

PLAYA DEL REY COMMERCE BUILDING

179 E. CULVER BLVD
CHC-2015-4258-HCM
ENV-2015-4259-CE

Agenda packet includes:

1. Staff Recommendation Report
2. Nomination
3. Report submitted by PCR Services Corporation

Please click on each document to be directly taken to the corresponding page of the PDF.

Los Angeles Department of City Planning

RECOMMENDATION REPORT

CULTURAL HERITAGE COMMISSION

CASE NO.: CHC-2015-4258-HCM
ENV-2015-4259-CE

HEARING DATE: December 3, 2015
TIME: 10:00 AM
PLACE: City Hall, Room 1010
200 N. Spring Street
Los Angeles, CA
90012

Location: 179 E. Culver Boulevard
Council District: 11
Community Plan Area: Westchester – Playa del Rey
Area Planning Commission: West
Neighborhood Council: Westchester – Playa del Rey
Legal Description: TR 1362 Lot FR 4 Block None
and Tract PM 2708 Lot A Block None

PROJECT: Historic-Cultural Monument Application for the
PLAYA DEL REY COMMERCE BUILDING

REQUEST: Declare the property a Historic-Cultural Monument

OWNER: 181 Culver Blvd. LLC
2951 Surfrider Avenue
Ventura, CA 93001

**APPLICANT/
PREPARER:** Thomas Lee McMahon
8207 Delgany Avenue
Los Angeles, CA 90293

RECOMMENDATION That the Cultural Heritage Commission:

1. **Not take the property under consideration** as a Historic-Cultural Monument per Los Angeles Administrative Code Chapter 9, Division 22, Article 1, Section 22.171.10 because the application and accompanying photo documentation do not suggest the submittal warrants further investigation.
2. **Adopt** the report findings.

MICHAEL J. LOGRANDE
Director of Planning

[SIGNED ORIGINAL IN FILE]

Ken Bernstein, AICP, Manager
Office of Historic Resources

[SIGNED ORIGINAL IN FILE]

Lambert M. Giessinger, Preservation Architect
Office of Historic Resources

[SIGNED ORIGINAL IN FILE]

Shannon Ryan, City Planning Associate
Office of Historic Resources

Attachments: Historic-Cultural Monument Application

SUMMARY

The Playa del Rey Commerce Building was constructed circa 1904 in Playa del Rey and is one of the oldest extant buildings from the original period of development of the beach community. However, the property has undergone numerous alterations and no longer retains integrity from the period in which it was developed.

Playa del Rey is part of what once was Rancho La Ballona. Joseph Mesmer inherited the land from his father Louis in 1900. Louis Mesmer had received the land in 1890 from Andrew Bristwaller, a friend of the Macahdo family that had been granted the land by Mexican Governor Alvarado in 1839. A colleague of Louis Mesmer, Moyer L. Wicks, originally attempted to establish a port in the area, struggled, and failed by 1889. The area languished for a time until Joseph Mesmer ground leased the land to the Beach Land Company (BLC), founded in 1902 to develop the area into a resort. On July 15, 1902 the resort community was announced as "Playa del Rey" or Beach of the King. The resort town benefited from being a hub of rail lines including the Santa Fe and then the Los Angeles Pacific. A pavilion was constructed along with a 200 room hotel, the Hotel Del Rey. The subject property is one of the few, if only, remaining structures from this period. The pavilion and hotel both were eventually destroyed by fires and by the 1920s the resort of Playa del Rey was no more; however, the name for the area would remain in use into today.

The original tenant of the Playa del Rey Commerce Building is unknown, but there was likely a commercial use such as a bank on the ground floor with apartment units above. Photos indicate that when first constructed the two-story brick building had some Italianate influences such as a pointed parapet and upper and lower cornices. Later photos indicate that these elements were removed, likely after the 1933 Long Beach Earthquake, and the building was significantly remodeled. The rectangular transom windows were removed and arched transom windows were added. The large plate glass storefront was replaced with a retractable wooden storefront and new signage was added. The ground floor became the Del Rey Co-Operative Market and operated from 1933-1966. It then housed a bar until 1974. Later alterations include the infilling of one of the second-story hung windows and removal of the retractable storefront in 1947. The storefront has undergone several iterations and today is mostly enclosed with the only glazing appearing on the entry doors. Today the property houses offices on both floors.

CRITERIA

The criterion is the Cultural Heritage Ordinance which defines a historical or cultural monument as any site (including significant trees or other plant life located thereon) building or structure of particular historic or cultural significance to the City of Los Angeles, such as historic structures or sites in which the broad cultural, economic, or social history of the nation, State or community is reflected or exemplified, or which are identified with historic personages or with important events in the main currents of national, State or local history or which embody the distinguishing characteristics of an architectural type specimen, inherently valuable for a study of a period style or method of construction, or a notable work of a master builder, designer or architect whose individual genius influenced his age.

DISCUSSION

While the subject property, the Playa del Rey Commerce Building, is one of the oldest buildings remaining from Playa del Rey's development as a resort destination in the early twentieth century, it no longer retains enough integrity to be associated with that period. When originally constructed the building had many Italianate detailings such as a pointed parapet and an upper and lower cornice. It also had late nineteenth century commercial elements such as rectangular transom windows and a plate glass dual bay storefront. The building today no longer retains these elements and lacks integrity to be associated with the 1904 period of significance. As such, the subject property is not reflective of the early development of Playa del Rey and does not exemplify the "broad cultural, economic, or social history of the nation, State or community."

Additionally, the subject property is not directly associated with any historic personages, is not the work of a master architect or builder, and is not a good example of an architectural style or method of construction. Therefore the Playa del Rey Commerce Building does not meet any of the criteria of the Cultural Heritage Ordinance.

Nearby designated Historic-Cultural Monuments include the 1922 Dickenson & Gillespie Building (HCM #955) and the two 1925 Playa del Rey Stone Pillars (HCM #1079). These examples retain integrity in material and design from the period in which they were built and are reflective of the second wave of development in Playa del Rey.

FINDINGS

Based on the facts set forth in the summary, discussion, and application, the Commission determines that the property is not significant enough to warrant further investigation as a potential Historic-Cultural Monument.

HISTORIC-CULTURAL MONUMENT NOMINATION FORM



1. PROPERTY IDENTIFICATION

Proposed Monument Name: Playa del Rey Commerce Building		Joseph Mesmer/Beach Land Co.	
Other Associated Names: Playa del Rey Bank, T.O. McCoy Co-Op Mkt., Shehady's, Chez del Rey, Mc			
Street Address: 179 Culver Boulevard		Zip: 90293	Council District: 11
Range of Addresses on Property: 179-181		Community Name: Playa del Rey	
Assessor Parcel Number: 4116-007-053	Tract: 8557	Block: 5	Lot: 13
Identification cont'd: Map Reference: M B 2-63/66 (SHTS 1-2), 096B149			
Proposed Monument Property Type:	<input checked="" type="radio"/> Building	<input type="radio"/> Structure	<input type="radio"/> Object
		<input type="radio"/> Site/Open Space	<input type="radio"/> Natural Feature
Describe any additional resources located on the property to be included in the nomination, here:			
Note: Playa del Rey Stone Pillar HCM1079 is immediately adjacent (10 feet).			

2. CONSTRUCTION HISTORY & CURRENT STATUS

Year built: 1904	<input checked="" type="radio"/> Factual <input type="radio"/> Estimated	Threatened? Private Development
Architect/Designer: Ehlers & Goersch	Contractor: Southern California Realty Company	
Original Use: Bank, Beach Land Co., RR, Postal, Commerce Offices	Present Use: Multimedia Studio, Offices	
Is the Proposed Monument on its Original Site?	<input checked="" type="radio"/> Yes <input type="radio"/> No (explain in section 7)	<input type="radio"/> Unknown (explain in section 7)

3. STYLE & MATERIALS

Architectural Style: Not Applicable - Structure		Stories: 2	Plan Shape: Rectangular
FEATURE	PRIMARY	SECONDARY	
CONSTRUCTION	Type: Brick	Type: Select	
CLADDING	Material: Brick	Material: Select	
ROOF	Type: Flat	Type: Select	
	Material: Rolled asphalt	Material: Select	
WINDOWS	Type: Double-hung	Type: Select	
	Material: Wood	Material: Select	
ENTRY	Style: Centered	Style: Corner	
DOOR	Type: Paneled, glazed	Type: Glass	

HISTORIC-CULTURAL MONUMENT NOMINATION FORM



4. ALTERATION HISTORY

List date and write a brief description of any major alterations or additions. This section may also be completed on a separate document. Include copies of permits in the nomination packet. Make sure to list any major alterations for which there are no permits, as well.	
	Description, Attached
	Significance, Attached
	Bibliography, Attached
	Historical & Contemporary Photos, Attached
	Newspaper Clippings & Historical Book excerpts, Attached
	ZIMAS, Cadastral, Assessor Log (1905-> 1912), County Clerk records - Attached
	Threats, Attached
	Summary, Attached

5. EXISTING HISTORIC RESOURCE IDENTIFICATION (if known)

<input type="checkbox"/> Listed in the National Register of Historic Places	
<input type="checkbox"/> Listed in the California Register of Historical Resources	
<input type="checkbox"/> Formally determined eligible for the National and/or California Registers	
<input type="checkbox"/> Located in an Historic Preservation Overlay Zone (HPOZ)	<input type="radio"/> Contributing feature <input type="radio"/> Non-contributing feature
<input type="checkbox"/> Determined eligible for national, state, or local landmark status by an historic resources survey(s)	Survey Name(s):
Other historical or cultural resource designations:	

6. APPLICABLE HISTORIC-CULTURAL MONUMENT CRITERIA

The proposed monument exemplifies the following Cultural Heritage Ordinance Criteria (Section 22.171.7):	
<input checked="" type="checkbox"/>	Reflects the broad cultural, economic, or social history of the nation, state, or community
<input checked="" type="checkbox"/>	Is identified with historic personages or with important events in the main currents of national, state, or local history
<input checked="" type="checkbox"/>	Embodies the distinguishing characteristics of an architectural-type specimen, inherently valuable for study of a period, style, or method of construction
<input type="checkbox"/>	A notable work of a master builder, designer, or architect whose individual genius influenced his or her age

HISTORIC-CULTURAL MONUMENT NOMINATION FORM



7. WRITTEN STATEMENTS

This section allows you to discuss at length the significance of the proposed monument and why it should be designated an Historic-Cultural Monument. Type your response on separate documents and attach them to this form.

A. Proposed Monument Description - Describe the proposed monument's physical characteristics and relationship to its surrounding environment. Expand on sections 2 and 3 with a more detailed description of the site. Expand on section 4 and discuss the construction/alteration history in detail if that is necessary to explain the proposed monument's current form. Identify and describe any character-defining elements, structures, interior spaces, or landscape features.

B. Statement of Significance - Address the proposed monument's historic, cultural, and/or architectural significance by discussing how it satisfies the HCM criteria you selected in Section 6. You must support your argument with substantial evidence and analysis. The Statement of Significance is your main argument for designation so it is important to substantiate any claims you make with supporting documentation and research.

8. CONTACT INFORMATION

Applicant

Name: Thomas Lee McMahon		Company: Playa Del Rey Community	
Street Address: 8207 Delgany Avenue		City: Playa del Rey	State: CA
Zip: 90293	Phone Number: 310-822-2935	Email: TLM@DelRey.Com	

Property Owner

Is the owner in support of the nomination? Yes No Unknown

Name: Entrekin, Gary W Trustee		Company: Entrekin, Gary W Trust	
Street Address: 2951 Surfrider Ave., 181 Culver Blvd.		City: Ventura, Playa del Rey	State: CA
Zip: 93001, 90293	Phone Number: 805-658-0917	Email:	

Nomination Preparer/Applicant's Representative

Name: Thomas Lee McMahon		Company: Playa Del Rey Community	
Street Address: 8207 Delgany Avenue		City: Playa del Rey	State: CA
Zip: 90293	Phone Number: 310-822-2935	Email: TLM@DelRey.Com	



HISTORIC-CULTURAL MONUMENT NOMINATION FORM

9. SUBMITTAL

When you have completed preparing your nomination, compile all materials in the order specified below. Although the entire packet must not exceed 100 pages, you may send additional material on a CD or flash drive.

APPLICATION CHECKLIST

- | | |
|---|--|
| 1. <input checked="" type="checkbox"/> Nomination Form | 5. <input checked="" type="checkbox"/> Copies of Primary/Secondary Documentation |
| 2. <input checked="" type="checkbox"/> Written Statements A and B | 6. <input type="checkbox"/> Copies of Building Permits for Major Alterations
(include first construction permits) |
| 3. <input checked="" type="checkbox"/> Bibliography | 7. <input checked="" type="checkbox"/> Additional, Contemporary Photos |
| 4. <input checked="" type="checkbox"/> Two Primary Photos of Exterior/Main Facade
(8x10, the main photo of the proposed monument. Also
email a digital copy of the main photo to:
planning.ohr@lacity.org) | 8. <input checked="" type="checkbox"/> Historical Photos |
| | 9. <input checked="" type="checkbox"/> Zimas Parcel Report for all Nominated Parcels
(including map) |

10. RELEASE

Please read each statement and check the corresponding boxes to indicate that you agree with the statement, then sign below in the provided space. Either the applicant or preparer may sign.

- | | |
|-------------------------------------|---|
| <input checked="" type="checkbox"/> | I acknowledge that all documents submitted will become public records under the California Public Records Act, and understand that the documents will be made available upon request to members of the public for inspection and copying. |
| <input checked="" type="checkbox"/> | I acknowledge that all photographs and images submitted as part of this application will become the property of the City of Los Angeles, and understand that permission is granted for use of the photographs and images by the City without any expectation of compensation. |
| <input checked="" type="checkbox"/> | I acknowledge that I have the right to submit or have obtained the appropriate permission to submit all information contained in this application. |

Thomas L. McMahon

2015-09-15

Name:

Date:

Signature:

Mail your Historic-Cultural Monument Submittal to the Office of Historic Resources.

Office of Historic Resources
Department of City Planning
200 N. Spring Street, Room 559
Los Angeles, CA 90012

Phone: 213-978-1200
Website: preservation.lacity.org



City of Los Angeles Department of City Planning

11/23/2015 PARCEL PROFILE REPORT

PROPERTY ADDRESSES

179 E CULVER BLVD

ZIP CODES

90293

RECENT ACTIVITY

ENV-2015-4259-CE

CHC-2015-4258-HCM

CASE NUMBERS

CPC-2005-8252-CA

CPC-2000-4046-CA

CPC-1998-10-CPU

CPC-1984-226-SP

ORD-175981-SA130

ORD-168999

ZA-1996-146-CUZ

ZA-1993-746-PAB

CHC-2014-3945-HCM

ENV-2014-3946-CE

ENV-2005-8253-ND

ENV-2001-846-ND

ND-77-449-CZ

ND-91-449-HD

AFF-9497

Address/Legal Information

PIN Number	096B149 449
Lot/Parcel Area (Calculated)	1,859.1 (sq ft)
Thomas Brothers Grid	PAGE 702 - GRID A3
Assessor Parcel No. (APN)	4116007053
Tract	PLAYA DEL REY TOWNSITE
Map Reference	M B 2-63/66 (SHTS 1-2)
Block	5
Lot	13
Arb (Lot Cut Reference)	None
Map Sheet	096B149

Jurisdictional Information

Community Plan Area	Westchester - Playa del Rey
Area Planning Commission	West Los Angeles
Neighborhood Council	Westchester - Playa del Rey
Council District	CD 11 - Mike Bonin
Census Tract #	2781.02
LADBS District Office	West Los Angeles

Planning and Zoning Information

Special Notes	HISTORIC MONUMENT UNDER CONSIDERATION
Zoning	[Q]C4-1VL
Zoning Information (ZI)	None
General Plan Land Use	General Commercial
General Plan Footnote(s)	Yes
Hillside Area (Zoning Code)	No
Baseline Hillside Ordinance	No
Baseline Mansionization Ordinance	No
Specific Plan Area	Los Angeles Coastal Transportation Corridor Del Rey Lagoon (Proposed)
Special Land Use / Zoning	None
Design Review Board	No
Historic Preservation Review	Yes
Historic Preservation Overlay Zone	None
Other Historic Designations	None
Other Historic Survey Information	None
Mills Act Contract	None
POD - Pedestrian Oriented Districts	None
CDO - Community Design Overlay	None
NSO - Neighborhood Stabilization Overlay	No
Sign District	No
Streetscape	No
Adaptive Reuse Incentive Area	None
Ellis Act Property	No
CRA - Community Redevelopment Agency	None
Central City Parking	No
Downtown Parking	No
Building Line	None

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at zimas.lacity.org
(*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

500 Ft School Zone	No
500 Ft Park Zone	Active: Del Rey Lagoon Park Active: Dockweiler State Beach

Assessor Information

Assessor Parcel No. (APN)	4116007053
Ownership (Assessor)	
Owner1	181 CULVER BLVD LLC
Address	2951 SURFRIDER AVE VENTURA CA 93001
Ownership (City Clerk)	
Owner	181 CULVER BLVD., LLC
Address	2951 SURFRIDER AVE. VENTURA CA 93001
APN Area (Co. Public Works)*	0.043 (ac)
Use Code	1210 - Store and Residential Combination
Assessed Land Val.	\$572,116
Assessed Improvement Val.	\$39,909
Last Owner Change	02/27/09
Last Sale Amount	\$9
Tax Rate Area	67
Deed Ref No. (City Clerk)	795142
	5-90
	400282
	4-248
	282276
	1141762
Building 1	
Year Built	1911
Building Class	CX
Number of Units	0
Number of Bedrooms	0
Number of Bathrooms	0
Building Square Footage	3,174.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5

Additional Information

Airport Hazard	200' Height Limit Above Elevation 126
Coastal Zone	Calvo Exclusion Area Coastal Zone Commission Authority Dual Jurisdictional Coastal Zone
Farmland	Area Not Mapped
Very High Fire Hazard Severity Zone	No
Fire District No. 1	No
Flood Zone	None
Watercourse	No
Hazardous Waste / Border Zone Properties	No
Methane Hazard Site	Methane Zone
High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	No
Oil Wells	None

Seismic Hazards

Active Fault Near-Source Zone	
Nearest Fault (Distance in km)	7.6678536

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 (*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

Nearest Fault (Name)	Palos Verdes Fault Zone
Region	Transverse Ranges and Los Angeles Basin
Fault Type	B
Slip Rate (mm/year)	3.00000000
Slip Geometry	Right Lateral - Strike Slip
Slip Type	Moderately Constrained
Down Dip Width (km)	13.00000000
Rupture Top	0.00000000
Rupture Bottom	13.00000000
Dip Angle (degrees)	90.00000000
Maximum Magnitude	7.30000000
Alquist-Priolo Fault Zone	No
Landslide	No
Liquefaction	Yes
Preliminary Fault Rupture Study Area	No
Tsunami Inundation Zone	Yes

Economic Development Areas

Business Improvement District	None
Promise Zone	No
Renewal Community	No
Revitalization Zone	None
State Enterprise Zone	None
Targeted Neighborhood Initiative	None

Public Safety

Police Information

Bureau	West
Division / Station	Pacific
Reporting District	1472

Fire Information

Division	1
Batallion	4
District / Fire Station	67
Red Flag Restricted Parking	No

CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number:	CPC-2005-8252-CA
Required Action(s):	CA-CODE AMENDMENT
Project Descriptions(s):	AN ORDINANCE ESTABLISHING PERMANENT REGULATIONS IMPLEMENTING THE MELLO ACT IN THE COASTAL ZONE.
Case Number:	CPC-2000-4046-CA
Required Action(s):	CA-CODE AMENDMENT
Project Descriptions(s):	
Case Number:	CPC-1998-10-CPU
Required Action(s):	CPU-COMMUNITY PLAN UPDATE
Project Descriptions(s):	WESTCHESTER-PLAYA DEL REY COMMUNITY PLAN UPDATE PROGRAM (CPU) - THE WESTCHESTER-PLAYA DEL REY COMMUNITY PLAN IS ONE OF 8 COMMUNITY PLANS THAT ARE PART OF THE COMMUNITY PLAN UPDATE PROGRAM PHASE III (1-1-98 TO 7-1-99)
Case Number:	CPC-1984-226-SP
Required Action(s):	SP-SPECIFIC PLAN (INCLUDING AMENDMENTS)
Project Descriptions(s):	Data Not Available
Case Number:	ZA-1996-146-CUZ
Required Action(s):	CUZ-ALL OTHER CONDITIONAL USE CASES
Project Descriptions(s):	WIRELESS TELECOMMUNICATIONS FACILITY FLUSH MOUNTED ON THE SIDEOF AN EXISTING BUILDING
Case Number:	ZA-1993-746-PAB
Required Action(s):	PAB-PLAN APPROVAL BOOZE
Project Descriptions(s):	PLAN APPROVAL FOR ON-SITE CONSUMPTION OF ALCOHOL FOR A RESTAURANT HAVING SERVICE FOR 60 PATRONS. (BAR)
Case Number:	CHC-2014-3945-HCM
Required Action(s):	HCM-HISTORIC CULTURAL MONUMENT
Project Descriptions(s):	HISTORIC-CULTURAL MONUMENT NOMINATION
Case Number:	ENV-2014-3946-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	HISTORIC-CULTURAL MONUMENT NOMINATION
Case Number:	ENV-2005-8253-ND
Required Action(s):	ND-NEGATIVE DECLARATION
Project Descriptions(s):	AN ORDINANCE ESTABLISHING PERMANENT REGULATIONS IMPLEMENTING THE MELLO ACT IN THE COASTAL ZONE.
Case Number:	ENV-2001-846-ND
Required Action(s):	ND-NEGATIVE DECLARATION
Project Descriptions(s):	
Case Number:	ND-91-449-HD
Required Action(s):	HD-HEIGHT DISTRICT
Project Descriptions(s):	Data Not Available

DATA NOT AVAILABLE

ORD-175981-SA130

ORD-168999

ND-77-449-CZ

AFF-9497



Address: 179 E CULVER BLVD
 APN: 4116007053
 PIN #: 096B149 449

Tract: PLAYA DEL REY TOWNSITE
 Block: 5
 Lot: 13
 Arb: None



Proposed Monument Description - DRAFT

This two-story pressed brick commercial building is sited near the intersection of Culver Boulevard (originally Mesmer Avenue) and Vista del Mar in the heart of downtown Playa del Rey. The building is immediately (ten feet) adjacent to one of the two Playa del Rey Stone Pillars (HCM 1079) and diametrically opposite the intersection from the Dickenson & Gillespie Building (HCM 955), site of the other Playa del Rey Stone Pillar.

The building sits on the original site upon which it was erected in 1904. [Mesmer, Beach Land Company (BLC) Block 5 Lot 13] There have been no significant structural alterations. With the exception of the one-story 1904 brick and stone RR depot across the street, which was short lived, the building was and remains the only non-wooden structure in the region.

The building's "pressed-brick" construction is typical of other early 20th century Los Angeles commerce, bank, and railroad buildings. There were similar buildings erected in Santa Monica, Redondo, Venice, and several down town locations at approximately the same time. Their current status is unknown. Lintels at the time were either wooden or arched brick. This building exhibits both (arched brick lintels in the rear wall).

This building was temporarily vacated after the great earthquake of 1906 until its safety could be assessed. This is evidenced by a USC archive photograph (*) and the fact that no property taxes were levied that year (*). The building has undergone seismic retrofitting, date unknown. The upper frontage cornice of the building was removed, likely because of the hazard it would have presented in a seismic event. It is believed that the Cornice could be reinstalled to meet current building code. Two windows were bricked-in after a fire in the early 1970s (*), two others have been closed for office light control reasons but could be reopened.

Most of the brick interior remains exposed on the ground floor. Two

large exposed interior brick walls (east and west sides) serve as excellent examples of the original state of the building. One original wooden lintel is exposed in the interior of the ground floor. Others are now covered.

The original brick exterior remains exposed on the second story of the frontage, the upper east and west sides, and most of the rear. The stairway to the second floor is original exposed brick wall. Some of the upstairs brick interior has been covered by office improvements but good examples of the original have been retained and are exposed. Six original double hung wooden windows remain on the second floor. See attached photos.

Throughout the 20th century and into the 21st century, the ground floor of the Playa del Rey Commerce Building served variously as the Bank of Playa del Rey, Beach Land Company and railroad offices, office and retail space leased by Dickenson & Gillespie, the T.O. McCoye market (*) (employee of Dickenson & Gillespie and Fritz Burns), hardware store, several other markets, bars, and restaurants.

The second story has primarily been used as office space and apartments since the building's construction. Today there are four parties leasing office space on the second floor. Second floor bathrooms and the requisite plumbing have been added. The center section of the ground floor frontage has been remodeled a number of times, primarily the windows and entry doors. A rear shed-type structure was added for McCartney Multimedia's A/V studio (lower part of rear wall, April 2000).

Although the second story of the interior and parts of the exterior have sustained alterations as noted above (*), the building retains significant integrity of location, historical significance in the early development of Playa del Rey, the setting, importance to local commerce, landmark status, feeling, and association. Despite over a century of heavy use, this building remains remarkably intact.

(*) Photos

Proposed Monument Statement of Significance – DRAFT

Joseph Mesmer, prominent businessman and pioneer of early Los Angeles, inherited all of what was to become Playa del Rey and its surrounding lands (parts of Rancho la Ballona) from his father Louis Mesmer (*) August 19th 1900. Louis Mesmer had been an acquaintance of the Machado family to whom the land had been granted by Mexican Governor Alvarado in 1839. On February 23rd 1890, Louis Mesmer inherited a significant percentage of the La Ballona Rancho from the estate of Andres Bristwaller, a Mesmer business partner and an acquaintance of the Machados. Louis Mesmer had purchased or obtained the balance of the Rancho La Ballona holdings through business dealings with Daniel Freeman and others.

Earlier attempts by Moyer L. Wicks (Louis Mesmer colleague) to establish Port Ballona at this location had failed (see HCM 955 documents). However, Joseph Mesmer (*), who now owned this entire part of Los Angeles, in conjunction with the Los Angeles Pacific Railroad as a business partner, made new plans and set about to develop Playa del Rey into a major west coast resort (*).

In early 1902, the Beach Land Company (“BLC”) was formed with the backing of many prominent millionaires and capitalists of the day (*). A ten-year indenture agreement with Mesmer was executed. The BLC agree to pay \$150,000 for the land, paid at the rate of \$10,000/annum for the first ten years, with a \$60,000 final payment due at the end of the ten year period and no other interest on the outstanding balance unless delinquent. Mesmer retained actual ownership of the land for 10 years and maintained control over all aspects of the sale and the development of the properties, including the Commerce Building’s lot and improvement thereon. On July 15th of that year the new resort of Playa del Rey - The Beach of The King was announced. “The Choicest Beach Property between San Francisco and San Diego”. (*)

A new indenture agreement for Lot 13, Block 5 and the Commerce Building was signed between Joseph Mesmer and the BLC on June 12th, 1907 which extended the prior agreement for the specific property to

January 1st, 1915. Under the terms of this indenture, Joseph Mesmer assigned to the BLC and its successors all rights and easements “as to railways, lagoons, buildings, streets, highways, alleys, sidewalks and the like and also the right to lay and maintain pipes, telephone, telegraph, and electric poles”. Joseph Mesmer specifically excluded “oil, petroleum, asphaltum or other hydrocarbon substances” associated with the Commerce Building property in the 1907 agreement. Mesmer also excluded the rights to consume or sell intoxicating liquors on that property for the period from the signing until Jan 1st, 1915 at which time all of the above rights would fully vest to the BLC.

With the BLC came three railroads, and at their junction (now 138 Culver Boulevard) a train station (depot, above) was erected by LA Pacific RR in 1904 at the cost of \$5,000. The Playa del Rey Commerce Building was erected across the street (then Mesmer Ave, now Culver Blvd) in the same year. The architects were Ehlers & Goersch; the contractor Southern California Realty Company.

The Playa del Rey train station and Commerce Building were ideally located in the center of Santa Monica Bay; PDR was the rail hub. In what was called the "Great Merger" of September 1, 1911, the Southern Pacific created a new Pacific Electric Railway Company. The LA Pacific RR going through PDR was acquired and Pacific Electric established a large depot at 215 Culver Blvd. According to the Evening Examiner, they established local offices in the PDR Commerce Building. During the first 50 years of PDR's existence, nine different train and trolley stations are known to have existed in the immediate vicinity (*).

Thurlow Orrin McCoye (“TO”), a prominent figure in Playa del Rey's history and development, employee of both Dickenson & Gillespie and later Fritz Burns, owned the Commerce Building from August 10th 1926 until August 29th, 1947. During this time, he and his wife Cora ran the Del Rey Co-Operative Market on the ground floor (*).

Very little remains of the very early development of Playa del Rey, this building perhaps the only exception. During the first two decades after construction, it and the all-wood predecessor to the Dickenson & Gillespie (D&G) Building (which was later torn down) stood alone – the

only two-story buildings Playa del Rey. The Commerce Building was visible from the sea. Since 1905, this building has served as the focal point of the Playa del Rey Townsite.

The Building is now an iconic symbol of Playa del Rey. Photos of that building have been distributed all over the world. It has appeared in numerous television shows. The building is also a key element of Mary L Thomson's famous "Summer Solstice" painting (*).

This highly prominent building is one of two major landmarks for visitors entering Playa del Rey from any direction, the other being the Dickenson & Gillespie Building (HCM 955). The eastern wall of the building, directly visible for blocks along Culver Blvd., has served as a billboard of sorts for Playa del Rey businesses (including D&G) for over a century.

Two well-known PDR residents, both young adults living in one of the apartments upstairs, lost their lives in the building during the fire in the early 1970s. Many residents worked in its various restaurants, bars, offices, and stores. It fosters civic pride in the PDR community and helps develop a sense of place and time. When PDR residents see that building come into sight they know that they are almost home.

The Building is threatened by development on all sides (*). In fact, the block on which it resides has been listed for sale. If that block is developed, in whole or in part, it is likely that the Playa del Rey Commerce Building would be razed. The community hopes that this nomination and the building's historical association with Playa del Rey Pillars HCM 1079 and D&G HCM 955 may help mitigate or prevent that. It is remarkable that this building has not yet been lost to development.

The Playa del Rey Commerce Building also serves as a historical height reference for future development. Two development projects are currently proposed for downtown Playa del Rey, both of which exceed this building's height (one, only a block away, by more than 20 feet).

(*) Photos

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LOUIS MESMER IS DEAD

**A Pioneer Angeleno
Passes Away**

HIS USEFUL CAREER

**A Man Who Had Faith in Los
Angeles**

**The Life Work of a Humble Alsa-
tian Lad Who Had Energy,
Strength and Courage—The
Funeral**

Louis Mesmer, a pioneer resident and one of the best known citizens of Los Angeles, died at 6:40 p. m. yesterday, at the United States hotel, after a long illness. The funeral services will be held Tuesday forenoon in St. Vibiana cathedral.

Louis Mesmer was born in the Village Surburd, Canton Sulz, Alsace, France, now Germany, on February 20, 1829. His boyhood days were employed in farming, with only limited schooling. At the age of 14 years he learned the baker's trade and then went to Strasburg, where he started a bakery. He afterward went to Colmar, from there to Paris, and also to Havre. He then embarked for New York, and after some journeyings he went to Tippecanoe, Ohio, where he established himself in the bakery business. Here he married Miss Katherine Forst. Three years after he determined to seek his fortune in California, and in the spring of 1858 left Tippecanoe City for New York city; thence by steamer via Panama to San Francisco. Upon his arrival at San Francisco, the Calaveras and Mokelumne Hill gold excitements were at their height, which attracted him to those mining regions.

A Los Angeles Pioneer

When the news was heralded of the rich discoveries in Coriboo, British Columbia, he at once returned to San Francisco to take the steamer for Victoria to the Cariboo and Frazier river mines. Not finding himself to be a successful miner he returned to Victoria and there opened a bakery. Here his opportunities for making money were most satisfactory, but owing to the absence of his family he decided to sell out, which he did, returning to San Francisco. After his family arrived he was informed that Los Angeles was a good prospective town, so he took steamer passage for Los Angeles, arriving here in the month of October, 1859.

Los Angeles had a population at that time of about 3,500 people. After a short stay at the Lafayette hotel, now known as the St. Elmo, he purchased Ulyard's bakery, southwest corner of First and Main streets, where the Natick House now stands. He was the only baker in this city that ever made Jewish passover bread, which he sold to nearly all the Jewish families in Southern California. This bakery he sold out in the year 1861 at a good advance, and purchased the New York bakery from Peter Balz.

A Trading Venture

In the fall of 1863, he having heard of the big profits made by traders plying between Los Angeles and the mining camps of Arizona, himself and a friend by the name of Mr. Yander, fitted out a 14-span prairie schooner and trailer. The groceries and provisions were sold at most satisfactory prices and they were homeward bound with high hopes, when some jealous trader, envious of their competition, poisoned the water spring from which their stock had been given to drink. The horses and mules all died, and while they were dying a heavy wind-storm arose, blowing stones as big as hens' eggs almost, covering the entire wagons and completely obliterating the road. They finally concluded to abandon the wagons and strike out on foot for the nearest stage station, from which point passage was secured for Los Angeles.

While he was off on the trading venture his wife conducted the bakery. In 1864, Mr. and Mrs. Strassforth, who were then conducting the United States hotel, southeast corner of Main and Requina street, desired to sell and he finally concluded to sell his bakery business and try his hand in the hotel business. During the five years from 1864 to 1869, the hotel business proved a big winner, from the profits of which he purchased at different times small adobe holdings adjoining, which he improved as his means would permit, until he had a frontage of 142 feet on Main street.

Old-Timers Will Remember

**August 19th,
1900**

While he was off on the trading venture his wife conducted the bakery. In 1864, Mr. and Mrs. Strassforth, who were then conducting the United States hotel, southeast corner of Main and Requina street, desired to sell and he finally concluded to sell his bakery business and try his hand in the hotel business. During the five years from 1864 to 1869, the hotel business proved a big winner, from the profits of which he purchased at different times small adobe holdings adjoining, which he improved as his means would permit, until he had a frontage of 142 feet on Main street.

Old-Timers Will Remember

In 1868 he was instrumental in opening Commercial street east to Alameda street; in 1869 he rented the hotel to Messrs. Gray & Adams and decided to visit his native land, so with his family, which then consisted of his wife, sons Joseph and Tony, and daughter, Christiana, he left for one year's visit to the old country.

In 1871 he purchased from Mr. Hayes the property on the west side of Broadway, between First and Second streets, which he occupied for upwards of fifteen years as his family residence. In 1872 he purchased from Don Manuel Requina the Yarrow corner, which adjoined his Main street property on the east, on which he built the present two-story brick building, southwest corner of Los Angeles and Requina streets; he also opened Requina street, which was then called Liberty street, east through to Alameda.

In 1874, at the request of Bishop Amat and his coadjutor, Bishop Mora, he was asked to take full charge in the erection and building of Saint Vibiana cathedral on Main street near Second street. He not only superintended the work on this structure but also solicited thousands of dollars of donations towards its completion. In 1876 he visited with his wife the Centennial exhibition at Philadelphia.

In 1880 he had put down the first regular cement squares sidewalk, for which he was arrested for an infringement of the Schlinger patent. As there were no federal courts south of San Francisco, he was arrested, taken by the United States marshal to San Francisco, and there the case was compromised. He

In 1880 he had put down the first regular cement squares sidewalk, for which he was arrested for an infringement of the Schlinger patent. As there were no federal courts south of San Francisco, he was arrested, taken by the United States marshal to San Francisco, and there the case was compromised. He broke the value of the patent, which inured to the public's benefit, but at a cost of over \$800. In 1884 he purchased from F. Reverin 79 feet on Los Angeles street, adjoining his property on the south, on which he erected the present two-story brick building.

Built a Hotel

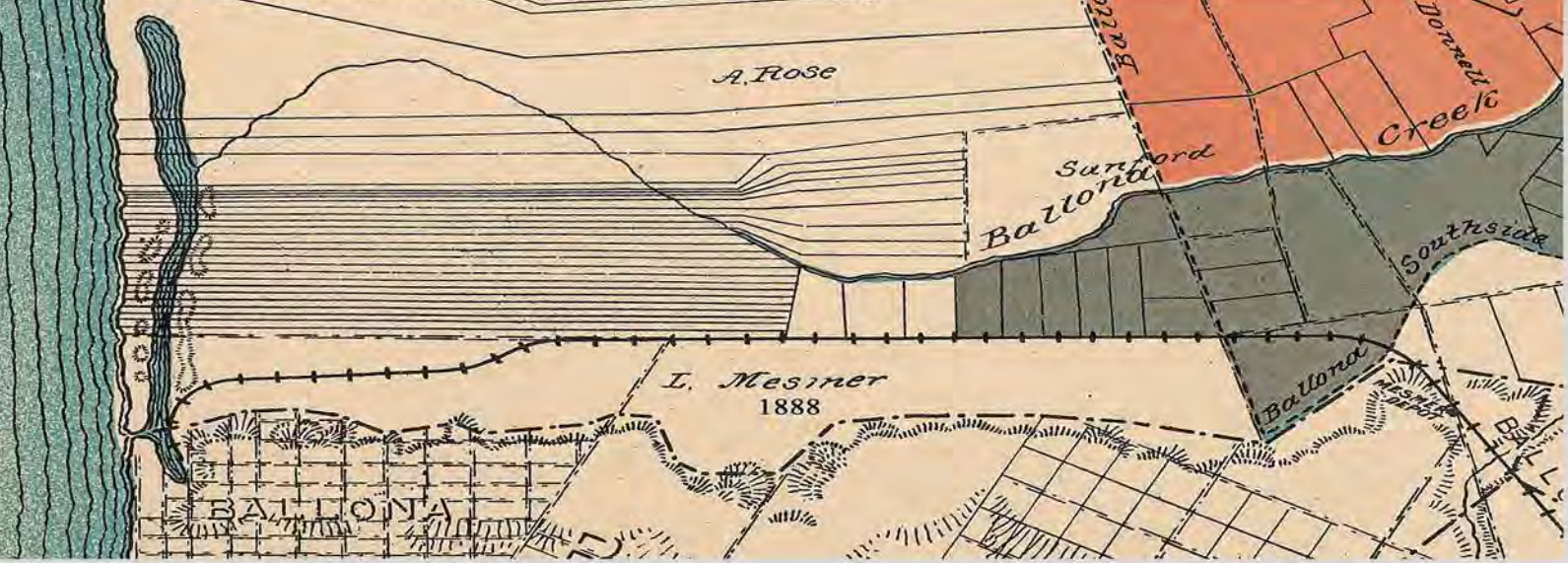
In 1886 he let to contract the building of the present New United States hotel building. In 1887 he became associated

in the building of an artificial harbor at Ballona Lake. A great deal of money was spent in this enterprise, which through lack of study and proper management was not carried to a successful conclusion.

On October 2, 1891, his wife died. On July 15, 1893, he married Mrs. Jennie E. Swan. His family consists of his sons Joseph, Tony and Alphonse and his daughters Christina and Lucile, now Mrs. G. J. Griffith and Mrs. Chas. L. Whipple; also a stepdaughter, Mrs. Ziba Patterson.

During the first ten years after his arrival in this city he threw his whole life and energies into his work, putting in from 18 to 19 hours daily. Only a man of extraordinary physique could have endured such herculean work. That he had the greatest faith in the future of the city of his adoption is shown by the improvements that he made from time to time on money which he borrowed at times when there was considerable doubt of Los Angeles' future.

This is the career of one who started away from the little Alsatian village to the western extreme of America with nothing but indomitable courage, pluck and enterprise as his capital. There are hundreds who have been the recipients of his favors who will always remember their benefactor with gratitude.





Joseph Mesmer, Pioneer Leader, Succumbs at 92

Businessman Helped Build Los Angeles From Pueblo to Metropolis in Years of Service

Joseph Mesmer, 92, pioneer Southland resident who helped to build Los Angeles from a pueblo to a metropolis, died shortly before noon yesterday at his home in the Arcady Apartment Hotel, 2619 Wilshire Blvd., after an illness of four weeks.

At his bedside were his two daughters, Mrs. Alex MacKenzie and Mrs. Allen Standish; his son, A. J. Mesmer, and his personal physician, Dr. R. D. Furnish. Mr. Mesmer became ill Oct. 30, and although he had pneumonia and a weak heart, at times it was hoped he could recover. He lapsed into coma, however, Thanksgiving night, and failed to rally.

Funeral Planned

Funeral arrangements are being made by the Cunningham & O'Connor Mortuary.

Mr. Mesmer, one of a vanishing group of men and women whose enthusiasm and foresight helped make Los Angeles the city it is today, was born in the small manufacturing town of Tippecanoe City, O., Nov. 3, 1855.

He was brought here by his parents when he was three and one-half years of age—and when the City of the Angels had less than 3500 population.

His father, Louis Mesmer, took over the old United States Hotel at Main and Market Sts., added two stories to the structure in 1862 and made it the luxury hostelry of the Southland. In 1939 the son cohosted a final farewell ball in the hotel before razing operations began.

Helped Build Cathedral

In 1873 construction of St. Vibiana's Cathedral was abruptly halted when funds for the building failed and the next year Louis Mesmer assumed charge of the work. With the aid of his son Joseph, who worked as timekeeper on the project, he finished the church and in 1876 turned it over without debt to Bishop Francis Mora.

Four years earlier New York-born Rose Elizabeth Bushard had arrived in the bright new western city. She met the young Mesmer and in 1879 they were married in the first wedding ceremony solemnized in the new cathedral.

Mrs. Mesmer, a ranking beauty of her day, died Feb. 27, 1946, at the age of 92.

Mr. Mesmer's enthusiasm for Los Angeles never dampened and he worked sedulously until the end for the city's advancement and welfare. At a celebration in his home five years ago he predicted:

"In 50 years Los Angeles is going to be the largest city in the world."

A year before his marriage Mr. Mesmer entered the city's business with the opening of the Queen Shoe Store at 160 N. Main St. During the formative years of the city he took an active part in its development and guidance.

He was a member of the Freeholders' Charter Commission, assisting in shaping the charter under which the city operates. He served on the Park Commission and the City Planning Commission. In fact, early friends called him a "one-man planning commission."

Zealous Civic Campaigner

A vigorous supporter of the Owens River project, the great aqueduct that brought water to a thirsty metropolis, Mr. Mesmer was chairman of the original survey committee. He was instrumental in the develop-

ment of the Civic Center and for a quarter of a century preached the wisdom of a Union Station.

Always eager to spark civic growth, he led the campaign to pave the community's main thoroughfares and prompted property owners to grade, widen and pave Sunset Blvd. in the early days. He served on a committee to erect the old Post Office and the first Chamber of Commerce and guaranteed the continuance of the Sixth District Agricultural Exposition, which now headquarters in Exposition Park.

Flagpole Memorial

Sandwiched between his many civic activities Mr. Mesmer undertook a generous program of philanthropy. He was a member of the Los Angeles Catholic Beneficial Association and the St. Vincent de Paul Society.

He also was a member of the California and Jonathan Clubs, the Elks and Knights of Columbus. He founded the Los Angeles County Pioneer Society, of which he was president until a few years before his death.

Mr. Mesmer took much pride in Los Angeles' history, of which he was so firmly a part. In 1939 he presented Los Angeles County a flagpole given his father by Capt. Phineas Banning 73 years before. It stands now, a straight and tall memorial to a valiant pioneer, on the old Courthouse grounds.

OLD BALLONA SOLD

Millionaires Plan Ocean Beach Resort

FORGOTTEN ACRES SOON WILL BE REJUVENATED

Playa Del Rey Will Be the Home of a Colony to Be Established at Ballona Beach Near Los Angeles. Other Real Estate News and Notes

By a deed which went on record yesterday, the Joseph Mesmer estate has transferred to a syndicate of local and eastern capitalists about 1000 acres of ground at Ballona, including an ocean frontage of two and one-half miles. The purchaser, the Beach Land company, composed of well-known Los Angeles and representative investors, declare an intention to make the new purchase a millionaires' colony of villa homes. After many years, Ballona is at last to be turned to practical purposes. Many years ago this bay was selected by a company of capitalists for a summer resort, a hotel was built, a wharf was begun, and steps taken toward establishing a popular summer resort. But the plan did not succeed, and for years Ballona practically has been deserted and unknown.

Playa del Rey, or the King's Beach, is the name of the intended millionaires' colony. The Beach Land company to control the land has been incorporated. The names of the incorporators are: F. H. Rindge, M. H. Sherman, E. P. Clark, E. T. Earl, John D. Bicknell, George I. Cochran, O. T. Johnson, Walter J. Trask, H. J. Whitley, J. C. Drake, A. I. Smith, John A. Merrill, John D. Pope, W. C. Patterson, W. D. Woolwine, Godfrey Holterhoff, jr., and Henry P. Barbour, all of Los Angeles; P. M. Green, H. M. Hamilton, F. C. Bolt, Eldridge M. Fowler, Arthur H. Fleming and Walter Raymond of Pasadena; W. D. Clark of Redlands; Chester A. Congdon of Duluth, Minn.; Charles D. Frazier of New York; Calvin Hood of Emporia, Kans., and R. C. Gillis of Santa Monica. The directors of the new company are H. P. Barbour, M. H. Sherman, E. P. Clark, George I. Cochran, R. C. Gillis, John D. Pope and Arthur H. Fleming. Henry P. Barbour is president of the company, M. H. Sherman and Arthur H. Fleming are the vice presidents, A. I. Smith is secretary, W. H. Eaton assistant secretary, and P. M. Green treasurer.

Los Angeles Sunday Herald

June 15th,
1902

The land of the company will be subdivided into lots and will be placed upon the market. There will be building restrictions, such as will insure only the most pleasing improvements. On a beautiful slope overlooking the entire surrounding country, from the mountains to the sea, will be built a handsome hotel, to cost \$200,000. Still water bathing, fishing and boating will be afforded by the lagoon. The most elaborate plans are being devised for the development of Ballona harbor.

Within sixty days rapid transit facilities will be afforded by the Los Angeles-Pacific Electric Railway company, and a schedule of twenty-five minutes will be maintained for the run between Los Angeles and Ballona. The line to the new resort will branch from the present Sixteenth street line to Ocean Beach, a short distance west of the junction with the Santa Monica branch. The track will extend through the Raymond ranch, and the terminal facilities at the ocean front will be such as to afford ready access to the residences that are to line the avenues of the resort.

Playa del Rey will be within fourteen miles of Los Angeles, or a mile and a half nearer this city than any other seaside resort in the vicinity. According to a statement made by General Sherman, of the Los Angeles Pacific company, that company soon will complete its third double track to the ocean front. Ten cars, similar to those used in the Santa Monica service, have arrived. It is contemplated to complete the road by August 15, when a fast schedule run between this city and the resort will be adopted, and plans for the further development of the purchase will be perfected.

OPEN PLAYA DEL REY

**Hundreds Visit the New
Beach Resort**

**TWO EXCURSION TRAINS CAR-
RY THE CROWD**

**Home Sites on the Ocean Front Are
Eagerly Sought—Electric Railway
Soon Will Reach the "King's Play-
ground"—Improvements Planned**

Playa Del Rey, the King's Playground, yesterday presented the appearance of a lively camp. The hills, the lagoon, the beach were covered with people. It was the occasion of the opening of the new resort to the public, and the dress of the men and women who hurried hither and thither, poring over large sheets of white paper the while, would have made a stranger wonder what had happened. On second thought it was apparent that the playground was not a newly pitched camp. Scores of members of the Beach Land company, owner of Playa Del Rey, and of its employees, were there. The Beach Land company was celebrating its first "at home," and the red and blue ribboned men got busy.

The sale of property was conducted by registration. The first man to sign got first choice of property, and there were 595 names in the register columns. The list was not half finished. Names were called as fast as they could be read, and if the owner thereof failed to respond to his name the next on the list was in order. Last night it could not be learned how many had made purchases, but Henry P. Barbour, president of the company, said that at least 150 pieces of property were sold. All lots in the properties for sale are not of the same size, nor do they command the same prices, but Mr. Barbour believes that the property sold yesterday afternoon will amount to \$150,000. On many of the lots bought, he stated, residences will be erected. Considerable business property also was sold.

Former Owner Buys

Joseph Mesmer, from whom the land was purchased by the Beach Land company, himself invested in a residence site. Others who made purchases with intention to erect summer residences are Alfred Solano, E. P. Clark, George A. Cook, W. D. Clark, Dan Murphy, E. M. Fowler, A. H. Fleming, P. M. Green, W. D. Woolwine.

Two excursions were run over the Santa Fe, one leaving La Grande station at 8:30 o'clock in the morning, the other at 10:10 o'clock. As the Santa Fe does not extend its lines into Balboa, the trains were met by a caravan of carriages, about half a mile north of Playa Del Rey. The surrounding country had been scoured for conveyances, and every available vehicle was pressed into the service. In addition to these, ten tallyhos were hired from Los Angeles stables. As each excursion arrived and piled itself into the waiting carriages, a merry line of sightseers and land seekers was formed. There were 274 on the first train, and even more arrived on the second. In addition many came in private carriages.

Luncheon was eaten by nearly all of the visitors at the Hotel Playa. The dining room had just been completed and put in running order for the occasion.

Progress of Improvements

The plans of the Beach Land company are being carried out in a manner highly satisfactory to those interested. Mr. Barbour states. An extension is being built from the Santa Fe steam line into the heart of Del Rey. This will be completed in about two weeks and will be made into an electric road which will handle the summer passenger traffic.

The plans for the \$200,000 hotel, which the company proposes to build on the promontory overlooking the valley to the north and the sea to the south, have not been completed. The Italian style of architecture will be employed. Work on a tide-gate connecting the lagoon with the ocean will be pushed immediately. Two piers will be built and a \$100,000 bathhouse is among the improvements proposed. Among its features will be a warm plunge, but it is expected that more interest will be manifested in the lagoon as a swimming place than in an artificial bath. The bathhouse will be built at the Del Rey end of the lagoon and will be near the heart of town. Boating may also be enjoyed on the salt water lake, and, it is said, with its three miles of deep water there are few more delightful boating lakes to be found in California.

Los Angeles Daily Times.

PLAYA DEL REY IS
FORMALLY BORN.

**GREAT CROWD ATTENDS SALE OF
LOTS AT NEW RESORT.**

**Beautiful Ballona Appears at Its Best
Advantage With Two Hundred Work-
men Engaged in Making Improve-
ments—Sales Amounted to About
\$150,000.**

Playa del Rey, the "King's Beach," was born into the family of Southern California seaside towns with all due formalities yesterday. About one hundred lots were sold for an amount of money approximating \$150,000.

Around the old Ballona lagoon there congregated a crowd of not less than five hundred persons, about evenly divided as to sex, and all intent on buying one of the Beach Land Company's lots.

Two special trains were run over the Santa Fé in the morning, landing the passengers at Alla Station, on the abandoned Santa Monica branch, where all the tallyhos and two-seaters to be obtained in Los Angeles were in waiting to take them over two miles to the new seaside resort. At Del Rey the crowd walked about, viewed the improvements and made a selection as to the favorite lot and then bombarded the hotel to get something to eat. As the crowd was twice as large as anticipated this was not easy, and the squad of imported cooks and waiters was kept on the jump for three hours.

An orchestra on the porch discoursed music throughout the morning, but after dinner this was stopped and the real-estate men got down to business. The crowd was called together before a tent beside the hotel, and Henry P. Barbour, president of the Beach Land Company, made an address. He told of the purposes of the company, so familiar to the readers of the advertisements in the daily papers. He said he had assurances from the Los Angeles and Pacific Railroad Company that they would have their direct line running by the middle of September. The electric line to connect with the railroad at Alla would be running in two weeks. The other plans, which involve the making of Playa del Rey, the Venice of America, were explained briefly.

**THURSDAY,
JULY 17, 1902.**

At the close of President Barbour's address the sale of lots began, and it did not end until late in the afternoon. The method was to call off the names in the order registered, the persons taking their consecutive order in the choice of lots. There were 600 lots to be sold and about half that number of persons registered for a choice. The names would be called out three times before passing to the next, and less than half of the number registered appeared and purchased lots. E. G. Hart received first choice, F. B. Alderson second, and Mrs. A. W. Brown third. The prices ranged from \$500 to \$1500 for lots 30x80 feet, or slightly larger. Very few of the lots were placed at less than \$800.

Ballona never appeared to better advantage than yesterday. The day was perfect and the scene was one to be long remembered. Large forces of carpenters were at work on the new plank walks and bulkheads; members of the engineer corps in khaki stood around and explained to prospective purchasers the lines of streets and the advantages of the different sections of the town, as they had laid it out. Salesmen in dusters and long blue badges rushed to and fro with big maps in their hands, and occasionally stopped to address groups of strangers on the virtues of Del Rey. The purchasers seemed to be mostly business men buying property for beach homes rather than speculators, and the building restrictions made by the company are calculated to attract that class of investors. More than all else was the crowd interesting. The people went to buy, and they certainly bought. Nothing was talked of from the La Grande depot to Ballona and return, but land, prices and prospects. The company's office was kept open until 10 o'clock last night, and a number of sales were made there during the evening.

At the new beach town the company is going ahead with improvements. A gang of at least two hundred laborers is now at work building walks and fixing up the old bulkheads around the lagoon. Sand has choked the inlet, but the purpose is to dredge it all out and put in a mammoth tide gate which will empty the salt bay each night. Grading gangs are at work with teams on each of the surrounding hills preparatory to the erection of fine summer homes. Altogether the new beach presents an appearance which supports the claims of its promoters that it has many of the greatest natural requisites for the finest summer resort on the Pacific Coast.

Luther A. Ingersoll 1908

for bathing and boating proved itself a popular feature—even before its completion. Forty boats and gasoline launches were provided for the accommodation of patrons.

During the year the Redondo line was completed thus opening up a new district, and providing railway facilities for residents of the beach south of the harbor. In December, 1903, it was announced that an automobile speedway from Los Angeles to Playa del Rey would be constructed under the auspices of the Southern California Automobile club. This boulevard would be eighteen miles in length, thirty feet wide and would be made the finest automobile road in the country.

With the opening of 1904 the rush of improvements at Playa del Rey increased. Plans were made for the pavilion, which was to be three stories in height, with restaurant and dining room, bowling alleys and dancing floor and ample provisions for picnic and banquets. Work on this structure was rushed and it was opened to the public with a grand celebration of the occasion, boat races, dancing, etc., on November 25th. The hotel Del Rey, a handsome structure containing fifty rooms was built this year by George A. Cook, a capitalist of Redlands who had become largely interested in Playa del Rey. Boat houses and bandstand were completed. A two story bank building had been erected and many handsome cottages had been completed along the lagoon and on the bluff. In June 1904 a post office was established at Playa del Rey, with Frank Lawton, lessee of the pavilion as postmaster. The electric line to Santa Monica was completed, thus giving a much improved car service, as the fare to Santa Monica was made five cents.

It is estimated that the Beach Land Company and the Los Angeles-Pacific Company spent at least \$200,000 on the foundation work for this resort. Six-hundred acres of sand beach, rolling dunes and lofty bluffs were graded and prepared for building permanent residences. In leveling lands and excavating for the lagoon, more than 700,000 cubic yards of sand were used for filling in purposes. Sidewalks were constructed along the beach and the lagoon; a sewer system; water system and electric lights provided. An unusually high class of buildings was put up and the expectation of the projectors were largely realized, yet much still remained to make the resort all that was hoped for. During 1905, two suspension bridges were thrown across the lagoon and an incline railway constructed to the top of Mount Ballona, as the bluff is known. In April, through the efforts largely of Joseph Mesmer, Playa del Rey school district was organized, with 26 children.

Commerce Building

PLAYA DEL REY.: GOLD FROM BEACH SAND.

Los Angeles Times;

April 3, 1905

PLÁYA DEL REY.

GOLD FROM BEACH SAND.

PLAYA DEL REY, April 2.—In an endeavor to recover the yellow metal from the auriferous black sands that are found on the shores of the Pacific from British Columbia to the southernmost extremity of the possessions of Diaz, William Hatch and T. L. Selkirk have set up a miniature "process" plant and are about to begin operations on this beach. Process men by the score have gone before them, but in the vast majority of cases the gold has proven so elusive that the experiments have failed in a measure. Hatch is a manufacturing marine chemist from England and Selkirk is a Scot. Together they have evolved a mechanism which they claim saves every particle of gold in the sand. To outward appearances, their invention is simply a large box-shaped trough. A hopper at the top receives the sand and sprocket wheels on the side of the box, operated by an ordinary chain of the bicycle pattern, indicate that within the box there is some secret mechanism. Mercury also forms an important part of the process, which is a wet one requiring a minimum of water. Hatch says the sands of this beach average 55 cents per ton in gold. That is the amount he is able to save by the use of his machine and sand run through it a second time refuses to yield a single "color." As a cubic yard of the magnetic sand of this beach weighs 3097 pounds—and there are tens of thousands of tons of it—"there's millions in it" if a machine can be constructed that will economically handle the sand and save even 25 per cent. of the values contained in it. Dredges that attempt to handle this class of mineral claim to be able to operate at a profit if 5 cents can be saved from each cubic yard treated.

PLAYA DEL REY.

Playa del Rey (Beach of the King) was known to the old-timers as Will Tell's. It was a popular seaside resort thirty years ago, where sportsmen went for duck shooting on the lagoon. The southeasters of the great flood year of 1884 destroyed its hunting grounds, and for two decades it was deserted. With the great boom of ocean frontage that began in 1902 the capabilities of the place for a seaside resort were brought to the front and extensive improvements begun. In 1904 fully a quarter of a million dollars were expended. A new pavilion was built at an outlay of \$100,000 and was dedicated on Thanksgiving day, 1904.

On the lagoon side, and extending from the level of the pavilion to the water's edge, an amphitheater with a seating capacity of 3,000 was erected. From this a fine view of the boat races and aquatic sports can be obtained. A handsome three-story hotel was erected at a cost of \$20,000 and a number of fine residences were erected. During the year 1905 extensive improvements were made at the King's Beach. The lagoon's banks were bulkheaded for miles on either side. Two suspension bridges of concrete were constructed to connect the strand with the mainland, and an incline railway was built from the beach to Mount Ballona, as the eminence is called that rises above the beach. A two-story bank building was constructed, and the Los Angeles-Pacific Electric Railway expended \$5,000 in building a passenger depot in the so-called mission design. Gold has been found in the black sands of the beach. It is one of the possibilities of the future that gold mining may be made to pay.

Los Angeles Times, Various - 1904 & 1905

Los Angeles Times (1886-1922); Dec 30, 1904;

BIG TROLLEY DEPOT.

Handsome Los Angeles-Pacific Railway Building to be Opened Next Week.

The Los Angeles-Pacific Company has just completed a pretty mission style depot of brick and stone at Playa del Rey, which will also be opened after the first of the new year; and it has plans ready for a similar depot at Sawtelle.

PLAYA DEL REY NOTES

Property Changing Hands Rapidly and Building Contracts Let Special to The Herald.

PLAYA DEL REY, July 28.—Work began today upon the new inclined railway which is to connect the sand properties with Del Rey Heights. The fact that this improvement is going on and that the speculators who have been delaying the improvement of Playa del Rey have begun to unload their holdings upon legitimate purchasers who will build and otherwise improve their properties has caused the contracts to be let and work to begin upon the store and bank buildings. More than \$20,000 worth of property has changed hands about the lagoon during the past week and no desirable lot at this beach can now be purchased for less than \$1400.

NEW BUILDINGS PLANNED.

The Southern California Realty Company has let the contract to N. F. King of Los Angeles for the erection of a two-story pressed brick building at Playa Del Rey. Work is to be commenced at once A bank will occupy one of the ground floor rooms.

NEW BUILDINGS PLANNED.

The Architects Have Their Hands Full

Los Angeles Times (1886-1922); Aug 20, 1905;

Henry Biescar's Brick.

Ehlers & Goersch have completed plans for a two-story brick building, 45x90 feet, to be erected on corner of Ninth and Crocker streets for Henry Biescar. Front will be of pressed brick, with plate glass store windows, galvanized iron cornice and gravel roof. There will be two stores gravel and five apartments, of three rooms and bath each, above.

At Playa Del Rey.

The architect last named has drawn plans for a two-story brick building, to be erected at Playa del Rey, adjoining the bank building. Front will be of pressed brick with plate glass windows; three stores on first story, and ten office rooms above.

It appears that another almost identical two story brick building was planned for the lot next to the PDR Bank.

This was obviously never erected.

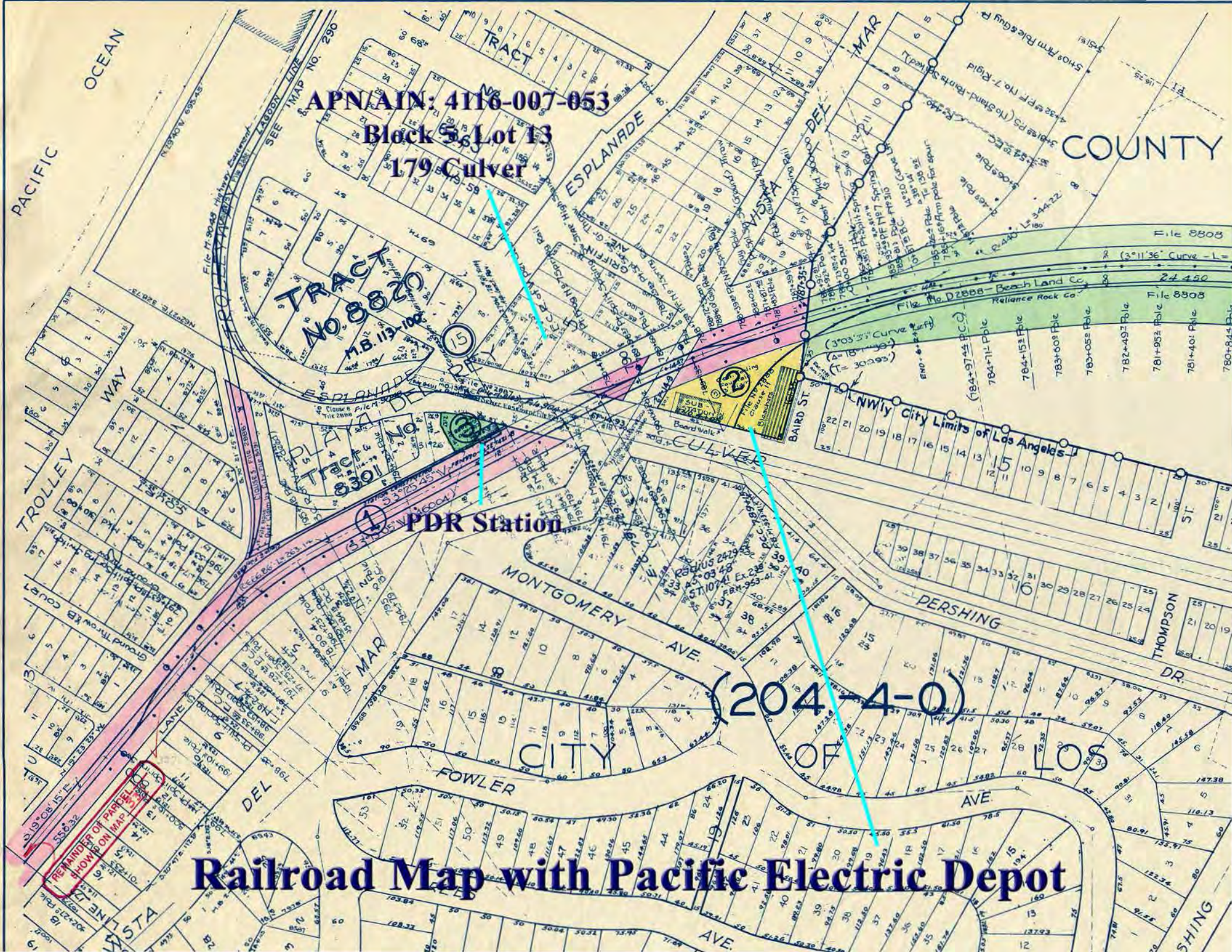
Property records show the Mesmers owning that adjacent lot. - TLM

One for Del Rey.

The Southern California Realty Co. has let a contract for the erection of a two-story brick building in Del Rey township. The cost is \$4350.

The Architects Have Their Hands Full of Plans for Projected Buildings in All Sections of the City.

First Known Report of Bank's Exact Location & Placement July 22nd 1905



APN/AIN: 4116-007-053

Block 5, Lot 13
179 Culver

TRACT
No. 8820
M.B. 113-100

TRACT
No. 8301
M.B. 113-100

① PDR Station

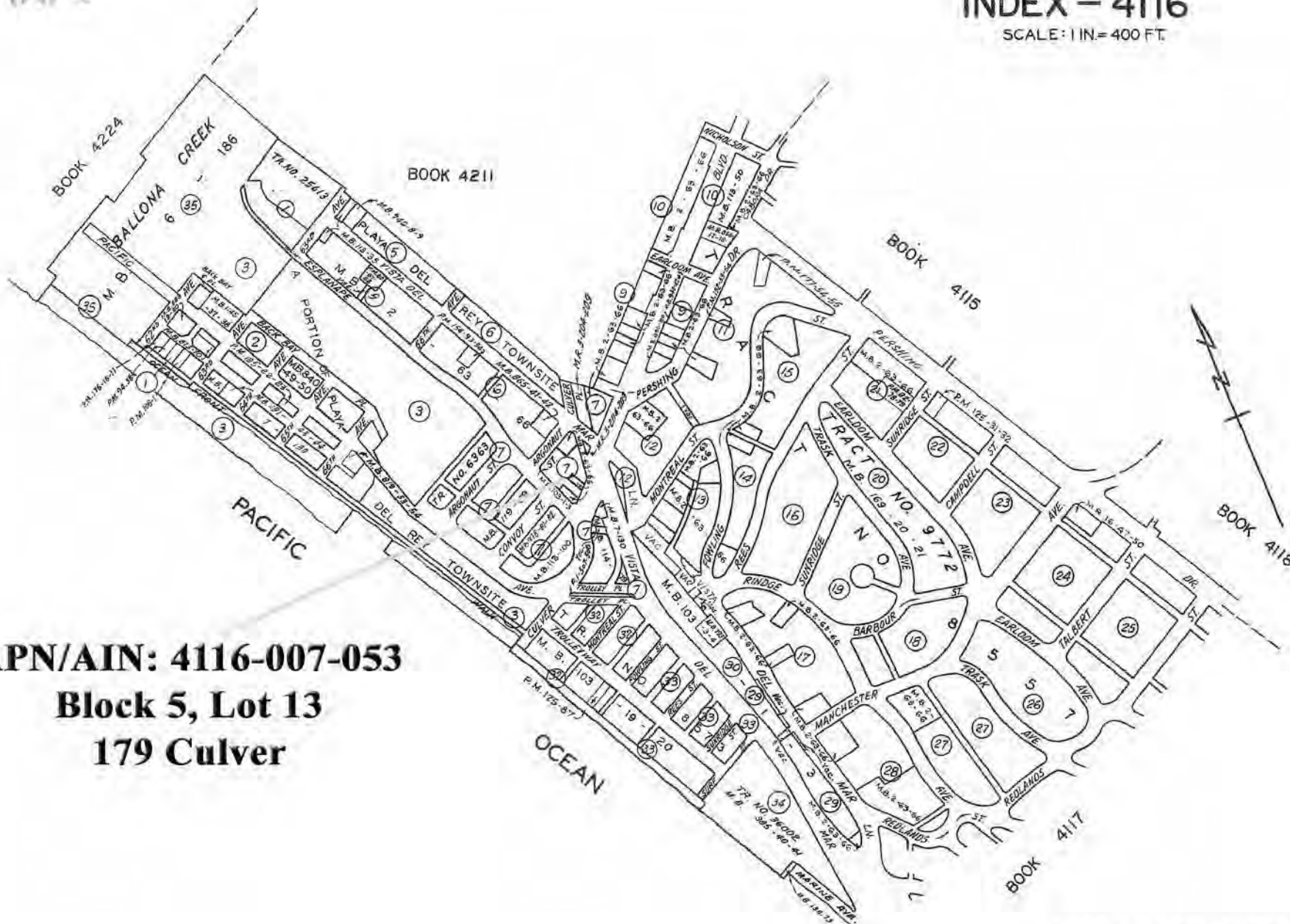
(204-4-0)

Railroad Map with Pacific Electric Depot

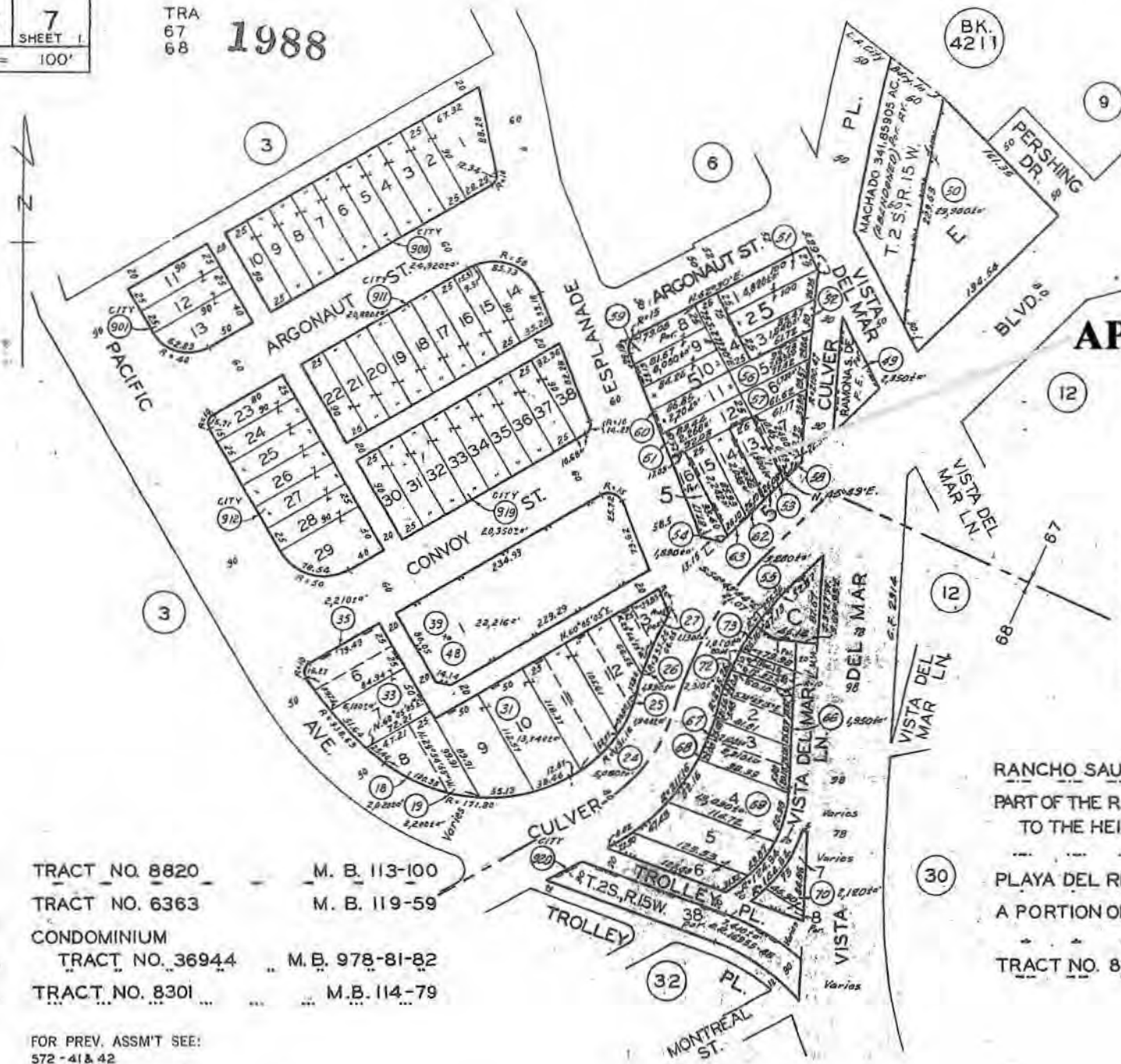
SCALE 1" = 400'

- REVISED 6-9-65
- 1-10-62 680520
- 3-19-63 691113
- 1-30-64 700903
- 9-18-64 710920
- 7-30-69 721026
- 7-10-73 750711
- 7-5-76 760802
- 7-10-82 780308
- 7-8-82 780613
- 7-8-82 790326
- 8-20-81 800411
- 8-20-81 800709
- 8-20-81 800730

- 801110
- 810202
- 811117
- 820916
- 821101
- 820510
- 831107
- 841219
- 850220
- 850205
- 850626
- 900123
- 920809
- 9900110
- 2001012
- 20030106



APN/AIN: 4116-007-053
Block 5, Lot 13
179 Culver



APN/AIN: 4116-007-053
Block 5, Lot 13
179 Culver

*Diagrammatic depicts approximate dimensions.

The assessment of units in the following Airspace Plans, includes all rights and interests in the common areas as set forth in deeds of record.

Airspace Plan Reference	Common Area			Subdivision of Airspace
	Tract No.	Blk.	Lots	
#420591	4-28-81	36944	1	Condo Sheet 2

TRACT NO. 8820 M. B. 113-100
TRACT NO. 6363 M. B. 119-59
CONDOMINIUM TRACT NO. 36944 M. B. 978-81-82
TRACT NO. 8301 M. B. 114-79

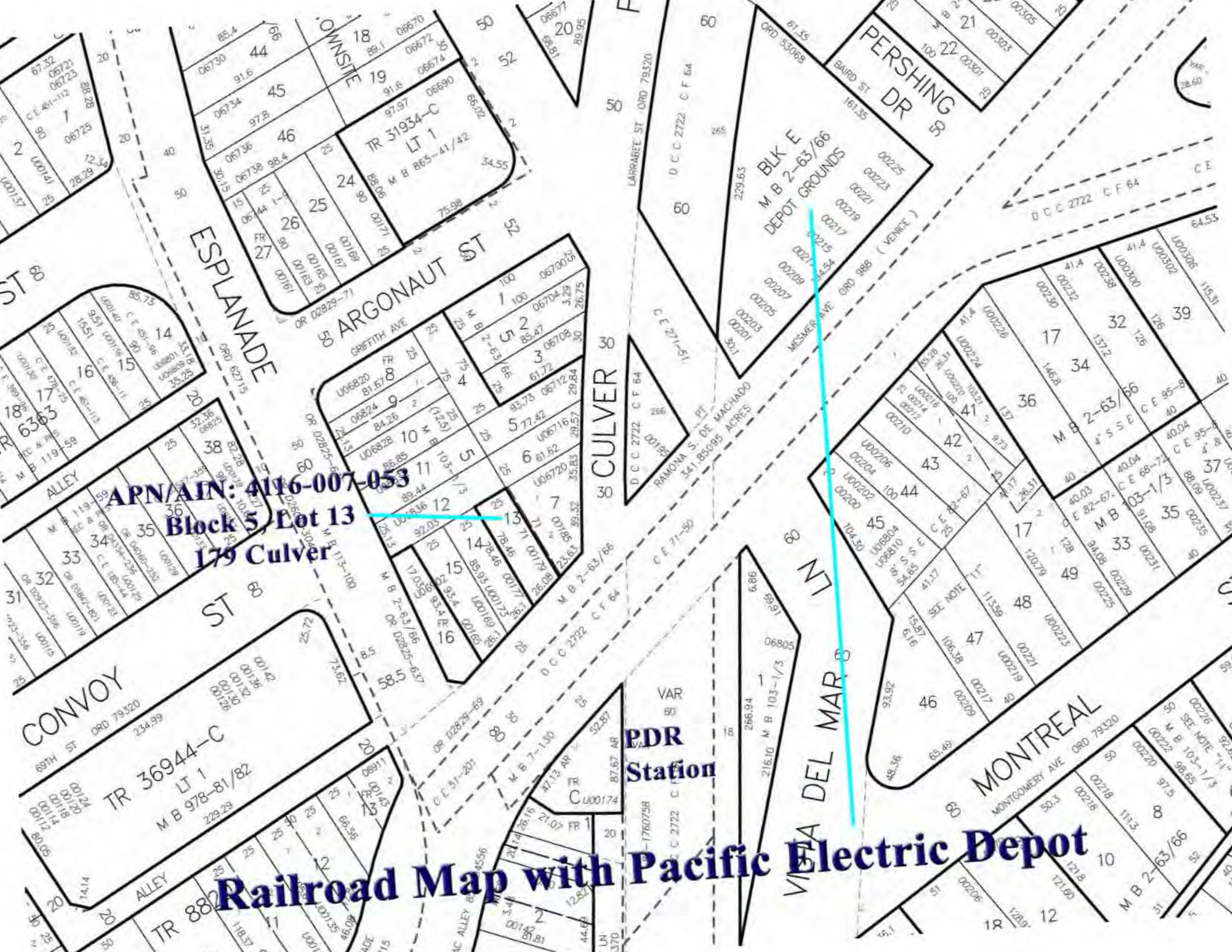
RANCHO SAUSAL REDONDO P.1-507-508
PART OF THE RANCHO LA BALLONA ALLOTTED TO THE HEIRS OF AUGUSTINA MACHADO M.R.3-204-209
PLAYA DEL REY TOWNSITE M.B.2-63-66
A PORTION OF PLAYA DEL REY TOWNSITE M.B.7-130
TRACT NO. 8557 M.B.103-1-3

LOS ANGELES COUNTY

Sec. or Lot	Twp. or Block	Range	APN/AIN: 4116-007-053 Lot 13 Block 5 LAND 179 Culver															
			Value	ck	Value	ck	Value	ck	Value	ck	Value	ck	Value	ck	Value	ck	Value	ck
			1905		1906		1907		1908		1909		1910		1911		1912	
13	5		375		375		375	600	250		250		250		250	41567	300	X

IMPROVEMENTS							
Value	Value	Value	Value	Value	Value	Value	Value
1905	1906	1907	1908	1909	1910	1911	1912
600		1500 ^a	2000	2000	2000	2000	1500

Notes: The land and the building were assessed in 1905 for \$375 and \$600 respectively. This is the first year for which there are records. The Beach Land Company paid the taxes. The land was assessed again in 1906 but the building was not - likely due to the Great SF Earthquake of 1906 to see if it was still structurally sound in light of what had happened with other similar structures in SF. Other brick buildings of this type were closed and inspected around LA as well. Joseph Mesmer executed a new indenture for the land and the building in 1907 (due in 1915). The building was reassessed to \$1500; the value of the land remained \$375.



APN/AIN: 4116-007-053
Block 5, Lot 13
179 Culver

PDR
Station

Railroad Map with Pacific Electric Depot

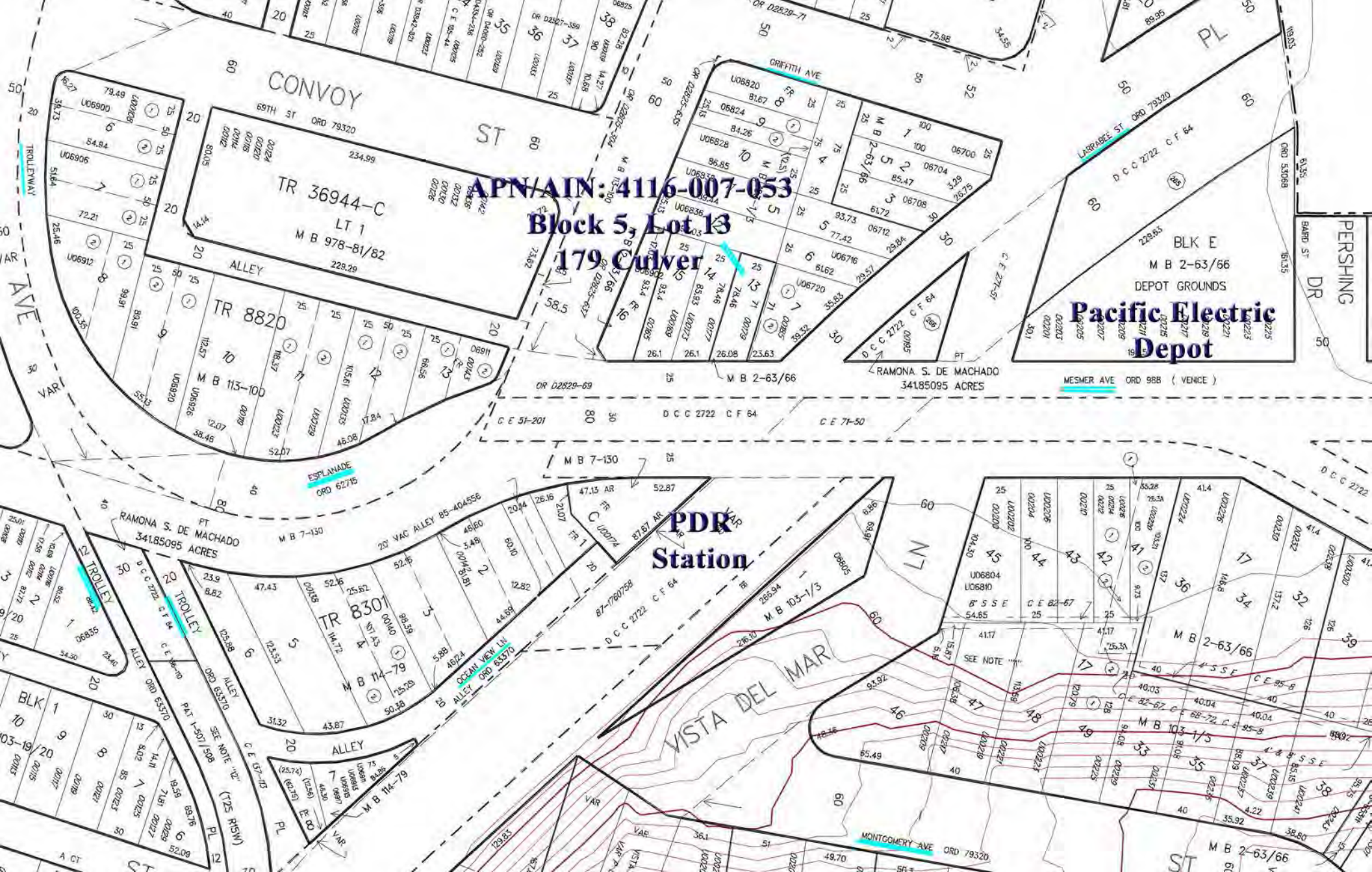
APN/AIN: 4116-007-053

Block 5, Lot 13

179 Culver

PDR Station

Pacific Electric Depot





Photograph of an architectural rendering of proposed improvements to Playa del Rey lagoon, ca.1905.

Surrounding the lagoon is a park-like environment decorated with trees, fountains, walkways, and courtyards. Inclined bleachers encircle the lagoon's waterline allowing people a spectacle view of the many water activities that go on within the lagoon (i.e. boating, sailing, or kayaking). Three Chinese-style pavilions (two of them with pagoda-style towers) are built over the mouth of the lagoon. Pier-like bridges support several pavilions while allowing water to enter or exit the lagoon. Torii's decorate the pier's walkway can be seen in the lagoon at the end of supporting platforms.; "The Playa del Rey area, located about two miles south of Kinney's Venice of America resort, was once, centuries ago, the mouth of the Los Angeles River. But after the river shifted course to begin emptying in Los Alamitos Bay in Long Beach, it left behind a sleepy lagoon more than two miles wide and one fifth of a mile wide with a trickle of fresh water flowing to sea along La Ballona Creek. Nearly 100 lots were sold for prices ranging from \$500 to \$1500 at a July 16th auction and more were sold in August and September. With the completion of the Sherman and Clark owned Los Angeles Pacific electric trolley line, the 'Short Line,' to Los Angeles on October 19, 1902, hundreds began visiting the new resort. A pavilion and small hotel were eventually built in Oriental craftsman rather than Venetian style, around the lagoon in 1904, but few investors actually built on their lots. While Playa del Rey was considered a modest success in attracting day tourists, it proved to be Abbot Kinney's inspiration and served as an example of a resort that wasn't large enough in scope to attract investors or excite the public. The company built an impressive three-story, \$100,000 pavilion with restaurant and dining rooms, bowling alleys and dance floor. Sherman and Clark's Los Angeles Pacific Railway Company built the \$200,000 Hotel Del Rey with fifty guests rooms. A boat-racing course was laid out and a grandstand and boathouse erected on shore. A bridge spanned the lagoon's ocean entrance and a 1200-foot long fishing pier was built nearby." -- Unknown author.

Playa Del Rey

Attend the Great Opening Sale of Lots At Del Rey Beach Tomorrow, Special Trains at 8:30 and 10:10 a.m. Via Santa Fe Route.

Those who secure lots tomorrow will double their money before the season is over—the time to invest is now if you want to get the full advantage of speculative profit.

All salesmen will wear blue badges. The surveyors who will show visitors boundary lines, streets, etc., will wear red badges. Every point concerning the property will be fully and carefully explained under the direction of Alfred Solano.

Tickets Can Be Had at The Office of the Company This Morning.

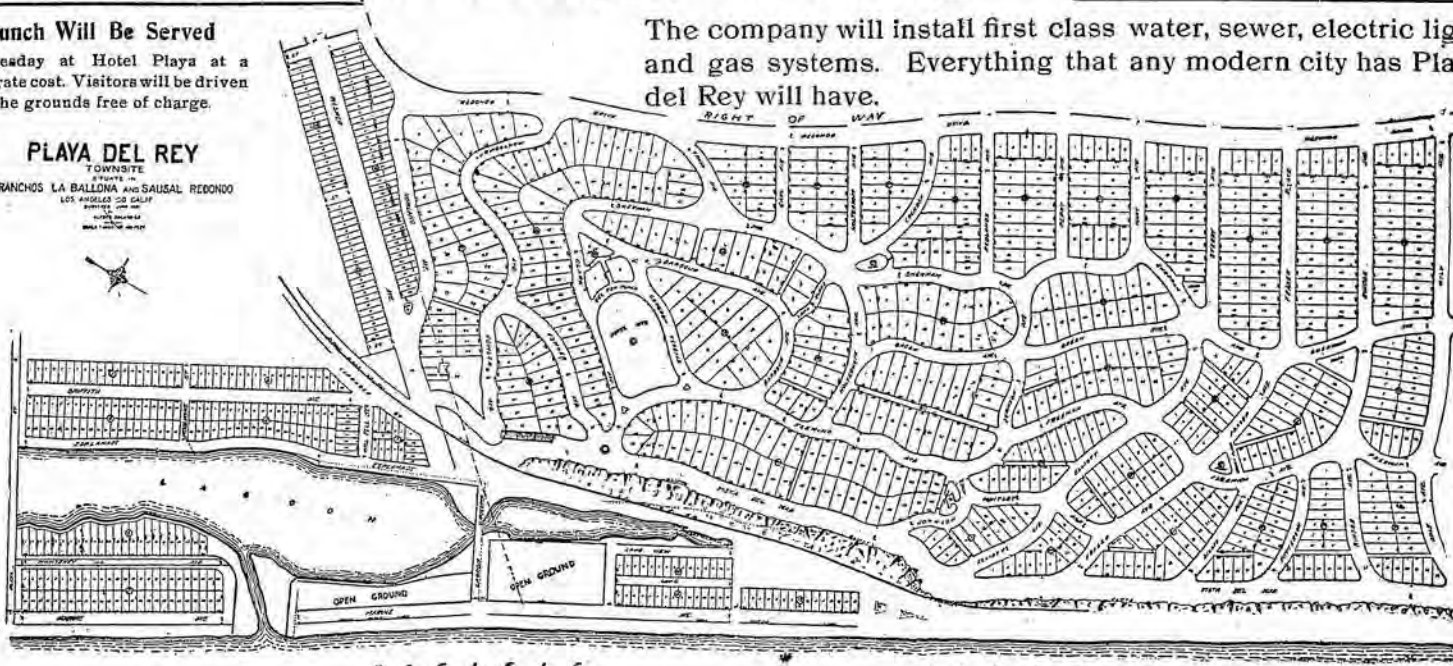
Trains will leave Santa Fe Station promptly at the advertised hours tomorrow morning. Be sure and secure your tickets today at our office in the Conservative Life building.

Lunch Will Be Served
Wednesday at Hotel Playa at a moderate cost. Visitors will be driven over the grounds free of charge.

The company will install first class water, sewer, electric light and gas systems. Everything that any modern city has Playa del Rey will have.

PLAYA DEL REY

TOWNSITE
SITUATE IN
RANCHOS LA BALLONA AND SAUSAL REDONDO
LOS ANGELES CO CALIF
OFFICE GENERAL
MEXICO CITY MEXICO



For Further Information Call at the Office of the Company.

Special Notice—In order to secure more room this company has been obliged to remove its offices to the Conservative Life building, corner of Third and Hill streets. The building is not quite completed and the best entrance to our suite can be made from the Hill street side of the building.

THE BEACH LAND CO., 219-220-221 Conservative Life Bldg, Third and Hill.

PLAYA DEL REY, CA

(PORT BALLONA)
POP 14 ELEV 20

Street or Rail Sign: Wooden, from Playa Del Rey, California, about 1902. Playa Del Rey, CA in Los Angeles County was formerly called Port Ballona, and was part of a Mexican Land Grant called Rancho La Ballona. Train service started in this area about 1902.

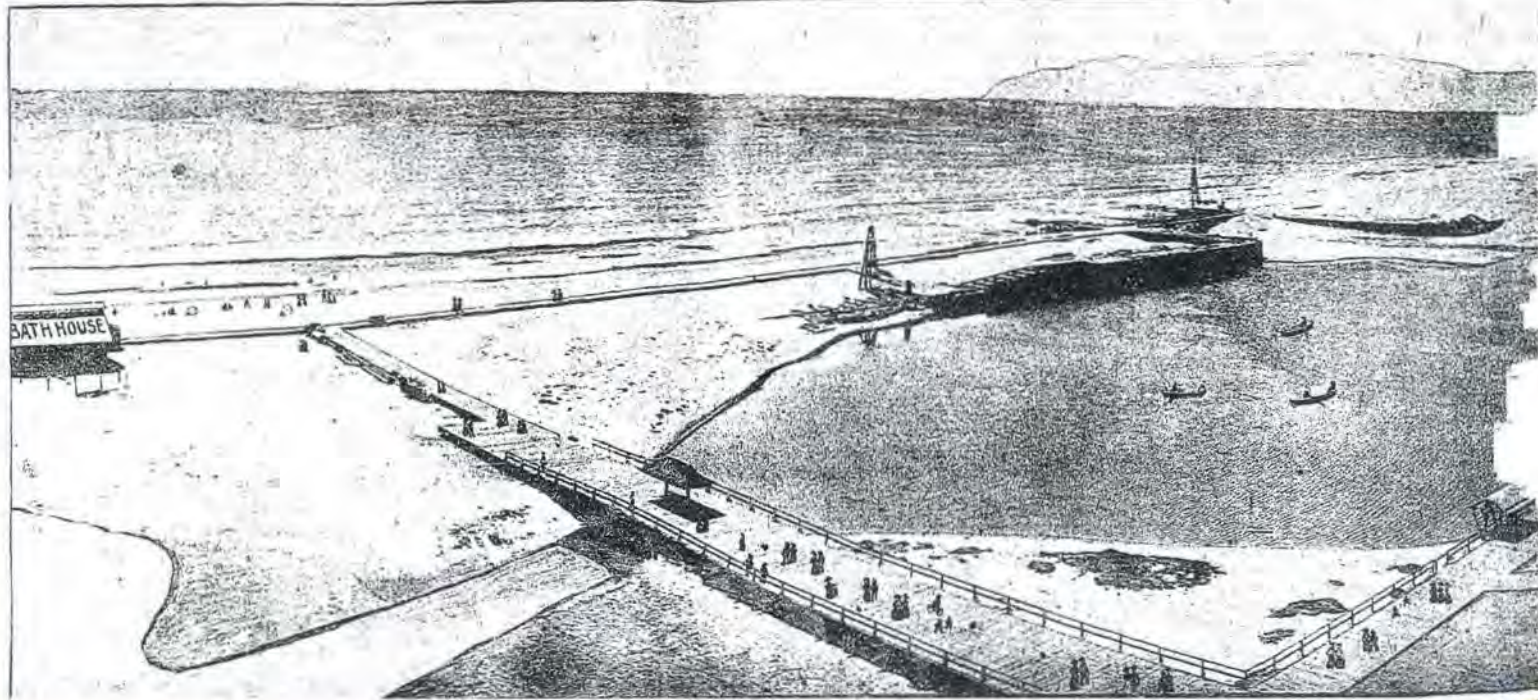
"Playa del Rey," the New City of Pleasure; It's Lagoon and Glittering ...

Los Angeles Times (1886-1922); Aug 24, 1902;

ProQuest Historical Newspapers: Los Angeles Times (1881-1990)

pg. C8

"Playa del Rey," the New City of Pleasure; It's Lagoon and Glittering Breakers.



ANOTHER AMAZING SINGLE-NEGATIVE

LOS ANGELES HERALD: SUNDAY MORNING, JUNE 15, 1902.

(Los Angeles Herald: Sunday Morning, June 15, 1902)

THE BEACH LAND CO.

Henry P. Barbour, President

M. H. Sherman and Arthur H. Flemming, Vice-Presidents

A. T. Smith, Secretary

P. M. Green, Treasurer

Directors:--H. P. Barbour, M. H. Sherman, E. P. Clark, R. C. Gilles, John D. Pope, A. H. Flemming, G. I. Cochran

THE FOLLOWING BUSINESS MEN ARE THE INCORPORATORS OF THE COMPANY

F. H. Rindge, Los Angeles, Cal.
M. H. Sherman, Los Angeles, Cal.
E. P. Clark, Los Angeles, Cal.
E. T. Earl, Los Angeles, Cal.
P. M. Green, Pasadena, Cal.
H. M. Hamilton, Pasadena, Cal.
F. C. Bolt, Pasadena, Cal.
John D. Bicknell, Los Angeles, Cal.
Geo. I. Cochran, Los Angeles, Cal.

Eldridge M. Fowler, Pasadena, Cal.
Arthur H. Flemming, Pasadena, Cal.
O. T. Johnson, Los Angeles, Cal.
Walter J. Trask, Los Angeles, Cal.
H. J. Whitley, Los Angeles, Cal.
J. C. Drake, Los Angeles, Cal.
W. E. Clark, Redlands, Cal.
A. I. Smith, Los Angeles, Cal.
Jno. A. Merrill, Los Angeles, Cal.
Henry P. Barbour, Los Angeles, Cal.

Chester A. Congdon, Duluth, Minn.
Chas. D. Frazier, New York City.
Walter Raymond, (Raymond Hotel) Pasadena, Cal.
Jno. D. Pope, Los Angeles, Cal.
Calvin Hood, Emporia, Kas.
W. C. Patterson, Los Angeles, Cal.
W. D. Woolwine, Los Angeles, Cal.
G. Holterhoff, Jr., Los Angeles, Cal.
R. C. Gillis, Santa Monica, Cal.

Alfred Solano, Landscape Engineer, Now Making Landscape Plat of Tract

The Beach Land Company has purchased the property commonly known as Ballona Beach, a short distance south of Ocean Park, and will at once proceed to expend thousands of dollars in beautifying their holdings. The Landscape improvements will be under the direction of Mr. Alfred Solano, who laid out Raymond Hill and other Southern California Show Spots. The new Beach will be known as

Playa Del Rey---The King's Beach

The Los Angeles and Pacific Company--the Sherman-Clark Electric System--now building a short line to this beach, which will make the run from Los Angeles in 25 minutes. This line will be open to the public within sixty days. Playa del Rey will be twenty minutes nearer to Los Angeles than Redondo, and ten minutes nearer than any resort within reach of Los Angeles. A \$200,000 hotel is to be constructed; the old harbor is to be made a magnificent Venetian Resort; already a number of building sites have been spoken for by leading Los Angeles business and professional men. The first sale of lots will take place on or about July first. Such building restrictions will be made as will assure the most beautiful residence and beach resort on the entire Pacific Coast. Do not make the mistake of investing in Beach property until you have seen Playa del Rey--the King of all the beaches. Proximity to the city, rapid transportation, and improvements on a grand scale, will surely enhance values and make a profit for all who invest.

For Further Information Concerning This Rare Opportunity for Investment, Write or Call Upon

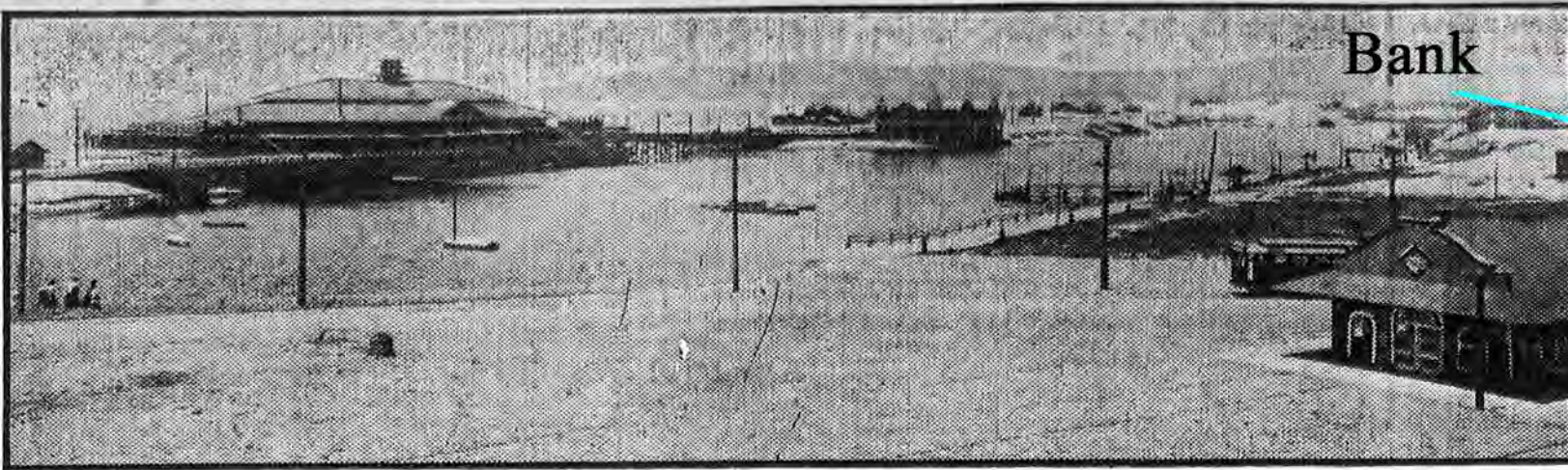
The Beach Land Company

Telephone Main 476

521-522 Stimson Building, Third and Spring Streets

Los Angeles, Cal.

Bank



10

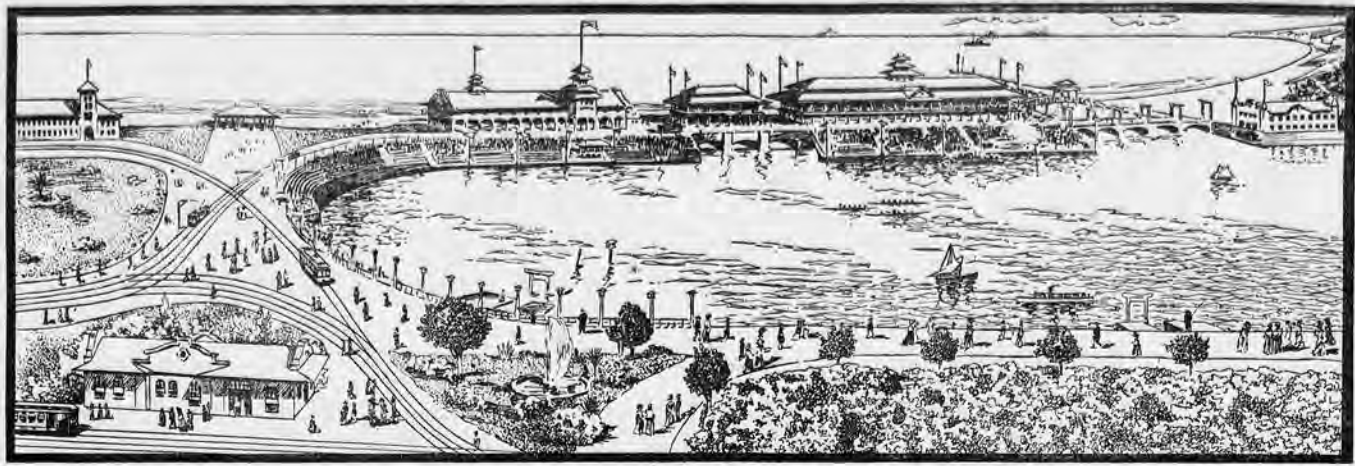
PART II.

LOS ANGELES HERALD: SUNDAY MORNING, APRIL 23, 1905.

Playa Del Rey

Still Water
Bathing
Surf Bathing
—
Calm Water
For Launches
and
Small Boats
—
Fishing
—
Over Two
Miles of
Ocean Frontage
—
Seven Miles of
Boating
in Lagoon

14 Miles
From
the City
—
Mile and a
Half Nearer
City Than
Any Other
Ocean Resort
—
All Large
Lots
—
Electric Lights
Sewers
Gas



VISIT
THE
KING'S
BEACH
TODAY

VISIT
THE
KING'S
BEACH
TODAY

The Choicest Beach Property Between San Francisco and San Diego

All Houses Built on a Uniform Line Going Unobstructed View of Lagoon and Ocean

The Nearest Beach to Los Angeles

It Has the Two-Fold Advantage of Being Both a Winter and a Summer Resort

All Lots 35 to 50 feet wide, Ocean or

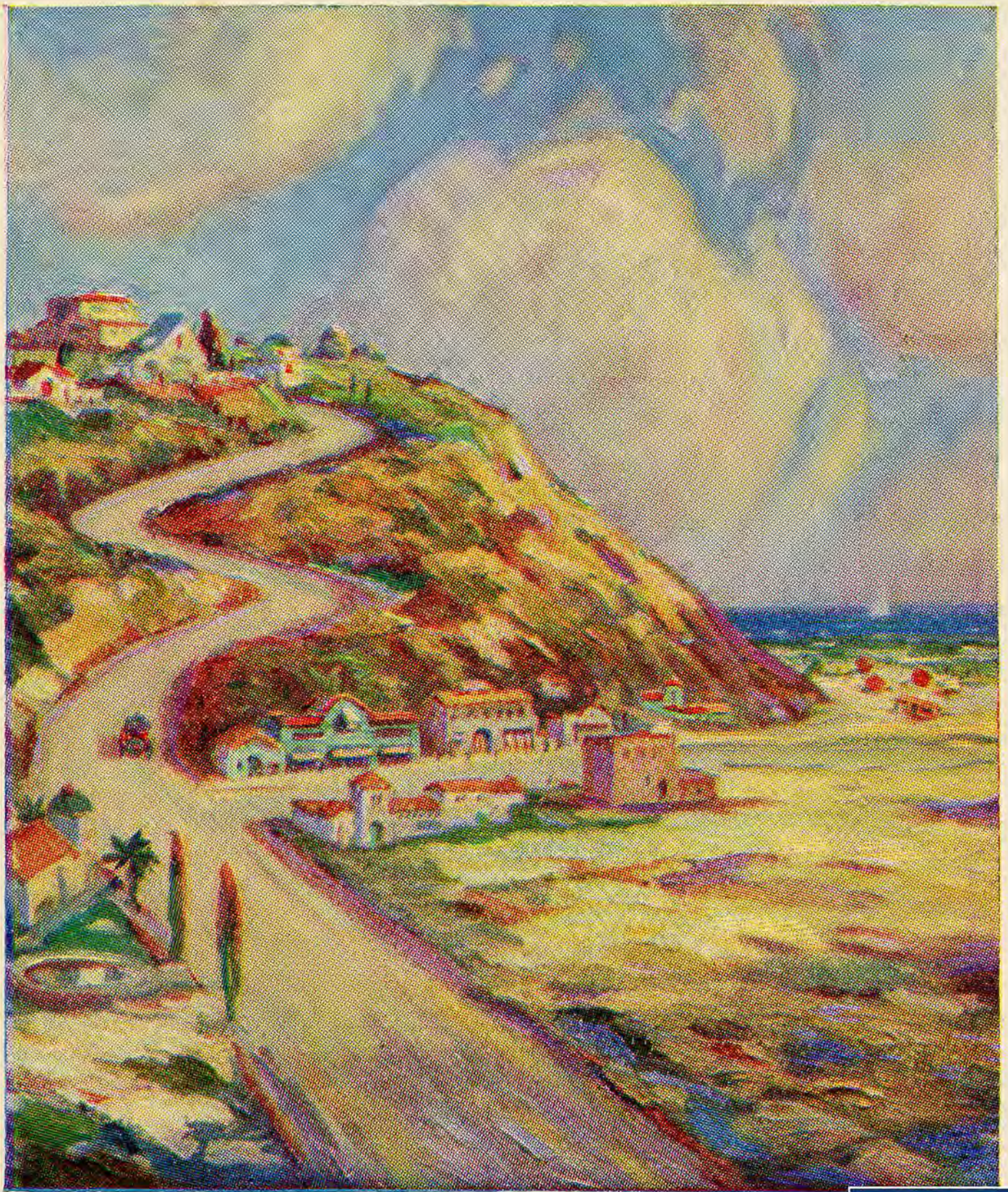
Building Restrictions, Gas, Sewers, Elec-

LOS ANGELES HERALD: SUNDAY MORNING, MARCH 25, 1906.



Harriman Has Predestined the Future of Playa Del Rey

Nothing can be more certain than its immediate and permanent possession of the title of "GEM OF THE PACIFIC."



From the Original in Oil by Battée

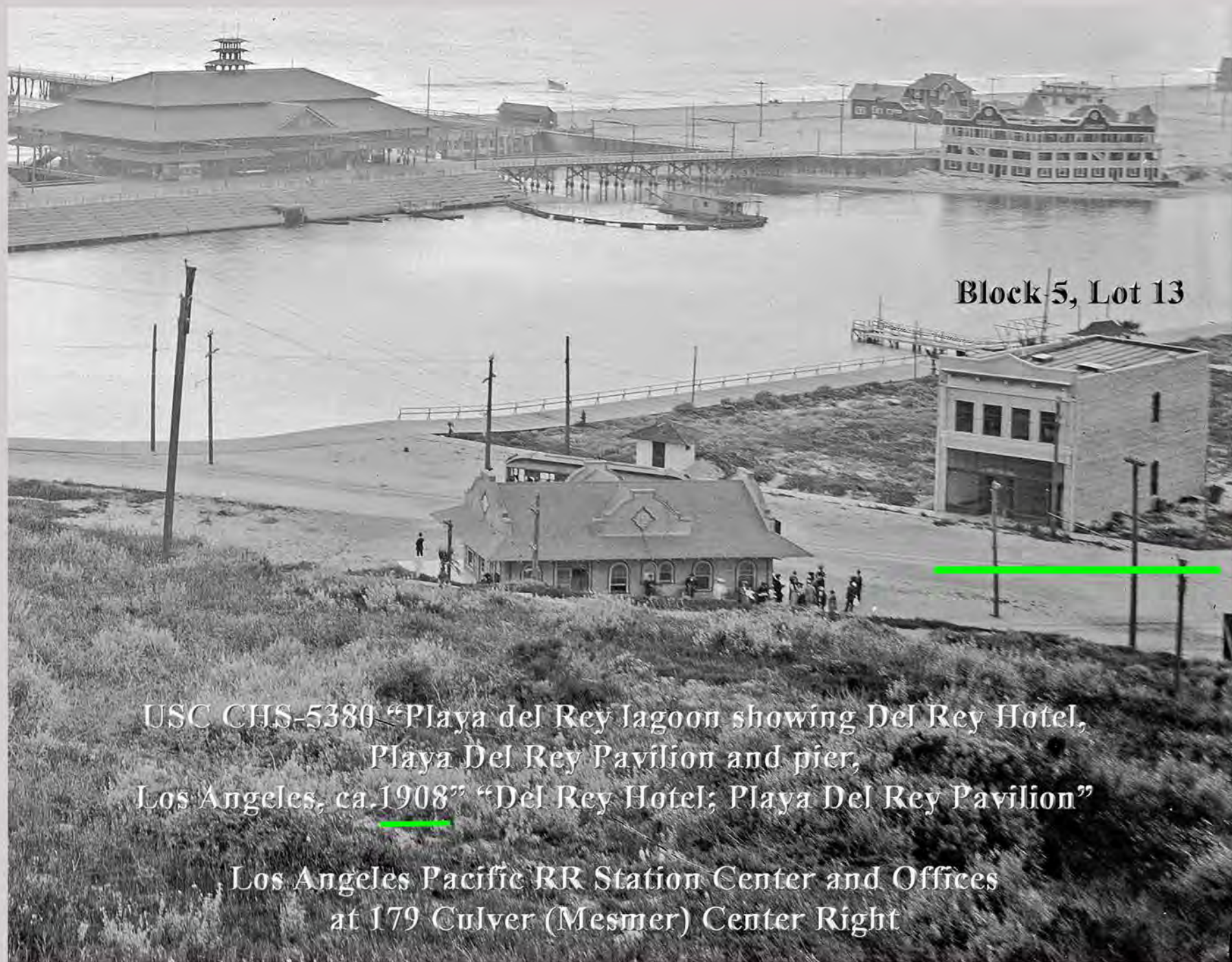
LMU|LA
William H. Hannon Library

Bank Shown - Approximately 1906-1908, est.
Color Reference OK. Other buildings not accurate.



1908

034 CHS-5380 USC PDR Lagoon



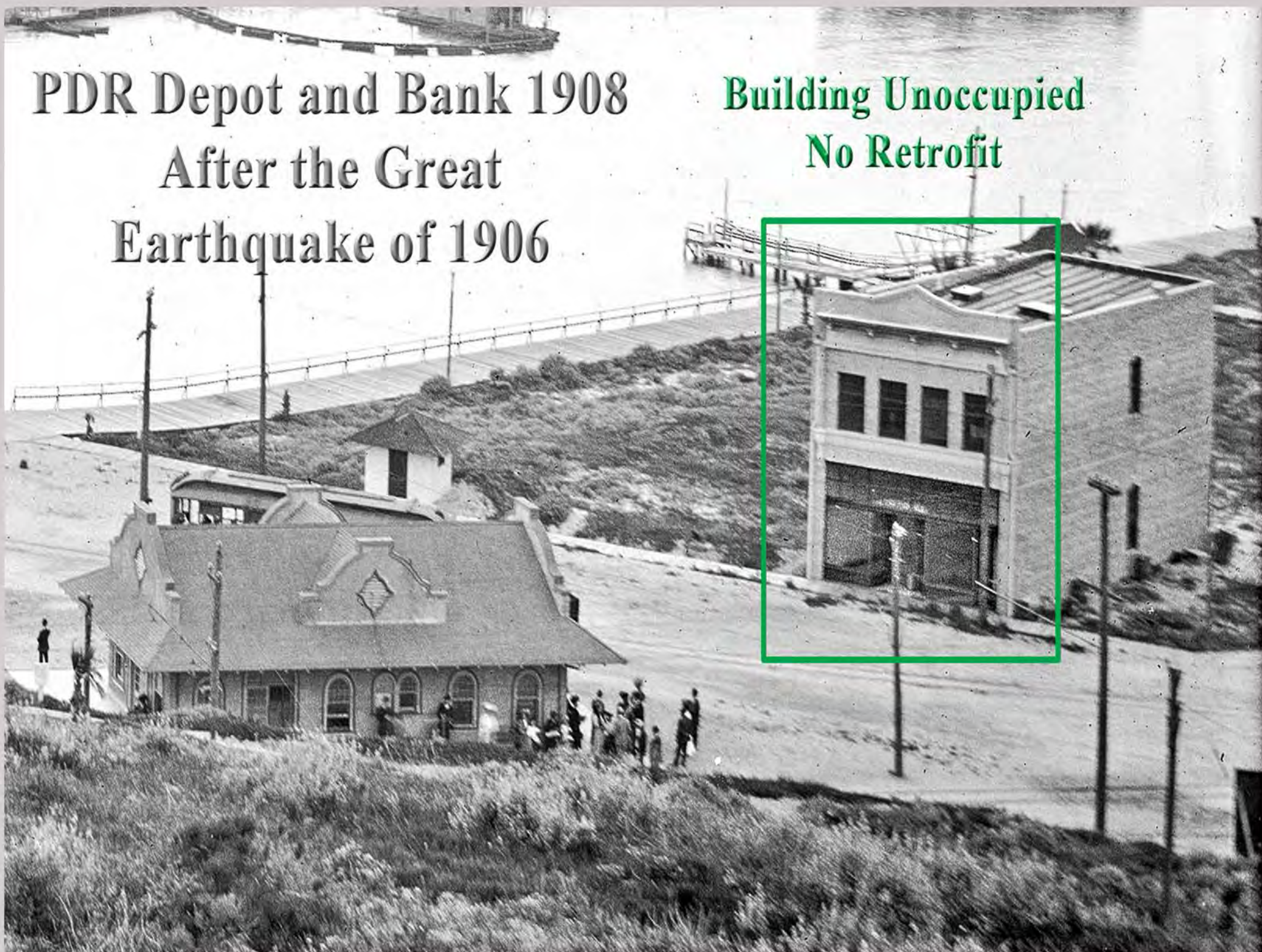
Block 5, Lot 13

USC CHS-5380 "Playa del Rey lagoon showing Del Rey Hotel,
Playa Del Rey Pavilion and pier,
Los Angeles, ca. 1908" "Del Rey Hotel; Playa Del Rey Pavilion"

Los Angeles Pacific RR Station Center and Offices
at 179 Culver (Mesmer) Center Right

**PDR Depot and Bank 1908
After the Great
Earthquake of 1906**

**Building Unoccupied
No Retrofit**

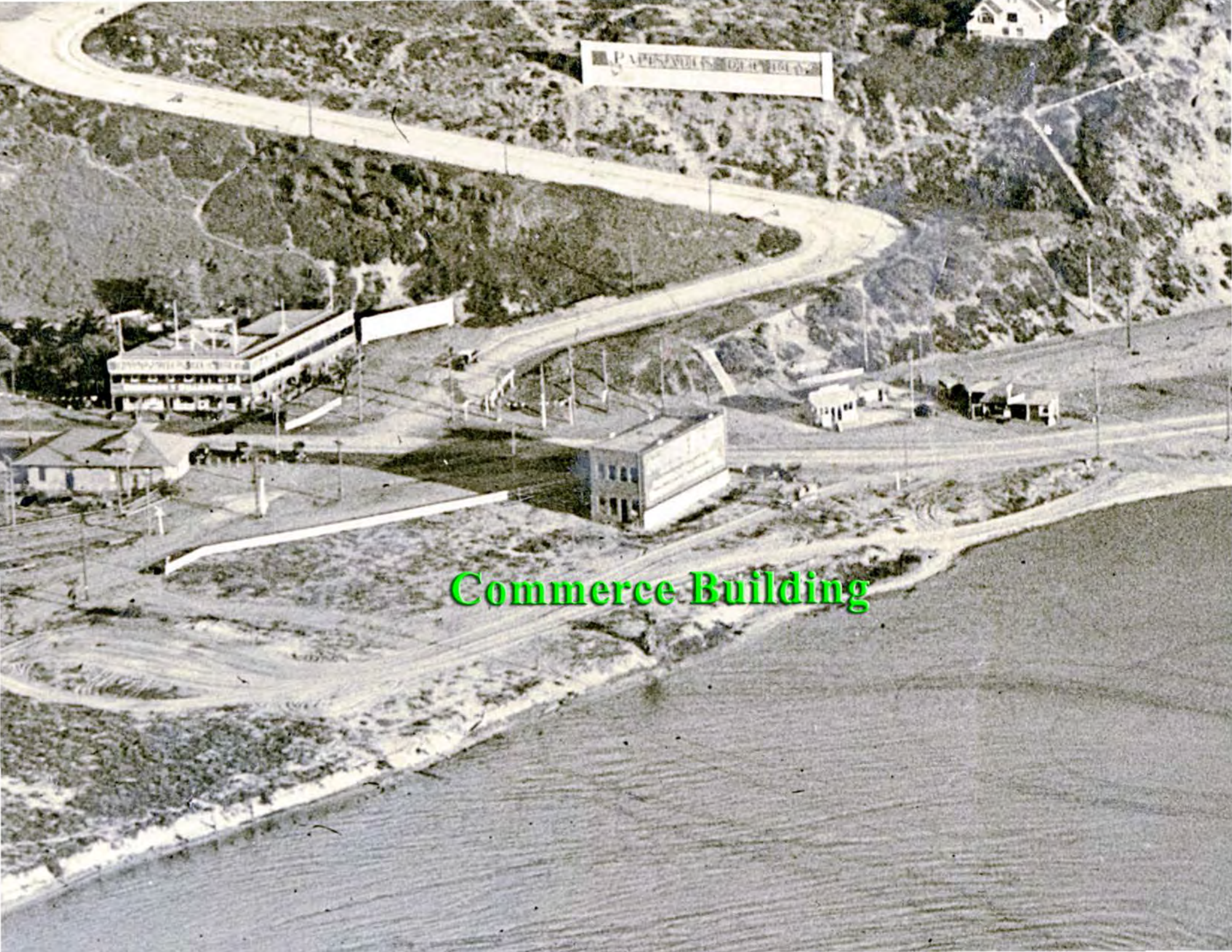




Mount Ballona



Mid-191X's Trolley Station Across the Street from Commerce Building



P. APRES... IS... OF... W... G... S...

HOTEL

COMMERCE BUILDING

Commerce Building



Commerce
Building

Early 1920's



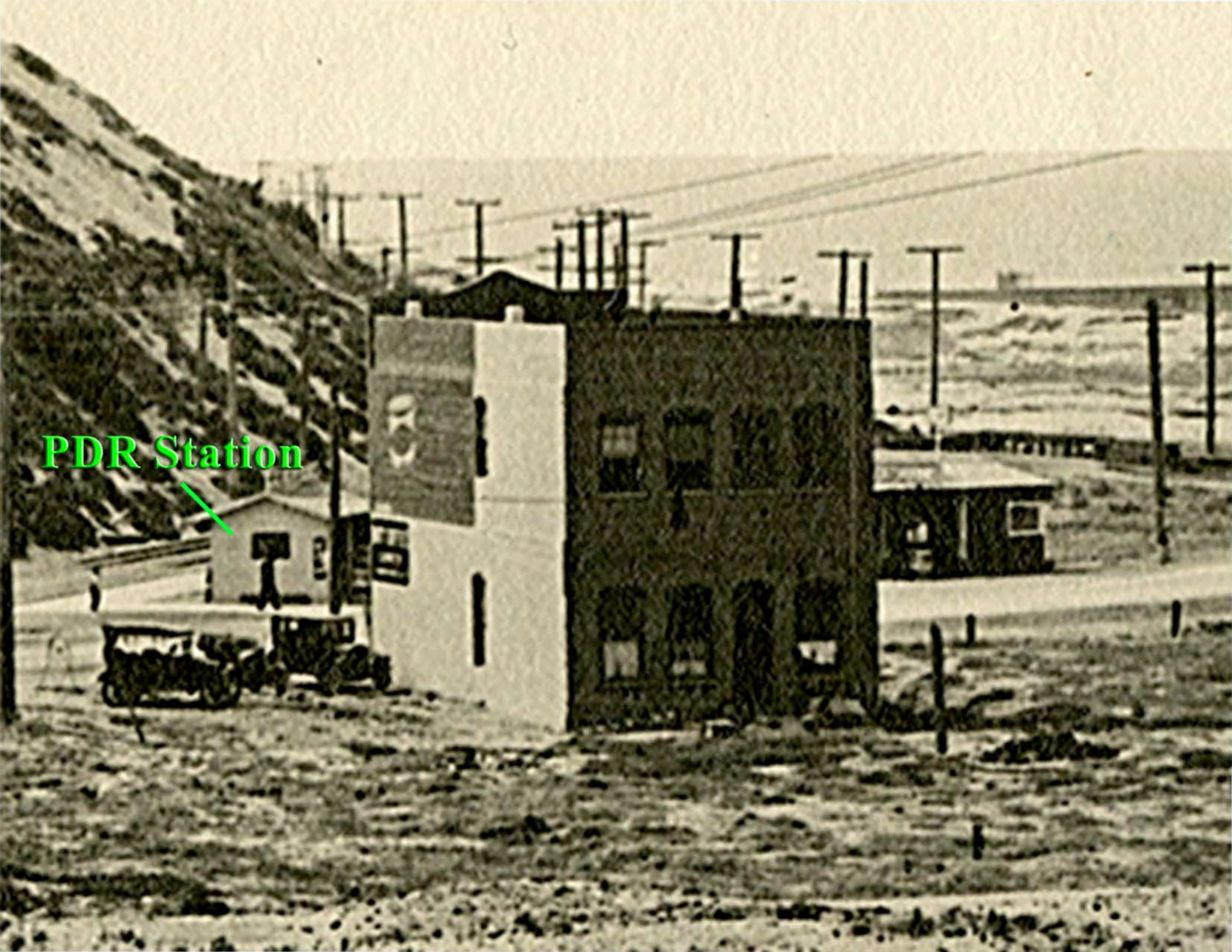
Major SELECT
WE COOK BY BOTTLES
SOFT BEANS BOTTLES COFFEE

HOT COFFEE
LUNCH
SANDWICHES 30c

WE SERVE
ARROWHEAD
GINGER ALE

GOLDEN
AMERICA

PDR Station





Approximately 1925



179 Mesmer
(Culver)
Avenue

THIS STORE
For Sale or will Lease
- THE TEAM CO. INC.
- 10000 Mesmer Ave.

Playa del Rey
Stone Pillar 1B

179 Mesmer
(Culver)
Avenue

Lot 13, Block 5

APN 4116-007-053
Tract Number 8557
Map 2/63



**D&G Era - Post 1925
SE Face**

Pressed-brick building
erected 1904. Pillar
added mid-1920's by
D&G.

Historic-Cultural Monument
(D&G building) 955
opposite across Culver
along with Application
Stone Pillar 1 A



Subject 1 B of Historic-
cultural monument
application "The Playa
del Rey Stone Pillars"



179 Culver
Boulevard. D&G and
T.O. McCoy space

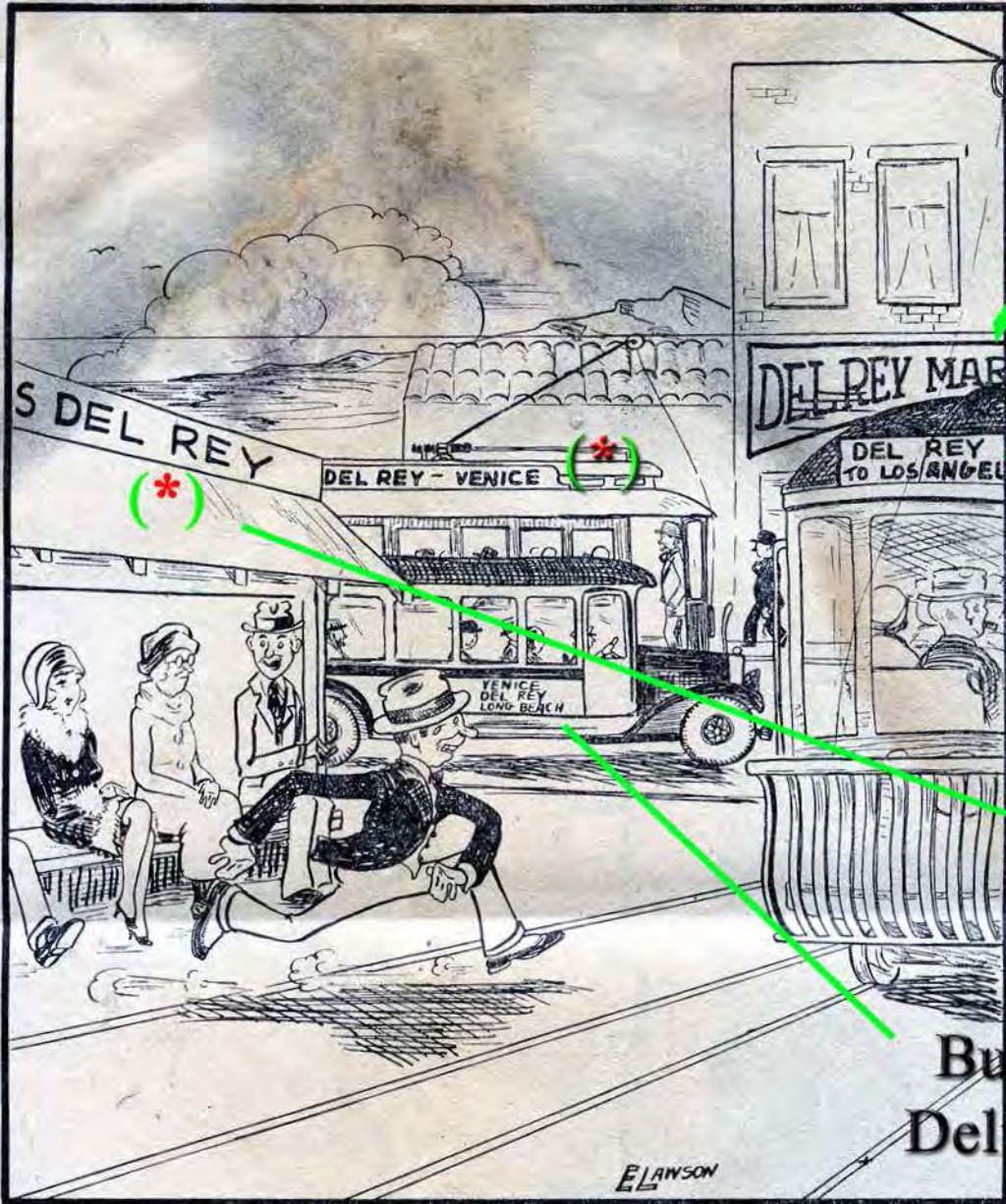
HCM 1079

This Pillar and original building still in place today.



D&G Era - Post 1925 - NE Face

37 MINUTES TO HILL STREET, LOS ANGELES



Commerce Bldg.
T.O. McCoy's
Market
Early 1930's

Pacific Electric
Red Car
Leaving Jack's
(PDR) Station (*)

Bus Reads: "Venice
Del Rey Long Beach"

(*) - Train Behind
Bus Running
PDR
<-> Venice

The artist here cartooned one of the outstanding features that is peculiar to the Del Rey beaches only. It is possible to go from Venice to the beach and back to the city in 37 minutes. This is possible because of the system of street cars and buses. The system is unique and is the only one of its kind in the world. It is the only system of its kind in the world. It is the only system of its kind in the world. It is the only system of its kind in the world.

tem, anywhere in Los Angeles or in Venice.

This makes it possible to live at the beach in an ideal home community and commute to business.

More and more people are realizing that this is possible, with the coming of Loyola University, parents of students are going to make this their home for the two reasons. Truly this is an ideal beach and university community.

Comedia Del Rey

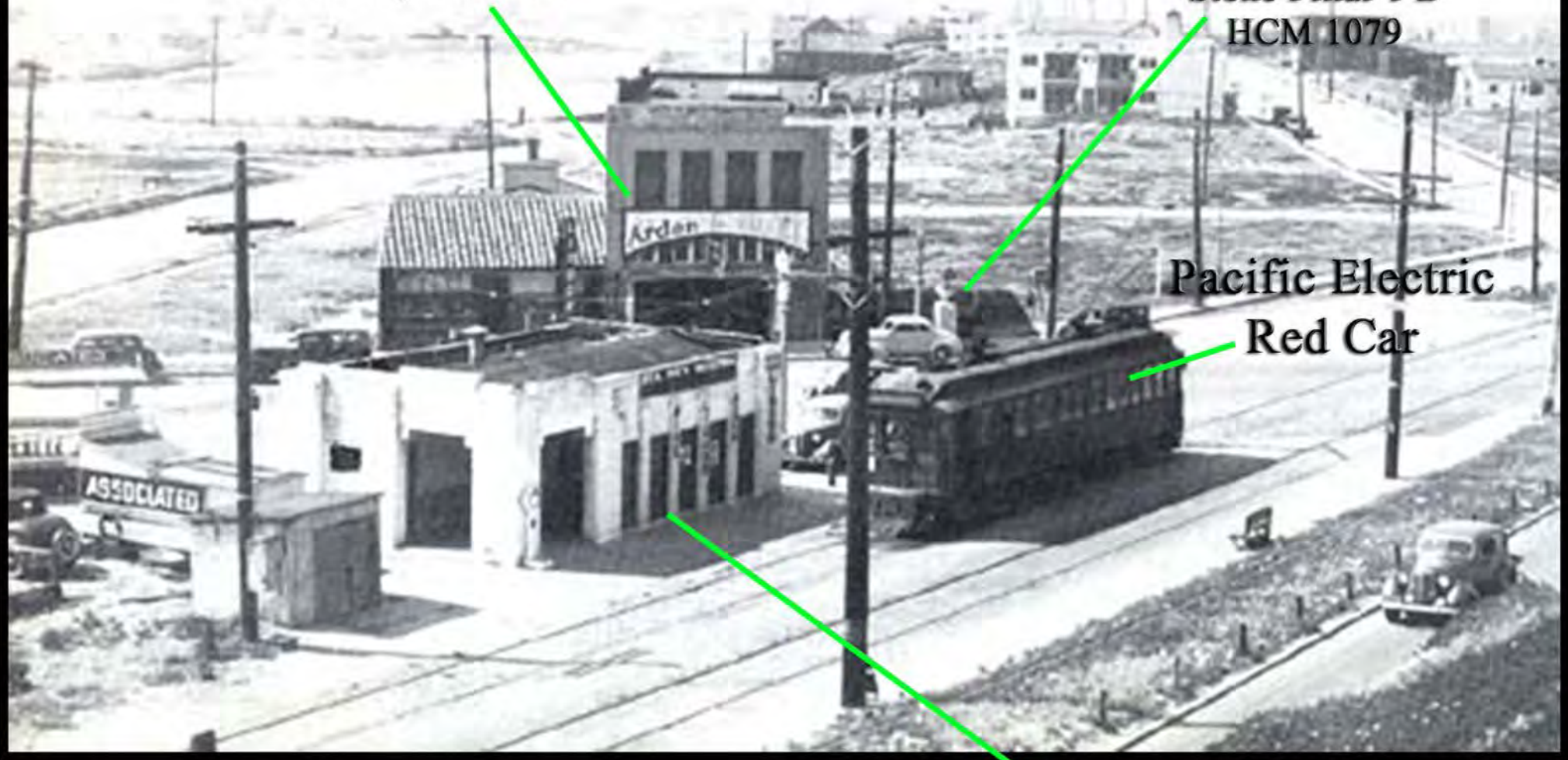


T.O. and Cora McCoye's Del Rey Co-Operative Market 1930's
T.O. was Dickinson & Gillespie's PDR Real Estate Manager

PDR Commerce Bldg.
T.O. McCoy's Market

Playa del Rey
Stone Pillar 1 B
HCM 1079

Pacific Electric
Red Car



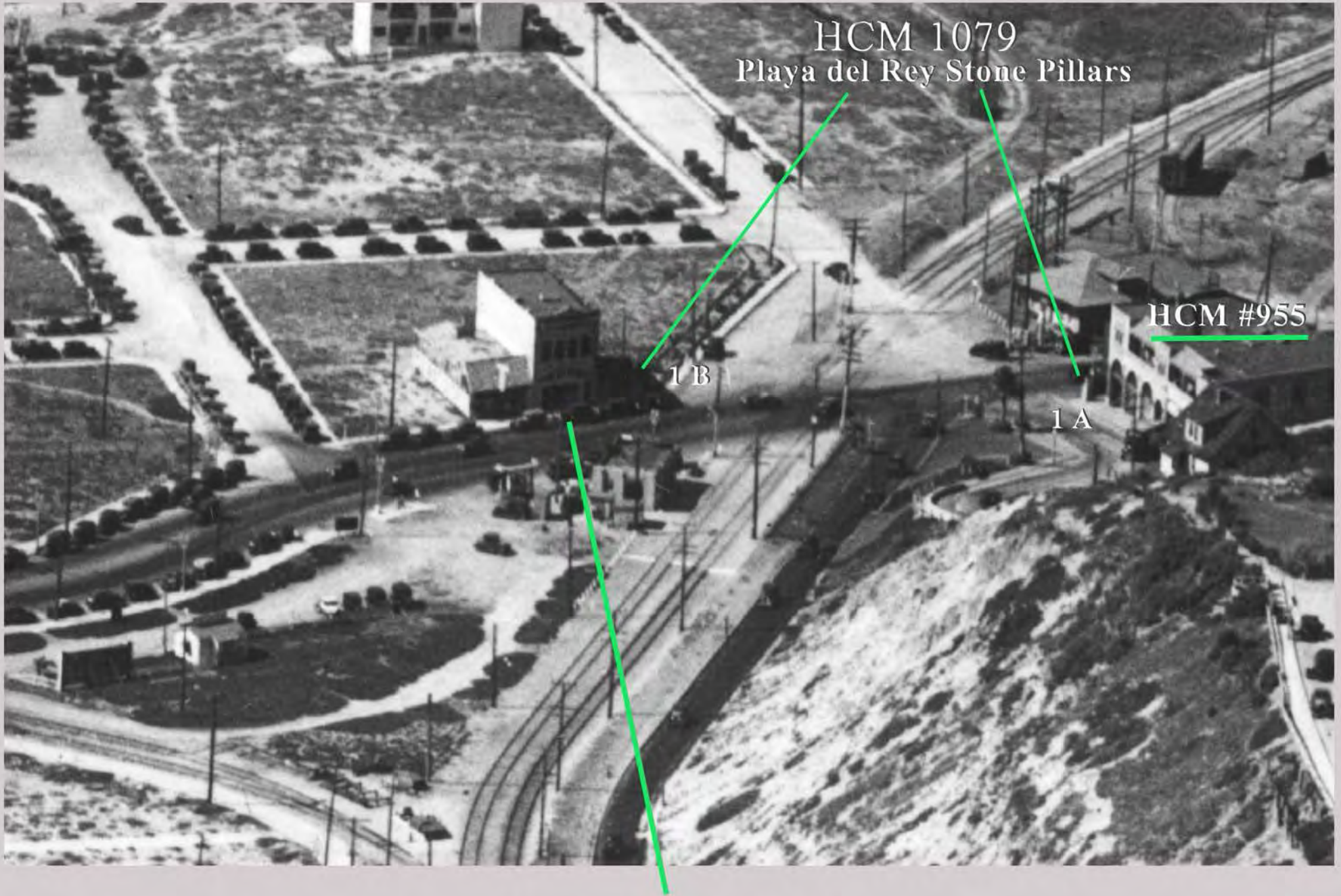
**Pacific Electric Red Car at Jack's Station/Depot
with T.O. McCoye's Del Rey Co-Operative Market
in Playa del Rey Commerce Building**

Playa del Rey Commerce Bldg.
Approx 1930

Fritz Burns' Swim Club

HCM #955





HCM 1079
Playa del Rey Stone Pillars

HCM #955

1 B

1 A

August 23rd 1931

~1940's

Jack's (PDR) Station



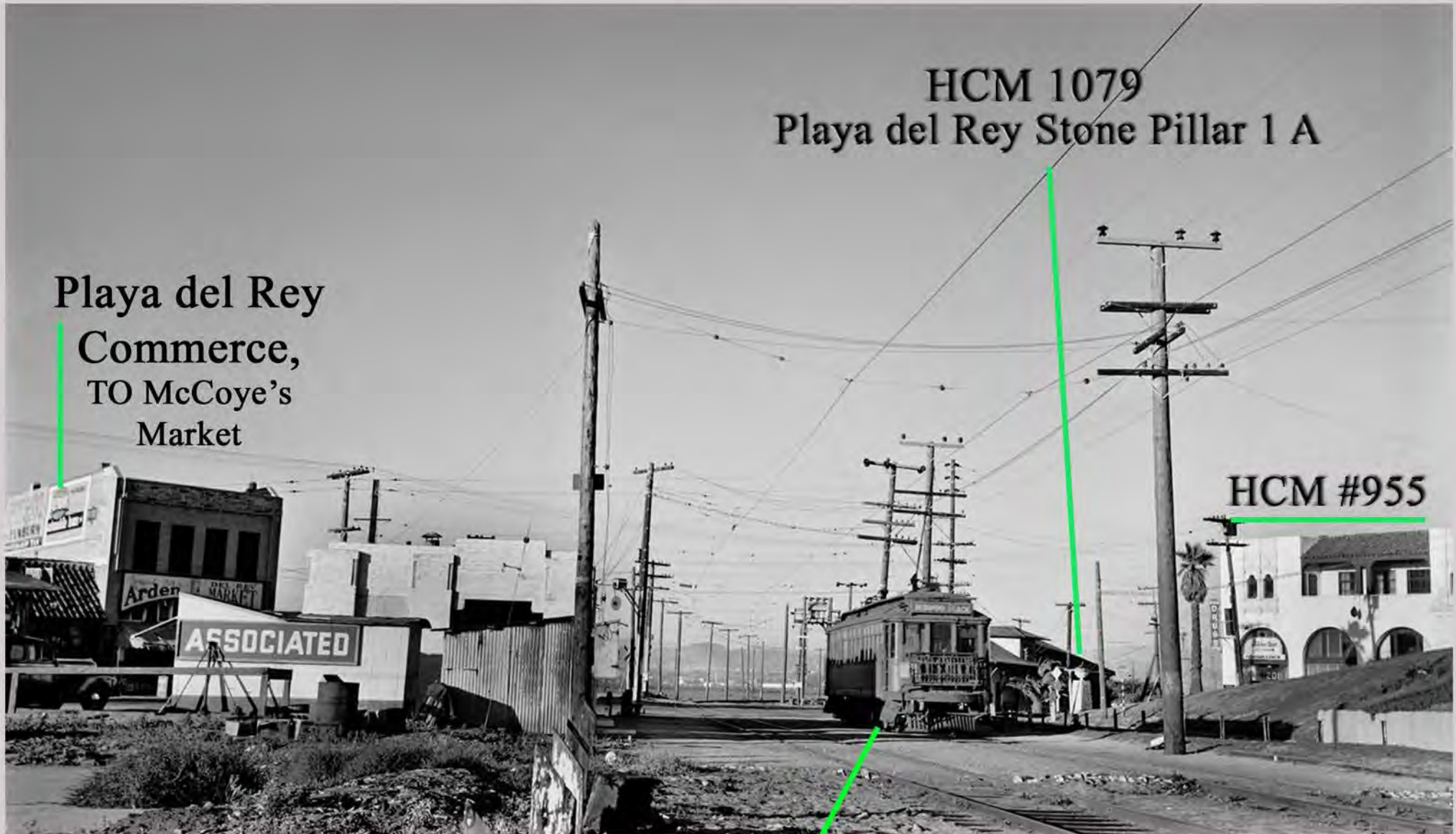
Pacific Electric RR Maintenance
Depot, Spur, and Station.
"Lot E"

Playa del Rey
Commerce Building

HCM 1079
Playa del Rey Stone Pillar 1 A

Playa del Rey
Commerce,
TO McCoye's
Market

HCM #955



Pacific Electric Red Car 1940's

HCM 955

"Jack's Cafe" - Formerly
Playa del Rey Station

Commerce
Building

August 27th 1949





Playa del Rey Hardware, Bill Goerz' Hardware Store, Chez del Rey, then Toes Tavern on left.

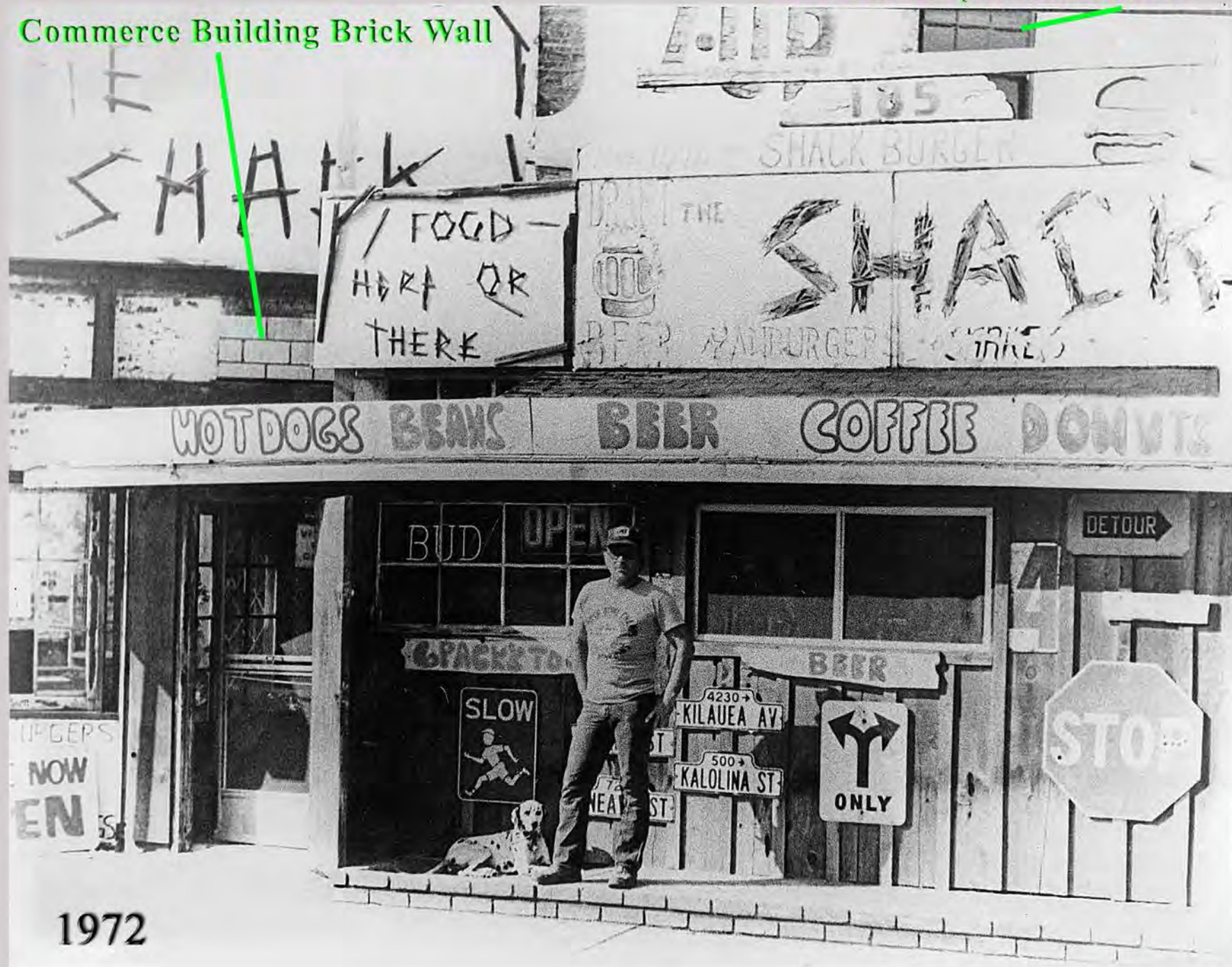


Shehady's Market in Commerce Building 1957

1972 Chuck Entrekin's "The Shack" on Side of Commerce Building

Second Floor Apartment Window

Commerce Building Brick Wall



1972



Mary L Thomson "Summer Solstice"

Courtesy Joel Thomson

1973 After Fire In Upstairs Apartments

Mary L. Thomson "Summer Solstice"



Commerce
Building

“The Shack”
(See Previous Slides)

1976 Toes Tavern. Apartments upstairs.

Commerce Building

**HCM 1079
(Hidden)**

HCM 955

Playa del Rey ~2010-2



HCM 1079

HCM 955

Playa del Rey -> Redondo Red Car 1940's



Looking North



Looking East

Playa del Rey Commerce Building

Looking West



Looking South





HCM 1079

Playa del Rey Commerce Building 2015



T.O. McCoye's (1930s) Del Rey Co-Operative Market in Present Day (2015) Playa del Rey Building, Composite

Colver Bl

Colver

1st St

CALIFORNIA
BAR & LOBBY

THE BEACH
RESTAURANT • COCKTAILS

SALEM BEACH
RESTAURANT

CANTALINI'S
Salerno Beach
RESTAURANTE
821-0010

DO NOT BLOCK
WALKWAY

ON RED



CALIFORNIA
BAR & GRILL

FIESTA WEDNESDAY
FREE BEER
\$4.99 - 2 CONSECUTIVE BEERS
WITH TACOS AND CHIPS
\$4.99 - CORONA OR
TEQUILA LIQUOR
WITH YOUR BEVERAGES

PARKING
ONLY



CALIFORNIA
BAR & GRILL

THE SWACK
Karaoke
Karaoke Every Wednesday and Friday Night
with Your Best Friend Here!
10PM-12AM
18720 Van Ness Blvd, Van Ness, CA 94133

THE SWACK

Restaurant • Cocktails

DRINKABLES

FOOD TO GO

Karaoke
Karaoke Every Wednesday and Friday Night
with Your Best Friend Here!
10PM-12AM
18720 Van Ness Blvd, Van Ness, CA 94133

Fiesta Wednesday

WAS
WELCOME TO THE NEIGHBORHOOD
CITY CENTER



CALIFORNIA
BAR & GRILL

SEASIDE MEXICAN
RESTAURANT

KARAT
310-276-1717

DISABLED
ONLY

COCKTAILS

FOOD TO GO

Karaoke NIGHT
Karaoke on Wednesday and Friday Night
Your Bartender Joys!
10PM-CLOSE
\$7 Pilsners All Bud Light and PBR

FIESTA WEDNESDAY
THE SWACK
TUESDAY - SHOOTER TACOS
WEDNESDAY - DOPP
DATE - CORONA UP
COORNA LIGHT
WITH YOUR BARTENDERS

THE
SWACK



Red-tiled roof extension of a building. A green awning covers the entrance. A sign on the wall reads:

KARATE
310-573-1788

Three-story brick building with a yellow ground floor. The ground floor has a large arched window and a double glass door. A sign on the door reads:

FARM

Address number: 129

Blue food stand with a stone pillar. Signs include:

FOOD TO GO
PASTA

Other signs: "TAILS", "KARATE", "Pasta Primavera", "Korean Beef", "Lettuce", "17 Fishes", "Red Pepper"

Utility pole and traffic light structure. The traffic light has two vertical signal heads.



NO PARKING
1 HOUR
PARKING
8:00 - 6:00
PARKING ONLY

179

181

McCartney
MARKETING



179

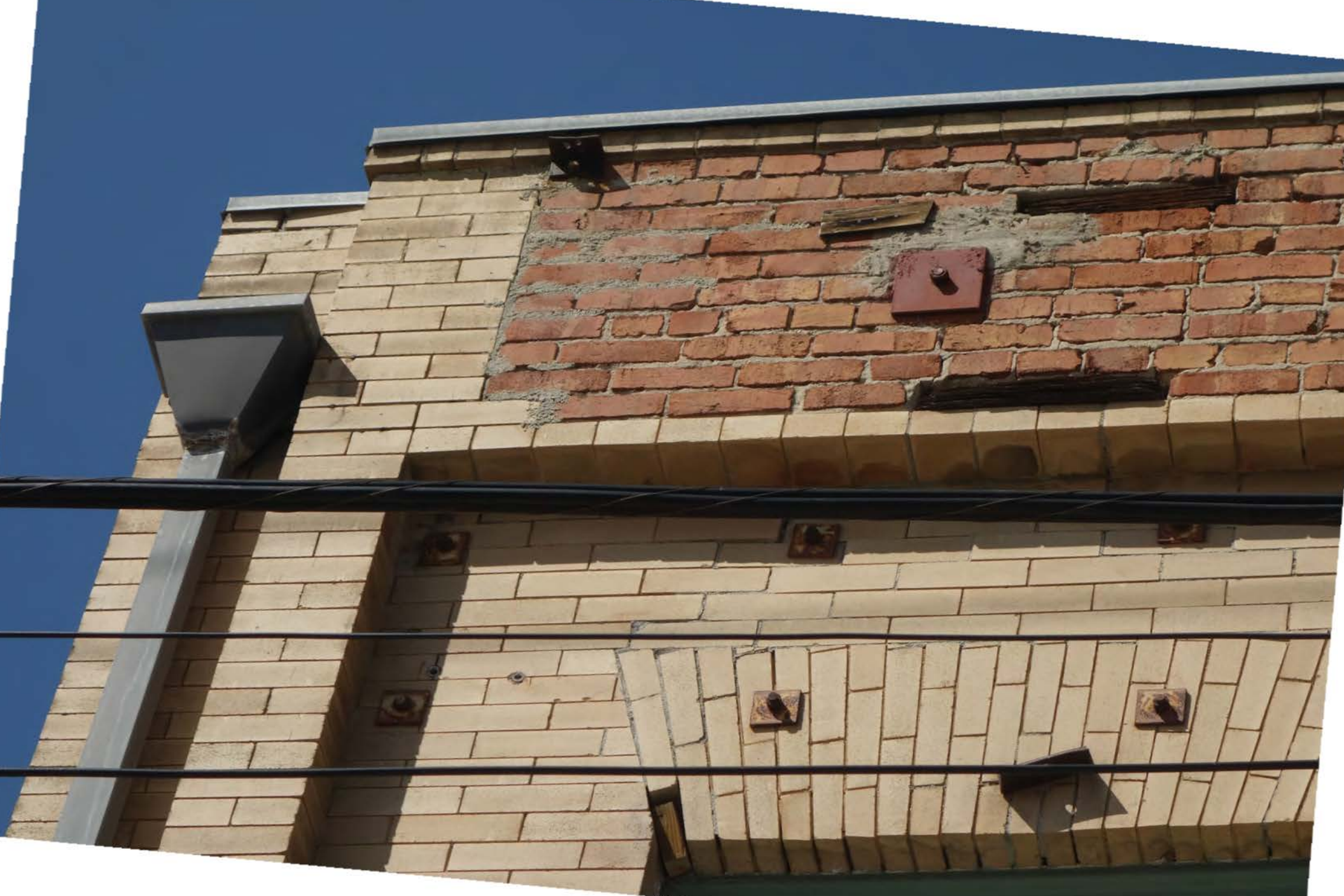
181


Your Fanz Are
FANZ

McCartney
E-MARKETING
WEB DESIGN
VIDEO PRODUCTION
MUSIC SCORING
info@mccartney.com
mccartney.com

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Finder**
Apartmentfinder.com
★★★★









SALEPA



PLAZA
DEL REY
105

ART of PILATES
Pilates • Personal • Group
310.574.6000

SEASIDE SHITO-KAN
KARATE DOJO
D. 578-1785

ART of PILATES
Pilates • Personal • Group
310.574.6000

Espla



SAN
BE

Espla







Front of Building

McCartney

CREATIVE media planning and buying
corporate branding **CONSULTING**
content licensing
e-commerce **E-MARKETING**

DATABASE DESIGN copyright protection
broadcast design and editing mobile distribution

LOGO/IMAGE AUTHORIZING

RADIO/TV SPOTS database management
podcast production
data collection and mining **COMMERCIALS**

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content management systems

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VIDEO PRODUCTION

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By Appointment Only













**Stairs Up To Second
Floor**



A

B

M

FIRE
EXIT



FIRE
EXIT

C

D

A

B

Roof Access From Second Floor Landing





M

FIRE
WARNING
INSIDE

Upstairs Stock Trader Office



Commerce Building

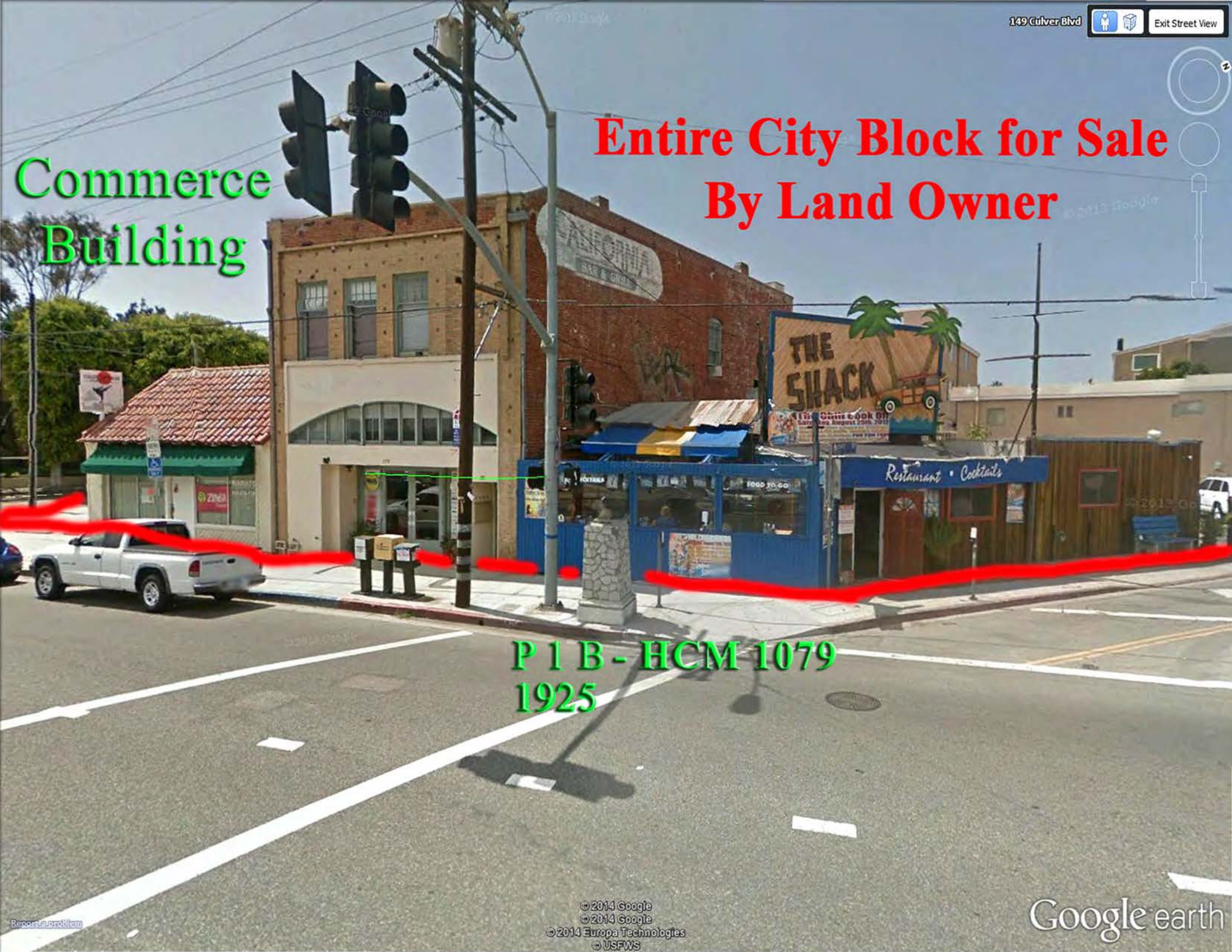
Entire Block, Including this 1904 Building, For Sale by Land Owner

HCM 1079
Playa del Rey
Stone Pillar 1B



Entire City Block for Sale By Land Owner

Commerce Building



P 1 B - HCM 1079
1925

Threats

Legado

Legado

HCM 1079

HCM 955

PIA

PIB

Land
Owner

Legado

Blaya del Rey
Commerce Building



**179 Culver Boulevard - Rough Chronology - WIP
DRAFT 2015-03-06
Tract 8557, Block 5, Lot 13**

**Owner or "To Whom Assessed"
as per LA County Assessor
Record**

Year First Assessed



The Tongva People	N/A
Spain	N/A
Mexico	N/A
La Ballona Rancho 1839 (1)	N/A
Block 5, Lot 13 Officially Created	9/10/1902 (7)
Del Rey (Mesmers) Company (2)	1905 (3)
A.M. Squire (OBO. TBD) (4)	1906
A.M. Squire (OBO. TBD) (5)	1907
Charles Mettler (6)	1911
Joseph L. Walter	1915
Helda S. Walter (Inherited?)	1925
Thurlow Orrin McCoye	1927
T.O. & Cora McCoye	1928
TO & Cora McCoye Sold Lot 13	8/29/1947

1) - La Ballona Rancho, or as it was named in the original document "La Ballena" (the whale), was formally granted to a company composed of Augustin and Ygnacio Machado, Felipe and Tomas Talamantes, all citizens of Los Angeles, by Governor Alvarado of Mexico in 1839. Later acquired by Mesmers.

2) - Del Rey Company , AKA Louis and Joseph Mesmer started selling parcels of land acquired from the Machados over a period of years leading up to ~1902.

3) - 1905 179 Culver. Land and Two Story Brick Commerce Building Improvement First Assessed, (To Del Rey Company OBO Joseph Mesmer, TBD.)

4) - A.M. Squire (OBO. TBD) pays Land taxes, (unknown) pays for the building (Improvement).

5) - A.M. Squire or (unknown) starts paying the full taxes for both land and improvement.

6) - Charles Mettler's names starts showing up on a lot of other PDR properties in the Assessor documents.

7) - The Beach Land Company Founded 1902) was primarily a developer (and worked closely with the Mesmers (2) and many other trusts, partnerships, banks and holding companies.

Results 1-11 of 11

[First](#) [Previous](#) Page 1 of 1 [Next](#) [Last](#)
[Show All](#)

#	Doc Type	CI	Rec Date	Doc ID	1st Party	2nd Party	Legal	Remarks
1	DEG		8/29/1947	673	MCCOY	ARATIN JESS&ADA B HJ PC1	Lt 13 Blk 5 Map 2/63	Co: TIC
2	DEG		6/28/1949	88	ARATI	SHIER NAT R HENRIETTA HJ	Lt 13 Blk 5 Map 2/63	Co: TIC
3	DEG		4/10/1953	1232	SHIER	SIPPER ALBERT A&P B HJ	Lt 13 Blk 5 Map 2/63	Co: TIC
4	DEG		12/30/1953	110	SIPPE	PHILLIPS PETER F&DTHY N HJ UHI	Lt 13 Blk 5 Map 2/63	Co: TIC
5	DEG		1/29/1973	3362	SIPPE	SIPPER ALBERT A *	Lt 13 Blk 5 Map 2/63	
6	DEG		8/7/1975	1104	PHILL	SIPPER ALB A 1650	Lt 13 Blk 5 Map 2/63	Co: CTL, 16.5, \$15,000.00(est)
7	DEG		1/21/1976	3731	SIPPE	SIPPER ALB A&MARY A	Lt 13 Blk 5 Map 2/63	
8	DEG		4/21/1980	400282	SIPPER ALBERT A &	SIPPER MARY ANN	Lt 13 Blk 5 Map 2/63	
9	DED		6/22/1999	1141762	SIPPER MARY ANN ESTATE &	ENTREKIN GARY W	Lt 13 Blk 5 Map 2/63	506F, \$460,000.00(est)
10	DED		3/20/2003	795142	ENTREKIN GARY W &	ENTREKIN GARY W TRUST &	Lt 13 Blk 5 Map 2/63	APN(s): 4116-007-053
11	DED		2/27/2009	282276	ENTREKIN GARY W TRUSTEE &	ONE 81 CULVER BLVD LLC	Lt 13 Blk 5 Map 2/63 (&ST)	APN(s): 4116-007-053

Results 1-11 of 11

[First](#) [Previous](#) Page 1 of 1 [Next](#) [Last](#)
[Show All](#)

Assessor Data T.O. McCoye 1947 to Present

Parcel Details

I want to...

- Property records are kept at the West District Office
- How frequently is this site updated? (and other FAQs)

Property Information

Assessor's ID No: 4116-007-053
Address: 179 CULVER BLVD
 LOS ANGELES CA
 90293
Property Type: Commercial / Industrial
Region / Cluster: 25 / 25627
Tax Rate Area (TRA): 00067

- View Assessor Map
- View Index map

Recent Sales Information

Latest Sale Date:
Indicated Sale Price:

[Search for Recent Sales](#)

2015 Roll Values

Recording Date: 02/27/2009
Land: \$560,899
Improvements: \$39,127
Personal Property: \$0
Fixtures: \$0
Homeowners' Exemption: \$0
Real Estate Exemption: \$0
Personal Property Exemption: \$0
Fixture Exemptions: \$0

Tax bill payment information for 2015/16, as well as any changes to the 2015 Roll Values will be available after September 30, 2015

- Estimate supplemental taxes

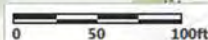
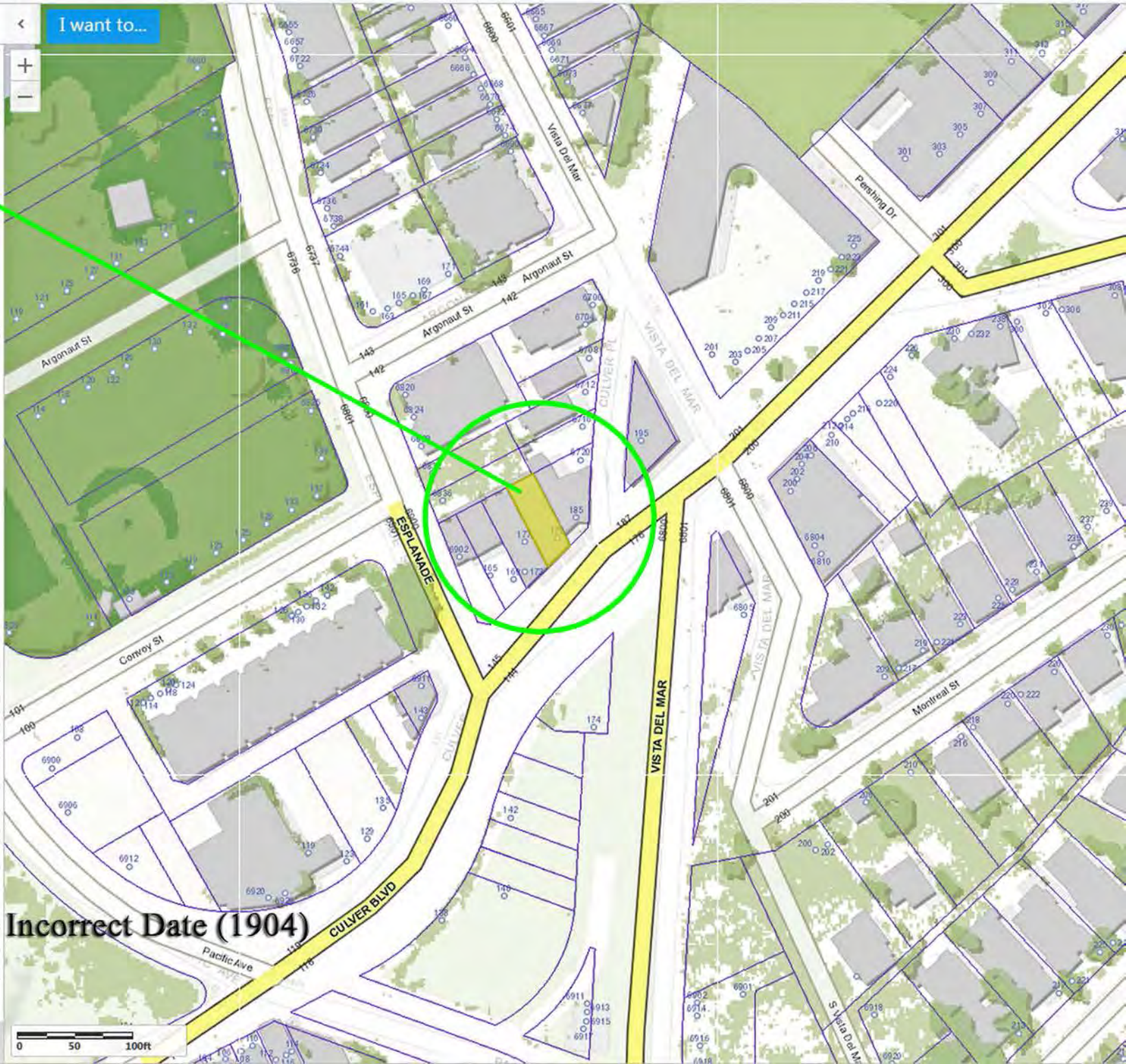
Property Boundary Description

LOT COM AT MOST S COR OF LOT 13 BLK 5
 SEE ASSESSOR MAPBOOK FOR MISSING PORTION
 PLAYA DEL REY TOWNSITE

Building Description

Building Improvement 1
Square Footage: 3,174
Year Build / Effective Year Built: 1911 / 1920
Bedrooms / Bathrooms: 0 / 0
Units: 0

←= **Incorrect Date (1904)**



ZIMAS

Search

Reports

Resources

New

179 E CULVER BLVD

Font: A A
A

Address/Legal

Site Address 179 E CULVER BLVD
 ZIP Code 90293
 PIN Number 096B149 449
 Lot/Parcel Area (Calculated) 1,859.1 (sq ft)
 Thomas Brothers Grid PAGE 702 - GRID A3
 Assessor Parcel No. (APN) 4116007053
 Tract PLAYA DEL REY TOWNSITE
 Map Reference M B 2-63/66 (SHTS 1-2)
 Block 5
 Lot 13
 Arb (Lot Cut Reference) None
 Map Sheet 096B149

Jurisdictional

Planning and Zoning

Assessor

Assessor Parcel No. (APN) 4116007053

Ownership (Assessor)

Owner1

Address

Ownership (City Clerk)

Owner

Address

APN Area (Co. Public Works)* 0.043 (ac)

Use Code 1210 - Store and Residential Combination

Assessed Land Val. \$560,899

Assessed Improvement Val. \$39,127

Last Owner Change 02/27/09

Last Sale Amount \$9

Tax Rate Area 67

Deed Ref No. (City Clerk) 795142

Deed Ref No. (City Clerk) 5-90

Deed Ref No. (City Clerk) 400282

Deed Ref No. (City Clerk) 4-248

Deed Ref No. (City Clerk) 282276

Deed Ref No. (City Clerk) 1141762

Building 1

Year Built 1911

Building Class CX

Number of Units 0

Number of Bedrooms 0

Number of Bathrooms 0

Building Square Footage 3,174.0 (sq ft)

Building 2 No data for building 2

Building 3 No data for building 3

Building 4 No data for building 4

Building 5 No data for building 5

Case Numbers

Citywide/Code Amendment Cases

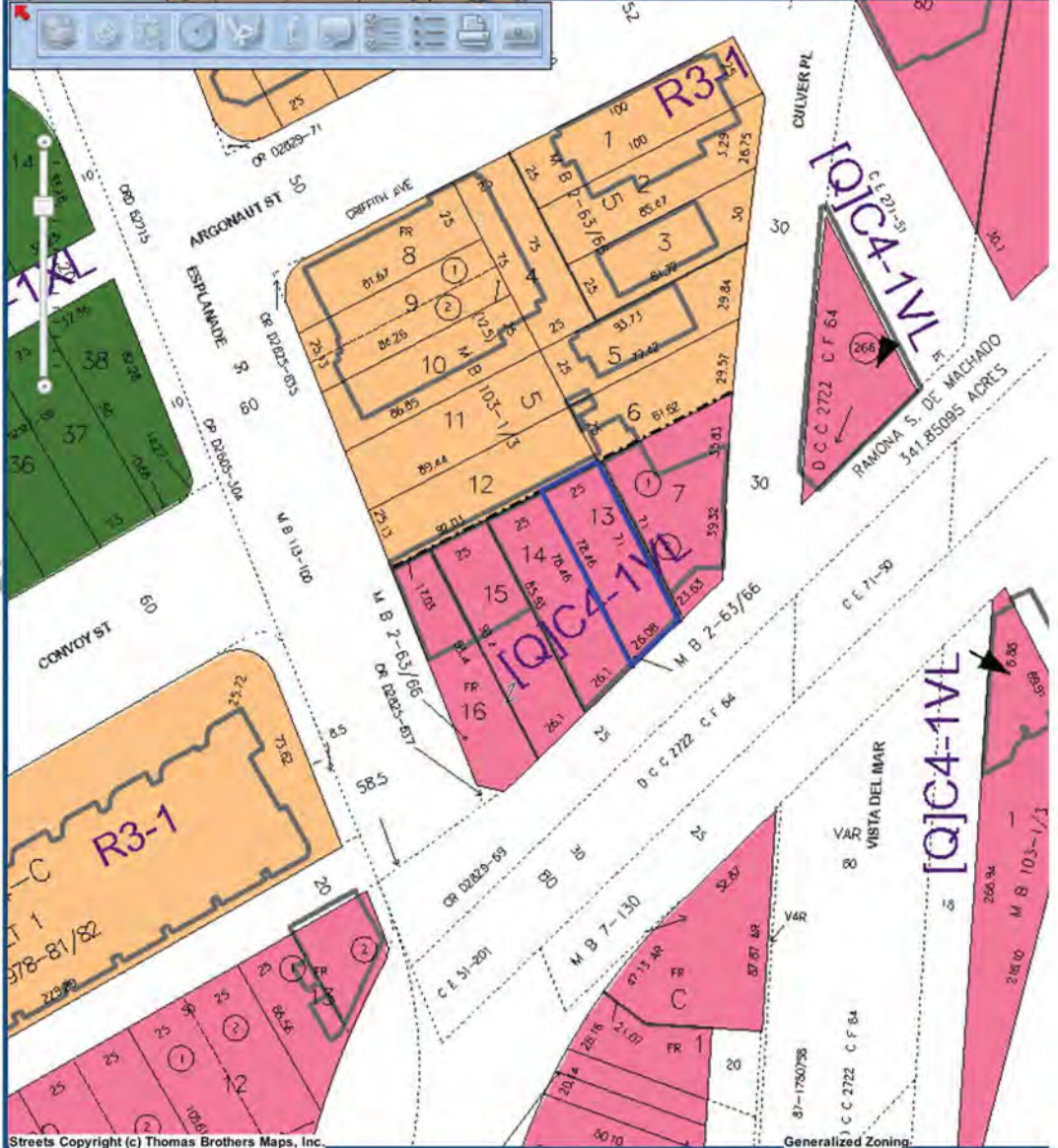
Additional

undefined

Seismic Hazards

Economic Development Areas

Public Safety



ZIMAS

Search

Reports

Resources

179 E CULVER BLVD

Font: A A

+

A

Address/Legal

Site Address	179 E CULVER BLVD
ZIP Code	90293
PIN Number	096B149 449
Lot/Parcel Area (Calculated)	1,859.1 (sq ft)
Thomas Brothers Grid	PAGE 702 - GRID A3
Assessor Parcel No. (APN)	4116007053
Tract	PLAYA DEL REY TOWNSITE
Map Reference	M B 2-63/66 (SHTS 1-2)
Block	5
Lot	13
Arb (Lot Cut Reference)	None
Map Sheet	096B149

Jurisdictional

Planning and Zoning

Assessor

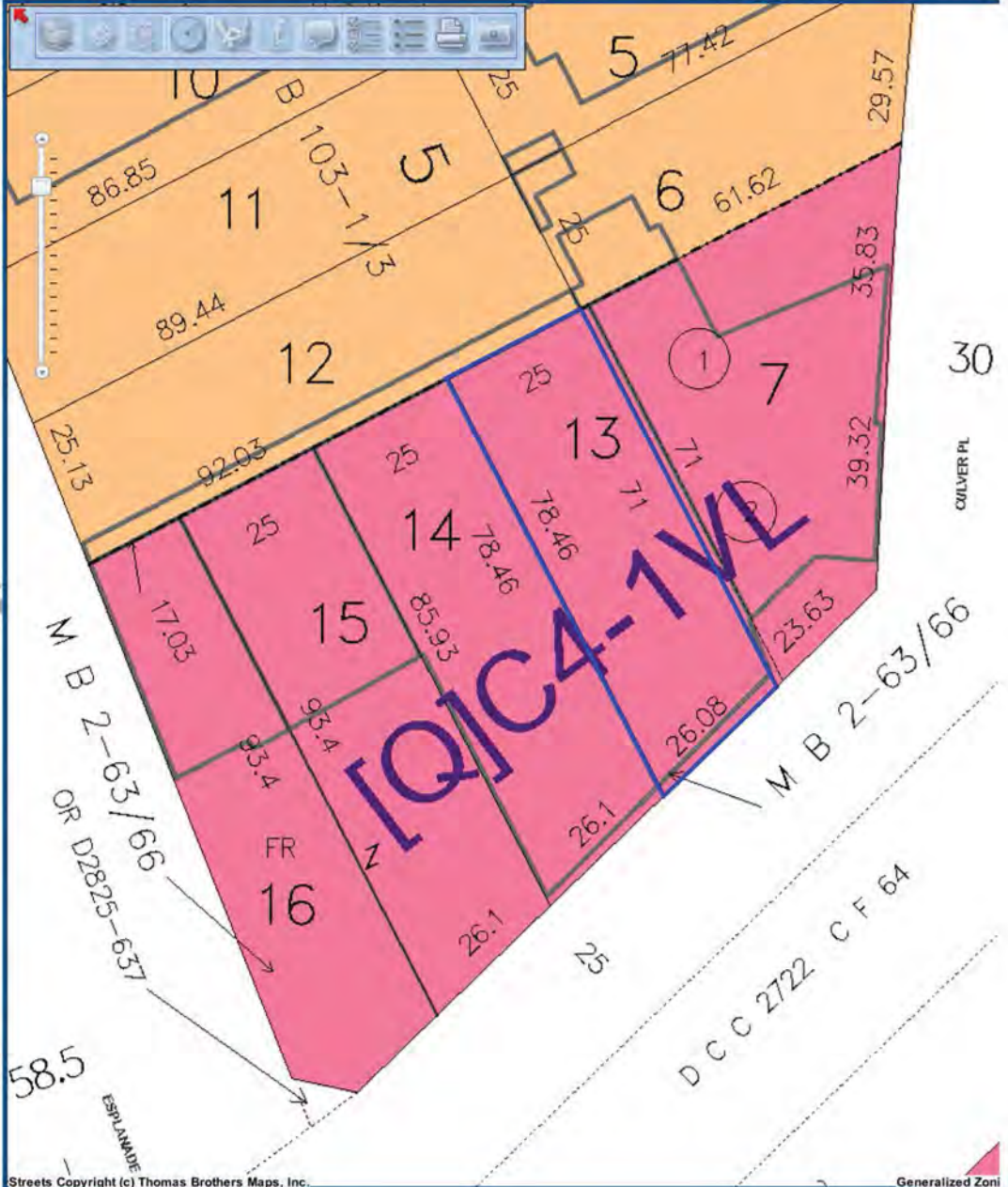
Assessor Parcel No. (APN)	4116007053
Ownership (Assessor)	
Owner1	
Address	
Ownership (City Clerk)	
Owner	
Address	
APN Area (Co. Public Works)*	0.043 (ac)
Use Code	1210 - Store and Residential Combination
Assessed Land Val.	\$560,899
Assessed Improvement Val.	\$39,127
Last Owner Change	02/27/09
Last Sale Amount	\$9
Tax Rate Area	67
Deed Ref No. (City Clerk)	795142
Deed Ref No. (City Clerk)	5-90
Deed Ref No. (City Clerk)	400282
Deed Ref No. (City Clerk)	4-248
Deed Ref No. (City Clerk)	282276
Deed Ref No. (City Clerk)	1141762
Building 1	
Year Built	1911
Building Class	CX
Number of Units	0
Number of Bedrooms	0
Number of Bathrooms	0
Building Square Footage	3,174.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5

Case Numbers

Citywide/Code Amendment Cases

Additional

undefined	
Seismic Hazards	
Economic Development Areas	
Public Safety	



Streets Copyright (c) Thomas Brothers Maps, Inc.

Generalized Zoni

see line - for 1906 see pgs 63 to 66

New Book 139

Griffith Ave
101
102
103
104
105
106
107
108
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116

13
14

New Book 139

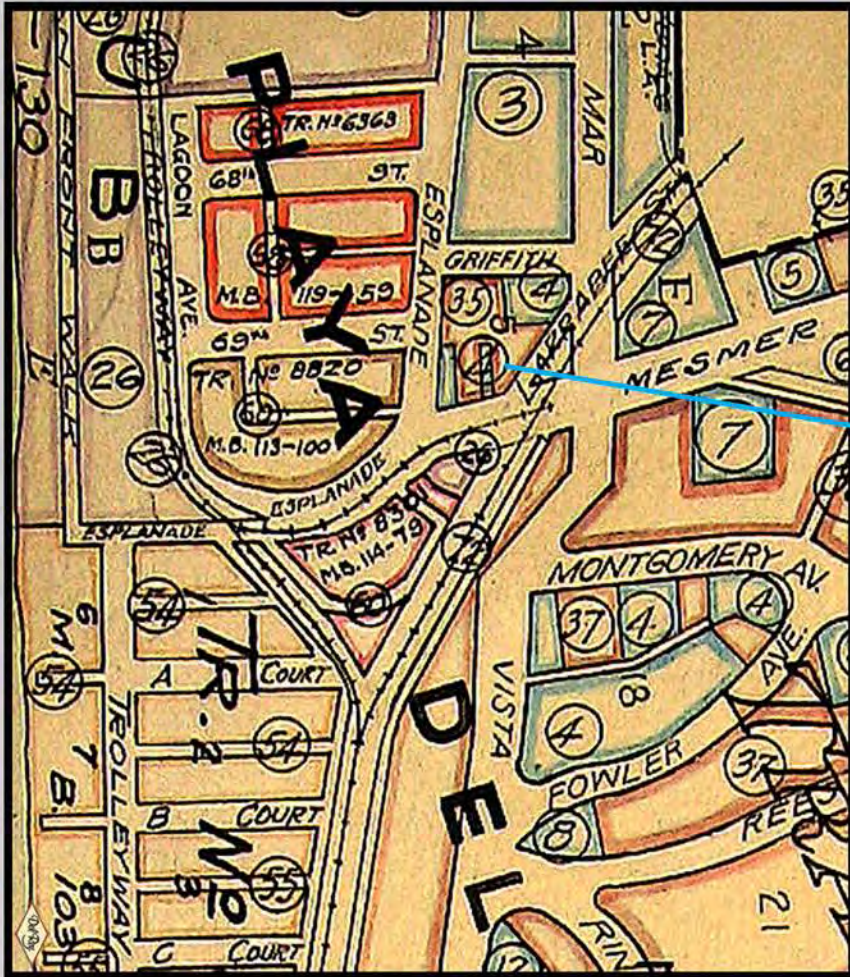
Right of Way

Block C

Block D

139 for 138
LINE BETWEEN FR
KINGWOOD

179 Culver Boulevard
Block 5, Lot 13



Tract 8557 Block 5 Lot 13 179 Culver
APN 4116-007-053
Assessor Book 139

The First Book of Playa del Rey -1902

COUNTY ASSESSOR
NO. 139

COUNTY ASSESSOR 1902-12 NO. 139



Supplemental Slides



Looking North



Legend
Playa del Rey Village

Playa del Rey Village

Google earth

© 2015 INEGI
Image Landsat
© 2015 Google
© 2015 Europa Technologies

40 ft

Looking East



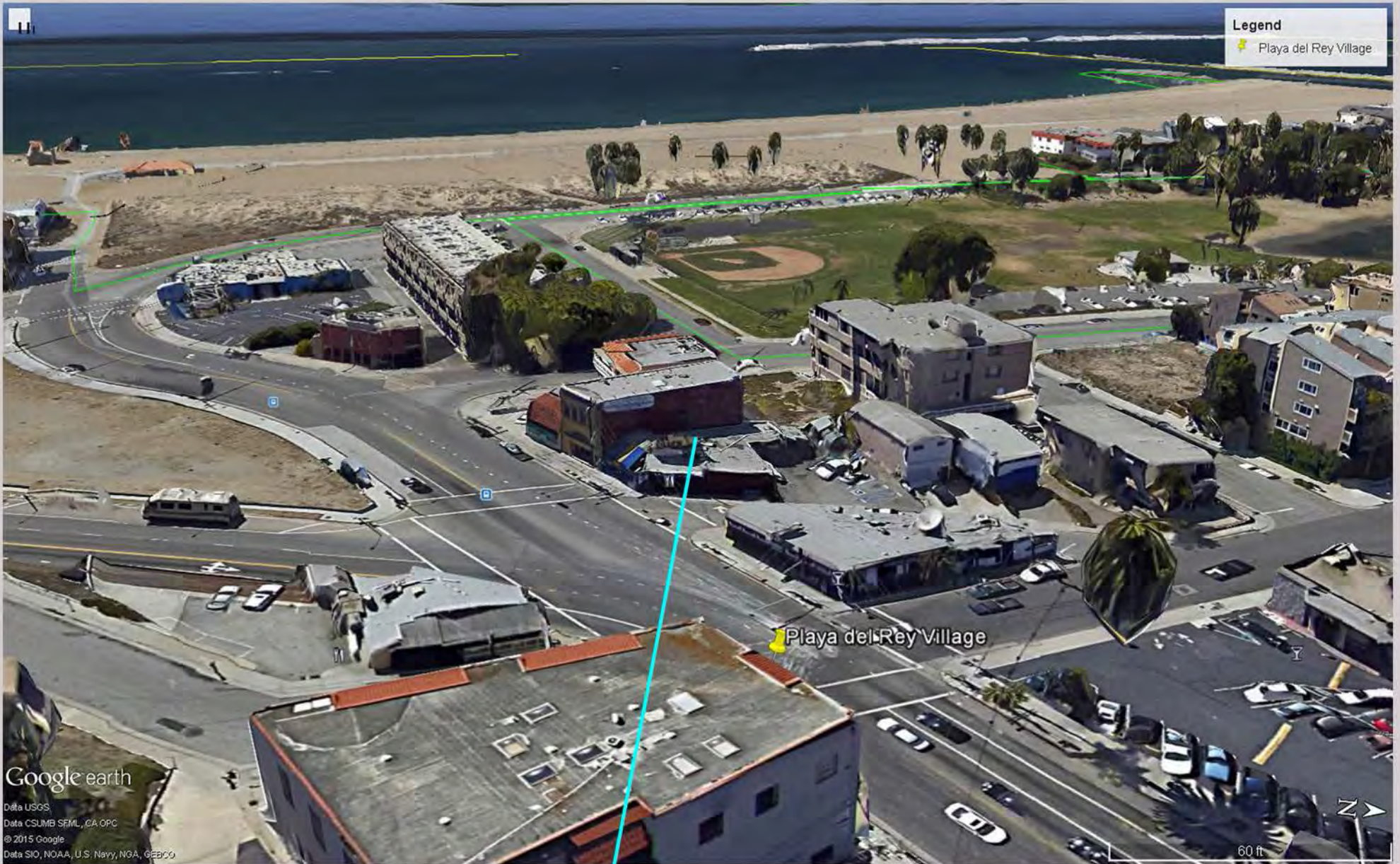
Legend
Playa del Rey Village

Google earth

Data USGS
Data LDEO-Columbia, NEF, NOAA
© 2015 Google
Data SIO, NOAA, U.S. Navy, NGS, GEBCO

60 ft

Looking South



Google earth

Data USGS
Data CSUMB SFML, CA OPC
© 2015 Google
Data SIO, NOAA, U.S. Navy, NGA, GEBCO

Looking West

INGERSOLL'S
CENTURY HISTORY
SANTA MONICA BAY CITIES

[BEING BOOK NUMBER TWO OF INGERSOLL'S CENTURY SERIES OF CALIFORNIA
LOCAL HISTORY ANNALS]

PREFACED WITH

A BRIEF HISTORY OF THE STATE OF CALIFORNIA
A CONDENSED HISTORY OF LOS ANGELES COUNTY

1542 TO 1908

SUPPLEMENTED WITH

AN ENCYCLOPEDIA OF LOCAL BIOGRAPHY

AND

EMBELLISHED WITH VIEWS OF HISTORIC LANDMARKS AND PORTRAITS
OF REPRESENTATIVE PEOPLE

L. A. Ingersoll

LUTHER A. INGERSOLL
LOS ANGELES
1908



U. S. COAST AND GEODETIC SURVEY

F. M. THORN, SUPDT.

SECTION X

TOPOGRAPHICAL SKETCH
OF THE PROPOSED HARBOR OF
PORT BALLONA
LOS ANGELES CO. CAL.

EXECUTED, UNDER THE DIRECTION OF ASST. GEORGE DAVIDSON,

BY FERDINAND WESTDAHL, DRAUGHTSMAN U.S.C.&G.S.,

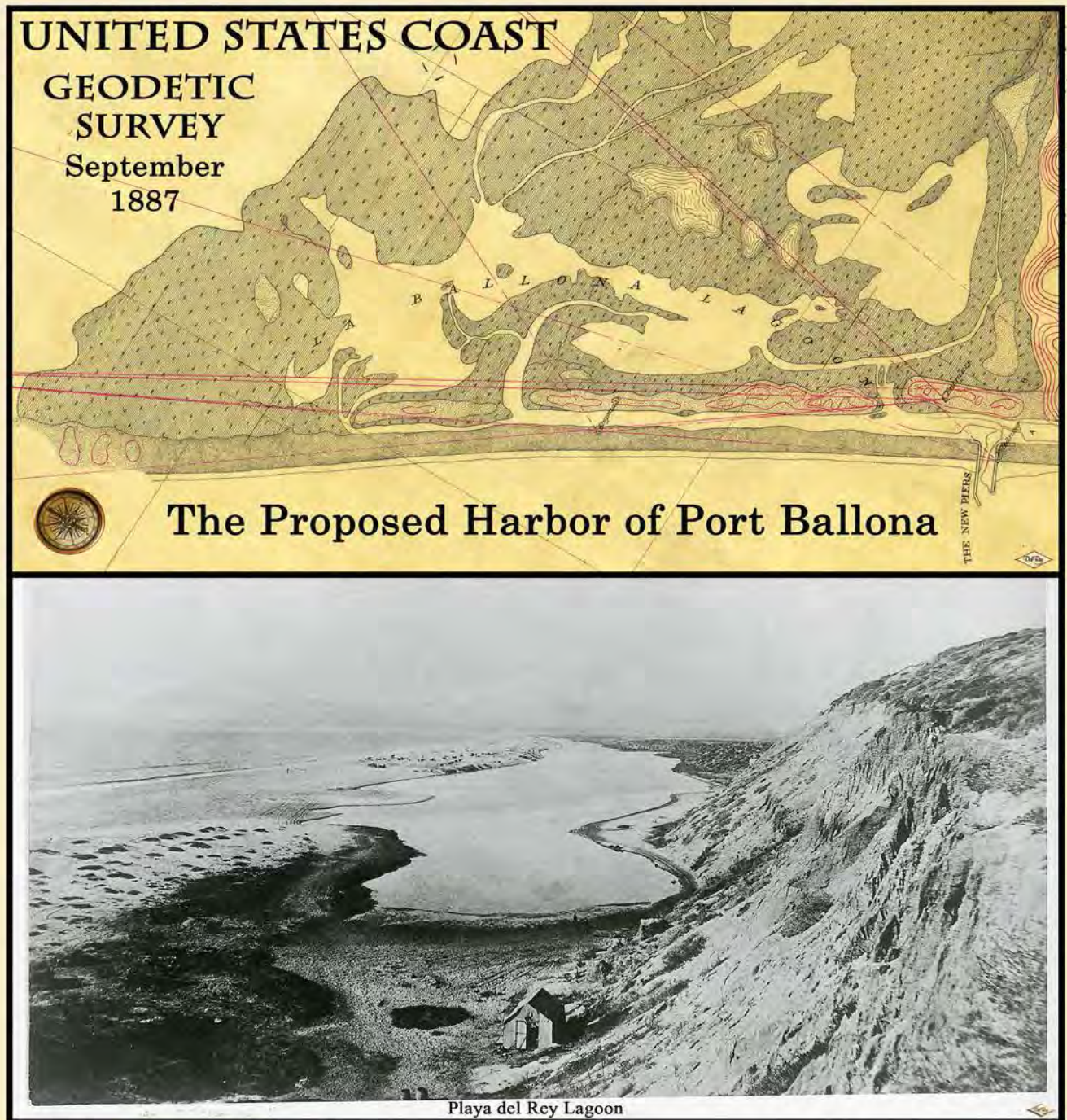
SEPTEMBER 1887

SCALE $\frac{1}{10,000}$

Note. The triangulation was executed for the purpose of determining the position of the new piers, and is so extensive because the stations nearest to Ballona Lagoon had been destroyed. All the topography, except the new piers and some slight changes about the entrance to the lagoon, has been approximately enlarged from a tracing on a scale of $\frac{1}{20,000}$ of Asst. Chase's work in this locality in 1875. It exhibits the entire tidal area of the lagoon, which the projectors of this new harbor deemed sufficient to maintain a deep water channel between the jetties, with the assistance of dredging to deepen the water in the lagoon. On August 29th, when I first visited the place, the dredger had been at work about two weeks in the place marked A, and had deposited the material pumped up outside to the southward of the southern jetty at first, but afterwards in the area marked B. It had not yet succeeded in excavating a space sufficiently large to allow it to float and swing at low tide. At the date of my last visit, Sept. 19th, the dredger was still at work in the same place and had made no apparent progress. The channel between the jetties, instead of scouring as it was expected to do, had filled up so as to leave but a narrow channel at low water. The low water line exhibited on this sheet was sketched in approximately at low tide from a position on the bluff overlooking the entrance. The piers are of wood, piled like ordinary wharves, but are sheathed on the channel-side by square timbers driven into the sand close together and bolted to the piers and to each other. To ascertain the character of the formation a well had been bored at the inner end of the southern jetty. The following is reported to me as the result: from mean high water 8 feet of coarse sand; next 14 feet of hard blue clay in thin horizontal layers; next 26 feet of fine sand; next 32 feet gray mud, soft and mixed with sand; next 4 feet of blue clay; below this there is gravel and fresh water, and they went no further. A well now being sunk near the southern end of the lagoon at the edge of the bluff shows a much different formation. It is a fact that the dredger is boring in clay, which seriously retards the work as the cutter becomes clogged with it.

The town of Santa Monica now extends to the low land bordering Ballona Lagoon. It has grown along the coast to the SE.ward in several irregular additions, and there are some houses beyond A Ridge (2), which stands exactly on the East corner of Abbie Str. and Ballona Avenue. Highland Cottage is a conspicuous building, and Arcadia Hotel is a very large 4 or 5 storied building with a central tower. It stands on the edge of the bluff and parallel with it, its lower story reaching to the beach. It is the most conspicuous object on the shores of Santa Monica Bay. The streets of the town are lined with shade trees, which form a great contrast on the otherwise bare mesa.

Ferdinand Westdahl
Draughtsman



The ocean frontage of La Ballona Rancho was known in early days as Ballona Slough. It consisted of marshy fields, broken by sand dunes, ponds and lagoons of salt water, which were considered to be utterly worthless except as a home for ducks and other game birds. About 1870, Will Tell, a German of convivial propensities built a shack, almost on the spot now occupied by the Del Rey hotel, which he called "Tell's Lookout." For several years he kept up this establishment, advertising himself as agent for "Don Keller's native wines and brandies," and furnishing boats, guns and fishing tackle for his patrons. His

place was a favorite resort for Los Angeles sportsmen and many a party of distinguished guests partook of his native products and hunted duck in his boats. The locality was generally known as "Will Tell's" in those days.

In 1877 Michael Duffy, another royal host who will be remembered by many old timers, opened "Hunter's Cottage" in Tell's old location and was "prepared to furnish sportsmen with board and lodging for man and beast; guns, ammunitions, boats and everything complete for hunter's outfit. Good fishing and bathing in the vicinity. Come and enjoy a few days sport and I will use every means to make it pleasant for you."

The flats of Ballona were looked upon as of value only to sportsmen until about 1885. The approach of the Atchinson, Topeka and Santa Fe railway, and the first rumblings of the approaching boom, brought many hitherto undreamed of projects to the surface. One of these was the scheme of creating a harbor out of the lagoons of La Ballona slough. In the spring of 1886 the Ballona Harbor and improvement Company was organized by capitalists of Los Angeles, M. L. Wicks being the leading spirit in the enterprise at that time. Among the directors were James Campbell, F. Sabichi, H. W. Mills, E. H. Boyd, and Dr. Lotspeich.

The capital stock of the company was \$300,000, Hugh Crabbe, an engineer of national reputation, was engaged to plan the work. It was proposed to excavate a channel 200 feet long by 300 wide which would let the tide into the lagoon at the point where Ballona creek entered the ocean. This, with dredging, would create an inner harbor two miles long and from 300 to 600 feet wide, with a depth of from six to twenty feet. It was declared that this harbor would float the fleets of the world. This harbor was to be the terminus of the Santa Fe, or Atlantic and Pacific, as it was then known, and was declared to be the nearest point to the Gulf of Mexico possible for an ocean port and 800 miles nearer to the Hawaiian Islands than San Francisco. A franchise was granted to the Los Angeles and Santa Monica Railway, an offshoot of the Santa Fe, although organized by the members of the Ballona Harbor Company, to construct a wharf and ship canal at Ballona and work was begun during the year. The Los Angeles Express comments on the work being done in December, 1886, and says, "The hills around the harbor afford splendid sites for residences and will doubtless be rapidly covered with houses,"—a prediction which proved to be rather previous.

Monday, August 21st, 1887, the railroad line was completed and the first train brought an excursion party of about 300 people to inspect the harbor improvements and make speeches on the "great future" of this Port Ballona. A large amount of dredging was done and a large amount of money—nearly \$300,000 was spent during the three years in which work was carried on more or less spasmodically upon the proposed harbor. The directorate of the company changed, M. L. Wicks dropping out and Louis Mesmer, Juan Bernard and others

coming in. By July 4th, 1888, work had come to a standstill and only a watchman to guard the dredger and other property of the company was left on the ground. The *Outlook* in December, 1889, states that "The father of the Ballona Harbor scheme has been working on his pet project again. He is having the place cleaned up and getting ready to begin dredging again." But soon afterward a storm carried away the greater portion of the wharf and deposited it along the shore at Santa Monica—where it was welcomed as firewood.

The dredger and barges were then taken away and Port Ballona became a thing of the past. Many causes operated to make the scheme impracticable,—the blue clay formation underneath the sand, the currents which brought sand back faster than it could be dredged out, and the failure of the Santa Fe system to co-operate with the projectors.

A last echo of the Ballona Harbor Company was heard in 1892, when they entered a vigorous protest against the abandonment of the railroad right of way to Ballona and the removal of the rails from that branch by the Southern California Railway Company. But the protest availed nothing—the road to Ballona was taken up and a new line to Santa Monica took its place.

For fifteen years after the abandonment of work upon the Port of Ballona, the lagoons and sand dunes remained a sportsman's paradise. The Recreation Gun Club purchased a large tract of the ocean frontage and the lagoons were only disturbed by the dipping of paddles and the echo of shot guns. Then came a new era of life for Ballona Slough.

In June, 1902, it was announced that a company of capitalists had incorporated as the "Beach Land Company" and had purchased a thousand acres of land, including two and one-half miles of beach frontage from the Mesmer estate. This included the old Ballona Harbor. Among the incorporators were F. H. Rindge, M. H. Sherman, E. P. Clark, E. T. Earle, R. C. Gillis and a number of other prominent Southern California men. Henry P. Barbour was president of the company; M. H. Sherman and Arthur H. Fleming, vice-presidents; A. I. Smith, secretary; P. M. Green treasurer.

The plans of this company were most elaborate. The new resort was to be named "Playa del Rey", The King's Beach, or the King's Playground, as it was later translated. The Los Angeles-Pacific Company would at once build to the harbor, which was to be improved. A \$200,000 hotel was proposed. Plans were made and plats completed under the direction of a landscape gardener.

The company advertised their intentions liberally and the first sale of lots, July 16th, was a large one, many well known citizens being among the purchasers. Work was at once begun on grading and improvements. October 19th the electric road had cars running to Playa del Rey and a large number of excursionists visited the "King's Beach." Work continued steadily on the improvements during the next year. The lagoon, two miles long, of still water

A HISTORY
OF
CALIFORNIA

AND AN

Extended History of Its Southern Coast Counties

ALSO

Containing Biographies of Well-Known Citizens of the Past and Present.

BY

J. M. GUINN, A. M.,

Secretary and Late President of the Historical Society of Southern California, and
Member of the American Historical Association of Washington, D. C.

ILLUSTRATED.

COMPLETE IN TWO VOLUMES.

VOLUME I.

HISTORIC RECORD COMPANY
LOS ANGELES, CAL.

1907

**179 Culver
Boulevard**

Lot Block

		LAND															IMPROVEMENT						
		Value	ck	Value	ck	Value	ck	Value	ck	Value	ck	Value	ck	Value	ck	Value	ck	Value	Value	Value	Value	Value	
		1905		1906		1907		1908		1909		1910		1911		1912		1913	1905	1906	1907	1908	1909
1	5	375	Ro	375		375 ^G	275	275	51973	275	Ro	275	Ro	275	Ro	275	X						
2	5	310	Ro	310		310	Ro	225	Ro	225	55213	225	Ro	225	Ro	225	X						
3	5	310	Ro	310		310	Ro	200	Ro	200	55213	200	Ro	200	Ro	200	X						
4	5	310	344	310	m	310	Ro	200	49074	200	938	200	Ro	200	26974	200	6508						
5	5	300	344	310	m	310	Ro	200	49074	200	938	200	Ro	200	26974	200	6508						
6	5	290		290	m	290	Ro	200	49074	200	938	200	Ro	200	26974	200	6508						
7	5	375		375	m	375	Ro	250	49074	250	938	250	Ro	250	26974	300	6508						
8	5	375		375	m	375	Ro	250	49074	250	938	250	Ro	250	26974	250	6508						
9	5	375		375	m	375	Ro	250	49074	250	938	250	Ro	250	26974	250	6508						
10	5	375		375	m	375	Ro	250	49074	250	938	250	Ro	250	26974	250	6508						
11	5	375		375	m	375	Ro	250	49074	250	938	250	Ro	250	26974	250	6508						
12	5	375		375	m	375	Ro	250	49074	250	938	250	Ro	250	26974	250	6508						
13	5	375		375	m	375 ^G	250	250		250	Ro	250	44567	300	X			600		1500 ²	2000	2000	
14	5	375		375	m	375	Ro	250	49074	250	938	250	Ro	250	26974	300	6508						
15	5	375		375	m	375	Ro	250	49074	250	938	250	Ro	250	26974	300	6508						
16	5	375		375	m	375	Ro	240	Ro	240		240	Ro	240		300	X						

**Pressed Brick Building
(Improvement)
First Assessed in 1905**

?

**LA County Hall of Records
222 N. Hill Street Rm. 103**

LOS ANGELES COUNTY

Mtg. Abst. Page	Sec. or Lot	Twp. or Block	Range	LAND												IMPROVEMENTS													
				Value	ck	Value	ck	Value	ck	Value	ck	Value	ck	Value	ck	Value	ck	Value	ck	Value	ck	Value	ck	Value	ck	Value	ck	Value	ck
				1905	1906	1907	1908	1909	1910	1911	1912	1913	1905	1906	1907	1908	1909	1910	1911	1912	1913								
✓	1	5		375	RC	375		375	6	275		275	RC	275		275		275											
✓	2	5		310	RC	310		310	RC	225	RC	225	RC	225		225		225											
✓	3	5		310	RC	310		310	RC	200		200		200		200		200											
✓	4	5		310	RC	310		310	RC	200		200		200		200		200											
✓	5	5		300	RC	310		310	RC	200		200		200		200		200											
✓	6	5		290	RC	290		290	RC	200		200		200		200		200											
✓	7	5		375	RC	375		375	RC	250		250		250		250		250											
✓	8	5		375	RC	375		375	RC	250		250		250		250		250											
✓	9	5		375	RC	375		375	RC	250		250		250		250		250											
✓	10	5		375	RC	375		375	RC	250		250		250		250		250											
✓	11	5		375	RC	375		375	RC	250		250		250		250		250											
✓	12	5		375	RC	375		375	RC	250		250		250		250		250											
✓	13	5		375	RC	375		375	6	250		250		250		250		250		600		1500	2000	2000	2000	2000	1500	1420	
✓	14	5		375	RC	375		375	RC	250		250		250		250		250											
✓	15	5		375	RC	375		375	RC	250		250		250		250		250											
✓	16	5		375	RC	375		375	RC	240		240		240		240		240											

1906 San Francisco Earthquake

2015 Assessor Land & Improvement Year Data Verification

LOUIS MESMER IS DEAD

A Pioneer Angeleno Passes Away

HIS USEFUL CAREER

A Man Who Had Faith in Los Angeles

The Life Work of a Humble Alsatian Lad Who Had Energy, Strength and Courage—The Funeral

Louis Mesmer, a pioneer resident and one of the best known citizens of Los Angeles, died at 6:40 p. m. yesterday, at the United States hotel, after a long illness. The funeral services will be held Tuesday forenoon in St. Vibiana cathedral.

Louis Mesmer was born in the Village Surburd, Canton Sulz, Alsace, France, now Germany, on February 20, 1829. His boyhood days were employed in farming, with only limited schooling. At the age of 14 years he learned the baker's trade and then went to Strasburg, where he started a bakery. He afterward went to Colmar, from there to Paris, and also to Havre. He then embarked for New York, and after some journeyings he went to Tippecanoe, Ohio, where he established himself in the bakery business. Here he married Miss Katherine Forst. Three years after he determined to seek his fortune in California, and in the spring of 1858 left Tippecanoe City for New York city; thence by steamer via Panama to San Francisco. Upon his arrival at San Francisco, the Calaveras and Mokelumne Hill gold excitements were at their height, which attracted him to those mining regions.

A Los Angeles Pioneer

When the news was heralded of the rich discoveries in Coriboo, British Columbia, he at once returned to San Francisco to take the steamer for Victoria to the Cariboo and Frazier river mines. Not finding himself to be a successful miner he returned to Victoria and there opened a bakery. Here his opportunities for making money were most satisfactory, but owing to the absence of his family he decided to sell out, which he did, returning to San Francisco. After his family arrived he was informed that Los Angeles was a good prospective town, so he took steamer passage for Los Angeles, arriving here in the month of October, 1859.

Los Angeles had a population at that time of about 3,500 people. After a short stay at the Lafayette hotel, now known as the St. Elmo, he purchased Ulyard's bakery, southwest corner of First and Main streets, where the Natick House now stands. He was the only baker in this city that ever made Jewish passover bread, which he sold to nearly all the Jewish families in Southern California. This bakery he sold out in the year 1861 at a good advance, and purchased the New York bakery from Peter Balz.

A Trading Venture

In the fall of 1863, he having heard of the big profits made by traders plying between Los Angeles and the mining camps of Arizona, himself and a friend by the name of Mr. Yander, fitted out a 14-span prairie schooner and trailer. The groceries and provisions were sold at most satisfactory prices and they were homeward bound with high hopes, when some jealous trader, envious of their competition, poisoned the water spring from which their stock had been given to drink. The horses and mules all died, and while they were dying a heavy wind-storm arose, blowing stones as big as hens' eggs almost, covering the entire wagons and completely obliterating the road. They finally concluded to abandon the wagons and strike out on foot for the nearest stage station, from which point passage was secured for Los Angeles.

While he was off on the trading venture his wife conducted the bakery. In 1864, Mr. and Mrs. Strassforth, who were then conducting the United States hotel, southeast corner of Main and Requina street, desired to sell and he finally concluded to sell his bakery business and try his hand in the hotel business. During the five years from 1864 to 1869, the hotel business proved a big winner, from the profits of which he purchased at different times small adobe holdings adjoining, which he improved as his means would permit, until he had a frontage of 142 feet on Main street.

Old-Timers Will Remember

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Old-Timers Will Remember

In 1868 he was instrumental in opening Commercial street east to Alameda street; in 1869 he rented the hotel to Messrs. Gray & Adams and decided to visit his native land, so with his family, which then consisted of his wife, sons Joseph and Tony, and daughter, Christiana, he left for one year's visit to the old country.

In 1871 he purchased from Mr. Hayes the property on the west side of Broadway, between First and Second streets, which he occupied for upwards of fifteen years as his family residence. In 1872 he purchased from Don Manuel Requina the Yarrow corner, which adjoined his Main street property on the east, or which he built the present two-story brick building, southwest corner of Los Angeles and Requina streets; he also opened Requina street, which was then called Liberty street, east through to Alameda.

In 1874, at the request of Bishop Amat and his coadjutor, Bishop Mora, he was asked to take full charge in the erection and building of Saint Vibiana cathedral on Main street near Second street. He not only superintended the work on this structure but also solicited thousands of dollars of donations towards its completion. In 1876 he visited with his wife the Centennial exhibition at Philadelphia.

In 1880 he had put down the first regular cement squares sidewalk, for which he was arrested for an infringement of the Schlinger patent. As there were no federal courts south of San Francisco, he was arrested, taken by the United States marshal to San Francisco, and there the case was compromised. He

In 1880 he had put down the first regular cement squares sidewalk, for which he was arrested for an infringement of the Schlinger patent. As there were no federal courts south of San Francisco, he was arrested, taken by the United States marshal to San Francisco, and there the case was compromised. He broke the value of the patent, which inured to the public's benefit, but at a cost of over \$300. In 1884 he purchased from F. Reverin 79 feet on Los Angeles street, adjoining his property on the south, on which he erected the present two-story brick building.

Built a Hotel

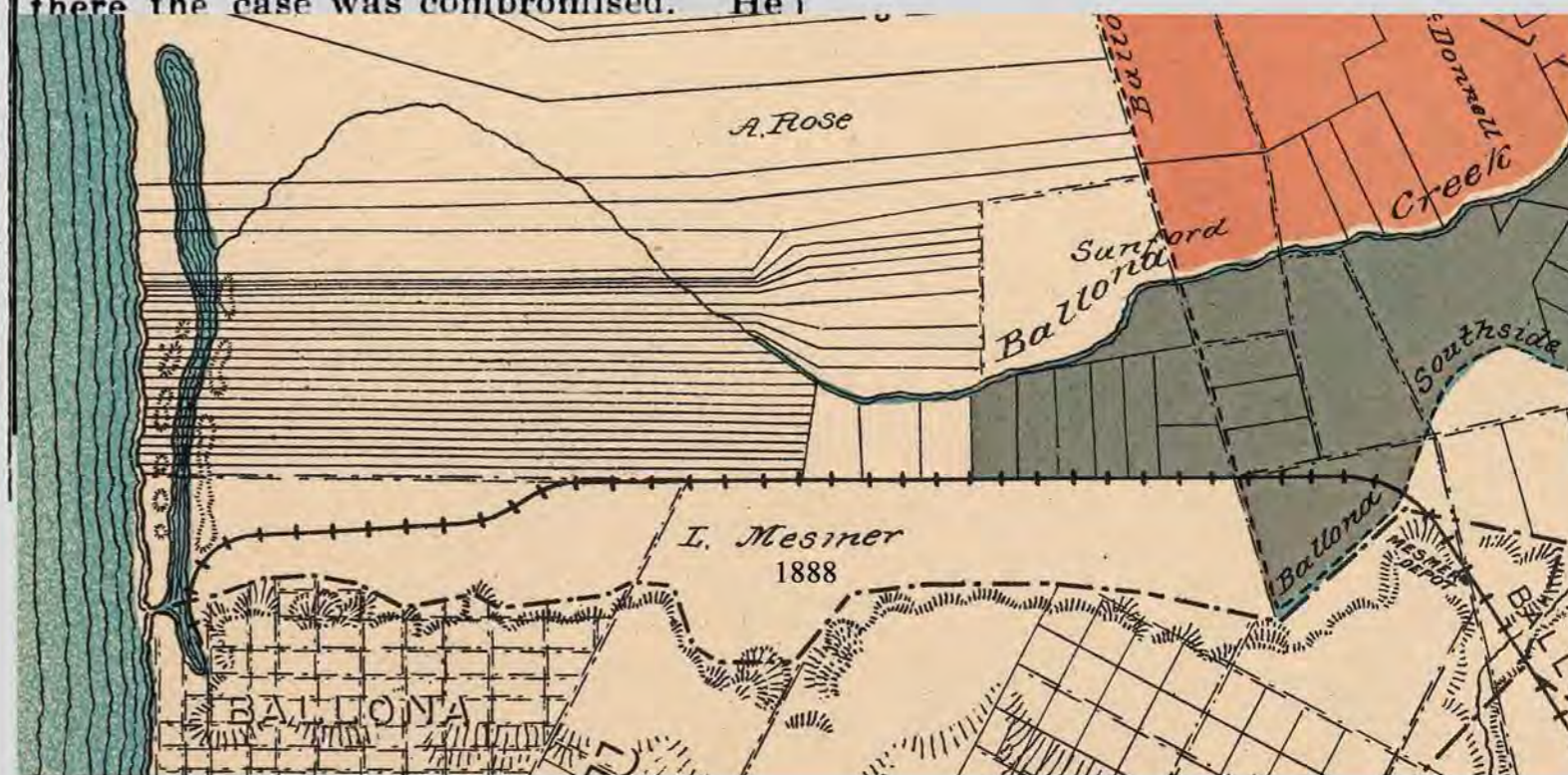
In 1886 he let to contract the building of the present New United States hotel building. In 1887 he became associated

in the building of an artificial harbor at Ballona Lake. A great deal of money was spent in this enterprise, which through lack of study and proper management was not carried to a successful conclusion.

On October 2, 1891, his wife died. On July 15, 1893, he married Mrs. Jennie E. Swan. His family consists of his sons Joseph, Tony and Alphonse and his daughters Christina and Lucile, now Mrs. G. J. Griffith and Mrs. Chas. L. Whipple; also a stepdaughter, Mrs. Ziba Patterson.

During the first ten years after his arrival in this city he threw his whole life and energies into his work, putting in from 18 to 19 hours daily. Only a man of extraordinary physique could have endured such herculean work. That he had the greatest faith in the future of the city of his adoption is shown by the improvements that he made from time to time on money which he borrowed at times when there was considerable doubt of Los Angeles' future.

This is the career of one who started away from the little Alsatian village to the western extreme of America with nothing but indomitable courage, pluck and enterprise as his capital. There are hundreds who have been the recipients of his favors who will always remember their benefactor with gratitude.



Early Property Records Research Finding

Repeated attempts at obtaining access permission from the owner or an authorized agent have been unsuccessful.

From: L.A. County - Office of The Assessor
[<mailto:sinvestigation@assessor.lacounty.gov>]

Sent: Tuesday, November 19, 2013 7:31 AM

To: TLM@DelRey.Com

Subject: RE: Greetings!

Hello,

Assessor's ID No.	4116-007-053
Site Address	179 CULVER BLVD LOS ANGELES CA 90293
Property Type	Commercial / Industrial
Region / Cluster	25 / 25627
Tax Rate Area (TRA)	00067

The property records for this parcel are maintained by the West District Office. It is unlikely that the parcel jacket would contain any information from the early 1900s. The parcel jacket is only available to view by the owner or authorized agent.

Assessor Helpdesk
Janice N



Property Tax Payment Inquiry

Last updated Monday February 23, 2015

Assessor ID Number: 4116-007-053 Year: 14 Seq. No.: 000

ELECTRONIC FUND TRANSFER (EFT) NUMBER
ID#: 19 4116 007 053 3 YEAR: 14 SEQUENCE: 000 4

Installment 1	
Tax Amount	\$3,722.85
Penalty Amount	\$0.00
Total Due	\$3,722.85
Paid Amount	\$3,722.85
Balance Due	\$0.00
Delinquent If Not Paid By	

Installment 2	
Tax Amount	\$3,722.83
Pen/Cost Amount	\$0.00
Total Due	\$3,722.83
Paid Amount	\$3,722.83
Balance Due	\$0.00
Delinquent If Not Paid By	

Message:

Tax Status: CURRENT

Select Another Account

For help or inquiries regarding online payments, contact us at info@ttc.lacounty.gov.
Our business hours are 8:00 a.m. to 5:00 p.m., Pacific Time, Monday through Friday, excluding [Los Angeles County holidays](#).
Our office is located in the Kenneth Hahn Hall of Administration, 225 North Hill Street, First Floor Lobby, Los Angeles, CA 90012.

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APN/AIN: 4116-007-053
Block 5, Lot 13
179 Culver



Office of the Assessor



Location of Sealed Parcel Jacket for 179 Culver

- About the Assessor ▶
- Contact Us ▶
- General Information ▶
- Homeowner Information ▶
- Forms ▶
- Tax Savings Programs ▶
- Personal Property & Possessory Interests ▶
- News & Legislation ▶
- Reports & Publications ▶
- Data For Sale ▶
- Employment ▶
- FAQs ▶

Locate your district office

The Assessor's Office divides the county into a number of Districts. While most property records are maintained in the local District Offices, records for certain major properties are maintained in the Downtown Headquarters office. To locate the office where your records are maintained, enter either the street address or Assessor Identification Number (AIN) of the property.

Search By:

Address:

AIN:



179 CULVER BLVD, LOS ANGELES CA 90293

AIN: 4116007053

Contact Us

Public Phone Numbers

West District Office

6120 Bristol Parkway
Culver City, Ca 90230

Phone: (310)665-5300
Dates: Monday through Friday (except **holidays**)
Hours: 7:30 am to 5:00 pm
Location: [Map](#) or [Driving Directions](#)





Applicable Historic-Cultural Monument Criteria

From the OHR website – <http://preservation.lacity.org/commission>

Designation as an Historic-Cultural Monument – What Does Historic-Cultural Monument Status Mean?

- Recognizes the building, structure, site, or plant life as important to the history of the city, state, or nation; Reflects the broad cultural, economic, or social history of the nation, state, or community.
- Is identified with historic personages, or with important events in the main currents of national, state, or local history.
- Provides eligibility for the Mills Act program, providing a Historical Property Contract that can result in a property tax reduction;
- Permits use of the California Historical Building Code;
- Allows property owners to purchase and display a plaque showing that the property has Historic-Cultural Monument status;
- Requires Cultural Heritage Commission review for proposed exterior and interior alterations in accordance with the Secretary of the Interior's Standards for Rehabilitation, the nationally accepted criteria for evaluating change to historic properties;
- Allows the Cultural Heritage Commission to object to the issuance of a demolition permit for 180 days, with an additional 180 day extension possible upon approval of the City Council, thereby granting up to 360 days stay of demolition in order to evaluate preservation alternatives;
- Activates the California Environmental Quality Act (CEQA) which protects historic buildings from adverse impacts without environmental review (see the State Office of Historic Preservation document on CEQA and historical resources);
- Entitles Historic-Cultural Monument owners to technical assistance in complying with the Secretary of the Interior's Standards for the Treatment of Historic Properties;
- Fosters civic pride in neighborhoods and business districts and helps develop a sense of place and time.

- **Proposed Monument Description** - Describe the proposed monument's physical characteristics and relationship to its surrounding environment. Expand on sections 2 and 3 with a more detailed description of the site. Expand on section 4 and discuss the construction/alteration history in detail if that is necessary to explain the proposed monument's current form. Identify and describe any character-defining elements, structures, interior spaces, or landscape features.
- **Statement of Significance** - Address the proposed monument's historic, cultural, and/or architectural significance by discussing how it satisfies the HCM criteria you selected in Section 6. You must support your argument with substantial evidence and analysis. The Statement of Significance is your main argument for designation so it is important to substantiate any claims you make with supporting documentation and research.

THIS GOES HERE (3-6 pages)

It is really important that we hit these key points. From the OHR website –

<http://preservation.lacity.org/commission>

What Does Historic-Cultural Monument Status Mean? Designation as an Historic-Cultural Monument:

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- * Fosters civic pride in neighborhoods and business districts and helps develop a sense of place and time.**

HISTORICAL RESOURCES ASSESSMENT REPORT



179-181 CULVER BOULEVARD PLAYA DEL REY, LOS ANGELES, CALIFORNIA

Prepared for

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2951 Surfrider Avenue
Ventura, CA 93001

Prepared by

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PCR SERVICES CORPORATION

201 Santa Monica Boulevard, Suite 500
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November 2015

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I. INTRODUCTION

A. EXECUTIVE SUMMARY

This historic resources assessment report (“Report”), completed by PCR Services Corporation (PCR), documents and evaluates the federal, state, and local significance and eligibility of the property located at 179-181 Culver Boulevard, Playa del Rey, Los Angeles, California (“subject property”). The Report includes a discussion of the survey methods used, a brief historic context of the property and surrounding area, and the identification and evaluation of the subject property.

The subject property is located at 179-181 Culver Boulevard (Assessor’s ID Number (“AIN”) 4116-007-053) in the neighborhood of Playa del Rey, City of Los Angeles, as shown in **Figure 1, Regional Map**. The subject property is boarded by Culver Boulevard to the south, Esplanade Street to the west, Argonaut Street to the north and Vista Del Mar to the east. The subject property is located on a small commercial strip improved with other one- to two-story commercial properties, with single-family residences dominating the bluffs to the south. The subject property is approximately 0.2 miles east of the Pacific Ocean and approximately 0.1 miles south of Del Rey Lagoon. The subject property is currently developed with a two-story early 20th century vernacular brick commercial building constructed circa 1904.

As a result of PCR’s investigations, the subject property appears ineligible for listing under any federal, state or local eligibility criteria. The subject property was improved circa 1904 with a two-story brick vernacular commercial building. The original use of the subject property is unknown. While the subject property is associated with the early development of the beach community of Playa del Rey from 1904 to 1933 and as a neighborhood market from 1933 to 1966, the subject property is substantially altered and no longer retains integrity. The subject property has been radically changed from its historic appearance under both the primary period of significance (1904-1933) and the secondary period of significance (1933-1966), as evidenced by the building permit history and documentation provided by historic photographs. Changes include removal of the parapet, storefront cornice, and building cornice, removal of the circa 1904 glass storefront, and covering of the later open wood-frame storefront with a reconfigured concrete storefront, removal and infill of seven windows and the rear door a rear addition, and a full remodel of all interior spaces. Furthermore, the pressed brick on the front elevation is in poor condition and is continuing to deteriorate. Due to these extensive alterations, the subject property can no longer effectively convey its historical associations with its primary or secondary period of significance. Therefore, PCR recommends the subject property be assigned a California Historical Resource (“CHR”) Status Code of 6Z, “found ineligible for National Register, California Register or local designation through survey evaluation.” The results of this investigation have been recorded on a Department of Parks and Recreation (“DPR”) Form included in Appendix E.

B. METHODOLOGY

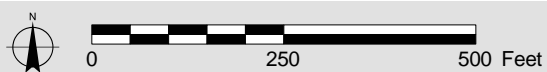
This Report was conducted by PCR’s Historic Resources Division personnel, including Margarita C. Jerabek, Ph.D., Director of Historic Resources, Amanda Y. Kainer, M.S., Senior Architectural Historian, and Virginia E. Harness, M.A., Architectural Historian whom meet and exceed the Secretary of the Interior’s Professional

Qualification Standards in history and architectural history.¹ Professional qualifications are provided in Appendix A of this report.

The historical resources evaluation involved a review of the National Register and its annual updates, the California Register, the Statewide Historical Resources Inventory (“HRI”) database maintained by the State Office of Historic Preservation (“OHP”) and the California Historical Resources Information System (“CHRIS”), and the City of Los Angeles’s inventory of historic properties to identify any previously recorded resources on the subject property. An intensive pedestrian survey was also undertaken to document the existing conditions of the property and its immediate vicinity. In addition, the following tasks were performed for the study:

- Searched records of the National Register, California Register, California Historic Resources Inventory Database, and City of Los Angeles City Historic-Cultural Monuments designations.
- Conducted field inspections of the subject property, and utilized the survey methodology of the State OHP.
- Photographed the subject property and examined other properties in the area that exhibited potential architectural and/or historical associations.
- Conducted site-specific research on the property utilizing building permits, assessor’s records, Sanborn fire insurance maps, City directories, historical photographs, California Index, Avery Index, Online Archive of California, USC Digital Collections, historical *Los Angeles Times*, the Huntington Library, Marina del Rey Historical Society, and other published sources.
- Reviewed and analyzed ordinances, statutes, regulations, bulletins, and technical materials relating to federal, state, and local historic preservation, designation assessment processes, and related programs.
- Utilized the applicable Context/Theme/Property Type eligibility standards formulated for SurveyLA.
- Evaluated potential historic resources based upon criteria used by the National Register, California Register, and City of Los Angeles Cultural Heritage Ordinance.

¹ *The Professional Qualification Standards are requirements used by the National Park Service and have been published in the Code of Federal Regulations (“CFR”), 36 CFR Part 61.*



Project Location and Vicinity Map

179-181 Culver Boulevard, City of Los Angeles
 Source: ESRI Street Map, 2009; PCR Services Corporation, 2015.

FIGURE

1



Google

 Project Site



0 100 200 Feet

Aerial View of Project Site and Vicinity

179-181 Culver Boulevard, City of Los Angeles
Source: Google Maps (Aerial) 2014; PCR Services Corporation, 2015.

FIGURE

2

II. REGULATORY FRAMEWORK

Historic resources fall within the jurisdiction of several levels of government. Federal laws provide the framework for the identification, and in certain instances, protection of historic resources. Additionally, states and local jurisdictions play active roles in the identification, documentation, and protection of such resources within their communities. The National Historic Preservation Act (NHPA) of 1966, as amended and the California Public Resources Code (PRC), Section 5024.1, are the primary federal and state laws and regulations governing the evaluation and significance of historic resources of national, State, regional, and local importance. Descriptions of these relevant laws and regulations are presented below.

A. FEDERAL LEVEL

1. National Register of Historic Places

The National Register was established by the NHPA as “an authoritative guide to be used by federal, state, and local governments, private groups and citizens to identify the Nation’s cultural resources and to indicate what properties should be considered for protection from destruction or impairment.”² The National Register recognizes properties that are significant at the national, state, and/or local levels.

To be eligible for listing in the National Register, a resource must be significant in American history, architecture, archaeology, engineering, or culture. Four criteria for evaluation have been established to determine the significance of a resource:

- a. It is associated with events that have made a significant contribution to the broad patterns of our history;
- b. It is associated with the lives of persons significant in our past;
- c. It embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction;
- d. It yields, or may be likely to yield, information important in prehistory or history.³

Districts, sites, buildings, structures, and objects that are 50 years in age must meet one or more of the above criteria and retain integrity (this is, convey their significance) to be eligible for listing. Under the National Register, a property can be significant not only for the way it was originally constructed, but also for the way it was adapted at a later period, or for the way it illustrates changing tastes, attitudes, and uses over a period of time.⁴

² 36 CFR Section 60.2.

³ “Guidelines for Completing National Register Forms,” in *National Register Bulletin 16, U.S. Department of Interior, National Park Service, September 30, 1986. This bulletin contains technical information on comprehensive planning, survey of cultural resources and registration in the NRHP.*

⁴ *National Register Bulletin 15, p. 19.*

Within the concept of integrity, the National Register recognizes seven aspects or qualities that, in various combinations, define integrity: Location, Design, Setting, Materials, Workmanship, Feeling, and Association:

1. *Location* is the place where the historic property was constructed or the place where the historic event occurred. The relationship between the property and its location is often important to understanding why the property was created or why something happened. The actual location of a historic property, complemented by its setting, is particularly important in recapturing the sense of historic events and persons. Except in rare cases, the relationship between a property and its historic associations is destroyed if the property is moved.
2. *Design* is the combination of elements that create the form, plan, space, structure, and style of a property. It results from conscious decisions made during the original conception and planning of a property (or its significant alteration) and applies to activities as diverse as community planning, engineering, architecture, and landscape architecture. Design includes such elements as organization of space, proportion, scale, technology, ornamentation, and materials. A property's design reflects historic functions and technologies as well as aesthetics. It includes such considerations as the structural system; massing; arrangement of spaces; pattern of fenestration; textures and colors of surface materials; type, amount and style of ornamental detailing; and arrangement and type of plantings in a designed landscape.
3. *Setting* is the physical environment of a historic property. Whereas location refers to the specific place where a property was built or an event occurred, setting refers to the *character* of the place in which the property played its historic role. It involves *how*, not just where, the property is situated and its relationship to surrounding features and open space.
4. *Workmanship* is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory. It is the evidence of artisans' labor and skill in constructing or altering a building, structure, object, or site. Workmanship can apply to the property as a whole or to its individual components.
5. *Materials* are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property. The choice and combination of materials reveal the preferences of those who created the property and indicate the availability of particular types of materials and technologies. A property must retain key exterior materials dating from the period of its historic significance.
6. *Feeling* is a property's expression of the aesthetic or historic sense of a particular period of time. It results from the presence of physical features that, taken together, convey the property's historic character.
7. *Association* is the direct link between an important historic event or person and a historic property. A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer.⁵

⁵ *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation, 44-45*, <http://www.nps.gov/nr/publications/bulletins/pdfs/nrb15.pdf>, (accessed July 7, 2013).

To retain historic integrity, a property will always possess most of the aspects and depending upon its significance, retention of specific aspects of integrity may be paramount for a property to convey its significance.⁶ Determining which of these aspects are most important to a particular property requires knowing why, where and when a property is significant.⁷ For properties that are considered significant under National Register Criteria A and B, *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation* (“*National Register Bulletin 15*”) explains, “a property that is significant for its historic association is eligible if it retains the essential physical features that made up its character or appearance during the period of its association with the important event, historical pattern, or person(s).”⁸ In assessing the integrity of properties that are considered significant under National Register Criterion C, *National Register Bulletin 15* states, “a property important for illustrating a particular architectural style or construction technique must retain most of the physical features that constitute that style or technique.”⁹

B. STATE LEVEL

1. California Register of Historical Resources

The OHP, as an office of the California Department of Parks and Recreation (DPR), implements the policies of the NHPA on a statewide level. The OHP also carries out the duties as set forth in the PRC and maintains the HRI and the California Register. The State Historic Preservation Officer (SHPO) is an appointed official who implements historic preservation programs within the State’s jurisdictions. Also implemented at the State level, CEQA requires projects to identify any substantial adverse impacts which may affect the significance of identified historical resources.

The California Register was created by Assembly Bill 2881 which was signed into law on September 27, 1992. The California Register is “an authoritative listing and guide to be used by State and local agencies, private groups, and citizens in identifying the existing historical resources of the State and to indicate which resources deserve to be protected, to the extent prudent and feasible, from substantial adverse change.”¹⁰ The criteria for eligibility for the California Register are based upon National Register criteria.¹¹ Certain resources are determined by the statute to be automatically included in the California Register by operation of law, including California properties formally determined eligible for, or listed in, the National Register.¹²

⁶ *The National Register defines a property as an “area of land containing a single historic resource or a group of resources, and constituting a single entry in the National Register of Historic Places.” A “Historic Property” is defined as “any prehistoric or historic district, site, building, structure, or object at the time it attained historic significance. Glossary of National Register Terms, http://www.nps.gov/nr/publications/bulletins/nrb16a/nrb16a_appendix_IV.htm, (accessed June 1, 2013).*

⁷ *National Register Bulletin 15, p. 44.*

⁸ *“A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer. Like feeling, association requires the presence of physical features that convey a property’s historic character. Because feeling and association depend on individual perceptions, their retention alone is never sufficient to support eligibility of a property for the National Register.” Ibid, p. 46.*

⁹ *“A property that has lost some historic materials or details can be eligible if it retains the majority of the features that illustrate its style in terms of the massing, spatial relationships, proportion, pattern of windows and doors, texture of materials, and ornamentation. The property is not eligible, however, if it retains some basic features conveying massing but has lost the majority of the features that once characterized its style.” Ibid.*

¹⁰ *PRC Section 5024.1(a).*

¹¹ *PRC Section 5024.1(b).*

¹² *PRC Section 5024.1(d).*

The California Register consists of resources that are listed automatically and those that must be nominated through an application and public hearing process. The California Register automatically includes the following:

- California properties listed on the National Register and those formally Determined Eligible for the National Register;
- California Registered Historical Landmarks from No. 770 onward;
- Those Point of Historical Interest (“PHI”) that have been evaluated by the OHP and have been recommended to the State Historical Commission for inclusion on the California Register.¹³

Other resources which may be nominated to the California Register include:

- Individual historical resources;
- Historical resources contributing to historic districts;
- Historical resources identified as significant in historical resources surveys with significance ratings of Category 1 through 5;
- Historical resources designated or listed as local landmarks, or designated under any local ordinance, such as an Historic Preservation Overlay Zone (“HPOZ”).¹⁴

To be eligible for the California Register, a historic resource must be significant at the local, State, or national level, under one or more of the following four criteria:

1. Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;
2. Is associated with the lives of persons important in our past;
3. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
4. Has yielded, or may be likely to yield, information important in prehistory or history.

Additionally, a historic resource eligible for listing in the California Register must meet one or more of the criteria of significance described above and retain enough of its historic character or appearance to be recognizable as a historic resource and to convey the reasons for its significance. Historical resources that have been rehabilitated or restored may be evaluated for listing. Integrity is evaluated with regard to the retention of seven aspects of integrity similar to the National Register, location, design, setting, materials, workmanship, feeling, and association. Also like the National Register, it must also be judged with reference to the particular criteria under which a resource is proposed for eligibility. Alterations over time to a resource or historic changes in its use may themselves have historical, cultural, or architectural significance. It is possible that historical resources may not retain sufficient integrity to meet the criteria for listing in the National Register, but they may still be eligible for listing in the California Register. A resource that has lost

¹³ *Ibid.*

¹⁴ *PRC Section 5024.1(e)*

its historic character or appearance may still have sufficient integrity for the California Register if it maintains the potential to yield significant scientific or historical information or specific data.¹⁵

2. California Office of Historic Preservation Survey Methodology

The evaluation instructions and classification system prescribed by the California OHP in its manual, *Instructions for Recording Historical Resources* (March 1995) provide a three-digit evaluation rating code (“Status Code”) for use in classifying potential historic resources. The first digit indicates one of the following general evaluation categories for use in conducting cultural resources surveys:

1. Listed on the National Register or the California Register;
2. Determined eligible for listing in the National Register or the California Register;
3. Appears eligible for the National Register or the California Register through survey evaluation;
4. Appears eligible for the National Register or the California Register through other evaluation;
5. Recognized as Historically Significant by Local Government;
6. Not eligible for any Listing or Designation; and
7. Not evaluated for the National Register or California Register or needs re-evaluation.

The second digit of the Status Code is a letter code indicating whether the resource is separately eligible (S), eligible as part of a district (D), or both (B). The third digit is a number that is used to further specify significance and refine the relationship of the property to the National Register and/or California Register. Under this evaluation system, categories 1 through 4 pertain to various levels of National Register and California Register eligibility. Locally eligible resources are given a rating code level 5. Properties found ineligible for listing in the National Register, California Register, or for designation under a local ordinance are given an evaluation Status Code of 6. Properties given an evaluation Status Code of 6Z are “found ineligible for the National Register, California Register, or Local designation through survey evaluation.”¹⁶

C. LOCAL LEVEL

1. City of Los Angeles

The City enacted a Cultural Heritage Ordinance in April 1962 which defines City Monuments. According to the Ordinance, City Monuments are sites, buildings, or structures of particular historic or cultural significance to the City in which the broad cultural, political, or social history of the nation, state, or City is reflected or exemplified, including sites and buildings associated with important personages or which embody certain distinguishing architectural characteristics and are associated with a notable architect. These City Monuments are regulated by the City’s Cultural Heritage Commission and the City Council.

¹⁵ Codified in California Code of Regulations, Title 14, Chapter 11.5, Section 4852(c) which can be accessed on the internet at <http://ohp.parks.ca.gov>

¹⁶ *Ibid.*

a. Los Angeles Cultural Heritage Ordinance

The Los Angeles Cultural Heritage Ordinance (Los Angeles Administrative Code, Chapter 9, Division 22, Article 1, Section 22.171.7) establishes criteria for designating local historic resources as City Monuments. A City Monument is any site (including significant trees or other plant life located on the site), building or structure or particular historic or cultural significance to the City of Los Angeles, including historic structures or sites:

- In which the broad cultural, economic or social history of the nation, state or community is reflected or exemplified; or
- Which is identified with historic personages or with important events in the main currents of national, State or local history; or
- Which embodies the distinguishing characteristics of an architectural type specimen, inherently valuable for a study of a period, style or method of construction; or
- A notable work of a master builder, designer, or architect whose individual genius influenced his or her age.

A proposed resource may be eligible for designation if it meets at least one of the criteria above.

When determining historic significance and evaluating a resource against the Cultural Heritage Ordinance criteria above, the Cultural Heritage Commission and the staff of the Office of Historic Resources often ask the following questions:

- Is the site or structure an outstanding example of past architectural styles or craftsmanship?
- Was the site or structure created by a “master” architect, builder, or designer?
- Did the architect, engineer, or owner have historical associations that either influenced architecture in the City or had a role in the development or history of Los Angeles?
- Has the building retained “integrity”? Does it still convey its historic significance through the retention of its original design and materials?
- Is the site or structure associated with important historic events or historic personages that shaped the growth, development, or evolution of Los Angeles or its communities?
- Is the site or structure associated with important movements or trends that shaped the social and cultural history of Los Angeles or its communities?¹⁷

With regard to integrity, the seven aspects of integrity of the National Register and California Register are the same and the threshold of integrity for individual eligibility is similar. However, the threshold of integrity for HPOZs is lower; a contributing structure in an HPOZ is a building that was constructed during the predominant period of development in the neighborhood and that has retained most of its historic features.

¹⁷ *What Makes a Resource Historically Significant? City of LA Office of Historic Preservation, <http://preservation.lacity.org/commission/what-makes-resource-historically-significant>, (accessed July 7, 2013).*

b. Los Angeles Historic Preservation Overlay Zone (HPOZ)

City of Los Angeles Ordinance Number 175891, found in Section 12.20.3 of the Los Angeles Municipal Code, describes the procedures for creation of new Historic Preservation Overlay Zones (HPOZs), the powers and duties of HPOZ Boards, and the review processes for projects within HPOZs. The Ordinance was adopted by the Los Angeles City Council on March 19, 2004, and became effective on May 12, 2004.¹⁸ An HPOZ is an area of the city which is designated as containing structures, landscaping, natural features or sites having historic, architectural, cultural or aesthetic significance. To receive such designation, areas must be adopted as an HPOZ by the City Planning Commission and the City Council through a zone change procedure that includes notification of all affected and nearby property owners and public hearings. Once designated, areas have an HPOZ overlay added to their zoning, and are subject to special regulations under Section 12.20.3 of the Los Angeles Municipal Code. Each HPOZ area has a five member HPOZ Board to review and make recommendations on projects and promote historic preservation within the designated area. Most types of exterior changes or improvements to properties in an HPOZ area require written approval from the City of Los Angeles Planning Department.¹⁹

Before an HPOZ may move into the formal adoption process, an historic resources survey of the proposed district must be completed. The survey studies the historic and architectural significance of the neighborhood and identifies structures and features as either “contributing” or “non-contributing” to the district. A contributing structure is a building that was constructed during the predominant period of development in the neighborhood and that has retained most of its historic features. A non-contributing structure is one that was either constructed after the major period of the neighborhood’s development, or has been so significantly altered that it no longer conveys its historic character.²⁰

According to Section 12.20.3 of the City of Los Angeles Municipal Code, features designated as contributing shall meet one or more of the following criteria:

- Adds to the Historic architectural qualities or Historic associations for which a property is significant because it was present during the period of significance, and possesses Historic integrity reflecting its character at that time; or
- Owing to its unique location or singular physical characteristics, represents an established feature of the neighborhood, community or city; or
- Retaining the building, structure, Landscaping, or Natural Feature, would contribute to the preservation and protection of the resource and its environment.²¹

¹⁸ “Citywide HPOZ Ordinance,” City of Los Angeles Historic Resources, <http://www.preservation.lacity.org/hpoz/citywide-hpoz-ordinance>, (accessed July 24, 2013).

¹⁹ “How to Establish an HPOZ,” City of Los Angeles Office of Historic Resources, <http://www.preservation.lacity.org/hpoz/how-establish-hpoz>, (accessed July 24, 2013).

²⁰ “How to Establish an HPOZ,” City of Los Angeles Office of Historic Resources, <http://www.preservation.lacity.org/hpoz/how-establish-hpoz>, (accessed July 24, 2013).

²¹ “Citywide HPOZ Ordinance,” City of Los Angeles Historic Resources, <http://www.preservation.lacity.org/hpoz/citywide-hpoz-ordinance>, (accessed July 24, 201), pgs. 11-12.

III. HISTORIC CONTEXT

The historic context developed below presents the background necessary to evaluate the historical and architectural significance of the commercial building located at 179-181 Culver Boulevard, including the construction and alterations history, and the history of the development of Playa Del Rey. The primary period of significance from 1904 to 1933, represents the associations with the early development of Playa del Rey, first by the Beach Land Company and subsequently by Dickinson & Gillespie, as well as Early 20th Century Commercial Vernacular architecture. The secondary period of significance from 1933 to 1966 represents the association with the Neighborhood Market property type. Research indicated the property is associated with the following historic and architectural themes: Playa del Rey (1886-Present); Early 20th Century Commercial Vernacular Architecture (1900-1950); and Neighborhood Markets (1880-1980). The historic context is organized to correspond with the SurveyLA Historic Context Statement and is tailored to reflect the local history of the subject property.

A. PLAYA DEL REY, 1886-PRESENT

1. Port Ballona

The community of Playa del Rey has its origins in Moses L. Wicks' plan for Port Ballona, which he envisioned as a new harbor for Los Angeles carved out of a portion of the former Rancho Ballona. In 1886, Wicks founded the Ballona Harbor and Improvement Company and began to dredge out his planned port. By 1887, the first passenger train arrived in Port Ballona, part of the expansion of the Santa Fe Railroad, which Wicks hoped the new port would provide a shorter trade route to Hawaii. However, the harbor of Port Ballona was never realized. Three years of dredging in the face of difficult tides and heavy winter rain fall had yielded little progress, and by that time the company was out of money. In 1889, a storm destroyed the wharf Wicks had built, and the Port Ballona project was utterly abandoned.²²

2. The Beach Land Company

The land around the lagoon languished for a few years, but prospective developers returned at the start of the 20th century. Moses Sherman and Eli Clark formed the Beach Land Company, backed by a number of investors including Henry P. Barbour, who owned 1000 acres around the lagoon. It was at this time at the area first acquired the name Playa del Rey, which translates to Beach of the King or King's Beach. The initial plan was to create a Venetian resort utilizing an already dredged channel, a remnant of the failed Port Ballona. The plan relied on this channel and the existing lagoon as the primary water features, and opted not to create additional canals such as those developed later by Abbot Kinney in the nearby beach community of Venice. The developers hired landscape architect Alfred Solano to create the plan for the new resort community. In addition to the channel and lagoon, Solano proposed Venetian style bridges and towers, a bath house, and a luxury hotel. Plans in hand, the Beach Land Company began to sell lots. The popularity of the new resort was bolstered by the completion of the Los Angeles Pacific trolley lines in October of 1902. A three-story pavilion, complete with a restaurant, bowling alley, and dance floor was constructed, along with a grandstand and boathouse. The Hotel Del Rey was constructed for \$200,000 by the Los Angeles Pacific Railway Company and featured 50 guest rooms.²³

²² D.J. Dukesherer, *Playa Del Rey, California: Beach of the Kings* (Los Angeles: D.J. Dukesherer, 2010), 39.

²³ *Ibid.*, 39-40.



Figure 3. Postcard from the Beach Land Company resort at Playa del Rey circa 1910 (eBay)



Figure 4. 1915 postcard from Playa del Rey (eBay)

3. Dickinson & Gillespie Corporation

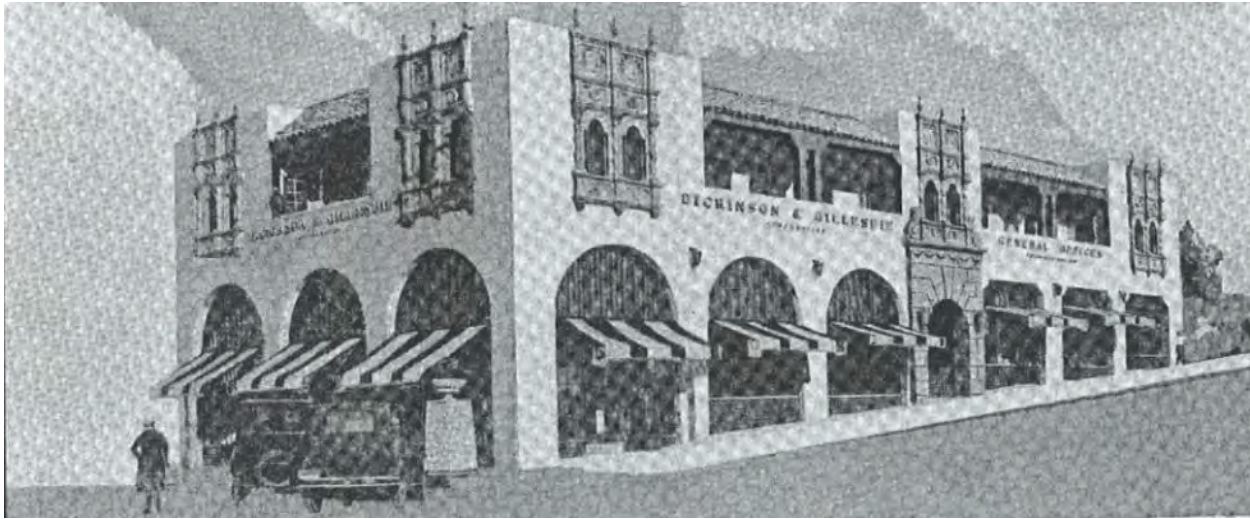


Figure 5. Dickinson & Gillespie Building (Fowler, *T.O. McCoy's Playa Del Rey*, 123)

The resort planned by the Beach Land Company was not as successful as neighboring Venice to the north.²⁴ By the 1920s the little resort community was in a state of failure. The Pavilion burned down circa 1914 and the pier was washed away by a storm.²⁵ The Del Rey Hotel, which shut down in 1917 but later reopened as a school for developmentally challenged girls, was intentionally burned down by a disgruntled former pupil in 1924, killing 22 of the students as well as the matron of the school and her young son. Many survivors of the initial fire later died from infections resulting from their efforts to soothe their burns by entering the lagoon waters.²⁶ Into this troubled community stepped the Minneapolis-based development company of Dickinson & Gillespie.²⁷ The company began to acquire the land in and around Playa del Rey in 1921 and within a few years was developing the area in earnest.²⁸ Dickinson & Gillespie's efforts in Playa del Rey were headed up by Fritz B. Burns. Burns subdivided the areas around the former resort town into Palisades Del Rey, Surfride, and Del Rey Hills. During the Dickinson & Gillespie period, infrastructure such as sewers, water lines, gas mains, and roads were constructed and improved. Burns bought out Dickinson & Gillespie in 1929, just prior to the crash of the stock market and the onset of the Great Depression. The crash ended Burns' development of the area until World War II.²⁹

²⁴ *Ibid.* 40.

²⁵ *Ibid.* 68.

²⁶ *Ibid.* 78-79.

²⁷ *Ibid.*, 69

²⁸ Arthur Bradley Fowler, *T.O. McCoy's Playa Del Rey: The Homes, The Views, The People, of Playa Del Rey, CA in the 20's and 30's* (Arthur Bradley Fowler), 6.

²⁹ Architectural Resources Group, Inc., "Historic Resources Survey Report: Westchester-Playa del Rey Community Plan Area," SurveyLA, November 27, 2013, 9.

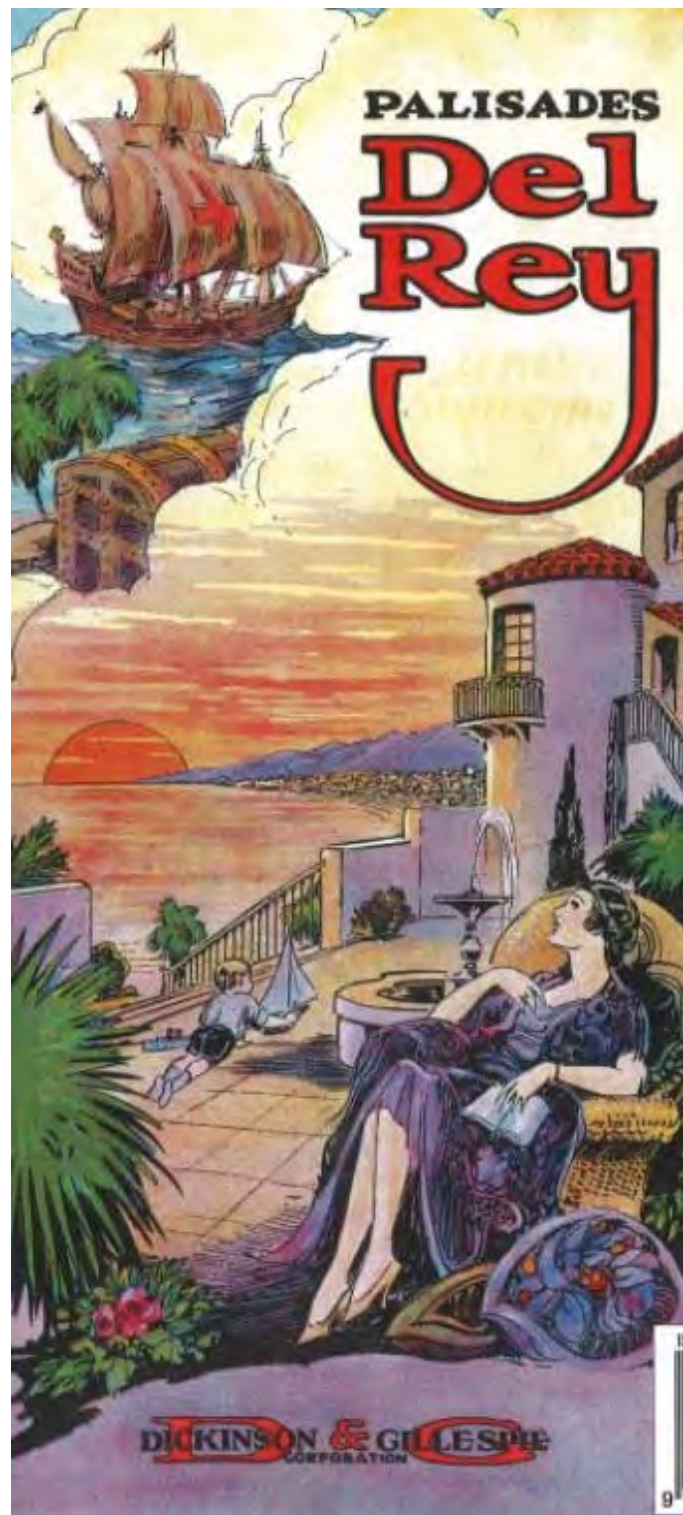


Figure 6. A 1920s Dickinson & Gillespie advertisement for the development at Palisades Del Rey (Fowler, T.O. McCoy's Playa Del Rey, Back Cover)

4. Great Depression & World War II



Figure 7. From left: Fitz Burns, his son Patrick, T.O. McCoy, and his wife, Cora (Fowler, *T.O. McCoy's Playa Del Rey*, 123)

Although the Great Depression largely saw development in Playa del Rey and its vicinity grind to a halt, the community soldiered on. Thurlow Orrin (T.O.) McCoy worked for Dickinson & Gillespie as their listing department manager. His name appears on a painted window advertisement on the subject property in a photograph from the 1920s, advertising the store for sale or lease. McCoy continued his work for Dickinson & Gillespie until the start of the Great Depression in 1929. Even in the midst of such severe economic downturn, T.O. McCoy was able to start his own real estate and contracting business (Figure 8). McCoy is also credited with starting the Del Rey Co-Operative Market. In a similar entrepreneurial spirit, Loyola University's football coach, Tom Lieb, opened a service station on Culver Boulevard. Meanwhile, Fritz Burns, who lost his fortune in the 1929 crash, hatched a new real estate venture in 1932 when he purchased the dormitories from the 1932 Olympics and moved them to the beach at Playa del Rey, calling it "Olympic Beach" (present day Toe's Beach). Burns made enough income off of his Olympic Beach venture to hire the Herndon Oil Company to prospect in the area. In late 1934, oil was struck, and Burns was suddenly making over a thousand dollars a month, quickly restoring the fortune he had lost at the start of the Depression. Along with Burns, Playa del Rey and the surrounding area began to rebound in the late 1930s with increased development of infrastructure and commercial interests.³⁰

³⁰ David J. Dukesherer, *LAX California: An Early History of the Region: Westchester, Playa Vista, Inglewood & Playa del Rey* (Los Angeles: CENTAL Historical Group, Inc., 2010), 65-67.



Figure 8. T.O. McCoy's real estate office after he split from Dickinson & Gillespie (Fowler, *T.O. McCoy's Playa Del Rey*, 54)

With World War II already in full swing in many parts of the globe and the growing likelihood that the United States would eventually enter the conflict, preparation for war brought the economy roaring back to life. This was especially true in the areas immediately adjacent to Playa del Rey where the aeronautics industry began to boom. Mines Field, a small airport near Playa del Rey, was dedicated in 1928 and by 1930 was serving as Los Angeles' primary airport. The City of Los Angeles purchased it in 1937, making it the official municipal airport, and by 1941 the name was changed to Los Angeles Airport.³¹ In nearby Playa Vista, Howard Hughes purchased several hundred acres for a new facility for the aircraft division of Hughes Tool Company, including a private airport. North American Aviation, also based in Westchester, adjacent to Playa del Rey, developed and built trainers, fighters, and bombers for the United States military.³² Additionally, three tactical batteries were put in place on the coastline of Playa del Rey as part of the implementation of the Harbor Defense Plan during World War II. Batteries at Playa del Rey included Batteries D and F, 144th FA.³³ The gun positions would have overlooked empty beaches for most of the war, as a pipe rupture in 1942 spilled untreated waste water into the Pacific, closing the shoreline from Hermosa Beach to Venice for the duration of the war, as insufficient supplies were available to repair the pipe.³⁴

5. Postwar Development & Los Angeles International Airport

After the end of World War II, the area around Playa del Rey benefited mightily from the postwar boom sweeping across the country. In the neighborhoods around Playa del Rey, the rejuvenated economy was largely driven by the aeronautics (and later aerospace) and defense industries that had sprung up during the war. By the 1950s the little airfield once known as Mines Field had grown into Los Angeles International

³¹ *Ibid.*, 67.

³² *Ibid.*, 124-127.

³³ *Ibid.*, 131.

³⁴ D.J. Dukesherer, *Playa Del Rey: The Early History of Playa del Rey, Westchester & Playa Vista, California* (Los Angeles: Cental, 2010), 70.

Airport (LAX), another major source of economic power in the area. However, Playa del Rey itself actually saw a decline in population during the postwar years, even as everything around it grew exponentially. The old Dickinson & Gillespie Playa del Rey development of Surfridge was taken over by LAX through the power of eminent domain and all the homes in it moved or demolished (Figure 9). By 1989, the population of Playa del Rey was down to about 10,000 permanent residents.³⁵



Figure 9. Empty streets are the last remnant of Surfridge, the southernmost section of Playa del Rey originally developed by Dickinson & Gillespie in the 1920s and destroyed by eminent domain seizure for LAX (Google Earth 2015)

B. EARLY 20TH CENTURY COMMERCIAL VERNACULAR (1900-1950)

The advent of the 20th century saw a marked change in how commercial buildings were constructed. In the 19th century, commercial structures typically went up in small groups with related architectural elements employed across several buildings, or were built as infill with designs that drew on architectural elements from existing buildings to create visual cohesion. However, the new century brought with it a heightened sense of individualism, and the owners of commercial buildings now sought to have their buildings stand out from the surrounding built environment. The goal of this change was to draw in customers through the

³⁵ Dukesherer, *Playa del Rey*, 134-136.

architecture of the building itself, and lead to several general design changes in commercial buildings. Storefront configurations were changed to maximize design space and interior light, and ornamentation and color were designed to attract the eye. These overarching changes in the philosophy of commercial architecture encouraged window shopping. The rise of plate glass, which allowed for larger, unobstructed display windows, facilitated the changes in storefront design. American vernacular commercial buildings took a variety of forms, including single-front, false-front, iron-front, and brick-front types. In some cases, elements from high-style architecture such as the Romanesque, Italianate, or Modern styles were incorporated into the design of the front façade. Brick-front was the most popular type of commercial vernacular architecture. These were typically one to three stories tall and tended to be narrow and deep, rarely more than four bays wide. Storage space or apartments usually occupied the upper floor or floors. A transom light typically extended over the door and display windows. This type usually employed one major cornice and other additional decorative elements to break up the brick front.³⁶



Figure 10. Corner brick commercial building in Winters, California, built circa 1906 (Gottfried and Jennings, *American Vernacular Buildings and Interiors*, 242)

³⁶ Herbert Gottfried and Jan Jennings, *American Vernacular Buildings and Interiors, 1870-1960* (New York: W.W. Norton & Company, Inc., 2009), 233-264.

C. NEIGHBORHOOD MARKET (1880-1980)



Figure 11. A neighborhood market in Delano, Minnesota from 1935 (Minnesota Historical Society)

Until the 1930s, most food shopping in the City of Los Angeles was performed in public markets. Public markets tended to have an open floor plan with each food type being organized and purchased separately. The idea of visiting independent sellers for each food type was akin to the older shopping practice of going to independent stores for individual products, yet all located under one roof. Combining all the general food types into one store with multiple concession stands was a transitional mode of shopping between the individual store and the supermarket. Many of these markets were owned and operated by one entity, while the individual concessions were leased to independent contractors. Sometimes each concession stand was independently owned, while in other markets a concessionaire might own and run several different stands. In large corporate markets like Ralph's, both the market and all concession stands were owned and run by the corporation. The public markets were highly successful and served as the precursor to the development of the supermarket by showing people the convenience of buying all their food in one location.

D. CONSTRUCTION HISTORY OF 179-181 CULVER BOULEVARD

No building permits were available prior to 1933. However, based upon information available in the Assessor Map Books, it appears that the subject property was built circa 1904.³⁷ Based upon historic

³⁷ Thomas Lee McMahon, *Historic-Cultural Monument Application, Playa del Rey Commerce Building*, 2015.

photographs, it appears that the subject property was originally a two story brick vernacular commercial building with some Italianate detailing.

The first known major alteration to the subject property occurred in 1933, shortly after the Long Beach Earthquake. According to the building permit, the front was repaired and cracks to the interior were also repaired. However, photographic evidence indicated the changes to the front façade were much more extensive than the description provided on the permit might indicate. It was common after the earthquake to remove ornamentation from the exterior of buildings, as heavy cornices and similar decorative elements could easily fall and therefore presented a serious hazard during an earthquake. It appears that, along with many buildings in the Los Angeles area during this time, the subject property was stripped of its Italianate ornamentation, including the pointed parapet, upper cornice, and lower cornice. Additionally, the large plate glass windows of the storefront with two rows of transoms above were removed in favor of an open wood frame storefront with a large arched transom window above, topped by new signage.

In 1942, a 10' x 26' storeroom was added to the building. Five years later in 1947, the folding doors that had characterized the market were removed and replaced with a glass storefront to allow for additional interior space. The original mudsills of the building were replaced in 1953 as part of a termite repair operation. In 1958, after the Del Rey Co-Operative Market became Shohady's Market, a new projecting sign was added.

Substantial changes occurred in 1966 when the building transitioned from a neighborhood market into a bar. On the interior, the bar was built, a men's room, store room, and entrance vestibule were added, and a drop ceiling was installed. A 10' high partition was installed at the front of the interior ground floor. Later that year, aluminum siding was installed on the front elevation, though this was subsequently removed at an unknown date. A new projecting sign was also installed as part of the conversion.

The building caught fire circa 1973, and the fire damage was subsequently carried out in 1974, along with the installation of new fire rated drop ceiling tiles.

In 1988, the subject property underwent an earthquake retrofit to comply with Division 88 of the Los Angeles Building Code. The next year in 1989 old roof was removed and a new three-ply roof was installed. According to the current owner, it was during the earthquake retrofit that the windows were blocked in. This was done to stabilize the building rather than as a simple light control measure. Therefore, these windows could not be reopened.

Major interior alterations occurred in 1994 when new partitions were installed to create two bathrooms and enclose the kitchen. The pressed brick of the front elevation was also sandblasted that same year.

In 1999 a new roof was installed over the existing roof from 1989.



Figure 12. The subject property circa 1906, shortly after it was built (Los Angeles Public Library)



Figure 13. Original appearance of the subject property during the primary period of significance, showing pointed parapet, cornices, two rows of transom windows, and glass storefront (all removed) (McMahon, Historic-Cultural Monument Application, Playa del Rey Commerce Building, original provenance unknown)



Figure 14. Subject property as it appeared circa 1921, at which time it appears (based upon the signage) to have been used as a restaurant (McMahon, Historic-Cultural Monument Application, Playa del Rey Commerce Building, original provenance unknown)



Figure 15. Subject property as it appeared circa 1920s, at which time it appears (based upon the signage) to have been used as a restaurant (McMahon, Historic-Cultural Monument Application, Playa del Rey Commerce Building, original provenance unknown)



Figure 16. Del Rey Co-Operative Market circa early 1930s, showing market signage, two exterior light fixtures, and open wood storefront with folding doors (all removed)(Fowler, *T.O. McCoy's Playa del Rey*, 46)

Table 1

Building Permit History for 179-181 Culver Boulevard

Date	Permit #	Owner	Contractor	Architect	Engineer	Description	Present Use	New Use	Valuation
4/7/1933	LA04843	T.O. McCoye	Owner			Repair front, repair inside plaster cracks	Store & Apts	Same	\$50.00
2/18/1942	VE80100	T.O. McCoye	Owner			Adding 10'x26' frame & stucco ware room	Grocery Store & Mart	Same	\$750.00
8/23/1947	VE81948	Jess Huston				Remove folding doors from store and replace with glass windows to increase bldg. size	Store (Food)	Store	\$100.00
4/22/1953	VE07914	Henrietta Schier	Termite Insulating Co.			Install opening under stairway. Raise foundation above top of inside concrete	Store Building	Same	\$199

Table 1 (Continued)

Building Permit History for 179-181 Culver Boulevard

Date	Permit #	Owner	Contractor	Architect	Engineer	Description	Present Use	New Use	Valuation
						floor level. Cut off walls around restroom, raise foundation and install new mudsills, replacing plaster. Cut off door casings, treat.			
6/27/1958	VE18920	Shohady's Mkt.	Culver Neon Sign Co.			New sign projecting	Market	Same	\$110
1/6/1966	WL61456	Pete Phillips	Owner			Build beer bar, add men's rm., store rm., entrance vest. Drop ceiling, change occupancy	Market	Beer Bar	\$5,500
2/4/1966	WL61968	Pete Phillips	Owner			Add 10' high partition inside front. Remove door at rear of pool room.	Market	Beer Bar	\$200
3/15/1966	LA20982	Wm. Kredell & Hank Failla	Universal Aluminum Shingles, Inc.			Install aluminum siding on front face of building with stone	Beer Bar	Same	\$1,445
4/1/1966	LA22320	Pete Phillips	Able Electric			1 - 4'x8' - Proj. Sign. Metal & Plastic Illum.	Café, etc.	Same	\$500
6/15/1966	WL61968 (Certificate of Occupancy)	Pete Phillips				Two story, Type III-A, 73 x 25, Convert market to beer bar, change occupancy, add 10' high partition inside front, install aluminum siding on front face of building, G-2 occupancy			
9/28/1973	WL96868	Peter Phillips & Albert Sipper	Jensen Htg. & A/C Co.		Kirk B. Florance ACE	Install cooking vent & roof access	Beer Bar & Food	Same	\$1,200
4/16/1974	LA88431	Pete Phillips	A-1 Acoustics			install suspended ceiling using fire rated tile &	Bar	Same	\$500

Table 1 (Continued)

Building Permit History for 179-181 Culver Boulevard

Date	Permit #	Owner	Contractor	Architect	Engineer	Description	Present Use	New Use	Valuation
						grid 1 hour			
7/17/1974	WL00361	Sipper - Phillips	Construction Bldrs.	Duaine K. Bricker		Fire repair walls - plaster painting & remodeling of all units	Light housekeeping & restaurant	Same	\$10,000
1/12/1988	LA86116	Mary Ann Sipper			Dave Danu	Full Compliance with Div. 88 (RGA)	Bar/Studio Apt	Same	\$21,000
7/12/1988	LA03805	Mr. Albert Sipper	Frederick Barron		Dave Danu	Change of Contractor Information on 88LA86116 only	Bar/Studio Apt	Same	\$201
1/11/1989	WL79201	Mary Sipper	J.J. Roofing			Remove existing roof, install 3 ply built-up roof 17 sq ft	Commercial		\$2,300
8/18/1989	H001356	Mr. Albert Sipper	Larry Henry Const.		Dave Danu	Change of contractor on line 10	Bar/Studio Apt	Same	\$201
8/12/1994	H030964	Mary Ann Sipper	Owner	Watkins & Assoc.		Install interior partitions for two handicapped bathroom and to enclose kitchen, sandblast front	Restaurant/office	Same	\$50,000
8/2/1999	99016-30000-14253		Clifford's Roofing Co.			Reroof over existing roof (1 layer) 22SQS Built up roofing	Restaurant		\$4,300

E. OCCUPANCY AND OWNERSHIP HISTORY OF 179-181 CULVER BOULEVARD

The subject property does not appear to be listed in the Los Angeles or Santa Monica City Directories under its current address of 179-181 Culver Boulevard or any former address on Mesmer or Del Rey Avenue. The original use of the building is unknown; though it is possible it was intended to be a bank. If the subject property ever served as a bank, it is likely that use was short-lived, as the Beach Land Company's plans for a resort had largely failed by the 1910s. Whatever its original use, the building was clearly designed to be a commercial property, with walk-up apartments upstairs. In most historic photographs from the primary period of significance (1904-1933) the building appears to be vacant. However, in one photograph from the 1920s it appears that the subject property was used for a time as a restaurant. This is indicated by the signage on the building which advertises salads, tobacco, candy, soft drinks, sandwiches, and coffee, as well as particular beverages from early 20th century Los Angeles, including Ben-Hur coffee, Maier Select malt tonic, and Arrowhead ginger ale.

By 1933 the subject property was owned by T. O. McCoye who operated the Del Rey Co-Operative market out of the ground floor with his wife Cora for a few years in the early 1930s. McCoye is still listed as the owner on a building permit from 1942. The subject property continued to operate as a market until 1966, when it was converted into a bar by owners Peter Phillips & Albert Sipper. Phillips and Sipper owned the subject property until approximately 1974. Contrary to claims that the subject property functioned as a hardware store, it was in fact the adjacent property at 177 Culver Boulevard that housed the local hardware store business, as evidenced in Figure 17 below. By 1988, available building permits list the owner as Mary Ann Sipper. At present, the subject property is owned by Gary and Lucy Entrekin, and the subject property is used for office space on both floors.

Table 2**Owner/Occupant History for 179-181 Culver Boulevard**

Year	Owner/Occupant	Use	Source
1905	A.M. Squire		Assessor Book
1911	Charles Mettler		Assessor Book
1933-1942	T.O. McCoye	Del Rey Co-Operative Market	Building Permits
1953	Henrietta Schier	Store	Building Permits
1958		Shohady's Market	Building Permits
1966-1974	Peter Phillips & Albert Sipper	Bar	Building Permits
1988-1994	Mary Ann Sipper	Bar/Restaurant	Building Permits



Figure 17. Circa 1976 photograph showing the hardware store located at 177 Culver Boulevard (Photo courtesy of Lucy and Gary Entrekin)

IV. EVALUATION

A. PREVIOUS EVALUATIONS

Playa del Rey was surveyed by SurveyLA in 2013 as part of the Historic Resources Survey Report for Westchester-Playa del Rey Community Plan Area. The report was prepared by Architectural Resources Group, Inc. of Pasadena, CA. The subject property was not identified as a potentially eligible resource by SurveyLA. The subject property was nominated as a Historic-Cultural Monument by Thomas Lee McMahon in 2015. The results of that nomination are pending.

B. EVALUATION OF POTENTIAL HISTORICAL RESOURCES WITHIN THE PROJECT SITE

1. SurveyLA Registration Requirements and Eligibility Standards

Based upon the historical themes developed in Chapter III and in the Los Angeles Historic Context Statement, there are two significant SurveyLA themes associated with the subject property: Early 20th Century Commercial Vernacular (1900-1950) and Markets (1880-1980).³⁸ The following are the eligibility standards that define what character-defining features and integrity aspects a historical resource needs to have in order to be considered eligible in association with each theme. These eligibility standards have been developed below.

a. Early 20th Century Commercial Vernacular, 1900-1950

Property Type

- Commercial

Eligibility Standards

- Is at least two-stories in height
- Is vernacular in design, and does not display characteristics of a particular architectural style
- Must retain original exterior cladding
- Must retain original window openings and storefront configuration
- Was constructed during the period of significance

Character-Defining Features/Associative Features

- Applied decoration may include finials, medallion or other ornament
- At least two stories in height, but typically taller
- Detailing may include colored brick or brick patterns, terra cotta, or cast stone
- Earlier examples are typically clad in brick
- Features public uses on the first floor with private uses above

³⁸ SurveyLA, *Architecture and Engineering, 1850-1980, Early 20th Century Commercial Vernacular, 1900-1950*, January 16, 2014, 30.
SurveyLA, *Commercial Development, 1850-1980, Neighborhood Market, 1880-1980*, December 31, 2013, 18.

- Later examples may have a stucco exterior
- Rectangular volume
- Retains most of the essential character-defining features from the period of significance
- Storefronts often include a bulkhead, display windows, glazed entry, and a transom

Integrity Considerations

- Original signage may have been altered or removed
- Original use may have changed
- Parapet or cornice may have been removed to comply with seismic regulations
- Security bars may have been added to doors and windows
- Should retain integrity of Location, Design, and Materials from the period of significance

b. Markets , 1880-1980

Property Type

- Neighborhood Market

Eligibility Standards

- Was originally designed for and used as a market or grocery store

Character-Defining Features/Associative Features

- May also be significant for its association with corporate design and identity
- May also be significant under a theme within the Architecture context
- May also be significant within themes relating to ethnic/cultural history
- Significant as a property type (C)
- Significant for events (A)

Integrity Considerations

- Original use may have changed

Should retain integrity of Location, Design, Setting, and Materials

Some original materials may have been altered, removed or replaced

2. Architectural Description, Integrity Analysis, and Significance Evaluation of 179-181 Culver Boulevard

a. Architectural Description

Exterior

The subject property is located on a right trapezoidal lot, oriented southeast toward Culver Boulevard in the City of Los Angeles. It consists of a two-story vernacular commercial building of 5-course common bond brick masonry construction with rectangular massing and flat roof (Figure 18). The building has been substantially altered since its original early twentieth-century construction.

The primary (south) elevation is mostly constructed of tan pressed brick that is showing signs of deterioration (Figures 19 and 20). The façade is surmounted by a narrow band of red brick that was originally covered by a cornice and pointed parapet (Figure 21). In 1933, the cornice and pointed parapet were removed (alteration), leaving the red brick exposed, along with several wood boards which likely served to support the cornice or parapet. On the second floor there are three original eight-over-one wood frame sash windows topped by flat brick arches. Originally, on the far right, there was an additional, identical window; it has been bricked in (alteration), likely sometime after 1930 based on available historic photographs, with the flat brick arch above still in place (Figure 22).

Most of the lower portion of the primary elevation is covered by a concrete storefront (alteration) (Figure 23). The storefront is fitted with an arched transom window which dates from 1933, situated above a recessed, rectangular entrance (Figure 24). The concrete storefront replaced the 1933 open wood frame storefront. The signage above the window has been removed, the framing of the arched transom windows has been altered, and wood folding doors have been removed. Currently, interior alterations obstruct part of the arched transom windows. The recessed entrance (alteration) is fitted with a pair of single-pane glass doors (alteration) flanked by two narrow single-pane rectangular windows (alteration). On the bottom right of the primary elevation, there is a single-pane glass door (alteration) set in a rectangular recess.

The east elevation (Figure 25 and Figure 26) is constructed of red brick and partially obstructed by a one-story building located on the adjacent lot, immediately to the east of the subject property. On the upper left of the elevation, there is a painted sign reading "California Bar & Grill" (alteration). The elevation is rectangular in composition, with a beveled upper left corner. On the upper floor, in the middle of the elevation, there is a six-over-one casement window topped by a flat brick arch (Figure 26). An identical window located directly below on the first floor of the east elevation has been removed and the opening blocked in.

The rear (north) elevation (Figure 27 & Figure 28) is constructed of red brick and partially obstructed by a one-story shed-roof addition, possibly a storeroom added in 1942 according to the building permits. On the second floor, there were originally four, six-over-one casement windows surmounted by flat brick arches. The two windows on the far right and far left have been filled in (alteration), leaving the surrounding brickwork intact (Figure 29). Additionally, the first floor of the rear elevation originally had three windows and a rear door, which have been removed and blocked in.

The west elevation (Figure 30) is constructed of red brick and largely obstructed by the building located on the adjacent lot, immediately to the west of the subject property. Like the east elevation, the west elevation is rectangular in composition, with a beveled upper right corner (alteration) (Figure 31).

Interior

The interior of the subject property is substantially altered on both floors. The first floor consists of open space at the front now used for offices, with a conference room (addition), bathroom (addition), and small recording studio (addition) at the rear. The floor is a mixture of carpet and ceramic tile (alteration). The ceiling and portions of the walls are covered by drywall (alteration). The area around the arched transom windows has been framed out and covered in drywall in a rectangular shape, partially blocking both ends of the window. The brick on the east and west walls is exposed, though it is unlikely the interior walls were left unfinished during either the primary or secondary period of significance (Figure 32, Figure 33, and Figure 34). An original window opening with a wood lintel is still visible on the east wall, though the window has been removed and the opening bricked in (alteration, Figure 34). There are two wood support beams on the eastern half of the main office area that may be original, though one of these has been partially subsumed by the addition of a later wall (Figure 36). At the rear of the office space is a hallway (addition) leading to the various smaller rooms at the rear of the building (Figure 37). The conference room (addition) is a small rectangular room with a drop-ceiling on the eastern side of the hallway (Figure 38). On the western side is a bathroom (addition) and a kitchenette (addition). At the end of the hall is a small recording studio (addition) which, based upon the sloping ceiling, appears to be part of the rear addition with the shed roof. This space includes a small recording booth on the eastern end of the room (Figure 39 & Figure 40).

The second floor is accessed from the exterior, from a recessed entry (alteration) at the southeast corner of the building. At one time the second floor units were used as walk-up apartments, but are now leased as office space. The stairs, hallway, and each unit are carpeted, except for one unit which has a laminate floor (alteration). At the top of the stairs is wide hallway with doors (replaced) to the four office units on the north and south sides, and closet storage on the western wall (alteration) (Figure 41). Above is a large skylight (alteration) (Figure 42). Each unit entry door has been replaced, though the transom openings above may be original. However, the glass in each transom has been replaced (Figure 43). The units have been reconfigured to operate as office space, with the addition of individual bathrooms and kitchen areas remaining from prior use as apartments (Figure 44 & Figure 45). Based upon physical inspection and the fact that the second floor was damaged by fire in the 1970s, it appears that all features and finishes in the units have been replaced, covered, or added after the secondary period of significance with the exception of the windows. In one unit, some of the brick has been exposed but has a white discoloration. This could be residual from a previous wall finish, such as removed plaster, or be indicative of a more serious moisture problem (Figure 46). As noted in the description of the exterior, one window on the north wall and two on the south wall of the second floor have been removed and blocked in. The windows that remain are wood-frame double-hung sash windows, and appear to be original (Figure 47).



Figure 18. Primary (southeast) elevation, view north (PCR 2015)



Figure 19. Damaged pressed brick on front façade, possibly from sandblasting in 1994, view north (PCR 2015)



Figure 20. Cracked and damaged brick on front façade, with chunks of brick missing, view north (PCR 2015)



Figure 21. Exposed red brick where cornice and parapet were removed in 1933, view north (PCR 2015)



Figure 22. At left, an original wood frame double-hung sash window, and at right, an original window opening that has been infilled with brick (PCR 2015)



Figure 23. Recessed entry (alteration), with composite double-doors each with a large single-pane light, and two large side lights (alteration), view north (PCR 2015)



Figure 24. Concrete (alteration) covering 1933 wood frame storefront, with signage removed and alterations to framing of arched transom windows. Additionally, the windows are partially blocked by interior alterations on either end (alteration). View north (PCR 2015)



Figure 25. East elevation, view west (PCR 2015)



Figure 26. East elevation and rear (north) elevation, partially obstructed by adjacent building, view southwest (PCR 2015)



Figure 27. Rear (north) elevation, partially obstructed, view southwest(PCR 2015)



Figure 28. Rear (north) elevation, partially obstructed, view southeast (PCR 2015)



Figure 29. Detail of rear (north) elevation showing two, six-over-one casement windows surmounted by brick arches flanked by two filled in window (alteration, far left and far right) (PCR 2015)

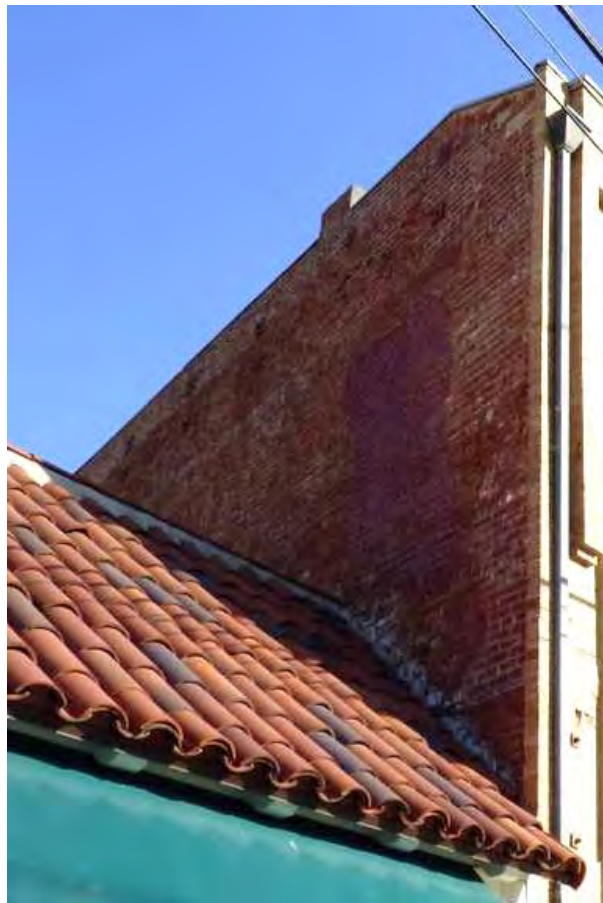


Figure 30. Detail of west elevation at southwest corner showing the addition to the roofline (alteration) (PCR 2015)



Figure 31. Detail of west elevation showing beveled corner (alteration) (PCR 2015)



Figure 32. First floor interior, main office area, view south (PCR 2015)



Figure 33. First floor interior showing exposed brick, tile and carpet flooring, and partition walls in the rear (alterations), view northwest (PCR 2015)



Figure 34. First floor interior showing exposed brick, tile and carpet flooring, and partition walls in the rear (alterations), view northeast (PCR 2015)



Figure 35. Bricked in window opening (alteration) with wood lentil on the east wall of the first floor (PCR 2015)



Figure 36. Wood support beam on the eastern side of the first floor interior, possibly original (PCR 2015)



Figure 37. Hallway at rear of first floor interior (alteration), view north (PCR 2015)



Figure 38. Conference room (addition) on the eastern side of the rear of the first floor interior (PCR 2015)

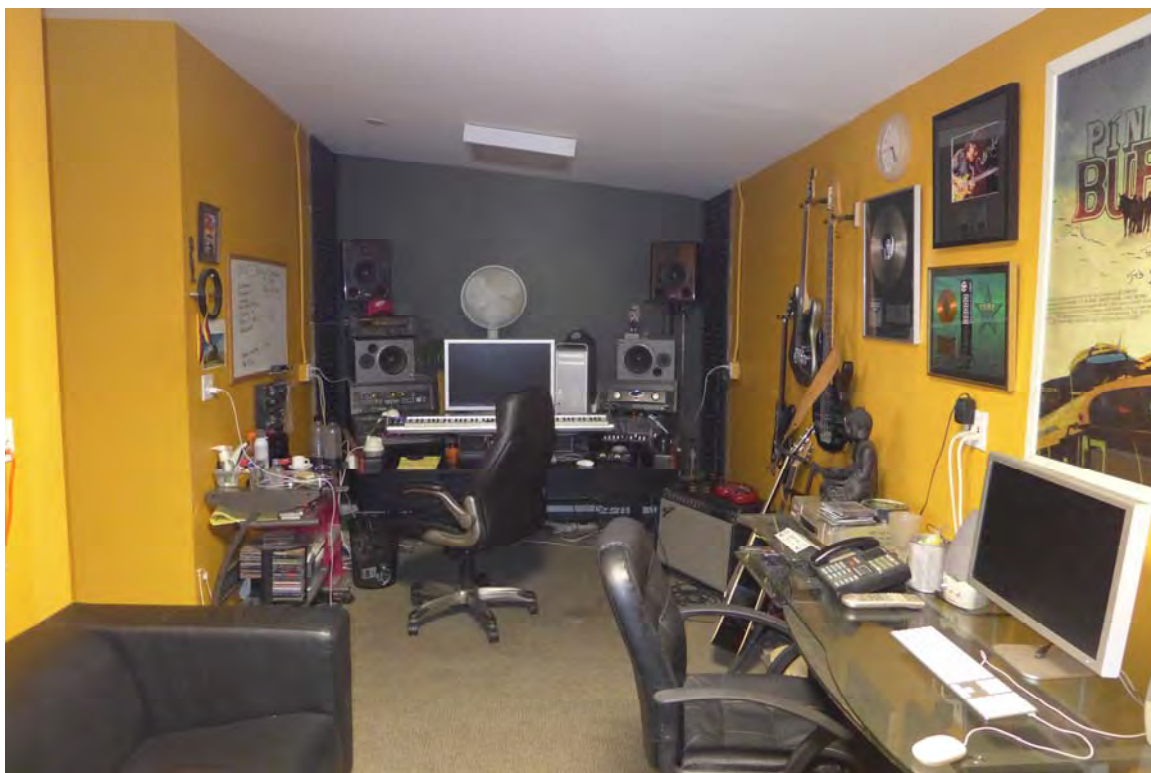


Figure 39. Recording studio located in the first floor rear addition, view west (PCR 2015)



Figure 40. Recording studio located in the first floor rear addition, view east (PCR 2015)



Figure 41. Second floor interior hallway, showing closet storage (center, alteration) with doors to individual units on either side (doors replaced), view east (PCR 2015)



Figure 42. Skylight (alteration) above second floor interior hallway (PCR 2015)



Figure 43. Transom above doorway, second floor (alteration, glass replaced) (PCR 2015)



Figure 44. Interior of a second floor office unit (PCR 2015)



Figure 45. Interior of a second floor office unit, showing kitchenette in the background (PCR 2015)



Figure 46. Exposed brick in a second floor office unit, brick has a white discoloration (PCR 2015)

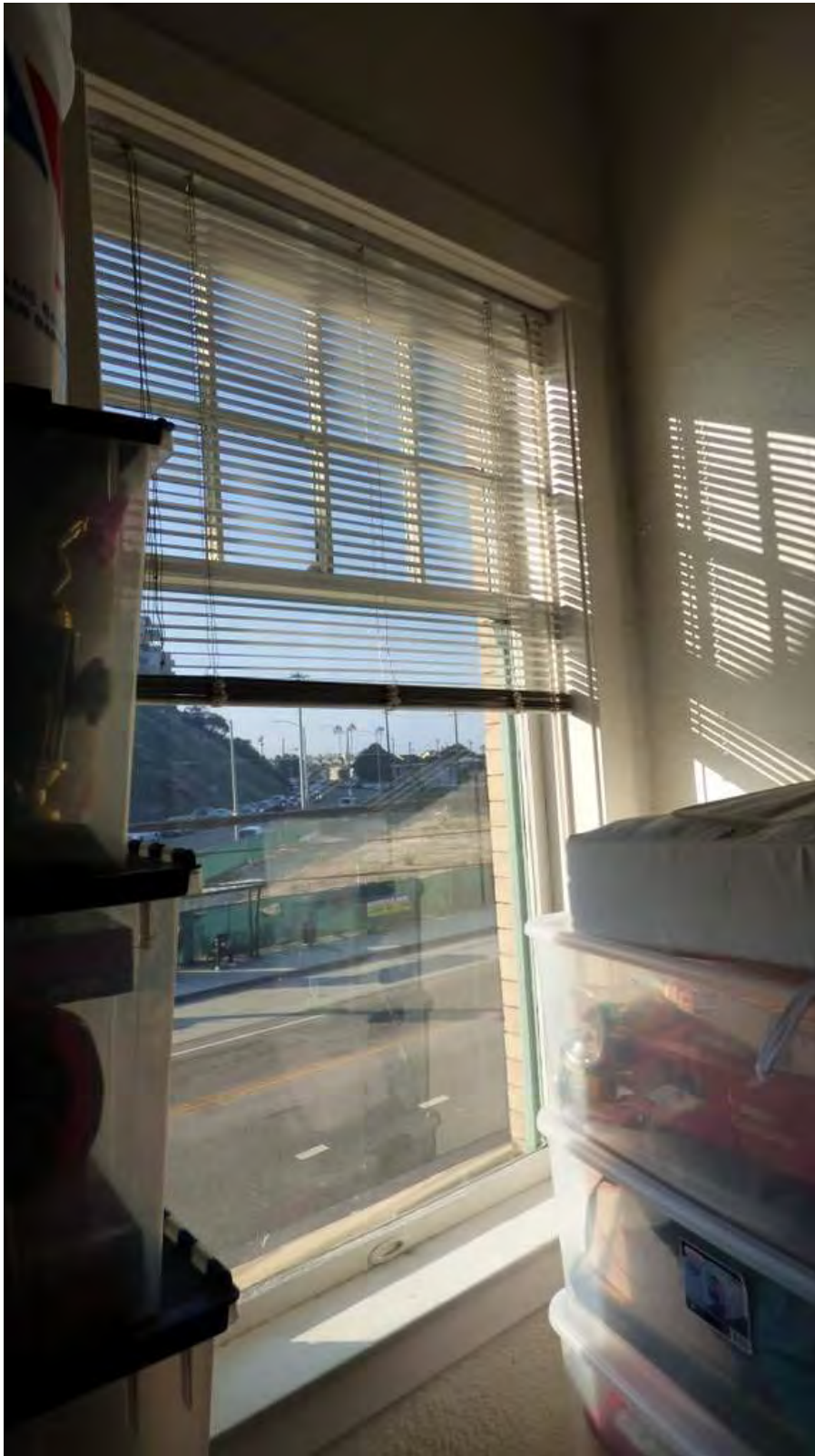


Figure 47. Interior view of an original wood frame double-hung sash window on the north wall (PCR 2015)b. Integrity Analysis

b. Integrity

The National and California Registers have specific language regarding integrity. Both require that a resource retain sufficient integrity to convey its significance.³⁹ In accordance with the guidelines of the National Register, integrity is evaluated in regard to the retention of location, design, setting, materials, workmanship, feeling, and association. The property must retain, however, the essential physical features that enable it to convey its historic identity. Furthermore, National Register Bulletin 15 states, “A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer. Like feeling, association requires the presence of physical features that convey a property’s historic character. Because feeling and association depend on individual perceptions, their retention alone is never sufficient to support eligibility of a property for the National Register.”⁴⁰ The California Register requires that a resource retain enough of its historic character or appearance to be recognizable as a historical resource and to convey the reasons for its significance.

In addition to the integrity recommendations provided at the national and state levels, eligibility standards are defined at the local level. SurveyLA outlines the required integrity that properties need in order to be eligible under historical themes and property types. In the case of Early 20th Century Commercial Vernacular architecture, SurveyLA states that the property must be at least two stories in height, be vernacular in design, and retain its original exterior cladding, window openings, and storefront configuration. SurveyLA allows that original signage may have been altered or removed, the original use may have changed, parapets or cornices may have been removed to comply with seismic regulations, and that security bars may have been added. To be significant under this context, properties should retain integrity of Location, Design, and Materials from the period of significance.

With regard to the Neighborhood Market property type, SurveyLA requires that the property was originally designed for and used as a market or grocery store. It allows that the original use may have changed and that some original materials may have been altered, removed or replaced. To be eligible as a Neighborhood Market, the property should retain integrity of Location, Design, Setting, and Materials.

The subject property is associated with two distinct periods of significance. The primary period of significance from 1904 to 1933, represents the associations with the Beach Land Company and Dickinson & Gillespie Corporation developments of Playa del Rey and Early 20th Century Commercial Vernacular architecture. The secondary period of significance from 1933 to 1966 represents the association with the Neighborhood Market property type. With these themes and the corresponding integrity considerations in mind, the subject property is evaluated against each of the seven aspects of integrity below.

Location:

The subject property retains integrity of location and has not been moved from its original site. Therefore, the subject property retains integrity of location under both the primary and secondary periods of significance.

³⁹ *National Register Bulletin 15, p. 44.*

⁴⁰ *Ibid, 15, p. 46.*

Design:

Primary Period of Significance (1904-1933): The subject property underwent substantial alterations following the Long Beach Earthquake in 1933, and lost most character-defining features from its original circa 1904 appearance. The pointed parapet, upper cornice, elaborate floral lower cornice, and the original storefront (including two levels of transom windows) are gone. Additionally, one of the original four windows on the front façade has been bricked in, as has the lower window on the east elevation and at least two windows on the second floor of the rear elevation. The three original windows and single door on the first floor of the rear elevation have also been blocked in and/or are covered by the one-story shed roof rear addition. Furthermore, the east, west, and north (rear) walls have been built up with approximately an additional seven courses of brick, altering the height of the roof line. Finally, the interior is substantially altered, as it has been remodeled and subdivided numerous times since the building was constructed circa 1904. This includes changing the configuration of the second floor to allow for individual bathrooms for each unit and the addition of skylight. Therefore, the subject property does not retain integrity of design under the primary period of significance.

Secondary Period of Significance (1933-1966): Following the Long Beach Earthquake in 1933, the design of the subject property was substantially altered. Many decorative features of the front façade, including the pointed parapet and two cornices, were removed. Additionally, the storefront, which was once largely glass, was removed and replaced with a simple wood frame storefront, with a large multi-pane arched transom window and an open storefront with wood folding doors. Custom signage to advertise the property was placed in the recess above the arched window. This altered and simplified design is representative of the secondary period of significance. However, the design from this period has also been altered since 1933. The open wood frame storefront has been enclosed with a concrete storefront with a recessed entry, several windows have been bricked in as described above, the open floor plan of the first floor has been partitioned for office use, the arched transom windows have been partially blocked by interior alterations and the frame around the window has been reinforced with additional wood supports and appears to be partially reframed along the top edge. The original 1933 front light fixtures that illuminated the storefront have also been removed. As stated above, the interior, including the second floor, has been substantially altered by remodels that changed the configuration of the interior spaces and also introduced a skylight on the second floor. Therefore, the subject property does not retain integrity of design under the secondary period of significance.

Setting:

Primary Period of Significance (1904-1933): The setting of the subject property has changed significantly since the early 20th century. For most of the primary period of significance, it appears that the subject property remained relatively isolated on its side of the block, with no adjoining buildings on either side. Now, later buildings abut the subject property on all sides, and significant development has occurred all around the commercial area of Playa del Rey. Other major buildings from the Beach Land Company days, such as the pavilion and the Hotel Del Rey, were lost in the 1920s. Furthermore, very few residential properties in Playa del Rey are still extant from the early waves of development associated with the Beach Land Company and later with Dickson & Gillespie's Palisades Del Rey. Therefore, the subject property does not retain integrity of setting under the primary period of significance.

Secondary Period of Significance (1933-1966): The setting of the subject property has not substantially changed since the secondary period of significance. Most of the surrounding buildings were constructed

before or during the secondary period of significance. Therefore, the subject property retains integrity of setting under the secondary period of significance.

Materials:

Primary Period of Significance (1904-1933): Most of the materials from the primary period of significance have been removed or are significantly damaged. The pointed parapet, two cornices, and the entirety of the original storefront were removed in 1933. The tan pressed brick of the front façade was sandblasted in 1994, likely leading to the extreme damage and deterioration evident on the front elevation. Sandblasting has made the brick more porous, making it susceptible to additional damage. This is evidenced in the divots and cracks found on the surface of the pressed brick. In places, large chunks of brick are missing, further evidence of the poor condition of this material. At least four original windows have been removed and the openings blocked in. While some original materials remain, the majority have been removed or altered. Therefore, the subject property does not retain integrity of materials under the primary period of significance.

Secondary Period of Significance (1933-1966): Most of the materials of the subject property date from the primary period of significance and have been substantially compromised, as described above. However, materials from the secondary period of significance have also been altered. The original open wood storefront with folding doors has been enclosed with a concrete storefront with a recessed entry. Part of the wood framing around the arched transom windows appears to be replaced. The wood folding doors that covered the open storefront have been removed and replaced with standard contemporary composite doors with single-pane lights. The entry to the apartment/office units upstairs at 181 Culver Boulevard is now deeply recessed and the door has been replaced. Therefore, the subject property does not retain integrity of materials under the secondary period of significance.

Workmanship:

Primary Period of Significance (1904-1933): Much of the original workmanship of the subject property has been lost due to extensive alterations and the removal of character-defining features. The original workmanship is still evident in the remaining original double-hung sash wood frame windows and in some of the brickwork. However, the fine workmanship associated with the pressed brick, glass storefront, pointed parapet, and two cornices of the front façade have been lost. Additionally, while the remaining windows retain their workmanship, at least seven windows have been removed and/or blocked in. Overall, the majority of the original workmanship has been lost or severely compromised. Therefore, the subject property does not retain integrity of workmanship under the primary period of significance.

Secondary Period of Significance (1933-1966): The majority of the workmanship of the subject property dates from the primary period of significance and has been substantially compromised, as described above. Workmanship from the secondary period of significance is primarily evident in the arched transom window and concrete area above the window which previously housed signage. The signage itself and the open storefront that characterized the subject property as a neighborhood market during the secondary period of significance have been lost due to alterations. Therefore, the subject property does not retain integrity of workmanship under the secondary period of significance.

Feeling:

Primary Period of Significance (1904-1933): The subject property does not retain its original appearance. The fine detailing and craftsmanship that defined its character as a commercial property in an early 20th century beach resort community has been lost due to extensive alterations. The subject property does not retain integrity of setting, design, materials, or workmanship and has therefore lost its ability to convey its historic associations with the early development of Playa del Rey. Therefore, the subject property does not retain integrity of feeling under the primary period of significance.

Secondary Period of Significance (1933-1966): During the secondary period of significance the subject property was occupied by a neighborhood market. Key features of that market included the open storefront, open first floor, and signage. All of these features have been altered. The subject property does not retain integrity of setting, design, materials, or workmanship, as described above. Therefore, the subject property does not retain integrity of feeling under the secondary period of significance.

Association:

Primary Period of Significance (1904-1933): Under the primary period of significance, the subject property is associated with the early development of Playa del Rey, including the Venetian style resort of the Beach Land Company and later the residential development of Dickinson & Gillespie's Palisades Del Rey. However, the subject property has been substantially altered from its early 20th century appearance and no longer retains its period appearance. The subject property does not have integrity of setting, design, materials, workmanship, or feeling under the primary period of significance. Therefore, the subject property does not possess sufficient integrity to convey its historical associations under the primary period of significance.

Secondary Period of Significance (1933-1966): The subject property was associated with the neighborhood market property type under the secondary period of significance. As stated above, the subject property has lost integrity of design, materials, workmanship, and feeling due to alterations to the subject property. Due to this loss of integrity, the subject property is no longer able to convey its historical associations under the secondary period of significance. Therefore, the subject property does not retain integrity of association under the secondary period of significance.

Summary:

Primary Period of Significance (1904-1933): The subject property is a substantially altered example of an Early 20th Century Commercial Vernacular building from the early years of Playa del Rey's development. The subject property retains only integrity of location under the primary period of significance. Due to the removal of its parapet, two cornices, and original glass storefront, as well as the removal of seven windows and the rear door, and the damage to the primary façade due to the sandblasting and subsequent deterioration of the pressed brick, the subject property has lost integrity of design, materials, workmanship, feeling, and association. Additionally, the setting around the subject property has changed considerably since the primary period of significance, with the majority of development around the subject property occurring after 1933. Therefore, the subject property does not have sufficient integrity to merit eligibility for listing as a historical resource under the primary period of significance. An integrity matrix for the primary period of significance is provided in Table 2 below, followed by an illustration showing major alterations to the front façade after the primary period of significance (Figure 48).

Secondary Period of Significance (1933-1966): The subject property has lost integrity of design, materials, workmanship, feeling, and association under the secondary period of significance. The subject property retains only integrity of location and setting. The open wood frame storefront that characterized the subject property as a neighborhood market has been removed and replaced with a concrete storefront with recessed entryways. The arched transom window has also been altered through partial replacement of its frame. Due to substantial loss of integrity, the subject property is no longer able to convey its historic associations. Therefore, the subject property does not have sufficient integrity to merit eligibility for listing as a historical resource under the primary period of significance. An integrity matrix for the secondary period of significance is provided in Table 3 below, followed by an illustration showing major alterations to the front façade after the secondary period of significance (Figure 49).

Table 3**Integrity Matrix: Primary Period of Significance (1904-1933)**

	Lacks Integrity	Retains Integrity
Location		X
Design	X	
Setting	X	
Workmanship	X	
Materials	X	
Feeling	X	
Association	X	

Table 4**Integrity Matrix: Tertiary Period of Significance (1933-1966)**

	Lacks Integrity	Retains Integrity
Location		X
Design	X	
Setting		X
Workmanship	X	
Materials	X	
Feeling	X	
Association	X	



Figure 47. Alterations to historic appearance of the subject property from the **primary period of significance 1904 to 1933** (PCR 2015)



Figure 48. Alterations to historic appearance of the subject property from *the secondary period of significance 1933 to 1966* (PCR 2015)

c. Significance Evaluation

The primary period of significance associated with 179-181 Culver Boulevard is 1904, the approximate date of construction, to 1933, representing the associations with the Beach Land Company and Dickinson & Gillespie Corporation development of Playa del Rey and Early 20th Century Commercial Vernacular architecture. The secondary period of significance is 1933 to 1966, the years following the Long Beach Earthquake when the subject property was a Neighborhood Market. Research indicates the property is associated with the following historical and architectural themes: Playa del Rey and Streetcar Commercial Development (1886-1936); Early 20th Century Commercial Vernacular architecture (1900-1950); and Neighborhood Markets (1880-1980).

Broad Patterns of History

With regard to broad patterns of history, the following are the relevant criteria:

National Register Criterion A: Is associated with events that have made a significant contribution to the broad patterns of our history.

California Register Criterion 1: Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.

Los Angeles Historic Cultural Monument Criterion: The proposed site, building, or structure reflects or exemplifies the broad cultural, political, economic, or social history of the nation, State, or City (community).

The subject property was built circa 1904 during the time the Beach Land Company was developing a Venetian-style beach resort in the community of Playa del Rey after the failure of the Port Ballona project in the late 19th century. The original use of the subject property is unknown, although it was clearly designed for commercial purposes. Based on historic photographs, it appears the subject property was functioning as a restaurant by the 1920s. The Beach Land Company's resort was failing by the early 1920s and the area was bought up by the Dickinson & Gillespie Corporation for residential development. At that time the store was put up for sale or lease by T.O. McCoye of the Dickinson & Gillespie Corporation. Dickinson & Gillespie were bought out by their former employee, Fitz Burns, in 1929, just before the crash of the stock market and the start of the Great Depression, which largely halted development in the area. While the subject property served as a commercial destination during both the Beach Land Company and Dickinson & Gillespie years in early Playa del Rey history, the subject property was substantially altered following the 1933 Long Beach Earthquake and has been additionally altered in the 70 years since that disaster. The subject property no longer retains sufficient integrity to convey its historical associations with this early period of Playa del Rey's development.

From approximately 1933 to 1966 the subject property served as the neighborhood market for Playa del Rey. The subject property was converted from its previous use (likely a small restaurant) into a market through the reconfiguration of the storefront. The double row of transoms and the glass storefront were removed and replaced with an open wood frame storefront, with an arched transom and folding wood doors. The folding doors allowed the first floor to open up fully to accommodate the new use as a market. In the early 1930s the market was called the Del Rey Co-operative Market and it was run by T.O. and Cora McCoye. T.O. McCoye was a former employee of the Dickinson & Gillespie Corporation who helped develop Playa del Rey in the 1920s. In 1947 the folding doors were removed and replaced with glass windows to modernize the market. By 1958 the subject property was known as Shehady's Market and continued to function as a market until 1966, when it was converted into a bar. The bar conversion and later alterations substantially altered the historic appearance of the subject property under the secondary period of significance (1933-1966). The open wood frame storefront has been covered over in concrete and the configuration altered multiple times since 1966. The folding doors that characterized the early years of the market are gone. All original signage from the period has also been removed, and the arched transom window has been partially reframed. Due to these alterations, the subject property no longer retains sufficient integrity to convey its historical association as a neighborhood market. Additionally, per the SurveyLA eligibility standards for this property type, the subject property should have been originally designed and built as a market, which it was not.

Therefore, the subject property does not appear eligible for the National Register under Criterion A, the California Register under Criterion 1, or the local register under either the primary or secondary periods of significance.

Significant Persons

With regard to associations with important persons, the following are the relevant criteria:

National Register Criterion B: Is associated with the lives of persons significant in our past.

California Register Criterion 2: Is associated with the lives of persons important in our past.

Los Angeles Historic Cultural Monument Criterion: The proposed site, building, or structure is identified with historic personages or with important events in the main currents of national, State, or local history.

The subject property is not associated with any known persons of historic significance. The early owners, A.M. Squire and later Charles Mettler, were in real estate development and do not appear to have any ties apart from ownership to the building. Additionally, neither Squire nor Mettler appear to have been particularly significant in Los Angeles history. T.O. McCoye was involved in Playa del Rey real estate from about 1921 to 1959, and briefly operated the market in the subject property for approximately five years. However, while T.O. McCoye was a prominent citizen of Playa del Rey and a successful realtor, he does not appear to be particularly significant in the community's history, especially compared to Fritz Burns who was the primary driving force behind the development of the area during the Dickinson & Gillespie years. There is no indication that later owners and/or occupants are significant to local, state, or national history. Therefore, the subject property does not appear to satisfy National Register Criterion B, California Register Criterion 2, or the local register for eligibility related to a historic personage.

Architecture

With regard to architecture, design or construction, the following are the relevant criteria:

National Register Criterion C: Embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.

California Register Criterion 3: Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.

Los Angeles Historic Cultural Monument Criterion: The proposed site, building, or structure embodies certain distinguishing architectural characteristics of an architectural-type specimen, inherently valuable for a study of a period style or method of construction; or the proposed site, building, or structure is a notable work of a master builder, designer, or architect whose individual genius influenced his age.

The subject property is a substantially altered example of an early 20th century brick vernacular building. The original pointed parapet and upper and lower cornices have removed. While SurveyLA allows for the

removal of parapets and cornices to comply with seismic regulations, this change nevertheless substantially alters the design, materials, workmanship, and feeling of the front elevation. Additionally, the circa 1904 glass storefront has been completely removed, including the double row of transoms above the entryway, and seven original windows have been blocked in. Therefore, the subject property fails to meet the eligibility standard requiring that an early 20th century commercial vernacular building retain its original window openings and storefront configuration. Finally, while the pressed brick is still extant, it is heavily deteriorated, likely due to the power washing of the brick in 1994, and the poor condition of the brick has negatively affected the subject property's integrity of materials under the primary period of significance. Due to these alterations the subject property no longer conveys its historical significance as an example of early 20th century vernacular commercial architecture.

The subject property is also associated with the Neighborhood Market property type under the secondary period of significance. However, as state above in the integrity section and under Criterion A/1/1, the subject property is a heavily altered example of a Neighborhood Market. The storefront has been reconfigured multiple times and the open interior space that characterized the market has been altered and subdivided. Additionally, the subject property was not purpose-built as a market, and therefore does not meet the eligibility requirements set down by SurveyLA for this property type. Therefore, the subject property is not eligible under National Register Criteria C, California Register Criteria 3, or the local register.

Archaeology

National Register Criterion D. It yields, or may be likely to yield, information important in prehistory or history.

California Register Criterion 4. Has yielded, or may be likely to yield, information important in prehistory or history.

While the vicinity of Playa del Rey and Ballona Creek are sensitive for prehistoric archaeology, the land of the subject property was disturbed during the construction of the existing building and therefore the likelihood of encountering artifacts within the subject property is low. Due to previous disturbance related to the development of the subject property and the surrounding area, the subject property is not likely to yield any information important to prehistory or history. Therefore, the subject property does not meet the above criterion at the national or state level.

C. CONCLUSION

The subject property is substantially altered and lacks sufficient integrity to convey its historical significance under the primary period of significance (1904-1933) as part of the Beach Land Company and later Dickinson & Gillespie development of Playa del Rey and as an example of Early 20th Century Commercial Vernacular architecture or the secondary period of significance (1933-1966) as a Neighborhood Market. Under the primary period of significance the subject property has lost integrity of setting, design, materials, workmanship, feeling, and association as a result of the removal of the building's parapet, building cornice, storefront cornice, double-row of transom windows, and glass storefront, as well as the removal and infill of seven windows and the rear door, creation of a one-story rear addition, and the deterioration of the pressed brick front. Under the secondary period of significance, the subject property has lost integrity of design, materials, workmanship, feeling, and association, primarily due to the removal of the open wood frame storefront with folding doors with a concrete storefront with a recessed entry, partial reframing of the arched transom, and extensive interior alterations that have subdivided the open floorplan and partially

blocked the transom. This lack of integrity renders the subject property unable to convey its historical associations with the development of Playa del Rey under the Beach Land Company and later Dickinson & Gillespie, as well as its associations as an example of an early 20th century commercial building or a neighborhood market. Therefore, the Residence appears ineligible for listing under any federal, state or local eligibility criteria. As a result of these investigations, PCR recommends the subject property be assigned a CHR Status Code of 6Z, “found ineligible for National Register, California Register or local designation through survey evaluation.”

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SurveyLA

Appendix A – Professional Qualifications



Margarita Jerabek, Ph.D.

ASSOCIATE PRINCIPAL, DIRECTOR OF HISTORIC RESOURCES

SUMMARY

Margarita Jerabek has 25 years of professional practice in the United States with an extensive background in historic preservation, architectural history, art history and decorative arts, and historical archaeology. She specializes in Visual Art and Culture, 19th-20th Century American Architecture, Modern and Contemporary Architecture, Architectural Theory and Criticism, Urbanism, and Cultural Landscape, and is a regional expert on Southern California architecture. Her qualifications and experience meet and exceed the Secretary of the Interior's Professional Qualification Standards in History, Archaeology, and Architectural History. She has managed and conducted a wide range of technical studies in support of environmental compliance projects, developed preservation and conservation plans, and implemented preservation treatment projects for public and private clients in California and throughout the United States.

EXPERIENCE

Dr. Jerabek has prepared a broad range of environmental documentation and conducted preservation projects throughout the Los Angeles metropolitan area and Southern California counties. She provides expert assistance to public agencies and private clients in environmental review, from due diligence through planning/design review and permitting and when necessary, implements mitigation and preservation treatment measures on behalf of her clients. As primary investigator and author of hundreds of technical reports, plan review documents, preservation and conservation plans, HABS/HAER/HALS reports, construction monitoring reports, salvage reports and relocation plans, she is a highly experienced practitioner and expert in addressing historical resources issues while supporting and balancing project goals.

She is an expert in the evaluation, management and treatment of historic properties for compliance with Sections 106 and 110 of the NHPA, NEPA, Section 4(f) of the Department of Transportation Act, CEQA, and local ordinances and planning requirements. Dr. Jerabek regularly performs assessments to ensure conformance with the Secretary of the Interior's Standards for the Treatment of Historic Properties, and assists clients with adaptive reuse/rehabilitation projects by providing preservation design and treatment consultation, agency coordination, legally defensible documentation, construction monitoring and conservation treatment.

She is a regional expert on Southern California architecture. She has prepared a broad range of environmental documentation and conducted preservation projects throughout the Los Angeles metropolitan area as well as in Ventura, Orange, Riverside, San Bernardino and San Diego counties. Beyond her technical skill, Dr. Jerabek is a highly experienced project manager with broad national experience throughout the United States. She currently manages PCR's on-call preservation services with the City of Santa Monica, County of San Bernardino Department of Public Works, City of Hermosa Beach, Los Angeles Unified School District, and Long Beach Unified School District.

Education

Ph.D., Art History, University of California, Los Angeles, 2005

M.A., Architectural History, School of Architecture, University of Virginia, Charlottesville, 1991

Certificate of Historic Preservation, School of Architecture, University of Virginia, Charlottesville, 1991

B.A., Art History, Oberlin College, Oberlin, Ohio, 1983

Awards/Recognition

2014 Preservation Award, *The Dunbar Hotel*, L.A. Conservancy

2014 Westside Prize, *The Dunbar Hotel*, Westside Urban Forum,

2014 Design Award: *Tongva Park & Ken Genser Square*, Westside Urban Forum

2012 California Preservation Foundation Award, *RMS Queen Mary Conservation Management Plan*, California Preservation Foundation

Professional Affiliations

California Preservation Foundation

Santa Monica Conservancy

Los Angeles Conservancy

Society of Architectural Historians

National Trust for Historic Preservation Leadership Forum

American Institute of Architects (AIA), National Allied Member

American Architectural Foundation

Association for Preservation Technology



Amanda Kainer, M.S.

SENIOR ARCHITECTURAL HISTORIAN

SUMMARY

Amanda Kainer has more than eight years of professional and academic experience in the practice of historic preservation and architectural history. Ms. Kainer has conducted extensive archival research, field observation, recordation, and prepared survey documentation and assisted in database management for numerous PCR historic resources projects. She has training and substantial experience in the evaluation and conservation of art and architecture and passion for interior design.

EXPERIENCE

Ms. Kainer has completed and co-authored a wide range of architectural investigations including historic resources assessment and impacts analysis reports for compliance with CEQA, character-defining features reports, plan reviews, investment tax credit applications, Section 106 significance evaluations, and HABS documentations. She has also performed extensive research, survey work, and prepared numerous landmark and preliminary assessment reports as a part of PCR's On-Call Historic Preservation Contract with the City of Santa Monica.

She is involved a diverse set of projects and analyses. These include anything from a California Register nomination for the UCLA Faculty Center to a paint analysis for a Churrigueresque style 1920s commercial building in Santa Monica. She has co-authored Section 106 reports for the residential development in Thousand Oaks, Santa Monica Pier, Avalon Fuel Dock on Catalina Island, and a Mid-Century roadside motel in Bakersfield. For LAUSD, Ms. Kainer authored a character-defining features analysis for seven historic schools, provided historic analysis for an MND, and preliminary resource evaluations and plan reviews for various historic schools.

Historic Resources Assessments: Ms. Kainer has contributed to the research, site inspections, and report preparation of a number of historic resources assessments in the Los Angeles metropolitan area for compliance with CEQA. Ms. Kainer has evaluated a number of different types of potential historical resources, including single-family and multi-family residences, banks, commercial buildings, schools, hotels, and cultural landscapes in Beverly Hills, Venice, Los Angeles, and Santa Monica.

Large Scale Survey Experience: She was a contributing author for three major Community Redevelopment Agency of the City of Los Angeles—Adelante Eastside, Wilshire Center/Koreatown, and Normandie 5 Redevelopment Areas. Ms. Kainer also served as PCR Survey Team Leader and co-author for the comprehensive survey of over 4,000 objects of fine and decorative arts aboard the RMS Queen Mary in Long Beach. Additionally, Ms. Kainer helped complete the district-wide survey and evaluation of the Long Beach Unified School District and a windshield survey of Hermosa Beach for the Historic Resources Chapter of the Hermosa Beach General Plan Update.

Education

M.S., Historic Preservation
(Emphasis: Conservation Science),
Columbia University, New York, New
York, 2008

B.S., Design (Emphasis: Interior
Architecture), University of
California, Davis, 2002

B.A., Art History, University of
California, Davis, 2002

Awards/Recognition

Joel Polsky Academic Achievement
Award, American Society of Interior
Designers, 2008

Continuing Education

CEQA and Historic Resources:
Thresholds, Mitigation & Case
Studies, California Preservation
Foundation Workshop, March 2011

Professional Affiliations

California Preservation Foundation

Los Angeles Conservancy

Santa Monica Conservancy
(Volunteer Docent for the Shotgun
House)

Docomomo SoCal

Association of Preservation
Technology Western Chapter



Virginia Harness, M.A.

ASSISTANT ARCHITECTURAL HISTORIAN

SUMMARY

Virginia Harness has one year of professional experience and two years of academic experience in the practice of historic preservation and architectural history. Additionally, her professional background includes a year of professional experience in archival work and a summer of training in archaeology. She has also worked in the field of public history, conducting oral history interviews and creating a museum exhibit.

She earned her M.A. in Architectural History and Certificate in Historic Preservation from the University of Virginia (UVA) where she studied under architectural historian Dr. Richard Guy Wilson (thesis advisor) and preservationist Dr. Daniel Bluestone. Her wide range of work across preservation and history fields brings a depth of experience to her current work in historic resources.

EXPERIENCE

Ms. Harness has extensive experience in archival research, first as an archivist with the Brethren Historical Library and Archives and during her time as a student at UVA. While at UVA she worked on the Historic American Building Survey (HABS) recordation of Little Mountain Farm in Albemarle County and was a contributing author of the National Register Nomination for a corridor in Dillwyn, Virginia to assess its eligibility for listing as a historic district on the National Register of Historic Places.

As a public history intern with Historic Vienna, Inc. in northern Virginia, she designed and created a small scale museum exhibit which included traditional board mounted displays and a touch-screen interface.

Since commencing work at PCR, first as an intern and now as a technician, she has worked on historic resources assessment and impacts analysis reports, character-defining features reports, plan reviews, and HABS documentation for projects in the greater Los Angeles metropolitan area. Recent projects include HABS documentation, plan review, and construction monitoring for a late 19th century residence in Laguna Beach; a historic resource assessment and impacts analysis report for a new construction project in the Old Pasadena historic district; research for an impact report for a pipeline in San Diego County; historic resource assessments for buildings in Los Angeles, Laguna Beach, South Pasadena and Santa Monica; and a peer review of a Los Angeles Historical-Cultural Monument Application. Additionally, Ms. Harness has assisted in the completion of character defining features analysis, most recently for seven historic schools within LAUSD, and also recently completed an architectural survey of the RMS Queen Mary in Long Beach.

Education

M.A., American Architectural History
University of Virginia, Charlottesville,
2014

Certificate in Historic Preservation,
University of Virginia, Charlottesville,
2014

B.A., Liberal Arts, St. John's College,
Annapolis, Maryland, 2011

Continuing Education

Section 106: A Guide to Federal
Protections for Historic Properties,
California Preservation Foundation
Workshop, May 2015

CEQA: How it Really Works,
California Preservation Foundation
Workshop, May 2015

Professional Affiliations

Society of Architectural Historians

California Preservation Foundation

Los Angeles Conservancy



Adam F. Rajper

ARCHITECTURAL HISTORIAN TECHNICIAN

SUMMARY

Adam Rajper is an architectural historian experienced in the research and education of cultural resources in the United States and abroad. His combination of degrees provides him with a broad and advantageous skill set, including strong documentation and research skills, as well as the ability to approach preservation from an interdisciplinary perspective.

EXPERIENCE

Mr. Rajper has worked as an assistant in architectural firms throughout Southern California, most recently KTG Group, Inc. in Irvine, as well as a preservation consultant in South Asia and the Middle East. While receiving his architectural training, Mr. Rajper interned at the Los Angeles Conservancy where he helped prepare National Register Nominations.

Mr. Rajper has a strong interest in the history and theory of historic preservation, both in the United States and abroad. In 2012, he completed a course offered by the Critical Conservation Program at Harvard's Graduate School of Design and taught by Philadelphia-based architects and cultural and architectural historians, Susan Snyder and Dr. George Thomas. As part of that course, Mr. Rajper examined the origins of the preservation movement in the American Southwest, including Southern California. Mr. Rajper also has a passion for earthen architecture. As a graduate student, he documented historic mud brick palaces in Tarim, Yemen under the auspices of the Samuel H. Kress Foundation and Columbia University. He has conducted extensive research on adobe buildings throughout Southern California and is currently receiving training in earthen construction through Adobe in Action, a New Mexico-based non-profit organization.

In addition to his experience in architecture and preservation, Mr. Rajper has taught undergraduate and graduate seminars on architectural history in Cairo, Egypt. He has also worked as a research and teaching assistant, under the direction of faculty affiliated with the History, Theory, and Criticism of Architecture Program at the Massachusetts Institute of Technology. At Columbia, he focused on architectural conservation and studied under noted conservators, Dr. George Wheeler and Norman Weiss.

Education

M.S. Historic Preservation, Columbia University, New York, New York, 2008

Bachelor of Architecture, California State Polytechnic University, Pomona, 2004

Professional Affiliations

Preservation Alumni

Society of Architectural Historians

Awards/Recognition

Robert C. Weinberg Award for Excellence in Preservation Planning and Design, 2008

William Kinne Fellows Traveling Prize, 2008

Alpha Rho Chi Medal for Leadership, Service, and Merit, 2004

Appendix B – Tract Map

PLAYA DEL REY TOWNSITE

Being a portion of
RANCHOS LA BALLONA AND SAUSAL REDONDO
LOS ANGELES COUNTY CALIFORNIA

Designed by ALFRED SOLANO, C.E.
June 1902.

Surveyed for THE BEACH LAND CO by H.E. GREEN, C.E.
August 1902

Scale 100 feet to 1 inch.

~~See Co. Surveyors Map # 7089. Discarded~~

See C. 6-56

*For change in street names, see Ord. 370 D:25-54
Annexed to the City of Los Angeles*

Traverse of Block 17

2	N. 75° 07' E	283.00
1	N. 48° 32' E	676.45
0	S. 29° 15' E	686.67
11	N. 56° 49' W	419.80
10	S. 61° 28' W	129.40
9	S. 28° 49' W	323.18
8	S. 63° 41' W	155.30
7	N. 51° 17' W	110.81
6	S. 56° 47' W	469.48
5	N. 14° 02' E	209.90
4	N. 27° 40' W	131.75
3	N. 45° 49' E	186.13

Traverse of Block 18

5	S. 33° 11' E	185.90
20	S. 18° 06' E	68.54
21	S. 31° 07' E	125.58
18	N. 39° 10' E	329.50
19	N. 17° 42' E	273.53
7	N. 51° 17' W	110.81
6	S. 56° 47' W	469.48

Traverse of Block 19

11	S. 60° 45' W	322.73
12	S. 53° 47' W	418.07
14	S. 38° 10' W	339.00
16	S. 52° 10' W	163.00
17	N. 52° 50' W	118.20
18	N. 39° 10' E	329.50
19	N. 17° 42' E	273.53
7	N. 63° 47' E	155.30
8	N. 28° 49' E	323.18
9	N. 61° 28' E	129.40
10	S. 56° 49' E	419.80

Traverse of Block 20

13	S. 4° 42' E	296.41
33	S. 61° 24' W	121.37
31	N. 33° 56' W	103.44
32	N. 75° 56' W	154.04
15	N. 38° 10' E	54.29
14	N. 53° 47' E	317.29

Traverse of Block 21

31	S. 21° 16' W	155.88
30	S. 37° 34' W	295.48
28	N. 42° 10' W	149.38
29	N. 68° 44' W	187.53
17	N. 52° 10' E	163.00
16	N. 38° 10' E	264.71
15	S. 75° 56' E	154.04
32	S. 33° 56' E	103.44

Traverse of Block 23

12	S. 20° 18' E	728.87
37	S. 12° 41' E	197.85
38	S. 8° 12' W	182.58
39	N. 74° 16' W	283.63
35	N. 21° 52' E	158.60
34	N. 13° 20' W	491.54
33	N. 4° 42' W	296.41
13	N. 53° 47' E	100.78

Traverse of Block 24

28	N. 37° 34' E	295.48
30	N. 21° 16' E	155.88
31	N. 61° 24' E	121.37
33	S. 13° 20' E	491.54
34	S. 21° 52' W	158.60
35	S. 70° 46' W	153.10
36	N. 74° 49' W	201.60
27	N. 17° 30' W	194.60

Traverse of Block 26

27	S. 74° 49' E	201.60
36	N. 70° 46' E	153.10
35	S. 74° 16' E	283.63
39	S. 8° 12' W	44.60
40	S. 50° 47' W	284.60
46	S. 84° 13' W	342.86
25	N. 13° 23' W	156.01
26	N. 3° 09' W	185.40

Traverse of Block 27

18	S. 12° 07' E	1220.3
22	S. 45° 07' E	175.17
23	N. 78° 55' E	217.30
24	N. 13° 23' W	672.28
26	N. 03° 09' W	185.40
27	N. 17° 30' W	194.60
28	N. 42° 10' W	149.38
29	N. 68° 44' W	187.53
17	N. 52° 50' W	118.20

Traverse of Block 30

42	S. 70° 20' W	261.09
43	N. 30° 40' W	240.20
44	N. 15° 40' W	172.00
45	N. 32° 47' W	207.74
46	N. 50° 47' E	284.60
40	S. 29° 15' E	370.00
41	S. 21° 44' E	340.46

Traverse of Block 31

46	S. 32° 47' E	207.74
45	S. 15° 40' E	172.00
44	S. 30° 40' E	240.20
43	S. 73° 21' W	306.42
56	S. 89° 38' W	151.17
57	N. 30° 35' W	115.00
24	N. 13° 23' W	516.27
25	N. 84° 13' E	342.86

Traverse of Block 34

47	S. 33° 55' E	367.88
48	S. 8° 32' E	173.55
49	S. 18° 53' W	234.16
50	N. 38° 11' W	760.50
43	N. 70° 20' E	261.09
42	N. 79° 27' E	70.18

Traverse of Block 35

43	S. 73° 21' W	306.42
56	S. 89° 38' W	88.09
55	S. 47° 34' E	535.33
54	S. 7° 00' E	163.52
53	S. 64° 19' E	119.82
52	N. 88° 42' E	309.03
51	N. 18° 53' E	61.94
50	N. 38° 11' W	760.50

Traverse of Block 36

55	S. 89° 38' W	88.09
57	N. 30° 35' W	115.00
24	S. 24° 33' W	159.83
58	S. 22° 52' E	327.50
62	N. 84° 18' E	165.06
63	S. 58° 25' E	365.70
53	N. 7° 00' W	163.52
54	N. 47° 34' W	535.33

Traverse of Block 37

70	N. 64° 43' W	514.83
65	N. 35° 29' E	119.69
64	N. 10° 47' E	113.91
62	N. 84° 18' E	165.06
63	S. 58° 25' E	365.70
53	S. 21° 42' W	273.50

Traverse of Block 39

58	N. 55° 21' W	169.19
59	N. 45° 07' W	187.23
22	S. 20° 11' W	268.70
60	S. 54° 19' E	320.76
61	S. 68° 34' E	248.43
62	N. 22° 52' W	327.50

Traverse of Block 40

62	S. 10° 47' W	113.91
64	S. 35° 29' W	119.69
65	N. 76° 25' W	183.78
66	N. 26° 37' W	496.54
60	S. 64° 19' E	820.76
61	S. 68° 34' E	248.43

Traverse of Block 41

66	S. 26° 37' E	456.10
67	S. 82° 42' E	461.00
68	N. 10° 22' W	172.40
69	N. 21° 42' E	36.10
70	N. 64° 43' W	514.83
65	N. 76° 25' W	183.78

Traverse of Block 45

51	S. 0° 07' E	187.33
72	S. 37° 37' E	117.28
73	N. 86° 28' W	604.46
69	N. 21° 42' E	309.60
53	S. 64° 19' E	119.82
52	N. 88° 42' E	309.03

Traverse of Block 46

73	S. 37° 37' E	81.21
74	S. 45° 53' E	270.82
75	S. 74° 21' W	539.50
76	N. 48° 13' W	398.67
68	N. 38° 39' E	204.45
71	S. 86° 28' E	445.25

Traverse of Block 47

84	N. 69° 17' E	652.00
86	N. 33° 09' W	182.05
85	N. 45° 59' W	105.10
75	S. 74° 21' W	539.50
76	S. 15° 17' E	322.13

Traverse of Block 48

68	S. 48° 13' E	233.83
77	S. 70° 33' W	339.46
78	N. 83° 28' W	157.38
79	N. 26° 37' W	346.30
67	S. 82° 42' E	461.00

Traverse of Block 49

71	S. 38° 39' W	204.45
68	N. 10° 22' W	172.40
69	S. 86° 28' E	159.21

Traverse of Block 50

79	S. 83° 28' E	157.38
78	N. 70° 33' E	339.46
77	S. 48° 13' E	164.84
76	S. 53° 22' W	537.20
80	N. 26° 37' W	375.23

Traverse of Block 51

76	S. 15° 17' E	322.13
84	S. 62° 25' W	219.57
82	S. 37° 19' W	274.28
81	N. 26° 37' W	346.48
80	N. 53° 22' E	537.20

Traverse of Block 52

88	S. 60° 45' W	427.0
89	N. 26° 37' W	172.86
81	N. 37° 19' E	274.28
82	N. 62° 25' E	167.49
83	S. 29° 15' E	276.80

Traverse of Block 53

87	S. 60° 45' W	709.0
88	N. 29° 15' W	276.80
83	N. 62° 25' E	32.08
84	N. 69° 17' E	652.00
86	S. 33° 09' E	178.85

The Beach Land Co. - Owner
Henry P. Barbour - Pres
A. J. Smith - Secy

Recorded Sept 30, 1902

PACIFIC

Line of Mean High Tide.

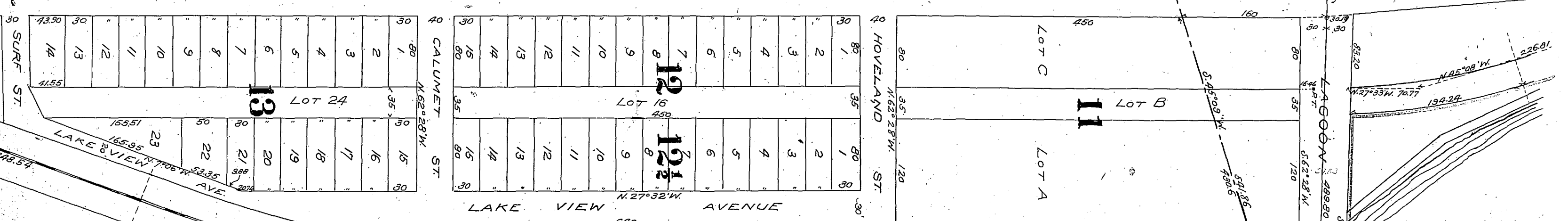
MARINE

Traverse line above High Water Line.

N.27°32'W. 1782.4

AVENUE

N.30°57'W. 822.5
Sta. 24 L.B.



BLOCK B LAGOON

LOS ANGELES, HERMOSA BEACH & REDONDO RY.

BLOCK D

VISTA DEL MAR

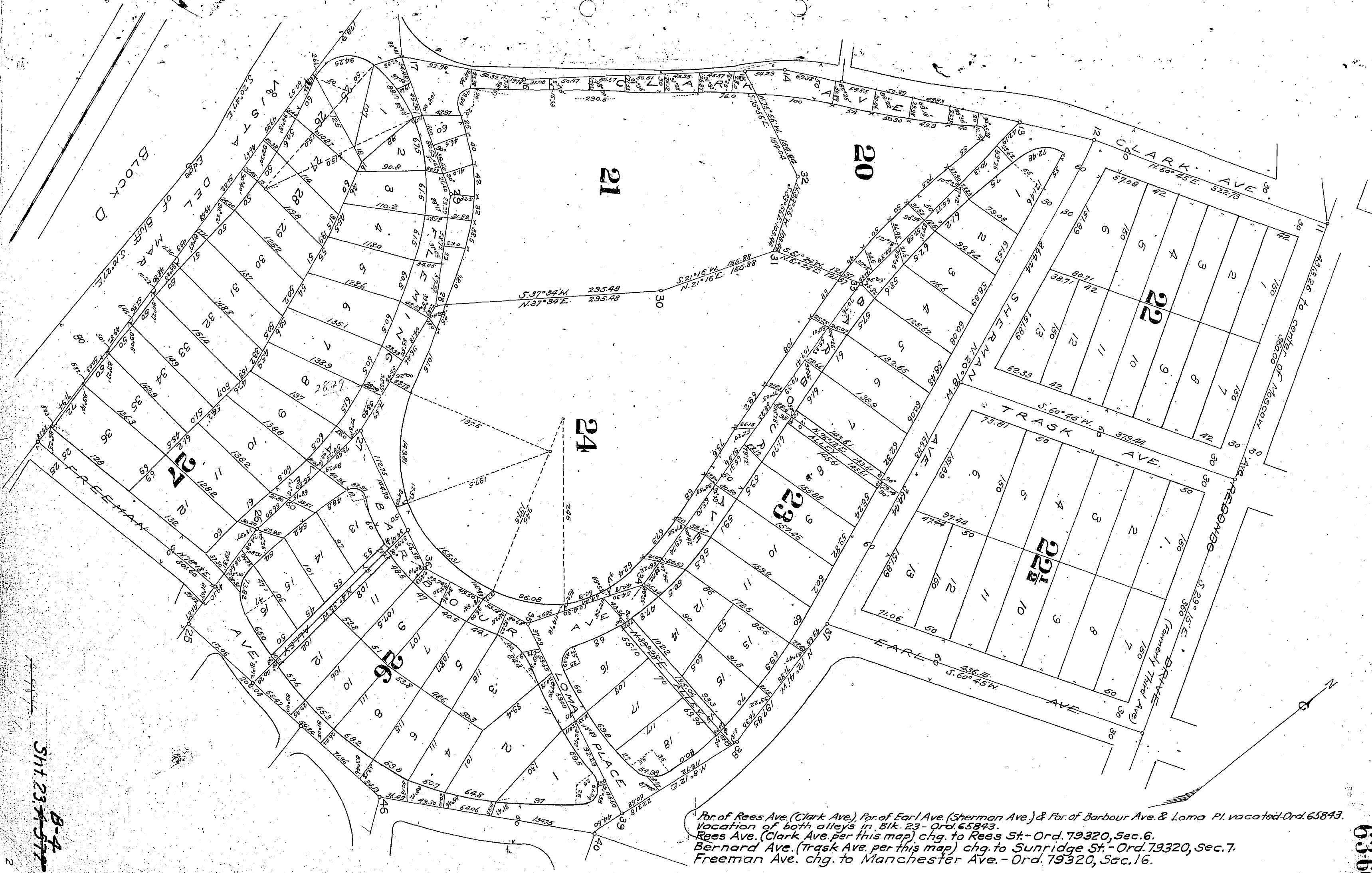
ESPLANADE

BLK. C

For P.E.R./W decided for street D:36-280 O.R.2747-266
 Mesmer Ave changed to Del Rey Blvd. Ord 57506
 Por. for Mesmer Ave. see D: 61-206, O.R.7709-148, O.R.M.7709-150.
 Portions Blk.D for Vista Del Mar Lane per F.J. E:122-46, O.R. 39338-270

Vacation of Streets M.N.107-40

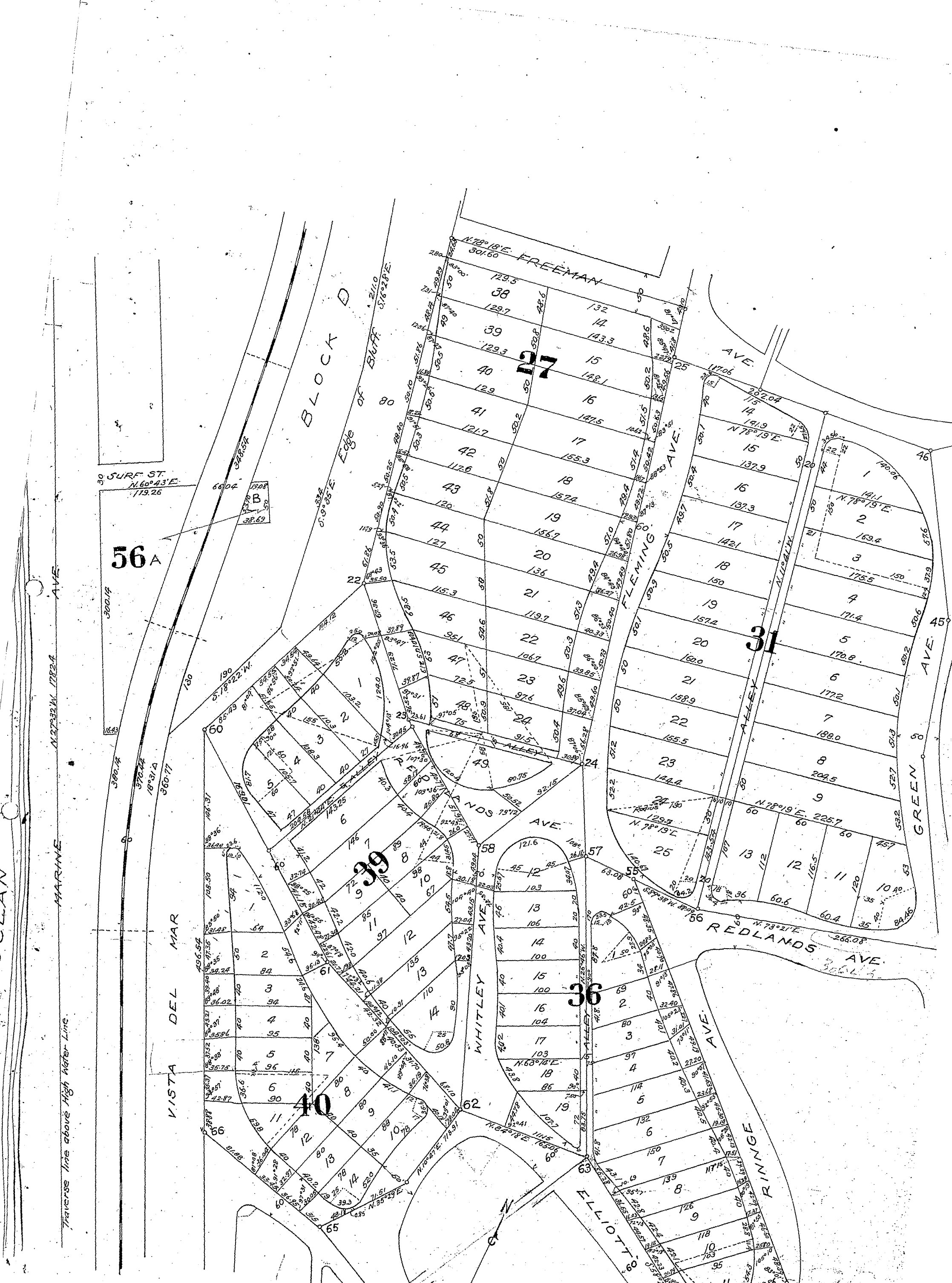
Sh't 23, B-4



Por. of Rees Ave. (Clark Ave.), Por. of Earl Ave. (Sherman Ave.) & Por. of Barbour Ave. & Loma Pl. vacated-Ord. 65843.
 Vacation of both alleys in Blk. 23 - Ord. 65843.
 Rees Ave. (Clark Ave. per this map) chg. to Rees St. - Ord. 79320, Sec. 6.
 Bernard Ave. (Trask Ave. per this map) chg. to Sunridge St. - Ord. 79320, Sec. 7.
 Freeman Ave. chg. to Manchester Ave. - Ord. 79320, Sec. 16.

B-4
 SH 23-4-577

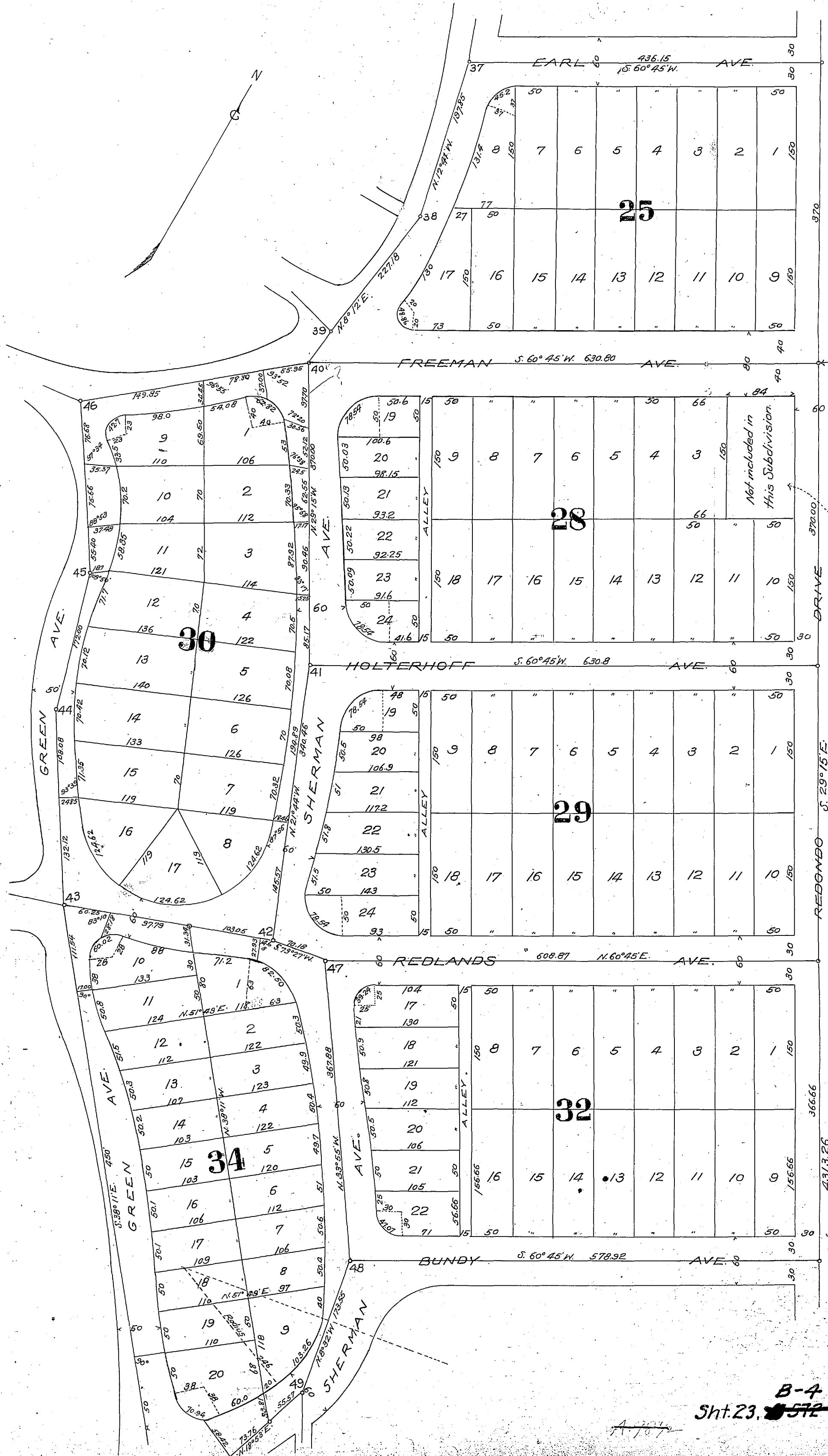
6366



Por. lots 1 & 2, Blk. 40 for Vista Del Mar - D: 75-39, O.R. 7436-393.
 Freeman Ave. chg. to Manchester Avenue - Ord. 79320, Sec. 16.
 Redlands Ave. " Redlands Street - Ord. 79320, Sec. 18.
 Waterloo Ave. (Elliott Ave) chg. to Waterview St. - Ord. 79320, Sec. 20.

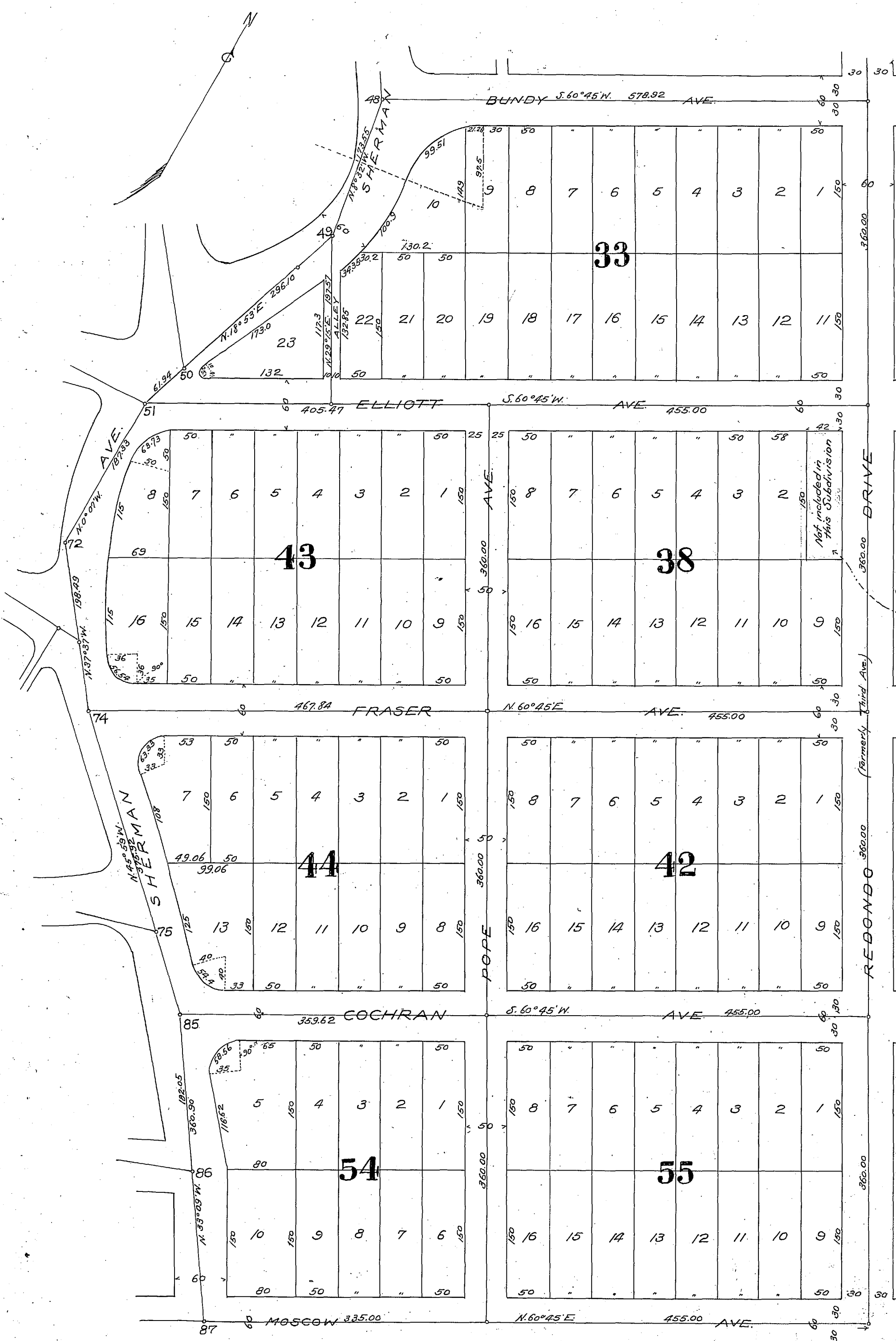
The intersection of Freeman Ave. & Redondo Drive in this map coincides with the intersection of Freeman Ave. and 3rd Ave. of the map of the Township of Port Ballona Recorded in Book 16 Pages 477 to 50 Misc. Records of Los Angeles Co.

Lots 9 & 10 Block 21 Town of Port Ballona Misc. Rec. 16-47





Approved



Lot 10 Block 91 M.L. Hicks' Addition to Town of Fort Ballona. Misc. Rec. 23-34. Not included in this subdivision.

A-78-42

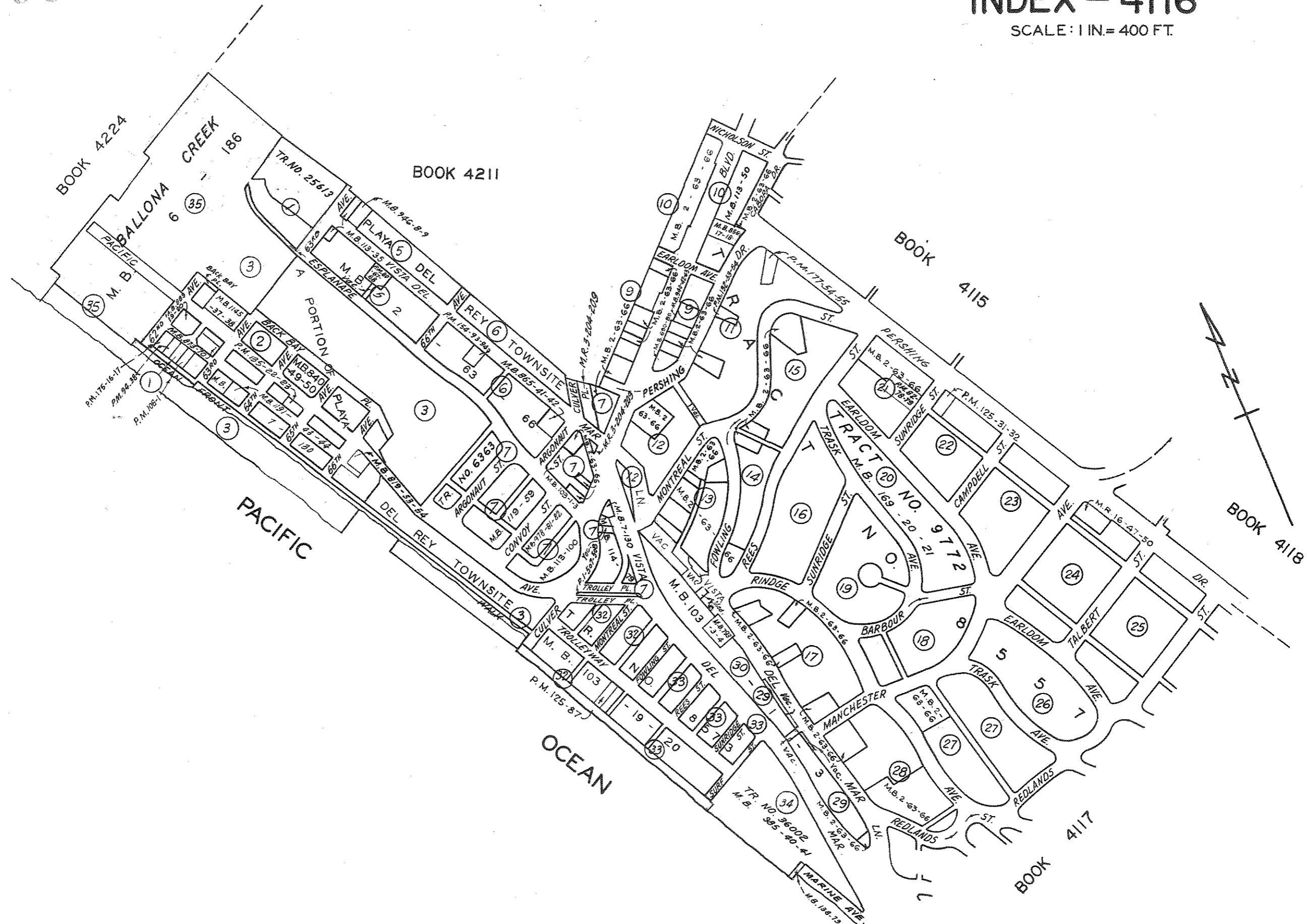
B-4
Sht. 23, 524

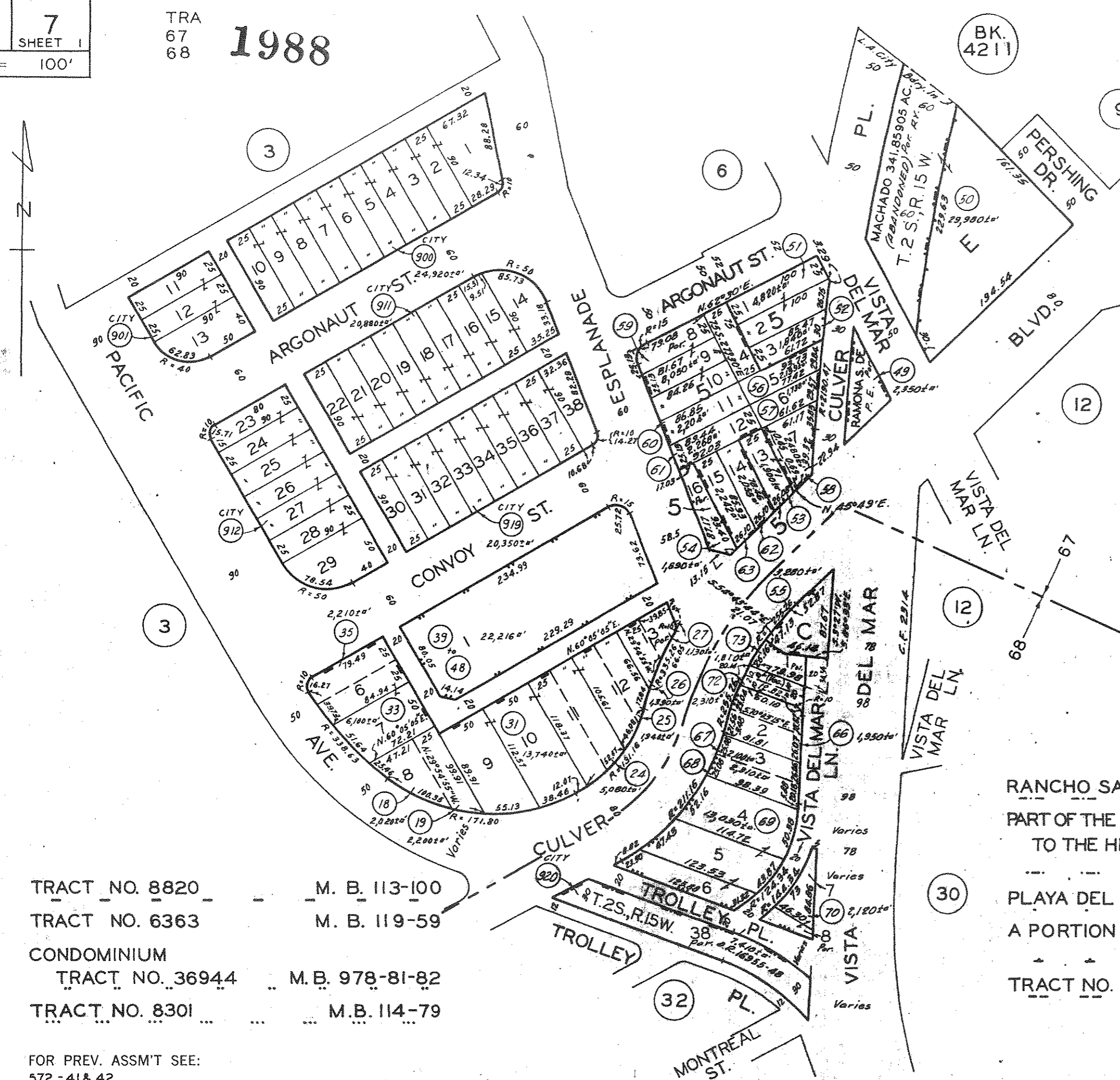
Appendix C – Tax Assessor Index and Map

SCALE 1" = 400'

- REVISED 6-9-65
- 10-10-62 680520
- 8-19-63 691113
- 1-30-64 700903
- 9-18-64 710920
- 730509 721026
- 740313
- 750711
- 751126
- 760802
- 770324
- 780112
- 780308
- 780613
- 781102
- 790326
- 800411
- 800709
- 800730

- 801110
- 810202
- 811117
- 820916
- 821101
- 830510
- 831107
- 841219
- 850220
- 850605
- 850626
- 900123
- 920909
- 20000110
- 2001012
- 20030806





*Diagrammatic depicts approximate dimensions.

The assessment of units in the following Airspace Plans, includes all rights and interests in the common areas as set forth in deeds of record.

Airspace Plan Reference	Common Area			Subdivision of Airspace
	Tract No.	Bk.	Lots Type	
#420591*	4-28-81	36944	-- 1 Condo	Sheet 2

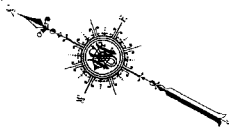
TRACT NO. 8820 M. B. 113-100
TRACT NO. 6363 M. B. 119-59
CONDOMINIUM
TRACT NO. 36944 M. B. 978-81-82
TRACT NO. 8301 M. B. 114-79

RANCHO SAUSAL REDONDO P.1-507-508
PART OF THE RANCHO LA BALLONA ALLOTTED TO THE HEIRS OF AUGUSTINA MACHADO M.R.3-204-209
PLAYA DEL REY TOWNSITE M.B.2-63-66
A PORTION OF PLAYA DEL REY TOWNSITE M.B.7-130
TRACT NO. 8557 M.B.103-1-3

Appendix D – Sanborn Maps

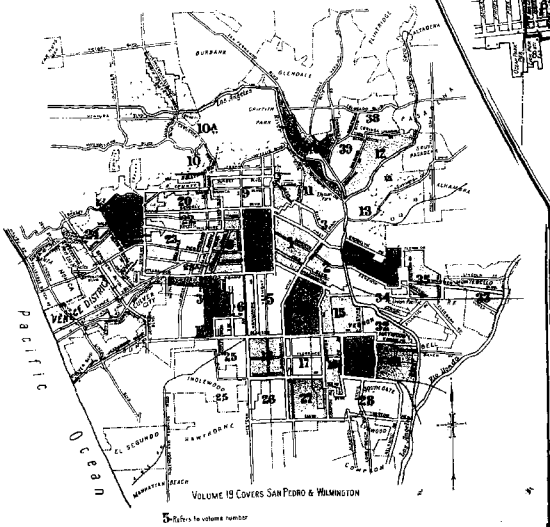
43 SHEETS
LOS ANGELES CALIFORNIA
FIRE SERVICE DISTRICT
ADDL. KEY MAP
JAN. 1940

All information contained in this volume, covering properties that might be related to National Defense activities, is to be treated as strictly confidential by our subscribers and not divulged to any outside interests. The U. S. Espionage Act makes it incumbent upon possessors of information relating to National Defense to take all possible precautions to prevent it from falling into the hands of interests inimical to the United States.



Scale 1300 ft. to an inch
(APPROX.)

GRAPHIC MAP
OF VOLUMES



Pacific Ocean

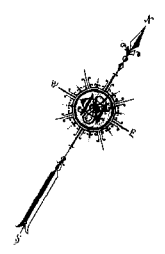
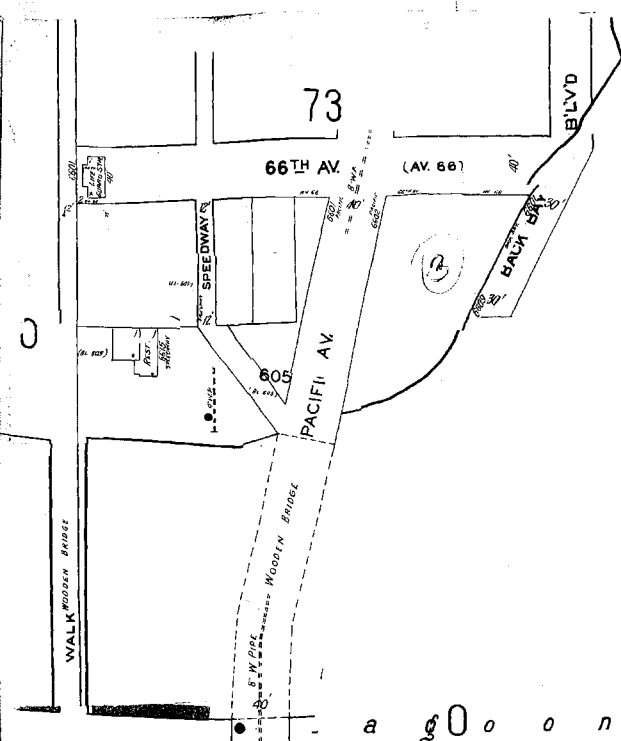
CORRECTION RECORD

REV. NO.	DATE OF CORRECTION	ATTACHED BY	DATE ATTACHED	REV. NO.	DATE OF CORRECTION	ATTACHED BY	DATE ATTACHED
1	1/11/40	W. J. ...	1/11/40	2	1/11/40	W. J. ...	1/11/40
2	1/11/40	W. J. ...	1/11/40	3	1/11/40	W. J. ...	1/11/40
3	1/11/40	W. J. ...	1/11/40	4	1/11/40	W. J. ...	1/11/40
4	1/11/40	W. J. ...	1/11/40	5	1/11/40	W. J. ...	1/11/40
5	1/11/40	W. J. ...	1/11/40	6	1/11/40	W. J. ...	1/11/40
6	1/11/40	W. J. ...	1/11/40	7	1/11/40	W. J. ...	1/11/40
7	1/11/40	W. J. ...	1/11/40	8	1/11/40	W. J. ...	1/11/40
8	1/11/40	W. J. ...	1/11/40	9	1/11/40	W. J. ...	1/11/40
9	1/11/40	W. J. ...	1/11/40	10	1/11/40	W. J. ...	1/11/40
10	1/11/40	W. J. ...	1/11/40	11	1/11/40	W. J. ...	1/11/40
11	1/11/40	W. J. ...	1/11/40	12	1/11/40	W. J. ...	1/11/40
12	1/11/40	W. J. ...	1/11/40	13	1/11/40	W. J. ...	1/11/40
13	1/11/40	W. J. ...	1/11/40	14	1/11/40	W. J. ...	1/11/40
14	1/11/40	W. J. ...	1/11/40	15	1/11/40	W. J. ...	1/11/40
15	1/11/40	W. J. ...	1/11/40	16	1/11/40	W. J. ...	1/11/40
16	1/11/40	W. J. ...	1/11/40	17	1/11/40	W. J. ...	1/11/40
17	1/11/40	W. J. ...	1/11/40	18	1/11/40	W. J. ...	1/11/40
18	1/11/40	W. J. ...	1/11/40	19	1/11/40	W. J. ...	1/11/40
19	1/11/40	W. J. ...	1/11/40	20	1/11/40	W. J. ...	1/11/40
20	1/11/40	W. J. ...	1/11/40	21	1/11/40	W. J. ...	1/11/40
21	1/11/40	W. J. ...	1/11/40	22	1/11/40	W. J. ...	1/11/40
22	1/11/40	W. J. ...	1/11/40	23	1/11/40	W. J. ...	1/11/40
23	1/11/40	W. J. ...	1/11/40	24	1/11/40	W. J. ...	1/11/40
24	1/11/40	W. J. ...	1/11/40	25	1/11/40	W. J. ...	1/11/40

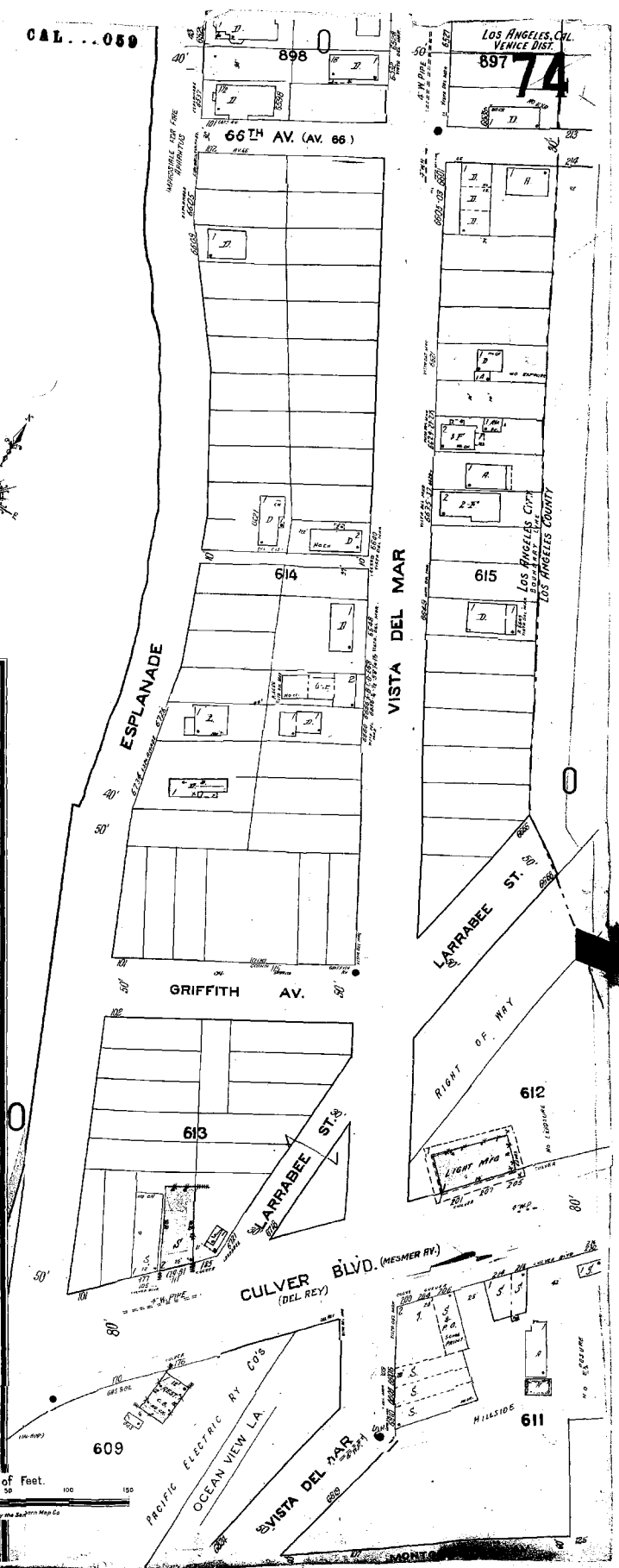
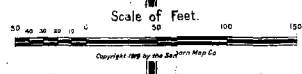
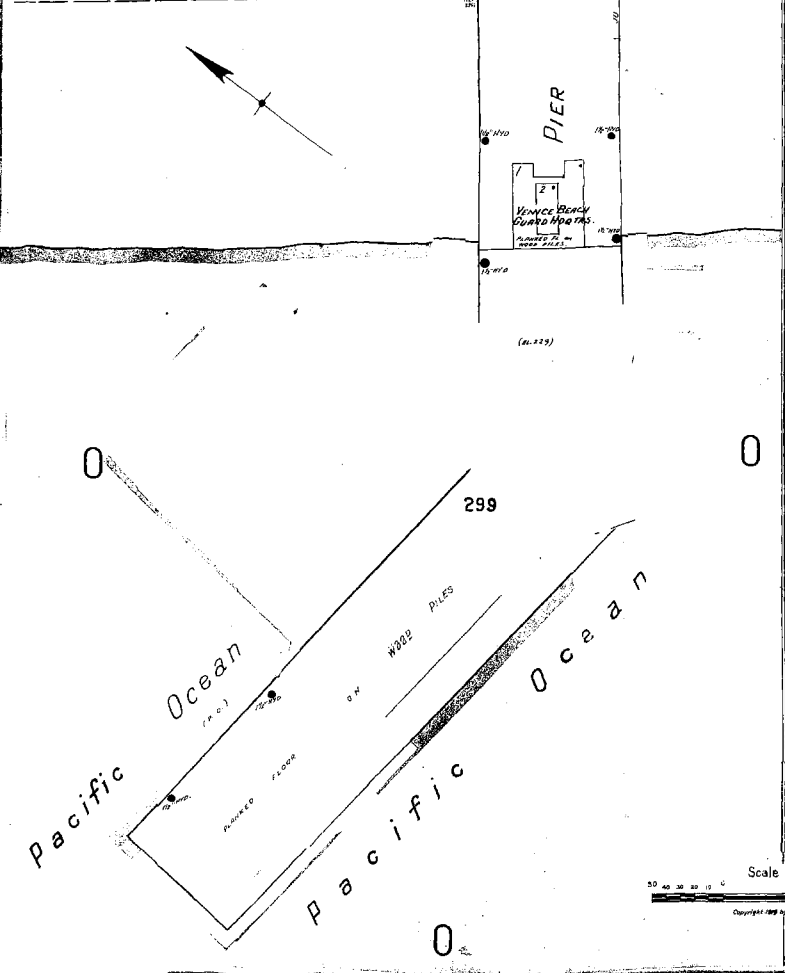
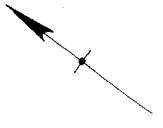
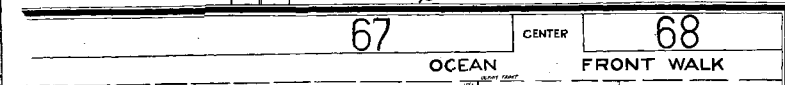
KEY

<ul style="list-style-type: none"> 1. The parcel construction... 2. Added building... 3. Stone building... 4. Concrete, iron, steel or... 5. Hollow concrete or ceramic block construction... 6. Concrete or reinforced concrete curbs... 7. Brick building with frame exterior... 8. Brick veneered building... 9. Frame building with frame exterior... 10. Frame building... 11. Frame building... 12. Frame building... 13. Frame building... 14. Frame building... 15. Frame building... 16. Frame building... 17. Frame building... 18. Frame building... 19. Frame building... 20. Frame building... 21. Frame building... 22. Frame building... 23. Frame building... 24. Frame building... 25. Frame building... 26. Frame building... 27. Frame building... 28. Frame building... 29. Frame building... 30. Frame building... 31. Frame building... 32. Frame building... 33. Frame building... 34. Frame building... 35. Frame building... 36. Frame building... 37. Frame building... 38. Frame building... 39. 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Frame building... 85. Frame building... 86. Frame building... 87. Frame building... 88. Frame building... 89. Frame building... 90. Frame building... 91. Frame building... 92. Frame building... 93. Frame building... 94. Frame building... 95. Frame building... 96. Frame building... 97. Frame building... 98. Frame building... 99. Frame building... 100. Frame building... 	<ul style="list-style-type: none"> 1. Window canopy or awning... 2. Window opening in second and fourth stories... 3. Window opening in second and fourth stories... 4. Window with wood glass... 5. Window with iron or tin clad shutters... 6. Window opening with twenty second story... 7. Window opening with... 8. Window opening with... 9. Window opening with... 10. Window opening with... 11. Window opening with... 12. Window opening with... 13. Window opening with... 14. Window opening with... 15. Window opening with... 16. Window opening with... 17. Window opening with... 18. Window opening with... 19. Window opening with... 20. Window opening with... 21. Window opening with... 22. Window opening with... 23. Window opening with... 24. Window opening with... 25. Window opening with... 26. Window opening with... 27. Window opening with... 28. Window opening with... 29. Window opening with... 30. Window opening with... 31. Window opening with... 32. Window opening with... 33. Window opening with... 34. Window opening with... 35. Window opening with... 36. Window opening with... 37. Window opening with... 38. Window opening with... 39. Window opening with... 40. Window opening with... 41. Window opening with... 42. Window opening with... 43. Window opening with... 44. Window opening with... 45. Window opening with... 46. Window opening with... 47. Window opening with... 48. Window opening with... 49. Window opening with... 50. Window opening with... 51. Window opening with... 52. Window opening with... 53. Window opening with... 54. Window opening with... 55. Window opening with... 56. 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Window opening with... 94. Window opening with... 95. Window opening with... 96. Window opening with... 97. Window opening with... 98. Window opening with... 99. Window opening with... 100. Window opening with...
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CAL...059



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Appendix E – DPR Forms

State of California & The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
 HRI #
 Trinomial
 NRHP Status Code 6Z

Other
 Review Code

Reviewer

Date

Listings

Page 1 of 9 *Resource Name or #: (Assigned by recorder) 179-181 Culver Boulevard

P1. Other Identifier: _____

*P2. Location: Not for Publication Unrestricted

*a. County Los Angeles and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Venice Date 1964 (Photorevised 1981) T 2S; R 15W; of of Sec unsectioned; San Bernardino B.M.

c. Address 179-181 Culver Boulevard City Los Angeles Zip 90293

d. UTM: (Give more than one for large and/or linear resources) Zone , mE/ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, decimal degrees, etc., as appropriate)

AIN: 4116-007-053

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
 The property is located on a right trapezoidal lot, oriented southeast toward Culver Boulevard in the City of Los Angeles. It consists of a two-story vernacular commercial building of 5-course common bond brick masonry construction with rectangular massing and flat roof. The building has been substantially altered since its original early twentieth-century construction. The primary (south) elevation is mostly constructed of tan pressed brick that is showing signs of deterioration. The façade is surmounted by a narrow band of red brick that was originally covered by a cornice and pointed parapet (see Continuation Sheet).

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



*P3b. Resource Attributes: (List attributes and codes) HP6

*P4. Resources Present: Building
 Structure Object Site District Element of District Other (Isolates, etc.)

P5b. Description of Photo: (view, date, accession #) Front (south) elevation, 2015

*P6. Date Constructed/Age and Source: Historic Prehistoric
 Both

c. 1904, Assessor Map Books

*P7. Owner and Address:
Gary and Lucy Entrekin
2951 Surfrider Avenue
Ventura, CA 93001

*P8. Recorded by: (Name, affiliation, and address) Virginia Harness
PCR Services Corporation,
201 Santa Monica Blvd.,
Suite 500, Santa Monica, CA
90401

*P9. Date Recorded: Oct. 2015

*P10. Survey Type: (Describe)
Intensive

*P11. Report Citation:
PCR Services Corporation, Historic Resource Assessment, "179-181 Culver Boulevard, Playa del Rey, Los Angeles, California," October 2015

*Attachments: NONE Location Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List): _____

State of California  The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION HRI# Primary #
BUILDING, STRUCTURE, AND OBJECT RECORD

*
 Resource Name or # (Assigned by recorder) 179-181 Culver Boulevard *NRHP Status Code 6Z
 Page 2 of 9

B1. Historic Name: Del-Rey Co-Operative Markey; Shehady's Markey; Chez Del Rey
 B2. Common Name: _____
 B3. Original Use: Unspecified commercial B4. Present Use: Offices

*B5. Architectural Style: Commercial Vernacular

*B6. Construction History: (Construction date, alterations, and date of alterations)
 No building permits were available prior to 1933. However, based upon information available in the Assessor Map Books, it appears that the property was built circa 1904. Based upon historic photographs, it appears that the property was originally a two story brick vernacular commercial building with some Italianate detailing. The first known major alteration to the property occurred in 1933, shortly after the Long Beach Earthquake. According to the building permit, the front was repaired and cracks to the interior were also repaired. However, photographic evidence indicated the changes to the front façade were much more extensive than the description provided on the permit might indicate. It was common after the earthquake to remove ornamentation from the exterior of buildings, as heavy cornices and similar decorative elements could easily fall and therefore presented a serious hazard during an earthquake.

*B7. Moved? No Yes Unknown Date: _____ Original Location: _____

*B8. Related Features: N/A

B9a. Architect: Unknown b. Builder: Unknown

*B10. Significance: Theme Early 20th Century Commercial Vernacular, Neighborhood Markets
 Area Playa del Rey
 Period of Significance Primary: 1904-1933; Secondary: 1933-1966 Property Type Commercial Building
 Applicable Criteria A/1/1, C/3/3

The property is substantially altered and lacks sufficient integrity to convey its historical significance under the primary period of significance (1904-1933) as part of the Beach Land Company and later Dickinson & Gillespie development of Playa del Rey and as an example of Early 20th Century Commercial Vernacular architecture or the secondary period of significance (1933-1966) as a Neighborhood Market. Under the primary period of significance the property has lost integrity of setting, design, materials, workmanship, feeling, and association as a result of the removal of the building's parapet, building cornice, storefront cornice, double-row of transom windows, and glass storefront, as well as the removal and infill of seven windows and the rear door, creation of a one-story rear addition, and the deterioration of the pressed brick front (see Continuation Sheet).

B11. Additional Resource Attributes: (List attributes and codes)
 *B12. References: See Continuation Sheet
 B13. Remarks:
 *B14. Evaluator: Virginia E. Harness
 *Date of Evaluation: November 2015

(This space reserved for official comments.)



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***P3a. Description:** On the second floor there are three original eight-over-one wood frame sash windows topped by flat brick arches. Originally, on the far right, there was an additional, identical window; it has been bricked in (alteration), likely sometime after 1930 based on available historic photographs, with the flat brick arch above still in place.

Most of the lower portion of the primary elevation is covered by a concrete storefront (alteration). The storefront is fitted with an arched transom window which dates from 1933, situated above a recessed, rectangular entrance. The concrete storefront replaced the 1933 open wood frame storefront. The signage above the window has been removed, the framing of the arched transom windows has been altered, and wood folding doors have been removed. Currently, interior alterations obstruct part of the arched transom windows. The recessed entrance (alteration) is fitted with a pair of single-pane glass doors (alteration) flanked by two narrow single-pane rectangular windows (alteration). On the bottom right of the primary elevation, there is a single-pane glass door (alteration) set in a rectangular recess.

The east elevation is constructed of red brick and partially obstructed by a one-story building located on the adjacent lot, immediately to the east of the property. On the upper left of the elevation, there is a painted sign reading "California Bar & Grill" (alteration). The elevation is rectangular in composition, with a beveled upper left corner. On the upper floor, in the middle of the elevation, there is a six-over-one casement window topped by a flat brick arch. An identical window located directly below on the first floor of the east elevation has been removed and the opening blocked in.

The rear (north) elevation is constructed of red brick and partially obstructed by a one-story shed-roof addition, possibly a storeroom added in 1942 according to the building permits. On the second floor, there were originally four, six-over-one casement windows surmounted by flat brick arches. The two windows on the far right and far left have been filled in (alteration), leaving the surrounding brickwork intact. Additionally, the first floor of the rear elevation originally had three windows and a rear door, which have been removed and blocked in.

The west elevation is constructed of red brick and largely obstructed by the building located on the adjacent lot, immediately to the west of the property. Like the east elevation, the west elevation is rectangular in composition, with a beveled upper right corner (alteration).

The interior of the building is substantially altered on both floors. The first floor consists of open space at the front now used for offices, with a conference room (addition), bathroom (addition), and small recording studio (addition) at the rear. The floor is a mixture of carpet and ceramic tile

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(alteration). The ceiling and portions of the walls are covered by drywall (alteration). The area around the arched transom windows has been framed out and covered in drywall in a rectangular shape, partially blocking both ends of the window. The brick on the east and west walls is exposed, though it is unlikely the interior walls were originally left unfinished. An original window opening with a wood lintel is still visible on the east wall, though the window has been removed and the opening bricked in (alteration). There are two wood support beams on the eastern half of the main office area that may be original, though one of these has been partially subsumed by the addition of a later wall. At the rear of the office space is a hallway (addition) leading to the various smaller rooms at the rear of the building. The conference room (addition) is a small rectangular room with a drop-ceiling on the eastern side of the hallway. On the western side are a bathroom (addition) and a kitchenette (addition). At the end of the hall is a small recording studio (addition) which, based upon the sloping ceiling, appears to be part of the rear addition with the shed roof. This space includes a small recording booth on the eastern end of the room.

The second floor is accessed from the exterior, from a recessed entry (alteration) at the southeast corner of the building. At one time the second floor units were used as walk-up apartments, but are now leased as office space. The stairs, hallway, and each unit are carpeted, except for one unit which has a laminate floor (alteration). At the top of the stairs is wide hallway with doors (replaced) to the four office units on the north and south sides, and closet storage on the western wall (alteration). Above is a large skylight (alteration). Each unit entry door has been replaced, though the transom openings above may be original. However, the glass in each transom has been replaced. The units have been reconfigured to operate as office space, with the addition of individual bathrooms and kitchen areas remaining from prior use as apartments. Based upon physical inspection and the fact that the second floor was damaged by fire in the 1970s, it appears that all features and finishes in the units have been replaced, covered, or added after the secondary period of significance with the exception of the windows. In one unit, some of the brick has been exposed but has a white discoloration. This could be residual from a previous wall finish, such as removed plaster, or be indicative of a more serious moisture problem. As noted in the description of the exterior, one window on the north wall and two on the south wall of the second floor have been removed and blocked in. The windows that remain are wood-frame double-hung sash windows, and appear to be original.

***B6. Construction History (continued):**

It appears that, along with many buildings in the Los Angeles area during this time, the property was stripped of its Italianate ornamentation, including the pointed parapet, upper cornice, and lower cornice. Additionally, the large plate glass windows of the storefront with two rows of transoms above were

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removed in favor of an open wood frame storefront with a large arched transom window above, topped by new signage.

In 1942, a 10' x 26' storeroom was added to the building. Five years later in 1947, the folding doors that had characterized the market were removed and replaced with a glass storefront to allow for additional interior space. The original mudsills of the building were replaced in 1953 as part of a termite repair operation. In 1958, after the Del Rey Co-Operative Market became Shohady's Market, a new projecting sign was added.

Substantial changes occurred in 1966 when the building transitioned from a neighborhood market into a bar. On the interior, the bar was built, a men's room, store room, and entrance vestibule were added, and a drop ceiling was installed. A 10' high partition was installed at the front of the interior ground floor. Later that year, aluminum siding was installed on the front elevation, though this was subsequently removed at an unknown date. A new projecting sign was also installed as part of the conversion.

The building caught fire circa 1973, and the fire damage was subsequently carried out in 1974, along with the installation of new fire rated drop ceiling tiles. In 1988, the property underwent an earthquake retrofit to comply with Division 88 of the Los Angeles Building Code. The next year in 1989 old roof was removed and a new three-ply roof was installed. According to the current owner, it was during the earthquake retrofit that the windows were blocked in. This was done to stabilize the building rather than as a simple light control measure. Therefore, these windows could not be reopened.

Major interior alterations occurred in 1994 when new partitions were installed to create two bathrooms and enclose the kitchen. The pressed brick of the front elevation was also sandblasted that same year. In 1999 a new roof was installed over the existing roof from 1989.

Table 1

Building Permit History for 179-181 Culver Boulevard

Date	Permit #	Owner	Contractor	Architect	Engineer	Description	Present Use	New Use	Valuation
4/7/1933	LA04843	T.O. McCoye	Owner			Repair front, repair inside plaster cracks	Store & Apts	Same	\$50.00
2/18/1942	VE80100	T.O. McCoye	Owner			Adding 10'x26' frame & stucco ware room	Grocery Store & Mart	Same	\$750.00

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Date	Permit #	Owner	Contractor	Architect	Engineer	Description	Present Use	New Use	Valuation
8/23/1947	VE81948	Jess Huston				Remove folding doors from store and replace with glass windows to increase bldg. size	Store (Food)	Store	\$100.00
4/22/1953	VE07914	Henrietta Schier	Termite Insulating Co.			Install opening under stairway. Raise foundation above top of inside concrete floor level. Cut off walls around restroom, raise foundation and install new mudsills, replacing plaster. Cut off door casings, treat.	Store Building	Same	\$199
6/27/1958	VE18920	Shohady's Mkt.	Culver Neon Sign Co.			New sign projecting	Market	Same	\$110
1/6/1966	WL61456	Pete Phillips	Owner			Build beer bar, add men's rm., store rm., entrance vest. Drop ceiling, change occupancy	Market	Beer Bar	\$5,500
2/4/1966	WL61968	Pete Phillips	Owner			Add 10' high partition inside front. Remove door at rear of pool room.	Market	Beer Bar	\$200
3/15/1966	LA20982	Wm. Kredell & Hank Failla	Universal Aluminum Shingles, Inc.			Install aluminum siding on front face of building with stone	Beer Bar	Same	\$1,445
4/1/1966	LA22320	Pete Phillips	Able Electric			1 - 4'x8' - Proj. Sign. Metal & Plastic Illum.	Café, etc.	Same	\$500

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Date	Permit #	Owner	Contractor	Architect	Engineer	Description	Present Use	New Use	Valuation
6/15/1966	WL61968 (Certificate of Occupancy)	Pete Phillips				Two story, Type III-A, 73 x 25, Convert market to beer bar, change occupancy, add 10' high partition inside front, install aluminum siding on front face of building, G-2 occupancy			
9/28/1973	WL96868	Peter Phillips & Albert Sipper	Jensen Htg. & A/C Co.		Kirk B. Florance ACE	Install cooking vent & roof access	Beer Bar & Food	Same	\$1,200
4/16/1974	LA88431	Pete Phillips	A-1 Acoustics			install suspended ceiling using fire rated tile & grid 1 hour	Bar	Same	\$500
7/17/1974	WL00361	Sipper - Phillips	Construction Bldrs.	Duaine K. Bricker		Fire repair walls - plaster painting & remodeling of all units	Light housekeeping & restaurant	Same	\$10,000
1/12/1988	LA86116	Mary Ann Sipper			Dave Danu	Full Compliance with Div. 88 (RGA)	Bar/Studio Apt	Same	\$21,000
7/12/1988	LA03805	Mr. Albert Sipper	Frederick Barron		Dave Danu	Change of Contractor Information on 88LA86116 only	Bar/Studio Apt	Same	\$201
1/11/1989	WL79201	Mary Sipper	J.J. Roofing			Remove existing roof, install 3 ply built-up roof 17 sq ft	Commercial		\$2,300
8/18/1989	H001356	Mr. Albert Sipper	Larry Henry Const.		Dave Danu	Change of contractor on line 10	Bar/Studio Apt	Same	\$201
8/12/1994	H030964	Mary Ann Sipper	Owner	Watkins & Assoc.		Install interior partitions for two handicapped bathroom and to enclose kitchen, sandblast front	Restaurant/office	Same	\$50,000

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Date	Permit #	Owner	Contractor	Architect	Engineer	Description	Present Use	New Use	Valuation
8/2/1999	99016-30000-14253		Clifford's Roofing Co.			Reroof over existing roof (1 layer) 22SQS Built up roofing	Restaurant		\$4,300

Significance (continued): Under the secondary period of significance, the property has lost integrity of design, materials, workmanship, feeling, and association, primarily due to the removal of the open wood frame storefront with folding doors with a concrete storefront with a recessed entry, partial reframing of the arched transom, and extensive interior alterations that have subdivided the open floorplan and partially blocked the transom. This lack of integrity renders the property unable to convey its historical associations with the development of Playa del Rey under the Beach Land Company and later Dickinson & Gillespie, as well as its associations as an example of an early 20th century commercial building or a neighborhood market. Therefore, the Residence appears ineligible for listing under any federal, state or local eligibility criteria. As a result of these investigations, PCR recommends the property be assigned a CHR Status Code of 6Z, "found ineligible for National Register, California Register or local designation through survey evaluation."

***B12. References:**

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