of him, "He has a rare talent; he is a born teacher of singing."

Los Angeles Times

January 27, 1935; p. B6



The immediately above view is of the Mediterranean-type residence, at 404 North June street, adjoining the Wilshire Country Club, in the Hancock Park area, just bought by E. J. Soule of New York, from Mrs. Marvel Rusk for approximately \$30,000, it was announced. The transaction was handled by George Schneiders of Kells and Grant.

Los Angeles Times
July 28, 1935; p. 9

Coldwell, Banker & Co.

**OPEN SUNDAY 2-5
464 NORTH JUNE STREET**

2-story, granite construction. Lovely liv. rm. & library with P.P., 3 spacious bedrooms with baths. 2 mdr. rms. with bath, powder room, excellent size dining rm. & break. rm. Nice garden with room for pool overlooking Wilshire Country Club. Owner anxious to sell. Come in. **CALL JOHN JACKSON FOR APPT.**

Los Angeles Times
November 14, 1954; p. J17

FINEST CONSTRUCTION

Large enough for gracious living yet easy to maintain. Living, dining & breakfast rooms open onto terrace which borders golf course. 3 bedrooms, each with bath. 3-car garage. Close to fine private & public schools. 464 N. June St. WE-8567.

Los Angeles Times
June 13, 1955; p. A22

Historical Preservation Overlay Zone 464 N JUNE ST

HPOZ Name:

Hancock Park

Historic Designation:

Contributing Feature

Historic Name:

Residence for Mrs. Fon Chessman

Common Name:

None

Year Built:

1928

Architecture:

Mediterranean Revival

Architect:

Not Available

Builder:

Chisholm, Fortine & Meikle

Survey Notes:

Adds to the historic architectural qualities or historic associations for which a property is significant because it was present during the period of significance, and possesses historic integrity reflecting its character at that time.

Structural Alterations:

Awning and metal support columns added to front entry

Landscaping:

Replica streetlight and sycamore in parkway; raised yard; mature trees in yard; hedge

Survey Date:

October 2001

Mills Act:

Contract Number: None

Case Number: None

**Facade Visibility:**

IMAGE NOT AVAILABLE

All Applications Must be Filled Out by Applicant

PLANS AND SPECIFICATIONS and other data must also be filed

Bldg. Form 1

DEPARTMENT OF BUILDING AND SAFETY

2

Application for the Erection of Frame Buildings CLASS "D"

To the Board of Building and Safety Commissioners of the City of Los Angeles: Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit: First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof. Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles. Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

Form section with fields: Lot No. 283, Block 71, 8330, District No. 29th, M. B. Page 1, F. B. Page 401, No. 464 No June St., Street SE Cor Rosewood. Includes instructions: TAKE TO ROOM No. 6 REAR OF NORTH ANNEX 1st FLOOR CITY CLERK PLEASE VERIFY; TAKE TO FIRST FLOOR 242 SO. BROADWAY ENGINEER PLEASE VERIFY. (USE INK OR INDELIBLE PENCIL)

- 1. Purpose of Building Residence & Private Garage No. of Rooms 12 No. of Families One
2. Owner's name MRS. F. N. Chasman Phone W 6714
3. Owner's address 509 So. Western Ave.
4. Architect's name Chisholm, Fortine & Meikle Phone W 6714
5. Contractor's name Chisholm, Fortine & Meikle Phone W 6714
6. Contractor's address 509 So. Western Ave.
7. VALUATION OF PROPOSED WORK \$ 20,000.00
8. Is there any existing building or permit for a building on lot? NO. How used?
9. Size of proposed building 56 x 12.6 Height to highest point 26 feet
10. Number of Stories in height Two Character of ground Adobe
11. Material of foundation Conc. Size of footings 1-4 Size of wall 8 Depth below ground 4
12. Material of Chimneys Brick Number of inlets to flue One Interior size of flues 12 x 17
13. Material of exterior walls Studs & Plaster
14. Give sizes of following materials: REDWOOD MUDSILLS 2 x 8 Girders 4 x 8 EXTERIOR studs 2 x 8 INTERIOR BEARING studs 2 x 4 Interior Non-bearing studs 2 x 4 Ceiling joists 2 x 6 Roof rafters 2 x 6 FIRST FLOOR JOISTS 2 x 8 1/2 Second floor joists 2 x 14 Specify material of roof tile
15. Will all provisions of State Housing Act be complied with? Yes
Is Zoned Property In? A
I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

OVER (Sign here) Chisholm-Fortine & Meikle (Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY PERMIT NO. 9522 Plans and Specifications checked and found to conform to Ordinances, State Laws, etc. Application checked and found O.K. Stamp here when permit is issued. APR 2 1928

Handwritten signatures and stamps at the bottom of the form, including 'PLANS' and a circled '6'.

FOR DEPARTMENT USE ONLY

APPLICATION	O. K. <i>[Signature]</i>
CONSTRUCTION	O. K. <i>[Signature]</i>
ZONING	O. K. <i>[Signature]</i>
SET-BACK LINE	O. K. <i>[Signature]</i>
ORD. 33761 (N. S.)	O. K. <i>[Signature]</i>
FIRE DISTRICT	O. K. <i>[Signature]</i>

REMARKS

All points of contact between garage and
 living quarters to be fireproof and no opening
 between *W. H. Hutz*

Lathing and Plastering ~~Ordinance~~
 will be complied with
W. H. Hutz
 Owner or Authorized Agent

<div style="display: flex; justify-content: space-between;"> 3 <div style="text-align: center;"> APPLICATION TO ALTER - REPAIR - DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY </div> DEPT. OF BUILDING AND SAFETY </div>									
CITY OF LOS ANGELES									
1. LEGAL LOT	BLK.	TRACT			DIST. MAP				
282		8320			4694				
2. BUILDING ADDRESS				APPROVED	ZONE				
464 N. June St.				RB	R-1				
3. BETWEEN CROSS STREETS				FIRE DIST					
Rosewood AND Oakwood									
4. PRESENT USE OF BUILDING			NEW USE OF BUILDING		INSIDE KEY				
Dwelling			Same						
5. OWNER		PHONE			COR. LOT X				
R. F. Mc Whorter		WE 64762			REV. COR.				
6. OWNER'S ADDRESS				P. O.	LOT SIZE				
Above				Irreg. See back					
7. CERT. ARCH.		STATE LICENSE			PHONE				
8. LIC. ENGR.		STATE LICENSE			PHONE				
9. CONTRACTOR		STATE LICENSE			PHONE				
10. CONTRACTOR'S ADDRESS				P. O.	ZONE				
Owner				AFFIDAVITS					
<div style="display: flex; justify-content: space-between;"> 40x50 L-Shape. </div>									
11. SIZE OF EXISTING BLDG	STORIES	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE			BLDG AREA			
5000 sqft.	2	20'	1 - Dwelling			448 sqd.			
12. MATERIAL EXT. WALLS		<input checked="" type="checkbox"/> WOOD	<input type="checkbox"/> METAL	<input type="checkbox"/> CONC. BLOCK	ROOF CONST.	<input checked="" type="checkbox"/> WOOD	<input type="checkbox"/> STEEL	ROOFING	
		<input checked="" type="checkbox"/> STUCCO	<input type="checkbox"/> BRICK	<input type="checkbox"/> CONCRETE		<input type="checkbox"/> CONC.	<input type="checkbox"/> OTHER	Tile	
3 464 N. June St.								DISTRICT OFFICE	
								L. A.	
13. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING.					\$ 1200.00				
14. SIZE OF ADDITION		STORIES	HEIGHT	VALUATION APPROVED			DWELL. UNITS		
14 X 32		1	10'	[Signature]			1		
15. NEW WORK: EXT. WALLS		ROOFING: Rock		APPLICATION CHECKED			PARKING SPACES		
Ianal Addition				Hunio *			GUEST ROOMS		
C. OF D. ISSUED				PLANS CHECKED			FILE WITH		
I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.				CORRECTIONS VERIFIED			CONT. INSP		
SIGNED: R. F. Mc Whorter				PLANS APPROVED					
This Form When Properly Validated is a Permit to Do the Work Described.				APPLICATION APPROVED			INSPECTOR		
TYPE	GROUP	MAX. OCC.	P.C.	S.P.C.	B.P.	I.F.	O.S.	C/O	
IV	R	-	\$3.00		6				

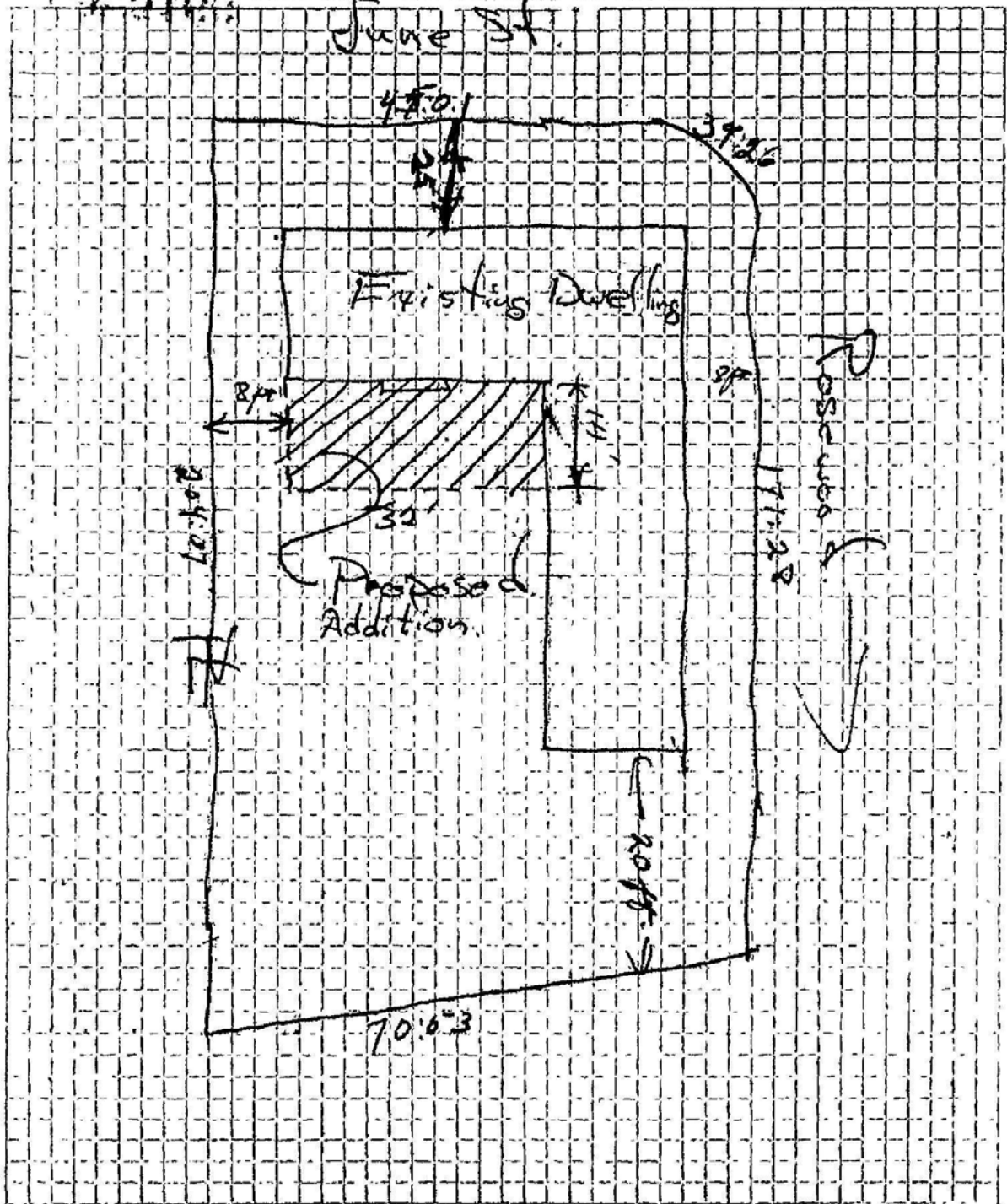
PUBLIC SEWER AVAILANCE

VALIDATION	CASHIER'S USE ONLY
LA85166	OCT-18-57 60160 B - 2 CS 3.00
	OCT-18-57 60161 B - 1 CS 6.60

Form B-3 NO NEW DRIVEWAYS TO BE BUILT INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only. 2. Plot Plan Required on Back of Original.

LEGAL DESCRIPTION

ON PLOT PLAN SHOW ALL BUILDINGS ON LOT AND USE OF EACH



1 APPLICATION FOR INSPECTION OF NEW BUILDING AND FOR CERTIFICATE OF OCCUPANCY				BAS 8-1-Rev. 3-64	
CITY OF LOS ANGELES				DEPT. OF BUILDING AND SAFETY	
INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only. 2. Plot Plan Required on Back of Original.				CENSUS TRACT	
1. LEGAL DESCR.	LOT 282	BLK.	TRACT 8320	DIST. MAP 4694	
2. PURPOSE OF BUILDING (20)	Pvt. Swim Pool W/HTR.			ZONE R-1-1	
3. JOB ADDRESS	464 N. June St.			FIRE DIST. 60/60	
4. BETWEEN CROSS STREETS	Oakwood Ave AND Rosewood Ave.			INSIDE COR. LOT COR.	
5. OWNER'S NAME	Robert Hill 933-2148			KEY REV. COR.	
6. OWNER'S ADDRESS	Above LA P. O. BOX			LOT SIZE see att.	
7. ARCHITECT OR DESIGNER	None			map	
8. ENGINEER	R. B. Perry, Jr. 8782 HI 65256			REAR ALLEY	
9. CONTRACTOR	R. B. Perry & Assoc. 193866 HI 65256			SIDE ALLEY /	
10. SIZE OF NEW BLDG.	STORIES	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE	BLDG. LINE	
18x38			1-dwell & garage	AFFIDAVITS /	
11. MATERIAL OF CONSTRUCTION	EXT. WALLS	ROOF	FLOOR	DISTRICT OFFICE	
12. JOB ADDRESS	464 N. June St.			L. A.	
13. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING.	\$ 4200.00			GRADING	
PURPOSE OF BUILDING (20) PVT. SWIM POOL	VALUATION APPROVED			CRIT. SOIL	
TYPE	GROUP	STORIES	PLANS CHECKED	HIGHWAY DED.	
BLDG. AREA 684 #	MAX. OCC	TOTAL	PLANS APPROVED	FLOOD	
DWELL. UNITS	GUEST ROOMS	SPACES PARKING	REAR PROVIDED	CONS. 3/4	
SPRINKLERS REQ'D SPECIFIED	CONT. INSP. GUNITE			ZONED BY Shukla	
P.C. No. LL 5583	APPLICATION APPROVED			FILE WITH	
P.C. 12 22	S.P.C.	G.P.I.	B.P. 18 82	I.F.	O.S. R/O
CASHIERS USE ONLY			INSPECTOR		

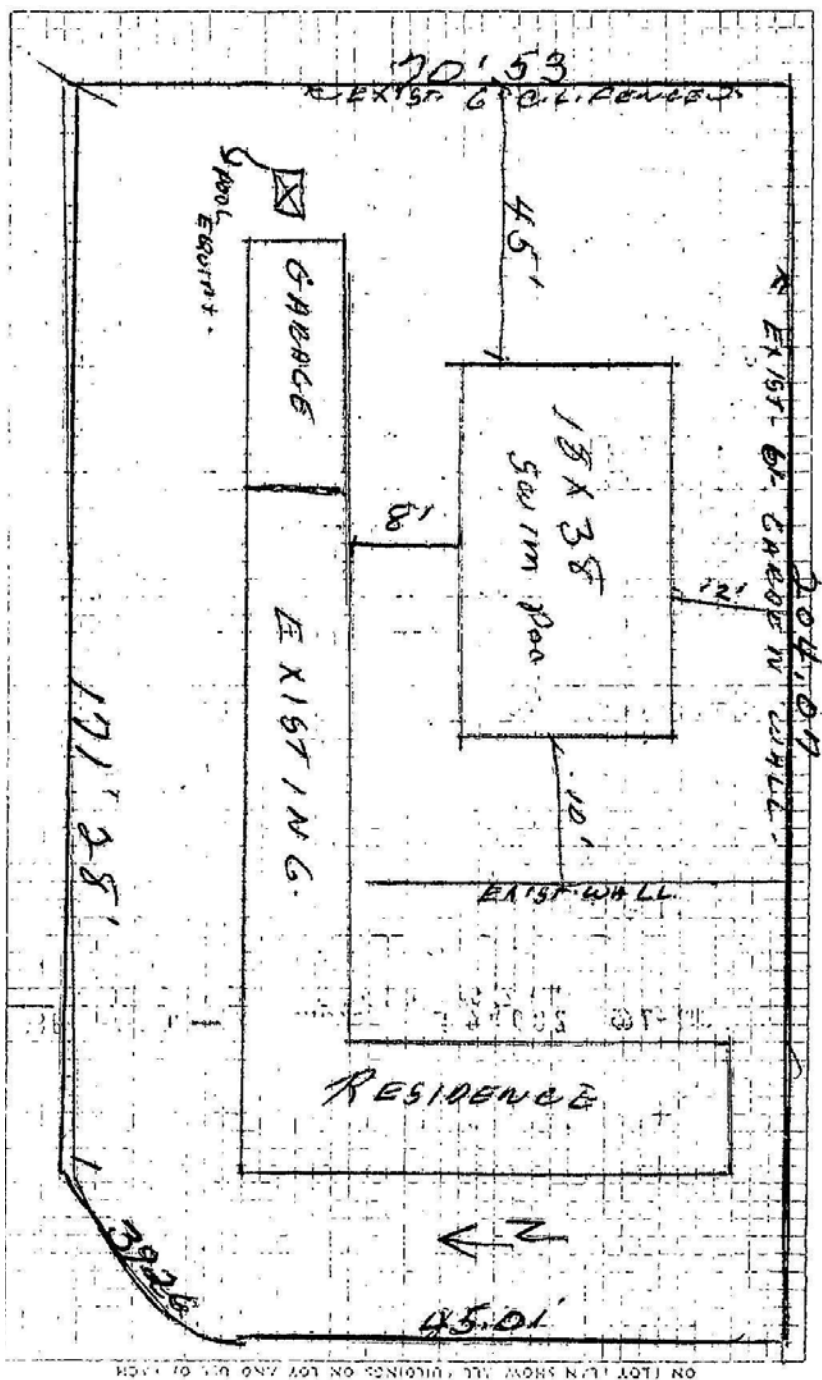
JUN 17 1965 MAY 25 1965 44333 E - 2 CK 12.22
 289465 096777 X - 1 CK 18.80

STATEMENT OF RESPONSIBILITY

I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.
 "This permit is an application for inspection, the issuance of which is not an approval or an authorization of the work specified herein. This permit does not authorize or permit, nor shall it be construed as authorizing or permitting the violation or failure to comply with any applicable law." Neither the City of Los Angeles, nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein, or the condition of the property or soil upon which such work is performed." (See Sec. 91.0202 L.A.M.C.)

Signed *R. Byler* (Owner or Agent) Name Date

	Name	Date
Bureau of Engineering	R. Byler	5-25-65
ADDRESS APPROVED		
SEWERS AVAILABLE per Hollywood	Swart	"
NOT AVAILABLE		
DRIVEWAY APPROVED		
HIGHWAY DEDICATION REQUIRED COMPLETED		
FLOOD CLEARANCE APPROVED		
Conservation		
APPROVED FOR ISSUE FILE #		
Plumbing		
PRIVATE SEWAGE DISPOSAL SYSTEM APPROVED		
Approved UNDER CASE #		
Planning		
APPROVED (TITLE 19) (L.A.M.C.-5700)		
Fire		
APPROVED FOR		
Traffic		



LOT 2.82 TRACT 8320

5. OWNER'S NAME MR. & MRS. Robert Hill		PHONE WE 92148		LOT SIZE 70x190 70x204	
6. OWNER'S ADDRESS Same		P.O. BOX		ZIP	
7. ARCHITECT OR DESIGNER		STATE LICENSE NO.		PHONE	
8. ENGINEER		STATE LICENSE NO.		PHONE	
9. CONTRACTOR H & P Const. Co.		STATE LICENSE NO.		PHONE 190084 PO 55112	
10. SIZE OF EXISTING BLDG.		STORIES	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE	
55x35 & 95x20		2	21'	1-dwelling, att. garages	
11. MATERIAL OF CONSTRUCTION		EXT. WALLS	ROOF	FLOOR	
		stucco	tile	wood	
12. JOB ADDRESS 3 464 N. June St.		VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING		7500	
14. NEW WORK: (Describe)		add new passage way & convert exist. patio porch into new family room		DISTRICT OFFICE I.A. GRADING CRIT. CON. HIGHWAY DED.	
NEW USE OF BUILDING		SIZE OF ADDITION	STORIES	HEIGHT	FLOOD
SAME		16'x4'	1	10'	
TYPE	GROUP	SPRINKLERS REQ'D	VALUATION APPROVED		CONNS.
Y	R-1		Stephens		
BLDG. AREA	MAX OCC.	TOTAL	PLANS CHECKED		CON'S BY
600			Stephens		Orry
DWELL. UNITS	GUEST ROOMS	SPACES PARKING	REQ'D	PROVIDED	FILE WITH
			NC		
P.C. No.	CONT. INSP.	APPLICATION APPROVED		INSPECTOR	
		Stephens			
P.C. 20 00	S.F.C.	G.P.I.	S.P. 32	I.F. /	O.S. /
					TYPYST kb

Plan check expires six months after fee is paid. Permit expires one year after fee is paid or six months after fee is paid if construction is not commenced.

JUN 19 68	04609 E	•60194	Z - 2 CK	20.80
JUN 19 68	04610 E	•60194	Z - 1 CK	32.80

STATEMENT OF RESPONSIBILITY

I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.

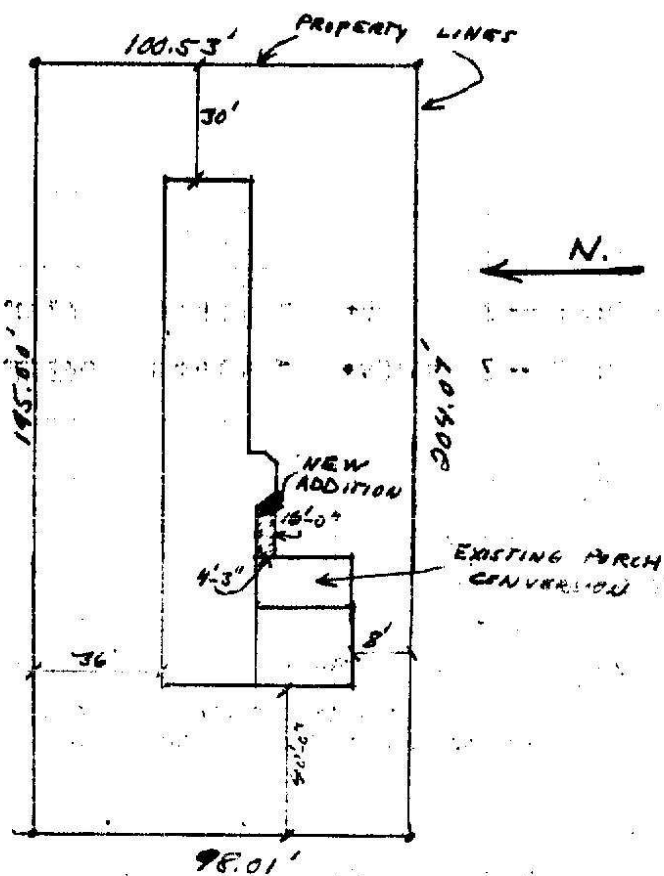
"This permit is an application for inspection, the issuance of which is not an approval or an authorization of the work specified herein. This permit does not authorize or permit, nor shall it be construed as authorizing or permitting the violation or failure to comply with any applicable law. Neither the City of Los Angeles, nor any board, department, officer or employee thereof, make any warranty or shall be responsible for the performance or results of any work described herein, or the condition of the property or soil upon which such work is performed." (See Sec. 91.0202 L.A.M.C.)

Signed *Engineer D. Robinson*
(Owner or Agent)

	Name	Date
Bureau of Engineering	SB	1/29
Conservation		
Plumbing		
Planning		
Fire		
Traffic		

LEGAL DESCRIPTION

LOT 282
TRACT 8320
464 N. JUNE ST.



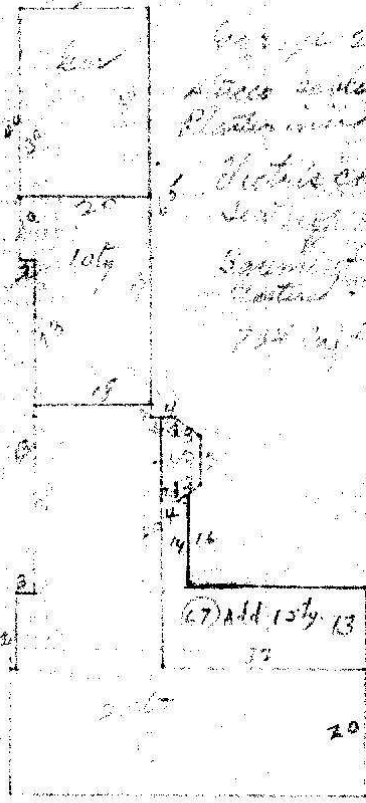
JUNE ST.

2. PRESENT USE OF BUILDING 01 dwelling	NEW USE OF BUILDING 01, same	1923 DIST. MAP
3. JOB ADDRESS 464 N. June St.		4694 ZONE
4. BETWEEN CROSS STREETS Rosewood Ave. AND Oakwood Ave.		R1-1 STRE DIST.
5. OWNER'S NAME Robt. Hill	PHONE WE 3-2148	LOT (TYPE)
6. OWNER'S ADDRESS same	CITY ZIP	LOT SIZE
7. ARCHITECT OR DESIGNER	STATE LICENSE No. PHONE	irreg
8. ENGINEER	STATE LICENSE No. PHONE	ALLEY
9. CONTRACTOR H & P const. Co.	STATE LICENSE No. PHONE 190964 765-5112	BLOG. LINE
10. LENDER	BRANCH ADDRESS	AFFIDAVITS
11. SIZE OF EXISTING BLDG. LENGTH 78 WIDTH 50 STORIES 2 HEIGHT 1 NO. OF EXISTING BUILDINGS ON LOT AND USE 1 dwell w/att gar		
12. MATERIAL OF CONSTRUCTION OF EXISTING BLDG. EXT. WALLS ROOF FLOOR		
13. JOB ADDRESS 3 464 N. June St.		DISTRICT OFFICE LA
14. VALUATION TO INCLUDE ALL EXISTING EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING \$ 1200		GRADING
15. NEW WORK (Describe) remodel exist bath/no structural		CRTY SOIL
		HIGHWAY DED.
NEW USE OF BUILDING 01 Dwelling	SIZE OF ADDITION none	STORIES HEIGHT
TYPE GROUP V R-1	SPRINKLERS REQ'D SPECIFIED	INSPECTION ACTIVITY CONS MAJ S. CONS
BLDG. AREA n/c	MAX. OCC. n/c	PLANS CHECKED
DWELL UNITS 1	GUEST ROOMS	PLANS APPROVED
P.C. No. none	CONT. INSP.	APPLICATION APPROVED <i>C. Egan</i>
P.C.	S.P.C. G.P.I.	F.P. O.S. C/O TYPIST \$12.50 kg
PLAN CHECK EXPIRES SIX MONTHS AFTER FEE IS PAID. PERMIT EXPIRES ONE YEAR AFTER FEE IS PAID OR SIX MONTHS AFTER FEE IS PAID IF CONSTRUCTION IS NOT COMMENCED.		
CASHIER'S USE ONLY MM-2071 38166 E 029291 U-20K 1250		
STATEMENT OF RESPONSIBILITY		
I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance. "This permit is an application for inspection, the issuance of which is not an approval or an authorization of the work specified herein. This permit does not authorize or permit, nor shall it be construed as authorizing or permitting the violation or failure to comply with any applicable law. Neither the City of Los Angeles, nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein, or the condition of the property or soil upon which such work is performed." (See Sec. 91.0202 L.A.M.C.)		
Signed: <i>Thomas W. Hill</i> (Owner or Agent)	Name	Date
Bureau of Engineering SFC nt appl'd Egan 5-21-71	ADDRESS APPROVED SEWERS AVAILABLE NOT AVAILABLE DRIVEWAY APPROVED HIGHWAY DEDICATION REQUIRED COMPLETED FLOOD CLEARANCE APPROVED	Nagai 5-21-71
Conservation	APPROVED FOR ISSUE FILE #	
Plumbing	PRIVATE SEWAGE DISPOSAL SYSTEM APPROVED SHOWN UNDER G.M.A.	
Planning	APPROVED UNDER G.M.A.	
Fire	APPROVED UNDER G.M.A. (19)	
Traffic	APPROVED FOR	

464 N. June St.		HI-1	
4. BETWEEN CROSS STREETS Rosewood Avenue AND Oakwood Ave		FIRE DIST.	
5. OWNER'S NAME ROBL. Hill WE32148 PHONE		LOT (TYPE) corner	
6. OWNER'S ADDRESS 464 N. June St. LA 90004 CITY ZIP		LOT SIZE irreg	
7. ARCHITECT OR DESIGNER		STATE LICENSE No. PHONE	
8. ENGINEER		STATE LICENSE No. PHONE	
9. CONTRACTOR H & P Const. Co. 190984 PHONE		STATE LICENSE No. PHONE 7655112	
10. LENDER		BRANCH ADDRESS	
11. SIZE OF EXISTING BLDG. LENGTH 70 WIDTH 50 STORIES 2 HEIGHT 20 NO. OF EXISTING BUILDINGS ON LOT AND USE 1 dwlg/w/att gar			
12. MATERIAL OF CONSTRUCTION OF EXISTING BLDG. EXT. WALLS succo ROOF tile FLOOR wood			
3 464 N. June St.		DISTRICT OFFICE T.A.	
14. VALUATION TO INCLUDE ALL FIELD EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING \$ 800 -		GRADING	
15. NEW WORK (OPTIONAL) Add existing bath - no structural changes		CRIT. SOIL	
		HIGHWAY DED.	
NEW USE OF BUILDING 01 dwelling		SIZE OF ADDITION none STORIES HEIGHT	
TYPE V GROUP R1		SPRINKLERS REQ'D SPECIFIED	
BLDG. AREA 114 MAX. OCC.		TOTAL PLANS CHECKED	
DRAFT UNITS NK		ELECT. ROOMS	
P.C. No.		CONT. INSP.	
P.C. 1550		S.P.C. G.P.I. I.P. 6.S. C16	
PLAN CHECK EXPIRES SIX MONTHS AFTER FEE IS PAID. PERMIT EXPIRES ONE YEAR AFTER FEE IS PAID OR SIX MONTHS AFTER FEE IS PAID IF CONSTRUCTION IS NOT COMMENCED.			
CASHIER'S USE ONLY 03097 E 072172 V-20K 155			
STATEMENT OF RESPONSIBILITY			
I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.			
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Signed <i>C.D. Rodriguez</i>		Name	
Bureau of Engineering		Rodriguez 6-4-73	
ADDRESS APPROVED			
SEWERS AVAILABLE			
NOT AVAILABLE			
DRIVEWAY APPROVED			
HIGHWAY DEDICATION APPROVED			
PLANS & SPECIFICATIONS APPROVED			
Conservation			
Plumbing			
Painting			

Sum Mat
18' x 20'
(1025)

At
1/16"



6' x 8' x 30' = 6000'³
 Plaster inside walls
 Plaster inside ceiling
 Plaster outside walls
 Plaster outside ceiling
 7' x 8' x 30' = 3360'³
 Plaster
 7' x 8' x 30' = 3360'³
 Plaster

(67) Add
 Shed Tile Roof
 T & G Cellar
 4' x 8' Exp. Roofs
 1 wall Ash - 18' x 18'
 18' x 18' door
 Steel 5' x 6'
 Parquet Floor
 Bat 5' x 6'

10 x 20 = 200
 23 x 5 = 115
 16 x 2 = 32
 2 x 3 = 6
 2 x 2 x 3 = 12
 2 x 2 x 5 = 20
 2 x 38 x 30 = 2280
 1 x 2 x 23 = 46
 2 x 22 x 26 = 1144
 13 x 32 = 416
 14 x 4 = 56
 2 x 2 x 2 = 8
 5128

Historical Preservation Overlay Zone

464 N JUNE ST

HPOZ Name:

Hancock Park

Historic Designation:

Contributing Feature

Historic Name:

Residence for Mrs. Fon Chessman

Common Name:

None

Year Built:

1928

Architecture:

Mediterranean Revival

Architect:

Not Available

Builder:

Chisholm, Fortine & Meikle

Survey Notes:

Adds to the historic architectural qualities or historic associations for which a property is significant because it was present during the period of significance, and possesses historic integrity reflecting its character at that time.

Structural Alterations:

Awning and metal support columns added to front entry

Landscaping:

Replica streetlight and sycamore in parkway; raised yard; mature trees in yard; hedge

Survey Date:

October 2001

Mills Act:

Contract Number: None

Case Number: None



Facade Visibility:



**Other Historical Designation
464 N JUNE ST**

This property is located within a City Historic Preservation Overlay Zone (HPOZ) but does not have any other designations. Click the tab above to view "Historic Preservation Overlay Zone" information.

**Mills Act
464 N JUNE ST**

This property does not have a Mills Act Contract.



City of Los Angeles Department of City Planning

3/28/2015

PARCEL PROFILE REPORT

PROPERTY ADDRESSES

464 N JUNE ST

ZIP CODES

90004

RECENT ACTIVITY

None

CASE NUMBERS

CPC-2007-2705-HPOZ-MS

CPC-2004-4578-ICO

CPC-2002-6157-ICO

CPC-2002-230-HPOZ

ORD-180162

ORD-177839

ORD-176228

ORD-175149

ENV-2006-1017-CE

ENV-2002-358-CE

Address/Legal Information

PIN Number	141B185 1011
Lot/Parcel Area (Calculated)	13,884.8 (sq ft)
Thomas Brothers Grid	PAGE 593 - GRID E7
Assessor Parcel No. (APN)	5523003013
Tract	TR 8320
Map Reference	M B 98-41/43
Block	None
Lot	282
Arb (Lot Cut Reference)	None
Map Sheet	141B185

Jurisdictional Information

Community Plan Area	Wilshire
Area Planning Commission	Central
Neighborhood Council	Greater Wilshire
Council District	CD 4 - Tom LaBonge
Census Tract #	1923.00
LADBS District Office	Los Angeles Metro

Planning and Zoning Information

Special Notes	None
Zoning	R1-1-HPOZ
Zoning Information (ZI)	ZI-2440 Hancock Park ZI-1195 State of California (Division of Oil and Gas) Approval
General Plan Land Use	Low II Residential
General Plan Footnote(s)	Yes
Hillside Area (Zoning Code)	No
Baseline Hillside Ordinance	No
Baseline Mansionization Ordinance	Yes
Specific Plan Area	None
Special Land Use / Zoning	None
Design Review Board	No
Historic Preservation Review	Yes
Historic Preservation Overlay Zone	Hancock Park
Other Historic Designations	None
Other Historic Survey Information	None
Mills Act Contract	None
POD - Pedestrian Oriented Districts	None
CDO - Community Design Overlay	None
NSO - Neighborhood Stabilization Overlay	No
Streetscape	No
Sign District	No
Adaptive Reuse Incentive Area	None
CRA - Community Redevelopment Agency	None
Central City Parking	No
Downtown Parking	No
Building Line	None
500 Ft School Zone	No

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at zimas.lacity.org
(*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

500 Ft Park Zone	No
Assessor Information	
Assessor Parcel No. (APN)	5523003013
APN Area (Co. Public Works)*	0.322 (ac)
Use Code	0101 - Single Residence with Pool
Assessed Land Val.	\$2,600,461
Assessed Improvement Val.	\$1,113,750
Last Owner Change	03/26/13
Last Sale Amount	\$3,625,036
Tax Rate Area	67
Deed Ref No. (City Clerk)	445465
	306291
	182
	126565
	1096269
Building 1	
Year Built	1928
Building Class	D10C
Number of Units	1
Number of Bedrooms	5
Number of Bathrooms	4
Building Square Footage	5,128.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5
Additional Information	
Airport Hazard	None
Coastal Zone	None
Farmland	Area Not Mapped
Very High Fire Hazard Severity Zone	No
Fire District No. 1	No
Flood Zone	None
Watercourse	No
Hazardous Waste / Border Zone Properties	No
Methane Hazard Site	Methane Zone
High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	No
Oil Wells	None
Seismic Hazards	
Active Fault Near-Source Zone	
Nearest Fault (Distance in km)	2.87761737166357
Nearest Fault (Name)	Hollywood Fault
Region	Transverse Ranges and Los Angeles Basin
Fault Type	B
Slip Rate (mm/year)	1.00000000
Slip Geometry	Left Lateral - Reverse - Oblique
Slip Type	Poorly Constrained
Down Dip Width (km)	14.00000000
Rupture Top	0.00000000
Rupture Bottom	13.00000000
Dip Angle (degrees)	70.00000000
Maximum Magnitude	6.40000000
Alquist-Priolo Fault Zone	No

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Landslide	No
Liquefaction	No
Tsunami Inundation Zone	No
Economic Development Areas	
Business Improvement District	None
Renewal Community	No
Revitalization Zone	None
State Enterprise Zone	None
State Enterprise Zone Adjacency	No
Targeted Neighborhood Initiative	None
Public Safety	
Police Information	
Bureau	West
Division / Station	Wilshire
Reporting District	719
Fire Information	
Division	3
Batallion	5
District / Fire Station	27
Red Flag Restricted Parking	No

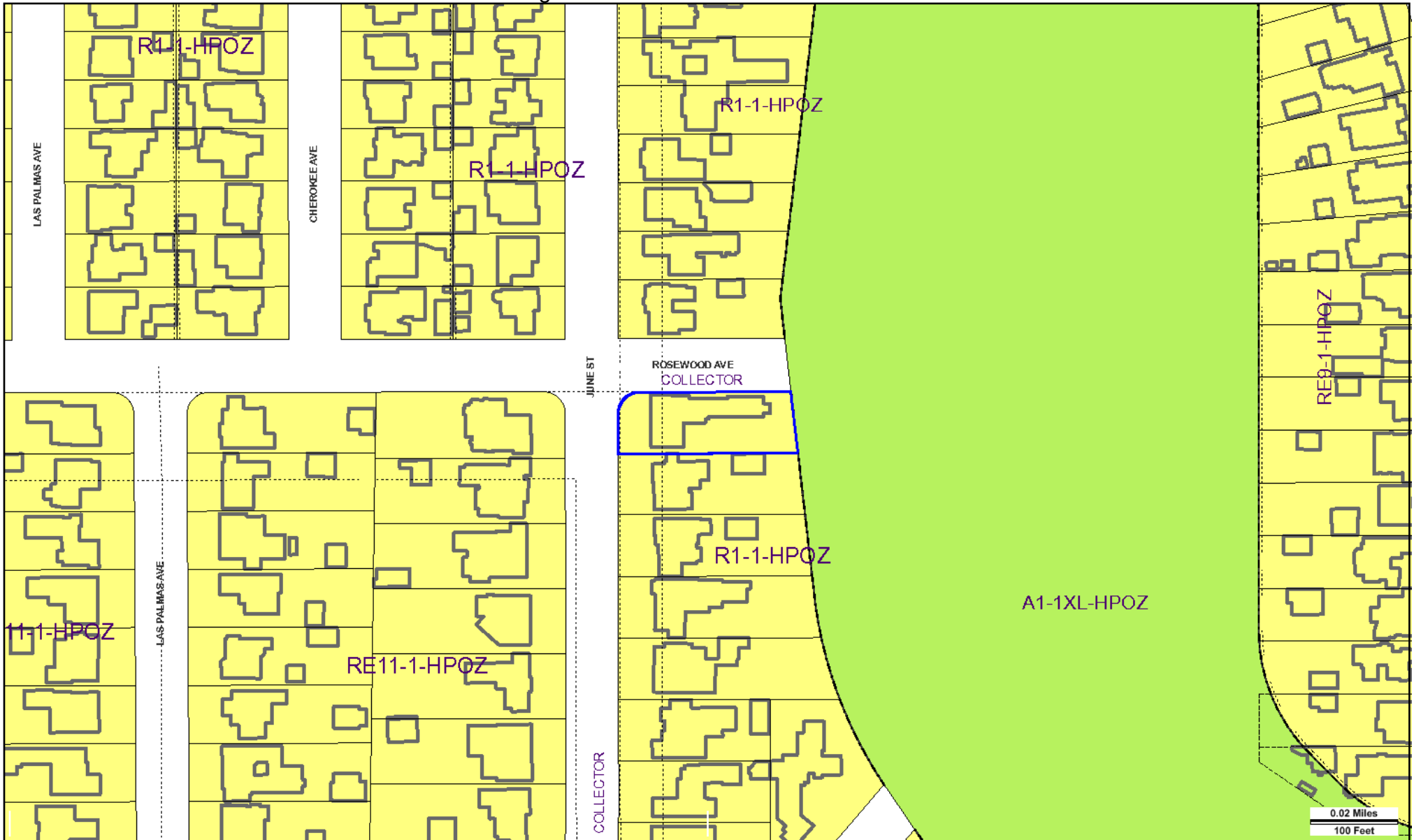
CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number:	CPC-2007-2705-HPOZ-MS
Required Action(s):	HPOZ-HISTORIC PRESERVATION OVERLAY ZONE MSC-MISCELLANEOUS (POLICIES, GUIDELINES, RESOLUTIONS, ETC.)
Project Descriptions(s):	RE-ADOPTION OF HANCOCK PARK HPOZ WITH REVISIONS TO THE HISTORIC RESOURCES SURVEY AND DEVELOPMENT OF A PRESERVATION PLAN.
Case Number:	CPC-2004-4578-ICO
Required Action(s):	ICO-INTERIM CONTROL ORDINANCE
Project Descriptions(s):	INTERIM CONTROL ORDINANCE IMPOSING A TEMPORARY PROHIBITION ON THE ISSUANCE OF CERTAIN BUILDING PERMITS FOR THE DEMOLITION OF, CHANGE OF USE OF, ADDITION OR ALTERATION TO A BUILDING OR STRUCTURE INVOLVING 51% OR MORE OF THE FLOOR AREA, MODIFYING MORE THAN 51% OF THE LINEAL DIMENSION OF THE FRONT BUILDING FACADE OR INCLUDING ESTIMATED CONSTRUCTION COSTS EXCEEDING 51% OF THE CURRENT VALUE OF IMPROVEMENTS AS DETERMINED BY THE DEPARTMENT OF BUILDING AND SAFETY WITHIN THE PROPOSED HANCOCK PARK HPOZ AREA.
Case Number:	CPC-2002-6157-ICO
Required Action(s):	ICO-INTERIM CONTROL ORDINANCE
Project Descriptions(s):	A TEMPORARY PROHIBITION ON THE ISSUANCE OF CERTAIN BUILDING PERMITS WHICH AFFECT THE DEMOLITION OF, CHANGE OF USE OF, ADDITION OR ALTERATION TO A BUILDING OR STRUCTURE.
Case Number:	CPC-2002-230-HPOZ
Required Action(s):	HPOZ-HISTORIC PRESERVATION OVERLAY ZONE
Project Descriptions(s):	
Case Number:	ENV-2006-1017-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	
Case Number:	ENV-2002-358-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	

DATA NOT AVAILABLE

ORD-180162
ORD-177839
ORD-176228
ORD-175149



Address: 464 N JUNE ST

APN: 5523003013

PIN #: 141B185 1011

Tract: TR 8320

Block: None

Lot: 282

Arb: None










Zoning: R1-1-HPOZ

General Plan: Low II Residential



LEGEND

GENERALIZED ZONING

-  OS, GW
-  A, RA
-  RE, RS, R1, RU, RZ, RW1
-  R2, RD, RMP, RW2, R3, RAS, R4, R5
-  CR, C1, C1.5, C2, C4, C5, CW, ADP, LASED, CEC, USC, PVSP
-  CM, MR, WC, CCS, UV, UI, UC, M1, M2, LAX, M3, SL
-  P, PB
-  PF
-  HILLSIDE

GENERAL PLAN LAND USE

LAND USE

RESIDENTIAL





-  Minimum Residential
-  Very Low / Very Low I Residential
-  Very Low II Residential
-  Low / Low I Residential
-  Low II Residential
-  Low Medium / Low Medium I Residential
-  Low Medium II Residential
-  Medium Residential
-  High Medium Residential
-  High Density Residential
-  Very High Medium Residential

COMMERCIAL






-  Limited Commercial
-  Limited Commercial - Mixed Medium Residential
-  Highway Oriented Commercial
-  Highway Oriented and Limited Commercial
-  Highway Oriented Commercial - Mixed Medium Residential
-  Neighborhood Office Commercial
-  Community Commercial
-  Community Commercial - Mixed High Residential
-  Regional Center Commercial

FRAMEWORK


COMMERCIAL

-  Neighborhood Commercial
-  General Commercial
-  Community Commercial
-  Regional Mixed Commercial






INDUSTRIAL

-  Commercial Manufacturing
-  Limited Manufacturing
-  Light Manufacturing
-  Heavy Manufacturing
-  Hybrid Industrial




PARKING

-  Parking Buffer


PORT OF LOS ANGELES

-  General / Bulk Cargo - Non Hazardous (Industrial / Commercial)
-  General / Bulk Cargo - Hazard
-  Commercial Fishing
-  Recreation and Commercial
-  Intermodal Container Transfer Facility Site



LOS ANGELES INTERNATIONAL AIRPORT

-  Airport Landside
-  Airport Airside
-  Airport Northside

OPEN SPACE / PUBLIC FACILITIES
















-  Open Space
-  Public / Open Space
-  Public / Quasi-Public Open Space
-  Other Public Open Space
-  Public Facilities

















INDUSTRIAL

-  Limited Industrial
-  Light Industrial






CIRCULATION

STREET





































-  Arterial Mountain Road
-  Collector Scenic Street
-  Collector Street
-  Collector Street (Hillside)
-  Collector Street (Modified)
-  Collector Street (Proposed)
-  Country Road
-  Divided Major Highway II
-  Divided Secondary Scenic Highway
-  Local Scenic Road
-  Local Street
-  Major Highway (Modified)
-  Major Highway I
-  Major Highway II
-  Major Highway II (Modified)

-  Major Scenic Highway
-  Major Scenic Highway (Modified)
-  Major Scenic Highway II
-  Mountain Collector Street
-  Park Road
-  Parkway
-  Principal Major Highway
-  Private Street
-  Scenic Divided Major Highway II
-  Scenic Park
-  Scenic Parkway
-  Secondary Highway
-  Secondary Highway (Modified)
-  Secondary Scenic Highway
-  Special Collector Street
-  Super Major Highway

FREEWAYS

-  Freeway
-  Interchange
-  On-Ramp / Off-Ramp
-  Railroad
-  Scenic Freeway Highway




MISC. LINES





















-  Airport Boundary
-  Bus Line
-  Coastal Zone Boundary
-  Coastline Boundary
-  Collector Scenic Street (Proposed)
-  Commercial Areas
-  Commercial Center
-  Community Redevelopment Project Area
-  Country Road
-  DWP Power Lines
-  Desirable Open Space
-  Detached Single Family House
-  Endangered Ridgeline
-  Equestrian and/or Hiking Trail
-  Hiking Trail
-  Historical Preservation
-  Horsekeeping Area
-  Local Street
-  MSA Desirable Open Space
-  Major Scenic Controls
-  Multi-Purpose Trail
-  Natural Resource Reserve
-  Park Road
-  Park Road (Proposed)
-  Quasi-Public
-  Rapid Transit Line
-  Residential Planned Development
-  Scenic Highway (Obsolete)
-  Secondary Scenic Controls
-  Secondary Scenic Highway (Proposed)
-  Site Boundary
-  Southern California Edison Power
-  Special Study Area
-  Specific Plan Area
-  Stagecoach Line
-  Wildlife Corridor

POINTS OF INTEREST




 Alternative Youth Hostel (Proposed)	 Horticultural Center	 Public Elementary School
 Animal Shelter	 Hospital	 Public Elementary School (Proposed)
 Area Library	 Hospital (Proposed)	 Public Golf Course
 Area Library (Proposed)	HW House of Worship	 Public Golf Course (Proposed)
 Bridge	e Important Ecological Area	 Public Housing
 Campground	 Important Ecological Area (Proposed)	 Public Housing (Proposed Expansion)
 Campground (Proposed)	 Interpretive Center (Proposed)	 Public Junior High School
 Cemetery	 Junior College	 Public Junior High School (Proposed)
HW Church	 MTA / Metrolink Station	 Public Middle School
 City Hall	 MTA Station	 Public Senior High School
 Community Center	 MTA Stop	 Public Senior High School (Proposed)
 Community Library	MWD MWD Headquarters	 Pumping Station
 Community Library (Proposed Expansion)	 Maintenance Yard	 Pumping Station (Proposed)
 Community Library (Proposed)	 Municipal Office Building	 Refuse Collection Center
 Community Park	P Municipal Parking lot	 Regional Library
 Community Park (Proposed Expansion)	 Neighborhood Park	 Regional Library (Proposed Expansion)
 Community Park (Proposed)	 Neighborhood Park (Proposed Expansion)	 Regional Library (Proposed)
 Community Transit Center	 Neighborhood Park (Proposed)	 Regional Park
 Convalescent Hospital	 Oil Collection Center	 Regional Park (Proposed)
 Correctional Facility	 Parking Enforcement	RPD Residential Plan Development
 Cultural / Historic Site (Proposed)	 Police Headquarters	 Scenic View Site
 Cultural / Historical Site	 Police Station	 Scenic View Site (Proposed)
 Cultural Arts Center	 Police Station (Proposed Expansion)	 School District Headquarters
DMV DMV Office	 Police Station (Proposed)	 School Unspecified Loc/Type (Proposed)
DWP DWP	 Police Training site	 Skill Center
 DWP Pumping Station	PO Post Office	SS Social Services
 Equestrian Center	 Power Distribution Station	 Special Feature
 Fire Department Headquarters	 Power Distribution Station (Proposed)	 Special Recreation (a)
 Fire Station	 Power Receiving Station	 Special School Facility
 Fire Station (Proposed Expansion)	 Power Receiving Station (Proposed)	 Special School Facility (Proposed)
 Fire Station (Proposed)	C Private College	 Steam Plant
 Fire Supply & Maintenance	E Private Elementary School	 Surface Mining
 Fire Training Site	 Private Golf Course	 Trail & Assembly Area
 Fireboat Station	 Private Golf Course (Proposed)	 Trail & Assembly Area (Proposed)
 Health Center / Medical Facility	JH Private Junior High School	UTL Utility Yard
 Helistop	PS Private Pre-School	 Water Tank Reservoir
 Historic Monument	 Private Recreation & Cultural Facility	 Wildlife Migration Corridor
 Historical / Cultural Monument	SH Private Senior High School	 Wildlife Preserve Gate
 Horsekeeping Area	SF Private Special School	
 Horsekeeping Area (Proposed)	 Public Elementary (Proposed Expansion)	

500 FT. SCHOOL/PARK ZONE
























-  Existing School/Park Site
-  Planned School/Park Site
-  Inside 500 Ft. Buffer

- | | |
|---|--|
|  Aquatic Facilities |  Opportunity School |
|  Beaches |  Other Facilities |
|  Charter School |  Park / Recreation Centers |
|  Child Care Centers |  Parks |
|  Elementary School |  Performing / Visual Arts Centers |
|  Golf Course |  Recreation Centers |
|  High School |  Span School |
|  Historic Sites |  Special Education School |
|  Horticulture/Gardens |  Senior Citizen Centers |
|  Middle School |  Skate Parks |

COASTAL ZONES

-  Dual Jurisdictional Coastal Zone
-  Calvo Exclusion Area
-  Coastal Zone Commission Authority

OTHER SYMBOLS

- | | | |
|---|---|--|
|  Lot Line |  Airport Hazard Zone |  Flood Zone |
|  Tract Line |  Census Tract |  Hazardous Waste |
|  Lot Cut |  Coastal Zone |  High Wind Zone |
|  Easement |  Council District |  Hillside Grading |
|  Zone Boundary |  LADBS District Office |  Historic Preservation Overlay Zone |
|  Building Line |  Downtown Parking |  Specific Plan Area |
|  Lot Split |  Fault Zone |  Very High Fire Hazard Severity Zone |
|  Community Driveway |  Fire District No. 1 |  Oil Wells |
|  Tract Map | | |
|  Parcel Map | | |
|  Lot Ties | | |
|  Building Outlines | | |

APPENDIX D

TECHNICAL REPORTS/ESTIMATES/INSPECTION REPORT

INSPECTION REPORT

For

**Client: Mr. Dante di Loreto
5555 Melrose Ave.
Scenic Loft
Los Angeles, CA 90038**

**Inspection of: 464 N. June St.
Los Angeles, California**

Inspection date: March 4, 2013



WEATHER:	Partly cloudy.
ORIENTATION:	June St. is on the west side of the subject.
TYPE OF BUILDING:	Single family residence.
AGE ESTIMATE:	85 years.
SITE:	Level pad in gently sloping terrain.
PRESENT:	Buyer. Realtors. Pest inspectors. Housekeeper. Others.

SCOPE

Please read and understand the INSPECTION AGREEMENT.

Any recommendations, descriptions or opinions contained herein are intended to be descriptive of the condition of the property and are not intended as a requirement of any party in any real estate transaction.

All components designated for inspection in the American Society of Home Inspectors Standards of Practice are inspected, except as may be noted in the various sections of this report. The inspection was visual only. No destructive testing or dismantling of building components was performed. Not all improvements are identified in this report.

This report is limited to the condition of the Property on the day of the inspection. It does not constitute a guarantee or warranty of the Property, nor any part thereof. It is not a "Home Protection Contract" as contemplated by Section 12740 of the California Insurance Code. I recommend obtaining such a policy from any of the reputable insurance companies offering such coverage. Equipment failure can occur and unexpected repairs should still be anticipated.

I do not report on the cosmetic aspects of the Property, such as the finishes on floors, walls, and ceilings nor on other decorative treatments. All buildings require some regular maintenance. I do not report on those items and conditions of routine maintenance, such as faucet drips, a few torn or missing window screens, damaged locksets, damaged latches, damaged or non-functional basin stoppers, nor any other condition than can be considered to be routine maintenance.

Geologic analysis, conditions of Title, location of property lines and other aspects of a formal site survey, are not included in the scope of this inspection. Address and municipal jurisdiction are provided to me and are assumed to be accurate.

There are other limitations to the scope of this inspection. Please refer to item #2 of the INSPECTION AGREEMENT. This report reflects a general overview of the property. There are experts available for examination of those aspects of the Property that are not included in the scope of this inspection and report. There are also experts available for more in-depth analysis of included aspects. Such experts would be expected to have greater knowledge in their specific fields and their finding may be significantly different from the findings identified in this report.

WHERE PRESENT AND ACCESSIBLE, the following components and aspects are inspected for the general features and visually apparent significant deficiencies.

INTERIORS are inspected for the condition of the doors, windows, floors, walls, ceilings, stairs, handrails and guardrails, closets, cabinets and counters. Interiors are inspected for the presence of safety glazing in appropriate locations. Each area is inspected for a source of ventilation. The lighting and at least one electrical receptacle are tested in each area. The bedrooms, halls and stairs are inspected for the presence of smoke alarms. (I do not test them and recommend that they be tested at occupancy and regularly thereafter.) The bedrooms are inspected for the presence of a secondary emergency exit. The water service areas are inspected for the condition of the plumbing and plumbing fixtures, vents and auxiliary heaters. Garages are inspected for the condition of the fire separation wall, fire door, and vehicle door. Some of the kitchen appliances are inspected, including ranges, cooktops, conventional ovens, ventilation hoods, garbage disposals and built in dishwashers. PLEASE NOTE: Refrigerators, microwave ovens, trash compactors, barbecues, and other auxiliary appliances, whether attached or free standing are not included in this inspection.

FIREPLACES are inspected for the condition of the hearth, firebox, the visible portion of the flue, dampers, the gas device, the chimney, and the spark arrestor.

SCOPE

ATTICS are inspected for the condition of the framing, insulation, miscellaneous ducts, ventilation, the visible plumbing, and the visible portions of the electrical system.

DECKS and PATIOS are inspected for the condition of the floor, cover, stairs, handrails and guardrails, lighting and electrical receptacles.

THE GROUNDS are inspected for the condition of the grade adjacent to the structures, driveway, walks, steps, fences and retaining walls. PLEASE NOTE: Grounds lighting, play equipment and irrigation systems are not included in this inspection and report.

POOLS and SPAS are inspected for the condition of the pool body, tile, deck, diving board, filter, pumps, heater, visible plumbing, and visible electrical installations, PLEASE NOTE: Pool slides, auxiliary fountains, decorative ponds, and automatic water purification systems are not included in this inspection and report.

EXTERIORS are inspected for the condition of the doors, windows, walls, trim, steps, handrails and guardrails, and chimneys. The lighting and electrical receptacles that can be located are tested.

FOUNDATIONS are inspected for the condition of the floor slabs, footings, anchors, vents, access openings, sub floor framing, the visible plumbing installations and the visible electrical installations. PLEASE NOTE: Some or all of these aspects can be concealed, especially in slab type foundations.

ROOFS are inspected for the condition of the surface materials, the vents, flashings, skylights, chimneys, eaves, gutters, and downspouts.

ELECTRICAL SYSTEMS, in addition to the areas described above, are inspected for the condition of the main panel, any sub panels, visible wiring, grounding conductor, service entrance, circuit breakers and fuses. PLEASE NOTE: Low voltage lighting systems are not included in this inspection and report.

PLUMBING SYSTEMS, in addition to the areas described above, are inspected for the condition of the visible water supply lines, the visual observation of the rate of supply flow, and the water pressure. The visible drain lines, visible vent system and visible gas supply lines are inspected. PLEASE NOTE: The inspection of the underground plumbing systems, sewer lines and septic systems are not included in this inspection and report. Testing for gas leaks is not included in this inspection and report.

WATER HEATERS are inspected for the condition of the burner chamber, flame, products of combustion vent, supply of combustion air, platform, the presence of a temperature/pressure relief valve, earthquake restraint, electrical supply, water supply plumbing and gas supply plumbing.

COOLING SYSTEMS are inspected for the condition of the evaporator, condenser, visible portions of the refrigeration lines, water system, visible portions of the condensate drains, ducting, filter, fan, electrical supply, gas supply, and physical support. The cooling differential is measured on refrigeration systems. PLEASE NOTE: Due to time constraints and possible weather conditions, the function of condensate drains is not within the scope of this inspection and report.

HEATING SYSTEMS are inspected for the condition of the firebox (where readily visible), flame, vent, ducts, plenum, fan, return air supply, supply of combustion air, separation between conditioned and combustion air, fuel supply, electrical supply, gas supply plumbing, and physical support. PLEASE NOTE: The analysis of the indoor air quality is not within the scope of this inspection and report.

ADDITIONS OR ALTERATIONS

The property has some alterations and additions. I did not research permits for this property. I recommend that the buyer consult the local building department for building permits and/or certificates of occupancy for the work. No report or representation is made on the suitability of the structural alterations. The areas may include, but are not limited to: annexation of a patio to create the gallery and family room; remodeling of the kitchen, north west bedroom bath and master bath; addition of the pool; and possible re-roofing.

SUMMARY

Access to the sub floor areas is obstructed by the small size of the openings and the low clearances at some locations. The openings and clearances are significantly smaller than modern standards. I was unable to gain entry to much of the sub floor area and cannot make a report on the conditions in the area. A team of pest inspectors was at the site and one of the individuals was of small stature. He was able to gain entry. In my opinion, this does not provide adequate information from a home inspection point of view. I recommend that access be improved to meet modern standards and that the sub floor area be re-inspected.

Based on those conditions that could be inspected, this house was found in fair to good condition. It appears to have been well built and to have received regular maintenance through much of its existence. Recent maintenance has been minimal and much routine maintenance and general rehabilitation will be necessary. Some of the major systems have been upgraded. The water supply plumbing has been replaced with copper pipe plumbing. The heating for the downstairs has been replaced with a modern heating and air conditioning system.

The roof also appears to have been replaced, but some aspects of the work are questionable. In addition there are many broken tiles in some areas. Further examination of the roof by a licensed roofing contractor is recommended.

The electrical system has been upgraded, but there is much remaining cloth insulated wire. One of the sub panels is a type that is controversial and two sub panels appear to have been extensively altered. Due to the conditions seen, further examination of the electrical system by a licensed electrical contractor is recommended.

Site drainage is poorly managed at some locations. There is evidence of water intrusion and damage at the south east corner of the garage. Site drainage improvements are recommended.

There are other repairs and recommendations within the body of the report. They are generally consistent with other houses this age. The areas and systems listed below have been inspected. Unless noted, all inspected items were found to be in normal condition.

INTERIORS

ENTRY

There are two entries that convene in a foyer to create a unique entry. One of the doors is on the west side, facing the street, and the other is on the north side, facing the drive. The entire area is included in this section.

The concrete steps at the west side are cracked at a few locations. The steps from the drive have been patched. The entry walk is also cracked and there are a few minimal offsets that could present tripping hazards. You may want to perform additional patching to improve the appearance and safety of the entry walk and steps.

There are exterior light switches at the entry doors and the door from the exterior to the laundry. They are not the type intended for exterior installation and could be susceptible to water intrusion. The switch at the west door is well under cover, but the other switches are exposed. I recommend that they be replaced with switches intended for exterior installation. A licensed electrical contractor is the appropriate tradesman.

KITCHEN

The swinging door between the kitchen and the butler's pantry drags on the floor. It will require minor trimming.

The glass in the sliding door is not safety glass. The glass in the upper panels of the doors in the laundry and the glass in the French doors to the exterior throughout the house is also not safety glass. Safety glass was not required in such locations when this house was built. In my opinion, the installation of safety glass at all such locations would be a good improvement. Safety glass or safety film is required to be installed on the sliding section of sliding glass doors in the city of Los Angeles upon sale of the property. Safety glass is present at the sliding glass doors in the family room. To avoid redundancy, this condition will not be repeated at the area headings below.

There are no threshold strips at the transitions between the wood floor in the breakfast room and the vinyl floor in the kitchen. I recommend that suitable strips be installed to make finished transitions and to prevent the risk of tripping at the edges of the vinyl.

There are a few patched cracks in the walls and ceilings, indicating some differential settlement of the structure. Similar cracks were seen in other areas. There are also a few cracks that have not been patched in less obvious locations, such as closets. This is not unusual for a house of this age and, in my opinion, is of no consequence. The cracks can be maintained and patched prior to painting, but may recur. To avoid redundancy, this condition will not be repeated at the area headings below.

The counter at the butler's pantry is wood. It is in good condition, but might require some extra maintenance, depending on use.

The escutcheon on the cold water line at the main sink faucet does not cover the opening in the tile. In addition, the joint between the wall and the sink is deteriorated. The sink, counter and back splash are aged. I recommend considering replacement of the sink, backsplash and counter.

The garbage disposal electrical conduit is damaged and is not continuous to the disposal. The unit might not be properly grounded. This can be hazardous. I recommend that a licensed electrical contractor make the necessary low cost repair.

KITCHEN

The griddle, right burners and right oven on the range were not properly functional during the inspection. Although repair is possible, you might want to consider replacement of the range.

The vent above the range is missing its grease filter. I recommend that the duct be cleaned and a grease filter be installed.

The sink at the butler's pantry was clogged and will require cleaning of the line. I recommend that a licensed plumbing contractor clean the line and check the drainage. See PLUMBING SYSTEMS notes below.

There are relatively few electrical receptacles in the kitchen. There is no receptacle at the sink counter in the butler's pantry and there is no receptacle at the right of the sink in the main kitchen. This might be inconvenient for modern use. A licensed electrical contractor is the appropriate tradesman to add receptacles.

The polarity is reversed in the electrical receptacle at the south west corner of the kitchen, near the pass through to the breakfast room. Some equipment will not work properly when connected to a receptacle that has reversed polarity. In addition, the risk of electrical shock is increased. I recommend that the electrical contractor make the necessary low cost repair. It would also be preferred that all counter top receptacles in the kitchen be protected by a GFCI (Ground Fault Circuit Interrupter).

LAUNDRY

All inspected items were found to be in normal condition.

WET BAR

The bar has an ice maker. It was reported to be non-functional. It is considered to be auxiliary equipment and is not included in the scope of this inspection. All inspected items were found to be in normal condition.

POWDER ROOM

There is no electrical receptacle in the area. In my opinion, this is of little consequence at this location and no action is recommended. All inspected items were found to be in normal condition.

MAID'S BATH

The tile base moulding is damaged at the right corner of the tub. It will require minor repair.

The sink is cracked. No leaking was seen during the inspection. Cracked ceramic can last indefinitely and can also fail at any time. In addition to the crack, the sink is not well secured to the wall and the joint between the wall and sink is damaged. I recommend replacement. A licensed plumbing contractor is the appropriate tradesman.

The toilet seat is damaged and will require replacement, a minor repair.

The glass in the window above the tub is not safety glass. This was not required when the house was built. The installation of safety glass is required in such locations in houses built today and is a good safety feature. I recommend that safety glazing be installed.

There is no electrical receptacle in the area. This could be inconvenient. A licensed electrical contractor is the appropriate tradesman to add a receptacle.

UPSTAIRS EAST BEDROOM BATH

It was noticed that there is a retractable screen at the window in this bath. There are retractable screens at many other locations throughout the house. It has been my experience that retractable screens can be quite problematic; frequently not fully retracting when tested. As a result, I do not test retractable screens. To avoid redundancy, this will not be repeated at the area headings below.

The tile floor is cracked at one location. This is not unusual for an older tile floor. The tiles are not loose and, in my opinion, can provide continued service. The damaged tiles could be replaced, but matching tiles are unlikely to be available.

There is no electrical receptacle in the area. This could be inconvenient. A licensed electrical contractor is the appropriate tradesman to add a receptacle.

The tub stopper is not functional. It was “frozen” in the closed position and I was unable to drain the tub. I recommend that a licensed plumbing contractor make the necessary repair.

The faucet at the tub was leaking and will require repair or replacement.

The spigots are below the rims of the fixtures at the tub and the sink. Under adverse circumstances this could result in a cross connection between the waste water and the potable water. This type of installation is no longer permitted. I recommend that the spigots and faucets be replaced with faucets and spigots that can be mounted above the rims of the fixtures for improved health safety. A licensed plumbing contractor is the appropriate tradesman.

NORTH WEST BEDROOM BATH

The surface of the tub is worn. It could be re-surfaced to extend its service somewhat. Such re-surfacing does not provide the length of service that can be expected from a new enamel surface on a cast iron tub.

It was also noted that a “cultured stone” deck has been placed on top of the tub on two sides. It is not well sloped, particularly at the right corner of the tub and it will hold standing water. The joints between the shower door and the deck are well caulked and no leaking was observed. I recommend that the caulking be well maintained and the deck be cleaned frequently.

The joints between the “cultured stone” and the top of the tub could be susceptible to leaking. The maintenance of high quality caulking at these joints might provide adequate protection.

The shower door is wire glass. It appears to be in good condition, but wire glass is no longer considered to provide an adequate safety glazing. I recommend that the door be replaced. Due to the conditions seen at the tub, deck and shower door, you might want to consider complete replacement of the tub.

MASTER BATH

The interior walls of the shower have been re-grouted. The work appears to be poorly done. There is a film of grout on the tiles and there are black discolorations in some of the grout joints. It might be possible to clean and again re-grout the shower. Consult a licensed tile contractor regarding improvement of the existing tile.

The shower door is wire glass. It appears to be in good condition, but wire glass is no longer considered to provide an adequate safety glazing. I recommend that the door be replaced.

The original faucet and the body spray shower heads are no longer functional.

The tub stopper is not properly functional.

BEDROOMS

The smoke alarms in the bedrooms and the hall to the maid's rooms are the type that is served by a private security system. It is unknown if they will operate if the alarm system is not in service. I recommend asking the owner or the company that services the security system if these devices will operate when the security system is not in use. I recommend that alarms be in place that will operate regardless of whether the security system is in operation.

The door to the upstairs east bedroom closet sticks slightly at the head. It will require minor trimming and re-fitting. The doors from the hall to the east bedroom and the door from the bedroom to the bathroom do not latch. The conditions indicate some relatively minor differential settlement. In my opinion, it is of little consequence. A finish carpenter or a handyman is the appropriate tradesman to make the minor repairs.

The hardware for the window at the south east corner of the upstairs east bedroom is damaged and will require minor repair. The handyman is the appropriate tradesman.

The paint on the ceiling of the east bedroom is "crazed." There are many small cracks in the surface. The ceiling in the adjacent sewing room is similar. I could not determine the cause of the condition with certainty. In my opinion, it is probably due to an application defect. I recommend that the damaged paint be removed and the ceilings be re-painted.

Floor squeaks were heard in the master bedroom. Although this is not uncommon in older wood frame houses, this condition is quite loud and the floor feels somewhat soft underfoot. Correction will require opening of the floor and/or the ceiling below to examine the area and make any necessary repairs.

The light in the master bedroom dressing closet is not functional. The switch appears to be damaged. I recommend that a licensed electrical contractor examine the circuit and make any necessary repairs.

The windows in the maid's bedrooms do not meet modern standards for emergency exit. Both windows are covered with steel bars. This presents a potential hazard and I recommend that the bars be removed or that bars equipped with safety release mechanisms be installed. The rooms should not be used as sleeping quarters until the conditions are corrected.

STAIRS / HALL

See BEDROOMS notes above regarding the smoke alarms.

The guardrail has spaces between the intermediate members that are slightly wider than the modern standard of 4". Wide spacing can be hazardous to small children and I recommend that additional barriers be installed if small children are to be present.

LIVING AREAS

The bi-fold doors between the gallery and the dining room do not fit the openings. They are obviously intended as decorative elements, but could be trimmed and re-fitted. The bi-fold doors on the south side of the living room fireplace are obstructed by carpet and could not be operated. They, too, could be trimmed to fit the opening.

It was reported that the sliding glass doors to the exterior from the family room are not properly functional. They were not tested. There are licensed contractors that specialize in the repair of sliding doors and windows.

LIVING AREAS

A window on the south side of the living room has been boarded over. The louvres on the exterior of the window are nailed shut and the window could not be inspected.

There is minor water damage on the family room wall above the doors at the south side of the fireplace. The Realtor representing the seller reported past water stains at the location. This is below an intersection of several elements, including French doors and a steel balcony at the master bedroom, the transition between the upper wall and the roof over the family room and the chimney for the living room fireplace. I could not identify the source of the water intrusion with certainty. It was noted that the threshold on the exterior of the French doors in the master bedroom has been caulked at the joints to the door frame and wall. This appears to have been done in response to the condition, but it is uncertain as to whether it was effective. The most practical approach to correction might be to observe the area during a period of heavy rain in order to more accurately determine the source. The area could be water tested, but this can be costly and can also be inconclusive unless the testing is professionally done and carefully controlled.



PHOTO: The joints at the threshold of the doors at the master bedroom have been caulked.

FIREPLACES & CHIMNEYS

The fireplaces and chimneys are masonry constructions. I did not have access to the tops of the chimneys. I do not walk on tile roofs to avoid damage and the chimneys are too tall for my tallest ladder (22').

Due to the limited access and the limited scope of the fireplace inspection during a routine home inspection, you may want to have a qualified chimney expert perform a more detailed analysis of the fireplaces and chimneys. It was reported that such an investigation is scheduled. Consult that specialist for greater expertise regarding the condition of the fireplaces and chimneys. Below are my findings.

FIREPLACES & CHIMNEYS

The flues have soot deposits. I recommend that the chimneys be swept before being used extensively.

The fireplaces are not equipped with dampers. This may not have been required when this house was built, but it will result in some energy inefficiency. Installing dampers or placing glass doors on such fireplaces can improve energy efficiency. However, both fireplaces have “gas logs” in place. When a “gas log” is used, a device to hold the damper open is required. As such, energy efficiency would be compromised. If the “gas logs” are to remain in service, the installation of glass doors would be preferred to improve energy efficiency.

A palm tree is in close proximity to the chimney of the den fireplace. It is my understanding that fire officials require the vegetation to be kept cut back from the top of a chimney by a minimum of 10’.



PHOTO: A palm tree is too close to the top of the den fireplace chimney.

ATTICS

Access to the upper attic was obstructed by the air conditioning and ducting. The attic was inspected from vantage points that were readily accessible. This did not provide a close view of most areas. The attic over the east wing was not accessible and the area over the master bedroom was not accessible. The lower attic was more readily accessible.

The attics were inspected by entering the accessible areas to the upper attic via the attic access hatches in the master bedroom closet and the nearby hall closet, and the lower attic via the access hatch in the garage. The roof structure is a conventional wood frame construction. The insulation in the upper area is blown in fiberglass. There is no insulation in the lower attic. Energy efficiency would be improved with the addition of insulation.

Evidence of termite activity was seen in the lower attic. A pest inspector was at the site during this inspection. Consult that expert regarding the possible presence of termites or other wood destroying organisms.

ATTICS

Although the inspection for rodents and other pests is not included in the scope of this inspection, evidence of rodent activity was seen in both areas.

Water stains were seen on the framing members in a few areas. A bucket was seen below one of the stains in the lower attic. These stains are permanent and do not always indicate that roof leaks are active. See ROOF notes below.



PHOTO: A view of the upper attic, looking north from the hall access hatch.



PHOTO: This water stain and the bucket below it were found in the lower attic, above the laundry.

GARAGE

Storage obstructed some areas and not all areas could be fully inspected.

There is water damage at the south east corner of the garage. It is adjacent to an area where drainage appears to be obstructed. The condition appears to be active and will require repair. See GROUNDS notes below regarding the site drainage conditions.

The passage door to the back yard has been taken out of service. The exterior wall around the door has been patched. It may have been double doors at one time. I recommend asking the owner about the patch.

The west vehicle door was padlocked and could not be tested. I recommend that it be demonstrated at a mutually convenient time.

The paint on the ceiling is peeling. Although I could not determine the cause of the condition with certainty, it is my opinion that it is due to a poor application of the paint. I recommend that the paint be removed and the ceiling re-painted.

The fire separation barrier between the garage and the habitable areas is breached by the attic access hatch. It is not a fire rated hatch. The door to the habitable areas is also not a fire rated door and is not equipped with a closer mechanism. It is my understanding that fire separation standards were required when this house was built, but such standards may have been less strictly enforced. The conditions appear to be original construction. The fire separation barrier could be improved with the installation of a fire rated hatch cover at the attic access hatch and the installation of a fire rated door, equipped with a closer mechanism. Alternatively, the door could be clad with 26 Ga. sheet metal and equipped with a closer mechanism.



PHOTO: The south east corner of the garage is water damaged.

GROUNDS AND EXTERIORS

DECKS

There is a steel balcony at the east side of the master bedroom. It feels sturdy underfoot. There is evidence of possible leaking in the family room below the balcony. See LIVING AREAS notes above.

The balcony floor at the master bedroom and the rails at all of the balconies are rusting. They will require rust treatment and painting.

The concrete deck at the north west bedroom balcony is also rusting. The concrete is “spalling” due to the rusting. Although the balcony felt sturdy, it will continue to deteriorate. Replacement will eventually be necessary. I am not qualified to make a prediction regarding the continued service of the balcony. In my opinion, it should be replaced or should be taken out of service. If it is to remain in place, I recommend that the doors be secured to prevent access.

The floor of the east bedroom balcony is a roofing material called “modified bitumen.” It is a suitable material for a flat roof. If the balcony is to receive frequent activity, the surface will provide only relatively short service.

The guardrails at the balconies have spaces between the intermediate members that are wider than the modern standard of 4”. Wide spacing can be hazardous to small children and I recommend that additional barriers be installed if small children are to be present. The overgrowth of plants on the balcony at the east bedroom would, of course, prevent passage of a child through the rails.



PHOTO: The concrete balcony at the north west bedroom is damaged.

GROUNDS

There is a potting shed at the back of the property. It is considered to be an auxiliary structure and is not included in the scope of this inspection. It was not inspected.

The property is adjacent to a golf course. The swimming pool and habitable areas are distant from the course of play. However, errant golf shots can travel long distances and fly at remarkably unintended angles. In my opinion, this property could be susceptible to errant golf shots. You may want to consult the owner regarding the frequency of such events.

The soils in this geographic area are generally expansive. In such soils conditions, good site drainage is critical. I recommend that a good drainage system be maintained at all times. This would include properly sloped grade conditions and a complete system of roof and area drains to conduct the drainage away from the property. Due to the conditions seen, further examination of the property by a qualified site drainage expert is recommended.

The house is equipped with roof gutters. They drain to sub surface drains. They appear to be old and the adequacy of the sub surface drainage system could not be determined. The drain at the south west corner is separated and will require repair. There is an area drain near the south east corner of the family room. Water was introduced into the area drain and it drained readily to the street.

There are planters on all sides of the house that appear to restrict drainage. See GARAGE notes above. There is also evidence of past sub floor moisture. Although a full inspection of the sub floor area was not possible (See FOUNDATION notes below.) the condition of the visible area below the east end of the house suggests past excessive moisture. Consult the recommended site drainage specialist for further recommendations.

The grade at several of the planter areas on the south and west sides of the house appears to be too high. This can promote termite activity, damage by other wood destroying organisms or possible water intrusion. I recommend that the grade elevations be carefully checked by the site drainage expert and corrected as necessary.

The grounds are somewhat overgrown. There are several trees and other vegetation growing close to the house. The trees have damaged the roof at a few locations. The vegetation in the planters restricts ventilation at some areas and may restrict drainage. Also see FIREPLACES & CHIMNEYS notes above regarding the close growth of a palm tree adjacent to the chimney for the den fireplace. I recommend that the plants be cut back.

Many of the fences are overgrown and could not be observed. There are wood fences at the east side of the property that are significantly deteriorated. Replacement will be necessary in the near future.

GROUNDS



PHOTO: The cracked earth is an indication of expansive soils and past excessive moisture. Also note the damaged “field wrap” on the gas line in the left of the photo. See PLUMBING SYSTEMS notes below.



PHOTO: This separated drain will contribute to the adverse site drainage conditions.

POOL

The steps from the courtyard to the pool deck and the steps from the pool deck to the kitchen are uneven. The conditions could present tripping hazards. Correction would require replacement of the steps.

The pool deck is damaged at the skimmer. I could not determine the cause of this unusual condition, but assume that it is related to the installation of the skimmer. It may be due to leaking at the skimmer. It appears that the deck could be cut and patched at this location. Consult a licensed pool contractor for further recommendations.

The body of the pool is aged. It will require re-surfacing in the near future. Consult a licensed pool contractor for further recommendations.

The area does not have adequate security. Lack of adequate security can be hazardous to adventurous small children. The gates at the side yards are not self closing and self latching. In addition, they open in toward the pool. Modern standards require that gates to pool yards open away from the pool. I recommend that the gates to the property have functional closing and latching mechanisms to provide adequate security. You may also want to install additional security measures to prevent accidental access by children from within the house. It was noted that there is a string of barbed wire across the gate at the south side yard. It places taller individuals at risk. I bumped into the wire, but was fortunate to miss the barbs. It is hazardous and I recommend that it be removed.

The heater is located in a partially enclosed shed. The wood of the shed is distant from the heater and the area is well ventilated. However, I am uncertain as to whether the clearances are adequate. Consult the manufacturer of the appliance regarding the clearances required around this appliance. It was functional during the inspection.

The lights are not protected by a GFCI (Ground Fault Circuit Interrupter). This was not required when the pool was built. It is required when pools are built today and is a good safety improvement. I recommend that this system be improved with GFCI protection at the pool lights and the other electrical receptacles in close proximity to the pool.

There is a receptacle on a garden wall near the north west corner of the pool. It is missing its cover plate and is not protected by a GFCI. It presents a hazard. I recommend that it be replaced by the GFCI type and have a suitable cover installed.

The timer control at the equipment is missing the plastic shield that protects against direct contact with the "live" electrical inside the timer. It could be hazardous. In addition, the timer cover cannot be closed. I recommend that the timer be replaced, a low cost safety repair.

The equipment does not have a bonding conductor. A bonding conductor prevents the development of an electrical potential between metal or electrical components of the equipment and provides greater electrical system safety. I recommend that a licensed electrical contractor improve the bonding at this equipment.

There is an irrigation control in the pool equipment enclosure. It is wired with a long extension cord that is spliced near the control box. This is not an approved method of electrical installation. I recommend that a licensed electrical contractor make the necessary correction.

POOL



PHOTO: This receptacle has no cover and is not the GFCI type. It is a hazard at this location.

EXTERIORS

The exterior walls are of wood frame construction and are covered with stucco. The windows are the double hung, casement, louvre and fixed glass types. Some are made of wood and some are of aluminum.

The doors, windows and trim are in need of preparation and painting. The putty is deteriorated at many of the doors and windows. They will require re-puttying.

The vines growing on the structure will eventually do damage to the walls and roof. I recommend that they be kept to a minimum or be removed.

SYSTEMS

FOUNDATIONS

The foundations under the garage and family room are concrete slabs on grade. Much of this type of foundation cannot be observed within the scope of this limited visual inspection. The foundations appear to be stable and solid. All inspected items were found to be in normal condition.

The foundation under the rest of the house is a raised type foundation. The exterior walls are continuous concrete footings and foundation walls. The interior supports are provided by a combination of continuous foundation walls and piers, posts and beams. The presence of anchors; securing the wood frame to the foundation was noted. Access was restricted. There is a foundation access hatch at the stairs to the basement. It provides access below the den and, possibly, the living room. There is a hatch in the east maid's bedroom closet. It is assumed to provide access to the east sub floor areas below the dining room, kitchen and maid's wing. The clearance below a gas line at the west area is significantly less than the minimum modern standard. The clearance at the east access hatch is also significantly less than the minimum modern standard. I was unable to enter most of the sub floor areas. This did not provide an adequate view of the foundations or the systems in the areas. I recommend that access be improved and the sub floor areas be re-inspected.

It should be noted that the floors are generally level, within normal tolerances. This suggests that the foundation is performing well.

It was noted that foundation anchors have been added. The foundation in relation to the mudsill is offset. To accommodate the offset, the contractor that added the anchors placed wood block spacers between the anchors and the mudsills. It is my understanding that this compromises the effectiveness of the anchors. In my opinion, the presence of the anchors is an improvement for earthquake stability. However, the installation of foundation anchors designed to accommodate the offset condition would have been preferred. Consult a licensed structural engineer regarding the adequacy of the anchoring system as installed. It would be preferred that the sub floor access be improved prior to such an analysis, to permit a more comprehensive examination.'

There is some evidence of moisture penetration through the walls of the basement. Relatively minor water damage was observed at a few locations. In my opinion, the conditions are not severe. However, I recommend avoiding dry storage in the basement. Improvement of the site drainage conditions might reduce or arrest future water intrusion. In my opinion, additional corrections would be impractical.

There is a sump pump in the basement. It appears to be a precautionary measure. However, it is in use to remove the condensate drainage generated by the heating and air conditioning equipment. After running the air conditioning, the sump pump activated. However, it did not pump the water out of the sump. After a brief period, I disconnected the pump. It will require repair. A licensed plumbing contractor is the appropriate tradesman. I recommend that it be serviced annually to insure reliable performance.

Some of the form lumber is still in place. Consult the pest inspector regarding the presence of the lumber in direct contact with the earth. It is an invitation to termite activity.

FOUNDATIONS



PHOTO: This is the hatch in the east maid's room. The screwdriver was placed to provide scale.



PHOTO: This photo was taken "blind" from the hatch in the bedroom. It is looking east. Note the good condition of the concrete foundation wall. Also note the presence of the foundation anchor (directly behind the gas line in the center of the photo.)

FOUNDATIONS

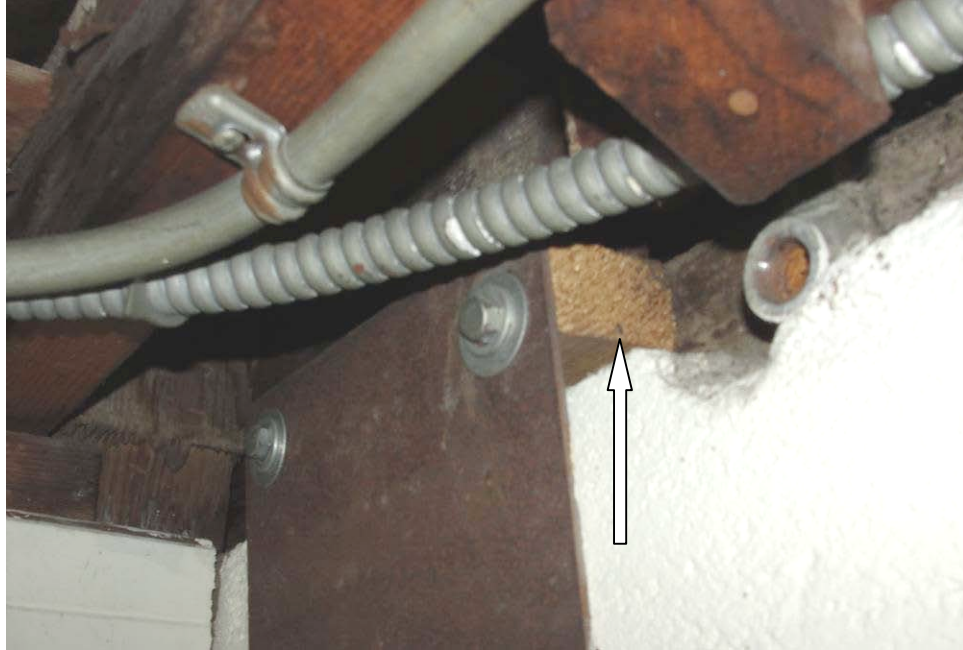


PHOTO: The foundation anchors are secured with wood blocks between the anchor and the mudsill.

ROOF

The hip and gable roof is covered with clay tiles. I do not walk on tile roofs to avoid damage to the tiles. This roof was inspected from a ladder placed at several locations around the perimeter and from the ground with binoculars. This did not provide a close view of all areas. Due to the limited access and the conditions seen, further examination of the roof by a licensed roofing contractor is recommended.

It appears that many of the tiles are not attached to the roof sheathing. This was not required when this house was built. Attachment of each tile to the sheathing is required in houses built today. It is my understanding that there was a period of time in which roofs were permitted to be replaced as they were originally installed. In my opinion, this presents some increased susceptibility to earthquake damage and the possible risk of injury from falling tiles.

There are broken tiles at several locations. Some of the damage appears to be due to contact with close growing vegetation. I recommend that the damaged tiles be replaced.

The hips and ridges are packed with mortar between the ridge tiles and the field tiles. However, the amount of mortar at some locations is minimal. It appears that these areas will be susceptible to water penetration below the mortar and directly onto the underlayment below the tiles. In my opinion, this could accelerate the deterioration of the roof.

There are water stains in the attics. They are permanent and the presence of active leaking could not be confirmed. A bucket was also seen in one area. The conditions raise the question regarding possible leaking.

ROOF

The roof is equipped with “blind” gutters at most locations. Due to the limited access, the general condition of the gutters could not be determined. Some of them are clogged with leaves and debris. The cleaning of the blind gutters will be problematic. Consult the roofing contractor for recommendations.

The sheet metal cap on the vent for the water heater has rusted through and fallen. It will require repair.



PHOTO: The tiles are not attached to the roof sheathing. This tile was moved to illustrate the condition and then carefully replaced.



PHOTO: This is the area on the east side of the lower roof. Note the many damaged tiles.

ROOF

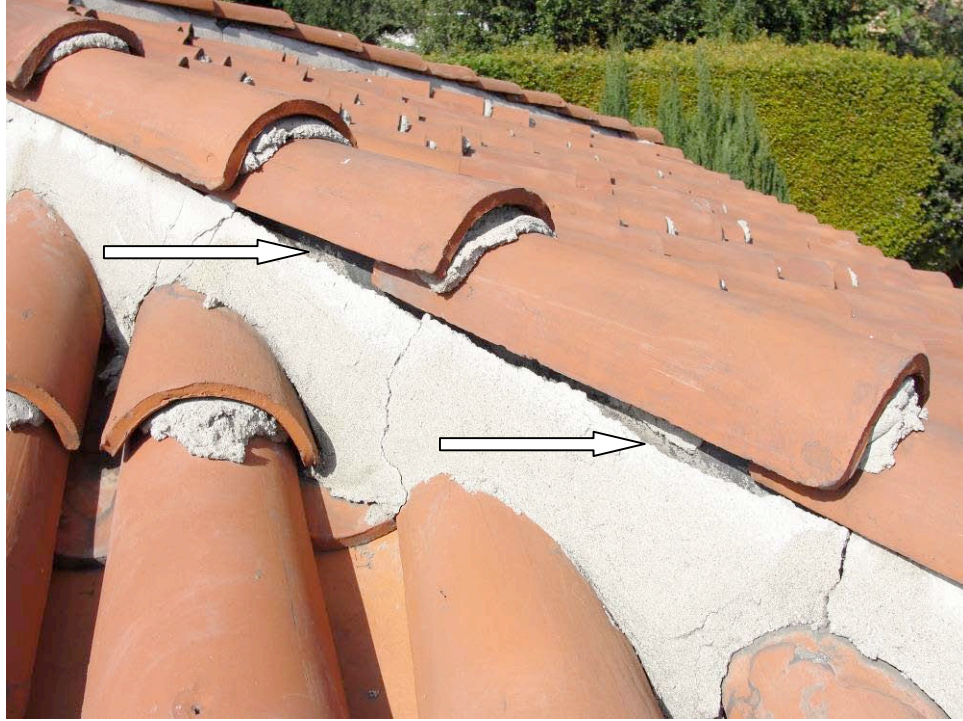


PHOTO: The mortar is thin at the hips and ridges. It appears susceptible to water penetration to the underlayment.



PHOTO: The blind gutters are clogged at some locations.

ELECTRICAL SYSTEM

The electricity is supplied by an underground service to a main panel that is wired for 240 volts and 150 amps. The main panel and system shut-off is located on the north side of the laundry room. There are sub panels located beside the main panel, in the laundry room and at the top of the stairs to the basement. The overload protection is provided by a combination of circuit breakers and fuses. Due to the conditions seen, further examination of the electrical system by a licensed electrical contractor is recommended.

Although accurate load calculations are beyond the scope of this inspection, this service appears to be in use at or near its maximum capacity. If significant additional electrical demand is placed on the system, the main panel may have to be upgraded. Consult the electrical contractor for an accurate analysis (load schedule) of the system.

The sub panel adjacent to the main panel is a type that is controversial. Some experts are of the opinion that these panels and the circuit breakers in them are defective. Those experts state that there are too many occasions when the circuit breakers do not trip under fault conditions. They also state that there are certain other design flaws. Consult the recommended electrical contractor regarding the advisability of replacing this panel. It was also noted that the panel is missing its "dead front cover." If the panel is to remain in service, I recommend that a suitable dead front cover be installed.

The main panel is not equipped with a dead front. However, it has a disconnecting means that can be shut off without opening the panel. It could be padlocked to prevent accidental contact and still provide ready access for emergency shut.

The panels in the laundry room and at the top of the basement stairs appear to have been field altered. They appear to be older fuse panels, from which the fuse blocks have been removed and terminal bars for circuit breakers have been installed. In my opinion, they are questionable installations. Consult the recommended electrical contractor regarding these panels.

There are three circuit breakers in the laundry panel that are wired with wire that appears to be too small. If the requirements of the circuits will permit replacement of the circuit breakers with smaller circuit breakers this is a minimal repair. If larger wires must be installed to satisfy the needs of the circuits, greater expense will be incurred.

When this house was built, fewer receptacles were considered to be necessary. The number of receptacles in some locations is minimal.

Some of the system appears to be "knob and tube" wiring. Circuits of "knob and tube" wiring were encountered in the attic above the maid's rooms and in the sub floor area below the den. I could not determine if they are still in service. They were tested with a voltage detector and it indicated that they were not "live" during the inspection. However, it is possible that switches could be activated that would energize the circuits. Consult the electrical contractor for further recommendations regarding this wiring.

One grounding conductor and the "neutral" conductors are connected to the same bar in the sub panel at the laundry. It is my understanding that the "neutral" and ground should be isolated in a sub panel.

Ground Fault Circuit Interrupters (GFCI's) were not in place at any of the locations required in modern residential electrical systems. Today, they are generally required at kitchen counters, laundry sinks, wet bars, bathrooms, exteriors, garages, basements, pool and spa lights, and around pools, spas and hydromassage tubs. This was not required when this house was built. GFCI's are very sensitive and provide extra protection from electrical shock. I recommend this low cost safety improvement.

ELECTRICAL SYSTEM

Much of the wiring is cloth insulated wiring. This old fashioned wiring is susceptible to deterioration and eventual failure of the insulation. In my opinion, it can remain in service if there are no alterations to the circuits. If alterations are made, the circuit or circuits will probably have to be re-wired. Consult the electrical contractor for further recommendations.

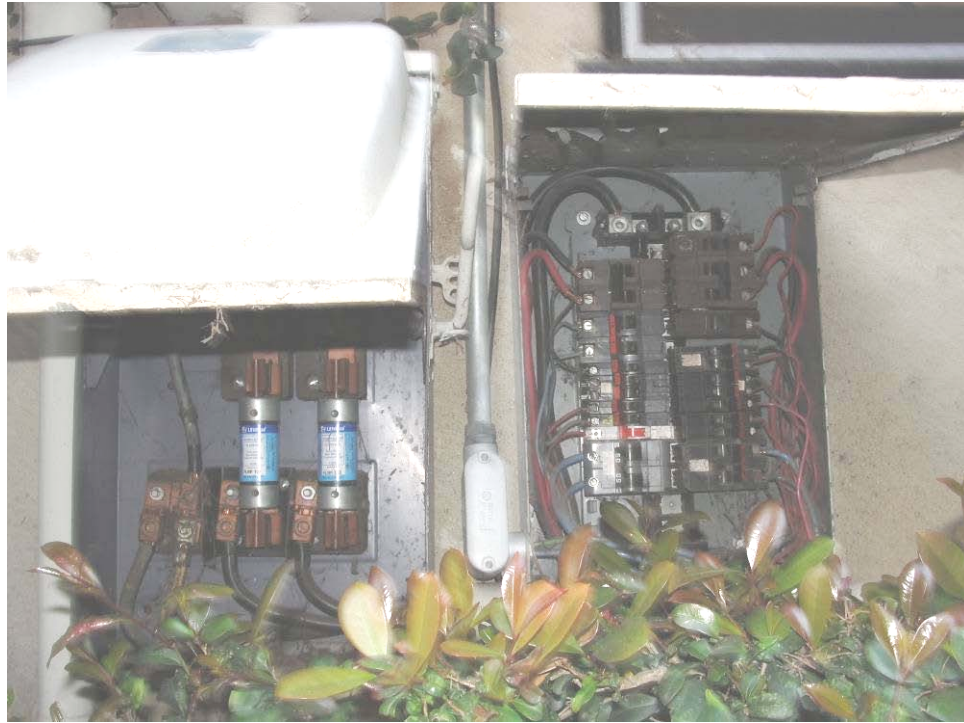


PHOTO: A view of the open main panel and the adjacent sub panel.



PHOTO: This is the panel in the laundry.

PLUMBING SYSTEMS

Due to the obstructed access to the sub floor area and some of the attic areas, not all of the plumbing lines could be inspected.

The water supply is provided by a public utility. The main water shut-off valve is located at the south west corner. (Shut-off valves are not operated to avoid the possibility of creating a leak at a little used valve.) The house system is copper pipe. All inspected items were found to be in normal condition.

The waste disposal system is assumed to be provided by public sewers. The visible drainage system is a combination of cast iron and galvanized pipe. Not enough of the waste system was accessible to evaluate its condition. I recommend that the sub floor area be made accessible and the plumbing waste system be re-inspected.

Inspection of the sewer is not included in the scope of this inspection. I recommend that a licensed plumbing contractor clean and video scope the sewer line and make further recommendations.

The fuel gas is supplied by a public utility. The main shut-off is located at the north east corner near the north entry. The gas supply system is a combination of black iron and galvanized iron. The system is equipped with an earthquake shut off device. Not enough of the gas system was accessible to evaluate its condition. I recommend that the sub floor area be made accessible and the gas system be re-inspected.

There is a gas line in direct contact with the earth directly below the access hatch in the east maid's closet. The "field wrap" on the exterior of the pipe is damaged. It is unknown if this gas line remains in use. If it is still in service, I recommend that it be isolated from the contact with the earth or otherwise be better protected.

The main gas shut off valve is partially buried. I recommend that it be unearthed to make the valve readily accessible for emergency shut off.

The gas meter is located under the house near the shut off valve. The earthquake shut off valve is at this location. Access will be difficult. I recommend that the access hatch be cleared to permit ready access to re-set the earthquake device.

The "bleeder" line that is intended to exhaust gas if the diaphragm should leak has been pushed back under the house. It should extend to the exterior of the building. After the meter has been made more readily accessible, the condition can be corrected by a handyman.

WATER HEATER

The hot water is provided by a 75 gallon, gas-fired water heater located in the basement. All inspected items were found to be in normal condition, except:

See ROOF notes above regarding the damaged vent cap.

The supply plumbing is corroded at both sides. Active leaking was observed at the cold line. It will require repair. A licensed plumbing contractor is the appropriate tradesman.

HEATING & COOLING SYSTEMS

The heating and cooling for the downstairs main living area is provided by a gas fired furnace and split system forced air refrigeration unit. The furnace and the evaporator section of the air conditioning are located in the basement. The condenser is located on the north side of the house. The thermostat for the system is located in the family room. The heating capacity is 125,000 Btu. input. The cooling capacity is estimated to be 5 tons. All inspected items were found to be in normal condition, except:

The pad on which the condenser rests has been tilted by the growth of a tree. It is my understanding that the condenser should be relatively level. It is not. I am not qualified to determine whether the condition will have an adverse affect. I recommend that a licensed heating and air conditioning contractor examine the condition and make further recommendations.

There is rusting in the burner compartment. It appears to be due to condensed moisture leaking at a location that is not correct. Consult the heating and air conditioning contractor about the condition.

The exhaust and intake of the downstairs furnace are in close proximity to each other. It is my understanding that they should be isolated by approximately one foot. Consult the recommended heating and air conditioning contractor regarding correction of the condition. The repair would be low cost.

The heating for the maid's rooms is provided by direct vent wall furnaces. The gas was shut off at both appliances and they were not tested. It is my policy to not manually light any gas fired appliances. They appear to be relatively young and would be assumed to be in good condition. However, the vents are overgrown by vegetation. The conditions could be hazardous. Obstruction of the vents could result in a carbon monoxide hazard. I recommend that the vegetation be cut back to provide adequate clearances for the proper exhausting of the appliances. After the vegetation is cut back, I recommend that the Gas Co. be called to perform a routine safety check. It should be noted that there is no cooling system for the maid's wing.

The cooling for the upstairs is provided by a split system forced air refrigeration unit. The air handler is in the attic and the condenser is located on the east side of the building. The thermostat for the system is located in the master bedroom. The cooling capacity is estimated to be 5 tons. All inspected items were found to be in normal condition.

The heating for the upstairs is provided by two gravity furnaces that are located in the basement. The controls are located in the east bedroom for the east zone and the master bedroom for the west zone. There is a master control in the foyer. It can still control the east zone, but does not control the west zone. The capacity is estimated to be approximately 35,000 Btu. input for the east zone and 75,000 Btu. input for the west zone.

The equipment was functional during the inspection. It should be recognized that it is at or near the end of its normal service. In addition, it is also energy inefficient compared to more modern equipment. You may want to consider replacement. If it is to remain in service, I recommend that the furnaces be checked annually by a licensed heating and air conditioning contractor that is experienced in inspecting furnaces for damage to the fireboxes.

The heating system was served by ducts that were wrapped with a material that probably contains asbestos. Asbestos is a known carcinogen and is no longer permitted in materials that might be used in a residence. An asbestos abatement procedure appears to have been performed. The readily accessible ducts in the basement have been replaced with plastic ducts and an encapsulant has been applied to the ducts at the points of entry into the walls. This is a common procedure, based on the assumption that the ducts within the walls are intact. However, remodeling may result in additional exposure to asbestos and would require additional abatement procedures.

HEATING & COOLING SYSTEMS



PHOTO: The exhaust and intake of the downstairs furnace are close.

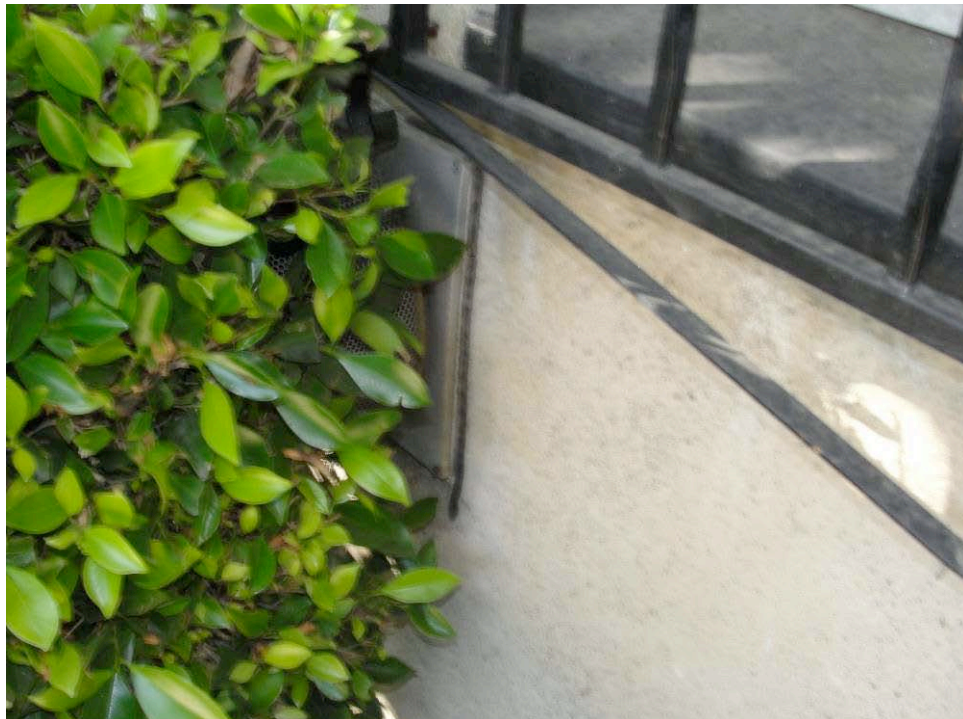


PHOTO: The vents for the maid's room's furnaces are overgrown.

DISTRIBUTION OF THIS REPORT

It is expected that this report will be delivered to other parties to the current real estate transaction. This report may not be assigned to a third party, which is not party to the current transaction, without my prior written consent. Any Assignments made to a third party without such prior written consent will result in no responsibility to any third party claims.

Thank you for letting me be of service to you. If you have any questions, now or in the future, please call me at (818) 865-0490.

Leslie DiFrancesca
General Contractor, License #321906
Member, American Society of Home Inspectors

APPENDIX E

PHOTOGRAPHS



MLS

























































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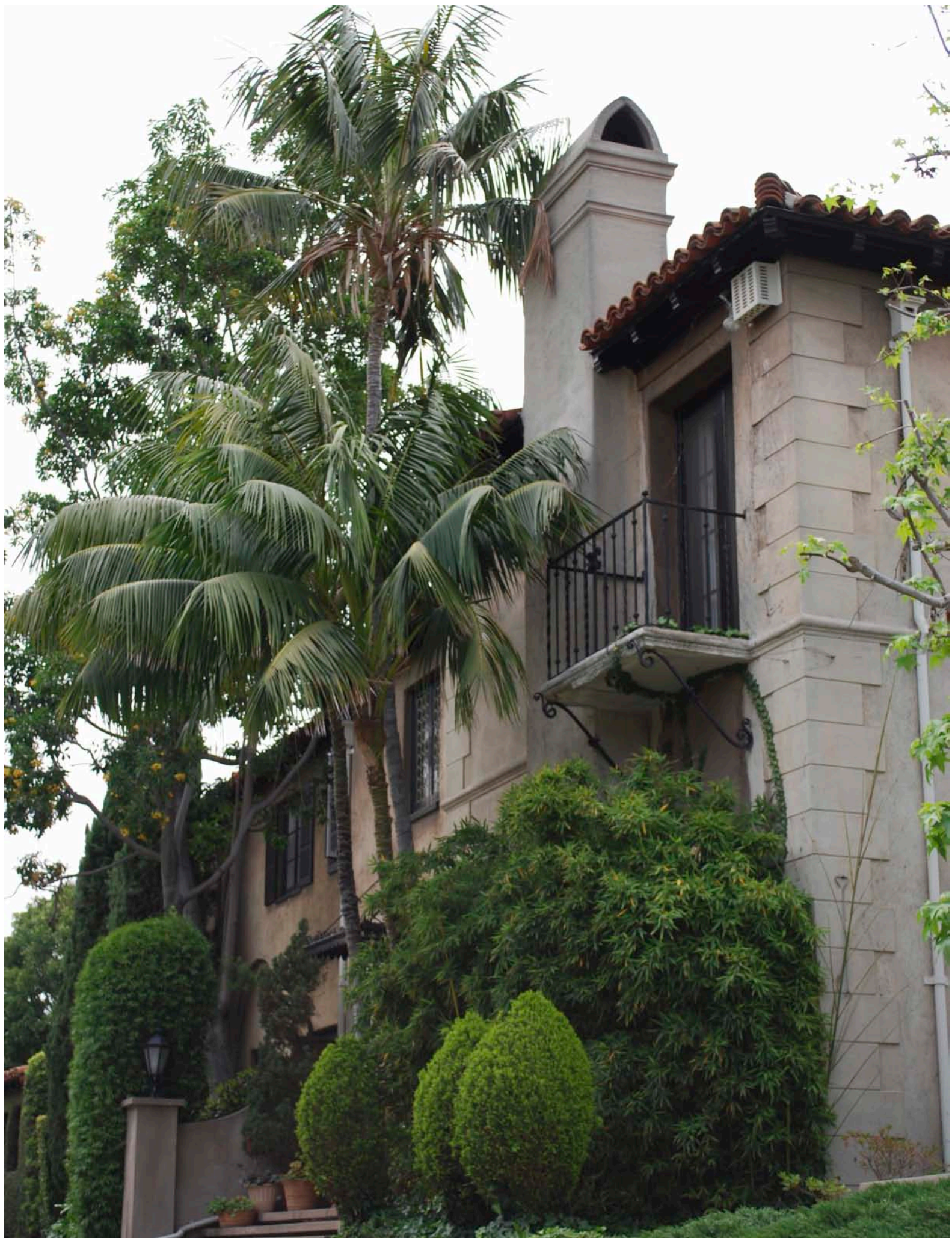


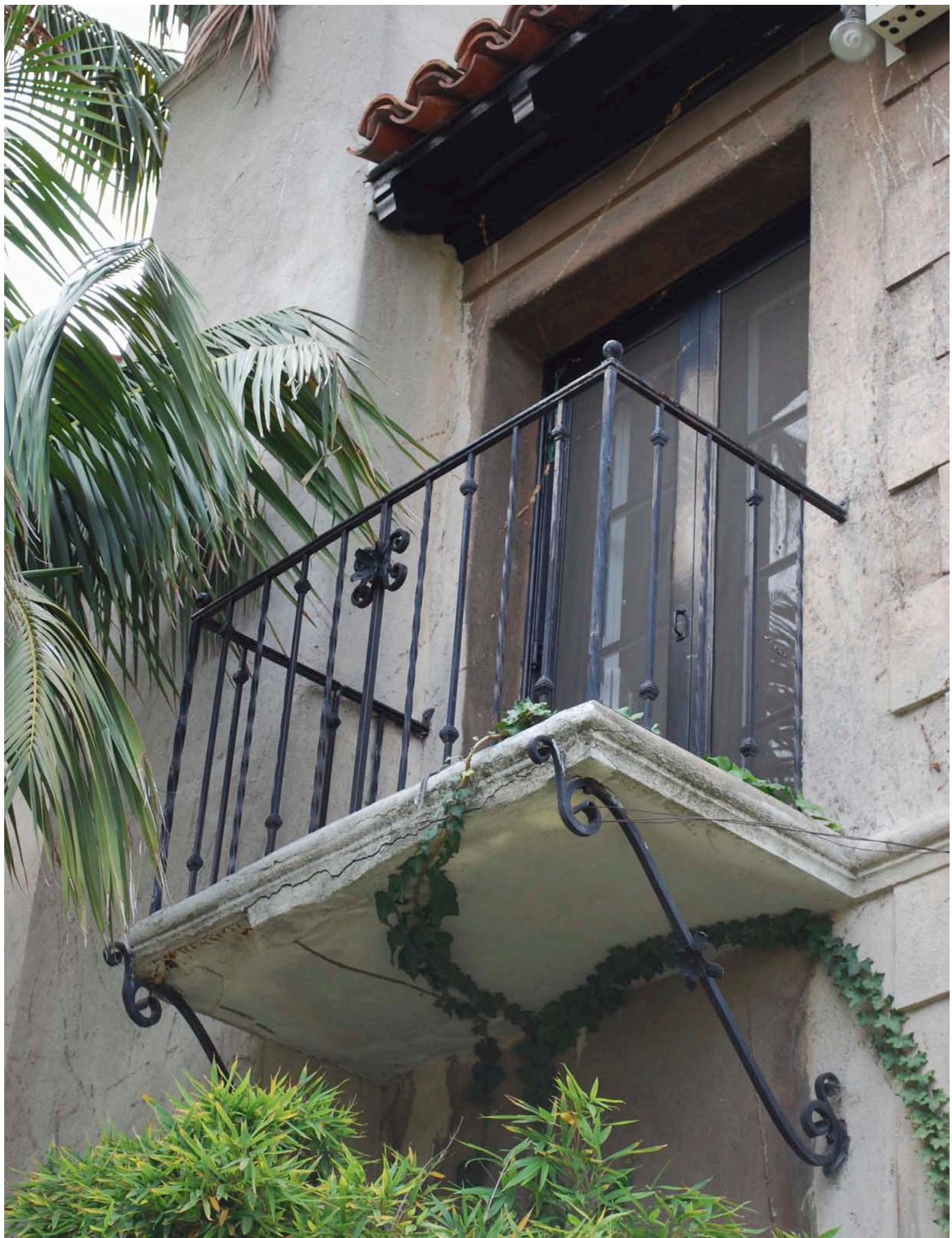




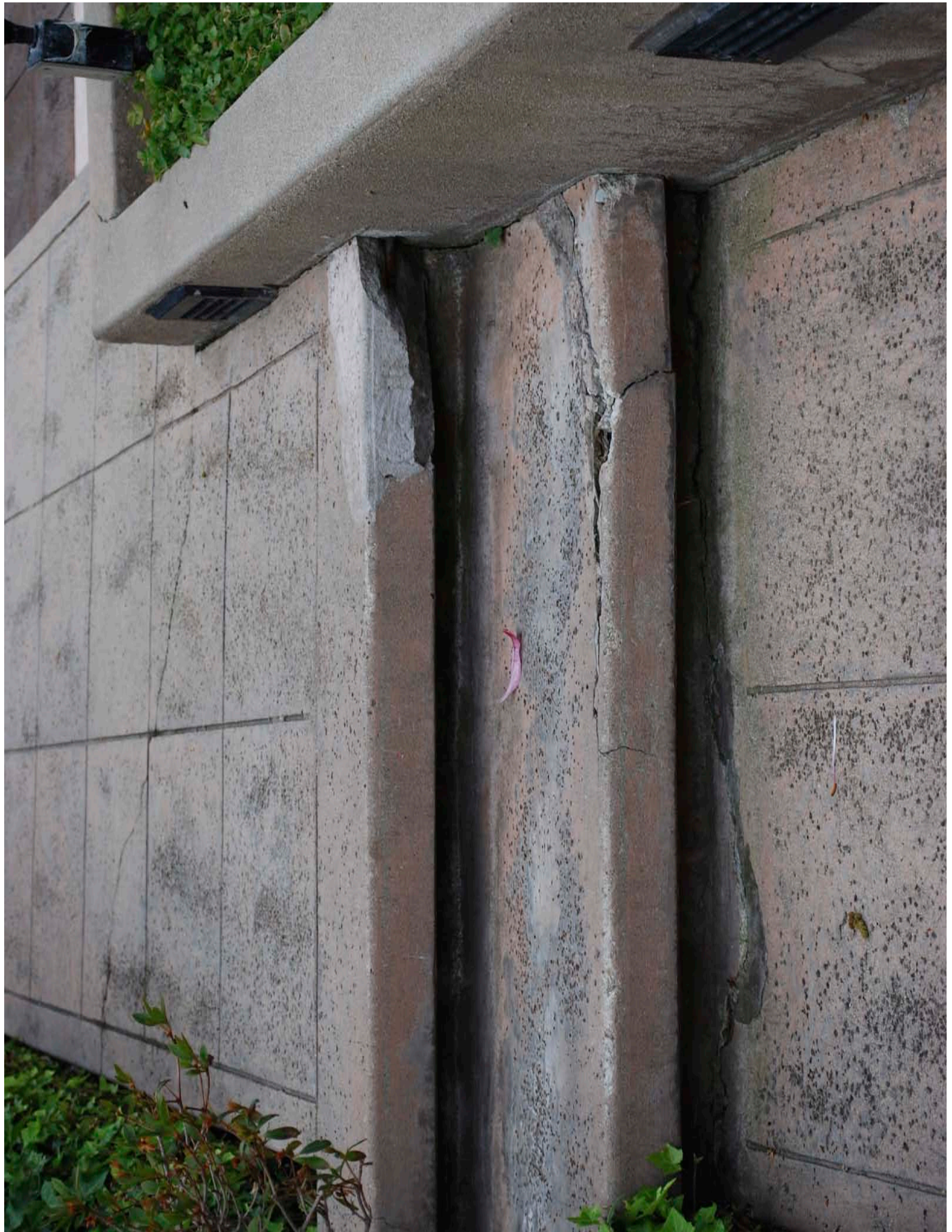
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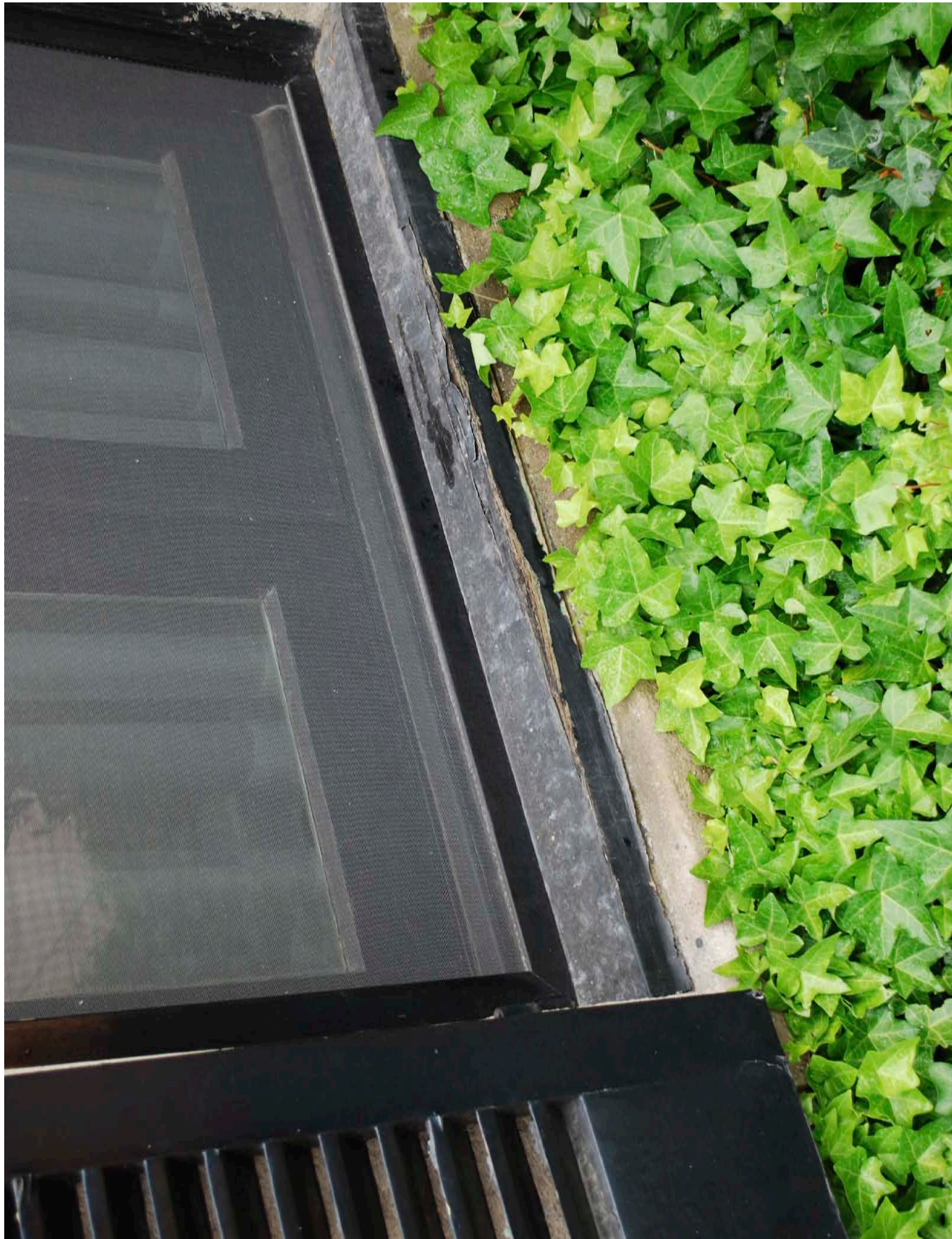










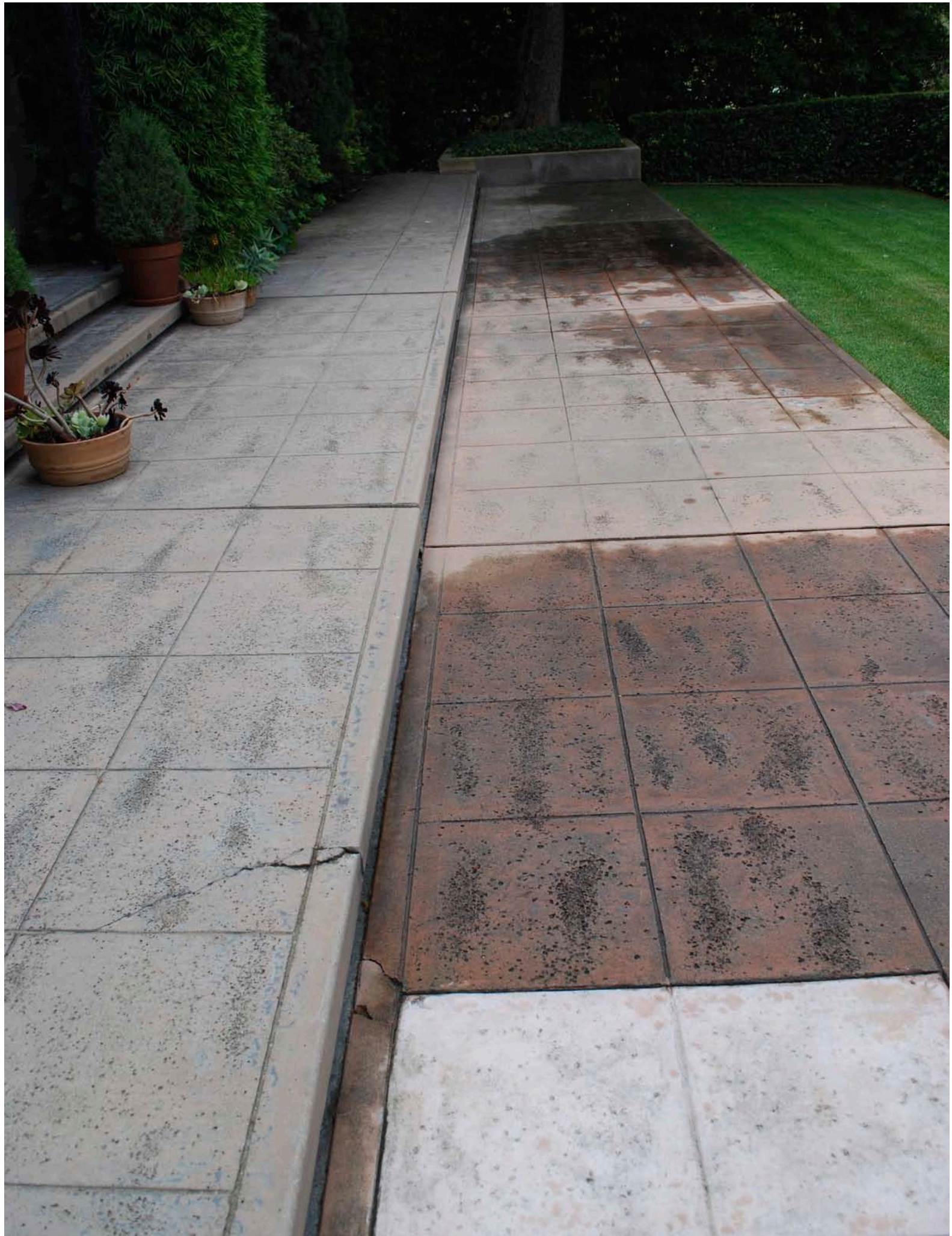






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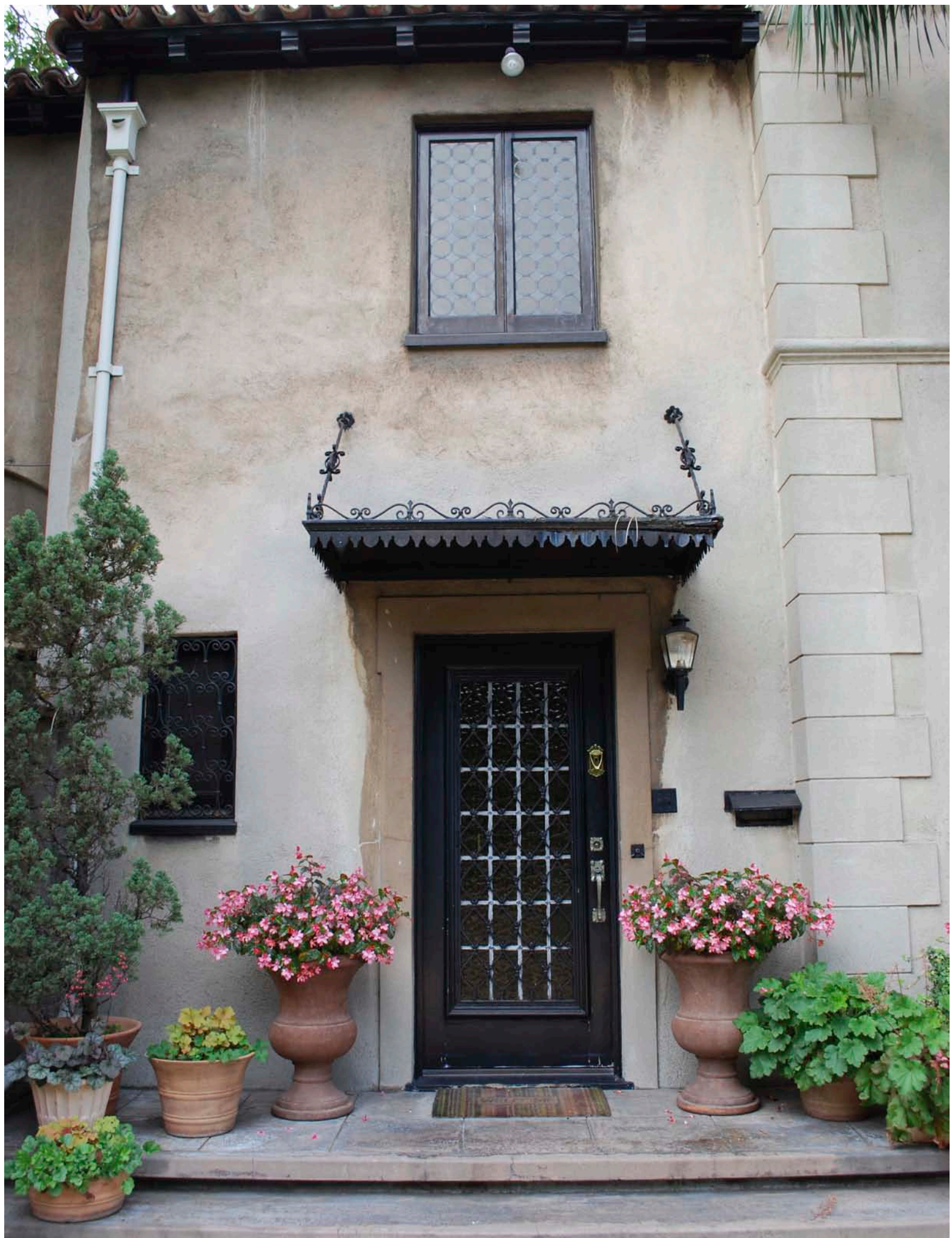


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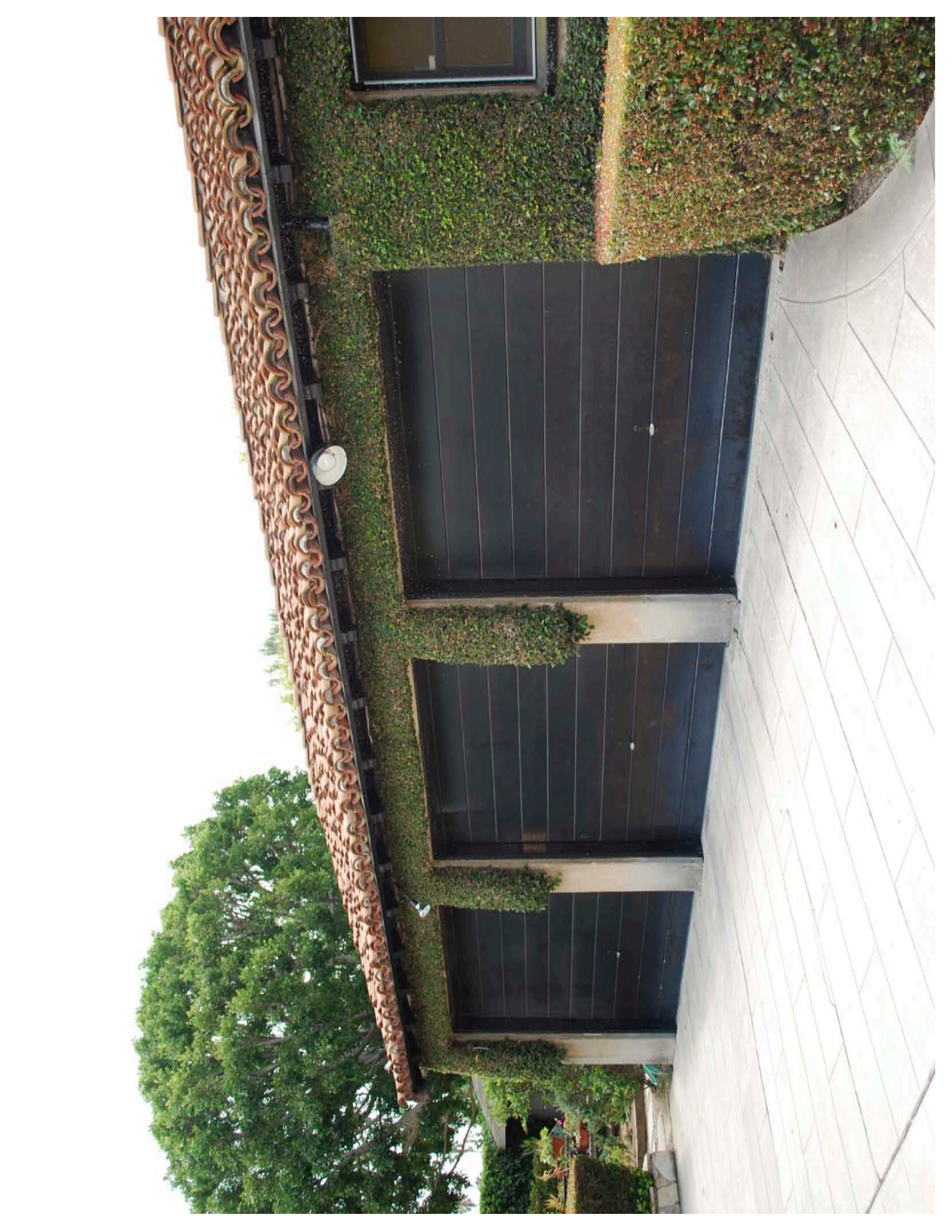
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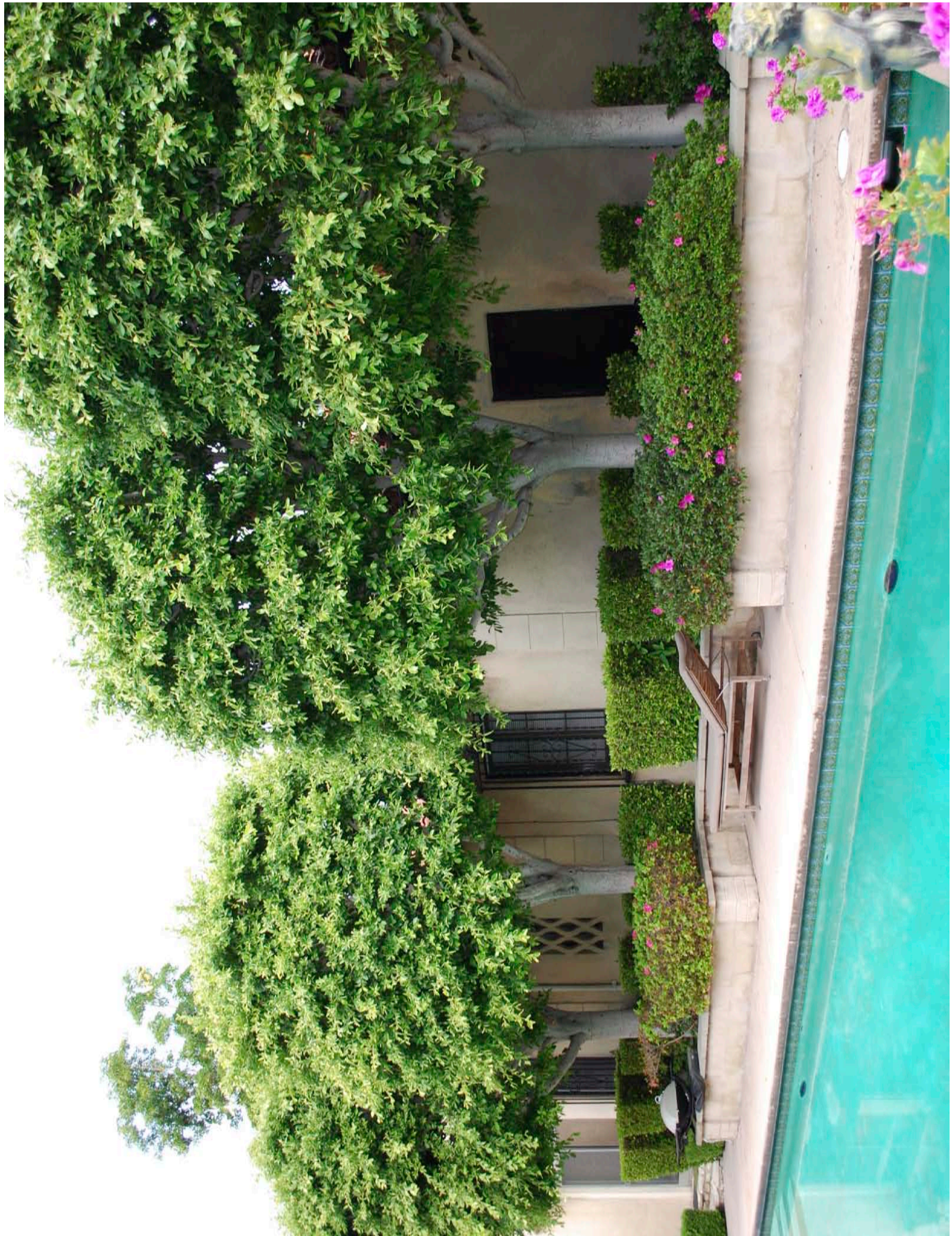


























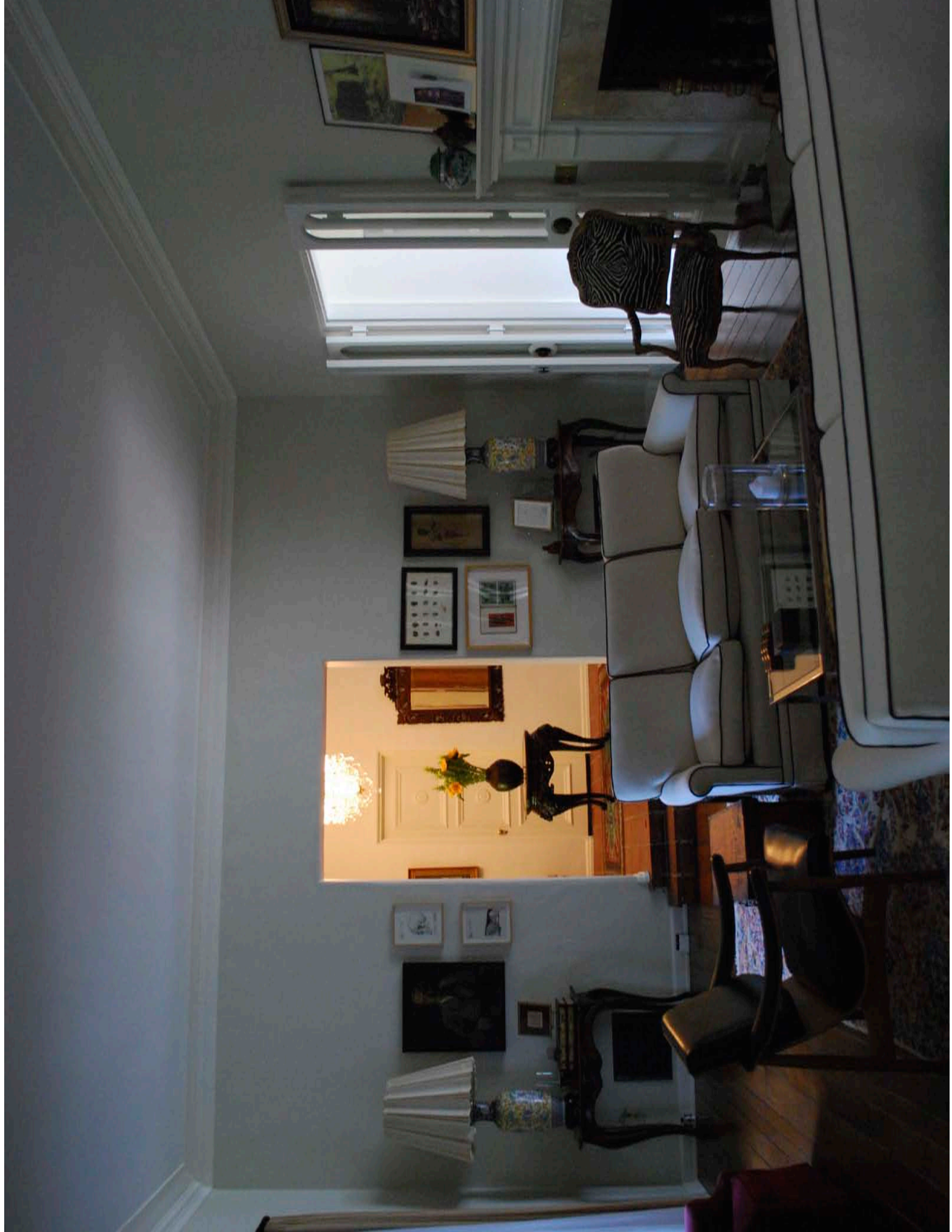


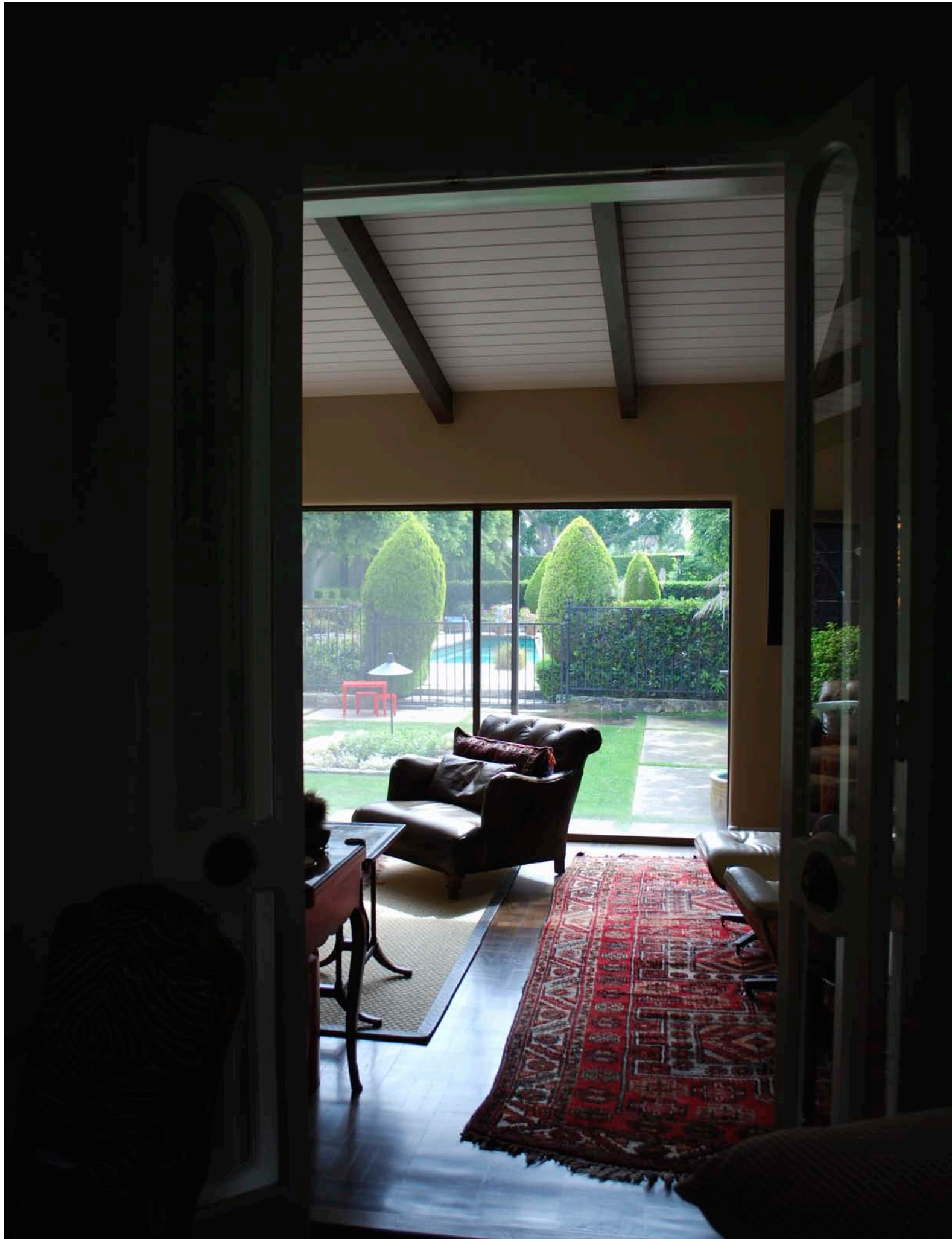












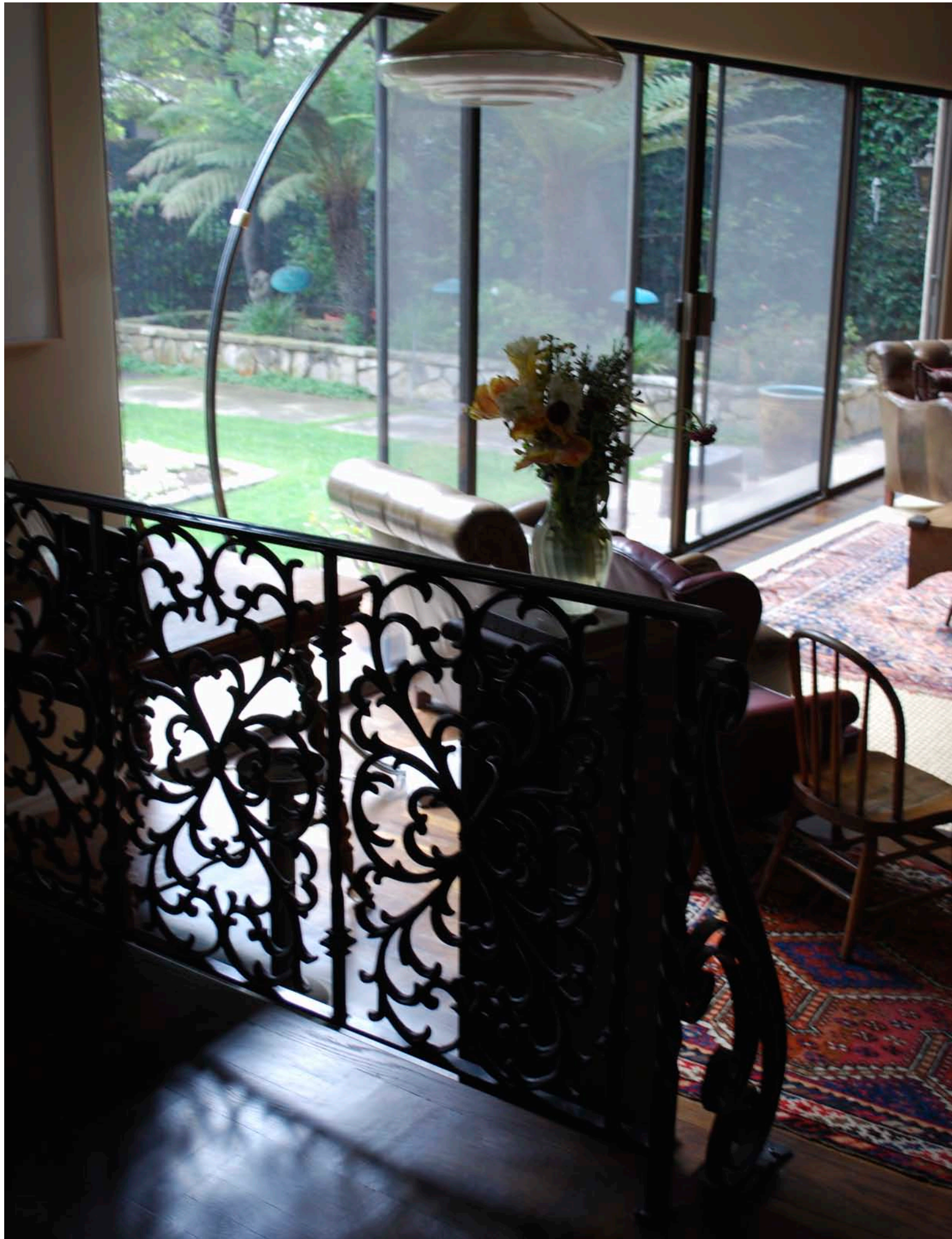








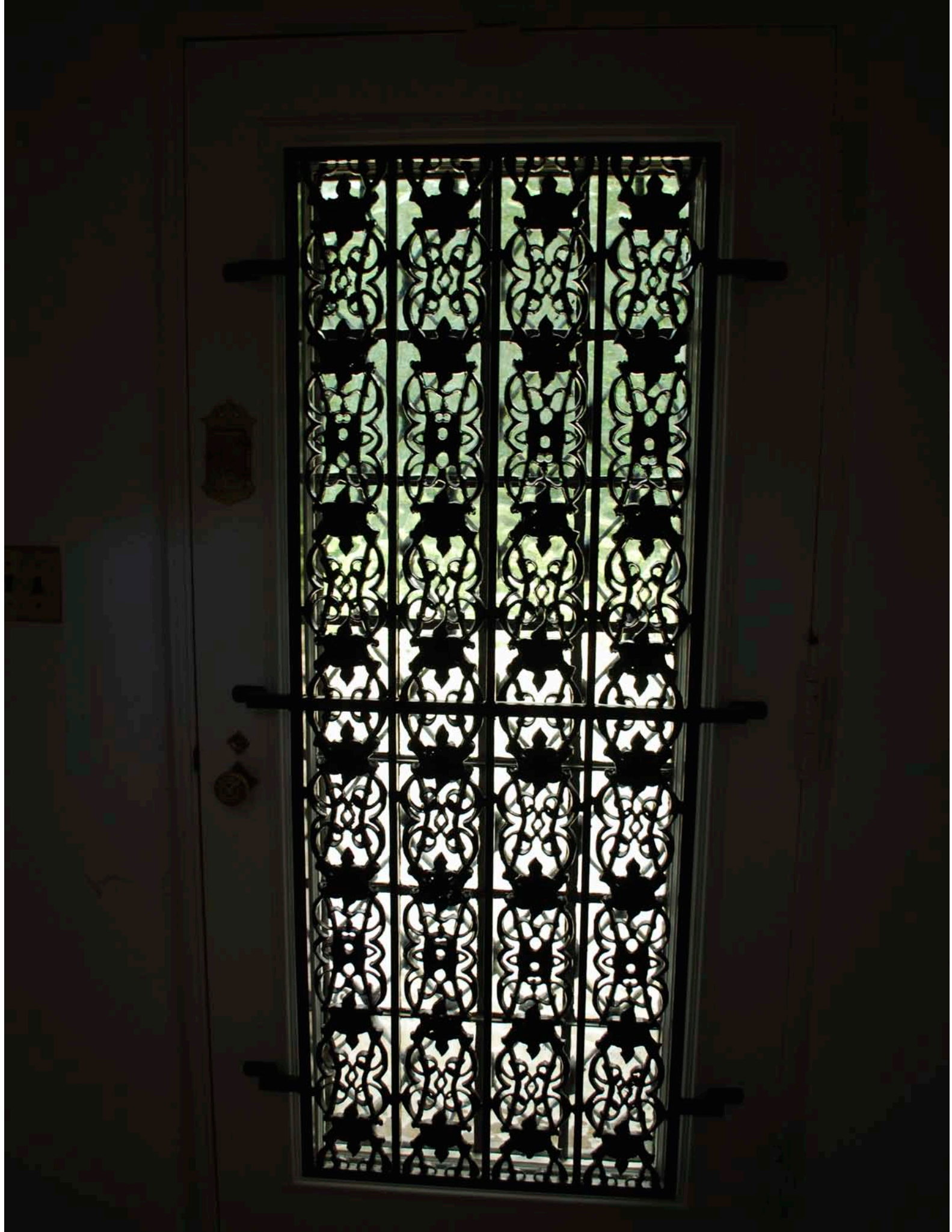




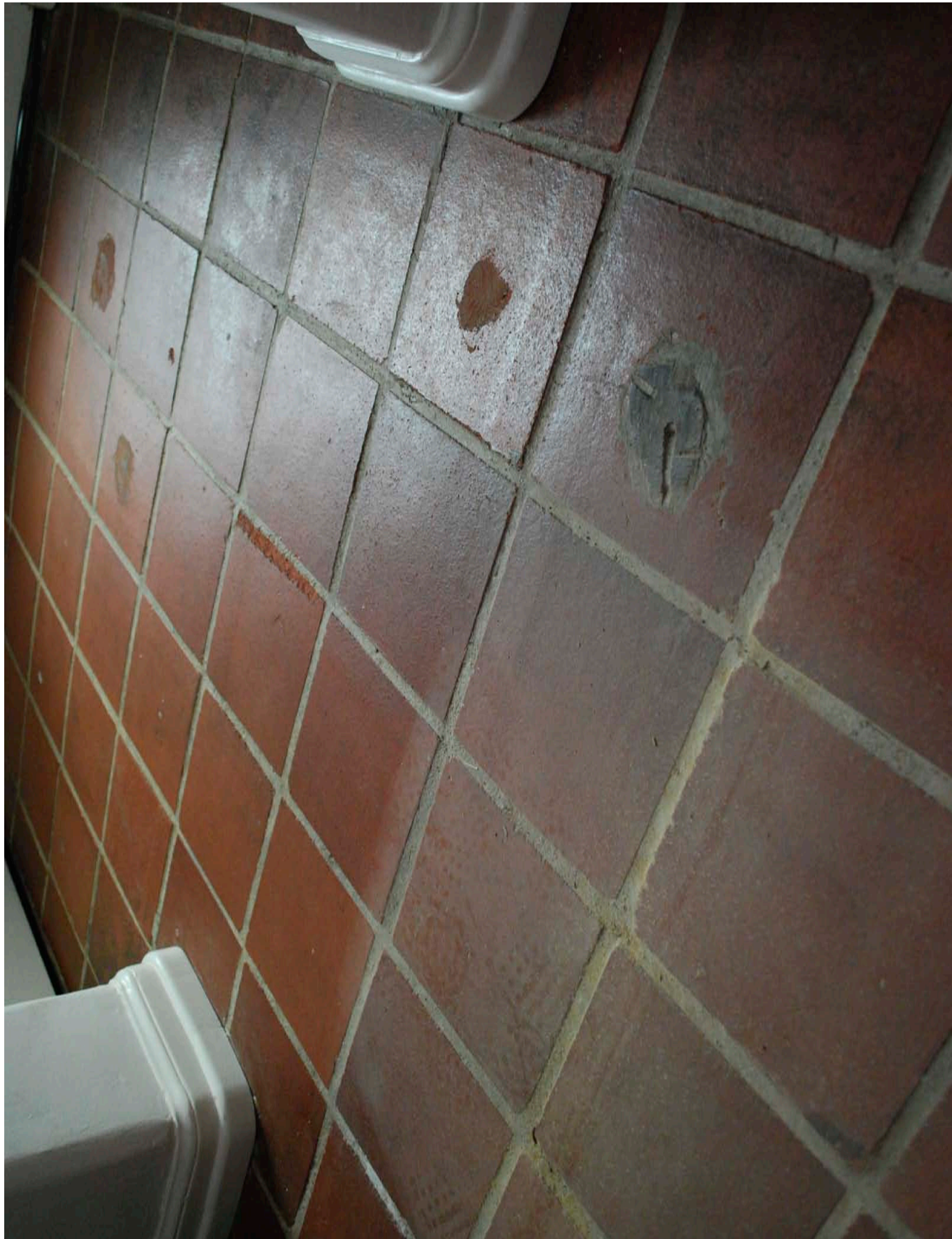




















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