



## DEPARTMENT OF CITY PLANNING

### APPEAL REPORT

#### East Los Angeles Area Planning Commission

**Date:** September 26, 2018  
**Time:** After 4:30 p.m.\*  
**Place:** Ramona Hall Community Center  
4580 N. Figueroa Street  
Los Angeles, CA 90065

**Public Hearing:** Required  
**Appeal Status:** Not further appealable under LAMC  
**Expiration Date:** October 20, 2018

**Case No.:** DIR-2017-2783-SPP-1A  
**CEQA No.:** ENV-2017-2784-CE  
**Incidental Cases:** None  
**Related Cases:** None  
**Council No.:** 1-Cedillo  
**Plan Area:** Northeast Los Angeles  
**Specific Plan:** Mount Washington-Glassell Park Specific Plan  
**Certified NC:** Historic Highland Park  
**GPLU:** Low Medium II Residential  
**Zone:** RD2-1

**PROJECT LOCATION:** 767 North Avenue 50, 90042

**PROPOSED PROJECT:** The project is the construction of a three (3)-story, 17 unit multiple family development that is 36 feet in height and includes 29 parking spaces. The project will provide 3,147.5 square feet of open space. The project includes a ministerial density bonus.

**APPLICANT:** The Presiding Priest of the Holy Virgin Mary

**APPELLANT:** Eugene and Jenny Morgan

**REQUESTED ACTION:** Appeal of the entire Director of Planning's approval of a Project Permit Compliance Review pursuant to LAMC Section 11.5.7 C for the above proposed project on a RD2-1 zoned parcel, located within the Mount Washington-Glassell Park Specific Plan.

#### RECOMMENDED ACTIONS:

1. **Determine** based on the whole of the administrative record that the project is exempt from the California Environmental Quality Act (CEQA) pursuant to State CEQA Guidelines Section 15332 (infill development), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.
2. **Sustain** the decision of the Director of Planning to approve a Project Permit Compliance Review for the project.
3. **Adopt** the conditions of approval and the findings of the Director of Planning as the conditions and findings of the Commission.

VINCENT P. BERTONI, AICP  
Director of Planning



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Shana Bonstin  
Principal City Planner



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Jane Choi, AICP  
Senior City Planner

**ADVICE TO PUBLIC:** \* The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the *Commission Secretariat, Room 272, City Hall, 200 North Spring Street, Los Angeles, CA 90012 (Phone No. 213-978-1300)*. While all written communications are given to the Commission for consideration, the initial packets are sent to the Commission's Office a week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendized herein, or in written correspondence on these matters delivered to the agency at or prior to the public hearing. As a covered entity under Title II of the American Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request no later than three working days (72 hours) prior to the meeting by calling the Commission Secretariat at (213) 978-1300.

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## PROJECT ANALYSIS

Pursuant to the Los Angeles Municipal Code (LAMC) Section 11.5.7, appeals of Project Permit Compliance cases are made to the Area Planning Commission. The decision of the East Los Angeles Area Planning Commission is final and effective as provided for in Charter Section 245.

### Project Summary

The project is the construction of a three (3)-story, 17 unit multiple family development that is 36 feet in height and includes 29 parking spaces. The project will provide 3,147.5 square feet of open space. The project includes a ministerial density bonus.

### Background

The project site is comprised of four lots totaling 25,121.64 square feet and is zoned RD2-1. The site is currently developed with a single family dwelling that will be demolished to make way for the project. The lots front on Avenue 50 which is designated as an Avenue III Street with a right-of-way width of 72 feet and an improved street width of 46 feet. A 10-foot street dedication is required. The project is the construction of a three (3)-story, 17 unit multiple family development with 29 parking spaces that is 36 feet in height. The project will provide 3,147.5 square feet of open space.

Properties to the east are developed with a mix of single and multiple family development and are zoned RD2-1; Properties to the south are developed with single family homes and are zoned R1-1; Properties to the west are developed with single family homes and are zoned R1-1; and Properties to the north are a mix of single and multiple family development developed and are zoned RD2-1. The subject site is within a Hillside Grading Area, a Very High Fire Hazard Severity Zone, and is .8 miles from the Raymond Fault.

The Project is subject to the Multi-Family Project regulations of the Mount Washington-Glassell Park Specific Plan (Specific Plan). The Specific Plan was adopted in 1992 and, per Section 8, requires that all One-Family and Multi-Family Projects be reviewed through the Project Permit Compliance process. The governing procedures for the implementation of the Specific Plan comes from Los Angeles Municipal Code Section 11.5.7, which defines a Project Permit Compliance Review as the following:

*A decision by the Director that a project complies with the regulations of the applicable specific plan, either as submitted or with conditions imposed to achieve compliance.*

On July 20, 2018, the Director of Planning approved with conditions a Project Permit Compliance Review for the Project. On August 6, 2018, an appeal of the entire decision was filed by the aggrieved party.

The following is a summary of the appellant's justifications for the appeal and response by Department of City Planning Staff:



## **APPEAL POINTS AND STAFF RESPONSES**

### **Appeal Point 1:**

The City Bureau of Engineering (BOE) should provide their list of off-site improvements, project conditions such as street widening, dedications, easements, street repairs, etc.

#### **Response:**

As described in the Background, the purpose of a Project Permit Compliance Review is to verify compliance with the regulations of the applicable specific plan. Through the approval of the Project Permit Compliance Review for the current project, the Director of Planning found that the project complies with all of the requirements of the Mount Washington-Glassell Park Specific Plan. Any requirements that are regulatory compliance and outside of the purview of the Specific Plan, such as dedications and improvements, would be handled at the time of building permit clearance process through the respective City Departments.

In addition, the Site Plan shows that the project is providing a 10-foot dedication as required by the Los Angeles Municipal Code Section 12.37. Per standard practice and regulatory compliance, the Bureau of Engineering will ensure prior to providing its sign offs during the building permit clearance process that all necessary dedications and improvements are provided.

### **Appeal Point 2:**

The City Department of Transportation (LADOT) conditions were missing from this Review (e.g. what are the traffic lane requirements) so we cannot yet determine if this project can meet LADOT's conditions.

#### **Response:**

Typically, any conditions related to traffic that are above and beyond regulatory compliance measures are made requirements through LADOT's review of a traffic study. The Project is a 17-unit multi-family project. The threshold for triggering the preparation of a traffic study in this context is the creation of 36 new apartment units. This project does not exceed this threshold. Therefore, no LADOT conditions were missing from nor required of this Project Permit Compliance Review.

### **Appeal Point 3:**

Conditions regarding street lighting, street trees, storm drainage system, sewer facilities and water supply are missing from this Review.

#### **Response:**

The review of a Project's need for street lights, street trees, storm drainage system and sewer facilities and water supply is handled through the building permit clearance process through the respective departments and is not within the purview of the Director of Planning for a Project Permit Compliance Review. Therefore, none of the conditions referenced in the appeal point is missing nor required of this Project Permit Compliance Review.

### **Appeal Point 4:**

The City's Fire Department needs to review this project since there is not an adequate fire truck turnaround on the property. This substandard fire access design is clearly not something that the City could approve at this time.

**Response:**

Verification of the Project's compliance with the Fire Code and all necessary hydrant and design requirements is handled by the Fire Department during the building permit clearance process. The review of the Fire Department is not within the purview of the Director of Planning for a Project Permit Compliance Review.

**Appeal Point 5:**

The grading or soils report information is missing from this Review. With all the site restrictions and magnitude of this project, it should be required that a grading plan.

**Response:**

The Applicant received approval of their grading report by the Los Angeles Department of Building and Safety Grading Division, as evidenced by the Soils Report Approval Letter dated May 1, 2017. This approval was given subsequent to the Grading Pre Inspection, which was conducted on January 11, 2017. Both documents have been included as Exhibit E.

**Appeal Point 6:**

The City's Sanitation Department has not provided input on how the Applicant can comply with their LID requirements. LID Plans were not provided.

**Response:**

The review of a Project's compliance with the Low Impact Development (LID) Ordinance will be completed through the building permit clearance process and is not within the purview of the Director of Planning for a Project Permit Compliance Review. Compliance with LID requirements is a matter of regulatory compliance, which will be verified during the plan check process through the City's Bureau of Sanitation.

**CONCLUSION**

The case before the East Los Angeles Area Planning Commission is an appeal of the Director's Decision on a Project Permit Compliance Review for a Multi-Family Project within the Mount Washington-Glassell Park Specific Plan.

Staff recommends that the East Los Angeles Area Planning Commission deny the appeal, sustain the decision of the Director of Planning to approve a Project Permit Compliance for the project, and adopt the conditions of approval and the findings of the Director of Planning as the conditions and findings of the Commission.

DIR-2017-2783-SPP-1A  
767 North Avenue 50

Exhibit A

Appeal of  
DIR-2017-2783-SPP



## APPLICATIONS:

### APPEAL APPLICATION

This application is to be used for any appeals authorized by the Los Angeles Municipal Code (LAMC) for discretionary actions administered by the Department of City Planning.

#### 1. APPELLANT BODY/CASE INFORMATION

Appellant Body:

☒ Area Planning Commission      ☐ City Planning Commission      ☐ City Council      ☐ Director of Planning

Regarding Case Number: DIR-2017-2783-SPP

Project Address: 767 North Avenue 50, Los Angeles, CA 90042

Final Date to Appeal: August 6, 2018

Type of Appeal:      ☐ Appeal by Applicant/Owner  
                                 ☒ Appeal by a person, other than the Applicant/Owner, claiming to be aggrieved  
                                 ☐ Appeal from a determination made by the Department of Building and Safety

#### 2. APPELLANT INFORMATION

Appellant's name (print): Eugene and Jenny Morgan

Company: \_\_\_\_\_

Mailing Address: 780 Terrace 49

City: Los Angeles      State: CA      Zip: 90042

Telephone: 713-927-6001      E-mail: jennyschliemorgan@gmail.com

- Is the appeal being filed on your behalf or on behalf of another party, organization or company?

☒ Self      ☐ Other: \_\_\_\_\_

- Is the appeal being filed to support the original applicant's position?      ☐ Yes      ☒ No

#### 3. REPRESENTATIVE/AGENT INFORMATION

Representative/Agent name (if applicable): Jonathan F. Golding

Company: Golding + Lamothe

Mailing Address: 5901 W. Century Blvd., Suite 750

City: Los Angeles      State: CA      Zip: 90045

Telephone: 310-591-0776      E-mail: Jonathan@GoldingLamothe.com

#### 4. JUSTIFICATION/REASON FOR APPEAL

Is the entire decision, or only parts of it being appealed? ☒ Entire ☐ Part

Are specific conditions of approval being appealed? ☐ Yes ☒ No

If Yes, list the condition number(s) here: \_\_\_\_\_

Attach a separate sheet providing your reasons for the appeal. Your reason must state:

- The reason for the appeal
- How you are aggrieved by the decision
- Specifically the points at issue
- Why you believe the decision-maker erred or abused their discretion

#### 5. APPLICANT'S AFFIDAVIT

I certify that the statements contained in this application are complete and true:

Appellant Signature: \_\_\_\_\_ Date: 8/6/18

#### 6. FILING REQUIREMENTS/ADDITIONAL INFORMATION

- Eight (8) sets of the following documents are required for each appeal filed (1 original and 7 duplicates):
  - Appeal Application (form CP-7769)
  - Justification/Reason for Appeal
  - Copies of Original Determination Letter
- A Filing Fee must be paid at the time of filing the appeal per LAMC Section 19.01 B.
  - Original applicants must provide a copy of the original application receipt(s) (required to calculate their 85% appeal filing fee).
- All appeals require noticing per the applicable LAMC section(s). Original Applicants must provide noticing per the LAMC, pay mailing fees to City Planning's mailing contractor (BTC) and submit a copy of the receipt.
- Appellants filing an appeal from a determination made by the Department of Building and Safety per LAMC 12.26 K are considered Original Applicants and must provide noticing per LAMC 12.26 K.7, pay mailing fees to City Planning's mailing contractor (BTC) and submit a copy of receipt.
- A Certified Neighborhood Council (CNC) or a person identified as a member of a CNC or as representing the CNC may not file an appeal on behalf of the Neighborhood Council; persons affiliated with a CNC may only file as an individual on behalf of self.
- Appeals of Density Bonus cases can only be filed by adjacent owners or tenants (must have documentation).
- Appeals to the City Council from a determination on a Tentative Tract (TT or VTT) by the Area or City Planning Commission must be filed within 10 days of the date of the written determination of said Commission.
- A CEQA document can only be appealed if a non-elected decision-making body (ZA, APC, CPC, etc.) makes a determination for a project that is not further appealable. [CA Public Resources Code ' 21151 (c)].

This Section for City Planning Staff Use Only		
Base Fee: <u>\$89.00</u>	Reviewed & Accepted by (DSC Planner): <u>Sarah Goldman</u>	Date: <u>8-6-2018</u>
Receipt No: <u>0302133006</u>	Deemed Complete by (Project Planner):	Date:
<input checked="" type="checkbox"/> Determination authority notified		<input type="checkbox"/> Original receipt and BTC receipt (if original applicant)

**JUSTIFICATION/REASON FOR APPEAL**



August 4, 2018

**Golding + Lamothe**

Attn: Mr. Jonathan F. Golding  
5901 W. Century Blvd., Ste. 750  
Los Angeles, CA 90045  
P: 310.348.7240  
C: 310.591.0776  
E: Jonathan@GoldingLamothe.com

**Re: Civil Engineering Review of the St. Mary Church 17 Units Senior Housing Project at 767 North 50th Avenue – Los Angeles, Los Angeles County, CA 90042**  
*Ref: Mt. Washington-Glassell Park Specific Plan Project Permit Compliance Review*  
**Case No. DIR-2017-2783-SPP**

JMC2 Civil Engineering + Surveying (JMC2) is pleased to provide **Golding + Lamothe** with our civil engineering permit compliance review for the subject project. JMC2 has reviewed the City of Los Angeles Compliance Review and have found several items within the City's Determinations to make it impossible for a final project approval to be made at this time.

## **Background**

- On July 20, 2018 the Los Angeles Department of City Planning (Planning) published their Mt. Washington-Glassell Park Specific Plan Project Permit Compliance Review, Case No. DIR-2017-2783-SPP ("Review") regarding a proposed senior housing project at 767 North Avenue 50, Los Angeles. The Review included Conditions of Approval, Findings, and preliminary project plans prepared by Nassef A. Eskander & Associates ("Exhibit A").

## **References:**

- Compliance Review prepared by City Planning dated 7/20/18 for Applicant/Owner: The Presiding Priest of the Holy Virgin Mary, 4900 Cleland Ave., Los Angeles, CA 90042.
- Exhibit A plans (dated Dec. 2016) consisting of the Plot Plan, Floor Plans, Elevations, Rendering, and Landscape Plans by Yael Lir Landscape Architects).

## **Review Analysis**

JMC2 reviewed the City's review letter and the Applicant's project plans seeking to confirm that there was sufficient information to render a full opinion on the project from a civil engineering standpoint. What we found were that the City's Findings and Project Exemption Justifications were insufficient for the City to render a decision. Our review revealed several concerns and shortcomings which must be addressed prior to consideration of this project for approval.

## Street Improvements

The City Bureau of Engineering (BOE) should provide their list of off-site improvement, project conditions such as street widening, dedication, easements, street repairs, etc. This has not been provided for the public to review so we cannot render an opinion on BOE's compliance requirements



at this time. In the Review Findings, Planning mentions Avenue 50, but they did not properly discuss Aldama Street. The Mount Washington-Glassell Park Specific Plan Project Permit Compliance Review ("Review") is incomplete in two places:

- Aldama Street is designated as a "Local Street – Standard" with a 60 ft right-of-way width including 12 ft wide sidewalks. The applicant is showing 6 ft wide sidewalks which are a substandard design.
- There is only one entrance to the property from Avenue 50 in the north corner. The applicant shows a 5% ramp starting from the street curb which is not per City design standards.

#### Traffic

The City Department of Transportation (LADOT) conditions were missing from this Review (e.g. what are the traffic lane requirements) so we cannot yet determine if this project can meet LADOT's conditions.

#### Street Lighting

The Bureau of Street Lighting (BSL) conditions are missing for this Review so we cannot render an opinion.

#### Street Trees

The City's Urban Forestry Department's conditions are not included rendering this Review incomplete and making it impossible to render an opinion.

#### Storm Drainage System

There is a huge 9 ft (wide) x 10 ft (high) reinforced concrete box culvert that runs through the western portion of the Applicant's property within a 20 ft wide, drainage easement. We see no conditions from the BOE regarding this storm drain and its easement even though the applicant is proposing a 6 ft (min) retaining wall traversing over the top of this drain. Will this wall structure (required for this project) even be allowed to be built over the top of this major storm drainage facility? We have lots of unanswered questions further highlighting the incompleteness of the Review.

#### Sewer Facilities

We had expected an inclusion of a Sewer Capacity Availability Request (SCAR) to have been included since this neighborhood is developed primarily as low-density, single family housing. The City's attempt to justify its project exemptions is not adequately considering the critical nature of sufficient sewer facilities to the health and well-being of public. Still, there is currently no information in this Review regarding sewage capacity so we cannot yet render an opinion.

And please note that there is a 16-inch diameter public sewer traversing in a public easement the western portion of the property. The applicant proposes a 6 ft (min) retaining wall to be built over this public sewer line. There were no City conditions prepared for this big issue either.



Water Supply

The Applicant has not yet made a Service Advisory Request (SAR) available for project water availability. So, no opinion can be rendered on the adequacy of water supply to even sustain and/or service this project for landscaping, potable, or fire water.

Fire Access

The City's Fire Department needs to review this project since there is not an adequate fire truck turnaround on the property. This substandard fire access design is clearly not something that the City could approve at this time.

Grading Pre-Inspection (GPI) Report

The grading or soils report information is missing from this Review, so we could not provide an adequate review nor render an opinion.

Grading

With all the site restrictions and magnitude of this project, it should be required that a Grading Plan be provided with the Review package but it was not. The finish floor of the new building has been set at elevation 528.4 while the existing grades along the rear (west) property line are approximately elevation 520 to 521. The grade difference between the existing grade and the building finish floor is 7.4 to 8.4 feet.

The City's Conditions of Approval has limited the Applicant stating "no fence or wall within the required side yard or rear yard or any other fence or wall bordering an individual patio area shall exceed six feet in height". The difference of 7+ feet in the rear yard will require at least a 6-foot-high retaining wall and that is before adding a screening fence/wall to properly screen the neighbors. This Review needs a Grading Plan as these issues are critical to determine whether the project grading can even be made to work.

Low Impact Development (LID)

The City's Sanitation Department has not provided input on how the Applicant can comply with their LID requirements. LID Plans were not provided. Thus, the Review is incomplete and we cannot render our professional opinion.

In summary, it is JMC2's opinion that the proposed project should not have been approved on the basis of the information provided, and that any future consideration of project approval should consider all of the concerns addressed in this review. Should you have any questions regarding this analysis, please contact John Cruikshank, PE, Principal Engineer, at 310.241.6550 x 228.

Best regards,

**JMC2 Civil Engineering + Surveying**



John M. Cruikshank, PE (RCE C50792)  
Principal Civil Engineer

DIR-2017-2783-SPP-1A  
767 North Avenue 50

## Exhibit B

Director of Planning  
Determination  
DIR-2017-2783-SPP

**DEPARTMENT OF  
CITY PLANNING**

**CITY PLANNING COMMISSION**

DAVID H. J. AMBROZ  
PRESIDENT

RENEE DAKE WILSON  
VICE-PRESIDENT

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**CITY OF LOS ANGELES  
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MAYOR

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<http://planning.lacity.org>

**MOUNT WASHINGTON-GLASSELL PARK SPECIFIC PLAN  
PROJECT PERMIT COMPLIANCE REVIEW**

July 20, 2018

**Applicant/Owner**

The Presiding Priest  
of the Holy Virgin Mary  
4900 Cleland Avenue  
Los Angeles, CA 90042

**Representative**

Nassef Eskander  
Nassef Eskander and Associates  
76 West Pamela Road  
Arcadia, CA 91007

**Case No.** DIR-2017-2783-SPP

**CEQA:** ENV-2017-2784-CE

**Location:** 767 North Avenue 50

**Council District:** 1-Cedillo

**Neighborhood Council:** Historic Highland Park

**Community Plan Area:** Northeast Los Angeles

**Land Use Designation:** Low Medium II Residential

**Zone:** RD2-1

**Legal Description:** Tract Highland Park Extension  
Blk. 2 Lots FR. 3, 4, 5 and 9  
Arb 2

**Last Day to File an Appeal:** August 6, 2018

**DETERMINATION**

Pursuant to Los Angeles Municipal Code (LAMC) Section 11.5.7 C, and the Mount Washington-Glassell Park Specific Plan Ordinance 168,707, I have reviewed the proposed project and as the designee of the Director of Planning, I hereby:

**Approve with Conditions** a Project Permit Compliance Review for the construction of a three (3)-story, 17 unit multiple family development with 29 parking spaces on a 25,251.64 square-foot lot that is 36 feet in height.

**Determine** based on the whole of the administrative record the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guideline Section 15300 (Infill Development), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines. Section 15300.2 applies.

The project approval is based upon the attached Findings, and subject to the attached Conditions of Approval:

## CONDITIONS OF APPROVAL

1. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the Applicant, stamped "Exhibit A," and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning, Central Project Planning Division, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Municipal Code, the project conditions, or the project permit authorization.
2. **Building Facade Modulation.** The exterior façade depicted on Exhibit A. Plan Sheets A-5, A-6 and A-7 shall be designed so that no exterior wall of a building shall exceed 30 linear feet extending horizontally along the front or rear of a structure without a change in plane of at least three feet in the exterior wall surface for a horizontal distance of five feet. The facade may be modulated with porches, balconies, window treatments, recessed windows, curves, openings or architectural features.
3. **Usable Open Space.** A minimum of 1,700 square feet of Usable Open Space, as defined by Section 3 of the Mount Washington/Glassell Park Specific Plan, located approximately at ground level, shall be provided. Automobile parking areas, driveways and the required front yard area shall not be included as open space.
  - a. Pedestrian access ways, building separations, courtyards, etc. (with an average of 20 feet in width and no less than 15 feet in width at any point) and side and rear yard areas (which are at least 15 feet in width) may be included as Usable Open Space, provided these areas are landscaped or improved for recreational use to the satisfaction of the Director. Stairs are not Usable Open Space.
  - b. A private patio or enclosed yard (located at ground level or at the lowest level with a habitable room) which is part of a dwelling unit may be included as Usable Open Space, if it has a minimum area of 150 square feet and each side has a minimum dimension of eight feet.
  - c. Notwithstanding the definition of Usable Open Space, recreation rooms may be included as open space but may not count for more than 10 percent of the total required open space area. b. Each common open space area (for use by more than one dwelling unit) including recreational rooms shall be a minimum of 400 square feet.
  - d. A maximum of 50 percent of the common Usable Open Space may consist of hardscape features, such as swimming pools, spas, walkways, patios, courts, fountains and barbecue areas. Common rooftop open space areas are not counted towards the required open space.
  - e. Common open space areas shall incorporate recreational amenities such as swimming pools, spas, picnic tables, benches, sitting areas, etc., to the satisfaction of the Department of Planning. Amenities that meet the Department of Recreation and Parks specifications pursuant to LAMC Section 17.12 F may be credited against fees required pursuant to LAMC Section 12.33. 3. Landscaping a. Open Areas.

4. **Landscaping.** The front yard and all open areas not used for buildings, driveways, covered automobile parking areas, or walkways shall be landscaped. A minimum of 50 percent of the Usable Open Space shall be landscaped. All landscaped areas shall include at least one 24-inch box tree. An automatic irrigation system shall be provided for all required landscaped areas. At least one 24-inch box shade tree shall be planted within the parking area.
5. **Surface Parking.** At least one 24-inch box shade tree shall be planted for every four uncovered surface automobile parking spaces. The trees shall be dispersed within the automobile parking area so as to shade the uncovered surface automobile parking area and shall be protected by curbing or other suitable measures, to the satisfaction of the Department of City Planning. An automatic sprinkler system shall be installed to water the trees.
6. **Additions or Alterations.** No additions or alterations shall be made to the building(s), except those improvements normal to the proper maintenance of the buildings or as may be required by a public agency or public health and safety, unless it meets the requirements of Section 7 of the Specific Plan and a Project Permit has been issued pursuant to Section 8 of the subject Ordinance.
7. **Fences and Walls.** Notwithstanding LAMC Section 12.22 C 20 (f), fences and walls may be located along all lot lines, provided that the following standards are met: 1. Side Yards, Rear Yards and Other Open Spaces. No fence or wall within the required side yard or rear yard or any other fence or wall bordering an individual patio area shall exceed six feet in height. Within the front yard, the height of a fence or wall shall be subject to the limitation in the LAMC for the underlying zone. Notwithstanding the above, a minimum six-foot high solid wall shall be constructed along any lot line abutting a one-family dwelling use.

Fences and walls shall be maintained in good repair and shall be kept vertical, uniform and structurally sound, and all repairs shall blend in with said fence or wall and be compatible with color and material. Fences constructed of wood, metal, Masonite, or similar materials shall be uniformly painted or stained or otherwise treated or sealed to prevent weathering or deterioration

8. **Refuse and Other Storage.** Open areas devoted to refuse or other storage shall not be located within 15 feet of a residential use or a residentially-zoned lot unless a buffer is provided for protection against noise, odor or debris impacts. A buffer shall consist of a minimum six-foot high solid wall enclosure with an attached tight-fitting metalclad door or gate. Storage areas shall be protected by six-inch concrete curbing or other suitable barriers.

**NOTE: Attachment "Exhibit B" lists the regulating codes and statutes regarding construction requirements and restrictions.**

#### **Administrative Conditions**

9. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building and Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall

be stamped by Department of City Planning staff "Final Plans". A copy of the Final Plans, supplied by the applicant, shall be retained in the subject case file.

10. **Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet, and shall include any modifications or notations required herein.
11. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
12. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
13. **Department of Building and Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code Compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
14. **Enforcement.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Department of City Planning.
15. **Covenant.** Prior to the effectuation of this grant a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard master covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Development Services Center or the Condition Compliance Unit for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Development Services Center for inclusion in the case file.
14. **Indemnification and Reimbursement of Litigation Costs.** The Applicant shall do all of the following:
  - (a) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
  - (b) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's

fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.

- (c) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (b).
- (d) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (b).
- (e) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

## FINDINGS

The project site is comprised of four lots totaling 25,121.64 square feet and is zoned RD2-1. The site is currently developed with a single family dwelling that will be demolished to make way for the project. The lot fronts on Avenue 50 which is designated as a Avenue III Street with a right-of-way width of 72 feet and an improved width of 46 feet. A 10-foot street dedication is required. The project is the construction of a three (3)-story, 17 unit multiple family development with 29 parking spaces that is 36 feet in height. The project will provide 3,147.5 square feet of open space. The project includes a ministerial density bonus.

Properties to the east are developed with a mix of single and multiple family development and are zoned RD2-1; Properties to the south are developed with single family homes and are zoned R1-1; Properties to the west are developed with single family homes and are zoned R1-1; and Properties to the north are a mix of single and multiple family development developed and are zoned RD2-1.

The subject site is within a Hillside Grading Area, a Very High Fire Hazard Severity Zone, and is .8 miles from the Raymond Fault.

The proposed residential project meets the requirements of Section 7 of the Mount Washington/Glassell Park Specific Plan for Multiple-Family project standards and Los Angeles Municipal Code 11.5.7, as follows:

**1. The project substantially complies with the applicable regulations, findings, standards, and provisions of the specific plan.**

- a. **Refuse and Other Storage.** The project will provide two fully enclosed free-standing storage areas (one for recycling and one for refuse) located on the north property line. As proposed the refuse area complies with the requirements that a buffer consisting of a minimum six-foot high solid wall enclosure with an attached tight-fitting metalclad door or gate that provides protection against noise, odor or debris impacts when within 15 feet of a residential zone, therefore is in compliance with Section 7.b of the Specific Plan.
- b. **Fences and Walls.** The project site will be enclosed with a six (6) foot solid masonry wall along the rear and side property line. A decorative 42 inches in height combination wrought iron and masonry wall will be constructed along the front property line. The wall will be constructed according to the requirements of Condition Number Six (6) even therefore is in compliance with Section 7.b of the Specific Plan.
- c. **Building Facade Modulation.** As depicted on the elevations the building front and rear elevations are designed such that there is not wall that exceeds 30 feet in length (either horizontally or vertically) without an offset or projection. Each unit has a balcony and the project incorporates a barrel tile mansard, stucco and stone on the first floor façade as depicted on Exhibit A. Plan Sheets A-5, A-6 and A-7. As proposed, the architectural elevations and sections, attached as "Exhibit A", are in conformance with the standards contained in Section 8.D.1 of the Specific Plan.
- d. **Usable Open Space.** Each unit has as private balcony which totals 1,373, square feet of area. A 657 square foot community room is also provided. The remaining open space is Common Open Space which totals 1,117.5 square feet. The project' s total Open Space is 3,147.5 square feet which exceeds the 1,700 square feet of Usable Open



Space required by the Specific Plan, therefore the project is in compliance with Section 8.D.3 of the Specific Plan.

- e. **Landscaping.** As depicted on the landscape plan contained within "Exhibit A" the entire front yard and all open areas not used for buildings, driveways, covered automobile parking areas, or walkways are landscaped. A minimum of 50 percent of the Usable Open Space are also landscaped. The project provides two 24-inch box trees within the Common Open Space area. All landscaped areas include at least one 24-inch box tree. An automatic irrigation system is also provided for all required landscaped areas. At least one 24-inch box shade tree shall be planted within the parking area. As proposed, the project contains landscaping in compliance with Section 8.D.3 of the Mount Washington/Glassell Park Specific Plan.
  - f. **Surface Parking.** As depicted on the landscape plan contained within "Exhibit A" the project provides eight (8) 24-inch box shade trees that are dispersed throughout the surface parking lot. An automatic sprinkler system will be installed to provide water to the trees. As proposed, the project contains surface parking landscaping in compliance with Section 8.D.3 of the Specific Plan.
2. **The project incorporates mitigation measures, monitoring measures when necessary, or alternatives identified in the environmental review, which would mitigate the negative environmental effects of the project, to the extent physically feasible.**

No mitigation measures and monitoring measures are required. The Director of Planning has determined that based on the whole of the administrative record, the project is exempt from CEQA pursuant to CEQA Guidelines Section 15300, (Infill Development), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2, applies.

In order to qualify for a Class 32 Categorical Exemption, pursuant to CEQA Section 15300.2 the project must be able to demonstrate that it does not fall under the following Exceptions/Justifications List Exemptions and Justifications from CE prepared for the project.

- a. Location Classes 3,4,5,6, and 11 (Categorical Exemptions) are qualified by consideration of where the project is to be located - a project that is ordinarily insignificant in its impact on the environment may in a particularly sensitive environment be significant. Therefore, these classes are considered to apply to all instances, except where the project may impact on an environmental resource of hazardous or critical concern where designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies.

The project site is comprised of four lots totaling 25,121.64 square feet and is zoned RD2-1. The site is currently developed with a single family dwelling that will be demolished to make way for the project. The project is the construction of a three (3)-story, 17 unit multiple family development with 29 parking spaces that is 36 feet in height. The project will provide 3,147.5 square feet of open space.

The project is an infill development. According to the Sensitive Ecological Area Map dated February 2010 the subject site is not located within or near a sensitive

environment. The project and successive projects of the same type in the same place will result in cumulative impacts of, over time is significant.

- b. The project and successive projects of the same type in the same place will result in cumulative impacts of, over time is significant.

The project is the construction of a three (3)-story, 17 unit multiple family development with 29 parking spaces that is 36 feet in height. The project will provide 3,147.5 square feet of open space.

The City Council on June 15, 1999 certified EIR No. 90-0615-CPR (State Clearing House Number. 90010805), as part of the adoption of General Plan Amendments and Zone Changes updating the Northeast Los Angeles Community Plan. The EIR prepared for the Community Plan Revision anticipated that this project and successive projects of the same type in the same place will not result in cumulative impacts significant over time. No cumulative impacts are expected to be significant, as a result of construction of a by-right 17 unit motile family development that complies with the Mount Washington-Glassell Park Specific Plan and the Los Angeles Municipal Code. There are unusual circumstances creating the reasonable possibility of significant effects.

- c. There are unusual circumstances creating the reasonable possibility of significant effects.

The project is the construction of a three (3)-story, 17 unit multiple family development with 29 parking spaces that is 36 feet in height. The project will provide 3,147.5 square feet of open space. The site is .57 acres in size. Properties to the east are developed with a mix of single and multiple family development and are zoned RD2-1; Properties to the south are developed with single family homes and are zoned R1-1; Properties to the west are developed with single family homes and are zoned R1-1; and Properties to the north are a mix of single and multiple family development developed and are zoned RD2-1. The Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as, with the applicable zoning designation and regulations. There are no unusual circumstances could create the reasonable possibility of significant effects.

- d. The project may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a State Scenic Highway.

The project is not located on a property within a State Scenic Highway.

- e. The project is located on a site that the Department of Toxic Substances Control and the Secretary of Environmental Protection have identified, pursuant to Government Code Section 65962.5, as being affected by hazardous wastes or clean-up problems.; or

According to the Evirostor data base the subject project is not located within or within a 2,000 foot radius of any hazardous waste sites. The project may cause a substantial adverse change in the significance of a historical resource.

- f. The project may cause a substantial adverse change in the significance of a historical resource.

There are no significant historical resources located within 1,000 foot radius of the subject project site.

JUSTIFICATION FOR PROJECT EXEMPTION:

- g. Is the project consistent with the applicable general plan designation and all applicable general plan policies, as well as, with the applicable zoning designation and regulations?

Yes. The subject property is planned for Low Medium II Density Housing with corresponding zones of RD2 and RD1.5. The proposed project will create additional housing opportunities for City residents which is consistent with the City of Los Angeles objectives of the Housing Element and General Plan Framework. Based on the review of the plans the project will conform to the requirements of the Los Angeles Municipal Code and the Mount Washington-Glassell Park Specific Plan.

- h. Is the proposed development within the city limits and on a project site of no more than five acres substantially surrounded by urban uses?

Yes. The proposed development is located at 767 North Avenue 50 within the boundaries of the City of Los Angeles. The site is .57 acres in size and is surrounded by lots developed with single family dwellings and multiple-family development.

- i. Does the project site have any value as habitat for endangered, rare or threatened species?

No. The project site is developed with a single family home and a garage. The site has not been identified as containing species identified as candidate, sensitive, or regional plans, policies or regulations by the California Department of Fish and Game or U.S. Fish and Wildlife Services

- j. Will approval of the project result in any significant effects relating to traffic, noise, air quality, or water quality?

Traffic. No. The proposed project result in 144 additional vehicle trips over a 24-hour period which is not significant.

Noise. No. The current California State Title 24 Building Code requirements and the and the Los Angeles Municipal Code Noise Ordinance regulates the level of construction noise and limits the hours of construction activity which will result in a less than significant noise level.

Air Quality. No. Any air quality impacts because it falls below interim air threshold established by the Department of Planning Department (DCP) (80 dwelling units or 20,000 cubic yards of grading). Interim thresholds were developed by DCP staff based on running CalEEMod model runs relying on reasonable assumptions, consulting with AQMD staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established SCAQMD construction and operational thresholds."

Water Quality. No. The City's Low Impact Development standards that are required for all construction projects which will protect the existing water quality.

- k. Can the site be adequately served by all required utilities and public services?

Yes. The proposed project will be served by water and power from the City's Department of Water and Power, natural gas from the Southern California Gas Company and the project will be connected to the City's sanitary sewer system. The City's Police and Fire Departments have the necessary resources to protect this proposed use. The area is served by Fire Station 55 located at 4455 East York Boulevard.

### **OBSERVANCE OF CONDITIONS - TIME LIMIT - LAPSE OF PRIVILEGES**

All terms and conditions of the Director's Determination shall be fulfilled before the use may be established. The instant authorization is further conditioned upon the privileges being utilized within **three years** after the effective date of this determination and, if such privileges are not utilized, building permits are not issued, or substantial physical construction work is not begun within said time and carried on diligently so that building permits do not lapse, the authorization shall terminate and become void.

### **TRANSFERABILITY**

This determination runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant. If any portion of this approval is utilized, then all other conditions and requirements set forth herein become immediately operative and must be strictly observed.

### **FINAL PLAN SIGN OFF AND APPROVAL**

Verification of condition compliance with building plans and/or building permit applications are done at the Development Services Center of the Department of City Planning at either Figueroa Plaza in Downtown Los Angeles or the Marvin Braude Building in the San Fernando Valley. In order to assure that you receive services without waiting, applicants shall schedule an appointment with the Development Services Center by calling (213) 482-7077 (Figueroa Plaza) or (818) 374-5050 (Marvin Braude Building) San Fernando Valley, or the West Los Angeles Office (310) 231-2901 or through the Department of City Planning website at [planning.lacity.org](http://planning.lacity.org). The applicant is further advised to notify any consultant representing you of this requirement.

### **VIOLATIONS OF THESE CONDITIONS, A MISDEMEANOR**

Section 11.00 of the LAMC states in part (m): "It shall be unlawful for any person to violate any provision or fail to comply with any of the requirements of this Code. Any person violating any of the provisions or failing to comply with any of the mandatory requirements of this Code shall be guilty of a misdemeanor unless that violation or failure is declared in that section to be an infraction. An infraction shall be tried and be punishable as provided in Section 19.6 of the Penal Code and the provisions of this section. Any violation of this Code that is designated as a misdemeanor may be charged by the City Attorney as either a misdemeanor or an infraction.

Every violation of this determination is punishable as a misdemeanor unless provision is otherwise made, and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the County Jail for a period of not more than six months, or by both a fine and imprisonment."

## APPEAL PERIOD - EFFECTIVE DATE

The applicant's attention is called to the fact that this grant is not a permit or license and that any permits and licenses required by law must be obtained from the proper public agency. Furthermore, if any condition of this grant is violated or not complied with, then the applicant or his successor in interest may be prosecuted for violating these conditions the same as for any violation of the requirements contained in the Municipal Code, or the approval may be revoked.

**The Determination in this matter will become effective and final fifteen (15) days after the date of mailing of the Notice of Director's Determination** unless an appeal therefrom is filed with the City Planning Department. It is strongly advised that appeals be filed early during the appeal period and in person so that imperfections/incompleteness may be corrected before the appeal period expires. Any appeal must be filed on the prescribed forms, accompanied by the required fee, a copy of this Determination, and received and receipted at a public office of the Department of City Planning on or before the above date or the appeal will not be accepted. Forms are available on-line at [planning.lacity.org](http://planning.lacity.org).

Planning Department public offices are located at:

*Downtown Office*  
*Figueroa Plaza*  
*201 North Figueroa Street,*  
*4<sup>th</sup> Floor*  
*Los Angeles, CA 90012*  
*(213) 482-7077*

*Valley Office*  
*6262 Van Nuys Boulevard,*  
*Suite 251*  
*Van Nuys, CA 91401*  
*(818) 374-5050*

*West Los Angeles Office*  
*1828 Sawtelle Boulevard,*  
*2<sup>nd</sup> Floor*  
*Los Angeles, CA 90025*  
*(310) 231-2901*

Verification of condition compliance with building plans and/or building permit applications are done at the Development Services Center of the Department of City Planning at either Figueroa Plaza in Downtown Los Angeles or the Marvin Braude Building in the Valley. In order to assure that you receive service with a minimum amount of waiting, applicants are encouraged to schedule an appointment with the Development Services Center either by calling (213) 482-7077 or through the Department of City Planning website at <http://cityplanning.lacity.org>. The applicant is further advised to notify any consultant representing you of this requirement as well.

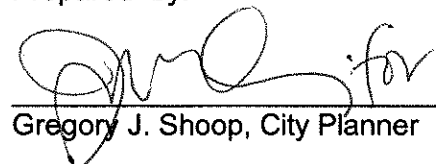
The time in which a party may seek judicial review of this determination is governed by California Code of Civil Procedures Section 1094.6. Under that provision, a petitioner may seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, only if the petition for writ of mandate pursuant to that section is filed no later than the 90th day following the date on which the City's decision becomes final.

VINCENT P. BERTONI, AICP  
Director of Planning

Approved by:

  
Jane Choi, AICP, Senior City Planner

Prepared by:

  
Gregory J. Shoop, City Planner

DIR-2017-2783-SPP-1A  
767 North Avenue 50

Exhibit C

ENV-2017-2784-CE

COUNTY CLERK'S USE

## CITY OF LOS ANGELES

CITY CLERK'S USE

OFFICE OF THE CITY CLERK  
200 NORTH SPRING STREET, ROOM 360  
LOS ANGELES, CALIFORNIA 90012

## CALIFORNIA ENVIRONMENTAL QUALITY ACT

## NOTICE OF EXEMPTION

(California Environmental Quality Act Section 15062)

Filing of this form is optional. If filed, the form shall be filed with the County Clerk, 12400 E. Imperial Highway, Norwalk, CA 90650, pursuant to Public Resources Code Section 21152 (b). Pursuant to Public Resources Code Section 21167 (d), the filing of this notice starts a 35-day statute of limitations on court challenges to the approval of the project. Failure to file this notice with the County Clerk results in the statute of limitations being extended to 180 days.

LEAD CITY AGENCY <b>City of Los Angeles Department of City Planning</b>	COUNCIL DISTRICT 1-Cedillo
----------------------------------------------------------------------------	-------------------------------

PROJECT TITLE Construction of a 17 unit apartment project with 29 parking spaces	LOG REFERENCE ENV-2017-2784-CE
-------------------------------------------------------------------------------------	-----------------------------------

PROJECT LOCATION 767 North Avenue 50
-----------------------------------------

DESCRIPTION OF NATURE, PURPOSE, AND BENEFICIARIES OF PROJECT: Presiding Priest of the Holy Virgin
------------------------------------------------------------------------------------------------------


NAME OF PERSON OR AGENCY CARRYING OUT PROJECT, IF OTHER THAN LEAD CITY AGENCY: Nassef Eskander
---------------------------------------------------------------------------------------------------

CONTACT PERSON Nassef Eskander	AREA CODE 626-233-1114	TELEPHONE NUMBER 	EXT. 
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EXEMPT STATUS: (Check One)		
	STATE CEQA GUIDELINES	CITY CEQA GUIDELINES
<input type="checkbox"/> MINISTERIAL	Sec. 15268	Art. II, Sec. 2b
<input type="checkbox"/> DECLARED EMERGENCY	Sec. 15269	Art. II, Sec. 2a (1)
<input type="checkbox"/> EMERGENCY PROJECT	Sec. 15269 (b) & (c)	Art. II, Sec. 2a (2) & (3)
<input checked="" type="checkbox"/> CATEGORICAL EXEMPTION	Sec. 15300 <i>et seq.</i>	Art. III, Sec. 1
Class <u>32</u> Category _____ (City CEQA Guidelines)		
<input type="checkbox"/> OTHER (See Public Resources Code Sec. 21080 (b) and set forth state and City guideline provision.		

JUSTIFICATION FOR PROJECT EXEMPTION: In-fill development meeting the conditions described in CEQA Guidelines 15332: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered, rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services.

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT ISSUED BY THE CITY PLANNING DEPARTMENT STATING THAT THE DEPARTMENT HAS FOUND THE PROJECT TO BE EXEMPT.

SIGNATURE 	TITLE CITY PLANNER	DATE 6/19/2018
FEE	RECEIPT NO.	REC'D. BY
		DATE

DISTRIBUTION: (1) County Clerk, (2) City Clerk, (3) Agency Record  
Rev. 11-1-03 **Rev. 1-31-06 Word**

IF FILED BY THE APPLICANT:

NAME (PRINTED)

SIGNATURE

DATE

**DEPARTMENT OF  
CITY PLANNING**

**CITY PLANNING COMMISSION**

SAMANTHA MILLMAN  
PRESIDENT

VAHID KHORSAND  
VICE-PRESIDENT

DAVID H. J. AMBROZ

CAROLINE CHOE

RENEE DAKE WILSON

KAREN MACK

MARC MITCHELL

VERONICA PADILLA-CAMPOS

DANA M. PERLMAN

ROCKY WILES  
COMMISSION OFFICE MANAGER  
(213) 978-1300

**CITY OF LOS ANGELES  
CALIFORNIA**



ERIC GARCETTI  
MAYOR

**EXECUTIVE OFFICES**

200 N. SPRING STREET, ROOM 525  
LOS ANGELES, CA 90012-4801

VINCENT P. BERTONI, AICP  
DIRECTOR

(213) 978-1271

KEVIN J. KELLER, AICP

EXECUTIVE OFFICER

(213) 978-1272

LISA M. WEBBER, AICP

DEPUTY DIRECTOR

(213) 978-1274

<http://planning.lacity.org>

**DIR-2016-2783-SPP-1A 767 North Avenue 50**

**Project Description:**

The project is the construction of a three (3)-story, 17 unit multiple family development with 29 parking spaces that is 36 feet in height. The project will provide 3,147.5 square feet of open space. The project, as proposed is an in-fill development that meets the following conditions described below:

In order to qualify for an Class 32 Categorical Exemption, pursuant to CEQA Section 15300.2 the project must be able to demonstrate that it does not fall under the following Exceptions/Justifications List Exemptions and Justifications from CE prepared for the project.

- a. Location Classes 3, 4,5,6, and 11 (Categorical Exemptions) are qualified by consideration of where the project is to be located - a project that is ordinarily insignificant in its impact on the environment may in a particularly sensitive environment be significant. Therefore, these classes are considered to apply to all instances, except where the project may impact on an environmental resources of hazardous or critical concern where designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies.

The project site is comprised of four lots totaling 25,121.64 square feet and is zoned RD2-1. The site is currently developed with a single family dwelling that will be demolished to make way for the project. The project is the construction of a three (3)-story, 17 unit multiple family development with 29 parking spaces that is 36 feet in height. The project will provide 3,147.5 square feet of open space.

The project is an infill development. According to the Sensitive Ecological Area Map dated February 2010 the subject site is not located within or near a sensitive environment. The project and successive projects of the same type in the same place will result in cumulative impacts of, over time is significant.

- b. The project and successive projects of the same type in the same place will result in cumulative impacts of, over time is significant.

The project is the construction of a three (3)-story, 17 unit multiple family development



with 29 parking spaces that is 36 feet in height. The project will provide 3,147.5 square feet of open space.

The City Council on June 15, 1999 certified EIR No. 90-0615-CPR (State Clearing House Number. 90010805), as part of the adoption of General Plan Amendments and Zone Changes updating the Northeast Los Angeles Community Plan. The EIR prepared for the Community Plan Revision anticipated that this project and successive projects of the same type in the same place will not result in cumulative impacts significant over time. No cumulative impacts are expected to be significant, as a result of construction of a by-right 17 unit multifamily development that complies with the Mount Washington-Glassell Park Specific Plan and the Los Angeles Municipal Code. There are unusual circumstances creating the reasonable possibility of significant effects.

- c. There are unusual circumstances creating the reasonable possibility of significant effects.

The project is the construction of a three (3)-story, 17 unit multiple family development with 29 parking spaces that is 36 feet in height. The project will provide 3,147.5 square feet of open space. The site is .57 acres in size. Properties to the east are developed with a mix of single and multiple family development and are zoned RD2-1; Properties to the south are developed with single family homes and are zoned R1-1; Properties to the west are developed with single family homes and are zoned R1-1; and Properties to the north are a mix of single and multiple family development developed and are zoned RD2-1. The Project is consistent with the applicable general plan designation and all applicable general plan policies, as well as, with the applicable zoning designation and regulations. There are no unusual circumstances could create the reasonable possibility of significant effects.

- d. The project may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a State Scenic Highway.

The project is not located on a property within a State Scenic Highway.

- e. The project is located on a site that the Department of Toxic Substances Control and the Secretary of Environmental Protection have identified, pursuant to Government Code Section 65962.5, as being affected by hazardous wastes or clean-up problems.; or

According to the Envirostor data base the subject project is not located within or within a 2,000 foot radius of any hazardous waste sites. The project may cause a substantial adverse change in the significance of a historical resource.

- f. The project may cause a substantial adverse change in the significance of a historical resource.

There are no significant historical resources located within 1,000 foot radius of the subject project site.

#### JUSTIFICATION FOR PROJECT EXEMPTION:

- a. Is the project consistent with the applicable general plan designation and all applicable general plan policies, as well as, with the applicable zoning designation and regulations?

Yes. The subject property is planned for Low Medium II Density Housing with corresponding zones of RD2 and RD1.5-1. The proposed project will create additional housing opportunities for City residents which is consistent with the City of Los Angeles objectives of the Housing Element and General Plan Framework. Based on the review of the plans the project will conform to the requirements of the Los Angeles Municipal Code and the Mount Washington-Glassell Park Specific Plan.

- b. Is the proposed development within the city limits and on a project site of no more than five acres substantially surrounded by urban uses?

Yes. The proposed development is located at 767 North Avenue 50 within the boundaries of the City of Los Angeles. The site is .57 acres in size and is surrounded by lots developed with single family dwellings and multiple-family development.

- c. Does the project site have any value as habitat for endangered, rare or threatened species?

No. The project site is developed with a single family home and a garage. The site has not been identified as containing species identified as candidate, sensitive, or regional plans, policies or regulations by the California Department of Fish and Game or U.S. Fish and Wildlife Services

- d. Will approval of the project result in any significant effects relating to traffic, noise, air quality, or water quality?

Traffic. No. The proposed project falls below the threshold of requiring a traffic study. The project will not result in any significant effects relating to traffic.

Noise. No. The current California State Title 24 Building Code requirements and the and the Los Angeles Municipal Code Noise Ordinance regulates the level of construction noise and limits the hours of construction activity which will result in a less than significant noise level.

Air Quality. No. Any air quality impacts because it falls below interim air threshold established by the Department of Planning Department (DCP) (80 dwelling units or 20,000 cubic yards of grading). Interim thresholds were developed by DCP staff based on running CalEEMod model runs relying on reasonable assumptions, consulting with AQMD staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established SCAQMD construction and operational thresholds."

Water Quality. No. The City's Low Impact Development standards that are required for all construction projects which will protect the existing water quality.

- e. Can the site be adequately served by all required utilities and public services?

Yes. The proposed project will be served by water and power from the City's Department of Water and Power, natural gas from the Southern California Gas Company and the project will be connected to the City's sanitary sewer system. The City's Police and Fire Departments have the necessary resources to protect this proposed use. The area is served by Fire Station 55 located at 4455 East York Boulevard.

DIR-2017-2783-SPP-1A  
767 North Avenue 50

Exhibit D

Project Plans

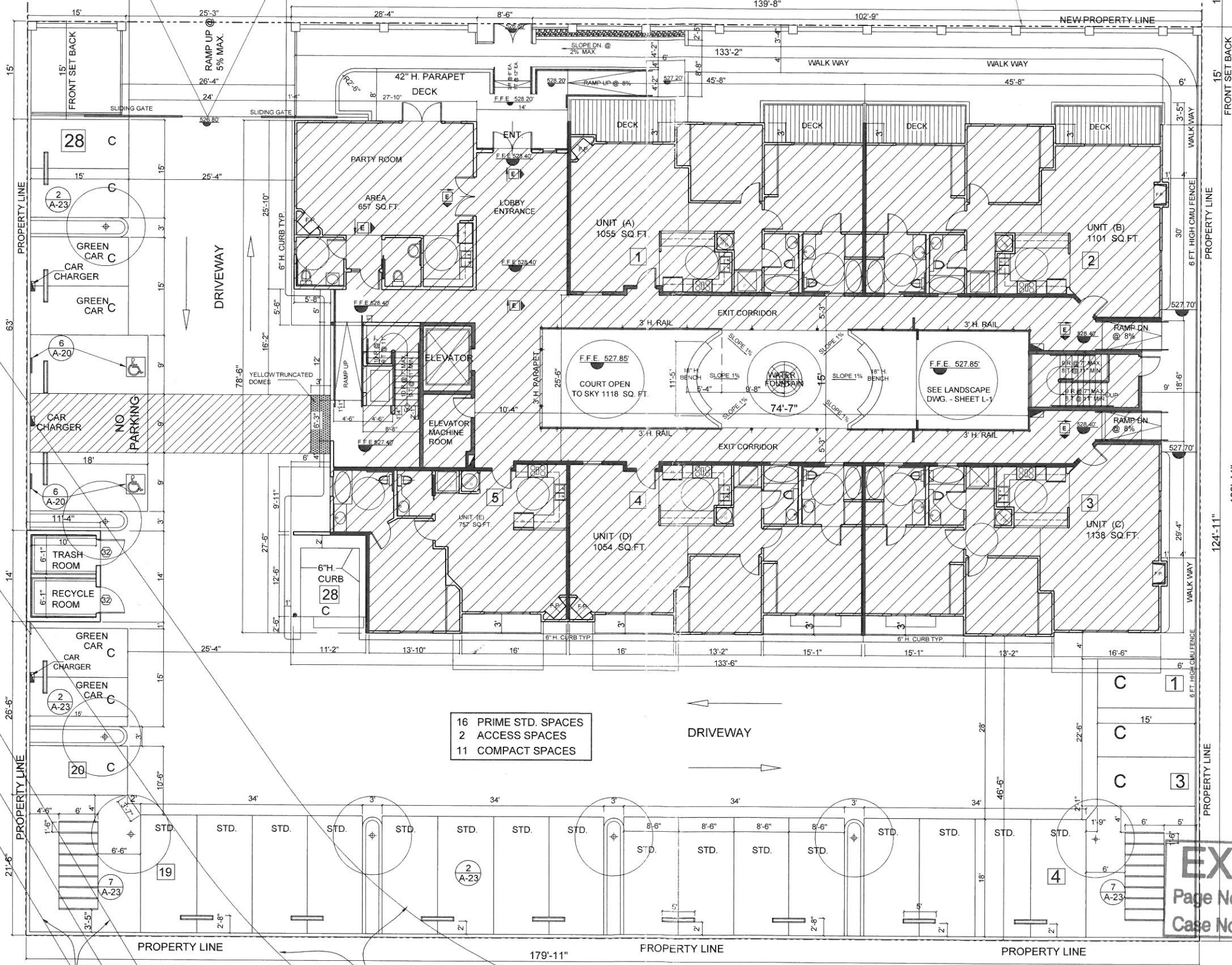
AVE. 50

HWY DEDICATION

HWY DEDICATION

HWY DEDICATION

NEW PROPERTY LINE



16 PRIME STD. SPACES  
2 ACCESS SPACES  
11 COMPACT SPACES

DRIVEWAY

**EXHIBIT "A"**  
Page No. 17 of 12  
Case No. 17-2783

**PLOT PLAN**

REVISION



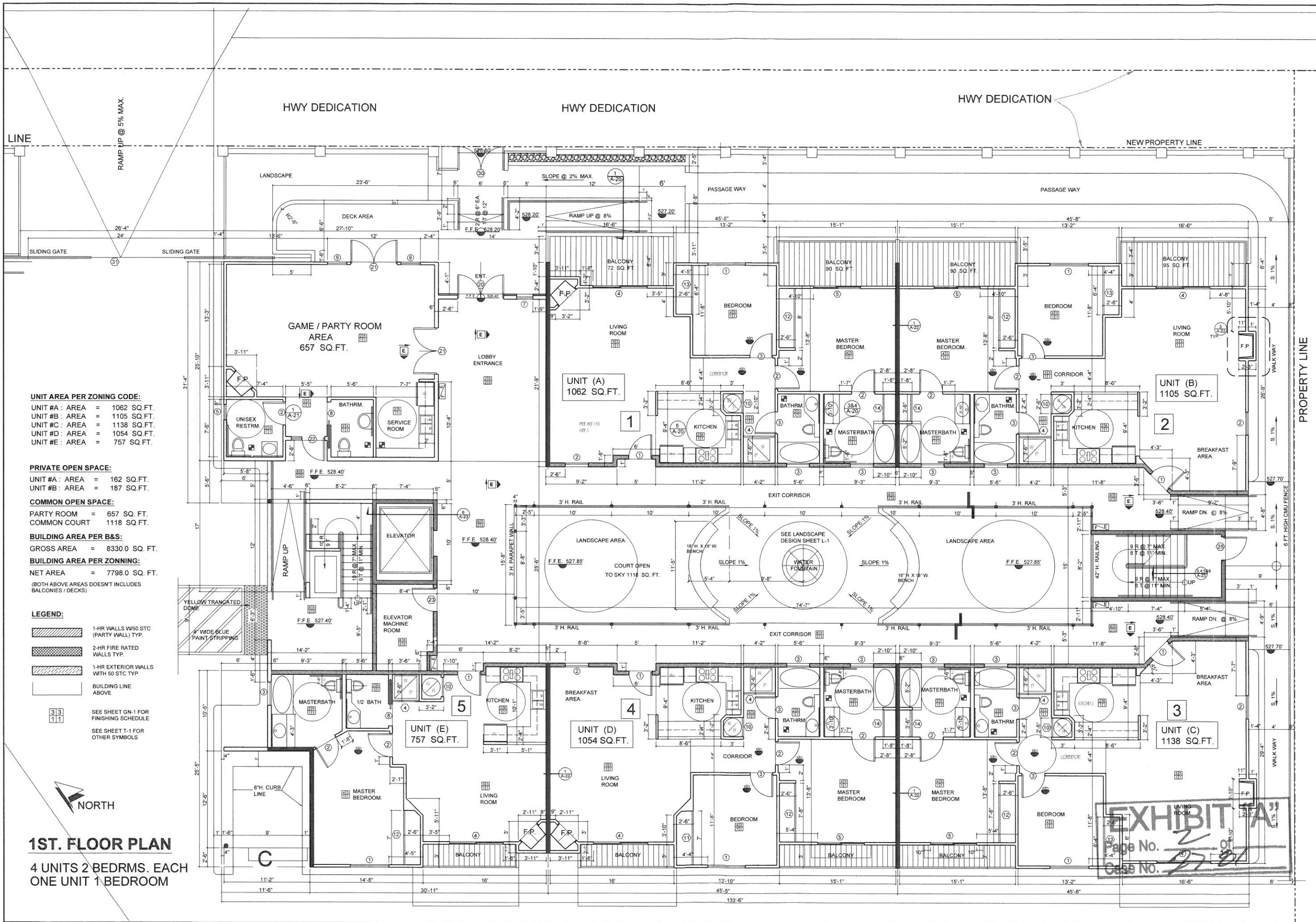
**ST. MARY CHURCH**  
17 UNITS SENIOR HOUSING PROJECT  
767 NORTH 50th AVE., LA. 90042  
  
THE PRESIDING PRIEST OF  
THE HOLLY VIRGIN MARY  
4900 CLELAND AVE., LA. 90042

**NASSEF A. ESKANDER & ASSOCIATES**  
76 WEST PAMELA ROAD  
ARCADIA, CA. 91007  
TEL. (626) 447-2700  
CEL. (626) 233-1114  
FAX. (626) 447-7773  
nassef@eska.com

PROJECT NO. 2016-16  
SCALE 1/8" = 1'  
DATE DEC., 2016  
JOB CAPTAIN NE  
DRAWN BY NE  
CHECKED BY NE  
SHEET NO.

**A - 0**

PROJECT NO. SHEET NO. OF SHEETS



REVISION



**ST. MARY CHURCH**  
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FAX. (626) 447 - 1773  
nassef4647@yahoo.com

PROJECT NO.  
2016 - 16

SCALE  
3/16" = 1'

DATE DEC., 2016

JOB CAPTAIN NE

DRAWN BY NE

CHECKED BY NE

SHEET NO.

**A - 1**

OF SHEETS



NEW PROPERTY LINE

NEW PROPERTY LINE

REVISION



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nassef4647@yahoo.com

PROJECT NO.  
2016-16

SCALE  
1/8" = 1'

DATE DEC., 2016

JOB CAPTAIN NE

DRAWN BY NE

CHECKED BY NE

SHEET NO.

**A - 2**

OF SHTS

PROJECT NO. SHEET OF SHEETS

**UNIT AREA PER ZONING CODE:**

UNIT A : AREA = 1048 SQ.FT.  
UNIT B : AREA = 1097 SQ.FT.  
UNIT C : AREA = 1113 SQ.FT.  
UNIT D : AREA = 1057 SQ.FT.  
UNIT E : AREA = 1030 SQ.FT.  
UNIT F : AREA = 1092 SQ.FT.

**PRIVATE OPEN SPACE:**

UNIT A : AREA = 72 SQ.FT.  
UNIT B : AREA = 96 SQ.FT.  
UNIT C : AREA = 112 SQ.FT.  
UNIT D : AREA = 84 SQ.FT.  
UNIT E : AREA = 76 SQ.FT.  
UNIT F : AREA = 72 SQ.FT.

**BUILDING AREA PER B&S:**

GROSS AREA = 8557.0 SQ. FT.

**BUILDING AREA PER ZONING:**

NET AREA = 8025.0 SQ. FT.

(BOTH ABOVE AREAS DOESN'T  
INCLUDES BALCONIES / DECKS)

**LEGEND:**

- 1-HR WALLS W/50 STC  
(PARTY WALL) TYP.
- 2-HR FIRE RATED  
WALLS TYP.
- 1-HR WALLS WITH  
50 STC TYP.

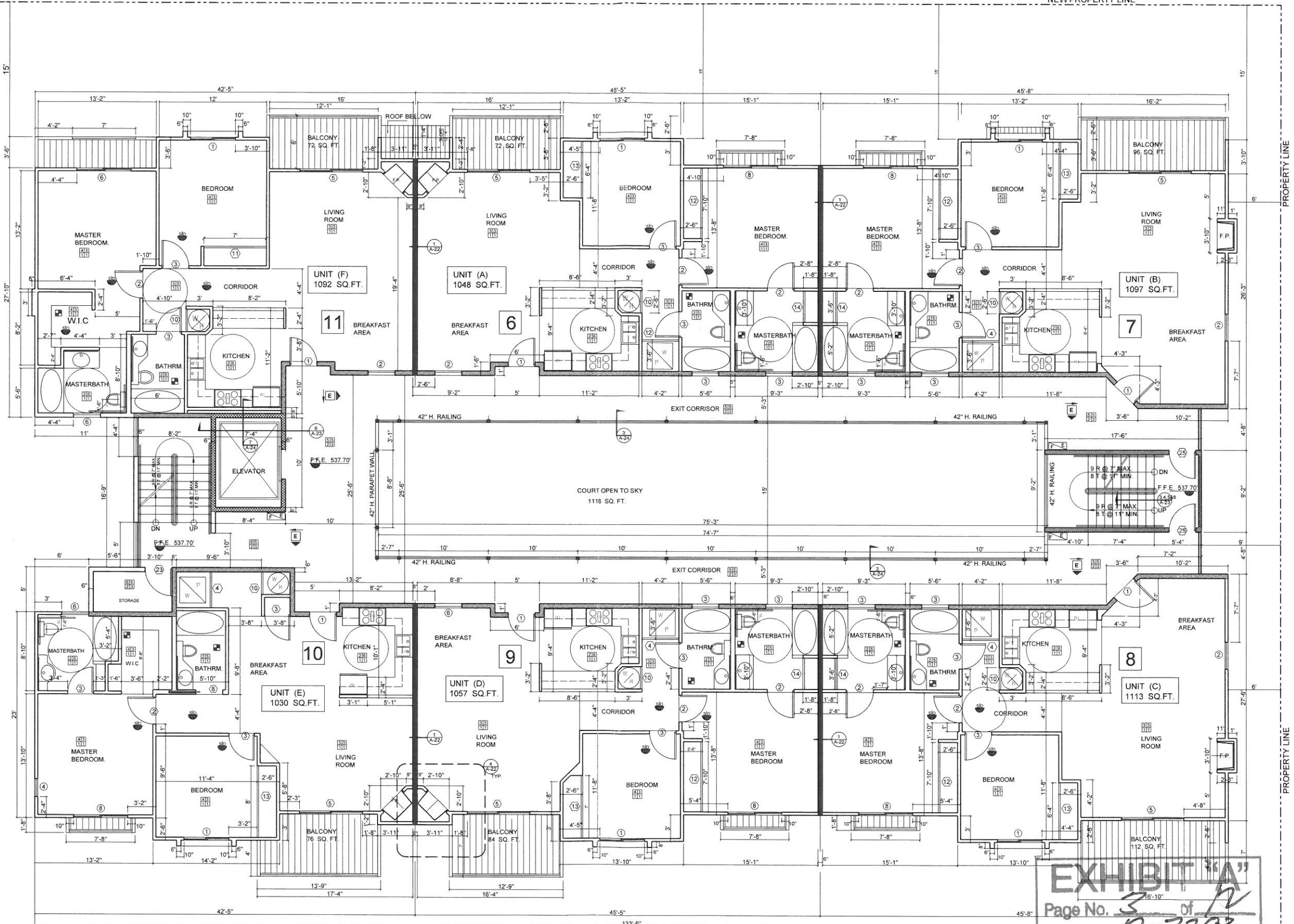
SEE SHEET GN-1 FOR  
FINISHING SCHEDULE

SEE SHEET T-1 FOR  
OTHER SYMBOLS



**2nd FLOOR PLAN**

6 UNITS 2 BEDROOMS EACH



**EXHIBIT "A"**  
Page No. 3 of 12  
Case No. 17-2703

NEW PROPERTY LINE

NEW PROPERTY LINE

REVISION



**ST. MARY CHURCH**  
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nassef4647@yahoo.com

PROJECT NO.  
2016 - 16

SCALE  
1/8" = 1'

DATE DEC., 2016

JOB CAPTAIN NE

DRAWN BY NE

CHECKED BY NE

SHEET NO.

**A - 3**

PROJECT NO. 2016 - 16  
SHEET OF SHEETS

**UNIT AREA PER ZONING CODE:**

UNIT A : AREA = 1048 SQ.FT.  
UNIT B : AREA = 1097 SQ.FT.  
UNIT C : AREA = 1113 SQ.FT.  
UNIT D : AREA = 1057 SQ.FT.  
UNIT E : AREA = 1030 SQ.FT.  
UNIT F : AREA = 1092 SQ.FT.

**PRIVATE OPEN SPACE:**

UNIT A : AREA = 72 SQ.FT.  
UNIT B : AREA = 96 SQ.FT.  
UNIT C : AREA = 112 SQ.FT.  
UNIT D : AREA = 84 SQ.FT.  
UNIT E : AREA = 76 SQ.FT.  
UNIT F : AREA = 72 SQ.FT.

**BUILDING AREA PER B&S:**

GROSS AREA = 8557.0 SQ. FT.

**BUILDING AREA PER ZONING:**

NET AREA = 8025.0 SQ. FT.

(BOTH ABOVE AREAS DOESN'T  
INCLUDES BALCONIES / DECKS)

**LEGEND:**

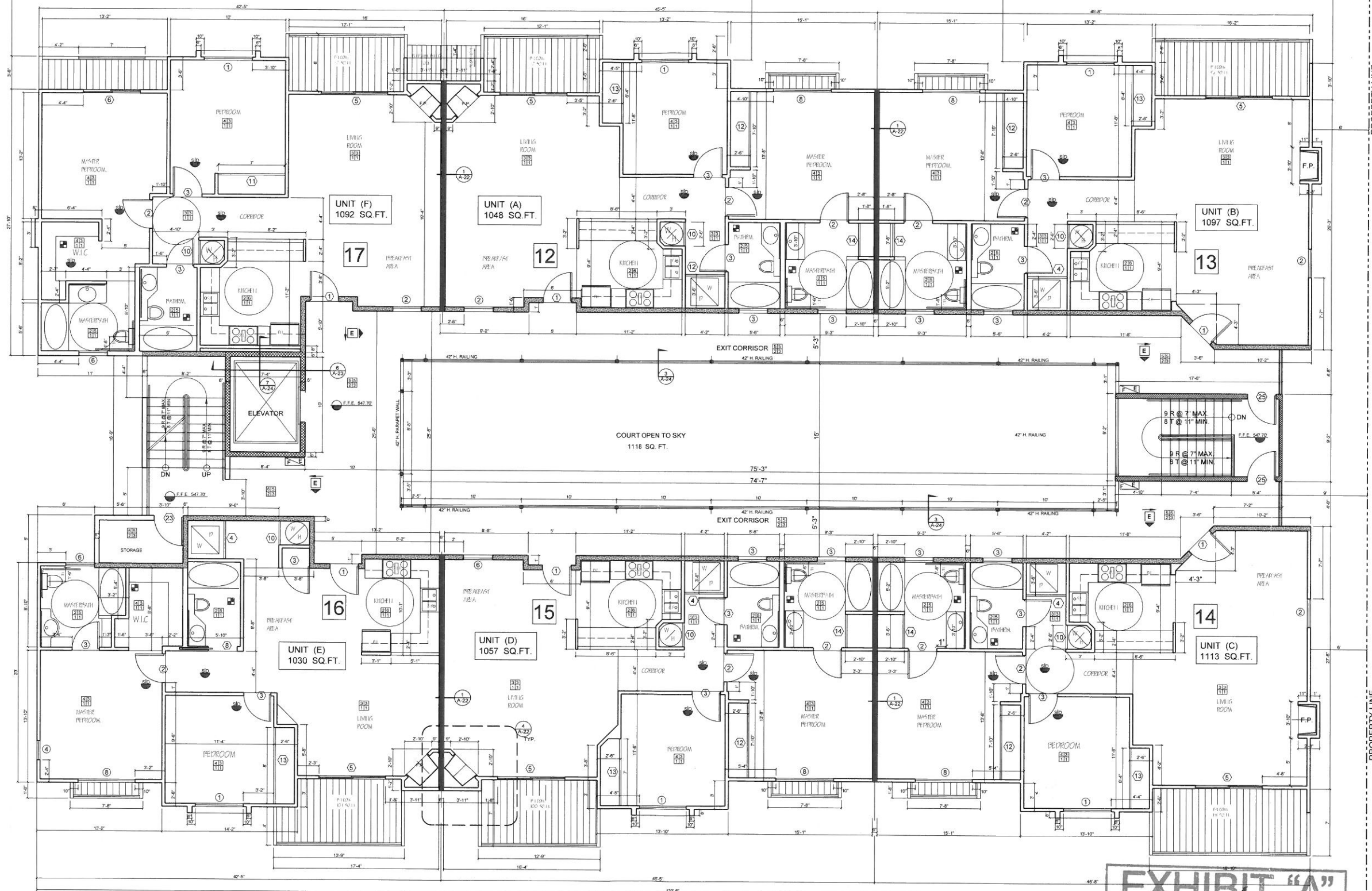
- 1-HR WALLS W/50 STC (PARTY WALL) TYP.
- 2-HR FIRE RATED WALLS TYP.
- 1-HR WALLS WITH 50 STC TYP.

33 SEE SHEET GN-1 FOR  
111 FINISHING SCHEDULE

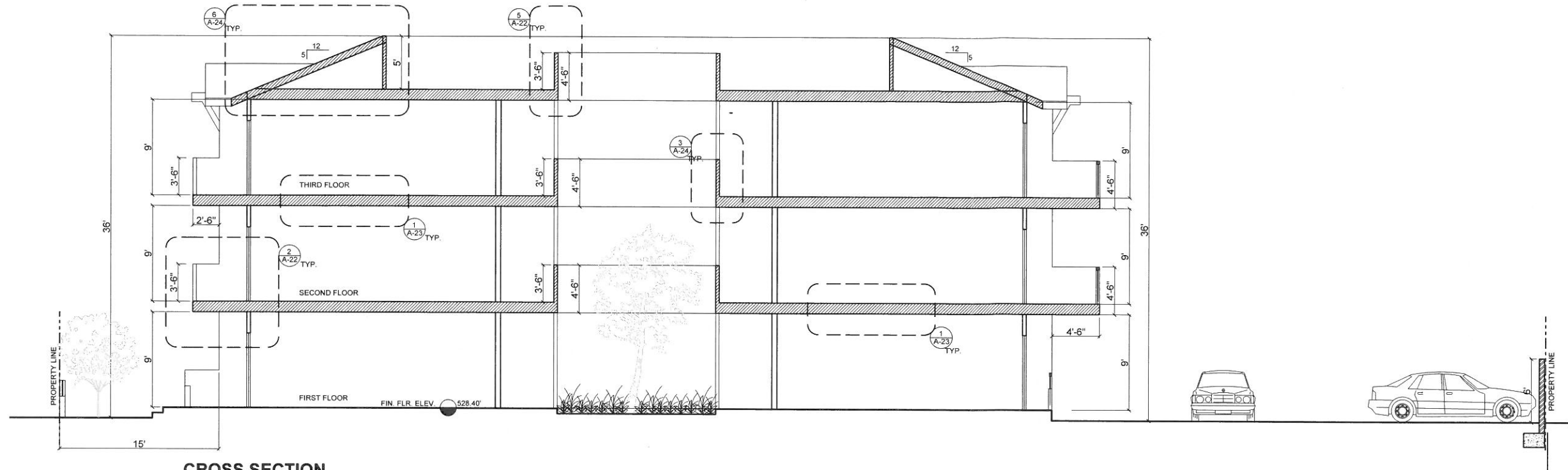
SEE SHEET T-1 FOR  
OTHER SYMBOLS



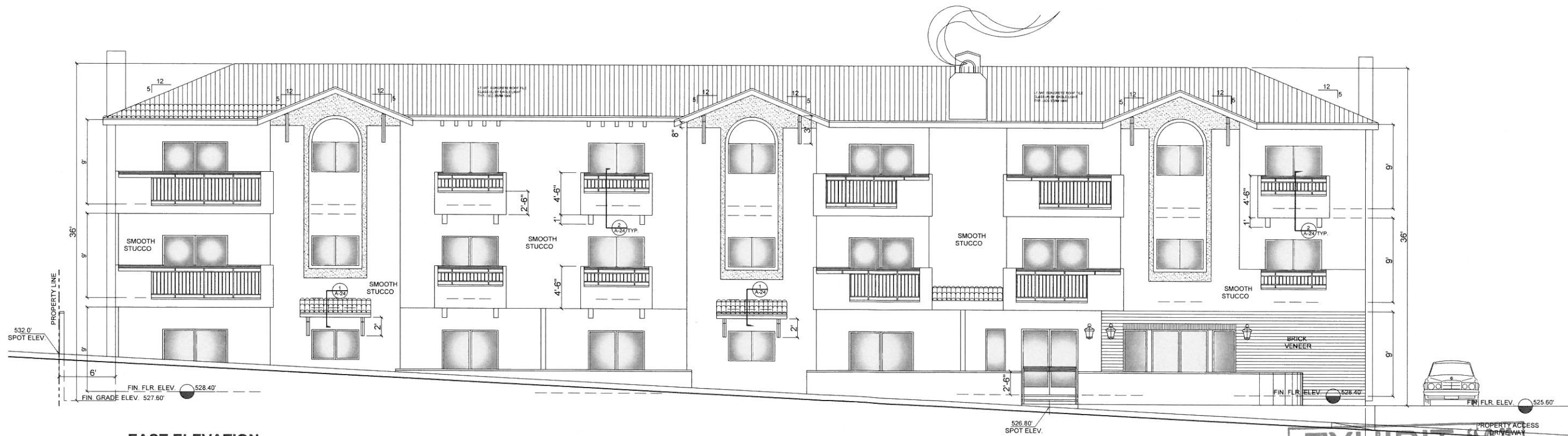
**3rd FLOOR PLAN**  
6 UNITS 2 BEDROOMS EACH



**EXHIBIT "A"**  
Page No. 4 of 12  
Case No. 17-2017



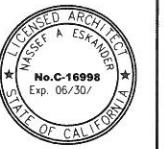
CROSS SECTION



EAST ELEVATION

**EXHIBIT "A"**  
 Page No. 5 of 12  
 Case No. 17-2283

REVISION



**ST. MARY CHURCH**  
 17 UNITS SENIOR HOUSING PROJECT  
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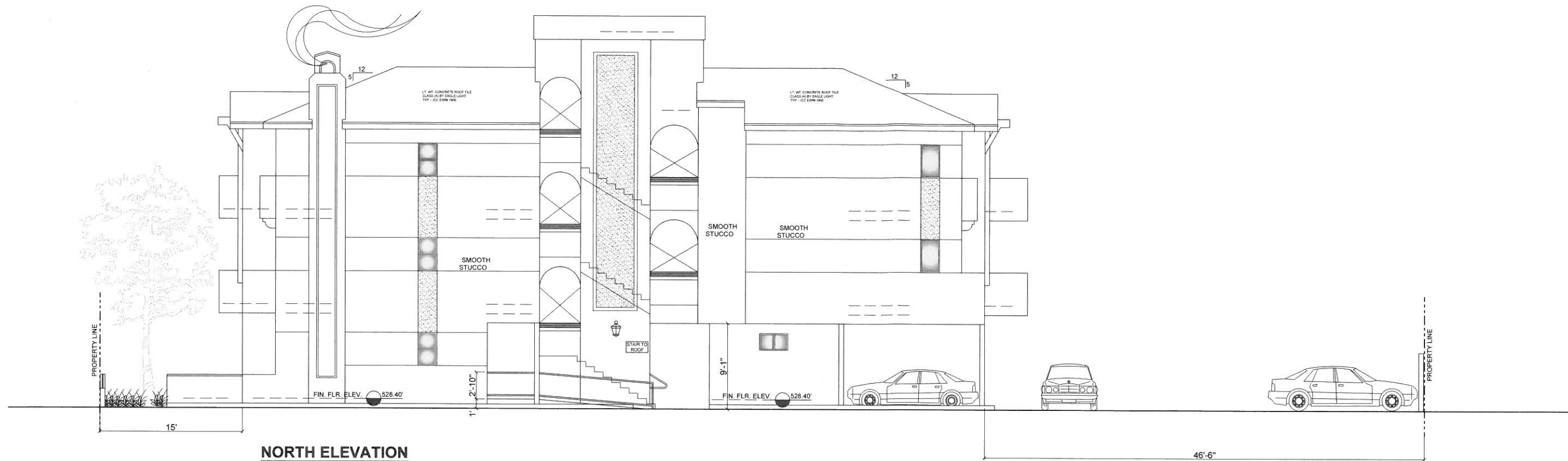
PROJECT NO. 2016 - 16  
 SCALE 3/16" = 1'  
 DATE DEC., 2016  
 JOB CAPTAIN NE  
 DRAWN BY NE  
 CHECKED BY NE  
 SHEET NO.

**A - 5**

OF SHEETS

PROJECT NO. OF SHEET



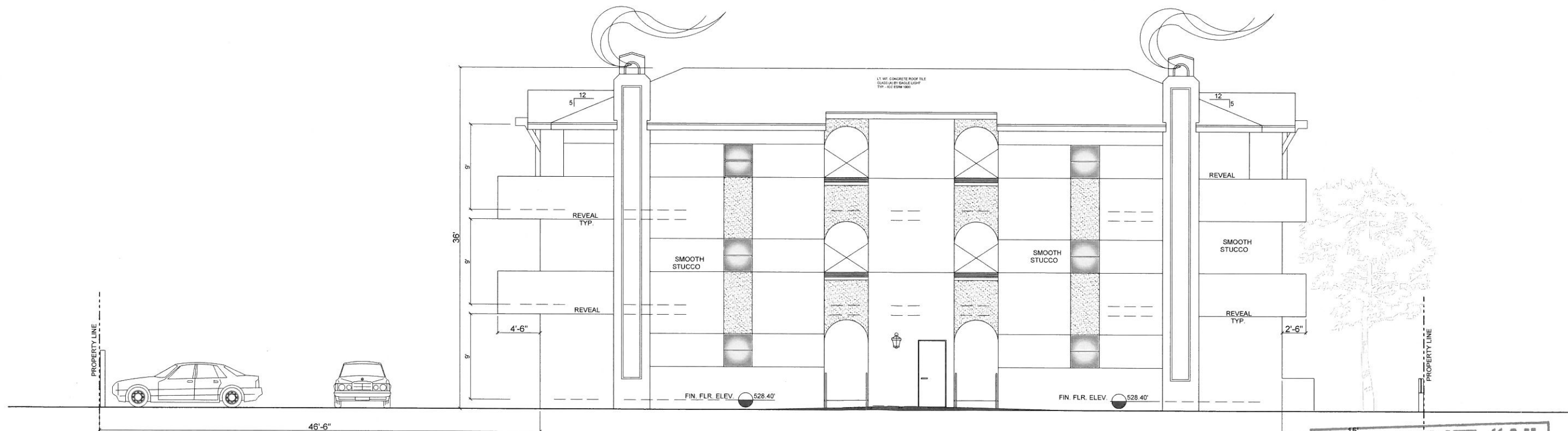


**NORTH ELEVATION**

LEGEND:



OPENING  
NO WINDOWS



**SOUTH ELEVATION**

LEGEND:



OPENING  
NO WINDOWS

**EXHIBIT "A"**  
Page No. *6* of *12*  
Case No. *17-2783*

REVISION



**ST. MARY CHURCH**  
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767 NORTH 50th AVE., LA. 90042

THE PRESIDING PRIEST OF  
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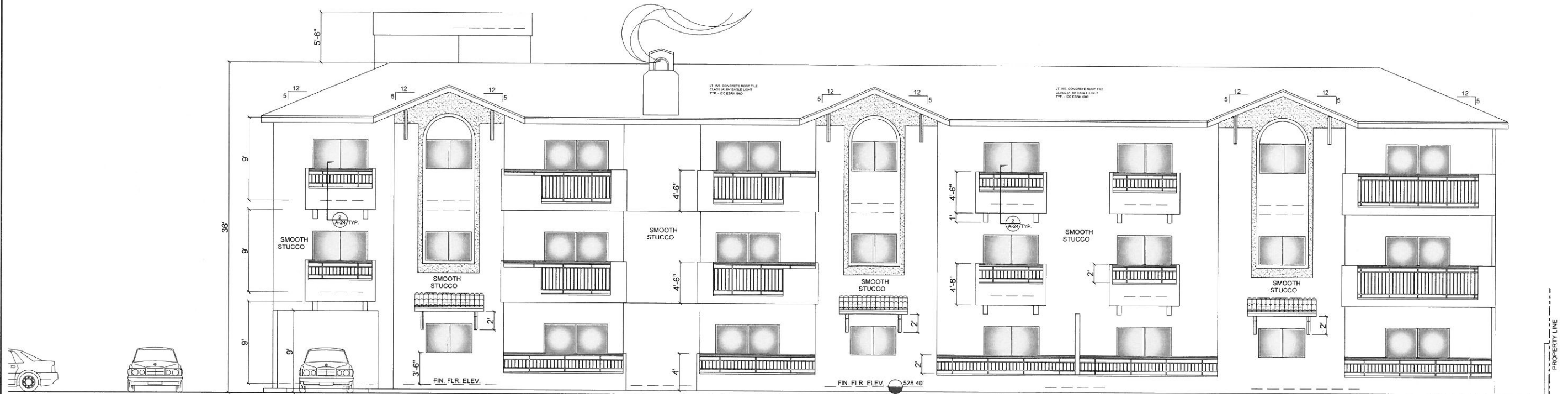
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nassey4647@yahoo.com  
(626) 447-2700  
CEL. (626) 233-1114  
FAX. (626) 447-7773

PROJECT NO.  
2016 - 16  
SCALE  
3/16" = 1'  
DATE DEC., 2016  
JOB CAPTAIN NE  
DRAWN BY NE  
CHECKED BY NE  
SHEET NO.

**A - 6**

OF SHEETS

PROJECT NO. - SHEET OF SHEETS



WEST ELEVATION

REVISION	



**ST. MARY CHURCH**  
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FAX. (626) 447 - 7773

PROJECT NO. 2016-16  
SCALE 3/16" = 1'  
DATE DEC., 2016  
JOB CAPTAIN NE  
DRAWN BY NE  
CHECKED BY NE  
SHEET NO.

**A - 7**  
OF SHTS

**EXHIBIT "A"**  
Page No. 7 of 12  
Case No. 17-2283

PLANTING NOTES

- DRAWING IS DIAGRAMMATIC; CONTRACTOR TO VERIFY ALL LOCATIONS AND CONDITIONS ON SITE. COUNT ALL PLANT MATERIAL BEFORE BIDDING.
- CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS ON SITE AND LOCATE ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR TO REPAIR AT HIS OWN EXPENSE ALL PROPERTY DAMAGE WHICH OCCURS DURING PROJECT INSTALLATION.
- NOTE ADDITIONAL REMARKS ON SPECIFIC PLANTS IN PLANT LIST.
- ALL EXISTING PLANT MATERIAL TO BE REMOVED EXCEPT WHERE NOTED ON PLAN.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR 90 DAYS FROM THE DATE OF ACCEPTANCE BY OWNER. PALM TO BE GUARANTEED FOR THE PERIOD OF 1 YEAR.
- FINISH GRADE TO BE 2" BELOW ALL WALKS, CURBS, AND PAVING.
- ALL PLANTED AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1,000 SQ. FT. OF SURFACE AREA. ROTO-TILL AMENDMENTS TO A DEPTH OF 6"
  - \*150 LBS. GRO-POWER
  - \*3 CU YDS NITROGENIZED, MINERALIZED FIR BARK
  - \*ADD 8 LBS OF GRO-POWER CONTROLLED RELEASE 12-8-8 PER CU YD OF MIX.

- PLANT HOLE TO BE TWICE AS WIDE AND DEEP AS THE PLANT ROOT BALL. BACKFILL AND COMPACT TO 80 % SOIL OF SITE AND 20 % FIR BARK, AS DEFINED IN #8. PROVIDE GRO-POWER PLANT TABLETS AT THE FOLLOWING RATES:

5 GAL	6-9
24" box	14-16

PLACE RECOMMENDED TABLETS BETWEEN THE BOTTOM AND THE TOP OF THE ROOT BALL BUT NO HIGHER THAN 1/3 OF THE WAY UP TO THE TOP OF THE ROOT BALL. SPACE TABLETS EQUALLY AROUND THE PERIMETER OF THE ROOT BALL APPROXIMATELY 2" FROM THE ROOT TIPS. PALM TREES ARE NOT TO RECEIVE TABLETS.
- ALL PROPOSED SHRUBS AND GROUND COVER AREAS ARE TO BE TREATED WITH A PRE-EMERGENT WEED KILLER (EPTAM / RONSTAR). APPLY PER MANUFACTURER'S SPECIFICATIONS: A) IMMEDIATELY AFTER PLANTING, B) AT THE BEGINNING OF THE MAINTENANCE PERIOD, AND C) AT THE END OF THE MAINTENANCE PERIOD.
- CONTRACTOR TO INSTALL AND MAINTAIN LANDSCAPE PLANTING IN ACCORDANCE WITH THE GOVERNING AGENCY'S GUIDELINES AND SPECIFICATIONS UNLESS NOTED OTHERWISE IN THESE NOTES OR ON THE PLANS.
- SOIL SAMPLES TAKEN FROM VARIOUS LOCATIONS IN THE PLANTING AREAS WILL BE SENT TO A SOIL LAB FOR PROFESSIONAL ANALYSIS AND RECOMMENDATIONS FOR SOIL IMPROVEMENT. CONTRACTOR TO FOLLOW SOIL TESTING RECOMMENDATIONS.
- USE OF CLASS I OR CLASS II COMPOST PRODUCED USING CITY ORGANIC MATERIALS IN A MAJORITY OF LANDSCAPE AREAS

TREE LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
○	* Agonis flexuosa	Peppermint Tree	24"box	2		low 0.3
○	* Laurus nobilis	Sweet Bay	15-gal	6	multi trunk	low 0.3
○	* Geijera parviflora	Australian Willow	24"box	8		low 0.3

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
✱	* Aeonium a. 'Purple Queen'	Berkeley Sedge	5-gal	14		low 0.3
✱	Carex divulsa	Bush Anemone	5-gal	24"oc		low 0.3
✱	Carpenteria californica	Cape Rush	5-gal	5		low 0.3
✱	Chondropetalum tectorum	Kaffir Lily	5-gal	14		low 0.3
✱	Clivia miniata		5-gal	16		low 0.3
✱	Cordyline a. 'Red Star'		5-gal	12		low 0.3
✱	* Dietes bicolor	Fortnight Lily	5-gal	58		low 0.3
✱	Echeveria imbricate / Hen and Chick		1-gal	4"oc	w/ crushed rocks Palm Spring Gold	low 0.3
✱	* Euphorbia c. 'Bruce's Dwarf'	Bruce's Dwarf Euphorbia	5-gal	15		low 0.3
✱	* Nandina domestica	Heavenly Bamboo	5-gal	2		low 0.3
✱	* Rhaphiolepis umbellata 'Minor'		5-gal	35		low 0.3
✱	Sedum r. 'Angelina'	Angelina Stonecrop	1-gal	18"oc		low 0.3
✱	Senecio scaposus		flats	1"oc		low 0.3

- \* Points claimed  
2" deep Mexican Pebble 1/2" size w/ stabilizer

All trees to be planted with commercial root barriers.  
2" deep shredded Cedar bark to spread between plants.

NOTE:  
All groundcover areas where plants are 4" or greater to have 2 layers of geotextile fabric in 2 different directions geotextile fabric installed 3" below finished grade w/ 3" shredded bark above to eliminate weed growth.

NOTE:  
Waterproofing and drains in planters by others.

A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST AT A RATE OF A MINIMUM OF 4 CUBIC YARDS PER 1,000 SF OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO SOIL.

Landscape Points		
Total square footage		25,200.00 sf
Total number of points required for site		10
Detail of points		
Use of Class I or Class II compost produced using City organic materials in a majority of landscape areas	Points Claimed	Reference
	5	L-1
Off site recycling of vegetative waste	5	L-1
TOTAL POINTS	10	
Water Management Points		
Total square footage of site		25,200.00 sf
Total number of points required for site		300
Detail Of Points		
Points 2 per plant 187 plants	Points Claimed	Reference
	376	L-1
TOTAL POINTS	376	

EXHIBIT "A"  
Page No. 376 of 377  
Case No. 17-2303

REVISIONS	DATE
1.	
2.	
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9.	



ASLA  
Yael Lir Landscape Architects  
1010 Sycamore Ave. Suite 313  
South Pasadena, CA 91030  
Tel 323.258.5222  
Fax 323.258.5333  
yael@yaelir.com

ST. MARY CHURCH  
760 NORTH 50TH AVE.  
LOS ANGELES, CA 90042

PLANTING PLAN



DATE: DEC. 12, 2016  
SCALE: 1"=10'  
JOB NUMBER: 189316  
DRAWN BY:

L-1



# WATER EFFICIENT LANDSCAPE WORKSHEET

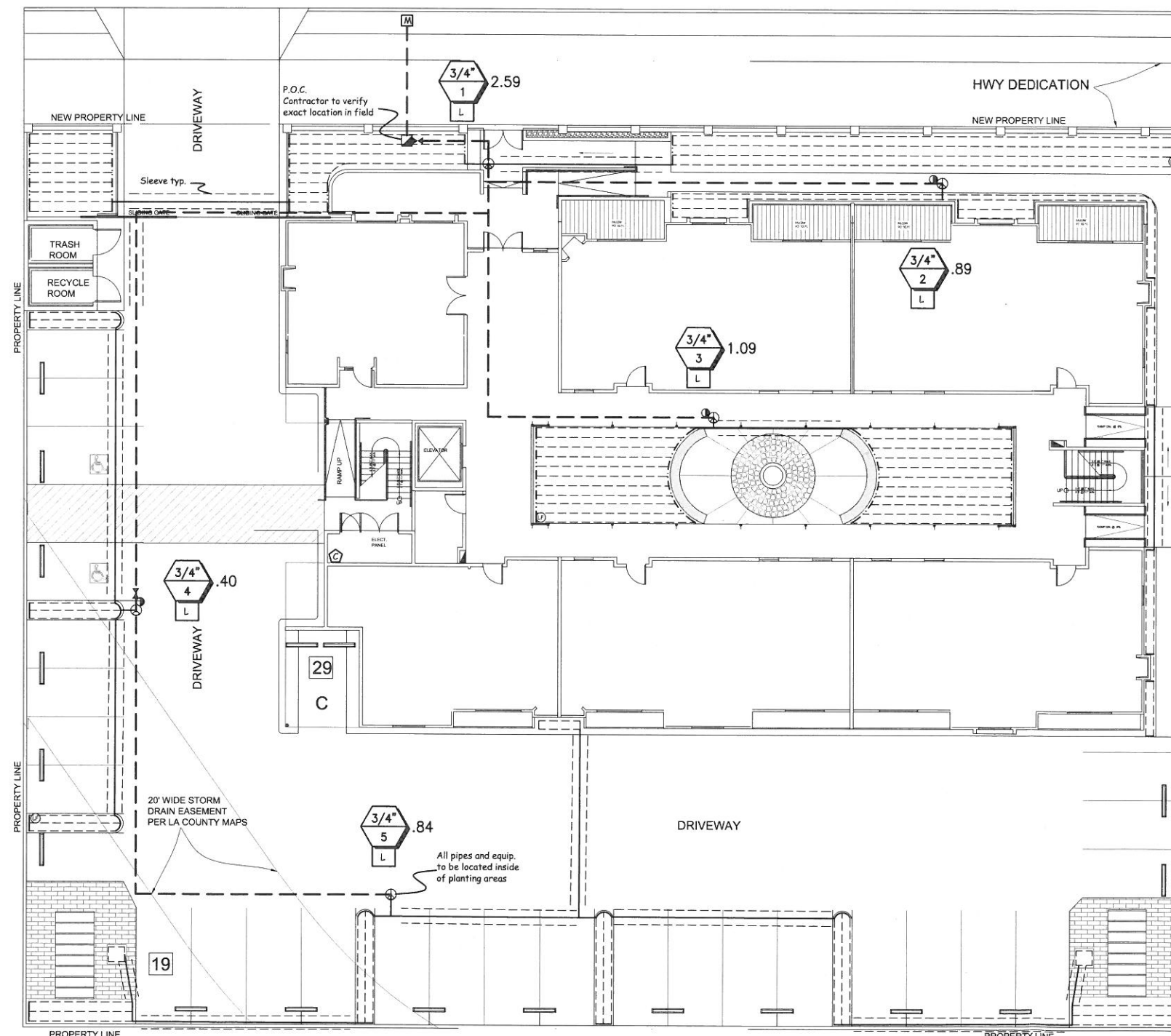
REFERENCE EVAPOTRANSPIRATION (ET<sub>0</sub>): 50.1

HYDROZONE / PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	LANDSCAPE AREA	ETAF x AREA	ESTIMATED TOTAL WATER USE
1 / water use plants	.3	DRIP	.81	.37	875	323	10,033
2 / water use plants	.3	DRIP	.81	.37	300	111	3,447
3 / water use plants	.3	DRIP	.81	.37	370	136	4,224
4 / water use plants	.3	DRIP	.81	.37	135	49	1,522
5 / water use plants	.3	DRIP	.81	.37	285	105	3,261
Fountain	1.0		-	1.0	7	7	217
				SUM	1,972	731	
				ESTIMATED TOTAL WATER USE (ETWU)			23,004
				MAXIMUM APPLIED WATER ALLOWANCE (MAWA)			27,564

## ETAF CALCULATION







ETAF x AREA	731
TOTAL AREA	1,972
AVERAGE ETAF	.37

AVE. 50



ALL IRRIGATION IS SUB-SURFACE DRIP SYSTEM

## IRRIGATION LEGEND

DESCRIPTION		SYM.	
'NIBCO' GATE VALVE T-113 'CHRISTY' CONCRETE VALVE BOX 'RAINBIRD' QUICK COUPLER 44 LRC 1" 'WILKINS' BACKFLOW PREVENTER 375 'HUNTER' SOLAR SYNC WEATHER SENSOR 'TORO' CUSTOM COMMAND SLEEVING SCH. 40 P.V.C. PRESSURE LINE CLASS 315 PVC NON-PRESSURE LINE SCH. 40 P.V.C. POINT OF CONNECTION	      ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- ----- 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SIZE NO. GPM  
H- HYDROZONE

LANDSCAPE AREA: 1,972 SF  
IRRIGATION WATER SUPPLY TYPE: POTABLE WATER SUPPLY

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS"

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICE.

A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS OR A LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT COMPLETE LANDSCAPE DOCUMENTATION PACKAGE  
Jan 12/13/2016

A DIAGRAM OF THE IRRIGATION PLAN SHOWING THE HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSE

CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR

## IRRIGATION NOTES

1. THIS DESIGNER HAS EXAMINED ALL IRRIGATION LAYOUTS AND SPECIFICATIONS SHOWN WITHIN THE PLANS AND HAS FOUND THEM TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ORDINANCE.
2. SEE PLANS FOR ALL IRRIGATION LAYOUTS AND SPECIFICATIONS.
3. ALL SPRINKLER HEADS ARE TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ORDINANCE.
4. PIPES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ORDINANCE.
5. FINAL LOCATION OF ALL IRRIGATION LAYOUTS SHALL BE APPROVED BY THE LANDSCAPE CONTRACTOR.
6. 12" VENTED ELECTRIC VALVE SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ORDINANCE.
7. BEFORE CONSTRUCTION, THE DESIGNER SHALL BE NOTIFIED BY THE LANDSCAPE CONTRACTOR OF ANY CHANGES TO THE IRRIGATION LAYOUT.
8. ALL SPRINKLER HEADS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ORDINANCE.
9. THE DESIGNER SHALL BE NOTIFIED BY THE LANDSCAPE CONTRACTOR OF ANY CHANGES TO THE IRRIGATION LAYOUT.
10. IT IS THE DESIGNER'S RESPONSIBILITY TO PROVIDE ADEQUATE IRRIGATION FOR ALL AREAS OF THE PROPERTY.
11. THE DESIGNER SHALL BE NOTIFIED BY THE LANDSCAPE CONTRACTOR OF ANY CHANGES TO THE IRRIGATION LAYOUT.
12. THE DESIGNER SHALL BE NOTIFIED BY THE LANDSCAPE CONTRACTOR OF ANY CHANGES TO THE IRRIGATION LAYOUT.
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19. THE DESIGNER SHALL BE NOTIFIED BY THE LANDSCAPE CONTRACTOR OF ANY CHANGES TO THE IRRIGATION LAYOUT.

REVISIONS	DATE
1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	
9.	

**Yael**  
ASLA  
Yael Lir Landscape Architects  
1010 Sycamore Ave. Suite 313  
South Pasadena, CA 91030  
Tel 323.258.5222  
Fax 323.258.5333  
yael@yaellir.com

ST. MARY CHURCH  
760 NORTH 50TH AVE.  
LOS ANGELES, CA 90042

## IRRIGATION PLAN



**EXHIBIT "A"**  
Page No. 9 of 12  
Case No. 13-2785

DATE: DEC. 12, 2016  
SCALE: 1"=10'  
JOB NUMBER: 189316  
DRAWN BY:



**ST. MARY SENIOR CITIZEN  
HOUSING PROJECT**  
AUGUST 2017

**EXHIBIT "A"**  
Page No. 10 of 12  
Case No. 17-2703

**EXTERIOR RENDERING**



**ST. MARY SENIOR CITIZEN  
HOUSING PROJECT**  
AUGUST 2017

**FRONT ELEVATION  
AVE. 50 ELEVATION**

**EXHIBIT "A"**  
Page No. 11 of 12  
Case No. 17-2203



**ST. MARY SENIOR CITIZEN  
HOUSING PROJECT**  
AUGUST 2017

**REAR ELEVATION**

**EXHIBIT "A"**  
Page No. 12 of 12  
Case No. 17-2783

DIR-2017-2783-SPP-1A  
767 North Avenue 50

## Exhibit E

Grading Pre-Inspection and  
LADBS Grading Division  
Soils Approval Letter



pcam\_prod\_thin



City of Los Angeles  
**Department of Building  
and Safety**

Current  
Version 1

### Grading Pre-Inspection Report

Address: **767 N AVENUE 50**

Council District: **1**

Permit Application: **16030-20000-09744**

Work Description:

**GPI AND POSTING FOR (N) 17 UNIT SENIOR HOUSING COMPLEX**

Inspector/Telephone: **ROBERT HUGHES, (213) 482-0398**

Inspection District: **LA**

Inspection Date: **01/11/2017**

Property Posted: **Yes**

Posting Date: **1-11-2017** Posting Fees Paid? **Yes**

Tract: **HIGHLAND PARK EXTENSION** Block: **BLK 2**

Lot(s): **4** ARB: County Ref No: **MP 3-10**

Approved Graded Lot: **No**

Fill Over 100 Feet: **No**

Slope of Surface: **Descending**

Fill: degrees Height: ft in

Natural: **30:1** degrees Height: **6**ft in

Sewer Available: **Unknown**

Site is **Below** Street

Condition of Street for Drainage Purposes **a/c** Recommended Termination of Drainage **to street**

Driveway Grade: **% - Proposed**

Bearing Value:

Buttress Fill: **No**

Natural Soil Classification 1804.2: **clayey silt**

Cut: degrees Height: ft in

Slide Area: **No**

PSDS Sized Per Code: **Unknown**

Roof Gutters: **Yes**

Maximum Rough Grade Allowed: **%**

**GRADING APPROVAL TO ISSUE PERMIT(S)**

☐ OK TO ISSUE. SEE BELOW FOR COMMENTS.

☒ DO NOT ISSUE UNTIL BELOW REQUIREMENTS HAVE BEEN SATISFIED.

X	1. A grading permit is required for <b>excavation and backfill</b> .
	2. A retaining wall permit is required.
	3. OSHA permit required for <b>vertical cuts 5 feet or over</b> .
	4. All footings shall be founded in undisturbed natural soil per Code.
	5. Design for expansive soil or submit a soils report to the grading division per information bulletin P/BC 2008-116 and 91.1805.8.
	6. In the event excavations reveal unfavorable conditions, the services of a soils engineer and/or geologist may be required.
X	7. <b>Soils</b> report(s) are required. Submit three copies (1 original and 2 copies), with appropriate fees, to the Grading Section for review and approval.
X	8. Incorporate all recommendations of the approved Soils report(s) and Department letters dated to come into the plans. <b>Geologist and Soils Engineer</b> to sign plans.
	9. Site is subject to mudflow. Comply with provisions of Section 91.7014.3. Geological and soils report required.
X	10. Buildings shall be located clear of the toe of all slopes which exceed a gradient of 3 horizontal to 1 vertical as per Section 91.1805.3.1.
X	11. Footings shall be set back from the descending slope surface exceeding 3 horizontal to 1 vertical as per Section 91.1805.3.7.
	12. Swimming pools and spas shall be set back from descending and ascending slopes as per Section 91.1805.3.3.
	13. Department approval is required for construction of . on or over slopes steeper than 2 horizontal to 1 vertical.
	14. Provide complete details of engineered temporary shoring or slot cutting procedures on plans. Call for inspection before excavation begins.
X	15. All concentrated drainage, including roof water, shall be conducted, via gravity, to the street or an approved location at a 2% minimum. Drainage to be shown on the plans.
	16. A Registered Deputy Inspector is required.
X	17. All fill or backfill shall be compacted by mechanical means to a minimum 90% relative compaction as determined by ASTM method D-1557. Subdrains shall be provided where required by Code.
X	18. Specify on the plans: "The soils engineer is to approve the key or bottom and leave a certificate on the site for the grading inspector. The grading inspector is to be notified before any grading begins and, for bottom inspection, before fill is placed. Fill may not be placed without approval of the grading inspector."
	19. Existing non-conforming slopes shall be cut back at 2:1 (26 degrees) or retained. All concentrated drainage, including roof water, shall be conducted, via gravity, to the street or an approved location at a 2% minimum. Drainage to be shown on the plans.
X	20. All cut or fill slopes shall be no steeper the 2:1 (26 degrees).
X	21. Stake and flag the property lines in accordance with a licensed survey map.
	22. Approval required by the Department for .
	23. Approval required by the Department of Public Works, Urban Forestry Division, for native tree protected ORD. 177,040. Phone # (213) 847-3077
	24. This is a preliminary pre-inspection only - base on limited information. When complete plans (and possibly calculations and/or required reports) are submitted for a permit, a new pre-inspection and fee will be required.

**\*\* Additional requirements: If retaining walls are required #2&3 will be required. If removal and recompaction with slot cutting of soils is recommended by soils report, of shoring, #14.**

Construction of new occupied buildings or major additions to buildings on sites located in any of the Seismic Hazard Zones (liquefaction, Landslide or Alquist-Priolo Fault Zone) will require a geology and/or soil engineering report. For questions call (213) 482-0480.

Field form completed by **ROBERT HUGHES**

Signature



Date 1/12/2017

Back to Pre-Inspection Work List



CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
Grading Division

District <u>LA</u>	Log No. <u>100169</u>
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APPLICATION FOR REVIEW OF TECHNICAL REPORTS

INSTRUCTIONS

- A. Address all communications to the Grading Division, LADBS, 221 N. Figueroa St., 12th Fl., Los Angeles, CA 90012  
Telephone No. (213)482-0480.
- B. Submit two copies (three for subdivisions) of reports, one "pdf" copy of the report on a CD-Rom or flash drive,  
and one copy of application with items "1" through "10" completed.
- C. Check should be made to the City of Los Angeles.

1. LEGAL DESCRIPTION

Tract: Highland Park Extension

Block: 2 Lots: 3, 4, 5 & 6

3. OWNER: The Presiding Priest

Address: 4900 Cleland Ave.

City: L.A. Zip: 90042

Phone (Daytime): \_\_\_\_\_

2. PROJECT ADDRESS:

767 N. Ave. 50th

4. APPLICANT Nassef Eskander

Address: 76 W. Pamela Rd.

City: Arcadia Zip: 91007

Phone (Daytime): (626) 233-1114

E-mail address: nassef4647@yahoo.com

5. Report(s) Prepared by: AES Geotech. Eng.

6. Report Date(s): 9/19/2017

7. Status of project: ☒ Proposed

☐ Under Construction

☐ Storm Damage

8. Previous site reports? ☒ YES if yes, give date(s) of report(s) and name of company who prepared report(s)  
See attached City of Approval letter

9. Previous Department actions? ☒ YES if yes, provide dates and attach a copy to expedite processing.

Dates: 5/1/2017

10. Applicant Signature: Nassef Eskander Position: Project Architect

(DEPARTMENT USE ONLY)

REVIEW REQUESTED	FEES	REVIEW REQUESTED	FEES
<input type="checkbox"/> Soils Engineering		No. of Lots	
<input type="checkbox"/> Geology		No. of Acres	
<input type="checkbox"/> Combined Soils Engr. & Geol.		<input type="checkbox"/> Division of Land	
<input checked="" type="checkbox"/> Supplemental	<u>181.50</u>	Other	
<input type="checkbox"/> Combined Supplemental		<input type="checkbox"/> Expedite	
<input type="checkbox"/> Import-Export Route		<input type="checkbox"/> Response to Correction	
Cubic Yards: _____		<input type="checkbox"/> Expedite ONLY	
		Sub-total	<u>181.50</u>
		One-Stop Surcharge	<u>49.94</u>
		TOTAL FEE	<u>231.44</u>

Fee Due: 231.44  
Fee Verified By: kt Date: 9/29/17  
(Cashier Use Only)

Department of Building and Safety  
LAUR 203114409 9/29/2017 1:20:55 PM

ACTION BY:

THE REPORT IS: ☐ NOT APPROVED

☒ APPROVED WITH CONDITIONS

☐ BELOW

☐ ATTACHED

For Geology

Date

For Soils

Date

① All condition of prior letter dated MAY 2, 2017  
(Log # 97673) shall apply unless specified herein.

② Infiltration facility shall not be implemented,  
as recommended.

Receipt #: 0203455424

BOARD OF  
BUILDING AND SAFETY  
COMMISSIONERS

VAN AMBATIELOS  
PRESIDENT

E. FELICIA BRANNON  
VICE PRESIDENT

JOSELYN GEAGA-ROSENTHAL  
GEORGE HOVAGUIMIAN  
JAVIER NUNEZ

CITY OF LOS ANGELES  
CALIFORNIA



ERIC GARCETTI  
MAYOR

DEPARTMENT OF  
BUILDING AND SAFETY  
201 NORTH FIGUEROA STREET  
LOS ANGELES, CA 90012

FRANK M. BUSH  
GENERAL MANAGER  
SUPERINTENDENT OF BUILDING

OSAMA YOUNAN, P.E.  
EXECUTIVE OFFICER

**SOILS REPORT APPROVAL LETTER**

May 1, 2017

LOG # 97673  
SOILS/GEOLOGY FILE - 2  
LIQ

The Presiding Priest  
4900 Cleland Ave.  
Los Angeles, CA 90042

TRACT: HIGHLAND PARK EXTENSION(M P 3-10)  
BLOCK: 2  
LOT(S): 3, 4, 5, 6  
LOCATION: 767 N. Avenue 50

<u>CURRENT REFERENCE</u> <u>REPORT/LETTER(S)</u>	<u>REPORT</u> <u>No.</u>	<u>DATE(S) OF</u> <u>DOCUMENT</u>	<u>PREPARED BY</u>
Soils Report	08-301-02	01/18/2017	Applied Earth Sciences

<u>PREVIOUS REFERENCE</u> <u>REPORT/LETTER(S)</u>	<u>REPORT</u> <u>No.</u>	<u>DATE(S) OF</u> <u>DOCUMENT</u>	<u>PREPARED BY</u>
Dept. Approval Letter	68542-01	05/01/2017	LADBS
Soil Report	08-301-02	02/04/2008	Applied Earth Sciences

The Grading Division of the Department of Building and Safety has reviewed the referenced report that provide recommendations for the proposed 17 unit 3 story residential building. The consultants recommend to support the proposed structure(s) on drilled-pile foundations bearing on native undisturbed soils and/or conventional foundation bearing on a blanket of properly placed fill a minimum of 3 feet thick.

Previously the Grading Division of the Department of Building and Safety has conditionally approved 2 separate at-grade buildings.

The site is located in a designated liquefaction hazard zone as shown on the Seismic Hazard Zones map issued by the State of California. The Liquefaction study included as a part of the report/s demonstrates that the site soils are subject to liquefaction. However, these settlement magnitudes are considered by the Department to be within acceptable levels. The requirements of the 2014 City of Los Angeles Building Code have been satisfied.

The referenced report is acceptable, provided the following conditions are complied with during site development:

(Note: Numbers in parenthesis ( ) refer to applicable sections of the 2017 City of LA Building Code. P/BC numbers refer the applicable Information Bulletin. Information Bulletins can be accessed on the internet at LADBS.ORG.)

1. All conditions of the above referenced Department approval letter shall apply except as specifically modified herein.
2. If import soils are used, no footings shall be poured until the soils engineer has submitted a compaction report containing in-place shear test data and settlement data to the Grading Division of the Department, and obtained approval. (7008.2)
3. Compacted fill shall extend beyond the footings a minimum distance equal to the depth of the fill below the bottom of footings or a minimum of three feet whichever is greater (7011.3).
4. All conventional foundations shall derive entire support a blanket of properly placed fill a minimum of 3 feet thick, as recommended.
5. All pile foundations shall derive entire support from native undisturbed soils, as recommended.

  
ALAN DANG  
Structural Engineering Associate II

AD/ad  
Log No. 97673  
213-482-0480

cc: Nassef Eskander, Applicant  
Applied Earth Sciences, Project Consultant  
LA District Office