

**BERGER WINSTON APARTMENT BUILDING**

744-748-1/2 S. Ridgeley Drive

CHC-2017-1558-HCM

ENV-2017-1559-CE

Agenda packet includes:

1. [Final Determination Staff Recommendation Report](#)
2. [Commission/ Staff Site Inspection Photos—June 22, 2017](#)
3. [Under Consideration Staff Recommendation Report](#)
4. [Historic-Cultural Monument Application](#)
5. [Correspondence from Owner's Representative, May 24, 2017](#)
6. [Historical Resources Assessment Report, June 2017](#)

Please click on each document to be directly taken to the corresponding page of the PDF.

# Los Angeles Department of City Planning

## RECOMMENDATION REPORT

**CULTURAL HERITAGE COMMISSION**

**CASE NO.: CHC-2017-1558-HCM  
ENV-2017-1559-CE**

**HEARING DATE:** July 20, 2017  
**TIME:** 10:00 AM  
**PLACE:** City Hall, Room 1010  
200 N. Spring Street  
Los Angeles, CA 90012

Location: 744-748-1/2 S. Ridgeley Drive  
Council District: 4 - Ryu  
Community Plan Area: Wilshire  
Area Planning Commission: Central  
Neighborhood Council: Mid City West  
Legal Description: Tract TR 4464, Lot 163

**EXPIRATION DATE: August 15, 2017**

**PROJECT:** Historic-Cultural Monument Application for the  
BERGER WINSTON APARTMENT BUILDING

**REQUEST:** Declare the property a Historic-Cultural Monument

**OWNERS:** Baruch Vardi  
3707 Calle Jazmin  
Calabasas, CA 91302

Ridgeley 744, LLC c/o Kamyar Lashgari  
28510 Driver Avenue  
Agoura Hills, CA 91301

**APPLICANT:** James O' Sullivan, President  
Miracle Mile Residential Association  
P.O. Box 361295  
Los Angeles, CA 90036

**PREPARERS:** Katie Horak and Mary Ringhoff  
Architectural Resources Group  
8 Mills Place, Suite 300  
Pasadena, CA 91105

**RECOMMENDATION That the Cultural Heritage Commission:**

1. **Not declare** the property a Historic-Cultural Monument per Los Angeles Administrative Code Chapter 9, Division 22, Article 1, Section 22.171.7
2. **Adopt** the report findings.

VINCENT P. BERTONI, AICP  
Director of Planning

**[SIGNED ORIGINAL IN FILE]**

Ken Bernstein, AICP, Manager  
Office of Historic Resources

**[SIGNED ORIGINAL IN FILE]**

Melissa Jones, Planning Assistant  
Office of Historic Resources

**[SIGNED ORIGINAL IN FILE]**

Lambert M. Giessinger, Preservation Architect  
Office of Historic Resources

Attachments: Committee/Staff Site Inspection Photos, June 22, 2017  
Historic-Cultural Monument Application

## **FINDINGS**

- The Berger Winston Apartment Building does not meet any of the four criteria of the Cultural Heritage Ordinance and therefore is ineligible for designation as a Historic-Cultural Monument.

## **CRITERIA**

The criterion is the Cultural Heritage Ordinance which defines a historical or cultural monument as any site (including significant trees or other plant life located thereon) building or structure of particular historic or cultural significance to the City of Los Angeles, such as historic structures or sites in which the broad cultural, economic, or social history of the nation, State or community is reflected or exemplified, or which are identified with historic personages or with important events in the main currents of national, State or local history or which embody the distinguishing characteristics of an architectural type specimen, inherently valuable for a study of a period style or method of construction, or a notable work of a master builder, designer or architect whose individual genius influenced his age.

## **SUMMARY**

The Berger Winston Apartment Building is a six-unit multi-family residential property located on South Ridgeley Drive, between Wilshire Boulevard and West 8th Street in the Wilshire Community Plan area. Constructed in 1937, the property was designed in the Chateausque style by architect Edith Northman for Mrs. Jennie Berger Winston (1893–1956), a developer who commissioned several other multi-family properties in the Wilshire area. Northman was one of very few female architects working in Los Angeles during the 1930s and was renowned for her high-quality Period Revival style designs.

The subject property contains a two-story apartment building with an irregular L-shaped plan and two one-story, stucco-clad garages at the rear of the parcel with gabled roofs. There is a small exterior courtyard surrounded by a low wrought iron fence with stucco pillars featuring decorative caps/finials at the south-facing side of the property. The building has a hipped roof covered with composition shingles topped with a flat roof, and there is a metal fire escape that leads down the rear (east) façade. The building is clad in smooth stucco with quoins and a string course; decorative molded surrounds are present at some doors and windows. The building's primary (west) façade is asymmetrical with a slightly projecting area that contains the primary entry accessed by a concrete stoop with steps at the north and south ends, fronted by a painted wrought iron handrail. Fenestration consists of steel multi-lite fixed and casement windows; single and paired single-lite, double-hung wood windows; multi-lite steel casement windows with fixed multi-lite transoms; a multi-lite bay window; and a fixed single-lite wood octagonal window with security bars on the primary façade. Other features of the subject property include gabled wall dormers; a stucco turret; wrought iron details; eave molding; balconies; and paneled wood doors with decorative hardware.

Edith Mortensen Northman was born in Copenhagen, Denmark in 1893 and in 1914 she immigrated with her family to Brigham City, Utah. Later, she moved to Salt Lake City and worked in the office of Eugene Wheelon as a junior draftsman. In 1920, she moved to Los Angeles on the advice of her physician and took a job in the office of architect Henry J. Knauer; soon after she moved on to become the chief draftsman for Clarence Smale. Northman studied architecture at the University of Southern California School of Architecture from 1927-1930 and became a certified architect in 1931. She began her private practice in the early days of the

Depression and completed hundreds of designs including single-family residences, multi-family residences, hotels, churches, synagogues, commercial buildings, and industrial, as well as over 50 service stations for the Union Oil Company. In 1952, Northman was forced to retire due to increasingly severe symptoms of Parkinson's disease, and died in Salt Lake City in 1956. Other works by Northman in Los Angeles include the Emanuel Danish Evangelical Lutheran Church at 4260 3rd Avenue (1937, HCM #578), the Sephardic Orthodox Congregation Ohel Avraham synagogue at 5500 S. Hoover Street (1934), and the Altman Apartments at 412-416 S. Catalina Street (1940, HCM #1115).

The subject property has experienced multiple alterations that include a steel exterior stairway removed from a side façade and placed at the rear façade in 1937; repair of a portion of the walls and roof following fire damage in 1981; replacement of drywall in the kitchens and bathrooms in a few of the units in 2009; and the addition of a tall metal railing to the flat portion of the roof, security bars to some windows, a metal driveway gate, and a metal railing to the stairs at the front at unknown dates.

The citywide historic resources survey, SurveyLA, identified the subject property as individually eligible for listing or designation at the national, state and local levels as an excellent example of Chateausque residential architecture and a work of pioneering female architect, Edith Northman. The subject property is designated as a Contributor to the Miracle Mile Historic Preservation Overlay Zone, which became effective on May 1, 2017.

## **DISCUSSION**

The applicant argues that the Berger Winston Apartment Building is eligible under two criteria of the Cultural Heritage Ordinance: it “embodies the distinguishing characteristics of an architectural-type specimen, inherently valuable for study of a period, style, or method of construction” as an example of the Chateausque architectural style and it is “a notable work of a master builder, designer or architect whose individual genius influenced his age” as an important work of notable local architect Edith Northman.

Staff finds that the Berger Winston Apartment Building does not appear to meet any of the Cultural Heritage Ordinance criteria. The subject property does not individually reflect the broad cultural, economic, or social history of the nation, state, or community. Residential development in the Wilshire area boomed during the 1920s and 1930s and tracts sited close to major corridors such as Wilshire Boulevard and Olympic Boulevard boasted an array of duplexes, triplexes, fourplexes, apartment houses, and courtyard apartments like the subject property. The subject property exhibits a common typology for this time period and there is a plethora of 1930s multi-family residences extant in the Wilshire neighborhood and across the city.

The subject property is not identified with any historic personages or important historical events.

Though the apartment building retains original elements such as steel casement windows, quoins, courtyard, and decorative window and door surrounds typical of the style, the subject property is not a unique or outstanding example of the Chateausque style. The Chateausque style is applied to the subject property in a simplified manner and only on the front street visible façade. Additionally, the apartment building has experienced a number of alterations, particularly on the interior, that diminish its integrity, which include the removal of all original kitchen and bathroom features in four of the six units. Other more exemplary multi-family properties in this style that are already locally designated include the Chateau Colline (1935, HCM# 703), The French Chateau Apartments (1937, HCM# 815), the 350 North Sycamore

Apartments (1936, HCM# 1010), and 741 South Burnside Avenue (1931, Contributor to the Miracle Mile HPOZ).

Furthermore, while Edith Northman was one of very few female architects working in Los Angeles during the 1930s and was renowned for her high-quality Period Revival style designs, the information provided in the application does not substantiate the subject property as “notable” within the context of Northman’s body of work. Northman designed numerous multi-family, single-family, and commercial structures in Los Angeles and across Southern California with a particular concentration of residential properties in the Wilshire area. Two of Northman’s multi-family buildings are located on the same block as the subject property: 756 S. Ridgeley Drive and 749 Burnside Avenue. There are other more notable examples of Northman’s work including the Emanuel Danish Evangelical Lutheran Church (1937, HCM #578), the Altman Apartments at 412-416 S. Catalina Street (1940, HCM #1115), and an apartment building at 3801 West 1st Street that was constructed in the same year as the subject property and was also commissioned by Mrs. Jennie Berger Winston.

Staff supports the current designation of the subject property as a Contributor to the Miracle Mile Historic Preservation Overlay Zone, but finds that the property does not appear to rise to the level of historic significance to be individually eligible for designation as a Los Angeles City Historic-Cultural Monument.

## **BACKGROUND**

On June 5, 2017, the Cultural Heritage Commission voted to take the property under consideration. On June 22, 2017, a subcommittee of the Commission consisting of Commissioners Kennard and Buena visited the property, accompanied by staff from the Office of Historic Resources.

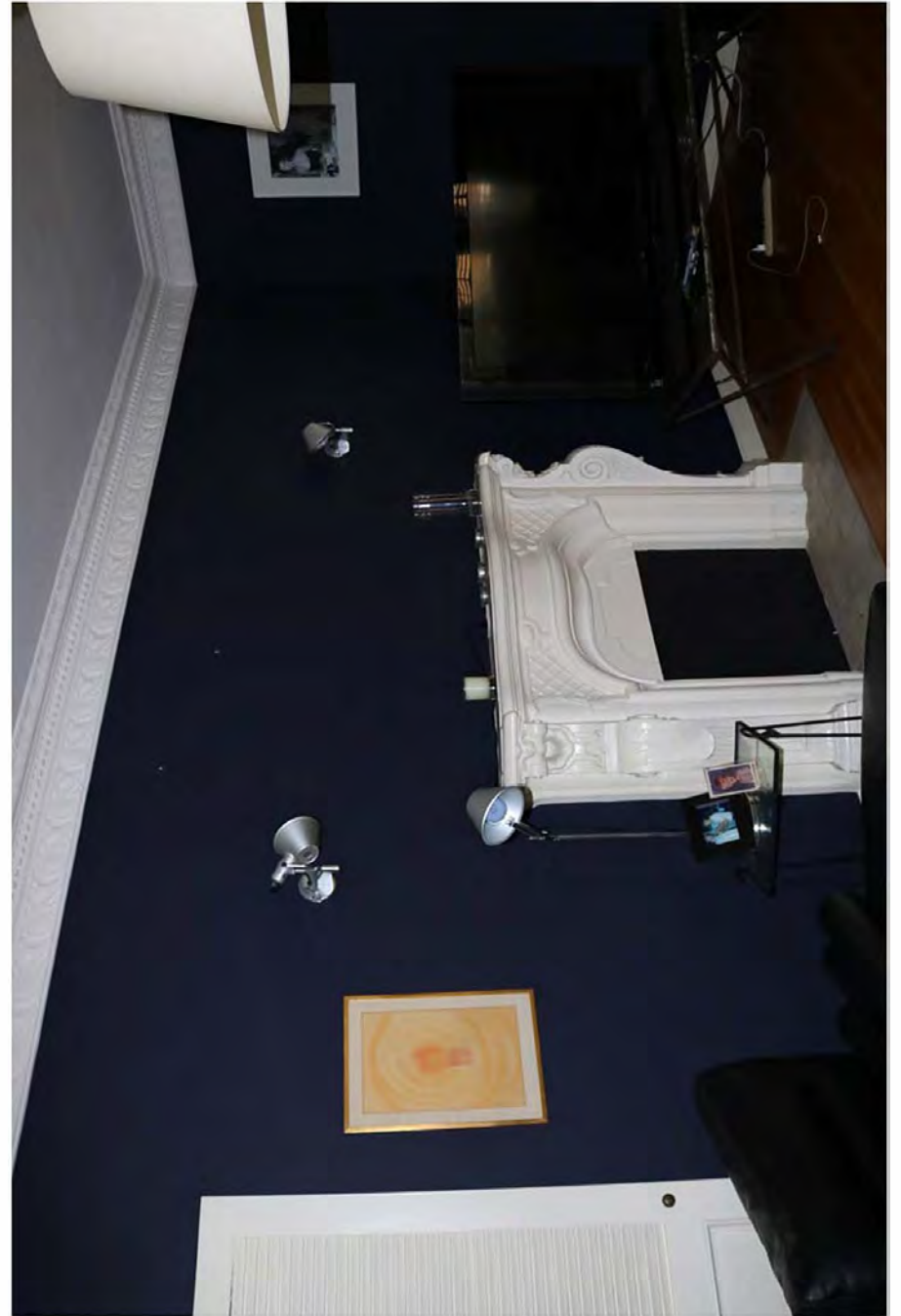


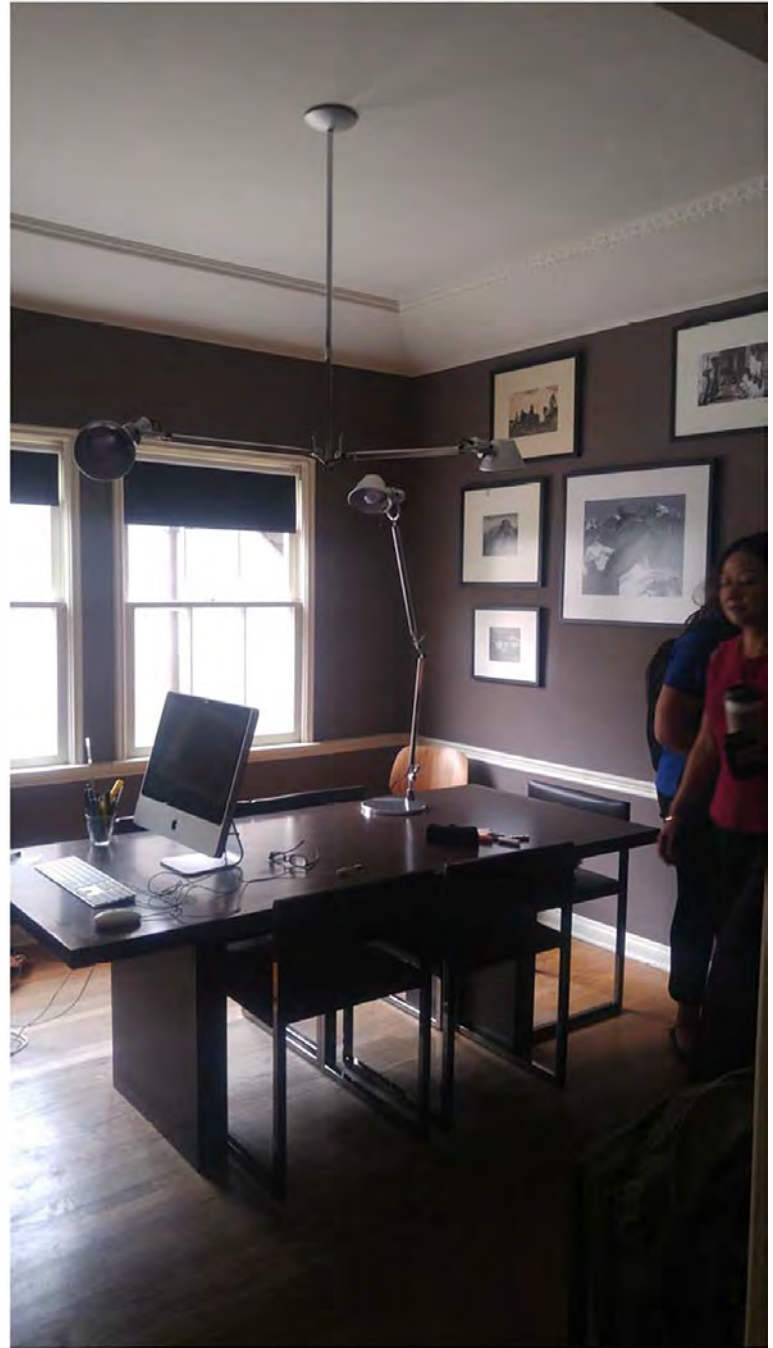
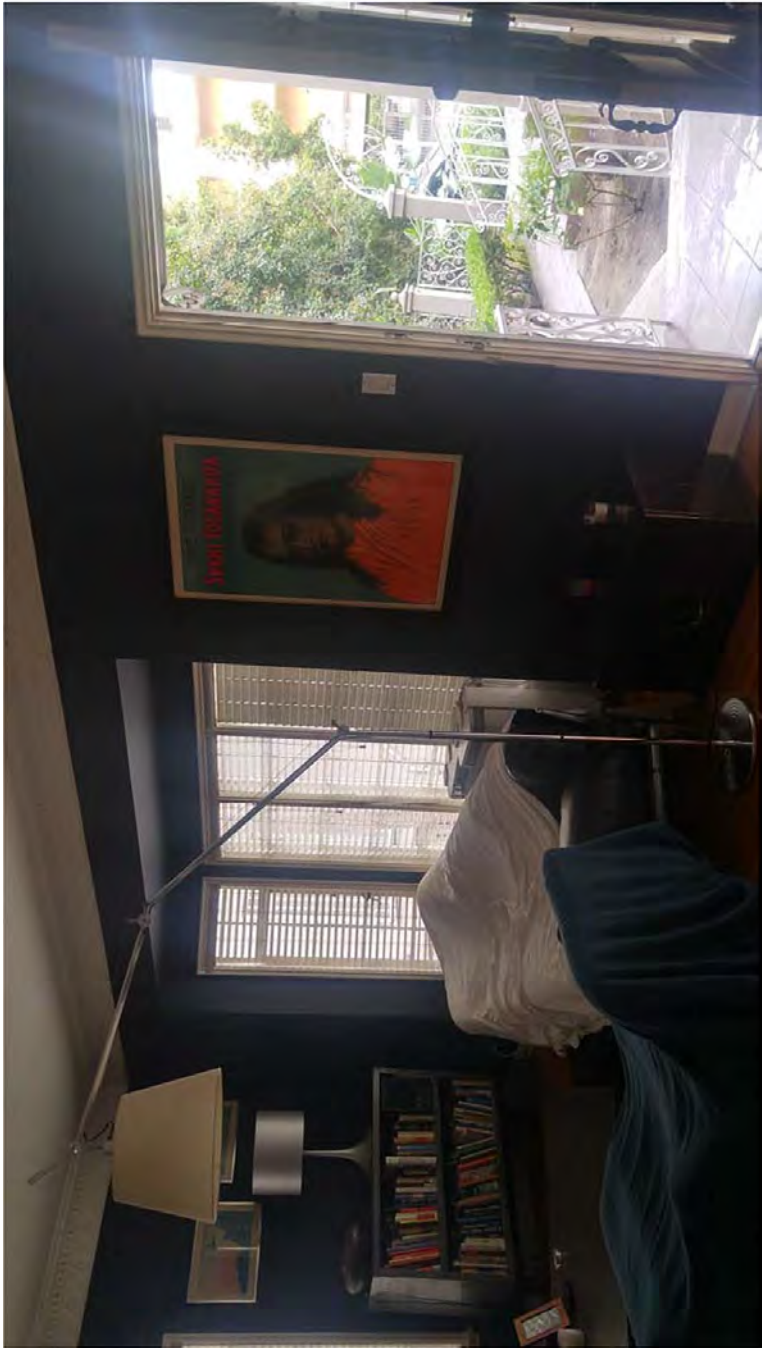




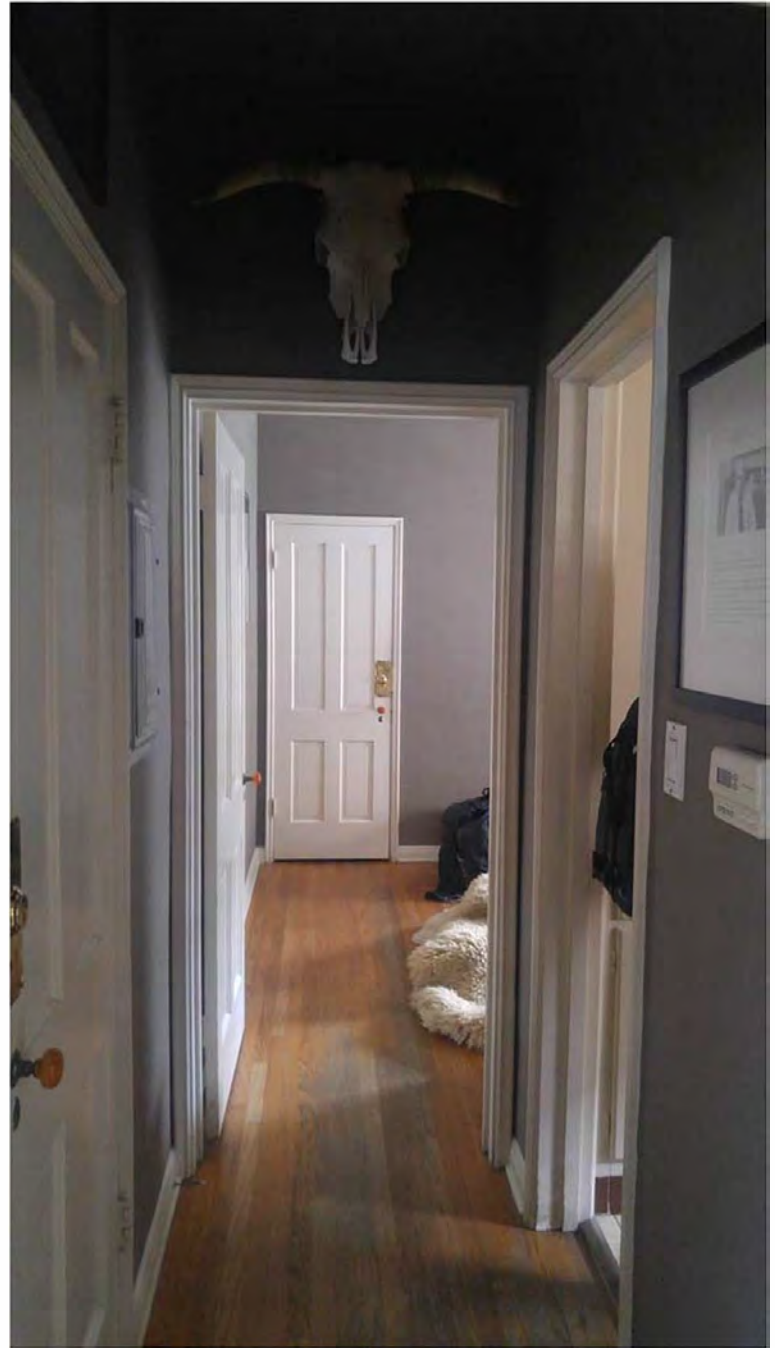


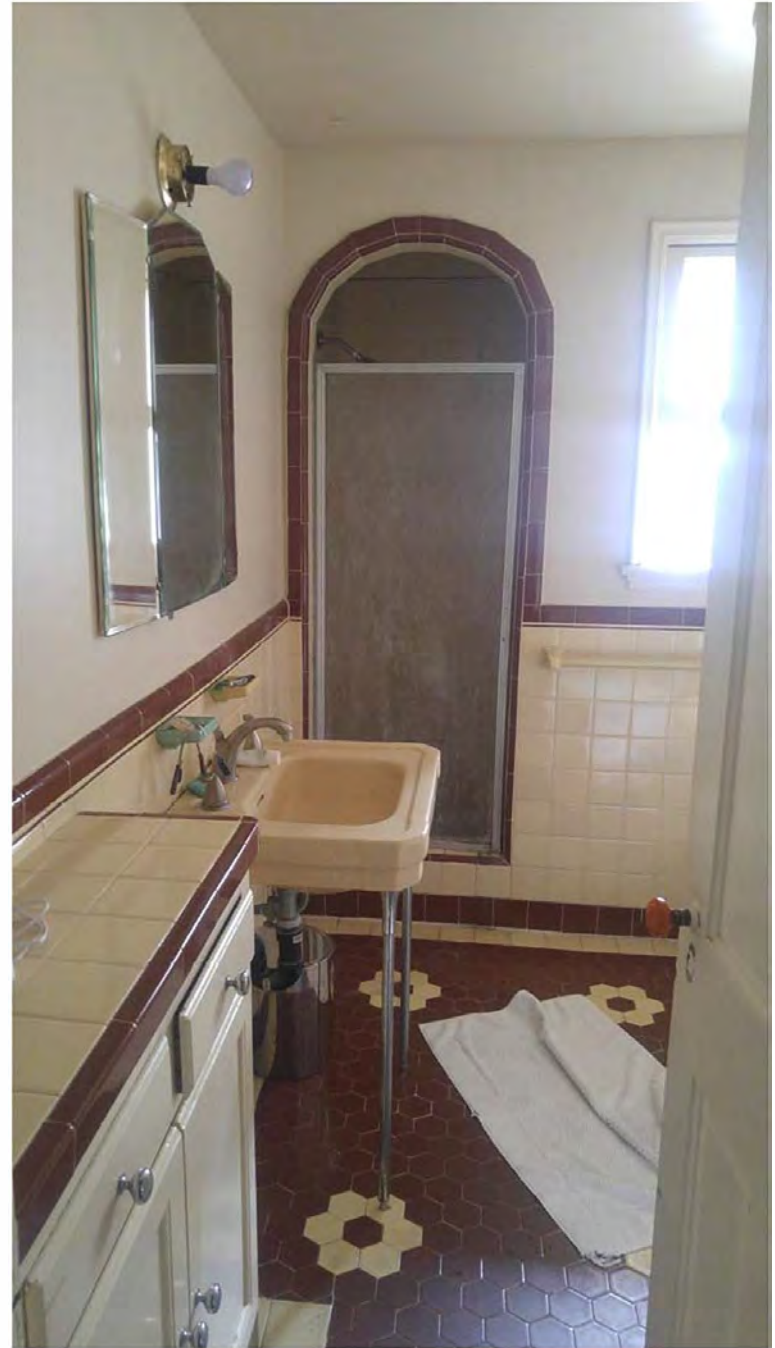
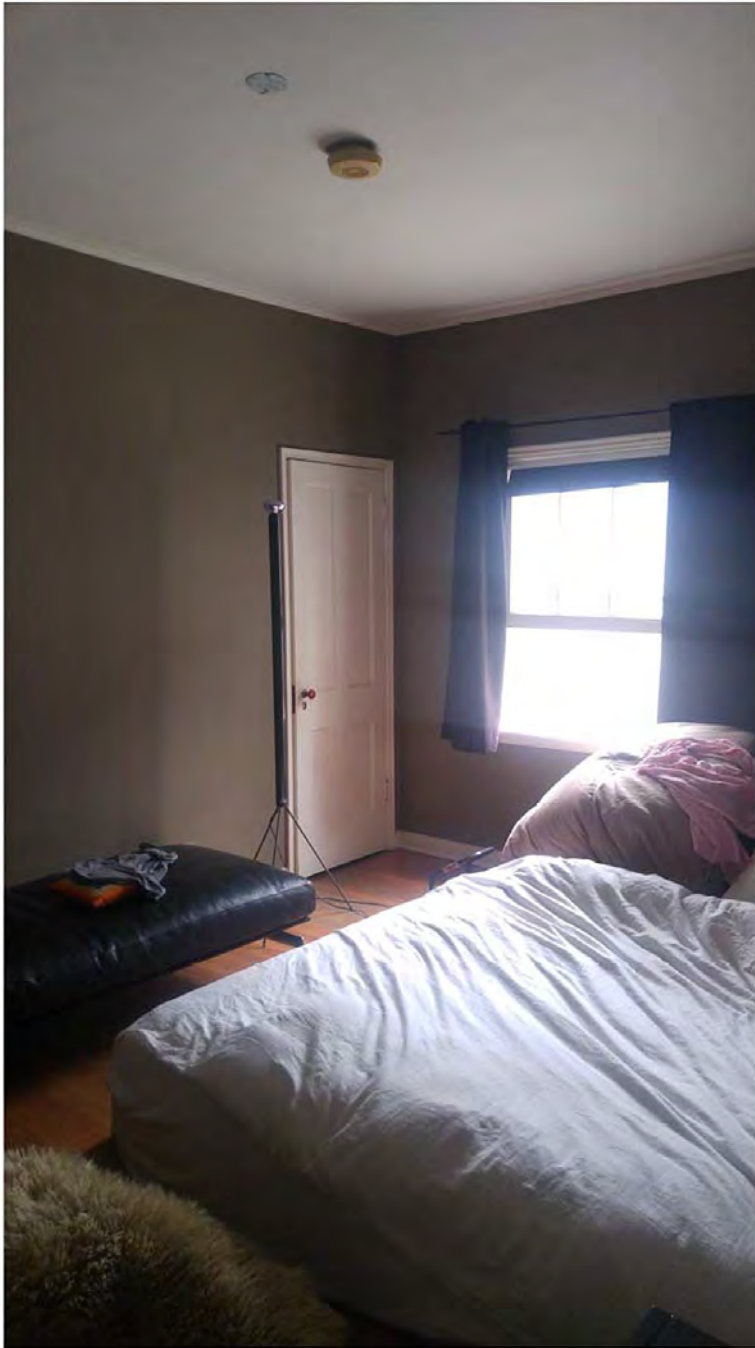


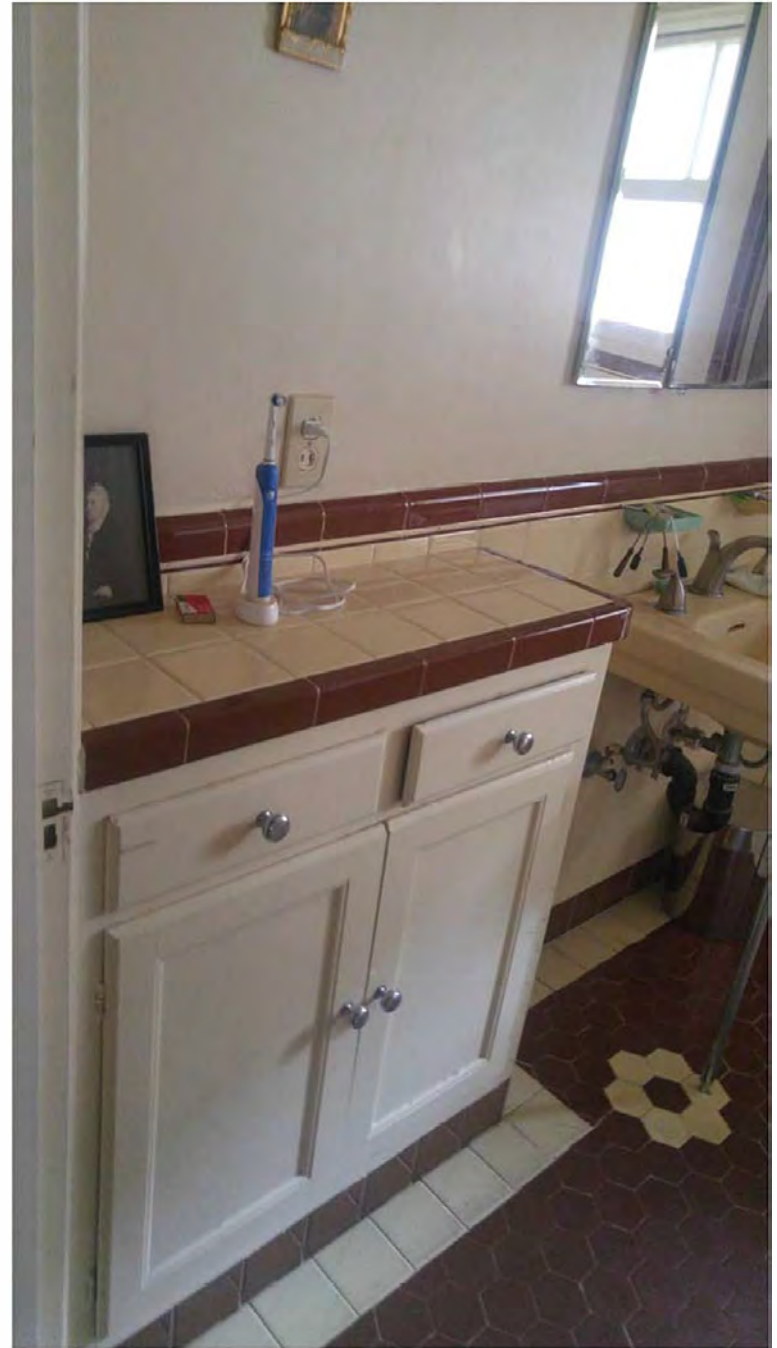


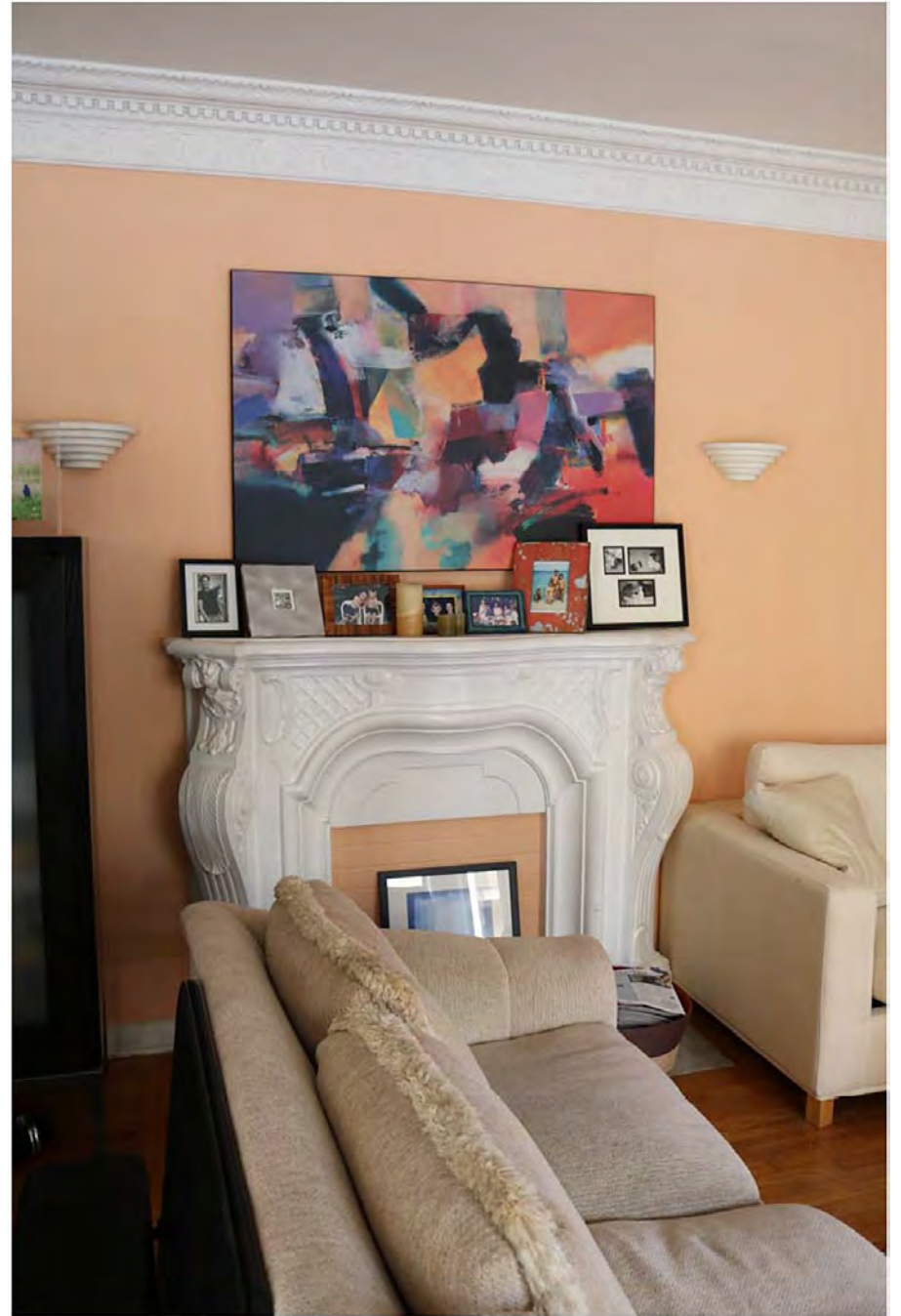
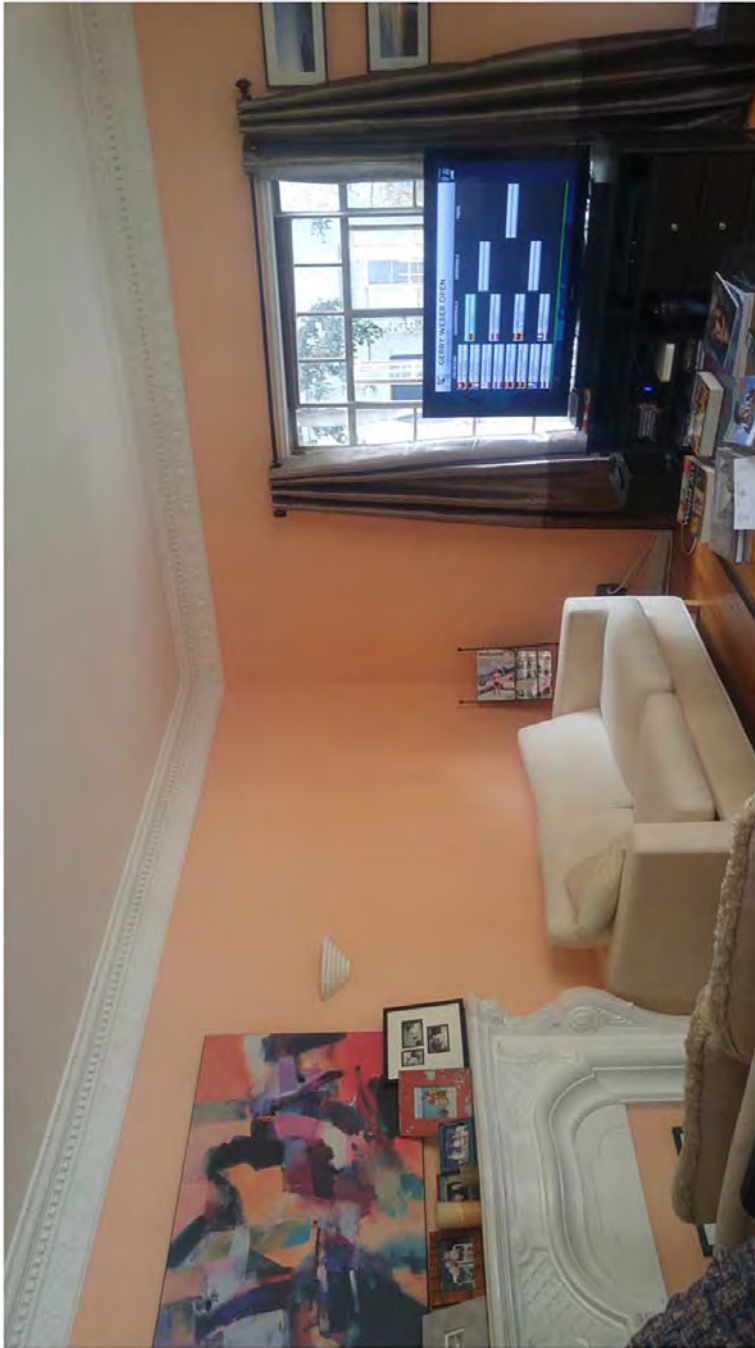






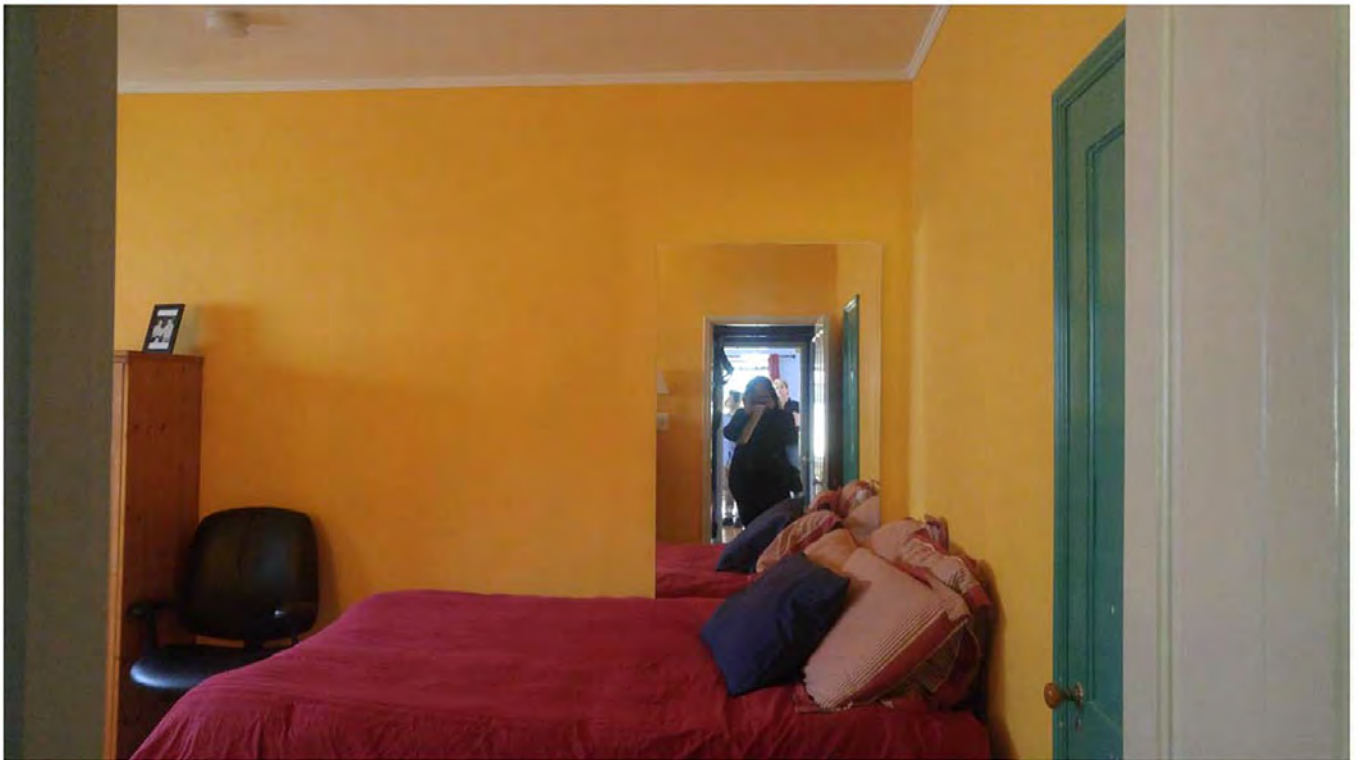
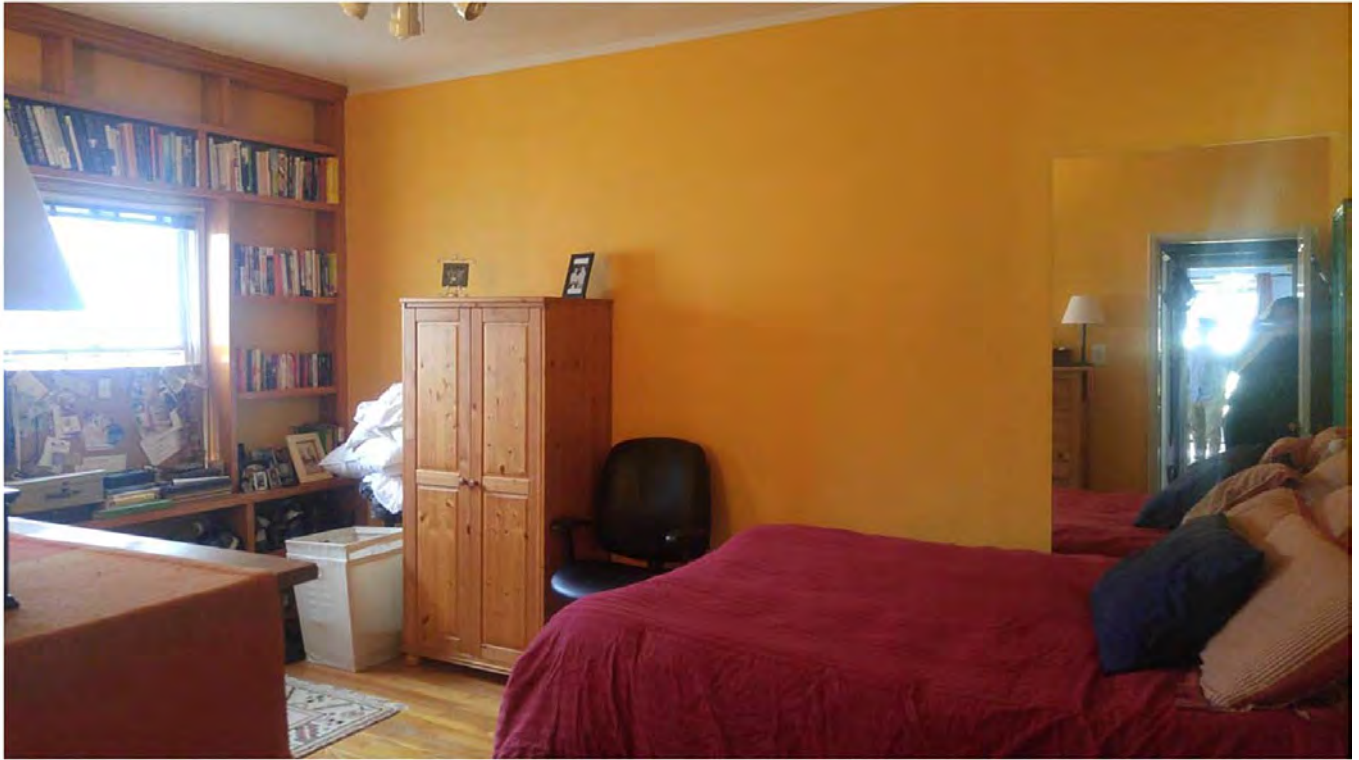


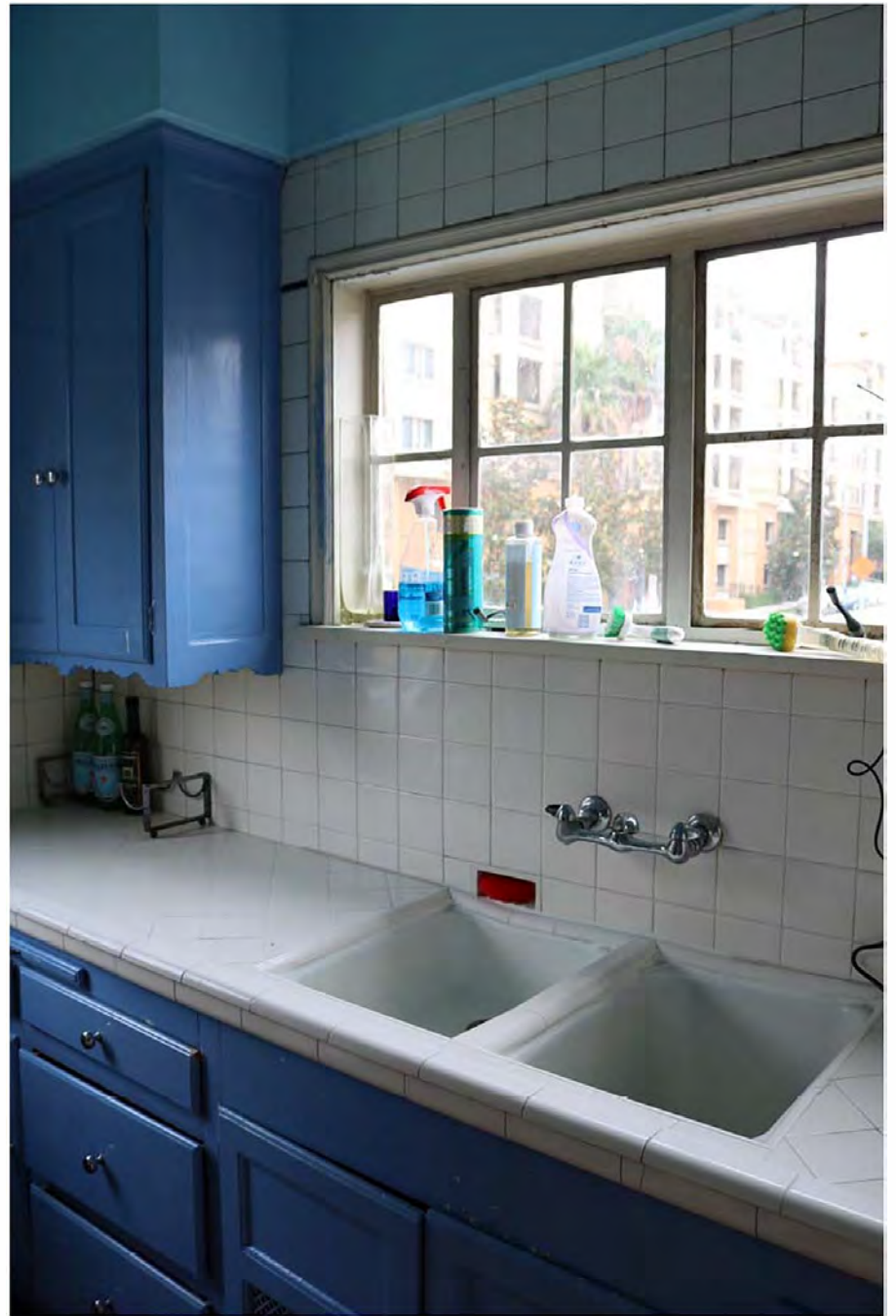


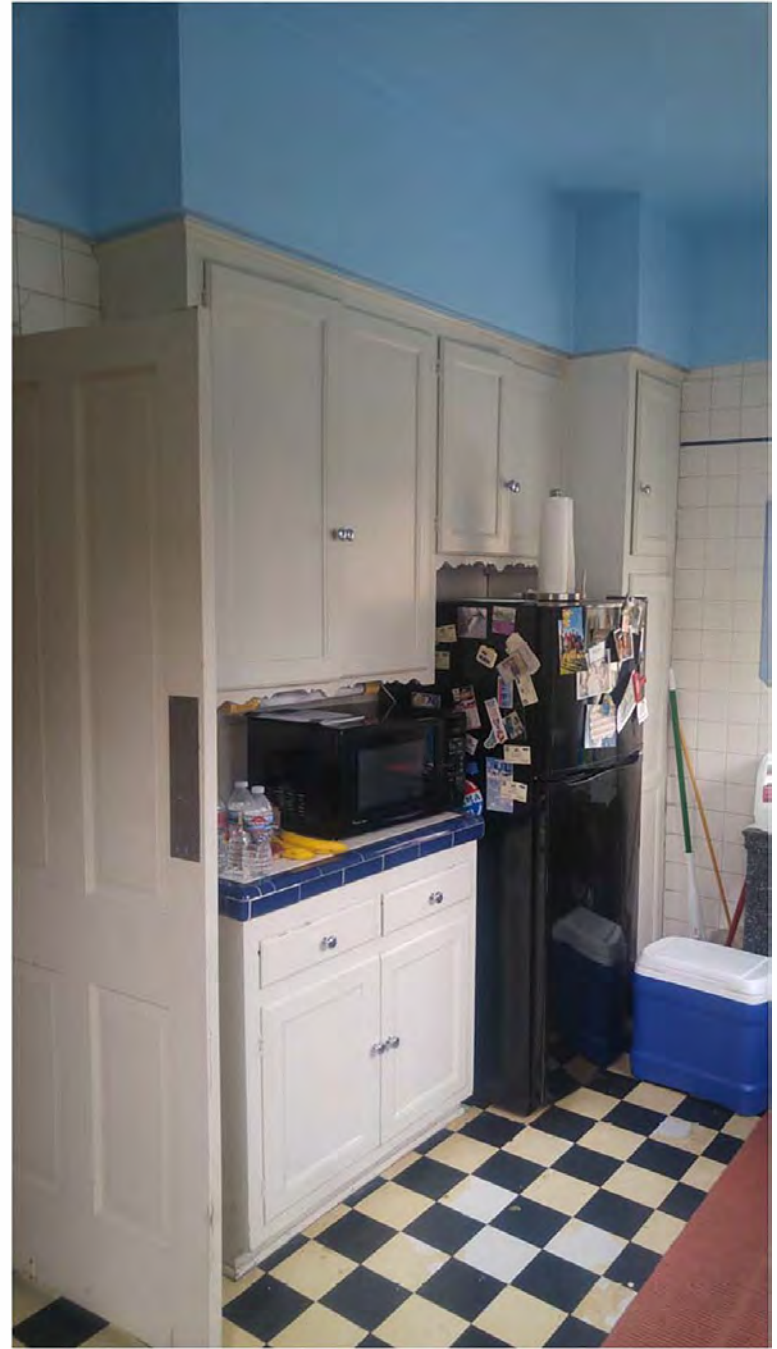
























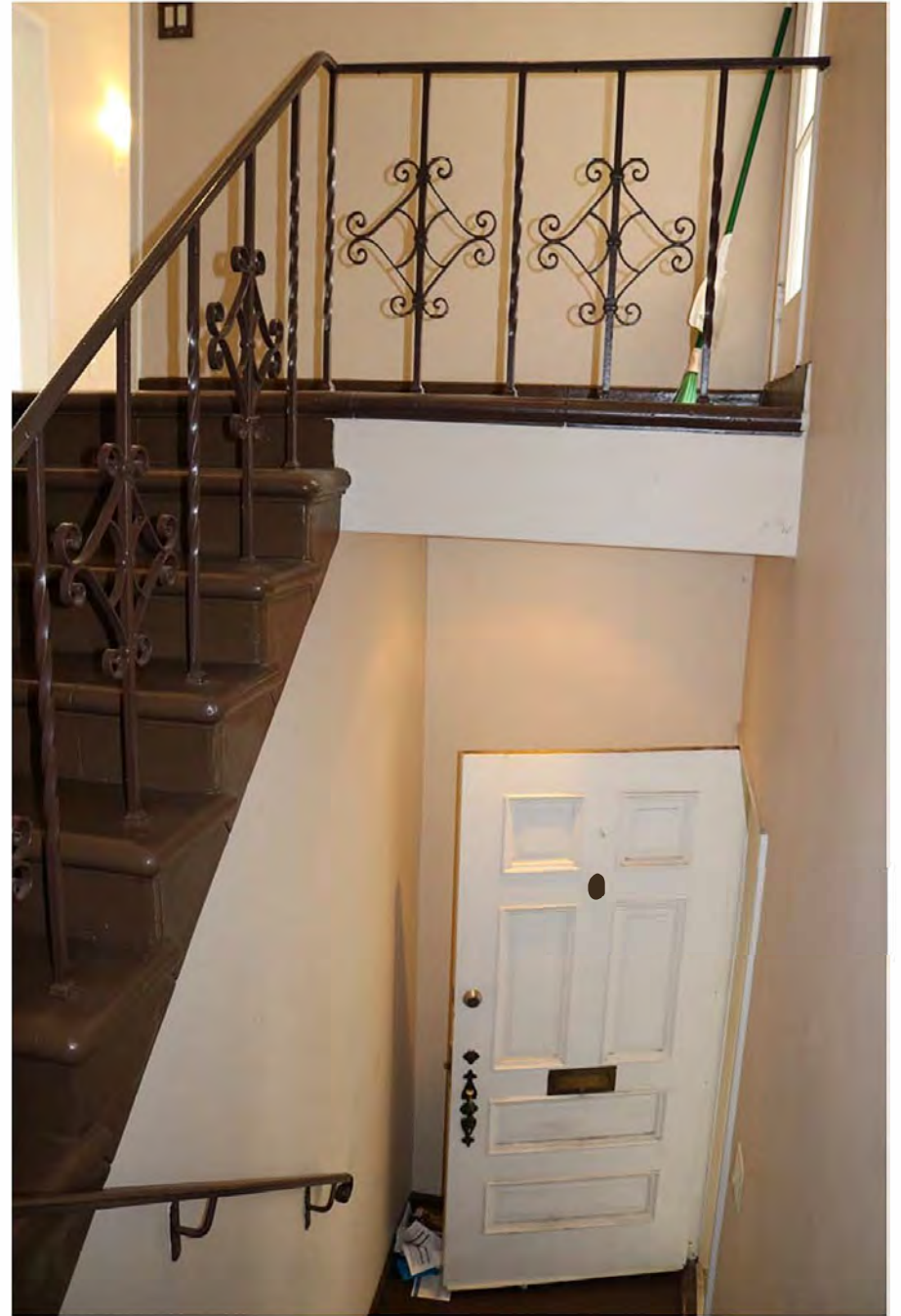


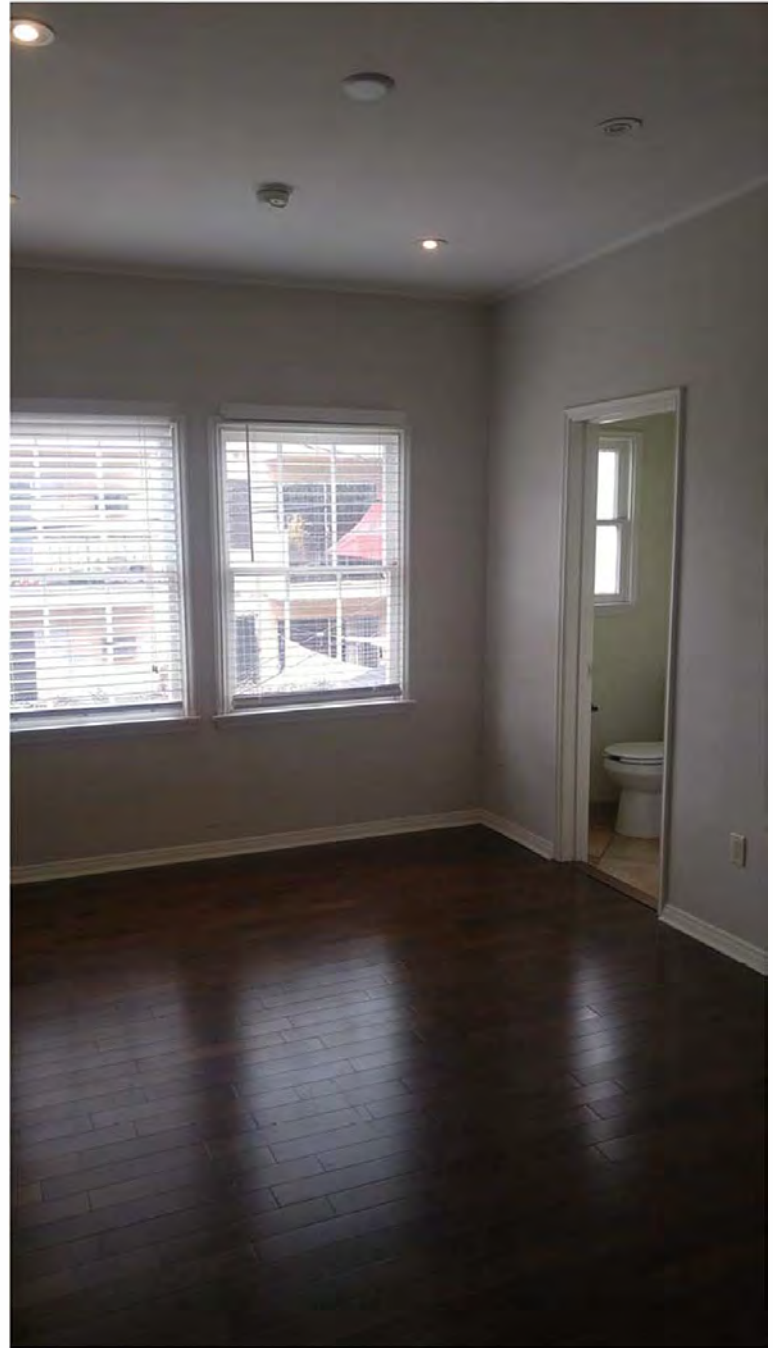
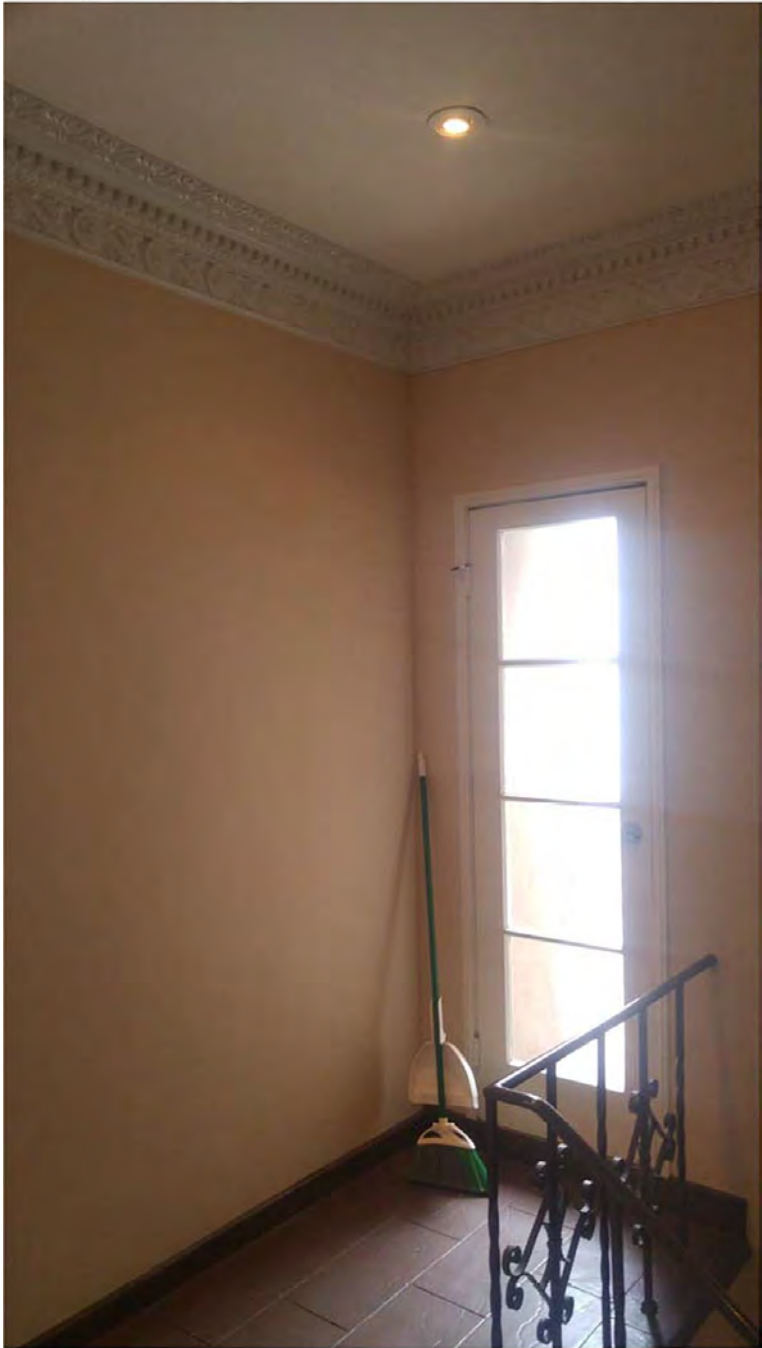


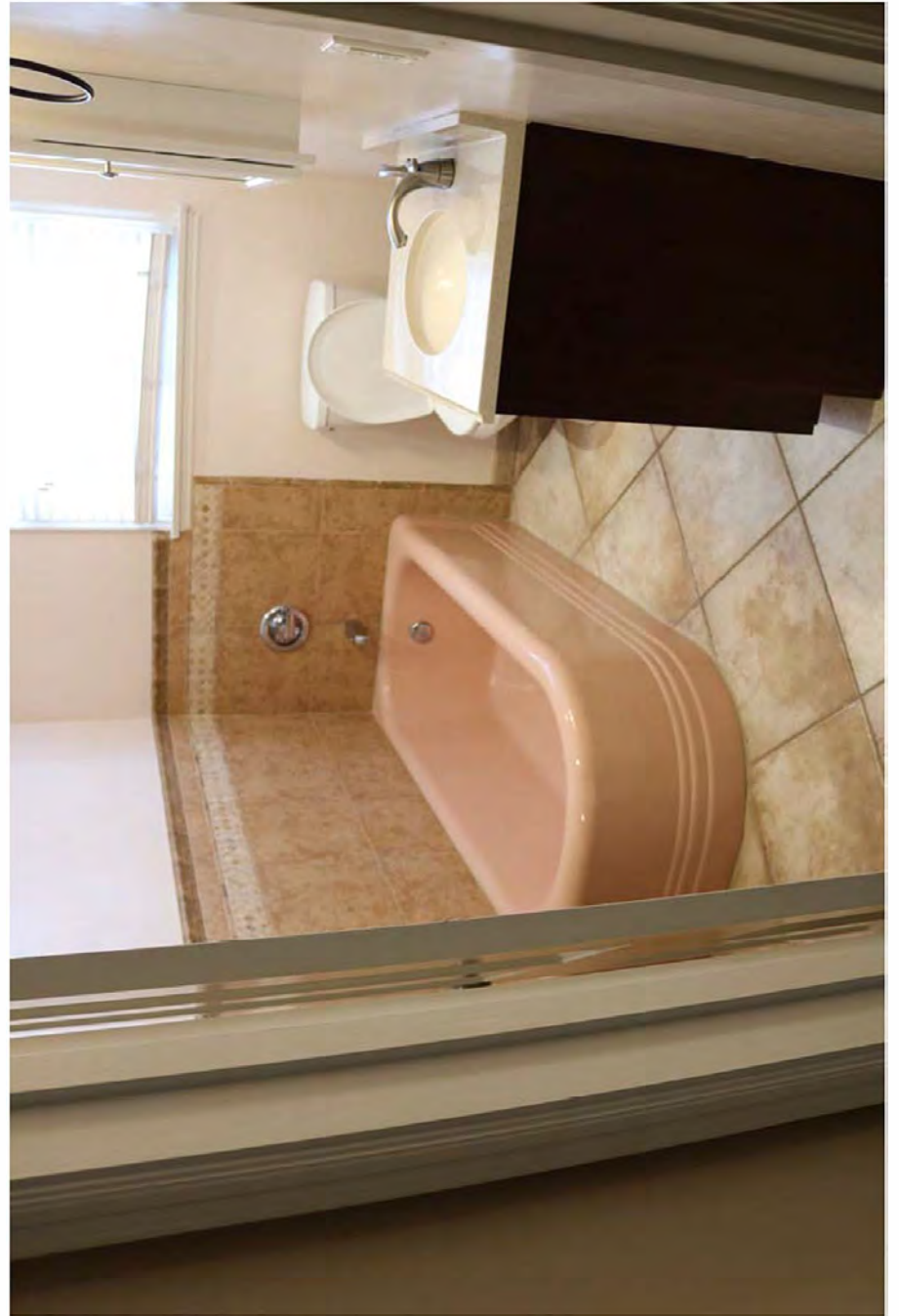














# Los Angeles Department of City Planning

## RECOMMENDATION REPORT

**CULTURAL HERITAGE COMMISSION**

**CASE NO.: CHC-2017-1558-HCM  
ENV-2017-1559-CE**

**HEARING DATE:** June 1, 2017  
**TIME:** 10:00 AM  
**PLACE:** City Hall, Room 1010  
200 N. Spring Street  
Los Angeles, CA 90012

Location: 744-748-1/2 S. Ridgeley Drive  
Council District: 4 - Ryu  
Community Plan Area: Wilshire  
Area Planning Commission: Central  
Neighborhood Council: Mid City West  
Legal Description: Tract TR 4464, Lot 163

**PROJECT:** Historic-Cultural Monument Application for the  
BERGER WINSTON APARTMENT BUILDING

**REQUEST:** Declare the property a Historic-Cultural Monument

**OWNERS:** Baruch Vardi  
3707 Calle Jazmin  
Calabasas, CA 91302

Ridgeley 744, LLC c/o Kamyar Lashgari  
28510 Driver Avenue  
Agoura Hills, CA 91301

**APPLICANT:** James O' Sullivan, President  
Miracle Mile Residential Association  
P.O. Box 361295  
Los Angeles, CA 90036

**PREPARERS:** Katie Horak and Mary Ringhoff  
Architectural Resources Group  
8 Mills Place, Suite 300  
Pasadena, CA 91105

**RECOMMENDATION**      **That the Cultural Heritage Commission:**

1. **Take the property under consideration** as a Historic-Cultural Monument per Los Angeles Administrative Code Chapter 9, Division 22, Article 1, Section 22.171.10 because the application and accompanying photo documentation suggest the submittal warrants further investigation.
2. **Adopt** the report findings.

VINCENT P. BERTONI, AICP  
Director of Planning

**[SIGNED ORIGINAL IN FILE]**

\_\_\_\_\_  
Ken Bernstein, AICP, Manager  
Office of Historic Resources

**[SIGNED ORIGINAL IN FILE]**

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Melissa Jones, Planning Assistant  
Office of Historic Resources

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Lambert M. Giessinger, Preservation Architect  
Office of Historic Resources

Attachment:      Historic-Cultural Monument Application

## **SUMMARY**

The Berger Winston Apartment Building is a six-unit multi-family residential property located on South Ridgeley Drive, between Wilshire Boulevard and West 8th Street in the Wilshire Community Plan area. Constructed in 1937, the property was designed in the Chateausque style by architect Edith Northman for Mrs. Jennie Berger Winston (1893–1956), a developer who commissioned several other multi-family properties in the Wilshire area. Northman was one of very few female architects working in Los Angeles during the 1930s and was renowned for her high-quality Period Revival style designs.

The subject property contains a two-story apartment building with an irregular L-shaped plan and two one-story, stucco-clad garages at the rear of the parcel with gabled roofs. There is a small exterior courtyard surrounded by a low wrought iron fence with stucco pillars featuring decorative caps/finials at the south-facing side of the property. The building has a hipped roof covered with composition shingles topped with a flat roof, and there is a metal fire escape that leads down the rear (east) façade. The building is clad in smooth stucco with quoins and a string course; decorative molded surrounds are present at some doors and windows. The building's primary (west) façade is asymmetrical with a slightly projecting area that contains the primary entry accessed by a concrete stoop with steps at the north and south ends, fronted by a painted wrought iron handrail. Fenestration consists of steel multi-lite fixed and casement windows; single and paired single-lite, double-hung wood windows; multi-lite steel casement windows with fixed multi-lite transoms; a multi-lite bay window; and a fixed single-lite wood octagonal window with security bars on the primary façade. Other features of the subject property include gabled wall dormers; a stucco turret; wrought iron details; eave molding; balconies; and paneled wood doors with decorative hardware.

Edith Mortensen Northman was born in Copenhagen, Denmark in 1893 and in 1914 she immigrated with her family to Brigham City, Utah. Later, she moved to Salt Lake City and worked in the office of Eugene Wheelon as a junior draftsman. In 1920, she moved to Los Angeles on the advice of her physician and took a job in the office of architect Henry J. Knauer; soon after she moved on to become the chief draftsman for Clarence Smale. Northman studied architecture at the University of Southern California School of Architecture from 1927-1930 and became a certified architect in 1931. She began her private practice in the early days of the Depression and completed hundreds of designs including single-family residences, multi-family residences, hotels, churches, synagogues, commercial buildings, and industrial, as well as over 50 service stations for the Union Oil Company. In 1952, Northman was forced to retire due to increasingly severe symptoms of Parkinson's disease, and died in Salt Lake City in 1956. Other works by Northman in Los Angeles include the Emanuel Danish Evangelical Lutheran Church at 4260 3rd Avenue (1937, HCM #578), the Sephardic Orthodox Congregation Ohel Avraham synagogue at 5500 S. Hoover Street (1934), and the Altman Apartments at 412-416 S. Catalina Street (1940, HCM #1115).

Based on permit records, the property has experienced no major alterations since its construction. The limited alterations include a steel exterior stairway removed from a side façade and placed at the rear façade in 1937; repair of a portion of the walls and roof following fire damage in 1981; replacement of drywall in the kitchens and bathrooms in a few of the units in 2009; and the addition of a tall metal railing to the flat portion of the roof, security bars to some windows, and a metal driveway gate at unknown dates.

The citywide historic resources survey, SurveyLA, identified the subject property as individually eligible for listing or designation at the national, state and local levels as an excellent example of Chateausque residential architecture and a work of pioneering female architect, Edith Northman.

**CRITERIA**

The criterion is the Cultural Heritage Ordinance which defines a historical or cultural monument as any site (including significant trees or other plant life located thereon) building or structure of particular historic or cultural significance to the City of Los Angeles, such as historic structures or sites in which the broad cultural, economic, or social history of the nation, State or community is reflected or exemplified, or which are identified with historic personages or with important events in the main currents of national, State or local history or which embody the distinguishing characteristics of an architectural type specimen, inherently valuable for a study of a period style or method of construction, or a notable work of a master builder, designer or architect whose individual genius influenced his age.

**FINDINGS**

Based on the facts set forth in the summary and application, the Commission determines that the application is complete and that the property may be significant enough to warrant further investigation as a potential Historic-Cultural Monument.



# HISTORIC-CULTURAL MONUMENT NOMINATION FORM

## 1. PROPERTY IDENTIFICATION

Proposed Monument Name:					
Other Associated Names:					
Street Address:			Zip:	Council District:	
Range of Addresses on Property:			Community Name:		
Assessor Parcel Number:	Tract:		Block:	Lot:	
Identification cont'd:					
Proposed Monument Property Type:	Building	Structure	Object	Site/Open Space	Natural Feature
Describe any additional resources located on the property to be included in the nomination, here:					

## 2. CONSTRUCTION HISTORY & CURRENT STATUS

Year built:	Factual	Estimated	Threatened?		
Architect/Designer:			Contractor:		
Original Use:			Present Use:		
Is the Proposed Monument on its Original Site?		Yes	No (explain in section 7)	Unknown (explain in section 7)	

## 3. STYLE & MATERIALS

Architectural Style:		Stories:	Plan Shape:
<i>FEATURE</i>	<i>PRIMARY</i>	<i>SECONDARY</i>	
CONSTRUCTION	Type:	Type:	
CLADDING	Material:	Material:	
ROOF	Type:	Type:	
	Material:	Material:	
WINDOWS	Type:	Type:	
	Material:	Material:	
ENTRY	Style:	Style:	
DOOR	Type:	Type:	



# HISTORIC-CULTURAL MONUMENT NOMINATION FORM

## 4. ALTERATION HISTORY

List date and write a brief description of any major alterations or additions. This section may also be completed on a separate document. Include copies of permits in the nomination packet. Make sure to list any major alterations for which there are no permits, as well.


## 5. EXISTING HISTORIC RESOURCE IDENTIFICATION (if known)

Listed in the National Register of Historic Places	
Listed in the California Register of Historical Resources	
Formally determined eligible for the National and/or California Registers	
Located in an Historic Preservation Overlay Zone (HPOZ)	Contributing feature Non-contributing feature
Determined eligible for national, state, or local landmark status by an historic resources survey(s)	Survey Name(s):
Other historical or cultural resource designations:	

## 6. APPLICABLE HISTORIC-CULTURAL MONUMENT CRITERIA

The proposed monument exemplifies the following Cultural Heritage Ordinance Criteria (Section 22.171.7):

Reflects the broad cultural, economic, or social history of the nation, state, or community
Is identified with historic personages or with important events in the main currents of national, state, or local history
Embodies the distinguishing characteristics of an architectural-type specimen, inherently valuable for study of a period, style, or method of construction
A notable work of a master builder, designer, or architect whose individual genius influenced his or her age



# HISTORIC-CULTURAL MONUMENT NOMINATION FORM

## 7. WRITTEN STATEMENTS

*This section allows you to discuss at length the significance of the proposed monument and why it should be designated an Historic-Cultural Monument. Type your response on separate documents and attach them to this form.*

**A. Proposed Monument Description** - Describe the proposed monument’s physical characteristics and relationship to its surrounding environment. Expand on sections 2 and 3 with a more detailed description of the site. Expand on section 4 and discuss the construction/alteration history in detail if that is necessary to explain the proposed monument’s current form. Identify and describe any character-defining elements, structures, interior spaces, or landscape features.

**B. Statement of Significance** - Address the proposed monument’s historic, cultural, and/or architectural significance by discussing how it satisfies the HCM criteria you selected in Section 6. You must support your argument with substantial evidence and analysis. The Statement of Significance is your main argument for designation so it is important to substantiate any claims you make with supporting documentation and research.

## 8. CONTACT INFORMATION

### *Applicant*

Name:		Company:	
Street Address:		City:	State:
Zip:	Phone Number:	Email:	

### *Property Owner*

Is the owner in support of the nomination?      Yes      No      Unknown

Name:		Company:	
Street Address:		City:	State:
Zip:	Phone Number:	Email:	

### *Nomination Preparer/Applicant’s Representative*

Name:		Company:	
Street Address:		City:	State:
Zip:	Phone Number:	Email:	





## 744 S. Ridgeley Drive

### Historic-Cultural Monument Nomination Continuation Sheet

#### A. Proposed Monument Description

##### Introduction

The Berger Winston Apartment Building is a six-unit multi-family residential property in the Wilshire Community Plan area. Constructed in 1937, the property was designed in the Chateausque style by architect Edith Northman for owner Mrs. J. Berger Winston. As it has experienced no major exterior alterations since its construction, it retains a high level of integrity. The property is an excellent example of a Chateausque apartment building designed by a master architect.

##### Site

The property at 744 S. Ridgeley Drive (full address spanning 744-748 ½) occupies a rectangular parcel of 8,576 square feet on the east side of S. Ridgeley Drive, in the block between Wilshire Boulevard to the north and W. 8<sup>th</sup> Street to the south. The two-story building has a shallow setback and is elevated from the street. It is accessed via a concrete driveway at the northern edge of the parcel, and via a concrete walkway with steps in the southern part of the parcel. The walkway leads to a second concrete walkway running along the entire front façade of the building, and to a courtyard at the building's south side. Landscaping includes two low hedges flanking the entry walkway, a shallow front lawn, and hedges, foundation plantings, and trees within the courtyard. The property is separated from the one to the south by a tall hedge and the low wrought iron and stucco pier courtyard fence. Two one-story, gabled-roof, stucco-clad garages are present at the rear of the parcel; each has tilt-up wood doors. The rear of the parcel is hardscaped with concrete. The topography of the area is relatively flat, though slight elevations of properties themselves from the street are common. A vacant lot borders the property to the north.

##### Exterior

The subject property contains a Chateausque apartment building designed by Edith Northman and completed in 1937. It has an irregular L-shaped plan, with a small exterior courtyard sitting in the "L". The courtyard is surrounded by a low wrought iron fence with stucco pillars featuring decorative caps/finials. Two taller pillars supporting a wrought iron arch flank the concrete walkway extending into the courtyard. One of the building's entries is on the primary (west) façade, while the others are accessed from the courtyard. The building has a hipped roof covered with composition shingle, topped by a flat roof with an unknown roof material. The flat portion of the roof is encircled by a modern metal railing and appears to contain HVAC equipment; at the rear, a metal fire escape connects to this railing and leads down the rear (east) façade. An older, lower, decorative wrought iron railing detail at the top



of the hipped roof at the primary façade suggests the building may have originally had a smaller “widow’s walk” feature. Other roof features include boxed, slightly overhanging eaves with molding; vent dormers; wall dormers with decorative molding and finials; and a small turret with finial. The building is clad in smooth stucco with quoins and a string course; decorative molded surrounds are present at some doors and windows.

The descriptions of individual façades below begin with the non-courtyard façades (west, north, east, and south) and continue to the courtyard façades (south and west).

The building’s primary (west) façade is asymmetrical, with a slightly projecting area in its southern portion. This area has quoins and its own articulated hipped roofline, which as noted above is topped by a low wrought-iron decorative railing that may have been a “widow’s walk.” The projecting southern area contains the primary entry, a paneled wood door with decorative hardware and a decorative surround featuring fluted pilasters topped with pediments. It is accessed by a concrete stoop with steps at the north and south ends, fronted by a painted wrought iron handrail. Next to the entry is a canted oriel with steel multi-light fixed and casement windows and a standing seam metal hood. The second story of the projecting portion contains a projecting stucco balcony with painted wrought iron railing, supported by wood beams. The balcony fronts three bays: a partially glazed wood door flanked by paired steel multi-light casement windows. The door and windows are topped by three gabled wall dormers with ornamental molded plaster panels and metal finials (one finial is missing). The rest of the primary façade, north of the projecting area, contains a fixed single-light wood octagonal window (with security bars) and grouped fixed and casement multi-light steel windows in a shared opening at the first story. The second story contains one pair of multi-light steel casement windows and one grouping of fixed and multi-light steel casement windows in a shared opening.

The building’s north façade has two slightly projecting areas with articulated rooflines, though they are not as differentiated from the rest of the façade as the projection on the primary façade is. The string course from the primary façade wraps around to include the westernmost projecting area. The molding at the roof’s boxed eaves is simpler than at the primary façade. The first story of the north façade contains two entries: one is an interior concrete stair with a security door, accessed by a short exterior wooden stairway which may be a replacement. The other is a paneled wood or metal door accessed by a set of concrete steps with a simple metal handrail. The door, which appears to be a replacement, has a wood transom and is flanked by double-hung wood windows; the one to the left is single-light and the one to the right is multi-light. The rest of the first story contains both single and paired single-light, double-hung wood windows and one grouping of steel multi-light fixed and casement windows in a shared opening. Three of the double-hung windows have security bars. The second story of the north façade contains an entry accessed by an exterior wooden stairway which may be a replacement; it ends at a stucco landing fronting a paneled wood or metal door identical to the one at the first story. The rest of the second story contains both single and paired multi-light, double-hung wood windows; one single-light double-hung wood window; and one pair of steel multi-light casement windows.



The east façade has a slightly recessed portion of the first story, in its northern half (a corner cut to facilitate automobile access to the rear garages). This recessed portion contains paired multi-light, double-hung wood windows and a single-light, double-hung wood window. The rest of the first story contains paired multi-light double hung wood windows and a partially glazed wood or metal door. A metal exterior stairway (a possible replacement) leads to a second story entry which has a paneled metal or wood door identical to those on the north façade. A modern light fixture is affixed to the wall next to it. The rest of the second story contains paired multi-light, double-hung wood windows and single, single-light, double-hung wood windows. As noted above, a modern metal fire escape is affixed to the roof and the second story of the east façade.

The portion of the south façade not within the courtyard has a string course wrapping around from the courtyard facade to the west. Both the first and second stories contain grouped multi-light steel casement and fixed windows in shared openings, and paired multi-light, double-hung wood windows.

Within the courtyard, the building's south and west façades exhibit the same high level of ornamentation seen on the primary façade, including quoining, a string course, and molding at the eaves. Where the two courtyard facades meet in the building's "L" is a recessed corner concrete entry stoop with steps and painted wrought iron handrails. This stoop leads to two or more individual unit entries with paneled wood doors and decorative hardware. A stucco landing or small balcony with a painted wrought iron railing sits above the stoop and appears to lead to at least one recessed second story entry.

The south courtyard façade contains a slightly projecting area in its western portion (the same projecting volume seen at the southern portion of the west façade). This area has quoins, its own articulated hipped roofline, and a small stucco turret with a conical roof topped by a finial. The projecting area contains an individual unit entry with a small concrete stoop accessed by concrete steps with painted wrought iron handrails. The entry has a partially glazed, paneled wood door with decorative hardware and a flared metal hood with scalloped detail, supported by elaborate curvilinear brackets. The rest of the projecting area contains grouped multi-light fixed and casement windows in shared openings. East of the projecting area is a double-height canted bay with a hipped roof, containing multi-light steel casement windows with fixed multi-light transoms.

The west courtyard façade is dominated by a canted bay with multi-light steel casement windows with fixed multilight transoms, topped by decorative molded panels. The bay is topped by a balconette with a painted wrought iron railing, fronting multi-light wood French doors with single-light wood transoms. The doors have a decorative molded surround terminating in an arched wall dormer. North of the bay is an individual unit entry with a small concrete stoop accessed by concrete steps with painted wrought iron handrails. It contains a paneled wood door with decorative hardware and the same hood as seen on the south courtyard entry. The façade's second story contains a pair of multi-light steel casement windows.



## Alterations

Based on its current appearance and available building permits, it appears that 744 S. Ridgeley Drive has not experienced any major additions or alterations since its construction in 1937. In June 1937, a steel exterior stairway was removed from a side façade and placed at the rear façade; based on the date, this alteration was most likely on paper only (the permit for construction of the building itself was issued only about two weeks earlier).<sup>1</sup> In 1981, portions of the building's walls and roof were repaired after minor fire damage, and in 2009, interior drywall was replaced in kitchens and bathrooms.<sup>2</sup>

Minor alterations include the likely replacement of some doors at the north (side) and east (rear) façades; the possible replacement of the wood exterior staircases at the north façade; the possible replacement of the metal exterior staircase at the east (rear) façade; the addition of a tall metal railing to the flat portion of the roof, with a metal fire escape at the rear; the addition of security bars at some windows; the addition of a security door at the north (side) façade; and the addition of a metal driveway gate.

## Character-Defining Features

### *Site*

- Elevated from street level
- Shallow setback with lawn
- Concrete entry walkways and steps
- Concrete driveway at north edge of lot
- Courtyard enclosed by wrought iron fence with stucco piers, including entry piers with wrought iron arch

### *Exterior*

- Irregular, L-shaped plan
- Two-story configuration
- Multiple projecting areas and bays with articulated rooflines
- Primary façade with visible main entry
- Courtyard façades with less visible courtyard entries
- Recessed corner stoop in courtyard "L" of building
- Smooth stucco cladding
- Hipped roof with composition shingle, topped with flat roof

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<sup>1</sup> Los Angeles Department of Building and Safety (LADBS) Permits 16398 (5/17/37) and 18274 (6/2/37).

<sup>2</sup> LADBS Permits 1981LA27278 (7/14/81) and 09016-30000-09672 (6/29/09).



- Decorative elements: quoins, string course, eave molding, decorative molded door and window surrounds and panels, wall dormers, turret, finials, wrought iron details, metal entry hoods with scalloped detail and curvilinear brackets
- Multi-light steel casement and fixed windows at visible facades
- Single-light and multi-light wood double-hung windows at secondary facades
- Fixed octagonal wood window at primary façade
- Concrete stoops and steps
- Balconies and balconette
- Paneled wood doors with decorative hardware at first story

## B. Statement of Significance

### Summary

The Berger Winston Apartment Building at 744 S. Ridgeley Drive meets the following criteria for designation as a Los Angeles Historic-Cultural Monument (HCM):

*It embodies the distinguishing characteristics of an architectural-type specimen, inherently valuable for a study of a period, style, or method of construction.*

*It is a notable work of a master builder, designer, or architect whose individual genius influenced his or her age.*

Built in 1937, the property at 744 S. Ridgeley Drive embodies the distinctive characteristics of the Chateausque architectural style, conveyed through the building's two-story height, hipped roof, stucco cladding, dormers, casement and double-hung windows, courtyard, and ornate architectural details including quoins, molded surrounds and panels, wrought iron, entry hoods, finials, and a turret. The subject property is also an important work of notable local architect Edith Northman, who designed numerous buildings in Los Angeles with an apparent concentration of residential properties in the Wilshire area. Northman was one of very few female architects working in Los Angeles during the 1930s and was renowned for her high-quality Period Revival style designs.

### Multi-Family Residential Development in Miracle Mile<sup>3</sup>

Residential development in the western portion of the Wilshire area began its boom in the 1920s and 1930s. The boom was partly a result of the explosive commercial development of Wilshire's Miracle Mile, but was also a response to the massive population influx Los Angeles experienced at that time. Facilitated by the rising prominence of the automobile, the city spread in all directions to accommodate

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<sup>3</sup> Summarized from Architectural Resources Group, Miracle Mile Historic Resources Survey Report (prepared for the Miracle Mile Residential Association, September 2015), pp. 13-17.



its new residents. During this time, the area south of Wilshire Boulevard was subdivided as a series of residential tracts, mostly in the early 1920s; these quickly filled with street after street of one-story houses and two-story apartment buildings in fashionable Period Revival styles. Multi-family residential areas, which tended to be sited closer to major corridors like Wilshire Boulevard and Olympic Boulevard than the single-family residential areas, boasted an array of duplexes, triplexes, fourplexes, apartment houses, and courtyard apartments.

#### *Tract 4464*

The property at 744 S. Ridgeley Drive lies within one of the larger residential tracts in the Miracle Mile area: Tract 4464, subdivided in 1921 and bounded by parcel lines south of Wilshire, the west parcels of Cochran Avenue, parcel lines north of Edgewood Place, and the west parcels of Ridgeley Drive. Together with several other tracts, Tract 4464 was advertised as being part of a much larger development, Wilshire Vista. Developers Walter G. McCarty and John A. Vaughn marketed Wilshire Vista in the *Los Angeles Times* as being in proximity to both streetcar lines and newly improved roads and for having improvements such as sewer lines and concrete sidewalks. The variety of building plans and styles observable in the area suggests that Wilshire Vista was not developer-built; rather, empty lots were sold to prospective owners (who hired their own architects/designers and builders) as well as to local builders who then constructed residences and sold them to individuals.

Sanborn fire insurance maps of the Tract 4464 area show that most of its lots south of 8<sup>th</sup> Street were occupied by single-family residences built between 1921 and 1927; only a few of the lots between 8<sup>th</sup> Street and Wilshire Boulevard had been developed, but all of the development had been multi-family. By 1950, the entire tract was built out, and with the exception of one church and school complex, the lots north of 8<sup>th</sup> Street contained only two and three story multi-family residences containing two to 20 units each.<sup>4</sup> Some of the parcels north of 8<sup>th</sup> Street were parking lots for businesses on Wilshire, which probably replaced more multi-family properties constructed between 1927 and 1950. The Sanborn maps, along with a chronology map of the larger residential area, indicate that most of Tract 4464's multi-family residences were built in the late 1920s through the end of the 1930s.<sup>5</sup> The area between 8<sup>th</sup> Street and Wilshire Boulevard has seen significant construction of modern buildings on larger scales, and few of its 1920s-1930s properties remain.

#### **Owner J. Berger Winston**

Born around 1887 in New York, Jennie Berger moved to Los Angeles sometime in the 1920s with her daughter Helen Berger, born around 1919.<sup>6</sup> It is not known whether Berger was her name by marriage or birth, nor is it known whether any other family members lived with Jennie and Helen Berger before 1934. Berger was active in the local Jewish community, participating in a number of events with the

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<sup>4</sup> Sanborn Map Company, "Los Angeles, California," 1927 and 1927-1950, Vol. 23, Sheet 2309

<sup>5</sup> Ibid.; Architectural Resources Group, Miracle Mile Survey Report, Appendix D: Building Chronology Map.

<sup>6</sup> U.S. Census Records, Los Angeles, 1940; *Los Angeles Times*, "Permits Issued," 27 August 1928.



Community Synagogue and Congregation B'nai B'rith.<sup>7</sup> In 1928, she formed the Equitable Construction Corporation with Lawrence Berger (relationship unknown) and builder Max Weinstein; multiple *Los Angeles Times* articles note Weinstein as an active builder in Los Angeles who constructed a number of multi-family residences in the Leimert Park subdivision in the 1930s.<sup>8</sup> In 1934, Jennie Berger and Max Weinstein were married.<sup>9</sup> After the union, the couple began anglicizing their shared last name of Weinstein to Winston, though references to Weinstein are also present in newspaper articles over the next few years and it may not have been an official name change.

Thereafter usually known as J. Berger Winston in official documents and as Jennie Winston or Weinstein in social circles, Winston hired architect Edith Northman to construct at least three multi-family properties for her in the Wilshire area between 1936 and 1937: 745 S. Dunsmuir Avenue, 3801 W. 1<sup>st</sup> Street, and 744 S. Ridgeley Drive.<sup>10</sup> Her husband is presumed to have been involved as the builder. Winston lived at the 1<sup>st</sup> Street property (which is in a Chateausque style very similar to that of 744 S. Ridgeley) with Helen, and presumably with Max, after its 1937 completion.<sup>11</sup> Max Winston died in 1940.<sup>12</sup> Jennie Berger Winston maintained ownership of her properties, and occupation of her unit at 3801 W. 1<sup>st</sup> Street, for an unknown period of time. Sources on her life after 1941 could not be found; there are no obvious indications that she was active in property construction or management after the 1930s.

### Tenants of 744 S. Ridgeley Drive

Little is known about the early tenants of 744 S. Ridgeley Drive. The 1940 census enumerated occupants of five units at the property, all unmarried women or married couples with no children, and all in their 40s, 50s, and 60s. They were all born in the United States. The occupation of only one tenant was noted in the census data. Below are the 1940 tenants of the property:

- 744: Annie Kinney (67)
- 744 ½: Samuel (55) and Adele (50) Busch
- 746: Anne B. O'Donnell (58)
- 746 ½: Herbert R. (52) and Clara (47) Olson; Herbert was a credit manager at an electrical supply company.
- 748: Louis (55) and Minnie (53) Weincott (spelling unsure-entry is illegible)

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<sup>7</sup> *Los Angeles Times*, "Rabbi Fetes Silver Wedding," 31 January 1932, "Jewish Holidays at Hand," 29 September 1932, "B'nai B'rith to Install," 3 January 1941.

<sup>8</sup> *Los Angeles Times*, "Permits Issued," 27 August 1928.

<sup>9</sup> *Los Angeles Times*, "Intention to Marry," 20 January 1934.

<sup>10</sup> Architectural Resources Group, Miracle Mile Historic Resources Survey Report DPR forms and database, 2015; LADBS building permits for 745 S. Dunsmuir Ave., 3801 W. 1<sup>st</sup> St., and 744 S. Ridgeley Dr.; *Los Angeles Times*, "Six to Build Apartments," 5 July 1936, "Apartment Plans Stated," 30 May 1937.

<sup>11</sup> U.S. Census Records, Los Angeles, 1940.

<sup>12</sup> *Los Angeles Times*, "Deaths," 11 March 1940.



Research in newspaper articles and city directories did not reveal significant information about any of the above tenants.

### **The Chateauesque Style**

The apartment building at 744 S. Ridgeley Drive embodies the distinctive characteristics of the Chateauesque style, one of a number of Period Revival styles popular in Los Angeles in the 1920s and 1930s. A range of European and Colonial American residential styles inspired the idiom of Period Revival, which drew on historical references to create idealized, nostalgic new designs. As noted in the Period Revival theme in Los Angeles' citywide historic context statement, "the fantasy promoted by Period Revival styles was ideal for Los Angeles in the 1920s as a developing city full of newcomers, real estate developers, and creative members of the film industry. Developers embraced the style as a way to create identity and disguise dense urban development as bucolic sprawl in hillsides and residential neighborhoods, especially along Wilshire Boulevard."<sup>13</sup>

The Chateauesque style is a variation of French Revival architecture. As a somewhat grander style than the simpler French Revival or French Norman styles, it was most often applied to multi-family residences like apartment buildings. These multi-family properties often had irregular or L-shaped floor plans incorporating small exterior courtyards at primary façades. Chateauesque-style residences are characterized by vertical elements such as turrets, towers, pinnacles, and spires; these elements are often what distinguishes a Chateauesque building from a less elaborate French Revival building. Character-defining features of the style include heights of two stories or more; steeply-pitched, hipped roofs; eaves that commonly flare upward; stucco exteriors (sometimes brick, stone, or simulated stone); wall and roof dormers; multi-light casement windows; double-hung windows; arched entryways; and a range of architectural detailing including quoins, pediments, pilasters, and ornamental door and window surrounds.

### **Architect Edith Northman**

Edith Mortensen Northman was one of the first licensed female architects in Los Angeles and the designer of hundreds of residential, commercial, and institutional buildings throughout the West Coast (primarily in California). Born in Copenhagen, Denmark in 1893, she attended the "Studio" School of Arts in the atelier of Frede Aamodt for two years before immigrating with her family to Utah in 1914.<sup>14</sup> As quoted in a modern article, Northman remembered that as a little girl she "loved watching buildings go

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<sup>13</sup> GPA Consulting, Los Angeles Citywide Historic Context Statement: Context: Architecture and Engineering, Theme: Period Revival, 1919-1950 (prepared for the City of Los Angeles, January 2016), 8.

<sup>14</sup> American Institute of Architects, Historical Directory of American Architects, membership file for Edith Mortensen Northman, <http://public.aia.org/sites/hdoaa/wiki/Wiki%20Pages/ahd1032871.aspx>, accessed 7 March 2017; Sarah Allaback, *The First American Women Architects* (Urbana, IL: University of Illinois Press, 2008), 164.



up, but didn't tell anyone. It wasn't 'ladylike.'"<sup>15</sup> In 1918-1919, she worked as a junior draftsman in the office of Eugene R. Wheelon in Salt Lake City. Moving to Los Angeles in 1920 for health reasons, Northman joined the office of Henry J. Knauer and worked there for about a year; then from 1921 to 1926 she worked for Clarence J. Smale, first as a draftsman and then as chief draftsman.<sup>16</sup> According to one source, Northman recalled she "got into one office on the strength of being able to typewrite with two fingers...my drafting was too good, thank goodness."<sup>17</sup>

From 1927 to 1930, Northman studied at the University of Southern California School of Architecture. She opened her own practice in 1930, and passed the California state licensing exam in 1931.<sup>18</sup> Working with just one draftsman, Northman was very prolific during the Great Depression and completed hundreds of designs including single-family residences (on scales from modest to palatial), multi-family residences (from duplexes to large apartment houses), hotels, churches, synagogues, commercial buildings, and industrial buildings. In the mid-1930s, she designed over 50 service stations across the West Coast for the Union Oil Company.<sup>19</sup> Northman most commonly designed Period Revival style buildings, with well-known examples including Spanish Colonial Revival, French Revival, Chateausque, Mediterranean Revival, English Tudor Revival, and even Danish Revival styles. Notable Northman properties in Los Angeles include the 1937 Emanuel Danish Evangelical Lutheran Church at 4260 3<sup>rd</sup> Avenue (HCM #578), the 1934 Sephardic Orthodox Congregation Ohel Avraham synagogue at 5500 S. Hoover Street (now a church), and the 1940 Altman Apartments at 412-416 S. Catalina Street (HCM #1115).

Despite the wide range of her designs, Northman is perhaps best known for her Period Revival multi-family and single-family residential buildings. In addition to 744 S. Ridgeley Drive and the French Revival-style Altman Apartments in the Koreatown/Wilshire Center neighborhood, she is known to have designed at least seven other buildings in the Wilshire area (and likely many more yet to be researched). Intact examples include 749 S. Burnside Avenue (1931), 1031 S. Burnside Avenue (1932), 1044 S. Cloverdale Avenue (1927), 1000 S. Dunsmuir Avenue (1942), 1024 S. Dunsmuir Avenue (1929), 4009 Leeward Avenue (1938), and 3801 W. 1<sup>st</sup> Street (1937). The multi-family property at 3801 W. 1<sup>st</sup> Street was owned by Mrs. J. Berger Winston, the owner of 744 S. Ridgeley Drive. Examples of Northman's residential designs also survive in Leimert Park, Beverly Hills, Santa Monica, and even Fresno, where her French Revival/Chateausque Normandie Mar Apartment Hotel (1939) bears great similarity to her design for 744 S. Ridgeley Drive.

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<sup>15</sup> John Edward Powell, "Edith Mortensen Northman: Tower District Architect" *The Fresno Bee*, 11 May 1990 (reposted in [HistoricFresno.org](http://historicfresno.org)'s "A Guide to Historic Architecture in Fresno, California," <http://historicfresno.org/bio/northman.htm>, accessed 7 March 2017).

<sup>16</sup> AIA, Historical Directory; Allaback, *The First American Women Architects*, 164.

<sup>17</sup> Powell, "Tower District Architect."

<sup>18</sup> AIA, Historical Directory; Allaback, *The First American Women Architects*, 164.

<sup>19</sup> Powell, "Tower District Architect"; Allaback, *The First American Women Architects*, 164.



Northman worked for the U.S. Army Corps of Engineers during World War II, designing everything from camp toilets to large medical facilities.<sup>20</sup> After the war, she resumed private practice and continued designing properties from Los Angeles to Palm Springs, focusing on hotels and large apartment buildings. She also taught a course in the Los Angeles Adult Education Center program in 1945, instructing homeowners in how to read floorplans.<sup>21</sup> Northman was a member of the AIA from 1945 to 1952, when she let her membership lapse; she was forced to retire at that time due to increasingly severe symptoms of Parkinson's disease, and died in Salt Lake City in 1956.<sup>22</sup>

A full study of Northman's body of work and legacy as one of Los Angeles' first women architects in individual practice has yet to be completed, but it is clear that she was an influential practitioner in the Los Angeles area during its most prolific period of residential development and growth. In 1990, Northman was featured in a UCLA exhibit highlighting four important women architects of the first half of the 20<sup>th</sup> century; the other architects addressed were Edla Muir, Alice Constance Austin, and Julia Morgan.<sup>23</sup>

### **Period of Significance**

The period of significance for 744 S. Ridgeley Drive is defined as 1937, reflecting the year of the building's construction.

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<sup>20</sup> Powell, "Tower District Architect"; Allaback, *The First American Women Architects*, 164.

<sup>21</sup> *Los Angeles Times*, "Special School Courses Beckon Home Builders," 7 October 1945.

<sup>22</sup> AIA, Historical Directory

<sup>23</sup> *Los Angeles Times*, "Works of Women Architects Shown," 29 April 1990.



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Powell, John Edward. "Edith Mortensen Northman: Tower District Architect." *The Fresno Bee*, 11 May 1990. Reposted in Historicfresno.org's "A Guide to Historic Architecture in Fresno, California." <http://historicfresno.org/bio/northman.htm>, accessed 7 March 2017.

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**Items Attached**

*Exhibit 1.* Parcel Profile Report

*Exhibit 2.* Historic Tract Map

*Exhibit 3.* Original Building Permits and Alteration Permits

*Exhibit 4.* Existing Conditions Photos, ARG, 2017



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## **Exhibit 1. Parcel Profile Report**



# City of Los Angeles Department of City Planning

## 4/18/2017 PARCEL PROFILE REPORT

### PROPERTY ADDRESSES

744 1/2 S RIDGELEY DR  
746 1/2 S RIDGELEY DR  
748 1/2 S RIDGELEY DR  
744 S RIDGELEY DR  
746 S RIDGELEY DR  
748 S RIDGELEY DR

### ZIP CODES

90036

### RECENT ACTIVITY

None

### CASE NUMBERS

CPC-2016-961-HPOZ  
CPC-1986-823-GPC  
ORD-184834  
ORD-183497  
ORD-165331-SA2152  
ENV-2016-962-CE  
87-639-ZC-HD-GPA-ZV

### Address/Legal Information

PIN Number	132B181 163
Lot/Parcel Area (Calculated)	8,576.0 (sq ft)
Thomas Brothers Grid	PAGE 633 - GRID C3
Assessor Parcel No. (APN)	5089005010
Tract	TR 4464
Map Reference	M B 48-51
Block	None
Lot	163
Arb (Lot Cut Reference)	None
Map Sheet	132B181

### Jurisdictional Information

Community Plan Area	Wilshire
Area Planning Commission	Central
Neighborhood Council	Mid City West
Council District	CD 4 - David Ryu
Census Tract #	2162.00
LADBS District Office	Los Angeles Metro

### Planning and Zoning Information

Special Notes	None
Zoning	[Q]R4-1-HPOZ
Zoning Information (ZI)	ZI-2410 Metro Westside Subway Extension Project ZI-2452 Transit Priority Area in the City of Los Angeles ZI-2336 Miracle Mile
General Plan Land Use	High Medium Residential
General Plan Footnote(s)	Yes
Hillside Area (Zoning Code)	No
Specific Plan Area	None
Special Land Use / Zoning	None
Design Review Board	No
Historic Preservation Review	Yes
Historic Preservation Overlay Zone	Miracle Mile
Other Historic Designations	None
Other Historic Survey Information	None
Mills Act Contract	None
CDO: Community Design Overlay	None
CPIO: Community Plan Imp. Overlay	None
District	None
Subarea	None
CUGU: Clean Up-Green Up	None
NSO: Neighborhood Stabilization Overlay	No
POD: Pedestrian Oriented Districts	None
SN: Sign District	No
Streetscape	No
Adaptive Reuse Incentive Area	None
Ellis Act Property	No
Rent Stabilization Ordinance (RSO)	Yes

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at [zimas.lacity.org](http://zimas.lacity.org)  
(\* ) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

CRA - Community Redevelopment Agency	None
Central City Parking	No
Downtown Parking	No
Building Line	None
500 Ft School Zone	No
500 Ft Park Zone	No

#### Assessor Information

Assessor Parcel No. (APN)	5089005010
Ownership (Assessor)	
Owner1	VARDI,BARUCH
Address	3707 CALLE JAZMIN CALABASAS CA 91302
Ownership (Bureau of Engineering, Land Records)	
Owner	GANJIANPUR, KHOSROW J (ET AL)
Address	6125 SAN VICENTE BLVD LOS ANGELES CA 90048
APN Area (Co. Public Works)*	0.196 (ac)
Use Code	0500 - Residential - Five or More Units or Apartments (Any Combination) - 4 Stories or Less
Assessed Land Val.	\$1,377,000
Assessed Improvement Val.	\$1,122,000
Last Owner Change	11/10/2015
Last Sale Amount	\$2,450,024
Tax Rate Area	67
Deed Ref No. (City Clerk)	5-236 491962 373633 1331185 1331184-5 1331184 1000287
Building 1	
Year Built	1937
Building Class	D6
Number of Units	6
Number of Bedrooms	8
Number of Bathrooms	6
Building Square Footage	6,019.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5

#### Additional Information

Airport Hazard	None
Coastal Zone	None
Farmland	Area Not Mapped
Very High Fire Hazard Severity Zone	No
Fire District No. 1	No
Flood Zone	None
Watercourse	No
Hazardous Waste / Border Zone Properties	No
Methane Hazard Site	Methane Zone
High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	No

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at [zimas.lacity.org](http://zimas.lacity.org)  
 (\*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

Oil Wells None

**Seismic Hazards**

Active Fault Near-Source Zone

Nearest Fault (Distance in km) 3.5664648  
Nearest Fault (Name) Newport - Inglewood Fault Zone (Onshore)  
Region Transverse Ranges and Los Angeles Basin  
Fault Type B  
Slip Rate (mm/year) 1.00000000  
Slip Geometry Right Lateral - Strike Slip  
Slip Type Poorly Constrained  
Down Dip Width (km) 13.00000000  
Rupture Top 0.00000000  
Rupture Bottom 13.00000000  
Dip Angle (degrees) 90.00000000  
Maximum Magnitude 7.10000000

Alquist-Priolo Fault Zone No  
Landslide No  
Liquefaction No  
Preliminary Fault Rupture Study Area No  
Tsunami Inundation Zone No

**Economic Development Areas**

Business Improvement District None  
Promise Zone No  
Renewal Community No  
Revitalization Zone None  
State Enterprise Zone None  
Targeted Neighborhood Initiative None

**Public Safety**

Police Information

Bureau West  
Division / Station Wilshire  
Reporting District 745

Fire Information

Bureau South  
Batallion 18  
District / Fire Station 61  
Red Flag Restricted Parking No

## CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

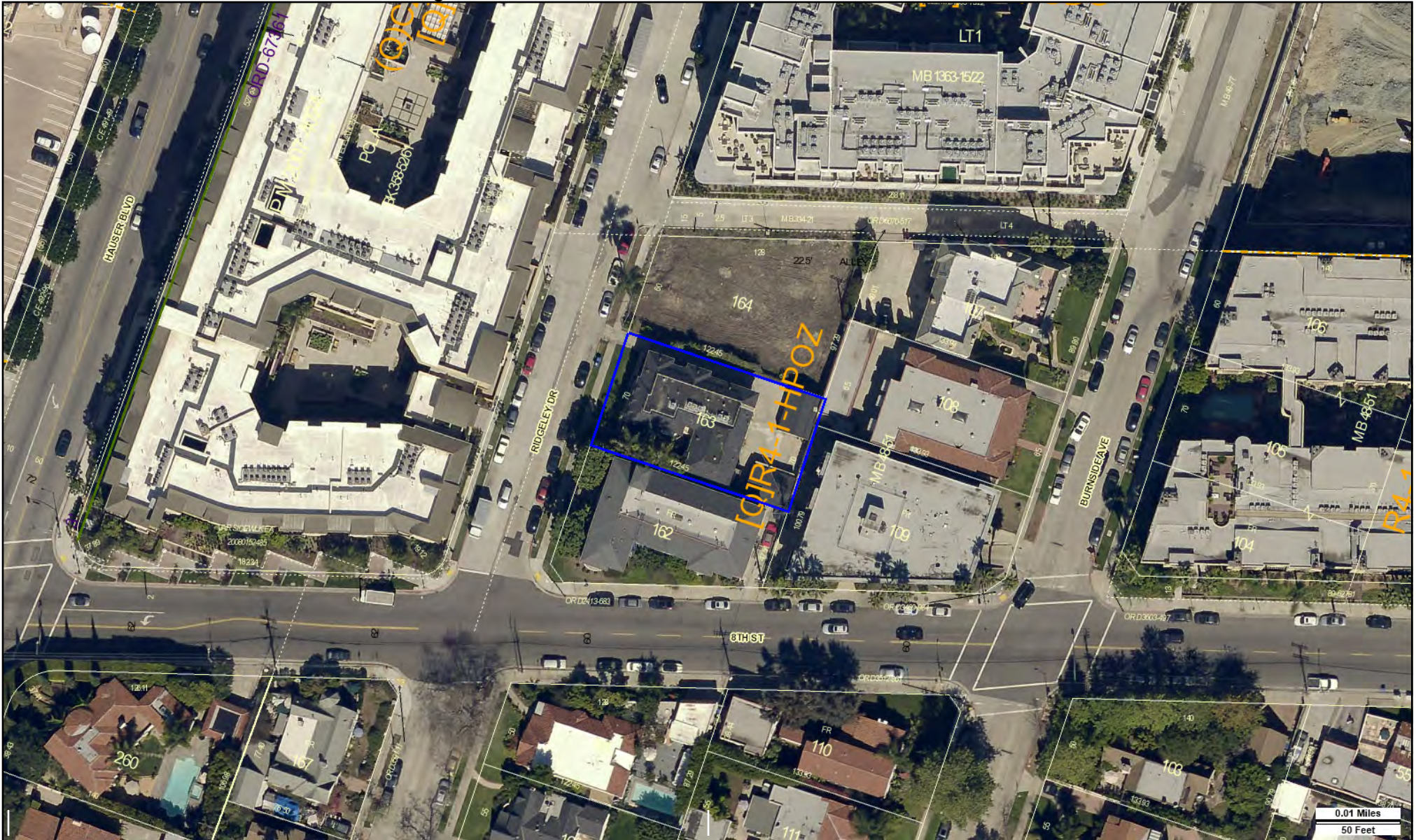
Case Number:	CPC-2016-961-HPOZ
Required Action(s):	HPOZ-HISTORIC PRESERVATION OVERLAY ZONE
Project Descriptions(s):	PURSUANT TO 12.20.3 F, THE ESTABLISHMENT OF A HISTORIC PRESERVATION OVERLAY ZONE (HPOZ) FOR THE MIRACLE MILE NEIGHBORHOOD, GENERALLY BOUNDED BY WILSHIRE BOULEVARD TO THE NORTH; SAN VICENTE BOULEVARD TO THE SOUTH; LA BREA AVENUE TO THE EAST; AND FAIRFAX AVENUE TO THE WEST.
Case Number:	CPC-1986-823-GPC
Required Action(s):	GPC-GENERAL PLAN/ZONING CONSISTENCY (AB283)
Project Descriptions(s):	AB-283 PROGRAM - GENERAL PLAN/ZONE CONSISTENCY - WILSHIRE AREA- COMMUNITY WIDE ZONE CHANGES AND COMMUNITY PLAN CHANGES TO BRING THE ZONING INTO CONSISTENCY WITH THE COMMUNITY PLAN. INCLUDES CHANGES OF HEIGHT AS NEEDED. REQUIRED BY COURT AS PART OF SETTLEMENT IN THE HILLSIDE FEDERATION LAWSUIT
Case Number:	ENV-2016-962-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	PURSUANT TO 12.20.3 F, THE ESTABLISHMENT OF A HISTORIC PRESERVATION OVERLAY ZONE (HPOZ) FOR THE MIRACLE MILE NEIGHBORHOOD, GENERALLY BOUNDED BY WILSHIRE BOULEVARD TO THE NORTH; SAN VICENTE BOULEVARD TO THE SOUTH; LA BREA AVENUE TO THE EAST; AND FAIRFAX AVENUE TO THE WEST.
Case Number:	87-639-ZC-HD-GPA-ZV
Required Action(s):	GPA-GENERAL PLAN AMENDMENT HD-HEIGHT DISTRICT ZC-ZONE CHANGE ZV-ZONE VARIANCE
Project Descriptions(s):	Data Not Available

## DATA NOT AVAILABLE

ORD-184834

ORD-183497

ORD-165331-SA2152



Address: 744 1/2 S RIDGELEY DR  
 APN: 5089005010  
 PIN #: 132B181 163

Tract: TR 4464  
 Block: None  
 Lot: 163  
 Arb: None

Zoning: [Q]R4-1-HPOZ  
 General Plan: High Medium Residential





Architectural  
Resources Group

## **Exhibit 2. Historic Tract Map**

# TRACT No. 4464

BEING A SUBDIVISION OF A PORTION OF THE SOUTHERLY 50 ACRES OF  
 NORTHERLY 60 ACRES OF THE 326.62 ACRE TRACT ALLOTTED  
 TO ANTONIO URQUIDEZ IN THE PARTITION OF THE RANCHO  
 LAS CIENEGAS AS PER MAP THEREOF IN DISTRICT COURT CASE No. 1161  
 RECORDS OF LOS ANGELES COUNTY,  
 STATE OF CALIFORNIA.



Courses based on East side of Cahuenga Valley and  
 Ballona Road as per Tract No. 3821 M. B. 42-15

Scale, 1 in. = 200 ft.

I, J. B. Murray hereby certify that I am a Licensed  
 Surveyor and that this map, consisting of one sheet, correctly  
 represents a survey made under my supervision, September  
 1921 and that all the monuments shown hereon actually exist  
 and their positions are correctly shown.

*J. B. Murray*

We hereby certify that we are the owners of or interested in the land  
 included within the subdivision shown upon the annexed map and that our  
 consent is the only consent necessary to pass a clear title to said land,  
 and we consent to the making of said map and subdivision and hereby  
 dedicate to the public use all the streets, Avenues and Drive shown  
 within the colored border line.

*[Signature]*

Title Guarantee & Trust Co.

Commercial National Bank

by *[Signature]*  
 Vice-President  
 by *[Signature]*  
 Secretary

by *[Signature]*  
 President  
 by *[Signature]*  
 Secretary

State of California } ss  
 County of Los Angeles }

On this 1 day of October in the year Nineteen  
 hundred twenty one, before me *[Signature]* a Notary Public  
 in and for said County of Los Angeles, State of California, residing  
 therein, duly commissioned and sworn, personally appeared C. E.  
 Rachal known to me to be the person who executed the annexed  
 instrument and acknowledged to me that he executed the same.

In witness whereof I have hereunto set my hand and affixed  
 my official seal the day and year in this certificate first above written.

*[Signature]*  
 Notary Public in and for said County  
 of Los Angeles, State of California.

State of California } ss  
 County of Los Angeles }

On this 2 day of October in the year Nineteen  
 hundred twenty one, before me *[Signature]* a Notary Public in and  
 for said County of Los Angeles, State of California, residing therein, duly  
 commissioned and sworn, personally appeared W. A. Bonyng Jr. known  
 to me to be the President and W. A. Bonyng Sr. known to me to be  
 the Secretary of the Commercial National Bank the Corporation  
 that executed the annexed instrument and known to me to be the  
 persons who executed the annexed instrument in behalf of the Corpora-  
 tion therein named and acknowledged to me that such Corporation  
 executed the same.

In witness whereof I have hereunto set my hand and affixed my  
 official seal the day and year in this certificate first above written.

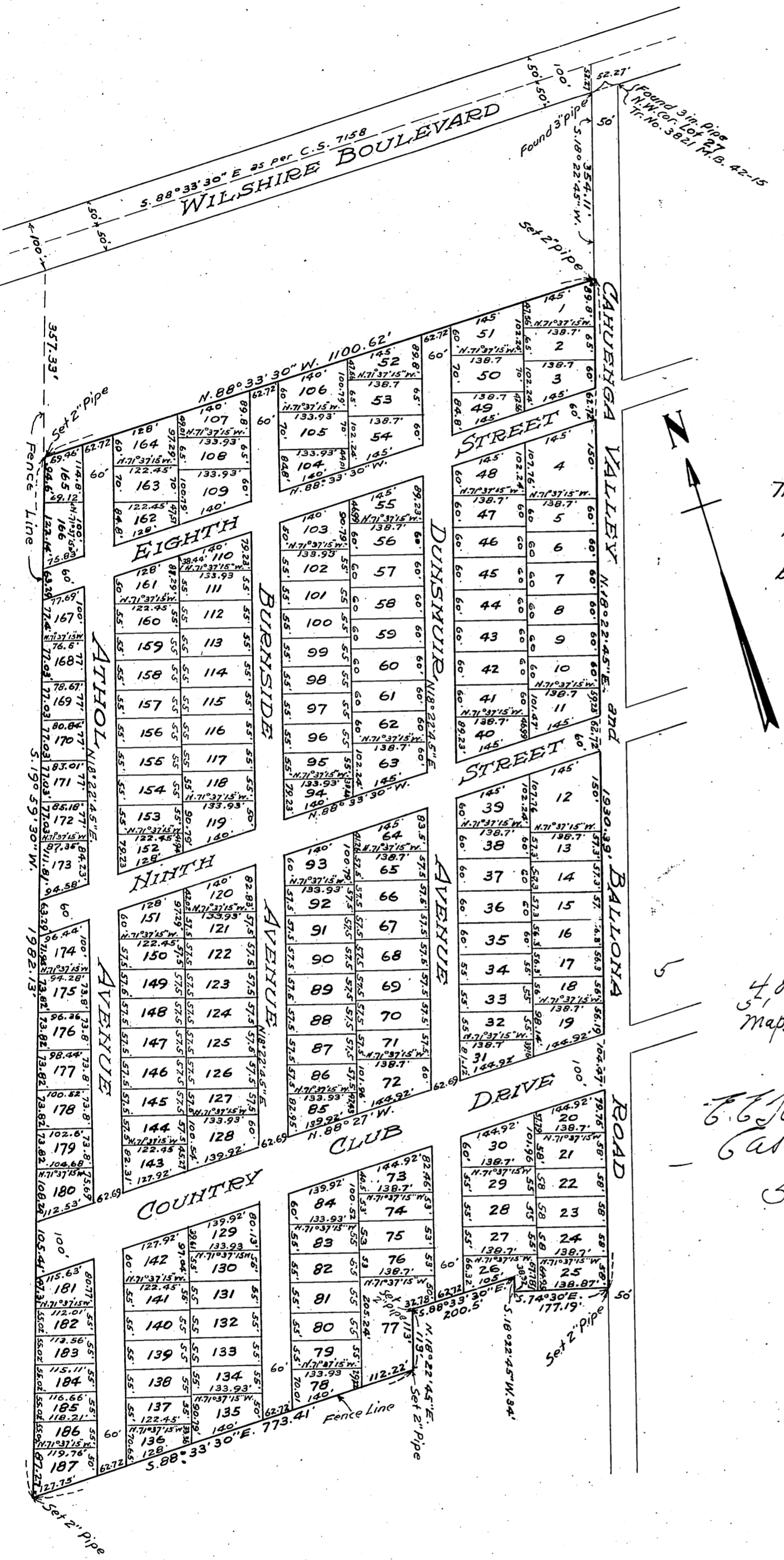
*[Signature]*  
 Notary Public in and for said County  
 of Los Angeles, State of California.

State of California } ss  
 County of Los Angeles }

On this 19 day of October in the year Nineteen hundred twenty one,  
 before me *[Signature]* a Notary Public in and for said County of Los Angeles,  
 State of California, residing therein, duly commissioned and sworn, personally appeared  
 E. W. Danyant known to me to be the Vice-President and A. R. *[Signature]*  
 known to me to be the Secretary of The Title Guarantee & Trust Co.  
 the corporation that executed the annexed instrument and known to me to be the  
 persons who executed the annexed instrument in behalf of the corporation therein  
 named and acknowledged to me that such corporation executed the same.

In witness whereof I have hereunto set my hand and affixed my  
 official seal the day and year in this certificate first above written.

*[Signature]*  
 Notary Public in and for said County of Los Angeles, State of California.



48  
 Maps

*[Signature]*  
 Cashier

502

*[Faint handwritten notes]*

*[Faint handwritten notes]*

100 10 1921



Architectural  
Resources Group

### **Exhibit 3. Building Permits**

**Exhibit 3a. Original Building Permits**

**Exhibit 3b. Alteration Permits**

## **Original Building Permits**

2

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
BUILDING DIVISION

Application for the Erection of a Building  
OF  
CLASS "D"

To the Board of Building and Safety Commissioners of the City of Los Angeles:  
Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:  
First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.  
Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.  
Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

Lot No. 163

Tract 446A

Location of Building 744 1/2 - 76 1/2 50 14 1/2 RIDGELEY DRIVE  
(House Number and Street)

Approved by  
City Engineer  
*[Signature]*  
Deputy

Between what cross streets 8th St & WILSHIRE BLVD

USE INK OR INDELIBLE PENCIL

- Purpose of building APARTMENT HOUSE Families 6 Rooms 23  
(Store, Residence, Apartment House, Hotel, or any other purpose)
- Owner (Print Name) MRS. J. BERGER WINSTON Phone FI. 9816
- Owner's address 3050 1/2 W. Pico Blvd.
- Certificated Architect Edith Northman State License No. C-66 Phone PA. 6724
- Licensed Engineer \_\_\_\_\_ State License No. \_\_\_\_\_ Phone \_\_\_\_\_
- Contractor None State License No. \_\_\_\_\_ Phone \_\_\_\_\_
- Contractor's address \_\_\_\_\_ OK/RPS
- VALUATION OF PROPOSED WORK \$16,000.00  
Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon.
- State how many buildings NOW } None  
on lot and give use of each. (Store, Residence, Apartment House, Hotel, or any other purpose)
- Size of new building 68'3" x 58'6" No. Stories 2 Height to highest point 30' Size lot 70' x 122'45"
- Type of soil Adobe Foundation (Material) Concrete Depth in ground 1'4"
- Width of footing 16" Width of foundation wall 8" Size of redwood sill 2" x 6"
- Material exterior wall Frame stucco Size of studs: (Exterior) 2" x 4" (Interior bearing) 2" x 4"
- Joist: First floor 2" x 10" Second floor 2" x 10" Rafters 2" x 4" Material of roof Shingles Composition
- Chimney (Material) None Size Flue \_\_\_\_\_ No. inlets each flue \_\_\_\_\_ Depth footing in ground \_\_\_\_\_

I have carefully examined and read the above completed Application and know the same is true and correct, and hereby certify and agree that if a permit is issued all the provisions of the Building Ordinance and State Laws will be complied with whether herein specified or not; I also certify that plans and specifications filed will conform to all the Building Ordinances and State Laws.

Sign here Mrs. J. Berger Winston  
(Owner or Authorized Agent)

By Edith Northman  
5365

Plans, Specifications and other data must be filed if required.

PERMIT NO.  <b>16398</b>	FOR DEPARTMENT USE ONLY			Fee <u>51.00</u>  Stamp here when Permit is issued  <b>MAY 17 1937</b>
	Plans and Specifications checked <u>Perush.</u>	Zone <u>R4</u>	Fire District No. <u>141</u>	
	Corrections required <u>None</u>	Blgd. Line <u>110</u> ft.	Street Widening <u>110</u> ft.	
	Plans, Specifications and Application checked and approved <u>[Signature]</u>	Application checked and approved <u>[Signature]</u> Clerk		
PLANS <u>[Signature]</u>	For Plans Set _____	Filed with _____	INSPECTOR <u>[Signature]</u>	Inspector

PERMIT TICKET NO. 682

**FOR DEPARTMENT USE ONLY**

Application <i>AA</i>	Fire District.....	Bldg. Line.....	Forced Draft Ventil.....
Construction.....	Zoning.....	Street Widening.....	

(1) **REINFORCED CONCRETE**

Barrels of Cement.....

Tons of Reinforcing Steel.....

(2) The building referred to in this Application will be more than 100 feet from

.....Street

Sign Here.....  
(Owner or Authorized Agent)

(3) This building will be not less than 10 feet from any other building used for residential purposes on this lot.

Sign here.....  
(Owner or Authorized Agent)

(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.

Sign Here.....  
(Owner or Authorized Agent)

**REMARKS:**

I hereby certify that no contractor is employed, and/or will be employed to do the work mentioned in this application.

(Signed) *Robert K. [Signature]*

**PLAN CHECKING**

RECEIPT NO. 13906

VALUATION \$ 16000 00

FEE PAID \$ 30 00

2

CITY OF LOS ANGELES
DEPARTMENT OF BUILDING AND SAFETY
BUILDING DIVISION

Application for the Erection of a Building
OF
CLASS "D"

To the Board of Building and Safety Commissioners of the City of Los Angeles:
Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:
First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.
Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.
Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

Lot No. 163

Tract 4464

Location of Building 744-1/2-46-1/2-48-1/2 - Ridgely Drive
(House Number and Street) } Approved by City Engineer

Between what cross streets 8th St & Wilshire Blvd. } Deputy.

USE INK OR INDELIBLE PENCIL

- 1. Purpose of building Garage Families 3 Rooms
2. Owner (Print Name) Mrs. J. Berger Winston Phone P19816
3. Owner's address 3050 1/2 W. Pico Blvd.
4. Certificated Architect Edith Northman State License No. C-66 Phone P46224
5. Licensed Engineer
6. Contractor None State License No. Phone
7. Contractor's address
8. VALUATION OF PROPOSED WORK including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon. \$ 300.
9. State how many buildings NOW on lot and give use of each. None (Store, Residence, Apartment House, Hotel, or any other purpose)
10. Size of new building 18'6" x 26'6" No. Stories 1 Height to highest point Size lot 70' x 122'-45'
11. Type of soil A. dabe. - loam Foundation (Material) Concrete Depth in ground 6"
12. Width of footing 12" Width of foundation wall 3 1/2" Concrete Slab Floor Size of redwood sill 2" x 6"
13. Material exterior wall CAME Size of studs: (Exterior) 2" x 4" (Interior bearing)
14. Joist: First floor Second floor Rafters 2" x 4" Material of roof Shingles Composition
15. Chimney (Material) Size Flue No. inlets each flue Depth footing in ground

I have carefully examined and read the above completed Application and know the same is true and correct, and hereby certify and agree that if a permit is issued all the provisions of the Building Ordinance and State Laws will be complied with whether herein specified or not; I also certify that plans and specifications filed will conform to all the Building Ordinances and State Laws.

Sign here Mrs. J. Berger Winston (Owner or Authorized Agent)
By H. Engelbrecht

Plans, Specifications and other data must be filed if required.

FOR DEPARTMENT USE ONLY
PERMIT NO. 16399
Plans and Specifications checked Plans
Corrections verified
Application checked and approved 5/17/37
SPRINKLER Required Valuation Included Specified Yes-No
Fee 25.00
Stamp here when Permit is issued MAY 17 1937
Inspector

**FOR DEPARTMENT USE ONLY**

Application <i>AA</i>	Fire District <i>*</i>	Bldg. Line	Forced Draft Ventil.
Construction	Zoning	Street Widening	

(1) **REINFORCED CONCRETE**

Barrels of Cement.....

Tons of Reinforcing Steel.....

(2) The building referred to in this Application will be more than 100 feet from

..... Street

Sign Here.....

(Owner or Authorized Agent)

(3) This building will be not less than 10 feet from any other building used for residential purposes on this lot.

Sign here.....

(Owner or Authorized Agent)

(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.

Sign Here.....

(Owner or Authorized Agent)

REMARKS: I hereby certify that the contractor is employed, and will be employed to do the work mentioned in this application.

(Signed) *[Signature]*

*0.52*

*0.52*

*0.52*

2

CITY OF LOS ANGELES
DEPARTMENT OF BUILDING AND SAFETY
BUILDING DIVISION

Application for the Erection of a Building
OF
CLASS "D"

To the Board of Building and Safety Commissioners of the City of Los Angeles:
Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:
First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.
Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.
Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

Lot No. 162

Tract 4464

Location of Building 744-1/2-46-1/2-48 1/2 Ridgeley Drive (House Number and Street)
Between what cross streets 8th St & Wilshire Blvd
Approved by City Engineer
Deputy

USE INK OR INDELIBLE PENCIL

- 1. Purpose of building Garage Families 3 Rooms -
2. Owner (Print Name) Mrs. L. Berger Winston Phone FL 9816
3. Owner's address 3050 1/2 W. Pico Blvd.
4. Certificated Architect Edith Northman State License No. 6-66 Phone PA 6224
5. Licensed Engineer State License No. Phone
6. Contractor State License No. Phone
7. Contractor's address
8. VALUATION OF PROPOSED WORK Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon. \$ 325.00
9. State how many buildings NOW on lot and give use of each. None (Store, Residence, Apartment House, Hotel, or any other purpose)
10. Size of new building 19' x 27' No. Stories 1 Height to highest point Size lot 70' x 122.75'
11. Type of soil Adobe - loam Foundation (Material) Concrete Depth in ground 6"
12. Width of footing 12" Width of foundation wall 3 1/2" conc. slab floor Size of redwood sill 2" x 6"
13. Material exterior wall Frame Stucco Size of studs: (Exterior) 2" x 4" (Interior bearing) x
14. Joist: First floor x Second floor x Rafters 2" x 4" Material of roof Shingle Composition
15. Chimney (Material) Size Flue x No. inlets each flue Depth footing in ground

I have carefully examined and read the above completed Application and know the same is true and correct, and hereby certify and agree that if a permit is issued all the provisions of the Building Ordinance and State Laws will be complied with whether herein specified or not; I also certify that plans and specifications filed will conform to all the Building Ordinances and State Laws.

Sign here Mrs. L. Berger Winston (Owner or Authorized Agent)
By H. Engelhardt

Plans, Specifications and other data must be filed if required.

PERMIT NO. 16400
FOR DEPARTMENT USE ONLY
Plans and Specifications checked Pouch
Zone
Fire District No.
Corrections verified
Bidg. Line Ft. Street Widening Ft.
Plans, Specifications and Application reviewed and approved 5/17/37 Clerk
Required Valuation Included Specified Yes-No
Inspector



**CITY OF LOS ANGELES  
DEPARTMENT**

**OF  
BUILDING AND SAFETY**

**CERTIFICATE OF OCCUPANCY**

Date Certificate Issued:

19.....

744-4~~EB~~<sup>1</sup>/<sub>2</sub> S. Ridgeley Dr. Address of Building

CC four Apartment Owner

Owner's Address

(Post Office)

(Zone)

(State)

163980

Permit Number

1937

Year

This certifies that, so far as ascertained by or made known to the undersigned, the building at the above address complies with the applicable requirements of the Municipal Code, as follows: Chapter 1, as to permitted uses of said property; Chapter 9, Articles 1, 3, 4, and 5; and with the applicable requirements of the State Housing Act,—for the following occupancies:

**NOTE:** Any change of use or occupancy must be approved by the Department of Building and Safety.

G. E. MORRIS  
Superintendent of Building

By .....

Apt 16398(37)

Los Angeles, Calif., Nov 30, 1937

The Superintendent of Building,  
Department of Building and Safety

Sir:—I respectfully beg to report that I have inspected the building above  
referred to, located at No. 744-48 1/2 South Fidelity Drive  
and find that the same complies in all respects to the provisions of the State  
Building Act and the City Building Ordinances, and is fully entitled to a certificate  
of acceptance.

*[Signature]*  
Deputy Inspector

No. of Bldg. D, No. of Stories 2  
No. of Rooms 23, No. of Apts. 6

Certificate No. 6089, Issued Nov 30, 1937

## **Alteration Permits**

3

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:  
Applicant is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:  
First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.  
Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.  
Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot 163 Lot

Tract 4464 Tract

Present location of building } 744-1/2-46-1/2 x 98 1/2 - S. Ridgely Drive  
(House Number and Street)  
New location of building } Same  
(House Number and Street)  
Between what cross streets } \_\_\_\_\_  
Approved by City Engineer \_\_\_\_\_  
Deputy \_\_\_\_\_

- Purpose of PRESENT building Apt Families 6 Rooms 23  
(Store, Residence, Apartment House, Hotel, or any other purpose)
- Use of building AFTER alteration or moving Same Families Same Rooms Same
- OWNER (Print Name) MRS. J. Berger Winston Phone FI-9816
- Owner's Address 3050 1/2 W. Pico Blvd
- Certificated Architect EDITH Northman State License No. C-66 Phone PA 6224
- Licensed Engineer \_\_\_\_\_ State License No. \_\_\_\_\_ Phone \_\_\_\_\_
- Contractor Wm State License No. \_\_\_\_\_ Phone \_\_\_\_\_
- Contractor's Address \_\_\_\_\_
- VALUATION OF PROPOSED WORK including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon. \$ 25.00
- State how many buildings NOW on lot and give use of each. 1 - apt - 2 gar  
(Residence, Hotel, Apartment House, or any other purpose)
- Size of existing building 66 x 58 Number of stories high 2 Height to highest point \_\_\_\_\_
- Class of building D Material of existing walls Stucco Exterior framework \_\_\_\_\_  
(Wood or Steel)

Describe briefly and fully all proposed construction and work:

Removal of steel stair from side yard as shown on plans - # Placing of same in 11'-0" deep Rear yard - Changing placement of kitchen layout from present plan - This is a different placement of steel stair than shown on present plans.

Fill in Application on other Side and Sign Statement (OVER)

PERMIT NO.		FOR DEPARTMENT USE ONLY			Fee <u>1.00</u>	Stamp here when Permit is issued
<u>14274</u>	Plans and Specifications checked <u>Print</u>	Zone <u>R4</u>	Fire District No. <u>100</u>			
	Corrections verified <u>None</u>	Bldg. Lms <u>100</u> Ft.	Street Widening _____ Ft.			
PLANS	Plans, Specifications and Applications received and approved <u>W. J. Miller</u>	Application checked and approved <u>6/17/37</u>			Inspector <u>Conroy</u>	
	For Plans See _____ Filed with <u>16398 97-400</u>	Required Valuation Included <u>SPRINKLER</u>		Specified Fee - No _____		

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**PUBLIC RECORD**

**APPLICATION FOR INSPECTION — TO ADD-ALTER-REPAIR-DEMOLISH**

CITY OF LOS ANGELES

**AND FOR CERTIFICATE OF OCCUPANCY**

B & S B-3 (R 12.80)  
DEPT. OF BUILDING AND SAFETY

**INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.**

<b>1.</b>	LOT <b>163</b>	BLOCK	TRACT <b>4464</b>	COUNCIL DISTRICT NO. <b>4</b>	DIST. MAP <b>5123</b>
	LEGAL DESCR.				CENSUS TRACT <b>2162.00</b>
<b>2.</b>	PRESENT USE OF BUILDING ( ) <b>Mult. Dwig.</b>			NEW USE OF BUILDING ( ) <b>Same</b>	
<b>3.</b>	JOB ADDRESS <b>744-48 1/2 Ridgley Dr., Los Angeles</b>				FIRE DIST. <b>--</b>
<b>4.</b>	BETWEEN CROSS STREETS <b>8th St.</b>			AND <b>Wilshire</b>	
<b>5.</b>	OWNER'S NAME <b>Esther and David Choy</b>			PHONE	LOT TYPE <b>Int</b>
<b>6.</b>	OWNER'S ADDRESS <b>744-48 1/2 Ridgley Dr., Los Angle</b>			CITY	ZIP
<b>7.</b>	ENGINEER	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	ALLEY <b>--</b>
<b>8.</b>	ARCHITECT OR DESIGNER	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	BLDG. LINE <b>--</b>
<b>9.</b>	ARCHITECT OR ENGINEER'S ADDRESS			CITY	ZIP
<b>10.</b>	CONTRACTOR <b>Globe Reconst.</b>			BUS. LIC. NO. <b>250469</b>	ACTIVE STATE LIC. NO. <b>984-34284</b>
<b>11.</b>	SIZE OF EXISTING BLDG. WIDTH	LENGTH	STORIES <b>2</b>	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE <b>2-Garage/Dwelling</b>
<b>12.</b>	CONST. MATERIAL OF EXISTING BLDG.	EXT. WALLS <b>Stucco</b>	ROOF <b>Comp</b>	FLOOR <b>Wood</b>	STREET GUIDE
<b>3</b>	JOB ADDRESS <b>744-48 1/2 Ridgley Dr.</b>				DISTRICT OFFICE <b>LA</b>
<b>14.</b>	VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING <b>\$ 7000</b>				SEISMIC STUDY ZONE <b>--</b>
<b>15.</b>	NEW WORK (Describe) <b>restine fire damage 10% inspector</b>				GRADING <b>--</b>
	<b>to verify (roof, ext. walls)</b>				FLOOD <b>--</b>
	NEW USE OF BUILDING <b>Multi-Dwelling</b>		SIZE OF ADDITION <b>NC</b>	STORIES <b>NC</b>	HEIGHT <b>NC</b>
	TYPE <b>NC</b>	GROUP OCC. <b>NC</b>	BLDG. AREA <b>NC</b>	PLANS CHECKED	
	DWELL UNITS <b>NC</b>	MAX OCC. <b>NC</b>	TOTAL		APPLICATION APPROVED <i>[Signature]</i>
	GUEST ROOMS <b>NC</b>	PARKING REQ'D <b>NC</b>	PARKING PROVIDED STD. <b>NC</b> COMP. <b>q</b>	INSPECTION ACTIVITY	
	SPRINKLERS REQ'D SPEC.		CONT. INSP.	INSPECTOR	
	P.C.	P.M.	CLAIMS FOR REFUND OF FEES PAID ON PERMITS MUST BE FILED: 1. Within one year from date of payment of fee; or 2. Within one year from date of expiration of extension for building or grading permits granted by the Dept. of B. & S. SECTIONS 22.12 & 22.13 LAMC.		
	S.P.C.	I.F.			
	B.P. <b>49.00</b>	O.S.			
	G.P.I.	C/O			
	DIST. OFFICE <b>LA</b>		ENERGY:	CASHIERS USE ONLY C 49.00 B-CI 27278 0001 82914 4 07/14/81 49.00 CHTD	
	PLAN CHECK EXPIRES ONE YEAR AFTER FEE IS PAID. PERMIT EXPIRES TWO YEARS AFTER FEE IS PAID OR 180 DAYS AFTER FEE IS PAID IF CONSTRUCTION IS NOT COMMENCED.				

**DECLARATIONS AND CERTIFICATIONS**

**LICENSED CONTRACTORS DECLARATION**

**16.** I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.  
 Date 7-10-81 Lic. Class B-1 Lic. Number 250469 Contractor: David Perry G.R. (Signature)

**OWNER-BUILDER DECLARATION**

**17.** I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.).

I am exempt under Sec. \_\_\_\_\_, B. & P. C. for this reason \_\_\_\_\_

Date \_\_\_\_\_ Owner's Signature \_\_\_\_\_

**WORKERS' COMPENSATION DECLARATION**

**18.** I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).  
 Policy No. PC 964692 Company McCord + Holdren INC. N. Hollywood.  
 Certified copy is hereby furnished.  
 Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety.  
 Date 7-10-81 Applicant David Perry G.R.  
 Applicant's Mailing Address PO Box 4476 N. Hollywood, CA. 91609  
REPUBLIC INDEM.

**CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE**

**19.** I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.  
 Date \_\_\_\_\_ Applicant \_\_\_\_\_

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

**CONSTRUCTION LENDING AGENCY**

**20.** I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).  
 Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

**21.** I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.  
 I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed. (See Sec. 91.0202 LAMC)

Signed David Perry G.R. 7-10-81  
 (Owner or agent having property owner's consent) Position Date



14. APPLICATION COMMENTS

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless, the information printed exceeds that required by Section 19825 of the Health and Safety Code of the State of California.

15. Building Relocated From:

16. CONTRACTOR, ARCHITECT, & ENGINEER NAME ADDRESS

CLASS LICENSE# PHONE #

(O) Owner-Builder

0

PERMIT EXPIRATION/REFUNDS: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98 0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951)

17. OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the following reason (Section 7031.5, Business and Professions Code. Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).)

I, as the owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business & Professions Code. The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year from completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

OR

I, as the owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business & Professions Code. The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

18. WORKERS' COMPENSATION DECLARATION

I hereby affirm, under penalty of perjury, one of the following declarations:

I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier \_\_\_\_\_ Policy Number \_\_\_\_\_

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

WARNING - FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES

19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at [www.aqmd.gov](http://www.aqmd.gov). Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or [www.dhs.ca.gov/childlead](http://www.dhs.ca.gov/childlead)

20. FINAL DECLARATION

I certify that I have read this application INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91 0106.4.3.4 LAMC).

By signing below, I certify that:

- (1) I accept all the declarations above namely the Owner-Builder Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning and Final Declaration, and
- (2) This permit is being obtained with the consent of the legal owner of the property

Print Name

KHOSROW GANJIANPUR

Date

06/29/09

Owner

Authorized Agent



OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF INFORMATION

(OWNER-BUILDER DECLARATION)

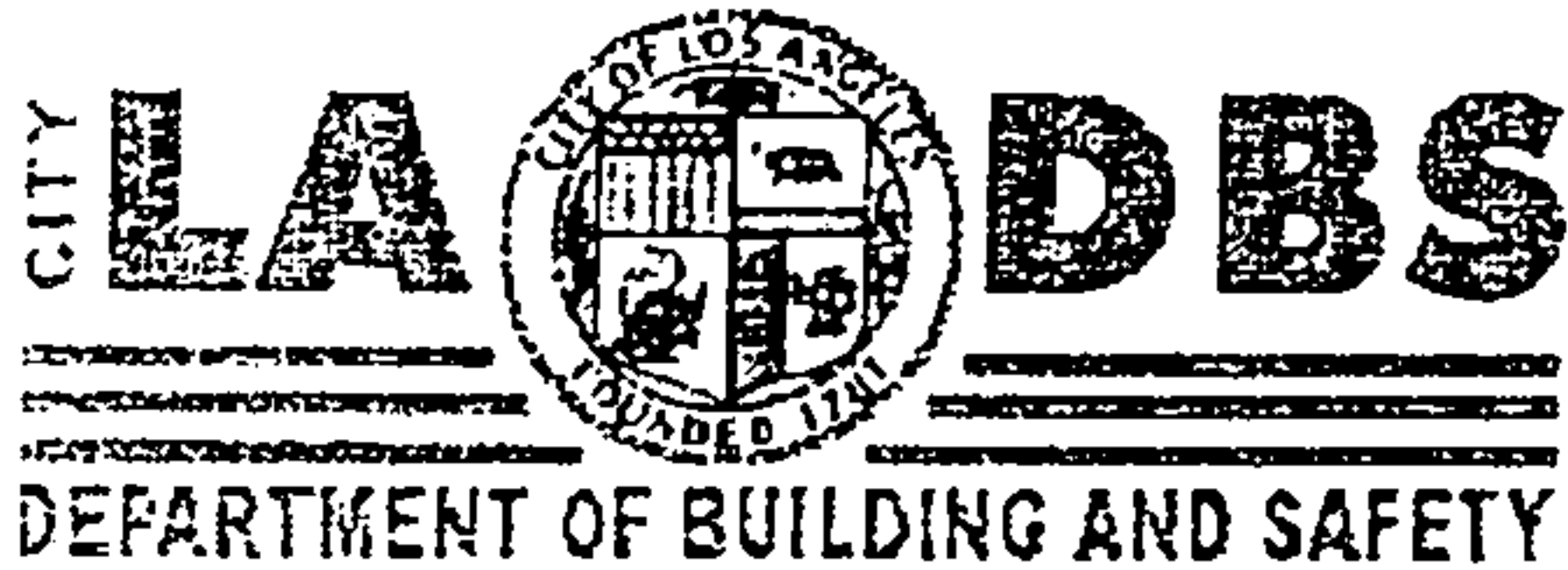
Application Number: 09016 3014 09672

Project Address: 744 S. RIDGELEY DR. LOS ANGELES CA. 90036  
UNIT # 744 1/2, 746, 746 1/2, 748 1/2

DIRECTIONS: Read and initial each statement below to signify you understand or verify this information.

- 1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.
- 2. I understand building permits are not required to be signed by property owners unless they are responsible for the construction and are not hiring a licensed Contractor to assume this responsibility.
- 3. I understand as an "Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.
- 4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.
- 5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.
- 6. I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.
- 7. I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless all work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.
- 8. I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.
- 9. I understand I may obtain more information regarding my obligations as an "employer" from the Internal Revenue Service, the United States Small Business Administration, the California Department of Benefit Payments, and the California Division of Industrial Accidents. I also understand I may contact the California Contractors' State License Board (CSLB) at 1-800-321-CSLB (2752) or www.cslb.ca.gov for more information about licensed contractors.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities. For efficient handling of information internally and in the Internet, conversion to this new format of code related and administrative information bulletins including MGD and RGA that were previously issued will allow flexibility and timely distribution of information to the public.



OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF INFORMATION

(OWNER-BUILDER DECLARATION, cont.)

Application Number: \_\_\_\_\_

Project Address: 744 S. RIDGELEY DR LOS ANGELES CA 90036

UNIT # 744 1/2, 746, 746 1/2, 748 1/2

RS

10. I am aware of and consent to an Owner-Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity at the following address: 744 S. RIDGELEY DR LOS ANGELES CA 90036

RS

11. I agree that, as the party legally and financially responsible for this proposed construction activity, will abide by all applicable laws and requirements that govern Owner-Builders as well as employers.

RS

12. I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form. Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed Contractors may be in civil court. It is also important for you to understand that if an unlicensed Contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner-Builder and wish to hire Contractors, you will be responsible for verifying whether or not those Contractors are properly licensed and the status of their workers' compensation insurance coverage. Before a building permit can be issued, this form must be completed and signed by the property owner and returned to the agency responsible for issuing the permit.

Note: A copy of the property owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.

Owner's Name: KHOSROW GANJIANPUR

Signature of property owner [Signature] Date: 04/29/09

- SEC. 3. Section 19830 of the Health and Safety Code is repealed.
- SEC. 4. Section 19831 of the Health and Safety Code is repealed.
- SEC. 5. Section 19832 of the Health and Safety Code is repealed.



Architectural  
Resources Group

## **Exhibit 4. Existing Conditions Photos, ARG, 2017**



Primary (west) façade with courtyard to south, view northeast (ARG, 2017).



Primary (west) façade, view southeast (ARG, 2017).



Primary (west) and north façades, view southeast (ARG, 2017).



North and west façades, view southeast (ARG, 2017).



North façade, view south (ARG, 2017).



North and east façades, view southwest (ARG, 2017).



East and portion of north façades, view southwest (ARG, 2017).



East façade, view northwest (ARG, 2017).



Architectural  
Resources Group



South façade, view to northeast (ARG, 2017)



South and west courtyard façades, view to northeast (ARG, 2017)



South and west courtyard façades, view to northeast (ARG, 2017).



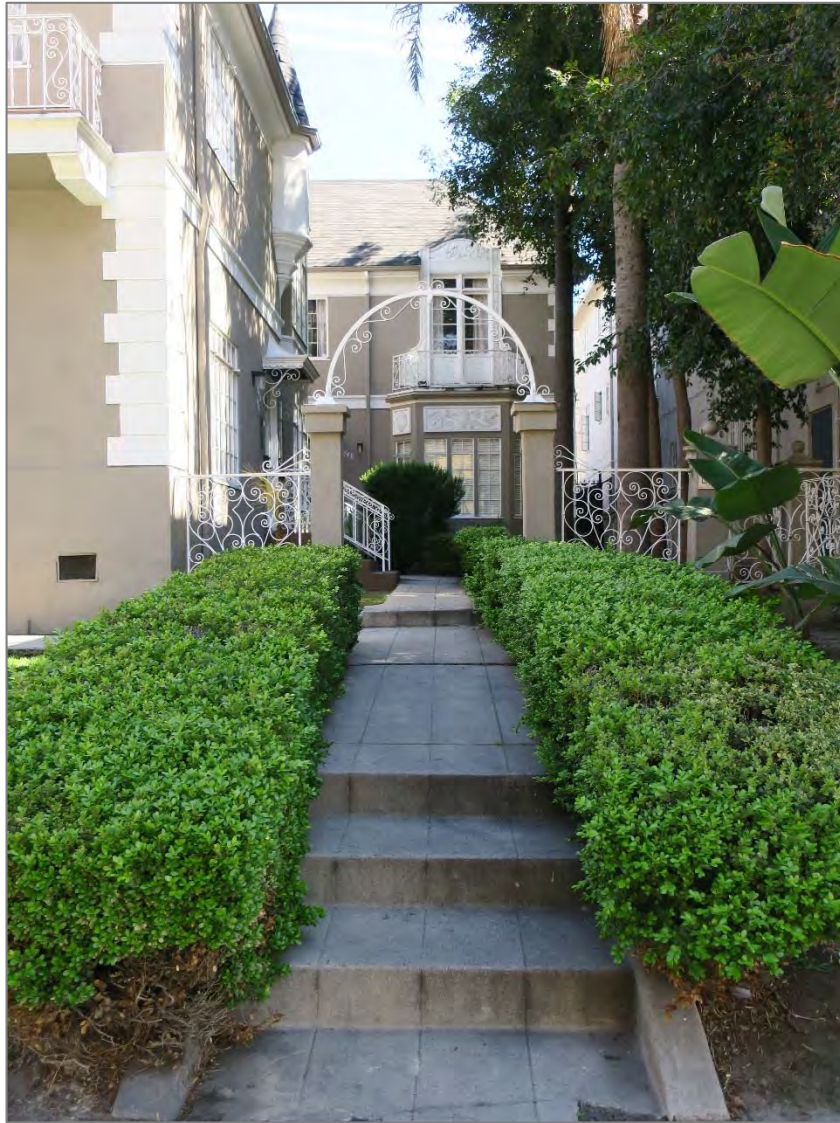
South and west courtyard façades with corner stoop, view to northeast (ARG, 2017).



Courtyard and walkway, view to east (ARG, 2017).



Architectural  
Resources Group



Courtyard entry steps from street, view to east(ARG, 2017).



Courtyard unit entries, view to east (ARG, 2017).



Architectural  
Resources Group



Courtyard unit entry and turret on south façade, view to northeast (ARG, 2017).



Garages at rear of parcel, view to southeast (ARG, 2017).

Daniel Freedman  
Direct: 310-785-5391  
DFF@JMBM.COM

1900 Avenue of the Stars, 7th Floor  
Los Angeles, California 90067-4308  
(310) 203-8080 (310) 203-0567 Fax  
www.jmbm.com

May 24, 2017

**VIA E-MAIL AND HAND DELIVERY**

Cultural Heritage Commission  
Attn: Etta Armstrong, Commission Executive Assistant I  
City of Los Angeles  
200 N. Spring Street  
Room 1010, City Hall  
Los Angeles, CA 90012

Re: **Case No. CHC-2017-1558-HCM**  
744-748-1/2 Ridgeley Drive  
Proposed Cultural Historic Monument Designation(s)  
**Hearing Date: June 1, 2017**

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Dear President Barron and Members of the Cultural Heritage Commission:

Our office represents the owner of 744-748-1/2 Ridgeley Drive (the "Property") in connection with the pending nomination of the Property for consideration as a Historic-Cultural Monument pursuant to Los Angeles Administrative Code ("LAAC") Section 22.171.10. We submit this letter to the Cultural Heritage Commission ("Commission") in vigorous opposition to the nomination, to rebut the broad and unsupported conclusions set forth in the nomination, and to urge that the Commission not accept this Property for further consideration as a potential Historic-Cultural Monument ("HCM"). As will be discussed below, this property does not merit consideration as a HCM due to the fact that it clearly fails to meet the criteria as set forth by applicant's nomination: (1) it is not an architectural-type specimen, inherently valuable for the study of a period, style or method of construction; and (2) it is not a notable work of architect Edith Northman.

While we do not challenge the caliber of Edith Northman's work, or her contribution to Los Angeles architecture, there is no evidence presented by either the applicant or the staff report that this property is a notable or significant example of her work. In fact, as discussed further below, her work on similar multi-family buildings is widely represented in the area with dozens (if not hundreds) of other similar buildings, as well as many much better examples of her work; many of which are located directly adjacent to the Property. Moreover, although the Property has been included as a contributor to the newly established Miracle Mile HPOZ, this does not mean that it is de-facto qualified to meet the LAAC's HCM criteria. To the contrary, the presence of the HPOZ, and the fact that the Property is surrounded by hundreds of buildings with similar styles, designs, and significance, only highlights the need to give

applications of already protected buildings in existing historic districts an even closer scrutiny for HCM consideration to assure that only the most notable buildings and resources meet the high standards of the City's HCM criteria. As discussed below, we do not believe the Property meets those higher HCM standards, and we therefore respectfully request that the Commission defend the quality of our City's historic monuments and deny this nomination based on the following considerations:

**The nomination fails to meet the criteria for Historic-Cultural Monument designation in the Cultural Heritage Ordinance.**

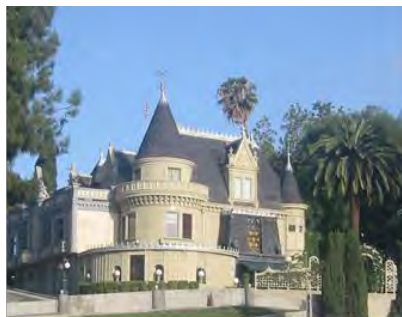
The nomination purports to nominate the Property as a Monument based on two of the four possible criteria set forth in LAAC Section 22.171.10. As detailed below, the nomination fails to provide substantial evidence in support of the nomination under the selected designation criteria. The nomination criterial are as follows:

- (i) *The Property does not embody the distinguishing characteristics of an architectural-type specimen, inherently valuable for the study of a period, style or method of construction.*

The nomination fails to include any supporting information or evidence supporting its claim that the Property embodies the distinguishing characteristics of an "architectural type specimen." Although the building is described as "chateausque" in the nomination, it fails to establish that this particular Property reaches the level of an *architectural-type specimen* of this style. It also fails to detail why this building would be inherently valuable for the study of a period, style or method of construction. It fails to address these key components of the HCM criteria because it is unable to identify any particularly significant distinguishing architectural features or characteristics that make this building a *good* example of the chateausque style. This can be shown by simply comparing the Property with other established examples of the chateausque style. Below are three examples of Los Angeles buildings determined to be of the same chateausque style:



Chateau Collie Apartments  
10337 Wilshire Blvd.  
Not an HCM



The Magic Castle  
7001 Franklin  
HCM / 1989



741 Burnside  
Not an HCM

These buildings identified above contain the primary elements of the chateausque style, i.e., three or more stories, with a steeply pitched, busy roofline, dormer windows, and masonry walls.<sup>1</sup> The nominated Property, however, lacks many of the most basic elements of chateausque style clearly seen in the examples shown above. Moreover, the Property as it exists today has been remodeled and modified over time, altering the design of the building's interior and exterior. Attached as **Exhibit A** is a short report prepared by architectural historian Anne-Marie Brooks which illustrates some of these alterations and provides additional context to the building's design and history. Additionally, a detailed photographic tour of the building will be provided to the Commission at its next hearing to show the nature of these changes, alterations and updates. Accordingly, this building is not properly considered architectural-type specimen of the chateausque style, and there is no evidence presented by applicant that it maintains any unique value for the study of a period, style, or method of construction.

- (ii) *The Property is not a notable work of a master builder, designer, or architect whose individual genius influenced her age.*

The nomination further fails to establish that this Property constitutes a *notable work* of a master architect. While the nomination does establish that architect Edith M. Northman designed this Property, the nomination does not attempt to establish that this Property constitutes a *notable* example of her work. As noted by the application, Edith Northman can be credited for designing hundreds of single family and multi-family residential buildings in Los Angeles and other cities, many of which are still intact and already preserved as either historic monuments or contributors to districts. For example, just last year a much better example of an almost identical Northman building was designated as a historic monument only a few miles away at 412 S. Catalina Street (the "Altman Apartments;" CHC-2015-4251-HCM). The Altman Apartments, which is also a 6 unit multi-family building, is a much better example of Northman's work as well as this style of eclectic revival architecture.

Other better examples of Northman's work can also be found within the immediate vicinity of the Property - many of which are within HPOZs - including 756 S. Ridgeley, 749 S. Burnside, 1000 S. Dunsmuir Avenue (also 6 units), 642 Hauser (also 6 units); 1024 S Dunsmuir Ave; 3801 1st Street; 1031 S Burnside Ave; 1044 S Cloverdale Ave.; and, 434 S. Detroit. Nearly all of these buildings listed above are better examples of Northman's work, and are in better condition than this Property. There are also dozens of *other* better examples of Northman's works already preserved as monuments and in historic districts throughout the Los Angeles region, including in the City of Beverly Hills, West Hollywood, and Fresno. This Property however, is not a notable work of Northman, nor would it be an appropriate HCM to showcase her significance and skill as an architect when there are obviously better examples of her work just next door.

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<sup>1</sup> Elements of the "chateausque" as described by the City of Los Angeles University Park HPOZ Preservation plan.

**CONCLUSION**

As detailed above, although this Property may be a contributor to an HPOZ, the applicant has failed to provide sufficient evidence or reason to justify why this Property, as opposed to the hundreds of other similar properties in the HPOZ, should be uniquely considered for HCM status. Rather, this Property is not an excellent example of chateausque architecture, and is not a notable work of architect Edith Northman, and thus it cannot meet the heightened evaluation criteria required for an HCM nomination. Accordingly, we urge the Commission to reject this nomination.<sup>2</sup>

Sincerely,



DANIEL F. FREEDMAN of  
Jeffer Mangels Butler & Mitchell LLP

Enclosures

CC: Julia Duncan, Planning Deputy, Council District 4  
Lambert Giessinger; Historic Preservation Architect, Office of Historic Resources  
Melissa Jones, Planning Assistant, Office of Historic Resources

---

<sup>2</sup> We further object to these proceedings on the basis that no formal notice was provided to the property owner of the application's submittal or of the upcoming hearing, and on the basis that we do not believe the application was deemed accepted by the Director of Planning within thirty (30) days of the nomination hearing as required under LAAC 22.170.10(e). We further reserve our rights to supplement this letter and/or to object to these proceedings and the Commission's consideration of this nomination on additional grounds not set forth in this letter.

# EXHIBIT A

744 South Ridgeley Drive: An Already Protected NON-HCM  
Anna Marie Brooks ~ May 24, 2017



744 S. Ridgeley Dr.

This historian was surprised when reading the Berger Winston Apartment Building nomination for Historic-Cultural Monument status to discover many facts overstated and others entirely missing. This was especially surprising because the nomination was by the Architectural Resources Group on behalf of James O' Sullivan, President of the Miracle Mile Residential Association.

This historian was unable to discover any historic photographs of the building, but was able to discover photographs of the Subject property on Google Street View as well as in the MLS from 2007, onward. The image of the building from 2007 are quite different:



Photograph courtesy of the MLS, 2007.



Photograph courtesy of the MLS, 2007.



Google, Street View, 2007.



Photograph courtesy of the MLS.

Note the following differences between 2007 and the present:

- No unattractive two-way railing exists at front/west entry.
- The front/west base of the building is softened by a curving hedge, which seques into the hedge leading from the public sideway to the property.
- The original widow's walk crowns the building.
- The over-all parcel is more fully landscaped.



Google Street View, May 2009.

Changes reflected in 2009 photograph:

- Removal of curving hedge at front/west base of building does no favors to the image of the building.
- Exposure of two-way steps with puny flowers in front of same at entry does nothing for image.
- Addition of plain black railing at entry steps detracts from the image.
- Black metal sliding gate in front of building is a detractor.
- Exposure of non-original metal security bars over octagonal window detracts from the image.



Google Street View, April 2011.

The following changes are noted:

- This historian finds it interesting that the Subject apartment building has been painted to match the color scheme of the new construction at the north, on the 700 Block of South Ridgeley Drive.
- A different driveway gate with its mechanism in front of the building is a detractor.
- The railing at the top, front of the two-way steps to the entry has been changed to a matching portion to the fence around the courtyard at the south, with contemporary portions along the steps.
- Most egregious, a tall, contemporary white metal railing wanders across a non-defined portion of the roof, behind the original, graceful metal window's walk.



Google Street View, May 2014.

One change is noted:

- Signage has appeared on the building and additional signage is on the driveway gate.



Google Street View, August 2014.

Only one change is noted:

- The landscape is underwatered.



Google Street View, December 2014.

This is the first shot in which the driveway apron could be shown, but it was in this condition since 2007, the first available photograph. Also, the driveway is deteriorating at many points.



Google Street View, March 2015.



Photograph courtesy of Loopnet, 2015.



744 S. Ridgeley Dr.  
Photograph courtesy of the MLS, Feb. 2015.



Courtyard, view east.  
Photograph courtesy of the MLS, Feb. 2015.



Courtyard, view northeast. Photograph courtesy of the MLS, Feb. 2015.

Remarks (from MLS listing 15-878977, 2/2015): World Class 6 Unit Apartment Community in the Miracle Mile / Exceptional Development Potential to Build Luxury Apartments on R4 Parcel with 8,538 SF of Land / Located Just One Block South of Wilshire Blvd. / Very Large Apartment Homes with Garage Parking / **Four of Six Units Have Been Fully Restored** [remodeled] **with New Kitchens & Baths, Decorative Millwork, Granite Countertops, etc.** / Building Upgrades include 400 amp Electrical Service, Copper Plumbing & Central Air-Conditioning [highlighting and brackets added by this historian].



Courtyard view, north.  
Photograph courtesy of the MLS, July 2015.



Garages at east of apartments, view southeast. Note: Condition of pavement.  
Photograph courtesy of the MLS, July 2015.



One of two garages, this one at south; Rear/east elevation; north elevation; driveway.  
Note: Condition of pavement.  
Photograph courtesy of the MLS, July 2015.



Garage at southeast of parcel, view southeast. Note: Condition of pavement.  
Photograph courtesy of the MLS, July 2015.

From MLS Listing #15-919437, July 2015: Attention Investors and Developers! 6 unit French Normandy style apartment building on large 8,574SF LAR4 lot for future development potential in highly desirable Miracle Mile location near LACMA, The Grove, and many upscale food and beverage establishments! Situated just south of Wilshire Blvd, this property consists of four large 1 +1 units, one single and one large 2+2 unit that may be ideal for owner user. All rents are well below market rents with great upside potential. 4 units were professionally restored and remodeled with wood floors, new custom kitchen with new appliances, new bathrooms and beautifully restored original crown moldings. Copper plumbing, electrical (400 amps) and HVAC has been recently updated. Brand new roofs on the 2 reinforced garage buildings with 6 parking spaces. Units are separately metered for gas and electric with individual new water heaters for each unit. Don't miss this opportunity. [Highlighting added by this historian].



Parcel, view northeast. Photograph courtesy of the MLS 2016.



744 S. Ridgeley Dr., view northeast. Photograph courtesy of the MLS 2016.



View into northeast entries from courtyard, northeast.  
Photograph courtesy of the MLS 2016.



View lengthwise of courtyard, view northwest.  
Photograph courtesy of the MLS 2016.



View to east and north elevations, view southwest, with egregious white railing at roof.  
Photograph courtesy of the MLS 2016.



View southeast to garage at east parcel line; north elevation of apartment building.  
Photograph courtesy of the MLS 2016.

The property has undergone many negative transformations during the past 10 years as set forth above, yet none of these were called out in the nomination. One of the original owner's properties, 745 S. Dunsmuir Avenue was demolished pre-2011, yet again there was no mention of that fact in the nomination. The other remaining parcel is located at the corner of 1<sup>st</sup> and Catalina streets with recorded address of 3801 West 1<sup>st</sup> Street and APN# 5518-019-010. That property was developed in 1937 along with this one and the owners actually lived at 3801 West 1<sup>st</sup> Street. The building is L-shaped and also contains 6 rental units. A 6-room garage is nestled in the open area of the el and is accessed from 1<sup>st</sup> Street. This parcel lacks any historic protection and was not cited by Survey LA. *It was in a CRA Survey, but that survey no longer offers protection as it was done in the wake of the 1994 earthquake to guide earthquake rehab, only.*

Recent and current photographs of 3801 1<sup>st</sup> Street follow:



3801 1<sup>st</sup> Street, from Google, at the corner of 1<sup>st</sup> Street and Catalina Street, view north.



104 N. Catalina Street, from Google, at the corner of 1<sup>st</sup> Street and Catalina Street, view west.



View north from W. 1<sup>st</sup> St. at corner of Catalina St.  
Photograph: Anna Marie Brooks, May 2017.



View west from Catalina Street.  
Photograph: Anna Marie Brooks, May 2017.



Corner view to northwest.  
Photograph: Anna Marie Brooks, May 2017.

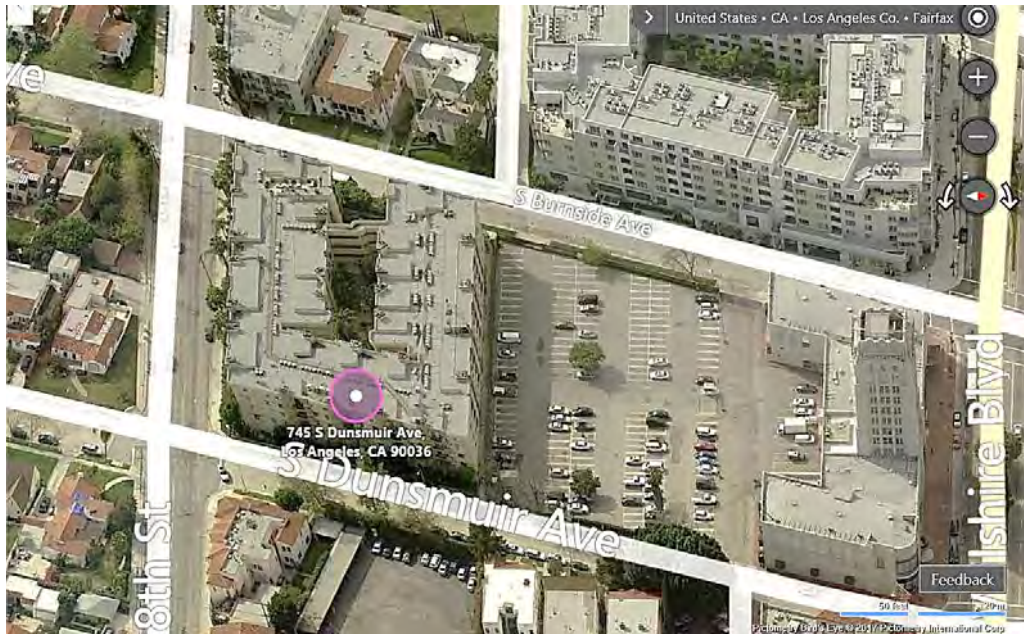


Driveway from 1<sup>st</sup> St. to garages at north of building, view north.  
Photograph: Anna Marie Brooks, May 2017.



Max Wienstein aka J. Berger Winston left his mark on the security window grate of his unit, 3801 W. St.

The third apartment building owned by Mrs. J. Berger Winston was located at 745 S. Dunsmuir Avenue. No photographs could be found of the cited Northman apartment building. It is indicated by a white dot with a purple circle about it and the address: 745 S. Dunsmuir Ave. The photograph taken from Google Maps aerial views illustrates the mega-development, covering several parcels, now tied, which replaced Edith Northman's building with nary a whimper from any concerned citizen.



Current 745 S. Dunsmuir Avenue.

744 S. Ridgely had a fire incident sometime before July 1, 1981, which resulted in 10% fire damage to the roof and exterior, according to the permit for rehabilitation. Since no press coverage of the fire incident could be found and since it was too small to remain in the Fire Department archive, one is left to speculate as to where the fire occurred. Because of the odd two-way steps to the entrance at the front/west façade, which this historian believes were an anomaly created post-fire, since this feature could be found on no other Northman Chateausque apartments examined by this historian. Therefore, this historian speculates that the location of the fire was the front/west unit.

Four of the six total units at 744 S. Ridgeley Drive have been remodeled including totally new bathrooms and totally new kitchens, replacing original rooms shown in the following photographs, compared to photographs of replacement rooms.



Original kitchen, with exception of appliances and floor covering.  
Photograph courtesy of the MLS 2007.



Remodeled kitchen. Photograph courtesy of the MLS 2015.



Original bathroom.  
Photograph courtesy of the MLS 2007.



Representative remodeled bathroom.  
Photograph courtesy of the MLS 2015.

This historian found important original features photographed by an MLS Real Estate Agent in 2007, and then re-photographed in 2017 after being remodeled, and there are additional features not included in this report. The interiors have been greatly compromised, thus making an argument for leaving the units just as contributors to the Miracle Mile HPOZ, where only the buildings' exterior and landscape are taken into account in designating a property a contributor. With the majority of the interiors remodeled, not even in period style, and the exterior west façade changed post-fire, declaring the Berger Winston Apartment Building an HCM would lessen the meaning of an HCM.

The Berger Winston Apartment Building Historic-Cultural Monument nomination sets forth two criteria for gaining monument status:

- Embodies the distinguishing characteristics of an architectural-type specimen, inherently valuable for study of a period, style, or method of construction.
- A notable work of a master builder, designer, or architect whose individual genius influenced his or her age.

A case can be made that there are more impressive specimens of the Chateausque style of architecture designed by the master architect Edith Northman. The first is existing HCM #1115 known as the Altman Apartments, located at 412 S. Catalina Street.



HCM 1115: The Altman Apartments, 412 South Catalina Street, view northeast.



HCM 1115: The Altman Apartments, 412 South Catalina Street, view east.



Normandie Mar Apartments. Fresno, CA.

A very fine example exists in the City of Fresno, CA, and it is a part of the Tower National Register District.



3801 West 1st Street, view north from 1<sup>st</sup> Street.

The apartment, a section of which is illustrated in the photograph above as well as on earlier pages, was originally owned and occupied by the original owner of 744 S. Ridgeley Drive, Mrs. J Berger Winston and husband. That building has the address of 3801 West 1<sup>st</sup> Street at Catalina Street.

The Subject building is a squarish form while the others are all true L-forms with a greater variety of well-integrated distinctive details which speak Chateausque with assurity.



1000 Dunsmuir Ave., view south from Olympic Blvd.



1000 S. Dunsmuir Avenue, view east.  
Photograph: Anna Marie Brooks, March 2017.



434 S. Detroit Street, from Google.

There is no debating the fact that Edith Northman is a master architect with an impressive body of work. However, for reasons set forth above, especially that four out of the six units have been *remodeled*, and a completely inappropriate contemporary white railing has been allowed to wander about sections of the rooftop taking focus away from the original black metal widow's walk thereon, this historian does not believe that the Subject building is any longer a *notable* work of a master architect.

Therefore, this historian believes that the Subject building should be allowed to be content as a contributor to the newly approved Miracle Mile HPOZ and save designation as an HCM for other, more deserving buildings designed by master architect Edith Northman.



Draft

# 744-748½ SOUTH RIDGELEY DRIVE

## Historical Resources Assessment

Prepared for  
Ridgeley 744 LLC  
28150 Driver Ave.  
Agoura Hills, California 91301

June 2017





Draft

# 744-748½ SOUTH RIDGELEY DRIVE

## Historical Resources Assessment

Prepared for  
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28150 Driver Ave.  
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# 744-748½ SOUTH RIDGELEY DRIVE

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## Historic Resources Assessment

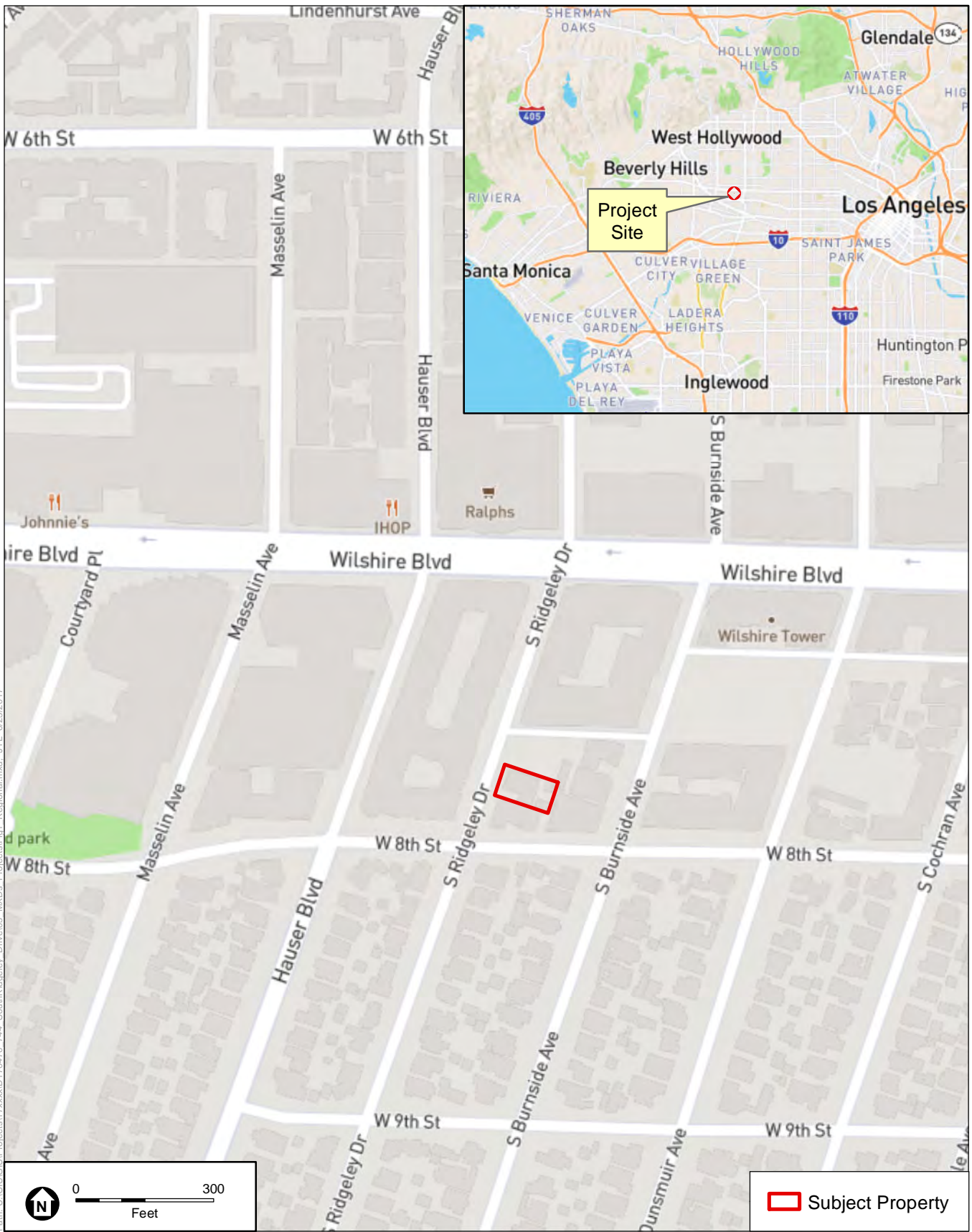
### I. Introduction

#### A. Executive Summary

The purpose of this Historic Resources Assessment Report (Report) is to identify and evaluate potential historical resources located at 744-748½ South Ridgeley Drive, Los Angeles, California on assessor parcel number (APN) 5089-005-010 (subject property). The location of the subject property is shown in **Figure 1, Regional and Vicinity Map**. This Report, completed by Environmental Science Associates (ESA), was prepared at the request of the property owner in response to a Historic Cultural Monument application filed by James O’Sullivan and prepared by Architectural Resources Group (ARG) for the subject property on March 8, 2017. The property owner, Ridgeley 744 LLC, requested that ESA conduct an intensive level evaluation of the subject property and prepare a comprehensive evaluation report to determine whether the property rises to the threshold of significance for designation as a Historic Cultural Monument. ESA also assessed the existing buildings and landscapes on the subject property and neighboring parcels for eligibility as historical resources at the federal, state, and local levels of significance to comply with the California Environmental Quality Act (CEQA) for the proposed rehabilitation project which would follow the City’s Historic Preservation Overlay Zone (HPOZ) guidelines and the Secretary of the Interior’s Standards for Rehabilitation (Standards) by retaining the existing improvements and adding additional units at the rear and would retain the existing appearance of the property from the public right of way. The Report follows the City’s requirements for Historical Resources Assessment (HRA) Reports and includes a discussion of the survey methods used, a brief historic context of the property and surrounding area, and the identification and evaluation of the subject property.

The subject property at 744-748½ South Ridgeley Drive is presently improved with a Chateausque style courtyard apartment (Courtyard Apartment) constructed in 1937, as shown in **Figure 2, Aerial Photograph of Subject Property and Vicinity**. The Courtyard Apartment comprises a two-story building arrayed in an “L”: the primary elevation is oriented parallel to the street and accommodates a setback at the south to create a narrow landscaped court and walkway. There are two garages in the rear, also constructed in 1937. The Courtyard Apartment contains six units and encompasses the addresses of 744, 744½, 746, 746½, 748, and 748 ½. On the interior, two units are intact; four units are altered.

**Figure 1      Regional and Vicinity Map**



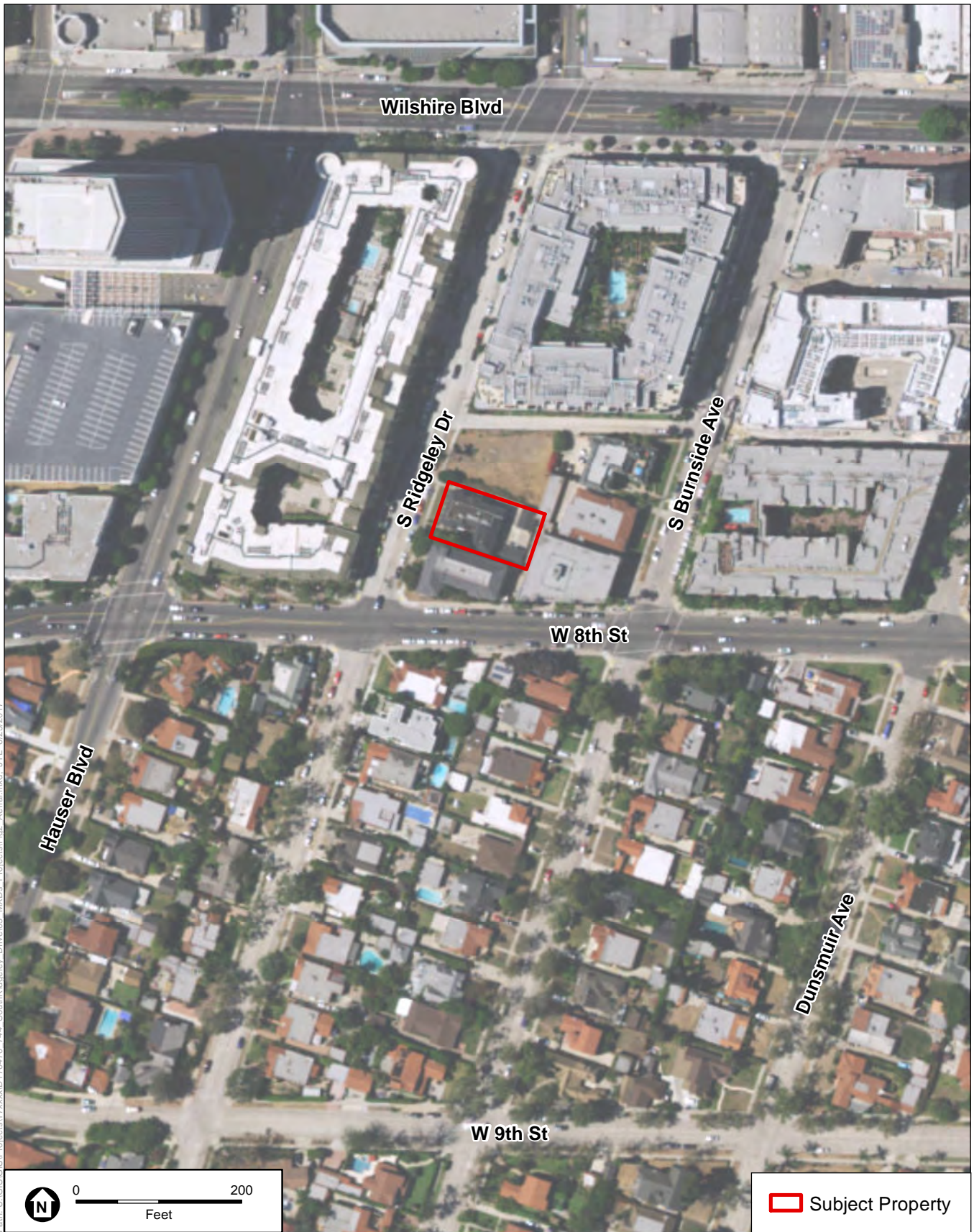
SOURCE: Open Street Map, 2016.

744-748-1/2 South Ridgeley Drive

**Figure 1**  
Regional Location and Vicinity Map



**Figure 2      Aerial Photograph of Subject Property and Vicinity**



Path: U:\GIS\GIS\Projects\7xxxx\0170470\_744\_SouthRidgeley\_Drive\03\_MXDs\_Projects\Fig2\_Aerial.mxd\_JYL\_6/23/2017

SOURCE: ESRI.

744-748-1/2 South Ridgeley Drive

**Figure 2**  
Aerial Photograph



744-748½ South Ridgeley Drive was previously identified as a Contributor to the proposed Miracle Mile HPOZ in the September 4, 2015 survey report and assigned the corresponding California Historical Resource (CHR) Status Code of 5D3. The subject property is not currently listed in the National Register, California Register, or included in the HRI for Los Angeles County. It has been locally designated as a Contributing element to the Miracle Mile HPOZ, which came into effect May 1, 2017. ESA concurs with the findings of the Miracle Mile HPOZ survey and notes that the 2015 survey identified 744-748½ South Ridgeley Drive's property type as an apartment house; ESA has further identified the property type as a Period Revival Chateausque-style "L" shaped Courtyard Apartment, as discussed further in this report.

The subject property was individually evaluated by ESA's qualified architectural historians for its significance in association with the following applicable SurveyLA historical and architectural themes: Multi-Family Residential Development: Courtyard Apartment (1920-1939) including information on the Wilshire Community Plan Area (CPA), Miracle Mile neighborhood, and Tract 4464; and Period Revival Styles: Chateausque (1919-1940). The subject property was also evaluated for eligibility as a notable work of a master architect in association with the work of architect Edith M. Northman, particularly her design of multi-family residential projects and the role of the Courtyard Apartment in her oeuvre. Based upon the totality of this evidence, ESA found that the property fails to meet the eligibility requirements for individual listing at the national, state or local level, and continues to be eligible as a contributor to the Miracle Mile HPOZ. With regard to the proposed project, ESA recommends the subject property be rehabilitated in accordance with HPOZ guidelines and the Secretary of the Interior's Standards by preserving the existing character-defining setback and footprint, massing and roof shape, garden court, front elevations and associated architectural detailing. Additional units should be constructed to the rear in a compatible manner that would retain the existing appearance of the property from the public right of way.

When evaluated upon its own merits, the subject property is typical of the Period Revival multi-family buildings built in the automobile tracts of Mid-Wilshire designed between the 1920s and the 1940s. While it illustrates the general development patterns of the larger Wilshire District area (Criteria A/1/1) and indicates that the boundary of the original Tract continued across Eighth Street toward Wilshire, the strength of its example is diluted by the loss of buildings and lot size from the same period and by the jarring contrast introduced by overwhelming new development.

The subject property is not associated with the productive lives of historic personages or historic events (Criteria B/2/2). The community of middle-class working people residing at the subject property were part of the predominant social fabric and did not lead or influence events or patterns of history. The Courtyard Apartment appears to have accommodated long term residents with service, sales, and administrative jobs. There does not appear to be a pattern of ethnic, religious, or employment identity associated with the tenants.

The subject property is not a distinguished example of a Courtyard Apartment in the Chateausque Style (Criteria C/3/3). While it exhibits the character defining features of its typology and aesthetic, it is a modest and common example of its type, particularly in the Mid-Wilshire area where multi-family residences in Period Revival styles are concentrated with many

both large and small examples. The design falters due to the overly-ambitious, inharmonious application of singular decorative features on such a small building. In addition, the subject property has undergone numerous minor alterations that detract from the original expression of the style and design intent. Other better designed and less compromised examples of the Chateausque style have been illustrated in this report.

The Courtyard Apartment on the subject property is not a notable example of work by architect Edith M. Northman (Criteria C/3/4). Northman was an important Southern California architect with masterful command of period styles which she applied with restraint and balance. However, the subject property illustrates that, like any architect, she had projects that were less successful than others. The application of the Chateausque style at the subject property is less than satisfying, in part because the individual decorative elements of the style are applied as if from a checklist without being well integrated. While the building is pleasant, it is too small to absorb the variety of detail and complexity of program applied to it. ESA researched and prepared a biography of architect Edith M. Northman along with a comprehensive list of her works. Among them we have provided examples in this report of other similar Northman apartment buildings in the Chateausque style. These comparisons illustrate the range of quality possible, even for an architect of Northman's stature, and demonstrate why the subject property is a lesser example of her work. The signature characteristics of her usually masterful work are balance, unity and knowledgeable application of architectural language and ornament in a harmonious design. The subject property fails to showcase her mastery of style and her ability to balance architectural detail within the scale of the building at hand (subject property). When compared with her far more successful Chateausque Apartment at 3801 West First Street, built during the same year for the same client, it is easy to see how the challenge of creating a similar design at a smaller scale faltered at the subject property, appearing collaged and cramped. Northman's design for the subject property does not pioneer a better approach to design of the Courtyard Apartment type or a more perfect rendering of the Chateausque style.

The subject property retains some but not all of the SurveyLA requirements for integrity within the themes of Multi-Family Residential Development: Courtyard Apartment (1920-1939) and Period Revival Styles: Chateausque (1919-1940). It retains integrity of location, feeling and association. Its integrity of design, materials and workmanship is eroded as described below. It does not retain integrity of setting. Because the subject property does not fully meet the SurveyLA integrity aspects, it therefore does not meet the minimum standard of integrity required for individual designation by the City of Los Angeles.

ESA finds that the subject property fails to meet the eligibility requirements for individual listing as a City Historic Cultural Monument at the local level. ESA concurs with the findings of the Miracle Mile HPOZ survey and recommends the Courtyard Apartment at 744-748½ South Ridgeley Drive retain its assigned CHR Status Code of 5D3, and its local designation as a Contributing element to the Miracle Mile HPOZ.

## B. Research and Field Methodology

This Report was conducted by ESA architectural historians, including Margarita Jerabek, Ph.D., Director of Historical Resources, Stephanie C. Hodal, Associate Architectural Historian,

Candidate M.H.C., and Max N. Loder, M.A., Associate Architectural Historian, all of whom meet and exceed the *Secretary of the Interior's Professional Qualification Standards* in history and architectural history. Professional qualifications are provided in Appendix A.

The historical resources evaluation involved a review of the National Register and its annual updates, the California Register, the Statewide Historical Resources Inventory (HRI) database maintained by the State Office of Historic Preservation (OHP), the California Historical Resources Information System (CHRIS), and the City of Los Angeles' Historic Cultural Monuments register, and SurveyLA to identify any previously recorded properties within or near the subject property. An intensive pedestrian survey was also undertaken to document the existing conditions of the subject property and vicinity. In addition, the following tasks were performed for the study:

- Conducted field inspections of the subject property, and utilized the survey methodology of the State OHP.
- Photographed the subject property and associated landscape features, and examined other properties in the vicinity that exhibited potential architectural and/or historical associations.
- Conducted site-specific research on the property utilizing Los Angeles Department of Building and Safety (LADBS) building permits, Los Angeles County Assessor records, Sanborn Fire Insurance Maps (Sanborn Maps), City directories, historical photographs, California Index, Avery Index, Online Archive of California, University of Southern California (USC) Digital Collections, historical *Los Angeles Times*, United States (U.S.) Census records, and other published sources.
- Conducted research at the City's Building and Safety and Community Development departments as well as the Los Angeles County Office of the Assessor (Assessor).
- Reviewed and analyzed ordinances, statutes, regulations, bulletins, and technical materials relating to federal, state, and local historic preservation, designation assessment processes, and related programs.
- Evaluated potential historic resources based upon criteria used by the National Register, California Register, and City of Los Angeles Historic Cultural Monument Ordinance.

## II. Regulatory Framework

Historical resources fall within the jurisdiction of the federal, state, and local designation programs. Federal laws provide the framework for the identification, and in certain instances, protection of historical resources. Additionally, state and local jurisdictions play active roles in the identification, documentation, and protection of such resources within their communities. The National Historic Preservation Act (NHPA) of 1966, as amended and the California Public Resources Code (PRC), Section 5024.1, are the primary federal and state laws and regulations governing the evaluation and significance of historical resources of national, state, regional, and local importance. Descriptions of these relevant laws and regulations are presented below.

## A. Federal Eligibility Criteria and Integrity Aspects

### 1. National Register of Historic Places

The National Register was established by the NHPA as “an authoritative guide to be used by federal, state, and local governments, private groups and citizens to identify the Nation’s cultural resources and to indicate what properties should be considered for protection from destruction or impairment.”<sup>1</sup> The National Register recognizes properties that are significant at the national, state, and/or local levels.

To be eligible for listing in the National Register, a resource must be significant in American history, architecture, archaeology, engineering, or culture. Four criteria for evaluation have been established to determine the significance of a resource:

- A. Associated with events that have made a significant contribution to the broad patterns of our history;
- B. Associated with the lives of persons significant in our past;
- C. Embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction;
- D. Yields, or may be likely to yield, information important in prehistory or history.<sup>2</sup>

Districts, sites, buildings, structures, and objects that are 50 years in age must meet one or more of the above criteria *and* retain integrity (that is, convey their significance) to be eligible for listing.

Under the National Register, a property can be significant not only for the way it was originally constructed, but also for the way it was adapted at a later period, or for the way it illustrates changing tastes, attitudes, and uses over a period of time.<sup>3</sup>

Within the concept of integrity, the National Register recognizes seven aspects or qualities that, in various combinations, define integrity: Location, Design, Setting, Materials, Workmanship, Feeling, and Association:

*Location* is the place where the historic property was constructed or the place where the historic event occurred. The relationship between the property and its location is often important to understanding why the property was created or why something happened. The actual location of a historic property, complemented by its setting, is particularly important in recapturing the sense of historic events and persons. Except in rare cases, the relationship between a property and its historic associations is destroyed if the property is moved.

<sup>1</sup> 36 CFR Section 60.2.

<sup>2</sup> “Guidelines for Completing National Register Forms,” in National Register Bulletin 16, U.S. Department of Interior, National Park Service, September 30, 1986. This bulletin contains technical information on comprehensive planning, survey of cultural resources and registration in the NRHP.

<sup>3</sup> National Register Bulletin 15, p. 19.

*Design* is the combination of elements that create the form, plan, space, structure, and style of a property. It results from conscious decisions made during the original conception and planning of a property (or its significant alteration) and applies to activities as diverse as community planning, engineering, architecture, and landscape architecture. Design includes such elements as organization of space, proportion, scale, technology, ornamentation, and materials. A property's design reflects historic functions and technologies as well as aesthetics. It includes such considerations as the structural system; massing; arrangement of spaces; pattern of fenestration; textures and colors of surface materials; type, amount and style of ornamental detailing; and arrangement and type of plantings in a designed landscape.

*Setting* is the physical environment of a historic property. Whereas location refers to the specific place where a property was built or an event occurred, setting refers to the *character* of the place in which the property played its historic role. It involves *how*, not just where, the property is situated and its relationship to surrounding features and open space.

*Workmanship* is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory. It is the evidence of artisans' labor and skill in constructing or altering a building, structure, object, or site. Workmanship can apply to the property as a whole or to its individual components.

*Materials* are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.

The choice and combination of materials reveal the preferences of those who created the property and indicate the availability of particular types of materials and technologies. A property must retain key exterior materials dating from the period of its historic significance.

*Feeling* is a property's expression of the aesthetic or historic sense of a particular period of time. It results from the presence of physical features that, taken together, convey the property's historic character.

*Association* is the direct link between an important historic event or person and a historic property. A property retains association if it *is* the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer.<sup>4</sup>

To retain historic integrity, a property will always possess most of the aspects and depending upon its significance, retention of specific aspects of integrity may be paramount for a property to convey its significance.<sup>5</sup> Determining which of these aspects are most important to a particular

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<sup>4</sup> National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation, 44-45, <http://www.nps.gov/nr/publications/bulletins/pdfs/nrb15.pdf>, accessed July 7, 2013.

<sup>5</sup> The National Register defines a property as an "area of land containing a single historic resource or a group of resources, and constituting a single entry in the National Register of Historic Places." A "Historic Property" is defined as "any prehistoric or historic district, site, building, structure, or object at the time it attained historic significance." Glossary of National Register Terms, [http://www.nps.gov/nr/publications/bulletins/nrb16a/nrb16a\\_appendix\\_IV.htm](http://www.nps.gov/nr/publications/bulletins/nrb16a/nrb16a_appendix_IV.htm), accessed June 1, 2013.

property requires knowing why, where and when a property is significant.<sup>6</sup> For properties that are considered significant under National Register Criteria A and B, *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation* (“*National Register Bulletin 15*”) explains, “a property that is significant for its historic association is eligible if it retains the essential physical features that made up its character or appearance during the period of its association with the important event, historical pattern, or person(s).”<sup>7</sup> In assessing the integrity of properties that are considered significant under National Register Criterion C, *National Register Bulletin 15* states, “a property important for illustrating a particular architectural style or construction technique must retain most of the physical features that constitute that style or technique.”<sup>8</sup>

In evaluating Works of a Master, *National Register Bulletin 15* states,

A master is a figure of generally recognized greatness in a field, a known craftsman of consummate skill, or an anonymous craftsman whose work is distinguishable from others by its characteristic style and quality. The property must express a particular phase in the development of the master's career, an aspect of his or her work, or a particular idea or theme in his or her craft.

A property is not eligible as the work of a master, however, simply because it was designed by a prominent architect. For example, not every building designed by Frank Lloyd Wright is eligible under this portion of Criterion C, although it might meet other portions of the Criterion, for instance as a representative of the Prairie style.<sup>9</sup>

## B. State Register and Eligibility Criteria

### 1. California Register of Historical Resources

The OHP, as an office of the California Department of Parks and Recreation (DPR), implements the policies of the NHPA on a statewide level.

The OHP also carries out the duties as set forth in the PRC and maintains the HRI and the California Register. The State Historic Preservation Officer (SHPO) is an appointed official who implements historic preservation programs within the state’s jurisdictions.

<sup>6</sup> National Register Bulletin 15, p. 44.

<sup>7</sup> “A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer. Like feeling, association requires the presence of physical features that convey a property’s historic character. Because feeling and association depend on individual perceptions, their retention alone is never sufficient to support eligibility of a property for the National Register.” Ibid, p. 46.

<sup>8</sup> “A property that has lost some historic materials or details can be eligible if it retains the majority of the features that illustrate its style in terms of the massing, spatial relationships, proportion, pattern of windows and doors, texture of materials, and ornamentation. The property is not eligible, however, if it retains some basic features conveying massing but has lost the majority of the features that once characterized its style.” Ibid.

<sup>9</sup> [https://www.nps.gov/nr/publications/bulletins/nrb15/nrb15\\_6.htm](https://www.nps.gov/nr/publications/bulletins/nrb15/nrb15_6.htm) (accessed 6.26.2017).

Also implemented at the state level, CEQA requires projects to identify any substantial adverse impacts which may affect the significance of identified historical resources.

The California Register was created by Assembly Bill 2881 which was signed into law on September 27, 1992. The California Register is “an authoritative listing and guide to be used by state and local agencies, private groups, and citizens in identifying the existing historical resources of the state and to indicate which resources deserve to be protected, to the extent prudent and feasible, from substantial adverse change.”<sup>10</sup> The criteria for eligibility for the California Register are based upon National Register criteria.<sup>11</sup>

The California Register consists of resources that are listed automatically and those that must be nominated through an application and public hearing process. The California Register automatically includes the following:

- California properties listed on the National Register and those formally Determined Eligible for the National Register;<sup>12</sup>
- California Registered Historical Landmarks from No. 770 onward;
- Those California Points of Historical Interest (“PHI”) that have been evaluated by the OHP and have been recommended to the State Historical Commission for inclusion on the California Register.<sup>13</sup>

Other resources which may be nominated to the California Register include:

- Individual historical resources;
- Historical resources contributing to historic districts;
- Historical resources identified as significant in historical resources surveys with significance ratings of Category 1 through 5;
- Historical resources designated or listed as local landmarks, or designated under any local ordinance, such as an HPOZ.<sup>14</sup>

To be eligible for the California Register, a historical resource must be significant at the local, state, or national level, under one or more of the following four criteria:

1. Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;
2. Is associated with the lives of persons important in our past;
3. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or

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<sup>10</sup> PRC Section 5024.1(a).

<sup>11</sup> PRC Section 5024.1(b).

<sup>12</sup> PRC Section 5024.1(d).

<sup>13</sup> Ibid.

<sup>14</sup> PRC Section 5024.1(e)

4. Has yielded, or may be likely to yield, information important in prehistory or history.

Additionally, a historical resource eligible for listing in the California Register must meet one or more of the criteria of significance described above and retain enough of its historic character or appearance to be recognizable as a historical resource and to convey the reasons for its significance. Historical resources that have been rehabilitated or restored may be evaluated for listing. Integrity is evaluated with regard to the retention of seven aspects of integrity similar to the National Register (location, design, setting, materials, workmanship, feeling, and association). Also like the National Register, it must also be judged with reference to the particular criteria under which a resource is proposed for eligibility. Alterations over time to a resource or historic changes in its use may themselves have historical, cultural, or architectural significance. It is possible that historical resources may not retain sufficient integrity to meet the criteria for listing in the National Register, but they may still be eligible for listing in the California Register. A resource that has lost its historic character or appearance may still have sufficient integrity for the California Register if it maintains the potential to yield significant scientific or historical information or specific data.<sup>15</sup>

## 2. California Historical Resources Status Codes

The California State OHP developed National Register Status Codes in 1975 as a standardized system for classifying historical resources in the state's Historic Resources Inventory. In 2003 these codes were revised to reflect the application of California Register and local criteria and the name was changed to California Historical Resource ("CHR") Status Codes. CHR Status codes consist of three digits and are assigned to properties or historic districts through a survey process and as a result of varying regulatory processes. The first digit ranges from 1-7. Code categories 1-5 reflect properties determined eligible for designation according to the criteria established for the National Register, California Register and local government criteria for significance. Code categories 6-7 generally identify properties that do not meet established criteria for significance, have not been evaluated, or need to be reevaluated. The code categories are as follows:

1. Properties listed in the National Register or the California Register;
2. Properties determined eligible for listing in the National Register or the California Register;
3. Appears eligible for National Register or the California Register through survey evaluation;
4. Appears eligible for the National Register or the California Register through other evaluation;
5. Properties recognized as historically significant by local government;
6. Not eligible for listing or designation as specified; and
7. Not evaluated for the National Register or California Register or needs re-evaluation.

The second digit of the CHR Status Code is a letter code indicating whether the resource is separately eligible (S), eligible as part of a district (D), or both (B). The third digit is a number that is used to further specify significance and refine the relationship of the property to the National Register and/or California Register. Under this evaluation system, categories 1 through 4

<sup>15</sup> Codified in California Code of Regulations, Title 14, Chapter 11.5, Section 4852(c) which can be accessed on the internet at <http://ohp.parks.ca.gov>

pertain to various levels of National Register and California Register eligibility. Locally eligible resources are given a rating code level 5. Properties found ineligible for listing in the National Register, California Register, or for designation under a local ordinance are given an evaluation Status Code of 6. Properties given an evaluation Status Code of 6Z are “found ineligible for the National Register, California Register, or Local designation through survey evaluation.”<sup>16</sup>

## C. Local Cultural Heritage Ordinance and Eligibility Criteria

### 1. City of Los Angeles

The City enacted a Cultural Heritage Ordinance in April 1962 which defines Historic-Cultural Monuments. According to the Cultural Heritage Ordinance, Historic-Cultural Monuments are sites, buildings, or structures of particular historic or cultural significance to the City in which the broad cultural, political, or social history of the nation, state, or City is reflected or exemplified, including sites and buildings associated with important personages or which embody certain distinguishing architectural characteristics and are associated with a notable architect. These Historic-Cultural Monuments are regulated by the City’s Cultural Heritage Commission and the City Council.

### 2. Los Angeles Cultural Heritage Ordinance Eligibility Criteria

The Los Angeles City Council adopted the Cultural Heritage Ordinance in 1967 and amended it in 2007 (Los Angeles Administrative Code, Chapter 9, Division 22, Article 1, Section 22.171.7). The Cultural Heritage Ordinance establishes criteria for designating a local historical resource as an HCM. An HCM is any site (including significant trees or other plant life located on the site), building or structure of particular historic or cultural significance to the City, including historic structures or sites:

- In which the broad cultural, economic or social history of the nation, State or community is reflected or exemplified; or
- Which is identified with historic personages or with important events in the main currents of national, State or local history; or
- Which embodies the distinguishing characteristics of an architectural type specimen, inherently valuable for a study of a period, style or method of construction; or
- Which is a notable work of a master builder, designer, or architect whose individual genius influenced his or her age.

### 3. Los Angeles Historic Preservation Overlay Zone (HPOZ) Criteria for Designation

City of Los Angeles Ordinance Number 175891, found in Section 12.20.3 of the Los Angeles Municipal Code, describes the procedures for creation of new HPOZs, the powers and duties of HPOZ Boards, and the review processes for projects within HPOZs. The Ordinance was amended

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<sup>16</sup> Ibid.

by the Los Angeles City Council on March 19, 2004, and became effective on May 12, 2004.<sup>17</sup> An HPOZ is an area of the City which is designated as containing structures, landscaping, natural features or sites having historic, architectural, cultural or aesthetic significance. Before an HPOZ may move into the formal adoption process, a historic resources survey of the proposed district must be completed. The survey studies the historic and architectural significance of the neighborhood and identifies structures and features as either “contributing” or “non-contributing” to the district. A contributing structure is a building that was constructed during the predominant period of development in the neighborhood and that has retained most of its historic features. A non-contributing structure is one that was either constructed after the major period of the neighborhood’s development, or has been so significantly altered that it no longer conveys its historic character.<sup>18</sup>

According to Section 12.20.3 of the City of Los Angeles Municipal Code, features designated as contributing shall meet one or more of the following criteria:

- Adds to the Historic architectural qualities or Historic associations for which a property is significant because it was present during the period of significance, and possesses Historic integrity reflecting its character at that time; or
- Owing to its unique location or singular physical characteristics, represents an established feature of the neighborhood, community or city; or
- Retaining the building, structure, Landscaping, or Natural Feature, would contribute to the preservation and protection of the resource and its environment.<sup>19</sup>

The subject property is a contributing structure to the Miracle Mile HPOZ, established May 1, 2017. This is the result of the historic resources survey conducted by Architectural Resources Group (ARG) in 2015, which found the subject property to be a contributing structure because it was constructed during the predominant period of development in the neighborhood and it has retained most of its historic features.

## D. SurveyLA Eligibility Standards

SurveyLA is a citywide survey that identifies and documents significant historic resources representing important themes in the City’s history. The survey and resource evaluations are completed by consultant teams under contract to the City of Los Angeles and the supervision of the OHR. The program is managed by the OHR, which maintains a website for SurveyLA.<sup>20</sup> The field surveys cover the period from approximately 1850 to 1980 and include individual resources such as buildings, structures, objects, natural features and cultural landscapes as well as areas and districts (archaeological resources will be included in a future survey phase). Significant

<sup>17</sup> “Citywide HPOZ Ordinance,” City of Los Angeles Office of Historic Resources, <http://www.preservation.lacity.org/hpoz/citywide-hpoz-ordinance>, accessed July 24, 2013.

<sup>18</sup> “How to Establish an HPOZ,” City of Los Angeles Office of Historic Resources, <http://www.preservation.lacity.org/hpoz/how-establish-hpoz>, accessed July 24, 2013.

<sup>19</sup> “Citywide HPOZ Ordinance,” City of Los Angeles Historic Resources, <http://www.preservation.lacity.org/hpoz/citywide-hpoz-ordinance>, accessed July 24, 2013, pgs. 11-12.

<sup>20</sup> SurveyLA: Los Angeles Historic Resources Survey, <http://preservation.lacity.org/survey>, accessed January 5, 2017.

resources reflect important themes in the City's growth and development in various areas including architecture, city planning, social history, ethnic heritage, politics, industry, transportation, commerce, entertainment, and others. Field surveys started in 2010 and are completed in three phases by Community Plan Area (CPA). All tools and methods developed for SurveyLA meet state and federal professional standards for survey work.

Los Angeles' citywide Historic Context Statement (HCS) is designed for use by SurveyLA field surveyors and by all agencies, organizations, and professionals completing historic resources surveys in the city of Los Angeles. The context statement is organized using the Multiple Property Documentation (MPD) format developed by the National Park Service (NPS) for use in nominating properties related by theme to the National Register. This format provides a consistent framework for evaluating historic resources. It has been adapted for local use to evaluate the eligibility of properties for city, state, and federal designation programs and to facilitate environmental review processes.<sup>21</sup> The HCS uses Eligibility Standards to identify the character defining, associative features, and integrity aspects a property should retain to be a significant example of a type within a defined theme. Eligibility Standards also indicate the general geographic location, area of significance, applicable criteria, and period of significance associated with that type. These Eligibility Standards are guidelines based on knowledge of known significant examples of property types; properties do not need to meet all of them in order to be eligible. Moreover, there are many variables to consider in assessing integrity depending on why a resource is significant.

### **III. Environmental Setting**

#### **A. Historic Context**

The historic context developed below presents the background necessary to evaluate the historical and architectural significance of the subject property, including the history of its construction and alterations, as well as the surrounding neighborhood's development. The subject property was evaluated under the following historical and architectural themes: Multi-Family Residential Development: Courtyard Apartment (1920-1939) including information on the Wilshire Community Plan Area (CPA), Miracle Mile neighborhood, and Tract 4464; and Period Revival Styles: Chateausque (1919-1940). Also presented below are the construction and occupancy histories of the Courtyard Apartment at 744-748½ South Ridgeley Drive including information on architect Edith M. Northman who is credited as the designer for the Courtyard Apartment. The period of significance associated with 744-748½ South Ridgeley Drive is 1937, the original construction date of the Courtyard Apartment and its associated garages.

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<sup>21</sup> Guide for Professionals Using the Historic Context Statement for Property Evaluations, [http://preservation.lacity.org/sites/default/files/Guide%20for%20Professionals%20Using%20the%20Historic%20Context%20Statement\\_Jan%202016\\_0.pdf](http://preservation.lacity.org/sites/default/files/Guide%20for%20Professionals%20Using%20the%20Historic%20Context%20Statement_Jan%202016_0.pdf), accessed January 5, 2017.

## 1. Multi-Family Residential Development: Courtyard Apartment (1920-1939)

### a. *Wilshire Community Plan Area and Miracle Mile Neighborhood*

The Wilshire CPA is located in the central part of Los Angeles, west of Downtown. It is bounded generally by Rosewood Avenue and Melrose Avenue to the north; 18th Street, Venice Boulevard and Pico Boulevard to the south; Hoover Street to the east; and the city's irregular western boundary to the west. The Wilshire CPA comprises multiple neighborhoods with their own distinct identities, including the areas commonly known as (roughly from east to west) Wilshire Center, Koreatown, Windsor Square, Hancock Park, Larchmont, Mid-Wilshire, Mid-City, Miracle Mile, Beverly Grove, Fairfax, Carthay, and Pico-Robertson. Each contains a diverse mixture of architectural styles and property types.<sup>22</sup>

The 700 block of South Ridgeley Drive is located in the Miracle Mile neighborhood of the Wilshire CPA. Like the rest of the western portion of the CPA, much of what would become Miracle Mile was agricultural prior to the 1920s and 1930s. The expansion of streetcar lines and the subsequent rise of the individually-owned automobile, combined with Los Angeles' booming population, made the areas between downtown and beach cities such as Santa Monica attractive for growth.<sup>23</sup> In the early 1920s, developer A.W. Ross began purchasing land along Wilshire Boulevard between La Brea and Fairfax Avenues. His plan was to create a grand commercial district to pull shoppers from the west and east. Residential development south of Wilshire soon followed.

Between 1920 and 1930, block upon block of automobile suburbs emerged from Mid-Wilshire to Beverly Fairfax. Much of this development filled in zones around the large grand houses with small single- and multi-family neighborhoods, including courtyard and garden apartments, large multi-story apartment houses, and abundant two-, four-, six-, and eight-plex units. The open agricultural land dotted with oil derricks that once characterized the entire area between Los Angeles and Santa Monica would soon become densely developed residential and commercial districts. The vast western expansion that occurred in the 1920s and 1930s is shown in the map below in the mustard-colored zone. The area around South Ridgeley Drive is outlined for reference, and depicts the chronological development of the immediate setting that was initially improved in the 1920s-1930s and experienced subsequent development in the 1940s-1960s. **(Figure 3).**

<sup>22</sup> Architectural Resources Group (ARG). SurveyLA Los Angeles Historic Resources Survey, Historic Resources Survey Report, Wilshire Community Plan Area. Publication. Los Angeles: Department of City Planning, Office of Historic Resources, 2015, 5.

<sup>23</sup> ARG. Miracle Mile Historic Resources Survey Report. Publication. Los Angeles: Department of City Planning, Office of Historic Resources, 2015, 13.



SOURCE: SurveyLA Historic Resources Survey Report: Wilshire Community Plan Area

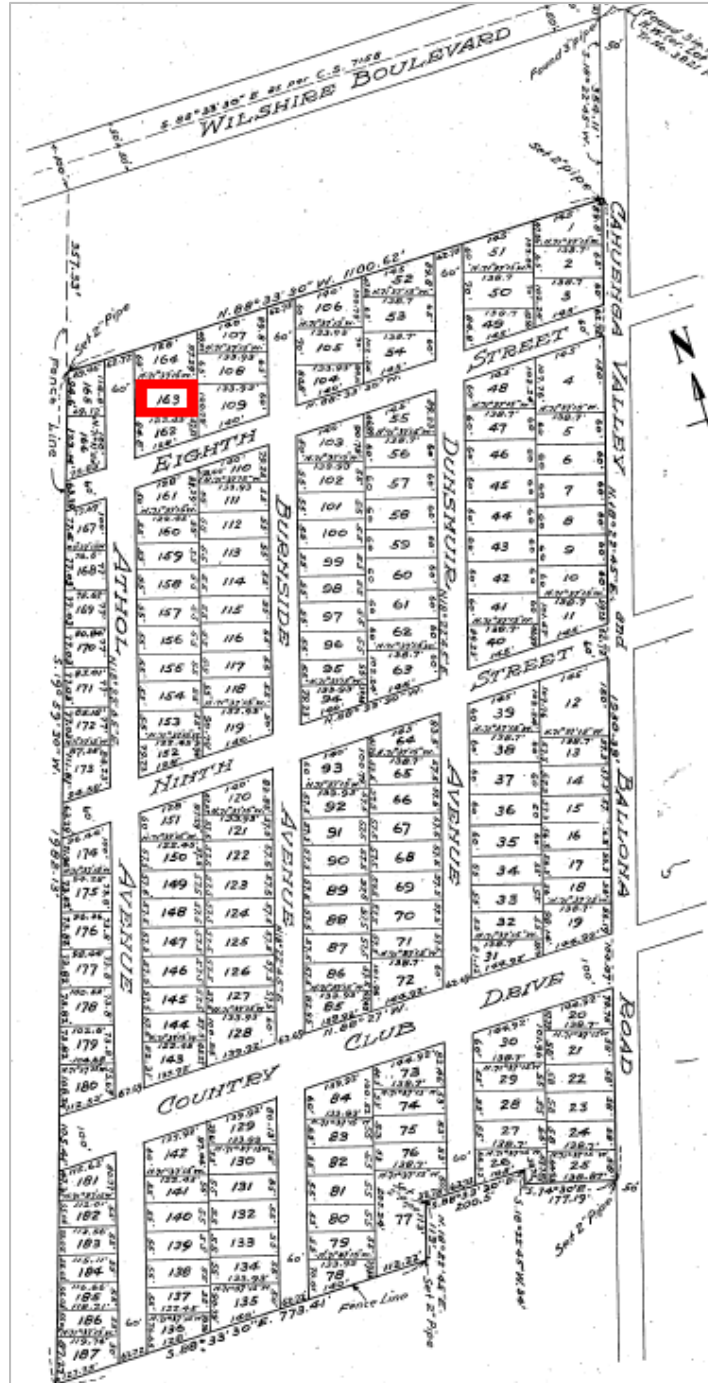
744-748 1/2 South Ridgeley Drive.170470.00

**Figure 3**  
Wilshire CPA Development Chronology with area around South Ridgeley Drive circled in red

**b. Tract No. 4464**

The subject property is situated within Lot 163, Tract No. 4464 (Tract), “being a subdivision of a portion of the southerly 50 acres of northerly 60 acres of the 362.62 acre tract allotted to Antonio Urquidez in the partition of the Rancho Las Cienegas as per map thereof in district court case no. 1161” recorded in October 1921 by Title Guarantee and Trust Co. and Commercial National Bank.<sup>24</sup> The Tract laid out 165 rectangular lots measuring between 53 feet and 100 feet in width and approximately 69 feet to 145 feet in depth between the properties fronting Athol Avenue (now Ridgeley Drive) to the west, Cahuenga Valley and Ballona Road (now Cochran Avenue) to the east, three parcels above 8<sup>th</sup> Street to the north, and mid-block below Country Club Drive (now Olympic Boulevard) to the south. Lot 163 is located toward the northwest corner of the Tract and above Eighth Street. The Tract Map is excerpted in **Figure 4** below and shown in full in the Appendix.

<sup>24</sup> Tract Map. Los Angeles County Department of Public Works, Tract No. 4464 map (1921).



744-748½ South Ridgeley Drive.170470.00

SOURCE: Los Angeles County Department of Public Works

**Figure 4**  
Tract 4464 with subject property outlined in red

Tract 4464 became, along with Tract 5798 to the west, part of a much larger development known as Wilshire Vista assembled by developers Walter G. McCarty and John A. Vaughn. Its detached garages, curb cuts, sidewalks, and overall layout indicate it was envisioned mainly as an

automobile suburb, and Wilshire Vista was advertised as such in the early 1920s.<sup>25</sup> The subject property is, however, typical of thousands of developments configured to accommodate individual automobile ownership in this period and is not innovative in its approach.

The parcels in Tract 4464 that lie north of Eighth Street can be seen on the 1927 and 1950 Sanborn maps, shown in relation to Wilshire Boulevard. **(Figure 5)** The 1927 map is laid out for residential growth between the northern boundary of the Tract and the commercial parcels at Wilshire Boulevard. By 1950, however, these potential residential parcels had been joined to form massive surface parking lots, apparently having never been developed. A review of historic aerials shows that, by 1948, the west side of the 700 block of Ridgeley Drive was occupied by a large commercial structure at Wilshire, two modest apartment buildings at the northwest corner of Ridgeley Drive and Eight Street opposite the subject property, with a vast amount of surface parking occupying the rest of the block. The east side of the street likewise had a large commercial structure at Wilshire with one additional residential property adjoining the Tract to the north with the rest of the east side also being dedicated to parking. By 1952 the residential component at the northwest corner had been reduced and the one additional residential property on the east side of the street had been removed. **(Figure 6)** At the time the Courtyard Apartment was designed in 1937, the architect would most likely have anticipated a setting with additional multi-family residences on the southern half of the block-- consistent with the Tract south of Eighth Street – with a change in scale and use at the northern half of the block as it approached the commercial Wilshire Boulevard Corridor.

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<sup>25</sup> ARG, Miracle Mile Historic Resources Survey Report, 15.



744-748½ South Ridgeley Drive.170470.00

SOURCE: Los Angeles Public Library

**Figure 5**  
Comparison of the 1927 (top) and 1950 (bottom) Sanborn Maps for Tract 4464, tract boundary outlines with dotted red line, Courtyard Apartment outlined with solid red line



744-748½ South Ridgeley Drive.170470.00

SOURCE: www.historicaerials.com

**Figure 6**  
Historic aerial 1948 (left) and 1952 (right) illustrating the loss of residential parcels and replacement with parking

### c. *The Courtyard Apartment (1920-1939)*

The courtyard apartment form derived from what was already a popular Southern California type, the bungalow court. It was similar in concept in its use of a shared landscaped area as an organizing principle for its site and as a source of identity and aesthetic individuality for each development. The courtyard apartment typology appeared a decade after the bungalow court as a solution to increased demand for housing. It could intensify density on each site while still providing the key amenities of Southern California outdoor living – light, fresh air, and a semi-private garden. The character-defining features of the courtyard apartment include a two-story height, a design in a Period Revival or Moderne style, an “O”-, “U”-, or “L”-shaped plan (with the “U” and “L” shapes being common in the earlier manifestations of the property type), and a common outdoor area at the core that might include a fountain or other feature with a unified landscape. Typically, the courtyard was formed by separate buildings framing an open court; the “L”-shaped plan was a variation that allowed a single building to be configured with a setback that could contain both a garden and circulation to individual units as shown in two “L”-shaped courtyard apartment buildings in Los Angeles. (**Figure 7**) In both the bungalow court and the courtyard apartment types, built-ins such as bookcases, secretaries, buffets, ironing boards, and breakfast sets as well as fireplaces were often included to increase efficiency and the appeal of each development.

The subject property retains the primary site and exterior characteristics of its type: a landscaped entry court to the side of the “L”-shaped plan accented with an arched entryway and a decorative fence. On the interior, several units retain examples of built in and fireplace elements although most have been removed.



SOURCES: Prosper Properties, Inc.,(left) and Google Street View, 2016 (Right)

744-748½ South Ridgeley Drive.170470.00

**Figure 7**

L-shaped Courtyard Apartments at 6424 West Olympic Boulevard (Left); and 756 S Sycamore Avenue (Right)

## 2. Period Revival Styles: Chateausque (1919-1940)

Chateausque-style architecture was first popularized in the United States by architect Richard Morris Hunt, the first American architect to study at France’s Ecole des Beaux-Arts.<sup>26</sup> Also known in France as Francois I architecture, it was loosely based on the sixteenth-century monumental palatial homes of the Loire Valley. The style was mostly confined to wealthy areas of the East Coast until the 1920s, when “Chateausque was revived and reimagined in Los Angeles as a style for luxury apartment buildings and large single-family residences.”<sup>27</sup> This was enabled by the lowering cost of building in the style. Advances in veneer cladding techniques, growing use of substitute materials such as concrete and cast stone, and increased demand based in part on World War I veterans’ experience in Europe all contributed to the style’s adoption in Southern California.

Like other Period Revival buildings, Chateausque buildings were “part of a fantasy image created of Los Angeles.”<sup>28</sup> Sharing much in common with the closely-related French Norman style, Chateausque style residences often have such features as steeply pitched hipped, complex roofs with spires, pinnacles, turrets, gables and shaped chimneys. Quoins often frame architectural elements, and stucco is often painted to appear like stone.<sup>29</sup> Chateausque style apartment buildings were especially concentrated in the Mid-Wilshire and Hollywood areas. The style was largely superseded by modern and Minimal Traditional housing styles by World War II.<sup>30</sup> Two typical examples of Chateausque architecture in Los Angeles are found at 6430-6432 West Olympic Boulevard and 825 North Edinburgh Avenue. (**Figure 8**)

<sup>26</sup> Virginia & Lee McAlester, *A Field Guide to American Houses* (New York: Alfred A. Knopf, 1989), 373.

<sup>27</sup> GPA Consulting. SurveyLA Los Angeles Historic Resources Survey, Historic Resources Survey Report, Los Angeles Citywide Historic Context Statement. Sub-Theme: Period Revival Neighborhoods. Publication. Los Angeles: Department of City Planning, Office of Historic Resources, 2016, 29.

<sup>28</sup> *Ibid.*, 30.

<sup>29</sup> McAlester, 373-375.

<sup>30</sup> GPA Consulting, Period Revival Neighborhoods, 30-31.



SOURCE: Google Street View

744-748½ South Ridgeley Drive.170470.00

**Figure 8**  
Chateausque Apartments at 6430-6432 West Olympic Boulevard (Left); and 825 North Edinburgh Avenue (Right)

### 3. Architect Edith Mortensen Northman

Architect Edith Mortensen Northman (1893-1956) was born in Copenhagen, Denmark, and after high school spent two years at the Studio School of Arts under Frede Aamodt. She immigrated with her family to the United States in 1914, settling in Brigham City, Utah, where she worked as a librarian for two years. She decided to become an architect in 1918 and moved to Salt Lake City, joining the office Eugene R. Wheelon as a junior drafter. In 1920 she moved to Los Angeles, where she worked for Henry J. Knauer's firm. She would later become chief drafter for Clarence J. Smale. Northman studied architecture at the University of Southern California from 1927 to 1930, and passed the state licensing examination in 1931.

Northman established her own practice in 1926 and became a highly prolific architect. As historian Sarah Allaback explains, "during the Depression, Mortensen carried on a remarkably successful private practice aided by a single drafter. The hundreds of projects she completed included a commission from the Union Oil Company to design more than fifty service stations on the West Coast."<sup>31</sup> She primarily designed single- and multi-family residences throughout the state, but primarily in the Los Angeles area. Some of her notable commissions, several of which have Los Angeles Historic Cultural Monument (LAHCM) status, include 1044 South Cloverdale Avenue in 1926 (**Figure 9**); 749 South Burnside Avenue in 1931 (**Figure 10**); 3801 West 1<sup>st</sup> Street in 1937 (**Figure 11**); and the Altman Apartments in 1940 (**Figure 12**). All are more refined and composed examples of her work exhibiting greater unity of design and higher quality architectural detailing, than the Courtyard Apartment at 744-748½ South Ridgeley Drive which is a smaller, less harmonious project. Other significant Northman designs include the Beverly Hills mansion of Danish actor Jean Hersholt, the Emmanuel Danish Evangelical Lutheran Church in Los Angeles (**Figure 13**), and the Normandie Mar Apartment Hotel in Fresno in 1939 (**Figure 14**).<sup>32</sup> A substantial listing of her works is included in **Table 1**.

<sup>31</sup> Sarah Allaback, *The First American Women Architects* (Urbana, IL: University of Illinois Press, 2008), 164-165.

<sup>32</sup> Ibid.



744-748½ South Ridgeley Drive.170470.00

SOURCE: Google Street View, 2015

**Figure 9**  
1044 South Cloverdale Avenue (1926), Contributor to the Miracle Mile HPOZ



744-748½ South Ridgeley Drive.170470.00

SOURCE: ESA, 2017

**Figure 10**  
749 South Burnside Avenue (1931), Contributor to the Miracle Mile HPOZ and individually eligible for the National Register, the California Register, and for LAHCM status



744-748½ South Ridgeley Drive.170470.00

SOURCE: Google Street View, 2015

**Figure 11**  
3801 West 1st Street (1937), no current recognition or protection



744-748½ South Ridgeley Drive.170470.00

SOURCE: Roberta M. O'Donnell

**Figure 12**  
The Altman Apartments (1940), LAHCM #1115



744-748½ South Ridgeley Drive.170470.00

SOURCE: Google Street View, 2015

**Figure 13**  
Emmanuel Danish Evangelical Lutheran Church  
(1937), LAHCM #578



744-748½ South Ridgeley Drive.170470.00

SOURCE: www.redfin.com, 2017

**Figure 14**  
Normandie Mar Apartment Hotel, Fresno, CA (1939)

During World War II, Northman designed fortifications and buildings for the U.S. Army Corps of Engineers, with her assignments ranging from “designing crude camp toilets to planning state-of-

the-art medical buildings. After the war, Northman's commissions were primarily apartment buildings and hotels in the Los Angeles area."<sup>33</sup>

She was active in civic organizations including active membership in the Women's Athletic Club and the Business and Professional Women's Club, and the Altrusa Club, all in Los Angeles, and the Pleiades Club in Pasadena. In 1945, she taught two classes at the Los Angeles Adult Education Center at Los Angeles High School on drawing floor plans and reading plans and specifications. She also served as a technical advisor on the 1937 United Artist romantic comedy, "Woman Chases Man," which features a woman architect as the protagonist. She was a member of the American Institute of Architects from 1942 to 1952.<sup>34</sup>

The dominant styles she in which she designed her buildings were from the Period Revival idiom. As architectural historian Jeffrey Baumel makes clear, "Edith Northman clearly was not a modernist. Of the... buildings and projects designed by her between 1926 and 1938, her work for Union Oil excluded, three buildings... constitute the only examples of modern architecture in her oeuvre".<sup>35</sup> In an article Northman wrote in the 1939 issue of *California Arts & Architecture* entitled "The Small Concrete House of Today," Northman addresses residential concrete construction. She concludes that these modernist buildings are inappropriate for California's climate, and ugly in any case. Drawing on its longstanding use in home-construction, Northman reiterates her preference for frame and stucco dwellings.<sup>36</sup>

Among the notable works by Northman in the Chateausque style are the aforementioned 3801 West 1<sup>st</sup> Street (**Figure 11**), the Altman Apartments (in the closely-related French Norman style) (**Figure 12**), and the Normandie Mar Apartment Hotel (**Figure 14**) as well as 413 South Cochran Avenue (**Figure 15**), 434 South Detroit Street (**Figure 16**), 642 Hauser Boulevard (**Figure 17**), and 1000 South Dunsmuir Avenue (**Figure 18**). Most of these are located in the Mid-Wilshire area. Like the subject property, the Altman Apartments, 413 South Cochran, 631 Burnside, 642 Hauser, and 1000 South Dunsmuir are 6-unit apartment buildings. These properties are excellent representative examples of the style due to their high level of integrity and balanced application of period revival features and massing.

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<sup>33</sup> Ibid.

<sup>34</sup> Pacific Coast Architecture Database (PCAD), "Northman, Edith," <https://digital.lib.washington.edu/architect/architects/1296/>. Accessed June 14, 2017.

<sup>35</sup> Jeffrey Baumel, "Edith Northman: A Study of the Career of a Woman Architect in Southern California" (research paper, University of California, Los Angeles, 1989), 18-19.

<sup>36</sup> Edith Northman, "The Small Concrete House of Today," *California Arts & Architecture*, September 1939, 38.



SOURCE: Google Street View, 2017

744-748½ South Ridgeley Drive.170470.00

**Figure 15**  
413 South Cochran Avenue (1939), six units



SOURCE: Google Street View, 2014

744-748½ South Ridgeley Drive.170470.00

**Figure 16**  
434 South Detroit Street (1937)



744-748½ South Ridgeley Drive.170470.00

SOURCE: Google Street View, 2017

**Figure 17**  
642 Hauser Boulevard (1938), six units



744-748½ South Ridgeley Drive.170470.00

SOURCE: Google Street View, 2015

**Figure 18**  
1000 South Dunsmuir Avenue (1942), six units

**TABLE 1**  
**PARTIAL WORKS OF EDITH M. NORTHMAN<sup>37</sup>**

<b>Year</b>	<b>Client/Building Type</b>	<b>Location</b>
1926	Mark A. Viner/Duplex Apts.	1059-61 & 1053-55 S. Mansfield Ave., L.A.
1926	Philip Karz/Residence	351 N. Highland Ave., Hancock Park
1926	Philip Karz/Residence	6400 W. 5th St. (Demolished), L.A.
1926	Julia L. Blum/Apts.	5606 S. Figueroa St., L.A.
1926	Mark A. Viner/Apts.	1044-46 S. Cloverdale Ave., L.A.
1926	Arthur Tyler/Residence	807 Linden Dr., Beverly Hills
1928	Esther B. Rowe/Apts.	660 S. Cochran Ave., L.A.
1928	A. & J. Horowitz/Apts.	437 W. 50th St., L.A.
1928	Alex Cohen/Residence	754 S. Highland Ave., L.A.
1928	M. Michlin, M. Marmalefsky & H. Litvack/Apts.	2009 New Jersey St., Boyle Heights
1928	W. Fairchild/Brick Store & Cleaning Plant	1550 E. Adams St., L.A.
1928	Albert Sternberger/Store Bldg.	2926 W. Pico Blvd., L.A.
1928	John J. Williams/Residence	434 N. Detroit St., L.A.
1928	Residence	2100 Dunsmuir St., L.A.
1928	Bertha Wetterhahn/Store & Apts.	2414-16 Angelus Mesa Dr., L.A.
1928	W.H Davis/Apts.	3519-23 Marathon Ave., L.A.
1928	Morris Chernus/Apts.	3006-08 W. 43rd Place & 4343-45 8th Ave., Leimert Park
1928	S. Forman & Co./Apts.	1434-36 S. Dunsmuir Ave., L.A.
1928	M. Gibson/Apt. Bldg.	5602 Fernwood Ave., Hollywood
1928	Morris Chernus/Apts.	2533-39 Lucerne Ave., L.A.
1928	Max Zimmer/Apts.	5955-57 W. 8 <sup>th</sup> St. (Demolished), L.A.
1928	Double Dwelling	924-26 Curson Ave., L.A.
1928	Apt. Bldg.	Hollywood Blvd., Hollywood, L.A.
1928	Dwelling	Wilshire District, L.A.
1928	Dwelling	Pico Heights, L.A.
1928	Apt. Bldg.	Beverly Blvd.,
1928	Mark A. Viner/Apt. Bldg.	833 S. Mansfield Ave., L.A.
1928	Mark A. Viner/Double Dwelling	163-65 S. Detroit St., L.A.
1928	Eric Flodine/Apt. Bldg.	1115 Doheny Dr., L.A.
1928	Chas. Lovers/Apt. Bldg.	Hancock Park, L.A.
1929	Charles Goldstein/Apts.	4332-38 8 <sup>th</sup> Ave., Leimert Park
1929	Louis H. Rowe/Apts.	450 S. Cochran Ave., L.A.
1929	Roger P. Jones/Apts.	4145-47 Garthwaite Blvd., Leimert Park
1929	Clara Kleinman/Apts.	5636 La Mirada Ave., Hollywood
1929	Morris Chernus/Apts.	3307-21 W. 43 <sup>rd</sup> Place, Leimert Park

<sup>37</sup> This list compiled from the work of historian Anna Marie Brooks, *Los Angeles Times* articles, and Sarah Allaback's *The First American Women Architects*.

Year	Client/Building Type	Location
1929	C.W. Thomas/Duplex	835-37 N. Harper Ave.
1929	D.E. Ross/Duplex	907-09 Shenandoah St., L.A.
1929	Adolf Kishner/Apts.	2608 Wellington Rd., L.A.
1929	I.B. McCombs/Apts.	4233-43 Garthwaite Blvd., Leimert Park
1929	P. Roberto/Apts.	1806-08 W. 36 <sup>th</sup> St.
1929	D.E. Ross/Apts.	1105 Wooster St., L.A.
1929	R. Bay/Dwelling	4216 6 <sup>th</sup> Ave., Leimert Park
1929	N.J. Spedding/Duplex	915-917 Shenandoah St., L.A.
1929	Anna E. Kircher/Apts.	3915-21 Walton Ave., L.A.
1929	Dr. C.J. Trail/Apts.	4250 Garthwaite Blvd., Leimert Park
1929	Adolph Horowitz/Residence	4332 9 <sup>th</sup> Ave., Leimert Park
1929	N.J. Spedding/Apts.	144 S. Oakhurst Dr., L.A.
1929	Mr. Smith/Apt. Bldg.	Alvarado & Ocean View Ave.
1929	P. Roberto/Bungalow Court	36 <sup>th</sup> St. & St. Andrews Place, L.A.
1930	Residence	910 N. Rexford Dr., Beverly Hills
1930	Adolph Kishner/Apts.	4318-22 Leimert Blvd., Leimert Park
1930	Apt. Bldgs.	332-336 N. Oakhurst Dr., Beverly Hills & Los Angeles
1931	Max Zimmer/Apts.	749 Burnside Ave., L.A.
1931	Albert E. Long/Apts.	3006-08 Stocker Ave., Leimert Park
1931	Phyllis Mann/Apts.	4260-68 Degnan Blvd., Leimert Park
1931	Max Weinstein/Apts.	3312-16 Stocker Ave., Leimert Park
1931	Sam Massman/Duplex	1120-22 Longwood Ave., L.A.
1931	William A. Larkins/Apts.	210-12 <sup>3</sup> / <sub>4</sub> N. St. Andrews Pl., L.A.
1931	Elwood G. Houseman/Villa Sevilla Apts.	1346-1352 N. Harper Ave., West Hollywood
1932	L.M. Bridgman/Residence	4224 Parva Ave., Los Feliz
1932	Frank Borgia/Residence	1031 S. Burnside Ave., L.A.
1933	Union Oil Co./Service Station	10892 Lindbrook Dr., Westwood (Demolished)
1934	Joseph M. Spearing/Apts.	6440 Olympic Blvd. & 1001-09 Alvira St., South Carthay, L.A.
1934	Ohel Avraham Synagogue	5500 S. Hoover St., L.A.
1934	Union Gas Station/Service Station	Pine and Franklin Streets, San Francisco
1935	Theodore LeVee/Duplex	2615-17 Vineyard Ave., L.A.
1935	E.M. Claridge/Apts.	4239-53 & 4255-59 Leimert Blvd., Leimert Park
1935	Louis S. Strauss/Apts.	311-17 S. Cochran Ave. & 328-32 S. Cloverdale Ave., L.A.
1935	Thomas E. Brockhouse/Residence	1265 Sunset Plaza Dr., L.A.
1935	Dr. N.B. Yorgensen/Residence	4147 Toluca Estate Dr., L.A.
1935	Steel-Frame Residence	Beverly Glen Blvd., L.A.
1936	A. Connelly/Apts.	6700 Olympic Blvd. & 1001-09 Alfred St., South Carthay, L.A.
1936	J. Schemel/Apts.	6326-28 Orange St., L.A.
1936	Goldie Goldfinger/Apts.	2843-47 42 <sup>nd</sup> St. & 4180-96 Garthwaite Blvd., Leimert Park

Year	Client/Building Type	Location
1936	John Fay/Apts.	1746-48 Crenshaw Blvd., L.A.
1936	Mrs. Winifred H. Anderson/Apts.	2518-20 Ocean View Ave., L.A.
1936	Max H. Goldman/Apts.	1420-22 N. Sierra Bonita Ave., L.A.
1936	J.S. Abel/Apts.	237-41 S. Hoover St., L.A.
1936	Mrs. J. Berger Winston/Apts.	745-49 S. Dunsmuir Ave., L.A.
1936	Apt. Bldg.	Palm Springs
1936	Apt. Bldg.	Los Feliz Blvd., L.A.
1936	M. Burgbacher & Sons/Apts.	1058-62 S. Orange Drive, L.A.
1936	M. Burgbacher & Sons/Apts.	913-17½ S. Hobart Blvd., L.A.
1936	Apartment House	368-76 Perkins St., Oakland
1937	Jean Hersholt/Residence Addition	602 N. Rodeo Dr., Beverly Hills
1937	Anthony & Victoria Connelly/Apt. Bldg.	3368 San Marino St., L.A.
1937	Apt. Bldg.	Palm Springs
1937	Arthur & Linda Kachel/Apt. Bldg.	1396 Veteran Ave., West Los Angeles
1937	Guy D. Sowers/Apt. Bldg.	1051 S. Ogden Drive, L.A.
1937	M. Burgbacher & Sons/Apts.	1064-68 Orange Grove Ave., L.A.
1937	Joseph M. Spearing/Apts.	8624 Olympic Blvd. & 1000-06 Sherbourne Dr., L.A.
1937	M.L. Kieffer/Apts.	438 Hamel Rd., L.A.
1937	John Adler/Apts.	4223-25 Garthwaite Blvd. & 3000-06 Stocker Ct., Leimert Park
1937	M. Burgbacher & Sons/Apts.	439 Sherbourne Dr. & 8601-05 Colgate Ave., L.A.
1937	Clara L. Coleman/Apts.	1269-81 Midvale Ave., L.A.
1937	Mrs. J. Berger Winston/Apts.	744-48 S. Ridgeley Dr., L.A.
1937	Royal Shade Shop/Store	5047 W. Pico Blvd., L.A.
1937	M.B. Kaplan/Duplex	1302-04 S. Ridgeley Dr., L.A.
1937	Emanuel Danish Evangelical Lutheran Church/Church	4260 3 <sup>rd</sup> Ave., Leimert Park
1937	Dr. J.G. Reynolds/Residence	8023 Hemet Place, Hollywood Hills, L.A.
1937	William Tenn/Residence	239 W. Channel Rd., Pacific Palisades, L.A.
1937	Mrs. J. Berger Winston/Apts.	3801-09 W. 1 <sup>st</sup> St. & 101-07 N. Catalina St., L.A.
1937	Axel Pedersen/Residence	3631 Mt. Vernon Dr., View Park-Windsor Hills
1937	Duplex Dwelling	Beverly Hills
1937	C.W. Lewis/Residence	Beverly Hills
1937	K.T. Colvey/Residence	Montebello
1937	Gilmore Oil Co./Service Station	Palm Springs
1937	Residence	Hollywood Hills
1937	Apt. Bldg.	Westwood
1937	M.H. Woods/Duplex Dwelling	Pickford St., L.A.
1938	Apt. Bldg.	434 S. Detroit St., L.A.
1938	Apt. Bldg.	631 Burnside Ave., L.A.
1938	Mrs. P.G. Wackerbarth/Apts.	1050 S. Westmoreland Ave., L.A.

Year	Client/Building Type	Location
1938	Strauss Bros./Apts.	4002-12 W. 7 <sup>th</sup> St., L.A.
1938	Strauss Bros./Apts.	701-09 S. Wilton Pl., L.A.
1938	David Margolius/Hotel	Ambassador Apartment Hotel, 640-674 Indian Rd., Palm Springs
1938	Apt. Bldg.	642 S. Hauser Blvd., L.A.
1938	Apartment House	300-10 Palm Ave., Oakland
1939	Apt. Bldg.	413 S. Cochran Ave., L.A.
1939	The Normandie-Mar Apartment Hotel	1490 N. Wishon Ave., Fresno
1939	Beacon Realty Co./Apts.	1749 N. Sycamore Ave., L.A.
1939	Church of Jesus Christ of Latter Day Saints/Church	3661 Liberty Blvd., South Gate
1939	George Bakar/Apt. Bldg.	281-5 Lenox Ave., Oakland
1940	Charles E. Insley House/Residence	5714 Briarcliff Road, L.A.
1940	Altman Apartments/Apt. Bldg.	412 S. Catalina St., L.A.
1941	Danish Farmhouse	L.A.
1941	Apartments	1000 S. Dunsmuir Ave., L.A.
1941	Mr. & Mrs. C.C. Bromley/English Cottage Residence	North Hollywood
1945	Northman Hotel	1014 S. Norton Ave., Country Club Park, L.A.
1946	Markowitz & Sons/Apts.	1260 N. Hayworth Ave., West Hollywood
1946	Olive Motel/Auto Hotel	2751 Sunset Blvd., L.A.
1946	Commercial Bldg.	337 S. Beverly Dr.
1947	Apts.	Palm Gardens, 2401 N. Palm Canyon Dr., Palm Springs
1947	Courtyard Apts.	514 San Vicente, Santa Monica
1947	Residence	712 Foothill Rd., Beverly Hills
1948	Samuel Vidre & Sons/Apts.	614-18 San Vicente Blvd., Santa Monica
1948	Harold Senter/Apts.	1274 N. Laurel Ave., West Hollywood

#### 4. Construction and Occupancy History of 744-748½ South Ridgeley Drive

##### a. Construction History of 744-748½ South Ridgeley Drive

As shown in **Table 2**, a construction history of the subject property was developed using permits and assessor records on file with the LADBS and the Los Angeles County Assessor's Office. Sanborn Maps, ARG's LAHCM nomination, and ESA's own observations were also used for the subject property's construction history. Building permit records from 1937 indicate the subject property's improvement with an apartment building (Courtyard Apartment) and two garages, as well as removal and relocation of a steel stairway from the side to the rear of the Courtyard Apartment. This latter change, since it falls early in the period of initial construction, was probably a change to the intended design rather than the as-built condition. A long gap in the record ensues until 1981, when repair for fire damage to the Courtyard Apartment was completed. No location was indicated for the fire repair other than a notation that the inspector was to check the roof and exterior walls suggesting that the damage may have been at the second floor. The

cost for this repair was \$7,000 in 1981, the equivalent of approximately \$20,000 in 2017,<sup>38</sup> indicating damages of some magnitude. In 2009, drywall replacement was undertaken in four units.

There are only two records for the subject property in the Los Angeles County assessor file. The first, from 1937, shows the footprint and dimensions of the newly completed Courtyard Apartment and indicates that a 60-foot linear stucco and wrought-iron wall ran across the front of the subject property likely at the sidewalk, a feature that has been removed (**Figure 19**). The assessor record also indicates that fire repairs were made in 1981 with no further information as to their location or scope.

Observations by ESA during the 2017 site visit noted the following unrecorded exterior changes: the subject property has been re-stuccoed (alteration) and re-roofed (replacement) while some original bas relief panels over windows in the courtyard have been removed their location over-stuccoed (alteration); some entry doors have been replaced (replacement) however the main doors on the front (west) and courtyard (south) elevations appear to be original; security bars have been added over some windows and an operable security gate has been added at the driveway (alterations); decorative metal railings have been added at the front entry stair (these match the original metalwork) and as a “widows-walk” on the flat portion of the roof (alterations); two wood fire escape staircases appear to have been added to the north (side) elevation (alterations) and an updated metal stair appears to have been installed at the east (rear) elevation (replacement); the octagonal window on the front façade has had its multi-lite panes and muntins/tracery replaced with a single lite (alteration). Non-original exterior and interior light fixtures, A/C units, satellite dishes and utility attachments have been added to the exterior walls (alterations). The first floor bay window on the south portion of the front façade has been re-roofed with an incompatible material and treatment (alteration); in addition, the configuration of the window panes is irregular and different in size proportionally from any of the other windows on the residence which suggests that the fenestration may have been replaced at an earlier date (replacement). Finials are missing from several of the dormers and the masonry fence piers (alterations). The landscape in front the house has been removed (there originally was a curvilinear hedge across the front) and the four-foot high 60-foot linear stucco and wrought iron fence at the sidewalk noted in the assessor record has been removed (alteration). The rear garages also appear to have been re-stuccoed and re-roofed and replacement doors have been installed.

A review of historic images from Google Maps reveals the chronology for some of these changes. In 2007, the Courtyard Apartment was painted blue and had no railing at the front entry stairs, no high railing on the top of the roof, and the front landscape consisted of a dense hedge between the Courtyard Apartment and the front lawn. By 2009, an incompatible black railing in a modern style had been added at the front stair and the front landscape removed. By 2011, the Courtyard Apartment had been re-painted to its current beige color, a decorative panel railing matching other original metalwork rails had been added to the front entry stairs, a high railing had been added to the roof, and the front landscape had been filled in with grass.

<sup>38</sup> "Inflation Calculator," Dollar Times, accessed June 22, 2017, <http://www.dollartimes.com/inflation/inflation.php?amount=7000&year=1981>.

ARG's LAHCM nomination relays the follow exterior information, all at unknown dates: Side and rear doors replaced; wrought iron railing added to flat portion of roof, with rear fire escape; driveway gate added; security bars added to side windows; security door added to side.

Interior changes noted by ESA confirmed ARG's observations include remodeling of most kitchens; replacement of some original wood floors; new recessed ceiling lighting and HVAC vents; and replacement of some doors and hardware. The substantial alterations to the majority of the kitchens are especially significant as, according to architectural historian Jeffrey Baumel, "it appears that Northman paid particularly close attention to the design of kitchens and closets," often preferring "well-crafted wood" build-ins. Her attention to kitchens within her designs is further demonstrated by the fact that she sold "dozens of kitchen plans for \$50 apiece" because of the publicity generated by her winning a kitchen design award for a residence at 3847 West 59th Street.



**TABLE 2**  
**PERMIT HISTORY FOR 744-748½ SOUTH RIDGELEY DRIVE**

LADBS Permit Number	Permit Date	Owner	Architect/ Engineer/ Contractor	Value/\$	Description
16398	5.17.1937	Mrs. J. Berger Winston	Edith Northman (architect only)	16,000	Apartment House, 6 families, 23 rooms. 68'3"x58'6", 2 stories, highest point 30', lot size 70'x122'45". Frame and stucco exterior wall material. Concrete foundation. Shingle composition roof.
16400	5.17.1937	Mrs. J. Berger Winston	Edith Northman (architect only)	325	Garage, 3 families. 19'x27', 1 story, lot size 70'x122'45". Frame and stucco exterior wall material. Concrete foundation. Single composition roof. [NOTE: 2 garages built in 1937]
18274	6.2.1937	Mrs. J. Berger Winston	Edith Northman (architect only)	25	Removal of steel stair from side yard... placing of same in 11'-0" dir. rear yard.
27278	7.14.1981	Esther and David Choy	Globe Reconstruction (contractor)	7,000	Restore fire damage 10% inspector to verify (roof, exterior walls)
09016-30000-09672	6.29.2009	Khosrow J. Ganjianpur, et. Al.		2,500	Replace drywall (no new walls added.) Specific location in kitchens and bathrooms. Work is being done in units 744½, 746, 746½, and 748½.

**b. Occupancy and Ownership History for 744-748½ South Ridgeley Drive**

City directories and building permits on file with the LADBS, as well as Los Angeles County Assessor and U.S. Census records, were reviewed to determine if the subject property has any significant associations with the productive lives of historic personages. The occupancy and ownership history of 744-748½ South Ridgeley Drive is summarized in **Table 2** and is discussed below. Though there are substantial gaps in the record, it appears that many of the apartment units had infrequent turnover with numerous long term residents. Of those whose work could be identified, the majority had service, sales, and administrative jobs. There appears to be a pattern of middle-class employment occupations associated with the tenant listings.

744-748½ South Ridgeley Drive encompasses the addresses 744, 744½, 746, 746½, 748, and 748½. Building permits listed Mrs. J. Berger Winston as the owner at the time of construction in 1937, with an address of 3050½ West Pico Boulevard. Neither she nor her husband Max ever lived at the subject property, indicating it was developed as a for-profit investment property. Some of the first occupants were Samuel C. and Charlotte H. Kendis, who lived at 744-748½ in 1939 and quickly moved. Widow Annie (nee Cohn) Kinney lived at 744-748½, where she stayed as Mrs. Edward W. Kinney until at least 1965.<sup>39</sup> Ronald Haver, director of film programs at the Los Angeles County Museum of Art (LACMA), lived at 744-748½ in 1973, 1987, and 1993.<sup>40</sup> Records show Samuel Busch living at 744½ in 1939 and 1940, along with his wife, Adele. In 1942 they made a short move to 746½, while assistant manager at Ralphs Grocery Co. Arthur R.

<sup>39</sup> Annie and Edward were the subject of a small column in the *Los Angeles Times* from November 17, 1890: "Kinney-Cohn: They Story of Two Young People: A Romance in Real Life: How They Were Married, Then Divorced, and are now Re-united—Some of the Peculiar Features."

<sup>40</sup> "Ronald Haver 54; Was Film Restorer of 'A Star Is Born,'" Obituary, *New York Times*, May 21, 1993.

Meadows made his home at 744½. Samuel would pass away in 1952, and Adele, listed as Mrs. Samuel Busch, would live in 744½ from 1956 to 1965, after which B.T. Bruttig would live there in 1967 and F. Lieberman would live there in 1968. Attorney Edward J. Harton, his wife Josephine, a teacher, along with their son Edward, Jr., lived at 746 in 1939. Widow Anna B. O'Donnell lived there in 1940 and 1942, while Sally M. Becker lived there from 1956 until 1967, after which Elise Marion lived there from 1968 until at least 1973. Herbert R. Olson, a credit manager at General Electric, lived at 746½ with his wife Clara until approximately 1940, when the Busches briefly occupied that unit. Records show Mrs. J. Hayward Mahan living there from 1956 until 1961, after which Bernice R. Thompson lived there until 1973. Louis and Minnie Weinroth lived at 748 in 1940 and 1942, after which Mildred Helm lived there from 1956 until at least 1987. Salesman Joseph Wolf and his wife Anna lived at 748½ in 1939, after which Charles E. Long lived there from 1956 until at least 1969.

Assessor records filled in information about ownership after 1978 although no evidence was found to verify that the owners were also occupants. From 1978 through 2006 the owner was Eliot Choy. In 2007 ownership changed to Ridgeley Properties, LLC and in 2008 the owner was listed as Sarah and Ebrahim Babazadeh. In 2012 ownership reverted to Sarah Babazadeh only. From 2013 to 2015 the owner was listed as Khosrow J. Ganjianpur and in 2015 the owner was listed as Ridgeley LLC associated with the name Yardi (Vardi) Baruch.

Research finds no evidence that any of these residents were historically significant.

**TABLE 3**  
**OCCUPANCY HISTORY OF 744-748½ NORTH NORTON AVENUE**

YEAR	744	744½	746	746½	748	748½
1939	Samuel C. Kendis, Vice President-Secretary United Stores Inc. Charlotte H. Kendis	Samuel Busch	Edward J. Harton, Lawyer Josephine M. (V.) Harton, Teacher Edward Harton, Jr.	Herbert R. Olson, General Electric Supply Corp. Clara Olson		Joseph Wolf, Salesman Anna Wolf
1940 US CENSUS	Annie Kinney	Samuel Busch Adele Busch	Anna B. O'Donnell	Herbert R. Olson, Credit Manager, General Electric Supply Corp. Clara Olson	Louis Weinroth Minnie Weinroth	
1942	Mrs. Edw. W. Kinney	Arthur R. Meadows, Asst. Br. Manager Ralphs Grocery Co.	Anna B (widow J. C.) O'Donnell	Samuel Busch Adele H. Busch	Louis Weinroth Minnie Weinroth	
1956	Mrs. Edw. W. Kinney	Mrs. Samuel Busch	Sally M. Becker	Mrs. J. Hayward Mahan	Mildred Helm	Charles E. Long
1960	Mrs. Edw. W. Kinney	Mrs. Samuel Busch	Sally M. Becker	Mrs. J. Hayward Mahan	Mildred Helm	Charles E. Long
1961	Mrs. Edw. W. Kinney	Mrs. Samuel Busch	Sally M. Becker	Mrs. J. Hayward Mahan	Mildred Helm	Charles E. Long
1962	Mrs. Edw. W. Kinney	Mrs. Samuel Busch	Sally M. Becker	Bernice R. Thompson	Mildred Helm	C. E. Long

YEAR	744	744½	746	746½	748	748½
1963	Mrs. Edw. W. Kinney	Mrs. Samuel Busch	Sally M. Becker	Bernice R. Thompson	Mildred Helm	C. E. Long
1964	Mrs. Edw. W. Kinney	Mrs. Samuel Busch	Sally M. Becker	Bernice R. Thompson	Mildred Helm	C. E. Long
1965	Mrs. Edw. W. Kinney	Mrs. Samuel Busch	Sally M. Becker	Bernice R. Thompson	Mildred Helm	C. E. Long
1967		B.T. Bruttig	Sally M. Becker	Bernice R. Thompson	Mildred Helm	C. E. Long
1968		F. Lieberman	E. Marion	Bernice R. Thompson	Mildred Helm	C. E. Long
1969			E. Marion	Bernice R. Thompson	Mildred Helm	C. E. Long
1973	Ronald Haver, film historian, director of film studies at LACMA		Elise Marion	Bernice R. Thompson	Mildred Helm	
1987	Ronald Haver, film historian, director of film studies at LACMA				Mildred Helm	
1993	Ronald Haver, film historian, director of film studies at LACMA					

## IV. Evaluation

### A. Historical Resources Identified

#### 1. Previous Evaluations of the Subject Properties

744-748½ South Ridgeley Drive was identified as a Contributor to the proposed Miracle Mile Historic Preservation Overlay Zone (HPOZ) by Architectural Resources Group (ARG) in the September 4, 2015, Miracle Mile Historic Resources Survey Report. It has the corresponding California Historical Resource (CHR) Status Code of 5D3. The subject property, in whole or in part, is not listed in the National Register, California Register, or included in the HRI for Los Angeles County. It has been locally designated as a Contributing element to the Miracle Mile HPOZ, which came into effect May 1, 2017. Note that ARG identified 744-748½ South Ridgeley Drive's property type as an apartment house; ESA has further identified the property type as a Period Revival Chateausque-style "L" shaped Courtyard Apartment.

## B. Evaluation of Historical Resources within the Subject Property

### 1. Evaluation of 744-748½ South Ridgeley Drive

#### a. *Architectural Description*

The subject property at 744-748½ South Ridgeley Drive is situated on a rectangular lot on the east side of South Ridgeley Drive between Wilshire Boulevard to the north and 8<sup>th</sup> Street to the south. The parcel is oriented from southeast to northwest and is improved with a two-story Period Revival Chateausque-style Courtyard Apartment (**Figure 20**) and two detached garages, (**Figures 21 and 22**) all constructed in 1937. The Courtyard Apartment is set above the street on a slightly-elevated site and set back behind a front lawn. A concrete driveway runs from the sidewalk to two rear garage buildings along the north side of the parcel. An electronically-activated sliding gate is mounted on the house and across the driveway. At the south side of the parcel, a concrete walkway runs from the sidewalk into the courtyard at the southwestern corner of the subject property. The walkway, framed by low hedges, is accessed by a three-step stairway at the sidewalk; this leads through a low stucco pier- and decorative metal-panel fence and archway, an extension of the front elevation, before passing into the landscaped courtyard. The south side of the courtyard is enclosed with a low stucco pier and decorative fence, each pier capped with a decorative finial. A concrete pathway runs along the front of the Apartment between the driveway and the south pathway with a five-step stairway and entry platform at its center providing access to the front door of the building. The Apartment contains six units. The two garages are at the rear of the site; one is oriented from southwest to northeast (Garage A), and the other is oriented from southeast to northwest (Garage B).



744-748½ South Ridgeley Drive.170470.00

SOURCE: Google Street View

**Figure 20**  
View of the primary (west) elevation (view facing east)



744-748½ South Ridgeley Drive.170470.00

SOURCE: ESA, 2017

**Figure 21**  
View of the west elevation of Garage A (view facing north)



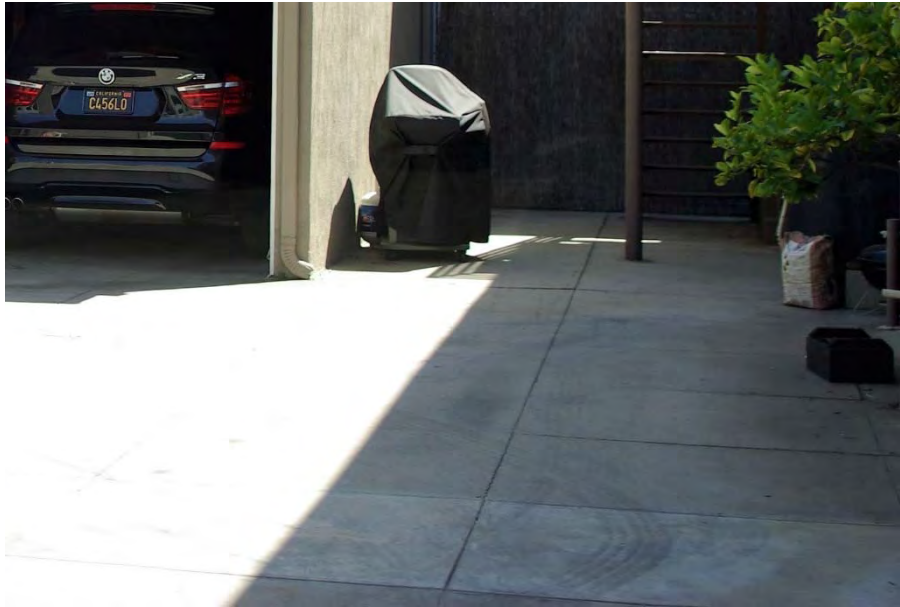
744-748½ South Ridgeley Drive.170470.00

SOURCE: ESA, 2017

**Figure 22**  
View of west elevation of Garage B (view facing east)

The paved hardscape includes curbing at the perimeter of the site along the sidewalk; service walkways; a paved walkway from the street to the sidewalk; the driveway; the stairway from the

street into the complex; the entry stairs to each unit; and the rear yard, which is entirely paved in concrete. (Figure 23)



744-748½ South Ridgeley Drive.170470.00

SOURCE: ESA, 2017

**Figure 23**  
Concrete paving in rear yard area (view facing east)

The building is arrayed in an “L” plan, with the majority of the building running along a southeast to northwest axis and the remainder running along a southwest to northeast axis. Four of the six apartment units have individual entrances; the remaining two are accessed by a two-story interior stair hall. Two two-story fire stairs are located along the side (north) elevation and one at the rear (east) elevation. The roof is a hipped shingle roof leading to a flat plane; the smaller portion of the “L” has a hipped-flat roof as well. There is a non-original railing encircling the top of the roof. The garages have side-gabled shingle roofs and rectangular plans. (Figure 24)



SOURCE: Google, 2017

744-748½ South Ridgeley Drive. 170470.00

**Figure 24**

Aerial view of the Property with buildings highlighted. The non-original white railing is indicated with an arrow

The apartment building has smooth stucco cladding (repaired/replaced) on all façades, and large amounts of decorative detailing on its primary (west and south) façades. The west façade faces the street and is generally centered on a front entry consisting of a friendship stair with a decorative railing (alteration) leading to a paneled front door with an ornate Beaux-Arts surround. The southern side of the front elevation consists of a slightly projecting plane. The projection contains the front entry and includes an oriel bay with three fixed and two combination fixed/casement vertical metal-window panels on the first floor (roofed cap of the oriel is altered); on the second floor there is a full-length cantilevered balcony with a low railing matching that on the friendship stairway. This lies in front of three symmetrically-placed window openings surmounted with decorative pediments infilled with plaster plaques and topped with decorative finials. The center window opening is part of a wood door leading to the balcony. The north side of the front elevation has a single combination fixed/casement metal window on the first floor adjacent to the front door and an octagonal single-lite (altered; glass replaced, muntins/tracery missing) window protected with a security grille (alteration) adjacent to the driveway. The second story toward the center includes a metal casement window with proportions similar to that on the first floor below, and a casement window toward the driveway. The front elevation has quoins defining the outer corners of the front façade. There is a plain unornamented frieze and molded cornice that defines the transition between the second floor and roof. Another molded band course divides the first and second floors. A simple reveal or string line runs from the base of the quoins across the façade, cutting just beneath the sills of the windows on both the first and second

floors- Typically in Northman's work, as seen in Figures 9, 12, and 13, this string line is further delineated with a molded string course which appears to be missing here (**Figure 25**).



SOURCE: ESA, 2017

744-748½ South Ridgeley Drive.170470.00

**Figure 25**  
View of the Primary (west) elevation (view facing east)

The south façade continues the use of quoins, frieze and string line on both floors. It contains the five remaining unit entrances, including the two accessed by a two-story interior stair hall. Most of the south façade consists of the part of the building fronting the courtyard, with some of it adjacent to a side walkway blocked by a metal pedestrian gate. The westernmost portion of the façade projects slightly. The first story of this portion has a set of steps with decorative iron railings leading to a wood-paneled door providing access to the interior stairway to two apartments. The door is covered by a small awning with decorative iron elbow brackets (brackets altered). Also on the first story of the projection is a combination fixed/casement metal window with thirty lites. The second story of the projection has a thirty-lite combination fixed/casement window and a projecting tower feature (**Figure 26**).



SOURCE: ESA, 2017

744-748½ South Ridgeley Drive.170470.00

**Figure 26**  
Partial view of the Primary (south) elevation (view facing north)

Also present on the south façade is a two-story bay with several combination fixed/casement windows; the first story portion has ten lites per window, and the second story portion has twelve lites per window. There is a space between the first and second story portion of the bay where decorative bas-relief panels have been removed (alteration) (**Figure 27**).



SOURCE: ESA, 2017

—744-748½ South Ridgeley Drive.170470.00

**Figure 27**

Partial view of the Primary (south) elevation (view facing north); bas reliefs removed from above first floor windows and area restuccoed

A recessed porch leads to the remaining three unit entrances, all of which have wood-paneled doors. The recessed porch also features three combination fixed/casement metal windows with ten lites each. Above the recessed porch is a balcony with decorative iron railing and a metal casement window with six lites. Both sides of the balcony feature recessed doorways with glass panels (**Figure 28**).



744-748½ South Ridgeley Drive.170470.00

SOURCE: ESA, 2017

**Figure 28**  
Partial view of the Primary (south) elevation (view facing north)

On the first story, the door to one of the entrances has an awning identical to the awning over the entrance to the two-story stairway. A bay with five windows completes the first story features. The windows are metal combination fixed/casement with ten lites each. Above each portion of the bay is a decorative bas-relief panel. Immediately above the bay is a balconette with a pair of wood French doors with glass panels and transom windows. The door is surrounded by Beaux-Arts decoration, a portion of which peaks above the roofline for form a small segmental gable. A metal casement window with eight lites per sash is also present on the second story (**Figure 29**).



—744-748½ South Ridgeley Drive.170470.00

SOURCE: ESA, 2017

**Figure 29**

Partial view of the Primary (south) elevation (view facing east);  
bas reliefs are intact on this elevation

The non-courtyard, walkway-adjacent portion of the south façade mimics the rear and north  
facades in its simplicity and utilitarian nature (**Figure 30**).



744-748½ South Ridgeley Drive.170470.00

SOURCE: ESA, 2017

**Figure 30**  
Partial view of the south elevation (view facing west)

The east (rear) façade and north façade are unornamented, simple and utilitarian in comparison to the primary façades. The second floor projects and overhangs the first story. The first story of the rear façade has four three-over-three wood double-hung windows. There is also a small one-over-one wood double hung window. Set into a recession is a downstairs entryway into a basement. The remainder of the rear façade consists of two three-over-three wood double hung windows and a wood door with a small concrete landing. The second story comprises five three-over-three wood double hung windows and two one-over-one wood double windows. There is a wood door from which descends a non-original staircase (alteration). Electrical metering equipment, satellite dishes and a fire escape are also present (**Figure 31**).



SOURCE: ESA, 2017

744-748½ South Ridgeley Drive. 170470.00

**Figure 31**

View of the rear (east) elevation (view facing west)

The north façade consists of alternating projecting bays and recessions. The first floor has combination fixed/casement metal windows with ten lites total; a one-over-one double hung window with non-original glass; two three-over-three double hung windows; a six-over-six double hung window; and two more one-over-one double hung windows. There is a wood stairway (alteration) leading to a metal security door, and a wood paneled door and a transom window. There is a second wood staircase (alteration) leading to a second floor wood door. Windows on the second floor include seven three-over-three double-hung windows; a one-over-one double hung window; and metal casement windows with four lites per sash. Only the westernmost projection of the north façade continues the interrupted quoins, sill course, and frieze and cornice treatment of the west façade (**Figures 32, 33, 34, and 35**).



744-748½ South Ridgeley Drive. 170470.00

SOURCE: ESA, 2017

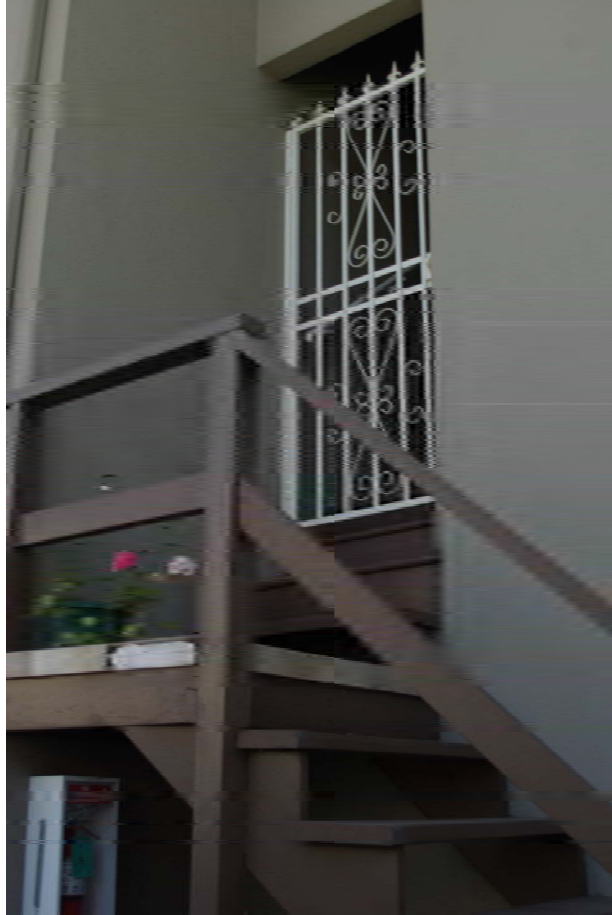
**Figure 32**  
Partial view of the north elevation of (view facing east)



SOURCE: ESA, 2017

744-748½ South Ridgeley Drive.170470.00

**Figure 33**  
Detail view of the north elevation (view facing south)



744-748½ South Ridgeley Drive.170470.00

SOURCE: ESA, 2017

**Figure 34**  
Detail view of the north elevation (view facing south)



744-748½ South Ridgeley Drive.170470.00

SOURCE: ESA, 2017

**Figure 35**View of the north elevation second story and roofline  
(view facing south)

Observations by ESA during the 2017 site visit noted the following unrecorded exterior changes: the subject property has been re-stuccoed (alteration) and re-roofed (replacement) while some original bas relief panels over windows in the courtyard have been removed their location over-stuccoed (alteration); some entry doors have been replaced (replacement) however the main doors on the front (west) and courtyard (south) elevations appear to be original; security bars have been added over some windows and an operable security gate has been added at the driveway (alterations); decorative metal railings have been added at the front entry stair (these match the original metalwork) and as a “widows-walk” on the flat portion of the roof (alterations); two wood fire escape staircases appear to have been added to the north (side) elevation (alterations) and an updated metal stair appears to have been installed at the east (rear) elevation (replacement); the octagonal window on the front façade has had its multi-lite panes and muntins/tracery replaced with a single lite (alteration). Non-original exterior and interior light fixtures, A/C units, satellite dishes and utility attachments have been added to the exterior walls (alterations). The first floor bay window on the south portion of the front façade has been re-roofed with an incompatible material and treatment (alteration); in addition, the configuration of the window panes is irregular and different in size proportionally from any of the other windows on the residence which suggests that the fenestration may have been replaced at an earlier date (replacement). Finials are missing from several of the dormers and the masonry fence piers (alterations). The landscape in front the house has been removed (there originally was a curvilinear hedge across the front) and the four-foot high 60-foot linear stucco and wrought iron fence at the sidewalk noted in the assessor record has been removed (alteration). The rear garages also appear to have been re-stuccoed and reroofed and replacement doors have been installed.

A review of historic images from Google Maps reveals the chronology for some of these changes. In 2007, the Courtyard Apartment was painted blue and had no railing at the front entry stairs, no high railing on the top of the roof, and the front landscape consisted of a dense hedge between the Courtyard Apartment and the front lawn. By 2009, an incompatible black railing in a modern style had been added at the front stair and the front landscape removed. By 2011, the Courtyard Apartment had been re-painted to its current beige color, a decorative panel railing matching other original metalwork rails had been added to the front entry stairs, a high railing had been added to the roof, and the front landscape had been filled in with grass.

ARG’s LAHCM nomination relays the follow exterior information, all at unknown dates: Side and rear doors replaced; wrought iron railing added to flat portion of roof, with rear fire escape; driveway gate added; security bars added to side windows; security door added to side.

The interiors of each unit are less intact than the exteriors. Where it survives, they have similar ornate crown molding and layered ceiling planes, that are not distinctive from unit to unit (**Figure 36**). Four units have fully remodeled kitchen and bathrooms (**Figure 37**). There is incompatible replacement of original wood doors, and door hardware (**Figure 38**). There is alteration of original wall and ceiling finishes. There is also alteration and replacement of original lighting fixtures and installation of recessed lighting. There is replacement of original registers, installation of new HVAC vents, and incompatible replacement of original wood floors (**Figure 39**).



SOURCE: ESA, 2017

—744-748½ South Ridgeley Drive.170470.00

**Figure 36**  
View of the interior crown molding



SOURCE: Concord Real Estate, 2016

744-748½ South Ridgeley Drive.170470.00

**Figure 37**  
View of remodeled kitchen



SOURCE: ESA, 2017

744-748½ South Ridgeley Drive.170470.00

**Figure 38**  
View of replaced door and door hardware



SOURCE: ESA, 2017

-744-748½ South Ridgeley Drive.170470.00

**Figure 39**  
View of replaced floor and vents

Interior changes noted by ESA confirmed ARG’s observations include remodeling of most kitchens; replacement of some original wood floors; new recessed ceiling lighting and HVAC vents; and replacement of some doors and hardware. The substantial alterations to the majority of the kitchens are especially significant as, according to architectural historian Jeffrey Baumol, “it appears that Northman paid particularly close attention to the design of kitchens and closets,” often preferring “well-crafted wood” build-ins. Her attention to kitchens within her designs is further demonstrated by the fact that she sold “dozens of kitchen plans for \$50 apiece” because of the publicity generated by her winning a kitchen design award for a residence at 3847 West 59th Street.

#### **b. Significance Evaluation for 744-748½ South Ridgeley Drive**

ESA evaluated the subject property, 744-748-1/2 South Ridgeley Drive, under the following historical and architectural themes: Multi-Family Residential Development: Courtyard Apartment (1920-1939) including information on the Wilshire Community Plan Area, Miracle Mile neighborhood, and Tract 4464; and Period Revival Styles: Chateausque (1919-1940). The period of significance assigned to the Courtyard Apartment is 1937, its year of construction.

#### **Previous Evaluation**

744-748½ South Ridgeley Drive was previously identified as a Contributor to the Miracle Mile HPOZ by ARG in the September 4, 2015, Miracle Mile Historic Resources Survey Report. It has the corresponding CHR Status Code of 5D3. The subject property, in whole or in part, is not listed in the National Register, California Register, or HRI for Los Angeles County. It has been locally designated as a Contributing element to the Miracle Mile HPOZ, which came into effect

May 1, 2017 that is bordered by Eighth Street to the north, San Vicente Boulevard to the south, La Brea Boulevard to the east and Fairfax Avenue to the west. A network of irregular HPOZ fingers extend north of Eight Street as seen on the HPOZ map (Figure 40). The Courtyard Apartment occupies one of three parcels identified at the southeast corner of Ridgeley Avenue north of Eighth Street.

Note that a LAHCM application was filed by James O’Sullivan and prepared by ARG for the subject property on March 8, 2017. That report identified 744-748½ South Ridgeley Drive’s property type as an apartment house; ESA has identified the property type as a Courtyard Apartment.



744-748½ South Ridgeley Drive.170470.00

SOURCE: [http://preservation.lacity.org/sites/default/files/CPC-2016-961-HPOZ%28Miracle%20Mile%29%208%20x%2011%20REDUCED\\_0.pdf](http://preservation.lacity.org/sites/default/files/CPC-2016-961-HPOZ%28Miracle%20Mile%29%208%20x%2011%20REDUCED_0.pdf)

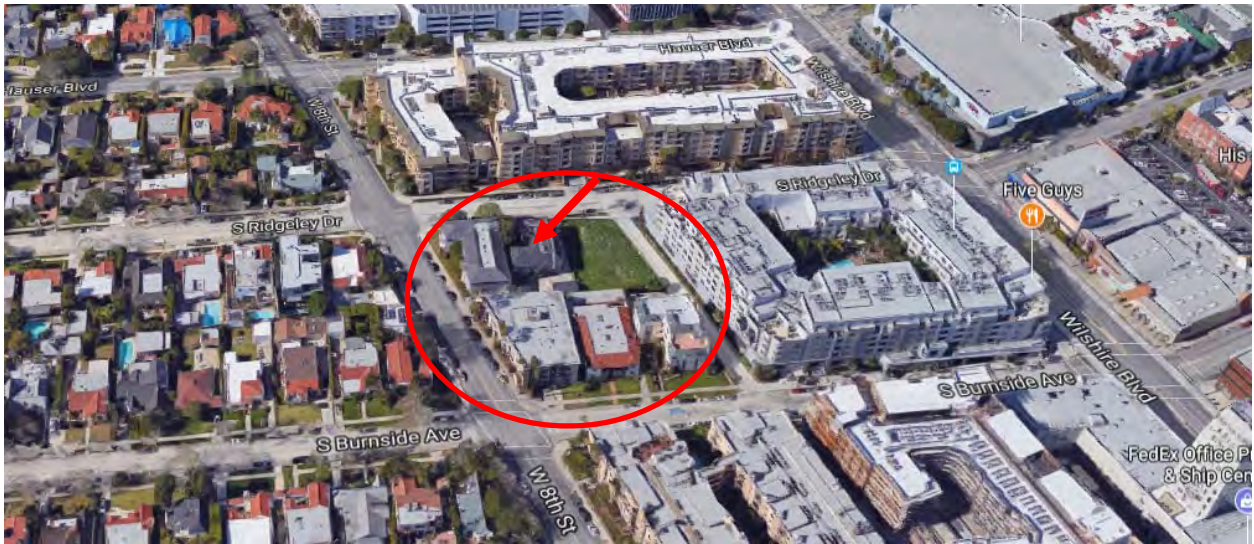
**Figure 40**  
Miracle Mile HPOZ showing location of 744-748-1/2 Ridgeley Drive

The HPOZ comprises 1,347 properties, including one-story single-family residences and one and two-story multi-family residence with construction dates from the 1920s through the 1940s. Most are associated with the Period Revival styles of architecture. The district is characterized by the consistency of building styles and massing as well as shared landscape features including concrete sidewalks, mature trees, consistent lot sizes, uniform setbacks, and a skewed orthogonal

street pattern.<sup>41</sup> This consistency appears to be intact to the south of Eighth Street however the pattern is severely broken to the north of Eighth Street including in the 700 block of Ridgeley Avenue (**Figure 41**) where the HPOZ includes only the three parcels at the southeast bottom of the block, the parcels that were part of the original Tract.

**Property Setting**

The Courtyard Apartment is located between a vacant lot to the north and a 1948 Colonial Revival/Minimal Traditional apartment building to the south also identified as a contributor. On the north side of the vacant lot, a five-story one-half-block long multi-family apartment was built in 2010 with a footprint extending to the sidewalk. On the west side of Ridgeley Avenue, a five and six-story full-block multi-family apartment was built in 2008, also with a footprint extending to the sidewalk. The Courtyard Apartment backs up to three multi-family apartments, a 1967 Mid-Century Modern stucco building at the northwest corner of Burnside Avenue and Eighth Street (non-contributor), and two 1931 Period Revival apartments on Burnside Avenue – one in the Spanish Revival and the other in the Chateausque style (contributors). These two 1931 apartments are the only buildings with a direct historic relationship to the subject property however, that relationship is weak as the buildings are separated by their respective backyards and face onto different streets. The extensive degree of new development introduces significant inconsistency of style, massing, landscape treatment, scale, and setback to the immediate setting regardless of the small group of contributors.



SOURCE: www.google.com/maps

744-748½ South Ridgeley Drive.170470.00

**Figure 41**  
744-748½ Ridgeley Drive indicated by an arrow within the extension of the HPOZ to the north of Eighth Street, circled

<sup>41</sup> City of Los Angeles, Miracle Mile HPOZ Draft Preservation Plan, report, December 2016, accessed June 22, 2017, <http://preservation.lacity.org/sites/default/files/Miracle%20Mile%20-%20Preservation%20Plan%20ADOPTED%202016-12-08%20REDUCED.pdf>.

As explained below, ESA found the subject property ineligible under all of the applicable federal, state, and local criteria due to a lack of significance; in its present condition, it does not appear to be associated with significant patterns or events or the productive lives of historic personages, it is not a notable work of a master architect, and it lacks architectural significance as an architectural type specimen of a Period Revival Chateausque-style Courtyard Apartment.

### **Broad Patterns of History**

With regard to broad patterns of history, the following are the relevant criteria:

**National Register Criterion A:** *Is associated with events that have made a significant contribution to the broad patterns of our history.*

**California Register Criterion 1:** *Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.*

**Los Angeles Historic Cultural Monument Criterion:** *The proposed site, building, or structure reflects or exemplifies the broad cultural, political, economic, or social history of the nation, state, or City (community).*

The subject property was historically associated with Multi-Family Residential Development: Courtyard Apartment (1920-1939) including the Wilshire Community Plan Area, Miracle Mile neighborhood, and the 165-lot Tract 4464 subdivided in 1921. It was also associated with the Period Revival Style: Chateausque (1919-1940). The Courtyard Apartment was part of the larger development known as Wilshire Vista laid out with detached garages, curb cuts, and driveways to accommodate individual automobile ownership. Wilshire Vista was only one among many tracts in the large and rapid development of the mid-Wilshire District that shifted from agricultural to residential use through the 1920s and 1930s characterized by small single-family homes and abundant two-, four-, six-, and eight-plex units in Period Revival styles.

The subject property retains its original configuration and the hardscape elements typical of its typology and location: a two-story building arranged in an “L” with a driveway to one side and detached garages in the rear, a shallow landscaped entry court to the other side as a focal feature, and a deep setback behind a street-front landscape. The property’s setting is largely compromised by the introduction of five and six-story half and full block apartment buildings with footprints that come out to the sidewalk on the north and west sides of Ridgeley Drive, and by a vacant lot to the north. These new developments are built on the site of the larger parcels that ran north of the original tract and that appear to have been occupied by parking as early as 1948. It is separated from its most closely related contributors who face the opposite direction to the east onto Burnside Avenue. Residences that do relate to the same period of development, typology, and Period Revival styles are located further away to the south on the other side of Eighth Street.

The Courtyard Apartment follows the general development patterns of the larger Wilshire District area and indicates that the pattern continued across Eighth Street toward Wilshire but the strength of its example is diluted by the loss of buildings from the same period and the jarring contrast introduced by the overwhelming new development. **Therefore, the subject property does not**

appear individually eligible for listing under National Register Criterion A, California Register Criterion 1, or the Los Angeles Historic Cultural Monument Criterion.

### Significant Persons

With regard to associations with important persons, the following are the relevant criteria:

**National Register Criterion B:** *Is associated with the lives of persons significant in our past.*

**California Register Criterion 2:** *Is associated with the lives of persons important in our past.*

**Los Angeles Historic Cultural Monument Criterion:** *The proposed site, building, or structure is identified with historic personages or with important events in the main currents of national, state, or local history.*

A thorough review of the available ownership and occupancy history for the Courtyard Apartment as well as a review of the Los Angeles Times indicates that the subject property is not associated with the productive lives of historic personages or with important events significant in national, state, or local history. The community of middle-class working people residing at the subject property were part of the predominant social fabric and did not lead or influence events or patterns of history. The Courtyard Apartment appears to have accommodated long term residents with service, sales, and administrative jobs with the exception of Ronald Haver, a film historian at LACMA who lived at 744-748½ from 1973 until his death in 1993. His productive life would be properly associated with LACMA where he worked, not his residence, and it is debatable whether or not he can be considered a significant person. His work was important in understanding and interpreting film history but did not change the currents of history or influence important events. There does not appear to be a pattern of ethnic, religious, or employment identity associated with the other tenants. **Therefore, the subject property is found ineligible for listing under National Register Criterion B and California Register Criterion 2, and Los Angeles Historic Cultural Monument Criterion.**

### Architecture

With regard to architecture, design, or construction, the following are the relevant criteria:

**National Register Criterion C:** *Embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.*

**California Register Criterion 3:** *Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.*

**Los Angeles Historic Cultural Monument Criterion:** *The proposed site, building, or structure embodies certain distinguishing architectural characteristics of an architectural-type specimen, inherently valuable for a study of a period style or method of construction; or the proposed site,*

*building, or structure is a notable work of a master builder, designer, or architect whose individual genius influenced his age.*

The subject property is presently improved with a two-story Courtyard Apartment and two detached garages built in 1937. The form was popular in Los Angeles between 1920 and 1939 and utilized an “O”, “U”, or “L” shaped plan to frame a shared circulation and garden space. The typology derived from the bungalow court as a solution to the demand for housing, providing an option that could increase the density of use on each site while still providing California’s desirable light, fresh air, and a semi-private garden. This example utilizes an “L” shaped plan that allows a single building to be configured with a setback to contain both circulation and a modest garden feature. It is a typical variation on the “O”, and “U” plans and allowed small owners to build a single rather than a pair of buildings. The form emerged in a period of growing individual automobile ownership and this example also retains a site layout to accommodate a curb cut, driveway, garages, and walkways from the sidewalk to the setback property. On the interior, several units retain examples of built in and fireplace elements that were also typical of the typology although most have been removed.

The subject property also exhibits elements of the Chateausque style popular in Los Angeles between 1919 and 1950 but particularly applied to apartments in the 1920s and 1930s: a steeply pitched hipped roof; vertical elements including spires, pinnacles, and turrets; quoins framing architectural elements; dormers and bays; and multi-paned windows. In this case, the building also includes decorative plaster panels; friezes, cornice, band course and string line; and balconies, stairs, and walls with decorative metalwork railings.

Overall, this Courtyard Apartment is a modest and common example of its type, particularly in the Mid-Wilshire area where the style is concentrated with both large and small examples. SurveyLA has identified numerous Chateausque residences including the Chateau Colline (HCM #703), the French Chateau Apartments (HCM #815), the Fontenoy (HCM #882), 350 N. Sycamore Apartments (HCM #1010), 1208 S. Smithwood Drive, and the Stratton-Porter Estate as more fully realized, intact, and exuberant examples of the style.

While the residence is an identifiable example of its style and property type, its defining features are relegated to the front street-facing elevations. Furthermore, the design falters due to the overly-ambitious, inharmonious application of singular decorative features on such a small building. The subject property applies a variety of Chateausque elements on the primary and courtyard elevations celebrating their individual presence without integrating them as part of the whole. For example, the three-dormer projecting element on the front façade introduces a pediment and medallion that appears in one location only; the oriel window located below the cantilevered balcony introduces a unique fenestration dimension and pattern and a surmounting shingled hood that is uncoordinated with the building’s other windows and bay details. The primary street entry features a highly decorative Beaux Arts surround while the courtyard entries feature metal canopies and simple wood frames. The bays in the inner courtyard eschew dormers or oriels and instead introduce decorative plaster panels and an elaborate Beaux Arts window surround that is more Spanish-Revival than Chateausque in character. The turret, an archetypal feature of the style, is tucked in adjacent to a bay as an almost hidden afterthought.

The subject property has also undergone alterations that detract from the original expression of the style and design intent: its front friendship stairway has been repaired and changed and a decorative metal handrail has been added as a focal feature on the front elevation. (Although this handrail matches the apparently original rails found elsewhere on the subject property, photos suggest it was installed at the front stairs after 2009. Further research is needed to determine if it is an alteration or whether the railing is original – removed and re-installed after the alteration of the front stairs). A high metal “widows walk” completely unrelated to the style has been added to the roof. Further, it appears that a string course molding that should run from one end of the façade to the other under the sills is missing, based on the appearance of the stucco which has been redone, and comparison with Northman’s other Chateausque designs which typically have this detail. Several spires are missing from the dormer pediments, several of the decorative plaster panels have been removed from the courtyard bays, the oriel window on the front façade has been modified with a shingled hood, and the multi-lite octagonal window now has a single pane of glass (muntins/tracery removed). Security bars over windows, a new metal driveway gate, and the addition of modern security lighting as well as television dishes and utility connections further detract from the integrity of the original design. Further, the Courtyard Apartment has been re-stuccoed changing the appearance and texture of its original finish.

Numerous more integrated and less compromised examples of the style have been cited above and illustrated in the Environmental Setting section of this report. Indeed, the Chateausque apartment located within 100 feet of the subject property at 741 Burnside Drive (architect unknown) – immediately behind and to the north of 744-748½ Ridgely – is a far more unified and sophisticated version of the style at a similar scale (**Figure 42**) Further, it has not been compromised by the many small but significant alterations that detract from the pure expression of the aesthetic.



SOURCE: [www.google.com/maps](http://www.google.com/maps)

744-748½ South Ridgely Drive.170470.00

**Figure 42**  
741 Burnside Drive (1931), 8 units

Architect Edith M. Northman, discussed previously in this document, was an anomaly as a woman architect in her period and received attention for this reason. She was also considered to be an exceptionally talented individual with a superior command of the historical styles and orders, as well as a strong aesthetic and technical sensibility. These professional traits allowed her to operate a profitable and influential practice – including through the Depression - designing a range of building types based on her architectural skill rather than on her unique position as a woman professional. She was particularly active in the design of residential properties throughout the state and several of her projects have achieved HCM status. A list of her works in Table 1 above illustrates the volume and depth of her commissions.

As mentioned earlier in the biographical section, architectural historian Jeffrey Baumel noted that she was not a modernist and Northman herself had written that modernist styles seemed inappropriate for California's climate in addition to being ugly. Images of some of her projects in the Mid-Wilshire area demonstrate the depth of her stylistic capability on multi-family properties of a scale similar to that of the subject property. These images also illustrate the restraint and balance with which she integrated Period Revival architectural detail on her projects. Like any architect, she had projects that were more successful than others – a situation that can vary based on the demands of the client, the budget, the materials, or on the scale of the building. The application of the Chateausque style at the subject property is less than satisfying, in part because the individual decorative elements of the style are applied as if from a checklist without being well integrated. While the building is pleasant, it is too small to absorb the variety of detail applied to it. **By contrast, Northman designed a Chateausque apartment for the same client in the same year using all of the same elements found on the subject property.** Located at 3801 West 1<sup>st</sup> Street (**Figure 11**), the two-story building is a much larger and more architecturally successful project. It has not been compromised by the alterations and improvements of the subject property and stands as a far more successful and authentic example of the style and her capabilities. The comparison between the two buildings illustrates the range of quality possible, even for an architect of Northman's stature, and demonstrates why the subject property is a lesser example of her work. (**Figures 43 and 44**)



744-748½ South Ridgeley Drive. 170470.00

SOURCE: Google Maps

**Figure 43**  
3801 W. First Street (1937), larger and more architecturally successful Chateausque-style apartment built for same client and also designed by Northman with nearly identical design and detailing, south elevation (top) and east elevation (bottom)



—744-748½ South Ridgeley Drive. 170470.00

SOURCE: Google Maps

**Figure 44**

A comparison of the subject property with the larger and more architecturally successful residence at 3801 W. First Street (**Figure 41**) illustrates that the subject property is a lesser example of Edith Northman's work.

Courtyard Apartments are highly characteristic of the built environment in many neighborhoods of Los Angeles, especially in the Mid-Wilshire area. The subject property is not groundbreaking or exemplary of its type but, rather, is in keeping with the vast swathe of background buildings that served a growing population. While the appearance of the subject property is agreeable, it follows the Period Revival style of the period but is not a representative or exemplary specimen. There are numerous better examples in Mid-Wilshire that coordinate the application of various elements with more finesse. Further, the subject property illustrates the fact that all architects of note design some buildings that are more successful than others. The subject property is not a distinctive or notable example of Northman's work; it is a modest, over-ambitious and disharmonious example. The signature characteristics of her usually masterful work are balance, unity and knowledgeable application of architectural language and ornament in a harmonious design. The subject property fails to showcase her mastery of style and her ability to balance architectural detail within the scale of the building at hand (subject property). When compared with her far more successful Chateausque Apartment at 3801 West First Street, built during the same year for the same client, it is easy to see how the challenge of creating a similar style and design at such small scale faltered at the subject property, appearing collaged and cramped. Her

design for the subject property does not pioneer a better approach to design of the Courtyard Apartment type or a more perfect rendering of the Chateausque style.

Therefore, the subject property is found ineligible for listing under National Register Criterion C, California Register Criterion 3, and the Los Angeles Historical Cultural Monument Criterion.

### **Archaeology**

National Register Criterion D. It yields, or may be likely to yield, information important in prehistory or history.

California Register Criterion 4. Has yielded, or may be likely to yield, information important in prehistory or history.

While most often applied to archaeological districts and sites, Criterion 4/D can also apply to buildings, structures, and objects that contain important information. In order for these types of resources to be eligible under Criterion 4/D, they themselves must be, or must have been, the principal source of the important information. The Courtyard Apartment does not appear to yield significant information that would expand our current knowledge or theories of design, methods of construction, operation, or other information that is not already known. Therefore, the subject property has not yielded or is not likely to yield information important to prehistory or history and does not appear to satisfy California Register Criterion 4 or local Criterion D.

### **c. Integrity Analysis**

The National and California Registers have specific language regarding integrity. Both require that a resource retain sufficient integrity to convey its significance.<sup>42</sup> In accordance with the guidelines of the National Register, integrity is evaluated in regard to the retention of location, design, setting, materials, workmanship, feeling, and association. The property must retain, however, the essential physical features that enable it to convey its historic identity.

Furthermore, National Register Bulletin 15 states,

*A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer. Like feeling, association requires the presence of physical features that convey a property's historic character. Because feeling and association depend on individual perceptions, their retention alone is never sufficient to support eligibility of a property for the National Register.<sup>43</sup>*

The California Register requires that a resource retain enough of its historic character or appearance to be recognizable as a historical resource and to convey the reasons for its significance.

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<sup>42</sup> National Register Bulletin 15, p. 44.

<sup>43</sup> Ibid, 15, p. 46.

Based upon National Register guidance, OHR has developed eligibility standards that define what minimum integrity aspects a historical resource should retain in order to be considered eligible in association with historical themes.

A property significant under the theme of Multi-Family Residential Development: Courtyard Apartment (1920-1939) should retain integrity of Location, Design, Setting (must retain the relationship between the units and the courtyard), and Materials (some materials may have been altered/removed) from the period of significance.

A property significant under the theme of Period Revival: Chateausque (1919-1940) should retain integrity of Location, Design, Materials, Workmanship, and Feeling from the period of significance. Some windows and doors may have been replaced as long as openings have not been altered and original fenestration patterns have not been disrupted.

### Location

The Courtyard Apartment has not been moved. **Therefore, the subject property is found to retain integrity of location.**

### Setting

In 1937 it was likely that Northman designed the Courtyard Apartment anticipating that the southern half of the block would become residential (with parcels similar in scale and character to the larger tract south of Eighth Street) and that the scale and use would change at the northern half of the block as it approached Wilshire boulevard. The original setting of the subject property is significantly compromised. The Courtyard Apartment is located in one of the irregular fingers of the newly designated Miracle Mile HPOZ that extend north of Eighth Street. These fingers capture small remaining groups of buildings that were once part of the coherent development period and style that now remains south of Eighth Street. The groupings in these fingers are now isolated adjacent to new and larger development in the zone between Eighth Street and Wilshire Boulevard.

The Miracle Mile HPOZ finger that includes the subject property encompasses six parcels located on adjacent streets – three at the southern end of the 700 block of Ridgely Drive (the northeast corner) and three at the southern end of the 700 block of Burnside Drive (the northwest corner). The three Ridgely Drive parcels back up to the three Burnside Drive parcels. Within this HPOZ group, two of the six parcels are compromised – one is a vacant parcel and the other was built in 1967 and falls outside the period of significance for the HPOZ.

Thus, the subject property relates to only three relevant buildings. The vacant lot lies to its immediate north; to its immediate south is a Minimal Traditional apartment (contributor) built in 1948 that contrasts by style although it does share a similar setback and integrated landscaping. Directly behind the subject property to the north is the 1931 Chateausque apartment and directly behind the subject property to the east is the 1931 Spanish Revival apartment (contributors). While these two apartments share the scale, Period Revival style, massing, site density, and setback of the subject property, they are separated by their respective backyards and face onto different streets. Their relationship to the subject property is, therefore, weak. Directly behind the

subject property to the south lies the 1967 Mid-Century Modern apartment (non-contributor) which falls outside the HPOZ period of significance.

Further, the 700 block of Ridgeley Drive has been dramatically redeveloped. The entire west side of the street has been changed by the presence of a five and six-story full-block multi-family apartment building built in 2008, with a footprint that extends to the sidewalk. In 2010, the northern half of the block was redeveloped with a five-story apartment building that also extends to the sidewalk. Both of these projects have redefined the scale, character, style, landscape treatment, and density of the street, eliminating any connection with the original two-story, period-revival spacious setting of the street.

**Because the erosion of the context north of Eighth Street is so complete and because the Courtyard Apartment has a weak relationship to the three buildings most important to its period setting, the subject property fails to retain integrity of setting.**

### **Design**

The Courtyard Apartment is designed in the Chateausque style. It retains many features characteristic of its typology and style, notably its original footprint that defines a setback shared entry court and the use of a steeply pitched hipped roof, decorative vertical elements such as a turret and finials, quoins framing architectural elements, dormers and bays, and multi-paned windows. This example adds decorative plaster panels and window surrounds at select locations, incorporates molding to define frieze, cornice, and string lines, and adds decorative metalwork railings to balconies, stairs, the roof, and as a wall element. It appears that many of these decorative elements are original to the building however some have been added and others altered.

The 1937 assessor record indicates that a 60-foot long and four-foot high stucco and wrought iron wall was positioned at the sidewalk in front of the property, now removed. The Courtyard Apartment has been re-stuccoed changing its original texture. A recent re-roofing appears to have placed composition shingles over the existing roof surfaces, creating a lumpy and thick profile. Based on historic photos from Google Street View, a decorative metal handrail in the style of other original metalwork on the building appears to have been added to the center stairs on the front elevation between 2007 and 2009. In that same time period, a metal fencing “widows walk” was added on the flat section of the roof visible from the street. It appears that a string course molding that would usually run from one end of the façade to the other on the front and courtyard elevations under the sills is missing leaving an indented reveal in the stucco where it was formerly attached. Several finials are missing from dormers and the concrete piers in the garden, several of the decorative plaster panels have been removed from the courtyard bays, the oriel window on the front façade has been modified with a shingled hood and possible revision to the fenestration (the size and proportion of the windows and glazing is different from any other windows and appears awkward), and the multi-lite octagonal window on the north portion of the front elevation now has a single pane of glass (replacement; original muntins and tracery removed). Security bars over windows, a new metal driveway gate, and the addition of modern security lighting as well as television dishes and utility connections also detract from the purity of the original design. In addition, two wooden stairs have been added on the side (north) elevation

and it appears that the original rear stair has been replaced. Some of the doors on the north and rear elevations have been replaced. Cracks at the foundation level show evidence of settling and evidence of re-stucco. These small but plentiful and cumulative assaults on the original appearance and design of the building undermine the initial impression of integrity formed during a quick reconnaissance observation of the property.

The interiors of the Courtyard Apartments have had some of their original doors and built ins removed although several retain their fireplaces. All have received kitchen updates. This change eradicates the original kitchen layouts that were part of architect Edith Northman's reputation as a designer with a keen and marketable understanding of domestic efficiency.

The contrast between the current and original conditions is seen most clearly when the subject property is compared with another Chateausque apartment also designed by Edith Northman in 1937 for the same client. Located at 3801 W. First Street, this apartment uses the same style, scale and design elements as the Courtyard Apartment however it has not been modified or insensitively repaired and altered. It retains its original form and decorative features and has not been compromised by the introduction of numerous small revisions and updates. Further, its design is well coordinated, exhibiting Northman's skill as a master of historical styles and orders in contrast with the subject property in which a checklist of single Chateausque elements is applied rather randomly and disharmoniously.

SurveyLA's criteria for integrity for both the Courtyard Apartment form and the Chateausque style accept the replacement of some windows and doors as long as openings and original fenestration patterns have not been disrupted. Further, SurveyLA accepts that original landscaping may have been altered or removed and that security bars may have been added. For this reason, the changes to the subject property fall within the acceptable range for their themes.

Alterations to the subject property have weakened the Courtyard Apartment's design and stylistic purity. However, in spite of the many compromises to integrity, the subject property continues to convey the general spirit of its design. **Therefore, the subject property retains partial integrity of design.**

## **Materials**

As discussed above, the Courtyard Apartment retains many of its design features and original materials. It has also undergone numerous small alterations that detract from its integrity of materials. It has been re-stuccoed and re-roofed changing the surface texture and crispness of the envelope. Metal railings have been added at the front entry and roof. Decorative panels have been removed from some of the courtyard bays, and finials are missing from several of the rooftop dormers and courtyard piers. The oriel and octagonal windows on the front façade have been altered. The string course molding has been removed leaving a recessed indentation on the wall surface. Several doors on the north and rear elevations have been replaced. It also appears that the original rear stair has been replaced and two new staircases have been added on the north elevation. Alterations to several of the windows on the primary elevation, the loss and replacement of some decorative elements, the replacement of doors, and the removal of the front wall from the property boundary at the sidewalk all equate to a loss or modification of original

elements. While these changes weaken the integrity of the original materials, the subject property retains enough of its original fabric to continue to reveal its original physical elements. **For this reason, the subject property is found to retain partial integrity of materials.**

### **Workmanship**

Our site observations described above indicate the re-stuccoing and re-roofing of the subject property as well as the loss of some important decorative elements, replacement of secondary doors, and the alteration of several window elements. While these changes have compromised the purity of the original design and materials, the subject property retains enough of its original form and fabric to continue to illustrate the practices and aesthetic principles of workmanship.

**Therefore, the subject property is found to retain partial integrity of workmanship.**

### **Feeling**

In general, the original appearance of the Courtyard Apartment is intact. It retains its general form, scale, and placement on the site as well as materials in the spirit of the original design. Despite possible changes to the stucco and roof, the loss of some decorative elements and doors, and the alteration to some windows, the subject property continues to convey a sense of its original presence. **Therefore, the subject property is found to retain integrity of feeling.**

### **Association**

Despite possible changes to some of the materials on the complex, the Courtyard Apartment retains its primary form and landscaped courtyard entry as well as its sense of individual units within a complex meant to serve the middle class in a growing city who could own and store their automobile on site. It continues to convey its association with the early residential development of the Wilshire Vista Tract and the larger Miracle Mile district. **Therefore, the subject property is found to retain integrity of association.**

### **Summary**

As summarized in **Table 4**, SurveyLA requires properties significant under the theme of Multi-Family Residential Development: Courtyard Apartment (1920-1939) to retain integrity of location, design, setting (must retain the relationship between the units and the courtyard), and materials (some materials may have been altered/removed) from the period of significance. SurveyLA requires properties significant under the theme of Period Revival Styles: Chateausque (1919-1940) to retain, at a minimum, integrity of location, design, materials, workmanship, and feeling.

The subject property retains some but not all of the SurveyLA requirements for its themes. It retains integrity of location, feeling and association. Its integrity of design, materials and workmanship is eroded as described above. It does not retain integrity of setting; while it has partial integrity of setting within its own site, retaining its setback and landscaped entry courtyard the linear wall shown on the assessor record is gone, the curvilinear hedge that once ran across the front of the residence has been removed, and the setting of the larger context is compromised. The subject property does not fully meet the preponderance of the SurveyLA integrity criteria and therefore does not meet the standard of integrity required for individual designation by SurveyLA.

**TABLE 4**  
**INTEGRITY MATRIX : 744-748½ SOUTH RIDGELEY DRIVE**

	SurveyLA Courtyard Apartment Requirements	SurveyLA Chateausque Requirements	Subject Property Retains	Subject Property Does not Retain
Location	X	X	X	
Design	X	X	Eroded	X
Setting	X			X
Materials	X	X	Eroded	X
Workmanship		X	Eroded	X
Feeling		X	X	
Association			X	

## C. Conclusion

When evaluated upon its own merits, the subject property is typical of the Period Revival multi-family buildings built in the automobile tracts of Mid-Wilshire designed between the 1920s and the 1940s. While it illustrates the general development patterns of the larger Wilshire District area (Criteria A/1/1) and indicates that the boundary of the original Tract continued across Eighth Street toward Wilshire, the strength of its example is diluted by the loss of buildings and lot size from the same period and by the jarring contrast introduced by overwhelming new development.

The subject property is not associated with the productive lives of historic personages or historic events (Criteria B/2/2). The community of middle-class working people residing at the subject property were part of the predominant social fabric and did not lead or influence events or patterns of history. The Courtyard Apartment appears to have accommodated long term residents with service, sales, and administrative jobs. There does not appear to be a pattern of ethnic, religious, or employment identity associated with the tenants.

The subject property is not a distinguished example of a Courtyard Apartment in the Chateausque Style (Criteria C/3/3). While it exhibits the character defining features of its typology and aesthetic, it is a modest and common example of its type, particularly in the Mid-Wilshire area where multi-family residences in Period Revival styles are concentrated with many both large and small examples. The design falters due to the overly-ambitious, inharmonious application of singular decorative features on such a small building. In addition, the subject property has undergone numerous minor alterations that detract from the original expression of the style and design intent. Other better designed and less compromised examples of the Chateausque style have been illustrated in this report.

The Courtyard Apartment on the subject property is not a notable example of work by architect Edith M. Northman (Criteria C/3/4). Northman was an important Southern California architect with masterful command of period styles which she applied with restraint and balance. However, the subject property illustrates that, like any architect, she had projects that were less successful than others. The application of the Chateausque style at the subject property is less than

satisfying, in part because the individual decorative elements of the style are applied as if from a checklist without being well integrated. While the building is pleasant, it is too small to absorb the variety of detail and complexity of program applied to it. ESA researched and prepared a biography of architect Edith M. Northman along with a comprehensive list of her works. Among them we have provided examples in this report of other similar Northman apartment buildings in the Chateausque style. These comparisons illustrate the range of quality possible, even for an architect of Northman's stature, and demonstrate why the subject property is a lesser example of her work. The signature characteristics of her usually masterful work are balance, unity and knowledgeable application of architectural language and ornament in a harmonious design. The subject property fails to showcase her mastery of style and her ability to balance architectural detail within the scale of the building at hand (subject property). When compared with her far more successful Chateausque Apartment at 3801 West First Street, built during the same year for the same client, it is easy to see how the challenge of creating a similar design at a smaller scale faltered at the subject property, appearing collaged and cramped. Northman's design for the subject property does not pioneer a better approach to design of the Courtyard Apartment type or a more perfect rendering of the Chateausque style.

The subject property retains some but not all of the SurveyLA requirements for integrity within the themes of Multi-Family Residential Development: Courtyard Apartment (1920-1939) and Period Revival Styles: Chateausque (1919-1940). It retains integrity of location, feeling and association. Its integrity of design, materials and workmanship is eroded as described below. It does not retain integrity of setting. Because the subject property does not fully meet the SurveyLA integrity aspects, it therefore does not meet the minimum standard of integrity required for individual designation by the City of Los Angeles.

ESA finds that the subject property fails to meet the eligibility requirements for individual listing as a City Historic Cultural Monument at the local level. ESA concurs with the findings of the Miracle Mile HPOZ survey and recommends the Courtyard Apartment at 744-748½ South Ridgeley Drive retain its assigned CHR Status Code of 5D3, and its local designation as a Contributing element to the Miracle Mile HPOZ.

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Sanborn Fire Insurance Maps



# Appendix A

## **Professional Qualifications**



# Margarita Jerabek, Ph.D.

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## Director, Historic Resources

### EDUCATION

Ph.D., Art History,  
University of California,  
Los Angeles

M.A., Architectural  
History, School of  
Architecture, University  
of Virginia,  
Charlottesville

Certificate of Historic  
Preservation, School of  
Architecture, University  
of Virginia,  
Charlottesville

B.A., Art History,  
Oberlin College,  
Oberlin, Ohio

### 25 YEARS EXPERIENCE

### PROFESSIONAL AFFILIATIONS

California Preservation  
Foundation

Santa Monica  
Conservancy

Los Angeles  
Conservancy

Society of Architectural  
Historians

National Trust for  
Historic Preservation  
Leadership Forum

American Institute of  
Architects (AIA),  
National Allied Member

American Architectural  
Foundation

Association for  
Preservation  
Technology

### AWARDS

2014 Preservation  
Award, The Dunbar

Dr. Margarita Jerabek has 25 years of professional practice in the United States with an extensive background in historic preservation, architectural history, art history and decorative arts, and historical archaeology. She specializes in Visual Art and Culture, 19th-20th Century American Architecture, Modern and Contemporary Architecture, Architectural Theory and Criticism, Urbanism, and Cultural Landscape, and is a regional expert on Southern California architecture. Her qualifications and experience meet and exceed the Secretary of the Interior's Professional Qualification Standards in History, Archaeology, and Architectural History. She has managed and conducted a wide range of technical studies in support of environmental compliance projects, developed preservation and conservation plans, and implemented preservation treatment projects for public and private clients in California and throughout the United States.

Dr. Jerabek has prepared a broad range of environmental documentation and conducted preservation projects throughout the Los Angeles metropolitan area and Southern California counties. She provides expert assistance to public agencies and private clients in environmental review, from due diligence through planning/design review and permitting and when necessary, implements mitigation and preservation treatment measures on behalf of her clients. As primary investigator and author of hundreds of technical reports, plan review documents, preservation and conservation plans, HABS/HAER/HALS reports, construction monitoring reports, salvage reports and relocation plans, she is a highly experienced practitioner and expert in addressing historical resources issues while supporting and balancing project goals.

She is an expert in the evaluation, management and treatment of historic properties for compliance with Sections 106 and 110 of the NHPA, NEPA, Section 4(f) of the Department of Transportation Act, CEQA, and local ordinances and planning requirements. Dr. Jerabek regularly performs assessments to ensure conformance with the Secretary of the Interior's Standards for the Treatment of Historic Properties, and assists clients with adaptive reuse/rehabilitation projects by providing preservation design and treatment consultation, agency coordination, legally defensible documentation, construction monitoring and conservation treatment.

She is a regional expert on Southern California architecture. She has prepared a broad range of environmental documentation and conducted preservation projects throughout the Los Angeles metropolitan area as well as in Ventura, Orange, Riverside, San Bernardino and San Diego counties. Beyond her technical skill, Dr. Jerabek is a highly experienced project manager with broad national experience throughout the United States.

## **Project Experience**

### **Intensive Historic Resources Survey, Adelante-Eastside Redevelopment Area, Los Angeles, CA. *Principal Investigator/Project Manager***

Dr. Jerabek led the comprehensive reconnaissance and intensive-level surveys of the Adelante-Eastside Redevelopment Area. The survey was conducted using the NPS Multiple Property Approach, in accordance with SurveyLA methods and technologies.

### **Suisun Valley Road Bridge 23Coo77 Replacement Project and Main Street Bridge Replacement Project Peer Reviews, Riverside and Solano counties, CA. *Peer Review***

As a Caltrans PQS, Dr. Jerabek completed peer reviews for two separate bridge replacement projects in Districts 8 (Riverside and San Bernardino) and 4 (Bay Area) – the Main Street Bridge Replacement in Temecula and the Suisun Valley Road Bridge Replacement in Project in Suisun, respectively. Dr. Jerabek performed a peer review of the Historical Resources Evaluation Report prepared for the Main Street Bridge Replacement by another consultant under contract to the City of Temecula and Caltrans to comply with state and local laws. The proposed bridge replacement project was found to have no indirect adverse impacts on historical resources. Dr. Jerabek performed a peer review of the Suisun Valley Road Bridge Replacement Project report, a Historic American Engineering Record (HAER) document.

### **Historic Property Survey Report (HPSR) for the La Cienega Boulevard Bridge (Bridge No 53C1220) Over Ballona Creek Seismic Retrofit Project, Los Angeles, CA. *Project Manager/Senior Architectural Historian***

Dr. Jerabek led the Section 106 significance evaluation and evaluation of effects in connection with the proposed seismic retrofit project for the 1932 Art Deco style La Cienega Boulevard Bridge over Ballona Creek. Included an intensive pedestrian survey, archival research and preparation of a Historic Property Survey Report, Bridge Evaluation Short Form, and Department of Parks and Recreation DPR 523 forms. The single-span girder bridge is listed as Category 5 in the Caltrans historic highway bridge inventory and was recommended ineligible for the CRHR.

### **Historic Resources Evaluation Report, Freeport Shores Pedestrian/Bicycle Trial Project, State Route 160/ Freeport Boulevard, Sacramento County, CA. *Project Manager/Senior Architectural Historian***

Dr. Jerabek led the cultural landscape survey, significance evaluation and effects assessment for a segment of the Victory Highway, a memorial highway dedicated in 1921 to commemorate WWI, working for Caltrans District 3.

### **Historic Architectural Survey Report, La Paz Road and Bridge Widening Project and La Paz Road Widening Historic Properties Survey Report (HPSR), Mission Viejo, CA. *Project Manager/Senior Architectural Historian***

Dr. Jerabek led the evaluation of effects for the proposed widening of La Paz Road and Bridge. The project involved the survey and evaluation of residential, commercial, educational and religious architecture. One resource was recommended eligible a Modern style church built in the early 1960s. The impacts assessment found no significant adverse change to historical resources.

### **EIR/EIS First Street Bridge Over Los Angeles River Widening Project, Los Angeles County, CA. *Project Manager/Senior Architectural Historian***

Dr. Jerabek prepared cultural resources section of the EIR to assess impacts of a bridge widening project on 19th and 20th century residential, commercial and industrial



buildings within the APE for the construction of a new light rail line over the historic First Street Viaduct in downtown Los Angeles.



# Max Loder

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## Associate Architectural Historian

### EDUCATION

M.A., Public History  
with a concentration in  
Historic Preservation,  
University of  
California, Riverside

B.A., History,  
University of  
California, Los  
Angeles

### 4 YEARS EXPERIENCE

Max Loder is an architectural historian with more than four years of professional experience performing field surveys and preparing DPR forms; preparing statements of significance; conducting historical analysis, composing architectural descriptions; and conducting necessary project research. He also has a year of public sector planning experience in design review. He has worked closely with private individuals, public officials, and large and small organizations to help work toward solutions to their historic and planning needs.

### Relevant Experience

**Department of City Planning, City of Los Angeles.** *Historic Preservation Overlay Zones (HPOZ) Unit in the Office of Historic Resources.* Assisted HPOZ staff with client walk-ins, conducting design review, drafting casework letters/certificates, and public outreach/presentations regarding adoption of HPOZs. Conducted field surveys of several HPOZs, using photography and making note of historical elements. Corrected technical elements on databases of HPOZ properties and research historical patterns of neighborhood growth. Communicated with project applicants to improve their projects' conformance with preservation guidelines.

**SR 710 North Project, South Pasadena, CA.** *Architectural Historian.* Worked on a project-hire basis for a consulting firm on findings of no adverse effect related to the SR 710 North project. Specifically worked on the descriptions of historic properties and resources sections of the findings.

**University of California, Riverside.** *History Graduate Teaching Assistant.* Engagingly led three sections of approximately 25 undergraduates each. Prepared detailed lessons to review course material and primary sources in depth. Fielded student questions/concerns and evaluated students' examinations, papers and course performance.

**The Young Oak Kim Center for Korean American Studies, UC Riverside.** *Research Intern.* Researched primary sources to build list of Koreans present in Riverside around 1900. Assisted with oral histories of prominent Korean American individuals. Augmented and edited statement of historical significance for NRHP application for the Willows Airfield in Glenn County, California, a place of significance to the history of Korean American aviation.

**VinCate & Associates Preservation Consultants, Riverside, CA.** *Architectural Historian.* Completed successful application for City Landmark status for property in Riverside. Researched and composed statement of significance and architectural description. Completed necessary DPR forms. Liaised with City of Riverside planning staff to guide application to completion.

**Dominguez Rancho Adobe Museum, Rancho Dominguez, CA. *Intern.***

Worked with the rare books collection, assessing storage needs and recommending solutions. Inventoried materials, using Past Perfect, and cared for three-dimensional objects in the collection. Catalogued and digitized aviation collection (print materials), using Past Perfect.

**Santa Monica College, CA. *History Tutor.*** Initiated tutoring service. Assisted students preparing for exams and quizzes. Proofread and advised students on paper drafts.

**Santa Monica History Museum, Santa Monica, CA. *Research Volunteer.*** Researched and composed articles on local history. Conducted historical research relevant to museum collections. Inventoried collections toward establishing museum relocation plan. Arranged for professional evaluation of an early eighteenth century French book I discovered in the archives.

## **Publications and Presentations**

“Citrus, Modernism, & STEAM: The Three Lives of the Downtown Riverside Library,” UC Riverside (2016).

“Paradoxical Continuity: Antimasonry as a Progression of Masonic Values.” REHMLAC at Universidad de Costa Rica 5 (2013): 80-96.

Contributions to the “Justice for Janitors Online Archive,” UCLA, Public History Seminar (Dr. Tobias Higbie) (2011).



Appendix B  
**Tract Map, Tract 4464 (1921),  
with Subject Property  
highlighted**

# TRACT No. 4464

BEING A SUBDIVISION OF A PORTION OF THE SOUTHERLY 50 ACRES OF  
 NORTHERLY 60 ACRES OF THE 326.62 ACRE TRACT ALLOTTED  
 TO ANTONIO URQUIDEZ IN THE PARTITION OF THE RANCHO  
 LAS CIENEGAS AS PER MAP THEREOF IN DISTRICT COURT CASE No. 1161  
 RECORDS OF LOS ANGELES COUNTY,  
 STATE OF CALIFORNIA.



Courses based on East side of Cahuenga Valley and  
 Ballona Road as per Tract No. 3821 M. B. 42-15

Scale, 1 in. = 200 ft.

I, J. B. Murray hereby certify that I am a Licensed  
 Surveyor and that this map, consisting of one sheet, correctly  
 represents a survey made under my supervision, September  
 1921 and that all the monuments shown hereon actually exist  
 and their positions are correctly shown.

*J. B. Murray*

We hereby certify that we are the owners of or interested in the land  
 included within the subdivision shown upon the annexed map and that our  
 consent is the only consent necessary to pass a clear title to said land,  
 and we consent to the making of said map and subdivision and hereby  
 dedicate to the public use all the streets, Avenues and Drive shown  
 within the colored border line.

*[Signature]*

Title Guarantee & Trust Co.

Commercial National Bank

by *[Signature]*  
 Vice-President  
 by *[Signature]*  
 Secretary

by *[Signature]*  
 President  
 by *[Signature]*  
 Secretary

State of California } ss  
 County of Los Angeles }

On this 1 day of October in the year Nineteen  
 hundred twenty one, before me *[Signature]* a Notary Public in and  
 for said County of Los Angeles, State of California, residing  
 therein, duly commissioned and sworn, personally appeared C. E.  
 Rachal known to me to be the person who executed the annexed  
 instrument and acknowledged to me that he executed the same.

In witness whereof I have hereunto set my hand and affixed  
 my official seal the day and year in this certificate first above written.

*[Signature]*  
 Notary Public in and for said County  
 of Los Angeles, State of California.

State of California } ss  
 County of Los Angeles }

On this 2 day of October in the year Nineteen  
 hundred twenty one, before me *[Signature]* a Notary Public in and  
 for said County of Los Angeles, State of California, residing therein, duly  
 commissioned and sworn, personally appeared W. A. Bonyng Jr. known  
 to me to be the President and W. A. Bonyng Sr. known to me to be  
 the Secretary of the Commercial National Bank the Corporation  
 that executed the annexed instrument and known to me to be the  
 persons who executed the annexed instrument in behalf of the Corpora-  
 tion therein named and acknowledged to me that such Corporation  
 executed the same.

In witness whereof I have hereunto set my hand and affixed my  
 official seal the day and year in this certificate first above written.

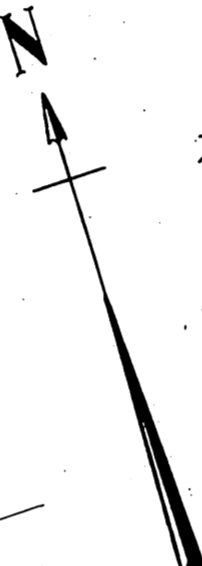
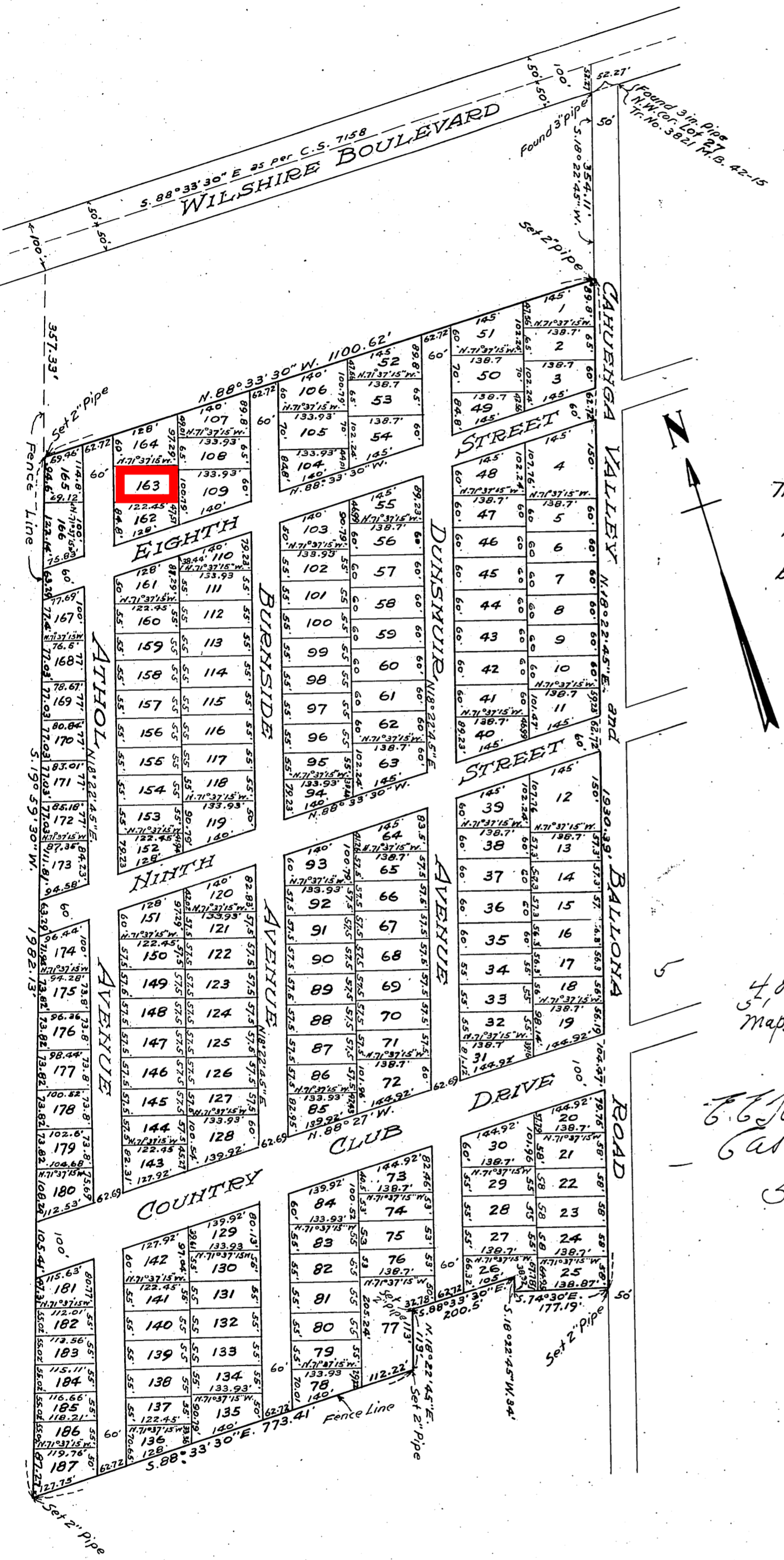
*[Signature]*  
 Notary Public in and for said County  
 of Los Angeles, State of California.

State of California } ss  
 County of Los Angeles }

On this 19 day of October in the year Nineteen hundred twenty one,  
 before me *[Signature]* a Notary Public in and for said County of Los Angeles,  
 State of California, residing therein, duly commissioned and sworn, personally appeared  
 E. W. Danyant known to me to be the Vice-President and A. R. *[Signature]*  
 known to me to be the Secretary of The Title Guarantee & Trust Co.  
 the corporation that executed the annexed instrument and known to me to be the  
 persons who executed the annexed instrument in behalf of the corporation therein  
 named and acknowledged to me that such corporation executed the same.

In witness whereof I have hereunto set my hand and affixed my  
 official seal the day and year in this certificate first above written.

*[Signature]*  
 Notary Public in and for said County of Los Angeles, State of California.



48  
 Maps

*[Signature]*  
 Cashier

502

*[Handwritten notes]*

*[Handwritten notes]*

*[Handwritten notes]*



Appendix C  
**Sanborn Maps (1927 and 1950)  
with Subject Property  
highlighted**

LOS ANGELES, CAL. VOL. 23  
2309

HAUSER 5' W. Pave  
2308 BLVD

23045

RIDGELEY DRIVE

23046

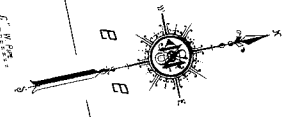
BURNSIDE AV.

2370

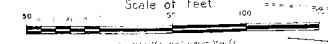
DUNSMUIR AV.

23048

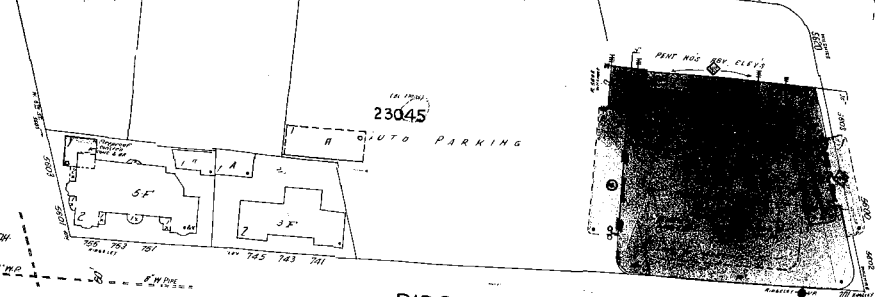
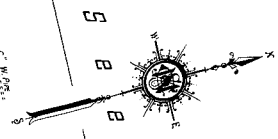
2312 COCHRAN 5' W. Pave AV.



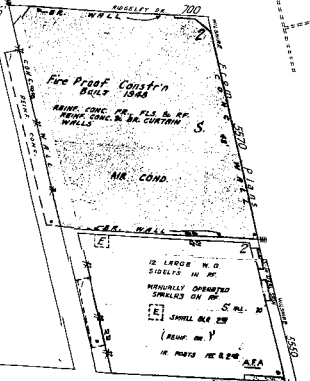
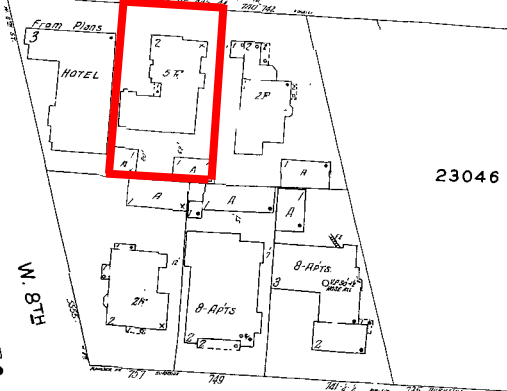
Scale of Feet  
0 50 100



LOS ANGELES CAL. VOL. 23  
2309  
HAUSER 2308 BLVD



RIDGELEY DRIVE

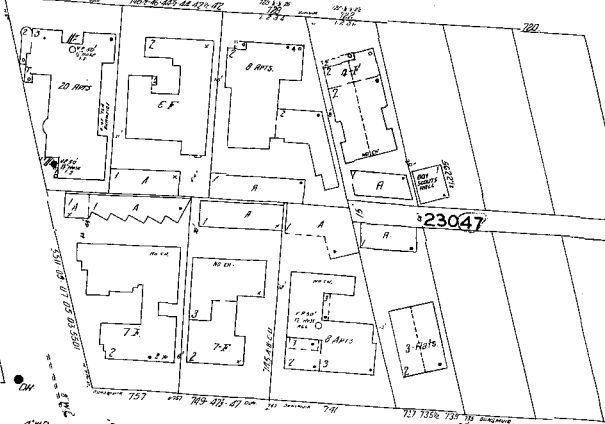


WILSHIRE

BURNSIDE AV.

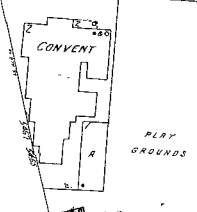
2370

ST.



BLVD

DUNSMUIR AV.



CATHEDRAL CHAPEL  
PARISH SCHOOL  
ELEC. LIGHTS - SIGN NEAR

23048

2312 COCHRAN AV.

Scale of Feet



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