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Submissions by the public in compliance with the Commission Rules and Operating Procedures (ROPs), Rule 4.3, are distributed to the Commission and uploaded online. Please note that “compliance” means that the submission complies with deadline, delivery method (hard copy and/or electronic) AND the number of copies. Please review the Commission ROPs to ensure that you meet the submission requirements. The ROPs can be accessed at <http://planning.lacity.org>, by selecting “Commissions & Hearings” and selecting the specific Commission.

All compliant submissions may be accessed as follows:

- **“Initial Submissions”**: Compliant submissions received no later than by end of day Monday of the week prior to the meeting, which are not integrated by reference or exhibit in the Staff Report, will be appended at the end of the Staff Report. The Staff Report is linked to the case number on the specific meeting agenda.
- **“Secondary Submissions”**: Submissions received after the Initial Submission deadline up to 48-hours prior to the Commission meeting are contained in this file and bookmarked by the case number.
- **“Day of Hearing Submissions”**: Submissions after the Secondary Submission deadline up to and including the day of the Commission meeting will be uploaded to this file within two business days after the Commission meeting.

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If you have any questions, please contact the Commission Office at (213) 978-1300.

SECONDARY SUBMISSIONS



Department of City Planning

City Hall, 200 N. Spring Street, Room 525, Los Angeles, CA 90012

August 9, 2022

TO: City Planning Commission

FROM: Juliet Oh, Senior City Planner

ADDITIONAL INFORMATION/TECHNICAL MODIFICATION/CORRECTION TO THE STAFF RECOMMENDATION REPORT FOR CASE NOS. DIR-2017-4167-PUB-CDP-SPP-1A; ZA-2017-3950-ZAA-1A; DIR-2017-4173-CDP-SPP-1A; AND ZA-2017-3953-CU-1A; 3813 & 3817 SOUTH ESPLANADE, 133 AND 139 HURRICANE STREET; 3913 SOUTH ESPLANADE WEST AND 128 EAST HURRICANE STREET

The following updated plan sheets and Condition of Approval is to be incorporated into the staff recommendation report to be considered at the City Planning Commission meeting of August 11, 2022, related to Item Nos. 8, 9, 10 and 11 on the meeting agenda.

On August 8, 2022, the Applicant submitted updated site plans for the project: Sheet C-3A, C-13, and C-25. The updated sheets are available in the Secondary Submissions and are also included in this memo.

- Sheet C-3A. The updated site plan for the VAPP site shows the proposed decorative fence, located within the northern side yard, is replaced with a 6-foot-tall solid wall (concrete masonry) within the northerly side yard.
- Sheet C-13. The updated site plan for the parking lot includes a solid wall around the parking lot, as required by the LAMC.
- Sheet C-25. The new sheet shows the wall plan detail and elevation.

For Item Nos. 8-11, Planning Staff recommends the Commission include the updated and new Sheets (C-3A, C-13, and C-25) to the modified Exhibit A, attached to the staff recommendation report.

For Item Nos. 10 and 11, Planning Staff recommends the Commission grant in part and deny in part the appeal to modify Condition No. 7 of the Joint Determination by the Planning Director and Zoning Administrator, dated November 18, 2021. The modification includes a new condition for site security, as follows:

ITEM NOS. 8-11

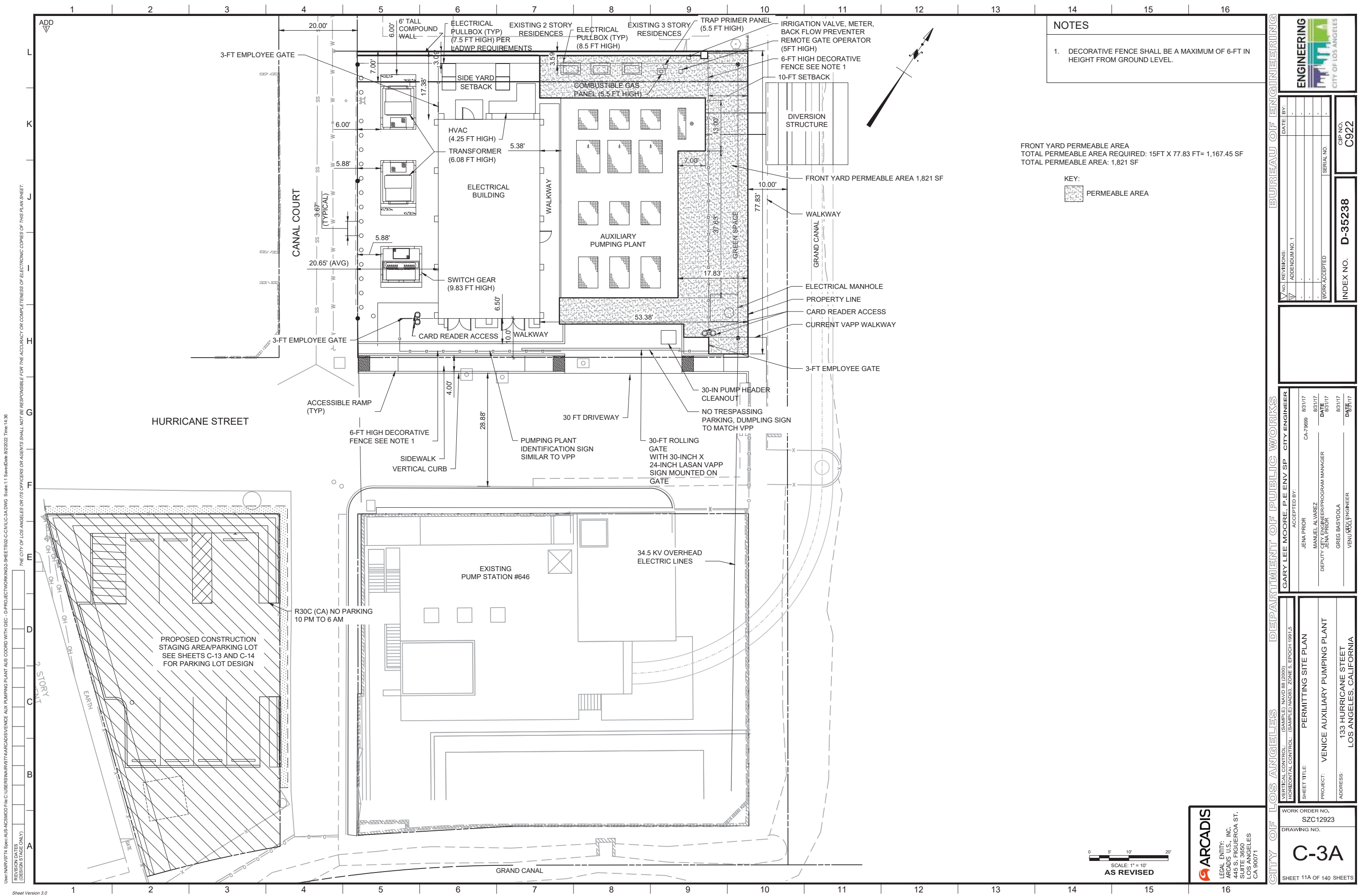
DIR-2017-4167-PUB-CDP-SPP-1A, ZA-2017-3950-ZAA-1A, AND

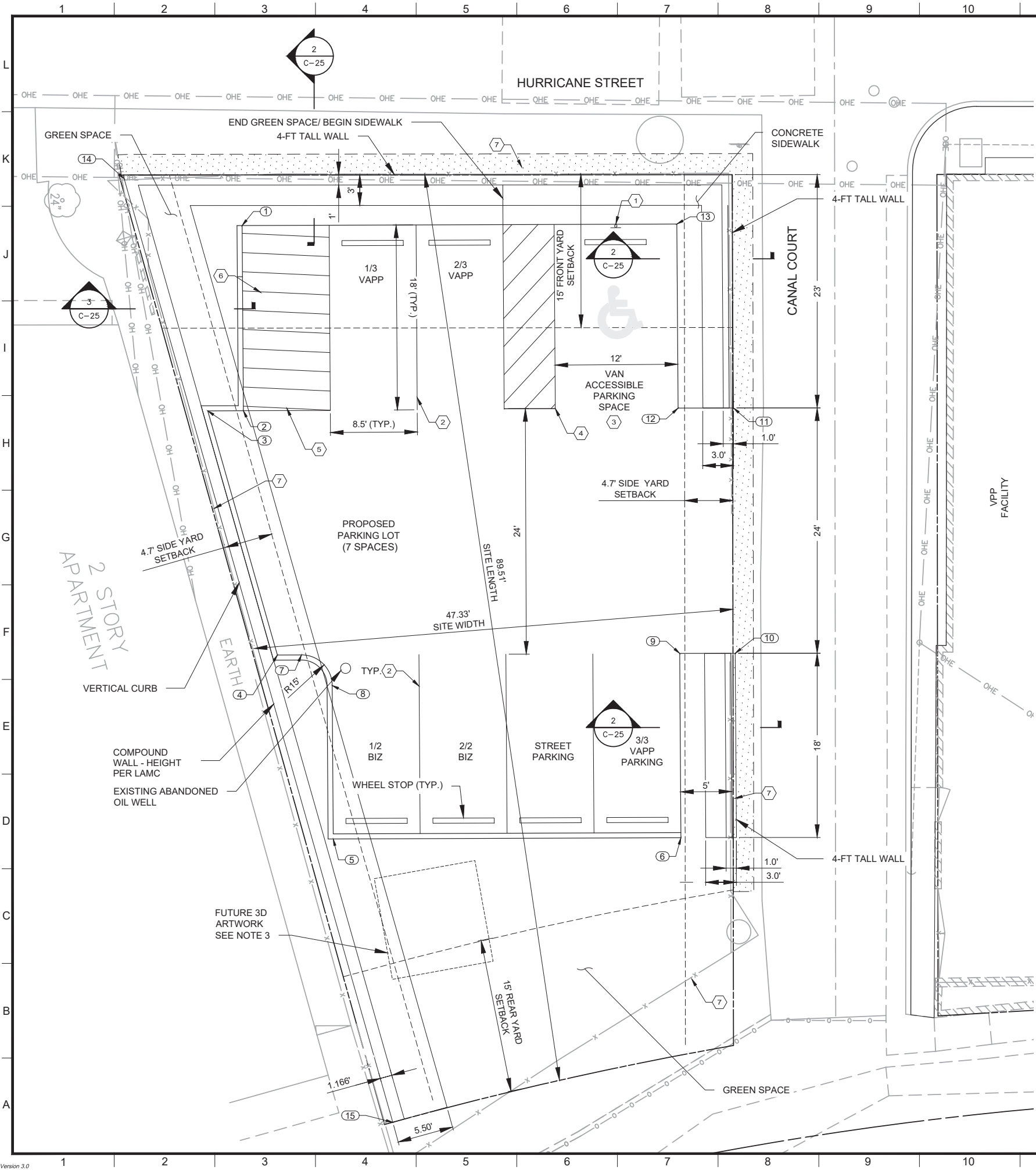
DIR-2017-4173-CDP-SPP-1A, ZA-2017-3953-CU-1A

PAGE 2

7. Security.

- a. Lighting. Outdoor lighting shall be designed and installed with shielding so that light does not overflow into adjacent residential properties.
- b. [Added] Security cameras shall be installed and operating at all times to monitor the parking lot.





SIGNING AND STRIPING NOTES

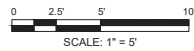
1. INSTALL ACCESSIBLE SIGN PER SPECIFICATION SECTION 10443.
2. INSTALL 4-IN THICK WHITE STRIPING AS INDICATED ON PLANS. PAVEMENT MARKINGS SHALL BE PER SPECIFICATION SECTION 02848.
3. INSTALL ACCESSIBILITY PAVEMENT MARKING IN ACCESSIBLE SPACE. COMPLY WITH FIGURE 11B-70.7.2.1 WITH BLUE COLOR NO 15090 IN FEDERAL STANDARD 595B PER LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY. PAVEMENT MARKINGS SHALL BE PER SPECIFICATION SECTION 02848.
4. STRIPE ACCESSIBLE PARKING AS INDICATED WITH DIAGONAL STRIPING AT 45-DEG AT 12-IN ON CENTER. USE 4-IN WIDE STRIPING. PAVEMENT MARKINGS SHALL BE PER SPECIFICATION SECTION 02848.
5. STRIPE SHORT TERM BIKE PARKING WITH 4-IN WIDE WHITE STRIPING AS INDICATED AND AT 12-IN ON CENTER. PAVEMENT MARKINGS SHALL BE PER SPECIFICATION SECTION 02848.
6. PROVIDE LETTERING FOR SHORT TERM BIKE PARKING IN WHITE LETTERING. DO NOT STRIPE OVER LETTERING.
7. CONTRACTOR SHALL REMOVE AND SALVAGE EXISTING CHAIN LINK FENCE AND RETURN TO OWNER OR IF OWNER REQUIRES DISPOSE OF PROPERLY.

NOTES:

1. 128 HURRICANE PERMABLE GREEN OPEN SPACE IS 1,199 SQ FT (711 SQ FT REQUIRED).
2. SEE LANDSCAPING PLANS FOR LANDSCAPE DETAILS.
3. FUTURE 3D ARTWORK IS LIMITED TO 6 FEET IN HEIGHT.

POINT TABLE

POINT #	NORTHING	EASTING
1	1813889.78	6421756.48
2	1813874.60	6421766.35
3	1813872.71	6421763.43
4	1813856.28	6421782.03
5	1813844.09	6421796.33
6	1813862.53	6421824.89
7	1813857.55	6421784.00
8	1813856.67	6421788.14
9	1813877.63	6421815.07
10	1813880.57	6421819.63
11	1813900.68	6421806.55
12	1813897.74	6421801.99
13	1813912.83	6421792.18
14	1813887.41	6421744.29
15	1813823.91	6421816.17



LEGAL ENTITY:
ARCADIS U.S., INC.
445 S. FIGUEROA ST.
SUITE 3050
LOS ANGELES
CA 90071

CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS

BUREAU OF ENGINEERING

GARY LEE MOORE P.E. CITY ENGINEER

VERTICAL CONTROL: NAVD 88 (2000)
HORIZONTAL CONTROL: NAD83, ZONE 5, EPOCH 1997.5

WORK ORDER NO. SZC12923

DRAWING NO.

C-13

SHEET 21 OF 140 SHEETS



DATE BY: V NO. REVISIONS:

THIS PLAN WAS ELECTRONICALLY SIGNED AND STAMPED.

DESIGN GROUP
ENGINEER: JENA PRIOR
DESIGNED BY: MANUEL ALVAREZ
DRAWN BY: NICHOLAS CANDELAS
CHECKED BY: GREG BASTIOLA
APPROVED BY: VENU KOLLI

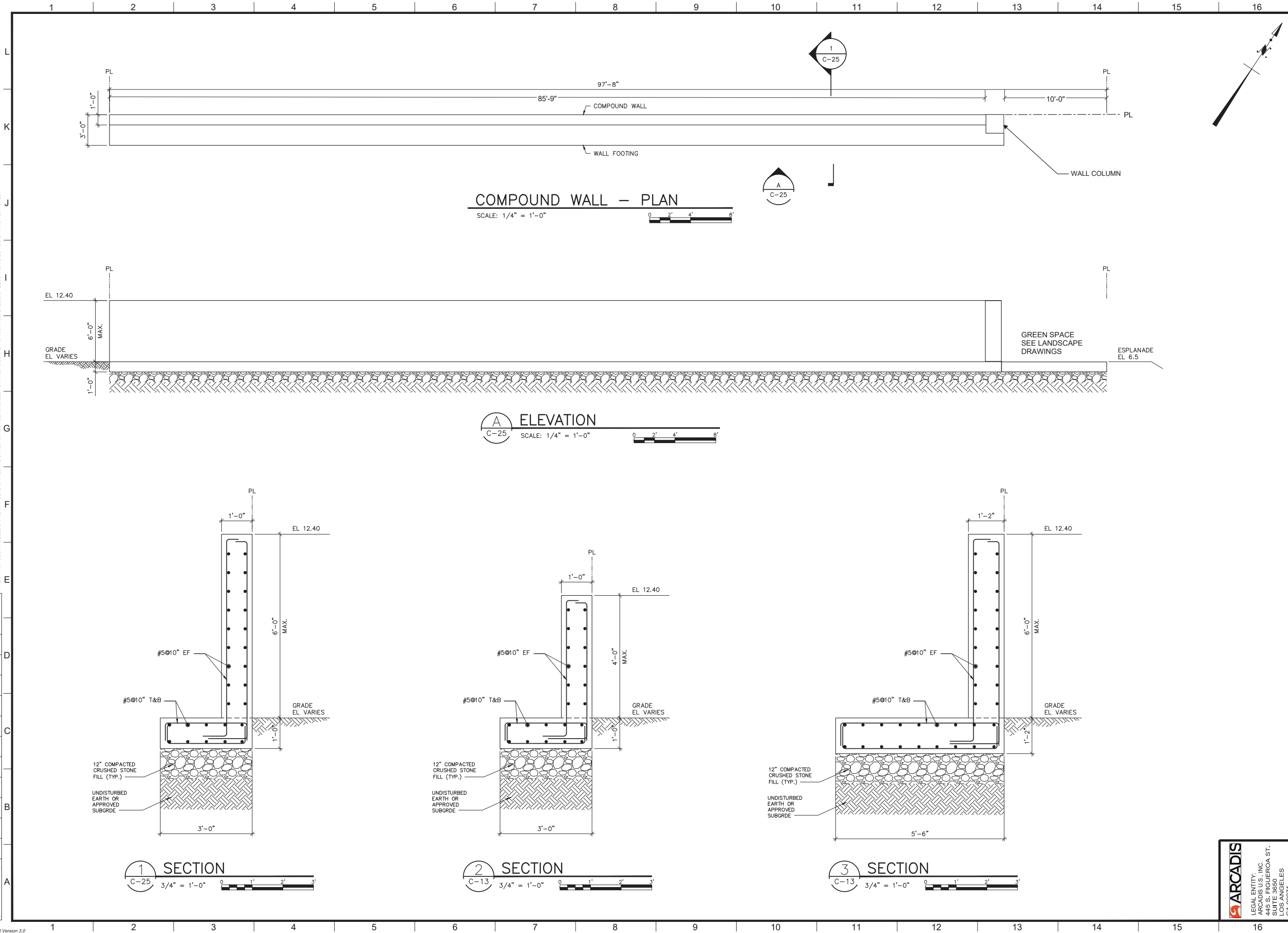
SHEET TITLE: PARKING LOT SITE, STRIPING & SIGNING PLAN
PROJECT: VENICE AUXILIARY PUMPING PLANT
ADDRESS: 133 HURRICANE STREET
LOS ANGELES, CALIFORNIA

INDEX NO. D-31898
CIP NO. C922

THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.

REVISION DATES
(DESIGN STAGE ONLY)

Sheet Version 3.0



ARCADIS
LEGAL ENTITY:
ARCADIS U.S., INC.
445 S. FIGUEROA ST.
SUITE 3050
LOS ANGELES
CA 90071

CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS

BUREAU OF ENGINEERING		DATE BY:	
NO.	REVISIONS:	DATE	BY
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INDEX NO. D-31898		CIP NO. C922	

GARY LEE MOORE P.E. CITY ENGINEER		DESIGN GROUP	
ENGINEER	HARMIK AGHANIAN	DATE	8/01/22
DESIGNED BY	KAMINI BONGALE	LIC. NO.	CA-68143
DRAWN BY	VINOD C NAIR	8/01/22	
CHECKED BY	REDDI PRASAD REDDY	8/01/22	
APPROVED BY	HARMIK AGHANIAN	8/01/22	

SHEET TITLE: COMPOUND WALL PLAN, ELEVATION AND SECTION	
PROJECT: VENICE AUXILIARY PUMPING PLANT	
ADDRESS: 133 HURRICANE STREET LOS ANGELES, CALIFORNIA	

WORK ORDER NO.	SZC12923
DRAWING NO.	C-25

SHEET 30 OF 140 SHEETS

ARMBRUSTER GOLDSMITH & DELVAC LLP

LAND USE ENTITLEMENTS □ LITIGATION □ MUNICIPAL ADVOCACY

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August 2, 2022

VIA E-MAIL

Estineh Mailian
Department of City Planning
City of Los Angeles
200 N. Spring Street, Room 763
Los Angeles, CA 90012

Re: 5256-5272 N. Vineland Avenue
Case No. CPC-2020-1946-GPA-ZCHD-CU-SPR-RDP

Dear Ms. Mailian,

We are writing on behalf of the Applicant, LG Vineland Storage, LLC, to request a continuance of Item No. 7 on the City Planning Commission agenda for the meeting that will be held on Thursday, August 11, 2022, after 8:30 am. As discussed, the item will be continued to the next scheduled City Planning Commission meeting with a date-certain of August 25, 2022.

Sincerely,



Alix Wisner

cc: Lisa Webber, Department of City Planning
Kevin Golden, Department of City Planning
Karo Torossian, CD 2
Howard Sunkin, The Sunkin Group
Dale Goldsmith, Armbruster Goldsmith & Delvac LLP
Joshua Canafax, LG Vineland Storage, LLC

Hurricane Pumps

Our MDR Community in Action

August 3, 2022

To: LA City Planning Commission ("LACPC")

Re: VAPP Proposed Parking Lot @ 128 Hurricane St

**Re: Venice Auxiliary Pump Plant (VAPP), 128 and 133 Hurricane;
DIR-2017-4167; ZA-2017-3950 (plant); DIR-2017-4173; ZA-2017-3953 (parking lot)**

This comment is submitted in reference to the proposed parking lot at 128 Hurricane St. LADPW has previously indicated a need for additional parking above and beyond supporting the 1-2 plant operators, which can easily be accommodated without the need for an additional lot. Their rationale is that inspectors, on occasion, need to visit the plant(s). Their rationale is that limited parking on Hurricane St. makes these visits more challenging.

Within the past couple of days, new "no stopping" signs have been posted on the south side of Hurricane St between Pacific Ave and Pacific Court eliminating legal street parking for 3-4 cars. Please see photos below. You will note that parking is still permitted on the north side of Hurricane with the exception of the spot closest to Pacific Avenue (a new sign was posted there as well).

What is the rationale for eliminating this street parking? What specific problem is it designed to resolve? Who made this decision? Was anyone in the community consulted? FYI, there has been no notice to the community. The signs were simply posted.

One could speculate that this action was taken to intentionally create more scarcity and support the rationale for additional parking at 128 Hurricane. We don't want to believe the city would do something so nefarious. However, based on the timing of this change and LADPW's actions to date, this seems like a logical explanation.

As part of your evaluation of the parking issue contained within this broader appeal, please consider when, how and why this decision was made.

Thank you,

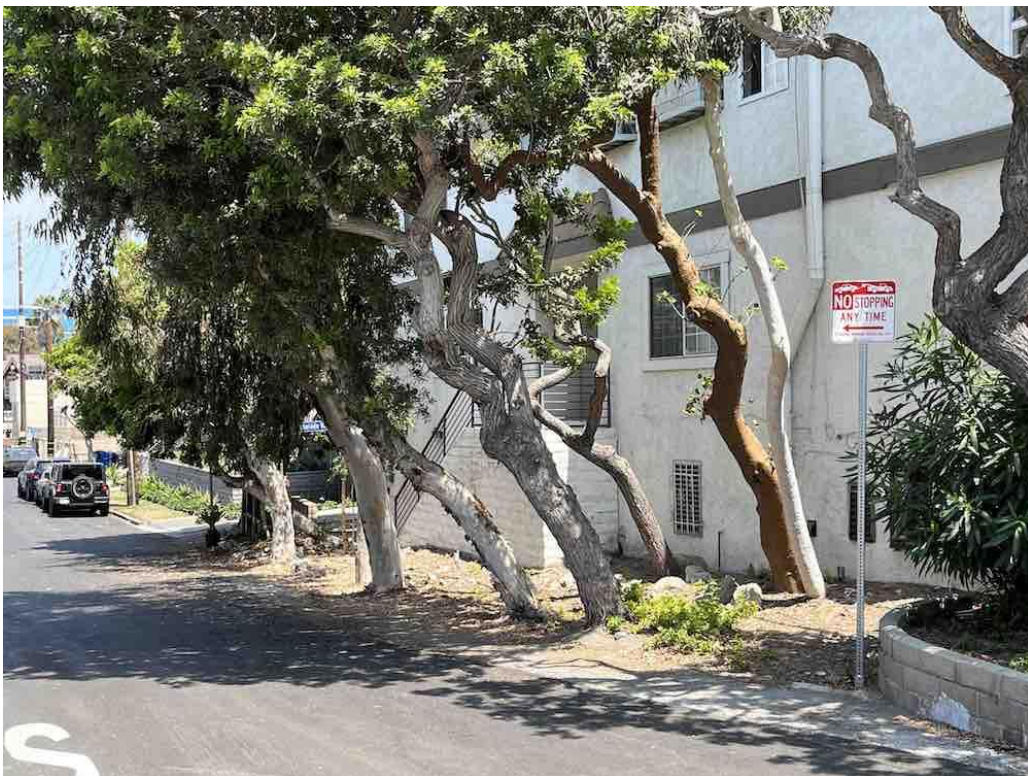
Genevieve Morrill-Borassi
Mike Borassi
Steve Bradbury

on behalf of the Hurricane Pumps community

P.S. We have sent an email to LADOT seeking a response.

Hurricane Pumps

Our MDR Community in Action



Hurricane Pumps

Our MDR Community in Action



CITY OF LOS ANGELES
INTER-DEPARTMENTAL CORRESPONDENCE

DATE: August 8, 2022

TO: City Planning Commission

FROM: Jonathan Cuevas, PE 
Department of Public Works
Bureau of Engineering

**SUBJECT: VENICE AUXILIARY PUMPING PLANT (VAPP) PLANNING TEAM
RESPONSE TO LETTER FROM COMMUNITY DATED JULY 25, 2022 IN REGARDS
TO VAPP JUNE 2022 COMMUNITY MEETINGS**

The Venice Auxiliary Pumping Plant team (Project Team) received a letter from the community “Hurricane Pumps” group related to recent project outreach efforts performed in June 2022.

The Project Team is providing a brief response below, with the comments and response to community questions in ***BOLD CAPITAL ITALIC***.

July 25, 2022

To: LA City Planning Commission (“LACPC”)

cc: LA Dept of Sanitation, LA Dept of Engineering (collectively, “LADPW”), Venice Neighborhood Council (“VNC”), Ballona Institute, Friends of Ballona Creek

Re: VAPP June 2022 Community Meetings – Community Feedback

On April 28, 2022, LACPC heard the appeal filed by Michael and Genevieve Morrill-Borassi on behalf of the impacted community to discuss the VAPP project at Hurricane St. in Marina Del Rey (the “Appeal”). At that meeting, LACPC continued the Appeal to August 11th. In the interim, LADPW was directed to engage with and listen to the community. This action was readily apparent to the commission such that there was no need for community feedback portion of the hearing.

Since then, there have been two meetings – one via Zoom and one in person. At both meetings, LADPW has attempted to explain and rationalize their decisions while indicating there is no opportunity to modify the scope of the project no matter how much it does not align with the community’s point-of-view. We strongly disagree with this position. In fact, the entire basis of this Appeal and this ongoing community action is to engage in a meaningful dialogue with LADPW resulting in an agreement that serves all interests.

To be clear, the community acknowledges there is a material need for a VAPP project (although not as large as is currently scoped) much as there was a compelling need for the dual force main project that preceded it. However, we are equally adamant that the community’s collective point-

of-view be part of the final design as well as the project's construction plan especially given (1) the city's inability to maintain the existing VPP, (2) the extremely disturbing experiences that were part of the dual force main construction project and (3) the fact that all decisions to date have been made without public input since the preliminary presentation in 2016.

During the two recent community meetings LADPW has laid claim to having solicited community input throughout this process starting with a scoping meeting in 2016 and presentation to the VNC in 2017, continuing to the present time. At the time, LADPW stated the primary purpose of the 2016 meeting was to address the dual force main project. VAPP plans were identified as preliminary with further meetings planned. Today, the community is baffled to identify the source of purported ongoing input that, we have been told, has been integrated into the plan. Certain decisions, outlined below, run counter intuitive to what anyone in the community would want. In fact, the VNC has recently withdrawn its support of the parking lot element of this project given the current scope is not consistent with the plan as presented to them in 2017.

Further, LADPW has stated the design of the project has not changed from the scoping hearing until the present. This is materially untrue. The original presentation referenced a 10-foot space between the VAPP and all residences. Upon learning the city owned additional property adjacent to 3809 Esplanade, the project was re-designed such that it is now is within two feet of that residence. It strains credulity to believe this change did not result in additional modifications. Therefore, any claim the project plan has never changed from 2016 is wrong. It is disingenuous to state otherwise.

PROJECT TEAM RESPONSE: THE FACILITY DESIGN HAS ALWAYS BEEN BASED ON UTILIZING THE ENTIRE SITE INCLUDING THE ENCROACHED AREA. THE PROJECT TEAM HAS PERFORMED OUTREACH EFFORTS/CONSIDERED PUBLIC INPUT AS MADE UPDATES AS APPROPRIATE TO MINOR PLAN DETAILS SUCH AS DIMENSIONS. THE PROJECT ELEMENTS AS OUTLINED IN THE EIR HAVE NOT CHANGED.

We are requesting LADPW meet with representatives of the community to discuss and negotiate, in good faith, modifications to the project scope and construction plans. The key topics are summarized below. For clarity, we take the position that simply providing a written response to our concerns without material changes to the plan is unacceptable and not within the direction nor spirit of LACPC's order to listen to the community.

PROJECT TEAM RESPONSE - WE WILL RESPOND IN WRITING AND IN PERSON WITH THE COMMUNITY. THE INTENT, AS DISCUSSED DURING THE ON-SITE COMMUNITY INFORMATION SESSION ON JUNE 18, 2022, WAS ALWAYS TO MEET IN PERSON ONCE COMMUNITY FEEDBACK/QUESTIONS WERE REFINED AND SENT TO THE CITY. THE PROJECT TEAM RECEIVED THE COMMUNITY'S LETTER ON JULY 25, 2022 AND INTENDS TO SCHEDULE FOLLOW UP IN-PERSON MEETINGS TO CONTINUE DISCUSSION SOON.

VAPP Design

- Move the building away from the existing residences on Esplanade and create a hard buffer. The project is materially closer than initially represented. The hard buffer should include, at minimum, a 6-foot block wall and additional landscaping to ten feet along all boundaries. Note there is existing landscaping present, installed by the residents, which can function as one element of the buffer.

PROJECT TEAM RESPONSE: BUFFER NOTED BY COMMUNITY IS AN EXISTING ENCROACHMENT ONTO CITY PROPERTY AND THE PROJECT IS WITHIN THE CITY'S PARCEL. A SITE SURVEY WAS COMPLETED IN NOVEMBER 2011 AND CURRENT DESIGN PLANS ARE BASED ON THIS SURVEY. A SOLID 6 FOOT WALL WILL BE CONSTRUCTED BETWEEN THE TWO PROPERTIES, THE AESTHETICS OF THE SOLID WALL IS UNDERGOING DEPARTMENT OF CULTURAL AFFAIRS REVIEW

- Move all equipment to the center and/or opposite side of the building (on Hurricane). There should not be any mechanical equipment within 10 feet of a residence. This includes the transformers, HVAC and electrical panels. There are significant health concerns associated with this equipment. It has been suggested that the entire building could be turned 180°. This would address several key issues.

PROJECT TEAM RESPONSE: THIS REQUEST IS NOT FEASIBLE SINCE THE SEWER LINE LEADING INTO VAPP IS AN EXISTING LINE WITH AN ESTABLISHED ALIGNMENT THAT CANNOT BE REDIRECTED.

- Mitigate noise and light levels from the VPP and the VAPP. The VPP has had a material impact for many residents living closest to or in the sightline of the structure. We are concerned about the impact of the VAPP in conjunction with the VPP, assuming the latter remains operational.

PROJECT TEAM RESPONSE: THIS REQUEST WAS MADE DURING PREVIOUS MEETINGS AND WILL BE CONSIDERED FURTHER.

- Re-design the architecture to fit more appropriately within the residential style of the neighborhood. The proposed aesthetic has never been discussed with the residents. As an example, there has never been ANY community interest in a low metal fence along Esplanade identical to the fencing used on Washington Blvd. LADPW claims of material community input are dishonest. There has never been, nor will there be, any desire for residents to see the entire building (VAPP and VPP).

PROJECT TEAM RESPONSE: THE DESIGN AESTHETICS ELEMENTS WERE REFINED THROUGH INPUT FROM THE URBAN PLANNING STUDIO IN ALIGNMENT WITH LOCAL AESTHETIC STANDARDS. MINOR ADJUSTMENTS CAN BE CONSIDERED.

- Include the community in your collaboration with the Coastal Commission and other government agencies. It appears the city has been working with the Coastal Commission and other agencies

throughout the entire design process. Yet, the community has not had ONE opportunity to participate in this process. As such, decisions have been made without concern for residents. This must change ASAP.

PROJECT TEAM RESPONSE - MULTIPLE AGENCY APPROVALS ARE REQUIRED FOR THIS PROJECT INCLUDING CALIFORNIA STATE COASTAL COMMISSION AND FEDERAL ARMY CORP OF ENGINEERS. MEETINGS WITH THESE AGENCIES IDENTIFIED WHAT IMPACTS AND REPORTS ARE NEEDED FOR THEIR REVIEW AND APPROVAL. THE NEXT STEP AFTER THE LOCAL PLANNING APPROVAL IS THE STATE COASTAL COMMISSION WHICH DOES HAVE A PUBLIC COMMENT PERIOD DURING THE REVIEW PROCESS.

Project Scope

- The scope of this project is entirely too large for this residential location and not appropriate for a tsunami flood zone. Why does the master control for all LA City pump stations (continue to) have to be placed in this specific location? What might have made sense in the 1950's when there were far fewer residences makes no sense in the present day. Additionally, why would the LADPW choose this location for so much critical infrastructure including the master control? Does this not put the entire system at undue risk? Given these and other circumstances, we question the criteria for granting a public benefit waiver.

PROJECT TEAM RESPONSE: SINCE VPP IS THE LARGEST PUMPING PLANT AND A CRITICAL INFRASTRUCTURE IN THE CITY'S CONVEYANCE SYSTEM, IT IS MANNED 24/7. THIS ALLOWS THE OPERATORS MONITOR AND CONTROL OTHER PUMPING PLANTS WHERE THEIR LOCATIONS AND FOOTPRINT DOES NOT ALLOW FOR PERMANENT STAFFING. IN ORDER TO AVOID THE THREAT OF SEA LEVEL RISE OR TSUNAMI, VAPP'S CONTROL ROOM IS LOCATED ON THE 2ND FLOOR.

- The VAPP building height. As the scope is reduced, the building height can be reduced to be more consistent with other buildings in the community.

PROJECT TEAM RESPONSE: THE SCOPE IS NOT BEING REDUCED. THE BUILDING HEIGHT, AS PRESENTED, IS APPROPRIATE TO ACCOMMODATE THE MINIMAL OPERATIONAL NEEDS OF A CRITICAL INFRASTRUCTURE.

- Who is in charge of this project? The community has been seeking to communicate with someone who has decision-making authority. No person has been identified so all concerns become a "pass the buck" response.

PROJECT TEAM RESPONSE: THE FACILITY IS OWNED AND OPERATED BY LA SANITATION AND ENVIRONMENT OF THE CITY OF LOS ANGELES AND IS A MULTI-JURISDICTIONAL PROJECT THAT NO ONE INDIVIDUAL MAKES ALL DECISIONS. JUST LIKE ANY FEDERAL, STATE AND MUNICIPALITY, DECISIONS REGARDING PROJECTS ARE MADE BY A BOARD, COUNCIL OR GROUP OF EXECUTIVE

OFFICIALS. TEAMS ARE ASSEMBLED BASED ON THEIR EXPERIENCE AND EXPERTISE TO DESIGN AND CONSTRUCT INFRASTRUCTURES AND SERVE AS A CONDUIT BETWEEN THE COMMUNITY AND THE CITY. COMMUNITY'S CONCERNS/QUESTIONS CAN BE SENT TO THE OUTREACH TEAM FOR ROUTING.

- The value of nearby private properties. Property owners are rightfully concerned that the value of their properties will decrease specifically due to this additional construction. How will the city compensate property owners? Does this mean property owners will have to sue the city under inverse condemnation?

Parking Lot @ 128 Hurricane St

- Why is this parking lot needed? The VPP requires one full-time operator. The VAPP will require one full-time operator who may be able to also manage the VPP. At most, this means two people. There is already one parking space in the existing plant. The rationale we have been given is a need for additional parking when inspectors visit the plants. This does not necessitate the need for a separate “just in case” lot.’ Why could the project design not be modified to include one or more parking spots adjacent to the VAPP, thereby providing more than enough parking for the stated need? Alternately, could a couple of parking spaces not be created along the West side of the VPP? Employee visitors currently park in those spaces and there is plenty of room for people to walk past the plant.

PROJECT TEAM RESPONSE: PARKING REQUIREMENTS SET BY MULTIPLE JURISDICTIONS. THE NUMBER OF SPACES IS DESCRIBED AS FOLLOWS:

***THREE EMPLOYEE/FACILITY SPACES
TWO COASTAL ZONE ACCESS SPACES
TWO PUBLIC SPACES***

- No public parking and no public access. If we agree this lot is deemed necessary for city employees, there should not be ANY public parking. Employee access should be key card secure with no public access by vehicle or on foot. It should not be accessible by beachgoers who decide to hangout or tailgate in this lot. Even more critical, we are extremely concerned it will be accessed by homeless who look for any opportunity to plant down with their belongings. No viable, realistic action plan to address this issue has ever been provided. LADPW has said the community should rely on LAPD. This is not a realistic solution given they are vastly under resourced.

PROJECT TEAM RESPONSE: THE PARKING LOT REQUIREMENTS ARE SET BY ZONING CODE AND LOCAL AND STATE COASTAL COMMISSIONS. VAPP PROJECT TEAM, IN COMPLIANCE WITH LOCAL CODES, WILL CONSTRUCT A BLOCK WALL ON THE PERIMETER OF THE PARKING AREA AND IS WORKING WITH THE DEPARTMENT OF TRANSPORTATION IN LIMITING ACCESS HOURS TO THE SITE.

- Parking lot design. There is no material community demand for benches, art installations or other elements that would attract people to this location. There are no other similar public parking lots on the Marina Peninsula. This is not acceptable.

PROJECT TEAM RESPONSE: COMMUNITY MEMBERS DID NOTE A DESIRE FOR BENCHES DURING RECENT OUTREACH MEETINGS. BENCHES ARE NOT PART OF THE EXISTING DESIGN ELEMENTS. PUBLIC ART INSTALLATIONS AS PART OF A PUBLIC PROJECT ARE REQUIRED PER THE DEPARTMENT OF CULTURAL AFFAIRS.

- VNC withdraws support. As noted above, the VNC has recently withdrawn its support of the parking lot element of this project given the current scope is not consistent with what was presented to them in 2017.

PROJECT TEAM RESPONSE: THE PROJECT TEAM HAS NOT RECEIVED A WITHDRAWAL OF SUPPORT FROM THE VENICE NEIGHBORHOOD COUNCIL.

Construction Impact/Operations

- The Dual Force Main construction project was a disaster for the entire community. Noise, property dirt, street dirt, worker parking on the street, not respecting stated work hours...the list goes on. Why will this project be any different? Further, all construction should be limited to Monday- Friday starting no earlier than 8a with a hard stop at 5p. NO weekend work hours.

PROJECT TEAM RESPONSE: THIS IMPACT HAS ALREADY BEEN NOTED AS PART OF THE MITIGATION MEASURES IDENTIFIED IN THE EIR.

- Construction noise. This is a particular issue for residents on both sides of the lagoon. During the recent community events, LADPW admitted there will be loud noise for extended periods of time without offering any solutions. How will this be mitigated?

PROJECT TEAM RESPONSE: THIS IMPACT HAS ALREADY BEEN NOTED AS PART OF THE MITIGATION MEASURES IDENTIFIED IN THE EIR.

- Alternative work location for residents. Many residents, more than ever, work from home. A construction project of this magnitude will be overtly disruptive. Appropriate arrangements must be made, in advance and at no expense, for residents to access local, convenient, offsite locations as needed for the entirety of the project.

PROJECT TEAM RESPONSE: THIS IMPACT HAS ALREADY BEEN NOTED AS PART OF THE MITIGATION MEASURES IDENTIFIED IN THE EIR.

- Project mitigation measures. What is the full list of mitigation measures for this project? The community has never been told nor given the opportunity to comment on them. We have no idea what is required and how they will be enforced.

PROJECT TEAM RESPONSE: PROJECT MITIGATION MEASURES WERE PROVIDED TO THE PUBLIC VIA THE EIR PROCESS. THESE MITIGATION MEASURES WERE NOTED DURING RECENT OUTREACH EFFORTS IN JUNE 2022. ADDITIONALLY, A FULL LIST OF MITIGATION MEASURES AND RELATED EIR DOCUMENTS HAVE BEEN PUBLICLY AVAILABLE ON THE BUREAU OF ENGINEERING WEBSITE (<https://eng.lacity.org/about-us/divisions/environmental-management/projects/venice-auxiliary-pumping-plant-project>)

Ongoing Site Maintenance

- LADPW ongoing maintenance of the VAPP and VPP. LADPW has continually demonstrated its inability to maintain the VPP. Until the community complained this Spring, the current structure had not been painted in many years. Additionally, there is NO landscaping nor design elements. The sidewalks along the lagoon wall need repair, there are no safety railings, and the entire property (including the future site of the new VAPP project) is strewn with litter, graffiti, and homeless items. This should all be done in collaboration with the community.

PROJECT TEAM RESPONSE: LA SANITATION AND ENVIRONMENT IS IN THE PROCESS OF CONTRACTING WITH A LANDSCAPING COMPANY FOR MAINTAINING ALL OF SANITATION'S FACILITIES INCLUDING VPP AND VAPP. LANDSCAPING DESIGN AND PLANT SELECTIONS SUITABLE FOR THIS ENVIRONMENT AS DEPICTED IN THE PLANS WERE COMPLETED WITH HELP FROM A PROFESSIONAL ARBORIST. CITY IS OPEN TO DISCUSSING AND CONSIDERING SOME CHANGES.

- LADPW written, binding maintenance obligations. What is LADPW's obligation to clean and maintain both the VPP and VAPP during and post-construction? Who will enforce it? What is the enforcement mechanism? What penalties are in place when not enforced? What is the plan for immediate response to graffiti, loitering, camping, etc.?

PROJECT TEAM RESPONSE: LASAN HAS IN-HOUSE STAFF PERFORMING THE MAINTENANCE ON ALL OF OUR FACILITIES. AT THIS TIME, THERE IS NO NEED TO OUTSOURCE LANDSCAPING MAINTENANCE ON ANY OF OUR FACILITIES. WHEREAS WE ARE MAINTAINING THE VAPP LOT, WE CANNOT MAINTAIN THE LOT AT 128 HURRICANE AS WE DO NOT FORMALLY OWN THE PARCEL AS OF THIS MOMENT.

Environmental Issues

- The city has not made appropriate efforts to mitigate environmental issues. There have been myriad issues brought to the city's attention for many years regarding this site. They should ALL be addressed at this time.

PROJECT TEAM RESPONSE: ENVIRONMENTAL ISSUES HAVE BEEN IDENTIFIED, NOTED, AND DISCLOSED AS PART OF THE EIR PROCESS. FULL DOCUMENTATION

REGARDING THIS TOPIC IS AVAILABLE ON THE BUREAU OF ENGINEERING WEBSITE
(<https://eng.lacity.org/about-us/divisions/environmental-management/projects/venice-auxiliary-pumping-plant-project>)

- Parking lot environmental issues. IF the parking lot site is to be utilized, there is contaminated soil in the ground and the oil well needs to be re-abandoned. It is not acceptable that LADPW approved its own environmental report and attached it to the project as a 44-page addendum.

PROJECT TEAM RESPONSE: THE PROJECT TEAM IS AWARE OF THE OIL WELL CAPPING AND POSSIBLE NEED TO RE-ABANDON. MITIGATION PLANS ARE IN PLACE. PHASE 1 AND PHASE 2 ENVIRONMENTAL STUDIES WERE CONDUCTED WHICH IDENTIFIED THE CONTAMINATION AND RECOMMENDATIONS TO MITIGATE THE SOIL. CALIFORNIA STATE AGENCY OVERSEEING THE PROPER PROCEDURES FOR CAPPING AN ABANDONED OIL WELL HAS BEEN NOTIFIED VIA A PERMIT APPLICATION.

Please note we have identified 50+ concerned neighbors who live throughout our community. This group is growing larger as more people become aware of the City's behavior. For all of these reasons as well as the more in-depth rationale provided in the original Appeal, we respectfully request that LACPC direct LADPW to meet with and negotiate with the community so these issues can be resolved in a cooperative, congenial manner.

Thank you,
Genevieve Morrill-Borassi
Mike Borassi
Steve Bradbury on behalf of the Hurricane Pumps community.

JC/CH:ch

Attachment:

Letter from community "Hurricane Pumps" dated July 25, 2022

c: Ali Poosti, LASAN
Rowena Lau, LASAN
Spencer Yu, LASAN
Christine Heinrich-Josties, LASAN
Tonya Durrell, LASAN
Juliet Oh, Planning
Elizabeth Gallardo, Planning
Edward Arrington, BOE
Maria Martin, BOE
Brandon Araujo, BOE

HURRICANE PUMPS

Our MDR Community in Action

July 25, 2022

To: LA City Planning Commission ("LACPC")

cc: LA Dept of Sanitation, LA Dept of Engineering (collectively, "LADPW"), Venice Neighborhood Council ("VNC"), Ballona Institute, Friends of Ballona Creek

Re: VAPP June 2022 Community Meetings – Community Feedback

On April 28, 2022, LACPC heard the appeal filed by Michael and Genevieve Morrill-Borassi on behalf of the impacted community to discuss the VAPP project at Hurricane St. in Marina Del Rey (the "Appeal"). At that meeting, LACPC continued the Appeal to August 11th. In the interim, LADPW was directed to engage with and listen to the community. This action was readily apparent to the commission such that there was no need for community feedback portion of the hearing.

Since then, there have been two meetings – one via Zoom and one in person. At both meetings, LADPW has attempted to explain and rationalize their decisions while indicating there is no opportunity to modify the scope of the project no matter how much it does not align with the community's point-of-view. We strongly disagree with this position. In fact, the entire basis of this Appeal and this ongoing community action is to engage in a meaningful dialogue with LADPW resulting in an agreement that serves all interests.

To be clear, the community acknowledges there is a material need for a VAPP project (although not as large as is currently scoped) much as there was a compelling need for the dual force main project that preceded it. However, we are equally adamant that the community's collective point-of-view be part of the final design as well as the project's construction plan especially given (1) the city's inability to maintain the existing VPP, (2) the extremely disturbing experiences that were part of the dual force main construction project and (3) the fact that all decisions to date have been made without public input since the preliminary presentation in 2016.

During the two recent community meetings LADPW has laid claim to having solicited community input throughout this process starting with a scoping meeting in 2016 and presentation to the VNC in 2017, continuing to the present time. At the time, LADPW stated the primary purpose of the 2016 meeting was to address the dual force main project. VAPP plans were identified as preliminary with further meetings planned. Today, the community is baffled to identify the source of purported ongoing input that, we have been told, has been integrated into the plan. Certain decisions, outlined below, run counter intuitive to what anyone in the community would want. In fact, the VNC has recently withdrawn its support of the parking lot element of this project given the current scope is not consistent with the plan as presented to them in 2017.

Further, LADPW has stated the design of the project has not changed from the scoping hearing until the present. This is materially untrue. The original presentation referenced a 10-foot space between the VAPP and all residences. Upon learning the city owned additional property adjacent to 3809 Esplanade, the project was re-designed such that it is now within two feet of that residence. It strains

HURRICANE PUMPS

Our MDR Community in Action

credulity to believe this change did not result in additional modifications. Therefore, any claim the project plan has never changed from 2016 is wrong. It is disingenuous to state otherwise.

We are requesting LADPW meet with representatives of the community to discuss and negotiate, in good faith, modifications to the project scope and construction plans. The key topics are summarized below. For clarity, we take the position that simply providing a written response to our concerns without material changes to the plan is unacceptable and not within the direction nor spirit of LACPC's order to listen to the community.

VAPP Design

- **Move the building away from the existing residences on Esplanade and create a hard buffer.** The project is materially closer than initially represented. The hard buffer should include, at minimum, a 6-foot block wall and additional landscaping to ten feet along all boundaries. Note there is existing landscaping present, installed by the residents, which can function as one element of the buffer.
- **Move all equipment to the center and/or opposite side of the building (on Hurricane).** There should not be any mechanical equipment within 10 feet of a residence. This includes the transformers, HVAC and electrical panels. There are significant health concerns associated with this equipment. It has been suggested that the entire building could be turned 180°. This would address several key issues.
- **Mitigate noise and light levels from the VPP and the VAPP.** The VPP has had a material impact for many residents living closest to or in the sightline of the structure. We are concerned about the impact of the VAPP in conjunction with the VPP, assuming the latter remains operational.
- **Re-design the architecture to fit more appropriately within the residential style of the neighborhood.** The proposed aesthetic has never been discussed with the residents. As an example, there has never been ANY community interest in a low metal fence along Esplanade identical to the fencing used on Washington Blvd. LADPW claims of material community input are dishonest. There has never been, nor will there be, any desire for residents to see the entire building (VAPP and VPP).
- **Include the community in your collaboration with the Coastal Commission and other government agencies.** It appears the city has been working with the Coastal Commission and other agencies throughout the entire design process. Yet, the community has not had ONE opportunity to participate in this process. As such, decisions have been made without concern for residents. This must change ASAP.

Project Scope

- **The scope of this project is entirely too large for this residential location and not appropriate for a tsunami flood zone.** Why does the master control for all LA City pump stations (continue to) have to be placed in this specific location? What might have made sense in the 1950's when there were far fewer residences makes no sense in the present day. Additionally, why would the LADPW choose this location for so much critical infrastructure including the master control? Does this not put the entire system at undue risk? Given these and other circumstances, we question the criteria for granting a public benefit waiver.
- **The VAPP building height.** As the scope is reduced, the building height can be reduced to be more consistent with other buildings in the community.

HURRICANE PUMPS

Our MDR Community in Action

- **Who is in charge of this project?** The community has been seeking to communicate with someone who has decision-making authority. No person has been identified so all concerns become a “pass the buck” response.
- **The value of nearby private properties.** Property owners are rightfully concerned that the value of their properties will decrease specifically due to this additional construction. How will the city compensate property owners? Does this mean property owners will have to sue the city under inverse condemnation?

Parking Lot @ 128 Hurricane St

- **Why is this parking lot needed?** The VPP requires one full-time operator. The VAPP will require one full-time operator who may be able to also manage the VPP. At most, this means two people. There is already one parking space in the existing plant. The rationale we have been given is a need for additional parking when inspectors visit the plants. This does not necessitate the need for a separate “just in case” lot.’ Why could the project design not be modified to include one or more parking spots adjacent to the VAPP, thereby providing more than enough parking for the stated need? Alternately, could a couple of parking spaces not be created along the West side of the VPP? Employee visitors currently park in those spaces and there is plenty of room for people to walk past the plant.
- **No public parking and no public access.** If we agree this lot is deemed necessary for city employees, there should not be ANY public parking. Employee access should be key card secure with no public access by vehicle or on foot. It should not be accessible by beachgoers who decide to hangout or tailgate in this lot. Even more critical, we are extremely concerned it will be accessed by homeless who look for any opportunity to plant down with their belongings. No viable, realistic action plan to address this issue has ever been provided. LADPW has said the community should rely on LAPD. This is not a realistic solution given they are vastly under resourced.
- **Parking lot design.** There is no material community demand for benches, art installations or other elements that would attract people to this location. There are no other similar public parking lots on the Marina Peninsula. This is not acceptable.
- **VNC withdraws support.** As noted above, the VNC has recently withdrawn its support of the parking lot element of this project given the current scope is not consistent with what was presented to them in 2017.

Construction Impact/Operations

- **The Dual Force Main construction project was a disaster for the entire community.** Noise, property dirt, street dirt, worker parking on the street, not respecting stated work hours...the list goes on. Why will this project be any different? Further, all construction should be limited to Monday- Friday starting no earlier than 8a with a hard stop at 5p. NO weekend work hours.
- **Construction noise.** This is a particular issue for residents on both sides of the lagoon. During the recent community events, LADPW admitted there will be loud noise for extended periods of time without offering any solutions. How will this be mitigated?
- **Alternative work location for residents.** Many residents, more than ever, work from home. A construction project of this magnitude will be overtly disruptive. Appropriate arrangements must be made, in advance and at no expense, for residents to access local, convenient, off-site locations as needed for the entirety of the project.

HURRICANE PUMPS

Our MDR Community in Action

- **Project mitigation measures.** What is the full list of mitigation measures for this project? The community has never been told nor given the opportunity to comment on them. We have no idea what is required and how they will be enforced.

Ongoing Site Maintenance

- **LADPW ongoing maintenance of the VAPP and VPP.** LADPW has continually demonstrated its inability to maintain the VPP. Until the community complained this Spring, the current structure had not been painted in many years. Additionally, there is NO landscaping nor design elements. The sidewalks along the lagoon wall need repair, there are no safety railings, and the entire property (including the future site of the new VAPP project) is strewn with litter, graffiti, and homeless items. This should all be done in collaboration with the community.
- **LADPW written, binding maintenance obligations.** What is LADPW's obligation to clean and maintain both the VPP and VAPP during and post-construction? Who will enforce it? What is the enforcement mechanism? What penalties are in place when not enforced? What is the plan for immediate response to graffiti, loitering, camping, etc.?

Environmental Issues

- **The city has not made appropriate efforts to mitigate environmental issues.** There have been myriad issues brought to the city's attention for many years regarding this site. They should ALL be addressed at this time.
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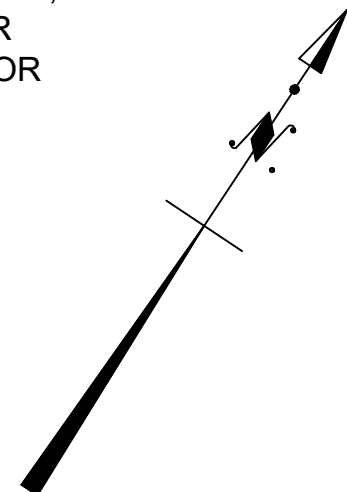
Please note we have identified 50+ concerned neighbors who live throughout our community. This group is growing larger as more people become aware of the City's behavior.

For all of these reasons as well as the more in-depth rationale provided in the original Appeal, we respectfully request that LACPC direct LADPW to meet with and negotiate with the community so these issues can be resolved in a cooperative, congenial manner.

Thank you,

Genevieve Morrill-Borassi
Mike Borassi
Steve Bradbury

on behalf of the Hurricane Pumps community.

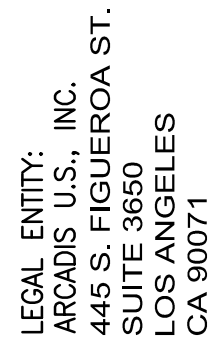
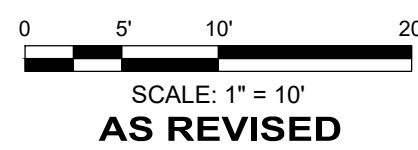


1. DECORATIVE FENCE SHALL BE A MAXIMUM OF 6-FT IN HEIGHT FROM GROUND LEVEL.

FRONT YARD PERMEABLE AREA
TOTAL PERMEABLE AREA REQUIRED: 15FT X 77.83 FT= 1,167.45 SF
TOTAL PERMEABLE AREA: 1,821 SF

KEY:

 PERMEABLE AREA

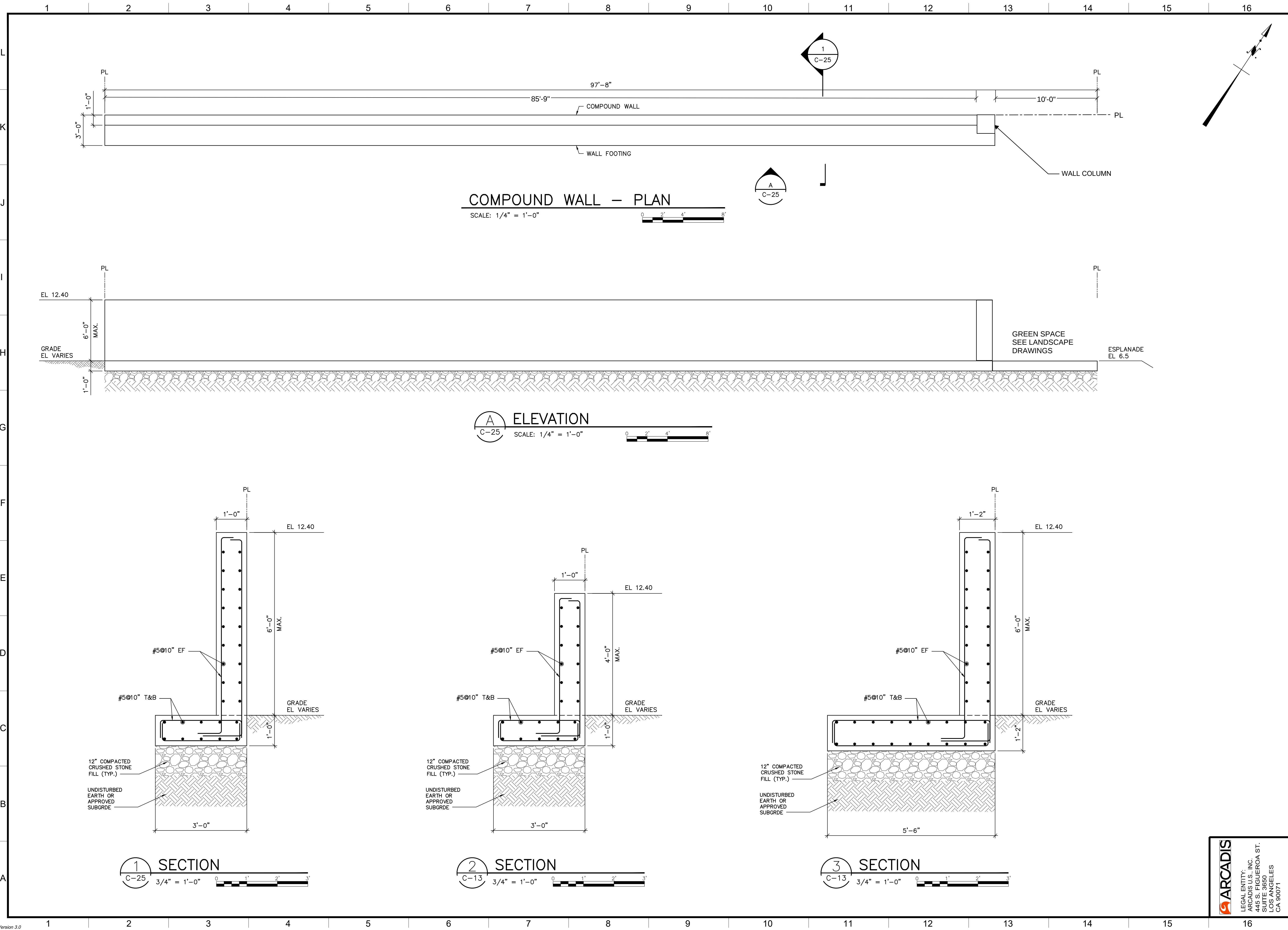


ADDRESS: 133 HURRICANE STEET
LOS ANGELES, CALIFORNIA

THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.

REVISION DATES
(DESIGN STAGE ONLY)

Sheet Version 3.0



ARCADIS
LEGAL ENTITY:
ARCADIS U.S. INC.
445 S. FIGUEROA ST.
SUITE 3650
LOS ANGELES
CA 90071

CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS

THIS PLAN WAS ELECTRONICALLY SIGNED AND STAMPED.

ENGINEERING CITY OF LOS ANGELES	
DATE: BY:	CIP NO. C922
INDEX NO. D-31898	
GARY LEE MOORE, P.E. DESIGN GROUP	
ENGINEER: HARMIK AGHANIAN	DATE: 8/01/22
DESIGNED BY: KAMINI BONGALE	LIC. NO. CA-89143
DRAWN BY: VINOD C NAIR	8/01/22
CHECKED BY: REDDI PRASAD REDDY	8/01/22
APPROVED BY: HARMIK AGHANIAN	8/01/22
SHEET TITLE: COMPOUND WALL PLAN, ELEVATION AND SECTION	
PROJECT: VENICE AUXILIARY PUMPING PLANT	
ADDRESS: 133 HURRICANE STREET LOS ANGELES, CALIFORNIA	
WORK ORDER NO. SZC12923	
DRAWING NO. C-25	
SHEET 30 OF 140 SHEETS	

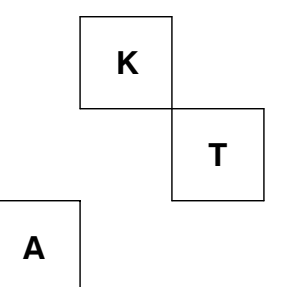


LOS FELIZ

4544 LOS FELIZ BOULEVARD
LOS ANGELES, CA 90027

KEVIN TSAI ARCHITECTURE

834 S. Broadway, Los Angeles, CA 90014
T. 310.486.9328 www.kevintsaiaarchitecture.com





NOTE: STREET TREES SHOWN ARE NOT ACCURATE.

[illegible]

Saturday

180/181

Westbound Al Oeste

Approximate Times/Tiempos Aproximados

ALBUQUERQUE

PHOENIX

PHOENIX

ALBUQUERQUE

PHOENIX

PHOENIX

Route

Albuquerque & Lake

Green Valley Villa (Las Vegas)

Catalina & Lake

Catalina & Canyon

Bradley & Road

Highway & New Vantage

Highway & Las Vegas

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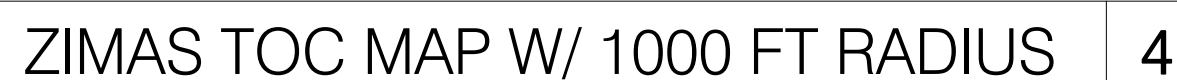
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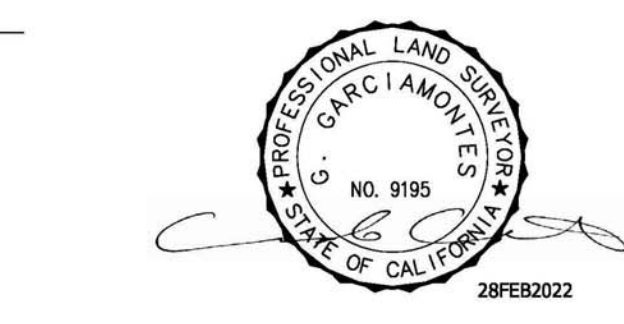
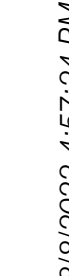
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BENCH MARK:
B.M. NO. 12-22510 NAVD 1988 LOS ANGELES CITY BENCH MARK
CUT SPIKE 4FT N OF N CURB LOS FELIZ BLVD 17FT W OF HILLHURST AVENUE NE COR CB
ELEVATION = 548.56 FEET (ADJUSTMENT 2000)

JOB NO. 20-1177

SCALE: 1" = 10'

DATE: SEP 2020

DRAFTED: BG

SHEET NO.

2

OF 2 SHEET

PREPARED FOR:

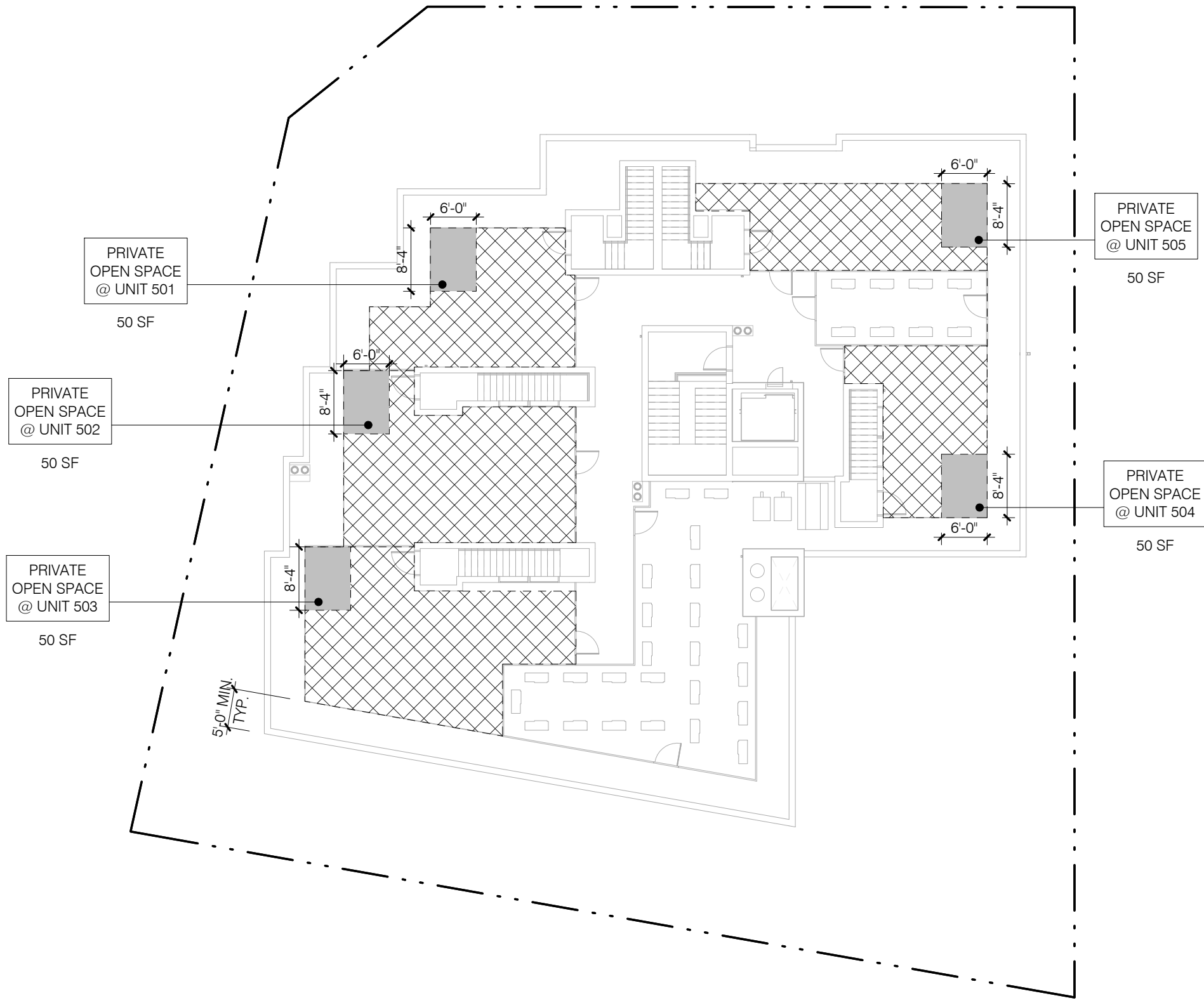
Christopher Mamian
(213) 500-7756

GROSS SITE AREA:
13,495 SQ.FT.

SHEET NO.
2
OF 2 SHEET

G101

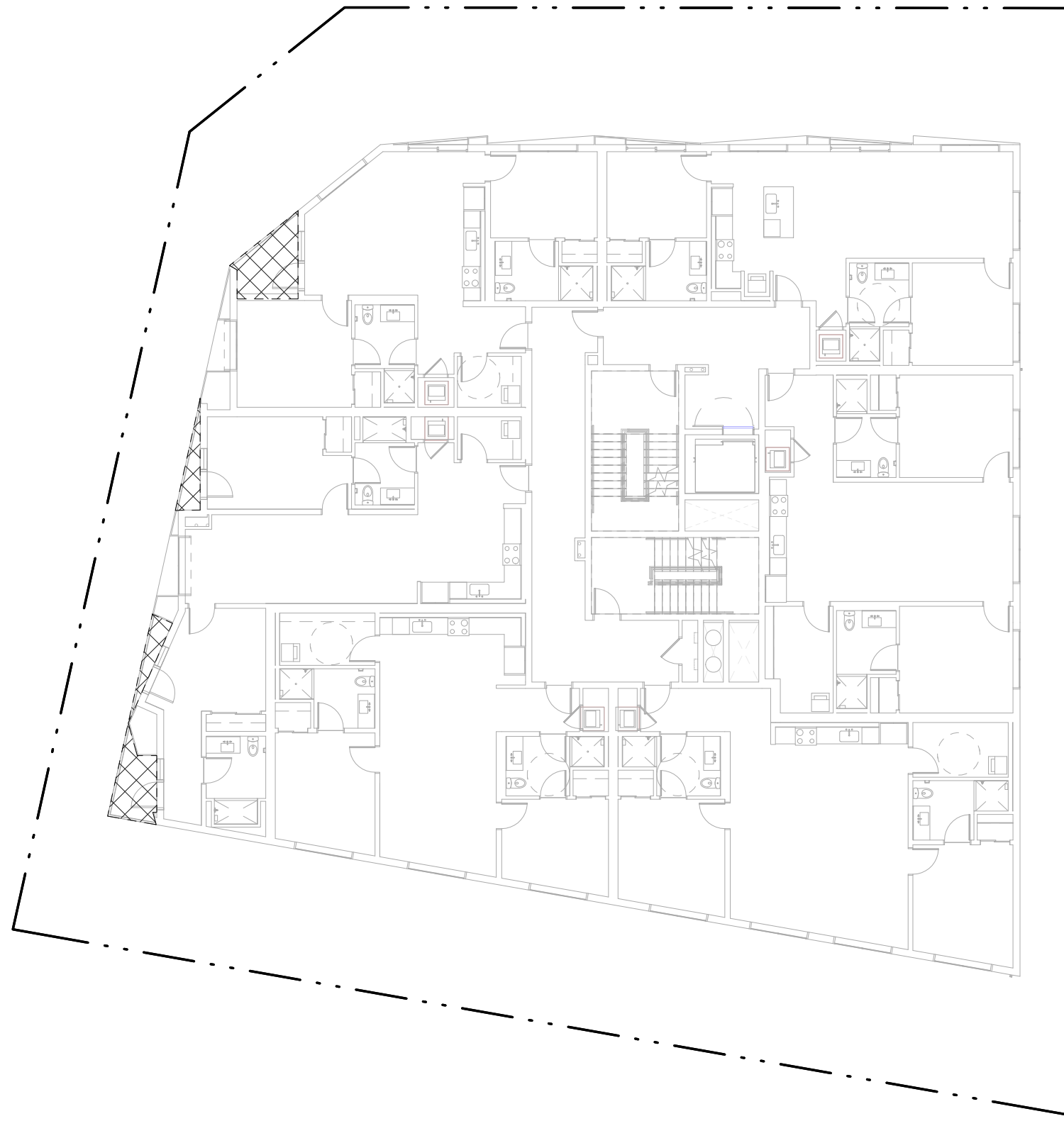
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ROOF PLAN

SCALE
1/16" = 1'-0"

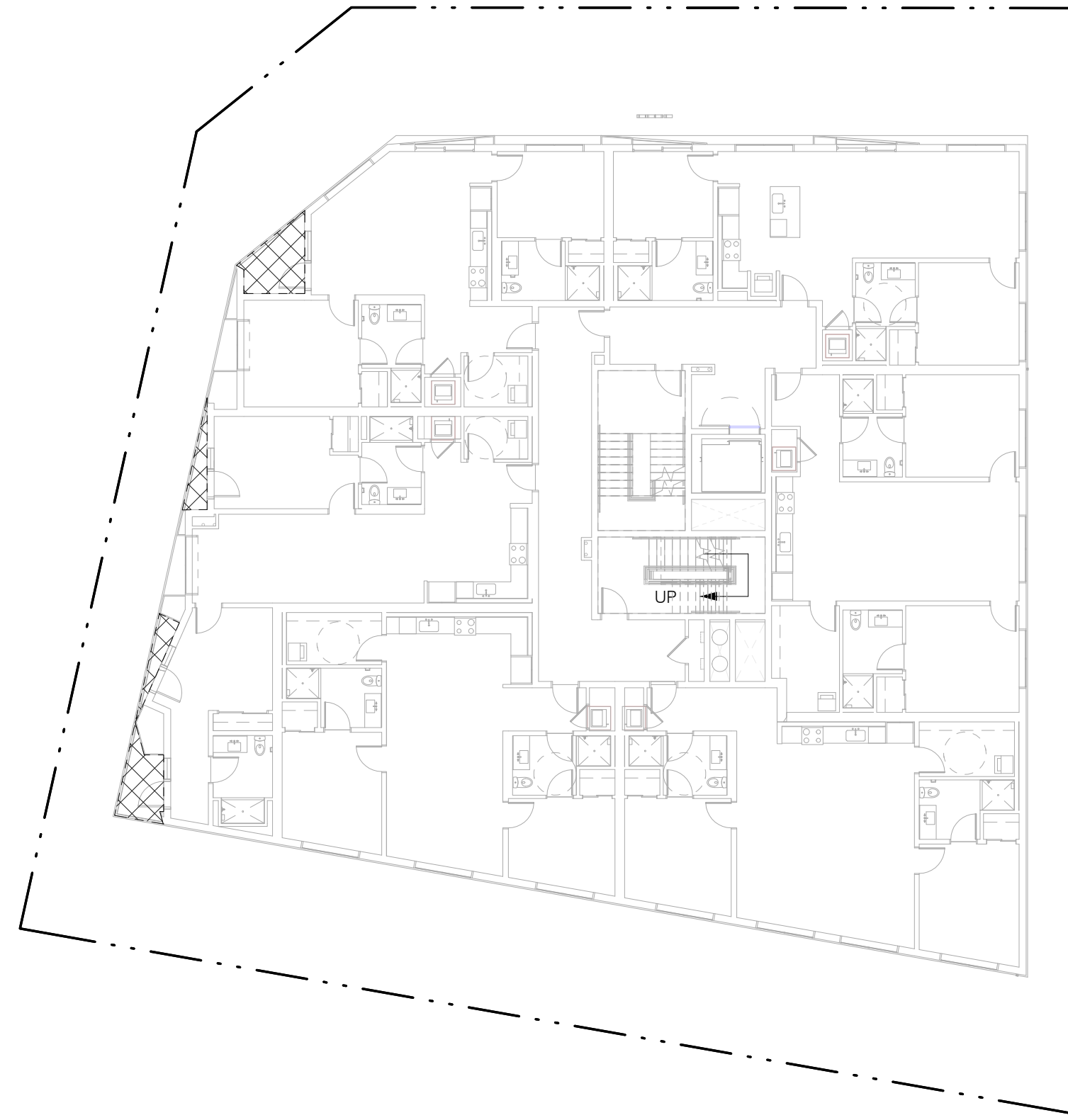
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4TH FLOOR PLAN

SCALE
1/16" = 1'-0"

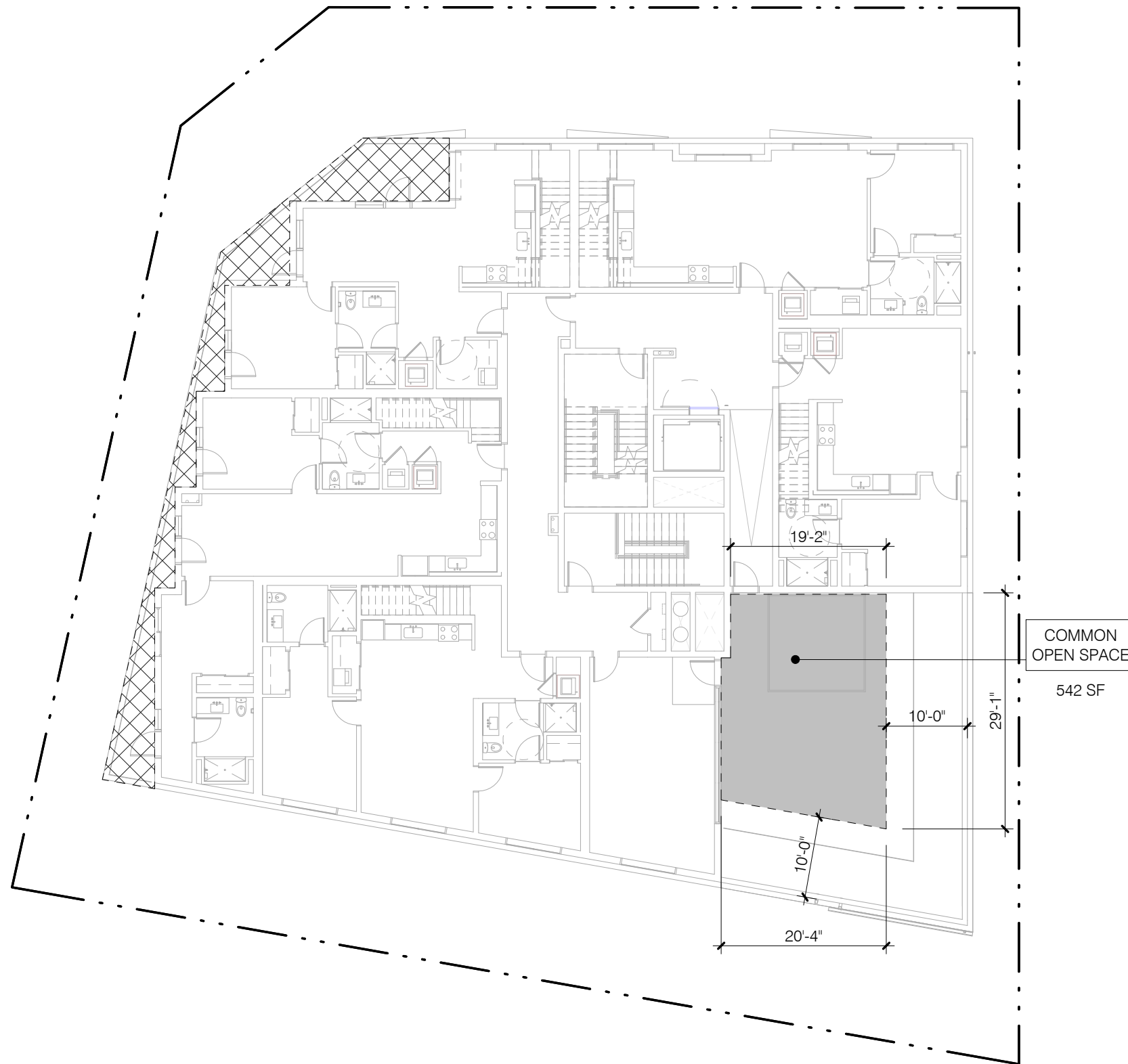
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2ND FLOOR PLAN

SCALE
1/16" = 1'-0"

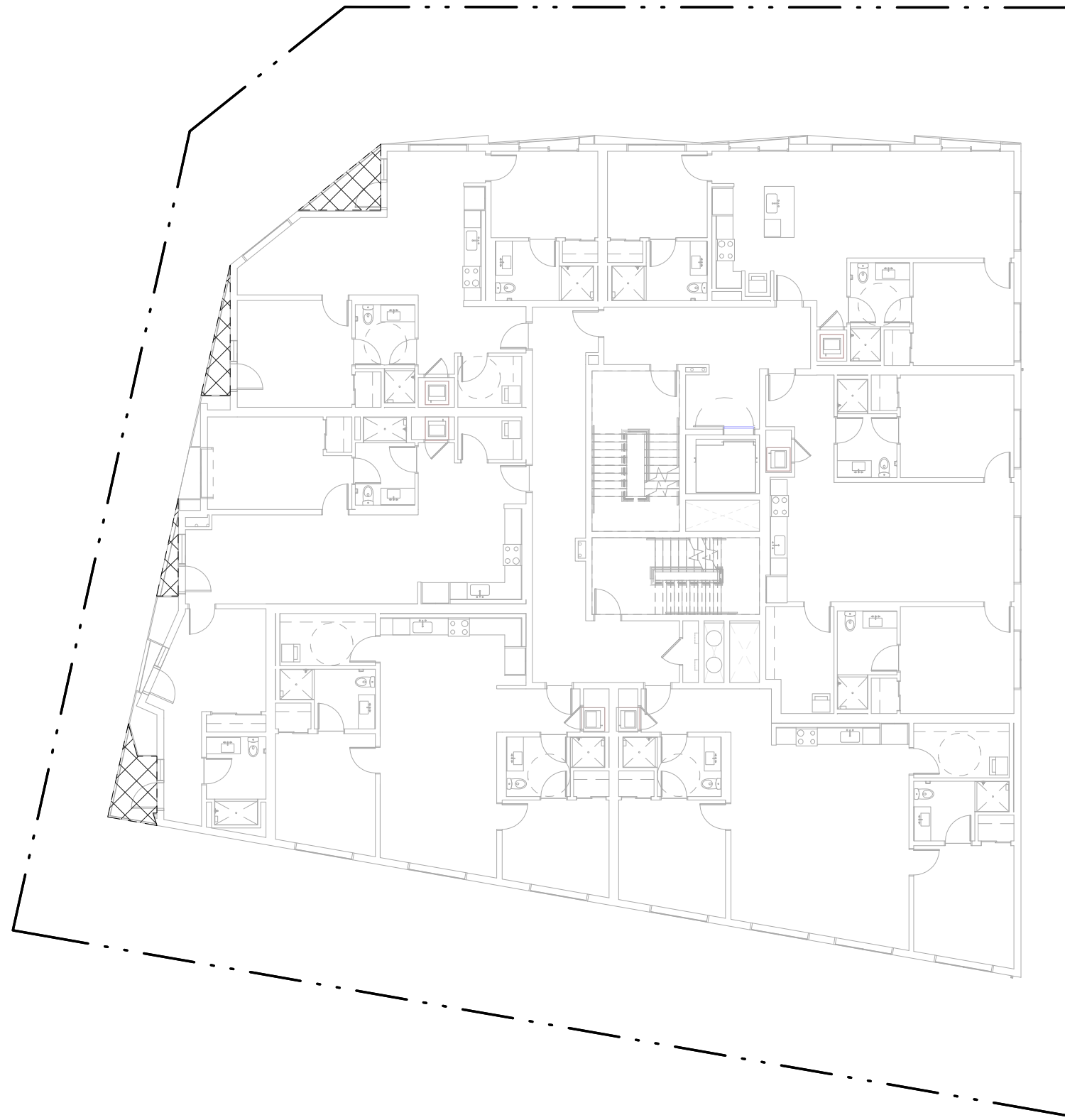
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5TH FLOOR PLAN

SCALE
1/16" = 1'-0"

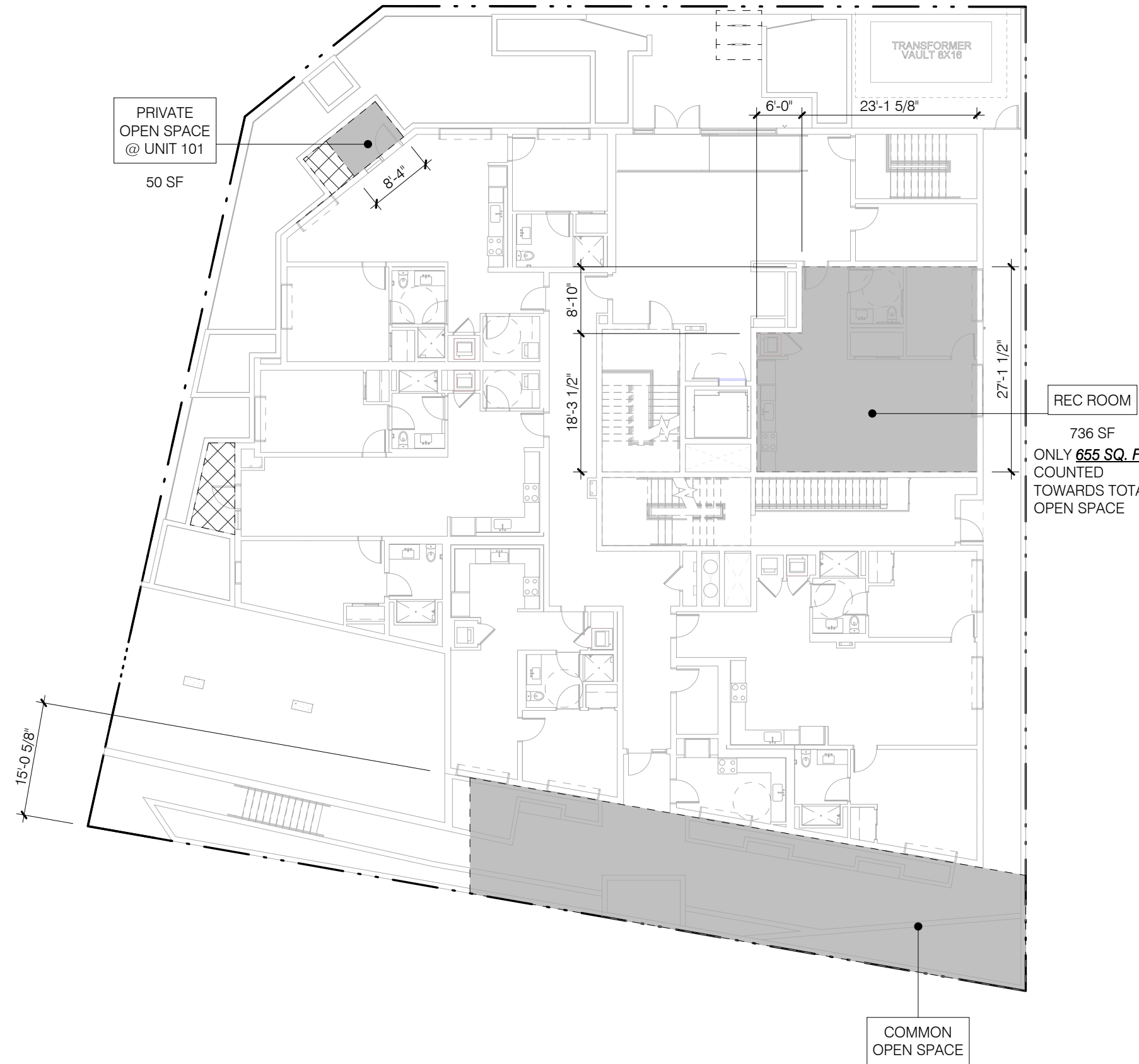
5



3RD FLOOR PLAN

SCALE
1/16" = 1'-0"

3



1ST FLOOR PLAN

SCALE
1/16" = 1'-0"

1

OPEN SPACE NOTES

LAMC 12.21G.2(b): PRIVATE OPEN SPACE SHALL CONTAIN A MINIMUM OF 50 SF, AND SHALL HAVE NO HORIZONTAL DIMENSION LESS THAN SIX FEET.

SEE G002 FOR MORE INFORMATION ON OPEN SPACE REQUIREMENTS.

SEE LANDSCAPE PLANS FOR ADDITIONAL OPEN SPACE DETAILS.

OPEN SPACE ANALYSIS LEGEND

- PROPERTY LINE
- OPEN SPACE AREA
- PRIVATE OPEN SPACE - EXCLUDED FROM OPEN SPACE CALCULATIONS

OPEN SPACE AREA PROVIDED PER TOC TIER 2 ADD. INCENTIVE

LOCATION	OPEN SPACE PROPOSED
1ST FLOOR - COMMON OPEN SPACE	1,123 SQ. FT.
1ST FLOOR - REC ROOM	655 SQ. FT. (25% MAX. OF REQ.)
5TH FLOOR ROOF - COMMON OPEN SPACE	542 SQ. FT.
TOTAL COMMON OPEN SPACE AREA	2,320 SQ. FT. > 1,310 SQ. FT. REQ.
TOTAL PRIVATE OPEN SPACE	300 SQ. FT.
TOTAL OPEN SPACE AREA	2,620 SQ. FT. = 2,620 SQ. FT. REQ.

K
T
A

Kevin Tsai Architecture

834 S. Broadway, Los Angeles, CA 90014
T.310.486.9328 www.kevin-tsai.com

architect's stamp

consultant

MAMIAN WEST, LLC
4166 CROMWELL AVE.
LOS ANGELES, CA 90027
CONTACT: CHRIS MAMIAN, MANAGER

owner

all designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and specifications are the property and copyright of the ARCHITECT and shall neither be used on any other work nor be used by any other person for any use whatsoever without written permission. written dimensions shall take precedence over scaled dimensions and shall be verified at the job site. any dimensional discrepancy shall be brought to the attention of the ARCHITECT prior to the commencement of work.

#	DATE	ISSUE RECORD
1	2021 0826	TOC REFERRAL #1
2	2021 1117	PZA REFERRAL #1
3	2021 1215	PLAN CHECK SUBMITTAL #1
4	2022 0210	PZA REFERRAL #2
5	2022 0809	ENTITLEMENT - TOC APPEAL REV #1

DRAFT

NOT FOR CONSTRUCTION

PROJECT TITLE:

LOS FELIZ

4544 LOS FELIZ BOULEVARD
LOS ANGELES, CA 90027

PC/PM: XX

DRAWN BY: YY

JOB NO.: 21-01

DRAWING TITLE:

OPEN SPACE
ANALYSIS

SHEET NO.:

G240



SCALE	1
$1/8" = 1'-0"$	

- 1 PROPERTY LINE
- 2 BUILDING ADDRESS PER LAFC 505.1
- 3 FIRE DEPT POC PER LAFC 912.2.1
- 4 FIRE HYDRANT - REFER TO VICINITY MAP,
#2/G004
- 5 FILED EXISTING CURB CUT - REFER TO CIVIL
- 6 NEW CURB CUT - REFER TO CIVIL
- 7 EXISTING UTILITY POLE TO REMAIN
- 11 WATER METER - REFER TO CIVIL
- 19 UNDERGROUND CISTERN FOR STORMWATER
MITIGATION (CAPTURE & REUSE) - REFER TO
CIVIL/UMBING
- 20 SHORT-TERM BIKE PARKING - SEE G501
- 26 DRIVEWAY TO SUBLEVEL PARKING GARAGE -
REFER TO CIVIL
- 33 HVAC EQUIPMENT ON MECHANICAL PAD -
REFER TO MECH.
- 34 PARKING GARAGE EXHAUST - REFER TO MECH.
- 35 REFUSE CHUTE VENT SHAFT - REFER TO MECH.
- 37A/ STAIR/ ELEVATOR BULKHEAD
- 39 CLASS "A" TRAFFIC DECK COATING, SLOPED TO
DRAIN, SEE G502
- 40 CLASS "A" ROOFING FIRE-RETARDANT, SLOPED
TO DRAIN, SEE G503
- 55 TRANSFORMER VAULT - REFER TO ELECTRICAL
- 58 ENTRANCE AWNING - REFER TO #/A0XX
- 63 EXISTING TREE TO REMAIN
- 64 DWELLING UNIT BULKHEAD
- 66 PARTIAL HEIGHT CONCRETE WALL - REFER TO
CIVIL/STRUCTURAL

1. ALL OVERHEAD UTILITIES (ELECTRICAL, TELEPHONE, CABLE ETC.) SHALL BE PLACED UNDERGROUND PER CITY OF LOS ANGELES S CODE 7.04.802. WHEN UNDERGROUND, OBTAIN A UTILITY EXCAVATION PERMIT FROM EPWMS ADMIN ROOM 11 AT CITY HALL.
2. ALL UTILITY LINES SHALL BE INSTALLED BELOW GROUND WITH TRENCH DAMS, IF UNDERGROUND SERVICE IS NOT CURRENTLY AVAILABLE, THEN PROVISIONS SHALL BE MADE FOR FUTURE UNDERGROUND SERVICES.
3. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS. BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
4. ALL LANDSCAPE SHALL BE PERMANENTLY MAINTAINED & IRRIGATED WITH AN AUTOMATIC SYSTEM.
5. APPLY ANTI-GRAFFITI COATING ON THE FIRST 9 FEET OF THE BUILDING PERIMETER & REMOVE ANY GRAFFITI WITHIN 7 DAYS OF THE GRAFFITI BEING APPLIED OR WITHIN 72-HOURS OF NOTICE NOTIFIED BY THE LOS ANGELES DEPARTMENT OF BUILDING & SAFETY. (SEC.91.6306)

1. AUTHORIZED AND APPROVED KNOX KEY SWITCHES BOX LABELED WITH A PERMANENT RED SIGN WITH NOT LESS THAN 1/2" CONTRASTING LETTERS READING "FIRE DEPT" OR WITH A KNOX DECAL.
2. GRADE AND SITE SHALL BE DEVELOPED SO THAT ACCESSIBLE ROUTES OF TRAVEL ARE PROVIDED FROM PUBLIC TRANSPORTATION STOPS, ACCESSIBLE PARKING AND PUBLIC STAIRS, OR SIDEWALKS TO THE ACCESSIBLE ENTRANCE THEY SERVE.
3. ABRUPT CHANGES IN LEVEL ABOVE ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2" WHEN CHANGES IN LEVEL DO EXCEED 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1 UNIT VERTICAL IN 2 UNITS HORIZONTAL. CHANGES IN LEVEL NOT EXCEEDING 1/4" MAY BE BEVELED. CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE MADE BY MEANS OF A RAMP.
4. ABRUPT CHANGES IN LEVEL EXCEEDING 4" IN VERTICAL DIMENSION (E.G. CHANGES IN LEVEL AT PLANTERS OR CONTAINERS LOCATED IN OR ADJACENT TO PEDESTRIAN WAYS) SHALL BE IDENTIFIED BY CURBS OR OTHER APPROVED BARRIERS PROJECTING AT LEAST 6" IN HEIGHT ABOVE THE WALK TO WARN THE BLIND OF POTENTIAL DROP-OFFS.
5. WHERE FREESTANDING SIGNS ARE USED, THE BOTTOM OF THE SIGN SHALL BE 80" ABOVE THE FINISHED FLOOR OR GROUND LEVEL, WITH THE EDGES ROUNDED OR EASED AND THE CORNERS SHALL HAVE A MINIMUM RADIUS OF 0.125".
6. REFER TO SHEET G400s FOR ADDITIONAL ACCESSIBILITY NOTES AND DETAILS.
7. ON ALL ACCESSIBLE PATHS, OBJECTS MOUNTED MORE THAN 27" AND LESS THAN 80" A.F.F. CAN NOT PROTRUDE MORE THAN 4". IF AN OBJECT IS MOUNTED LESS THAN 27" IT CAN PROTRUDE ANY AMOUNT, AS LONG AS IT DOES NOT REDUCE THE MAXIMUM REQUIRED WIDTH OF THE ACCESSIBLE PATH.
8. REFER TO SHEETS G300s & G220 FOR SIGNAGE AND ACCESSIBLE ROUTE.
9. REFER TO 1/A300 FOR BUILDING ADDRESS NUMBER LOCATION ON FACADE.

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DRAFT
FOR CONSTRUCTION

A100

8/8/2022 5:01:17 PM



A101



SCALE
1" = 1'-0"

SCALE
1/8" = 1'-0"

1

KEYNOTES

- 102 EV STALL W/ FUTURE EVCE
116 TRENCH DRAIN - REFER TO PLUMBING
118 2-A:10-B:C MIN. FIRE EXTINGUISHER IN
SURFACE MOUNTED CABINET @ 48" A.F.F.
122 SINGLE WALL MOUNT ELECTRIC VEHICLE
CHARGING STATION
123 VAN ACCESSIBLE STALL POST-MOUNTED SIGN
REFER TO DETAIL 7/G412

SUBLEVEL 1 PARKING

STANDARD	9 PARKING STALLS
COMPACT	3 PARKING STALLS
VAN ACCESSIBLE	1 PARKING STALLS
TOTAL: 13 PARKING STALLS	
EV SPACE W/ EVCS	3 PARKING STALLS
EV SPACE W/ FUTURE EVSE	2 PARKING STALLS

NOTES

1. ALL EXTERIOR WALLS ARE 2 HR. FIRE-RATED WALLS
2. ALL DEMISING WALLS ARE 1 HR. MIN. FIRE-RATED
3. SEE SHEET(S) A800s FOR WALL ASSEMBLIES.
4. SEE SHEET(S) A920s FOR MATERIAL SCHEDULE.
5. ALL EXTERIOR PROTECTED DOOR & WINDOWS TO BE 45 MIN. RATED UNLESS PROVIDED WITH APPROVED WATER CURTAIN. SEE SCHEDULE ON A900s AND A910.
6. ALL DOWNSPOUTS TO DRAIN TO CISTERN. REFER TO A10 FOR CISTERN. REFER TO CIVIL AND PLUMBING FOR DETAILS.
7. ALL ROOF RUNOFF TO DRAIN TO CISTERN. REFER TO A10 FOR CISTERN. REFER TO CIVIL AND PLUMBING FOR DETAILS.
8. PROVIDE ANTI-GRAFFITI FINISH TO FIRST 9FT OF EXTERIOR WALL AND DOORS (SEE 91.6306). REFER TO G504 FOR PRODUCT & LAPP #.

FLOOR PLAN NOTES

1. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. THE ELECTRICAL SYSTEM SHALL BE DESIGNED TO PROVIDE A MINIMUM BRANCH CIRCUIT A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
2. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE (SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS "EV CAPABLE" IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.
3. BATHROOM EXHAUST FANS SHALL BE "ENERGY STAR" COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
4. BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
5. FOR BATHROOM EXHAUST FAN AND LIGHTING LOCATIONS, SEE REFLECTED CEILING PLANS AND ENLARGED UNIT PLANS.
6. DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.2145, CHART NO. 5.
7. THE SURFACE SLOPE FOR THESE EVCS AND THE AISLE SHALL NOT EXCEED 1 UNIT VERTICAL IN 48 UNITS HORIZONTAL (2.083 PERCENT SLOPE) ON ANY DIRECTION.

SYMBOL LEGEND

- | | |
|--|---|
| | KEYNOTE TAG |
| | CLASS 1 STAND PIPE PER FIRE PROTECTION |
| | EXIT SIGN |
| | WALL TAG - REFER TO SHEETS A800-A810 |
| | WINDOW TAG |
| | DOOR TAG |
| | FIXTURE/FINISH TAG |
| | FLOOR / ROOF / FLOOR FINISH TAG |
| | EV CONDUIT (FOR FUTURE EVCS) |
| | FLOOR DRAIN/ AREA DRAIN |
| | GAS HOOKUP |
| | ACCESSIBLE BATHROOM PER 1134A.2
OPTION 2 |
| | STRIPED ACCESSIBLE AISLE @ PARKING |

A diagram showing three overlapping boxes. Box A is at the bottom left, box K is at the top left, and box T is at the top right. Box A overlaps with box K, and box K overlaps with box T.

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owne

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[illegible]

DRAFT
FOR CONSTRUCTION

PROJECT TITLE:
LOS FELIZ

544 LOS FELIZ BOULEVARD
LOS ANGELES, CA 90027

C/PM: X
DRAWN BY: Y
JOB NO.: 21-0

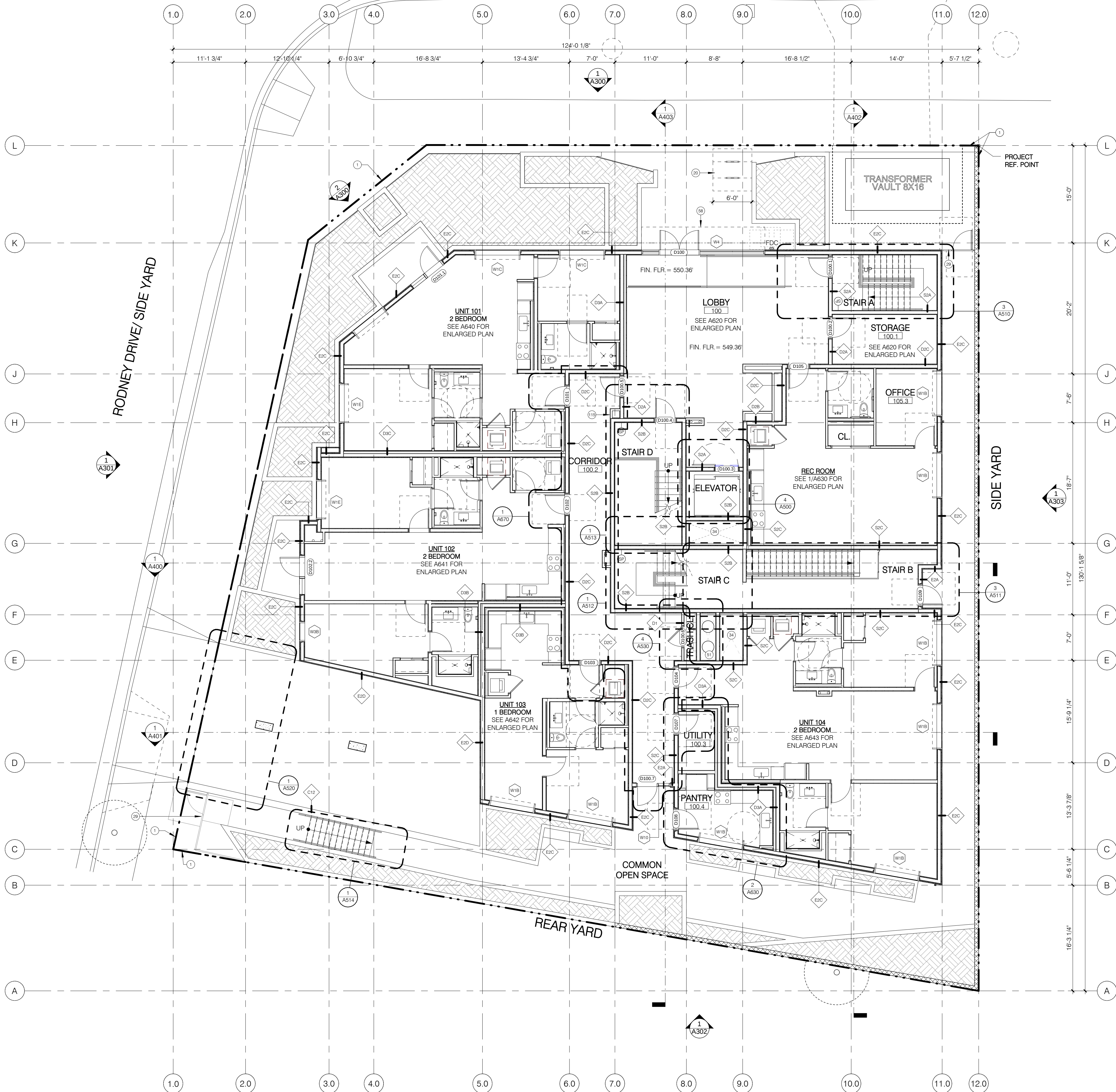
DRAWING TITLE:
SUBLEVEL 1 FLOOR
PLAN

SHEET NO.:

A102

8/8/2022 4:52:51 PM

LOS FELIZ BOULEVARD/ FRONT YARD



KEYNOTES

- 1 PROPERTY LINE
20 SHORT-TERM BIKE PARKING - SEE G501
29 FENCE AT GRADE, SEE #X/ADXX
34 PARKING GARAGE EXHAUST - REFER TO MECH.
51 REFUSE CHUTE VENT SHAFT
58 ENTRANCE AWNING - REFER TO #/AXXX
115 2-A-10-B-C MIN. FIRE EXTINGUISHER FULLY RECESSED IN CABINET. T.O. CABINET @ 48" A.F.F.

1ST FLOOR SUMMARY OF UNITS

TOTAL: 4 UNITS

NOTES

1. ALL EXTERIOR WALLS ARE 2 HR. FIRE-RATED WALLS
2. ALL DEMISING WALLS ARE 1 HR. MIN. FIRE-RATED
3. SEE SHEET(S) A800s FOR WALL ASSEMBLIES.
4. SEE SHEET(S) A920s FOR MATERIAL SCHEDULE.
5. ALL EXTERIOR PROTECTED DOOR & WINDOWS TO BE 45 MIN. RATED UNLESS PROVIDED WITH APPROVED WATER CURTAIN - SEE SCHEDULE ON A900s AND A910.
6. ALL DOWNSPOUTS TO DRAIN TO CISTERN. REFER TO A101 FOR CISTERN. REFER TO CIVIL AND PLUMBING FOR DETAILS.
7. ALL ROOF RUNOFF TO DRAIN TO CISTERN. REFER TO A101 FOR CISTERN. REFER TO CIVIL AND PLUMBING FOR DETAILS.
8. PROVIDE ANTI-GRAFFITI FINISH TO FIRST 9FT OF EXTERIOR WALL AND DOORS (SEC 91.6306). REFER TO G504 FOR PRODUCT & LARR #.

FLOOR PLAN NOTES

1. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
2. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS "EV CAPABLE" IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.
3. BATHROOM EXHAUST FANS SHALL BE "ENERGY STAR" COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
4. BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
5. FOR BATHROOM EXHAUST FAN AND LIGHTING LOCATIONS, SEE REFLECTED CEILING PLANS AND ENLARGED UNIT PLANS.
6. DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5.
7. THE SURFACE SLOPE FOR THIS EVCS AND THE AISLE SHALL NOT EXCEED 1 UNIT VERTICAL IN 48 UNITS HORIZONTAL (2.083 PERCENT SLOPE) ON ANY DIRECTION.

SYMBOL LEGEND

- ① KEYNOTE TAG
T-20 CLASS 1 STAND PIPE PER FIRE PROTECTION
EXIT SIGN
11 WALL TAG - REFER TO SHEETS A800-A810
11 WINDOW TAG
111 DOOR TAG
11 FUTURE/FINISH TAG
F1 FLOOR / ROOF / FLOOR FINISH TAG
EV EV CONDUIT (FOR FUTURE EVCS)
FD FLOOR DRAIN/ AREA DRAIN
G GAS HOOKUP
ACCESSIBLE BATHROOM PER 1134A.2 OPTION 2
STRIPED ACCESSIBLE AISLE @ PARKING

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consultant

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CONTACT: CHRIS MAMIAN, MANAGER

owner

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#	DATE	ISSUE RECORD
1	2021 0826	TDC REFERRAL #1
2	2021 1117	PZA REFERRAL #1
3	2021 1215	PLAN CHECK SUBMITAL #1
4	2022 0210	PZA REFERRAL #2
5	2022 0809	ENTITLEMENT - TDC APPEAL REV #1

DRAFT

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PROJECT TITLE:
LOS FELIZ

4544 LOS FELIZ BOULEVARD
LOS ANGELES, CA 90027

PC/PM: XX
DRAWN BY: YY
JOB NO.: 21-01

DRAWING TITLE:
1ST FLOOR PLAN

SHEET NO.:

A110

1ST FLOOR PLAN

SCALE
1/8" = 1'-0"

1



SCALE
= 1:10"

1

1 PROPERTY LINE
34 PARKING GARAGE EXHAUST - REFER TO MECH.
39 CLASS 'A' TRAFFIC DECK COATING, SLOPED TO
DRAIN, SEE G502
43 GLASS GUARDRAIL, MIN. 42" AFF PER CBC
1015.3, SEE #X/ADXX
51 REFUSE CHUTE VENT SHAFT
58 ENTRANCE AWNING - REFER TO #/AXXX
115 2-A-10-B-C MIN. FIRE EXTINGUISHER FULLY
RECESSED IN CABINET. T.O. CABINET @ 48"
A.F.F.

TOTAL: 6 UNITS

1. ALL EXTERIOR WALLS ARE 2 HR. FIRE-RATED WALLS
2. ALL DEMISING WALLS ARE 1 HR. MIN. FIRE-RATED
3. SEE SHEET(S) A800s FOR WALL ASSEMBLIES.
4. SEE SHEET(S) A920s FOR MATERIAL SCHEDULE.
5. ALL EXTERIOR PROTECTED DOOR & WINDOWS TO BE 45 MIN. RATED UNLESS PROVIDED WITH APPROVED WATER CURTAIN. SEE SCHEDULE ON A900s AND A910.
6. ALL DOWNSPOUTS TO DRAIN TO CISTERN. REFER TO A10 FOR CISTERN. REFER TO CIVIL AND PLUMBING FOR DETAILS
7. ALL ROOF RUNOFF TO DRAIN TO CISTERN. REFER TO A10 FOR CISTERN. REFER TO CIVIL AND PLUMBING FOR DETAILS
8. PROVIDE ANTI-GRAFFITI FINISH TO FIRST FRT OF EXTERIOR WALL AND DOORS (SEE 91.6306). REFER TO G504 FOR PRODUCT & LAPP #.

1. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED CARS OF THE 15 MINUTE RATED AMPERAGE OF THE EVSE. THE DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
2. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE (SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS "EV CAPABLE" IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.
3. BATHROOM EXHAUST FANS SHALL BE "ENERGY STAR" COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
4. BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
5. FOR BATHROOM EXHAUST FAN AND LIGHTING LOCATIONS, SEE REFLECTED CEILING PANS AND ENLARGED UNIT PLANS.
6. DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.2145, CHART NO. 5.
7. THE SURFACE SLOPE FOR THIS EVCS AND THE AISLE SHALL NOT EXCEED 1 UNIT VERTICAL IN 48 UNITS (HORIZONTAL) (2.083 PERCENT SLOPE) ON ANY DIRECTION.

	KEYNOTE TAG
	CLASS 1 STAND PIPE PER FIRE PROTECTION
	EXIT SIGN
	WALL TAG - REFER TO SHEETS A800-A810
	WINDOW TAG
	DOOR TAG
	FIXTURE/FINISH TAG
	FLOOR / ROOF / FLOOR FINISH TAG
	EV CONDUIT (FOR FUTURE EVCS)
	FLOOR DRAIN/ AREA DRAIN
	GAS HOOKUP
	ACCESSIBLE BATHROOM PER 1134A.2 OPTION 2
	STRIPED ACCESSIBLE AISLE @ PARKING

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consultant

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[illegible]

DRAFT

NOT FOR CONSTRUCTION

PROJECT TITLE:
LOS FELIZ

4544 LOS FELIZ BOULEVARD
LOS ANGELES, CA 90027

PC/PM: Designer
DRAWN BY: Author
JOB NO.: 21-01

DRAWING TITLE:
2ND FLOOR PLAN

SHEET NO.:

A120



SCALE
1" = 1'-0"

SCALE
1/8" = 1'-0"

1

1 PROPERTY LINE
34 PARKING GARAGE EXHAUST - REFER TO MECH
43 GLASS GUARDRAIL, MIN. 42" AFF PER CBC
1015.3, SEE #X/ADXX
51 REFUSE CHUTE VENT SHAFT
115 2-A:10-B:C MIN. FIRE EXTINGUISHER FULLY
RECESSED IN CABINET, T.O. CABINET @ 48"
A.F.F.

TOTAL: 6 UNITS

1. ALL EXTERIOR WALLS ARE 2 HR. FIRE-RATED WALLS
2. ALL DEMISING WALLS ARE 2 HR. MIN. FIRE-RATED
3. SEE SHEET(S) A800s FOR WALL ASSEMBLIES.
4. SEE SHEET(S) A902s FOR MATERIAL SCHEDULE.
5. ALL EXTERIOR PROTECTED DOOR & WINDOWS TO BE 45 MIN. RATED UNLESS PROVIDED WITH APPROVED WATER CURTAIN. SEE SCHEDULE ON A900s AND A910.
6. ALL DOWNSPOUTS TO DRAIN TO CISTERN. REFER TO A10 FOR CISTERN. REFER TO CIVIL AND PLUMBING FOR DETAILS.
7. ALL ROOF RUNOFF TO DRAIN TO CISTERN. REFER TO A10 FOR CISTERN. REFER TO CIVIL AND PLUMBING FOR DETAILS.

1. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EVS. THE MINIMUM RATED AMPERAGE OF THE EVSE, PLUG DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
2. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS "EV CAPABLE" IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.
3. BATHROOM EXHAUST FANS SHALL BE "ENERGY STAR" COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
4. BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
5. FOR BATHROOM EXHAUST FAN AND LIGHTING LOCATIONS, SEE REFLECTED CEILING PLANS AND ENLARGED UNIT PLANS.
6. DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21(A), CHART NO. 5.
7. THE SURFACE SLOPE FOR THIS EVCS AND THE AISLE SHALL NOT EXCEED 1" UNIT VERTICAL IN 48 UNITS HORIZONTAL (2.083 PERCENT SLOPE) ON ANY DIRECTION.

	KEYNOTE TAG
	CLASS 1 STAND PIPE PER FIRE PROTECTION
	EXIT SIGN
	WALL TAG - REFER TO SHEETS A800-A810
	WINDOW TAG
	DOOR TAG
	FIXTURE/FINISH TAG
	FLOOR / ROOF / FLOOR FINISH TAG
	EV CONDUIT (FOR FUTURE EVCS)
	FLOOR DRAIN / AREA DRAIN
	GAS HOOKUP
	ACCESSIBLE BATHROOM PER 1134A.2 OPTION 2
	STRIPED ACCESSIBLE AISLE @ PARKING

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[illegible]

DRAFT

NOT FOR CONSTRUCTION

PROJECT TITLE:
LOS FELIZ

4544 LOS FELIZ BOULEVARD
LOS ANGELES, CA 90027

PC/PM:	Designer
DRAWN BY:	Author
JOB NO.:	21-01

DRAWING TITLE:
3RD FLOOR PLAN

SHEET NO.:

A130

8/8/2022 4:53:44 PM



A140

8/8/2022 4:54:00 PM



A150



SCALE
1/8" = 1'-0"

1

1 PROPERTY LINE
40 CLASS "A" ROOFING, FIRE-RETARDANT, SLOPED
TO DRAIN, SEE G503
49 GUTTER - REFER TO PLUMBING

1. ALL EXTERIOR WALLS ARE 2 HR. FIRE-RATED WALLS
2. ALL DEMISING WALLS ARE 2 HR. MIN. FIRE-RATED
3. SEE SHEET(S) A800s FOR WALL ASSEMBLIES.
4. SEE SHEET(S) A920s FOR MATERIAL SCHEDULE.
5. ALL EXTERIOR PROTECTED DOOR & WINDOWS TO BE 45 MIN. RATED UNLESS PROVIDED WITH APPROVED WATER CURTAIN. SEE SCHEDULE ON A900 AND A910.
6. ALL DOWNSPOUTS TO DRAIN TO CISTERN. REFER TO A10 FOR CISTERN. REFER TO CIVIL AND PLUMBING FOR DETAILS
7. ALL ROOF RUNOFF TO DRAIN TO CISTERN. REFER TO A10 FOR CISTERN. REFER TO CIVIL AND PLUMBING FOR DETAILS

1. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED VEHICLES AT THE FULL RATED AMPERAGE OF THE EVSE. A MINIMUM BRANCH CIRCUIT SHALL BE BASED UPON A 40-AMPERE PERMIT IS REQUIRED.
2. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE (SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS "EV CAPABLE" IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.
3. BATHROOM EXHAUST FANS SHALL BE "ENERGY STAR" COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
4. BATHROOM EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
5. FOR BATHROOM EXHAUST FAN AND LIGHTING LOCATIONS, SEE REFLECTED CEILING PLANS AND ENLARGED UNIT PLANS.
6. DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.2145, CHART NO. 5.
7. THE SURFACE SLOPE FOR THIS EVCS AND THE AISLE SHALL NOT EXCEED 1 UNIT VERTICAL IN 48 UNITS (HORIZONTAL) (2.083 PERCENT SLOPE) ON ANY DIRECTION.

	KEYNOTE TAG
	CLASS 1 STAND PIPE PER FIRE PROTECTION
	EXIT SIGN
	WALL TAG - REFER TO SHEETS A800-A810
	WINDOW TAG
	DOOR TAG
	FIXTURE/FINISH TAG
	FLOOR / ROOF / FLOOR FINISH TAG
	EV CONDUIT (FOR FUTURE EVCS)
	FLOOR DRAIN/ AREA DRAIN
	GAS HOOKUP
	ACCESSIBLE BATHROOM PER 1134A.2 OPTION 2
	STRIPED ACCESSIBLE AISLE @ PARKING

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[illegible]

DRAFT

NOT FOR CONSTRUCTION

PROJECT TITLE:
LOS FELIZ

4544 LOS FELIZ BOULEVARD
LOS ANGELES, CA 90027

PC/PM:	Designer
DRAWN BY:	Author
JOB NO.:	21-01

DRAWING TITLE:
BULKHEAD PLAN

SHEET NO.:

A170

8/8/2022 4:54:34 PM



43 GLASS GUARDRAIL, MIN. 42" AFF PER CBC
1015.3, SEE #X/ADXX
58 ENTRANCE AWNING - REFER TO #/AXXX
308 ADDRESS SIGNAGE, SEE #X/ADXX
309 GLASS DOOR, REFER TO DOOR SCHEDULE AND
OVERALL PLANS FOR DOOR TAG

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1. ALL EXTERIOR WALLS ARE 2 HR. FIRE-RATED WALLS
2. ALL DEMISING WALLS ARE 2 HR. MIN. FIRE-RATED
3. SEE SHEET(S) A800s FOR WALL ASSEMBLIES.
4. SEE SHEET(S) A920s FOR MATERIAL SCHEDULE.
5. ALL EXTERIOR PROTECTED DOOR & WINDOWS TO BE 45 MIN. RATED UNLESS PROVIDED WITH APPROVED WATER CURTAIN. SEE SCHEDULE ON A900s AND A910.
6. ALL DOWNSPOUTS TO DRAIN TO CISTERN. REFER TO A10 FOR CISTERN. REFER TO CIVIL AND PLUMBING FOR DETAILS.
7. ALL ROOF RUNOFF TO DRAIN TO CISTERN. REFER TO A10 FOR CISTERN. REFER TO CIVIL AND PLUMBING FOR DETAILS.
8. PROVIDE ANTI-GRAFFITI FINISH TO FIRST 9FT OF EXTERIOR WALL AND DOORS (SEC 91.6306). REFER TO G504 FOR PRODUCT & LARR #.

1. ALL DOWNSPOUTS TO DRAIN TO CISTERN. REFER TO A101 FOR CISTERN. REFER TO PLUMBING & CIVIL FOR DETAILS.
2. ALL ROOF RUNOFF TO DRAIN TO CISTERN. REFER TO A101 FOR CISTERN. REFER TO PLUMBING & CIVIL FOR DETAILS.

owner

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[illegible]

NOT FOR CONSTRUCTION

4544 LOS FELIZ BOULEVARD
LOS ANGELES, CA 90027

PC/PM: X
DRAWN BY: Y
JOB NO.: 21-0

DRAWING TITLE:
EXTERIOR
ELEVATION- NORTH
& NORTHWEST

A300



SCALE
1/8" = 1'-0"

2

SCALE
1/8" = 1'-0"

1



KEYNOTES

- 43 GLASS GUARDRAIL, MIN. 42" AFF PER CBC
1015.3, SEE #X/ADXX
- 309 GLASS DOOR, REFER TO DOOR SCHEDULE AND
OVERALL PLANS FOR DOOR TAG

Kevin Tsai Architecture

834 S. Broadway, Los Angeles, CA 90014
T.310.486.9328 www.kevin-tsai.com

architect's stamp

NOTES

1. ALL EXTERIOR WALLS ARE 2 HR. FIRE-RATED WALLS
2. ALL DEMISING WALLS ARE 1 HR. MIN. FIRE-RATED
3. SEE SHEET(S) A800s FOR WALL ASSEMBLIES.
4. SEE SHEET(S) A920s FOR MATERIAL SCHEDULE.
5. ALL EXTERIOR PROTECTED DOOR & WINDOWS TO BE 45 MIN. RATED UNLESS PROVIDED WITH APPROVED WATER CURTAIN. SEE SCHEDULE ON A900s AND A910.
6. ALL DOWNSPOUTS TO DRAIN TO CISTERN. REFER TO A101 FOR CISTERN. REFER TO CIVIL AND PLUMBING FOR DETAILS.
7. ALL ROOF RUNOFF TO DRAIN TO CISTERN. REFER TO A101 FOR CISTERN. REFER TO CIVIL AND PLUMBING FOR DETAILS.
8. PROVIDE ANTI-GRAFFITI FINISH TO FIRST 9FT OF EXTERIOR WALL AND DOORS (SEC 91.6306). REFER TO G504 FOR PRODUCT & LAPP #.

STORMWATER MANAGEMENT NOTES

1. ALL DOWNSPOUTS TO DRAIN TO CISTERN. REFER TO A101 FOR CISTERN. REFER TO PLUMBING & CIVIL FOR DETAILS.
2. ALL ROOF RUNOFF TO DRAIN TO CISTERN. REFER TO A101 FOR CISTERN. REFER TO PLUMBING & CIVIL FOR DETAILS.

MAMIAN WEST, LLC
4166 CROMWELL AVE.
LOS ANGELES, CA 90027
CONTACT: CHRIS MAMIAN, MANAGER

OWNER

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[illegible]

DRAFT
NOT FOR CONSTRUCTION

PROJECT TITLE:
LOS FELIZ

4544 LOS FELIZ BOULEVARD
LOS ANGELES, CA 90027

PC/PM:	X
DRAWN BY:	Y
JOB NO.:	21-0

DRAWING TITLE:
EXTERIOR
ELEVATION- WEST

SHEET NO.:

A301

WEST ELEVATION

SCALE
1/8" = 1'-0"

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
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3/8/2022 4:55:15 PM



834 S. Broadway, Los Angeles, CA 90014
T.310.486.9328 www.kevin-tsai.com

architect's stamp

43 GLASS GUARDRAIL, MIN. 42" AFF PER CBC
1015.3, SEE #X/ADXX

47 OVERFLOW SCUPPER TO CISTERN - REFER TO
PLUMBING

49 GUTTER - REFER TO PLUMBING

1. ALL EXTERIOR WALLS ARE 2 HR. FIRE-RATED WALLS
2. ALL DEMISING WALLS ARE 1 HR. MIN. FIRE-RATED
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4. SEE SHEET(S) A920s FOR MATERIAL SCHEDULE.
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7. ALL ROOF RUNOFF TO DRAIN TO CISTERN. REFER TO A10 FOR CISTERN. REFER TO CIVIL AND PLUMBING FOR DETAILS.
8. PROVIDE ANTI-GRAFFITI FINISH TO FIRST 9FT OF EXTERIOR WALL AND DOORS (SEC 91.6309). REFER TO G504 FOR PRODUCT & LARR #.

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owner

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DRAFT
NOT FOR CONSTRUCTION

PROJECT TITLE:
LOS FELIZ

4544 LOS FELIZ BOULEVARD
LOS ANGELES, CA 90027

PC/PM:	Design
DRAWN BY:	Author
JOB NO.:	21-0

DRAWING TITLE:
EXTERIOR
ELEVATION- SOUTH

SHEET NO.:

A302



SOUTH ELEVATION

SCALE
1/8" = 1'-0"

—

8/8/2022 4:55:29 PM



43 GLASS GUARDRAIL, MIN. 42' AFF PER CBC
1015.3, SEE #X/ADXX

47 OVERFLOW SCUPPER TO CISTERN - REFER TO
PLUMBING

48 DOWNSPOUT WITH SPLASHPAD TO CISTERN-
REFER TO PLUMBING

834 S. Broadway, Los Angeles, CA 90014
T.310.486.9328 www.kevin-tsai.com

architect's stamp

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owner

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[illegible]

NOT FOR CONSTRUCTION

PROJECT TITLE:
LOS FELIZ

PC/PM:	Designer
DRAWN BY:	Author
JOB NO.:	21-01

DRAWING TITLE:
EXTERIOR
ELEVATION- EAST

A303

EAST ELEVATION

SCALE
1/8" = 1'-0"

1



Planning CPC <cpc@lacity.org>

4544 West Los Feliz - DIR-2021-10084-TOC-HCA-1A - Submission for Thursday 8/11 hearing

3 messages

Chris Manasserian <Chris@gonzaleslawgroup.com>

Mon, Aug 8, 2022 at 9:51 AM

To: Oliver Netburn <oliver.netburn@lacity.org>

Cc: Alison Martinez <AGMartinez@sheppardmullin.com>, Planning CPC <cpc@lacity.org>, Christopher Mamian <christophermamian@gmail.com>

Hello Oliver,

As you know, our office represents Christopher Mamian, Applicant for the development project in the above referenced case. Mr. Mamian strongly supports the adoption of the proposed conditions attached to this email. For your convenience I've attached both a Microsoft Word version and a pdf version. Please adopt these conditions in full, as written, in time for the scheduled hearing on August 11th, so that all parties can secure each of their respective interests and the project can move forward.

Thank you,

Chris Manasserian, Senior Associate

800 Wilshire Blvd., Suite 860

Los Angeles, CA 90017

213.279.6969/Direct

213.279.6965/Main

213.402.2638/Fax

chris@gonzaleslawgroup.com

gonzaleslawgroup.com



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2 attachments**Proposed Conditions for 4544 West Los Feliz Development.pdf**

77K

**Proposed Conditions for 4544 West Los Feliz Development.docx**

14K

Alison Martinez <AGMartinez@sheppardmullin.com>

Mon, Aug 8, 2022 at 12:07 PM

To: Oliver Netburn <oliver.netburn@lacity.org>, Planning CPC <cpc@lacity.org>

Cc: Chris Manasserian <Chris@gonzaleslawgroup.com>, Eric Herzog <herzog.eric@gmail.com>, Jeanette Laba <jl@jlabalaw.com>

Dear Honorable Commissioners and Mr. Netburn,

As you know, our firm represents Jeanette Laba and Eric Herzog in their appeal regarding DIR-2021-10084-TOC-HCA-1A. We are in receipt of the Applicant's proposed modified Conditions of Approval submitted earlier this morning and attached to this email. We support the conditions in full and strongly encourage CPC to incorporate and adopt them at the upcoming hearing on August 11th. If the proposed conditions are adopted by CPC and the project approved incorporates those modified conditions, the Applicants would have no further opposition to the proposed project. Thank you.

Best,

Alison

Alison Martinez**SheppardMullin** | Los Angeles

+1 213-455-7706 | ext. 17706

[Quoted text hidden]

Attention: This message is sent by a law firm and may contain information that is privileged or confidential. If you received this transmission in error, please notify the sender by reply e-mail and delete the message and any attachments.

**Proposed Conditions for 4544 West Los Feliz Development.pdf**

77K

Planning CPC <cpc@lacity.org>

Mon, Aug 8, 2022 at 2:52 PM

To: Chris Manasserian <Chris@gonzaleslawgroup.com>

Cc: Oliver Netburn <oliver.netburn@lacity.org>, Alison Martinez <AGMartinez@sheppardmullin.com>, Christopher Mamian <christophermamian@gmail.com>

Good afternoon,

Please note your secondary submission has been received and it will be distributed accordingly to the City Planning Commission for the meeting of August 11, 2022.

Thank you,



Cecilia Lamas, Commission Executive Asst.

- City Planning Commission (CPC)

- Harbor Area Planning Commission

200 N. Spring St., Room 272

Los Angeles, CA 90012

T: (213) 978-1299 | Planning4LA.org



Note: Regular Day Off Alternating Friday

[Quoted text hidden]

Proposed Modified Conditions of Approval

Proposed Modified Condition 7.c.:

c. A continuous privacy hedge planted along the southern edge of the property shall be incorporated into a landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning. The plants used for the privacy hedge shall initially be a minimum height of 10 feet and shall be maintained in accordance with the landscape plan.

Proposed New Condition 15:

15. **Haul Route.** The haul route for vehicles used during construction of the project shall not access the project site via Avocado Street between Hillhurst Avenue and Rodney Drive.

Proposed New Condition 16:

16. **Balconies.** No balconies shall be included on the southern wall of the building facing south toward Avocado Street. Parties understand that the rooftop deck is excluded from this condition. Parties also understand balconies with egresses towards the west and with a majority of their balcony frontage on the west side of the building are excluded from this condition, even if a portion of the balcony abuts the southern wall of the building.

Proposed New Condition 17:

17. **Rooftop Deck:** The use of the project's rooftop deck shall be restricted to the hours of 5:00 a.m. to 10:00 p.m. daily Sunday through Thursday, and 5:00 a.m. to 11:00 p.m. on Fridays and Saturdays. No amplified music shall be permitted on the rooftop deck at any time. The railings along the rooftop deck will be made of continuous, solid, non-porous, noise-dampening materials (rather than cable railings) at the height required by code.

DAY OF HEARING SUBMISSIONS



VAPP Construction and Pumping Station

Eliane Gans <elianegans@gmail.com>

Wed, Aug 10, 2022 at 6:43 PM

To: cpc@lacity.org

Cc: Steve Bradbury <steve@mycyberstuff.com>

To President Millman and Honorable Commissioners
City Planing Commission

I am a resident on Pacific Court/ South Esplanade West- 1/2 block from the pumping station.

I have been a resident and own the three Unit property, where I reside, for the past 38 years.

I feel that the residents of this community- especially the residents who live on the Canal, are being invaded, disrespected and disregarded.

We have moved to this community and this special area for reasons that the City Planning Commission may not understand. It is a peaceful, and non commercial area with beautiful residences, lovely landscaping, water and peace.

Now we are being invaded with a design of the pumping station that is horrible, not in keeping with any structures in the neighborhood and will be an eye sore to any adjacent residences.

The design, the noise from the transformers and other equipment will impact any neighboring homes and even visitors. The equipment may also be dangerous to the environment and to those of us who live here.

The City Planning Commission DOES NOT LIVE HERE. And We do! This is a matter of our well being and our daily lives!

The parking lot is not necessary, and in addition -WHY HAVE YOU REMOVED 4 PARKING SPACES necessary to the residents on Hurricane?? This area already has limited parking! This is not necessary, and another invasion and destruction of our quality of life in our neighborhood.

Lastly, and importantly, all of our property values will be diminished? Who would want to live near a Pumping station that makes noise, spies chemicals into the air and looks ugly, and an eye sore to the neighborhood...

I respectfully request that you re-design the new facility and review the recommendations that you have received. I also request that you landscape the entire area. And, of course, protect the neighboring residences.

With a plea of hope for your consideration and revisions, as requested by all of us who are residents; and the requests made by Genevieve and Mile Morril-Borassi. And Kristy Swanson.

These requests are truly from all of us in the neighborhood, and I respectfully ask for your assistance and re-consideration of the current plan.

Sincerely,

Eliane Gans

Property owner: 3933 Esplanade West, Marina del Rey, CA 90292

8/11/2022

Los Angeles City Planning Commission
200 N. Spring Street, Suite 525
Los Angeles, CA 90012

cpc@lacity.org
Via Email

Re: 4544 West Los Feliz Boulevard & 2140 North Rodney Drive
APN 5590003006

Dear Los Angeles City Planning Commission,

YIMBY Law is a 501(c)3 non-profit corporation, whose mission is to increase the accessibility and affordability of housing in California. YIMBY Law sues municipalities when they fail to comply with state housing laws, including the Housing Accountability Act (HAA). As you know, the City Planning Commission has an obligation to abide by all relevant state housing laws when evaluating the above captioned proposal, including the HAA. Should the City fail to follow the law, YIMBY Law will not hesitate to file suit to ensure that the law is enforced.

The project will replace a single-family home with a five story, 27-unit residential apartment building, including three units reserved for Extremely Low-Income Households.

California Government Code § 65589.5, the Housing Accountability Act, prohibits localities from denying housing development projects that are compliant with the locality's zoning ordinance or general plan at the time the application was deemed complete, unless the locality can make findings that the proposed housing development would be a threat to public health and safety.

The above captioned proposal is zoning compliant and general plan compliant, therefore, your local agency must approve the application, or else make findings to the effect that the proposed project would have an adverse impact on public health and safety, as described above. In addition, the appeal, which accuses the project of not complying with a *potential* historic district designation, is blatantly frivolous. The commission should follow the staff recommendation and deny the appeal.

Should the City fail to comply with the law, YIMBY Law will not hesitate to take legal action to ensure that the law is enforced.

I am signing this letter both in my capacity as the Executive Director of YIMBY Law, and as a resident of California who is affected by the shortage of housing in our state.

Sincerely,

A handwritten signature in black ink that reads "Sonja Trauss". The signature is fluid and cursive, with a large, stylized 'S' and a prominent flourish at the end of the word "Trauss".

Sonja Trauss
Executive Director
YIMBY Law