

DEPARTMENT OF CITY PLANNING RECOMMENDATION REPORT

City Planning Commission

Date: February 8, 2018
Time: After 8:30 A.M.*

Place: Los Angeles City Hall

Council Chambers, Room 340 200 North Spring Street

Los Angeles, California 90012

Public Hearing: To be held by the City Planning

Commission

Appeal Status: Zone Change and Height District

Change are appealable by applicant to City Council if disapproved. All other actions are appealable to City

Council.

Expiration Date: March 27, 2018

Multiple Approval: Yes

Case No.: CPC-2016-4962-VZC-HD-

MCUP-ZV-SPR

CEQA No.: ENV-2016-4963-CE

Related Cases: N/A **Incidental Cases:** N/A

Council No.: 14 - Huizar Plan Area: Central City

Specific Plan: None

Certified NC: Downtown Los Angeles Land Use: Light Manufacturing

Existing Zone: M2-2D **Proposed Zone:** (T)M2-2D

Applicant: 755 South Los Angeles

Street, LLC

Representative: Stephen Kia, Urban

Concepts

PROJECT LOCATION:

755 South Los Angeles Street (751 – 761 South Los Angeles Street)

PROPOSED PROJECT:

The Proposed Project is comprised of improvements to an existing 79,793 square-foot light manufacturing building with a 15,879 square-foot basement currently used for storage. The improvements include a change of use from clothing manufacturing, retail, accessory office, and storage uses to office, food hall/restaurant, and storage uses; and a 9,541 square-foot rooftop restaurant addition, resulting in a net floor area increase of 6,856 square feet and a total floor area of 86,649 square feet. The Project Site has a lot area of approximately 18,024 square feet, and the Project proposes a Floor Area Ratio (FAR) of approximately 4.9:1. The floor area will be distributed as follows: 59,292 square feet of general and/or creative office space on floors two through five; and nine restaurants totaling 27,357 square feet, including an eight-tenant food hall with outdoor dining on the ground floor/mezzanine and basement, and one rooftop restaurant with outdoor dining. Four automobile parking spaces are proposed off-site, and 16 bicycle parking spaces are proposed on-site (four short-term and 12 long-term).

REQUESTED ACTION:

- 1) Pursuant to CEQA Guidelines, Article III, Section 1, Classes 1 and 32, an Exemption from CEQA, and that there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies;
- 2) Pursuant to Los Angeles Municipal Code (LAMC) Sections 12.32 Q and F, a Vesting Zone and Height District Change from M2-2D to (T)M2-2D to amend the Development "D" Limitation to permit a 4.9:1 FAR in lieu of the existing D Limitation of a 3:1 FAR;
- 3) Pursuant to LAMC Section 12.24 W.1, a Master Conditional Use Permit to allow the sale of a full line of alcoholic beverages for on-site consumption, in conjunction with nine restaurants totaling 27,357 square feet and 1,152 seats, and pursuant to LAMC Section 12.24 S, a 20 percent reduction in the number of required parking spaces;

- 4) Pursuant to LAMC Section 12.27, a Variance from LAMC Section 12.26 E.5 to provide automobile parking spaces off-site within 750 feet by lease in lieu of recorded covenant; and
- 5) Pursuant to LAMC Section 16.05, Site Plan Review for a change of use that results in an increase of 1,000 or more average daily trips.

RECOMMENDED ACTIONS:

- Determine that based on the whole of the administrative record, the Project is exempt from CEQA pursuant to CEQA Guidelines, Article III, Section 1, Classes 1 and 32, and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies;
- 2) **Approve and Recommend** that the City Council **adopt** a Vesting Zone and Height District Change from M2-2D to (T)M2-2D to amend the Development "D" Limitation to permit a 4.9:1 FAR in lieu of the existing D Limitation of a 3:1 FAR;
- 3) **Approve** a Master Conditional Use Permit to allow the sale of a full line of alcoholic beverages for on-site consumption, in conjunction with nine restaurants totaling 27,357 square feet and 1,152 seats, and a 20 percent reduction in the number of required parking spaces;
- 4) **Approve** a Variance from LAMC Section 12.26 E.5 to provide automobile parking spaces off-site within 750 feet by lease in lieu of recorded covenant;
- 5) **Approve** a Site Plan Review for a change of use that results in an increase of 1,000 or more average daily trips; and
- 6) **Adopt** the attached Findings.

VINCENT P. BERTONI, AICP Director of Planning

Shana Bonstin

Principal City Planner

May Sirinopwongsagon

City Planner

Michael Sin City Planning Associate

ADVICE TO PUBLIC: *The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the *Commission Secretariat, Room 532, City Hall, 200 North Spring Street, Los Angeles, CA 90012* (Phone No. 213-978-1300). While all written communications are given to the Commission for consideration, the initial packets are sent to the week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendized herein, or in written correspondence on these matters delivered to this agency at or prior to the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to these programs, services and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request not later than three working days (72 hours) prior to the meeting by calling the Commission Secretariat at (213) 978-1295.

TABLE OF CONTENTS

Project Analysis	A-1
Project Summary Background Issues Conclusion	
(T) Conditions	T-1
Conditions of Approval	C-1
Findings	F-1
Exhibits:	
Exhibit A – Architectural and Landscape Plans	
Exhibit B – Maps (Vicinity and Radius)	
Exhibit C – Notice of Exemption (ENV-2016-4963-CE)	
Exhibit D – LADOT Assessment Letter and Updated Trip Generation Analysis	
Exhibit E – Public Comments	

PROJECT ANALYSIS

Project Summary

The proposed project consists of improvements to an existing five-story, 79,793 square-foot light manufacturing building ("Norton Building") located in the Fashion District of Downtown Los Angeles. Originally constructed in 1914, the now vacant building most recently held garment retail/wholesale uses on the ground floor, clothing manufacturing and accessory office uses on floors two through five, and storage uses within a 15,879 square-foot basement. The proposed improvements involve changes of use to the entire building, resulting in creative office, food hall/restaurant, and storage uses, and the addition of a 9,541 square-foot rooftop restaurant.

The proposed improvements would result in a net floor area increase of 6,856 square feet and a total floor area of 86,649 square feet. The building would have a Floor Area Ratio (FAR) of approximately 4.9:1 on the 18,024 square-foot site. The floor area would be distributed as follows: 59,292 square feet of general and/or creative office space on floors two through five; and nine restaurants totaling 27,357 square feet, including an eight-tenant food hall on the ground floor/mezzanine and basement, and one rooftop restaurant with outdoor dining. A breakdown of the proposed uses by floor is provided below in Table 1.

Table 1. Proposed Land Uses

Lovel	Drangood Ugo	Area (SE)
Level	Proposed Use	Area (SF)
Basement	Kitchen	4,598
1st Floor	Food hall/restaurants	12,499
1st Floor Mezzanine	Restaurant	1,652
2nd Floor	Office	14,555
3rd Floor	Office	14,665
4th Floor	Office	14,635
5th Floor	Office	14,504
Rooftop	Restaurant	9,541
TOTAL		86,649

The existing building would be substantially refurbished as part of the project. The existing metal screening, fire escape stairs, and retail signage would be removed from the Los Angeles Street façade. The proposed Los Angeles Street façade would incorporate new glazing spanning nearly the entire height of the 20-foot high ground floor, with the installation of new awnings, and a new office lobby ("East Lobby"). A recessed outdoor dining patio area would replace the existing garment retail storefront. All existing glazing on floors two through five would be replaced with new steel casement windows, and the building's exterior concrete walls would be cleaned and burnished.

Floor-to-ceiling windows are proposed at the rear of the building along the ground floor, excluding the mezzanine. Access to the rooftop restaurant would be provided through a separate elevator lobby ("West Lobby") located at the rear of the building. The rear of the building is accessible via a vacated alley that extends to 8th Street by way of a private easement. Raised planter beds and a new pedestrian ramp are also proposed within the vacated alley along the rear of the building.

The existing building has a height of approximately 67 feet. The proposed 9,541 square-foot rooftop restaurant addition, which incorporates a geometric design, would create a rooftop height varying from approximately 82 feet to 94 feet. Materials for the rooftop restaurant include metal cladding and full-height glazing. Other improvements to the rooftop include a 3,327 square-foot deck and a shade trellis with a 2,000 square-foot solar-ready area. As proposed, the building

would have a green roof that includes native plants, grasses, shrubs, and other landscaping.

The three street trees adjacent to the building along Los Angeles Street would be replaced. As proposed, four automobile parking spaces would be provided off-site by lease, and 16 bicycle parking spaces would be provided on-site (four short-term spaces and 12 long-term).

Background

The project site is comprised of two lots located in Downtown Los Angeles within the Central City Community Plan Area with 116 feet of frontage along Los Angeles Street to the east. The site does not include the lot located at the corner of Los Angeles Street and 8th Street, although the rear of the site is accessible from 8th Street via a vacated alley through a private easement agreement. The project site has a total lot area of 18,024 square feet.

Current Zoning and Uses

The subject site is zoned M2-2D with a General Plan Land Use designation of Light Manufacturing. One of the corresponding zones for Light Manufacturing land use designation in the Central City Community Plan is the M2 Zone. The site's "2D" designation indicates that the property is located in Height District 2, which ordinarily limits FAR on the site to 6:1, and is subject to a Development "D" Limitation, which further limits FAR on the site to 3:1, per Ordinance No. 164,307 (effective January 30, 1989). The existing building has a current FAR of 4.4:1 and is considered to be legal nonconforming as it relates to floor area.

As noted, the site is currently developed with a five-story, 79,793 square-foot light manufacturing building ("Norton Building") constructed in 1914. Per Survey LA, the building is not listed as a historic resource. The building most recently held garment retail/wholesale uses on the ground floor, clothing manufacturing and accessory office uses on floors two through five, and storage uses within a 15,879 square-foot basement. The M2 Zone allows light industrial uses, as well as C2 Zone uses, including the proposed restaurant, food hall, and office uses by right. The site is currently vacant in preparation for seismic upgrades to the building.

The site is located within the Los Angeles State Enterprise Zone, Greater Downtown Housing Incentive Area, Transit Priority Area, Adaptive Reuse Incentive Area, City Center Redevelopment Project Area, Transit Oriented Communities Area (Tier 3), Central City Parking District, Downtown Parking District, and Fire District No. 1. The site is approximately 4,000 feet (0.75 mile) from the nearest freeway (Interstate 110).

Adjacent Land Uses

The properties surrounding the project site include light industrial, commercial/retail, office, restaurant, parking, and residential uses. The adjoining property to the north is zoned PF-2D and is currently used as a privately-operated, public surface parking lot. The adjoining property to the south is zoned M2-2D and developed with a two-story garment retail/wholesale building. The adjacent properties to the east, across Los Angeles Street, are zoned M2-2D and are developed with nine- to 11-story mixed-use buildings with joint live/work quarter units (Santee Village Lofts). The adjoining properties to the west are zoned [Q]C5-4D and are developed with a four-story mixed-use residential building.

Streets and Circulation

<u>South Los Angeles Street</u>, which borders the project site to the east, is a two-way north-south street providing two travel lanes in each direction. It is classified as an Avenue II with a designated right-of-way width of 86 feet (56-foot wide roadway with 15-foot wide

sidewalks on each side) and a required average sidewalk easement of 3 feet. The street currently has a right-of-way width of 80 feet. Per correspondence from the Bureau of Engineering, dated February 28, 2017, the existing on-site improvements preclude dedication; however, all broken, off-grade, or bad order concrete sidewalk, curb, and gutter along the property frontage shall be repaired.

Two Metro Rapid Bus Lines (720 and 733), 11 Metro Local Bus Lines (10, 20, 33, 35, 38, 40, 48, 55, 66, 92, 355), two LADOT DASH routes (Downtown D and Downtown E), and one Gardena GTrans line (1X) serve the project area. The Pershing Square Metro station (Red Line and Purple Line) is located approximately 0.4 mile to the northwest. Metro Bike Share stations are located on 7th Street/Main Street and 9th Street/Los Angeles Street, approximately 500 feet and 800 feet from the project site respectively.

Relevant Cases (1,000-foot radius)

<u>Case No. ZA2015-0932-MCUP-CUX-ZV</u> – On May 18, 2016, the Zoning Administrator approved a Master Conditional Use Permit to allow the sale of alcoholic beverages at 35 establishments and public dancing at five establishments; and a Variance to allow rooftop dining, dancing, and live entertainment; to allow a FAR of 7:1 in lieu of the maximum permitted FAR of 6:1; to allow overnight dog boarding; and to allow zero parking spaces in lieu of the 27 spaces otherwise required, all in conjunction with the renovation and adaptive reuse of a building (Broadway Trade Center) into a mixed-use development, located at 801-835 South Broadway.

<u>Issues</u>

The following section includes a discussion of issues related to the project.

Height District Change

The subject site is located within Height District 2, which would permit a maximum FAR of 6:1. However, the site is subject to a Development "D" Limitation, per Ordinance No. 164,307 (effective January 30, 1989), which restricts development of the site to a 3:1 FAR. The existing 79,793 square-foot building has a FAR of 4.4:1 and is considered to be legal nonconforming as it relates to floor area.

The project will entail the addition of 6,856 square feet of net floor area, owing to the addition of a 9,541 square-foot rooftop restaurant and the reconfiguration of existing floors. As proposed, the building will have a maximum floor area of 86,649 square feet, resulting in a FAR of approximately 4.9:1 on the 18,024 square-foot site. The applicant has requested a Height District Change to maintain the Height District 2 designation but amend the "D" Limitation to permit a 4.9:1 FAR in lieu of 3:1 FAR.

The additional FAR would permit the proposed rooftop addition on the southern side of the building. After the addition, the building would have a maximum of six stories and a maximum height of 94 feet. The proposed building envelope would be consistent with existing buildings in the vicinity of the site. While there are neighboring buildings that are two stories, a number of buildings in the area range from five to nine stories. Additionally, a building located to the northeast of the site is 11 stories. As recommended, the proposed FAR and height would be compatible with the Community Plan and existing buildings in the surrounding area.

Master Conditional Use Permit

The project includes nine restaurants totaling 27,357 square feet, including an eight-tenant food hall on the ground floor/mezzanine, and one rooftop restaurant with outdoor dining. Outdoor rooftop dining is allowed by-right in the M2 Zone by authority of Zoning Administrator's Interpretation (ZAI) No. 1808, which states that eating establishments may have incidental unroofed outdoor eating areas. The applicant is seeking a Master Conditional Use Permit to allow the sale of a full line of alcoholic beverages for on-site consumption, in conjunction with these nine proposed establishments.

Food halls and rooftop restaurants that sell alcoholic beverages are not uncommon in the area. Corporation Food Hall, located two blocks to the west at 724 South Spring Street, was approved a Conditional Use Permit in conjunction with its seven eateries. Grand Central Market, located at 317 Broadway, was similarly approved a Master Conditional Use Permit to allow the sale of alcoholic beverages in conjunction with its food hall. The addition of dining establishments would serve as an amenity for visitors and residents of the Fashion District, including the joint live/work quarter buildings across the street from the project site. Each specific operator would be required to file a Master Plan Approval application as operating details become available and will be subject to tailored conditions of approval for each establishment.

Parking

As previously discussed, the building was constructed in 1914 and was not required to provide automobile parking spaces. As a result, there are zero parking spaces provided on the site. The proposed change of uses within the existing building would not require automobile parking spaces to be provided. However, the proposed increase of 6,856 square feet of floor area would require the provision of seven parking spaces pursuant to LAMC Section 12.21 A.4(i) and a total of eight bicycle parking spaces pursuant to LAMC Section 12.21 A.16.

The applicant proposes to reduce the seven required automobile parking spaces to five by providing an additional eight bicycle parking spaces, pursuant to LAMC Section 12.21 A.4. This would result in a total of 16 bicycle parking spaces to be provided. In addition to the parking reductions permitted by the Zoning Code, the applicant requests that the City Planning Commission consider a 20 percent reduction in the required number of automobile parking spaces pursuant to LAMC Section 12.24 S. If the 20 percent reduction were to be approved, then the project would be required to provide four automobile parking spaces for the project.

As the project proposes to maintain the existing building, the required parking spaces would not be provided on-site. The applicant proposes to provide the required parking spaces off-site within 1,500 feet of the site, as permitted by LAMC Section 12.21 A.4(i). However, the applicant has requested a Variance to provide the off-site parking spaces by lease in lieu of a recorded covenant. The applicant has cited the difficulty of finding a property within the Downtown area with an owner willing to encumber their parking lots with a recorded covenant and agreement.

Professional Volunteer Program

The proposed project's design was reviewed by architect participants of the Department of City Planning's Urban Design Studio Professional Volunteer Program (PVP) on April 4, 2017. The comments concerned the feasibility of the building with respect to internal circulation, fire safety, legibility, servicing, and its overall functionality. The applicant has since redesigned the project to include a corridor system for improved circulation. The applicant has also provided more detailed plans, as requested by the participants.

Conclusion

Based on information submitted to the record, staff recommends that the City Planning Commission approve and recommend that the City Council adopt a Vesting Zone and Height District Change from M2-2D to (T)M2-2D to amend the Development "D" Limitation to permit a 4.9:1 FAR in lieu of the existing D Limitation of a 3:1 FAR. Staff also recommends that the City Planning Commission approve the requests for a Master Conditional Use Permit to allow the sale and dispensing of alcoholic beverages; a 20 percent reduction in the number of required parking spaces; a Variance to provide off-site parking by lease in lieu of recorded covenant; and Site Plan Review for a change of use that results in an increase of 1,000 or more average daily trips. Additionally, staff recommends that the City Planning Commission determine that based on the whole of the administrative record, the project is exempt from CEQA pursuant to CEQA Guidelines, Article III, Section 1, Classes 1 and 32, and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

CONDITIONS FOR EFFECTUATING (T) TENTATIVE CLASSIFICATION REMOVAL

Pursuant to Section 12.32 G of the Municipal Code, the (T) or [T] Tentative Classification shall be removed by the recordation of a final parcel or tract map or by posting of guarantees through the B-permit process of the City Engineer to secure the following without expense to the City of Los Angeles, with copies of any approval or guarantees provided to the Department of City Planning for attachment to the subject planning case file.

 <u>Dedications and Improvements</u>. Prior to the issuance of any building permits, public improvements and dedications for streets and other rights-of-way adjoining the subject property shall be guaranteed to the satisfaction of the Bureau of Engineering, Department of Transportation, Fire Department (and other responsible City, regional, and Federal government agencies as may be necessary).

A. Responsibilities/Guarantees.

- 1. As part of early consultation, plan review, and/or project permit review, the applicant/developer shall contact the responsible agencies to ensure that any necessary dedications and improvements are specifically acknowledged by the applicant/developer.
- 2. Prior to the issuance of sign-offs for final site plan approval and/or project permits by the Department of City Planning, the applicant/developer shall provide written verification to the Department of City Planning from the responsible agency acknowledging the agency's consultation with the applicant/developer. The required dedications and improvements may necessitate redesign of the project. Any changes to the project design required by a public agency shall be documented in writing and submitted for review by the Department of City Planning.

B. Improvements Required.

Los Angeles Street – Repair all broken, off-grade, or bad order concrete sidewalk, curb and gutter along the property frontage.

Install tree wells with root barriers and plant street trees satisfactory to the City Engineer and the Urban Forestry Division of the Bureau of Street Services. The applicant should contact the Urban Forestry Division for further information (213) 847-3077.

Notes: Street lighting may be required satisfactory to the Bureau of Street Lighting (213) 847-1551.

Department of Transportation may have additional requirements for dedication and improvements.

- 2. Roof drainage and surface run-off from the property shall be collected and treated at the site and drained to the streets through drain pipes constructed under the sidewalk through curb drains or connections to the catch basins.
- 3. Sewer lines exist in Los Angeles Street. Facilities Charges and Bonded Sewer Fees are to be paid prior to obtaining a building permit.

- 4. An investigation by the Bureau of Engineering Central District Office Sewer Counter may be necessary to determine the capacity of the existing public sewers to accommodate the proposed development. Submit a request to the Central District Office of the Bureau of Engineering at (213) 482-7050.
- 5. <u>Department of Transportation</u>. DOT recommends that a construction work site traffic control plan be submitted to DOT for review and approval prior to the start of any construction work. The plan should show the location of any roadway or sidewalk closures, traffic detours, haul routes, hours of operation, protective devices, warning signs and access to abutting properties. DOT also recommends that all construction related traffic be related to off-peak hours.
- 6. Street Lighting: Install street lights to the satisfaction of the Bureau of Street Lighting.
- 7. <u>Urban Forestry Street Trees</u>: The developer shall plant street trees and remove any existing trees within dedicated streets or proposed dedicated streets as required by the Urban Forestry Division of the Bureau of Street Services. All street tree plantings shall be brought up to current standards. The actual number and location of new trees shall be determined at the time of tree planting. The contractor shall notify the Urban Forestry Division at 213-847-3077 five working days prior to constructing the side walk for marking of the tree locations and species.

Note: Removal of parkway trees or Protected Trees requires the Board of Public Works' approval. Contact Urban Forestry Division at 213-847-3077 for tree removal permit information

8. <u>Fire Department</u>. Prior to the issuance of building permit, a plot plan shall be submitted to the Fire Department for approval.

<u>Notice</u>: If conditions dictate, connections to the public sewer system may be postponed until adequate capacity is available.

<u>Notice</u>: Certificates of Occupancy for the subject property will not be issued by the City until the construction of all the public improvements (streets, sewers, storm drains, etc.) as required herein, are completed to the satisfaction of the City Engineer.

"D" DEVELOPMENT LIMITATIONS

Pursuant to Section 12.32 G of the Municipal Code, the following limitations are hereby imposed upon the use of the subject property, subject to the "D" Development Limitations.

1. **Floor Area.** The total floor area of all buildings or structures located on the lot shall not exceed a Floor Area Ratio (FAR) of 4.9 to 1.

CONDITIONS OF APPROVAL

The following conditions are hereby imposed upon the use of the subject property:

Entitlement Conditions

- 1. **Site Development.** The use and development of the property shall be in substantial conformance with the plans submitted with the application and marked Exhibit "A", except as may be revised as a result of this action.
- 2. **Floor Area.** The total floor area shall not exceed 86,649 square feet of floor area, as shown on Exhibit "A".
- 3. **Uses.** The project shall not exceed 59,292 square feet of floor area for office uses and 27,357 square feet of floor area for restaurant/food hall uses, including the 9,541 square-foot rooftop restaurant, unless an updated trip generation analysis is submitted to the Department of Transportation demonstrating that the revised mix of uses will not result in additional trips when compared to the Updated Trip Generation Analysis in Exhibit D.
- 4. **Height**. The building shall not exceed a height of 94 feet 4 inches.

5. Parking.

a. Automobiles.

- i. The required number of automobile parking spaces may further be reduced by twenty (20) percent, in addition to the reductions permitted pursuant to LAMC Section 12.21 A.4.
- ii. The required automobile parking spaces may be provided off-site within 1,500 feet of the project site by lease in lieu of a recorded covenant, subject to the following conditions:
 - 1. Prior to the issuance of a building permit, the applicant shall submit a copy of a valid, executed lease agreement for the off-site parking spaces to the Department of City Planning for the case file. The parking spaces shall be available during all hours of operation for the proposed businesses on the project site. The parking lease shall include the location of the off-site parking lot, proximity to the project site, the number of provided parking spaces, and the hours that the parking spaces will be available for the project site.
 - 2. If the parking lease agreement is continued or replaced, upon execution of the new agreement, the new parking lease agreement shall be submitted to the Department of City Planning.
- b. Bicycle. Bicycle parking spaces shall be providing in compliance with LAMC Section 12.21 A.4 and 16. A minimum of 16 bicycle parking spaces shall be provided to utilize the 30 percent reduction in automobile parking spaces. Short-term bicycle parking spaces may be provided within the public right-of-way, subject to the approval of the Bureau of Public Works.

6. Sustainability.

- a. The project shall comply with the Los Angeles Municipal Green Building Code, Section 95.05.211, to the satisfaction of the Department of Building and Safety.
- b. Prior to the issuance of Certificate of Occupancy, the applicant shall install rooftop solar panels. Total solar panel area shall be equivalent to ten percent of the existing rooftop area of the building or more.
- 7. **Mechanical Equipment.** All mechanical equipment shall be fully screened from view of any abutting properties and the public right-of-way.
- 8. **Trash/Storage.** All trash collecting and storage areas shall be located on-site and not visible from the public right-of-way.
 - a. Trash receptacles shall be enclosed and/or covered at all times.
 - b. Trash/recycling containers shall be locked when not in use.

9. Landscaping.

- a. Landscaping for the rooftop and rear vacated alley area shall be in substantial conformance with Exhibit A, Sheet L1.0 (Planting Plan).
- b. Tree Wells.
 - i. The minimum depth of tree wells on the rooftop shall be as follows:
 - 1. Minimum depth for trees shall be 42 inches
 - 2. Minimum depth for shrubs shall be 30 inches.
 - 3. Minimum depth for herbaceous plantings and ground cover shall be 18 inches.
 - 4. Minimum depth for an extensive green roof shall be 3 inches.
 - ii. The minimum amount of soil volume for tree wells on the rooftop shall be based on the size of the tree at maturity:
 - 1. 600 cubic feet for a small tree (less than 25 feet tall at maturity).
 - 2. 900 cubic feet for a medium tree (25-40 feet tall at maturity).
 - 3. 1,200 cubic feet for a large tree (more than 40 feet tall at maturity).
- 10. **Materials and Glazing.** Materials, surfaces, and glazing shall be in substantial conformance with Exhibit A, Sheets A-301B and A-302 (Building Elevations).
- 11. **Signage.** No signage has been approved as part of this action. Any proposed signage shall comply with the applicable regulations of the Municipal Code.
- 12. **Ground Floor Transparency.** The ground floor shall allow visibility from sidewalk areas into the interior of all commercial uses. Windows shall be free of signs or other obstructions. Clear and non-reflective glass allowing a minimum of 90 percent light transmission shall be used, unless considered a safety hazard.
- 13. **Encroachments.** Encroachments into the public right-of-way resulting from the project, such as the proposed awnings and rooftop restaurant addition, shall require a Revocable Permit from the Department of Public Works, Bureau of Engineering.

14. All graffiti on the site shall be removed or painted over to match the color of the surface to which it is applied within 24 hours of its occurrence.

Conditional Use for the Sale and Dispensing of On-Site Alcoholic Beverages

- 15. The authorized use shall be conducted at all times with due regard for the character of the surrounding district, and the right is reserved to the Zoning Administrator to impose additional corrective Conditions, if, in the Administrator's opinion, such Conditions are proven necessary for the protection of persons in the neighborhood or occupants of adjacent property.
- 16. Each individual venue shall be subject to a Zoning Administrator's Approval of Plans determination pursuant to Section 12.24 M of the Los Angeles Municipal Code in order to implement and utilize the Conditional Use authorization granted herein as follows;
 - a. The on-site sale and consumption of a full line of alcoholic beverages in connection with eight (8) restaurants located within the ground floor and mezzanine level food hall;
 - b. The on-site sale and consumption of a full line of alcoholic beverages in connection with one (1) restaurant located on the rooftop with an outdoor dining area;
 - c. The purpose of the Approval of Plans determination is to review each proposed venue in greater detail and to tailor site-specific conditions of approval for each of the premises including but not limited to hours of operation, seating capacity, size, security, live entertainment, the length of a term grant and/or any requirement for a subsequent Approval of Plans application to evaluate compliance and effectiveness of the conditions of approval.
 - d. A public hearing for any Approval of Plans request may be waived at the discretion of the Chief Zoning Administrator.
- 17. Maximum cumulative square footage for all nine (9) venues, including the rooftop restaurant, shall not exceed the following:
 - a. 27,357 square feet, including the 9,541 square-foot rooftop restaurant; and
 - b. 1,152 seats.
- 18. No conditional use for dancing has been requested or approved. Public dancing shall be not be permitted.
- 19. Notwithstanding Exhibit A, this grant recognizes that there may be changes resulting from identified tenants, which may result in larger or smaller venues than those identified in Exhibit A, different locations and/or in a reduced number of venues than those originally proposed. Such outcome is permitted provided that the other conditions noted herein, specifically those related to maximum square footage, maximum seating, maximum number of venues and maximum number of approved allocation of on-site and off-site sale venues are not exceeded.
- 20. Any future change in the tenant/operator of any of the individually approved venues conducting the sale of alcohol shall require the filing of an Approval of Plans to evaluate the applicability of existing conditions and review any potential changes in the mode and character of the development complex.

- 21. Prior to the utilization of this grant and the filing of an Approval of Plans for the first venue, the applicant shall prepare a security plan which shall be submitted to the Police Department's Central Area's Vice Section for review and approval. A copy of the security plan approved by the Police Department shall be included with the application materials submitted for an Approval of Plans. The security plan shall address security measures applicable to all the venues as well as any measures specific to the individual venue reviewed under each corresponding Approval of Plans.
- 22. Prior to the utilization of this grant, surveillance cameras shall be installed which cover all common areas of the venues, including all high-risk areas, entrances and exits to each tenant space, including cameras that provide a view of the street.
- 23. There shall be no use of the subject premises which involves Section 12.70 of the Los Angeles Municipal Code uses (Adult Entertainment).
- 24. All venue tenants shall be provided with a copy of these conditions which shall also be referenced in any lease or contract and which shall be maintained and posted on the premises and available upon request by any enforcement agency.
- 25. All employees shall also be made familiar with these conditions and any others which are identified specifically in the corresponding Approval of Plans determination. Additionally, a copy shall be provided to all employees who shall sign an acknowledgement form stating that they have read and understood all of the ABC and conditional use permit conditions. These conditions of approval shall be retained on the property at all times and shall be produced immediately upon the request of the Zoning Administrator, Police Department, or Department of Building and Safety.
- 26. The applicant, tenants and on-site managers shall comply with all applicable laws and conditions of this action and any corresponding Approval of Plans determination and shall properly manage the facility to discourage illegal and criminal activity on the subject property and any accessory parking area over which they exercise control.
- 27. The applicant shall maintain on the premises and present upon request to the Police or other enforcement agency, a copy of the Business Permit, Insurance Information, and valid emergency contact phone number for any Valet Service utilized and for any Security Company Service employed.
- 28. The applicant shall be responsible for maintaining the area adjacent to the premises over his/her control free of litter.
- 29. The applicant and tenants shall monitor the areas under their control to prevent loitering of persons around their venues.
- 30. The property owner/operator shall keep a log of complaints received, the date and time received, and the disposition of the response. This shall be available for inspection by the Department.
- 31. If at any time during the period of the grant, should documented evidence be submitted showing continued violation(s) of any condition(s) of the grant, resulting in a disruption or interference with the peaceful enjoyment of the adjoining and neighboring properties, the Zoning Administrator will have the right to require the petitioner(s) to file for a plan approval application together with the associated fees, to hold a public hearing for review the

- petitioner's compliance with and the effectiveness of the conditions of the grant. The petitioner(s) shall submit a summary and supporting documentation of how compliance with each condition of the grant has been attained.
- 32. MViP Monitoring Verification and Inspection Program. Prior to the effectuation of this grant, fees required per LAMC Section 19.01 E.3 for Monitoring of Conditional Use Permits and Inspection and Field Compliance Review of Operations shall be paid to the City. Within 12 to 18 months from the beginning of operations or issuance of a Certificate of Occupancy, a City inspector will conduct a site visit to assess compliance with, or violations of, any of the conditions of this grant. Observations and results of said inspection will be documented and included in the administrative file. The owner/operator shall be notified of the deficiency or violation and required to correct or eliminate the deficiency or violation. Multiple or continued documented violations or Orders to Comply issued by the Department of Building and Safety which are not addressed within the time prescribed, may result in additional corrective conditions imposed by the Zoning Administrator.
- 33. Prior to the effectuation of this grant, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard master covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Department of City Planning for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided for inclusion in case file. Fees required per LAMC Section 19.01 E.3 for Monitoring of Conditional Use Permits and Inspection and Field Compliance Review of Operations shall be paid to the City prior to the final clearance of this condition.

Administrative Conditions

- 34. **Approvals, Verification and Submittals**. Copies of any approvals, guarantees or verification of consultations, reviews or approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning for placement in the subject file
- 35. **Code Compliance.** All area, height and use regulations of the zone classification of the subject property shall be complied with, except wherein these conditions explicitly allow otherwise.
- 36. Covenant. Prior to the issuance of any permits relative to this matter, an agreement concerning all the information contained in these conditions shall be recorded in the County Recorder's Office. The agreement shall run with the land and shall be binding on any subsequent property owners, heirs or assign. The agreement must be submitted to the Department of City Planning for approval before being recorded. After recordation, a copy bearing the Recorder's number and date shall be provided to the Department of City Planning for attachment to the file.
- 37. **Definition.** Any agencies, public officials or legislation referenced in these conditions shall mean those agencies, public offices, legislation or their successors, designees or amendment to any legislation.
- 38. **Enforcement.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Department of City Planning and any designated agency, or the

agency's successor and in accordance with any stated laws or regulations, or any amendments thereto.

- 39. **Building Plans.** A copy of the first page of this grant and all Conditions and/or any subsequent appeal of this grant and its resultant Conditions and/or letters of clarification shall be printed on the building plans submitted to the Development Services Center and the Department of Building and Safety for purposes of having a building permit issued.
- 40. Corrective Conditions. The authorized use shall be conducted at all times with due regard for the character of the surrounding district, and the right is reserved to the City Planning Commission, or the Director pursuant to Section 12.27.1 of the Municipal Code, to impose additional corrective conditions, if, in the Commission's or Director's opinion, such conditions are proven necessary for the protection of persons in the neighborhood or occupants of adjacent property.

41. Indemnification and Reimbursement of Litigation Costs.

Applicant shall do all of the following:

- a. Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including <u>but not limited to</u>, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- b. Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- c. Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- d. Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- e. If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of

any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions include actions, as defined herein, alleging failure to comply with <u>any</u> federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

CONDITIONS IDENTIFIED FOR CONSIDERATION BY THE STATE DEPARTMENT OF ALCOHOLIC BEVERAGE CONTROL RELATIVE TO THE SALE AND DISTRIBUTION OF ALCOHOLIC BEVERAGES

In approving the instant grant, the City Planning Commission has not imposed Conditions specific to the sale or distribution of alcoholic beverages, even if such Conditions have been volunteered or negotiated by the applicant, in that the City Planning Commission has no direct authority to regulate or enforce Conditions assigned to alcohol sales or distribution. The City Planning Commission has identified a set of Conditions related to alcohol sales and distribution for further consideration by the State of California Department of Alcoholic Beverage Control (ABC). In identifying these conditions, the City Planning Commission acknowledges the ABC as the responsible agency for establishing and enforcing Conditions specific to alcohol sales and distribution. The Conditions identified below are based on testimony and/or other evidence established in the administrative record, and provide the ABC an opportunity to address the specific conduct of alcohol sales and distribution in association with the Conditional Use granted herein by the City Planning Commission.

- There shall be no exterior window signs of any kind or type promoting alcoholic products.
- The alcoholic beverage license for the restaurants shall not be exchanged for "public premises" license unless approved through a new conditional use authorization. "Public Premises" is defined as a premise maintained and operated for sale or service of alcoholic beverages to the public for consumption on the premises, and in which food is not sold to the public as a bona fide eating place.
- There shall be no advertising of any alcoholic beverages visible from the exterior of the premises from the food and beverage areas within the museum, promoting or indicating the availability of alcoholic beverages.
- Alcohol sales and dispensing for on-site consumption shall only be served by employees.

- The venue operator, owner and the venue personnel shall at all times maintain a policy of not serving to obviously intoxicated patrons and shall take preventative measures to help avert intoxication-related problems.
- No person under the age of 21 years shall sell or deliver alcoholic beverages.
- There shall not be a requirement to purchase a minimum number of drinks.

FINDINGS

General Plan Findings

1. General Plan Land Use Designation.

The project site is located within the Central City Community Plan, which was last updated by the City Council on January 8, 2003. The Community Plan designates the site with a land use designation of Light Manufacturing, which lists the MR2 and M2 Zones as corresponding zones. Additionally, the Community Plan indicates that the corresponding Height District for the Light Manufacturing designation is Height District 2.

The project site is zoned M2-2D, with a Development "D" Limitation which limits development of the site to a maximum 3:1 floor area ratio (FAR). The recommended Vesting Zone and Height District Change to (T)M2-2D, with a "D" Limitation that limits the site to a maximum 4.9:1 FAR would be consistent with the land use designation and would be in substantial conformance with the purpose, intent, and provisions of the General Plan.

- **2. General Plan Text.** The Central City Community Plan text includes the following relevant objectives, policies, and programs:
 - Objective 2-1: To improve Central City's competitiveness as a location for offices, business, retail, and industry.
 - Policy 2-1.2: To maintain a safe, clean, attractive, and lively environment.
 - Objective 2-3: To promote land uses in Central City that will address the needs of all the visitors to Downtown for business, conventions, trade shows, and tourism.
 - Objective 2-5: To increase specialty and ethnic markets in order to foster a diverse range of retail and commercial uses in Central City.

The proposed project consists of improvements to an existing five-story, 79,793 square-foot light manufacturing building located in the Fashion District of Downtown Los Angeles. Originally constructed in 1914, the now vacant building most recently held garment retail/wholesale uses on the ground floor, clothing manufacturing and accessory office uses on floors two through five, and storage uses within a 15,879 square-foot basement. The proposed improvements involve changes of use to the entire building, resulting in creative office, food hall/restaurant, and storage uses, and the addition of a 9,541 square-foot rooftop restaurant.

The recommended Vesting Zone and Height District Change allow the site to be improved as proposed. The project would result in 59,292 square feet of general and/or creative office space, which is consistent with the Community Plan's objective of improving Central City's competitiveness as a location for offices, business, and industry (Objective 2-1). The project proposes to refurbish the existing building by removing the existing metal screening, fire escape stairs, and retail signage. Improvements to the building façade would include new glazing and the exterior concrete walls would be cleaned and burnished. Additional work would include creating a recessed outdoor dining patio on the ground floor and an addition on the rooftop for a new restaurant space. The substantial refurbishment of the building as part of the project would be consistent with the Community Plan's policy of maintaining a safe, clean, attractive, and lively environment (Policy 2-1.2). The proposed food hall use with eight restaurants, along with one rooftop restaurant with outdoor dining, would further

the Community Plan's objectives of addressing the needs of visitors to Downtown Los Angeles and increasing specialty markets to foster a diverse range of commercial uses (Objectives 2-3 and 2-5). The M2 Zone allows light industrial uses, as well as C2 Zone uses, including the proposed restaurant, food hall, and office uses by right. As recommended, the Vesting Zone and Height District Change to (T)M2-2D, to amend the Development "D" Limitation to permit a 4.9:1 FAR in lieu of the existing "D" Limitation of a 3:1 FAR, would be consistent with the objectives, policies, and programs of the Central City Community Plan.

3. Framework Element. The Framework Element for the General Plan (Framework Element) was adopted by the City of Los Angeles in December 1996 and re-adopted in August 2001. The Framework Element provides guidance regarding policy issues for the entire City of Los Angeles, including the project site. The Framework Element also sets forth a Citywide comprehensive long-range growth strategy and defines Citywide polices regarding such issues as land use, housing, urban form, neighborhood design, open space, economic development, transportation, infrastructure, and public services. The Framework Element includes the following provisions, objectives and policies relevant to the instant request:

Land Use

- GOAL 3G: A Downtown Center as the primary economic, governmental, and social focal point of the region with an enhanced residential community.
 - Objective 3.7: Provide for the continuation and expansion of government, business, cultural, entertainment, visitor-serving, housing, industries, transportation, supporting uses, and similar functions at a scale and intensity that distinguishes and uniquely identifies the Downtown Center.

Economic Development

- GOAL 7B: A City with land appropriately and sufficiently designated to sustain a robust commercial and industrial base.
 - Objective 7.2: Establish a balance of land uses that provides for commercial and industrial development which meets the needs of local residents, sustains economic growth, and assures maximum feasible environmental quality.
 - Policy 7.2.6: Concentrate office development in regional mixed-use centers, around transit stations, and within community centers.

The proposed project consists of improvements to an existing five-story, 79,793 square-foot light manufacturing building located in the Fashion District of Downtown Los Angeles. Originally constructed in 1914, the now vacant building most recently held garment retail/wholesale uses on the ground floor, clothing manufacturing and accessory office uses on floors two through five, and storage uses within a 15,879 square-foot basement. The proposed improvements would involve changes of use to the entire building, resulting in creative office, food hall/restaurant, and storage uses, and the addition of a 9,541 square-foot rooftop restaurant.

The project would result in 59,292 square feet of general and/or creative office space, which provides for the expansion of business, cultural, and entertainment functions. The site is located in an area served by regional and local transit stations and proximate to a mix of

uses, including residential, light manufacturing, and retail uses. In combination with the food hall and restaurants, the proposed project would provide for a balance of land uses that meet the needs of local residents and visitors alike. As recommended, the use would be compatible with existing development in the area and would be consistent with the above referenced goals, objectives, and policies, of the Framework Element.

- 4. Housing Element. The Housing Element of the General Plan is not likely to be affected by the recommended action herein. The proposed project, with the requested Vesting Zone and Height District Change, consists of improvements to an existing five-story, 79,793 square-foot light manufacturing building located in the Fashion District of Downtown Los Angeles and does not include any housing uses. Nonetheless, it would further the goals of the Housing Element by supporting residential uses in the immediate vicinity with desired services and amenities such as general and/or creative office space and restaurant/food hall space.
- **Mobility Plan 2035.** Mobility Plan 2035 was adopted on August 11, 2015 and last amended on September 7, 2016, and includes the following policies relevant to the instant request:
 - Policy 2.3: Pedestrian Infrastructure: Recognize walking as a component of every trip, and ensure high-quality pedestrian access in all site planning and public right-of-way modifications to provide a safe and comfortable walking environment.
 - Policy 3.3: Land Use Access and Mix: Promote equitable land use decisions that result in fewer vehicle trips by providing greater proximity and access to jobs, destinations, and other neighborhood services.
 - Policy 3.8: Bicycle Parking: Provide bicyclists with convenient, secure and well-maintained bicycle parking facilities.

The proposed project will greatly improve the pedestrian experience along Los Angeles Street. The existing site conditions include roll down storefront security gates and minimal landscaping. While existing improvements preclude street dedications, the applicant would be required to repair all broken, off-grade, or bad order concrete on the sidewalk, which would improve the walkability of the area, in conjunction with the other ground floor street-interfacing improvements such as full-height glazing and an outdoor dining patio area. The project would also replace 30 percent of the required automobile parking with eight bicycle parking spaces, resulting in a total of 16 bicycle parking spaces. The bicycle parking, bicycle storage, and showers as proposed would provide cyclists with convenient and secure facilities. As recommended, the project would be compatible with the applicable policies of Mobility Plan 2035.

6. The Sewerage Facilities Element. The Sewerage Facilities Element of the General Plan will not be affected by the recommended action. While the sewer system might be able to accommodate the total flows for the proposed project, further detailed gauging and evaluation may be needed as part of the permit process to identify a specific sewer connection point. If the public sewer has insufficient capacity then the developer will be required to build sewer lines to a point in the sewer system with sufficient capacity. A final approval for sewer capacity and connection permit will be made at that time. Ultimately, this sewage flow will be conveyed to the Hyperion Treatment Plant, which has sufficient capacity for the project.

7. Vesting Zone Change and Height District Change Findings

a. Pursuant to Section 12.32 C.7 of the Municipal Code, and based on these findings, the recommended action is deemed consistent with public necessity, convenience, general welfare and good zoning practice.

The requested Vesting Zone and Height District Change from M2-2D to (T)M2-2D, to amend the Development "D" Limitation to permit a 4.9:1 FAR in lieu of the existing "D" Limitation of a 3:1 FAR, would allow the development of the project as proposed. The proposed improvements would result in a net floor area increase of 6,856 square feet and a total floor area of 86,649 square feet. The floor area would be distributed as follows: 59,292 square feet of general and/or creative office space on floors two through five; and nine restaurants totaling 27,357 square feet, including an eight-tenant food hall on the ground floor/mezzanine and basement, and one rooftop restaurant with outdoor dining.

Public necessity, convenience, and general welfare will be better served by adopting the Zone and Height District Change, as it would allow a currently vacant building to be substantially refurbished and activated with viable general and/or creative office and restaurant/food hall uses. The addition of a new 9,541 square-foot rooftop restaurant with an outdoor dining area would provide a desired and convenient amenity to this neighborhood, which already has a diverse mix of existing residential, light manufacturing, and commercial uses. The project would support the existing jobs base in the Fashion District and would therefore serve public necessity and convenience by providing additional creative office space from which small businesses, designers, artists, and merchants could operate.

The Project Site is located within a designated Transit Priority Area and is well serviced by public transit. Two Metro Rapid Bus Lines (720 and 733), 11 Metro Local Bus Lines (10, 20, 33, 35, 38, 40, 48, 55, 66, 92, 355), two LADOT DASH routes (Downtown D and Downtown E), and one Gardena GTrans line (1X) serve the project area. The Pershing Square Metro station (Red Line and Purple Line) is located approximately 0.4 mile to the northwest. Metro Bike Share stations are located on 7th Street/Main Street and 9th Street/Los Angeles Street, approximately 500 feet and 800 feet from the project site respectively. The Project Site's proximity to public transit would allow the proposed Project to provide job opportunities in proximity to transit. The proposed Project will be a better use of the site and would provide convenience to future tenants of the building and improve the general welfare of the community and the City.

The project would improve the general welfare of the area by substantially revitalizing a currently vacant structure and eliminating visual blight. The existing metal screening, fire escape stairs, and retail signage would be removed from the Los Angeles Street façade. The proposed Los Angeles Street façade would incorporate new glazing spanning nearly the entire height of the 20-foot high ground floor, new awnings, and a new office lobby and recessed outdoor dining patio area, which would replace the existing garment retail storefront. All existing glazing on floors two through five would be replaced with new steel casement windows, and the building's exterior concrete walls would be cleaned and burnished.

The recommended Vesting Zone and Height District Change from M2-2D to (T)M2-2D to amend the Development "D" Limitation to permit a 4.9:1 FAR is consistent with good zoning practice, as it would enable the transformation of a vacant building into a mix of viable general and/or creative office and restaurant/food hall uses. Strict adherence to a 3:1 FAR under the existing "D" Limitation would result in a building with underutilized

floor area if building additions were proposed. The additional FAR would permit the proposed rooftop addition on the southern side of the building. After the addition, the building would have a maximum of six stories and a maximum height of 94 feet. The proposed building envelope would be consistent with existing buildings in the vicinity of the site. While there are neighboring buildings that are two stories, a number of buildings in the area range from five to nine stories. Additionally, a building located to the northeast of the site is 11 stories tall. As recommended, the proposed FAR and height would be compatible with existing buildings in the surrounding area and therefore represents good zoning practice.

- b. Pursuant to Section 12.32 G and Q of the Municipal Code "T" Classification Finding. Per LAMC Section 12.32 G,1, the current action, as recommended, has been made contingent upon compliance with new "T" conditions of approval imposed herein for the proposed project. The "T" Conditions are necessary to ensure the identified improvements and actions are undertaken to meet the public's needs, convenience, and general welfare served by the actions required. These actions and improvements will provide the necessary infrastructure to serve the proposed community at this site.
- c. Pursuant to Section 12.32 G and Q of the Municipal Code "D" Limitation Findings. The Council shall find that any or all the limitations are necessary: (1) to protect the best interests of and assure a development more compatible with the surrounding property or neighborhood, and (2) to secure an appropriate development in harmony with the objectives of the General Plan, or (3) to prevent or mitigate potentially adverse environmental effects of the Height District establishment or change.

The Project Site is located within an area which is developed with buildings which vary from two to eleven stories, in an area which is limited to a maximum FAR of 3:1 unless the additional floor area is consistent with the rehabilitation provisions of the Redevelopment Plan. As indicated on the General Plan Land Use Map of the Community Plan, the Light Manufacturing land use designation corresponds to Height District 2, as indicated by Footnote Nos. 2 and 4. Footnote No. 2, which relates to additional floor area through a transfer of floor area (TFAR) is not applicable to the Project Site because the site is located outside of the TFAR boundaries. Footnote No. 4 indicates that the corresponding height district for the Light Manufacturing land use designation is Height District 2, which would permit a maximum FAR of 6:1. As proposed, the 4.9:1 FAR would be consistent with the surrounding buildings and would be consistent with the corresponding Height District of the existing land use designation. As recommended, the "D" Limitation would limit the development of the site to a 4.9:1 FAR which would be compatible with the existing uses in the area. As discussed in Finding Nos. 2 through 6, the "D" Limitation would secure an appropriate development in harmony with the objectives of the General Plan.

8. Conditional Use Findings.

a. The project will enhance the built environment in the surrounding neighborhood or will perform a function or provide a service that is essential or beneficial to the community, city, or region.

As described in Finding No. 2, the project would include the rehabilitation and change of use of an existing five-story light manufacturing building. Physical improvements to the building would include new façade treatments to the entire building and a new 9,541 square-foot addition to the rooftop of the building, which as recommended, would result in an enhancement to the built environment. The project proposes to change the use of the building to creative offices on floors two through five, a food hall and restaurants on

the ground floor, and a restaurant on the rooftop level. The applicant has requested a Master Conditional Use Permit, pursuant to LAMC Section 12.24 W,1, to permit the sale and dispensing of alcoholic beverages in conjunction with the proposed eight (8) restaurants on the ground floor and mezzanine, as part of the food hall, and one (1) restaurant located on the rooftop, which would include an outdoor eating area. Maximum cumulative square footage for all nine venues would not exceed 27,357 square feet and 1,152 seats.

The project will provide a service that is beneficial to the region by providing food service and amenities to the public, employees, and nearby residents alongside alcoholic beverage options in a neighborhood that is steadily accommodating residential, commercial, and light industrial uses. The service of alcoholic beverages in food establishments has become accepted as a desirable and expected use that is meant to complement food service. Since alcoholic beverage service is a common and expected amenity with meal service for many patrons, the grant for alcohol sales will be desirable to the public convenience and welfare. The project will provide increased opportunities for quality food and may serve as a central meeting point for the neighborhood. The sale of alcoholic beverages is anticipated to be an ancillary use to the tenant uses.

As conditioned herein, the project would enhance the built environment in the surrounding neighborhood and would provide a service that would be beneficial to the community.

b. The project's location, size, height, operations and other significant features will be compatible with and will not adversely affect or further degrade adjacent properties, the surrounding neighborhood, or the public health, welfare, and safety.

The project site is comprised of two lots located within the Central City Community Plan Area with 116 feet of frontage along Los Angeles Street to the east. The site does not include the lot located at the corner of Los Angeles Street and 8th Street, although the rear of the site is accessible from 8th Street via a vacated alley with a private easement agreement. The project site has a total lot area of 18,024 square feet.

The site is currently developed with a five-story, 79,793 square-foot light manufacturing building ("Norton Building"). Originally constructed in 1914, the building most recently held garment retail/wholesale uses on the ground floor, clothing manufacturing and accessory office uses on floors two through five, and storage uses within a 15,879 square-foot basement. At the time the building was constructed, automobile parking spaces were not required for the building. As a result, the site was developed without a driveway or parking area. The site is currently vacant in preparation for seismic upgrades to the building.

The project will entail the addition of 6,856 square feet of net floor area, owing to the addition of a 9,541 square-foot rooftop restaurant and the reconfiguration of existing floors. As proposed, the building would have a maximum floor area of 86,649 square feet, resulting in a FAR of approximately 4.9:1 on the 18,024 square-foot site. The applicant has requested a Height District Change to maintain the Height District 2 designation but amend the "D" Limitation to permit a 4.9:1 FAR in lieu of 3:1 FAR. The additional square footage would require that seven automobile parking spaces be provided. The applicant proposes to provide eight additional bicycle parking spaces, pursuant to LAMC Section 12.21 A,4, to utilize a 30 percent reduction in the required number of automobile parking space. The project qualifies for a 30 percent reduction due to the sites proximity to public transit. As discussed in Finding No. 7 (a), the site is

located within proximity to a number of bus lines which provide both local and regional access and is located within 0.4 miles of the Pershing Square Metro Station. In conjunction with the requested conditional use permit, the applicant has requested consideration of an additional 20 percent reduction in the required number of parking spaces pursuant to LAMC Section 12.24 S. With the reductions permitted by the Zoning Code and as granted by the City Planning Commission, the Project would be required to provide four automobile parking spaces. As discussed in Finding No. 7 (a), the site is located within an area that is developed with industrial, commercial, and residential uses. The site would be accessible by tenants and employees within the area either by various modes of transportation, and would not necessitate the need to drive a vehicle. As such, the reduction of the required number of parking spaces is not anticipated to adversely affect the surrounding neighborhood.

The building would have a maximum of six stories and height of 94 feet, which would be compatible with existing buildings in the vicinity. While the existing buildings in the area range from two to eleven stories, a number of buildings fall within the range of five to nine stories. As proposed, the building's height and massing would be compatible with the existing and future development in the neighboring properties.

The applicant seeks the on-site sale of a full line of alcoholic beverages in conjunction with the proposed project. The project has been designed in a manner to enhance the public realm and improve the aesthetics and safety of the surrounding area. The inclusion of alcohol uses will allow for added vibrancy within the project, which is appropriate for a mixed-use transit priority project. The establishments serving alcohol will be carefully controlled and monitored, while being compatible with immediately surrounding uses which are industrial and/or mixed-use buildings. The proposed project will provide a place for visitors to eat, drink, and socialize; as such, the sale of alcoholic beverages is a normal part of restaurant operation and an expected amenity.

Additionally, the conditions recommended herein will ensure that the establishment will not adversely affect or further degrade the surrounding neighborhood, or the public health, welfare, and safety. The project is not located directly adjacent to any properties that could be degraded by the grant of alcohol uses. Approval of the conditional use will contribute to the success and vitality of the commercial development and help to reinvigorate the site and vicinity. Since the alcohol sales will be incidental to food service and community space, permitting alcohol sales on the site will not be detrimental to the development of the community.

Furthermore, it is noted that the property owner or individual operator shall file a Plan Approval pursuant to Section 12.24 M of the Los Angeles Municipal Code in order to implement and utilize the Conditional Use authorization granted herein for each individual venue. The purpose of the Plan Approval determination is to review each proposed establishment in greater detail, to consider more specific floor plans and to tailor site-specific conditions of approval for each of the premises, including, but not limited to: hours of operation; seating capacity; size; operational conditions; security; noise mitigation; and/ or any requirement for a subsequent Plan Approval application to evaluate compliance and effectiveness with the conditions of approval. A public hearing for a Plan Approval may be waived at the discretion of the Chief Zoning Administrator.

Thus, as conditioned, the project's location, size, height, operations and other significant features will be compatible with and will not adversely affect or further degrade adjacent properties, the surrounding neighborhood, or the public health, welfare, and safety.

c. The project substantially conforms with the purpose, intent and provisions of the General Plan, the applicable community plan, and any applicable specific plan.

The Central City Community Plan designates the site with a land use designation of Light Manufacturing, with the corresponding zone of M2. The site is presently zoned M2-2D and is consistent with the land use designation. The proposed zone of (T)M2-2D, with an amended "D" Limitation to allow an FAR of 4.9:1, would continue to be consistent with this land use designation. The proposed office and restaurant/food hall uses are proposed by right in the M2 Zone. In conjunction with the requested Master Conditional Use Permit for the sale of alcoholic beverages, the project would be in substantial conformance with the following policies of the General Plan as it is reflected within the Central City Community Plan:

- Objective 2-1: To improve Central City's competitiveness as a location for offices, business, retail, and industry.
 - Policy 2-1.2: To maintain a safe, clean, attractive, and lively environment.
- Objective 2-3: To promote land uses in Central City that will address the needs of all the visitors to Downtown for business, conventions, trade shows, and tourism.
- Objective 2-5: To increase specialty and ethnic markets in order to foster a diverse range of retail and commercial uses in Central City.

The proposed food hall use with eight restaurants, along with one rooftop restaurant with outdoor dining, would further the Community Plan's objectives of addressing the needs of visitors to Downtown Los Angeles and increasing specialty markets to foster a diverse range of commercial uses (Objectives 2-3 and 2-5).

The request to serve and sell alcohol at the site will be consistent with these objectives and policies through the creation of a mix of restaurants that would attract a variety of consumers and tenants, actively promoting the area as a key economic center of the community. The proposed project's mix of uses will bring even more pedestrian activity to the area. Alcohol service incidental to food sales is a common amenity in many sit-down restaurants in the neighborhood. The availability of alcohol for on-site consumption provides another option for a wide range of activities on site and as an option for leisure to cultivate community activity and to create an enjoyable experience for area residents. Overall, the project supports bringing commercial activity to an area with large new residential developments, creates a pedestrian-friendly environment, and promotes the welfare and economic well-being of the local residents.

The Central City Community Plan is silent with regards to alcohol sales. In such cases, the City Planning Commission must interpret the intent of the Plan. The Los Angeles Municipal Code authorizes the City Planning Commission to grant the requested conditional use in the zones corresponding to the Plan land use designation. The proposed project is a permitted use by the requested Plan land use category and zone in the Central City Community Plan. The conditional authorization for the sale of alcoholic beverages is allowed through the approval of the City Planning Commission subject to certain findings. The required findings in support of the Central City Community Plan have been made herein. Given the numerous conditions of approval, and the fact that the sale of alcohol may be conditioned to be incidental to food service or will occur within a private resident lounge, the proposed use can be deemed to be in harmony with the General Plan.

- d. Additional required findings for the sale of alcoholic beverages:
 - i. The proposed use will not adversely affect the welfare of the pertinent community.

The properties surrounding the project site include light industrial, commercial/retail, office, restaurant, parking, and residential uses. The adjoining property to the north is zoned PF-2D and is currently used as a privately-operated public surface parking lot. The adjoining property to the south is zoned M2-2D and developed with a two-story garment retail/wholesale building. The adjacent properties to the east, across Los Angeles Street, are zoned M2-2D and developed with nine- to 11-story mixed-use buildings with joint live/work quarter units (Santee Village Lofts). The adjoining properties to the west are zoned [Q]C5-4D and developed with a four-story mixed-use residential building.

The area surrounding the site is a mix of industrial, commercial, and residential buildings. The request for on-site alcohol sales will be compatible with the surrounding uses, providing a place for visitors to eat, drink, and socialize. This all contributes to the continued vitality of the neighborhood. Alcoholic beverage service is an expected amenity for many patrons and approval of this grant would increase the available options for desirable dining and social experiences for patrons. The establishments will also benefit the City through the generation of additional sales tax revenue, fees, and employment opportunities.

Diversity amongst uses is common in the immediate surrounding area, and while there are residential dwelling units in proximity to the subject site, the establishments open to the public serving alcoholic beverages will be part of a controlled and monitored development. In addition, numerous conditions have been imposed to integrate the use into the community as well as protect community members from adverse potential impacts. Additional conditions have been recommended for consideration by the California Department of Alcoholic Beverage Control that regulate the sale of alcoholic beverages to prevent adverse impacts to the neighborhood. Other conditions imposed will maintain the order and ensure cleanliness of the project and its surroundings. Therefore, the granting of the request will not adversely impact the welfare of the pertinent community.

The granting of the application will not result in an undue concentration of premises for the sale or dispensing for consideration of alcoholic beverages, including beer and wine, in the area of the City involved, giving consideration to applicable State laws and to the California Department of Alcoholic Beverage Control's guidelines for undue concentration; and also giving consideration to the number of proximity of these establishments within a one thousand foot radius of the site, the crime rate in the area (especially those crimes involving public drunkenness, the illegal sale or use of narcotics, drugs or alcohol, disturbing the peace and disorderly conduct), and whether revocation or nuisance proceedings have been initiated for any use in the area.

According to the California State Department of Alcoholic Beverage Control licensing criteria, six licenses (four on-site and two off-site) are allocated to the subject Census Tract No. 2073.01. There are currently 50 on-site and 11 off-site licenses within this census tract.

Overconcentration can be undue when the addition of a license will negatively impact a neighborhood. Over concentration is not undue when the approval of a license does not negatively impact an area, but rather such a license benefits the public welfare and convenience. While this may appear as an overconcentration of licenses, ABC does not consider the expectation that restaurants with alcohol service are an expected amenity as part of the commercial developments containing restaurants.

Statistics from the Los Angeles Police Department reveal that in Crime Reporting District No. 174, which has jurisdiction over the subject property, a total of 86 crimes were reported in 2016 compared to the citywide average of approximately 113 crimes. Part 1 Crimes for the reporting district included: Rape (2), Robbery (8), Aggravated Assault (13), Burglary (8), Auto Theft (9), and Larceny (46). Part 2 Arrests for the reporting district include: Other Assaults (4), Weapons Violations (1), Sex Offenses (1), Narcotics/Drug Violations (1), Liquor Laws (5), Drunkenness (10), Disorderly Conduct (3), DWI Related (1), Traffic Violations (4), and Other Violations (17).

No evidence was submitted for the record by the LAPD or adjacent residents indicating or suggesting any link between the subject site and the neighborhood's crime rate. Further, there is no specifically established link between the above information and the property, since the statistics cover an entire district and do not pertain particularly to the subject site. The incorporation of conditions relative to the specific operation of the establishment was deemed necessary in order to mitigate any possible adverse impact on the welfare of the surrounding area. The public safety measures to mitigate potential nuisance activities have been incorporated into the grant to assure better oversight. Thus, as conditioned, it is not anticipated that the sale of alcoholic beverages for consumption on the premises would adversely affect the community welfare.

iii. The proposed use will not detrimentally affect nearby residentially zoned communities in the area of the City involved, after giving consideration to the distance of the proposed use from residential buildings, churches, schools, hospitals, public playgrounds and other similar uses, and other establishments dispensing, for sale or other consideration, alcoholic beverages, including beer and wine.

The following sensitive uses are located within 1,000 feet of the subject site:

Catedral de la Fe Church

703 South Broadway

Residential Dwelling Units

While there are residential dwelling units and a sensitive use located in proximity to the project site, the project will provide adequate security measures to discourage loitering, theft, vandalism and other nuisances. The project proposes to provide CCTV camera security systems, an alarm system installed as needed, and pedestrian appropriate illumination at entryways, alleys, etc. All sales employees will receive STAR training in responsible alcohol sales; age verification devices will assist employees in prevention of sales to minors.

Furthermore, the proposed use will not detrimentally affect nearby residential properties and other sensitive uses because the urban environment mostly contains industrial, commercial, and residential mixed-use buildings with residents that both

expect and desire more commercial developments. While the sale of alcoholic beverages is important to the restaurants that will be located within the proposed project's tenant spaces, their sale and service will be incidental to primary operations and, as such, no detrimental effects should be expected from the proposed project.

9. Variance Findings.

a. The strict application of the provisions of the Zoning Ordinance would result in practical difficulties or unnecessary hardships inconsistent with the general purpose and intent of the zoning regulations.

The existing building was constructed in 1914 and was not required to provide automobile parking spaces. As a result, there are zero parking spaces provided on the site. While the proposed change of uses within the existing building would not require automobile parking spaces to be provided, the net increase of 6,856 square feet of floor area would require the seven parking spaces to be provided. The applicant proposes to provide additional bicycle parking spaces to reduce the required number of parking spaces to five, pursuant to LAMC Section 12.21 A,4. In conjunction with the a maximum 20 percent reduction pursuant to LAMC Section 12.24 S, the applicant would be required to provide a minimum of four parking spaces for the proposed project.

As the project proposes to maintain the existing building, the required parking spaces would not be provided on-site. Pursuant to LAMC Section 12.21 A,4(i), the applicant proposes to provide the required parking spaces to be located off-site within 1,500 feet of the site. The required parking spaces may be provided off-site if a covenant is recorded, pursuant to LAMC Section 12.26 E,5. The applicant has requested a variance to permit the required parking spaces to be provided off-site via a lease in lieu of the recorded covenant.

Strict application of the Zoning Ordinance may prohibit the addition of any floor area, which would result in an unnecessary hardship as the additions would be needed for the current vacant building to be refurbished and activated with viable office space and restaurant/food hall uses. The project site is located within the vicinity of a number of public surface parking lots, including one located directly to the north of the project site. While the required parking spaces could be provided at any one of these parking lots, the requirement for a recorded covenant has resulted in difficulty as owners of the parking lots do not want to encumber their properties with a covenant and agreement. This hardship is inconsistent with the purpose and intent of the regulation, which is to allow for greater flexibility of how required parking spaces are provided. In this instance, the applicant would still be required to provide the same number of required parking spaces off-site but by lease in lieu of a recorded covenant. The project has been conditioned to submit a copy of an executed lease to the Department of City Planning, and to maintain the lease for duration of the operations of the proposed project.

b. There are special circumstances applicable to the subject property such as size, shape, topography, location or surroundings that do not apply generally to other property in the same zone and vicinity.

The subject property is improved with an existing light manufacturing building that was constructed in 1914. The project entails refurbishing the existing building, rather than demolishing it and constructing it anew. The presence of the existing structure, which does not have vehicular access from its sole street frontage, is a special circumstance applicable to the subject property that does not permit the project to provide the required

parking on-site. The Zoning Code allows required parking spaces to be provided off-site within 1,500 feet for sites located within the Downtown Business District. By-right, the applicant would be required to secure off-site parking on a site where the property owner is willing to record a covenant. The applicant has indicated that a lease could be secured to provide the required parking spaces within the distance permitted by the Zoning Code. The lease would function in the same manner as a covenant in that it would ensure that parking is designated and provided for the proposed project at all times the uses within the building are operating. As conditioned herein, a copy of the lease would be required to be submitted to verify the location and number of parking spaces provided at the off-site parking location and is required to be provided for the duration that the uses are in operation.

c. Such variance is necessary for the preservation and enjoyment of a substantial property right or use generally possessed by other property in the same zone and vicinity but which, because of such special circumstances and practical difficulties or unnecessary hardships, is denied the property in question.

As discussed in the Finding Nos. 9 (a) and (b), the Project proposes to maintain the existing building which was constructed and maintained without parking spaces on-site. In conjunction with the rehabilitation of the existing building, an addition is proposed on the rooftop of the building, resulting in a net floor area increase of 6,856 square feet. As explained in Finding No. 9 (a), the Project would be required to provide four parking spaces as a result of the additional floor area. Strict application of the Zoning Ordinance may prohibit the addition of any floor area, as the applicant has cited difficulty finding Downtown Los Angeles property owners who are willing to encumber their parking lots with a covenant and agreement. The request for a Variance would provide an alternative method for the applicant to obtain use of the off-site parking spaces through a different legal instrument than is required by the Zoning Code. Lease agreements have been a suitable alternative to guarantee the provisions of required parking off-site. To provide required automobile parking off-site by lease in lieu of a covenant and agreement would allow for the preservation and enjoyment of a property right possessed by other properties in the same zone and vicinity.

d. The granting of such variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the same zone or vicinity in which the property is located.

The provision of required automobile parking off-site by lease in lieu of recorded covenant will have no difference in a practical sense; the same number of parking spaces would still be provided. The applicant shall be required to submit a copy of the lease for review by the Department of City Planning as a condition of approval. As such, granting of this Variance will not be materially detrimental to the public welfare.

e. The granting of the variance will not adversely affect any element of the General Plan.

The request for a Variance to provide parking off-site by lease in lieu of recorded covenant is consistent with the Community Plan. The Central City Community Plan encourages the use of strategies related to parking that encourage transit use and reduce vehicle miles traveled. The proposed project is consistent with the following land use objective of the Central City Community Plan:

Objective 2-1: To improve Central City's competitiveness as a location for offices, business, retail, and industry.

The granting of the Variance will not adversely affect any element of the General Plan and is in conformance with the General Plan in that it will enable the adaptive reuse of an existing building, will do so with no detriment to adjacent or nearby properties, and will improve Central City's competitiveness as a location for offices, business, retail, and industry.

10. Site Plan Review Findings.

a. The project is in substantial conformance with the purposes, intent and provisions of the General Plan, applicable community plan, and any applicable specific plan.

As discussed in Finding No. 1, the recommended Vesting Zone and Height District Change for the project site would be consistent with the recommended land use designation. Further, the proposed restaurant/food hall and office uses are permitted by right in the M2 Zone. As discussed in Findings No. 2 through 6, the Project would meet the goals, objectives, and policies of the General Plan and the Central City Community Plan area. As such, the project is in substantial conformance with the General Plan and Community Plan. The project site is not located within a specific plan area.

b. The project consists of an arrangement of buildings and structures (including height, bulk and setbacks), off-street parking facilities, loading areas, lighting, landscaping, trash collection, and other such pertinent improvements that is or will be compatible with existing and future development in neighboring properties.

The arrangement of the proposed project is consistent and compatible with existing and future development in neighboring properties. The subject site is located within the Central City Community Plan Area and Fashion District neighborhood. The surrounding urban environment is comprised of industrial, commercial, and mixed-use residential developments. The following project elements were designed in a manner that is compatible with both existing and future development of the surrounding area:

Height/Massing

The project proposes to maintain the existing five-story building and to construct a 9,541 square-foot rooftop addition on the southern side of the building. The project would involve rehabilitation of the façade of the buildings and interior renovations to accommodate the change of use to creative office and restaurant/food hall uses. The building would have a maximum of six stories and height of 94 feet, which would be compatible with existing buildings in the vicinity. While the existing buildings in the area range from two to eleven stories, a number of buildings fall within the range of five to nine stories. As proposed, the building's height and massing would be compatible with the existing and future development in the neighboring properties.

Building Materials

The existing building would be substantially refurbished as part of the project. The existing metal screening, fire escape stairs, and retail signage would be removed from the Los Angeles Street façade. The proposed Los Angeles Street façade incorporates new glazing spanning nearly the entire height of the 20-foot high ground floor, with the installation of new awnings, and a new office lobby ("East Lobby") and recessed outdoor dining patio area replace the existing garment retail storefront. All existing glazing on

floors two through five would be replaced with new steel casement windows, and the building's exterior concrete walls would be cleaned and burnished. Floor-to-ceiling windows are also proposed at the rear of the building, on the ground floor excluding the mezzanine.

Setbacks

The project entails the adaptive reuse of an existing light manufacturing building to accommodate new general and/or creative office and restaurant/food hall uses. No changes to the building's existing setbacks are proposed. The project does include design elements, such as new awnings, on the front façade that encroach into the public right-of-way, which would require approval of a revocable permit from the Bureau of Engineering. The setbacks as proposed are appropriate in relation to the project's design and location.

Parking & Loading Areas

The project proposes to maintain the existing building, which was constructed without a parking area. As discussed in Finding No. 9, the project does not propose to improve the site to provide the required parking spaces and proposes to provide the parking spaces off-site. A loading area would be provided as required by the Department of Building and Safety.

Lighting & Building Signage

Lighting and signage will be provided per LAMC requirements. Building signage will be required to comply with LAMC Section 14.4. Signage plans will be submitted at a later date as details become finalized.

Landscaping

Open space and landscaping opportunities are utilized on the rooftop level and in the vacated alley area at the rear of the building, as shown on Sheet L1.0 of Exhibit A. The project incorporates shrubs, perennials, grasses, and vines so as to create a pleasant and landscaped open space areas.

Trash Collection

Trash and recycling areas shall be enclosed and not visible to the public. The building will primarily be serviced from the vacated alley to the rear of the building, by way of a private easement that provides access to 8th Street.

As described above, the project consists of an arrangement of buildings and structures (including height, bulk, and setbacks), off-street parking facilities, loading areas, lighting, landscaping, trash collection, and other such pertinent improvements that will be compatible with existing and future development on adjacent and neighboring properties.

c. That any residential project provides recreational and service amenities in order to improve habitability for the residents and minimize impacts on neighboring properties.

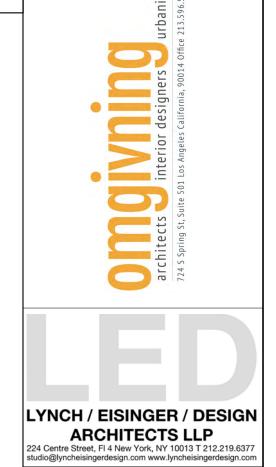
The project does not involve any residential uses.

Environmental Findings

- **11.** Based on the whole of the administrative record, the Project is exempt from CEQA pursuant to CEQA Guidelines, Article III, Section 1, Classes 1 and 32, and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.
- **12. Flood Insurance.** The National Flood Insurance Program rate maps, which are a part of the Flood Hazard Management Specific Plan adopted by the City Council by Ordinance No. 172,081, have been reviewed and it has been determined that this project is located in Zone C, areas of minimal flooding. Currently, there are no flood zone compliance requirements for construction in these zones.







PLANNING SUBMITTAL 755 SOUTH LOS ANGELES STREET, LLC 11400 W OLYMPIC BLVD., SUITE 850



JOB NO.: 16-023

12/14/17

SCALE: 1/4" = 1'-0"

SHEET TITLE: **COVER SHEET &** SHEET INDEX

SHEET NUMBER:



OWNER 755 SOUTH LOS ANGELES STREET, LLC 11400 W OLYMPIC BLVD., SUITE 850 LOS ANGELES, CA 90064 310.427.7432 CONTACT: DEAN NUCICH

EXECUTIVE ARCHITECT OMGIVNING 724 S SPRING ST #501 LOS ANGELES, CA 90014 213.596.5602 CONTACT: PETER RINDELAUB

DESIGN ARCHITECT LYNCH/EISINGER DESIGN 224 CENTRE ST, 4TH FLOOR NEW YORK, NY 10013 212.219.6377 CONTACT: JOHN WHEELER

CIVIL ENGINEERDK ENGINEER, CORP. 724 S. SPRING ST. #304 LOS ANGELES, CA

STRUCTURAL ENGINEER ENGLEKIRK STRUCTURAL ENGINEERS 888 S. FIGUEROA STREET, 18TH FLR LOS ANGELES, CA 90017 323.733.6673

213.623.2107 CONTACT: MATT PLOURDE

CONTACT: RUSSELL TANOUYE

MEP ENGINEER IEG, INC. 2501 DAVIDSON DR. SECOND FLOOR MONTEREY PARK, CA 91754 323.262.9199

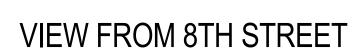
JERRY LAM jl@iegeng.com MECHANICAL CONTACT: PETER BLINZLER pb@iegeng.com

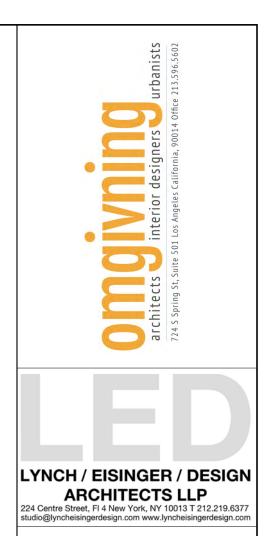
PRIMARY CONTACT:

ELECTRICAL CONTACT: JERRY LAM jl@iegeng.com PLUMBING CONTACT: JASON KUO jk@iegeng.com

LANDSCAPE ARCHITECT VAN ATTA ASSOCIATES 235 PALM AVE SANTA BARBARA, CA 93101 805.730.7444 CONTACT: GUILLERMO GONZALEZ

ENTITLEMENTS CONSULTANT **URBAN CONCEPTS** 3731 WILSHIRE BLVD. LOS ANGELES, CA 90010 323.966.2610 CONTACT: BILL CHRISTOPHER





Sall

LOS ANGELES, CA 90064

EVISIONS:

D NO :

16-023 ATE:

12/14/17 SCALE:

SHEET TITLE:

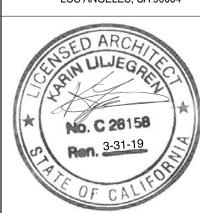
RENDERING - EXHIBIT

G000.10



AERIAL VIEW OF LOS ANGELES STREET FACADE AND NEW ROOF DECK

11400 W OLYMPIC BLVD., SUITE 850 LOS ANGELES, CA 90064



SHEET TITLE: RENDERING - EXHIBIT

		PROJECT TEAM		LEC	GAL DESCRIPTION	nists
OWNER 755 SOUTH LOS ANGELES STREET, LLC 11400 W OLYMPIC BLVD., SUITE 850 LOS ANGELES, CA 90064 310.427.7432 CONTACT: DEAN NUCICH EXECUTIVE ARCHITECT OMGIVNING 724 S SPRING ST #501 LOS ANGELES, CA 90014 213.596.5602 CONTACT: PETER RINDELAUB	CIVIL ENGINEER DK ENGINEER, CORP. 724 S. SPRING ST. #304 LOS ANGELES, CA 213.623.2107 CONTACT: MATT PLOURDE STRUCTURAL ENGINEER ENGLEKIRK STRUCTURAL ENGINEERS 888 S. FIGUEROA STREET, 18TH FLR LOS ANGELES, CA 90017 323.733.6673 CONTACT: RUSSELL TANOUYE	MEP ENGINEER IEG, INC. 2501 DAVIDSON DR. SECOND FLOOR MONTEREY PARK, CA 91754 323.262.9199 PRIMARY CONTACT: JERRY LAM jl@iegeng.com MECHANICAL CONTACT: PETER BLINZLER pb@iegeng.com	LANDSCAPE ARCHITECT VAN ATTA ASSOCIATES 235 PALM AVE SANTA BARBARA, CA 93101 805.730.7444 CONTACT: GUILLERMO GONZALEZ ENTITLEMENTS CONSULTANT URBAN CONCEPTS 3731 WILSHIRE BLVD. LOS ANGELES, CA 90010 323.966.2610 CONTACT: BILL CHRISTOPHER	TRACT, IN THE CITY OF LOSTATE OF CALIFORNIA, A OF MISCELLANEOUS RECORDER OF SAID COURS OF SAID RESUBDIVISION NORTHEASTERLY OF A LOSTAGE OF SAID SOUTHWESTERLY THEREORY OF A POINT THE SOUTHWESTERLY THEREORY OF SAID LOT 9, FEET OF LOTS 1, 2 AND 3	SUBDIVISION OF THE WIDOW BOTILLER OS ANGELES, COUNTY OF LOS ANGELES, S PER MAP RECORDED IN BOOK 29 PAGE 26, CORDS, IN THE OFFICE OF THE COUNTY INTY, TOGETHER WITH THAT PORTION OF LOT N OF SAID WIDOW BOTILLER TRACT LYING INE DRAWN FROM A POINT IN THE OF SAID LOT 9, DISTANT SOUTHWESTERLY M THE MOST NORTHERLY CORNER OF SAID OUTHEASTERLY LINE OF SAID LOT 9, DISTANT EON 6.00 FEET FROM THE MOST EASTERLY TOGETHER WITH THE SOUTHEASTERLY 0.93 OF SAID RESUBDIVISION OF THE WIDOW TING THEREFROM THAT SOUTHWESTERLY	architects interior designers urban 724 S Spring St, Suite 501 Los Angeles California, 90014 Office 213.590
DESIGN ARCHITECT LYNCH/EISINGER DESIGN 224 CENTRE ST, 4TH FLOOR NEW YORK, NY 10013 212.219.6377 CONTACT: JOHN WHEELER		ELECTRICAL CONTACT: JERRY LAM jl@iegeng.com PLUMBING CONTACT: JASON KUO jk@iegeng.com		50.16 FEET OF SAID SOUT		LYNCH / EISINGER / DE ARCHITECTS LLP 224 Centre Street, FI 4 New York, NY 10013 T 212
	BICYCLE PARKIN	NG SUMMARY (PER TABLE A)		PRO	JECT INFORMATION	studio@lyncheisingerdesign.com www.lyncheisinger
		· · · · · · · · · · · · · · · · · · ·		PROJECT NAME: ADDRESS:	NORTON BUILDING 755 S LOS ANGELES ST.	
	SH	ORT-TERM BICYCLE PARKING LONG-TERM	BICYCLE PARKING		LOS ANGELES, CA 90014 755 SOUTH LOS ANGELES STREET, LLC	
	R	PROVIDED REQUIRED SF / 2,000 SF = 4 2 SPACES X 4 = 4 4 12	PROVIDED F= 4 4	OWNER: PROJECT DESCRIPTION:	(E) +/-100,000 SF 5 STORY MIXED USE BUILDING TO INCLUDE: CHANGE OF USE FROM RETAIL STORAGE TO FOOD HALL STORAGE AND ACCESSORY RESTROOMS/BUILDING UTILITIES AT BASEMENT. CHANGE OF USE FROM RETAIL TO FOOD HALL AT FIRST FLOOR. CHANGE OF USE FROM RETAIL TO BUILDING UTILITIES AND FOOD HALL SEATING AT 1ST MEZZANINE. CHANGE OF USE FROM GARMENT MANUFACTURING TO OFFICE AT FLOORS 2-5. STRUCTURAL UPGRADE NOT A PART. SEE PERMIT # 16016-10003-30525	
				CURRENT USE:	BASEMENT: STORAGE LEVEL 1/MEZZANINE: RETAIL	
				PROPOSED USE:	LEVELS 2-5: MANF. AND ACC. OFFICE BASEMENT: FOOD HALL STORAGE & ACC UTIL LEVEL 1: FOOD HALL MEZZANINE: BUILDING UTILITIES AND FOOD HALL SEATING LEVELS 2-5: OFFICE	9
	ARCHITECTURAL SYMBOLS		DEFERRED PERMITS	OCCUPANCY TYPE: CONSTRUCTION TYPE:	A-2, B, M EXISTING BUILDING CLASS A RECLASSIFIED TYPE IB	
A101 DETAIL	KK WINDOW MARK	ALIGN FINISHES	FIRE ALARM SYSTEM FIRE SPRINKLER SYSTEM ELEVATOR SYSTEMS	SPRINKLERS:	FULLY SPRINKLERED THROUGHOUT (NFPA-13)	
BUILDING SECTION	222.2 DOOR MARK	SD SMOKE DETECTOR	STAIRS RETAIL / OFFICE / RESTAURANT TENANT IMPROVEMENT STOREFRONT SYSTEMS	ZONING: FLOOD ZONE:	M2-2D NONE	90014
A WALL SECTION	WALL TYPE WORK POINT	FE FIRE EXTINGUISHER AD AREA DRAIN	NOTE: DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE ARCHITECT OF RECORD, ENGINEER OF RECORD, AND THEN BY THE BUILDING OFFICIAL HAVING JURISDICTION	TOTAL SITE AREA: SET BACKS:	18,024 SQ FT (NET AREA) NONE	ELES, CA
D A900 B INTERIOR ELEVATION	◆ ▶ ◆	FLOOR DRAIN FLOOR MATERIAL TRANSITION	EMERGENCY RESPONDER RADIO COVERAGE IS REQUIRED. (CFC 510) STANDBY POWER IS REQUIRED FOR THE ELEVATOR (CEC 1009)	GROSS BUILDING AREA - EXISTING (PER LABC DEFINITION): GROSS BUILDING AREA	XXX GSF	S TOS ANG
ELEVATION MARK		TRANSITION SECURITY OPENING		- PROPOSED (PER LABC DEFINITION): EXISTING FLOOR AREA:	79,793 SF (SEE G010-G013 FOR BREAKDOWN BY FLOOR)	SELES ST
	EXIT SIGN	PROPERTY LINE		PROPOSED FLOOR AREA:	(4.4:1 FAR) 86,649 SF (SEE G010-G013 FOR BREAKDOWN BY	S ANG
@ ATØ DIAMETERAB ANCHOR BOLT	FLR FLOOR FMC FLOOR MATERIAL CHANGE FOC FACE OF CONCRETE FOF FACE OF FINISH	PROPERTY LINE PIP PROTECT IN PLACE PLAM PLASTIC LAMINATE PT PAINT	2017 LOS ANGELES BUILDING CODE BASED ON 2016 CALIFORNIA BUILDING CODE 2016 CALIFORNIA BUILDING CODE BASED ON 2015 INTERNATIONAL	NET FLOOR AREA INCREASE ALLOWABLE BLDG HEIGHT (PER ZONING CODE):	FLOOR) (4.8:1 FAR) : (86,649 SF - 79,793 SF =) 6,856 SF UNLIMITED PER HEIGHT DISTRICT NO. 2	PLANNING SUBMITT
A/C AIR CONDITIONING ACT ACOUSTIC CEILING TILE ADA AMERICANS WITH DISABILITIES ACT	FOM FACE OF MASONRY FOS FACE OF STUD FR FIRE RESISTIVE FS FINISH SURFACE	PTD PAINTED QTY QUANTITY	BUILDING CODE 2016 CALIFORNIA EXISTING BUILDING CODE	PROPOSED BLDG HEIGHT (PER ZONING CODE):	94' - 3 1/2"	755 SOUTH LOS ANGELES STREET, 11400 W OLYMPIC BLVD., SUITE 8: LOS ANGELES, CA 90064
ADJ ADJACENT AFF ABOVE FINISH FLOOR ALT ALTERNATE	GA GAGE GALV GALVANIZED	R RADIUS or RISER RCP REFLECTED CEILING PLAN RD ROOF DRAIN	2017 GREEN BUILDING CODE BASED ON 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE	ALLOWABLE BLDG HEIGHT (PER CBC TABLE 503):	160' ABOVE GRADE PLANE / 11 STORIES	LINGED ARCHITE
ALUM ALUMINUM APPROX APPROXIMATELY ARCH ARCHITECT	GB GRAB BAR GC GENERAL CONTRACTOR GYP BD GYPSUM BOARD	REF REFRIGERATOR REQ'D REQUIRED REV REVISION or REVISED	2017 LOS ANGELES ELECTRICAL CODE BASED ON 2016 CALIFORNIA ELECTRICAL CODE	PROPOSED BLDG HEIGHT (PER CBC DEFINITION):	+/- 94' - 3 1/2"	★ No. C 28158
BD BOARD BF BRACE FRAME BLK BLOCK BM BEAM	HB HOSE BIBB HC HOLLOW CORE HCW HOLLOW CORE WOOD HDR HEADER	RM ROOM ROW RIGHT OF WAY RRM RESTROOM SC SOLID CORE	2017 LOS ANGELES MECHANICAL CODE BASED ON 2016 CALIFORNIA MECHANICAL CODE 2017 LOS ANGELES PLUMBING CODE BASED ON 2013 CALIFORNIA	PARKING REQUIRED:	6.8 STALLS (6,856 SF X 1 SPACE/1,000 SQ FT PER DOWNTOWN PARKING EXCEPTION) (6,856 SF NET FLOOR AREA INCREASE) PER CASE NO. CPC-2016-4962-VZC-HD-MCUP-ZV-SPR	Ren. 3-31-19 OF CALIFORNIA
BTWN BETWEEN CAB CABINET € CENTER LINE CL CLOSET	HM HOLLOW METAL HR HANDRAIL HT HEIGHT INS INSULATION	SCW SOLID CORE WOOD SF SQUARE FEET SHT SHEET SHTG SHEATHING SIM SIMILAR	PLUMBING CODE 2016 CALIFORNIA ENERGY CODE, TITLE 24, PART 6	NET PARKING REQUIRED AFTER REDUCTION:	30% REDUCTION PER LAMC SECTION 12.21A4 (BICYCLE PARKING REPLACED @ 1 AUTO SPACE PER 4 BICYCLE PARKING SPACES) = 6.8 X 0.7 = 4.67 (5 SPACES)	REVISIONS:
CLG CEILING CLR CLEAR CMU CONCRETE MASONRY UNIT COL COLUMN	INT INTERIOR JST JOIST	SL SLOPE ST STL STAINLESS STEEL STL STEEL STRUCT STRUCTURAL		PARKING PROVIDED:	5 SPACES PROVIDED OFF-SITE W/ PARKING VARIANCE. 4 SPACES PROVIDED OFF-SITE W/ APPROVAL OF CONDITIONAL USE BY CPC	
CONC CONCRETE CONT CONTINUOUS CONTR CONTRACTOR CPT CARPET CRS COURSES	LAM LAMINATE LAV LAVATORY LIN LINOLEUM MAX MAXIMUM	T TREAD TBD TO BE DETERMINED TH THRESHOLD THK THICK	FIRE RATING REQUIREMENTS	BICYCLE PARKING:	SEE BICYCLE PARKING SUMMARY (THIS SHEET) VICINITY MAP	
CT CERAMIC TILE (D) DEMOLISH	MECH MECHANICAL MFR MANUFACTURER MIN MINIMUM	TJ TRUSS JOIST TO TOP OF TOC TOP OF CONCRETE	TABLE 601 BUILDING ELEMENT TYPE I-B	XX XX	SITE: 755 S LOS ANGELES ST	IOP NO :
DAS DISABLED ACCESS DBL DOUBLE DIA DIAMETER	MISC MISCELLANEOUS MO MASONRY OPENING MTD MOUNTED	TOP TOP OF PLATE TOS TOP OF SLAB TOSHTG TOP OF SHEATHING	PRIMARY STRUCTURAL FRAME 2-HR	rict of the state	+ P P P P P P P P P P P P P P P P P P P	JOB NO.: 16-023
DIM DIMENSION DN DOWN DS DOWNSPOUT	MTL METAL N NOTE	TOW TOP OF WALL TYP TYPICAL	BEARING WALLS EXTERIOR INTERIOR 2-HR 2-HR	No. Will Street Line Co.		12/14/17 SCALE: 1/4" = 1'-0"
DWG DRAWING (E) EXISTING	(N) NEW NIC NOT IN CONTRACT NTS NOT TO SCALE	UNO UNLESS NOTED OTHERWISE VCT VINYL COMPOSITION TILE	NON BEARING WALLS AND PARTITIONS PER TABLE 602 EXTERIOR	State of the state	P destruction of the state of t	SHEET TITLE: PROJECT
ELECT ELECTRICAL ELEV ELEVATOR EOS EDGE OF SLAB	OC ON CENTER OFCI OWNER FURNISHED-	VERT VERTICAL VIF VERIFY IN FIELD	NON BEARING WALLS AND PARTITIONS 0-HR INTERIOR	California Mart Heliport	In to happe street tree treet	INFORMATION
EQ EQUAL EXT EXTERIOR FE FIRE EXTINGUISHER	CONTRACTOR INSTALLED OFOI OWNER FURNISHED- OFVI OWNER FURNISHED-	W/ WITH WC WATER CLOSET WD WOOD WH WATER HEATER	FLOOR CONSTRUCTION AND SECONDARY 2-HR MEMBERS		Short teres this de short steet stee	SHEET NUMBER:
FF FINISH FLOOR FIN FINISH FJ FLOOR JOIST	VENDOR INSTALLED OH OVERHEAD OPNG OPENING	WP WATERPROOF WPT WORK POINT	ROOF CONSTRUCTION AND SECONDARY 1.5-HR MEMBERS	pon Je Paris Property Paris Pa		G001 1/16/18 2:20:39 PM

DRAWING AND THE INFORMATION CONTAINED HEREIN ARE THE COPYRIGHTED WORK OF OMGIVNING ARCHITECTS AND MAY NOT BE REPRODUCED WI

ALTA/NSPS LAND TITLE SURVEY OF 755 LOS ANGELES STREET

IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

LOTS 7 AND 8 OF THE RESUBDIVISION OF THE WIDOW BOTILLER TRACT, IN THE CITY OF LOS ANGELES. COUNTY OF LOS ANGELES. STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 29 PAGE 26, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, TOGETHER WITH THAT PORTION OF LOT 9 OF SAID RESUBDIVISION OF SAID WIDOW BOTILLER TRACT LYING NORTHEASTERLY OF A LINE DRAWN FROM A POINT IN THE NORTHWESTERLY LINE OF SAID LOT 9, DISTANT SOUTHWESTERLY THEREON 5.93 FEET FROM THE MOST NORTHERLY CORNER OF SAID LOT 9, TO A POINT THE SOUTHEASTERLY LINE OF SAID LOT 9, DISTANT SOUTHWESTERLY THEREON 6.00 FEET FROM THE MOST EASTERLY CORNER OF SAID LOT 9, TOGETHER WITH THE SOUTHEASTERLY 0.93 FEET OF LOTS 1, 2 AND 3 OF SAID RESUBDIVISION OF THE WIDOW BOTILLER TRACT, EXCEPTING THEREFROM THAT SOUTHWESTERLY 50.16 FEET OF SAID SOUTHEASTERLY 0.93 FEET.

PARCEL 2:

AN EASEMENT FOR LIGHT AND AIR. AND A RIGHT OF WAY FOR INGRESS AND EGRESS, TO BE USED IN COMMON WITH OTHERS OVER THAT PORTION OF LOTS 1, 2 AND 3 OF THE RESUBDIVISION OF THE WIDOW BOTILLER TRACT. IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 29 PAGE 26 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE SOUTHWESTERLY LINE OF SAID LOT 3, DISTANT NORTH 41° 54' 10" WEST 0.93 FEET FROM THE MOST SOUTHERLY CORNER OF SAID LOT 3; THENCE ON A LINE PARALLEL WITH THE SOUTHEASTERLY LINES OF SAID LOTS 1, 2 AND 3, NORTH 52° 02' 30" EAST 166.15 FEET, MORE OR LESS TO THE NORTHEASTERLY LINES OF SAID LOT 1; THENCE ALONG SAID NORTHEASTERLY LINE NORTH 41° 51' 15" WEST 14.30 FEET TO THE SOUTHEASTERLY FACE OF AN EXISTING FOUR-STORY BRICK BUILDING: THENCE ALONG SAID SOUTHEASTERLY FACE OF SAID SOUTHWESTERLY LINES OF AN ADJACENT FOURSTORY BRICK BUILDING TO THE FOLLOWING COURSES AND DISTANCES; SOUTH 52° 01' 50" WEST 50.12 FEET; SOUTH 47° 46' 20" WEST 9.67 FEET; NORTH 41° 49' 00" WEST 3.65 FEET; SOUTH 48° 11' 00" WEST 42.50 FEET; NORTH 41° 49' 00" WEST 4.00 FEET: SOUTH 48° 11' 00" WEST 63.62 FEET TO A POINT IN THE SOUTHWESTERLY LINE OF SAID LOT 3; THENCE ALONG SAID SOUTHWESTERLY LINE SOUTH 41° 54' 10" EAST 14.07 FEET TO THE POINT OF BEGINNING.

AN EASEMENT FOR LIGHT AND AIR, AND A RIGHT OF WAY FOR INGRESS AND EGRESS TO BE USED IN COMMON WITH OTHERS, OVER THOSE PORTIONS OF LOTS 1, 2, 3, 7, 8 AND 9 OF SAID RESUBDIVISION OF THE WIDOW BOTILLER TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE SOUTHWESTERLY LINE OF SAID LOT 3, DISTANT THEREON NORTH 41° 54' 10" WEST 0.93 FEET FROM THE MOST SOUTHERLY CORNER OF SAID LOT 3; THENCE ON A LINE PARALLEL WITH THE SOUTHEASTERLY LINES OF SAID LOTS 1, 2 AND 3, NORTH 52° 02' 30" EAST, 166.15 FEET, MORE OR LESS, TO THE NORTHEASTERLY LINE OF SAID LOT 1; THENCE ALONG THE NORTHEASTERLY LINES OF SAID LOTS 1 AND 7, SOUTH 41° 51' 15" EAST, 15.30 FEET TO THE NORTHWESTERLY FACE OF AN EXISTING FIVE-STORY. REINFORCED CONCRETE BUILDING: THENCE ALONG SAID NORTHWESTERLY FACE OF SAID BUILDING AND ALONG THE LINES OF AN EXISTING ADJACENT TWO-STORY, BRICK BUILDING, THE FOLLOWING COURSES AND DISTANCES; SOUTH 51° 58' 10" WEST, 115.97 FEET, NORTH 41° 51' 20" WEST, 1.78 FEET; SOUTH 48° 06' 20" WEST, 50.03 FEET TO THE SOUTHEASTERLY LINE OF SAID LOT 9; THENCE ALONG SAID SOUTHWESTERLY LINE NORTH 41°

EXCEPT THEREFROM THAT PORTION OF SAID LAND INCLUDED WITHIN PARCEL 1 HEREINABOVE DESCRIBED.

54' 10" WEST, 17.12 FEET TO THE POINT OF BEGINNING.

APN: 5145-001-013 AT THE DATE HEREOF, ITEMS TO BE CONSIDERED

ALTA/NSPS LAND TITLE SURVEY CERTIFICATE: TO:

- * Urban Offerings, Inc
- * Chicago Title Insurance Company
- * and all of their successors and/or assigns

THIS IS TO CERTIFY (AS CERTIFY IS DEFINED AND LIMITED BY SECTION 8770.6 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA) THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4 5, 6 (ZONING FROM LA CITY DIRECTLY, NO ZONING REPORT SUPPLIED), 7(a). 7(b1), 7(c), 8, 9, 10, 11, 14, 16, 17, 18, AND 20 (\$2 MILLION PROFESSIONAL LIABILITY INSURANCE LIMIT) OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 23, 2016.

Robert D. Hemo ROBERT DAVID HENNON, PLS 5573 (EXPIRES 9-30-17) *5573*

ALTA TABLE A ITEMS 16, 17, & 18 NOTE:

THERE IS NO VISIBLE EVIDENCE OF: EARTH MOVING OR BUILDING CONSTRUCTION, PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, SIDEWALK OR STREET CONSTRUCTION OR REPAIRS, USE OF SITE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL, NOR OF WETLANDS.

0

GLEN ALE, ((818)

 \mathbb{Z}

YNCH / EISINGER / DESIGN ARCHITECTS LLP 4 Centre Street, FI 4 New York, NY 10013 T 212.219.63 udio@lyncheisingerdesign.com www.lyncheisingerdesign.com

755 SOUTH LOS ANGELES STREET, LLC 11400 W OLYMPIC BLVD., SUITE 850 LOS ANGELES, CA 90064 No. C 28158

PLANNING SUBMITTAL

12/14/17

SHEET NUMBER:

SCALE: SHEET TITLE: SURVEY (FOR REFERENCE ONLY)

ITEM 12 — Any rights of the parties in possession of a portion of, or all of, said Land, which rights are not disclosed by the public records.

(BLANKET IN NATURE AT THIS TIME)

Official Records. (BLANKET IN NATURE)

AUTOMATIC GATE TO BE USED BY ALL PARTIES)

SURVEYOR'S NOTES:

INDICATES A PLOTTED TITLE ITEM

SURVEY RELATED MATTER)

TITLE MATTERS:

ITEMS A TO E - TAXES

land. (PLOTTED HEREON)

official records. (BLANKET IN NATURE)

3868 of Official Records. (BLANKET IN NATURE)

SUBDIVISION MAP ACT OF THE STATE OF CALIFORNIA)

PER PRELIMINARY TITLE REPORT ORDER NO. 00054204-994-LT2-JC

(2)—ITEM 2 — Easement(s) for the purpose(s) shown below and rights

(3) ITEM 3 — Easement(s) for the purpose(s) shown below and rights

ITEM 4 — Liens and charges, covenants, conditions, provisions

redevelopment of said project have been instituted under the

incidental thereto as condemned by an instrument, Entitled: Final

Judgment. Court: Superior Case No.: 62688. In favor of: City of Los

4965 Page 289 of Deeds. Affects: the southeasterly 10 feet of said

incidental thereto as set forth in a document: Purpose: Light and air,

1333 of Official Records. Affects: a portion of said land. (PLOTTED

ingress and egress. Recording Date: December 13, 1949. Recording No:

restrictions and agreements affecting Parcels 1 and 2, as set forth and

provided for, in the deed and agreement from Sabichi Company, a

corporation, recorded December 13, 1949 as Instrument No.. 1333, of

ITEM 5 — A notice that said Land is included within a project area of

the Redevelopment Agency shown below, and that proceedings for the

Redevelopment Agency: Community Redevelopment Agency of the City of

Los Angeles. Recording Date: July 22, 1975. Recording No: 3675 of

Official Records and Recording Date: July 30, 1975 and Recording No:

ITEM 6 - Covenant and agreement wherein the owners agree to hold

said Land as one parcel and not to sell any portion thereof separately.

Said covenant is expressed to run with the Land and be binding upon

future owners. Recording Date: November 13, 1978. Recording No:

78-1264091 of Official Records. Reference is hereby made to said

DOCUMENT SHOWS SUBJECT PROPERTY IS IN COMPLIANCE WITH THE

document for full particulars. (BLANKET OVER TITLE PARCEL 1 - THIS

ITEM 7 - A deed of trust to secure an indebtedness in the amount: \$8,000,000.00. Dated: April 27, 2005. Trustor/Grantor SAFIR, LLC, a

Recording Date: April 28, 2005. Recording No: 05-0988585 of Official

Records. An agreement to modify the terms and provisions of said deed

Recording No: 20121761224 of Official Records. (NOT A SURVEY RELATED

ITEM 8 — The Land described herein is included within a project area of

Redevelopment Agency: Community Redevelopment Agency of Los Angeles.

the Redevelopment Agency shown below, and that proceedings for the

Redevelopment Law (such redevelopment to proceed only after the

adoption of the Redevelopment Plan) as disclosed by a document.

(9) ITEM 9 Matters contained in that certain document Entitled: Expansion

Recording Date: November 30, 2007. Recording No: 20072636449 of

of Easement Agreement. Recording Date: January 19, 2011. Recording

document for full particulars. Affects: The herein described Land and

Secured Party: Point Fermin Properties, Inc. Recording Date: November

ITEM 11 — Matters which may be disclosed by an inspection and/or by

a correct ALTA/NSPS Land Title Survey of said Land that is satisfactory

to the Company, and/or by inquiry of the parties in possession thereof.

30, 2012. Recording No: 20121834149 of Official Records. (NOT A

other land. (PLOTTED HEREON - NOTE: SAID EASEMENT ALLOWS FOR

RESPECTIVE BUILDINGS, AND SAID DOCUMENT PROVIDES FOR AN

ITEM 10 - A financing statement as follows: Debtor: SAFIR, LLC

No: 20110098800 of Official Records. Reference is hereby made to said

PARKING OF 3 SEDAN SIZE AUTOMOBILES DIRECTLY ADJACENT TO OWNER'S

Beneficiary: Point Fermin Properties, Inc., a California corporation.

of trust as therein provided. Recording Date: November 20, 2012.

redevelopment of said project have been instituted under the

limited liability company. Trustee: Old Republic Title Company

Redevelopment Law (such redevelopment to proceed only after the

adoption of the redevelopment plan) as disclosed by a document.

Angeles. Purpose: Widening of Los Angeles Street. Recording No: in Book

DATED APRIL 27, 2016 BY CHICAGO TITLE COMPANY, ONLY THE FOLLOWING

MATTERS OF RECORD AFFECT THE HEREIN DESCRIBED SUBJECT PROPERTY:

ITEM 1 — Water rights, claims or title to water, whether or not disclosed

- 1. BOUNDARY LINES SHOWN HEREON WERE ESTABLISHED FROM PUBLIC AND/OR PRIVATE SURVEY MONUMENTS WHOSE CHARACTER AND SOURCÉ ARE SO NOTED HEREON. LOT LINES WERE ESTABLISHED AS SHOWN ON RECORD OF SURVEY HEREON.
- 2. THE AREA OF THE SUBJECT PROPERTY IS AS FOLLOWS: AREA = 19,185 SQ. FT. GROSSAREA = 18,024 SQ. FT. NET(AREA IS BASED ON FIELD MEASUREMENTS)
- 3. THE SUBJECT PROPERTY IS ZONED AS FOLLOWS:
- 4. BUILDING SETBACK LINES NOT REQUIRED FOR COMMERCIAL USE.

(NET AREA = GROSS AREA LESS STREET DEDICATIONS)

M2-2D (LIGHT MANUFACTURING)

PROJECT BENCHMARK:

P/L LINE OF 8TH STREET/

ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) PER THE CITY OF LOS ANGELES YEAR 2000 ADJUSTMENT.

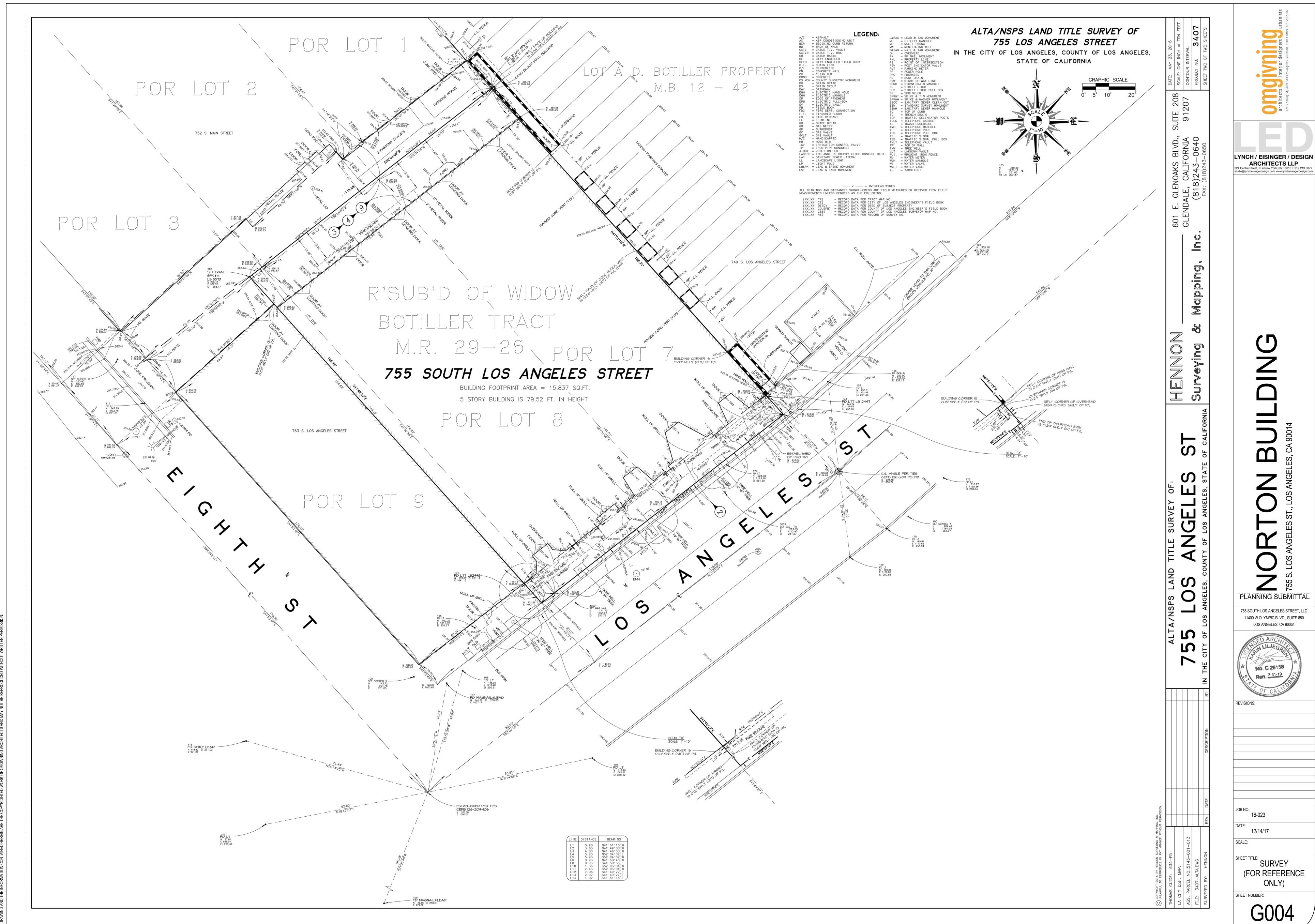
LA CITY BM 12-06089 ELEV.=253.483 FT. NAVD88 YEAR 2000 WIRE SPIKE IN WEST CURB MAIN STREET, 30 FT. SOUTH OF SOUTH

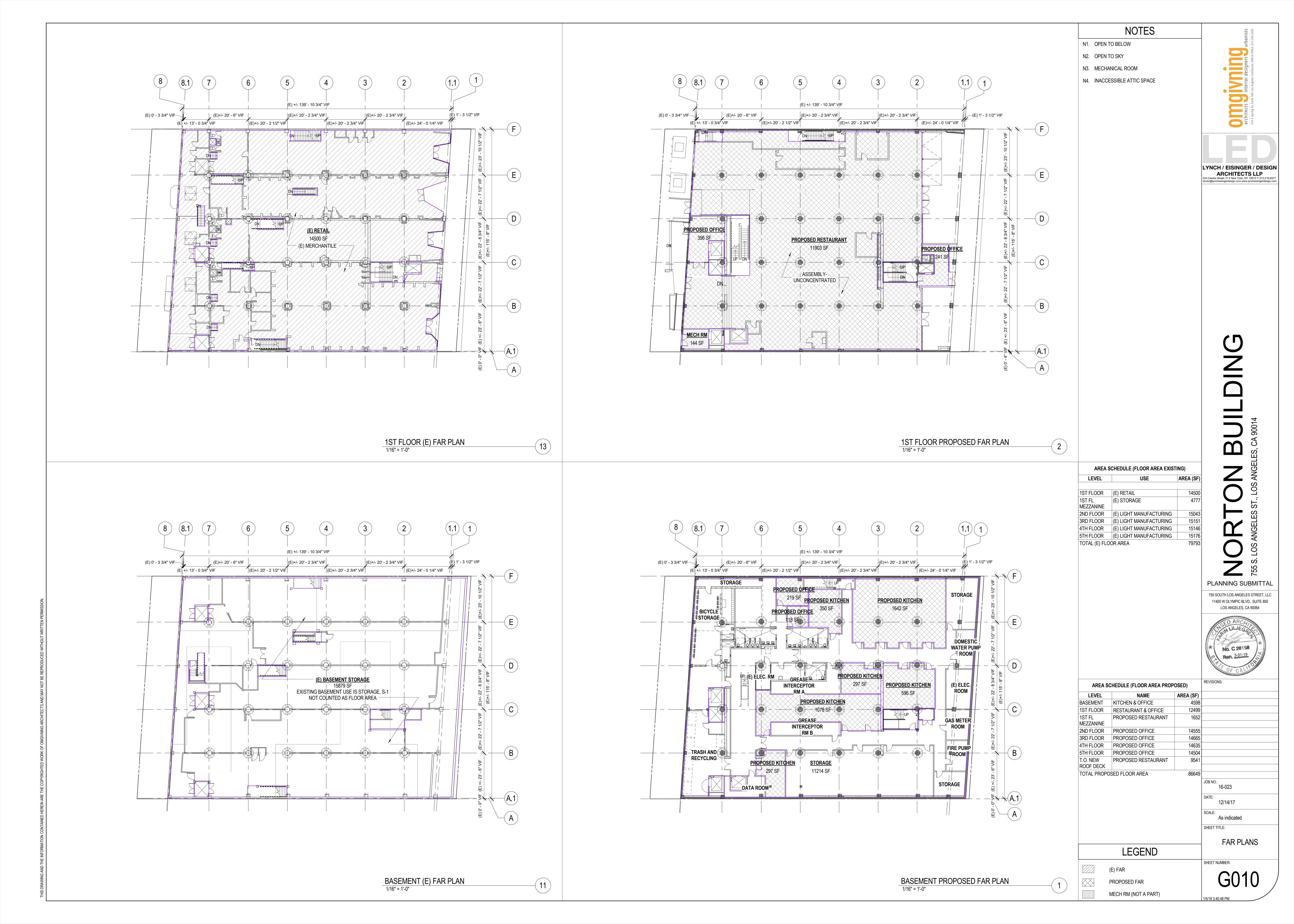
ANY USER OF ELEVATIONS AND/OR COORDINATES SHOWN HEREON FOR THE CONTROL OF CONSTRUCTION, SHALL VERIFY AT LEAST 3 POINTS SHOWN HEREON, FOR MATHEMATICAL CONSISTENCY PRIOR TO SUCH USE. BASIS OF BEARINGS: THE BEARING OF N48'32'07"E ALONG THE CENTERLINE

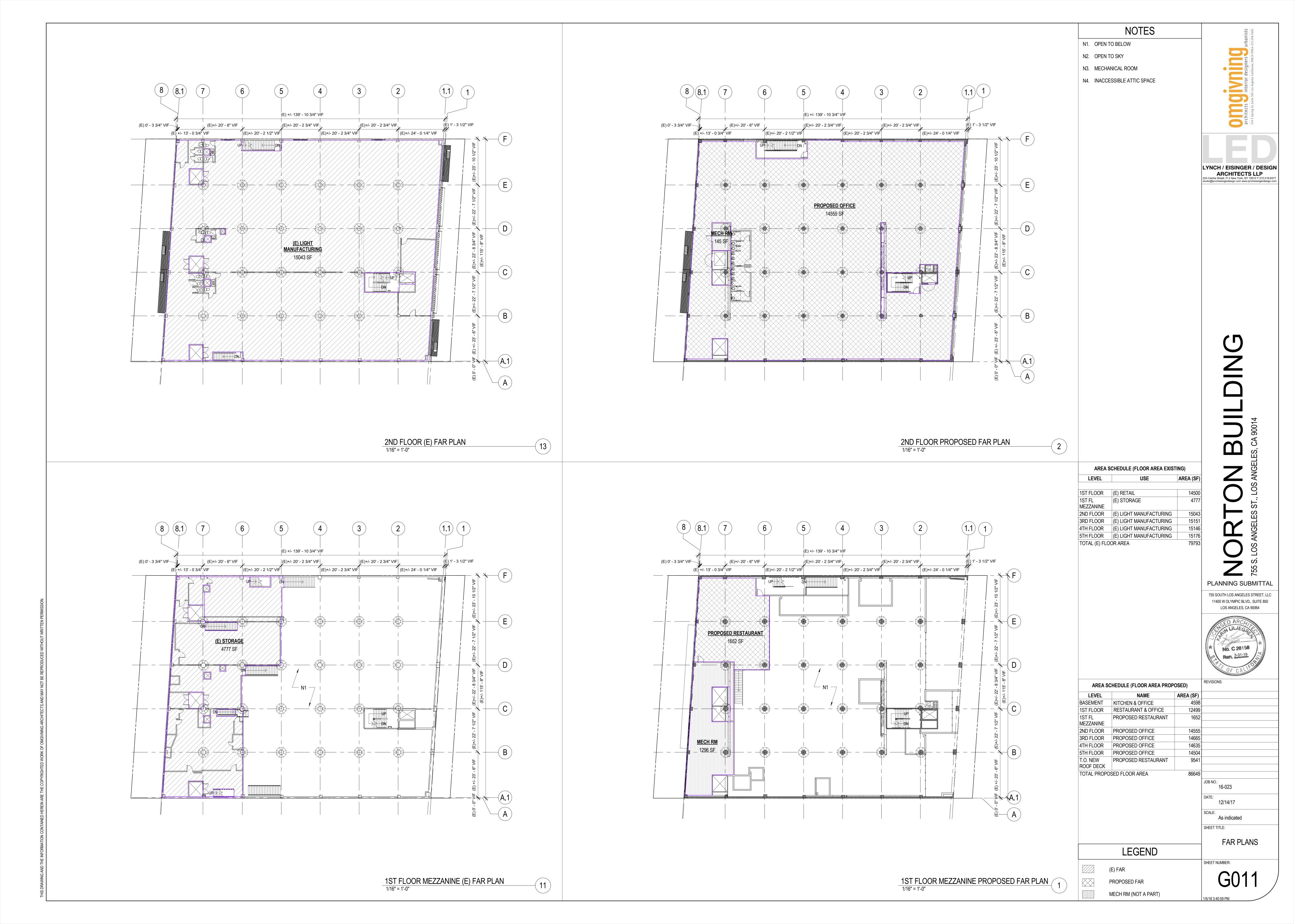
OF LOS ANGELES STREET AS SHOWN ON MAP OF TRACT NO. 67121, MB 1385-45/46, WAS ROTATED COUNTER-CLOCKWISE THROUGH AN ANGLE OF 0°12'27" AND A RESULTANT BEARING OF N48'19'40"E AS THE BASIS OF BEARINGS OF THIS SURVEY.

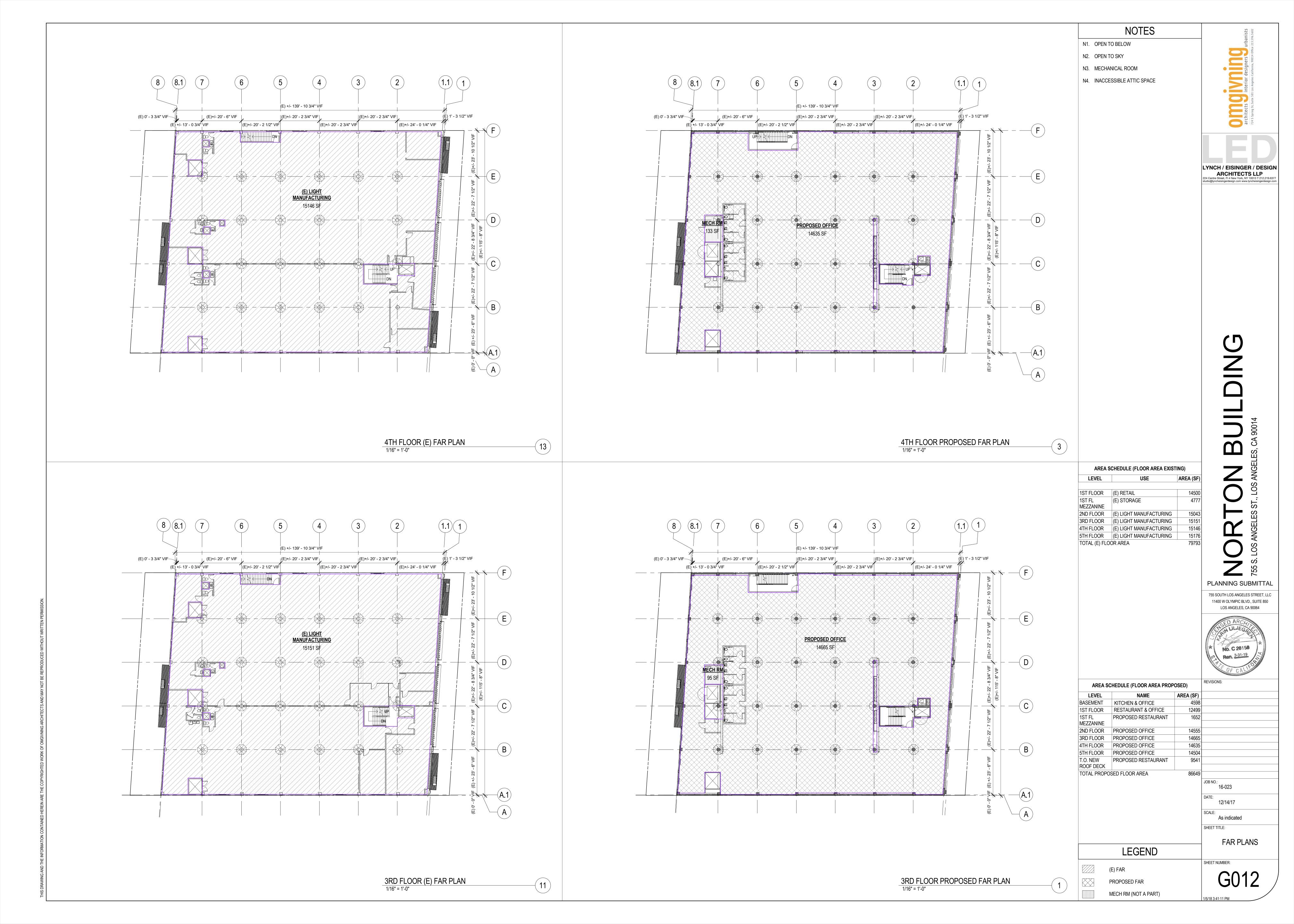
FLOOD ZONE:

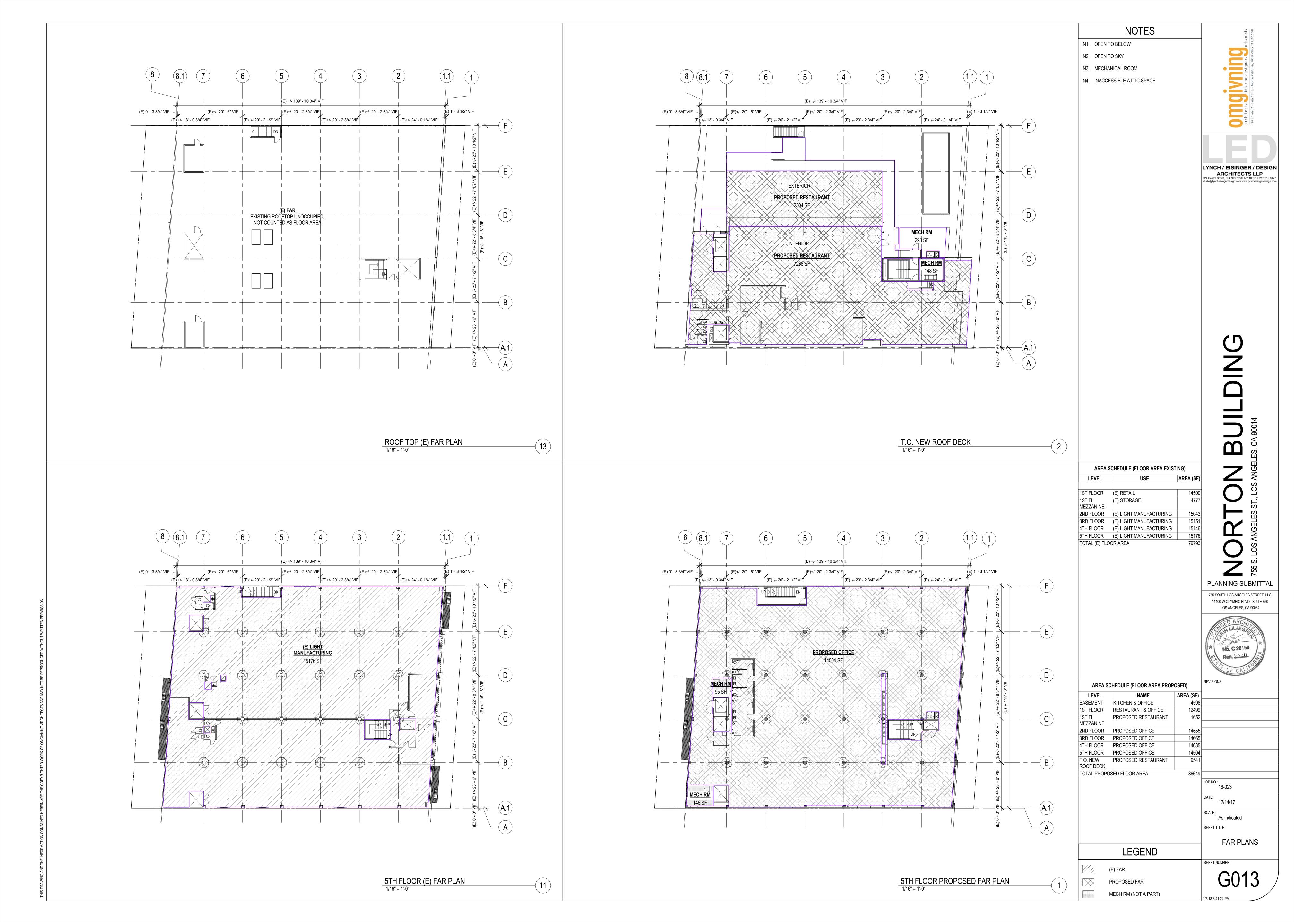
PER FEMA FLOOD INSURANCE RATE MAP NO. 06037C1620F EFFECTIVE 09/26/2008 THE SUBJECT PROPERTY IS IN FLOOD ZONE X (UNSHADED) WHICH IS OUTSIDE THE 0.2% ANNUAL CHANCE (500 YEAR) FLOOD PLAIN.

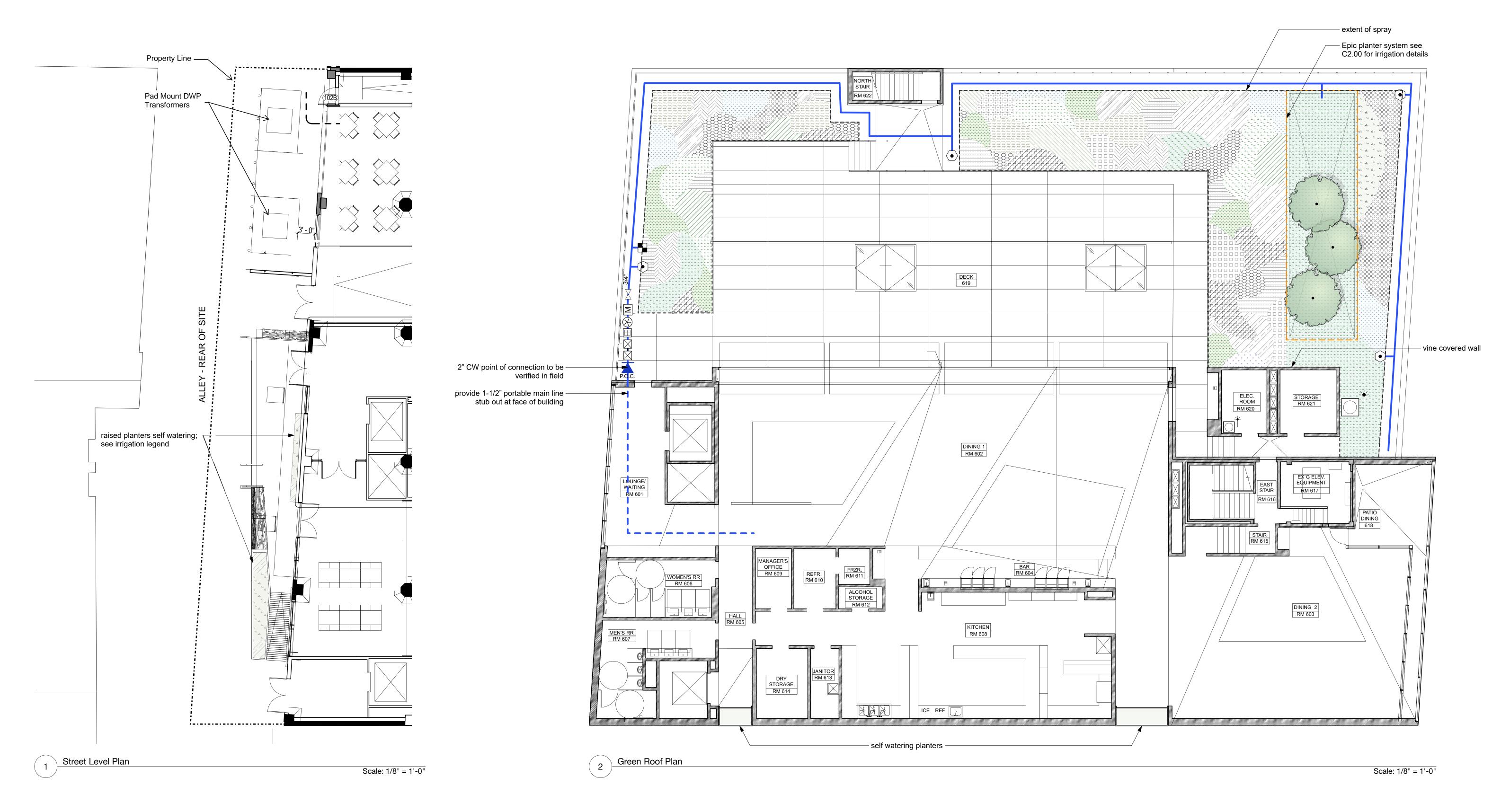












Festuca mairei

vines
Parthenocissus henryana

Muhlenbergia emersleyi

Symbol	Botanical Name	Common Name	Size	Spacing (on center)	Qty (approxima
large shr	ub				
	Arctostaphylos glauca	Big Berry Manzanita	15 gal or 24" box	placed in field	3
shrubs					
	Aster chilensis 'Purple Haze'	California Aster	1 gal	18"	55
	Lupinus albifrons	Silver Bush Lupine	1 gal	24"	30
	Sphaeralcea ambigua	Desert Mallow	1 gal	18"	80
perennial	s				
	Achillea 'Terracotta'	Terra Cotta Yarrow	1 gal	12"	190
	Asclepias speciosa	Showy Milkweed	1 gal	18"	50
	Dudleya brittoni	Giant Chalk Dudleya	1 gal	18"	65
	Epilobium canum	California Fuchsia	1 gal	24"	30
	Eriogonum grande var. rubescens	Red Flowering Buckwheat	1 gal	18"	50
	Hesperaloe parviflora	Red Yucca	1 gal	24"	50
-1-1-1-1 1-1-1-1-1 1-1-1-1-1	Lotus scoparius	Deerweed	1 gal	24"	10
	Monardella villosa	Coyote Mint	1 gal	12"	180
	Sidalcea hickmanii anomala	Checkerbloom	1 gal	12"	190
grasses					
	Aristida purpurea 'Chino Hills'	Purple Three Awn	1 gal	12"	200
a 14 mla 14 mla 14 m nda 141 mla 141 mla 1 n 15 mla 15 mla 15 m	Bouteloua gracilis	Blue Gramma Grass	1 gal	12"	200
الأمادا	Calamagrostis x acutiflora 'Karl Forester'	Feather Reed Grass	1 gal	24"	30

Bull Grass

Silver Vein Creeper

irrigation legend

irrigation	
symbol.	equipment
P.O.C.	point of connection
	new main line
\boxtimes - \boxtimes	backflow preventer and pressure regulator; Febco 1"
	master valve
•	Rainbird 3-RC 3/4" quick coupler
	irrigation controller and weather sensor; Hunter IC-600-PL W/ Solar Sunc WSS-SEN
	Hunter ICV-101G-FS spray valve
\otimes	flow sensor; Hunter Flow-Clik W/ FCT
M	sub meter
\bowtie	ball valve
[]	extent of spray irrigation
	extent of Epic Planter; see civil drawings
	self watering plant link system; The Chandler Company









PLANNING SUBMITTAL

755 SOUTH LOS ANGELES STREET, LLG 11400 W OLYMPIC BLVD., SUITE 850 LOS ANGELES, CA 90064

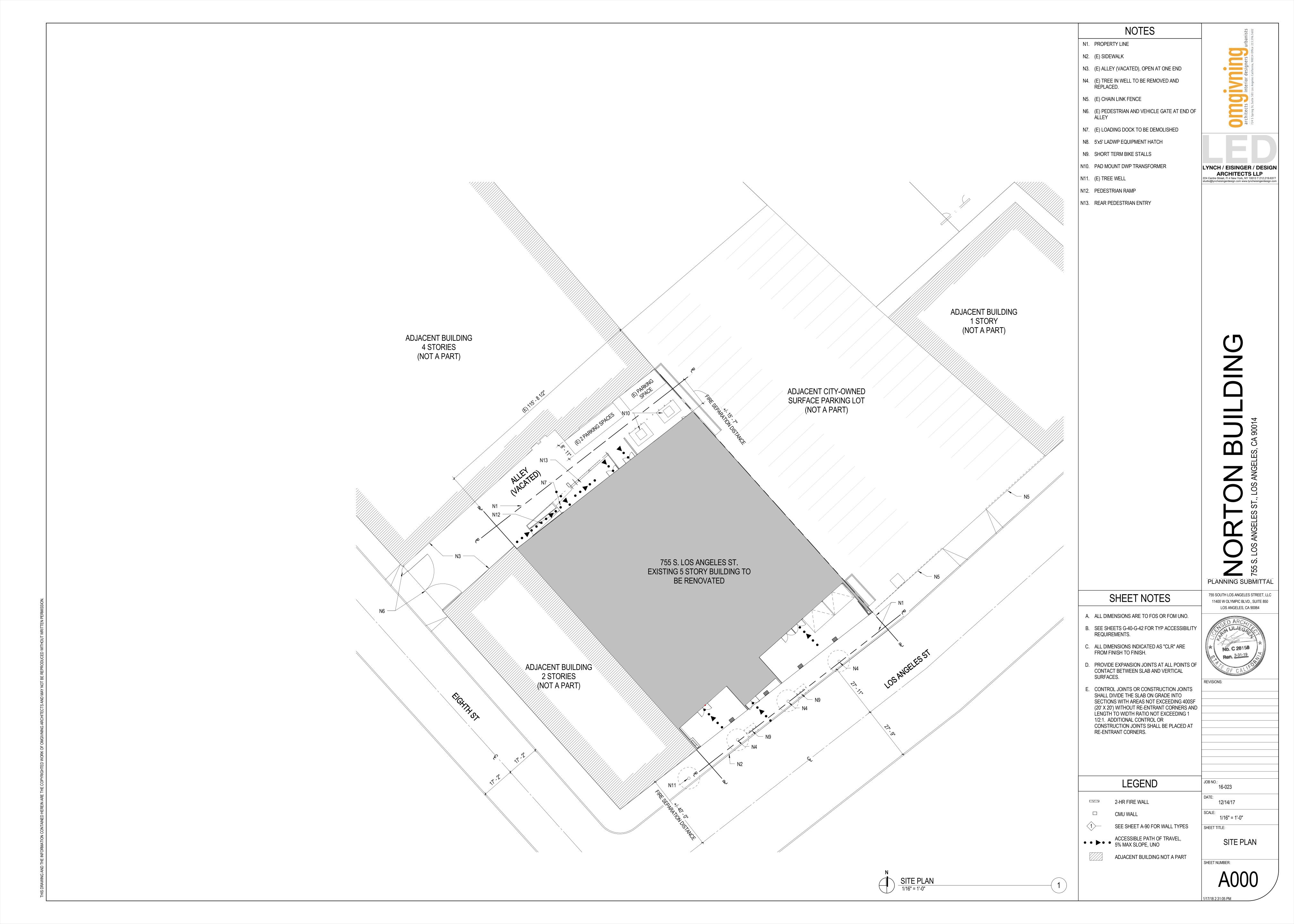


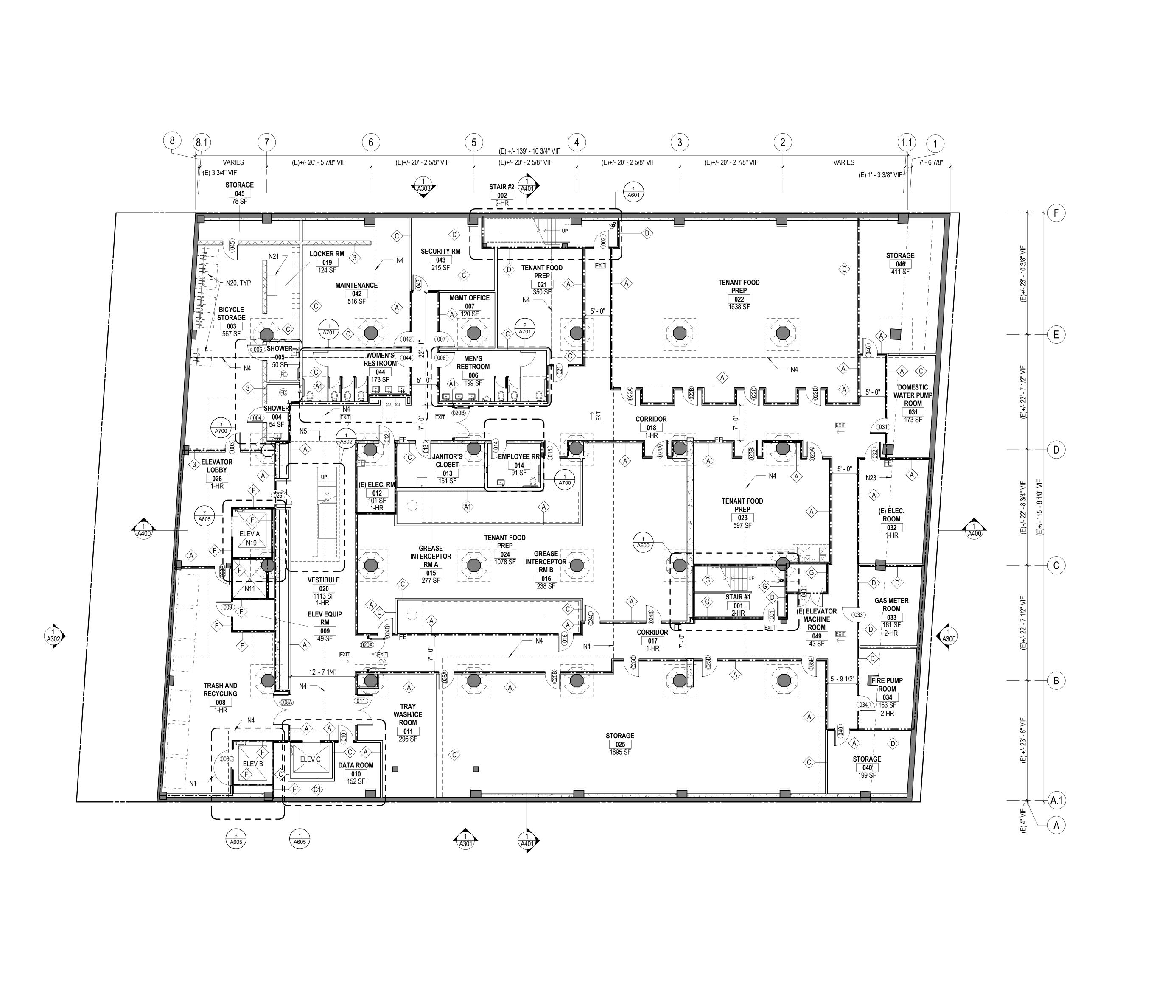
16-023 06.16.2017

1/8"=1'-0"

PLANTING PLAN

SHEET NUMBER:





- N1. RATED DOOR IN LIEU OF ELEVATOR LOBBY, SEE DOOR SCHEDULE
- N2. NON-RATED ALUMINUM STOREFRONT
- N3. (E) FIRE ESCAPE TO REMAIN, PTD N4. (N) SEISMIC FOOTINGS BELOW, SEE STRUCT
- N5. RETAIN (E) STAIR AND HANDRAIL
- N6. (N) STAIR EGRESS GATE
- N7. GALVANIZED STL MECH LOUVER
- N8. 42" HIGH GUARDRAIL, SEE 3 / A604
- N9. (E) STL & GLASS OPERABLE EGRESS WINDOW,
- N10. 42" HIGH WINDOW GUARDRAIL, SEE 1 / A980
- N11. 2-HR RATED MECH SHAFT, SEE MECH
- N12. OPEN TO BELOW
- N13. STL AWNING ABOVE, PTD. CLR OF FIRE ESCAPE LADDER. CONFIRM WIDTH OF CANOPY IN FIELD
- N14. (E) STL & GLASS WINDOW, PTD
- N15. EDGE OF FLOOR ABOVE
- N16. (E) SKYLIGHTS TO REMAIN
- N17. (E) ROOFING TO REMAIN,
- N18. (N) CONC TOPPING SLAB OVER (E) SLAB, SEE STRUCT

PATCH/REPAIR AS NEEDED

- N19. GURNEY COMPLIANT ELEVATOR, ACCESS TO ALL **FLOORS**
- N20. "DERO" WALL MOUNTED BICYCLE RACK
- N21. ACCESSIBLE LOCKER BENCH, TA-12
- N22. 2' X 6' SHORT-TERM BICYCLE PARKING
- N23. OUTSIDE FACE OF (E) BUILDING WALL ABOVE
- N24. OUTSIDE FACE OF (E) BASEMENT WALL BELOW

SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNO.
- B. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- C. SEE SHEETS G040-G042 FOR TYP ACCESSIBILITY
- REQUIREMENTS. D. ROOMS LABELED AS HAVING A FIRE RATING
- SHALL HAVE RATED WALL AND CEILING ASSEMBLIES.
- E. SEE SHT A970 FOR SOUND TRANSMISSION CONTROL DETAILS.
- F. SEE SHT A970 FOR TYP FIRESTOPPING DETAILS.
- G. SEE SHEET A810 & A811 FOR MATERIAL, FINISH 8 EQUIPMENT SCHEDULE.
- H. SEE A903 & A904 FOR TYP FRAMING DETAILS.
- I. SEE A800 FOR DOOR SCHEDULE.
- J. SEE A901 FOR WALL ASSEMBLIES.

LEGEND

1-HR FIRE WALL 2-HR RATED WALL

(E) WALL / COLUMN

(N) WALL

SEE SHT A901.1 FOR WALL TYPES

30" X 48" CLEAR SPACE

FIRE EXTINGUISHER, RECESSED

•••• ACCESSIBLE PATH OF TRAVEL, 5% MAX JOB NO.: SLOPE, UNO □□□□ FUTURE BULDING ELEMENT N.I.C./ NOT A PART

SD SMOKE DETECTOR

STANDPIPE RISER. SEE FP DRAWINGS EXISTING, NOT A PART

FD ROOF DRAIN

OD OVERFLOW DRAIN

PLAN SHEET NUMBER: A100

BASEMENT FLOOR

12/14/17

1/8" = 1'-0"



PLANNING SUBMITTAL 755 SOUTH LOS ANGELES STREET, LLC 11400 W OLYMPIC BLVD., SUITE 850

LOS ANGELES, CA 90064

No. C 28158

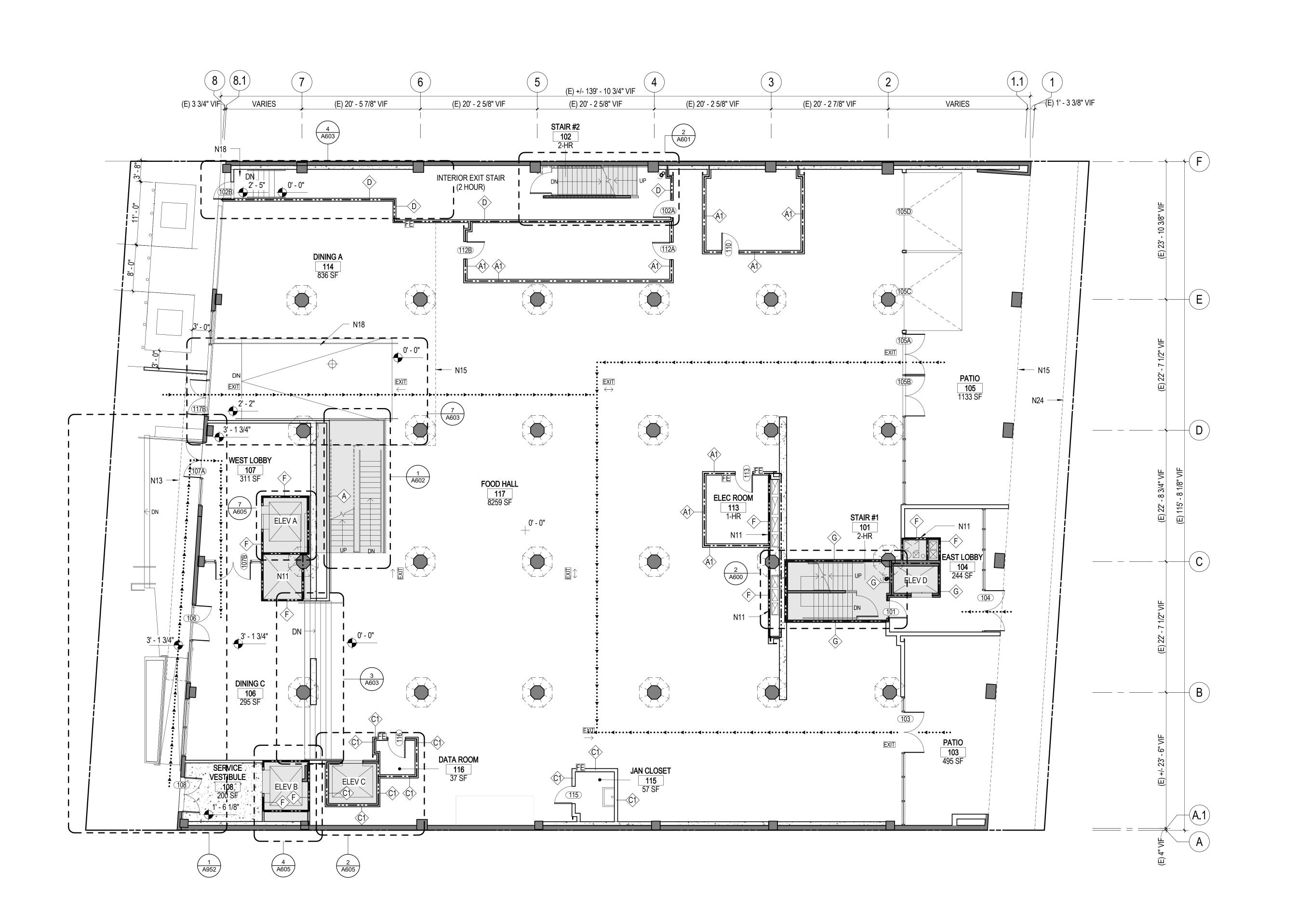
REVISIONS:

Imaginerior designers du

arcl

YNCH / EISINGER / DESIGN

ARCHITECTS LLP 4 Centre Street, FI 4 New York, NY 10013 T 212.219.637 udio@lyncheisingerdesign.com www.lyncheisingerdesign.co



- N1. RATED DOOR IN LIEU OF ELEVATOR LOBBY, SEE DOOR SCHEDULE
- N2. NON-RATED ALUMINUM STOREFRONT
 -
- N3. (E) FIRE ESCAPE TO REMAIN, PTD
- N4. (N) SEISMIC FOOTINGS BELOW, SEE STRUCT
- N5. RETAIN (E) STAIR AND HANDRAIL
- N6. (N) STAIR EGRESS GATE
- N7. GALVANIZED STL MECH LOUVER
- N8. 42" HIGH GUARDRAIL, SEE 3 / A604
- N9. (E) STL & GLASS OPERABLE EGRESS WINDOW, PTD
- N10. 42" HIGH WINDOW GUARDRAIL, SEE 1 / A980
- N11. 2-HR RATED MECH SHAFT, SEE MECH
- N12. OPEN TO BELOW
- N13. STL AWNING ABOVE, PTD. CLR OF FIRE ESCAPE LADDER. CONFIRM WIDTH OF CANOPY IN FIELD
- N14. (E) STL & GLASS WINDOW, PTD
- N15. EDGE OF FLOOR ABOVE
- N16. (E) SKYLIGHTS TO REMAIN
- N17. (E) ROOFING TO REMAIN, PATCH/REPAIR AS NEEDED
- N18. (N) CONC TOPPING SLAB OVER (E) SLAB, SEE STRUCT
- N19. GURNEY COMPLIANT ELEVATOR, ACCESS TO ALL FLOORS
- N20. "DERO" WALL MOUNTED BICYCLE RACK
- N21. ACCESSIBLE LOCKER BENCH, TA-12
- N22. NOT USED
- N23. OUTSIDE FACE OF (E) BUILDING WALL ABOVE
- N24. OUTSIDE FACE OF (E) BASEMENT WALL BELOW
- N25. WATER CURTAIN

SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNO.
- B. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- C. SEE SHEETS G040-G042 FOR TYP ACCESSIBILITY REQUIREMENTS.
- D. ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL AND CEILING ASSEMBLIES.
- E. SEE SHT A970 FOR SOUND TRANSMISSION CONTROL DETAILS.
- F. SEE SHT A970 FOR TYP FIRESTOPPING DETAILS.
- G. SEE A903 & A904 FOR TYP FRAMING DETAILS.
- H. SEE A800 FOR DOOR SCHEDULE.
- I. SEE A901 FOR WALL ASSEMBLIES.
- J. NONABSORBANT INTERIOR FLOOR AND WALL FINISHED WITHIN AT MINIMUM 2 FEET AROUND AND PERPENDICULAR TO EXTERIOR ENTRIES AND/OR OPENINGS SUBJECT TO FOOT TRAFFIC. SEE MATERIAL AND FINISH SCHEDULE A810, A811 FOR FLOOR FINISH.

LEGEND

33

REVISIONS:

1-HR FIRE WALL
2-HR RATED WALL

(E) WALL / COLUMN

(N) WALL

SEE SHT A901.1 FOR WALL TYPES

30" X 48" CLEAR SPACE

⊚ (E) WATER CURTAINFE FIRE EXTINGUISHER, RECESSED

ACCESSIBLE PATH OF TRAVEL, 5% MAX SLOPE, UNO 1

FUTURE BULDING ELEMENT N.I.C./ NOT A PART

SD SMOKE DETECTOR

SMOKE DETECTOR

STANDPIPE RISER. SEE FP DRAWINGS

EXISTING, NOT A PART

© ROOF DRAIN

©D OVERFLOW DRAIN

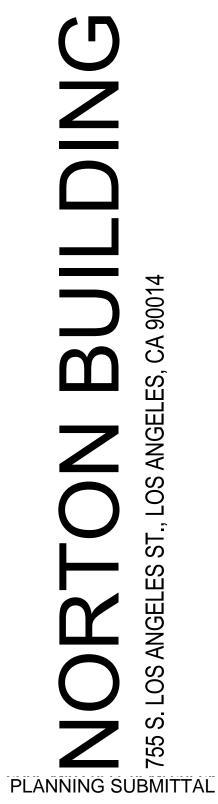
SHEET NUMBER:
A101

1/8" = 1'-0"

1ST FLOOR PLAN

TN 1ST FLOOR PLAN

1/8" = 1'-0"



755 SOUTH LOS ANGELES STREET, LLC

11400 W OLYMPIC BLVD., SUITE 850

LOS ANGELES, CA 90064

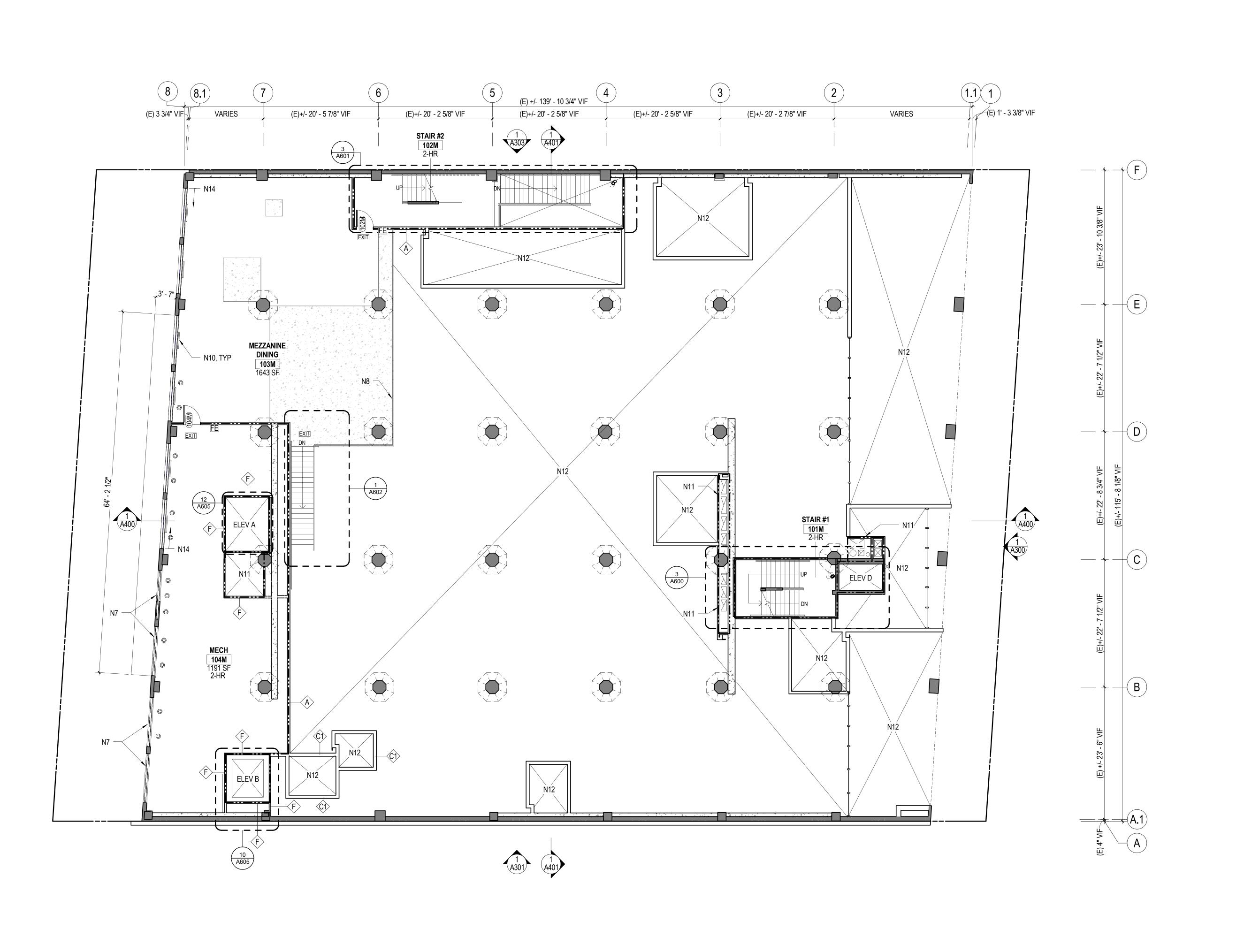
architects interior designers un

YNCH / EISINGER / DESIGN

ARCHITECTS LLP

24 Centre Street, Fl 4 New York, NY 10013 T 212.219.6377

udio@lyncheisingerdesign.com www.lyncheisingerdesign.com



- N1. RATED DOOR IN LIEU OF ELEVATOR LOBBY, SEE DOOR SCHEDULE
- N2. NON-RATED ALUMINUM STOREFRONT
 - (E) EIDE EOG ADE EO DE MAIN, DED
- N3. (E) FIRE ESCAPE TO REMAIN, PTD
- N4. (N) SEISMIC FOOTINGS BELOW, SEE STRUCT
- N5. RETAIN (E) STAIR AND HANDRAIL
- N6. (N) STAIR EGRESS GATE
- N7. GALVANIZED STL MECH LOUVER
- N8. 42" HIGH GUARDRAIL, SEE 3 / A604
- N9. (E) STL & GLASS OPERABLE EGRESS WINDOW,
- N10. 42" HIGH WINDOW GUARDRAIL,
- SEE 1 / A980
- N11. 2-HR RATED MECH SHAFT, SEE MECH
- N12. OPEN TO BELOW
- N13. STL AWNING ABOVE, PTD. CLR OF FIRE ESCAPE LADDER. CONFIRM WIDTH OF CANOPY IN FIELD
- N14. (E) STL & GLASS WINDOW, PTD
- N15. EDGE OF FLOOR ABOVE
- N16. (E) SKYLIGHTS TO REMAIN
- N17. (E) ROOFING TO REMAIN, PATCH/REPAIR AS NEEDED
- N18. (N) CONC TOPPING SLAB OVER (E) SLAB, SEE STRUCT
- N19. GURNEY COMPLIANT ELEVATOR, ACCESS TO ALL FLOORS
- N20. "DERO" WALL MOUNTED BICYCLE RACK
- N21. ACCESSIBLE LOCKER BENCH, TA-12
- N22. 2' X 6' SHORT-TERM BICYCLE PARKING
- N23. OUTSIDE FACE OF (E) BUILDING WALL ABOVE
- N24. OUTSIDE FACE OF (E) BASEMENT WALL BELOW

SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNO.
- B. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- C. SEE SHEETS G040-G042 FOR TYP ACCESSIBILITY REQUIREMENTS.
- D. ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL AND CEILING
- ASSEMBLIES.

 E. SEE SHT A970 FOR SOUND TRANSMISSION
- CONTROL DETAILS.

 F. SEE SHT A970 FOR TYP FIRESTOPPING DETAILS.
- G. SEE SHEET A810 & A811 FOR MATERIAL, FINISH & EQUIPMENT SCHEDULE.
- H. SEE A903 & A904 FOR TYP FRAMING DETAILS.
- I. SEE A800 FOR DOOR SCHEDULE.
- J. SEE A901 FOR WALL ASSEMBLIES.

LEGEND

1-HR FIRE WALL

2-HR RATED WALL

(E) WALL / COLUMN
(N) WALL

SEE SHT A901.1 FOR WALL TYPES

© (E) WATER CURTAIN

FIRE EXTINGUISHER, RECESSED

30" X 48" CLEAR SPACE

ACCESSIBLE PATH OF TRAVEL, 5% MAX JOB NO.: 1

FUTURE BULDING ELEMENT N.I.C./ NOT A PART

SD SMOKE DETECTOR

STANDPIPE RISER. SEE FP DRAWINGS

EXISTING, NOT A PART

FD ROOF DRAIN

© OVERFLOW DRAIN

MEZZANINE PLAN

SHEET NUMBER:

A101M

1ST FLOOR

12/14/17

1/8" = 1'-0"

1ST FLOOR MEZZANINE PLAN
1/8" = 1'-0"

SAME BOLLOIN

TO SANGELES, CA 90014

The same state of the same st

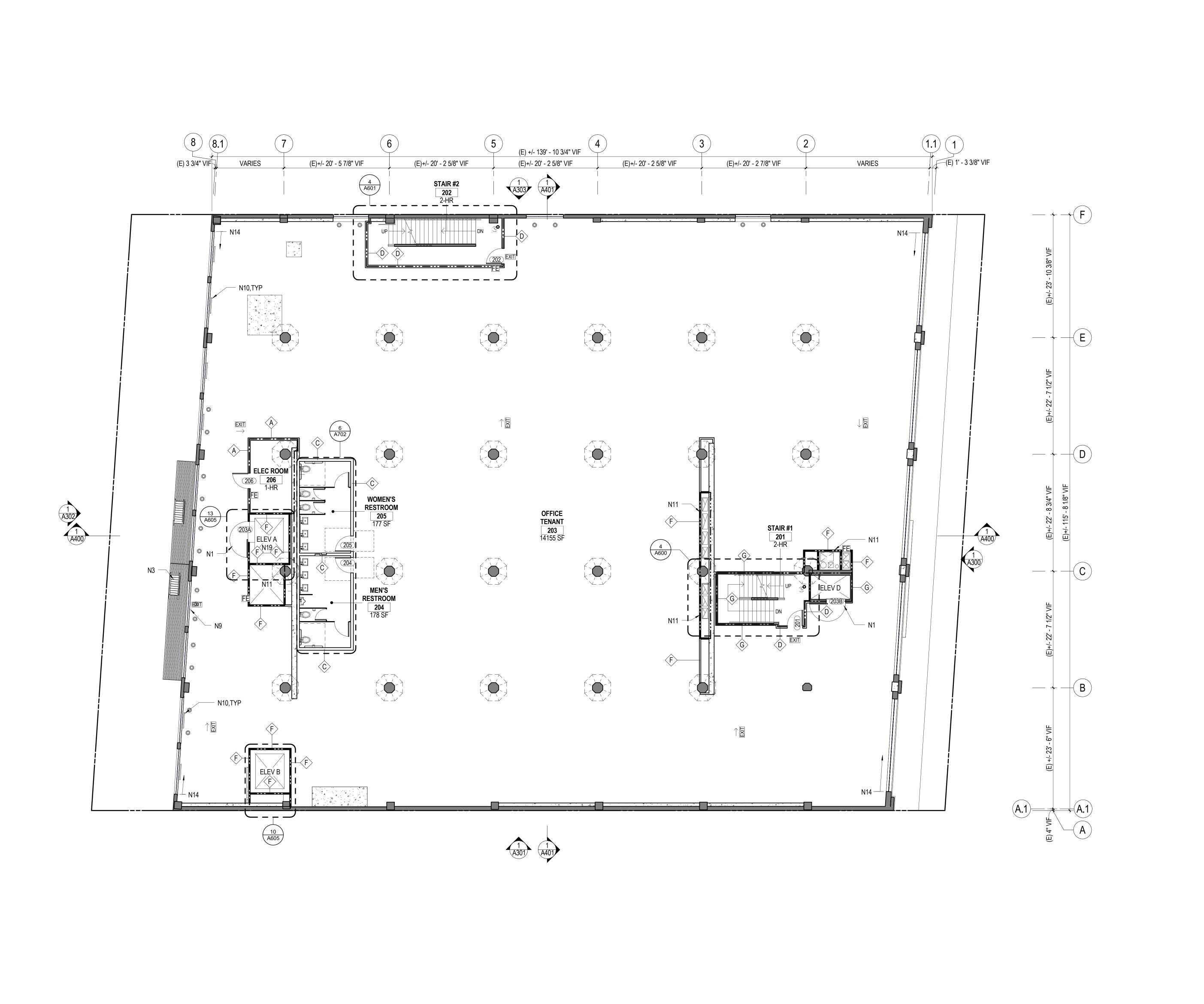
755 SOUTH LOS ANGELES STREET, LLC

11400 W OLYMPIC BLVD., SUITE 850 LOS ANGELES, CA 90064

architects interior designers un

YNCH / EISINGER / DESIGN

ARCHITECTS LLP
24 Centre Street, FI 4 New York, NY 10013 T 212.219.6377
udio@lyncheisingerdesign.com www.lyncheisingerdesign.com



- N1. RATED DOOR IN LIEU OF ELEVATOR LOBBY, SEE DOOR SCHEDULE
- N2. NON-RATED ALUMINUM STOREFRONT
- N3. (E) FIRE ESCAPE TO REMAIN, PTD
- N4. (N) SEISMIC FOOTINGS BELOW, SEE STRUCT
- N5. RETAIN (E) STAIR AND HANDRAIL
- N6. (N) STAIR EGRESS GATE
- N7. GALVANIZED STL MECH LOUVER
- N8. 42" HIGH GUARDRAIL, SEE 3 / A604
- N9. (E) STL & GLASS OPERABLE EGRESS WINDOW,
- N10. 42" HIGH WINDOW GUARDRAIL, SEE 1 / A980
- N11. 2-HR RATED MECH SHAFT, SEE MECH
- N12. OPEN TO BELOW
- N13. STL AWNING ABOVE, PTD. CLR OF FIRE ESCAPE LADDER. CONFIRM WIDTH OF CANOPY IN FIELD
- N14. (E) STL & GLASS WINDOW, PTD
- N15. EDGE OF FLOOR ABOVE
- N16. (E) SKYLIGHTS TO REMAIN
- N17. (E) ROOFING TO REMAIN, PÁTCH/REPAIR AS NEEDED
- SEE STRUCT

N18. (N) CONC TOPPING SLAB OVER (E) SLAB,

- N19. GURNEY COMPLIANT ELEVATOR, ACCESS TO ALL **FLOORS**
- N20. "DERO" WALL MOUNTED BICYCLE RACK
- N21. ACCESSIBLE LOCKER BENCH, TA-12
- N22. 2' X 6' SHORT-TERM BICYCLE PARKING
- N23. OUTSIDE FACE OF (E) BUILDING WALL ABOVE
- N24. OUTSIDE FACE OF (E) BASEMENT WALL BELOW

SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNO.
- B. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- C. SEE SHEETS G040-G042 FOR TYP ACCESSIBILITY REQUIREMENTS.
- D. ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL AND CEILING
- ASSEMBLIES.
- E. SEE SHT A970 FOR SOUND TRANSMISSION CONTROL DETAILS.
- F. SEE SHT A970 FOR TYP FIRESTOPPING DETAILS.
- G. SEE SHEET A810 & A811 FOR MATERIAL, FINISH & EQUIPMENT SCHEDULE.
- H. SEE A903 & A904 FOR TYP FRAMING DETAILS.
- I. SEE A800 FOR DOOR SCHEDULE.
- J. SEE A901 FOR WALL ASSEMBLIES.

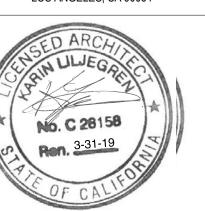
architects interior designers un

YNCH / EISINGER / DESIGN

ARCHITECTS LLP
24 Centre Street, FI 4 New York, NY 10013 T 212.219.6377
udio@lyncheisingerdesign.com www.lyncheisingerdesign.com

PLANNING SUBMITTAL

755 SOUTH LOS ANGELES STREET, LLC 11400 W OLYMPIC BLVD., SUITE 850 LOS ANGELES, CA 90064



LEGEND

2-HR RATED WALL

=-= 1-HR FIRE WALL

(E) WALL / COLUMN

(N) WALL SEE SHT A901.1 FOR WALL TYPES

30" X 48" CLEAR SPACE

FE FIRE EXTINGUISHER, RECESSED

ACCESSIBLE PATH OF TRAVEL, 5% MAX SLOPE, UNO JOB NO.:

FUTURE BULDING ELEMENT N.I.C./ NOT A PART

SD SMOKE DETECTOR

STANDPIPE RISER. SEE FP DRAWINGS

EXISTING, NOT A PART FD ROOF DRAIN

OD OVERFLOW DRAIN

SHEET NUMBER: A102

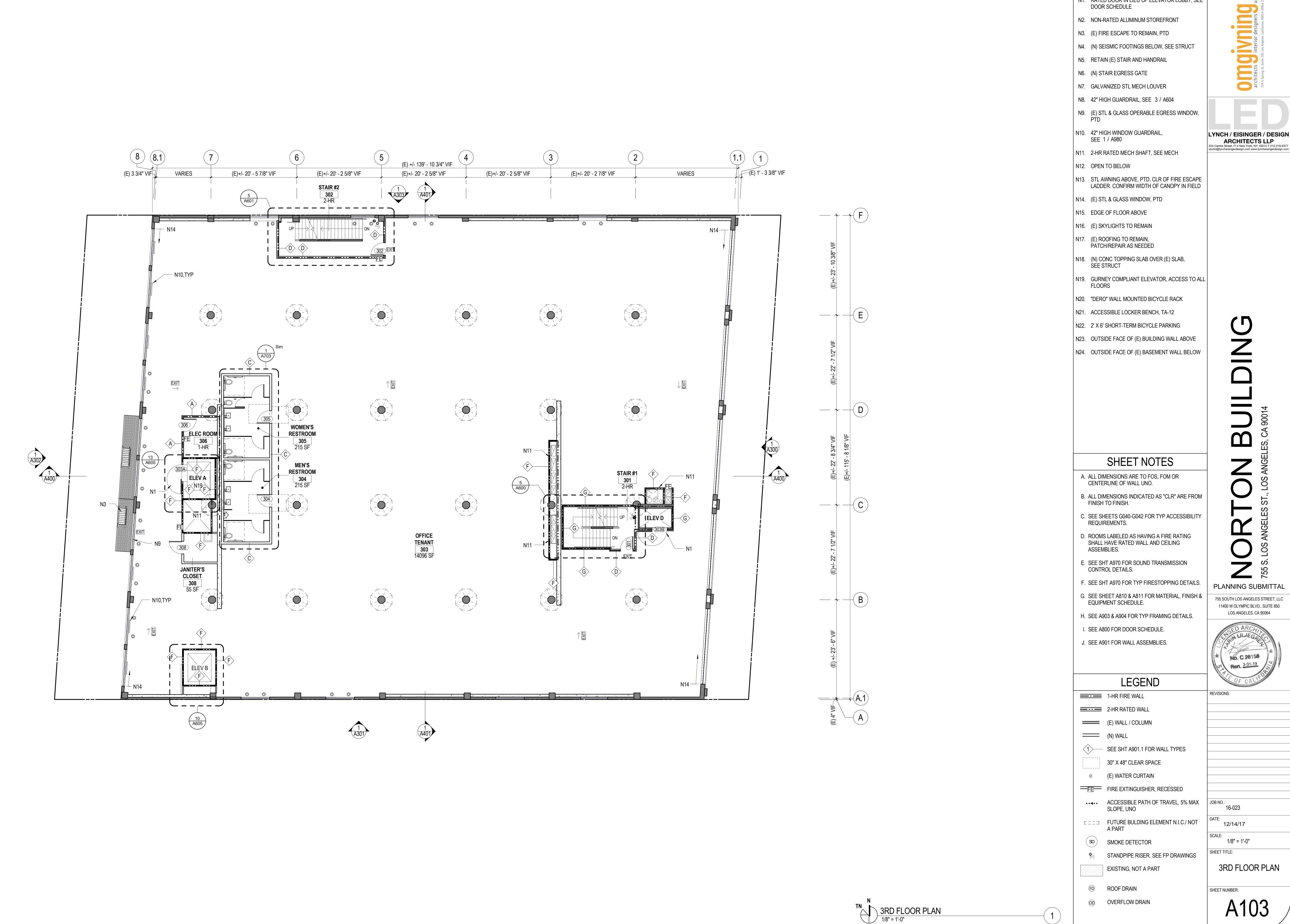
2ND FLOOR PLAN

12/14/17

1/8" = 1'-0"

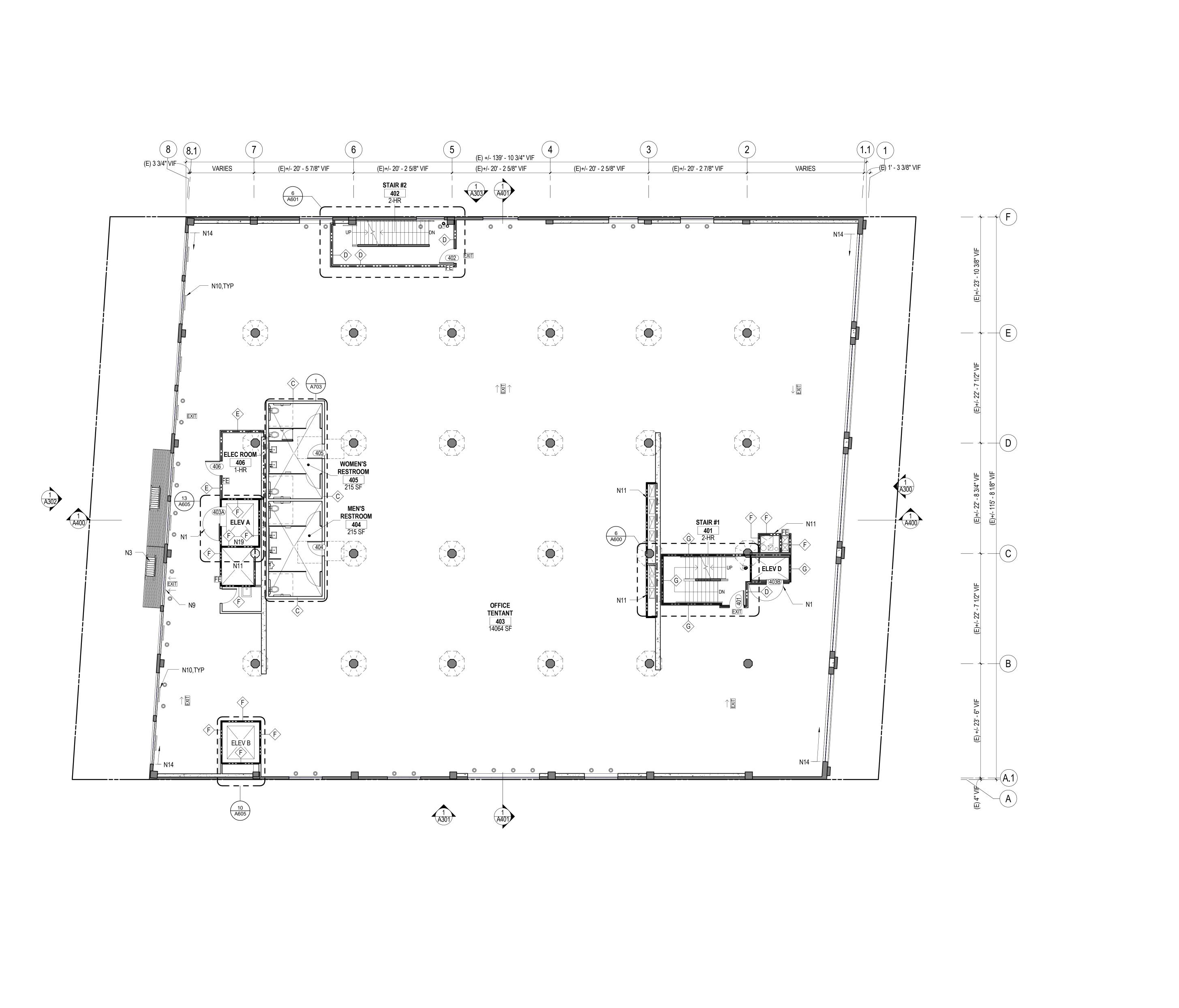
2ND FLOOR PLAN

1/8" = 1'-0"



- N1. RATED DOOR IN LIEU OF ELEVATOR LOBBY, SEE DOOR SCHEDULE
- N2. NON-RATED ALUMINUM STOREFRONT

A103



- N1. RATED DOOR IN LIEU OF ELEVATOR LOBBY, SEE DOOR SCHEDULE
- N2. NON-RATED ALUMINUM STOREFRONT

architects interior designers un

YNCH / EISINGER / DESIGN

ARCHITECTS LLP
24 Centre Street, FI 4 New York, NY 10013 T 212.219.6377
udio@lyncheisingerdesign.com www.lyncheisingerdesign.com

- N3. (E) FIRE ESCAPE TO REMAIN, PTD
- N4. (N) SEISMIC FOOTINGS BELOW, SEE STRUCT
- N5. RETAIN (E) STAIR AND HANDRAIL
- N6. (N) STAIR EGRESS GATE
- N7. GALVANIZED STL MECH LOUVER
- N8. 42" HIGH GUARDRAIL, SEE 3 / A604
- N9. (E) STL & GLASS OPERABLE EGRESS WINDOW, PTD
- N10. 42" HIGH WINDOW GUARDRAIL, SEE 1 / A980
- N11. 2-HR RATED MECH SHAFT, SEE MECH
- N12. OPEN TO BELOW
- N13. STL AWNING ABOVE, PTD. CLR OF FIRE ESCAPE LADDER. CONFIRM WIDTH OF CANOPY IN FIELD
- N14. (E) STL & GLASS WINDOW, PTD
- N15. EDGE OF FLOOR ABOVE
- N16. (E) SKYLIGHTS TO REMAIN
- N17. (E) ROOFING TO REMAIN, PATCH/REPAIR AS NEEDED
- N19. GURNEY COMPLIANT ELEVATOR, ACCESS TO ALL

N18. (N) CONC TOPPING SLAB OVER (E) SLAB,

- FLOORS
- N20. "DERO" WALL MOUNTED BICYCLE RACK
- N21. ACCESSIBLE LOCKER BENCH, TA-12
- N22. 2' X 6' SHORT-TERM BICYCLE PARKING

 N23. OUTSIDE FACE OF (E) BUILDING WALL ABOVE
- N24. OUTSIDE FACE OF (E) BASEMENT WALL BELOW

SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNO.
- B. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- C. SEE SHEETS G040-G042 FOR TYP ACCESSIBILITY REQUIREMENTS.
- D. ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL AND CEILING
- ASSEMBLIES.
- E. SEE SHT A970 FOR SOUND TRANSMISSION CONTROL DETAILS.
- F. SEE SHT A970 FOR TYP FIRESTOPPING DETAILS.G. SEE SHEET A810 & A811 FOR MATERIAL, FINISH & EQUIPMENT SCHEDULE.
- H. SEE A903 & A904 FOR TYP FRAMING DETAILS.
- I. SEE A800 FOR DOOR SCHEDULE.J. SEE A901 FOR WALL ASSEMBLIES.

LEGEND

1-HR FIRE WALL

2-HR RATED WALL

(E) WALL / COLUMN
(N) WALL

SEE SHT A901.1 FOR WALL TYPES

30" X 48" CLEAR SPACE

⊚ (E) WATER CURTAIN

FIRE EXTINGUISHER, RECESSED

ACCESSIBLE PATH OF TRAVEL, 5% MAX SLOPE, UNO

FUTURE BULDING ELEMENT N.I.C./ NOT A PART

ACCESSIBLE PATH OF TRAVEL, 5% MAX JOB NO.:

10

DATE:

12

SD SMOKE DETECTOR

% STANDPIPE RISER. SEE FP DRAWINGS

EXISTING, NOT A PART

FD ROOF DRAIN

OD OVERFLOW DRAIN

SHEET NUMBER:

A104

4TH FLOOR PLAN

12/14/17

1/8" = 1'-0"

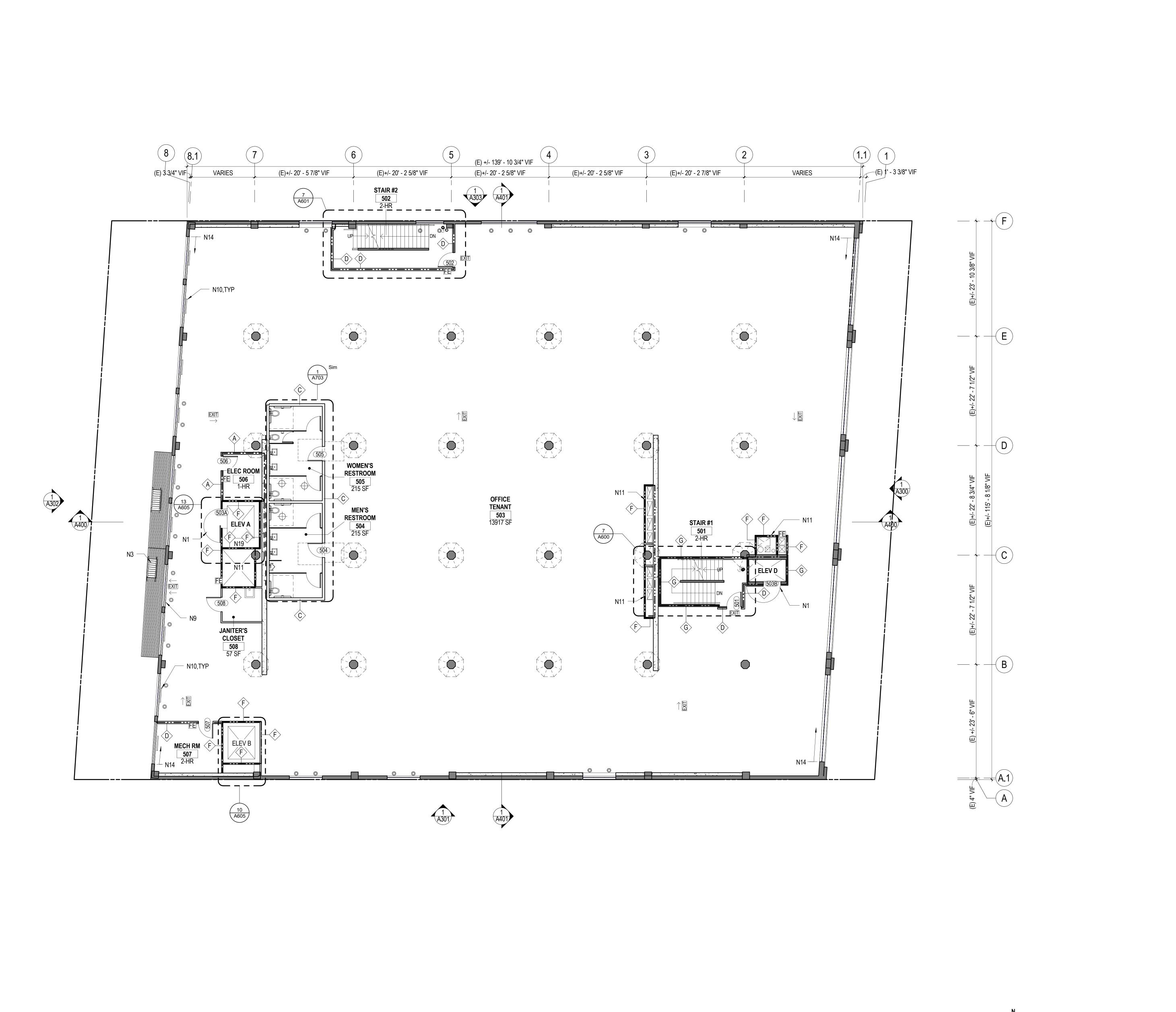
PLANNING SUBMITTAL

755 SOUTH LOS ANGELES STREET, LLC

11400 W OLYMPIC BLVD., SUITE 850 LOS ANGELES, CA 90064

TN 4TH FLOOR PLAN

1/8" = 1'-0"



- N1. RATED DOOR IN LIEU OF ELEVATOR LOBBY, SEE DOOR SCHEDULE
- N2. NON-RATED ALUMINUM STOREFRONT
- N3. (E) FIRE ESCAPE TO REMAIN, PTD

architects interior designers un

YNCH / EISINGER / DESIGN

ARCHITECTS LLP
24 Centre Street, FI 4 New York, NY 10013 T 212.219.6377
udio@lyncheisingerdesign.com www.lyncheisingerdesign.com

- N4. (N) SEISMIC FOOTINGS BELOW, SEE STRUCT
- N5. RETAIN (E) STAIR AND HANDRAIL
- N6. (N) STAIR EGRESS GATE
- N7. GALVANIZED STL MECH LOUVER
- N8. 42" HIGH GUARDRAIL, SEE 3 / A604
- N9. (E) STL & GLASS OPERABLE EGRESS WINDOW,
- N10. 42" HIGH WINDOW GUARDRAIL, SEE 1 / A980
- N11. 2-HR RATED MECH SHAFT, SEE MECH
- N12. OPEN TO BELOW
- N13. STL AWNING ABOVE, PTD. CLR OF FIRE ESCAPE LADDER. CONFIRM WIDTH OF CANOPY IN FIELD
- N14. (E) STL & GLASS WINDOW, PTD
- N15. EDGE OF FLOOR ABOVE
- N16. (E) SKYLIGHTS TO REMAIN

SEE STRUCT

- N17. (E) ROOFING TO REMAIN, PATCH/REPAIR AS NEEDED
- N19. GURNEY COMPLIANT ELEVATOR, ACCESS TO ALL
- **FLOORS**
- N20. "DERO" WALL MOUNTED BICYCLE RACK

N18. (N) CONC TOPPING SLAB OVER (E) SLAB,

- N21. ACCESSIBLE LOCKER BENCH, TA-12
- N22. 2' X 6' SHORT-TERM BICYCLE PARKING N23. OUTSIDE FACE OF (E) BUILDING WALL ABOVE
- N24. OUTSIDE FACE OF (E) BASEMENT WALL BELOW

SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNO.
- B. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- C. SEE SHEETS G040-G042 FOR TYP ACCESSIBILITY REQUIREMENTS.
- D. ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL AND CEILING
- ASSEMBLIES. E. SEE SHT A970 FOR SOUND TRANSMISSION
- F. SEE SHT A970 FOR TYP FIRESTOPPING DETAILS.

CONTROL DETAILS.

- G. SEE SHEET A810 & A811 FOR MATERIAL, FINISH & EQUIPMENT SCHEDULE.
- H. SEE A903 & A904 FOR TYP FRAMING DETAILS.
- I. SEE A800 FOR DOOR SCHEDULE.
- J. SEE A901 FOR WALL ASSEMBLIES.

LEGEND

2-HR RATED WALL

1-HR FIRE WALL

(E) WALL / COLUMN

(N) WALL

SEE SHT A901.1 FOR WALL TYPES

30" X 48" CLEAR SPACE

FE FIRE EXTINGUISHER, RECESSED

ACCESSIBLE PATH OF TRAVEL, 5% MAX SLOPE, UNO JOB NO.:

FUTURE BULDING ELEMENT N.I.C./ NOT A PART

SD SMOKE DETECTOR

STANDPIPE RISER. SEE FP DRAWINGS

EXISTING, NOT A PART

FD ROOF DRAIN

SHEET NUMBER: OD OVERFLOW DRAIN

A105

5TH FLOOR PLAN

12/14/17

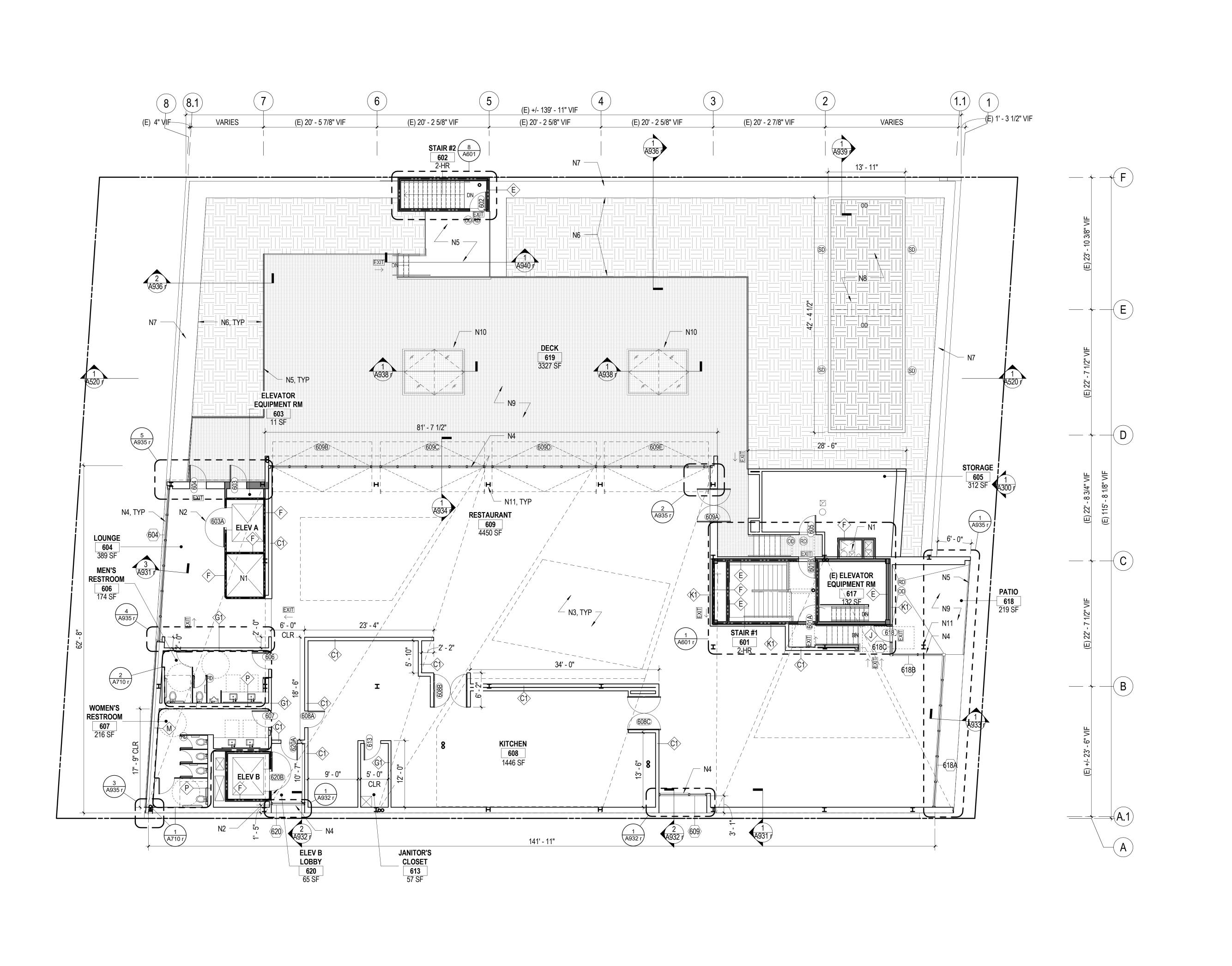
1/8" = 1'-0"

PLANNING SUBMITTAL

755 SOUTH LOS ANGELES STREET, LLC

11400 W OLYMPIC BLVD., SUITE 850 LOS ANGELES, CA 90064





- N1. 2-HR RATED MECH SHAFT, SEE MECH
- N2. RATED DOOR IN LIEU OF ELEVATOR LOBBY, SEE DOOR SCHEDULE AND SHT A952r
- N3. 2" TOPPING SLAB OVER STRUCT. COMPOSTIE DECK, SEE STRUCT.
- N4. CLEAR ANODIZED CENTER GLAZED CURTAIN WALL. SEE SHT A805r.
- N5. 42" HIGH STL GUARDRAIL, PTD. SEE 2 / A940 r
- N6. STL PLATE PERIMETER BOARDER, PTD
- N7. GRAVEL BED, SEE LANDSCAPE
- N8. EPIC PLANTER, SEE CIVIL, LANDSCAPE AND SHT
- N9. CONC. PAVER ON PEDESTAL SYSTEM, SEE 1 / A937 r
- N10. ALUM. GRATING HATCH DOORS OVER ALUM SKYLIGHT SYSTEM
- N11. STL COLUMN W/ INTUMENSCENT FINISH, SEE STRUCT.

YNCH / EISINGER / DESIGN ARCHITECTS LLP 24 Centre Street, FI 4 New York, NY 10013 T 212.219.6377 tudio@lyncheisingerdesign.com www.lyncheisingerdesign.com

SHEET NOTES

A. ALL DIMENSIONS ARE TO FOS, FOM OR CENTERLINE OF WALL UNO.

B. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.

C. SEE SHEETS G040-G042 FOR TYP ACCESSIBILITY REQUIREMENTS.

- D. ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL AND CEILING ASSEMBLIES.
- E. SEE SHT A970 FOR SOUND TRANSMISSION
- CONTROL DETAILS.
- F. SEE SHT A970 FOR TYP FIRESTOPPING DETAILS.
- G. SEE SHEET A802.1 FOR MATERIAL SCHEDULE & EQUIPMENT.
- H. SEE A903 & A904 FOR TYP FRAMING DETAILS.

LEGEND

I. SEE A800.1 FOR DOOR SCHEDULE.

J. SEE A901.1 FOR WALL ASSEMBLIES.

LOS ANGELES, CA 90064

PLANNING SUBMITTAL

755 SOUTH LOS ANGELES STREET, LLC 11400 W OLYMPIC BLVD., SUITE 850



1-HR FIRE WALL 2-HR RATED WALL (E) WALL / COLUMN

(N) WALL 1 SEE SHT A901.1 FOR WALL TYPES

30" X 48" CLEAR SPACE

FIRE EXTINGUISHER, RECESSED

ACCESSIBLE PATH OF TRAVEL, 5% MAX SLOPE, UNO FUTURE BULDING ELEMENT N.I.C./ NOT A PART

SMOKE DETECTOR

STANDPIPE RISER. SEE FP DRAWINGS

EXISTING, NOT A PART

ROOF PLAN

1/8" = 1'-0"

FD ROOF DRAIN

OD OVERFLOW DRAIN

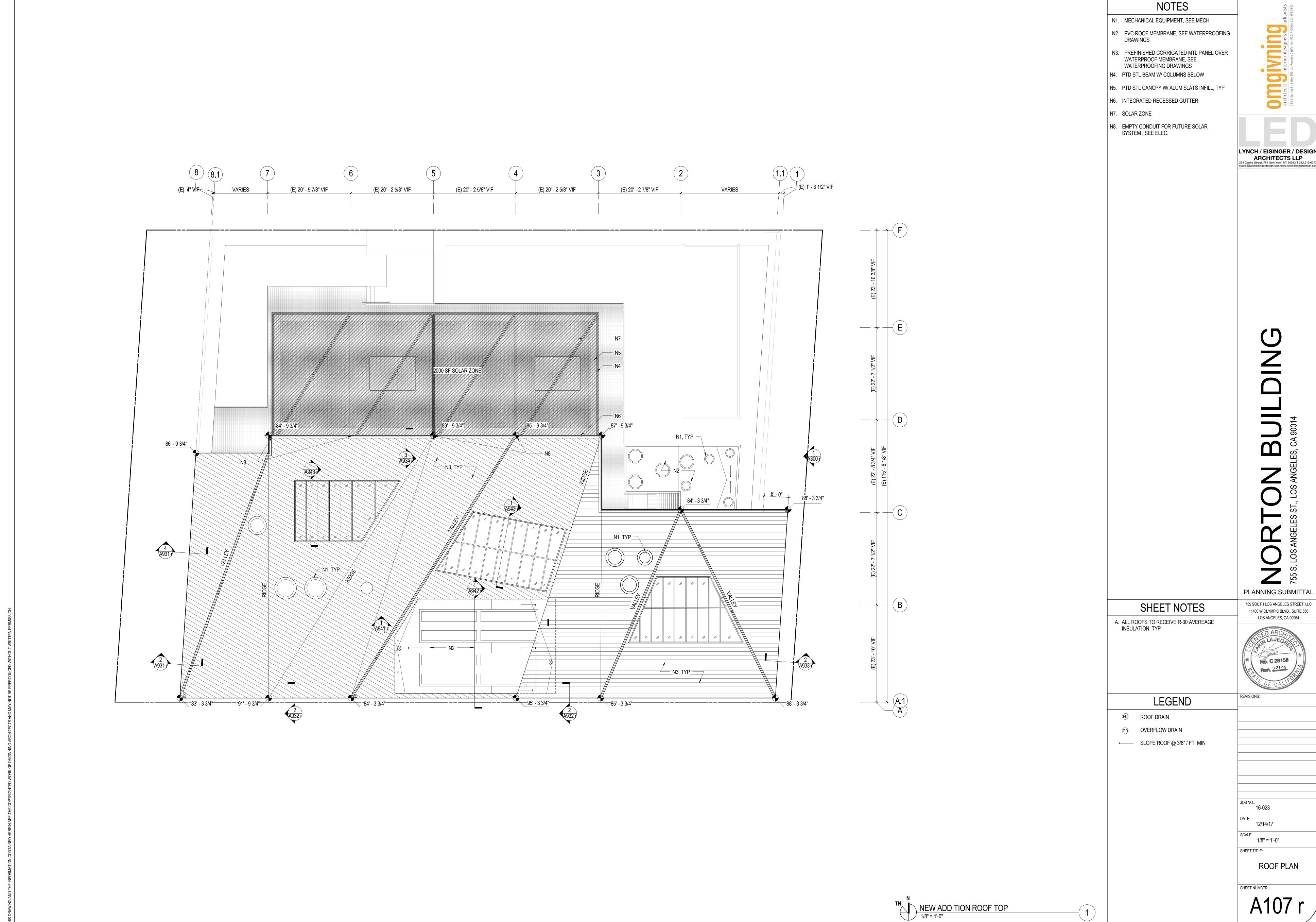
SHEET NUMBER:

6TH FLOOR PLAN

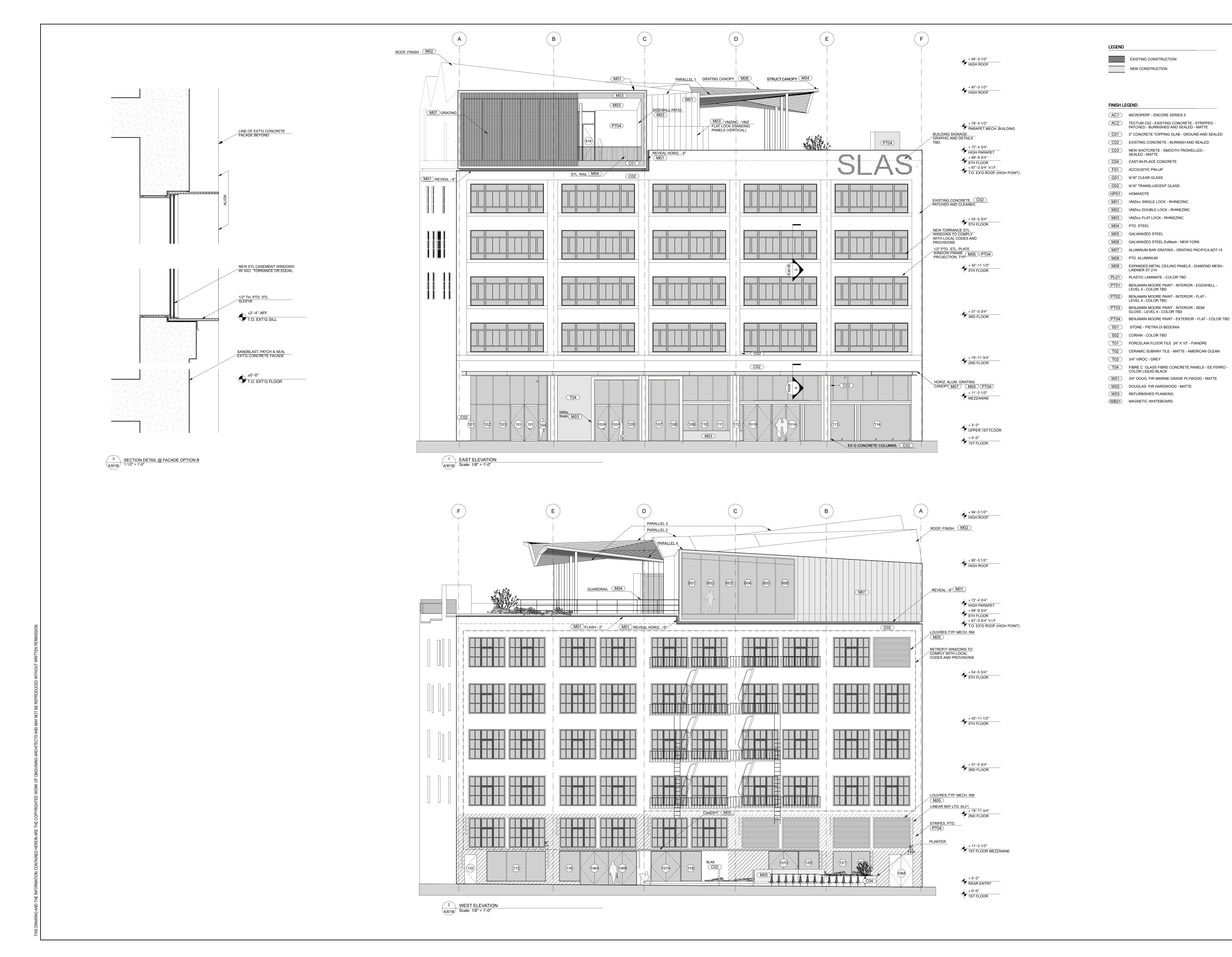
12/14/17

1/8" = 1'-0"

SHEET TITLE:



LYNCH / EISINGER / DESIGN



chitects interior desi arc YNCH / EISINGER / DESIGN ARCHITECTS LLP 24 Centre Street, FI 4 New York, NY 10013 T 212.219.63

 $studio@lyncheisingerdesign.com\ www.lyncheisingerdesign.com$

 \Box

755 SOUTH LOS ANGELES STREET, L 11400 W OLYMPIC BLVD., SUITE 850 LOS ANGELES, CA 90064

PLANNING SUBMITTAL



REVISIONS:

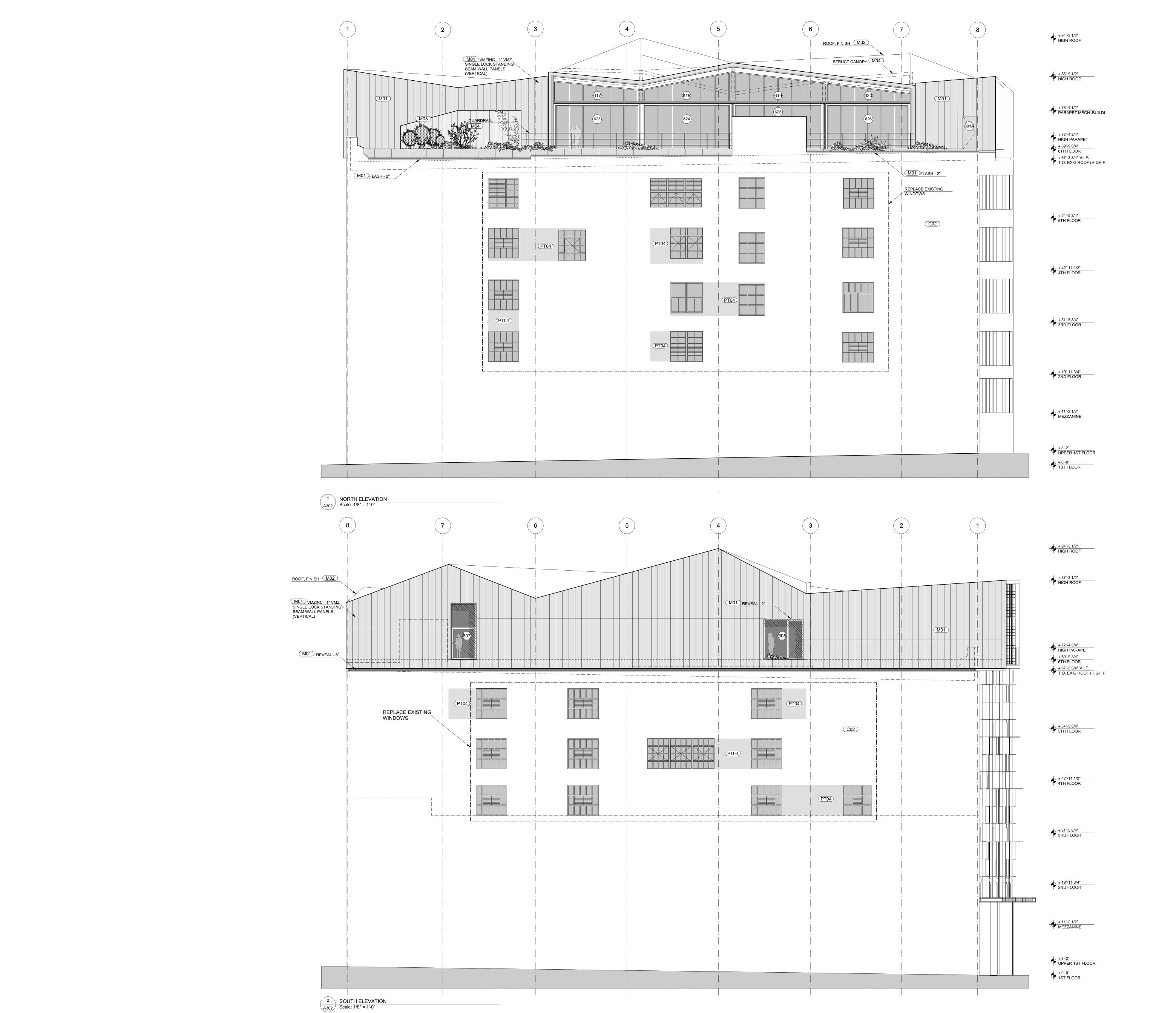
16-023

12/14/17 AS NOTED

SHEET TITLE:

ALTERNATE BUILDING

ELEVATIONS



LEGEND

EXISTING CONSTRUCTION ______ NEW CONSTRUCTION

FINISH LEGEND

AC1 MICROPERF - ENCORE SERIES 5 AC2 TECTUM C02 - EXISTING CONCRETE - STRIPPED - PATCHED - BURNISHED AND SEALED - MATTE

C01 2" CONCRETE TOPPING SLAB - GROUND AND SEALED C02 EXISTING CONCRETE - BURNISH AND SEALED

C03 NEW SHOTCRETE - SMOOTH-TROWELLED - SEALED - MATTE C04 CAST-IN-PLACE CONCRETE F01 ACCOUSTIC PIN-UP

G01 9/16" CLEAR GLASS G02 9/16" TRANSLUSCENT GLASS (HP01) HOMASOTE

M01 VMZinc SINGLE LOCK - RHINEZINC M02 VMZinc DOUBLE LOCK - RHINEZINC M03 VMZinc FLAT LOCK - RHINEZINC

M04 PTD. STEEL M05 GALVANIZED STEEL M06 GALVANIZED STEEL ExMesh - NEW YORK

M08 PTD. ALUMINIUM M09 EXPANDED METAL CEILING PANELS - DIAMOND MESH - LINDNER ST 214 PL01 PLASTIC LAMINATE - COLOR TBD

M07 ALUMINUM BAR GRATING - GRATING PACIFIC4-ADT-15

LEVEL 4 - COLOR TBD PT02 BENJAMIN MOORE PAINT - INTERIOR - FLAT -LEVEL 4 - COLOR TBD PT03 BENJAMIN MOORE PAINT - INTERIOR - SEMI GLOSS - LEVEL 4 - COLOR TBD

PT01 BENJAMIN MOORE PAINT - INTERIOR - EGGSHELL -

PT04 BENJAMIN MOORE PAINT - EXTERIOR - FLAT - COLOR TBD S01 STONE - PIETRA DI BEDONIA S02 CORIAN - COLOR TBD

T01 PORCELAIN FLOOR TILE 24" X 10" - FIANDRE T02 CERAMIC SUBWAY TILE - MATTE - AMERICAN OLEAN T03 3/4" VIROC - GREY

T04 FIBRE C GLASS FIBRE CONCRETE PANELS - EE FERRO - COLOR LIQUID BLACK W01 3/4" DOUG. FIR MARINE GRADE PLYWOOD - MATTE

W02 DOUGLAS FIR HARDWOOD - MATTE W03 REFURBISHED PLANKING WB01 MAGNETIC WHITEBOARD

rchitects interior designers

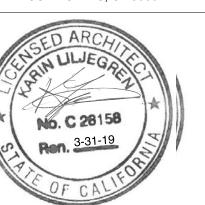
arc 774 S

YNCH / EISINGER / DESIGN

ARCHITECTS LLP
224 Centre Street, FI 4 New York, NY 10013 T 212.219.6
studio@lyncheisingerdesign.com www.lyncheisingerdesign.

PLANNING SUBMITTAL

755 SOUTH LOS ANGELES STREET, LL 11400 W OLYMPIC BLVD., SUITE 850 LOS ANGELES, CA 90064



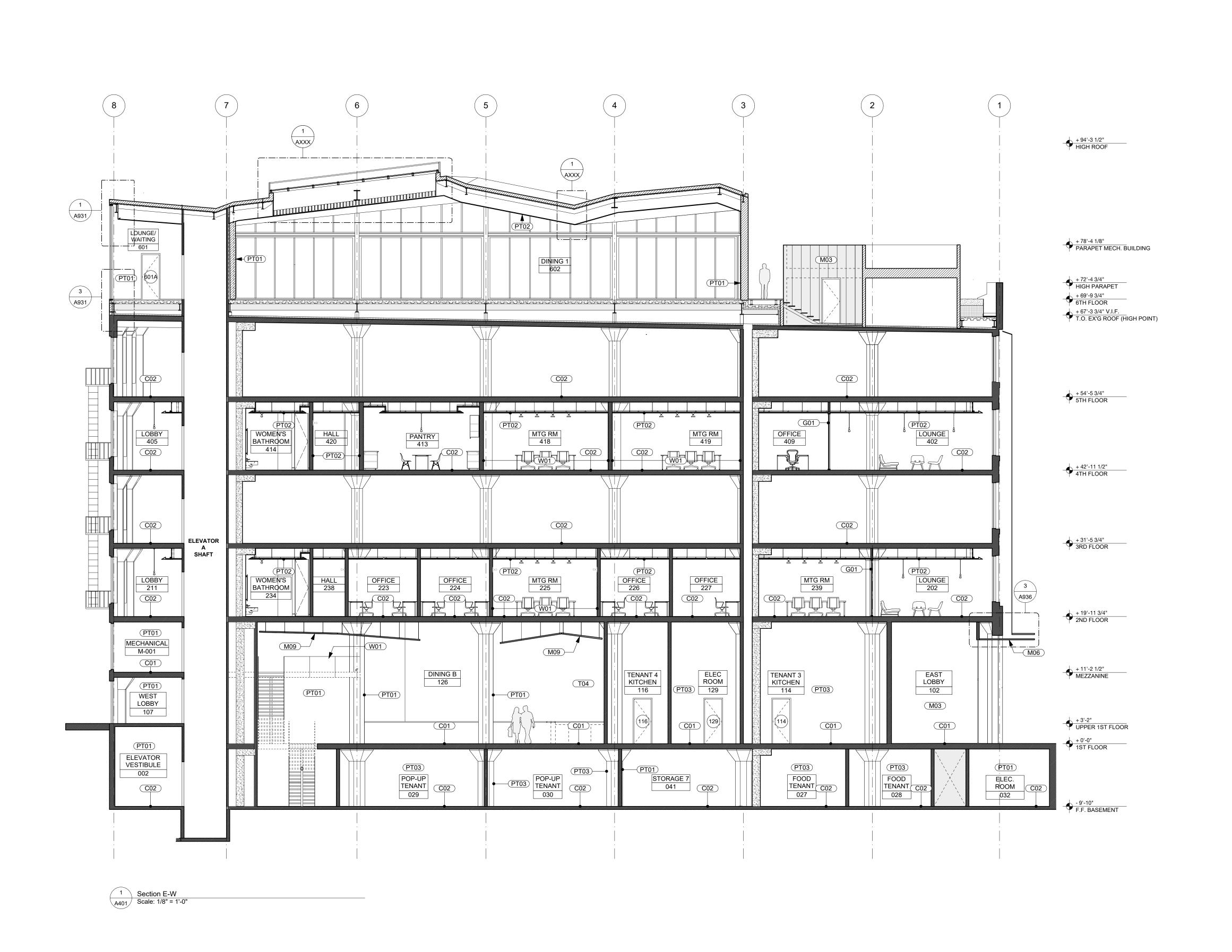
16-023

AS NOTED SHEET TITLE:

12/14/17

BUILDING ELEVATIONS

A-302



LEGEND

EXISTING CONSTRUCTION NEW CONSTRUCTION

FINISH LEGEND

AC1 MICROPERF - ENCORE SERIES 5

AC2 TECTUM C02 - EXISTING CONCRETE - STRIPPED - PATCHED - BURNISHED AND SEALED - MATTE

C01 2" CONCRETE TOPPING SLAB - GROUND AND SEALED C02 EXISTING CONCRETE - BURNISH AND SEALED

C03 NEW SHOTCRETE - SMOOTH-TROWELLED - SEALED - MATTE

C04 CAST-IN-PLACE CONCRETE F01 ACCOUSTIC PIN-UP

G01 9/16" CLEAR GLASS

G02 9/16" TRANSLUSCENT GLASS (HP01) HOMASOTE

M01 VMZinc SINGLE LOCK - RHINEZINC

M02 VMZinc DOUBLE LOCK - RHINEZINC M03 VMZinc FLAT LOCK - RHINEZINC

M04 PTD. STEEL

M05 GALVANIZED STEEL M06 GALVANIZED STEEL ExMesh - NEW YORK

M07 ALUMINUM BAR GRATING - GRATING PACIFIC4-ADT-15 M08 PTD. ALUMINIUM

M09 EXPANDED METAL CEILING PANELS - DIAMOND MESH - LINDNER ST 214

PL01 PLASTIC LAMINATE - COLOR TBD

PT01 BENJAMIN MOORE PAINT - INTERIOR - EGGSHELL - LEVEL 4 - COLOR TBD PT02 BENJAMIN MOORE PAINT - INTERIOR - FLAT - LEVEL 4 - COLOR TBD

PT03 BENJAMIN MOORE PAINT - INTERIOR - SEMI GLOSS - LEVEL 4 - COLOR TBD

PT04 BENJAMIN MOORE PAINT - EXTERIOR - FLAT - COLOR TBD S01 STONE - PIETRA DI BEDONIA

S02 CORIAN - COLOR TBD

T01 PORCELAIN FLOOR TILE 24" X 10" - FIANDRE T02 CERAMIC SUBWAY TILE - MATTE - AMERICAN OLEAN

T03 3/4" VIROC - GREY T04 FIBRE C GLASS FIBRE CONCRETE PANELS - EE FERRO - COLOR LIQUID BLACK

W01 3/4" DOUG. FIR MARINE GRADE PLYWOOD - MATTE

W02 DOUGLAS FIR HARDWOOD - MATTE W03 REFURBISHED PLANKING

architects interior designers varies to the state of the LYNCH / EISINGER / DESIGN ARCHITECTS LLP
224 Centre Street, FI 4 New York, NY 10013 T 212.219.6
studio@lyncheisingerdesign.com www.lyncheisingerdesign.

PLANNING SUBMITTAL

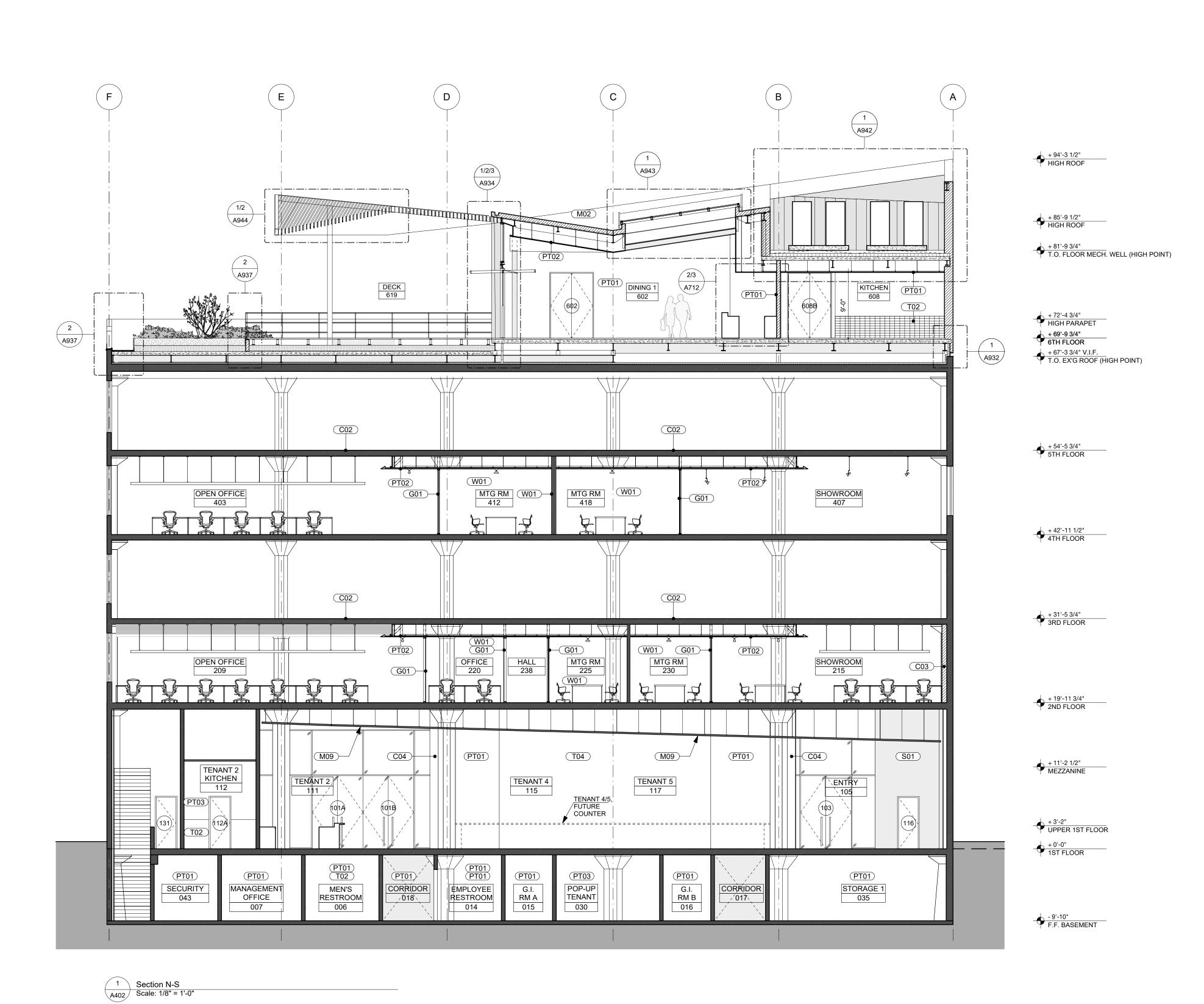
755 SOUTH LOS ANGELES STREET, LL 11400 W OLYMPIC BLVD., SUITE 850 LOS ANGELES, CA 90064



12/14/17

AS NOTED

BUILDING SECTIONS



LEGEND EXISTING CONSTRUCTION NEW CONSTRUCTION

FINISH LEGEND

AC1 MICROPERF - ENCORE SERIES 5

AC2 TECTUM C02 - EXISTING CONCRETE - STRIPPED - PATCHED - BURNISHED AND SEALED - MATTE

C01 2" CONCRETE TOPPING SLAB - GROUND AND SEALED C02 EXISTING CONCRETE - BURNISH AND SEALED

C03 NEW SHOTCRETE - SMOOTH-TROWELLED - SEALED - MATTE

C04 CAST-IN-PLACE CONCRETE F01 ACCOUSTIC PIN-UP

G01 9/16" CLEAR GLASS

G02 9/16" TRANSLUSCENT GLASS

(HP01) HOMASOTE M01 VMZinc SINGLE LOCK - RHINEZINC

M02 VMZinc DOUBLE LOCK - RHINEZINC M03 VMZinc FLAT LOCK - RHINEZINC

M04 PTD. STEEL

M05 GALVANIZED STEEL M06 GALVANIZED STEEL ExMesh - NEW YORK

M07 ALUMINUM BAR GRATING - GRATING PACIFIC4-ADT-15

M08 PTD. ALUMINIUM M09 EXPANDED METAL CEILING PANELS - DIAMOND MESH

- LINDNER ST 214 PL01 PLASTIC LAMINATE - COLOR TBD

(PT01) BENJAMIN MOORE PAINT - INTERIOR - EGGSHELL - LEVEL 4 - COLOR TBD

PT02 BENJAMIN MOORE PAINT - INTERIOR - FLAT - LEVEL 4 - COLOR TBD

PT03 BENJAMIN MOORE PAINT - INTERIOR - SEMI GLOSS - LEVEL 4 - COLOR TBD PT04 BENJAMIN MOORE PAINT - EXTERIOR - FLAT - COLOR TBD

S01 STONE - PIETRA DI BEDONIA S02 CORIAN - COLOR TBD

T01 PORCELAIN FLOOR TILE 24" X 10" - FIANDRE T02 CERAMIC SUBWAY TILE - MATTE - AMERICAN OLEAN

T03 3/4" VIROC - GREY T04 FIBRE C GLASS FIBRE CONCRETE PANELS - EE FERRO - COLOR LIQUID BLACK

W01 3/4" DOUG. FIR MARINE GRADE PLYWOOD - MATTE

W02 DOUGLAS FIR HARDWOOD - MATTE W03 REFURBISHED PLANKING

WB01 MAGNETIC WHITEBOARD

architects interior designers LYNCH / EISINGER / DESIGN ARCHITECTS LLP
224 Centre Street, FI 4 New York, NY 10013 T 212.219.6
studio@lyncheisingerdesign.com www.lyncheisingerdesign.

PLANNING SUBMITTAL

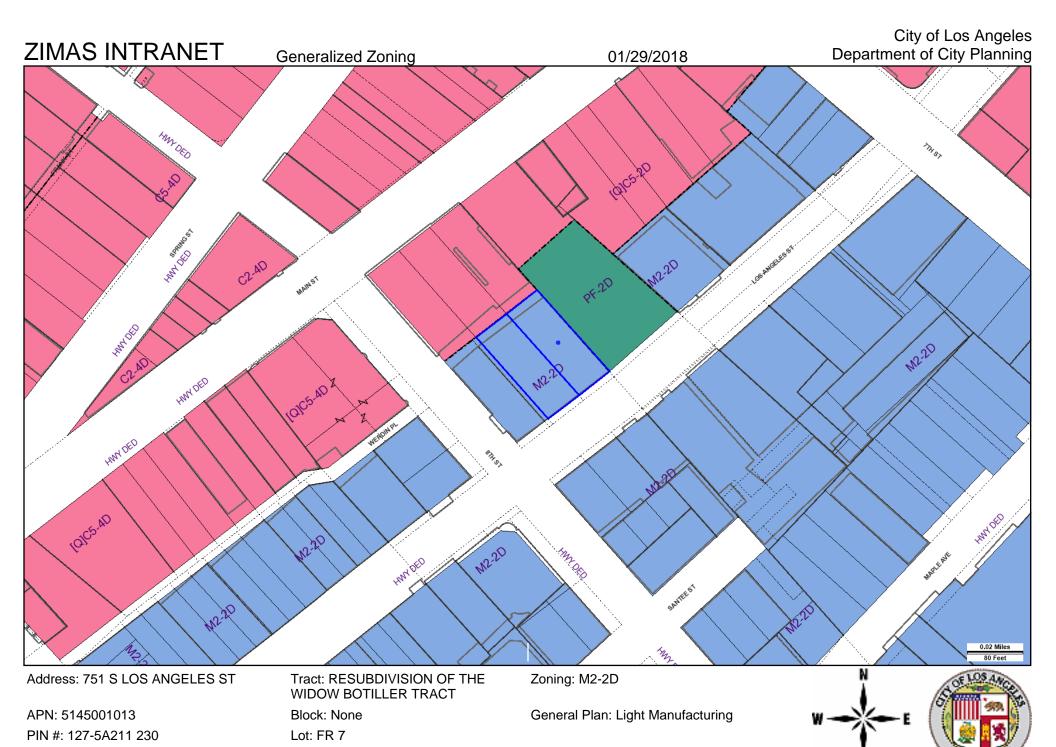
755 SOUTH LOS ANGELES STREET, LL 11400 W OLYMPIC BLVD., SUITE 850 LOS ANGELES, CA 90064



12/14/17

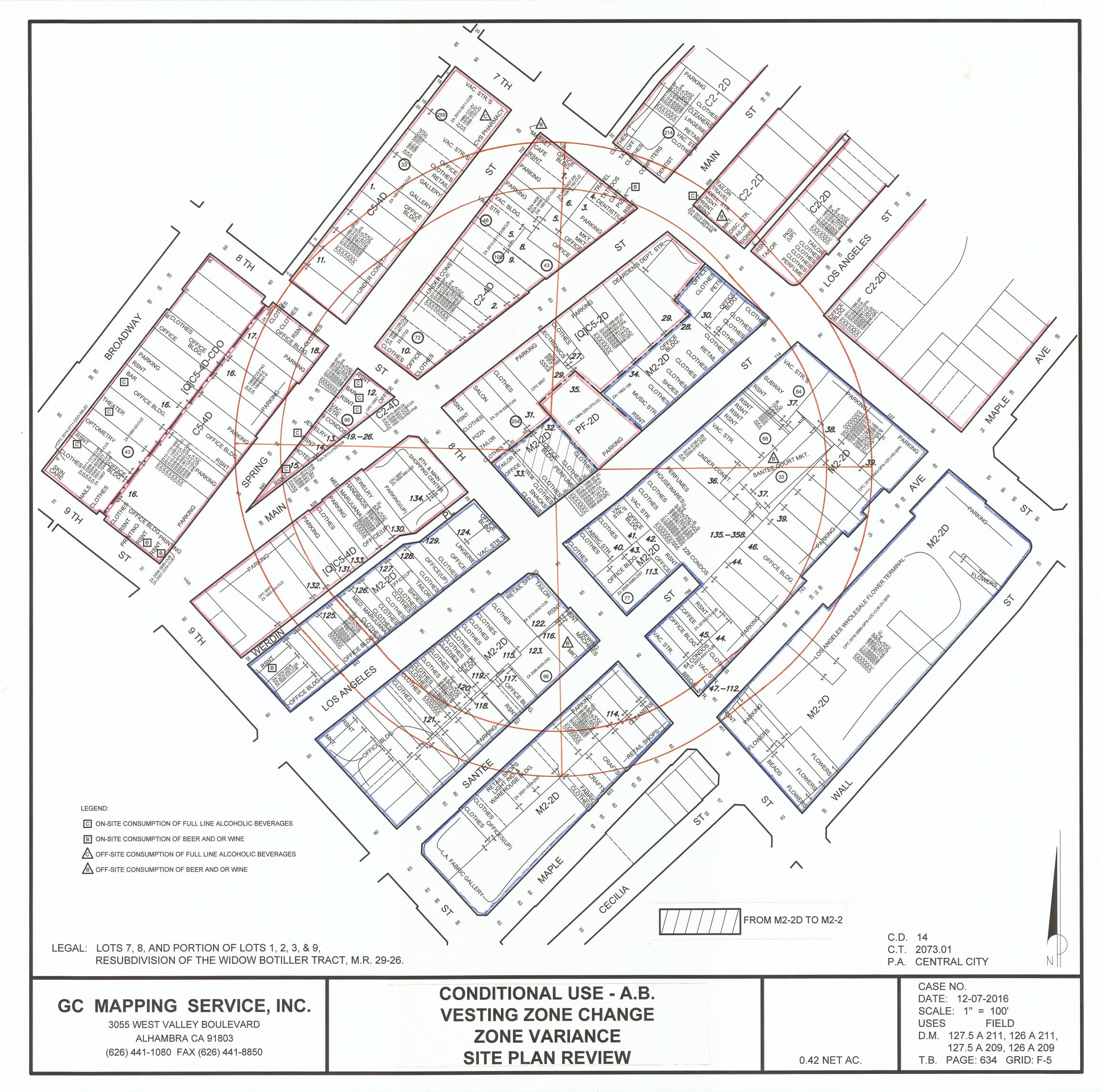
AS NOTED

BUILDING SECTIONS



Arb: None

Streets Copyright (c) Thomas Brothers Maps, Inc.





1. Subject building from Los Angeles Street looking northwest



2. Subject building from Los Angeles Street looking southwest





3. Subject building from the alley looking northeast/east





4. Subject building from the alley looking south

COUNTY CLERK'S USE

NAME (PRINTED)

DATE

CITY OF LOS ANGELES

CITY CLERK'S USE

OFFICE OF THE CITY CLERK 200 NORTH SPRING STREET, ROOM 360 LOS ANGELES, CALIFORNIA 90012

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

(California Environmental Quality Act Section 15062)

pursuar starts a results	f this form is optional. If fil nt to Public Resources Cod 35-day statute of limitation in the statute of limitations	de Section 21152 (ns on court challer	b). Pursuant to	Public Resourc	es Code Section	n 21167 (d)	, the filing	of this notice	
	CITY AGENCY Los Angeles Departmen	t of City Planning					COUNCII 14	L DISTRICT	
	CT TITLE uth Los Angeles Street					LOG REFE ENV-2016-			
	CT LOCATION uth Los Angeles Street								
Change 6,856 s	RIPTION OF NATURE, PU of use from manufacturing quare feet of floor area. OF PERSON OR AGENCY	g, retail, accessory	office, and stor	rage uses to offi			uses. Net	t increase of	
	uth Los Angeles Street, LL	С				·			
	CONTACT PERSON AREA CODE TELEPHONE NUMBER stephen Kia, Urban Concepts 323 966-2610						1	EXT. x109	
EXEM	PT STATUS: (Check One)						- 757		
			STATE CEQA	GUIDELINES	(CITY CEQA	GUIDEL	INES	
	MINISTERIAL		Sec. 152		Art. II, Sec. 2b				
□ DECLARED EMERGENCY			Sec. 152	:69		Art. II,	Sec. 2a (1)	
	EMERGENCY PROJEC	Т	Sec. 152		Art. II,	Sec. 2a (2) & (3)		
\checkmark	CATEGORICAL EXEMP	TION	Sec. 153	000 et seq.	Art. III	Art. III, Sec. 1			
	Class1 and	132 Catego	ry (Cit	ty CEQA Guidel	ines)				
	OTHER (See Public	Resources Code	Sec. 21080 (b)	and set forth st	ate and City guid	deline provi	sion.		
Class 1:	ICATION FOR PROJECT Operation, repair, maintenance of or no expansion of use beyond the	minor alteration of exi	sting public or priva	te structures, faciliti	es, mechanical equi	pment, or topo	ographical fe	atures, involving	
applicable of no more the project public ser	In-fill development meeting the consequence of the policies as well as the than five acres substantially sure than five acres. D BY APPLICANT, ATTACEPARTMENT HAS FOUND	with the applicable zoning rounded by urban uses. It effects relating to traff	ng designation and (c) The project site fic, noise, air quality	regulations. (b) The has no value as hale, or water quality. (e	proposed development bitat for endangered, b) The site can be ad	ent occurs with rare or threate equately serve	nin city limits ened species ed by all requ	on a project site s. (d) Approval of uired utilities and	
SIGNAT	URE 1.		TITLE CITY PL	anning Asso	CIATE	DATE	1/11/	2018	
EE:	\$2,280	RECEIPT NO.		REC'D. BY		DATE			
Rev. 11	BUTION: (1) County Clerk -1-03 Rev. 1-31-06 Word D BY THE APPLICANT:	(2) City Clerk, (3)	Agency Record	3					

SIGNATURE

DEPARTMENT OF CITY PLANNING

CITY PLANNING COMMISSION

DAVID H. J. AMBROZ
PRESIDENT

RENEE DAKE WILSON VICE-PRESIDENT

CAROLINE CHOE
VAHID KHORSAND
JOHN W. MACK
SAMANTHA MILLMAN
MARC MITCHELL
VERONICA PADILLA-CAMPOS
DANA M. PERLMAN

ROCKY WILES COMMISSION OFFICE MANAGER (213) 978-1300

CITY OF LOS ANGELES CALIFORNIA



EXECUTIVE OFFICES

200 N. Spring Street, Room 525 Los Angeles, CA 90012-4801

VINCENT P. BERTONI, AICP DIRECTOR (213) 978-1271

> KEVIN J. KELLER, AICP EXECUTIVE OFFICER (213) 978-1272

LISA M. WEBBER, AICP DEPUTY DIRECTOR (213) 978-1274

http://planning.lacity.org

JUSTIFICATION FOR PROJECT EXEMPTION CASE NO. ENV-2016-4963-CE

On January 11, 2018, the Planning Department determined that the City of Los Angeles Guidelines for the implementation of the California Environmental Quality Act of 1970 and the State CEQA Guidelines designate the subject project as Categorically Exempt under Article III, Section 1, Class 1 and Class 32, Case No. ENV-2016-4963-CE.

A project qualifies for a Class 32 Categorical Exemption if it is developed on an infill site and meets the following criteria:

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations;
- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses;
- (c) The project site has no value as habitat for endangered, rare or threatened species;
- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and
- (e) The site can be adequately served by all required utilities and public services.

The project is comprised of improvements to an existing 79,793 square-foot light manufacturing building with a 15,879 square-foot basement currently used for storage. The improvements would include a change of use from clothing manufacturing, retail, accessory office, and storage uses to office, food hall/restaurant, and storage uses; and a 9,541 square-foot rooftop restaurant addition, resulting in a net floor area increase of 6,856 square feet and a total floor area of 86,649 square feet. As a project that involves the adaptive reuse of an existing structure, and a project which is characterized as in-fill development, the project qualifies for the Class 1 and Class 32 Class 32 Categorical Exemptions.

The site is zoned M2-2D and has a General Plan Land Use Designation of Light Manufacturing. As shown in the case file, the project is consistent with the applicable Central City Community Plan designation and policies and all applicable zoning designations and regulations. The subject site is wholly within the City of Los Angeles, on a site that is approximately 18,024 square feet. Lots adjacent to the subject site are developed with the following urban uses: light industrial, commercial/retail, office, restaurant, parking, and residential. The site is previously disturbed and surrounded by development and therefore is not, and has no value as, a habitat for endangered, rare or threatened species. The project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance; pollutant

ENV-2016-4963-CE January 11, 2018

discharge, dewatering, stormwater mitigations; and Best Management Practices for stormwater runoff. These RCMs will ensure the project will not have significant impacts on noise and water. The traffic study, prepared by Crain & Associates, dated March 2017, concluded the proposed project is not expected to result in any significant traffic impacts at the thirteen study intersections identified for detailed analysis. A subsequent Trip Generation Analysis was prepared by Crain & Associates, dated January 2018, to account for a change in the mix of uses of the proposed project, and it found that the project would have even less trip generation than originally calculated. Interim thresholds were developed by DCP staff based on CalEEMod model runs relying on reasonable assumptions, consulting with AQMD staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established SCAQMD construction and operational thresholds. The project site will be adequately served by all public utilities and services given that the change of use of an existing light manufacturing building will be on a site which has been previously developed and is consistent with the General Plan. Therefore, the project meets all of the Criteria for the Class 32.

Exceptions Narrative for Class 32 Categorical Exemption

There are five (5) Exceptions which must be considered in order to find a project exempt under Class 1 and 32: (a) Cumulative Impacts; (b) Significant Effect; (c) Scenic Highways; (d) Hazardous Waste Sites; and (e) Historical Resources.

There is not a succession of known projects of the same type and in the same place as the subject project. As mentioned, the project proposes the change of use of an existing light manufacturing building into office and restaurant uses in an area zoned and designated for such development. Office and restaurant uses are permitted by right in the M2 Zone. All adjacent lots are developed with light industrial, commercial/retail, office, restaurant, parking, and/or residential uses, and the subject site is of a similar size and slope to nearby properties. The project would have a maximum of six stories and a maximum height of 94 feet. The proposed building envelope would be consistent with existing buildings in the vicinity of the site. While there are neighboring buildings that are two stories, a number of buildings in the area range from five to nine stories. Additionally, a building located to the northeast of the site is 11 stories. Therefore, the project size and height is not unusual for the vicinity of the subject site, and is similar in scope to other existing light industrial, commercial/retail, office, and restaurant uses in the area. Thus, there are no unusual circumstances which may lead to a significant effect on the environment. Additionally, the only State Scenic Highway within the City of Los Angeles is the Topanga Canyon State Scenic Highway, State Route 27, which travels through a portion of Topanga State Park. The project is located within Downtown Los Angeles, which is not within proximity of this resource. Therefore the subject site will not create any impacts within a designated as a state scenic highway. Furthermore, according to Envirostor, the State of California's database of Hazardous Waste Sites, neither the subject site, nor any site in the vicinity, is identified as a hazardous waste site. The project site has not been identified as a historic resource by local or state agencies, and the project site has not been determined to be eligible for listing in the National Register of Historic Places, California Register of Historical Resources, the Los Angeles Historic-Cultural Monuments Register, and/or any local register; and was not found to be a potential historic resource based on the City's HistoricPlacesLA website or SurveyLA, the citywide survey of Los Angeles. Finally, the City does not choose to treat the site as a historic resource. Based on this, the project will not result in a substantial adverse change to the significance of a historic resource and this exception does not apply.

FORM GEN. 160A (Rev. 1/82)

CITY OF LOS ANGELES

INTER-DEPARTMENTAL CORRESPONDENCE

755 S. Los Angeles St DOT Case No. CEN 16-44824

Date: May 31, 2017

To: Karen Hoo, City Planner

Department of City Planning

From: Wes Pringle, Transportation Engineer

Department of Transportation

Subject: TRANSPORTATION STUDY ASSESSMENT FOR THE PROPOSED MIXED

USE PROJECT AT 755 SOUTH LOS ANGELES STREET (CPC-2016-4962-

VZC-MCUP-ZV-SPR-MSC/ENV-2016-4963-EAF)

The Department of Transportation (DOT) has reviewed the transportation analysis prepared by Crain & Associates dated March, 2017 for the proposed mixed-use development project located at 755 South Los Angeles Street. In order to evaluate the effects of the project's traffic on the available transportation infrastructure, the significance of the project's traffic impacts is measured in terms of change to the volume-to-capacity (V/C) ratio between the "future no project" and the "future with project" scenarios. This change in the V/C ratio is compared to established threshold standards to assess the project-related traffic impacts. Based on DOT's traffic impact criteria¹, the proposed development is not expected to result in any significant traffic impacts at the thirteen study intersections identified for detailed analysis. The results of the traffic impact analysis, which accounted for other known development projects in evaluating potential cumulative impacts and adequately evaluated the project's traffic impacts on the surrounding community, are summarized in **Attachment 1.**

DISCUSSION AND FINDINGS

A. Project Description

The project proposes to reconstruct and reuse approximately 19,209 square feet (sf) of shopping center and 60,557 sf of manufacturing space with 19,209 sf of shopping center, 17,010 sf of high-turnover restaurant, 60,243 sf of general office space and 9,949 sf of quality restaurant. The existing project site currently has no parking on site. Employees, patrons and visitors who drive to the project site will be able to utilize an existing public parking lot located immediately north of the site. Long-term and short-term bicycle stalls will be provided in the basement level of the existing building. Vehicular access to the adjacent public parking lot is provided via a full access driveway on Los Angeles Street. The project is expected to be completed by 2019.

¹ Per the DOT Traffic Study Policies and Procedures, a significant impact is identified as an increase in the Critical Movement Analysis (CMA) value, due to project related traffic, of 0.01 or more when the final ("with project") Level of Service (LOS) is LOS E or F; an increase of 0.020 or more when the final LOS is LOS D; or an increase of 0.040 or more when the final LOS is LOS C.

B. Trip Generation

The project is estimated to generate a net increase of 2,482 daily trips, a net increase of 167 trips in the a.m. peak hour, and a net increase of 205 trips in the p.m. peak hour. The trip generation estimates are based on formulas published by the Institute of Transportation Engineers (ITE) <u>Trip Generation</u>, 9th Edition, 2012. A copy of the trip generation table can be found in **Attachment 2**.

C. Freeway Analysis

The traffic study included a freeway impact analysis that was prepared in accordance with the State-mandated Congestion Management Program (CMP) administered by the Los Angeles County Metropolitan Transportation Authority (MTA). According to this analysis, the project would not result in significant traffic impacts on any of the evaluated freeway mainline segments. To comply with the Freeway Impact Analysis Agreement executed between Caltrans and DOT in October 2013, the study also included a screening analysis to determine if additional evaluation of freeway mainline and ramp segments was necessary beyond the CMP requirements. The project did not meet or exceed any of the four thresholds defined in the latest agreement, updated in December 2015. Exceeding one of the four screening criteria would require the applicant to work directly with Caltrans to prepare more detailed freeway analyses. No additional freeway analysis was required.

PROJECT REQUIREMENTS

A. Construction Impacts

DOT recommends that a construction work site traffic control plan be submitted to DOT for review and approval prior to the start of any construction work. The plan should show the location of any roadway or sidewalk closures, traffic detours, haul routes, hours of operation, protective devices, warning signs and access to abutting properties. DOT also recommends that all construction related traffic be restricted to off-peak hours.

B. <u>Highway Dedication And Street Widening Requirements</u>

On January 20, 2016, the City Council adopted the Mobility Plan 2035 which is the new Mobility Element of the General Plan. A key feature of the updated plan is to revise street standards in an effort to provide a more enhanced balance between traffic flow and other important street functions including transit routes and stops, pedestrian environments, bicycle routes, building design and site access, etc. The applicant should check with BOE's Land Development Group to determine the specific highway dedication, street widening and/or sidewalk requirements for this project. Per the new Mobility Element, **Los Angeles Street** is designated an Avenue II (Secondary Highway) which would require a 28-foot half-width roadway within a 43-foot half-width right-of-way. 8th **Street** is designated an Avenue II (Secondary Highway) which would require a 28-foot half-width roadway within a 43-foot half-width right-of-way. The applicant should check with BOE's Land Development Group to determine if there are any other applicable highway dedication, street widening and/or sidewalk requirements for this project.

C. <u>Parking Requirements</u>

As referenced in the Project Description section above, the traffic study indicated the project site will not have parking on site. Employees, patrons and visitors who drive to the project site will be able to utilize an existing public parking lot located immediately north of the site. Long-term and short-term bicycle stalls will be provided in the basement level of the existing building. The applicant should check with the Department of Building and Safety on the number of Code-required parking spaces needed for the project.

D. Driveway Access and Circulation

The proposed site plan is acceptable to DOT; however, review of the study does not constitute approval of the driveway dimensions and internal circulation schemes. Those require separate review and approval and should be coordinated with DOT's Citywide Planning Coordination Section 201 N. Figueroa Street, 5th Floor, Room 550 at (213) 482-7024. In order to minimize potential building design changes, the applicant should contact DOT for driveway width and internal circulation requirements so that such traffic flow considerations are designed and incorporated early into the building and parking layout plans. The conceptual site plan for the project is illustrated in **Attachment 3**.

E. Development Review Fees

An ordinance adding Section 19.15 to the Los Angeles Municipal Code relative to application fees paid to DOT for permit issuance activities was adopted by the Los Angeles City Council in 2009 and updated in 2014. This ordinance identifies specific fees for traffic study review, condition clearance, and permit issuance. The applicant shall comply with any applicable fees per this ordinance.

If you have any questions, please contact Eduardo Hermoso at (213) 972-5042.

Attachments

J:\Letters\2016\CEN16-44824_755 S. Los Angeles St ts ltr.doc

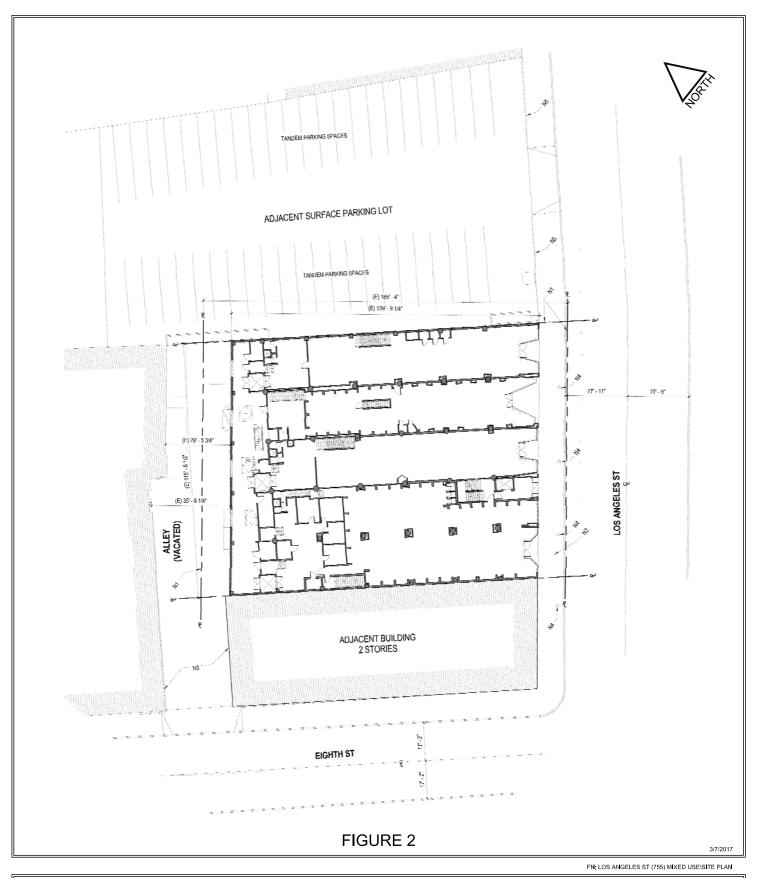
c: Shawn Kuk, Council District No. 14
Mehrdad Moshksar, Central District Office, DOT
Taimour Tanavoli, Case Management, DOT
Carl Mills, BOE Development Services
George Rhyner, Crain & Associates

Table 10
Critical Movement Analysis (CMA) Summary
Future (2019) Without and With Project

	•	, Peak	Without Project		With Project		
<u>No.</u> 1.	Intersection Spring Street & 7th Street	<u>Hour</u> AM PM	CMA 0.636 0.867	LOS B D	CMA 0.648 0.877	LOS B D	0.012 0.010
2.	Spring Street & 8th Street	AM PM	0.291 0.390	A A	0.293 0.395	A A	0.002 0.005
3.	Main Street/Spring Street & 9th Street	AM PM	0.589 0.789	A C	0.595 0.794	A C	0.006 0.005
4.	Main Street & 7th Street	AM PM	0.626 0.921	B E	0.631 0.930	B E	0.005 0.009
5.	Main Street & 8th Street	AM PM	0.365 0.559	A A	0.368 0.565	A A	0.003 0.006
6.	Los Angeles Street & 5th Street	AM PM	0.556 0.719	A C	0.561 0.723	A C	0.005 0.004
7.	Los Angeles Street & 6th Street	AM PM	0.549 0.690	A B	0.555 0.696	A B	0.006 0.006
8.	Los Angeles Street & 7th Street	AM PM	0.619 0.751	B C	0.631 0.765	B C	0.012 0.014
9.	Los Angeles Street & 8th Street	AM PM	0.429 0.629	A B	0.449 0.658	A B	0.020 0.029
10.	Los Angeles Street & 9th Street	AM PM	0.570 0.654	A B	0.581 0.673	A B	0.011 0.019
11.	Los Angeles Street & Olympic Boulevard	AM PM	0.456 0.755	A C	0.459 0.762	A C	0.003 0.007
12.	Maple Avenue & 7th Street	AM PM	0.732 0.879	C D	0.739 0.889	C D	0.007 0.010
13.	Maple Avenue & 8th Street	AM PM	0.351 0.526	A A	0.364 0.538	A A	0.013 0.012

Table 5
Project Trip Generation

					AM Peak Hour		PM Peak Hour		ur	
<u>LU</u>	Use/Description	<u>Size</u>	<u>Units</u>	Daily	I/B	O/B	Total	I/B	O/B	Total
	PROPOSED USES	<u>3</u>								
820	Shopping Center	16.694	ksf	713	10	6	16	30	32	62
932	High-Turnover Restaurant	17.010	ksf	2,163	101	83	184	101	67	168
710	General Office	60.243	ksf	664	83	11	94	15	75	90
931	Quality Restaurant	9.949	ksf	<u>895</u>	<u>4</u>	<u>4</u>	<u>8</u>	<u>50</u>	<u>25</u>	<u>75</u>
	Subtotal [A]			4,435	198	104	302	196	199	395
	Internal Linkages			45)	4-1	_			_	
	Shopping Center	depends or		(6)	(0)	0	(0)	(1)	0	(1)
	High-Turnover Restaurant	depends or	n office	(21)	(1)	(4)	(5)	(2)	(1)	(3)
	General Office Quality Restaurant	5% depends or	office	(33) (6)	(4) <u>0</u>	(1) <u>0</u>	(5) <u>0</u>	(1) <u>(1)</u>	(4) <u>0</u>	(5) <u>(1)</u>
	Subtotal [B]	depends of	TOTICE	(66)	(5)	(5)	(1 0)	(5)	(5)	(10)
	Transit/Walk-in Trips									
	Shopping Center	15%		(106)	(1)	(1)	(2)	(4)	(5)	(9)
	High-Turnover Restaurant	15%		(321)	(15)	(12)	(27)	(15)	(10)	(25)
	General Office	15%		(95)	(12)	(1)	(13)	(2)	(11)	(13)
	Quality Restaurant	15%		(133)	<u>(1)</u>	<u>0</u>	<u>(1)</u>	<u>(7)</u>	<u>(4)</u>	<u>(11)</u>
	Subtotal [C]			(655)	(29)	(14)	(43)	(28)	(30)	(58)
[D] Dri	veway/Adj. Int. Trips = [A] + [B]	+ [C]		3,714	164	85	249	163	164	327
	Pass-by Trips									
	Shopping Center	50%		(300)	(4)	(3)	(7)	(12)	(14)	(26)
	High-Turnover Restaurant	20%		(364)	(17)	(13)	(30)	(17)	(11)	(28)
	General Office	0%		(76)	0	0	0	0	0	0
	Quality Restaurant Subtotal [E]	10%		<u>(76)</u> (740)	<u>0</u> (21)	(<u>1)</u> (17)	(<u>1)</u> (38)	(<u>4)</u> (33)	(<u>2)</u> (27)	(<u>6)</u> (60)
[F] Δro	a Intersection Trips (Proposed	lleae) – [D]	.re1	2,974	143	68	211	130	137	<u>267</u>
נין אוני	a intersection rrips (i roposeu	0303) = [D] ¹	[-]	<u> 2,57 </u>	140	<u>50</u>	<u> </u>	100	101	<u>201</u>
	EXISTING USES									
820	Shopping Center	19.209	ksf	820	11	7	18	34	37	71
140	Manufacturing	60.557	ksf	<u>231</u>	<u>34</u>	<u>10</u>	<u>44</u>	<u>16</u>	<u>28</u>	44
	Subtotal [G]			1,051	45	17	62	50	65	115
	Internal Linkages	5 0/		(44)	(4)	0	(4)	(0)	(0)	(4)
	Shopping Center Manufacturing	5% Based on S	Support	(41) <u>(41)</u>	(1)	0 (1)	(1) <u>(1)</u>	(2) <u>(2)</u>	(2)	(4)
	Subtotal [H]	baseu on c	support	(82)	<u>0</u> (1)	(1) (1)	(2)	(4)	(<u>2)</u> (4)	(<u>4)</u> (8)
				(02)	(1)	(',	(-)	(4)	(-)	(0)
	Transit/Walk-in Trips	15%		(117)	(2)	(1)	(2)	(5)	(5)	(10)
	Shopping Center Manufacturing	15%		(117) (29)	(2) <u>(5)</u>	(1) <u>(1)</u>	(3) <u>(6)</u>	(5) <u>(2)</u>	(5) <u>(4)</u>	(10) <u>(6)</u>
	Subtotal [I]	1070		(146)	(7)	(2)	(9)	(7)	(9)	(16)
[J] Driveway/Adj. Int. Trips = [G] + [H] + [I]			823	37	14	51	39	52	91	
	Pass-by Trips									
	Shopping Center	50%		(331)	<u>(4)</u>	<u>(3)</u>	<u>(7)</u>	(14)	<u>(15)</u>	(29)
	Subtotal [K]			(331)	(4)	(3)	(7)	(14)	(15)	(29)
[L] Are	a Intersection Trips (Existing U	ses) = [J]+[ŀ	(]	<u>492</u>	<u>33</u>	<u>11</u>	<u>44</u>	<u>25</u>	<u>37</u>	<u>62</u>
	NET PROJECT TRIP GENI	ERATION								
Drivew	ay/Adjacent Intersection Trips			<u>2,891</u>	<u>127</u>	<u>71</u>	<u>198</u>	<u>124</u>	<u>112</u>	236
	tersection Trips (Net Project) =			2,482	<u>110</u>	<u>57</u>	<u>167</u>	<u>105</u>	100	<u>205</u>
Area intersection rrips (Net Project) = [F] - [L]										



CONCEPTUAL PROJECT SITE PLAN



Transportation Planning Traffic Engineering

Los Angeles (755) Mixed-Use Development Project Trip Generation Calculations

					AM Peak Hour		PM Peak Hour			
<u>LU</u>	<u>Use/Description</u>	Size	<u>Units</u>	Daily	<u>I/B</u>	O/B	Total	I/B	O/B	Total
	PROPOSED USES									
140	Warehousing	11.214	ksf	40	2	1	3	1	3	4
932	High-Turnover Restaurant (base	4.261	ksf	542	25	21	46	25	17	42
932	High-Turnover Restaurant (1st fl		ksf	1,724	81	66	147	80	54	134
710	General Office	59.292	ksf	654	81	11	92	15	73	88
931	Quality Restaurant	9.541	ksf	<u>858</u>	<u>4</u>	4	<u>8</u>	<u>48</u>	<u>23</u>	<u>71</u>
	Subtotal [A]			3,818	193	103	296	169	170	339
	Internal Linkages									
	Warehousing	5%		(2)	0	0	0	0	0	0
	High-Turnover Restaurant (base			(2)	0	(1)	(1)	(1)	0	(1)
	High-Turnover Restaurant (1st fl General Office	jaepenas or 5%	Tonice	(23) (33)	(1) (4)	(3) (1)	(4) (5)	(1) (1)	(1) (3)	(2) (4)
	Quality Restaurant	depends or	n office	(10)	<u>0</u>	<u>0</u>	<u>0</u>	(1) (1)	<u>0</u>	(1)
	Subtotal [B]			(70)	(5)	(5)	(1 <u>0</u>)	(4)	$(\frac{3}{4})$	(8)
	Transit/M/alk-in Trins									
	<u>Transit/Walk-in Trips</u> Warehousing	10%		(4)	0	0	0	0	0	0
	High-Turnover Restaurant (base			(81)	(4)	(3)	(7)	(4)	(2)	(6)
	High-Turnover Restaurant (1st fl	,		(255)	(12)	(9)	(21)	(12)	(8)	(20)
	General Office	15%		(93)	(12)	(1)	(13)	(2)	(11)	(13)
	Quality Restaurant	15%		(127)	<u>(1)</u>	<u>0</u>	<u>(1)</u>	<u>(7)</u>	<u>(4)</u>	<u>(11)</u>
	Subtotal [C]			(560)	(29)	(13)	(42)	(25)	(25)	(50)
[D] Dri	veway/Adj. Int. Trips = [A] + [B]	+ [C]		3,188	159	85	244	140	141	281
	Pass-by Trips									
	Warehousing	0%		0	0	0	0	0	0	0
	High-Turnover Restaurant (base			(92)	(4)	(4)	(8)	(4)	(3)	(7)
	High-Turnover Restaurant (1st fl			(289)	(14)	(10)	(24)	(13)	(9)	(22)
	General Office	0%		(70)	0	0	0	0	0	0
	Quality Restaurant Subtotal [E]	10%		<u>(72)</u> (453)	<u>0</u> (18)	(<u>1)</u> (15)	(<u>1)</u> (33)	(<u>4)</u> (21)	(<u>2)</u> (14)	(<u>6)</u> (35)
[[] A.,		llees) [D]	. [[]							
[F] Ale	ea Intersection Trips (Proposed I	υses) = [υ]-	+[=]	<u>2,735</u>	<u>141</u>	<u>70</u>	<u>211</u>	<u>119</u>	<u>127</u>	<u>246</u>
	EXISTING USES									
820	Shopping Center	19.236	ksf	821	11	7	18	34	37	71
140	Manufacturing	60.557	ksf	<u>231</u>	<u>34</u>	<u>10</u>	<u>44</u>	<u>16</u>	<u>28</u>	<u>44</u>
	Subtotal [G]			1,052	45	17	62	50	65	115
	Internal Linkages									
	Shopping Center	5%		(41)	(1)	0	(1)	(2)	(2)	(4)
	Manufacturing	Based on S	Support	<u>(41)</u>	<u>0</u>	<u>(1)</u>	<u>(1)</u>	<u>(2)</u>	<u>(2)</u>	<u>(4)</u>
	Subtotal [H]			(82)	(1)	(1)	(2)	(4)	(4)	(8)
	Transit/Walk-in Trips									
	Shopping Center	10%		(78)	(1)	(1)	(2)	(3)	(4)	(7)
	Manufacturing	10%		(19)	(<u>3)</u>	<u>(1)</u>	(<u>4)</u>	<u>(1)</u>	<u>(3)</u>	<u>(4)</u>
	Subtotal [I]			(97)	(4)	(2)	(6)	(4)	(7)	(11)
[J] Dri	veway/Adj. Int. Trips = [G] + [H] -	+ [I]		873	40	14	54	42	54	96
	Pass-by Trips									
	Shopping Center	50%		<u>(351)</u>	<u>(5)</u>	<u>(3)</u>	<u>(8)</u>	<u>(15)</u>	<u>(15)</u>	(30)
	Subtotal [K]			(351)	(5)	(3)	(8)	(15)	(15)	(30)
[L] Are	ea Intersection Trips (Existing Us	ses) = [J]+[I	K]	<u>522</u>	<u>35</u>	<u>11</u>	<u>46</u>	<u>27</u>	<u>39</u>	<u>66</u>
	NET PROJECT TRIP GENE	RATION								
Drive	/ay/Adjacent Intersection Trips =			2,315	<u>119</u>	<u>71</u>	<u>190</u>	<u>98</u>	<u>87</u>	<u>185</u>
	ntersection Trips (Net Project) =			2,213	106	<u>59</u>	165	92	88	180
Al Cu II		r. 1 r-1		<u> </u>	.00	<u>55</u>	.00	<u>72</u>	<u> </u>	.00



www.dlanc.org P.O. Box #13096 Los Angeles, CA 90013-0096

March 14, 2017

Los Angeles Department of City Planning Office of Zoning Administration, 7th Floor 200 North Spring Street Los Angeles, California 90012

RE: Planning Case No:

CPC-2016-4962-VZC-MCUP-ZV-SP-R-MSC, ENV-2016-

4963-EAF

Project Address:

755 S Los Angeles St, Los Angeles CA 90014

Applicant:

Dean Nucich

Project Description: The project will add 24,130 sq ft of floor area to the existing 79,766 sq ft, for a total of 103,896 sq ft. It will consist of 4 restaurants totaling 26,959 sq ft (including one restaurant on the rooftop). 16,964 sq ft of retail space, and 60,243 sq ft of office space.

Dear Zoning Administrator:

At our regularly held public meeting on March 14, 2016, the Board of Directors of the Downtown Los Angeles Neighborhood Council ("DLANC") voted to support the below request, pursuant to the motion passed on February 22, 2017, by DLANC's Planning & Land Use Committee ("PLUC").

DLANC supports the Applicant's request listed below:

- (1) Pursuant to L.A.M.C. Section 12.32Q Vesting Zone Change To remove the 3:1 FAR "D" Limitation and allow 6:1 FAR per Height District No. 2. Given an existing lot area of 18,024 sq ft, this will allow for a maximum of 108,144 sq ft of floor area.
- (2) Pursuant to L.A.M.C. Section 12.24W1 Conditional Use Permit (Master CUB) For sale and consumption of alcohol at 4 restaurants.
- (3) Pursuant to L.A.M.C. Section 16.05E Site Plan Review For a change of use resulting in a net increase of 1,000 or more average daily trips.
- (4) Pursuant to L.A.M.C. Sections 12.21A.4(o) and 12.21A.4(i) Waiver A parking waiver for the 24 stalls otherwise required by the addition of 24,130 square feet of floor area in the Downtown Parking District. The subject property is located adjacent to land being used as a privately operated publicly owned parking lot at 749 S. Los Angeles Street.
- (5) Pursuant to L.A.M.C. Sections 12.27 and 12.14A.1(b)(3) Zone Variance Relief from the requirement that restaurant business above the first floor be conducted in a

Planning Case No: CPC-2016-4962-VZC-MCUP-ZV-SP-R-MSC, ENV-2016-4963-EAF

March 14, 2017

Page 2

completely enclosed building, in order to allow for an outdoor dining area on the terrace deck and patio of a rooftop restaurant.

In DLANC's view, the information presented provides adequate justification for granting Applicant's request. Subject to the condition set forth below, and any additional conditions recommended by the LAPD or City Council, DLANC encourages the Los Angeles Department of City Planning to approve the Applicant's request.

CONDITION 1: Each individual future restaurant operator shall return to PLUC to present its project.

If possible, please provide a digital copy of your decision letter by mail to <u>planning@dlanc.com</u> instead of sending a hard copy. Thank you in advance for your consideration of the comments presented in this Letter.

Very troly yours,

Very truly yours

Patricia Berman

Scott Bytof

DLANC President

DLANC Planning & Land Use Committee Chair

CC: Shawn Kuk (Council District 14) (via email)

Sgt. John Strasner (Los Angeles Police Department) (via email)

Stephen Kia of Urban Concepts (on behalf of Dean Nucich) (via email)