

GENERAL INFORMATION ABOUT THE CONTENTS OF THIS FILE

Submissions by the public in compliance with the Commission Rules and Operating Procedures (ROPs), Rule 4.3, are distributed to the Commission and uploaded online. Please note that “compliance” means that the submission complies with deadline, delivery method (hard copy and/or electronic) AND the number of copies. Please review the Commission ROPs to ensure that you meet the submission requirements. The ROPs can be accessed at <http://planning.lacity.org>, by selecting “Commissions & Hearings” and selecting the specific Commission.

All compliant submissions may be accessed as follows:

- **“Initial Submissions”**: Compliant submissions received no later than by end of day Monday of the week prior to the meeting, which are not integrated by reference or exhibit in the Staff Report, will be appended at the end of the Staff Report. The Staff Report is linked to the case number on the specific meeting agenda.
- **“Secondary Submissions”**: Submissions received after the Initial Submission deadline up to 48-hours prior to the Commission meeting are contained in this file and bookmarked by the case number.
- **“Day of Hearing Submissions”**: Submissions after the Secondary Submission deadline up to and including the day of the Commission meeting will be uploaded to this file within two business days after the Commission meeting.

Material which does not comply with the submission rules is not distributed to the Commission.

ENABLE BOOKMARS ONLINE:

**If you are using Explorer, you need will need to enable the Acrobat  toolbar to see the bookmarks on the left side of the screen.

If you are using Chrome, the bookmarks are on the upper right-side of the screen. If you do not want to use the bookmarks, simply scroll through the file.

If you have any questions, please contact the Commission Office at (213) 978-1300.

SECONDARY SUBMISSIONS

Jesi Harris, Brian Silveira &
Associates
jesi@bsilveira.associates

West Los Angeles Area Planning Commission
APCW-2024-5236-SPPE-SPPC-CDP-CUB-WDI-ZV
+
APCW-2024-5238-SPPE-SPPC-CDP-CUB-WDI-ZV

05.07.2025



Windward, 1910





29-62





VENICE HISTORICAL SOCIETY

September 18, 1990

Councilwoman Galanter
200 North Spring Street
Room 239
Los Angeles, California 90012

Attention: Jim Bickhart

RE: Proposed Guidelines for the Venice Historical Arcade Area

Dear Councilwoman Galanter:

The following is an initial draft of Proposed Guidelines for the Venice Historical Arcade Area which we feel would be appropriate to include in the Draft L.U.P. and L.I.P. currently being considered by the L.A. City Planning Department. We feel that more specific protective guidelines are essential to the preservation and restoration of this area of Venice.

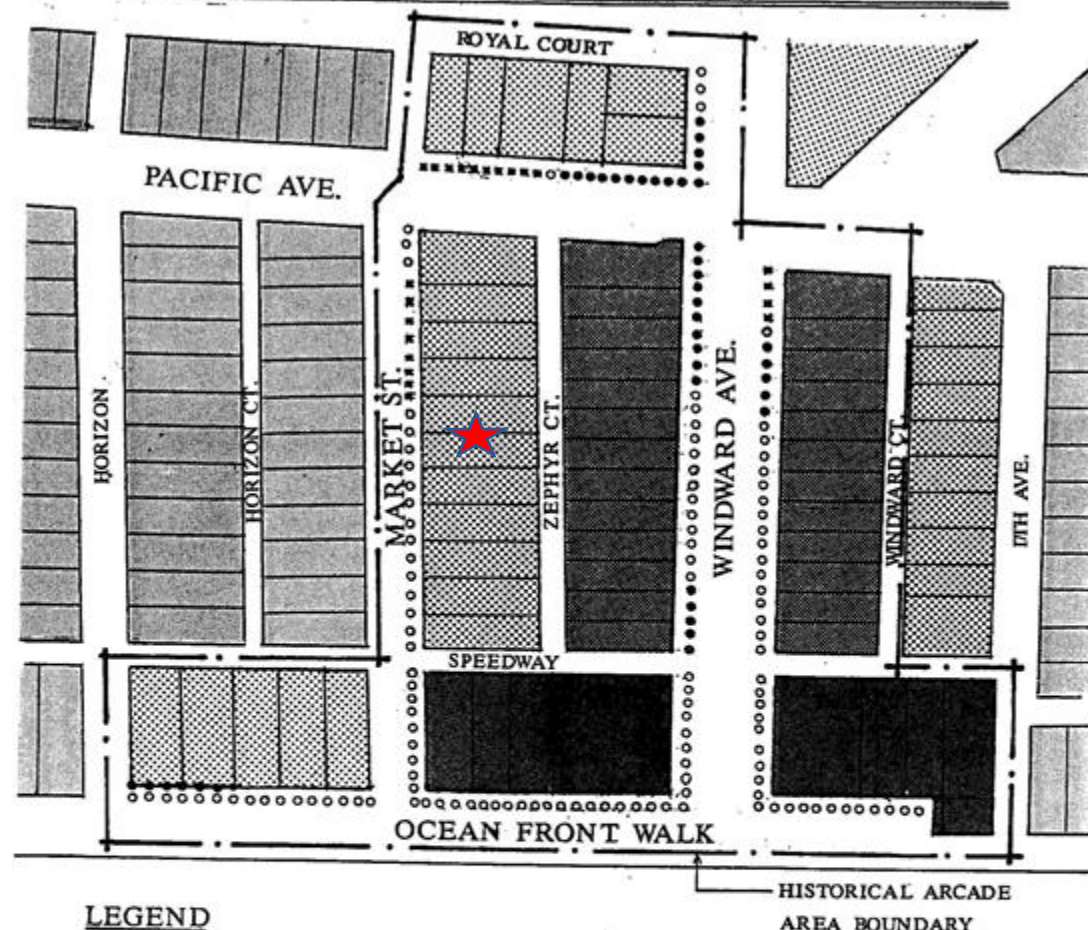
The vision that Venice's original developer, Abbot Kinney, imported to this Southern California seaside resort in 1905 was rather ambitious. In the early years, Venice was full of tourists, amusements, and recreational activity supported by a richly interwoven urban architecture. Today, although Venice and particularly its Ocean Front Walk are still a vibrant scene of visitors and activity, there remain only scattered fragments of the original architecture. However, even the few remaining original buildings, some in much disrepair, still seem to be richer and more successful both aesthetically and urbanistically than any of the newer projects.

Windward Avenue was and is the center of Venice. It deserves a more noble appearance; one that Venice would be proud to share with the countless tourists and beachgoers that visit from all over the world.

Architectural diversity is an important aspect of Venice. This should continue to be encouraged, but at the same time the order and strength of the arcade as a unifying element within the center of the diverse fabric of Venice is both appropriate and pleasing. The arcade also provides climactic protection to the pedestrian. Although rare in the United States, these covered sidewalks are found in many parts of the world and, in particular, Venice, Italy, the source of architectural inspiration for Windward Avenue. We are fortunate in our

Post Office Box 2012, Venice, California 90294

VENICE HISTORICAL ARCADE AREA



LEGEND

●● EXISTING ARCADE

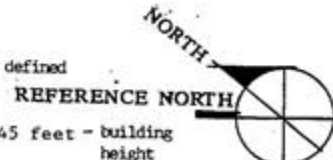
○○ NEW ARCADE

■ LOW ZONE - building height as defined by other sections of this document

▨ MEDIUM ZONE - 30 feet - 45 feet - building height

■ HIGH ZONE - 45 feet - 52 feet - building height plus:

■ EXISTING NON-CONFORMING ARCADE



(10 feet maximum to top of: sloped roofs, towers, decorative parapets, gables & cornices, provided they comprise no more than 25% of total lot area and no more than 50% across length of each elevation.)

EXHIBIT 'A'



60

52

NO
TRESPASSING

NO
TRESPASSING

GETS
HOT
STAY
11AM - 1PM
TUESDAY
DIRECT CLEANING





Current Setback Conditions on Market Street Between Pacific Avenue and Speedway

1501 S Pacific
Avenue; No Market
Street frontage

74-76 E
Market St;
0-ft front
setback

72 E
Market St;
0-ft front
setback

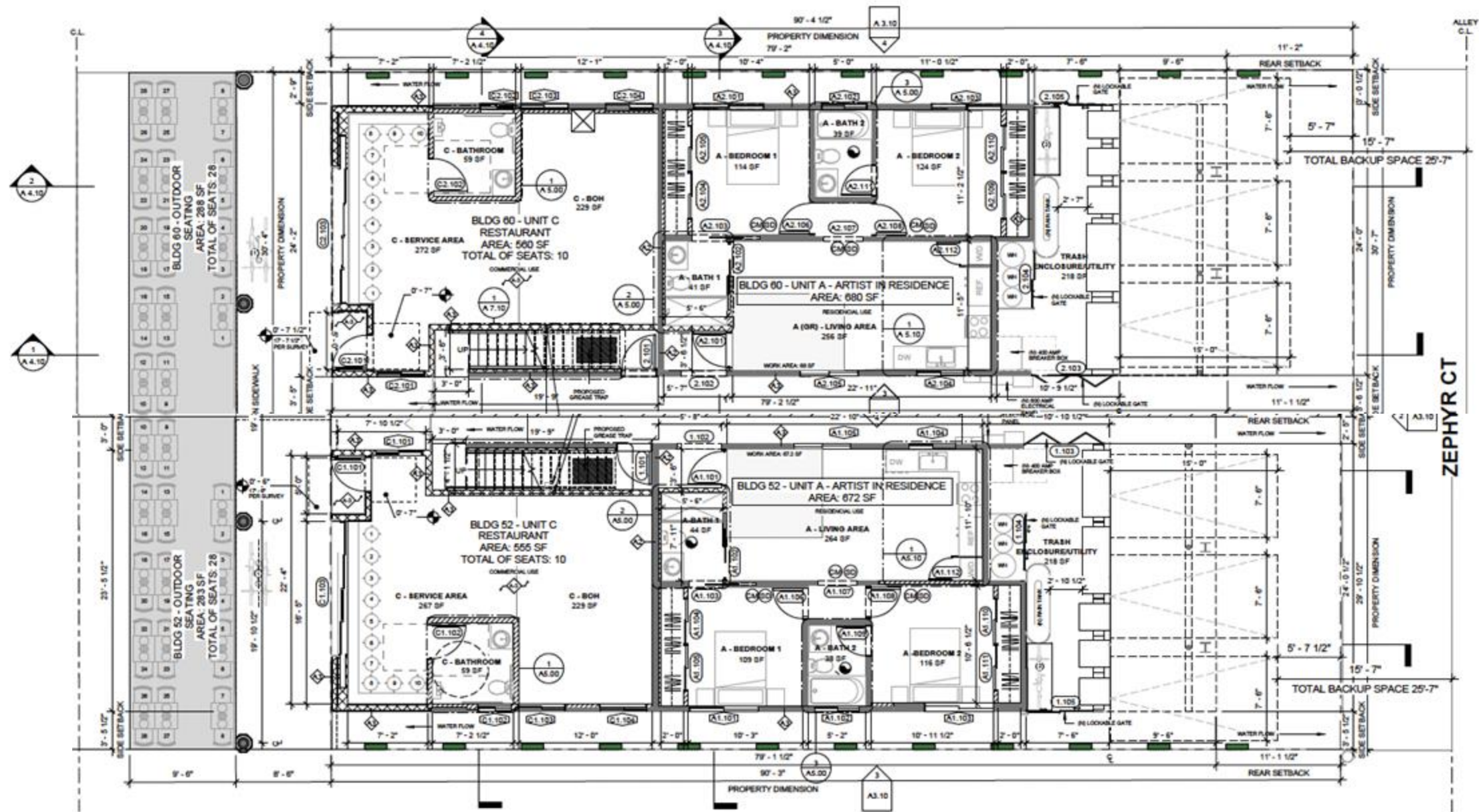
64 E Market
St; 0-ft front
setback

Project Sites;
9-ft front
setbacks

44-46 E Market
St; 0-ft front
setback

40-42 E Market
St; 0-ft front
setback

21-85 E Market St; 12 lots with 0-ft front setbacks







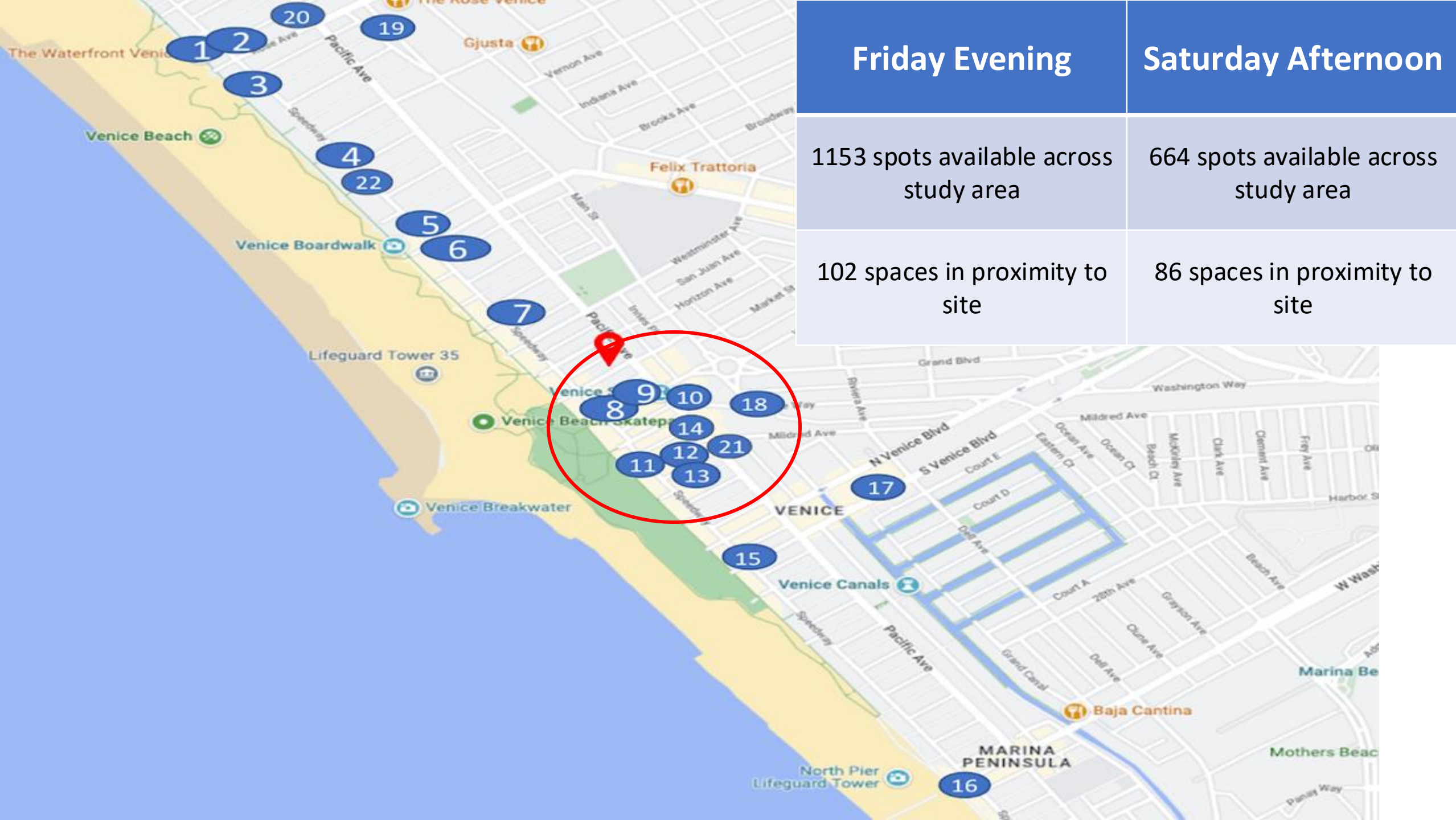


Circa 1970s

Community Support

- Vote of support from Venice Neighborhood Council LUPC
- Vote of support from Venice Neighborhood Council Board
- Letters of support from longtime community members and other property owners along the street
- Letter of support from the Los Angeles Conservancy

Extra Slides



- AB 2097
 - BBB Line 1 and Metro Line 33
- Bike infrastructure
- 15-minute bike ride to SMC Expo Station
- Nearby parking availability





52 Market Street				
Existing		Proposed		Net +/-
Studio A (1 st floor)	291 sf	Studio A (2 nd floor)	395 sf	+104 sf
2BD A (1 st floor)	702 sf	2BD A (1 st floor)	696 sf	-6 sf
Studio B (2 nd floor)	290 sf	Studio B (2 nd floor)	291 sf	-1 sf
2BD B (2 nd floor)	1,134 sf	2BD B (2 nd floor)	840 sf	-294 sf
Total:	2,417 sf	Total:	2,222 sf	-195 sf (8%)
60 Market Street				
Existing		Proposed		Net +/-
Studio A (1 st floor)	295 sf	Studio A (2 nd floor)	400 sf	+105 sf
2BD A (1 st floor)	707 sf	2BD A (1 st floor)	703 sf	-4 sf
Studio B (2 nd floor)	295 sf	Studio B (2 nd floor)	293 sf	-2 sf
2BD B (2 nd floor)	1,138 sf	2BD B (2 nd floor)	840 sf	-298 sf
Total:	2,435 sf	Total:	2,236 sf	-199 sf (8%)

Industrial and Rights-of-Way Land Use and Development Standards

Policy I. C. 1. Industrial Land Use. The Land Use Plan designates approximately 53 acres of land for Limited Industry land uses. It is the policy of the City to preserve this valuable land resource from the intrusion of other uses, and to ensure its development with high quality industrial uses. Commercial use of industrially designated land shall be restricted. Artist studios with residences may be permitted in the Limited Industry land use category. Adequate off-street parking shall be required for all new or expanded industrial land uses consistent with Policies II.A.3 and II.A.4. The design, scale and height of structures in areas designated for industrial land uses shall be compatible with adjacent uses and the neighboring community.

Policy I. C. 2. Coastal Industry. Boat building, servicing, supply, and

Venice Hotel, 1920



Windward, 1927



breakform design

52 MARKET ST

REVIEWS

COVER

Sheet Number		Sheet Name	
CS 04	CONTEXT STUDY - PACIFIC AVE		
STRUCTURE			
S1 00	GENERAL NOTES		
S1 01	GENERAL NOTES		
S1 10	TYPICAL DETAILS		
S1 11	TYPICAL DETAILS		
S1 20	TYPICAL DETAILS		
S1 30	TYPICAL DETAILS		
S1 31	TYPICAL DETAILS		
S1 32	TYPICAL DETAILS		
S1 33	TYPICAL DETAILS		
S1 40	TYPICAL DETAILS		
S1 41	TYPICAL DETAILS		
S2 00	FOUNDATION PLAN		
S2 10	SECOND FLOOR FRAMING PLAN		
S2 20	ROOF FRAMING PLAN		
S3 00	SPECIAL DETAILS		
S3 01	SPECIAL DETAILS		
S4 01	SQA FOR STEEL MOMENT FRAMES		
S4 02	SQA FOR STEEL MOMENT FRAMES		
S4 03	SQA FOR STEEL MOMENT FRAMES		
S4 04	SPECIAL DETAILS		
S4 05	SPECIAL DETAILS		
S4 06	SPECIAL DETAILS		

DRINKING FOUNTAIN	
1 PER 250	

PLUMBING NOTES PER CPC 2022

*THE MINIMUM NUMBER OF FIXTURES SHALL BE CALCULATED AT 50 PERCENT MALE AND 50 PERCENT FEMALE BASED ON THE TOTAL OCCUPANT LOAD.

PER CPC TABLE 422.1 TOTAL NUMBER OF FIXTURES:

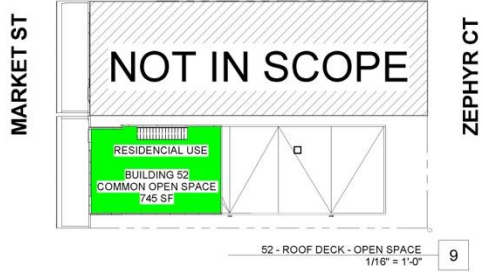
	WATER CLOSET	URINAL	LAVATORY	DRINKING FOUNTAIN
REQUIRED	1	1	1	1
PROVIDED	1	1	1	0

SECTION 422.2 EXCEPTION

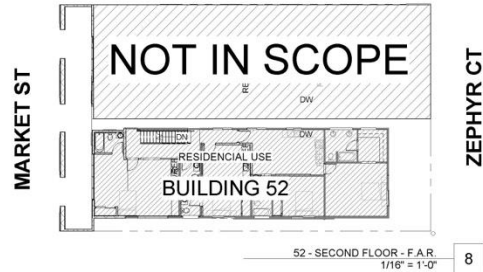
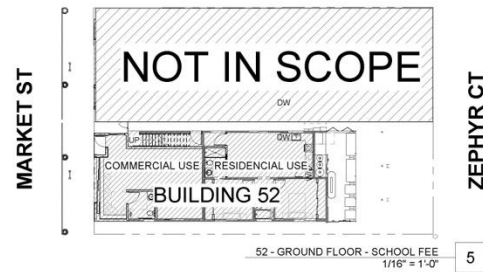
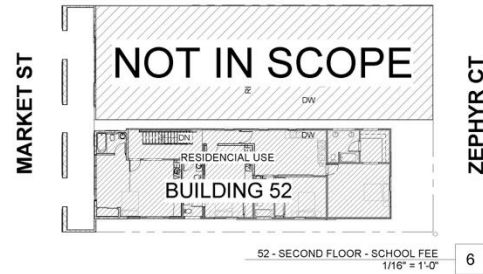
(4) SEPARATE FACILITIES SHALL NOT BE REQUIRED WHERE ROOMS HAVE FIXTURES DESIGNED FOR USE BY ALL GENDERS AND THE WATER CLOSETS ARE INSTALLED IN PRIVACY COMPARTMENTS.

[illegible]

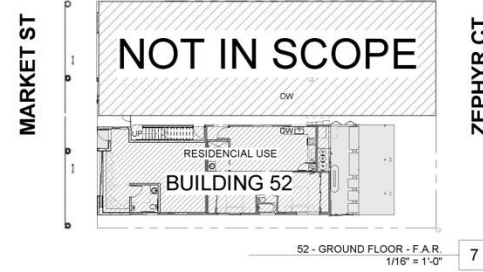
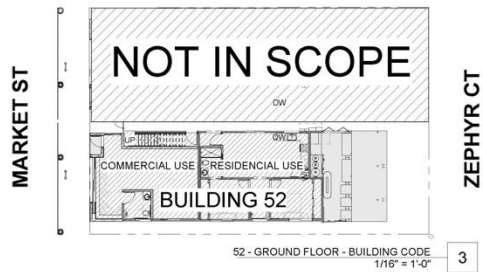
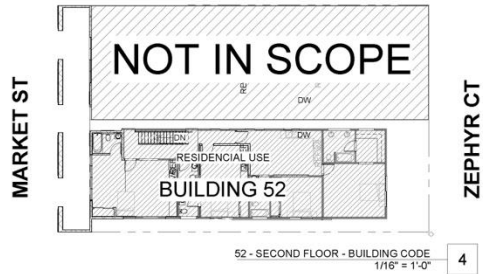
DRAWN JV
CHECKED BD
DATE 01/15/2024
SCALE 1/4" = 1'-0"
JOB # 23 - A004
A0.00



SCHOOL FEE FLOOR AREA - BUILDING 52	
FIRST FLOOR	1,431 SF
SECOND FLOOR	1,897 SF
TOTAL PROVIDED	3,328 SF



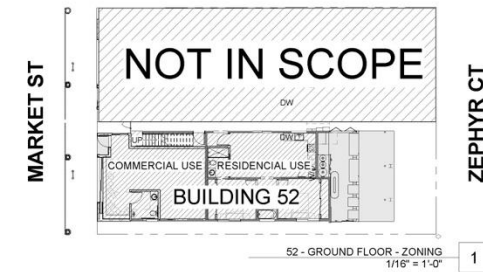
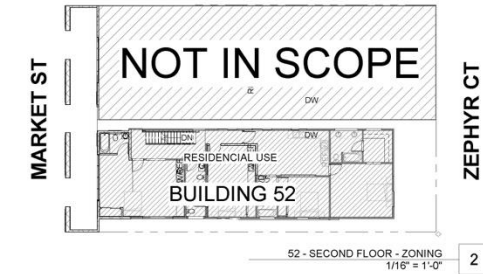
BUILDING CODE FLOOR AREA - BUILDING 52	
FIRST FLOOR COVERED	1,322 SF
SECOND FLOOR	1,788 SF
TOTAL PROVIDED	3,573 SF



F.A.R. - BUILDING 52	
FIRST FLOOR COVERED	1,275 SF
SECOND FLOOR	1,745 SF
TOTAL PROVIDED	3,483 SF
FAR PROVIDED	1.3:1

ADDITION
1ST FLOOR: 290 SF
2ND FLOOR: 211 SF
TOTAL: 501 SF

ZONING CODE FLOOR AREA - BUILDING 52	
FIRST FLOOR COVERED	1,275 SF
SECOND FLOOR	1,745 SF
TOTAL PROVIDED	3,483 SF



breakformdesign

127 arena street, el lagunillo, ca 92646
65 310.323.3700

LICENSED ARCHITECT
BRANDY DAVIES
No. C-34387
10031204
GENERAL TEST
STATE OF CALIFORNIA

52 MARKET ST

REVISIONS

AREA CALCULATIONS

DRAWN JV

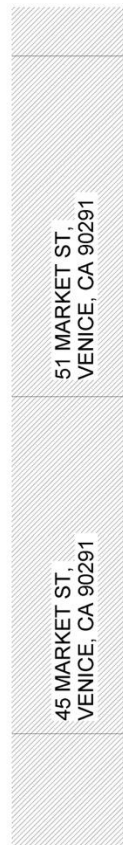
CHECKED BD

DATE 4/7/2025 3:04:18 PM

SCALE As indicated

JOB # 23 - A204

A0.16



CL



51 WINDWARD AVE,
VENICE CA 90291

1

52 MARKET ST



CL

ALLEY
C.L.

PLOT PLAN - BUILDING 52
3/16" = 1'-0"

	1
--	---



REVISIONS

DRAWN JV
CHECKED BD
DATE 4/7/2025 3:04:19 PM
SCALE 3/16" = 1'-0"
JOB # 23 - A004

A1.02

1. ANY DEMOLITION DRAWINGS AND NOTES ARE PROVIDED FOR CONVENIENCE AND INFORMATION ONLY AND ARE NOT INTENDED TO REPRESENT THE COMPREHENSIVE STATE OF THE BUILDING(S). VERIFY THE EXISTING STATE OF THE BUILDING(S) FINISHES AND BUILDING SYSTEMS.

3. FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED BY THE CONTRACTOR FOR CONFORMANCE WITH THE REQUIREMENTS OF THE NEW CONSTRUCTION. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.

4. CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS.

5. CONTRACTOR SHALL TAKE SPECIAL CARE TO PRESERVE THOSE ELEMENTS THAT ARE TO REMAIN. ANY ITEMS THAT ARE TO BE RE-USED MUST BE STORED AND PROTECTED AS REQUIRED FOR RE-USE.

6. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE EXISTING STRUCTURE.

7. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.

B. NO STRUCTURAL MEMBER IN ANY STORY SHALL BE DEMOLISHED UNTIL THE STORY ABOVE IS COMPLETELY REMOVED.

C. THERE WILL BE NO FREE FALL DUMPING OVER EXTERIOR WALL FOR A HEIGHT OF MORE THAN 25 FEET.

E. APPROVAL OF PROTECTION FENCES AND CANOPIES IS REQUIRED PRIOR TO DEMOLITION.

G. STORAGE OF MATERIALS ON FLOORS SHALL NOT EXCEED (____) PSF LIVE LOAD.

* AN 8-FOOT HIGH CHAIN LINK FENCE MUST BE PROVIDED TO PREVENT UNAUTHORIZED ENTRY TO THE VACANT LOT AFTER DEMOLITION.

HANDWRECKING: USE OF SMALL WHEEL MOUNTED PNEUMATIC TOOLS WILL BE PERMITTED IF FIRST APPROVED BY BUILDING INSPECTOR.

1. A MINIMUM OF 50% OF NONHAZARDOUS CONSTRUCTION WASTE IS TO BE RECYCLED

2. TESTING AND ADJUSTING OF NEW SYSTEMS INSTALLED TO SERVE AN ADDITION OR ALTERATION SUBJECT TO SECTION 5.701.1 SHALL BE REQUIRED

3. PROVIDE THE BUILDING OWNER OR REPRESENTATIVE WITH DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF GUARANTIES/ WARRANTIES FOR EACH SYSTEM. O&M INSTRUCTIONS SHALL BE CONSISTENT WITH OSHA REQUIREMENTS IN CCR, TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS.

4. AT THE TIME OF ROUGH INSTALLATION AND DURING STORAGE ON THE CONSTRUCTION SITE UNTIL FINAL STARTUP OF HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM

5. VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 5.504.4 AND TABLES 4.504.1, 5.504.4.2, 5.504.4.3 AND 5.504.4.5 FOR: ADHESIVES, SEALANTS, PAINTS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS.

6. WASTE WATER FIXTURES SHALL COMPLY WITH THE STANDARDS LISTED IN CGC TABLE 5.303.6 AND 5.712.3.5.

7. WHERE LANDSCAPE IRRIGATION IS A PART OF THE ADDITION OR TENANT IMPROVEMENT, LANDSCAPE IRRIGATION WATER USE SHALL HAVE WEATHER BASED CONTROLLERS. CGC 5.712.4.3.1.

8. SUBMIT TO THE ENGINEERING DEPARTMENT A CONSTRUCTION WASTE MANAGEMENT PLAN THAT OUTLINES THE ITEMS LISTED IN CGC SECTION 5.713.8.1.1

9. PRIOR TO FINAL APPROVAL OF THE BUILDING THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IS RESPONSIBLE FOR THE OVERALL CONSTRUCTION AND MUST COMPLETE AND SIGN THE CITY-APPROVED GREEN BUILDING STANDARDS CERTIFICATION FORM OR OTHER DOCUMENTATION REQUIRED BY THE CITY AND GIVEN TO THE BUILDING DEPARTMENT OFFICIAL PRIOR TO BUILDING FINAL APPROVAL TO BE FILED WITH THE APPROVED PLANS.

10. THIS PROJECT IS NOT LOCATED WITHIN A CNEL OF 65 OR GREATER.

	FLOOR TYPE		EXISTING WALL
	WINDOW TAG (A0 28 WINDOW SCHEDULE)		DEMOLISHED
	DOOR TAG (A0 07 DOOR SCHEDULE)		NEW EXTERIOR WALL 1HR FIRE RATED
	WALL TYPE		NEW INTERIOR WALL 1HR FIRE RATED
	ELEVATION MARKER		SMOKE DETECTOR
	PROPERTY LINE		CARBON MONOXIDE
	ACCESSIBLE ROUTE		EXHAUST
	CLOSET		ILLUMINATED EXIT SIGN
	WORK AREA: 10% OF TOTAL UNIT AREA		BOUGAINVILLEA / BARBARA KARST PLANT

1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

2. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

3. THE BUILDING IS NOT EXPOSED TO A NOISE LEVEL OF 65 DB LEQ-1 DURING ANY HOUR OF OPERATION.

NUMBER	LENGTH	WALL LENGTH	
1	16'-0 1/2"	19'-6 1/2"	0'-0"
2	16'-0 1/2"	0'-0"	53'-2"
3	24'-0 1/2"	0'-0"	24'-0 1/2"
4	33'-4 1/2"	0'-0"	33'-4 1/2"
5	15'-6"	0'-0"	13'-0"
6	8'-0"	0'-0"	8'-0"
7	16'-0 1/2"	0'-0"	8'-0"
8	16'-0 1/2"	19'-1 1/2"	0'-11"
9	70'-2"	0'-0"	70'-2"
10	24'-0 1/2"	0'-0"	24'-0 1/2"
11	50'-4"	0'-0"	50'-4"
12	13'-0"	0'-0"	13'-0"
13	8'-0"	0'-0"	8'-0"
14	19'-0"	0'-0"	19'-0"
15	16'-0 1/2"	19'-6 1/2"	0'-0"
16	70'-2"	0'-0"	70'-2"
17	16'-0 1/2"	0'-0"	70'-11"
18	29'-0 1/2"	29'-0 1/2"	0'-0"
19	6'-6 1/2"	6'-6 1/2"	0'-0"
20	13'-10 1/2"	13'-10 1/2"	0'-0"
21	6'-6 1/2"	6'-6 1/2"	0'-0"
22	5'-10 1/2"	5'-10 1/2"	0'-0"
23	6'-6 1/2"	6'-6 1/2"	0'-0"
24	5'-10 1/2"	5'-10 1/2"	0'-0"
25	6'-6 1/2"	6'-6 1/2"	0'-0"
26	5'-10 1/2"	5'-10 1/2"	0'-0"
27	6'-6 1/2"	6'-6 1/2"	0'-0"
28	5'-10 1/2"	5'-10 1/2"	0'-0"
TOTAL	622'-9"	138'-8"	684'-1"
75% OF WALLS REMAINING			

ALLEY
CL

MARKET ST

ZEPHYR CT

NOT IN SCOPE

EXISTING GROUND FLOOR
3/16" = 1'-0"

1

EXISTING &
DEMO
PLANS

DRAWN JV

CHECKED BD

DATE 4/7/2025 3:04:21 PM

SCALE As indicated

308 # 23 - A004

A2.00

LICENSED ARCHITECT
 RAMSEY DAHAM
 No. C-34257
 10/31/24
 RENEWAL DATE
 STATE OF CALIFORNIA

52 MARKET ST

127 arena street, el segundo, ca 90245
[c] 310.322.3700

breakform design

1. ANY DEMOLITION DRAWINGS AND NOTES ARE PROVIDED FOR CONVENIENCE AND INFORMATION ONLY AND ARE NOT INTENDED TO REPRESENT THE COMPREHENSIVE STATE OF THE BUILDING(S). VERIFY THE EXISTING STATE OF THE BUILDING(S) FINISHES AND BUILDING SYSTEMS.

3. FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED BY THE CONTRACTOR FOR CONFORMANCE WITH THE REQUIREMENTS OF THE NEW CONSTRUCTION. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.

5. CONTRACTOR SHALL TAKE SPECIAL CARE TO PRESERVE THOSE ELEMENTS THAT ARE TO REMAIN. ANY ITEMS THAT ARE TO BE RE-USED MUST BE STORED AND PROTECTED AS REQUIRED FOR RE-USE.

6. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE EXISTING STRUCTURE.

G. STORAGE OF MATERIALS ON FLOORS SHALL NOT EXCEED (____) PSF LIVE LOAD.

METHOD OF DEMOLITION:

1

1. ANY DEMOLITION DRAWINGS AND NOTES ARE PROVIDED FOR CONVENIENCE AND INFORMATION ONLY AND ARE NOT INTENDED TO REPRESENT THE COMPREHENSIVE STATE OF THE BUILDING(S). VERIFY THE EXISTING STATE OF THE BUILDING(S) FINISHES AND BUILDING SYSTEMS.

3. FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED BY THE CONTRACTOR FOR CONFORMANCE WITH THE REQUIREMENTS OF THE NEW CONSTRUCTION. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.

5. CONTRACTOR SHALL TAKE SPECIAL CARE TO PRESERVE THOSE ELEMENTS THAT ARE TO REMAIN. ANY ITEMS THAT ARE TO BE RE-USED MUST BE STORED AND PROTECTED AS REQUIRED FOR RE-USE.

6. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE EXISTING STRUCTURE.

1

A2.02

ASSEMBLY TYPES

WALLS

A1

2x4 & 2x6 INTERIOR WALL ASSM. (1/40 11)

A2

1-HR 2x4 & 2x6 INTERIOR WALL ASSM. (1/40 11)

A3

1-HR 2x4 & 2x6 EXTERIOR WALL W/ STUCCO FINISH ASSM. (3/40 11)

FLOORS

A4

CONC. FLOOR PER STRC. W/ POLISHED CONC. FINISH (1/40 12)

A5

CONC. FLOOR PER STRC. W/ WOOD FINISH (2/40 12)

A6

CONC. FLOOR PER STRC. W/ TILE FINISH (3/40 12)

A7

WOOD JOIST PER STRC. W/ WOOD FINISH (5/40 12)

A8

WOOD JOIST PER STRC. W/ TILE FINISH (5/40 12)

A9

WOOD JOIST W/ WOOD DECK PER SPEC. (6/40 12)

A10

WOOD JOIST W/ ROOFING MEMBRANE PER SPEC. (7/40 12)

LONG TERM BICYCLE PARKING

SEE SPECS AT PAGE A0 06 E

SEE DETAIL AT PAGE A0 14 5, #1

TOTAL: 2 SPACES

SHORT TERM BICYCLE PARKING

SEE SPECS AT PAGE A0 06 E

TOTAL: 1 RACKS X 2 = 2 SPACES

FLOOR PLAN LEGEND

FLOOR TYPE

WINDOW TAG (A0 09 WINDOW SCHEDULE)

DOOR TAG (A0 07 DOOR SCHEDULE)

WALL TYPE

ELEVATION MARKER

PROPERTY LINE

ACCESSIBLE ROUTE

CLOSET

WORK AREA: 10% OF TOTAL UNIT AREA

EXISTING WALL

DEMOLISHED

NEW EXTERIOR WALL 1HR FIRE RATED

NEW INTERIOR WALL 1HR FIRE RATED

SMOKE DETECTOR

CARBON MONOXIDE

EXHAUST

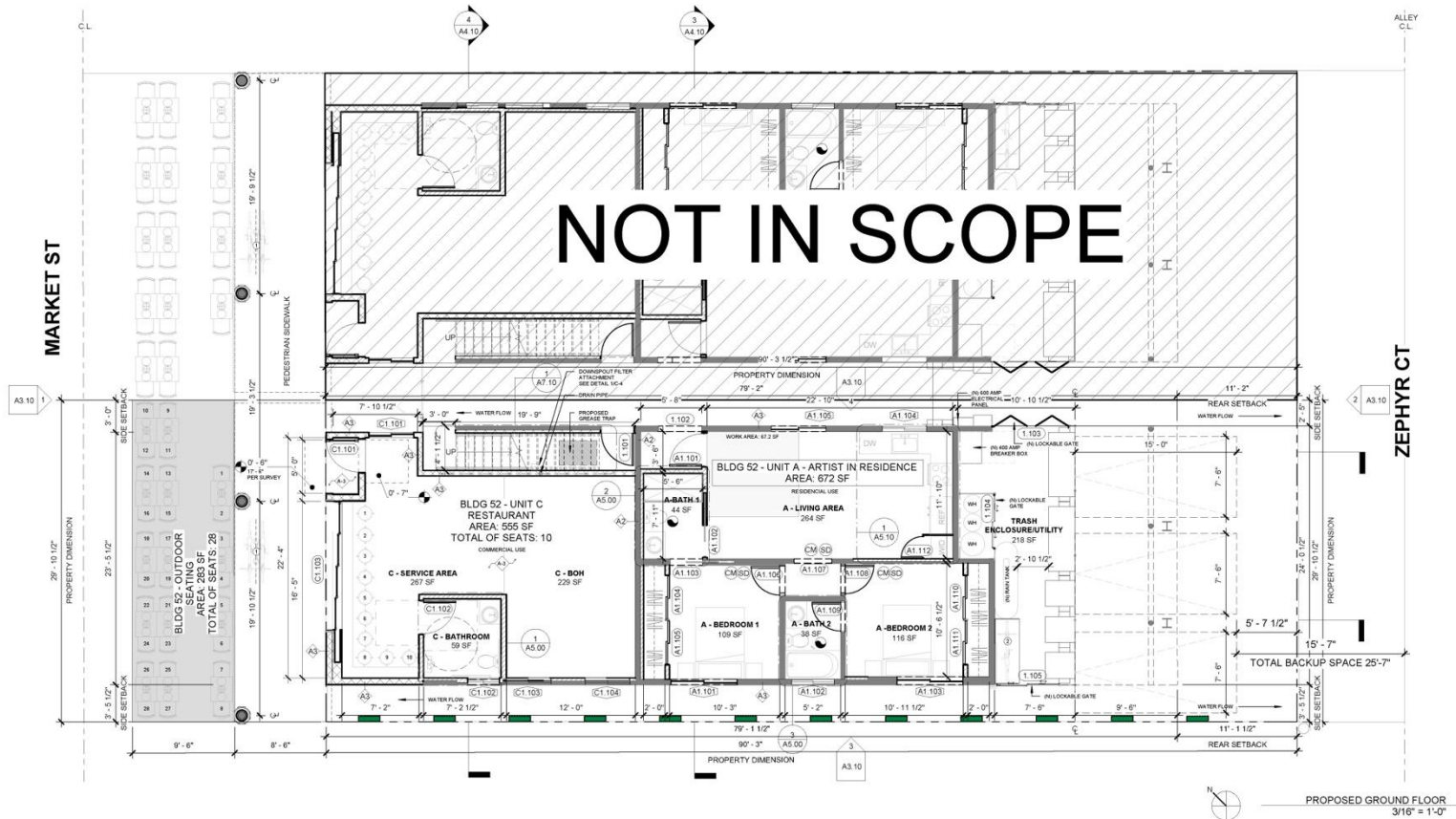
ILLUMINATED EXIT SIGN

BOULANVILLE / BARBARA KARST PLANT

1. FANS SHALL BE ENERGY START COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

2. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

3. THE BUILDING IS NOT EXPOSED TO A NOISE LEVEL OF 65 DB LEG-1 DURING ANY HOUR OF OPERATION.



breakformdesign

127 AREA STREET, EL SEGUNDO, CA 90245
62 310.222.3700

LICENSED ARCHITECT

BARBARA KARST
No. C-34387
1003204
EXPIRATION DATE
STATE OF CALIFORNIA

52 MARKET ST

REVISIONS

PROPOSED PLANS

DRAWN: JV

CHECKED: BD

DATE: 4/7/2025 3:04:24 PM

SCALE: As indicated

JOB #: 23 - A204

A2.10

WALLS

A1

2x4 & 2x6 INTERIOR WALL ASSM. (1/40 11)

A2

1-HR 2x4 & 2x6 INTERIOR WALL ASSM. (2/40 11)

A3

1-HR 2x4 & 2x6 EXTERIOR WALL W/ STUCCO FINISH ASSM. (3/40 11)

FLOORS

A4

CONC. FLOOR PER STRC. W/ POLISHED CONC. FINISH (1/40 12)

A5

CONC. FLOOR PER STRC. W/ WOOD FINISH (2/40 12)

A6

CONC. FLOOR PER STRC. W/ TILE FINISH (3/40 12)

A7

WOOD JOIST PER STRC. W/ WOOD FINISH (4/40 12)

A8

WOOD JOIST PER STRC. W/ TILE FINISH (5/40 12)

A9

WOOD JOIST W/ WOOD DECK PER SPEC. (6/40 12)

A10

WOOD JOIST W/ ROOFING MEMBRANE PER SPEC. (7/40 12)

FLOOR PLAN LEGEND

FLOOR TYPE

WINDOW TAG (A0 09 WINDOW SCHEDULE)

DOOR TAG (A0 07 DOOR SCHEDULE)

WALL TYPE

ELEVATION MARKER

PROPERTY LINE

ACCESSIBLE ROUTE

CLOSET

WORK AREA: 10% OF TOTAL UNIT AREA

EXISTING WALL

DEMOLISHED

NEW EXTERIOR WALL 1HR FIRE RATED

NEW INTERIOR WALL 1HR FIRE RATED

SMOKE DETECTOR

CARBON MONOXIDE

EXHAUST

ILLUMINATED EXIT SIGN

1. FANS SHALL BE ENERGY START COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

2. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

3. THE BUILDING IS NOT EXPOSED TO A NOISE LEVEL OF 65 DB LEG-1 DURING ANY HOUR OF OPERATION.

breakformdesign
127 AREA STREET, #1, SAN ANTONIO, TX 78204
512.322.3700

LICENSED ARCHITECT
BENJAMIN DAVIES
No. C-34387
1003204
SINCE 2016
STATE OF CALIFORNIA

52 MARKET ST

REVISIONS

PROPOSED PLANS

DRAWN: JV
CHECKED: BD
DATE: 4/7/2025 3:04:26 PM
SCALE: As indicated
JOB #: 23 - A204

A2.11

WALLS

A1

2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.11)

A2

1-HR 2x4 & 2x6 INTERIOR WALL ASSM. (2/A0.11)

A3

1-HR 2x4 & 2x6 EXTERIOR WALL W/ STUCCO FINISH ASSM. (3/A0.11)

FLOORS

A4

CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (1/A0.12)

A5

CONC FLOOR PER STRC. W/ WOOD FINISH (2/A0.12)

A6

CONC FLOOR PER STRC. W/ TILE FINISH (3/A0.12)

A7

WOOD JOIST PER STRC. W/ WOOD FINISH (4/A0.12)

A8

WOOD JOIST PER STRC. W/ TILE FINISH (5/A0.12)

A9

WOOD JOIST W/ WOOD DECK PER SPEC. (6/A0.12)

A10

WOOD JOIST W/ ROOFING MEMBRANE PER SPEC. (7/A0.12)

FLOOR PLAN LEGEND

FLOOR TYPE

WINDOW TAG (A0.09 WINDOW SCHEDULE)

DOOR TAG (A0.07 DOOR SCHEDULE)

WALL TYPE

ELEVATION MARKER

PROPERTY LINE

ACCESSIBLE ROUTE

CLOSET

WORK AREA: 10% OF TOTAL UNIT AREA.

EXISTING WALL

DEMOLISHED

NEW EXTERIOR WALL 1HR FIRE RATED

NEW INTERIOR WALL 1HR FIRE RATED

SMOKE DETECTOR

CARBON MONOXIDE

EXHAUST

ILLUMINATED EXIT SIGN

BOLCAINVILLE / BARBARA KARST PLANT

1. FANS SHALL BE ENERGY START COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

2. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

3. THE BUILDING IS NOT EXPOSED TO A NOISE LEVEL OF 65 DB LEG-1 DURING ANY HOUR OF OPERATION.

4. ROOFING MATERIAL - ROOF TYPE: DERBIBRITE / A0.06 C.
- COLOR: LIGHT GREY
- SRI: 81 | Reflectivity: 0.88

breakformdesign

127 WEST STREET, #100, LOS ANGELES, CA 90045
310.222.3700

LICENSED ARCHITECT

BARBARA KARST
No. C-34387

100% OK
RENEWAL DATE

STATE OF CALIFORNIA

52 MARKET ST

REVISIONS

PROPOSED PLANS

DRAWN: JN

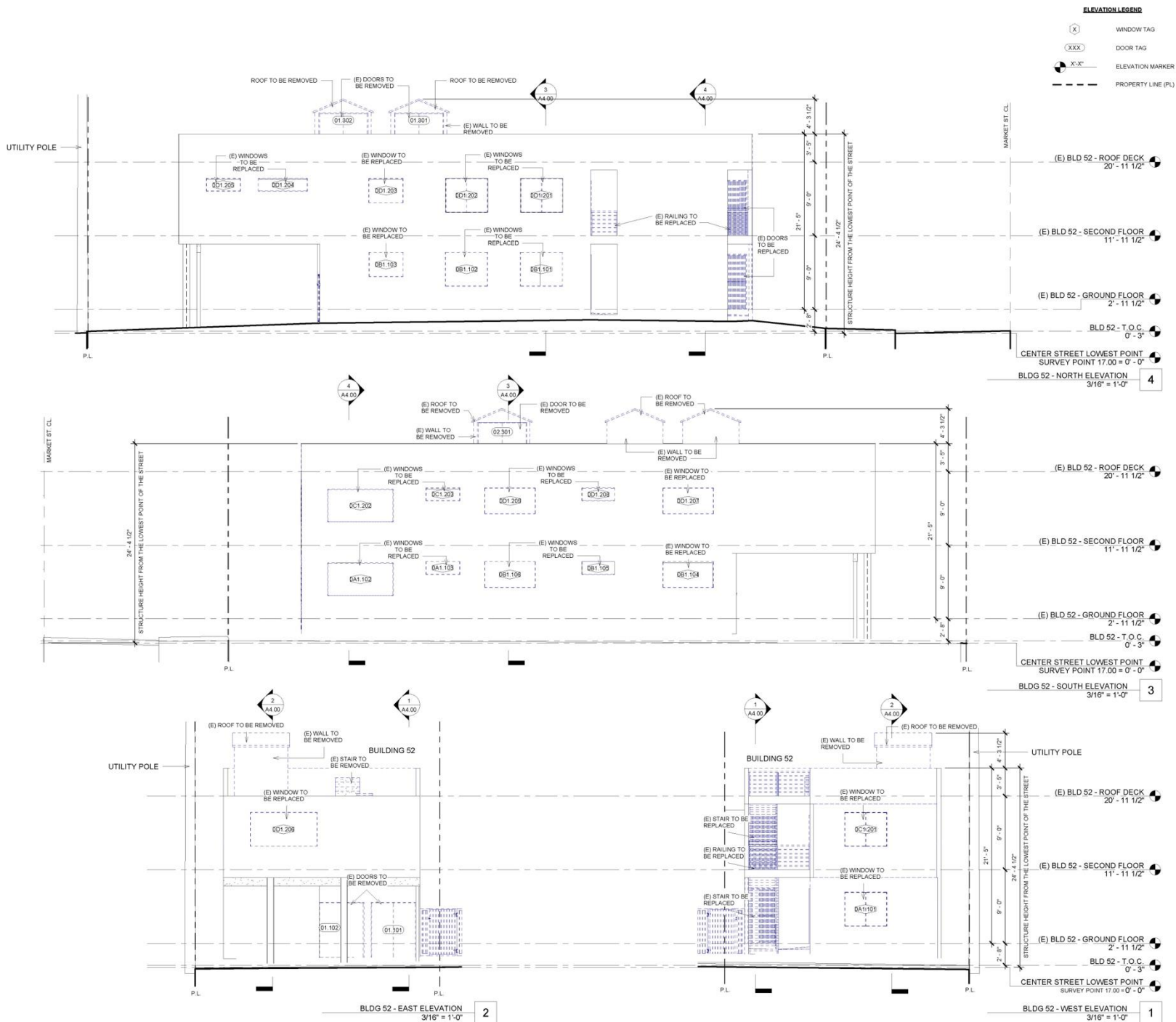
CHECKED: BD

DATE: 4/7/2025 3:04:26 PM

SCALE: As indicated

JOB #: 23 - A204

A2.12



breakformdesign

127 West Street, #10, San Diego, CA 92101
619.310.323.3700



52 MARKET ST

REVISIONS

EXISTING &
DEMO
ELEVATIONS

DRAWN: JV

CHECKED: BD

DATE: 4/7/2025 3:04:29 PM

SCALE: As indicated

JOB #: 23 - A004

A3.00

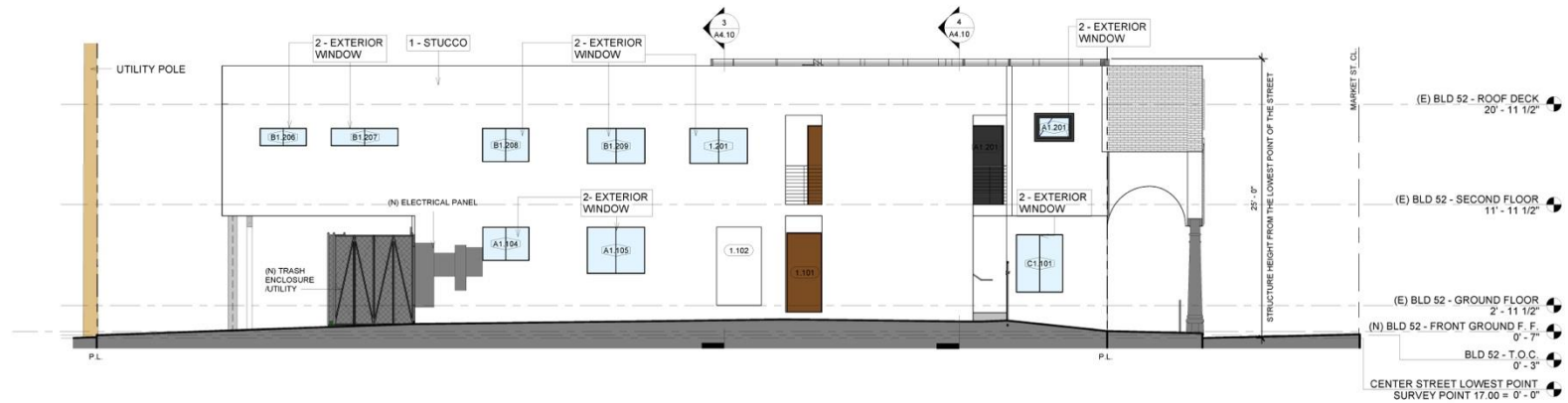


COLORTEK SMOOTHCOAT EXTERIOR STUCCO	1
--	---

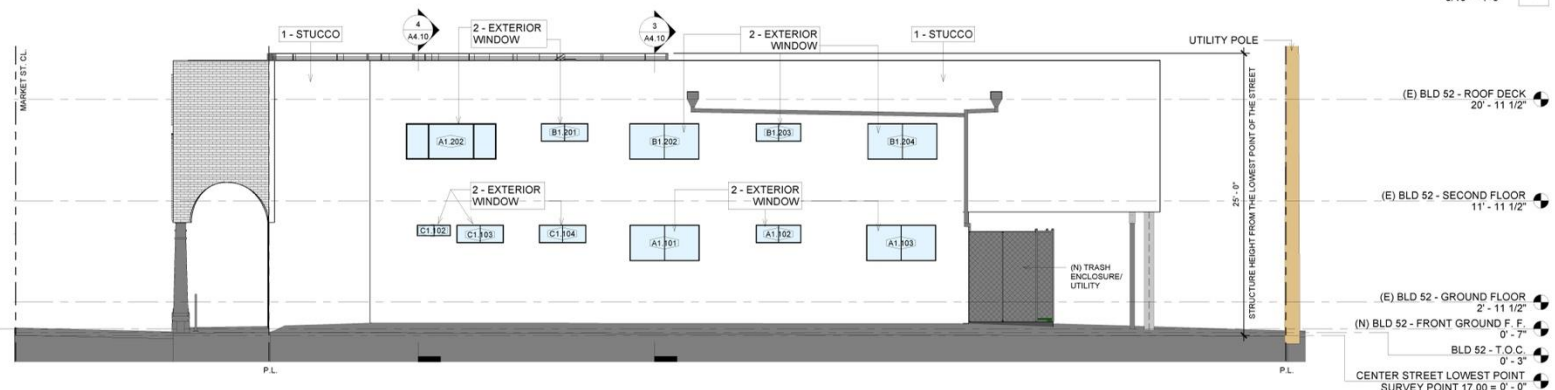


- MANUFACTURER: MILGARD OR SIMILAR
- COLOR: DARK GREY
- TYPE: FIBERGLASS | ULTRA SERIES C650

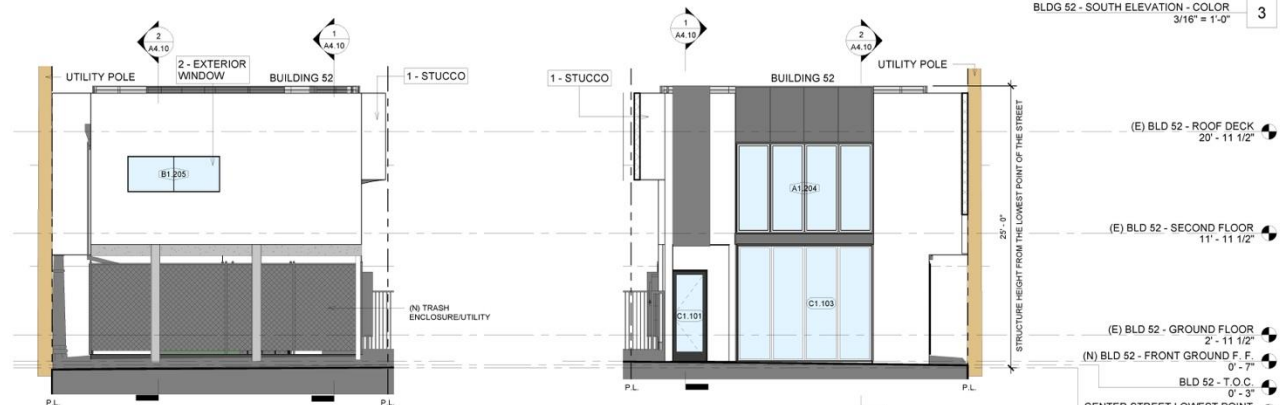
EXTERIOR WINDOWS



BLDG 52 - NORTH ELEVATION - COLOR 4
3/16" = 1'-0"



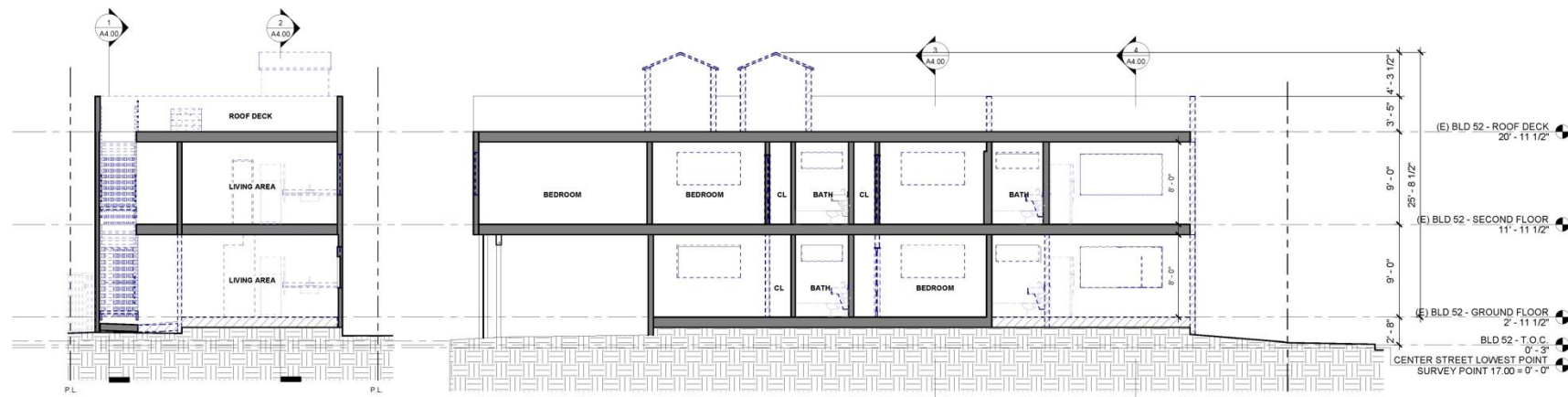
BLDG 52 - SOUTH ELEVATION - COLOR 3
3/16" = 1'-0"



BLDG 52 - PROPOSED WEST ELEVATION 2 - COLOR 1

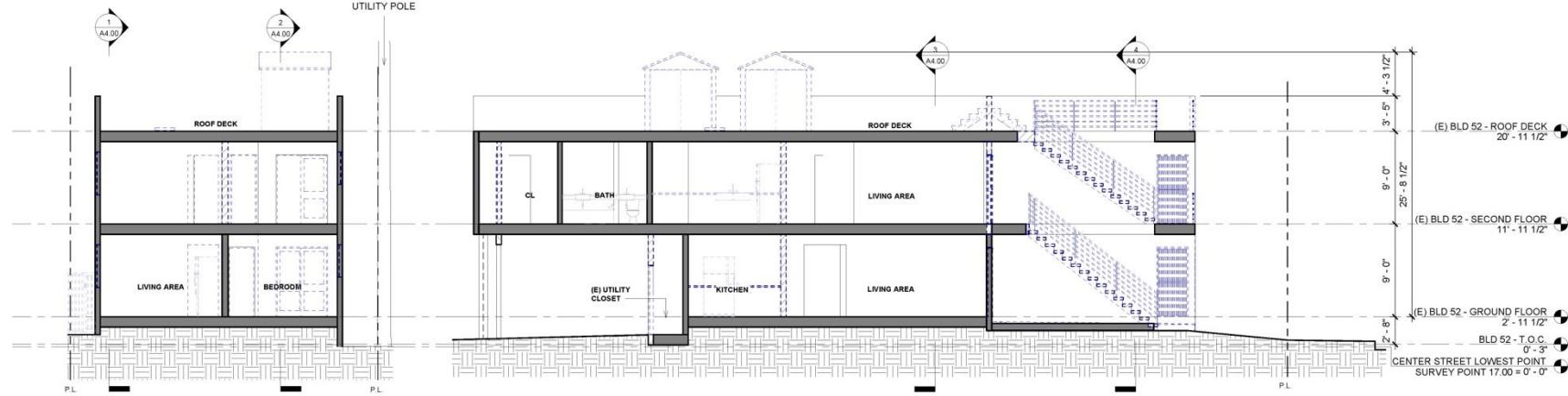
BLDG 52 - EAST ELEVATION - COLOR 2

ASSEMBLY TYPES		SECTION LEGEND	
WALLS	A1- 2x4 & 2x6 INTERIOR WALL ASSM. (1A0.11)	FLOORS	CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (1A0.12)
	A2- 1-HR 2x4 & 2x6 INTERIOR WALL ASSM. (2A0.11)		CONC FLOOR PER STRC. W/ WOOD FINISH (2A0.12)
	A3- 1-HR 2x4 & 2x6 EXTERIOR WALL W/ STUCCO FINISH ASSM. (3A0.11)		CONC FLOOR PER STRC. W/ TILE FINISH (3A0.12)
			WOOD JOIST PER STRC. W/ WOOD FINISH (4A0.12)
			WOOD JOIST PER STRC. W/ TILE FINISH (5A0.12)
			WOOD JOIST W/ WOOD DECK PER SPEC. (6A0.12)
			WOOD JOIST W/ ROOFING MEMBRANE PER SPEC. (7A0.12)
		SECTION LEGEND	
		X-X"	ELEVATION MARKER
		---	PROPERTY LINE
		■	EXISTING
		▨	DEMOLISHED
		▩	NEW EXTERIOR 1HR FIRE RATED
		▪	NEW INTERIOR 1HR FIRE RATED
		■	NEW CONCRETE



BLDG 52 - SECTION 04
3/16" = 1'-0"
UTILITY POLE

BLDG 52 - SECTION 02
3/16" = 1'-0"



BLDG 52 - SECTION 03
3/16" = 1'-0"

BLDG 52 - SECTION 01
3/16" = 1'-0"

breakformdesign

127 West Street, #1000, San Francisco, CA 94105
415.333.3700

Licensed Architect

AMBERLY DAVIES
No. C-34387
10000A
Architect Seal

STATE OF CALIFORNIA

52 MARKET ST

REVISIONS

EXISTING SECTIONS

DRAWN JV

CHECKED BD

DATE 4/7/2025 3:04:38 PM

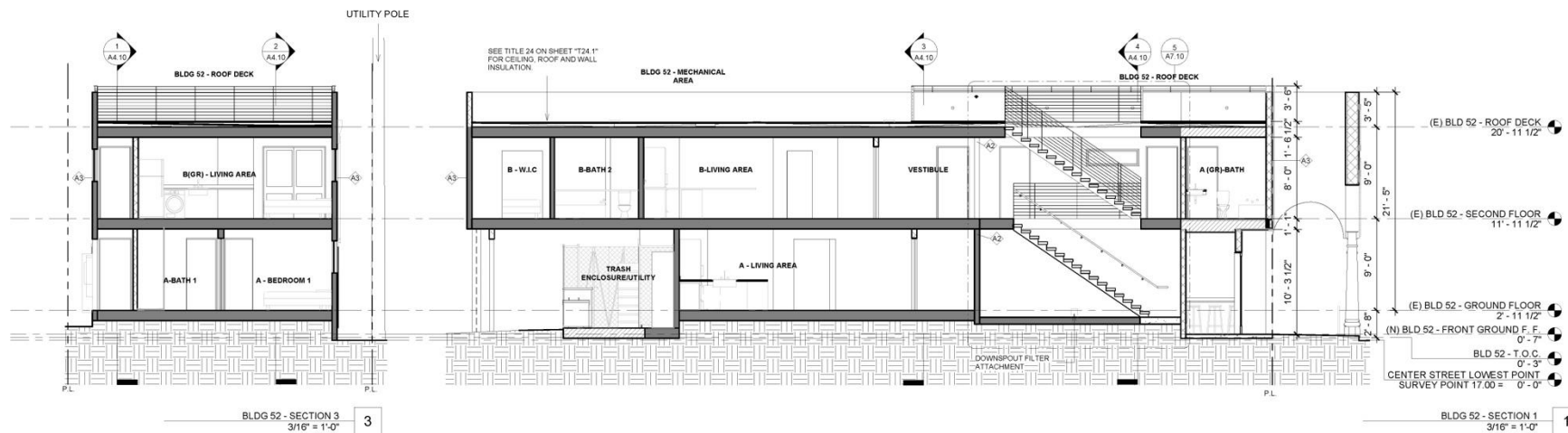
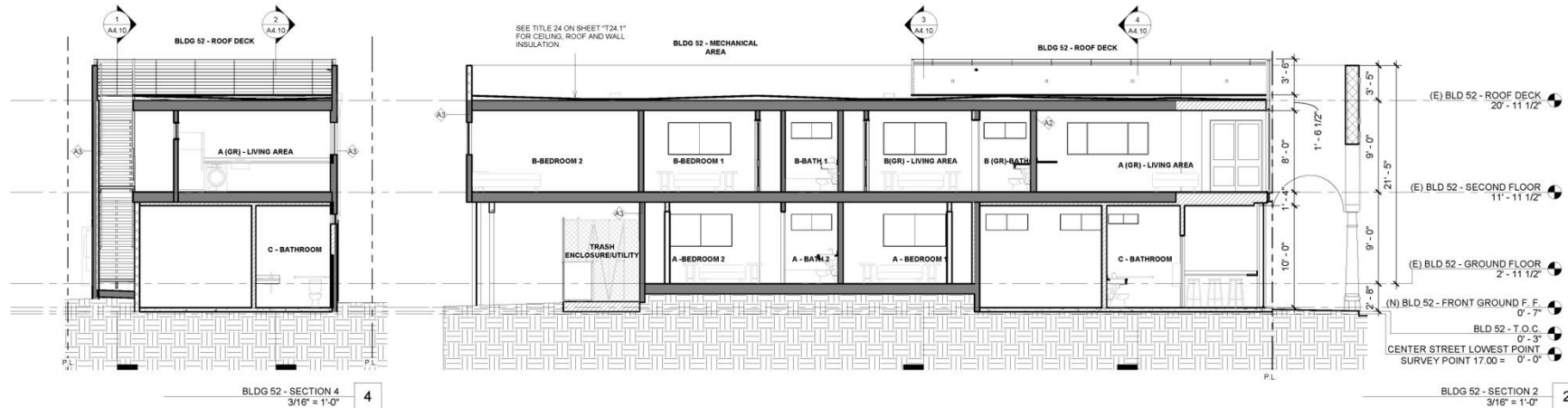
SCALE As indicated

JOB # 23 - A004

A4.00

ASSEMBLY TYPES		SECTION LEGEND	
WALLS	FLOORS		
A1 2x4 & 2x6 INTERIOR WALL ASSM. (1/4G 11) A2 1-1R 2x4 & 2x6 INTERIOR WALL ASSM. (2/4G 11) A3 1-1R 2x4 & 2x6 EXTERIOR WALL W/ STUCCO FINISH ASSM. (3/4G 11)	A1 CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (1/4G 12) A2 CONC FLOOR PER STRC. W/ WOOD FINISH (2/4G 12) A3 CONC FLOOR PER STRC. W/ TILE FINISH (3/4G 12) A4 WOOD JOIST PER STRC. W/ WOOD FINISH (4/4G 12) A5 WOOD JOIST PER STRC. W/ TILE FINISH (5/4G 12) A6 WOOD JOIST W/ WOOD DECK PER SPEC. (6/4G 12) A7 WOOD JOIST W/ ROOFING MEMBRANE PER SPEC. (7/4G 12)	 ELEVATION MARKER  PROPERTY LINE  EXISTING  DEMOLISHED  NEW EXTERIOR 1/4R FIRE RATED  NEW INTERIOR 1/4R FIRE RATED  NEW CONCRETE	

	ELEVATION MARKER
	PROPERTY LINE
	EXISTING
	DEMOLISHED
	NEW EXTERIOR 1HR FIRE RATED
	NEW INTERIOR 1HR FIRE RATED
	NEW CONCRETE



breakform design

127 arena street, el segundo, ca 90245
[o] 310.322.3700



52 MARKET ST

REVISIONS

PROPOSED SECTIONS

DRAWN *JV*

CHECKED BD

DATE 4/7/2025 3:04:40 PM

SCALE As indicated

JOB # 23 - A004

BLDG 52 - SECTION 1
3/16" = 1'-0"

A4.10

PLANTING NOTES

- QUANTITIES GIVEN FOR PLANT MATERIALS SPECIFIED FOR "ON CENTER" SPACING ARE SHOWN FOR CONVENIENCE ONLY AND ARE SUBORDINATE TO THE SPACING GIVEN. VERIFY AND SUPPLY SUFFICIENT NUMBER OF PLANTS TO FULFILL SPACING REQUIREMENTS.
- ALL HEADER AND BAMBOO ROOT BARRIERS SHALL BE LOCATED BY THE ARCHITECT ON SITE.
- CONTRACTOR SHALL INSTALL PLANT MATERIAL IN ACCORDANCE WITH THE SPECIFICATIONS, DRAWINGS AND DETAILS.
- CONTRACTOR SHALL PROVIDE A MAINTENANCE PERIOD OF NOT LESS THAN 90 DAYS COMMENCING AT THE DATE OF FINAL ACCEPTANCE. SUCH MAINTENANCE SHALL INCLUDE ALL CARE PERTAINING TO ALL WORK INSTALLED AS PART OF THESE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES DURING CONSTRUCTION THROUGH COMPLETION OF PICK-UP WORK.
- THE CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL QUANTITIES LISTED FOR CONVENIENCE OF CONTRACTOR. ACTUAL NUMBER OF SYMBOLS SHALL HAVE PRIORITY OVER QUANTITIES DESIGNATED.
- REMOVE ALL DEBRIS, WEEDS, EXCESS MATERIAL AND ROCKS LARGER THAN 1" IN DIAMETER FROM PLANTING AREAS PRIOR TO PREPARATION & AGAIN PRIOR TO PLANTING.
- SEE DETAILS AND SPECIFICATIONS FOR STAKING METHOD, PLANT PIT DIMENSIONS, SOIL PREPARATION, AND BACKFILL REQUIREMENTS.
- ALL PLANT MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION SCHEDULES.
- GROUNDCOVER PLANTING SHALL BE CONTINUOUS UNDER ALL TREES AND SHRUBS. GROUNDCOVER SHALL BE PLANTED ACCORDING TO SPACING ON PLANT LEGEND.
- TREES SHALL BE LOCATED A MINIMUM OF 9' FROM WALLS, OVERHEADS, WALKS, HEADERS, AND OTHER TREES WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTORS LIABILITY TO RELOCATE THE MATERIALS.

- ALL PLANTING AREAS SHALL BE LOOSENOED TO A DEPTH OF 8" APPLY 4 C.Y. OF ORGANIC AMENDMENT AND 15 LBS. OF 10-10-10 FERTILIZER PER 1000 S.F. AND BLEND WITH THE TOP 6" OF SOIL. THIS AMENDMENT IS FOR BIDDING PURPOSES. AND SHALL BE SUPERCEDED BY RECOMMENDATIONS OF THE SOIL ANALYSIS REPORT.
- FOR ALL TREES AND SHRUB PLANTING, THE FOLLOWING PREPARED SOIL MIX SHALL BE USED FOR BACKFILL IN THE PLANTERS. THIS MIX IS FOR BIDDING PURPOSES. AND SHALL BE SUPERCEDED BY RECOMMENDATIONS OF THE SOIL ANALYSIS REPORT.
SITE SOIL - 6 PARTS BY VOLUME
ORGANIC AMENDMENT - 4 PARTS BY VOLUME
SOIL CONDITIONER / FERTILIZER 10-10-10-1LB. PER C.Y. OF MIX
IRON SULFATE - 2 LBS. PER C.Y. OF MIX.
- TURF IS NOT ALLOWED ON SLOPES GREATER THAN 25% WHERE THE TOE OF THE SLOPE IS ADJACENT TO AN IMPERMEABLE HARDSCAPE.
- RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.
- A MINIMUM 3/4"CH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVER, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
- FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
- I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE THAT COMPLYS WITH THE PERFORMANCE APPROACH.
DATE _____ SIGNED _____

IRRIGATION NOTES

- CONTRACTOR IS TO AUGMENT EXISTING IRRIGATION SYSTEM. CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING LANDSCAPE AND IRRIGATION DAMAGED FROM CONSTRUCTION TO AN ACCEPTABLE LANDSCAPE CONDITION WITH A FULLY FUNCTIONAL AND EFFICIENT IRRIGATION SYSTEM PER THE CONTAINED CONDITIONS.

- ALL NEW TREES REQUIRE INDIVIDUAL POP-UP STREAM BUBBLERS, MIN. 2 PER TREE, WITHIN 4' OF TREE. TREE IRRIGATION SHALL BE ON A SEPARATE VALVE.
- SPRAY OR ROTOR HEADS SHALL BE ON POP-UPS; 8" FOR LAWN, LOW GROUNDCOVER OR PARKED CAR OVERHANG AREAS, 12" FOR SHRUB AREAS. HEADS ON RISERS ARE ONLY ALLOWED ADJACENT TO WALLS WITH LIMITED SPACE FOR POP-UPS.
- LOCATE SPRAY HEADS 24" FROM NON-PERVIOUS PAVING TO PREVENT OVERSPRAY. EXCEPTION ALLOWED IF ADJACENT SURFACE IS PERMEABLE OR IF USING ALTERNATIVE TECHNOLOGY. IRRIGATION, ROTATOR OR ROTARY HEADS MAYBE LOCATED 12" FROM PAVING.
- CONTRACTOR SHALL REPLACE ANY EXISTING IRRIGATION CONTROLLER WITH A MODUL E AND SENSOR TO PROVIDE WEATHER BASED INFORMATION THAT WILL AUTOMATE THE IRRIGATION RUNTIMES BASED ON WEATHER. SEE HUNTER SOLAR SYNC, RAINBIRD ET MANAGER OR EQUIVALENT.
- THE PLANTING AND IRRIGATION SYSTEM SHALL BE COMPLETED BY THE DEVELOPER/BUILDER PRIOR TO THE CLOSE OF ESCROW OF 50 PERCENT OF THE UNITS OF THE PROJECT OR PHASE.
- SIXTY DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION, THE LANDSCAPE PROFESSIONAL SHALL SUBMIT TO THE HOMEOWNERS/PROPERTY OWNERS ASSOCIATION A CERTIFICATE OF SUBSTANTIAL COMPLETION.
- THE DEVELOPER/BUILDER SHALL GUARANTEE ALL TREES AND IRRIGATION FOR A PERIOD OF SIX MONTHS AND ALL OTHER PLANTS FOR A PERIOD OF 60 DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION.

STATEMENTS AND CERTIFICATION

- I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.
- A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
- A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE SIGNER OF THE LANDSCAPE PLANS, THE SIGNER OF THE IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
- AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

THE SUBDIVIDER SHALL RECORD A ADVISORY AGREEMENT SATISFACTORY TO THE ADVISORY AGENCY GUARANTEEING THAT:

- THE PLANTING AND IRRIGATION SYSTEM SHALL BE COMPLETED BY THE DEVELOPER/BUILDER PRIOR TO THE CLOSE OF ESCROW OF 50 PERCENT OF THE UNITS OF THE PROJECT OR PHASE.
- SIXTY DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION, THE LANDSCAPE PROFESSIONAL SHALL SUBMIT TO THE HOMEOWNERS/PROPERTY OWNERS ASSOCIATION A CERTIFICATE OF SUBSTANTIAL COMPLETION.
- THE DEVELOPER/BUILDER SHALL MAINTAIN THE LANDSCAPING AND IRRIGATION FOR 60 DAYS AFTER COMPLETION OF THE LANDSCAPE AND IRRIGATION INSTALLATION.
- THE DEVELOPER/BUILDER SHALL GUARANTEE ALL TREES AND IRRIGATION FOR A PERIOD OF SIX MONTHS AND ALL OTHER PLANTS FOR A PERIOD OF 60 DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION.

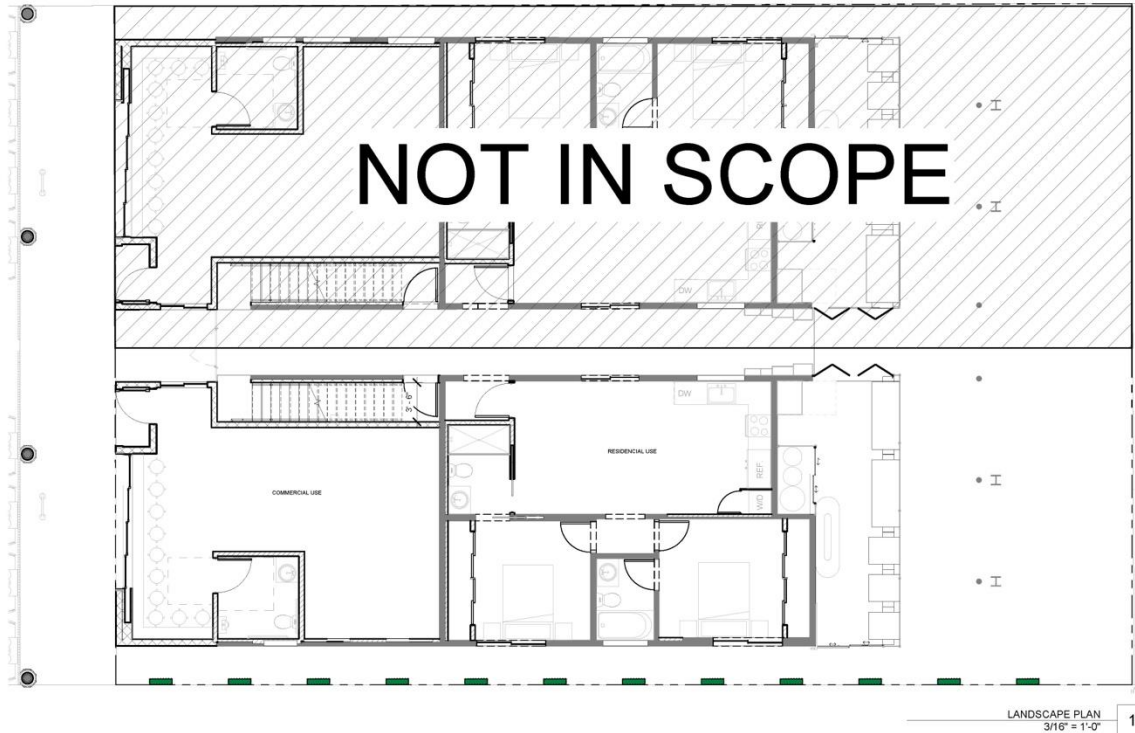


PLANTING LEGEND							
SYMBOL	QTY	SIZE	SPREAD	BOTANICAL NAME / COMMON NAME	NATIVE	WUCOLS WATER USE TYPES	WATER USE VALUES
	12	20' 40'	8' 8'	BOUGAINVILLEA / BARBARA KARST	NO	LOW	02

HARDSCAPE			
IMPERVIOUS			
- BUILDING CONCRETE FLOOR	1,415	S.F. (53.34%)	
PERVIOUS			
- LANDSCAPE CONCRETE FLOOR	1,238	S.F. (48.66%)	
TOTAL	2,653	S.F. (100%)	

LANDSCAPE			
TURF AREA	0	S.F.	
PLANT AREA	35	S.F.	
TOTAL	35	S.F.	

PLANTER BOX SIZE			
PLANTER BOX	SIZE	HEIGHT	SOIL DEPTH
(A-1)	PER PLAN	3'-0"	24" TO 42"
(A-2)	PER PLAN	1'-0"	24" TO 42"



breakform design

127 WEST STREET, #100, LOS ANGELES, CA 90015
310.223.3700



52 MARKET ST

REVISIONS

LANDSCAPE PLAN

DRAWN: JN
CHECKED: BD
DATE: 4/7/2025 3:04:42 PM
SCALE: As indicated
JOB #: 23 - A204

L1.00

breakform design

60 MARKET ST.

REVISIONS

COVER

WIN JV

4/7/2025 3:06:46 PM

E $1/4" = 1'-0"$

23 - A004

A 0.00

[illegible]



1



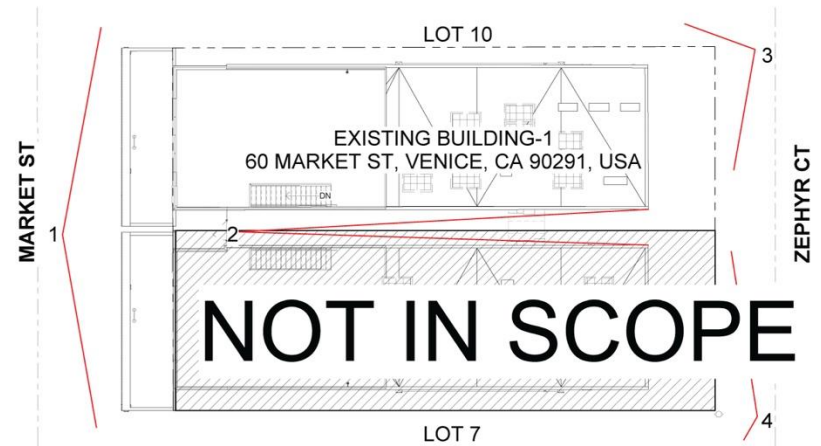
3



2



4



64 MARKET ST. LOS ANGELES, CA 90025



46 MARKET ST. LOS ANGELES, CA 90025

breakformdesign

127 WINTHROP STREET, #100, LOS ANGELES, CA 90015
 (213) 322-2700

LICENSED ARCHITECT
 ROBERTY DAVILA
 No. C-34037
 10/1/23
 EXPIRATION DATE
 STATE OF CALIFORNIA

60 MARKET ST

REVISIONS

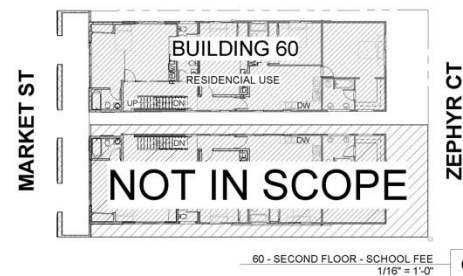
EXISTING SITE PICTURES

DRAWN JV
 CHECKED BD
 DATE 4/7/2025 3:06:50 PM
 SCALE 1" = 10'-0"
 JOB # 23-A004

A 0.03



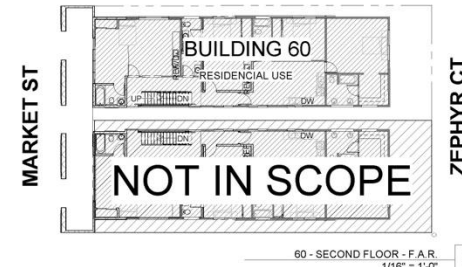
SCHOOL FEE FLOOR AREA - BUILDING 60	
FIRST FLOOR	1,441 SF
SECOND FLOOR	1,906 SF
TOTAL PROVIDED	3,347 SF



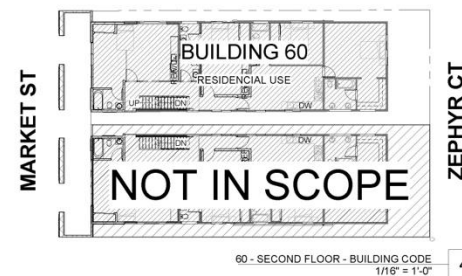
60 - SECOND FLOOR - SCHOOL FEE
1/16" = 1'-0"



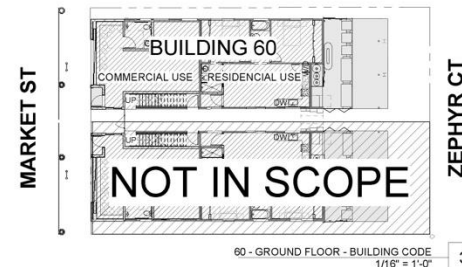
60 - GROUND FLOOR - SCHOOL FEE
1/16" = 1'-0"



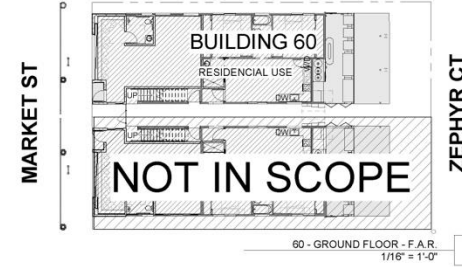
BUILDING CODE FLOOR AREA - BUILDING 60	
FIRST FLOOR COVERED	1,333 SF
SECOND FLOOR	1,787 SF
TOTAL PROVIDED	3,093 SF



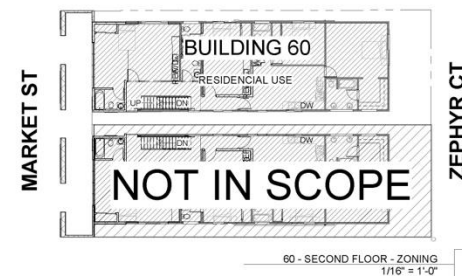
60 - SECOND FLOOR - BUILDING CODE
1/16" = 1'-0"



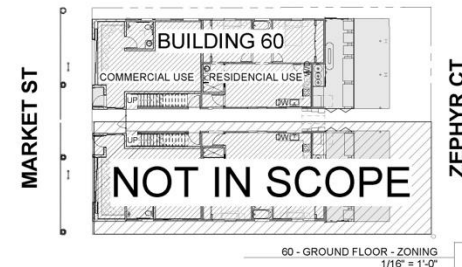
60 - GROUND FLOOR - BUILDING CODE
1/16" = 1'-0"



ZONING CODE FLOOR AREA - BUILDING 60	
FIRST FLOOR COVERED	1,285 SF
SECOND FLOOR	1,748 SF
TOTAL PROVIDED	3,496 SF



60 - SECOND FLOOR - ZONING
1/16" = 1'-0"



60 - GROUND FLOOR - ZONING
1/16" = 1'-0"

F.A.R. - BUILDING 60	
FIRST FLOOR COVERED	1,285 SF
SECOND FLOOR	1,748 SF
TOTAL PROVIDED	3,496 SF
FAR PROVIDED	1.3:1

ADDITION
1ST FLOOR: 293 SF
2ND FLOOR: 217 SF
TOTAL: 510 SF

breakformdesign

127 AREA STREET, #100, LOS ANGELES, CA 90045
62 310.322.3700

LICENSED ARCHITECT
BRANDY DAVIES
No. C-34387
10/01/23
EXPIRATION DATE
STATE OF CALIFORNIA

60 MARKET ST

REVISIONS

AREA CALCULATIONS

DRAWN: JV
CHECKED: BD
DATE: 4/7/2025 3:06:58 PM
SCALE: As indicated
JOB #: 23 - A004

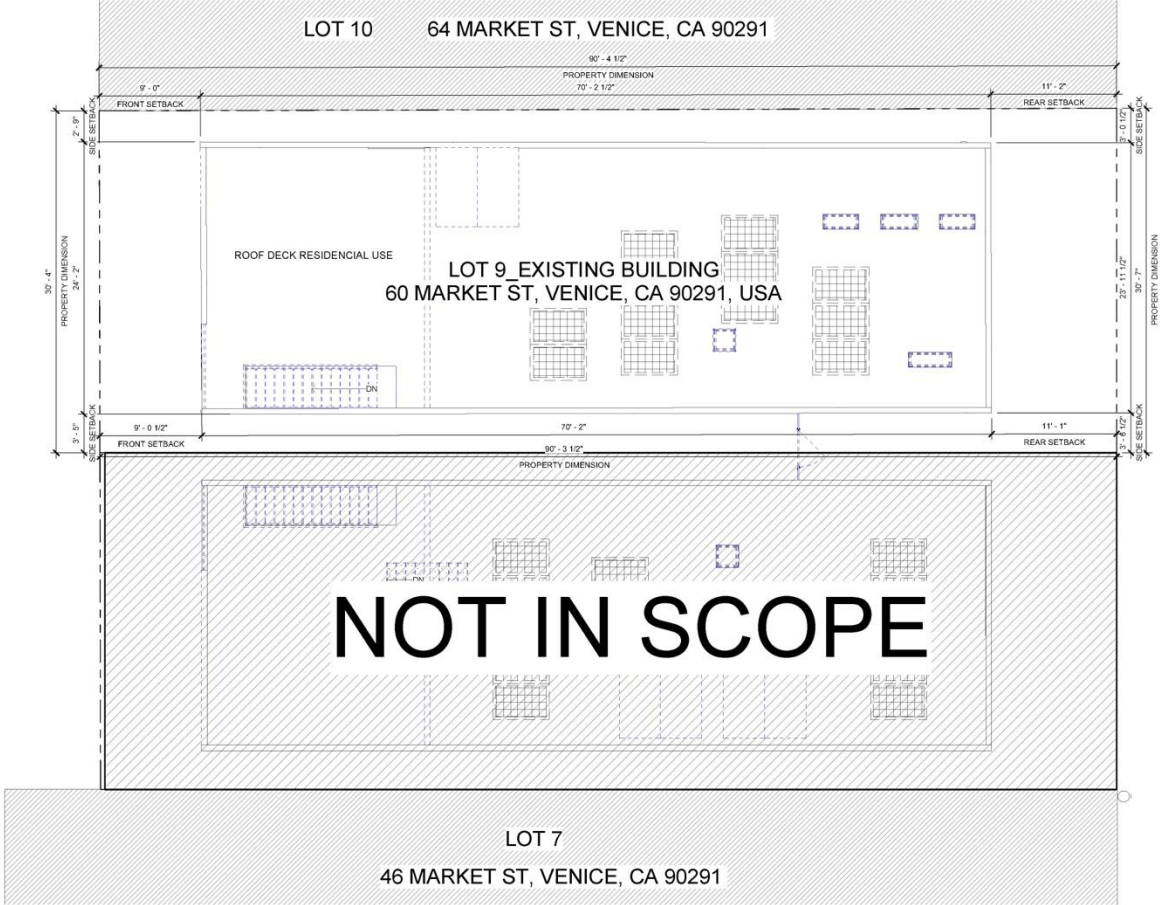
A 0.16

45 MARKET ST,
VENICE, CA 90291

51 MARKET ST,
VENICE, CA 90291

MARKET ST

C.L.



ALLEY
C.L.

ZEPHYR CT



SITE PLAN LEGEND

FLOOR TYPE

PROPERTY LINE

SETBACKS

55 WINDWARD AVE,
VENICE CA 90291

51 WINDWARD AVE,
VENICE CA 90291

breakformdesign

127 WINDWARD AVE, VENICE, CA 90291
415 310 322 3700

LICENSED ARCHITECT

BRADLEY DAVIES
No. C-34387
10/01/23
RESIDENTIAL DATE
STATE OF CALIFORNIA

60 MARKET ST

REVISIONS

EXISTING SITE PLAN

DRAWN JV

CHECKED BD

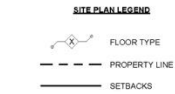
DATE 4/7/2025 3:06:58 PM

SCALE As indicated

JOB # 23 - A004

A 1.00

EXISTING SITE PLAN
3/16" = 1'-0"

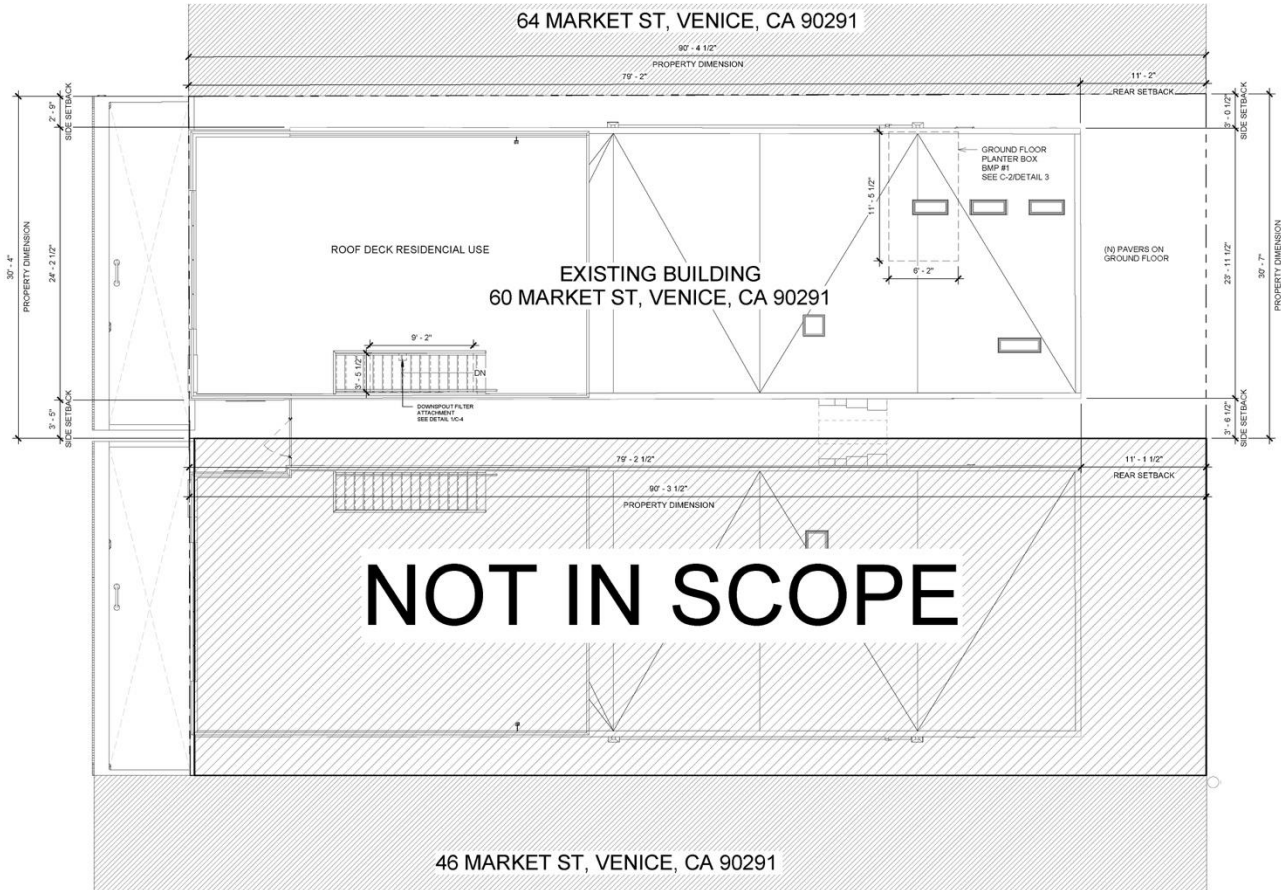


45 MARKET ST,
VENICE, CA 90291

51 MARKET ST,
VENICE, CA 90291

MARKET ST

C.L.



PROPOSED SITE PLAN
3/16" = 1'-0"

1

55 WINDWARD AVE,
VENICE CA 90291

51 WINDWARD AVE,
VENICE CA 90291

60 MARKET ST

REVISIONS

PROPOSED
SITE PLAN

DRAWN JN

CHECKED BD

DATE 4/7/2025 3:06:59 PM

SCALE As indicated

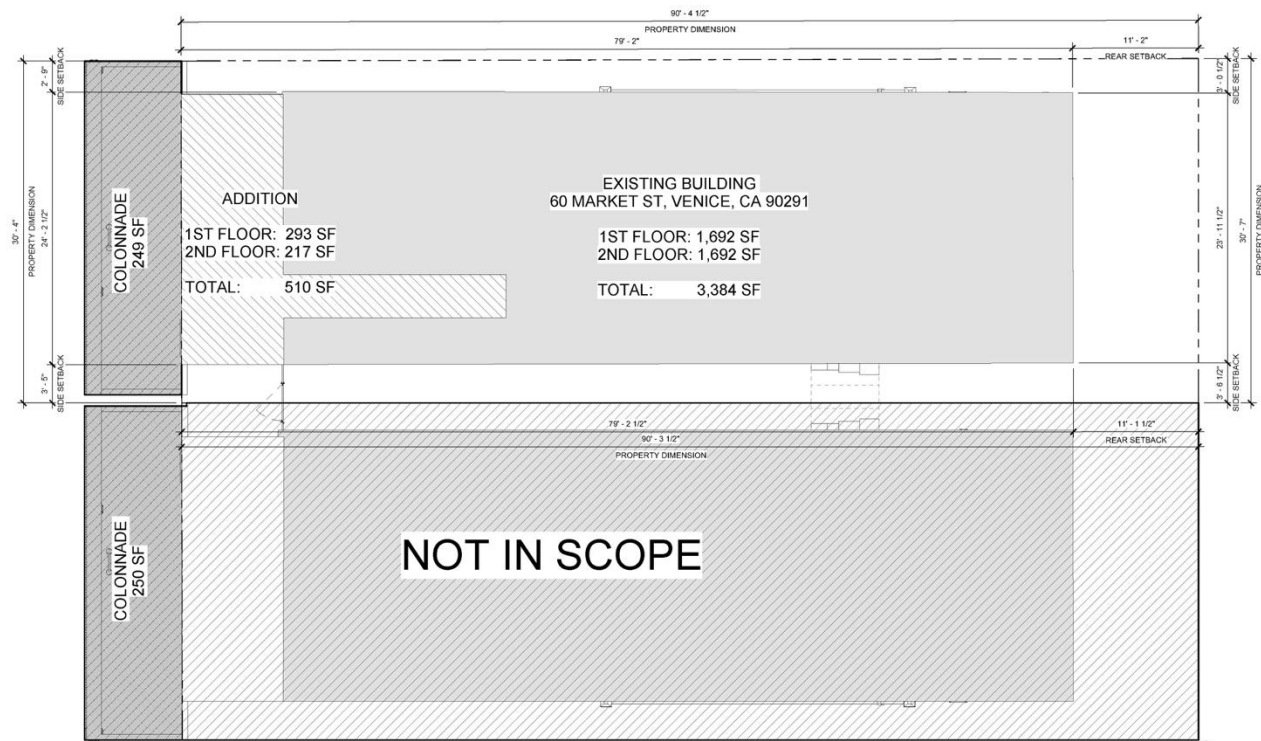
JOB # 23 - A204

A 1.01



breakformdesign

127 W 18th Street, #1 Laguna Hills, CA 90646
(949) 310-2237



PLOT PLAN
3/16" = 1'-0"

1

REVISIONS

DRAWN JV

CHECKED BD

DATE 4/7/2025 3:07:00 PM

SCALE 3/16" = 1'-0"

JOB # 23 - A004

A 1.02



breakform design

127 arena street, el segundo, ca 90245
[c] 310.322.3700

1. ANY DEMOLITION DRAWINGS AND NOTES ARE PROVIDED FOR CONVENIENCE AND INFORMATION ONLY AND ARE NOT INTENDED TO REPRESENT THE COMPREHENSIVE STATE OF THE BUILDING(S). VERIFY THE EXISTING STATE OF THE BUILDING(S) FINISHES AND BUILDING SYSTEMS.

2. CONTRACTOR TO COORDINATE AND VERIFY ALL DEMOLITION WITH ALL ALTERATION PLANS.

3. FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED

CONTRACTOR FOR CONFORMANCE WITH THE REQUIREMENTS OF THE NEW CONSTRUCTION. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.

4. CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS.

5. CONTRACTOR SHALL TAKE SPECIAL CARE TO PRESERVE THOSE ELEMENTS THAT ARE TO REMAIN. ANY ITEMS THAT ARE TO BE RE-USED MUST BE STORED AND PROTECTED AS REQUIRED FOR RE-USE.

6. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE EXISTING STRUCTURE.

7. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.

A. ALL DEBRIS SHALL BE WET AT TIME OF HANDLING TO PREVENT DUST.

B. NO STRUCTURAL MEMBER IN ANY STORY SHALL BE DEMOLISHED UNTIL THE STORY ABOVE IS COMPLETELY REMOVED.

C. THERE WILL BE NO FREE FALL DUMPING OVER EXTERIOR WALL FOR A HEIGHT OF MORE THAN 25 FEET.

D. CALL FOR INSPECTION AT LEAST 24 HOURS BEFORE STARTING WORK.

E. APPROVAL OF PROTECTION FENCES AND CANOPIES IS REQUIRED PRIOR TO DEMOLITION.

F. ALL BASEMENT FILES SHALL BE CLEAN AND UNIFORM

G. STORAGE OF MATERIALS ON FLOORS SHALL NOT EXCEED () PSF LIVE LOAD.

* AN 8-FOOT HIGH CHAIN LINK FENCE MUST BE PROVIDED TO PREVENT UNAUTHORIZED ENTRY TO THE VACANT LOT AFTER DEMOLITION.

HANDWRECKING: USE OF SMALL WHEEL MOUNTED PNEUMATIC TOOLS WILL BE PERMITTED IF FIRST APPROVED BY BUILDING INSPECTOR.

1. A MINIMUM OF 50% OF NONHAZARDOUS CONSTRUCTION WASTE IS TO BE RECYCLED

2. TESTING AND ADJUSTING OF NEW SYSTEMS INSTALLED TO SERVE AN ADDITION OR ALTERATION SUBJECT TO SECTION 5.701.1 SHALL BE REQUIRED

3. PROVIDE THE BUILDING OWNER OR REPRESENTATIVE WITH DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF GUARANTIES/ WARRANTIES FOR EACH SYSTEM. O&M INSTRUCTIONS SHALL BE CONSISTENT WITH OSHA REQUIREMENTS IN CCR, TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS.

4. AT THE TIME OF ROUGH INSTALLATION AND DURING STORAGE ON THE CONSTRUCTION SITE UNTIL FINAL STARTUP OF HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM

5. VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 5.504.4 AND TABLES 4.504.1, 5.504.4.2, 5.504.4.3 AND 5.504.4.5 FOR: ADHESIVES, SEALANTS, PAINTS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS.

6. WASTE WATER FIXTURES SHALL COMPLY WITH THE STANDARDS LISTED IN CGC TABLE 5.303.6 AND 5.712.3.5.

7. WHERE LANDSCAPE IRRIGATION IS A PART OF THE ADDITION OR TENANT IMPROVEMENT, LANDSCAPE IRRIGATION WATER USE SHALL HAVE WEATHER BASED CONTROLLERS. CGC 5.712.4.3.1.

8. SUBMIT TO THE ENGINEERING DEPARTMENT A CONSTRUCTION WASTE MANAGEMENT PLAN THAT OUTLINES THE ITEMS LISTED IN CGC SECTION 5.713.8.1.1

9. PRIOR TO FINAL APPROVAL OF THE BUILDING THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IS RESPONSIBLE FOR THE OVERALL CONSTRUCTION AND MUST COMPLETE AND SIGN THE CITY-APPROVED GREEN BUILDING STANDARDS CERTIFICATION FORM OR OTHER DOCUMENTATION REQUIRED BY THE CITY AND GIVEN TO THE BUILDING DEPARTMENT OFFICIAL PRIOR TO BUILDING FINAL APPROVAL TO BE FILED WITH THE APPROVED PLANS.

10. THIS PROJECT IS NOT LOCATED WITHIN A CNEL OF 65 OR GREATER.

FLOOR PLAN LEGEND

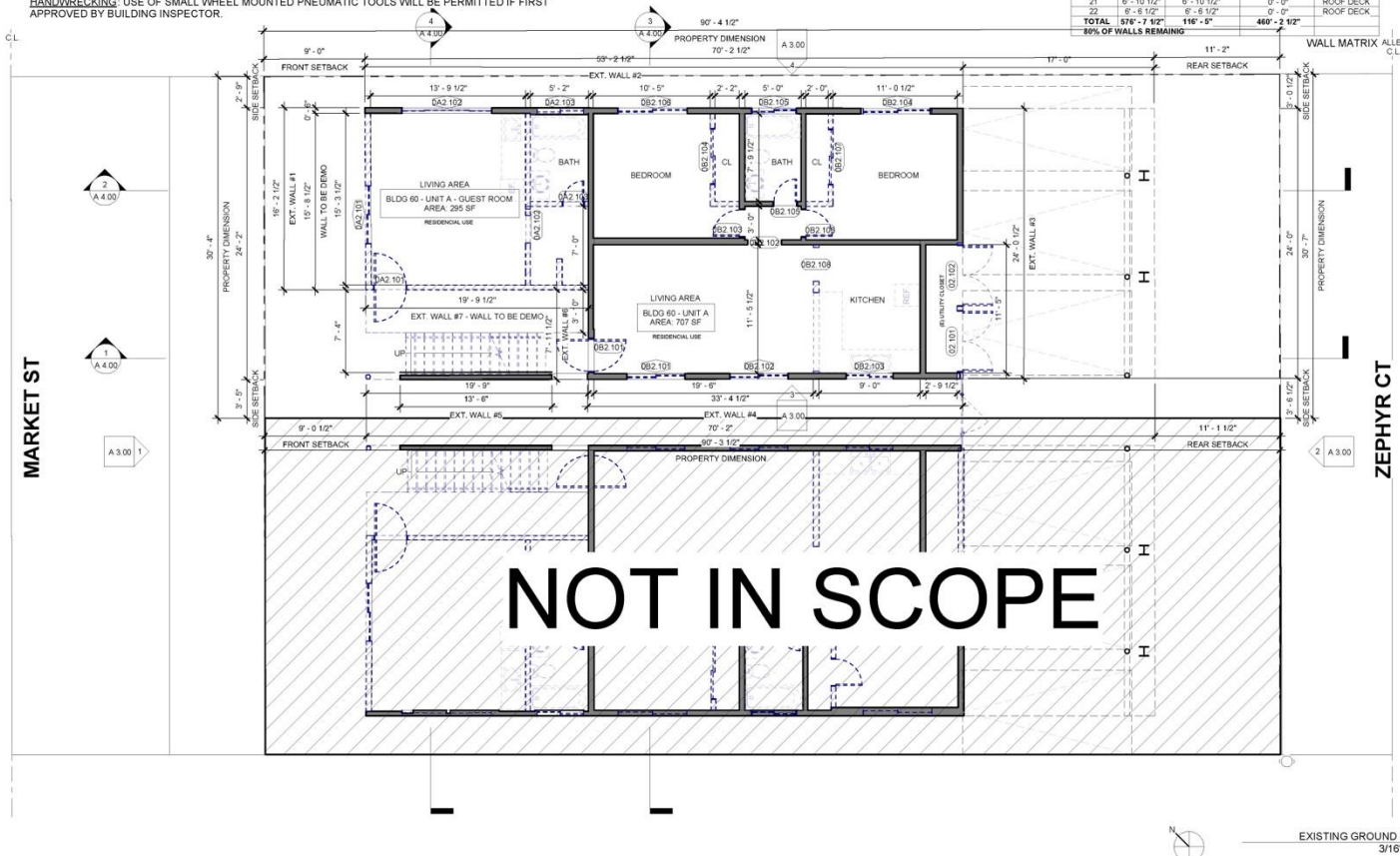
	FLOOR TYPE		EXISTING WALL
	WINDOW TAG (A0 09 WINDOW SCHEDULE)		DEMOLISHED
	DOOR TAG (A0 07 DOOR SCHEDULE)		NEW EXTERIOR WALL 1HR FIRE RATED
	WALL TYPE		NEW INTERIOR WALL 1HR FIRE RATED
	ELEVATION MARKER		SMOKE DETECTOR
	PROPERTY LINE		CARBON MONOXIDE
	ACCESSIBLE ROUTE		EXHAUST
	CLOSET		ILLUMINATED EXIT SIGN
	WORK AREA: 10% OF TOTAL UNIT AREA		BOUJAN/VILLA/
			BOUJAN/KITCHEN PLANT

1. FANS SHALL BE ENERGY START COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

2. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM MUST BE CONTROLLED BY A HUMIDITY CONTROL.

3. THE BUILDING IS NOT EXPOSED TO A NOISE LEVEL OF 65 DB LEQ-1 DURING ANY HOUR OF

WALL NUMBER	(B) WALL LENGTH	REMOVED WALL LENGTH	REMAINING WALL LENGTH	FLOOR LEVEL
1	59'-11 1/2"	15'-0 1/2"	44'-1 1/2"	1ST FLOOR
2	53'-2 1/2"	0'-0"	53'-2 1/2"	1ST FLOOR
3	24'-0 1/2"	0'-0"	24'-0 1/2"	1ST FLOOR
4	38'-11 1/2"	0'-0"	38'-11 1/2"	1ST FLOOR
5	13'-0"	0'-0"	13'-0"	1ST FLOOR
6	7'-11 1/2"	0'-0"	7'-11 1/2"	1ST FLOOR
7	11'-11 1/2"	10'-9 1/2"	1'-2"	1ST FLOOR
8	16'-11 1/2"	15'-3 1/2"	0'-11"	2ND FLOOR
9	24'-0"	0'-0"	24'-0"	2ND FLOOR
10	59'-11 1/2"	0'-0"	59'-11 1/2"	2ND FLOOR
11	13'-0"	0'-0"	13'-0"	2ND FLOOR
12	7'-11 1/2"	0'-0"	7'-11 1/2"	2ND FLOOR
13	11'-11 1/2"	10'-9 1/2"	1'-2"	2ND FLOOR
14	16'-11 1/2"	15'-3 1/2"	0'-11"	2ND FLOOR
15	18'-2"	15'-8"	0'-6"	ROOF DECK
16	70'-2 1/2"	0'-0"	70'-2 1/2"	ROOF DECK
17	13'-0"	0'-0"	13'-0"	ROOF DECK
18	23'-11 1/2"	23'-11 1/2"	0'-0"	ROOF DECK
19	4'-8 1/2"	4'-8 1/2"	0'-0"	ROOF DECK
20	0'-6 1/2"	0'-6 1/2"	0'-0"	ROOF DECK
21	0'-10 1/2"	0'-10 1/2"	0'-0"	ROOF DECK
22	2'-6 1/2"	2'-6 1/2"	0'-0"	ROOF DECK
TOTAL	576'-7 1/2"	116'-0"	460'-2 1/2"	



breakform design

127 arena street, el segundo, ca 90245
[o] 310.322.3700



60 MARKET ST

REVISIONS

[illegible]

EXISTING &
DEMO
PLANS

DRAWN JV

CHECKED BD

DATE 4/7/2025 3:07:01 PM

SCALE As indicated

JOB # 23 - A004

A 2.00

1. ANY DEMOLITION DRAWINGS AND NOTES ARE PROVIDED FOR CONVENIENCE AND INFORMATION ONLY AND ARE NOT INTENDED TO REPRESENT THE COMPREHENSIVE STATE OF THE BUILDING(S). VERIFY THE EXISTING STATE OF THE BUILDING(S) FINISHES AND BUILDING SYSTEMS.

3. FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED

INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.

4. CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS.

6. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE EXISTING STRUCTURE.

7. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.

A. ALL DEBRIS SHALL BE WET AT TIME OF HANDLING TO PREVENT DUST.

B. NO STRUCTURAL MEMBER IN ANY STORY SHALL BE DEMOLISHED UNTIL THE STORY ABOVE IS COMPLETELY REMOVED.

C. THERE WILL BE NO FREE FALL DUMPING OVER EXTERIOR WALL FOR A HEIGHT OF MORE THAN 25 FEET.

D. CALL FOR INSPECTION AT LEAST 24 HOURS BEFORE STARTING WORK.

E. APPROVAL OF PROTECTION FENCES AND CANOPIES IS REQUIRED PRIOR TO DEMOLITION.

F. ALL BASEMENT FILES SHALL BE CLEAN AND UNIFORM.

G. STORAGE OF MATERIALS ON FLOORS SHALL NOT EXCEED (____) PSF LIVE LOAD.

* AN 8-FOOT HIGH CHAIN LINK FENCE MUST BE PROVIDED TO PREVENT UNAUTHORIZED ENTRY TO THE VACANT LOT AFTER DEMOLITION.

HANDWRECKING: USE OF SMALL WHEEL MOUNTED PNEUMATIC TOOLS WILL BE PERMITTED IF FIRST APPROVED BY BUILDING INSPECTOR.

1. A MINIMUM OF 50% OF NONHAZARDOUS CONSTRUCTION WASTE IS TO BE RECYCLED

2. TESTING AND ADJUSTING OF NEW SYSTEMS INSTALLED TO SERVE AN ADDITION OR ALTERATION SUBJECT TO SECTION 5.701.1 SHALL BE REQUIRED

3. PROVIDE THE BUILDING OWNER OR REPRESENTATIVE WITH DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF GUARANTIES/ WARRANTIES FOR EACH SYSTEM. O&M INSTRUCTIONS SHALL BE CONSISTENT WITH OSHA REQUIREMENTS IN CCR, TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS.

4. AT THE TIME OF ROUGH INSTALLATION AND DURING STORAGE ON THE CONSTRUCTION SITE UNTIL FINAL STARTUP OF HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM

5. VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 5.504.4 AND TABLES 4.504.1, 5.504.4.2, 5.504.4.3 AND 5.504.4.5 FOR: ADHESIVES, SEALANTS, PAINTS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS.

6. WASTE WATER FIXTURES SHALL COMPLY WITH THE STANDARDS LISTED IN CGC TABLE 5.303.6 AND 5.712.3.5.

7. WHERE LANDSCAPE IRRIGATION IS A PART OF THE ADDITION OR TENANT IMPROVEMENT, LANDSCAPE IRRIGATION WATER USE SHALL HAVE WEATHER BASED CONTROLLERS. CGC 5.712.4.3.1.

8. SUBMIT TO THE ENGINEERING DEPARTMENT A CONSTRUCTION WASTE MANAGEMENT PLAN THAT OUTLINES THE ITEMS LISTED IN CGC SECTION 5.713.8.1.1

9. PRIOR TO FINAL APPROVAL OF THE BUILDING THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IS RESPONSIBLE OF THE OVERALL CONSTRUCTION AND MUST COMPLETE AND SIGN THE CITY APPROVED GREEN BUILDING STANDARDS CERTIFICATION FORM OR OTHER DOCUMENTATION REQUIRED BY THE CITY AND GIVEN TO THE BUILDING DEPARTMENT OFFICIAL PRIOR TO BUILDING FINAL APPROVAL TO BE FILED WITH THE APPROVED PLANS.

10. THIS PROJECT IS NOT LOCATED WITHIN A CNEL OF 65 OR GREATER.



	FLOOR TYPE		EXISTING WALL
	WINDOW TAG (AO 09 WINDOW SCHEDULE)		DEMOLISH
	DOOR TAG (AO 07 DOOR SCHEDULE)		NEW EXTERIOR WALL 1HR FIRE RATED
	WALL TYPE		NEW INTERIOR WALL 1HR FIRE RATED
	ELEVATION MARKER		SMOKE DETECTOR
	PROPERTY LINE		CARBON MONOXIDE
	ACCESSIBLE ROUTE		EXHAUST
	CLOSET		ILLUMINATED EXIT SIGN
	WORK AREA: 10% OF TOTAL UNIT AREA		BOUGAINVILLEA / BARBAS KARST PLANT

1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

2. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

3. THE BUILDING IS NOT EXPOSED TO A NOISE LEVEL OF 65 DB LEQ-1 DURING ANY HOUR OF OPERATION.

WALL NUMBER	(E) WALL LENGTH	REMOVED WALL LENGTH	REMAINING WALL LENGTH	FLOOR LEVEL
1	16'-2 1/2"	15'-8 1/2"	0'-0"	1ST FLOOR
2	53'-2 1/2"	0'-0"	53'-2 1/2"	1ST FLOOR
3	24'-0 1/2"	0'-0"	24'-0 1/2"	1ST FLOOR
4	34'-3 1/2"	0'-0"	34'-3 1/2"	1ST FLOOR
5	13'-0 1/2"	0'-0"	13'-0"	1ST FLOOR
6	13'-0 1/2"	0'-0"	13'-0"	1ST FLOOR
7	19'-9 1/2"	19'-9 1/2"	0'-0"	1ST FLOOR
8	10'-11 1/2"	15'-3 1/2"	0'-0"	2ND FLOOR
9	24'-0 1/2"	24'-0 1/2"	0'-0"	2ND FLOOR
10	24'-0"	0'-0"	24'-0"	2ND FLOOR
11	50'-11 1/2"	19'-8 1/2"	31'-3 1/2"	2ND FLOOR
12	13'-5 1/2"	0'-0"	13'-5"	2ND FLOOR
13	7'-11 1/2"	0'-0"	7'-11 1/2"	2ND FLOOR
14	19'-9 1/2"	19'-9 1/2"	0'-0"	2ND FLOOR
15	16'-1 1/2"	15'-8 1/2"	0'-0"	ROOF DECK
16	16'-0 1/2"	15'-8 1/2"	0'-0"	ROOF DECK
17	70'-2"	0'-0"	70'-2"	ROOF DECK
18	29'-1 1/2"	29'-1 1/2"	0'-0"	ROOF DECK
19	6'-10 1/2"	6'-10 1/2"	0'-0"	ROOF DECK
20	6'-5 1/2"	6'-5 1/2"	0'-0"	ROOF DECK
21	6'-10 1/2"	6'-10 1/2"	0'-0"	ROOF DECK
22	6'-8 1/2"	6'-8 1/2"	0'-0"	ROOF DECK
TOTAL	576'-9 1/2"	166'-8"	460'-2 1/2"	



60 MARKET ST

[illegible]

DRAWN JV
CHECKED BD
DATE 4/7/2025 3:07:02 PM
SCALE As indicated
JOB # 23 - A004

A 2.01

DEMO NOTES:

1. ANY DEMOLITION DRAWINGS AND NOTES ARE PROVIDED FOR CONVENIENCE AND INFORMATION ONLY AND ARE NOT INTENDED TO REPRESENT THE COMPREHENSIVE STATE OF THE BUILDING(S). VERIFY THE EXISTING STATE OF THE BUILDING(S) FINISHES AND BUILDING SYSTEMS.
2. CONTRACTOR TO COORDINATE AND VERIFY ALL DEMOLITION WITH ALL ALTERATION PLANS.
3. FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED BY THE CONTRACTOR FOR CONFORMANCE WITH THE REQUIREMENTS OF THE NEW CONSTRUCTION. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.
4. CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS.
5. CONTRACTOR SHALL TAKE SPECIAL CARE TO PRESERVE THOSE ELEMENTS THAT ARE TO REMAIN. ANY ITEMS THAT ARE TO BE RE-USED MUST BE STORED AND PROTECTED AS REQUIRED FOR RE-USE.
6. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE EXISTING STRUCTURE.
7. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.
8. ALL DEBRIS SHALL BE WET AT TIME OF HANDLING TO PREVENT DUST.
9. NO STRUCTURAL MEMBER IN ANY STORY SHALL BE DEMOLISHED UNTIL THE STORY ABOVE IS COMPLETELY REMOVED.
10. THERE WILL BE NO FREE FALL DUMPING OVER EXTERIOR WALL FOR A HEIGHT OF MORE THAN 25 FEET.
11. CALL FOR INSPECTION AT LEAST 24 HOURS BEFORE STARTING WORK.
12. APPROVAL OF PROTECTION FENCES AND CANOPIES IS REQUIRED PRIOR TO DEMOLITION.
13. ALL BASEMENT FILES SHALL BE CLEAN AND UNIFORM.
14. STORAGE OF MATERIALS ON FLOORS SHALL NOT EXCEED (____) PSF LIVE LOAD.
15. * AN 8' FOOT HIGH CHAIN LINK FENCE MUST BE PROVIDED TO PREVENT UNAUTHORIZED ENTRY TO THE VACANT LOT AFTER DEMOLITION.

METHOD OF DEMOLITION:

HANDHECKING: USE OF SMALL WHEEL MOUNTED PNEUMATIC TOOLS WILL BE PERMITTED IF FIRST APPROVED BY BUILDING INSPECTOR.

GREEN BUILDING STANDARDS NOTES:

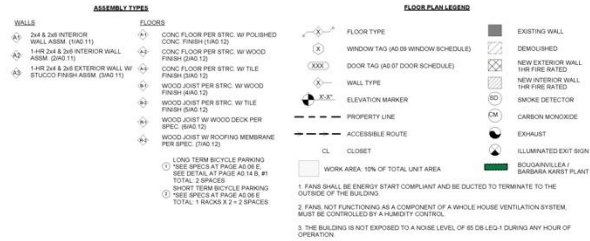
1. A MINIMUM OF 50% OF NONHAZARDOUS CONSTRUCTION WASTE IS TO BE RECYCLED.
2. TESTING AND ADJUSTING OF NEW SYSTEMS INSTALLED TO SERVE AN ADDITION OR ALTERATION SUBJECT TO SECTION 5.701.1 SHALL BE REQUIRED.
3. PROVIDE THE BUILDING OWNER OR REPRESENTATIVE WITH DETAILED OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF GUARANTEES/ WARRANTIES FOR EACH SYSTEM. O&M INSTRUCTIONS SHALL BE CONSISTENT WITH OSHA REQUIREMENTS IN CCR, TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS.
4. AT THE TIME OF ROUGH INSTALLATION AND DURING STORAGE ON THE CONSTRUCTION SITE UNTIL FINAL STARTUP OF HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM.
5. VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 5.504.4 AND TABLES 4.504.1, 5.504.4.2, 5.504.4.3 AND 5.504.4.5 FOR ADHESIVES, SEALANTS, PAINTS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS.
6. WASTE WATER FIXTURES SHALL COMPLY WITH THE STANDARDS LISTED IN CGC TABLE 5.303.9 AND 5.712.3.5.
7. WHERE LANDSCAPE IRRIGATION IS A PART OF THE ADDITION OR TENANT IMPROVEMENT, LANDSCAPE IRRIGATION WATER USE SHALL HAVE WEATHER BASED CONTROLLERS, CGC 5.712.4.3.1.
8. SUBMIT TO THE ENGINEERING DEPARTMENT A CONSTRUCTION WASTE MANAGEMENT PLAN THAT OUTLINES THE ITEMS LISTED IN CGC SECTION 5.713.8.1.1.
9. PRIOR TO FINAL APPROVAL OF THE BUILDING THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IS RESPONSIBLE OF THE OVERALL CONSTRUCTION AND MUST COMPLETE AND SIGN THE CITY APPROVED GREEN BUILDING STANDARDS CERTIFICATION FORM OR OTHER DOCUMENTATION REQUIRED BY THE CITY AND GIVEN TO THE BUILDING DEPARTMENT OFFICIAL PRIOR TO BUILDING FINAL APPROVAL TO BE FILED WITH THE APPROVED PLANS.
10. THIS PROJECT IS NOT LOCATED WITHIN A CNEI OF 65 OR GREATER.

FLOOR PLAN LEGEND

- FLOOR TYPE
- WINDOW TAG (AS 89 WINDOW SCHEDULE)
- DOOR TAG (AS 87 DOOR SCHEDULE)
- WALL TYPE
- ELEVATION MARKER
- PROPERTY LINE
- ACCESSIBLE ROUTE
- CL CLOSET
- WORK AREA: 10% OF TOTAL UNIT AREA
- EXISTING WALL
- DEMOLISHED
- NEW EXTERIOR WALL 1HR FIRE RATED
- NEW EXTERIOR WALL 1HR FIRE RATED
- SMOKE DETECTOR
- CARBON MONOXIDE
- EXHAUST
- ILLUMINATED EXIT SIGN
- BOGUSANVILLE / BARBARA KIRST PLANT

1. FANS SHALL BE ENERGY START COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
2. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HARDWYRE CONTROL.
3. THE BUILDING IS NOT EXPOSED TO A NOISE LEVEL OF 65 DB LEQ-1 DURING ANY HOUR OF OPERATION.

WALL NUMBER	(E) WALL LENGTH	REMOVED WALL LENGTH	REMAINING WALL LENGTH	FLOOR LEVEL
1	16	10'-0"	6'-0"	1ST FLOOR
2	50'-2 1/2"	0'-0"	50'-2 1/2"	1ST FLOOR
3	24'-0 1/2"	0'-0"	24'-0 1/2"	1ST FLOOR
4	36'-0 1/2"	4'-0 1/2"	32'-0"	1ST FLOOR
5	13'-0"	0'-0"	13'-0"	1ST FLOOR
6	7'-0"	1'-11 1/2"	5'-10 1/2"	1ST FLOOR
7	18'-0 1/2"	18'-0 1/2"	0'-0"	1ST FLOOR
8	16'-2 1/2"	10'-3 1/2"	6'-0"	2ND FLOOR
9	0'-0"	0'-0"	0'-0"	2ND FLOOR
10	24'-0"	0'-0"	24'-0"	2ND FLOOR
11	50'-2 1/2"	4'-0 1/2"	46'-0"	2ND FLOOR
12	19'-0"	0'-0"	19'-0"	2ND FLOOR
13	7'-11 1/2"	0'-0"	7'-11 1/2"	2ND FLOOR
14	16'-0 1/2"	0'-0"	16'-0 1/2"	2ND FLOOR
15	16'-2"	10'-0"	6'-2"	ROOF DECK
16	70'-0 1/2"	0'-0"	70'-0 1/2"	ROOF DECK
17	24'-0"	0'-0"	24'-0"	ROOF DECK
18	20'-1 1/2"	20'-1 1/2"	0'-0"	ROOF DECK
19	16'-10 1/2"	16'-10 1/2"	0'-0"	ROOF DECK
20	6'-6 1/2"	6'-6 1/2"	0'-0"	ROOF DECK
21	10'-0 1/2"	10'-0 1/2"	0'-0"	ROOF DECK
22	6'-6 1/2"	6'-6 1/2"	0'-0"	ROOF DECK
TOTAL 370'-7 1/2" 116'-5" 254'-2 1/2"				
10% OF WALLS REMAIN				



breakform design

127 avon street, el segundo, ca 90245
[c] 310 322 3700



60 MARKET ST

REVISIONS

PROPOSE PLANS

DRAWN JV
CHECKED BD
DATE 4/7/2025 3:07:04 PM
SCALE As indicated
JOB # 23 - A004

A 2.10

ASSEMBLY TYPES

WALLS

2x4 & 2x6 INTERIOR WALL, ASSEMBLY (DIMS 11)

1x4 & 2x4 & 2x6 INTERIOR WALL, ASSEMBLY (DIMS 11)

1x4 & 2x4 & 2x6 EXTERIOR WALL, W/ STUCCO FINISH, ASSEMBLY (DIMS 11)

FLOORS

CONC. FLOOR PER STRIP W/ POLISHED CONC. FINISH (DIMS 12)

CONC. FLOOR PER STRIP W/ WOOD FINISH (DIMS 12)

CONC. FLOOR PER STRIP W/ TILE FINISH (DIMS 12)

WOOD JOIST PER STRIP W/ WOOD FINISH (DIMS 12)

WOOD JOIST PER STRIP W/ TILE FINISH (DIMS 12)

WOOD JOIST W/ WOOD DECK PER SPEC (DIMS 12)

WOOD JOIST W/ ROOFING MEMBRANE PER SPEC (DIMS 12)

FLOOR TYPES

FLOOR TYPE

WINDOW TAG (AS 89 WINDOW SCHEDULE)

DOOR TAG (AS 87 DOOR SCHEDULE)

WALL TYPE

ELEVATION MARKER

PROPERTY LINE

ACCESSIBLE ROUTE

CLOSET

WORK AREA: 10% OF TOTAL UNIT AREA

EXISTING WALL

DEMOLISHED

NEW EXTERIOR WALL, 1HR FIRE RATED

NEW INTERIOR WALL, 1HR FIRE RATED

SMOKE DETECTOR

CARBON MONOXIDE EXHAUST

ILLUMINATED EXIT SIGN

BOUGAINVILLEA BANGALUA KIRST PLANT

1. LONG TERM BICYCLE PARKING
SEE SPEC AT PAGE A2.04 E
SEE TOTAL AT PAGE A2.14 B, TOTAL: 2 SPACES

2. SHORT TERM BICYCLE PARKING
SEE SPEC AT PAGE A2.04 E
TOTAL: 1 RACK & 2 BICYCLES

1. FANS SHALL BE ENERGY START COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

2. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HANDY CONTROL.

3. THE BUILDING IS NOT EXPOSED TO A NOISE LEVEL OF 65 DB LEQ-1 DURING ANY HOUR OF OPERATION.

breakformdesign

127 Pennsylvania Avenue, Suite 100, Philadelphia, PA 19106
(484) 322-2000

60 MARKET ST

REVISIONS

PROPOSED PLANS

DRAWN: JV
CHECKED: SD
DATE: 4/7/2025 3:57:06 PM
SCALE: As indicated
JOB #: 23 - A204

A 2.11

1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

2. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM MUST BE CONTROLLED BY A HUMIDITY CONTROL.

3. THE BUILDING IS NOT EXPOSED TO A NOISE LEVEL OF 85 DB L_{eq} DURING ANY HOUR OF OPERATION.

4. ROOFING MATERIAL - ROOF TYPE: DERIBSITE / AO 06 C
- COLOR: LIGHT GREY
- SRI: 81 / Reflectivity: 9.88



1		A 2.12

DRAINAGE LEGEND:

→ SLOPE DRAIN DIRECTION

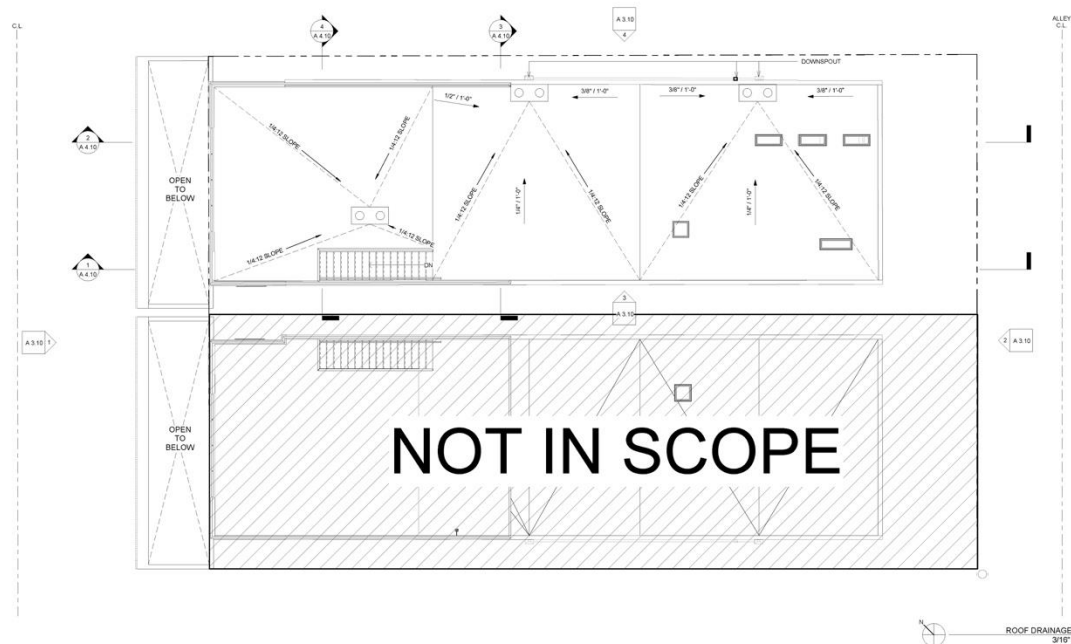
⊠ DRAIN AND OVERFLOW DETAIL # 11/A0.18

⊠ HOSE BIB

NOTE: PLEASE SEE CIVIL DRAWING FOR LID AND GROUND DRAINAGE

ROOF NOTES:

1. A. SIZE THE ROOF DRAINS AND OVERFLOW DRAINS ACCORDING TO CHAPTER 11 OF LAPC, 1502
B. THE ROOF DRAIN AND OVERFLOW DRAIN MUST BE INDEPENDENT LINES TO A YARD BOX.
C. ROOF DRAINAGE IS NOT PERMITTED TO FLOW OVER PUBLIC PROPERTY, 2001.4
D. OVERFLOW SCUPPERS SHALL BE DESIGNED IN ACCORDANCE TO TABLE 11-1 OF LAPC.
2. DOWNSPOUT(S) DISCHARGING INTO BMPs PER CIVIL PLANS
3. DOWNSPOUTS TO DRAIN TO PROPOSED FLOGARD DOWNSPOUT FILTER AND PLANTER BOX. SEE C-2
4. ROOF RUNOFF TO DRAIN TO PROPOSED FLOGARD DOWNSPOUT FILTER AND PLANTER BOX. SEE C-2



breakformdesign

127 West Street, 4th Floor, Los Angeles, CA 90014
(619) 322-2000



60 MARKET ST

REVISIONS

ROOF DRAINAGE PLAN

DRAWN	JV
CHECKED	SD
DATE	4/7/2025 3:57:07 PM
SCALE	As indicated
208 F	23 - A204

A 2.20

ROOF DRAINAGE PLAN
3/16" = 1'-0"

1



breakform design

127 mesa street, #400, san jose, ca 95128
 (415) 322-3700



60 MARKET ST

REVISIONS

NO.	DESCRIPTION	DATE

EXISTING & DEMO ELEVATIONS

DRAWN JV

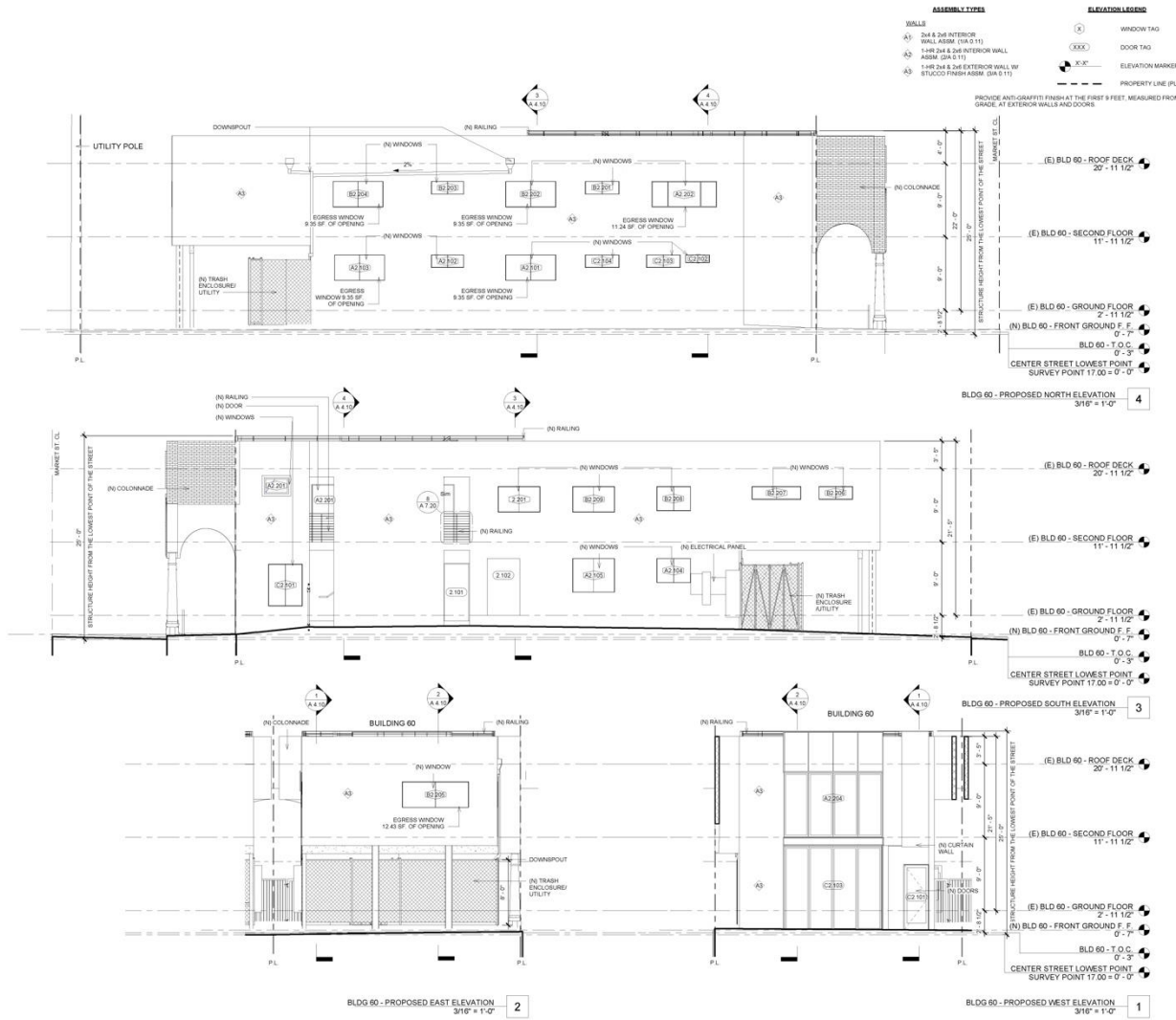
CHECKED BD

DATE 4/7/2025 3:57:09 PM

SCALE As indicated

JOB # 23 - A004

A 3.00



breakformdesign

127 West Street, 4th Floor, Los Angeles, CA 90012
(415) 322-2008

LOANED AND REPRODUCED
No. 1-000001
REPRODUCED
STATE OF CALIFORNIA

60 MARKET ST

REVISIONS

NO.	DESCRIPTION	DATE

PROPOSED ELEVATIONS

DRAWN: JV

CHECKED: BD

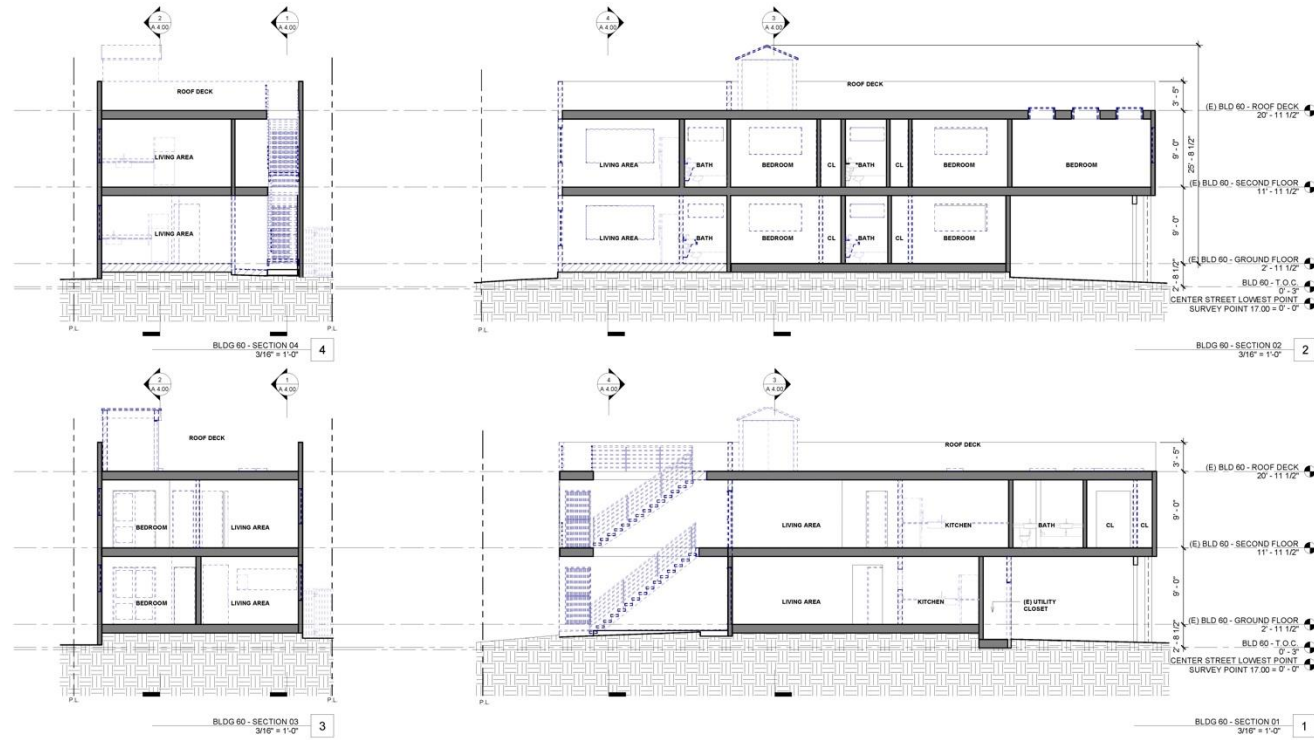
DATE: 4/7/2025 3:57:12 PM

SCALE: As indicated

JOB #: 23 - 0004

A 3.10

[illegible]



breakformdesign

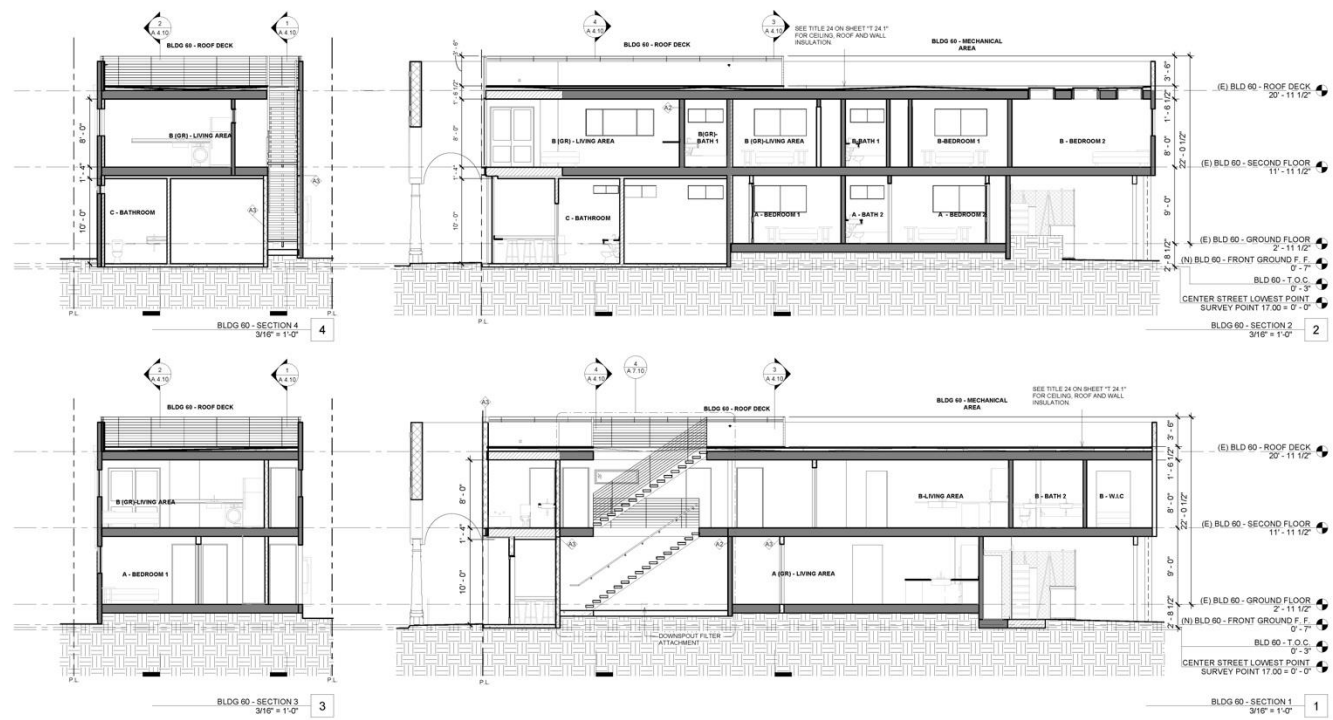
127 1st Street, San Francisco, CA 94104
415.222.2008

60 MARKET ST

EXISTING SECTIONS

DRAWN: JV
CHECKED: SD
DATE: 4/1/2025 3:51:18 PM
SCALE: As indicated
JOB #: 23 - 0004

A 4.00

[illegible]

PLANTING NOTES

1. QUANTITIES GIVEN FOR PLANT MATERIALS SPECIFIED FOR "ON CENTER" SPACING ARE SHOWN FOR CONVENIENCE ONLY AND ARE SUBORDINATE TO THE SPACING GIVEN. VARIETY AND SUPPLY SUFFICIENT NUMBER OF PLANTS TO FULFILL SPACING REQUIREMENTS.
2. ALL HEADER AND BERM/DO-RIGHT BARRIERS SHALL BE LOCATED BY THE ARCHITECT ON SITE.
3. CONTRACTOR SHALL INSTALL PLANT MATERIAL IN ACCORDANCE WITH THE SPECIFICATIONS, DRAWINGS AND DETAILS.
4. CONTRACTOR SHALL PROVIDE A MAINTENANCE PERIOD OF NOT LESS THAN 90 DAYS COMMENCING AT THE DATE OF FINAL ACCEPTANCE. SUCH MAINTENANCE SHALL INCLUDE ALL CARE PERTAINING TO ALL WORK INSTALLED AS PART OF THESE CONTRACT DOCUMENTS.
5. THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES DURING CONSTRUCTION THROUGH COMPLETION OF PICK-UP WORK.
6. THE CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL QUANTITIES LISTED FOR CONVENIENCE OF CONTRACTOR. ACTUAL NUMBER OF SYMBOLS SHALL HAVE PRIORITY OVER QUANTITIES DESIGNATED.
7. REMOVE ALL DEBRIS, WEEDS, EXCESS MATERIAL AND ROCKS LARGER THAN 1" IN DIAMETER FROM PLANTING AREAS PRIOR TO PREPARATION & PLANTING.
8. SEE DETAILS AND SPECIFICATIONS FOR STAKING METHOD, PLANT PIT DIMENSIONS, SOIL PREPARATION, AND BACKFILL REQUIREMENTS.
9. ALL PLANT MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
10. FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
11. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION SCHEDULES.
12. GROUND COVER PLANTING SHALL BE CONTINUOUS UNDER ALL TREES AND SHRUBS. GROUND COVER SHALL BE PLANTED ACCORDING TO SPACING ON PLANT LEGEND.
13. TREES SHALL BE LOCATED A MINIMUM OF 5' FROM WALLS, OVERHEAD WALKS, HEADERS, AND OTHER TREES WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE THE MATERIALS.

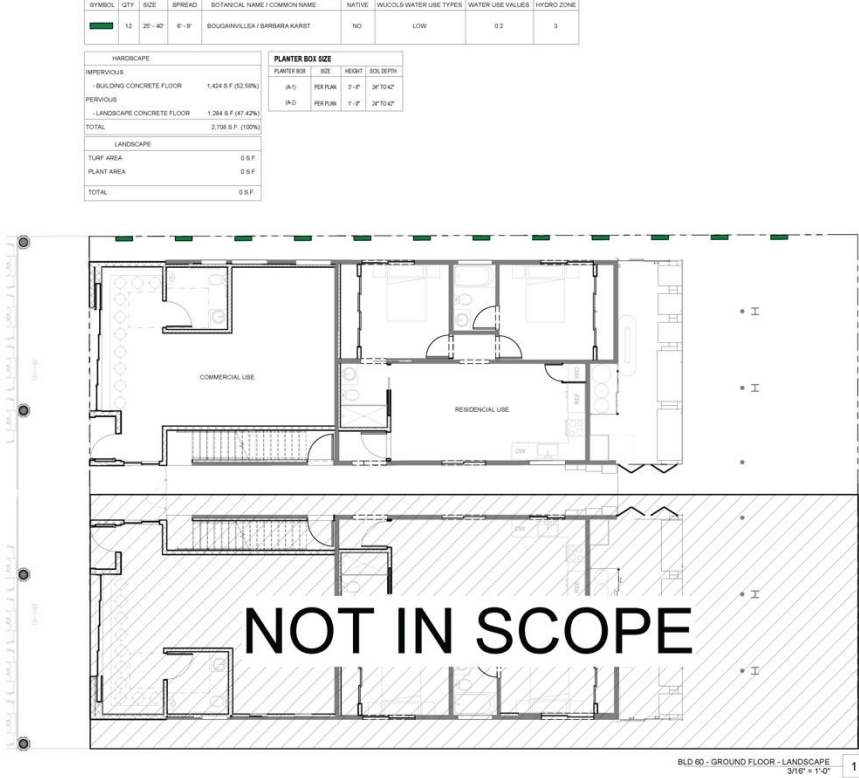
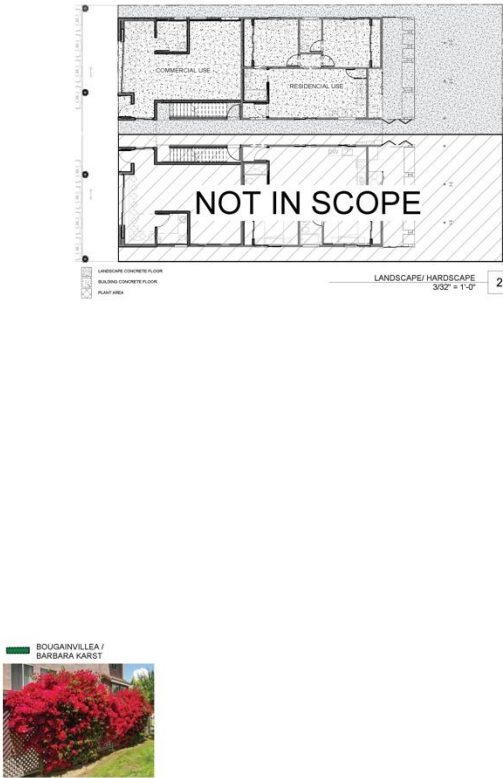
14. ALL PLANTING AREAS SHALL BE LOOSEMED TO A DEPTH OF 6" APPLY 4 C.Y. OF ORGANIC AMENDMENT AND 16 LBS OF 15-15-15 FERTILIZER PER 1000 S.F. AND BUILD WITH THE TOP OF SOIL. THIS AMENDMENT IS FOR SOILING PURPOSES, AND SHALL BE SUPERSEDED BY RECOMMENDATIONS OF THE SOIL ANALYSIS REPORT.
15. FOR ALL TREES AND SHRUBS PLANTING, THE FOLLOWING PREPARED SOIL MIX SHALL BE USED FOR BACKFILL IN THE PLANTERS. THIS MIX IS FOR SOILING PURPOSES, AND SHALL BE SUPERSEDED BY RECOMMENDATIONS OF THE SOIL ANALYSIS REPORT.
8% SOIL - 16 PARTS BY VOLUME
ORGANIC AMENDMENT - 4 PARTS BY VOLUME
SOIL CONDITIONER/FERTILIZER 15-15-15 LBS PER C.Y. OF MIX
IRON SULFATE - 2 LBS PER C.Y. OF MIX
16. TURF IS NOT ALLOWED ON SLOPES GREATER THAN 25% WHERE THE TOE OF THE SLOPE IS ADJACENT TO AN IMPERMEABLE HARDSCAPE.
17. RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.
18. A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUND COVER, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
19. FOR SOILS LESS THAN 6 INCHES OF SOIL COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
20. I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE THAT COMPLIES WITH THE PERFORMANCE APPROACH.
DATE: _____ SIGNED: _____
21. AT THE TIME OF FINAL INSPECTION THE PERMIT APPLICATION MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE AND SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

IRRIGATION NOTES

1. CONTRACTOR IS TO ADJUST EXISTING IRRIGATION SYSTEM. CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING LANDSCAPE AND IRRIGATION DAMAGED FROM CONSTRUCTION TO AN ACCEPTABLE LANDSCAPE CONDITION WITH A FULLY FUNCTIONAL AND EFFICIENT IRRIGATION SYSTEM PER THE CONTAINED CONDITIONS.

2. ALL NEW TREES REQUIRE INDIVIDUAL POP-UP STREAM BUBBLERS, MIN 2 PER TREE, WITHIN 4' OF TREE. TREE IRRIGATION SHALL BE ON A SEPARATE VALVE.
 3. SPRAY OR ROTOR HEADS SHALL BE ON POP-UPS IF FOR LAWN, LOW GROUND COVER OR PARKED CAR OVERHANG AREAS. 12" FOR SHRUB AREAS. HEADS ON RISERS ARE ONLY ALLOWED ADJACENT TO WALLS WITH LIMITED SPACE FOR POP-UPS.
 4. LOCATE SPRAY HEADS 2' FROM FRONT CURB OR PAVING TO PREVENT OVERSPRAY. EXCEPTION ALLOWED IF ADJACENT SURFACE IS PERMEABLE OR IF USING ALTERNATIVE TECHNOLOGY IRRIGATION. ROTATOR OR ROTARY HEADS MAY BE LOCATED 12" FROM PAVING.
 5. CONTRACTOR SHALL REPLACE ANY EXISTING IRRIGATION CONTROLLER WITH A MODULE AND SENSOR TO PROVIDE WEATHER BASED INFORMATION. CONTRACTOR SHALL AUTOMATE THE IRRIGATION SCHEDULE BASED ON WEATHER. SEE HUNTER SOLAR SENS, IRRIGATION ET MANAGER OR EQUIVALENT.
 6. THE PLANTING AND IRRIGATION SYSTEM SHALL BE COMPLETED BY THE DEVELOPER/BUILDER PRIOR TO THE CLOSE OF ESCROW OF 50 PERCENT OF THE UNITS OF THE PROJECT OR PHASE.
 7. SIXTY DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION, THE LANDSCAPE PROFESSIONAL SHALL SUBMIT TO THE HOMEOWNERS/PROPERTY OWNERS ASSOCIATION A CERTIFICATE OF SUBSTANTIAL COMPLETION (C.O.S.).
 8. THE DEVELOPER/BUILDER SHALL GUARANTEE ALL TREES AND IRRIGATION FOR A PERIOD OF SIX MONTHS AND ALL OTHER PLANTS FOR A 90 DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION.
- STANDARDS AND CERTIFICATIONS**
1. HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.
 2. A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
 3. A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE SIGNER OF THE LANDSCAPE PLANS, THE SIGNER OF THE IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
 4. AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

- *THE SUBDIVISOR SHALL RECORD A COVENANT AND AGREEMENT SATISFACTORY TO THE ADVISORY AGENCY GUARANTEEING THAT:**
- A. THE PLANTING AND IRRIGATION SYSTEM SHALL BE COMPLETED BY THE DEVELOPER/BUILDER PRIOR TO THE CLOSE OF ESCROW OF 50 PERCENT OF THE UNITS OF THE PROJECT OR PHASE.
 - B. SIXTY DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION, THE LANDSCAPE PROFESSIONAL SHALL SUBMIT TO THE HOMEOWNERS/PROPERTY OWNERS ASSOCIATION A CERTIFICATE OF SUBSTANTIAL COMPLETION.
 - C. THE DEVELOPER/BUILDER SHALL MAINTAIN THE LANDSCAPING AND IRRIGATION FOR 90 DAYS AFTER COMPLETION OF THE LANDSCAPE AND IRRIGATION INSTALLATION.
 - D. THE DEVELOPER/BUILDER SHALL GUARANTEE ALL TREES AND IRRIGATION FOR A PERIOD OF SIX MONTHS AND ALL OTHER PLANTS FOR A PERIOD OF 90 DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION.



breakformdesign

127 7th St, Suite 400, San Diego, CA 92101
(619) 592-2000

LANDSCAPE ARCHITECT
STATE OF CALIFORNIA

60 MARKET ST

REVISIONS

LANDSCAPE PLAN

DRAWN: JV
CHECKED: BD
DATE: 6/7/2025 3:57:21 PM
SCALE: As indicated
JOB #: 23 - A004

L 1.00

DAY OF HEARING SUBMISSIONS

52 and 60 Market Hearing Continuance

External



Inbox x



Jesi Harris

1:32 PM (3 hours ago)



to me, Luis, Brian ▾

Hi, Alma,

I am the representative for the projects at today's West LA Area Planning Commission (APCW-2024-5236-SPPE-SPPC-CDP-CUB-WDI-ZV and APCW-2024-5238-SPPE-SPPC-CDP-CUB-WDI-ZV).

We will be requesting a continuance until the APCW meeting on June 4th at the hearing today because we were just made aware that we'll need to add a Zoning Administrator's Adjustment to accommodate a reduced egress passageway.

We would like for the continuance to be announced at today's meeting so that interested parties are aware of the change although they will also be noticed as part of the process for the new hearing.

Please let me know if you have any questions before today's meeting.

Best regards,

Jesi Harris

Jesi Harris

Sr Project Manager + Partner

M: 704 777 7332

Objection to Agenda Items #5, APCW-2024-5236-SPPE-SPPC-CDP-CUB-WDI-ZV and #6, APCW-2024-5238-SPPE-SPPC-CDP-CUB-WDI-ZV on May 7, 2025

External



Inbox x

Margaret Molloy

to me, Vince, Luis, Juliet ▼

4:23 PM (20 minutes ago)



Please share with commissioners

Hello Commissioners,

Please consider these brief but important comments in opposition to Agenda Items #5, APCW-2024-5236-SPPE-SPPC-CDP-CUB-WDI-ZV and #6, APCW-2024-5238-SPPE-SPPC-CDP-CUB-WDI-ZV on May 7, 2025.

Please confirm receipt.

Appreciatively,

Margaret Molloy