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If you have any questions, please contact the Commission Office at (213) 978-1300.



Planning CHC <chc@lacity.org>

HCM Nomination — CHATEAU ALTO NIDO; 1851 NORTH IVAR AVENUE; CHC-2026-4299-HCM; ENV-2026-4300-CE; CD-13

1 message

Lynxwiler <lynxwiler@aol.com>

Tue, Sep 8, 2026 at 9:10 PM

To: "chc@lacity.org" <chc@lacity.org>

Cc: "ken.bernstein@lacity.org" <ken.bernstein@lacity.org>

To the Cultural Heritage Commission:

It pains me to write this letter as I truly appreciate a good Historical Cultural Monument in the City of Los Angeles. Although the Chateau Alto Nido (CHC-2026-4299-HCM) should be worthy of a nomination, the nomination compiled by the Hollywood Heritage Museum is among the worst I've ever read.

Filled with fluff and padding, I actually had to check and make sure the nominator didn't forget to delete the research from a previous HCM nomination. From the nomination we know the property developer sang in a chorus and the architect's son flew a plane in WWII. That is all. As for the apartment building itself, its importance apparently hinges on the fact it was seen in one, popular movie. Again, that is all.

The nominator failed to research Spanish Colonial Revival architecture and failed to put the building within a context of the 1930s. The nominator failed to include the building's neon signs as a contributing factor nor mentions the context and importance of residential neon as part of the era. The nominator failed to provide a single current photo and instead relies on old (2015) apartment rental photography and even includes a photograph of Ivar Avenue that doesn't show the Alto Nido in it. The nominator failed to acknowledge the proper name of the building is "Alto Nido" — the word "Chateau" was not added until the internet era of the 2000s when its apartment rental company incongruently added the French word "Chateau" to the Spanish name "Alto Nido" on the Spanish Revival structure.

The nominator truly failed at making any presentable argument to landmark the building in the hope its architecture is aesthetically pleasing enough to be a "slam dunk" with the Cultural Heritage Commission. Sadly, the nomination is nothing more than fluff.

Although I appreciate the Alto Nido apartment building, this HCM nomination is too weak to be accepted and should be returned for lack of proof.

Sincerely,

J. Eric Lynxwiler

510 S. Hewitt Street, #303

LA, CA 90013

lynxwiler@aol.com



Planning CHC <chc@lacity.org>

preserve Casa de Cadillac!

1 message

Fredricka Laurian <flauri17@gmail.com>

Sat, Sep 5, 2026 at 8:30 PM

To: "chc@lacity.org" <chc@lacity.org>

please preserve the iconic Casa de Cadillac. The design brings back visions of our childhood in San Fernando Valley. There are two few of these mid-century modern achievements left it was a special time and special design prevailed can you preserve it for our children and grandchildren for history .

Fredricka Laurian

September 8, 2026

Casa de Cadillac CHC-2026-4302; ENV-2026-4303-CE; CD-4

Team Cultural Heritage,

Casa de Cadillac (“Casa”) requests the Los Angeles Conservancy (the “Conservancy”) suspend its nomination of Casa as a Historical-Cultural Monument. Although counterintuitive, designating Casa as a Historical-Cultural Monument instead threatens key aspects of the preservation of the cultural landmark we all cherish.

As a franchisee of General Motors (“GM” or the “Manufacturer”), Casa is subject to stringent Manufacturer requirements regarding facility design. Critically, however, the possibility of an alternative use for the site has allowed Casa to resist the Manufacturer inflicting its design elements on our Cadillac store, which would include changes to dozens of the non-permitted details that make Casa so special.

As a result, in its desire to unilaterally secure the major features of Casa through its designation as a Historical-Cultural Monument, the Conservancy risks emboldening GM to pursue many unwelcome changes that until now they have forfeited.

Manufacturer Design Requirements for Car Dealerships & Casa’s Unique Status

A trip around LA demonstrates that GM, like all automotive manufacturers, has at any given time a brand-tailored facility design. For GM that is reflected in their Design Intent Documents (the “DID”), which change about every ten years. Automotive manufacturers qualify car dealerships’ income streams to approved/signature facilities, so it’s not an option for a retailer not to have a manufacturer-approved facility. This explains the aesthetic consistency and compliance from dealership to dealership.

Manufacturers put more weight on some design iterations than others. During the last revision to its DID, GM dug in its heels that Casa was going to “enter the 21st Century” and incorporate Cadillac’s “Art and Science” design elements. That would have included covering the building in limestone cladding, removing Casa’s “dated” signage and replacing it with Cadillac’s current script signage, installing power doors in and out of the showroom, new showroom flooring, removing the planter and trees in the showroom, and host of other terrible ideas, which led to Casa pushing back on these proposed changes.

GM was so frustrated at Casa’s unwillingness to capitulate to their new design that the head of Cadillac and his leadership team came to us for an in-person meeting. We sat through a lengthy presentation of their vision of our building. It was consistent with the Cadillac stores around us; unrecognizable to the current building we all love.

Casa stated that changing the design of our facility is non-negotiable, and if Casa was forced to strip our facility of its heritage and make it just another building, then we would pursue all options for the use of the property. Plus, the Ventura Specific Plan is already highly restrictive, and it specifically forbids car dealerships. That

leverage changed everything. The head of Cadillac then asked for time to make a call. They returned to our meeting and offered to purchase our property and dealership for an obscene amount of money. We declined. Casa is our home.

GM largely relented. Not only did Casa not execute the design elements Cadillac demanded, the bulk of the construction we executed was restoring Casa to its original intent, the polar opposite of what Cadillac wanted. And the minor interior changes that were made to accommodate Cadillac were limited: instead of a black marble floor in the entire showroom, Casa agreed to only two black tile “pads” that are easily removable on the terrazzo floor.

For our adjacent Buick GMC (“BG”) store, Casa just secured a permit to bring that facility up to GM’s latest design. We literally start construction any day, which will include ACM cladding, new glazing system, new signage, and an interior renovation. But imposing new Cadillac design requirements on Casa was never discussed for this current iteration. We take this as an extremely positive sign of not only our current condition, but the future of Casa in the context of its unique status and relationship with GM.

Our Commitment & Our Relationship with the Conservancy

The Drake family that owns and operates Casa has been a relentless steward of our building and heritage. That is something we take immense pride in. There is absolutely nothing in our decades of operating Casa that would lead anyone to believe that we will not continue to do so for coming generations.

Both of our college educated daughters work here. Casa is the only career they have ever known. They have been here 14 and 12 years, respectively. Just like my wife did, they grew up here. And their children are doing the same. All of our homes are within two miles of Casa. Our kids, and their kids, go to school a mile away. We are committed to the community in every conceivable way.

To further demonstrate our commitment, we would happily share a glimpse into our estate planning through our attorneys. Everything in our planning is structured for our daughters to continue operating Casa in the future. Moreover, as I have indicated, Casa is willing to enter into a binding written contract wherein it will agree to provide the Conservancy with prior notice of the filing for any building permit. If the Conservancy or the City takes issue, then it can revisit the Historical-Cultural Monument nomination at that time. Ideally a conversation would transpire first, of course.

The Conservancy and the Councilman’s Office have been outstanding partners in making our case to do as much as we could to not only preserve Casa, but restore much of its original glory that had been leached out over the years. While their help was invaluable, the discussions they participated in were made possible only by the stark conversations with GM that preceded.

Importantly, we never had the opportunity to sit down with the Conservancy to discuss the Historical-Cultural Monument nomination.

Over the years the Conservancy has mentioned a couple times that they would like to discuss making Casa a Historical-Cultural Monument, a meeting we would have taken if invited to. On August 19, 2026, Mr. Fine sent an email to reach out “personally” to let me know that he expects a nomination for Casa to occur on September 17, 2026, but he can’t meet until after September 9 due to vacation. So he introduced Mr. Salimian to be my point of contact (the same Mr. Salimian who presented an incredibly detail-intensive nomination form on May 4, 2026), but he was away on holiday as well.

Casa has been nothing but a true partner to the Conservancy over the years, so the communication around this has been disappointing. Casa deserves better.

As discussed above, the Historical-Cultural Monument nomination makes Casa more vulnerable to change, not less. We all want the same thing for Casa...and historically we have achieved it together. Going into hearings and potentially litigation as adversaries would be counter to everything that has made us so successful in our shared goal of preserving Casa, particularly when there is zero urgency here. There is no downside to waiting to move forward given the safeguards to the building Casa is willing to participate in.

Leaving Casa in its current condition in partnership is a far more productive path, one that will lead to perpetuating our outstanding outcomes rather than the alternative path of conflict laid out in the nomination process. Casa has offered safeguards to prevent any surprises to the Conservancy or City. Casa looks forward to another 80 years of service to our 190 employees and their families, our customers, and our community in the facility we have grown up loving.

Regards,

Howard Drake
Owner Casa Automotive Group



Planning CHC <chc@lacity.org>

Let's designate Casa de Cadillac as a Cultural Historic Monument

1 message

Nancy Beverly <nancybeverly818@gmail.com>
To: chc@lacity.org, advocacy@laconservancy.org

Fri, Sep 4, 2026 at 8:07 AM

Hi Cultural Heritage Commission,

I live at Chase Knolls Apartments in Sherman Oaks and In 2000, we successfully fought off a demolition and redevelopment plan and the Los Angeles City Council officially designated Chase Knolls as an L.A. Historic Cultural Monument. I'd like to voice my support for giving Casa de Cadillac near my home as a Historic Cultural Monument as well.

The LA Conservancy sent along this wonderful info:

This decision could help shape the future of one of the San Fernando Valley's most recognizable examples of mid-century design. Casa de Cadillac has avoided the perilous fate of many other historic car dealerships and is lovingly preserved, but its prominent location near the intersection of Ventura and Van Nuys boulevards places the property under increasing development pressure.

Casa de Cadillac is more than a place to buy a car. Since 1949, its bold architecture has been a Valley icon, reflecting the optimism of postwar Los Angeles and an era when dealerships were designed to turn heads and embody the excitement of the automobile. The striking building has been featured in music videos, including [Tom Petty's "Free Fallin"](#), and Hollywood blockbusters like [Transformers](#).

HCM designation would not prevent future development but would protect Casa de Cadillac's distinctive architecture when expansion or redevelopment is contemplated.

Thank you!

Nancy Beverly

--

Nancy Beverly

<https://www.nancybeverlywriter.com/>

SECONDARY SUBMISSIONS



Department of City Planning

City Hall, 200 N. Spring Street, Room 272, Los Angeles, CA 90012

September 16, 2026

TO: Cultural Heritage Commission

FROM: Melissa Jones, City Planner

**ADDITIONAL INFORMATION FOR AGENDA ITEM 4, CASE NO. CHC-2019-3774-HCM;
SAKAI-KOZAWA RESIDENCE/TOKIO FLORIST AND POLE SIGN, HISTORIC-
CULTURAL MONUMENT #1198, 2718 NORTH HYPERION AVENUE**

The attached draft preservation plan for the Historic-Cultural Monument is to provide the Commission with background information related to Item No. 4 on the September 17, 2026, Cultural Heritage Commission meeting agenda.

Tokio Florist/Sakai-Kozawa Residence

2718 N. Hyperion Avenue, Los Angeles

Preservation Plan



Prepared by:
CONSULTING

G P A

February 2020



Table of Contents

1. INTRODUCTION	1
1.1 Qualifications	1
1.2 Methodology	1
2. SUMMARY OF SIGNIFICANCE.....	2
3. PROPERTY DESCRIPTION.....	3
3.1 Site	3
3.2 Residence Exterior.....	4
3.3 Residence Interior.....	6
4. CONSTRUCTION CHRONOLOGY.....	7
5. PRESERVATION GUIDELINES	8
5.1 Standards for Rehabilitation.....	9
5.2 Guidelines for Rehabilitating Cultural Landscapes.....	10
5.3 State Historical Building Code	12
6. REHABILITATION PLAN	12
6.1 Character-Defining Features.....	12
6.2 Overall Recommended Treatments.....	14
6.3 Landscape Character-Defining Features Table	27
6.4 Single-Family Residence Character-Defining Features	45
7. REFERENCES	79
8. SOURCES	80

1. INTRODUCTION

The Tokio Florist/Sakai-Kozawa Residence is located at 2718 N. Hyperion Avenue in the Silver Lake – Echo Park – Elysian Valley Community Plan Area of Los Angeles. The property is designated as Los Angeles Historic-Cultural Monument (HCM) #1198. As such, the property is subject to the Los Angeles Cultural Heritage Ordinance, which stipulates that the Cultural Heritage Commission (CHC) and Office of Historic Resources (OHR) are responsible for reviewing alterations to properties listed under national, state, and local landmark programs.¹ Alterations are reviewed by the CHC and OHR for compliance with the *Secretary of Interior's Standards for the Treatment of Historic Properties* (Standards).

GPA Consulting (GPA) was retained to prepare this report to help guide the rehabilitation of the Tokio Florist/Sakai-Kozawa Residence in compliance with the Standards. It includes a summary of the property's significance and history as well as an illustrated inventory of character-defining features and recommendations for treatment. The Tokio Florist/Sakai-Kozawa Residence was exclusively a residential property from 1929 to 1960 and a mixed-use, residential and commercial property from 1960 to 2006. A proposed project involves adaptively reusing the property for commercial office use.

1.1 Qualifications

Teresa Grimes and Emily Rinaldi were responsible for the preparation of this report. They fulfill the qualifications for historic preservation professionals outlined in Title 36 of the Code of Federal Regulations, Part 61.

¹ Los Angeles Administrative Code §22.171 of Article 1, Chapter 9, Division 22.

1.2 Methodology

The purpose of this report is to guide the rehabilitation of the Tokio Florist/Sakai-Kozawa Residence by identifying character-defining features and providing appropriate approaches to its rehabilitation in compliance with the Standards. To compile this report, the GPA project team gathered and reviewed the existing information on the property and conducted additional research to thoroughly document the construction history. This research included reviewing building permit records, historic photographs, and historic maps. The project team conducted an intensive field inspection of the property's site as well as the exterior and interior of buildings and structures to identify the character-defining features and to assess their overall physical condition. Digital photographs were taken during this field inspection.

Based upon the research and inspection, the project team created a table of character-defining features for the property. The table includes a description of each feature, indication of whether it is primary, secondary, or non-character-defining, reasoning for the classification, and a representative photograph.

The recommendations are in direct response to the condition of features and materials observed in the field as well as the proposed scope of work. The project team consulted the relevant references and source materials regarding the Standards, including the *Secretary of the Interior's Guidelines for the Treatment of Historic Properties* and various National Park Service Technical Briefs, among others.

It is important to note that the intention of this report is not to provide a comprehensive recordation of conditions and rehabilitation treatments. This type of exercise is best implemented as a separate, focused task that is intended to provide specific repair recommendations and specifications. Instead, the intention is to provide a general overview of the scope of work for the rehabilitation of the Tokio Florist/Sakai-Kozawa Residence. Further surveys are needed for certain features or materials. Testing and conservation assessments are recommended in order to identify more comprehensively the extent of rehabilitation treatment and repair required. Mockups of a proposed treatment or product to be reviewed and approved by a qualified architect or buildings material conservator are also recommended prior to full-scale implementation or widespread application.

2. SUMMARY OF SIGNIFICANCE²

The single-family residence and garage on the property were originally constructed in circa 1911 on a parcel in the Wilshire Community Plan Area of Los Angeles. They were designed in the Craftsman style with Tudor Revival features purportedly by master builders John B. Althouse and Daniel T. Althouse. The residence and garage were later moved to their current locations in 1929. The residence was subsequently occupied by the Sakai-Kozawa family from 1960 to 2006, who also used the property for their floral business named Tokio Florist.

The property is listed as an HCM under Criterion 1 as the long-time location of Tokio Florist, a flower shop that is strongly associated with the commercial identity of Silver Lake as well as

the history of Japanese Americans in Los Angeles. Following World War II, California's remaining flower cultivation was controlled by Japanese Americans, who produced 65 percent of the flowers grown in California through the 1970s. In this era, the family enterprise system of Japanese-operated farms in Los Angeles all but disappeared along with the available open land. However, flower farms, floral shops, and nurseries continued to dominate the landscape in neighborhoods such as Silver Lake, Los Feliz, and Atwater Village. Japanese Americans also moved into small homes with big yards and transformed their properties into small floral businesses like Tokio Florist. These contributions of Japanese American towards economic enterprise and the social fabric of Los Angeles are reflected in the last remaining material and contextual markers related to the once-abundant flower growing industry in the area.

The Tokio Florist/Sakai-Kozawa Residence is also listed under Criterion 3 as an excellent example of a single-family residence in the Craftsman architectural style with Tudor Revival features. Despite the various alterations and deferred maintenance that the property has experienced, primarily related to the exterior and surrounding grounds, the property retains most of the characteristic features of the architectural style, including decorative half-timbering, a steeply-pitched roof with overhanging eaves and exposed rafter tails, decorative brackets, intricately designed fascia boards, stone pillars, and stone cladding. In addition, the interior of the residence is mostly intact and displays high quality wood craftsmanship for which the Althouse Brothers are known, including built-in buffets,

² Adapted from Kristen Hayashi, Rosalind Sagara, and Catherine Gudis, "Los Angeles Historic-Cultural Monument Nomination: Tokio Florist/Sakai-Kozawa Residence," May 9, 2019; and City of Los Angeles

Office of Historic Resources (OHR), *Final Determination Staff Recommendations Report for the Tokio Florist/Sakai-Kozawa Residence* (September 2019).

bookcases, wall paneling, window and door casings, and fireplace mantels.

Because the residence is already a designated HCM, GPA did not re-evaluate it under national, state, or local landmark programs. GPA also did not re-evaluate the site as a cultural landscape. A cultural landscape is defined by the National Park Service (NPS) as “a geographic area (including both cultural and natural resources and the wildlife or domestic animals therein), associated with a historic event, activity, or person or exhibiting other cultural or aesthetic values.”³ There are four types of cultural landscapes: historic sites, historic designed landscapes, historic vernacular landscapes, and ethnographic landscapes. As a landscape that evolved over time by its use by the Sakai-Kozawa family as a flower shop, the Tokio Florist/Sakai-Kozawa Residence would be considered a historic vernacular landscape.⁴

3. PROPERTY DESCRIPTION⁵

3.1 Site

The Tokio Florist/Sakai-Kozawa Residence is located at 2718 N. Hyperion Avenue between Rowena Avenue and Griffith Park Boulevard. The single-family residence is sited at the center of a half-acre rectangular parcel. It is surrounded by landscaped grounds and several ancillary buildings. The property is accessed via a driveway on N. Hyperion Avenue with a metal sliding gate. The remainder of the property is generally bordered by a metal chain link fence located at the east, south, and west parcel boundaries, and a concrete block wall located at the

north parcel boundary. A pole mounted commercial sign is located at the northwest corner of the driveway.

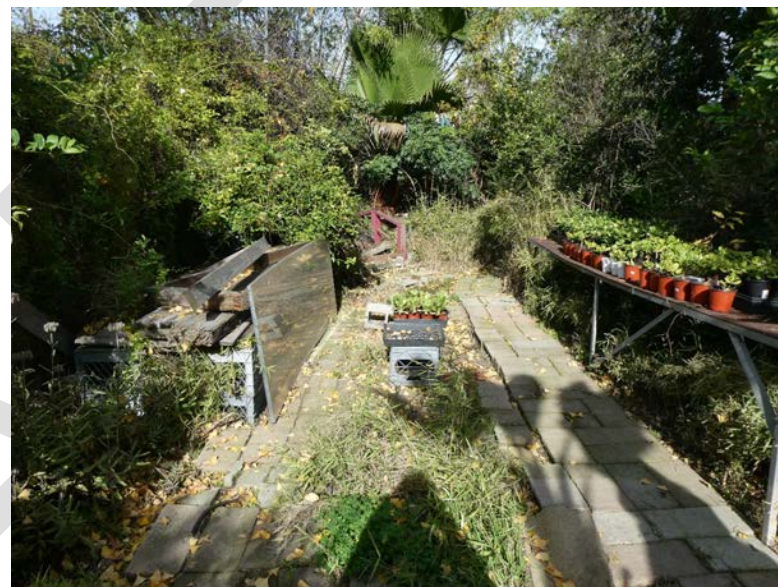


Figure 1: Tokio Florist/Sakai-Kozawa Residence, Japanese Garden, view looking north (GPA, 2019)

To the west of the residence is a surface parking area paved with concrete and bordered by landscaping to the east and south. A carport with a corrugated metal roof supported by wood columns is located to the north of the surface parking area at the north parcel boundary. A Japanese garden is sited between the surface parking area and the residence (see Figure 1). It features winding concrete paths and two water features with wood foot bridges bordered by mature plantings.

³ “Defining Landscape Terminology,” U.S. Department of the Interior, National Park Service, accessed December 23, 2019, <https://www.nps.gov/tps/standards/four-treatments/landscape-guidelines/terminology.htm>.

⁴ NPS defines a historic vernacular landscape as “a landscape that evolved through use by the people whose activities or occupancy shaped it.” “Defining Landscape Terminology.”

⁵ Adapted from Hayashi et. al., 1-4; and OHR, 3-6.

To the south of the garden is a driveway with concrete pavers that leads to the porte-cochere and the area to the east of the residence.

To the east of the residence are three ancillary buildings, a greenhouse located directly to the east of the residence, a two-car garage located to the northeast of the greenhouse, and a three-car garage located to the southeast. The greenhouse was constructed in circa 1960. It is rectangular in plan, constructed of wood, and clad in corrugated fiberglass with a flat corrugated fiberglass roof. Like the residence, the two-car garage was constructed in circa 1911 on a parcel in the Wilshire Community Plan Area and moved to its current location in 1929. It is generally rectangular in plan, constructed of wood, clad in clapboard and wood shingles, and features a gabled roof with composite shingles. The three-car garage was constructed in 1949. It is generally rectangular in plan, constructed of wood, clad in clapboard siding, and features a flat roof with composite shingles.

At the east end of the property is an upper terrace. It is bordered by a concrete retaining wall to the west, and accessed via a flight of concrete steps immediately to the south of the three-car garage. The upper terrace features raised beds and various mature plantings.

3.2 Residence Exterior

The Craftsman residence is two stories in height with an attic and basement, and irregular in plan (see Figure 2). The broadly pitched gable roof spans the width of the building with numerous cross gables projecting to the west and east. The building is composed of a wood frame structure and a variety of cladding materials. The first story features stone and clapboard cladding, while the second story is composed

primarily of stucco with half-timbering details and non-original asbestos shingles. The residence also exhibits Tudor Revival-style features, such as exposed rafters, triangular braces in the gables, decorative half-timbering, ornamented rakes, and grouped windows with diamond and cross patterns throughout.



Figure 2: Tokio Florist/Sakai-Kozawa Residence, circa 1911 residential building, view looking southeast (GPA, 2019)

The primary elevation faces west toward Hyperion Avenue and is characterized by a pair of dominant projecting gables with half-timbering details and a deep porch that spans the entire façade. The porch features prominent stone and wood columns and has been partially enclosed to the north by non-original plywood walls. A non-original addition off the porch extends out to the west; it features windows on each elevation. The main entrance is recessed within the porch and includes a single wood slab door flanked by two beveled side lights with flower

motifs, set within a wood paneled surround (see Figure 3). The door has an irregularly-shaped beveled light and original hardware. A non-original metal security door has been added.



Figure 3: Tokio Florist/Sakai-Kozawa Residence, first-story porch, view looking south (GPA, 2019)

The primary elevation has irregularly-spaced fenestration at the first and second stories. There are two tripartite windows on the first story with a wide central fixed window flanked by two casement windows featuring a diamond and cross design. Both window openings also feature concrete window sills. The second story fenestration includes a semi-hexagonal bay window, a tripartite window with a central fixed sash flanked by casements, and three single-hung windows. A pair of small windows are located at the attic. With the exception of the windows at the center bay of the second story, the diamond and cross design are repeated throughout. All of the second-

story windows have non-original screens. The tripartite window on the second story has a non-original metal awning.

The entrance to the porte-cochere carries the half-timbering and ornamented rake detail of the residence, with an additional dentil molding below the gable. Extending beyond it to the east is a non-original wood and corrugated metal awning structure. This structure is held up by cast iron pipes on the north and a sliding door to the east. This indoor/outdoor space functioned as a primary work area for the Tokio Florist business.

On the first story of the south elevation at the west end is a pair of casement windows on each side of a brick chimney followed by a row of four casement windows. These windows feature the diamond and cross design. Located to the southeast is a secondary (rear) entrance and a row of two-over-two casement windows. The rear entrance consists of a single partially-glazed wood paneled door. The second story features a single-hung window, two non-original jalousie windows, and a pair of single-hung windows. Located at the southeastern portion of elevation is a pair of sliding windows featuring the diamond and cross design.

On the first story of the east (rear) elevation at the south end is a semi-hexagonal bay window with a large fixed central window flanked by two single-hung windows, all with the diamond and cross design. To the north, the exterior wall jogs out and features three single-hung windows, followed by four two-over-two casement windows. On the second story, moving from south to north is a single-hung window followed by a jog and a pair of single-hung windows. The northernmost section of the east elevation has two pairs of sliding windows with the diamond and cross design.

On the first story of the north elevation at the east end are a pair of casement windows followed by a small rectangular-shaped

fixed window, and a single-hung window. Following a jog in the elevation, there are three windows; the first and third windows are single-hung and the central window is a small horizontally-shaped stained glass window. All three windows feature concrete window sills. The second story fenestration includes three pairs of single-hung windows with the diamond and cross design. A pair of small windows with the diamond and cross design are located at the attic. With the exception of the attic windows, all windows have non-original screens.

3.3 Residence Interior

The interior of the residence retains its original floor plan and includes four bedrooms, three-and-a-half baths, formal dining room, family room, living room, breakfast room, sunroom, kitchen, and historic staff quarters. The foyer is accessed from the main entrance and connects to the dining room on the north and living room on the south via pocket doors. To the east of the living room is a family room, also accessible via pocket doors. The foyer, family room, living room, and dining room all feature wood paneling, wainscoting, crown molding, wide wood baseboards, and antique return-air grilles. These rooms retain original chandelier lighting fixtures and velvet flocked wallpaper borders. The living room also features a coffered ceiling and fireplace composed of tile and wood, with a mirror centrally located above the mantel; while the dining room and family room each retain built-in cabinetry (see Figure 4). The foyer, living room, and family room are currently carpeted, but all likely originally featured hardwood flooring identical to the flooring still extant in the dining room.

At the east end of the residence are the breakfast room, kitchen, and laundry room. The breakfast room features crown molding and board and batten wainscoting. The kitchen retains built-in cabinetry and has updated countertops and lighting

features. The breakfast room, kitchen, laundry room, and ½ bathroom feature linoleum floors. Near the rear entrance are a small flight of stairs that lead to the basement. To the northwest of the kitchen is an additional bedroom and half-bathroom that likely historically served as the staff quarters.



Figure 4: Tokio Florist/Sakai-Kozawa Residence, first-floor dining room, view looking south (GPA, 2019)

The stairs to the second floor are located within the foyer and consist of carpeted treads and risers with a wood railing. The second-floor hallway then connects to four bedrooms, one to the northeast, northwest, southeast, and southwest, as well as a master bathroom between the northwest and northeast bedrooms. An additional bathroom is located between the southwest and southeast bedrooms. The bedrooms all feature hardwood flooring, wood baseboards, plaster walls with wallpaper, and plaster ceilings. The bathrooms on the second

story retain their original tile flooring and porcelain clawfoot bathtubs.

4. CONSTRUCTION CHRONOLOGY

The building permit record for the property is incomplete as not all the alterations observed in the field are documented by building permits. The majority of the alterations appear to have been undertaken by Frank Kozawa during the period the Sakai-Kozawa family occupied the property between 1960 and 2006. In interviews with Kozawa's daughter, Susie Kozawa, she noted that her father continually made improvements to the property over time and performed much of the work himself without filing a building permit with the Los Angeles Department of Building and Safety.⁶



Figure 5: Tokio Florist/Sakai-Kozawa Residence in 1936, view looking northwest (LAPL)

Historic photographs of the property taken prior to 1960 illustrate that the area to the west of the residence featured a lawn with a curvilinear unpaved path and a driveway likely paved with concrete (see Figure 5). The west area was landscaped with

various trees and small plantings. The driveway extended east through the porte-cochere and terminated at the two-car garage to the northeast. The area to the east of the garage gently sloped down to grade and was not yet terraced or extensively landscaped. In 1939, a new concrete retaining wall was constructed at the rear of the property and the east end was likely terraced at this time.⁷ Between 1947 and 1948, a new three-car garage was constructed to the east of the residence.⁸

Notable alterations to the exterior of the residence after 1960 include: the partial enclosure of the porch; the construction of an addition to the west of the porch; an addition to the east of the porte-cochere; and the replacement of two original window sashes on the second story of the south elevation. Notable alterations to the interior of the residence include: the installation of carpet over the hardwood floors in select rooms on the first and second floors; the replacement of original light fixtures in many of the rooms on the first and second floors; the replacement of the original kitchen counters; the replacement of toilets in all bathrooms; and the replacement of the original flooring in the kitchen, breakfast room, and service porch. Other notable alterations to the site include: the construction of a surface parking lot with a carport and Japanese-style garden to the west of the residence and construction of a greenhouse to the east of the residence. Please see the construction chronology below for all known alterations to the property.

Construction Chronology ⁹	
Date	Description of Work
c. 1911	Single-family residence and garage were constructed at 326 S. Normandie Avenue.

⁶ Susie Kozawa, conversation with Emily Rinaldi, December 19, 2019.

⁷ Los Angeles Department of Building and Safety (LADBS), Building Permit No. 36564, September 18, 1939.

⁸ LADBS, Building Permit No. 29658, December 31, 1947.

⁹ Hayashi et. al., 6.

Construction Chronology ⁹	
Date	Description of Work
1929	Single-family residence and garage were re-located from 326 S. Normandie Avenue to their current location at 2718 N. Hyperion Avenue.
1939	New concrete retaining wall added at the rear of the property. East end of property likely terraced and concrete steps constructed at this time.
1947	New three-car garage added to the east of residence.
c. 1960	New addition at porte-cochere constructed. New greenhouse constructed to the east of the residence. Japanese garden constructed to west of the residence. Porch enclosed and new addition constructed. Metal window awnings added on the second story of the street-facing elevation.
1965	New pole mounted commercial sign added at west property line.
c. 1990	New addition to porch constructed.
Unknown	New carport constructed at the northwest end of the surface parking lot. New window screens installed at the majority of windows throughout. Second-floor bathroom windows on the south elevation replaced. New counters installed in the kitchen on the first floor.

Construction Chronology ⁹	
Date	Description of Work
	New vinyl flooring installed in the first-floor breakfast room, kitchen, kitchen foyer, and service porch. New light fixtures installed in the first-floor breakfast room, kitchen, and service porch, as well as the second-floor bedrooms and bathrooms. Plywood paneling, sliding glass door, and French door added at three-car garage.

5. PRESERVATION GUIDELINES

The *Secretary of the Interior's Standards for the Treatment of Historic Properties* (Standards) are a series of best practices issued by the National Park Service for maintaining, repairing, and replacing historic materials, as well as designing new additions or making alterations to historic properties. The Standards are accompanied by Guidelines for four types of treatments for historical resources: Preservation, Rehabilitation, Restoration, and Reconstruction. The Standards are used by the CHC and OHR in their review of proposed alterations to properties listed under national, state, and local landmark programs. As a designated HCM, the Tokio Florist/Sakai-Kozawa Residence is subject to the Standards.

The project proposes to reuse the property as commercial offices. Because the significance of the Tokio Florist/Sakai-Kozawa Residence is related to its history as a flower shop and its Craftsman-style architecture, the goal of the project is to preserve landscape features that are significant to the property's history as a flower shop, while further enhancing the integrity of the residence and garage by removing features added after 1929, the date these buildings were relocated to

their current locations. To this end, the character-defining features of the Tokio Florist/Sakai-Kozawa Residence that are significant under Criteria 1, 3, or both are identified in Section 6. Furthermore, the goal of the project is to make appropriate changes to the property to suit new and modern amenities. Therefore, the most appropriate treatment for the property is rehabilitation. Rehabilitation emphasizes the protection of existing historic fabric while allowing for compatible change.

5.1 Standards for Rehabilitation

The definition of rehabilitation assumes that at least some repair or alteration of the historic property will be needed in order to provide for an efficient contemporary use; however, these repairs and alterations must not damage or destroy materials, features, or finishes that are important in defining the property's historic and architectural character. The Standards for Rehabilitation are as follows:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

It is important to note that the Standards are not intended to be prescriptive, but instead provide general guidance. They are intended to be flexible and adaptable to specific project conditions to balance continuity and change, while retaining materials and features to the maximum extent feasible. Their interpretation requires exercising professional judgment and balancing the various opportunities and constraints of any given project. Not every Standard necessarily applies to every aspect of a project, nor is it necessary to comply with every Standard to achieve compliance.

5.2 Guidelines for Rehabilitating Cultural Landscapes¹⁰

The *Guidelines for the Treatment of Cultural Landscapes* illustrates how to apply the Standards for Rehabilitation to cultural landscapes as a specific property type. The Guidelines for Rehabilitating Cultural Landscapes are as follows:

Identify, Retain, and Preserve Historic Materials and Features

Guidance for the treatment Rehabilitation begins with recommendations to identify those landscape features and materials important to the landscape's historic character and which must be retained. Therefore, guidance on identifying, retaining, and preserving character-defining features is always given first. An overall evaluation of existing conditions should always begin at this level. The character of a cultural landscape is defined by its spatial organization and land patterns; features such as topography, vegetation, and circulation; and materials, such as an embedded aggregate pavement.

Protect and Maintain Historic Features and Materials

After identifying those materials and features that are important and must be retained in the process of Rehabilitation work, then protecting and maintaining them are addressed. Protection generally involves the least degree of intervention and is preparatory to other work; it may be accomplished through permanent or temporary measures. For example, protection includes restricting access to fragile earthworks or cabling a tree to protect against breakage. Maintenance includes daily, seasonal, and cyclical tasks, and the techniques, methods and materials used to implement them. For example, repointing a stone footbridge, pruning a hedge, or rotating crops.

Repair Historic Features and Materials

When existing conditions of character-defining materials and portions of features warrant more extensive work, repairing is recommended. Rehabilitation guidance for the repair of historic features and materials, such as brick pavements, masonry walls, and wire fencing, begins with the least degree of intervention possible. Such work could include re-grading a section of a silted swale, aerating soil, or reclaiming a segment of meadow edge. Repairing also includes the limited replacement in kind of extensively deteriorated materials or parts of features, or replacement in kind of materials or parts of features lost due to seasonal change. Using material, which matches the historic in design, color, and texture, is always the preferred option; however, substitute material is acceptable if the material conveys the same visual appearance as the historic period. For example, spring replacement of annual beds; in an orchard, planting a tree of new stock that matches the historic form, and

¹⁰ Excerpted from "Guidelines for Rehabilitating Cultural Landscapes," U.S. Department of the Interior, National Park Service, accessed July 5,

2019, <https://www.nps.gov/tps/standards/four-treatments/landscape-guidelines/rehab/approach.htm>.

composition; or, using a spun aluminum baluster where a cast zinc member was beyond repair.

Replace Deteriorated Historic Materials and Features

Following repair in the hierarchy, Rehabilitation guidance is provided for replacing an entire character-defining feature with new material because the level of deterioration or damage precludes repair. Examples include replacing a farm's drought-damaged pasture or replacing a corroded cast iron fence surrounding a reservoir. Like the guidance for repair, the preferred option is always replacement of the entire feature in kind. Because this approach may not always be technically, economically, or environmentally feasible, the use of compatible substitute materials can be considered. Whatever level of replacement takes place; the historic features and materials should serve as a guide to the work. While the Guidelines recommend the replacement of an entire feature that is extensively deteriorated or damaged, they never recommend removal and replacement with new material if repair is possible.

Design for the Replacement of Missing Historic Features

When an entire feature is missing, the landscape's historic character is diminished. Although accepting the loss is one possibility, where an important feature is missing, its replacement is always recommended in the Rehabilitation guidelines as the first or preferred, course of action. Thus, if adequate historical, pictorial, and physical documentation exists so that the feature may be accurately reproduced, and if it is desirable to re-establish the feature as part of the landscape's historical appearance, then planning, designing and installing a new feature based on such information is appropriate.

A second course of action for the replacement feature is a new design that is compatible with the remaining character-defining features of the historic landscape. The new design should always take into account the spatial organization and land patterns, features, and materials of the cultural landscape itself and, most importantly, should be clearly differentiated so that a false historical appearance is not created. For example, replacing a set of lost granite steps with concrete steps, which match the historic in location, size, scale, color and texture or replacing a mass of Eastern hemlocks with Japanese spruce.

Alterations/Additions for the New Use

When alterations to a cultural landscape are needed to assure its continued use, it is most important that such alterations do not radically change, obscure, or destroy character-defining spatial organization and land patterns or features and materials. Alterations may include enclosing a septic system, increasing lighting foot candles, extending acceleration and deceleration lanes on parkways, or, adding new planting to screen a contemporary use or facility. Such work may also include the selective removal of features that detract from the overall historic character.

The installation of additions to a cultural landscape may seem to be essential for new use, but it is emphasized in the Rehabilitation guidelines that such new additions should be avoided, if possible, and considered only after it is determined that those needs cannot be met by altering secondary, i.e., non-character-defining, spatial organization and land patterns or features. If, after a thorough evaluation of alternative solutions, a new addition is still judged to be the only viable alternative, it should be planned, designed, and installed to be clearly differentiated from the character-defining features, so

that these features are not radically changed, obscured, damaged, or destroyed.

Special Considerations (Accessibility, Health and Safety, Environmental, and Energy Efficiency)

These sections of the Rehabilitation guidance address work done to meet accessibility requirements; health and safety code; environmental requirements; or limited retrofitting measures to improve energy efficiency. Although this work is quite often an important aspect of preservation projects, it is usually not part of the overall process of protecting, stabilizing, conserving, or repairing character-defining features; rather, such work is assessed for its potential negative impact on the landscape's character. For this reason, particular care must be taken not to obscure, damage, or destroy character-defining materials or features in the process of undertaking work to meet code and energy requirements.

5.3 State Historical Building Code¹¹

As a designated HCM, the Tokio Florist/Sakai-Kozawa Residence is considered a “qualified historic building or structure” under the California State Historical Building Code (SHBC). The SHBC is defined in Sections 18950 to 18961 of Division 13, Part 2.7, of the Health and Safety Code and is part of California law.

The SHBC is one of California's most valuable tools for the preservation of historic buildings. While the California Building Code (§ 3403.5) makes provisions for the special treatment of qualified historic buildings, the SHBC amplifies and codifies this

protection. The intention of the SHBC is to save California's architectural heritage by recognizing the unique construction issues inherent in maintaining and adaptively reusing historic buildings. It provides alternative building regulations for permitting repairs as well as for alterations and additions necessary for the preservation, rehabilitation, or continued use of a “qualified historical building or structure.”

6. REHABILITATION PLAN

6.1 Character-Defining Features

Character-defining features are the architectural components or physical features that contribute to a property's sense of time and place. *Preservation Brief #17: Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving Their Character* notes:

A complete understanding of any property may require documentary research about its style, construction, function, its furnishings or contents; knowledge about the original builder, owners, and later occupants; and knowledge about the evolutionary history of the building. Even though buildings may be of historic, rather than architectural significance, it is their tangible elements that embody its significance for association with specific events or persons and it is those tangible elements both on the exterior and interior that should be preserved.¹²

The character-defining features of buildings on the property can be generally grouped into three categories: the overall visual

¹¹ Adapted from “State Historical Building Code,” California Office of Historic Preservation, accessed October 2, 2018, http://ohp.parks.ca.gov/?page_id=21410

¹² Lee H. Nelson, “Preservation Brief #17: Architectural Character: Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving Their Character,” US Department of the Interior, National Park Service, Cultural Resources, 1.

character of a building, the exterior materials and craftsmanship, and the interior spaces, features, and finishes.

Like with historic buildings, the components of cultural landscapes are physical expressions of both tangible and intangible aspects of a place. These aspects have typically either influenced the history of a cultural landscape's development or are products of its development.¹³ The character-defining features of landscapes can generally be grouped into thirteen categories, six intangible and seven tangible. The six intangible character-defining features are: natural systems & features, spatial organization, circulation, land use, cluster arrangements, and cultural traditions. The seven tangible character-defining features are: topography, buildings and structures, vegetation, constructed water features, archaeological resources, views and vistas, and small-scale features. Not all of the above categories are present at the Tokio Florist/Sakai-Kozawa Residence; therefore, only those that are existing were identified as character-defining features of the landscape.

The relative importance of character-defining features of both buildings and cultural landscapes depends on the level of craftsmanship, visibility, and integrity. In addition, some character-defining features are more important than others in conveying the significance of the property. Primary character-defining features are considered the most important elements contributing to the significance of the building, while secondary features are considered less important.

As previously stated, the Tokio Florist/Sakai-Kozawa Residence is historically significant under Criterion 1 as the long-time location

of Tokio Florist, a flower shop that is strongly associated with the commercial identity of Silver Lake as well as the history of Japanese Americans in Los Angeles. The period of significance under Criterion 1 is 1960 to 2006, which encompasses the dates the Sakai-Kozawa family resided at the property and operated it as a flower shop. The property is also architecturally significant under Criterion 3 as an excellent example of a single-family residence in the Craftsman style with Tudor Revival influences. The period of significance under Criterion 3 is circa 1911, the date of construction, and 1929, the date the residence and garage were relocated to the property.

Because the property has two periods of significance, distinctive features, spaces, and materials that are key to the feeling and function of the Tokio Florist flower shop are noted as character defining under Criterion 1. Distinctive features, spaces, and materials that are key to the feeling and function of a Craftsman-style single-family residence from the 1910s are noted as character defining under Criterion 3. If a feature, space, or material is not character defining under either Criteria 1 or 3, then it is noted as not contributing to the significance of the property for the sake of clarity.

The character-defining features of the Tokio Florist/Sakai-Kozawa Residence are described in detail, illustrated, and analyzed in the Section 6.3 and 6.4 tables on the following pages. The table lists each feature and indicates if it is primary or secondary under Criteria 1, 3, or both. Photographs are of representative examples of the character-defining features outlined in the table. Every instance of every feature was not photographed or included in this table. Although practices

¹³ "Cultural Landscapes 101," U.S. Department of the Interior, National Park Service, accessed June 5, 2019, <https://www.nps.gov/articles/cultural-landscapes-101.htm>.

within the field vary, for this report the three categories of character-defining features are defined as follows:

Primary

- It dates from the period of significance
- It directly relates to the original/historic use, type, and style
- It retains integrity; with no or only minor alterations
- It displays craftsmanship
- It is highly visible

Secondary

- It dates from the period of significance
- It has been altered, but retains integrity overall
- It is functional and does not display quality of design or construction
- It is less visible and/or not originally accessible to the public

Not

- It post dates the period of significance
- It has been substantially altered
- It is not visible and/or not originally accessible to the public

The table also lists each character-defining feature's condition and includes a recommended treatment for preservation, rehabilitation, repair, removal, or replacement. The condition of non-character-defining features were not surveyed as part of this report. The conditions are described as either good, fair, or poor, and are defined as follows:

Good

- Intact, structurally sound, and performing its intended purpose; and
- Needs no repair or rehabilitation beyond routine or preventative maintenance.

Fair

- Signs of wear, failure, or deterioration; and
- Needs repair or rehabilitation beyond routine or preventative maintenance; but
- Structurally sound and performing its intended purpose overall.

Poor

- Signs of wear, failure, or deterioration, as well as no longer structurally sound or performing its intended purpose.

Not Applicable

- Original feature, finish, or material is missing or has been replaced with a new, non-compatible feature, finish, or material.

6.2 Overall Recommended Treatments

The recommendations for the Tokio Florist/Sakai-Kozawa Residence are in direct response to the conditions of features and materials observed in the field as well as the proposed project objectives to adaptively reuse the property for commercial office use. The recommendations are organized into three sections: Recommended Landscape Treatments, Recommended Residence Exterior Treatments, and Recommended Residence Interior Treatments.

Recommended Landscape Treatments



Figure 6: Foot bridges in the Japanese garden are in poor condition (GPA, 2019)

The landscape features on the property are generally in poor condition primarily as a result of deferred maintenance as well as poor workmanship and materials (see Figure 6). Many of the built features were not permitted or constructed by qualified professionals; therefore, they likely do not meet current building codes and standards. The removal and replacement of non-code compliant structures such as the greenhouse and carport is likely unavoidable.

The treatment recommendations for the property's landscape features relate to rehabilitating the built infrastructure and

renewing the vegetation. As the majority of the property's built infrastructure is in poor condition, most features will be removed and replaced. Primary character-defining features in poor condition, such as the koi ponds and foot bridges, will be reconstructed in kind and/or with compatible substitute materials that convey the same visual appearance as the existing. Secondary character-defining features in poor condition will primarily be replaced with new features that are compatible with the historic character of the landscape. New additional features will also be added as necessary for the property's new use as commercial offices. The design of new features should be compatible with the historic spatial organization, land patterns, features, and materials of the landscape overall.

GPA did not compile a complete inventory of the property's vegetation nor assess its overall health. It is recommended that vegetation be surveyed by a qualified professional in order to determine to what extent the vegetation can be preserved and rejuvenated by non-destructive methods.

Overall recommendations for the treatment of the landscape characteristics are as follows:

- Primary character-defining features that are in good condition should be preserved and repaired as necessary using recognized preservation methods.
- Primary character-defining features that are deteriorated beyond repair should be replaced in kind. If using the same kind of material is not technically, economically, or environmentally feasible, then a compatible substitute material may be considered as long as the reconstructed feature conveys the same visual appearance.

- Secondary character-defining features that are deteriorated beyond repair may be removed and replaced with new features as necessary for new use. New features should be compatible with the historic character of the property.
- New features may be added as necessary for new use. New features should be compatible with the historic character of the property.
- Pedestrian and vehicular circulation may be reconfigured as necessary for new use as well as to comply with current code and accessibility requirements. Brick and stone paving should be salvaged and reused to the extent possible.
- New circulation features and paving should be compatible with the historic character of the property and maintain the feeling of a vernacular landscape.
- Accessibility code-required work should be undertaken to the highest degree practicable, while preserving primary character-defining features as well as spatial organization and land patterns overall.
- Two-car garage should be preserved and repaired as necessary. If it is beyond repair, the garage should be accurately reconstructed while complying with current code and using salvaged materials to the extent possible.
- Ancillary buildings, such as the greenhouse and carport, that are in poor condition may be removed to accommodate the new use.
- New structures or buildings should be subordinate in size, clearly distinguishable from the historic buildings, and

compatible in size, scale, and massing. Architectural features and materials may be similar to the features on the historic residence, but should not duplicate them.

- Further investigation should be conducted by a qualified professional to determine the condition and age of the vegetation.
- Healthy vegetation should be preserved in place and rejuvenated if possible by corrective pruning, deep root fertilization, soil aeration, and/or grafting onto historic genetic root stock. Dead and unhealthy vegetation should be removed.
- Rare plants should be protected in place during construction or boxed as necessary and replanted.
- New vegetation should be compatible with the historic character of the property as a vernacular landscape.

Recommended Residence Exterior Treatments



Figure 7: Differential settlement at porch on west elevation (GPA, 2019)

Like the landscape features, the residence exterior is in fair to poor condition primarily as a result of foundation and structural failures as well as deferred maintenance. The treatments recommended for the building's exterior relate to repairing physical conditions to historic features and materials that contribute to the property's significance under Criterion 3. Character-defining features that are deteriorated beyond repair, such as the front porch or brick chimneys, should be reconstructed using salvaged historic materials to the extent feasible (see Figure 7). Non-original features and finishes that do not contribute to the property's significance under Criterion 3 may be removed, and new compatible replacements may be installed as necessary for new use. New features should be either an accurate restoration based on documentary and physical evidence or a new design that is compatible with the architectural character of the building.

Overall recommendations for the treatment of the exterior are as follows:

General Principles

- Character-defining features, finishes, and materials that date from the building's period of significance under Criterion 3 should be preserved.
- Deteriorating character-defining features, finishes, and materials that date from the building's period of significance under Criterion 3 should be repaired as necessary using recognized preservation methods. Repair may include limited replacement in kind when materials and features are missing or deteriorated beyond repair.
- Where character-defining features, such as the front porch or brick chimneys, are deteriorated beyond

repair, historic materials should be salvaged for reinstallation if possible. If the feature cannot be salvaged, it should be replaced in kind.

- Hazardous materials, such as asbestos shingles, should be removed using only the least damaging abatement methods.
- Non-original features, finishes, and materials that are not significant under Criterion 3 may be removed, including features added or constructed during the period of significance under Criterion 1. These include the west and east additions, asbestos shingles, metal awning, window screens, and jalousie windows (see Section 6.4 for more information).
- New compatible replacements may be installed as necessary for new use. New features should be either an accurate restoration based on documentary and physical evidence or a new design that is compatible with the Craftsman style of the building. If using the original material is infeasible, then a compatible substitute material may be considered.
- All cleaning methods should utilize the gentlest means possible, such as low pressurized water or appropriate chemical cleaning. Pressure cleaning, whether by water or chemicals shall not exceed 300 pounds per square inch (PSI). Recommended pressurized cleaning options include the JOS/TORC and the Sponge-Jet systems. In instances of heavily soiled or stained areas the surface may be cleaned using a natural or synthetic bristle brush. The use of metal bristle brushes is not acceptable and can damage the substrate.

- Sandblasting or any other abrasive cleaning methods should not be used to prepare or clean the exterior.
- Test patches of selected cleaning or repair methods should be conducted in discrete locations of the elevation prior to widespread use.
- A qualified professional should review and approve the mock-up of the selected cleaning or repair method prior to widespread use.

Wood



Figure 8: Porte-cochere on west elevation, wood deterioration at ornamental rake (GPA, 2019)

Throughout the exterior of the residence, wood features exhibit a range of conditions from good to poor. As an organic material, wood is often more susceptible to damage as well as deterioration and decay due to persistent exposure to weather and moisture (see Figure 8). While wood features should be replaced in kind when they are deteriorated beyond repair, removing wood features that should be stabilized and repaired may negatively impact the residence's architectural character, diminishing its overall integrity of materials and workmanship.

Therefore, a qualified buildings material conservator, architect, or contractor should be engaged to conduct further surveys to determine the extent of repair and replacement of wood features required.

- Further investigation should be conducted by a qualified professional to determine whether wood features exhibiting signs of deterioration can be strengthened and stabilized by consolidation or if the feature is deteriorated beyond repair and should therefore be replaced in kind.
- Wood that is not deteriorated beyond repair may be strengthened and stabilized as necessary by consolidation using epoxies or wood fillers. After correcting any problems, apply a water-repellant wood preservative that can be painted.
- Localized areas of deterioration may also be patched with a Dutchman repair as necessary. The repair procedure involves cutting a piece of wood, called a Dutchman, slightly larger than the area of damage that has been cut out. The Dutchman then is laid over the damaged area and an outline scribed into the original wood surface below. Next, a chisel or router is used to follow the scribed line to form an opening in the existing wood for the new piece. As a preventive measure, an appropriate fungicide should be applied to the surrounding old wood and allowed to dry. The Dutchman is then glued into place with waterproof adhesive, such as an epoxy formulated for wood. The repair is finished by trimming or sanding the surface of the new wood down flush with the surrounding existing surfaces, priming and painting.

- Wood that is deteriorated beyond repair should be replaced in kind. Replacement wood features should match the historic component as closely as possible in design, color, texture, and other qualities to retain the residence's architectural character.
- Wood features that require replacement should be carefully removed by a qualified professional. Deteriorated portions should be cut off as necessary and undeteriorated portions should be salvaged for reinstallation.

Stucco

- Stucco should be cleaned using the gentlest means possible, such as a low pressure water wash supplemented by scrubbing with a soft natural bristle brush and non-ionic detergents, if necessary.
- Organic plant material and metallic stains should be removed from stucco using poultices and appropriate solvents.
- Small hairline cracks should be repaired or sealed with a thin slurry of the finish coat. The finish coat should be worked to match the texture of the original stucco. Commercially available caulking compounds are not a suitable material for patching hairline cracks and should not be used.
- Large cracks or severely deteriorated, cracked, or loose stucco should be removed down to the lath or masonry substrate. The substrate should be cleaned, repaired, or replaced as necessary to ensure a firm bond. New patches should be applied to the substrate in three coats, base coat, second coat, and finish coat, using a

stucco mix that is compatible in strength, composition, color, and texture. The finish coat should be worked to match the texture of the original stucco.

- Sandblasting or any other abrasive cleaning methods should not be used to prepare or clean the exterior.

Paint

- A comprehensive paint analysis may be performed in order to determine if the exterior masonry was originally painted. If an original paint layer is identified, the color may be matched, and the building repainted its original paint color.
- Historically painted features should be repainted following proper surface preparation. Test patches of selected paint removal methods should be conducted in discrete locations of the elevation prior to widespread use.
- Painted features should be cleaned using low pressurized water. Pressure cleaning should not exceed 300 pounds per square inch (PSI). The cleaned surface should be rinsed thoroughly and permitted to dry before further inspection.
- Areas of inter-coat peeling are areas where the newest layer of paint did not adhere properly to the previous layer and are therefore peeling. The peeling top coat should be scrapped off with a putty knife and hand or mechanically sanded.
- Areas of peeling to a bare material surface should be scrapped off with a putty knife and hand or mechanically sanded to the bare material.

- Areas of cracking that are present at only the top layer should be scrapped off with a putty knife and hand or mechanically sanded.
- Areas of cracking that have progressed to a bare material surface and the paint has begun to flake should be scrapped off with a putty knife and hand or mechanically sanded to the bare material.
- Painted wood features should be regularly maintained in order to slow their deterioration. Before repainting, wood features should be further surveyed by a

- Severely spalled stone or cast stone units with spalls more than approximately five millimeters in depth should be replaced with new matching stone units or repaired with Dutchman as appropriate.

Brick



Figure 9: Tilting brick chimney on east side of roof (GPA, 2019)

The brick chimneys are in poor condition, and their treatment should be given high priority (see Figure 9). The chimney appears to be leaning above the roofline, indicating the brickwork has destabilized. A qualified structural engineer should be engaged to conduct further surveys to determine if the chimneys are structurally sound and to provide recommendations for repair.

- #### Stone & Cast Stone
- Hairline cracks in stone or cast stone units that show no sign of increasing in size do not require repair.
 - Moderate cracks in stone or cast stone units should be repaired using an appropriate cementitious grout that is compatible with the stone and detailed to match the adjacent surface. Moderate cracks are generally defined as a superficial crack less than approximately one millimeter in width that does not go through the body of the stone unit.
 - Severely cracked stone or cast stone units that exceed approximately one millimeter in width and/or go through the body of the stone unit should be replaced with new matching stone units or repaired with Dutchman as appropriate.
 - Incipient or shallow spalls less than approximately five millimeters in depth should be removed from stone or cast stone units by redressing the stone to a sound substrate and detailing to match the adjacent intact surface.

- Further investigation should be conducted by a qualified professional to determine whether the brick chimneys can be stabilized or if the feature is deteriorated beyond repair.

- If chimneys are deteriorated beyond repair, they should be reconstructed using new brick that matches the historic in appearance.
- Hairline cracks in brick units that show no sign in increasing in size do not require repair.
- Moderately cracked brick units should be replaced in kind with new brick. Moderate cracks are generally defined as a superficial crack less than approximately one millimeter in width. Moderate cracks do not go through the body of the brick unit.
- Severely cracked brick units should be replaced in kind with new brick. Severe cracks are generally defined as cracks that exceed approximately one millimeter in width and/or go through the body of the unit.
- Brick should be cleaned of dirt and atmospheric soiling using the gentlest means possible.

Mortar

- Remove mortar where there is evidence of deterioration, such as disintegrating mortar, cracks in mortar joints, or loose masonry units.
- Deteriorated mortar should be carefully removed to avoid damaging the masonry. Power tools should be used only on horizontal joints on masonry in conjunction with hand chiseling to remove hard mortar that is deteriorated or that is a non-historic material that is causing damage to the masonry units. Mechanical tools should be used only by skilled masons in limited circumstances and generally not on short, vertical joints in masonry.

- Repoint mortar joints using an appropriate mortar. To design a mortar that works within the overall masonry system, a compositional analysis should be performed to characterize the original mortar. Based on that analysis, an appropriate mortar should be designed that is compatible in terms of color, binder, aggregate, and material properties. The mortar joints should be tooled to match the existing.

Concrete Paving

- Hairline to moderate cracks in concrete paving do not require repair. Hairline and moderate cracks are generally defined as a superficial crack less than approximately one millimeter in width that does not go through the body of the masonry.
- Severely cracked concrete paving should be replaced with new matching concrete if it presents a dangerous tripping hazard. The new concrete should replicate the material properties and appearance of the historic concrete.
- Severely spalled areas of concrete paving should be patched with patching material that replicates the material properties and appearance of the historic concrete. Damaged concrete should be cut back, and the new patch carefully applied so that it will bond satisfactorily with the historic concrete.
- Concrete paving that is deteriorated beyond repair or must be removed to accommodate structural work should be replaced in kind. New concrete should replicate the appearance of the historic concrete.

Entrances & Doors

- Original door opening on the primary (west) elevation should be preserved and should not be resized.
- Original wood doors, where they remain, appear to be in fair condition and should be preserved. Evaluate the overall condition of the doors to determine the extent of protection, treatment, and maintenance required.
- New door openings are permitted if necessary for the new use, provided they are constructed on a secondary elevation and not visible from the public right-of-way. New door openings should not be constructed on the primary (west) elevation. New openings should be consistent in size and scale with the original door openings, and any new doors installed should be compatible with the Craftsman style of the building. New doors should also be differentiated as new and should not attempt to simply replicate original doors.

Windows

- Original window openings on all elevations should be preserved and should not be resized.
- Windows should be protected from chemical cleanser, paint, or abrasion during work on the exterior of the building.
- Evaluate the overall condition of original windows to determine the extent of protection, treatment, and maintenance required.
- Protect and maintain the wood that comprises the original window sash and frames through appropriate surface treatments such as cleaning, limited paint

removal, re-application of protective coating systems, and replacement of deteriorated sealants, or glazing compounds.

- Make original windows weather tight and improve thermal efficiency by re-caulking and replacing or installing weather stripping.
- New glass that has the same visual characteristics as the historic glass should be installed to replace broken glass.
- Replace broken or missing hardware with new hardware that matches the historic or is compatible in appearance.
- Retrofit operable windows with a limiter if required by code.
- Interior storm windows may be added when appropriate to meet safety, security, sound, or energy conservation requirements.
- Non-original window sashes on the second story of the south elevation should be removed and replaced with new windows that are an accurate restoration based on the remaining original windows. Replacement windows should be made of wood or of a substitute material with a wood-like appearance, such as an aluminum-clad wood window sash.

Roof

- Roof shape and design should be maintained and preserved. Rooftop additions are not considered appropriate for low-rise buildings and should not be constructed.

- Evaluate the overall condition of the roof, including flashing and gutters, to determine the extent of repair and maintenance required.
- Existing asphalt roofing material, gutters, and flashing should be removed and replaced as necessary.
- New mechanical equipment should be installed so that it is not visible from the public right-of-way.
- Inspect roofs at minimum annually, and after heavy rainstorms or seismic events. Correct any deficiencies found. Clean and remove debris.

Recommended Residence Interior Treatments

The original floor plans on the first and second floors are intact and should be preserved where possible. Minor changes to the floor plans may be permitted if necessary to comply with current building codes and standards.

Primary character-defining spaces on the first and second floors are generally intact and retain their highly elaborate decorative features. The treatment recommendations for these spaces relate to cleaning and repairing existing features, finishes, and materials and restoring missing features where possible.

The remaining spaces are intact secondary spaces like bedrooms, kitchens, and bathrooms. Bedrooms are generally considered private spaces and are therefore less visible, while kitchens and bathrooms were historically more functional than decorative. Secondary character-defining spaces inclusive of their character-defining features should be preserved where possible. Alterations to secondary spaces, features, finishes, or materials may be permitted if necessary for the building's new use as commercial offices.

Non-original features and finishes that are not significant under Criterion 3 may be altered or removed as necessary to comply with current building codes and standards, upgrade utilities, or accommodate the building's new use as commercial offices.

Overall recommendations for the treatment of the interior are as follows:

General Principles

- Original floor plan should be preserved where possible. Minor changes to floor plans on floors with intact primary and secondary character-defining spaces may be permitted if necessary to comply with current building codes and standards.
- Primary character-defining spaces inclusive of their character-defining features should be preserved. Clean and repair character-defining features as necessary.
- Secondary character-defining spaces inclusive of their character-defining features should be preserved where possible. Alterations to secondary spaces, features, finishes, or materials may be permitted if necessary for the building's new use as commercial offices.
- Protect original features and finishes from damage during construction by covering them with plywood, heavy canvas, or plastic sheeting.
- Non-original features and finishes that are not significant under Criterion 3 may be altered or removed as necessary to comply with current building codes and standards, upgrade utilities, or accommodate the building's new use.

- New features, finishes, and materials installed in primary and secondary character-defining spaces should be compatible with the Craftsman style of the building.
- The historic and architectural character of the building should remain evident in the selection of new features and finishes.

Floors

- Maintain and repair original wood flooring as necessary. Damaged or missing sections should be patched with new wood that matches the original as closely as possible.
- Refinish wood flooring as necessary. Chemical strippers or light screening should be used to removed layers of old finishes.
- If wood floors are heavily damaged or worn, wood may be sanded; however, it is important to note that the majority of wood flooring cannot withstand multiple sandings without permanently damaging the wood. Floors should first be evaluated to determine if they have been previously sanded and whether they can withstand addition sanding.
- Ceramic tiles with hairline cracks or that are only slightly damaged should not be repaired. The removal of individual tiles can endanger surrounding tiles and therefore, should not be undertaken in order to avoid damaging good tiles.
- Severely cracked or chipped tile may be able to be repaired using epoxy glue or grout that has been tinted to blend with the tile.

- Portions of tile that are severely damaged beyond repair may be replaced in kind. Successful replacement however depends on the availability of matching tiles.
- New floor covering may be installed over original floor finishes when necessary, but they should be installed in a manner that does not damage the historic flooring material. Adhesives, such as glue, should not be used.

Walls & Ceilings

- Moldings and trim should be preserved and repaired as necessary. If it is necessary to remove moldings and trim in order to facilitate the rehabilitation work, these features should be salvaged for reinstallation at their original locations. A qualified professional should be engaged to photograph, catalog, remove, store, and reinstall.
- Paint may be removed from painted features as necessary using the gentlest method possible. Abrasive cleaning methods should not be used.
- Prime and repaint as necessary using compatible paint or other coating systems. Features that were not historically painted, such as wood paneling, should not be painted, while features that were historically painted, such as the kitchen cabinets, should remain painted.
- New mechanical, electrical, and plumbing (MEP) equipment should be installed in wall or ceiling cavities where possible. Exposed mechanical systems or utilities should only be installed in a finished space when it is necessary to protect existing decorative features. New exposed mechanical systems or utilities should be designed, painted, and appropriately located so to

have a minimal impact on the historic character of the space.

- Avoid installing dropped ceilings below ceilings with distinctive moldings and trim.

Plaster



Figure 10: Southeast bedroom on the second floor, stress crack in the plaster on the east wall (GPA, 2019)

Plaster walls and ceilings throughout the interior exhibit hairline to severe cracking, most likely caused by a combination of structural and/or lath movement. Stresses within a wall, or acting on the house as a whole, can create stress cracks. Stress cracks generally appear as diagonal lines in a wall often originating at a door or window frame; however, they can also appear anywhere in a wall with seemingly random starting points (see Figure 10). Conversely, horizontal cracks are often caused by lath movement. Wood lath expands and contracts as humidity rises and falls because it absorbs moisture from the air. In addition to problems caused by movement or weakness in the structural framework, plaster durability can be affected by poor materials or workmanship.

- Repairs to the structure should be made prior to undertaking plaster repairs to cracks resulting from structural or lath movement.
- Plaster may be partially or completely removed if badly damaged or if it is necessary to remove in order to accommodate structural or MEP work. Walls may be re-plastered using an alternative plaster and lath system, such as a plaster skim coat over new gypsum board lath.
- Hairline cracks in plaster should be repaired by filling in the crack with a patching material if the underlying plaster is in good condition. Patches should be generally applied in three layers, two base coats and a finish coat that matches the surrounding plaster finish.
- Delaminated areas of the finish coat should be removed. A liquid plaster-bonding agent should be applied onto the areas of base-coat plaster that remain. The area should then be re-plastered with a new finish coat that matches the surrounding plaster finish.
- Patch holes in plaster walls where all three coats of plaster are damaged or missing down to the wood lath using three coats of plaster. All the old plaster should be cleaned out prior to applying the new plaster and any loose lath re-nailed. To strengthen the patch, expanded metal lath (diamond mesh) should be attached to the wood lath with tie wires or nailed over the wood lath with lath nails. The plaster is then applied in three layers over the metal lath, lapping each new layer of plaster over the old plaster so that old and new are evenly joined.
- If plaster is severely deteriorated, the deteriorated area should be entirely removed and re-plastered. If the existing lath remains in good condition, the new plaster

should be applied to the existing lath. If the existing lath is also in a severely deteriorated condition, the lath may be removed and replaced with new lath or another appropriate replacement alternative before the new plaster or finish is applied.

- Cracks or holes in plaster ceilings should be evaluated to determine whether the keys holding the plaster have broken. If the areas surrounding the loose area are in reasonably good condition, the loose plaster can be reattached to the lath using flathead wood screws and plaster washers.
- To patch a hole in the ceiling plaster, metal lath is fastened over the wood lath; then the hole is filled with successive layers of plaster, as described above.

Doors & Windows

- Original doors, hardware, and casings should be preserved where they remain extant. Clean and repair as necessary using recognized preservation methods.
- Original window hardware and casings should be preserved where they remain extant. Clean and repair as necessary using recognized preservation methods.

6.3 Landscape Character-Defining Features Table

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Spatial Organization & Land Uses	Immediate Setting - Abuts sidewalk to west - Driveway and entry gate on N. Hyperion Avenue - Bordered by perimeter fencing - Single-family residence and ancillary buildings set back from west property boundary - Landscape features, such as Japanese-style garden, upper terrace, and perimeter vegetation		Primary: Dates from the period of significance under Criteria 1 and 3, highly visible, and retains integrity.	Good: Retain the historic relationship between buildings and landscape features of the immediate setting overall. New construction should be visually distinguishable and compatible in size, scale, and massing.
	Surface Parking - Located at west end of property - Bordered by fencing - Asphalt paving		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Good: Surface parking may be retained and/or reconfigured as necessary for new use. New circulation features and paving materials should be compatible with the historic character of the property.
	Japanese-Style Garden - Located to east of surface parking and west of residence - Bordered by fencing to north and west - Various mature plantings - Winding foot paths - Foot bridges - Water features		Primary: Dates from the period of significance under Criterion 1, highly visible, and retains integrity.	Good: Vegetation should be surveyed by a qualified professional and retained to the extent possible. Dead or unhealthy plants may be removed. New vegetation or landscape features should be compatible with the Japanese style.

6.3 Landscape Character-Defining Features Table

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Spatial Organization & Land Uses	Perimeter Landscaping - Located at property boundaries to north, south, east, and west - Bordered by concrete block or brick curbs - Various mature plantings		Primary: Dates from the period of significance under Criterion 1, highly visible, and retains integrity.	Good: Vegetation should be surveyed by a qualified professional and retained to the extent possible. Dead or unhealthy plants may be removed. New vegetation or landscape features should be compatible with the Japanese style.
	Pedestrian Circulation - Located throughout property - Brick, concrete, or flagstone paving, depending on location		Secondary: Dates from the period of significance under Criteria 1 and 3 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship as well as not visible from the public right-of-way.	Good: Pedestrian circulation may be retained and/or reconfigured as necessary for new use. New circulation features and paving materials should be compatible with the historic character of the property.

6.3 Landscape Character-Defining Features Table

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Spatial Organization & Land Uses	Vehicular Circulation - Located adjacent to south property boundary - Concrete paving		Secondary: Dates from the period of significance under Criteria 1 and 3 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship as well as not visible from the public right-of-way.	Good: Vehicular circulation may be retained and/or reconfigured as necessary for new use. New circulation features and paving materials should be compatible with the historic character of the property.
	Buildings & Structures - Two-story single-family residence - One-story greenhouse - One-story two-car garage - One-story three-car garage		Primary: Dates from the period of significance under Criteria 1 and 3, highly visible, and retains integrity.	Good: Retain the historic relationship of the immediate setting overall. New construction should be visually distinguishable and compatible in size, scale, and massing.
Topography	Level Area Located at west end of property		Primary: Dates from the period of significance under Criteria 1 and 3, highly visible, and retains integrity.	Good: Retain level area.

6.3 Landscape Character-Defining Features Table

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Topography	Lower Terrace - Located to east of single-family residence - Bordered by concrete block retaining wall to west		Secondary: Dates from the period of significance under Criteria 1 and 3 and retains integrity, but not visible from the public right-of-way.	Good: Retain lower terrace.
	Upper Terrace - Located at east end of property - Bordered by concrete retaining wall to west		Secondary: Dates from the period of significance under Criteria 1 and 3 and retains integrity, but not visible from the public right-of-way.	Good: Retain upper terrace.
Circulation	Driveway - Located adjacent to south property boundary - Extends from main entrance gate to lower terrace - Concrete square paving - Signatures and markings from Sakai-Kozawa family along edge		Secondary: Dates from the period of significance under Criteria 1 and 3 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship as well as not visible from the public right-of-way.	Fair: Driveway may be retained and/or reconfigured as necessary for new use. New circulation features and paving materials should be compatible with the historic character of the property.

6.3 Landscape Character-Defining Features Table

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Circulation	Garden Paths - Located within Japanese garden - Concrete block or stone paving, depending on location		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship as well as not visible from the public right-of-way.	Fair to Poor: Garden paths may be retained and/or reconfigured as necessary for new use. Stone paving should be salvaged and reused to the extent possible. New circulation features and paving materials should be compatible with the historic character of the property.
	North Path - Located to north of residence - Brick paving		Secondary: Dates from the period of significance under Criteria 1 and 3 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship as well as not visible from the public right-of-way.	Poor: North path may be retained and/or reconfigured as necessary for new use. Brick paving should be salvaged and reused to the extent possible.

6.3 Landscape Character-Defining Features Table

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Circulation	East Path - Located to east of residence - Concrete or flagstone paving, depending on location		Secondary: Dates from the period of significance under Criteria 1 and 3 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship as well as not visible from the public right-of-way.	Good: East path may be retained and/or reconfigured as necessary for new use. Flagstone paving should be salvaged and reused to the extent possible.
	Lower Terrace Steps - Located adjacent to north property boundary - Brick and stone treads and risers		Secondary: Dates from the period of significance under Criteria 1 and 3 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship as well as not visible from the public right-of-way.	Good: Lower terrace steps may be retained and/or reconfigured as necessary for new use. Stone and brick paving should be salvaged and reused to the extent possible.

6.3 Landscape Character-Defining Features Table

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Circulation	Upper Terrace Steps - Located adjacent to south property boundary - Concrete treads and risers - Concrete curbs		Secondary: Dates from the period of significance under Criteria 1 and 3 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship as well as not visible from the public right-of-way.	Good: Upper terrace steps may be retained and/or reconfigured as necessary for new use. Concrete curbs should be retained to the extent possible.
	Brick Paving Located at north path		Secondary: Dates from the period of significance under Criteria 1 and 3 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship as well as not visible from the public right-of-way.	Fair to Poor: Salvage and reuse brick paving to the extent possible.
	Flagstone Paving Located at east path		Secondary: Dates from the period of significance under Criteria 1 and 3 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship as well as not visible from the public right-of-way.	Fair: Salvage and reuse flagstone paving to the extent possible.

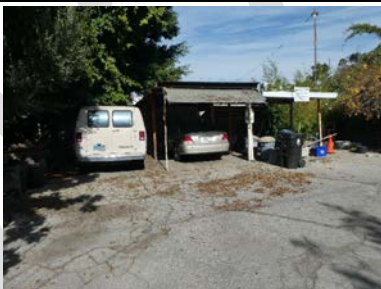
6.3 Landscape Character-Defining Features Table

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Circulation	Stone Paving Located at garden paths		Secondary: Dates from the period of significance under Criteria 1 and 3 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship as well as not visible from the public right-of-way.	Fair: Salvage and reuse stone paving to the extent possible.
	Scored Concrete - Located at driveway and east path - Scored in square pattern - Signatures and markings from Sakai-Kozawa family along edge		Secondary: Dates from the period of significance under Criterion 3 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair to Poor: Scored concrete paving may be removed and/or replaced with new compatible material as required for new use. Retain signatures and markings from Sakai-Kozawa family where possible. New paving materials should be compatible with the historic character of the property.
	Asphalt Located at surface parking lot and driveway		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Poor: Asphalt paving may be removed and/or replaced with new compatible material as required for new use. New circulation features and paving materials should be compatible with the historic character of the property.

6.3 Landscape Character-Defining Features Table

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Circulation	Concrete Block Paving Located at garden paths		Secondary: Dates from the period of significance under Criteria 1 and 3 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship as well as not visible from the public right-of-way.	Fair: Concrete block paving may be removed and/or replaced with new compatible material as required for new use. New circulation features and paving materials should be compatible with the historic character of the property.
	Single-Family Residence - Located at center of property - Two stories in height - Irregular in plan - Gable roof with projecting cross gables - Craftsman style with Tudor Revival features - Stone, wood siding, and asbestos shingles		Primary: Dates from the period of significance under Criteria 1 and 3, highly visible, and retains integrity.	Fair: Retain residence and repair as necessary.
Buildings & Structures	Greenhouse - Located to east of residence - One story in height - Rectangular in plan - Flat roof with awning - Corrugated fiberglass and concrete block		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Poor: Greenhouse may be removed and/or replaced with new compatible ancillary building as required for new use.

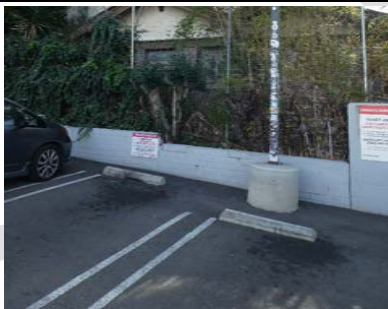
6.3 Landscape Character-Defining Features Table

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Buildings & Structures	Two-Car Garage - Located at lower terrace - One story in height - Rectangular in plan - Gable roof - Wood siding		Secondary: Dates from the period of significance under Criteria 1 and 3, and retains integrity, but not visible from the public right-of-way.	Fair to Poor: Retain two-car garage and repair as necessary. If deteriorated beyond repair, two-car garage should be reconstructed using salvaged materials to the extent possible.
	Three-Car Garage - Located at lower terrace - One story in height - Rectangular in plan - Flat roof with awning - Wood siding		Not: Post dates period of significance.	Not Applicable: Non-character-defining features may be removed and/or replaced with new compatible ancillary building as required for new use.
	Carport - Located at surface parking lot - One story in height - Flat roof with awning - Wood or metal columns, depending on location		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Poor: Carport may be removed and/or replaced with new compatible feature as required for new use.

6.3 Landscape Character-Defining Features Table

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Buildings & Structures	Incinerator - Located to northeast of residence - Square in plan - Granite		Secondary: Dates from the period of significance under Criterion 3 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Incinerator may be removed and/or replaced with new compatible feature as required for new use.
	Lower Retaining Wall - Located to east of residence - Concrete block		Secondary: Dates from the period of significance under Criteria 1 and 3, and retains integrity, but not visible from the public right-of-way. but functional feature that does not display quality of design or craftsmanship.	Fair: Lower retaining wall may be removed and/or replaced with new compatible feature as required for new use.
	Upper Retaining Wall - Located to east of lower terrace - Board-formed concrete		Secondary: Dates from the period of significance under Criteria 1 and 3, and retains integrity, but not visible from the public right-of-way.	Fair: Upper retaining wall may be removed and/or replaced with new compatible feature as required for new use.

6.3 Landscape Character-Defining Features Table

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Buildings & Structures	Wood Retaining Wall • Located at upper terrace • Wood boards		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair to Poor: Wood retaining wall may be removed and/or replaced with new compatible feature as required for new use.
	North Perimeter Wall • Located at north property boundary • Concrete block		Not: Post dates period of significance.	Not Applicable: Non-character-defining features may be removed and/or replaced as required for new use.
Water Features	West Koi Pond • Located at north end of Japanese garden • Concrete lining • Brick border		Primary: Dates from the period of significance under Criterion 1, highly visible, and retains integrity. Not sure it display quality of design or craftsmanship.	Poor: Reconstruct pond using materials that convey the same visual appearance.

6.3 Landscape Character-Defining Features Table

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Water Features	East Koi Pond - Located at north end of Japanese garden - Concrete lining - Stone ornament		Primary: Dates from the period of significance under Criterion 1, highly visible, and retains integrity.	Poor: Reconstruct pond using materials that convey the same visual appearance.
	Trees - Located throughout property - Various species of trees		Primary: Dates from the period of significance under Criterion 1, highly visible, and retains integrity.	Fair to Poor: Vegetation should be surveyed by a qualified professional and retained to the extent possible. Dead or unhealthy plants may be removed. New vegetation or landscape features should be compatible with the historic character of the property.
Vegetation	Grasses - Located throughout property - Various species of grasses		Secondary: Dates from the period of significance under Criterion 1, highly visible, and retains integrity but does not display quality of design as well as not visible from the public right-of-way.	Fair to Poor: Vegetation should be surveyed by a qualified professional and retained to the extent possible. Dead or unhealthy plants may be removed. New vegetation or landscape features should be compatible with the historic character of the property.

6.3 Landscape Character-Defining Features Table

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Vegetation	Perennial Plants - Located throughout property - Various species of perennial plants		Primary: Dates from the period of significance under Criterion 1, highly visible, and retains integrity.	Fair to Poor: Vegetation should be surveyed by a qualified professional and retained to the extent possible. Dead or unhealthy plants may be removed. New vegetation or landscape features should be compatible with the historic character of the property.
	Succulents & Shrubs - Located throughout property - Various species of succulents and shrubs		Primary: Dates from the period of significance under Criterion 1, highly visible, and retains integrity.	Fair to Poor: Vegetation should be surveyed by a qualified professional and retained to the extent possible. Dead or unhealthy plants may be removed. New vegetation or landscape features should be compatible with the historic character of the property.
Small-Scale Features	Vehicle Gate - Setback form west property boundary - Metal - Sliding		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Vehicle gate may be removed and/or replaced with new compatible feature as required for new use.

6.3 Landscape Character-Defining Features Table

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Small-Scale Features	Pole Sign - Located at west property boundary - Metal pole - Rectangular signage - Lettering reads "Tokio Florist, Flowers for All Occasions"		Primary: Dates from the period of significance under Criterion 1, highly visible, and retains integrity.	Good: Retain existing pole sign and repair as necessary.
	Main Entrance Gate - Located to southeast of surface parking lot - Metal pickets - Swinging		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair to Poor: Main entrance gate may be removed and/or replaced with new compatible feature as required for new use.
	Side Entrance Gate - Located to northeast of Japanese garden - Metal chain-link - Swinging		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Side entrance gate may be removed and/or replaced with new compatible feature as required for new use.

6.3 Landscape Character-Defining Features Table

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Small-Scale Features	Brick Curbs - Located throughout property - Bordering landscape - Common red brick		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Brick curbs may be removed and/or replaced with new compatible feature as required for new use.
	Concrete Block Curbs - Located throughout property - Bordering landscape		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair to Poor: Concrete block curbs may be removed and/or replaced with new compatible feature as required for new use.
	Foot Bridges - Located at east and west koi ponds - Wood plank decking - Wood railing		Primary: Dates from the period of significance under Criterion 1, highly visible, and retains integrity.	Poor: Reconstruct foot bridges using materials that convey the same visual appearance.

6.3 Landscape Character-Defining Features Table

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Small-Scale Features	Concrete Block Raised Planters - Located at perimeter of property - Bordering landscaping		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Concrete block raised planters may be removed and/or replaced with new compatible feature as required for new use.
	Wood Raised Planters - Located at upper terrace - Wood plank		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Poor: Wood raised planters may be removed to accommodate new use.
	Irrigation System - Located at upper terrace - Metal pipes		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair to Poor: Irrigation system may be removed and/or replaced with new compatible feature as required for new use.

6.3 Landscape Character-Defining Features Table

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Small-Scale Features	Pipe Railing - Located to east of surface parking lot - Metal		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Pipe railing may be removed and/or replaced with new compatible feature as required for new use.
	Perimeter Fencing - Located at perimeter of property - Metal chain-link, metal wire, wood trellis, or metal-and-wood slat, depending on location		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair to Poor: Perimeter fencing may be removed and/or replaced with new compatible feature as required for new use.

6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Overall Visual Character	Massing - Irregular plan - Two-and-a-half stories - Gable roof with projecting cross gables - Porch at west elevation - Porte-cochère at west elevation		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Good: Retain primacy of residence.
	Roof Design - Gable roof with projecting cross gables - Overhanging eaves - Exposed rafter tails - Decorative brackets - Two chimneys		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Good: Retain historic roof design.
	N. Hyperion Avenue (West) Elevation - Street facing - Two-and-a-half stories - Asymmetrical composition - Craftsman style with Tudor Revival features		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Fair: Retain overall elevation design. Enhance integrity of residence by removing non-original features.

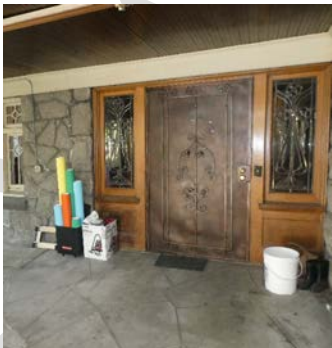
6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Overall Visual Character	North Elevation - Side facing - Two-and-a-half stories - Asymmetrical composition - Craftsman style with Tudor Revival features		Secondary: Dates from the period of significance under Criterion 3 and retains integrity, but not visible from the public right-of-way.	Fair: Retain overall elevation design. Enhance integrity of residence by removing non-original features.
	South Elevation - Side facing - Two-and-a-half stories - Asymmetrical composition - Craftsman style with Tudor Revival features		Secondary: Dates from the period of significance under Criterion 3 and retains integrity, but not visible from the public right-of-way.	Fair: Retain overall elevation design. Enhance integrity of residence by removing non-original features.
	East Elevation - Rear facing - Two-and-a-half stories - Asymmetrical composition - Craftsman style with Tudor Revival features		Secondary: Dates from the period of significance under Criterion 3 and retains integrity, but not visible from the public right-of-way.	Fair: Retain overall elevation design. Enhance integrity of residence by removing non-original features.

6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Overall Visual Character	Porch - West elevation - One story - Shed roof with projecting gable - Plywood walls - Stone-and-wood columns - Scored concrete steps and floor		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Poor: Retain porch and repair as necessary. If severity of deterioration requires replacement, refer to appropriate recommended treatment in Section 6.2.
	West Addition - West elevation - One story - Gable roof - Plywood and wood plank siding		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Poor: Non-original features may be removed to enhance integrity of residence under Criterion 3.
	Porte-Cochère - West elevation - One story - Gable roof - Stone-and-wood columns		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Fair: Retain porte-cochère and repair as necessary.

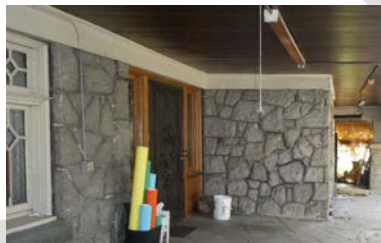
6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Overall Visual Character	South Addition • South elevation • One story • Flat roof • Metal columns		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Poor: Non-original features may be removed to enhance integrity of residence under Criterion 3.
	Main Entrance Configuration • West elevation • First story • Centralized • Rectangular door opening • Flanked by sidelights		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Good: Retain main entrance configuration. Non-original security gate may be removed to enhance integrity of residence.
	Rear Entrance Configuration • South elevation • First story • Rectangular opening • Transom casement window sashes		Secondary: Dates from the period of significance under Criterion 3 and retains integrity, but not visible from the public right-of-way.	Good: Retain rear entrance configuration. Non-original security gate may be removed to enhance integrity of residence.

6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Overall Visual Character	West Elevation Windows (All) - All stories - Tripartite - Paired - Bay		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Good: Retain windows on west elevation and repair as necessary.
	North Elevation Windows (All) - All stories - Paired - Singular		Secondary: Dates from period of significance under Criterion 3 and retains integrity, but not visible from the public right-of-way.	Good: Retain windows on north elevation and repair as necessary.
	South Elevation Windows (All) - All stories - Row - Paired - Singular		Secondary: Dates from period of significance under Criterion 3 and retains integrity, but not visible from the public right-of-way.	Good: Retain windows on south elevation and repair as necessary.

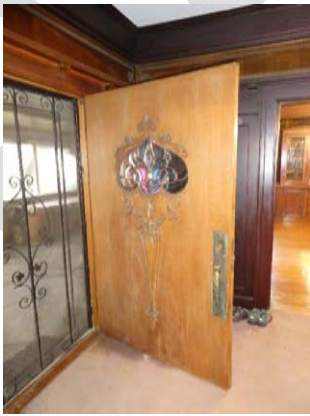
6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Overall Visual Character	East Elevation Windows (All) - All stories - Row - Paired - Singular - Bay		Secondary: Dates from period of significance under Criterion 3 and retains integrity, but not visible from the public right-of-way.	Good: Retain windows on east elevation and repair as necessary.
Exterior Materials and Craftsmanship	Stone - West, north, and south elevations - First story - Cladding		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Good to Fair: Retain stone cladding and repair as necessary.
	Wood - All elevations - All stories - Cladding - Ornament - Doors - Window sashes		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Fair to Poor: Retain wood features and cladding and repair as necessary. If severity of deterioration requires replacement, refer to appropriate recommended treatment in Section 6.2.
	Brick - Roof and south elevation - Chimneys - Common red brick		Secondary: Dates from period of significance under Criterion 3 and retains integrity, but not visible from the public right-of-way.	Fair to Poor: Retain brick features and repair as necessary. If severity of deterioration requires replacement, refer to appropriate recommended treatment in Section 6.2.

6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Exterior Materials and Craftsmanship	Concrete - All elevations - First story - Foundation - Window sills - Paving		Secondary: Dates from period of significance under Criterion 3 and retains integrity, but not visible from the public right-of-way.	Fair to Poor: Retain concrete features and repair as necessary. If severity of deterioration requires replacement, refer to appropriate recommended treatment in Section 6.2.
	Asbestos - All elevations - Secondary story - Cladding		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair to Poor: Non-original features may be removed and replaced as required to comply with current code. Retain historic cladding material if extant under non-original asbestos shingles or replace original material in kind if beyond repair.
	Stucco - West elevation - All stories - Cladding - Rough textured		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Fair: Retain stucco cladding and repair as necessary.
	Asphalt Roof		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair to Poor: Non-original features may be removed and replaced with new compatible material as required to comply with current code and energy efficiency standards.

6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Exterior Materials and Craftsmanship	Metal - West and east elevations - First and second stories - Awning - Security gates		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Good: Non-original features may be removed to enhance integrity of residence under Criterion 3.
	West Elevation – Scored Concrete Paving - First story - Porch and porte-cochere		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Fair to Poor: Retain scored concrete paving and repair as necessary. If severity of deterioration requires replacement, refer to appropriate recommended treatment in Section 6.2.
	West Elevation – Main Entrance Door - First story - Single - Wood slab door - Irregularly-shaped beveled-glass light - Floral low relief - Metal hardware		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Fair: Retain existing main entrance door and repair as necessary.

6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Exterior Materials and Craftsmanship	West Elevation – Sidelights • First story • Wood paneled surround • Floral beveled glass		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Good: Retain existing sidelights and repair as necessary.
	West Elevation – Security Gate • First story • Metal	(See Above)	Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Non-original features may be removed to enhance integrity of residence under Criterion 3.
	West Elevation – Tripartite Window Sashes with Transom • First story • Fixed center sash • Casement side sashes with diamond pattern • Transom with diamond pattern		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Fair: Retain existing window sashes and repair as necessary.
	West Elevation – Concrete Sills • First story • Below tripartite window sashes	(See Above)	Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Good: Retain existing concrete sills and repair as necessary.

6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Exterior Materials and Craftsmanship	West Elevation – Porch Walls - First story - Plywood - Vinyl		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair to Poor: Non-original features may be removed to enhance integrity of residence under Criterion 3.
	West Elevation – Columns - First story - Porch and porte-cochere - Stone - Wood		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Fair: Retain existing columns and repair as necessary.
	West Elevation – Cornice - First story - Porch - Wood		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Good: Retain existing cornice and repair as necessary.

6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Exterior Materials and Craftsmanship	West Elevation – Ceiling - First story - Porch and porte-cochere - Wood plank		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Good: Retain existing ceiling and repair as necessary.
	West Elevation – Fluorescent Lighting - First story - Porch and porte-cochere	(See Above)	Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Non-original features may be removed to enhance integrity of residence under Criterion 3.
	West Elevation – Dentil Molding - First story - Porte-Cochere - Wood		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Fair: Retain existing dentil molding and repair as necessary.
	West Elevation – Tripartite Window Sashes - Second story - Fixed center sash - Casement side sashes with diamond pattern - Wood		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Good to Fair: Retain existing window sashes and repair as necessary.

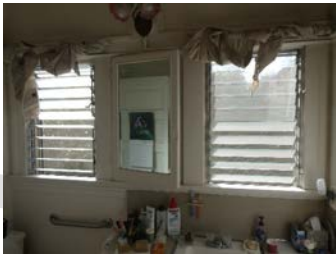
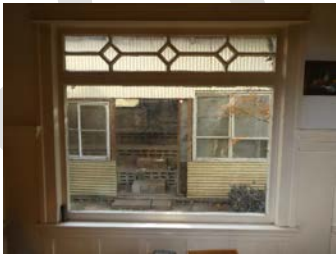
6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Exterior Materials and Craftsmanship	West Elevation – Single-Hung Window Sashes • Second story • Single-light lower sash • Diamond-pattern upper sash • Wood		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Good to Fair: Retain existing window sashes and repair as necessary.
	West Elevation – Casement Window Sashes • Attic story • Diamond pattern • Wood		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Good to Fair: Retain existing window sashes and repair as necessary.
	West Elevation – Half-Timbering • All stories • Wood		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Fair to Poor: Retain existing wood features and repair as necessary. If severity of deterioration requires replacement, refer to appropriate recommended treatment in Section 6.2.
	West Elevation – Brackets • All stories • Wood		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Fair to Poor: Retain existing wood features and repair as necessary. If severity of deterioration requires replacement, refer to appropriate recommended treatment in Section 6.2.

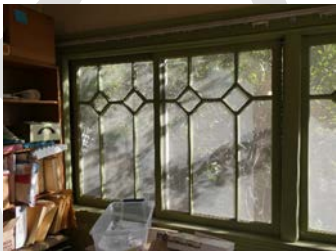
6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Exterior Materials and Craftsmanship	West Elevation – Ornamented Rakes - All stories - Wood		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Fair to Poor: Retain existing wood features and repair as necessary. If severity of deterioration requires replacement, refer to appropriate recommended treatment in Section 6.2.
	West Elevation – Soffit - All stories - Wood plank		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Fair to Poor: Retain existing wood features and repair as necessary. If severity of deterioration requires replacement, refer to appropriate recommended treatment in Section 6.2.
	North Elevation – Stained Glass Window - First story - Fixed		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Good: Retain existing stained glass window and repair as necessary.
	South Elevation – Rear Entrance Door - First story - Single - Wood paneled - Partially glazed - Metal hardware		Secondary: Dates from period of significance under Criterion 3 and retains integrity, but not visible from the public right-of-way.	Good to Fair: Retain existing rear entrance door and repair as necessary.

6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Exterior Materials and Craftsmanship	South Elevation – Security Door • First story • Metal		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Non-original features may be removed to enhance integrity of residence under Criterion 3.
	South Elevation – Jalousie Windows • Second story • Glass louvres • Metal frame		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Good: Non-original jalousie windows may be removed to enhance integrity of residence under Criterion 3.
	East Elevation – Fixed Window Sash • First story • Single light • Transom with diamond pattern • Wood		Secondary: Dates from period of significance under Criterion 3 and retains integrity, but not visible from the public right-of-way.	Fair: Retain existing window sashes and repair as necessary.

6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Exterior Materials and Craftsmanship	North & South Elevations – Casement Window Sashes • First story • Diamond pattern • Wood		Secondary: Dates from period of significance under Criterion 3 and retains integrity, but not visible from the public right-of-way.	Fair: Retain existing window sashes and repair as necessary.
	South & East Elevations – Multi-Light Casement Window Sashes • First story • Two-over-two • Wood		Secondary: Dates from period of significance under Criterion 3 and retains integrity, but not visible from the public right-of-way.	Fair: Retain existing window sashes and repair as necessary.
	South & East Elevations – Sliding Window Sashes • Second story • Diamond pattern • Wood		Secondary: Dates from period of significance under Criterion 3 and retains integrity, but not visible from the public right-of-way.	Fair: Retain existing window sashes and repair as necessary.

6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Exterior Materials and Craftsmanship	North, South, & West Elevations – Single-Hung Window Sashes • First and second stories • Single-light lower sash • Diamond pattern upper sash • Wood		Secondary: Dates from period of significance under Criterion 3 and retains integrity, but not visible from the public right-of-way.	Fair: Retain existing window sashes and repair as necessary.
	North, South, & West Elevations – Rafter Tails • All Stories • Wood		Secondary: Dates from period of significance under Criterion 3 and retains integrity, but not visible from the public right-of-way.	Fair: Retain existing rafter tails and repair as necessary.
	North, South, & West Elevations – Rakes • Second story • Wood		Secondary: Dates from period of significance under Criterion 3 and retains integrity, but not visible from the public right-of-way.	Fair to Poor: Retain existing rakes and repair as necessary. If severity of deterioration requires replacement, refer to appropriate recommended treatment in Section 6.2.
	North, South, & West Elevations – Decorative Brackets • Second story • Wood		Secondary: Dates from period of significance under Criterion 3 and retains integrity, but not visible from the public right-of-way.	Fair: Retain existing brackets and repair as necessary.

6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Exterior Materials and Craftsmanship	North, South, & West Elevations – Window Frames - All stories - Wood		Secondary: Dates from period of significance under Criterion 3 and retains integrity, but not visible from the public right-of-way.	Fair: Retain existing window frames and repair as necessary.
	All Elevations – Window Screens All stories	(See Above)	Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Non-original features may be removed to enhance integrity of residence under Criterion 3.
Interior Spaces, Features, and Finishes	First Floor – Foyer Original Space, Features, & Finishes - Accessed via main entrance - Stairs with wood railing - Wood paneling - Velvet flocked wallpaper border - Wood crown molding - Wood door and window casings - Plaster ceiling - Chandelier light fixture		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Good to Fair: Retain original space, features, and finishes, and repair as necessary. If severity of deterioration requires replacement, refer to appropriate recommended treatment in Section 6.2.

6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Interior Spaces, Features, and Finishes	First Floor – Foyer Non-Original Features & Finishes Carpet		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Non-original features may be removed to enhance integrity of residence under Criterion 3. Retain historic wood plank floor if extant under non-original carpeting.
	First Floor – Dining Room Original Space, Features, & Finishes - Located to north of foyer - Wood paneling - Built-in wood cabinetry - Velvet flocked wallpaper border - Wood crown molding - Wood door and window casings - Plaster ceiling - Chandelier light fixture	 	Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Good to Fair: Retain original space, features, and finishes, and repair as necessary. If severity of deterioration requires replacement, refer to appropriate recommended treatment in Section 6.2.

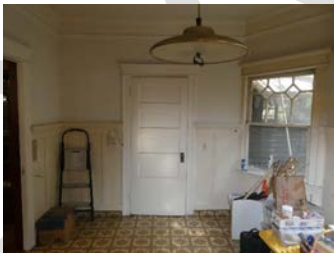
6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Interior Spaces, Features, and Finishes	First Floor – Living Room Original Space, Features, & Finishes • Located to south of foyer • Wood paneling • Fireplace with wood-and-tile mantle • Velvet flocked wallpaper border • Wood crown molding • Wood door and window casings • Coffered plaster-and-wood ceiling • Chandelier light fixtures		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Good to Fair: Retain original space, features, and finishes, and repair as necessary. If severity of deterioration requires replacement, refer to appropriate recommended treatment in Section 6.2.
	First Floor – Living Room Non-Original Features & Finishes • Carpet		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Non-original features may be removed to enhance integrity of residence under Criterion 3. Retain historic wood plank floor if extant under non-original carpeting.

6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Interior Spaces, Features, and Finishes	First Floor – Family Room Original Space, Features, & Finishes • Located to east of living room • Wood paneling • Built-in wood cabinetry • Velvet flocked wallpaper border • Wood crown molding • Wood door and window casings • Plaster ceiling • Chandelier light fixture		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Good to Poor: Retain original space, features, and finishes, and repair as necessary. If severity of deterioration requires replacement, refer to appropriate recommended treatment in Section 6.2.
	First Floor – Family Room Non-Original Features & Finishes • Carpet		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Non-original features may be removed to enhance integrity of residence under Criterion 3. Retain historic wood plank floor if extant under non-original carpeting.

6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Interior Spaces, Features, and Finishes	First Floor – Breakfast Room Original Space, Features, & Finishes • Located to east of family room • Board and batten wainscoting • Plaster walls • Wood crown molding • Wood door and window casings • Plaster ceiling		Secondary: Dates from the period of significance under Criterion 3 and retains integrity overall, but functional space that services the building.	Good to Fair: Retain original space. Retain original features, and finishes to the extent possible, and repair as necessary. Alterations to secondary spaces, features, finishes, or materials may be permitted if necessary for new use.
	First Floor – Breakfast Room Non-Original Features & Finishes • Vinyl flooring • Hanging light fixture		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Non-original features may be removed to enhance integrity of residence under Criterion 3.

6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Interior Spaces, Features, and Finishes	First Floor – Kitchen Original Space, Features, & Finishes • Located to east of dining room • Wood treads and risers • Built-in cabinetry • Plaster walls • Wood door and window casings • Plaster ceiling		Secondary: Dates from the period of significance under Criterion 3 and retains integrity overall, but functional space that services the building.	Good to Fair: Retain original space. Retain original features, and finishes to the extent possible, and repair as necessary. Alterations to secondary spaces, features, finishes, or materials may be permitted if necessary for new use.
	First Floor – Kitchen Non-Original Features & Finishes • Vinyl flooring • Kitchen counters • Hanging light fixture		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Non-original features may be removed to enhance integrity of residence under Criterion 3.

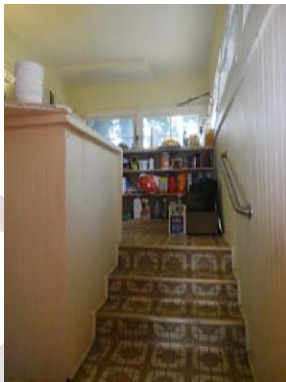
6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Interior Spaces, Features, and Finishes	First Floor – Kitchen Foyer Original Space, Features, & Finishes - Located to east of dining room - Wood baseboard - Plaster walls - Wood door casings - Plaster ceiling		Secondary: Dates from the period of significance under Criterion 3 and retains integrity overall, but functional space that services the building.	Good to Fair: Retain original space. Retain original features, and finishes to the extent possible, and repair as necessary. Alterations to secondary spaces, features, finishes, or materials may be permitted if necessary for new use.
	First Floor – Kitchen Foyer Non-Original Features & Finishes Vinyl flooring	(See Above)	Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Non-original features may be removed to enhance integrity of residence under Criterion 3.
	First Floor – Bedroom A Original Space, Features, & Finishes - Located to north of kitchen foyer - Wood plank floor - Wood door and window casings		Secondary: Dates from the period of significance under Criterion 3 and retains integrity overall, but functional space that services the building.	Good to Fair: Retain original space. Retain original features, and finishes to the extent possible, and repair as necessary. Alterations to secondary spaces, features, finishes, or materials may be permitted if necessary for the building's new use.

6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Interior Spaces, Features, and Finishes	First Floor – Bedroom A Non-Original Features, & Finishes • Wood veneer wall paneling • Acoustic tile ceiling		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Non-original features may be removed to enhance integrity of residence under Criterion 3.
	First Floor – Bathroom A Original Space, Features, & Finishes • Clawfoot tub • Pedestal sink • Built-in cabinets • Wood plank wall paneling • Plaster walls and ceiling		Secondary: Dates from the period of significance under Criterion 3 and retains integrity overall, but functional space that services the building.	Good to Fair: Bathrooms may be updated or removed as necessary for new use.
	First Floor – Bathroom A Non-Original Features & Finishes • Carpeting • Wallpaper	(See Above)	Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Non-original features may be removed to enhance integrity of residence under Criterion 3. Retain original flooring if extant under non-original carpet.

6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Interior Spaces, Features, and Finishes	First Floor – Service Porch Original Space, Features, & Finishes • Located to east of kitchen • Wood plank railing • Wood plank wall paneling • Wood door and window casings • Plaster walls and ceiling		Secondary: Dates from the period of significance under Criterion 3 and retains integrity overall, but functional space that services the building.	Good to Fair: Retain original space. Retain original features, and finishes to the extent possible, and repair as necessary. Alterations to secondary spaces, features, finishes, or materials may be permitted if necessary for new use.
	First Floor – Service Porch Non-Original Features & Finishes • Vinyl flooring • Metal handrail • Fluorescent light fixtures		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Non-original features may be removed to enhance integrity of residence under Criterion 3.
	First Floor – Bathroom B Original Space, Features, & Finishes • Located to northwest of service porch • Porcelain sink • Plaster walls and ceiling		Secondary: Dates from the period of significance under Criterion 3 and retains integrity overall, but functional space that services the building.	Good to Fair: Bathrooms may be updated or removed as necessary for the building's new use.

6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Interior Spaces, Features, and Finishes	First Floor – Bathroom B Non-Original Features & Finishes • Vinyl flooring • Porcelain toilet • Metal handrail	(See Above)	Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Non-original features may be removed to enhance integrity of residence under Criterion 3.
	Second Floor – Hallway Original Space, Features, & Finishes • Accessed via stairs in first-floor foyer • Wood handrail • Wood baseboard • Plaster walls • Wood crown molding • Built-in wood cabinetry • Wood door and window casings • Plaster ceiling		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Good to Fair: Retain original space, features, and finishes, and repair as necessary.
	Second Floor – Hallway Non-Original Features & Finishes • Carpeting • Hanging light fixture		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Non-original features may be removed to enhance integrity of residence under Criterion 3.

6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Interior Spaces, Features, and Finishes	Second Floor – Bedroom B Original Space, Features, & Finishes • Located to northwest of hallway • Wood plank floor • Wood baseboard • Plaster walls • Built-in wood cabinetry • Wood crown molding • Wood door and window casings • Plaster ceiling		Secondary: Dates from the period of significance under Criterion 3 and retains integrity overall, but private space that is less visible.	Good to Fair: Retain original space. Retain original features, and finishes to the extent possible, and repair as necessary. Alterations to secondary spaces, features, finishes, or materials may be permitted if necessary for new use.
	Second Floor – Bedroom B Non-Original Features & Finishes • Wall paper • Flush mount circular light fixture		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Non-original features may be removed to enhance integrity of residence under Criterion 3.
	Second Floor – Bedroom C Original Space, Features, & Finishes • Located to southwest of hallway • Wood plank floor • Wood baseboard • Plaster walls • Wood crown molding • Wood door and window casings • Plaster ceiling		Secondary: Dates from the period of significance under Criterion 3 and retains integrity overall, but private space that is less visible.	Good to Fair: Retain original space. Retain original features, and finishes to the extent possible, and repair as necessary. Alterations to secondary spaces, features, finishes, or materials may be permitted if necessary for new use.

6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Interior Spaces, Features, and Finishes	Second Floor – Bedroom C Non-Original Features & Finishes - Wall paper - Three-arm light fixture		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Non-original features may be removed to enhance integrity of residence under Criterion 3.
	Second Floor – Walk-In Closet Original Space, Features, & Finishes - Located to south of Bedroom C - Wood plank floor - Wood baseboard - Plaster walls - Wood crown molding - Built-in wood cabinetry - Wood door and window casings - Plaster ceiling		Secondary: Dates from the period of significance under Criterion 3 and retains integrity overall, but private space that is less visible.	Good to Fair: Retain original space. Retain original features, and finishes to the extent possible, and repair as necessary. Alterations to secondary spaces, features, finishes, or materials may be permitted if necessary for new use.
	Second Floor – Walk-In Closet Non-Original Features & Finishes Wall paper	(See Above)	Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Non-original features may be removed to enhance integrity of residence under Criterion 3.

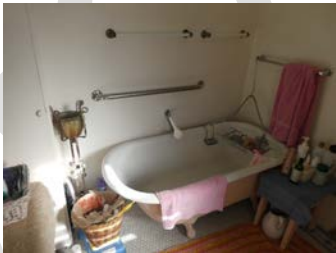
6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Interior Spaces, Features, and Finishes	Second Floor – Bedroom D Original Space, Features, & Finishes - Located to northeast of hallway - Wood baseboard - Plaster walls - Wood crown molding - Wood door and window casings - Plaster ceiling		Secondary: Dates from the period of significance under Criterion 3 and retains integrity overall, but private space that is less visible.	Good to Fair: Retain original space. Retain original features, and finishes to the extent possible, and repair as necessary. Alterations to secondary spaces, features, finishes, or materials may be permitted if necessary for new use.
	Second Floor – Bedroom D Non-Original Features & Finishes - Carpet - Wall paper - Flush mount circular light fixture		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Non-original features may be removed to enhance integrity of residence under Criterion 3.
	Second Floor – Sunroom Original Space, Features, & Finishes - Located to east of Bedroom D - Wood baseboard - Plaster walls - Wood crown molding - Wood door and window casings - Plaster ceiling		Secondary: Dates from the period of significance under Criterion 3 and retains integrity overall, but private space that is less visible.	Good to Fair: Retain original space. Retain original features, and finishes to the extent possible, and repair as necessary. Alterations to secondary spaces, features, finishes, or materials may be permitted if necessary for new use.

6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Interior Spaces, Features, and Finishes	Second Floor – Sunroom Non-Original Features & Finishes • Carpet • Wall paper • Wall sconce	(See Above)	Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Non-original features may be removed to enhance integrity of residence under Criterion 3.
	Second Floor – Bedroom E Original Space, Features, & Finishes • Located to southeast of hallway • Wood plank floor • Wood baseboard • Plaster walls • Wood crown molding • Wood door and window casings • Plaster ceiling		Secondary: Dates from the period of significance under Criterion 3 and retains integrity overall, but private space that is less visible.	Good to Fair: Retain original space. Retain original features, and finishes to the extent possible, and repair as necessary. Alterations to secondary spaces, features, finishes, or materials may be permitted if necessary for new use.
	Second Floor – Bedroom E Non-Original Features & Finishes • Wall paper • Hanging light fixture		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Non-original features may be removed to enhance integrity of residence under Criterion 3.

6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Interior Spaces, Features, and Finishes	Second Floor – Bathroom C Original Space, Features, & Finishes • Located between Bedroom D and E • Ceramic tile floor • Ceramic tile and plaster walls • Built-in wood cabinetry • Wood door and window casings • Porcelain pedestal sink • Claw-foot bathtub • Plaster ceiling		Secondary: Dates from the period of significance under Criterion 3 and retains integrity overall, but functional space that services the building.	Good to Fair: Bathrooms may be updated or removed as necessary for new use.
	Second Floor – Bathroom C Non-Original Features & Finishes • Wall paper • Wall sconces • Acoustic tile ceiling		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Non-original features may be removed to enhance integrity of residence under Criterion 3.
	Second Floor – Bathroom D Original Space, Features, & Finishes • Located between Bedroom B and C • Ceramic tile floor • Ceramic tile base • Plaster walls • Wood plate rail • Built-in wood cabinetry • Wood door and window casings • Plaster ceiling		Secondary: Dates from the period of significance under Criterion 3 and retains integrity overall, but functional space that services the building.	Good to Fair: Bathrooms may be updated or removed as necessary for new use.

6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Interior Spaces, Features, and Finishes	Second Floor – Bathroom D Non-Original Features & Finishes - Bathroom counter and sink - Metal handrails - Wall sconces		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Non-original features may be removed to enhance integrity of residence under Criterion 3.
	Basement Space, Features, & Finishes - Concrete floors - Concrete walls - Exposed floor joists		Secondary: Dates from the period of significance under Criterion 3 and retains integrity overall, but functional space that services the building.	Good to Fair: Space, features, and finishes may be removed and/or replaced as necessary.
	Door A - Located in first-floor foyer - Pocket door - Wood - Metal hardware		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Good Retain original features, and repair as necessary.
	Door B - Located in first-floor dining and family rooms - Single paneled - Wood - Metal hardware		Primary: Dates from the period of significance under Criterion 3, highly visible, and retains integrity.	Good: Retain original features, and repair as necessary.

6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Interior Spaces, Features, and Finishes	Door C - Located throughout first and second - Multi-paneled - Wood - Metal hardware		Secondary: Dates from the period of significance under Criterion 3 and retains integrity overall, but located in private and functional spaces that service the building.	Good: Retain original features, and repair as necessary.
	Door D - Located throughout first and second - Multi-paneled - Wood - Metal hardware		Secondary: Dates from the period of significance under Criterion 1 and retains integrity overall, but functional feature that does not display quality of design or craftsmanship.	Fair: Non-original features may be removed to enhance integrity of residence under Criterion 3.
	Door E - Located in kitchen, kitchen foyer, and service porch - Partially glazed - Multi-paneled - Wood - Metal hardware		Secondary: Dates from the period of significance under Criterion 3 and retains integrity overall, but located in functional spaces that service the building.	Good: Retain original features, and repair as necessary.

6.4 Single-Family Residence Character-Defining Features

Type	Feature	Photo (If Applicable)	Importance: Reason	Condition: Treatment
Interior Spaces, Features, and Finishes	Wall Vents - Located through first and second floors - Metal		Secondary: Dates from the period of significance under Criterion 3 and retains integrity overall, but functional feature.	Good: Retain original features, and repair as necessary.

7. REFERENCES

The National Park Service provides information and guidance on the preservation, rehabilitation, and restoration of historic buildings. They have produced a variety of publications, including the Preservation Briefs series, on a broad range of topics and techniques for the treatment of historic buildings. The Interpreting the Standards (ITS) Bulletins explain decisions made by the National Park Service in its administration of the Federal Historic Preservation Tax Incentive Programs. Web versions can be found at <https://www.nps.gov/tps/how-topreserve/briefs.htm>.

The Preservation Briefs most relevant to the proposed project are:

1. Cleaning and Water-Repellent Treatments for Historic Masonry Buildings
2. Repointing Mortar Joints in Historic Masonry Buildings
3. Improving Energy Efficiency in Historic Buildings
4. Roofing for Historic Buildings
6. Dangers of Abrasive Cleaning to Historic Building
9. The Repair of Historic Wooden Windows
10. Exterior Paint Problems on Historic Woodwork
11. Rehabilitating Historic Storefronts
15. Preservation of Historic Concrete
16. The Use of Substitute Materials on Historic Building Exteriors
17. Architectural Character: Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving their Character
18. Rehabilitating Interiors in Historic Buildings—Identifying Character-Defining Elements
21. Repairing Historic Flat Plaster—Walls and Ceilings
22. The Preservation and Repair of Historic Stucco
23. Preserving Historic Ornamental Plaster
24. Heating, Ventilating, and Cooling Historic Buildings: Problems and Recommended Approaches
25. The Preservation of Historic Signs
28. Painting Historic Interiors
32. Making Historic Properties Accessible
33. The Preservation and Repair of Historic Stained and Leaded Glass
34. Applied Decoration for Historic Interiors: Preserving Historic Composition Ornament
36. Protecting Cultural Landscapes: Planning, Treatment, and Management of Historic Landscapes
37. Appropriate Methods of Reducing Lead-Paint Hazards in Historic Housing
39. Holding the Line: Controlling Unwanted Moisture in Historic Buildings
41. The Seismic Rehabilitation of Historic Buildings
45. Preserving Historic Wooden Porches
47. Maintaining the Exterior of Small and Medium Size Historic Buildings
50. Lighting Projection for Historic Buildings

8. SOURCES

City of Los Angeles Office of Historic Resources. *Final Determination Staff Recommendations Report for the Tokio Florist/Sakai-Kozawa Residence*. September 2019.

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“Defining Landscape Terminology.” U.S. Department of the Interior, National Park Service. Accessed December 23, 2019, <https://www.nps.gov/tps/standards/four-treatments/landscape-guidelines/terminology.htm>.

Grimmer, Anne E. *The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings*. US Department of the Interior, National Park Service, Cultural Resources. 2017.

Hayashi, Kristen, Rosalind Sagara, and Catherine Gudis. “Los Angeles Historic-Cultural Monument Nomination: Tokio Florist/Sakai-Kozawa Residence.” May 9, 2019.

Nelson, Lee H. “Preservation Brief #17: Architectural Character: Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving Their Character.” US Department of the Interior, National Park Service, Cultural Resources. September 1998.

The Secretary of the Interior's Standards for Rehabilitation. US Department of the Interior, National Park Service, Cultural Resources. 1977, revised 1990.

“State Historical Building Code.” California Office of Historic Preservation. Accessed October 2, 2018, http://ohp.parks.ca.gov/?page_id=21410.



Planning CHC <chc@lacity.org>

CHC 2026-4299-HCM / ENV-2026-4300-CE — Support for Chateau Alto Nido Historic-Cultural Monument Designation

1 message

April Clemmer <april@aprilclemmer.com>
To: CHC@lacity.org

Sun, Sep 13, 2026 at 2:27 PM

Dear Cultural Heritage Commissioners,

I am writing in strong support of the Historic-Cultural Monument nomination for the Chateau Alto Nido in Hollywood.

I am a Hollywood historian and I have spent years researching and sharing the history of Hollywood's buildings, neighborhoods, and the people who lived and worked here. The Chateau Alto Nido is exactly the kind of place that makes Hollywood's history tangible.

Constructed in 1929 and opened in 1930 with 44 apartments, the five-story Spanish Colonial Revival building—whose name translates to “High Nest”—still sits dramatically above Ivar Avenue. I first photographed the building in 2015 and have been fascinated by how many of its historic details have survived, including original doors and hardware, hardwood floors, architectural details, and interior features that reflect apartment living in Hollywood during this period.

The building also has an extraordinary connection to Hollywood's film history. In *SUNSET BOULEVARD*, William Holden's character, struggling screenwriter Joe Gillis, begins the film as a resident of the Alto Nido. The building isn't simply mentioned—the actual exterior and apartment are part of the visual storytelling. In one shot, the camera moves toward the fluttering curtains of Joe's window, and architectural details visible above it can still be recognized on the building today. More than 75 years after the film was made, it is remarkable to be able to stand on Ivar Avenue and see the same building.

The Alto Nido is also associated with Hollywood figures including Roscoe “Fatty” Arbuckle, Wallace Beery, Claudette Colbert, and director George Cukor, adding another layer to its connection with the entertainment community that developed around Hollywood during the first half of the twentieth century.

But I believe its importance goes beyond famous residents and a famous film. Buildings like the Alto Nido help us understand what Hollywood actually looked and felt like during the era when the motion-picture industry was transforming the neighborhood. Its architecture, hilltop setting, surviving historic details, and long history as a residential building all contribute to the character of Hollywood.

As more of the physical places that tell Hollywood's story disappear, the buildings that remain become increasingly important. Preserving them allows future generations to experience Hollywood history as something more than photographs, films, and stories—it gives those stories a physical place.

I strongly support the designation of the Chateau Alto Nido as a Los Angeles Historic-Cultural Monument and encourage the Cultural Heritage Commission to move this nomination forward.

Sincerely,

April Clemmer
Hollywood Historian

--

April Brooks Clemmer
www.OldHollywoodTour.com

Instagram: [@AprilsHollywood](https://www.instagram.com/AprilsHollywood)



Planning CHC <chc@lacity.org>

Cultural Monument Status For Chateau Alto Nido: CHC 2026-4299-HCM/ENV-2026-4300=CE

1 message

Lloyd squiers <lsquiers@msn.com>

Mon, Sep 14, 2026 at 8:58 PM

To: "CHC@LACITY.Org" <CHC@lacity.org>, "TED.WALKER@LACITY.ORG" <TED.WALKER@lacity.org>, "EMMA.HOWARD@LACITY.ORG" <EMMA.HOWARD@lacity.org>, "INFO@HOLLYWOODHERITAGE.ORG" <INFO@hollywoodheritage.org>

Dear Commissioners,

I would like you to consider Cultural Monument status the beautiful, historic apartment building in Hollywood designed by architect Stanley J. Pedersen, built in 1929, called Chateau Alto Nido. It is a stunning example of the Spanish Colonial Revival and it is a storied and iconic building, and is featured in the classic film Sunset Boulevard. It is a source of inspiration and pride for all of Los Angeles and Hollywood. This building is greatly admired for its style, craftsmanship, and beauty even though it is a large, multi-family apartment, proving that great, gracious architecture is not just for estates and mansions. This building has so much to teach us about "density" done with pride and presence. It is a true cultural treasure.

Thank you for your time and consideration.

Sincerely,

Alexandra and Lloyd Squiers

[10549 Pinyon Ave.](#)

Tujunga, CA 91042



Planning CHC <chc@lacity.org>

CHC 2026-4299-HCM / ENV-2026-4300-CE

1 message

Judson F <judfeder@gmail.com>

Fri, Sep 11, 2026 at 10:15 AM

To: CHC@lacity.org, TED.WALKER@lacity.org, EMMA.HOWARD@lacity.org

re: CHC 2026-4299-HCM / ENV-2026-4300-CE

Esteemed members of the Cultural Heritage Commission:

I urge you to designate the Chateau Alto Nido, at the Southwest corner of Franklin and Ivar, as a "Historic Cultural Monument."

The Alto Nido is distinctive architecturally, has retained its integrity -- at least from the outside -- and is appreciated by the thousands of Angelenos and visitors who pass it daily.

This is not one of those structures that should be preserved for academic or historical purposes. To my eyes, it is simply lovely to behold.

thank you for your serious consideration of this designation,

Judson Feder

1340 N Crescent Heights Blvd, West Hollywood, CA 90046
(1/4 block from the City of Los Angeles)



Planning CHC <chc@lacity.org>

Support for CHC 2026-4299-HCM / ENV-2026-4300-CE – Chateau Alto Nido

1 message

Karleigh Engelbrecht <karleighengelbrecht@gmail.com>

Fri, Sep 11, 2026 at 3:44 PM

To: CHC@lacity.org, TED.WALKER@lacity.org, EMMA.HOWARD@lacity.org, INFO@hollywoodheritage.org

Dear Cultural Heritage Commission,

I am writing in strong support of the Historic-Cultural Monument designation for Chateau Alto Nido.

As someone who works professionally in film and television production design and set decoration, I believe places like Chateau Alto Nido are incredibly important to preserve. Los Angeles' historic architecture is inseparable from the history of filmmaking itself. These buildings have helped create the visual language of Hollywood on screen, while also preserving the real neighborhoods and environments that generations of filmmakers have drawn inspiration from.

Chateau Alto Nido is particularly significant because of its association with *Sunset Boulevard*, one of the defining films about Hollywood. Its appearance as Joe Gillis's home gives the building a place within cinema history in addition to its architectural importance as an excellent surviving example of Spanish Colonial Revival multi-family housing from Hollywood's formative period.

For filmmakers, designers, historians, and anyone interested in Los Angeles culture, authentic locations like this are irreplaceable. Once historic buildings are substantially altered or lost, we cannot recreate the texture, scale, craftsmanship, and sense of place that make Hollywood visually distinctive. Preserving Chateau Alto Nido protects not simply an attractive building, but a tangible connection between the real Hollywood of the 1920s and 1930s and the Hollywood represented on screen.

I strongly urge the Cultural Heritage Commission to support the nomination and designation of Chateau Alto Nido as a Historic-Cultural Monument.

Thank you for helping protect an important piece of Los Angeles architectural and cinematic history.

Warmly,

Karleigh Engelbrecht

Film & Television Set Decoration / Production Design



Planning CHC <chc@lacity.org>

CHC 2026-4299-HCM / ENV-2026-4300-CE

1 message

mb kalis <mbkalis@gmail.com>

Fri, Sep 11, 2026 at 9:35 AM

To: "chc@lacity.org" <chc@lacity.org>

I am writing in support of 1930 Chateau Alto Nido ("High Nest") multi-family dwelling as worthy of consideration for Historic Cultural Monument designation.

I know its unique, beautiful exterior from seeing it while I worked near it in Los Feliz and now when I am visiting Hollywood and more importantly it is part of Billy Wilder's classic movie "Sunset Boulevard" making it a prime candidate for designation.

Thank-you,
(Ms)MB Kalis
she/her



Planning CHC <chc@lacity.org>

CHC 2026-4299-HCM / ENV-2026-4300-CE

1 message

Mello Ruiz <mikomello@gmail.com>

Fri, Sep 11, 2026 at 12:28 PM

To: CHC@lacity.org, TED.WALKER@lacity.org, EMMA.HOWARD@lacity.org, INFO@hollywoodheritage.org

Dear Cultural Heritage Commission, Office of Historic Resources, and all those involved, my name is Melody. I was born and raised in Hollywood and consider all parts of it home. Surrounded by historic sights and structures, places like Chateau Alto Nido bring comfort and a sense of cultural identity. As an advocate for the preservation of all of Hollywood's historically significant buildings, I support Cultural Heritage Commission's nomination. Chateau Alto Nido is an excellent example of Hollywood architecture that shaped our collective history.

It's iconic, I drive by it every day and see it from the freeway, and it has incorporated itself into the background of my life for as long as I can remember. It is important to preserve the buildings we still have in Hollywood. It pains me to see another one go down due to demolition, demolition by abandonment, or having partial structures torn down. I'm happy this building is on the path to preservation for all those to enjoy for many years to come. I thank you for your consideration and hope you have a nice rest of your day.



Planning CHC <chc@lacity.org>

CHC 2026-4299-HCM / ENV-2026-4300-CE

1 message

Marley Schneier <marley.schneier@gmail.com>

Tue, Sep 15, 2026 at 10:48 PM

To: CHC@lacity.org, TED.WALKER@lacity.org, EMMA.HOWARD@lacity.org, PRESERVATION@hollywoodheritage.org

Hello -

I am writing in support of the nomination by the Hollywood Heritage Museum of 1930 Chateau Alto Nido ("High Nest"), an apartment building on Ivar and Franklin Avenues, as a historic cultural monument.

To me, the beating heart of Los Angeles is its stories. This building was where Sunset Boulevard's protagonist, a down on his luck screenwriter, wrote about meeting the great Norma Desmond, and wrote himself to life again. This is just one of the magical stories this building stands for.

Perhaps not everyone who passes by this building knows its history, but when they look at this architecture, they can certainly feel it. Buildings like this allow us Angelenos to be transported back in time, and see all the dreams this city made come true back then, and still does now.

Please preserve this building, and others like it.

Sincerely,
Marley Schneier



Planning CHC <chc@lacity.org>

CHC 2026-4299-HCM / ENV-2026-4300-CE

1 message

Martin Turnbull <emailme@martinturnbull.com>
To: "CHC@lacity.org" <CHC@lacity.org>

Mon, Sep 14, 2026 at 4:24 PM

Hello,

I'm writing today to voice my support for the designation of Chateau Alto Nido as a Historic Cultural Monument. I think it's wonderful that this gorgeous building might get the historical recognition it deserves!

All the best,
MARTIN TURNBULL
Hollywood's Garden of Allah novels
www.MartinTurnbull.com



Planning CHC <chc@lacity.org>

Cultural Heritage Nomination of the Alto Nido Apartments

1 message

rikalad@aol.com <rikalad@aol.com>

Fri, Sep 11, 2026 at 12:38 PM

To: "CHC@LACITY.ORG" <CHC@lacity.org>, "TED.WALKER@LACITY.ORG" <TED.WALKER@lacity.org>, "EMMA.HOWARD@LACITY.ORG" <EMMA.HOWARD@lacity.org>, "INFO@HOLLYWOODHERITAGE.ORG" <INFO@hollywoodheritage.org>

Honorable Members of the Cultural Heritage Commission,

As a member of Hollywood Heritage since 1981, and as a former officer of the organization, I would like to voice my support for the nomination of the Alto Nido Apartments as a Los Angeles Cultural Heritage Monument.

The rapid transition of Hollywood at the early part of the 20th Century from an agricultural and residential community to the international center of the film industry is marked by the combination of businesses and multiple housing developments catering to the then new combined population of the community.

Those multiple residences adjacent to Hollywood Blvd. were designed specifically to appeal to the new affluent film industry workers, from onscreen performers to the far more numerous behind the camera personnel. The Alto Nido is an excellent example of this.

It is built with the appearance of a luxury hotel rather than the smaller more modestly designer multiple housing building which appear in many other parts of Los Angeles. It was a prestige residence for those more affluent community members. It is significant for being designed for this specific style of living.

The building's "guest appearance" in the film "Sunset Boulevard" represents the changing roles of residences like this in the late 1940's and early 1950's, and documents the comparative fortunes of community members and the general changes in the industry at the time.

That this building survives as a living document of the changes in the community as it was affected by the changes in its most profitable business is an un mistakeable indicator of its value. We are fortunate to have retained it and have a duty to keep it as such.

I recommend that the commission support this nomination and hope that it will lead to the designation of this building.

Thank you for your consideration,
Richard Adkins



Planning CHC <chc@lacity.org>

CHC 2026-4299-HCM / ENV-2026-4300-CE

1 message

Sara Pratter <sarapratter@mac.com>
To: CHC@lacity.org

Wed, Sep 16, 2026 at 5:25 AM

Please save the Alto Nido!!!

Sara Hallowell



Planning CHC <chc@lacity.org>

Chateua Alto Nido

1 message

Stephen Rebello <stephen.rebello3030@gmail.com>
To: CHC@lacity.org

Fri, Sep 11, 2026 at 4:03 PM

Dear Cultural Heritage Commission:

I am writing to express full support for making the Chateau Alto Nido a Historic-Cultural Monument of the city.

As you know, this is a four- and five-story apartment building with a subterranean garage located on a hilltop at the southwest corner of Ivar and Franklin Avenues in Hollywood. Constructed in 1929 - 30 before the 101 freeway, the structure is a jewel of Council. District 13.

The building served as home for such Hollywood Golden Age figures as actors Claudette Colbert and Roscoe "Fatty" Arbuckle and director Cukor.

It was designed by architect Stanley J. Pedersen (1899-1971) in the Spanish Colonial Revival architectural style for singer and real estate developer Henry J. Hedin. To international fans of the 1950 film directed by Billy Wilder, SUNSET BOULEVARD, this iconic building was home to the film's character struggling screenwriter Joe Gillis (played by William Holden) before his encounter with forgotten Silent Era film star Norma Desmond (played by Gloria Swanson.) Earlier, the building featured prominently in the noir drama THE BLUE DAHLIA (1946), written for the screen by no less than Raymond Chandler.

I hope you will protect this irreplaceable and significant site for posterity. Thank you.

Stephen Rebello
former resident of historic Wilshire Park

Now in Bookstores: "Criss-Cross - The Making of Hitchcock's Dazzling, Subversive STRANGERS ON A TRAIN" (Running Press/Hachette)

<https://www.hachettebookgroup.com/titles/stephen-rebello/criss-cross/9780762486397/>

"Hitchcockian Thrillers - Must-See Films in the Style of the Suspense Master" (Bloomsbury)

<https://www.bloomsbury.com/us/hitchcockian-thrillers-9781493079605/>

<https://www.imdb.com/name/nm1067289/>

www.stephen-rebello.com



Planning CHC <chc@lacity.org>

help preserve Chateau Alto Nido as a historic landmark

1 message

Sharon Smith Holley <sharonsmithholley@aol.com>
To: "CHC@LACITY.ORG" <CHC@lacity.org>

Mon, Sep 14, 2026 at 6:11 PM

Cultural Heritage Commission

I would like to express my support for the Hollywood Heritage nomination of the 1930 Chateau Alto Nido ("High Nest") multi-family dwelling. I believe it is worthy to consider for Historic Cultural Monument designation.

Hollywood Heritage has deemed the Chateau Alto Nido as an excellent example of a 1930s apartment house in Hollywood exhibiting the distinctive features of the property type, and as an excellent example of Spanish Colonial Revival multi-family residential architecture in Hollywood.

About Alto Nido: The four- and five-story apartment building with a subterranean garage is located on a hilltop at the southwest corner of Ivar and Franklin Avenues in Hollywood. Constructed in 1929 - 30 before the 101 freeway, it was designed by architect Stanley J. Pedersen (1899-1971) in the Spanish Colonial Revival architectural style for singer and real estate developer Henry J. Hedin. To fans of SUNSET BOULEVARD, this iconic building was home to struggling screenwriter Joe Gillis before his encounter with Norma Desmond. This building is in Council District 13 (Hugo Soto-Martinez).

Please help keep our historic buildings safe as Hollywood is struggling to be the center of the film and television industry, we need to have more places of interest for tourism.

thank you for your time
Sharon

Sharon Smith Holley

MPEG, AMPAS, ACE, VES, and SMPTE



"Don't just stop to smell the roses, plant them." Else Blangsted,
Music Editor



Planning CHC <chc@lacity.org>

Please support the nomination for the Chateau Alto Nido - CHC 2026-4299-HCM / ENV-2026-4300-CE

1 message

Susan Craig Winsberg <franklincorridorcommunities@gmail.com>

Mon, Sep 14, 2026 at 11:09 PM

To: CHC@lacity.org, TED.WALKER@lacity.org, EMMA.HOWARD@lacity.org

Cc: INFO@hollywoodheritage.org

Dear Commissioners and City Council Staff,

We are writing to urge your support for the nomination of the Chateau Alto Nido, a stellar example of Spanish Colonial Revival multi-family architecture from 1930s Hollywood. Designed by architect Stanley J. Pederson, the Chateau Alto Nido exhibits many distinctive features and was immortalized in the 1950's blockbuster film "Sunset Boulevard".

The property itself is a superstar and we hope you will agree.

We urge your support for this Hollywood treasure.

Thank you,
Franklin Corridor Communities



Planning CHC <chc@lacity.org>

Re: CHC 2026-4299-HCM / ENV-2026-4300-CE

1 message

Ted Walker <ted.walker@lacity.org>

Tue, Sep 15, 2026 at 10:19 AM

To: JS <js@sorellipresents.com>

Cc: "CHC@LACITY.ORG" <CHC@lacity.org>, "EMMA.HOWARD@LACITY.ORG" <EMMA.HOWARD@lacity.org>, "INFO@HOLLYWOODHERITAGE.ORG" <INFO@hollywoodheritage.org>

Dear Juliana,

Thank you for sharing your support for the Historic Cultural Monument (HCM) nomination of Chateau Alto Nido. Councilmember Soto-Martinez appreciates hearing your position. This HCM nomination is currently headed to the Cultural Heritage Commission, a volunteer body that makes recommendations to City Council on which sites should become Historic Cultural Monuments.

Councilmember Soto-Martinez rarely takes a position on whether a nomination should become a Historic Cultural Monument before the Cultural Heritage Commission does, so that they are free to provide our office with their expert recommendation. Generally however, the Councilmember will uphold the Commission's recommendations once they are made and transferred to the City Council.

Thank you for your advocacy,
Ted Walker

On Fri, Sep 11, 2026 at 2:14 PM JS <js@sorellipresents.com> wrote:

Dear Cultural Heritage Commissioners,

I am writing as a Hollywood resident to express my strong support for the designation of Chateau Alto Nido as a Historic-Cultural Monument.

Buildings like Chateau Alto Nido are an essential part of what makes Hollywood unique. Its Spanish Colonial Revival architecture, its history dating to 1930, and its connection to *Sunset Boulevard* make it an important surviving piece of both Hollywood's architectural and cinematic history.

I live in another historic apartment building in Hollywood, and I see firsthand how important it is to preserve these buildings and the character they give our neighborhood. So much of historic Los Angeles has already disappeared. Protecting places like Chateau Alto Nido allows Hollywood's history to remain part of the living city rather than existing only in photographs and films.

I strongly support the nomination and respectfully ask the Commission to approve Historic-Cultural Monument designation for Chateau Alto Nido.

Thank you for your consideration.

Best,
Juliana Sorelli
Hollywood resident



SORELLI PRESENTS
Hollywood, CA.

Sent with [Proton Mail](#) secure email.

--
Ted Walker
Planning Deputy

200 N Spring Street,
Room 480
Los Angeles, CA 90012
Tel: (213) 473-7013
Email: ted.walker@lacity.org



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PLEASE NOTE: E-mail correspondence with the office of Councilmember Hugo Soto-Martínez (including any attachments) may be subject to public disclosure under the California Public Records Act.

DAY OF HEARING SUBMISSIONS



LOS ANGELES
CONSERVANCY

500 South Grand Avenue, Suite 1640
Los Angeles, CA 90071

213 623 2489 OFFICE
213 623 3909 FAX

laconservancy.org

President Barry Milofsky
Cultural Heritage Commission
Los Angeles City Hall
200 North Spring Street, 10th Floor, Room 1010
Los Angeles, CA 90012
Email: chc@lacity.org

September 16, 2026

**RE: Item 4 – Sakai-Kozawa Residence/Tokio Florist and Pole Sign,
HCM #1198**

Dear President Milofsky and Honorable Commissioners,

Among the last remaining material and contextual markers of the flower farms and flower shops and stands that dotted the Silver Lake, Los Feliz, and Atwater neighborhoods, the Sakai-Kozawa Residence/Tokio Florist and Pole Sign became HCM #1198 in 2019. The property narrates a history of Japanese immigrants and Japanese Americans in Silver Lake and Los Angeles that has rare representation.

As some Commissioners may know, we helped prepare and supported the HCM nomination of the Sakai-Kozawa Residence/Tokio Florist and Pole Sign, as part of our ongoing efforts to increase heritage of underrepresented communities in L.A.'s Landmark program. Following the designation, the Conservancy provided recommendations to then owner (Redcar) for retaining important character-defining features, including rare and mature landscape features, and adding interpretative signage to help tell the story of the Sakai-Kozawa family and their longtime florist shop as part of their proposed project. In 2021, designs were reviewed by a working group of the Cultural Heritage Commission (CHC), which the Conservancy was part of. That project did not come to fruition, nor did a subsequent adaptive reuse project for a boutique hotel and restaurant/bar, which we also reviewed and commented on as part of the CHC working group.

Just this week, we learned about new ownership's proposed plans to expand and resurface the parking area at the HCM property. We have some concerns that this proposal is intended to serve a future commercial tenant at a nearby new mixed-use building, not the landmarked Tokio Florist site. Could this



foreclose opportunities for successful reuse of the rest of the HCM property? Could a shared parking agreement be negotiated to satisfy the needs of both parcels, providing long-term flexibility for future tenants? We are also concerned that no proposed changes or improvements to the historic buildings could lead to more costly repairs down the road, structural failures, or worse, an environment highly vulnerable to fire risks.

Despite these concerns, we are dedicated to working with new ownership to secure a long-term preservation plan for this site. We are encouraged by the owner's interest in temporarily mothballing the historic buildings and restoring some of Frank and Sumi Kozawa's Japanese garden. In the 1960s, the Kozawas designed the garden, which featured rare and mature plantings. While the condition of the garden has deteriorated over time, important character-defining features such as winding paths, bridges, and water features, remain, and restoring it would be a step toward recognizing the important history and memory held at this site.

In closing, we recommend re-engaging the Cultural Heritage Commission working group that was created following the site's designation. This group was formed to be a resource to the HCM's owner. With the exception of Gail Kennard, who no longer serves on the Commission, I believe we all remain willing and ready to support the owner because we care about this important place and neighborhood. This property is an irreplaceable part of the community's fabric that deserves our attention and care.

About the Los Angeles Conservancy:

The Los Angeles Conservancy is the largest local historic preservation organization in the United States, with nearly 5,000 member households throughout the Los Angeles area. Established in 1978, the Conservancy works to preserve and revitalize the significant architectural and cultural heritage of Los Angeles County through advocacy and education.

Sincerely,



M. Rosalind Sagara
Senior Neighborhood Outreach Manager





Planning CHC <chc@lacity.org>

CHC 2026-4299-HCM / ENV-2026-4300-CE - SUPPORT FOR ALTO NIDO DESIGNATION

1 message

Barker, Charlotte (Archives) - Paramount <Charlotte_Barker@paramount.com>

Wed, Sep 16, 2026 at 12:43 PM

To: "CHC@LACITY.ORG" <CHC@lacity.org>, "TED.WALKER@LACITY.ORG" <TED.WALKER@lacity.org>, "EMMA.HOWARD@LACITY.ORG" <EMMA.HOWARD@lacity.org>, "PRESERVATION@HOLLYWOODHERITAGE.ORG" <PRESERVATION@hollywoodheritage.org>
Cc: "altonidomgr@universeliving.com" <altonidomgr@universeliving.com>

CHC 2026-4299-HCM / ENV-2026-4300-CE

Dear Members of the Cultural Heritage Commission,

I am writing in strong support of the nomination of Chateau Alto Nido for Historic-Cultural Monument designation.

I oversee the film restoration department at the Paramount Archives, so *Sunset Boulevard* holds a particularly special place for me. The film is not simply an important Paramount Pictures film; it is one of the most enduring films ever made about Hollywood. It captures a very specific moment in the history of the film industry and the changing landscape of Los Angeles in the 1950s.

For Paramount, *Sunset Boulevard* is an especially significant part of our legacy, and the film has become inseparable from the identity of the studio. So much of the film's story is rooted in real places and the Chateau Alto Nido is one of those places.

Joe Gillis lived at the Alto Nido before his fateful encounter with Norma Desmond, making it an actual surviving piece of the physical world of *Sunset Boulevard*. It isn't simply a building that appeared in a famous movie. It is part of the film's story.

As a film archivist, I spend my professional life restoring films that are almost lost to time due to decay. Fortunately, most films can be restored, but the places in which those films were made and set cannot always be recovered once they are gone.

I also have a personal connection to Alto Nido. In 2024, I had the privilege of overseeing the restoration of *Sunset Boulevard*. Two years later, when I found myself looking for a new home, I kept thinking about that beautiful building where Joe Gillis lived. I came to see it, met the remarkable people who manage and care for the building and the people who call it home, and something about it immediately felt right. Today, I am fortunate enough to call Chateau Alto Nido my home.

The Chateau Alto Nido is an unusually meaningful piece of that Hollywood's history and I hope the Commission will support its designation as a Historic-Cultural Monument and help ensure that this important connection to *Sunset Boulevard*, Paramount, and Hollywood endures.

Sincerely,

Charlotte Barker

9/16/26, 2:27 PM

City of Los Angeles Mail - CHC 2026-4299-HCM / ENV-2026-4300-CE - SUPPORT FOR ALTO NIDO DESIGNATION

Senior Director, Film Preservation & Restoration | Paramount Archives | Cell 818.309.3171



Planning CHC <chc@lacity.org>

Case#CHC 2026-4299-HCM / ENV-2026-4300-CE

1 message

Leslie A <bluezstudios@gmail.com>

Wed, Sep 16, 2026 at 12:52 PM

To: "EMMA.HOWARD@LACITY.ORG" <EMMA.HOWARD@lacity.org>, CHC@lacity.org, TED.WALKER@lacity.org, PRESERVATION@hollywoodheritage.org

I back the Hollywood Heritage's designation of the Chateau Alto Nido as an excellent example of a 1930s mid-size apartment house, exhibiting the distinctive features of the property type, and as an excellent example of Spanish Colonial Revival multi-family residential architecture in Hollywood.

Architecture like the Chateau Alto Nido is what gives Hollywood its unique beauty and personality!

Leslie Apple
Wilmington, Delaware

Sent from my iPhone



Planning CHC <chc@lacity.org>

Alto Nido

1 message

camera35@me.com <camera35@me.com>
To: "CHC@lacity.org" <CHC@lacity.org>

Wed, Sep 16, 2026 at 4:56 PM

Lived there when arriving in LA to attend film school at Columbia College-Hollywood, in 1971. That school has been demolished.

Would like to see Alto Nido protected.

Michael Frediani



Planning CHC <chc@lacity.org>

CHC 2026-4299-HCM ENV-2026-4300-CE

1 message

deils41749@mypacks.net <deils41749@mypacks.net>

Wed, Sep 16, 2026 at 11:54 AM

Reply-To: deils41749@mypacks.net

To: chc@lacity.org

Hello:

I want to make known my support of a recent nomination by Hollywood Heritage. I commend this organization's initiative to seek for the Alto Nido Apartments designation as a historical cultural monument. The structure's beauty and century-old resilience certainly merit its preservation for Hollywood of the future.

Sincerely,

Mark Penn



Planning CHC <chc@lacity.org>

Agenda Item #6, Proposed Monument: Casa de Cadillac, 14402 W. Ventura Bl., 14330-14350 Moorpark St.

1 message

Adriene Biondo <adrienebiondo@gmail.com>

Wed, Sep 16, 2026 at 12:59 PM

To: CHC@lacity.org

Cc: Adrian Fine <afine@laconservancy.org>, Charles Fisher <arroyoseco@hotmail.com>

Dear Mr. Sanchez and Members of the Cultural Heritage Commission:

First and foremost, I would like to thank the owners of Casa de Cadillac for their extraordinary stewardship over the years, and for preserving and protecting this architectural and cultural icon.

While there is no current development proposal for the site, my hope is for the benefit that an Historic-Cultural Monument designation would give the Casa de Cadillac building and signage in terms of guidelines and guardrails should a proposal happen to arise in the future.

Casa de Cadillac is a living landmark that is larger than life, with a melding of a monument sign in addition to Cadillac's signature script, circa 1949, in neon signage running across its roofline. All of this is backed by a magnificent, transparent showroom that catches the eyes of motorists driving along busy Ventura Boulevard and Moorpark Street.

Architects Randall Duell and Phillip Conklin brought drama and showmanship to the postwar San Fernando Valley with their Late Moderne design for Casa de Cadillac. Superb styling met the sophistication of General Motors' finest automobile in a dealership that embodies the best of modern design.

Among the many building types, automobile showrooms have become particularly vulnerable to changing times. Many dealerships close their doors or undergo corporate rebranding that erases original design elements. Crestview Cadillac (1962) in West Covina was significantly altered in 2012. Crenshaw Ford (1946) in Los Angeles was completely demolished in 2009. Lou Ehlers Cadillac (1955) in Los Angeles was leveled in 2008.

I sincerely hope that we can honor and protect Casa de Cadillac with this designation, and that future generations will be able to appreciate this tour de force of design and integrity. Casa de Cadillac is a rare gem indeed, and protecting our architectural and cultural landmarks is of utmost importance, especially in these days of large-scale development.

Sincerely,

Adriene Biondo
Chair Emeritus
Los Angeles Conservancy
Modern Committee

[17125 Lisette St.](#)
[Granada Hills, CA 91344](#)



Planning CHC <chc@lacity.org>

Case # in the Subject Line CHC 2026-4299-HCM / ENV-2026-4300-CE1 message

Anita Rosenberg <arstudio@aol.com>

Wed, Sep 16, 2026 at 7:11 PM

To: "CHC@LACITY.ORG" <CHC@lacity.org>, "TED.WALKER@LACITY.ORG" <TED.WALKER@lacity.org>, "EMMA.HOWARD@LACITY.ORG" <EMMA.HOWARD@lacity.org>, "PRESERVATION@HOLLYWOODHERITAGE.ORG" <PRESERVATION@hollywoodheritage.org>

As a Hollywood resident for over 40 years, I walk past the famous Alto Nido daily on my walks. I have written about this historic building in my Hollywood posts and stories. This building is very important as an historic monument, when everything seems to be slipping away from our beloved Hollywood.

The Alto Nido means so much to everyone who loves and breathes all-things Hollywood.

Please make this building an historic monument because we have so little left of our history.

Anita Rosenberg



Anita Rosenberg
ARStudio@AOL.com
www.AnitaRosenberg.com
213-379-5677

Out now from Heliotrope Books and
available at your local bookseller:
*How To Be The Star of Your Life:
Lessons from Hollywood & Beyond*
by Anita Rosenberg