

# Los Angeles Department of City Planning

## RECOMMENDATION REPORT

### CULTURAL HERITAGE COMMISSION

CASE NO.: CHC-2018-3235-HCM  
ENV-2018-3236-CE

**HEARING DATE:** July 5, 2018  
**TIME:** 10:00 AM  
**PLACE:** City Hall, Room 1010  
200 N. Spring Street  
Los Angeles, CA 90012

Location: 417 South Ocean Front Walk  
Council District: 11- Bonin  
Community Plan Area: Venice  
Area Planning Commission: West Los Angeles  
Neighborhood Council: Venice  
Legal Description: Golden Bay Tract, Block 4,  
Lot 247

**PROJECT:** Historic-Cultural Monument Application for the  
WINN APARTMENTS

**REQUEST:** Declare the property an Historic-Cultural Monument

**OWNERS/APPLICANTS:** Venice Suites LLC  
c/o Carl J. Lambert  
2 Breeze Avenue, Unit 101  
Venice, CA 90291

Carl Lambert  
Lambert Investments, Incorporated  
5 Westminster Avenue, #101  
Venice, CA 90291

**PREPARER:** Caroline Raftery  
Chattel, Incorporated  
13417 Ventura Boulevard  
Los Angeles, CA 91423

### **RECOMMENDATION** That the Cultural Heritage Commission:

1. **Take the property under consideration** as an Historic-Cultural Monument per Los Angeles Administrative Code Chapter 9, Division 22, Article 1, Section 22.171.10 because the application and accompanying photo documentation suggest the submittal warrants further investigation.
2. **Adopt** the report findings.

VINCENT P. BERTONI, AICP  
Director of Planning

**[SIGNED ORIGINAL IN FILE]**

Ken Bernstein, AICP, Manager  
Office of Historic Resources

**[SIGNED ORIGINAL IN FILE]**

Melissa Jones, Planning Assistant  
Office of Historic Resources

**[SIGNED ORIGINAL IN FILE]**

Lambert M. Giessinger, Preservation Architect  
Office of Historic Resources

Attachment: Historic-Cultural Monument Application

## **SUMMARY**

The Winn Apartments are located at 417 South Ocean Front Walk in Venice, between Dudley Avenue to the north, Speedway to the east, and Paloma Avenue to the south. Built in 1921, the subject property is a four-story, 32-unit apartment building with a partial basement and partial roof deck. The Italianate architectural style building was originally constructed for J.R. and Lulu A. Winn as an apartment house offering short- and long-term stays. It is currently in use as a hotel known as the Venice Suites.

On July 4th, 1905, entrepreneur Abbot Kinney opened Venice of America, a seaside resort that featured a canal system and a business district lined with Venetian-style colonnades that led to a pleasure pier. Kinney's initial development of Venice was wildly popular, drawing over 40,000 visitors during opening weekend, many of whom traveled to the seaside resort by streetcar. Over the course of the next decade, residences were built around the canals and amusement park rides and attractions were constructed, along with apartment houses lining Ocean Front Walk to support the burgeoning tourism industry.

Rectangular in plan, the subject property is of brick construction. The primary, west-facing elevation has a symmetrical three-bay composition, a raised, recessed central entryway, and a contemporary cornice. Buff-colored brick quoins exist around the recessed entryway, at the building corners, and around the fire escape doors. The central entryway has a fire escape above and a marble stair and landing that features marble wainscoting, tiles depicting ocean scenes, and a single-lite metal door. The north and south elevations consist of thirteen bays and a contemporary painted mural dominates the north elevation. Fenestration consists of single and paired double-hung vinyl windows. On the interior, each floor features a double-loaded corridor leading to eight guestrooms, and there is an original metal elevator.

Based on available building permits and historical photographs, the subject property appears to have undergone multiple alterations over the years that include the alteration of the parapet and cornice in 1952, repair of fire damage in 1976, installation of security bars on the windows in 1988, the application of gunite over brick on the exterior elevations in 1991 and 1995, the installation of a contemporary cornice in 2001, and an interior and exterior remodel in 2016.

SurveyLA, the citywide historic resources survey, identified the subject property as individually eligible for designation at the state and local levels as a rare example of a 1920s apartment house in Venice, one of few remaining examples from this period along Ocean Front Walk.

## **CRITERIA**

The criterion is the Cultural Heritage Ordinance which defines a historical or cultural monument as any site (including significant trees or other plant life located thereon), building or structure of particular historic or cultural significance to the City of Los Angeles if it meets at least one of the following criteria:

1. Is identified with important events of national, state, or local history, or exemplifies significant contributions to the broad cultural, economic or social history of the nation, state, city or community;
2. Is associated with the lives of historic personages important to national, state, city, or local history; or

3. Embodies the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age.

### **FINDINGS**

Based on the facts set forth in the summary and application, the Commission determines that the application is complete and that the property may be significant enough to warrant further investigation as a potential Historic-Cultural Monument.



# HISTORIC-CULTURAL MONUMENT NOMINATION FORM

## 1. PROPERTY IDENTIFICATION

|                                                                                                   |          |           |        |                 |                    |
|---------------------------------------------------------------------------------------------------|----------|-----------|--------|-----------------|--------------------|
| Proposed Monument Name:                                                                           |          |           |        |                 |                    |
| Other Associated Names:                                                                           |          |           |        |                 |                    |
| Street Address:                                                                                   |          |           |        | Zip:            | Council District:  |
| Range of Addresses on Property:                                                                   |          |           |        | Community Name: |                    |
| Assessor Parcel Number:                                                                           | Tract:   |           |        | Block:          | Lot:               |
| Identification cont'd:                                                                            |          |           |        |                 |                    |
| Proposed Monument<br>Property Type:                                                               | Building | Structure | Object | Site/Open Space | Natural<br>Feature |
| Describe any additional resources located on the property to be included in the nomination, here: |          |           |        |                 |                    |
|                                                                                                   |          |           |        |                 |                    |

## 2. CONSTRUCTION HISTORY & CURRENT STATUS

|                                                |         |           |                           |                                |
|------------------------------------------------|---------|-----------|---------------------------|--------------------------------|
| Year built:                                    | Factual | Estimated | Threatened?               |                                |
| Architect/Designer:                            |         |           | Contractor:               |                                |
| Original Use:                                  |         |           | Present Use:              |                                |
| Is the Proposed Monument on its Original Site? |         | Yes       | No (explain in section 7) | Unknown (explain in section 7) |

## 3. STYLE & MATERIALS

|                      |                |                  |             |
|----------------------|----------------|------------------|-------------|
| Architectural Style: |                | Stories:         | Plan Shape: |
| <i>FEATURE</i>       | <i>PRIMARY</i> | <i>SECONDARY</i> |             |
| CONSTRUCTION         | Type:          | Type:            |             |
| CLADDING             | Material:      | Material:        |             |
| ROOF                 | Type:          | Type:            |             |
|                      | Material:      | Material:        |             |
| WINDOWS              | Type:          | Type:            |             |
|                      | Material:      | Material:        |             |
| ENTRY                | Style:         | Style:           |             |
| DOOR                 | Type:          | Type:            |             |





# HISTORIC-CULTURAL MONUMENT NOMINATION FORM

## 4. ALTERATION HISTORY

List date and write a brief description of any major alterations or additions. This section may also be completed on a separate document. Include copies of permits in the nomination packet. Make sure to list any major alterations for which there are no permits, as well.

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## 5. EXISTING HISTORIC RESOURCE IDENTIFICATION (if known)

|                                                                                                      |                                                  |
|------------------------------------------------------------------------------------------------------|--------------------------------------------------|
| Listed in the National Register of Historic Places                                                   |                                                  |
| Listed in the California Register of Historical Resources                                            |                                                  |
| Formally determined eligible for the National and/or California Registers                            |                                                  |
| Located in an Historic Preservation Overlay Zone (HPOZ)                                              | Contributing feature<br>Non-contributing feature |
| Determined eligible for national, state, or local landmark status by an historic resources survey(s) | Survey Name(s):                                  |
| Other historical or cultural resource designations:                                                  |                                                  |

## 6. APPLICABLE HISTORIC-CULTURAL MONUMENT CRITERIA

|                                                                                                                                                            |
|------------------------------------------------------------------------------------------------------------------------------------------------------------|
| The proposed monument exemplifies the following Cultural Heritage Ordinance Criteria (Section 22.171.7):                                                   |
| Reflects the broad cultural, economic, or social history of the nation, state, or community                                                                |
| Is identified with historic personages or with important events in the main currents of national, state, or local history                                  |
| Embodies the distinguishing characteristics of an architectural-type specimen, inherently valuable for study of a period, style, or method of construction |
| A notable work of a master builder, designer, or architect whose individual genius influenced his or her age                                               |



# HISTORIC-CULTURAL MONUMENT NOMINATION FORM

## 7. WRITTEN STATEMENTS

*This section allows you to discuss at length the significance of the proposed monument and why it should be designated an Historic-Cultural Monument. Type your response on separate documents and attach them to this form.*

**A. Proposed Monument Description** - Describe the proposed monument's physical characteristics and relationship to its surrounding environment. Expand on sections 2 and 3 with a more detailed description of the site. Expand on section 4 and discuss the construction/alteration history in detail if that is necessary to explain the proposed monument's current form. Identify and describe any character-defining elements, structures, interior spaces, or landscape features.

**B. Statement of Significance** - Address the proposed monument's historic, cultural, and/or architectural significance by discussing how it satisfies the HCM criteria you selected in Section 6. You must support your argument with substantial evidence and analysis. The Statement of Significance is your main argument for designation so it is important to substantiate any claims you make with supporting documentation and research.

## 8. CONTACT INFORMATION

### ***Applicant***

|                 |               |          |        |
|-----------------|---------------|----------|--------|
| Name:           |               | Company: |        |
| Street Address: |               | City:    | State: |
| Zip:            | Phone Number: | Email:   |        |

### ***Property Owner***

Is the owner in support of the nomination?

Yes

No

Unknown

|                 |               |          |        |
|-----------------|---------------|----------|--------|
| Name:           |               | Company: |        |
| Street Address: |               | City:    | State: |
| Zip:            | Phone Number: | Email:   |        |

### ***Nomination Preparer/Applicant's Representative***

|                 |               |          |        |
|-----------------|---------------|----------|--------|
| Name:           |               | Company: |        |
| Street Address: |               | City:    | State: |
| Zip:            | Phone Number: | Email:   |        |

# HISTORIC-CULTURAL MONUMENT NOMINATION FORM



## 9. SUBMITTAL

When you have completed preparing your nomination, compile all materials in the order specified below. Although the entire packet must not exceed 100 pages, you may send additional material on a CD or flash drive.

### APPLICATION CHECKLIST

- |                                                                                                                                                                                   |                                                                                               |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------|
| 1. ✓ Nomination Form                                                                                                                                                              | 5. ✓ Copies of Primary/Secondary Documentation                                                |
| 2. ✓ Written Statements A and B                                                                                                                                                   | 6. ✓ Copies of Building Permits for Major Alterations<br>(include first construction permits) |
| 3. ✓ Bibliography                                                                                                                                                                 | 7. ✓ Additional, Contemporary Photos                                                          |
| 4. ✓ Two Primary Photos of Exterior/Main Facade<br>(8x10, the main photo of the proposed monument. Also<br>email a digital copy of the main photo to:<br>planning.ohr@lacity.org) | 8. ✓ Historical Photos                                                                        |
|                                                                                                                                                                                   | 9. ✓ Zimas Parcel Report for all Nominated Parcels<br>(including map)                         |

## 10. RELEASE

Please read each statement and check the corresponding boxes to indicate that you agree with the statement, then sign below in the provided space. Either the applicant or preparer may sign.

|                                     |                                                                                                                                                                                                                                                                               |
|-------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> | I acknowledge that all documents submitted will become public records under the California Public Records Act, and understand that the documents will be made available upon request to members of the public for inspection and copying.                                     |
| <input checked="" type="checkbox"/> | I acknowledge that all photographs and images submitted as part of this application will become the property of the City of Los Angeles, and understand that permission is granted for use of the photographs and images by the City without any expectation of compensation. |
| <input checked="" type="checkbox"/> | I acknowledge that I have the right to submit or have obtained the appropriate permission to submit all information contained in this application.                                                                                                                            |

Name: Caroline Rafferty      Date: 1/12/18      Signature: Caroline Rafferty

Mail your Historic-Cultural Monument Submittal to the Office of Historic Resources.

Office of Historic Resources  
 Department of City Planning  
 200 N. Spring Street, Room 620  
 Los Angeles, CA 90012  
 Phone: 213-978-1200  
 Website: [preservation.lacity.org](http://preservation.lacity.org)

## **A. PROPOSED MONUMENT DESCRIPTION**

The subject property is located at 417 South Ocean Front Walk, was built in 1921, and is a four-story 32-unit apartment hotel constructed of brick with a partial basement and partial roof deck.

### Setting

The subject property occupies a rectangular parcel along South Ocean Front Walk between Dudley Avenue to the north, Speedway to the east, and Paloma Avenue to the south. The primary facade (west elevation) of the subject property faces the Pacific Ocean, and is separated from the beach by South Ocean Front Walk. The parcel to the north is an open, paved surface parking lot; the parcel to the south is improved with a two-story residential building. Neighboring buildings are generally commercial and residential, and range from one to five stories.

### Exterior

#### *West Elevation*

The west elevation faces the Pacific Ocean, exhibits elements of the Italianate style, is symmetrical with three bays clad in red and buff-colored running bond face brick (much of which has been overpainted), and has a raised, recessed central entryway, and a contemporary cornice. Buff-colored brick quoins exist around the recessed central entryway, at the building corners, and around fire escape doors. The red and buff-colored face brick and detailing returns on the north and south elevations for one bay.

At grade on Ocean Front Walk, the center bay consists of a raised, recessed central entryway with a marble stair and landing that features marble wainscoting, contemporary ocean scenes on tiles that extend to a painted cloud patterned ceiling, and a has a single light metal door. Above the first floor, the center bay has a fire escape, and single light wood doors with transoms that lead to the fire escape. A metal ladder extends to the roof from the fire escape at a notch in the cornice.

The north and south bays have a pair of contemporary double-hung vinyl windows in original openings. Buff-colored face brick surround the windows, and form a rectangular outline with a central diamond above and below each window. Similar brick acts as a soldier course above and below the first floor windows, and above the fourth floor windows.

#### *North Elevation*

The north elevation faces an adjacent surface parking lot, is divided into 13 bays clad in painted gunite over brick, and is dominated by a contemporary painted mural. This elevation mirrors the south elevation and consists of a regular fenestration pattern where each floor has contemporary single or paired double-hung vinyl windows, in original openings with a concrete sill. The west elevation face brick returns on this elevation to the extent of the westernmost bay. At the first floor, several windows are covered with security bars. The fourth bay from the west extends above the parapet at the stairwell. Seismic reinforcement ties and anchor plates are visible.

#### *East Elevation*

The east elevation faces Speedway, has three bays clad in painted gunite over brick with, and has a central slightly recessed arched entryway. The arched entryway has a marble surround, a single light metal door and double-hung vinyl window. The second to fourth floor center bay has an irregular pattern of windows and doors. The second floor above the entryway has a vinyl casement window and double-hung vinyl window. There is a metal fire escape at the third and fourth floors of the center bay, and single light wood doors with transoms that lead to the fire escape. A ladder connects the roof to the fire escape. The north and south bays are generally composed of double-hung vinyl windows set within arched recesses. Seismic reinforcement ties and anchor plates are visible.

### *South Elevation*

The south elevation of the building is less than 10 feet from the adjacent building and is divided into 13 bays clad in painted gunite over brick. This elevation mirrors the north elevation and features a regular fenestration pattern where each floor has single or paired double-hung vinyl windows with concrete sills. The west elevation face brick returns on this elevation to the extent of the westernmost bay. On the first floor, several windows are covered with security bars. Seismic reinforcement ties and anchor plates are visible.

### Interior

The interior of the building features four floors, a partial basement, and a partial roof deck. The first through fourth floors feature a double-loaded corridor, with eight guestrooms on each floor. Near the front entry is a U-shaped stairwell that extends from the first floor to the roof, with landings at each floor. Seismic steel reinforcement beams are visible within the stairwell. Adjacent to the stairwell at the first floor is a door to a stair that leads to the partial basement. East of the basement door is an original metal elevator that accesses the first through fourth floors. Along the northern wall are 32 rectangular aluminum mailboxes. The corridors have carpeted floors, painted walls, and globe lights. Each of the guestroom doors have identifying metal numbers. The guestrooms generally have a single room, kitchenette and bathroom, and some have a separate bedroom. All guestrooms have contemporary fixtures and furnishings.

### Character-defining features

- Four-story massing
- Symmetrical west elevation and returns clad in patterned face brick
- Generally regular fenestration pattern of windows on each elevation
- Centered recessed entryway at west elevation
- Fire escapes

### Alterations

Overall, alterations that have occurred since construction have generally been compatible with the original design, materials, proportion, and massing.

Alterations to the exterior include application of gunite over brick on north, east, and south elevations and over painted face brick on the west elevation. Before 1941, an aerial photograph indicates that the majority of common brick on the south elevation was painted. A comparison of historic photographs from 1929 and 1941 suggest that the original Italianate cornice on the west elevation was altered before 1941. In the late 1940s, the City of Los Angeles adopted a parapet correction ordinance which stipulated that unless parapets were laterally braced, they had to be removed. In 1952, according to building permits, the parapet and cornice were altered. In 1991, exterior gunite and seismic reinforcement were added. In 2001, a contemporary cornice was installed.

While materials, details, and fixtures have changed, the 32 guestrooms still exist in their original locations and configurations.

The table below summarizes available building permits.

| Date       | Permit Type           | Owner                                 | Architect/Builder/<br>Contractor              | Value   | Description                                                                                                                                                                                                                                                                                                                                                                                                                                     |
|------------|-----------------------|---------------------------------------|-----------------------------------------------|---------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 08/18/1926 | BLDG-<br>Alter/Repair |                                       |                                               |         | Fire escape                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| 06/15/1934 | BLDG-<br>Alter/Repair |                                       |                                               |         |                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| 03/27/1935 | BLDG-<br>Alter/Repair | First<br>Security<br>National<br>Bank | Contractor:<br>Raphael Breman                 |         | New elevator                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| 03/28/1935 | BLDG-<br>Alter/Repair | First<br>Security<br>National<br>Bank | Contractor:<br>Raphael Breman                 | \$300   | "miscellaneous patching<br>of plaster, adjusting doors<br>and windows, no<br>structural changes"                                                                                                                                                                                                                                                                                                                                                |
| 04/05/1935 | BLDG-<br>Alter/Repair | First<br>Security<br>National<br>Bank | Contractor:<br>Mahoney Tile Co.               |         | "Interior tile work"                                                                                                                                                                                                                                                                                                                                                                                                                            |
| 01/02/1936 | BLDG-<br>Alter/Repair | L.L.<br>Becker                        | Contractor:<br>Raphael Breman                 |         | Install fire door in elevator<br>penthouse                                                                                                                                                                                                                                                                                                                                                                                                      |
| 01/07/1937 | BLDG-<br>Alter/Repair |                                       |                                               |         | Reroof w/ composite<br>shingles                                                                                                                                                                                                                                                                                                                                                                                                                 |
| 07/21/1937 | BLDG-<br>Alter/Repair | L.L.<br>Becker                        | Contractor: H.<br>Geuser                      |         | "refacing mortar joints"                                                                                                                                                                                                                                                                                                                                                                                                                        |
| 06/02/1939 | BLDG-<br>Alter/Repair | L.L.<br>Becker                        |                                               | \$50    | Repairs to fire escape                                                                                                                                                                                                                                                                                                                                                                                                                          |
| 02/14/1940 | BLDG-<br>Alter/Repair | L.L.<br>Becker                        | Contractor:<br>Patton Blind<br>Patent Co.     | \$40    | Repair roof around<br>elevator shaft, recoat fire<br>walls with asphalt                                                                                                                                                                                                                                                                                                                                                                         |
| 05/07/1952 | BLDG-<br>Alter/Repair |                                       | Williams<br>Waterproofing<br>and painting Co. | \$1,000 | Alter parapet walls along<br>Ocean Front and<br>Speedway elevations                                                                                                                                                                                                                                                                                                                                                                             |
| 03/04/1953 | BLDG-<br>Alter/Repair |                                       | Termite Insulating<br>Co.                     | \$450   | Cut off basement partition<br>walls in areas where<br>indicated, raise<br>foundations above top of<br>concrete slab, replacing<br>stucco where removed,<br>cut off damage in posts in<br>basement, at P, and install<br>on concrete beams<br>extending to top of<br>concrete floor, drill and<br>chemically treat drywood<br>termite infestations in<br>window frames and tower<br>elevator shaft opening<br>inside plaster where<br>necessary. |
| 12/21/1954 | BLDG-<br>Alter/Repair | Louis<br>Becker                       |                                               | \$125   | Post three new ceiling on<br>1 X 3 furring, 16" square<br>celotex blocks                                                                                                                                                                                                                                                                                                                                                                        |
| 07/23/1958 | BLDG-<br>Alter/Repair |                                       | ABC<br>Sandblasting Co.                       | \$1,180 |                                                                                                                                                                                                                                                                                                                                                                                                                                                 |

| Date       | Permit Type           | Owner                      | Architect/Builder/<br>Contractor                      | Value    | Description                                                                                                                                              |
|------------|-----------------------|----------------------------|-------------------------------------------------------|----------|----------------------------------------------------------------------------------------------------------------------------------------------------------|
| 08/10/1965 | BLDG-<br>Alter/Repair |                            | A.J. Griffin                                          |          | Comply with file X21173                                                                                                                                  |
| 02/07/1974 | BLDG-<br>Alter/Repair | Robert Washburn            |                                                       |          | Comply with fire safety ordinance                                                                                                                        |
| 05/26/1976 | BLDG-<br>Alter/Repair | Robert Washburn            |                                                       | \$1,000  | Repair fire damage-non-structural                                                                                                                        |
| 04/27/1987 | BLDG-<br>Alter/Repair | Mike Neal                  |                                                       |          | Comply with Dorothy Mae Ordinance                                                                                                                        |
| 03/05/1988 | BLDG-<br>Alter/Repair | Marsten Management Company |                                                       |          | Install security bars with quick release devices                                                                                                         |
| 12/20/1988 | BLDG-<br>Alter/Repair | Mike Neal                  | Engineer: Joseph Zelner & Associates                  |          | Fully comply with Division 88 RC-3                                                                                                                       |
| 08/20/1991 | BLDG-<br>Alter/Repair | Mike Neal                  | Engineer: Joseph Zelner & Associates                  |          | Install outer gunite and anchor brick veneer                                                                                                             |
| 08/03/1995 | BLDG-<br>Alter/Repair | Jack Area                  | Engineer: Seni Paibul                                 |          | Earthquake damage repair, gunite east elevation                                                                                                          |
| 04/26/1999 | BLDG-<br>Alter/Repair | Tnt Property Mast          | All-American Roofing Co. West                         | \$1,177  | Reroof with 3-ply cap sheet over existing roof, 28 sq 5 yrs                                                                                              |
| 02/24/2000 | BLDG-<br>Alter/Repair | Tnt Property Mast          | Engineer: John Lambert                                | \$1,670  | Interior remodel, no change in number of units, new interior walls, URM building, revise crosswalls,                                                     |
| 06/26/2000 | BLDG-<br>Alter/Repair | Venice Suites LLC          | Architect: John Barnany<br><br>Engineer: John Lambert | \$280    | Install supports for existing window, 5' opening where concrete lintel have cracks or spalled concrete & corroded reinforcing, total of 28 such openings |
| 09/13/2016 | BLDG-<br>Alter/Repair | Venice Suites LLC          | Architect: John Barnany<br>Engineer: John Lambert     | \$50,000 | Interior and exterior remodel of four-story apartment building                                                                                           |

### Subject Property History

The subject property was originally owned and managed by J.R. and Lulu A. Winn, and according to a 1926 building permit was a 32-unit apartment house called the "Winn Apartments." By 1936, the owner and manager changed to William C. and Laurie T. Kerr, and the "Winn Apartments" became "Biltmore Apartments." Since construction, the building has operated as an apartment house offering both short and long-term stays. The current owner purchased the building in 1999 and has since operated it as a hotel known as Venice Suites.

## B. STATEMENT OF SIGNIFICANCE

### Previous Surveys

The subject property was identified as an historic resource in the City of Los Angeles (City) General Plan Land Use Element in the 2000 Venice Community Plan (Plan). The Plan contains the Venice Historic Sites Survey Report of 1990 in Appendix A of the Plan, wherein the subject property was known as “Biltmore by the Sea (1921)”<sup>1</sup> and included in the list of “Landmarks.” The subject property was also identified in SurveyLA, as eligible for designation at the state and local levels. The survey results were published on the SurveyLA website in 2015, which identified the subject property as individually eligible for designation as a Historic-Cultural Monument (HCM), under the “Residential Development & Suburbanization, 1850-1980” context, “Multi-Family Residential, 1910-1980” sub-context, “Multi-Family Residential, 1910-1980” theme, and “Apartment Houses, 1910-1980” sub-theme.

### History of Venice

The origins of Venice were influenced by beachfront development along the Santa Monica coastline starting in the mid-19th century. At this time, Santa Monica Canyon was used for seaside camping in tents, and gradually tents were supplemented and eventually replaced with more permanent buildings, both in the canyon and further south.<sup>2</sup> Among the more notable permanent buildings to be erected on the beach in the early years were bath houses, structures that housed changing rooms, individual chambers with tubs full of seawater for bathing, and other amenities, including plunges or swimming pools. The Arcadia Hotel, the first luxury hotel in Santa Monica, was constructed in 1886, soon followed by the Arcadia Bath House. The construction of more bath houses and hotels would follow, contributing to the success of tourism and recreation in the area.

In 1891, real estate developer and tobacco tycoon Abbot Kinney and his business partner Francis Ryan came to the area now known as Venice, and purchased a 1.5-mile strip of land previously part of Rancho La Ballona. In 1902, following Ryan’s unexpected death, Kinney joined with three business partners, Alexander Fraser, Henry Gage, and George Merritt Jones, to develop a beachfront community. Most of the land was subdivided into the Golden Bay Tract, which includes the subject property. This tract was unique in its design, as it featured separate streets for pedestrian and automobile use, which resulted in a parallel plan of streets for walking, streets for driving, and alleys.<sup>3</sup>

Following disputes with his business partners, the land was divided, and Kinney retained the portion of the tract south of Marine Street, which includes the subject property. Residents in this area voted to establish a separate city.<sup>4</sup> This city, then known as Ocean Park, is where Kinney would develop “Venice of America” (Venice), a project inspired by the marsh landscape, which reminded him of the Italian city. His vision for Venice was to create a resort-themed community that would inspire a “cultural renaissance” in America,<sup>5</sup> and the basis of his plan was to recreate the Italian canals. Kinney hired Frank Durham, who had worked on several East Coast beachfront communities including Atlantic City, to be superintendent. Enamored with the “City Beautiful” movement, Kinney hired an apprentice in the office of New York-based Fredrick Law Olmstead to design Venice.<sup>6</sup>

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<sup>1</sup> According to current ownership, this title was painted on the north elevation when he purchased the property. The title “Biltmore by the Sea” does not appear on building permits or within City directories.

<sup>2</sup> Ernest Marquez, *Santa Monica Beach: A Collector’s Pictorial History*, (Santa Monica: Angel City Press, 2004), 15.

<sup>3</sup> Historic Resources Group, “SurveyLA, Venice Community Plan Area,” City of Los Angeles Office of Historic Resources, March 2015, 5-6.

<sup>4</sup> There were originally two separate neighborhoods known as Ocean Park. In 1911, the southern “Ocean Park,” became Venice. The northern area known as Ocean Park was annexed to the City of Santa Monica in 1907.

<sup>5</sup> Historic Resources Group, “SurveyLA, Venice Community Plan Area,” City of Los Angeles Office of Historic Resources, March 2015, 6.

<sup>6</sup> *Ibid.*, The City Beautiful Movement emerged during the World’s Columbian Exposition in Chicago in 1893, in which Fredrick Law Olmstead was the landscape architect.



The plan for Venice included areas for recreational, commercial, and residential development. In 1904, the 1,400-foot Venice Pier was constructed in conjunction with extension of a boardwalk from the north, then referred to as “The Promenade,” which would later become “Ocean Front Walk.” Windward Avenue, which was meant to be the first image of Venice for visitors arriving by streetcar, was designed to replicate Italian Renaissance architecture, and featured colonnaded walkways.

Venice officially opened in 1905 as a resort city with the canals not yet complete. Despite the subdivision and sale of lots for residential development, housing construction remained minimal. Early commercial buildings reflected the Italian Renaissance and Italianate styles, a trend that continued through the early 1920s.<sup>7</sup> Venice featured ornamental streetlights and some brick paved streets.<sup>8</sup> Venice was initially extremely popular, with a reported 40,000 visitors arriving during opening weekend. The streetcar was important to this success, as the Venice Short Line, operated by the Los Angeles and Pacific Railroad (later Pacific Electric Railway) connected Los Angeles with Venice, Ocean Park and Santa Monica.

Ocean Front Walk, first paved in Santa Monica in 1907, and originally referred to as “The Promenade,” functioned as a seaside boardwalk, punctuated by several piers, and lined with bath houses, small-scale commercial buildings, single and multi-family residences ranging from one to three stories in height, beach clubs, and parking lots. In its early years, wooden shade structures were constructed to allow visitors a break from the sun.<sup>9</sup> Ocean Front Walk, extended from “the new concrete pier at Colorado Avenue, through the Seaside Terrace tract south to the Hollister Pier, making a continuous walk through Santa Monica, Ocean Park and Venice, rivaling the celebrated board walk at Atlantic City.”<sup>10</sup> It was a major infrastructure improvement to the area. By 1955, according to Sanborn maps, Ocean Front Walk extended in a straight line from Santa Monica to Venice.

By the 1920s, the course of Venice’s success began to change. Abbot Kinney died in 1920, and his son Thorton inherited his business. Then, one of the piers burned and was rebuilt. In 1925, after years of political infighting in Venice, it was consolidated into the City of Los Angeles. Maintenance of the canals was both difficult and costly, and most of the canals were filled and paved in 1929. The growing prominence of the automobile also contributed to Venice’s decline, as the narrow streets were not accommodating for cars, and fewer people were using streetcar lines for transportation.

The decline of Venice continued throughout the mid-20<sup>th</sup> century with the closing of the Venice Pier in 1946, which was later demolished. Tourism was further hindered by “Blue laws” enacted by the City in the 1930s and 1940s that ended gambling and dancing on Sundays. In 1950, the Pacific Electric Railway ended the Venice Short Line route, stopping passenger service to Venice. Low tourism revenues sent Venice into an economic depression that continued through the 1970s.

By the 1950s, declining property values led to inexpensive rents in the neighborhood, resulting in an influx of artists moving to the predominately working-class neighborhood of Venice. Among the artists who came to Venice were designers Charles and Ray Eames, whose offices were located in a brick warehouse at 901 Abbot Kinney Boulevard (then known as West Washington Boulevard). High demand for Eames furniture caused them to expand so that the office occupied the whole building in the late 1950s. This building remained the company’s office until 1988.

Also in the late 1950s and early 1960s, counterculture artists, such as poet Allen Ginsberg, and artist Earl Newman began moving to the area in part because the neighborhood was viewed as accepting

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<sup>7</sup> The Italianate style, popular from the mid to late-19<sup>th</sup> century, was a less learned style than Italian Renaissance, and designs for the style were shared through pattern books. Italian Renaissance, most popular between 1890-1935, was more closely based on Italian buildings.

<sup>8</sup> The last extant example of an original streetlight exists at the corner of Cabrillo Avenue and Altair Place, Historic Resources Group, “SurveyLA, Venice Community Plan Area,” City of Los Angeles Office of Historic Resources, March 2015, 8.

<sup>9</sup> Historic Resources Group, “SurveyLA, Venice Community Plan Area,” City of Los Angeles Office of Historic Resources, March 2015, 10.

<sup>10</sup> “Santa Monica Gets in Line,” *Los Angeles Times*, October 3, 1909, V20.

and tolerant of their lifestyle. The Venice Planning Committee, a group formed in 1961 by residents and business owners, reacted negatively to the emergence of the artist community, and recommended that the City institute more stringent building inspections with the unstated goal of expelling some residents by condemning buildings in which they were residing. As a result of the inspections, over 1,000 buildings were determined to require serious repair. A total of 550 of these properties were demolished because the repairs were deemed more expensive than property values.<sup>11</sup>

Despite the economic decline, visitors still came to the Venice, though in smaller numbers, but increasingly for exercise rather than recreation. Weight lifting on Venice beach started in the early 1950s, and became especially popular following the closure of Muscle Beach in Santa Monica in 1959. In 1962, the City built a new recreation center, sports facilities, and lifeguard building to meet the demand for exercise related amenities.<sup>12</sup> In 1963, Joe Gold opened the first Gold's Gym in a storefront on Pacific Avenue in Venice.

Constructed in 1921 on Ocean Front Walk, the subject property is a pre-annexation example of the early development of Venice as a beachfront community. Therefore, for its relationship to the development of the neighborhood, the subject property is eligible under Criteria 1 as representing the broad cultural, economic, and social history of the community of Venice.

### Beach tourism and recreation

The height of beach tourism and recreation in the areas of Santa Monica and Venice occurred between 1890 and 1930. Founded in 1875, Santa Monica was originally home to a sheep ranch near the current northern boundary of the city. Shortly after this period, the Los Angeles and Independence Railroad transformed Santa Monica into an industrial area. The founders of Santa Monica commissioned construction of the 4,700-foot Long Wharf to transport goods that would then be shipped out at sea.<sup>13</sup> By the late 1880s, the railroad industry collapsed, and land values declined.<sup>14</sup> The next era of Santa Monica's history turned toward the beach. Tourists started coming to staying seasonally, and in response the small group of local residents opened a general store, a large sleeping tent, and a grocery store.<sup>15</sup> As the area grew, new cottages, piers, hotels, and bath houses were constructed to accommodate the growing number of visitors.<sup>16</sup>

The piers were particularly important in the development of tourism and recreation in both Santa Monica and Venice. Many piers built along the coastline were specifically intended for recreational use, either for relatively passive activities such as sightseeing, fishing, or eating, or more active pursuits, such as pleasure rides, amusement arcades, and dancing. Abbot Kinney and Francis Ryan built the Ocean Park Pier, at the foot of Pier Avenue north of Venice in the 1890s. Kinney later erected the Venice Pier at the end of Windward Avenue in 1905. Several other piers were constructed in both Santa Monica and Venice, including the Lick, Sunset, and Bristol Piers. The height of pier construction and tourism was the 1910s, when up to eight piers existed. Eventually all the piers were either damaged or destroyed by storms or fire; some were rebuilt.

Beach tourism and recreation declined as a result of the Great Depression and World War II, and by postwar, consumer preferences for recreation had changed. In 1946, the City Department of Parks and Recreation chose not to renew the Venice Pier permit and it was later demolished.<sup>17</sup> In 1950, the Ocean Park Pier was the only amusement pier extant south of the Santa Monica Municipal Pier.

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<sup>11</sup> Historic Resources Group, "SurveyLA, Venice Community Plan Area," City of Los Angeles Office of Historic Resources, March 2015, 16.

<sup>12</sup> Ibid.

<sup>13</sup> Architectural Resources Group and Historic Resources Group, "Santa Monica Historic Resources Inventory Draft Historic Context Statement," City of Santa Monica, 2017, 25.

<sup>14</sup> Ibid., 26.

<sup>15</sup> Architectural Resources Group and Historic Resources Group, "Santa Monica Historic Resources Inventory Draft Historic Context Statement," City of Santa Monica, 2017, 136.

<sup>16</sup> Ibid, 137.

<sup>17</sup> *Santa Monica Beach: A Collector's Pictorial History*, 47.

In an effort to bring back tourists who had abandoned the piers in favor of Disneyland, the Los Angeles Turf Club and Columbia Broadcasting System (CBS), joined together in 1956 to create a new amusement park on the Ocean Park Pier. "Pacific Ocean Park" opened in July 1958, and had first-week sales that exceeded Disneyland.<sup>18</sup> Despite the early success of this amusement park, by 1965, urban renewal projects in Santa Monica made it difficult to travel to the park. Pacific Ocean Park filed for bankruptcy and closed in 1967.<sup>19</sup> Today, the Santa Monica Municipal Pier is the only extant amusement pier in the area, and has continually supported many of the same attractions. The Venice Fishing Pier, built in 1965, has been rebuilt over time as a result of storm damage, and remains extant today, though lacking the activities of Santa Monica Municipal Pier to the north.<sup>20</sup>

Ocean Front Walk, once a boardwalk that spanned uninterrupted from Santa Monica to Venice is now broken up into sections between the two locations. In Santa Monica, Ocean Front Walk is a curvilinear pedestrian way that spans from the Santa Monica Municipal Pier to Bicknell Avenue, where it is interrupted by two parking lots and Dorothy Green Park. However, in Venice, Ocean Front Walk still functions as a complete, uninterrupted, linear pedestrian way that continues for approximately two and a half miles from Barnard Way, the northern City boundary, to Marina Del Rey, the southern City boundary.

Despite no longer having an amusement pier, tourism remains a major industry in Venice, and it is reportedly the second most popular tourist destination in southern California after Disneyland.<sup>21</sup> The subject property was constructed for tourists, and continues to be an integral part of the tourism industry, through its operation as a beachfront hotel on Ocean Front Walk. Therefore, in the context of beach tourism and recreation, the subject property is eligible for designation under Criterion 1 as representing the broad cultural, economic, and social history of the community of Venice.

#### Apartment Hotels

Like greater Los Angeles, one of the ways Venice met the need to house both permanent residents and tourists was through construction of hotels, apartment hotels, and apartment houses. The construction of hotels in Los Angeles began during the real estate boom of the 1880s. Early hotels were constructed Downtown, to serve people arriving by train, were typically two to five stories tall, and featured ground floor retail and shared bathrooms.<sup>22</sup>

The concept of hotels having guestrooms that featured small kitchens began the early 1900s. The first hotel rooms to have kitchens typically had a full-sized sink, an icebox or refrigerator, and a hot plate and warming oven, if not a full stove. By the 1920s these spaces were termed "kitchenettes," and were approximately six by eight feet.<sup>23</sup> Also by the 1920s, hotel guestrooms had private bathrooms, a luxury afforded by improvements in ventilation, which allowed for windowless bathrooms.<sup>24</sup>

In the SurveyLA "Commercial Development, Hotels, 1890-1980" context, an apartment hotel "is defined as a hotel containing a room, or more commonly a suite of rooms, which includes facilities for dining and some form of food preparation."<sup>25</sup> It typically provided common spaces and housekeeping, like a hotel.

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<sup>18</sup> *Santa Monica Beach: A Collector's Pictorial History*, 47

<sup>19</sup> *Ibid.*

<sup>20</sup> Gordan Dillow, Mathias Chazanov, "Standing Firm: Area Piers Survive the Ravages of Time and Tide to Enjoy a New Wave of Renovation," *Los Angeles Times*, December 11, 1994.

<sup>21</sup> According to the Venice Chamber of Commerce, <http://venicechamber.net/visitors/about-venice/>.

<sup>22</sup> Daniel Prosser, "SurveyLA Citywide Historic Context Statement, Commercial Development, 1859-1980/Hotels, 1870-1980 Draft," City of Los Angeles Office of Historic Resources, August 2016, 7.

<sup>23</sup> *Ibid.*, 61.

<sup>24</sup> *Ibid.*, 15.

<sup>25</sup> Daniel Prosser, "SurveyLA Citywide Historic Context Statement, Commercial Development, 1859-1980/Hotels, 1870-1980 Draft," City of Los Angeles Office of Historic Resources, August 2016, 61.

As stated by Columbia University professor, Gwendolyn Wright, in *Building the Dream: A Social History of Housing in America*, apartment houses were commonly interchangeably referred to as apartment hotels, as they often provided guests with communal areas and facilities while offering guests the option to stay for a range of time (i.e. daily, weekly, monthly). This is evidenced by the Breeze Hotel (1930), which was identified in SurveyLA as an individual resource as a hotel, and listed as an "Apartment" on Sanborn maps.

In Venice, apartment hotels were constructed to accommodate tourists. Most extant examples were constructed between the 1910s and 1930s. Aside from the subject property, these include the Phoenix House (1913), The Potter (1912), Walker Arms (1928), and Ames Apartments (1913). In addition, hotels along Ocean Front Walk in Venice include Hotel Waldorf (1913), King George Hotel (1912), and Cadillac Hotel (1914). Each of these properties contributed to Venice being a popular tourist destination in the early 20<sup>th</sup> century.

While many apartment hotels in Los Angeles featured upwards of 100 units, in Venice these buildings, including the subject property, were typically smaller buildings, and were less likely to have common areas. Apartment hotels were popular throughout the 1910s and 1920s, and waned in popularity beginning with the Great Depression. Following the Great Depression and World War II, this building type was replaced with motels, which were typically one to two stories, as this building type was more compatible with the automobile. The decline of this building type in Venice is concurrent with the overall decline in beach tourism during the late 20<sup>th</sup> century, influenced by the end of streetcar transportation and the rise of the automobile.

The subject property is an excellent example of an extant apartment hotel in Venice. Therefore, the subject property is eligible under Criteria 1 as representing the broad cultural, economic, and social history of the community of Venice.

### Conclusion

Constructed in 1921 on Ocean Front Walk, the subject property is a pre-annexation example of the early development of Venice as a beachfront community. The subject property was constructed for tourists, and continues to be an integral part of the tourism industry, through its operation as a beachfront hotel. As an excellent example of an apartment hotel where tourists could stay daily, weekly, or monthly, the subject property represents the building type in Venice. Therefore, for its association with the history of Venice, the development of beach tourism and recreation, and as an example as an apartment hotel, the subject property is eligible under Criteria 1 as an Historic-Cultural Monument.

## Bibliography

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Prosser, Daniel. "SurveyLA Citywide Historic Context Statement, Commercial Development, 1859-1980/Hotels, 1870-1980 Draft." City of Los Angeles Office of Historic Resources, August 2016.

"Santa Monica Gets in Line," *Los Angeles Times*, October 3, 1909.

ATTACHMENTS  
**417 OCEAN FRONT WALK**  
**LOS ANGELES, CALIFORNIA**

- ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS
- ATTACHMENT B: HISTORIC PHOTOGRAPHS
- ATTACHMENT C: PERMIT RESEARCH
- ATTACHMENT D: DIRECTORY RESEARCH
- ATTACHMENT E: DEEDS
- ATTACHMENT F: NEWSPAPER RESEARCH
- ATTACHMENT G: 1930 CENSUS
- ATTACHMENT H: SANBORN MAP
- ATTACHMENT I: PREVIOUS HISTORICAL IDENTIFICATION
- ATTACHMENT J: EXISTING FLOOR PLANS AND ELEVATIONS
- ATTACHMENT K: ZIMAS PARCEL REPORT

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ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS  
**417 OCEAN FRONT WALK**  
**LOS ANGELES, CALIFORNIA**

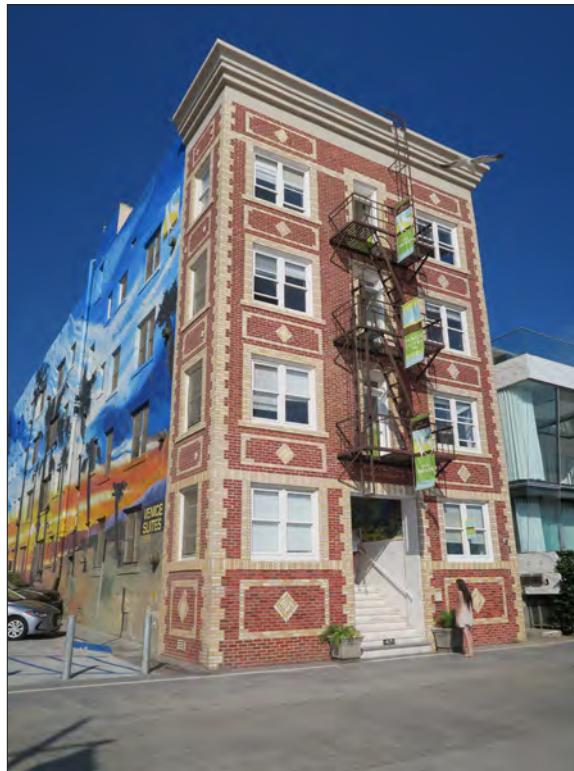


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ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 1:** West elevation (primary facade), view east (Chattel, 2017)



**Image 2:** West elevation, northwest corner, view southeast (Chattel, 2017)

ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 3:** West elevation, southwest corner, view northwest (Chattel, 2017)



**Image 4:** North elevation, view southeast (Chattel, 2017)



ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 5:** North elevation, view southwest (Chattel, 2017)



**Image 6:** East elevation, view southwest (Chattel, 2017)

ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 7:** East elevation, view northwest (Chattel, 2017)



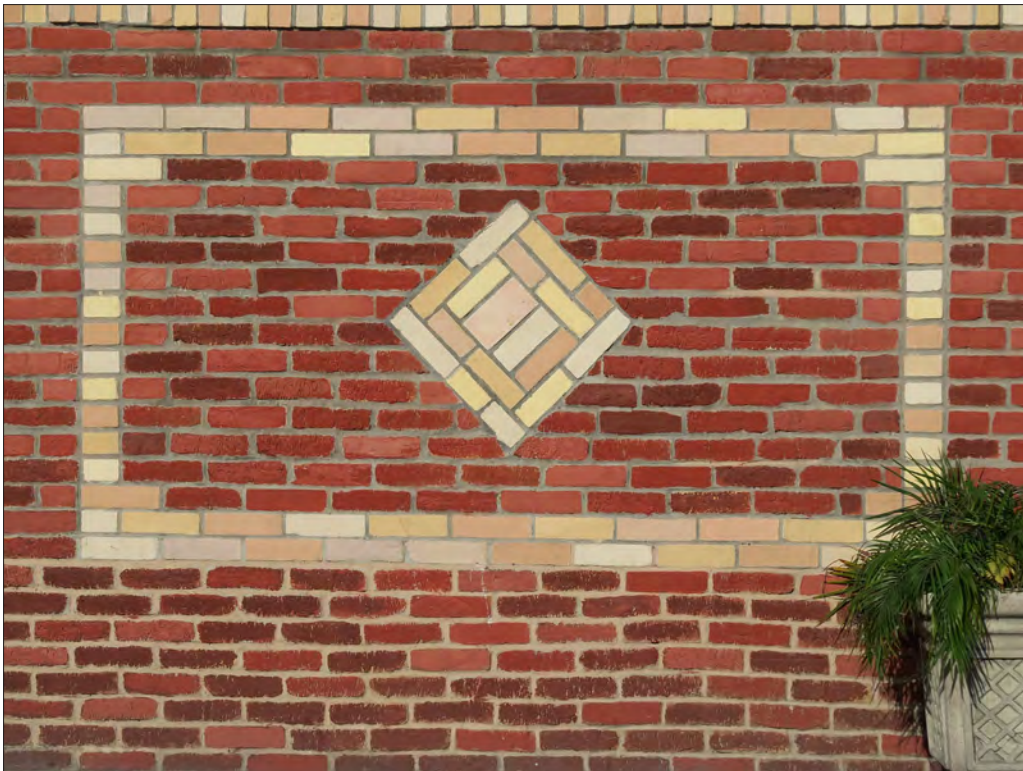
**Image 8:** Southeast corner, view northwest (Chattel, 2017)



ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 9:** West elevation, recessed central entryway, view northeast (Chattel, 2017)



**Image 10:** West elevation, detail of overpainted face brick (Chattel, 2017)

ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 11:** West elevation, wood door to fire escape, view northwest (Chattel, 2017)



**Image 12:** West elevation, recessed central entryway, view northeast (Chattel, 2017)



ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



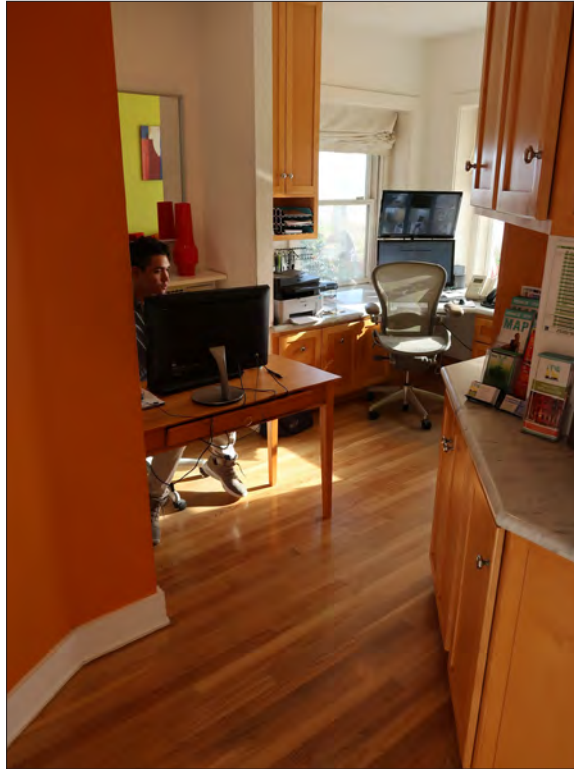
**Image 13:** West elevation, recessed central entryway, view northeast (Chattel, 2017)



**Image 14:** First floor, typical hallway, view east (Chattel, 2017)



ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 15:** First floo , front office, view southwest (Chattel, 2017)



**Image 16:** First floo , front office, view east (Chattel, 2017)

ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 17:** First floo , front office, view west (Chattel, 2017)



**Image 18:** First floo , elevator door (Chattel, 2017)

ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 19:** Elevator cab interior (Chattel, 2017)



**Image 20:** First floor , mailboxes, view east (Chattel, 2017)



ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 21:** First floor , mechanical closet door (Chattel, 2017)



**Image 22:** First to second floor stairwell, view northeast (Chattel, 2017)

ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 23:** Second to first floor stairwell, view north (Chattel, 2017)

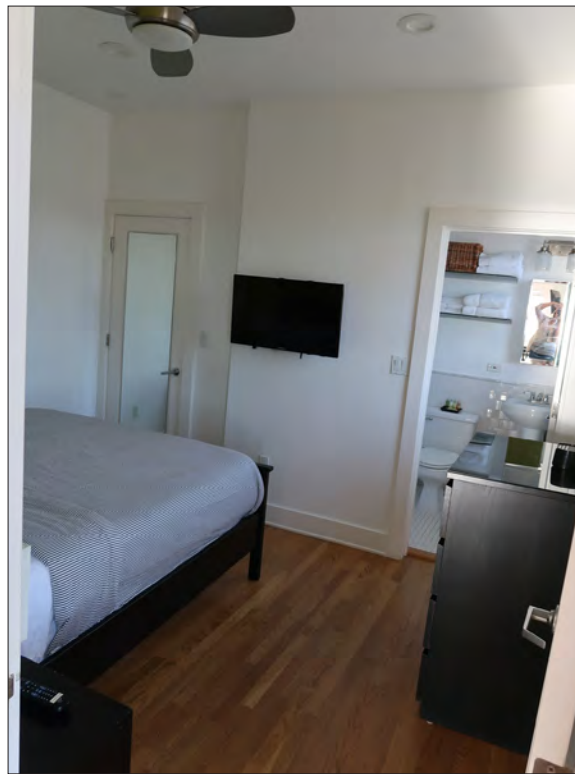


**Image 24:** Third floor , typical guestroom door (Chattel, 2017)

ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 25:** Fourth floo , typical guestroom (Chattel, 2017)

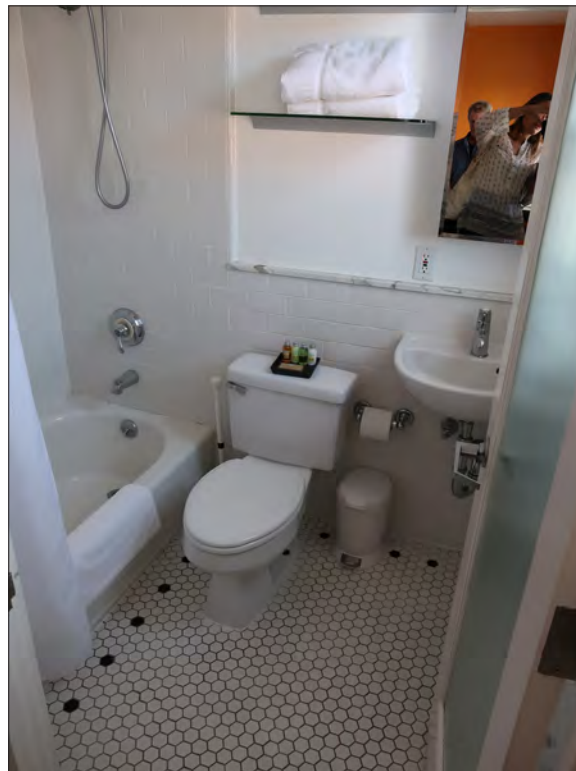


**Image 26:** Fourth floo , typical guestroom (Chattel, 2017)

ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 27:** Fourth floo , closet, typical guestroom (Chattel, 2017)



**Image 28:** Fourth floo , bathroom, typical guestroom (Chattel, 2017)



ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 29:** Fourth floor , larger guestroom kitchen and living area (Chattel, 2017)



**Image 30:** Roof level, laundry room (Chattel, 2017)

ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 31:** Roof-deck, view west (Chattel, 2017)



**Image 32:** Roof-deck, view north (Chattel, 2017)



ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 33:** Roof, parapet, view north (Chattel, 2017)



**Image 34:** Roof, parapet and fire escape, view south (Chattel, 2017)

ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 35:** Roof, view east (Chattel, 2017)



**Image 36:** Typical seismic reinforcement in stairwell (Chattel, 2017)

ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



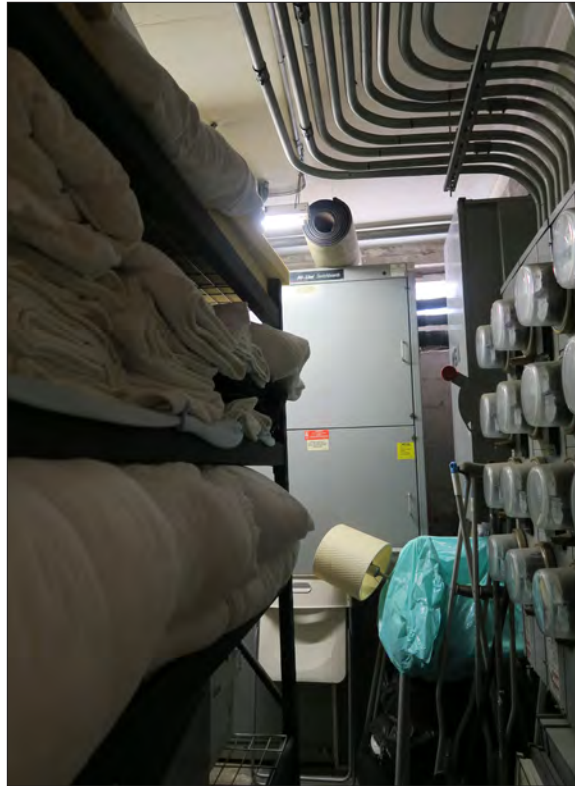
**Image 37:** Typical detail of seismic reinforcement in stairwell (Chattel, 2017)



**Image 38:** Basement, mechanical equipment (Chattel, 2017)



ATTACHMENT A: CONTEMPORARY PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 39:** Basement, mechanical equipment (Chattel, 2017)

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ATTACHMENT B: HISTORIC PHOTOGRAPHS  
**417 OCEAN FRONT WALK**  
**LOS ANGELES, CALIFORNIA**

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ATTACHMENT B: HISTORIC PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 40:** Subject property outlined in red, north elevation, view southeast, original cornice and exposed brick visible (UCLA Air Photo Archives, 1926)



**Image 41:** Subject property, south elevation, view north, original cornice and exposed brick visible (UCLA Air Photo Archives, 1927)

ATTACHMENT B: HISTORIC PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 42:** Subject property, original cornice visible (Huntington Digital Library, Ernest Marquez Collection, 1929)

ATTACHMENT B: HISTORIC PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 43:** Subject property, southwest corner, view northeast (UCLA Air Photo Archives, 1941)



ATTACHMENT B: HISTORIC PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 44:** Subject property, west elevation, cornice removed  
(Carl Lambert, 1997)

ATTACHMENT B: HISTORIC PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 45:** Subject property, west elevation, contemporary cornice visible (unknown, post-1997)

ATTACHMENT B: HISTORIC PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 46:** Subject property outlined in red, Venice context, view northeast (UCLA Air Photo Archives, 1926)



ATTACHMENT B: HISTORIC PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 47:** Subject property outlined in red, Venice context, view northeast (UCLA Air Photo Archives, 1927)

ATTACHMENT B: HISTORIC PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 48:** Subject property outlined in red, Venice context, view northeast (UCLA Air Photo Archives, 1941)



ATTACHMENT B: HISTORIC PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 49:** Venice beach context (Los Angeles Public Library Photo Collection, 1920)

ATTACHMENT B: HISTORIC PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 50:** Muscle beach, Venice beach context (Los Angeles Public Library Photo Collection, 1948)

ATTACHMENT B: HISTORIC PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 51:** Venice pier, view south (Los Angeles Public Library Photo Collection, 1950)

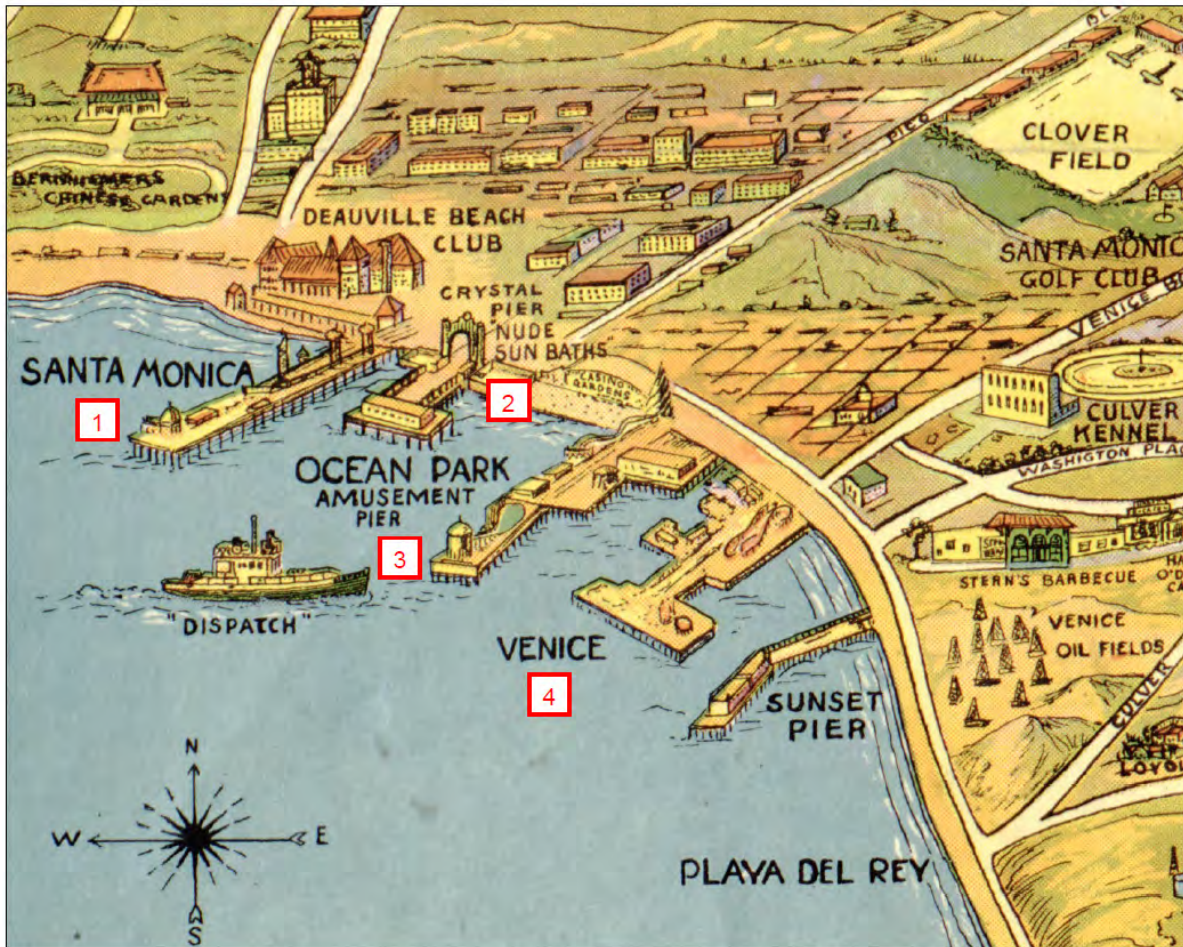
ATTACHMENT B: HISTORIC PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 52:** Apartment hotels, Ocean Front Walk (Los Angeles Public Library Photo Collection, 1921)



ATTACHMENT B: HISTORIC PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 53:** 1932 “Greater Los Angeles: the wonder city of America” tourist map showing Santa Monica and Venice pleasure piers, (Library of Congress)

The numbers corresponding to the piers in this image are as follows :

- 1: *Santa Monica Pier*—which includes both the Santa Monica Municipal Pier (1909) and the Looff Pier (1916)
- 2: *Crystal Pier*—formerly known as the Bristol Pier and White Star Pier (1905)
- 3: *Ocean Park Pier*—which includes both the Lick Pier (formerly Horseshoe Pier and Frasier’s Million Dollar Pier, Pickering Pier –1911) and Ocean Park Pier (1897)
- 4: *Venice Pier*—directly south of Santa Monica (1904)



ATTACHMENT B: HISTORIC PHOTOGRAPHS  
**417 OCEAN FRONT WALK**



**Image 54:** Aerial photograph of pleasure piers along Santa Monica and Venice coast, 1921 (Santa Monica Beach by Ernest Marquez)

The numbers corresponding to the piers in this image are as follows :

- 1: *Santa Monica Pier*—which includes both the Santa Monica Municipal Pier (1909) and the Loeff Pier (1916)
- 2: *Crystal Pier*—formerly known as the Bristol Pier and White Star Pier (1905)
- 3: *Ocean Park Pier*—which includes both the Lick Pier (formerly Horseshoe Pier and Frasier's Million Dollar Pier, Pickering Pier –1911) and Ocean Park Pier (1897)
- 4: *Venice Pier*—directly south of Santa Monica (1904)

ATTACHMENT C: PERMIT RESEARCH  
**417 OCEAN FRONT WALK**  
**LOS ANGELES, CALIFORNIA**

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**All Applications Must be Filled Out by Applicant**

Bldg. Form 3 PLANS AND SPECIFICATIONS  
and other data must also be filed

BUILDING DIVISION

# 3

## DEPARTMENT OF BUILDING AND SAFETY

### Application to Alter, Repair or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:  
Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

|                                                                           | REMOVED FROM                                 | REMOVED TO                             |
|---------------------------------------------------------------------------|----------------------------------------------|----------------------------------------|
| TAKE TO ROOM No. 6 REAR OF NORTH ANNEX 1st Floor CITY CLERK PLEASE VERIFY | Lot _____ Block _____                        | Lot _____ Block _____                  |
|                                                                           | Tract _____                                  | Tract <b>VENICE ANNEX</b>              |
|                                                                           | _____                                        | _____                                  |
|                                                                           | _____                                        | _____                                  |
| TAKE TO FIRST FLOOR 242 SO. BROADWAY ENGINEER PLEASE VERIFY               | Book _____ Page _____ F. B. Page _____       | Book _____ Page _____ F. B. Page _____ |
|                                                                           | From No. <u>417 Ocean Front</u>              | Street _____                           |
|                                                                           | To No. <u>Between Dudley &amp; Palms Ave</u> | Street _____                           |
|                                                                           | (USE INK OR INDELIBLE PENCIL)                |                                        |

1. What purpose is the present Building now used for? Apartment House

2. What purpose will Building be used for hereafter? Same

3. Owner's name Mrs. L. A. Winn Phone St. Maria 83095

4. Owner's address 417 Ocean Front Venice

5. Architect's name J. R. Winn, Jr. Phone " " " "

6. Contractor's name " Phone " " " "

7. Contractor's address 417 Ocean Front, Venice

8. VALUATION OF PROPOSED WORK (Including Plumbing, Gas Fitting, Sewers, Campools, Elevators, Painting, Finishing, all Labor, etc.) \$ 100.00

9. Class of present Building C No. of rooms at present 108

10. Number of stories in height 4 Size of present Building 30' x 130'

11. State how many buildings are on this lot One

12. State purpose buildings on lot are used for Apartment House  
(Apartment House, Hotel, Residence, or any other purpose.)

STATE ON FOLLOWING LINES EXACTLY WHAT ALTERATIONS, ADDITIONS, ETC., WILL BE MADE TO THIS BUILDING:

This escape stair ladder on front end of escapes to be built in compliance with Fire Prevention Bureau Order # 295513 served July 29, 1926 by Capt. D. G. Hubbard

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

**OVER** (Sign here) John R. Winn, Jr.  
(Owner or Authorized Agent)

| FOR DEPARTMENT USE ONLY        |                                                                                                                               |                                                                        |                                                                                      |
|--------------------------------|-------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------|--------------------------------------------------------------------------------------|
| PERMIT NO.<br><br><b>23820</b> | Plans and Specifications checked and found to conform to Ordinances, State Laws, etc.<br><u>S. H. Finkle</u><br>Plan Examiner | Application checked and found O. K.<br><u>J. R. Winn, Jr.</u><br>Clerk | Stamp here when permit is issued.<br><b>ISSUED</b><br>AUG 18 1926<br><b>RECEIVED</b> |

*Flork*

Image 55: Earliest available building permit, 1926 permit for fire escape (page 1 of 2)



ATTACHMENT C: PERMIT RESEARCH  
417 OCEAN FRONT WALK

13. Size of new addition.....*None*.....No. of Stories in height.....  
14. Material of foundation.....Size footings.....Size wall.....Depth below ground.....  
15. Size of Redwood Mudsills.....*x*.....Size of interior bearing studs.....*x*.....  
16. Size of exterior studs.....*x*.....Size of interior non-bearing studs.....*x*.....  
17. Size of first floor joists.....*x*.....Second floor joists.....*x*.....  
18. Will all provisions of State Housing Act be complied with?.....

I have carefully examined and read the above blank and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

(Sign here)

*John P. Wynn, Jr.*  
(Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY

|                    |                  |
|--------------------|------------------|
| APPLICATION        | O. K.            |
| CONSTRUCTION       | O. K. <i>SAF</i> |
| ZONING             | O. K. <i>CP</i>  |
| SET-BACK LINE      | O. K. <i>CP</i>  |
| ORD. 33761 (N. S.) | O. K.            |
| FIRE DISTRICT      | O. K. <i>SAF</i> |

REMARKS

Image 56: 1926 permit for fire escape (page 2 of 2)

Std. Form 3

3

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
BUILDING DIVISION

USE INK OR  
INDELEBIL PENCIL

VENICE DISTRICT

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

- First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.  
Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.  
Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot.....

Tract.....

Present location of building { 417 Ocean Front - Venice (House Number and Street) Approved by City Engineer.

New location of building { (House Number and Street) Deputy.

Between what cross streets {

1. Purpose of PRESENT building. Apartment. Unoccupied. Families..... Rooms.....  
Store, Residence, Apartment House, or any other purpose.

2. Use of building AFTER alteration or moving. Same. Families..... Rooms.....

3. Owner (Print Name). Security - 1st National Bank of Los Angeles Phone. MU 02-11

4. Owner's address. 625 Spring

5. Certificated Architect. State License No. Phone.

6. Licensed Engineer. State License No. Phone.

7. Contractor. State License No. Phone.

8. Contractor's address.

9. VALUATION OF PROPOSED WORK (including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon) \$ 190.00

10. State how many buildings NOW on lot and give use of each. Residence, Hotel, Apartment House, or any other purpose.

11. Size of existing building. 29 x 126. Number of stories high. 4. Height to highest point.....

12. Class of building. C. Material of existing walls. Brick. Exterior framework. Wood or Steel

Describe briefly and fully all proposed construction and work:

Removing existing gravel & applying a new composite Roof

6-25-34 No Certificate required C.A.B.

Fill in Application on other Side and Sign Statement

(OVER)

|                                     |                                                               |                                                    |                            |  |                                                                                      |
|-------------------------------------|---------------------------------------------------------------|----------------------------------------------------|----------------------------|--|--------------------------------------------------------------------------------------|
| PERMIT NO.<br><br>7839<br><br>PLANS | FOR DEPARTMENT USE ONLY                                       |                                                    |                            |  | Fee 2.00<br><br>Stamp here when Permit is issued<br><br>JUN 15 1934<br><br>Inspector |
|                                     | Plans and Specifications checked                              | Zone C                                             | Fire District No. 1        |  |                                                                                      |
|                                     | Corrections verified                                          | Bldg. Line                                         | Street Widening            |  |                                                                                      |
|                                     | Plans, Specifications and Applications rechecked and approved | Application checked and approved<br>6-15-34 C.A.B. |                            |  |                                                                                      |
| For Plans See                       | Filed with                                                    | Required Valuation Included                        | SPRINKLER Specified Yes-No |  |                                                                                      |

Image 57: 1934 permit for removing existing gravel and applying a new composite roof (page 1 of 2)

PLANS, SPECIFICATIONS, and other data must be filed if required.

**NEW CONSTRUCTION**

Size of Addition.....x.....Size of Lot.....x.....Number of Stories when complete.....  
Material of Foundation.....Width of Footing.....Depth of footing below ground.....  
Width Foundation Wall.....Size of Redwood Sill.....x.....Material Exterior Walls.....  
Size of Exterior Studs.....x.....Size of Interior Bearing Studs.....x.....  
Joists: First Floor.....x.....Second Floor.....x.....Rafters.....x.....Roofing Material.....

I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State laws.

Sign Here.....*Security - 1st National Bank of Los Angeles*.....  
(Owner or Authorized Agent)  
By.....*J. H. Bryant*.....

| FOR DEPARTMENT USE ONLY |                    |                      |                          |
|-------------------------|--------------------|----------------------|--------------------------|
| Application.....        | Fire District..... | Bldg. Line.....      | Termite Inspection.....  |
| Construction.....       | Zoning.....        | Street Widening..... | Forced Draft Ventil..... |

|                                                                                                                                               |                                                                                                                                                                                                                               |
|-----------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| (1)<br><b>REINFORCED CONCRETE</b><br>Barrels of Cement.....<br>Tons of Reinforcing Steel.....<br>Sign Here.....<br>Owner or Authorized Agent. | (2)<br>The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from.....Street<br>Sign Here.....<br>(Owner or Authorized Agent)                                        |
| (3)<br>No required windows will be obstructed.<br>Sign Here.....<br>Owner or Authorized Agent.                                                | (4)<br>There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.<br>Sign Here.....<br>Owner or Authorized Agent. |

REMARKS: .....

ALL WOOD AND LUMBER BELOW THE FIRST FLOOR BOARDS WILL BE TREATED AGAINST TERMITE INFESTATION AS REQUIRED BY SEC. 106 OF BUILDING ORDINANCE.

OWNER OR AUTHORIZED AGENT.....

Image 58: 1934 permit for removing existing gravel and applying a new composite roof (page 2 of 2)

Bldg. Form #

3

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
BUILDING DIVISION

USE INK OR  
INDELIBLE PENCIL

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:  
Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:  
First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.  
Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.  
Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot.....  
Tract.....  
Present location of building } 417 Ocean Front Walk } Approved by  
(House Number and Street) } City Engineer.  
New location of building } Same } Deputy.  
(House Number and Street) }  
Between what } Dudley Ave }  
cross streets }

VENICE DISTRICT

- Purpose of PRESENT building. Apartment Families 32 Rooms 44  
Store, Residence, Apartment, House, or any other purpose.
- Use of building AFTER alteration or moving. Same Families 32 Rooms 44
- Owner (Print Name). SECURITY - FIRST NATIONAL BANK Phone. MO 0211
- Owner's address. 215 W 5th ST
- Certificated Architect. None State License No. .... Phone. ....
- Licensed Engineer. None State License No. .... Phone. ....
- Contractor. Raymond J. Brown State License No. 31484 Phone. WT 1082
- Contractor's address. 1219 W. 11th St
- VALUATION OF PROPOSED WORK 300  
(Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon.)
- State how many buildings NOW on lot and give use of each. One Apartment House  
Residence, Hotel, Apartment House, or any other purpose.
- Size of existing building 30 x 120 Number of stories high 4 Height to highest point 40'
- Class of building. SC Material of existing walls Brick Exterior framework Brick  
Wood or Steel

Describe briefly and fully all proposed construction and work:

Miscellaneous patching of plaster, adjusting doors and windows  
No structural changes

Fill in Application on other Side and Sign Statement

(OVER)

|                               |                                                               |                                                      |                                              |  |                                                                                    |
|-------------------------------|---------------------------------------------------------------|------------------------------------------------------|----------------------------------------------|--|------------------------------------------------------------------------------------|
| PERMIT NO.<br><br><b>5072</b> | FOR DEPARTMENT USE ONLY                                       |                                                      |                                              |  | Fee. <u>2.50</u><br><br>Stamp here when Permit is issued<br><br><b>MAR 28 1935</b> |
|                               | Plans and Specifications checked                              | Zone <u>C</u>                                        | Fire District No. <u>#1</u>                  |  |                                                                                    |
|                               | Corrections verified                                          | Bldg. Line <u>None</u>                               | Street Widening <u>None</u>                  |  |                                                                                    |
|                               | Plans, Specifications and Applications rechecked and approved | Application checked and approved <u>3-20-35 T.M.</u> |                                              |  |                                                                                    |
| PLANS                         | For Plans See                                                 | Filed with                                           | Required Valuation Included <u>SPRINKLER</u> |  | Inspector                                                                          |

Image 59: 1935 permit for miscellaneous patching of plaster, and adjusting doors and windows (page 1 of 2)





Div. Form 3

USE INK OR  
INDELIBLE PENCIL

3

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:  
Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:  
First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.  
Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.  
Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession of, property described in such permit.

REMOVED FROM

REMOVED FROM DISTRICT

Lot.....  
Tract.....  
Present location of building: 417 Ocean Front Walk Venice Calif.  
(House Number and Street)  
New location of building: Same  
(House Number and Street)  
Between what cross streets: Neen and Dudley

Approved by  
City Engineer.  
Deputy.

- Purpose of PRESENT building: Apartment House Families 32 Rooms 32  
Store, Residence, Apartment House, or any other purpose.
- Use of building AFTER alteration or moving: Same Families..... Rooms.....
- Owner (Print Name): SECURITY FIRST NATIONAL BANK Phone: MO 0311
- Owner's address: 215 W - 6th City
- Certificated Architect:..... State License No..... Phone.....
- Licensed Engineer:..... State License No..... Phone.....
- Contractor: Raphael J. Brenner State License No. 31484 Phone: WH 1092
- Contractor's address: 1267 Alhambra Ave
- VALUATION OF PROPOSED WORK: 500.00  
(Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon.)
- State how many buildings NOW on lot and give use of each: One
- Size of existing building: 34 x 120 Number of stories high: 4 Height to highest point: 50  
Residence, Hotel, Apartment House, or any other purpose
- Class of building: C Material of existing walls: Brick Exterior framework:.....  
Wood or Steel

Describe briefly and fully all proposed construction and work:

Install used elevator in existing plastered shaft. New Elevator pit and plaster walls of pent house. 4 new metal doors for elevator.  
No certificate required

Fill in Application on other Side and Sign Statement

(OVER)

|                                                             |                                                                                |                                                                                 |                                 |                                                                                                    |
|-------------------------------------------------------------|--------------------------------------------------------------------------------|---------------------------------------------------------------------------------|---------------------------------|----------------------------------------------------------------------------------------------------|
| PERMIT NO.<br><br><b>4949</b><br><br>PLANS<br><u>3/1/35</u> | FOR DEPARTMENT USE ONLY                                                        |                                                                                 |                                 | Fee: <u>250</u><br><br>Stamp here when Permit is issued<br><br><b>MAR 27 1935</b><br><br>Inspector |
|                                                             | Plans and Specifications checked<br><u>Th...</u>                               | Zone<br><u>C</u>                                                                | Fire District<br>No. <u>#1</u>  |                                                                                                    |
|                                                             | Corrections verified<br><u>Th...</u>                                           | Bldg. Line<br><u>7600 ft.</u>                                                   | Street Widening<br>ft. <u>0</u> |                                                                                                    |
|                                                             | Plans, Specifications and Applications rechecked and approved<br><u>3/1/35</u> | Application checked and approved<br><u>3/1/35</u><br>Clerk: <u>R. H. Muller</u> |                                 |                                                                                                    |
| For Plans See<br><u>3/1/35</u>                              | Filed with<br><u>3/1/35</u>                                                    | Required<br><u>SPRINKLER</u>                                                    | Specified<br><u>Yes</u>         |                                                                                                    |

Image 61: 1935 permit to install used elevator in existing plaster shaft, new elevator pit and plaster walls of penthouse (page 1 of 2)



City Form 3

3

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
BUILDING DIVISION

USE INK OR  
INDELIBLE PENCIL

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:  
Applicant is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:  
First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.  
Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.  
Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot.....  
Tract.....

Present location of building } 417 Ocean front Venice ca.  
(Route Number and Street)  
New location of building }  
(Route Number and Street)  
Between what cross streets } Dudley & Palmdale

Approved by  
City Engineer

Deputy

VENICE DISTRICT

- Purpose of PRESENT building. apt Families 32 Rooms 70  
(Store, Residence, Apartment House, Hotel, or any other purpose)
- Use of building AFTER alteration or moving. apt Families 32 Rooms 70
- OWNER (Print Name) R. L. Barker. Phone.....
- Owner's Address 417 Ocean front
- Certificated Architect. [Signature] State License No. Phone.....
- Licensed Engineer. [Signature] State License No. Phone.....
- Contractor H. Jensen State License No. 17160 Phone 846605
- Contractor's Address 407 Ocean front
- VALUATION OF PROPOSED WORK (Including all labor and material and all permanent lighting, heating, ventilation, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon) \$1000.00
- State how many buildings NOW on lot and give use of each. One apt (Residence, Hotel, Apartment House, or any other purpose)
- Size of existing building 30 x 125 Number of stories high 4 Height to highest point 50
- Class of building C Material of existing walls Brick Exterior framework (Wood or Steel)  
Describe briefly and fully all proposed construction and work:  
Refacing mortar joints (No Structural Changes)

Fill in Application on other Side and Sign Statement

(OVER)

| PERMIT NO.    |  | FOR DEPARTMENT USE ONLY                      |                                                         | Fee                    |                                  |
|---------------|--|----------------------------------------------|---------------------------------------------------------|------------------------|----------------------------------|
| 23490         |  | Plans and Specifications checked<br>No Plans | Zone<br>C                                               | Fire District<br>No. 1 | Stamp here when Permit is issued |
| PLANS         |  | Corrections verified<br>No Plans             | Blg. Line<br>No                                         | Street Widening<br>No  | JUL 21 1937                      |
| For Plans See |  | Filed with<br>[Signature]                    | Application checked and approved<br>7/21/37 [Signature] | Inspector              |                                  |
| Chg. No.      |  | Required Valuation Included                  | Specified Fee—No                                        |                        |                                  |

Image 63: 1937 permit for refacing mortar joints (page 1 of 2)



**PLANS, SPECIFICATIONS, and other data must be filed if required.**

## NEW CONSTRUCTION

Size of Addition.....x.....Size of Lot.....x.....Number of Stories when complete.....  
 Material of Foundation.....Width of Footing.....Depth of footing below ground.....  
 Width Foundation Wall.....Size of Redwood Sill.....x.....Material Exterior Walls.....  
 Size of Exterior Studs.....x.....Size of Interior Bearing Studs.....x.....  
 Joists: First Floor.....x.....Second Floor.....x.....Rafters.....x.....Roofing Material.....

I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State laws.

Sign Here..... [Signature]  
(Owner or Authorized Agent)

By J. F. Lencer

**FOR DEPARTMENT USE ONLY**

|                                                                                                             |                    |                                                                                                                                                                                                                                            |                          |
|-------------------------------------------------------------------------------------------------------------|--------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|
| Application .....                                                                                           | Fire District..... | Bldg. Line .....                                                                                                                                                                                                                           | Termite Inspection.....  |
| Construction.....                                                                                           | Zoning .....       | Street Widening .....                                                                                                                                                                                                                      | Forced Draft Ventil..... |
| <p>(1) <b>REINFORCED CONCRETE</b></p> <p>Barrels of Cement.....</p> <p>Tons of Reinforcing Steel.....</p>   |                    | <p>(2) The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from .....</p> <p>Street .....</p> <p>Sign Here.....</p> <p>(Owner or Authorized Agent)</p>                          |                          |
| <p>(3) No required windows will be obstructed.</p> <p>Sign Here.....</p> <p>(Owner or Authorized Agent)</p> |                    | <p>(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.</p> <p>Sign Here.....</p> <p>(Owner or Authorized Agent)</p> |                          |

REMARKS: .....

**Image 64:** 1937 permit for refacing mortar joints (page 2 of 2)

Edg. Form 3

3

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
BUILDING DIVISION

USE INK OR  
INDELIBLE PENCIL

VENICE DISTRICT  
Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:  
Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:  
First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.  
Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.  
Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

| REMOVED FROM                                                                                                                                                                                                                       |                                   | REMOVED TO                                   |  |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------|----------------------------------------------|--|
| Lot.....                                                                                                                                                                                                                           |                                   | Lot.....                                     |  |
| Tract.....                                                                                                                                                                                                                         |                                   | Tract.....                                   |  |
| Present location of building } 417 <del>Los</del> Ocean Front.<br>(House Number and Street)                                                                                                                                        |                                   | Approved by<br>City Engineer.<br><br>Deputy. |  |
| New location of building }<br>(House Number and Street)                                                                                                                                                                            |                                   |                                              |  |
| Between what cross streets } Paloma & Sunset.                                                                                                                                                                                      |                                   |                                              |  |
| 1. Purpose of PRESENT building. Residence. Families... 1 Rooms.....<br>(Store, Residence, Apartment House, Hotel, or any other purpose)                                                                                            |                                   |                                              |  |
| 2. Use of building AFTER alteration or moving. Families... Rooms.....                                                                                                                                                              |                                   |                                              |  |
| 3. Owner (Print Name). Builtmore App's. Phone.....                                                                                                                                                                                 |                                   |                                              |  |
| 4. Owner's Address. 417 Ocean Front                                                                                                                                                                                                |                                   |                                              |  |
| 5. Certificated Architect.....                                                                                                                                                                                                     | State License No. Phone.....      |                                              |  |
| 6. Licensed Engineer.....                                                                                                                                                                                                          | State License No. Phone.....      |                                              |  |
| 7. Contractor (Print Name). Patton, plain off                                                                                                                                                                                      | State License No. 5336 Phone..... |                                              |  |
| 8. Contractor's Address. 416 & Colorado                                                                                                                                                                                            |                                   |                                              |  |
| 9. VALUATION OF PROPOSED WORK (including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon.) \$60.00 |                                   |                                              |  |
| 10. State how many buildings NOW on lot and give use of each. Two Residence                                                                                                                                                        |                                   |                                              |  |
| 11. Size of existing building 28 x 32. Number of stories high one. Height to highest point 12                                                                                                                                      |                                   |                                              |  |
| 12. Class of building. Material of existing walls Wood. Exterior framework Wood.<br>(Wood or Steel)                                                                                                                                |                                   |                                              |  |
| Describe briefly and fully all proposed construction and work:<br>Roof with compo shingle                                                                                                                                          |                                   |                                              |  |

Fill in Application on other Side and Sign Statement

(OVER)

| PERMIT NO. |                                                               | FOR DEPARTMENT USE ONLY          |                             | Fee                                                 |           |
|------------|---------------------------------------------------------------|----------------------------------|-----------------------------|-----------------------------------------------------|-----------|
| 569        | Plans and Specifications checked                              | Zone                             | Fire District               | Stamp here when Permit is issued<br><br>JAN -7 1937 | Inspector |
|            | Corrections verified                                          | Std. Lmt                         | Street Widening             |                                                     |           |
|            | Plans, Specifications and Applications rechecked and approved | Application checked and approved |                             |                                                     |           |
|            | For Plans See                                                 | Filed with                       | Required Valuation Included |                                                     |           |
| PLANS      |                                                               | SPRINKLER                        |                             |                                                     |           |
| 45077      |                                                               | NO CERTIFICATE REQUIRE           |                             |                                                     |           |

Image 65: 1937 permit for reroofing with composite shingles (page 1 of 2)

PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition.....x.....Size of Lot.....x.....Number of Stories when complete.....  
Material of Foundation.....Width of Footing.....Depth of footing below ground.....  
Width Foundation Wall.....Size of Redwood Sill.....x.....Material Exterior Walls.....  
Size of Exterior Studs.....x.....Size of Interior Bearing Studs.....x.....  
Joists: First Floor.....x.....Second Floor.....x.....Rafters.....x.....Roofing Material.....

I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State Laws.

Sign Here

By

FOR DEPARTMENT USE ONLY

|                                                                                                 |                     |                                                                                                                                                                                                                                |                          |
|-------------------------------------------------------------------------------------------------|---------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|
| Application .....                                                                               | Fire District ..... | Bldg. Line .....                                                                                                                                                                                                               | Termite Inspection.....  |
| Construction .....                                                                              | Zoning .....        | Street Widening .....                                                                                                                                                                                                          | Forced Draft Ventil..... |
| (1)<br>REINFORCED CONCRETE<br>Barrels of Cement.....<br>Tons of Reinforcing Steel.....          |                     | (2)<br>The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from<br>.....Street<br>Sign Here.....<br>(Owner or Authorized Agent)                                     |                          |
| (3)<br>No required windows will be obstructed.<br>Sign Here.....<br>(Owner or Authorized Agent) |                     | (4)<br>There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.<br>Sign Here.....<br>(Owner or Authorized Agent) |                          |

REMARKS:

Image 66: 1937 permit for reroofing with composite shingles (page 2 of 2)

Std. Form 2

INDELIBLE PENCIL

3

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:  
Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:  
First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.  
Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.  
Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot..... Lot.....

Tract..... Tract.....

Present location of building } 417 Ocean Front  
(House Number and Street)  
New location of building } Same  
(House Number and Street)  
Between what cross streets }  
Approved by City Engineer.  
Deputy.

- Purpose of PRESENT building apartment house Families..... Rooms.....  
(Store, Residence, Apartment House, Hotel, or any other purpose)
- Use of building AFTER alteration or moving apartments Families..... Rooms.....
- Owner (Print Name) Paula L. Becker Phone.....
- Owner's Address 77 Chicago Ills.
- Certificated Architect..... State License No..... Phone.....
- Licensed Engineer..... State License No..... Phone.....
- Contractor Philbert S. Smith State License No. 25197 Phone 24019
- Contractor's Address 1014 Colorado Ave. Ocean Park
- VALUATION OF PROPOSED WORK (including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon) \$ 50.00
- State how many buildings NOW on lot and give use of each. one (Residence, Hotel, Apartment House, or any other purpose)
- Size of existing building..... x..... Number of stories high..... Height to highest point.....
- Class of building C Material of existing walls Brick Exterior framework..... (Wood or Steel)

Describe briefly and fully all proposed construction and work:

Repairs to fire escape

Fill in Application on other Side and Sign Statement

(OVER)

| PERMIT NO. |                                                               | FOR DEPARTMENT USE ONLY                           |                             | Yes.....                                        |           |
|------------|---------------------------------------------------------------|---------------------------------------------------|-----------------------------|-------------------------------------------------|-----------|
| 21917      | Plans and Specifications checked                              | Zone <u>C</u>                                     | Fire District No. <u>1</u>  | Stamp here when Permit is issued<br>JUN -2 1939 |           |
|            | Corrections verified                                          | Side, Lane <u>None</u>                            | Street Widening <u>None</u> |                                                 |           |
|            | Plans, Specifications and Applications rechecked and approved | Application checked and approved<br><u>6-1-39</u> |                             |                                                 |           |
| PLANS      | For Plans See                                                 | Filed with                                        | SPRINKLER                   | Inspected                                       | Inspector |

NO CERTIFICATE REQUIRED

Image 67: 1939 permit for repairs to fire escape (page 1 of 2)



PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition.....x.....Size of Lot.....x.....Number of Stories when complete.....  
Material of Foundation.....Width of Footing.....Depth of footing below ground.....  
Width Foundation Wall.....Size of Redwood Sill.....x.....Material Exterior Walls.....  
Size of Exterior Studs.....x.....Size of Interior Bearing Studs.....x.....  
Joists: First Floor.....x.....Second Floor.....x.....Rafters.....x.....Roofing Material.....

I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State Laws.

Sign Here.....*Bullock Jun 27 1939*

By.....

FOR DEPARTMENT USE ONLY

|                                                                                                 |                                                                                                                                                                                                                                |                                |                          |
|-------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------|--------------------------|
| Application..... <i>WA</i>                                                                      | Fire District..... <i>WA</i>                                                                                                                                                                                                   | Bldg. Line..... <i>WA</i>      | Termite Inspection.....  |
| Construction..... <i>WA</i>                                                                     | Zoning..... <i>WA</i>                                                                                                                                                                                                          | Street Widening..... <i>WA</i> | Forced Draft Ventil..... |
| (1)<br>REINFORCED CONCRETE<br>Barrels of Cement.....<br>Tons of Reinforcing Steel.....          | (2)<br>The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from<br>.....Street<br>Sign Here.....<br>(Owner or Authorized Agent)                                     |                                |                          |
| (3)<br>No required windows will be obstructed.<br>Sign Here.....<br>(Owner or Authorized Agent) | (4)<br>There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.<br>Sign Here.....<br>(Owner or Authorized Agent) |                                |                          |

REMARKS: .....

Image 68: 1939 permit for repairs to fire escape (page 2 of 2)

Bldg. Form 3

INDELIBLE PENCIL

3

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:  
Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:  
First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.  
Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.  
Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot.....  
Tract.....  
Present location of building } 417 Ocean Front (House Number and Street)  
New location of building } Same (House Number and Street)  
Between what cross streets } Duvelly & Sunset

Approved by  
City Engineer.  
Deputy.

1. Purpose of PRESENT building Apartment House Families..... Rooms.....  
(Single Residence, Apartment House, Hotel, or any other purpose)
2. Use of building AFTER alteration or moving. Same Families..... Rooms.....
3. Owner (Print Name) Mr. Becker Phone.....
4. Owner's Address 417 Ocean Front
5. Certificated Architect..... State License No..... Phone.....
6. Licensed Engineer..... State License No..... Phone.....
7. Contractor Patten Blinn Lumber Co. State License No..... Phone 51136
8. Contractor's Address 454 Colorado
9. VALUATION OF PROPOSED WORK (including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon) \$ 40.00
10. State how many buildings NOW on lot and give use of each Apartment House (Residence, Hotel, Apartment House, or any other purpose)
11. Size of existing building.....x.....Number of stories high.....Height to highest point.....
12. Class of building.....Material of existing walls.....Exterior framework..... (Wood or Steel)

Describe briefly and fully all proposed construction and work:

Repair roof around elevator shaft  
recoat fire walls with asphalt

Fill in Application on other Side and Sign Statement

56 (OVER)

| PERMIT NO. |                                                               | FOR DEPARTMENT USE ONLY          |                    |              |                                                 | Fee |  |
|------------|---------------------------------------------------------------|----------------------------------|--------------------|--------------|-------------------------------------------------|-----|--|
| 5404       | Plans and Specifications checked                              | Zone                             | Fire District      |              | Stamp here when Permit is issued<br>FEB 14 1940 |     |  |
|            | Corrections verified                                          | Bldg. Line                       | No. 1              |              |                                                 |     |  |
|            | Plans, Specifications and Applications rechecked and approved | Application checked and approved |                    | St. Widening |                                                 |     |  |
| PLANS      | For Plans See                                                 | Filed with                       | SPRINKLER          |              | Inspector                                       |     |  |
| Rec'd      | None                                                          |                                  | Required           | Specified    |                                                 |     |  |
|            |                                                               |                                  | Valuation Included | Yes—No       |                                                 |     |  |

8697

NO CERTIFICATE REQUIRED

Image 69: 1940 permits for repairing roof around elevator shaft and recoat walls with asphalt (page 1 of 2)

**PLANS, SPECIFICATIONS, and other data must be filed if required.**

## NEW CONSTRUCTION

Size of Addition.....x.....Size of Lot.....x.....Number of Stories when complete.....  
 Material of Foundation.....Width of Footing.....Depth of footing below ground.....  
 Width Foundation Wall.....Size of Redwood Sill.....x.....Material Exterior Walls.....  
 Size of Exterior Studs.....x.....Size of Interior Bearing Studs.....x.....  
 Joists: First Floor.....x.....Second Floor.....x.....Rafters.....x.....Roofing Material.....

I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State laws.

Sign Here

By \_\_\_\_\_

| FOR DEPARTMENT USE ONLY                                                                          |                     |                                                                                                                                                                                                                                 |                          |
|--------------------------------------------------------------------------------------------------|---------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|
| Application .....                                                                                | Fire District ..... | Bldg. Line .....                                                                                                                                                                                                                | Termite Inspection.....  |
| Construction .....                                                                               | Zoning .....        | Street Widening .....                                                                                                                                                                                                           | Forced Draft Ventil..... |
| (1) REINFORCED CONCRETE<br><br>Barrels of Cement.....<br><br>Tons of Reinforcing Steel.....      |                     | (2) The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from ..... Street<br><br>Sign Here.....<br>(Owner or Authorized Agent)                                       |                          |
| (3) No required windows will be obstructed.<br><br>Sign Here.....<br>(Owner or Authorized Agent) |                     | (4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.<br><br>Sign Here.....<br>(Owner or Authorized Agent) |                          |

REMARKS:



3

# APPLICATION TO ALTER, REPAIR, or DEMOLISH AND FOR A Certificate of Occupancy

Form B-3  
CITY OF LOS ANGELES  
DEPARTMENT  
OF  
BUILDING AND SAFETY  
BUILDING DIVISION

---

Lot No. 247 Block 4  
 Tract Golden Bay Tract  
 Location of Building 417 OCEAN FRONT, VENICE CALIF. (House Number and Street) Approved by  
 City Engineer  
 Between what cross streets? Dudley Ave. and Paloma Ave. Deputy

**USE INK OR INDELIBLE PENCIL**

1. Present use of building HOTEL Families      Rooms       
 (Store, Dwelling, Apartment House, Hotel or other purpose)  
 2. State how long building has been used for present occupancy Many years  
 3. Use of building AFTER alteration or moving SAME Families      Rooms       
 4. Owner MR. LOUIS BECKER Phone       
 (Print Name)  
 5. Owner's Address SAME P. O.       
 6. Certificated Architect WILLIAMS WATERPROOFING State License No.      Phone       
 7. Licensed Engineer & PAINTING CO. State License No.      Phone       
 8. Contractor 3107 FLETCHER DRIVE CL 7-8191 State License No. 5991 Phone CL 7-8191  
 9. Contractor's Address LOS ANGELES 36, CALIF.

10. VALUATION OF PROPOSED WORK (Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment therein or thereon.) \$ 1,000.00

11. State how many buildings NOW on lot and give use of each. 1 - HOTEL  
 (Store, Dwelling, Apartment House, Hotel or other purpose)  
 12. Size of existing building 30'6" x 130' Number of stories high 4 Height to highest point       
 13. Material Exterior Walls MASONRY Exterior framework BRICK  
 (Wood, Steel or Masonry) (Wood or Steel)  
 14. Describe briefly all proposed construction and work:  
Alter parapet walls along Ocean front  
& Speedway elevations

**NEW CONSTRUCTION**

15. Size of Addition      x      Size of Lot      x      Number of Stories when complete       
 16. Footing: Width      Depth in Ground      Width of Wall      Size of Floor Joists       
 17. Size of Studs      Material of Floor      Size of Rafters      Type of Roofing     

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California or the Workmen's Compensation Insurance. WILLIAMS WATERPROOFING & PAINTING CO.

DISTRICT OFFICE VENICE Sign here James E. Booth  
 By James E. Booth (Owner or Authorized Agent)

| PLAN CHECKING                                                                                                                                                                                                                                                                                            |                                                                                                                                                              | OCCUPANCY SURVEY                                                                                                                                                                                                                                           |                                                          |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------|
| Valuation \$ <u>1000.00</u>                                                                                                                                                                                                                                                                              | Area of Bldg. <u>    </u> Sq. Ft.                                                                                                                            | Investigation Fee \$ <u>    </u>                                                                                                                                                                                                                           | Cert. of Occupancy Fee \$ <u>    </u>                    |
| Fee \$ <u>2.00</u>                                                                                                                                                                                                                                                                                       | Fee \$ <u>    </u>                                                                                                                                           | Big. Permit Fee \$ <u>6.00</u>                                                                                                                                                                                                                             | Total \$ <u>6.00</u>                                     |
| <b>TYPE</b> <u>III A</u> Maximum No. Occupants <u>No change</u><br><b>GROUP</b> <u>H-2</u> Plans and Specifications checked <u>    </u><br>For Plans Fee <u>    </u> Correction Verified <u>    </u><br>Filed with <u>    </u> Plans, Specifications and Application rechecked and approved. <u>    </u> | <b>Key Lot</b> <u>THU</u> Corner Lot Keyed <u>    </u><br><b>Zone</b> <u>C-3</u> Bldg. Line <u>    </u> Ft. <u>    </u><br>Continuous Inspection <u>    </u> | <b>Lot Size</b> <u>375x112.77</u> Ft. rear alley <u>    </u> Ft. side alley <u>    </u><br><b>Fire District</b> <u>20</u> No. <u>20</u><br><b>Street Widening</b> <u>    </u> District Map No. <u>7184</u><br>Application checked and approved <u>    </u> | <b>Clerk</b> <u>    </u><br><b>Inspector</b> <u>    </u> |

**DO NOT WRITE BELOW THIS LINE**

| TYPE OF RECEIPT            | DATE ISSUED  | TRACER NO. (M) | RECEIPT NO. | CODE | FEE PAID |
|----------------------------|--------------|----------------|-------------|------|----------|
| Plan Checking              | MAY - 7 1952 |                | 18216       |      |          |
| Supplemental Plan Checking |              |                |             |      |          |
| Building Permit            |              |                | LA 93269    |      |          |

Image 71: 1952 permit for parapet alteration



Form D-3

|                               |                                                                                                                      |                                                                                                |
|-------------------------------|----------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------|
| <h1 style="margin: 0;">3</h1> | <h2 style="margin: 0;">APPLICATION TO<br/>ALTER, REPAIR, or DEMOLISH<br/>AND FOR A<br/>Certificate of Occupancy</h2> | <b>CITY OF LOS ANGELES<br/>DEPARTMENT<br/>OF<br/>BUILDING AND SAFETY<br/>BUILDING DIVISION</b> |
|-------------------------------|----------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------|

Lot No. ....

Tract. ....

Location of Building 417 Ocean Front, Venice, California } Approved by  
(House Number and Street) City Engineer

Between what cross streets? ..... Deputy.

**USE INK OR INDELIBLE PENCIL**

1. Present use of building Apartment Bldg. Families ..... Rooms .....  
(Store, Dwelling, Apartment House, Hotel or other purpose)

2. State how long building has been used for present occupancy .....

3. Use of building AFTER alteration or moving Same Families ..... Rooms .....

4. Owner Mr. Becker Phone Ex-92305  
(Print Name)

5. Owner's Address 417 Ocean Front P. O. Venice  
(Street, City, State, and Zip)

6. Certificated Architect ..... State License No. .... Phone .....

7. Licensed Engineer ..... State License No. .... Phone .....

8. Contractor Termite Insulating Co. State License No. 118624 Phone Ex-44140

9. Contractor's Address 1629 - 12th Street, Santa Monica

10. VALUATION OF PROPOSED WORK \$450.00  
(Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment therein or thereon.)

11. State how many buildings NOW } One - Apartment Bldg.  
on lot and give use of each. (Store, Dwelling, Apartment House, Hotel or other purpose)

12. Size of existing building x Number of stories high ..... Height to highest point .....

13. Material Exterior Walls Brick Exterior framework .....  
(Wood, Steel or Masonry) (Wood or Steel)

14. Describe briefly all proposed construction and work:  
Cut off portion walls in basement in areas indicated, raise foundations above top of concrete slab, replacing stucco where removed.  
Cut off damage in posts in basement, at P, and install on concrete bases, extending above top of concrete floor.  
Drill and chemically treat drywood termite infestations in window frames, and in tower of elevator shaft opening inside plaster where necessary.

15. Size of Addition ..... x ..... Size of Lot ..... x ..... Number of Stories when complete .....

16. Footing: Width ..... Depth in Ground ..... Width of Wall ..... Size of Floor Joists ..... x .....

17. Size of Studs ..... x ..... Material of Floor ..... Size of Rafters ..... x ..... Type of Roofing .....

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

**VENICE DISTRICT**

DISTRICT OFFICE Sign here TERMITE INSULATING CO.  
(Owner or Authorized Agent)

By E. English

| PLAN CHECKING       |                                                                        |                            |                                     | OCCUPANCY SURVEY                            |                          |                                 |                      |
|---------------------|------------------------------------------------------------------------|----------------------------|-------------------------------------|---------------------------------------------|--------------------------|---------------------------------|----------------------|
| Valuation \$ .....  |                                                                        | Area of Bldg. Sq. Ft. .... |                                     | Investigation Fee \$ .....                  |                          | Cert. of Occupancy Fee \$ ..... |                      |
| Fee \$ .....        |                                                                        | Fee \$ .....               |                                     | Bldg. Permit Fee \$ <u>3.50</u>             |                          | Total \$ .....                  |                      |
| TYPE <u>✓</u>       | Maximum No. Occupants <u>no chg</u>                                    | Inside Lot <u>NO</u>       | Key Lot <u>CECA</u>                 | Lot Size                                    | Ft. rear alley           | Clerk <u>English</u>            |                      |
| GROUP <u>H-2</u>    | Plans and Specifications checked <u>✓</u>                              | Corner Lot                 | Corner Lot Keyed                    | Fire District No. <u>2</u>                  | Ft. side alley           | District Map No. <u>7184</u>    |                      |
| For Plans See       | Correction Verified <u>✓</u>                                           | Bldg. Line                 | Street Widening                     | Application checked and approved            |                          |                                 |                      |
| Filed with <u>✓</u> | Plans, Specifications and Application rechecked and approved. <u>✓</u> | Continuous Inspection      | SPRINKLER Specified <u>Required</u> | Valuation Included Yes <u>—</u> No <u>—</u> | Inspector <u>English</u> |                                 | Clerk <u>English</u> |

**DO NOT WRITE BELOW THIS LINE**

| TYPE OF RECEIPT            | DATE ISSUED       | TRACER NO. (M) | RECEIPT NO. | CODE | FEE PAID |
|----------------------------|-------------------|----------------|-------------|------|----------|
| Plan Checking              |                   |                |             |      |          |
| Supplemental Plan Checking |                   |                |             |      | ✓        |
| Building Permit            | <u>MAR 4 1953</u> |                | <u>7265</u> |      |          |

Image 72: 1953 permit for various interior wall and window work

ATTACHMENT C: PERMIT RESEARCH  
417 OCEAN FRONT WALK

| <div style="display: flex; justify-content: space-between;"> <span style="font-size: 2em; font-weight: bold;">3</span> <div> <b>APPLICATION TO ALTER - REPAIR - DEMOLISH</b><br/> <b>AND FOR CERTIFICATE OF OCCUPANCY</b><br/> <small>CITY OF LOS ANGELES</small> </div> <div> <small>DEPT. OF BUILDING AND SAFETY</small> </div> </div> |       |                                                                                                   |            |                                          |                                                               |                 |                             |     |                |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------|---------------------------------------------------------------------------------------------------|------------|------------------------------------------|---------------------------------------------------------------|-----------------|-----------------------------|-----|----------------|
| 1. LEGAL LOT                                                                                                                                                                                                                                                                                                                             |       | BLK.                                                                                              | TRACT      |                                          | DIST. MAP                                                     |                 |                             |     |                |
| 27 247                                                                                                                                                                                                                                                                                                                                   |       | 4                                                                                                 | Golden Bay |                                          | 7184                                                          |                 |                             |     |                |
| 2. BUILDING ADDRESS                                                                                                                                                                                                                                                                                                                      |       |                                                                                                   |            |                                          | APPROVED                                                      | ZONE            |                             |     |                |
| 417 Ocean Front                                                                                                                                                                                                                                                                                                                          |       |                                                                                                   |            |                                          | K                                                             | C-2             |                             |     |                |
| 3. BETWEEN CROSS STREETS                                                                                                                                                                                                                                                                                                                 |       |                                                                                                   |            |                                          | FIRE DIST.                                                    |                 |                             |     |                |
| Dudley Ave. AND Paloma Ave.                                                                                                                                                                                                                                                                                                              |       |                                                                                                   |            |                                          | 2                                                             |                 |                             |     |                |
| 4. PRESENT USE OF BUILDING                                                                                                                                                                                                                                                                                                               |       |                                                                                                   |            |                                          | NEW USE OF BUILDING                                           |                 | INSIDE                      |     |                |
| Apt House Hotel                                                                                                                                                                                                                                                                                                                          |       |                                                                                                   |            |                                          | Same                                                          |                 | KEY                         |     |                |
| 5. OWNER                                                                                                                                                                                                                                                                                                                                 |       |                                                                                                   |            |                                          | PHONE                                                         |                 | COR. LOT                    |     |                |
| Mr. L. L. Becker                                                                                                                                                                                                                                                                                                                         |       |                                                                                                   |            |                                          |                                                               |                 | REV. COR.                   |     |                |
| 6. OWNER'S ADDRESS                                                                                                                                                                                                                                                                                                                       |       |                                                                                                   |            |                                          | P.O.                                                          | ZONE            | LOT SIZE                    |     |                |
| 417 Ocean Front                                                                                                                                                                                                                                                                                                                          |       |                                                                                                   |            |                                          | Venice                                                        |                 | 37.5                        |     |                |
| 7. CERT. ARCH.                                                                                                                                                                                                                                                                                                                           |       |                                                                                                   |            |                                          | STATE LICENSE                                                 | PHONE           | 129.02                      |     |                |
| 8. LIC. ENGR.                                                                                                                                                                                                                                                                                                                            |       |                                                                                                   |            |                                          | STATE LICENSE                                                 | PHONE           | 20                          |     |                |
| 9. CONTRACTOR                                                                                                                                                                                                                                                                                                                            |       |                                                                                                   |            |                                          | STATE LICENSE                                                 | PHONE           | SIDE ALLEY                  |     |                |
| A.B. C. Sandblasting Co.                                                                                                                                                                                                                                                                                                                 |       |                                                                                                   |            |                                          | 167043                                                        | FR 6-3923       | BLDG. LINE                  |     |                |
| 10. CONTRACTOR'S ADDRESS                                                                                                                                                                                                                                                                                                                 |       |                                                                                                   |            |                                          | P.O.                                                          | ZONE            | AFFIDAVITS                  |     |                |
| 4008 Merrill                                                                                                                                                                                                                                                                                                                             |       |                                                                                                   |            |                                          | Bornance                                                      |                 | no                          |     |                |
| 11. SIZE OF EXISTING BLDG.                                                                                                                                                                                                                                                                                                               |       | STORIES                                                                                           | HEIGHT     | NO. OF EXISTING BUILDINGS ON LOT AND USE |                                                               | BLDG. AREA      |                             |     |                |
| 45 x 120                                                                                                                                                                                                                                                                                                                                 |       | 4                                                                                                 | 45'        | 1 hotel                                  |                                                               |                 |                             |     |                |
| 12. MATERIAL                                                                                                                                                                                                                                                                                                                             |       | <input type="checkbox"/> WOOD <input type="checkbox"/> METAL <input type="checkbox"/> CONC. BLOCK |            | ROOF                                     | <input type="checkbox"/> WOOD <input type="checkbox"/> STEEL  |                 | ROOFING                     |     |                |
| EXT. WALLS: <input checked="" type="checkbox"/> STUCCO <input type="checkbox"/> BRICK <input type="checkbox"/> CONCRETE                                                                                                                                                                                                                  |       | <input type="checkbox"/> CONCRETE                                                                 |            | CONST.                                   | <input type="checkbox"/> CONC. <input type="checkbox"/> OTHER |                 | SPRINKLERS REQ'D. SPECIFIED |     |                |
| 3 417 Ocean Front                                                                                                                                                                                                                                                                                                                        |       |                                                                                                   |            |                                          | V23082                                                        | DISTRICT OFFICE |                             |     |                |
| 13. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING.                                                                                                                                                                                                                                             |       |                                                                                                   |            |                                          | \$ 1,180.00                                                   |                 | DWELL. UNITS                |     |                |
| 14. SIZE OF ADDITION                                                                                                                                                                                                                                                                                                                     |       |                                                                                                   |            |                                          | STORIES                                                       | HEIGHT          | VALUATION APPROVED          |     | PARKING SPACES |
| Sandblast                                                                                                                                                                                                                                                                                                                                |       |                                                                                                   |            |                                          |                                                               |                 |                             |     |                |
| 15. NEW WORK: EXT. WALLS                                                                                                                                                                                                                                                                                                                 |       |                                                                                                   |            |                                          | ROOFING                                                       |                 | APPLICATION CHECKED         |     | GUEST ROOMS    |
|                                                                                                                                                                                                                                                                                                                                          |       |                                                                                                   |            |                                          |                                                               |                 | Groverman                   |     |                |
| C. OF O. ISSUED                                                                                                                                                                                                                                                                                                                          |       |                                                                                                   |            |                                          | PLANS CHECKED                                                 |                 | FILE WITH                   |     |                |
| I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.                                                                                                                                                  |       |                                                                                                   |            |                                          | CORRECTIONS VERIFIED                                          |                 | CONT. INSP.                 |     |                |
| SIGNED                                                                                                                                                                                                                                                                                                                                   |       |                                                                                                   |            |                                          | PLANS APPROVED                                                |                 |                             |     |                |
| This Form When Properly Validated is a Permit to Do the Work Described.                                                                                                                                                                                                                                                                  |       |                                                                                                   |            |                                          | APPLICATION APPROVED                                          |                 | INSPECTOR                   |     |                |
| TYPE                                                                                                                                                                                                                                                                                                                                     | GROUP | MAX. OCC.                                                                                         | P.C.       | S.P.C.                                   | B.P.                                                          | I.F.            | O.S.                        | C/O |                |
| IIIB                                                                                                                                                                                                                                                                                                                                     | H-3   |                                                                                                   |            |                                          | 6.60                                                          |                 |                             |     |                |
| VALIDATION                                                                                                                                                                                                                                                                                                                               |       |                                                                                                   |            |                                          | CASHIER'S USE ONLY                                            |                 |                             |     |                |
| pa                                                                                                                                                                                                                                                                                                                                       |       |                                                                                                   |            |                                          | MAY 23 1958 V12082                                            |                 |                             |     |                |

Form B-3a

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.  
2. Plot Plan Required on Back of Original.

Image 73: 1958 permit for sandblasting

ATTACHMENT C: PERMIT RESEARCH  
417 OCEAN FRONT WALK

|                                                                                                                                                                                                                                                                                            |                                                                                                 |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|
| Address of Building ..... 417 Ocean Front Walk                                                                                                                                                                                                                                             | CITY OF LOS ANGELES<br>DEPARTMENT OF BUILDING AND SAFETY                                        |
| Permit No. and Year ..... 59314W/1965                                                                                                                                                                                                                                                      | REHABILITATION<br>CERTIFICATE OF OCCUPANCY                                                      |
| Certificate Issued ..... June 10, 1966                                                                                                                                                                                                                                                     | NOTE: Any change of use or occupancy must be approved by the Department of Building and Safety. |
| This certifies that, so far as ascertained by or made known to the undersigned, the deficiencies in this building have been corrected and the building complies with the applicable requirements of Division 49, Article 1, Chapter 9 of the Municipal Code for the following occupancies: |                                                                                                 |
| Four Story Type III-A, 30' x 129' Thirty Two - Unit<br>Apartment House.<br>H-Occupancy                                                                                                                                                                                                     |                                                                                                 |
| X21173                                                                                                                                                                                                                                                                                     |                                                                                                 |
| Owner Mr. Louis L. Becker<br>Owner's Address: 417 Ocean Front Walk<br>Venice, California 90291                                                                                                                                                                                             |                                                                                                 |
| Form B1006-20M-12-52 <input checked="" type="checkbox"/> <input type="checkbox"/> Superintendent of Building By C. M. WILSON/tb                                                                                                                                                            |                                                                                                 |

Image 74: 1966 Certificate of Occupancy

ATTACHMENT C: PERMIT RESEARCH  
417 OCEAN FRONT WALK

| 3 APPLICATION FOR INSPECTION                                                                                                                                                                                                                                             |                                    | CITY OF LOS ANGELES DEPT. OF BUILDING AND SAFETY |                          | TO ADD-ALTER-REPAIR-DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY |                                     |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------|--------------------------------------------------|--------------------------|---------------------------------------------------------------|-------------------------------------|
| INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.                                                                                                                                                                                                              |                                    |                                                  |                          | 1095 H 141                                                    |                                     |
| 1. LEGAL DESCR.                                                                                                                                                                                                                                                          | LOT 247                            | BLOCK                                            | TRACT Golden Bay Tract   | COUNCIL DISTRICT NO. 6                                        | DIST. MAP 7184<br>CENSUS TRACT 2734 |
| 2. PRESENT USE OF BUILDING                                                                                                                                                                                                                                               | Apartment                          |                                                  | NEW USE OF BUILDING same |                                                               | ZONE C1-1                           |
| 3. JOB ADDRESS                                                                                                                                                                                                                                                           | 417 Oceanfront Walk (MP 2-15)      |                                                  |                          |                                                               | FIRE DIST. X-21 two                 |
| 4. BETWEEN CROSS STREETS                                                                                                                                                                                                                                                 | Dunley Ave.                        |                                                  | Paloma Ave.              |                                                               | LOT TYPE thru                       |
| 5. OWNER'S NAME                                                                                                                                                                                                                                                          | Mr. Mike Neal                      |                                                  | PHONE                    |                                                               | LOT SIZE 37.5 x 129.02              |
| 6. OWNER'S ADDRESS                                                                                                                                                                                                                                                       | CITY                               |                                                  | ZIP                      |                                                               |                                     |
| 7. ENGINEER                                                                                                                                                                                                                                                              | BUS LIC. NO.                       |                                                  | ACTIVE STATE LIC. NO.    |                                                               | ALLEY                               |
| 8. ARCHITECT OR DESIGNER                                                                                                                                                                                                                                                 | BUS LIC. NO.                       |                                                  | ACTIVE STATE LIC. NO.    |                                                               | BLDG. LINE                          |
| 9. ARCHITECT OR ENGINEER'S ADDRESS                                                                                                                                                                                                                                       | CITY                               |                                                  | ZIP                      |                                                               | AFFIDAVITS                          |
| 10. CONTRACTOR                                                                                                                                                                                                                                                           | BUS LIC. NO.                       |                                                  | ACTIVE STATE LIC. NO.    |                                                               | ZI 1105, 1312                       |
| 11. SIZE OF EXISTING BLDG                                                                                                                                                                                                                                                | STORIES                            |                                                  | HEIGHT                   |                                                               | Ord 146, 323                        |
| 12. CONST. MATERIAL OF EXISTING BLDG.                                                                                                                                                                                                                                    | EXT. WALLS                         |                                                  | ROOF                     |                                                               | CZCA                                |
| 13. JOB ADDRESS                                                                                                                                                                                                                                                          | 417 Oceanfront Walk                |                                                  |                          |                                                               | P.C. REQ'D                          |
| 14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING                                                                                                                                                                               | \$ 103,000.00                      |                                                  |                          |                                                               | DISTRICT OFFICE WIA                 |
| 15. NEW WORK (Describe)                                                                                                                                                                                                                                                  | Full Compliance with Div. 88, RC-3 |                                                  |                          |                                                               | SEISMIC STUDY ZONE                  |
| NEW USE OF BUILDING                                                                                                                                                                                                                                                      | SIZE OF ADDITION                   |                                                  | STORIES                  |                                                               | GRADING FLOOD                       |
| TYPE                                                                                                                                                                                                                                                                     | GROUP                              |                                                  | FLOOR AREA               |                                                               | HWY. DED. CONS.                     |
| DWELL UNITS                                                                                                                                                                                                                                                              | MAX OCC.                           |                                                  | TOTAL                    |                                                               | FILE WITH                           |
| GUEST ROOMS                                                                                                                                                                                                                                                              | PARKING REQ'D                      |                                                  | PARKING PROVIDED         |                                                               | TYPIST                              |
| P.C.                                                                                                                                                                                                                                                                     | G.P.I.                             |                                                  | CONT INSP                |                                                               | INSPECTOR                           |
| S.P.C.                                                                                                                                                                                                                                                                   | P.M.                               |                                                  |                          |                                                               |                                     |
| B.P.                                                                                                                                                                                                                                                                     | E.I.                               |                                                  |                          |                                                               |                                     |
| I.F.                                                                                                                                                                                                                                                                     | F.H.                               |                                                  |                          |                                                               |                                     |
| S.D.                                                                                                                                                                                                                                                                     | O.S.S.                             |                                                  |                          |                                                               |                                     |
| DIST. OFFICE                                                                                                                                                                                                                                                             | S.Q.S.S.                           |                                                  |                          |                                                               |                                     |
| P.C. NO.                                                                                                                                                                                                                                                                 | C/O                                |                                                  |                          |                                                               |                                     |
| <p>Unless a shorter period of time has been established by an official action, plan check approval expires one year after the fee is paid and this permit expires two years after the fee is paid or 180 days after the fee is paid if construction is not commenced</p> |                                    |                                                  |                          |                                                               |                                     |

719.63

19643 P.C. 12/30/81 748.93 CHTD

Image 75: 1988 permit for seismic (Division 88) work (page 1 of 3)



## DECLARATIONS AND CERTIFICATIONS

### LICENSED CONTRACTORS DECLARATION

16. I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Date 12-14-88 Lic. Class B Lic. Number 484110 Contractor Harry D. Caf  
(Signature)

### OWNER-BUILDER DECLARATION

17. I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.)

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.)

☐ I am exempt under Sec. \_\_\_\_\_, B. & P. C. for this reason \_\_\_\_\_

Date \_\_\_\_\_ Owner's Signature \_\_\_\_\_

### WORKERS' COMPENSATION DECLARATION

18. I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).

Policy No. \_\_\_\_\_ Insurance Company \_\_\_\_\_

☒ Certified copy is hereby furnished.

☐ Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety.

Date 12/14/88 Applicant's Signature Harry D. Caf

Applicant's Mailing Address \_\_\_\_\_

### CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

19. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.

Date \_\_\_\_\_ Applicant's Signature \_\_\_\_\_

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

### CONSTRUCTION LENDING AGENCY

20. I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

21. I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed. (See Sec. 91.0202 LAMC)

Signed Harry D. Caf Agent Agent Date 12/14/88  
(Owner or agent having property owner's consent) Position

ATTACHMENT C: PERMIT RESEARCH  
417 OCEAN FRONT WALK

|                       |                                                                                                                   |                  |           |
|-----------------------|-------------------------------------------------------------------------------------------------------------------|------------------|-----------|
| Bureau of Engineering |                                                                                                                   | ADDRESS APPROVED |           |
| 2110001               |                                                                                                                   | DRIVEWAY         | 7         |
|                       |                                                                                                                   | HIGHWAY          | REQUIRED  |
|                       |                                                                                                                   | DEDICATION       | COMPLETED |
|                       |                                                                                                                   | FLOOD CLEARANCE  |           |
| SEWERS                |                                                                                                                   | SEWERS AVAILABLE |           |
|                       |                                                                                                                   | NOT AVAILABLE    |           |
|                       |                                                                                                                   | SFC PAID         |           |
|                       |                                                                                                                   | SFC DUE          |           |
|                       | SFC NOT APPLICABLE                                                                                                |                  |           |
| Grading               | PRIVATE SEWAGE SYSTEM APPROVED                                                                                    |                  |           |
| Conservation          | APPROVED FOR ISSUE <input type="checkbox"/> NO FILE <input type="checkbox"/> FILE CLOSED <input type="checkbox"/> |                  |           |
| Fire                  | APPROVED (TITLE 19) (L.A.M.C.-S700)                                                                               |                  |           |
| Housing               | HOUSING AUTHORITY APPROVAL                                                                                        |                  |           |
| Planning              | APPROVED UNDER CASE #                                                                                             |                  |           |
| Traffic               | APPROVED FOR                                                                                                      |                  |           |
| Construction Tax      | RECEIPT NO.                                                                                                       | DWELLING UNITS   |           |
| LEGAL DESCRIPTION     |                                                                                                                   |                  |           |
|                       |                                                                                                                   |                  |           |
|                       |                                                                                                                   |                  |           |

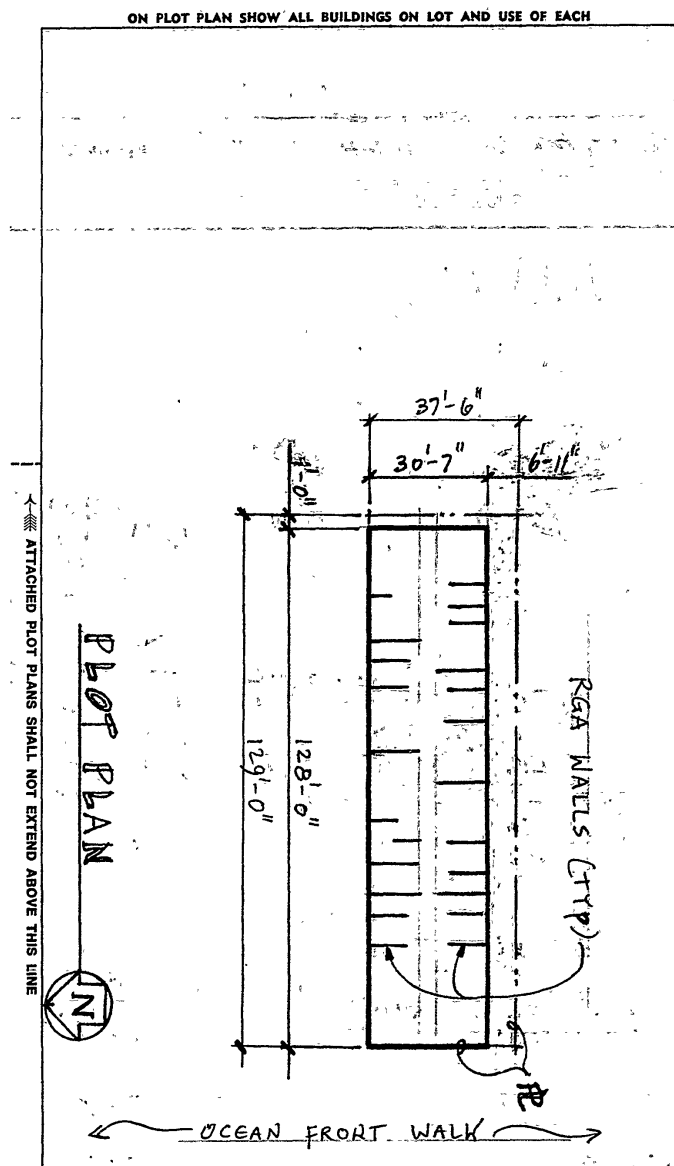


Image 77: 1988 permit for seismic (Division 88) work (page 3 of 3)

ATTACHMENT C: PERMIT RESEARCH  
417 OCEAN FRONT WALK

| 3 APPLICATION FOR INSPECTION                                                                                                                                                                                                                                              |                   | CITY OF LOS ANGELES DEPT. OF BUILDING AND SAFETY |                                                                                                                                                                                                                                                                  | TO ADD-ALTER-REPAIR-DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY |                                                                                    |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------|--------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------|------------------------------------------------------------------------------------|
| INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.                                                                                                                                                                                                               |                   |                                                  |                                                                                                                                                                                                                                                                  |                                                               |                                                                                    |
| 1. LEGAL DESCR.                                                                                                                                                                                                                                                           | LOT 247           | BLOCK -                                          | TRACT GOLDEN BAY TRACT                                                                                                                                                                                                                                           | COUNTY REF. NO. MP 2-15                                       | DIST. MAP 109.5A141<br>CENSUS TRACT 2734                                           |
| 2. PRESENT USE OF BUILDING (05) APARTMENTS                                                                                                                                                                                                                                |                   | NEW USE OF BUILDING (05) SAME                    |                                                                                                                                                                                                                                                                  | ZONE R3-1                                                     |                                                                                    |
| 3. JOB ADDRESS 417 OCEAN FRONT WALK                                                                                                                                                                                                                                       |                   |                                                  |                                                                                                                                                                                                                                                                  | FIRE DIST. -                                                  | COUN. DIST. 6                                                                      |
| 4. BETWEEN CROSS STREETS PALOMA ST. AND DUDLEY ST.                                                                                                                                                                                                                        |                   |                                                  |                                                                                                                                                                                                                                                                  | LOT TYPE INT.                                                 |                                                                                    |
| 5. OWNER'S NAME JACK AREA, MIKE NEAL, LOU TELBIZOFF                                                                                                                                                                                                                       |                   |                                                  |                                                                                                                                                                                                                                                                  | PHONE 213-1330                                                | LOT SIZE 37.5 X 129                                                                |
| 6. OWNER'S ADDRESS 1225 W. 190TH ST. STE205 GARDENA, CA. 90248                                                                                                                                                                                                            |                   |                                                  |                                                                                                                                                                                                                                                                  | CITY ZIP                                                      |                                                                                    |
| 7. ENGINEER JOE ZELNER                                                                                                                                                                                                                                                    |                   | BUS. LIC. NO. 705010                             | ACTIVE STATE LIC. NO. C10345                                                                                                                                                                                                                                     | PHONE 872-3041                                                | ALLEY --                                                                           |
| 8. ARCHITECT OR DESIGNER ---                                                                                                                                                                                                                                              |                   | BUS. LIC. NO.                                    | ACTIVE STATE LIC. NO.                                                                                                                                                                                                                                            | PHONE                                                         | BLDG. LINE ---                                                                     |
| 9. ARCHITECT OR ENGINEER'S ADDRESS 14241 VENTURA BLVD. SHERMAN OAKS CA 91423                                                                                                                                                                                              |                   |                                                  |                                                                                                                                                                                                                                                                  | CITY ZIP                                                      | AFFIDAVITS ZI 1466EXH8                                                             |
| 10. CONTRACTOR CUSTOM PACIFIC CO. 871244                                                                                                                                                                                                                                  |                   |                                                  |                                                                                                                                                                                                                                                                  | BUS. LIC. NO. B574942                                         | ACTIVE STATE LIC. NO. 213-617-3067                                                 |
| 11. SIZE OF EXISTING BLDG. WIDTH 30' LENGTH 128' STORIES 4 HEIGHT - NO. OF EXISTING BUILDINGS ON LOT AND USE 1 -                                                                                                                                                          |                   |                                                  |                                                                                                                                                                                                                                                                  | ZI 1105<br>ZI 1312<br>ORD NO146323                            |                                                                                    |
| 12. FRAMING MATERIAL OF EXISTING BLDG. URM                                                                                                                                                                                                                                |                   | EXT. WALLS                                       | ROOF WOOD                                                                                                                                                                                                                                                        | FLOOR WOOD                                                    | 164844<br>CZCA                                                                     |
| 13. JOB ADDRESS 417 OCEAN FRONT WALK VENICE                                                                                                                                                                                                                               |                   |                                                  |                                                                                                                                                                                                                                                                  | STREET GUIDE                                                  |                                                                                    |
| 14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING                                                                                                                                                                                |                   |                                                  |                                                                                                                                                                                                                                                                  | P.C. \$ 35,000.00<br>B.P. \$ 17,500.00                        | DIST. OFF. WLA<br>P.C. REQ'D NG(e)<br>GRADING<br>SEISMIC<br>HWY. DED. YES<br>FLOOD |
| 15. NEW WORK (Describe) INSTALL OUTER GUNITA AND ANCHOR BRICK VENEER                                                                                                                                                                                                      |                   |                                                  |                                                                                                                                                                                                                                                                  |                                                               |                                                                                    |
| NEW USE OF BUILDING N/C                                                                                                                                                                                                                                                   |                   | SIZE OF ADDITION NONE                            |                                                                                                                                                                                                                                                                  | STORIES                                                       | HEIGHT                                                                             |
| TYPE III-N                                                                                                                                                                                                                                                                | GROUP OCC. R1     | FLOOR AREA                                       | PLANS CHECKED OSCAR ONDOY                                                                                                                                                                                                                                        |                                                               |                                                                                    |
| DWELL UNITS N/C                                                                                                                                                                                                                                                           | MAX OCC. N/C      | TOTAL                                            | APPLICATION APPROVED Oscar S. Ondoy                                                                                                                                                                                                                              |                                                               |                                                                                    |
| GUEST ROOMS N/C                                                                                                                                                                                                                                                           | PARKING REQ'D N/C | PARKING PROVIDED STD. N/C COMP.                  | INSPECTION ACTIVITY                                                                                                                                                                                                                                              |                                                               |                                                                                    |
| P.C. 212.50                                                                                                                                                                                                                                                               |                   | G.P.I. + NP                                      | CONT. INSP. GUNITA                                                                                                                                                                                                                                               |                                                               |                                                                                    |
| S.P.C. -                                                                                                                                                                                                                                                                  |                   | P.M. 7.00                                        | TORQUE TEST                                                                                                                                                                                                                                                      |                                                               |                                                                                    |
| B.P. 148.75                                                                                                                                                                                                                                                               |                   | E.I. 1.25                                        | Claims for refund of fees paid on permits must be filed. 1. Within one year from date of payment of fee; or 2. Within one year from date of expiration of extension for building or grading permits granted by the Dept. of B. & S. SECTIONS 22.12 & 22.13 LAMC. |                                                               |                                                                                    |
| I.F. -                                                                                                                                                                                                                                                                    |                   | F.H. -                                           |                                                                                                                                                                                                                                                                  |                                                               |                                                                                    |
| S.D. -                                                                                                                                                                                                                                                                    |                   | O.S.S. 7.38                                      |                                                                                                                                                                                                                                                                  |                                                               |                                                                                    |
| ISS. OFF. HO                                                                                                                                                                                                                                                              |                   | S.O.S.S. -                                       | SPRINKLERS REQ'D SPEC. NO                                                                                                                                                                                                                                        |                                                               |                                                                                    |
| P.C. NO. -                                                                                                                                                                                                                                                                |                   | C/O -                                            | ENERGY - DAS -                                                                                                                                                                                                                                                   |                                                               |                                                                                    |
| <p>Unless a shorter period of time has been established by an official action, plan check approval expires one year after the fee is paid and this permit expires two years after the fee is paid or 180 days after the fee is paid if construction is not commenced.</p> |                   |                                                  |                                                                                                                                                                                                                                                                  |                                                               |                                                                                    |

B & S B-3 (R.7/83)

08/20/91 12:16:25PM H001 T-1405 C 26

E.O. PLAN CHC 212.50

E.O. PERMITS 148.75

PLAN MAINTENAN 7.00

EI RESIDENTIAL 1.75

ONE STOP 7.40

TOTAL 377.40

CHECK 377.40

91HO 13917

Image 78: 1991 permit for installing gunita and to anchor brick veneer (page 1 of 2)

ATTACHMENT C: PERMIT RESEARCH  
417 OCEAN FRONT WALK

3 3 7 0 0 4 0 0 0 2 4

|                          |                    |                                                                                                                   |                |  |
|--------------------------|--------------------|-------------------------------------------------------------------------------------------------------------------|----------------|--|
| Bureau of<br>Engineering |                    | ADDRESS APPROVED                                                                                                  |                |  |
|                          |                    | DRIVEWAY                                                                                                          |                |  |
|                          |                    | HIGHWAY                                                                                                           | REQUIRED       |  |
|                          |                    | DEDICATION                                                                                                        | COMPLETED      |  |
|                          |                    | FLOOD CLEARANCE                                                                                                   |                |  |
| SEWERS                   |                    |                                                                                                                   |                |  |
| RES. NO.                 |                    | SEWERS AVAILABLE                                                                                                  |                |  |
| CERT. NO.                |                    | NOT AVAILABLE                                                                                                     |                |  |
|                          |                    | SFC PAID                                                                                                          |                |  |
|                          | SFC NOT APPLICABLE | SFC DUE                                                                                                           |                |  |
| Grading                  |                    | PRIVATE SEWAGE SYSTEM APPROVED                                                                                    |                |  |
| Comm. Safety             |                    | APPROVED FOR ISSUE <input type="checkbox"/> NO FILE <input type="checkbox"/> FILE CLOSED <input type="checkbox"/> |                |  |
| Fire                     |                    | APPROVED (TITLE 19) (L.A.M.C.-S700)                                                                               |                |  |
| Housing                  |                    | HOUSING AUTHORITY APPROVAL                                                                                        |                |  |
| Planning                 |                    | APPROVED UNDER CASE #                                                                                             |                |  |
| Transportation           |                    | APPROVED FOR                                                                                                      |                |  |
| Construction Tax         |                    | RECEIPT NO.                                                                                                       | DWELLING UNITS |  |

|                                   |                                                                                                                      |
|-----------------------------------|----------------------------------------------------------------------------------------------------------------------|
| LEGAL DESCRIPTION                 | ASBESTOS NOTIFICATION                                                                                                |
| OK TO ISSUE PERMIT <u>8/20/91</u> | <input checked="" type="checkbox"/> Notification letter sent to AQMD or EPA                                          |
| BY <u>Peter K. Lam</u>            | box <input type="checkbox"/> I declare that notification of asbestos removal is not applicable to addressed project. |
|                                   | Signature _____ Date _____                                                                                           |

ON PLOT PLAN SHOW ALL BUILDINGS ON LOT AND USE OF EACH

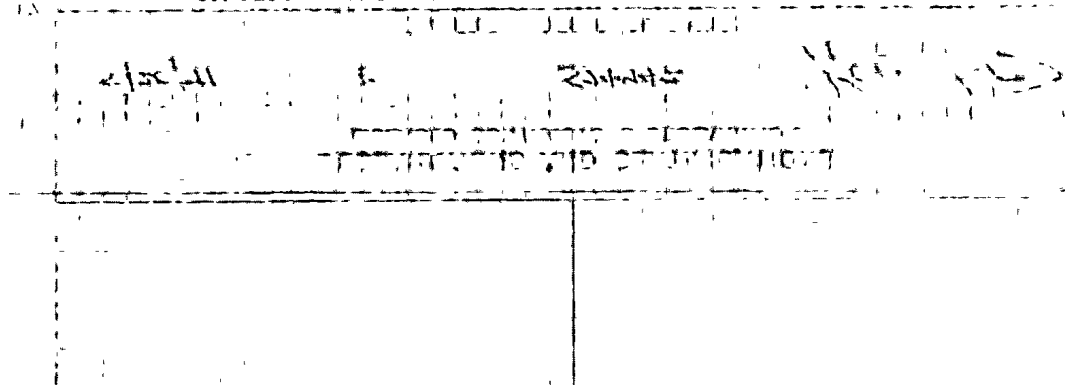


Image 79: 1991 permit for installing gunite and to anchor brick veneer (page 2 of 2)



ATTACHMENT C: PERMIT RESEARCH  
417 OCEAN FRONT WALK

| 3 APPLICATION FOR INSPECTION                                                                                                                                                                                                                                      |               | CITY OF LOS ANGELES DEPT. OF BUILDING AND SAFETY                                                                                                                                                                                                                 |                                      | TO ADD-ALTER-REPAIR-DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY |                                          |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------|---------------------------------------------------------------|------------------------------------------|
| INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only. <b>0BS12842</b>                                                                                                                                                                                       |               |                                                                                                                                                                                                                                                                  |                                      |                                                               |                                          |
| 1. LEGAL DESCR.                                                                                                                                                                                                                                                   | LOT 247       | BLOCK 4                                                                                                                                                                                                                                                          | TRACT Golden Bay                     | CITY CLERK REF. NO. MP2-15                                    | DIST. MAP 109.5A141<br>CENSUS TRACT 2734 |
| 2. PRESENT USE OF BUILDING 05 apt                                                                                                                                                                                                                                 |               | NEW USE OF BUILDING (X) same                                                                                                                                                                                                                                     |                                      | ZONE R3-1                                                     |                                          |
| 3. JOB ADDRESS 417 Ocean Front Walk                                                                                                                                                                                                                               |               | SUITE/UNIT NO.                                                                                                                                                                                                                                                   |                                      | FIRE DIST. --                                                 | COUN. DIST. 6                            |
| 4. BETWEEN CROSS STREETS AND Dudley Av                                                                                                                                                                                                                            |               | Paloma Av                                                                                                                                                                                                                                                        |                                      | LOT TYPE int                                                  |                                          |
| 5. OWNER'S NAME ( ) TENANT ( ) BUILDING Jack Area/The Biltmore                                                                                                                                                                                                    |               | PHONE 310 325 3510                                                                                                                                                                                                                                               |                                      | LOT SIZE irreg                                                |                                          |
| 6. OWNER'S ADDRESS 332 Miraleste Dr San Pedro 90732                                                                                                                                                                                                               |               | CITY ZIP                                                                                                                                                                                                                                                         |                                      | ALLEY 20(R)                                                   |                                          |
| 7. ENGINEER Seri Paibul                                                                                                                                                                                                                                           |               | BUS. LIC. NO. 105756-63                                                                                                                                                                                                                                          | ACTIVE STATE LIC. NO. C24061         | PHONE 909 860-0178                                            | BLDG. LINE                               |
| 8. ARCHITECT OR DESIGNER                                                                                                                                                                                                                                          |               | BUS. LIC. NO.                                                                                                                                                                                                                                                    | ACTIVE STATE LIC. NO.                | PHONE                                                         |                                          |
| 9. ARCHITECT OR ENGINEER'S ADDRESS 24031 Lodge Pole rd Diamond Bar 91765                                                                                                                                                                                          |               | CITY ZIP                                                                                                                                                                                                                                                         |                                      | DOCUMENTS/EASEMENTS                                           |                                          |
| 10. CONTRACTOR Custom Pacific                                                                                                                                                                                                                                     |               | BUS. LIC. NO. 871241-05                                                                                                                                                                                                                                          | ACTIVE STATE LIC. NO. 574942B        | PHONE (818) 576-8477                                          | CZCA                                     |
| 11. SIZE OF EXISTING BLDG. WIDTH 30' LENGTH 128                                                                                                                                                                                                                   |               | STORIES 4                                                                                                                                                                                                                                                        | HEIGHT 48                            | NO. OF EXISTING BUILDINGS ON LOT AND USE 1 apt                |                                          |
| 12. FRAMING MATERIAL OF EXISTING BLDG. → URM                                                                                                                                                                                                                      |               | EXT. WALLS                                                                                                                                                                                                                                                       | ROOF wood                            | FLOOR wood                                                    | ZI 1874                                  |
| 13. JOB ADDRESS 417 Ocean Front Walk                                                                                                                                                                                                                              |               | SUITE/UNIT NO.                                                                                                                                                                                                                                                   |                                      |                                                               |                                          |
| 14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING \$ 20,000.00                                                                                                                                                           |               |                                                                                                                                                                                                                                                                  |                                      | DIST. OFF. WLA                                                | P.C. REQ'D --                            |
| 15. NEW WORK (Describe) EQ damage repair/urm crack repair, GUNITE                                                                                                                                                                                                 |               |                                                                                                                                                                                                                                                                  |                                      | GRADING EQ                                                    | SEISMIC EQ                               |
| EAST ELEVATION (FOUR STORIES)                                                                                                                                                                                                                                     |               |                                                                                                                                                                                                                                                                  |                                      | HWY. DED.                                                     | FLOOD yes                                |
| NEW USE (05) apt                                                                                                                                                                                                                                                  |               | SIZE OF ADDITION                                                                                                                                                                                                                                                 | STORIES                              | HEIGHT                                                        | FILE WITH                                |
| TYPE                                                                                                                                                                                                                                                              | GROUP OCC.    | MAX. OCC.                                                                                                                                                                                                                                                        | BUILDING ZONING                      |                                                               | ZONED BY                                 |
| DWELL UNITS                                                                                                                                                                                                                                                       | BUILDING AREA | ZONING AREA                                                                                                                                                                                                                                                      | PLANS CHECKED Frank Rojas            |                                                               | FJS 8/3/95                               |
| GUEST ROOMS                                                                                                                                                                                                                                                       | PARKING REQ'D | PARKING PROVIDED S C HC.                                                                                                                                                                                                                                         | APPLICATION APPROVED                 |                                                               | INSPECTOR                                |
| P.C. 90.10                                                                                                                                                                                                                                                        | G.P.I. + NP   | CONTR. INSP. Repoint GUNITE                                                                                                                                                                                                                                      | INSPECTION ACTIVITY                  |                                                               |                                          |
| S.P.C. 68.00                                                                                                                                                                                                                                                      | P.M. 10.00    |                                                                                                                                                                                                                                                                  | CS GEN. MAJ.S. (EQ)                  |                                                               |                                          |
| B.P. 186.00                                                                                                                                                                                                                                                       | E.I. 4.20     | Claims for refund of fees paid on permits must be filed: 1. Within one year from date of payment of fee; or 2. Within one year from date of expiration of extension for building or grading permits granted by the Dept. of B. & S. SECTIONS 22.12 & 22.13 LAMC. | NO FEE NO FEE NO FEE                 |                                                               | 9 & S 22.12 & 22.13 7 901                |
| I.F.                                                                                                                                                                                                                                                              | F.H.          |                                                                                                                                                                                                                                                                  | 06/01/94 12:54:30PM H001 T-1310 C 26 |                                                               |                                          |
| S.D.                                                                                                                                                                                                                                                              | O.S.S. yes    |                                                                                                                                                                                                                                                                  | E Q PLAN CHECK 90.10                 |                                                               |                                          |
| ISS. OFF. HO                                                                                                                                                                                                                                                      | S.O.S.S.      | SPRINKLERS REQ'D SPEC.                                                                                                                                                                                                                                           | SYS DEV 5.41                         |                                                               |                                          |
| P.C. NO. 62717                                                                                                                                                                                                                                                    | C/O           | ENERGY DAS                                                                                                                                                                                                                                                       | ONE STOP 1.80                        |                                                               |                                          |
| Unless a shorter period of time has been established by an official action, plan check approval expires one year after the fee is paid and this permit expires two years after the fee is paid or 180 days after the fee is paid if construction is not commenced |               |                                                                                                                                                                                                                                                                  |                                      | NO FEE NO FEE NO FEE                                          |                                          |
|                                                                                                                                                                                                                                                                   |               |                                                                                                                                                                                                                                                                  |                                      | 08/03/95 11:04:50AM VND4 T-8382 C 26                          |                                          |
|                                                                                                                                                                                                                                                                   |               |                                                                                                                                                                                                                                                                  |                                      | E Q PLAN CHECK 68.00                                          |                                          |
|                                                                                                                                                                                                                                                                   |               |                                                                                                                                                                                                                                                                  |                                      | EQ PERMIT 186.00                                              |                                          |
|                                                                                                                                                                                                                                                                   |               |                                                                                                                                                                                                                                                                  |                                      | INVOICE # 0099660 BB                                          |                                          |

Image 80: 1995 permit for earthquake damage repair, unreinforced masonry crack repair, gunite to east elevation (four stories) (page 1 of 5)

ATTACHMENT C: PERMIT RESEARCH  
417 OCEAN FRONT WALK

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>NEW AFFIDAVITS _____</p> <p>PLAN CHECK EXTENDED TO _____ PER _____</p> <p>ADMINISTRATIVE APPROVAL DATED _____</p> <p>BY _____</p> <p>D.A.D. PLANS CHECKED _____</p> <p>HOUSING MITIGATION FEE ORDINANCE _____</p> <p><input type="checkbox"/> REQUIRED <input type="checkbox"/> EXEMPT</p> <p>ASBESTOS NOTIFICATION _____</p> <p>Check Box: <input type="checkbox"/> Notification letter sent to AQMD or EPA.</p> <p><input type="checkbox"/> I declare that notification of asbestos removal is not applicable to addressed project.</p> <p>Signature _____ Date _____</p> | <p>APPROVAL 7/27/2000 BY _____</p> <p>PLAN MAINTENANCE 10.00</p> <p>EI COMMERCIAL 4.20</p> <p>SYS DEV 16.09</p> <p>ONE STOP 5.36</p> <p>UNDER DEPT. SUPERVISORY I HEREBY 7.92</p> <p>AFFIRM THAT I HAVE NOT AND WILL 5.00</p> <p>NOT RECEIVE ANY INSURANCE SETTLEMENT WHICH INCLUDES PAYMENT FOR DEPT OF BUILDING &amp; SAFETY PERMITS OR INSPECTION COST IN CONNECTION WITH FORTITUDE EARTHQUAKE DAMAGE 0.00</p> <p><i>Chris Kelly (engineer)</i></p> <p>OWNER OR OWNER'S AGENT</p> |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

**DECLARATIONS AND CERTIFICATIONS**

**LICENSED CONTRACTORS DECLARATION**

16. I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Date \_\_\_\_\_ Lic. Class \_\_\_\_\_ Lic. Number \_\_\_\_\_ Contractor \_\_\_\_\_ (Signature) \_\_\_\_\_

**OWNER-BUILDER DECLARATION**

17. I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.).

☐ I, as owner of the property, am exclusively consulting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.).

☐ I am exempt under Sec. \_\_\_\_\_, B. & P. C. for this reason \_\_\_\_\_

Date \_\_\_\_\_ Owner's Signature \_\_\_\_\_

**WORKERS' COMPENSATION DECLARATION**

18. I hereby affirm that I have a certificate of consent to self-insure, or a Certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3200, Lab. C.).

Policy No. \_\_\_\_\_ Insurance Company \_\_\_\_\_

☐ Certified copy is hereby furnished.

☐ Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety.

Date \_\_\_\_\_ Applicant's Signature \_\_\_\_\_

Applicant's Mailing Address \_\_\_\_\_

**CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE**

19. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.

Date \_\_\_\_\_ Applicant's Signature \_\_\_\_\_

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

**CONSTRUCTION LENDING AGENCY**

20. I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

21. I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed. (See Sec. 91.0202 LAMC)

Signed \_\_\_\_\_ (Owner or agent having property owner's consent) \_\_\_\_\_ Position \_\_\_\_\_ Date \_\_\_\_\_

Image 81: 1995 permit for earthquake damage repair, unreinforced masonry crack repair, gunite to east elevation (four stories) (page 2 of 5)

ATTACHMENT C: PERMIT RESEARCH  
417 OCEAN FRONT WALK

5 4 2 0 0 8 0 0 1 4 2

|                             |                                                                             |                                                                                                                   |                  |  |
|-----------------------------|-----------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------|------------------|--|
| Bureau of Engineering       |                                                                             | ADDRESS APPROVED                                                                                                  |                  |  |
|                             |                                                                             | DRIVEWAY                                                                                                          |                  |  |
|                             |                                                                             | HIGHWAY                                                                                                           | REQUIRED         |  |
|                             |                                                                             | DEDICATION                                                                                                        | COMPLETED        |  |
|                             |                                                                             | FLOOD CLEARANCE                                                                                                   |                  |  |
| Public Works Improvement    | Required<br>YES <input type="checkbox"/> NO <input type="checkbox"/> PERMIT | #                                                                                                                 |                  |  |
| SEWERS                      |                                                                             |                                                                                                                   | SEWERS AVAILABLE |  |
| RES. NO                     |                                                                             |                                                                                                                   | NOT AVAILABLE    |  |
| CERT. NO                    |                                                                             |                                                                                                                   | SFC PAID         |  |
|                             | SFC NOT APPLICABLE                                                          |                                                                                                                   | SFC DUE          |  |
| Grading                     |                                                                             | PRIVATE SEWAGE SYSTEM APPROVED                                                                                    |                  |  |
| Comm. Safety                |                                                                             | APPROVED FOR ISSUE <input type="checkbox"/> NO FILE <input type="checkbox"/> FILE CLOSED <input type="checkbox"/> |                  |  |
| CEQA                        |                                                                             |                                                                                                                   |                  |  |
| Fire                        |                                                                             | APPROVED (TITLE 19) (L.A.M.C-S700)                                                                                |                  |  |
|                             |                                                                             | APPROVED - HYDRANT UNIT, ROOM 920 CHE                                                                             |                  |  |
| CRA                         |                                                                             | APPROVED PER REDEV. PROJECT                                                                                       |                  |  |
| Transportation              |                                                                             | APPROVED FOR DRIVEWAY LOCATION                                                                                    |                  |  |
|                             |                                                                             | APPROVED FOR ORD. #                                                                                               |                  |  |
| Planning                    |                                                                             | WORK SHEET # 94-1623                                                                                              |                  |  |
|                             |                                                                             | APPROVED UNDER CASE # 211874                                                                                      |                  |  |
|                             |                                                                             | LANDSCAPE / XERISCAPE C2CA-EX                                                                                     |                  |  |
|                             |                                                                             | SIGHT PLAN REVIEW                                                                                                 |                  |  |
| Housing                     |                                                                             | HOUSING AUTHORITY AFFIDAVIT NO                                                                                    |                  |  |
| Construction Tax            |                                                                             | RECEIPT NO.                                                                                                       | DWELLING UNITS   |  |
| Cultural Affairs            |                                                                             |                                                                                                                   |                  |  |
| Rent Stabilization Division |                                                                             |                                                                                                                   |                  |  |

Andy m 8 15-94

**Image 82:** 1995 permit for earthquake damage repair, unreinforced masonry crack repair, gunite to east elevation (four stories) (page 3 of 5)

ATTACHMENT C: PERMIT RESEARCH  
417 OCEAN FRONT WALK

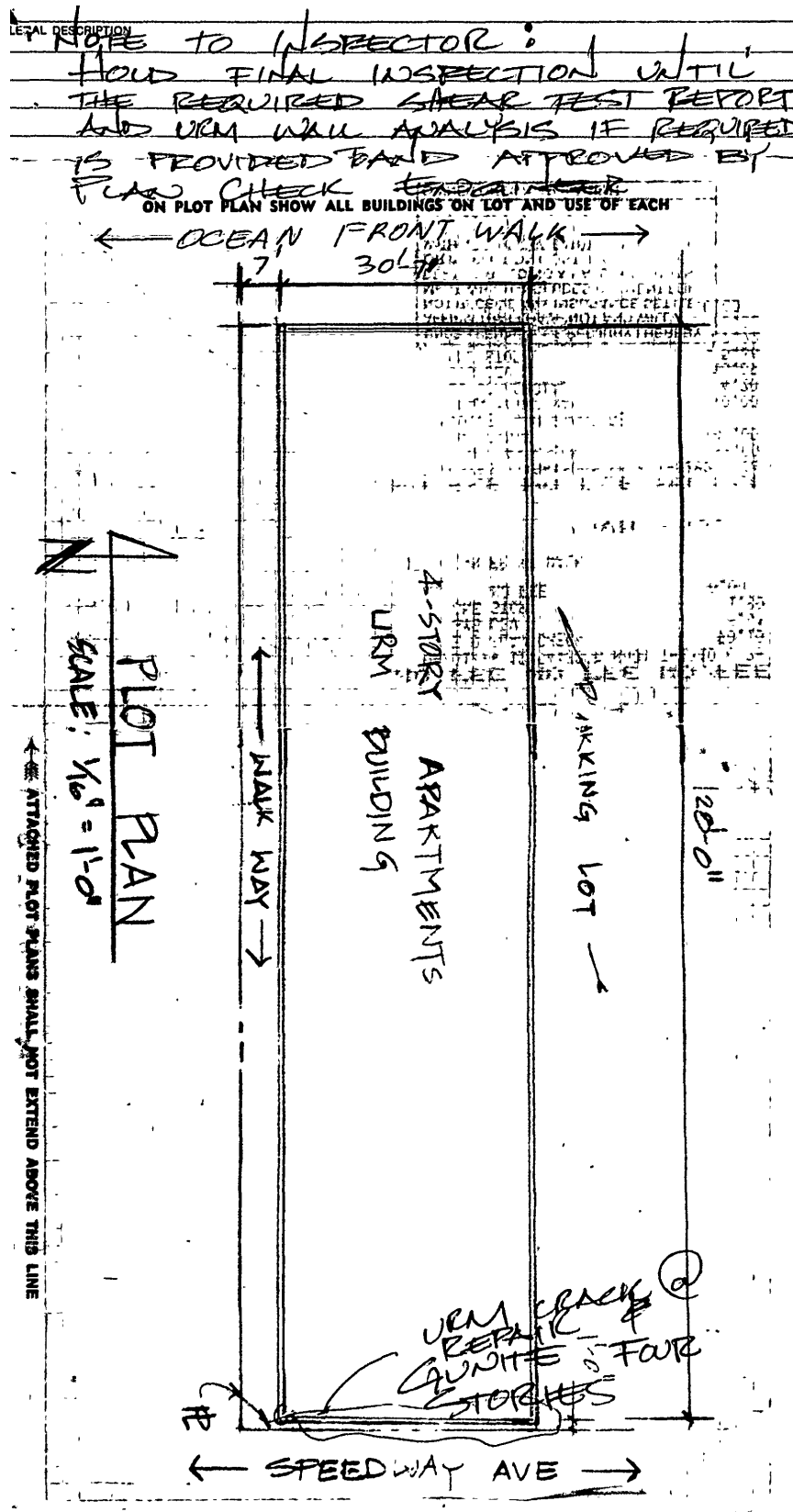


Image 83: 1995 permit for earthquake damage repair, unreinforced masonry crack repair, gunite to east elevation (four stories) (page 4 of 5)



LICENSED CONTRACTOR AND WORKERS' COMPENSATION  
DECLARATION ATTACHMENT

|                     |                                     |
|---------------------|-------------------------------------|
| JOB ADDRESS         | 417 Ocean Front Walk                |
| DESCRIPTION OF WORK | EQ REPAIR REPAIR & GUNITE UNRM WALL |

GENERAL CONTRACTOR

I hereby affirm, under penalty of perjury, that I am the general contractor named on the attached permit and I am licensed under the provisions Chapter 9, commencing with Section 7000, of Division 3 of the Business and Professions Code, and my license is in full force and effect. I am responsible for the following permits: ☒ Building ☐ Electrical ☐ Plumbing ☐ HVAC

I hereby affirm, under penalty of perjury, one of the following declarations:

☐ I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Sec. 3700 of the Labor Code, for the performance of the work for which the attached permit is issued.

☒ I have and will maintain workers' compensation insurance, as required by Sec. 3700 of the Labor Code, for the performance of the work for which the attached permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier GOLDEN EAGLE Policy No. NW 272984-00

☐ I certify that for the performance of the work for which the attached permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the provisions of Sec. 3700 of the Labor Code, I shall forthwith comply with those provisions.

Sign X Gary D. Cox Date 8-3-95

CONSTRUCTION LENDING AGENCY

I hereby affirm, under penalty of perjury, that there is a construction lending agency for the performance of the work for which the attached permit is issued (Sec. 3097, Civil Code).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

ASBESTOS REMOVAL

☐ I declare that notification of Asbestos Removal is not applicable ☐ I declare that a notification letter has been sent to the AQMD or E

Sign X Gary D. Cox Date 8-3-95

OWNER-BUILDER DECLARATION

I hereby affirm, under penalty of perjury, that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business & Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chap. 9 commencing with Sec. 7000 of Div. 3 of the Business & Professions Code) or that he or she is exempt therefrom and the basis for alleged exemption. Any violation of Sec. 7031.5 by any applicant for a permit, subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

☐ I, as the owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended offered for sale (Sec. 7044, Business & Professions Code: The Contractors License Law does not apply to the owner of property who builds improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not intend to improve for the purpose of sale).

☐ I, as the owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business & Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such project with a contractor(s) licensed pursuant to the Contractors License Law).

☐ I am exempt under Sec. \_\_\_\_\_, Bus. & Prof. Code for the following reason \_\_\_\_\_

Print \_\_\_\_\_ Sign \_\_\_\_\_ Date \_\_\_\_\_ ☐ OWNER ☐ AUTHORIZED AGENT

FINAL DECLARATION

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that the attached permit is an application for inspection and that it does not approve or authorize the work specified therein. A permit does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, that neither the City of Los Angeles nor the condition of the property nor the soil upon which such work is performed.

Print X Gary D. Cox ☐ OWNER ☒ AUTHORIZED AGENT ☐ CONTRACTOR  
Sign X Gary D. Cox Date 8-3-95

CASHIER USE ONLY

95VN 86522  
08/03/95 11:04:5  
VND4 T-8382 C 26

Image 84: 1995 permit for earthquake damage repair, unreinforced masonry crack repair, gunite to east elevation (four stories) (page 5 of 5)

ATTACHMENT C: PERMIT RESEARCH  
417 OCEAN FRONT WALK

417 S Ocean Front Walk 1-32



Permit #:  
Plan Check #:  
Event Code:

99016 - 30000 - 07245

Reference #:

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |       |                                                                                                                                    |     |                                                                                                                                                                                           |                   |                     |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------|------------------------------------------------------------------------------------------------------------------------------------|-----|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------|---------------------|
| Bldg--Alter/Repair<br>Commercial<br>Over the Counter Permit                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |       | City of Los Angeles - Department of Building and Safety<br><b>APPLICATION FOR BUILDING PERMIT<br/>AND CERTIFICATE OF OCCUPANCY</b> |     | Status: Ready to Issue<br>Status Date: 04/26/99<br>Printed on: 04/26/99 14:38:45                                                                                                          |                   |                     |
| 1. TRACT                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | BLOCK | LOT(s)                                                                                                                             | ARB | MAP REF #                                                                                                                                                                                 | PARCEL ID # (PIN) | 2. BOOK/PAGE/PARCEL |
| GOLDEN BAY TRACT                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | BLK 4 | 247                                                                                                                                |     | M B 2-15                                                                                                                                                                                  | 109-5A141 138     | 4286 - 029 - 004    |
| <b>3. PARCEL INFORMATION</b><br>No-Zone Permit - District Map - 109-5A141<br>BAS Branch Office - WLA Energy Zone - 6<br>Council District - 6 Thomas Brothers Map Grid - 671<br>Census Tract - 2734.000<br>ZONE(S):                                                                                                                                                                                                                                                                                                                             |       |                                                                                                                                    |     |                                                                                                                                                                                           |                   |                     |
| <b>4. DOCUMENTS</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |       |                                                                                                                                    |     |                                                                                                                                                                                           |                   |                     |
| <b>5. CHECKLIST ITEMS</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |       |                                                                                                                                    |     |                                                                                                                                                                                           |                   |                     |
| <b>6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION</b><br>Owner(s)<br>Tnt Property Mast 2054 264th LOMITA CA 901717<br>Tenant<br>Applicant (Relationship Contractor)<br>- A-1 All American 8874 National CULVER CITY CA 90232 (310) 559-4600                                                                                                                                                                                                                                                                                                  |       |                                                                                                                                    |     |                                                                                                                                                                                           |                   |                     |
| <b>7. EXISTING USE</b><br>5 Apartment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |       | <b>PROPOSED USE</b>                                                                                                                |     | <b>8. DESCRIPTION OF WORK</b><br>REROOF WITH 3 PLY CAP SHEET OVER EXISTING ROOF 28 SQ S YRS.                                                                                              |                   |                     |
| <b>9. # Bldgs on Site &amp; Use:</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |       |                                                                                                                                    |     | For information and/or inspection requests originating within LA County, call toll-free (888)-LA4BUILD; outside LA County, call (213)-977-6941.<br>For Cashier's Use Only W/O #: 91607245 |                   |                     |
| <b>10. APPLICATION PROCESSING INFORMATION</b><br>BLDG. PC By: DAS PC By:<br>OK for Cashier: Katherine Segall-Coa Coord. OK:<br>Signature: <i>[Signature]</i> Date: 4/26/99                                                                                                                                                                                                                                                                                                                                                                     |       |                                                                                                                                    |     |                                                                                                                                                                                           |                   |                     |
| <b>11. PROJECT VALUATION &amp; FEE INFORMATION</b> Final Fee Period<br>Permit Valuation: \$2,500 PC Valuation:<br>FINAL TOTAL Bldg--Alter/Repair 116.74<br>Permit Fee Subtotal Bldg--Alter/Rep 80.16<br>Handicapped Access<br>Plan Check Subtotal Bldg--Alter/Rep<br>Fire Hydrant Refuse-To-Pay<br>E.Q. Instrumentation 0.53<br>O.S. Surcharge 2.01<br>Sys. Surcharge 6.04<br>Planning Surcharge 3.00<br>Planning Surcharge Misc Fee 5.00<br>Permit Issuing Fee 20.00<br>Permit Fee-Single Inspection Flag<br>Sewer Cap ID: Total Bond(s) Due: |       |                                                                                                                                    |     |                                                                                                                                                                                           |                   |                     |
| <b>12. ATTACHMENTS</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |       |                                                                                                                                    |     |                                                                                                                                                                                           |                   |                     |

04/26/99 03:02:40PM WL03 T-7321 C 13  
BLDG PLAN CHEC 20.00  
INVOICE # 0000000 PP  
BLDG PERMIT CO 80.16  
EI COMMERCIAL 0.53  
ONE STOP 2.01  
SYS DEV 6.04  
MISCELLANEOUS 5.00  
CITY PLAN SURC 3.00  
TOTAL 116.74  
CHECK 116.74

99WL 58730

Image 85: 1999 permit to reroof with 3 ply cap sheet over existing roof (page 1 of 2)

ATTACHMENT C: PERMIT RESEARCH  
417 OCEAN FRONT WALK

13. STRUCTURE INVENTORY

14. APPLICATION COMMENTS

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information that has been captured electronically is not printed. Nevertheless, the information printed herein exceeds that required by Section 19825 of the Health and Safety Code of the State of California.

15. Building Relocated From:

16. CONTRACTOR, ARCHITECT, & ENGINEER NAME ADDRESS CLASS LICENSE# PHONE#

(C) A-1 All American Roofing Co West 8834 National Blvd, Culver City, CA 90232 C39 671922 3105594600

Unless a shorter period of time has been established by an official action, plan check approval expires one and a half years after the plan check fee has been paid. This permit expires two years after the building permit fee has been paid or 180 days after the fee has been paid and construction has not commenced or if work is suspended, discontinued or abandoned for a continuous period of 180 days (Sec. 98 0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by the Dept. of Building & Safety (Sec. 22.12 & 22.13 LAMC).

17. LICENSED CONTRACTORS' DECLARATION

I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. The following applies to B contractors only: I understand the limitations of Section 7057 related to my ability to take prime contracts or subcontracts involving specialty trades. (For 1 or 2 family dwellings, use the declaration attachment if separate general, electrical, plumbing, and/or HVAC contractor's & workers' comp declarations are desired)

License Class \_\_\_\_\_ Lic. No. \_\_\_\_\_ Print: \_\_\_\_\_ Sign: \_\_\_\_\_

18. WORKERS' COMPENSATION DECLARATION

I hereby affirm, under penalty of perjury, one of the following declarations:

☐ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued

☒ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Carrier: National Indemnity Policy Number: NWA 0150692-60

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Sign: [Signature] Date: 4/26/99 ☐ Contractor ☒ Authorized Agent ☐ Owner

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES

19. CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civil Code)

Lender's name \_\_\_\_\_ Lender's address \_\_\_\_\_

20. ASBESTOS REMOVAL

Notification of asbestos removal ☒ Is not applicable ☐ Letter was sent to the AQMD or EPA Sign: [Signature] Date: 4/26/99

21. OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Section 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 commencing with Sec. 7000 of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

☐ I, as the owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business & Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year from completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale)

☐ I, as the owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business & Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

☐ I am exempt under Sec \_\_\_\_\_, Bus. & Prof. Code for the following reason: \_\_\_\_\_

Print: \_\_\_\_\_ Sign: \_\_\_\_\_ Date: \_\_\_\_\_/\_\_\_\_\_/\_\_\_\_ ☐ Owner ☐ Authorized Agent

22. FINAL DECLARATION

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein. Also that it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, that neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4 3.4 LAMC).

Print: Roberto Jimenez Sign: [Signature] Date: 4/26/99 ☐ Owner ☐ Contractor ☒ Author. Agent

Image 86: 1999 permit to reroof with 3 ply cap sheet over existing roof (page 2 of 2)

ATTACHMENT C: PERMIT RESEARCH  
417 OCEAN FRONT WALK

417 S Ocean Front Walk 1-32



Permit #: 00016 - 10001 - 04987  
Plan Check #: CC11130F Reference #:  
Event Code:

|                                                            |                                                                                                                                    |                                                                                  |
|------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------|
| Bldg--Alter/Repair<br>Apartment<br>Over the Counter Permit | City of Los Angeles - Department of Building and Safety<br><b>APPLICATION FOR BUILDING PERMIT<br/>AND CERTIFICATE OF OCCUPANCY</b> | Status: Ready to Issue<br>Status Date: 06/26/00<br>Printed on: 06/26/00 10:38:58 |
|------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------|

|                  |              |               |            |                  |                          |                            |
|------------------|--------------|---------------|------------|------------------|--------------------------|----------------------------|
| <b>1. TRACT</b>  | <b>BLOCK</b> | <b>LOT(s)</b> | <b>ARE</b> | <b>MAP REF #</b> | <b>PARCEL ID # (PIN)</b> | <b>2. BOOK/PAGE/PARCEL</b> |
| GOLDEN BAY TRACT | BLK 4        | 247           |            | M B 2-15         | 109-5A141 138            | 4286 - 029 - 004           |

|                                                                                                                                                |                                                                                                        |                                                                                                              |
|------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------|
| <b>3. PARCEL INFORMATION</b><br>Alley - 20' ALLEY @ NE SIDE<br>BAS Branch Office - WLA<br>Council District - 6<br>Community Plan Area - Venice | Census Tract - 2734.000<br>Coastal Zone Cons. Act - YES<br>District Map - 109-5A141<br>Energy Zone - 6 | Flood Haz. Zone - YES<br>Earthquake-Induced Liquefaction Area - YES<br>Lot Size - IRR<br>Lot Type - Interior |
|------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------|

|                                                                                                                                                                             |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>4. DOCUMENTS</b>                                                                                                                                                         |
| ZI - ZI 1466      ORD - ORD 164844 (SA 930)      CPC - CPC 25560<br>ZI - ZI 1874      CPC - CPC 24385      CPC - CPC 86-0824 (GPC)<br>ORD - ORD 146323      CPC - CPC 24819 |

|                                                                                                                  |
|------------------------------------------------------------------------------------------------------------------|
| <b>5. CHECKLIST ITEMS</b>                                                                                        |
| Fabricator Req'd - Shop Welds<br>Fabricator Req'd - Structural Steel<br>Special Inspect - Structural Observation |

|                                                                                          |
|------------------------------------------------------------------------------------------|
| <b>6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION</b>                                  |
| Owner(s)<br>Venice Suites Llc      2001 Wilshire Blvd STE 505      SANTA MONICA CA 90403 |
| Tenant                                                                                   |

|                        |                     |                                                                                                                                                                                          |
|------------------------|---------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>7. EXISTING USE</b> | <b>PROPOSED USE</b> | <b>8. DESCRIPTION OF WORK</b>                                                                                                                                                            |
| 5 Apartment            |                     | INSTALL SUPPORTS FOR EXISTING WINDOW > 5' OPENING WHERE CONC LINTE HAVE CRACKS OR SPALD CONC. & CORRODED RENFOCING. TOTAL OF 28 SUCH OPENINGS. NONCONFORMING, NOT REQ'D TO BE FIREPROOF. |

|                                                                                                                                           |
|-------------------------------------------------------------------------------------------------------------------------------------------|
| <b>9. # Bldgs on Site &amp; Use:</b> 1 APT BLDG                                                                                           |
| <b>10. APPLICATION PROCESSING INFORMATION</b>                                                                                             |
| BLDG. PC By: Arthur Perez      DAS PC By:<br>OK for Cashier: Arthur Perez      Coord. OK:<br>Signature: <i>[Signature]</i> Date: 06/26/00 |

For information and/or inspection requests originating within LA County, call toll-free (888)-LA4BUILD; outside LA County, call (213)-977-6941.

For Cashier's Use Only      W/O #: 01604987  
LA Department of Building and Safety  
LA 05 17 011098 06/26/00 10:51AM

|                                                                     |                    |
|---------------------------------------------------------------------|--------------------|
| <b>11. PROJECT VALUATION &amp; FEE INFORMATION</b> Final Fee Period |                    |
| Permit Valuation: \$4,200                                           | PC Valuation:      |
| FINAL TOTAL Bldg--Alter/Repair                                      | 279.71             |
| Permit Fee Subtotal Bldg--Alter/Rep                                 | 130.00             |
| Plan Check Subtotal Bldg--Alter/Rep                                 | 117.00             |
| Fire Hydrant Refuse-To-Pay                                          |                    |
| E.Q. Instrumentation                                                | 0.50               |
| O.S. Surcharge                                                      | 4.95               |
| Sys. Surcharge                                                      | 14.85              |
| Planning Surcharge                                                  | 7.41               |
| Planning Surcharge Misc Fee                                         | 5.00               |
| Permit Issuing Fee                                                  | 0.00               |
| Sewer Cap ID:                                                       | Total Bond(s) Due: |
| <b>12. ATTACHMENTS</b>                                              |                    |

|                  |          |
|------------------|----------|
| BLDG PERMIT COMM | \$130.00 |
| BLDG PLAN CHECK  | \$117.00 |
| EI COMMERCIAL    | \$0.50   |
| ONE STOP SURCH   | \$4.95   |
| SYS DEV FEE      | \$14.85  |
| CITY PLAN SURCH  | \$7.41   |
| MISCELLANEOUS    | \$5.00   |

Total Due: \$279.71  
Check: \$279.71

00LA 00830

Image 87: 2000 permit for window supports (page 1 of 2)

ATTACHMENT C: PERMIT RESEARCH  
417 OCEAN FRONT WALK

|                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                        |                   |                        |                  |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------|------------------------|------------------|
| <b>13. STRUCTURE INVENTORY</b>                                                                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                                                                        |                   |                        |                  |
| (NC) Length 127 Feet<br>(E) Stories 4 Levels<br>(NC) Width 30 Feet<br>(NC) R1 Occupancy Sqft Max Occ.<br>(E) Type III-N Construction<br>(P) Type III-IHR Construction<br>(NC) Floor Construction - Concrete Slab on Grade<br>(NC) Floor Construction - Raised Wood                                          | (E) Foundation - Continuous Footing<br>(E) Roof Construction - Wood Frame/Sheathing<br>(E) Wall Construction - URM<br>(P) Wall Construction - Wood Stud<br>(NC) Concrete Shearwall<br>(NC) URM Shearwall<br>(C) Wood (Plywood, OSB, etc.) Shearwall<br>(P) Height (ZC) Feet<br>(E) Height (BC) 46 Feet |                   |                        |                  |
| <b>14. APPLICATION COMMENTS</b>                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                        |                   |                        |                  |
| In the event that any box (i.e. 1-14) is filled to capacity, it is possible that additional information that has been captured electronically is not printed. Nevertheless, the information printed herein exceeds that required by Section 19825 of the Health and Safety Code of the State of California. |                                                                                                                                                                                                                                                                                                        |                   |                        |                  |
| <b>15. Building Relocated From:</b>                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                        |                   |                        |                  |
| <b>16. CONTRACTOR, ARCHITECT, &amp; ENGINEER NAME ADDRESS CLASS LICENSE# PHONE#</b>                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                        |                   |                        |                  |
| (O) Owner-Builder                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                        |                   |                        |                  |
| (A) Barany                                                                                                                                                                                                                                                                                                  | Donald                                                                                                                                                                                                                                                                                                 | 1137 2nd St #202, | Santa Monica, CA 90403 | 0                |
| (E) Lambert                                                                                                                                                                                                                                                                                                 | John                                                                                                                                                                                                                                                                                                   | 652 Venice Blvd,  | Venice, CA 90291       | C12803<br>C38381 |

Unless a shorter period of time has been established by an official action, plan check approval expires one and a half years after the plan check fee has been paid. This permit expires two years after the building permit fee has been paid or 180 days after the fee has been paid and construction has not commenced or if work is suspended, discontinued or abandoned for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by the Dept. of Building & Safety (Sec. 22.12 & 22.13 LAMC).

**17. LICENSED CONTRACTOR'S DECLARATION**

I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. If doing work on a residential property, I certify that I hold a valid certification as a Home Improvement contractor per B&P Code, Section 7150.2c. The following applies to B contractors only: I understand the limitations of Section 7057 related to my ability to take prime contracts or subcontracts involving specialty trades.

License Class: \_\_\_\_\_ Lic. No.: \_\_\_\_\_ Print: \_\_\_\_\_ Sign: \_\_\_\_\_

**18. WORKERS' COMPENSATION DECLARATION**

I hereby affirm, under penalty of perjury, one of the following declarations:

☐ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: \_\_\_\_\_ Carrier: \_\_\_\_\_ Policy Number: \_\_\_\_\_

☒ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Sign: John Lambert Date: 6/26/00 ☐ Contractor ☒ Authorized Agent ☐ Owner

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

**19. CONSTRUCTION LENDING AGENCY**

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civil Code).

Lender's name: \_\_\_\_\_ Lender's address: \_\_\_\_\_

**20. ASBESTOS REMOVAL**

Notification of asbestos removal: ☐ Is not applicable ☐ Letter was sent to the AQMD or EPA Sign: \_\_\_\_\_ Date: \_\_\_\_\_

**21. OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Section 7031.5, Business and Professions Code): Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 commencing with Sec. 7000 of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

☒ I, as the owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business & Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year from completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale)

☐ I, as the owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business & Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

☐ I am exempt under Sec. \_\_\_\_\_, Bus. & Prof. Code for the following reason: \_\_\_\_\_

Print: John Lambert Sign: John Lambert Date: 6/26/00 ☐ Owner ☒ Authorized Agent

**22. FINAL DECLARATION**

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein. Also that it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, that neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

Print: John Lambert Sign: John Lambert Date: 6/26/00 ☐ Owner ☐ Contractor ☒ Author. Agent

Image 88: 2000 permit for window supports (page 2 of 2)



ATTACHMENT D: DIRECTORY RESEARCH  
**417 OCEAN FRONT WALK**  
**LOS ANGELES, CALIFORNIA**

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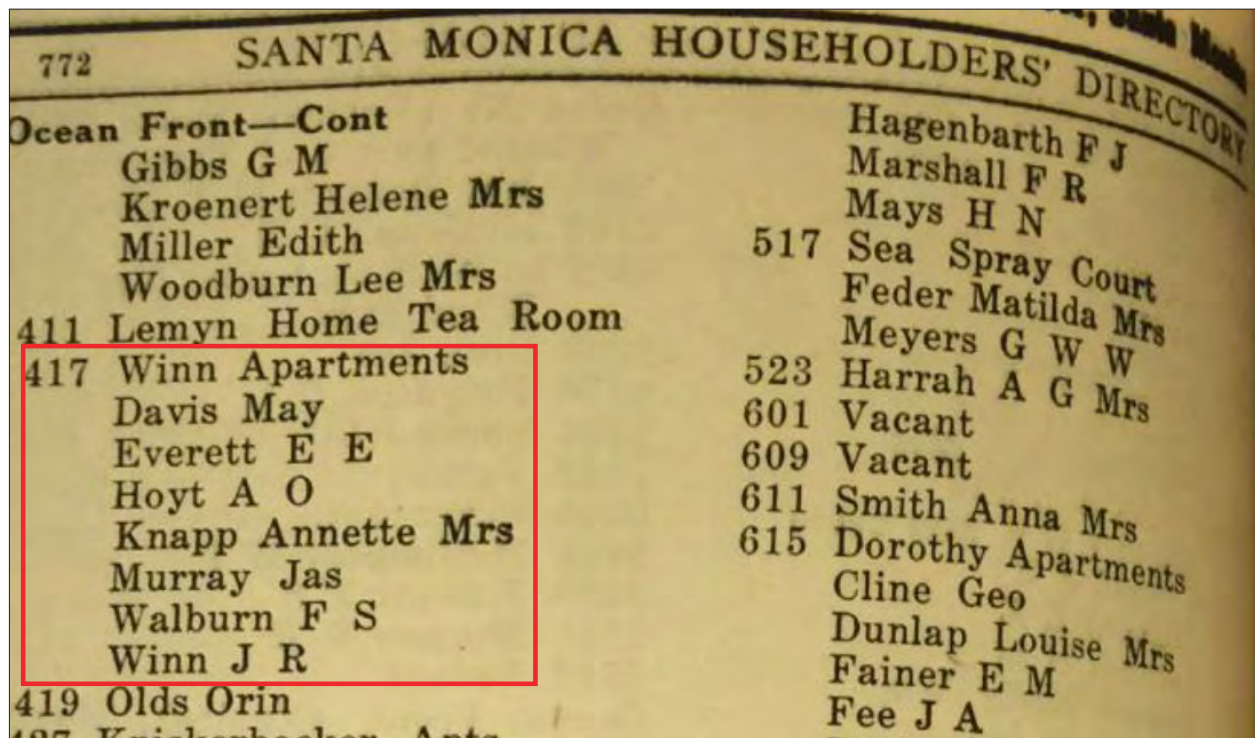


Image 59: 1923 Directory

ATTACHMENT D: DIRECTORY RESEARCH  
417 OCEAN FRONT WALK

| (1936) LOS ANGELES DIRECTORY CO'S |                         |                          |
|-----------------------------------|-------------------------|--------------------------|
| 586                               |                         |                          |
| OCEAN AV (V)—Contd                | 417 Biltmore Apartments | 909 Vacant               |
| 2316 Ferguson O R                 | Fessinger Morris        | 921 Edwards P F restr    |
| 2322 Vacant                       | Frazier Inez Mrs        | Breeze av begins         |
| 2323 Boucher Fred                 | Kerr W C                | 1007 Vacant              |
| 2326 Mooney J J                   | Zinn Ida Mrs            | 1009 Cowan E B Mrs       |
| 2327 Quirk E T                    |                         | 1009½ Vacant             |
| 2328 Hays Eunice Mrs              |                         | 1011 Vacant              |
| 2330 Chapman Florence             |                         | 1013 Roberts Janet beau- |
| 2331 Smith C H                    |                         | ty shop                  |
| 2342½ King Irving                 |                         | 1015 DeLangton Ellen Mrs |
| 2343 Vacant                       |                         | women's clo              |
| 2346 Simkins T L                  |                         | 1017 Peoples Inv Co real |
| 2347 King J Y                     |                         | est                      |
| 2350 Allison J L (o)              |                         | 1019 Clark H L restr     |
| 2351 Hillman Wm                   |                         | Wavecrest av begins      |
| 2351½ Wild Henry                  |                         | 1101 Rahal Chas restr    |
| 2353 Hansen Otto                  |                         | 1107 London Jacob baths  |
|                                   |                         | 1109 Goupil Alex barber  |
|                                   |                         | 1111 Vacant              |

Image 60: 1936 Directory

| (1938) LOS ANGELES DIRECTORY CO'S |                          |                         |
|-----------------------------------|--------------------------|-------------------------|
| 658                               |                          |                         |
| OCEAN AV (SM)—Contd               |                          | OCEAN FRONT             |
| Searl G L                         | 1747d Hull Henry         | (Venice) — South from   |
| Zivec Philip                      | 1747e Dempsey Agnes J    | Marine to Playa del Rey |
| Zweiger Franz                     | 1749 Carlson Marie Mrs   | 1 w of Speedway         |
| 1677Δ Witherow Apart-             | ΔCumberworth M C         | 5 Stern S M phys        |
| ments                             | Mrs                      | 9 Palace Amusement      |
| Burk John                         | De Mille Jean            | Enterprises             |
| Campbell Ray                      | Gregerson Jerry          | 22ΔJordan Jos restr     |
| Collins John                      | Lucien Geo               | 41 Vacant               |
| Dutton Laura                      | Perham Fred              | Navy av intersects      |
| Hauffner Wm                       | Williams Kath            | Ozone av intersects     |
| Henry Janet Mrs                   | 1802 Vacant              | 201ΔMiller Geo restr    |
| Herbert V L                       | 1810ΔAutomobile Club of  | 205 Vacant              |
| Ivie Haler                        | Southern Calif           | 213 Vacant              |
| Johnson A L Mrs                   | Vicente ter intersects   | 213½ Vacant             |
| Krause P C                        | 1811 Elks Club           | 215 Rudnick Mollie Mrs  |
| Kussrow Isabelle                  | 1815ΔMansfield W E used  | delicatessen            |
| Mrs                               | cars                     | Rose av begins          |
| MacFarlane D L                    | 1828 Turton Clema hd     | 303 Thornburgh Harry    |
| McLeod L W Mrs (o)                | Indy                     | 303½ Vacant             |
| Saunders M E Mrs                  | Pico blvd intersects     | 305ΔSimonofsky Meyer    |
| Selmont Gus                       | 1910 Harter T D          | gro                     |
| Venabel Margt Mrs                 | OCEAN AV — South from    | 307 Vacant              |
| 1681 Jensen Peter piano           | (Venice) — South from    | 313 Cohn Annie Mrs      |
| tuner                             | Mildred av. 1 e of East- | 317 Wakatsuki Geo       |
| 1683ΔBay View Apart-              | ern av                   | 319 Vacant              |
| ments                             | 2200 Miller Cleo         | 319½ Vacant             |
| Fouts H E                         | 2204 Wild Henry          | 321 Vacant              |
| Hunter Herbt                      | 2208 Vacant              | 323 Vacant              |
| Johnson Sarah                     | 2208b Kolb Henry         | Dudley av begins        |
| Rankin Evangeline                 | Plautz Henrietta         | 401ΔHotel Cadillac      |
| Shepherd H T                      | Mrs (o)                  | Sobel Jeannette Mrs     |
| Smith M F Mrs                     | Carroll av ends          | 405 Rosenfeld Wm wo-    |
| Steele R B Mrs drs-               | 2302 Richmond Dean       | men's clo               |
| mkr                               | 2302½ΔMcGough C B (o)    | 407ΔMontezuma Apart-    |
| Williams Mattie Mrs               | Montgomery Jas           | ments                   |
| 1684ΔLowry J A E real             | 2305 Sass Frank          | Blum Isador             |
| est                               | 2305½ Young Margie       | Chapman Claude          |
| 1685ΔRichards Iris M gift         | 2305¾ Holden J C         | Dressen Arth            |
| shop                              | 2307 Parker R F (o)      | Epstein Saml            |
| 1703ΔCoffman E E Mrs              | 2307½ Wilson O E         | Forte R F               |
| 1704 Vacant                       | 2308 Brawner P H         | Garr Max                |
| 1705 Watts H M Mrs                | 2311 Seibert M R         | Genser Harry            |
| 1707 Vacant                       | 2315 Hobbs John          | Hart Geo                |
| 1707b Harries Norris              | 2315½ Crowley E J        | Himelfarb Saml          |
| 1709 Vacant                       | 2316 Short L E           | ΔKroenert Helene Mrs    |
| 1709a Vacant                      | Short O R                | (o)                     |
| 1709b Vacant                      | 2322 Goldsmith John      | Smith Geo               |
| 1709c Houseman M A Mrs            | 2323 Boucher Fred        | 411½ Vacant             |
| 1711ΔSkinner Bertella K           | 2323½ Ortega C B         | 417 Biltmore Apartments |
| (o)                               | 2326 Mooney J J          | Anderson Albt           |
| rear Rodes E L                    | 2327 Quirk E T           | Davis Nathan            |
| 1711½ Furlong A E Mrs             | 2328 Hackett J A         | Fessinger Morris        |
| 1714 Westshore Auto               | 2330 Hayes Rosa Mrs      | Frazier Inez Mrs        |
| Court                             | 2330b Jennings Bessie    | Kerr W C                |
| Doyle T J                         | Mrs                      | Lefchter Alf            |
| 1715ΔSkinner Bernice K            | 2331 Smith C H           | Orenstein Morris        |
| osteo                             | 2342½ King I L           | Turner L H              |
| ΔSkinner Bartella K               | 2343 Harvey Max          | Weiser Nathan           |
| osteo                             | 2346 Dunstan A J         | Zinn Ida Mrs            |
| 1715½ Jensen Peter                | 2347 Baxter R A          | 419 Vacant              |
| 1719 Dodson C N                   | 2350 Allison J L         |                         |
| Evans C E                         |                          |                         |

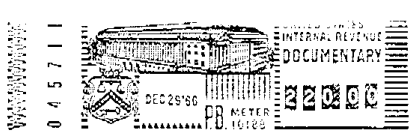
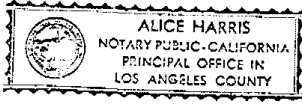
Image 61: 1938 Directory

ATTACHMENT E: DEEDS  
**417 OCEAN FRONT WALK**  
**LOS ANGELES, CALIFORNIA**



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ATTACHMENT E: DEEDS  
417 OCEAN FRONT WALK

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |  |                                                                                                                                                              |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--------------------------------------------------------------------------------------------------------------------------------------------------------------|
| RECORDING REQUESTED BY                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |  | 993                                                                                                                                                          |
| CEN-FED ESCROWS, INC.<br>1347 Fifth Street<br>Santa Monica, California<br>AND WHEN RECORDED MAIL TO                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |  | RECORDED IN OFFICIAL RECORDS<br>OF LOS ANGELES COUNTY, CALIF.<br>FOR SECURITY TITLE INSURANCE CO.<br>DEC 29 1966 AT 8:01 A.M.<br>RAY E. LEE, County Recorder |
| Name: Mr. and Mrs. N. Burton Wilkins<br>Street Address: 505 Georgina Avenue<br>City & State: Santa Monica, California                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |  |                                                                                                                                                              |
| SPACE ABOVE THIS LINE FOR RECORDER'S USE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |  |                                                                                                                                                              |
| MAIL TAX STATEMENTS TO<br>Name: same as above<br>Street Address:<br>City & State:                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |  | AFFIX \$ 220.00 R. STAMPS IN THIS SPACE<br>LAC \$25.00                                                                                                       |
| <b>Joint Tenancy Grant Deed</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |  |                                                                                                                                                              |
| THIS FORM FURNISHED BY TITLE INSURANCE AND TRUST COMPANY                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |  |                                                                                                                                                              |
| <p>FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,<br/>LOUIS L. BECKER, a widower</p> <p>hereby GRANT(S) to</p> <p>N. BURTON WILKINS and ISABELLE WILKINS, husband and wife, AS JOINT TENANTS,<br/>the real property in the<br/>County of Los Angeles State of California, described as:</p> <p style="text-align: center;">--- Lot 247, Block 4 of GOLDEN BAY TRACT, as per map<br/>recorded in Book 2, Page 15 of Maps in the office<br/>of the county recorder of said county ---</p> <div style="text-align: center; margin-top: 20px;"><p>0 4 5 7 1 1<br/>DEC 29 '66<br/>METER<br/>D. 10789</p></div> <p>Dated: <u>November 10th, 1966</u></p> <p>STATE OF CALIFORNIA }<br/>COUNTY OF <u>Los Angeles</u> } ss.<br/>On <u>November 14, 1966</u> before me, the under-<br/>signed, a Notary Public in and for said State, personally appeared<br/><u>Louis L. Becker</u></p> <p>_____ known to me<br/>to be the person whose name <u>is</u> subscribed to the within<br/>instrument and acknowledged that <u>he</u> executed the same.<br/>WITNESS my hand and official seal.</p> <div style="text-align: center; margin-top: 10px;"><p>ALICE HARRIS<br/>NOTARY PUBLIC - CALIFORNIA<br/>PRINCIPAL OFFICE IN<br/>LOS ANGELES COUNTY</p></div> <p>Signature: <u>Alice Harris</u><br/>ALICE HARRIS, Notary Public<br/>In and for the State of California<br/>My Commission Expires August 27, 1968 or Printed</p> <p style="text-align: right;">(This area for official notarial seal)</p> <p>Title Order No. _____ Escrow or Loan No. <u>5541-C</u></p> |  |                                                                                                                                                              |
| MAIL TAX STATEMENTS AS DIRECTED ABOVE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |  |                                                                                                                                                              |

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>RECORDING REQUESTED BY</p> <p>AND WHEN RECORDED MAIL TO</p> <p>Name <u>Norris B. Wilkins</u><br/>Street Address <u>505 Georgina Avenue</u><br/>City &amp; State <u>Santa Monica, California</u><br/><u>90402</u></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | <p><b>3449</b></p> <div style="border: 1px solid black; padding: 5px; margin: 10px auto; width: fit-content;"><p>RECORDED IN OFFICIAL RECORDS<br/>OF LOS ANGELES COUNTY, CALIF.</p><p>51 Min. <b>12 P.M. NOV 15 1967</b><br/>Past</p><p>RAY E. LEE, County Recorder</p></div> <p>SPACE ABOVE THIS LINE FOR RECORDER'S USE</p> <p>MAIL TAX STATEMENTS TO</p> <p>Name <u>Norris B. Wilkins</u><br/>Street Address <u>505 Georgina Avenue</u><br/>City &amp; State <u>Santa Monica, California</u><br/><u>90402</u></p> <div style="border: 1px solid black; padding: 2px; width: 40px; float: right; text-align: center;"><p>FEE<br/>\$2<br/>G</p></div> <p>TO 402 CA (10-67)</p> <div style="text-align: center;"><p><b>Quitclaim Deed</b></p><p><small>THIS FORM FURNISHED BY TITLE INSURANCE AND TRUST COMPANY</small></p></div> <p>AFFIX \$ _____ I. R. STAMPS ABOVE</p> |
| <p>FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, N. Burton Wilkins and Isabelle Wilkins, husband and wife</p> <p>hereby REMISE(S), RELEASE(S) AND FOREVER QUITCLAIM(S) to Norris B. Wilkins and Isabelle Kuhlmann Wilkins, husband and wife, as co-tenants in common, all of their right, title and interest in and to</p> <p>the following described real property in the _____ county of Los Angeles,<br/>state of California:</p> <p style="margin-left: 40px;">Lot 247, Block 4 of Golden Bay Tract, as per map<br/>recorded in Book 2, Page 15 of Maps, in the office<br/>of the county recorder of said county.</p> <p>SUBJECT TO: Covenants, conditions, easements, reservations,<br/>rights and rights of way, trust deeds and<br/>restrictions of record.</p> <p>Dated <u>November 3, 1967.</u></p> <div style="display: flex; justify-content: space-between;"><div style="width: 45%;"><p>STATE OF CALIFORNIA } ss.<br/>COUNTY OF <u>Los Angeles</u></p><p>On <u>November 3, 1967</u> before me, the under-<br/>signed, a Notary Public in and for said State, personally appeared<br/><u>N. Burton Wilkins and Isabelle Wilkins.</u></p><p>_____, known to me<br/>to be the person<u>s</u> whose name<u>s</u> <u>are</u> subscribed to the within<br/>instrument and acknowledged that <u>they</u> executed the same.<br/>WITNESS my hand and official seal.</p><p>Signature <u>Marshall Gumbiner</u><br/><u>Marshall Gumbiner</u><br/>Name (Typed or Printed)</p><p><small>If executed by a Corporation the Corporation Form<br/>of Acknowledgment must be used.</small></p></div><div style="width: 45%; text-align: center;"><p><u>N. Burton Wilkins</u><br/>N. Burton Wilkins</p><p><u>Isabelle Wilkins</u><br/>Isabelle Wilkins</p><div style="border: 1px solid black; padding: 5px; margin: 10px auto; width: fit-content;"><p>OFFICIAL SEAL<br/><b>MARSHALL GUMBINER</b><br/>NOTARY PUBLIC — CALIFORNIA<br/>PRINCIPAL OFFICE IN<br/>LOS ANGELES COUNTY</p></div><p><small>(This area for official notarial seal)</small></p></div></div> |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |

ATTACHMENT E: DEEDS  
417 OCEAN FRONT WALK

MAY 19 1971

699

RECORDING REQUESTED BY

AND WHEN RECORDED MAIL TO

Name Mr. ROBERT S. WASHBURN  
Street c/o LANDTEC CORPORATION  
Address 750 WELCH ROAD  
City & State PALO ALTO, CALIFORNIA 94304

MAIL TAX STATEMENTS TO

Name  
Street  
Address  
City & State

SAME AS ABOVE

SPACE ABOVE THIS LINE FOR RECORDER'S USE

DOCUMENTARY TRANSFER TAX \$  
COMPUTED ON FULL VALUE OF PROPERTY CONVEYED  
OR COMPUTED ON FULL VALUE LESS LIENS AND ENCUMBRANCES REMAINING AT TIME OF SALE.

Signature of Declarant or Agent determining tax. Firm Name

Grant Deed

TO 408-1, CA (1-70) THIS FORM FURNISHED BY TITLE INSURANCE AND TRUST COMPANY

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,  
NORRIS B. WILKINS AND ISABELLE KUHLMANN WILKINS, HUSBAND AND WIFE,  
hereby GRANT(S) to  
ROBERT S. WASHBURN, A MARRIED MAN, AS HIS SEPARATE PROPERTY,  
the following described real property in the City of LOS ANGELES  
County of LOS ANGELES, State of California:  
LOT 247, BLOCK 4 OF GOLDEN BAY TRACT, AS PER MAP RECORDED IN BOOK 2,  
PAGE 15 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

Dated MAY 11, 1971

Norris B. Wilkins  
NORRIS B. WILKINS

Isabelle Kuhlmann Wilkins  
ISABELLE KUHLMANN WILKINS

STATE OF CALIFORNIA  
COUNTY OF LOS ANGELES } ss.  
On MAY 12, 1971 Before me, the under-  
signed, a Notary Public in and for said State, personally appeared  
NORRIS B. WILKINS AND  
ISABELLE KUHLMANN WILKINS

known to me  
to be the person(s) whose name(s) ARE subscribed to the within  
instrument and acknowledged that THEY executed the same.  
WITNESS my hand and official seal.

Signature Jean Selby  
JEAN SELBY  
Name (Typed or Printed)

OFFICIAL SEAL  
JEAN SELBY  
NOTARY PUBLIC - CALIFORNIA  
PRINCIPAL OFFICE IN  
LOS ANGELES COUNTY  
My Commission Expires April 18, 1975

Title Order No. 711 0034 Escrow or Loan No. 1338

MAIL TAX STATEMENTS AS DIRECTED ABOVE

MAY 19 71 SEC. II. 8:01

ATTACHMENT E: DEEDS  
417 OCEAN FRONT WALK

MAY 19 1971

RECORDING REQUESTED BY

700

AND WHEN RECORDED MAIL TO

Name MR. ROBERT S. WASHBURN  
Street C/O LANDTEC CORPORATION  
Address 750 WELCH ROAD  
City & State PALO ALTO, CALIFORNIA 94304

MAIL TAX STATEMENTS TO

Name  
Street  
Address  
City & State

SAME AS ABOVE

SPACE ABOVE THIS LINE FOR RECORDER'S USE

TO: 412 CA 12-68

**Quitclaim Deed**

THIS FORM FURNISHED BY TITLE INSURANCE AND TRUST COMPANY

D.E.T. \$ NONE  
NO CONSIDERATION PAID  
THIS DEED AS GIVEN TO  
SEPARATE PROPERTY

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,  
SUZANNE WASHBURN, A MARRIED WOMAN, WIFE OF THE GRANTEE HEREIN,  
hereby REMISE(S), RELEASE(S) AND FOREVER QUITCLAIM(S) to  
ROBERT S. WASHBURN, A MARRIED MAN, AS HIS SEPARATE PROPERTY,  
the following described real property in the CITY OF LOS ANGELES county of LOS ANGELES  
state of California:  
Lot 247, Block 4 of GOLDEN BAY TRACT, AS PER MAP RECORDED IN  
BOOK 2, PAGE 15 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER  
OF SAID COUNTY.

THIS DEED IS GIVEN TO CARRY OUT THE MUTUAL DESIRE AND AGREEMENT OF THE PARTIES  
HERETO THAT SAID PROPERTY SHALL BECOME VESTED IN THE GRANTEE HEREIN AS HIS SOLE  
AND SEPARATE PROPERTY.

Dated May 12, 1971

SUZANNE WASHBURN

STATE OF CALIFORNIA  
COUNTY OF Santa Clara } ss.  
On May 12, 1971 before me, the under-  
signed, a Notary Public in and for said State, personally appeared  
SUZANNE WASHBURN  
known to me  
to be the person whose name is subscribed to the within  
instrument and acknowledged that she executed the same.  
WITNESS my hand and official seal.

Signature Barbara L. Farrey  
BARBARA L. FARREY  
Name (Typed or Printed)

If executed by a Corporation the Corporation Form  
of Acknowledgment must be used.

My Commission Expires February 3, 1974

700

7116334-2

Title Order No. 711 0334 Escrow or Loan No. 1338

MAIL TAX STATEMENTS AS DIRECTED ABOVE



ATTACHMENT E: DEEDS  
417 OCEAN FRONT WALK

6-100 (10-6-68) UNRECORDED MAIL TO

**MAY 19 1971** WASHBURN  
C/O ERNDYCE CORPORATION  
Street Address 750 WELCH ROAD  
City & State PALO ALTO, CALIFORNIA 94304

MAIL TAX STATEMENTS TO

Name  
Street Address SAME AS ABOVE  
City & State

TO 402 CA (12-68)

**Quitclaim Deed**  
THIS FORM FURNISHED BY TITLE INSURANCE AND TRUST COMPANY

DTT's NONE  
NO CONSIDERATION PAID  
THIS DEED AS GIVEN  
SEPARATE PROMPT

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged.  
SUZANNE WASHBURN, A MARRIED WOMAN, WIFE OF THE GRANTEE HEREIN,  
L. L. WASHBURN

**MAY 19 71 SEC. 11.8:01**

TO 442 C  
(Individual)

STATE OF CALIFORNIA }  
COUNTY OF LOS ANGELES } ss

On MAY 12, 1971 before me, the undersigned, a Notary Public in and for said  
State, personally appeared SUZANNE WASHBURN

to the person whose name is subscribed  
to the within instrument and acknowledged that  
executed the same. SHE

WITNESS my hand and official seal.

Signature *Richard J. Merrill*  
Name (Typed or Printed) RICHARD J. MERRILL

700

OFFICIAL SEAL  
RICHARD J. MERRILL  
NOTARY PUBLIC - STATE OF CALIFORNIA  
PRINCIPAL OFFICE IN  
LOS ANGELES COUNTY  
My Commission Expires April 2, 1973

(Other area for official notarial seal)

ATTACHMENT E: DEEDS  
417 OCEAN FRONT WALK

JUL 26 1973

RECORDING REQUESTED BY

PETTY, ANDREWS, TUFTS &  
JACKSON

AND WHEN RECORDED MAIL TO

Name George A. Andrews, Jr.  
Street Petty, Andrews, Tufts et al  
Address 650 California Street #3130  
City & State San Francisco, CA 94108

2429

RECORDED IN OFFICIAL RECORDS  
OF LOS ANGELES COUNTY, CALIF.  
11 Min. 11 A.M. JUL 26 1973  
Past  
Registrar-Recorder

FEE  
\$3  
S

SPACE ABOVE THIS LINE FOR RECORDER'S USE

MAIL TAX STATEMENTS TO

Name Suzanne P. Washburn  
Street 455 Santa Rita Avenue  
Address Palo Alto, California 94301  
City & State

No stamps necessary; consideration  
under \$100.

*George A. Andrews, Jr.*  
Attorney at Law

D.T.T. \$

TO 402 CA (12-68)

Quitclaim Deed

THIS FORM FURNISHED BY TITLE INSURANCE AND TRUST COMPANY

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

ROBERT S. WASHBURN, a married man dealing with his separate property,

hereby REMISE(S), RELEASE(S) AND FOREVER QUITCLAIM(S) to SUZANNE P. WASHBURN,  
trustee under agreement dated July 19, 1973, with Robert S. Washburn  
as trustor

the following described real property in the City of Los Angeles county of Los Angeles  
state of California:

Lot 247, Block 4 of Golden Bay Tract, as per Map recorded in Book  
2, Page 15 of Maps, in the office of the County Recorder of said  
county.

Dated July 19, 1973

*Robert S. Washburn*  
Robert S. Washburn

City & STATE OF CALIFORNIA }  
COUNTY OF San Francisco } ss.  
On July 19, 1973 before me, the under-  
signed, a Notary Public in and for said State, personally appeared  
Robert S. Washburn

known to me  
to be the person whose name is subscribed to the within  
instrument and acknowledged that he executed the same.  
WITNESS my hand and official seal

Signature *Helen Ketterbaugh*  
Helen Ketterbaugh  
Name (Typed or Printed)

If executed by a Corporation the Corporation Form  
of Acknowledgment must be used.



(This area for official notarial seal)

Title Order No.

Easement or Loan No.

MAIL TAX STATEMENTS AS DIRECTED ABOVE

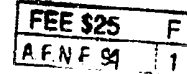
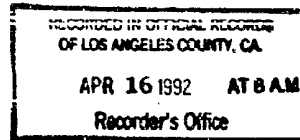
ATTACHMENT E: DEEDS  
417 OCEAN FRONT WALK

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                        |                                                                                                         |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------|
| RECORDING REQUESTED BY                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                        | 82- 278571                                                                                              |
| AND WHEN RECORDED MAIL TO                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                        |                                                                                                         |
| Name<br>Street<br>Address<br>City & State                                                                                                                                                                                                                                                                                                                                                                                                                                   | Mr. Michael T. Neal<br>1404 Beech Avenue<br>Torrance, California 90501 | RECORDED IN OFFICIAL RECORDS<br>OF LOS ANGELES COUNTY, CA<br>MAR 16 1982 AT 8 A.M.<br>Recorder's Office |
| Name<br>Street<br>Address<br>City & State                                                                                                                                                                                                                                                                                                                                                                                                                                   | Same as Above                                                          |                                                                                                         |
| MAIL TAX STATEMENTS TO                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                        | FEE<br>\$4<br>G                                                                                         |
| SPACE ABOVE THIS LINE FOR RECORDER'S USE                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                        |                                                                                                         |
| Individual Grant Deed                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                        |                                                                                                         |
| TO 1923 CA (12-74) THIS FORM FURNISHED BY TICOR TITLE INSURERS A.P.N.                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                        |                                                                                                         |
| The undersigned grantor(s) declare(s):<br>Documentary transfer tax is \$411.95<br>( ) computed on full value of property conveyed, or<br>(X) computed on full value less value of liens and encumbrances remaining at time of sale.<br>( ) Unincorporated area: (XX) City of Los Angeles, and                                                                                                                                                                               |                                                                        |                                                                                                         |
| FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,<br>MONTE OVERSTREET, a single man                                                                                                                                                                                                                                                                                                                                                                    |                                                                        |                                                                                                         |
| hereby GRANT(S) to MICHAEL T. NEAL AND SHAUNA J. GARDNER-NEAL, husband and wife as community property, as to 33 1/3% interest and JOHN M. AREA III, an unmarried man, as to 33 1/3% interest and LOUIS EDWARD TELBIZOFF AND GLORIA JOAN TELBIZOFF, Trustees under Declaration of Trust dated October 6, 1980, as to 33 1/3% interest, all as tenants in common the following described real property in the City of Los Angeles County of Los Angeles, State of California: |                                                                        |                                                                                                         |
| Lot 247, Block 4 of Golden Bay Tract, as per map recorded in Book 2 Page 15 of Maps, in the office of the county recorder of said county.                                                                                                                                                                                                                                                                                                                                   |                                                                        |                                                                                                         |
| Dated February 17, 1982<br>Monte Overstreet                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                        |                                                                                                         |
| STATE OF CALIFORNIA }<br>COUNTY OF Los Angeles } ss<br>On March 2, 1982 before me, the undersigned, a Notary Public in and for said State, personally appeared Monte Overstreet                                                                                                                                                                                                                                                                                             |                                                                        |                                                                                                         |
| known to me<br>to be the person whose name is subscribed to the within instrument and acknowledged that he executed the same.<br>WITNESS my hand and official seal.                                                                                                                                                                                                                                                                                                         |                                                                        |                                                                                                         |
| Signature Carmean Finance<br>Carmean Finance                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                        |                                                                                                         |
| OFFICIAL SEAL<br>CARMEAN FINANCE<br>NOTARY PUBLIC - CALIFORNIA<br>LOS ANGELES COUNTY<br>My comm. expires AUG 2, 1983                                                                                                                                                                                                                                                                                                                                                        |                                                                        |                                                                                                         |
| Title Order No. 82-278571-18 Escrow or Loan No.                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                        |                                                                                                         |
| MAIL TAX STATEMENTS AS DIRECTED ABOVE                                                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                        |                                                                                                         |

ATTACHMENT E: DEEDS  
417 OCEAN FRONT WALK

ATTENDING TITLE COMPANY  
RECORDING REQUESTED BY  
John Area  
950 17th Street  
Hermosa Beach, CA 90254  
AND WHEN RECORDED MAIL TO  
John Area  
c/o Janarea Inc.  
1225 West 190th Street, Ste. 205  
Gardena, CA 90248  
MAIL TAX STATEMENTS TO  
Name John Area  
c/o Janarea Inc.  
1225 W. 190th Street, #205  
City & Gardena, CA 90248

92 670597



SPACE ABOVE THIS LINE FOR RECORDER'S USE

Individual Quitclaim Deed

THIS FORM FURNISHED BY TICOR TITLE INSURERS

A.P.N.

The undersigned grantor(s) declare(s):  
Documentary transfer tax is \$None  
( ) computed on full value of property conveyed, or  
( ) computed on full value less value of liens and encumbrances remaining at time of sale.  
( ) Unincorporated area: (X) City of Los Angeles, and  
The Real Property herein described was purchased with the sole and separate funds of the grantee - R & T 11911

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

Mary Lou Area, a married woman

hereby REMISE(S), RELEASE(S) AND FOREVER QUITCLAIM(S) to

John M. Area III, a married man as his sole and separate property

the following described real property in the  
State of California:

County of

Lot 247, Block 4 of Golden Bay Tract, as per map recorded in Book 2 Page 15  
of maps, in the county recorder of said county.

It is the express intent of the grantor, being the spouse of the grantee, to  
convey all right, title and interest of the grantor, community or otherwise,  
in and to the herein described property, to the grantee as his/her sole and  
separate property.

Dated February 17, 1992

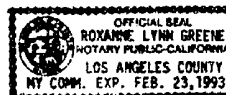
Mary Lou Area  
Mary Lou Area

STATE OF CALIFORNIA } ss.  
COUNTY OF LOS ANGELES

On February 17, 1992 before me, the under-  
signed, a Notary Public in and for said State, personally appeared  
MARY LOU AREA

known to me  
to be the person whose name is subscribed to the within  
instrument and acknowledged that she executed the same.  
WITNESS my hand and official seal.

Signature



(This area for official notarial seal)

Title Order No. 269898-22

Easement or Loan No.

MAIL TAX STATEMENTS AS DIRECTED ABOVE

RECORDING REQUESTED BY:

John M. Area III

When Recorded Mail Document  
and Tax Statement To:  
JMA Properties, Inc.  
4582 E. Kingwood Drive #207  
Kingwood, Texas 77345

96 2078354

RECORDED/FILED IN OFFICIAL RECORDS  
RECORDER'S OFFICE  
LOS ANGELES COUNTY  
CALIFORNIA

11:41 AM DEC 24 1996

FEE  
\$7  
F

Escrow No.

Title Order No.

APN: 4286-029-004

SPACE ABOVE THIS LINE FOR RECORDER'S USE

GRANT DEED

The undersigned grantor(s) declare(s)

Documentary transfer tax is \$ None City tax \$ None

☐ computed on full value of property conveyed, or

☐ computed on full value less value of liens or encumbrances remaining at time of sale,

☐ Unincorporated Area City of Los Angeles

The Grantor and the Grantee in this  
Conveyance are comprised of the same  
parties who continue to hold the same  
proportionate interests in the property,  
R & T 11923(d). The conveyance is from  
an individual to his wholly owned  
corporation, R & T 62 (a) (2).

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

John M. Area III, a married man

hereby GRANT(S) to JMA Properties, Inc., a Texas corporation, all of his rights, title  
and interests in

the following described real property in the City of Los Angeles  
County of Los Angeles

State of California:

LOT 247, BLOCK 4 OF GOLDEN BAY TRACT, IN THE CITY  
OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF  
CALIFORNIA, AS PER MAP RECORDED IN BOOK 2, PAGE 15  
OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF  
SAID COUNTY.

DATED: September 24, 1996

STATE OF ~~CALIFORNIA~~ TEXAS  
COUNTY OF HARRIS

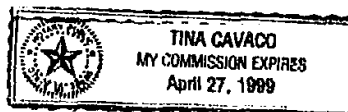
ON 9/24/96 before me,  
John M. Area III personally appeared

John M. Area III

personally known to me (or proved to me on the  
basis of satisfactory evidence) to be the person(s)  
whose name(s) is/are subscribed to the within  
instrument and acknowledged to me that he/she/they  
executed the same in his/her/their authorized  
capacity(ies), and that by his/her/their signature(s) on  
the instrument the person(s), or the entity upon  
behalf of which the person(s) acted, executed the  
instrument.

Witness my hand and official seal.

Signature



MAIL TAX STATEMENT AS DIRECTED ABOVE



99 1817361

|                                                                                             |    |      |
|---------------------------------------------------------------------------------------------|----|------|
| RECORDED/FILED IN OFFICIAL RECORDS<br>RECORDER'S OFFICE<br>LOS ANGELES COUNTY<br>CALIFORNIA |    |      |
| SEP                                                                                         | 23 | 1999 |
| AT 8 A.M.                                                                                   |    |      |

SPACE ABOVE THIS LINE RESERVED FOR RECORDER'S USE

TITLE(S)

DEED

|             |             |              |      |            |               |       |               |             |
|-------------|-------------|--------------|------|------------|---------------|-------|---------------|-------------|
| FEE<br>CODE | N/A         | N/A          | 0    | 20         | 9             | 19    | 04            | 19          |
| REC<br>FEE  | NO<br>PAGES | NO<br>TITLES | PCOR | D A<br>FEE | SURVEY<br>MON | NOTIF | INVOL<br>LIEN | NON<br>CONF |

//

EXAMINER'S INT

Assessor's Identification Number (AIN)  
To Be Completed By Examiner Or Title Company In Black Ink

4286-029-004

Number of Parcels Shown

001



Revision Number

99 1817361

RECORDING REQUESTED BY

Stewart Title of California, Inc

WHEN RECORDED MAIL TO  
AND MAIL TAX STATEMENTS TO

NAME VENICE SUITES, LLC

ADDRESS 2001 Wilshire Blvd, Ste 505

CITY Santa Monica, CA 90403-5640  
STATE & ZIP

A. F. N. F. CODE 94

FEE \$ 54 11

GRANT DEED

10

TITLE ORDER NO. 849112-44

Escrow No. 99192442

APN NO. 4286-29-4

THE UNDERSIGNED GRANTOR(s) DECLARE(s)

DOCUMENTARY TRANSFER TAX is \$

CITY TAX \$

(E) computed on full value of property conveyed, or computed on full value less value of liens or encumbrances remaining at time of sale,  
( ) Unincorporated area (x) City of Los Angeles, and

TRANSFER TAX  
NOT A PUBLIC RECORD

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,  
MICHAEL T NEAL AND SAUNA J GARDNER-NEAL, husband and wife  
LOUIS EDWARD TELBIZOFF AND GLORIA JOAN TELBIZOFF, Trustees Under Declaration of Trust as amended  
Dated October 6, 1980, and JMA PROPERTIES, INC , A TEXAS CORPORATION

hereby GRANT(s) to

VENICE SUITES, LLC A CALIFORNIA LIMITED LIABILITY COMPANY

the following described real property in the County of Los Angeles, State of California

Lot 247, Block 4 of Golden Bay Tract, in the City of Los Angeles, County of Los Angeles, State of California,  
As per map recorded in book 2 page (s) 15 of Maps, in the office of the county recorder of said county

See Attached Signature Page marked Exhibit "A" for complete  
signatures of the above named Grantors

Dated September 14, 1999

*Michael T Neal*  
Michael T Neal  
*Shauna J Gardner-Neal*  
Shauna J Gardner-Neal

~~XXXX~~ CONSIST COUNTER PARTS

STATE OF CALIFORNIA }

COUNTY OF } S S

On Sept 20, 1999 before me the undersigned notary public *Mark Van Deusen*  
(here insert name and title of the officer), personally appear *Michael T Neal & Shauna J Gardner-Neal*  
Michael T Neal and Shauna J Gardner-Neal  
personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within  
instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s)  
on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument

WITNESS my hand and official seal

*Mark Van Deusen*  
Signature

DOCUMENT PROVIDED BY STEWART TITLE OF CALIFORNIA INC  
GRNTDEED DOC



GRNTDEED DOC

SIGNED IN COUNTER PART

NOTIFICATION SENT \$40

99 1817361

ILLEGIBLE NOTARY DECLARATION.

GOVERNMENT CODE 27361.7

NAME OF NOTARY PUBLIC MARK VAN DEUSEN

DATE COMMISSION EXPIRES 6-23-2000

NOTARY IDENTIFICATION NUMBER: 1102658

MANUFACTURER/ VENDOR IDENTIFICATION NUMBER: VS11

I CERTIFY UNDER PENALTY OF PERJURY THAT THE FOREGOING IS TRUE AND  
CORRECT.

PLACE OF EXECUTION: NORWALK, CALIFORNIA

DATE: 9-23-99

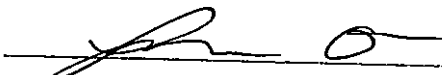
  
SIGNATURE

EXHIBIT 'A'  
SIGNATURE PAGE OF

LOUIS EDWARD TELBIZOFF AND GLORIA JOAN TELBIZOFF,  
TRUSTEES UNDER DECLARATION OF TRUST DATED OCTOBER 6, 1980. *was* *as amended*

By: \_\_\_\_\_  
Louis Edward Telbizoff, Trustee

By: \_\_\_\_\_  
Gloria Joan Telbizoff, Trustee

JMA PROPERTIES, INC.,  
A TEXAS CORPORATION

BY: \_\_\_\_\_

BY: \_\_\_\_\_

99 1817361

ATTACHMENT E: DEEDS  
417 OCEAN FRONT WALK

RECORDING REQUESTED BY

Stewart Title of California, Inc.

WHEN RECORDED MAIL TO  
AND MAIL TAX STATEMENTS TO

NAME VENICE SUITES, LLC

ADDRESS 2001 Wilshire Blvd, Ste 505

CITY Santa Monica, CA 90403-5640  
STATE & ZIP

GRANT DEED

TITLE ORDER NO 849112-44 Escrow No. 99192442 APN NO. 4286-29-4

THE UNDERSIGNED GRANTOR(s) DECLARE(s)

DOCUMENTARY TRANSFER TAX is \$ CITY TAX \$

(☒) computed on full value of property conveyed, or computed on full value less value of liens or encumbrances remaining at time of sale,  
( ) Unincorporated area (x) City of Los Angeles, and

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,  
MICHAEL T. NEAL AND SAUNA J. GARDNER-NEAL, husband and wife  
LOUIS EDWARD TELBIZOFF AND GLORIA JOAN TELBIZOFF, Trustees Under Declaration of Trust  
Dated October 6, 1980; and JMA PROPERTIES, INC, A TEXAS CORPORATION

hereby GRANT(s) to **AS AMENDED**  
**LET GJT**

VENICE SUITES, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

the following described real property in the County of Los Angeles, State of California.

Lot 247, Block 4 of Golden Bay Tract, in the City of Los Angeles, County of Los Angeles, State of California,  
As per map recorded in book 2 page (s) 15 of Maps, in the office of the county recorder of said county

See Attached Signature Page marked Exhibit "A" for complete  
signatures of the above named Grantors

Dated September 14, 1999

Michael T. Neal

Shauna J. Gardner-Neal

STATE OF CALIFORNIA }

COUNTY OF } S S

On before me the undersigned notary public  
(here insert name and title of the officer), personally appear

Michael T. Neal and Shauna J. Gardner-Neal  
personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within  
instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s)  
on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument

WITNESS my hand and official seal

Signature

DOCUMENT PROVIDED BY STEWART TITLE OF CALIFORNIA, INC  
GRANTED DOC

99 1817361

GRANTED DOC



EXHIBIT 'A'  
SIGNATURE PAGE OF

LOUIS EDWARD TELBIZOFF AND GLORIA JOAN TELBIZOFF,  
TRUSTEES UNDER DECLARATION OF TRUST DATED OCTOBER 6, 1980

LET GJT  
AS AMENDED

By: *Louis Edward Telbizoff* <sup>Trustee</sup> By: *Gloria Joan Telbizoff* <sup>Trustee</sup>  
Louis Edward Telbizoff, Trustee Gloria Joan Telbizoff, Trustee

JMA PROPERTIES, INC.,  
A TEXAS CORPORATION

BY: \_\_\_\_\_

BY: \_\_\_\_\_

99 1817361

## ALL PURPOSE ACKNOWLEDGMENT

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ )

On 9/17/99 before me, Mildred E. Martin the notary public  
appeared Louis Edward Telbizoff and Gloria Joan  
Telbizoff

Personally known to me (or proved to me on the basis of satisfactory evidence) to be  
the person(s) whose name(s) ~~is~~ are subscribed to the within instrument and  
acknowledged to me that ~~he~~ ~~she~~ they executed the same in ~~his~~ ~~her~~ their authorized  
capacity ~~(ies)~~, and that by ~~his~~ ~~her~~ their signature(s) on the instrument the person(s), or  
the entity upon behalf of which the person(s) acted, executed the instrument

WITNESS my hand and official seal

Signature Mildred E. Martin



(NOTARY SEAL)

MARIA V. MCGUIRE Commission expires Oct 6 2000

**ATTENTION NOTARY: Although the information requested below is OPTIONAL, it could  
prevent fraudulent attachment of this certificate to another  
Document.**

THIS CERTIFICATE **MUST** BE ATTACHED TO THE DOCUMENT DESCRIBED AT RIGHT  
Title of Document Type \_\_\_\_\_  
Number of Pages \_\_\_\_\_ Date of Document \_\_\_\_\_  
Signer(s) Other Than Named Above \_\_\_\_\_

**99 1817361**

ATTACHMENT E: DEEDS  
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FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,  
MICHAEL T NEAL AND SAUNA J GARDNER-NEAL, husband and wife  
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Dated September 14, 1999

Michael T Neal

Shauna J Gardner-Neal

STATE OF CALIFORNIA }

COUNTY OF } S S

On before me the undersigned notary public  
(here insert name and title of the officer), personally appear  
Michael T Neal and Shauna J Gardner-Neal

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within  
instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s)  
on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument

WITNESS my hand and official seal

Signature

DOCUMENT PROVIDED BY STEWART TITLE OF CALIFORNIA, INC  
GRNTDEED.DOC

99 1817361

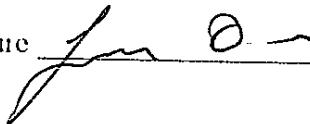
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99 1817361

[Lined area for text entry]

I CERTIFY (OR DECLARE) UNDER PENALTY OR PERJURY THAT THE  
FOLLOING IS TRUE AND CORRECT

DATE: SEP 23 1999

Signature 

Place of execution Norwalk

EXHIBIT 'A'  
SIGNATURE PAGE OF

LOUIS EDWARD TELBIZOFF AND GLORIA JOAN TELBIZOFF,  
TRUSTEES UNDER DECLARATION OF TRUST DATED OCTOBER 6, 1980.

By: \_\_\_\_\_  
Louis Edward Telbizoff, Trustee

By: \_\_\_\_\_  
Gloria Joan Telbizoff, Trustee

JMA PROPERTIES, INC.,  
A TEXAS CORPORATION

BY:   
JOHN M. ARCA

BY: \_\_\_\_\_

*President, Corp.*

99 1817361



## ALL PURPOSE ACKNOWLEDGMENT

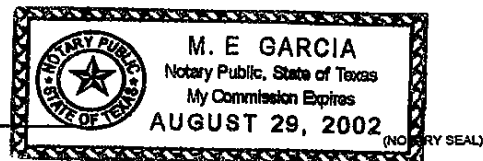
Texas  
STATE OF ~~CALIFORNIA~~ }  
COUNTY OF Harris }

On Sept. 16, 1999 before me, M.E. Garcia  
\_\_\_\_\_ personally appeared  
JOHN M. AREA

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature M.E. Garcia



**ATTENTION NOTARY:** Although the information requested below is **OPTIONAL**, it could prevent fraudulent attachment of this certificate to another document.

THIS CERTIFICATE **MUST** BE ATTACHED TO  
THE DOCUMENT DESCRIBED AT RIGHT

Title of Document Type \_\_\_\_\_  
Number of Pages \_\_\_\_\_ Date of Document \_\_\_\_\_  
Signer(s) Other Than Named Above \_\_\_\_\_  
\_\_\_\_\_

**99 1817361**

ATTACHMENT F: NEWSPAPER RESEARCH  
**417 OCEAN FRONT WALK**  
**LOS ANGELES, CALIFORNIA**

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Image 62: 1928 Los Angeles Times article

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ATTACHMENT G: 1930 CENSUS  
**417 OCEAN FRONT WALK**  
**LOS ANGELES, CALIFORNIA**

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[illegible]

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ATTACHMENT H: SANBORN MAP  
**417 OCEAN FRONT WALK**  
**LOS ANGELES, CALIFORNIA**



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ATTACHMENT H: SANBORN MAP  
**417 OCEAN FRONT WALK**

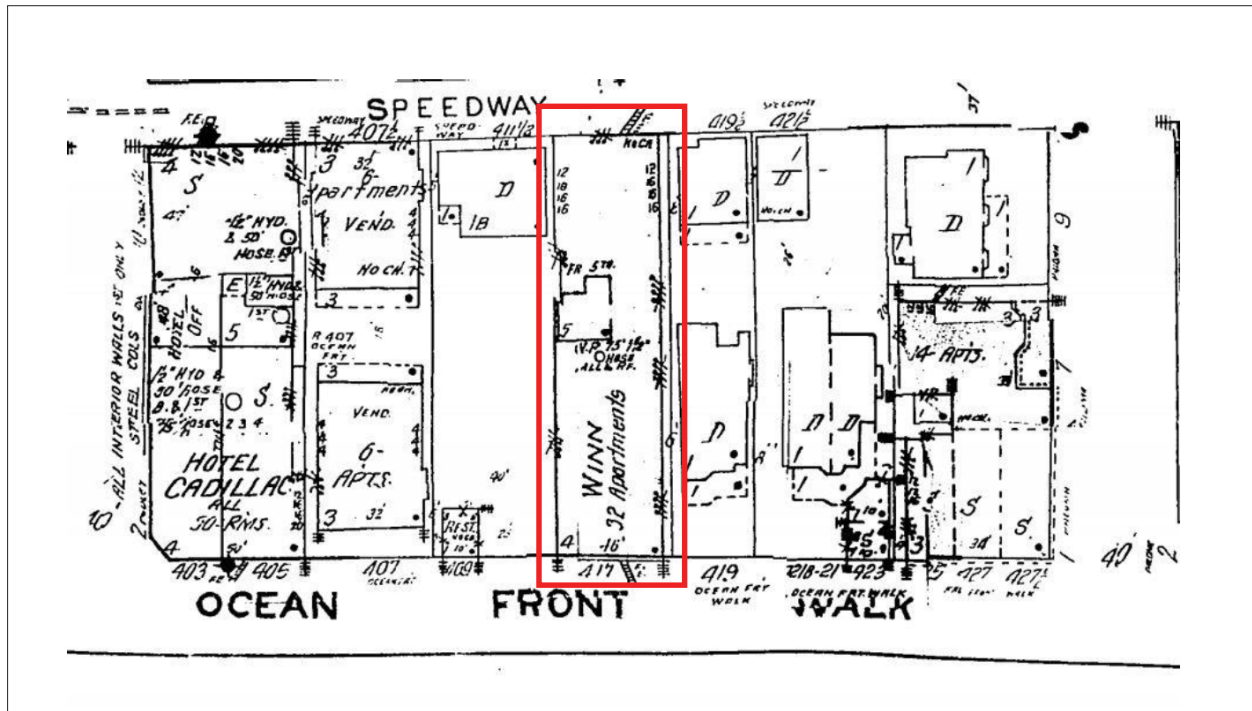


Image 63: c1950 Sanborn Map

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ATTACHMENT I: PREVIOUS HISTORICAL IDENTIFICATION  
**417 OCEAN FRONT WALK**  
**LOS ANGELES, CALIFORNIA**

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## Historic Resources Survey Report **Venice Community Plan Area**



### *Prepared for:*

City of Los Angeles  
Department of City Planning  
Office of Historic Resources



### *Prepared by:*

HISTORIC RESOURCES GROUP  
Pasadena, CA

March 2015

ATTACHMENT I: PREVIOUS HISTORICAL IDENTIFICATION  
**417 OCEAN FRONT WALK**

Venice Report

Individual Resources – 04/02/15



Primary Address: 417 S OCEAN FRONT WALK  
Name: Biltmore by the Sea; Winn Apartments  
Year built: 1921  
Architectural style: Commercial, Vernacular

Context 1:

|                    |                                                                                                                                                                                                                                                      |
|--------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Context:           | Residential Development and Suburbanization, 1850-1980                                                                                                                                                                                               |
| Sub context:       | Multi-Family Residential Development, 1910-1980                                                                                                                                                                                                      |
| Theme:             | Multi-Family Residential, 1910-1980                                                                                                                                                                                                                  |
| Sub theme:         | Apartment Houses, 1910-1980                                                                                                                                                                                                                          |
| Property type:     | Residential                                                                                                                                                                                                                                          |
| Property sub type: | Apartment House                                                                                                                                                                                                                                      |
| Criteria:          | C/3/3                                                                                                                                                                                                                                                |
| Status code:       | 3CS;5S3                                                                                                                                                                                                                                              |
| Reason:            | Rare example of a 1920s apartment house in Venice; one of few remaining examples from this period along Ocean Front Walk. Due to alterations, the property does not retain sufficient integrity to be eligible for listing in the National Register. |



Primary Address: 503 S OCEAN FRONT WALK  
Name:  
Year built: 1913  
Architectural style: Commercial, Vernacular

Context 1:

|                    |                                                                                                                                                                                                                                                      |
|--------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Context:           | Residential Development and Suburbanization, 1850-1980                                                                                                                                                                                               |
| Sub context:       | Multi-Family Residential Development, 1910-1980                                                                                                                                                                                                      |
| Theme:             | Multi-Family Residential, 1910-1980                                                                                                                                                                                                                  |
| Sub theme:         | Apartment Houses, 1910-1980                                                                                                                                                                                                                          |
| Property type:     | Residential                                                                                                                                                                                                                                          |
| Property sub type: | Apartment House                                                                                                                                                                                                                                      |
| Criteria:          | C/3/3                                                                                                                                                                                                                                                |
| Status code:       | 3CS;5S3                                                                                                                                                                                                                                              |
| Reason:            | Rare example of a 1910s apartment house in Venice; one of few remaining examples from this period along Ocean Front Walk. Due to alterations, the property does not retain sufficient integrity to be eligible for listing in the National Register. |



**Context: Residential Development & Suburbanization, 1850-1980**

**Sub-Context: Multi-Family Residential Development, 1910-1980**

**Theme: Multi-Family Residential, 1910-1980**

**Sub-Theme: Apartment Houses, 1910-1980**

This Context/Theme was used to evaluate significant examples of apartment houses in Venice. The survey identified approximately ten apartment houses, about half of which are situated on the beach overlooking the Pacific Ocean. Located along Ocean Front Walk between Venice Boulevard on the south and the City of Santa Monica border on the north, a number of the original hotels and apartment houses built to accommodate Venice's earliest visitors remain extant today. Identified examples date from the teens to the 1930s. While most examples have some degree of alteration, these buildings are important to the understanding of Venice of America as an early-20<sup>th</sup> century tourist destination.



Address: 417 S. Ocean Front Walk  
Name: Biltmore by the Sea  
Date: 1921



Address: 1305 S. Ocean Front Walk  
Name: The Potter  
Date: 1912



Address: 503 S. Ocean Front Walk  
Name: Phoenix House  
Date: 1913



Address: 11 E. Anchorage Street  
Name: Francis X. Bushman Residence  
Date: 1932

## **VENICE**

---

# **Community Plan**

## **TABLE OF CONTENTS**

### **ACTIVITY LOG**

### **COMMUNITY MAPS**

### **COMMUNITY PLAN**

- I. Introduction
- II. Function of the Community Plan
- III. Land Use Policies and Programs
- IV. Coordination Opportunities for Public Agencies
- V. Urban Design
- Land Use Diagram
- Appendix A - Landmarks per Venice Historic Sites Survey Report of 1990
- Appendix B - Programmed Arterial Improvements

[www.lacity.org/PLN](http://www.lacity.org/PLN) (General Plans)

A Part of the General Plans - City of Los Angeles

**VENICE**

**APPENDIX A  
 LANDMARKS PER HISTORIC SITES SURVEY REPORT**

LANDMARKS PER VENICE HISTORIC SITES SURVEY REPORT OF 1990

| NAME                                                                                                                                                                                                                                                                                                       | YR BUILT | ADDRESS                  | CURRENT USE    |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------|--------------------------|----------------|
| Beyond Baroque (Ocean Park City Hall or Town Hall where city government had all their meeting)                                                                                                                                                                                                             | 1907     | 681 N Venice Blvd.       | arts center    |
| Old Venice Police Station (Venice Police & Fire Station. It is the only art deco police station in the City of LA, was the first public building built in Venice after its annexation to LA in 1925)                                                                                                       | 1930     | 685 N Venice Blvd.       | arts center    |
| Lands End Restaurant (an important contributor to Ocean Front Walk)                                                                                                                                                                                                                                        | 1925     | 321-325 Ocean Front Walk | restaurant     |
| Cadillac Hotel (an important contributor to Ocean Front Walk)                                                                                                                                                                                                                                              | 1914     | 401 Ocean Front Walk     | hotel          |
| Biltmore by the Sea (an important contributor to Ocean Front Walk)                                                                                                                                                                                                                                         | 1921     | 417 Ocean Front Walk     | apartments     |
| Figtree Café (Knickerbocker Hotel was a seaside resort thru the 1930's)                                                                                                                                                                                                                                    | 1911     | 431 Ocean Front Walk     | hotel, café    |
| Phoenix House Tuum Est (important contributor to Ocean Front Walk)                                                                                                                                                                                                                                         | 1913     | 503 Ocean Front Walk     | rehab. housing |
| Pacific Jewish Center (Bay Cities Synagogue was built as a power station)                                                                                                                                                                                                                                  | 1925     | 505 Ocean Front Walk     | Jewish Center  |
| Chaplin Center (Sea Spray Apartments)                                                                                                                                                                                                                                                                      | 1922     | 517 Ocean Front Walk     | retail         |
| Sidewalk Café (Connon Building was the last "Venice style" building built by the Kinney Co. & once housed one of Harrah's original Bingo parlor)                                                                                                                                                           | 1915     | 1401 Ocean Front Walk    | café           |
| Ocean View Apts. (Ocean View Hotel. Originally called King George Hotel, one of Venice's luxury hotels)                                                                                                                                                                                                    | 1912     | 5 Rose Avenue            | apartments     |
| The Haley Hotel                                                                                                                                                                                                                                                                                            | 1906     | 1512-516 Pacific Avenue  | retail         |
| Lucerne Apartments (upper story was used by the American Legion and the Boy Scouts, bottom story, shops)                                                                                                                                                                                                   | 1920     | 1800-1802 Pacific Avenue | apartments     |
| The Ellison (housed more permanent guests than most of the Venice apartment-hotels)                                                                                                                                                                                                                        | 1913     | 15 Paloma                | apartments     |
| (Provincial Cottage) (belonged to Abbot Kinney. May be one of the oldest in Venice)                                                                                                                                                                                                                        | 1906     | 16 Park                  | SF residence   |
| University of the Arts (one of Abbot Kinney's original buildings intended as part of his cultural institute)                                                                                                                                                                                               | 1904     | 1304 Riviera             |                |
| Kinney House (originally stood on an acre of parcel in the canal district. It was lived in by the family in 1908 to 1920. On his death, Kinney willed the house to Irwin Tabor, his black driver. The house was moved to its present location because blacks were forbidden to live in certain districts.) | 1915     | 1310 Sixth Avenue        | SF residence   |

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ATTACHMENT J: EXISTING FLOOR PLANS AND ELEVATIONS  
**417 OCEAN FRONT WALK**  
**LOS ANGELES, CALIFORNIA**

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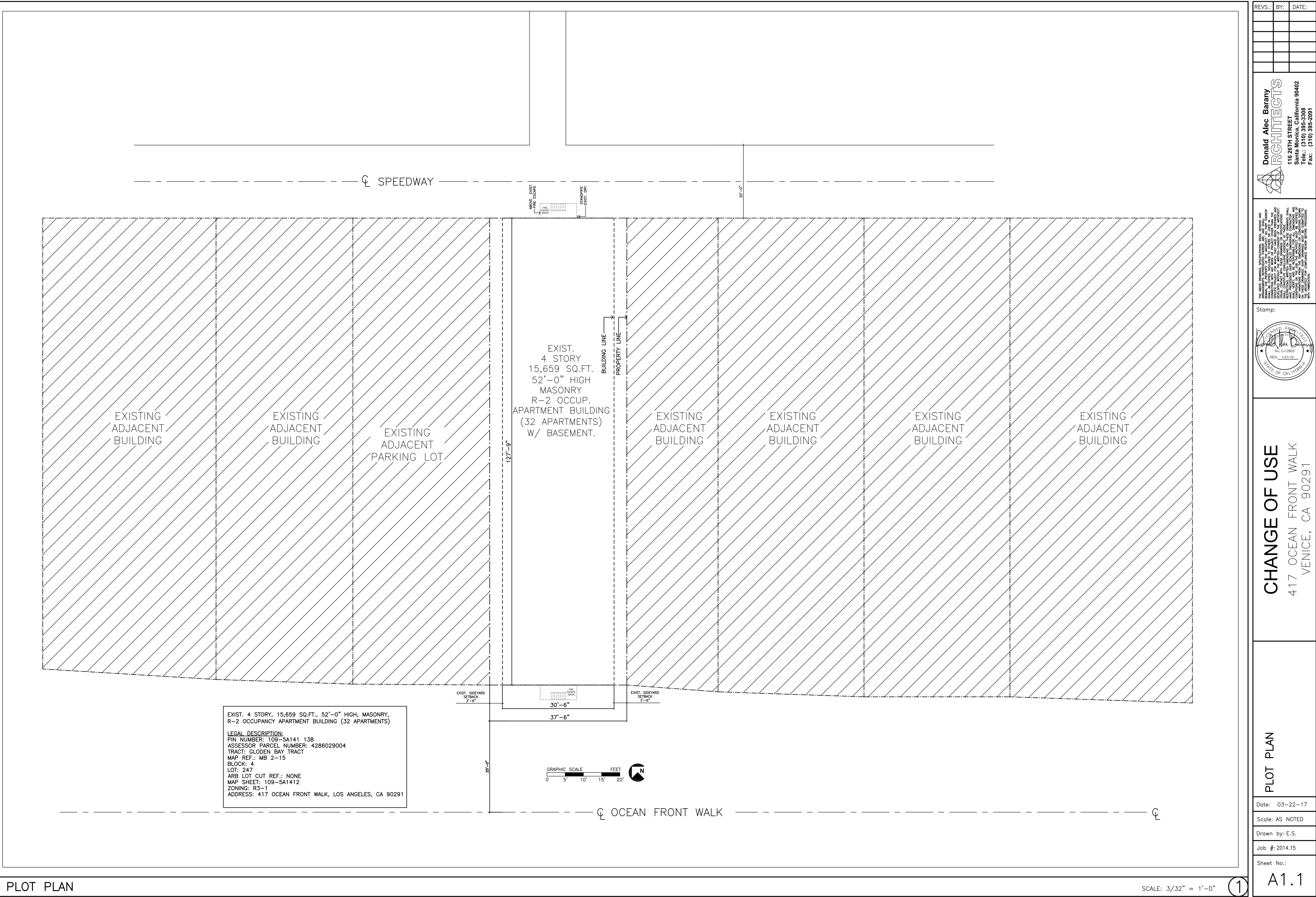
REVS.:

BY:

DATE:

</





REVS.: BY: DATE:

Donald Alec Barany

ARCHITECTS

116 28TH STREET  
Santa Monica, California 90402  
Tel.: (310) 395-3308  
Fax: (310) 395-2091

FOR THE ARCHITECT, THE ARCHITECT'S RESPONSIBILITY IS TO PREPARE AND SUBMIT TO THE CITY ENGINEER AND TO THE CITY ENGINEER'S REVIEW, ALL PLANS AND SPECIFICATIONS FOR THE PROPOSED PROJECT. THE ARCHITECT'S RESPONSIBILITY IS NOT TO BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR THE CITY ENGINEER. THE ARCHITECT'S RESPONSIBILITY IS NOT TO BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR THE CITY ENGINEER. THE ARCHITECT'S RESPONSIBILITY IS NOT TO BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR THE CITY ENGINEER.

Stamp:

STATE OF CALIFORNIA

REGISTERED ARCHITECT

Donald Alec Barany

No. C-12803

REN. 1-31-19

CHANGE OF USE

417 OCEAN FRONT WALK

VENICE, CA 90291

PLOT PLAN

Date: 03-22-17

Scale: AS NOTED

Drawn by: E.S.

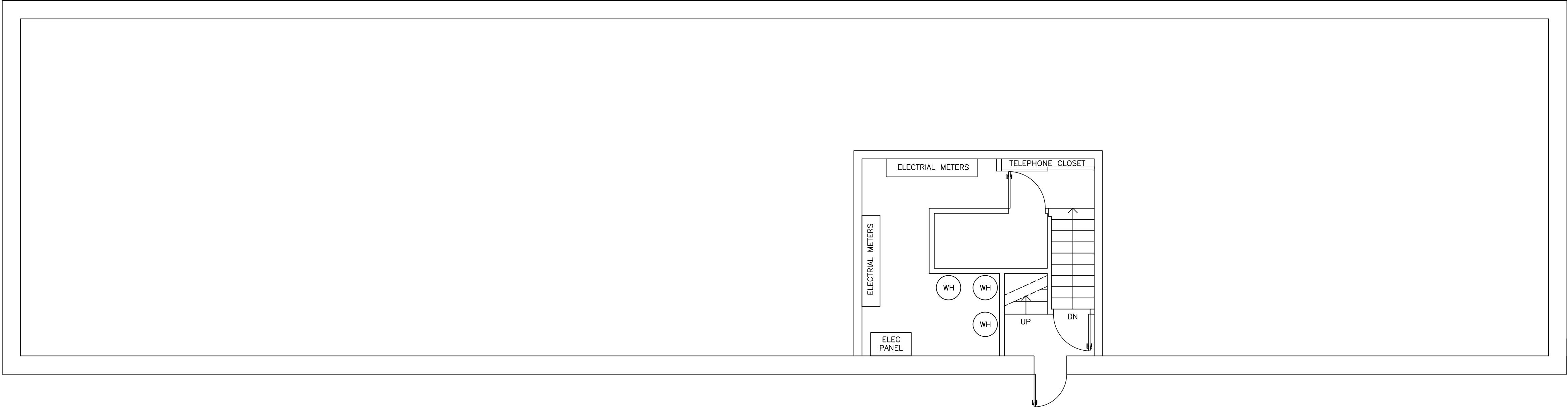
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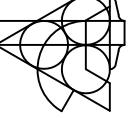
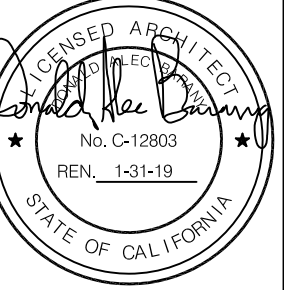
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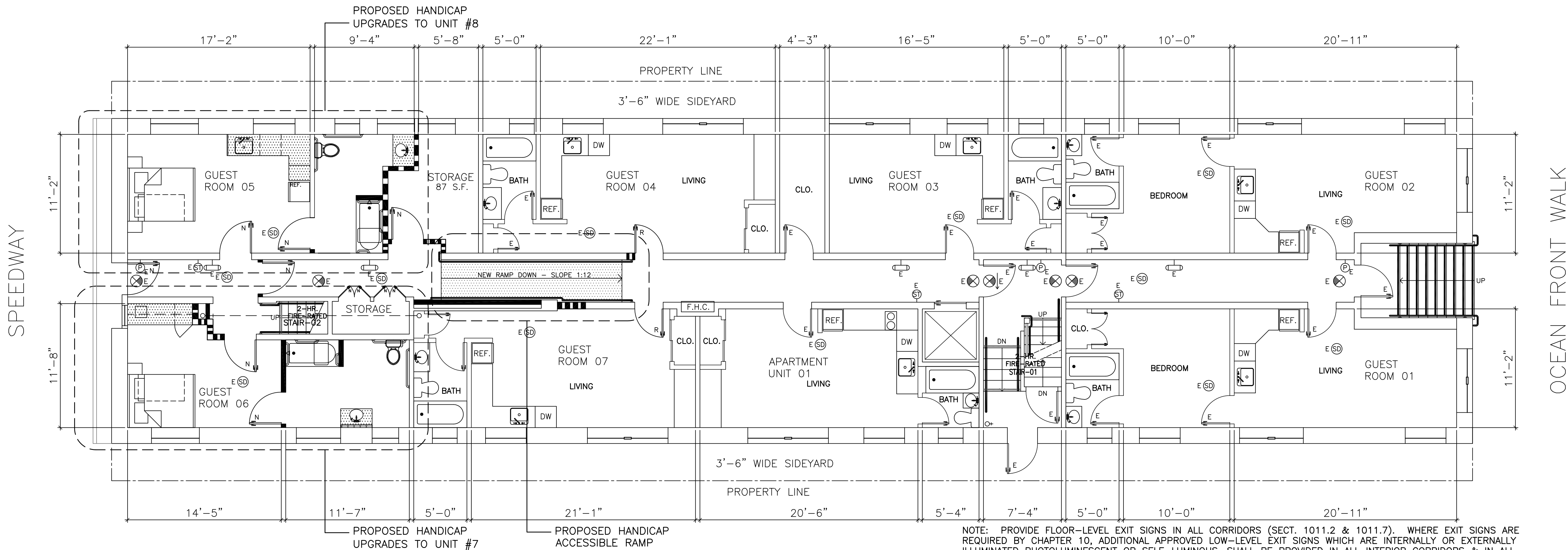
BASEMENT FLOOR PLAN  
SHOWN FOR REFERENCE ONLY – NO PROPOSED WORK

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |     |       |
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|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |     |       |
| <div><div><div><div>Donald Alec Barany</div><div>ARCHITECTS</div></div></div><div><div>116 25TH STREET</div><div>Santa Monica, California 90402</div><div>Tel.: (310) 395-3308</div><div>Fax: (310) 395-2091</div></div></div>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |     |       |
| <p><small>THE ABOVE ARCHITECTURAL, ENGINEERING, PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS ARE PREPARED BY DONALD ALEC BARANY ARCHITECTS, INC. (DAB) AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY OTHER USE OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF DAB IS PROHIBITED. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE CODES AND REGULATIONS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE JURISDICTION OF RECORDING AND FOR PROVIDING THE SAME TO DAB FOR RECORDING PURPOSES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE JURISDICTION OF RECORDING AND FOR PROVIDING THE SAME TO DAB FOR RECORDING PURPOSES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE JURISDICTION OF RECORDING AND FOR PROVIDING THE SAME TO DAB FOR RECORDING PURPOSES.</small></p> |     |       |
| <p>Stamp:</p> <div></div>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |     |       |
| <p><b>CHANGE OF USE</b><br/>417 OCEAN FRONT WALK<br/>VENICE, CA 90291</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |     |       |
| <p><b>BASEMENT FLOOR PLAN</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |     |       |
| <p>Date: 03-22-17</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |     |       |
| <p>Scale: AS NOTED</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |     |       |
| <p>Drawn by: E.S.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |     |       |
| <p>Job #: 2014.15</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |     |       |
| <p>Sheet No.: A2.0</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |     |       |









| AREA SUMMARY              |              | NATURAL VENTILATION |                        | NATURAL LIGHT |                        |
|---------------------------|--------------|---------------------|------------------------|---------------|------------------------|
| UNITS No./SPACE           | AREA         | PROVIDED            | REQ'D 4% OF FLOOR AREA | PROVIDED      | REQ'D 8% OF FLOOR AREA |
| GUEST ROOM #1" LIVING     | 215 SQ.FT.   | 17 SQ.FT.           | 9 SQ.FT.               | 64 SQ.FT.     | 19 SQ.FT.              |
| GUEST ROOM #1" BEDROOM    | 139 SQ.FT.   | 6 SQ.FT.            | 5 SQ.FT.               | 12 SQ.FT.     | 11 SQ.FT.              |
| GUEST ROOM #2" LIVING     | 233 SQ.FT.   | 17 SQ.FT.           | 9 SQ.FT.               | 64 SQ.FT.     | 19 SQ.FT.              |
| GUEST ROOM #2" BEDROOM    | 139 SQ.FT.   | 6 SQ.FT.            | 5 SQ.FT.               | 12 SQ.FT.     | 11 SQ.FT.              |
| GUEST ROOM #3" LIVING     | 212 SQ.FT.   | 19 SQ.FT.           | 8 SQ.FT.               | 37 SQ.FT.     | 16 SQ.FT.              |
| GUEST ROOM #4" LIVING     | 276 SQ.FT.   | 19 SQ.FT.           | 11 SQ.FT.              | 37 SQ.FT.     | 22 SQ.FT.              |
| GUEST ROOM #5" LIVING     | 200 SQ.FT.   | 13 SQ.FT.           | 8 SQ.FT.               | 25 SQ.FT.     | 16 SQ.FT.              |
| GUEST ROOM #6" LIVING     | 147 SQ.FT.   | 11 SQ.FT.           | 6 SQ.FT.               | 22 SQ.FT.     | 12 SQ.FT.              |
| GUEST ROOM #7" LIVING     | 260 SQ.FT.   | 19 SQ.FT.           | 10 SQ.FT.              | 37 SQ.FT.     | 21 SQ.FT.              |
| APARTMENT UNIT #1" LIVING | 241 SQ.FT.   | 19 SQ.FT.           | 10 SQ.FT.              | 37 SQ.FT.     | 20 SQ.FT.              |
| 8 UNITS =                 | 2,062 SQ.FT. |                     |                        |               |                        |

- SYMBOLS LEGEND:**
- EXIST. WALL MOUNTED FIRE HORN.

EXIST. SURFACE WALL MOUNTED EMERGENCY LIGHT.

EXIST. CEILING SURFACE MOUNTED EMERGENCY LIGHT.

EXIST. CEILING SURFACE MOUNTED EXIT SIGN.

EXIST. CEILING SURFACE MOUNTED SMOKE DETECTOR.

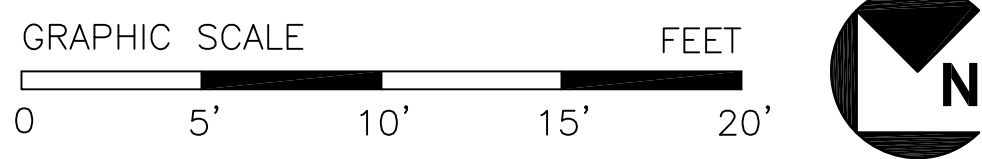
EXIST. SURFACE WALL MOUNTED EVACUATION SIGN.

EXIST. SURFACE WALL MOUNTED FIRE PULL ALARM.

EXIST. SURFACE WALL MOUNTED STROBE LIGHT.

1ST FLOOR  
CONSTRUCTION PLAN

NOTE: SHADED AREAS INDICATE NEW CONST.



NOTE: PROVIDE FLOOR-LEVEL EXIT SIGNS IN ALL CORRIDORS (SECT. 1011.2 & 1011.7). WHERE EXIT SIGNS ARE REQUIRED BY CHAPTER 10, ADDITIONAL APPROVED LOW-LEVEL EXIT SIGNS WHICH ARE INTERNALLY OR EXTERNALLY ILLUMINATED PHOTOLUMINESCENT OR SELF-LUMINOUS, SHALL BE PROVIDED IN ALL INTERIOR CORRIDORS & IN ALL AREAS SERVING GUEST ROOMS OF HOTELSIN GROUP R, DIVISION 1 OCCUPANCIES. THE BOTTOM OF THE SIGN SHALL NOT BE LESS THAN 6 INCHES OR MORE THAN 8 INCHES ABOVE THE FLOOR LEVEL & SHALL INDICATE THE PATH OF EXIT TRAVEL. FOR EXIT & EXIT ACCESS DOORS, THE SIGN SHALL BE ON THE DOOR OR ADJACENT TO THE DOOR WITH THE CLOSEST EDGE OF THE SIGN OR MARKER WITHIN 4 INCHES OF THE DOOR FRAME.

ADDITIONAL EXIT & EMERGENCY SIGN NOTES:

- EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED.
- EXIST SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES (54 LUX).
- INTERNALLY ILLUMINATED EXIT SIGNS SHALL BE LISTED & LABELED & SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS & SECT. 2702.
- EXIT SIGN SHALL BE ILLUMINATED AT ALL TIMES.
- EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MIN. IN CASE OF PRIMARY POWER LOSS (1011.5-1011.6.3).
- MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE (1006.1).
- THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS (1006.3):
  - AISELS & ENCLOSED EGRESS STAIRWAYS IN ROOMS & SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS.
  - CORRIDORS, EXIT ENCLOSURES & EXIT PASSAGEWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
  - EXTERIOR EGRESS COMPONENTS AT OTHER THAN THEIR LEVEL OF EXIT DISCHARGE UNTIL EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
  - INTERIOR EXIT DISCHARGE ELEMENTS, AS PERMITTED INSECT. 1027.1, IN BUILDING REQUIRED TO HAVE TWO OR MORE EXITS.
  - EXTERIOR LANDINGS, AS REQUIRED IN SECT. 1008.1.6 FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO EXITS.
- THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MIN. & SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECT 2702 (1006.3).
- EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (11 LUX) & A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (6 LUX) AVERAGE & A MINIMUM AT ANY POINT OF 0.6 FOOT-CANDLE (6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM TO MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED (1006.3).
- THE EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR SET, & THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODE.

REVS.: BY: DATE:

Donald Alec Barany

ARCHITECTS

116 28TH STREET  
Santa Monica, California 90402  
Tel.: (310) 395-3308  
Fax: (310) 395-2091

THE ARCHITECTS, ENGINEERS, PLANNERS, INTERIORS, AND SPECIALTY CONSULTANTS, HEREBY CERTIFY THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF, AND THAT WE HAVE NOT BEEN ADVISED OF ANY FACTS OR CIRCUMSTANCES WHICH WOULD MAKE THE INFORMATION CONTAINED HEREIN UNTRUE OR MISLEADING. WE FURTHER CERTIFY THAT WE HAVE NOT BEEN ADVISED OF ANY FACTS OR CIRCUMSTANCES WHICH WOULD MAKE THE INFORMATION CONTAINED HEREIN UNTRUE OR MISLEADING. WE FURTHER CERTIFY THAT WE HAVE NOT BEEN ADVISED OF ANY FACTS OR CIRCUMSTANCES WHICH WOULD MAKE THE INFORMATION CONTAINED HEREIN UNTRUE OR MISLEADING.

Stamp:

ARCHITECT

Donald Alec Barany

No. C-12803

REN. 1-31-19

STATE OF CALIFORNIA

CHANGE OF USE

417 OCEAN FRONT WALK

VENICE, CA 90291

1ST FLOOR

CONSTRUCTION PLAN

Date: 03-22-17

Scale: AS NOTED

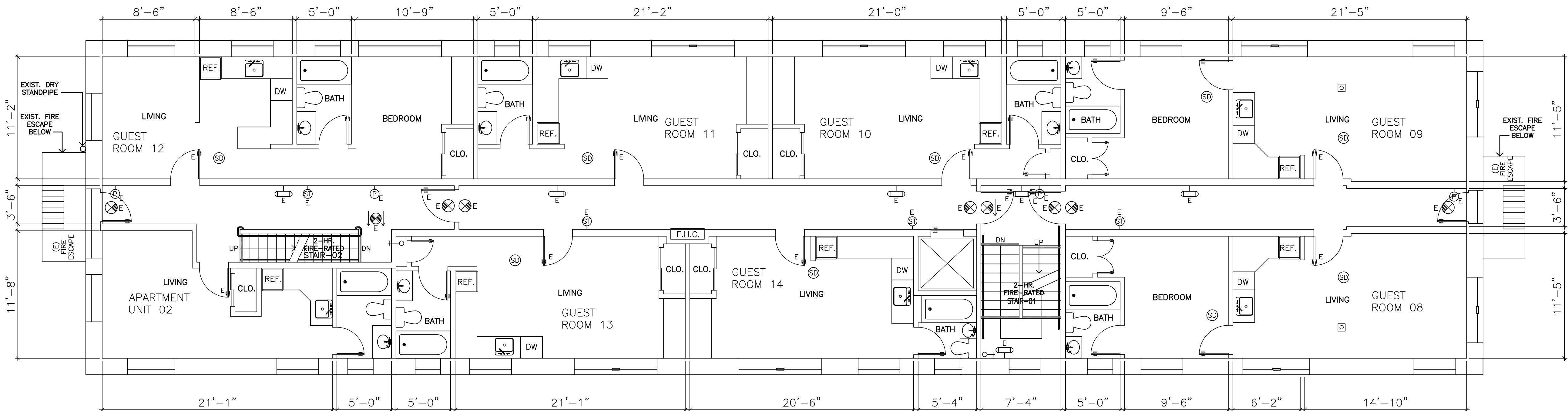
Drawn by: E.S.

Job #: 2014.15

Sheet No.:

A2.2





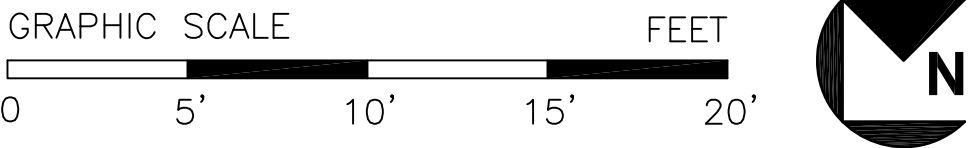
NOTE: PROVIDE FLOOR-LEVEL EXIT SIGNS IN ALL CORRIDORS (SECT. 1011.2 & 1011.7). WHERE EXIT SIGNS ARE REQUIRED BY CHAPTER 10, ADDITIONAL APPROVED LOW-LEVEL EXIT SIGNS WHICH ARE INTERNALLY OR EXTERNALLY ILLUMINATED PHOTOLUMINESCENT OR SELF-LUMINOUS, SHALL BE PROVIDED IN ALL INTERIOR CORRIDORS & IN ALL AREAS SERVING GUEST ROOMS OF HOTELSIN GROUP R, DIVISION 1 OCCUPANCIES. THE BOTTOM OF THE SIGN SHALL NOT BE LESS THAN 6 INCHES OR MORE THAN 8 INCHES ABOVE THE FLOOR LEVEL & SHALL INDICATE THE PATH OF EXIT TRAVEL. FOR EXIT & EXIT ACCESS DOORS, THE SIGN SHALL BE ON THE DOOR OR ADJACENT TO THE DOOR WITH THE CLOSEST EDGE OF THE SIGN OR MARKER WITHIN 4 INCHES OF THE DOOR FRAME.

ADDITIONAL EXIT & EMERGENCY SIGN NOTES:

- EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED.
- EXIST SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES (54 LUX).
- INTERNALLY ILLUMINATED EXIT SIGNS SHALL BE LISTED & LABELED & SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS & SECT. 2702.
- EXIT SIGN SHALL BE ILLUMINATED AT ALL TIMES.
- EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MIN. IN CASE OF PRIMARY POWER LOSS (1011.5-1011.6.3).
- MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE (1006.1).
- THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS (1006.3):
  - AISSLES & ENCLOSED EGRESS STAIRWAYS IN ROOMS & SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS.
  - CORRIDORS, EXIT ENCLOSURES & EXIT PASSAGEWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
  - EXTERIOR EGRESS COMPONENTS AT OTHER THAN THEIR LEVEL OF EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
  - INTERIOR EXIT DISCHARGE ELEMENTS, AS PERMITTED INSECT. 1027.1, IN BUILDING REQUIRED TO HAVE TWO OR MORE EXITS.
  - EXTERIOR LANDINGS, AS REQUIRED IN SECT. 1008.1.6 FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO EXITS.
- THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MIN. & SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECT 2702 (1006.3).
- EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (11 LUX) & A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (6 LUX) AVERAGE & A MINIMUM AT ANY POINT OF 0.6 FOOT-CANDLE (6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM TO MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED (1006.3).
- THE EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR SET, & THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODE.

2ND FLOOR PLAN  
CONSTRUCTION PLAN

NOTE: SHADED AREAS INDICATE NEW CONST.



| AREA SUMMARY              |              | NATURAL VENTILATION |                        | NATURAL LIGHT |                        |
|---------------------------|--------------|---------------------|------------------------|---------------|------------------------|
| UNIT No./SPACE            | AREA         | PROVIDED            | REQ'D 4% OF FLOOR AREA | PROVIDED      | REQ'D 8% OF FLOOR AREA |
| GUEST ROOM #8" LIVING     | 258 SQ.FT.   | 17 SQ.FT.           | 10 SQ.FT.              | 64 SQ.FT.     | 21 SQ.FT.              |
| GUEST ROOM #8" BEDROOM    | 119 SQ.FT.   | 6 SQ.FT.            | 5 SQ.FT.               | 12 SQ.FT.     | 10 SQ.FT.              |
| GUEST ROOM #9" LIVING     | 252 SQ.FT.   | 17 SQ.FT.           | 10 SQ.FT.              | 64 SQ.FT.     | 21 SQ.FT.              |
| GUEST ROOM #9" BEDROOM    | 121 SQ.FT.   | 6 SQ.FT.            | 5 SQ.FT.               | 12 SQ.FT.     | 10 SQ.FT.              |
| GUEST ROOM #10" LIVING    | 219 SQ.FT.   | 19 SQ.FT.           | 9 SQ.FT.               | 37 SQ.FT.     | 18 SQ.FT.              |
| GUEST ROOM #11" LIVING    | 248 SQ.FT.   | 19 SQ.FT.           | 10 SQ.FT.              | 37 SQ.FT.     | 20 SQ.FT.              |
| GUEST ROOM #12" LIVING    | 204 SQ.FT.   | 13 SQ.FT.           | 9 SQ.FT.               | 25 SQ.FT.     | 16 SQ.FT.              |
| GUEST ROOM #12" BEDROOM   | 113 SQ.FT.   | 6 SQ.FT.            | 5 SQ.FT.               | 12 SQ.FT.     | 10 SQ.FT.              |
| GUEST ROOM #13" LIVING    | 244 SQ.FT.   | 19 SQ.FT.           | 10 SQ.FT.              | 37 SQ.FT.     | 20 SQ.FT.              |
| GUEST ROOM #14" LIVING    | 227 SQ.FT.   | 19 SQ.FT.           | 10 SQ.FT.              | 37 SQ.FT.     | 19 SQ.FT.              |
| APARTMENT UNIT #2" LIVING | 205 SQ.FT.   | 11 SQ.FT.           | 9 SQ.FT.               | 22 SQ.FT.     | 17 SQ.FT.              |
| 8 UNITS =                 | 2,210 SQ.FT. |                     |                        |               |                        |

SYMBOLS LEGEND:

- E (P)

EXIST. WALL MOUNTED FIRE HORN.
- E (V)

EXIST. CEILING SURFACE MOUNTED SMOKE DETECTOR.
- E (L)

EXIST. SURFACE WALL MOUNTED EMERGENCY LIGHT.
- E (V)

EXIST. SURFACE WALL MOUNTED EVACUATION SIGN.
- E (L)

EXIST. CEILING SURFACE MOUNTED EMERGENCY LIGHT.
- E (P)

EXIST. SURFACE WALL MOUNTED FIRE PULL ALARM.
- E (X)

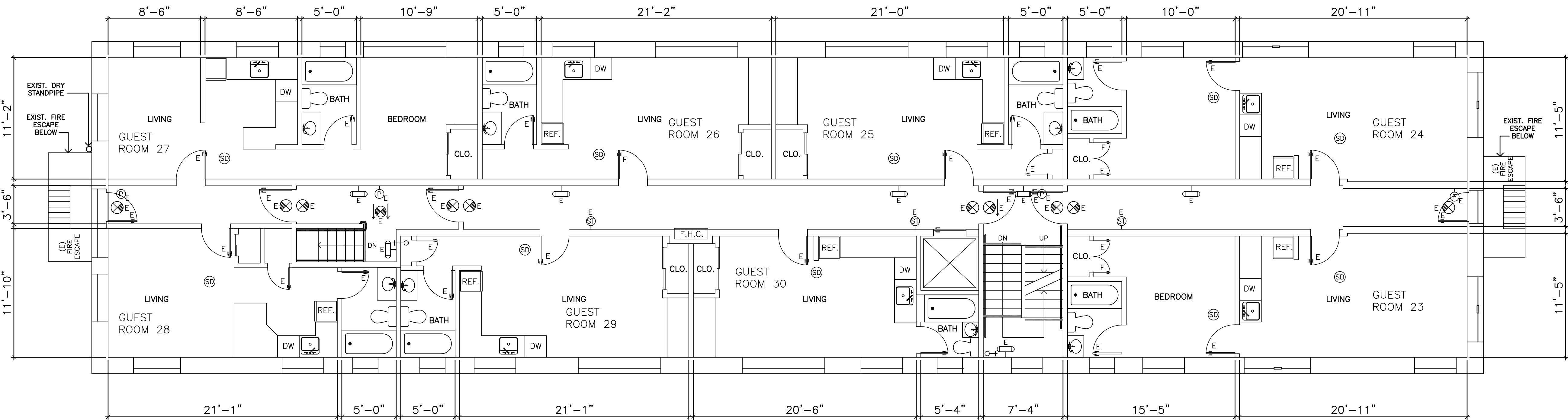
EXIST. CEILING SURFACE MOUNTED EXIT SIGN.
- E (S)

EXIST. SURFACE WALL MOUNTED STROBE LIGHT.









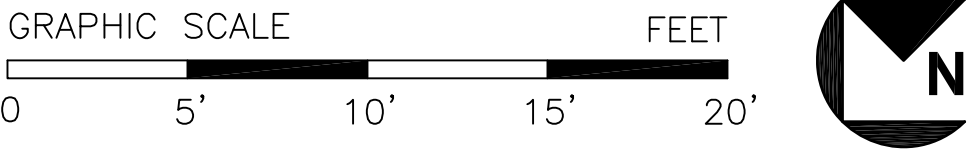
| AREA SUMMARY            |              | NATURAL VENTILATION |                        | NATURAL LIGHT |                        |
|-------------------------|--------------|---------------------|------------------------|---------------|------------------------|
| UNIT No./SPACE          | AREA         | PROVIDED            | REQ'D 4% OF FLOOR AREA | PROVIDED      | REQ'D 8% OF FLOOR AREA |
| GUEST ROOM #23" LIVING  | 252 SQ.FT.   | 17 SQ.FT.           | 11 SQ.FT.              | 64 SQ.FT.     | 21 SQ.FT.              |
| GUEST ROOM #23" BEDROOM | 127 SQ.FT.   | 6 SQ.FT.            | 5 SQ.FT.               | 12 SQ.FT.     | 10 SQ.FT.              |
| GUEST ROOM #24" LIVING  | 252 SQ.FT.   | 17 SQ.FT.           | 10 SQ.FT.              | 64 SQ.FT.     | 21 SQ.FT.              |
| GUEST ROOM #24" BEDROOM | 127 SQ.FT.   | 6 SQ.FT.            | 5 SQ.FT.               | 12 SQ.FT.     | 10 SQ.FT.              |
| GUEST ROOM #25" LIVING  | 243 SQ.FT.   | 19 SQ.FT.           | 10 SQ.FT.              | 37 SQ.FT.     | 20 SQ.FT.              |
| GUEST ROOM #26" LIVING  | 248 SQ.FT.   | 19 SQ.FT.           | 10 SQ.FT.              | 37 SQ.FT.     | 20 SQ.FT.              |
| GUEST ROOM #27" LIVING  | 211 SQ.FT.   | 13 SQ.FT.           | 9 SQ.FT.               | 25 SQ.FT.     | 17 SQ.FT.              |
| GUEST ROOM #27" BEDROOM | 121 SQ.FT.   | 6 SQ.FT.            | 5 SQ.FT.               | 12 SQ.FT.     | 10 SQ.FT.              |
| GUEST ROOM #28" LIVING  | 231 SQ.FT.   | 11 SQ.FT.           | 10 SQ.FT.              | 22 SQ.FT.     | 19 SQ.FT.              |
| GUEST ROOM #29" LIVING  | 244 SQ.FT.   | 19 SQ.FT.           | 10 SQ.FT.              | 37 SQ.FT.     | 20 SQ.FT.              |
| GUEST ROOM #30" LIVING  | 227 SQ.FT.   | 19 SQ.FT.           | 10 SQ.FT.              | 37 SQ.FT.     | 19 SQ.FT.              |
| 8 UNITS =               | 2,283 SQ.FT. |                     |                        |               |                        |

SYMBOLS LEGEND:

- EXIST. WALL MOUNTED FIRE HORN.
- EXIST. SURFACE WALL MOUNTED EMERGENCY LIGHT.
- EXIST. CEILING SURFACE MOUNTED EMERGENCY LIGHT.
- EXIST. CEILING SURFACE MOUNTED EXIT SIGN.
- EXIST. CEILING SURFACE MOUNTED SMOKE DETECTOR.
- EXIST. SURFACE WALL MOUNTED EVACUATION SIGN.
- EXIST. SURFACE WALL MOUNTED FIRE PULL ALARM.
- EXIST. SURFACE WALL MOUNTED STROBE LIGHT.

4TH FLOOR PLAN  
CONSTRUCTION PLAN

NOTE: SHADED AREAS INDICATE NEW CONST.



NOTE: PROVIDE FLOOR-LEVEL EXIT SIGNS IN ALL CORRIDORS (SECT. 1011.2 & 1011.7). WHERE EXIT SIGNS ARE REQUIRED BY CHAPTER 10, ADDITIONAL APPROVED LOW-LEVEL EXIT SIGNS WHICH ARE INTERNALLY OR EXTERNALLY ILLUMINATED PHOTOLUMINESCENT OR SELF-LUMINOUS, SHALL BE PROVIDED IN ALL INTERIOR CORRIDORS & IN ALL AREAS SERVING GUEST ROOMS OF HOTELS IN GROUP R, DIVISION 1 OCCUPANCIES. THE BOTTOM OF THE SIGN SHALL NOT BE LESS THAN 6 INCHES OR MORE THAN 8 INCHES ABOVE THE FLOOR LEVEL & SHALL INDICATE THE PATH OF EXIT TRAVEL. FOR EXIT & EXIT ACCESS DOORS, THE SIGN SHALL BE ON THE DOOR OR ADJACENT TO THE DOOR WITH THE CLOSEST EDGE OF THE SIGN OR MARKER WITHIN 4 INCHES OF THE DOOR FRAME.

ADDITIONAL EXIT & EMERGENCY SIGN NOTES:

- EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED.
- EXIST SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES (54 LUX).
- INTERNALLY ILLUMINATED EXIT SIGNS SHALL BE LISTED & LABELED & SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS & SECT. 2702.
- EXIT SIGN SHALL BE ILLUMINATED AT ALL TIMES.
- EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MIN. IN CASE OF PRIMARY POWER LOSS (1011.5-1011.6.3).
- MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE (1006.1).
- THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS (1006.3):
  - AISLES & ENCLOSED EGRESS STAIRWAYS IN ROOMS & SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS.
  - CORRIDORS, EXIT ENCLOSURES & EXIT PASSAGEWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
  - EXTERIOR EGRESS COMPONENTS AT OTHER THAN THEIR LEVEL OF EXIT DISCHARGE UNTIL EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
  - INTERIOR EXIT DISCHARGE ELEMENTS, AS PERMITTED IN SECT. 1027.1, IN BUILDING REQUIRED TO HAVE TWO OR MORE EXITS.
  - EXTERIOR LANDINGS, AS REQUIRED IN SECT. 1008.1.6 FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO EXITS.
- THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MIN. & SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECT 2702 (1006.3).
- EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (11 LUX) & A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (6 LUX) AVERAGE & A MINIMUM AT ANY POINT OF 0.6 FOOT-CANDLE (6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM TO MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED (1006.3).
- THE EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR SET, & THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODE.

REVS.: BY: DATE:

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Donald Alec Barany

ARCHITECTS

116 28TH STREET  
Santa Monica, California 90402  
Tel.: (310) 395-3308  
Fax: (310) 395-2091

THE ARCHITECTS' PROFESSIONAL SEAL, SIGNATURE AND EXEMPTION FROM THE REQUIREMENTS OF THE ARCHITECTS ACT, CHAPTER 10, SECTION 1011.2, SHALL BE PROVIDED BY THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT.

Stamp:

SEAL OF THE ARCHITECTS  
No. C-12803  
REN. 1-31-19  
STATE OF CALIFORNIA

CHANGE OF USE  
417 OCEAN FRONT WALK  
VENICE, CA 90291

4TH FLOOR  
CONSTRUCTION PLAN

Date: 03-22-17

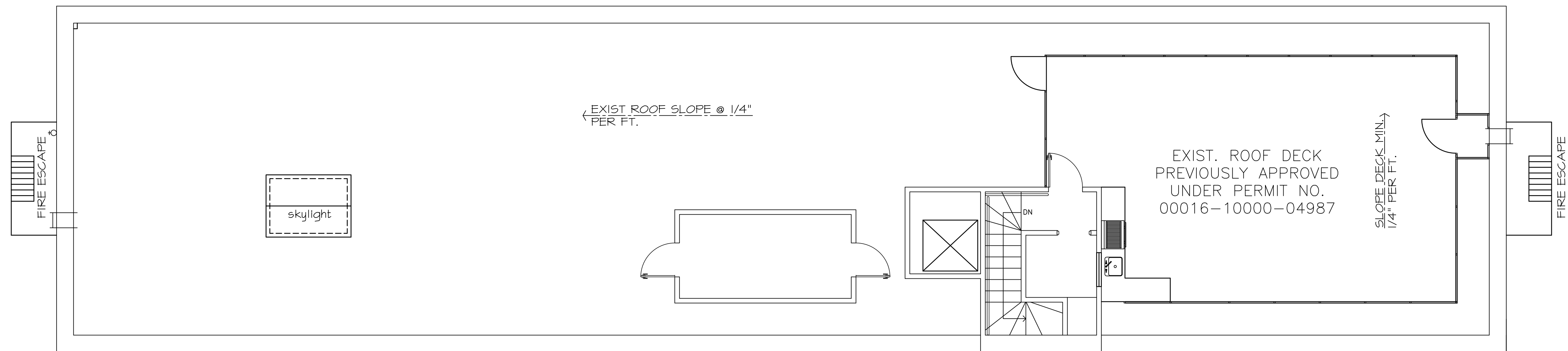
Scale: AS NOTED

Drawn by: E.S.

Job #: 2014.15

Sheet No.: A2.5





EXIST. ROOF PLAN  
SHOWN FOR REFERENCE ONLY — NO PROPOSED WORK

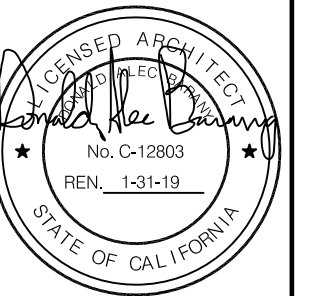
EXIST. ROOF PLAN

SCALE: 3/16" = 1'-0"

1

EXIST. ROOF PLAN

**CHANGE OF USE**  
417 OCEAN FRONT WALK  
VENICE, CA 90291



Stamp:

[illegible]

 **Donald Alec Barany**  
**ARCHITECTS**  
116 26TH STREET  
Santa Monica, California 90402  
Tele.: (310) 395-3308  
Fax: (310) 395-2091





|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |     |       |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----|-------|
| REVS.:                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | BY: | DATE: |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |     |       |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |     |       |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |     |       |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |     |       |
| <div><div>Donald Alec Barany</div><div>ARCHITECTS</div><div>116 28TH STREET<br/>Santa Monica, California 90402<br/>Tel: (310) 395-3308<br/>Fax: (310) 395-2091</div></div>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |     |       |
| <p>THE USER HEREBY REPRESENTS AND WARRANTS THAT THE PROJECT IS A LEGAL PROJECT AND THAT THE USER HAS OBTAINED ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND THAT THE PROJECT IS IN COMPLIANCE WITH ALL APPLICABLE LAWS, ORDINANCES, AND REGULATIONS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR COMPLYING WITH ALL APPLICABLE LAWS, ORDINANCES, AND REGULATIONS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR COMPLYING WITH ALL APPLICABLE LAWS, ORDINANCES, AND REGULATIONS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND FOR COMPLYING WITH ALL APPLICABLE LAWS, ORDINANCES, AND REGULATIONS.</p> |     |       |
| <p>Stamp:</p> <div><div>ARCHITECT</div><div>Donald Alec Barany</div><div>No. C-12803<br/>REN. 1-31-19</div><div>STATE OF CALIFORNIA</div></div>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |     |       |
| <p><b>CHANGE OF USE</b><br/>417 OCEAN FRONT WALK<br/>VENICE, CA 90291</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |     |       |
| <p><b>EXTERIOR BUILDING ELEVATIONS</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |     |       |
| <p>Date: 03-22-17</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |     |       |
| <p>Scale: AS NOTED</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |     |       |
| <p>Drawn by: E.S.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |     |       |
| <p>Job #: 2014.15</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |     |       |
| <p>Sheet No.: A3.3</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |     |       |

ATTACHMENT K: ZIMAS PARCEL REPORT  
**417 OCEAN FRONT WALK**  
**LOS ANGELES, CALIFORNIA**

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# City of Los Angeles Department of City Planning

## 6/6/2018 PARCEL PROFILE REPORT

### PROPERTY ADDRESSES

417 S OCEAN FRONT WALK

### ZIP CODES

90291

### RECENT ACTIVITY

CHC-2018-3235-HCM

ENV-2018-3236-CE

DIR-2008-4703-DI

### CASE NUMBERS

CPC-24819

CPC-2014-1456-SP

CPC-2005-8252-CA

CPC-2000-4046-CA

CPC-1998-119

CPC-1987-648-ICO

CPC-1986-824-GPC

CPC-1984-226-SP

CPC-1975-25560

CPC-1972-24385

CPC-17631

ORD-175694

ORD-175693

ORD-172897

ORD-172019

ORD-168999

ORD-164844-SA930

ORD-146323

ORD-130337

DIR-2014-2824-DI

ZA-2015-629-CDP-ZV-ZAA-SPP-MEL

ENV-2015-630-ND

ENV-2014-1458-EIR-SE-CE

ENV-2005-8253-ND

ENV-2004-2691-CE

ENV-2002-6836-SP

ENV-2001-846-ND

ED-73-307-ZC

ED-75-206-SUD-CA

### Address/Legal Information

|                              |                    |
|------------------------------|--------------------|
| PIN Number                   | 109-5A141 138      |
| Lot/Parcel Area (Calculated) | 4,814.4 (sq ft)    |
| Thomas Brothers Grid         | PAGE 671 - GRID G5 |
| Assessor Parcel No. (APN)    | 4286029004         |
| Tract                        | GOLDEN BAY TRACT   |
| Map Reference                | M B 2-15           |
| Block                        | BLK 4              |
| Lot                          | 247                |
| Arb (Lot Cut Reference)      | None               |
| Map Sheet                    | 109-5A141          |

### Jurisdictional Information

|                          |                    |
|--------------------------|--------------------|
| Community Plan Area      | Venice             |
| Area Planning Commission | West Los Angeles   |
| Neighborhood Council     | Venice             |
| Council District         | CD 11 - Mike Bonin |
| Census Tract #           | 2734.02            |
| LADBS District Office    | West Los Angeles   |

### Planning and Zoning Information

|                                         |                                                                             |
|-----------------------------------------|-----------------------------------------------------------------------------|
| Special Notes                           | None                                                                        |
| Zoning                                  | R3-1                                                                        |
| Zoning Information (ZI)                 | ZI-2406 Director's Interpretation of the Venice SP for Small Lot Subdivisio |
|                                         | ZI-2471 Coastal Zone                                                        |
| General Plan Land Use                   | Medium Residential                                                          |
| General Plan Note(s)                    | Yes                                                                         |
| Hillside Area (Zoning Code)             | No                                                                          |
| Specific Plan Area                      | Los Angeles Coastal Transportation Corridor                                 |
| Subarea                                 | None                                                                        |
| Specific Plan Area                      | Venice Coastal Zone                                                         |
| Subarea                                 | North Venice                                                                |
| Special Land Use / Zoning               | None                                                                        |
| Design Review Board                     | No                                                                          |
| Historic Preservation Review            | No                                                                          |
| Historic Preservation Overlay Zone      | None                                                                        |
| Other Historic Designations             | None                                                                        |
| Other Historic Survey Information       | None                                                                        |
| Mills Act Contract                      | None                                                                        |
| CDO: Community Design Overlay           | None                                                                        |
| CPIO: Community Plan Imp. Overlay       | None                                                                        |
| Subarea                                 | None                                                                        |
| CUGU: Clean Up-Green Up                 | None                                                                        |
| NSO: Neighborhood Stabilization Overlay | No                                                                          |
| POD: Pedestrian Oriented Districts      | None                                                                        |
| SN: Sign District                       | No                                                                          |
| Streetscape                             | No                                                                          |
| Adaptive Reuse Incentive Area           | None                                                                        |
| Affordable Housing Linkage Fee          |                                                                             |

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(\*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.



|                                                 |                                                                                             |
|-------------------------------------------------|---------------------------------------------------------------------------------------------|
| Residential Market Area                         | High                                                                                        |
| Non-Residential Market Area                     | High                                                                                        |
| Transit Oriented Communities (TOC)              | Not Eligible                                                                                |
| CRA - Community Redevelopment Agency            | None                                                                                        |
| Central City Parking                            | No                                                                                          |
| Downtown Parking                                | No                                                                                          |
| Building Line                                   | None                                                                                        |
| 500 Ft School Zone                              | No                                                                                          |
| 500 Ft Park Zone                                | Active: Venice Beach                                                                        |
| <b>Assessor Information</b>                     |                                                                                             |
| Assessor Parcel No. (APN)                       | 4286029004                                                                                  |
| Ownership (Assessor)                            |                                                                                             |
| Owner1                                          | VENICE SUITES LLC C/O C/O CARL J LAMBERT                                                    |
| Address                                         | 2 BREEZE AVE UNIT 101<br>VENICE CA 90291                                                    |
| Ownership (Bureau of Engineering, Land Records) |                                                                                             |
| Owner                                           | JMA PROPERTIES, INC. (ET AL)                                                                |
| Address                                         | 4582 E KINGWOOD DR. #207<br>KINGWOOD TX 77345                                               |
| APN Area (Co. Public Works)*                    | 0.113 (ac)                                                                                  |
| Use Code                                        | 0500 - Residential - Five or More Units or Apartments (Any Combination) - 4 Stories or Less |
| Assessed Land Val.                              | \$2,701,614                                                                                 |
| Assessed Improvement Val.                       | \$393,078                                                                                   |
| Last Owner Change                               | 09/23/1999                                                                                  |
| Last Sale Amount                                | \$2,291,522                                                                                 |
| Tax Rate Area                                   | 67                                                                                          |
| Deed Ref No. (City Clerk)                       | 670597                                                                                      |
|                                                 | 6-209                                                                                       |
|                                                 | 278571                                                                                      |
|                                                 | 2078354                                                                                     |
|                                                 | 1-767                                                                                       |
|                                                 | 0-651                                                                                       |
| Building 1                                      |                                                                                             |
| Year Built                                      | 1921                                                                                        |
| Building Class                                  | CX                                                                                          |
| Number of Units                                 | 32                                                                                          |
| Number of Bedrooms                              | 0                                                                                           |
| Number of Bathrooms                             | 0                                                                                           |
| Building Square Footage                         | 15,240.0 (sq ft)                                                                            |
| Building 2                                      | No data for building 2                                                                      |
| Building 3                                      | No data for building 3                                                                      |
| Building 4                                      | No data for building 4                                                                      |
| Building 5                                      | No data for building 5                                                                      |
| <b>Additional Information</b>                   |                                                                                             |
| Airport Hazard                                  | None                                                                                        |
| Coastal Zone                                    | Coastal Zone Commission Authority                                                           |
|                                                 | Dual Jurisdictional Coastal Zone                                                            |
| Farmland                                        | Area Not Mapped                                                                             |
| Urban Agriculture Incentive Zone                | YES                                                                                         |
| Very High Fire Hazard Severity Zone             | No                                                                                          |
| Fire District No. 1                             | No                                                                                          |
| Flood Zone                                      | None                                                                                        |
| Watercourse                                     | No                                                                                          |
| Hazardous Waste / Border Zone Properties        | No                                                                                          |

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|                                                   |                                                                 |
|---------------------------------------------------|-----------------------------------------------------------------|
| Methane Hazard Site                               | Methane Zone                                                    |
| High Wind Velocity Areas                          | No                                                              |
| Special Grading Area (BOE Basic Grid Map A-13372) | No                                                              |
| Oil Wells                                         | None                                                            |
| <b>Seismic Hazards</b>                            |                                                                 |
| Active Fault Near-Source Zone                     |                                                                 |
| Nearest Fault (Distance in km)                    | 4.42722                                                         |
| Nearest Fault (Name)                              | Santa Monica Fault                                              |
| Region                                            | Transverse Ranges and Los Angeles Basin                         |
| Fault Type                                        | B                                                               |
| Slip Rate (mm/year)                               | 1.00000000                                                      |
| Slip Geometry                                     | Left Lateral - Reverse - Oblique                                |
| Slip Type                                         | Moderately / Poorly Constrained                                 |
| Down Dip Width (km)                               | 13.00000000                                                     |
| Rupture Top                                       | 0.00000000                                                      |
| Rupture Bottom                                    | 13.00000000                                                     |
| Dip Angle (degrees)                               | -75.00000000                                                    |
| Maximum Magnitude                                 | 6.60000000                                                      |
| Alquist-Priolo Fault Zone                         | No                                                              |
| Landslide                                         | No                                                              |
| Liquefaction                                      | Yes                                                             |
| Preliminary Fault Rupture Study Area              | No                                                              |
| Tsunami Inundation Zone                           | Yes                                                             |
| <b>Economic Development Areas</b>                 |                                                                 |
| Business Improvement District                     | None                                                            |
| Promise Zone                                      | None                                                            |
| Renewal Community                                 | No                                                              |
| Revitalization Zone                               | Venice                                                          |
| State Enterprise Zone                             | None                                                            |
| Targeted Neighborhood Initiative                  | None                                                            |
| <b>Housing</b>                                    |                                                                 |
| Direct all Inquiries to                           | Housing+Community Investment Department                         |
| Telephone                                         | (866) 557-7368                                                  |
| Website                                           | <a href="http://hcidla.lacity.org">http://hcidla.lacity.org</a> |
| Rent Stabilization Ordinance (RSO)                | Yes                                                             |
| Ellis Act Property                                | No                                                              |
| <b>Public Safety</b>                              |                                                                 |
| Police Information                                |                                                                 |
| Bureau                                            | West                                                            |
| Division / Station                                | Pacific                                                         |
| Reporting District                                | 1412                                                            |
| Fire Information                                  |                                                                 |
| Bureau                                            | West                                                            |
| Batallion                                         | 4                                                               |
| District / Fire Station                           | 63                                                              |
| Red Flag Restricted Parking                       | No                                                              |

## CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

|                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
|--------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Case Number:             | CPC-2014-1456-SP                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| Required Action(s):      | SP-SPECIFIC PLAN (INCLUDING AMENDMENTS)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| Project Descriptions(s): | SPECIFIC PLAN AMENDMENT                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| Case Number:             | CPC-2005-8252-CA                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| Required Action(s):      | CA-CODE AMENDMENT                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| Project Descriptions(s): | AN ORDINANCE ESTABLISHING PERMANENT REGULATIONS IMPLEMENTING THE MELLO ACT IN THE COASTAL ZONE.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| Case Number:             | CPC-2000-4046-CA                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| Required Action(s):      | CA-CODE AMENDMENT                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| Project Descriptions(s): |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| Case Number:             | CPC-1998-119                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| Required Action(s):      | Data Not Available                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
| Project Descriptions(s): |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| Case Number:             | CPC-1987-648-ICO                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| Required Action(s):      | ICO-INTERIM CONTROL ORDINANCE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| Project Descriptions(s): | INTERIM CONTROL ORDINANCE FOR THE ENTIRE VENICE COASTAL ZONE WHICH WILL TEMPORARILY PERMIT ONLY BUILDING DEVELOPMENT WHICH IS IN CONFORMANCE WITH REGULATIONS SUBSTANTIALLY BASED ON THE CALIFORNIA COASTAL COMMISSIONS INTERPRETIVE GUIDELINES FOR THE AREA                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| Case Number:             | CPC-1986-824-GPC                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| Required Action(s):      | GPC-GENERAL PLAN/ZONING CONSISTENCY (AB283)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| Project Descriptions(s): |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| Case Number:             | CPC-1984-226-SP                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| Required Action(s):      | SP-SPECIFIC PLAN (INCLUDING AMENDMENTS)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| Project Descriptions(s): | Data Not Available                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
| Case Number:             | CPC-1975-25560                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| Required Action(s):      | Data Not Available                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
| Project Descriptions(s): |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| Case Number:             | CPC-1972-24385                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| Required Action(s):      | Data Not Available                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
| Project Descriptions(s): |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| Case Number:             | DIR-2014-2824-DI                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| Required Action(s):      | DI-DIRECTOR OF PLANNING INTERPRETATION                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| Project Descriptions(s): | DIRECTOR'S INTERPRETATION OF A SPECIFIC PLAN PURSUANT TO LAMC SECTION 11.5.7.H. THE INTERPRETATION SHALL ONLY BE APPLICABLE TO THE VENICE COASTAL SPECIFIC PLAN.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| Case Number:             | ZA-2015-629-CDP-ZV-ZAA-SPP-MEL                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| Required Action(s):      | MEL-MELLO ACT COMPLIANCE REVIEW<br>CDP-COASTAL DEVELOPMENT PERMIT<br>SPP-SPECIFIC PLAN PROJECT PERMIT COMPLIANCE<br>ZAA-AREA,HEIGHT,YARD,AND BLDG LINE ADJMNTS GT 20% (SLIGHT MODIFICATIONS)<br>ZV-ZONE VARIANCE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| Project Descriptions(s): | PURSUANT TO LAMC 12.20.2, APPLICANT REQUESTS A COASTAL DEVELOPMENT PERMIT AND MELLO ACT COMPLIANCE TO ALLOW FOR THE CHANGE OF USE FROM AN (E) 32-UNIT APT BLDG TO AN APARTMENT-HOTEL COMPRISED OF 2 DWELLING UNITS AND 30 GUEST ROOMS; AND<br><br>PURSUANT TO LAMC 12.27, APPLICANT REQUESTS A ZONE VARIANCE TO ALLOW AN APARTMENT-HOTEL IN THE R3 ZONE; AND TO WAIVE THE REQUIREMENT TO PROVIDE A LOADING SPACE ON THE SAME LOT AS THE TRANSIENT OCCUPANCY RESIDENTIAL BLDG; AND<br><br>PURSUANT TO LAMC 12.28, APPLICANT REQUESTS A ZONING ADMINISTRATOR'S ADJUSTMENT TO MAINTAIN (E) NON-CONFORMING 0-FT FRONT YARD AND 3.5-FT SIDE YARD SETBACKS; AND<br><br>PURSUANT TO LAMC 11.5.7, APPLICANT REQUESTS A MAJOR PROJECT PERMIT COMPLIANCE TO ALLOW THE PROPOSED CHANGE OF USE WITHIN THE VENICE COASTAL SPECIFIC PLAN AREA. |
| Case Number:             | ENV-2015-630-ND                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| Required Action(s):      | ND-NEGATIVE DECLARATION                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |

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Project Descriptions(s): PURSUANT TO LAMC 12.20.2, APPLICANT REQUESTS A COASTAL DEVELOPMENT PERMIT AND MELLO ACT COMPLIANCE TO ALLOW FOR THE CHANGE OF USE FROM AN (E) 32-UNIT APT BLDG TO AN APARTMENT-HOTEL COMPRISED OF 2 DWELLING UNITS AND 30 GUEST ROOMS; AND

PURSUANT TO LAMC 12.27, APPLICANT REQUESTS A ZONE VARIANCE TO ALLOW AN APARTMENT-HOTEL IN THE R3 ZONE; AND TO WAIVE THE REQUIREMENT TO PROVIDE A LOADING SPACE ON THE SAME LOT AS THE TRANSIENT OCCUPANCY RESIDENTIAL BLDG; AND

PURSUANT TO LAMC 12.28, APPLICANT REQUESTS A ZONING ADMINISTRATOR'S ADJUSTMENT TO MAINTAIN (E) NON-CONFORMING 0-FT FRONT YARD AND 3.5-FT SIDE YARD SETBACKS; AND

PURSUANT TO LAMC 11.5.7, APPLICANT REQUESTS A MAJOR PROJECT PERMIT COMPLIANCE TO ALLOW THE PROPOSED CHANGE OF USE WITHIN THE VENICE COASTAL SPECIFIC PLAN AREA.

|                          |                                                                                                                                                      |
|--------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------|
| Case Number:             | ENV-2014-1458-EIR-SE-CE                                                                                                                              |
| Required Action(s):      | SE-STATUTORY EXEMPTIONS<br>CE-CATEGORICAL EXEMPTION<br>EIR-ENVIRONMENTAL IMPACT REPORT                                                               |
| Project Descriptions(s): | ENVIRONMENTAL IMPACT REPORT                                                                                                                          |
| Case Number:             | ENV-2005-8253-ND                                                                                                                                     |
| Required Action(s):      | ND-NEGATIVE DECLARATION                                                                                                                              |
| Project Descriptions(s): | AN ORDINANCE ESTABLISHING PERMANENT REGULATIONS IMPLEMENTING THE MELLO ACT IN THE COASTAL ZONE.                                                      |
| Case Number:             | ENV-2004-2691-CE                                                                                                                                     |
| Required Action(s):      | CE-CATEGORICAL EXEMPTION                                                                                                                             |
| Project Descriptions(s): | SMALL LOT/TOWNHOME ORDINANCE                                                                                                                         |
| Case Number:             | ENV-2002-6836-SP                                                                                                                                     |
| Required Action(s):      | SP-SPECIFIC PLAN (INCLUDING AMENDMENTS)                                                                                                              |
| Project Descriptions(s): | VENICE COASTAL SPECIFIC PLAN AMENDMENT prepared and adopted by the City Planning Dept. in accordance with the Coastal Act provisions and guidelines. |
| Case Number:             | ENV-2001-846-ND                                                                                                                                      |
| Required Action(s):      | ND-NEGATIVE DECLARATION                                                                                                                              |
| Project Descriptions(s): |                                                                                                                                                      |
| Case Number:             | ED-73-307-ZC                                                                                                                                         |
| Required Action(s):      | ZC-ZONE CHANGE                                                                                                                                       |
| Project Descriptions(s): | Data Not Available                                                                                                                                   |
| Case Number:             | ED-75-206-SUD-CA                                                                                                                                     |
| Required Action(s):      | SUD-SUPPLEMENTAL USE DISTRICT ("K" DIST., "O" DISTRICT, ETC.)<br>CA-CODE AMENDMENT                                                                   |
| Project Descriptions(s): | Data Not Available                                                                                                                                   |

## DATA NOT AVAILABLE

CPC-24819  
CPC-17631  
ORD-175694  
ORD-175693  
ORD-172897  
ORD-172019  
ORD-168999  
ORD-164844-SA930  
ORD-146323  
ORD-130337



