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- **“Secondary Submissions”**: Submissions received after the Initial Submission deadline up to 48-hours prior to the Commission meeting are contained in this file and bookmarked by the case number.
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SECONDARY SUBMISSIONS

**Catherine Doyle • David Kendrick
629 N. Orange Drive
Los Angeles, CA 90036**

March 18, 2022

To: City Planning Commission

Re: Case number CPC-2021-7217-DBO

Position: Oppose proposed building project at 7000-7010 Melrose Avenue and 645 N. Sycamore

Our family has enjoyed living at our present location for 40 years. We are very close to the proposed building site. Our neighborhood is a blend of single-family homes and small- to mid-sized apartment buildings. Neighbors are often out with their families, taking exercise, and walking their dogs. This is the area that will be seriously affected by the proposed building project. We are extremely concerned about its impact on the safety and character of our neighborhood.

We are OPPOSED to this project, which directly affects us, for the following reasons:

The building would violate height restrictions for Melrose Avenue.

- The building would be more than double the allowable building height.
- It would be three times the size of buildings currently in the area.
- An exemption for building height should not be granted.

Proposed building is completely out of scale and out of character with the neighborhood.

- While the building faces Melrose Avenue, Sycamore Avenue is a residential street with both single-family homes and small- to mid-size apartment buildings, as well as a school.
- Businesses on Melrose Avenue between La Brea Avenue and Highland Avenue are all one- and two-story buildings, with the exception of one three-story building with three loft spaces.
- The proposed project is entirely out of character and scale for this area.

Traffic is already highly congested, putting pedestrians at risk.

- Melrose Avenue is extremely busy, as is La Brea Avenue, which is only a block west of the proposed project.
- During rush hours, drivers frequently bypass Melrose Avenue by driving through the alleys or down the side streets, often at high rates of speed, endangering pedestrians. With even more cars, this problem will only get worse.

Parking is already a big problem.

Although parking is included in the project, it likely is not enough to serve both apartments and retail spaces during peak hours. That means more cars trying to park on the streets surrounding the proposed building, fewer spaces for residents, and more traffic on side streets. Currently, the site of the proposed project is a much needed parking lot that is often full, attesting to the need for parking in this area.

Crime will increase.

Crime has been a growing problem on Melrose Avenue. So far, the majority of crimes have been committed west of La Brea Avenue. A project of this size, along with whatever retail businesses are brought in, is sure to draw crime to our neighborhood.

Construction itself will negatively affect quality of life in this neighborhood.

Construction of such a massive building will disturb our neighborhood through noise, pollution, increased traffic on side streets and traffic disruptions on Melrose Avenue.

Proposed building would be more suitable for a different type of location.

Buildings with hundreds of new apartments have been constructed in recent years on La Brea Avenue, north of Melrose Avenue, in areas that are more business-oriented and suitable for such construction. Our area is very different – in terms of scale, character, and current usage – making the proposed project unsuitable for the neighborhood.

Permitting a building of this size will threaten small, independent businesses.

Allowing a building of this size would set a precedent and likely attract more development along Melrose Avenue, east of La Brea. This could have the effect of wiping out the small, independent businesses in this area that we love and support.

Proposed building is not located near a Metro line.

There is no reason to disturb this neighborhood for the sake of an over-sized and what is sure to be a high-priced apartment/retail building.

Project will not help the real housing problem in Los Angeles.

Angelenos don't just need more housing – they need more *affordable* housing. The proposed building would provide a paltry six out of 63 units for Very Low Income households. This fails to address the need for affordable housing.

In conclusion, the proposed building is way out of line with the character and scale of our neighborhood, for both residents and small, independent businesses. The proposed height of the building greatly exceeds the height restriction for Melrose Avenue and should not be allowed. Should this project be permitted, as described, it would profoundly affect not only quality of life but the safety of our community.

Our neighborhood is important to us. We strongly urge the City Planning Commission to reject this project, as described.

Sincerely,

David Kendrick, Catherine Doyle, and family



Planning CPC <cpc@lacity.org>

CD4 Statement on CPC-2017-1923-DB-DRB-SPP-MSP-ZAD

Mashaël Majid <mashaël.majid@lacity.org>

Mon, Mar 21, 2022 at 11:59 AM

To: Planning CPC <cpc@lacity.org>

Cc: Laura Frazin-Steele <laura.frazinsteel@lacity.org>

Dear Commissioner Millman and Honorable City Planning Commissioners,

I am reaching out on behalf of Council District 4 to share our thoughts for the proposed project located at 3902 [Kentucky Drive](#); [3894-3900 Fredonia Drive](#) (CPC-2017-1923-DB-DRB-SPP-MSP-ZAD; ENV-2017-1925-MND). My apologies that we are unable to attend this week's Commission meeting.

The council office has been in touch with the applicant, community members, the Planning Department, and other city agencies about this property on many occasions over the course of our time in office to better understand the history of this site and the goals of this proposed project. This location currently includes vacant, abandoned properties that have unfortunately caused quality of life issues for the neighborhood for years now. The combination of previous procedural delays and an owner who would like to utilize and activate a site with a net increase in housing units, including inclusionary units, leads us to hope that the proposed project and demolition activity can move forward safely and expeditiously.

We respectfully ask that you consider this feedback in your deliberative process, and please reach out should you have any further questions.

Kind regards,
Mashaël Majid

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Mashaël Majid
Planning Director
councildistrict4.lacity.org

**NITHYA
RAMAN**

Los Angeles
City Councilmember
4th District

DISCLOSURE: All emails sent to or from this account (including any attachments) are subject to the California Public Records Act and may be released upon request.

Law Offices of Grace E. Yoo

March 21, 2022

City Planning Commission

CPC Hearing Officer

VIA EMAIL: Sergio.ibarra@lacity.org

Rafael.fontes@lacity.org

cpc@lacity.org

Re: 1848 S. Gramercy PI - CPC-2020-2115-DB (HCA)

Dear Honorable Commissioners and City Planning Staff:

My name is Grace Yoo, and I am a resident of Angelus Vista, literally one block from the property in question. Back in August 2021, several of my neighbors and I objected to the lack of proper notice and procedural defects concerning the project, on top of the misrepresentation of the facts of this matter.

Since August 2021, there have been additional irregularities concerning procedure and lack of information that should have been provided to the Commissioners, not sure if it is merely an oversight or for egregious reasons. The City Planning staff has inadvertently left out letters that were timely submitted, and prevented the Commissioners to review all materials to make an informed decision, and distorted the realities of this project.

Please understand that I am in favor of affordable housing and Very Low Income housing, which has literally been built next door to my house and opened in 2021. The building next door known as the Gramercy Place Apartments is four stories high and abuts Washington Blvd to the south, Wilton Place to the West and Gramercy Place to the East. My house is on one half of the northern boundary for the Gramercy Place Apartments. My family and neighbors endured the constant construction noise and pollution because we knew it was to help the lives of Angelenos.

I am attempting to keep this letter short, as it is one of many that is being submitted for your consideration on reviewing this project. My request is that you have the City Planning Department staff submit to you a packet of information that is free from internal inconsistencies. Perhaps it is because the City staff is overwhelmed with not enough staff to help with all the reviews, however, as this is a very serious diversion of what is allowable, I would request that the Commissioners require the information that you are presented to be re-evaluated with all relevant information at hand before the City's Planning department, so that the person(s) involved can write as accurate of a project analysis as possible.

I am aware of City Staff, not necessarily the person(s) working on this packet, have been known to make decisions without actually having visited the site and checking thoroughly.

I find disingenuous the conclusion that this project with three (3) Very Low Income units is somehow providing a service to my neighbors and the Angelus Vista neighborhood, when this

project displaces nearly two dozen people of Very Low Income rents from the property to provide 30 at market rate units.

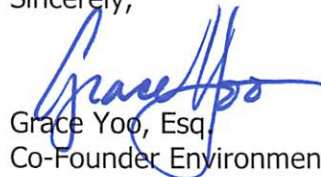
The livability of the neighborhood does not increase with the many many variances requested, but rather diminishes the quality of life for the neighbors with blocking of the sun and not to mention, issues for the new residents to live at this property. Urban Design even states that there is "very little community benefit is being provided in exchange for the number of waivers of development being requested." The summarily killing of good mature trees is also another consideration that is not being factored into the balance. Replacing mature trees with seedlings, even at a 2-1 rate is a hollow attempt to show concern when the mature trees can be saved.

Additionally, the lack of trash and recycling space is a problem mentioned by Pedestrian First Design. And reducing the driveway to not be in compliance with LADOT requirements is a waiver that should not be allowed. There are too many variances for setbacks and height requirements that are not consistent with The South Los Angeles CPIO District that it just does not make sense for the City to grant all the variance requests as the balance of benefits is completely lopsided in favor of the developer against the neighbors.

The applicant should be applying for a zone variance for the many many variances that are being requested but as a Variance application requires findings to justify the variance, the applicant is attempting to get the waivers without justification.

It is my sincere hope that the City Planning Commissioners will do a more thorough vetting of this particular project as too many irregularities and inconsistencies exist at this point of the development plan.

Sincerely,



Grace Yoo, Esq.
Co-Founder Environmental Justice Collaborative

PRESERVATION VIDEO

HISTORIC PRESERVATION: RESEARCH / CONSULTING / ADVOCACY

March 21, 2022

Los Angeles City Planning Commission

RE: CPC-2020-2115-DB-HCA, 1848 S. Gramercy Place

Dear Commissioners:

My name is Jim Childs. I am very familiar with the former Community Redevelopment Agency (CRA) and its redevelopment plans, which are under state law a special kind of specific plan overlay district. I served as an elected community member of the CRA/LA Project Advisory Committee (PAC) for the Adams-Normandie 4321 Project Area located in the West Adams' University Park Neighborhoods.

For 12 years I was the Chair of the PAC's Housing and Planning Committee. Our committee reviewed ALL external development permits for projects located in the Project Area that required CRA staff sign-offs. Our reviews included compatibility issues with the Secretary of the Interior's Standards and Guidelines for historic properties and compliance with the California Environmental Quality Act. The requirements for an CRA approval were often disparate from those of normal LA City code standards. Simply put, the CRA's redevelopment goals for the community were to encourage projects that supported the economic growth of the community while not sacrificing the historic-cultural integrity of the community.

I am writing today about a proposed project at 1848 South Gramercy Place. Even though the current building itself is a 110-year-old residence that was, obviously, in a residential zone and neighborhood for most of its lifetime, at some point in recent decades it was rezoned to commercial manufacturing and then, more recently, to C1.5-CPIO. Then, thirty years ago, in the wake of the 1992 Civil Unrest, the City Council voted to adopt the Mid-City Recovery Redevelopment Plan, including 1848 S. Gramercy Place within that boundary.

Unfortunately, the proposed project does not appear to be at all compliant or conforming with the requirements of the redevelopment plan. Indeed, there has been **no effort made to try to comply**, nor to – as the Redevelopment Referral application form indicates they must – “**show compliance**.”

As you are aware, the CRA was basically dissolved about a decade ago. But its redevelopment plans – which are best described as a land use specific plan adopted by the Los Angeles City Council – live on. This includes the Mid-City Recovery Redevelopment Plan.

The Mid-City Recovery Redevelopment Plan includes specific policies, goals and requirements – including the broad rule regulation (common to all redevelopment plans) that allowing residential uses in a commercial zone is itself a discretionary action subject to both “rules” and actual decision-making. In addition, and this is also a broad, citywide regulation, when two or more incentives are requested for a Mixed-Use project, the lead agency or decision maker “shall find that the project provides for an arrangement of uses, Buildings, Structures, open spaces and other improvements that are compatible with the scale and character of the adjacent properties and surrounding neighborhood.”

This is just one example of missing evaluations and findings for this project.

I would like to go through point by point both the transfer of the authority from the CRA to City Planning to administer the City’s redevelopment plans, and then the actual Mid-City Recovery Redevelopment plan.

The stated purpose of the transfer of authority was not to undo the CRA regulations but, rather, to ensure their continued implementation. Page 5 of the pertinent Staff Report (dated May 8, 2014) to the City Planning Commission and City Council states: *“The Department of City Planning would serve as the responsible agency for the continued implementation of the existing 21 active Redevelopment Plans, the latest of which expire in 2033.”*

It goes on to point out that doing so provides a continuity to “vulnerable communities” including our own: *“Each of the redevelopment plans have been adopted by the City and found by both the City Planning Commission and the City Council to be consistent with the City’s General Plan. Further, consolidating the land use controls in the redevelopment plans to the City Planning Department is critical to ensure that the goals of the General Plan are met by **maintaining important land use provisions in some of the City’s most vulnerable communities** and that the City retains local control over land use policy.”*

Further: *“DCP develops and administers overlay zones and specific plans that have provided more tailored land-use requirements for many of Los Angeles’ unique neighborhoods. **Similarly, most of the 21 active Redevelopment Plans have tailored requirements that specify permits cannot be issued without some level of signoff ensuring that development proposals are consistent with the governing Redevelopment Plans. Redevelopment Plans and land use review provide important protections for neighborhoods in regards to development scale, use, density, intensity, parking, design, and historic preservation. These land use tools provide standards for development in many of the City’s most economically disadvantaged neighborhoods.**”*

Also noted is that: *“Redevelopment land use approvals are therefore essential to allow property owners and applicants to utilize their full development rights, as well as to ensure community protection through careful review of design, signage, use restrictions, historic preservation and other local priorities in some of the City’s most sensitive and economically disadvantaged*

*communities.” For example, in South Los Angeles, which the Mid-City Recovery Redevelopment Plan is a part of, “South Los Angeles’ commercial corridors have land use controls regulating auto related uses, **design review of new construction**, and preserving employment land uses.”*

Importantly, “The transition of land use authority from the former CRA/LA to the City Planning Department makes certain that the Redevelopment Plans, which serve as legal expressions of public policy adopted by the City Council, will continue to be implemented to ensure continued community protection in the redevelopment plan areas.... All stakeholders that are impacted by development and uses in redevelopment project areas stand to benefit. The proposal does not change the intent or function of the regulations in the Redevelopment Plans; however, it does provide certainty to the development community and neighborhoods that land use rights and controls in redevelopment project areas will continue to be enforced in a clear and consistent manner.”

The City Planning Commission, in adopting the resolution approving the transfer of authority, included this language: *“WHEREAS, transitioning the land use controls in the redevelopment plans to the City is critical to: 1) ensure continuity and certainty for the development community; 2) ensure that the City’s economic development goals are achieved; 3) maintain important land use protections in some of the City’s most vulnerable communities; and 4) retain local control over land use policy.”*

Despite all of this broad language, the statements of policy regarding protecting vulnerable communities and ensuring continuation of the redevelopment plans, and the specific adoption of changes to the LAMC to assure that this is implemented – despite this, for this project in particular there has been basically zero attention paid to any of this OR to the actual Mid-City Recovery Redevelopment Plan itself.

The Project Objectives of the redevelopment plan (page 2, Sec. 105.5) include “architectural and urban design standards including standards for: height, building setback, continuity of street façade; building materials; compatibility of new construction with existing structures, and concealment of mechanical appurtenances.”

The proposed project does not conform to height (although we all recognize there are some exceptions under the Housing Crisis Act, the requested waiver from 3 stories to 7 stories, and from 45 feet to 75 feet, is excessive and is not in conformance with the redevelopment plan); OR building setback (requested waiver to zero feet on the frontage in lieu of 10 feet or more); continuity of street façade (the street façade is set back 40 feet).

Project Objective 105.16 (page 4) underscores the purpose of this redevelopment plan to be an economic catalyst in the wake of the Civil Unrest: “Promote a thriving commercial environment which will contribute to the economic well-being of the Project Area.”

The proposed project is asking for relief from that redevelopment objective by asking for two waivers from the zoning (CPIO) requirements: one, to reduce the height of the first-floor commercial component from 14 feet to 10 feet; and two, to reduce the frontage from the minimum required identified as a “bakery.” I do not see how this minimum space allotment could possibly lead to a contribution to the economic well-being of the community, a redevelopment plan objective.

In the redevelopment plan’s Land Use section, it acknowledges that areas shown on the map as Commercial shall be developed with commercial uses “consistent with the applicable Community Plans,” as they may be amended from time to time. (page 15, Section 503.1) The Community Plan designation for this location was amended to C1.5-1VL-CPIO. The “CPIO” is a zoning designation and not just a theoretical set of regulations and standards; in other words, it is the new zoning that new commercial (or in this case, mixed use) developments shall be consistent with, in order to be in compliance with the redevelopment plan.

With all the waiver requests to not follow the CPIO regulations, this proposed project does not show compliance with the Mid-City Recovery Redevelopment Plan.

Additionally, Section 503.5 (page 16), which describes residential uses in a commercial zone, states specifically that “The Agency may permit appropriately designed...residential and mixed-use development within commercial.”

So we are back to the phrase “appropriately designed” and the nuance of meaning where the Agency (now the Planning Department and the City) “may” permit. This is a discretionary action on the part of the decision-maker and must be based on whether or not a project meets appropriate design standards.

One standard this redevelopment plan includes is FAR, which is at a maximum of 3:1. The CPIO maxes out at 1.5:1. The Applicant is requesting 5.1:1 – 3.4 times as dense as the CPIO maximum.

This proposed project also requests waivers from, essentially, all setback requirements on all four sides. These are the required setbacks in the C1.5-1VL-CPIO zone. However, the redevelopment plan (Section 515) actually goes a bit further, granting the decision maker to “establish setback requirements for new development within the Project Area which may exceed the requirements of the City’s zoning ordinance.” This is because a major part of the former CRA’s responsibility was to ensure a good quality of life (not just aesthetics), especially for discretionary approvals.

Section 516 (page 19) specifically excludes the approval of “Incompatible Uses.” “No use or structure, which by reason of appearance...or similar factors that would be incompatible with the surrounding areas or structures, shall be permitted in any part of the Project Area.”

I believe that is a pretty clear statement – **nothing incompatible shall be permitted.**

On page 20 of the redevelopment plan, it notes (518.2) that no variation from the redevelopment plan except one that is a minor variation or minor departure from the plan except under “exceptional circumstances or conditions.” There is nothing exceptional about the parcel of this proposed project in Angelus Vista; indeed several other developers are now in the process of constructing multi-family projects on similarly sized lots without asking for all of the waivers that this applicant requests. The redevelopment plan states, “No variation shall be granted which changes a basic land use or which permits other than a minor departure...” But in essence, the Applicant is asking for so many waivers as to make the C1.5-1VL-CPIO zoning changed, e.g., it changes the basic land use.

On the same page, Section 520, Design Guidelines, the requirement is that applicable design guidelines shall be utilized. At this writing, the applicable design guidelines would be a combination of the CPIO and the citywide guidelines, and they shall be used. Moreover, the specific language of the redevelopment plan is: “...the Agency [City] is authorized to establish heights of buildings, land coverage, setback requirements, design criteria, traffic circulation, traffic access, and other development and design controls necessary for the proper development of both private and public areas within the Project Area....One of the objectives of this Plan is to create an attractive and pleasant environment in the Project Area. Therefore, such plans shall give consideration to good design, open place and other amenities to enhance the aesthetic quality of the Project Area. The Agency shall not approve any plans that do not comply with this Plan.”

If the Agency could not (shall not) approve any such plans, nor should the Planning Department, or the City Planning Commission.

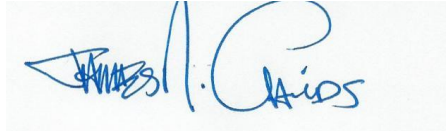
I would like to reiterate that the Planning Department and this Commission is charged with implementing the Mid-City Recovery Redevelopment Plan. So far, both Planning Staff and the Applicant have instead ignored it, avoided it, and failed to actually implement it.

I ask that the Commission therefore *deny all of the proposed project’s requested waivers*, all of which are not in compliance with the redevelopment plan (not to mention the CPIO nor any sensible urban planning standards).

Last but certainly not least, one of the most important policies in this and any redevelopment plan is to help ensure that individuals not be displaced and do remain housed. But (despite reports to the contrary) the Applicant is a housing provider (having become so by dint of acquiring this property, which has served as supportive housing for nearly two decades for more than twenty occupants, in a group/dormitory setting). The Applicant has stated repeatedly that this is a single-family home, and apparently now has told staff it is vacant. That is not true. I will let others describe the situation more fully but given that I am writing about the City’s redevelopment plans, I do want to note that any project that results in displacement

without mitigations (relocation, assurances that homelessness will not result) is not compliant with the redevelopment plan.

Thank you,

A handwritten signature in blue ink, appearing to read "Jim Childs". The signature is stylized with a large, looped "C" and a distinct "J".

Jim Childs
Preservation Video
2326 Scarff Street, LA, CA 90007
Jeanjim2341@att.net
213 747 2526



Jean Frost
2341 Scarff Street
Los Angeles, CA 90007

March 21, 2022

Los Angeles City Planning Commission
RE: CPC-2020-2115-DB-HCA, 1848 S. Gramercy Place

Dear Commissioners:

I am dismayed to learn that my colleague Laura Meyers' very thorough August 23, 2021 comment letter was not included in the Staff Recommendation Report that has been distributed to you and to the public. This overt omission could be construed as an appearance of bias. I attended the August hearing and so much of the record would justify a conclusion and recommendation other than the current staff report before you.

Ms. Meyers had submitted her comments in advance of the August public hearing; receipt of her email with this letter attached was confirmed by the Mayor's deputy as well as the Council District 10 Planning Deputy (and several neighbors, plus I was also copied on her email and received the letter). It is clear from the group of downloaded documents that resulted from Laura's Public Records Act (PRA) Request last August that staff had also received her email with the comment letter attached, because that email from Laura was included in the PRA materials.

It makes all of us wonder if there are other letters received by staff that were not included in Staff's report to the Commission?

Below this introduction I am therefore (in smaller type, to fit the CPA requirements/limits) incorporating Laura's previous email into this comment letter (*see full text below*).

I would also like to express concern regarding the Staff Report's reference to 15 speakers at the public hearing, but without including any real specifics and just a two-sentence summary of the comments. The usual procedure, including recent ZA reports by way of example, would have staff include a discussion of the comments made and then perhaps staff's rebuttal to same, but that is the only way the Commissioners would know the content of the public hearing. This should be a transparent process. Instead, it looks like a biased process designed to diminish community input and expressions of concern, opinion and, yes, facts, all in order to reach a preconceived, foregone conclusion. I was present at the (virtual) hearing and I can tell you that a great deal of relevant and important information was communicated to Staff. Moreover, the Council District 10 representative's comments regarding concerns have also not been addressed in the Staff Report.

I hope you will take the time to read Laura's original letter below. She has asked staff to also submit it, but as of close of business on Friday had not received a response.

Thank you for your consideration,

Jean Frost
indiejean@att.net

LAURA MEYERS

1818 South Gramercy Place • Los Angeles, CA 90019
Tel: 323-868-0854 • Fax: 323-730-0432 • E-mail: lauramink@aol.com

August 23, 2021

City Planning Commission
CPC Hearing Officer
200 North Spring Street, Room 721
Los Angeles, CA 90012
Via email: sergio.ibarra@lacity.org
Rafael.fontes@lacity.org
cpc@lacity.org

RE: CPC-2020-2115-DB (HCA)

Dear Honorable Commissioners and City Planning Staff:

I am writing to express my very strong, personal concerns about this proposed project. As proposed, it is objectively completely out of compliance with the City's adopted regulations, the zoning for the parcel, the two specific plans that overlay the zoning, the neighborhood character, and, importantly, it is out of compliance all policies designed to prevent displacement of low-income persons.

No reasonable person would consider a dozen requests for "waivers" from the requirements of the zoning and the parcel's overlays/specific plans as inconsequential. These requested waivers – which are not all properly stated in the Hearing Notice – include waivers from lot coverage; setbacks; height; transitional height requirements; common open space (stated as a requested waiver to 1,500 feet in lieu of 3,700 feet, however that is not true because the 1,500 square feet is comprised of private balcony space – not common open space); FAR; required commercial frontage; landscape buffers; and more. What is not included in the Hearing Notice as a subject matter is the project's compliance (or, rather, lack thereof) with either the Mid-City Corridors Recovery Redevelopment Project OR the CPIO. (The case should have been filed as a Multiple Approvals Case, but appears not to have been).

Indeed, it would seem that in practical fact the Applicant is requesting a Zone Variance but is attempting to utilize waiver requests to avoid filing a Variance application or making the required Findings to support that request.

I support increased housing production, but not at the expense of all reasonable adopted standards. I especially do not support a project that will increase displacement rather than solve our increasing problem of unhoused individuals.

I will try to summarize my concerns in this letter in advance of today's hearing, but reserve the right to submit further comments after the case is presented and others may have also testified.

Zoning Conflicts:

The zoning is C1.5-1VL-CPIO. The 1VL zoning designation is Height District 1, "very low." Very low means a maximum of three stories, and 45 feet. The Applicant desires to build a 7-story, 76-foot building, more than 100% out of compliance in terms of the number of stories, and represents an approximate 69% increase in height as measured in feet. This is not a mere "waiver" of a development standard.

Too, in the adopted CPIO ordinance, it is stated explicitly that the CPIO itself shall govern any conflicts between height and/or transitional height requirements in any other portion of the LAMC. The matter before the City Planning Commission hearing officer appears to not include an application for an "Exception" (or other variation) to the CPIO. Noting also, to gain a CPIO Exception, the Director of Planning shall make a Finding that the project substantially complies the CPIO's design guidelines or other applicable design guidelines (this will be discussed further, below).

The CPIO designation is an overlay or Specific Plan that changes certain general requirements of the C1.5 zone to requirements that are more particular and exacting to “Subarea A, Neighborhood Serving Corridor.” This Subarea does allow for more multi-family housing, along with “a refined range of commercial uses that serve the needs of the surrounding neighborhood. Development standards promote neighborhood activity and facilitate a more pedestrian-oriented environment.”

However, this project offers zero pedestrian amenities, and does not promote neighborhood activity.

For clarity and to give current staff some historical background they may not be aware of, the Community proposed and presented supporting materials for a Washington Boulevard Specific Plan (from Normandie to Crenshaw) almost two decades ago, in 2004. There were a series of approximately three dozen community meetings over several years with business owners, homeowners associations, two neighborhood councils, the Community Redevelopment Agency, and the Planning Department throughout the process. This process led to both mapping and a written proposed Specific Plan based on the Colorado Boulevard Specific Plan, the CRA/City Council-adopted Urban Design Guidelines for Adams-Normandie 4321 (University Park) and the comments received in the series of community meetings.

Faisal Roble, currently the City Planning Department’s Chief Equity Officer, led the Planning Department team that was evaluating the Washington Boulevard Specific Plan proposal. In the end (the “end” was years in the making) Mr. Roble informed the Community that the new CPIO for Washington Boulevard would adopt the Specific Plan’s proposed development requirements, and that the CPIO would be utilized as a Specific Plan.

The reason for this long discourse is, quite simply put: If Planning Staff informs and confirms with the Community that it achieved its goal of having specific plan requirements adopted, *and Planning Staff did do that*, then it is completely improper to even consider dispensing with those requirements at the first opportunity. How does a citizenry trust its government when what is said (and adopted) can be so easily ignored? How is this equitable in a diverse BIPOC community where the evidence of prior racist zoning within this community/neighborhood is evident in the very history of zoning on this particular parcel?

Design

There is nothing in the renderings included in the initial Application packet in February 2020 (the only architectural/design information available to me; the current renderings are not online in the City Planning Department’s Case Summaries section) that would indicate that any thought was given to the requirement of neighborhood compatibility (per the CPIO) nor the Redevelopment Plan’s requirements and policies related to “architectural and urban design standards including standards for: height, building setback, continuity of street façade; building materials; [and] compatibility of new construction with existing structures....”

Moreover, Staff may not be aware that within this (and most) Redevelopment Plans, the approval of a project that does not fully comport with the underlying zoning is itself a discretionary action. In other words, approving residential uses in a commercial zone is possible, but discretionary (see **503.5** of the Redevelopment Plan: The Agency may permit appropriately designed and properly located Residential and mixed use development within Commercial...areas...). So a project to be approved must also meet certain design standards. Now that the CRA’s jurisdictional authority has transferred, the “Agency” is now Planning Staff, the Director of Planning and/or the City Planning Commission. At **515** of the Plan, it is also stated that the decision maker may establish setbacks in excess of the zoning requirements (see discussion about the 40-foot Building Line below).

No project may be approved that is “incompatible” for a number of reasons, including “by reason of appearance” (**516**). For land use entitlements (**521**), none *shall* be issued “unless and until” the project is “determined to be in conformance with this Plan and any applicable design guidelines.” Those Design Guidelines (**520**) include an analysis of land/lot coverage, setbacks, design criteria, and height. “One of the objectives of this Plan is to create an attractive and pleasant environment in the Project Area. Therefore, such [project/improvement] plans *shall* give consideration to good design, open space and other amenities to enhance the aesthetic quality of the Project Area. The Agency *shall* not approve any plans that do not comply with this Plan.”

For the review and approval of discretionary requests within the CPIO, the decision makers should make Findings “related to neighborhood compatibility, the degradation or benefit of the Project to surrounding properties and the community, and conformity with the intent and purpose of the Community Plan.”

I recognize that objective standards are required in these evaluations, but objectively the absolute lack of common open space; the lack of side yard and rear setbacks; the utter disregard of the 40-foot Building Line on the east side of Gramercy Place, technically the *prevailing setback* which is also the actual setback for all properties without exception located between Venice and Washington on the east side of South Gramercy Place (1600-1848 S. Gramercy Place); and the failure to include any sort of Transitional Height design adjacent to the RD2-zoned, two-story, 1920s fourplex north of the property are all objective standards that are being dispensed with in the proposal.

Objectively, a 7-story building at this location would be the only building of that height on Washington Boulevard between Downtown (Figueroa) Los Angeles and Culver City, a many-miles stretch of road. The landmark Oddfellows Hall (Casa Vertigo), located at Washington and Oak, is only six stories. Ross Plaza, located on Western at 18th Street, is only five stories. This project’s uninspired, block-like masonry design is not iconic (I hesitate to evaluate it further on architectural merits), but would dominate the Washington Boulevard corridor.

The **Citywide Design Compliance form** was not included in the package nor is it online. The project therefore does not demonstrate alignment with the City’s Design approach. The project is out of compliance with many of the current guidelines, as well as the narrative guidelines in the prior iteration AND the Redevelopment Plan guidelines.

In cases where the Citywide Design Guidelines conflict with a provision in a Community Plan’s Urban Design chapter, specific plan, overlays, or other local design guidelines the community specific requirement shall prevail. Applications that do not substantially conform to specific guidelines should provide rationale for an alternative design approach.

Here’s my attempt to drill down to the Citywide Guidelines for this project:

Guideline 3: Design projects to actively engage with streets and public space and maintain human scale.

RESPONSE: A 7-story building with a 0-foot setback does not maintain human scale and the design does not actively engage with the street nor create a public space.

Guideline 4: Organize and shape projects to recognize and respect surrounding context.

RESPONSE: This project design does not respect the surrounding context.

Guideline 5: Express a clear and coherent architectural idea

The design of the site and the building should have a comprehensive concept experienced through scale, proportion, enclosure, and compositional clarity

Building Design

- *Shape building design to respond to the setbacks, fenestration patterns and important horizontal datums of adjacent structures.*
- *Select materials and develop façade details that consider the views of the building from all sides*

RESPONSE: This project does not respond in any way to adjacent structures. Its scale and proportion is not compatible with anything in the neighborhood or along the Washington Boulevard Streetcar Commercial Corridor, which dates to the 1920s. The materials do not align with anything nearby. The Applicant does not seem to have considered the views of the building from all sides.

Guideline 6: Provide amenities that support community building and provide an inviting, comfortable user experience.

Design to create livable places and desirable environments where people want to spend time engaging in social, civic, and recreational activities. Projects that encourage connections with a variety of transit modes and enhance their immediate environment with amenities are highly encouraged.

For buildings with six units or more, cluster code-required common open space areas in a central location, rather than dispersing smaller less usable areas throughout the site.

RESPONSE: There is no common open space. There are no pedestrian amenities. This is not a project that encourages connections with a variety of transit modes.

Objective 1: Consider neighborhood Context & Linkages in Building and Site Design

1.1 Site Planning

>> ... where additional setback is necessary or a prevailing setback exists, activates the area with a courtyard or “outdoor room” adjacent to the street by incorporating residential amenities such as seating or water features, for example

>> Locates a majority of code-required open space at the ground level in a manner that is equally accessible to all residential units to promote safety and the use of outdoor space. [podiums may be used.]

1.2 Building Orientation

>> Locate gathering spaces such as gyms....at the ground level and accessible to the street

1.3 Entrances

>> Maintain an active street presence for ground floor retail establishments in mixed use projects by incorporating at least one usable street-facing entrance with doors unlocked during regular business hours

>> In mixed use projects, ensure that ground floor uses maintain a high degree of transparency and maximize a visual connection to the street by providing clear and unobstructed windows, free of reflective glass coatings....

1.4 Relationship to Adjacent Buildings

>> Ensure that new buildings are compatible in scale, massing, style, and/architectural materials with existing structures in the surrounding neighborhood. In older neighborhoods, new developments should likewise respect the character of existing buildings with regards to height, scale, style and architectural materials

RESPONSE: The project violates each of these Bullet points.

Issues with Submitted Plans:

There are conflicts between the submitted plans (even internally, comparing the landscape plans to the primary plans) and the other Application materials.

For example:

1). The amount of square footage for the commercial portion varies on different pages and in different forms, ranging from 204.4 square feet to 260 square feet to 360 square feet. What is the correct number? [The space is clearly very small, compared to the total 28,000 square feet for the project. Noting again that this proposed project is within the Mid-City Recovery Redevelopment Plan, in a commercial zone.]

2). One of the entitlement requests is for a 0-foot setback on the south side of the project. But on the plans page L3, it shows “perm pavers or permeable concrete walk” and a sweet bay laurel hedge in that same location (at the first floor level)

3). There is also conflict in the stated FAR numbers. On the Application, the request is for an FAR of 3.4:1 in lieu of 1.5:1. Elsewhere in the submitted materials 3.25:1 is mentioned. But on the Hearing Notice it states 5.1:1. Which figure (request for incentive, in this case) is correct?

The Setback (or lack thereof):

To place this commentary into the record (although it has been in several emails sent by me and, to-date, unanswered by the Planning Department), the east side of Gramercy Place between Washington Boulevard and Venice Boulevard (1600-1800 blocks) has a 40-foot Building Line.

The 40-foot setback was originally established on the deeds circa 1903. In 1919, the California Supreme Court (in the landmark case, *Fritz Werner v. Mary M. Graham, et al*) determined that conditions set forth on deeds are not enforceable. This had many implications throughout Los Angeles and the state, but for this section of South Gramercy Place the simple result appears to be that the City Council, 100 years ago, adopted **by ordinance** the enforceable 40-foot Building Line.

That building line designation was not only on ZIMAS, it also appeared as an attachment in the first application by this self-same Applicant for his TOC case. (2018 ZIMAS report attached, see page 2 near the top of the page).

To be clear, every single property on the east side of Gramercy is built behind and respects the 40-foot setback building line, including the adjacent liquor store facing Washington Boulevard.

Subsequently at an unknown date with no notice to the property owners on the east side of Gramercy, the 40-foot Building Line was removed from this parcel (as well as the parcel to the south), thus showing a termination of the Building Line at 1844 S. Gramercy. I see no City Council action in the Clerk's online file management system, and of course none of us were notified that such an action was pending (if an action was pending). Did a voted-upon action to amend the original ordinance happen? If yes, I would like a copy. If not, WHO changed the ZIMAS record?

A Building Line is not a “development standard” for which a waiver should be given. And, as detailed above, for a project to be compatible in situ at this location, it should not jut 40 feet forward beyond the properties both to its north and south.

Environmental and CEQA Concerns:

I will be brief.

The residence was not declared a City of Los Angeles Historic Cultural Monument (HCM) in 2018. There were several legal and political issues that swirled around the situation, but that would not be pertinent to CEQA. What is pertinent are two facts:

1). As a part of his response to the HCM nomination, the owner/Applicant for this project had hired several representatives who in turned submitted a false document purporting that this property had been evaluated and rejected as a Contributor to the National Register. It turned out that the evaluation had been for a property in Hollywood located at 1848 North Gramercy Place. Unfortunately, that document was not removed from the file; and it was not made clear that it was an incorrect assessment. It may not have made a difference, but the situation does demonstrate the lack of rigor in the 2018 evaluation by Planning (OHR) staff.

2). Conversely, Planning Staff is well aware that its own 1996 Historic Resources Survey for this Community – prepared by a well-known Historic Consultant firm – identified as a potential historic district the “18th Street Neighborhood,” which basically comprises the Angelus Vista tracts. That survey did not differentiate between properties zoned residential and properties zoned industrial (unlike the later South Los Angeles SurveyLA, which excluded properties – like 1848 S. Gramercy – which were zoned commercial manufacturing at the time). And, 1848 S. Gramercy Place was identified as a Contributor to that District. Staff is aware of this and has had the paperwork for some time. The bulk of the identified properties now sit within the new Angelus Vista Character Residential Overlay District CPIO – a socalled “HPOZ Lite” district – but because 1848 S. Gramercy Place sits within the commercial zoning, it was excluded from the protections of the Character Residential District. That does not exclude its proposed demolition from CEQA consideration, and indeed the Redevelopment Plan does require a further evaluation as well. (One component of the Redevelopment Plan is historic preservation – see Objective 7 and other references).

3). Then there is the matter of the two-level, above-ground parking structure. As proposed, it would have a mere 5-foot setback from the small apartment building to the north. That building, in turn, is set back only five feet from the

property line – so ten feet total separation, for the residents, from the fumes vented (through the grilles showing on the renderings) by the cars in this parking garage. A mitigation (assuming staff is inclined to approve the requested reduction of side yard setback) is readily available: put the parking underground. That, of course, would also reduce the height. But for this comment, I am addressing the environmental concern/CEQA.

Displacement:

How long can the Department pretend that this project would NOT displace 20-25 individuals from their longtime supportive housing?

As you are aware, I was engaged by (the former) Council District 10 staff to represent the City in its above-referenced application for Historic Cultural Monument status for this property. I do want to remind you that in addition to myself, many city family members toured this house and took official photos of its interior. Present on the tour were OHR staff members; two Cultural Heritage Commissioners; CD10's field deputy (prior) for the area; several city interns; Applicant and Applicant's representatives; and maybe others. City staff and I all took photos; this documentation is part of the City's records. There are many photographs available to you that show occupied "dormitory" rooms with multiple beds and dressers. On the first floor, the dining room, the large rear addition, and perhaps one other room were all in use as dormitory-style bedrooms or units. On the second floor, all four bedrooms were similarly set up. In addition, while we were not able to take photos in the third-floor attic space, there appeared to be a similar set-up.

I am inserting several (albeit random) photos of the dorm rooms at 1848 S. Gramercy Place from that site visit that were taken by staff (not me) and which are a part of the public file.







I want to emphasize that while these are random photos, and there are more, it is clearly evident in the pictures that the residence is used for multiple persons.

As of today, Monday, August 23, 2021, we (the neighbors) still do not know of the gentlemen who reside at the property are even aware of this project. The property was not posted for the public hearing.

A few “clean up” items. First, I am writing this letter as an individual, and not on behalf of any organization I may be associated with.

Second, I am happy to provide Planning Staff with a copy of the Redevelopment Plan, or a version I annotated to call out elements that are relevant to the approval of this project.

Third, I am able to share a Dropbox link to the CHC/staff photos for 1848 S. Gramercy Place. However, I suspect you may wish to acquire the photos directly from the Department. Please just let me know how you wish to proceed on that.

And last, again I do reserve the right to submit further comments after we see and hear the presentation from Applicant at today's hearing, noting that the files online were incomplete.

Thank you very much,

Laura Meyers

Cell 323-868-0854

LAURA MEYERS

1818 South Gramercy Place • Los Angeles, CA 90019
Tel: 323-868-0854 • Fax: 323-730-0432 • E-mail: lauramink@aol.com

March 21, 2022

City Planning Commission
RE: CPC-2020-2115-DB (HCA), 1848 S Gramercy Place

Dear Commissioners:

I am a strong supporter of new housing. I personally helped shepherd through the community the new Gramercy Apartments, an award-winning, 64-unit affordable senior complex located at 1856 S. Wilton Place (Washington Boulevard between Gramercy and Wilton). As a longtime member of my neighborhood council and its land use co-chair, I have helped usher through approvals for well over 1,000 housing units in our community in the past decade – half of which are affordable units. I worked closely with the Clifford Beers organization to help envision a 22-unit affordable supportive housing project that will incorporate a rehabbed 1908 house into the project, located at 1808 S. St. Andrews Place.

The best of these projects considered very seriously how to be good neighbors – how to design a project that is compatible with its neighborhood while at the same time providing much-needed housing.

Today, however, I am writing you to strongly request that you DO NOT approve the proposed project at 1848 S. Gramercy Place. Please do not say “yes” to the construction of a massive, 31,263-square-foot, seven-story, 75-foot tall building on a single city parcel with nearly 100% lot coverage, little to no setbacks, two above-ground levels of parking, for 33 units, 3 of which are affordable.

It will fill nearly every spec of space on its lot. It will tower over my neighborhood. It will eclipse the great design of the Gramercy Apartments. At a 5.1:1 FAR, its by right square footage of 9,195 more than triples. The building will have no common open space, nor a pedestrian-oriented plaza; it will have little-to-no landscaping, and will decimate at least two mature street trees, one of which is a Sycamore (likely a Protected tree). And, worse of all, it will displace some 20 to 25 low-income residents/renters who have been living in this house, which has operated as a supportive housing group home/dormitory for nearly two decades.

I ask that you DENY approval of the eight requested waivers. I urge that you reject the Categorical Exemption as a CEQA clearance.

We all agree, as the State Legislature has stated, that the lack of housing, including emergency shelter, is a critical statewide problem. We know that lack of supply and rising costs are compounding inequality and limiting advancement opportunities for many Californians. That’s the reasoning behind recently enacted state laws that require approvals of many – but not all – proposed housing projects.

This proposed housing development project is one of the exceptions. It is inconsistent with multiple zoning ordinances and land use designations; and it is not in compliance, and not in conformity, with “an applicable plan, program, policy, ordinance, standard, requirement, or other similar provision” (this is the language of the state legislation). The Applicant was informed every step of the way that his project needed work, that it was not complete, and was not compliant (there are multiple, increasingly defiant and belligerent emails in the case file from the Applicant’s representative that support this statement); and of course this request is discretionary, since the Applicant is asking for off-menu incentives and multiple additional waivers/concessions.

The Planning Department memos on implementing California’s housing and density bonus laws note that Developers can *request* off-menu incentives and waivers of development standards that extend beyond the incentives enumerated by State law provided that applicants can demonstrate that their request is necessary to allow for the project’s physical construction.

What the City memos do not say is that the requests **need not be granted** if the proposed project is objectively non-compliant with previously-adopted plans, zoning or local standards. Specifically, when one reads the entirety of the law, it says that cities, including charter cities (Los Angeles) cannot turn down a proposed development if it complies with applicable, objective zoning standards (uniform benchmarks), including design standards. But this project **DOES NOT** comply with those benchmarks, and therefore the City need not make a finding of specific, adverse effect.¹

Government Code Section 65915 does mandate that the City grant a density bonus when a project provides a specified amount of affordable housing. For this proposed project at 1848 S. Gramercy Place, which is offering 10% of the units as Very Low Income units, the City shall approve, according to Section 65915, “Two incentives or concessions for projects that include at least 17 percent of the total units for lower income households, at least 10 percent for very low income households...”

However, the Applicant is requesting two incentives PLUS eight “waivers” (concessions). You do not need to approve any nor all of the waivers/concessions – just two out of ten of the combined incentives and waivers.

This project’s Applicant is not arguing that the combined incentives and waivers/concessions are necessary for the physical construction of a project but rather, that the Applicant needs all of these concessions to build it the way the Applicant envisioned and designed it. This is circular thinking. It would lead to the conclusion that anyone can ask for anything, in any zone in the City – so long as they are also building a couple of affordable housing units – and receive a yes answer, *no matter what*.

¹ “When a proposed housing development project complies with applicable, objective general plan, zoning, and subdivision standards and criteria, including design review standards, in effect at the time that the application was deemed complete, but the local agency proposes to disapprove the project or to impose a condition that the project be developed at a lower density, the local agency shall base its decision regarding the proposed housing development project upon written findings supported by a preponderance of the evidence on the record that both of the following conditions exist:

(A) The housing development project would have a specific, adverse impact upon the public health or safety”

This defies logic. Why would we have any zoning at all? Or a City Planning Commission? Or so-called discretionary projects, if there is no discretion to make informed judgements?

Can anyone build a megastructure anywhere in Los Angeles, just because they want to?

Please let us not confuse the phrase “development standard” with the actual zoning. The actual zoning on this property at 1848 S. Gramercy Place is **C1.5-1VL-CPIO**. The 1VL is NOT a development standard; it is an adopted height district of “very low” that not only regulates height but also FAR. In the C zones, 1VL specifies an FAR of 1.5:1. Again, this is not a development standard, it is the zoning. That zoning is itself further defined by both the CPIO and the Mid-City Recovery Redevelopment Plan – both of which lay OVER the underlying zoning, and not the other direction. What does that mean? It means that any project is subject to the regulations of the underlying zone, the CPIO and the redevelopment plan. For a Density Bonus project, the decision maker may well need to determine what items are “regulations” versus what items may be “standards.” And which are “objective.”

Objectively, this parcel’s zoning requires certain specified setbacks on all sides. There is a confusion regarding the front setback – is it 10 feet (per the C1.5 zoning)? Is it 7 feet (that is in the CPIO)? Is it zero feet (also the CPIO, but noting the requirements for the Washington Boulevard commercial corridor were predicated on an assumption that new projects would face the commercial boulevard, not the residential side street.) But there is no confusion, objectively, as to the side or rear yard setbacks.

Applicant is requesting a zero-foot side yard setback. Potential future fire-fighting difficulties aside, this would leave only a five-foot separation between this building and the small multi-family apartment building to the north. This is unhealthy for those residents.

Objectively, the zoning specifies “three stories or 45 feet” as the maximum height. Usually for density bonus projects, a developer may request a one-story or two-story increase (11 to 22 feet); here we have a request for a four-story increase, more than 100% increase (and two of those stories are above-ground parking).

Objectively, the CPIO requires utilizing transition height adjacent to residential zoning/uses at RD1.5 or lesser zoning. The adjacent parcel is zoned RD2. Applicant requests relief from this requirement.

Objectively, the project requires 3,700 square feet of open space, and it should be communal. Applicant requests a waiver from this, too, down to 1,500 square feet – mostly individual apartment balconies (and not all of the apartments have balconies).

Without the open space, there is also virtually no landscaping. This one is a little less objective in that the amount of landscaping may not be defined. But zero is zero.

Objectively, the CPIO (and also the Redevelopment Plan) requires a measurable commercial component with a 14 foot ground floor interior height and 17.5 feet of commercial frontage. The redevelopment Plan would require this to support economic revitalization on a commercial corridor. However, Applicant requests a reduction to 10 feet in height and 10 feet of frontage, yielding a very small commercial space in the building.

The community worked very hard to achieve the Washington Boulevard Corridor’s CPIO (which we had initiated ourselves beginning in 2004 as a proposed “Washington Boulevard Specific Plan.”)

The effort began two years before that, with CORO training for some 60 community leaders in CD10, who together came up with the broad program to revitalize the District’s commercial corridors, which remained blighted despite many improvements in the residential areas. The community worked with the Planning Department and also the Community Redevelopment Agency to rethink the zoning on Washington Boulevard (which was primarily Q-CM but had many more warehouses and abandoned buildings than industrial uses). The idea was to help revitalize the Washington Boulevard Corridor and to permit some reasonable amount of new housing while still conserving the adjacent historic neighborhoods, Angelus Vista and Arlington Heights.

This Public-Private partnership between the community and the City allowed many well-considered regulations to be put into place, winning the support from the community to change the zoning to allow housing. There were de facto guarantees that, for example, new buildings would be limited in height to three stories, with exceptions to be made for 100% affordable housing projects. The result: the adoption of a corridor-specific, neighborhood-serving CPIO along the western portion of Washington Boulevard (Arlington to Crenshaw) reflecting the community’s goals and policies.

In 2017, that first CPIO for Washington Boulevard was adapted and then adopted for the eastern portion of the Corridor (Normandie to Arlington) and, in fact, also adopted for similar commercial corridors throughout South Los Angeles – inspired by the work we did in our neighborhood. The Planning Commission approved the CPIO in June, 2017; the City Council adopted it the following Thanksgiving, and it became effective on December 29, 2018.

The new zone, C1.5-1VL-CPIO, was greeted with open arms. But now it seems regrettable, since the Planning Staff responsible for assuring its regulations are applied instead are recommending to the Commission that CPC totally ignore the zoning – not to mention the still-in-effect redevelopment plan – and approve a project that is so massive that it will dwarf every building for miles around and yet be squeezed onto one single city lot.

The CPIO’s intent is clear: “...to revitalize neighborhood commercial areas to better serve nearby residential neighborhoods. Basic development standards promote the aesthetic upgrading of the subarea, and regulations seek to encourage a diverse range of services and retail uses.”

The CPIO also states: “Basic development standards promote the aesthetic upgrading of the subarea, and regulations seek to encourage a diverse range of services and retail uses. Projects within a Corridors Subarea shall comply with the applicable supplemental development regulations in this Chapter.”

This proposed project is non-compliant and inconsistent with the CPIO in numerous ways (e.g., as presented, in every way that requires a waiver and/or off-menu incentive).

Applicant's justification for requesting each of the off-menu incentives and waivers/concessions is that the current zoning constrains the project. But these "constraints" are self-imposed. Any reasonable person would read the zoning regulations, take a look at the property he or she owns, and hire an architect who could design a proper building with a reasonably-sized commercial space and a desirable number of units without triggering the need to either A). actually apply for a variance from the zoning (as should have been required in this instance) or B). apply for an excessive number of waivers, in addition to two off-menu incentives.

Noting that at the time of the Applicant's purchase, October 2017, new residential projects were forbidden on this stretch of Washington Boulevard. The zoning was "Q-CM" commercial manufacturing. The Q condition on Washington from Normandie west to Arlington was in a stage of being eliminated in favor of the then-proposed CPIO, but that had not been approved yet. The Redevelopment Plan also did not permit new residential uses at this site when the Applicant purchased the property. Applicant should not have had an expectation at the time of purchase that anyone would be able to build a multi-family residence.²

Tree canopy

To the extent this project is by right, as a Density Bonus project, it still boggles the mind that the architect and the Applicant failed to consider the simple impacts (and simple fixes) this project would have on the public realm on Gramercy Place. The east side of Gramercy has a series of beautiful, mature street trees reaching heights of 40 to 50 feet and with canopies of, it appears, 30 feet. If the building's design was flipped, so that the existing driveway remains the driveway, then there may not be a need to cut down the lovely Camphor tree in front of the house.

Also, on the initial Application evaluation forms, Applicant stated there are "No" mature trees on the lot. That is not true, as evidenced by a later evaluation stating otherwise.

Of equal concern is the future of the adjacent Sycamore tree, which may be a Protected Tree, which sits at the lot line. With the driveway on the north side of the project, combined with the zero-foot setback and construction need to excavate for the concrete (and likely steel) foundation, the project cannot help but cut deeply into the roots of the tree. If instead the project to have its 10-foot side yard setback on the north side, AND was set back from the street by the same amount, and the driveway was on the south side, then likely both trees can be saved.

Application Veracity

So much about this project is murky, including its ownership, compliance with notice, and actual use (as described previously, and by others, and above).

² And in fact, the residence was sold as an ongoing operation with tenants; the MLS Agent's Private Remarks stated: *"This home is currently managed as a sober living and is quite profitable."* The Applicant has continuously operated this business subsequent to the 2017 purchase.

The property was purchased in the name of an individual (Janet Jha, the wife of the project’s advocate, identified as the Applicant’s representative, Akhilesh Jha, in some paperwork) and recorded as such.



However, the submitted project plans and renderings show the owner to be “**Gramercy Manor LLC**” (see the name in the image to the left, below the architect’s stamp). This entity is owned by Janet Jha.

This is important because if the property is individually owned, then it is not subject to AB 1482, the State’s rent control ordinance; but if an entity owns the property, then the gentlemen who live at the house have far more rental protections and their eventual eviction(s) are more difficult to accomplish. So it is legally smart to avoid the ramifications of AB 1482 if one wishes to more easily remove one’s tenants.

But should we, as a City, continue to look the other way when it comes to the displacement – and potential homelessness, given the vulnerability of their housing situation – of the men who live at this home? Should we simply rubber stamp the Applicant’s assertion that no one does live there, or has lived there, other than in single family use? Should we also look the other way when the Staff Recommendation Report says the residence is “vacant” when in fact, on this day of writing my letter, it is visibly occupied by multiple tenants?

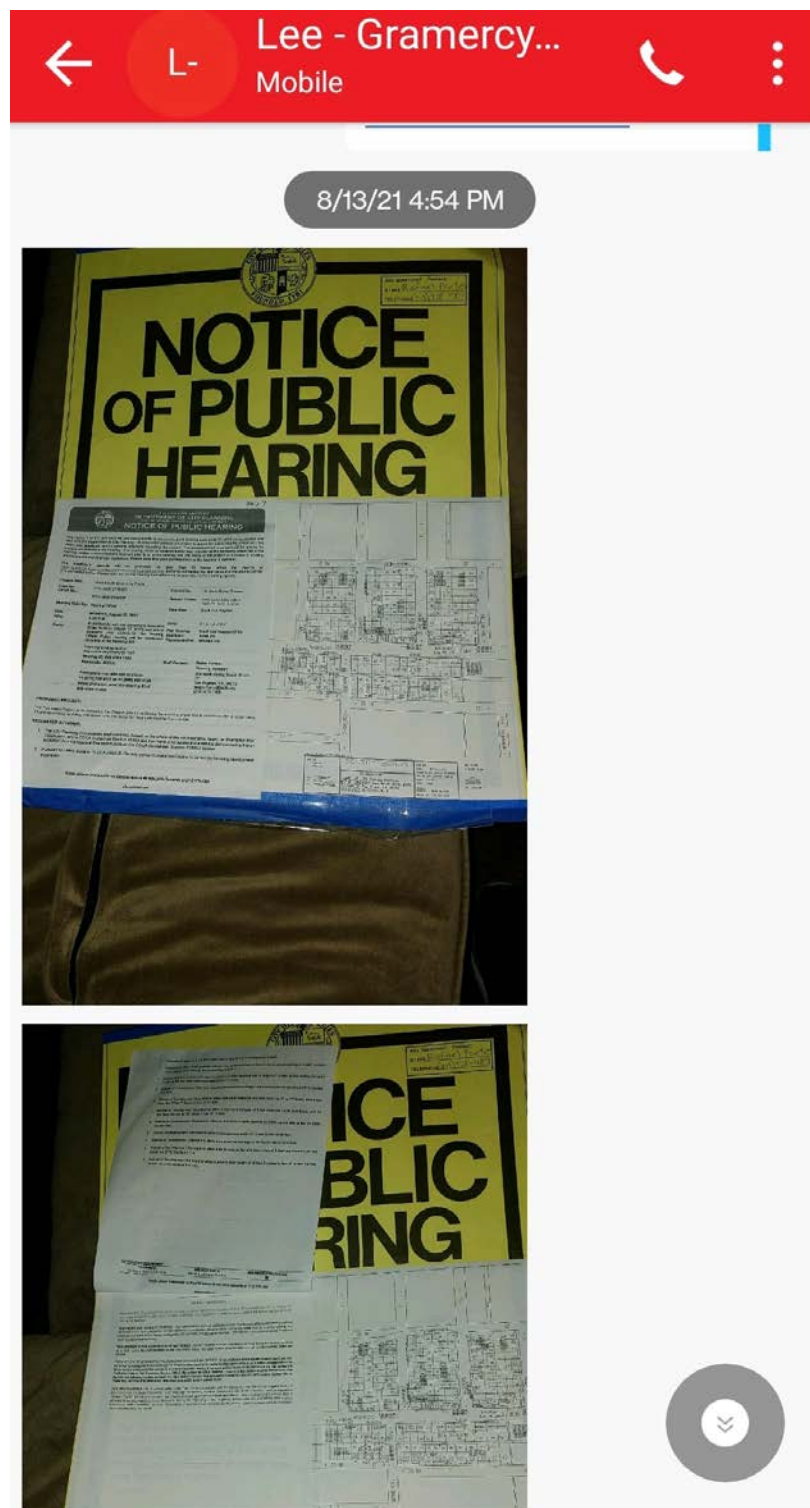
Gramercy Manor LLC is an active entity, with annual Secretary of State filings. It even qualified for two PPP loans during the COVID crisis.

There are other questions regarding this situation.

For instance, Planning Staff received numerous complaints in advance of the Staff-led CPC August initial hearing that the property WAS NOT POSTED with a hearing notice. But how does one prove that? Well, coincidental to my doing a Public Records Request (PRA) in late August regarding this case, I also received copies of emails between Staff and the Applicant’s representative Akhilesh Jha about whether or not Applicant had in fact posted the notice.

First, Akhilesh Jha emailed a photograph taken by his “manager” Earl Lee, purporting to show evidence of the posting (see below). Planning Assistant Rafael Fontes emailed back, stating that the photo was difficult to see, and could a new photograph be sent.

Here is the first photo. Most of the neighbors who have looked at it think the notice is affixed to a brown sofa cushion. Please compare it to the photo on the next page:



After receiving the photo above, Mr. Fontes asked Mr. Jha to send a better photo that would show the house in the rear. Here it is:



Please note that on the front porch amid other furnishings is a pile of brown sofa cushions. Clearly Applicant had not previously posted the notice and, when it was called into question, the manager scrambled to provide the visual proof.

My PRA request in August yielded 170 documents, including these unintentionally. If the Commissioners would like to review the others, here is the link to the “data dump.”

<https://spaces.hightail.com/receive/6Sa1B1y4gc/dXMtOWFjYmE2NjQtN2RmYS0xMWVhLWFiYTQtMGEyYzYxZTgxOGNj>

Why is this important more than six months later?

First, it brings into question the validity of the public hearing. I am unaware whether or not anyone asked for that hearing to be repeated. I also do not know whether or not – if the property had had a proper posted notice – more people would have attended the virtual hearing. In fact, I do not know how many attendees were present, since the Staff Recommendation Report only refers to the number of people who testified.

However, if there is any question as to validity, I would then argue that the Commission itself must endeavor to have a full, robust hearing on Thursday – not quite a do-over, but please more than the usual one minute apiece, in order to allow you to hear fulsome testimony.

Second, this represents just one more example of a lack of veracity on the part of the Applicant's team.

How can we know what else in the Application is true, or false, if the most simple matter of posting a Notice of Public Hearing is not just ignored (remember, neighbors who live on the block and in the surrounding blocks had complained about the lack of posting, which led to Mr. Fontes reaching out to ask about it) but then clearly and visibly lied about?

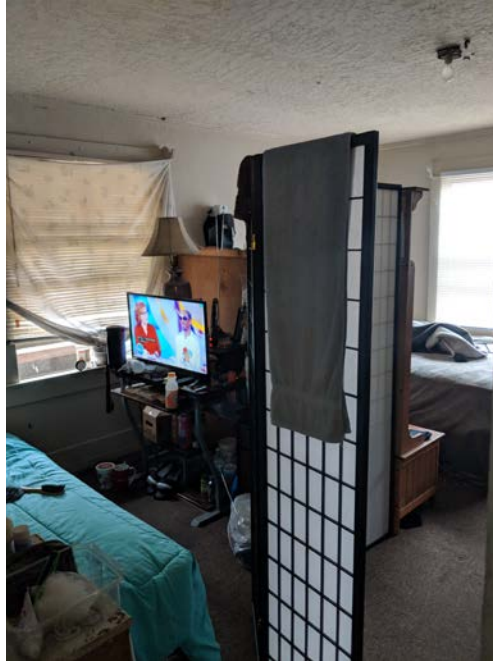
- Is it true that no one lives at the house? NO.
- Is it true that it has been in use as only a single family home? NO, not for two decades.
- Is it true that it is not subject to and qualifies for an exemption from AB 1482, the California Tenant Protection Act?
- Is it true that

And, bluntly, does the City want to be in the position of saying “Yes” to multiple incentives, waivers and concessions, when State law basically authorizes only two, for an Applicant who is beginning to appear to be a bad actor?

Group Home/Supportive Housing

I know others have written about this, and you now also have my initial comment letter from August (which was submitted to your file by a colleague when we all realized Staff had failed to include it in the Staff Recommendation Report). The City has photos demonstrating that in fact multiple people live in the house, in dorm-like bedrooms. You can see these photos with beds, dressers, hanging clothes, and other men's belongings on pages 120, 121, 132, 133, 134, 140, 141, 142, 143, and 144 of the Staff Recommendation Report.

I have inserted just one example below:



Conclusion

I am not opposed to a good housing project on this site. Of course, as you likely know, I am an advocate for preserving our historic fabric and the character of the neighborhood. One definition of a “good housing project” would be to simply build units in the rear of this property – that would be allowed by right – and rehabbing the house itself to either accommodate a continuing group home operation OR a commercial use OR a mixed commercial (on the first floor) / residential use.

But a properly-designed new building that respects the neighborhood, and respects the regulations, would also fulfill all of our goals to provide more safe and healthy housing.

The C1.5-1VL-CPIO zoning already offers a substantial incentive for Density Bonus projects, upping the base density from 1/800 to 1/400. The trouble here is that the Applicant wants to go far beyond reason, with little public benefit.

For that reason, I request that you DENY the waivers, DENY the categorical exemption, only approve the two incentives if you are truly required to, and REQUIRE that the project be re-designed to, among other things, move the driveway to the south side and have a 10-foot side yard setback on the north side, adjacent to the residential structure.

Thank you,

Laura Meyers



March 17, 2022

City Planning Commission
Los Angeles City Planning Department
Los Angeles, CA 90012

CC: Cecilia Lamas, LADCP
Rafael Fontes, LADCP

RESOLUTION AND COMMUNITY IMPACT STATEMENT:

**RE: Case No. CPC-2020-2115-DB-HCA– 1848 S Gramercy PI - OPPOSED
CPC Meeting scheduled for March 24, 2022**

This letter is to formally inform the Los Angeles City Planning Commission (CPC) that on October 7, 2021, the United Neighborhoods Neighborhood Council (UNNC) voted to affirm its position and re-adopt the below letter as a Resolution and Community Impact Statement to be sent specifically to the CPC upon that time that the above case was to be heard for its final approval or denial.

That CPC meeting is scheduled for March 24, 2022. As this letter is a resolution, we request our due time as an NC to present our position, which is OPPOSED to the project as presented and per the letter below. At this moment, it is UNNC's intention that I (John Arnold) will represent the NC at the meeting. If that changes, I will let you know who will be the designated representative. Note that we also have several NC stakeholders who live close to the site and who may also be present at the meeting to testify as individuals.

Below is the board's motion and formal position on the case from August 12, 2021. Attached in the email with this letter is the BAC (the voting record, if needed) from the October 7, 2021 UNNC governing board meeting authorizing this Resolution and Community Impact Statement to the CPC.

The UNNC Governing Board shall write a letter to the City of Los Angeles Planning Department, Council District 10, City Planning Commission, and other City governmental bodies, as appropriate, for the 33-unit Density Bonus project referenced above voicing the following concerns with the proposed project, based on an original motion passed by the UNNC Planning and Zoning Committee on November 4, 2020:

- a. The current structure on the site, proposed to be demolished, is affordable housing for approximately 25 special needs individuals. Historically, the UNNC*

Governing Board is extremely sensitive to the reduction of affordable housing in the district (as this project is proposing). Additionally, there is concern over the fate of the tenants even after required relocation payout, which was not outlined by the applicant. It is unclear whether payout will be per person, per unit, or some other baseline, and whether that is sufficient to keep from creating many homeless individuals as a result of this project.

- b. The current design is aggressively pursuing “off menu” Density Bonus incentives. The applicant is asking for 12 incentives that attempt to justify the inclusion of 33 units (the maximum allowed for a density bonus project). The incentive requests are unusual, egregious, and aggressive, including: addition of 30’ of building height and 4 extra stories (45’ allowable to 75’ height – normal density bonus incentive is 11’ and 1 extra story); provision of no open space except private balconies and a gym (60% reduction as compared to the standard 20% reduction for density bonus projects); provision of no landscaped areas except 18” possible planting along the north and east property line; reduction of the required commercial space for a mixed-use building from 17’-5” to 10’-0” of frontage; reduction of setbacks beyond the normal 20% allowed for density bonus projects (0’ front setback in lieu of 10’, 50% reduction at sides, and 74%-48% variable reduction at rear); provision of no transitional height to abutting residential lots; a proposed 193% increase in lot coverage (normal density bonus incentive is 20% increase); a proposed FAR increase beyond what is allowable for a density bonus incentive, among others. Additionally, Density Bonus projects are normally only allowed 3 incentives in lieu of the 12 proposed.*
- c. The pre-existing 40’ building line along Gramercy Pl, which conforms to the entire street, appears to have been removed since the filing of the case in 2018, and an inquiry needs to be made if this was done in error. UNNC committee investigation in 2018 indicates that this appears to be done in error.*
- d. The current design elevations were not provided to the Planning and Zoning Committee or the Governing Board. With a previous version of the project (on which the Governing Board passed a similar motion of non-support on December 6, 2018) with a similar floor layout but two stories shorter from 2018, the architectural design, neighborhood fit, and tenant habitability were not adequately considered. The design had an apparent disregard for the South Los Angeles CPIO conditions for the site that requires design review to ensure conformance with the character and development standards, such as setbacks, and lot development intensity. The current project will need to have a public hearing at the City Planning Commission (CPC), where design will be a consideration, including any effects on design performance from the requested off-menu incentives, and the omission of building design from the submittal renders the project incomplete and difficult to assess by the UNNC in advance of the CPC hearing.*
- e. The building, as currently designed, has multiple Building and Safety design violations (e.g. fire access, utility provisions, exiting, and building code setbacks).*

United Neighborhoods Neighborhood Council

P.O. Box 19219, Los Angeles, CA 90019

(323) 731-8686

president@unnc.org

www.UNNC.org

When these are resolved during plan check, the planning requests and character of the building will change significantly. This therefore makes the current proposal difficult to assess, much less approve, for entitlements.

- f. The mostly market rate project does not provide significant community benefits or resident amenities to justify a request of this magnitude, including adequate provision of affordable housing to replace what is lost from demolition.*

Further, the Governing Board requests of the Planning Department to allow the above provisions to be adjusted by the UNNC Planning and Zoning Committee and Governing Board in the event of any new information, such as a rendering or elevations, becomes available and which will further inform the position UNNC and its recommendations to City Council, Planning Department, and City Planning Commission.

The United Neighborhoods N.C. was certified in May 2002, and is one of the largest neighborhood councils in the City of Los Angeles, representing 80,000+ residential and non-resident stakeholders in the neighborhoods roughly bounded by Pico on the north, Exposition Place on the south, Crenshaw to the west and Normandie-Western-Arlington to the east. The subject property is within UNNC boundaries. This matter has been voted upon at public meetings which have complied with the Brown Act in their agendas and distribution of meeting notices, and at which were present members of the general public.

Thank you. Do not hesitate to contact me with any questions.

Sincerely,



John Arnold
UNNC Chair of Planning & Zoning Committee
323-829-9987
John.Arnold@UNNC.org



March 21, 2022

Los Angeles City Planning Commission

RE: *CPC-2020-2115-DB (HCA), 1848 S Gramercy Place*

Dear Commissioners:

West Adams Heritage Association (WAHA) routinely comments on planning issues affecting the West Adams area. We are concerned about the proposal for this 33-unit, 7-story project with virtually no setbacks, no communal open space and no landscaping at this site.

WAHA supports sensitive infill housing, both market rate and affordable, but not at the expense of the soon-to-be-displaced neighbors. For clarity, the Staff Recommendation Report is mistaken in calling this house “vacant” when actual visitors to the site can testify otherwise. As of this writing, the house is occupied by a group of tenants who have been there for many years. Cars drive in and out, and park at the house; men socialize on the front porch, and every Monday morning the normal trash is set out for pick up. People visibly live there.

Regarding the project being proposed: It is so out of character with the neighborhood and so out of conformance with all the Redevelopment Plan, the CPIO, and zoning regulations that on its face it ought not to be subject to a categorical exemption (CE). This is described in more detail below.

To base this CE upon a Class 32 categorical exemption to environmental review under CEQA is inapplicable because the Project is inconsistent with City planning and zoning policies, goals, and regulations. The use of a categorical exemption is also unavailable because the Project may have aesthetic and cultural resource impacts on this historic West Adams neighborhood (Angelus Vista), at both a Project and cumulative level. Further, the Project is inconsistent with the Mid-City Corridors Recovery Redevelopment Plan requirements for compatibility.

There are cumulative effects of multiple demolitions in the City Planning Department’s own identified historic district (e.g., the District formerly called the “18th Street Neighborhood Historic District”). For purposes of CEQA, the District need not be designated to require a further investigation into impacts and exploration of alternatives and/or mitigations. A CE is not appropriate. A categorical exemption is not the appropriate level of environmental review for a project that is highly discretionary, is in a historically sensitive environmental and fails to meet objectives of the community plan and redevelopment plan.

The project will have a demonstrable significant effect on the environment and does not qualify under Article III, Class 32 exemption.

The Class 32 "Infill" Categorical Exemption (CEQA Guideline Section 15332), hereafter referred to as the Class 32 Exemption, exempts infill development within urbanized areas if it meets certain criteria. **The class consists of environmentally benign infill projects that are consistent with the General Plan and Zoning requirements.** This class is not intended for projects that would result in any significant traffic, noise, air quality, or water quality impacts. The sheer number of waivers requested to justify this project calls into serious question any compatibility with the adopted Community Plan, its CPIO, and the Redevelopment Plan.

A CE should not be issued when there are unusual circumstances creating the reasonable possibility of significant effects; the project may result in damage to scenic resources, including, but not limited to, trees, historic buildings, rock outcroppings, or similar resources. This project appears to be specifically removing a mature Camphor tree in the public realm/parkway, and also appears to endanger the adjacent (likely protected) mature Sycamore tree also in the parkway, on the lot line (its roots would not survive the construction at a zero-foot setback).

A categorical exemption also should not be issued when there are sensitive issues and the project fails to comply with the redevelopment plan, CPIO and the community plan's stated objectives. To permit a CE in this case would cause irreparable and irreversible harm to the environment.

Here are just a few of the land use issues where the project is non-conforming and is in conflict:

The zone is C1.5-1VL-CPIO. The 1-VL is a height district ("very low") with a maximum of 3 stories and 45 feet. The normal density bonus incentive is one more story and 11 more feet. Why would 7 stories and 76 feet ever be deemed appropriate? It is out of character with any building currently existing on Washington Boulevard from Figueroa until at least Culver City, except for the one building, *Casa Vertigo*, on Oak Street.

For the CPIO, there is a required front yard setback of 10 feet that seems to have disappeared from all discussions in the Staff Recommendation Report. In any case, noting there are conflicting regulations, the Mid-City Recovery Redevelopment Plan (which is also an "overlay" like a specific plan over the underlying zoning) does require that setbacks be compatible with adjacent properties as one of many components to be considered before approving a design or approving discretionary actions, and there is no language in the CPIO overriding that requirement.

The project is exceptionally over-reaching and even its two density bonus incentives are categorized as "off-menu"; it asks for multiple "waivers" (versus incentives) yet provides few public benefits in return. The project will displace, and has begun to displace, 20-25 low-income individuals. Only 3 ELI affordable units are offered in return. Why wouldn't more RSO/affordable units be required?

Why has applicant continued to state the residence is in use as a "single family home" when it is observable and provable, in the City's own records, that the use is and has been for a long-time supportive housing/boarding house/dormitory?

The redevelopment plan specifically says its policy is to NOT displace individuals or families of low or moderate income; and that the Redevelopment Plan does not permit any variation (e.g., variances or other discretionary grants) that would be "contrary to the objectives of this Plan."

The 1907-1908 house is identified as a Contributor to the "18th Street Neighborhood" historic district (essentially the Angelus Vista Tracts I and II, and adjacent smaller tracts). That this is not an HCM does not dismiss its Contributor status to a potential historic district; and the Cultural Heritage Commission's action was appropriately silent as to that. Also, one of the policies within the Redevelopment plan is that the City shall "encourage historic preservation" (page 25, #700).

Unfortunately, though the City has now adopted that historic district as the "Angelus Vista Character Residential Overlay District CPIO" (excluding commercially-zoned properties in that overlay but that doesn't mean they no longer contribute to the underlying historic district) – the community has experienced since that adoption multiple demolitions of historic homes after the effective date of the Character Residential District in late December 2018. The demolitions include 1509 S. Gramercy Pl.; 1537 S. Wilton Pl.; 1839 S. Gramercy Pl. (across from the Subject property); 1540 and 1546 S. St. Andrews Pl.; and 1660 S. Arlington, all of which were constructed between 1903 and 1910 and represent the remaining original homes. Several other homes from that era are facing demolition, including 1310 S. St. Andrews and the subject property at 1848 S. Gramercy Place. Technically, this series of demolitions is a cumulative effect that would be an exception that disallows the use of a categorical exemption.

The Redevelopment Plan also specifically states that setbacks may be established that exceed the requirements of the City's zoning ordinance(s) and it also places an emphasis on "adequate amounts of affordable housing."

It is concerning that the application seems nowhere to relate to the Redevelopment Plan which we understand to be in effect as an overlay through the year 2028.

The waiver requests appear excessive and contrary to the Redevelopment Plan and CPIO. Lot coverage is not 30% but rather 88%. The setbacks are insufficient. A 60% reduction of open space cannot be justified. Balconies are being counted as open space and this ignores the environmental need for green space and landscaping. There are significant impacts to adjacent properties in massing, scale and air quality. The developer needs to look at underground parking to reduce mass. The developer is not conforming to the area's most basic environmental needs nor responding to the CPIO and Redevelopment Plan.

If the developer proceeds with this project as currently designed and proposed, it will not meet the qualifications for a categorical exemption. Therefore, WAHA asks that the Commission send this project back to planning for environmental review and not adopt the CE.

Roland Souza, President
West Adams Heritage Association
c/o 1724 Westmoreland Boulevard, L.A., CA 90006
preservation@westadamsheritage.org
roland.e.souza@gmail.com

For what's proposed at 500 and 506 N. Larchmont, the overarching sentiment from the neighborhood remains that this is a faulty Transit-Oriented Community application and that the mass-up incentives being taken by the developer and configuration of key R-1 impact aspects of the project, now approved by the City, harm the community in a multitude of ways, and offer no trade-off of the TOC permitting in the form of affordable housing, closely located to transit as the majority of the proposed 500N units are market-rate with just two single units deemed "affordable housing" out of 21 total. The City in its Letter of Determination is allowing the developer to take incentives without providing the requisite reciprocal value to the community which is our interpretation of the law.

The developer representative, Mathew Hayden is applying for his clients (Galaxy and property owner Ben Yoshe) under the guise that this area is "Transit-Oriented" when in fact it is supported only by *Dash* bus stops sparse public transit in close proximity = not what the voters intended when voting to agree to these types of projects for legitimate HIGH Transit areas. Because of this and other reasons lawsuits abound against developer abuse of similar TOC permit applications.

Larchmont and Larchmont Heights are in low-rise commercial districts that abut the backyards of quiet R-1 Residential neighborhoods whose neighbors are diverse. The City, by allowing the mass up and other incentives for 500N & 506 N as intended will also be changing the Viewsheds of the entire historic Larchmont Village by allowing a 5-story + roof protrusions luxury apartment building in an area zoned for 3 story building heights maximum.

Also, by allowing the parking to be located above ground, the City is essentially endorsing negative noise impact, additional pollution, and dangerous car access (*which begs the question, if the new residents of 500N Larchmont are motivated to take public transportation, why do you even need a volume of individual car parking?*) That said, the developer's refusal to consider excavating the parking (which would give him the same building inventory at a lower overall building height - (see Exhibit A marked plans page 7) is solely doing so as stated by him for profit reasons. So in support of this refusal, a potentially towering structure overlooking R-1 back yards, the City is also complicit in potentially negative R-1 property value impacts essentially a transference of wealth away from hard-working homeowners to the landowners, developers, and service providers for their profit of 500N 506N Larchmont redevelopment.

Further, the developer has represented that the City won't allow the parking entrance to be on the commercial, N. Larchmont Blvd side -- even though the area is already configured for it with a turning lane -- rather developer's plans intend to locate the garage entrance on the residential side at Rosewood Avenue which will bring noise, traffic, dangerous for pedestrians (potentially libelous) garage entry/exit turning over existing residential sidewalks and disturbance to the closely locate residents of Gower and Rosewood.

The fact remains, that to date, the City Planning Department Letter of Determination published August 27, 2021, has approved a project that does not include a single concession to the residents after community-wide opposition. We noticed the developer's plans which were attached in the approved L.O.D. do not include any of the changes discussed and agreed upon in principle between the developer's representative and the Gower/Rosewood residents prior to communication falling off. All are included again in the attachments to this email (see Exhibit A pages 1-4).

After meeting with the developer and his representative, having several exchanges, we, the residents of the 500 N Gower and 5200 Rosewood Avenue blocks appealed because we feel we've been ignored upon receiving the final L.O.D. and are not being heard by either the developer or the City Planning Department. In any final determination, we're hoping the City Planning Department will reconsider and add certain changes as revised conditions of permitting to the original L.O.D.

Respectfully, Steven Voci 513 N. Gower Street Appellant on behalf of 500 block of N. Gower and 5200 Rosewood Avenue submitted March 21, 2022 , 2:04 PM PDT

EXHIBIT A

GOWER & ROSEWOOD NEIGHBORS COMMENTS TO DEVELOPER CASE FILE PLANS

SUBMITTED FOR 500N/506N LARCHMONT BLVD.

SUMMARY OF RESPONSES

SEPTEMBER 9, 2021

KEY
DEVELOPER IS NOT ADDRESSING
DEVELOPER RESPONDED, BUT CHANGES ARE NOT REFLECTED IN THE SUBMITTED PLANS.

	Neighbor Concerns 3/24/2021		Developer Response 4/2021	Review 9/9/2021
A2.1	Parking	Move parking structure underground	Cost prohibitive; infeasible	Not addressed.
		Move parking entrance to Larchmont Blvd.	Loss of parking; lack of security - because DOT will require a reservoir space that will not allow for a gate; against DOT ingress/egress policy/traffic hazards; does not meet urban forestry tree spacing requirements.	Not addressed.
	Sitewall	Sitewall information Requested	See Plans	Not addressed per approved plans dated 9/14/2020.
	Planting	Add planting per section.	See Landscaping Plans	Not addressed per approved plans dated 9/14/2020.
		Add trees at Rosewood	See Landscaping Plans	Not addressed per approved plans dated 9/14/2020.
	Transformer	Move transformer underground	Cost prohibitive; infeasible	Not addressed.
A2.4	Decks	Hold back deck minimum 10.0', reduce habitable deck by 50%.	1. Removed common open space from rear and relocated it to roof adjacent to Larchmont. 2. Installed landscaping buffers on private open space, and we reduce the private decks on the 4th floor substantially. 3. Reduced the window sizes/relocated them on the rear facade to limit views into neighbors' rear yards.	Not addressed per approved plans dated 9/14/2020.
		Relocate the R-1 facing Common Space "Party Decks" to Larchmont Blvd.		Not addressed per approved plans dated 9/14/2020.
A3.5	Mass & Height	Move parking underground. Maintain 4 levels of Residential Apartments at front; 2 levels of Residential Housing at the back facing R-1.	See notes above.	Not addressed.
		Relocate Roof Access Tower	Positioned per open space requirements/access to roof.	Not addressed per approved plans dated 9/14/2020.
	Decks & Balconies	Relocate the R-1 facing Common Space "Party Decks" to Larchmont Blvd.	See notes above.	Not addressed per approved plans dated 9/14/2020.
		Hold back deck minimum 10.0', reduce habitable deck by 50%.	See notes above.	Not addressed per approved plans dated 9/14/2020.
		Omit balconies from R-1 Facing set back.	See notes above.	Not addressed.
	Planting	Erect R-1 Facing "Green Screen"	See notes above.	Not addressed per approved plans dated 9/14/2020.
	Sidewall	Specs requested for Rosewood facing sidewall.	See Landscaping Plans	Not addressed per approved plans dated 9/14/2020.
A7.1 & A7.2	R-1 Facing	Show neighboring 501 N. Gower (ADU at property line)	See Renderings.	Not addressed per approved plans dated 9/14/2020.
		Show Accurate Landscaping.	See Renderings.	Not addressed per approved plans dated 9/14/2020.
		Show Accurate Site Conditions.	See Renderings.	Not addressed per approved plans dated 9/14/2020.
	Parking	Move parking entrance to Larchmont Blvd.	See notes above.	Not addressed.

EXHIBIT A

GOWER & ROSEWOOD NEIGHBORS COMMENTS TO DEVELOPER CASE FILE PLANS

SUBMITTED FOR 500N/506N LARCHMONT BLVD.

SUMMARY OF RESPONSES

SEPTEMBER 9, 2021

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Neighbor Concerns 3/24/2021			Developer Response 4/2021	Review 9/9/2021
Other	Site History	500N Site History as recent as 1975 (Rosewood Superservice) Share Environmental Phase I Conduct Environmental Phase II	Categorically exempt - not required.	Responded.
	Existing Trees	How do you plan to maintain the old growth Ficus Trees at Larchmont?	Trees to be protected during construction per Urban Forestry Requirements.	Responded.
	Construction	Demo & Construction Noise impact to Facing and Adjacent properties 500N, 507N, 513N, Gower 5262 Rosewood Ave. OSHA compliance? Planned use of chemical and compounds Reflective siding materials in latest architectural renderings = high glare facing R-1.	Regulatory compliance measures will be implemented.	No response to reflective siding materials.
	Long Term	CEQA Impacts	Categorically exempt.	Responded.
	Parking	Can the rear spaces be all EV?	1. Code-required EV ready spaces will be placed along the rear. 2. Additional spaces along the rear will be prioritized for additional tenants that request EV Parking	Responded.

PER NEIGHBOR REVIEW, THE DEVELOPER HAS NOT ADDRESSED ANY OF THE CONCERNS HIGHLIGHTED IN RED ABOVE. THE DRAWINGS INCLUDED IN THE DETERMINATION APPROVAL LETTER ARE DATED 9/14/2020 PRIOR TO NEIGHBORHOOD ENGAGEMENT.

DEVELOPER RESPONSE

4/2021

Gower & Rosewood Neighbors Comments to Developer Case File Plans Submitted for 500N/506N Larchmont Blvd Summary of Concerns Recommended Changes

A2.1

Parking

- Move Parking structure underground **COST PROHIBITIVE; INFEASIBLE**
- Move Parking entrance to Larchmont Blvd

Sitewall

- Sitewall information requested (see plans)

SEE PLANS

LOSS OF PARKING; LACK OF SECURITY - BECAUSE DOT WILL REQUIRE A RESERVOIR SPACE THAT WILL NOT ALLOW FOR A GATE; AGAINST DOT INGRESS/EGRESS POLICY/TRAFFIC HAZARDS; DOES NOT MEET URBAN FORESTRY TREE SPACING REQUIREMENTS

Planting

- Add planting per section (See A 3.5) **SEE LANDSCAPING PLANS**
- Add trees at Rosewood **SEE LANDSCAPING PLANS**

Transformer

- Move transformer underground **COST PROHIBITIVE/INFEASIBLE**

A2.4

Decks

- Hold Back Deck minimum 10.0' , Reduce habitable deck by 50%
- Relocate the R-1 facing Common Space "Party Decks" to Larchmont blvd (See 3.5)

1. REMOVED COMMON OPEN SPACE FROM REAR AND RELOCATED IT TO ROOF ADJACENT TO LARCHMONT
2. INSTALLED LANDSCAPING BUFFERS ON PRIVATE OPEN SPACE, AND WE REDUCE THE PRIVATE DECKS ON THE 4TH FLOOR SUBSTANTIALLY
3. REDUCED THE WINDOW SIZES/RELOCATED THEM ON THE REAR FACADE TO LIMIT VIEWS INTO NEIGHBORS' REAR YARDS

A3.5

Mass & Height

- Move parking underground. Maintain 4 levels of Residential Apartments at front; 2 levels of Residential Housing at the back facing R-1 **SEE NOTES ABOVE**
- Relocate Roof Access Tower **POSITIONED PER OPEN SPACE REQUIREMENTS/ACCESS TO ROOF**

Decks & Balconies

- Relocate Outdoor Common Space "Party Deck" to Larchmont Side **SEE NOTES ABOVE**
- Hold Back Deck minimum 10.0' , Reduce habitable deck by 50% **SEE NOTES ABOVE**
- Omit Balconies from R-1 Facing Set back **SEE NOTES ABOVE**

Planting

- Erect R-1 Facing "Green Screen" **SEE NOTES ABOVE**

Sidewall

- Specs requested for Rosewood facing sidewall **SEE LANDSCAPING PLANS**

A7.1 & 7.2 (Renderings)

R-1 Facing

- Show Neighboring 501 N. Gower (ADU at property line) **SEE RENDERINGS**
- Show Accurate Landscaping **SEE LANDSCAPING PLANS**
- Show Accurate Site Conditions **SEE LANDSCAPING PLANS**

Parking

- Move Parking Entrance to Larchmont **SEE NOTES ABOVE**

DEVELOPER RESPONSE

4/2021

Other Issues:

Site History

- 500N Site History as a recent as 1975 (Rosewood Superservice)
 - Share Environmental Phase I
 - Conduct Environmental Phase II

CATEGORICALLY EXEMPT -
NOT REQUIRED

Existing Trees

- How do you plan to maintain the old growth Ficus Trees at Larchmont?

TREES TO BE PROTECTED
DURING CONSTRUCTION PER
URBAN FORESTRY
REQUIREMENTS

Construction

- Demo & Construction Noise impact to Facing and Adjacent properties 500N, 507N, 513N, Gower 5262 Rosewood Ave
- OSHA compliance? Planned use of chemicals & compounds
- Reflective siding materials in latest architectural renderings = high glare facing R-1

REGULATORY COMPLIANCE
MEASURES WILL BE
IMPLEMENTED

Long term

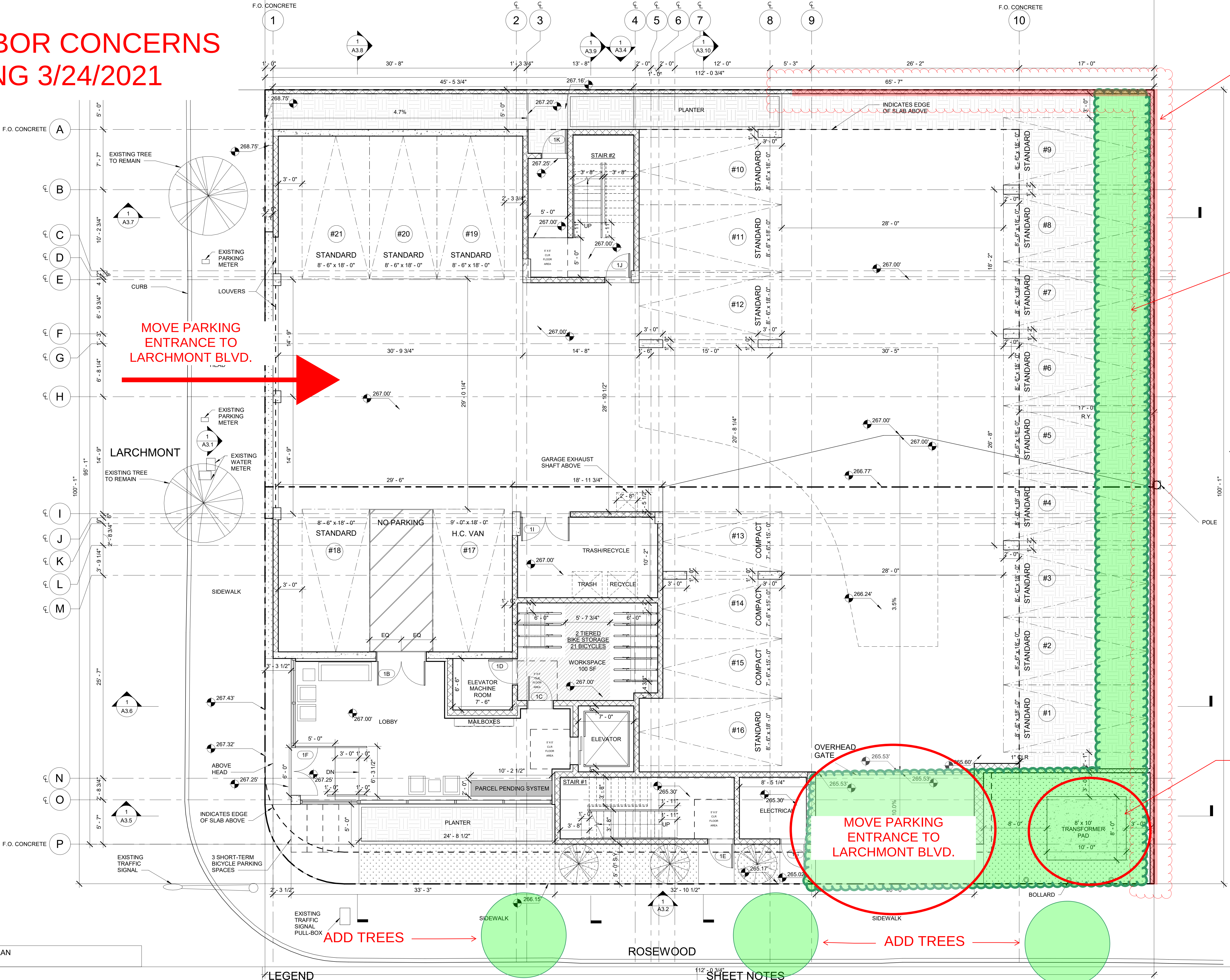
- CEQA Impacts

CATEGORICALLY EXEMPT

CAN THE REAR SPACES BE ALL EV

1. CODE-REQUIRED EV READY SPACES WILL BE PLACED ALONG THE REAR
2. THE ADDITIONAL SPACES ALONG THE REAR WILL BE PRIORITIZED FOR ADDITIONAL TENANTS THAT REQUEST EV PARKING

NEIGHBOR CONCERNS
MEETING 3/24/2021



1
3/16" = 1'-0"

1-FIRST FLOOR PLAN

KEYNOTES

LEGEND

- CONCRETE WALL - SEE STRUCTURAL DRAWINGS
- 8" OR 12" CMU WALL - SEE STRUCTURAL DRAWINGS
- 2 X 6 WD STUD OR FURRING WALL - SEE STRUCTURAL DRAWINGS
- 2 X 4 WD STUD OR FURRING WALL - SEE STRUCTURAL DRAWINGS
- 1-HR RATED CONSTRUCTION - SEE SHEET 6.1 FOR DETAILS
- 2-HR RATED CONSTRUCTION - SEE SHEET 6.1 FOR DETAILS
- CARBON MONOXIDE ALARM, HARD-WIRED W/ BATTERY BACK-UP
- CEILING MOUNTED BATTERY OPERATED SMOKE DETECTOR, HARD-WIRED W/ BATTERY BACK-UP
- WHISPER-QUIET CEILING EXHAUST FAN/LIGHT COMBO, 50 CFM MIN, ENERGY STAR RATED, HUMIDISTAT CONTROLLED EXHAUST FAN DUCTED TO EXTERIOR
- EXIT SIGN

SHEET NOTES

- ALL DIMENSIONS ARE TO FACE OF FRAMING, CENTERLINE OF STRUCTURAL POST, OR EDGE OF SLAB U.O.N.
- ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- AT ALL INTERIOR WALLS, INSTALL 1 LAYER 5/8" GWB BOTH SIDES. AT WET LOCATION, INSTALL CEMENT BOARD ON WET SIDE OF WALL.
- SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION.
- ALL DOORS TO BE FRAMED 6" FROM THE ADJACENT PERPENDICULAR WALL TO THE THROAT OF THE HINGE SIDE OF THE DOOR, U.O.N.
- ALL EXTERIOR DOORS SHALL OPEN ONTO A LANDING IN THE DIRECTION OF THE DOORSWING THAT IS NO MORE THAN 1/2" BELOW THE DOOR THRESHOLD ELEVATION.
- SEE INTERIORS PACKAGE FOR ALL INTERIOR MATERIALS, FIXTURES, AND FINISHES.

ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 302
North Hollywood, CA 91602
(310) 422-9234
Email: aaron@aaronsbrumer.com

STRUCTURAL:
Kurt Fischer Structural Engineering
17547 Ventura Blvd. Ste 302
Encino, CA 91436
Tel (818) 874-1445
www.kfseng.com

CIVIL:
DK Engineer, Corp
6420 Wilshire Blvd. #1000
Los Angeles, CA 90048
Tel (310) 926-0248

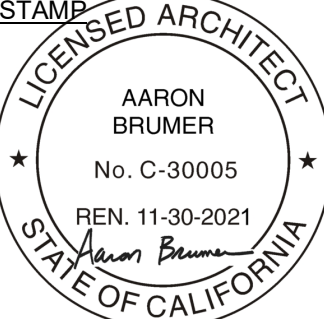
LANDSCAPE:
Courtand Studio
505 E Colorado Blvd. Mezz C
Pasadena, CA 90048
Tel (818) 788-3217

MEP:
IDiaz Design, Inc.
3700 Wilshire Blvd. #910
Los Angeles, CA 90010
Tel (310) 388-8730
www.idiazdesign.com

PROJECT:
21-Unit Multi-Family Building
500 N LARCHMONT BLVD
LOS ANGELES, CA 90004

ISSUE	DATE	DESCRIPTION
1	05.28.2020	PLAN CHECK SUBMITTAL
2	09.14.2020	CITY PLANNING TOC SET

ISSUE	DATE	DESCRIPTION

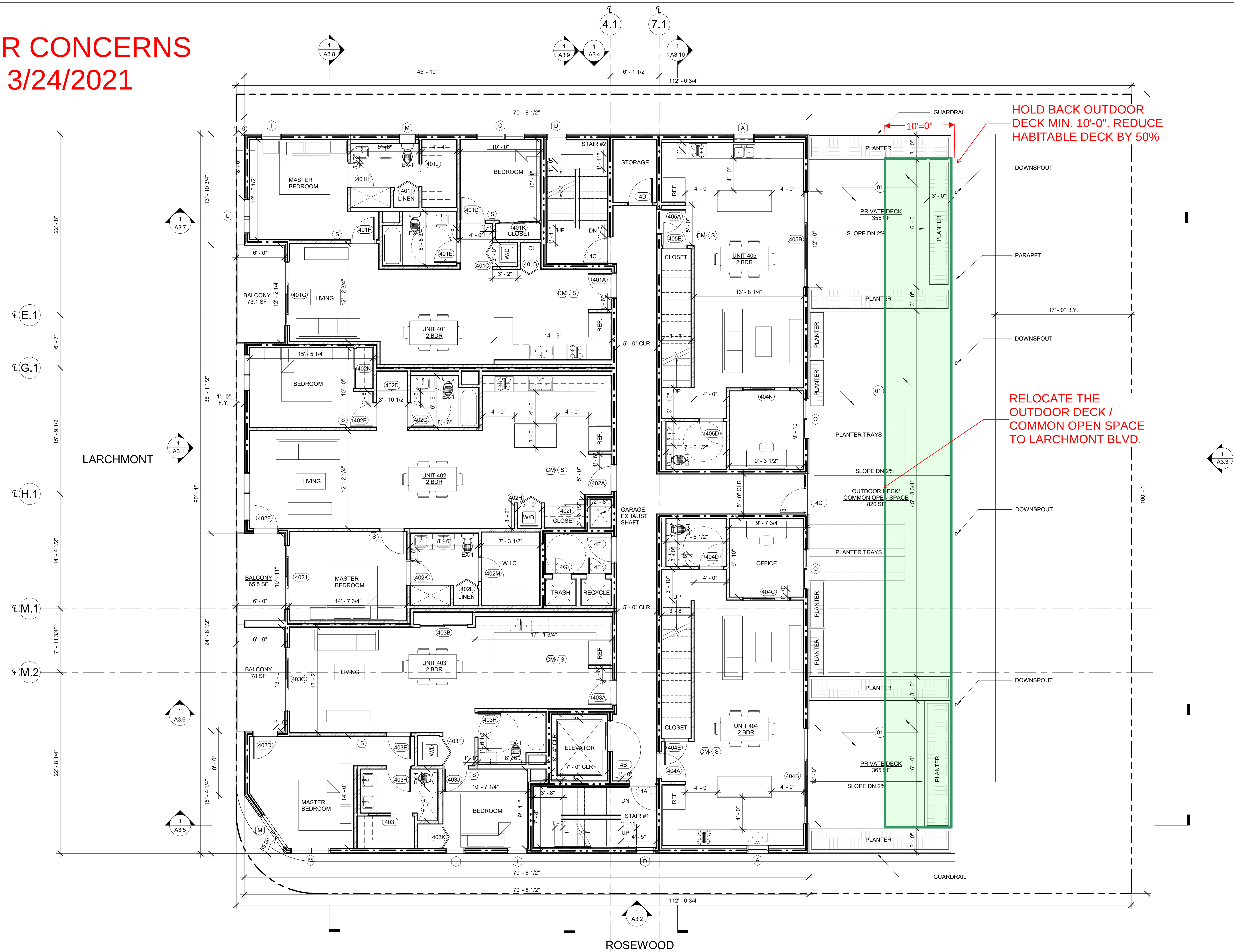


DRAWING TITLE
FIRST FLOOR PLAN

A2.1

LARCHMONT

NEIGHBOR CONCERNS
MEETING 3/24/2021



1 4-FOURTH FLOOR PLAN
3/16" = 1'-0"

KEYNOTES

01 DEX-O-TEX WEATHERWEAR COATING IN '304 SANDPIPER BEIGE XL' COLOR
SRI: 46
SEE SHEET A0.8 FOR SPECIFICATIONS

LEGEND

2 X 4 WD STUD OR FURRING WALL-
SEE STRUCTURAL DRAWINGS

2 X 4 WD STUD OR FURRING WALL-
SEE STRUCTURAL DRAWINGS

1-HR RATED CONSTRUCTION-
SEE SHEET 6.1 FOR DETAILS

2-HR RATED CONSTRUCTION-
SEE SHEET 6.1 FOR DETAILS

CARBON MONOXIDE ALARM,
HARD-WIRED W/ BATTERY BACK-UP

CEILING MOUNTED BATTERY
OPERATED SMOKE DETECTOR,
HARD-WIRED W/ BATTERY BACK-UP

WHISPER-QUIET CEILING EXHAUST
FAN/LIGHT COMBO, 50 CFM MIN.
ENERGY STAR RATED, HUMIDISTAT
CONTROLLED EXHAUST FAN DUCTED
TO EXTERIOR

EXIT SIGN

SHEET NOTES

1. ALL DIMENSIONS ARE TO FACE OF FRAMING, CENTERLINE OF STRUCTURAL POST, OR EDGE OF SLAB U.O.N.

2. ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.

3. AT ALL INTERIOR WALLS, INSTALL 1 LAYER 5/8" GWB BOTH SIDES. AT WET LOCATION, INSTALL CEMENT BOARD ON WET SIDE OF WALL.

4. SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION.

5. ALL DOORS TO BE FRAMED 6" FROM THE ADJACENT PERPENDICULAR WALL TO THE THROAT OF THE HINGE SIDE OF THE DOOR, U.O.N.

6. ALL EXTERIOR DOORS SHALL OPEN ONTO A LANDING IN THE DIRECTION OF THE DOORSWING THAT IS NO MORE THAN 1/2" BELOW THE DOOR THRESHOLD ELEVATION.

7. SEE INTERIORS PACKAGE FOR ALL INTERIOR MATERIALS, FIXTURES, AND FINISHES.



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17547 Ventura Blvd. Ste 302
Encino, CA 91316
Tel (818) 874-1445
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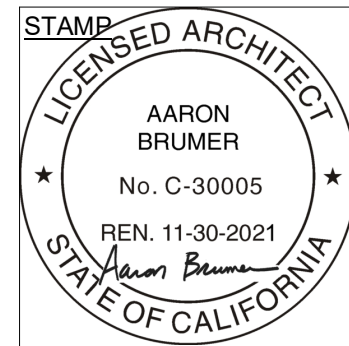
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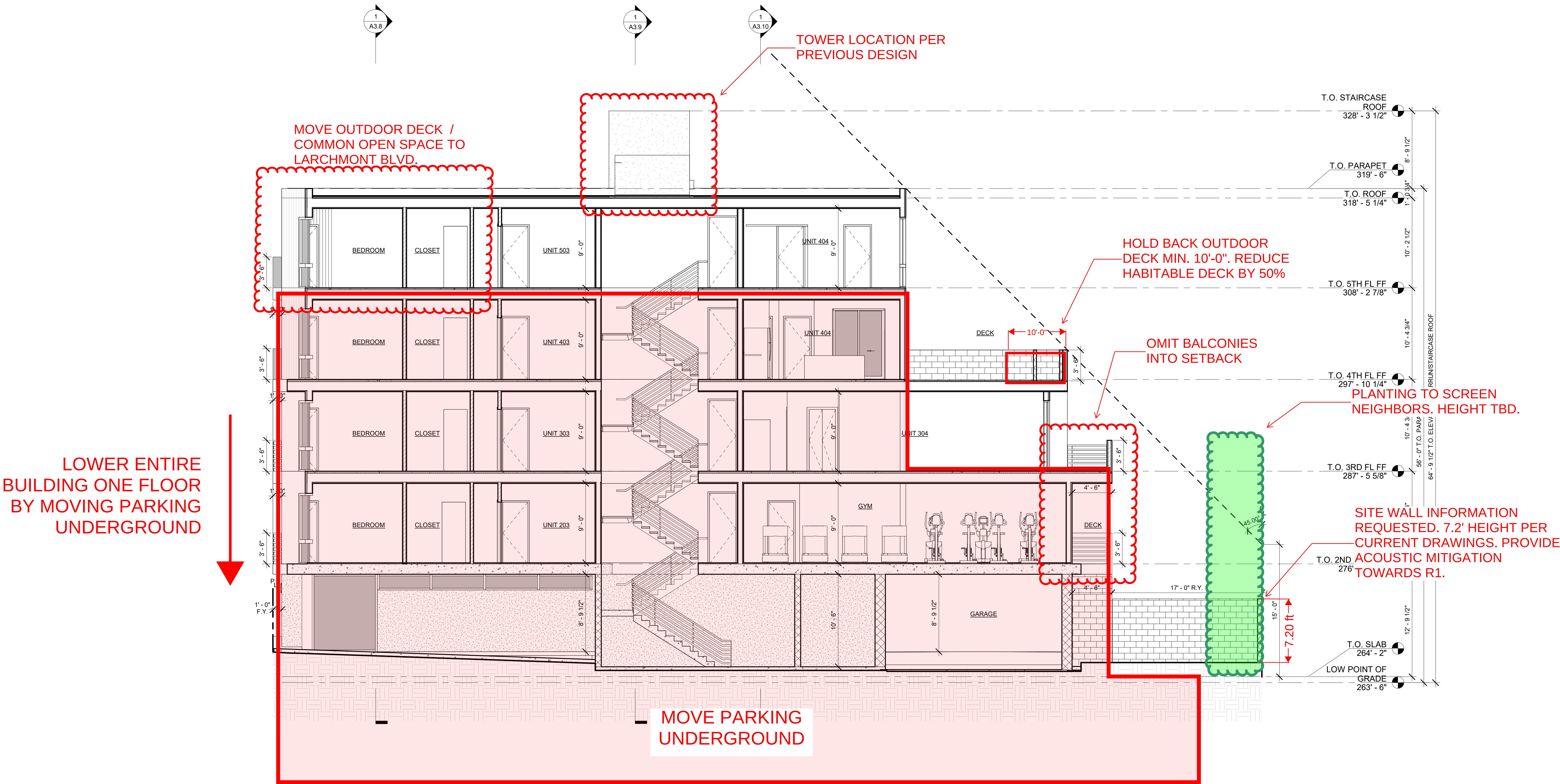


DRAWING TITLE
FOURTH FLOOR
PLAN

A2.4

LARCHMONT

NEIGHBOR CONCERNS
MEETING 3/24/2021



1 Section 1
3/16" = 1'-0"



ARCHITECT:
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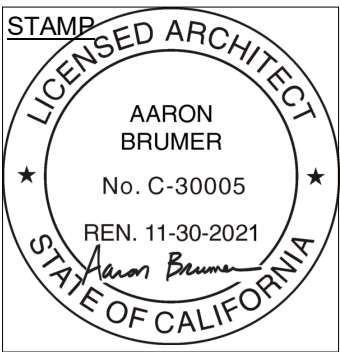
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DRAWING TITLE
SECTION 1

A3.5

LARCHMONT

NEIGHBOR CONCERNS
MEETING 3/24/2021



SHOW NEIGHBORING
BUILDING (501 GOWER) AND
ACCURATE LANDSCAPING

MOVE PARKING GARAGE
ENTRY TO LARCHMONT

VIEW FROM THE CORNER OF LARCHMONT AND ROSEWOOD



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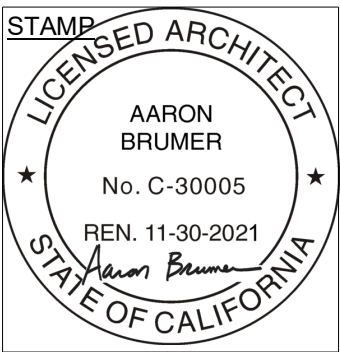
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DRAWING TITLE
RENDERINGS

A7.1

LARCHMONT

NEIGHBOR CONCERNS
MEETING 3/24/2021



VIEW FROM LARCHMONT ON APPROACH TO ROSEWOOD



REVISE BALCONIES AND
ROOF DECK TOWARDS R1

WHERE ARE THESE
TREES IN LANDSCAPE
PLAN? SHOW ACCURATE
SITE CONDITIONS.

- MOVE TRANSFORMER
UNDERGROUND
- PROVIDE AMPLE SOIL
DEPTH FOR PLANTING

VIEW FROM ROSEWOOD



ARCHITECT:
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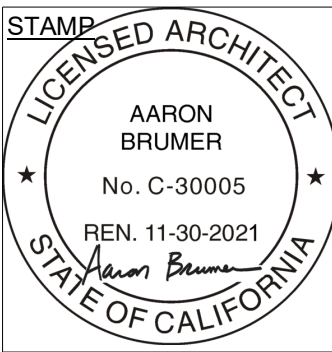
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DRAWING TITLE
RENDERINGS
(CONT)

A7.2

LARCHMONT

500 N Larchmont Photos

Table of Contents:

Definition of a TOC(1)

Viewsheds (3)

Streetviews (1)

Trees (1)

Past Site Use (1)



Transit Oriented Communities Incentive Program

The Transit Oriented Communities (TOC) Incentive Program encourages the construction of affordable housing near bus and train stations. The new units generated by the TOC incentives provide convenient options for low-income residents, add to the City's housing stock, and promote alternatives to car travel.

Measure JJJ, passed by voters in 2016, amended the Los Angeles Municipal Code to create the TOC program, a package of new incentives for building affordable housing near public transit. The ballot initiative also required Los Angeles City Planning to create TOC guidelines for all housing developments within a half-mile radius of a major transit stop.

To qualify for the TOC incentives, developers must file the application and tier verification forms below at the [Metro Development Services Center](#).

For more information about the TOC program, contact the Housing Services Unit at dcpphp@lacity.org. Visit the [Housing](#) page to learn more about City Planning's work on housing policy.

Resources

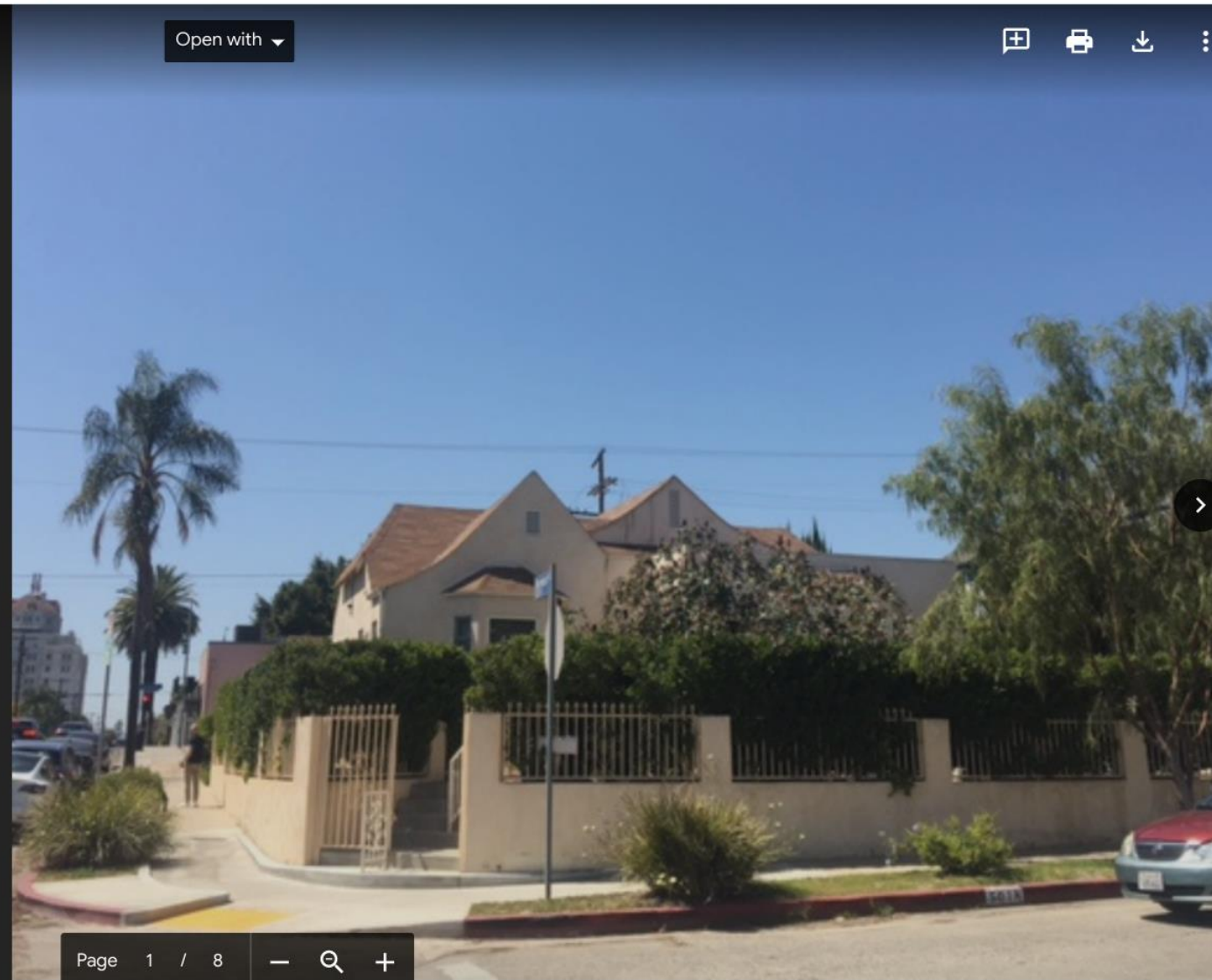
- [Frequently Asked Questions](#)
- [TOC Guidelines](#)
- [Housing Progress Reports](#)
- [Advisory Memo on Implementation of TOC Incentives in CRA/LA Redevelopment Plan Areas](#)

Gower & Rosewood Viewshed_500 N Larchmont.pdf

Open with

GOWER ST. & ROSEWOOD VIEWSHED

By Gower & Rosewood Neighbors



← PDF Gower & Rosewood Viewshed_500 N Larchmont.pdf Open with ▾

view & sky obstructed



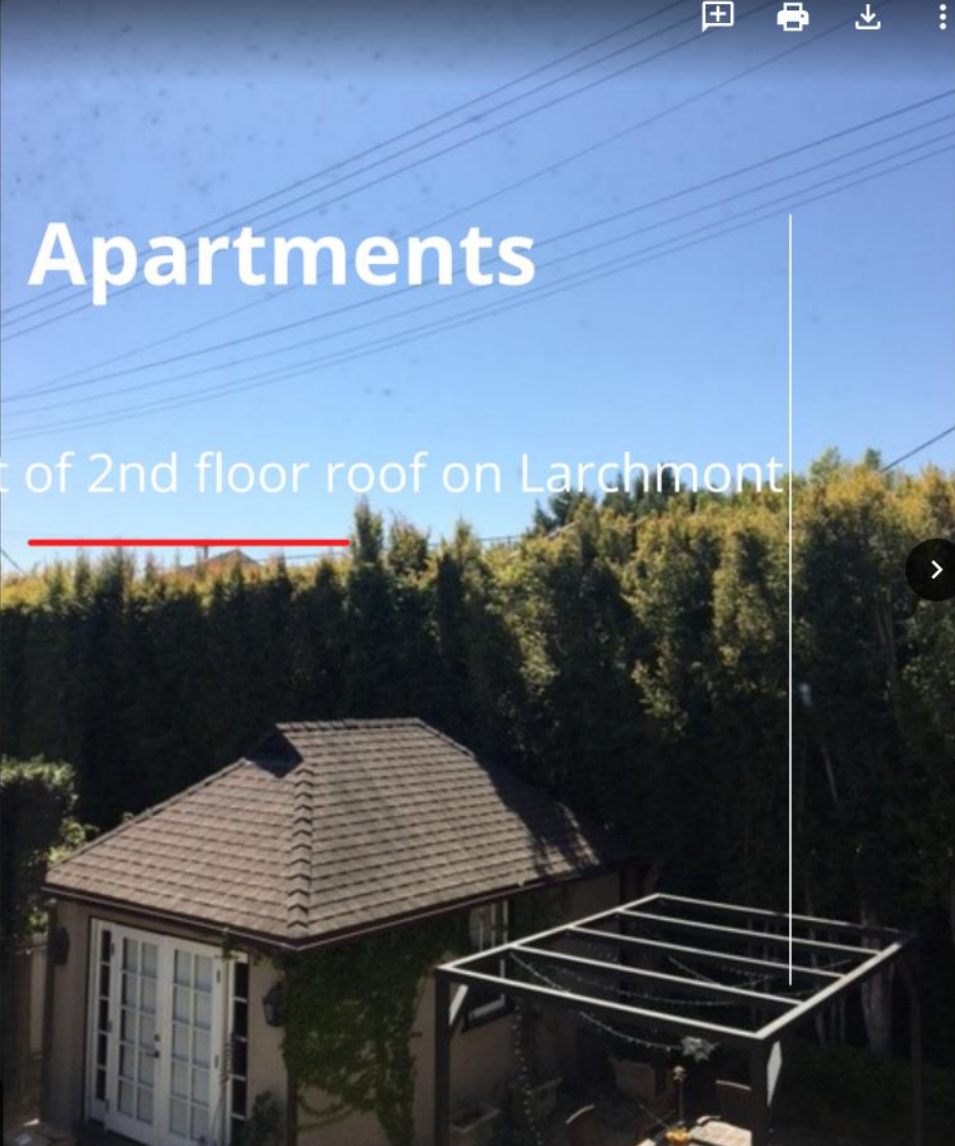
Red line is height of 2nd floor roof on Larchmont

Viewshed

View from 2nd floor bedroom windows at 513 N Gower St.

Page 4 / 8

Apartments



>



Rosewood Viewshed
View from 5262 Rosewood

500 Larchmont_Photos.pdf

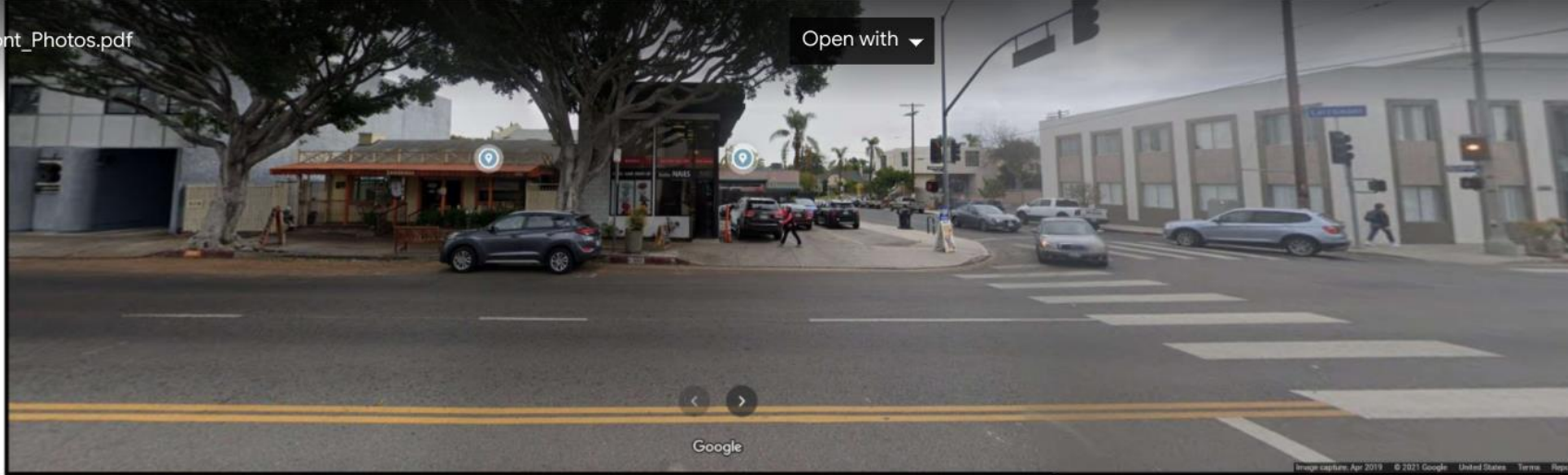
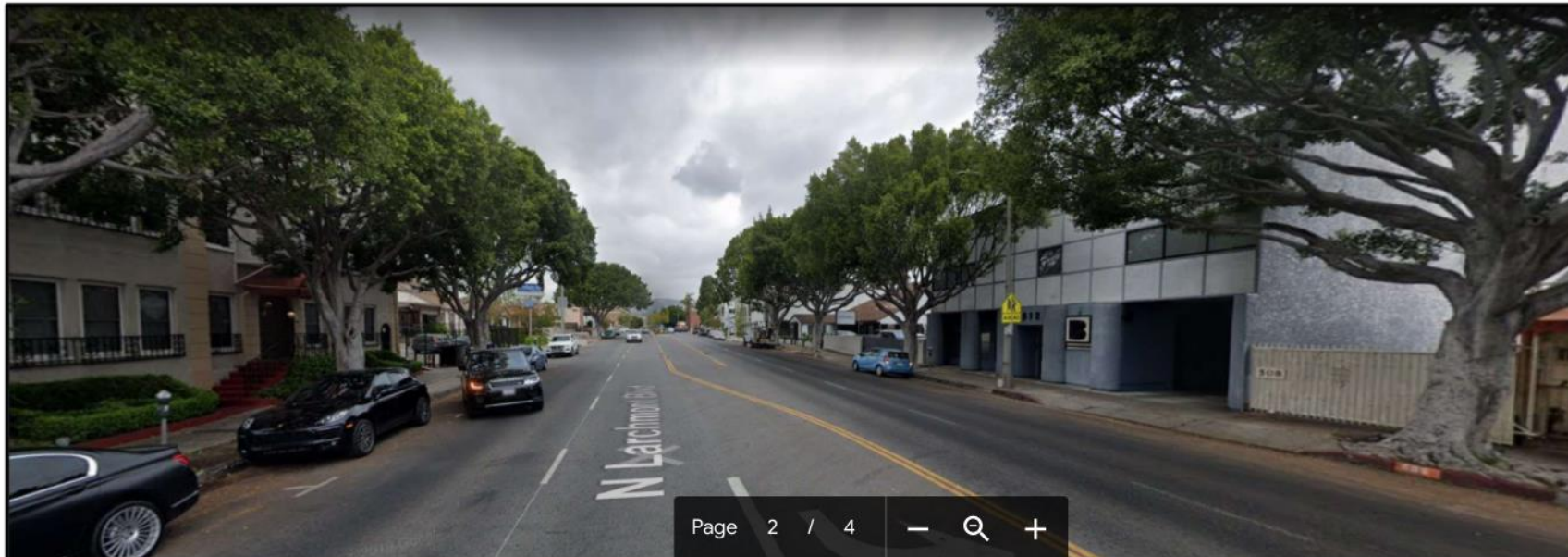


Photo 1 – View of subject property frontage along Larchmont Boulevard looking easterly.



DEVELOPMENT PROPOSAL SITE PHOTO
500 N. Larchmont Boulevard, Los Angeles

Old Growth Trees Butchered



Past site use

program start to track the notification, permit, compliance, and corrective action activities required under RCRA.

The FINDS: database may contain additional details for this site.
Please contact your EDR Account Executive for more information

A5	LEAHY J K	EDR Hist Auto	1009077949
< 1/8	500 N LARCHMONT BLVD		N/A
1 ft.	LOS ANGELES, CA		
	Site 5 of 7 in cluster A		
	EDR Hist Auto:		
	Year: Name:	Type:	
	1929 BEESE P H:	AUTOMOBILE REPAIRING AND SERVICE STATIONS	
	1929 LEAHY J K:	GASOLINE AND OIL SERVICE STATION	
	1933 LEAHY J K:	GASOLINE AND OIL SERVICE STATIONS	
	1933 BEESE P H:	AUTOMOBILE REPAIRING	
	1937 ADAMS A G:	GASOLINE AND OIL SERVICE STATIONS	
	1942 GREENWOOD SAML:	GASOLINE AND OIL SERVICE STATIONS	
	1969 ROSEWOOD SUPER SERVICE:	Gasoline Service Stations	
	1970 ROSEWOOD SUPER SERVICE:	Gasoline Service Stations	
	1971 ROSEWOOD SUPER SERVICE:	Gasoline Service Stations	
	1972 ROSEWOOD SUPER SERVICE:	Gasoline Service Stations	
	1973 ROSEWOOD SUPER SERVICE:	Gasoline Service Stations	
	1974 ROSEWOOD SUPER SERVICE:	Gasoline Service Stations	
	1975 ROSEWOOD SUPER SERVICE:	Gasoline Service Stations	

PRELIMINARY REPORT - FINAL TO FOLLOW

DAY OF HEARING SUBMISSIONS



March 21, 2022

Oliver Netburn, City Planner

Oliver.netburn@lacity.org

(213) 978-1382

Dear City Planning Commission,

We are writing to you in support of the proposed 63-unit mixed use development, including 6 affordable units, at 7000-7010 West Melrose Avenue & 645 North Sycamore Avenue, cases CPC-2021-7217-DB-HCA/ENV-2021-7218-CE. We urge the city to find the project Categorically Exempt from the provisions of CEQA and to approve it with the Density Bonus and additional incentives.

The greater Los Angeles region is facing a severe housing shortage, particularly affordable housing. By creating new housing in this neighborhood, it will help to reduce issues of gentrification and displacement in other parts of the region. Abundant Housing LA believes that these housing challenges can only be addressed if everyone in the region does their part.

This project is in a highly walkable neighborhood, close to bus stops and walking and bicycling distance to shopping, restaurants, and schools.

It is great to see the developer using the Density Bonus program to bring new homes, including badly needed affordable housing to the city. Affordable housing programs that depend on a percentage of new construction being affordable need a lot of new construction to have an impact, and the city should work to increase the number of developers using the Density Bonus. This project is a good project for Los Angeles and for the region. Again, we urge the city to approve the Density Bonus and incentives, and find the project Categorically Exempt from the provisions of CEQA.

Best Regards,

Leonora Camner

Leonora Camner
AHLA Executive Director

Jaime Del Rio

Jaime Del Rio
AHLA Field Organizer

Tami Kagan-Abrams

Tami Kagan-Abrams
AHLA Project Director

03/24/2022

Item #8

Case No. CPC-2020-2115-DB

1848 S. Gramercy PI Los Angeles CA 90019

Dear members of City Planning Commission,

Let's summarize a few points:

1. The Housing Element of the City of Los Angeles was rejected by the state. The city has been asked to rezone and to meet the rezoning within 7 months to meet a half million-housing quota. Otherwise, the city is going to lose their housing funding from the state.
2. The City of Los Angeles comes in at the bottom in terms of housing crisis.
3. The City of Los Angeles is grappling with the homelessness issue

Let me tell how this project tries to mitigate the crisis in its small way. It will demolish a more than 100-year old house found not to be historic, in order to build 33 units of residential housing, out of which three units will be provided to very low-income housing, homeless veterans, etc. It is in the line of the state's policy as well.

Therefore, I whole-heartedly support this housing project.

Ann Marie Brooks

Neighbor



March 21, 2022

Rafael Fontes, Planning Assistant

rafael.fontes@lacity.org

(213) 978-1179

Dear City Planning Commission,

We are writing to you in support of the proposed 33-unit mixed use development, including 3 affordable units, at 1848 South Gramercy Place, cases CPC-2020-2115-DB-HCA/CEQA No.: ENV-2020-2116-CE. We urge the city to find the project Categorical Exempt from the provisions of CEQA and to approve it with the Density Bonus and additional incentives.

The greater Los Angeles region is facing a severe housing shortage, particularly affordable housing. Abundant Housing LA believes that these housing challenges can only be addressed if everyone in the region does their part.

This project is in a walkable neighborhood, close to bus stops and walking and bicycling distance to shopping, restaurants, and schools.

It is great to see the developer using the Density Bonus program to bring new homes, including badly needed affordable housing to the city. Affordable housing programs that depend on a percentage of new construction being affordable need a lot of new construction to have an impact, and the city should work to increase the number of developers using the Density Bonus. This project is a good project for Los Angeles and for the region. Again, we urge the city to approve the Density Bonus and incentives, and find the project Categorical Exempt from the provisions of CEQA.

Best Regards,

Leonora Camner

Leonora Camner
AHLA Executive Director

Jaime Del Rio

Jaime Del Rio
AHLA Field Organizer

Tami Kagan-Abrams

Tami Kagan-Abrams
AHLA Project Director



Planning CPC <cpc@lacity.org>

Item 8 Case No. CPC-2020-2115-DB and ENV-2020-2116-CE, 1848 S. Gramercy Place

Benjamin Steen <ben.d.steen@gmail.com>

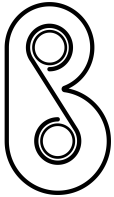
Wed, Mar 23, 2022 at 12:48 PM

To: cpc@lacity.org

This proposed building is an insult to those of us who have invested time and money to preserve the historical integrity of our homes in the adjacent Western Heights HPOZ. We all understand the need for higher density housing, but this project is asking for too much while providing very little in return for our community.

I stand with my neighborhood of Western Heights in urging the commission to reject all of the waivers for this project.

Ben Steen
2251 w 20th St



Benjamin Steen
Focus Puller
Camera Operator
IATSE Local 600
818.309.5419

Christine Carlson
Demetrius Pohl

2179 West 20th Street
Los Angeles, CA 90018
Tel: +1 323 735 1027
dpohl@carlsonpohl.com

Los Angeles City Planning Commission

March 23, 2022

Dear Commissioners:

RE: CPC-2020-2115-DB (HCA), 1848 S Gramercy Place

My wife and I live some 600 feet southeast of the proposed seven story residential building and from the upper floors of our 1903 American foursquare transitional craftsman house we have a view north to the Hollywood Hills over single to three story houses. The proposed project would be totally out of scale with surrounding neighborhood in its height, and massing. We are strongly opposed to it and ask you DENY all waivers.

Not only is the project out of scale, the Proposer's application is egregiously deceptive and mendacious, and their request for waivers attempts an end-run around the City's and Planning Department's zoning requirements and building regulations. The zoning of the property is C1.5-1VL-CPIO. The 1VL zoning designation is Height District 1, "very low," i.e., a maximum of three stories, and 45 feet. The Applicant wants to erect a 7-story, 76-foot building, more than 100% out of compliance in terms of the number of stories. This is not a mere "waiver" of a development standard, but a wanton disregard of it.

The Applicant's proposal includes waivers from lot coverage; setbacks; height; transitional height requirements; common open space; required commercial frontage; landscape buffers; and more. The project is not in compliance with either the Mid-City Corridors Recovery Redevelopment Project or the CPIO.

The absolute lack of common open space (private balconies are not common space as the Applicant wants you to believe); the lack of side yard and rear setbacks; the utter disregard of the 40-foot Building Line on the east side of Gramercy Place; and the failure to include any sort of Transitional Height design adjacent to the RD2-zoned, two-story, 1920s fourplex north of the property are all in disregard of applicable City building standards, codes and regulations. A 7-story building at this location would be the only building of that height on Washington Boulevard between Downtown (Figueroa) Los Angeles and Culver City, a distance of 8 miles. The landmark Oddfellows Hall (Casa Vertigo), located at Washington and Oak, is only six stories. Ross Plaza, located on Western at 18th Street, is only five stories. The Applicants did not provide the Citywide Design Compliance form. The project therefore does not demonstrate alignment with the City's Design approach. The project is wildly out of compliance with many of the current planning guidelines, and the Redevelopment Plan guidelines.

The Applicant's waiver requests appear excessive and contrary to the Redevelopment Plan and CPIO. Lot coverage is not 30% but rather 88%. The setbacks are insufficient. A 60% reduction of open space cannot be justified.

The Applicants state the dwelling at 1848 S Gramercy Place is vacant, which is patently not the case; it is being used as low-income supportive housing. Lastly and most significantly, at time of a severe crisis of homelessness, the project will demolish a structure currently being used as low-income supportive housing. There is no guarantee that the residents who will be displaced, will be housed in the three proposed low-income units proposed or elsewhere.

We ask that you deny approval of the eight requested waivers and urge that you reject the Categorical Exemption as a CEQA clearance.

Yours truly,

A handwritten signature in blue ink that reads "Christine Carlson". The signature is fluid and cursive, with a long horizontal stroke at the end.

Christine Carlson

A handwritten signature in blue ink that reads "Demetrius Pohl". The signature is stylized, with a large "D" and a prominent "P".

Demetrius Pohl

March 22, 2022

To the Los Angeles City Planning Commission

RE: CPC-2020-2115-DB (HCA), 1848 South Gramercy Place (Agenda Item 8, March 24, 2022)

Dear City Planning Commissioners:

I am writing a brief comment about the obvious problematic design issues of this project. I am the broker and owner of City Living Realty. Since the 1980s I have specialized in properties and neighborhoods of architectural and historical interest. I have served on the Los Angeles Conservancy Board of Directors. I have also served on the University Park HPOZ for two decades; I am the current HPOZ Chair. In my professional endeavors, I rely on and have the utmost respect for architects, landscape architects, and other design professionals. And that is why I simply do not understand the reasoning behind the Planning Department Staff's dismissal of the assessments by both the City's Urban Design Studio and the Professional Volunteer Program (PVP), both of which rejected the project (as submitted) as being, it seems, non-compliant with all of the zoning regulations as well as the City's Citywide Design Standards.

Why would Staff go ahead and recommend approval? I ask that you **DO NOT APPROVE** this project.

The summary from the Staff Recommendation Report from the Urban Design Studio and PVP's assessments was buried within the report. So that you can easily read the assessments, I have copied the section here (*my highlights*):

"ISSUES: The following section includes a discussion of issues and considerations related to the project.

Urban Design Studio: The Urban Design Studio reviewed the project on Thursday, August 6, 2020 and received the project **unfavorably** with the following comments:

- The project is **significantly out of scale** with its surroundings.
- The **height creates issues for neighbors in the Character Residential Subarea to the north, blocking sunlight** especially and presenting **a monolithic street wall two stories high**.
- Articulation at the two-story podium is fairly limited due to parking requirements.
- The commercial space and mezzanine is fairly small in terms of square footage, limiting its utility for any future tenants.
- **Very little community benefit** is being provided in exchange for number of waivers of development being requested.

Professional Volunteer Program (PVP): The project was presented to the Professional Volunteer Program on Tuesday, June 15, 2021 and received **unfavorably**. Below is a summary of the comments organized in along areas outlined in the city's Urban Design Guidelines:

• Pedestrian First Design

- **The project presents operational issues.** For example the trash and recycling enclosure are too small and not accessible from the retail space and **the retail space is constrained with a difficult to lease layout.**
- Reduce the width of the driveway to the minimum allowed by LADOT.
- Consider ways to embed the stairs to the residential lobby to promote physical activity.
- **Protect and maintain the existing mature street tree.** Reach out to LAUFD to discuss potential options. If the tree needs to be removed you need to replace it in a 2-1 rate.

- **360 Degree Design**

- Provide detailed materials on the elevations.
- The project should **respond to the local area context, the public realm and the relationships with adjacent buildings and should be shaped to consider the quality and functionality of the urban fabric.**
- **Can the parking be placed underground?** If not consider ways to design the podium so it is adaptable to a different use in the future and make sure it is appropriately screened per the Above Ground Parking Advisory. A visible long wall, non-screened openings or metallic louvers overlooking residential windows should be avoided. Consider landscaping and high quality architectural elements that are opaque and add visual interest. Make sure that headlights, structure lights and exhaust gas do not impact the residential adjacent properties.
- Ensure that access and the building entrance is prominent and clearly legible and the lobby is comfortable to use with space for mail boxes.
- Use architectural elements to reduce the perceived mass of the project.
- Make sure that the project complies with the South Los Angeles CPIO District ([Neighborhood-Serving Corridor](#) Sub Area) Development Standards, including building design, articulation and glazing. For example, **a 5-foot landscape buffer, shall be provided between the project and the abutting lot zoned RD2 to the north.** The landscaping should be drought tolerant, evergreen, and capable of growing to a height of 10 feet. If you need additional recommendations, the Urban Design Studio has developed a Native Screening Hedges resource.
- The East and South Elevations need additional work.
- Windows should incorporate well-designed trims and details. Consider adding awnings above the windows at the west elevation to features to reduce heat gain and glare and add visual interest.
- Consider a redesign of the awning above the building's entrance.
- What is the small unidentified space at the back of the project?
- Consider clearstory windows for bathrooms that overlook the exterior corridor with access to natural light.
- Provide an open space diagram and ensure the balcony dimensions comply with the private open space minimum requirements. Can the rooftop used for common open space?
- **Provide more information on the landscaping of the sideyards** and **consider ways to better buffer** from the adjoining properties.

- **Climate Adapted Design**

- G Provide a rooftop plan with any mechanical units and indicate solar on the roof.
- Vines should be placed at the ground and exterior of the building's walls.
- **Indicate required and provided on-site trees.** On site trees need to be 24"-box size or above to count as provided trees and palms are excluded. Trees should be native and provide shade upon maturity.
- Consider native plants that provide year-long habitat.
- Indicate LID compliance.

In response to both the UDS and PVP feedback, the applicant team reiterated the need to maintain the current building design with respect to the Waivers of Development standard requested. The applicant claimed that these waivers are necessary to address several constraints related to the site's base zoning and the CPIO."

I believe that Planning Staff should have taken all of these directives and comments into full account, rather than to simply allow the "applicant team" to say that they have "constraints" due to the zoning. That is what zoning does – it describes the rules and regulations. While it is good that Staff included these summary remarks in the Report, albeit buried within the Report, it seems inappropriate that then Staff recommended approval just because the applicant complains about the zoning. I would ask that the City Planning Commission **REJECT** the Staff recommendation and instead **ADOPT** the recommendations from the Urban Design Studio and the Professional Volunteer Program.

I especially would prefer to see a new concept entirely that retains the 1908 house and builds units in the rear yard.

Thank you very much,

David Raposa

2515 4th Avenue, Los Angeles CA 90018

03/24/2022

Item #8

Case No. CPC-2020-2115-DB

1848 S. Gramercy Pl Los Angeles CA 90019

Dear members of City Planning Commission,

I have studied the project in a great detail.

To be built on a commercial lot, surrounded by commercial-zoned lots and apartment, this is the correct place to maximize the housing units and floor area.

This is also close to the transit point, which is another reason that we should maximize the build capacity of the lot. The project design fully addresses this point of view and, therefore, I fully support this project

Jehu Salazar
Los Angeles, CA



Item 8 Case No. CPC-2020-2115-DB and ENV-2020-2116-CE, 1848 S. Gramercy Place

Natalie Neith <natalieneith@gmail.com>

Wed, Mar 23, 2022 at 12:04 PM

To: cpc@lacity.org, natalie neith <NatalieNeith@gmail.com>

Cc: Alex Jaspersen <jaspy7@gmail.com>, Herman DeBose <hdebose@aol.com>, Gregory Jackson <gregorydjackson2020@gmail.com>, Tony Specchierla <tspeex@mac.com>, Jill & Tony Specchierla <jillandtony@gmail.com>, Douglas Hanson <dmhanson@hansonla.com>, Donna Hanson <donna.hanson@gmail.com>, Bridgette <iambreezey652@aol.com>, Charles Palmer <cpalmer6074@sbcglobal.net>, John Maroney <vtrek9679@aol.com>, Denis Soldatenko <dlspacific@gmail.com>, Galen Bean <gbean01@gmail.com>, Nadine Hettle & Eric Aagaard <aagaard@prodigy.net>, Stormie Leoni <stormie.leoni@compass.com>

To the Planning Commission:

I live in the adjacent neighborhood, Western Heights, so this proposed structure would effectively be in my backyard.

I have been a realtor in Los Angeles for almost 33 years, primarily specializing in historic properties, and thus would consider it a tragedy to destroy this house-- a piece of our architectural history--which much historic detail (I have been inside.)

I have devoted more than 8 years volunteering as the mayoral appointee to a Historic Preservation Overlay Zone--why do we even bother to give lip service to preserving the fragile history of our city, if we are willing to let it be destroyed by non-conforming projects such as this?

While I certainly support new housing, (I am a realtor , after all), THIS structure (putting it nicely) is NOT the solution.

The staff says the property is vacant--I know it is not. I walk by there on a regular basis and see men coming and going throughout the day. I have grave concerns about displacing this large number of occupants-- (possibly up to 25?) who would then find it difficult to find housing. That is exacerbating our homeless crisis. Our community accepted and supported the recent project --just across the street--that provided senior low income housing--that was brought before the community for community input and local residents were encouraged to visit projects by the same builders. That has NOT been the case here.

As if that is not enough, it seems the applicant is asking for not just the typical two potentially allowable waivers, but asking for 8 more special exceptions or concessions for a total of 10. Basically it is giving carte blanche to him to build whatever he wants wherever he wants , with rampant disregard for the neighborhood--which he does not and will not live in. I do not understand how the rest of the city is expected to follow zoning guidelines and all are waived for this project.

I URGE the commission to DENY all of the waivers-- a SEVEN STORY building in the midst of a historic neighborhood?
 22 parking spaces --ABOVE GROUND -(how unattractive) for a 33 unit building? It does not even make any attempt to
 be consistent with anything in the community--or even be attractive or appealing.

Our United Neighborhood Council came out strongly against this-- and you can be sure that the majority of the homeowners
 in the area would too--but unfortunately there is oftentimes little or no notification of these hearings and the process to learn
 how to actually be present or express opinions is so unwieldy that many of our resident stakeholders are unaware--or unable
 to express their opinions.
 The last hearing almost made me fear that this project was being rubber stamped through with rampant disregard for any
 neighborhood input-- and it almost felt like it was a fait accompli!

I hope that this planning commission will do the right thing and listen to those in the community who want to preserve our
 neighborhood and not allow every developer to propose anything they want and expect to get planning commission support.
 This community of West Adams is a treasure and I (we) hope that the planning commission will recognize that!

Natalie Neith
 323 595-9414

Natalie Neith
 Compass
 Realtor, Architectural Director
 DRE#: 01045639

www.natalieneith.com

o: 323.595.9414

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3/24/22, 7:57 AM

City of Los Angeles Mail - Item 8 Case No. CPC-2020-2115-DB and ENV-2020-2116-CE, 1848 S. Gramercy Place

No cost, and no obligation.



Planning CPC <cpc@lacity.org>

Item 8 Case No. CPC-2020-2115-DB and ENV-2020-2116-CE, 1848 S. Gramercy Place

Stormie Leoni <stormie.leoni@compass.com>
To: cpc@lacity.org

Wed, Mar 23, 2022 at 12:18 PM

To the planning commission I live close to the project and enjoy viewing the subject property from my window every day as it adds to the historic character of the neighborhood. I'm shocked it's not on Survey LA or protected as it is so obviously a historic contributor.

I can also say that the area on Washington is already too busy. We have excess cars parking on our streets, leaving trash compromising the character of our homes. With such a behemoth of a project, 7 stories (!) and not enough parking spots created this will only get worse. Then to hear the parking would be visible?! That is insane and would really tarnish what makes this community special.

Also there are people living there! We see the building is occupied so what is this that it's vacant? I am strongly against this and it would be an example of corruption if it snuck through - 7 stories?! It's ridiculous. Please understand how horrible this would be for the people living in the building and for the neighborhood. This is NOT the right project for this location. I strongly strongly oppose it.

--

Stormie Leoni
Top 1.5% of Agents in the US
DRE#: 01949760
m: 310.227.5996

**COMPASS**

--

Stormie Leoni
Top 1.5% of Agents in the US
DRE#: 01949760
m: 310.227.5996

**COMPASS**



Department of City Planning

City Hall, 200 N. Spring Street, Room 272, Los Angeles, CA 90012

March 24, 2022

TO: City Planning Commission

FROM: Sergio Ibarra, City Planner

ADDITIONAL INFORMATION/TECHNICAL MODIFICATION TO THE STAFF RECOMMENDATION REPORT FOR CASE NO. CPC-2020-2115-DB-HCA; 1848 SOUTH GRAMERCY PLACE

The following technical modifications are to be incorporated into the staff recommendation report to be considered at the City Planning Commission meeting of March 24th, 2022, related to Item No. 8 on the meeting agenda.

The following condition of approval No.7 has been revised to reflect the correct section of the LAMC as it relates to commercial parking requirements within an Enterprise Zone and within a Major Transit Stop.

- 7. Automobile Parking for Commercial Uses.** The project shall provide a minimum of one (1) parking space, as shown in Exhibit A; ~~per AB 2345~~ as the Property is located within an Enterprise Zone, commercial parking is required at 2 parking spaces per 1,000 SF, consistent with LAMC Section 12.21 A.4.(x)(3)6.

March 23, 2021

City Planning Commission
City of Los Angeles
200 N. Spring Street, Room 272
Los Angeles, CA 90012

**RE: CASE NOS. DIR-2021-0559-TOC-HCA-1A / ENV-2021-0560-CE
500 N. Larchmont Boulevard – Item 10**

Honorable City Planning Commissioners,

The proposed development of a 21-unit, mixed income apartment building through the City's Transit Oriented Communities ("TOC") program at the above referenced property was approved by the Director of Planning on August 27, 2021. The project complies with the City's development requirements and TOC program and will redevelop the subject property with new housing for the community. **We are writing to request that you adopt the Planning Department staff recommendation and deny the appeal. We would request one consideration in your action – substitution of the Exhibit "A" plans on file for the project with the attached plans.** The attached plans do not change any of the relevant building program/development factors for the project, but they do provide some additional privacy measures that would benefit the neighbors to the rear of the property.

Background

Application for the subject TOC project was made January 19, 2021. After filing the case, the applicant conducted outreach for the project. This effort included the following meetings:

- Greater Wilshire Neighborhood Council Land Use Committee presentations January 26, 2021 and February 23, 2021.
- Larchmont Village Neighborhood Association presentation February 9, 2021.
- Community member meeting February 21, 2021
- Abutting neighbors meeting March 24, 2021.

Additionally, there were phone call and email communications made (during COVID-19 restrictions) to member of the community and neighbors of the project site. Unfortunately, an agreeable consensus on the project was not able to be reached. That said, where the project could be revised to accommodate feedback and address comments/concerns, the applicant made changes. This included modifying the design aesthetic of the original project plans and (in particular) incorporating privacy protections for neighbor's property abutting to the rear of the development site.

Design Revisions

Attached are updated plans that provide further privacy protections for these neighbor's properties, including:

- Relocating project Open Space – moved from rear yard up to roof toward front of the site and away from rear yard.
- Limiting/reducing the size/number of balconies on the rear (east) façade.
- Limiting/reducing the size/number of windows on the rear (east) façade.

While substitution of the attached plans would not (likely) address the appeal concerns, it would improve the adjacency of the project with the abutting neighbors.

Sincerely,



R. Matthew Hayden
Hayden Planning

21-UNIT MULTIFAMILY BUILDING
500 N LARCHMONT BLVD
LOS ANGELES, CA 90004

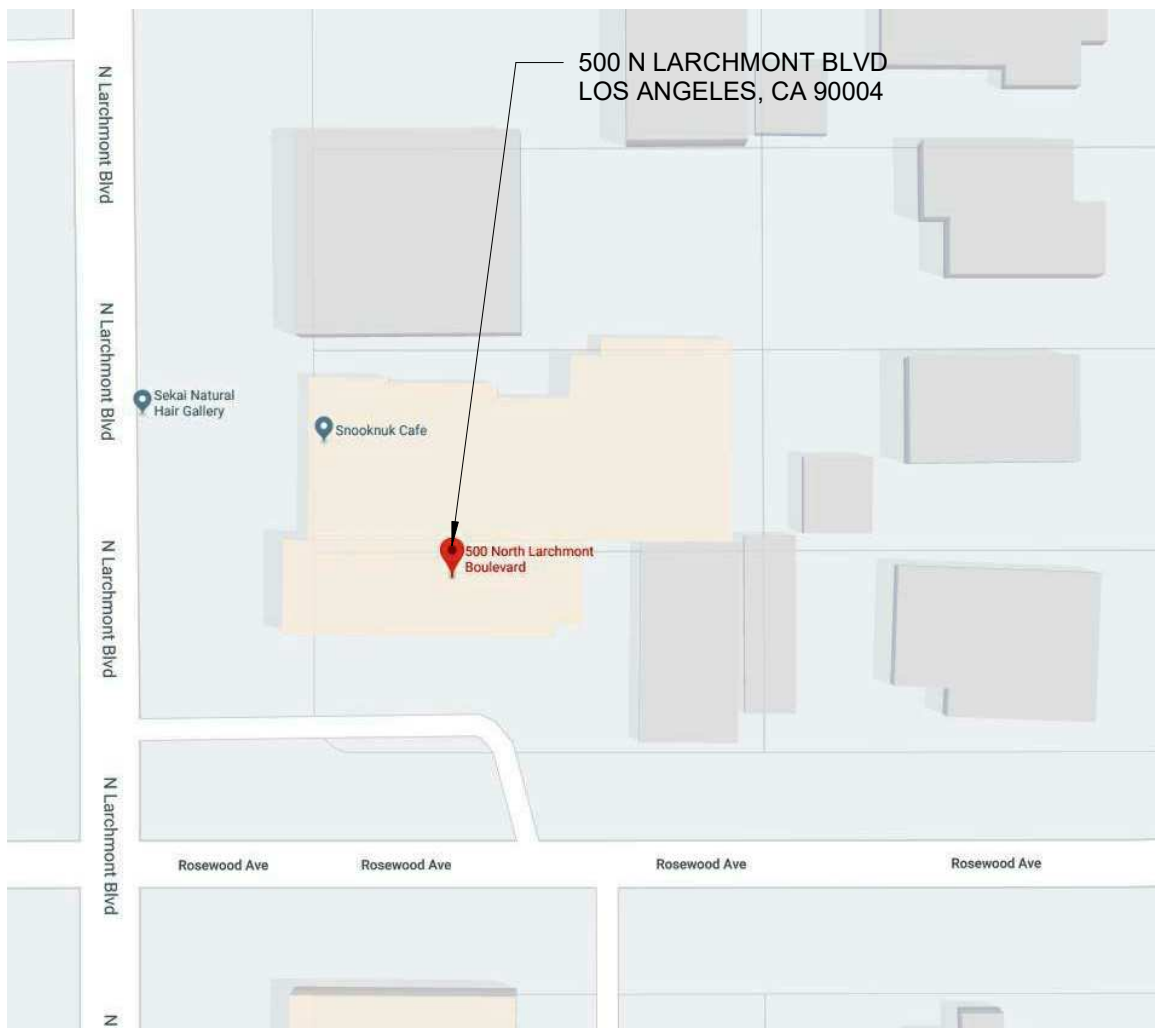
PROJECT DATA

PROJECT ADDRESS:	500 & 506 N LARCHMONT BLVD LOS ANGELES CA 90004
OWNER:	
APN#:	5523017018 & 5523017042
TRACT:	LARCHMONT HEIGHTS
MAP REFERENCE:	M B 15-83
BLOCK:	NONE
LOT:	185 & 186
LOT AREA:	5,608 SF + 5,586 SF = 11,194 SF
ZONING:	[Q]C2-1VL: 10' CONDITION LIMITS DENSITY TO R3 FOR RESIDENTIAL (800 SF OF LOT AREA PER DU)
BUILDING OCCUPANCY:	R2 (MULTIFAMILY) / S2 (PARKING GARAGE)
PROPOSED UNITS:	(7) 1-BEDROOM UNITS (14) 2-BEDROOM UNITS 21 TOTAL UNITS (PER TOC INCENTIVE)
CONSTRUCTION TYPE:	5 STORIES TOTAL, 4 STORIES TYPE V-A RESIDENTIAL OVER 1 LEVEL TYPE I-A PARKING GARAGE AT GRADE
APPLICABLE CODES:	2019 CBC
PROJECT DESCRIPTION:	CONSTRUCTION OF A NEW 5 STORY, MULTIFAMILY BUILDING CONSISTING OF 21 UNITS AND 21 PARKING SPACES
FIRE SPRINKLER:	FULLY SPRINKLERED PER NFPA-13
FIRE ALARM:	MANUAL FIRE ALARM SYSTEM ERRCS PER FPB REGULATION #105 PROVIDE 2-HR SHAFT ENCLOSURE FOR ERRCS CONDUIT

ABBREVIATIONS

(E), EX, EXIST	EXISTING	MSTR	MASTER
(N)	NEW	N/A	NOT APPLICABLE
AB	ANCHOR BOLT	NIC	NOT IN CONTRACT
AFF	ABOVE FINISH FLOOR	NTS	NOT TO SCALE
ALT	ALTERNATING	OC	ON CENTER
ALUM	ALUMINIUM	OCFI	OWNER FURNISHED, CONTRACTOR INSTALLED
B	BOTTOM		OPPOSITE
BDR	BEDROOM	OPP	
BM	BEAM	PL	PLATE
BO	BOTTOM OF	PT	PRESSURE TREATED
C/L	CENTERLINE	PTD	PAINTED
CBC	CALIFORNIA BUILDING CODE	PW, PLYWD	PLYWOOD
CF	COMPACT FLUORESCENT	R	RISER
CJ	CEILING JOIST	RCF	REFLECTED CEILING PLAN
CL	CLOSET	RDG	RIDGE
CLG	CEILING	RO	ROUGH OPENING
CLR	CLEAR	RR	ROOF RAFTER
CONN	CONNECTION	RTD	RATED
D, DIA	DIAMETER	SB	SOLID BLOCKING
DBL	DOUBLE	SC	SOLID CORE
DR	DOOR	SF	SQUARE FEET
EE	EACH END	SIM	SIMILAR
EN	END NAIL	SSD	SEE STRUCTURAL DRAWINGS
EQ	EQUAL	ST STL	STAINLESS STEEL
FB	FACE BLOCKING	T&G	TONGUE AND GROOVE
FF	FINISH FLOOR	T	TREAD
FJ	FLOOR JOIST	TBD	TO BE DETERMINED
FN	FACE NAIL	THRESH	THRESHOLD
FTG	FOOTING	TO	TOP OF
GA	GAUGE	TYP	TYPICAL
GC	GENERAL CONTRACTOR	UO	UNDERSIDE OF
GL	GLASS	UON	UNLESS OTHERWISE NOTED
GWB	GYPSUM WALL BOARD	VIF	VERIFY IN FIELD
H	HORIZONTAL	W/	WITH
HK	HOOK	WD	WOOD
HR	HOUR	WIC	WALK-IN CLOSET

VICINITY MAP



T.O.C. INCENTIVES

A. TOC TIER 1 BASE INCENTIVES
1. DENSITY BONUS
A) DENSITY: 11,198.5 SF LOT AREA / 800 SF = 14 UNITS (BASE DENSITY)
B) 50% DENSITY BONUS = 14 X 1.5 = 21 MAX ALLOWABLE UNITS
C) NUMBER OF UNITS PROVIDED: 21
D) NUMBER OF AFFORDABLE UNITS: 2 (ELI) (ELI: MIN 8% = 2)
2. FAR BONUS
A) FOR COMMERCIAL ZONES 2.75:1 FAR BUILDABLE AREA (11,194 SF) X 2.75 = 30,783.5 SF
B) PROVIDED ZONING SF AREA = 26,648 SF
C) BUILDABLE AREA: 11,194 SF
BASE ZONING FAR: 1.5:1
MAX ZONING CODE SF: 11,194 X 1.5 = 16,791 SF MAX
PROPOSED ZONING CODE SF: 26,648 SF
PROPOSED FAR: 26,648 / 11,194 = 2.38 (PER TOC INCENTIVE)
3. PARKING RESOLUTION
PARKING PER T.O.C. TIER 1:
5 SPACES PER BEDROOM X 35 = 18 PARKING SPACES REQUIRED
TOTAL REQUIRED PARKING SPACES: 18 SPACES
TOTAL PROVIDED PARKING SPACES: 21 SPACES
STANDARD = 18 (INCL. 1 VAN ACCESSIBLE) AND COMPACT = 3

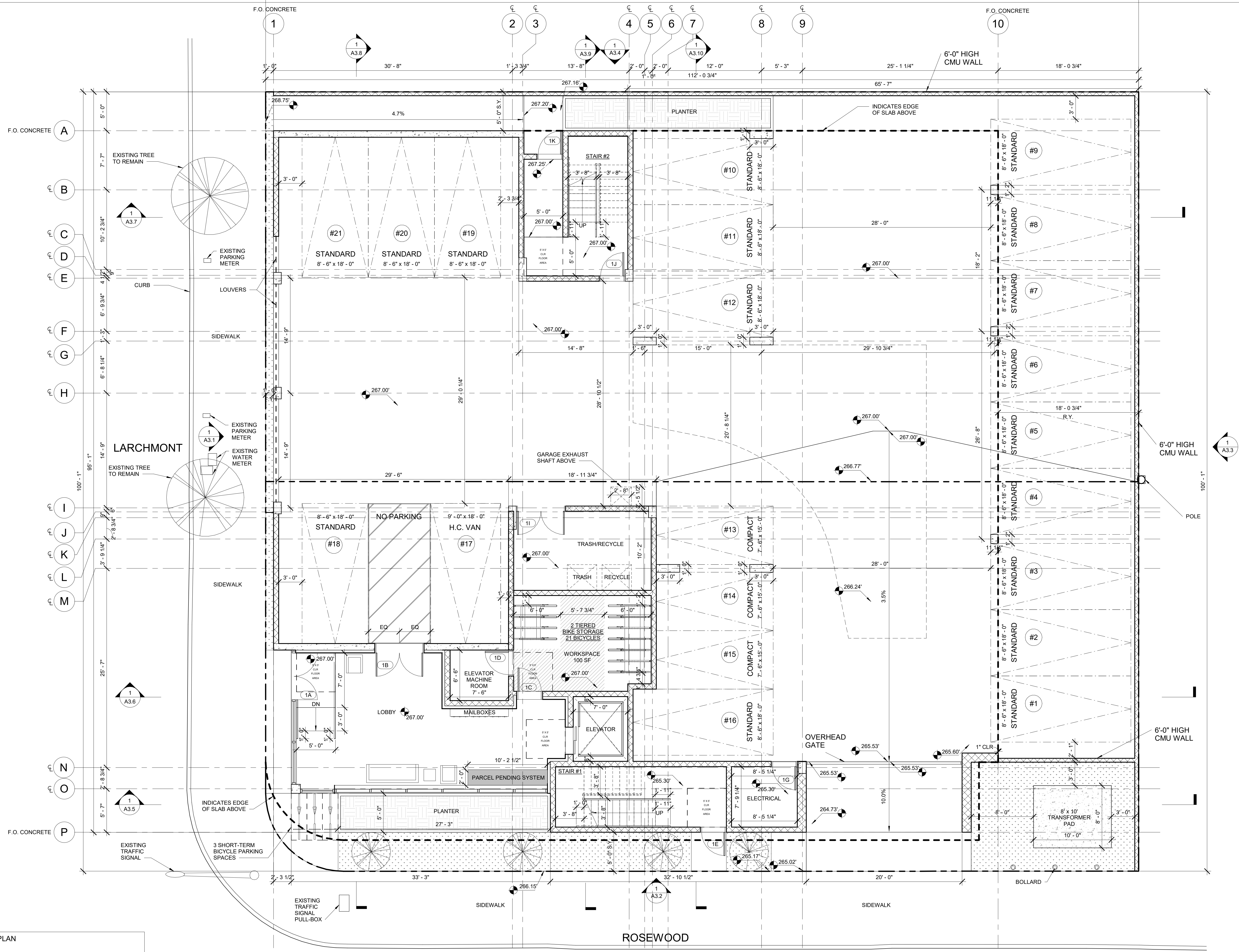
B. TOC TIER 1 ADDITIONAL INCENTIVES
1. HEIGHT INCREASE/TRANSITIONAL HEIGHT REDUCTION
HEIGHT INCREASE 11' / 1 STORY (INCLUDING TRANSITIONAL HEIGHT)
HEIGHT LIMIT: 45'-0"
PROPOSED HEIGHT: 56'-0" (PER TOC ADDITIONAL INCENTIVE)
2. COMMON OPEN SPACE REDUCTION OF 20%
REQUIRED COMMON OPEN SPACE AREA
(7) 1-BR UNITS = 7 X 100 SF = 700 SF
(14) 2-BR UNITS = 14 X 125 SF = 1,750 SF
TOTAL REQUIRED COMMON OPEN SPACE 2,450 SF
LESS 20% FOR TIER 1 TOC = 2,450 SF X 20% = -490 SF
REQUIRED COMMON OPEN SPACE REMAINING 1,960 SF
LESS (13) 50 SF BALCONIES @ UNITS #301, #302, #303, #304, #305, #306, #307 UNITS #401, #402, #403, UNITS #501, #502, #503, (13 X 50 SF) = -650 SF
LESS (600SF) REC ROOM QUALIFIED = 1960 SF X 25% = -490 SF
REQUIRED COMMON OPEN SPACE REMAINING 820 SF
PROVIDED ROOF DECK COMMON OPEN SPACE = 820 SF
3. RAS-3 SETBACKS
REQUIRED YARDS: 5'-0" SIDE YARDS 15'-0" REAR YARD (EXCEPT WHEN ABUTTING R1 ZONE) 0'-0" FRONT YARD
PROVIDED YARDS: 5'-0" SIDE YARDS 17'-0" REAR YARD 1'-0" FRONT YARD

BICYCLE PARKING

TOTAL REQUIRED LONG-TERM BICYCLE PARKING:	21 SPACES
TOTAL PROVIDED LONG-TERM BICYCLE PARKING:	21 SPACES
TOTAL REQUIRED SHORT-TERM BICYCLE PARKING:	3 SPACES
TOTAL PROVIDED SHORT-TERM BICYCLE PARKING:	3 SPACES

ZONING CODE SF

	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	COVERED BALCONY	TOTAL SF
UNIT #201		1,039 SF				61 SF	1,100 SF
UNIT #202		1,298 SF				55 SF	1,353 SF
UNIT #203		1,062 SF				65 SF	1,127 SF
UNIT #204		782 SF				22 SF	804 SF
UNIT #205		782 SF				22 SF	804 SF
UNIT #206		769 SF				22 SF	791 SF
UNIT #301			1,039 SF			61 SF	1,100 SF
UNIT #302			1,298 SF			55 SF	1,353 SF
UNIT #303			1,062 SF			65 SF	1,127 SF
UNIT #304			782 SF			22 SF	804 SF
UNIT #305			782 SF			22 SF	804 SF
UNIT #306			769 SF			22 SF	791 SF
UNIT #401				1,039 SF		61 SF	1,100 SF
UNIT #402				1,298 SF		55 SF	1,353 SF
UNIT #403				1,062 SF		65 SF	1,127 SF
UNIT #404				782 SF		22 SF	804 SF
UNIT #405				782 SF		22 SF	804 SF
UNIT #406				769 SF		22 SF	791 SF
UNIT #501					726 SF	61 SF	1,100 SF
UNIT #502					726 SF	55 SF	1,353 SF
UNIT #503					1,039 SF	65 SF	1,127 SF
SUBTOTAL							22,828 SF
HALLWAY							1,528 SF
TRASH/RECYCLE	249 SF	356 SF	356 SF	460 SF	356 SF		545 SF
REC ROOM		74 SF	74 SF	74 SF	74 SF		721 SF
BATHROOM		721 SF	721 SF				60 SF
LOBBY	617 SF	61 SF					617 SF
ELECTRICAL ROOM	61 SF	83 SF					61 SF
MECHANICAL ROOM							83 SF
STAIR #1							205 SF
STAIR #2							205 SF
STAIR #3							205 SF
STAIR #4							205 SF
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1
3/16" = 1'-0"

KEYNOTES

LEGEND

- CONCRETE WALL - SEE STRUCTURAL DRAWINGS
- 8" OR 12" CMU WALL - SEE STRUCTURAL DRAWINGS
- 2 X 6 WD STUD OR FURRING WALL - SEE STRUCTURAL DRAWINGS
- 2 X 4 WD STUD OR FURRING WALL - SEE STRUCTURAL DRAWINGS
- 1-HR RATED CONSTRUCTION - SEE SHEET 6.1 FOR DETAILS
- 2-HR RATED CONSTRUCTION - SEE SHEET 6.1 FOR DETAILS
- CARBON MONOXIDE ALARM, HARD-WIRED W/ BATTERY BACK-UP
- CEILING MOUNTED BATTERY OPERATED SMOKE DETECTOR, HARD-WIRED W/ BATTERY BACK-UP
- WHISPER-QUIET CEILING EXHAUST FANLIGHT COMBO, 50 CFM MIN, ENERGY STAR RATED, HUMIDISTAT CONTROLLED EXHAUST FAN DUCTED TO EXTERIOR
- EXIT SIGN

SHEET NOTES

- ALL DIMENSIONS ARE TO FACE OF FRAMING, CENTERLINE OF STRUCTURAL POST, OR EDGE OF SLAB U.O.N.
- ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- AT ALL INTERIOR WALLS, INSTALL 1 LAYER 5/8" GWB BOTH SIDES. AT WET LOCATION, INSTALL CEMENT BOARD ON WET SIDE OF WALL.
- SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION.
- ALL DOORS TO BE FRAMED 6" FROM THE ADJACENT PERPENDICULAR WALL TO THE THROAT OF THE HINGE SIDE OF THE DOOR, U.O.N.
- ALL EXTERIOR DOORS SHALL OPEN ONTO A LANDING IN THE DIRECTION OF THE DOORSWING THAT IS NO MORE THAN 1/2" BELOW THE DOOR THRESHOLD ELEVATION.
- SEE INTERIORS PACKAGE FOR ALL INTERIOR MATERIALS, FIXTURES, AND FINISHES.



ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 302
North Hollywood, CA 91602
(310) 422-9234
Email: aaron@aaronsbrumer.com

STRUCTURAL:
Kurt Fischer Structural Engineering
17547 Ventura Blvd. Ste 302
Encino, CA 91316
Tel (818) 874-1445
www.kfseng.com

CIVIL:
DK Engineer, Corp
6420 Wilshire Blvd. #1000
Los Angeles, CA 90048
Tel (310) 926-0248

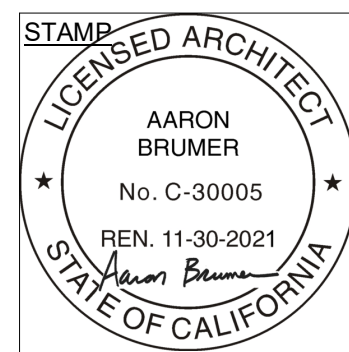
LANDSCAPE:
Courtand Studio
505 E Colorado Blvd. Mezz C
Pasadena, CA 90048
Tel (818) 788-3217

MEP:
Idiaz Design, Inc.
3700 Wilshire Blvd. #910
Los Angeles, CA 90010
Tel (310) 388-8730
www.idiazdesign.com

PROJECT:
21-Unit Multi-Family Building
500 N LARCHMONT BLVD
LOS ANGELES, CA 90004

ISSUE	DATE	DESCRIPTION
1	05.28.2020	PLAN CHECK SUBMITTAL
2	09.14.2020	CITY PLANNING TOC SET
3	05.07.2021	CITY PLANNING TOC SET #2

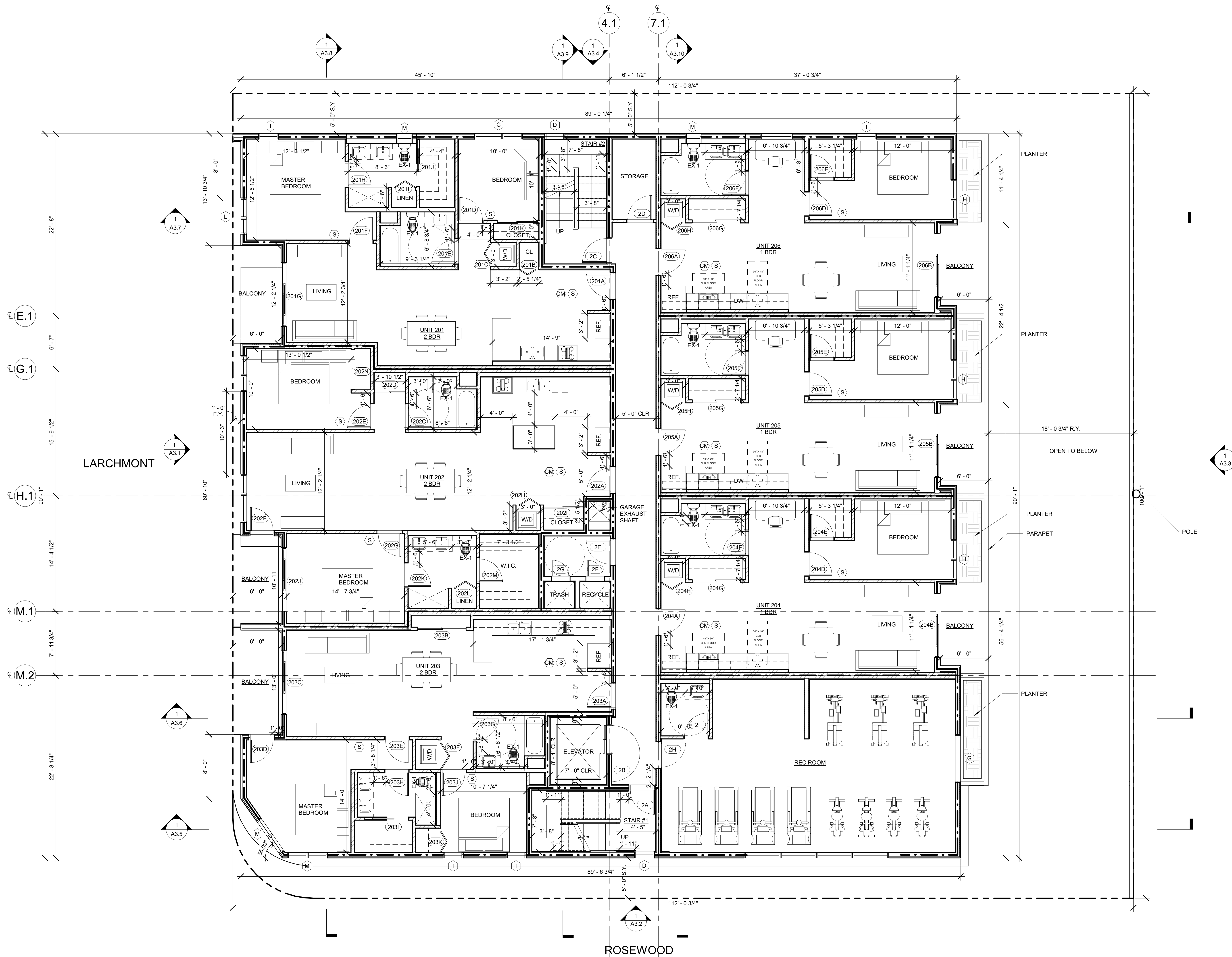
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DRAWING TITLE
FIRST FLOOR PLAN

A2.1

LARCHMONT



1
3/16" = 1'-0"

2-SECOND FLOOR PLAN

- KEYNOTES**
- (01) DEX-O-TEX WEATHERWEAR COATING IN '304 SANDPIPER BEIGE XL' COLOR
SRI 46
SEE SHEET A0.8 FOR SPECIFICATIONS

- LEGEND**
- 2 X 6 WD STUD WALL-
SEE STRUCTURAL DRAWINGS
- 2 X 4 WD STUD WALL-
SEE STRUCTURAL DRAWINGS
- 1-HR RATED CONSTRUCTION-
SEE SHEET 6.1 FOR DETAILS
- 2-HR RATED CONSTRUCTION-
SEE SHEET 6.1 FOR DETAILS
- CARBON MONOXIDE ALARM,
HARD-WIRED W/ BATTERY BACK-UP
- CEILING MOUNTED BATTERY
OPERATED SMOKE DETECTOR,
HARD-WIRED W/ BATTERY BACK-UP
- WHISPER-QUIET CEILING EXHAUST
FAN/LIGHT COMBO, 50 CFM MIN.
ENERGY STAR RATED, HUMIDISTAT
CONTROLLED EXHAUST FAN DUCTED
TO EXTERIOR
- EXIT SIGN

- SHEET NOTES**
- ALL DIMENSIONS ARE TO FACE OF FRAMING, CENTERLINE OF STRUCTURAL POST, OR EDGE OF SLAB U.O.N.
 - ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
 - AT ALL INTERIOR WALLS, INSTALL 1 LAYER 5/8" GWB BOTH SIDES. AT WET LOCATION, INSTALL CEMENT BOARD ON WET SIDE OF WALL.
 - SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION.
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 - ALL EXTERIOR DOORS SHALL OPEN ONTO A LANDING IN THE DIRECTION OF THE DOORSWING THAT IS NO MORE THAN 1/2" BELOW THE DOOR THRESHOLD ELEVATION.
 - SEE INTERIORS PACKAGE FOR ALL INTERIOR MATERIALS, FIXTURES, AND FINISHES.

GALAXY 40

8906 West Olympic Boulevard, Suite 200
Beverly Hills, California 90211

ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 302
North Hollywood, CA 91602
(310) 422-9234
Email: aaron@aaronsbrumer.com

STRUCTURAL:
Kurt Fischer Structural Engineering
17547 Ventura Blvd. Ste 302
Encino, CA 91316
Tel (818) 874-1445
www.kfseng.com

CIVIL:
DK Engineer, Corp
6420 Wilshire Blvd. #1000
Los Angeles, CA 90048
Tel (310) 926-0248

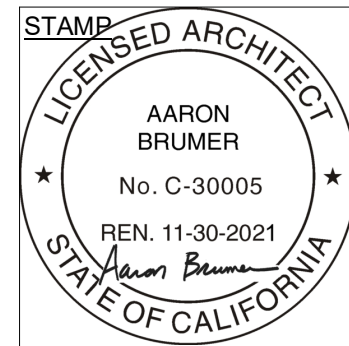
LANDSCAPE:
Courtand Studio
505 E Colorado Blvd. Mezz C
Pasadena, CA 90048
Tel (818) 788-3217

MEP:
Idiaz Design, Inc.
3700 Wilshire Blvd. #910
Los Angeles, CA 90010
Tel (310) 388-8730
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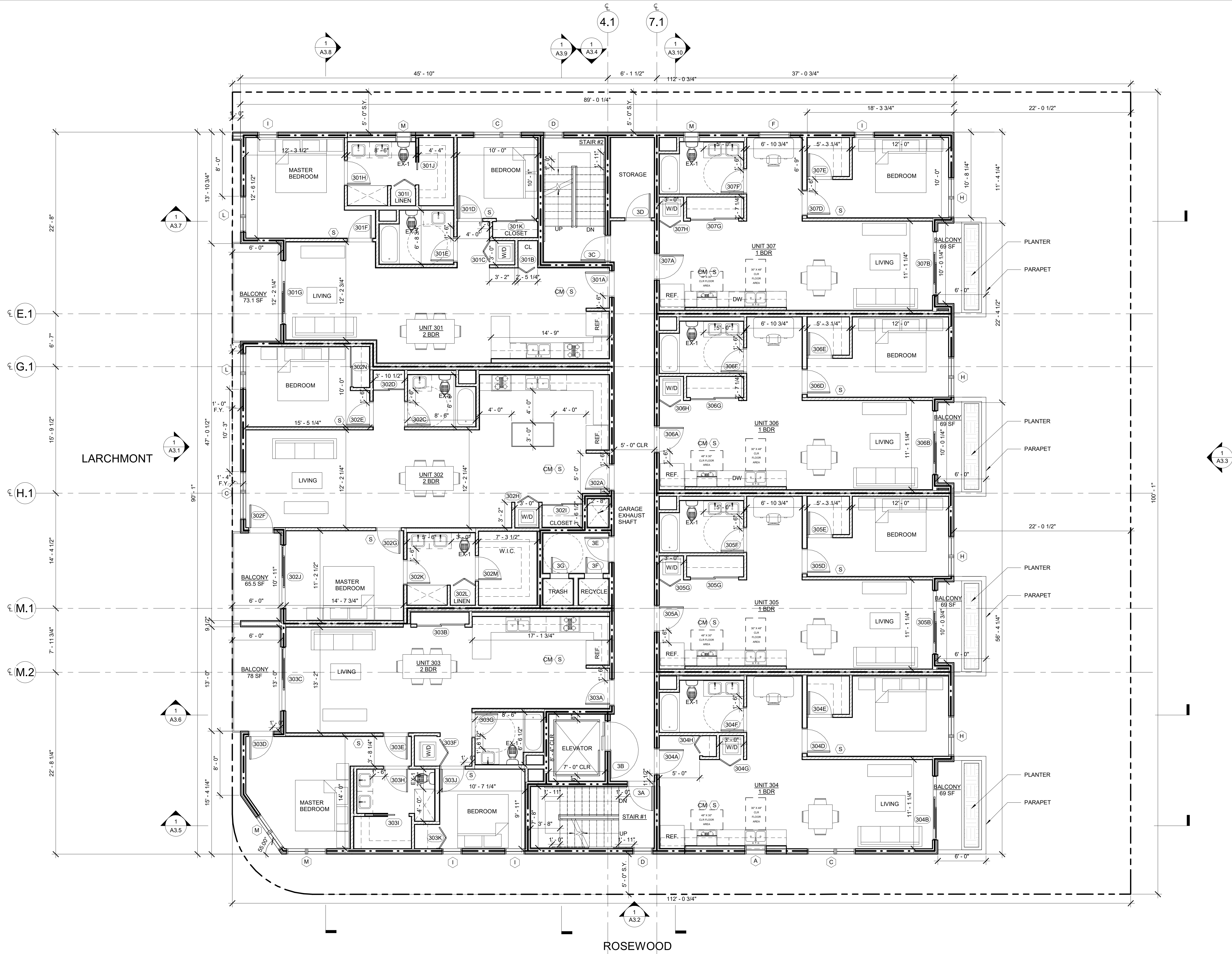
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DRAWING TITLE
SECOND FLOOR
PLAN

A2.2

LARCHMONT



1 3-THIRD FLOOR PLAN
3/16" = 1'-0"

KEYNOTES	
	2 X 6 WD STUD OR FURRING WALL- SEE STRUCTURAL DRAWINGS
	2 X 4 WD STUD OR FURRING WALL- SEE STRUCTURAL DRAWINGS
	1-HR RATED CONSTRUCTION- SEE SHEET 6.1 FOR DETAILS
	2-HR RATED CONSTRUCTION- SEE SHEET 6.1 FOR DETAILS

LEGEND	
	CARBON MONOXIDE ALARM, HARD-WIRED W/ BATTERY BACK-UP
	CEILING MOUNTED BATTERY OPERATED SMOKE DETECTOR, HARD-WIRED W/ BATTERY BACK-UP
	WHISPER-QUIET CEILING EXHAUST FAN/LIGHT COMBO, 50 CFM MIN.
	ENERGY STAR RATED, HUMIDISTAT CONTROLLED EXHAUST FAN DUCTED TO EXTERIOR
	EXIT SIGN

SHEET NOTES	
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3. AT ALL INTERIOR WALLS, INSTALL 1 LAYER 5/8" GWB BOTH SIDES. AT WET LOCATION, INSTALL CEMENT BOARD ON WET SIDE OF WALL.	7. SEE INTERIORS PACKAGE FOR ALL INTERIOR MATERIALS, FIXTURES, AND FINISHES.
4. SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION.	



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Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 302
North Hollywood, CA 91602
(310) 422-9234
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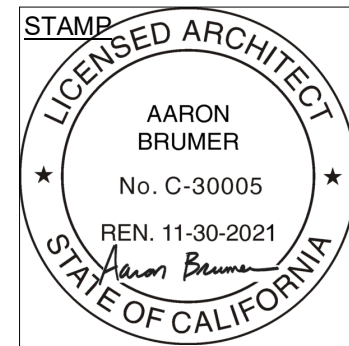
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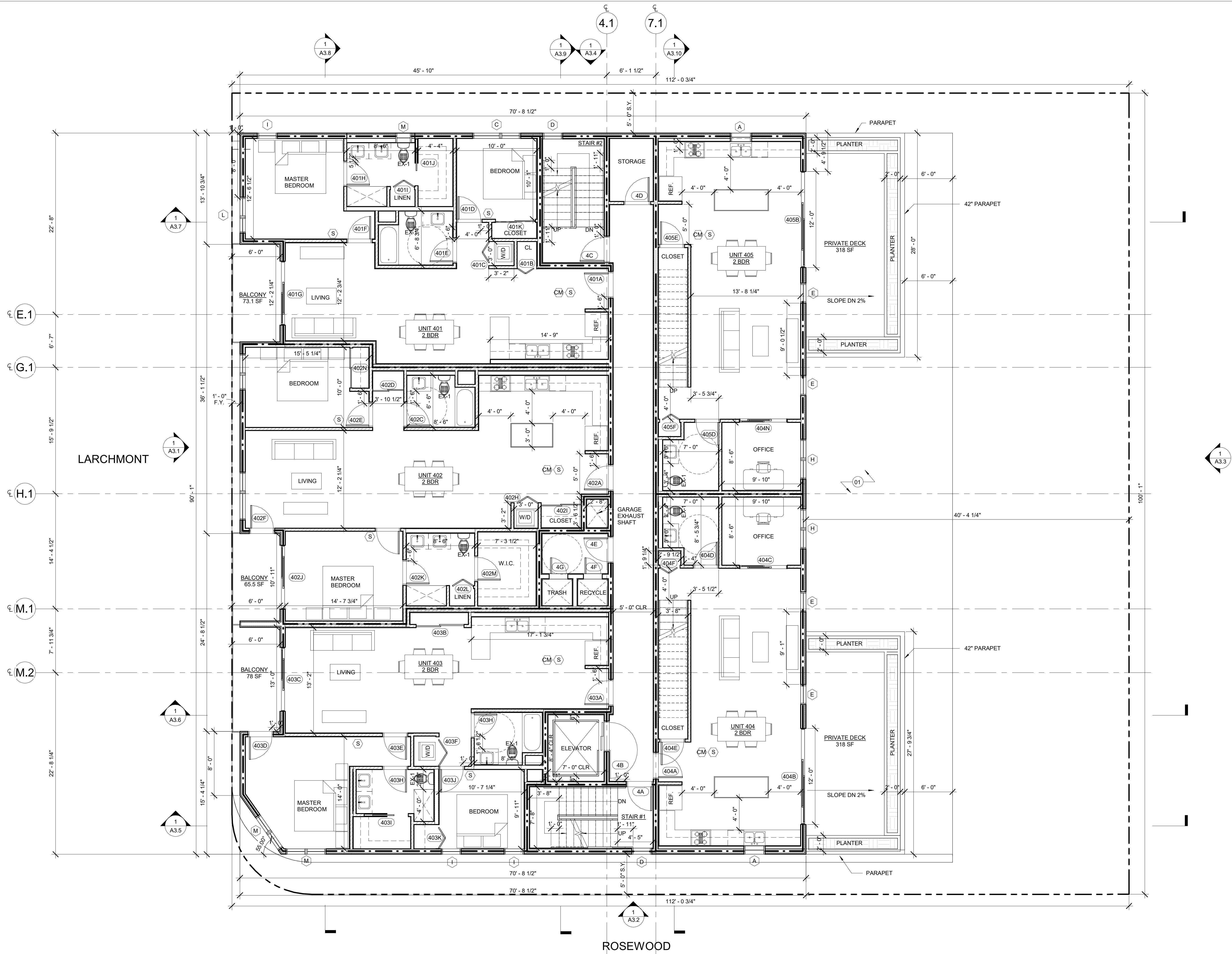
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DRAWING TITLE
THIRD FLOOR PLAN

A2.3

LARCHMONT



1 4-FOURTH FLOOR PLAN
3/16" = 1'-0"

KEYNOTES

01 DEX-O-TEX WEATHERWEAR COATING IN '304 SANDPIPER BEIGE XL' COLOR
SRI: 46
SEE SHEET A0.8 FOR SPECIFICATIONS

LEGEND

2 X 4 WD STUD OR FURRING WALL-
SEE STRUCTURAL DRAWINGS

2 X 4 WD STUD OR FURRING WALL-
SEE STRUCTURAL DRAWINGS

1-HR RATED CONSTRUCTION-
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2-HR RATED CONSTRUCTION-
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CARBON MONOXIDE ALARM,
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CEILING MOUNTED BATTERY
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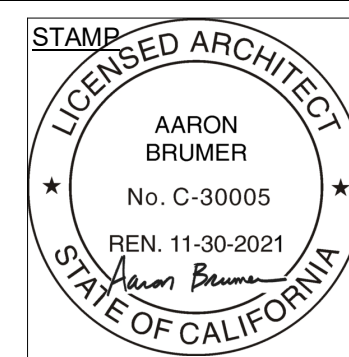
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Courtand Studio
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Pasadena, CA 90048
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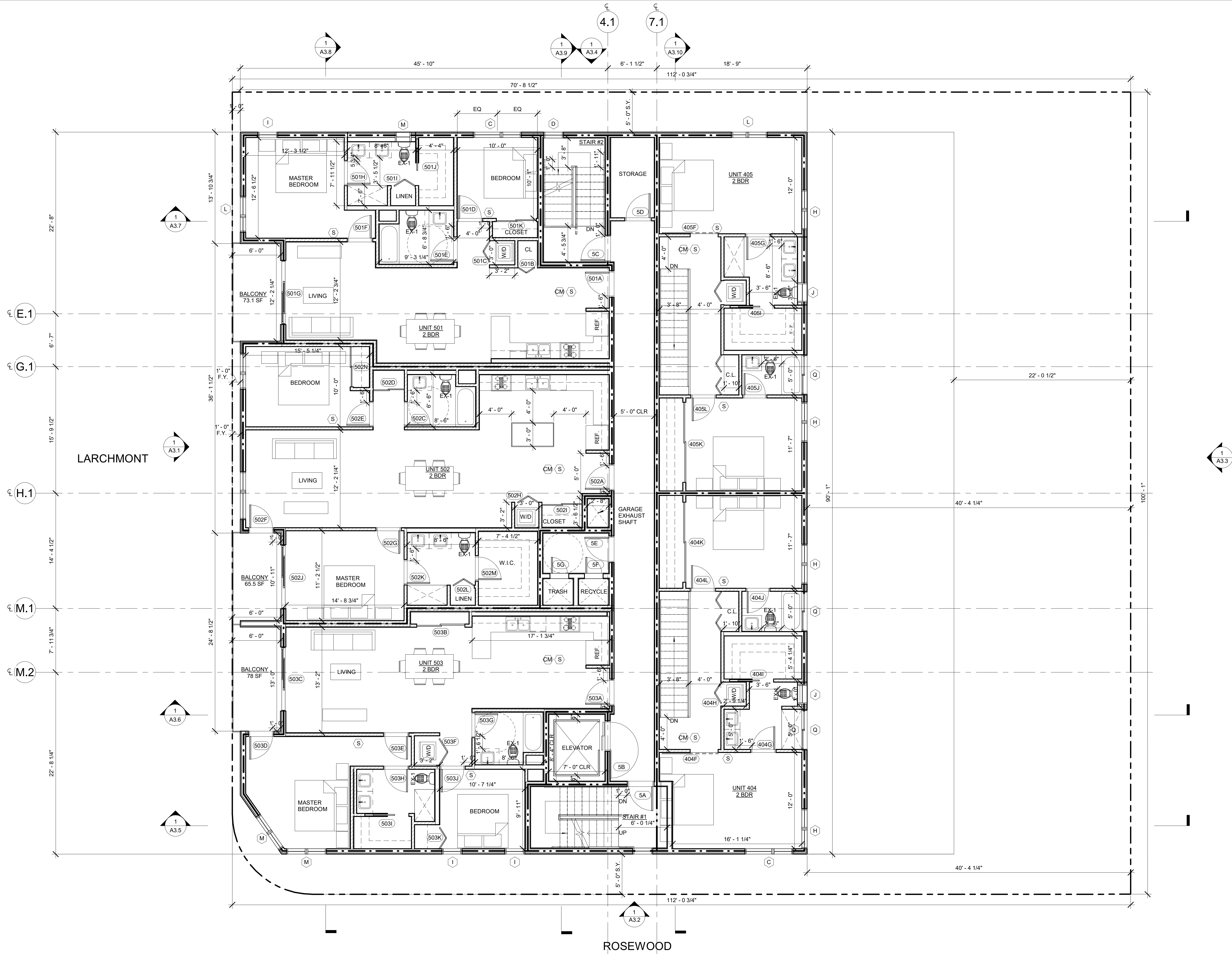
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DRAWING TITLE
FOURTH FLOOR
PLAN

A2.4

LARCHMONT



1 5-FIFTH FLOOR PLAN
3/16" = 1'-0"

KEYNOTES

LEGEND

2 X 6 WD STUD OR FURRING WALL-
SEE STRUCTURAL DRAWINGS

2 X 4 WD STUD OR FURRING WALL-
SEE STRUCTURAL DRAWINGS

1-HR RATED CONSTRUCTION-
SEE SHEET 6.1 FOR DETAILS

2-HR RATED CONSTRUCTION-
SEE SHEET 6.1 FOR DETAILS

CARBON MONOXIDE ALARM,
HARD-WIRED W/ BATTERY BACK-UP

CEILING MOUNTED BATTERY
OPERATED SMOKE DETECTOR,
HARD-WIRED W/ BATTERY BACK-UP

WHISPER-QUIET CEILING EXHAUST
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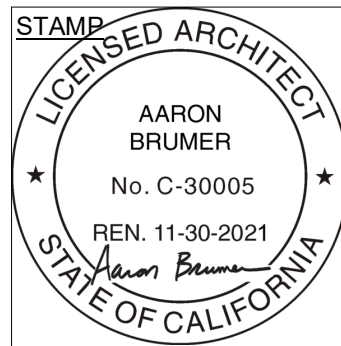
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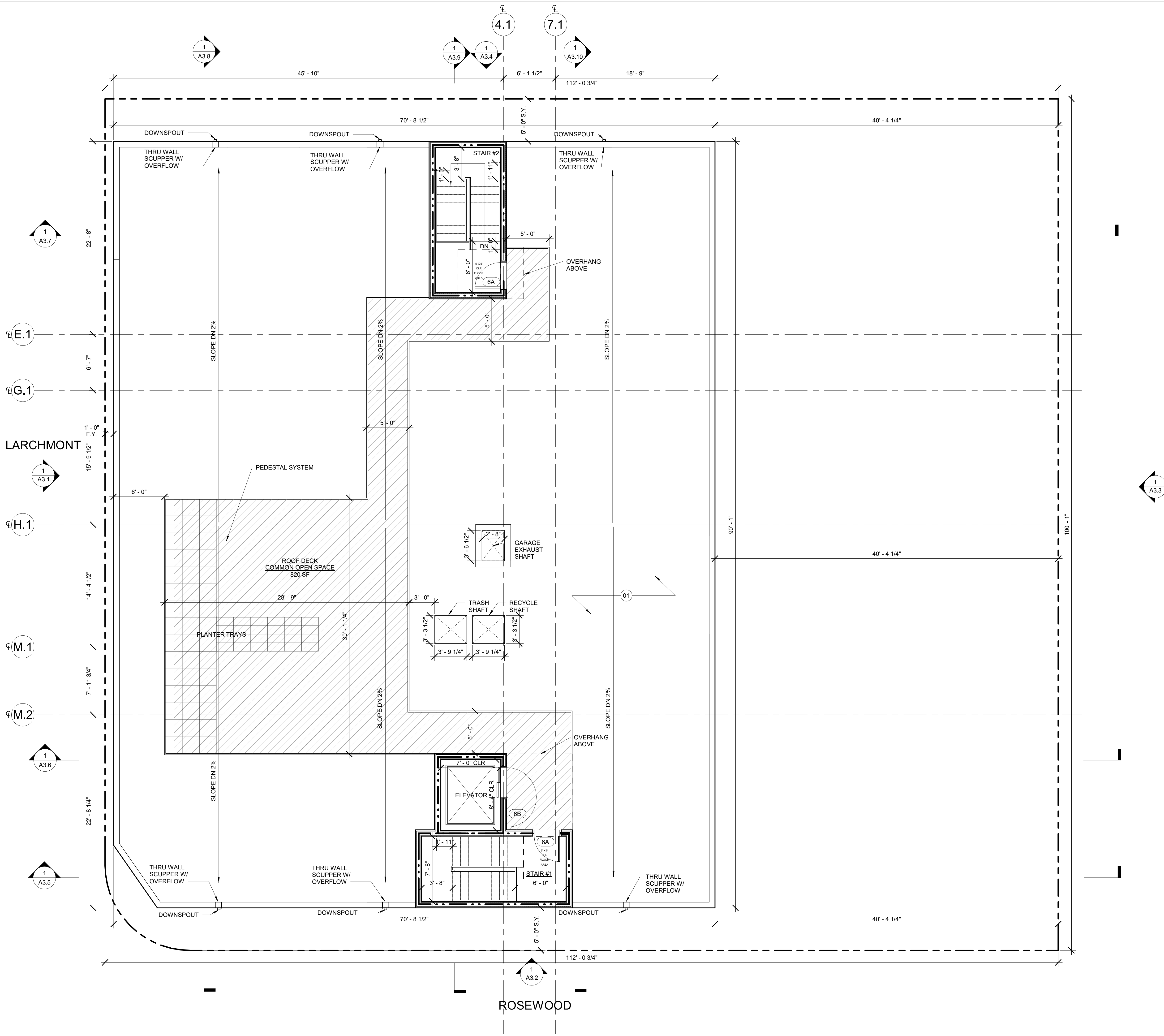
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DRAWING TITLE
FIFTH FLOOR PLAN

A2.5

LARCHMONT



1 6-ROOF DECK PLAN
3/16" = 1'-0"

KEYNOTES		LEGEND		SHEET NOTES	
(01) ROOFING TO BE CARLISLE SPECTRO-WELD WHITE TPO, ESR-1465 MIN 5-YR AGED SOLAR REFLECTANCE: 0.75 THERMAL EMITTANCE: 0.89 INITIAL SRI: 111 5-YR SRI: 93 SEE SHEETS A0.7 FOR SPECIFICATIONS		2 X 6 WD STUD OR FURRING WALL- SEE STRUCTURAL DRAWINGS 2 X 4 WD STUD OR FURRING WALL- SEE STRUCTURAL DRAWINGS 1-HR RATED CONSTRUCTION- SEE SHEET 6.1 FOR DETAILS 2-HR RATED CONSTRUCTION- SEE SHEET 6.1 FOR DETAILS CARBON MONOXIDE ALARM, HARD-WIRED W/ BATTERY BACK-UP CEILING MOUNTED BATTERY OPERATED SMOKE DETECTOR, HARD-WIRED W/ BATTERY BACK-UP WHISPER-QUIET CEILING EXHAUST FAN/LIGHT COMBO, 50 CFM MIN. ENERGY STAR RATED, HUMIDISTAT CONTROLLED EXHAUST FAN DUCTED TO EXTERIOR EXIT SIGN		1. ALL DIMENSIONS ARE TO FACE OF FRAMING, CENTERLINE OF STRUCTURAL POST, OR EDGE OF SLAB U.O.N. 2. ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY. 3. AT ALL INTERIOR WALLS, INSTALL 1 LAYER 5/8" GWB BOTH SIDES. AT WET LOCATION, INSTALL CEMENT BOARD ON WET SIDE OF WALL. 4. SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION. 5. ALL DOORS TO BE FRAMED 6" FROM THE ADJACENT PERPENDICULAR WALL TO THE THROAT OF THE HINGE SIDE OF THE DOOR, U.O.N. 6. ALL EXTERIOR DOORS SHALL OPEN ONTO A LANDING IN THE DIRECTION OF THE DOORSWING THAT IS NO MORE THAN 1/2" BELOW THE DOOR THRESHOLD ELEVATION. 7. SEE INTERIORS PACKAGE FOR ALL INTERIOR MATERIALS, FIXTURES, AND FINISHES.	



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10999 Riverside Drive, Suite 302
North Hollywood, CA 91602
(310) 422-9234
Email: aaron@aarbrumer.com

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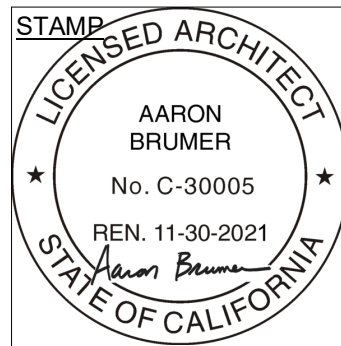
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DRAWING TITLE
ROOF PLAN

A2.6

LARCHMONT

LARCHMONT

ROSEWOOD

2
3/16" = 1'-0"

7-TOP OF STAIRS PLAN

KEYNOTES

- 01 ROOFING TO BE CARLISLE SPECTRO-WELD WHITE
TPO, ESR-1463
MIN 3-YR AGED SOLAR REFLECTANCE: 0.75
THERMAL EMITTANCE: 0.89
INITIAL SRI: 111
3-YR SRI: 93
SEE SHEETS A0.7 FOR SPECIFICATIONS

LEGEND

- 2 X 6 WD STUD OR FURRING WALL-
SEE STRUCTURAL DRAWINGS
- 2 X 4 WD STUD OR FURRING WALL-
SEE STRUCTURAL DRAWINGS
- 1-HR RATED CONSTRUCTION-
SEE SHEET 6.1 FOR DETAILS
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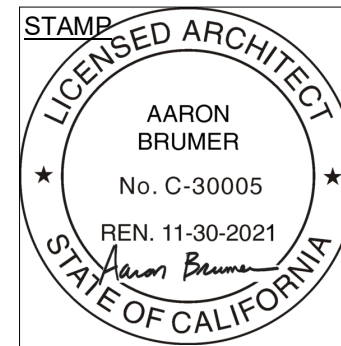
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DRAWING TITLE

TOP OF STAIRS
PLAN

A2.7

LARCHMONT



1 WEST EXTERIOR ELEVATION
3/16" = 1'-0"



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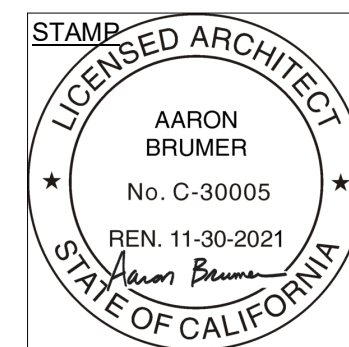
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DRAWING TITLE
WEST ELEVATION

A3.1

LARCHMONT



T.O. STAIRCASE ROOF	329' - 6"	
	10' - 0"	
T.O. PARAPET	319' - 6"	
T.O. ROOF	318' - 5 1/4"	
	1' - 2 3/4"	
	10' - 2 1/2"	
T.O. 5TH FL FF	308' - 2 7/8"	
	10' - 4 3/4"	
T.O. 4TH FL FF	297' - 10 1/4"	
	10' - 4 3/4"	
T.O. 3RD FL FF	287' - 5 5/8"	
	56' - 0" T.O. PARAPET	
	10' - 6 1/4"	
T.O. 2ND FL SLAB	276' - 11 1/2"	
	12' - 9 1/2"	
T.O. SLAB	264' - 2"	
LOW POINT OF GRADE	263' - 6"	

1 SOUTH EXTERIOR ELEVATION
3/16" = 1'-0"



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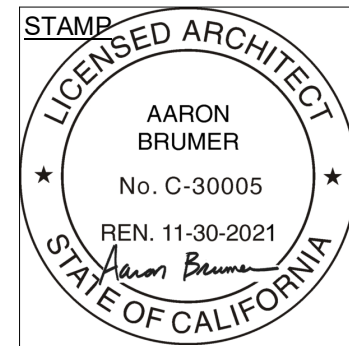
LANDSCAPE:
Courtand Studio
505 E Colorado Blvd. Mezz C
Pasadena, CA 90048
Tel (818) 788-3217

MEP:
IDiaz Design, Inc.
3700 Wilshire Blvd. #910
Los Angeles, CA 90010
Tel (310) 388-8730
www.idiazdesign.com

PROJECT:
21-Unit Multi-Family Building
500 N LARCHMONT BLVD
LOS ANGELES, CA 90004

ISSUE	DATE	DESCRIPTION
1	05.28.2020	PLAN CHECK SUBMITTAL
2	09.14.2020	CITY PLANNING TOC SET
3	05.07.2021	CITY PLANNING TOC SET #2

ISSUE	DATE	DESCRIPTION



DRAWING TITLE
SOUTH ELEVATION

A3.2

LARCHMONT



1 EAST EXTERIOR ELEVATION
3/16" = 1'-0"



ARCHITECT:
Aaron Brumer & Assoc., Architects
10999 Riverside Drive, Suite 302
North Hollywood, CA 91602
(310) 422-9234
Email: aaron@aaronbrumer.com

STRUCTURAL:
Kurt Fischer Structural Engineering
17547 Ventura Blvd. Ste 302
Encino, CA 91316
(818) 874-1445
www.kfseng.com

CIVIL:
DK Engineer, Corp
6420 Wilshire Blvd. #1000
Los Angeles, CA 90048
Tel (310) 926-0248

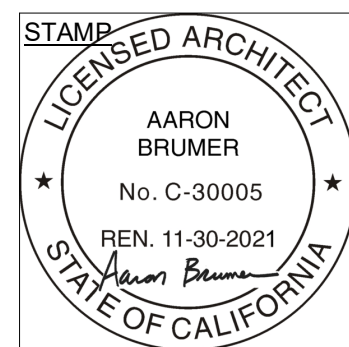
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505 E Colorado Blvd. Mezz C
Pasadena, CA 90048
Tel (818) 788-3217

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DRAWING TITLE
EAST ELEVATION

A3.3

LARCHMONT



1 NORTH EXTERIOR ELEVATION
3/16" = 1'-0"



ARCHITECT:
Aaron Brumer & Assoc., Architects
10999 Riverside Drive, Suite 302
North Hollywood, CA 91602
(310) 422-9234
Email: aaron@aaronbrumer.com

STRUCTURAL:
Kurt Fischer Structural Engineering
17547 Ventura Blvd. Ste 302
Encino, CA 91316
Tel (818) 874-1445
www.kfseng.com

CIVIL:
DK Engineer, Corp
6420 Wilshire Blvd. #1000
Los Angeles, CA 90048
Tel (310) 926-0248

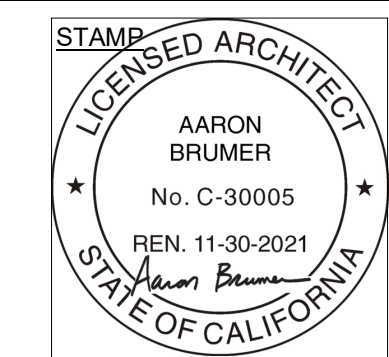
LANDSCAPE:
Courtand Studio
505 E Colorado Blvd. Mezz C
Pasadena, CA 90048
Tel (818) 788-3217

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3700 Wilshire Blvd. #910
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PROJECT:
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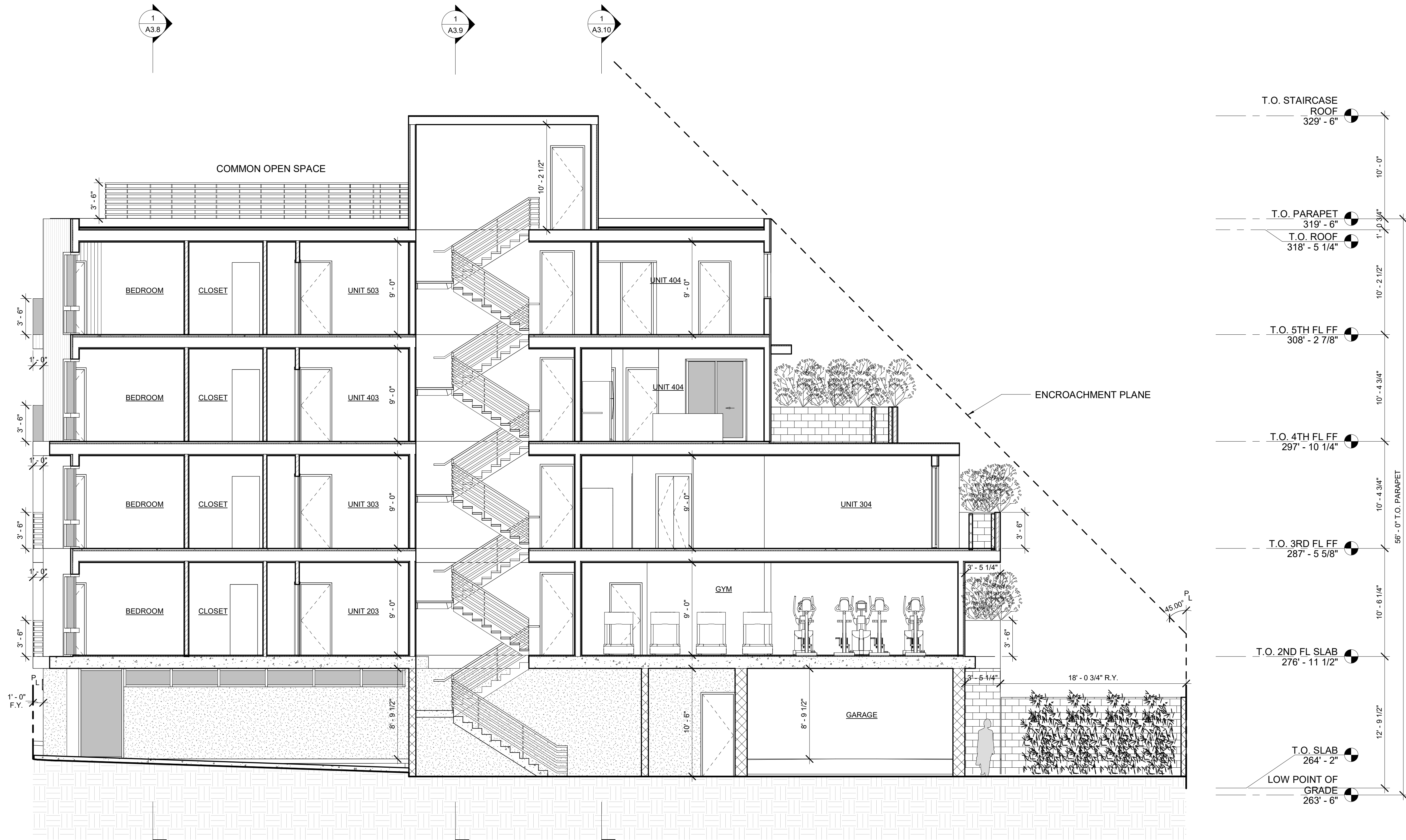
ISSUE	DATE	DESCRIPTION
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ISSUE	DATE	DESCRIPTION



DRAWING TITLE
NORTH ELEVATION

A3.4
LARCHMONT



1 Section 1
3/16" = 1'-0"



ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 302
North Hollywood, CA 91602
(310) 422-9234
Email: aaron@aarnbrumer.com

STRUCTURAL:
Kurt Fischer Structural Engineering
17547 Ventura Blvd. Ste 302
Encino, CA 91316
Tel (818) 874-1445
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CIVIL:
DK Engineer, Corp
6420 Wilshire Blvd. #1000
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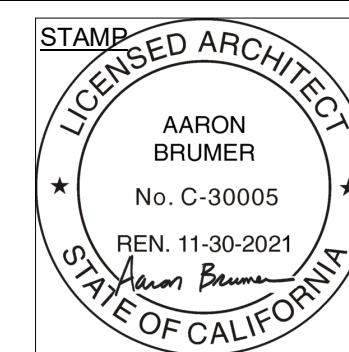
LANDSCAPE:
Courtand Studio
505 E Colorado Blvd. Mezz C
Pasadena, CA 90048
Tel (818) 788-3217

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3700 Wilshire Blvd. #910
Los Angeles, CA 90010
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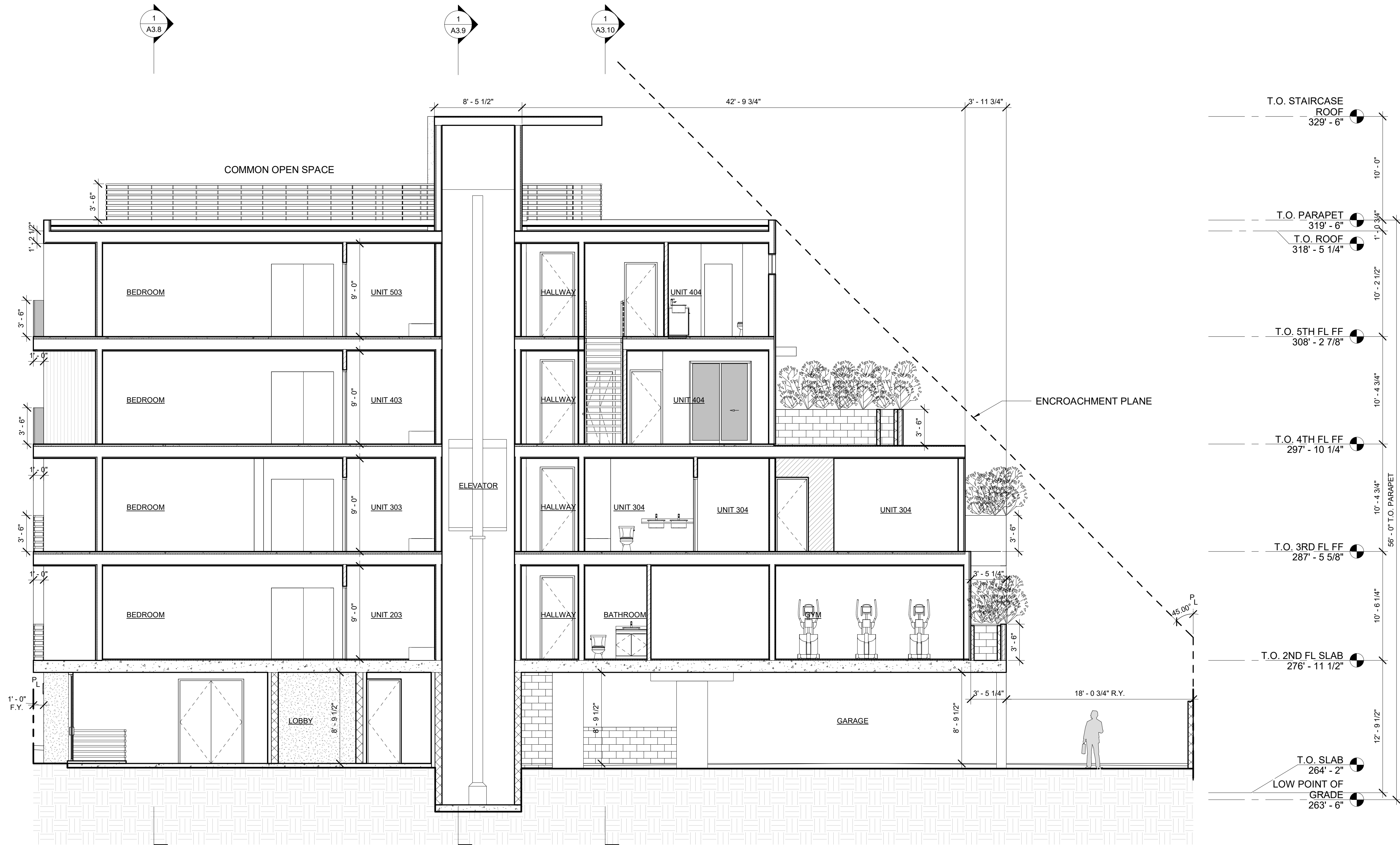
ISSUE	DATE	DESCRIPTION



DRAWING TITLE
SECTION 1

A3.5

LARCHMONT



1
3/16" = 1'-0"

Section 2



ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 302
North Hollywood, CA 91602
(310) 422-9234
Email: aaron@aarbrumer.com

STRUCTURAL:
Kurt Fischer Structural Engineering
17547 Ventura Blvd. Ste 302
Encino, CA 91316
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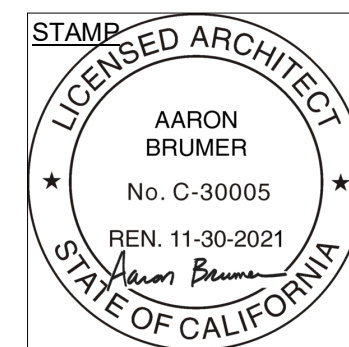
LANDSCAPE:
Courtand Studio
505 E Colorado Blvd. Mezz C
Pasadena, CA 90048
Tel (818) 788-3217

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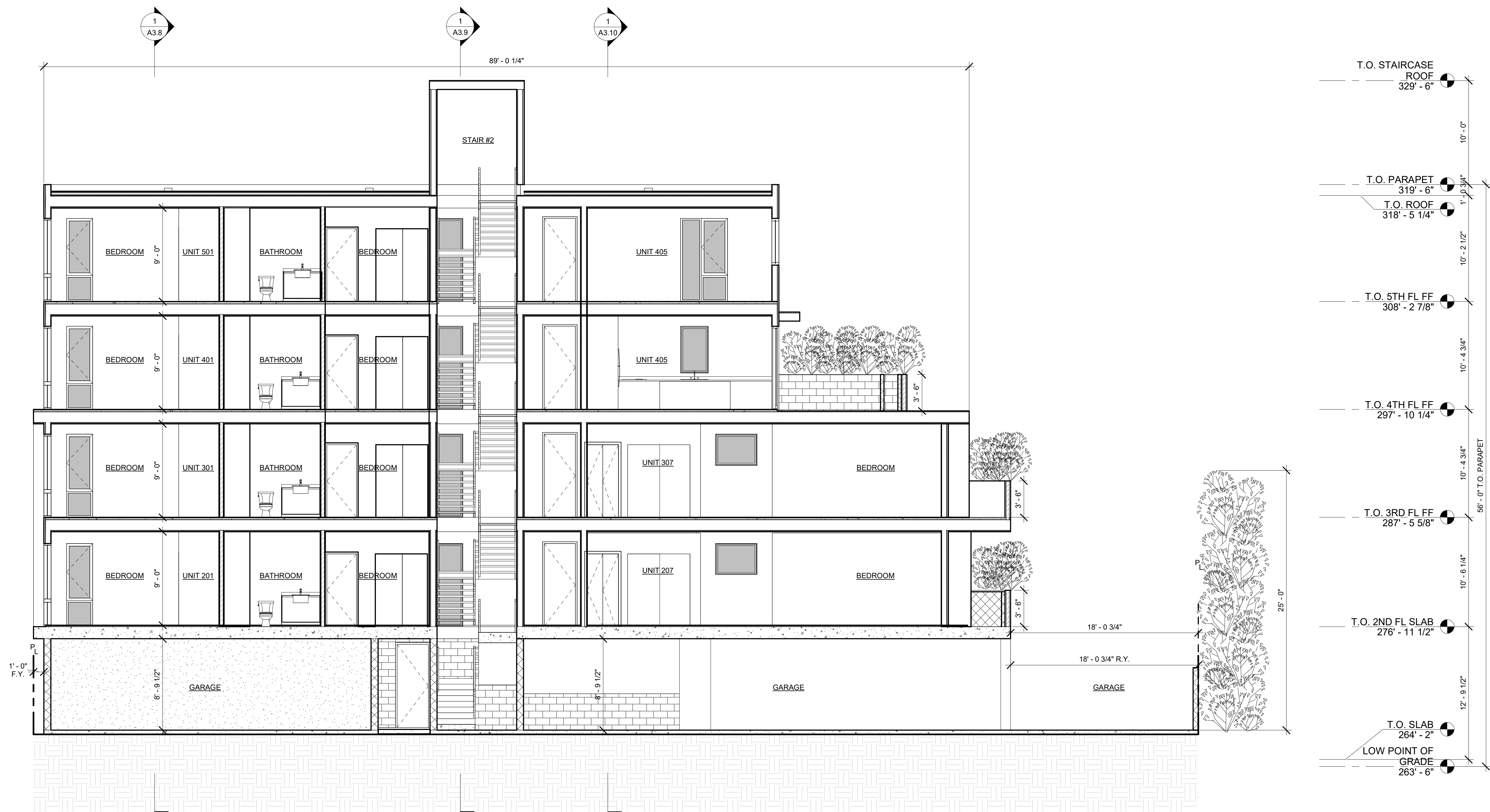
ISSUE	DATE	DESCRIPTION



DRAWING TITLE
SECTION 2

A3.6

LARCHMONT



1 Section 3
3/16" = 1'-0"



ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 302
North Hollywood, CA 91602
(310) 422-9234
Email: aaron@aaronbrumer.com

STRUCTURAL:
Kurt Fischer Structural Engineering
17547 Ventura Blvd. Ste 302
Encino, CA 91316
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CIVIL:
DK Engineer, Corp
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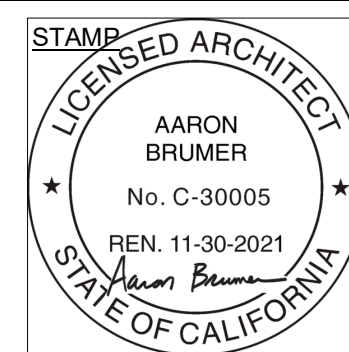
LANDSCAPE:
Courtand Studio
505 E Colorado Blvd. Mezz C
Pasadena, CA 90048
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ISSUE	DATE	DESCRIPTION



DRAWING TITLE
SECTION 3

A3.7

LARCHMONT



VIEW FROM THE CORNER OF LARCHMONT AND ROSEWOOD



ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 302
North Hollywood, CA 91602
(310) 422-9234
Email: aaron@aaronbrumer.com

STRUCTURAL:
Kurt Fischer Structural Engineering
17547 Ventura Blvd. Ste 302
Encino, CA 91316
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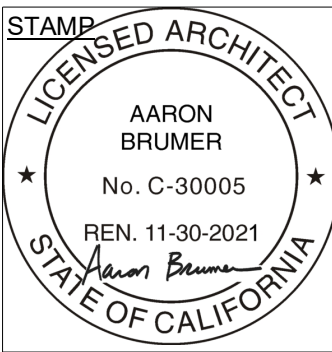
LANDSCAPE:
Courtand Studio
505 E Colorado Blvd. Mezz C
Pasadena, CA 90048
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DRAWING TITLE
RENDERINGS

A7.1



VIEW FROM LARCHMONT ON APPROACH TO ROSEWOOD



VIEW FROM ROSEWOOD



ARCHITECT:
Aaron Brumer & Assoc. Architects
10999 Riverside Drive, Suite 302
North Hollywood, CA 91602
(310) 422-9234
Email: aaron@aaronbrumer.com

STRUCTURAL:
Kurt Fischer Structural Engineering
17547 Ventura Blvd. Ste 302
Encino, CA 91316
Tel (818) 874-1445
www.kfseng.com

CIVIL:
DK Engineer, Corp
6420 Wilshire Blvd. #1000
Los Angeles, CA 90048
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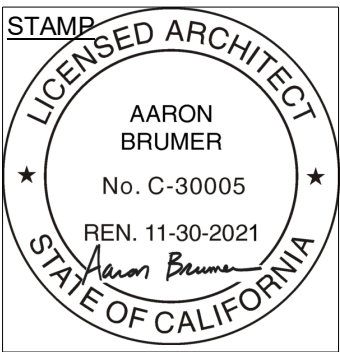
LANDSCAPE:
Courtand Studio
505 E Colorado Blvd. Mezz C
Pasadena, CA 90048
Tel (818) 788-3217

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3700 Wilshire Blvd. #910
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DRAWING TITLE
RENDERINGS (CONT)

Architect:

Aaron Brumer & Assoc.
10999 Riverside Dr. St. 302
North Hollywood, CA 91602

Client:

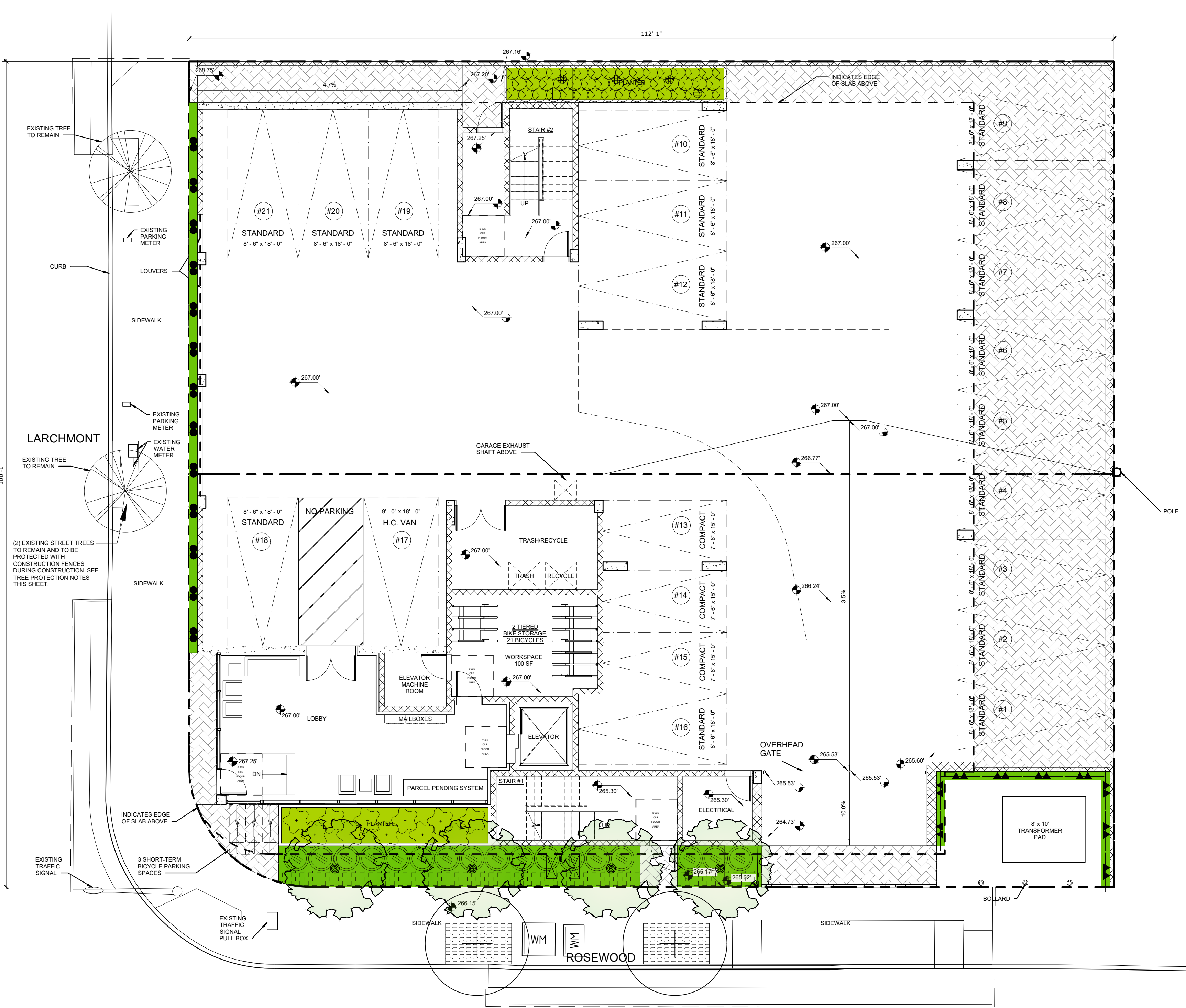
Project location:

500 N. Larchmont Blvd.
Los Angeles, CA 90004

LANDSCAPE PLAN

Scale: 1/8" = 1'-0"
Date: 04/12/21

L-1.0



FIRST FLOOR LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

PLANTING LEGEND

Symbol	Botanical Name/Common Name	Quantity	Size	WUCOLS	Remarks
TREES					
	Melaleuca quinquenervia / Paperbark tree	4	36" Box	L	
	Street trees per City of Los Angeles	2	24" Box	n/a	
SHRUBS					
	Alyogyne huegelii / Blue Hibiscus @ 36" o.c.	12	5g	L	
	Juncus patens / California gray rush @ 18" o.c.	47	1g	L	
	Nandina domestica 'Gulf Stream' / Gulf Stream Heavenly bamboo @ 24" o.c.	99	5g	L	
	Russelia equisetiformis / Coral fountain @ 36" o.c.	18	5g	M	
VINES					
	Distictis 'Rivers' / Royal trumpet vine @ 60" o.c.	13	5g	M	
	Ficus pumila / Creeping Fig @ 60" o.c.	9	5g	M	
GROUND COVERS					
	Carex praegracilis / California field sedge 80 sf @ 9" o.c. = 142 plants	3	flat	M	
	Trachelospermum jasminoides / Star jasmine 108 sf @ 12" o.c. = 108 plants	2	flat	M	

GREEN ROOF

Symbol	Botanical Name/Common Name	Quantity	Size	Remarks
	Green Living Roof mix to include: Achillea millefolium Carex praegracilis Chondropetalum tectorum Festuca glauca Phormium dwarf var. 'Jack Spratt' Sesleria autumnalis Sesleria caerulea	230 sf	6" deep trays	contract grown by Green Living Roof 760-250-0357 contact: Santiago Rosales www.greenlivingroof.com

LANDSCAPE TYPE LEGEND

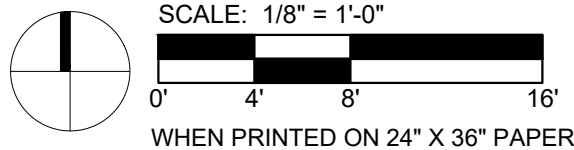
- LANDSCAPE AREAS
- LID PLANTERS
- GREEN ROOF TRAYS

AREA SUMMARY

TOTAL LOT AREA = APPROX. 11,188.5 SF
LANDSCAPE AREA OF PROJECT NOT INCLUDING PARKWAY = 1,118 SF
POTENTIAL LANDSCAPE AREA = 11,188.5 SF (TOTAL LOT) - 8,600 SF (BUILDING) = 2,588.5 SF
COMMON OPEN SPACE AREA PER ARCHITECT'S DRAWING = 820 SF (ROOF)
REQUIRED LANDSCAPE AREA OF COMMON OPEN SPACE = 205 SF (25% OF OPEN SPACE)
PROVIDED LANDSCAPE AREA OF COMMON OPEN SPACE = 230 SF (112% OF REQUIRED OPEN SPACE)
(1 TREE / 4 UNITS) REQUIRED = 21 UNITS / 4 = 5.25 TREES
TREES PROVIDED = 6 (114%)
FRONT YARD LANDSCAPE = 67 SF
(1 TREE / 500 SF) REQUIRED = 67 SF / 500 SF = 0.1 TREES
TREES PROVIDED = 0
STREET TREES:
EXISTING STREET TREES TO REMAIN

TREE PROTECTION NOTES

- EXISTING TREES IN THE PUBLIC RIGHT OF WAY SHALL BE PROTECTED AT ALL TIMES DURING CONSTRUCTION WITH CONSTRUCTION FENCING OR OTHER APPROVED MEASURES.
- NO DEBRIS, SOIL, OR OTHER MATERIALS SHALL BE PLACED OR DEPOSITED WITHIN THE TREE PROTECTION ZONE OR AROUND OR ON TREE LOCATED WITHIN THE PUBLIC RIGHT OF WAY. THIS INCLUDES THE POSTING OF SIGNS USING SCREWS, NAILS, OR WIRE.
- TREE GROWING IN THE PUBLIC RIGHT OF WAY SHALL BE PROTECTED AT ALL TIMES FROM CONSTRUCTION TRAFFIC AND VEHICULAR INGRESS / EGRESS TO THE PROPERTY BY PLACING TRENCH PLATES OF PLYWOOD TO PREVENT SOIL COMPACTION.
- NO TRIMMING OF TREE ROOTS SHALL BE PERMITTED.
- TREE CURRENTLY GROWING WITHIN THE CITY PUBLIC RIGHT OF WAY SHALL BE PROTECTED AND RETAINED PER THE REQUIREMENTS.
- FOLLOW BUREAU OF STREET SERVICES URBAN FORESTRY DIVISION TREE PROTECTION GUIDELINES.



Architect:
Aaron Brumer & Assoc.
10999 Riverside Dr. St. 302
North Hollywood, CA 91602

Client:

Project location:
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Los Angeles, CA 90004

LANDSCAPE PLAN

Scale: 1/8" = 1'-0"
Date: 04/05/21

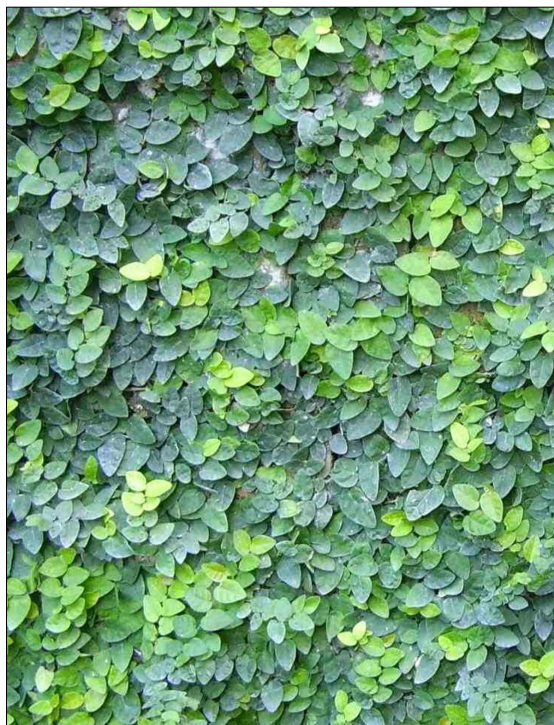
TREES



Melaleuca quinquenervia /
Paperbark tree



Nandina domestica 'Gulf Stream' /
Gulf Stream Heavenly bamboo



Ficus pumila /
Creeping Fig

SHRUBS



Alyogyne huegelii /
Blue Hibiscus



Russelia equisetiformis /
Coral fountain



Carex praegracilis /
California field sedge



Juncus patens /
California gray rush



Distictis 'Rivers' /
Royal Trumpet Vine

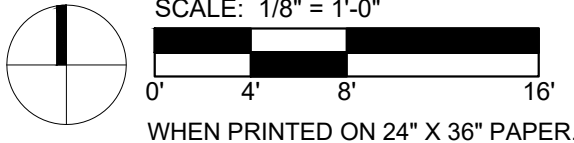


Trachelospermum jasminoides /
Star jasmine

GROUND COVERS

PLANTING LEGEND

Symbol	Botanical Name/Common Name
	TREES Melaleuca quinquenervia / Paperbark tree
	Street trees per City of Los Angeles
	SHRUBS Alyogyne huegelii / Blue Hibiscus @ 36" o.c.
	Juncus patens / California gray rush @ 18" o.c.
	Nandina domestica 'Gulf Stream' / Gulf Stream Heavenly bamboo @ 24" o.c.
	Russelia equisetiformis / Coral fountain @ 36" o.c.
	VINES Distictis 'Rivers' / Royal trumpet vine @ 60" o.c.
	Ficus pumila / Creeping Fig @ 60" o.c.
	GROUND COVERS Carex praegracilis / California field sedge 80 sf @ 9" o.c. = 142 plants
	Trachelospermum jasminoides / Star jasmine 108 sf @ 12" o.c. = 108 plants



THIRD FLOOR LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

SECOND FLOOR LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

LARCHMONT



ROSEWOOD

ROOF LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

GREEN ROOF

Symbol	Botanical Name/Common Name	Quantity	Size	Remarks
	Green Living Roof mix to include: Achillea millefolium Carex praegracilis Chondropetalum tectorum Festuca glauca Phormium dwarf var. 'Jack Spratt' Sesleria autumnalis Sesleria caerulea	230 sf	6" deep trays	contract grown by Green Living Roof 760-250-0357 contact: Santiago Rosales www.greenlivingroof.com

GREEN ROOF MIX



Achillea millefolium



Carex praegracilis



Chondropetalum tectorum



Festuca glauca



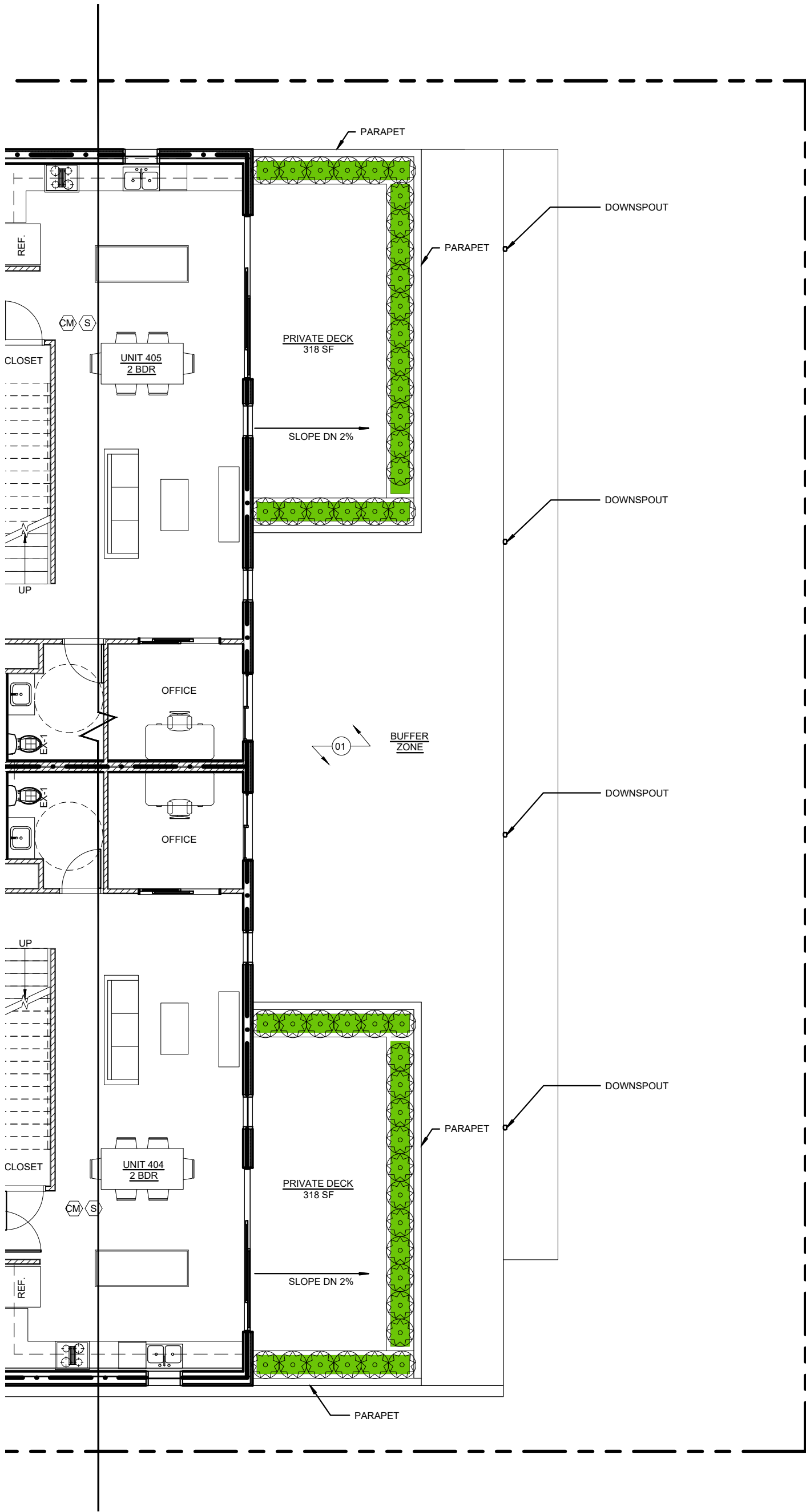
Phormium dwarf var. 'Jack Spratt'



Sesleria autumnalis

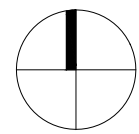


Sesleria caerulea



FOURTH FLOOR LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"
0' 4' 8' 16'
WHEN PRINTED ON 24" X 36" PAPER.

Architect:

Aaron Brumer & Assoc.
10999 Riverside Dr. St. 302
North Hollywood, CA 91602

Client:

Project location:

500 N. Larchmont Blvd.
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LANDSCAPE PLAN

Scale: 1/8" = 1'-0"
Date: 04/05/21

L-1.2