

2640-2656 NORTH ABERDEEN AVENUE
Aberdeen House, Historic-Cultural Monument (HCM) #1171
CHC-2019-1328-MAEX

Agenda packet includes:

1. [Staff Recommendation Report](#)
2. [ZIMAS Report](#)
3. [Mills Act Historical Property Contract Application](#)
4. [Historic Structure Report](#)
5. [Pre-Approval Inspection Report](#)

Please click on each document to be directly taken to the corresponding page of the PDF.

2640-2656 NORTH ABERDEEN AVENUE

Aberdeen House, Historic-Cultural Monument (HCM) #1171
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STAFF RECOMMENDATION REPORT

Los Angeles Department of City Planning

RECOMMENDATION REPORT

CULTURAL HERITAGE COMMISSION

CASE NO.: CHC-2019-1328-MAEX

HEARING DATE: August 1, 2019
TIME: 10:00 AM
PLACE: City Hall, Room 1010
200 North Spring Street
Los Angeles, CA 90012

Location: 2640-2656 North Aberdeen Avenue
Council District: 4 - Ryu
Community Plan Area: Hollywood
Area Planning Commission: Central
Neighborhood Council: Los Feliz
Legal Description: Tract 4276, Lot 4

PROJECT: 2640-2656 North Aberdeen Avenue
Aberdeen House, Historic-Cultural Monument (HCM) #1171

APPLICANTS & OWNERS: Stuart J. and Dawn P. Gulland, Trustees
Stuart and Dawn Gulland Living Trust
2656 N. Aberdeen Avenue
Los Angeles, CA 90027

OWNER'S REPRESENTATIVE: Vanessa Withers
Historic Preservation Partners
419 Concord Avenue
Monrovia, CA 91016

REQUEST: **APPROVAL OF EXEMPTION FROM LIMITATION OF ELIGIBILITY FOR HISTORICAL PROPERTY CONTRACT (MILLS ACT) APPLICATION**

RECOMMENDATION: **That the Cultural Heritage Commission:**

1. **FIND** the above-listed property meets the stated conditions for valuation exemption.
2. **APPROVE** the above-listed property for exemption from the valuation limit.

VINCENT P. BERTONI, AICP
Director of Planning

SIGNED ORIGINAL IN FILE

Ken Bernstein, AICP, Manager
Office of Historic Resources

SIGNED ORIGINAL IN FILE

Melissa Jones, City Planning Associate
Office of Historic Resources

SIGNED ORIGINAL IN FILE

Lambert M. Giessinger, Architect
Historical Property Contracts Manager
Office of Historic Resources

ATTACHED EXHIBITS:

- Attachment 1 – ZIMAS Report
- Attachment 2 – Mills Act Historical Property Contract Application
- Attachment 3 – Historic Structure Report (HSR)
- Attachment 4 – Pre-Approval Inspection Report

BACKGROUND

Economic incentives foster preservation of residential neighborhoods and revitalization of downtown commercial districts. The Mills Act is the single most important economic incentive program in California for preservation of qualified historic buildings by private property owners.

Enacted in 1972, Mills Act legislation grants participating local governments (cities and counties) authority to enter into contracts with owners of qualified historic properties who actively participate in rehabilitation, restoration, and maintenance work to receive property tax relief. The City of Los Angeles (City) adopted Mills Act legislation in 1996. Since then, 921 properties have benefited from the program.

A formal agreement, known as a Mills Act or Historical Property Contract (Mills Act Contract), is executed between the City and property owner for a revolving minimum ten-year term. Contracts are automatically renewed each year. Property owners agree to rehabilitate, restore, maintain, and protect the property in accordance with the *Secretary of the Interior's Standards for Rehabilitation (Secretary's Standards)* and conditions identified in the Contract. Periodic inspections by City and County officials ensure proper adherence to the Contract. The City may impose penalties for breach of Contract or failure to protect the historic property. The Contract is binding to all successive owners.

The Mills Act is codified in Los Angeles Administrative Code Chapter 14. Section 19.142 identifies limitations on eligibility for the Mills Act. The current pre-contract assessed value limits are \$1,500,000 for single-family residential properties and \$3,000,000 for multi-family residential, commercial, or industrial properties. Properties located in the Greater Downtown Los Angeles Area, including the Figueroa Economic Strategy Area, and National Register of Historic Places-listed Hollywood Boulevard Commercial and Entertainment District are exempt from valuation limits. The Cultural Heritage Commission may grant an exemption from the limitations imposed by Administrative Code Section 19.142 under the following conditions:

- (a) *granting the exemption will not cause the cumulative loss of property tax revenue to the City to exceed \$2,000,000 annually; and*
- (b) *the site, building or structure is a particularly significant Historic-Cultural Monument or Contributing Structure to an Historic Preservation Overlay Zone; and*
- (c) *granting the exemption will assist in the preservation of a site, building or structure which would otherwise be in danger of demolition, substantial alteration or relocation.*

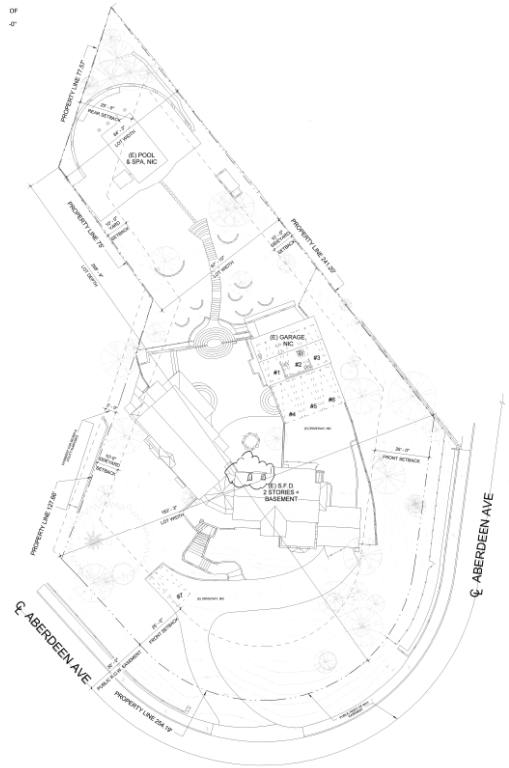
The above-listed criteria are further delineated in the Contract application materials to include substantial rehabilitation and excessive and/or unusual maintenance requirements for a property.

In order to better substantiate justification for exemption properties to meet the ordinance criteria, the application process requires preparation of an Historic Structure Report (HSR) consistent with format requirements published by the Office of Historic Preservation Historic Structure Report Format Guidelines and the National Park Service in Preservation Brief 43: The Preparation and Use of Historic Structure Reports. An HSR provides documentary, graphic, and physical information about a property's history and existing condition. Broadly recognized as an effective part of preservation planning, an HSR also addresses management or owner goals for continued use or re-use of the property. It provides a thoughtfully considered argument for selecting the most appropriate approach to treatment, prior to commencement of work, and outlines a scope of recommended tasks. The HSR serves as an important guide for all changes made to a historic property during a project—repair, rehabilitation, or restoration—and can also provide information for maintenance procedures. This requirement sets a higher bar for exemption requests and allows property owners and staff to better understand the unique challenges such properties entail and the owner's commitment to preservation under a Mills Act Contract.

SUBJECT PROPERTY

Aberdeen House is a two-story single-family residence with detached garage and upper pool terrace. The building is located on a curving lot off of Aberdeen Avenue with North Vermont Avenue to the west in the Los Feliz neighborhood of Los Angeles. The legal description of the property is Lot 4, Arb 2 and 3, of Tract 4276, identified by the Los Angeles County Assessor as 5588-030-016 and 5588-030-017. The subject property was designated as Los Angeles Historic-Cultural Monument (HCM) #1171 in December 2018, and has a current valuation of \$4,962,300.

Aberdeen House was built in 1926 as a Tudor-Revival style single-family residence situated on the hillside of Aberdeen Avenue. Architect Milton R. Sutton was commissioned by Mrs. Sybil J. Morrison to design the building in the Tudor Revival architectural style. The period of significance of the home is 1925 to 1937 to encompass the period of initial construction and the occupancy of original owner Mrs. Sybil J. Morrison. There were many subsequent owners. In the 1960s, the property was decreased in size, with the frontage along Aberdeen reduced. The house was originally built as a single-family home but was used as a duplex for a period of time. Assessor's records indicate it was restored to a single-family home in 1996.



Site Plan of subject property. Prepared by ARG (2018)

Description



Primary (south) elevation along Aberdeen Avenue, view facing north

Aberdeen House is two-stories in height with an irregular plan and multi-planed cross-gabled roof clad in slate tiles. The primary (south) elevation faces Aberdeen Avenue with a prominent central main entry marked by a change in roof line, wood door with Tudor arch, and accentuated by a partially covered front porch. Heavily articulated wings extend back into the hillside from either side of the entry. The first story is clad in brick veneer. The upper story is clad in stucco with faux half-timbering. Fenestration is asymmetrically arranged with grouped leaded casement windows and window bay projections with wood bracket detailing. Balconies are on the east and northeast portions of the building. A porte cochère extends off the end of the east wing on the east elevation. The rear (north) elevation is fully clad in stucco and has a brick chimney. Exterior characteristic features of the residence include its irregular plan, brick and stucco exterior, slate roof, leaded glass and multi-light casement windows, and Tudor detailing found throughout.

Interior characteristic elements include original wood doors, Tudor arch entryways, wood moldings, original fireplaces with marble facing and wood mantels, leaded glass casement windows, and original wood paneling. The second floor of Aberdeen House contains a hallway and bedroom and bathroom spaces that have been reconfigured. The kitchen and attached dining room were expanded and remodeled in 1996 and are in the process of another remodel. The bathrooms have all been remodeled.

A garage/chauffeur's quarters is located on the east side of the property. The building is rectangular in plan, roughly one-and-a-half stories with a side-facing steeply pitched gable slate roof with a large front-facing gable dormer centered on the front elevation. Three wood garage doors with wood panel and multi-light glazing design characterize the lower floor. The rear yard pool is elevated above the main house to the northwest on a plateau accessed by a steep staircase. The pool and associated features were added in 1997.

Rehabilitation/Restoration/Maintenance Plan

The proposed rehabilitation, restoration, and maintenance plan includes: seismic retrofit; ivy and tree removal; cleaning the exterior of the residence; drainage, dampness, and mold remediation; rehabilitation of architectural wood details; repair and rehabilitation of original slate roof; prep and repointing of exterior brick veneer; rehabilitation of front brick patio and stairs; stucco repair and repainting; rehabilitation of exterior balconies; repair of driveway; installation of new attic insulation; mechanical, electrical, and plumbing upgrades; rehabilitation and restoration of hardwood floors; rehabilitation and restoration of interior wood architectural details; repair of original leaded glass windows; rehabilitation of windows and roll down screens; rehabilitation of the detached garage including structural reinforcement and mold remediation; and ongoing maintenance. The proposed scope of work is estimated to be completed by 2024.

The most critical projects have been addressed first; seismic foundation work; ivy and tree removal and cleaning exterior from ivy damage; drainage, dampness, mold remediation; restoration of wood details and half timbering; brick restoration; systems replacement; stucco repair; and exterior painting. These items were completed at the time of the inspection and many other projects remain ongoing.

Review

GPA Consulting, on behalf of Office of Historic Resources staff, reviewed the Mills Act Contract application materials and conducted an on-site, pre-approval inspection on June 11, 2019. The inspection was attended by Stuart and Dawn Gulland, representing ownership, historic preservation consultant Vanessa Withers from Historic Preservation Partners, and contractor Dustin Coad with Kaptive C&P.

The recently completed and proposed scope of work conforms to the Secretary's Standards and substantiates necessity for a Mills Act Historical Property Contract. Staff recommends approval of the exemption from limitation of eligibility for a Mills Act Contract. The property is a significant example of the Tudor Revival architectural style and is a significant example of the work of Milton R. Sutton. In addition, as outlined in the Historic Structure Report, there is clear evidence for substantial private investment beyond routine maintenance, and appropriate proposed rehabilitation, restoration, and maintenance tasks.

FINDINGS

A) Granting the exemption will not cause the cumulative loss of property tax revenue to the City to exceed \$2,000,000 annually.

Fiscal Impact of (921) existing Mills Act Contracts:	\$1,405,399
Fiscal Impact of (10) 2019 Applications (excluding exemptions):	\$7,539
Fiscal Impact of Pending Exemption Application:	\$3,645
Fiscal Impact of (4) other Exemption Applications:	\$23,940
Fiscal Impact of all proposed and executed contracts (1997 to 2019):	\$1,440,523

The City's share of the general levy property tax collected by the County Assessor for FY 2018-19 (1.02% of property value) is 0.108335002 or 10.8%. It is the intent of the City Council that unrealized City revenue

from the loss of property taxes not collected due to executed Historical Property Contracts shall not exceed \$2,000,000 annually. The current total revenue loss projection for 2019-20 would put the program at 72% of capacity.

B) The site, building or structure is a particularly significant Historic-Cultural Monument or Contributing Structure to an Historic Preservation Overlay Zone.

Constructed in 1926, Aberdeen House is particularly significant as an excellent example of Tudor Revival residential architecture in Los Feliz. It is also significant as an exceptional example of the work of architect Milton R. Sutton, who started his career as a carpenter and built single-family residences around Los Angeles.

C) Granting the exemption will assist in the preservation of a site, building or structure which would otherwise be in danger of demolition, substantial alteration or relocation.

The two-story Tudor Revival style residence is in the midst of large-scale, substantial, and necessary rehabilitation. Decades of deferred maintenance created conditions where the historic fabric, systems, and site were in dire need of intervention. The present owners have already shown responsible stewardship by approaching the residence with a thoughtful and preservation-minded focus, working with historic consultants, architects, specialists, and the Office of Historic Resources to craft and execute a plan for addressing the building's many complex issues as outlined in the attached Historic Structure Report. The large scope of work required to rehabilitate the building is in progress, with critical stabilization prioritized and additional needed work underway or planned for the near future. Granting the exemption will provide an incentive to complete the complex, expensive tasks listed above, which will enhance the historic character of the subject property and enable its rehabilitation according to the Secretary's Standards. These improvements, as well as ongoing maintenance and rehabilitation of the building, will require a major investment that would not be feasible without the incentive of the Mills Act Contract program.

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CHC-2019-1328-MAEX

ZIMAS REPORT



City of Los Angeles Department of City Planning

7/23/2019 PARCEL PROFILE REPORT

PROPERTY ADDRESSES

2656 N ABERDEEN AVE
2648 N ABERDEEN AVE
2646 N ABERDEEN AVE

ZIP CODES

90027

RECENT ACTIVITY

CHC-2019-1328-MAEX

CASE NUMBERS

CPC-8211-B
CPC-2016-1450-CPU
CPC-1986-831-GPC
ORD-164700
ORD-129279
ORD-128730
ORD-113053
YV-13923
DL-497
CHC-2018-4019-HCM
CHC-2018-3233-HCM
ENV-2018-4020-CE
ENV-2018-3234-CE
ENV-2016-1451-EIR
AFF-32860
DofL-497

Address/Legal Information

PIN Number	153B197 34
Lot/Parcel Area (Calculated)	19,854.8 (sq ft)
Thomas Brothers Grid	PAGE 594 - GRID A2
Assessor Parcel No. (APN)	5588030017
Tract	TR 4276
Map Reference	M B 47-23
Block	None
Lot	4
Arb (Lot Cut Reference)	2
Map Sheet	153B197

Jurisdictional Information

Community Plan Area	Hollywood
Area Planning Commission	Central
Neighborhood Council	Los Feliz
Council District	CD 4 - David E. Ryu
Census Tract #	1891.02
LADBS District Office	Los Angeles Metro

Planning and Zoning Information

Special Notes	HISTORIC MONUMENT UNDER CONSIDERATION
Zoning	RE11-1
Zoning Information (ZI)	ZI-2462 Modifications to SF Zones and SF Zone Hillside Area Regulations
General Plan Land Use	Very Low II Residential
General Plan Note(s)	Yes
Hillside Area (Zoning Code)	Yes
Specific Plan Area	None
Subarea	None
Special Land Use / Zoning	None
Design Review Board	No
Historic Preservation Review	Yes
Historic Preservation Overlay Zone	None
Other Historic Designations	None
Other Historic Survey Information	None
Mills Act Contract	None
CDO: Community Design Overlay	None
CPIO: Community Plan Imp. Overlay	None
Subarea	None
CUGU: Clean Up-Green Up	None
HCR: Hillside Construction Regulation	No
NSO: Neighborhood Stabilization Overlay	No
POD: Pedestrian Oriented Districts	None
RFA: Residential Floor Area District	None
RIO: River Implementation Overlay	No
SN: Sign District	No
Streetscape	No
Adaptive Reuse Incentive Area	None
Affordable Housing Linkage Fee	

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at zimas.lacity.org
(*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

Residential Market Area	Medium-High
Non-Residential Market Area	High
Transit Oriented Communities (TOC)	Tier 1
CRA - Community Redevelopment Agency	None
Central City Parking	No
Downtown Parking	No
Building Line	None
500 Ft School Zone	No
500 Ft Park Zone	Active: Griffith Park Active: Roosevelt Golf Course

Assessor Information

Assessor Parcel No. (APN)	5588030017
Ownership (Assessor)	
Owner1	GULLAND,STUART J AND DAWN P TRS STUART AND DAWN GULLAND TRUST
Address	3509 POINSETTIA AVE MANHATTAN BEACH CA 90266
Ownership (Bureau of Engineering, Land Records)	
Owner	GULLAND, STUART J.S. & DAWN P.S., TRUSTEES OF THE GULLAND TRUST DTD 7/10/2003
Address	2656 ABERDEEN AVE. LOS ANGELES CA 90027
APN Area (Co. Public Works)*	0.500 (ac)
Use Code	0100 - Residential - Single Family Residence
Assessed Land Val.	\$3,570,000
Assessed Improvement Val.	\$1,086,300
Last Owner Change	08/08/2017
Last Sale Amount	\$4,865,048
Tax Rate Area	13
Deed Ref No. (City Clerk)	904748
	9-35
	758727
	704141
	2729029
	2111289-90
	1782343-4
	1641879
	0888468
	0621893
Building 1	
Year Built	1926
Building Class	D10D
Number of Units	1
Number of Bedrooms	6
Number of Bathrooms	5
Building Square Footage	4,722.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5

Additional Information

Airport Hazard	None
Coastal Zone	None
Farmland	Area Not Mapped
Urban Agriculture Incentive Zone	YES
Very High Fire Hazard Severity Zone	Yes

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 (*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

Fire District No. 1	No
Flood Zone	None
Watercourse	No
Hazardous Waste / Border Zone Properties	No
Methane Hazard Site	None
High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	Yes
Oil Wells	None

Seismic Hazards

Active Fault Near-Source Zone	
Nearest Fault (Distance in km)	Within Fault Zone
Nearest Fault (Name)	Hollywood Fault
Region	Transverse Ranges and Los Angeles Basin
Fault Type	B
Slip Rate (mm/year)	1.00000000
Slip Geometry	Left Lateral - Reverse - Oblique
Slip Type	Poorly Constrained
Down Dip Width (km)	14.00000000
Rupture Top	0.00000000
Rupture Bottom	13.00000000
Dip Angle (degrees)	70.00000000
Maximum Magnitude	6.40000000
Alquist-Priolo Fault Zone	No
Landslide	No
Liquefaction	No
Preliminary Fault Rupture Study Area	No
Tsunami Inundation Zone	No

Economic Development Areas

Business Improvement District	None
Hubzone	Not Qualified
Opportunity Zone	No
Promise Zone	None
State Enterprise Zone	None

Housing

Direct all Inquiries to	Housing+Community Investment Department
Telephone	(866) 557-7368
Website	http://hcidla.lacity.org
Rent Stabilization Ordinance (RSO)	No
Ellis Act Property	No

Public Safety

Police Information	
Bureau	Central
Division / Station	Northeast
Reporting District	1142
Fire Information	
Bureau	West
Batallion	5
District / Fire Station	35
Red Flag Restricted Parking	No

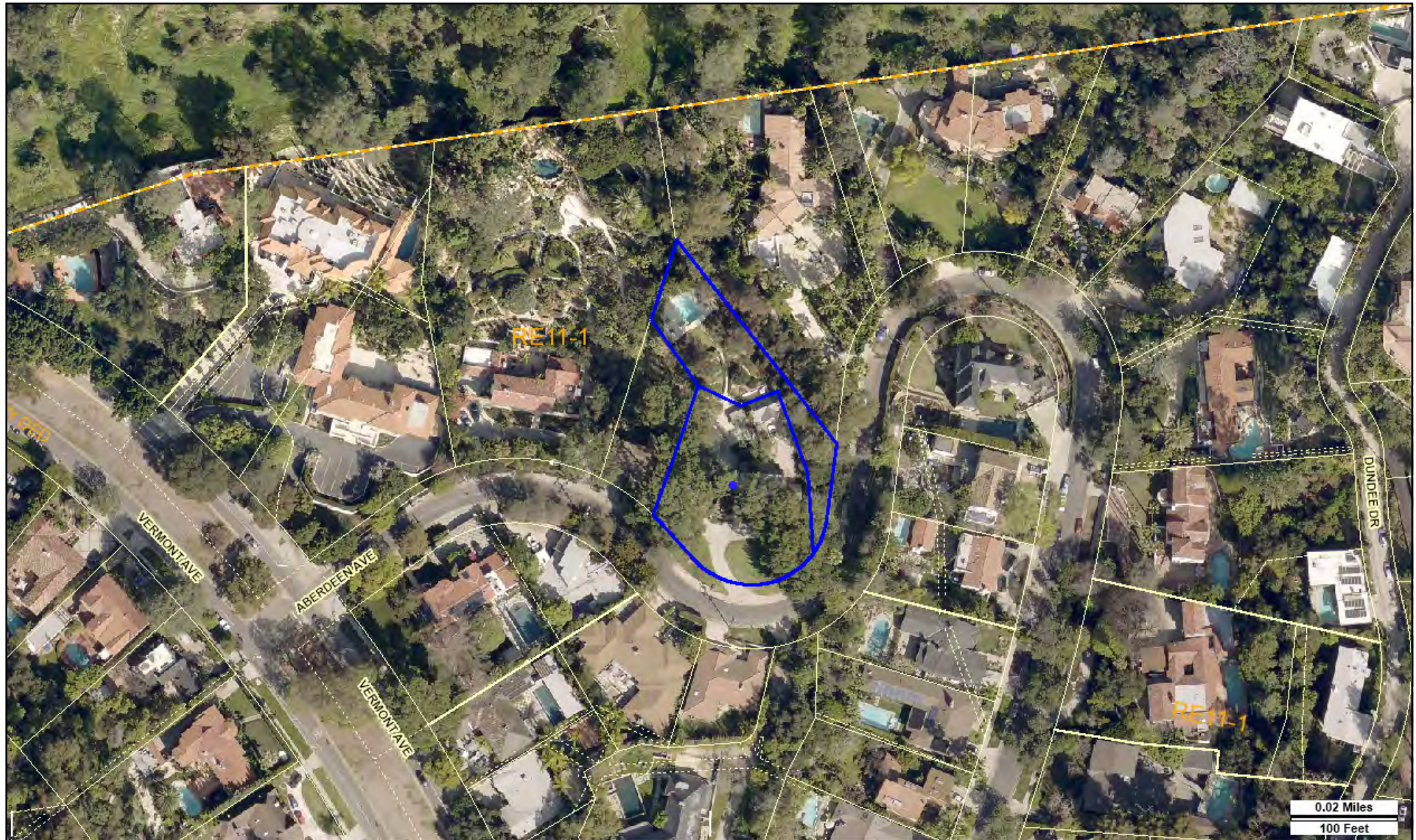
CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number:	CPC-8211-B
Required Action(s):	B-PRIVATE STREET MODIFICATIONS (2ND REQUEST)
Project Descriptions(s):	Data Not Available
Case Number:	CPC-2016-1450-CPU
Required Action(s):	CPU-COMMUNITY PLAN UPDATE
Project Descriptions(s):	UPDATE TO THE HOLLYWOOD COMMUNITY PLAN
Case Number:	CPC-1986-831-GPC
Required Action(s):	GPC-GENERAL PLAN/ZONING CONSISTENCY (AB283)
Project Descriptions(s):	HOLLYWOOD COMMUNITY PLAN REVISION/GENERAL PLAN CONSISTENCY PLAN AMENDMENT, ZONE CHANGES AND HEIGHT DISTRICT CHANGES
Case Number:	CHC-2018-4019-HCM
Required Action(s):	HCM-HISTORIC CULTURAL MONUMENT
Project Descriptions(s):	HISTORIC-CULTURAL MONUMENT APPLICATION FOR THE ABERDEEN HOUSE
Case Number:	CHC-2018-3233-HCM
Required Action(s):	HCM-HISTORIC CULTURAL MONUMENT
Project Descriptions(s):	HISTORIC-CULTURAL MONUMENT APPLICATION FOR THE MONTECITO.
Case Number:	ENV-2018-4020-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	HISTORIC-CULTURAL MONUMENT APPLICATION FOR THE ABERDEEN HOUSE
Case Number:	ENV-2018-3234-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	HISTORIC-CULTURAL MONUMENT APPLICATION FOR THE MONTECITO.
Case Number:	ENV-2016-1451-EIR
Required Action(s):	EIR-ENVIRONMENTAL IMPACT REPORT
Project Descriptions(s):	UPDATE TO THE HOLLYWOOD COMMUNITY PLAN

DATA NOT AVAILABLE

ORD-164700
ORD-129279
ORD-128730
ORD-113053
YV-13923
DL-497
AFF-32860
DofL-497



Address: 2656 N ABERDEEN AVE

APN: 5588030017

PIN #: 153B197 34

Tract: TR 4276

Block: None

Lot: 4

Arb: 2

Zoning: RE11-1

General Plan: Very Low II Residential



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Aberdeen House, Historic-Cultural Monument (HCM) #1171
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MILLS ACT HISTORICAL PROPERTY CONTRACT APPLICATION

RECORDING REQUESTED BY
AND WHEN RECORDED RETURN TO:

Los Angeles Department of City Planning
Historical Property Contracts Program
221 North Figueroa Street, Suite 1350
Los Angeles, California 90012

SPACE ABOVE THIS LINE IS RESERVED FOR RECORDER'S USE

TITLE(S)

(Free recording requested pursuant to Government Code Section 6103)

HISTORICAL PROPERTY CONTRACT

BY AND BETWEEN THE CITY OF LOS ANGELES,
A MUNICIPAL CORPORATION, AND

Stuart and Dawn Gulland Living Trust

(PRINT NAME OF EACH OWNER AS LISTED ON TITLE)

FOR THE PRESERVATION AND BENEFIT OF THE
HISTORIC-CULTURAL MONUMENT OR
CONTRIBUTING STRUCTURE PROPERTY LOCATED AT

2656 Aberdeen Ave.

(ADDRESS)

THIS AGREEMENT is made and entered into this _____ day of _____ 2019, by and
(LEAVE DATE BLANK UNTIL RECORDED)

between the CITY OF LOS ANGELES, a municipal corporation (hereinafter referred to as the "City") and
Stuart and Dawn Gulland Living Trust (hereinafter referred to as the "Owner").

(PRINT NAME OF EACH OWNER AS LISTED ON TITLE)

WITNESSETH:

- (i) California Government Code Sections 50280, et seq. authorize cities to enter into contracts with the owners of qualified historical properties to provide for the use, maintenance and restoration of such historical properties so as to retain their characteristics as properties of historical significance.
- (ii) Owner possesses fee title in and to that certain real property, together with associated structures and improvements thereon, commonly known as the _____ Aberdeen House and located at the street address _____ 2656 Aberdeen Ave., Los Angeles, California _____ 90027 (hereinafter such property shall be referred to as the "Property"), and recorded with the Los Angeles County Recorder with the following legal description:

Tract [TR4276], Block [None], Lot [4]; APN 5588-030-017
Tract [TR4276], Block [None], Lot [4]; APN 5588-030-016

- (iii) On _____ December 7 _____, 2018 : (a) the City Council of the City of Los Angeles declared the Property Historic-Cultural Monument No. 1171 pursuant to Section 22.171.10 of the Los Angeles Administrative Code (Council File No. 18 - 0964); or,
(b) The Property was determined to be a Contributing Structure to the
NA Historic Preservation Overlay Zone pursuant to Section 12.20.3 of the Los Angeles Municipal Code.
- (iv) City and Owner, for their mutual benefits, now desire to enter into this agreement both to protect and preserve the characteristics of historical significance of the Property and to qualify the Property for an assessment of valuation pursuant to the provisions of Section 439, et seq., of the California Revenue and Taxation Code.

NOW THEREFORE, City and Owner, in consideration of the mutual covenants and conditions set forth herein, do hereby agree as follows:

1. Effective Date and Term of Agreement.

This Historical Property Contract (hereinafter referred to as the "Agreement") shall be effective and commence on the date it is recorded (hereinafter referred to as the "effective date") and shall remain in effect for a term of ten (10) years thereafter. Each year upon the anniversary of the effective date, such initial term will automatically be extended, subject to provisions of paragraph 2, below.

2. Renewal.

Each year on the anniversary of the effective date of this Agreement (hereinafter referred to as the "renewal date"), a year shall automatically be added to the initial term of this Agreement unless notice of nonrenewal is mailed as provided herein. If either Owner or City desires in any year not to renew the Agreement, Owner or City shall serve written notice of nonrenewal of the Agreement on the other party in advance of the annual renewal date of the Agreement. Unless such notice is served by Owner to City at least ninety (90) days prior to the annual renewal date, or served by City to Owner at least sixty (60) days prior to the annual renewal date, one (1) year shall automatically be added to the term of the Agreement as provided herein. Upon receipt by Owner of a notice of nonrenewal from City, Owner may make a written protest of the notice. City may, at any time prior to the annual renewal date of the Agreement, withdraw its notice to Owner of nonrenewal. If either City or Owner serves notice to the other of nonrenewal in any year, the Agreement shall remain in effect for the balance of the term then remaining, either from its original execution or from the last renewal of the Agreement, whichever may apply.

3. Standards for Historical Property.

During the term of this Agreement, the Property shall be subject to the following conditions, requirements and restrictions:

- a. Owner shall preserve and maintain the characteristics of historical significance of the Property in accordance with the Rehabilitation/Restoration/Maintenance Plan (hereinafter referred to as the "Plan") for the Property is attached hereto, marked as Exhibit "A", and is incorporated herein by this reference. Attached hereto, marked as Exhibit "B", and incorporated herein by this reference, is a list of those minimum standards and conditions for maintenance, use and preservation of the Property, which shall apply to such property throughout the term of this Agreement.

- b. Owner shall restore and rehabilitate the property according to the Plan, the rules and regulations of the Secretary of the Interior's Standards for Rehabilitation (Exhibit "B"), and the California Historical Building Code.
- c. Owner shall allow reasonable periodic examinations, by prior appointment, of the interior and exterior of the Property by representatives of the City, County or City and County prior to any new agreement and every 5 years thereafter, and as may be necessary to determine owner's compliance with the terms and provisions of this Agreement.

4. Provision of Information of Compliance.

Owner hereby agrees to furnish City with any and all information requested by the City which may be necessary or advisable to determine compliance with the terms and provisions of this Agreement.

5. Cancellation.

City, following a duly noticed public hearing as set forth in California Government Code Sections 50280, et seq., may cancel this Agreement if it determines that Owner breached any of the conditions of this Agreement or has allowed the property to deteriorate to the point that it no longer meets the standards for a Historic-Cultural Monument or Contributing Structure. City may also cancel this Agreement if it determines that the Owner has failed to restore or rehabilitate the property in the manner specified in subparagraph 3(b) of the Agreement, including but not limited to Owner's failure to comply with the Plan and/or Owner's failure to complete the rehabilitation and restoration identified in the Plan as provided for in the Plan. Except as otherwise provided in Section 19.143 of the Los Angeles Municipal Code, in the event of cancellation of this Agreement by the City, Owner shall pay the State of California a cancellation fee of Twelve and One-Half percent (12 1/2%) of the current fair market value of the Property at the time of cancellation, as determined by County Assessor without regard to any restrictions on the Property imposed pursuant to this Agreement. Payment of the fee shall be made in accordance with the provisions of subsection (b) of Section 50286 of the Government Code.

6. Enforcement of Agreement.

In lieu of and/or in addition to any provisions to cancel the Agreement as referenced herein, City may specifically enforce, or enjoin the breach of, the terms of this Agreement. In the event of a default under the provisions of this Agreement by Owner, City shall give written notice to Owner by registered or certified mail addressed to the address stated in this Agreement, and if such a violation is not corrected to the reasonable satisfaction of the City within thirty (30) days thereafter, or if not corrected within such a reasonable time as may be required to cure the breach or default if said breach or default cannot be cured within thirty (30) days (provided that acts to cure the breach or default must be commenced within thirty (30) days and must thereafter be diligently pursued to completion by Owner), then City may, without further notice, declare a default under the terms of this Agreement and may bring any action necessary to specifically enforce the obligations of Owner pursuant to the terms of this Agreement, apply to any court, state or federal, for injunctive relief against any violation by Owner, or apply for such other relief as may be appropriate. City does not waive any claim of default by Owner if City does not enforce or cancel this Agreement. All other remedies at law or in equity which are not otherwise provided for in this Agreement or in City's regulations governing historic

properties are available to the City to pursue in the event that there is a breach of this Agreement. No waiver of any breach or default under this Agreement shall be deemed to a waiver of any other subsequent breach thereof or default hereunder.

7. Binding Effect of Agreement.

The Owner hereby voluntarily subjects the Property hereto to the covenants, reservations and restrictions as set forth in this Agreement. City and Owner hereby declare their specific intent that the covenants, reservations and restrictions as set forth herein shall be deemed covenants running with the land and shall pass to and be binding upon the Owner's successors and assigns in title or interest to the Property. Each and every contract, deed or other instrument hereinafter executed, covering or conveying the Property, or any portion thereof, shall conclusively be held to have been executed, delivered and accepted subject to the covenants, reservations and restrictions expressed in this Agreement whether or not such covenants, reservations and restrictions are set forth in such contract, deed or other instrument.

City and Owner hereby declare their understanding and intent that the burden of the covenants, reservations and restrictions set forth herein touch and concern the land in that Owner's legal interest in the Property is rendered less valuable thereby. City and Owner hereby further declare their understanding and intent that the benefit of such covenants, reservations and restrictions touch and concern the land by enhancing and maintaining the historic characteristics and significance of the Property for the benefit of the public and Owner.

8. Notice.

Any notice required to be given by the terms of this Agreement shall be provided at the address of the respective parties as specified below or at any other address as may be later specified by the parties hereto.

To City:

Los Angeles Department of City Planning
221 North Figueroa Street, Suite 1350
Los Angeles, California 90012
Attn: Historical Property Contracts Manager

To Owner:

Name

Stuart and Dawn Gulland

Address

2656 Aberdeen Ave.

Los Angeles, Ca 90027

9. General Provisions.

- a. None of the terms, provisions or conditions of this Agreement shall be deemed to create a partnership between the parties hereto and any of their heirs, successors or assigns, nor shall such terms, provisions or conditions cause them to be considered joint venturers or members of any joint enterprise.
- b. Owner agrees to and shall hold City and its elected officials, officers, employees and agents harmless from any and all liability for damage or claims for damage for personal injuries, including death, and claims for property damage which may arise from the direct or indirect use or operations of Owner or those of his contractor, subcontractor, agent, employee or other person acting on his behalf which relate to the use, operation and maintenance of the Property. Owner hereby agrees to and shall defend the City and its elected officials, officers, employees and agents with respect to any and all actions for damages caused by, or alleged to have been caused by, reason of Owner's activities in connection with the Property. This hold harmless provision applies to all damages and claims for damages suffered, or alleged to have been suffered, by reason of the operations referred to in this Agreement whether or not the City prepared, supplied or approved the plans, specifications or other documents for the Property.
- c. All of the agreements, rights, covenants, reservations and restrictions contained in this Agreement shall be binding upon and shall inure to the benefit of the parties herein, their heirs, successors, legal representatives, assigns and all persons acquiring any part or portion of the Property, whether by operation of law or in any manner whatsoever.
- d. In the event legal proceedings are brought by any party or parties to enforce or restrain a violation of any of the covenants, reservations or restrictions contained herein, or to determine the rights and duties of any party hereunder, the prevailing party in such proceeding may recover all reasonable attorney's fees to be fixed by the court, in addition to court costs and other relief ordered by the court.
- e. In the event that any of the provisions of this Agreement are held to be unenforceable or invalid by any court of competent jurisdiction, or by subsequent preemptive legislation, the validity and enforceability of the remaining provisions, or portions thereof, shall not be effected thereby.
- f. This Agreement shall be construed and governed in accordance with the laws of the State of California.

10. Recordation.

No later than twenty (20) days after the parties execute and enter into this Agreement, City shall cause this Agreement to be recorded in the Office of the County Recorder of the County of Los Angeles.

11. Amendments.

This Agreement may be amended, in whole or in part, only by a written recorded instrument executed by the parties hereto.

12. Fees.

Owner agrees to pay any such fees associated with the administration of the Agreement, so long as the fee does not exceed the City's and County's reasonable cost of providing the service pursuant to this article for which the fee is charged.

IN WITNESS WHEREOF, the parties have caused this contract to be duly executed.

THE CITY OF LOS ANGELES, a municipal corporation:

ATTEST: HOLLY WOLCOTT, City Clerk/Executive Officer

By: _____
Deputy _____ Date

By: _____
VINCENT P. BERTONI, AICP, Director of Planning _____ Date

By: _____
Owner Signature*
Stuart J S Gulland, Trustee of the Stuart and
Dawn Gulland Living Trust

Print Name _____ Date

By: _____
Owner Signature*
Dawn P S Gulland, Trustee of the Stuart and
Dawn Gulland Living Trust

Print Name _____ Date

By: _____
Owner Signature*

Print Name _____ Date

APPROVED AS TO FORM
MICHAEL N. FEUER, City Attorney

By: _____
Deputy City Attorney, Office of the City Attorney _____ Date

* Approved Recording Signature Method: The contract signature(s) and printed names(s) above MUST BE IDENTICAL to the printed names(s) on the first page of the contract and the Notary Acknowledgement Form. If not, the contract will be rejected by the County Recorder.

CERTIFICATION OF TRUST
[Short Form]

1. The following Trust is the subject of this Certification:

STUART J.S. GULLAND and DAWN P.S. GULLAND, Trustees, or their successor in trust, under the STUART AND DAWN GULLAND LIVING TRUST, dated July 10, 2003, and any amendments thereto.

2. The names and addresses of the currently acting Trustees of the trust are:

STUART J.S. GULLAND	DAWN P.S. GULLAND
3509 N. Poinsettia Ave. Manhattan Beach, California 90266	3509 N. Poinsettia Ave. Manhattan Beach, California 90266

3. The Trust is revocable and amendable and is in full force and effect. The trust has not been revoked, modified, or amended in any manner which would cause the representations contained in this Certification of Trust to be incorrect.

4. The Trustee has all the powers with respect to the trust property as are set forth in the trust agreement and under the Probate Code of the State of California. *Upon request*, the following trust provisions will be furnished: **Article One**, Creation of the trust and initial Trustees; **Article Four**, Statement of revocability of the trust; **Article Twelve**, Successor Trustees; **Article Seventeen**, Powers of the Trustees; and **Article Eighteen**, Signature pages. The other trust provisions are of a personal nature. They set forth the distribution of trust property and do not modify the powers of the Trustees.

5. The Trust provides in Article Three that upon presentation by the Trustee of a separate Certification of Trust stating the name and address of the Trustee, affirming that the trust is in full force and effect, and containing any pertinent provisions of the trust, all third parties shall rely on this transfer and follow all of the Trustee's instructions without risk of incurring liability to the Trustmaker, the Trustee, or the beneficiaries.

6. United States Treasury Regulations Sections 1.671-4, 1.6012-3(a)(9), and 301.6109-1(a)(2) provide that the Trustmaker's Social Security Number may be used in lieu of a separate taxpayer identification number for the trust. The Taxpayer Identification Number of this trust is Trustmaker's Social Security Number.

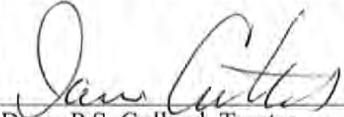
7. A photocopy of this Certification shall be as valid as the original.

8. The above statements are true and correct, under penalty of perjury.

9. Notwithstanding anything in my trust to the contrary, when I am serving as Trustee under my trust, I may act for and conduct business on behalf of my trust as a Trustee without the consent of any other Trustee.

10. This Certification is dated April 15, 2019.


Stuart J.S. Gulland, Trustee


Dawn P.S. Gulland, Trustee

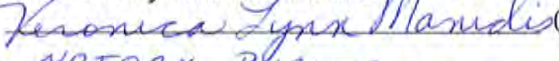
STATE OF CALIFORNIA)

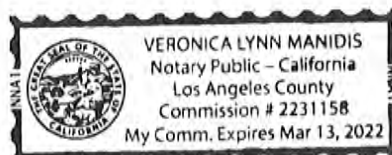
) ss.

COUNTY OF LOS ANGELES)

On April 15, 2019, before me, VERONICA LYNN MANIDIS **NOTARY PUBLIC**, personally appeared Stuart J.S. Gulland and Dawn P.S. Gulland proved to me on the basis of satisfactory evidence to be the persons whose names are subscribed to the within instrument and acknowledged to me that they executed the same in their authorized capacities, and that by their signatures on the instrument the persons, or the entity upon behalf of which the persons acted, executed the instrument.

WITNESS my hand and official seal:


NOTARY PUBLIC (Seal)



CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of LOS ANGELES)

On APRIL 15, 2019 before me, VERONICA LYNN MANIDIS, NOTARY PUBLIC
Date Here Insert Name and Title of the Officer
personally appeared STUART J.S. GULLAND AND DAWN P.S. GULLAND
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Veronica Lynn Manidis
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: _____

Document Date: _____ Number of Pages: _____

Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____

☐ Corporate Officer — Title(s): _____

☐ Partner — ☐ Limited ☐ General

☐ Individual ☐ Attorney in Fact

☐ Trustee ☐ Guardian or Conservator

☐ Other: _____

Signer Is Representing: _____

Signer's Name: _____

☐ Corporate Officer — Title(s): _____

☐ Partner — ☐ Limited ☐ General

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☐ Other: _____

Signer Is Representing: _____

**CULTURAL HERITAGE COMMISSION APPLICATION FOR EXEMPTION FROM
LIMITATION ON ELIGIBILITY FOR
HISTORICAL PROPERTY CONTRACT**

Los Angeles Administrative Code § 19.142 "Limitations on Eligibility" provides that:

...eligibility for Historical Property Contracts shall be limited... to buildings or structures with a pre-contract assessed valuation of \$1,500,000 or less for Single-Family dwellings, and \$3,000,000 or less for Multi-Family residential, commercial or industrial buildings, unless the individual property is granted an exemption from those limits by the Cultural Heritage Commission.

The Cultural Heritage Commission may grant exemption from the limitations imposed by this Section when:

- (a) *granting the exemption will assist in the preservation of a structure (including unusual and/or excessive maintenance requirements) that would otherwise be in danger of demolition, substantial alteration or relocation; and*
- (b) *the structure is an exceptional Historic-Cultural Monument or Contributing Structure to an HPOZ; and*
- (c) *granting the exemption will not cause the cumulative loss of property tax revenue to the City to exceed \$2,000,000 annually.*

1. NAME: Stuart and Dawn Gulland Living Trust
2. ADDRESS: 2656 Aberdeen Ave. Los Angeles, Ca 90027
3. ADDRESS OF PROPERTY: 2656 Aberdeen Ave. Los Angeles, Ca 90027
4. HISTORIC-CULTURAL MONUMENT NUMBER: 1171 or HPOZ: N/A
5. TAX ASSESSED VALUATION (Attach a copy of your most recent tax bill): \$ 4,865,000
6. EXEMPTION CRITERION: Granting the exemption will assist in the preservation of a structure that would otherwise be in danger of demolition, substantial alteration or relocation. ***A Historic Structure Report prepared for the property is attached.***

I, Stuart J S Gulland, owner of the structure referenced above apply for exemption from the limitations contained in L.A.A.C. §19.142. I certify, under the penalty of perjury, that the information attached and provided above is accurate. Executed this 15 day of APRIL, 2019, at MANHATTAN BEACH, California.

Stuart J S Gulland, Trustee
Owner's Name (print or type)


Owners Signature

For Office Use Only

- A) Cumulative loss of more than \$2,000,000?
- B) Exceptional HCM or HPOZ Contributing Structure?
- C) Specific threat to resource? Complete HSR submitted?

Percent above limit % Criteria a, b, and c listed above satisfied? Initial

**CULTURAL HERITAGE COMMISSION APPLICATION FOR EXEMPTION FROM
LIMITATION ON ELIGIBILITY FOR
HISTORICAL PROPERTY CONTRACT**

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1. NAME: Stuart and Dawn Gulland Living Trust
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4. HISTORIC-CULTURAL MONUMENT NUMBER: 1171 or HPOZ: N/A
5. TAX ASSESSED VALUATION (Attach a copy of your most recent tax bill): \$ 4,865,000
6. EXEMPTION CRITERION: Granting the exemption will assist in the preservation of a structure that would otherwise be in danger of demolition, substantial alteration or relocation. ***A Historic Structure Report prepared for the property is attached.***

I, Dawn P S Gulland, owner of the structure referenced above apply for exemption from the limitations contained in L.A.A.C. §19.142. I certify, under the penalty of perjury, that the information attached and provided above is accurate. Executed this 15 day of APRIL, 2019, at MANHATTAN BEACH, California.

Dawn P S Gulland, Trustee
Owner's Name (print or type)


Owners Signature

For Office Use Only

- A) Cumulative loss of more than \$2,000,000? _____
- B) Exceptional HCM or HPOZ Contributing Structure? _____
- C) Specific threat to resource? Complete HSR submitted? _____

Percent above limit _____ % Criteria a, b, and c listed above satisfied? _____ Initial _____

CERTIFICATION OF TRUST
[Short Form]

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STUART J.S. GULLAND	DAWN P.S. GULLAND
3509 N. Poinsettia Ave. Manhattan Beach, California 90266	3509 N. Poinsettia Ave. Manhattan Beach, California 90266

3. The Trust is revocable and amendable and is in full force and effect. The trust has not been revoked, modified, or amended in any manner which would cause the representations contained in this Certification of Trust to be incorrect.

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5. The Trust provides in Article Three that upon presentation by the Trustee of a separate Certification of Trust stating the name and address of the Trustee, affirming that the trust is in full force and effect, and containing any pertinent provisions of the trust, all third parties shall rely on this transfer and follow all of the Trustee's instructions without risk of incurring liability to the Trustmaker, the Trustee, or the beneficiaries.

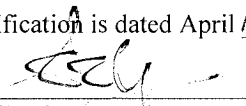
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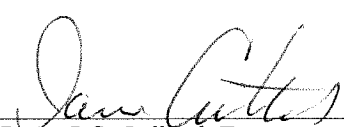
8. The above statements are true and correct, under penalty of perjury.

9. Notwithstanding anything in my trust to the contrary, when I am serving as Trustee under my trust, I may act for and conduct business on behalf of my trust as a Trustee without the consent of any other Trustee.

10. This Certification is dated April 15, 2019.



Stuart J.S. Gulland, Trustee



Dawn P.S. Gulland, Trustee

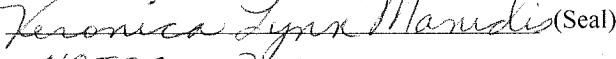
STATE OF CALIFORNIA)

) ss.

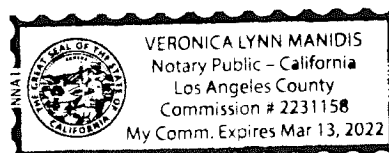
COUNTY OF LOS ANGELES)

On April 15, 2019, before me, VERONICA LYNN MANIDIS, Notary Public, personally appeared Stuart J.S. Gulland and Dawn P.S. Gulland proved to me on the basis of satisfactory evidence to be the persons whose names are subscribed to the within instrument and acknowledged to me that they executed the same in their authorized capacities, and that by their signatures on the instrument the persons, or the entity upon behalf of which the persons acted, executed the instrument.

WITNESS my hand and official seal,



NOTARY PUBLIC



CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)

County of LOS ANGELES)

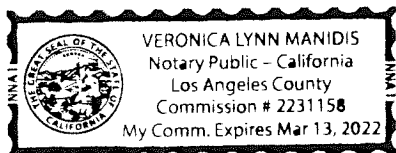
On APRIL 15, 2019 before me, VERONICA LYNN MANIDIS, NOTARY PUBLIC
Date Here Insert Name and Title of the Officer

personally appeared STUART J.S. GULLAND AND DAWN P.S. GULLAND
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature Veronica Lynn Manidis
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

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Title or Type of Document: _____

Document Date: _____ Number of Pages: _____

Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____

☐ Corporate Officer — Title(s): _____

☐ Partner — ☐ Limited ☐ General

☐ Individual ☐ Attorney in Fact

☐ Trustee ☐ Guardian or Conservator

☐ Other: _____

Signer Is Representing: _____

Signer's Name: _____

☐ Corporate Officer — Title(s): _____

☐ Partner — ☐ Limited ☐ General

☐ Individual ☐ Attorney in Fact

☐ Trustee ☐ Guardian or Conservator

☐ Other: _____

Signer Is Representing: _____

REHABILITATION/RESTORATION/MAINTENANCE PLAN

PROPERTY ADDRESS: 2656 Aberdeen Ave.

Use this form to propose all preservation work necessary to rehabilitate the property. In this plan, include all of the expected maintenance, restoration and replacement of historic features on the property, NOT modernization, remodels, or construction of new elements. Although modernization may be an important part of your rehabilitation project, this form is meant to specifically capture the preservation work involved and not anything else. Copy this page as necessary to include all items that apply to your property. Begin by listing recently completed preservation work (if applicable) and continue with work proposed to complete within the next ten years arranging in order of priority.

☐ Maintenance ☒ Rehabilitation/Restoration ☒ Completed ☐ Proposed

Building Feature: Foundation

Cost \$ 28,900 (round to nearest dollar) Contract Year of Proposed Work Completion: 2018

Description of work: Upgraded cripple walls and non-reinforced concrete block foundation segments with stem walls and/or shear panels as necessary

☐ Maintenance ☒ Rehabilitation/Restoration ☒ Completed ☐ Proposed

Building Feature: Whole Building

Cost \$ 16,000 (round to nearest dollar) Contract Year of Proposed Work Completion: 2018

Description of work: 25% of architectural fee; hired a specialist firm (ARG) to ensure work was done with consideration to the historic nature of the property

☐ Maintenance ☒ Rehabilitation/Restoration ☒ Completed ☐ Proposed

Building Feature: Exterior Landscape

Cost \$ 20,900 (round to nearest dollar) Contract Year of Proposed Work Completion: 2018

Description of work: Removal of invasive ivy, which was covering significant parts of the house, and removal of several trees that had been planted extremely close to the house

☐ Maintenance ☒ Rehabilitation/Restoration ☒ Completed ☐ Proposed

Building Feature: Exterior

Cost \$ 35,400 (round to nearest dollar) Contract Year of Proposed Work Completion: 2018

Description of work: Erection of scaffolding around entire house for four months in order to facilitate access, necessitated by the steep nature of the lot in front of the house

REHABILITATION/RESTORATION/MAINTENANCE PLAN

PROPERTY ADDRESS: 2656 Aberdeen Ave.

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☐ Maintenance ☒ Rehabilitation/Restoration ☒ Completed ☐ Proposed

Building Feature: Exterior

Cost \$ 36,400 (round to nearest dollar) Contract Year of Proposed Work Completion: 2018

Description of work: Pressure washing and hand scrubbing exterior of house to remove ivy stickers, accumulated dirt, and prepare for next phases of work

☐ Maintenance ☒ Rehabilitation/Restoration ☒ Completed ☐ Proposed

Building Feature: Walls

Cost \$ 8,400 (round to nearest dollar) Contract Year of Proposed Work Completion: 2018

Description of work: Mold testing and remediation

☐ Maintenance ☒ Rehabilitation/Restoration ☒ Completed ☐ Proposed

Building Feature: Site

Cost \$ 18,700 (round to nearest dollar) Contract Year of Proposed Work Completion: 2018

Description of work: Cleaned out all drains adjacent to house, replicated original gutters and downspouts and re-routed away from house

☐ Maintenance ☒ Rehabilitation/Restoration ☒ Completed ☐ Proposed

Building Feature: Exterior Architectural Wood Details

Cost \$ 48,900 (round to nearest dollar) Contract Year of Proposed Work Completion: 2018

Description of work: All exterior wood architectural elements were restored when possible, and replaced in-kind with redwood where needed due to extreme deterioration

REHABILITATION/RESTORATION/MAINTENANCE PLAN

PROPERTY ADDRESS: 2656 Aberdeen Ave.

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☐ Maintenance ☒ Rehabilitation/Restoration ☒ Completed ☐ Proposed

Building Feature: Roof

Cost \$ 22,000 (round to nearest dollar) Contract Year of Proposed Work Completion: 2018

Description of work: Repaired and rehabilitated original slate roof, including sourcing matching slate for missing/broken slates

☐ Maintenance ☒ Rehabilitation/Restoration ☒ Completed ☐ Proposed

Building Feature: Brick

Cost \$ 65,300 (round to nearest dollar) Contract Year of Proposed Work Completion: 2018

Description of work: Where joints displayed cracked, damaged or missing grout, grout was removed by hand down to a depth of 3/4" and new joint mortar installed by hand using grout formulated to match the original color and texture

☐ Maintenance ☒ Rehabilitation/Restoration ☒ Completed ☐ Proposed

Building Feature: Brick Patio/Front Terrace

Cost \$ 9,300 (round to nearest dollar) Contract Year of Proposed Work Completion: 2018

Description of work: Carefully removed and salvaged bricks due to substantial settlement, ground was re-compacted, leveled with sand and then a new rebar-reinforced concrete slab was poured, and salvaged bricks were re-installed

☐ Maintenance ☒ Rehabilitation/Restoration ☒ Completed ☐ Proposed

Building Feature: Original Steel Casement and Leaded Glass Windows

Cost \$ 30,500 (round to nearest dollar) Contract Year of Proposed Work Completion: 2018

Description of work: Refurbished original steel casement windows throughout, repaired and rebuilt multiple leaded glass windows

REHABILITATION/RESTORATION/MAINTENANCE PLAN

PROPERTY ADDRESS: _____

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☐ Maintenance ☐ Rehabilitation/Restoration ☐ Completed ☐ Proposed

Building Feature: _____

Cost \$ _____ (round to nearest dollar) Contract Year of Proposed Work Completion: _____

Description of work:

☐ Maintenance ☐ Rehabilitation/Restoration ☐ Completed ☐ Proposed

Building Feature: _____

Cost \$ _____ (round to nearest dollar) Contract Year of Proposed Work Completion: _____

Description of work:

☐ Maintenance ☐ Rehabilitation/Restoration ☐ Completed ☐ Proposed

Building Feature: _____

Cost \$ _____ (round to nearest dollar) Contract Year of Proposed Work Completion: _____

Description of work:

☐ Maintenance ☐ Rehabilitation/Restoration ☐ Completed ☐ Proposed

Building Feature: _____

Cost \$ _____ (round to nearest dollar) Contract Year of Proposed Work Completion: _____

Description of work:

REHABILITATION/RESTORATION/MAINTENANCE PLAN

PROPERTY ADDRESS: _____

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☐ Maintenance ☐ Rehabilitation/Restoration ☐ Completed ☐ Proposed

Building Feature: _____

Cost \$_____ (round to nearest dollar) Contract Year of Proposed Work Completion: _____

Description of work:

☐ Maintenance ☐ Rehabilitation/Restoration ☐ Completed ☐ Proposed

Building Feature: _____

Cost \$_____ (round to nearest dollar) Contract Year of Proposed Work Completion: _____

Description of work:

☐ Maintenance ☐ Rehabilitation/Restoration ☐ Completed ☐ Proposed

Building Feature: _____

Cost \$_____ (round to nearest dollar) Contract Year of Proposed Work Completion: _____

Description of work:

☐ Maintenance ☐ Rehabilitation/Restoration ☐ Completed ☐ Proposed

Building Feature: _____

Cost \$_____ (round to nearest dollar) Contract Year of Proposed Work Completion: _____

Description of work:

REHABILITATION/RESTORATION/MAINTENANCE PLAN

PROPERTY ADDRESS: _____

Use this form to propose all preservation work necessary to rehabilitate the property. In this plan, include all of the expected maintenance, restoration and replacement of historic features on the property, NOT modernization, remodels, or construction of new elements. Although modernization may be an important part of your rehabilitation project, this form is meant to specifically capture the preservation work involved and not anything else. Copy this page as necessary to include all items that apply to your property. Begin by listing recently completed preservation work (if applicable) and continue with work proposed to complete within the next ten years arranging in order of priority.

☐ Maintenance ☐ Rehabilitation/Restoration ☐ Completed ☐ Proposed

Building Feature: _____

Cost \$ _____ (round to nearest dollar) Contract Year of Proposed Work Completion: _____

Description of work:

☐ Maintenance ☐ Rehabilitation/Restoration ☐ Completed ☐ Proposed

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Building Feature: _____

Cost \$_____ (round to nearest dollar) Contract Year of Proposed Work Completion: _____

Description of work:

MAINTENANCE AND REHABILITATION STANDARDS AND CONDITIONS**Secretary of the Interior's Standards for Rehabilitation**

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Property Maintenance

All buildings, structures, yards and other improvements shall be maintained in a superior manner. All current building and zoning codes will be enforced. The following conditions are prohibited:

- a. Dilapidated buildings or features such as fences, roofs, doors, walls and windows.
- b. Abandoned or discarded objects, equipment or materials such as automobiles, automobile parts, furniture, appliances, containers, lumber or similar items stored outside but within property lines.
- c. Stagnant water or open excavations.
- d. Any device, decoration or structure, which is unsightly by reason of its height, condition or location.
- e. Peeling exterior paint or unremoved/uncovered graffiti.
- f. Overgrown landscaping, exposed bald areas within yards or grounds and broken hardscape features which could cause injury.
- g. Other substandard conditions as cited by the Cultural Heritage Commission, the Director of Planning, or the City's Office of Historic Resources.

Conditions

This Historical Property Contract provides the potential for property tax reduction in exchange for agreement to rehabilitate and maintain an historic building. Existing conditions not in conformance with the Secretary of the Interior's Standards, may be required to be removed and the original conditions remedied as part of this contract.

2640-2656 NORTH ABERDEEN AVENUE

Aberdeen House, Historic-Cultural Monument (HCM) #1171
CHC-2019-1328-MAEX

HISTORIC STRUCTURE REPORT

ABERDEEN HOUSE -- HCM 1171

2656 ABERDEEN AVE. IN LOS FELIZ

HISTORIC STRUCTURE REPORT



Prepared by: Historic Preservation Partners

on behalf of property owners, Stuart and Dawn Gulland

(Prepared 2017, revised and submitted to Office of Historic Resources April 2019)

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STUDY SUMMARY

Purpose

The main purpose of a Historic Structure Report (HSR) is to provide a planning tool for a building's steward(s) that directs preservation efforts through a recommended treatment approach. In addition to this primary purpose, a HSR also functions as a record of a building's history and its existing condition.

Preservation Brief 43, and other technical documents that guide the preparation of historic structure reports, dictate that the report be organized into three parts.

Part 1 documents a property's developmental history. This history is typically described in the following sections:

- Historical Background and Context – a brief history of the building set in context, its creators and builders, and other persons associated with its history and development.
- Chronology of Development and Use – a description of the building's original construction phase, alterations, and uses, based on historical evidence and documentation.
- Physical Description – a description of elements, materials, and spaces of the building, including both significant and non-significant features of the building.
- Evaluation of Significance – a discussion of significant features, original and non-original materials and elements, and identification of the period(s) of significance (if appropriate).
- Condition Assessment – a description of the condition of the building materials, elements, and systems and causes of deterioration, and discussion of materials testing and analysis.

Part 2 deals with Treatment and Work Recommendations. This portion of the report defines the selected preservation treatment and makes recommendations for work that are consistent with the chosen treatment. Part 2 is typically divided into the following sections:

- Historic Preservation Objectives – a description and rationale for the chosen preservation treatment and how it meets the goals for the historic resource.
- Requirements for Work – a brief outline of applicable laws, regulations, and guidelines that should be followed when performing work (e.g. life safety, hazardous materials abatement, etc.) This section is tailored to be appropriate for the use of building. Single-family residences will not have the same requirements for work as a building that is open to the public.
- Work Recommendations and Alternatives – a detailed report of tasks that are recommended in order to comply with the proposed treatment approach. Specific recommendations are described to address the building's issues that were identified in the conditions assessment. Different alternatives will be outlined if appropriate.

Part 3 is the living and changing portion of the report where details of work performed is stored. "This section is usually added later to update the report, as most historic structure reports are issued prior to implementation of the recommended treatment approach and

specific work.”¹ Part 3 is an important element because it provides accountability and organization moving into the work phase of the project. In cases where some work has been performed prior to preparation of the HSR, any available details from those projects can be included here to be part of the official record.

Part 3 is especially important when rehabilitation work begins soon after Part 1 and Part 2 of the HSR have been written. “An important goal of the historic structure report process is to maintain the report as an active and working document, both to facilitate the use of information compiled in the report and to permit the report to readily accommodate new information as it becomes available.”²

Following purchase of the house in August 2017 the owners began planning the rehabilitation of Aberdeen House, which commenced in early 2018. The rehabilitation is extensive and is a continuing effort that has been heavily documented in architectural plans and photographs.

This HSR will be expanded and refined to eventually include a full “completion report” or otherwise referred to as a Part 3 that documents completed work through photographs and technical reports/construction documents. Part 3 is bound separately and designed to be expanded and completed as work is completed.

Summary of Findings and Recommendations

Aberdeen House presents itself as a grand residence. Upon closer inspection it is apparent that this grand residence is also in need of extensive rehabilitation. The emphasis of this report will be to address each area of concern and delineate recommendations for further action, as well as to document the recent rehabilitation as it occurs. It is anticipated that this document will be expanded and refined as additional technical reports are completed and information is gathered.

The scope of work identified through this report and various technical studies is as follows:

- ☐ Foundation: Upgrade cripple walls and non-reinforced concrete block foundation segments with stem walls and/or shear panels as necessary
- ☐ Whole Building: Hire an architecture firm with historic preservation expertise to ensure work is done in accordance with the Secretary of the Interior’s Standards
- ☐ Exterior: Remove invasive ivy, which is covering significant parts of the house and the removal of several trees that are planted extremely close to the house
- ☐ Whole House: Erect scaffolding around entire house to facilitate access, necessitated by the steep nature of the lot
- ☐ Exterior: Pressure washing and hand scrubbing exterior of the house to remove ivy stickers, accumulated dirt, and prepare for next phases of work
- ☐ Walls: Mold remediation and testing
- ☐ Site: Clean out all drains adjacent to the house, replicate original gutters and downspouts and reroute away from house
- ☐ Exterior Architectural Details: Restore all exterior architectural detail where possible and replace in-kind with redwood where needed due to extreme deterioration

¹ Deborah Slaton, *Preservation Brief 43: The Preparation and Use of Historic Structure Reports* (National Park Service, 2005).

² Ibid

- ☐ Roof: Repair and rehabilitate original slate roof, including sourcing matching slate for missing/broken tiles
- ☐ Brick: Where joints display cracked, damaged or missing grout, remove grout by hand down to a depth of 3/4" and install new joint mortar by hand using grout formulated to match the original color and texture
- ☐ Brick Patio/Front Terrace: Carefully remove and salvage bricks due to substantial settlement, re-compact ground, level with sand and then pour a new reinforced concrete slab with salvaged bricks to be re-installed
- ☐ Original Steel Casement and Leaded Glass Windows: Refurbish original steel casement windows throughout, repair and rebuild multiple leaded glass windows
- ☐ Exterior Stucco and Wood Trim: Repair all exposed wood trim, including sanding and painting prep for entire house to be repainted
- ☐ Exterior Balcony (above library) and Juliet Balcony: Remove existing tiles and substrate, re-pour subsurface to direct water to drain locations, add a secondary drain location, and apply a new waterproofing membrane across the entire surface
- ☐ Driveway: Re-pour several sections of driveway that have suffered substantial deterioration
- ☐ Attic Insulation: Remove moldy, rat infested insulation, disinfect and vermin proof attic, and replace insulation
- ☐ Systems: Replace all aged systems (plumbing, electrical, HVAC)
- ☐ Site/Landscape: Develop comprehensive landscape plan to address existing conditions and that includes a no plant border around all buildings and rerouting sprinklers away from buildings
- ☐ Hardwood Floors: Rehabilitate original hardwood floors where possible (majority of downstairs rooms) and install new 2" rift and quartered hardwood floors upstairs to match the hardwood floors downstairs
- ☐ Wood Molding, Baseboards, Paneling and Doors: Engage Paramount Pictures woodshop to custom match original window/door casing and baseboard throughout house enabling molding to be replaced in-kind where original molding was beyond repair
- ☐ Roll Down Screens: Restore original roll down screens throughout house to their original working condition

Following rehabilitation, regular maintenance of special materials is recommended as follows:

- ☐ Slate Roof: Maintain continuous waterproof layer, maintain flashing, use a very light water pressure with a mild detergent to clean off mold and algae build-up (when needed)
- ☐ Brick: Investigate condition of mortar at brick/veneer walls; re-point as necessary

While the above project summary provides a guideline for needed work, this list is not designed to be all-inclusive. Responsible stewardship of a building of this type includes regular maintenance and monitoring of existing conditions to ensure protection of historic fabric and preservation of this important residence.

Status: Following purchase of the house in August 2017 the owners began planning the rehabilitation of Aberdeen House, which commenced in early 2018 and is still underway. A large portion of the above list has been completed and will be eventually fully documented through photographic documentation and construction documents as Part 3 of this report.

Key Issues and Use

Aberdeen House has maintained consistent use as a single-family residence. However, historical records show that the home had multiple occupants even straight after it was built by widow, Mrs. Morrison (Historical Record detail included as Appendix C). Some records refer to the home as a duplex at points during its history. The key issues investigated for the purposes of this study involved identifying areas of the property that require rehabilitation and/or restoration work. This report serves to inform and to document the rehabilitation of Aberdeen House.

PROJECT DATA

This Historic Structure Report has been prepared for the property located at 2656 Aberdeen Avenue in the Los Feliz neighborhood of Los Angeles. The historic name for the residence is “Aberdeen House”, assigned through the Historic Cultural Monument designation process. The first owner of the property was Mrs. Sybil J. Morrison from England. The site accommodates a large residence with detached Garage/Chauffeur’s Quarters and a pool.

Administrative Data

Location Data

Historic Name: Aberdeen House

Other Name(s):

Building Address: 2656 Aberdeen Ave.
Los Angeles, Ca 90027

Other Building Addresses: 2640, 2646, and 2648 Aberdeen Ave.

Legal Description of the Property: Assessor’s I.D. No. – 5588-030-017; 5588-030-016

Tract –	TR 4276
Map Reference –	M B 47-23
Block –	None
Lot –	4
Arb –	2
Map Sheet –	153B197

Ownership

Dawn and Stuart Gulland, Trustees of the Stuart and Dawn Gulland Living Trust currently own the property located at 2656 Aberdeen Avenue.

Cultural Resource Data

Aberdeen House is Los Angeles Historic Cultural Monument No. 1171.

Project Team

The preparation of a Historic Structure Report requires experts from many different disciplines. Specialists such as historians, architects, conservators, engineers, and contractors all come together to provide knowledge and technical direction that informs the report and its findings. It is the role of principal author to coordinate and integrate the information generated by

various disciplines.³ Aberdeen House's rehabilitation has absolutely been strengthened and enhanced by the qualifications and dedication of its team, and the commitment of the owner to choose professionals well versed in the craft/art of rehabilitating historic properties.

Principal Author:	Vanessa Withers Historic Preservation Partners <i>Historic Preservation Consultant</i> Monrovia, Ca
Historic Research:	Tim Gregory <i>Building Biographer</i> Pasadena, Ca ~and~ Stuart Gulland <i>Homeowner</i> Los Angeles, Ca
Rehabilitation Contractor:	Dustin Coad <i>Kaptive Construction and Preservation & CGI</i> Beverly Hills, Ca
Architects:	Jen Dunbar, AIA and Liz MacLean <i>ARG – Architectural Resources Group, Inc.</i> Pasadena, Ca
Structural Engineer:	Bruce Resnick <i>Parker Resnick</i> Los Angeles, Ca

Methodology

This Historic Structure Report (HSR) follows the conventions outlined by Preservation Brief 43 – The Preparation and Use of Historic Structure Reports published by the National Park Service. The scope of the study, as well as content and organization of the report was informed by the brief as well as the specific needs of the property.

After initial meetings with the property owner, a meeting was scheduled with Lambert Giessinger and Melissa Jones (Office of Historic Preservation) to evaluate the proposed potential project, rehabilitation intentions and plans for the future work. The goal of this meeting was to evaluate the project's adherence to the Secretary of the Interior's Standards – and ensure that proposed work would also be in line with Mills Act guidelines. Subsequently the property was visited to do a more in-depth existing conditions walk-through of the property to gather an understanding of the building and its overall historic features, its condition, and areas of deterioration.

The initial walk through also provided a brief introduction to the building's potential problem areas. These areas were noted and received specific attention in the survey of existing conditions that was conducted of the property. An important consideration when embarking on the preparation of a HSR is to determine a building's potential key issues. These issues help form the main research questions, which should be answered during the course of the project. An outline of the site visit and walk through/research questions is as follows:

³ Ibid

- Identifying historic character-defining material of primary significance and how to preserve those elements while also improving floor plan flow challenges? Do the conceptual ideas forming for the project meet the Secretary of the Interior's Standards for Rehabilitation? Are planned new elements compatible, yet distinct?
- What is the extent of the intervention needed with regard to masonry, foundation, roof, and major elements?
- Observed opportunities for conservation-level preservation of existing features
- Has the foundation been evaluated for opportunities to strengthen against future seismic activity?

The existing condition survey that was performed documented physical elements and spaces to assess their potential historic significance and their condition. Areas requiring further study and potential testing were identified. The primary focus of this report is the Main House, however, there is a Garage/Chauffer's Quarters.

Although all interior spaces were studied, less focus was given to spaces that are considered secondary spaces (such as upstairs bedrooms and bathrooms).

Plans/drawings for the residence were digitally scanned and copies are included as an appendix to this report. Digital format photographs were also taken of all spaces and areas of deterioration to assist in documenting the house, its historic features, and elements requiring intervention. Digital format photography was chosen for its ability to be maintained and shared in digital format, thus enhancing its availability to various end-users of the report.

Historical data and physical evidence were utilized to help uncover the building's construction and ownership history. Historical research specifically focused on the building's development history and research questions that arose during the course of initial investigations. A detailed construction history of the building was written, utilizing the available documentation. The nature of the building, its architect, and the significance of previous occupants were considered when conducting an assessment of the home's significance. (See Appendix C for Historic Report and additional research findings)

Once the property's level of significance was determined an appropriate treatment approach was chosen. The Secretary of the Interior's Standards for the Treatment of Historic Properties describes four different treatment approaches. A single overall approach was chosen in order to avoid "inappropriate combinations of work, such as restoring a building's appearance to an earlier time in history while simultaneously constructing a new addition."⁴

A site visit with Commission members was conducted as part of the Historical Cultural Monument Application process. Commission members were able to see rehabilitation projects in progress or recently completed.

Work recommendations were developed based on the information gleaned from the historical data, existing conditions survey, and the selected treatment approach. Some areas of the building required further study before a substantially detailed plan for repair could be determined. The report preparation and organization were strongly guided by Preservation Brief 43 in an effort to maintain consistency and ease of use for multiple end-users.

⁴ Ibid, 12.

For the purposes of this document, the following terms will be defined as follows:

Historic Features – Features dating from the determined period of significance.

Character-Defining Features – Features that help define the style and property's significance, contributing to the overall character of the building.

Significant Features - Features dating from the determined period of significance that allow the building to convey its historic significance, based on the building's appearance during that time period.

Original Features – Features dating from the initial construction phase of the building. In certain cases, early features constructed after the initial phase may be included in this definition.

Primary/Premiere Features – Essential character-defining features where any and all changes must be carefully evaluated to ensure that historic fabric is retained. These spaces and features are considered to be of primary importance.

Secondary Features - Secondary spaces and features are those that although they may contain historic fabric, are less crucial in maintaining overall historic integrity of a residence. In a rehabilitation approach it is assumed that these spaces may receive more changes and alterations to accommodate modern function. These spaces are typically kitchens, bathrooms, upstairs bedrooms, and spaces that have already been altered previously.

PART 1

DEVELOPMENTAL HISTORY

HISTORICAL BACKGROUND AND CONTEXT

Aberdeen House was commissioned by Mrs. Sybil J. Morrison and designed by Milton R. Sutton, who was technically an “architectural designer” rather than a certified architect. Mrs. Morrison acted as general contractor for the project, according to the original building permit.

Detailed information about the history of Aberdeen House was gathered and compiled by Building Biographer Tim Gregory, Owner Stuart Gulland, and Vanessa Withers. Research and historical reports are utilized as the historical background and context for the purposes of this report.

Architect – Milton R. Sutton (1892 – 1962)

Architect Milton R. Sutton started his architectural career as a carpenter with city directories in the early twenties listing him as such (records 1921-1924). Then in 1924 he is listed as an architect. He worked fairly consistently from 1925 into the early 1930s. It does not appear that he gained significant prominence in the architectural world, but did leave behind a body of work that reflects the Romanticism of architecture born in the 1920s and 30s. Aberdeen House appears to be one of his grandest and most architecturally significant works.

Interestingly, the developer who used Sutton plans to build a house in Omaha marketed the house as a “Beverly Hills Colonial”. The builder had acquired the plans while on a trip to California (Omaha Restoration Exchange FB page). Research shows that Sutton’s work was fairly prolific between 1925 and 1931 in the City of Beverly Hills. The City of Beverly Hills has compiled a list of the architects who built various properties during that era; Sutton is credited with designing 20 of those buildings. They are mostly Spanish Colonial Revival in Style, with some Italian Renaissance Revival influence. One is an interesting Normandy Revival from 1925 (220 Camden). Another is a Brick Colonial Apartment Building from 1931 (133 Peck Dr.)

Beverly Hills Sutton buildings include:

- 1716 Angelo Dr. (1926) – Spanish Colonial Revival
- 340 Bedford Dr. S (1929) – Spanish Colonial Revival
- 220 Camden Dr. S (1925) – Normandy Revival
- 422 Canon Dr. S (1930) – Spanish Colonial Revival
- 232 Doheny Dr. N (no date) – Spanish Colonial Revival
- 801 Foothill Rd. (1928) – Spanish Colonial Revival/Italian Renaissance Revival
- 126 Hamilton Dr. N (1928) – Spanish Colonial Revival
- 240 Lasky Dr. (1928) – Spanish Colonial Revival
- 203 Le Doux Dr. (1927) – Spanish Colonial Revival
- 703 Linden Dr. N (no date) – Spanish Colonial Revival
- 133 Peck Dr. (1931) – Brick Colonial Apartments
- 301 Peck Dr. (1927) – Spanish Colonial Revival (? – obscured from street view)
- 309 Reeves Dr. S (1928) – Spanish Colonial Revival
- 317 Rodeo Dr. S (1927) – Spanish Colonial Revival
- 329 Rodeo Dr. S (1927) – Spanish Colonial Revival/Monterey Revival
- 340 Rodeo Dr. S (1929) – Spanish Colonial Revival
- 140 Roxbury Dr. S (1928) – Italian Renaissance/Beaux Arts Classical Revival
- 204 Spalding Dr. (1930) – Spanish Colonial Revival/Hacienda or Early California Revival
- 174 Swall Dr. N (1930) – Spanish Colonial Revival

Other known Sutton buildings include:

12541 Chandler Blvd. – Los Angeles (1926) – French Normal Revival/Storybook
259 20th St. – Santa Monica (1927) – Spanish Colonial Revival
615 Fairacres Rd. - Omaha - “Beverly Hills Colonial” (plans only) (1938)
2065-2071 N Vermont. – Apartment House

Owners

First Owner: Mrs. Sybil J. Morrison (1867-1961)

“Mrs. Morrison was born Sybil James Hartwell on November 8, 1867 in England. She immigrated to the United States in 1900, having married her husband Arthur J. Morrison around 1897. The Arkansas-born Mr. Morrison (ca. 1860-1923) evidently was independently wealthy.”⁵ In 1925 Mrs. Morrison was a widow and purchased the vacant land that would later become Aberdeen House. “Mrs. Morrison, who was living in San Francisco at the time, commissioned architect Milton R. Sutton to design a two-story, fourteen-room home for her in the then-popular Tudor Revival style. Mrs. Morrison served as her own general contractor for this \$27,500 project—a large amount of money even in pre-Depression 1925 when the average house could be built for less than \$5,000.”⁶ Sybil J. Morrison shared her new home with Oscar L. Erickson, a clothing merchant, his wife and child, a lodger, and a chauffeur. Mrs. Morrison lived at Aberdeen House from 1926⁷ through 1937.

Mrs. Morrison died in Los Angeles County February 10, 1961 at the age of 93.

Other significant owners

Aberdeen House has been owned by many prominent figures since Mrs. Morrison moved out in 1937. A detailed occupancy timeline has been created and is included as a supplement to this report. The current owners, Stuart and Dawn Gulland, acquired the property in 2017.

CHRONOLOGY OF USE AND DEVELOPMENT

When the current owners purchased the property it had undergone many alterations, primarily impacting secondary upstairs spaces and likely associated with the property’s use as a “duplex” during its history. After thoughtful consideration a Rehabilitation approach was chosen for the property, with a goal of also unifying spaces that were previously divided. Therefore, alterations to secondary spaces were made to remove the previous separations. Primary rooms of significance (such as the Library, Dining Room and Living Room were restored and historic fabric was retained). The only major alteration to the home’s footprint that is documented was the addition of a larger kitchen/ dining area off the back of the house in 1996.

Aberdeen House is two-stories in height with an irregular plan and multi-planed cross-gabled roof. Constructed as “Frame + Brick Veneer. Stucco over Metal lath”(permit), the exterior is clad in materials and detailing characteristic of the Tudor Revival architectural period and style. The front façade faces Aberdeen Avenue and presents with a prominent central door entry

⁵ Tim Gregory, *2656 Aberdeen Ave. – A History*, 2017.

⁶ Ibid

⁷ 1926 is assumed as an occupancy date since the permit for construction of the main house was pulled in December of 1925 and construction likely continued into 1926.

(marked by a change in roof line, wood door with Tudor arch, and accentuated by a partially-covered front porch) and asymmetrical fenestration. Heavily articulated wings extend back into the hillside from either side of the central entry, highlighting the site's topography. The first story is differentiated from the upper story through the use of brick veneer, while the upper story is walled with stucco detailed with faux half-timbering. Both stories feature grouped leaded casement windows and window bay projections with wood bracket detailing. Balconies with castle-like parapet walls of stucco are found on the east and northeast portions of the building. A porte-cochere extends off of the end of the east wing. Exterior character-defining features of the residence include (but are not limited to) its irregular plan, brick and stucco exterior, slate roof, casement windows, and Tudor detailing found throughout.

Architect Milton R. Sutton constructed the subject building in 1926. After the main house was built, a garage and Chauffeur's quarters followed (permit #42007). The building permit stated that the construction was "concrete + metal lath + stucco". Numerous alterations have occurred over the years following the building's initial construction, but the resource's historic integrity is intact.

1925-1926	Construction of Main House and Chauffeur's Quarters
1937	Removal of non-bearing partitions and moving stairwell to new location. Number of rooms reduced from 14 to 12. Architect listed as H B Aarens.
1964	New driveway created, which allowed for the creation of the lot to build 2660 Aberdeen Ave.
1971	(permit for 2648 Aberdeen) – convert existing room to bath, refers to the property as a duplex
1994	Earthquake repair
1996	Addition to kitchen and family room, new stair to basement, removal of interior walls
2004	Downstairs powder room added by converting former breezeway into a bathroom (no permit on file)
2017	The present owners embarked on a large-scale rehabilitation that was a mix of restoration and rehabilitation

PHYSICAL DESCRIPTION

Architectural Description and Context

2656 Aberdeen Avenue was built in 1926 as a single-family residence situated on the hill-side of Aberdeen Avenue in Los Feliz -- council district 4 (Hollywood neighborhood area). Architect Milton R. Sutton was commissioned by Mrs. Sybil J. Morrison to design the building in the Tudor Revival style.

The practice of architecture entered an interesting and inventive period during the first part of the twentieth-century. Some architects, Sutton included, used their skills in an attempt to "abstract and clarify vernacular architecture to accommodate modern functional needs, using the forms, textures, and details of medieval domestic models. This alternative worked especially well for residential architecture."⁸

2656 Aberdeen Avenue

Directions: Drive to Los Feliz and Vermont, Turn North on Vermont, Right Hand Side to Aberdeen.



Lot Approximately 2 acres.

Real estate will be offered Monday 1:00 P.M.

SYNOPSIS OF REAL ESTATE

This beautiful residence is one of the finest homes in the Los Feliz district and commands a magnificent view of the entire city. Its sale at Auction affords a marvelous opportunity to those desiring a quiet location, yet in easy access to Hollywood and the down town district. The home contains Entrance Hall, living room with open fireplace, walnut paneled library, dining room, cocktail room, breakfast room, kitchen and maid's quarters downstairs. The second floor contains sitting room, and four bedrooms. Roman and tile bath rooms with stall showers, maid's quarters. Unit heat and all modern conveniences. The grounds are beautifully landscaped. Three car garage with chauffeur's quarters above.

Figure 1 Photograph taken in 1937 when Aberdeen House was up for auction, appearing in the LA Times

⁸ Leland M. Roth *Understanding Architecture: Its Elements, History, and Meaning* (Boulder, CO: Westview Press, 1993) 460.

Aberdeen House is two-stories in height with an irregular plan and multi-planed cross-gabled roof. Constructed as “Frame + Brick Veneer. Stucco over Metal lath”(permit), the exterior is clad in materials and detailing characteristic of the Tudor Revival architectural period and style. The front façade faces Aberdeen Avenue and presents with a prominent central door entry (marked by a change in roof line, wood door with Tudor arch, and accentuated by a partially-covered front porch) and asymmetrical fenestration. Heavily articulated wings extend back into the hillside from either side of the central entry, highlighting the site’s topography. The first story is differentiated from the upper story through the use of brick veneer, while the upper story is walled with stucco detailed with faux half-timbering. Both stories feature grouped leaded casement windows and window bay projections with wood bracket detailing. Balconies with castle-like parapet walls of stucco are found on the east and northeast portions of the building. A porte-cochere extends off of the end of the east wing. Exterior character-defining features of the residence include (but are not limited to) its irregular plan, brick and stucco exterior, slate roof, casement windows, and Tudor detailing found throughout.

The subject building was constructed in 1926 by architect Milton R. Sutton. After the main house was built, a garage and Chauffeur’s quarters followed (permit #42007). The building permit stated that the construction was “concrete + metal lath + stucco”. Numerous alterations have occurred over the years following the building’s initial construction, but the resource’s historic integrity is intact.

A detailed description of specific elevations and features of Aberdeen House is included in the following conditions assessment.

CONDITIONS ASSESSMENT – WITH DETAILED PHYSICAL DESCRIPTIONS

Summary of Historic Character

Aberdeen House retains strong feeling and association as a Tudor Revival style residence. The present owners acquired the building with many character-defining features intact, but in poor condition. The Historic Structure Report and a team of Preservation Practitioners and professionals informed the large-scale rehabilitation that began in early 2018 after acquisition of the residence. After a long process of rehabilitation that is still underway Aberdeen House boasts many historic character-defining features and retains historic integrity.

Associated Site Features/Conditions

Aberdeen House is situated on the hill-side of Aberdeen Avenue in Los Feliz, surrounded by landmark buildings and civic institutions. The building is sited prominently with views across the front lawn to the southwest and views from the upper pool terrace into the canyon that surrounds the property on the north side.

Site Features include:

Garage/Chauffeur’s Quarters: A garage/ chauffeur’s quarters is located on east side of the property, accessed through a porte-cochere. The building is not attached to the main house. The building permit stated that the construction was “concrete + metal lath + stucco”(Permit No. 42007). The building is rectangular in plan, roughly one-and-a-half stories with a side-facing steeply pitched gable slate roof with a large front-facing gable dormer centered on the front elevation. Three

wood garage doors with wood panel and multi-light glazing design at their top characterize the lower floor. A single wood paneled door accesses the chauffeur's quarters on the attic level. Numerous alterations have occurred over the years following the building's initial construction, but the resource's historic integrity is intact. This building is determined to have secondary significance to the main house. The primary original feature important to this ancillary building is the original slate roof.

Specific concerns related to this building include roof condition, structural deficiencies, deferred maintenance of finish materials, and moisture intrusion and mold that was found during the inspection process. An associated retaining wall on the east side is leaning approximately one inch towards the east, among other structural concerns. T.A. Purkiss Structural Engineers prepared a reporting June of 2017 that documents these conditions on pages 19-23.⁹



Figure 2 Garage (view NE) 2017 Photo Credit: V.Withers

⁹ T.A. Purkiss Structural Engineers, Visual Inspection and Professional Opinions Regarding the Visible Structural Components of the Residence located at: 2656 Aberdeen Ave. Los Angeles, Ca 90027, June 25, 2017.



The single car garage has heavy mold amplification on the east wall or that wall in common with the West wall of the double garage. We also noted anomalies in the ceiling which included stains and existing openings. **Surface samples of the mold growing on this east wall were positive for Stachybotrys (commonly called black toxic mold), Ulocladium, and Penicillium Aspergillus. These Stachybotrys again, indicating very wet conditions and the Penicillium Aspergillus indicating slightly moist conditions. Professional remediation shall include this portion of the common wall. The source of the moisture must be determined and confirmed abated prior to any renovation. Consultation with the forensic water intrusion expert is also recommended.**

Figure 3 Mold found in garage according to EHC report, 2017

Pool: The rear yard pool is elevated above the main house to the northwest on a plateau accessed by a steep staircase. The pool and associated features are not original and do not have primary historic significance. The pool appears to be in fair condition and does not receive intense focus for the purposes of this study.



Figure 4 Pool and adjacent pool deck area, 2017. Photo credit: V.Withers

Landscape: Ivy covers the exterior of the residence and the overall landscape appears in overgrown condition. There is no evidence of a known historic landscape architect associated with the property. Large pine trees are planted very close to the front elevation of the main house. The massive amount of foliage up against the house causes a host of issues.



Figure 5 Ivy covering rear exterior of residence, 2017. Photo credit: Stuart Gulland.

Driveway: The existing driveway was constructed in 1964 and winds up the hill in front of the main house. The driveway is in fair condition with portions of the driveway cracked and slabs uplifted. The driveway and its placement are not original.

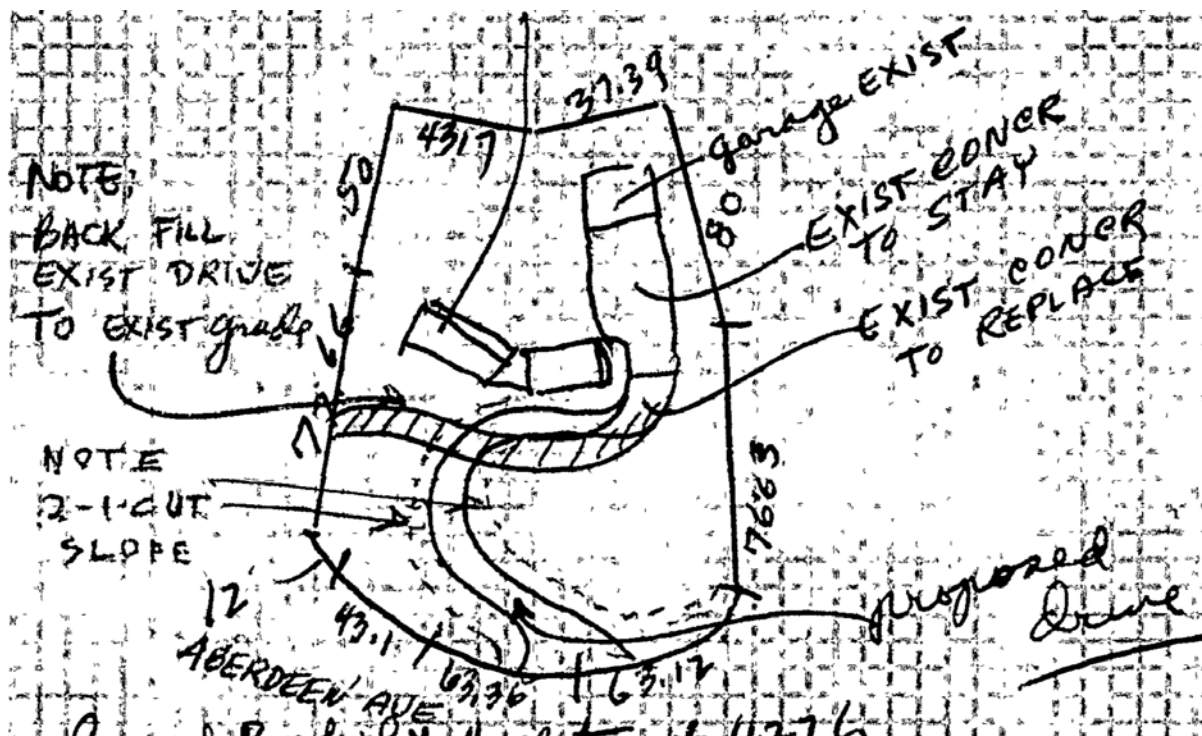


Figure 6 Excerpt from 1964 permit showing re-routing of driveway

Exterior – Materials and Finishes

Main House (Exterior)

Structural System: The foundation of the residence and garage were evaluated by T.A. Purkiss, Structural Engineers, in June of 2017. "The foundation system generally consists of 2 x 8 floor joists that bear on concrete perimeter foundations. Support for the interior portions of the floor framing is provided by a series of 4 x 6 girders that bear on isolated concrete pier footings, along with several interior continuous footings."¹⁰

The structural engineer's analysis identified numerous structural deficiencies, which are detailed in their report. The issues observed include, but are not limited to, areas of foundation set below grade, moisture intrusion and water damage, improperly installed anchor bolting, and substandard foundation piers. The structural system is rated to be in fair to poor condition.

Roof System: Characteristic of the Tudor Revival style, multiple roof planes are present. The original roof material is slate tile and still exists on the building. Slate is a dense natural rock/stone material that is non-absorbent.¹¹ The slate roof is original to the building and is both primary in significance and character-defining. "Slate" is specified in the original building permit No. 42006 dated December of 1925. The specific slate used was identified by a slate specialist as North Country Slate, unfading black.

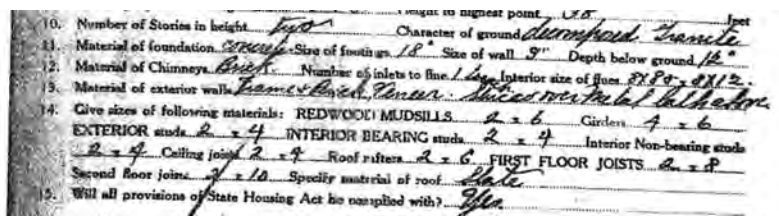


Figure 7 Excerpt from original building permit No. 42006 dated Dec 1925 showing slate as roof material



Figure 8 Slate roof detail showing missing slates, 2017. Photo credit: V.Withers

¹⁰ Ibid, p. 14

¹¹ Vincent H. Hobson and Melvin Mann, *Historic and Obsolete Roofing Tile: Preserving the history of roofing tiles* (Evergreen, Co: Remail Publishing Company, 2001) 19,123.



Figure 9 Slate roof condition (detail), 2017. Photo credit: Stuart Gulland

Gutters and Downspouts are an important part of the roof system and are designed to carry water away from the building. Aberdeen House has gutters with scuppers and downspouts that are in poor condition.



Figure 10 Portion of gutter, showing deterioration, 2017. Photo credit: Stuart Gulland

Historic Wood Elements

Aberdeen House is a Tudor Revival style residence with iconic half-timbering at the upper story. This wood detailing is in poor condition and it is estimated that many boards will need to be replaced due to the level of deterioration observed.



Figure 11 Exposed architectural wood elements suffering from deterioration, 2017. Photo credit: Stuart Gulland

Historic Masonry Elements

The masonry of Aberdeen House requires rehabilitation. The current condition of many of the home's brick elements is fair to poor. It is important that repairs to the historic brickwork follow the Secretary of the Interior's Standards. Specifically, there are certain concerns with respect to historic brick.

There are numerous issues observed with the brick of Aberdeen House. Brick is crumbling, mortar is failing, substrate subsidence had occurred, and inappropriate repair mortars have been introduced.

According to Martin E. Weaver's book, *Conserving Buildings*, the deterioration of historic brick is usually caused by one or more of the following:

- "The original bricks were underfired and tend to crumble when exposed to moisture.
- The brickwork has been saturated with water for prolonged periods, usually from leaking rainwater pipes or faulty gutters.
- Prolonged water saturation removes the mortar and brickwork loses its cohesion.
- Water-saturated bricks suffer from freeze/thaw cycles and eventual shattering.
- Water-saturated brickwork develops ice lenses between the wythes or skins of the brickwork, usually buckling or forcing off the outer wythe.
- Water-soluble salts form in or just below the brick surface as subflorescence or cryptoflorescence. Repeated cycles of hydration and dehydration of the salt crystals in the surface pores then lead to the crumbling or exfoliation of the brick surface. These phenomena may be associated particularly with prolonged saturation from leaking rainwater pipes.....
- Acid precipitation and air pollution may accelerate the deterioration of brick...
- Ties securing brick veneers break or corrode away, leaving the veneer unstable or even collapsing.

There is a second group of forms of deterioration, which are associated with poor or misguided attempts at maintenance and restoration.

- When old painting fails...
- When the brickwork has been sandblasted..." (Weaver, 1938)



Aberdeen House has been covered in vines for many years, holding water against the masonry, and likely one of the largest contributing factors to brick and mortar deterioration.

Figure 12 Brick condition, 2017. Photo credit: V.Withers



Figure 13 Front Terrace with subsidence of substrate, 2017. Photo credit: Stuart Gulland



Figure 14 Representative brick wall, showing repair mortars, 2017. Photo credit: V. Withers

Windows

Aberdeen House has many steel casement windows and decorative leaded glass windows. They range in condition from fair to poor. Original windows are character-defining to this building.



Figure 15 Leaded glass casement window showing damage, 2017. Photo credit: V.Withers

South (Front) Elevation: Aberdeen House is two-stories in height with an irregular plan and multi-planed cross-gabled roof. Constructed as "Frame + Brick Veneer. Stucco over Metal

lath”(permit), the exterior is clad in materials and detailing characteristic of the Tudor Revival architectural period and style. The front façade faces Aberdeen Avenue and presents with a prominent central door entry (marked by a change in roof line, wood door with Tudor arch, and accentuated by a partially-covered front porch) and asymmetrical fenestration. Heavily articulated wings extend back into the hillside from either side of the central entry, highlighting the site’s topography. The first story is differentiated from the upper story through the use of brick veneer, while the upper story is walled with stucco detailed with faux half-timbering. Both stories feature grouped leaded casement windows and window bay projections with wood bracket detailing. Balconies with castle-like parapet walls of stucco are found on the east and north-east portions of the building. A porte-cochere extends off of the end of the east wing. Exterior character-defining features of the residence include (but are not limited to) its irregular plan, brick and stucco exterior, slate roof, casement windows, and Tudor detailing found throughout.

The front elevation is in poor condition when subject elements are considered individually – the brick is deteriorated, the stucco is covered in ivy and in fair condition underneath, the windows are in need of rehabilitation, and the roof is in fair to poor condition. Each of these elements is discussed in their own section of the report.



Figure 16 South (Front) Elevation



Figure 17 Western wing of the front elevation, showing architectural elements, 2017



Figure 18 South (Front) Elevation, 2017 Photo credit: Stuart Gulland

North (Rear) Elevation:

The rear elevation is where the 1996 Kitchen addition is visible. Otherwise this elevation remains largely unchanged from initial construction period. The rear elevation is articulated with many alternating planes and features, creating almost a Norman design.



Figure 19 Beginnings of removal of ivy off rear elevation, 2017. Photo credit: Stuart Gulland



Figure 20 Rear elevation soon after ivy was removed, 2017. Photo credit: V.Withers

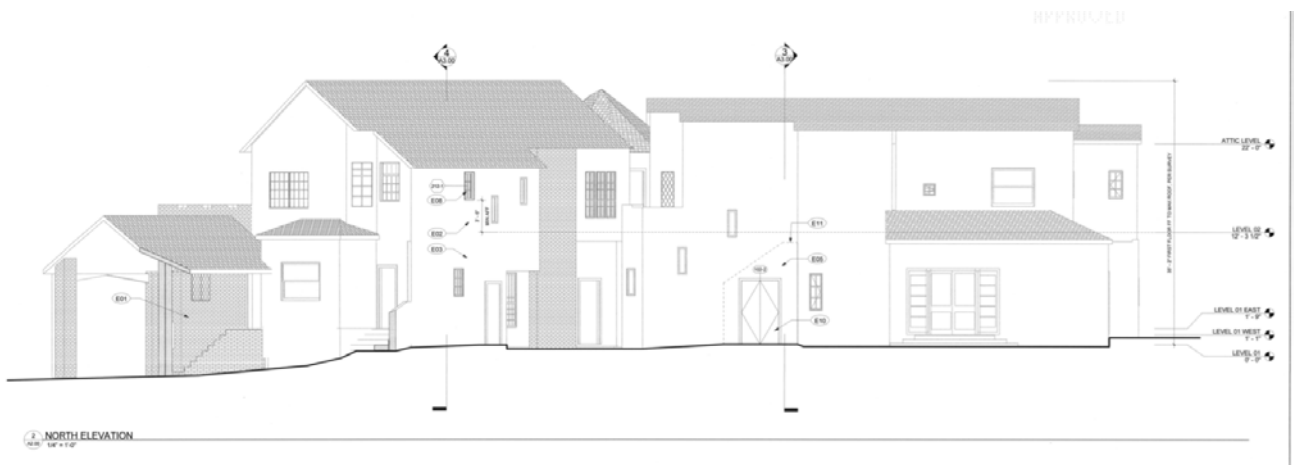


Figure 21 North (Rear) Elevation

West Elevation: The west side of the residence sits close to the property boundary and does not have as much detail or articulation as the other elevations. This elevation appears to be in fair condition, facing the same issues with brick and stucco and wood elements that follow on other elevations.



Figure 22 West Elevation



Figure 23 The west elevation has a gable end with decorative half-timbering and also an attached BBQ area. The electrical panel is also located on this elevation. 2017. Photo credit: V. Withers

East Elevation: The East Elevation accommodates the porte-cochere and has elements consistent with the rest of the main house.

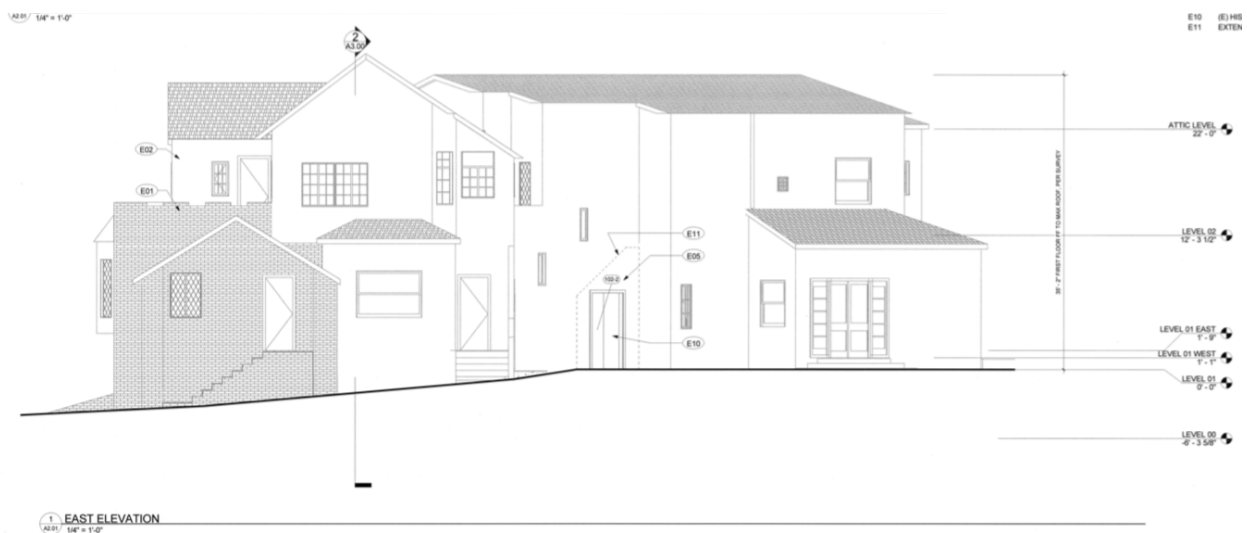


Figure 24 East Elevation from architectural plans



Figure 25 Porte-Cochere, 2017 Photo credit: V.Withers

Interior – Materials and Finishes

Main House (Interior)

Aberdeen House's interior retains historic character. Primary Spaces will be discussed in this report, but secondary spaces will be given less attention. Primary character-defining spaces include the Entry, Family Room, Living Room, and Library / Billiard Room.

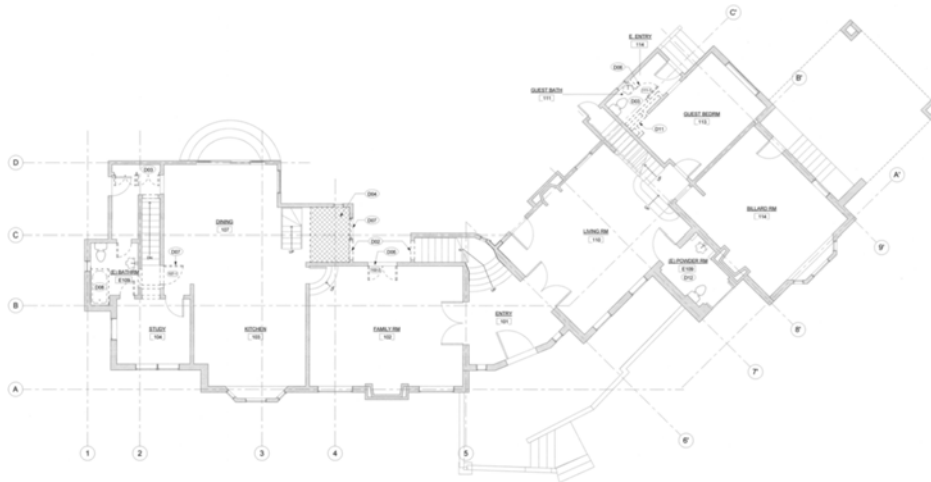


Figure 26 First Floor Plan showing spaces

Living Room

The Living Room is in the east wing of the house and retains original character-defining materials, such as oak hardwood floors, steel casement windows, and wood moldings. The room is in fair condition.



Figure 27 Living Room (view East), 2017. Photo credit: V.Withers

Family Room/possibly original Dining Room

The Family / Formal Dining Room retains original character-defining features similar to those of the Living Room and is in fair condition.



Figure 28 Family Room (possibly originally Formal Dining Room), view towards Entry

Kitchen/Casual Dining

The Kitchen and attached Dining Room was expanded and remodeled in 1996. There is very little historic material in these areas. They are in functional condition.



Figure 29 Kitchen (view SW), 2017. Photo credit: V.Withers



Figure 30 Dining Area off Kitchen (view NE), 2017. Photo credit: V.Withers

Second Floor

The second floor of Aberdeen House contains bedrooms and bathrooms. The rooms are in fair to poor condition. A hallway and bedroom spaces were reconfigured in areas. A full set of plans showing the changes is included as an appendix. The flooring of the upstairs is in poor condition.



Figure 31 Sample of upstairs flooring, showing condition, 2017. Photo credit: V.Withers



Figure 32 Upstairs Bath previously remodeled, 2017. Photo credit: V. Withers



Figure 33 Representative second floor bedroom in fair condition, 2017. Photo credit: V.Withers

Interior – Systems (Plumbing and Electrical)

The plumbing, electrical, and HVAC systems need to be updated. The overall condition of the systems is as follows:

- *Electrical:* Poor condition
- *Plumbing:* Poor condition



Figure 34 Old plumbing once removed from residence, showing poor condition, 2017. Photo credit: Stuart Gulland

- *HVAC:* Poor condition

EVALUATION OF SIGNIFICANCE

Aberdeen House is significant as one of Milton R. Sutton's grandest and most architecturally significant works. The building was recognized as a Los Angeles Historic Cultural Monument. Constructed in 1926 in the Tudor Revival style, Aberdeen House is an excellent example of a period-revival residence, as designed and articulated by a Los Angeles architect. Aberdeen House appears to be Appendix C contains the Historical Report, which includes biographical information about the architect and detailed information about the building's history.

Period of Significance: The period of significance of the home has been determined to be 1925 – 1937 to encompass the period of initial construction and the occupancy of original owner Mrs. Sybil J. Morrison.

The primary character-defining features of the residence are the elements of the exterior construction (including brick at the lower story and stucco with half-timbering at the upper story), prominent siting on Aberdeen Avenue's hill-side, multi-plane steep slate roof, heavily articulated façade with oriels and projections, Tudor-arched central entry door, steel casement and leaded glass windows, and other Tudor revival elements. The interior primary spaces are the downstairs main living rooms and library with wood moldings, fireplaces, and Tudor arched openings.

Discussion of Integrity and Remaining Character-Defining Features: Aberdeen House retains historic integrity. There have been alterations after the initial construction period, but much historic character-defining fabric remains intact. Some alterations taken place after the period of significance may have now gained significance in their own right due to their age.

PART 2 TREATMENT AND WORK RECOMMENDATIONS

HISTORIC PRESERVATION OBJECTIVES

The historic preservation **objective** in the case of Aberdeen House is to guide and document the large-scale rehabilitation to ensure retention of historic character-defining features, and to set a standard for a lasting and building-centric result. There are four approaches that can be chosen with respect to treatment of historic buildings; sometimes a combination of these different treatment approaches is required. The four approaches are: Preservation, Rehabilitation, Restoration, and Reconstruction. The choice of Preservation as a treatment approach requires the highest level of retention of historic fabric. Choosing Rehabilitation as a treatment specifies the retention of and protection of historic character-defining features, as in the standards for Preservation, but Rehabilitation allows some flexibility in order to improve the building's function for contemporary usage. Restoration allows for the depiction of the building in a specific time period; this sometimes requires the removal of later additions. Reconstruction involves the recreation of historic elements of a building that are no longer in existence.

The overall treatment approach of **Rehabilitation** was chosen as the most appropriate alternative given the home's use as a single-family residence. Historic character-defining features will be retained, while the family will reserve the ability to make alterations to improve the building's everyday livability. The Secretary of the Interior's Standards for Rehabilitation are also the guiding force behind the requirements for adherence to a Mills Act contract with the City of Los Angeles. These standards, along with specific maintenance requirements, can be found as an appendix to this report.

REQUIREMENTS FOR WORK

Any work performed to the property (interior, exterior and grounds) must conform to the Secretary of the Interior's Standards for Rehabilitation and the California Historical Building Code.

If the property is granted a Mills Act Contract -- The Mills Act Historical Property Contract Program is under the authority of the Office of Historic Resources and Cultural Heritage Commission. As such, Cultural Heritage Commission staff and the Historical Property Contracts Manager review and approve alterations to the property. In addition to following the Secretary of the Interior's Standards for Rehabilitation, work performed on Aberdeen House should also follow all local laws and regulations, especially with regard to building codes and safety. The owners can take precautions to insure adherence to these laws and guidelines by hiring licensed contractors who are well-versed in working with historic buildings in Los Angeles.

Secretary of the Interior's Standards for Rehabilitation

Detailed recommendations for adherence to the Secretary of the Interior's Standards for specific work projects is discussed in the following section of the report – work recommendations and alternatives.

WORK RECOMMENDATIONS AND ALTERNATIVES

The work recommendations and alternatives developed for Aberdeen House serve to support the historic preservation objectives and treatment approach that have been chosen for the building. The Secretary of the Interior's Standards and Guidelines for Rehabilitation and the Los Angeles Office of Historic Resources should be consulted before any intervention is undertaken involving Aberdeen House.

The following is a detailed list of recommendations for treatment, organized by space and/or called out as a whole building element when appropriate. This should assist in focusing rehabilitation efforts in the areas that are most in need. Aberdeen House is in the midst of an extensive rehabilitation, including complete replacement of infrastructure systems (plumbing, electric, HVAC), and careful restoration of existing character-defining features. Spaces that had been altered were re-designed to be compatible, yet distinct from primary character-defining spaces.

The recent large-scale and on-going rehabilitation has addressed many of the building's issues, however, continued care and maintenance of historic fabric is of utmost importance. Even given the new spaces that are being constructed, there are many spaces that contain historic fabric that should be preserved.

PROJECT SUMMARY

The scope of work identified through this report and various technical studies is as follows:

- ☐ Foundation: Upgrade cripple walls and non-reinforced concrete block foundation segments with stem walls and/or shear panels as necessary
- ☐ Whole Building: Hire an architecture firm with historic preservation expertise to ensure work is done in accordance with the Secretary of the Interior's Standards
- ☐ Exterior: Remove invasive ivy, which is covering significant parts of the house and the removal of several trees that are planted extremely close to the house
- ☐ Whole House: Erect scaffolding around entire house to facilitate access, necessitated by the steep nature of the lot
- ☐ Exterior: Pressure washing and hand scrubbing exterior of the house to remove ivy stickers, accumulated dirt, and prepare for next phases of work
- ☐ Walls: Mold remediation and testing
- ☐ Site: Clean out all drains adjacent to the house, replicate original gutters and downspouts and reroute away from house
- ☐ Exterior Architectural Details: Restore all exterior architectural detail where possible and replace in-kind with redwood where needed due to extreme deterioration
- ☐ Roof: Repair and rehabilitate original slate roof, including sourcing matching slate for missing/broken tiles
- ☐ Brick: Where joints display cracked, damaged or missing grout, remove grout by hand down to a depth of 3/4" and install new joint mortar by hand using grout formulated to match the original color and texture
- ☐ Brick Patio/Front Terrace: Carefully remove and salvage bricks due to substantial settlement, re-compact ground, level with sand and then pour a new reinforced concrete slab with salvaged bricks to be re-installed

- ☐ Original Steel Casement and Leaded Glass Windows: Refurbish original steel casement windows throughout, repair and rebuild multiple leaded glass windows
- ☐ Exterior Stucco and Wood Trim: Repair all exposed wood trim, including sanding and painting prep for entire house to be repainted
- ☐ Exterior Balcony (above library) and Juliet Balcony: Remove existing tiles and substrate, re-pour subsurface to direct water to drain locations, add a secondary drain location, and apply a new waterproofing membrane across the entire surface
- ☐ Driveway: Re-pour several sections of driveway that have suffered substantial deterioration
- ☐ Attic Insulation: Remove moldy, rat infested insulation, disinfect and vermin proof attic, and replace insulation
- ☐ Systems: Replace all aged systems (plumbing, electrical, HVAC)
- ☐ Site/Landscape: Develop comprehensive landscape plan to address existing conditions and that includes a no plant border around all buildings and rerouting sprinklers away from buildings
- ☐ Hardwood Floors: Rehabilitate original hardwood floors where possible (majority of downstairs rooms) and install new 2" rift and quartered hardwood floors upstairs to match the hardwood floors downstairs
- ☐ Wood Molding, Baseboards, Paneling and Doors: Engage Paramount Pictures woodshop to custom match original window/door casing and baseboard throughout house enabling molding to be replaced in-kind where original molding was beyond repair
- ☐ Roll Down Screens: Restore original roll down screens throughout house to their original working condition

Following rehabilitation, regular maintenance of special materials is recommended as follows:

- ☐ Slate Roof: Maintain continuous waterproof layer, maintain flashing, use a very light water pressure with a mild detergent to clean off mold and algae build-up (when needed)
- ☐ Brick: Investigate condition of mortar at brick/veneer walls; re-point as necessary

While the above project summary provides a guideline for needed work, this list is not designed to be all-inclusive. Responsible stewardship of a building of this type includes regular maintenance and monitoring of existing conditions to ensure protection of historic fabric and preservation of this important residence.

Status: Following purchase of the house in August 2017 the owners began planning the rehabilitation of Aberdeen House, which commenced in early 2018. A large portion of the above list has been completed and will eventually be documented in supplemental Part 3 of this report through photographic documentation and construction documents.

Site

The hillside nature of the site necessitates a specific approach. Scaffolding must be used to facilitate access to all areas of the building for proper study and work to be performed. It is also recommended that a qualified landscape architect develop a comprehensive landscape plan to address existing conditions, including a no plant border around all buildings and re-routing sprinklers away from buildings. Trees should be evaluated for health and also proximity to

buildings and trees that are interfering with historic structures should be removed, with the approval of an arborist. The driveway has been in its present location since 1964 and there are areas where the concrete is uplifted. It is recommended that these areas be addressed.

Foundation/Structural/Basement Areas

After physical inspection and multiple technical reports it is the recommendation that the following projects be prioritized:

- ivy and invasive plantings should be removed to prevent further intrusion on foundations and other architectural elements
- mold remediation should take place in basement and other areas where mold was identified
- cripple walls should be upgraded and non-reinforced concrete block foundation segments should be strengthened with stem walls and /or shear panels as necessary

Roof

The original and extant slate roof is an important and character-defining feature of the property and warrants careful study. A well-performing roof is extremely important in protecting a building. It was determined and recommended that the roof project be prioritized to happen as soon as possible to prevent further opportunities for deterioration in the rest of the building. During the course of searching for the appropriate specialist, the owner found two contractors in the greater Los Angeles area with extensive experience with slate roofs. A contractor was chosen based on his experience and understanding of the building's needs. Earl Roofing was hired. The owner learned that Barney Earl's family was historically a roofing contractor in Southwest England until he moved here and set up his own business.

Earl Roofing identified the type of slate (North Country Slate, unfading black) which needed to match the color of the existing roof and which had to be specially imported from Canada. This was particularly relevant because it also needed to be purchased in particular sizes to match the overlap in the existing slates on the roof.

In order to do the work on the roof scaffolding was required. Ultimately the project used over 300 slates on the roof in multiple different sections.

Additionally, in order to remove the years of build-up of moss and mildew on the roof the owner had to identify a roof cleaning contractor. These are typical on the East Coast but not on the West Coast and many contractors proposed a treatment that was either using products that were too acidic or use too much water pressure. After extensive research the owner found a company based out of San Luis Obispo that use a very light water pressure with multiple treatments of a mild detergent. This resulted in cleaning off years of mold and algae build-up and significantly extending the life of the existing roof.

Windows

Many of the windows of Aberdeen House were determined to be in poor condition. The recommendation for the windows includes comprehensive rehabilitation, evaluating each window for its individual deficiencies and needs and repairing. Repair is the recommended approach wherever possible, with replacement in-kind the next alternative if deterioration of the original is too severe. Newer, inappropriate windows should be replaced with period-appropriate replacement units.

Brick

The existing conditions section of this report discusses the importance of historic brick and Aberdeen House is constructed using massive amounts of brick. The brick itself is in serviceable condition in many areas, but is in a fragile and tenuous position due to the deterioration of mortar, exposure to moisture and bade site conditions, and deterioration/subsidence of substrate. It is recommended that a contractor with experience working with historic brick develop a treatment plan for repair mortar and re-pointing. It is recommended that the front terrace brick be removed so that the substrate can be addressed before the brick is reinstalled.

Interior Elements

Historic material in primary character-defining spaces shall be preserved and retained. Secondary spaces, such as upstairs bedrooms and bathrooms, and spaces that have already been stripped of historic fabric by previous owners, shall be treated in a way that new elements remain compatible yet distinct and do not compete with the historic primary spaces of the residence.

Conclusion

The Secretary of the Interior's Standards for Rehabilitation should be used in all decision-making that impacts Aberdeen House. "**Rehabilitation** is defined as the act or process of making a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values."¹²

Through the diligent and meaningful efforts of a dedicated homeowner and team of professionals, Aberdeen House is well on its way to standing proud for the next 100 years.



Figure 35. Aberdeen House in 1937 LA Times Article

¹² Secretary of the Interior's Standards for Rehabilitation



Figure 36. Aberdeen before Ivy was removed, 2017. Photo credit: Stuart Gulland



Figure 37. Aberdeen House 2019 (after rehabilitation of the exterior elevations)

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Owner provided research

Tim Gregory's Historical Report

Preservation Brief 43: The Preparation and Use of Historic Structure Reports

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Sanborn Maps

Census Records

Death Records

Marriage Records

Los Angeles Public Library Photo Collection (Online)

National Park Service Website. (cr.nps.gov)

Secretary of the Interior's Standards and Guidelines for Rehabilitation

APPENDIX A



City of Los Angeles, Department of Building & Safety
 2. The applicant has submitted a set of plans for review and approval. The applicant is responsible for obtaining all necessary permits and approvals from the City of Los Angeles, Department of Building & Safety, and the County of Los Angeles, Department of Building & Safety.
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GULLAND RESIDENCE

2656 Aberdeen Avenue
 Los Angeles, California

PERMIT SUBMITTAL
 February 2, 2018

PROJECT TEAM

OWNER
 STUART & DAWN GULLAND
 2656 ABERDEEN AVENUE
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 info@gulland.com

ARCHITECT
 ARCHITECTURAL RESOURCES GROUP, INC.
 1000 WEST 10TH STREET, SUITE 200
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 LEARNER-DUNHAM PROJECT ARCHITECT
 LEARNER-DUNHAM
 12345 MAIN STREET
 LOS ANGELES, CA 90001

STRUCTURAL ENGINEER
 JAMES R. RESNICK
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DRAWING LIST

T1.01	COVER SHEET
T0.02	ABBREVIATIONS & SYMBOLS, GENERAL NOTES
T0.03	CITY OF LOS ANGELES GENERAL NOTES
T0.04	PILOT PLAN / FLOOR AREAS
T0.05	OUTLINE DRAWINGS
T1.00	TOPOGRAPHIC SURVEY (1 & 2)
T1.01	TOPOGRAPHIC SURVEY (1 & 2)
A0.00	ARCHITECTURAL
A0.01	BASEMENT - DEMOLITION PLAN
A0.02	SECOND FLOOR DEMOLITION PLAN
A0.03	BASEMENT FLOOR PLAN
A1.00	BASEMENT FLOOR PLAN
A1.01	FIRST FLOOR PLAN
A1.02	SECOND FLOOR PLAN
A2.00	EXTERIOR ELEVATIONS
A3.00	BUILDING SECTIONS
A4.00	DETAILS
S1.00	STRUCTURAL
S1.01	GENERAL NOTES
S1.02	FOUNDATION PLAN
S1.03	SECOND FLOOR FLOORING PLAN
S1.04	DETAILS
S2.00	MECHANICAL
S2.01	SECOND FLOOR FLOORING PLAN
S2.02	DETAILS
S3.00	ELECTRICAL
S3.01	DETAILS
S4.00	PLUMBING
S4.01	DETAILS

PROJECT SUMMARY

NON-RENT FLOOR ADDITION AND LIVING NEW
 VESTIBULE AND NEW POWDER ROOM
 RELOCATION OF FOUR EXISTING BATHROOMS
 RELOCATION AND CONVERSION OF ONE EXISTING
 BATHROOM INTO A POWDER ROOM
 NEW LIVING ROOM

PROJECT DATA

LOCATION
 2656 ABERDEEN AVENUE
 LOS ANGELES, CALIFORNIA 90027

LEGAL DESCRIPTION
 SEE TOPOGRAPHIC SURVEY (PAGE 2 & 3)

PROPERTY ZONE
 RB1111

ASSESSOR'S PARCEL #
 5006 020 017

UNIFORMED SERVICES FOR THE DISABLED (FEDERAL)
 TRACT
 TR-4208

BLOCK
 NONE

LOT
 4

LOT AREA
 1.06 AC

YEAR BUILT
 1980

CONSTRUCTION TYPE
 TYPE V-B

LOT/TRACT AREA
 37,196 SQ. FT. (807,146 SQ. FT.)

NUMBER OF PERSONS
 10

NUMBER OF BATHROOMS
 10

BUILDING SQ. FOOTAGE
 (B) 4,322 SQ. FT.
 (N) 4,322 SQ. FT. (SEE 370.04)

TOTAL (B+N) 4,322 SQ. FT.

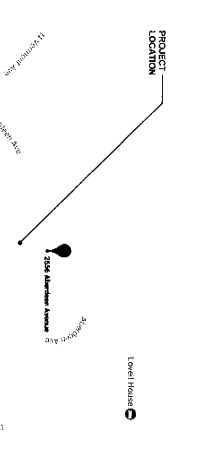
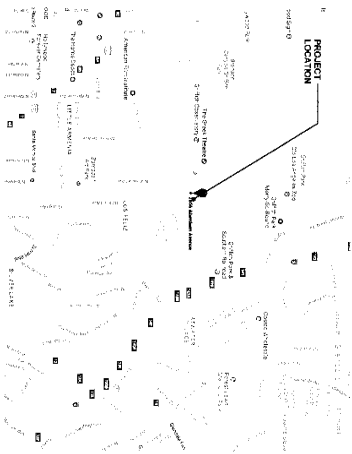
BUILDING HEIGHT
 2.5 STORIES + BASEMENT

BUILDING HEIGHT
 35' 8"

NEIGHBORHOOD BUILDING CODES

THE SECRETARY OF THE INTERIOR STANDARD AND ILLUSTRATIVE GUIDELINES FOR
 REHABILITATING HISTORIC BUILDINGS, REVISED 1992 (2008 EDITION) PL 99-509
 CALIFORNIA CODE OF REGULATIONS, TITLE 24, 2016 CALIFORNIA BUILDING CODE
 PART 2.5 CALIFORNIA RESIDENTIAL CODE
 PART 2.5 CALIFORNIA ELECTRICAL CODE
 PART 2.5 CALIFORNIA MECHANICAL CODE
 PART 2.5 CALIFORNIA PLUMBING CODE
 PART 2.5 CALIFORNIA FIRE CODE
 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
 2017 L.A. AMENDMENT TO CALIFORNIA BUILDING CODE
 2017 L.A. AMENDMENT GREEN BUILDING CODE
 BASELINE HISTORIC ORDINANCE NO. 184, 802
 VERY HIGH FIRE HAZARD SEVERITY ZONE

VICINITY MAP



ARCHITECT
 ARCHITECTURAL RESOURCES GROUP

8 1/4 x 3 1/2 SHEET 300
 645 583 002
 02/02/18

NO. 1
 DESCRIPTION
 DATE

GULLAND
 RESIDENCE

Sheet 1
 2656 Aberdeen Avenue
 Los Angeles, CA 90027

SHEET TITLE
 COVER SHEET

DATE
 02/02/18

DESIGNED BY
 DRAWN BY
 CHECKED BY
 DATE

TO.01
 02/02/18

HERMITATIONS		N		STL	
1	AND	FREE ALARM	NOTIFY	STEEL	STORAGE
2	ANGLE	FREE BOX	NOTIFY	STOR	STRUCTURAL
3	CONTRINER	FREE BRICK	NOTIFY	SUSP	SUSPENSION
4	DAMETER	FREE FLOOR	NOT TO SCALE	SVN	SHEET VINYL
5	PLATE WOND	FREE FLOOR			SYNTHETICAL
6	SOULDE LEFT	FREE FLOOR			
7	ACQUIS	FEC	OC		
8	ACQUIS	FEC	OC		
9	CEILING TILE	FM	OC		
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GENERAL NOTES

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HAZARDOUS MATERIALS

1. ARCHITECTURAL RESOURCES GROUP ASSUMES NO RESPONSIBILITY FOR THE MANAGEMENT OF HAZARDOUS MATERIALS THAT MAY BE ON THIS SITE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THAT PERSONNEL WITHIN THE WORK AREA ARE PROTECTED FROM EXPOSURE TO ANY HAZARDOUS MATERIALS ENCOUNTERED. IF MATERIALS ARE DISCOVERED THAT MAY BE HAZARDOUS, THE CONTRACTOR SHALL IMMEDIATELY "STOP THE STATUS" REPRESENTATIVE AND CEASE WORK UNTIL CONDITIONS CAN BE MAINTAINED IN COMPLIANCE WITH APPLICABLE REGULATIONS.

15	12	9	6	3
14	11	8	5	2
13	10	7	4	1

SYMBOL LEGEND

VIEW NAME		VIEW TITLE
0	GRID LINE	
1	INTERIOR ELEVATION OR PHOTO LOCATION	
2	SECTION SYMBOL	
3	WALL TYPE	
4	SMOKE & CARBON MONITOR DETECTOR	
5	GROUND FAULT INTERRUPTER	
6	DEDICATED RESEALANCE	
7	EXHAUST FAN	
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GENERAL NOTES FOR A SINGLE FAMILY DWELLING

2. OBTAIN PERMITS FROM PUBLIC WORKS PRIOR TO CONSTRUCTION FOR:
- 1. THE CONSTRUCTION SHALL NOT RESTRICT A FREE-BOARD CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER BODIES, INCLUDING BUT NOT LIMITED TO: RIVERS, LAKES, CREEKS, CANALS, DRAINAGE DITCHES, AND OTHER WATER BODIES.
 - 2. POWER DISTRIBUTION FACILITY (POWER POLES, PILL-BOXES, TRANSFORMERS, VALVES, PUMPS, VALVES, METER BOXES, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOD-KAP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES, WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES. OBTAIN APPROVAL FROM REAL ESTATE BUSINESS UNIT OF DWP (213) 367-0902.

- A. TEMPORARY PESTICIDE PROTECTION AS REQUIRED BY ABC SECTION 3206.
- B. FOR ANY CONSTRUCTION NEAR ANY STREET OR PUBLIC AREA:
 1. OUTLETS, SLOPS, WALL, COUNTERTOP SPACE, BLINDS AND PERENNIAL COUNTERS SPACE IN KITCHENS SHALL HAVE A MAXIMUM SPACING OF 48" (1202.22 CM).
 2. THE FIRST LIFT IN THE NEW AND REMODELLED KITCHENS AND BATHS SHALL BE AN ENERGY EFFICIENT LIFT MEETING A MINIMUM OF 40 LBS PER SQ. YD. (6 LBS PER SQ. FT.) (24 SEC. 3200.3 & 1500).
 3. EVERY SPACE NEEDED FOR HUMAN CONVICTION SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF LIGHT THAT ASSURED TO PROVIDE AN AVERAGE ILLUMINATION OF 1 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (1932.1)

7. ANALOG SIGNALS: PROTECT ELECTRIC CIRCUITS, CONDENSERS OR OTHER OPENINGS IN BOTH CONDENSED FLAMES AND FLAME SIGNALS SHALL BE PROTECTED AGAINST THE POSSIBILITIES OF ROBERTSON'S LOGGING SIGNALS OR OTHERS. (SEE APPENDIX B)
8. PLUMBING SYSTEMS: BE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWER DISPOSAL SYSTEM (SEE 303.3)
9. KITCHEN SINK, WASHBASINS, BATHS, SHOWERS, SHERTS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (303.4)
10. WHEN A CUPPER BELLFLOOR IS REQUIRED, A CHIMNEY BEAM SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA CUPPER BELLFLOOR STANDARDS CODE, CHAPTER 1, DIVISION 4. (SEE 303.3.1)
11. FOR MANGLED CUPPER ELECTRICAL TEST AND RESEARCH REPORT IS REQUIRED TO USE AN ELECTRO-MECHANICAL CUPPER FOR MANGLED CUPPER MANGLED

13. A MINIMUM OF 50 PERCENT OF THE NONPAVING SURFACE AND DEMOLITION WASTE SHALL BE SECTED AND ANALYZED FOR LEAD IN ACCORDANCE WITH CALIFORNIA GREEN BUILDING STANDARDS CODE CHAPTER 4 DIVISION 4.2 (10-034)
14. FRESH MATERIAL INCLUDING ADHESIVES, SEALANTS, GALLIES, PAINTS AND COATINGS, AIRCRAFT PAINTS AND COATINGS, AND OTHER MATERIALS SHALL BE SECTED AND ANALYZED FOR LEAD IN ACCORDANCE WITH CALIFORNIA GREEN BUILDING STANDARDS CODE CHAPTER 4.2 DIVISION 4.2 (10-034)
15. THERMAL INSULATION SHALL BE SECTED AND ANALYZED FOR LEAD IN ACCORDANCE WITH CALIFORNIA GREEN BUILDING STANDARDS CODE CHAPTER 4.2 DIVISION 4.2 (10-034)
16. BASED FLOORS (e.g., tile, carpet, etc.) SHALL BE SECTED AND ANALYZED FOR LEAD IN ACCORDANCE WITH CALIFORNIA GREEN BUILDING STANDARDS CODE CHAPTER 4.2 DIVISION 4.2 (10-034)

1. ALL SHOWER ENCLOSURES, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR AREA OF NOT LESS THAN 1.69 SQ. M (18 SQ. FT.) AND A MINIMUM FINISHED FLOOR AREA OF NOT LESS THAN 1.69 SQ. M (18 SQ. FT.). THE MINIMUM WATER AND DRAIN SIZES SHALL BE ADJUSTED TO A POINT 100MM (4 IN.) ABOVE THE SHOWER DRAIN OUTLET. (PLUMBING CODE SECTION 181.4)
2. BATH TUB AND SHOWER TOILETS SHALL ADJAC BATH TUBS WITH A BARRIER AND SHOWER COMBINATION TOILETS SHALL HAVE A BARRIER. A BARRIER SHALL BE A MINIMUM 100MM (4 IN.) HIGH AND SHALL HAVE FEET OR THE FLOOR 1800MM (6 FT.) WIDE.
3. PROVIDE ULTRA LOW FLUSH WATER CLOSERS FOR ALL NEW CONSTRUCTION EXISTING SHOWER HEADS AND TOILETS SHALL BE ADAPTED FOR LOW WATER CONSUMPTION.
4. A MIN. 75 CM (30 IN.) ACCESS PANEL TO THE BATH TUB TRAP-SLIP JOINT CONNECTION IS REQUIRED.

- A. LANTERN PRESSURE
1. CLOTHES PRESSURE LOCATED IN AN AREA THAT IS IDENTIFIABLE OR CONTAINING FUEL, BURNING APPLIANCES, SHAL BURNING APPLIANCES AND NOT NEARBY THE BUILDING OR ON THE ATIC AREA (A.C. 500.3.4)
- B. AT A CLOTHES PRESSURE MESH EXHAUST DUCT IS LIMITED TO 4' LONG LENGTH WITH 2' LONG FROM THE CLOTHES DUCT TO THE POINT OF TERMINATION, REDUCE THE LENGTH BY 2' FEET FOR EVERY ELBOW IN EXCESS OF 90° (A.C. 500.3.4.2)
- C. MEANS OF EGRESS
1. PROVIDE 2' WIDE DOORS TO ALL INTERIOR ACCESSIBLE AREAS WITH A DWELLING UNIT (LARC SECTION 500.3.4.2.1) (LARC SECTION 500.3.4.2.1)
2. PROVIDE 2' WIDE DOORS TO ALL INTERIOR ACCESSIBLE AREAS WITH A DWELLING UNIT (LARC SECTION 500.3.4.2.1) (LARC SECTION 500.3.4.2.1)

3. OCCUPIED ROOFS SHALL BE PROVIDED WITH EGRESS AS REQUIRED FOR ROOFS.
4. **CEILING AND FLOOR**
 - a. IF ADVERSE FLOOR CONDITIONS ARE ENCOUNTERED, A SOIL INVESTIGATION REPORT MAY BE REQUIRED (LULAC SECTION 10-4).
 - b. FLOORING AND FLOOR SLABS SHALL CONFORM TO THE FOLLOWING OR THE RECOMMENDATION OF AN APPROVED SOIL REPORT:
 1. A BERTH OF FOOTINGS BELOW THE NATURAL AND FINISHED GRADES SHALL NOT BE LESS THAN 24 INCHES FOR EXTERIOR WALLS AND 18 INCHES FOR INTERIOR FOOTINGS.
 2. EXTERIOR WALLS AND INTERIOR BEARING WALLS SHALL BE SUPPORTED ON CONTINUOUS FOOTINGS.

3. CONCRETE SHALL BE PLACED IN AN EXPANSION SOIL, COMPACTED FILL OR SLOPES OVER, 18" SHALL BE PLACED ON A LATCH AT LEAST 3" THICKNESS AND REINFORCED WITH 4 BARS SPACED AT INTERVALS NOT EXCEEDING 18" INCHES.
4. GUTTER DRAIN SHALL HAVE A SLOPE NOT LESS THAN 1/8" PER FOOT.
5. GUTTER DRAIN SHALL BE LINED WITH A 18" GUTTER DRAIN (LARGE SECTION) OR 12" GUTTER DRAIN (SMALL SECTION) WITH A 18" DRAIN.

- [illegible]

- E. ZONING NOTES**
1. AC UNITS AND WATER HEATERS ARE NOT ALLOWED IN THE REAR-CURVED SIDE YARDS AND FRONT YARD UNLESS SPECIFICALLY ALLOWED BY EXEMPTION PER ORDINANCE 10011611 IN PZC 2022 026

- [illegible]

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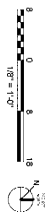
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1. AN APPROVED CARGO MONITORING ALARM SHALL BE INSTALLED ON DOWELLING UNITS AND IN SEPARATE DWELLING UNITS WHICH ARE MONITORED ALARM SENSITIVE DOWELLING AND TOWELLING UNITS. THE MONITORING ALARM SHALL BE INSTALLED IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH FLOOR OF MONITORED UNIT AND COMMON DISBURSERS. (R312)

1. IF/IFD 000000 OF NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE SHALL BE RECYCLED AND/OR LANDFILLED OR REUSE IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING CODE CHAPTER 10.0000. (1000)
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1. NO DIVER SHOULD SWIM UNDER THE POOL AND RECOVER UNASSISTED.
2. NO ONE SHOULD ENTER THE POOL WITHOUT THE PROPER TRAINING AND ACCESS GRANTED THROUGH THE ENCLOSURE OPEN AREA FROM THE SWIMMING POOL.
3. NO ONE SHOULD ENTER THE POOL WITHOUT THE PROPER TRAINING AND ACCESS GRANTED THROUGH THE ENCLOSURE OPEN AREA FROM THE SWIMMING POOL.
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10. NO ONE SHOULD ENTER THE POOL WITHOUT THE PROPER TRAINING AND ACCESS GRANTED THROUGH THE ENCLOSURE OPEN AREA FROM THE SWIMMING POOL.



RESIDENTIAL FLOOR AREA:

IN R.F.A. (See diagrams below)
 LEVEL 1 0.50 FT
 LEVEL 2 0.50 FT
 LEVEL 0 0.50 FT
 TOTAL IN R.F.A. = 28 SQ FT
 NA ADDITION IS UNDER 500 SQ FT
 MIN. GUARANTEED R.F.A. = 20% x LOT AREA
 20% x 32,78 SQ FT = 6,439 SQ FT
 TOTAL WORK AREA = 915 SQ FT

WORK AREA:

AREA OF REMOVAL ADDITION (See diagrams below)
 LEVEL 1 (removal) 600 SQ FT
 LEVEL 2 (removal) 200 SQ FT
 LEVEL 1 (addition) 45 SQ FT
 LEVEL 0 (removal) 0.50 FT
 TOTAL WORK AREA = 915 SQ FT

LOT COVERAGE:

ADDITION = 45 SQ FT
 NA ADDITION IS UNDER 500 SQ FT

SCHOOL DISTRICT FLOOR AREA:

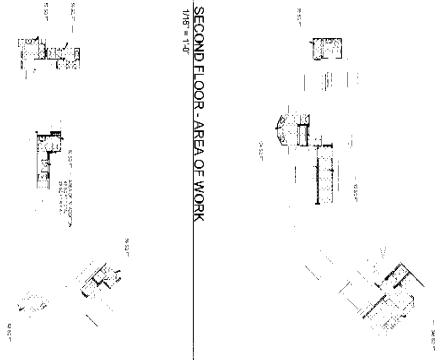
(Additional assessable area, including area of exterior walk)
 ADDITIONAL ASSESSABLE AREA = 45 SQ FT
 NA ADDITION IS UNDER 500 SQ FT

PROPERTY SETBACK ANALYSIS:

PER LA CITY ZONING TABLE 12.21 C.10-1
 ZONE: RES-1.1
 MEAN LOT DEPTH: 254.85
 MEAN LOT WIDTH: 34.27
 SIDE YARD SETBACK: 5.0'
 FRONT: 20% OF LOT DEPTH = 50.97' MAX
 THEREFORE FRONT SETBACK = 25.0'
 SIDE: 7.0' MINIMUM OR 10% WHERE LOT WIDTH
 IF BUILDING HEIGHT EXCEEDS 18' ONE
 ADDITIONAL FOOT SHALL BE ADDED TO
 MINIMUM SETBACK. THEREFORE MINIMUM
 MEAN LOT DEPTH SHALL BE 25.0' MIN
 THEREFORE SIDE SETBACK = 7' x 10' = 70' 0"
 25% OF LOT DEPTH = 63.71' MAX
 THEREFORE REAR SETBACK = 25.0'

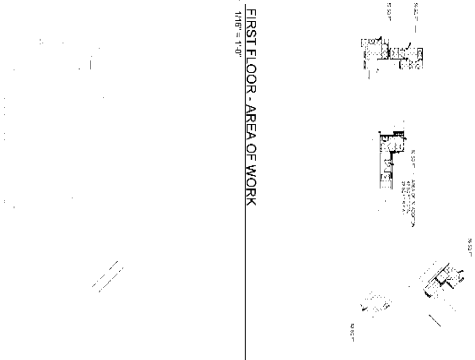
SECOND FLOOR - AREA OF WORK

Scale: 1/16" = 1'-0"



FIRST FLOOR - AREA OF WORK

Scale: 1/16" = 1'-0"



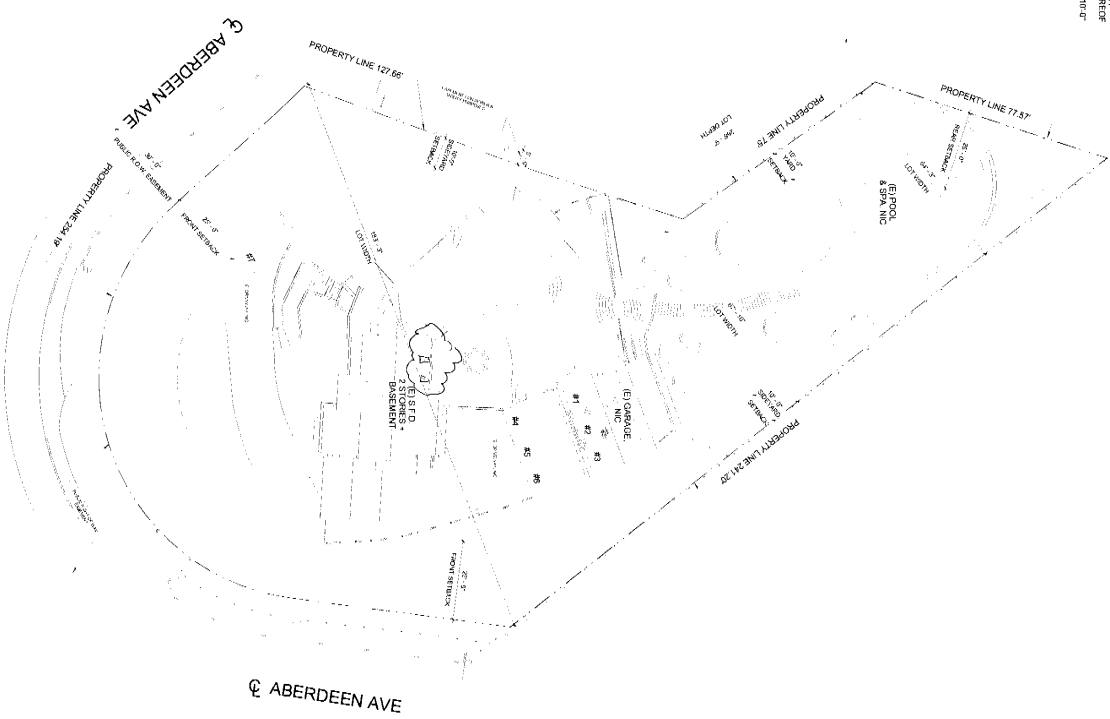
BASEMENT - AREA OF WORK

Scale: 1/16" = 1'-0"



PLOT PLAN

Scale: 1/16" = 1'-0"



Architect: G.O.L.D.
 RESOURCES: G.O.L.D.

81714 Pines, Suite 200
 Berkeley, CA 94705
 510.833.5001

PROJECT:

NO. DESCRIPTION DATE
 REVISIONS

GULLAND
 RESIDENCE

Phase 1

2019 Aberdeen Avenue
 Los Angeles, CA 90027

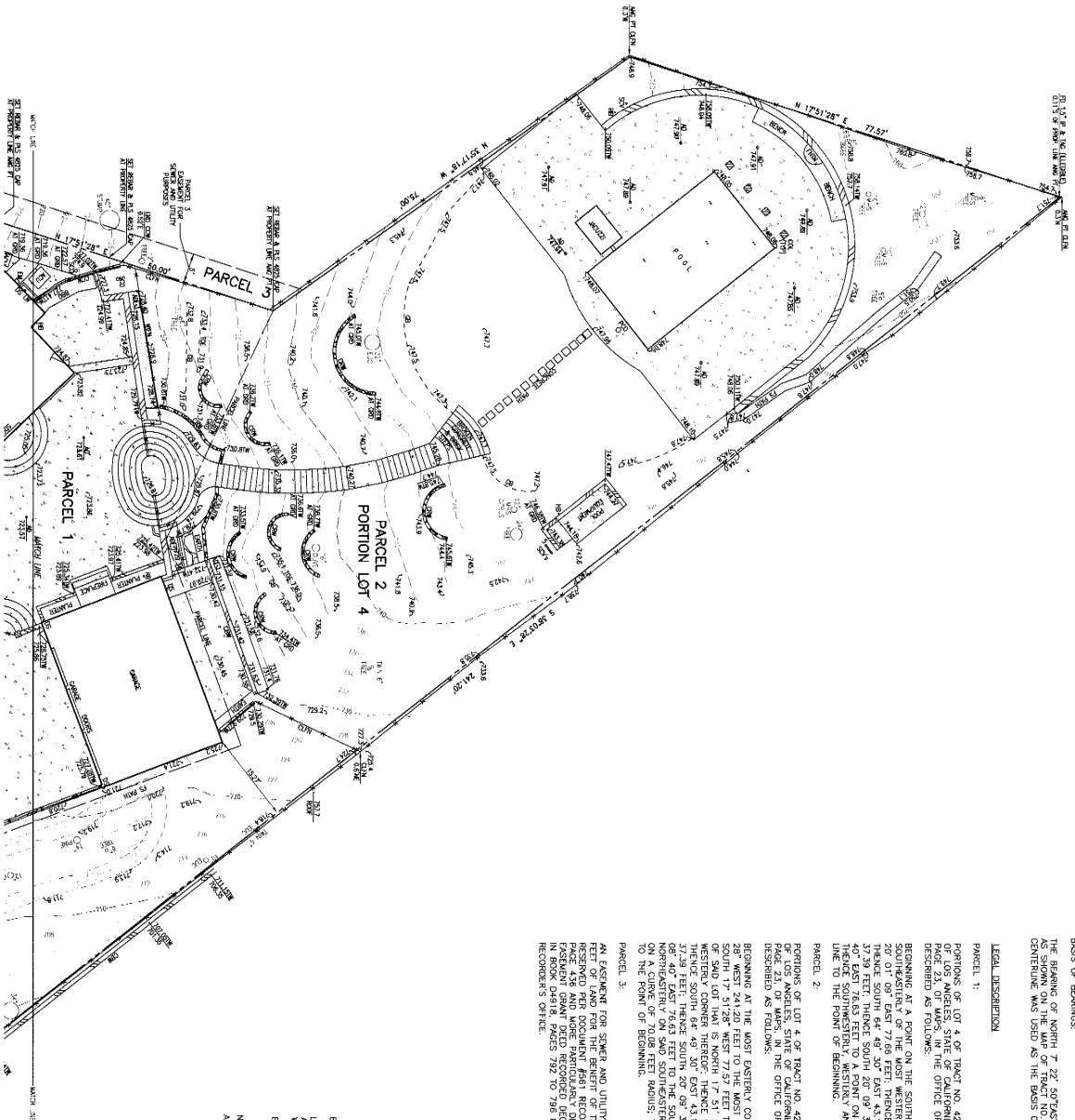
SHEET TITLE
 PLOT PLAN / FLOOR
 AREAS

ISSUANCE
 Permit Submitted
 02/02/18

ROLL NO.
 12778
 DESIGN
 1/1/18
 CHECKED
 1/1/18
 DRAWING NO.
 TO.04



10.00
ke



BASIS OF BEARINGS.
THE BEARING OF NORTH 7 22 50 EAST FOR THE WEST LINE OF ABERDEEN AVENUE AS SHOWN ON THE MAP OF TRACT NO. 4276, M.B. 47-23 AND TRANSFERRED TO CENTERLINE WAS USED AS THE BASIS OF BEARINGS SHOWN HEREON.

LEGAL DESCRIPTION

PARCEL 1:

PORTIONS OF LOT 4 OF TRACT NO. 4276, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK PAGE 23 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY LINE OF LOT 4 THAT IS 60.00 FEET SOUTHWESTERLY OF THE MOST WESTERLY CORNER OF SAID LOT 4; THENCE NORTH 7 22 50 EAST 17.51 FEET TO THE MOST WESTERLY CORNER OF SAID LOT 4; THENCE NORTH 7 22 50 EAST 17.51 FEET TO THE MOST WESTERLY CORNER OF SAID LOT 4; THENCE SOUTH 44 40 30 EAST 43.17 FEET; THENCE NORTH 68 50 30 EAST 37.39 FEET; THENCE SOUTH 20 09 30 EAST 80.00 FEET; THENCE SOUTH 4 08 40 EAST 76.63 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID LOT 4; THENCE SOUTHWESTERLY ALONG SAID SOUTHERLY LINE OF SAID LOT 4 TO THE POINT OF BEGINNING.

PARCEL 2:

PORTIONS OF LOT 4 OF TRACT NO. 4276, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK PAGE 23 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST EASTERLY CORNER OF LOT 4; THENCE NORTH 38 03 28 WEST 24.20 FEET TO THE MOST NORTHERLY CORNER OF SAID LOT 1; THENCE NORTH 7 22 50 EAST 17.51 FEET TO THE MOST WESTERLY CORNER OF SAID LOT 1; THENCE SOUTH 44 40 30 EAST 43.17 FEET; THENCE NORTH 68 50 30 EAST 37.39 FEET; THENCE SOUTH 20 09 30 EAST 80.00 FEET; THENCE SOUTH 4 08 40 EAST 76.63 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF SAID LOT 4; THENCE SOUTHWESTERLY ALONG SAID SOUTHWESTERLY LINE OF SAID LOT 4 TO THE POINT OF BEGINNING.

PARCEL 3:

AN EASEMENT FOR SINKER AND UTILITY PURPOSES OVER THE SOUTHWESTERLY 5 FEET OF THE SOUTHWESTERLY LINE OF LOT 4 OF TRACT NO. 4276, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK PAGE 23 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, RESERVED PER DOCUMENT #661 RECORDED OCTOBER 10, 1963 IN BOOK 02213, IN BOOK 04918, PAGES 792 TO 796 INCLUSIVE IN THE LOS ANGELES COUNTY RECORDER'S OFFICE.

BENCH MARK:

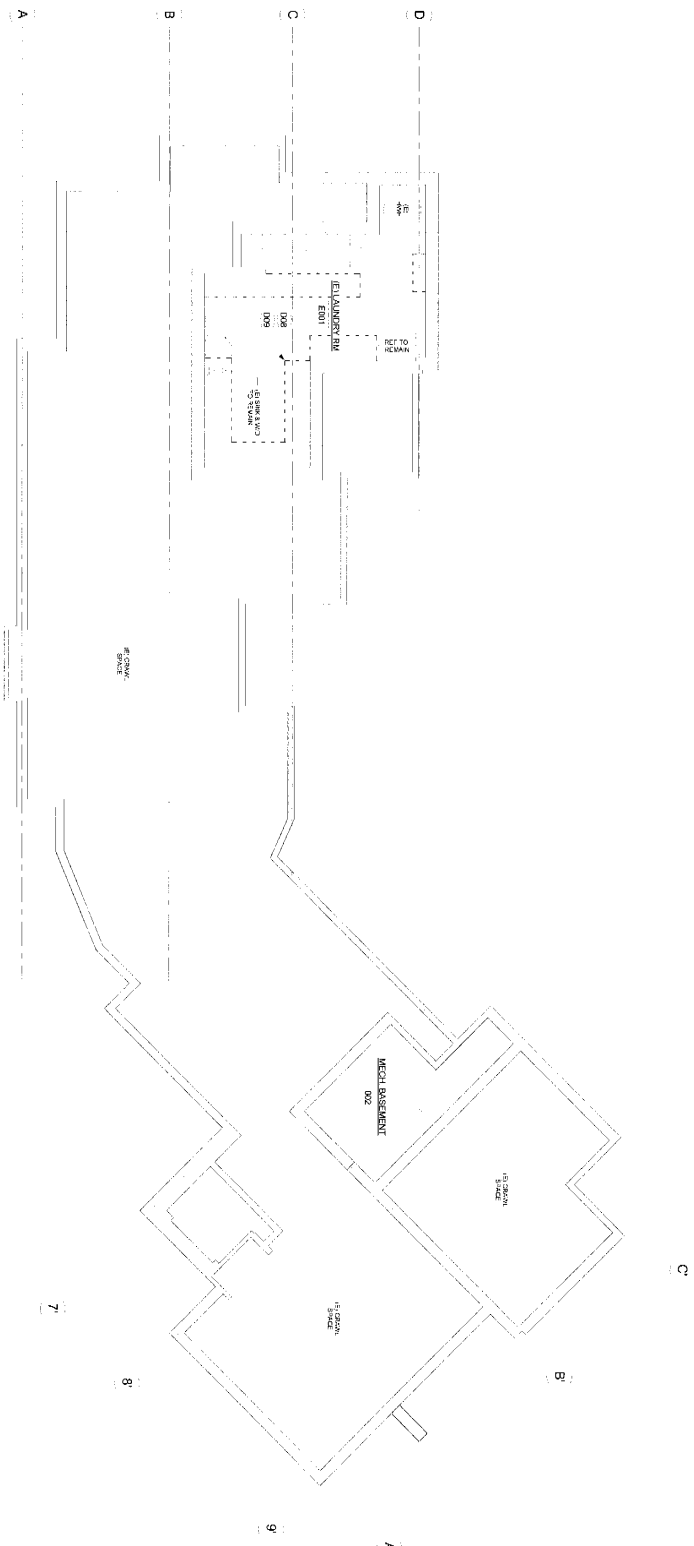
LID OF SINKER MANHOLE SHOWN HEREON
AS PER CITY OF LOS ANGELES SINKER
WTE MAP NO. 4673-5
ELEVATION OF LID = 692.80

NOTE:
AREA = 32,196 SQ. FT.



SCALE: 1" = 8'

BECKNER AND MIYAMOTO, INC. 5901 W. WASHINGTON BLVD. LOS ANGELES, CA 90018 (310) 439-9530		SHEET NO. 10.01 OF 10.01
TOPOGRAPHIC SURVEY 2858 ABERDEEN AVENUE LOS ANGELES, CA		DATE: 11-15-17 BY: [Signature]



DEMO PLAN GENERAL NOTES

- CONTRACTOR IS HEREBY DIRECTED TO RECOGNIZE THE VALUE AND SIGNIFICANCE OF THE HISTORIC BUILDING, ITS DETAILS, MATERIALS AND FINISHES WHICH ARE TO REMAIN ARE NOT DAMAGED BY WORK BEING PERFORMED.
- MATERIALS AND COMPONENTS TO REMAIN PROTECTION EXTENDS TO ALL HISTORIC MATERIALS AND COMPONENTS TO REMAIN. PROTECTION SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. MATERIALS SPECIFICALLY CALLED OUT ON THE DRAWINGS OR NOT.
- QUESTIONS RE PROTECTION REQUIREMENTS SHOULD BE DIRECTED FOR IMMEDIATE REPAIR OR REPLACEMENT BY CONTRACTOR AT HIS EXPENSE. TO THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF SALVAGE OF ALL HISTORIC FINISHES WHILE THE CONSTRUCTION MEETING IF REQUESTED BY OWNER AND ARCHITECT.
- PROTECTION OF THE HISTORIC ELEMENTS IS SHOWN ON THE DRAWINGS. DO NOT ATTACH PROTECTION MATERIALS DIRECTLY TO THE HISTORIC ELEMENTS.
- ALL HISTORIC MATERIALS TO REMAIN SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
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DEMO LEGEND

- EXISTING TO REMAIN
- REMOVED ELEMENTS SHALL BE SHOWN BY THE CONSTRUCTION DEMOLITION SYMBOLS AND TO THE REMAINING ELEMENTS. CONSTRUCTION DEMOLITION SYMBOLS SHALL BE SHOWN BY THE CONSTRUCTION DEMOLITION SYMBOLS.
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NOTE: SIZE AND SHAPE OF ORIGINAL SPACE HAS BEEN ADJUSTED TO FIT.



GULLAND RESIDENCE

Phase 1

2856 Aberdeen Avenue
Los Angeles, CA 90027

SHEET TITLE
FIRST FLOOR
DEMOLITION PLAN

ISSUANCE
Permit Submittal
02/02/18

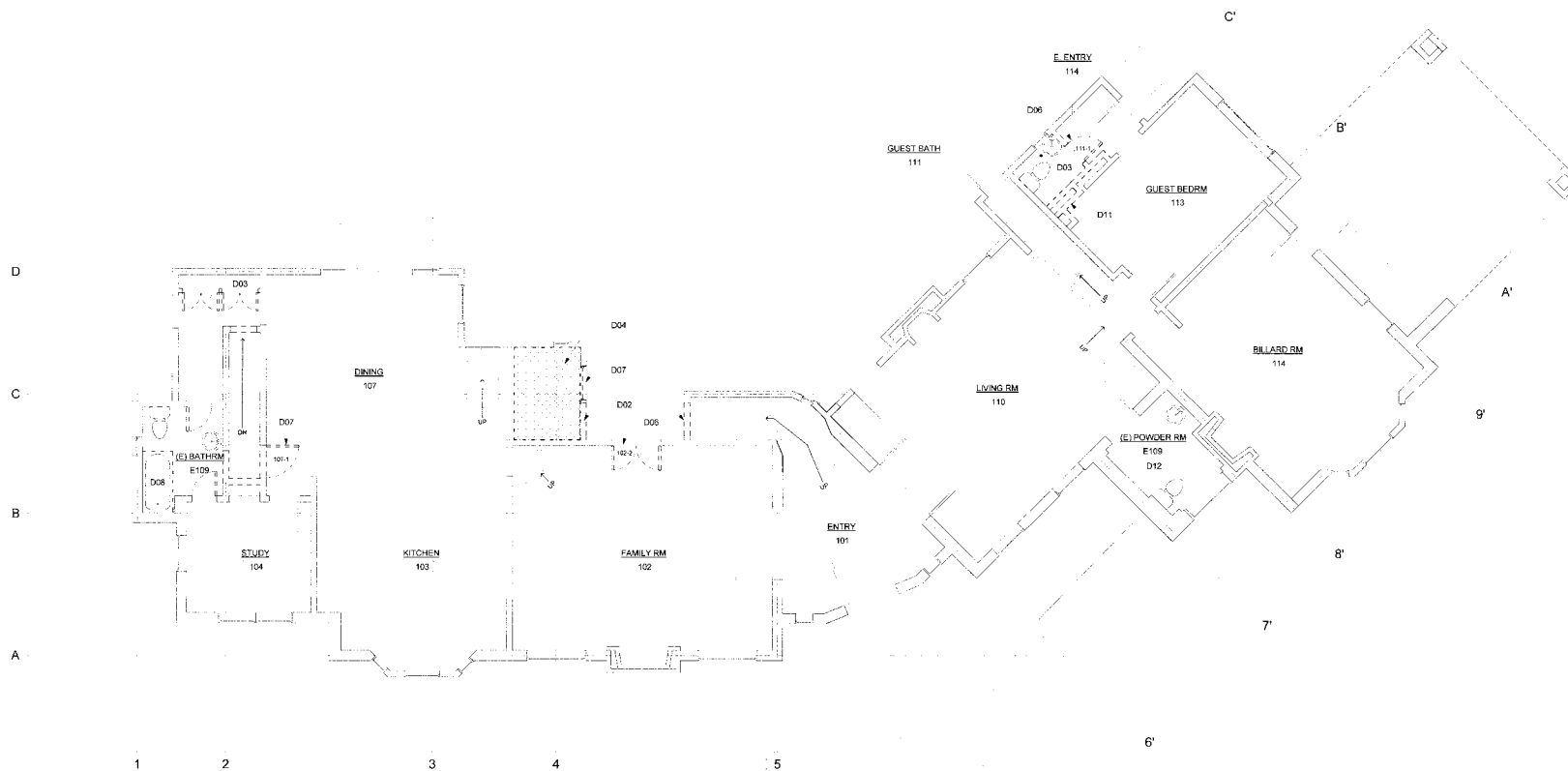
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1 FIRST FLOOR DEMOLITION PLAN

A01.01 1/4" = 1'-0"

KEYNOTES - DEMO PLAN

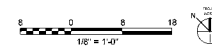
- D02 DEMO PORTION OF EXTERIOR WALL
- D03 REMOVE ALL APPLIANCES, FIXTURES, FITTINGS & BUILT-INS
- D04 LOWER PORTION OF (E) FLOOR
- D06 REMOVE HISTORIC DOOR - SALVAGE FOR RELOCATION PER PLANS
- D07 REMOVE HISTORIC WINDOWS & DOORS - SALVAGE FOR STORAGE, TYP
- D08 RELOCATE (E) ROOM
- D11 RELOCATE ALARM SYSTEM
- D12 UNPERMITTED POWDER ROOM TO BE REMOVED

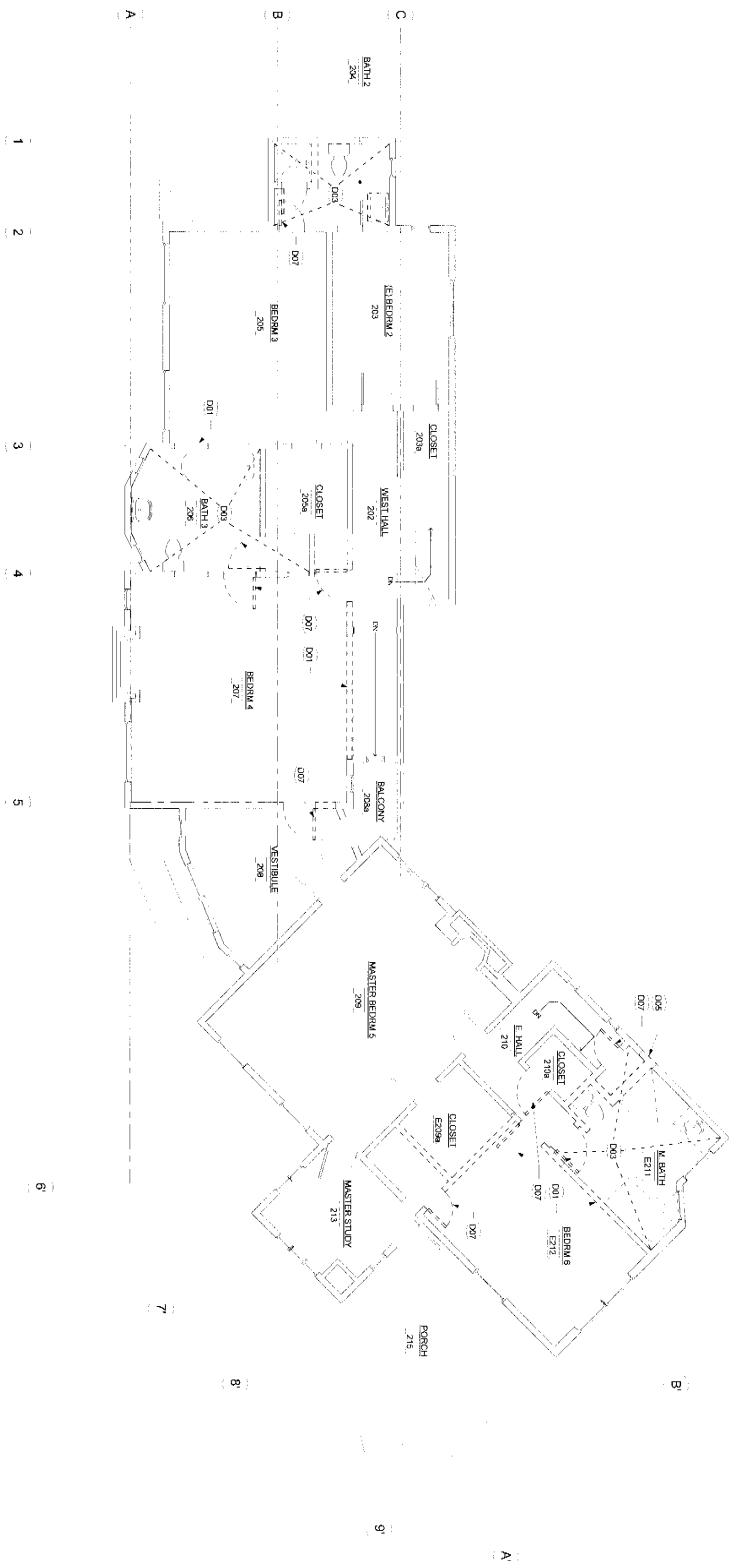
DEMO PLAN GENERAL NOTES

1. CONTRACTOR IS HEREBY DIRECTED TO RECOGNIZE THE VALUE AND SIGNIFICANCE OF THE BUILDING AND EXERCISE CARE DURING THE WORK TO ENSURE THAT THE EXISTING BUILDING, ITS DETAILS, MATERIALS, AND FINISHES WHICH ARE TO REMAIN ARE NOT DAMAGED BY WORK BEING PERFORMED.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING MATERIALS AND COMPONENTS TO REMAIN. PROTECTION EXTENDS TO ALL HISTORIC ELEMENTS TO REMAIN WHICH ARE IN THE VICINITY OF CONSTRUCTION ACTIVITIES, WHETHER SPECIFICALLY CALLED OUT ON THE DRAWINGS OR NOT. ALL QUESTIONABLE PROTECTION REQUIREMENTS SHOULD BE IDENTIFIED FOR ARCHITECT'S REVIEW. IN THE EVENT OF DAMAGE, SUCH ITEMS SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY CONTRACTOR AT HIS EXPENSE, TO THE SATISFACTION OF ARCHITECT AND OWNER.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OR SALVAGE OF ALL HISTORIC FURNISHINGS.
4. CONTRACTOR TO SCHEDULE PRE-CONSTRUCTION MEETING IF REQUESTED BY OWNER AND ARCHITECT.
5. PROTECTION FOR HISTORIC ELEMENTS SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS DETERMINED OTHERWISE BY THE OWNER. DO NOT ATTACH PROTECTION MATERIALS DIRECTLY TO THE HISTORIC ELEMENTS.
6. PROTECTION IS TO BE SECURED ADEQUATELY SO AS TO MAINTAIN A SAFE ENVIRONMENT FOR WORKERS THROUGHOUT THE DURATION OF THE PROJECT.
7. ALL ITEMS INDICATED IN THE DRAWINGS TO BE SALVAGED AND REINSTALLED OR RELOCATED SHALL BE CAREFULLY CATALOGUED, REMOVED, REFURBISHED, AND STORED - AS SPECIFIED.
8. REFER TO REFLECTED CEILING PLANS FOR LIGHTING SCOPE OF WORK.
9. SALVAGE DOOR, FRAME AND HARDWARE FROM (E) HISTORIC DOORS INDICATED TO BE DEMOLISHED. SEE DOOR SCHEDULE.

DEMO LEGEND

- EXISTING TO REMAIN
- REMOVE PORTION OF (E) WALL - SALVAGE EXISTING WOODWORK, WAINSCOT, CHAIR RAIL AND STONE BASE W/O LCN. COORDINATE DEMO WITH SCOPE OF WORK, AS DEFINED IN THE DOCUMENTS DOOR SCHEDULE, ETC.
- SALVAGE (E) DOOR AND FRAME - SEE DOOR SCHEDULE FOR SALVAGE (DEMOLITION) INFORMATION, INCLUDING BUT NOT LIMITED TO DOORS REMAINING IN PLACE BUT SWING BEING CHANGED.
- REMOVE (E) SINK - SALVAGE WHERE INDICATED.
- REMOVE (E) TOILET - SALVAGE WHERE INDICATED.
- ACCESS NEW WORK FROM ADJACENT SPACES. PROTECT (E) & REMOVE SELECTIVE PORTION AS NOTED.
- (E) FLOOR TO BE REMOVED - COORDINATE WITH STRUCTURAL.



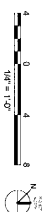


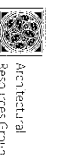
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301 S 2nd St
PO Box 1000
Tampa, FL 33602
813.251.1000

07/02/18

NO. DESCRIPTION DATE
REVISIONS

GULLAND
RESIDENCE

Phase 1
2506 Aberdeen Avenue
Los Angeles, CA 90027

SHEET TITLE
SITE PLAN / ROOF PLAN

ISSUANCE
Project Approval
07/02/18

DATE NO.
12/18
DRAWN
BY
CHECKED
ID

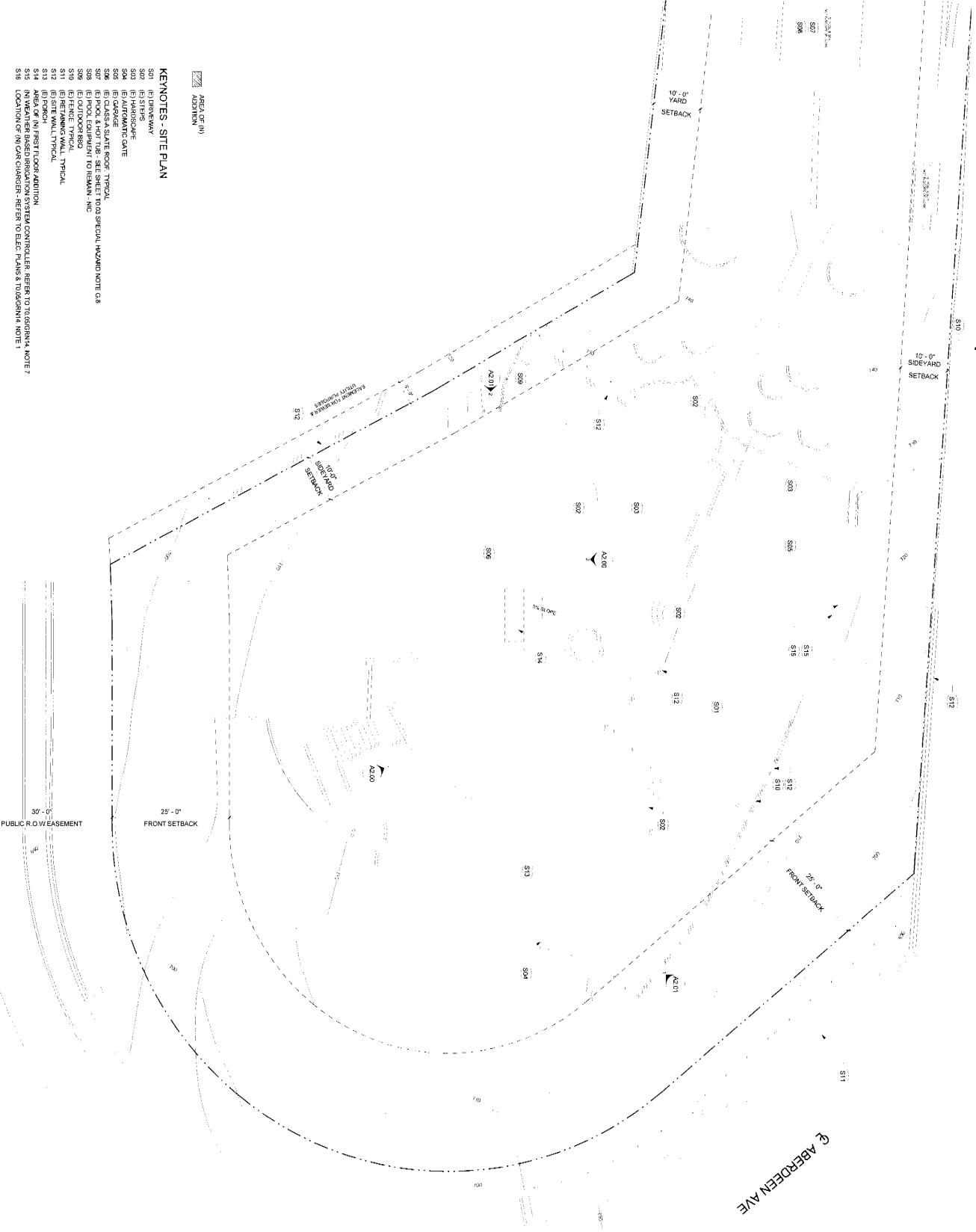


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ABERDEEN AVE

ABERDEEN AVE



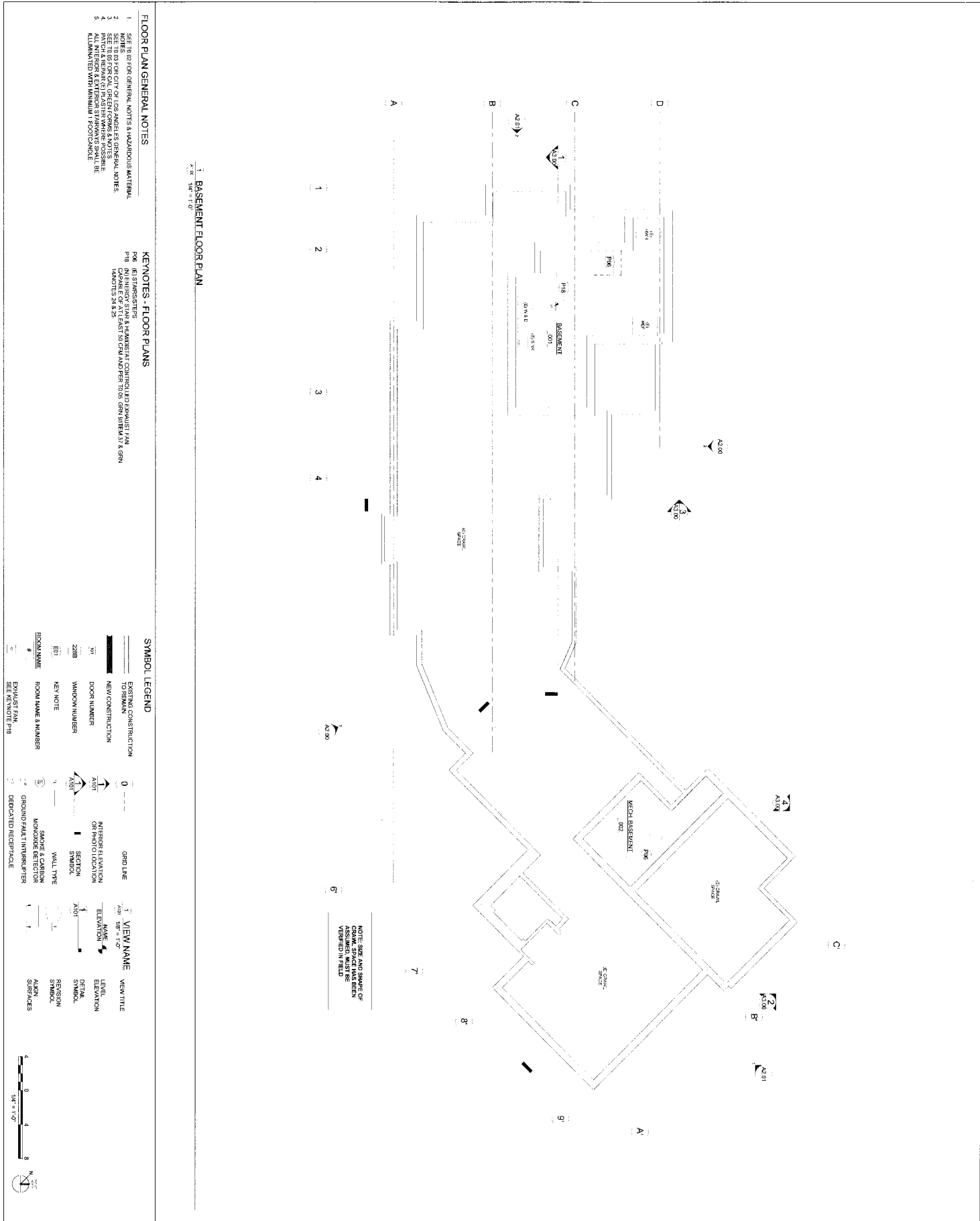
AREA OF (N)
ADDITION

KEYNOTES - SITE PLAN

- S01 (E) DRIVEWAY
- S02 (E) DRIVEWAY
- S03 (E) HARDSCAPE
- S04 (E) AUTOMATIC GATE
- S05 (E) GARAGE SLATE ROOF TYPICAL
- S06 (E) GARAGE SLATE ROOF TYPICAL
- S07 (E) POOL & HOT TUB - SEE SHEET 03 SPECIAL HAZARD NOTE C.8
- S08 (E) POOL EQUIPMENT TO REMAIN - NC
- S09 (E) LANDSCAPE
- S10 (E) LANDSCAPE
- S11 (E) RETAINING WALL TYPICAL
- S12 (E) SITE WALL TYPICAL
- S13 (E) DRIVEWAY IN FIRST FLOOR ADDITION
- S14 (E) DRIVEWAY IN FIRST FLOOR ADDITION
- S15 (E) DRIVEWAY IN FIRST FLOOR ADDITION
- S16 LOCATION OF IN-CAR CHARGER - REFER TO ELEC. PLANS & TUGGINA NOTE 1


1. SITE PLAN / ROOF PLAN


SCALE: 1/8" = 1'-0"





DOOR SCHEDULE - FIRST FLOOR									
NO.	ROOM NAME	(E) (N) (W) (S)	INTERIOR	WIDTH	HEIGHT	FINISH	GLASS		REMARKS
							GLASS	FINISH	
1001	ENTRANCE DOOR	E	INT	6	4'-8"	WOOD	ET	WOOD	Hlastic door to be installed from family room to ADT 01.
1002	VESTIBULE	N	EXT	6	4'-8"	WOOD	ET	WOOD	Hlastic door to be installed from ADT 01.
1003	RESTRICTION	N	INT	6	2'-8"	WOOD	none	WOOD	WOOD STICR
1004	RESTRICTION	N	INT	6	2'-8"	WOOD	none	WOOD	WOOD STICR
1005	DINING	E	INT	4	2'-8"	WOOD	none	WOOD	Hlastic door to be installed from dining room to ADT 01.
1006	FORMAL PR	N	INT	4	2'-8"	WOOD	none	WOOD	WOOD STICR
1101	GUEST BATH	E	INT	4	2'-8"	WOOD	none	WOOD	Hlastic door to be installed from ADT 01. Owner to install door and handle. Door to be installed to create a pass. TBD
1102	GUEST BATH	N	INT	4	2'-8"	WOOD	none	WOOD	WOOD STICR


WALL TYPES SCHEDULE

A  THE POLYIMIDE WAS
DEPOSITED BY THE
SPIN COATING METHOD
ON A POLYIMIDE SUBSTRATE

B  THE POLYIMIDE COATING
WAS DEPOSITED BY THE
SPIN COATING METHOD
ON A POLYIMIDE SUBSTRATE

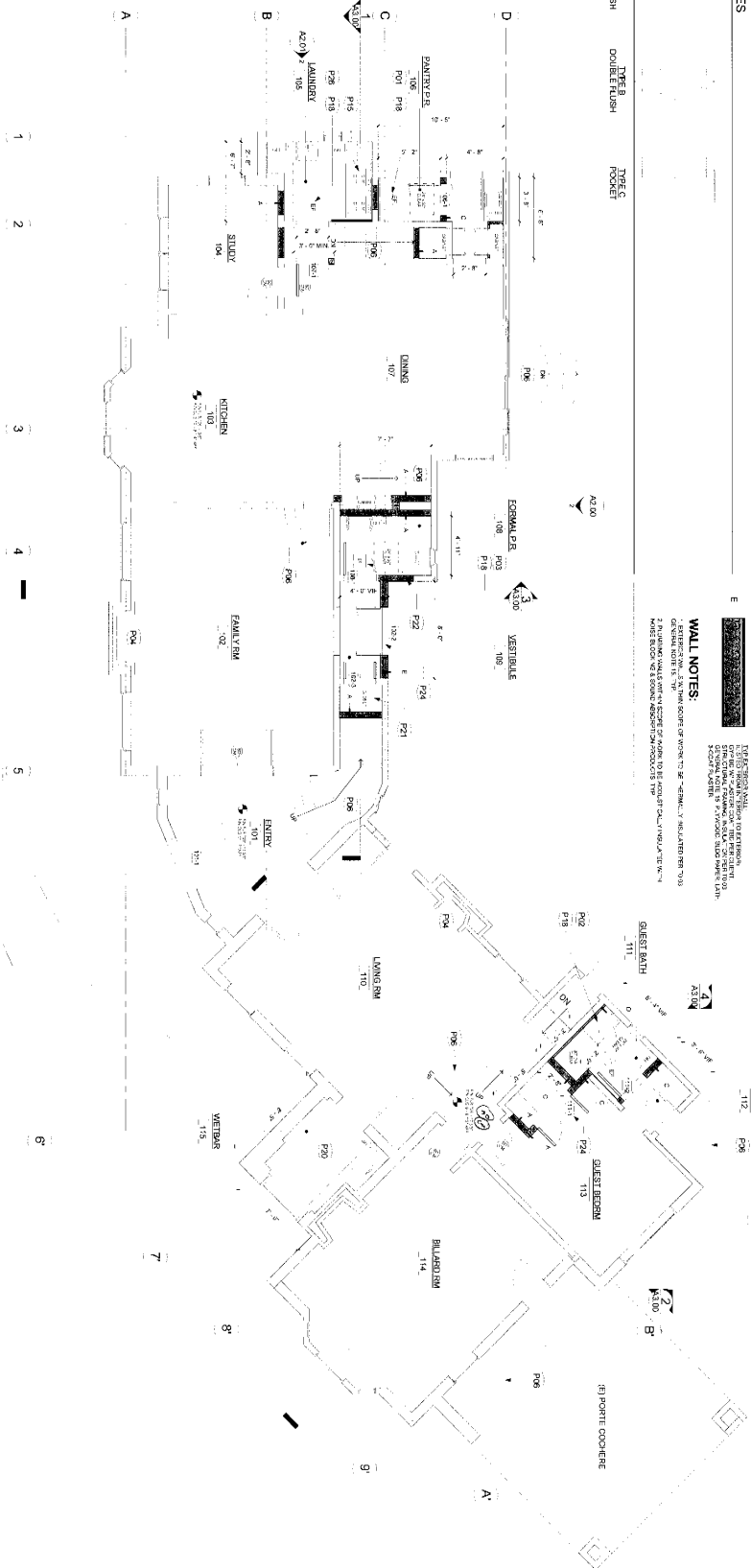
C  THE POLYIMIDE COATING
WAS DEPOSITED BY THE
SPIN COATING METHOD
ON A POLYIMIDE SUBSTRATE

D  THE POLYIMIDE COATING
WAS DEPOSITED BY THE
SPIN COATING METHOD
ON A POLYIMIDE SUBSTRATE

E  THE POLYIMIDE COATING
WAS DEPOSITED BY THE
SPIN COATING METHOD
ON A POLYIMIDE SUBSTRATE

WALL NOTES:

2. PLUGGING: WHATS THE SCORE OF WORK TO BE ADJUST CALLY INSTALLED WITH NOISE BLOCK VS 8 SOUND DESCRIPTION PRODCITS TYP



FLOOR PLAN GENERAL NOTES

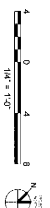
1. SEE TO 02 FOR GENERAL NOTES & HAZARDOUS MATERIAL NOTES
2. SEE TO 03 FOR CITY OF LOS ANGELES GENERAL NOTES
3. SEE TO 05 FOR CAL GREEN FORMS & NOTES
4. PATCH & REPAIR (E) PLASTER WHERE POSSIBLE
5. ALL INTERIOR & EXTERIOR STAIRWAYS SHALL BE ILLUMINATED WITH MINIMUM 1 FOOT-CANDLE

KEYNOTES - FLOOR PLANS

- [illegible]

SYMBOL LEGEND

EXISTING CONSTRUCTION		NEW CONSTRUCTION		VIEW NAME		VIEW TITLE
TO REMAIN		0		GRID LINE		VIEW TITLE
DOOR NUMBER		A/01		NAME		VIEW TITLE
WINDOW NUMBER		A/01		ELEVATION		VIEW TITLE
KEY NOTE		SECTION		LEVEL		VIEW TITLE
ROOM NAME & NUMBER		WALL TYPE		DETAIL SYMBOL		VIEW TITLE
ROOM NAME & NUMBER		SMOKE & CARBON MONOXIDE DETECTOR		FLOOR SYMBOL		VIEW TITLE
ELEVATION		GROUND/FLOOR/UNDERPINNER		FLOOR SYMBOL		VIEW TITLE
ELEVATION		DEDICATED DECK/PATIO		FLOOR SYMBOL		VIEW TITLE



9718 Hise, Suite 300
25500A, Dallas, TX 75220
646 563-1101

NO.	DESCRIPTION	DATE
	REVISIONS	

GULLAND
RESIDENCE

Phase 1

2656 Aberdeen Avenue
Los Angeles, CA 90027

FIRST FLOOR PLAN

ISSUANCE
Permit Submittal
02/02/18

PROJ. NO.
17278



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A1.01

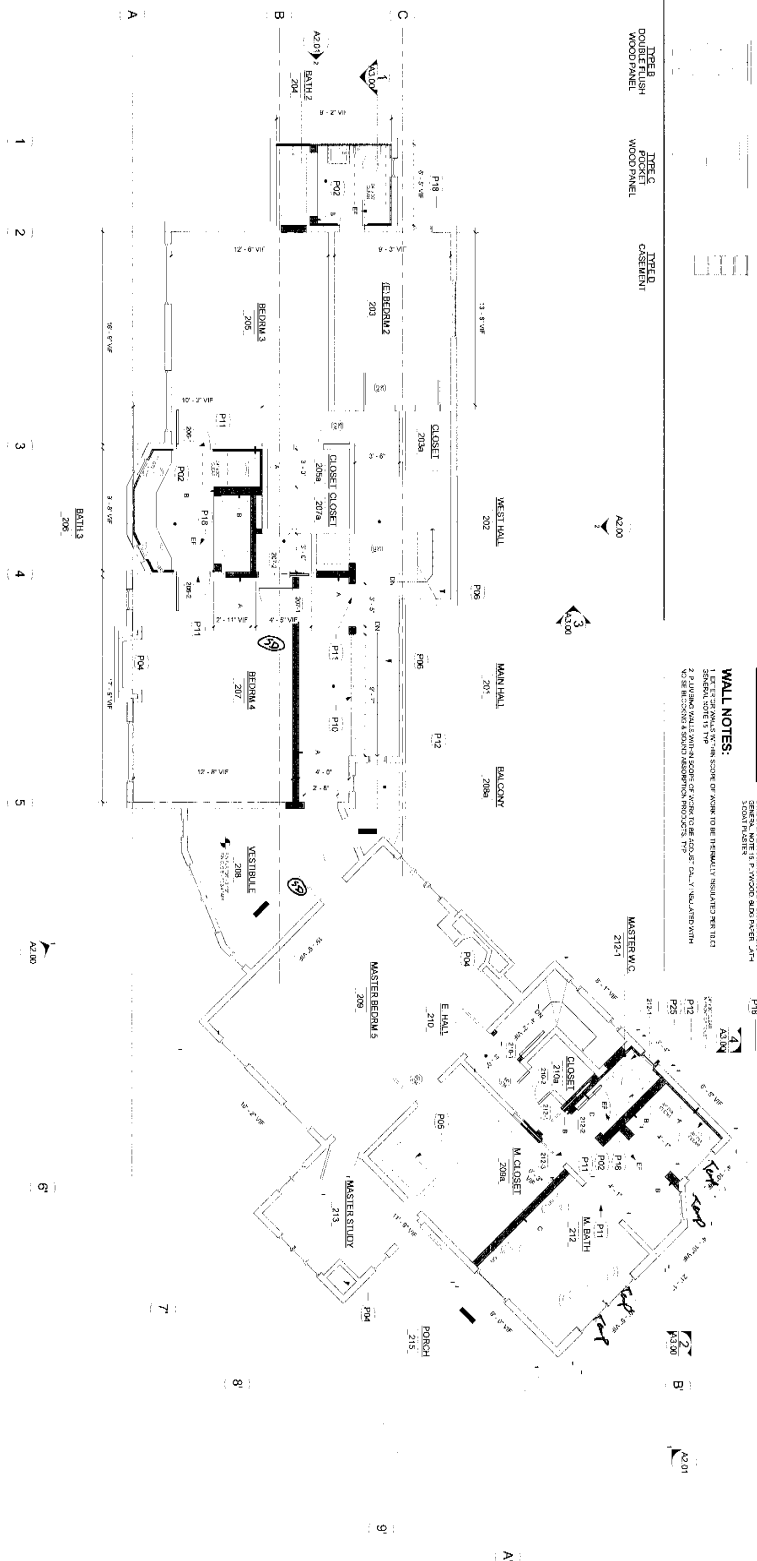
DOOR SCHEDULE - Second Floor									
NO.	ROOM NAME	BRANCH	DATE	DOOR TYPE	DOOR HEIGHT	FRAME FINISH	GLASS TYPE	GLASS FRAME	REMARKS
2051	RECEPTION	IN	INT	2	6'-8"	WOOD	WOOD	PT/GD	
2052	DATA 1-3	IN	INT	2	6'-8"	WOOD	WOOD	PT/GD	
2053	DATA 1-4	IN	INT	2	6'-8"	WOOD	WOOD	PT/GD	
2054	RECEPTION	IN	INT	2	6'-8"	WOOD	WOOD	PT/GD	
2101	E-HALL	IN	INT	2	6'-8"	WOOD	WOOD	PT/GD	
2102	E-HALL	IN	INT	2	6'-8"	WOOD	WOOD	PT/GD	
2103	E-HALL	IN	INT	2	6'-8"	WOOD	WOOD	PT/GD	

NO.		ROOM/NAME	(ELEVATION)	TYPE	WIDTH	HEIGHT	SILL HEIGHT	MAT.	FINISH	REMARKS
27-1	27-2	MASTER B.C.	(N)	EE	1'-6", 4"	2'-11 1/2"	3"-6"	STEEL	PT	SINGLE 1/4" THICK TEMPERED
DOOR & WINDOW TYPES										

[illegible]

WALL NOTES:

2. P. LIVING MALE WITHIN SCORE OF WORK TO BE ACCUSTOMED TO BE HEARING A SOUND REPRODUCTION PRODUCTS. TP



FLOOR PLAN GENERAL NOTES

- 1 SEE TO 02 FOR GENERAL NOTES & HAZARDOUS MATERIAL NOTES
- 2 SEE T03 FOR CITY OF LOS ANGELES GENERAL NOTES.
- 3 SEE TO 05 FOR CAL GREEN FORMS & NOTES
- 4 PATCH & REPAIR (E) PLASTER WHERE POSSIBLE
- 5 ALL INTERIOR & EXTERIOR STAIRWAYS SHALL BE ELUMINATED WITH MINIMUM 1 FOOTCANDLE

KEYNOTES - FLOOR PLANS

- [illegible]

SYMBOL LEGEND

- | | | VIEW NAME | |
|----------------------------------|------|-----------|------------|
| | | NAME | VIEW TITLE |
| | | 10' 0" | 16' 0" |
| EXISTING CONSTRUCTION | 0 | ELEVATION | VIEW 102 |
| TO REMAIN | --- | | |
| NEW CONSTRUCTION | | | |
| DOOR NUMBER | 101 | 10' 0" | |
| WINDOW NUMBER | 2208 | | |
| KEY NOTE | 101 | | |
| ROOM NAME & NUMBER | 101 | | |
| WALL TYPE | 101 | | |
| SHAKE & CARBON MONOXIDE DETECTOR | 101 | | |
| GROUND FAULT INTERRUPTER | 101 | | |
| DENOTATED RECEPTION | 101 | | |
| ALLEN | 101 | | |
| SPRINKLER | 101 | | |
| SWITCHES | 101 | | |





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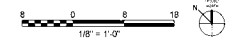
2 NORTH ELEVATION
A2.00 1/4" = 1'-0"

KEYNOTES - ELEVATIONS

- E01 (E) BRICK WALL, TYP.
- E02 (E) PAINTED STUCCO WALL W/ WOOD TRIM, TYP.
- E03 (E) CHIMNEY, TYP.
- E05 AREA OF (N) EXTERIOR WALL TO MATCH (E) FINISH
- E08 (N) WINDOW IN (E) WALL
- E10 (E) HISTORIC DOORS, RELOCATED - REFER TO DOOR SCHEDULE
- E11 EXTENT OF (E) EXTERIOR WALL



1 SOUTH ELEVATION
A2.00 1/4" = 1'-0"



NO.	DESCRIPTION	DATE
	REVISIONS	

GULLAND RESIDENCE

Phase 1

2656 Aberdeen Avenue
Los Angeles, CA 90027

SHEET TITLE

EXTERIOR ELEVATIONS

ISSUANCE
Permit Submittal

02/02/18

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17278

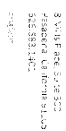
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LM, SS

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JD

DRAWING NO.

A2.00





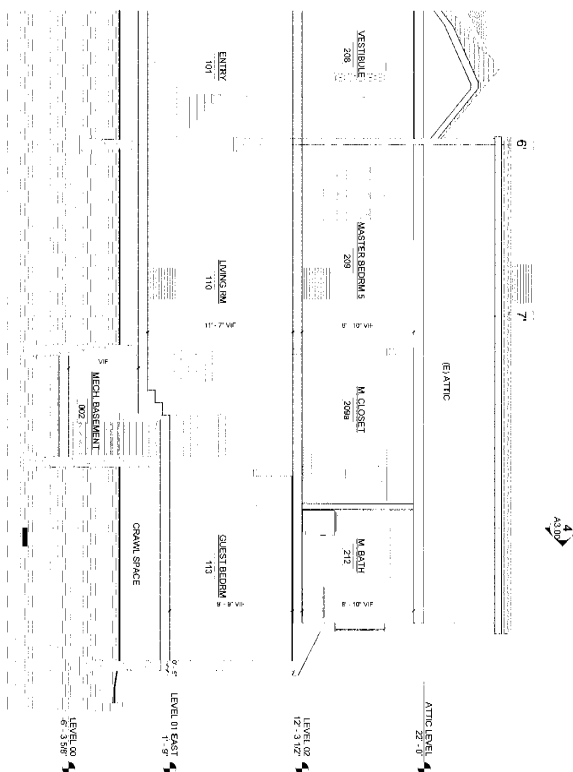
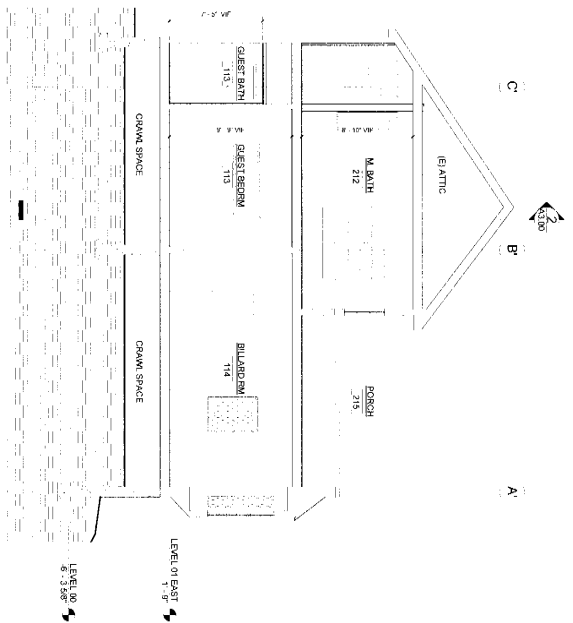
PROJ. NO.
17778

DRAWN
LM, BS

CHECKED
JD

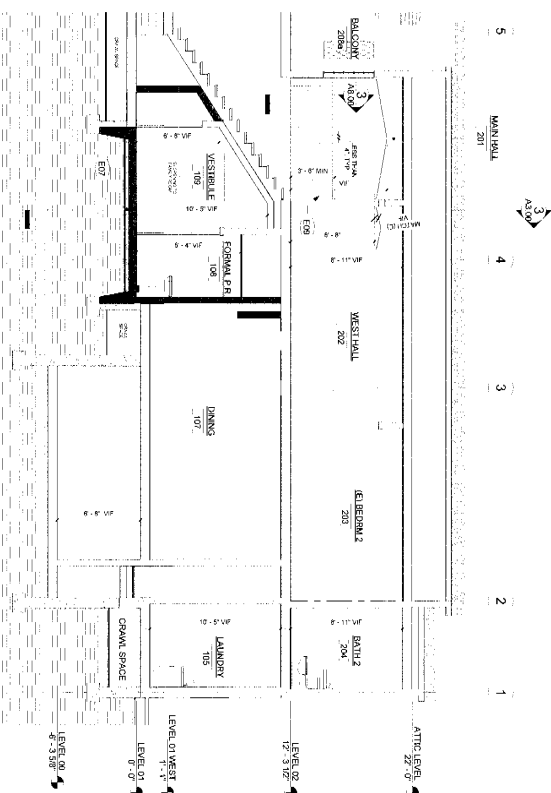
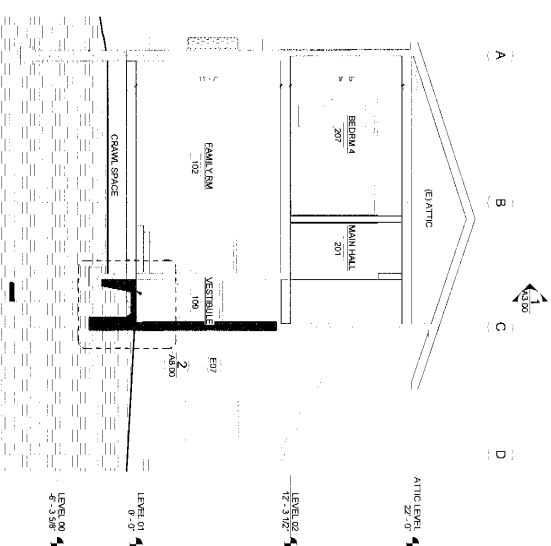
11/28/83 ARCHITECT
NO. 2180
12/14/83
11/28/83
11/28/83
11/28/83

A2.01



4 A3.00 EAST WING CROSS SECTION
1/8" = 1'-0"

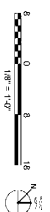
2 A3.00 EAST WING LONGITUDINAL SECTION
1/8" = 1'-0"

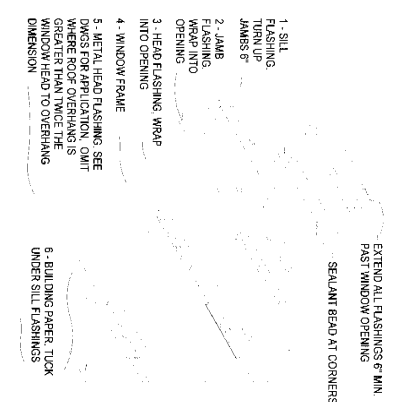


3 A3.00 WEST WING CROSS SECTION
1/8" = 1'-0"

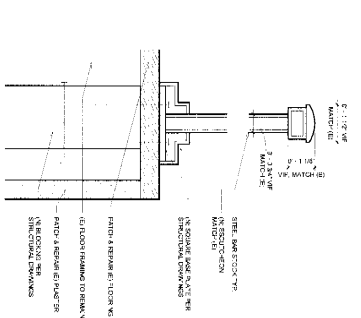
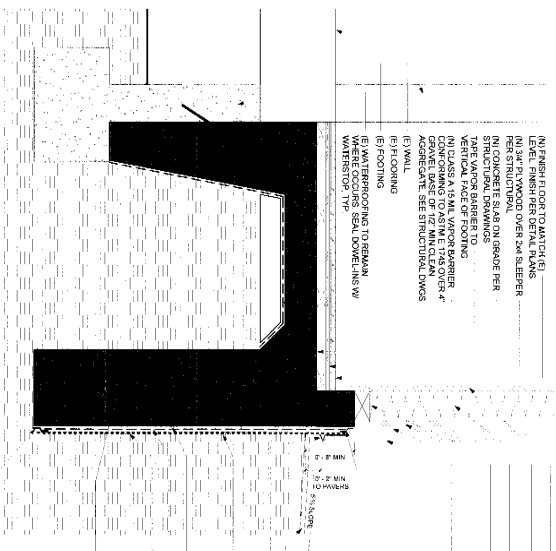
1 A3.00 WEST WING LONGITUDINAL SECTION
1/8" = 1'-0"

KEYNOTES - ELEVATIONS
 E07 FINISH GRADE ADDITION WITHIN 6 INCHES REFER TO
 E09 (ON) GUARDRAIL 36" AFF. MIN. REFER TO STRUCTURAL





- (N) INTERIOR FINISH PER INTERIOR ELEVATIONS
- (N) THERMAL INSULATION PER TOUS, GENERAL NOTE 15.
- (N) FLASHING PER STRUCTURAL DRAWINGS
- (N) 1/4" WOOD PER STRUCTURAL DRAWINGS
- (N) 2 LAYERS BLDG PAPER, GRADED
- (N) CEMENT PLASTER TO MATCH EXISTING
- (N) BUTYLENE LIQUID MEMBRANE TERMINATION
- (N) BUTYLENE LIQUID MEMBRANE TERMINATION
- (N) PAVERS PER CLIENT
- (N) FOUNDATION WEIR SORBED
- BUTYLENE WATERPROOFING MEMBRANE SYSTEM, LAYERS 2-3-4-5-6 REFER TO TABS SEE MANUFACTURER'S RECOMMENDATIONS FOR DETAILS DIPS AND MIN. PAINTS
- BUTYLENE SYSTEM 4000 SURFACE CONDITIONER
- BUTYLENE 4000 WATERPROOFING MEMBRANE HYPOCOT 220
- (N) STRUCTURAL FOOTING WITH REINFORCING PER STRUCTURAL DRAWINGS
- (N) BUTYLENE LIQUID MEMBRANE TERMINATION



3. RAILING DETAIL SECTION AT MAIN HALL, 101
A8.00 8" x 12"

2. FOUNDATION DETAIL AT EDGE OF VESTIBULE, 108
A8.00 11'0" x 11'0"

1. TYP. FLASHING DETAIL, WINDOWS & DOORS, SIM.
A8.00 12'0" x 11'0"



NO.	DESCRIPTION	DATE
1	REVISIONS	

Plan 1
3506 Alhambra Avenue
Los Angeles, CA 90027

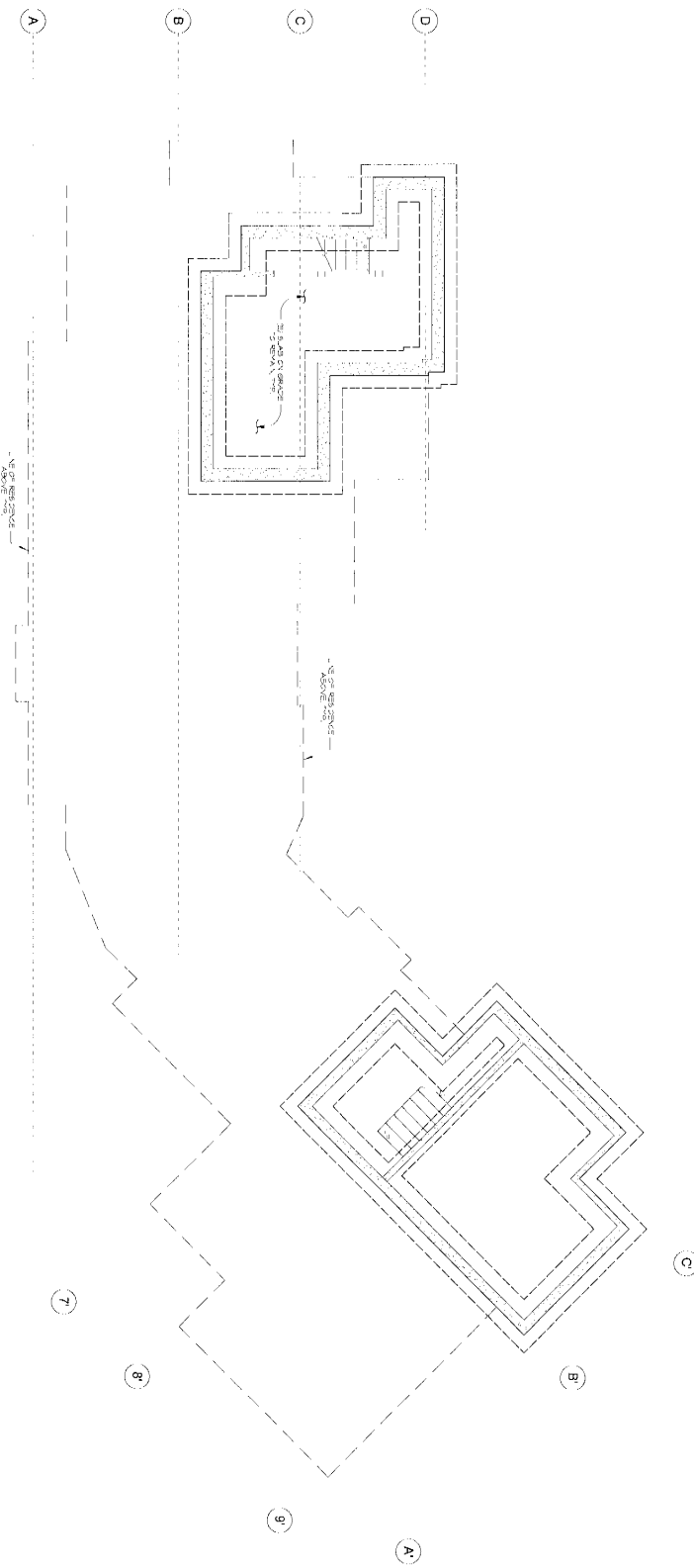
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**BASEMENT
FOUNDATION PLAN**

ISSUANCE
Permit Submitted
02/02/18

DESIGN NO.
17278
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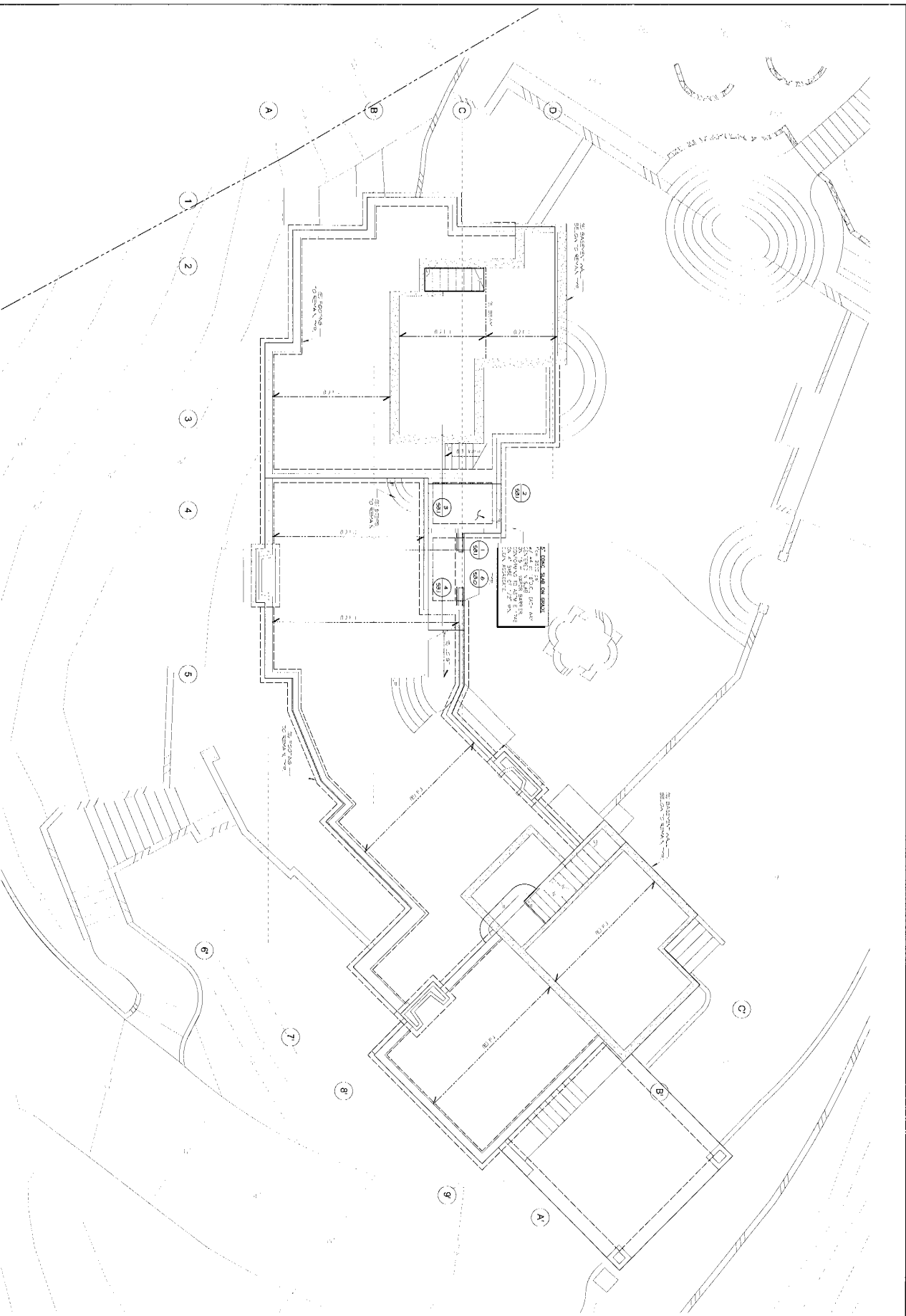
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S-2.1

NO NEW STRUCTURAL WORK
AT THIS LEVEL



BASEMENT FOUNDATION PLAN
SCALE: 1/8" = 1'-0"





FOUNDATION/FIRST FLOOR FRAMING PLAN



ALL NEW EXTERIOR WALLS SHALL BE SHEATHED WITH 5/8" CDX-5 SHEATHING. ROOF SHEATHING AND SHEAR WALL SHEATHING SHALL BE 5/8" CDX-5 SHEATHING.

COMMON WALLS ARE REQUIRED FOR ALL FLOOR SHEATHING, ROOF SHEATHING, AND SHEAR WALL SHEATHING.



8 Mills Park, Suite 300
Petaluma, California 94955
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PARKER • RESNICK
ARCHITECTS
1000 S. GATEWAY AVENUE
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SAN ANTONIO, TEXAS 78205
(214) 592-8000
www.parkerresnick.com

NO.	DESCRIPTION	DATE
1	REVISIONS	

**GULLAND
RESIDENCE**

Phase 1
2005 Anderson Avenue
Los Angeles, CA 90027

SHEET TITLE
**FOUNDATION/FIRST
FLOOR FRAMING PLAN**

ISSUANCE
Permit Submittal
02/02/18

DWG. NO.
17278

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DRAWING NO.

S-2.2

2/2/2018 11:27:25 AM



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Pasadena, California 91105
626-363-1901
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PARKER • RESNICK
REGISTERED ARCHITECTS
1001 WESTERN AVENUE
PASADENA, CA 91105
TEL: 626-363-1901
FAX: 626-363-1902
DOB: 197508

NO.	DESCRIPTION	DATE
REVISIONS		

**GULAND
RESIDENCE**

Phase 1
2504 Audubon Avenue
Los Angeles, CA 90027

SHEET TITLE
**SECOND FLOOR
FRAMING PLAN**

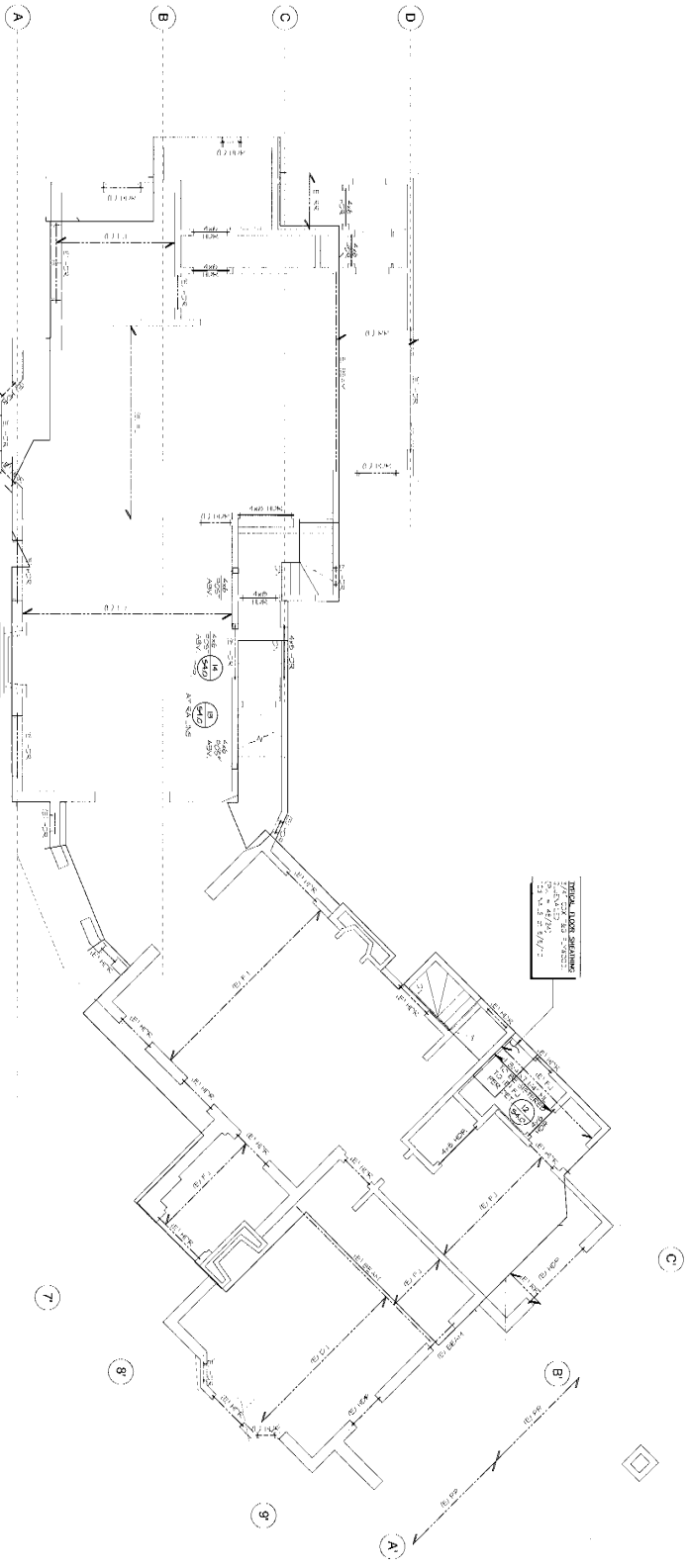
DESIGNER
Permit Submittal
02/02/18

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SC

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DRAWING NO.

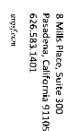
S-2.3



SECOND FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"





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eng@acm

engyl.com

LOS ANGELES
CALIFORNIA 90028
310 478 8322
JOM # 37602

RECEIVED
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FBI - LOS ANGELES

N.O.	DESCRIPTION	DATE
	REVISIONS	

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RESIDENCE

Phase

2656 Aberdeen Avenue
Los Angeles, CA 90027

SHEET TITLE

ROOF FRAMING PLAN

ISSUANCE
Permit Submittal

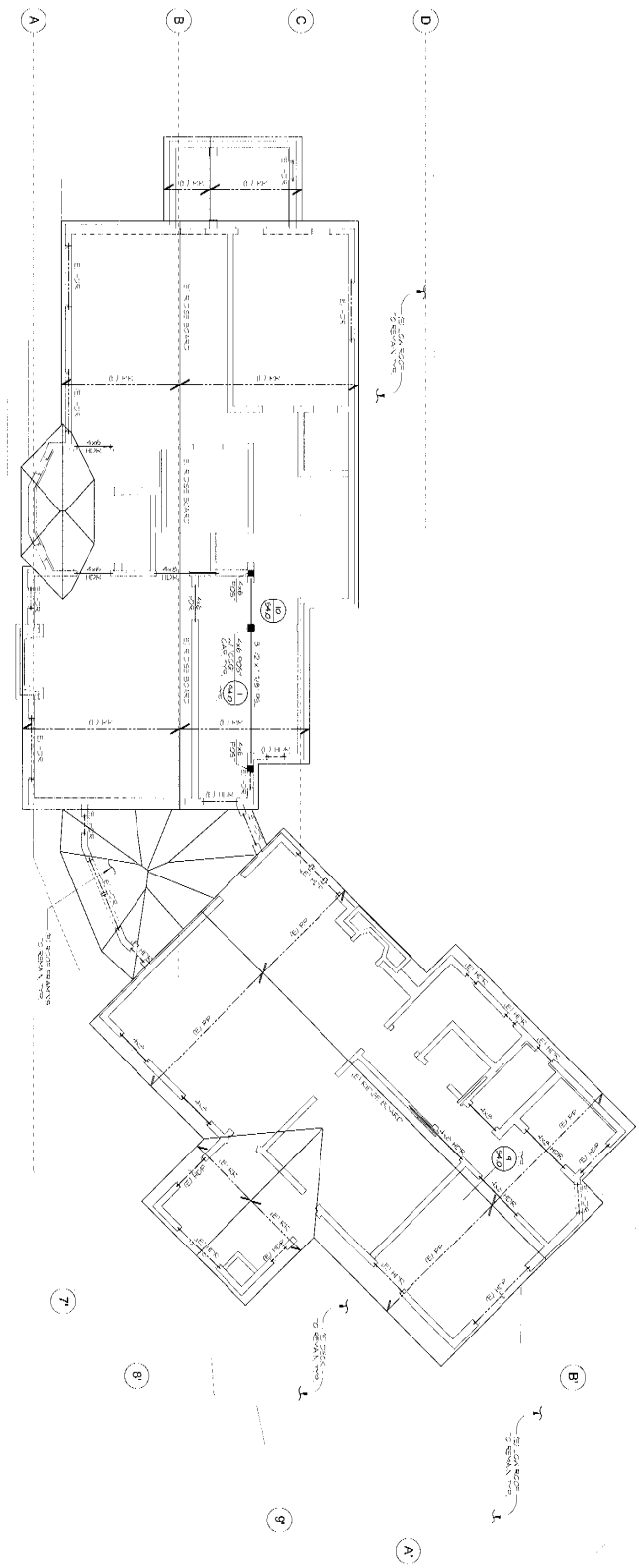
02/02/18

PROJ. NO.
17278DRAWN
PC

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DRAWING N

S-2.4


$$D_{\text{eff}} = \frac{\Delta x^2}{2t} = \frac{(0.01)^2}{2(60)} = 8.3 \times 10^{-6} \text{ m}^2/\text{s}$$


ROOF FRAMING PLAN

 $\Delta G^\circ = -7.3 \text{ kJ/mol}$

NORTH



ALL NEW EXTERIOR WALLS SHALL BE SHEATHED WITH TYPE  PLYWOOD, MINIMUM, UNLESS NOTED OTHERWISE

COMMON NAILS ARE REQUIRED FOR ALL FLOOR SHEATHING, ROOF SHEATHING, AND SHEAR WALL NAILING

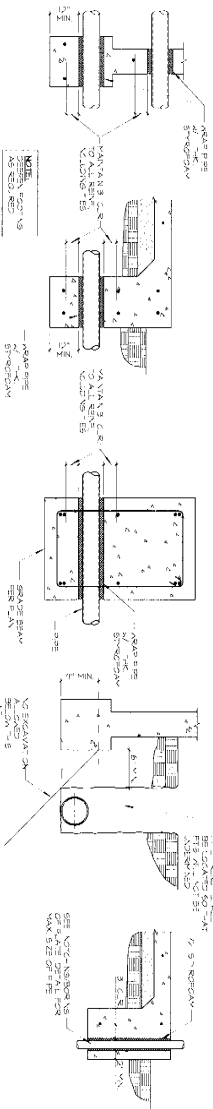


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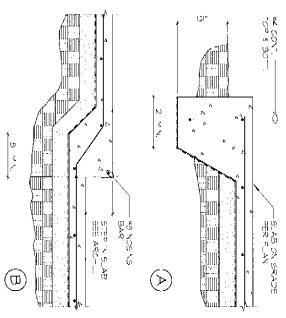
LAP LENGTH SCHEDULE

BAR SIZE	DEVELOPMENT LENGTH				TIE SPACING			
	MIN.	MAX.	MIN.	MAX.	MIN.	MAX.	MIN.	MAX.
#4	12"	24"	12"	24"	12"	24"	12"	24"
#5	18"	36"	18"	36"	18"	36"	18"	36"
#6	24"	48"	24"	48"	24"	48"	24"	48"
#7	30"	60"	30"	60"	30"	60"	30"	60"
#8	36"	72"	36"	72"	36"	72"	36"	72"
#9	42"	84"	42"	84"	42"	84"	42"	84"
#10	48"	96"	48"	96"	48"	96"	48"	96"
#11	54"	108"	54"	108"	54"	108"	54"	108"
#12	60"	120"	60"	120"	60"	120"	60"	120"
#13	66"	132"	66"	132"	66"	132"	66"	132"
#14	72"	144"	72"	144"	72"	144"	72"	144"
#15	78"	156"	78"	156"	78"	156"	78"	156"
#16	84"	168"	84"	168"	84"	168"	84"	168"
#17	90"	180"	90"	180"	90"	180"	90"	180"
#18	96"	192"	96"	192"	96"	192"	96"	192"
#19	102"	204"	102"	204"	102"	204"	102"	204"
#20	108"	216"	108"	216"	108"	216"	108"	216"

PIPE THROUGH & ADJACENT TO FOOTING

2

1



SLAB EDGE DETAILS

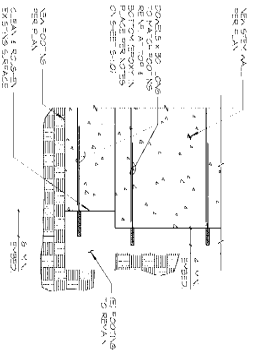
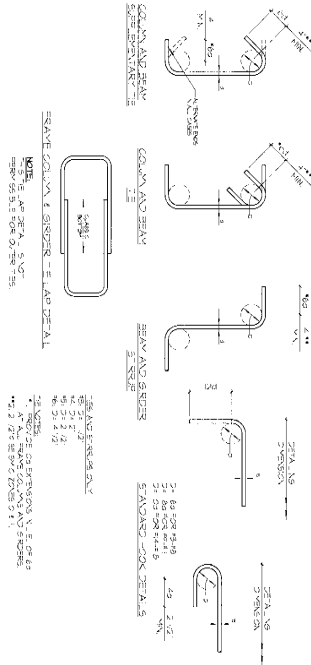
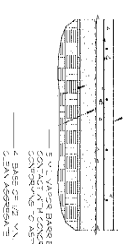
5

GREEN BLDG CODE SLAB DETAIL

4

TYP. STD. HOOK & TIE DETAIL

3



9

8

7

(N) TO (E) FOUNDATION

6

SHEET TITLE

DETAILS

ISSUANCE
Printed Schedule
02/02/18

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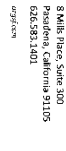
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S-3.0

**GULLAND
RESIDENCE**

Phase 3
John A. Gulland / Owner
Los Angeles, CA 90027

NO.	DESCRIPTION	DATE
REVISIONS		



REGISTERED PATENT
NO. 3,203
DATE 12/17/1965
OFFICE OF THE
COMMISSIONER
OF PATENTS
WASHINGTON, D.C. 20540

Phase 1
2656 Aberdeen Avenue
Los Angeles, CA 90027

PROJ NO.
17278

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12

APPENDIX B

MAINTENANCE AND REHABILITATION STANDARDS AND CONDITIONS**Secretary of the Interior's Standards for Rehabilitation**

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Property Maintenance

All buildings, structures, yards and other improvements shall be maintained in a superior manner. All current building and zoning codes will be enforced. The following conditions are prohibited:

- a. Dilapidated buildings or features such as fences, roofs, doors, walls and windows.
- b. Abandoned or discarded objects, equipment or materials such as automobiles, automobile parts, furniture, appliances, containers, lumber or similar items stored outside but within property lines.
- c. Stagnant water or open excavations.
- d. Any device, decoration or structure, which is unsightly by reason of its height, condition or location.
- e. Peeling exterior paint or unremoved/uncovered graffiti.
- f. Overgrown landscaping, exposed bald areas within yards or grounds and broken hardscape features which could cause injury.
- g. Other substandard conditions as cited by the Cultural Heritage Commission, the Director of Planning, or the City's Office of Historic Resources.

Conditions

This Historical Property Contract provides the potential for property tax reduction in exchange for agreement to rehabilitate and maintain an historic building. Existing conditions not in conformance with the Secretary of the Interior's Standards, may be required to be removed and the original conditions remedied as part of this contract.

APPENDIX C

2656 ABERDEEN AVENUE

LOS ANGELES



A History

THE OWNERS

In 1925, Sybil J. Morrison, a widow, purchased from Clara Hale Taylor (Mrs. Waller Taylor) all of unimproved Lot 4 of Tract 4276, a triangular piece of hillside property on Aberdeen Avenue in the developing Los Feliz neighborhood. The lot at that time had a frontage of 349 linear feet along Aberdeen. Mrs. Morrison, who was living in San Francisco at the time, commissioned architect Milton R. Sutton to design a two-story, fourteen-room home for her in the then-popular Tudor Revival style. Mrs. Morrison would serve as her own general contractor for this \$27,500 project—a large amount of money even in pre-Depression 1925 when the average house could be built for less than \$5,000. (The house was originally built as a single-family home but was used as a duplex for a period of time. Assessor's records indicate it was restored to a single-family home in 1996.)

Mrs. Morrison was born Sybil James Hartwell on November 8, 1867 in England. She immigrated to the United States in 1900, having married her husband Arthur J. Morrison around 1897. The Arkansas-born Mr. Morrison (ca. 1860-1923) evidently was independently wealthy. Living with Mrs. Morrison in her new home were Oscar L. Erickson, a clothing merchant, his wife and child, a lodger, and a chauffeur. Mrs. Morrison died in Los Angeles County on February 10, 1961 at the age of 93. The *Los Angeles Times* published only a very short death announcement, stating that Mrs. Morrison would be buried at Forest Lawn in Glendale. A copy is attached on page 11.

In November 1937, Hugo A. Aleidis (1889-1973) and his wife Dorothy Katherine Aleidis (1915-1997) took title to the Morrison home. In May 1935, Mr. Aleidis had been called “the supreme restaurateur of downtown Los Angeles” by *Westways* magazine. He was the owner of the Victor Hugo Café, an upscale restaurant that specialized in Continental cuisine and featured music and dancing. It later moved to 233 North Beverly Drive in Beverly Hills. *Westways* further commented that “there isn’t a finer restaurant, in cuisine, in service, [or] in appointments...” Another well-known branch of Victor Hugo’s subsequently opened on cliff-side property in Laguna Beach. A copy of the *Westways*’ article is attached on page 12. Mr. Aleidis later worked for Young’s Market Company, a wholesale grocery concern. He died in San Bernardino County at the age of 83.

Wallace Lemuel Ware purchased the property in June 1939. Mr. Ware, a California native, born in March 1892, was a partner in the law firm of Ware & Berol which had offices on the 11th floor of 452 South Spring Street. Mr. Ware more or less ran the company, since Mr. Berol lived in San Francisco. In 1953, Mr. Ware was appointed a judge of the Los Angeles County Superior Court. He also wrote a book entitled *Unforgettables* (Hesperian Press, 1964) that is not available locally. It is unclear whether his wife, Irene Ware, was the actress of the same name who co-starred in a number of “B”-movies in the late 1930s. Warren Ware died at the age of 72 in December 1964.

In 1945, William Benbow Thompson, Sr., an obstetrician, became the new owner of 2656 Aberdeen. Dr. Thompson was born in Monrovia, Indiana in December 1890. After receiving an A. B. degree from U.S.C. in 1912, he earned his medical doctorate in 1916 at the University of California, Berkeley. Following work in obstetrics at such institutions as Johns Hopkins and the

Henry Ford Hospital in Detroit, Dr. Thompson returned to the Los Angeles area with his wife Ruth Wood (Locke) Thompson in 1924. He set up a private practice, but was affiliated for the remainder of his professional career with a number of area hospitals, including Hollywood Presbyterian, Los Angeles County General, Cedars of Lebanon, and U.C.L.A. Dr. Thompson taught at both the U.S.C. and U.C.L.A. medical schools. He belonged to both the California Medical Association and the American Medical Association. In 1932, he was elected president of the Los Angeles Obstetrics and Gynecological Society. He was secretary of the Los Angeles Medical Symposium Society between 1936 and 1937 and was a charter member of the Pacific Coast Obstetrics and Gynecological Society. As medical director of the American Institute of Family Relations and a member of the advisory committee to the California State Board of Health, Dr. Thompson campaigned for the reduction of maternal mortality. In contrast to his medical career, Dr. Thompson also owned several farms in Indiana which he visited regularly. Dr. Thompson died in July 1965 at the age of 74. Copies of his entries in various biographical reference sources are attached on pages 13 through 15.

Florence P. and Ivan K. Whipple became the owners in October 1961. They sold to Barney and Beverly Feldman in May 1963. It was at this time that the property was decreased in size, with the frontage along Aberdeen reduced to 277 linear feet.

Born around 1918 and raised in Cincinnati, Ohio, the son of a barber, Mr. Feldman became a successful real estate developer. He moved to Los Angeles in 1945. As one of nine virtual unknowns on the ballot, Mr. Feldman ran for mayor of Los Angeles in 1977. During the campaign, he expressed his frustration with inadequate city services to his Los Feliz neighborhood and noise pollution from the nearby Greek Theatre. He would later sue the city over its imposition of an entry fee to Griffith Park. By 1982, Mr. Feldman was working as a real estate broker in the Los Feliz area. Mrs. Feldman taught child development at Los Angeles Valley College. She and her husband were active in the foster-parent program. Copies of two newspaper articles on Mr. Feldman are attached on pages 16 through 19.

In May 1996, the Feldmans sold their home to James J. Hayman and Annie Potts. Ms. Potts, a native of Nashville, who studied at both Stephens College and the California Institute of the Arts, has appeared in a number of motion pictures and television series. She has served as a spokesperson for the Arthritis Foundation and is on the auxiliary board of MADD. Her entry in the 1998 edition of *Who's Who in America* is attached on page 20.

THE ARCHITECT

No information could be found about Milton R. Sutton in on-line and hard-copy biographical sources. The California Death Index indicates he was born on February 12, 1892. Because he was an architectural designer rather than a certificated architect, Mr. Sutton and his works do not appear in professional directories or architectural journals. He evidently conducted business from an office on Sunset Boulevard during the 1920s. Upon his death on August 22, 1962, at the age of 70, the *Los Angeles Times* published only a brief death announcement, stating that he would be interred at Forest Lawn in Glendale. A copy of this announcement can be found on page 10.

THE BUILDER

It is highly doubtful (especially in the 1920s) that Mrs. Morrison, in her role as general contractor, took hammer and nails in hand and built her own house. It is far more likely that the architect actually supervised the construction, using “day laborers” as his work force.

THE ARCHITECTURAL STYLE

Tudor Revival was a dominant style of domestic building used for a large proportion of early 20th-century suburban houses throughout the United States. It was particularly fashionable during the 1920s and early '30s when only the Colonial Revival rivaled it in popularity as a vernacular style.

The popular name "tudor" is historically imprecise, since relatively few examples closely mimic the architectural characteristics of Tudor (early 16th-century) England. Instead, the style is loosely based on a variety of late Medieval English prototypes, ranging from the thatch-roof folk cottages to grand manor houses. These traditions are freely mixed in their American eclectic expressions but are united by an emphasis on steeply pitched, front-facing gables which, although absent on many English prototypes, are almost universally present as a dominant facade element in Tudor Revival houses. About half have ornamental false half-timbering, a characteristic they share with some examples of the earlier Stick and Queen Anne styles, which also drew heavily on Medieval English precedent. Unlike these styles, which were usually executed with wooden (board or shingle) wall cladding, most Tudor Revival houses have stucco, masonry, or masonry-veneered walls.

The earliest American houses in the style date from the late 19th century. These tended to be architect-designed landmarks which, like the first American Queen Anne houses built twenty years earlier, rather closely copied English models. Many were patterned after late Medieval buildings with Renaissance detailing that were popular during the reigns of Elizabeth I and James I, the Elizabethan and Jacobean eras of English history. In the United States, the uncommon landmarks of the early Tudor Revival style were joined in the decades from 1900 to 1920 by less pretentious houses which superimposed steep gables, half-timbering, or other typical detailing upon otherwise symmetrical facades (most commonly with full front gables). These modest early examples, unlike most Tudor Revival houses, tend to have walls clad with weatherboard, shingles or stucco (applied over wooden lath), thus avoiding the expense of solid masonry construction. Still relatively uncommon before World War I, the style expanded explosively in popularity during the 1920s and '30s as masonry veneering techniques allowed even the most modest examples to mimic closely the brick and stone exteriors seen on English prototypes. They show endless variations in overall shape and roof form and are most conveniently subdivided on the basis of their dominant facade materials (brick, stone, stucco, or wood). Tudor Revival quickly faded from fashion in the late 1930s, but became popular in somewhat modified form during the new period revivalism that began in the 1970s and '80s.

The **parapeted gable subtype** of the Tudor Revival style is based on the more formal English building traditions of late Medieval times. In these, the walls of the characteristic front-facing

gables rise in a parapet above the roof behind. Shaped, Flemish-inspired gables were commonly used. Although elaborate facade detailing of Gothic or Renaissance inspiration is quite common in this subtype, mixing it with the half-timbering is rare. This subtype was built most predominantly in the American northeast between 1895 and 1915. After World War I, less formal, more picturesque early English models dominated architectural fashion, although scattered parapeted landmarks continued to be built through the 1930s.

Houses with **brick-clad walls**, such as the Morrison house, represent the most common of all the subtypes of Tudor Revival. Walls of solid brick masonry were sometimes used on landmark examples early in the 20th century, but brick became the preferred wall finish for even the most modest Tudor cottages after masonry veneering became widespread in the 1920s. Brick first-story walls are commonly contrasted with stone, stucco, or wood claddings on principal gables or upper stories. False half-timbering occurs on about half the houses in this style, with infilling of stucco or brick between the timbers and, quite often, elaborate decorative patterns in the arrangement of timbers or brick.

(Note: Much of the preceding discussion is based on text found in *A Field Guide to American Houses* cited in the Sources section.)

The Morrison house is a good example of the Tudor style, with its brick-clad first floor and half-timbered second floor, its steeply-pitched slate roof, and its use of Tudor-style arches and diamond-paned windows.

THE HOUSE AND PROPERTY IN THE PUBLIC RECORD

On December 9, 1925, building permit #42006 was issued to the architect Milton Sutton for the construction of a one-family residence of fourteen rooms. The house was to measure approximately 30 by 86 feet, its highest point to be 38 feet. It was to have redwood mudsills, a concrete foundation, frame walls of brick veneer on the first story, stucco over metal-lath on the second story, a slate roof, and brick chimneys.

Permit #42007 was issued the same day for a two-story garage that was to contain a chauffeur's quarters of three rooms on the upper floor. This building was to measure approximately 22 by 30 feet, with 21 feet as its highest point. It would also have redwood mudsills and a concrete foundation, with concrete and stucco-over-metal-lath walls, and a slate roof. The ceiling of the garage and the wall next to the staircase to the second story would be fireproofed.

Extensive termite repair work to the house and garage was permitted in February 1930. The U. S. Termite Control Company of Pasadena was the contractor. The work included the raising of the foundations, replacement of rotted timbers, replacing dirt-fill with foundation material beneath the steps, and putting a curb at certain parts of the walls near the house. The cost was estimated at \$500.

In May 1937, a permit was issued for alterations to the residence, to cost \$450. No structural changes or additions were to be made. Architect H. B. Aarens presented plans which showed the

removal of non-bearing partitions and the moving of a stairwell to a new location. New partitions were to be added and a kitchen was to be tiled. No contractor was named. A supplemental permit was issued in October 1937 to increase the cost of the job to \$1,100. All the descriptive information on this permit was crossed out, but it appears that additional decorating and finishing work was planned.

A grading permit was issued in September 1964 to allow changes to the driveway. Maximum cut or fill permitted was 140 cubic yards. A sewer-line “to an adjacent parcel” was capped in December 1964.

Repair of three earthquake-damaged chimneys was permitted in June 1994. Harold P. Wu of San Gabriel was the engineer, and the owner served as his own contractor for this \$5,000 project.

Copies of these permits can be found on pages 21 through 31.

The earliest building record for this property in the files of the Los Angeles County Assessor is dated April 18, 1939. This was evidently the Assessor’s first visit to the site after the alterations of 1937. He described the house as a double-residence with a garage. The two-story dwelling had a concrete foundation, stucco walls (with brick veneer on the front of the first story), a gabled heavy slate roof of good quality, and steel sash with leaded-glass windows. Heat was provided by five fireplaces (four with marble facing) and a gas furnace with ten ducts. There were twenty plumbing fixtures of both “good” and “special” quality. Lighting fixtures were also rated “good” and “special.” Interior finishes included putty, Sanitas, wallpaper, and ornamental woodwork. A refrigerator and cedar closets were built-in. Over-all construction quality was rated “special”—the highest category available.

The Assessor estimated the square footage at 4,780. The first floor contained three living rooms (one paneled in walnut with tapestry panels), a bar-room with redwood-paneled walls, one bedroom, one and two-thirds bathrooms, two kitchens, and a breakfast room. On the second floor were two living rooms, five bedrooms, one dressing room, and three bathrooms. One of the bathrooms had a sunken tub. The house had a total of thirteen hardwood floors and two rooms with hardwood finishes. There were also three unfinished basement areas, totaling 193 square feet. One of these areas contained a finished laundry room. The garage had a cement floor, concrete and stucco walls, and a hipped slate roof. The Assessor also noted an apartment over the garage that contained a bedroom, kitchen, and bathroom. In 1997, the Assessor noted that a swimming pool and spa had been added to the property and that 103 square feet had been added to the house—in two areas, measuring 11 by 3 feet and 5 by 14 feet. The Assessor also stated that the house was being converted to a single-family residence with guest-quarters.

Copies of the Assessor’s records can be found on pages 32 through 37.

THE WORLD AND COMMUNITY IN 1925

The mid-1920s was a time of great optimism in the nation, state, and community. Americans paid little attention to the world scene, although the resolution of the Scopes “monkey trial” in

Tennessee, and the death of one of the attorneys, William Jennings Bryan, two days later did provide a distraction. Senator Burton K. Wheeler was indicted by a Washington grand jury for an alleged conspiracy against the government. The United States, under the Presidency of Calvin Coolidge, ratified the Nine-Power Treaties for limitation of armaments. In Russia, Stalin began to assume power after the 1924 death of Lenin. In September, the dirigible “Shenandoah” was wrecked in Ohio, killing 14, followed by the court-martial of military aviator Billy Mitchell who had sharply criticized those responsible for the disaster.

Friend W. Richardson, a Republican, was Governor of California. The state continued to serve as a romantic lure to the snowbound East, with its promises of sunshine, wealth from orange-growing, and possible movie stardom. Two possible plans for reorganizing the state legislature were being hatched during 1925. One was the “Los Angeles Plan” which would call for reapportionment according to population in both houses and delegation to a commission of ex officio members with power to act if the legislature failed; and the “Federal Plan” which would apportion seats in the lower house by population and in the upper house by county. Voters would select the “Federal Plan” in the elections of 1926.

By 1925, Los Angeles was emerging as a major national metropolis. The previous year its population had reached 1,000,000. In fact, the year 1920 had marked the first time Los Angeles outstripped San Francisco as the most populous city in California. The great real estate boom of the earlier 1920s had slowed tremendously, and subdivision activity declined. Los Angeles was said to have 43,000 real estate agents, many of whom obviously had to find new jobs. The city continued to invest in its future, however, as 150 miles of new streets were paved and the areas of Providencia, Cienega, Annandale, Clinton, Wagner, and Fairfax were annexed. The departure from Los Angeles of four Douglas airplanes on their pioneering around-the-world flight in 1924 was the first indication that the city was to become a center for aircraft production. In the area of popular culture, the long-awaited De Mille film *The Ten Commandments* was playing to record crowds.

A number of literary masterpieces appeared in 1925. Among them: Theodore Dreiser’s *An American Tragedy*, *Arrowsmith* by Sinclair Lewis, F. Scott Fitzgerald’s *The Great Gatsby*, T. S. Eliot’s poetic work *The Hollow Man*, *Mrs. Dalloway* by Virginia Woolf, and Ezra Pound’s *The Cantos*. George Bernard Shaw won the Nobel Prize for Literature in 1925, while the world mourned the loss of poet Amy Lowell and English novelist H. Rider Haggard. Motion pictures making their debut in 1925 included *Potemkin*, Charlie Chaplin’s *The Gold Rush*, F. W. Murnau’s *The Last Laugh*, *The Big Parade* starring John Gilbert and Renee Adoree, and Ronald Colman and Vilma Banky in *The Dark Angel*. Art Deco, one of the great art movements of the 20th century, was introduced in 1925 at the Paris Exposition. On the stage, Noel Coward’s play *Hay Fever* debuted, as did Rudolf Friml’s operetta *The Vagabond King*. The Marx Brothers were also cavorting on-stage in *The Cocoanuts*. The songs *If You Knew Susie* by Al Jolson and Eddie Cantor and *Sweet Georgia Brown*, popularized by Ethel Waters, both premiered in 1925. George Balanchine became the chief choreographer of the Ballets Russes company and the *Grand Ole Opry* began its long-running country music radio show.

THE SIGNIFICANCE OF THE PROPERTY

This property is eligible for listing in the California Inventory of Historical Resources due to its fine design; its good state of preservation; its association with a number of historically significant owners; and, because of the home's prominent siting, its contribution to the architectural and historical context of the Los Feliz neighborhood

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Westways: May 1935

Internet Resources, including California Index, California Death Index, Gale
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www.buildingbiographer.com

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 December 2001; slightly revised 2018

SUTTON, Milton R.
Services 12:30 p.m. Friday, Wee
Kirk o' the Heather, Forest Lawn,
Glendale. W. A. Brown & Son, direc-
tors.

Los Angeles Times
August 23, 1962; pt. II, p. 8

MORRISON, Sybil J.

Services at 3 p.m., Tuesday, Little
Church of the Flowers, Forest Lawn
Memorial-Park, Glendale.
Forest Lawn Mortuary in charge.

Los Angeles Times
February 11, 1961; pt. III, p. 10

"Let's Dine Out!"

About Wilshire and Beverly Hills

Mecca On the Boulevard

LONG the supreme restaurateur of downtown Los Angeles, Hugo Aleidis sometime since picked up the salamanders and the casseroles, the duck-presses and the salvers, of The Victor Hugo Café and moved to Beverly Hills. The result is more room, ready accessibility, and ample parking facilities. Moreover, there isn't a finer restaurant, in cuisine, in service, in appointments west of anywhere.

The Victor Hugo never has been cheap. Supreme continental cookery requires the best of ingredients—butter, eggs, olive oil, meats, fishes, fowls, vegetables, wines—and ample quantities of them. Hugo's chefs never stint on anything that will make any dish better. So don't expect a Sole Marguery at the price of fried fillet of sole, or a Bouillabaisse at the price of a quick-lunch chowder.

I've never been admitted into the sacred precincts of Hugo's kitchens but I fancy one wouldn't have much difficulty in finding there such esoteric, rare and yet really essential things as green tarragon, mussels (wholesome ones, too), fresh caviar, white truffles, and terrapin.

Hugo's chefs will press a duck divinely and serve it with a perfect sauce of a vintage Medoc—if you'll supply the duck; and concoct Crêpes Suzette beside your table as Crêpes Suzette should be concocted.

Here's the spot to take your gourmet friend who thinks the Tour d'Argent unequalled, or the girl friend you're trying to impress. If French menus appall you, don't hesitate to put yourself in the hands of the maitre d'hotel. He'll choose a dinner or a supper for you that you'll be talking about at this time next year. Music and dancing. The finest of wines and liquors. (The Victor Hugo, 233 N. Beverly Drive, Beverly Hills. Phone OXford 7055).

Westways
May 1935; p. 26

THOMPSON, WILLIAM BENBOW:

Obstetrician; b. Dec. 26, 1890, Monrovia, Ind., s. Thomas Lindley and Mary B. (Hubbard) Thompson; ed.: U.S.C., A.B. 1912; U. of Cal., M.S. 1914, M.D. 1916; m. Ruth Wood Locke, June 12, 1916. Grad. Fellow, Obst., Johns Hopkins Hosp., Baltimore, Jan.-Aug. 1920. House Officer, Sloane Maternity Hosp., Sept.-Dec. 1920. Asst. Surgeon and Asst. Obstetrician, Henry Ford Hosp., 1921-24. Mem.: Los Angeles Co. Med. Assn.; Los Angeles Obst. and Gynecol. Soc. (Pres. 1932); Los Angeles Med. Symposium Soc. (Sec. 1936-37); Cal. Med. Assn.; (F.) A.M.A.; (Charter) Pacific Coast Obst. and Gynecol. Soc. Chmn. Los Angeles Maternal Mortality Comn. 1st Lt. Army Med. Service, U.S.A. Res.: 1323 Clubview Dr. Office: 1930 Wilshire Blvd., Los Angeles, Cal.

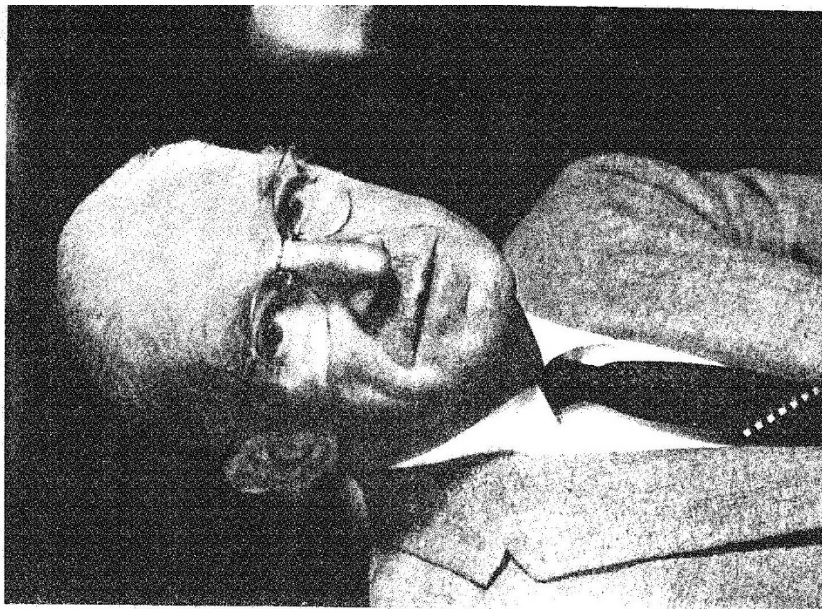
Who's Who among Physicians and Surgeons
(1938); p. 1202

THOMPSON, WILLIAM BENBOW, obstetrician; b. Monrovia, Ind., Dec. 26, 1890; s. Dr. Thomas Lindley and Mary B. (Hubbard) T.; A.B., U. So. Cal., 1912; M.S., U. Cal., 1914, M.D., 1916; m. Ruth Locke, June 12, 1916; children—Nancy Jane (Mrs. Alfred Seale, Jr.), William Benbow, III, Charles Edward Locke. Intern U. Cal. Hosp., 1916-17; house officer N.Y. Lying-In Hosp., 1919; grad. fellow obstetrics Johns Hopkins Hosp., 1920; asst. resident gynecology Sloane Maternity Hosp., N.Y.C., 1920, Henry Ford Hosp., Detroit, 1921-24, asst. obstetrician, 1922-24; practicing obstetrician, Los Angeles, 1925-59; asso. clin. prof., U. So. Cal., 1944-53; clin. prof. obstetrics U. Cal. at Los Angeles, 1953-61, emeritus clinical professor obstetrics, from 1961; emeritus staff Hollowood Presbyterian, Cedars of Lebanon hosps.; med. dir. Am. Inst. Family Relations; med. dir. Florence Crittenton Assn., 1939-57; consultant to the Cal. State Dept. Pub. Health. Served as 1st lieutenant M.C., U.S. Army, 1918-19. Diplomate Am. Bd. Obstetrics and Gynecology. Mem. Am. Medical Assn., Cal. Med. Assn., Am. Assn. Obstetricians and Gynecologists, Pacific Coast (president 1949), Los Angeles (pres. 1931-32) obstet. and gynec. socs. Am. College of Obstetricians and Gynecologists (founder mem.). Nat. Fedn. Obstetric-Gynecologic Socs. (president 1948), Los Angeles Acad. Medicine, Los Angeles Symposium Society (president 1939-40), Phi Beta Kappa, Sigma Xi, Alpha Omega Alpha, Nu Sigma Nu, Chi Phi. Author articles in med. publs. Address: Hollywood, Calif. †

Who's Who in America
Vol. 8, p. 396

THOMPSON, William Benbow, obstetrician, was born in Monrovia, Ind., Dec. 26, 1890, son of Thomas Lindley and Mary Belinda (Hubbard) Thompson. His father was a physician. William B. Thompson received his preliminary education at public schools in Indianapolis, Ind., and attended the University of Southern California, where he was graduated A.B. in 1912, and the University of California, where he was graduated M.S. in 1914 and M.D. in 1916. He served an internship in 1916-17 at the University of California hospital, San Francisco. In the latter year he was appointed junior attending physician at the Los Angeles General Hospital, which post he held briefly until this country's entry into the First World War, at which time he joined the U.S. Army Medical Corps as a 1st lieutenant. He was assigned to the air section of the Signal Corps and served in this country. Following his discharge with the rank of 1st lieutenant in 1919, he spent a few months at New York Lying-In Hospital, in 1920 going to Johns Hopkins Hospital, Baltimore, Md., as a graduate fellow in obstetrics. He returned to New York City in the same year to become house officer in gynecology at Sloane Hospital for Women, and in 1921 he joined the staff of Henry Ford Hospital, Detroit, Mich., as assistant obstetrician, a post he held until 1924. In the latter year he settled in Hollywood, Calif., where he engaged in the practice of his specialty until his retirement. Thompson was associated with various hospitals in the area, serving as a member of the staff of Hollywood Presbyterian Hospital from 1924 to his death, as attending physician at Los Angeles County General Hospital until 1953, and as a member of the staffs of Cedars of Lebanon Hospital, Hollywood, and the hospitals associated with the University of California School of Medicine at Los Angeles. During the course of his career he held several teaching appointments. He served as associate clinical professor of obstetrics at the University of Southern California from 1944 to 1953 and as clinical professor of gynecology and obstetrics at the University of California School of Med-

National Cyclopaedia of American Biography,
vol. 51; p. 605



THE NATIONAL CYCLOPEDIA OF AMERICAN BIOGRAPHY

William Benbow Thompson

icine at Los Angeles from 1953 to 1961. He retired as clinical professor emeritus in the latter year. Among the articles that he contributed to professional journals were "Analysis of Cesarean Sections in Los Angeles County" (Amer. Jour. Obstet. & Gynec., Mar. 1930); "Nicotine in Breast Milk" (Ibid., Nov. 1953); "Induction of Labor" (Calif. & West Med. Jour., Nov. 1938); "Death After Cesarean" (West. Jour. Surg. Obstet. & Gynec., Jan. 1938); "Resuscitation of the Newborn" (Ibid., Mar. 1941); and "Erroneous Diagnosis of Amniotic Fluid Embolism" (Amer. Jour. Obstet. & Gynec., 1965). Active in national and local welfare organizations, he was medical director of the American Institute of Family Relations and the Florence Crittenton Home in Los Angeles and a member of the advisory committee of California State Board of Health. He participated in many campaigns to reduce maternal mortality in the state of California, and in 1952 he was president of the Los Angeles Obstetrical and Gynecological Society and at one time president of the Los Angeles Medical Symposium Society. A diplomate of the American Board of Obstetrics and Gynecology, he was a member of the American College of Obstetricians and Gynecologists, American Association of Obstetricians and Gynecologists, the Pacific Coast Society of Obstetricians and Gynecologists, the American and California Medical associations, Chi Phi, Nu Sigma Nu, Phi Beta Kappa, Sigma Xi, Alpha Omega Alpha, and the Deauville Club of Santa Monica, Calif. In religion he was Episcopalian. Politically he was a Republican. His major avocational interest was stamp collecting. He also enjoyed farming and owned farms in Indiana. He was married in Los Angeles, June 12, 1916, to Ruth Wood, daughter of Charles Edward Locke of that place, a clergyman, and had three children: Nancy Jane, who married Alfred Seale; William Benbow; and Charles Edward Locke. William B. Thompson died in Los Angeles, Calif., July 12, 1965.

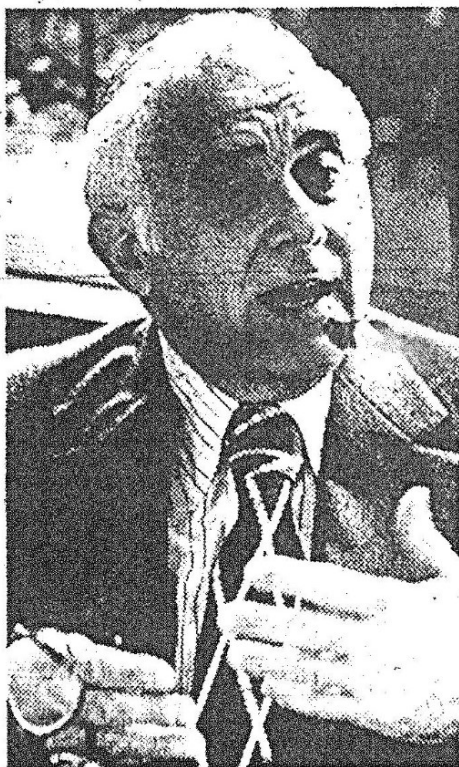
Barney Feldman Seeking Reform in Bid for Mayor

BY KENNETH REICH

Times Political Writer

When Los Feliz area businessman Barney Feldman told a neighbor he was going to run for mayor, he recalled, the neighbor replied that one just can't go out and run for mayor without any background at all in politics.

Yet that is what Feldman is doing.



Barney Feldman

Times photo

He is one of the nine mayoral candidates (out of the dozen who have qualified for the ballot) who entered this year's contest as virtual political unknowns.

Most of the attention in this mayoral race, as in every other major political contest, goes to the better-known names and/or those perceived to have a chance to win. This year,

This is the first in an intermittent series of articles examining candidates for mayor.

there are three—Mayor Bradley, state Sen. Alan Robbins (D-Van Nuys) and tax foe Howard Jarvis.

But those who are often called "minor candidates" are, in their own right, often interesting personalities with compelling personal reasons for running—and Feldman is such a man.

The Feldman candidacy, it was indicated in interviews, grew out of certain personal frustrations experienced by himself, his wife and some of his neighbors and also out of a perhaps naive assumption that by running for mayor he can bring about at least some change.

"I think he'll make changes," said Feldman's wife, Beverly, a teacher of child development at Los Angeles Valley College, at a news conference

Los Angeles Times,
February 17, 1977;
pt. II, p. 1

continued...

Feldman Wants City Reforms

Continued from First Page

for husband recently called at the Greater Los Angeles Press Club. "I let you get more police coverage after a p.m. And he may even win. You'd be surprised how much support he has."

For the two reporters who showed up for the news conference, Feldman, his wife and a neighbor, Mrs. Sigard Rhoades, 42, 529 1/2th St., alleged inefficiency and duplications in the city government. But the most eloquent talk was about the frustrations of living in their Los Feliz neighborhood.

Feldman claims that while the total number of persons in the Police Department has increased by about 25% in the last nine years, the number of persons on the street has gone up by only about 4%.

And although a police spokesman has questioned Feldman's figures, the neighbor, Mrs. Rhoades, came forward

to say that she had had a discouraging experience with police responding to a burglary call she made Dec. 28.

She said that despite the fact she told police by phone that she believed a burglary at her home was still in progress, it took two police cars 20 minutes to get to her home.

"Have you ever called the police and had the number busy," interjected Mrs. Feldman.

Mrs. Rhoades went on to complain that while the authorities say they close Griffith Park, near the Feldman and Rhoades residences, at 10 p.m., actually they don't. And she said that Greek Theatre microphones are so loud that on one occasion, "We had Neil Diamond in our bedroom to midnight."

It is apparent that such concerns have a lot to do with Feldman's decision to come out of obscurity and run for mayor. But there is also his feeling that the city govern-

ment costs too much, has too many employees and that many of those employees occupy themselves with "make-work" projects.

Feldman said that he does not intend to accept "one dime" in campaign contributions. But within the limits of a poorly funded and staffed campaign, he is busying himself studying the books of municipal government, appearing at candidates' nights and making frequent calls to reporters covering the mayor's race.

He also has complained that many traffic counts being taken by municipal employees are useless, saying, "There's about three floors of employees that coordinate these. We have to eliminate all these make-work projects."

During the Press Club news conference, Feldman also called attention to what he alleges is serious waste involving city commissions.

"Each commission has its staff and each staff does what," he asked. "The heads of municipal departments have strings attached to the commissions. The commissions are just pictures on the wall."

He said that as mayor he would "make a close study of each department and eliminate make-work departments." But he indicated he would beef up the Police Department because "the general public is being shortchanged on protection."

Feldman also has frequently cited \$360 million in increases in the municipal budget under the Bradley administration as a good reason to oppose the mayor and he said there are far too many city employees per 1,000 overall city population.

"At a recent candidates night on the San Fernando Valley," Feldman began. "My background is in business, starting out running my father's hardware shop in Cincinnati, Ohio, when I was 10 years old. And I've been in business ever since, in real estate development, in housing."

He moved to Los Angeles in 1945 and has lived here since, although up to now he has taken no risk in city government and has never run for public office. Feldman is 58 years old. He and his wife have a grown son and two grandchildren. They also were foster parents to 15 other children from broken homes at various times.

Asked whether he could point to any official or civic experience, any memberships, that would have a bearing on the mayor's race, Feldman cited only membership in the National Assn. of Housing and Development Officials.

Like many lesser-known candidates, Feldman has a policy of expressing optimism about his chances.

"We're really starting to roll now," he told The Times Wednesday. "Calls from citizens are coming in all the time expressing support."

The newest challenger to the Griffith Park fee

Man sues to get his 50 cents back

By Richard Nordwind
Herald Examiner staff writer

3/24/82

Barney Feldman is only suing the city of Los Angeles for 50 cents, but he's trying to give some bureaucrats a million dollars worth of aggravation.

Feldman filed suit in Small Claims Court yesterday charging that the city acted illegally by charging him a 50-cent vehicle entrance fee at Griffith Park in October.

It's not just the principle of the thing. Feldman wants his money back.

"I could have gone to Superior Court and questioned the legality of the fee," said Feldman, a 64-year-old real estate broker from Los Feliz. "But I decided to stick to the issue and go to Small Claims Court for 50 cents."

Feldman paid his park fee on Oct. 6, six days after it went into effect. He made sure he got a signed receipt at the Vermont Avenue entrance so the city wouldn't claim he just found one on the ground.

He certainly got his 50 cents worth: Named as co-defendants in the action are the city of Los Angeles, Mayor Tom Bradley, the entire Recreation and Parks Commission and the toll collector who garnered the four bits from Feldman.

A hearing on Feldman's suit has been scheduled for April 29.

James Hadaway, general manager of the Recreation and Parks Department, said he's not taking Feldman's suit "overly serious." He noted that Feldman had filed complaints with the city before over use of the Greek Theater for rock concerts.

"He seems to enjoy that sort of thing," said Hadaway.

Hadaway noted that a suit to halt the fee brought by Harold Griffith — grandson of Col. Griffith Griffith, who donated the park land to the city in 1896 — had been dismissed in Superior Court.

But Feldman feels history, if not legal precedent, is on his side. In a press conference yesterday, Feldman quoted Judge Alexander Campbell thanking Col. Griffith for his gift in a statement printed in the Los Angeles Daily Times of Dec. 17, 1896.

"To make a park suitable for the enjoyment of all it must have free access," the statement read. "It must be open to the poor as well as to the rich."

Feldman argues that personal history is on his side as well. His father, a barber from Cincinnati, challenged a city ordinance back in the 1930s that made it illegal to keep a barber shop open past 5 p.m.

Feldman said his father, who kept his shop open until midnight, successfully fought the law in court. His father's case taught him a lesson, Feldman said — it's possible to fight City Hall and win.

Said Feldman, "I've always been interested in fighting things that were unfair to those who didn't have a voice."

But Hadaway claims that the voices that cried out against the fee are dying down. He points to recent parks department statistics that show zoo attendance is up through the first three months of 1982, after a 6-month decline.

At least one concessionaire, however, thinks the city's figures are misleading. Chester Peterson, who heads the firm that operates two miniature train rides at Griffith Park, believes the fee has all but derailed his business.

Peterson said his revenue has continued to drop in 1982, and he blamed the decline on the fee.

"I can't believe that things are going OK, not when I see figures like this every day," he said.



Dean Musgrove/Herald Examiner

Barney Feldman is fighting for people who don't "have a voice."

POTTE, ANNIE, actress; b. Nashville, Oct. 28, 1952. Student, Calif. Inst. of Art; BFA, Stephens Coll. Appeared in films including *Corvette Summer*, 1976, *King of the Gypsies*, 1978, *Heartaches*, 1982, *Crime of Passion*, 1984, *Ghostbusters*, 1984, *Stick*, 1985, *Pretty in Pink*, 1986, *Jumpin' Jack Flash*, 1986, *Pass the Ammo*, 1988, *Who's Harry Crumb*, 1989, *Ghostbusters II*, 1991, *Texasville*, 1990, *Breaking the Rules*, 1992, *Toy Story* (voice only) 1995; plays include *Richard III*, *Charley's Aunt*, *Cymbeline*; TV appearances include *Black Market Baby*, 1977, *Flatbed Annie* and *Sweetie Pie*; *Lady Doctors*, 1979, *Cowboy*, 1983, *Why Me?*, 1984, *Ladies in Waiting*; TV series include *Goodtime Girls*, 1980, *Designing Women*, 1986-1993, *Love and War*, 1993-95 (Emmy nomination, Lead Actress - Comedy Series, 1994), *Thompson Minds*, 1996. Spokesperson Women for the Arthritis Found.; 1996-97. bd. MADD. *

Who's Who in America
(1998), p. 3455

2

PLANS AND SPECIFICATIONS
and other data must also be filed

DEPARTMENT OF BUILDING AND SAFETY Application for the Erection of Frame Buildings CLASS "D" *Residence*

To the Board of Building and Safety Commissioners of the City of Los Angeles:
Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the
Commissioner of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This applica-
tion is subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed
to be a part of the permit:
1. That the permit does not grant any right or privilege to erect any building or other structure therein described, or any
extension thereof, upon any street, alley, or other public place or portion thereof.
2. That the permit does not grant any right or privilege to use any building or other structure therein described, or any
portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.
3. That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property
described in such permit.

TAKE TO
ROOM No. 6
FLOOR OF
NORTH
ANNEX
1st FLOOR
CITY CLERK
PLEASE
VERIFY

Lot No. *4* Block *276*
(Description of Property)

TAKE TO
FIRST FLOOR
241 SO.
BROADWAY
ENGINEER
PLEASE
VERIFY

District No. *33* M. E. Page *6* F. B. Page

No. *2656 North Aberdeen Ave*
(Location of Job)

and lot East of Vermont Ave Street

(USE INK OR INDELIBLE PENCIL)

- Purpose of Building *Residence (Bungalow)* No. of Rooms *14* No. of Families *1*
- Owner's name *Mrs. Morrison* Phone
- Owner's address *San Francisco, Ca.*
- Architect's name *William R. Sullivan* Phone *5313*
- Contractor's name *Mrs. Morrison* Phone
- Contractor's address *A.T.*
- VALUATION OF PROPOSED WORK *(Including Plumbing, Gas Fitting, Sewers, Electrical, Elevators, Painting, Finishing, and Labor, etc.)* \$ *25,000.00*
- Is there any existing building or permit for a building on lot? *no* How used?
- Size of proposed building *30 x 96* Height to highest point *38* feet
- Number of Stories in height *two* Character of ground *clayey sand*
- Material of foundation *concrete* Size of footings *18"* Size of wall *9"* Depth below ground *12"*
- Material of Chimneys *brick* Number of inlets to flue *1* Interior size of flues *8x8, 8x12*
- Material of exterior walls *Frame & Brick* *Shingles over metal lath*
- Give sizes of following materials: REDWOOD MUDDSILLS *4 x 6* Girders *4 x 6*
EXTERIOR studs *2 x 4* INTERIOR BEARING studs *2 x 4* Interior Non-bearing studs
2 x 4 Ceiling joists *2 x 4* Roof rafters *2 x 6* FIRST FLOOR JOISTS *2 x 8*
Second floor joists *2 x 10* Specify material of roof *Shingles*
- Will all provisions of State Housing Act be complied with? *Yes*

I have carefully examined and read the above application and know the same is true and correct, and
that all provisions of the Ordinances and Laws governing Building Construction will be complied with,
whether herein specified or not.

OVER *17/3*

(Sign here)

William R. Sullivan
(Owner or Authorized Agent.)

FOR DEPARTMENT USE ONLY			
PERMIT NO. 42006	Plans and Specifications checked and found to conform to Ord- inances, State Laws, etc. <i>12/18/25</i> <i>J. M. Sullivan</i> Plan Examiner	Application checked and found correct <i>12/18/25</i> <i>ZA</i> <i>1405</i> <i>Price</i> Clerk	Stamp here when permit is issued. DEC 9 1925

H. M. Sullivan

All Applications Must be Filled Out by Applicant

PLANS AND SPECIFICATIONS
and other data must also be filed

DEPARTMENT OF BUILDING AND SAFETY

Application for the Erection of Frame Buildings

CLASS "D"

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

TAKE TO ROOM No. 6 REAR OF NORTH ANNEX 1st FLOOR CITY CLERK PLEASE VERIFY

TAKE TO FIRST FLOOR 242 SO. BROADWAY ENGINEER PLEASE VERIFY

Lot No. 4 Block 4276
(Description of Property)

District No. 33 M. B. Page 6 F. B. Page 31

No. 2656 North Aberdeen Ave Street 2nd lot East of Vermont Ave
(Location of Job)

(USE INK OR INDELIBLE PENCIL)

1. Purpose of Building Residence No. of Rooms 3 No. of Families 1

2. Owner's name Mrs. M. J. Sullivan Phone

3. Owner's address San Francisco, Cal.

4. Architect's name William R. Sullivan Phone Ad. 5313

5. Contractor's name Owner Phone

6. Contractor's address

7. VALUATION OF PROPOSED WORK [Including Planning, Gas Fitting, Sewers, Ceasapools, Elevators, Painting, Finishing, all Labor, etc.] \$ 2500.00

8. Is there any existing building or permit for a building on lot? no How used?

9. Size of proposed building 22 x 30 Height to highest point 21 feet

10. Number of Stories in height 2 Character of ground Acorn forest Hamlet

11. Material of foundation concrete Size of footings 21" Size of wall 12" Depth below ground 10"

12. Material of Chimneys none Number of inlets to flue Interior size of flues x

13. Material of exterior walls concrete & metal lath & stucco

14. Give sizes of following materials: REDWOOD MUDDSILLS 2 x 6 Girders 6 x 10
EXTERIOR studs 4 x 4 INTERIOR BEARING studs 2 x 4 Interior Non-bearing studs 2 x 3
Ceiling joists 2 x 4 Roof rafters 2 x 6 FIRST FLOOR JOISTS concrete floor
Second floor joists 2 x 8 Specify material of roof slate

15. Will all provisions of State Housing Act be complied with? yes

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

OVER

(Sign here) William R. Sullivan
(Owner or Authorized Agent.)

FOR DEPARTMENT USE ONLY

PERMIT NO. 42007	Plans and Specifications checked and found to conform to Ordinances, State Laws, etc. <u>12/8/27</u> <u>J. J. Sullivan</u> Plan Examiner	Application checked and found O.K. <u>12/9/27</u> <u>2A</u> <u>7105L</u> Clerk	Stamp here when permit is issued.
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H. J. Sullivan - 4

FOR DEPARTMENT USE ONLY

APPLICATION	O. K. <i>[initials]</i>
CONSTRUCTION	O. K. <i>[initials]</i>
ZONING	O. K. <i>[initials]</i>
SET-BACK LINE	O. K. <i>[initials]</i>
ORD. 33761 (N. S.)	O. K. <i>[initials]</i>
FIRE DISTRICT	O. K. <i>[initials]</i>

REMARKS

Ceiling of garage & wall adjoining stairs to be fireproofed & there will be opening from garage into stairs of living quarters.

M. R. L. [signature]

Bldg. Form 1

BUILDING DIVISION

PLANS AND SPECIFICATIONS
and other data must also be filed

3

DEPARTMENT OF BUILDING AND SAFETY

Application to Alter, Repair or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Applicant hereby makes application to the Board of Building and Safety Commissioners of the City of Los Angeles through the office of the Superintendent of Building for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit.

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to or right of possession in the property described in such permit.

REMOVED FROM

REMOVED TO

TAKE TO
ROOM NO. 248
CITY CLERK
PLEASE
VERIFY

TAKE TO
ROOM NO. 5
MAIN ST.
ENGINEER
PLEASE
VERIFY

Lot Block

Lot Block

Tract

Tract

Book Page F. B. Page

Book Page F. B. Page

From No. 2656 N. Aberdeen

To No. Between Van Ness & Vermont

Street

Street

O. K. City Clerk
By
Deputy
O. K. City Engineer
By

USE INK OR INDELIBLE PENCIL

1. What purpose is the present Building now used for? Residence (1 Fam.)
2. What purpose will Building be used for hereafter? Residence (1 Fam.)
3. Owner's name Mrs. Morrison Phone
4. Owner's address 2656 N. Aberdeen
5. Architect's name
6. Contractor's name U.S. Termite Control Phone Eliot 3814
7. Contractor's address 152 E. Gower - Pasadena
8. VALUATION OF PROPOSED WORK (Including all Material, Labor, Finishing, Equipment and Appliances in Completed Building) \$5.00.00
9. Class of present Building Residence No. of rooms at present
10. Number of stories in height 2 Size present Building 22 x 20
11. State how many buildings are on this lot 1 INC - House & Garage
12. State purpose buildings on lot are used for Residence (1 Fam.)
(Abandoned House, Hotel, Residence, or any other purpose)

13. What Zone is Property in?

STATE ON FOLLOWING LINES EXACTLY WHAT ALTERATIONS, ADDITIONS, ETC., WILL BE MADE TO THIS BUILDING:

Raising of foundation & replacement of rotted timbers. Replacing dirt fill with foundation beneath steps. Putting curb at certain portions at rear of house.

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

OVER

(Sign here)

FOR DEPARTMENT USE ONLY

PERMIT NO. 28360	Plans and Specifications checked and found to conform to Ordinances, State Laws, etc. Plan Examiner	Application checked and found O. K. Clerk	Stamp: FEB 10 1930
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USE INK OR
INDELIBLE PENCIL

CITY OF LOS ANGELES
DEPARTMENT OF BUILDING AND SAFETY
BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:
Applicant is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions, entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, in any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

Lot.....

REMOVED TO

Lot.....

Tract.....

Tract.....

Present location of building } 2656 No. ABERDEEN AV.
(House Number and Street)

New location of building }
(House Number and Street)

Between what cross streets } VERMONT

Approved by
City Engineer.

Deputy.

- Purpose of PRESENT building. RESIDENCE Families 1 Rooms 14
(Store, Residence, Apartment House, Hotel, or any other purpose)
- Use of building AFTER alteration or moving RESIDENCE Families Rooms 12
- Owner (Print Name) M. F. BURG Phone HE
- Owner's Address 2656 No. ABERDEEN
- Certificated Architect H. B. AARNS State License No. 663 Phone OL 1957
- Licensed Engineer None State License No. Phone
- Contractor None State License No. Phone
- Contractor's Address None
- VALUATION OF PROPOSED WORK {Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon} \$ 450.00
- State how many buildings NOW on lot and give use of each. RESIDENCE & GARAGE
(Residence, Hotel, Apartment House, or any other purpose)
- Size of existing building 30 x 85 Number of stories high 2 Height to highest point 38'
- Class of building D Material of existing walls stucco Exterior framework wood
(Wood or Steel)

Describe briefly and fully all proposed construction and work:
Remove all partitions and plain wall to new location of kitchen and bathroom. No structural changes.

Fill in Application on other Side and Sign Statement (OVER)

PERMIT NO.		FOR DEPARTMENT USE ONLY				Fee	
17834		Plans and Specifications checked	Yes	No	Fire Division	Stamp here when Permit is issued	
		Corrections verified	Yes	No	Street Cleaning		
PLANS		Plans, Specifications and Applications resubmitted and approved	Yes	No	City Engineer	Inspector	
		Plans, Specifications and Applications resubmitted and approved	Yes	No	City Engineer		
Date		Filed with	Filed with	Filed with	Filed with	Inspector	

PLANS, SPECIFICATIONS, and other data must be filed if required.

No addition

NEW CONSTRUCTION

Size of Addition ☒ Size of Lot ☒ Number of Stories when complete.....
 Material of Foundation..... Width of Footing..... Depth of footing below ground.....
 Width Foundation Wall..... Size of Redwood Sill..... ☒ Material Exterior Walls.....
 Size of Exterior Studs..... ☒ Size of Interior Bearing Studs..... ☒
 Joists: First Floor ☒ Second Floor ☒ Rafters ☒ Roofing Material.....

I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State laws.

Sign Here.....

(Owner or Authorized Agent)

By.....

FOR DEPARTMENT USE ONLY

Application <i>Morris</i>	Fire District <i>Morris</i>	Bldg. Line <i>CP</i>	Termite Inspection.....
Construction	Zoning <i>CP</i>	Street Widening <i>CP</i>	Forced Draft Ventil.....

(1) **REINFORCED CONCRETE**

Barrels of Cement.....

Tons of Reinforcing Steel.....

(2) The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from
 Street

Sign Here.....

(Owner or Authorized Agent)

(3) No required windows will be obstructed.

Sign Here.....

(Owner or Authorized Agent)

(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.

Sign Here.....

(Owner or Authorized Agent)

REMARKS:

PLANS, SPECIFICATIONS, and other data must be filed if required.

No addition NEW CONSTRUCTION

Size of Addition x Size of Lot x Number of Stories when complete

Material of Foundation Width of Footing Depth of footing below ground

Width Foundation Wall Size of Redwood Sill x Material Exterior Walls

Size of Exterior Studs x Size of Interior Bearing Studs x

Joists: First Floor x Second Floor x Rafters x Roofing Material

I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State laws.

Sign Here

W. B. Arena
(Owner or Authorized Agent)

By

FOR DEPARTMENT USE ONLY			
Application	Fire District	Bldg. Line	Termite Inspection
Constructor	Zoning	Street Widening	Forced Draft Ventil.

(1) REINFORCED CONCRETE

Barrels of Cement

Tons of

(2) The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from

Street

(3) No re str

Sign I

REMA

ADDRESS ALL COMMUNICATIONS TO DEPARTMENT OF BUILDING AND SAFETY

PHONE Michigan 5211

Station 783

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

BUILDING DIVISION

ROOM 202, CITY HALL

LOS ANGELES

Order

Refer to No.

PLANS

LOCATION OF BUILDING 2656 No. Aberdeen Ave

PERMIT NO. 17834

DATE 5-7-21

OWNER (OWNER'S CONTRACTOR)

M. A. F. Long

You are hereby notified to comply with the following provisions of the Los Angeles City Building Ordinance and the State Housing Acts, applying to the building at the above location, within three days from date of this notice:

To acquire a partial Building Permit

by alteration and repair being done at

the same address by increasing valuation

by use.

By *W. B. Arena*

Asst. Building Inspector

Boards No. 17

BOARD OF BUILDING AND SAFETY

J. J. BACKUS

Superintendent of Building

SEE NOTE ON BACK OF THIS ORDER

(Owner or Authorized Agent)

in unobstructed passageway at least ten feet from any dwelling on lot to a Public way at least 10 feet in width.

(Owner or Authorized Agent)

770

APPLICATION FOR GRADING PERMIT AND FOR GRADING CERTIFICATE				645 Form B-100	
CITY OF LOS ANGELES				DEPT. OF BUILDING AND SAFETY	
INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only. 2. Plot Plan Required on Back of Original.					
1. LEGAL DESCR.	LOT	BLK.	TRACT	ADDRESS APPROVED	
	Par. B Lot 4		No 4276	L D	
2. JOB ADDRESS				DIST. MAP	
2656 N. Aberdeen Ave.				153-197	
3. BETWEEN CROSS STREETS				ZONE	
Vermont Ave AND Inverness				R-S-1	
4. PURPOSE				INSIDE	
Driveway Grading (60)				60	
5. OWNER				KEY	
Barney Feldman				COR. LOT	
6. OWNER'S ADDRESS				REV. COR.	
2656 N. Aberdeen Ave Los Angeles 27				LOT SIZE	
7. PLANS BY				Irreg.	
Owner					
8. CONTOURS BY				REAR ALLEY	
Exist Contours & Survey Gerald J. Griffin				SIDE ALLEY	
9. FOUNDATION				BLDG. LINE	
10. CONTRACTOR				AFFIDAVITS	
Not Selected				D of E 497	
11. CONTRACTOR'S ADDRESS					
2656 N. Aberdeen Ave.				DISTRICT OFFICE	
				L A	
12. NUMBER CUBIC YARDS		MAXIMUM CUT OR FILL			
CUT 140		FILL 60/		140	
13. TYPE OF NATURAL SOIL	TYPE OF FILL MATERIAL		YARDAGE APPROVED	MAXIMUM SLOPE	
			Rosenfield	CUT 2:1	
14. COMPACTED FILLS	YES		APPLICATION CHECKED	FILL -	
	NO		A Johnson yf	RETAINING WALL REQUIRED	
APPROVED FOR TESTING AGENCY			PLANS CHECKED	YES	
NOT SELECTED			Rosenfield	NO	
I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance, and I have read reverse side of application.			CORRECTIONS VERIFIED	FILE WITH	
SIGNED Barney Feldman			PLANS APPROVED	CONT. INSP.	
BOND			APPLICATION APPROVED	INSPECTOR	
CASH					
SURETY					
This Form When Properly Validated is a Permit to Do the Work Described.					
P.C. 15.00	S.P.C.	G.P. 5.00	G.P. 22.00	I.F. 1	
SEP-18-64 83894 D - 2 CK 15.00					
SEP-24-64 47501 E 0 76972 Z - 7 CK 5.00					
SEP-24-64 47502 E 0 76972 Z - 1 CK 22.00					
T 183 yes yes /					
P.C. No. GRADING CRIT. SOIL CONS.					

CASHIER'S USE ONLY

INSPECTION		F-91-94		AND FOR CERTIFICATE OF OCCUPANCY	
INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only					
1. LEGAL DESCR	LOT	BLOCK	TRACT	CITY CLERK REF. NO.	1538197
part of lot 4			4276	ME47-23	
2. PRESENT USE OF BUILDING	NEW USE OF BUILDING		ZONE		
2 duplex	2 same		RE11-1		
3. JOB ADDRESS	SUITE/UNIT NO.		FIRE DIST. COUN. DIST.		
2648 & 2656 Aberdeen Av			MED 4		
4. BETWEEN CROSS STREETS	AND		LOT TYPE		
Vermont	Inverness		int		
5. OWNER'S NAME	TENANT	BUILDING	PHONE		LOT SIZE
Barney Feldman		213-665-7007			irreg
6. OWNER'S ADDRESS	CITY		ZIP		
2656 Aberdeen av	IA		90027		
7. ENGINEER	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE		ALLEY
Harold P. Wu P.E.		7693 818-288-0708			
8. ARCHITECT OR DESIGNER	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE		BLDG. LINE
9. ARCHITECT OR ENGINEER'S ADDRESS	CITY		ZIP		DOCUMENTS/ EASEMENTS
1168 North San Gabriel Blvd #n	San Gabriel		91770		
10. CONTRACTOR	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE		
owner builder					
11. SIZE OF EXISTING BLDG.	STORIES	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE		
WIDTH 35 LENGTH 90	2	25	2 duplex & gar		
12. FRAMING MATERIAL OF EXISTING BLDG	EXT. WALLS	ROOF	FLOOR		
	wood	slate	wood		
13. JOB ADDRESS	SUITE/UNIT NO.				
2648 & 2656 Aberdeen Av					
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING	\$		5,000		DIST. OFF. P.C. REQ'D
15. NEW WORK (Describe)	EQ repair 3 chimneys per engineers calculations				IA
and details/plans					GRADING SEISMIC
					YES
					HWY. DED. FLOOD
					ED
NEW USE OF BUILDING					FILE WITH
same					
SIZE OF ADDITION					
None					
STORIES					
-					
HEIGHT					
-					
BUILDING - ZONING					
PLANS CHECKED					
Artil Cheng					
APPLICATION APPROVED					
AK Chase 72843					
INSPECTION ACTIVITY					
S - C - HC					
MAJ. S. EQ					
PC 56.10 GPI - NP					
SPC PM					
B.P. 84.00 EI .50					
L.F. FH					
S.D. OSF					
ISS. OFF. IA S.O.S. Yes					
PC. NO. C/O					
ENERGY DAS					
CONT. INSP. More than one inspection					
FEE NO FEE NO FEE					
504/01/94 12:34:55PM LA05 T-6518 C 21					
BLDG PLAN CHECK 56.10					
BLDG PERMITS R 84.00					
INVOICE # 0072843 RB					
EI RESIDENTIAL 0.50					
ONE STOP 2.81					
SYS DEV 8.44					
NO FEE 0.00					
NEW AFFIDAVITS					
PLAN CHECK EXTENDED TO PER					
ADMINISTRATIVE APPROVAL DATE					
BY					
D.A.D. PLANS CHECKED					
HOUSING MITIGATION FEE ORDINANCE					
REQUIRED EXEMPT					
ASBESTOS NOTIFICATION					
Check Box: Notification letter sent to AQMD or EPA					
I declare that notification of asbestos removal is not applicable to this project					
Signature: Barney Feldman Date: 6/1/94					
DECLARATIONS AND CERTIFICATIONS					
LICENSED CONTRACTORS DECLARATION					
16. I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.					
Date: Lic. Class: Lic. Number: Contractor:					

Form 6—

PARCEL 474

Building Description Blank 17 index

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Book 30

STREET No. 2646 N. Aberdeen

TRACT 4276

LOT No. 4 BLOCK No. 4/18

EXAMINED BY Den DATE 4/18 1939

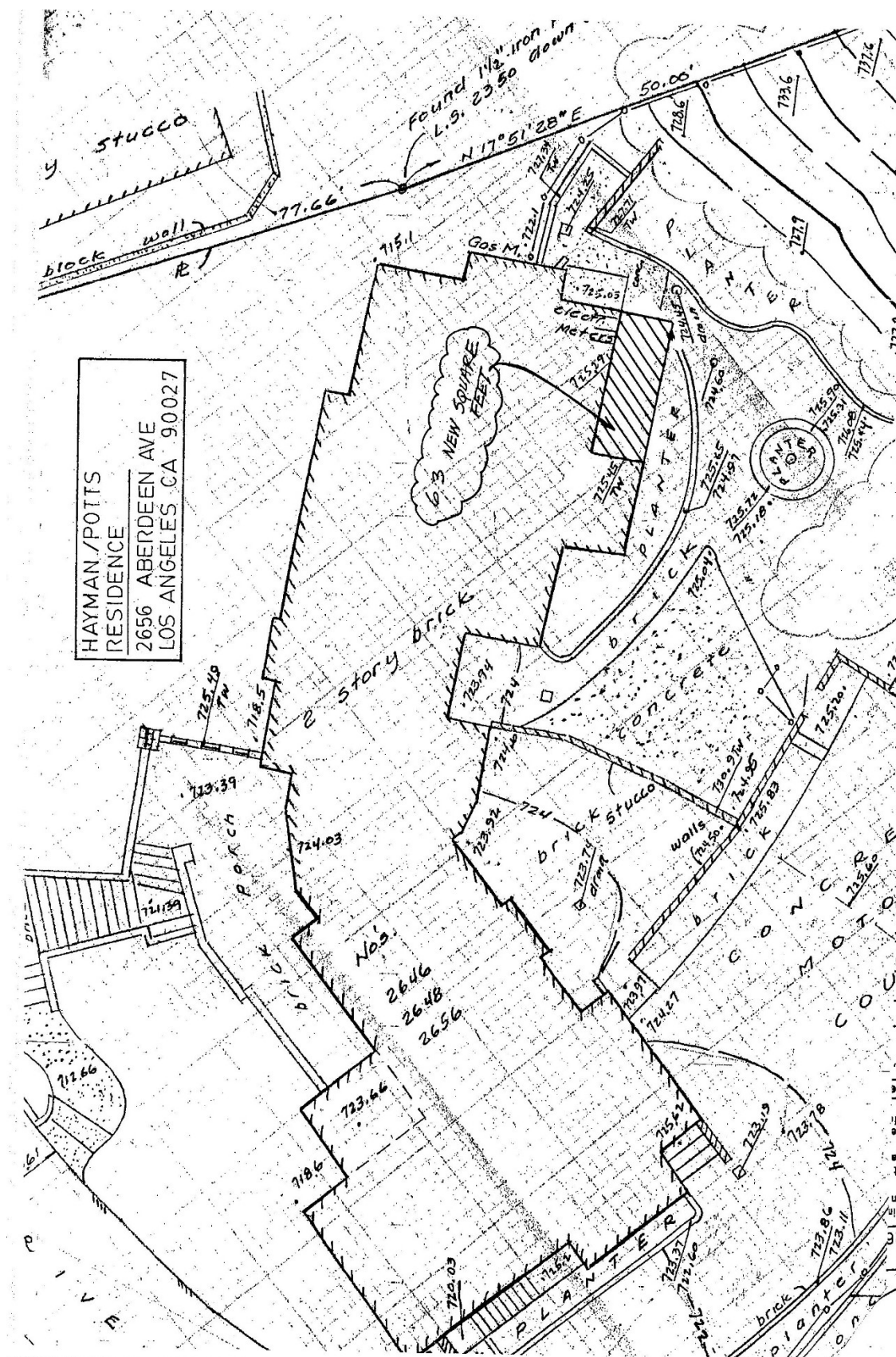
CLASS	EXTERIOR	HEATING	EXT. FEATURES
Single ✓ Double ✓ Maverick California Bungalow Residence ✓ Cottage Dwelling Flat Apartment Factory Church School Store Garage ✓ Barn Shed Poultry House Oil Station	1 1/2 2 3 Story Stucco ✓ Shakes, Rustic Siding, B & B Sheet Steel Brick Veneer Corrugated Iron Frame, Steel Frame, Wood Adobe Shingle Vertical Siding Plaster on Tile	Fireplace <u>5</u> False Mantel Gas Furnace No. Pipes <u>10</u> Gas Radiators Steam Elec. Heaters Blower Furnace Floor Furnace	LEADED GLASS Copper Down Spouts Tile-Trim Steel Sash Brick " Wood-Trim Stone " Plaster "
FOUNDATION Stone Wood Concrete Brick Cross Walls Hillside Steel Joists	ROOF Flat 1/4 1/2 3/4 Hip Gables Cut-up Shed Shingle Slate Gravel Shakes Monitor Corrugated Iron Composition Compo Shingle Tile-Trim Amt. Sm. Lge. Tile 1/4 1/2 3/4 Full Wood, Steel Truss Qualify	PLUMBING No. of Fix Cheap <u>20</u> Good Medium Special	INSIDE FINISH Plaster Sand, Putty Plaster-Board Interior Stucco Ply-Bd. Knotty Pine Canvas or Sanitas Paper Paint Unfinished Woodwork, Plain " Ornamental
② BASEMENT feet x feet x feet deep sq. ft.		Lighting Cheap Medium Good Special	BUILT-INS Refrigerator Elec., Gas, Ice Buffet Bookcases Patent Beds Cedar Closets
Check Sanitas	B 1 2 3	BUILDING VALUES	CHANGES ONLY
Living Room	4 2	No. of Square ft. <u>4750</u>	
Bedrooms	1 5	At. \$ <u>435</u>	
Dressing Room	1	Building Value <u>22705</u>	
Bathroom	1 2	Basement Value <u>257</u>	
No. Tub	2 1	Heating Value <u>300</u>	
Tile Walls (✓) (✓)	2	Garage Value <u>990</u>	
Kitchen	1	Outbuildings Value	
Bfst. R. or Nook	1	Total Value <u>24906</u>	
Plank	6 7	Depr. <u>248</u>	
Hdwd. Floors		Special Depr.	
Hdwd Finish		Depreciated Value <u>10422</u>	
No. of Permit		17932	
Estimated Cost of Bldg.		46228	
No. of Permit		13923	
Estimated Cost of Bldg.		Assessed Value <u>10210</u>	
Owner's Name		11320	
C. F. Checked			
Compt. Checked			
E. on M. B.			
Compared			
P. C. by	Date	%	P. C. Val.

10290

10210

10310

6810



[illegible]

References: LAT = Los Angeles, Times, CLASD = City of Los Angeles Street Directory, LADBS = Los Angeles Department of Building Services, LFIA = Los Feliz Improvement Association

- Overall summary

2656 Aberdeen was built as a single family house in 1926, however, it appears to have been immediately occupied by both the person it was built for, Mrs. Morrison, and a second family, the Ericksons, as well as a lodger and a chauffeur. However, all references to the house in a series of building permits and sales ads clearly continue to refer to it as a single family home.

From 1937 to 1961 the house was occupied by a succession of individual families. Firstly, MF and Tanya Berg, then the Ware family and finally the Thompson family.

In 1963 the property was acquired by Barney Feldman, a real estate broker and investor. He immediately carved out part of the lot on which the single family home at 2660 Aberdeen Ave was then constructed. The original owner of 2660 Aberdeen, Anna Cardella, is still in occupancy today at 91yrs old. Feldman then ran multiple ads to sell the main 2656 Aberdeen Ave house but appears to have ultimately continued to live in it himself. In 1976 he then split the main house into two duplexes and appears to have continued to live in one of the duplex units until its sale in 1996.

In 1996 the house is acquired by Annie Potts and Jim Heyman and their family who proceed to convert it back into a single family home, remodeling and expanding the main kitchen and removing the second kitchen. They also add the back yard stairs, landscaping and pool. In 2004 they sell the house to Richard and Eileen Nahigian.

- 1925-1937 OWNER – Sybill J. Morrison

1925, Dec 9 (LADBS) – permits filed with city for a new 14 room private residence for one family at 2656 North Aberdeen Ave - owner, Mrs. Morrison of San Francisco; architect, Milton R Sutton – cost \$25,000. Separate permit filed for a garage and chauffeurs quarters – cost \$2,500.

1926 (CLASD) – lists separate phone numbers for both Mrs. James Morrison and for Dr. Nellie Erickson

1926, Nov 16 (LAT) – reports of an automobile crash involving Miss Marion Shaffer of 2656 N. Aberdeen Ave

1929 – Great depression starts

1930 Census data

The image shows a handwritten 1930 Census form for 2656 Aberdeen Ave. The form is filled out with ink, showing names, ages, and birthplaces. The names listed are Sybill J. Morrison, Dr. Nellie Erickson, Marion Shaffer, and a person named 'Shaffer' (likely Marion Shaffer). The birthplaces are listed as San Francisco, California, and United States. The form is a standard 1930 Census form with columns for name, age, sex, race, and birthplace.

Name	Age	Sex	Race	Birthplace
Sybill J. Morrison	40	F	W	San Francisco, California
Dr. Nellie Erickson	38	F	W	United States
Marion Shaffer	31	F	W	United States
Shaffer	31	F	W	United States

LFIA summary of 1930 census data - 2656 North Aberdeen Avenue (Value: \$100,000): 1) Sybil J. Morrison, owner and head of household; 60 year old white female widow; married at age 29; born in England; parents born in England; to US in 1900, a naturalized citizen; not working. 2) Oscar L. Erickson, tenant; 62 year old white married male; married at age 21; born in the US; parents born in the US; merchant in a gent's clothing store. 3) Nellie M. Erickson, wife of tenant; 60 year old white married female; married at age 28; born in the US; parents born in the US; not working. 4) Esther A. Erickson, daughter; 31 year old divorced white female; born in the US; not working. 5) Maria Shaffer, lodger; 52 year old single white female; born in the US; parents born in the US; an interior decorator in an interior decorating firm. 6) Frank Matsumoto, lodger; 34 year old single white male; born in Japan; parents born in Japan; speaks Japanese; to US in 1915, a resident alien; chauffeur for a private family. (18th ED, page 16A, lines 19-24).

<https://www.lfia.org/RegPages/historicalimages/LFIA%20Historic%20Survey%20Volume%201%20A-B%20streets.pdf>

1932, Jan 15 (LAT) – death of Oscar Erickson of 2656 N. Aberdeen, husband of Nellie Mae Erickson

1932, March 2 (LAT) – owner of 2656 Aberdeen referred to as Dr. Nellie Erickson in an article about the death of former resident Miss Marion Shaffer

1936, (CLASD) – phone listing for Sybill J Morrison (but not Nellie Erickson)

1937, (LFIA) – phone listing for Nellie M. Erickson, widow of O L Erickson (LFIA says this is from the CLASD but I have been unable to find a copy of the 1937 CLASD at the LA Public Library to verify this)

1937, April 6 (LAT) – Announcement for the auction of a “magnificent 12 room English Residence and its luxurious furnishings”

• 1937 OWNER– M F Berg

MF Berg was the President-Treasurer of the California Mill Supply Corp (per the 1938 CLASD) and must have purchased the property at the April 6 auction

1937, May 27 (LADBS) – permits filed for removal of non-bearing partitions and stairwell to new location. No structural changes but number of rooms reduced from 14 to 12. Owner listed as M F Berg, architect listed as H B Aarens. (MF Berg's address is listed as 5432 Red Oak Dr in the 1938 CLASD which must have been his address prior to acquiring 2656 Aberdeen at auction)

1937, Nov 21 (LAT) – In late 1937, MF and Tanya Berg then acquire 2600 Aberdeen Ave in a trade involving them giving cash plus 2656 Aberdeen to the sellers of 2600 Aberdeen. “The residential property at 2600 Aberdeen Ave in the Los Feliz District has been acquired by MF and Tanya Berg from Hugo and Violetta Aleidis in a \$100,000 deal involving the transfer of residential property at 2656 Aberdeen Ave from the buyers to the sellers”.

- 1937–1939 OWNER – Hugo Aleidis (or possibly his creditors?)

Hugo Aleidis is the former owner of the famed Victor Hugo restaurant. Hugo Aleidis is listed as living at 2600 Aberdeen in the 1936 CLASD and is subsequently listed as living on Griffith Park Blvd in the 1939 CLASD.

For the next two years, 2656 Aberdeen is then almost constantly being listed for sale in the LA Times.

1937, Dec 19 (LAT) – “2 STORY ENGLISH Finest construction, steel sash slate roof, built for owner, 4 bedrooms, 3 baths, Sleeping Porch, Ultra-modern kitchen, Bar and Library, Grand View, Approx. 2 acres, Perfect condition, Priced far below market”

1937, Dec 20, 23, 25 (LAT) – “priced well below market”

1938, March 21 (LAT) – “2 st. Eng 2 A. 4 bedrms, perf cond, view, real buy”

1938, April 3 (LAT) – auction ad for home plus contents, references home of Hugo Aleidis of Victor Hugo restaurant

1938, May 23 (LAT) - ad lists price as \$35,000, make offer

1938, June 5 (LAT) – ad mentions 3 master bedrooms and 2 guest bedrooms

1938, Jul 31 (LAT) – “2 story, English, Cost \$100,000, 5 bedrooms, 3 baths, 3 serv rooms, library, bar, electric kitchen, perfect condition, grand view, 1 ½ ac. Make offer”

1938, Oct 23 (LAT) – Same ad as July 31, but also mentions “sleeping porch”

1939, Feb 21 (LAT) – “Beautiful Eng Brick, 1 ¾ A. To be sold at 20c on dollar”

1939 – Great depression ends, start of World War II

- 1939–1944 OWNERS – Wallace and Irene Ware

Wallace Ware was a prominent attorney, the former president of the California Railroad Commission and ran for Attorney-General of California in 1942. He was subsequently appointed a Superior Court Judge in 1953. He retired in 1962 and passed away in 1964.

1940 Census data

Household	120,000	Ware	Wallace	Head	M	41	48	Mar	Calif	San Francisco	California	1907
			Irene	Wife	F	39	46	Mar	Calif	San Francisco	California	1907
			Shirley	daughter	F	19	26	Mar	Calif	San Francisco	California	1921
			Virginia	daughter	F	18	25	Mar	Calif	San Francisco	California	1922
			John	Son	M	14	21	Mar	Calif	San Francisco	California	1926

1941, Nov 24 (LAT) – Wedding announcement for Virginia Ware

1941, Dec 14 (LAT) – Wedding of Virginia Ware and William Newton McLellan at the Ware Home, 2656 Aberdeen Ave

- **1944–1961 OWNER – Dr. and Mrs. William Benbow Thompson**

Dr. Thompson was a prominent Los Angeles obstetrician (1925-1959), an associate clinical professor at USC from 1944-1953, a clinical professor of obstetrics at UCLA from 1953-1961, and an emeritus professor thereafter.

Wife - Ruth L Thompson. <http://prabook.com/web/person-view.html?profileId=1113531>

1944, Oct 22 (LAT) – “Dr. and Mrs William Benbow Thompson have deserted Westwood Hills for a beautiful new home in Los Feliz Hills”

1945 – end of World War II

1945, 1946, 1950 (LAT) – Chi Phi Mothers Club, Kappa Alpha Theta luncheon at the home of Mrs. William Benbow Thompson

1956, 1960, 1961 (CLASD) – phone number listed for Ruth L Thompson at 2656 Aberdeen Ave

1962 (CLASD) – phone numbers listed at 2656 Aberdeen Ave for Geo E Roehl and Keith Whipple, unclear when property was sold and whether these names are brokers or tenants

- **1963-1996 OWNER – Barney Feldman**

1963 (CLASD) – phone listing for Barney Feldman. Also listed in 1964-1969, 1973 and 1987.

1964, Sept 24 (LADBS) – permit filed to create new driveway which in turn allowed for the creation of the lot to build 2660 Aberdeen Ave. Permit filed by the owner Barney Feldman of 2656 Aberdeen

1965, Aug 19 (LAT) – listed for sale – “Area’s finest, 6 bd, 5 frpls, 1/2ac, fab kit, nu cpts, tap rm + den, gar apt, mag vu NOW \$165,000”

1965, Oct 10 (LAT) – See Ad clipping – listed by Mr. Feldman

<http://latimes.newspapers.com/image/?spot=11267849 - spot=11267849>

Nov 9 (LAT) – “great home for family of exceptionally good taste, 6bd, 5ba, new crpts, kit w blt-ins”

Nov 14 (LAT) – “Excitingly decorated, Eng 6 bed, 5 ba, 5 frpls, den, tap rm, 3 car garage w/apt on ½ acre”

1966, Apr 17 (LAT) – “THE ULTIMATE in luxury living, 5bdr, 3 ½ ba, + serv qtrs., paneled den, wet bar, mod kit, vu, think \$100M+ & bring offer”

1971, April 26 (LADBS) – permit filed for 2648 Aberdeen Ave, first time this address is referred to. Permit is to convert existing room to bath, first permit application to refer to property as a duplex (permit lists Feldman’s address as Rolling Hills)

1976, Feb 24 (LADBS) - permit filed to install bath fixtures in a second floor study room at 2648 Aberdeen to convert it into a bathroom (permit lists Feldman’s address as 2656 Aberdeen Ave)

1977, Feb 27 (LAT) – Feldman runs for mayor, refers to Feldman as living in Los Feliz

1980, Oct 22 - State of California Public Utilities Commission – in a ruling on a separate matter house is referred to as having been a duplex since 1976 – addresses are confirmed as 2648 and 2656 for main house and 2646 for the apartment over the garage

1982, April 30 (LAT) – Feldman sues City to get rid of access fee for Griffith Park

1985, Feb 28 (LAT) – article complaining about golf balls includes a photo of Barney Feldman and says that he lives at the property and has owned it since 1963. Multiple complaints filed by Feldman over many years regarding Greek Theatre noise – 1977 for Gladys Night and the Pips, 1986 two concerts – Sting and Adam Ant, 1989 for 25 years of suffering

1987, CLASD – phone listed for Barney Feldman Real Estate

1991, Jan 19 (LAT) – Feldman, age 72 and listed as a Los Feliz area investor, tries to run for City Council but misses filing deadline

1994, June 1 – earthquake repair permit filed for 2656 Aberdeen by Barney Feldman. Permit refers to 2 duplexes and a garage

- **1996-2004 OWNERS – Annie Potts and Jim Heyman**

1996, Aug 11 (LAT) – “Potts buys in Los Feliz”. Article in the Hot Property section refers to house having two kitchens, two dining rooms and two master bedrooms

1996, June 18 (LADBS) – permit filed to add to kitchen and family room, new stair to basement, remove interior walls

2003, Feb 23 (LAT) – house listed for sale - \$3.4m, price reduced Mar 9 - \$3.2m, price reduced Nov 9 - \$3.0m. Consistently listed as 7 bed, 7ba - listing agent Dorothy Carter

- **2004-2017 OWNERS – Richard and Eileen Nahigian**

2004 – Nahigians add downstairs powder room by converting former breezeway/front door into a bathroom. No permits are on file.

2016, June 9 (LAT) – Nahigians list 2656 Aberdeen for sale for \$6.5m. Property is featured in Hot Property because of Annie Potts prior ownership.

2016-2017, MLS – property goes through a series of price reductions due to the extensive deferred maintenance required. Finally sold, more than one year after going on the market, on August 8, 2017, after \$1.68m in reductions, for \$4.865m.

- **2017 OWNERS – Stuart and Dawn Gulland**

2017, Survey LA - Findings note property as an “Excellent example of Tudor Revival architecture in Los Feliz”

APPENDIX D



June 25, 2017

T.A. Purkiss Job No: 17072

Client: Mr. Stuart Gulland

Subject: Visual Evaluation and Professional Opinions Regarding the Visible Structural Components of the Residence Located at:

**2656 Aberdeen Avenue
Los Angeles, CA 90027**

Mr. Gulland,

I met with you at the subject address on June 21, 2017. The purpose of my visit was to perform a visual evaluation of the structural components of the residence and provide professional opinions regarding my findings. T.A. Purkiss, Structural Engineer has not performed a complete physical inspection of the property. This report should not be relied upon to address issues beyond the visible structural components of the residence. Items not addressed include, but are not limited to, the chimneys/fireplaces, drainage issues, miscellaneous planter walls/retaining walls, swimming pool/spa structures, issues related to wood decay or pest infestation, geological issues, permit status issues, property line and set back or encroachment issues, environmental issues, or any issues related to moisture intrusion or mold that may or may not be present at the subject address.

DESCRIPTION OF STRUCTURE

For purposes of this report, the front entry side of the residence will be considered the south side of the residence.

The subject structure consists of a two-story, single-family residence that was reported to have been constructed in approximately 1926. The home is mostly of wood frame construction. However, we observed several elements that appeared to be constructed with brick masonry. This includes the walls associated with the southeast bathroom and the columns supporting the east side of the portico. The exterior finishes primarily consist of stucco, brick veneer, and wood trim elements. The roof areas are pitched with slate or slate-like roofing. The residence is constructed on a raised foundation system. There is a laundry basement located below the western portion of the residence and there is a mechanical basement located below the eastern portion of the residence. A portico structure is attached to the east side of the residence.

A detached garage with a guest house above is located northeast of the main residence. This is a wood framed structure with an exterior stucco finish. The roof areas are pitched with slate or slate-like roofing. The garage structure is constructed on a concrete slab foundation system.

6690 Vista Del Mar, #D | Playa del Rey, CA 90293
Phone: (310) 306-3055 | Cell: (818) 535-9671
Email: tapurkiss@gmail.com

There is an upper terrace area located north of the residence, which includes a lawn area and an inground swimming pool/spa with concrete decking. The residence and the garage/guesthouse are situated on a relatively flat building pad in a hillside area. The property generally slopes and terraces upward toward the north. There are numerous retaining walls on the property, many of which are nonconforming retaining walls constructed with concrete rubble and mortared stone. A stucco finished retaining wall that is up to 7 or 8 feet tall extends along the east side of the driveway and portico area, and the northern portion of the wall serves as the foundation for the east side of the garage/guesthouse. This wall retains the higher grade associated with the driveway and garage relative to a descending slope at the east side of the wall. A concrete retaining wall that is up to 12 or 14 feet tall extends along the east and southeast side of the property. This wall retains the higher grade associated with the subject property relative to the adjacent sidewalk below. An approximate 3 foot tall concrete retaining wall extends along the west and southwest portion of the property due to the higher grade of the front yard area relative to the adjacent sidewalk.



View of the front/south side of the residence.

REVIEW OF DOCUMENTS

During our visit to the property, there were several roles of plans that were made available. One of the sets of plans contain three sheets dated 9-26-96. These plans were prepared by Laurence Woodcraft, Architect, and are related to reconstructing a chimney or chimneys. The plans did not include a plot plan or a key plan indicating which chimneys were to be reconstructed. The remaining plans were mostly related to landscaping items.

OBSERVATIONS – MAIN RESIDENCE

Residence Interior:

We placed a self-leveling laser device on the floor planes at several random locations throughout the home. This device indicated unevenness in the floor planes at several of the locations we checked. The unevenness we measured includes the following:

Lower Floor:

- An approximate 1 inch downward slope in the floor plane toward the southwest corner of the dining room.
- An approximate 1 inch downward slope in the floor plane toward the south side of the living room.
- An approximate 1 inch downward slope in the floor plane toward the southeast corner of the southeast den.
- An approximate $\frac{3}{4}$ inch downward slope in the floor plane toward the east side of the study.
- An approximate $1\frac{1}{2}$ inch downward slope in the floor plane measured from the north side of the family room to the south side of the kitchen. This measure was taken from the rear foundation to the front foundation.
- An approximate 1 inch downward slope in the floor plane toward the southwest corner of the southwest breakfast room.

Upper Floor:

- An approximate 1 inch downward slope in the floor plane toward the south side of the closet/vanity area above the entry.
- An approximate $1\frac{1}{2}$ inch downward slope in the floor plane toward the east side of the bedroom located west of the southeast bedroom.
- An approximate 1 inch downward slope in the floor plane toward the east side of the southeast bedroom.
- An approximate $\frac{1}{2}$ inch downward slope in the floor plane toward the southwest corner of the upstairs laundry room.

Our measurements indicated sloping up to approximately $1\frac{1}{2}$ inches on a room by room basis. We suspect there would be more unevenness were one to measure the highest point in the floor relative to the lowest point in the floor, such as with a manometer survey. The sloping we measured primarily consists of downward sloping toward the south side of the building. This unevenness appeared related to a minor amount of foundation settlement along the south/front side of the building. We suspect the southerly foundations may be situated in older fill materials that may have experienced consolidation. The buyer should obtain additional information from the geotechnical consultant that was present during our visit (Mr. Parmelee) regarding the possible presence of older fill materials and the potential for future settlement. It is our opinion that the prior settlement and related unevenness has not caused any unsafe structural conditions. However, some additional settlement may occur in the future, particularly if adverse drainage conditions cause elevated moisture levels in the soil adjacent to the foundations. **At a minimum, we recommend improving and maintaining favorable site drainage conditions, which may reduce the potential for future settlement. The buyer should obtain recommendations for drainage improvements from the drainage contractor that was present during our visit to the property (Mr. Toole).**

We observed “cupping” in portions of the hardwood flooring, particularly in the downstairs bathroom off the study. This is often related to elevated moisture levels. **This is a moisture related issue that is beyond the scope of this report and should be addressed by others. See photo below.**

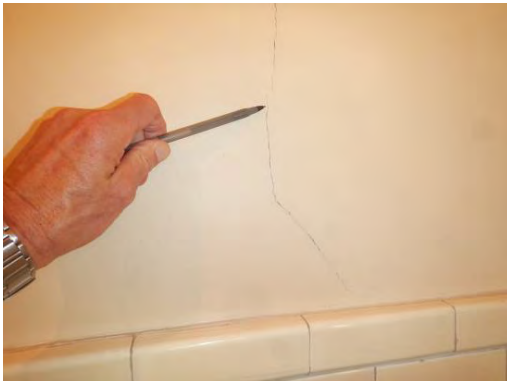


Cupping in the hardwood flooring at the downstairs bathroom off the study.

We observed several cracks in the interior plaster finishes. The cracks we observed include a vertical plaster crack at the west wall of the southwest breakfast room, a vertical plaster crack at the south wall of the upstairs west bathroom, and a diagonal plaster crack at the west wall of the southwest bedroom. The cracks we observed are likely related to the prior settlement the building has experienced. It is our opinion the cracks we observed are not related to any significant underlying structural damage. See photos below.



Vertical plaster crack at the west wall of the southwest breakfast room.

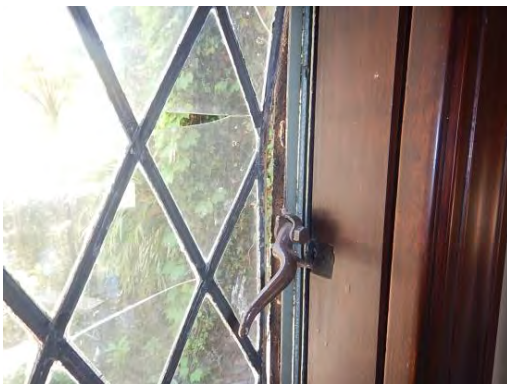


Vertical plaster crack at the south wall of the upstairs west bathroom.



Diagonal plaster crack at the west wall of the southwest bedroom.

Several of the leaded glass windows are damaged and are in need of replacement or rehabilitation. See photo below.



This is one of the damaged leaded glass windows at the north wall of the entry stairwell.

Several of the walls throughout the home were measured to be out of plumb, particularly at several of the upstairs walls at the south side of the building. For example, the south wall of the upstairs southwest bedroom was measured to be leaning/rotated approximately $1 \frac{3}{4}$ inch to the south, and the south wall of the upstairs bedroom with the fireplace was measured to be leaning approximately 1 inch toward the south. Foundation settlement can often cause out of plumb conditions in the walls. However, the approximate $1 \frac{3}{4}$ inch of

rotation we measured at the south wall of the southwest bedroom was more than we would expect to see, given the fairly minor amount of foundation settlement that has occurred. We suspect the unevenness in the upper floor walls may be related to minor sagging or deflection in the roof framing, which can often cause the supporting walls to push outward as the pitched roof framing deflects downward. This is only conjecture. We did not observe any conditions associated with the out of plumb walls that appeared related to any structural safety issues.

Residence Exterior:

A large percentage of the building exterior is covered with vines and plant growth. As a result, we were unable to observe a large percentage of the exterior finishes. Also, this type of heavy plant growth attached to the building can cause damage to the finish materials. **We recommend removing the vines and plant growth. See photo below.**

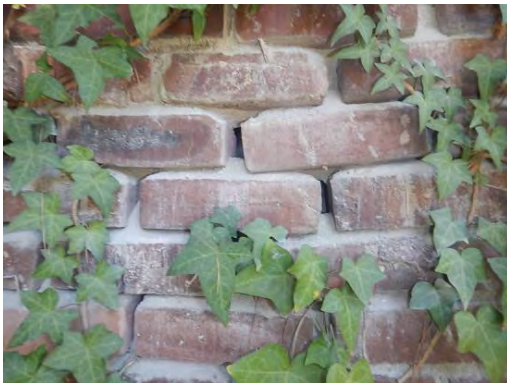


This photo shows an example of some of the heavy plant growth attached to the exterior of the residence.

A large percentage of the building exterior is surfaced with brick veneer. We observed significant mortar deterioration associated with portions of the brick work. Many sections of the brickwork are not set level and it is unsure if this is an as built condition or the bricks had shifted due to prior mortar deterioration. **We recommend repointing any deteriorated mortar. This typically involves removing portions of the deteriorated mortar and installing new mortar. See photos below for examples of the some of the deteriorated mortar conditions we observed.**



Example of mortar deterioration at the east wall of the residence.



Example of severe mortar deterioration and shifted bricks at the southwest corner of the kitchen.

The slender brick columns that support the east side of the portico appeared as if they may be constructed with unreinforced brick or a brick veneer attached to wood posts. X-ray testing or invasive testing could be performed to verify this. **If it is determined the columns do not contain reinforcing steel or structural steel columns, it is our opinion that the columns have an elevated risk of potential seismic damage, and we recommend replacing the brick columns with structural steel columns or reinforced concrete that could then be clad in brick. See photo below.**



This photo shows the slender brick columns supporting the east side of the portico.

The downstairs southeast bathroom was reported to have originally been an open entry porch that has since been enclosed with brick infill. It appeared the walls associated with this bathroom are constructed with brick masonry, which we suspect may not contain reinforcing steel. Again, this could be verified with x-ray testing or invasive testing. **If it is determined the walls are constructed with unreinforced brick, it is our opinion there is an elevated risk of potential seismic damage associated with the bathroom and we recommend the buyer consider replacing these walls with conventional wood framed construction.**

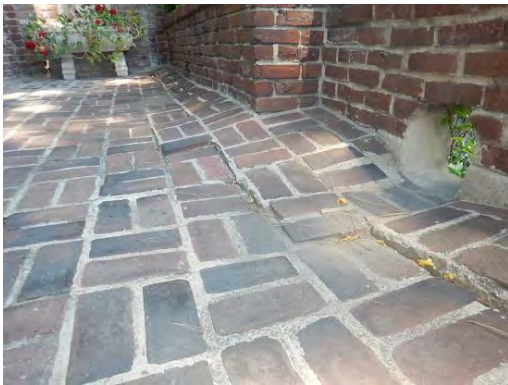


We suspect the walls surrounding the downstairs southeast bathroom may be constructed with unreinforced masonry.

The front entry steps and entry porch are constructed with what appeared to be unreinforced brick retaining walls and brick paving materials. The brick retaining walls have experienced lateral rotation and we observed numerous cracks in the walls and separations between the walls and the paved surfaces. For example, the brick retaining wall at the south side of the entry porch was measured to be leaning/rotated approximately 2 inches. The entry porch surface has settled more than 6 inches, creating tripping hazards and a lack of slope for drainage. The severe settlement the entry porch paving has experienced appeared related to the lateral movement in the surrounding retaining walls and a lack of compaction of the underlying soil. Ponding water on the entry porch surfaces will cause saturated soil conditions, which will exacerbate the settlement and lateral movement of the retaining walls. **At a minimum, we recommend removing the settled portions of the entry porch and steps, recompacting the soil, and resetting the bricks with proper slope for drainage. However, additional movement of the brick retaining walls that surround the entry porch and steps will likely cause ongoing cracking and settlement. Ideally, this entire porch/stair structure should be reconstructed with properly engineered retaining walls. See photos below.**



View of the brick entry steps and entry porch.



Portions of the brick paving at the front entry porch have settled more than 6 inches.



Large cracks in the brick retaining wall at the south side of the lower landing.



Large cracks in the brick retaining wall that surrounds the entry porch.

The building exterior has experienced deferred maintenance. This includes dry rot/decay in portions of the exterior wood elements. **It is our opinion that the many of the exterior finishes and trim elements are in need of rehabilitation. See photo below.**



Decay in the wood trim at the south wall above the southeast corner of the dining room.

The portico roof structure consists of exposed 2 x 4 rafters and 1X roof sheathing. There is no ridge board provided where the rafters meet at the peak of the roof. We counted approximately eight rafters that had been spliced, presumably due to prior decay issues. The splicing that was performed has not fully restored the structural integrity of the already light 2 x 4 rafters. **We recommend installing full-length rafters alongside of the rafters that have been partially spliced.** Also, the stability of this roof structure is achieved by virtue of the horizontal tie rods that span north-south across the portico. Modern building codes require this type of tie rod system to be spaced at intervals not exceeding 4 feet and the tie rods that exist are spaced much further than 4 feet. **We recommend installing additional horizontal tie rods if it is desired to achieve conformance with modern building code requirements. See photos below.**



Approximately eight of the 2 x 4 rafters associated with the portico roof have been spliced in a substandard manner.



The horizontal steel tie rods are spaced further than the building code recommended 4 foot maximum intervals.

The southeast second floor deck is only provided with one scupper drain and there is no secondary overflow drain. This is a potential water damage issue that is beyond the scope of this report. **We recommend having the deck evaluated by a decking contractor and/or a waterproofing consultant. See photo below.**



There is only one scupper drain for the southeast second floor deck.

Roof/Attic Framing:

We accessed the attic areas via ceiling hatches in the closet for the southeast bedroom and in the closet for the southwest bedroom. The roof framing generally consists of 2 x 6 rafters,

1 x 6 ridge boards, 2 x 8 valley members, 2 x 4 purlin braces, and 1 x 6 roof sheathing. We were unable to visually evaluate portions of the roof/attic framing due to tight clearances. The visible portions of the roof framing appeared to be performing adequately. See photo below.



This photo shows an example of some of the typical roof/attic framing.

Photo of typical roof/attic framing

Laundry Basement:

As noted above, there is a basement laundry room below the western portion of the home and there is a mechanical basement below the eastern portion of the home. The westerly laundry basement is mostly finished with drywall furring placed over the perimeter retaining walls and on the ceiling framing. There is a small section of exposed concrete retaining wall at the west side of the basement. It is unknown to the undersigned if there has been any moisture intrusion or moisture damage on the surfaces of the retaining walls, as the majority of the walls are concealed by the furring materials. **We recommend having an environmental/mold consultant evaluate the basement areas.**

Mechanical Basement:

The easterly mechanical basement is unfinished, with exposed retaining walls and floor joist framing overhead. We observed extensive moisture damage/intrusion at the north wall of the basement and the retrofit foundation anchor plates are severely corroded at this location. It appeared the adjacent grades along the north side of the basement are above the level of the retaining walls and there is soil against the cripple wall framing. We could see evidence of moisture seepage through the cripple walls and the waterproofing paper behind the cripple walls is deteriorated. **We recommend either replacing the cripple wall framing with concrete or installing a robust waterproofing system on the exterior surface of the cripple walls prior to installing a concrete barrier wall on the outside surface of the cripple wall framing to separate the soil from the wood framing. See photos below.**



Moisture damage and severely corroded foundation anchor plates at the north wall of the basement.

We also observed evidence of moisture seepage and surface deterioration of the concrete at the other basement retaining walls, particularly at the south wall of the basement. These walls appeared in serviceable condition. **However, the source of the moisture should be identified and eliminated. See photo below.**



There has been prior moisture seepage and surface deterioration of the retaining wall at the south side of the basement.

There is a structurally compromised section of older concrete block wall on top of the west wall of the basement. This compromised wall is supporting the end of one of the floor girders. **We recommend replacing this short section of masonry wall with a reinforced concrete or concrete block wall. See photo below.**



This compromise section of concrete block wall is supporting the floor girder and should be replaced.

Foundations and Sub-Floor:

We accessed the sub-floor areas via the easterly mechanical basement and an access opening at the south foundation. The foundation system generally consists of 2 x 8 floor joists that bear on concrete perimeter foundations. Support for the interior portions of the floor framing is provided by a series of 4 x 6 girders that bear on isolated concrete pier footings, along with several interior continuous footings. We observed the following conditions in the subfloor areas that should be noted or are in need of attention:

1. As noted above, the cripple wall framing at the north side of the mechanical basement appeared to be below grade and improperly retaining soil. We observed other areas where the exterior grades are above the level of the foundations, resulting in the soil against the cripple wall framing. This includes an area at the north foundation west of the mechanical basement (near the fireplace), along the north side of the entry stairwell, and along portions of the south foundation. There is an area surrounding the south side of the southeast den where several feet of soil is piled up against the cripple wall framing, which has caused extensive moisture damage to the framing and plywood cripple wall bracing. **At locations where the exterior grades are several inches above the tops of the foundations, the exterior grades should either be lowered or waterproofing should be applied to the exterior of the building and concrete barrier walls/flash walls should be installed between the soil and the cripple wall framing to ensure the soil is against concrete and not against the wood framing. Around the south side of the southeast den where there is a significant amount of soil against the cripple wall framing, the foundations should be replaced with retaining walls. See photos below.**



This section of cripple wall framing at the north wall of the building, just west of the mechanical basement, is improperly retaining soil and is water damaged.



There has been moisture intrusion at the foundation at the north side of the entry stairwell due to high-grade conditions where the soil is above the level of the foundation.



The exterior soil is above the level of the foundation and is damaging the cripple wall framing at the south side of the southeast den.

2. The foundations have been retrofitted with anchor bolts and plywood cripple wall bracing. However, some of the foundation bolts were installed at severe angles, portions of the cripple wall framing have not been braced (e.g. at the north side of the entry stairwell), and as noted above, several of the anchor plates are severely corroded and portions of the plywood cripple wall bracing are water damaged. Also, several of the foundation bolts that were installed are embedded into older concrete blocks that had been placed on top of the original concrete foundations. **Additional foundation retrofitting work is recommended to address these conditions. See photos below.**



Some of the foundation bolts were installed at a severe angle.



Some of the foundation bolts were installed into older concrete blocks that may not contain reinforcing steel.

3. We observed moderate to above average deterioration on portions of the foundations. It is our opinion that the foundations are still in serviceable condition at this time. **However, we recommend periodically monitoring the condition of the foundations. Ongoing deterioration may warrant replacing portions of the foundations in the future. See photo below.**



Example of some of the concrete deterioration we observed. This occurs at one of the interior foundations below the eastern portion of the home.

4. We observed several cracks in the concrete foundations. The cracks we observed are fairly small and did not appear to have significantly affected the overall structural integrity of the foundation system. See photo below.



This is one of the foundation cracks we observed at one of the interior footings below the western portion of the home.

5. Surface erosion has caused soil to collect against portions of the cripple wall framing along the south foundation. Soil contacting the wood framing can promote pest damage and decay. **The loose soils should be removed. See photo below.**



Soil is built up against the cripple wall framing at the south foundation below the western portion of the home.

6. There are numerous substandard pier footings supporting the interior portions of the floor framing. This includes pier footings that are supported on stacks of older concrete blocks and wood shims. **The substandard piers should be replaced. See photos below.**



Example of some of the substandard foundation piers we observed.



Another example of substandard foundation piers.



Yet another example of one of the substandard foundation piers we observed.

7. The temporary form lumber has yet to be removed at one of the foundations below the western portion of the home. This is located near the stairwell down to the laundry basement. The form lumber contacting the concrete and the soil in a crawlspace environment can promote pest damage and decay. **The form lumber should be removed. See photo below.**



This temporary form lumber has yet to be removed near the stairwell down to the laundry basement.

8. Portions of the insulation materials have detached from the floor joist framing and have fallen to the ground. **The loose and fallen insulation materials should be properly secured to the framing. See photo below.**



Example of some of the fallen insulation materials we observed.

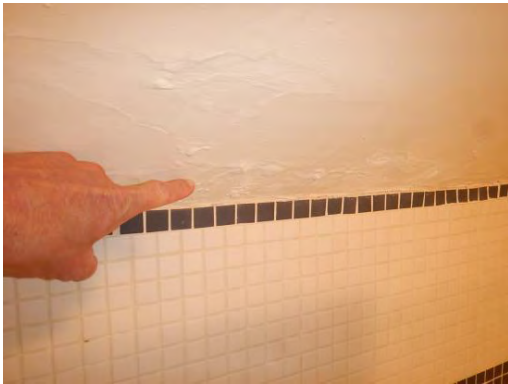
OBSERVATION – GARAGE/GUEST HOUSE

As noted above, a detached garage with a guest house above is located northeast of the main residence. This is a wood framed structure with an exterior stucco finish. The roof areas are pitched with slate or slate-like roofing. The garage structure is constructed on a concrete slab foundation system. See photo below.



View of the south side of the garage/guesthouse.

We observed water damage in the ceiling and wall above the guest unit bathtub/shower. **Issues related to water damage and moisture are beyond the scope of this report and should be addressed by others. See photo below.**



Water damage in the ceiling and walls above the guesthouse bathtub/shower.

We placed a self-leveling laser device on the floors throughout the upstairs guest unit. When we shot the laser from the west side of the bedroom to the east wall of the kitchen, we measured an approximate 1 inch variation, suggesting the east foundation of the guest unit/garage had settled approximately 1 inch. This device indicated the floor of the central bedroom slopes downward approximately 2 ½ inches toward the east. The floor is essentially depressed approximately 2 ½ inches near the interior wall between the bedroom and the kitchen. We consider this an above average amount of sagging/deflection in the floor framing that spans over the garage. In the garage, we could see that a post had been removed below the original plaster clad ceiling beam that supports the floor of the guest unit where we measured the large depression in the framing. A triple 2 x 12 was installed below the original plaster clad being, presumably to address the removal of the support post. The triple 2 x 12 beam appeared undersized to support the loads, resulting in the deflection in the floor above. In addition, the structural connection between the added beam and the support post at the north end of the beam is substandard. **We recommend shoring up the floor framing to a more level condition and installing a stronger engineered beam to replace the triple 2 x 12 beam. See photos below.**



This is where a support post was removed in the garage.



This is the triple 2 x 12 beam that was installed to address the removal of a support posts for the original beam above.



The connection at the north end of the added beam is substandard.

It is our opinion that the garage/guesthouse has a seismic weakness known as a “soft-story” condition. This is due to the absence of solid shear wall materials at the south side of the garage, where the garage doors and the door to enter the guesthouse make up the majority of the south wall. To our knowledge, there is no mandatory requirement to retrofit or upgrade the garage to meet modern seismic code requirements. However, we recommend the buyer consider performing voluntary seismic upgrades at the south wall of the garage to address this condition. **This would typically consist of installing steel columns or a steel frame to resist the seismic loads at the south side of the garage. See photo below.**

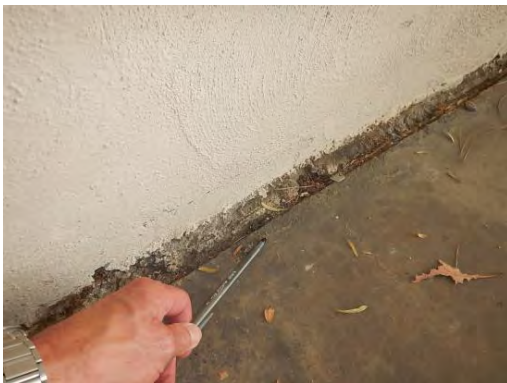


The south wall of the garage consists of door openings with little or no solid shear wall to resist earthquake's.

We observed several small cracks in the garage floor slab. The largest cracks we observed are approximately 1/8 inch in width and did not appear structurally significant. Our laser measuring device indicated the garage floor slopes downward approximately 1 inch toward the east. There are gaps/separations up to approximately 1 1/2 inches wide between the easterly edge of the garage floor slab and the east foundation of the garage. The east wall of the garage is supported on an approximate 7 to 8 foot tall concrete retaining wall. Our laser measuring device indicated this retaining wall is leaning/rotated approximately 1 inch toward the east along the portion of the wall that is supporting the garage. The movement of the retaining wall appeared to be the cause of the separations between the slab and the top of the wall and is likely the cause of the downward sloping of the garage floor slab and the floor of the guest unit above. It is our opinion that the approximately 1 inch of rotation associated with this 7 to 8 feet tall wall has not significantly compromised structural integrity of the retaining wall or the garage structure. However, additional movement/rotation of the retaining wall may occur in the future, particularly if the wall is subjected to strong earthquake ground shaking or saturated soil conditions in the retained earth behind the wall. **We recommend periodically monitoring this condition. See photos below.**



This is the retaining wall that supports the east side of the garage.



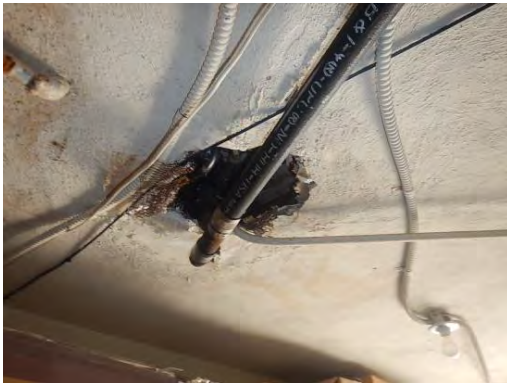
Gaps between the east edge of the garage floor slab and the top of the retaining wall that supports the east side of the garage.

There are holes in the plaster ceiling in the garage that may be compromising the required fire separation between the garage and the habitable areas above. **This is a nonstructural**

issue that should be addressed by the general home inspector or other qualified professionals. See photos below.



Hole in the garage ceiling.



Hole in the garage ceiling.

A wood framed partition wall has been installed between the westerly of the garage and the two the easterly garage bays. We could see water damage and what appeared to be bio growth (mold?) on the drywall associated with this wall. **The source of the moisture should be identified and eliminated and we recommend having the structures on the property evaluated by an environmental/mold consultant. See photo below.**



Water damage and bio growth on the partition wall between the west garage bay and the easterly garage bays.

GROUND

A stucco finished retaining wall that is up to 7 or 8 feet tall extends along the east side of the driveway and portico area, and the northern portion of the wall serves as the foundation for the east side of the garage/guesthouse. This wall retains the higher grade associated with the driveway and garage relative to a descending slope at the east side of the wall. As we noted above, a portion of the retaining wall that is supporting the garage was measured to be leaning/rotated approximately 1 inch toward the east. We placed our laser measuring device on the wall at various locations. The maximum amount of rotation we measured along the length of the wall was on the order of approximately 2 inches. It is our opinion that this retaining wall is still in serviceable condition. However, additional movement/rotation of the retaining wall may occur in the future, particularly if the wall is subjected to strong earthquake ground shaking or saturated soil conditions in the retained earth behind the wall. Elevated moisture levels in the retained earth could be caused by various factors, including adverse drainage and overwatering, a leaking plumbing line, etc. **We recommend periodically monitoring the condition of the wall. See photo below.**



This is the retaining wall at the east side of the driveway area.

The chain-link fencing at the east side of the property (downhill and east of the garage) is situated at the top of the retaining wall. We were unable to evaluate the condition of this wall due to a lack of access to the adjacent property. However, we observed 1 foot or more of soil and leaves piled up against the chain-link fencing, which is damaging the fencing. **The soil and debris should be removed. See photo below.**



Soil and leaves or built-up against the chain-link fencing at the east side of the property.

Portions of the concrete driveway are cracked and a section of the driveway located south of the portico has been uplifted several inches by tree roots. This creates a tripping hazard. **We recommend replacing the damaged sections of the driveway. See photo below.**



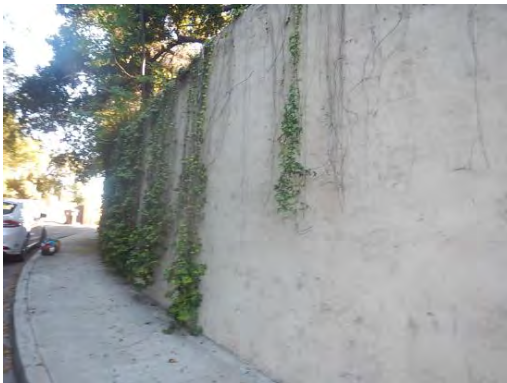
A portion of the driveway slab has been uplifted by tree roots.

An approximate 3 foot tall older concrete retaining wall extends along the sidewalk at the south and southwest portions of the property. We observed several cracks up to ½ inch wide in the wall and portions of the wall were measured to be leaning/rotated more than 3 inches. We consider 3 inches of rotation associated with a 3 foot tall wall to be excessive and in our opinion, this wall is failing. **It is our opinion this wall is in need of replacement. See photo below.**



The retaining wall at the south and southwest portions of the property has several large cracks and was measured to be leaning 3 inches.

An approximate 12 to 14 foot tall retaining wall extends along the southeast portion of the property, adjacent to the sidewalk. Portions of the wall are concealed by plants and vines. We did not observe any significant cracks at the visible surfaces of the wall. Our laser measuring device indicated portions of the wall are leaning/rotated approximately 1 inch. It is our opinion that 1 inch of rotation for a wall of this height is not structurally significant. However, we observed efflorescence and moisture seepage on portions of the wall. Over prolonged periods of time, moisture seepage can cause deterioration/corrosion of the internal reinforcing steel. **At a minimum, we recommend improving and maintaining favorable drainage conditions behind the wall to prevent elevated moisture levels in the retained earth. See photos below.**



The approximate 12 to 14 foot tall retaining wall at the southeast portion of the property appeared in good structural condition.



We observed efflorescence and moisture seepage on portions of the retaining wall that extends around the east and southeast portions of the property.

Additional Comments:

The subject structure(s) on the property are primarily wood framed and are inherently flexible and experience movement when subjected to settlement, wind and seismic forces, expansion and contraction due to changes in ambient conditions, and changes in the floor and roof loads. The wood framed structure(s) on the property are finished with brittle finish materials that often experience cracking and distress due to movement associated with these conditions. Wood framed structures of this type that were recently constructed or have been remodeled or altered typically have an elevated risk of cracking and distress due to prior patching of older finish materials, differential movement between older and newer framing and finish materials, and shrinkage associated with newer framing and finish materials. The likelihood of future cracking and distress in the finish materials is typically elevated if the structure or structures on the property are subjected to elevated moisture levels and/or adverse drainage conditions. The buyer should anticipate future cracks in the finish materials.



This report is the result of a visual evaluation only. No tests were made and no analysis was performed. No warranty, express or implied, is made or intended. The above are opinions and are based on professional experience with similar construction and a limited walk-through of exposed portions of the structure. These conclusions and recommendations are subject to change, if warranted, as additional information becomes available.

This report is intended for the sole benefit of the client and is not transferable. This report may not be construed as a guarantee or warranty of the performance of the structure(s) under future adverse circumstances.

Respectfully,

Page 28
2656 Aberdeen Avenue
June 25, 2017

A handwritten signature in cursive script, reading "Thomas A. Purkiss". The ink is dark and the signature is fluid, with the first name "Thomas" and last name "Purkiss" clearly legible.

T. A. Purkiss
Structural Engineer #3291



July 11, 2018

Stuart Gulland
2656 Aberdeen Ave.
Los Angeles, CA. 90027

Subject: Work Description and Completion: 2656 Aberdeen Ave., Los Angeles, CA. 90027.

To Whom It May Concern:

1. Where the multiple stacked concrete blocks exist, joist perpendicular condition, trench, form, and pour a steel reinforced concrete 'sister' foundation segment. Footing to be 15" wide by 18" deep. Allow concrete to set and strip the forms. At joist parallel condition temporarily shore the substructure and remove the stacked block. Set steel dowels into the original foundation stem wall/ footing and install wood forms for new steel reinforced concrete stem walls. Place concrete into forms, allow concrete to set, and remove the forms. Concrete to be 2500 psi pump mix. Temporarily shore the substructure at the substandard supports. Remove the stacked concrete slab pieces. Install new concrete piers and 4x4 support posts. At undermined concrete piers, mix and place concrete beneath the piers.
2. Where existing bolts are at a steep angle, install a steel Simpson UFP10 anchor adjacent. Remove the two badly rusted anchor plates in the basement and install new plates. At the southeast area remove the moisture damaged plywood panel. Install a new ½" plywood panel. Install additional ½" plywood panels along perimeter cripple walls as needed to maintain 70% coverage.
3. At the small basement area where broken blocks and cored holes in the blocks exist (above the retaining wall line), remove blocks down to the retaining wall level.
4. Obtain a city building permit for voluntary upgrade bolting.

Completion of the above work was achieved on November 2017 and has been approved by the City of Los Angeles (LADBS) by the inspector Danny Tolentino.

Kindest Regards,

Seismic Safety/Ed Sylvio Construction
License #662926

2640-2656 NORTH ABERDEEN AVENUE

Aberdeen House, Historic-Cultural Monument (HCM) #1171
CHC-2019-1328-MAEX

PRE-APPROVAL INSPECTION REPORT



Mills Act Historical Property Contract Program
Pre-approval Inspection Report

Property Information	Owner Information
Address: 2640-2656 N. Aberdeen Avenue	Name: Stuart and Dawn Gulland Living Trust
Zip Code: 90027	Address: 2656 N. Aberdeen Avenue
APN: 5588-030-017	Los Angeles, CA 90027
HCM: 1171; Aberdeen House	Phone: 310-874-5699 (mobile); 323-385-2373 (alternate)
HPOZ: N/A	Email: stuart@vantagepi.com
	Representative: Vanessa Withers; vanessa@hppgroup.net vanessa@historicpreservationpartners.com

Pre-inspection

Record of communication with Applicant to schedule pre-contract inspection:

Inspection scheduled on 05/24/2019; Confirmed on 05/24/2019.

Inspection Overview

Date and time of pre-contract inspection: June 11th, 2019 at 1:00pm

Parties present at inspection: Audrey Sato, Audrey von Ahrens, Laura O'Neill and Stuart and Dawn Gulland (owners), Vanessa Withers, and Dustin Coad (contractor, Kaptive C&P)

- ☒ Provide owner with business cards from GPA Consulting and Sato Architects inspectors.
- ☒ Inspect property. If multi-family or commercial, included a
 - ☒ thorough sample of units/spaces.
 - ☐ representative
 - ☐ limited
- ☒ Review any completed and in progress work to confirm compliance with proposed Contract.
- ☒ Review areas of proposed work to ensure compliance with proposed Contract.
- ☒ Identify and photograph any existing, non-compliant features to be rehabilitated during the Contract period.
- ☒ Discuss maintenance program and issues.
- ☒ Yes Do the application and documentation accurately reflect the property's existing condition?
☐ No If no, items/issues noted:
- ☒ Yes Does the proposed scope of work appear to meet the Secretary of the Interior's Standards?
☐ No If no, items/issues noted:
- ☒ Yes Does the proposed scope of work appear to meet the Contract's property maintenance guidelines? If no, items/issues noted:
☐ No





Notes and Observations

Foundation/Structural
<ul style="list-style-type: none"> Foundation seismically retrofitted. Plywood stem walls, new concrete foundations and new pier foundations observed. Grading issue was corrected to raise concrete foundation walls above exterior grade level.
Exterior
<ul style="list-style-type: none"> 70-80% of brick was repointed with new mortar after thick vine coverage was removed from exterior of building. Porte cochère columns were reconstructed during Northridge earthquake according to project team. Wood roof rafters that had been inappropriately spliced mid-span were replaced in kind with rough-hewn wood.
Site/Landscape (garage or carriage house, landscape, walk/drive, fencing, and similar)
<ul style="list-style-type: none"> First set of steps and landing of front brick entry steps was added to replace non-original concrete steps. New brick matches old in color. Lower portions of driveway were recently re-poured in 2018, per Rehabilitation/Restoration/Maintenance plan (Exhibit A). Future work (not included in Exhibit A at the time of inspection) includes repair of remaining, upper portions of driveway where there is severe cracking and lifting of concrete from trees. Rear landscaping dates from 1990s. Large crack observed in terraced concrete planter of tree in rear yard. Recommend repair of concrete and investigation to ensure stability of land/tree at steep hillside slope. Detached garage should be addressed in proposed Exhibit A. Detached garage second floor felt soft in areas underfoot, an inadequate beam, and mold growth were observed in the garage. Work should include structural reinforcement of garage and mold remediation. Recommend investigation of whether retaining wall is adequately waterproofed, and the space is adequately vented, as potential causes for mold growth. There is minimal historic fabric extant in interior of garage.
Chimney(s)
<ul style="list-style-type: none"> Chimneys were rebuilt after Northridge earthquake. Bricks were repointed with ivy removal in 2018 and appear to be in good condition.
Roof
<ul style="list-style-type: none"> Slate roof was recently rehabilitated in 2018, including new gutters and downspouts, and appears to be in good condition. However, build-up of debris from large trees was observed on roof plane and in gutters. Ongoing maintenance should include cleaning roof and gutters from debris to ensure longevity of roof, proper drainage, and avoid fire hazard.
Windows/Doors
<ul style="list-style-type: none"> Original steel casements and leaded glass windows all recently rehabilitated and appear to be in good condition. Leaded, stained glass windows along stairwell rehabilitated but had not yet been installed at time of inspection. Non-original opening off front porch was enclosed with brick to match original.
Interior
<ul style="list-style-type: none"> Kitchen is currently being remodeled. Kitchen was previously remodeled and contained minimal historic fabric. Care is being taken to preserve original ceiling moldings. Non-original built-in entertainment center in billiard room was removed to reveal original wood paneling. Wood paneling is in process of being restored. All bathrooms have been remodeled. Bathrooms retained minimal historic fabric prior to remodel, and any extant historic features were severely deteriorated and covered in mold. Bathroom in first floor guest bedroom was enlarged. Wood paneling was added to new walls to match original. North-west bathroom was reconfigured to a new powder room. A small addition was made to the north end of the family room (under the stairs) to create a new vestibule and powder room. Oak floors in second floor were fully replaced in kind. According to project team, original oak floors were too thin to be refinished. Original floors were retained on first floor. Upstairs floorplan was reconfigured to allow for a central hallway along stairs, original Jack and Jill Bath 2 was reconfigured to single, Bath 3 was reconfigured from single to Jack and Jill, and Master Suite was reconfigured and expanded, resulting in the elimination of Bedroom 6. Tudor arches were added to new hallway and match original. Original light fixtures were temporarily removed and are being stored in protected enclosure in rear yard.
Systems
<ul style="list-style-type: none"> All systems were upgraded per work plan.



Photographs

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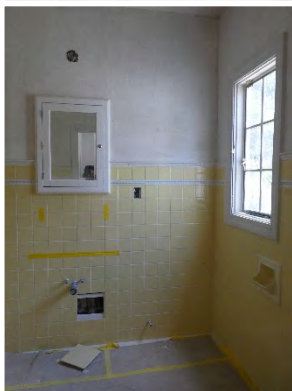
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