



City of Los Angeles

Department of City Planning • Major Projects Section
City Hall • 200 N. Spring Street, Room 750 • Los Angeles, CA 90012

INITIAL STUDY

CENTRAL CITY COMMUNITY PLAN AREA

Fig+Pico Conference Center Hotels

Case Number: ENV-2016-2594-EIR

Project Location: 1240-1260 S. Figueroa Street & 601 W. Pico Boulevard, Los Angeles, California 90015

Additional Locations for the Proposed Sign District: 1300 S. Figueroa Street, 535 W. Pico Boulevard, 520-638 W. Pico Boulevard, 1220-1308 S. Flower Street, & 1309-1315 S. Flower Street

Council District: 14

Project Description: The Fig+Pico Conference Center Hotels project would develop approximately 506,682 square feet of floor area in two hotel towers, providing up to 1,162 guestrooms and 13,145 square feet of retail/restaurant space on an approximately 1.22-acre development site located at 1240-1260 S. Figueroa Street and 601 W. Pico Boulevard in the Central City community of the City of Los Angeles. The Project Site currently contains a 27,800-square-foot two-story commercial building and surface parking lots, which are to be demolished. Three hotels, which are identified as Hotel A, Hotel B, and Hotel C, are to operate within the two proposed towers.

Proposed Hotel A and Hotel B would be developed in a single 42-story, 529-foot tower on the northeast corner of S. Figueroa Street and W. Pico Boulevard. The Hotel A/B tower would include 11,000 square feet of ground-floor retail/restaurant uses, up to 820 hotel guestrooms, hotel lobbies, guest amenities such as rooftop pool decks and a viewing deck, conference and meeting room spaces, signage, and parking for all three hotels (353 spaces).

Proposed Hotel C would be developed in a 25-story, 326-foot tower located on the northwest corner of Pico Boulevard and Flower Street. The Hotel C tower would include a hotel lobby, approximately 2,145 sf of ground-floor commercial retail/restaurant uses, up to 342 guestrooms, and guest amenities such as a landscaped rooftop pool deck.

A City-initiated sign district would also be implemented on the Project Site and certain surrounding parcels.

APPLICANT:
Lightstone DTLA LLC

PREPARED BY:
ESA PCR

ON BEHALF OF:
The City of Los Angeles
Department of City Planning
Major Projects

December 2016

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CITY OF LOS ANGELES

OFFICE OF THE CITY CLERK
ROOM 360, CITY HALL
LOS ANGELES, CALIFORNIA 90012

CALIFORNIA ENVIRONMENTAL QUALITY ACT

INITIAL STUDY AND CHECKLIST

(Article IV B City CEQA Guidelines)

LEAD CITY AGENCY	COUNCIL DISTRICT	DATE
City of Los Angeles Department of City Planning	14	12/22/2016

RESPONSIBLE AGENCIES

City of Los Angeles Department of City Planning

PROJECT TITLE/NO.

Fig+Pico Conference Center Hotels

CASE NO.

ENV-2016-2594-EIR

PREVIOUS ACTIONS CASE NO.

N/A

☐ DOES have significant changes from previous actions.

☒ DOES NOT have significant changes from previous actions.

PROJECT DESCRIPTION:

The Fig+Pico Conference Center Hotels project would develop approximately 506,682 square feet of floor area in two hotel towers, providing up to 1,162 guestrooms and 13,145 square feet of retail/restaurant space on a 1.22-acre development site located at 1240-1260 S. Figueroa Street and 601 W. Pico Boulevard in the Central City community of the City of Los Angeles. The Project Site currently contains a 27,800-square-foot two-story commercial building and surface parking lots, which are to be demolished. Three hotels, which are identified as Hotel A, Hotel B, and Hotel C, are to operate within the two proposed towers.

Proposed Hotel A and Hotel B would be developed in a single 42-story, 529-foot tower on the northeast corner of S. Figueroa Street and W. Pico Boulevard. The Hotel A/B tower would include 11,000 square feet of ground-floor retail/restaurant uses, up to 820 hotel guestrooms, hotel lobbies, guest amenities such as rooftop pool decks and a viewing deck, conference and meeting room spaces, signage, and parking for all three hotels (353 spaces).

Proposed Hotel C would be developed in a 25-story, 326-foot tower on the northwest corner of Pico Boulevard and Flower Street. The Hotel C tower would include a hotel lobby, approximately 2,145 sf of ground-floor commercial retail/restaurant uses, up to 342 guestrooms, and guest amenities such as a landscaped rooftop pool deck.

A City-initiated sign district would also be implemented on the Project Site and certain surrounding parcels.

ENVIRONMENTAL SETTING:

The Project Site is currently developed with an approximately 35-foot-tall two-story commercial building and surface parking lots that serve the commercial building and provide general public parking for uses in the vicinity. The existing building contains approximately 27,800 sf of floor area and is occupied by three restaurants.

The Project Site is located at 1240-1260 S. Figueroa Street and 601 W. Pico Boulevard in the South Park district of the Central City Community Plan Area in Downtown Los Angeles. The Project Site is served by a network of regional transportation facilities that provide access to the greater metropolitan area. Regional access to the Project Site is provided by the Pasadena/Harbor Freeway (I-110/SR 110), located approximately 0.3 miles to the west; the Santa Monica Freeway (I-10) located approximately 0.3 miles to the south; and, the Hollywood Freeway (US-101), located approximately 1.7 miles to the north. These three freeways also provide access to the Golden State/Santa Ana Freeway (I-5) to the north, and the San Bernardino Freeway (I-10) and the Pomona Freeway (SR-60) to the east and southeast, respectively.

The Project Site is located in a Transit Priority Area and is located immediately west of the Los Angeles County Metropolitan Transportation Authority (Metro) Pico Station, which serves the Blue Line and the Expo Line light rail. East

of the Pico Metro Station and light rail line, the area is developed by predominantly commercial and wholesale uses.

The Project Site is located in a regional center that serves as a commercial and entertainment center for Los Angeles and the surrounding communities. The Project area is characterized by a mix of entertainment, commercial, restaurant, bar, office, residential, transit and infrastructure uses. The Los Angeles Convention Center is immediately west of the Project Site. Staples Center Arena and LA LIVE, which contain entertainment, hotel, restaurant, and residential uses, are north of the Convention Center and northwest of the Project Site. The under-construction Circa project is located directly north of the Project Site at 1200 S. Figueroa Street and encompasses two 35-story high-rise towers with 648 residential units atop a seven-story podium containing 46,000 sf of retail space and associated parking. The 1212 Flower Street Apartments are planned at the southeast corner of S. Flower Street and W. 12th Street, one-half block north of the Project Site, and would contain an estimated 730 residential units in a pair of 31- and 40-story high-rise towers. Additional high-rise residential, hotel, and office buildings atop subterranean and/or podium parking are located or planned two blocks northeast of the Project Site, within the block bounded by W. 11th Street on the north, W. 12th Street on the south, W. Grand Avenue on the east and S. Hope Street on the west.

For further discussion see Attachment A, Project Description.

PROJECT LOCATION:

1240-1260 S. Figueroa Street & 601 W. Pico Boulevard, Los Angeles, California 90015

Additional Locations for the Proposed Sign District: 1300 S. Figueroa Street, 535 W. Pico Boulevard, 520-638 W. Pico Boulevard, 1220-1308 S. Flower Street, & 1309-1315 S. Flower Street

PLANNING DISTRICT

Central City Community Plan

STATUS:

☐ PRELIMINARY

☐ PROPOSED

☒ ADOPTED

EXISTING ZONING C2-4D-O and [Q]R5-4D-O	MAX. DENSITY ZONING Base FAR of 6:1, Max FAR of 13:1	<input type="checkbox"/> DOES CONFORM TO PLAN <input checked="" type="checkbox"/> DOES NOT CONFORM TO PLAN <input type="checkbox"/> NO DISTRICT PLAN
GENERAL PLAN LAND USE & ZONE(S) Regional Commercial: CR, C1.5, C2, C4, C5, R3, R4, R5, RAS3, RAS4 High Density Residential: R5	MAX. DENSITY PLAN Base FAR of 6:1, Max FAR of 13:1	
SURROUNDING LAND USES See above Setting Discussion and Attachment A, Project Description, for further discussion.	PROJECT DENSITY 9.9:1 FAR	



DETERMINATION (To be completed by Lead Agency)

On the basis of this initial evaluation:

☐ I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.

☐ I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions on the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.

☒ I find the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.

☐ I find the proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.

☐ I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.



SIGNATURE

CITY PLANNER

TITLE

EVALUATION OF ENVIRONMENTAL IMPACTS:

- 1) A brief explanation is required for all answers except "No Impact" answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
- 2) All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
- 4) "Negative Declaration: Less Than Significant With Mitigation Incorporated" applies where the incorporation of a mitigation measure has reduced an effect from "Potentially Significant Impact" to "Less Than Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from "Earlier Analysis," as described in (5) below, may be cross referenced).
- 5) Earlier analysis must be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR, or negative declaration. Section 15063 (c)(3)(D). In this case, a brief discussion should identify the following:
 - a) Earlier Analysis Used. Identify and state where they are available for review.
 - b) Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - c) Mitigation Measures. For effects that are "Less Than Significant With Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
- 6) Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated
- 7) Supporting Information Sources: A sources list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 8) This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a project's environmental effects in whichever format is selected.
- 9) The explanation of each issue should identify:
 - a) The significance criteria or threshold, if any, used to evaluate each question; and
 - b) The mitigation measure identified, if any, to reduce the impact to less than significance.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- | | | |
|--|---|--|
| <input checked="" type="checkbox"/> Aesthetics | <input checked="" type="checkbox"/> Hazards & Hazardous Materials | <input checked="" type="checkbox"/> Public Services |
| <input type="checkbox"/> Agriculture and Forestry Resources | <input checked="" type="checkbox"/> Hydrology/Water Quality | <input type="checkbox"/> Recreation |
| <input checked="" type="checkbox"/> Air Quality | <input checked="" type="checkbox"/> Land Use/Planning | <input checked="" type="checkbox"/> Transportation/Traffic |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input checked="" type="checkbox"/> Utilities/Service Systems |
| <input type="checkbox"/> Cultural Resources | <input checked="" type="checkbox"/> Noise | <input checked="" type="checkbox"/> Mandatory Findings of Significance |
| <input checked="" type="checkbox"/> Geology/Soils | <input type="checkbox"/> Population/Housing | |
| <input checked="" type="checkbox"/> Greenhouse Gas Emissions | | |

INITIAL STUDY CHECKLIST (To be completed by the Lead City Agency)**BACKGROUND****PROPONENT NAME**

Lightstone DTLA, LLC

PHONE NUMBER

(732) 279-5398

PROPONENT ADDRESS555 W. 5th Street, 35th Floor, Los Angeles, CA 90013**AGENCY REQUIRING CHECKLIST**

City Planning Department

DATE SUBMITTED

December 22, 2016

PROPOSAL NAME (If Applicable)

Fig+Pico Conference Center Hotels

**ENVIRONMENTAL IMPACTS**

(Explanations of all potentially and less than significant impacts are required to be attached on separate sheets)

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
I. AESTHETICS. Would the project:				
a. Have a substantial adverse effect on a scenic vista?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Substantially degrade the existing visual character or quality of the site and its surroundings?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
 II. AGRICULTURE AND FORESTRY RESOURCES. In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:				
a. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Conflict with existing zoning for agricultural use, or a Williamson Act Contract?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
e. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

III. AIR QUALITY. Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:

a. Conflict with or obstruct implementation of the applicable air quality plan?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Expose sensitive receptors to substantial pollutant concentrations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

IV. BIOLOGICAL RESOURCES. Would the project:

a. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California of Fish and Game or U.S. Fish and Wildlife Service ?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
e. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

V. CULTURAL RESOURCES: Would the project:

a. Cause a substantial adverse change in the significance of a historical resource as defined in §15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

VI. GEOLOGY AND SOILS. Would the project:

a. Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:				
i. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii. Strong seismic ground shaking?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii. Seismic-related ground failure, including liquefaction?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv. Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Result in substantial soil erosion or the loss of topsoil?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
VII. GREENHOUSE GAS EMISSIONS. Would the project:				
a. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
VIII. HAZARDS AND HAZARDOUS MATERIALS. Would the project:				
a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
IX. HYDROLOGY AND WATER QUALITY. Would the project:				
a. Violate any water quality standards or waste discharge requirements?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b. Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned land uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off site?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f. Otherwise substantially degrade water quality?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
g. Place housing within a 100-year flood hazard area as mapped on federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h. Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i. Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
j. Inundation by seiche, tsunami, or mudflow?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
X. LAND USE AND PLANNING. Would the project:				
a. Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Conflict with any applicable habitat conservation plan or natural community conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
XI. MINERAL RESOURCES. Would the project:				
a. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
XII. NOISE. Would the project result in:				
a. Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
XIII. POPULATION AND HOUSING. Would the project:				
a. Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
XIV. PUBLIC SERVICES. Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:				
a. Fire protection?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Police protection?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Other public facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
XV. RECREATION.				
a. Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
XVI. TRANSPORTATION/TRAFFIC. Would the project:				
a. Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Substantially increase hazards to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. Result in inadequate emergency access?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
f. Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
XVII. UTILITIES AND SERVICE SYSTEMS. Would the project:				
a. Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f. Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. Comply with federal, state, and local statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
XVIII. MANDATORY FINDINGS OF SIGNIFICANCE.				
a. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**DISCUSSION OF THE ENVIRONMENTAL EVALUATION** (Attach additional sheets if necessary)

PREPARED BY Milena Zasadzien Los Angeles Department of City Planning 6262 Van Nuys Blvd., Room 351 Van Nuys, CA 91401	TITLE City Planner	TELEPHONE # (818) 374-5054	DATE December 22, 2016
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ATTACHMENT A

Project Description

A. Introduction

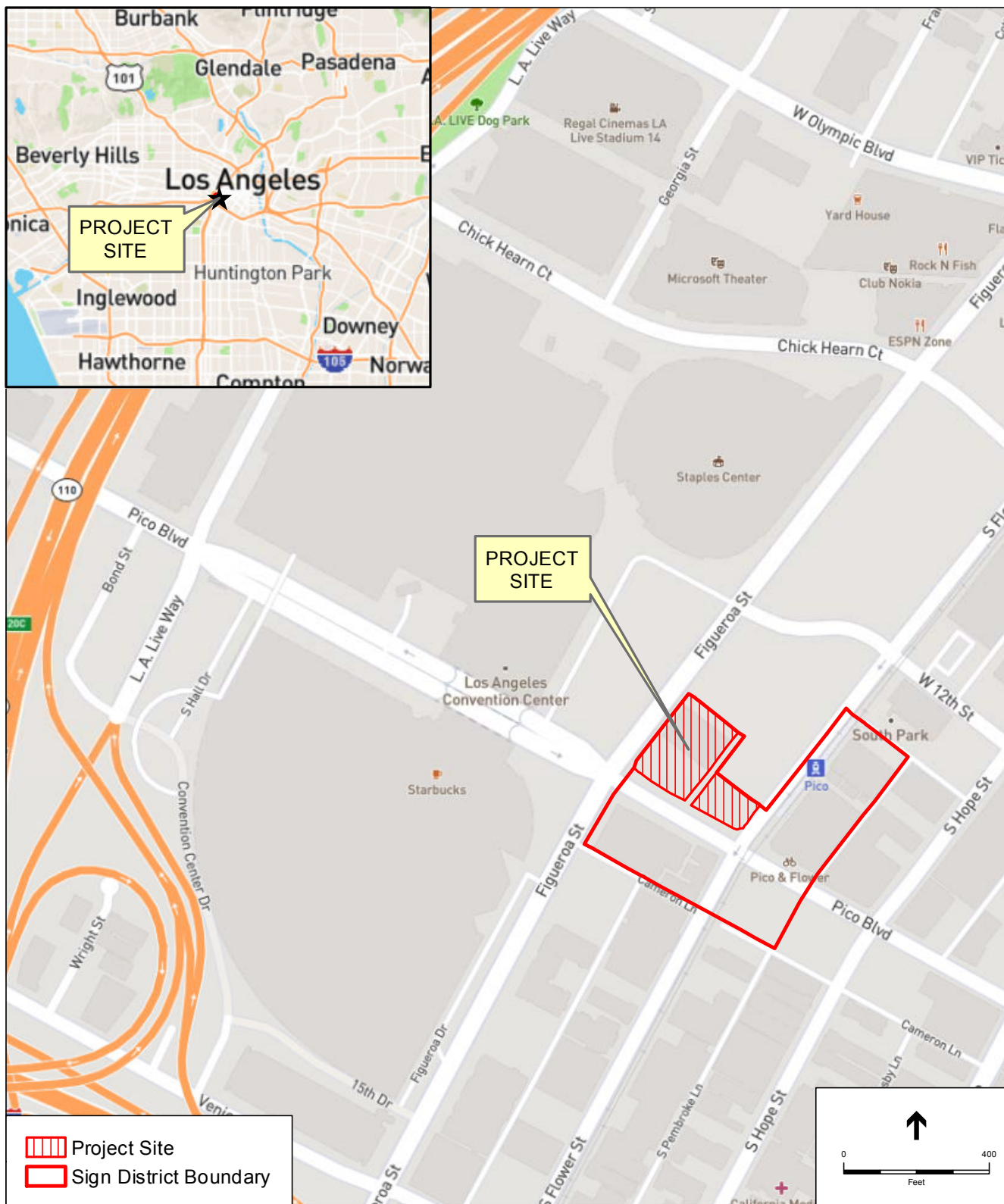
Lightstone DTLA LLC, the Applicant, proposes to develop the Fig+Pico Conference Center Hotels (the Project) on an approximately 1.22-acre (52,948 square foot [sf]) site (Project Site) bounded by S. Figueroa Street, W. Pico Boulevard, and S. Flower Street in the South Park district of the City of Los Angeles (City). The Project would include up to approximately 506,682 sf of floor area (approximately 9.9:1 FAR averaged across the Project Site) in two hotel towers with retail/restaurant and hotel lobby uses on the ground floor. The Project would provide up to approximately 1,162 hotel rooms within two towers that would likely contain three hotel brands, which are identified as Hotel A, Hotel B, and Hotel C.

One tower, at the corner of S. Figueroa Street and W. Pico Boulevard, would contain two hotels (Hotel A and Hotel B) in a single 42-story tower, collectively providing up to 820 guestrooms, approximately 11,000 sf of retail/restaurant space uses, hotel lobbies, guest amenities such as rooftop pool decks and a viewing deck, approximately 11,826 sf of conference and meeting room spaces, signage, and 353 parking spaces on six screened floors of a seven-story podium.

A second 25-story tower, at the corner of S. Flower Street and W. Pico Boulevard, would include one hotel (Hotel C) with up to 342 guestrooms, hotel lobby, approximately 2,145 sf of ground-floor retail/restaurant space uses, and guest amenities such as a landscaped rooftop pool deck.

B. Project Location and Surrounding Uses

The Project Site proposed for redevelopment is located at 1240-1260 S. Figueroa Street and 601 W. Pico Boulevard (APNs 5138-025-014, 5138-025-017, 5138-025-016, and 5138-025-900). As shown in **Figure A-1, Regional and Site Location Map**, the Project Site is bounded by S. Figueroa Street to the west, W. Pico Boulevard to the south, and S. Flower Street to the east. The Project Site is within the South Park district of the City. A City-Initiated Sign District is also proposed for the Project Site, as well as for surrounding parcels, including the following addresses: 1300 S. Figueroa Street, 535 W. Pico Boulevard, 520-638 W. Pico Boulevard, 1220-1308 S. Flower Street, & 1309-1315 S. Flower Street (APNs 5134010004, 5134-010-023, 5134-011-026, 5134-011-027, 5134-011-028, 5138-026-011, 5138-026-016, 5138-026-017, 5138-026-020, 5138-026-028, 5138-026-036, and 5138-026-900).



SOURCE: Open Street Map, 2016.

Fig+Pico Conference Center Hotels
Figure A-1
 Regional and Site Location Map

Figure A-1 also depicts the boundary of the proposed City-initiated sign district. The Los Angeles Sports and Entertainment District (LASED) Specific Plan Area is immediately to the north and west of the Project Site. As shown in **Figure A-2, *Aerial Photograph of Project Site and Vicinity***, the Project Site is located directly adjacent to the Los Angeles Convention Center (Convention Center), entertainment venues in the LASED to the north and west, and the Los Angeles County Metropolitan Transportation Authority (Metro) Pico Station to the east on S. Flower Street, which serves the Blue Line and Expo Line light rail.

The South Park district is a mixed-use community within downtown Los Angeles that contains entertainment venues with a regional draw. South Park and the area immediately surrounding the Project Site include a mix of entertainment, commercial, restaurant, hotel, office, and residential uses. In addition, there are several large mixed-use projects under construction or in the entitlement phase on the undeveloped parcels around the Project Site.

Immediately to the west of the Project Site is the Convention Center. Gilbert Lindsay Plaza is directly west of the Project Site across S. Figueroa Street and is a five-acre landscaped public plaza near the main entrance to the Convention Center. Just north of the Convention Center and northwest of the Project Site is Staples Center Arena, a multipurpose sports and entertainment venue. Farther northwest of the Project Site is LA LIVE, which contains entertainment, hotel, restaurant, and residential uses.

Directly north of the Project Site is the Circa project at 1200 S. Figueroa Street. Circa is under construction with anticipated completion in late 2017 and would comprise two 35-story high-rise towers containing 648 residential units above a seven-level podium with 46,000 sf of retail space and associated parking with approximately 1,770 parking spaces.

Immediately east of the Project Site is the Metro Pico Station, which serves the Blue Line and the Expo Line light rail system. The Blue Line provides light rail service between the City of Long Beach and downtown Los Angeles with connecting service to the Metro Green Line (serving Norwalk, Redondo Beach, and LAX via shuttle). The Expo Line provides rail service between downtown Los Angeles and Santa Monica. The Project Site is also served by multiple bus and shuttle lines, including multiple Metro bus lines and the DASH Downtown Shuttle Route. To the south of the Project Site, across W. Pico Boulevard, is the City Lights on Fig multifamily residential development, housed in a collection of five-story buildings with four stories of residential units above at-grade structured parking.

High-rise mixed-use residential and commercial buildings, extensive signage, and regional entertainment attractions define the general urban character in the Project vicinity. Several projects are currently under construction in the vicinity and have approved entitlements from the City. Immediately north of the Circa project and W. 12th Street at 1101 S. Flower Street, the Oceanwide Plaza project is currently under construction and anticipated for completion in 2018. It will contain an open-air two-story mall, 183-room hotel, and residential condominiums in a 49-story high-rise tower, and approximately 500 residential units in a pair of 40-story high-rise towers.



SOURCE: Google Maps, 2015 (Aerial)

Fig+Pico Conference Center Hotels

Figure A-2
Aerial Photograph of Project Site and Vicinity

The 1212 S. Flower Street Apartments are planned at the southeast corner of S. Flower Street and W. 12th Street, one-half block north of the Project Site, and would contain an estimated 730 residential units in a pair of 31- and 40-story high-rise towers. Additional high-rise residential, hotel, and office buildings atop subterranean and/or podium parking are located or planned two blocks northeast of the Project Site, within the block bounded by W. 11th Street on the north, W. 12th Street on the south, W. Grand Avenue on the east and S. Hope Street on the west. Finally, the 1020 S. Figueroa Street project planned at the existing LUXE Hotel site at S. Figueroa and W. 11th Streets is located two blocks north of the Project Site. This project proposes to replace the existing LUXE hotel with a 300-room, 34-story hotel tower, a 32-story condominium tower, and a 38-story condominium tower.

C. Site Background and Existing Conditions

The Project Site occupies the northern side of the W. Pico Boulevard frontage between S. Figueroa Street and S. Flower Street. A public alley accessed via Pico Boulevard bisects the Project Site and terminates at the northern Project boundary.

The Project Site is relatively flat and encompasses four parcels located at 1240-1260 S. Figueroa Street and 601 W. Pico Boulevard; one of the parcels is approximately 18,254 sf and is owned by the City (City Parcel). The remaining parcels total approximately 34,694 sf. Hotel A and Hotel B would be partially located on the existing City Parcel.

The Project Site is developed with a 35-foot tall, 27,800-square-foot two-story commercial building occupied by three restaurants and surface parking lots that serve the building and provide general public parking.

D. Existing Land Use and Zoning Designations

The Project Site is located in the Central City Community Plan Area and within the South Park district, which extends from Eighth Street on the north (the dividing line with the Financial District) to the Santa Monica Freeway on the south, and from S. Figueroa Street on the west (the dividing line with the Convention Center district) to South Los Angeles Street on the east. The Project Site is also within the City Center Redevelopment Project Area and a designated Los Angeles State Enterprise Zone.

The Project Site is not within the LASED. The General Plan land use designation for the Project Site is Regional Center Commercial for the lots west of the alley and High Density Residential for the lots east of the alley. The Project Site is split-zoned C2 (Commercial) and R5 (Multiple Dwelling). The parcels fronting Figueroa Street are zoned C2-4D-O, with “4” denoting Height District 4, the “D” denoting a 6:1 FAR, and the “O” indicating that the parcels are in an Oil Drilling District. The parcels fronting S. Flower Street are zoned [Q]R5-4D-O, with the “R5” denoting a multiple dwelling residential zone, the “4” denoting Height District 4, the “D” denoting a 6:1 FAR, the “Q” Qualified condition denoting restrictions on permitted uses and FAR, and the “O” denoting an Oil Drilling District.

E. Description of the Project

1. Development Program Summary

The proposed development program is discussed in detail below and summarized in **Table A-1, Development Program Summary**. A conceptual site plan for the Project is shown in **Figure A-3, Conceptual Site Plan**. Plans of the upper-story and rooftop pool decks and amenity space in both buildings are shown in **Figure A-4, Hotel A/B Building – Level 8 Pool Deck Amenities**, **Figure A-5, Hotel A/B Building – Level 36 Rooftop Viewing Deck Amenities**, and **Figure A-6, Hotel A/B Building – Level 41 Rooftop Pool Deck Amenities**, and **Figure A-7, Hotel C Building – Level 24 Rooftop Pool Deck Amenities**. A preliminary concept rendering of the Project is shown in **Figure A-8, Oblique Aerial View**.

2. Hotel Towers

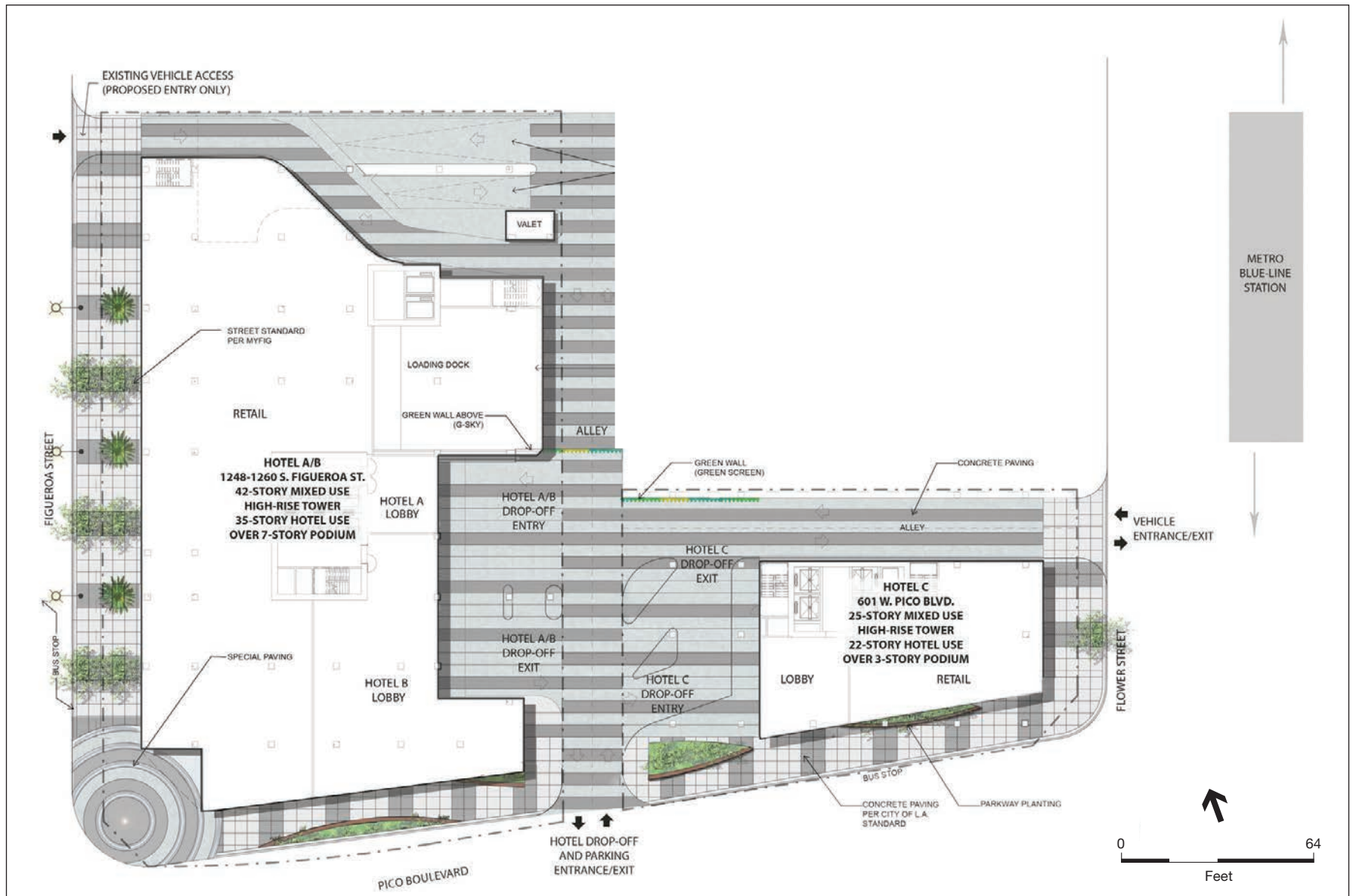
Hotel A and Hotel B would be housed in a single 42-story, 529-foot tower on the northeast corner of S. Figueroa Street and W. Pico Boulevard. The building's ground floor and Levels 2 through 7 would constitute an approximately 90-foot podium that would be activated at ground level with retail uses. The primary lobby for Hotel B and a small satellite lobby for Hotel A would be located on the ground floor along W. Pico Boulevard along with approximately 11,000 square feet of ground-floor commercial space fronting on S. Figueroa Street. Levels 2 through 7 would contain 353 parking spaces and mechanical equipment and would be screened with architectural elements and signage. The 8th floor would include a landscaped pool deck, a kitchen and hotel guest dining area, and a fitness center serving Hotel B. The 9th and 10th floors would contain approximately 11,826 square feet of conference rooms and flexible meeting space serving all three hotels. Floors 11 through 38 would contain up to 820 guestrooms ranging in size from 178 sf to 295 sf for a standard room. A portion of the 36th floor would also contain an open-air landscaped viewing deck serving all three hotels. Floors 39 through 42, above the hotel guestrooms, would be stepped back from the lower floors and house a variety of functions. The 39th floor would contain a 7,440-sf sky lobby and guest amenities for Hotel A, while the 41st floor would contain an open-air landscaped pool deck for Hotel A. Floors 40 and 42 would house mechanical equipment serving the building.

Hotel C would be located in a 25-story, 326-foot tower on the corner of W. Pico Boulevard and S. Flower Street. The building's ground floor and Floors 2 and 3 would serve as a podium, with the Hotel C lobby and approximately 2,145 sf of ground-floor commercial space fronting on W. Pico Boulevard and S. Flower Street; the 2nd floor housing Hotel C guest amenities; and the 3rd floor housing mechanical equipment. Floors 4 through 22 would house up to 342 guestrooms ranging from 295 sf for a standard room to 447 sf for a suite. Like Hotels A and B, Hotel C would have a rooftop pool deck with guest amenities on Floor 24. The 23rd floor would house mechanical equipment, as would Floor 25, which would be stepped back from the lower floors and constitute a two-level housing and enclosure for mechanical equipment serving the building.

**TABLE A-1
PROPOSED DEVELOPMENT PROGRAM**

Total Uses	Space	
Hotel		
Hotel Rooms (A&B)	820	rooms
Hotel Rooms (C)	342	rooms
Sky Lobby (A) / Ground Level Lobby (B)	7,440/4,000	sf
Meeting Space (A&B)	11,826	sf
<u>Amenities</u>		
Pool Deck (Level 41 – A&B Roof) - Outdoor	6,240	sf
Fitness Center (Level 8 – A&B) - Indoor	1,750	sf
Fitness Deck (Level 8– A&B) Outdoor	3,281	sf
Pool Deck (Level 8– A&B) Outdoor	7,000	sf
Food & Beverage (Level 8 – A&B) Indoor	3,694	sf
Food & Beverage (Level 8 – A&B) Outdoor	5,218	sf
Roof Pool Deck (Level 24 – C) Outdoor	6,000	sf
Amenities (Level 2 – C) Indoor	9,000	sf
Commercial		
Retail/Restaurant (A&B)	11,000	sf
Retail/Restaurant (C)	2,145	sf
Total Commercial Floor Area	13,145	sf
Total Building Floor Area	<u>506,822</u>	sf
Open Space		
Ground Level	8,626	sf
Publicly Accessible Open Space Ground Level (A,B,&C)	8,626	sf
Level 8 (A&B)	14,344	sf
Level 36 (A&B)	3,355	sf
Level 41 (A&B Roof)	7,257	sf
Building Podium (C)	1,260	sf
Level 24 (C Roof)	4,948	sf
Private Open Space	31,164	sf
<u>Total Open Space (combined across Project Site)</u>	39,790	sf

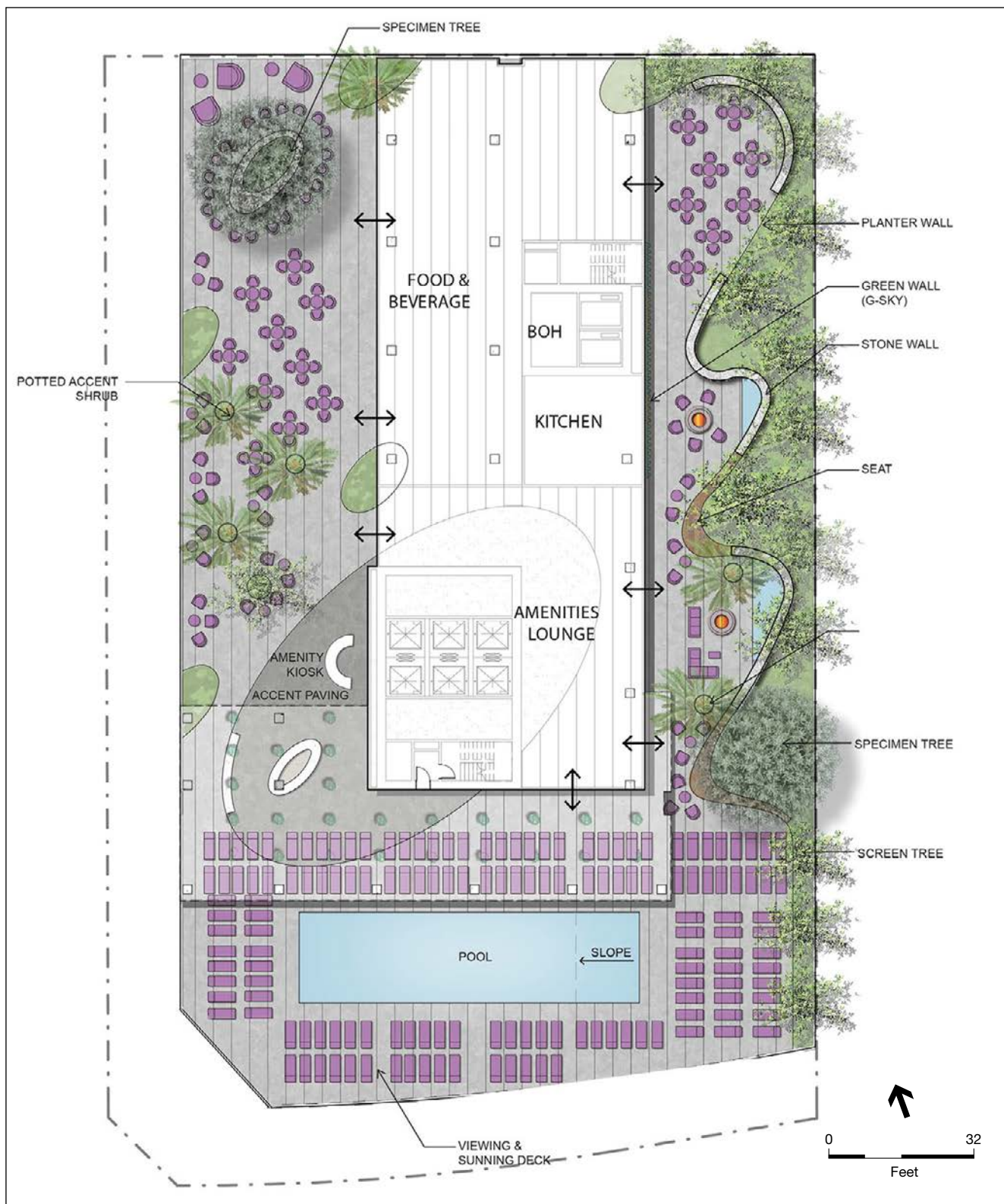
Source: ESA PCR and Gensler, 2016



SOURCE: Gensler, 2016

Fig+Pico Conference Center Hotels

Figure A-3
Conceptual Site Plan

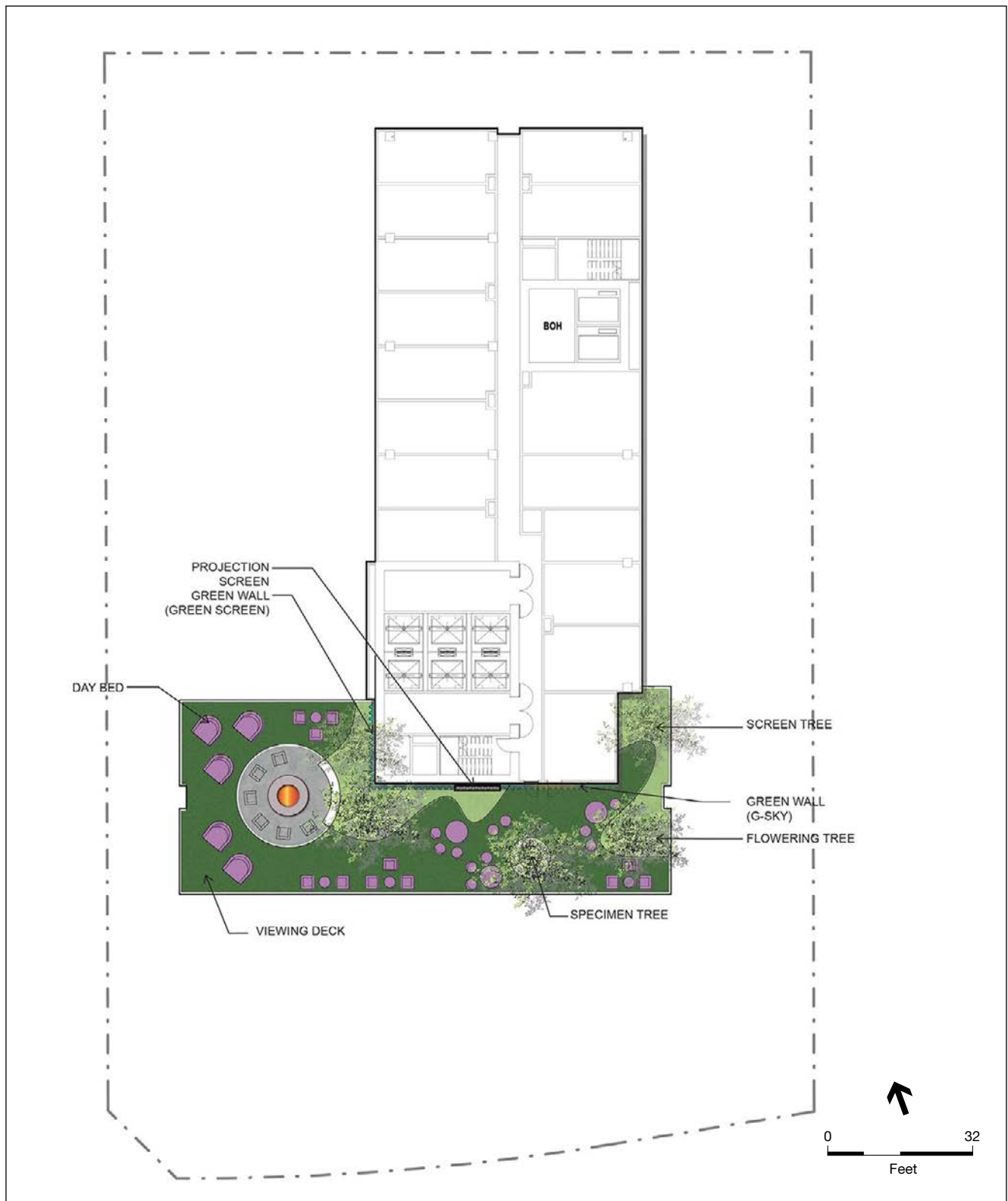


SOURCE: Gensler, 2016

Fig+Pico Conference Center Hotels

Figure A-4

Hotel A/B Building – Level 8 Pool Deck Amenities

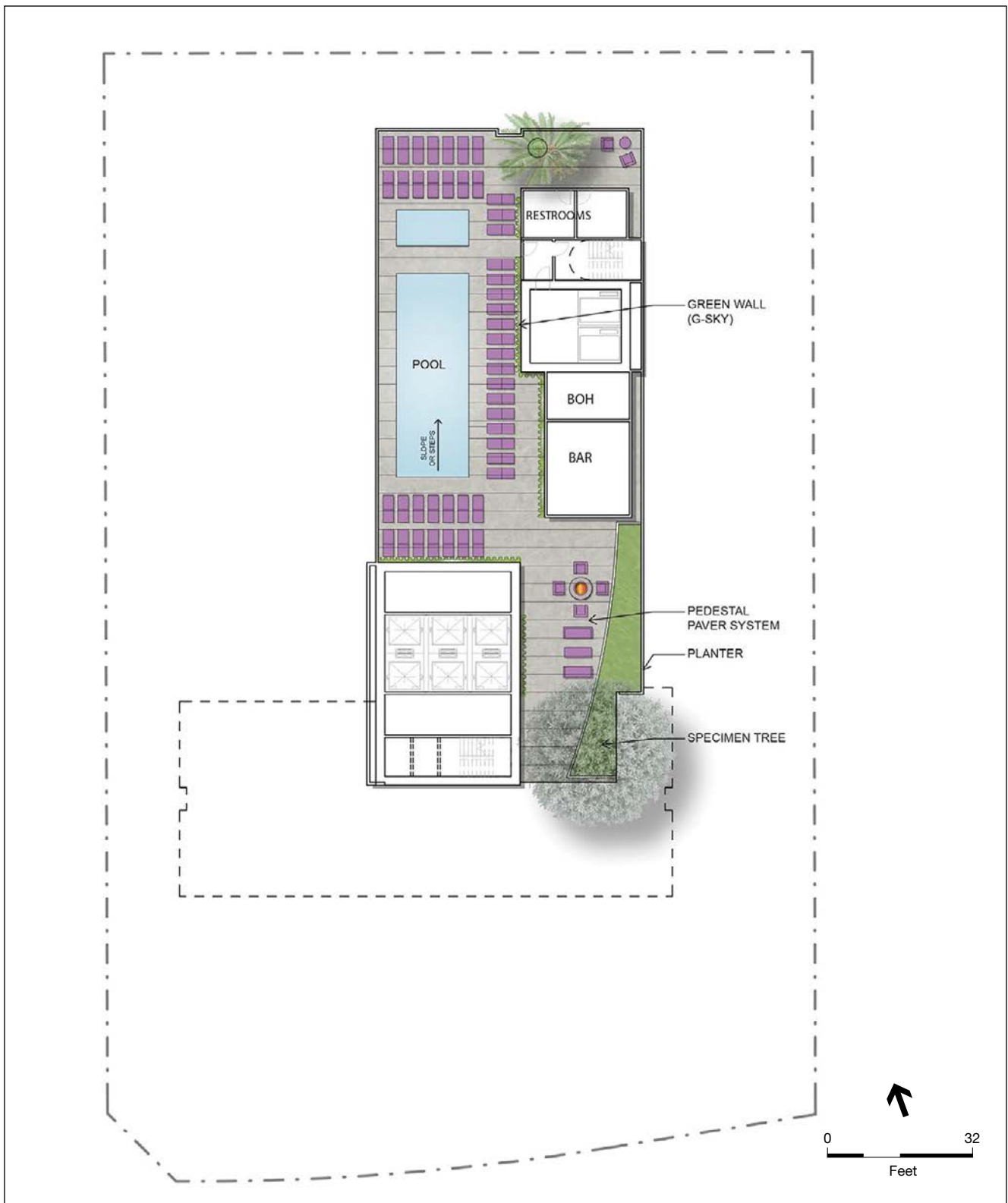


SOURCE: Gensler, 2016

Fig+Pico Conference Center Hotels

Figure A-5

Hotel A/B Building – Level 36 Rooftop Viewing Deck Amenities

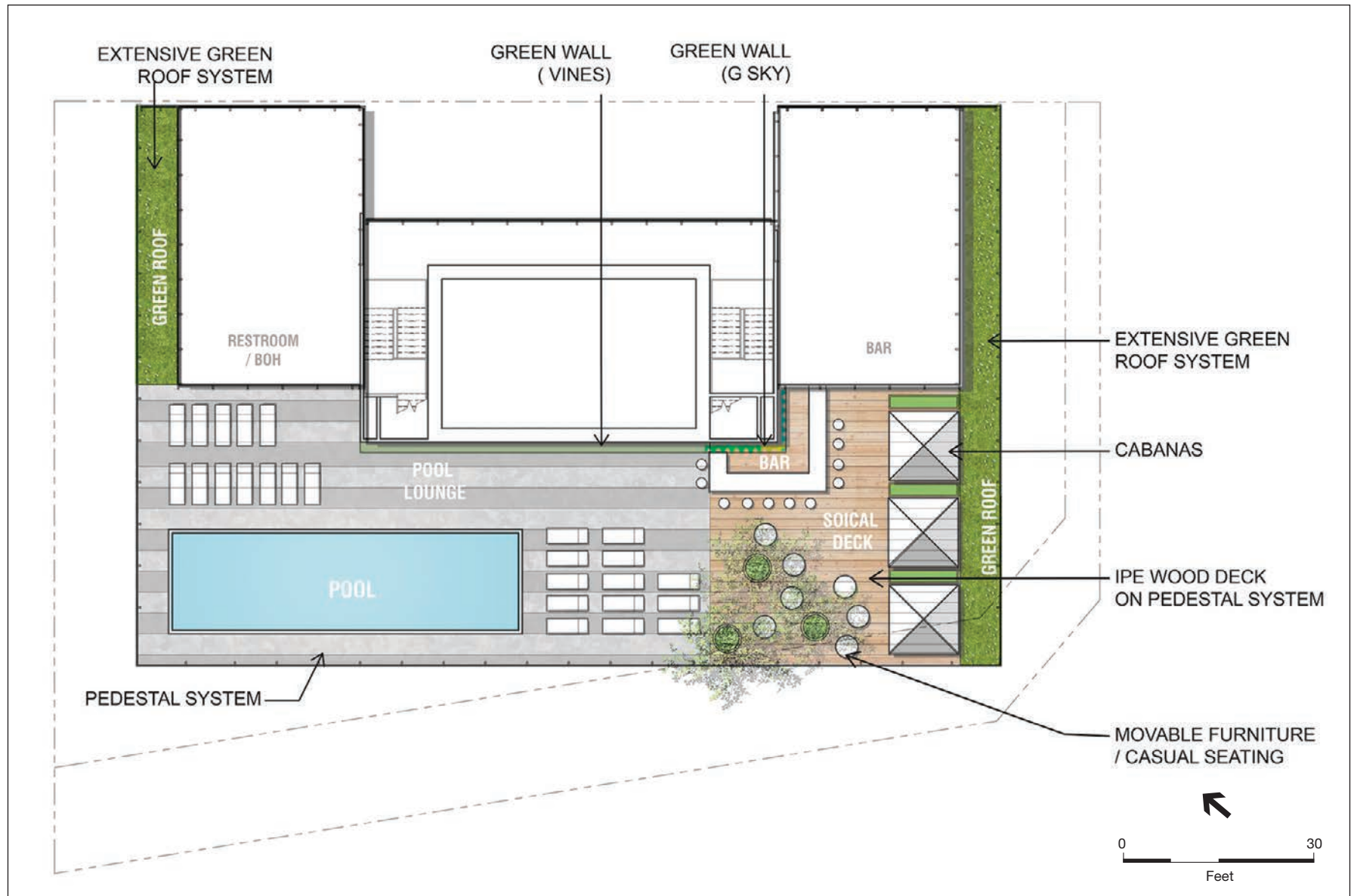


SOURCE: Gensler, 2016

Fig+Pico Conference Center Hotels

Figure A-6

Hotel A/B Building – Level 41 Rooftop Pool Deck Amenities



SOURCE: Gensler, 2016

Fig+Pico Conference Center Hotels

Figure A-7

Hotel C Building – Level 24 Rooftop Pool Deck Amenities



SOURCE: Gensler, 2016

Fig+Pico Conference Center Hotels

Figure A-8
Oblique Aerial View

3. Design and Architecture

The Project would be constructed in a contemporary architectural style, consistent with the surrounding neighborhood. At the street level, the Project would be designed to reinforce the pedestrian nature of the S. Figueroa Street corridor and would include an internal motor court drop-off from W. Pico Boulevard connecting to the hotels' ground floor lobbies and retail/restaurant spaces.

Along the street level, the building podiums would include such architectural treatments as folded sculptural aluminum screens and glass elements, and an architectural lighting and graphic art program. The façade would likely contain partially operable façade elements at the street level to promote openness and allow indoor spaces and activities to be accessible and visible from the outside. The entire podium streetfront would create a high degree of visual transparency with low reflectivity glass. The podiums and towers would also contain signage integrated into the buildings' architecture that would also visually screen the parking levels and would be designed to be consistent with signage permitted in the surrounding neighborhood. The towers are positioned in an orthogonal arrangement above the podium and vary in height. The hotel tower façades would use clear glass with low reflectivity.

4. Open Space, Landscaping, and Public Art

The proposed hotels include open space above the podiums and on the rooftops, including pool decks and hotel guest gathering areas. The Project would provide approximately 31,164 sf of private open space throughout the hotels' podiums and rooftops. On the ground level, the Project would provide approximately 8,626 sf of open space within the setback and sidewalk areas. The Project would include 23-foot-wide sidewalks along S. Figueroa Street and 15-foot sidewalks along S. Flower Street and W. Pico Boulevard, which would be landscaped in compliance with the City's streetscape requirements. Overall, the Project would provide a total of 39,790 sf of open space areas.

5. Access and Circulation, Parking, and Bicycle Amenities

Vehicular access to the Project would be provided via three access points, including: (1) an ingress/egress driveway alley off W. Pico Boulevard, (2) an ingress-only driveway off S. Figueroa Street, and (3) an ingress/egress driveway off S. Flower Street. The primary entrance would be the proposed driveway off W. Pico Boulevard, which would provide access to passenger drop-off areas for all three hotels, as well as to hotel parking at the rear of the site. Direct access to parking would be provided along an ingress-only driveway off S. Figueroa Street. A driveway from S. Flower Street would provide secondary ingress and egress for parking, loading, and passenger drop-off for all three hotels. A total of 353 vehicle parking spaces would be provided. The Project would also provide 52 short- and long-term bicycle parking spaces for Hotel A and Hotel B, as well as 20 short- and long-term bicycle parking spaces for Hotel C. Additionally, the Metro Pico Station is located directly across S. Flower Street to the east.

As described above, all parking for the three hotels and retail establishments would be provided within the six levels of above-grade podium, activated with retail at grade and screened with architectural elements and signage above, within the tower containing Hotel A and Hotel B, with no parking to be provided in the structure containing Hotel C.

6. Lighting and Signage

The Project would provide streetscape improvements along all street frontages. The streetscape improvements would include street lighting as well as pedestrian scale lighting. The Project would include a comprehensive signage program that includes wayfinding signs as well as both on and off-site signage. A City-initiated sign district would be implemented on the Project Site and certain surrounding parcels. The proposed boundary of the sign district encompasses the parcels along both sides of W. Pico Boulevard starting from S. Figueroa Street and ending mid-block past S. Flower Street and before S. Hope Street. The sign district would permit signage on and around the hotel towers that is generally consistent with the extensive signage in the LASED and adjacent development projects. In addition, the sign district is intended to include signage elements that enhance the current aesthetic character around the Metro Pico Station and create visual continuity that is consistent with the South Park district visual identity. The sign district would permit signage opportunities that screen the parking areas from public view with digital and static signs. At this conceptual level, the signage along S. Figueroa Street would include digital displays with rotating messages. The proposed sign program would be generally consistent with the surrounding uses and adjacent LASED sign district.

7. Sustainability Features

The Project would be designed to meet the standards of the United States Green Building Council (USGBC) Leadership in Energy and Environmental Design (LEED) Silver level. The Project would be constructed in compliance with Title 24 California Green Building Standards and incorporate various sustainability features, including but not limited to low-flow plumbing fixtures in guestrooms and common areas, and landscaping that incorporates a plant palette of native and drought-tolerant plantings and uses low-flow irrigation.

8. Anticipated Construction Schedule

Construction of the Project is expected to be completed in a single phase with overlapping activities. Construction is anticipated to commence in late 2017 or early 2018, pending Project approval and EIR certification, with full buildout of the Project anticipated for 2022.

F. Anticipated Project Approvals

The list below includes the anticipated approvals for the Project. The Draft Environmental Impact Report will analyze impacts associated with the Project and provide environmental review sufficient for all necessary entitlements and public agency actions associated with the Project. The discretionary entitlements, reviews, permits and approvals required to implement the Project would include, but would not necessarily be limited to, the following:

- City-Initiated General Plan Amendment pursuant to LAMC § 12.32.A and City Charter § 555 from High Density Residential to Regional Center Commercial to create General Plan Land Use Designation consistency;
- City-Initiated Zone Change and Height District Change pursuant to LAMC §§ 12.32.A and 12.32.F from [Q]R5-4D-O to C2-4-SN and C2-4D-O to C2-4-SN to permit a floor area ratio of 10:1 by-right and up to 13:1;
- City-Initiated “SN” Sign District pursuant to LAMC §§ 13.11 and 12.32.S on the Project Site and certain surrounding parcels for a comprehensive signage program;
- Conditional Use Permit pursuant to LAMC §12.24.W.24 to permit a hotel located within 500 feet of an R Zone;
- Conditional Use Permit for Floor Area Ratio Averaging across a unified development pursuant to LAMC §12.24.W.19;
- Site Plan Review for Development Project which Creates 50 or More Guest Rooms pursuant to LAMC §16.05;
- Vesting Tentative Tract Map for the subdivision of the Project Site pursuant to LAMC § 17.15;
- Haul Route Approval;
- Development Agreement by and between the City of Los Angeles and Applicant;
- Master Conditional Use Permit pursuant to LAMC §12.24.W.1 to permit the sale and dispensing of a full line of alcoholic beverages for onsite consumption; and
- Conditional Use Permit pursuant to LAMC §12.24.W.18 to permit live entertainment and dancing.

ATTACHMENT B

Explanation of Checklist Determinations

I. AESTHETICS

SB 743 (PRC §210099(d)) sets forth new guidelines for evaluating project transportation impacts under CEQA, as follows: “Aesthetic and parking impacts of a residential, mixed-use residential, or employment center project on an infill site within a transit priority area shall not be considered significant impacts on the environment.” The related City of Los Angeles Department of City Planning Zoning Information File ZI No. 2451 provides further instruction concerning the definition of transit priority projects and affirms that aesthetics need not be evaluated in environmental documentation prepared in accordance with CEQA for these projects.¹ Since the Project qualifies as an employment center project within a transit priority area, its potential aesthetic effects need not be studied in an EIR. However, for purposes of disclosure and conservative analysis, the EIR will consider such effects in comparison to applicable thresholds.

Would the project:

a) Have a substantial adverse effect on a scenic vista?

Potentially Significant Impact. The Project Site is located within a highly urbanized area of the South Park district in downtown Los Angeles. The Project Site fronts on Figueroa Street on the west, across from the Los Angeles Convention Center (Convention Center); on Pico Boulevard to the south, across the street from multifamily residential uses; and on Flower Street on the east, across the street from the Metro Blue Line Pico Station. The Los Angeles Sports and Entertainment District (LASED), which is an active regional entertainment and mixed-use district, is located to the north and across Figueroa Street. The Project Site is not itself considered a scenic resource or part of a scenic vista because the baseline condition is a parking lot and existing two-story commercial building. Visual resources that could be considered urban vistas of merit visible from the Project Site include the high-rise skyline and urban corridors of downtown Los Angeles to the north and entertainment-related features of (e.g., pedestrian plazas, signage, and buildings) within the LASED. The Project would replace the existing two-story commercial building and surface parking lots on the Project Site with two hotel towers rising to a height of 529 and 326 feet above grade, which would contribute to the varied urban skyline in downtown Los Angeles. The Project would introduce two towers and new signage elements to a

¹ City of Los Angeles Department of City Planning, Zoning Information File ZI No. 2451, Transit Priority Areas (TPAs)/Exemptions to Aesthetics and Parking Within TPAs Pursuant to CEQA. January 2016.

site that currently has parking lots and mid-rise buildings. The Project would be prominently visible from the Convention Center, LA Live, and from other streets and buildings in the Project area, none of which represent sensitive vantage points. However, the Project would contribute to a change in the long-range views of the urban skyline. Thus, it is recommended that the potential impacts of the Project on scenic vistas be analyzed further in an EIR.

b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?

Potentially Significant Impact. The Project Site is not located within a State-designated scenic highway or associated view corridor.² The introduction of two new high-rise towers would be consistent with the existing character and views of the downtown skyline. The Project would not substantially damage any on-site scenic resources including trees, rock outcroppings, or historic buildings because none of these features are located onsite or would be substantially obscured by the Project. Nonetheless, the Project would represent a change in views from the baseline condition. Therefore, it is recommended that this topic be analyzed further in an EIR.

c) Substantially degrade the existing visual character or quality of the site and its surroundings?

Potentially Significant Impact. The Project would replace the existing two-story commercial building and surface parking with a mixed-use development consisting of two hotel towers with integrated parking and commercial uses. The towers would rise to a height of 529 and 326 feet above grade, and the Project would provide up to approximately 506,682 square feet of floor area, comprised of hotel and commercial uses. The baseline visual character of the surroundings is dominant to urban core elements such as infrastructure, regional sports and entertainment venues, the numerous high-rise towers of downtown Los Angeles, and the lower- and mid-rise structures in the South Park district. The baseline character also includes numerous construction sites and large commercial and residential towers adjacent to the Project Site. The Project would alter the existing urban visual character of the Project Site and its surroundings by increasing the height and density of on-site development in a manner that is consistent with baseline surrounding conditions and in process development project. Nonetheless, it is recommended that this issue be analyzed further in an EIR.

d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

Potentially Significant Impact. The Project Site is in the highly urbanized South Park district of Los Angeles and adjacent to the Los Angeles Convention Center and the LASED, which is an active regional entertainment and mixed-use district. At night, surrounding development generates moderate to very high levels of ambient lighting related to special events, existing signs and advertising, architectural and landscaping/decorative lighting, and security. Static and animated illuminated signage, streetlights, and traffic on local streets also contribute to the high

² California Department of Transportation, Officially Designated State Scenic Highways and Historic Parkways. Available at: http://www.dot.ca.gov/hq/LandArch/16_livability/scenic_highways/. Accessed on December 1, 2016.

ambient light levels in the area. The Project would add to existing ambient nighttime light levels through the introduction of new architectural lighting, security lighting, visible interior illumination associated with ground-level commercial uses, illuminated signage, and digital display signs. Some lighting elements would be visible from nearby off-site vantages, including residential uses northeast and southwest of the Project Site. It is recommended that lighting, including lighted signage, be evaluated for compliance with Los Angeles Municipal Code requirements in an EIR.

II. AGRICULTURE AND FOREST RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board.

Would the project:

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?

No Impact. The Project Site is located in Downtown Los Angeles and is developed with commercial and parking uses. No agricultural uses or related operations are present within the Project Site or in the surrounding highly urbanized area. As such, the Project Site is not located on designated Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program.³ Since the Project would not convert farmland to non-agricultural uses, there would be no impact. No further analysis of this topic in an EIR is necessary and no mitigation measures are required.

b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?

No Impact. The Project Site is split-zoned C2 (Commercial) and R5 (Multiple Dwelling). The parcels fronting Figueroa Street are zoned C2-4D-O, and the parcels fronting Flower Street are zoned [Q]R5-4D-O, neither of which are zoned for agricultural use. The Project Site is currently

³ California Department of Conservation, Division of Land Resource Protection, Farmland Mapping and Monitoring Program Los Angeles County Important Farmland 2012. Available at: <ftp://ftp.consrv.ca.gov/pub/dlrp/FMMP/pdf/2012/los12.pdf> Accessed May 20, 2016.

occupied by a two-story commercial building and surface parking lots serving the building and providing general parking. No agricultural zoning is present in the Project vicinity and neither the subject site nor nearby lands are enrolled under the Williamson Act. As such, the Project would not conflict with existing zoning for agricultural uses or a Williamson Act contract, and there would be no impact. No further analysis of this topic in an EIR is necessary and no mitigation measures are required.

c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?

No Impact. As discussed in the response to Checklist Question II(b), the Project Site is zoned C2-4D-O (Commercial) and [Q]R5-4D-O (Multiple Dwelling). The Project Site is currently occupied by a two-story commercial building and surface parking lots serving the building and providing general parking. Furthermore, consistent with the urbanized area surrounding the Project Site, the larger Project vicinity is zoned for commercial and residential uses. No forest land or land zoned for timberland production is present on the Project Site or in the surrounding area. As such, the Project would not conflict with existing zoning for forest land or timberland, and there would be no impact. No further analysis of this topic in an EIR is necessary and no mitigation measures are required.

d) Result in the loss of forest land or conversion of forest land to non-forest use?

No Impact. The Project Site is currently developed and no forest land exists in the Project vicinity. As such, the Project would not result in the loss of forest land or conversion of forest land to non-forest use, and there would be no impact. No further analysis of this topic in an EIR is necessary and no mitigation measures are required.

e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?

No Impact. There are no agricultural uses or related operations on or near the Project Site, which is located in the highly urbanized South Park district of the City of Los Angeles. Therefore, the Project would not involve the conversion of farmland to other uses, either directly or indirectly. No impacts to agricultural land or uses would occur. No further analysis of this topic in an EIR is necessary and no mitigation measures are required.

III. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations.

Would the project:

a) Conflict with or obstruct implementation of the applicable air quality plan?

Potentially Significant Impact. The Project Site is located within the 6,600-square-mile South Coast Air Basin (Basin). The South Coast Air Quality Management District (SCAQMD) together with the Southern California Association of Governments (SCAG) is responsible for formulating and implementing air pollution control strategies throughout the Basin. The current Air Quality Management Plan (AQMP) was adopted December 7, 2012 and outlines the air pollution control measures needed to meet Federal particulate matter (PM_{2.5}) standards by 2015 and ozone (O₃) standards by 2024. The 2016 AQMP is currently under review and will contain measures to meet 24-hour PM_{2.5} standards by 2019, annual PM_{2.5} standards by 2025, and 1-hour ozone (O₃) standards by 2022. The AQMP also proposes policies and measures currently contemplated by responsible agencies to achieve Federal standards for healthful air quality in the Basin that are under SCAQMD jurisdiction. In addition, the current AQMP addresses several Federal planning requirements and incorporates updated emissions inventories, ambient measurements, meteorological data, and air quality modeling tools from that included in earlier AQMPs. The Project would support and be consistent with several key policy directives set forth in the AQMP. For example, the Project would provide for new hotel and commercial uses in proximity to other commercial and entertainment activities as well as a range of employment opportunities, would locate new development in proximity to existing public transit facilities, and would redevelop a Project Site already served by existing infrastructure. Notwithstanding these attributes, the Project has the potential to generate construction and operational air emissions that could affect implementation of the AQMP. Therefore, it is recommended that this topic be analyzed further in an EIR.

b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?

Potentially Significant Impact. The Project Site is located within the Basin, which is characterized by relatively poor air quality. State and Federal air quality standards are often exceeded in many parts of the Basin, with Los Angeles County among the highest of the counties that comprise the Basin in terms of non-attainment of the standards. The Basin is currently in non-attainment for O₃, lead, particulate matter less than 10 microns in diameter (PM₁₀)⁴, and PM_{2.5} on Federal and State air quality standards. The Project would result in increased air emissions associated with construction and operational traffic. Therefore, it is recommended that this topic be analyzed further in an EIR.

⁴ As noted in the 2012 AQMP, the Basin has met the PM₁₀ standards at all stations and a request for re-designation to attainment status is pending with U.S. Environmental Protection Agency.

c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?

Potentially Significant Impact. As discussed in the response to Checklist Question III(b), the Project would result in increased air emissions in the Basin, an air quality management area currently in non-attainment of Federal and State air quality standards for O₃, PM₁₀, and PM_{2.5}. As such, implementation of the Project could potentially contribute to cumulatively significant air quality impacts in combination with other existing and future emission sources in the Project area. Therefore, it is recommended that this topic be analyzed further in an EIR.

d) Expose sensitive receptors to substantial pollutant concentrations?

Potentially Significant Impact. The Project Site is located in the downtown area of Los Angeles, which includes a mix of uses, including residential and other sensitive uses, in the Project vicinity. Construction activities and operation of the Project could increase air emissions above current levels, thereby potentially affecting nearby sensitive receptors. Therefore, it is recommended that this topic be analyzed further in an EIR.

e) Create objectionable odors affecting a substantial number of people?

Less Than Significant Impact. Odors are typically associated with industrial projects involving the use of chemicals, solvents, petroleum products, and other strong-smelling elements used in manufacturing processes. Odors are also associated with such uses as sewage treatment facilities and landfills. The Project involves a mixed-use development that includes hotel and commercial uses, and would not introduce any major odor-producing uses that would have the potential to affect a substantial number of people. Odors associated with Project operation would be limited to those associated with on-site waste generation and disposal (e.g., trash cans, dumpsters) and occasional minor odors generated during food preparation activities. Thus, Project operation is not expected to create objectionable odors. Activities and materials associated with construction would be typical of construction projects of similar type and size. On-site trash receptacles would be covered and properly maintained in a manner that promotes odor control. Any odors generated during construction of the Project would be localized and would not be sufficient to affect a substantial number of people or result in a nuisance as defined by South Coast Air Quality Management District (SCAQMD) Rule 402. Impacts with regard to odors would be less than significant. No further analysis of this topic in an EIR is necessary and no mitigation measures are required.

IV. BIOLOGICAL RESOURCES

Would the project:

- a) **Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?**

No Impact. The Project Site is developed with a two-story commercial and surface parking and is located in the highly urbanized South Park district of the City of Los Angeles. Two trees are present on the project site, including a Mexican fan palm tree and an Indian laurel fig tree; trees along the Project Site perimeter include seven Mexican fan palm trees along the Pico Boulevard frontage.

The on-site Indian laurel fig tree meets the City's minimum threshold for significant, non-protected trees (i.e., trees with a trunk diameter at breast height [dbh] that exceeds 8 inches). The proposed landscaping for the Project will add a number of new trees to the Project Site, but neither those trees or the existing trees represent sensitive habitat or species. In addition, because of the urbanized nature of the Project Site and Project vicinity, the Project Site does not support habitat for candidate, sensitive, or special status species. Therefore, the Project would have no substantial adverse effects on candidate, sensitive, or special status species. No further analysis of this topic in an EIR is necessary, and no mitigation measures are required.

- b) **Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or US Fish and Wildlife Service?**

No Impact. The Project Site and surrounding area are located in the highly urbanized South Park district of the City of Los Angeles. The Project Site does not contain any riparian habitat or other sensitive natural communities as indicated in the City or regional plans or in regulations by the California Department of Fish and Wildlife (formally California Department of Fish and Game) or US Fish and Wildlife Service. Furthermore, the Project Site is not located in or adjacent to a Significant Ecological Area as defined by the City of Los Angeles.⁵ Therefore, the Project would not have an adverse effect on any riparian habitat or other sensitive natural community. No further analysis of this topic in an EIR is necessary and no mitigation measures are required.

⁵ City of Los Angeles, Department of City Planning, Environmental and Public Facilities Maps, September 1, 1996, at page 36.. Accessed on May 20, 2016.

c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?

No Impact. The Project Site is located in the highly urbanized South Park district and is currently developed with a two-story commercial building and surface parking. The surrounding area is fully developed with urban uses, associated infrastructure, and surface parking. The Project Site does not contain wetlands as defined by Section 404 of the Clean Water Act. Therefore, the Project would not have an adverse effect on federally protected wetlands. No further analysis of this topic in an EIR is necessary and no mitigation measures are required.

d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native nursery sites?

No Impact. The Project Site is developed with a two-story commercial building and surface parking lots. Due to the urbanized nature of the Project Site and surrounding area, the lack of a major water body, and the limited number of ornamental trees on the Project Site, the Project Site does not contain substantial habitat for native resident or migratory species, or native wildlife nursery sites. Therefore, the Project would not interfere with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites. No further analysis of this topic in an EIR is necessary and no mitigation measures are required.

e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?

Less Than Significant Impact. The Project Site is currently developed with a two-story commercial building and surface parking, with limited landscaping. No locally protected biological resources, such as oak trees or California walnut woodlands, or other trees protected under the City of Los Angeles Protected Tree Ordinance (Chapter IV, Article 6 of the LAMC, exist on the Project Site.

However, there are ornamental tree species within the Project Site and along the Project's public street frontages. Construction would remove the existing Mexican fan palm tree and an Indian laurel fig tree from the Project Site. However, it is the City's policy to retain or replace any street trees removed during construction. Specifically, the City's policy is to replace all significant, non-protected trees (8 inch or greater or cumulative trunk diameter if multi-trunked, as measured 54 inches above ground) at 1:1 ratio with a minimum of 24-inch box tree. Further, per the City's Street Tree policies, the City Department of Public Works' Urban Forestry Division's policy is to replace street trees removed during the construction of a project. Therefore, any street trees or

trees interior to the Project Site that would be removed as part of the Project would be replaced in accordance with the City's policies.

Prior to the issuance of any permit, during plan check review, the Applicant would be required to submit a plot plan demonstrating a minimum 1:1 replacement ratio of existing significant, non-protected trees. Further, approval a Tree Removal Permit by the Board of Public Works per the current standards of the Urban Forestry Division of the Department of Public Works, Bureau of Street Services, would be required prior to issuance of a Certificate of Occupancy. Review and approval of the Tree Removal Permit would ensure street trees are replaced in accordance with City policy. All other landscaping would comply with all requirements of the LAMC and the City's Urban Forestry Division's requirements. Therefore, the Project would not conflict with local policies or ordinances protecting biological resources, and impacts are less than significant. No further analysis of this topic in an EIR is necessary and no mitigation measures are required.

f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?

No Impact. The Project Site is located within a developed, urbanized area and does not provide habitat for any sensitive biological resources. The Project Site is not located within a habitat conservation plan, natural community conservation plan, or other approved local, regional, or State habitat conservation plan.⁶ Therefore, the Project would not conflict with the provisions of any adopted conservation plan, and no impact would occur. No further analysis of this topic in an EIR is necessary and no mitigation measures are required.

V. CULTURAL RESOURCES

Would the project:

a) Cause a substantial adverse change in the significance of a historical resource as defined in §15064.5?

Less Than Significant Impact. A Project Site visit was conducted by qualified ESA PCR architectural historians to identify whether the Project Site contained any historical resources and determine the potential for the Project to impact such resources on the Project Site or in the vicinity. The Project Site contains one altered commercial building, 1248 S. Figueroa Street, constructed in 1919 to house a Studebaker automotive dealership.

A historical resource is defined in Section 15064.5(a)(3) of the CEQA Guidelines as any object, building, structure, site, area, place, record, or manuscript determined to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California. Historical resources are further defined

⁶ California Department of Fish and Wildlife, Habitat Conservation Planning, Natural Community Conservation Planning, Summary of Natural Community Conservation Plans (NCCPs), August 2015. Available at: <https://nrm.dfg.ca.gov/FileHandler.ashx?DocumentID=15329&inline>. Accessed May 20, 2016.

as those associated with significant events, important persons, or distinctive characteristics of a type, period or method of construction; representing the work of an important creative individual; or possessing high artistic values.

A substantial adverse change in the significance of a resource is considered a potentially significant impact on the environment. Substantial adverse change is defined as physical demolition, relocation, or alteration of a resource or its immediate surroundings such that the significance of an historical resource would be materially impaired.⁷ Direct impacts are those that cause substantial adverse physical change to a historic property. Indirect impacts are those that cause substantial adverse change to the immediate surroundings of a historic property such that the significance of a historical resource would be materially impaired.

Following the investigations of the Project Site, the architectural historians concluded based on substantial evidence that the commercial building is not individually eligible as a historical resource at the federal, State, or local levels. The commercial building was evaluated under the following historical theme: Commercial Development and the Automobile (1910-1980). The primary period of significance assigned to the subject property is 1919, the original date of construction, and the secondary period of significance is 1920 to 1925, the period during which the building was used by Paul Hoffman as a Studebaker automotive dealership. Based on LADBS permits and conditions observed during the site inspection, the building no longer retains integrity of design, materials, workmanship, setting, feeling, and association and therefore does not retain enough to be eligible under the theme of Commercial Development and the Automobile (1910-1980). The building is associated with early patterns of automotive sales and showrooms in Los Angeles; however, due to the low level of integrity and lack of character-defining features associated with the automobile showroom property type, the building no longer expresses historical associations with the automobile showroom property type. There are over seventy building permits on file at the LADBS, included in Appendix B-1 of this Initial Study, that demonstrate the building has been significantly altered.

ESA PCR's architectural historians conducted an intensive pedestrian survey, research, and evaluation of the commercial building and its surroundings. Archival records (i.e., historic Sanborn maps, historic topographical quadrangles, assessor's records) were also examined and a South Coastal Information Center (SCCIC) archival records search was conducted to determine whether historical resources may be present within the Project area. The recent SurveyLA findings for the Central City Community Plan Area (CPA) were also reviewed. Site-specific research on the Project Site was conducted including review of building permits on file at the Los Angeles Department of Building and Safety (LADBS), Sanborn fire insurance maps, City directories, historical photographs, the Los Angeles Times archives, and other published sources.

The building does not retain sufficient integrity to be identified with historic persons or events and is not associated with Hoffman's productive life, during which he achieved significance and success as a businessperson representing Studebaker. ESA PCR concluded the building lacks integrity of design, materials, and association and does not appear to satisfy the National Register

⁷ California Code of Regulations, Title 14, Chapter 3, Article 5, Section 15064.5 (b) (1)

of Historic Place (National Register) criteria, California Register of Historical Resources (California Register) criteria, or any of the Los Angeles Historic Cultural Monument (LAHCM) criteria. The results of this investigation were recorded on a California Department of Parks and Recreation (DPR) Form included in Appendix B-1. Because the building does not qualify as a historical resource under CEQA, Project implementation, which would involve demolition of the building, would have no direct impact on historical resources on the Project Site.

Indirect impacts were analyzed to determine if the Project would result in a substantial material change to the integrity and significance of historical resources or their contributing setting within the Project vicinity. ESA PCR conducted a records search at the SCCIC and reviewed SurveyLA findings for the Central City CPA to determine whether known historical resources have been previously recorded within the Project Site or within a quarter-mile of the Project Site. The records search is included in Appendix B-1. The Project Site was not identified in SurveyLA and does not appear to be previously evaluated. Within a quarter-mile radius of the Project Site, there are fourteen potential historical resources identified by Survey. At a distance of 0.15 to 0.19 miles, there are seven potential historical resources recommended eligible for the California Register and local listing: Chevrolet Motor Company Showroom at 1200 S. Hope (0.15 miles to the east of the Project Site), commercial building at 1325 S. Flower (0.15 miles to the southeast of the Project Site), Morrison Hotel at 433 W. Pico Boulevard (.16 miles to the southeast of the Project Site), commercial building at 1366 S. Flower (0.17 miles to the south of the Project Site), commercial building at 1360 S. Flower (0.18 miles to the south of the Project Site), Felix Chevrolet at 1201 S. Grand (0.19 miles to the east of the Project Site), and Davidson, House and Meyer Showroom at 1225 S. Grand (0.19 miles to the east of the Project Site). Also, at a distance of 0.11 to 0.19 miles, there are seven potential historical resources recommended eligible for the National Register, California Register, and local listing: commercial building at 1225 S. hope (0.11 to the east of the Project Site), Metropolitan Hotel at 1324 S. Hope (0.15 miles to the southeast of the Project Site), Independent Order of Foresters Lodge at 1329 S. Hope (0.15 miles to the southeast of the Project Site), apartment house at 1332 S. Hope (0.18 miles to the southeast of the Project Site), commercial building at 1367 S. Flower (0.18 miles to the south of the Project Site), apartment house at 1355 S. Hope (0.19 miles to the southeast of the Project Site), and W.P. Herbert Company Showroom at 1106 S. Flower (0.19 miles to the northeast of the Project Site). These fourteen historical resources are approximately 0.11 to 0.19 miles away from the Project Site and therefore do not have direct views of the Project Site. Furthermore, there are no historical resources immediately adjacent or across the street from the Project Site. Therefore, the Project would have no indirect impacts on known or potential historical resources in the Project vicinity.

In summary, the Proposed Project would result in the demolition of the commercial building located at 1248 S. Figueroa Street located on the Project Site. This commercial building does not possess sufficient historical or architectural importance to reach the threshold of significance as a historical resource and does not retain integrity. As such, the Project would have no direct or indirect impacts to historical resources and no known adjacent historic resources or eligible contributors to a historic district would be indirectly impacted by the Project. Therefore, pursuant to CEQA, the proposed redevelopment of the Project Site would not result in a significant adverse

impact on historical resources. No further analysis of this topic is necessary in an EIR and no mitigation measures are required.

b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?

Less Than Significant with Mitigation Incorporated. The Project Site has been previously disturbed by historical grading and building activities. However, as Project implementation would require grading and excavation to greater depths than previously occurred on the Project Site, the possibility exists that previously unknown archaeological resources may be encountered, which is a potentially significant impact. In the event of the discovery of previously unknown archaeological resources during construction, implementation of the following standard City mitigation measure would reduce potential impacts to a less than significant level. No further analysis of this topic in an EIR is necessary and no mitigation measures are required.

Mitigation Measure

Mitigation Measure CULT-1: Prior to the issuance of any grading, excavation, or ground disturbance permit, the applicant shall execute a covenant acknowledging and agreeing to comply with all the terms and conditions established herein which shall be recorded in the County Recorder's Office. The agreement (standard master covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Development Services Center for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Department of City Planning for retention in the administrative record for Case No. ENV 2016-2594-EIR.

- a. All initial grading and all excavation activities shall be monitored by a Project archaeologist. The Project archaeologist shall be present full-time during the initial disturbances of matrix with potential to contain cultural deposits and will document activity.
- b. The services of an archaeologist, qualified for historic resource evaluation, as defined in CEQA and Office of Historic Preservation (OHP) Guidelines, shall be secured to implement the archaeological monitoring program. The qualified archaeologist shall be listed, or be eligible for listing, in the Register of Professional Archaeologist (RPA). Recommendations may be obtained by contacting the South Central Coastal Information Center (657-278-5395) located at California State University Fullerton.
- c. In the event of a discovery, or when requested by the Project archaeologist, the contractor shall divert, direct, or temporarily halt ground disturbing activities in an area in order to evaluate potentially significant archaeological resources.
 - i. It shall be the responsibility of the Project archaeologist to: determine the scope and significance of the find; determine the appropriate documentation, preservation, conservation, and/or relocation of the find; and determine when grading/excavation activities may resume in the area of the find.

- ii. Determining the significance of the find shall be guided by California Public Resources Code Division 13, Chapter 1, Section 21083.2, subdivision (g) and (h). If the find is determined to be a “unique archaeological resource”, then the applicant, in conjunction with the recommendation of the Project archaeologist, shall comply with Section 21083.2, subdivisions (b) through (f).
 - iii. If at any time the Project Site, or a portion of the Project Site, is determined to be a “historical resource” as defined in California Code of Regulations Chapter 3, Article 1, Section 15064.5, subdivision (a), the Project archaeologist shall prepare and issue a mitigation plan in conformance with Section 15126.4, subdivision (b).
 - iv. If the Project archaeologist determines that continuation of the Project or Project-related activities will result in an adverse impact on a discovered historic resource which cannot be mitigated, all further activities resulting in the impact shall immediately cease, and the Lead Agency shall be contacted for further evaluation and direction.
 - v. The applicant shall comply with the recommendations of the Project archaeologist with respect to the documentation, preservation, conservation, and/or relocation of finds.
- d. Monitoring activities may cease when:
- i. Initial grading and all excavation activities have concluded; or
 - ii. By written consent of the Project archaeologist agreeing that no further monitoring is necessary. In this case, a signed and dated copy of such agreement shall be submitted to the Dept. of City Planning for retention in the administrative record for Case No. ENV 2016-2594-EIR.
- e. At the conclusion of monitoring activities, and only if archaeological materials were encountered, the Project archaeologist shall prepare and submit a report of the findings to the South Central Coastal Information Center.
- f. At the conclusion of monitoring activities, the Project archaeologist shall prepare a signed statement indicating the first and last date monitoring activities took place, and submit it to the Dept. of City Planning, for retention in the administrative file for Case No. ENV 2016-2594-EIR.

c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

Less Than Significant with Mitigation Incorporated. The Project Site has been previously graded and developed or paved and does not include any unique geologic features. In addition, no unique geologic features are anticipated to be encountered during Project construction. Therefore, the Project is not expected to directly or indirectly destroy a unique geologic feature. Impacts associated with unique geologic features would be less than significant.

Although the Project Site has been previously disturbed by grading and building activities, Project-related grading and excavation for subterranean parking and building foundations could extend into native soils that might potentially contain paleontological resources, which is a potentially significant impact. In the event of the discovery of previously unknown paleontological resources during construction, implementation of the following standard City mitigation measures would reduce potential impacts to a less than significant level. No further analysis of this topic in an EIR is necessary and no mitigation measures are required.

Mitigation Measures

Mitigation Measure CULT-2: If any paleontological materials are encountered during the course of Project development, all further development activity shall halt and the following shall be undertaken:

- a. The services of a paleontologist shall then be secured by contacting the Center for Public Paleontology-USC, UCLA, California State University Los Angeles, California State University Long Beach, or the Los Angeles County Natural History Museum—who shall assess the discovered material(s) and prepare a survey, study or report evaluating the impact.
- b. The paleontologist's survey, study or report shall contain a recommendation(s), if necessary, for the preservation, conservation, or relocation of the resource.
- c. The applicant shall comply with the recommendations of the evaluating paleontologist, as contained in the survey, study or report.
- d. Project development activities may resume once copies of the paleontological survey, study or report are submitted to the Los Angeles County Natural History Museum.
- e. Prior to the issuance of any building permit, the applicant shall submit a letter to the case file indicating what, if any, paleontological reports have been submitted, or a statement indicating that no material was discovered.
- f. A covenant and agreement binding the applicant to this condition shall be recorded prior to issuance of a grading permit.

d) Disturb any human remains, including those interred outside of formal cemeteries?

Less Than Significant Impact. As previously indicated, the Project Site has been previously graded and developed. Nonetheless, the Project Site would require excavation that would extend into native soils. Thus, the potential exists to encounter human remains during excavation activities. A number of regulatory provisions address the handling of human remains inadvertently uncovered during excavation activities. These include State Health and Safety Code Section 7050.5, Public Resources Code 5097.98, and CEQA Guidelines Section 15064.5(e). Pursuant to these codes, in the event of the discovery of unrecorded human remains during construction, construction excavations must be halted and the County Coroner notified and must make the necessary findings as to origin and disposition of the remains. If the human remains are determined to be Native American, the California Native American Heritage Commission shall

be consulted to designate a Most Likely Descendant who shall recommend appropriate measures to the landowner regarding the treatment of the remains. Thus, in the event that previously unknown human remains are encountered during construction excavations, compliance with these regulations would ensure that impacts would be reduced to a less than significant level.

VI. GEOLOGY AND SOILS

Would the project:

- a) **Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:**
 - i) ***Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.***

Potentially Significant Impact. The seismically active region of southern California is crossed by numerous active and potentially active faults and is underlain by several blind thrust faults. Based on criteria established by the California Geological Survey (CGS), faults can be classified as active, potentially active, or inactive. Active faults are those that have shown evidence of movement within the past 11,000 years (i.e., during the Holocene Epoch). Potentially active faults are those that have shown evidence of movement between 11,000 and 1.6 million years ago (i.e., during the Pleistocene Epoch). Inactive faults are those that have exhibited displacement greater than 1.6 million years before the present (i.e., during the Quaternary Epoch). Blind thrust faults are low angle reverse faults with no surface expression. Due to their buried nature, the existence of blind thrust faults is not usually known until they produce an earthquake.

Fault rupture is the displacement that occurs along the surface of a fault during an earthquake. The CGS has established earthquake fault zones known as Alquist-Priolo Earthquake Fault Zones around the surface traces of active faults to assist cities and counties in planning, zoning, and building regulation functions. These zones identify areas where potential surface rupture along an active fault could prove hazardous and identify where special studies are required to characterize hazards to habitable structures. In addition, the City of Los Angeles General Plan Safety Element has designated fault rupture study areas extending along each side of active and potentially active faults to establish areas of hazard potential due to fault rupture.

The Project Site is not located within an Alquist-Priolo Earthquake Fault Zone.⁸ The closest active fault is the Verdugo fault zone, approximately 7.5 miles to the north-northeast; it is not an Alquist-Priolo Fault Zone.⁹ Nonetheless, the potential exists for ground surface rupture at the Project Site, and thus, the Project could expose people or structures to substantial adverse effects, including the risk of loss, injury, or death involving rupture of a known earthquake fault. In order

⁸ City of Los Angeles Department of City Planning, Zoning Information and Mapping Access System (ZIMAS), Parcel Profile Report: 1248 South Figueroa Street. Generated June 1, 2016.

⁹ County of Los Angeles, Chapter 12, Safety Element of the General Plan 2035, 2015.

to adequately address these conditions, it is recommended that this issue be analyzed further in an EIR.

ii) Strong seismic ground shaking?

Potentially Significant Impact. The Project Site is located within the seismically active Southern California region and is not subject to a substantially greater seismic risk than other properties in the city. The level of ground shaking that would be experienced at the Project Site from active or potentially active faults or blind thrust faults in the region is a function of several factors including earthquake magnitude, type of faulting, rupture propagation path, distance from the epicenter, earthquake depth, duration of shaking, site topography, and site geology.

While it is likely that future earthquakes produced in southern California would shake the Project Site, modern, well-constructed buildings are designed to resist ground shaking through the use of shear panels and other forms of building reinforcement. As with any new construction in the City and State, design and construction techniques for the Project would be required to conform to the current seismic design provisions of the 2013 California Building Code (CBC, as amended by the City's Building Code), which incorporates the latest seismic design standards for structural loads and materials to provide for the latest in earthquake safety.

With conformance to the 2013 CBC, construction of the Project would be feasible from a geotechnical standpoint. Nonetheless, it is recommended that the Project Site's soil characteristics and Project design be further evaluated. Therefore, it is recommended that this issue be analyzed further in an EIR.

iii) Seismic-related ground failure, including liquefaction?

Potentially Significant Impact. Liquefaction is a seismic phenomenon in which loose, saturated, granular soils behave similarly to a fluid when subject to high-intensity ground shaking. This fluid-like state can result in horizontal and vertical movements of soils and building foundations from lateral spreading of liquefied materials and post-earthquake settlement of liquefied materials. Liquefaction occurs when three general conditions exist: 1) shallow groundwater; 2) low density non-cohesive (granular) soils; and 3) high-intensity ground motion.

The CGS has delineated seismic hazard zones in areas where the potential for strong ground shaking, liquefaction, landslides, and other ground failures due to seismic events are likely to occur. Cities and counties must regulate certain development projects within these zones until the geologic and soil conditions of a site are investigated and appropriate mitigation measures, if any, are incorporated into development plans. In addition, the City of Los Angeles General Plan Safety Element has designated areas susceptible to liquefaction. The Project Site is not located in a City-designated liquefaction zone.¹⁰ However, because historic groundwater levels are currently unknown, further analysis is needed to determine the potential for, and significance of, seismic-related ground failure and liquefaction. It is recommended that this issue be further evaluated in an EIR.

¹⁰ City of Los Angeles Department of City Planning, Zoning Information and Mapping Access System (ZIMAS) Parcel Profile Report: 1248 South Figueroa Street. Generated June 1, 2016.

iv) Landslides?

No Impact. The Project Site is not located within a City-designated Hillside Grading Area, is not subject to the City's Hillside Ordinance, and is not located in a City-designated Landslide area.¹¹⁻¹² Additionally, the Project Site is located in the South Park district of Downtown Los Angeles, which is relatively flat. Further, the Project Site is not in close proximity to any mountains or steep slopes. As such, there is no potential for landslides to occur on or near the Project Site. Therefore, the Project would not expose people or structures to potential substantial adverse effects involving landslides and no impact would result. No further analysis of this topic in an EIR is necessary and no mitigation measures are required.

b) Result in substantial soil erosion or the loss of topsoil?

Potentially Significant Impact. Construction activities associated with the Project have the potential to result in minor soil erosion during site clearing, grading and excavation, and soil stockpiling, which may contribute to subsequent siltation and conveyance of other pollutants into municipal storm drains. Construction activities would be performed in accordance with the requirements of the Los Angeles Building Code and the Los Angeles Regional Water Quality Control Board through the City's Stormwater Management Division. Nevertheless, it is recommended that the potential for soil erosion resulting from Project construction and operation be analyzed further in an EIR, based on the geotechnical investigation for the Project.

c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?

Potentially Significant Impact. Potential impacts with respect to liquefaction were determined to be potentially significant, while there would be no impacts with respect to landslide potential based on the analysis presented in the response to Checklist Questions VI(a)(iii) and (iv), respectively.

Subsidence occurs when a void is located or created underneath a surface, causing the surface to collapse. Common causes of subsidence include tunnels or wells (i.e., oil or groundwater), beneath a surface. No oil wells are located on the Project Site.¹³ However, because historic groundwater levels are currently unknown, with the Project Site subject to potentially high levels of seismic activity, it is recommended that the potential for lateral spreading, subsidence, liquefaction, and collapse be evaluated in an EIR. A preliminary geotechnical evaluation will be prepared for the Project which will assess the potential for these soil stability hazards and include site-specific recommendations for Project design. The results of the geotechnical evaluation will be included in the EIR.

¹¹ Ibid.

¹² City of Los Angeles General Plan Safety Element, Exhibit C: Landslide Inventory & Hillside Areas.

¹³ City of Los Angeles, Department of City Planning, Safety Element of the Los Angeles City General Plan, adopted November 26, 1996, Exhibit E–Oil Fields and Oil Drilling Areas in the City of Los Angeles; <http://cityplanning.lacity.org/cwd/gnlpln/safetyelt.pdf>, accessed April 2013.

d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?

Potentially Significant Impact. Expansive soils are typically associated with fine-grained clayey soils that have the potential to shrink and swell with repeated cycles of wetting and drying. Since the soils on the Project Site are currently unknown, there is potential for the soils on the Project Site to be subject to expansion and shrinkage resulting from changes in the moisture content. Therefore, it is recommended that this topic be further evaluated in an EIR. A preliminary geotechnical evaluation will be prepared for the Project Site which will assess the potential for soil expansion and include site-specific recommendations for Project design. The results of the geotechnical evaluation will be included in the EIR.

e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?

No Impact. The Project Site is located in an urbanized area where wastewater infrastructure is currently in place. The Project would connect to existing infrastructure and would not use septic tanks or alternative wastewater disposal systems. Therefore, no impact would occur. No further analysis of this topic in an EIR is necessary and no mitigation measures are required.

VII. GREENHOUSE GAS EMISSIONS

Would the project:

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

Potentially Significant Impact. Construction and operation of the Project would increase greenhouse gas (GHG) emissions that have the potential to either individually or cumulatively result in a significant impact on the environment. In addition, the Project would generate vehicle trips that would contribute to the emission of GHGs. The amount of GHG emissions associated with the Project has not been estimated at this time. Therefore, it is recommended that this topic be further evaluated in an EIR.

b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

Potentially Significant Impact. The Project would be required to comply with the City's Green Building Code pursuant to Chapter IX, Article 9, of the LAMC. In conformance with these requirements, the Project would be designed to reduce GHG emissions through various energy conservation measures. In addition, the analysis of the potential GHG impacts associated with the Project would consider applicable energy conservation measures to reduce GHG emissions

such as those described in California Air Resources Board AB 32 Scoping Plan, and other applicable regulatory guidance documents. Currently, the City of Los Angeles does not have an adopted Climate Action Plan. The Project would incorporate sustainable elements of design during construction and operation. However, the GHG emissions associated with the Project have not been estimated at this time. Therefore, further evaluation in an EIR is recommended.

VIII. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?

Potentially Significant Impact. Project implementation would require the demolition of the existing on-site building. Due to its age, it is likely that the building contains asbestos, lead-based paint and other materials, which would require remediation and abatement. Construction of the Project would involve the temporary use of hazardous substances in the form of paint, adhesives, surface coatings and other finishing materials, and cleaning agents, fuels, and oils. All materials would be used, stored, and disposed of in accordance with applicable laws and regulations and manufacturers' instructions. Furthermore, any emissions from the use of such materials would be minimal and localized to the Project Site. Operation of the Project would involve the use and storage of small quantities of potentially hazardous materials in the form of cleaning solvents, painting supplies, and pesticides for landscaping. The use of these materials would be in small quantities and in accordance with the manufacturers' instructions for use, storage, and disposal of such products. As with construction, any emissions from the use of such materials regarding the operation of the Project would be minimal and localized to the Project Site. Because of the potential for demolition to result in the release of hazardous materials into the environment, it is recommended that this issue be analyzed further in an EIR.

b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?

Potentially Significant Impact. The Project Site is located within a City-designated Methane Zone.^{14,15} As such, Project design and construction are required to comply with City regulations governing the risk of upset associated with the presence of subsurface methane and hydrogen sulfide gas. Due to the existing building's age, it is likely that the building to be demolished contains asbestos, lead-based paint and other materials, which would require remediation and

¹⁴ City of Los Angeles, Department of Public Works, Bureau of Engineering, Methane and Methane Buffer Zones, 2004, Basic Grid Map, Ordinance 175,790; http://www.partneresi.com/img/sub/Methane_Zone_Map.jpg, accessed June 1, 2016.

¹⁵ City of Los Angeles Department of City Planning, Parcel Profile Report: 1248 South Figueroa Street. Generated June 1, 2016.

abatement. Finally, the potential for recognized environmental conditions on the Project Site, in light of past automotive dealership operations on-site, is unknown at this time. In order to fully evaluate these potential impacts, it is recommended that these topics be analyzed further in an EIR.

c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?

No Impact. There are no existing or proposed schools located within one-quarter mile of the Project Site. The nearest schools to the Project Site are Metro Charter Elementary School (kindergarten to second grade), which is approximately 0.3 miles away; Olympic Primary Center (kindergarten), which is approximately 0.8 miles away; Tenth Street Elementary, which is approximately 0.9 miles away; John H. Liechty Middle School, which approximately is 1.5 miles away, and Santee Educational Complex, which is approximately 1.4 miles away. Los Angelitos Children's Center is located approximately 0.7 miles away. Due to its age, it is likely that the existing on-site building contains asbestos, lead-based paint and other materials, which would require remediation and abatement prior to demolition. Construction of the Project would involve the temporary use of hazardous substances in the form of paint, adhesives, surface coatings and other finishing materials, and cleaning agents, fuels, and oils. All materials would be used, stored, and disposed of in accordance with applicable laws and regulations and manufacturers' instructions. Any emissions from the use of such materials would be minimal and localized to the Project Site.

Operation of the Project would involve the use and storage of small quantities of potentially hazardous materials in the form of cleaning solvents, painting supplies, and pesticides for landscaping. The use of these materials would be in small quantities and in accordance with the manufacturers' instructions for use, storage, and disposal of such products. During Project operation, the limited quantities and any prescribed handling procedures of hazardous materials would not pose a risk to schools in the Project vicinity, since there would be minimal emissions and they would be localized to the Project Site. As such, it is concluded that the Project would result in no impacts related to hazardous materials at any existing or proposed schools within a one-quarter mile radius of the Project Site. No further analysis of this topic in an EIR is necessary and no mitigation measures are required.

d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?

Potentially Significant Impact. Government Code Section 65962.5, amended in 1992, requires CalEPA to develop and update annually the Cortese List, which is a list of hazardous waste sites and other contaminated sites. While Government Code Section 65962.5 makes reference to the preparation of a list, many changes have occurred related to web-based information access since 1992 and information regarding the Cortese List is now compiled on the websites of the

Department of Toxic Substances Control (DTSC), the State Water Board, and CalEPA. The DTSC maintains the EnviroStor database, which includes sites on the Cortese List and also identifies potentially hazardous sites where cleanup actions (such as a removal action) or extensive investigations are planned or have occurred. The database provides a listing of Federal Superfund sites (National Priorities List); State Response sites; Voluntary Cleanup sites; and School Cleanup sites. It is uncertain if the Project Site is currently listed on any databases. This issue will be analyzed further in an EIR.

- e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?**
- f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?**

No Impact (e-f). The Project Site is not within an airport land use plan and it is not within two miles of a public use airport or private air strip. The two nearest airports are the Santa Monica Municipal Airport and the Los Angeles International Airport, which are located approximately 11 miles west and 11 miles southwest of the Project Site, respectively, and the subject of adopted land use plans. As a result, the Project would not result in a safety hazard to people residing or working within an airport land use plan or within two miles of an airport, and no impact would result. No further analysis of these topics in an EIR is necessary and no mitigation measures are required.

- g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?**

Less Than Significant Impact. The Project Site is located in an established urban area that is well served by the surrounding roadway network. Figueroa Street adjacent to the Project Site, as well as the nearby Harbor (US-110) and Santa Monica (I-10) Freeways are designated Selected Disaster Routes by the City.¹⁶ While it is expected that the majority of construction activities for the Project would be confined on-site, short-term construction activities may temporarily affect access on portions of adjacent streets during certain periods of the day. In these instances, the Project would implement traffic control measures (e.g., construction flagmen, signage, etc.) to maintain flow and access. Furthermore, in accordance with City requirements, the Project would develop a Construction Management Plan, which includes designation of a haul route, to ensure that adequate emergency access is maintained during construction. Therefore, construction is not expected to result in inadequate emergency access.

In addition, operation of the Project would generate traffic in the Project vicinity and would result in some modifications to access from the streets that surround the Project Site. Nonetheless, the Project is required to provide adequate emergency access and to comply with LAFD access

¹⁶ City of Los Angeles General Plan Safety Element, Exhibit H: Critical Facilities& Lifeline Systems.

requirements. Subject to review and approval of site access and circulation plans by the LAFD, the Project would not impair implementation or physically interfere with adopted emergency response or emergency evacuation plans. Since the Project would not cause an impediment along the City's designated emergency evacuation route, nor would the proposed hotel and commercial uses impair the implementation of the City's emergency response plan, the Project would have a less than significant impact with respect to these issues. As such, no further analysis of this topic in an EIR is necessary and no mitigation measures are required.

h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

No Impact. The Project Site is located in the highly urbanized downtown area of Los Angeles. No wildlands are present on the Project Site or surrounding area. Furthermore, the Project Site is not within a City-designated wildfire hazard area.¹⁷ Although the Project is not located in a City designated wildfire hazard area, the Project will be consistent with the City Fire Code, fire requirements, smoke/fire alarms, fully sprinklered indoor spaces, and irrigated landscaped areas. Therefore, the Project would not expose people or structures to a significant risk involving wildland fires. As such, no further analysis of this topic in an EIR is necessary and no mitigation measures are required.

IX. HYDROLOGY AND WATER QUALITY

Would the project:

a) Violate any water quality standards or waste discharge requirements?

Potentially Significant Impact. The Project Site is currently developed with a two-story commercial building and surface parking. The site is generally level and storm water runoff from the Project Site is currently directed to the surrounding streets and the City's storm drain system. Construction of the Project would require earthwork activities, including grading and excavation of the Project Site and the transport of potentially contaminated soils. During precipitation events in particular, construction activities associated with the Project have the potential to result in minor soil erosion during grading and soil stockpiling, subsequent siltation, and conveyance of other pollutants into municipal storm drains. Construction dewatering may also be necessary due to the high groundwater table. While the Project would be required to implement design features and regulatory mechanisms to avoid significant impacts to water quality standards and waste discharge requirements, it is recommended that water quality impacts be analyzed further in an EIR to disclose the potential impacts and identify the appropriate mitigation measures that would be necessary to avoid any significant impacts.

¹⁷ City of Los Angeles, Department of City Planning, Safety Element of the Los Angeles City General Plan, adopted November 26, 1996, Exhibit D – Selected Wildfire Hazard Areas in the City of Los Angeles; <http://cityplanning.lacity.org/cwd/gnlpln/safetyelt.pdf>, accessed May 31, 2016.

b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?

Less Than Significant Impact. The Los Angeles Department of Water and Power (LADWP) is the water purveyor for the City. Water is supplied to the City from three primary sources, including water supplied by the Metropolitan Water District's Colorado River and Feather River supplies (57%, Bay Delta 45%, Colorado River 8%), snowmelt from the Eastern Sierra Nevada Mountains via the Los Angeles Aqueduct (29%), local groundwater from the San Fernando groundwater basin (12%), and recycled water (1%).¹⁸ Groundwater levels in the City are maintained through an active process via spreading grounds and recharge basins. As the Project does not propose groundwater withdrawal and, with respect to groundwater recharge, would replace one set of impervious surfaces (i.e., commercial uses and associated parking areas) with another (i.e., mixed-use hotel towers), impacts to groundwater recharge on the Project Site would be less than significant. No mitigation measures are required and no further analysis of this topic in an EIR is necessary.

c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?

Potentially Significant Impact. As previously discussed, under existing conditions, most stormwater runoff flows off the Project Site and into the local storm drain system via catch basins on the adjacent streets. This condition would not change as a result of the Project. The Project Site is located in an urbanized area and is entirely developed or paved and therefore impervious. As a result, the Project, which would replace one set of impervious surfaces with another, would not be expected to materially increase the quantity of urban runoff from the Project Site. However, construction of the Project would temporarily alter the existing drainage pattern of the Project Site, particularly during excavation and grading activities; moreover, soils that are potentially contaminated would require removal from the Project Site. If a precipitation event were to occur during these activities, exposed sediments could be carried off-site and into the local storm drain system, thereby causing siltation. In addition, the change in on-site drainage patterns resulting from the Project could also result in limited soil erosion. Therefore, it is recommended that this topic be analyzed further in an EIR.

¹⁸ Los Angeles Department of Water and Power: Facts and Figures. Available at: https://www.ladwp.com/ladwp/faces/ladwp/aboutus/a-water/a-w-factandfigures?_adf.ctrl-state=j77lkjtw_4&_afLoop=357285129360562. Accessed June 1, 2016.

d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?

Potentially Significant Impact. While the Project Site is under construction, the rate and amount of surface runoff generated at the Project Site would fluctuate. However, the construction period is short-term and compliance with applicable regulations would preclude fluctuations that result in flooding. With regard to operations, the Project would implement Best Management Practices (BMPs) in accordance with the City's Low Impact Development (LID) Ordinance and Standard Urban Stormwater Mitigation Plan (SUSMP) to, at a minimum, maintain the volume and water quality of first-flush stormwater flows from the Project Site. Nevertheless, the Project would alter the drainage patterns on-site and is required to demonstrate that its design links on-site drainage to the local drainage network so as not to adversely affect flooding conditions. Therefore, it is recommended that this topic be analyzed further in an EIR.

e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?

Potentially Significant Impact. The Project Site is almost entirely covered with impervious surfaces and stormwater runoff currently flows into the City's storm drain system. There are no known deficiencies in the local stormwater system. The Project construction has the potential to create sources of polluted runoff due to contaminated soils existing on the Project Site. Further evaluation is needed to determine the potential for, and significance of, Project impacts on water quality. Therefore, it is recommended that this topic be analyzed further in an EIR.

f) Otherwise substantially degrade water quality?

Potentially Significant Impact. As discussed in the response to Checklist Question IX(a), construction and operational BMPs implemented as part of the Project's Stormwater Pollution Prevention Plan (SWPPP), the City's LID Ordinance and SUSMP, and good housekeeping practices, would preclude sediment and hazardous substances from entering stormwater flows. While the Project would be required to implement design features and regulatory mechanisms to avoid significant impacts to water quality standards and waste discharge requirements, it is recommended that water quality impacts be analyzed further in an EIR to disclose potential impacts and identify the appropriate mitigation measures that would be necessary to avoid any significant impacts.

- g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?**
- h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?**

No Impact (g-h). The Project Site is not located within a flood zone, including the 100-year flood zone designated by the Federal Emergency Management Agency (FEMA).^{19,20} Thus, no flood zone impacts would occur and no mitigation measures would be required. No further analysis of this topic in an EIR is necessary.

- i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?**

No Impact. As previously discussed, the Project Site is not located within a designated floodplain. Further, the Project Site is not located with a potential inundation area, being located west of the inundation area for the Los Angeles River.²¹ Additionally, there are no levees or dams in the Project vicinity. Therefore, no impact associated with flooding, including flooding due to the failure of a levee or dam, would occur. No further analysis of this issue in an EIR is necessary.

- j) Inundation by seiche, tsunami, or mudflow?**

No Impact. A seiche is an oscillation of a body of water in an enclosed or semi-enclosed basin, such as a reservoir, harbor, lake, or storage tank. A tsunami is a great sea wave, commonly referred to as a tidal wave, produced by a significant disturbance undersea, such as a tectonic displacement of sea floor associated with large, shallow earthquakes. Mudflows occur as a result of downslope movement of soil and/or rock under the influence of gravity.

With respect to tsunami hazards, the Project Site is located approximately 16 miles inland (east) from the Pacific Ocean, and therefore would not be subject to a tsunami. Furthermore, the Project Site is not located in a City-designated tsunami hazard area.²² The Project Site is located in an area of relatively flat topography and urban development, with no enclosed bodies of water nearby, and as such, there is no potential for inundation resulting from a seiche or mudflows. Therefore, no impacts would occur due to inundation by tsunami or mudflow. No further analysis of this topic is necessary.

¹⁹ City of Los Angeles Department of City Planning, Parcel Profile Report: 1248 South Figueroa Street. Generated May 31, 2016.

²⁰ Federal Emergency Management Agency, Flood Insurance Rate Map Number 06037C1620F, Effective Date September 26, 2008.

²¹ City of Los Angeles General Plan, Safety Element Exhibit G, Inundation & Tsunami Hazard Areas, March 1994.

²² Ibid.

X. LAND USE AND PLANNING

Would the project:

a) Physically divide an established community?

Less Than Significant Impact. The Project Site is located within the boundaries of the Central City Community Plan, in the highly urbanized South Park district of Los Angeles, and is improved with a two-story commercial building and surface parking. The Project vicinity is generally built out with a variety of entertainment, residential, and commercial uses, as well as surface parking. Development is generally dense, with mid- to high-rise structures typifying nearby development. The Project would represent infill development and would introduce new hotel and commercial uses to the Project Site similar to adjacent and nearby land uses. While the Project would result in minor changes to the way vehicles access the Project Site, traffic in the surrounding community would continue to utilize the same circulation facilities and patterns as occur presently. Further, the ground floor of the Project would include approximately 13,145 square feet of ground-floor retail/restaurant areas along S. Figueroa Street and the corner of W. Pico Boulevard and S. Flower Street.

With regard to land use relationships, the Project would provide a mix of hotel and commercial retail/restaurant uses. As such, the Project would be an infill Project providing uses in keeping with the mixed-use character of the surrounding area. Given the mix of uses in the Project vicinity and the infill character of the Project, the Project would not introduce land uses that are inconsistent with development in the local area or affect existing land use relationships. Therefore, the Project would not physically divide an established community and related impacts would be less than significant. No further analysis of this topic is necessary.

b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?

Potentially Significant Impact. The Project Site is located within the Central City Community Plan Area, the City Center Redevelopment Project Area, the Figueroa Corridor Streetscape Project area, and a Los Angeles State Enterprise Zone. The Project Site is also adjacent to the LASER, which begins at the Project Site's northern boundary and encompasses regional commercial, entertainment, and residential uses.

Under the Central City Community Plan, the Project Site is zoned C2 (Commercial) and R5 (Multiple Dwelling). The parcels fronting Figueroa Street are zoned C2-4D-O, with "4" denoting Height District 4, the "D" denoting a 6:1 FAR, and the "O" indicating that the parcels are in an Oil Drilling District. The parcels fronting Flower Street are zoned [Q]R5-4D-O, with the "R5" denoting a multiple dwelling residential zone, the "4" denoting Height District 4, the "D" denoting a 6:1 FAR, the "Q" Qualified condition denoting restrictions on permitted uses and floor

area limitations, and the “O” denoting an Oil Drilling District. The City is currently updating the Central City Community Plan and has identified the Project Site as an appropriate location for high-density development. The Project proposes an FAR of approximately 9.9:1, which is consistent with the maximum densities contemplated in both the existing Central City Community Plan and the ongoing update. The entitlements associated with the Project, including but not limited to, a General Plan Amendment and Zone Change, would establish and maintain vertical consistency between the General Plan and zoning in applicable planning documents.

Evaluation of the potential environmental effects of the associated entitlements and approvals, and of Project compliance with other applicable plans, policies, and regulations, is recommended in an EIR.

c) Conflict with any applicable habitat conservation plan or natural community conservation plan?

No Impact. As discussed in the response to Checklist Question IV, Biological Resources, the Project Site is located in the highly urbanized downtown area of Los Angeles and is developed with a two-story commercial building and surface parking. The Project Site contains minimal ornamental landscaping. The Project Site is not located within a habitat conservation plan or natural community conservation plan. Therefore, the Project would not conflict with the provisions of any adopted applicable conservation plan. No further analysis of this topic in an EIR is necessary.

XI. MINERAL RESOURCES

Would the project:

- a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?**
- b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?**

No Impact (a-b). The Project Site is not classified by the City of Los Angeles as containing significant mineral deposits.²³ Furthermore, the Project Site is not designated as an existing mineral resource extraction area by the State of California or the U.S. Geological Survey.²⁴ Additionally, the Project Site is designated for Commercial and Multiple Dwelling Residential zone uses within the City of Los Angeles General Plan Framework and is not designated for mineral extraction land use. Although the Project Site is within a City-designated Oil Drilling

²³ City of Los Angeles, Department of City Planning, Los Angeles Citywide General Plan Framework, Draft Environmental Impact Report, January 19, 1995, Figure GS-1 – Areas Containing Significant Mineral Deposits in the City of Los Angeles.

²⁴ California Geological Survey/U.S. Geological Survey, 2008 Minerals Yearbook, California, July 2012; <http://minerals.usgs.gov/minerals/pubs/state/2008/myb2-2008-ca.pdf>. Accessed May 20, 2016.

District, that designation merely identifies districts where the drilling of oil wells or the production from the wells of oil, gases or other hydrocarbon substances is permitted (it does not apply to subterranean gas holding areas are operated as a public utility). There are no active wells or drilling on the Project Site and none are proposed as part of the Project; moreover, Project implementation would not impede such activities elsewhere in the Project area. Project implementation would not result in the loss of availability of a known mineral resource of value to the region and residents of the State, nor of a locally important mineral resource recovery site. No impacts to mineral resources would occur. Further analysis of mineral resources is not necessary in and EIR and no mitigation measures are required.

XII. NOISE

Would the project result in:

a) Exposure of persons to or generation of noise level in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?

Potentially Significant Impact. Construction of the Project would require the use of heavy construction equipment (e.g., bulldozers, backhoes, cranes, loaders, etc.) that would generate noise on a short-term basis. Additionally, operation of the Project may increase existing noise levels as a result of Project-related traffic, the operation of heating, ventilation, and air conditioning (HVAC) systems, vehicles in the parking garage, loading and unloading of trucks, and outdoor dining, bar, pool, and recreation areas on the podium rooftop, pool and recreation areas on the top of the hotel towers. As such, nearby residential or other sensitive uses could potentially be affected. Therefore, it is recommended that the Project's potential to exceed noise standards be analyzed further in an EIR.

b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?

Potentially Significant Impact. Construction of the Project may generate groundborne vibration and noise due to Project Site grading, clearing activities, and haul truck travel. In addition, Project construction may require pile driving. As such, the Project would have the potential to generate or expose people to excessive groundborne vibration and noise levels during short-term construction activities. In addition to the potential to expose people to potential groundborne vibration, there is the potential for the Project to generate construction-related vibration that may impact adjacent historical resources. Therefore, vibration monitoring and other actions may be warranted to reduce any potential vibration effects. It is recommended that this topic be analyzed further in an EIR.

Operation of the Project would not generate groundborne vibration or noise at levels beyond those which currently exist resulting from the existing urbanized development setting. As such, operation of the Project would not likely have the potential to expose people to excessive

groundborne vibration or noise, resulting in a less than significant impact. Nonetheless, further analysis of operational vibration and noise will be analyzed in the EIR.

c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?

Potentially Significant Impact. Project operation may increase existing noise levels as a result of Project-related traffic, the operation of HVAC systems, loading and unloading of trucks, vehicles in the parking garage, outdoor dining, bar, pool, and recreation areas on the rooftop, pool and recreation areas on the top of the hotel towers. Therefore, it is recommended that potential impacts associated with a permanent increase in ambient noise levels be analyzed further in an EIR.

d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?

Potentially Significant Impact. Construction of the Project would require the use of heavy construction equipment (e.g., bulldozers, backhoes, cranes, loaders, etc.) that would generate noise on a short-term basis. In addition, Project construction may require pile driving. Therefore, it is recommended that potential impacts associated with a temporary or periodic increase in ambient noise levels be further analyzed in an EIR.

e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?

f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

No Impact (e-f). The Project Site is not located within an airport land use plan or within two miles of an airport. The two nearest airports are the Santa Monica Municipal Airport and the Los Angeles International Airport, which are located approximately 11 miles west and 11 miles southwest of the Project Site, respectively. Therefore, the Project would not expose its future residents or residents within the Project vicinity to excessive noise levels from airport use. No further analysis of this topic in an EIR is necessary and no mitigation measures are required.

XIII. POPULATION AND HOUSING

Would the project:

- a) **Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?**

Less Than Significant Impact. The Project is located within the jurisdiction of the Southern California Association of Governments (SCAG), a Joint Powers Agency established under California Government Code Section 6502 et seq. SCAG's mandated responsibilities include developing plans and policies with respect to the region's population growth, transportation programs, air quality, housing, and economic development. Specifically, SCAG is responsible for preparing the Regional Comprehensive Plan (RCP), the Regional Transportation Plan (RTP), and Regional Housing Needs Assessment (RHNA), in coordination with other State and local agencies. These documents provide guidelines for growth at the regional level, and include population, employment, and housing projections for the region and its subdivisions. In April 2016, SCAG's Regional Council adopted the 2016-2040 Regional Transportation Plan/Sustainable Communities Strategy (2016 RTP/SCS). The 2016 RTP/SCS presents the transportation vision for the region through the year 2040 and provides a long-term investment framework for addressing the region's transportation and related challenges. It also includes projections of population, households, and employment through 2040. Furthermore, the City's General Plan, including its community plans, address growth in the region.

The 2016–2040 RTP/SCS reports demographic data for 2012, 2020, 2035 and 2040. The 2020, 2035, and 2040 projections apply the SCAG growth assumptions to the 2012 baselines as reported in the 2016 RTP.²⁵ The 2016 RTP/SCS forecasts represent the likely growth scenario for the Southern California region in the future, taking into account recent and past trends, reasonable key technical assumptions, and local or regional growth policies. An estimate of the 2016 baseline population and growth projections for 2022 and 2040 are shown in **Table B-1, Projected Population, Housing and Employment Estimates**.²⁶ As shown in Table B-1, the Central City Community Plan area and City of Los Angeles are projected to have population, housing and employment increases at the time of Project buildout (2022) and SCAG's Horizon Year (2040) compared to interpolated 2016 baseline conditions.

²⁵ SCAG provides population, housing, and employment estimates forecasted for 2020, 2035, and 2040 for regional, county, and city/jurisdictional geographies. Data is available upon request and was provided to ESA PCR.

²⁶ The 2016 baseline and 2022 buildout estimates were determined by interpolating from data presented in the SCAG projections.

**TABLE B-1
PROJECTED POPULATION, HOUSING AND EMPLOYMENT ESTIMATES**

	Project Buildout Year – 2022				SCAG Projection Horizon - 2040		
	2016 Baseline	Projected	Total Growth	Percentage Increase	Projected	Total Growth	Percentage Increase
Population							
Central City Community Plan Area	47,294	63,208	15,914	34%	141,559	94,265	199%
City of Los Angeles	3,931,227	4,073,719	142,492	4%	4,609,414	678,187	17%
Housing							
Central City Community Plan Area	25,238	34,500	9,262	37%	80,891	55,653	221%
City of Los Angeles	1,383,467	1,465,069	81,602	6%	1,690,343	306,876	22%
Employment							
Central City Community Plan Area	189,627	200,780	11,153	6%	221,679	32,052	17%
City of Los Angeles	1,797,971	1,926,812	128,841	7%	2,169,114	371,143	21%

Source: Based on SCAG data prepared for the 2016 – 2040 RTP/SCS. Data was requested and received from the City of Los Angeles. The 2016 baseline estimate was determined by interpolating from data received. Compiled by ESA PCR, 2016.

The Project would not have indirect effects on growth through such mechanisms as the extension of roads and infrastructure, since the infill Project would utilize the existing transportation and utility infrastructure to serve the Project. Because there are no proposed residential uses, the Project would only contribute to increasing the number of employees. The Project would provide approximately 1,162 hotel rooms and 13,145 square feet of ground-floor retail space. The Project's contribution to employment opportunities is summarized in **Table B-2, *Project Increases in Employment***. The projected Project increase in employment is compared to growth projections in the SCAG 2016 RTP/SCS for the Central City Community Plan area and the City of Los Angeles in **Table B-3, *Project Employment Impacts***.

Project increases in employment therefore provide a small contribution to anticipated growth for the period between 2016 and 2022, the Project buildout year, for the Community Plan area and the City as a whole. The increase in growth is consistent with SCAG's growth projections, and therefore impacts regarding consistency with the projections would be less than significant. No further analysis of this topic in an EIR is necessary and no mitigation measures are necessary.

TABLE B-2
PROJECT INCREASES IN EMPLOYMENT

Housing Units and Population			
Total Housing Units		Average Household Size^a	Total Population
0		1.63	0
Employees			
Use	Amount	Employment Generation Factor (per sq.ft.)^b	Number of Employees
Retail (sq.ft.)	13,145	0.00271	36
Hotel (sq. ft) ^c	493,677	0.00113	558
Total			594

^a The average household size reflects the average household size for the Central City Community Plan area, based on the 2010 Census data for population in households divided by the number of occupied households.

^b The employee generation factors the listed uses are taken from the Los Angeles Unified School District, 2014 Developer Fee Justification Study, March 2014.

^c Includes hotel rooms, banquet, conference, and amenity areas.

Source: ESA PCR, 2016

TABLE B-3
PROJECT EMPLOYMENT IMPACTS

	Project Increase^a	SCAG Projected Growth^b	Project Percentage of Growth
Employment			
<u>2016 - 2022 Buildout</u>			
Central City Community Plan Area	594	11,153	4.6%
City of Los Angeles	594	128,841	0.4%
<u>2016 - 2040 Projection Horizon</u>			
Central City Community Plan Area	594	32,052	1.6%
City of Los Angeles	594	371,143	0.1%

^a From Table B-2

^b From Table B-1

Source: ESA PCR, 2016. Based on SCAG 2016 RTP/SCS projections.

- b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?**
- c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?**

No Impact (b-c). No residential dwelling units are currently located on the Project Site. The Project Site is currently developed with a two-story commercial building and surface parking. Thus, the Project would not result in the demolition of existing housing units. Since no existing housing would be displaced, there would be no necessity for the construction of replacement housing elsewhere. As no impacts would occur in these regards, further analysis of this topic in an EIR is not necessary and no mitigation measures are required.

XIV. PUBLIC SERVICES

- a) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:**

- i) Fire protection?***

Potentially Significant Impact. The LAFD provides fire protection and emergency medical services in the City of Los Angeles. LAFD Fire Stations within proximity to the Project include LAFD Fire Station #10 at 1335 South Olive Street (0.5 miles northwest of the Project Site); LAFD Fire Station #9 at 430 East 7th Street (1.0 mile east of the Project Site); LAFD Fire Station #3 at 108 North Fremont Avenue (2 miles northeast of the Project Site); LAFD Fire Station #11 at 1819 West 7th Street (1.0 mile northwest of the Project Site); LAFD Fire Station #13 at 2401 West Pico Boulevard (1.5 miles northwest of the Project Site); and LAFD Fire Station #4 at 450 East Temple Street (2.0 miles northeast of the Project Site).

Because the Project would increase the developed floor area and height of buildings on the Project Site, and introduce an increased number of guests and employees to the Project Site, it could result in a greater demand on LAFD fire protection and emergency medical services would be generated, and there is potential for impacts on emergency response times. Further evaluation is needed to determine the Project's potential to impact LAFD fire protection and emergency medical services and emergency response times in the Project area.

During Project construction, temporary lane closures on the curb lanes of the roadways adjacent to the Project Site may be required for activities such as excavation, foundation pouring, new utility connections, street work, and in special, limited circumstances, for offloading and mobile

crane placement. Further evaluation is needed to determine the potential for, and significance of, any impacts temporary lane closures could have on emergency response times.

Therefore, it is recommended that potential impacts associated with fire protection and emergency medical services be analyzed further in an EIR.

ii) Police Protection?

Potentially Significant Impact. The Los Angeles Police Department (LAPD) provides police protection services in the City of Los Angeles. The nearest LAPD Station is the LAPD Central Community Police Station located at 251 E. 6th Street, which is located approximately one mile from the Project Site.

Since the Project would increase the developed floor area on the Project Site and introduce an increased number of guests and employees to the Project Site, it could result in a greater demand on LAPD police protection services would be generated and there is potential for impacts on emergency response times. Further evaluation is needed to determine the Project's potential to have an impact on LAPD police protection services or police response times in the Project area.

During construction, temporary lane closures of the curb lanes of roadways adjacent to the Project Site may be required. Further evaluation is needed to determine the potential for impacts on police response times in the event temporary lane closures occur.

Therefore, it is recommended that potential impacts associated with police protection services be analyzed further in an EIR.

iii) Schools?

Less Than Significant Impact. The Project Site is located within the jurisdiction of the Los Angeles Unified School District (LAUSD), and specifically within LAUSD Local District 2. The Project Site is within the attendance boundaries of Olympic Primary Center, 10th Street Elementary School, John H. Liechty Middle School, and within the LAUSD Belmont Zone of Choice with multiple high school options, including Belmont Senior High, the Miguel Contreras Learning Center, the Ramon C. Cortines School of Visual & Performing Arts, and the Edward R. Roybal Learning Center. These schools are currently operating on a single-track calendar, whereby instruction generally begins in mid-August and continues through early June.

LAUSD has established student generation rates for a variety of uses including residential development (multi-family) as well as other employment-generating uses, e.g. hotel, and commercial retail uses. An estimate of the number of students that could be indirectly generated by the Project's proposed hotel and commercial retail uses is provided in **Table B-4, Estimated Number of Students to be Generated by the Project**. As stated in Table B-4, the Project is estimated to generate six elementary school students, four middle school students, and five high school students for a total of 10 students.

TABLE B-4
ESTIMATED NUMBER OF STUDENTS TO BE GENERATED BY THE PROJECT

Land Use ^a	Amount of Development	Units	Elementary School	Middle School	High School	Total
Retail ^b	13,145	sq.ft.	0	0	0	0
Hotel ^c	493,677	sq. ft.	4	2	4	10
Total			4	2	4	10^d

^a Student Generation rates for nonresidential uses are taken from the 2010 Commercial/Industrial Development School Fee Justification Study, LAUSD, September 27, 2010 -- the most recent data available for retail and office uses.

^b The retail factor (Neighborhood Shopping Centers) was used. For each 1,000 sf of Retail floor area – Elementary School = 0.0178; Middle School = 0.0089; High School = 0.0111.

^c For each 1,000 sf of Hotel floor area: Elementary School = 0.0083; Middle School = 0.0041; High School = 0.0075.

^d Total number of students has been rounded up, in order to provide whole student number counts.

Source: Compiled by ESA PCR, 2016.

Project construction would create temporary construction jobs, but construction workers would be drawn from an existing work pool and would work at the Project Site for only short durations. There would be no new student population associated with Project construction. Because the Project contains no residential components, the Project's projected student generation is likely to be less than estimated in Table B-4, which is based on LAUSD generation factors. The Project's retail and hotel uses would generate few, if any, students. For Project operation, if Project employees currently reside in neighboring communities and have school children, it is expected the children would remain enrolled in their current school. If employees with school-age children choose to move closer to the Project Site for work, or if new employees with school-age children are hired from the surrounding community or another City, there could be an increase in student population in the nearby schools of up to 10 students.

To the extent that on-site development increases demand at LAUSD schools serving the Project Site, State law, including Government Code Section 65995 and Education Code Section 17620, requires the payment of fees at a specified rate for the funding of improvements and expansion to school facilities. Such fees are paid upon the issuance of building permits. In accordance with Senate Bill 50 (SB 50), enacted in 1998, the payment of this fee is deemed to provide full and complete mitigation for impacts to school facilities and impacts to schools would therefore be reduced to a less than significant level. No further analysis of this topic in an EIR is required and no mitigation measures are required.

iv) Parks?

Less Than Significant Impact. Because the Project does not include residential uses, it would generate minimal demand for existing parks and recreational facilities. However, a small percentage of new visitors and employees to the Project Site might visit nearby parks and generate some degree of increased demand on existing public recreational and park facilities. The proposed hotels include open space above the podiums and on the rooftops, including pool decks and community gathering areas. The Project would provide a total of approximately 39,790 sf of open space combined across the Project Site, including 31,164 sf of private open space and 8,626 sf of ground level open space area.

In the Hotel A/B tower, the 8th floor would contain 14,344-sf of pool deck and fitness areas. The 41st floor would contain a 7,257-sf rooftop pool deck plus other guest amenities serving Hotel A. The 36th floor would also contain a 3,355-sf landscaped viewing deck serving all three hotels. The Hotel C tower would provide a 4,948-sf rooftop pool deck and other guest amenities on the 24th floor.

The Project would include 23-foot-wide sidewalks along S. Figueroa Street and 15-foot sidewalks along S. Flower Street and W. Pico Boulevard, which would be landscaped in compliance with the City's streetscape requirements. These facilities would reduce the Project's limited demand for use of existing public recreational and park facilities. Therefore, there would be a less than significant impact on park services in the Project area. No further analysis of this topic in an EIR is required and no mitigation measures are required.

v) *Other public facilities?*

Less Than Significant Impact. The Los Angeles Public Library (LAPL) provides library services to the City of Los Angeles. Because the Project would introduce new visitors and employees to the Project Site, demand on LAPL library services could increase. The nearest library to the Project Site is the LAPL Central Library located at 630 W. 5th Street (1.5 miles northeast of the Project Site). Other nearby libraries include the LAPL Little Tokyo Branch Library located at 203 S. Los Angeles Street (2.1 miles northeast of the Project Site) and the LAPL Pico Union Branch Library located at 1030 S. Alvarado Street (1.4 miles northwest of the Project Site). Because there is no residential component to the Project, the only potential new library visitors, if any, would be employees or visitors to the Project Site. The addition of 594 new employees to the Project Site would not materially change demand on local libraries. Therefore, there would be a less than significant impact associated with library services.

During construction and operation of the Project, other governmental services, including roads, would continue to be utilized. Project residents, patrons, visitors, and employees would use the existing road network, without the need for new roadways to serve the Project Site. As discussed in the response to Checklist Question XVI, Transportation and Circulation, the Project could result in an increase in the number of vehicle trips attributable to the Project Site. However, the additional use of roadways would not be excessive and would not necessitate the upkeep of such facilities beyond normal requirements. Therefore, the Project would result in less than significant impacts on other governmental services. No further analysis of this topic in an EIR is required and no mitigation measures are required.

XV. RECREATION

- a) **Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?**

Less Than Significant Impact. As discussed in the response to Checklist Question XIV(d), because the Project would introduce new visitors and employees to the Project Site, greater demand on existing public recreational and park facilities and services could be generated. As the Project would provide approximately 39,790 square feet of private and public open spaces across the Project Site through the provision of hardscape, planting area, pools and decks, fitness centers, and other guest amenities, Project-related demand existing public recreational and park facilities would be minimal. Therefore, the Project would not cause or accelerate the deterioration of regional or neighborhood parks and recreational facilities. Further analysis of this topic in an EIR is not necessary and no mitigation measures are required.

- b) **Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?**

Less Than Significant Impact. The Project would provide both publicly accessible and private open space and recreational amenities. These Project features have been incorporated into the overall Project design. Therefore, the construction of these recreational facilities as part of the Project would take place at the same time as the rest of the construction processes and would have no additional adverse physical effects on the environment. Therefore, there would be a less than significant in regards to construction or expansion of recreational facilities which may have adverse physical effects on the environment. Further analysis of this topic in an EIR is not necessary and no mitigation measures are required.

XVI. TRANSPORTATION/TRAFFIC

Would the project:

- a) **Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?**

Potentially Significant Impact. The Project proposes to develop the Fig+Pico Conference Center Hotels consisting of up to 1,162 hotel guestrooms and 13,145 square feet of ground-floor retail/restaurant area. These uses would add traffic to local and regional transportation systems.

As such, operation of the Project could adversely affect the existing capacity of the street system or exceed an established standard. Construction of the Project would also result in a temporary increase in traffic due to construction-related truck trips and worker vehicle trips. Therefore, traffic impacts during construction could also adversely affect the street system. As the Project's increase in traffic would have the potential to result in a significant traffic impact, it is recommended that this topic be analyzed further in an EIR.

b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?

Potentially Significant Impact. The congestion management program (CMP) is a State-mandated program enacted by the State legislature to address the impacts that urban congestion has on local communities and the region as a whole. Metro is the local agency that implements the requirements of the CMP. New projects located in the City of Los Angeles must comply with the requirements set forth in the Metro's CMP. The Project would generate vehicle trips which could potentially add trips to a freeway segment or CMP intersection. As such, it is recommended that this topic be analyzed further in an EIR.

c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?

Less Than Significant Impact. As discussed in the response to Checklist Question VIII(e), the two nearest airports are the Santa Monica Municipal Airport and the Los Angeles International Airport, which are located approximately 11 miles west and 11 miles southwest of the Project Site, respectively. The Project is within the cluster of high-rise towers that comprise the downtown area of Los Angeles. As such, the Project is not anticipated to alter air traffic patterns or affect the utilization of navigable air space. Further, to ensure the safety of residents and guests from localized aircraft (e.g., helicopters), the Project would be subject to the Federal Aviation Administration's (FAA) Federal Aviation Regulations Part 77, Objects Affecting Navigable Airspace. These regulations ensure air safety by regulating construction or alteration of buildings or structures that may affect navigable airspace, and apply to buildings with a height of over 200 feet above ground level. The Project would result in the development of two towers on the site that would be 529 and 326 feet above grade. In accordance with FAA regulations, and similar to other downtown high-rise buildings, the Project would be required to notify the FAA of the building's location and height, and install flashing beacons and/or steady burning lights to demarcate the building's location to aircraft. As such, the Project would not result in a change in air traffic patterns including, increases in traffic levels or changes in location that would result in substantial safety risks. As a less than significant impact would occur, further analysis of this topic is not necessary.

d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?

Potentially Significant Impact. The Project would not alter existing street patterns in the vicinity, and there are no existing hazardous design features such as sharp curves or dangerous intersections on-site or within the Project vicinity. However, Project construction may require temporary lane or sidewalk closures, and the Project would alter the way vehicles ingress and egress the Project Site, and would result in increased trip generation and driveway use compared to existing on-site uses. Further, pedestrian activity tends to be high in the Project vicinity during events at nearby entertainment and commercial centers such as the Convention Center, Staples Center, and LA LIVE. While the Project does not include any hazardous design features such as sharp curves or dangerous intersections, or propose any hazardous or incompatible uses, it is recommended that this topic be analyzed further in an EIR.

e) Result in inadequate emergency access?

Potentially Significant Impact. Immediate vehicular access to the Project Site is provided via the alley off of Pico Boulevard, Figueroa Street, and Flower Street, which border the Project Site. While it is expected that the majority of construction activities for the Project would be confined on-site, short-term construction activities may temporarily affect emergency access on segments of adjacent streets during certain periods of the day. In addition, the Project would alter the way vehicles ingress and egress the Project Site, and generate traffic in the Project vicinity and would result in some modifications to access from the streets that surround the Project Site. Thus, it is recommended that this topic be analyzed further in an EIR.

f) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?

Potentially Significant Impact. The Project Site is well served by public transportation and is anticipated to include pedestrian oriented features and open space areas along the buildings' ground-floor areas. Further, the Project is not expected to interfere with or degrade the performance or safety of public transit, bicycle, or pedestrian facilities. The Project would alter access to the Project site compared to existing conditions and would introduce new employment opportunities to the Project Site. Nonetheless, due to the Project's potential to temporarily impact transportation networks in the immediate vicinity during construction and increase ridership on public transit facilities, it is recommended that the Project's potential for impacts during construction and its consistency with policies, plans, and programs supporting alternative transportation, as well as increased pedestrian activity during events at the Convention Center, Staples Center, and/or LA LIVE, be analyzed further in an EIR.

XVII. UTILITIES AND SERVICE SYSTEMS

Would the project:

a) **Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?**

Potentially Significant Impact. The City of Los Angeles Department of Public Works (LADPW) provides wastewater services for the Project Site. Any wastewater that would be generated by the Project would be treated at the Hyperion Treatment Plant (HTP). The HTP is a part of the Hyperion Treatment System, which also includes the Tillman Water Reclamation Plant (TWRP) and the Los Angeles-Glendale Water Reclamation Plant (LAGWRP). The HTP is designed to treat 450 million gallons per day (mgd) HTP has an average dry water flow of approximately 362 mgd, leaving approximately 88 mgd of capacity available.^{27,28} The discharge of effluent from the HTP into Santa Monica Bay is regulated by the HTP's NPDES Permit issued under the Clean Water Act and is required to meet the Regional Water Quality Control Board (RWQCB)'s requirements for a recreational beneficial use. The Project would result in new sources of wastewater generated at the Project Site with the development of the new hotel and commercial uses along with related amenity facilities and open space. The incremental quantity of wastewater generated by the Project could potentially result in impacts with respect to wastewater treatment. Therefore, it is recommended that this issue be analyzed further in an EIR.

b) **Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?**

Potentially Significant Impact. Water and wastewater systems consist of two components, the source of the water supply or place of sewage treatment, and the conveyance systems (i.e., distribution lines and mains) that link these facilities to project site. Given the Project's proposed increase in developed floor area on the Project Site, it is recommended that this topic be analyzed further in an EIR.

c) **Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?**

Potentially Significant Impact. Under existing conditions, the Project Site is developed with a single two-story commercial building and surface parking, and is presently drained via surface

²⁷ The HTP is an end-of-the-line plant, subject to diurnal and seasonal flow variation. It was designed to provide full secondary treatment for a maximum-month flow of 450 mgd, which corresponds to an average daily waste flow of 413 mgd, and peak wastewater flow of 850 mgd. (Information regarding peak flow is included in the IRP, Facilities Plan, Volume 1, Wastewater Management, July 2004; page 7-3.)

²⁸ City of Los Angeles Bureau of Sanitation, Wastewater: Facts & Figures. Available at: <http://www.lacitysan.org/wastewater/factsfigures.htm>. Accessed September 22, 2015.

flows to street gutters and inlets leading to subsurface catchment basins and the municipal storm drain system. Project implementation would require grading and alterations to the drainage patterns in Project site and would require verification of available capacity in the municipal storm drain system. Therefore, it is recommended that this issue be evaluated in an EIR.

d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?

Potentially Significant Impact. Given the increased development that would occur on the Project Site, the Project would generate an increase in water demand beyond existing conditions. Changes to water availability and water regulations, as well as potential conservation of water resources are important considerations in the ability of Project to support its on-site guests and visitors. Further, Sections 10910-10915 of the State Water Code (Senate Bill [SB] 610) requires the preparation of a water supply assessment (WSA) demonstrating sufficient water supplies for a project that is: 1) a proposed residential development of more than 500 dwelling units; 2) a proposed shopping center or business establishment that will employ more than 1,000 persons or have more than 500,000 square feet of floor space; 3) a proposed commercial office building that will employ more than 1,000 persons or have more than 250,000 square feet of space, 4) a proposed hotel or motel, or both, having more than 500 rooms; or 5) a project that would demand an amount of water equal to or greater than the amount of water needed to serve a 500-dwelling unit subdivision. As the Project Site will include up to 1,162 hotel rooms and retail space that together equates to approximately 506,682 sf, the Project would meet the established thresholds for a WSA. The City is currently processing a WSA that will be prepared by LADWP and it is recommended that this issue be analyzed further in an EIR.

e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?

Potentially Significant Impact. Given the increase in developed floor area proposed on the Project Site, the Project would result in an increase in wastewater generation compared to existing conditions. Therefore, it is recommended that this issue be analyzed further in an EIR.

f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?

Less Than Significant Impact. Solid waste management in the City of Los Angeles involves both public and private refuse collection services as well as public and private operation of solid waste transfer, resource recovery, and disposal facilities. The Los Angeles Bureau of Sanitation (BOS) is responsible for developing strategies to manage solid waste generation and disposal in the City of Los Angeles. The BOS collects solid waste generated primarily by single-family dwellings, small multi-family dwellings, and public facilities. Private hauling companies collect solid waste generated primarily from large multi-family residential, commercial, and industrial

properties. The City does not own or operate any landfill facilities, and the majority of its solid waste is disposed of at in-County landfills.

In December 2015, the County of Los Angeles Department of Public Works released the 2014 Los Angeles County Integrated Waste Management Plan (CoIWMP) (the most recent available).²⁹ As indicated therein, the remaining disposal capacity for the County's Class III landfills is estimated at approximately 112 million tons as of December 31, 2014. In addition to in-County landfills, out-of-County disposal facilities are also available to the City. Aggressive waste reduction and diversion programs on a Countywide level have helped reduce disposal levels at the County's landfills, and based on the CoIWMP, the County anticipates that future Class III disposal needs can be adequately met through 2029 through some combination of the following strategies (Scenarios II through VII of the 2014 Annual Report): supporting and increasing exportation of waste to out-of-County facilities, meeting CalRecycle's Statewide disposal target of 2.7 pounds per day, creating additional alternative technology capacity, and utilizing waste-by-Rail capacity to export to Out-of-County landfills.

Construction Impacts

Project construction would require earthwork (grading and excavation) and the new construction of a mixed-use building on the Project Site. Each of these activities would generate demolition waste including but not limited to soil, asphalt, wood, paper, glass, plastic, and metals. As shown in **Table B-5, *Project Demolition and Construction Debris***, construction of the Proposed Project would generate an estimated 2,935 tons of debris. Excavation of the Project Site would generate an estimated 49,000 cubic yards of soil export.

Construction materials are disposed of at one of the unclassified inert landfills available to the City of Los Angeles, typically the Azusa Land Reclamation Facility, which has an estimated remaining capacity of approximately 59.83 million tons or 49.86 million cubic yards.³⁰ As a result, Project excavation and construction would account for only a small percentage (0.09 percent) of the Azusa Land Reclamation Facility, and construction waste would not exceed the existing capacity of this facility. In addition, the estimate of construction and demolition debris is conservative in that it does not take into account recycling efforts that would occur in accordance with City regulations.

²⁹ County of Los Angeles Department of Public Works, Countywide Integrated Waste Management Plan: 2014 Annual Report. May 2015. Available at:

<http://dpw.lacounty.gov/epd/swims/ShowDoc.aspx?id=3473&hp=yes&type=PDF>. Accessed June 1, 2016.

³⁰ County of Los Angeles Department of Public Works, Countywide Integrated Waste Management Plan: 2014 Annual Report. May 2015. Pg. 32.

**TABLE B-5
PROJECT DEMOLITION AND CONSTRUCTION DEBRIS**

Land Use	Size	Generation Rate	Total Solid Waste Generation (lbs)	Total Solid Waste Generation (tons)
Demolition				
Commercial	27,800 sf	92 lbs per sf ^a	2,557,600 lbs	1,279 tons
Surface Parking Area	37,525 sf	2,400 lbs per cy ^b	1,111,852lbs	556 tons
Construction				
Commercial/Retail	13,145 sf	4.34 lbs per sf ^c	57,049 lbs	29 tons
Hotel	493,677 sf	4.34 lbs per sf	2,,142,558 lbs	1,071 tons
Total Solid Waste Generated During Project Construction			2,199,607 lbs	1,100 tons
Total Solid Waste Generated During Demolition and Construction			5,869,059 lbs	2,935 tons
Total Solid Waste With Diversion Efforts (50 percent)			2,934,530 lbs	1,468 tons
Soil Export (cubic yards)				49,000 cy^d

^a CalEEMod User's Guide, Appendix A, p. 12, July 2013.

^b Assumes asphalt paving is 4 inches deep. 81,350 sf of asphalt area at 4 inches of depth = 1,004.32 cy

^c Generation factor obtained from U.S. EPA, Estimating 2003 Building-Related Construction and Demolition Materials Amounts, 2003, Page 9

^d KPFF Consulting Engineers, October 2016

Source: ESA PCR, October 2016.

These regulations require the applicant to contract with a waste disposal company that recycles construction and/or demolition debris, as well as to provide temporary waste separation bins during project construction. On March 5, 2010, the City Council approved the Construction and Demolition Waste Recycling Ordinance, which requires all mixed construction and demolition was generated within City limits be taken to City-certified construction and demolition waste processors. This recycling policy is effective January 1, 2011. Data is not yet available on the effectiveness of this ordinance.³¹ However, assuming Project construction achieves a minimum 50 percent diversion rate as required by Assembly Bill 939³², construction debris would be reduced to a total of approximately 1,468 tons. This constitutes a fraction (less than 0.01 percent) of the remaining capacity of the Azusa Land Reclamation Facility. Because construction waste would not exceed the capacity of existing disposal facilities and would be further reduced by recycling, impacts would be less than significant. No mitigation measures are required and no further analysis of this topic in an EIR is necessary.

³¹ City of Los Angeles, Department of Public Works, Solid Resources, Recycling Statistics. Available at: http://www.lacitysan.org/solid_resources/recycling/c&d.htm. Accessed August 30, 2016.

³² Solid waste management in the State is primarily guided by the California Integrated Waste Management Act of 1989 (Assembly Bill 939) which emphasizes resource conservation through reduction, recycling, and reuse of solid waste. AB 939 requires each city or county plan to include an implementation schedule which shows diversion of 50 percent of all solid waste by January 1, 2000.

Operational Impacts

Estimated operational solid waste generation for the Project is shown in **Table B-6, *Estimated Operational Solid Waste Generation***. It is estimated that the total waste generation for the Project would be approximately 854 tons per year, or 2.34 tons per day. The daily amount of solid waste generated by the Project would represent a negligible amount (0.02 percent) of the daily solid waste disposed of by the City (9,881 tons). It is important to note that this estimate is conservative, in that the amount of solid waste that would need to be landfilled would likely be less than this forecast based on successful City implementation of AB 939 and the City's objective to achieve a 70 percent diversion goal by 2020 and eventually to a zero waste scenario by 2025 as envisioned in the Los Angeles Solid Waste Integrated Resources Plan.³³ Recycling efforts in the City of Los Angeles in accordance with AB 939 achieved a solid waste diversion rate of 76.4 percent in 2011, the most recent year data is available.³⁴ Assuming the Project achieves a similar diversion rate, the amount of Project solid waste that would need to be landfilled would be reduced to an estimated 198 tons annually, or 0.54 tons per day, which constitutes a negligible portion (less than 0.01 percent) of the daily permitted intake (29,640 tons) and remaining capacity (112 million tons) of in-County landfills and waste-to-energy facilities serving the City.

TABLE B-6
ESTIMATED OPERATIONAL SOLID WASTE GENERATION

Land Use	Size	Generation Rate (lbs/unit/day) ^a	Solid Waste Generation (lbs/day)	Solid Waste Generation (tons/year)
Hotel	1,162 rooms	4 lbs/room/day	4,648 lbs	848 tons
Commercial/Retail	13,145 sf	2.5 lbs/1,000 sf/day	33 lbs	6 tons
Commercial (demo)	(27,800) sf	2.5 lbs/1,000 sf/day	(70) lbs	(13) tons
Total			4,681 lbs	854 tons

^a Generation factors provided by the CalRecycle website: Estimated Solid Waste Generation Rates. <http://www.calrecycle.ca.gov/WasteChar/WasteGenRates/default.htm>. Accessed September 28, 2015.

Source: ESA PCR, August 2016

As described in the CoIWMP 2014 Annual Report, future disposal needs for the 15-year planning horizon (2029) would be adequately met through the use of in-County and out-of-County facilities. It should also be noted that with annual reviews of demand and capacity in each subsequent Annual Report, the 15-year planning horizon is extended by one year, thereby providing sufficient lead time for the County to address any future shortfalls in landfill capacity.

³³ City of Los Angeles, Department of Public Works, Solid Resources, Zero Waste Progress Report, pg. 7. Available at: http://www.lacitysan.org/solid_resources/recycling/publications/PDFs/CLA_%20Zero_Waste_Progress_Report.pdf. Accessed August 30, 2016.

³⁴ Ibid, pg. 7.

Based on the above, Project-generated waste would not exacerbate the estimated landfill capacity requirements addressed for the 15-year planning period ending in 2029, or alter the ability of the County to address landfill needs via existing capacity and other options for increasing capacity. Therefore, impacts on solid waste disposal from Project operations would be less than significant.

In summary, the County's inert and Class III landfills would have adequate capacity to accommodate Project-generated construction and demolition waste during Project construction and Class III solid waste generation during Project operations. Thus, construction and operation impacts relative to solid waste would be less than significant.

g) Comply with federal, state, and local statutes and regulations related to solid waste?

Less Than Significant Impact. Solid waste management in the State is primarily guided by the California Integrated Waste Management Act of 1989 (AB 939) which emphasizes resource conservation through reduction, recycling, and reuse of solid waste. AB939 establishes an integrated waste management hierarchy consisting of (in order of priority): 1) source reduction; 2) recycling and composting; and 3) environmentally safe transformation and land disposal. Additionally, the City is currently implementing its “Zero-Waste-to-Landfill” goal to achieve zero waste to landfills by 2025 to enhance the Solid Waste Integrated Resources Planning Process. Recycling efforts in the City of Los Angeles in accordance with AB 939 achieved a solid waste diversion rate of 76.4 percent in 2011, the most recent year data is available.

The Project would be consistent with the applicable regulations associated with solid waste. Specifically, the Project would provide adequate storage areas in accordance with the City of Los Angeles Space Allocation Ordinance (Ordinance No. 171,687), which requires that developments include a recycling area or room of specified size on the Project Site.³⁵ Further, the Project would comply with the City's Construction and Demolition Waste Recycling Ordinance. The Project would also promote compliance with AB 939 and City waste diversion goals by providing clearly marked, source sorted receptacles to facilitate recycling. Since the Project would comply with federal, State, and local statutes and regulations related to solid waste, a less than significant impact would occur and no mitigation measures would be required. No further analysis of this topic in an EIR is necessary.

³⁵ Ordinance No. 171,687 adopted by the Los Angeles City Council on August 6, 1997.

XVIII. MANDATORY FINDINGS OF SIGNIFICANCE

- a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?**

Potentially Significant Impact. The Project would not substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal.

As discussed within this Initial Study, the Project could result in environmental impacts that have the potential to degrade the quality of environment as addressed herein. Potentially affected resources include Air Quality, Geology and Soils, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Hydrology and Water Quality, Land Use and Planning, Noise, Public Services (Fire and Police), Transportation/Circulation (Traffic, Access), and Utilities (water, wastewater, and solid waste). An EIR will be prepared to analyze and document these potentially significant impacts.

- b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?**

Potentially Significant Impact. The potential for cumulative impacts occurs when the independent impacts of a given project are combined with the impacts of related projects in proximity to the Project Site, to create impacts that are greater than those of the Project alone. Related projects include past, current, and/or probable future projects whose development could contribute to potentially significant cumulative impacts in conjunction with a given project.

Each of the topics determined to have the potential for significant impacts within this Initial Study, will be subject to further evaluation in an EIR, including evaluation of the potential for cumulatively significant impacts. Topics for which Initial Study determinations were “No Impact” or “Less Than Significant Impact” have been determined not to have the potential for significant cumulative impacts.

With respect to potential contributions to cumulative impacts for agricultural resources, biological resources, and mineral resources, the Project Site is located in an urbanized area, and like the

Project, other development occurring in the area would also constitute urban infill in already densely developed areas. The Project Site does not contain agricultural, sensitive biological, or mineral resources, and therefore Project implementation would not be expected to result in a considerable contribution to cumulatively significant impacts on these resources.

With respect to population and housing, the increase in area population and employment resulting from the Project and the related projects would have a less than significant cumulative impact as these increases are anticipated to be within SCAG City of Los Angeles Subregion growth forecasts. No new residential uses are proposed as part of the Project that could cause a significant increase in population. No significant cumulative impacts to population or housing are expected.

Cumulative development, including the Project, would place new demands on public services, such as schools, parks, and libraries. Development of the Project and related projects would increase the demand for public services. As the service providers monitor growth and adjust their resources accordingly, subject to City Council support, cumulative impacts on City services would be less than significant. With respect to schools, cumulative development has the potential to generate more students than the schools in LAUSD Local District 2 are projected to be able to accommodate. However, pursuant to Government Code Section 65995, the payment of developer fees under the provisions of SB 50 would address the impacts of new development on school facilities. The payment of this fee is deemed to provide full and complete mitigation for impacts to school facilities. With the payment of applicable school fees, any cumulative impacts to schools would be reduced to a less than significant level.

c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?

Potentially Significant Impact. As discussed throughout this Initial Study, the Project could result in potentially significant environmental impacts associated with Air Quality, Geology and Soils, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Hydrology and Water Quality, Land Use and Planning, Noise, Public Services (Fire, Police), Transportation/Circulation (Traffic, Access), and Utilities (water, wastewater, and solid waste). These impacts could have potentially adverse effects on human beings, and further analysis of these impacts is recommended in an EIR.

Appendix B-1 – Historic Resources Documentation

South Coastal Central Information Center Records

Search - June 2016

OFFICE OF HISTORIC PRESERVATION * * * Directory of Properties in the Historic Property Data File for LOS ANGELES County.										Page 353	04-05-12			
PROPERTY-NUMBER	PRIMARY-#	STREET ADDRESS	NAMES	CITY NAME	OWN	YR-C	OHP-PROG..	PRG-REFERENCE-NUMBER	STAT-DAT	NRS	CRIT			
022392	19-168417	6123 FOUNTAIN AVE		LOS ANGELES	P	1922	HIST.SURV.	0053-0709-0010		5D2				
022393	19-168418	6135 FOUNTAIN AVE		LOS ANGELES	P	1920	HIST.SURV.	0053-0709-0011		5D2				
022394	19-168419	6139 FOUNTAIN AVE		LOS ANGELES	P	1921	HIST.SURV.	0053-0709-0012		5D2				
022395	19-168420	6143 FOUNTAIN AVE		LOS ANGELES	P	1921	HIST.SURV.	0053-0709-0013		5D2				
022396	19-168421	6200 FOUNTAIN AVE		LOS ANGELES	P	1919	HIST.SURV.	0053-0709-0014		5D2				
022397	19-168422	6206 FOUNTAIN AVE		LOS ANGELES	P	1920	HIST.SURV.	0053-0709-0015		5D2				
022398	19-168423	6210 FOUNTAIN AVE		LOS ANGELES	P	1920	HIST.SURV.	0053-0709-0016		5D2				
022399	19-168424	6216 FOUNTAIN AVE		LOS ANGELES	P	1924	HIST.SURV.	0053-0709-0017		5D2				
022400	19-168425	6217 FOUNTAIN AVE		LOS ANGELES	P	1920	HIST.SURV.	0053-0709-0018		5D2				
022401	19-168426	6221 FOUNTAIN AVE		LOS ANGELES	P	1920	HIST.SURV.	0053-0709-0019		5D2				
022402	19-168427	6222 FOUNTAIN AVE		LOS ANGELES	P	1920	HIST.SURV.	0053-0709-0020		5D2				
022403	19-168428	6227 FOUNTAIN AVE		LOS ANGELES	P	1922	HIST.SURV.	0053-0709-0021		5D2				
022404	19-168429	6228 FOUNTAIN AVE		LOS ANGELES	P	1921	HIST.SURV.	0053-0709-0022		5D2				
022405	19-168430	6233 FOUNTAIN AVE		LOS ANGELES	P	1919	HIST.SURV.	0053-0709-0023		5D2				
022406	19-168431	6234 FOUNTAIN AVE		LOS ANGELES	P	1920	HIST.SURV.	0053-0709-0024		5D2				
022408	19-168433	6328 FOUNTAIN AVE		LOS ANGELES	P	1921	HIST.SURV.	0053-0710-0001		5D2				
022409	19-168434	6340 FOUNTAIN AVE		LOS ANGELES	P	1921	HIST.SURV.	0053-0710-0002		5D2				
022410	19-168435	6341 FOUNTAIN AVE		LOS ANGELES	P	1925	HIST.SURV.	0053-0710-0003		5D2				
022411	19-168436	6344 FOUNTAIN AVE		LOS ANGELES	P	1920	HIST.SURV.	0053-0710-0004		5D2				
022412	19-168437	6350 FOUNTAIN AVE		LOS ANGELES	P	1920	HIST.SURV.	0053-0710-0005		5D2				
022413	19-168438	6356 FOUNTAIN AVE		LOS ANGELES	P	1921	HIST.SURV.	0053-0710-0006		5D2				
022414	19-168439	6406 FOUNTAIN AVE		LOS ANGELES	P	1921	HIST.SURV.	0053-0710-0007		5D2				
022415	19-168440	6407 FOUNTAIN AVE		LOS ANGELES	P	1920	HIST.SURV.	0053-0710-0008		5D2				
022416	19-168441	6411 FOUNTAIN AVE		LOS ANGELES	P	1920	HIST.SURV.	0053-0710-0009		5D2				
022417	19-168442	6412 FOUNTAIN AVE		LOS ANGELES	P	1920	HIST.SURV.	0053-0710-0010		5D2				
022418	19-168443	6417 FOUNTAIN AVE		LOS ANGELES	P	1923	HIST.SURV.	0053-0710-0011		5D2				
022419	19-168444	6421 FOUNTAIN AVE		LOS ANGELES	P	1923	HIST.SURV.	0053-0710-0012		5D2				
022421	19-168446	6422 FOUNTAIN AVE		LOS ANGELES	P	1920	HIST.SURV.	0053-0710-0014		5D2				
022422	19-168447	6440 FOUNTAIN AVE		LOS ANGELES	P	1921	HIST.SURV.	0053-0710-0015		5D2				
022424	19-168449	6444 FOUNTAIN AVE		LOS ANGELES	P	1921	HIST.SURV.	0053-0710-0017		5D2				
022425	19-168450	6500 FOUNTAIN AVE		LOS ANGELES	P	1948	HIST.SURV.	0053-0710-0018		5D2				
022427	19-168452	6531 FOUNTAIN AVE		LOS ANGELES	P	1920	HIST.SURV.	0053-0710-0020		5D2				
022428	19-168453	6534 FOUNTAIN AVE	SAINT KATHERINE APARTMENTS	LOS ANGELES	P	1925	HIST.SURV.	0053-0710-0021		5D2				
022429	19-168454	6537 FOUNTAIN AVE		LOS ANGELES	P	1920	HIST.SURV.	0053-0710-0022		5D2				
022430	19-168455	6541 FOUNTAIN AVE		LOS ANGELES	P	1921	HIST.SURV.	0053-0710-0023		5D2				
022431	19-168456	6547 FOUNTAIN AVE		LOS ANGELES	P	1922	HIST.SURV.	0053-0710-0024		5D2				
022432	19-168457	6550 FOUNTAIN AVE		LOS ANGELES	P	1921	HIST.SURV.	0053-0710-0025		5D2				
022433	19-168458	6551 FOUNTAIN AVE		LOS ANGELES	P	1921	HIST.SURV.	0053-0710-0026		5D2				
022434	19-168459	6554 FOUNTAIN AVE		LOS ANGELES	P	1922	HIST.SURV.	0053-0710-0027		5D2				
022435	19-168460	6560 FOUNTAIN AVE		LOS ANGELES	P	1920	HIST.SURV.	0053-0710-0028		5D2				
022436	19-168461	6571 FOUNTAIN AVE		LOS ANGELES	P	1920	HIST.SURV.	0053-0710-0029		5D2				
022437	19-168462	6575 FOUNTAIN AVE		LOS ANGELES	P	1919	HIST.SURV.	0053-0710-0030		5D2				
022581	19-168606	6635 FOUNTAIN AVE		LOS ANGELES	P	1925	HIST.SURV.	0053-0717-0028		5D2				
022196	19-168222	6679 FOUNTAIN AVE		LOS ANGELES	P	1915	HIST.SURV.	0053-0701-0031		5D2				
022729	19-168754	6681 FOUNTAIN AVE		LOS ANGELES	P	1926	HIST.SURV.	0053-0722-0023		5D2				
022726	19-168751	6718 FOUNTAIN AVE		LOS ANGELES	P	1912	HIST.SURV.	0053-0722-0020		5D2				
022439	19-168464	6817 FOUNTAIN AVE		LOS ANGELES	P	1921	HIST.SURV.	0053-0711-0001		5D2				
022440	19-168465	6856 FOUNTAIN AVE		LOS ANGELES	P	1920	HIST.SURV.	0053-0711-0002		5D2				
022441	19-168466	6866 FOUNTAIN AVE		LOS ANGELES	P	1922	HIST.SURV.	0053-0711-0003		5D2				
098011	19-175412	13974 FOX ST		LOS ANGELES	M	1925	HIST.RES.	DOE-19-94-0004-0000	04/29/94	6Y				
							PROJ.REVW.	HRG940202Z		04/29/94	6Y			
131114		25425 FRAMPTON AVE		LOS ANGELES		1922	HIST.RES.	DOE-19-02-0189-0000	04/02/02	6Y				
							PROJ.REVW.	HUD020402AG		04/02/02	6Y			
027250	19-173182	922 FRANCISCO ST	WATER & POWER SUBSTATION #9	LOS ANGELES	M	1922	HIST.SURV.	0053-4546-0000		3S				
021449	19-167483	FRANKLIN AVE	WHITLEY HEIGHTS HISTORIC DIST	LOS ANGELES	P	1906	HIST.RES.	NPS-82002189-9999	08/19/82	1S	AC			

OFFICE OF HISTORIC PRESERVATION * * * Directory of Properties in the Historic Property Data File for LOS ANGELES County.												Page 356	04-05-12		
PROPERTY-NUMBER	PRIMARY-#	STREET-ADDRESS.....	NAMES.....	CITY.NAME.....	OWN	YR-C	OHP-PROG..	PRG-REFERENCE-NUMBER	STAT-DAT	NRS	CRIT				
027238	19-173170	931 GAYLEY AVE		LOS ANGELES	P	1947	HIST.SURV.	0053-4534-0000		7R					
027239	19-173171	945 GAYLEY AVE	GAYLEY TOWERS	LOS ANGELES	P	1952	HIST.SURV.	0053-4535-0000		7R					
027215	19-173147	959 GAYLEY AVE	GAYLEY TERRACE	LOS ANGELES	P	1940	HIST.RES.	DOE-19-89-0024-0000	06/19/89	2S2	C				
							PROJ.REVW.	FHWA890613A	06/19/89	2S2	C				
							HIST.SURV.	0053-4511-0000		7N					
162264		1079 GAYLEY AVE		LOS ANGELES	P	1931	PROJ.REVW.	FCC060512L	05/22/06	6Y					
175321		2722 GENESSEE AVE		LOS ANGELES	P	1938	PROJ.REVW.	HUD070529J	07/05/07	6U					
131898		5405 GENTRY AVE		LOS ANGELES	P	1940	HIST.RES.	DOE-19-02-0724-0000	03/20/02	6Y					
							PROJ.REVW.	FTA010604A	03/20/02	6Y					
027251	19-173183	912 GEORGIA ST	ROGER PLANT RESIDENCE	LOS ANGELES	P	1895	HIST.SURV.	0053-4547-0000		3S					
027252	19-173184	1335 GEORGIA ST	GEORGIA STREET POLICE STATION AND	LOS ANGELES	M	1926	HIST.SURV.	0053-4548-0000		3S					
024852	19-170872	405 GIN LING WY		LOS ANGELES	P		HIST.SURV.	0053-2318-0005		7R					
024853	19-170873	428 GIN LING WY		LOS ANGELES	P		HIST.SURV.	0053-2318-0006		7R					
024854	19-170874	432 GIN LING WY		LOS ANGELES	P		HIST.SURV.	0053-2318-0007		7R					
024855	19-170875	437 GIN LING WY		LOS ANGELES	P		HIST.SURV.	0053-2318-0008		7R					
024856	19-170876	459 GIN LING WY		LOS ANGELES	P		HIST.SURV.	0053-2318-0009		7R					
024857	19-170877	463 GIN LING WY		LOS ANGELES	P		HIST.SURV.	0053-2318-0010		7R					
024858	19-170878	475 GIN LING WY		LOS ANGELES	P		HIST.SURV.	0053-2318-0011		7R					
024859	19-170879	483 GIN LING WY		LOS ANGELES	P		HIST.SURV.	0053-2318-0012		7R					
024860	19-170880	486 GIN LING WY		LOS ANGELES	P		HIST.SURV.	0053-2318-0013		7R					
024861	19-170881	487 GIN LING WY		LOS ANGELES	P		HIST.SURV.	0053-2318-0014		7R					
024862	19-170882	491 GIN LING WY		LOS ANGELES	P		HIST.SURV.	0053-2318-0015		7R					
024863	19-170883	495 GIN LING WY		LOS ANGELES	P		HIST.SURV.	0053-2318-0016		7R					
087643	19-174866	2610 GLEASON AVE		LOS ANGELES	P		PROJ.REVW.	HUD940111K	02/22/94	6Y					
177729		GLEASON ST		LOS ANGELES	P	1920	PROJ.REVW.	HUD091109Y	12/08/09	6Y					
024663	19-170684	4211 GLENALBYN DR		LOS ANGELES	P	1908	HIST.SURV.	0053-2131-0000		7R					
	19-158611														
024664	19-170685	4224 GLENALBYN DR		LOS ANGELES	P	1911	HIST.SURV.	0053-2132-0000		7R					
	19-158614														
024665	19-170686	4344 GLENALBYN DR		LOS ANGELES	P	1900	HIST.SURV.	0053-2133-0000		5S2					
	19-156701														
021121	19-167177	1962 GLENCOE WY	SAMUEL FREEMAN HOUSE--FL WRIGHT BL	LOS ANGELES	P	1924	HIST.RES.	DOE-19-94-0355-0000	06/29/94	2S2					
							PROJ.REVW.	HRG940202Z	06/29/94	2S2					
							HIST.RES.	SHL-1011-0001	05/19/93	1CL					
							ST.HS.LDMK	19-0076	05/19/93	7L					
							ST.FND.PRG	619.0-HP-88-19-039	12/21/88	3					
							HIST.RES.	NPS-71000146-0000	10/14/71	1S					
							HIST.SURV.	0053-0237-0000	10/14/71	1S					
115006		GLENDALE BLVD	BRIDGE #53C-1179 / GLENDALE-HYPERI	LOS ANGELES	M	1927	HIST.RES.	DOE-19-86-0075-0000	10/19/86	2S2	C				
							PROJ.REVW.	FHWA860919Z	10/19/86	2S2	C				
024316	19-170338	801 GLENDALE BLVD		LOS ANGELES	P	1912	HIST.SURV.	0053-1777-0000		5S2					
024318	19-170340	823 GLENDALE BLVD		LOS ANGELES	P	1905	HIST.SURV.	0053-1779-0000		5S2					
024317	19-170339	827 GLENDALE BLVD		LOS ANGELES	P	1920	HIST.SURV.	0053-1778-0000		5S2					
021009	19-167070	1100 GLENDALE BLVD	ANGELUS TEMPLE	LOS ANGELES	P	1921	HIST.RES.	NHL-92001875-0000	04/27/92	1S					
							HIST.RES.	NPS-92001875-0000	04/27/92	1S	AC				
174890		1840 GLENDALE BLVD		LOS ANGELES	P	1912	PROJ.REVW.	FHWA081229A	01/27/09	6Y					
174891		1855 GLENDALE BLVD		LOS ANGELES	P	1964	PROJ.REVW.	FHWA081229A	01/27/09	6Y					
174896		2030 GLENDALE BLVD	EDENDALE BRANCH LIBRARY/WESTERN UK	LOS ANGELES	P	1923	PROJ.REVW.	FHWA081229A	01/27/09	6Y					
174897		2038 GLENDALE BLVD		LOS ANGELES	P	1913	PROJ.REVW.	FHWA081229A	01/27/09	6Y					
125435		2379 GLENDALE BLVD	NEUTRA OFFICE BUILDING	LOS ANGELES	P	1949	HIST.RES.	NPS-01000075-0000	03/08/04	1S	B				
							NAT.REG.	19-0345	08/14/00	3S	B				
115990		1070 GLENDON AVE	GLENDON MANOR	LOS ANGELES	P	1929	HIST.RES.	CS	11/13/98	2CS	AC				
							CAL.REG.	19-0264	10/21/98	2CS	AC				
072953	19-174056	2655 GLENDOWER AVE	ENNIS-BROWN HOUSE F L WRIGHT STONE	LOS ANGELES	P	1924	HIST.RES.	DOE-19-94-0356-0000	08/08/94	2S2	C				

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OPERTY-NUMBER	PRIMARY-#	STREET-ADDRESS.....	NAMES.....	CITY.NAME.....	OWN	YR-C	OHP-PROG..	PRG-REFERENCE-NUMBER	STAT-DAT	NRS	CRIT		
025144	19-171147	1811 S FAIRFAX AVE		LOS ANGELES	P	1945	HIST.SURV.	0053-2539-0000		7R			
025114	19-171117	1814 S FAIRFAX AVE		LOS ANGELES	P	1947	HIST.SURV.	0053-2509-0000		7R			
025145	19-171148	1817 S FAIRFAX AVE		LOS ANGELES	P	1946	HIST.SURV.	0053-2540-0000		7R			
025115	19-171118	1820 S FAIRFAX AVE		LOS ANGELES	P	1948	HIST.SURV.	0053-2510-0000		7R			
025146	19-171149	1821 S FAIRFAX AVE		LOS ANGELES	P	1949	HIST.SURV.	0053-2541-0000		7R			
025116	19-171119	1824 S FAIRFAX AVE		LOS ANGELES	P	1948	HIST.SURV.	0053-2511-0000		7R			
025147	19-171150	1829 S FAIRFAX AVE		LOS ANGELES	P	1946	HIST.SURV.	0053-2542-0000		7R			
025117	19-171120	1830 S FAIRFAX AVE		LOS ANGELES	P	1948	HIST.SURV.	0053-2512-0000		7R			
025148	19-171151	1833 S FAIRFAX AVE		LOS ANGELES	P	1947	HIST.SURV.	0053-2543-0000		7R			
025118	19-171121	1834 S FAIRFAX AVE		LOS ANGELES	P	1949	HIST.SURV.	0053-2513-0000		7R			
025149	19-171152	1837 S FAIRFAX AVE		LOS ANGELES	P	1948	HIST.SURV.	0053-2544-0000		7R			
025119	19-171122	1840 S FAIRFAX AVE		LOS ANGELES	P	1948	HIST.SURV.	0053-2514-0000		7R			
025150	19-171153	1843 S FAIRFAX AVE		LOS ANGELES	P	1948	HIST.SURV.	0053-2545-0000		7R			
025120	19-171123	1844 S FAIRFAX AVE		LOS ANGELES	P	1946	HIST.SURV.	0053-2515-0000		7R			
025151	19-171154	1849 S FAIRFAX AVE		LOS ANGELES	P	1948	HIST.SURV.	0053-2546-0000		7R			
025121	19-171124	1850 S FAIRFAX AVE		LOS ANGELES	P	1948	HIST.SURV.	0053-2516-0000		7R			
025122	19-171125	1854 S FAIRFAX AVE		LOS ANGELES	P	1948	HIST.SURV.	0053-2517-0000		7R			
025152	19-171155	1855 S FAIRFAX AVE		LOS ANGELES	P	1950	HIST.SURV.	0053-2547-0000		7R			
025153	19-171156	1859 S FAIRFAX AVE		LOS ANGELES	P	1950	HIST.SURV.	0053-2548-0000		7R			
025123	19-171126	1860 S FAIRFAX AVE		LOS ANGELES	P	1948	HIST.SURV.	0053-2518-0000		7R			
100654	19-176201	836 S FEDORA		LOS ANGELES	P	1910	HIST.RES.	DOE-19-94-0410-0000	08/29/94	6Y			
							PROJ.REVW.	HRG940202Z	08/29/94	6Y			
083685	19-174558	1259 S FERRIS AVE		LOS ANGELES	U	1926	PROJ.REVW.	HUD900630E	08/18/93				
064811	19-173371	642 S FETTERLY AVE	RESIDENCE	LOS ANGELES	U		PROJ.REVW.	HUD860702G	08/04/86	6Y			
020850	19-166927	545 S FIGUEROA ST	JOHNATHAN CLUB BUILDING	LOS ANGELES	P	1924	HIST.RES.	DOE-19-79-0028-0000	03/28/79	2S2	C		
							PROJ.REVW.	UMTA781024A	03/28/79	2S2	C		
							HIST.SURV.	0053-0059-0000		3S			
							HIST.SURV.	0053-4461-0000		7R			
020851	19-166928	615 S FIGUEROA ST	ST PAULS CATHEDRAL EPISCOPAL	LOS ANGELES	P	1923	HIST.SURV.	0053-4495-0000		7K			
							HIST.RES.	DOE-19-79-0012-0000	03/28/79	2S2	C		
							PROJ.REVW.	UMTA781024A	10/24/78	2S2	C		
							HIST.SURV.	0053-0060-0000		3S			
							PROJ.REVW.	65001032	03/28/79	2S2	C		
069433	19-173818	615 S FIGUEROA ST	ST PAUL'S CATHEDRAL	LOS ANGELES	U		PROJ.REVW.		10/28/77	2S			
069380	19-173802	644 S FIGUEROA ST	FIRE STATION #28	LOS ANGELES	U		PROJ.REVW.		10/28/77	2S			
021233	19-167276	644 S FIGUEROA ST	ENGINE COMPANY #28, LOS ANGELES FI	LOS ANGELES	M	1912	HIST.RES.	NPS-79000485-0000	11/16/79	1S	C		
							HIST.SURV.	0053-3464-0000		7K			
							TAX.CERT.	537.9-19-0068	03/29/89	2S3			
							HIST.RES.	DOE-19-79-0019-0000	03/28/79	2S2	C		
							PROJ.REVW.	UMTA781024A	10/24/78	2S2	C		
							PROJ.REVW.	65000751	03/28/79	2S2	C		
026137	19-172125	654 S FIGUEROA ST	HOME SAVINGS	LOS ANGELES	P	1974	HIST.SURV.	0053-3465-0000		7R			
026129	19-172117	746 S FIGUEROA ST	FIGER 8 BAR	LOS ANGELES	P	1922	HIST.SURV.	0053-3457-0000		3S			
							HIST.SURV.	0053-4472-0000		7R			
026128	19-172116	751 S FIGUEROA ST	LOUIS BROWNSTEIN & COMPANY	LOS ANGELES	P	1920	HIST.SURV.	0053-4473-0000		7K			
							HIST.RES.	DOE-19-79-0017-0000	03/28/79	2S2	C		
							PROJ.REVW.	UMTA781024A	10/24/78	2S2	C		
							HIST.SURV.	0053-3456-0000		3S			
							PROJ.REVW.	65000853	03/28/79	2S1	C		
069398	19-173808	751 S FIGUEROA ST	LOUIS BROWNSTEIN & COMPANY	LOS ANGELES	U		PROJ.REVW.		10/28/77	2S			
026127	19-172115	800 S FIGUEROA ST	HOTEL CORDOVA, RAMONAS FOOD TO GO	LOS ANGELES	P	1912	HIST.SURV.	0053-3455-0000		7R			
026126	19-172114	807 S FIGUEROA ST		LOS ANGELES	P	1917	HIST.SURV.	0053-3454-0000		5S2			
							HIST.SURV.	0053-4476-0000		7R			
026123	19-172111	815 S FIGUEROA ST	COLOMBO'S PARKING GARAGE	LOS ANGELES	P	1925	HIST.SURV.	0053-3451-0000		5S2			
							HIST.SURV.	0053-4477-0000		7R			
026125	19-172113	816 S FIGUEROA ST	AMERICAN BAPTIST BUILDING	LOS ANGELES	P	1924	HIST.SURV.	0053-3453-0000		5S2			

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							HIST.SURV.	0053-4479-0000		7R	
026122	19-172110	821 S FIGUEROA ST	COLOMBOS RESTAURANT	LOS ANGELES	P	1922	HIST.SURV.	0053-3450-0000		5S2	
							HIST.SURV.	0053-4478-0000		7R	
026124	19-172112	822 S FIGUEROA ST	ASSOC STATIONERS & PRINTERS	LOS ANGELES	P	1920	HIST.SURV.	0053-3452-0000		5S2	
							HIST.SURV.	0053-4480-0000		7R	
026121	19-172109	834 S FIGUEROA ST	BRILL BUILDING	LOS ANGELES	P	1923	HIST.SURV.	0053-3449-0000		5S2	
							HIST.SURV.	0053-4481-0000		7R	
026120	19-172108	845 S FIGUEROA ST	LINDER BUILDING	LOS ANGELES	P	1972	HIST.SURV.	0053-3448-0000		7R	
027169	19-173108	850 S FIGUEROA ST	S C TROPHY CO/SHELLY STEREO	LOS ANGELES	P	1911	HIST.SURV.	0053-4483-0000		7R	
027170	19-173109	900 S FIGUEROA ST	A-1 MARKET	LOS ANGELES	P	1925	HIST.SURV.	0053-4484-0000		7R	
027171	19-173110	912 S FIGUEROA ST	FINKLE ARMS APARTMENTS	LOS ANGELES	P	1912	HIST.SURV.	0053-4485-0000		7R	
027172	19-173111	939 S FIGUEROA ST	HOTEL FIGUEROA, FIGUEROA HOTEL	LOS ANGELES	P	1925	HIST.RES.	DOE-19-79-0029-0000	03/28/79	2S2	C
							PROJ.REVW.	UMTA781024A	03/28/79	2S2	C
							HIST.SURV.	0053-4486-0000		7R	
020853	19-166929	940 S FIGUEROA ST	FRIDAY MORNING CLUB	LOS ANGELES	P	1923	TAX.CERT.	537.9-19-0181	12/07/92	3S	
							HIST.RES.	NPS-84000865-0000	05/17/84	1S	C
							HIST.SURV.	0053-4487-0000		7K	
							HIST.RES.	DOE-19-79-0013-0000	03/28/79	2S2	C
							PROJ.REVW.	UMTA781024A	10/24/78	2S2	C
							HIST.SURV.	0053-0062-0000		3S	
							PROJ.REVW.	65000763	03/28/79	2S2	C
027174	19-173112	947 S FIGUEROA ST	BLOW-UP BOUTIQUE	LOS ANGELES	P	1939	HIST.RES.	DOE-19-79-0030-0000	03/28/79	2S2	C
							PROJ.REVW.	UMTA781024A	03/28/79	2S2	C
							HIST.SURV.	0053-4488-0000		7R	
027175	19-173113	948 S FIGUEROA ST	BELMONT APARTMENTS AND STORES	LOS ANGELES	P	1910	HIST.SURV.	0053-4489-0000		7R	
027176	19-173114	1148 S FIGUEROA ST	I. W. LEAVITT & CO, C & H MOTORS &	LOS ANGELES	P	1916	HIST.SURV.	0053-4490-0000		7R	
027177	19-173115	1200 S FIGUEROA ST	SID OSTROW'S OFFICE EQUIPMENT	LOS ANGELES	P	1926	HIST.SURV.	0053-4491-0000		7R	
027178	19-173116	1224 S FIGUEROA ST	CUT RATE OFFICE FURNITURE	LOS ANGELES	P	1905	HIST.SURV.	0053-4492-0000		7R	
027179	19-173117	1240 S FIGUEROA ST	PAUL G HOFFMAN CO, KRAUS MANUFACTU	LOS ANGELES	P	1920	HIST.SURV.	0053-4493-0000		7R	
027180	19-173118	1248 S FIGUEROA ST	PAUL G. HOFMANN COMPANY, M. M. KER	LOS ANGELES	P	1923	HIST.SURV.	0053-4494-0000		7R	
073622	19-174088	1335 S FIGUEROA ST	BEKINS FIREPROOF STORAGE WAREHOUSE	LOS ANGELES	P	0	TAX.CERT.	537.9-19-0115		6X	
020854	19-166083	1816 S FIGUEROA ST	PATRIOTIC HALL	LOS ANGELES	C	1925	HIST.RES.	DOE-19-94-0140-0000	03/21/84	6X	
	19-166930						PROJ.REVW.	HRG940202Z	04/17/94	2S2	
							ST.HS.LDMK	19-0061	04/17/94	2S2	
							HIST.SURV.	0053-4872-0000	05/14/91	7L	
							HIST.RES.	DOE-19-82-0008-0000	01/01/82	7K	
							PROJ.REVW.	FHWA820422A	09/15/82	2S2	C
							HIST.RES.	SPHI-LAN-023	06/21/82	2S2	C
							PROJ.REVW.	65000951	02/27/76	7L	
074388	19-174174	2020 S FIGUEROA ST		LOS ANGELES	U	1944	HIST.RES.	DOE-19-92-0041-0000	09/15/82	2S2	C
							PROJ.REVW.	FHWA920114Z	02/07/92	6Y	
074387	19-174173	2025 S FIGUEROA ST		LOS ANGELES	U	1944	HIST.RES.	DOE-19-92-0040-0000	02/07/92	6Y	
							PROJ.REVW.	FHWA920114Z	02/07/92	6Y	
074386	19-174172	2027 S FIGUEROA ST		LOS ANGELES	U	1944	HIST.RES.	DOE-19-92-0039-0000	02/07/92	6Y	
							PROJ.REVW.	FHWA920114Z	02/07/92	6Y	
074385	19-174171	2100 S FIGUEROA ST		LOS ANGELES	U	1926	HIST.RES.	DOE-19-92-0038-0000	02/07/92	6Y	
							PROJ.REVW.	FHWA920114Z	02/07/92	6Y	
074384	19-174170	2200 S FIGUEROA ST		LOS ANGELES	U	1920	HIST.RES.	DOE-19-92-0037-0000	02/07/92	6Y	
							PROJ.REVW.	FHWA920114Z	02/07/92	6Y	
074383	19-174169	2212 S FIGUEROA ST		LOS ANGELES	U	1931	HIST.RES.	DOE-19-92-0036-0000	02/07/92	6Y	
							PROJ.REVW.	FHWA920114Z	02/07/92	6Y	
074382	19-174168	2222 S FIGUEROA ST		LOS ANGELES	P	1924	PROJ.REVW.	FCC100210E	03/02/10	6Y	
							HIST.RES.	DOE-19-92-0035-0000	02/07/92	6Y	
							PROJ.REVW.	FHWA920114Z	02/07/92	6Y	
025508	19-171498	2321 S FIGUEROA ST	MICHAEL J CONNELL RESIDENCE	LOS ANGELES	P	1900	HIST.SURV.	0053-4869-0014	08/01/86	7K	
	19-164759						HIST.RES.	DOE-19-86-0001-0016	08/01/86	2D2	AC

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PROPERTY-NUMBER	PRIMARY-#	STREET-ADDRESS.....	NAMES.....	CITY-NAME.....	OWN	YR-C	OHP-PROG..	PRG-REFERENCE-NUMBER						
119387		9130 S FIGUEROA ST		LOS ANGELES	P	1922	PROJ. REVW. HIST. RES.	HUD950823L DOE-19-95-0308-0000	08/23/95 08/23/95	6U 6U				
119391		9205 S FIGUEROA ST		LOS ANGELES	P	1930	PROJ. REVW. HIST. RES.	HUD950823L DOE-19-95-0312-0000	08/23/95 08/23/95	6U 6U				
119390		9210 S FIGUEROA ST		LOS ANGELES	P	1910	PROJ. REVW. HIST. RES.	HUD950823L DOE-19-95-0311-0000	08/23/95 08/23/95	6U 6U				
073113	19-174062	9417 S FIGUEROA ST		LOS ANGELES	U	1931	PROJ. REVW.	HUD910912A	09/19/91	6Y				
096982	19-175173	11419 S FIGUEROA ST		LOS ANGELES	P	1935	PROJ. REVW.	HUD950630H	07/20/95	6Y				
175557		12015 S FIGUEROA ST		LOS ANGELES		1959	PROJ. REVW.	HUD080707A	07/22/08	6U				
175558		9504 S FIRTH BLVD		LOS ANGELES	P	1946	PROJ. REVW.	HUD080707A	07/22/08	6U				
166321		2913 S FLOWER BLVD		LOS ANGELES	P	1913	PROJ. REVW.	FCC061026C	01/10/07	6Y				
142556		S FLOWER ST	SOUTHERN CALIFORNIA GAS COMPANY CO	LOS ANGELES	P	1925	HIST. RES. NAT. REG. TAX. CERT.	NPS-04000623-0000 19-0431 537.9-19-0297	06/22/04 09/18/03 12/04/09	1S 3S 1S	AC AC A			
069368	19-173795	538 S FLOWER ST	CALIFORNIA CLUB	LOS ANGELES	P	1929	HIST. RES. PROJ. REVW.	DOE-19-79-0011-0000 65000686	10/28/77 03/28/79	2S 2S				
020858	19-166934	538 S FLOWER ST	CALIFORNIA CLUB	LOS ANGELES	P	1929	HIST. RES. NAT. REG. HIST. SURV.	NPS-10000452-0000 19-0562 0053-4460-0000	07/06/10 12/29/09 06/01/78	1S 3S 7K	C C C			
							HIST. RES. PROJ. REVW. HIST. SURV.	DOE-19-79-0011-0000 UMTA781024A 0053-0067-0000	03/28/79 10/24/78 01/01/79	2S2 2S2 2S	C C C			
123683		550 S FLOWER ST	SUPERIOR OIL COMPANY BUILDING	LOS ANGELES	P	1955	PROJ. REVW. HIST. RES. NAT. REG. TAX. CERT.	65000686 NPS-03000059-0000 19-0411 537.9-19-0235	03/28/79 02/28/02 08/19/02 11/12/02	2S2 1S 3S 1S	C C C C			
127803		612 S FLOWER ST	GENERAL PETROLEUM COMPANY BUILDING	LOS ANGELES	P	1947	HIST. RES. NAT. REG. TAX. CERT.	NPS-04000621-0000 19-0432 537.9-19-0252	06/22/04 11/01/03 07/27/05	1S 3S 1S	C C C			
026141	19-172128	713 S FLOWER ST	LOS ANGELES NATIONAL BANK	LOS ANGELES	P	1930	HIST. SURV.	0053-3469-0000		7N				
026142	19-172129	723 S FLOWER ST	MID-TOWN PARKING CENTER	LOS ANGELES	P		HIST. SURV.	0053-3470-0000		7R				
026143	19-172130	729 S FLOWER ST	LA SOUP COMPANY / H WOOD ASSOCIATI	LOS ANGELES	P	1923	HIST. SURV.	0053-3471-0000		3S				
026144	19-172131	737 S FLOWER ST	SKI	LOS ANGELES	P	1926	HIST. SURV.	0053-3472-0000		7N				
026145	19-172132	741 S FLOWER ST	PARMALEE-DOHRMAN COMPANY BUILDING,	LOS ANGELES	P	1926	HIST. SURV.	0053-3473-0000		7N				
026146	19-172133	757 S FLOWER ST	GENERAL PETROLEUM CORPORATION PARK	LOS ANGELES	P	1948	HIST. SURV.	0053-3474-0000		7R				
142618		800 S FLOWER ST	SOUTHERN CALIFORNIA GAS COMPANY BU	LOS ANGELES	P	1959	HIST. RES. TAX. CERT.	NPS-04000623-0001 537.9-19-0297	06/22/04 11/22/02	6X 6X				
027249	19-173181	810 S FLOWER ST	SOUTHERN CALIFORNIA GAS COMPANY BL	LOS ANGELES	P	1925	HIST. RES. TAX. CERT. HIST. SURV.	NPS-04000623-0002 537.9-19-0297 0053-4545-0000	06/22/04 11/22/02	1D 2D3 3S	AC C C			
142557		820 S FLOWER ST	SOUTHERN CALIFORNIA GAS COMPANY BU	LOS ANGELES	P	1941	HIST. RES. TAX. CERT.	NPS-04000623-0003 537.9-19-0297	06/22/04 11/22/02	1D 2D3	AC C			
142617		830 S FLOWER ST	SOUTHERN CALIFORNIA GAS COMPANY BU	LOS ANGELES	P	1952	HIST. RES. TAX. CERT.	NPS-04000623-0004 537.9-19-0297	06/22/04 11/22/02	1D 2D3	AC C			
026027	19-172015	914 S FLOWER ST	CIVIC CENTER BODY SHOP	LOS ANGELES	P	1922	HIST. SURV.	0053-3430-0000		7N				
026028	19-172016	926 S FLOWER ST	S T AUTO REPAIR	LOS ANGELES	P	1912	HIST. SURV.	0053-3431-0000		7R				
026029	19-172017	928 S FLOWER ST	HARRY M HOFFMAN, FLEET SERVICES LT	LOS ANGELES	P	1921	HIST. SURV.	0053-3432-0000		5S2				
026030	19-172018	935 S FLOWER ST	LAS FLORES APARTMENTS	LOS ANGELES	P	1912	HIST. SURV.	0053-3433-0000		3S				
026031	19-172019	950 S FLOWER ST	SIGNS	LOS ANGELES	P	1925	HIST. SURV.	0053-3434-0000		5S2				
026032	19-172020	960 S FLOWER ST	UNIVERSAL VISA	LOS ANGELES	P	1921	HIST. SURV.	0053-3435-0000		5S2				
026034	19-172022	1010 S FLOWER ST	BOWES BUILDING	LOS ANGELES	P	1958	HIST. SURV.	0053-3437-0000		7R				
026033	19-172021	1011 S FLOWER ST	PETROLEUM BUILDING, SECURITY PACIF	LOS ANGELES	P	1925	HIST. SURV.	0053-3436-0000		3S				
020938	19-167005	1201 S FLOWER ST	CHRIST EPISCOPAL CHURCH, TRINITY M	LOS ANGELES	P	1903	HIST. SURV.	0053-0130-0000		3S				
165288		1801 S FLOWER ST	MATHIAS APARTMENTS	LOS ANGELES	P	1913	PROJ. REVW.	FCC070131A	03/09/07	6Y				
068425	19-173749	3742 S FLOWER ST		LOS ANGELES	P	1939	HIST. RES.	DOE-19-90-0002-0004	08/28/90	2D2	C			

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PROPERTY-NUMBER	PRIMARY-#	STREET-ADDRESS	NAMES	CITY-NAME	OWN	YR-C	OHP-PROG..	PRG-REFERENCE-NUMBER	STAT-DAT	NRS	CRIT			
026450	19-172437	1237 S GRAMERCY PL	JARRETT RESIDENCE	LOS ANGELES	P	1909	PROJ.REVW. HIST.SURV.	HUD040701F 0053-3778-0000	07/08/04	2S2 3S				
							HIST.RES.	DOE-19-04-0322-0000	07/08/04	2S2	AC			
027405	19-173333	3650 S GRAMERCY PL	ST. GEORGE SYRIAN AM ORTHO ANTIOCH	LOS ANGELES	P	1931	PROJ.REVW. HIST.SURV.	HUD040701F 0053-4672-0000	07/08/04	2S2 7N				
	19-162391													
175323		3758 S GRAMERCY PL		LOS ANGELES	P	1923	PROJ.REVW.	HUD070529J	07/05/07	6U				
094288	19-175032	5133 S GRAMERCY PL		LOS ANGELES	P	1913	PROJ.REVW.	HUD941114D	01/06/95	6Y				
175325		5206 S GRAMERCY PL		LOS ANGELES	P	1920	PROJ.REVW.	HUD070529J	07/05/07	6U				
083791	19-174585	10339 S GRAMERCY PL		LOS ANGELES	U	1939	PROJ.REVW.	HUD910630s	08/24/93	6Y				
175324		4807 S GRAMERCY PL PL		LOS ANGELES	P	1925	PROJ.REVW.	HUD070529J	07/05/07	6U				
156617		420 S GRAND AVE	AT&T TELECOMMUNICATIONS FACILITY	LOS ANGELES	P	1959	PROJ.REVW.	FCC051102E	11/09/05	2S2	C			
027142	19-173095	533 S GRAND AVE	MAYFLOWER HOTEL	LOS ANGELES	P	1927	HIST.RES.	DOE-19-79-0027-0000	03/28/79	2S2	C			
							PROJ.REVW.	UMTA781024A	03/28/79	2S2	C			
							HIST.SURV.	0053-4456-0000		7R				
027302	19-173234	540 S GRAND AVE	PACIFIC MUTUAL GARAGE AND ANNEX	LOS ANGELES	P	1921	HIST.SURV.	0053-4598-0000		3S				
131082		609 S GRAND AVE	EDWARDS WILDEY BUILDING	LOS ANGELES	P	1924	TAX.CERT.	537.9-19-0291		2S3				
							TAX.CERT.	537.9-19-0286		7J				
127365		708 S GRAND AVE	NEW YORK CLOAK & SUIT HOUSE (BROCK	LOS ANGELES	P	1912	HIST.RES.	NPS-08001276-0000	05/21/09	1S	AC			
							TAX.CERT.	537.9-19-0244	03/06/01	3S	ABC			
026151	19-172138	716 S GRAND AVE	BLAIRS	LOS ANGELES	P	1922	HIST.SURV.	0053-3479-0000		5S2				
026152	19-172139	722 S GRAND AVE	GRAND SNACK BAR / BOOTS SHOE BGS	LOS ANGELES	P	1925	HIST.SURV.	0053-3480-0000		5S2				
026153	19-172140	732 S GRAND AVE	CYNTHIAS FASHIONS	LOS ANGELES	P	1938	HIST.SURV.	0053-3481-0000		5S2				
026154	19-172141	758 S GRAND AVE		LOS ANGELES	P	1914	HIST.SURV.	0053-3482-0000		5S2				
026155	19-172142	800 S GRAND AVE	HENRY'S CAMERA	LOS ANGELES	P	1921	HIST.SURV.	0053-3483-0000		5S2				
119052		816 S GRAND AVE	816 SOUTH GRAND AVENUE	LOS ANGELES	P	1924	HIST.RES.	NPS-04001075-0000	12/02/04	1S	C			
							NAT.REG.	19-0448	03/11/04	3S	C			
							TAX.CERT.	537.9-19-0216	01/05/05	2S3	C			
073664	19-174092	832 S GRAND AVE	AMHERST APARTMENTS	LOS ANGELES	P	0	TAX.CERT.	537.9-19-0046	03/11/86	7M				
116237		836 S GRAND AVE		LOS ANGELES	P	1912	HIST.RES.	DOE-19-96-0158-0000	02/26/96	6U				
							PROJ.REVW.	HUD960801E	02/26/96	6U				
027099	19-173067	843 S GRAND AVE	THE EMBASSY AUDITORIUMS, TRINITY M	LOS ANGELES	P	1888	HIST.SURV.	0053-4421-0000		7R				
020861	19-166937	851 S GRAND AVE	EMBASSY HOTEL-AUDITORIUM	LOS ANGELES	P	1913	HIST.RES.	DOE-19-94-0366-0000	05/15/94	2S2				
							PROJ.REVW.	HRG940202Z	05/15/94	2S2				
							HIST.RES.	DOE-19-87-0002-0000	01/28/87	2S3	AC			
							TAX.CERT.	537.9-19-0105	01/28/87	2S3	AC			
							HIST.SURV.	0053-0070-0000		3S				
027268	19-173200	1401 S GRAND AVE	CALIFORNIA LUTHERAN HOSPITAL	LOS ANGELES	P	1925	HIST.RES.	DOE-19-96-0348-0000	11/06/96	6Y				
							PROJ.REVW.	FEMA961106T	11/06/96	6Y				
							HIST.SURV.	0053-4564-0000		3S				
027253	19-173185	1621 S GRAND AVE	YOUNG APARTMENTS	LOS ANGELES	P	1911	TAX.CERT.	537.9-19-0038	06/26/86	2S3				
							HIST.SURV.	0053-4549-0000		3S				
086524	19-174801	3100 S GRAND AVE	WESTERN HOLSTEIN FARMS INCORPORATE	LOS ANGELES	U	1930	HIST.SURV.	0053-4793-0000	06/01/92	6L				
	19-166354													
098022	19-175420	3107 S GRAND AVE	SALVATION ARMY- HARMONY HOUSE	LOS ANGELES	P		HIST.RES.	DOE-19-94-0014-0000	06/17/94	6Y				
	19-166135						PROJ.REVW.	HRG940202Z	06/17/94	6Y				
098023	19-175421	3401 S GRAND AVE	USC PARKING STRUCTURE	LOS ANGELES	P		HIST.RES.	DOE-19-94-0146-0000	06/29/94	6Y				
							PROJ.REVW.	HRG940202Z	06/29/94	6Y				
100655	19-176202	3600 S GRAND AVE	USC-CENTRAL RECEIVING	LOS ANGELES	P		HIST.RES.	DOE-19-94-0411-0000	12/20/94	6Y				
							PROJ.REVW.	HRG940202Z	12/20/94	6Y				
132215		3625 S GRAND AVE		LOS ANGELES	P	1921	HIST.RES.	DOE-19-02-0948-0000	02/04/02	6Y				
							PROJ.REVW.	FCC011217AP	02/04/02	6Y				
068431	19-173755	3701 S GRAND AVE		LOS ANGELES	P	1921	HIST.RES.	DOE-19-90-0020-0000	08/28/90	6Y				
							PROJ.REVW.	FHWA900730C	08/28/90	6Y				
068432	19-173756	3705 S GRAND AVE		LOS ANGELES	P	1922	HIST.RES.	DOE-19-90-0021-0000	08/28/90	6Y				

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PROPERTY-NUMBER	PRIMARY-#	STREET-ADDRESS.....	NAMES.....	CITY-NAME.....	OWN	YR-C	OHP-PROG..	PRG-REFERENCE-NUMBER	STAT-DAT	NRS	CRIT			
175683		8301 S HOOVER ST		LOS ANGELES		1922	PROJ.REVW.	HUD010201B	01/31/01	6Y				
131124		9210 S HOOVER ST		LOS ANGELES		1923	PROJ.REVW.	HUD090126A	01/28/09	6U				
							HIST.RES.	DOE-19-02-0198-0000	04/02/02	6Y				
175335		9228 S HOOVER ST		LOS ANGELES	P	1946	PROJ.REVW.	HUD070529J	07/05/07	6U				
098051	19-175446	9301 S HOOVER ST	HARTE PREPARATORY INTERMEDIATE SCH	LOS ANGELES	D	1929	HIST.RES.	DOE-19-94-0043-0000	08/15/94	6L				
							PROJ.REVW.	HRG940202Z	08/15/94	6Y				
083855	19-174596	9428 S HOOVER ST		LOS ANGELES	P	1933	PROJ.REVW.	HUD930719D	08/24/93	6Y				
154054		9707 S HOOVER ST		LOS ANGELES		1941	PROJ.REVW.	HUD040202L	02/02/04	6U				
020942	19-167009	558 S HOPE ST	BIBLE INSTITUTE	LOS ANGELES	P	1913	HIST.SURV.	0053-0134-0000		3S				
026149	19-172136	734 S HOPE ST	LOS ANGELES THIRD CHURCH OF CHRIST	LOS ANGELES	P	1936	HIST.SURV.	0053-3477-0000		3S				
026148	19-172135	742 S HOPE ST	AUTO CENTRE / CHARTERED AUTO PRK	LOS ANGELES	P	1925	HIST.SURV.	0053-3476-0000		5S2				
026147	19-172134	754 S HOPE ST	CENTURY PARKING COMPANY	LOS ANGELES	P	1970	HIST.SURV.	0053-3475-0000		7R				
026167	19-172154	916 S HOPE ST	SPEEDY INVESTIGATIONS INCORPORATED	LOS ANGELES	P	1923	HIST.SURV.	0053-3495-0000		7R				
026041	19-172029	926 S HOPE ST		LOS ANGELES	P	1917	HIST.SURV.	0053-3444-0000		7R				
026042	19-172030	928 S HOPE ST	LYONS APARTMENTS	LOS ANGELES	P	1904	HIST.SURV.	0053-3445-0000		3S				
026040	19-172028	942 S HOPE ST		LOS ANGELES	P	1922	HIST.SURV.	0053-3443-0000		7R				
026037	19-172025	1001 S HOPE ST	FACTORY FURNITURE CENTER	LOS ANGELES	P	1913	HIST.SURV.	0053-3440-0000		3S				
026039	19-172027	1028 S HOPE ST	UNION BANK COMPUTER SERVICE CENTER	LOS ANGELES	P	1964	HIST.SURV.	0053-3442-0000		7R				
067417	19-173699	1033 S HOPE ST	PACIFIC EMPLOYERS INSURANCE COMPAN	LOS ANGELES	P	1937	HIST.RES.	DOE-19-90-0052-0000	06/07/90	2S2	C			
							PROJ.REVW.	HUD900507D	06/07/90	2S2	C			
							HIST.SURV.	0053-4562-0000		3S				
179144		1200 S HOPE ST	BASEMENT CLOTHING	LOS ANGELES	P	1929	PROJ.REVW.	FCC100201C	03/17/10	6Y				
027267	19-173199	1329 S HOPE ST	INDEPENDENT ORDER OF FORESTERS, HO	LOS ANGELES	P	1928	HIST.SURV.	0053-4563-0000		3S				
125145		1332 S HOPE ST		LOS ANGELES	Y	1929	HIST.RES.	DOE-19-98-0335-0000	08/03/98	6Y				
							PROJ.REVW.	HUD980803I	08/03/98	6Y				
102835	19-176434	1401 S HOPE ST		LOS ANGELES	P	1927	PROJ.REVW.	HUD960712E	08/02/96	6Y				
020868	19-166944	1600 S HOPE ST	ASHLAND HOTEL	LOS ANGELES	P	1902	HIST.SURV.	0053-0077-0000		3S				
068427	19-173751	3500 S HOPE ST		LOS ANGELES	P	1928	HIST.RES.	DOE-19-90-0016-0000	08/28/90	6Y				
	19-166145						PROJ.REVW.	FHWA900730C	08/28/90	6Y				
068428	19-173752	3700 S HOPE ST		LOS ANGELES	P	1928	HIST.RES.	DOE-19-90-0017-0000	08/28/90	6Y				
							PROJ.REVW.	FHWA900730C	08/28/90	6Y				
068433	19-173757	3726 S HOPE ST		LOS ANGELES	P	1922	HIST.RES.	DOE-19-90-0022-0000	08/28/90	6Y				
							PROJ.REVW.	FHWA900730C	08/28/90	6Y				
068434	19-173758	3730 S HOPE ST		LOS ANGELES	P	1925	HIST.RES.	DOE-19-90-0023-0000	08/28/90	6Y				
							PROJ.REVW.	FHWA900730C	08/28/90	6Y				
064408	19-173346	526 S HUDSON AVE	MORTIMER P. PROCTOR HOUSE	LOS ANGELES	U		HIST.RES.	DOE-19-86-0083-0000	02/04/86	2S2	C			
							PROJ.REVW.	FHWA860108D	02/04/86	2S2	C			
064922	19-173433	602 S HUDSON AVE	GEORGE N. WHITING HOUSE	LOS ANGELES	U		HIST.RES.	DOE-19-86-0084-0000	02/04/86	2S2	C			
							PROJ.REVW.	FHWA860108E	02/04/86	2S2	C			
							PROJ.REVW.	65000810	08/13/86					
027063	19-173041	115 S INDIANA ST		LOS ANGELES	P	1860	HIST.SURV.	0053-4380-0000		3S				
096328	19-175132	173 S INDIANA ST		LOS ANGELES	P		PROJ.REVW.	HUD950515F	06/21/95	6Y				
091407	19-174942	508 S INDIANA ST	SPANISH AMERICAN BAPTIST SEMINARY	LOS ANGELES	P	1930	PROJ.REVW.	HUD030710C	11/14/03	6U				
							HIST.RES.	DOE-19-94-0703-0000	08/30/94	6Y				
116345		901 S IROLO ST		LOS ANGELES	P	1928	PROJ.REVW.	FTA940429A	08/30/94	6Y				
							HIST.RES.	DOE-19-96-0257-0000	09/16/96	6U				
							PROJ.REVW.	HUD970203Z	09/16/96	6U				
100656	19-176203	605 S IRVING BLVD	THE MAYOR'S RESIDENCE	LOS ANGELES	M	1920	HIST.RES.	DOE-19-94-0412-0000	08/29/94	2S2	C			
							PROJ.REVW.	HRG940202Z	08/29/94	2S2	C			
083905	19-174604	617 S KEENAN AVE		LOS ANGELES	U	1928	PROJ.REVW.	HUD911126D	08/26/93	6Y				
175340		2524 S KELTON AVE		LOS ANGELES	P	1941	PROJ.REVW.	HUD070529J	07/05/07	6U				
180076		3612 S KELTON AVE		LOS ANGELES	P	1948	PROJ.REVW.	HUD100927C	10/12/10	6U				
096985	19-175176	133 S KENMORE AVE		LOS ANGELES	P	1923	PROJ.REVW.	HUD950630L	07/20/95	6Y				
027366	19-173295	1200 S KENMORE AVE	J. M. SCHAEFLE MEMORIAL CONGREG CH	LOS ANGELES	P	1920	HIST.SURV.	0053-4647-0000		7N				
175566		1400 S KENMORE AVE		LOS ANGELES	P	1927	PROJ.REVW.	HUD080707A	07/22/08	6U				

ROPERTY-NUMBER	PRIMARY-#	STREET-ADDRESS.....	NAMES.....	CITY-NAME.....	OWN	YR-C	OHP-PROG..	PRG-REFERENCE-NUMBER	STAT-DAT	NRS	CRIT
153593		1047 W 80TH ST		LOS ANGELES			HIST.RES.	DOE-19-00-0098-0024	03/31/00	6U	
							PROJ.REVW.	HUD000327A	03/31/00	6U	
153594		1051 W 80TH ST		LOS ANGELES			HIST.RES.	DOE-19-00-0098-0026	03/31/00	6U	
							PROJ.REVW.	HUD000327A	03/31/00	6U	
153595		1139 W 80TH ST		LOS ANGELES			HIST.RES.	DOE-19-00-0098-0027	03/31/00	6U	
							PROJ.REVW.	HUD000327A	03/31/00	6U	
153596		1223 W 80TH ST		LOS ANGELES			HIST.RES.	DOE-19-00-0098-0028	03/31/00	6U	
153597		1235 W 80TH ST		LOS ANGELES			HIST.RES.	DOE-19-00-0098-0029	03/31/00	6U	
							PROJ.REVW.	HUD000327A	03/31/00	6U	
153598		1241 W 80TH ST		LOS ANGELES			HIST.RES.	DOE-19-00-0098-0030	03/31/00	6U	
							PROJ.REVW.	HUD000327A	03/31/00	6U	
153599		1242 W 80TH ST		LOS ANGELES			HIST.RES.	DOE-19-00-0098-0031	03/31/00	6U	
							PROJ.REVW.	HUD000327A	03/31/00	6U	
153600		1246 W 80TH ST		LOS ANGELES			HIST.RES.	DOE-19-00-0098-0032	03/31/00	6U	
							PROJ.REVW.	HUD000327A	03/31/00	6U	
153601		1317 W 80TH ST		LOS ANGELES			HIST.RES.	DOE-19-00-0098-0033	03/31/00	6U	
							PROJ.REVW.	HUD000327A	03/31/00	6U	
153602		1323 W 80TH ST		LOS ANGELES			HIST.RES.	DOE-19-00-0098-0034	03/31/00	6U	
							PROJ.REVW.	HUD000327A	03/31/00	6U	
180123		6034 W 8TH AVE		LOS ANGELES	P	1930	PROJ.REVW.	HUD100927C	10/12/10	6U	
097915	19-175349	122 W 8TH ST	HARBOR HEALTH CENTER	LOS ANGELES	C	1949	HIST.RES.	DOE-19-94-0216-0000	07/09/94	6L	
							PROJ.REVW.	HRG940202Z	07/09/94	6L	
027309	19-173241	200 W 8TH ST	LANE MORTGAGE BUILDING	LOS ANGELES	P	1922	HIST.SURV.	0053-4605-0000		3S	
020929	19-166998	301 W 8TH ST	MERRITT BUILDING	LOS ANGELES	P	1914	HIST.RES.	NPS-02000330-0038	04/12/02	1D	AC
							HIST.RES.	DOE-19-98-0239-0082	12/08/98	2D2	AC
							PROJ.REVW.	FHWA981110A	12/08/98	2D2	AC
							HIST.RES.	NPS-79000484-0039	05/09/79	1D	
							HIST.SURV.	0053-0121-0000		3S	
021232	19-167275	403 W 8TH ST	GARFIELD BUILDING	LOS ANGELES	P	1929	TAX.CERT.	537.9-19-0130	07/14/83	7K	
							HIST.SURV.	0053-4612-0000	04/01/83	3S	
							HIST.RES.	NPS-82002191-0000	06/25/82	1S	
							HIST.SURV.	0053-0123-0000	09/01/76	7N	
027311	19-173243	416 W 8TH ST	COMMERCIAL EXCHANGE BUILDING	LOS ANGELES	P	1923	HIST.SURV.	0053-4607-0000		3S	
020986	19-167049	419 W 8TH ST	LINDY HOTEL	LOS ANGELES	P	1905	HIST.SURV.	0053-0167-0000		3S	
							HIST.SURV.	0053-3488-0000		3S	
026161	19-172148	423 W 8TH ST	WOODWARD HOTEL, HOTEL BRISTOL	LOS ANGELES	P	1906	TAX.CERT.	537.9-19-0065	06/09/86	6X	
							HIST.SURV.	0053-3489-0000		3S	
026162	19-172149	427 W 8TH ST	HOTEL ROCKWOOD, HOTEL OLIVE	LOS ANGELES	P	1910	HIST.SURV.	0053-3490-0000		5S2	
026159	19-172146	501 W 8TH ST		LOS ANGELES	P	1923	HIST.SURV.	0053-3487-0000		5S2	
026157	19-172144	510 W 8TH ST	MALENAS PHOTO STUDIO	LOS ANGELES	P	1920	HIST.SURV.	0053-3485-0000		7R	
026156	19-172143	514 W 8TH ST	JONNYS	LOS ANGELES	P	1910	HIST.SURV.	0053-3484-0000		5S2	
020987	19-167050	813 W 8TH ST	LOS ANGELES FIRST METHODIST CHURCH	LOS ANGELES	P	1922	HIST.SURV.	0053-0168-0000		3S	
026130	19-172118	918 W 8TH ST	BERG HOTEL/APARTMENTS	LOS ANGELES	P	1912	HIST.SURV.	0053-3458-0000		7N	
026131	19-172119	946 W 8TH ST	MOBIL	LOS ANGELES	P	1963	HIST.SURV.	0053-3459-0000		7R	
026132	19-172120	947 W 8TH ST	MEDICO-DENTAL BUILDING	LOS ANGELES	P	1925	HIST.SURV.	0053-3460-0000		7N	
131265		2910 W 8TH ST		LOS ANGELES	P	1926	HIST.RES.	DOE-19-02-0305-0000	04/05/02	6Y	
							PROJ.REVW.	HUD010131B	04/05/02	6Y	
027392	19-173320	2936 W 8TH ST	LOS ANGELES FIRST UNITARIAN CHURCH	LOS ANGELES	P	1926	PROJ.REVW.	HUD100111N	02/01/10	2S2	C
							HIST.SURV.	0053-4660-9999		3D	
027391	19-173319	2936 W 8TH ST	LOS ANGELES FIRST UNITARIAN CHURCH	LOS ANGELES	P	1926	PROJ.REVW.	HUD110502H	05/12/11	2S2	
							HIST.SURV.	0053-4660-0002		3B	
027390	19-173318	2936 W 8TH ST	LOS ANGELES FIRST UNITARIAN CHURCH	LOS ANGELES	P	1926	HIST.SURV.	0053-4660-0001		3B	
134847		3049 W 8TH ST	THE MAYAN BUILDING	LOS ANGELES	P	1926	HIST.RES.	DOE-19-02-1079-0000	10/08/02	6Y	
							PROJ.REVW.	FCC020807O	10/08/02	6Y	
151823		3301 W 8TH ST		LOS ANGELES	P	1929	HIST.RES.	DOE-19-04-0373-0000	11/12/04	2S2	C
							PROJ.REVW.	FCC041112J	11/12/04	2S2	C

OFFICE OF HISTORIC PRESERVATION * * * Directory of Properties in the Historic Property Data File for LOS ANGELES County.										Page 603	04-05-12	
PROPERTY-NUMBER	PRIMARY-#	STREET-ADDRESS.....	NAMES.....	CITY-NAME.....	OWN	YR-C	OHP-PROG..	PRG-REFERENCE-NUMBER	STAT-DAT	NRS	CRIT	
083781	19-174582	1317 W 98TH ST		LOS ANGELES	U	1922	PROJ.REVW.	HUD910630h	08/24/93	6Y		
175747		1504 W 98TH ST		LOS ANGELES	P	1939	PROJ.REVW.	HUD090126A	01/28/09	6U		
175523		2049 W 98TH ST		LOS ANGELES	P	1953	PROJ.REVW.	HUD070529J	07/05/07	6U		
070355	19-173977	112 W 99TH ST		LOS ANGELES	U	1932	PROJ.REVW.	HUD910430X	05/09/91	6Y		
175524		209 W 99TH ST		LOS ANGELES	P	1910	PROJ.REVW.	HUD070529J	07/05/07	6U		
070346	19-173968	229 W 99TH ST		LOS ANGELES	U	1923	PROJ.REVW.	HUD910430O	05/09/91	6Y		
070303	19-173952	229 W 99TH ST		LOS ANGELES	U	1923	PROJ.REVW.	HUD910430O	05/09/91	6Y		
084985	19-174643	614 W 99TH ST		LOS ANGELES	P	1941	PROJ.REVW.	HUD931101B	12/14/93	6Y		
084114	19-174615	629 W 99TH ST		LOS ANGELES	P	1941	PROJ.REVW.	HUD930806E	09/03/93	6Y		
084089	19-174613	646 W 99TH ST		LOS ANGELES	P	1941	PROJ.REVW.	HUD930730E	09/02/93	6Y		
082814	19-174506	759 W 99TH ST		LOS ANGELES	P	1938	PROJ.REVW.	HUD930608G	07/15/93	6Y		
153072		843 W 99TH ST		LOS ANGELES		1924	PROJ.REVW.	HUD050404N	04/19/05	6U		
181236		1017 W 99TH ST		LOS ANGELES	P	1926	PROJ.REVW.	HUD110131A	02/11/11	6U		
153166		1101 W 99TH ST		LOS ANGELES		1925	PROJ.REVW.	HUD030710C	11/14/03	6U		
127612		1517 W 99TH ST		LOS ANGELES		1936	HIST.RES.	DOE-19-01-0159-0000	01/31/01	6Y		
							PROJ.REVW.	HUD010201B	01/31/01	6Y		
027312	19-173244	101 W 9TH ST	WILLIAM MAY GARLAND BUILDING	LOS ANGELES	P	1923	HIST.SURV.	0053-4608-0000		3S		
027313	19-173245	102 W 9TH ST	MARSH & STRONG BUILDING, APPAREL M	LOS ANGELES	P	1912	HIST.SURV.	0053-4609-0000		3S		
023374	19-169396	237 W 9TH ST		LOS ANGELES	P	1906	HIST.SURV.	0053-0825-0000		7R		
023375	19-169397	245 W 9TH ST		LOS ANGELES	P	1902	HIST.SURV.	0053-0826-0000		5S2		
023376	19-169398	257 W 9TH ST		LOS ANGELES	P	1900	HIST.SURV.	0053-0827-0000		5S2		
023377	19-169399	263 W 9TH ST		LOS ANGELES	P	1908	HIST.SURV.	0053-0828-0000		5S2		
027314	19-173246	318 W 9TH ST	INSURANCE EXCHANGE / PACIFIC BELL	LOS ANGELES	P	0	HIST.SURV.	0053-4610-0000		3S		
075416	19-174234	339 W 9TH ST		LOS ANGELES	U	1912	PROJ.REVW.	HUD920224F	03/23/92	6Y		
023383	19-169405	615 W 9TH ST		LOS ANGELES	P	1928	HIST.SURV.	0053-0834-0000		7R		
027168	19-173107	811 W 9TH ST	ORIGINAL PANTRY AND STORES	LOS ANGELES	P	1917	HIST.SURV.	0053-4482-0000		7R		
027387	19-173315	1433 W 9TH ST	LOS ANGELES CHURCH OF THE IMMACULA	LOS ANGELES	P	1927	HIST.SURV.	0053-4659-0001		7N		
027388	19-173316	1433 W 9TH ST	CHURCH RECTORY	LOS ANGELES	P	1927	HIST.SURV.	0053-4659-0002		7N		
027389	19-173317	1433 W 9TH ST	LOS ANGELES CHURCH OF THE IMMACULA	LOS ANGELES	P	1927	HIST.SURV.	0053-4659-9999		7N		
074260	19-174156	2223 W 9TH ST		LOS ANGELES	U	1905	HIST.RES.	DOE-19-92-0027-0000	01/09/92	6Y		
							PROJ.REVW.	HUD911213L	01/09/92	6Y		
074259	19-174155	2227 W 9TH ST		LOS ANGELES	U	1905	HIST.RES.	DOE-19-92-0026-0000	01/09/92	6Y		
							PROJ.REVW.	HUD911213L	01/09/92	6Y		
074258	19-174154	2301 W 9TH ST		LOS ANGELES	U	1901	HIST.RES.	DOE-19-92-0025-0000	01/09/92	6Y		
							PROJ.REVW.	HUD911213L	01/09/92	6Y		
074240	19-174136	2310 W 9TH ST		LOS ANGELES	U	1909	HIST.RES.	DOE-19-92-0007-0000	01/09/92	6Y		
							PROJ.REVW.	HUD911213L	01/09/92	6Y		
074241	19-174137	2314 W 9TH ST		LOS ANGELES	U	1903	HIST.RES.	DOE-19-92-0008-0000	01/09/92	6Y		
							PROJ.REVW.	HUD911213L	01/09/92	6Y		
074257	19-174153	2317 W 9TH ST		LOS ANGELES	U	1902	HIST.RES.	DOE-19-92-0024-0000	01/09/92	6Y		
							PROJ.REVW.	HUD911213L	01/09/92	6Y		
074256	19-174152	2323 W 9TH ST		LOS ANGELES	U	1902	HIST.RES.	DOE-19-92-0023-0000	01/09/92	6Y		
							PROJ.REVW.	HUD911213L	01/09/92	6Y		
074255	19-174151	2327 W 9TH ST		LOS ANGELES	U	1901	HIST.RES.	DOE-19-92-0022-0000	01/09/92	6Y		
							PROJ.REVW.	HUD911213L	01/09/92	6Y		
074254	19-174150	2401 W 9TH ST		LOS ANGELES	U	1912	HIST.RES.	DOE-19-95-0193-0000	11/27/95	6Y		
							PROJ.REVW.	HUD950911H	11/27/95	6Y		
							HIST.RES.	DOE-19-92-0021-0000	01/09/92	6Y		
							PROJ.REVW.	HUD911213L	01/09/92	6Y		
074253	19-174149	2407 W 9TH ST		LOS ANGELES	U	1913	HIST.RES.	DOE-19-92-0020-0000	01/09/92	6Y		
							PROJ.REVW.	HUD911213L	01/09/92	6Y		
079662	19-174407	W ADAMS BLVD		LOS ANGELES	U		PROJ.REVW.	HUD930108A	01/08/93	7J		
021470	19-166133	234 W ADAMS BLVD	GRACE APARTMENT HOTE, GRACE APARTM	LOS ANGELES	P	1909	HIST.SURV.	0053-0381-0000		7R		
	19-167503											
020958	19-167023	514 W ADAMS BLVD	ST JOHN'S EPISCOPAL CHURCH	LOS ANGELES	P	1922	HIST.RES.	NPS-00000425-0000	06/11/99	1S	C	
							NAT.REG.	19-0278	06/11/99	3S	C	

PROPERTY-NUMBER	PRIMARY-#	STREET-ADDRESS.....	NAMES.....	CITY.NAME.....	OWN	YR-C	OHP-PROG..	PRG-REFERENCE-NUMBER	STAT-DAT	NRS	CRIT
153039		351 W MOUNT WASHINGTON DR		LOS ANGELES		1905	PROJ.REVW.	HUD050404N	04/19/05	6U	
175707		11850 W NORTH PARK AVE		LOS ANGELES		1948	PROJ.REVW.	HUD090126A	01/28/09	6U	
171697		11018 W OLINDA ST		LOS ANGELES		1920	PROJ.REVW.	HUD080109F	04/17/08	6U	
021282	19-167316	409 W OLYMPIC BLVD	FEDERAL RESERVE BANK OF SAN FRANCI	LOS ANGELES	F	1929	HIST.RES.	NPS-84000843-0000	09/20/84	1S	
							HIST.SURV.	0053-0362-0000	01/01/84	1S	
026038	19-172026	605 W OLYMPIC BLVD	STANDARD OIL BUILDING	LOS ANGELES	P	1924	HIST.SURV.	0053-3441-0000		3S	
							HIST.RES.	DOE-19-80-0001-0000	03/13/80	2S2	AC
							PROJ.REVW.	HUD791001A	11/28/79	2S2	AC
026035	19-172023	618 W OLYMPIC BLVD	LOS ANGELES DESK COMPANY	LOS ANGELES	P	1934	HIST.SURV.	0053-3438-0000		5S2	
026036	19-172024	623 W OLYMPIC BLVD	COFFEE SHOP	LOS ANGELES	P	1925	HIST.SURV.	0053-3439-0000		7R	
027085	19-173054	716 W OLYMPIC BLVD	SECURITY PACIFIC BUILDING	LOS ANGELES	P	1925	HIST.SURV.	0053-4406-0000	01/01/80	2S2	
							HIST.RES.	DOE-19-80-0002-0000	03/13/80	2S2	AC
							PROJ.REVW.	HUD791001A	11/29/79	2S2	AC
179180		1300 W OLYMPIC BLVD		LOS ANGELES	P	1964	PROJ.REVW.	FCC100209D	02/26/10	6Y	
026298	19-172285	3501 W OLYMPIC BLVD	BESSIE L. BURRALL HOME	LOS ANGELES	P	1913	HIST.SURV.	0053-3626-0000		7N	
026299	19-172286	3505 W OLYMPIC BLVD	EDWARD M DAUGERTY HOME	LOS ANGELES	P	1919	HIST.SURV.	0053-3627-0000		7N	
021264	19-167302	4645 W OLYMPIC BLVD	MEMORIAL BRANCH LIBRARY	LOS ANGELES	M	1930	HIST.RES.	DOE-19-94-0565-0000	08/27/94	2S2	AC
							PROJ.REVW.	HRG940202Z	09/30/94	2S2	AC
							HIST.RES.	NPS-87001015-0000	05/19/87	1S	AC
							HIST.SURV.	0053-0025-0000	05/19/87	3S	AC
097811	19-175295	6351 W OLYMPIC BLVD	CARTHAY CENTER ELEMENTARY SCHOOL	LOS ANGELES	D	1926	HIST.RES.	DOE-19-94-0523-0000	08/15/94	6Y	
							PROJ.REVW.	HRG940202Z	08/15/94	6Y	
021255	19-167294	309 W OPP ST	WILMINGTON BRANCH LIBRARY	LOS ANGELES	M	1927	HIST.RES.	DOE-19-94-0379-0000	08/27/94	2S4	
							PROJ.REVW.	HRG940202Z	09/30/94	2S4	
							ST.FND.PRG	619.0-HP-88-19-043	12/21/88	3	
							HIST.RES.	NPS-87001023-0000	05/19/87	1S	AC
182739		13607 W OSBORNE ST		LOS ANGELES	P	1954	PROJ.REVW.	HUD110502H	05/12/11	6U	
106724	19-176468	1638 W PALO ALTO ST	LADWP DISTRIBUTION STATION 26	LOS ANGELES		1927	PROJ.REVW.	FEMA970207E	02/07/97	7N	A
027286	19-173218	312 W PICO BLVD	A. EARL BLDG, NATIONAL ENGRAVING,	LOS ANGELES	P	1913	HIST.SURV.	0053-4582-0000		3S	
027287	19-173219	700 W PICO BLVD	MASONIC TEMPLE	LOS ANGELES	P	1907	HIST.SURV.	0053-4583-0000		3S	
026021	19-172009	1400 W PICO BLVD		LOS ANGELES	P	1898	HIST.SURV.	0053-3424-0000		5S2	
064846	19-173404	1400 W PICO BLVD	RESIDENCE	LOS ANGELES	U		HIST.RES.	DOE-19-86-0102-0000	08/12/86	2S2	C
							PROJ.REVW.	HUD860812B	08/12/86	2S2	C
086543	19-174813	1500 W PICO BLVD		LOS ANGELES	U	1938	HIST.SURV.	0053-4812-0000	06/01/92	6Z	
086544	19-174814	2100 W PICO BLVD		LOS ANGELES	U	1922	HIST.SURV.	0053-4813-0000	06/01/92	7N1	
086545	19-174815	2101 W PICO BLVD		LOS ANGELES	U	1921	HIST.SURV.	0053-4814-0000	06/01/92	6Z	
086546	19-174816	2121 W PICO BLVD		LOS ANGELES	U	1915	HIST.SURV.	0053-4815-0000	06/01/92	6Z	
086547	19-174817	2129 W PICO BLVD		LOS ANGELES	U	1920	HIST.SURV.	0053-4816-0000	06/01/92	6Z	
163590		2627 W PICO BLVD	YANCI'S MARKET	LOS ANGELES	P	1903	PROJ.REVW.	FCC060629A	08/28/06	6Y	
158935		2791 W PICO BLVD	PETERPAN MARKET	LOS ANGELES	P	1911	PROJ.REVW.	FHWA050516A	01/30/06	6Y	
158936		2795 W PICO BLVD		LOS ANGELES	P	1906	PROJ.REVW.	FHWA050516A	01/30/06	6Y	
156616		2800 W PICO BLVD	STORAGE USA	LOS ANGELES	P	1915	PROJ.REVW.	FCC080815A	10/17/08	2S2	AC
							PROJ.REVW.	FCC051021C	11/08/05	2S2	AC
100323	19-175979	2900 W PICO BLVD	LORETTO-CONATY HIGH SCHOOL	LOS ANGELES	P	1938	HIST.RES.	DOE-19-95-0096-0000	04/05/95	6Y	
	19-164194						PROJ.REVW.	HRG940202Z	04/05/95	6Y	
026305	19-172292	3082 W PICO BLVD	ALBERTS LIQUOR	LOS ANGELES	P	1925	HIST.SURV.	0053-3633-0000		7R	
	19-162709										
026306	19-172293	3138 W PICO BLVD	DECORATION MART	LOS ANGELES	P	1938	HIST.SURV.	0053-3634-0000		7R	
	19-162708										
026307	19-172294	3260 W PICO BLVD		LOS ANGELES	P	1924	HIST.SURV.	0053-3635-0000		7R	
	19-162707										
026308	19-172295	3405 W PICO BLVD	PICO ARLINGTON CHRISTIAN CH	LOS ANGELES	P	1927	HIST.SURV.	0053-3636-0000		3S	
020754	19-166835	4050 W PICO BLVD	FORUM THEATER/HEBRON PRESBYTERIAN	LOS ANGELES	P	1923	PROJ.REVW.	FCC070709B	10/09/07	2S2	AC
	19-157465						PROJ.REVW.	FCC050720C	10/14/05	2S2	AC
							HIST.SURV.	0053-0026-0000		3S	
086548	19-174818	4058 W PICO BLVD		LOS ANGELES	U	1924	HIST.SURV.	0053-4817-0000	06/01/92	6Z	

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PROPERTY-NUMBER	PRIMARY-#	STREET-ADDRESS.....	NAMES.....	CITY-NAME.....	OWN	YR-C	OHP-PROG..	PRG-REFERENCE-NUMBER	STAT-DAT	NRS	CRIT	
097793	19-175279	1135 W M L KING JR BLVD	UNIVERSITY SEVENTH DAY ADVENTIST C	LOS ANGELES	P	1925	HIST.RES.	DOE-19-94-0466-0000	07/01/94	2S2	C	
	19-161618						PROJ.REVW.	HRG940202Z	07/01/94	2S2	C	
135619		1201 W MANCHESTER AVE	MESSIAH EVANGELICAL LUTHERAN CHURC	LOS ANGELES	P	1949	HIST.RES.	DOE-19-02-1113-0000	09/24/02	6Y		
							PROJ.REVW.	FCC020729F	09/24/02	6Y		
086535	19-174805	325 W MANCHESTER BLVD	PEP BOYS	LOS ANGELES	U	1946	HIST.SURV.	0053-4804-0000	06/01/92	6L		
	19-166799											
086536	19-174806	1650 W MANCHESTER BLVD		LOS ANGELES	U	1928	HIST.SURV.	0053-4805-0000	06/01/92	6Z		
024056	19-170078	2311 W MARATHON ST		LOS ANGELES	P	1912	HIST.SURV.	0053-1517-0000		5S2		
086540	19-174810	4316 W MELROSE AVE		LOS ANGELES	P	1924	HIST.SURV.	0053-4809-0000	06/01/92	6L		
024027	19-170049	2146 W MONTANA ST		LOS ANGELES	P	1906	HIST.SURV.	0053-1488-0000		5S2		
024028	19-170050	2151 W MONTANA ST		LOS ANGELES	P	1925	HIST.SURV.	0053-1489-0000		5S2		
024051	19-170073	1839 W MONTROSE ST		LOS ANGELES	P	1919	HIST.SURV.	0053-1512-0000		5S2		
024052	19-170074	1900 W MONTROSE ST		LOS ANGELES	P	1912	HIST.SURV.	0053-1513-0000		5S2		
024053	19-170075	1901 W MONTROSE ST		LOS ANGELES	P	1915	HIST.SURV.	0053-1514-0000		5S2		
024054	19-170076	1907 W MONTROSE ST		LOS ANGELES	P	1905	HIST.SURV.	0053-1515-0000		5S2		
024055	19-170077	2211 W MONTROSE ST		LOS ANGELES	P	1912	HIST.SURV.	0053-1516-0000		5S2		
123767		727 W MOTT ST		LOS ANGELES	U	1923	HIST.RES.	DOE-19-99-0338-0000	02/01/99	6Y		
							PROJ.REVW.	HUD990201N	02/01/99	6Y		
153039		351 W MOUNT WASHINGTON DR		LOS ANGELES		1905	PROJ.REVW.	HUD050404N	04/19/05	6U		
021282	19-167316	409 W OLYMPIC BLVD	FEDERAL RESERVE BANK OF SAN FRANCI	LOS ANGELES	F	1929	HIST.RES.	NPS-84000843-0000	09/20/84	1S		
							HIST.SURV.	0053-0362-0000	01/01/84	1S		
026038	19-172026	605 W OLYMPIC BLVD	STANDARD OIL BUILDING	LOS ANGELES	P	1924	HIST.SURV.	0053-3441-0000		3S		
							HIST.RES.	DOE-19-80-0001-0000	03/13/80	2S2	AC	
							PROJ.REVW.	HUD791001A	11/28/79	2S2	AC	
026035	19-172023	618 W OLYMPIC BLVD	LOS ANGELES DESK COMPANY	LOS ANGELES	P	1934	HIST.SURV.	0053-3438-0000		5S2		
026036	19-172024	623 W OLYMPIC BLVD	COFFEE SHOP	LOS ANGELES	P	1925	HIST.SURV.	0053-3439-0000		7R		
027085	19-173054	716 W OLYMPIC BLVD	SECURITY PACIFIC BUILDING	LOS ANGELES	P	1925	HIST.SURV.	0053-4406-0000	01/01/80	2S2		
							HIST.RES.	DOE-19-80-0002-0000	03/13/80	2S2	AC	
							PROJ.REVW.	HUD791001A	11/29/79	2S2	AC	
026298	19-172285	3501 W OLYMPIC BLVD	BESSIE L. BURRALL HOME	LOS ANGELES	P	1913	HIST.SURV.	0053-3626-0000		7N		
026299	19-172286	3505 W OLYMPIC BLVD	EDWARD M DAUGERTY HOME	LOS ANGELES	P	1919	HIST.SURV.	0053-3627-0000		7N		
021264	19-167302	4645 W OLYMPIC BLVD	MEMORIAL BRANCH LIBRARY	LOS ANGELES	M	1930	HIST.RES.	DOE-19-94-0565-0000	08/27/94	2S2	AC	
							PROJ.REVW.	HRG940202Z	09/30/94	2S2	AC	
							HIST.RES.	NPS-87001015-0000	05/19/87	1S	AC	
							HIST.SURV.	0053-0025-0000	05/19/87	3S	AC	
097811	19-175295	6351 W OLYMPIC BLVD	CARTHAY CENTER ELEMENTARY SCHOOL	LOS ANGELES	D	1926	HIST.RES.	DOE-19-94-0523-0000	08/15/94	6Y		
							PROJ.REVW.	HRG940202Z	08/15/94	6Y		
021255	19-167294	309 W OPP ST	WILMINGTON BRANCH LIBRARY	LOS ANGELES	M	1927	HIST.RES.	DOE-19-94-0379-0000	08/27/94	2S4		
							PROJ.REVW.	HRG940202Z	09/30/94	2S4		
							ST.FND.PRG	619.0-HP-88-19-043	12/21/88	3		
							HIST.RES.	NPS-87001023-0000	05/19/87	1S	AC	
106724	19-176468	1638 W PALO ALTO ST	LADWP DISTRIBUTION STATION 26	LOS ANGELES		1927	PROJ.REVW.	FEMA970207E	02/07/97	7N	A	
027286	19-173218	312 W PICO BLVD	A. EARL BLDG; NATIONAL ENGRAVING,	LOS ANGELES	P	1913	HIST.SURV.	0053-4582-0000		3S		
027287	19-173219	700 W PICO BLVD	MASONIC TEMPLE	LOS ANGELES	P	1907	HIST.SURV.	0053-4583-0000		3S		
026021	19-172009	1400 W PICO BLVD		LOS ANGELES	P	1898	HIST.SURV.	0053-3424-0000		5S2		
064846	19-173404	1400 W PICO BLVD	RESIDENCE	LOS ANGELES	U		HIST.RES.	DOE-19-86-0102-0000	08/12/86	2S2	C	
							PROJ.REVW.	HUD860812B	08/12/86	2S2	C	
086543	19-174813	1500 W PICO BLVD		LOS ANGELES	U	1938	HIST.SURV.	0053-4812-0000	06/01/92	6Z		
086544	19-174814	2100 W PICO BLVD		LOS ANGELES	U	1922	HIST.SURV.	0053-4813-0000	06/01/92	7N1		
086545	19-174815	2101 W PICO BLVD		LOS ANGELES	U	1921	HIST.SURV.	0053-4814-0000	06/01/92	6Z		
086546	19-174816	2121 W PICO BLVD		LOS ANGELES	U	1915	HIST.SURV.	0053-4815-0000	06/01/92	6Z		
086547	19-174817	2129 W PICO BLVD		LOS ANGELES	U	1920	HIST.SURV.	0053-4816-0000	06/01/92	6Z		
163590		2627 W PICO BLVD	YANCI'S MARKET	LOS ANGELES	P	1903	PROJ.REVW.	FCC060629A	08/28/06	6Y		
158935		2791 W PICO BLVD	PETERPAN MARKET	LOS ANGELES	P	1911	PROJ.REVW.	FHWA050516A	01/30/06	6Y		
158936		2795 W PICO BLVD		LOS ANGELES	P	1906	PROJ.REVW.	FHWA050516A	01/30/06	6Y		
156616		2800 W PICO BLVD	STORAGE USA	LOS ANGELES	P	1915	PROJ.REVW.	FCC051021C	11/08/05	2S2	AC	

DEPARTMENT OF THE INTERIOR
U.S. GEOLOGICAL SURVEY





Topography by C.A. Ecklund
Control by U.S. Geological Survey,
U.S. Coast and Geodetic Survey, and City of Los Angeles
Surveyed in 1925

Scale 1:24,000
1 Mile
5000 Feet

Contour interval 5 and 25 feet (see diagram)
Datum is mean sea level

Polyconic projection. North American datum.
5000 yard grid based upon U.S. zone system G
THROUGH ROUTES
SECONDARY ROUTES

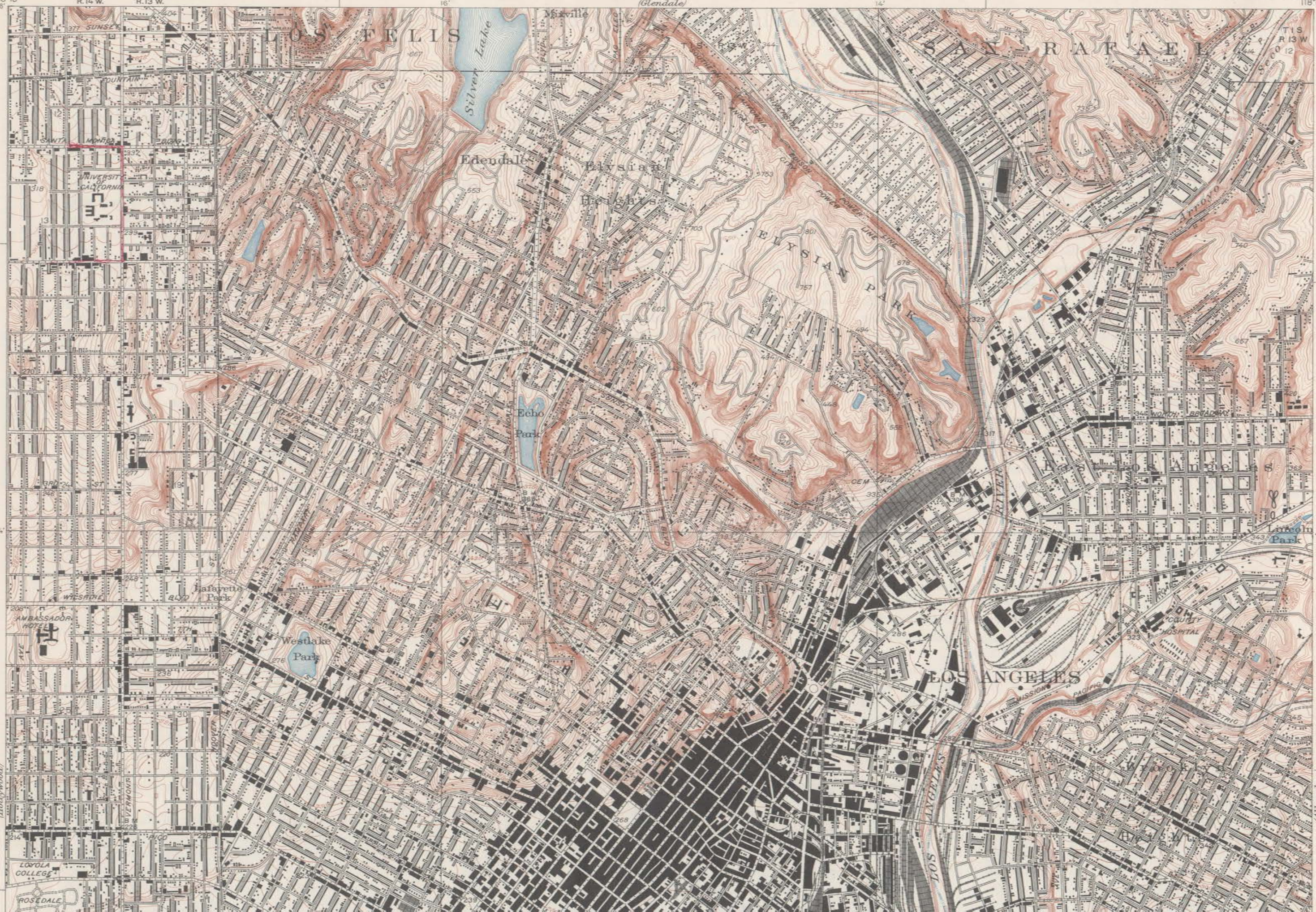
LOS ANGELES, CALIF.
Edition of 1928

UNITED STATES
DEPARTMENT OF THE INTERIOR
GEOLOGICAL SURVEY

LOS ANGELES COUNTY CALIFORNIA
BOARD OF SUPERVISORS
HENRY W. WRIGHT, CHAIRMAN
J. E. ROCKHOLD, COUNTY SURVEYOR

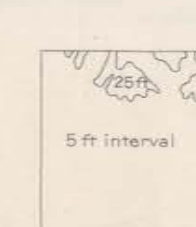
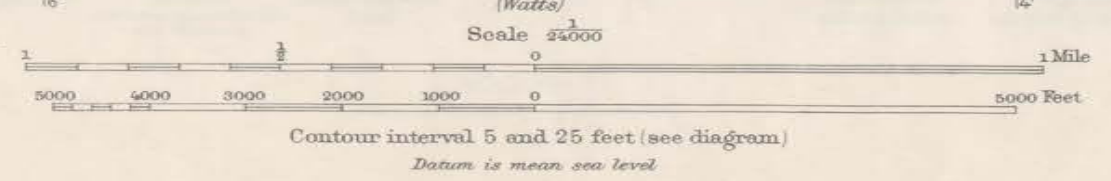
ARCHAEOLOGICAL SURVEY
UNIVERSITY OF CALIFORNIA
LOS ANGELES 24, CALIFORNIA

CALIFORNIA
(LOS ANGELES COUNTY)
LOS ANGELES QUADRANGLE





Topography by C.A. Ecklund
Control by U. S. Geological Survey,
U. S. Coast and Geodetic Survey, and City of Los Angeles
Surveyed in 1925



Polyconic projection, North American datum
5000 yard grid based upon U.S. zone system, G

LOS ANGELES Co.
LOS ANGELES, CALIF.
Edition of 1928
reprinted 1931

LOS ANGELES Co.

for
LOS ANGELES
Co.
S.E. corner
of
grid

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary
HRI #

#

Trinomial

NRHP Status Code 6Y

Other Listings _____
Review Code _____ Reviewer _____ Date _____

*Page 1 of 18*Resource Name or #: (Assigned by recorder) T-Mobile SV11002I*P1. Other Identifier: Edwards Building*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County: Los Angeles

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Hollywood*Date: 1975 T; R; 1/4 of 1/4 of Sec; B.M.: SEc. Address: 1200 S. Hope StreetCity: Los AngelesZip: 90015d. UTM: (Give more than one for large or linear resources) Zone: Me/ mN

e. Other Locational Data (e.g., parcel #, directions to resource, elevation, etc., as appropriate):

Assessor's Parcel No. 5139-022-001, Lots 1 and 2, Block 6, Centre City Tract

*P3a. Description (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries):

The resource is a four-story, rectangular shaped, asymmetrical, Neoclassical style commercial building located on a corner lot in a mixed residential/commercial section of downtown Los Angeles. The building has a concrete foundation, stucco and brick exterior, and a flat roof with a penthouse on the southeast corner of the roof. The building has contrasting detailing around the windows and roof edges that adds interest to the façade. A cornice is present along the upper edge of the roof and is accented by diamond shaped inserts into a frieze that wraps around the two main facades at the roof level. Faux columnar detailing accents the vertical aspects of the building. The main entrance is centered on the diagonal across the northeast corner of the building. The entrance was framed with Neoclassical motifs on the sides and across the top. The north façade side entrance is non-historic with metal and glass doors. Two metal garage doors are present on the rear. The windows are set in even rows across the façade and are metal framed, multilite casement windows set in large blocks. Large metal panels have been placed over the original automobile showroom large plate glass windows. Metal fire escapes are present on the south and north facades. The building is in good condition.

*P3b. Resource Attributes: (List attributes and codes) HP 7 - 3+ Story Commercial Building

P4. Resources Present: Building ☐
Structure ☐ Object ☐ Site ☐ District
☐ Element of District ☐ Other (Isolates, etc.)

P5b. Description of Photo: (View, date, accession #) Looking northwest*P6. Date Constructed/Age and Sources: ☒Historic ☐ Prehistoric ☐ BothCa. 1920/City of Los Angeles Building Permits

*P7: Owner and Address:

Khalili and Khalili1200 S. Hope Street
Los Angeles, CA 9015*P8. Recorded by (Name, affiliation, and address): K. A. Crawford, forMichael Brandman
Associates, 220 Commerce
Street, Ste. 200, Irvine,CA 92602 *P9. Date Recorded:
10/19/08 *P10. Type of Survey:(Describe) Intensive Survey *P11.
Report Citation (Cite survey report and

other sources, or enter "none".) None *Attachments: ☐ NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☒ Building,
Structure, and Object Record ☐ Archaeological Record ☐ District Record ☐ Linear Resource Record ☐ Milling Station Record ☐ Rock
Art Record ☐ Artifact Record ☐ Photograph Record ☐ Other (List):

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
BUILDING, STRUCTURE, AND OBJECT RECORD

Primary #
HR#

*NRHP Status Code 6Y
*Resource Name or # (Assigned by recorder) T-Mobile SV11021

*Page 2 of 18

B1. Historic Name: Reo Motor Company Building

B2. Common Name: Edwards Building

B3. Original Use: Commercial

B4. Present Use: Commercial

*B5. Architectural Style: Neoclassical

*B6. Construction History: (Construction date, alterations, and date of alterations) The building was constructed in ca. 1920. Alterations include door and window changes, addition of metal fire escapes and addition of large metal panels covering the original windows..

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: _____

Original Location: _____

*B8. Related Features: None

B9a. Architect Dodd and Richards

b. Builder Winter Contracting Company

*B10. Significance: Theme: Neoclassical Architecture Area: Los Angeles Period of Significance 1920-
Present Property Type Residential Applicable Criteria C (Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The city of Los Angeles was sited on land that had originally been settled by the Spanish in the 1700s. The Spanish created large ranchos on the land in southern California and by the 1820s, the land passed into the hands of the newly formed country of Mexico. By 1850, the area had been acquired by the United States and thousands of newcomers came to California to create ranches, farms, orchards and new cities. The present-day city of Los Angeles was a significant part of that trend. After World War I, the Los Angeles area underwent significant growth in the 1920s as the Hollywood movie industry began to attract newcomers to the business and associated commercial activities. Originally the property had a residence on the site which was demolished to make way for the current structure. The current building was constructed in 1920, according to building permit #LA05290. The building was constructed as an automobile sales room and storage for the Ponet Company, the owners of the property. The building cost \$100,000.00. A boiler room was added under the building in 1920. By 1922, the building's upper area was converted to a hotel by owner J. Montgomery. The hotel had thirty rooms. The name of the company operating the automobile sales was the Reo Motor Company. A number of interior changes were permitted over the years to allow for greater use of the structure. By 1949, the property was owned by the Hudson Terraplane Company but still operated as an automobile showroom and repair/storage area. By 1961, the automobile uses were gone and the building has operated as a warehouse and office building. Currently a resale shop is located on the ground floor. The building was altered with the addition of large metal panels to cover the original large plate glass showroom windows. The side entrance was removed and replaced with a metal and glass door arrangement. Metal fire escapes were added to the north and south facades. The building is in good condition.

B11. Additional Resource Attributes: (List attributes and codes) None

*B12. References: McAlester and McAlester, A Field Guide to American Houses, 1991, Alfred A. Knopf, New York; City of Los Angeles Building Permits, County of Los Angeles Assessor's records

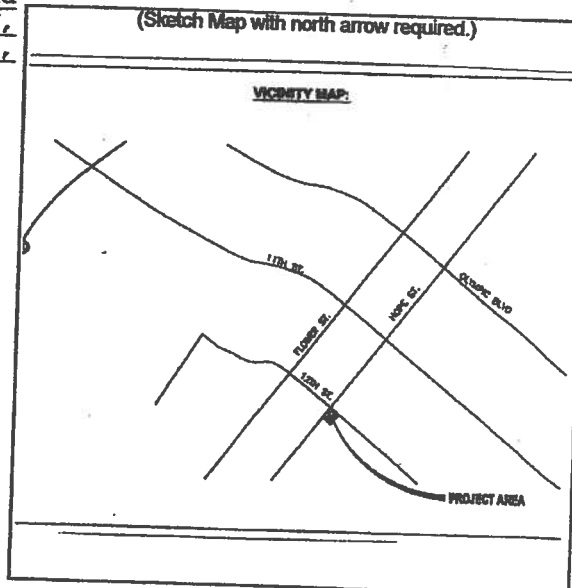
B13. Remarks:

*B14. Evaluators: K. A. Crawford

*Date of Evaluation: 10/19/08

(This space reserved for
official comments.)

(Sketch Map with north arrow required.)



State of California — The Resource Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 3 of 18 *Resource Name or # (Assigned by recorder) 1200 S. Hope Street
*Recorded by K.A. Crawford/Michael Brandman Associates Date October 2008
☒ Continuation ☐ Update

(continued from page 2)

Integrity Statement

In regard to the seven aspects of integrity — location, design, setting, materials, workmanship, feeling and association — the ca. 1920 building on this property has retained its original location. The building has not been moved. The setting, feeling and association have not remained intact as the urban area surrounding the structure has changed considerably over time. New buildings with new uses, additional streets, changes in density, and increased commercial activity from 1920 to the present have altered the original neighborhood setting, feeling and association. The design, materials and workmanship of the structure have remained relatively intact. However, alterations to the structure have eliminated elements of the original integrity. The integrity level is good and the condition of the building is good.

National Register of Historic Places Eligibility Evaluation

The property was assessed under National Register of Historic Places Criterion A for its potential significance as part of any historic trends or events that may have made a significant contribution to the broad patterns of our history. The building was constructed as part of the overall continuing residential and commercial development of the Los Angeles area which began in the 1880s and continues to the present time. There is no significant trend or event associated with the property. Therefore, the property does not appear to meet the criteria for significance under Criterion A: Event.

The property was assessed under National Register of Historic Places Criterion B for its potential significance and association with a person of importance in national history. There is no evidence to suggest that any of the persons associated with the construction or development of the building were considered important in the history of the property or nation. None of the persons associated with the property appear to be historically significant at the level necessary to meet the criteria for the National Register of Historic Places. Therefore, the property does not appear to meet the criteria for significance under Criterion B: Person.

The property was assessed under National Register of Historic Places Criterion C for its potential significance as a property which embodies the distinctive characteristics of a type, period, method of construction or style of Neoclassical architecture, represents the work of a master architect, builder or craftsman; possesses high artistic values, or represents a significant or distinguishable entity whose components lack individual distinction. No unusual elements or features are present that would differentiate the building. The building is not significant as an example of the style of Neoclassical architecture as it contains only minimal details of this style. The building has undergone alterations which have compromised its original integrity. The alterations include: changes to the original entrance, changes to the rear and side entrances and numerous interior changes. The building's style does not rise to a level of significance to qualify for the National Register. The building is not an example of the work of a master architect, builder, or craftsman. Therefore, the property does not appear to meet the criteria for significance under Criterion C: Architecture.

The property was assessed under National Register of Historic Places Criterion D for its potential significance and its ability to convey information. The property yields, or may be likely to yield, information important in prehistory or history. In order for buildings, structures, or objects to be significant under Criterion D, they need to "be, or must have been, the principal source of information." This is not the case with this property. Therefore, the property does not appear to meet the criteria for significance under Criterion D: Information Potential.

In summary, the property does not appear to qualify for the National Register of Historic Places under any of the above criteria. Therefore, the building is not considered an historic resource for the purposes of the NHPA. This property was not assessed for eligibility for the California Register or local register eligibility.

State of California — The Resource Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

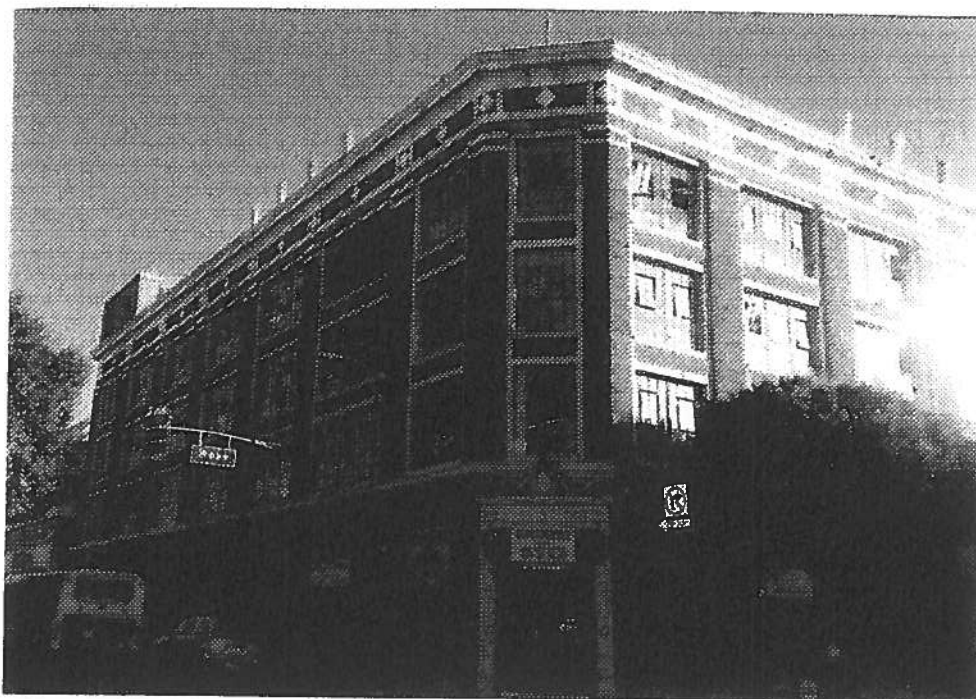
Primary # _____

HRI # _____

Trinomial _____

Page 4 of 18 *Resource Name or # (Assigned by recorder) 1200 S. Hope Street
*Recorded by K.A. Crawford/Michael Brandman Associates Date October 2008
☒ Continuation ☐ Update

Edwards Building
1200 S. Hope Street, Los Angeles
View Southwest/North and East Facades
October 16, 2008



State of California — The Resource Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

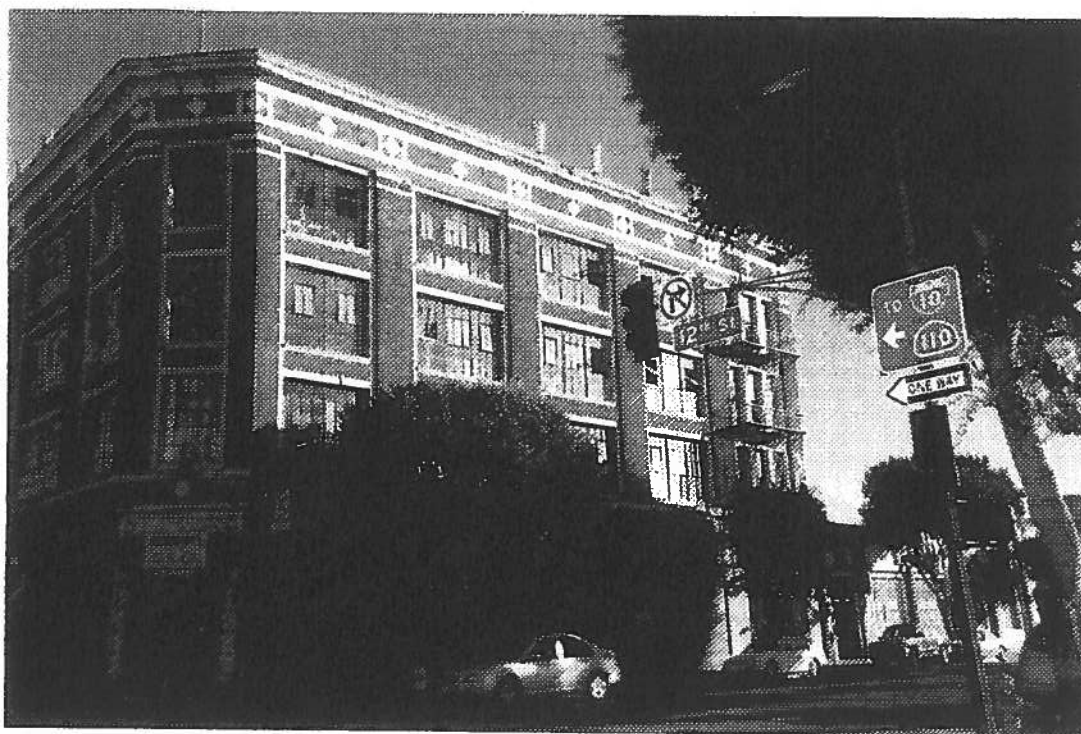
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☒ Continuation ☐ Update

Edwards Building
1200 S. Hope Street, Los Angeles
View Southwest/North and East Facades
October 16, 2008

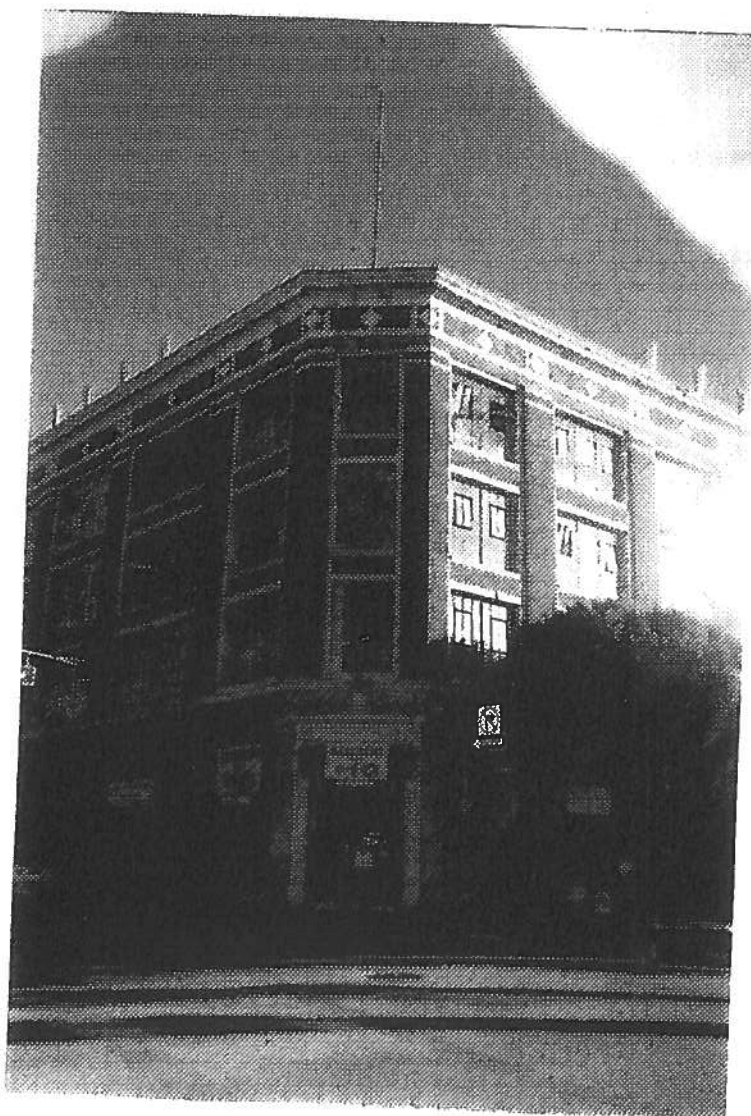


State of California — The Resource Agency
DEPARTMENT OF PARKS AND RECREATION
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Page 6 of 18 *Resource Name or # (Assigned by recorder) 1200 S. Hope Street
*Recorded by K.A. Crawford/Michael Brandman Associates Date October 2008
☒ Continuation ☐ Update

Edwards Building
1200 S. Hope Street, Los Angeles
View Southwest/Northeast Corner Facade
October 16, 2008

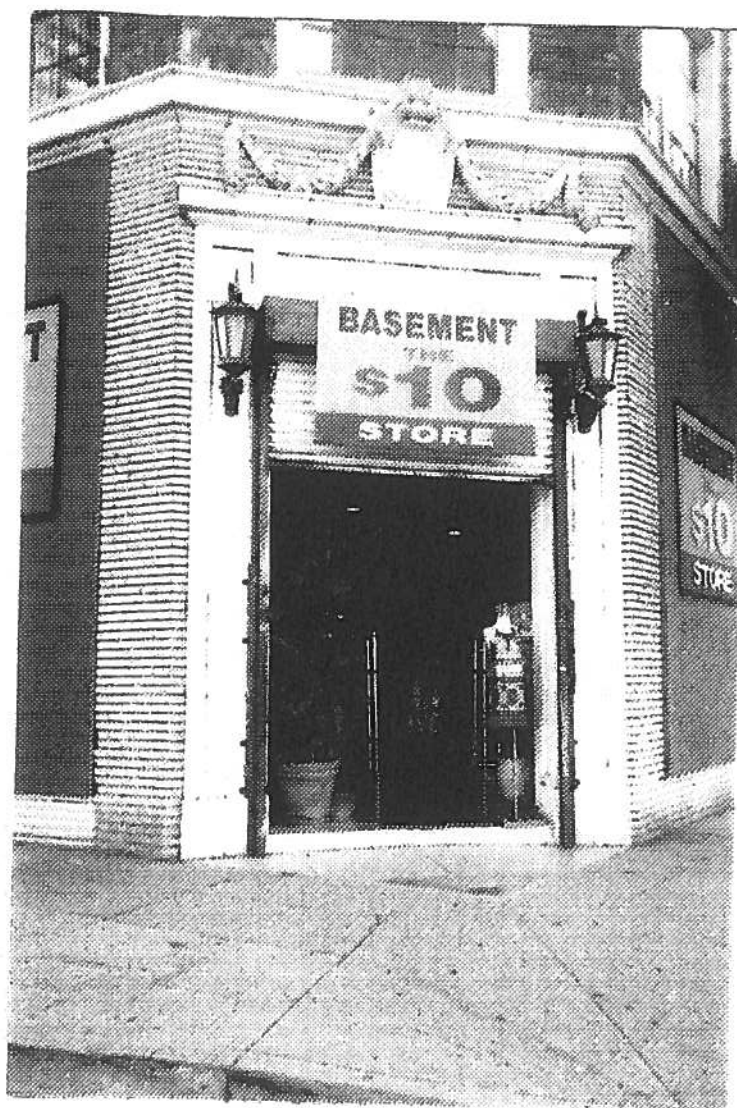


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DEPARTMENT OF PARKS AND RECREATION
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☒ Continuation ☐ Update

Edwards Building
1200 S. Hope Street, Los Angeles
View Southwest/ East Façade/Entrance Detail
October 16, 2008

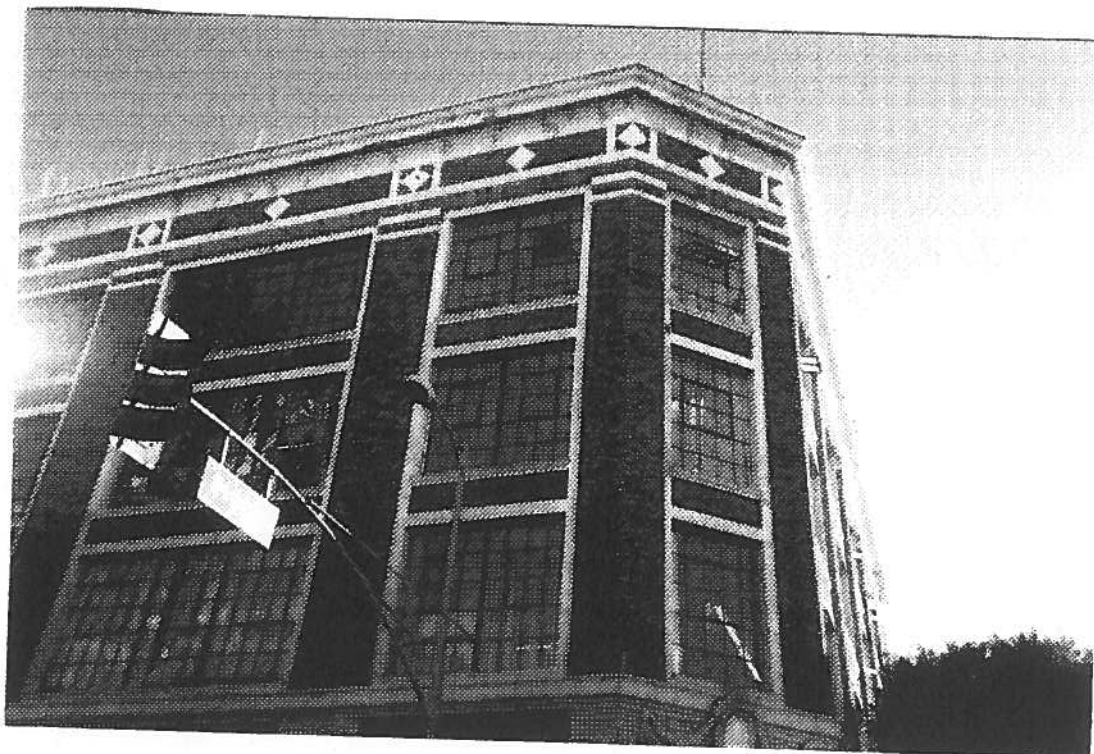


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DEPARTMENT OF PARKS AND RECREATION
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☒ Continuation ☐ Update

Edwards Building
1200 S. Hope Street, Los Angeles
View Southwest/Northeast Corner Facade
October 16, 2008

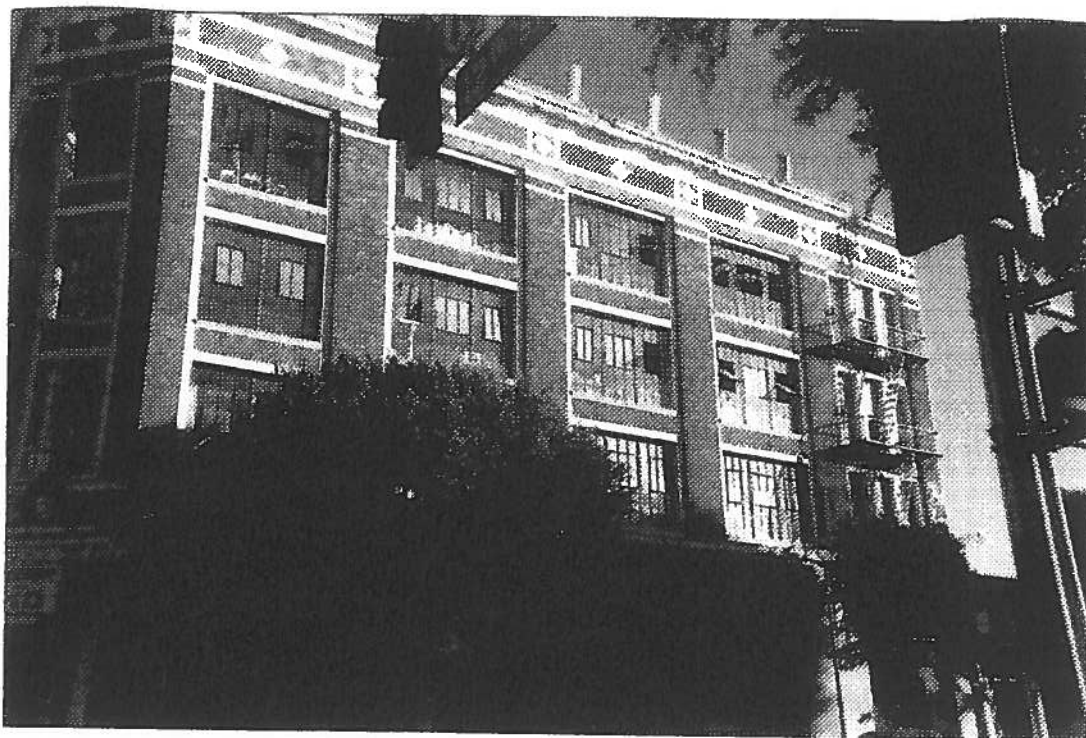


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DEPARTMENT OF PARKS AND RECREATION
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Page 9 of 18 *Resource Name or # (Assigned by recorder) 1200 S. Hope Street
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Edwards Building
1200 S. Hope Street, Los Angeles
View Southwest/East and North Facades
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State of California — The Resource Agency
DEPARTMENT OF PARKS AND RECREATION
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☒ Continuation ☐ Update

Edwards Building
1200 S. Hope Street, Los Angeles
View South/ West and North Facades
October 16, 2008

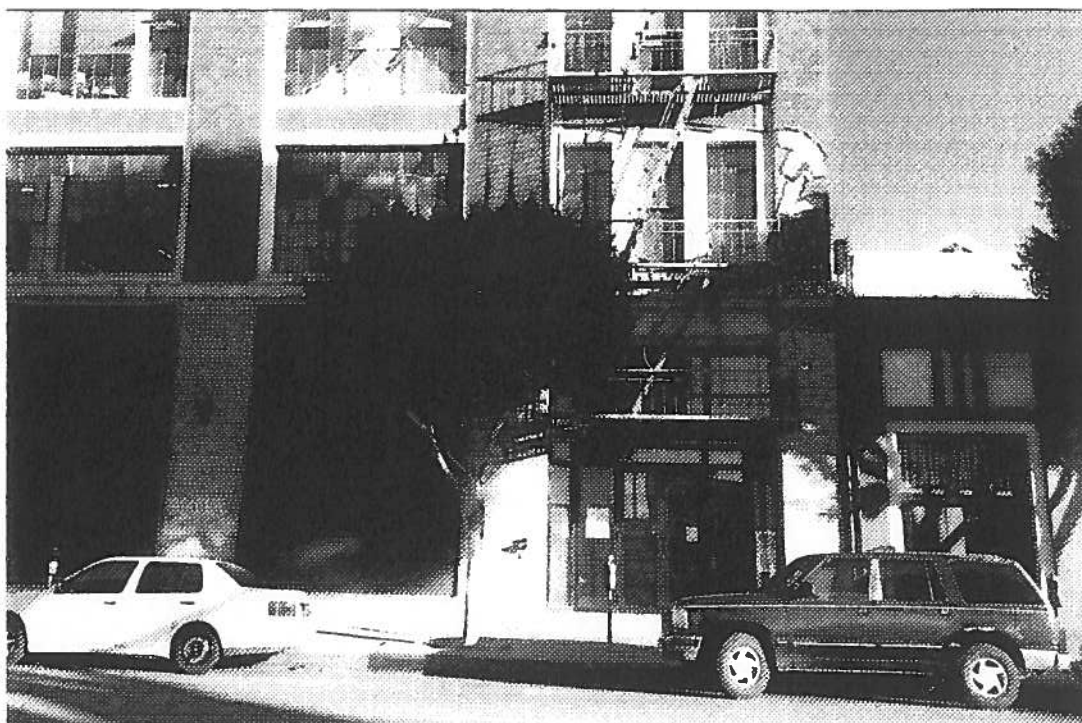


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DEPARTMENT OF PARKS AND RECREATION
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Page 11 of 18 *Resource Name or # (Assigned by recorder) 1200 S. Hope Street
*Recorded by K.A. Crawford/Michael Brandman Associates Date October 2008
☒ Continuation ☐ Update

Edwards Building
1200 S. Hope Street, Los Angeles
View South/North Façade/Side Entrance Detail
October 16, 2008

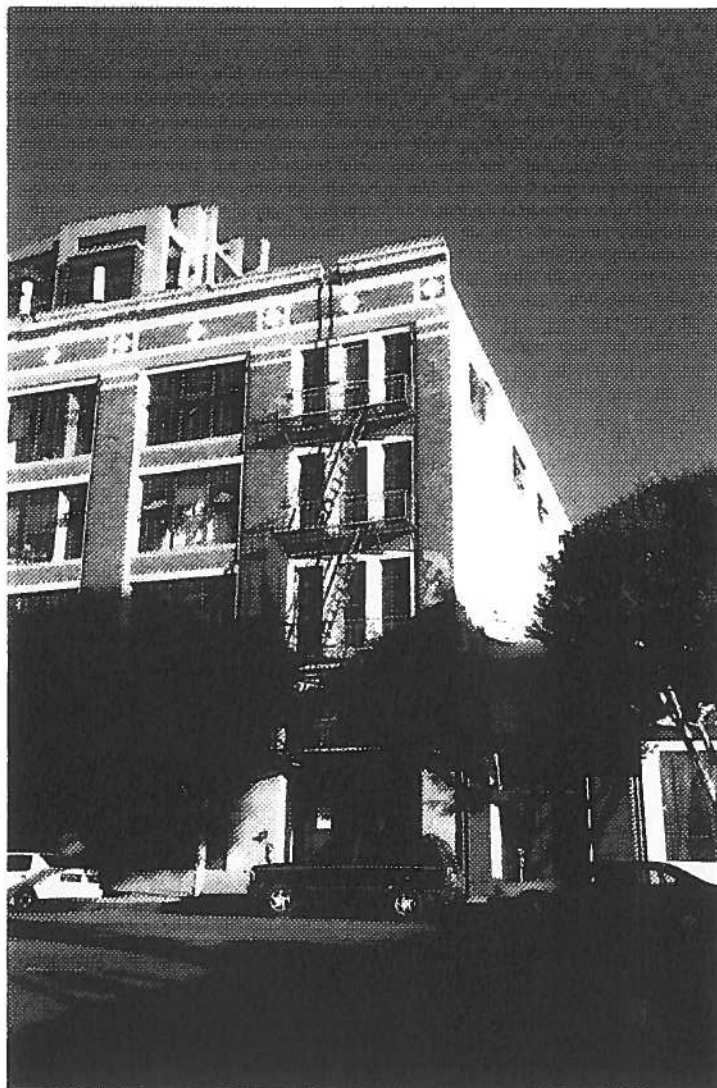


State of California — The Resource Agency
DEPARTMENT OF PARKS AND RECREATION
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Page 12 of 18 *Resource Name or # (Assigned by recorder) 1200 S. Hope Street
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☒ Continuation ☐ Update

Edwards Building
1200 S. Hope Street, Los Angeles
View Southeast/West and North Facades
October 16, 2008

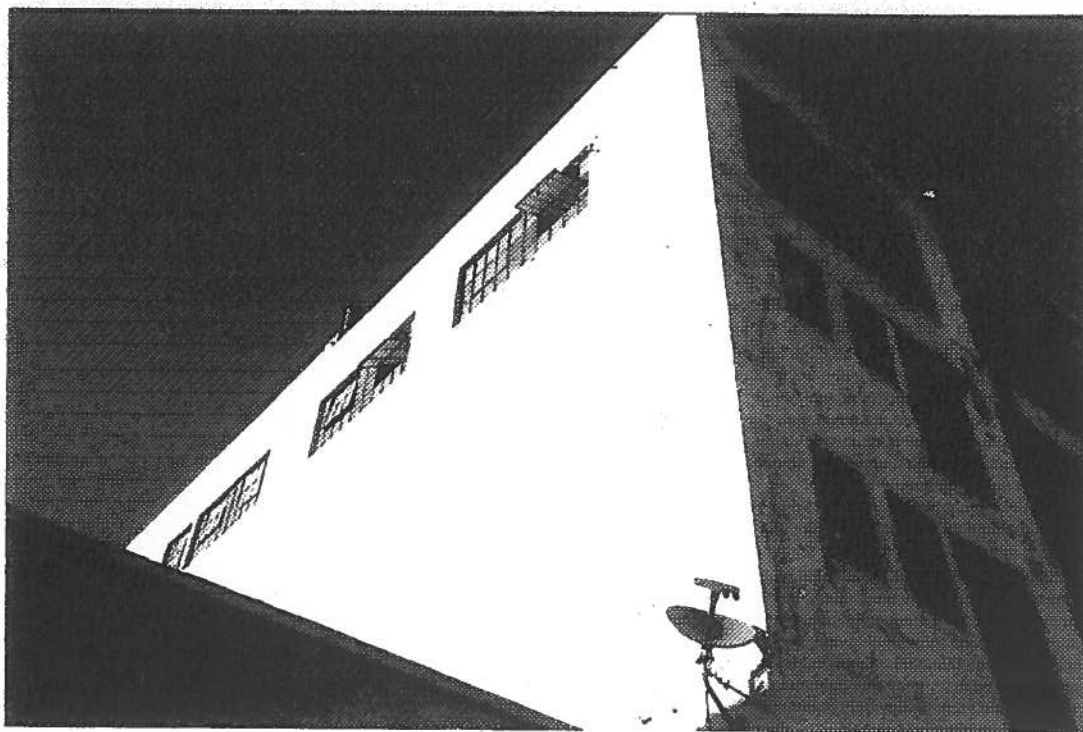


State of California — The Resource Agency
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Edwards Building
1200 S. Hope Street, Los Angeles
View Northeast/West and South Facades
October 16, 2008



State of California — The Resource Agency
DEPARTMENT OF PARKS AND RECREATION
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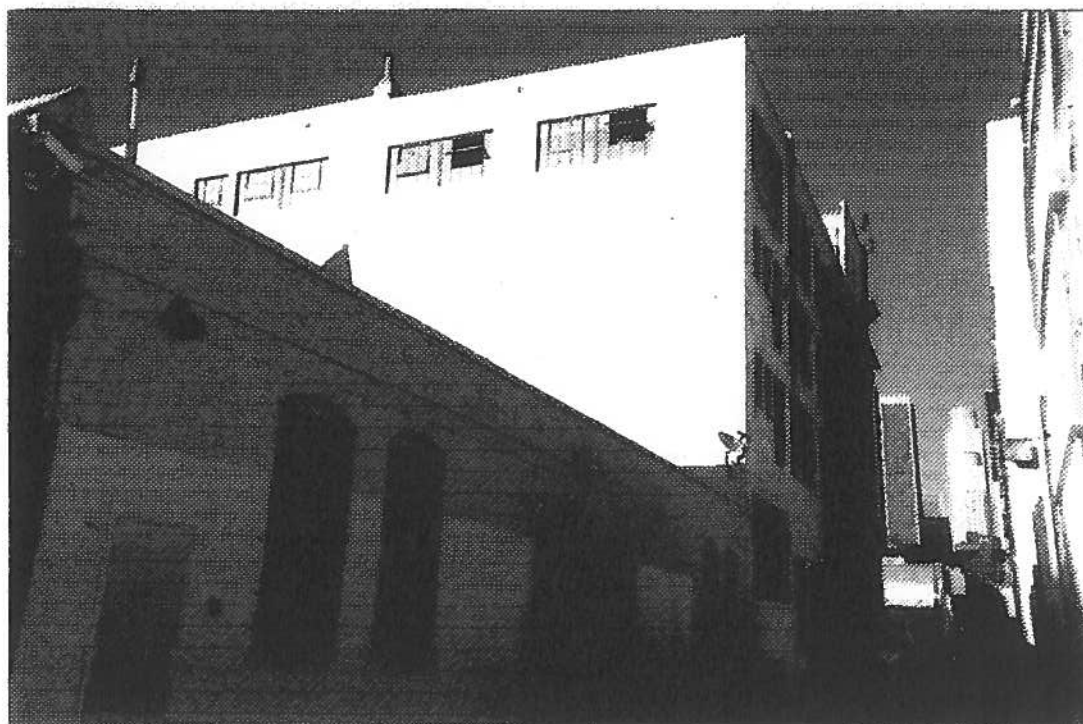
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Page 14 of 18 *Resource Name or # (Assigned by recorder) 1200 S. Hope Street*Recorded by K.A. Crawford/Michael Brandman Associates Date October 2008☒ Continuation ☐ Update

Edwards Building
1200 S. Hope Street, Los Angeles
View Northeast/West and South Facades
October 16, 2008

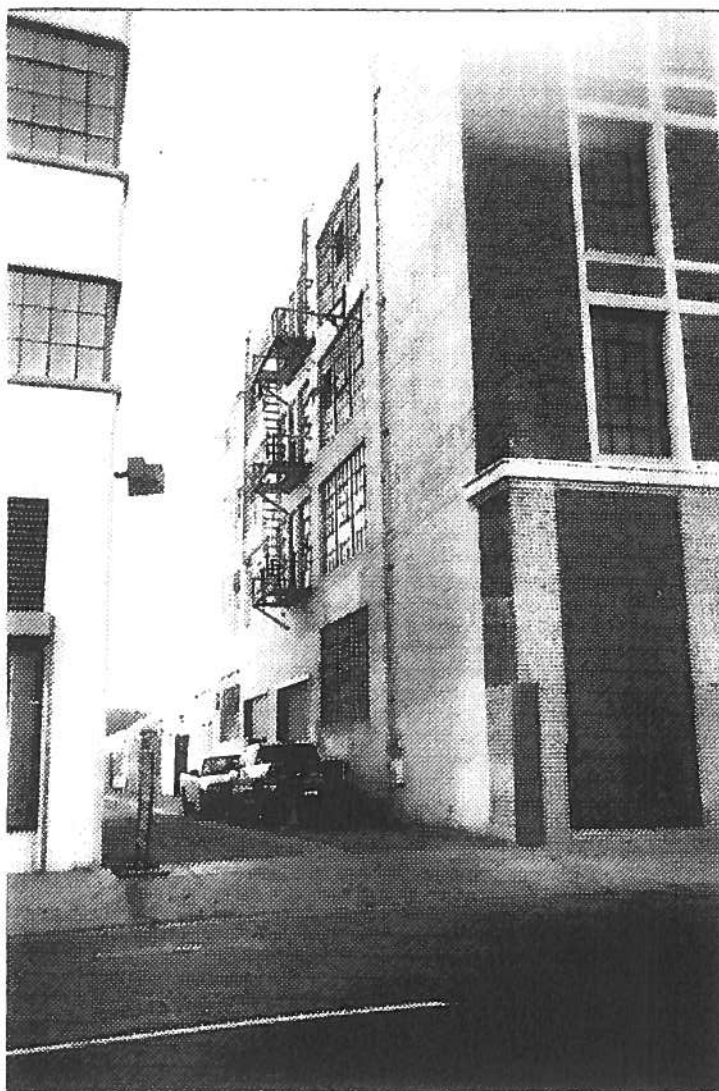


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DEPARTMENT OF PARKS AND RECREATION
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Page 15 of 18 *Resource Name or # (Assigned by recorder) 1200 S. Hope Street
*Recorded by K.A. Crawford/Michael Brandman Associates Date October 2008
☒ Continuation ☐ Update

Edwards Building
1200 S. Hope Street, Los Angeles
View West/East and South Facades
October 16, 2008

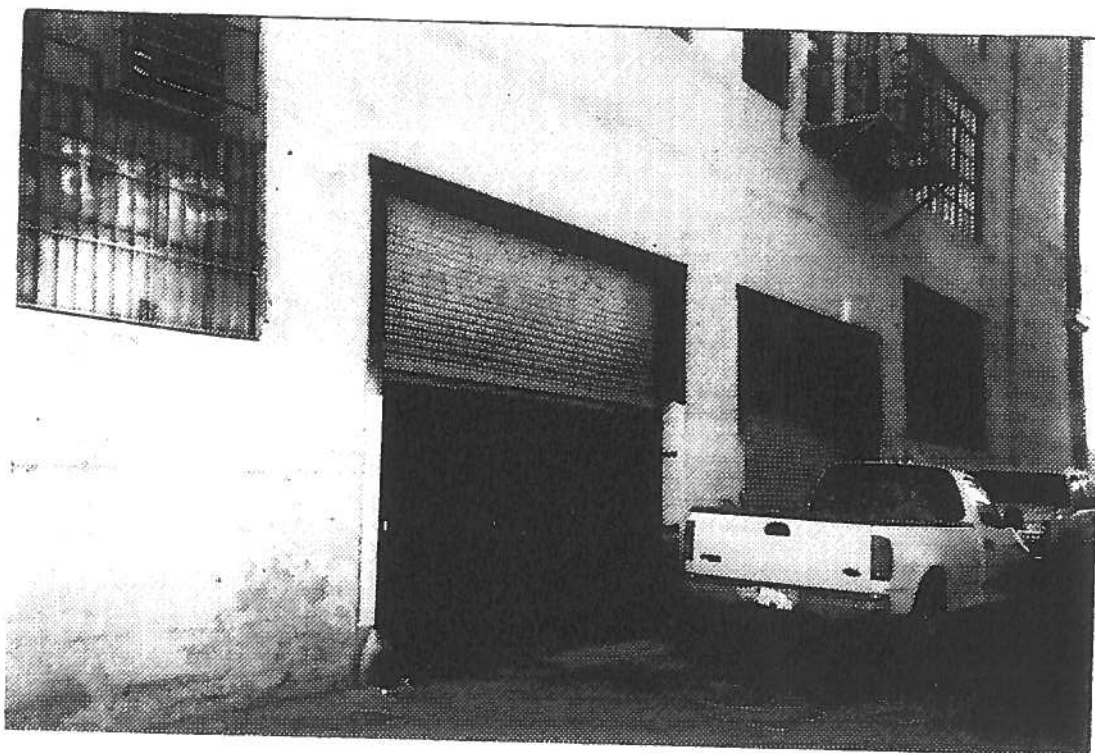


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Page 16 of 18 *Resource Name or # (Assigned by recorder) 1200 S. Hope Street
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☒ Continuation ☐ Update

Edwards Building
1200 S. Hope Street, Los Angeles
View Northeast/South Façade/Rear Entrance Details
October 16, 2008



State of California — The Resource Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

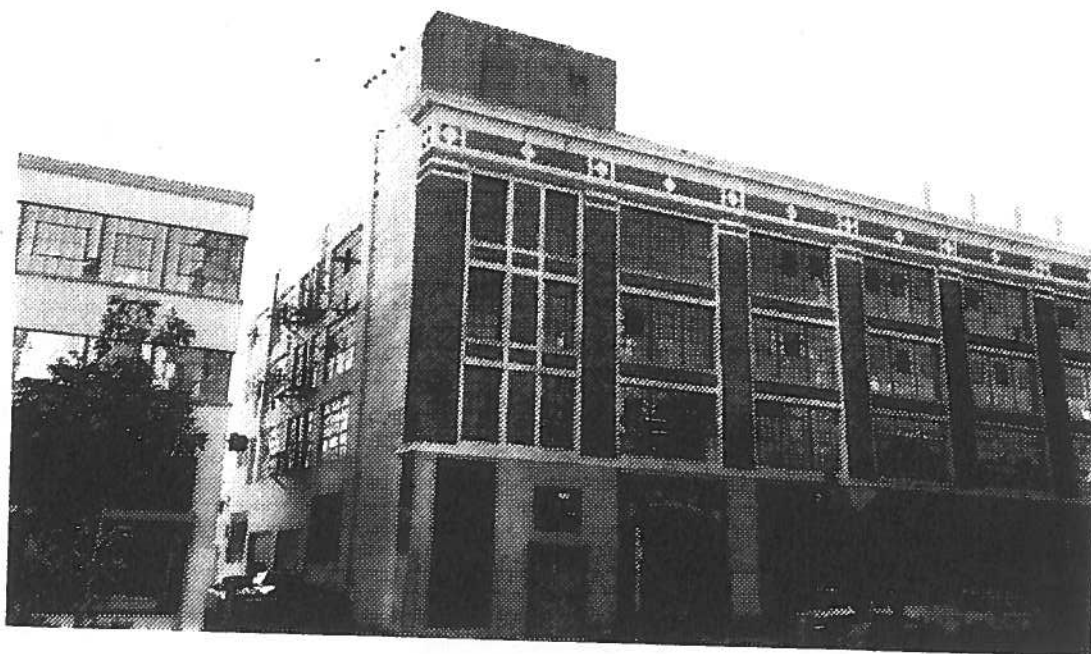
Primary # _____

HRI # _____

Trinomial _____

Page 17 of 18 *Resource Name or # (Assigned by recorder) 1200 S. Hope Street
*Recorded by K.A. Crawford/Michael Brandman Associates Date October 2008
☒ Continuation ☐ Update

Edwards Building
1200 S. Hope Street, Los Angeles
View Northwest/East and South Facades
October 16, 2008



State of California — The Resource Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

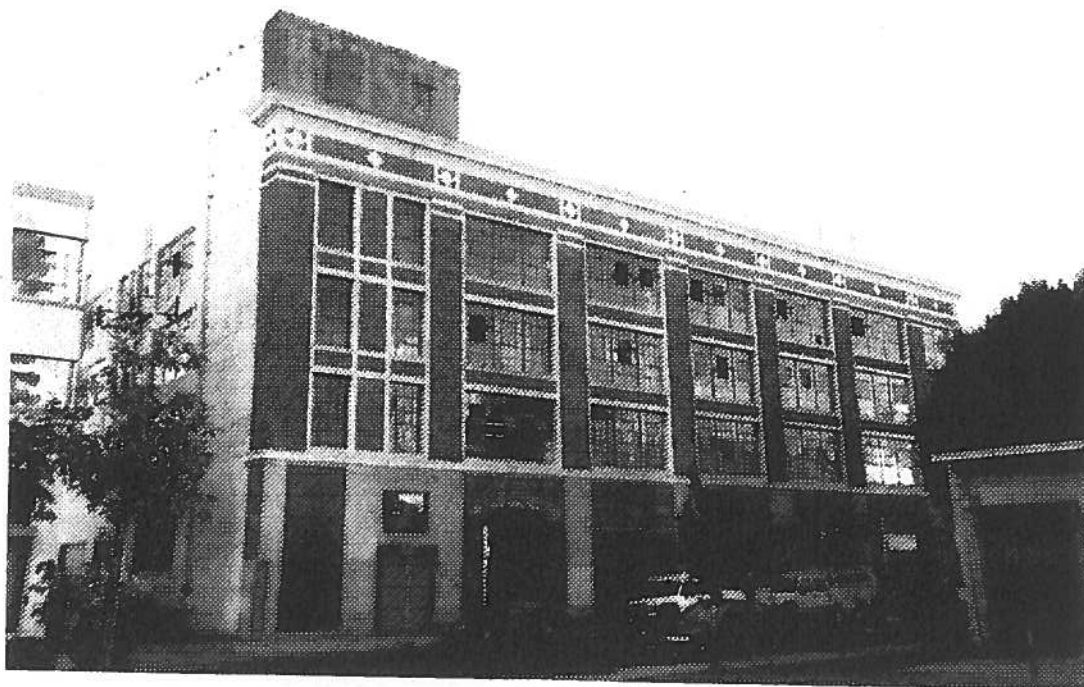
Primary # _____

HRI # _____

Trinomial _____

Page 18 of 18 *Resource Name or # (Assigned by recorder) 1200 S. Hope Street
*Recorded by K.A. Crawford/Michael Brandman Associates Date October 2008
☒ Continuation ☐ Update

Edwards Building
1200 S. Hope Street, Los Angeles
View Northwest/East and South Facades
October 16, 2008



Building Permits -- 1248 S. Figueroa Street

Table 1

Building Permits for APN 5138-025-014

Issued	Permit#	Owner	Contractor	Architect	Valuation	Description	Address number
9/8/1919	1919LA10441	J. A. Graves	Davidson Construction Co.	Morgan, Walls, and Morgan	\$80,000	Class "A" new building permit, for retail building to be 100' x 150' on lot of same size. Two stories in height, with highest point to be 35'. Foundation to be reinforced concrete on gravel soil, one "T.C." chimney. Exterior walls to be brick and concrete with concrete floors and roofs and tile interior walls. There is a building within 30 feet of this proposed structure.	1246-1252, on lots 10&11
3/6/1920	1920LA03822	J. A. Graves	Davidson Construction Co.	Morgan, Walls, and Morgan	\$300	To build [illegible] At 1246 Figueroa	1246
8/17/1920	1920LA13228	Maxwell and Hoffman	Acme Construction Co.	D.L. Burgeson Or Bergeron?	\$500	"A balcony, 12' by 36'6" to be erected in rear room for office purposes" building used as public garage, class C, one story on single lot.	1246
11/30/1920	1920LA23587	J. A. Graves	Acme Contractors	None	\$800	"Building new mezzanine in used car room." Building used as public garage, two stories with garage and office room	1250
7/25/1921	1921LA17074	J. A. Graves	Acme Contractors	Acme Contractors	\$100	"To add one window to north wall of building for purpose of light and ventilation. No building within 30 ft of structure" Building used as automobile office and sales, two	1250

Table 1 (Continued)

1248 Figueroa Building Permits

Issued	Permit#	Owner	Contractor	Architect	Valuation	Description	Address number
						stories high with four rooms. Two stories with four rooms	
6/20/1922	1922LA21081	Paul Hoffman Co.	Paul Hoffman Co.	None	\$75	Class "C" new building at 1244 South Figueroa, platform for advertising, 3'high, 10 x 22 on lot 100' x 150' of concrete with 18" footings on sand (soil), made of concrete	1244; on lots 9 & 10
3/12/1923	1923LA10785	J. A. Graves	Acme Contractors	Acme Contractors	\$800	"Addition to present balcony and [illegible] with old contractors in [illegible] way. Mezzanine to be used for offices." Used as "garage sales room."	1250
5/7/1923	1923LA20672	J. A. Graves	Barin Burch	Morgan, Walls, and Morgan	\$85,000	Class "A" new building permit , for auto sales and service, building to be 95'4" x 150'3" on lot size 95'4" x 155'0", two stories with a height of 43'1-5/8", concrete foundation on gravel, concrete frame with brick filler walls for exterior and hollow tile and metal lath with plaster partitions for interior walls, concrete floors and roof, wood mezzanine. Building(s) within 30 feet.	1238-40; lots 8 and n. 45.32' of lot 9
9/25/1925	1925LA33020 Sign	Lord Motor Car Co.	Western Sign Co.	None	\$100	"Wish to put up a sign across front of building 12ft up from ground. Sign is 96ft long and 6ft wide. Sign will not	1240

Table 1 (Continued)

1248 Figueroa Building Permits

Issued	Permit#	Owner	Contractor	Architect	Valuation	Description	Address number
						interfere with [[illegible]windows , standpipes, firecapas, ect. Projections not over 3 inches. Signn temporary."	
4/11/1933	1933LA05080 Sign	The Thompson- Struebling Co.	Q.R.S. Sign Corp.	None	\$60	Move "an existing roof sign and raising it six feet..."	1240 (from 1604)
9/3/1935	1935LA15418	Thompson- Nash Motors	A.N. Monmert	None	\$550	"cut opening in 21" brick wall to make passage in between the 2 bldgs same to be [illegible] by class A fire proof doors installed by the Calif. Fire[illegible] door co. (1923 So. Los Angeles) [illegible] on each side of partition 10" I beam above opening 16" [illegible]. Building described as a class "A" building of one room and two stories high. Exterior walls are concrete and steel.	1240
2/2/1937	1937LA00389	Thompson- Nash Motors	A.N. Monmert	none	\$75	When 4-12' X 15' plate glass windows are removed we [illegible] to remove 2' x 15' of brick [illegible] under the 4 openings and install sliding steel doors." Building described as class "C" building of two stories, size 100 x 150, with walls of	1240, lot 9

Table 1 (Continued)

1248 Figueroa Building Permits

Issued	Permit#	Owner	Contractor	Architect	Valuation	Description	Address number
						brick.	
10/23/1946	1946LA27746 Sign	Nash California Co	ORS Neon Corp. Ltd.	None	\$610	“Erect 1 metal neon sign on exist bldg.” Plan included with permit	1240
2/1/1953	1953LA52647	G. E. Watkiyns	Harry M. Lukens	none	\$1000	“Parapet wall corrections along Figueroa st. and alley in rear” Building described as two story, 95 x 150 with a height of 35. Walls and framework of concrete.	1240, lots 8, 9, and SW 16’ of lot 7
9/14/1953	1953LA69038	G. E. Watkiyns	Harry M. Lukens	John Lander (E)	\$200	“Repair broken concrete slab between joist on 2 nd floor” Building described as garage, two stories of 100 x 100 with height of 35, built of masonry.	1240, lots 10 & 11
3/23/1954	1954LA84021	Spencer J. Honig	Harry M. Lukens	none	\$2,000	“Parapet corrections along Figueroa and Pico” Building described as Automobile agency, two stories of 70 x 100 with a height of 45, masonry.	1250, portion of lots 11, 12, & 13 Not extant
12/13/1954	1954LA03157	G. E. Watkiyns	Harry M. Lukens	none	\$800	Second floor bathroom, 8’ x 18’, new partitions (solid M.L. & D.), and new toilets and urinals. Building described as garage, two stories of 75 x 150 with a height of 40, masonry	1240, lots 8 and 9
12/17/1954	1954LA03363	Schwabach er and Frey	Owner	Stiles Clements	\$500	“Install 4-steel beam in 2 nd floor”	1240, lot 9

Table 1 (Continued)

1248 Figueroa Building Permits

Issued	Permit#	Owner	Contractor	Architect	Valuation	Description	Address number
						Building described as garage, three stories of 95 x 150 with a height of 50, made of concrete. Change of use to printing shop.	???, same as below?
1/6/1955	1955LA04973	Schwabacher and Frey	Owner	Stiles Clements	\$1,000	New doors and staircase Building described as two stories, 95 x 150 with a height of 40, of brick and concrete. On lot of 50 x 155.2	1240, lots 9 & 10
1/31/1955	1955LA05527	G. E. Watkiyns	J. H. Bryant Company	None	\$2,800	“New composition roof” Building used for printing.	1240, “No legal” lot/tract information ???, printing, see above?
3/4/1955	1955LA09776	G. E. Watkiyns	Harry M. Lukens	None	\$5,000	Work on mezzanine, to include tile, and new staircase Building described as two story, 99 x 150 with a height of 40, made of concrete. Used for “auto storage and sales room”, to be changed to “Desk mfg display rm”	1248 ???, see below? Same building
3/16/1955	1955LA10363	G. E. Watkiyns	Harry M. Lukens	none	\$5,000	“install new front, cover w Robertson x steel decking”	1248, lots 10 & 11

Table 1 (Continued)

1248 Figueroa Building Permits

Issued	Permit#	Owner	Contractor	Architect	Valuation	Description	Address number
						Building described as two story, 99 x 150 with a height of 40, exterior walls of stucco, Furniture sales and factory	
4/4/1955	1955LA13207	G. E. Watkiyans	Harry M. Lukens	None	\$300	New marquee and reframe Building described as two stories, 99 X 150, height of 40, brick and concrete Furniture sales and factory	1248, lots 10 & 11
3/19/1957	1957LA66575	Horton and Converse	R. L. Arnold	None	\$5,000	"No structural changes. Glass front in existing building" Building described as two stories, 185 x 178 with a height of 30, of brick exterior and wood roof. Sales room	1250-54-60, lot 12 and part of 11 and 13 Not extant
4/30/1957	1957LA70298	Horton and Converse	Robert L. Arnold	J. L. Randall (E)	\$1,500	"Replace stairway, cut 2 openings thru brick wall" Buildings described as two stories, 85 x 150, height of 30, brick, wood roof with composition Present use "stores" and new use "retail store."	1250, parts 11, 12. & 13 Not extant
9/26/1960	1960LA71128	Schwabacher and Frey	Harold Sampson	None	\$500	"Erect wood partition width of building" Building described as brick exterior walls with wood and composition	1240 S+F owners see above

Table 1 (Continued)

1248 Figueroa Building Permits

Issued	Permit#	Owner	Contractor	Architect	Valuation	Description	Address number
						roof. Office	
11/25/1965	1965LA09023	Horton and Converse	Williams Waterproofing & Painting	none	\$2,600	<p>“Install new office partitions and show window platforms.”</p> <p>Building described as brick walls, wood roof, and concrete floor.</p> <p>Furniture sales</p>	<p>1250, lots 11, 12, & 13</p> <p>Not extant</p>
4/15/1965	1965LA92717	A.G. Schaeffer, Sr.	Owner	None	\$3,000	<p>“Interior partition for furniture”</p> <p>Building described as two stories, 100 x 150 with a height of 20, brick ext walls, wood and composition roof.</p> <p>“Highway Dedication” stamped across permit</p>	1248, lot 10
12/6/1967	1967LA57568	The E. 24 th St. Corp	The Ted R. Cooper Co.	Jackson M. Lewis (E)	\$18,000	<p>“install 2story 7’ x 9’ elevator, with block wall shaft new 12’x20’ and 4’4” x 11’ concrete floor slabs wood strips”</p> <p>Building described as two stories, 98 x 150 with a height of 30.</p>	1240, lot 9
1/19/1968	1968LA60061	The E. 24 th St. Corp	The Ted R. Cooper Co.	Jackson M. Lewis (E)	\$15,000	<p>“int. office partitions, air cond. Susp. Clg. 4 x 22 canopies (2) mezz flr. addition”</p> <p>Building described as three stories, 98 x 150, with a height</p>	1240, lot 9

Table 1 (Continued)

1248 Figueroa Building Permits

Issued	Permit#	Owner	Contractor	Architect	Valuation	Description	Address number
						of 30. Note that mezzanine makes building three stories	
6/14/1967	1968LA68718	The E. 24 th St. Corp	The Ted R. Cooper Co.	Jackson M. Lewis (E)	\$180	“cut 2 opngs 1’-4” x 2’-3” in existing 2 nd fl. slab bet. joist.” Building described as two stories, 98 x 150 with a height of 30, brick exterior	1240, lot 9
9/2/1969	1969LA94812	Albert G. Schaefer	Unknown	Lyall A. Pardee	\$3,000	“Structural remodeling of south wall” Building described as two stories, 150 x 100 with a height of 34, brick exterior walls with composition roof and concrete floors Includes plan that suggests south wall remodeled but existing building to south to be removed	1248, lots 9, 10, & 11
5/14/1970	1970LA08857	Mr. Singletary	Safe-way Sandblasting	None	\$285	“Sandblast So. wall in preparation for painting.” Building described as two stories, 30x130 with a height of 30, stucco walls with composition roof.	1248, lot 10
4/19/1974	1974LA88678	Kraus Original Inc.	Owner	The Ted R. Cooper Co.	\$650	“Install H.M. room in existing bldg.. (neoprene adhesive 7450) 4 drums)” Building described as three stories, 95 x 150, concrete block exterior	1240, sw 16’ of lot 7, all lot 8, NE 29’ lot 9

Table 1 (Continued)

1248 Figueroa Building Permits

Issued	Permit#	Owner	Contractor	Architect	Valuation	Description	Address number
						walls, concrete floor, and composition roof. warehouse	
4/19/1979	1979LA79504	Harlow Kerman	Owner	None	\$5,000	"Adding an office w/in exist. Bldg.. [illegible] partitions and suspended ceiling"	1248, lot 10
11/24/1980	1980LA14516	The E. 24 th St. Corp	The Ted R. Cooper Co.	None	\$12,300	"Comply with fire safety orders" Building described as three stories, 95 x 150, with a height of 36, brick exterior walls and concrete floor and roof. "conservation" stamped on permit	1240, sw 16' of lot 7, all lot 8, NE 29' lot 9
1/8/1987	1987LA54642	Mary Mann	Keyte & Deckers Inc.	None	\$80,000	"tenant improvement-partition walls, ceiling, bathroom remodel" Building described as two stories, 100 x 150 with a height of 40. Use from retail to auto sales CRA stamped on permit	1248, 10 and portion of 9 and 11
2/20/1987	1987LA58064	"Acua" Acura	Tripled "A" Neon (installer)	none	\$12,840	Wall sign Permit includes plan of work, shows existing building	1248, lot 10
4/27/1987	1987LA63644	Metro Acura	All Temperatures Controlled	Kenneth W. Poliw (E)	\$200	"A.C. Units of roof" Building described as three stories, 100 x 150 with a height of 45, walls	1248, lot 10

Table 1 (Continued)

1248 Figueroa Building Permits

Issued	Permit#	Owner	Contractor	Architect	Valuation	Description	Address number
						are "block" and roof and floors are concrete.	
7/31/1987	1987LA71994	Mary Mann	Keyte & Deckers Inc.	None	\$200	<p>"Reopen existing doorway for access to adjacent lot"</p> <p>Building described as three stories, brick exterior walls, composition and wood roof, and concrete floors.</p>	1248, lots 10 & 11
4/18/1988	1988LA95201	Acura	Triple "A" Neon (installer)	None	\$1,000	<p>Sign with internal illumination.</p> <p>Permit includes plan of work, shows existing building</p>	<p>1248, lots 10-13</p> <p>12, 13 and part of 11 no longer extant</p>
4/18/1988	1988LA95202	Acura	Triple "A" Neon (installer)	David R. Ehrlich	\$4,880	Pylon sign	<p>1248, lots 10-13</p> <p>12, 13 and part of 11 no longer extant</p>
5/12/1988	1988LA97891	Ted R. Cooper Prop.	None	Oldham & Erickson	\$37,000	<p>"Full compliances with Div. 88 (class II)."</p> <p>Building described as two stories, 95 x 150 with a height of 32, masonry and concrete</p> <p>Present use of building "sewing, clothing manufacturing" new use "same"</p> <p>Permit includes plan of work, shows existing</p>	1240, lot 9

Table 1 (Continued)

1248 Figueroa Building Permits

Issued	Permit#	Owner	Contractor	Architect	Valuation	Description	Address number
						building: Connected to 1248	
3/25/2004	04016-10000-0413	Homero and Belinda Meruelo	Owner	None	\$300	“Temporary land use’ permit good till 12/31/2004. This permit is to allow the building to be used temporarily as an ‘non-required parking’ only at the showroom and car service area on the ground level. The second floor of the building shall remain vacant and not to be used. Stairs leading up to the second floor shall be temporarily barricaded. Existing bathrooms on the ground.”	Lot 10
3/17/2009	09016-10000-02425	Homero and Belinda Meruelo	Beton Construcion Inc.	None	\$2,000	“General rehabilitation (no alteration & no structural changes).” Used car sales	Lot 10
4/27/2009	09016-10000-05454	Homero and Belinda Meruelo Mayer Separzadeh (tenant, owner-builder)	Mayer Separzadeh	Abdy Khorramian (A)	\$25,000	“Stucco (north, east, and south sides) & all windows and doors repair & replacement (same size and type) on exterior only (remain existing window tri. At westside (Figueroa).” Permit includes plan of work, shows existing building.	Lot 10
5/14/2009	09016-10001-	Homero and Belinda	Owner-	Bahman Shokoufan	\$4,000	Supplement to work from permit	Lot 10

Table 1 (Continued)

1248 Figueroa Building Permits

Issued	Permit#	Owner	Contractor	Architect	Valuation	Description	Address number
	05454	Meruelo Mayer Separzadeh (tenant, owner-builder)	builder	deh (E)		09016-10000-05454	
8/7/2009	09016-10000-09038	1248 Figueroa Street Llc Dcc (tenant, agent for owner)	Owner-builder	Abdy Khorramian (A) Nabih Fouad Guirg Youssef (E)	\$10,000	“Close skylights (6 total) at lower roof level and install one exterior door on two story commercial building. Respond to department ‘order to comply’ issues on 4/29/2009.” Permit includes plan of work, shows existing building.	Lot 9, 10, & 11
1/8/2010	10016-10000-00233	Downtown Live Llc	Owner-builder	Abdy Khorramian (A) Nabih Fouad Guirg Youssef (E)	\$300,000	“Structural upgrade...‘Comply with department order’”	Lots 9, 10, & 11
3/10/2010	09016-10000-13298	Downtown Live Llc	Owner-builder	Abdy Khorramian (A) Nabih Fouad Guirg Youssef (E)	\$50,000	“Change of use from auto dealer to retail/restaurants. Convert the roof to decks. Addition of restrooms in the 3 rd level. No alcohol, no dancing. ‘Comply with department order effective 4/24/2009. Permit will expire 30 days from issuance date.” Permit includes plan of work, shows existing building.	Lot 9, 10, & 11
10/20/2010	09016-10001-	Downtown	Owner-	Abdy	\$25,000	Supplement to	Lots 9,

Table 1 (Continued)

1248 Figueroa Building Permits

Issued	Permit#	Owner	Contractor	Architect	Valuation	Description	Address number
	13298	Live Llc	builder	Khorramian (A) Nabih Fouad Guirg Youssef (E)		work from permit 09016-10000-13298	10, & 11
3/29/2011	09016-10002-13298	Downtown Live Llc	Owner-builder	Abdy Khorramian (A) Nabih Fouad Guirg Youssef (E)	\$501	Supplement to work from permit 09016-10000-13298 "to allow sale and dispensing of alcoholic beverages on site, live entertainment and patron dancing for 2 nd floor and rooftop of unit #200."	Lots 9, 10, & 11
4/6/2011	09016-10003-13298	Downtown Live Llc	Owner-builder	Abdy Khorramian (A) Nabih Fouad Guirg Youssef (E)	\$10,000	"Revise roof top plan, provide 10 fix benches with decorative curtains at 5'9" maximum height"	Lots 9, 10, & 11
4/11/2011	10016-10000-22979	Downtown Live Llc Robert Toro (agent for owner)	Quest Construction Building Contractors	James D. Rosenlieb	\$650,000	"tenant improvement 7,247 SF of Restaurant"	Lot 10
4/14/2011	11014-10000-00631	Downtown Live Llc Vladimir Elmanovich (agent for owner)	Owner-builder	Levin Vladimir (E)	\$564,000	Change of use from retail to restaurant, add mezzanine to be structurally independent.	Lot 10
4/22/2011	11048-10000-00686	Downtown Live Llc I Con L.A. Lounge (tenant); Hector Sanchez (Icon L.A. Ultra	Sam James Sai, Sam's Signs	None	\$3,500	"Installation of two wall signs."	Lot 10

Table 1 (Continued)

1248 Figueroa Building Permits

Issued	Permit#	Owner	Contractor	Architect	Valuation	Description	Address number
		Lounge, owner)					
4/28/2011	11048-10000-00742	Downtown Live Llc	Sam James Sai; Sam's Signs	None	\$7,500	Wall sign	Lots 9, 10, & 11
6/24/2011	11020-10000-01115	1248 Figueroa Street Llc	Quest Construction Building Contractors	Abdy Khorramian (A) Nabih Fouad Guirg Youssef (E)	\$28,000	Fence wall for outdoor seating area	Lots 9, 10, & 11
6/24/2011	10016-10001-22979	Downtown Live Llc Robert Toro (agent for owner)	Quest Construction Building Contractors	James D. Rosenlieb	\$501	"Structural details for the platform. Create opening in north wall. Glass guardrail."	Lot 10
6/29/2011	11048-10000-00947	Downtown Live Llc Edward Oncinae (tenant, owner)	Encore Image Inc.	None	\$22,000	Signs	Lot 10
7/15/2011	11048-10000-01150	Downtown Live Llc Hooters (tenant, Edward Encinas)	Encore Image Inc.	None	\$12,000	One wall sign	Lot 10
10/6/2011	10061-10002-22979	Downtown Live Llc	Quest Construction Building Contractors	James D. Rosenlieb	\$10,000	Supplement to work from permit 10061-10000-22979. "Create a broadcasting booth."	Lot 10
12/22/2011	11048-10000-02337	Downtown Live Llc Steven Penn-Prestige Tickets, tenant)	Tyko Tako	None	\$5,000	Two wall signs	Lot 10
8/28/2013	09016-10004-	Downtown	Owner-	None	\$0	Supplement to	Lots 9,

Table 1 (Continued)

1248 Figueroa Building Permits

Issued	Permit#	Owner	Contractor	Architect	Valuation	Description	Address number
	13298	Live Llc	builder			work from permit 09016-10002-13298 "to allow sale and dispensing of alcoholic beverages on site, live entertainment and patron dancing for 2 nd floor and rooftop of unit #200."	10, & 11
4/13/2016	16048-10000-00912	Downtown Live Llc	Western Sign and Awning	None	\$4,000	sign	Lot 10
4/13/2016	16048-10000-00914	Downtown Live Llc	Western Sign and Awning	None	\$3,885	sign	Lot 10

1248 S Figueroa St



Permit #:
Plan Check #:
Event Code:

04016 - 10000 - 04513
Printed: 03/25/04 09:35 AM

Bldg-Alter/Repair Commercial Express Permit No Plan Check	City of Los Angeles - Department of Building and Safety APPLICATION FOR BUILDING PERMIT AND CERTIFICATE OF OCCUPANCY	Last Status: Ready to Issue Status Date: 03/25/2004
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1. TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF #	PARCEL ID # (PIN #)	2. ASSESSOR PARCEL #
CARSON AND CURRIER'S		10		M R 55-3	126A205 19	5138 - 025 - 014

3. PARCEL INFORMATION Area Planning Commission - Central LADBS Branch Office - LA Council District - 9 Certified Neighborhood Council - Downtown Los Angeles Community Plan Area - Central City	Census Tract - 2079.00 District Map - 126A205 Energy Zone - 9 Fire District - 1 (Entire parcel) Lot Cut Date - 04/02/1956	Lot Cut Date - 09/13/1941 Near Source Zone Distance - 8.2 Parking Dist. - CCPD Parking Dist. - DPD Thomas Brothers Map Grid - 634-D5
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ZONE(S): C2-4D-O /

4. DOCUMENTS ZI - ZI-2316 ZI - ZI-940 PKLY - PKG-717 ORD - ORD-164307-SA3005	CRA - CITY CENTER REDEV PRJCT CPC - CPC-1986-606 CDBG - LARC-Yes CDBG - LARZ-Central City
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5. CHECKLIST ITEMS

6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION Owner(s): Meruelo, Homero And Belinda Trs Meruelo 1 761 Terminal St 2 FLR LOS ANGELES CA 90021 Tenant: Applicant: (Relationship: Agent for Owner) -

7. EXISTING USE (08) Automobile Sales - new	PROPOSED USE	8. DESCRIPTION OF WORK "Temporary land use" permit good till 12/31/2004. This permit to allow the building to be used temporarily as an "non-required parking" only at the showroom and car service area on the ground level. The second floor of the building shall remain vacant and not to be used. Stairs leading up to the second floor shall be temporary barricaded. Existing bathrooms on the ground
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9. # Bldgs on Site & Use:

10. APPLICATION PROCESSING INFORMATION BLDG. PC By: OK for Cashier: Lincoln Lee Signature:	DAS PC By: Coord. OK: Date: 3/25/04
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For information and/or inspection requests originating within LA County,
Call toll-free (888) LA4BUILD
Outside LA County, call (213) 482-0000. (LA4BUILD = 524-2845)

For Cashier's Use Only
W/O #: 41604513
LA Department of Building and Safety
LA 04 17 119831 03/25/04 09:44AM

11. PROJECT VALUATION & FEE INFORMATION Final Fee Period	
Permit Valuation: \$300	PC Valuation:
FINAL TOTAL Bldg-Alter/Repair	99.89
Permit Fee Subtotal Bldg-Alter/Repair	65.00
Fire Hydrant Refuse-To-Pay	
E.O. Instrumentation	0.50
O.S. Surcharge	1.71
Sys. Surcharge	5.13
Planning Surcharge	2.55
Planning Surcharge Misc Fee	5.00
Permit Issuing Fee	20.00
Permit Fee-Single Inspection Flag	
Sewer Cap ID:	Total Bond(s) Due:

BUILDING PERMIT COMM	\$65.00
EI COMMERCIAL	\$0.50
BUILDING PLAN CHECK	\$20.00
ONE STOP SURCH	\$1.71
SYSTEMS DEVT FEE	\$5.13
CITY PLANNING SURCH	\$2.55
MISCELLANEOUS	\$5.00
Total Due:	\$99.89
Credit Card:	\$99.89

4LA 56039

12. ATTACHMENTS



* P 0 4 0 1 6 1 0 0 0 0 0 4 5 1 3 F N *

13. STRUCTURE INVENTORY

04016 - 10000 - 04513

14. APPLICATION COMMENTS

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless, the information printed exceeds that required by Section 19825 of the Health and Safety Code of the State of California.

15. Building Relocated From:

16. CONTRACTOR, ARCHITECT, & ENGINEER NAME ADDRESS

CLASS LICENSE# PHONE#

(O) , Owner-Builder

0

PERMIT EXPIRATION

This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by the Dept. of Building & Safety (Sec. 22.12 & 22.13 LAMC).

17. OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the following reason (Section 7031.5, Business and Professions Code):

Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

☐ I, as the owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale

(Sec. 7044, Business & Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year from completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

☒ OR I, as the owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business & Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

18. WORKERS' COMPENSATION DECLARATION

I hereby affirm, under penalty of perjury, one of the following declarations:

☐ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: _____ Policy Number: _____

☒ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

19. ASBESTOS REMOVAL DECLARATION

I certify that notification of asbestos removal is either not applicable or was sent to the AQMD or EPA as per section 19827.5 of the Health and Safety Code.

20. FINAL DECLARATION

I certify that I have read this application INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

By signing below, I certify that:

(1) I accept all the declarations above namely the Owner-Builder Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration and Final Declaration; and

(2) This permit is being obtained with the consent of the legal owner of the property.

Print Name: _____

Sign: _____

Date: 3-25-04

☒ Owner☒ Authorized Agent

1248 S Figueroa St



Permit #:

09016 - 10000 - 02425

Plan Check #: X09LA02635

Printed: 03/17/09 09:03 AM

Event Code:

Bldg-Alter/Repair
Commercial
Express Permit
No Plan CheckCity of Los Angeles - Department of Building and Safety
**APPLICATION FOR BUILDING PERMIT
AND CERTIFICATE OF OCCUPANCY**

Last Status: Ready to Issue

Status Date: 03/17/2009

1. TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF #	PARCEL ID # (PIN #)	2. ASSESSOR PARCEL #
CARSON AND CURRIER'S		10		M R 55-3	126A205 19	5138 - 025 - 014

3. PARCEL INFORMATION

Area Planning Commission - Central	Census Tract - 2079.00	Lot Cut Date - 09/13/1941
LADBS Branch Office - LA	District Map - 126A205	Methane Hazard Site - Methane Zone
Council District - 9	Energy Zone - 9	Near Source Zone Distance - 0
Certified Neighborhood Council - Downtown Los Angeles	Fire District - 1 (Entire parcel)	Parking Dist. - CCPD
Community Plan Area - Central City	Lot Cut Date - 04/02/1956	Parking Dist. - DPD

ZONE(S): C2-4D-O /

4. DOCUMENTS

ZI - ZI-2374 Los Angeles State Enterpris	ORD - ORD-164307-SA3005	CPC - CPC-1986-606-GPC	CDBG - BID-South Park
ZI - ZI-2385 Greater Downtown Housing	ORD - ORD-73261	CPC - CPC-2005-1122-CA	CDBG - LARC-Los Angeles
ZI - ZI-940 Central Bsn District Redevel	CRA - ZI 2316 CITY CENTER REDEV	CPC - CPC-2005-1124-CA	CDBG - LARZ-Central City
PKLY - PKG-717	CRA - ZI 940 CENTRAL BSN DIST	CPC - CPC-2005-361-CA	CDBG - SEZ-Los Angeles State Enterprn

5. CHECKLIST ITEMS**6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION**

Owner(s):

Meruelo, Homero And Belinda Trs Meruelo 1 761 Terminal St 2 FLR

LOS ANGELES CA 90021

Tenant

Applicant (Relationship: Agent for Contractor)

(323) 655-4228

7. EXISTING USE**PROPOSED USE**

(08) Automobile Sales - used

8. DESCRIPTION OF WORK

General rehabilitation (No alteration & no structural changes.) (less than 10% of replacement cost of building).

9. # Bldgs on Site & Use:**10. APPLICATION PROCESSING INFORMATION**

BLDG. PC By:

DAS PC By:

OK for Cashier: Jenny Ayala

Coord. OK:

Signature:

Date:

03.17.09

For inspection requests, call toll-free (888) LA4BUILD (524-2845).
Outside LA County, call (213) 482-0000 or request inspections viawww.ladbs.org. To speak to a Call Center agent, call 311 or
(866) 4LACITY (452-2489). Outside LA County, call (213) 473-3231. Safety

For Cashier's Use Only

W/O #: 91602425

BUILDING PERMIT COMM	\$130.00
EI COMMERCIAL	\$0.50
ONE STOP SURCH	\$3.01
SYSTEMS DEVT FEE	\$9.03
CITY PLANNING SURCH	\$9.00
MISCELLANEOUS	\$5.00
GREEN BUILDING FEE	\$1.00
BUILDING PLAN CHECK	\$20.00

P090161000002425FN

Total Due:	\$177.54
Check:	\$177.54

2009LA35381

11. PROJECT VALUATION & FEE INFORMATION Final Fee Period

Permit Valuation: \$2,000 PC Valuation:

FINAL TOTAL Bldg-Alter/Repair	177.54
Permit Fee Subtotal Bldg-Alter/Rep:	130.00
Fire Hydrant Refuse-To-Pav	
E.Q. Instrumentation	0.50
O.S. Surcharge	3.01
Svs. Surcharge	9.03
Planning Surcharge	9.00
Planning Surcharge Misc Fee	5.00
Green Building Fee	1.00
Permit Issuing Fee	20.00

Sewer Cap ID:

Total Bond(s) Due:

12. ATTACHMENTS

Owner-Builder Declaration

1030319200985249



* P 0 9 0 1 6 1 0 0 0 0 0 2 4 2 5 F N *

14. APPLICATION COMMENTS

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless, the information printed exceeds that required by Section 19825 of the Health and Safety Code of the State of California.

15. Building Relocated From:

16. CONTRACTOR, ARCHITECT, & ENGINEER NAME ADDRESS

(C) Beton Construction Inc 6399 Wilshire Blvd #108, Los Angeles, CA 90048 CLASS LICENSE# PHONE #
B 739823 323 6554228

PERMIT EXPIRATION/REFUNDS: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

17. LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. The following applies to B contractors only: I understand the limitations of Section 7057 of the Business and Professional Code related to my ability to take prime contracts or subcontracts involving specialty trades.

License Class: **B** Lic. No.: **739823** Contractor: **BETON CONSTRUCTION INC**

18. WORKERS' COMPENSATION DECLARATION

I hereby affirm, under penalty of perjury, one of the following declarations:

☐ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: **State Comp. Ins. Fund** Policy Number: **1784700**

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at www.aqmd.gov. Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or www.dhs.ca.gov/childlead.

20. CONSTRUCTION LENDING AGENCY DECLARATION

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civil Code).

Lender's name (if any): Lender's address:

21. FINAL DECLARATION

I certify that I have read this application INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

By signing below, I certify that:

- (1) I accept all the declarations above namely the Licensed Contractor's Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, Construction Lending Agency Declaration and Final Declaration; and
(2) This permit is being obtained with the consent of the legal owner of the property.

Print Name:

Sign:

Date:

3/17/09

Contractor

X Authorized Agent



Bldg-Alter/Repair
Commercial
Plan Check at Counter
Plan Check

City of Los Angeles - Department of Building and Safety
**APPLICATION FOR BUILDING PERMIT
AND CERTIFICATE OF OCCUPANCY**

Last Status: Ready to Issue

Status Date: 04/27/2009

1. TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF #	PARCEL ID # (PIN #)	2. ASSESSOR PARCEL #
CARSON AND CURRIER'S		10		M R 55-3	126A205 19	5138 - 025 - 014

3. PARCEL INFORMATION

Area Planning Commission - Central LADBS Branch Office - LA Council District - 9 Certified Neighborhood Council - Downtown Los Angeles Community Plan Area - Central City	Census Tract - 2079.00 District Map - 126A205 Energy Zone - 9 Fire District - 1 (Entire parcel) Lot Cut Date - 04/02/1956	Lot Cut Date - 09/13/1941 Methane Hazard Site - Methane Zone Near Source Zone Distance - 0 Parking Dist. - CCPD Parking Dist. - DPD
---	---	---

ZONE(S): C2-4D-O /

4. DOCUMENTS

ZI - ZI-2374 Los Angeles State Enterpris	ORD - ORD-164307-SA3005	CPC - CPC-1986-606-GPC	CPC - CPC-2008-4502-GPA
ZI - ZI-2385 Greater Downtown Housins	ORD - ORD-73261	CPC - CPC-2005-1122-CA	CDBG - BID-South Park
ZI - ZI-940 Central Bsn District Redevel	CRA - ZI 2316 CITY CENTER REDEV	CPC - CPC-2005-1124-CA	CDBG - LARC-Los Angeles
PKLY - PKG-717	CRA - ZI 940 CENTRAL BSN DIST	CPC - CPC-2005-361-CA	CDBG - LARZ-Central City

5. CHECKLIST ITEMS

Special Inspect - Anchor Bolts
Std. Work Descr - Doors/Windows Changeout

6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION

Owner(s):

Meruelo, Homero And Belinda Trs Meruelo 1 761 Terminal St 2 FLR LOS ANGELES CA 90021

Tenant:

Applicant: (Relationship: Owner-Bldr)

Mayer Separzadeh - Owner-Builder 807 E. 12th St. # 401 LOS ANGELES, CA 90010 (213) 387-2974

7. EXISTING USE**PROPOSED USE**

(08) Auto Repair Garage

8. DESCRIPTION OF WORK

STUCCO (NORT, EAST, AND SOUTH SIDES) & ALL WINDOWS AND DOORS REPAIR
& REPLACEMENTS (SAME SIZE & TYPE) ON EXTERIOR ONLY. (remain existing
window trim at westside, (figueroa st)) LA Department of Building and Safety
LA 05 41 248488 04/27/09 01:51PM

2. # Bldgs on Site & Use: COMMERCIAL AUTOMOTIVE

10. APPLICATION PROCESSING INFORMATION

BLDG. PC By: Bidyut Rath

DAS PC By:

OK for Cashier: Minh Valenzuela

Coord. OK:

Signature:

Date: 4/27/09

11. PROJECT VALUATION & FEE INFORMATION Final Fee Period

Permit Valuation: \$25,000

PC Valuation:

FINAL TOTAL Bldg-Alter/Repair	433.48
Permit Fee Subtotal Bldg-Alter/Rep:	360.00
Handicapped Access	
Plan Check Subtotal Bldg-Alter/Rep	0.00
Plan Maintenance	10.00
Fire Hydrant Refuse-To-Pay	
E.O. Instrumentation	5.25
O.S. Surcharge	7.51
Sys. Surcharge	22.52
Planning Surcharge	22.20
Planning Surcharge Misc Fee	5.00
Green Building Fee	1.00
Permit Issuing Fee	0.00

Sewer Cap ID:

Total Bond(s) Due:

12. ATTACHMENTS

D.A. Hardship Exemption Plot Plan
Owner-Builder Declaration

For inspection requests, call toll-free (888) LA4BUILD (524-2845).
Outside LA County, call (213) 482-0000 or request inspections via
www.ladbs.org. To speak to a Call Center agent, call 311 or
(866) 4LACITY (452-2489). Outside LA County, call (213) 473-3231.

For Cashier's Use Only	W/O #: 91605454
SYSTEMS DEVT FEE	\$22.52
CITY PLANNING SURCH	\$22.20
MISCELLANEOUS	\$5.00
GREEN BUILDING FEE	\$1.00
BUILDING PLAN CHECK	\$0.00
BUILDING PLAN CHECK	\$0.00

P090161000005454FN

Total Due: \$433.48
Check: \$433.48

2009LA36868



* P 0 9 0 1 6 1 0 0 0 0 5 4 5 4 F N *

102050420091599

14. APPLICATION COMMENTS

** Approved Seismic Gas Shut-Off Valve may be required. **

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless, the information printed exceeds that required by Section 19825 of the Health and Safety Code of the State of California.

15. Building Relocated From:

16. CONTRACTOR, ARCHITECT, & ENGINEER NAME ADDRESS

	ADDRESS	CLASS	LICENSE#	PHONE #
(A) Khorramian, Abdy	4741 Laurel Canyon Rd #202,		C13138	(818) 508-0817
(O) , Owner-Builder	807 E. 12th St., # 401		0	2133872974

PERMIT EXPIRATION/REFUNDS: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

17. OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the following reason (Section 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☐ I, as the owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business & Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year from completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

OR

☐ I, as the owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business & Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

18. WORKERS' COMPENSATION DECLARATION

I hereby affirm, under penalty of perjury, one of the following declarations:

☐ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: _____ Policy Number: _____

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at www.aqmd.gov. Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or www.dhs.ca.gov/childlead.

20. FINAL DECLARATION

I certify that I have read this application INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

By signing below, I certify that:

- (1) I accept all the declarations above namely the Owner-Builder Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

Print Name:

Mayer S. Sanyal

Sign:



Date:

4/27/05

☒ Owner☐ Authorized Agent

Bldg/Alter/Repair

Commercial

Plan Check

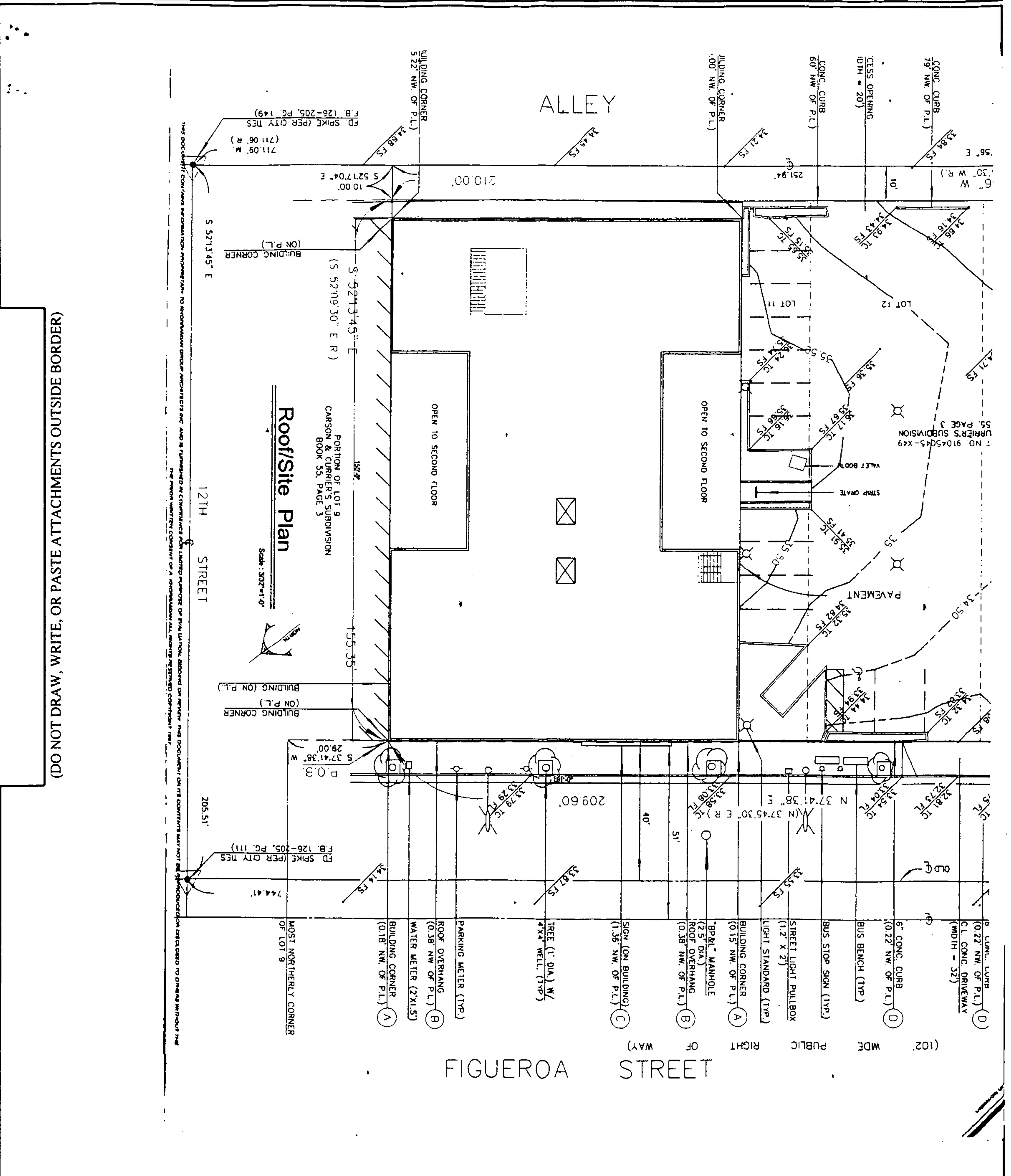
City of Los Angeles - Department of Building and Safety

Plan Check #: B09LA03518

Initiating Office: METRO

Printed on: 04/17/09 08:21:41

PLOT PLAN ATTACHMENT





NOTICE TO PROPERTY OWNER FOR OWNER-BUILDER PERMITS

CHANGES IN STATE LAW (Assembly Bill No. 2335) REGARDING "OWNER-BUILDER" PERMITS

Due to a change by the Contractors State Licensing Board (CSLB) regarding Owner-Builder permits, the City of Los Angeles Department of Building and Safety (LADBS) will modify the permit issuing process to comply with State Assembly Bill (AB) No. 2335. Beginning January 2, 2009, a "Notification to Property Owner" with an "Owner's Acknowledgment Verification of Information" form will have to be provided by LADBS to the building owner for all Owner-Builder permits. The building owner will have to read and initial each statement to signify that he/she understands and verifies the information noted and sign at the end of the form. The form must be collected by the permit issuing staff for microfilming, after executing (initialed and signed) by the owner prior to issuing the permit.



NOTICE TO PROPERTY OWNER

Dear Property Owner:

An application for a building permit has been submitted in your name listing yourself as the builder of the property improvements specified at: 1248 S. FAUVEAU.

We are providing you with an Owner-Builder Acknowledgment and Information Verification Form to make you aware of your responsibilities and possible risk you may incur by having this permit issued in your name as the Owner-Builder. We will not issue a building permit until you have read, initialed your understanding of each provision, signed, and returned this form to us at our official address indicated. An agent of the owner cannot execute this notice unless you, the property owner, obtain the prior approval of the permitting authority.



OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF
INFORMATION

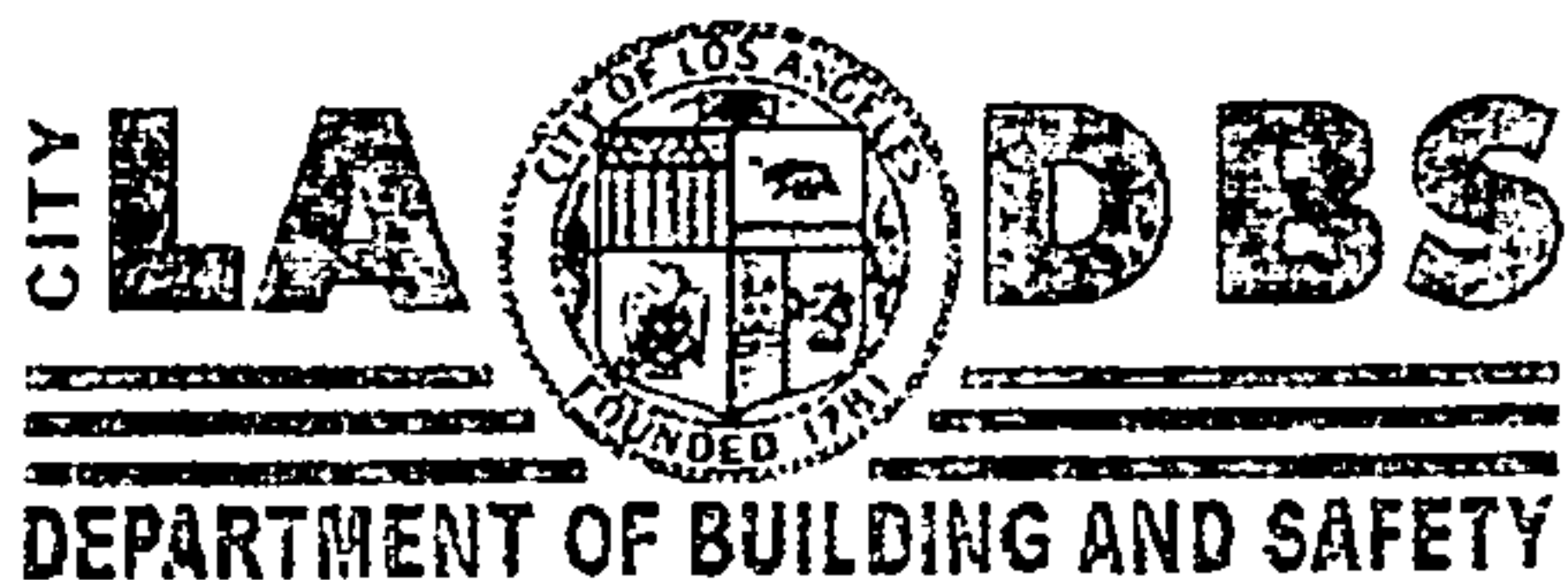
(OWNER-BUILDER DECLARATION)

Application Number: 09016-10000-05454

Project Address: 1248 S. FIGUEROA ST. LA CA 90015

DIRECTIONS: Read and initial each statement below to signify you understand or verify this information.

- ☒ 1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.
- ☒ 2. I understand building permits are not required to be signed by property owners unless they are responsible for the construction and are not hiring a licensed Contractor to assume this responsibility.
- ☒ 3. I understand as an "Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.
- ☒ 4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.
- ☒ 5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.
- ☒ 6. I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.
- ☒ 7. I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless *all* work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.
- ☒ 8. I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.
- ☒ 9. I understand I may obtain more information regarding my obligations as an "employer" from the Internal Revenue Service, the United States Small Business Administration, the California Department of Benefit Payments, and the California Division of Industrial Accidents. I also understand I may contact the California Contractors' State License Board (CSLB) at 1-800-321-CSLB (2752) or www.cslb.ca.gov for more information about licensed contractors.



OWNER'S ACKNOWLEDGMENT AND VERIFICATION
OF INFORMATION

(OWNER-BUILDER DECLARATION, cont.)

Application Number: _____

Project Address: 1248 S. FIGUEROA ST

10. I am aware of and consent to an Owner-Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity at the following address: _____

11. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern Owner-Builders as well as employers.

12. I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form. Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed Contractors may be in civil court. It is also important for you to understand that if an unlicensed Contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner-Builder and wish to hire Contractors, you will be responsible for verifying whether or not those Contractors are properly licensed and the status of their workers' compensation insurance coverage. Before a building permit can be issued, this form must be completed and signed by the property owner and returned to the agency responsible for issuing the permit.

Note: A copy of the property owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.

Owner's Name: DOWNTOWN LIVE LLC C/O MAYER SEPAYZACH

Signature of property owner: [Signature] Date: 4/27/09

SEC. 3. Section 19830 of the Health and Safety Code is repealed.

SEC. 4. Section 19831 of the Health and Safety Code is repealed.

SEC. 5. Section 19832 of the Health and Safety Code is repealed.

Application for Unreasonable Hardship to Disabled Access Requirements (Form A)

(For Existing Buildings Where Cost of Construction does not exceed \$126,764.66 (rev. 1-2009) Sec. 1134B.2.1 Exc. 1)

Project Address: <u>1248 S. FIGUEROA ST.</u>	Plan Check # <u>B 094A 03578</u>
Project Description: <u>REPAIR AND REPLACEMENT OF STUCCO, WINDOWS AND DOORS (EXT. ONLY)</u>	Total Construction Cost (project valuation) <u>\$ 25,000 -</u>

It is requested that the above project be granted an exemption from the requirements of the State of California Title 24, Accessibility Regulations, as specifically listed below. The specific accessibility features that create a hardship may be exempted but not all of them. The area of alteration itself may not be exempted.

Access Features item Provide description below	Does this feature meet latest edition of Title 24?	If not, is this feature going to be made accessible as part of this permit?	If so, cost of making feature accessible? (Documentation may be required)
1. Path of travel to entrance	<u>Yes</u>		\$
2. Entrance to Building	<u>No</u>	<u>Yes</u>	\$ <u>2000</u>
3. Path of travel within building / facility to area remodel	<u>No</u>	<u>No</u>	\$
4. Elevator	<u>N/A</u>		\$
5. Restrooms	<u>No</u>	<u>Yes</u>	\$ <u>6000</u>
6. Public telephones if provided	<u>N/A</u>		\$
7. Drinking fountains if provided	<u>N/A</u>		\$
8. Other (parking, etc.)	<u>Yes</u>		\$
Total Cost of access features provided (A)			\$ <u>8,000 -</u>
Total cost of construction (B)			\$ <u>25,000 -</u>
(A + B) x 100% (20% minimum expenditure is required)			<u>32 %</u>
Has the same tenant performed work in the same tenant space, within the last three years?			
Description of access features to be provided <u>PROVIDE NEW ACCESSABLE H/C ENTRY DOORS AND ONE NEW H/C Bathroom</u>			

Applicant Information

I certify that the above noted information is true and correct.

Name (print) MAYER SEPARZADEHSignature [Signature]Firm Address 807 E. 12TH ST #401
LA CA 9001Position MANAGER / OWNER**FOR DEPARTMENT USE ONLY**

Approved by _____

Title _____

Date _____

Denied by _____

Title _____

Date _____

1248 S Figueroa St



Permit #:

09016 - 10000 - 09038

Plan Check #: B09LA05678

Printed: 08/07/09 10:55 AM

Event Code:

Bldg-Alter/Repair
Commercial
Regular Plan Check
Plan Check

City of Los Angeles - Department of Building and Safety
**APPLICATION FOR BUILDING PERMIT
AND CERTIFICATE OF OCCUPANCY**

Last Status: Ready to Issue

Status Date: 08/07/2009

1. TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF #	PARCEL ID # (PIN #)	2. ASSESSOR PARCEL #
CARSON AND CURRIER'S		9	1	M R 55-3	126A207 50	5138 - 025 - 014
CARSON AND CURRIER'S		10		M R 55-3	126A205 19	5138 - 025 - 014
CARSON AND CURRIER'S		11	1	M R 55-3	126A205 20	5138 - 025 - 014

3. PARCEL INFORMATION

Alley - 20' AT REAR. Community Plan Area - Central City Lot Cut Date - 04/02/1956
Area Planning Commission - Central Census Tract - 2079.00 Lot Cut Date - 09/13/1941
LADBS Branch Office - LA District Map - 126A205 Lot Size - 100' X 150'
Council District - 9 Energy Zone - 9 Lot Type - INTERIOR
Certified Neighborhood Council - Downtown Los Angeles Fire District - 1 (Entire parcel) Methane Hazard Site - Methane Zone

ZONE(S): C2-4D-O /

4. DOCUMENTS

ZI - ZI-2374 Los Angeles State Enterpris ORD - ORD-164307-SA3005 CPC - CPC-1986-606-GPC CPC - CPC-2008-4502-GPA
ZI - ZI-2385 Greater Downtown Housing ORD - ORD-73261 CPC - CPC-2005-1122-CA CDBG - BID-South Park
ZI - ZI-940 Central Bsn District Redevel CRA - ZI 2316 CITY CENTER REDEV CPC - CPC-2005-1124-CA CDBG - LARC-Los Angeles
PKLY - PKG-717 CRA - ZI 940 CENTRAL BSN DIST CPC - CPC-2005-361-CA CDBG - LARZ-Central City

5. CHECKLIST ITEMS

Special Inspect - Concrete > 2.5ksi
Special Inspect - Epoxy Injection

6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION

Owner(s)
1248 Figueroa Street Llc 807 12th St STE 401 LOS ANGELES CA 90021
Tenant:
Applicant (Relationship: Agent for Owner)
- Dcc 4741 Laurel Canyon # 201 STUDIO CITY, CA 91607 (818) 755-9000

7. EXISTING USE

(16) Retail

PROPOSED USE**8. DESCRIPTION OF WORK**

CLOSE SKYLIGHTS (6 TOTAL) AT LOWER ROOF LEVEL AND INSTALL ONE EXTERIOR DOOR ON (E) TWO STORY COMMERCIAL BUILDING. RESPOND TO DEPARTMENT 'ORDER TO COMPLY' ISSUED ON 4/29/2009.

9. # Bldgs on Site & Use: AUTO DEALER**10. APPLICATION PROCESSING INFORMATION**

BLDG. PC By: George Banning DAS PC By: Aldous Chic
OK for Cashier: George Banning Coord. OK:

Signature: *George Banning* Date: 8-7-09

For inspection requests, call toll-free (888) LA4BUILD (524-2845).
Outside LA County, call (213) 482-0000 or request inspections via
www.ladbs.org. To speak to a Call Center agent, call 311 or
(866) 4LACITY (452-2489). Outside LA County, call (213) 473-3231.

LA Department of Building and Safety
For Cashier's Use Only LA 09 37 258376 08/07/09 11:02AM

11. PROJECT VALUATION & FEE INFORMATION Final Fee Period

Permit Valuation: \$10,000

PC Valuation:

FINAL TOTAL Bldg-Alter/Repair 290.10
Permit Fee Subtotal Bldg-Alter/Rep: 185.63
Handicapped Access
Plan Check Subtotal Bldg-Alter/Rep 41.06
Off-hour Plan Check 20.53
Fire Hydrant Refuse-To-Pay
E.O. Instrumentation 2.10
O.S. Surcharge 4.99
Sys. Surcharge 14.96
Planning Surcharge 14.83
Planning Surcharge Misc Fee 5.00
Green Building Fee 1.00
Permit Issuing Fee 0.00

Sewer Cap ID:

Total Bond(s) Due:

12. ATTACHMENTS

Plot Plan

BUILDING PERMIT COMM \$185.63
BUILDING PLAN CHECK \$41.06
BUILDING PLAN CHECK \$20.53
EI COMMERCIAL \$2.10
ONE STOP SURCH \$4.99
SYSTEMS DEVT FEE \$14.96
CITY PLANNING SURCH \$14.83
MISCELLANEOUS \$5.00
GREEN BUILDING FEE \$1.00
BUILDING PLAN CHECK \$0.00

P090161000009038FN

Total Due: \$290.10
Check: \$290.10

2009LA40397



* P 0 9 0 1 6 1 0 0 0 0 0 9 0 3 8 F N *

104081220095972

14. APPLICATION COMMENTS

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless, the information printed exceeds that required by Section 19825 of the Health and Safety Code of the State of California.

15. Building Relocated From:

16. CONTRACTOR, ARCHITECT, & ENGINEER NAME ADDRESS

	CLASS	LICENSE#	PHONE#
(A) Khorramian, Abdy		C13138	818-508-0817
(E) Youssef, Nabih Fouad Guirg		S2026	
(O) , Owner-Builder		0	

PERMIT EXPIRATION/REFUNDS: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

17. OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the following reason (Section 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☐ I, as the owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business & Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year from completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

OR
☐ I, as the owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business & Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

18. WORKERS' COMPENSATION DECLARATION

I hereby affirm, under penalty of perjury, one of the following declarations:

☐ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: _____ Policy Number: _____

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at www.aqmd.gov. Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or www.dhs.ca.gov/childlead.

20. FINAL DECLARATION

I certify that I have read this application INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

By signing below, I certify that:

- (1) I accept all the declarations above namely the Owner-Builder Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

Print Name:

ABDY K HORRAMIAN

Sign:



Date:

08/07/09

☐ Owner☒ Authorized Agent

1248 S Figueroa St

Permit Application #: 09016 - 10000 - 09038

Bldg-Alter/Repair

City of Los Angeles - Department of Building and Safety

Plan Check #: B09LA05678FO

Commercial

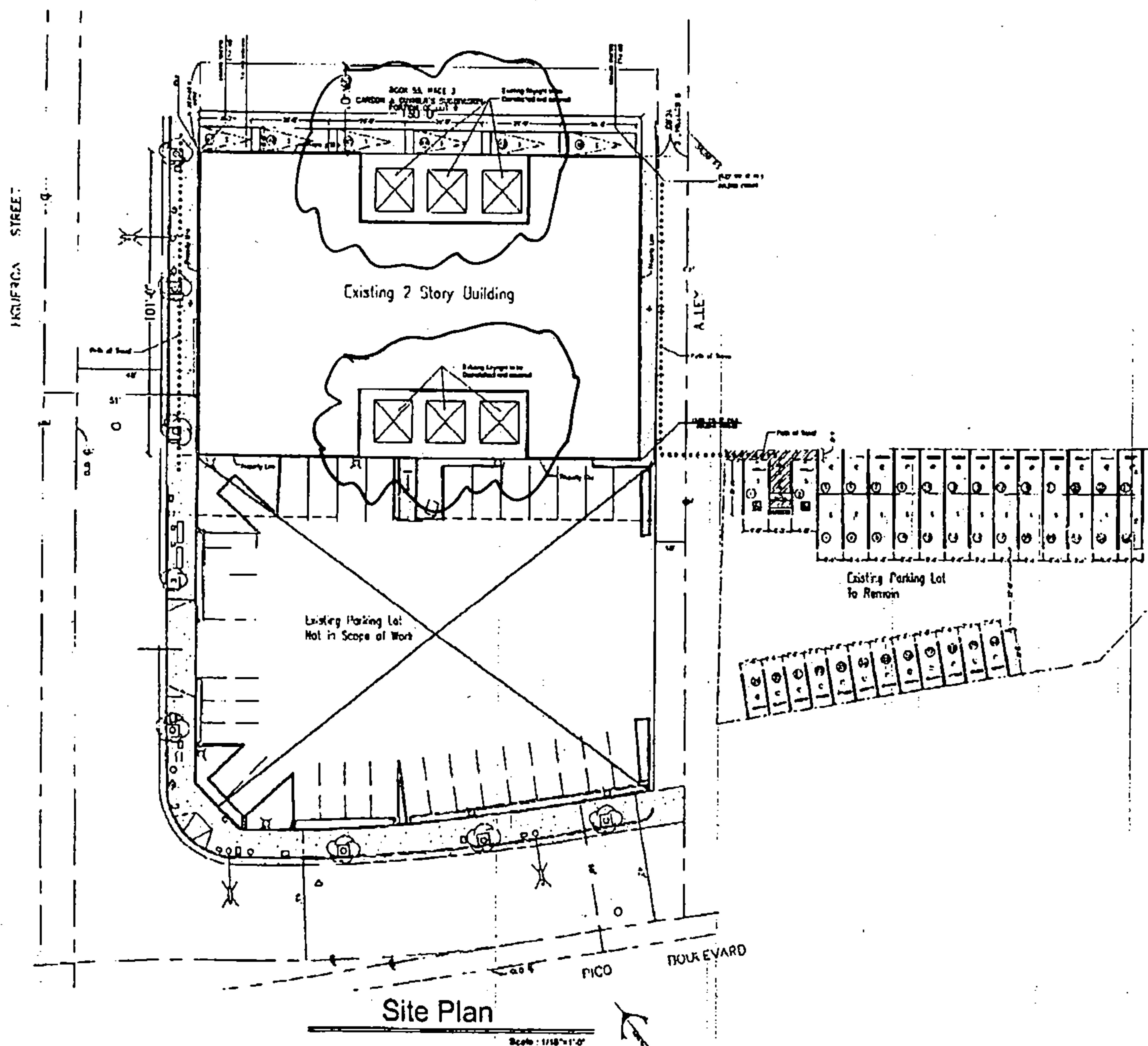
Initiating Office: METRO

Plan Check

PLOT PLAN ATTACHMENT

Printed on: 08/04/09 11:20:48

(DO NOT DRAW, WRITE, OR PASTE ATTACHMENTS OUTSIDE BORDER)



GB
8-4-09

1248 S Figueroa St



Permit #:

09016 - 10000 - 13298

Plan Check #: B09LA08053

Printed: 03/10/10 11:22 AM

Event Code:

Bldg-Alter/Repair
Commercial
Regular Plan Check
Plan Check

City of Los Angeles - Department of Building and Safety

**APPLICATION FOR BUILDING PERMIT
AND CERTIFICATE OF OCCUPANCY**

Last Status: Ready to Issue

Status Date: 03/10/2010

1. TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF #	PARCEL ID # (PIN #)	2. ASSESSOR PARCEL #
CARSON AND CURRIER'S		9	1,2	M R 55-3	126A207 50	5138 - 025 - 014
CARSON AND CURRIER'S		10		M R 55-3	126A205 19	5138 - 025 - 014
CARSON AND CURRIER'S		11	1	M R 55-3	126A205 20	5138 - 025 - 014

3. PARCEL INFORMATIONArea Planning Commission - Central
LADBS Branch Office - LA
Council District - 9
Certified Neighborhood Council - Downtown Los Angeles
Community Plan Area - Central CityCensus Tract - 2079.00
District Map - 126A205
Energy Zone - 9
Fire District - 1 (Entire parcel)
Lot Cut Date - 04/02/1956Lot Cut Date - 09/13/1941
Methane Hazard Site - Methane Zone
Near Source Zone Distance - 0
Parking Dist. - CCPD
Parking Dist. - DPD

ZONE(S): C2-4D-O /

4. DOCUMENTS

ZI - ZI-2374 Los Angeles State Enterpris	ORD - ORD-164307-SA3005	CPC - CPC-1986-606-GPC	CPC - CPC-2008-4502-GPA
ZI - ZI-2385 Greater Downtown Housing	ORD - ORD-73261	CPC - CPC-2005-1122-CA	CDBG - BID-South Park
ZI - ZI-940 Central Bsn District Redevel	CRA - ZI 2316 CITY CENTER REDEV	CPC - CPC-2005-1124-CA	CDBG - LARC-Los Angeles
PKLY - PKG-717	CRA - ZI 940 CENTRAL BSN DIST	CPC - CPC-2005-361-CA	CDBG - LARZ-Central City

5. CHECKLIST ITEMSSpecial Inspect - Concrete > 2.5ksi
Special Inspect - Structural Observation
Std. Work Descr - Seismic Gas Shut Off Valve**6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION**

Owner(s):

Downtown Live Llc

807 12th St STE 401

LOS ANGELES CA 90021

Tenant:

Applicant: (Relationship: Owner-Bldr)

- Owner-Builder

4741 Laurel Canyon Blvd #201

VALLEY VILLAGE 91607

(818) 755-9000

7. EXISTING USE

(08) Automobile Sales - new

PROPOSED USE(17) Restaurant
(16) Retail**8. DESCRIPTION OF WORK**

CHANGE OF USE FROM AUTO DEALER TO RETAIL/RESTAURANTS. CONVERT THE ROOF TO DECKS. ADDITION OF RESTROOMS IN THE 3RD LEVEL. NO ALCOHOL, NO DANCING. "COMPLY WITH DEPARTMENT ORDER effective date 04/24/2009. PERMIT WILL EXPIRE 30 DAYS FROM ISSUANCE DATE".

9. # Bldgs on Site & Use:**10. APPLICATION PROCESSING INFORMATION**

BLDG. PC By: Larry Lee

DAS PC By: Ronald Allen

OK for Cashier: Larry Lee

Coord. OK:

Signature:

Date:

For inspection requests, call toll-free (888) LA4BUILD (524-2845).

Outside LA County, call (213) 482-0000 or request inspections via www.ladbs.org. To speak to a Call Center agent, call 311 or (866) 4LACITY (452-2489). Outside LA County, call (213) 473-3231.

For Cashier's Use Only: PERMIT W/O #: 91613298

11. PROJECT VALUATION & FEE INFORMATION Final Fee Period

Permit Valuation: \$850,000

PC Valuation:

FINAL TOTAL Bldg-Alter/Repair	2,176.03
Permit Fee Subtotal Bldg-Alter/Rep	1,822.50
Handicapped Access	
Plan Check Subtotal Bldg-Alter/Rep	0.00
Off-hour Plan Check	0.00
Fire Hydrant Refuse-To-Pay	
E.O. Instrumentation	73.50
O.S. Surcharge	37.92
Sys. Surcharge	113.76
Planning Surcharge	109.35
Planning Surcharge Misc Fee	5.00
Green Building Fee	14.00
Permit Issuing Fee	0.00

Sewer Cap ID:

Total Bond(s) Due:

12. ATTACHMENTSOwner-Builder Declaration
Plot Plan

* P 0 9 0 1 6 1 0 0 0 0 1 3 2 9 8 F N *

(P) Floor Area (ZC): -970 Sqft / 30308 Sqft
(P) NFPA-13 Fire Sprinklers Thru-out
(P) A2 Occ. Group: +11855 Sqft / 15855 Sqft
(P) B Occ. Group: -20404 Sqft / 11332 Sqft
(P) M Occ. Group: +5519 Sqft / 5519 Sqft
(P) A2 Occ. Load: +1204 Max Occ. / 1204 Max Occ.
(P) Parking Req'd for Bldg (Auto+Bicycle): 0 Stalls / 15 :
(P) Type V-A Construction

14. APPLICATION COMMENTS

** Approved Seismic Gas Shut-Off Valve may be required. ** Due to the removing of floor area in mezz. and create more mechanical rooms and stair shaft, the removing zoning floor area is 2021 square foot, and the addition floor area is 1051 square foot in the roof.

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless, the information printed exceeds that required by Section 19825 of the Health and Safety Code of the State of California.

15. Building Relocated From:

16. CONTRACTOR, ARCHITECT, & ENGINEER NAME	ADDRESS	CLASS	LICENSE#	PHONE #
(A) Khorramian, Abdy	4741 Laurel Canyon Rd #202, N Hollywood, CA 91607		C13138	
(E) Youssef, Nabih Fouad Guirg	800 Wilshire Blvd Ste 510, Nabih Yous: Los Angeles, CA 90017		S2026	
(O) , Owner-Builder	4741 Laurel Canyon Blvd, #201 , 91607		0	8187559000

PERMIT EXPIRATION/REFUNDS: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

17. OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the following reason (Section 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☐ I, as the owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business & Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year from completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

OR

☐ I, as the owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business & Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

18. WORKERS' COMPENSATION DECLARATION

I hereby affirm, under penalty of perjury, one of the following declarations:

☐ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: _____ Policy Number: _____

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at www.aqmd.gov. Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or www.dhs.ca.gov/childlead.

20. FINAL DECLARATION

I certify that I have read this application INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

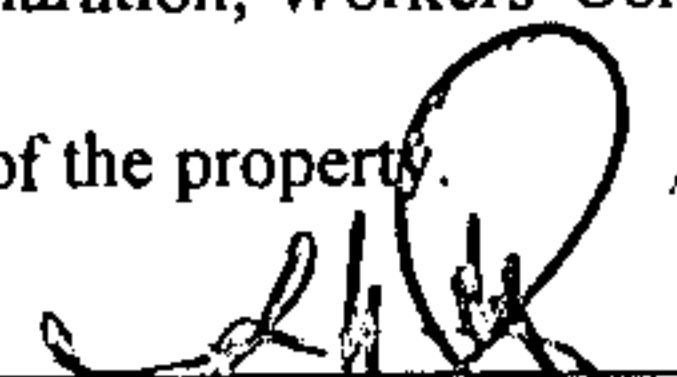
By signing below, I certify that:

- (1) I accept all the declarations above namely the Owner-Builder Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

Print Name:

K H O R R A M I A N

Sign:



Date:

03/10/10

☐ Owner☒ Authorized Agent



OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF INFORMATION

(OWNER-BUILDER DECLARATION)

Application Number: 09016-10000-13298

Project Address: 1248 S. Figueroa

DIRECTIONS: Read and initial each statement below to signify you understand or verify this information.

ms 1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

ms 2. I understand building permits are not required to be signed by property owners unless they are responsible for the construction and are not hiring a licensed Contractor to assume this responsibility.

ms 3. I understand as an "Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.

ms 4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.

ms 5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.

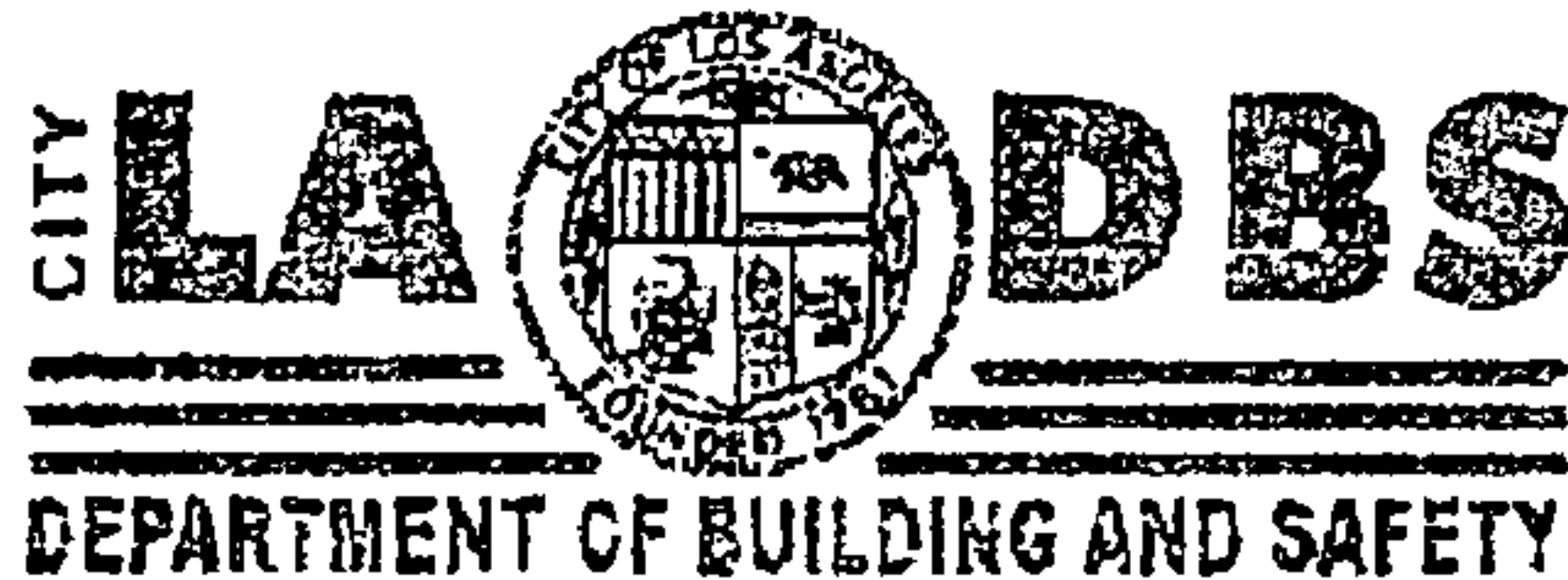
ms 6. I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.

ms 7. I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless all work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.

ms 8. I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.

ms 9. I understand I may obtain more information regarding my obligations as an "employer" from the Internal Revenue Service, the United States Small Business Administration, the California Department of Benefit Payments, and the California Division of Industrial Accidents. I also understand I may contact the California Contractors' State License Board (CSLB) at 1-800-321-CSLB (2752) or www.cslb.ca.gov for more information about licensed contractors.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities. For efficient handling of information internally and in the internet conversion to this new format of code related and administrative information bulletin including MGC and RGA that were previously issued will allow flexibility and timely distribution of information to the public.

**OWNER'S ACKNOWLEDGMENT AND VERIFICATION
OF INFORMATION****(OWNER-BUILDER DECLARATION, cont.)**Application Number: 09016-10000-13298Project Address: 1248 S. Figueroa

10. I am aware of and consent to an Owner-Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity at the following address: 1248 S. FIGUEROA

11. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern Owner-Builders as well as employers.

12. I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form. Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed Contractors may be in civil court. It is also important for you to understand that if an unlicensed Contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner-Builder and wish to hire Contractors, you will be responsible for verifying whether or not those Contractors are properly licensed and the status of their workers' compensation insurance coverage. Before a building permit can be issued, this form must be completed and signed by the property owner and returned to the agency responsible for issuing the permit.

Note: A copy of the property owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.

Owner's Name: Downtown LLC

Signature of property owner

Date:

3/8/2010

SEC. 3. Section 19830 of the Health and Safety Code is repealed.
SEC. 4. Section 19831 of the Health and Safety Code is repealed.
SEC. 5. Section 19832 of the Health and Safety Code is repealed.

Bldg-Alter/Repair

City of Los Angeles - Department of Building and Safety

Plan Check #: B09LA08053FO

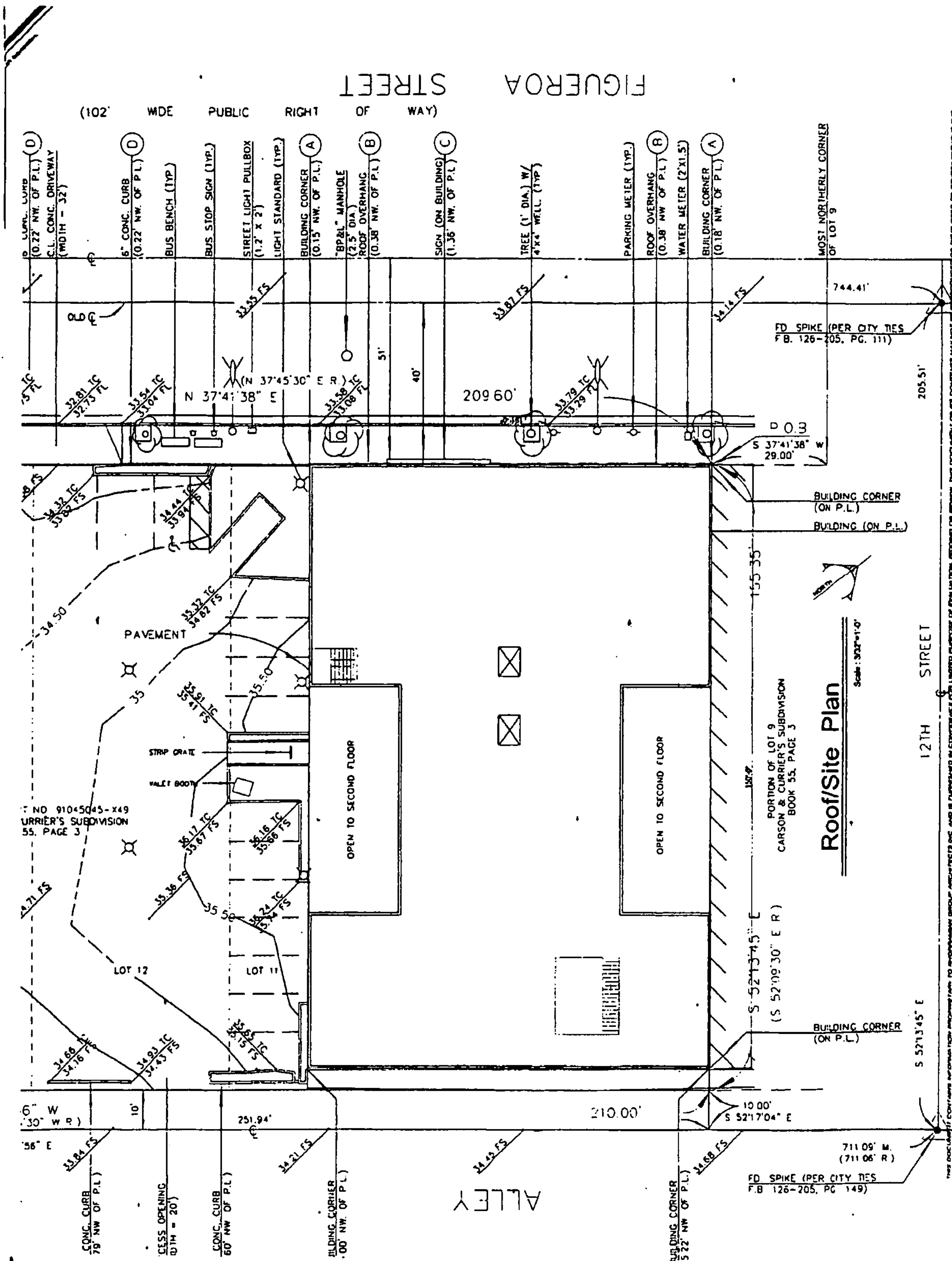
Commercial

Initiating Office: METRO

Plan Check

PLOT PLAN ATTACHMENT

Printed on: 03/10/10 10:17:43



(DO NOT DRAW, WRITE, OR PASTE ATTACHMENTS OUTSIDE BORDER)



Bldg-Alter/Repair
Commercial
Plan Check at Counter
Plan Check

City of Los Angeles - Department of Building and Safety

APPLICATION FOR BUILDING PERMIT AND CERTIFICATE OF OCCUPANCY

Last Status: Ready to Issue

Status Date: 05/14/2009

1. TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF #	PARCEL ID # (PIN #)	2. ASSESSOR PARCEL #
CARSON AND CURRIER'S		10		M R 55-3	126A205 19	5138 - 025 - 014

3. PARCEL INFORMATION

Area Planning Commission - Central
LADBS Branch Office - LA
Council District - 9
Certified Neighborhood Council - Downtown Los Angeles
Community Plan Area - Central City

Census Tract - 2079.00
District Map - 126A205
Energy Zone - 9
Fire District - 1 (Entire parcel)
Lot Cut Date - 04/02/1956

Lot Cut Date - 09/13/1941
Methane Hazard Site - Methane Zone
Near Source Zone Distance - 0
Parking Dist. - CCPD
Parking Dist. - DPD

ZONE(S): C2-4D-O /

4. DOCUMENTS

ZI - ZI-2374 Los Angeles State Enterpris	ORD - ORD-164307-SA3005	CPC - CPC-1986-606-GPC	CPC - CPC-2008-4502-GPA
ZI - ZI-2385 Greater Downtown Housing	ORD - ORD-73261	CPC - CPC-2005-1122-CA	CDBG - BID-South Park
ZI - ZI-940 Central Bsn District Redevel	CRA - ZI 2316 CITY CENTER REDEV	CPC - CPC-2005-1124-CA	CDBG - LARC-Los Angeles
PKLY - PKG-717	CRA - ZI 940 CENTRAL BSN DIST	CPC - CPC-2005-361-CA	CDBG - LARZ-Central City

5. CHECKLIST ITEMS

Fabricator Reqd - Structural Steel

6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION

Owner(s):

Meruelo, Homero And Belinda Trs Meruelo 1 761 Terminal St 2 FLR

LOS ANGELES CA 90021

Tenant:

Applicant: (Relationship: Owner-Bldr)

Mayer Separzadeh - Owner-Builder

807 E. 12th St. # 401

LOS ANGELES, CA 90010

(213) 387-2974

7. EXISTING USE

(08) Auto Repair Garage

PROPOSED USE**8. DESCRIPTION OF WORK**

SUPPLEMENTAL TO EXCHANGE APPROVED DETAIL FOR ISSUED PERMIT # 09016-10000-05454. ORDER TO COMPLY CASE # 261572 -PERMIT WILL EXPIRE 30 DAYS FROM ISSUANCE DATE

LA Department of Building and Safety
LA 05 10 250185 05/14/09 04:31PM

9. # Bldgs on Site & Use:**10. APPLICATION PROCESSING INFORMATION**

BLDG. PC By: Franklin Garcia

DAS PC By:

OK for Cashier: Eric Huang

Coord. OK:

Signature: *[Signature]*

Date: 5/14/09

For inspection requests, call toll-free (888) LA4BUILD (514-2845).

Outside LA County, call (213) 482-0000 or request inspections via *[Phone Number]* \$148.25www.ladbs.org To speak to a Call Center Agent, call 311 or *[Phone Number]* \$10.00(866) 4LACITY (452-2489) Outside LA County, call (213) 473-3231. *[Phone Number]* \$0.84

For Cashier's Use Only INVESTIGATION W/O #: 91605454 \$400.00

ONE STOP SURCH \$11.14

SYSTEMS DEVT FEE \$33.43

CITY PLANNING SURCH \$9.38

MISCELLANEOUS \$5.00

GREEN BUILDING FEE \$1.00

BUILDING PLAN CHECK \$0.00

BUILDING PLAN CHECK \$0.00

P090161000105454FN

Total Due: \$617.04

Check: \$617.04

2009LA37559

11. PROJECT VALUATION & FEE INFORMATION Final Fee Period

Permit Valuation: \$4,000

PC Valuation:

FINAL TOTAL Bldg-Alter/Repair	617.04	Permit Issuing Fee	0.00
Permit Fee Subtotal Bldg-Alter/Rep	146.25		
Handicapped Access			
Plan Check Subtotal Bldg-Alter/Rep	0.00		
Plan Maintenance	10.00		
Fire Hvdant Refuse-To-Pav			
E.O. Instrumentation	0.84		
Investigation	400.00		
O.S. Surcharge	11.14		
Sys. Surcharge	33.43		
Planning Surcharge	9.38		
Planning Surcharge Misc Fee	5.00		
Green Building Fee	1.00		

Sewer Cap ID:

Total Bond(s) Due:

12. ATTACHMENTS

Owner-Builder Declaration

Plot Plan *[Signature]*

* P 0 9 0 1 6 1 0 0 0 1 0 5 4 5 4 F N *

102051920092427

14. APPLICATION COMMENTS

SPOKE TO INSPECTOR WILLIAM JIMENEZ TODAY 5/11/09 AND HE INSTRUCTED THAT THE INVESTIGATION FEE OF \$400 BE COLLECTED TODAY, WITH THIS PERMIT.

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless, the information printed exceeds that required by Section 19825 of the Health and Safety Code of the State of California.

15. Building Relocated From:

16. CONTRACTOR, ARCHITECT, & ENGINEER NAME ADDRESS

	ADDRESS	CLASS	LICENSE#	PHONE #
(E) Shokoufandeh, Bahman	13024 Sky Valley Road,	Los Angeles, CA 90049	C49709	
(O) , Owner-Builder	807 E. 12th St., # 401	, 90010	0	2133872974

PERMIT EXPIRATION/REFUNDS: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

17. OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the following reason (Section 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☒ I, as the owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business & Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year from completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

OR

☐ I, as the owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business & Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

18. WORKERS' COMPENSATION DECLARATION

I hereby affirm, under penalty of perjury, one of the following declarations:

☒ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: _____

Policy Number: _____

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at www.aqmd.gov. Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or www.dhs.ca.gov/childlead.

20. FINAL DECLARATION

I certify that I have read this application INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

By signing below, I certify that:

- (1) I accept all the declarations above namely the Owner-Builder Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

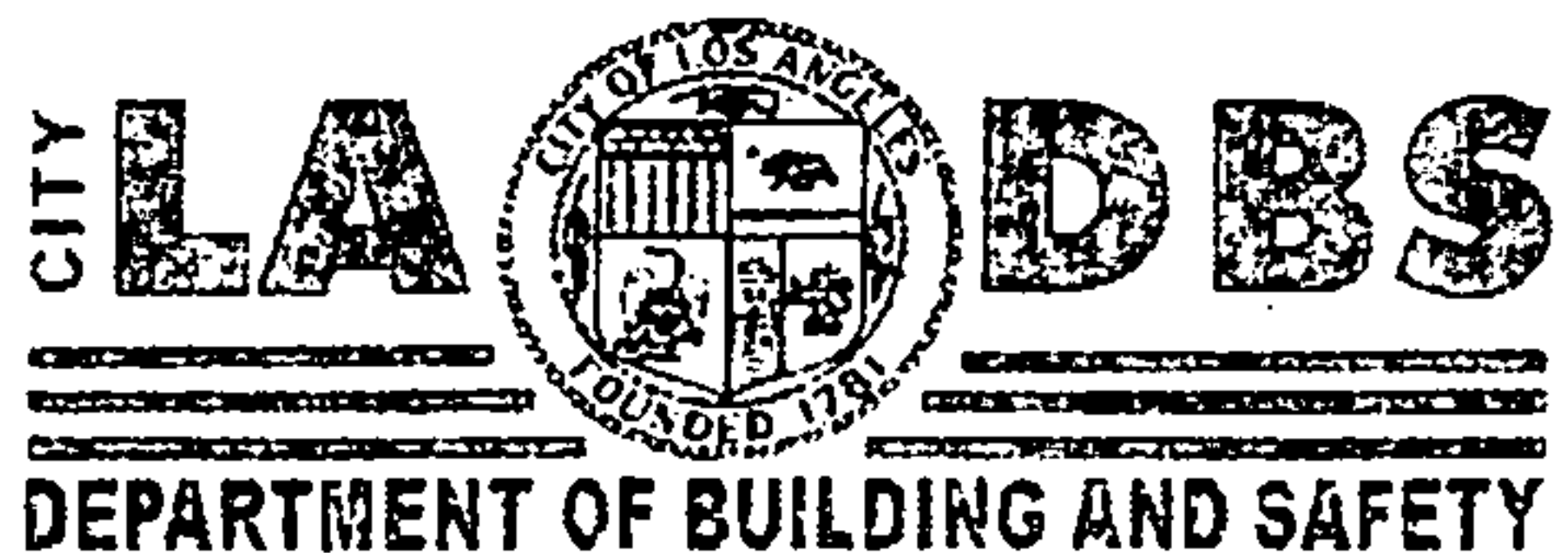
Print Name: Al SupangSign: [Signature]Date: 5/14/09☒ Owner☐ Authorized Agent



NOTICE TO PROPERTY OWNER FOR OWNER-BUILDER PERMITS

CHANGES IN STATE LAW (Assembly Bill No. 2335) REGARDING "OWNER-BUILDER" PERMITS

Due to a change by the Contractors State Licensing Board (CSLB) regarding Owner-Builder permits, the City of Los Angeles Department of Building and Safety (LADBS) will modify the permit issuing process to comply with State Assembly Bill (AB) No. 2335. Beginning January 2, 2009, a "Notification to Property Owner" with an "Owner's Acknowledgment Verification of Information" form will have to be provided by LADBS to the building owner for all Owner-Builder permits. The building owner will have to read and initial each statement to signify that he/she understands and verifies the information noted and sign at the end of the form. The form must be collected by the permit issuing staff for microfilming, after executing (initialed and signed) by the owner prior to issuing the permit.

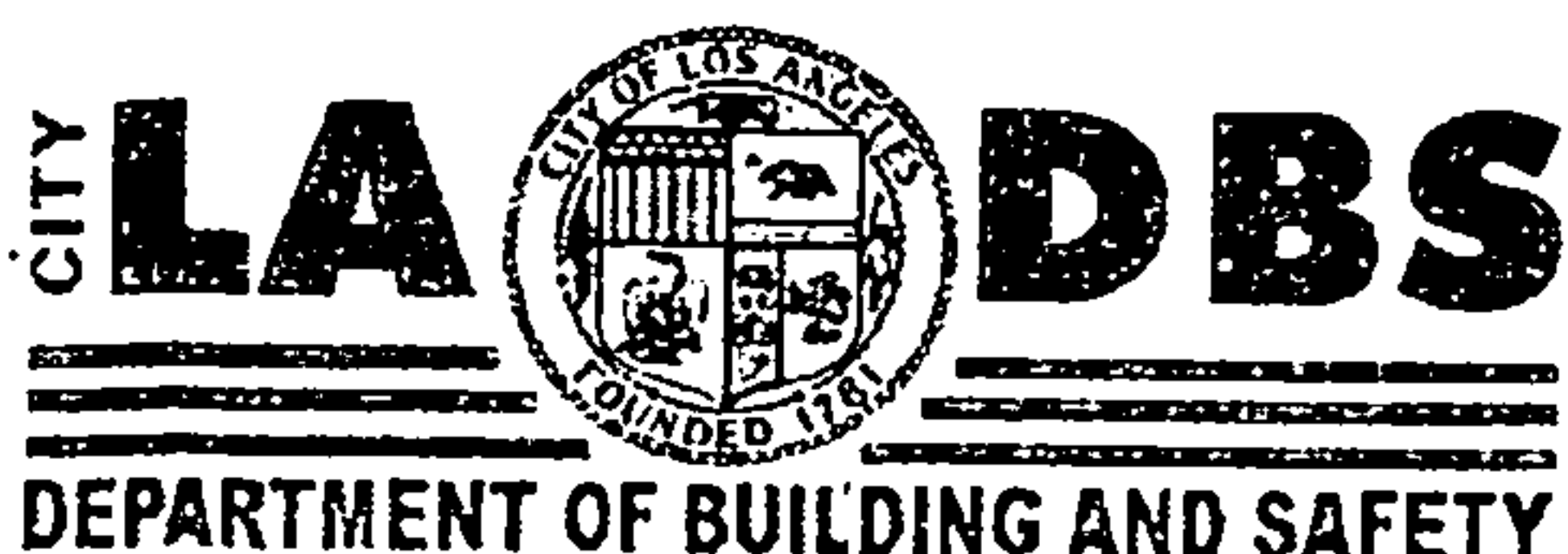


NOTICE TO PROPERTY OWNER

Dear Property Owner:

An application for a building permit has been submitted in your name listing yourself as the builder of the property improvements specified at: _____.

We are providing you with an Owner-Builder Acknowledgment and Information Verification Form to make you aware of your responsibilities and possible risk you may incur by having this permit issued in your name as the Owner-Builder. We will not issue a building permit until you have read, initialed your understanding of each provision, signed, and returned this form to us at our official address indicated. An agent of the owner cannot execute this notice unless you, the property owner, obtain the prior approval of the permitting authority.



OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF
INFORMATION

(OWNER-BUILDER DECLARATION)

Application Number:

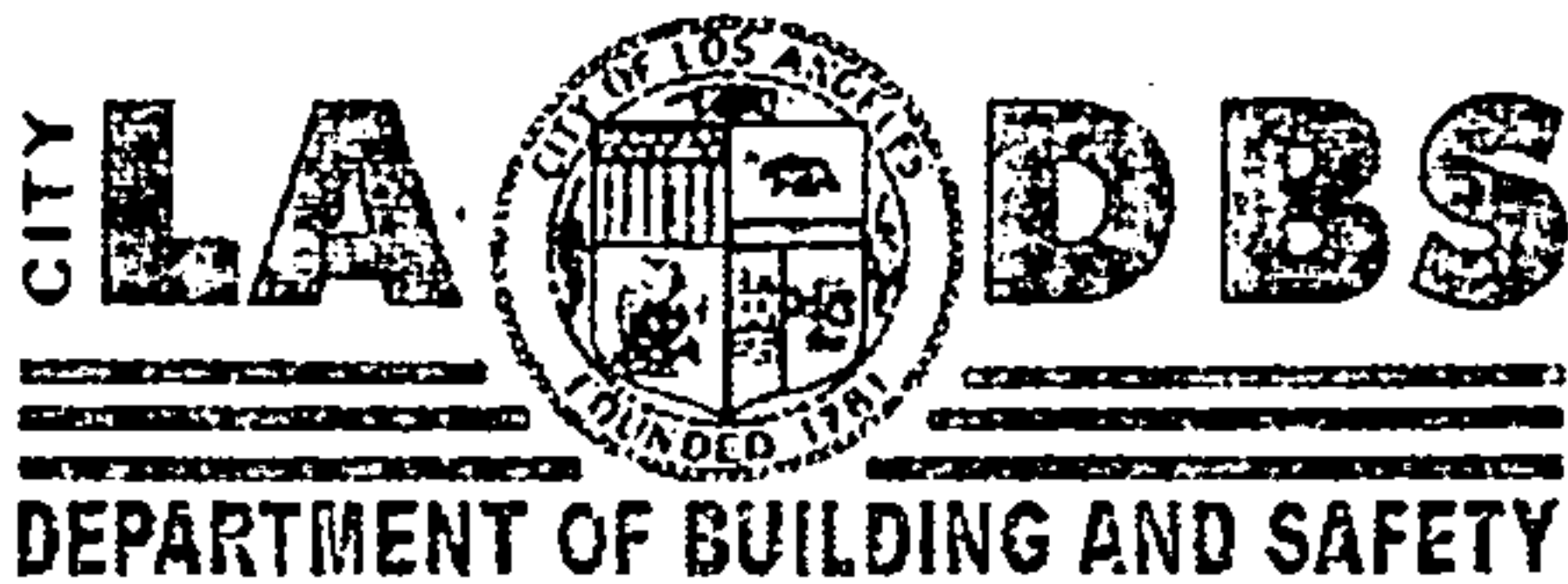
09016-10001-05454

Project Address:

1248 S. FIGUEROA

DIRECTIONS: Read and initial each statement below to signify you understand or verify this information.

- ☒ 1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.
- ☒ 2. I understand building permits are not required to be signed by property owners unless they are responsible for the construction and are not hiring a licensed Contractor to assume this responsibility.
- ☒ 3. I understand as an "Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.
- ☒ 4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.
- ☒ 5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.
- ☒ 6. I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.
- ☒ 7. I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless all work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.
- ☒ 8. I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.
- ☒ 9. I understand I may obtain more information regarding my obligations as an "employer" from the Internal Revenue Service, the United States Small Business Administration, the California Department of Benefit Payments, and the California Division of Industrial Accidents. I also understand I may contact the California Contractors' State License Board (CSLB) at 1-800-321-CSLB (2752) or www.cslb.ca.gov for more information about licensed contractors.



OWNER'S ACKNOWLEDGMENT AND VERIFICATION
OF INFORMATION

(OWNER-BUILDER DECLARATION, cont.)

Application Number: _____

Project Address: 1248 S. FIGUEROA

10. I am aware of and consent to an Owner-Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity at the following address: _____

11. I agree that, as the party legally and financially responsible for this proposed construction activity, will abide by all applicable laws and requirements that govern Owner-Builders as well as employers.

12. I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form. Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed Contractors may be in civil court. It is also important for you to understand that if an unlicensed Contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner-Builder and wish to hire Contractors, you will be responsible for verifying whether or not those Contractors are properly licensed and the status of their workers' compensation insurance coverage. Before a building permit can be issued, this form must be completed and signed by the property owner and returned to the agency responsible for issuing the permit.

Note: A copy of the property owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.

Owner's Name: Maya Sepay and

Signature of property owner FOR DOWNTOWN NINE LLC

Date: 5/14/05

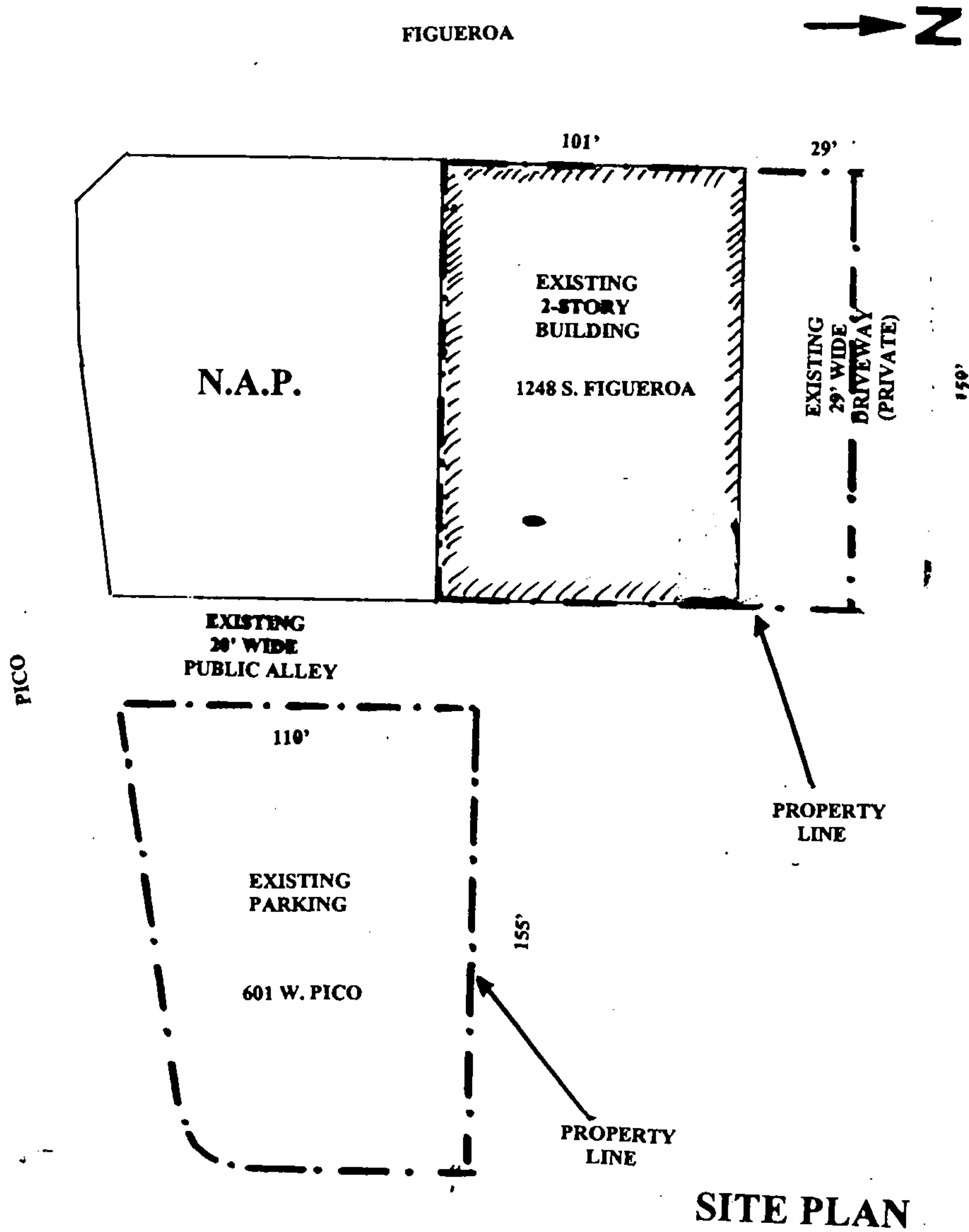
SEC. 3. Section 19830 of the Health and Safety Code is repealed.

SEC. 4. Section 19831 of the Health and Safety Code is repealed.

SEC. 5. Section 19832 of the Health and Safety Code is repealed.

PLOT PLAN ATTACHMENT

(DO NOT DRAW, WRITE, OR PASTE ATTACHMENTS OUTSIDE BORDER)



SITE PLAN

214

1248 S Figueroa St



Permit #:

09016 - 10001 - 13298

Plan Check #: B10LA10790

Printed: 10/20/10 11:26 AM

Event Code:

Bldg-Alter/Repair
Commercial
Plan Check at Counter
Plan Check

City of Los Angeles - Department of Building and Safety

**APPLICATION FOR BUILDING PERMIT
AND CERTIFICATE OF OCCUPANCY**

Last Status: Ready to Issue

Status Date: 10/20/2010

1. TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF #	PARCEL ID # (PIN #)	2. ASSESSOR PARCEL #
CARSON AND CURRIER'S		9	1,2	M R 55-3	126A207 50	5138 - 025 - 014
CARSON AND CURRIER'S		10		M R 55-3	126A205 19	5138 - 025 - 014
CARSON AND CURRIER'S		11	1	M R 55-3	126A205 20	5138 - 025 - 014

3. PARCEL INFORMATION

Area Planning Commission - Central
LADBS Branch Office - LA
Council District - 9
Certified Neighborhood Council - Downtown Los Angeles
Community Plan Area - Central City

Census Tract - 2079.00
District Map - 126A205
Energy Zone - 9
Fire District - 1 (Entire parcel)
Lot Cut Date - 04/02/1956

Lot Cut Date - 09/13/1941
Methane Hazard Site - Methane Zone
Near Source Zone Distance - 0
Parking Dist. - CCPD
Parking Dist. - DPD

ZONE(S): C2-4D-O /

4. DOCUMENTS

ZI - ZI-2374 Los Angeles State Enterpris	ORD - ORD-164307-SA3005	CPC - CPC-1986-606-GPC	CPC - CPC-2008-4502-GPA
ZI - ZI-2385 Greater Downtown Housing	ORD - ORD-73261	CPC - CPC-2005-1122-CA	CDBG - BID-South Park
ZI - ZI-940 Central Bsn District Redevel	CRA - ZI 2316 CITY CENTER REDEV	CPC - CPC-2005-1124-CA	CDBG - LARC-Los Angeles
PKLY - PKG-717	CRA - ZI 940 CENTRAL BSN DIST	CPC - CPC-2005-361-CA	CDBG - LARZ-Central City

5. CHECKLIST ITEMS

Std. Work Descr - Seismic Gas Shut Off Valve

6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION

Owner(s):

Downtown Live Llc

807 12th St STE 401

LOS ANGELES CA 90021

Tenant:

Applicant: (Relationship: Owner-Bldr)

- Owner-Builder

4741 Laurel Canyon Blvd #201

VALLEY VILLAGE 91607

(818) 755-9000

7. EXISTING USE

(17) Restaurant

PROPOSED USE

8. DESCRIPTION OF WORK

SUPPLEMENTAL TO 09016-10000-13298, ADD A NEW EXIT STARIWAY. "COMPLY WITH DEPARTMENT ORDER effective date 04/24/2009. PERMIT WILL EXPIRE 30 DAYS FROM ISSUANCE DATE".

LA Department of Building and Safety
LA 00 17 180087 10/20/10 11:26 AM

9. # Bldgs on Site & Use:

10. APPLICATION PROCESSING INFORMATION

BLDG. PC By: Larry Lee

DAS PC By:

OK for Cashier: Larry Lee

Coord. OK:

Signature:

Date:

[Signature]
10/20/10

For inspection requests, call toll-free (888) LA4BUILD (524-2845).

Outside LA County, call (213) 482-0000 or request Inspections via

www.ladbs.org. To speak to a Call Center agent, call 311 or

(866) 4LACITY (452-2489). Outside LA County, call (213) 473-3231.

For Cashier's Use Only: CITY PLANNING SURCH W/O #: 91613298

MISCELLANEOUS

PLANNING GEN PLAN MAINT

GREEN BUILDING FEE

BUILDING PLAN CHECK

BUILDING PLAN CHECK

P090161000113298FN

Total Due:
Checks:

9437.88
9437.88

2010LA54571

11. PROJECT VALUATION & FEE INFORMATION Final Fee Period

Permit Valuation:

\$25,000

PC Valuation:

FINAL TOTAL Bldg-Alter/Repair	437.88
Permit Fee Subtotal Bldg-Alter/Rep:	360.00
Handicapped Access	
Plan Check Subtotal Bldg-Alter/Rep	0.00
Fire Hydrant Refuse-To-Pay	
E.O. Instrumentation	5.25
O.S. Surcharge	7.31
Sys. Surcharge	21.92
Planning Surcharge	21.60
Planning Surcharge Misc Fee	10.00
Planning Gen Plan Maint Surcharge	10.80
Green Building Fee	1.00
Permit Issuing Fee	0.00

Sewer Cap ID:

Total Bond(s) Due:

12. ATTACHMENTS

Owner-Builder Declaration
Plot Plan



* P 0 9 0 1 6 1 0 0 0 1 1 3 2 9 8 F N *

14. APPLICATION COMMENTS

** Approved Seismic Gas Shut-Off Valve may be required. ** Due to the removing of floor area in mezz. and create more mechanical rooms and stair shaft, the removing zoning floor area is 2021 square foot, and the addition floor area is 1051 square foot in the roof. Add "building height" & "story" in inventory per PC eng., C. Chang, 8/13/2010

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless, the information printed exceeds that required by Section 19825 of the Health and Safety Code of the State of California.

15. Building Relocated From:

16. CONTRACTOR, ARCHITECT, & ENGINEER NAME	ADDRESS	CLASS	LICENSE#	PHONE #
(A) Khorramian, Abdy	4741 Laurel Canyon Rd #202, N Hollywood, CA 91607		C13138	
(E) Youssef, Nabih Fouad Guirg	800 Wilshire Blvd Ste 510, Nabih Yous: Los Angeles, CA 90017		S2026	
(O) , Owner-Builder	4741 Laurel Canyon Blvd, #201 , 91607		0	8187559000

PERMIT EXPIRATION/REFUNDS: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

17. OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the following reason (Section 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☐ I, as the owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business & Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year from completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

OR

☐ I, as the owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business & Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

18. WORKERS' COMPENSATION DECLARATION

I hereby affirm, under penalty of perjury, one of the following declarations:

☐ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: _____ Policy Number: _____

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at www.aqmd.gov. Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or www.dhs.ca.gov/childlead.

20. FINAL DECLARATION

I certify that I have read this application INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

By signing below, I certify that:

- (1) I accept all the declarations above namely the Owner-Builder Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

Print Name: M. S. P. O. N. Y.Sign: [Signature]Date: 10/20/2010☒ Owner☐ Authorized Agent

Bldg-Alter/Repair

City of Los Angeles - Department of Building and Safety

Plan Check #: B10LA10790

Commercial

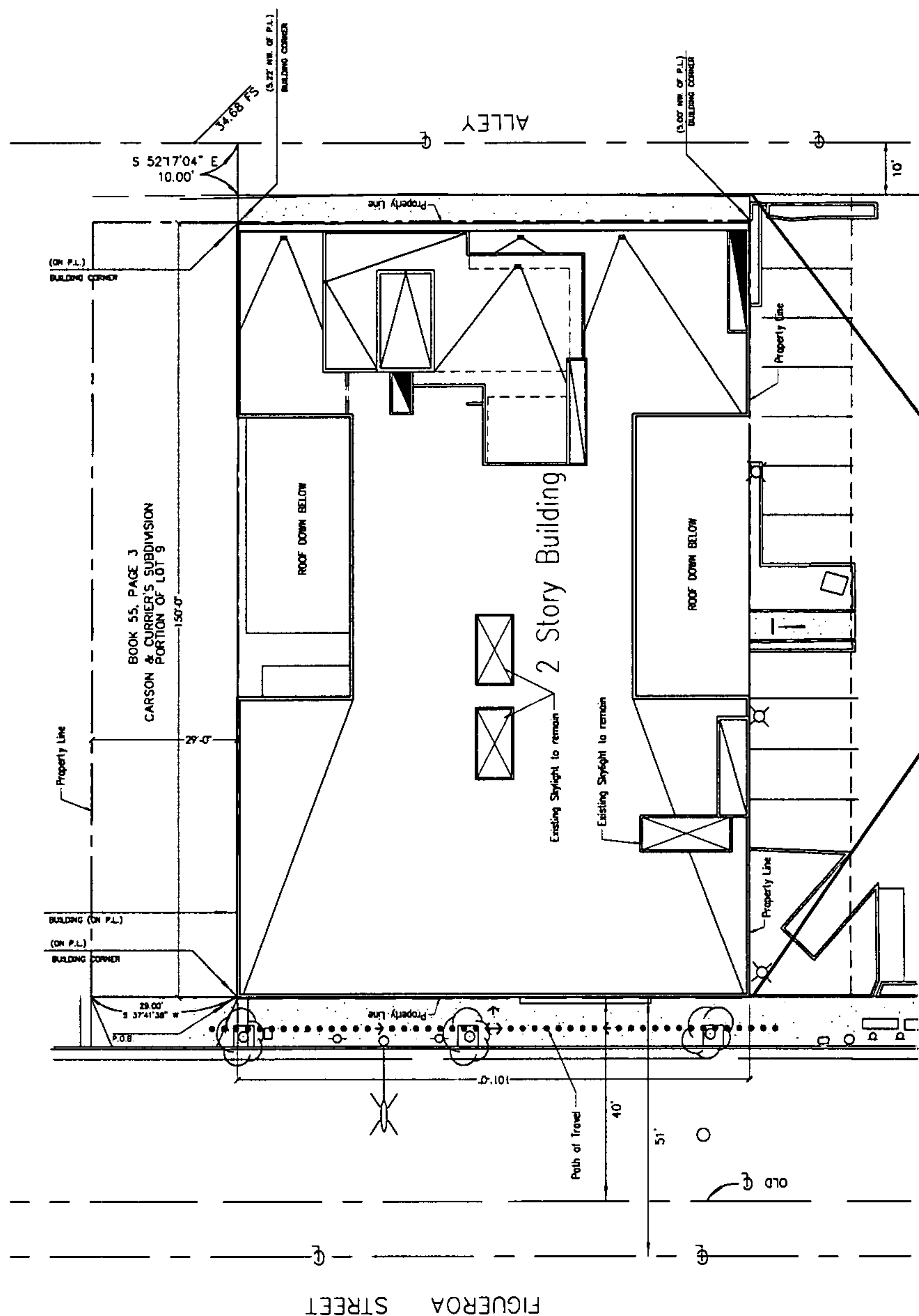
Initiating Office: METRO

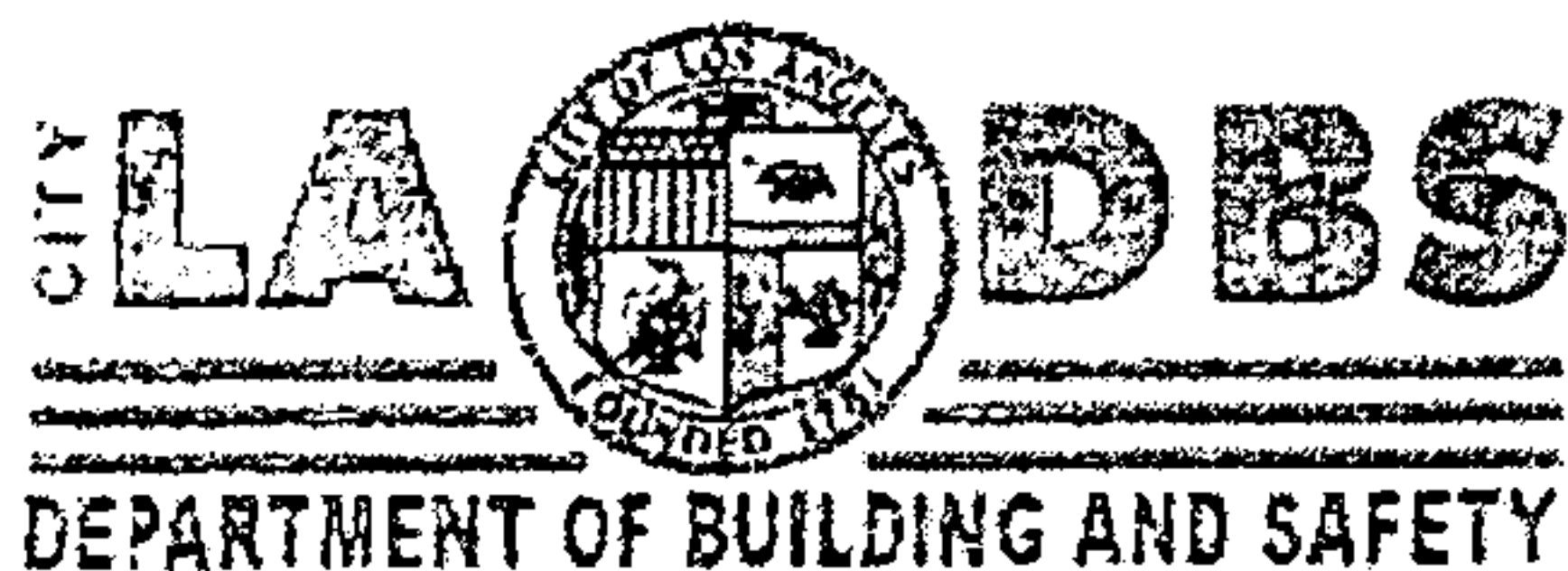
Plan Check

PLOT PLAN ATTACHMENT

Printed on: 10/06/10 10:52:26

(DO NOT DRAW, WRITE, OR PASTE ATTACHMENTS OUTSIDE BORDER)





OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF
INFORMATION

(OWNER-BUILDER DECLARATION)

Application Number: 09016-10001-13298

Project Address: 12485 FIGUEROA ST

DIRECTIONS: Read and initial each statement below to signify you understand or verify this information.

Yes 1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

Yes 2. I understand building permits are not required to be signed by property owners unless they are responsible for the construction and are not hiring a licensed Contractor to assume this responsibility.

Yes 3. I understand as an "Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.

Yes 4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.

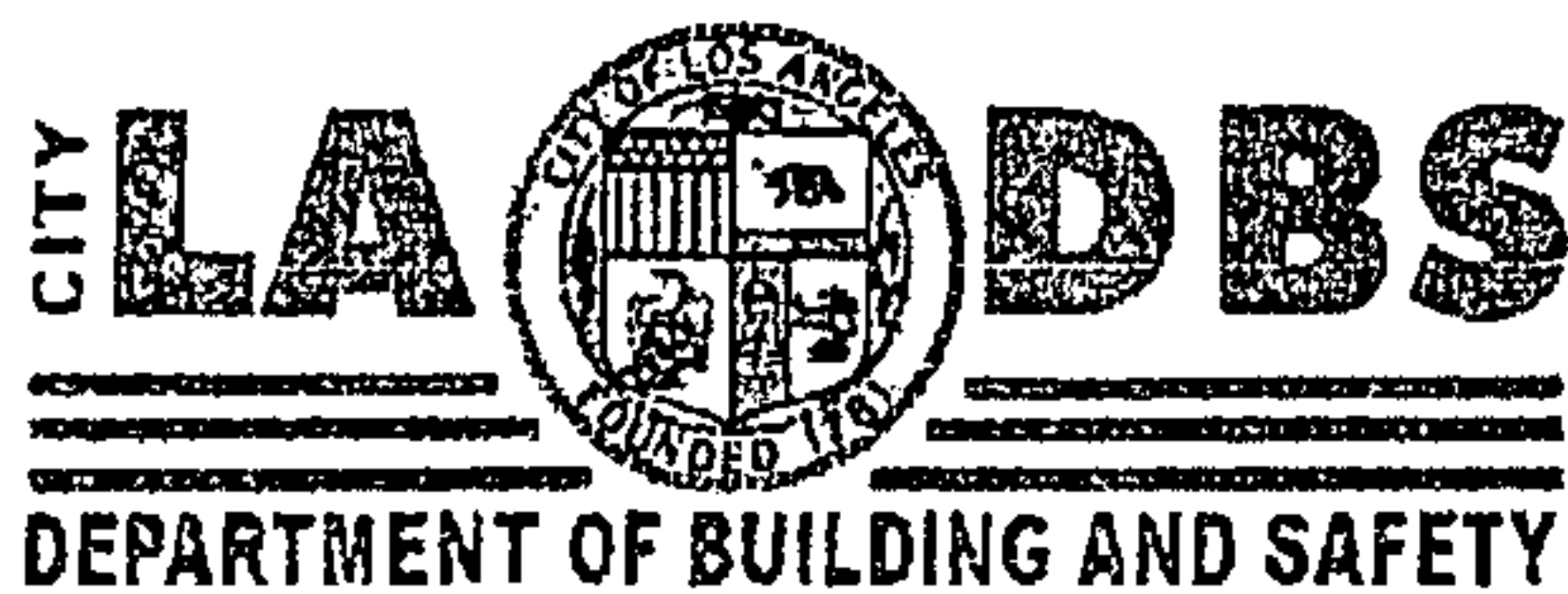
Yes 5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.

Yes 6. I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.

Yes 7. I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless all work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.

Yes 8. I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.

Yes 9. I understand I may obtain more information regarding my obligations as an "employer" from the Internal Revenue Service, the United States Small Business Administration, the California Department of Benefit Payments, and the California Division of Industrial Accidents. I also understand I may contact the California Contractors' State License Board (CSLB) at 1-800-321-CSLB (2752) or www.cslb.ca.gov for more information about licensed contractors.



OWNER'S ACKNOWLEDGMENT AND VERIFICATION
OF INFORMATION

(OWNER-BUILDER DECLARATION, cont.)

Application Number: 09016-10001-13298

Project Address: 1248 S. FIGUEROA, ST

10. I am aware of and consent to an Owner-Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity at the following address: _____

11. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern Owner-Builders as well as employers.

12. I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form. Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed Contractors may be in civil court. It is also important for you to understand that if an unlicensed Contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner-Builder and wish to hire Contractors, you will be responsible for verifying whether or not those Contractors are properly licensed and the status of their workers' compensation insurance coverage. Before a building permit can be issued, this form must be completed and signed by the property owner and returned to the agency responsible for issuing the permit.

Note: A copy of the property owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.

Owner's Name: _____

Signature of property owner _____

Date: _____

SEC. 3. Section 19830 of the Health and Safety Code is repealed.
SEC. 4. Section 19831 of the Health and Safety Code is repealed.
SEC. 5. Section 19832 of the Health and Safety Code is repealed.



Bldg-Alter/Repair
Commercial
Plan Check at Counter
Plan Check

City of Los Angeles - Department of Building and Safety

APPLICATION FOR BUILDING PERMIT AND CERTIFICATE OF OCCUPANCY

Last Status: Ready to Issue

Status Date: 03/29/2011

1. TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF #	PARCEL ID # (PIN #)	2. ASSESSOR PARCEL #
CARSON AND CURRIER'S		9	1,2	M R 55-3	126A207 50	5138 - 025 - 014
CARSON AND CURRIER'S		10		M R 55-3	126A205 19	5138 - 025 - 014
CARSON AND CURRIER'S		11	1	M R 55-3	126A205 20	5138 - 025 - 014

3. PARCEL INFORMATION

Area Planning Commission - Central
LADBS Branch Office - LA
Council District - 9
Certified Neighborhood Council - Downtown Los Angeles
Community Plan Area - Central City

Census Tract - 2079.00
District Map - 126A205
Energy Zone - 9
Fire District - 1 (Entire parcel)
Lot Cut Date - 04/02/1956

Lot Cut Date - 09/13/1941
Methane Hazard Site - Methane Zone
Near Source Zone Distance - 0
Parking Dist. - CCPD
Parking Dist. - DPD

ZONE(S): C2-4D-O /

4. DOCUMENTS

ZI - ZI-2374 Los Angeles State Enterpris	ORD - ORD-164307-SA3005	CPC - CPC-1986-606-GPC	CPC - CPC-2008-4502-GPA
ZI - ZI-2385 Greater Downtown Housing	ORD - ORD-73261	CPC - CPC-2005-1122-CA	CDBG - BID-South Park
ZI - ZI-940 Central Bsn District Redevel	CRA - ZI 2316 CITY CENTER REDEVEL	CPC - CPC-2005-1124-CA	CDBG - LARC-Los Angeles
PKLY - PKG-717	CRA - ZI 940 CENTRAL BSN DIST	CPC - CPC-2005-361-CA	CDBG - LARZ-Central City

5. CHECKLIST ITEMS

6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION

Owner(s):
Downtown Live Llc 807 12th St STE 401 LOS ANGELES CA 90021

Tenant:
Applicant: (Relationship: Owner-Bldr)
- Owner-Builder 4741 Laurel Canyon Blvd #201 VALLEY VILLAGE 91607 (818) 755-9000

7. EXISTING USE

(17) Restaurant

PROPOSED USE

8. DESCRIPTION OF WORK

SUPPLEMENTAL TO 09016-10000-13298, TO ALLOW SALE AND DISPENSING OF ALCOHOLIC BEVERAGES ON SITE, LIVE ENTERTAINMENT AND PATRON DANCING FOR 2ND FLOOR AND ROOFTOP OF UNIT #200 PER ZA-2009-2992-(CUB)(CUX)(CU).

9. # Bldgs on Site & Use:

10. APPLICATION PROCESSING INFORMATION

BLDG. PC By: Larry Lee DAS PC By:
OK for Cashier: Larry Lee Coord. OK:
Signature: Date: 3/27/11

For inspection requests, call toll-free (888) LA4BUILD (524-2845).

Outside LA County, call (213) 482-0000 or request inspections via
www.ladbs.org. To speak to a Call Center agent, call 311 or (213) 473-3231.
(866) 4LACITY (452-2489). Outside LA County, call (213) 473-3231.

For Cashier's Use Only: BUILDING PERMIT COPY W/O #: 91613298

11. PROJECT VALUATION & FEE INFORMATION Final Fee Period

Permit Valuation: \$501 PC Valuation: \$501

FINAL TOTAL Bldg-Alter/Repair	182.67
Permit Fee Subtotal Bldg-Alter/Rep	146.25
Handicapped Access	
Plan Check Subtotal Bldg-Alter/Rep	0.00
Fire Hydrant Refuse-To-Pay	
E.Q. Instrumentation	0.50
O.S. Surcharge	2.94
Sys. Surcharge	8.81
Planning Surcharge	8.78
Planning Surcharge Misc Fee	10.00
Planning Gen Plan Maint Surcharge	4.39
State Green Building Surcharge	1.00
Permit Issuing Fee	0.00

Sewer Cap ID: Total Bond(s) Due:

12. ATTACHMENTS

Plot Plan

09016-10002-13298
1020464281133518



* P 0 9 0 1 6 1 0 0 0 2 1 3 2 9 8 F N *

14. APPLICATION COMMENTS

Due to the removing of floor area in mezz. and create more mechanical rooms and stair shaft, the removing zoning floor area is 2021 square foot, and the addition floor area is 1051 square foot in the roof. Add "building height" & "story" in inventory per PC eng., C. Chang, 8/13/2010

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless, the information printed exceeds that required by Section 19825 of the Health and Safety Code of the State of California.

15. Building Relocated From:

16. CONTRACTOR, ARCHITECT, & ENGINEER NAME	ADDRESS	CLASS	LICENSE#	PHONE #
(A) Khorramian, Abdy	4741 Laurel Canyon Rd #202, N Hollywood, CA 91607		C13138	
(E) Youssef, Nabih Fouad Guirg	800 Wilshire Blvd Ste 510, Nabih Yous: Los Angeles, CA 90017		S2026	
(O) . Owner-Builder	4741 Laurel Canyon Blvd, #201 , 91607		0	8187559000

PERMIT EXPIRATION/REFUNDS: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

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☐ I, as the owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business & Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year from completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

OR

☐ I, as the owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business & Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

18. WORKERS' COMPENSATION DECLARATION

I hereby affirm, under penalty of perjury, one of the following declarations:

☐ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: _____ Policy Number: _____

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at www.aqmd.gov. Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or www.dhs.ca.gov/childlead.

20. FINAL DECLARATION

I certify that I have read this application INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

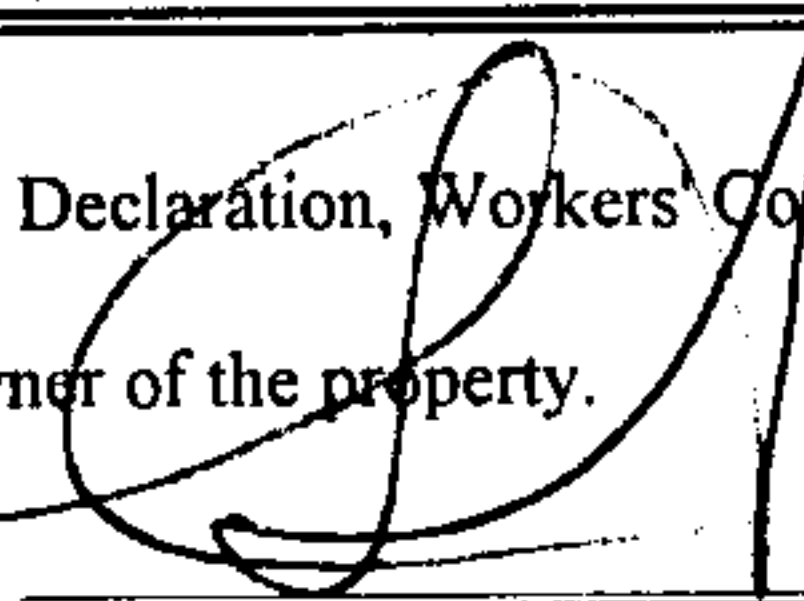
By signing below, I certify that:

- (1) I accept all the declarations above, namely the Owner-Builder Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

Print Name:

M. S. ...

Sign:



Date:

3/29/2011

Owner

☐ Authorized Agent

Bldg-Alter/Repair
Commercial
Plan Check

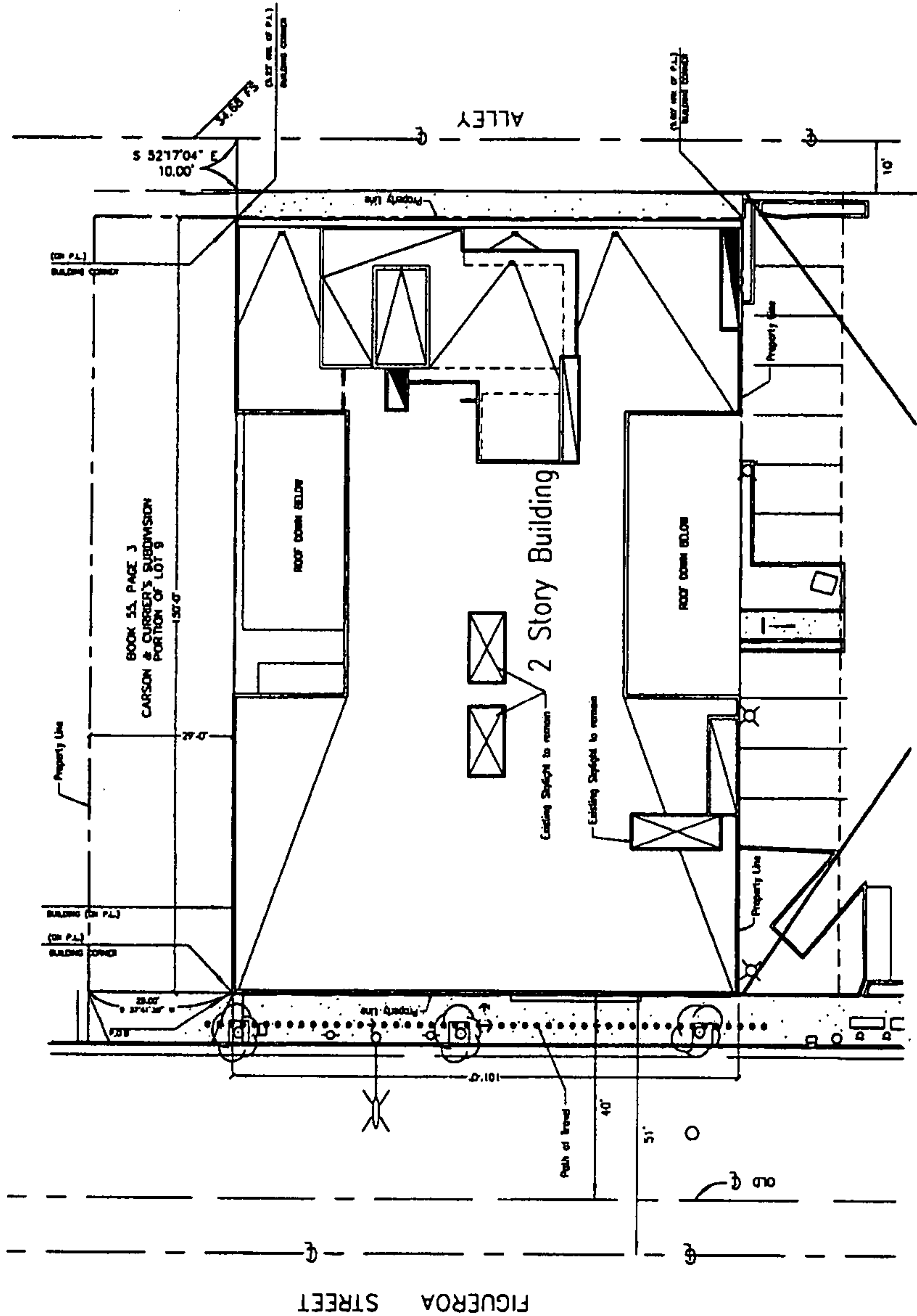
City of Los Angeles - Department of Building and Safety

Plan Check #: B1ILA02797
Initiating Office: METRO
Printed on: 03/29/11 13:11:53

PLOT PLAN ATTACHMENT

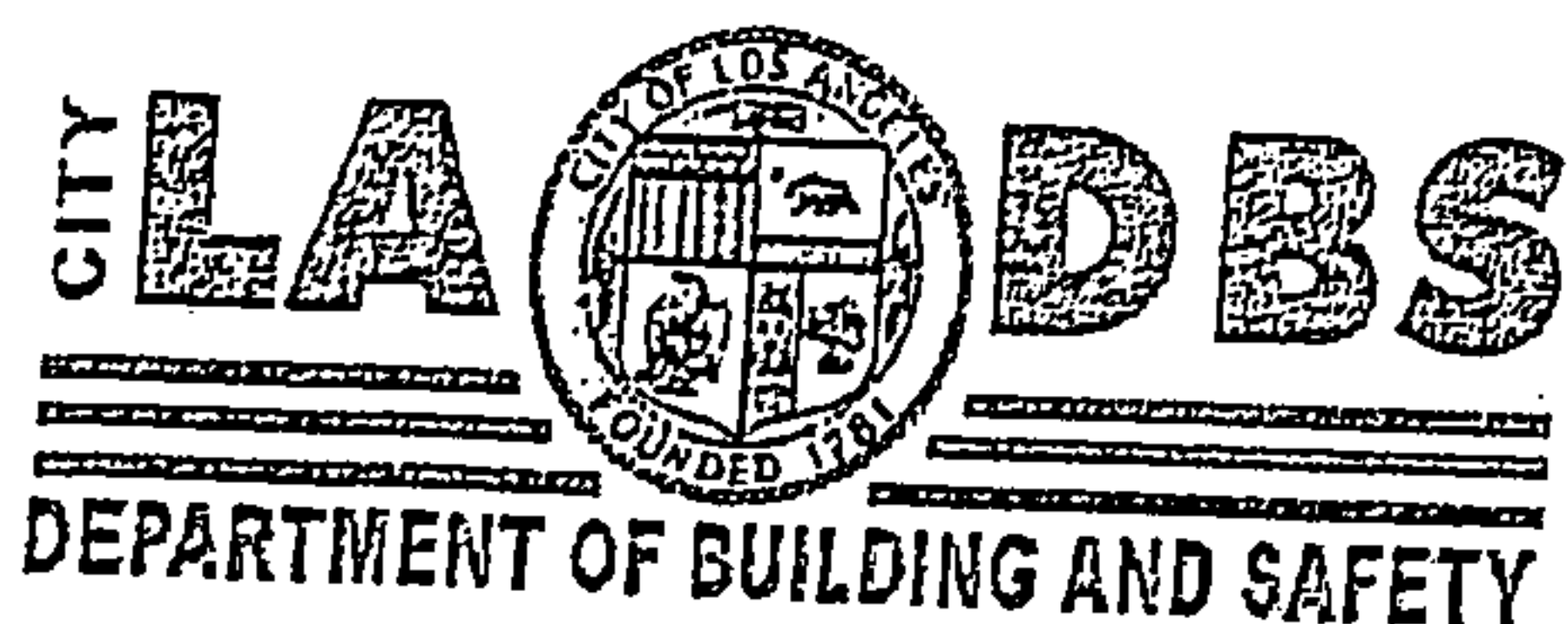
09016-10002-13298

(DO NOT DRAW, WRITE, OR PASTE ATTACHMENTS OUTSIDE BORDER)



INSPECTION DISTRICT: BIGIM3

PLOT PLAN ATTACHMENT



OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF
INFORMATION

(OWNER-BUILDER DECLARATION)

Application Number: 09016-10002-13298

Project Address: 1248 S. Figueroa

DIRECTIONS: Read and initial each statement below to signify you understand or verify this information.

1 I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

2 I understand building permits are not required to be signed by property owners unless they are responsible for the construction and are not hiring a licensed Contractor to assume this responsibility.

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4 I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.

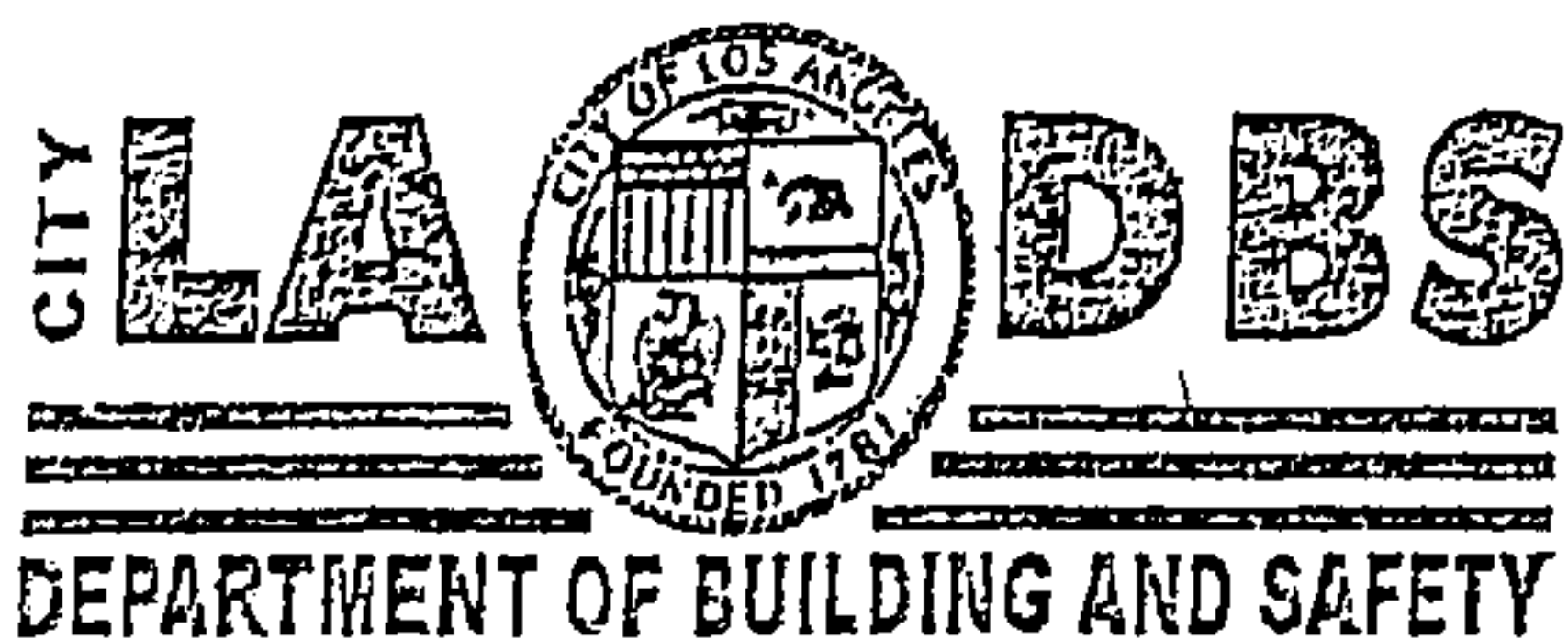
5 I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.

6 I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.

7 I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless all work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.

8 I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.

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OWNER'S ACKNOWLEDGMENT AND VERIFICATION
OF INFORMATION

(OWNER-BUILDER DECLARATION, cont.)

Application Number: 09016-10002-13298

Project Address: 1248 S. Figueroa

12 10. I am aware of and consent to an Owner-Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity at the following address: _____

11 11. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern Owner-Builders as well as employers.

12 12. I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form. Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed Contractors may be in civil court. It is also important for you to understand that if an unlicensed Contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner-Builder and wish to hire Contractors, you will be responsible for verifying whether or not those Contractors are properly licensed and the status of their workers' compensation insurance coverage. Before a building permit can be issued, this form must be completed and signed by the property owner and returned to the agency responsible for issuing the permit.

Note: A copy of the property owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.

Owner's Name: _____

Signature of property owner _____

Date: 3/24/2011

SEC. 3. Section 19830 of the Health and Safety Code is repealed.

SEC. 4. Section 19831 of the Health and Safety Code is repealed.

SEC. 5. Section 19832 of the Health and Safety Code is repealed.



Bldg-Alter/Repair
Commercial
Plan Check at Counter
Plan Check

City of Los Angeles - Department of Building and Safety
**APPLICATION FOR BUILDING PERMIT
AND CERTIFICATE OF OCCUPANCY**

Last Status: Ready to Issue
Status Date: 04/06/2011

1. TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF #	PARCEL ID # (PIN #)	2. ASSESSOR PARCEL #
CARSON AND CURRIER'S		9	1,2	M R 55-3	126A207 50	5138 - 025 - 014
CARSON AND CURRIER'S		10		M R 55-3	126A205 19	5138 - 025 - 014
CARSON AND CURRIER'S		11	1	M R 55-3	126A205 20	5138 - 025 - 014

3. PARCEL INFORMATION

Area Planning Commission - Central
LADBS Branch Office - LA
Council District - 9
Certified Neighborhood Council - Downtown Los Angeles
Community Plan Area - Central City

Census Tract - 2079.00
District Map - 126A205
Energy Zone - 9
Fire District - 1 (Entire parcel)
Lot Cut Date - 04/02/1956

Lot Cut Date - 09/13/1941
Methane Hazard Site - Methane Zone
Near Source Zone Distance - 0
Parking Dist. - CCPD
Parking Dist. - DPD

ZONE(S): C2-4D-O /

4. DOCUMENTS

ZI - ZI-2374 Los Angeles State Enterpris	ORD - ORD-164307-SA3005	CPC - CPC-1986-606-GPC	CPC - CPC-2008-4502-GPA
ZI - ZI-2385 Greater Downtown Housing	ORD - ORD-73261	CPC - CPC-2005-1122-CA	CDBG - BID-South Park
ZI - ZI-940 Central Bsn District Redevel	CRA - ZI 2316 CITY CENTER REDEV	CPC - CPC-2005-1124-CA	CDBG - LARC-Los Angeles
PKLY - PKG-717	CRA - ZI 940 CENTRAL BSN DIST	CPC - CPC-2005-361-CA	CDBG - LARZ-Central City

5. CHECKLIST ITEMS

6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION

Owner(s):
Downtown Live Llc
807 12th St STE 401
LOS ANGELES CA 90021

Tenant:
Applicant: (Relationship: Owner-Bldr)
- Owner-Builder
4741 Laurel Canyon Blvd #201
VALLEY VILLAGE 91607
(818) 755-9000

7. EXISTING USE	PROPOSED USE	8. DESCRIPTION OF WORK
(16) Retail (17) Restaurant		REVISE ROOF TOP PLAN, PROVIDE 10 FIX BENCHES WITH DECORATIVE CURTAINS AT 5'-9" MAXIMUM HEIGHT.

9. # Bldgs on Site & User

10. APPLICATION PROCESSING INFORMATION

BLDG. PC By: Larry Lee
OK for Cashier: Larry Lee
Signature:
DAS PC By:
Coord. OK:
Date: 4/6/11

For inspection requests, call toll-free (888) LA4BUILD (524-2845).
Outside LA County, call (213) 482-0000 or request Inspections via www.ladbs.org. To speak to a Call Center agent, call 311 or (866) 4LACITY (452-2489). Outside LA County, call (213) 473-3231.
For Cashier's Use Only: W/O #: 91613298

11. PROJECT VALUATION & FEE INFORMATION			Final Fee Period
Permit Valuation: \$10,000		PC Valuation:	
FINAL TOTAL Bldg-Alter/Repair	242.15	Permit Issuing Fee	0.00
Permit Fee Subtotal Bldg-Alter/Repair	185.63		
Handicapped Access			
Plan Check Subtotal Bldg-Alter/Rep	0.00		
Plan Maintenance	10.00		
Fire Hydrant Refuse-To-Pay			
E.Q. Instrumentation	2.10		
O.S. Surcharge	3.95		
Sys. Surcharge	11.86		
Planning Surcharge	11.74		
Planning Surcharge Misc Fee	10.00		
Planning Gen Plan Maint Surcharge	5.87		
State Green Building Surcharge	1.00		
Sewer Cap ID:	Total Bond(s) Due:		

12. ATTACHMENTS

Owner-Builder Declaration
Plot Plan



14. APPLICATION COMMENTS

Due to the removing of floor area in mezz. and create more mechanical rooms and stair shaft, the removing zoning floor area is 2021 square foot, and the addition floor area is 1051 square foot in the roof. Add "building height" & "story" in inventory per PC eng., C. Chang, 8/13/2010

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless, the information printed exceeds that required by Section 19825 of the Health and Safety Code of the State of California.

15. Building Relocated From:

16. CONTRACTOR, ARCHITECT, & ENGINEER NAME

ADDRESS

CLASS

LICENSE#

PHONE

(A) Khorramian, Abdy

4741 Laurel Canyon Rd #202,

N Hollywood, CA 91607

C13138

(E) Youssef, Nabih Fouad Guirg

800 Wilshire Blvd Ste 510, Nabih Yous

Los Angeles, CA 90017

S2026

(O) , Owner-Builder

4741 Laurel Canyon Blvd, #201

, 91607

0

8187559000

PERMIT EXPIRATION/REFUNDS: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

17. OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the following reason (Section 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☐ I, as the owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business & Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year from completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

OR

☐ I, as the owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business & Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

18. WORKERS' COMPENSATION DECLARATION

I hereby affirm, under penalty of perjury, one of the following declarations:

☐ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: _____

Policy Number: _____

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at www.aqmd.gov. Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or www.dhs.ca.gov/childlead.

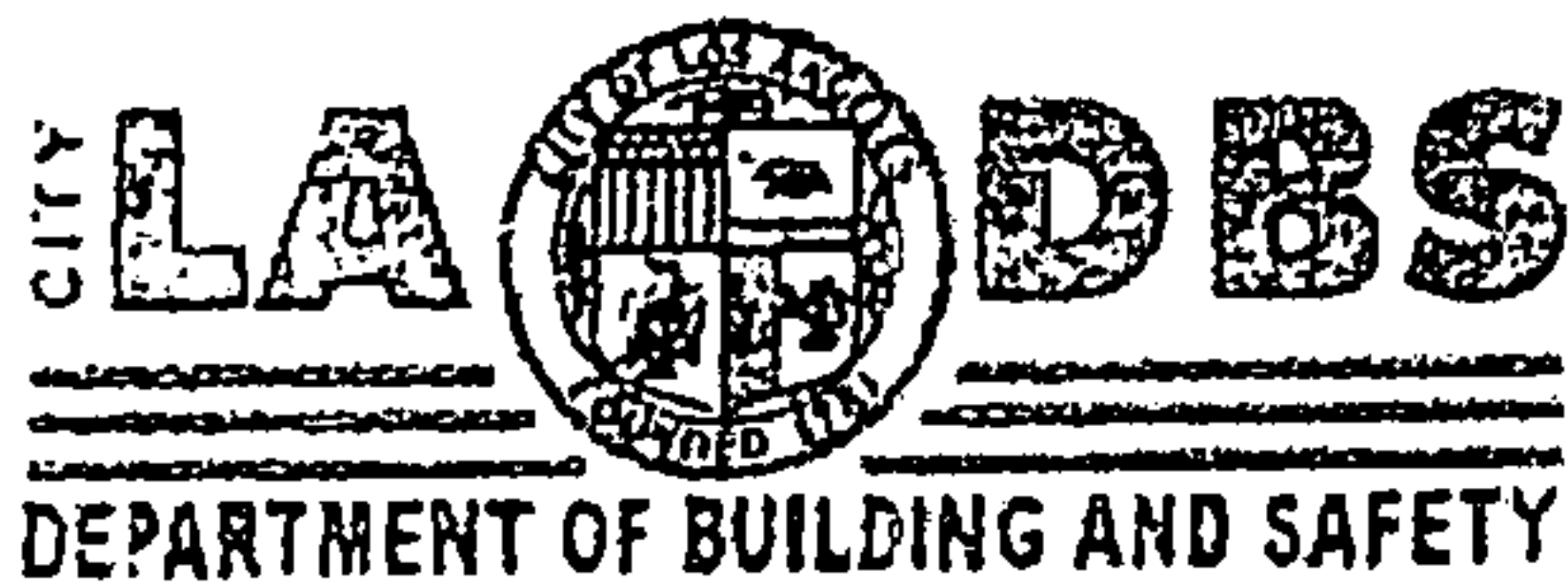
20. FINAL DECLARATION

I certify that I have read this application INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

By signing below, I certify that:

- (1) I accept all the declarations above namely the Owner-Builder Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

Print Name: KARIM AMOORYSign: Karim AmoryDate: 4/6/11☐ Owner☐ Authorized Agent



OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF INFORMATION

(OWNER-BUILDER DECLARATION)

Application Number: 09016-10000-13298

Project Address: 12485 FIGUEROA ST

DIRECTIONS: Read and initial each statement below to signify you understand or verify this information.

ms 1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

ms 2. I understand building permits are not required to be signed by property owners unless they are responsible for the construction and are not hiring a licensed Contractor to assume this responsibility.

ms 3. I understand as an "Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.

ms 4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.

ms 5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.

ms 6. I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.

ms 7. I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless all work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.

ms 8. I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.

ms 9. I understand I may obtain more information regarding my obligations as an "employer" from the Internal Revenue Service, the United States Small Business Administration, the California Department of Benefit Payments, and the California Division of Industrial Accidents. I also understand I may contact the California Contractors' State License Board (CSLB) at 1-800-321-CSLB (2752) or www.cslb.ca.gov for more information about licensed contractors.



OWNER'S ACKNOWLEDGMENT AND VERIFICATION
OF INFORMATION

(OWNER-BUILDER DECLARATION, cont.)

Application Number: 09016-1000-13298

Project Address: 1248 S. FIGUEROA, ST

10. I am aware of and consent to an Owner-Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity at the following address: _____
11. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern Owner-Builders as well as employers.
12. I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form. Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed Contractors may be in civil court. It is also important for you to understand that if an unlicensed Contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner-Builder and wish to hire Contractors, you will be responsible for verifying whether or not those Contractors are properly licensed and the status of their workers' compensation insurance coverage. Before a building permit can be issued, this form must be completed and signed by the property owner and returned to the agency responsible for issuing the permit.

Note: A copy of the property owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.

Owner's Name: _____

Signature of property owner: _____

Date: _____

- SEC. 3. Section 19830 of the Health and Safety Code is repealed.
SEC. 4. Section 19831 of the Health and Safety Code is repealed.
SEC. 5. Section 19832 of the Health and Safety Code is repealed.

**Bldg-Alter/Repair
Commercial
Plan Check**

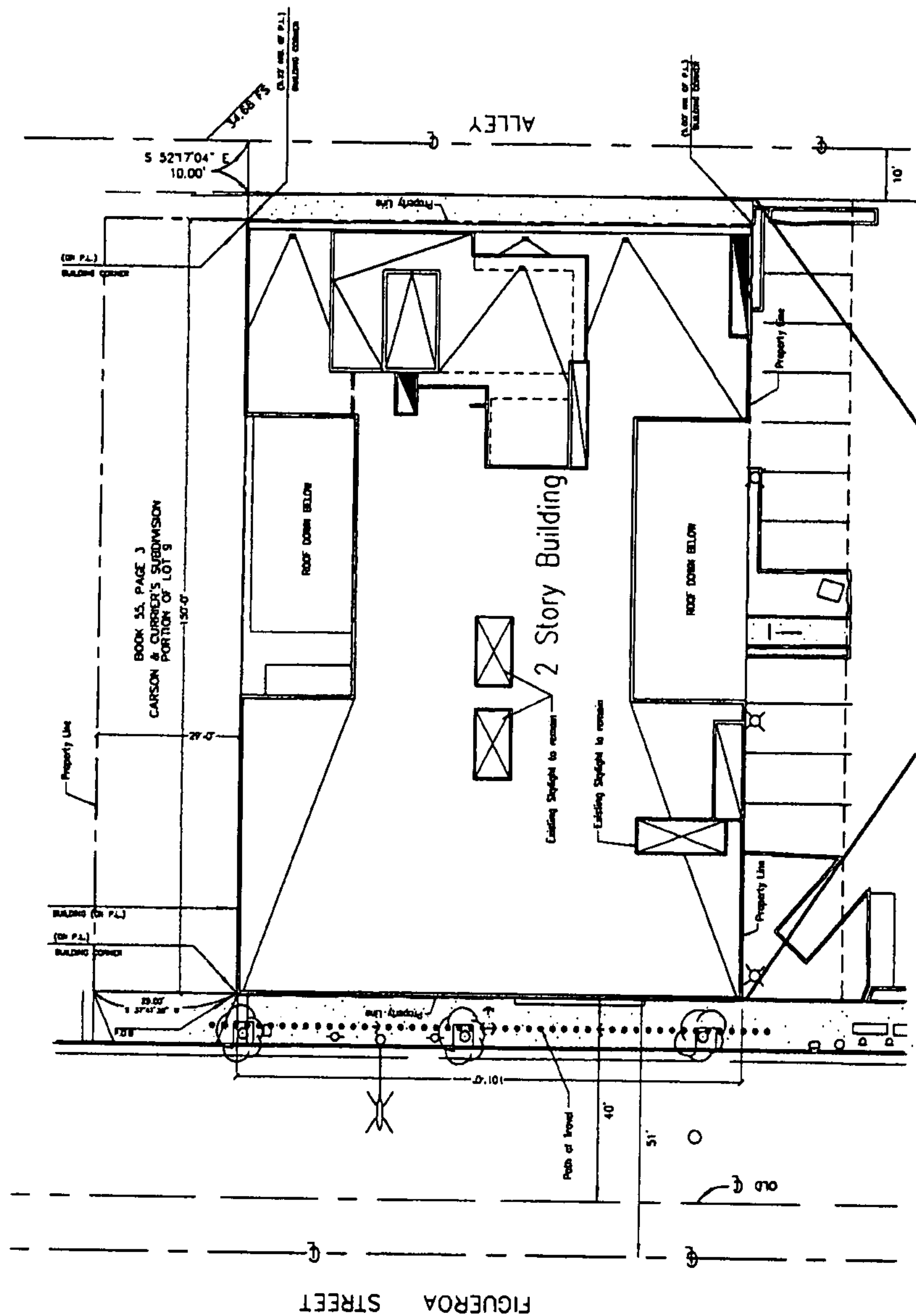
City of Los Angeles - Department of Building and Safety

Plan Check #: B11LA03172

Initiating Office: METRO

Printed on: 03/30/11 15:59:10

PLOT PLAN ATTACHMENT



1248 S Figueroa St 200

Permit #:
Plan Check #: B13LA08527
Event Code:

09016 - 10004 - 13298

Printed: 08/28/13 10:56 AM

Bldg-Alter/Repair Commercial Plan Check at Counter Plan Check	City of Los Angeles - Department of Building and Safety APPLICATION FOR BUILDING PERMIT AND CERTIFICATE OF OCCUPANCY	Issued on: 08/28/2013 Last Status: Issued Status Date: 08/28/2013
--	--	---

1. TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF#	PARCEL ID # (PIN #)	2. ASSESSOR PARCEL#
CARSON AND CURRIER'S SUBC		9	1,2	M R 55-3	126A207 50	5138 - 025 - 014
CARSON AND CURRIER'S SUBC		10		M R 55-3	126A205 19	5138 - 025 - 014
CARSON AND CURRIER'S SUBC		11	1	M R 55-3	126A205 20	5138 - 025 - 014

3. PARCEL INFORMATION Area Planning Commission - Central LADBS Branch Office - LA Council District - 14 Certified Neighborhood Council - Downtown Los Angeles Community Plan Area - Central City	Census Tract - 2079.00 District Map - 126A205 Energy Zone - 9 Fire District - 1 (Entire parcel) Lot Cut Date - 04/02/1956	Lot Cut Date - 09/13/1941 Methane Hazard Site - Methane Zone Near Source Zone Distance - 0 Parking Dist. - CCPD Parking Dist. - DPD
ZONES(S): C2-4D-O		

4. DOCUMENTS ZI - ZI-2374 Los Angeles State Enterprise Zor ORD - ORD-164307-SA3005 ZI - ZI-2385 Greater Downtown Housing Ince ORD - ORD-73261 ZI - ZI-940 Central Bsn District Redevelopme CRA - ZI 2316 CITY CENTER REDEV PRJC PKLY - PKG-717	CPC - CPC-1986-606-GPC CPC - CPC-2005-1122-CA CPC - CPC-2005-1124-CA CPC - CPC-2005-361-CA	CPC - CPC-2008-4502-GPA CDBG - BID-South Park CDBG - LARC-Los Angeles CDBG - LARZ-Central City
---	---	---

5. CHECKLIST ITEMS

6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION Owner(s): DOWNTOWN LIVE LLC 807 12TH ST STE 401, LOS ANGELES CA 90021 -- Tenant: Applicant: (Relationship: Owner-Bldr) - OWNER-BUILDER 4741 LAUREL CANYON BLVD #201, VALLEY VILLAGE 91607 -- (818) 755-9000	For Cashier's Use Only W/O #: 91613298
--	---

7. EXISTING USE (17) Restaurant	PROPOSED USE
---	---------------------

8. DESCRIPTION OF WORK SUPPLEMENTAL TO 09016-10002-13298, CHANGE OF WORK DESCRIPTION TO: TO ALLOW SALE AND DISPENSING OF ALCOHOLIC BEVERAGES ON SITE FOR 2ND FLOOR AND ROOF TOP, AND TO ALLOW LIVE ENTERTAINMENT AND PATRON DANCING FOR 2ND FLOOR ONLY OF UNIT #200 PER ZA-2009-2992-(CUB)(CUX)

9. # Bldgs on Site & Use:

10. APPLICATION PROCESSING INFORMATION BLDG. PC By: Larry Lee OK for Cashier: Larry Lee Signature: Date: 08/28/2013	DAS PC By: Coord. OK:
--	--------------------------

11. PROJECT VALUATION Permit Valuation: \$0 Sewer Cap ID:	Final Fee Period PC Valuation: Total Bond(s) Due:
--	---

12. ATTACHMENTS Owner-Builder Declaration

For inspection requests, call toll-free (888) LA4BUILD (524-2845). Outside LA County, call (213) 482-0000 or request inspections via www.ladbs.org . To speak to a Call Center agent, call 311 or (866) 4LACITY (452-2489). Outside LA County, call (213) 473-3231.
--

LA 0012 101018581 8/28/2013 10:56:42 AM	
BUILDING PERMIT COMM	\$0.00
BUILDING PLAN CHECK	\$0.00
EI COMMERCIAL	\$0.00
ONE STOP SURCH	\$0.00
SYSTEMS DEVT FEE	\$0.00
CITY PLANNING SURCH	\$0.00
MISCELLANEOUS	\$0.00
PLANNING GEN PLAN MAINT SURCH	\$0.00
CA BLDG STD COMMISSION SURCHARGE	\$0.00
Sub Total:	\$0.00

Permit #: 090161000413298
Receipt #: 0101194412
Building Card #: 2013LA21060

* P 0 9 0 1 6 1 0 0 0 4 1 3 2 9 8 F N *

13. STRUCTURE INVENTORY

(Note: Numeric measurement data in the format "number / number" implies "change in numeric value / total resulting numeric value")

09016 - 10004 - 13298

14. APPLICATION COMMENTS:

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless the information printed exceeds that required by section 19825 of the Health and Safety Code of the State of California.

15. BUILDING RELOCATED FROM:**16. CONTRACTOR, ARCHITECT & ENGINEER NAME****ADDRESS****CLASS****LICENSE #****PHONE #**

(O) OWNER-BUILDER

4741 LAUREL CANYON BLVD, #201 , 91607

0

(818) 755-9000

PERMIT EXPIRATION/REFUNDS: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

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☒ I, as the owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year from completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

OR

☐ I, as the owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

18. WORKERS' COMPENSATION DECLARATION

I hereby affirm, under penalty of perjury, one of the following declarations:

☐ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: _____ Policy Number: _____

☒ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at www.aqmd.gov. Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or www.dhs.ca.gov/childlead.

20. FINAL DECLARATION

I certify that I have read this application INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

By signing below, I certify that:

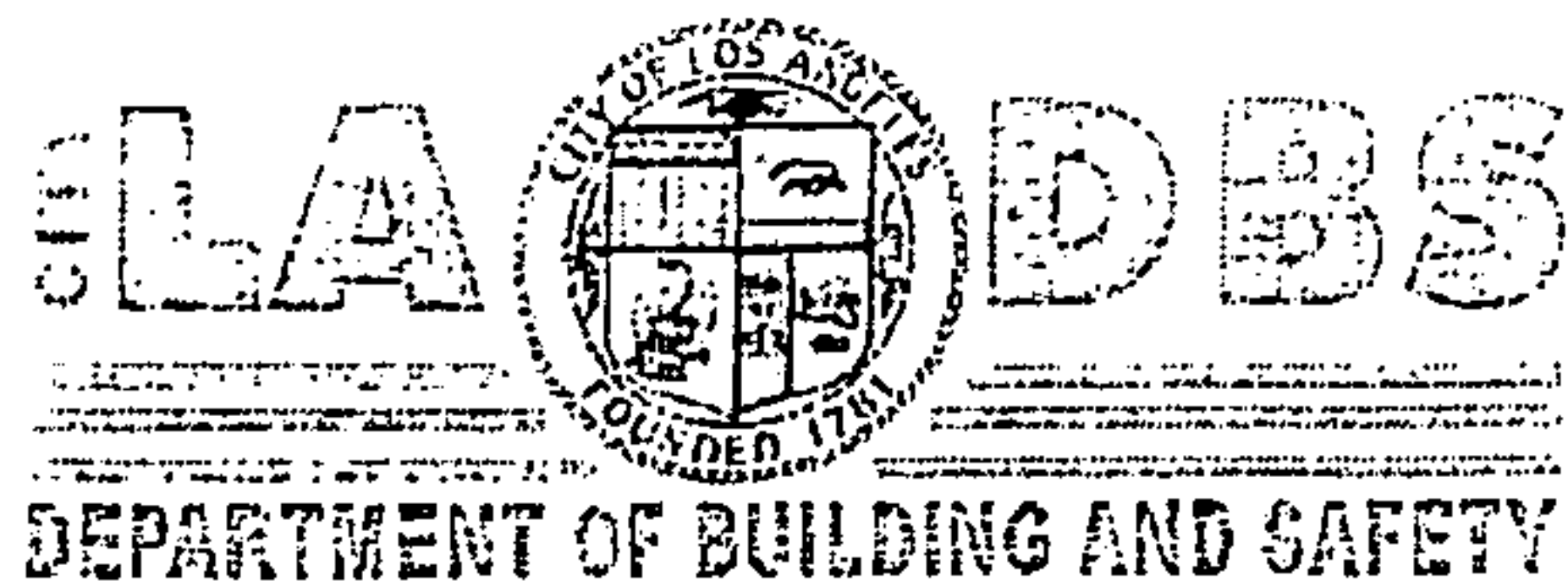
- (1) I accept all the declarations above namely the Owner-Builder Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

Print Name: MAYER SEPARZADEHSign: Date: 08/28/2013

Owner



Authorized Agent



OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF
INFORMATION

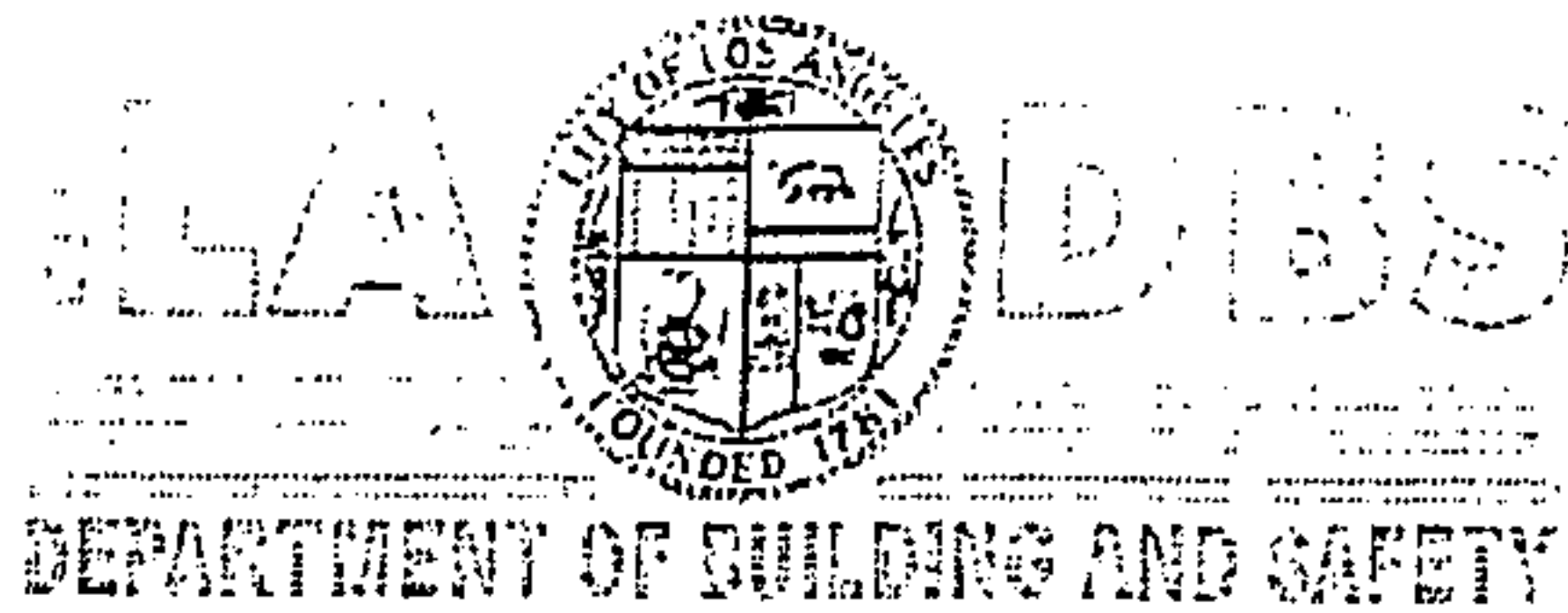
(OWNER-BUILDER DECLARATION)

Application Number: 09016-10004-13298

Project Address: 1248 S FIGUEROA

DIRECTIONS: Read and initial each statement below to signify you understand or verify this information.

- ☒ 1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.
- ☒ 2. I understand building permits are not required to be signed by property owners unless they are *responsible* for the construction and are not hiring a licensed Contractor to assume this responsibility.
- ☒ 3. I understand as an "Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.
- ☒ 4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.
- ☒ 5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.
- ☒ 6. I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.
- ☒ 7. I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless *all* work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.
- ☒ 8. I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.
- ☒ 9. I understand I may obtain more information regarding my obligations as an "employer" from the Internal Revenue Service, the United States Small Business Administration, the California Department of Benefit Payments, and the California Division of Industrial Accidents. I also understand I may contact the California Contractors' State License Board (CSLB) at 1-800-321-CSLB (2752) or www.cslb.ca.gov for more information about licensed contractors.



OWNER'S ACKNOWLEDGMENT AND VERIFICATION
OF INFORMATION

(OWNER-BUILDER DECLARATION, cont.)

Application Number: 09016-10004-13298

Project Address: 1248 S FIGUEROA

☒ 10. I am aware of and consent to an Owner-Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity at the following address: _____

☒ 11. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern Owner-Builders as well as employers.

☐ 12. I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form. Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed Contractors may be in civil court. It is also important for you to understand that if an unlicensed Contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner-Builder and wish to hire Contractors, you will be responsible for verifying whether or not those Contractors are properly licensed and the status of their workers' compensation insurance coverage. Before a building permit can be issued, this form must be completed and signed by the property owner and returned to the agency responsible for issuing the permit.

Note: A copy of the property owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.

Owner's Name: _____

Signature of property owner _____

Date: 8/28/13

SEC. 3. Section 19830 of the Health and Safety Code is repealed.

SEC. 4. Section 19831 of the Health and Safety Code is repealed.

SEC. 5. Section 19832 of the Health and Safety Code is repealed.

1248 S Figueroa St



Permit #: 10016 - 10000 - 00233
Plan Check #: B10LA00074 Printed: 01/08/10 09:58 AM
Event Code:

Bldg-Alter/Repair Commercial Plan Check at Counter Plan Check	City of Los Angeles - Department of Building and Safety APPLICATION FOR BUILDING PERMIT AND CERTIFICATE OF OCCUPANCY	Last Status: Ready to Issue Status Date: 01/08/2010
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1. TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF #	PARCEL ID # (PIN #)	2. ASSESSOR PARCEL #
CARSON AND CURRIER'S		9	1,2	M R 55-3	126A207 50	5138 - 025 - 014
CARSON AND CURRIER'S		10		M R 55-3	126A205 19	5138 - 025 - 014
CARSON AND CURRIER'S		11	1	M R 55-3	126A205 20	5138 - 025 - 014

3. PARCEL INFORMATION Area Planning Commission - Central LADBS Branch Office - LA Council District - 9 Certified Neighborhood Council - Downtown Los Angeles Community Plan Area - Central City	Census Tract - 2079.00 District Map - 126A205 Energy Zone - 9 Fire District - 1 (Entire parcel) Lot Cut Date - 04/02/1956	Lot Cut Date - 09/13/1941 Methane Hazard Site - Methane Zone Near Source Zone Distance - 0 Parking Dist. - CCPD Parking Dist. - DPD
ZONE(S): C2-4D-O /		

4. DOCUMENTS ZI - ZI-2374 Los Angeles State Enterpris ZI - ZI-2385 Greater Downtown Housing ZI - ZI-940 Central Bsn District Redevel PKLY - PKG-717	ORD - ORD-164307-SA3005 ORD - ORD-73261 CRA - ZI 2316 CITY CENTER REDEV CRA - ZI 940 CENTRAL BSN DIST	CPC - CPC-1986-606-GPC CPC - CPC-2005-1122-CA CPC - CPC-2005-1124-CA CPC - CPC-2005-361-CA	CPC - CPC-2008-4502-GPA CDBG - BID-South Park CDBG - LARC-Los Angeles CDBG - LARZ-Central City
--	--	---	---

5. CHECKLIST ITEMS Special Inspect - Concrete>2.5ksi Special Inspect - Structural Observation Std. Work Descr - Excess Flow Shut Off Valve
--

6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION			
Owner(s): Downtown Live Llc	807 12th St STE 401	LOS ANGELES CA 90021	
Tenant: Applicant: (Relationship: Owner-Bldr) - Owner-Builder	4741 Laurel Canyon Blvd #201	VALLEY VILLAGE 91607	(818) 755-9000

7. EXISTING USE (08) Automobile Sales - new	PROPOSED USE	8. DESCRIPTION OF WORK STRUCTURAL UPGRADE TO THE EXISTING AUTO DEALER BUILDING. "COMPLY WITH DEPARTMENT ORDER effective date 04/24/2009. PERMIT WILL EXPIRE 30 DAYS FROM ISSUANCE DATE".
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9. # Bldgs on Site & Use:	For inspection requests, call toll-free (888) LA4BUILD (524-2845). Outside LA County, call (213) 482-0000 or request Inspections via www.ladbs.org . To speak to a Call Center agent, call 311 or (866) 4LACITY (452-2489). Outside LA County, call (213) 473-3231. For Cashier's Use Only W/O #: 01600233
10. APPLICATION PROCESSING INFORMATION BLDG. PC By: Larry Lee OK for Cashier: Larry Lee Signature: <i>[Signature]</i> Date: 1/8/09	

11. PROJECT VALUATION & FEE INFORMATION		Final Fee Period
Permit Valuation:	\$300,000	PC Valuation: \$100,000
FINAL TOTAL Bldg-Alter/Repair	1,975.32	
Permit Fee Subtotal Bldg-Alter/Rep	1,625.63	
Handicapped Access		
Plan Check Subtotal Bldg-Alter/Rep	0.00	
Plan Maintenance	32.51	
Fire Hydrant Refuse-To-Pay		
E.O. Instrumentation	63.00	
O.S. Surcharge	34.42	
Sys. Surcharge	103.27	
Planning Surcharge	99.49	
Planning Surcharge Misc Fee	5.00	
Green Building Fee	12.00	
Permit Issuing Fee	0.00	
Sewer Cap ID:	Total Bond(s) Due:	

12. ATTACHMENTS Owner-Builder Declaration Plot Plan
--



14. APPLICATION COMMENTS

** Approved Seismic Gas Shut-Off Valve may be required. ** Due to the removing of floor area in mezz. and create more mechanical rooms and stair shaft, the removing zoning floor area is 2021 square foot, and the addition floor area is 1051 square foot in the roof.

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless, the information printed exceeds that required by Section 19825 of the Health and Safety Code of the State of California.

15. Building Relocated From:

16. CONTRACTOR, ARCHITECT, & ENGINEER NAME ADDRESS

	ADDRESS	CLASS	LICENSE#	PHONE #
(A) Khorramian, Abdy	4741 Laurel Canyon Rd #202,			
(E) Youssef, Nabih Fouad Guirg	800 Wilshire Blvd Ste 510, Nabih Yous		C13138	
(O) , Owner-Builder	4741 Laurel Canyon Blvd, #201		S2026	
			0	8187559000

PERMIT EXPIRATION/REFUNDS: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

17. OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the following reason (Section 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☐ I, as the owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business & Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year from completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

OR

☒ I, as the owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business & Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

18. WORKERS' COMPENSATION DECLARATION

I hereby affirm, under penalty of perjury, one of the following declarations:

☐ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: _____ Policy Number: _____

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at www.aqmd.gov. Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or www.dhs.ca.gov/childlead.

20. FINAL DECLARATION

I certify that I have read this application INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

By signing below, I certify that:

- (1) I accept all the declarations above namely the Owner-Builder Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

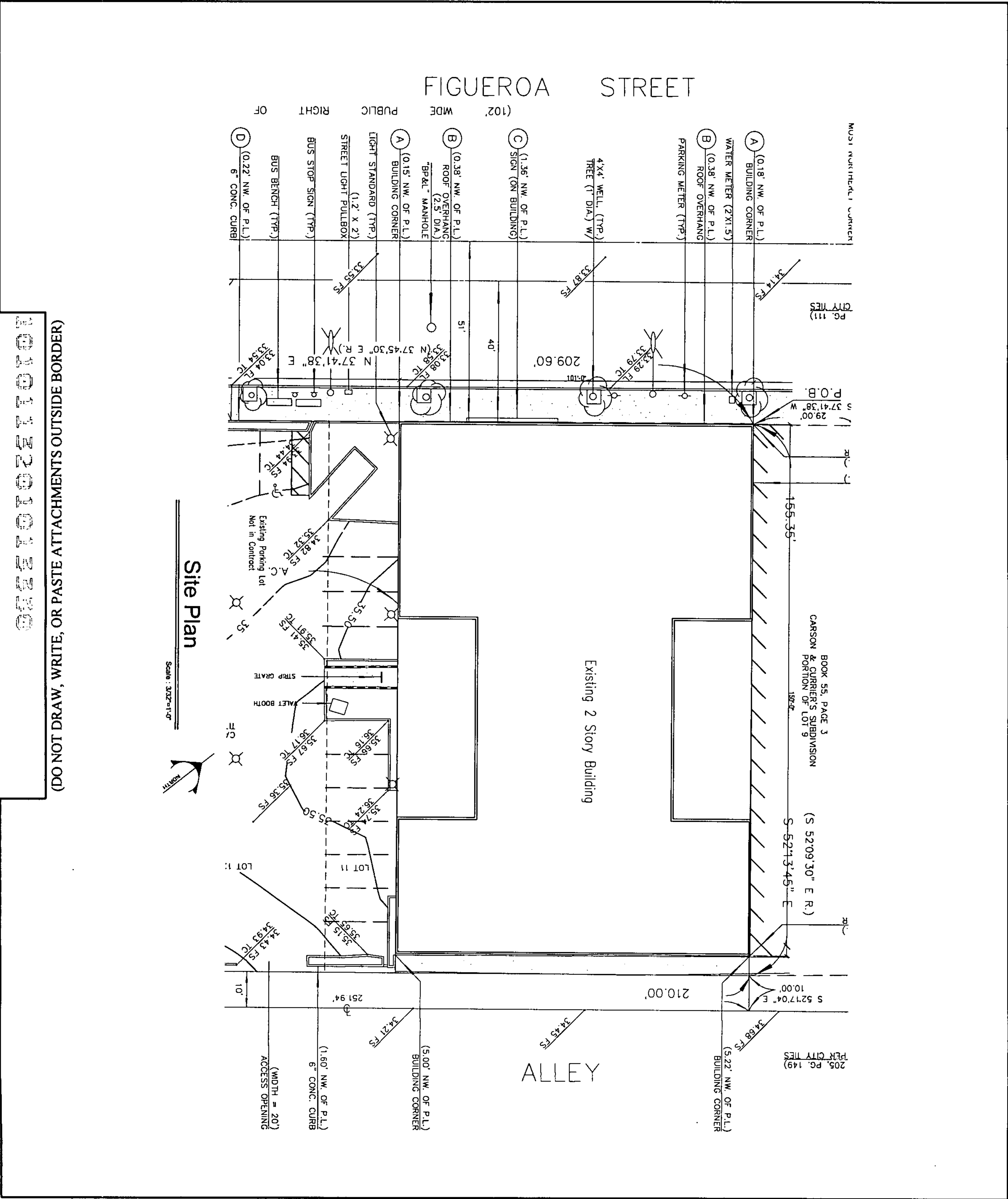
Print Name: M. SepanjanSign: [Signature]Date: 1/8/2010☒ Owner☐ Authorized Agent

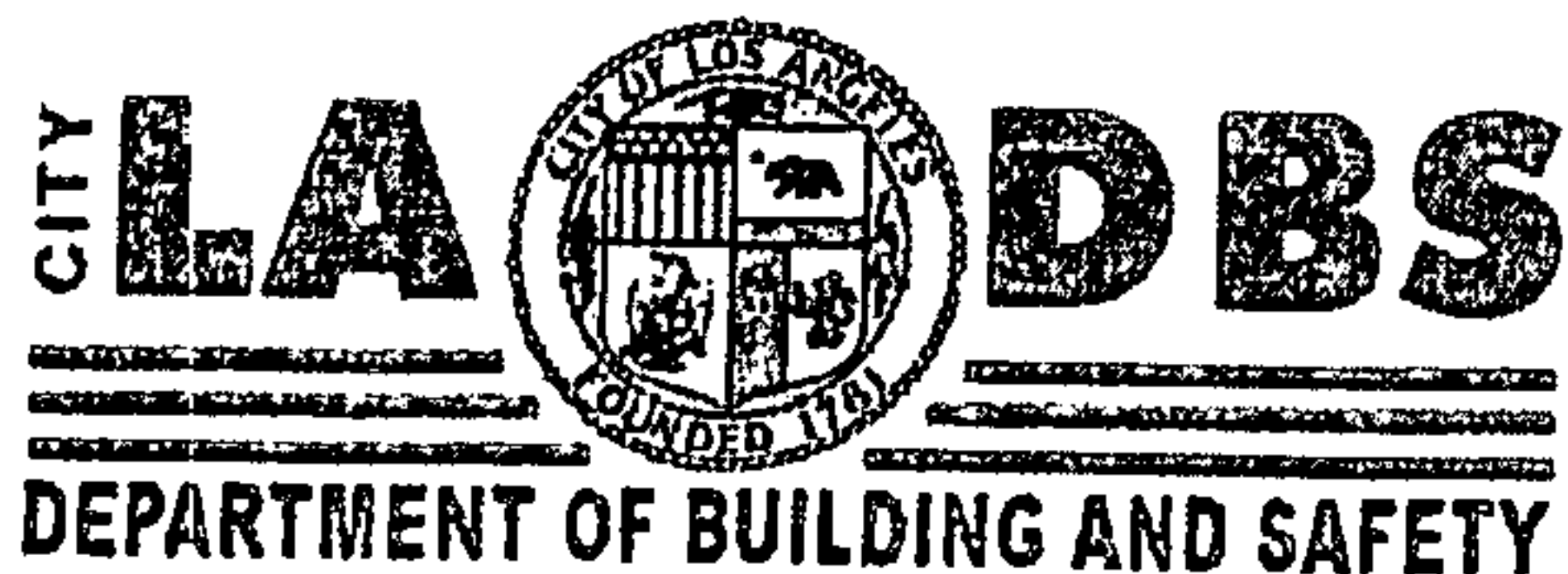
Bldg-Alter/Repair
Commercial
Plan Check

City of Los Angeles - Department of Building and Safety

Plan Check #: B10LA00074
Initiating Office: METRO
Printed on: 01/08/10 09:20:09

PLOT PLAN ATTACHMENT





OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF
INFORMATION

(OWNER-BUILDER DECLARATION)

Application Number: 10016-10000-00233

Project Address: 1248 S. FIGUEROA

DIRECTIONS: Read and initial each statement below to signify you understand or verify this information.

Mr. 1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

Mr. 2. I understand building permits are not required to be signed by property owners unless they are responsible for the construction and are not hiring a licensed Contractor to assume this responsibility.

Mr. 3. I understand as an "Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.

Mr. 4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.

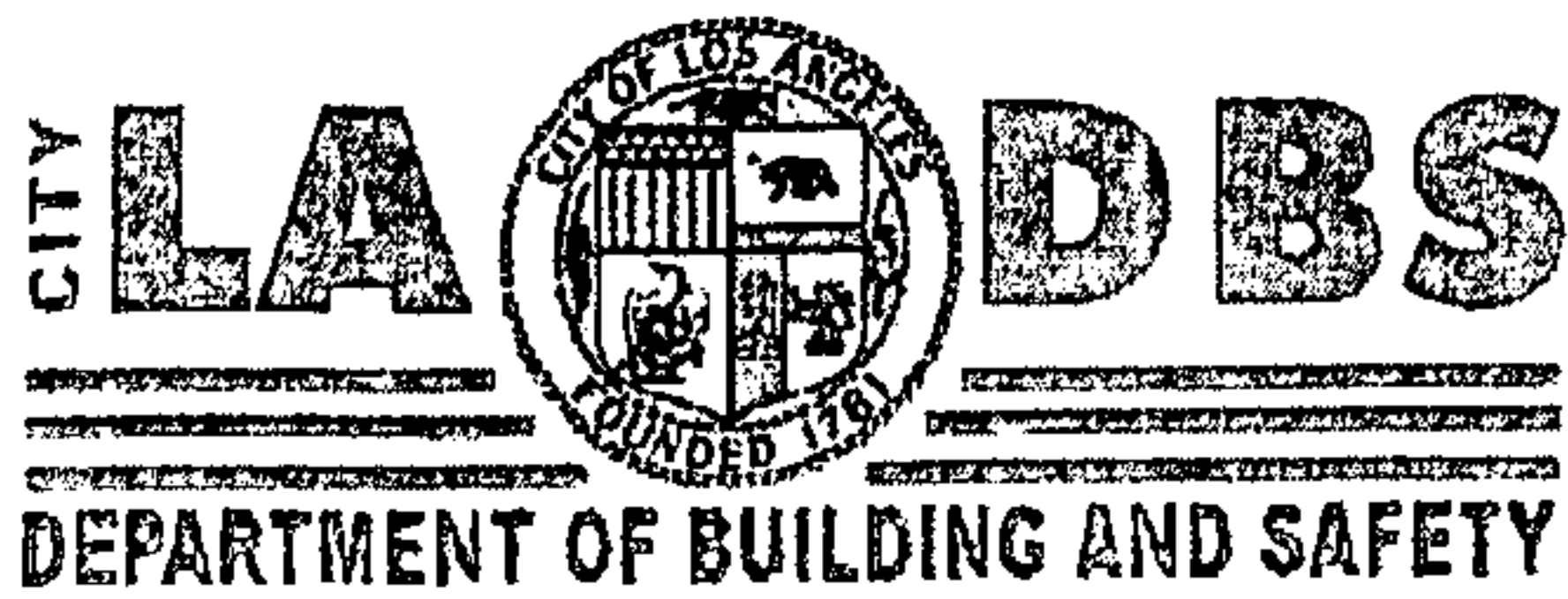
Mr. 5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.

Mr. 6. I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.

Mr. 7. I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless all work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.

Mr. 8. I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.

Mr. 9. I understand I may obtain more information regarding my obligations as an "employer" from the Internal Revenue Service, the United States Small Business Administration, the California Department of Benefit Payments, and the California Division of Industrial Accidents. I also understand I may contact the California Contractors' State License Board (CSLB) at 1-800-321-CSLB (2752) or www.cslb.ca.gov for more information about licensed contractors.



OWNER'S ACKNOWLEDGMENT AND VERIFICATION
OF INFORMATION

(OWNER-BUILDER DECLARATION, cont.)

Application Number: 10016-10000-00233

Project Address: 1248 S. FIGUEROA

10. I am aware of and consent to an Owner-Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity at the following address: 1248 S. FIGUEROA

11. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern Owner-Builders as well as employers.

12. I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form. Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed Contractors may be in civil court. It is also important for you to understand that if an unlicensed Contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner-Builder and wish to hire Contractors, you will be responsible for verifying whether or not those Contractors are properly licensed and the status of their workers' compensation insurance coverage. Before a building permit can be issued, this form must be completed and signed by the property owner and returned to the agency responsible for issuing the permit.

Note: A copy of the property owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.

Owner's Name: DOWN TOWN LIVE LLC

BY MAYER SHARAF ZADEH (Manager)

Signature of property owner

Date:

1/8/2010

SEC. 3. Section 19830 of the Health and Safety Code is repealed.
SEC. 4. Section 19831 of the Health and Safety Code is repealed.
SEC. 5. Section 19832 of the Health and Safety Code is repealed.



Permit #:

10016 - 10000 - 22979

Plan Check #: B10LA13480

Printed: 04/11/11 02:23 PM

Event Code:

Bldg-Alter/Repair
Commercial
Regular Plan Check
Plan Check

City of Los Angeles - Department of Building and Safety

**APPLICATION FOR BUILDING PERMIT
AND CERTIFICATE OF OCCUPANCY**

Last Status: Ready to Issue

Status Date: 04/11/2011

1. TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF #	PARCEL ID # (PIN #)	2. ASSESSOR PARCEL #
CARSON AND CURRIER'S		10		M R 55-3	126A205 19	5138 - 025 - 014

3. PARCEL INFORMATION

Area Planning Commission - Central
LADBS Branch Office - LA
Council District - 9
Certified Neighborhood Council - Downtown Los Angeles
Community Plan Area - Central City

Census Tract - 2079.00
District Map - 126A205
Energy Zone - 9
Fire District - 1 (Entire parcel)
Lot Cut Date - 04/02/1956

Lot Cut Date - 09/13/1941
Methane Hazard Site - Methane Zone
Near Source Zone Distance - 0
Parking Dist. - CCPD
Parking Dist. - DPD

ZONE(S): C2-4D-O /

4. DOCUMENTS

ZI - ZI-2374 Los Angeles State Enterpris ORD - ORD-164307-SA3005

ZI - ZI-2385 Greater Downtown Housing ORD - ORD-73261

ZA - ZA-2009-2992-CUB-CUX-CU

CRA - ZI 2316 CITY CENTER REDEV

PKLY - PKG-717

CPC - CPC-1986-606-GPC

CPC - CPC-2005-1122-CA

CPC - CPC-2005-1124-CA

CPC - CPC-2005-361-CA

CPC - CPC-2008-4502-GPA

CPC - CPC-2010-213-CA

CDBG - BID-South Park

CDBG - LARC-Los Angeles

CDBG - LARZ-Central City

5. CHECKLIST ITEMS

Std. Work Descr - Seismic Gas Shut Off Valve

6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION

Owner(s):

Downtown Live Llc

807 12th St STE 401

LOS ANGELES CA 90021

Tenant:

Applicant: (Relationship: Agent for Owner)

Robert Toro -

1000 Quail St Suite #260

NEWPORT BEACH 92660

(714) 904-2011

7. EXISTING USE

(17) Restaurant

PROPOSED USE

(17) Restaurant

8. DESCRIPTION OF WORK

TENANT IMPROVEMENT 7,247 SF OF RESTAURANT (NO INCREASE IN FLOOR AREA, CHANGE OF USE PERMIT UNDER 09016-10000-13298)

9. # Bldgs on Site & Use:**10. APPLICATION PROCESSING INFORMATION**

BLDG. PC By: Catherine Nuezca Gaba

DAS PC By: Ronald Allen

OK for Cashier: Ruth Rodriguez

Coord. OK:

Signature:

Date: 4/11/11

For inspection requests, call toll-free (888) LA4BUILD (524-2845).

Outside LA County, call (213) 482-0000 or request inspections via

www.ladbs.org. To speak to a Call Center agent, call 311 or

(866) 4LACITY (452-2489). Outside LA County, call (213) 473-3231.

For Cashier's Use Only

W/O #: 01622979

11. PROJECT VALUATION & FEE INFORMATION Final Fee Period

Permit Valuation: \$650,000

PC Valuation:

FINAL TOTAL Bldg-Alter/Repair	3,717.75	State Green Building Surcharge	26.00
Permit Fee Subtotal Bldg-Alter/Rep	2,961.56	Permit Issuing Fee	0.00
Handicapped Access			
Plan Check Subtotal Bldg-Alter/Rep	0.00		
Off-hour Plan Check	0.00		
Plan Maintenance	59.23		
Fire Hydrant Refuse-To-Pay			
E.Q. Instrumentation	136.50		
O.S. Surcharge	63.15		
Sys. Surcharge	189.44		
Planning Surcharge	181.25		
Planning Surcharge Misc Fee	10.00		
Planning Gen Plan Maint Surcharge	90.62		

Sewer Cap ID:

Total Bond(s) Due:

12. ATTACHMENTS

Plot Plan



* P 1 0 0 1 6 1 0 0 0 0 2 2 9 7 9 F N *

(P) NFPA-13 Fire Sprinklers Thru-out
(P) A2 Occ. Group: 0 Sqft / 7247 Sqft
(P) A2 Occ. Load: +278 Max Occ. / 278 Max Occ.
(P) Parking Req'd for Bldg (Auto+Bicycle): 0 Stalls / Stg
(P) Parking Req'd for Site (Auto+Bicycle): 0 Stalls / Stal
(P) Type III-A Construction

14. APPLICATION COMMENTS

** Approved Seismic Gas Shut-Off Valve may be required. ** * DO NOT FINAL PERMIT UNTIL PERMIT 09016-10000-13298 HAS BEEN FINALED/ C OF O OBTAINED. * GUARDRAIL AND EQUIPMENT SUPPORT UNDER DEFERRED SUBMITTAL. * LATEST C OF O, 1987LA54642, 2-STORY, TYPE III, 100' x 150'. CHANGE OF USE FROM RETAIL TO AUTO DEALER.

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless, the information printed exceeds that required by Section 19825 of the Health and Safety Code of the State of California.

15. Building Relocated From:

16. CONTRACTOR, ARCHITECT, & ENGINEER NAME	ADDRESS	CLASS	LICENSE#	PHONE #
(A) Rosenlieb, James D	1035 Montecito Drive Suite 101,		C27733	951-817-3067
(C) Quest Construction Building Contractors	13337 South St #183,	B	792455	562-809-6369

PERMIT EXPIRATION/REFUNDS: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

17. LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. The following applies to B contractors only: I understand the limitations of Section 7057 of the Business and Professional Code related to my ability to take prime contracts or subcontracts involving specialty trades.

License Class: **B** Lic. No.: **792455** Contractor: **QUEST CONSTRUCTION BUILDING CONTRACTORS**

18. WORKERS' COMPENSATION DECLARATION

I hereby affirm, under penalty of perjury, one of the following declarations:

☐ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: **State Comp. Ins. Fund** Policy Number: **1773954**

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at www.aqmd.gov. Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA. County at (800) 524-5323 or the State of California at (800) 597-5323 or www.dhs.ca.gov/childlead.

20. CONSTRUCTION LENDING AGENCY DECLARATION

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civil Code).
Lender's name (if any): _____ Lender's address: _____

21. FINAL DECLARATION

I certify that I have read this application INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

By signing below, I certify that:

- (1) I accept all the declarations above namely the Licensed Contractor's Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, Construction Lending Agency Declaration and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

Print Name: **STEWART TUNSON**

Sign: 

Date: **4-11-11**

☒ Contractor ☐ Authorized Agent

1248 S Figueroa St

Permit Application #: 10016 - 10000 - 22979

Bldg-Alter/Repair

City of Los Angeles - Department of Building and Safety

Plan Check #: B10LA13480FO

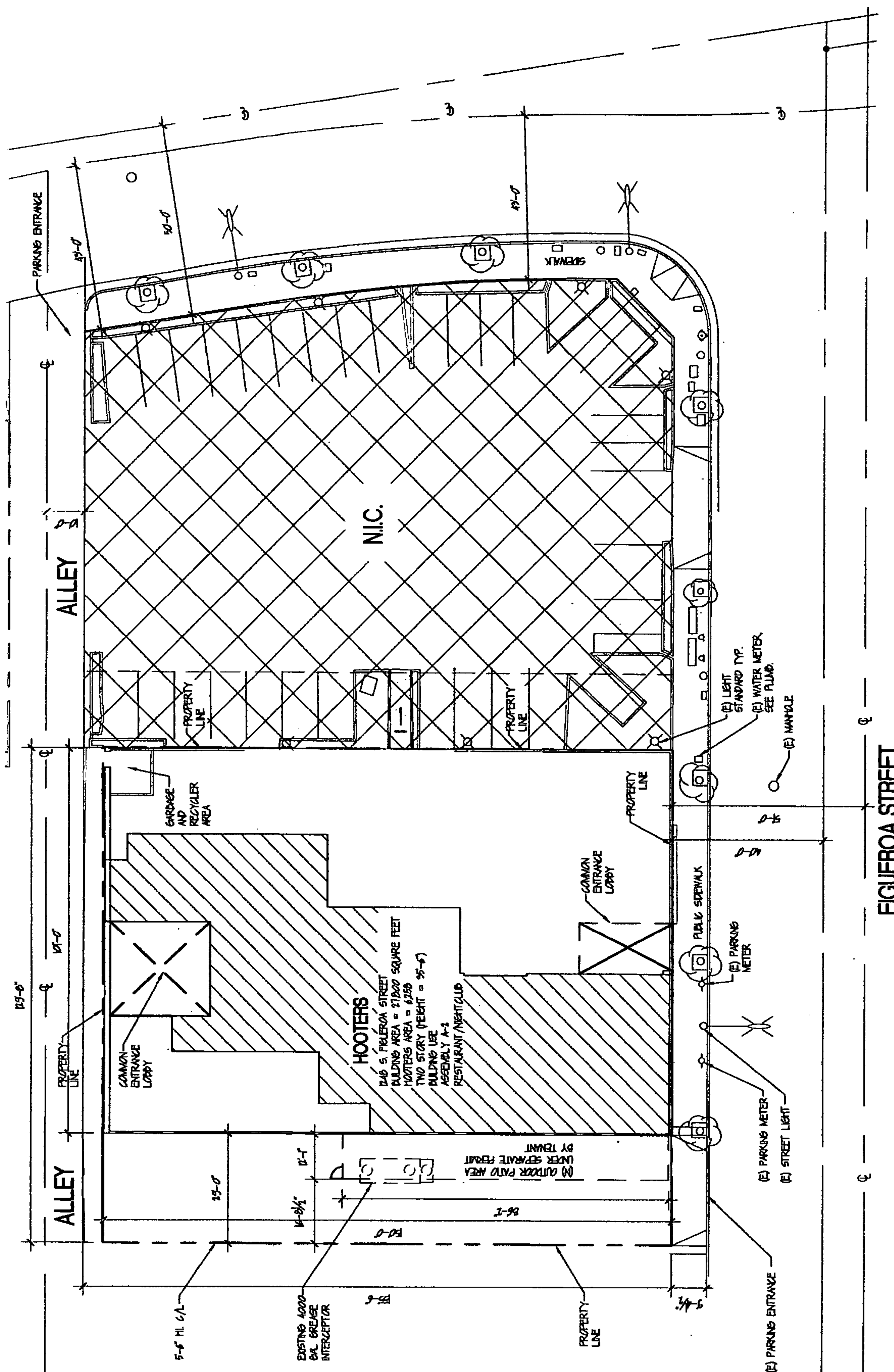
Commercial

Initiating Office: METRO

Plan Check

Printed on: 01/12/11 15:50:10

PLOT PLAN ATTACHMENT



FIGUEROA STREET

PLOT PLAN ATTACHMENT

COUNCIL DISTRICT: 9

INSPECTION DISTRICT: BIGIM3



Permit #:

10016 - 10001 - 22979

Plan Check #: B11LA05129

Printed: 06/24/11 12:27 PM

Event Code:

Bldg-Alter/Repair
Commercial
Plan Check at Counter
Plan Check

City of Los Angeles - Department of Building and Safety

**APPLICATION FOR BUILDING PERMIT
AND CERTIFICATE OF OCCUPANCY**

Last Status: Ready to Issue

Status Date: 06/08/2011

1. TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF #	PARCEL ID # (PIN #)	2. ASSESSOR PARCEL #
CARSON AND CURRIER'S		10		MR 55-3	126A205 19	5138 - 025 - 014

3. PARCEL INFORMATION

Area Planning Commission - Central
LADBS Branch Office - LA
Council District - 9
Certified Neighborhood Council - Downtown Los Angeles
Community Plan Area - Central City

Census Tract - 2079.00
District Map - 126A205
Energy Zone - 9
Fire District - 1 (Entire parcel)
Lot Cut Date - 04/02/1956

Lot Cut Date - 09/13/1941
Methane Hazard Site - Methane Zone
Near Source Zone Distance - 0
Parking Dist. - CCPD
Parking Dist. - DPD

ZONE(S): C2-4D-O /

4. DOCUMENTS

ZI - ZI-2374 Los Angeles State Enterpris	ORD - ORD-164307-SA3005	CPC - CPC-2005-1122-CA	CPC - CPC-2010-213-CA
ZI - ZI-2385 Greater Downtown Housing	ORD - ORD-73261	CPC - CPC-2005-1124-CA	CDBG - BID-South Park
ZA - ZA-2009-2992-CUB-CUX-CU	CRA - ZI 2316 CITY CENTER REDEV	CPC - CPC-2005-361-CA	CDBG - LARC-Los Angeles
PKLY - PKG-717	CPC - CPC-1986-606-GPC	CPC - CPC-2008-4502-GPA	CDBG - LARZ-Central City

5. CHECKLIST ITEMS**6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION**

Owner(s):

Downtown Live Llc

807 12th St STE 401

LOS ANGELES CA 90021

Tenant:

Applicant: (Relationship: Agent for Owner)

Robert Toro -

1000 Quail St Suite #260

NEWPORT BEACH 92660

(714) 904-2011

7. EXISTING USE

(17) Restaurant

PROPOSED USE

(17) Restaurant

8. DESCRIPTION OF WORK

SUPPLEMENTAL: STRUCTURAL DETAILS FOR THE PLATFORM. CREATE OPENING
AT NORTH WALL. GLASS GUARDRAIL.

LA Department of Building and Safety
LA 05 10 315765 06/24/11 12:37PM

9. # Bldgs on Site & Use:**10. APPLICATION PROCESSING INFORMATION**

BLDG. PC By:

DAS PC By:

OK for Cashier: Catherine Nuezca Gaba

Coord. OK:

Signature:

Date:

6/24/11

11. PROJECT VALUATION & FEE INFORMATION Final Fee Period

Permit Valuation: \$501

PC Valuation:

FINAL TOTAL Bldg-Alter/Repair	259.64
Permit Fee Subtotal Bldg-Alter/Rep	146.25
Handicapped Access	
Plan Check Subtotal Bldg-Alter/Rep	65.81
Fire Hydrant Refuse-To-Pay	
E.Q. Instrumentation	0.50
O.S. Surcharge	4.25
Sys. Surcharge	12.75
Planning Surcharge	12.72
Planning Surcharge Misc Fee	10.00
Planning Gen Plan Maint Surcharge	6.36
State Green Building Surcharge	1.00
Permit Issuing Fee	0.00

Sewer Cap ID:

Total Bond(s) Due:

12. ATTACHMENTS

Plot Plan

For inspection requests, call toll-free (888) LA4BUILD (524-2845).
Outside LA County, call (213) 482-0000 or request inspections via
www.ladbs.org. To speak to a Call Center agent, call 311 or
(866) 4LACITY (452-2489). Outside LA County, call (213) 473-3231.

For Cashier's Use Only
SYSTEMS DEVT FEE W/O #: 01622979
CITY PLANNING SURCH
MISCELLANEOUS
PLANNING GEN PLAN MAINT
STATE GREEN BUILDING SUR
BUILDING PLAN CHECK

P100161000122979FN

Total Due: \$259.64
Credit Card: \$259.64
144230

2011LA65314



* P 1 0 0 1 6 1 0 0 0 1 2 2 9 7 9 F N *

(P) NFPA-13 Fire Sprinklers Thru-out:
(P) A2 Occ. Group: 0 Sqft / 7247 Sqft
(P) A2 Occ. Load: +278 Max Occ. / 278 Max Occ.
(P) Type III-A Construction:

14. APPLICATION COMMENTS

* SEE CLEARANCE 10016-10000-22979. STRUCTURAL ENGINEER FOR THE DOOR OPENING UNDER NABIH YOUSSEF, S2026. ENGINEER FOR THE PLATFORM UNDER RICHARD W. HOROWITZ, RCE 3849. * LARR# GLASS RAIL 25118. * LATEST C OF O, 1987LA54642, 2-STORY, TYPE III, 100' x 150'. CHANGE OF USE FROM RETAIL TO AUTO DEALER.

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless, the information printed exceeds that required by Section 15825 of the Health and Safety Code of the State of California.

15. Building Relocated From:

16. CONTRACTOR, ARCHITECT, & ENGINEER NAME	ADDRESS	CLASS	LICENSE#	PHONE #
(A) Rosenlieb, James D	1035 Montecito Drive Suite 101,	Corona, CA 92879	C27733	951-817-3067
(C) Quest Construction Building Contractors	13337 South St #183,	Cerritos, CA 90703	B 792455	562-809-6369

PERMIT EXPIRATION/REFUNDS: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

17. LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. The following applies to B contractors only: I understand the limitations of Section 7057 of the Business and Professional Code related to my ability to take prime contracts or subcontracts involving specialty trades.

License Class: **B** Lic. No.: **792455** Contractor: **QUEST CONSTRUCTION BUILDING CONTRACTORS**

18. WORKERS' COMPENSATION DECLARATION

I hereby affirm, under penalty of perjury, one of the following declarations:

☐ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: **State Comp. Ins. Fund** Policy Number: **1773954**

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at www.aqmd.gov. Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or www.dhs.ca.gov/childlead.

20. CONSTRUCTION LENDING AGENCY DECLARATION

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civil Code).
Lender's name (if any): _____ Lender's address: _____

21. FINAL DECLARATION

I certify that I have read this application INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

By signing below, I certify that:

- (1) I accept all the declarations above namely the Licensed Contractor's Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, Construction Lending Agency Declaration and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

Print Name: **STEWART JENSEN** Sign:  Date: **6-27-11** ☒ Contractor ☐ Authorized Agent

Bldg-Alter/Repair

Commercial

Plan Check

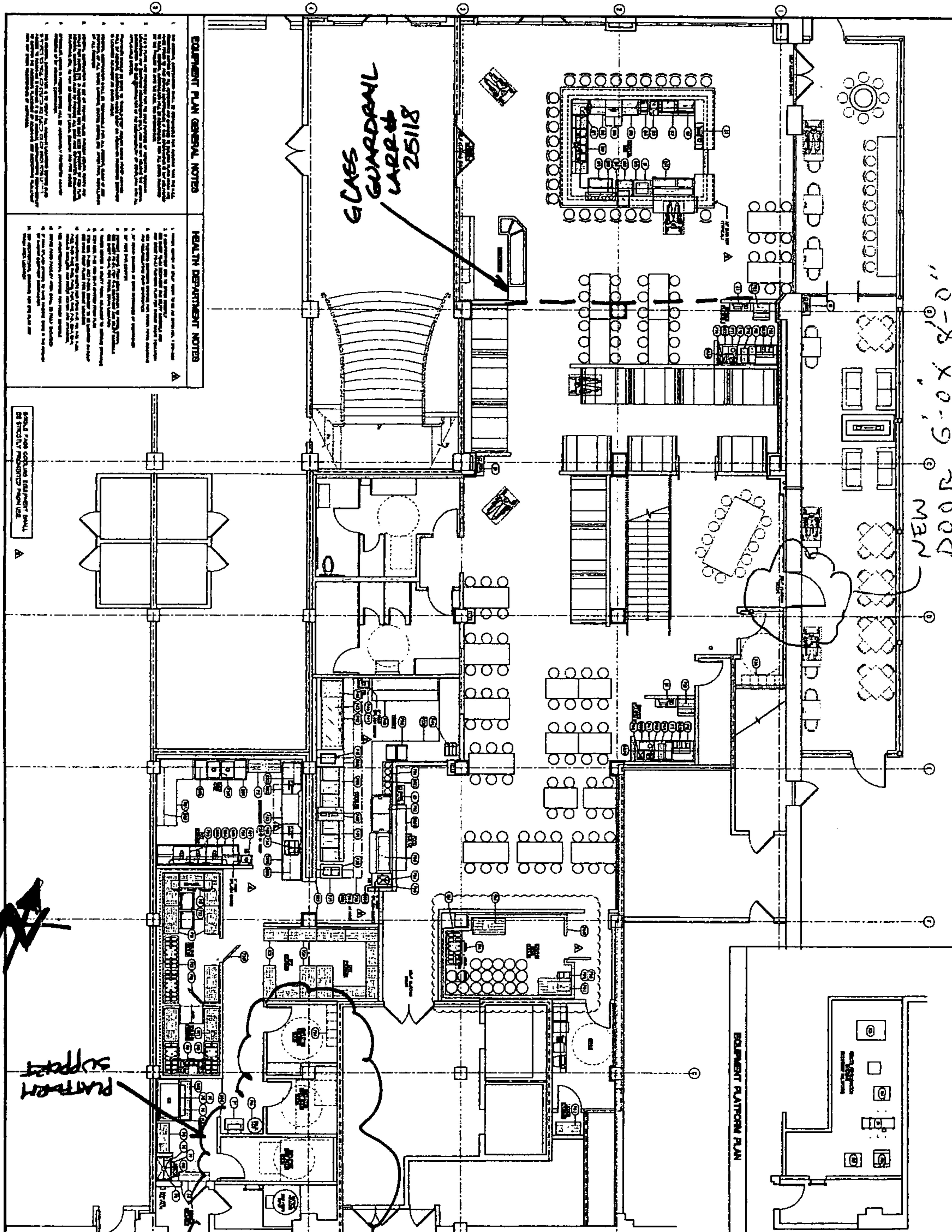
City of Los Angeles - Department of Building and Safety

Plan Check #: B11LA05129

Initiating Office: METRO

Printed on: 06/08/11 14:14:30

PLOT PLAN ATTACHMENT



(DO NOT DRAW, WRITE, OR PASTE ATTACHMENTS OUTSIDE BORDER)

Platform Support

GLAES
GUARDRAIL
/ LARR# 25118

NEW 6' X 8' DOOR

EQUIPMENT PLATFORM PLANS

HOOTERS LA
1248 S. FIGUEROA ST.
LOS ANGELES, CA 90015

FB-1.1

**TimMark
Raynal**
Executive Director, Regional and District
2715 WHITE ROAD
PORTLAND, OREGON 97205
TEL: 403-974-1083
FAX: 403-974-7798
E-MAIL: timmark@timmark.org

1248 S Figueroa St # 100



Permit #: 10016 - 10002 - 22979
Plan Check #: B1 1LA10332 Printed: 10/06/11 01:44 PM
Event Code:

Bldg-Alter/Repair Commercial Plan Check at Counter Plan Check	City of Los Angeles - Department of Building and Safety APPLICATION FOR BUILDING PERMIT AND CERTIFICATE OF OCCUPANCY	Last Status: Ready to Issue Status Date: 10/06/2011
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1. TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF #	PARCEL ID # (PIN #)	2. ASSESSOR PARCEL #
CARSON AND CURRIER'S SI		10		M R 55-3	126A205 19	5138 - 025 - 014

3. PARCEL INFORMATION		
Area Planning Commission - Central	Census Tract - 2079.00	Lot Cut Date - 09/13/1941
LADBS Branch Office - LA	District Map - 126A205	Methane Hazard Site - Methane Zone
Council District - 9	Energy Zone - 9	Near Source Zone Distance - 0
Certified Neighborhood Council - Downtown Los Angeles	Fire District - 1 (Entire parcel)	Parking Dist. - CCPD
Community Plan Area - Central City	Lot Cut Date - 04/02/1956	Parking Dist. - DPD

ZONES(S): C2-4D-O

4. DOCUMENTS			
ZI - ZI-2374 Los Angeles State Enterpris	ORD - ORD-164307-SA3005	CPC - CPC-2005-1122-CA	CPC - CPC-2010-213-CA
ZI - ZI-2385 Greater Downtown Housing	ORD - ORD-73261	CPC - CPC-2005-1124-CA	CDBG - BID-South Park
ZA - ZA-2009-2992-CUB-CUX-CU	CRA - ZI 2316 CITY CENTER REDEV	CPC - CPC-2005-361-CA	CDBG - LARC-Los Angeles
PKLY - PKG-717	CPC - CPC-1986-606-GPC	CPC - CPC-2008-4502-GPA	CDBG - LARZ-Central City

5. CHECKLIST ITEMS

6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION			
Owner(s): Downtown Live Llc	807 12th St STE 401	LOS ANGELES CA 90021	
Tenant:			
Applicant: (Relationship: Agent for Owner) Robert Toro -	1000 Quail St Suite #260	NEWPORT BEACH 92660	(714) 904-2011

7. EXISTING USE (17) Restaurant	PROPOSED USE (17) Restaurant (23) Broadcasting Studio	8. DESCRIPTION OF WORK SUPPLEMENTAL TO 10016-10000-22979: CREATE A BROADCASTING BOOTH [NOT TO BE USED FOR DANCE/NIGHT CLUB AT RESTAURANT] LA Department of Building and Safety LA 01 47 292533 10/06/11 01:47PM
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9. # Bldgs on Site & Use:		
10. APPLICATION PROCESSING INFORMATION		
BLDG. PC By: Catherine Nuezca Gaba OK for Cashier: Catherine Nuezca Gaba Signature: <i>Catherine Nuezca Gaba</i> Date: 11/10/11	DAS PC By: Coord. OK:	For inspection requests, call toll-free (888) LA4BUILD (524-2845). Outside LA County, call (213) 473-3231 or request inspections via www.ladbs.org. To speak to a Call Center agent, call 311 or (866) 4LACITY (473-3231). Outside LA County, call (213) 473-3231. CITY PLANNING SURCH PLANNING GEN PLAN MAINT STATE GREEN BUILDING SUR BUILDING PLAN CHECK BUILDING PLAN CHECK P100161000222979FN Total Due: \$230.45 Check: \$230.45 2011LA69370

11. PROJECT VALUATION & FEE INFORMATION	Final Fee Period
Permit Valuation: \$10,000	PC Valuation:
FINAL TOTAL Bldg-Alter/Repair	230.45
Permit Fee Subtotal Bldg-Alter/Re	185.63
Handicapped Access	
Plan Check Subtotal Bldg-Alter/R	0.00
Fire Hydrant Refuse-To-Pay	
E.Q. Instrumentation	2.10
O.S. Surcharge	3.75
Sys. Surcharge	11.26
Planning Surcharge	11.14
Planning Surcharge Misc Fee	10.00
Planning Gen Plan Maint Surchar	5.57
State Green Building Surcharge	1.00
Permit Issuing Fee	0.00
Sewer Cap ID:	Total Bond(s) Due:

12. ATTACHMENTS
Plot Plan

For inspection requests, call toll-free (888) LA4BUILD (524-2845).
Outside LA County, call (213) 473-3231 or request inspections via
www.ladbs.org. To speak to a Call Center agent, call 311 or
(866) 4LACITY (473-3231). Outside LA County, call (213) 473-3231.
CITY PLANNING SURCH
PLANNING GEN PLAN MAINT
STATE GREEN BUILDING SUR
BUILDING PLAN CHECK
BUILDING PLAN CHECK
P100161000222979FN
Total Due: \$230.45
Check: \$230.45
2011LA69370

* P 1 0 0 1 6 1 0 0 0 2 2 2 9 7 9 F N

13. STRUCTURE INVENTORY (Note: Numeric measurement data in the format "number / number" implies "change in numeric value / total resulting numeric value")**10016 - 10002 - 22979**

(P) Height (BC): 0 Feet / Feet
(P) Height (ZC): 0 Feet / Feet
(P) Length: 0 Feet / Feet
(P) Mezzanine: 0 Levels / 1 Levels
(P) Stories: 0 Stories / Stories
(P) Width: 0 Feet / Feet
(P) NFPA-13 Fire Sprinklers Thru-out
(P) Concentric Braced Frame
(P) Methane Site Design Exempt
(P) A2 Occ. Group: -400 Sqft / Sqft

(P) B Occ. Group: +400 Sqft / Sqft
(P) Type V-A Construction

14. APPLICATION COMMENTS:

* NOTE THAT THE RESTAURANT HAS NOT BEEN APPROVED FOR DANCE/NIGHT CLUB. THIS BOOTH IS TO BE USED FOR RADIO BROADCASTING ONLY AND NOT TO BE USED FOR THE RESTAURANT AS DANCE/NIGHT CLUB.

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless the information printed exceeds that required by section 19825 of the Health and Safety Code of the State of California.

15. BUILDING RELOCATED FROM:**16. CONTRACTOR, ARCHITECT & ENGINEER NAME**

	ADDRESS		CLASS	LICENSE #	PHONE #
(A) Rosenlieb, James D	1035 Montecito Drive Suite 101,	Corona, CA 92879		C27733	(951) 817-3067
(C) Quest Construction Building Contractors	13337 South St #183,	Cerritos, CA 90703	B	792455	(562) 809-6369

PERMIT EXPIRATION/REFUNDS: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADES (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

17. LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. The following applies to B contractors only: I understand the limitations of Section 7057 of the Business and Professional Code related to my ability to take prime contracts or subcontracts involving specialty trades.

License Class: **B** License No.: **792455** Contractor: **QUEST CONSTRUCTION BUILDING CONTRACTORS**

18. WORKERS' COMPENSATION DECLARATION

I hereby affirm, under penalty of perjury, one of the following declarations:

- ☐ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- ☒ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: **State Comp. Ins. Fund**

Policy Number: **1773954**

- ☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at www.aqmd.gov. Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or www.dhs.ca.gov/childlead.

20. CONSTRUCTION LENDING AGENCY DECLARATION

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civil Code).

Lender's Name (If Any): _____ Lender's Address: _____

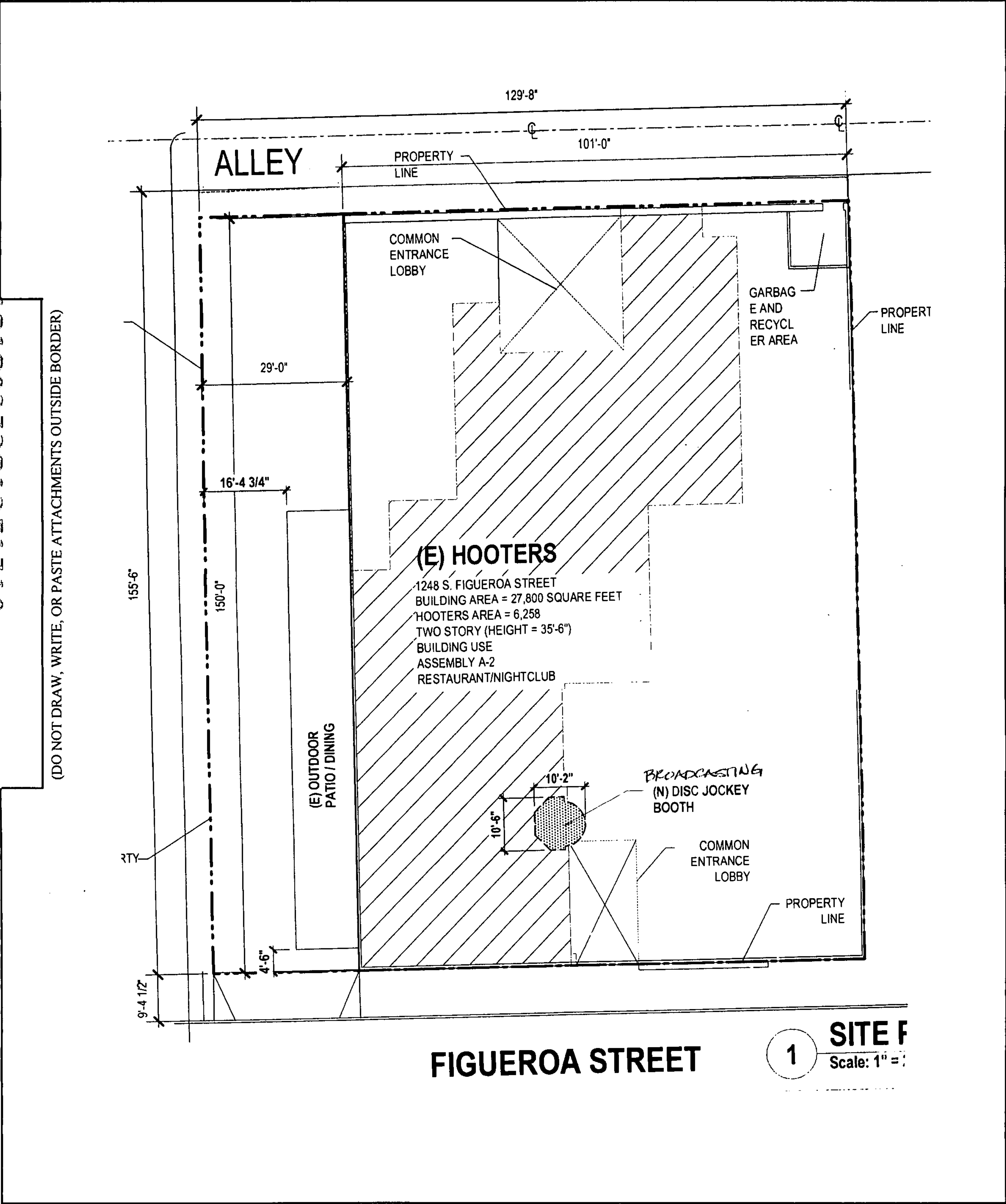
21. FINAL DECLARATION

I certify that I have read this application INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

By signing below, I certify that:

- (1) I accept all the declarations above namely the Licensed Contractor's Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, Construction Lending Agency Declaration, and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

Print Name: **STEWART JUNGSEN** Sign:  Date: **4-10-11** ☒ Contractor ☐ Authorized Agent



1248 S Figueroa St #101



Permit #:

11014 - 10000 - 00631

Plan Check #: B11LA02009

Printed: 04/14/11 03:42 PM

Event Code:

Bldg-Addition **GREEN - MANDATORY** City of Los Angeles - Department of Building and Safety

Commercial

Regular Plan Check

Plan Check

APPLICATION FOR BUILDING PERMIT AND CERTIFICATE OF OCCUPANCY

Last Status: Ready to Issue

Status Date: 04/14/2011

1. TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF #	PARCEL ID # (PIN #)	2. ASSESSOR PARCEL #
CARSON AND CURRIER'S		10		M R 55-3	126A205 19	5138 - 025 - 014

3. PARCEL INFORMATION

Area Planning Commission - Central
LADBS Branch Office - LA

Council District - 9

Certified Neighborhood Council - Downtown Los Angeles

Community Plan Area - Central City

Census Tract - 2079.00

District Map - 126A205

Energy Zone - 9

Fire District - 1 (Entire parcel)

Lot Cut Date - 04/02/1956

Lot Cut Date - 09/13/1941

Methane Hazard Site - Methane Zone

Near Source Zone Distance - 0

Parking Dist. - CCPD

Parking Dist. - DPD

ZONE(S): C2-4D-O /

4. DOCUMENTS

ZI - ZI-2374 Los Angeles State Enterpris ORD - ORD-164307-SA3005

ZI - ZI-2385 Greater Downtown Housing ORD - ORD-73261

ZA - ZA-2009-2992-CUB-CUX-CU

PKLY - PKG-717

CRA - ZI 2316 CITY CENTER REDEV

CPC - CPC-1986-606-GPC

CPC - CPC-2005-1122-CA

CPC - CPC-2005-1124-CA

CPC - CPC-2005-361-CA

CPC - CPC-2008-4502-GPA

CPC - CPC-2010-213-CA

CDBG - BID-South Park

CDBG - LARC-Los Angeles

CDBG - LARZ-Central City

5. CHECKLIST ITEMS

Special Inspect - Epoxy Injection

Special Inspect - Field Welding

Special Inspect - Fire Proofing

Special Inspect - Structural Observation

Fabricator Reqd - Shop Welds

Fabricator Reqd - Structural Steel

Storm Water - SUSMP-Not Req'd

Std. Work Descr - Seismic Gas Shut Off Valve

6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION

Owner(s):

Downtown Live Llc

807 12th St STE 401

LOS ANGELES CA 90021

Tenant:

Applicant: (Relationship: Architect)

Vladimir Elmanovich -

16987 Encino Hills Dr

ENCINO, CA 91436

(818) 632-8322

7. EXISTING USE

(17) Restaurant

PROPOSED USE

8. DESCRIPTION OF WORK

Change of Use from retail to restaurant and TI of new restaurant, add structurally independent 15'9"x8'9" mezzanine for the employee lounge. No change of required number of parking spaces.

9. # Bldgs on Site & Use:

10. APPLICATION PROCESSING INFORMATION

BLDG PC By: Tien Jen Wang

OK for Cashier: Tien Jen Wang

Signature:

DAS PC By: Norlito Medrano

Coord. OK:

Date: 04/14/11

For inspection requests, call toll-free (888) LA4BUILD (524-2845).

Outside LA County, call (213) 482-0000 or request inspections via

www.ladbs.org. To speak to a Call Center agent, call 311 or

(866) 4LACITY (452-2489). Outside LA County, call (213) 473-3231.

For Cashier's Use Only W/O #: 11400631

11. PROJECT VALUATION & FEE INFORMATION Final Fee Period

Permit Valuation: \$564,000

PC Valuation: \$0

FINAL TOTAL Bldg-Addition	3,913.19	Planning Gen Plan Maint Surcharge	96.21
Permit Fee Subtotal Bldg-Addition	3,117.73	School District Commercial Area	0.00
Energy Surcharge		State Green Building Surcharge	23.00
Handicapped Access		Green Building	
Plan Check Subtotal Bldg-Addition	0.00	Permit Issuing Fee	27.00
Off-hour Plan Check	0.00		
Plan Maintenance	62.35		
Fire Hydrant Refuse-To-Pay			
E.Q. Instrumentation	118.44		
O.S. Surcharge	66.51		
Sys. Surcharge	199.53		
Planning Surcharge	192.42		
Planning Surcharge Misc Fee	10.00		

Sewer Cap ID:

Total Bond(s) Due:

12. ATTACHMENTS

Plot Plan



* P 1 1 0 1 4 1 0 0 0 0 0 0 6 3 1 F N *

13. STRUCTURE INVENTORY (Note: Numeric measurement data in the format "number / number" implies "change in numeric value / total resulting numeric value")

11014 - 10000 - 00631

(P) Floor Area (ZC): +139 Sqft / Sqft
(P) Height (ZC): 0 Feet / Feet
(P) Length: 0 Feet / Feet
(P) Mezzanine: +1 Levels / 1 Levels
(P) Stories: 0 Stories / Stories
(P) Width: 0 Feet / Feet
(P) NFPA-13 Fire Sprinklers Thru-out
(P) Concentric Braced Frame
(P) Methane Site Design Exempt
(P) A2 Occ. Group: +4360 Sqft / Sqft
(P) B Occ. Group: +139 Sqft / Sqft
(P) M Occ. Group: -4360 Sqft / Sqft
(P) A2 Occ. Load: +191 Max Occ. / Max Occ.
(P) Parking Req'd for Bldg (Auto+Bicycle): 0 Stalls / Sts
(P) Parking Req'd for Site (Auto+Bicycle): 0 Stalls / Stal
(P) Type V-A Construction

14. APPLICATION COMMENTS

** Approved Seismic Gas Shut-Off Valve may be required. ** Change of Use permit to restaurant per 09016-10000-13298. // Division 88 completed in 1991 with shotcrete walls. No impact tool shall be used for the connections to the existing URM walls. // No methane mitigation system will be required for change of use and no on grade addition.

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless, the information printed exceeds that required by Section 19825 of the Health and Safety Code of the State of California.

15. Building Relocated From:

16. CONTRACTOR, ARCHITECT, & ENGINEER NAME ADDRESS

(E) Vladimir, Levin
(O) , Owner-Builder

CLASS LICENSE# PHONE #
C35001
0

PERMIT EXPIRATION/REFUNDS: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

17. OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the following reason (Section 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☐ I, as the owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business & Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year from completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

OR

☒ I, as the owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business & Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

18. WORKERS' COMPENSATION DECLARATION

I hereby affirm, under penalty of perjury, one of the following declarations:

☐ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: _____ Policy Number: _____

☒ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at www.aqmd.gov. Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or www.dhs.ca.gov/childlead.

20. FINAL DECLARATION

I certify that I have read this application INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

By signing below, I certify that:

- (1) I accept all the declarations above namely the Owner-Builder Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

Print Name:

Sign:

Date:

☐ Owner

☒ Authorized Agent

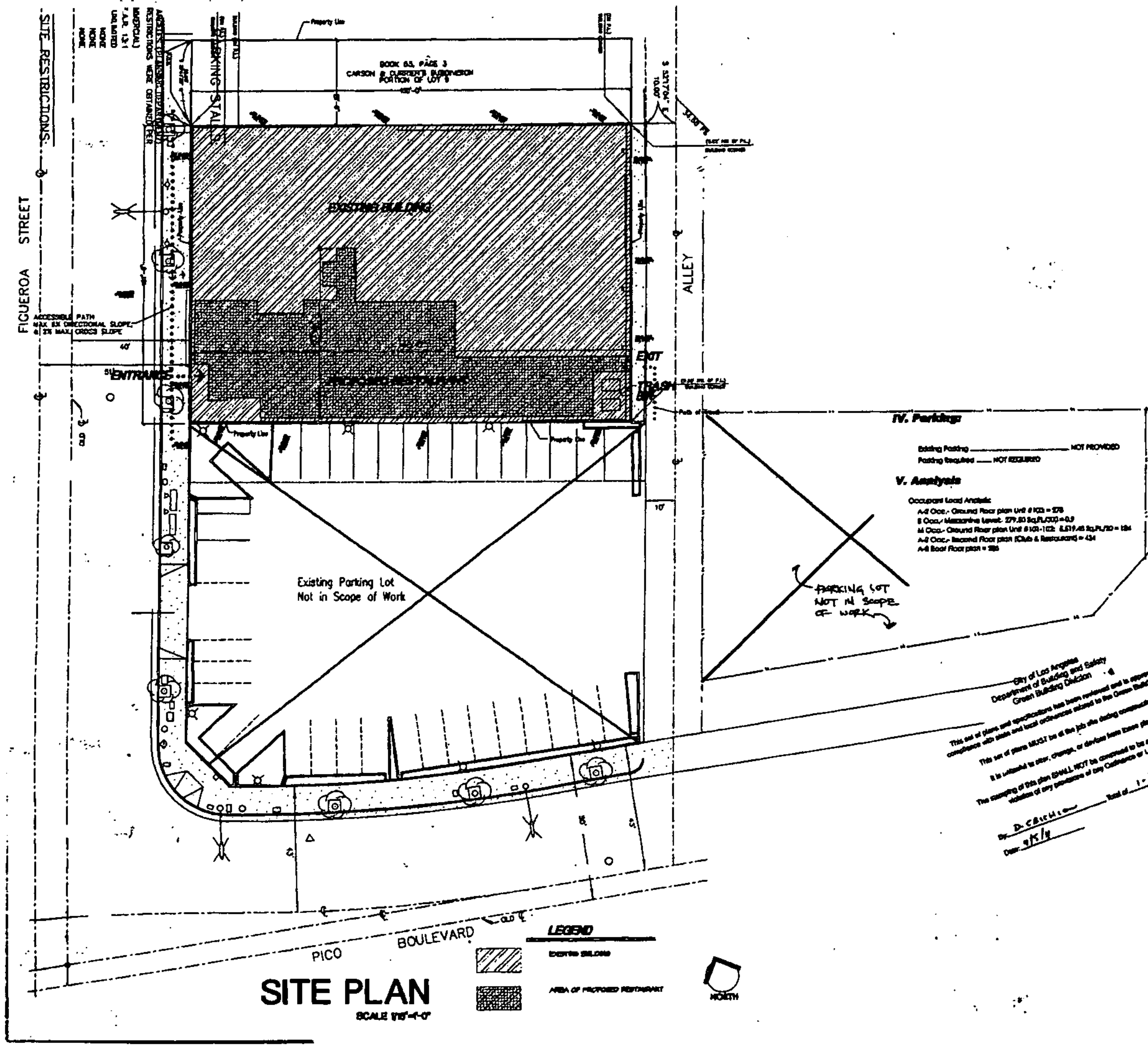
Bldg-Addition
Commercial
Plan Check

City of Los Angeles - Department of Building and Safety

Plan Check #: B11LA02009FO
Initiating Office: METRO
Printed on: 04/12/11 16:09:58

PLOT PLAN ATTACHMENT

(DO NOT DRAW, WRITE, OR PASTE ATTACHMENTS OUTSIDE BORDER)



IV. Parking
Building Parking _____ NOT PROVIDED
Parking Required _____ NOT REQUIRED

V. Analysis
Occupancy Load Analysis:
A-1 Occ. - Ground Floor plan Unit # 102 = 528
B Occ. - Mezzanine Level: 279.80 Sq.Ft./100 = 0.9
M Occ. - Ground Floor plan Unit # 101-103: 8,517.45 Sq.Ft./100 = 184
A-2 Occ. - Second Floor plan (Club & Restaurant) = 434
A-3 Floor Floor plan = 285

PARKING LOT NOT IN SCOPE OF WORK

City of Los Angeles
Department of Building and Safety
Green Building Division

This set of plans and specifications has been reviewed and is approved for compliance with state and local ordinances related to the Green Building Code.

This set of plans (MCC) is at the job site during construction.

It is unlawful to alter, change, or deviate from these plans.

The meaning of this plan SHALL NOT be construed to be approval or violation of any provision of any Ordinance or Law.

By: D. Calcutt Date: 9/5/11 Total of 1-2

1248 S Figueroa St #100



Permit #:

11020 - 10000 - 01115

Plan Check #: B11LA05613

Printed: 06/24/11 02:10 PM

Event Code:

Nonbldg-New
Commercial
Plan Check at Counter
Plan Check

City of Los Angeles - Department of Building and Safety
**APPLICATION FOR BUILDING PERMIT
AND CERTIFICATE OF OCCUPANCY**

Last Status: Ready to Issue

Status Date: 06/24/2011

1. TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF #	PARCEL ID # (PIN #)	2. ASSESSOR PARCEL #
CARSON AND CURRIER'S		9	2	M R 55-3	126A207 46	5138 - 025 - 016
CARSON AND CURRIER'S		9	1	M R 55-3	126A207 50	5138 - 025 - 014
CARSON AND CURRIER'S		10		M R 55-3	126A205 19	5138 - 025 - 014
CARSON AND CURRIER'S		11	1	M R 55-3	126A205 20	5138 - 025 - 014

3. PARCEL INFORMATION

Alley - 20' AT REAR.

Area Planning Commission - Central

LADBS Branch Office - LA

Council District - 9

Certified Neighborhood Council - Downtown Los Angeles

Community Plan Area - Central City

Census Tract - 2079.00

District Map - 126A205

Energy Zone - 9

Fire District - 1 (Entire parcel)

Lot Cut Date - 04/02/1956

Lot Cut Date - 09/13/1941

Lot Size - 100' X 150'

Lot Type - INTERIOR

Methane Hazard Site - Methane Zone

ZONE(S): C2-4D-O /

4. DOCUMENTS

ZI - ZI-2374 Los Angeles State Enterpris PKLY - PKG-717
ZI - ZI-2385 Greater Downtown Housing ORD - ORD-164307-SA3005
ZI - ZI-940 Central Bsn District Redevel ORD - ORD-73261
ZA - ZA-2009-2992-CUB-CUX-CU CRA - ZI 2316 CITY CENTER REDEV CPC - CPC-2005-1124-CA

CRA - ZI 940 CENTRAL BSN DIST
CPC - CPC-1986-606-GPC
CPC - CPC-2005-1122-CA
CPC - CPC-2005-1124-CA

CPC - CPC-2005-361-CA
CPC - CPC-2008-4502-GPA
CPC - CPC-2010-213-CA
CDBG - BID-South Park

5. CHECKLIST ITEMS

Special Inspect - Concrete > 2.5ksi
Special Inspect - Epoxy Injection

6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION

Owner(s):

1248 Figueroa Street Llc

807 12th St STE 401

LOS ANGELES CA 90021

Tenant:

Applicant: (Relationship: Agent for Owner)

- Dcc

4741 Laurel Canyon # 201

STUDIO CITY, CA 91607

(818) 755-9000

7. EXISTING USE**PROPOSED USE**

(23) Miscellaneous Bldg/Structure
(23) Fence Wall

8. DESCRIPTION OF WORK

6'-0" FENCE WALL ALONG OUTDOOR SEATING AREA and USE OF LAND FOR
OUTDOOR DINING AREA [12.5' x 87.5'] ACCESSORY FOR THE RESTAURANT
(11016-10000-22979)

9. # Bldgs on Site & Use: AUTO DEALER

10. APPLICATION PROCESSING INFORMATION

BLDG. PC By: Catherine Nuezca Gaba DAS PC By:

OK for Cashier: Alex Mendez

Coord. OK:

Signature:

Date:

6/24/11

11. PROJECT VALUATION & FEE INFORMATION Final Fee Period

Permit Valuation: \$25,000 PC Valuation:

FINAL TOTAL Nonbldg-New	402.78
Permit Fee Subtotal Nonbldg-New	320.00
Plan Check Subtotal Nonbldg-New	0.00
Plan Maintenance	10.00
Fire Hydrant Refuse-To-Pay	
E.Q. Instrumentation	5.25
O.S. Surcharge	6.71
Sys. Surcharge	20.12
Planning Surcharge	19.80
Planning Surcharge Misc Fee	10.00
Planning Gen Plan Maint Surcharge	9.90
State Green Building Surcharge	1.00
Permit Issuing Fee	0.00

Sewer Cap ID:

Total Bond(s) Due:

12. ATTACHMENTS

Plot Plan

BUILDING PERMIT COMM \$320.00
For inspection re-plan call (866) 4LACITY (524-2845) \$10.00
Outside LA County call (213) 473-3231 or request inspections via \$5.25
www.ladbs.org To speak to a Call Center agent, call 311 or \$6.71
(866) 4LACITY (524-2845) Outside LA County, call (213) 473-3231. \$20.12
For Cashier's **CITY PLANNING SURCH W/O #:** 1200111 \$19.80
MISCELLANEOUS \$10.00
PLANNING GEN PLAN MAINT \$9.90
STATE GREEN BUILDING SUR \$1.00
BUILDING PLAN CHECK \$0.00
BUILDING PLAN CHECK \$0.00

P110201000001115FN

Total Due: \$402.78

Credit Card: \$402.78

144279

2011LA65326



* P 1 1 0 2 0 1 0 0 0 0 0 1 1 1 5 F N *

(P) Length: +87.25 Feet / 87.25 Feet
(P) Width: +12.5 Feet / 12.5 Feet
(P) Misc. Occ. Group: +1090.25 Sqft / 1090.25 Sqft
(P) Parking Req'd for Site (Auto+Bicycle): 0 Stalls / Stal

14. APPLICATION COMMENTS

* PARKING IS PROVIDED OFF-SITE AT 1200 FIGUEROA PER PKG 717. NOTHING ON RECORDS SHOWS ANY PARKING BEING PROVIDED ON-SITE.

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless, the information printed exceeds that required by Section 19825 of the Health and Safety Code of the State of California.

15. Building Relocated From:

16. CONTRACTOR, ARCHITECT, & ENGINEER NAME	ADDRESS	CLASS	LICENSE#	PHONE #
(A) Khorramian, Abdy	4741 Laurel Canyon Rd #202,			818-508-0817
(C) Quest Construction Building Contractors	13337 South St #183,	B	792455	
(E) Youssef, Nabih Fouad Guirg	800 Wilshire Blvd Ste 510, Nabih Yous: Los Angeles, CA 90017		S2026	

PERMIT EXPIRATION/REFUNDS: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

17. LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. The following applies to B contractors only: I understand the limitations of Section 7057 of the Business and Professional Code related to my ability to take prime contracts or subcontracts involving specialty trades.

License Class: **B** Lic. No.: **792455** Contractor: **QUEST CONSTRUCTION BUILDING CONTRACTORS**

18. WORKERS' COMPENSATION DECLARATION

I hereby affirm, under penalty of perjury, one of the following declarations:

☐ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: **State Comp. Ins. Fund** Policy Number: **1773954**

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at www.aqmd.gov. Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or www.dhs.ca.gov/childlead.

20. CONSTRUCTION LENDING AGENCY DECLARATION

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civil Code).

Lender's name (if any): _____ Lender's address: _____

21. FINAL DECLARATION

I certify that I have read this application INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

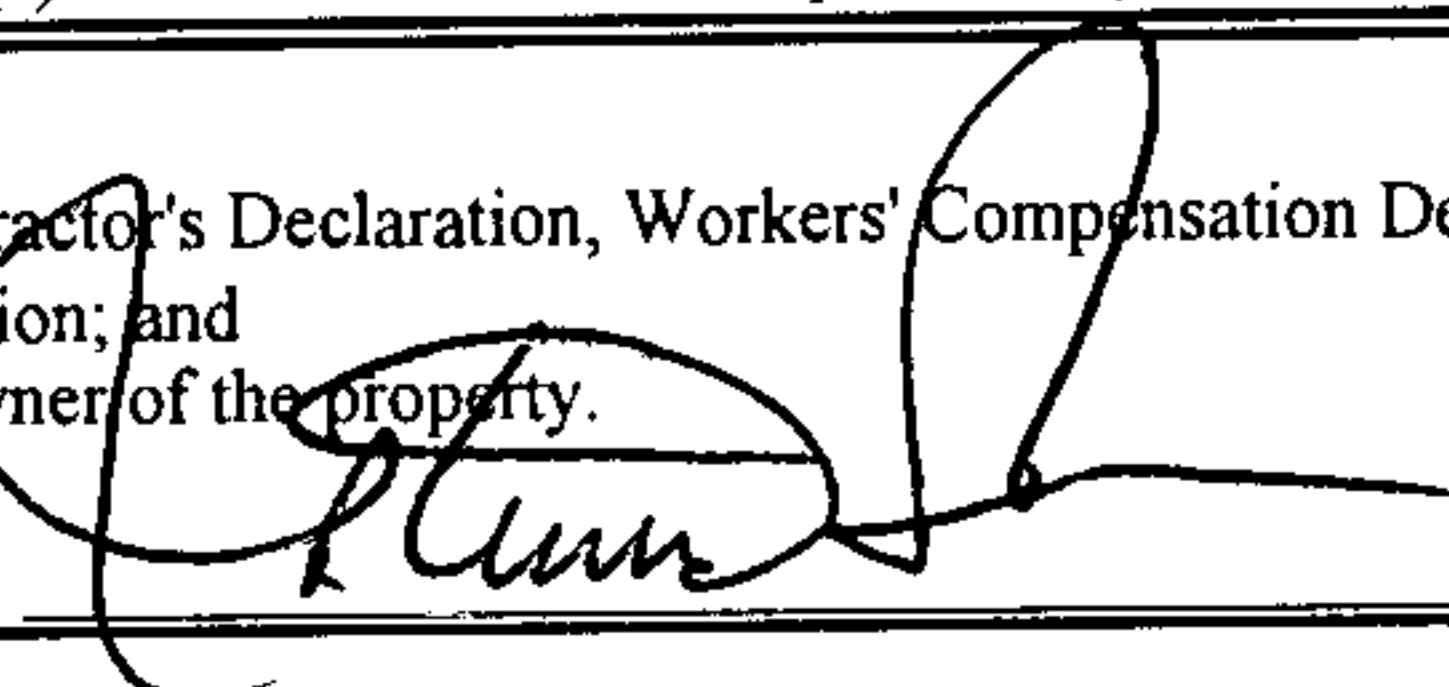
By signing below, I certify that:

- (1) I accept all the declarations above namely the Licensed Contractor's Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, Construction Lending Agency Declaration and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

Print Name:

Stewart Tinsori

Sign:



Date:

4-24-11☒ Contractor☐ Authorized Agent

Nonbldg-New
Commercial
Plan Check

City of Los Angeles - Department of Building and Safety

Plan Check #: B11LA05613

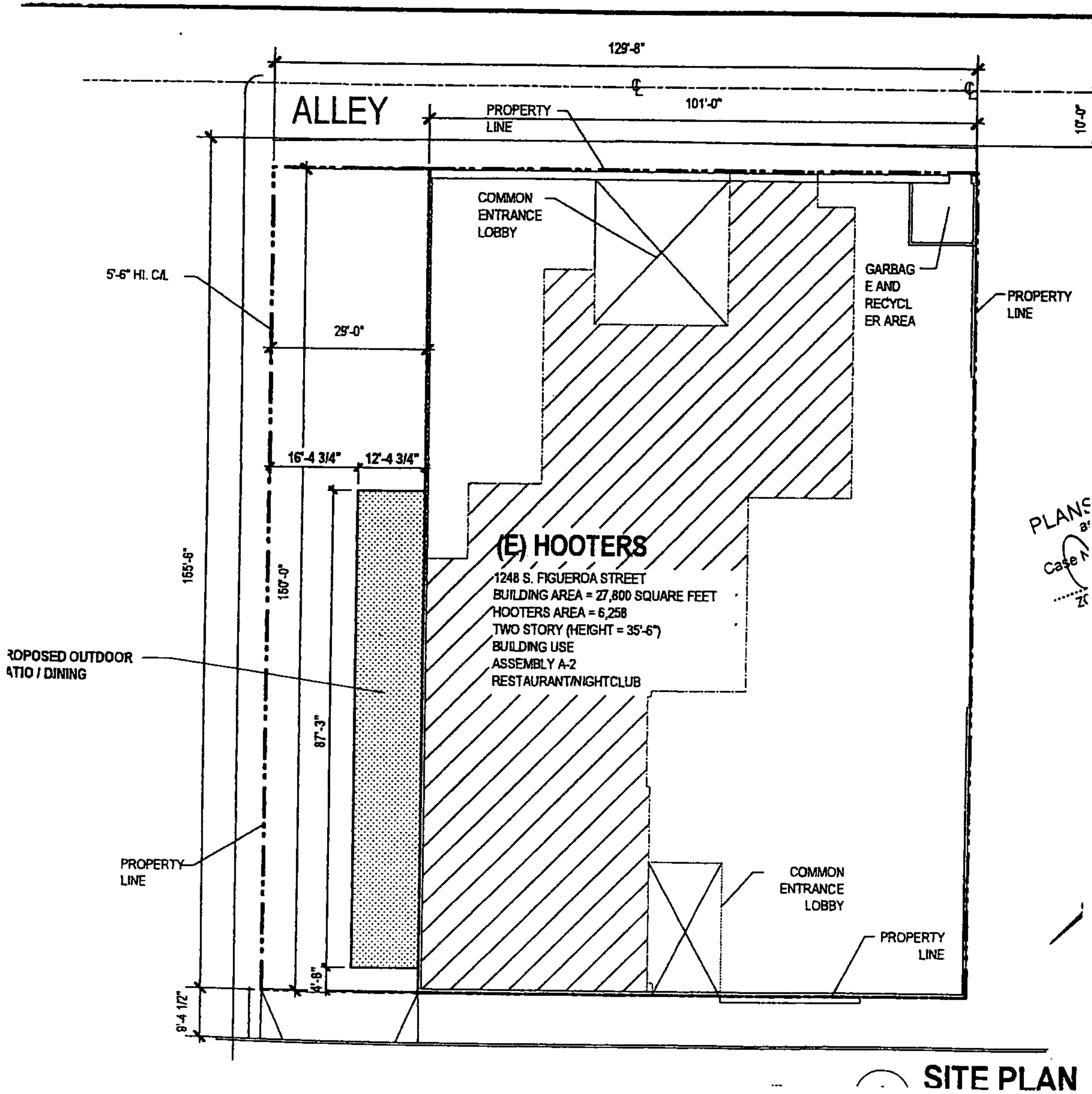
Initiating Office: METRO

Printed on: 06/23/11 13:51:42

PLOT PLAN ATTACHMENT

1248 S FIGUEROA ST #100

(DO NOT DRAW, WRITE, OR PASTE ATTACHMENTS OUTSIDE BORDER)



SITE PLAN

(P) # 324853: # of Faces: +1 Faces / 1 Faces
(P) # 324854: # of Faces: +1 Faces / 1 Faces
(P) # 324854: Height from Grade: +8 Feet / 8 Feet
(P) # 324853: Height from Grade: +14 Feet / 14 Feet
(P) # 324853: Illuminated Sign
(P) # 324854: Illuminated Sign
(P) # 324853: Sign Area: +40 Sqft / 40 Sqft
(P) # 324854: Sign Area: +40 Sqft / 40 Sqft
(P) # 324854: Sign Length: +10 Feet / 10 Feet
(P) # 324853: Sign Length: +10 Feet / 10 Feet
(P) # 324854: Sign Width: +4 Feet / 4 Feet
(P) # 324853: Sign Width: +4 Feet / 4 Feet
(P) # 324854: Street Frontage: 100 Feet
(P) # 324853: Street Frontage: 100 Feet

14. APPLICATION COMMENTS

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless, the information printed exceeds that required by Section 19825 of the Health and Safety Code of the State of California.

15. Building Relocated From:

16. CONTRACTOR, ARCHITECT, & ENGINEER NAME	ADDRESS	CLASS	LICENSE#	PHONE#
(C) Sam James Sai	8804 Hermosa Drive,	Temple City, CA 91780	C45 865983	(213) 680-2669

PERMIT EXPIRATION/REFUNDS: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

17. LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. The following applies to B contractors only: I understand the limitations of Section 7057 of the Business and Professional Code related to my ability to take prime contracts or subcontracts involving specialty trades.

License Class: **C45** Lic. No.: **865983** Contractor: **SAM JAMES SAI**

18. WORKERS' COMPENSATION DECLARATION

I hereby affirm, under penalty of perjury, one of the following declarations:

☐ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: _____ Policy Number: _____

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

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I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at www.aqmd.gov. Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or www.dhs.ca.gov/childlead.

20. CONSTRUCTION LENDING AGENCY DECLARATION

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civil Code).
Lender's name (if any): _____ Lender's address: _____

21. FINAL DECLARATION

I certify that I have read this application INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

By signing below, I certify that:

- (1) I accept all the declarations above namely the Licensed Contractor's Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, Construction Lending Agency Declaration and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

Print Name: _____ Sign: _____ Date: _____ ☐ Contractor ☐ Authorized Agent

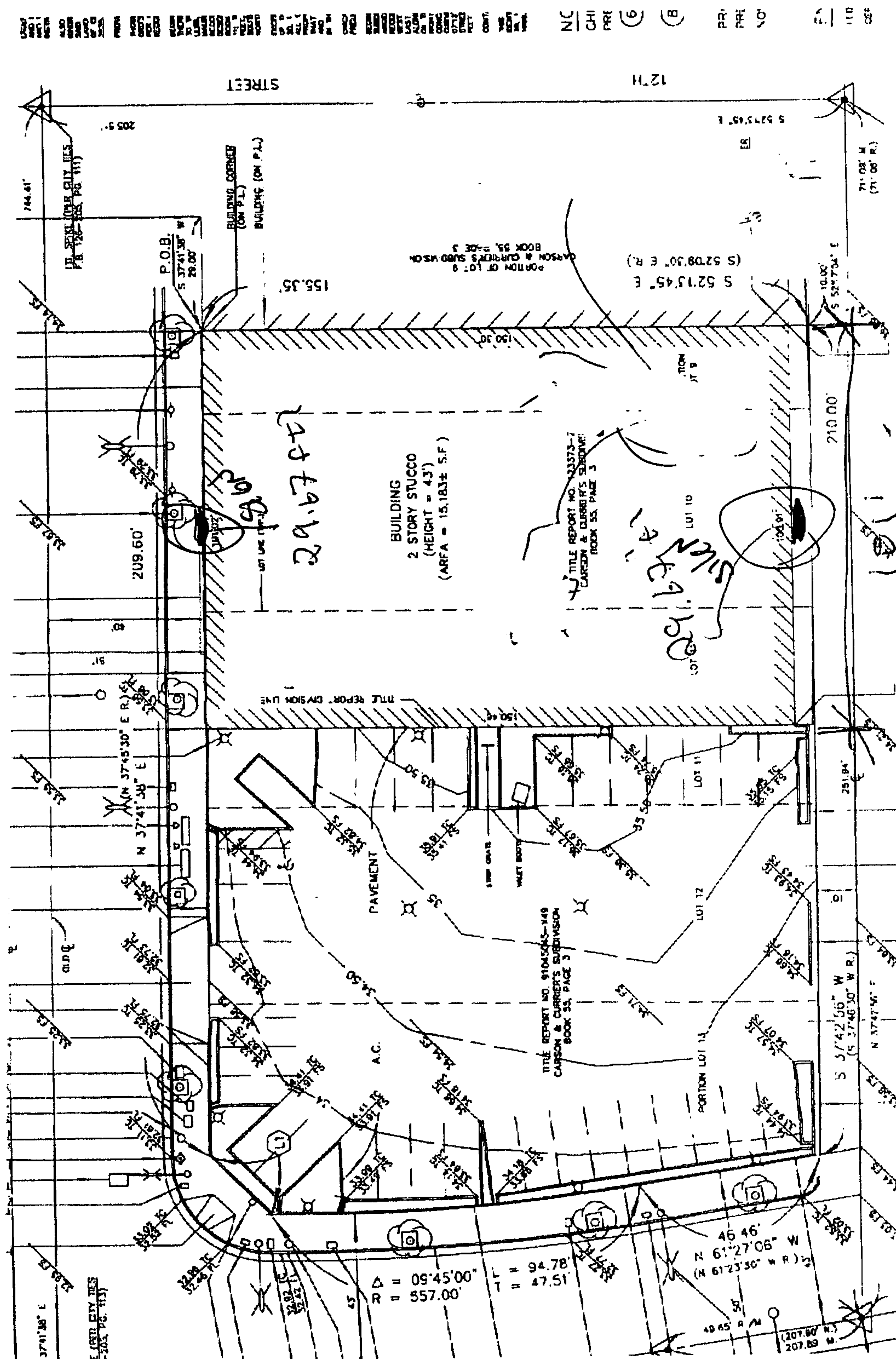
Sign
Onsite
Plan Check

Plan Check #: B11LA04019

Initiating Office: METRO

Printed on: 04/22/11 13:05:30

PLOT PLAN ATTACHMENT



THE UNIVERSITY OF CHICAGO

(DO NOT DRAW, WRITE, OR PASTE ATTACHMENTS OUTSIDE BORDER)

1248 S Figueroa St



Permit #:

11048 - 10000 - 00742

Plan Check #: B11LA04337

Printed: 04/28/11 03:34 PM

Event Code:

Sign
Onsite
Plan Check at Counter
Plan Check

City of Los Angeles - Department of Building and Safety

**APPLICATION FOR INSTALLATION
AND INSPECTION OF SIGNS**

Last Status: Ready to Issue

Status Date: 04/28/2011

1. TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF #	PARCEL ID # (PIN #)	2. ASSESSOR PARCEL #
CARSON AND CURRIER'S		9	1	M R 55-3	126A207 50	5138 - 025 - 014
CARSON AND CURRIER'S		10		M R 55-3	126A205 19	5138 - 025 - 014
CARSON AND CURRIER'S		11	1	M R 55-3	126A205 20	5138 - 025 - 014

3. PARCEL INFORMATION

Area Planning Commission - Central
LADBS Branch Office - LA
Council District - 9
Certified Neighborhood Council - Downtown Los Angeles
Community Plan Area - Central City

Census Tract - 2079.00
District Map - 126A205
Energy Zone - 9
Fire District - 1 (Entire parcel)
Lot Cut Date - 04/02/1956

Lot Cut Date - 09/13/1941
Methane Hazard Site - Methane Zone
Near Source Zone Distance - 0
Parking Dist. - CCPD
Parking Dist. - DPD

ZONE(S): C2-4D-O /

4. DOCUMENTS

ZI - ZI-2374 Los Angeles State Enterpris	ORD - ORD-164307-SA3005	CPC - CPC-2005-1122-CA	CPC - CPC-2010-213-CA
ZI - ZI-2385 Greater Downtown Housing	ORD - ORD-73261	CPC - CPC-2005-1124-CA	CDBG - BID-South Park
ZA - ZA-2009-2992-CUB-CUX-CU	CRA - ZI 2316 CITY CENTER REDEV	CPC - CPC-2005-361-CA	CDBG - LARC-Los Angeles
PKLY - PKG-717	CPC - CPC-1986-606-GPC	CPC - CPC-2008-4502-GPA	CDBG - LARZ-Central City

5. CHECKLIST ITEMS**6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION**

Owner(s):

Downtown Live Llc

807 12th St STE 401

LOS ANGELES CA 90021

Tenant:

Applicant: (Relationship: Agent for Contractor)

Sams Sign -

701 N Main St 101

LOS ANGELES 90012

(213) 680-2669

7. EXISTING USE**PROPOSED USE**

(19) Wall Sign

8. DESCRIPTION OF WORK

NEW 16.56 ft X 8 ft WALL SIGN 132.6 sq ft. SIGN WILL READ "ICON la ultra lounge"

9. # Bldgs on Site & Use:**10. APPLICATION PROCESSING INFORMATION**

BLDG. PC By: James Detchmندی

DAS PC By:

OK for Cashier: Salvador Quintanilla

Coord. OK:

Signature:

Date:

4-28-11

For inspection requests, call toll-free (888) LA4BUILD (524-2845).
Outside LA County, call (213) 482-0000 or request Inspections via
www.ladbs.org. To speak to a Call Center agent, call 311 or
(866) 4LACITY (452-2489). Outside LA County, call (213) 473-3231.

For Cashier's Use Only

W/O #: 14800742

11. PROJECT VALUATION & FEE INFORMATION Final Fee Period

Permit Valuation: \$7,500

PC Valuation:

FINAL TOTAL Sign	390.30
Permit Fee Subtotal Sign	262.50
Plan Check Subtotal Sign	0.00
Fire Hydrant Refuse-To-Pay	
E.Q. Instrumentation	1.58
O.S. Surcharge	6.54
Sys. Surcharge	19.62
Planning Surcharge	17.37
Planning Surcharge Misc Fee	10.00
Planning Gen Plan Maint Surcharge	8.69
State Green Building Surcharge	1.00
Permit Issuing Fee	27.00
Signs or Gas Tube Systems Fee	36.00

Sewer Cap ID:

Total Bond(s) Due:

12. ATTACHMENTS

Plot Plan

C & Q



* P 1 1 0 4 8 1 0 0 0 0 0 0 7 4 2 F N *

(P) # 324855: # of Faces: +1 Faces / Faces
(P) # 324855: Height from Grade: +35 Feet / Feet
(P) # 324855: Illuminated Sign
(P) # 324855: Sign Area: +132 Sqft / Sqf:
(P) # 324855: Sign Length: +16.58 Feet / Feet
(P) # 324855: Sign Width: +8 Feet / Feet

14. APPLICATION COMMENTS

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless, the information printed exceeds that required by Section 19825 of the Health and Safety Code of the State of California.

15. Building Relocated From:

16. CONTRACTOR, ARCHITECT, & ENGINEER NAME ADDRESS

(C) Sam James Sai

8804 Hermosa Drive,

Temple City, CA 91780

CLASS LICENSE#

C45 865983

PHONE

PERMIT EXPIRATION/REFUND: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

17. LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. The following applies to B contractors only: I understand the limitations of Section 7057 of the Business and Professional Code related to my ability to take prime contracts or subcontracts involving specialty trades.

License Class: C45 Lic. No.: 865983

Contractor: SAM JAMES SAI

18. WORKERS' COMPENSATION DECLARATION

I hereby affirm, under penalty of perjury, one of the following declarations:

☐ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: Policy Number:

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at www.aqmd.gov. Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or www.dhs.ca.gov/childlead.

20. CONSTRUCTION LENDING AGENCY DECLARATION

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civil Code).

Lender's name (if any): Lender's address:

21. FINAL DECLARATION

I certify that I have read this application INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

By signing below, I certify that:

- (1) I accept all the declarations above namely the Licensed Contractor's Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, Construction Lending Agency Declaration and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

Print Name:

Sign:

Date:

4/28/11

☐

Contractor

☒

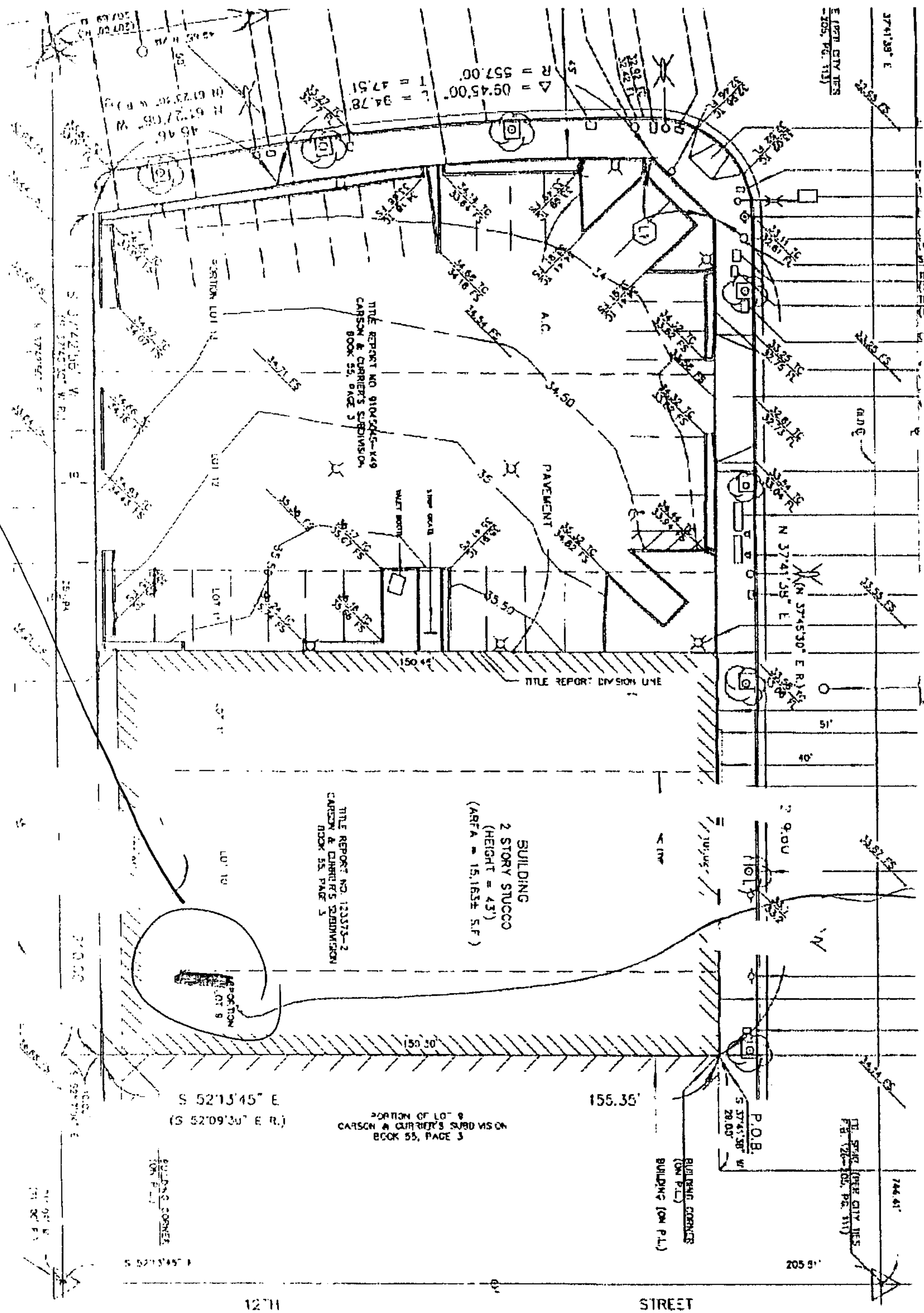
Authorized Agent

Sign
Onsite
Plan Check

City of Los Angeles - Department of Building and Safety

Plan Check #: B11LA04337
Initiating Office: METRO
Printed on: 04/27/11 13:52:29

PLOT PLAN ATTACHMENT



(DO NOT DRAW, WRITE, OR PASTE ATTACHMENTS OUTSIDE BORDER)

Propose Sign on 2nd Street wall.

SD

1248 S Figueroa St



Permit #:

11048 - 10000 - 00947

Plan Check #: B11LA05720

Printed: 06/29/11 12:51 PM

Event Code:

Sign
Onsite
Plan Check at Counter
Plan Check

City of Los Angeles - Department of Building and Safety

**APPLICATION FOR INSTALLATION
AND INSPECTION OF SIGNS**

Last Status: Ready to Issue

Status Date: 06/29/2011

1. TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF #	PARCEL ID # (PIN #)	2. ASSESSOR PARCEL #
CARSON AND CURRIER'S		10		M R 55-3	126A205 19	5138 - 025 - 014

3. PARCEL INFORMATION

Area Planning Commission - Central	Census Tract - 2079.00	Lot Cut Date - 09/13/1941
LADBS Branch Office - LA	District Map - 126A205	Methane Hazard Site - Methane Zone
Council District - 9	Energy Zone - 9	Near Source Zone Distance - 0
Certified Neighborhood Council - Downtown Los Angeles	Fire District - 1 (Entire parcel)	Parking Dist. - CCPD
Community Plan Area - Central City	Lot Cut Date - 04/02/1956	Parking Dist. - DPD

ZONE(S): C2-4D-O /

4. DOCUMENTS

ZI - ZI-2374 Los Angeles State Enterpris	ORD - ORD-164307-SA3005	CPC - CPC-2005-1122-CA	CPC - CPC-2010-213-CA
ZI - ZI-2385 Greater Downtown Housing	ORD - ORD-73261	CPC - CPC-2005-1124-CA	CDBG - BID-South Park
ZA - ZA-2009-2992-CUB-CUX-CU	CRA - ZI 2316 CITY CENTER REDEV	CPC - CPC-2005-361-CA	CDBG - LARC-Los Angeles
PKLY - PKG-717	CPC - CPC-1986-606-GPC	CPC - CPC-2008-4502-GPA	CDBG - LARZ-Central City

5. CHECKLIST ITEMS**6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION**

Owner(s): Downtown Live Llc	807 12th St STE 401	LOS ANGELES CA 90021
Tenant: Applicant: (Relationship: Owner) Edward Oncinae -	1248 S Figueroa St Ste 100	LOS ANGELES 90230 (760) 207-1518

7. EXISTING USE**PROPOSED USE**

(19) Wall Sign

8. DESCRIPTION OF WORK

INSTALL TWO WALL SIGN ON EXTERIOR WALL. [SIGN #A] 30" X 160"
ILLUMINATED CHANNEL LETTER SIGN, READ AS "HOOTERS". [SIGN #C] 129" X
24" ILLUMINATED CHANNEL LETTER SIGN, READ AS "HOOTERS".

9. # Bldgs on Site & Use:**10. APPLICATION PROCESSING INFORMATION**

BLDG. PC By: Salvador Quintanilla DAS PC By:
OK for Cashier: Sam Chang Coord. OK:
Signature: Date: 6/29/11

11. PROJECT VALUATION & FEE INFORMATION Final Fee Period

Permit Valuation: \$22,000

PC Valuation:

FINAL TOTAL Sign	1,040.28	Electrical Service Fee	12.00
Permit Fee Subtotal Sign	770.00	Control Devices Fee	24.00
Plan Check Subtotal Sign	0.00		
Fire Hydrant Refuse-To-Pay			
E.Q. Instrumentation	4.62		
O.S. Surcharge	17.73		
Sys. Surcharge	53.20		
Planning Surcharge	47.82		
Planning Surcharge Misc Fee	10.00		
Planning Gen Plan Maint Surcharge	23.91		
State Green Building Surcharge	1.00		
Permit Issuing Fee	27.00		
Signs or Gas Tube Systems Fee	49.00		

Sewer Cap ID:

Total Bond(s) Due:

12. ATTACHMENTS

Plot Plan

For inspection requests, call toll-free (888) LA4BUILD (524-2845).
Outside LA County, call (213) 482-0009 or request inspections via
www.ladbs.org. To speak to a Call Center agent, call 311 or
(866) 4LACITY (452-2489). Outside LA County, call (213) 473-3231.

For Cashier's Use Only: W/O #: 14800947

PLANNING GEN PLAN MAINT
STATE GREEN BUILDING SUR
BUILDING PLAN CHECK
ELECTRICAL PERMIT-COMM
BUILDING PERMIT COMM
BUILDING PERMIT COMM
BUILDING PLAN CHECK

P110481000000947FN

Total Due: 01,040.28
Credit Card: 01,040.28

115035

2011 LA 6531 E



* P 1 1 0 4 8 1 0 0 0 0 0 0 9 4 7 F N *

(P) # 326557: # of Faces: Faces (P) # 326557: Sign Width: Feet
(P) # 326556: # of Faces: Faces (P) # 326556: Sign Width: Feet
(P) # 326556: Height from Grade: Feet
(P) # 326557: Height from Grade: Feet
(P) # 326556: Illuminated Sign
(P) # 326557: Illuminated Sign
(P) # 326557: Sign Area: Sqft
(P) # 326556: Sign Area: Sqft
(P) # 326557: Sign Length: Feet
(P) # 326556: Sign Length: Feet

14. APPLICATION COMMENTS

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless, the information printed exceeds that required by Section 19825 of the Health and Safety Code of the State of California.

15. Building Relocated From:

16. CONTRACTOR, ARCHITECT, & ENGINEER NAME ADDRESS

(C) Encore Image Inc P O Box 9297, Ontario, CA 91762

CLASS LICENSE#

C45 947727

PHONE#

909-230-5577

PERMIT EXPIRATION/REFUNDS: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

17. LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. The following applies to B contractors only: I understand the limitations of Section 7057 of the Business and Professional Code related to my ability to take prime contracts or subcontracts involving specialty trades.

License Class: **C45** Lic. No. **947727** Contractor: **ENCORE IMAGE INC**

18. WORKERS' COMPENSATION DECLARATION

I hereby affirm, under penalty of perjury, one of the following declarations:

☐ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: **Ulico Cslty. Co.** Policy Number: **WCS11330201**

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at www.aqmd.gov. Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or www.dhs.ca.gov/childlead.

20. CONSTRUCTION LENDING AGENCY DECLARATION

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civil Code).

Lender's name (if any): Lender's address:

21. FINAL DECLARATION

I certify that I have read this application INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

By signing below, I certify that:

- (1) I accept all the declarations above namely the Licensed Contractor's Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, Construction Lending Agency Declaration and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

Print Name:

Roy Courtois

Sign:

[Signature]

Date:

☐

Contractor

☒

Authorized Agent

Sign
Onsite
Plan Check

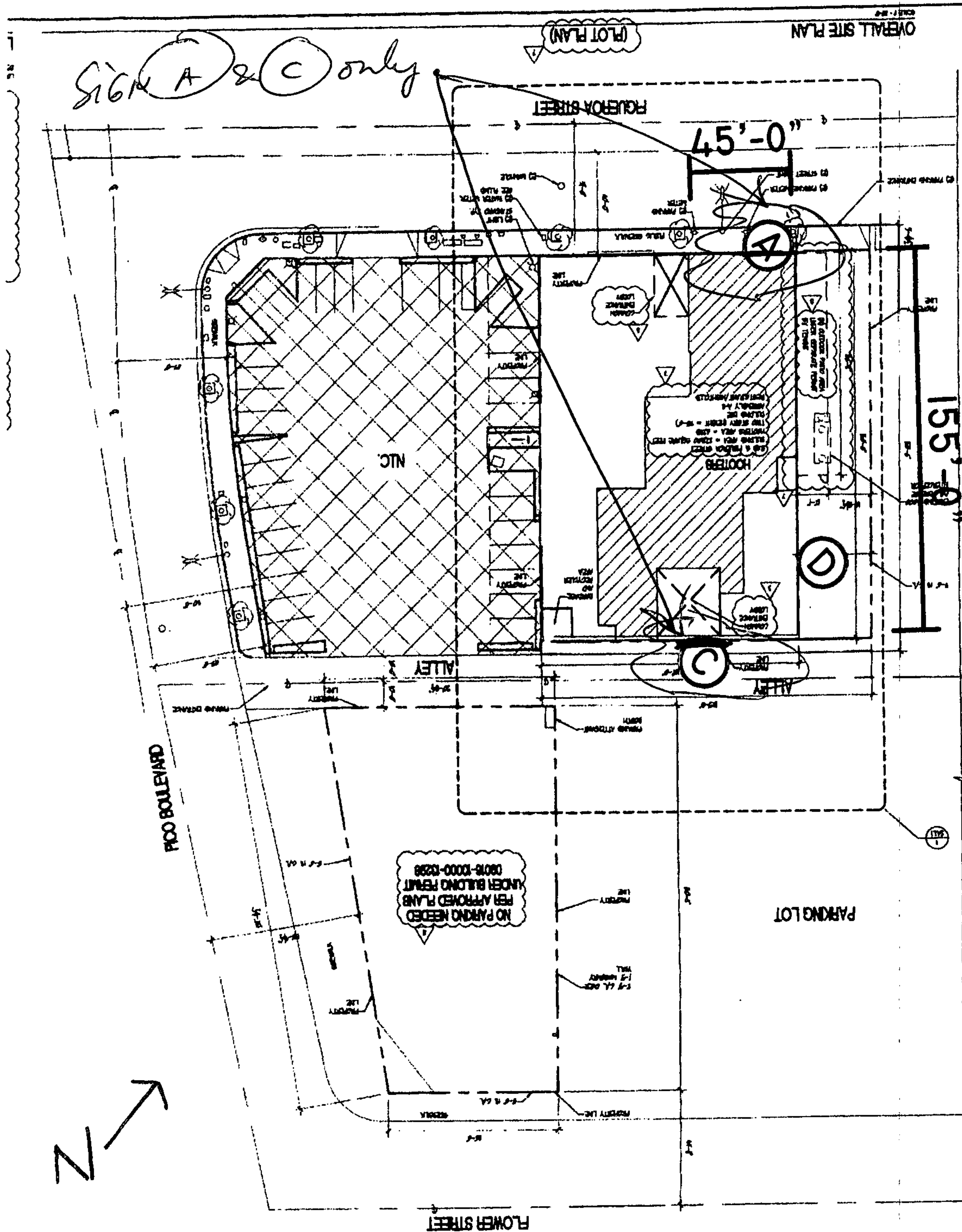
City of Los Angeles - Department of Building and Safety

Plan Check #: B1ILA05720

Initiating Office: METRO

Printed on: 05/27/11 16:37:49

PLOT PLAN ATTACHMENT



(DO NOT DRAW, WRITE, OR PASTE ATTACHMENTS OUTSIDE BORDER)

1248 S Figueroa St #100



Permit #:

11048 - 10000 - 01150

Plan Check #: B11LA06961

Printed: 07/15/11 09:22 AM

Event Code:

Sign
Onsite
Plan Check at Counter
Plan Check

City of Los Angeles - Department of Building and Safety

**APPLICATION FOR INSTALLATION
AND INSPECTION OF SIGNS**

Last Status: Ready to Issue

Status Date: 07/15/2011

1. TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF #	PARCEL ID # (PIN #)	2. ASSESSOR PARCEL #
CARSON AND CURRIER'S		10		M R 55-3	126A205 19	5138 - 025 - 014

3. PARCEL INFORMATION

Area Planning Commission - Central	Census Tract - 2079.00	Lot Cut Date - 09/13/1941
LADBS Branch Office - LA	District Map - 126A205	Methane Hazard Site - Methane Zone
Council District - 9	Energy Zone - 9	Near Source Zone Distance - 0
Certified Neighborhood Council - Downtown Los Angeles	Fire District - 1 (Entire parcel)	Parking Dist. - CCPD
Community Plan Area - Central City	Lot Cut Date - 04/02/1956	Parking Dist. - DPD

ZONE(S): C2-4D-O /

4. DOCUMENTS

ZI - ZI-2374 Los Angeles State Enterpris	ORD - ORD-164307-SA3005	CPC - CPC-2005-1122-CA	CPC - CPC-2010-213-CA
ZI - ZI-2385 Greater Downtown Housing	ORD - ORD-73261	CPC - CPC-2005-1124-CA	CDBG - BID-South Park
ZA - ZA-2009-2992-CUB-CUX-CU	CRA - ZI 2316 CITY CENTER REDEV	CPC - CPC-2005-361-CA	CDBG - LARC-Los Angeles
PKLY - PKG-717	CPC - CPC-1986-606-GPC	CPC - CPC-2008-4502-GPA	CDBG - LARZ-Central City

5. CHECKLIST ITEMS**6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION**

Owner(s):
Downtown Live Llc 807 12th St STE 401 LOS ANGELES CA 90021

Tenant:
- Hooters

Applicant: (Relationship: Owner)
Edward Encinas - 1248 S. Figueroa St LA, CA 90015 (760) 207-1518

7. EXISTING USE	PROPOSED USE
	(19) Wall Sign

8. DESCRIPTION OF WORK

INSTALL ONE NEW EXTERIOR CHANNEL LETTERS WALL SIGN " D " TO READ AS FOLLOWS: "HOOTERS" (4' X 21'-3"; (85 SF).

LA Department of Building and Safety
LA 06 41 205592 07/15/11 09:22AM**9. # Bldgs on Site & Use:****10. APPLICATION PROCESSING INFORMATION**

BLDG. PC By: Sai Khum DAS PC By:
OK for Cashier: Larry Lee Coord. OK:
Signature: *Larry Lee* Date: 7/15/11

11. PROJECT VALUATION & FEE INFORMATION Final Fee Period

Permit Valuation: \$12,000 PC Valuation:

FINAL TOTAL Sign	575.59
Permit Fee Subtotal Sign	420.00
Plan Check Subtotal Sign	0.00
Fire Hydrant Refuse-To-Pay	
E.Q. Instrumentation	2.52
O.S. Surcharge	9.71
Sys. Surcharge	29.13
Planning Surcharge	26.82
Planning Surcharge Misc Fee	10.00
Planning Gen Plan Maint Surcharge	13.41
State Green Building Surcharge	1.00
Permit Issuing Fee	27.00
Signs or Gas Tube Systems Fee	36.00

Sewer Cap ID: Total Bond(s) Due:

12. ATTACHMENTSPlot Plan *[Signature]*

For inspection requests, call toll-free (888) LA4BUILD (524-2845).

Outside LA County, call (213) 473-3231 or request inspections via

www.ladbs.org To speak with a Center agent, call 311 or

(866) 4LACITY (473-2439) Outside LA County, call (213) 473-3231.

For Cashier's Use Only

SYSTEMS DEVT FEE W/O #: 14801150

CITY PLANNING SURCH	\$26.82
MISCELLANEOUS	\$10.00
PLANNING GEN PLAN MAINT	\$13.41
STATE GREEN BUILDING SUR	\$1.00
BUILDING PLAN CHECK	\$27.00
ELECTRICAL PERMIT-COMM	\$36.00
BUILDING PLAN CHECK	\$0.00

P110481000001150FN

Total Due: \$575.59
Credit Card: \$575.59
147951

2011LA66032



* P 1 1 0 4 8 1 0 0 0 0 1 1 5 0 F N *

(P) # 328017: # of Faces: +1 Faces / 1 Faces
 (P) # 328017: Height from Grade: +25 Feet / 25 Feet
 (P) # 328017: Illuminated Sign
 (P) # 328017: Sign Area: +85 Sqft / 85 Sqft
 (P) # 328017: Sign Length: +21.25 Feet / 21.25 Feet
 (P) # 328017: Sign Width: +48 Feet / 48 Feet
 (P) # 328017: Street Frontage: 180 Feet

14. APPLICATION COMMENTS

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless, the information printed exceeds that required by Section 19825 of the Health and Safety Code of the State of California.

15. Building Relocated From:

16. CONTRACTOR, ARCHITECT, & ENGINEER NAME ADDRESS

(C) Encore Image Inc

P O Box 9297,

Ontario, CA 91762

CLASS LICENSE#

C45 947727

PHONE

3109201905

PERMIT EXPIRATION/REFUNDS: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

17. LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. The following applies to B contractors only: I understand the limitations of Section 7057 of the Business and Professional Code related to my ability to take prime contracts or subcontracts involving specialty trades.

License Class: C45 Lic. No.: 947727

Contractor: ENCORE IMAGE INC

18. WORKERS' COMPENSATION DECLARATION

I hereby affirm, under penalty of perjury, one of the following declarations:

☐ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: Ulico Csly. Co.

Policy Number: WCS11330201

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at www.aqmd.gov. Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or www.dhs.ca.gov/childlead.

20. CONSTRUCTION LENDING AGENCY DECLARATION

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civil Code).

Lender's name (if any): Lender's address:

21. FINAL DECLARATION

I certify that I have read this application INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

By signing below, I certify that:

- (1) I accept all the declarations above namely the Licensed Contractor's Declaration/Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, Construction Lending Agency Declaration and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

Print Name: Roy Courteney

Sign: 

Date: 7-15-11

☐ Contractor ☒ Authorized Agent

Sign
Onsite
Plan Check

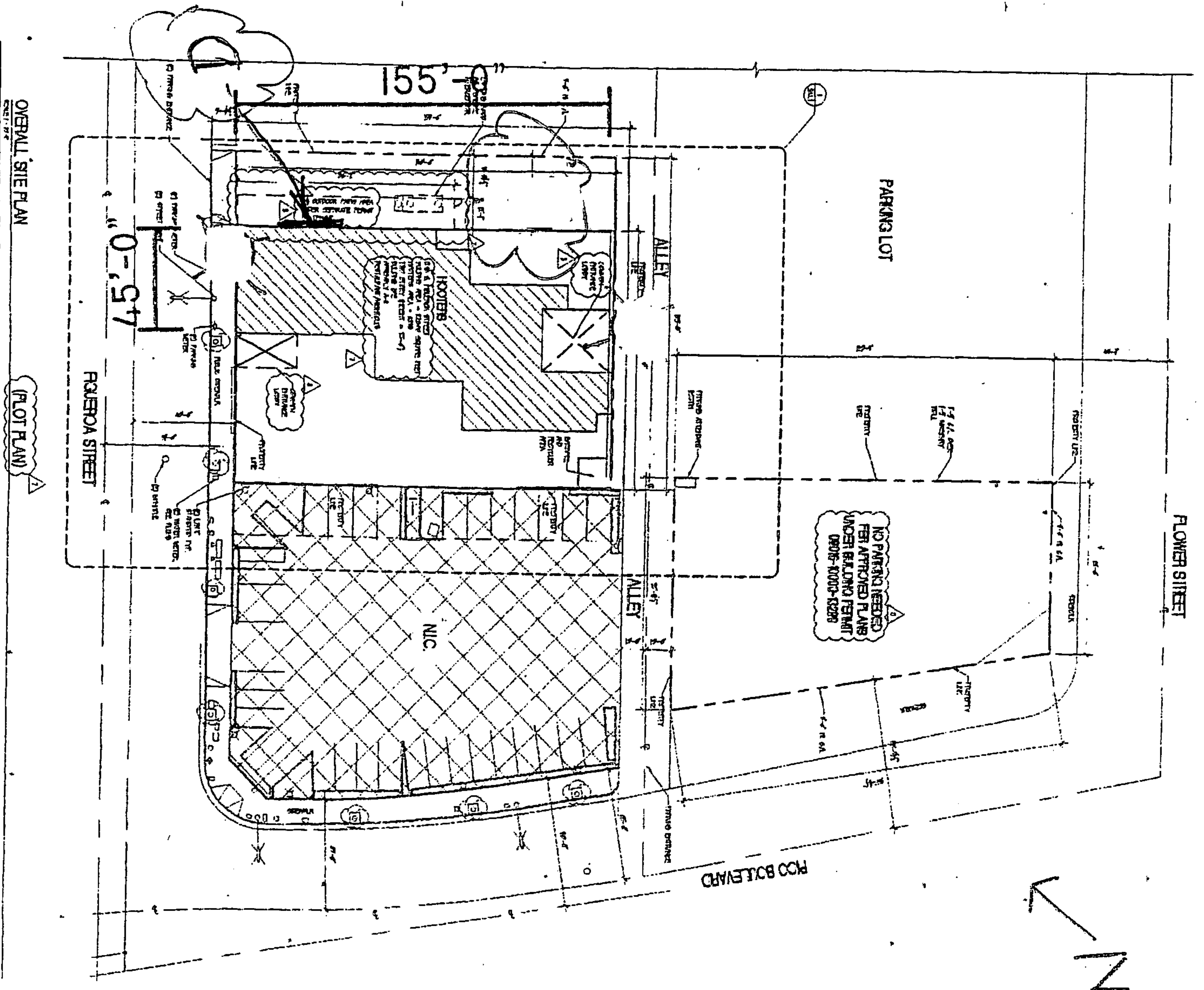
City of Los Angeles - Department of Building and Safety

Plan Check #: B11LA06961

Initiating Office: METRO

Printed on: 06/29/11 15:40:15

PLOT PLAN ATTACHMENT



GB
7-8-11

1248 S Figueroa St



Permit #:

11048 - 10000 - 02337

Plan Check #: B11LA13440

Printed: 12/22/11 11:29 AM

Event Code:

Sign
Onsite
Plan Check at Counter
Plan Check

City of Los Angeles - Department of Building and Safety

**APPLICATION FOR INSTALLATION
AND INSPECTION OF SIGNS**

Last Status: Ready to Issue

Status Date: 12/22/2011

TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF #	PARCEL ID # (PIN #)	ASSESSOR PARCEL #
CARSON AND CURRIER'S ST		10		M R 55-3	126A205 19	5138 - 025 - 014

3. PARCEL INFORMATION

Area Planning Commission - Central
LADBS Branch Office - LA
Council District - 9
Certified Neighborhood Council - Downtown Los Angeles
Community Plan Area - Central City

Census Tract - 2079.00
District Map - 126A205
Energy Zone - 9
Fire District - 1 (Entire parcel)
Lot Cut Date - 04/02/1956

Lot Cut Date - 09/13/1941
Methane Hazard Site - Methane Zone
Near Source Zone Distance - 0
Parking Dist. - CCPD
Parking Dist. - DPD

ZONES(S): C2-4D-O

4. DOCUMENTS

ZI - ZI-2374 Los Angeles State Enterpris ORD - ORD-164307-SA3005
ZI - ZI-2385 Greater Downtown Housing ORD - ORD-73261
ZA - ZA-2009-2992-CUB-CUX-CU CRA - ZI 2316 CITY CENTER REDEV
PKLY - PKG-717 CPC - CPC-1986-606-GPC

CPC - CPC-2005-1122-CA
CPC - CPC-2005-1124-CA
CPC - CPC-2005-361-CA
CPC - CPC-2008-4502-GPA

CPC - CPC-2010-213-CA
CDBG - BID-South Park
CDBG - LARC-Los Angeles
CDBG - LARZ-Central City

5. CHECKLIST ITEMS

6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION

Owner(s):
Downtown Live Llc 807 12th St STE 401 LOS ANGELES CA 90021

Tenant:

Applicant: (Relationship: Tenant)
Steven Penn - Prestige Tickets 1248 S. Figueroa LA, CA 90015

7. EXISTING USE

PROPOSED USE

(19) Projecting Sign

8. DESCRIPTION OF WORK

INSTALL TWO NEW ILLUMINATED WALL SIGNS 3'-0" (H) x 4'-0" (W), read as "PRESTIGE TICKET"

9. # Bldgs on Site & Use:

10. APPLICATION PROCESSING INFORMATION

BLDG. PC By: Sai Khum
OK for Cashier: Eric Huang
Signature: *[Signature]*
DAS PC By:
Coord. OK:
Date: 12/22/11

For inspection requests, call toll-free (888) LA4BUILD (524-2845).
Outside LA County, call (213) 482-0000 or request inspections via
www.ladbs.org. To speak to a Call Center agent, call 311 or
(866) 4LACITY (452-2489). Outside LA County, call (213) 473-3231.

For Cashier's Use Only 311 PIN W/O #: 14802337

11. PROJECT VALUATION & FEE INFORMATION

Final Fee Period

Permit Valuation:	\$5,000	PC Valuation:	
FINAL TOTAL Sign	474.59	Signs or Gas Tube Systems Fee	49.00
Permit Fee Subtotal Sign	175.00	Control Devices Fee	24.00
Plan Check Subtotal Sign	21.87		
Additional Plan Check	104.00		
Fire Hydrant Refuse-To-Pay			
E.Q. Instrumentation	1.05		
O.S. Surcharge	8.04		
Sys. Surcharge	24.12		
Planning Surcharge	19.67		
Planning Surcharge Misc Fee	10.00		
Planning Gen Plan Maint Surcharge	9.84		
State Green Building Surcharge	1.00		
Permit Issuing Fee	27.00		
Sewer Cap ID:		Total Bond(s) Due:	

12. ATTACHMENTS

Plot Plan



* P 1 1 0 4 8 1 0 0 0 0 0 2 3 3 7 F N *

13. STRUCTURE INVENTORY (Note: Numeric measurement data in the format "number / number" implies "change in numeric value / total resulting numeric value")

11048 - 10000 - 02337

(P) # 334268: # of Faces: +1 Faces / 1 Faces
(P) # 334268: Height from Grade: +18.83 Feet / 18.83 Feet
(P) # 334268: Illuminated Sign
(P) # 334268: Sign Area: +12 Sqft / 12 Sqft
(P) # 334268: Sign Length: +4 Feet / 4 Feet
(P) # 334268: Sign Width: +3 Feet / 3 Feet
(P) # 334268: Street Frontage: 50 Feet

14. APPLICATION COMMENTS:

[1] Scope of work changed from [INSTALL ONE 2' X 3' 4' ILLUMINATED PROJECTING SIGN ON FRONT OF BUILDING APPROX 18 FT ABOVE SIDEWALK; (H) 3' (W) 4'] to ["INSTALL TWO NEW ILLUMINATED WALL SIGNS 3'x4', read as "PRESTIGE TICKETS"]. 12/14/2011 [2] Additional one hour plan check fees has been added due to change of scope of work.

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless the information printed exceeds that required by section 19825 of the Health and Safety Code of the State of California.

15. BUILDING RELOCATED FROM:**16. CONTRACTOR, ARCHITECT & ENGINEER NAME**

(C) Tyko Tako

ADDRESS

5010 Venice Blvd,

Los Angeles, CA 90019

CLASS

C45

LICENSE #

690492

PHONE #

(323) 937-4445

PERMIT EXPIRATION/REFUNDS: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

17. LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. The following applies to B contractors only: I understand the limitations of Section 7057 of the Business and Professional Code related to my ability to take prime contracts or subcontracts involving specialty trades.

License Class: **C45** License No.: **690492** Contractor: **TYKO TAKO**

18. WORKERS' COMPENSATION DECLARATION

I hereby affirm, under penalty of perjury, one of the following declarations:

☐ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☒ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: **Ins. Co. of the West**Policy Number: **WSA500298601**

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at www.aqmd.gov. Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or www.dhs.ca.gov/childlead

20. CONSTRUCTION LENDING AGENCY DECLARATION

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civil Code).

Lender's Name (If Any):

Lender's Address:

21. FINAL DECLARATION

I certify that I have read this application INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

By signing below, I certify that:

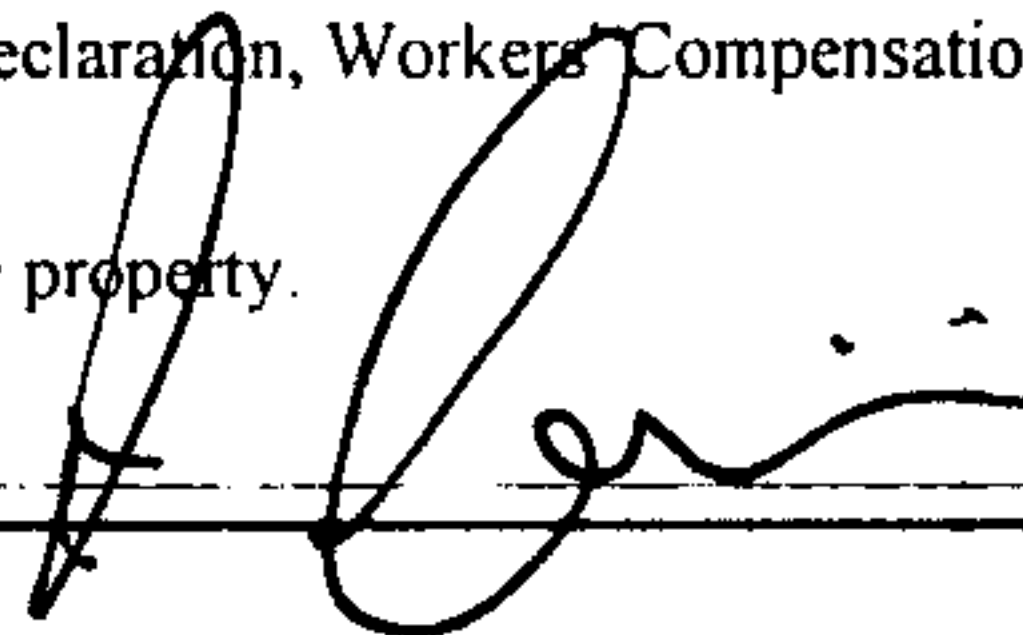
(1) I accept all the declarations above namely the Licensed Contractor's Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, Construction Lending Agency Declaration, and Final Declaration; and

(2) This permit is being obtained with the consent of the legal owner of the property.

Print Name:

John Crisp

Sign:



Date:

12/22/11

☐

Contractor

☒

Authorized Agent

Sign
Onsite
Plan Check

City of Los Angeles - Department of Building and Safety

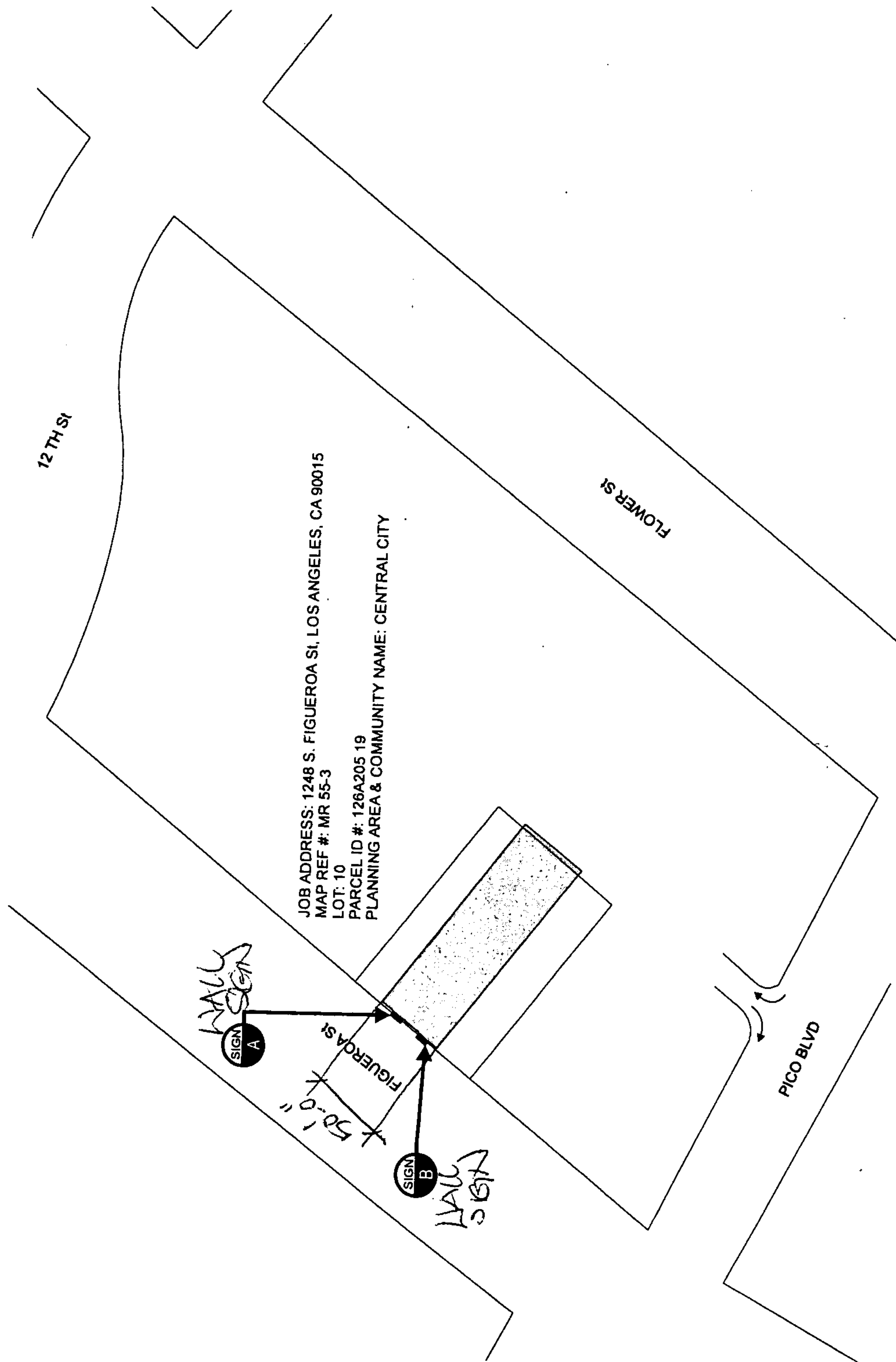
Plan Check #: B11LA13440

Initiating Office: METRO

Printed on: 12/14/11 15:46:38

PLOT PLAN ATTACHMENT

(DO NOT DRAW, WRITE, OR PASTE ATTACHMENTS OUTSIDE BORDER)



1248 S Figueroa St



Permit #:

16048 - 10000 - 00912

Plan Check #: B16LA05306

Printed: 04/13/16 03:52 PM

Event Code:

Sign	City of Los Angeles - Department of Building and Safety	Issued on: 04/13/2016
Onsite	APPLICATION FOR INSTALLATION AND INSPECTION OF SIGNS	Last Status: Issued
Plan Check at Counter		Status Date: 04/13/2016
Plan Check		

1. TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF #	PARCEL ID # (PIN #)	2. ASSESSOR PARCEL #
CARSON AND CURRIER'S SUBC		10		M R 55-3	126A205 19	5138 - 025 - 014

3. PARCEL INFORMATION		
Area Planning Commission - Central	Census Tract - 2079.00	Near Source Zone Distance - 0
LADBS Branch Office - LA	District Map - 126A205	Parking Dist. - CCPD
Council District - 14	Energy Zone - 9	Parking Dist. - DPD
Certified Neighborhood Council - Downtown Los Angeles	Fire District - 1 (Entire parcel)	Thomas Brothers Map Grid - 634-D5
Community Plan Area - Central City	Methane Hazard Site - Methane Zone	
ZONES(S): C2-4D-O		

4. DOCUMENTS		
ZI - ZI-2374 LOS ANGELES STATE ENTER PKLY - PKG-717	ORD - ORD-137036	CPC - CPC-1986-606-GPC
ZI - ZI-2385 Greater Downtown Housing Ince	ORD - ORD-129944	CPC - CPC-2005-1122-CA
ZI - ZI-2452 Transit Priority Area in the Cit	ORD - ORD-134009	CPC - CPC-2005-1124-CA
ZA - ZA-2009-2992-CUB-CUX-CU	ORD - ORD-135901	CRA - ZI 2316 CITY CENTER REDEV PRJC
		CPC - CPC-2005-361-CA

5. CHECKLIST ITEMS

6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION
Owner(s): DOWNTOWN LIVE LLC 807 12TH ST STE 401, LOS ANGELES CA 90021 --
Tenant:
Applicant: (Relationship: Agent for Contractor) KELLI BONELLI - WESTERN SIGN AND AWNING 261 S. PACIFIC STREET, SAN MARCO, CA 9 -- (760) 736-6070

For Cashier's Use Only

W/O #: 64800912

7. EXISTING USE	PROPOSED USE
	(19) Wall Sign

8. DESCRIPTION OF WORK
2 SET OF ILLUMINATED CHANNEL LETTERS WALL SIGN (22 3/4 " X 10'-4 1/2" & 22 1/2" X 13'-10")

9. # Bldgs on Site & Use:

10. APPLICATION PROCESSING INFORMATION	
BLDG. PC By: Hans Santiago	DAS PC By:
OK for Cashier: Ricardo Ramirez	Coord. OK:
Signature:	Date: 04/13/2016

11. PROJECT VALUATION	Final Fee Period
Permit Valuation: \$4,000	PC Valuation:
Sewer Cap ID:	Total Bond(s) Due:

12. ATTACHMENTS
Plot Plan

For inspection requests, call toll-free (888) LA4BUILD (524-2845). Outside LA County, call (213) 482-0000 or request inspections via www.ladbs.org . To speak to a Call Center agent, call 311. Outside LA County, call (213) 473-3231.
--

LA M CA 101078361 4/13/2016 3:51:42 PM	
BUILDING PERMIT COMM	\$140.00
BUILDING PLAN CHECK	\$0.00
EI COMMERCIAL	\$1.12
INVESTIGATION - CE	\$400.00
ONE STOP SURCH	\$12.34
SYSTEMS DEVT FEE	\$37.03
CITY PLANNING SURCH	\$10.02
MISCELLANEOUS	\$10.00
PLANNING GEN PLAN MAINT SURCH	\$8.35
CA BLDG STD COMMISSION SURCHARGE	\$1.00
BUILDING PLAN CHECK	\$27.00
ELECTRICAL PERMIT-COMM	\$49.00

Sub Total: \$695.86

Permit #: 160481000000912

Building Card #: 2016LA62657

Receipt #: 0101569778



* P 1 6 0 4 8 1 0 0 0 0 0 9 1 2 F N *

13. STRUCTURE INVENTORY

(Note: Numeric measurement data in the format "number / number" implies "change in numeric value / total resulting numeric value")

16048 - 10000 - 00912

(P) # 412048: # of Faces: +2 Faces / 2 Faces
(P) # 412048: Height from Grade: +11 Feet / 11 Feet
(P) # 412048: Illuminated Sign
(P) # 412048: Sign Area: +45.56 Sqft / 45.56 Sqft
(P) # 412048: Sign Length: +24.25 Feet / 24.25 Feet
(P) # 412048: Sign Width: +2.5 Feet / 2.5 Feet
(P) # 412048: Street Frontage: 53.5 Feet

14. APPLICATION COMMENTS:

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless the information printed exceeds that required by section 19825 of the Health and Safety Code of the State of California.

15. BUILDING RELOCATED FROM:**16. CONTRACTOR, ARCHITECT & ENGINEER NAME****ADDRESS****CLASS****LICENSE #****PHONE #**

(C) WESTERN SIGN & AWNING

2556 FAIVRE STREET,

CHULA VISTA, CA 91911

C45

863570

PERMIT EXPIRATION/REFUNDS: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

17. LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. The following applies to B contractors only: I understand the limitations of Section 7057 of the Business and Professional Code related to my ability to take prime contracts or subcontracts involving specialty trades.

License Class: C45 License No.: 863570 Contractor: WESTERN SIGN & AWNING

18. WORKERS' COMPENSATION DECLARATION

I hereby affirm, under penalty of perjury, one of the following declarations:

☐ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☒ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: TRAVELERS INDEMNITY CO. OF IL

Policy Number: UB9D831120

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at www.aqmd.gov. Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or www.dhs.ca.gov/childlead.

20. CONSTRUCTION LENDING AGENCY DECLARATION

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civil Code).

Lender's Name (If Any): _____ Lender's Address: _____

21. FINAL DECLARATION

I certify that I have read this application **INCLUDING THE ABOVE DECLARATIONS** and state that the above information **INCLUDING THE ABOVE DECLARATIONS** is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

By signing below, I certify that:

- (1) I accept all the declarations above namely the Licensed Contractor's Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, Construction Lending Agency Declaration, and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

Print Name: KELLY BONELLI-SHERER

Sign: Kelly Bonelli-Sherer

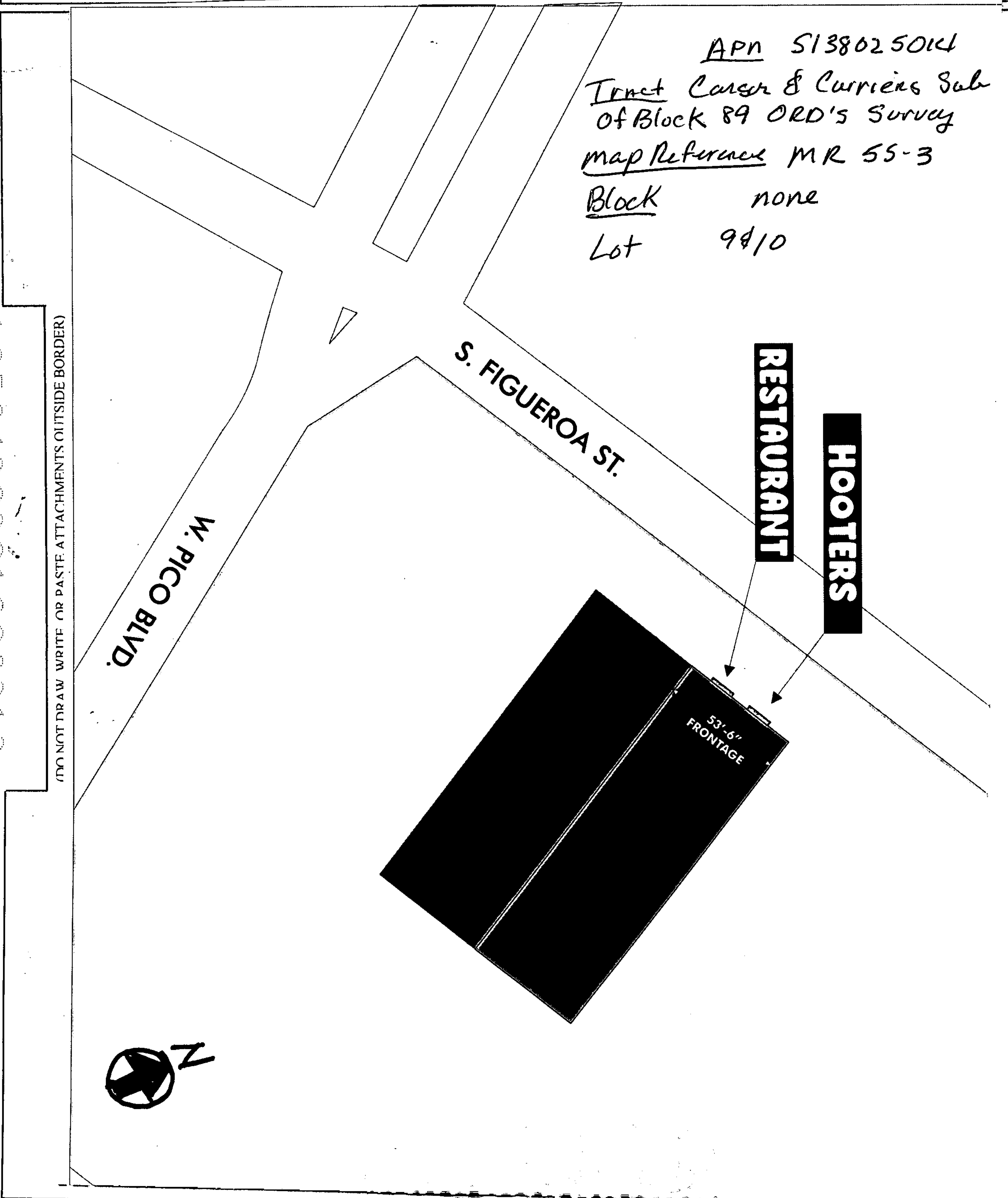
Date: 04/13/2016



Contractor



Authorized Agent



1248 S Figueroa St



Permit #:

16048 - 10000 - 00914

Plan Check #: B16LA05318

Printed: 04/13/16 03:51 PM

Event Code:

Sign	City of Los Angeles - Department of Building and Safety	Issued on: 04/13/2016
Onsite	APPLICATION FOR INSTALLATION AND INSPECTION OF SIGNS	Last Status: Issued
Plan Check at Counter		Status Date: 04/13/2016
Plan Check		

1. TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF #	PARCEL ID # (PIN #)	2. ASSESSOR PARCEL #
CARSON AND CURRIER'S SUBE		10		M R 55-3	126A205 19	5138 - 025 - 014

3. PARCEL INFORMATION		
Area Planning Commission - Central	Census Tract - 2079.00	Near Source Zone Distance - 0
LADBS Branch Office - LA	District Map - 126A205	Parking Dist. - CCPD
Council District - 14	Energy Zone - 9	Parking Dist. - DPD
Certified Neighborhood Council - Downtown Los Angeles	Fire District - 1 (Entire parcel)	Thomas Brothers Map Grid - 634-D5
Community Plan Area - Central City	Methane Hazard Site - Methane Zone	
ZONES(S): C2-4D-O		

4. DOCUMENTS		
ZI - ZI-2374 LOS ANGELES STATE ENTER PKLY - PKG-717	ORD - ORD-137036	CPC - CPC-1986-606-GPC
ZI - ZI-2385 Greater Downtown Housing Ince	ORD - ORD-129944	CPC - CPC-2005-1122-CA
ZI - ZI-2452 Transit Priority Area in the Cit	ORD - ORD-134009	CPC - CPC-2005-1124-CA
ZA - ZA-2009-2992-CUB-CUX-CU	ORD - ORD-135901	CRA - ZI 2316 CITY CENTER REDEV PRJC
		CPC - CPC-2005-361-CA

5. CHECKLIST ITEMS

6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION	For Cashier's Use Only	W/O #: 64800914
Owner(s): DOWNTOWN LIVE LLC 807 12TH ST STE 401, LOS ANGELES CA 90021 --		
Tenant:		
Applicant: (Relationship: Contractor) KELLI BONELLI - 261 S PACIFIC ST, SAN MARCO, CA 9 -- (760) 736-6070		

7. EXISTING USE	PROPOSED USE
	(19) Projecting Sign

8. DESCRIPTION OF WORK
PROPOSED ON-SITE ILLUMINATED DOUBLE FACED 8' X 3.5' PROJECTING SIGN. "COMPLY WITH DEPARTMENT ORDER effective date 08/07/2013. PERMIT WILL EXPIRE 30 DAYS FROM ISSUANCE DATE"

9. # Bldgs on Site & Use:

10. APPLICATION PROCESSING INFORMATION	
BLDG. PC By: Roshanak Varjavand	DAS PC By:
OK for Cashier: Ricardo Ramirez	Coord. OK:
Signature:	Date: 04/13/2016

11. PROJECT VALUATION	
Permit Valuation: \$3,885	PC Valuation:
Sewer Cap ID:	Total Bond(s) Due:

12. ATTACHMENTS
Plot Plan

For inspection requests, call toll-free (888) LA4BUILD (524-2845). Outside LA County, call (213) 482-0000 or request inspections via www.ladbs.org . To speak to a Call Center agent, call 311. Outside LA County, call (213) 473-3231.
--

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BUILDING PERMIT COMM	\$135.98
BUILDING PLAN CHECK	\$67.99
EI COMMERCIAL	\$1.09
ONE STOP SURCH	\$5.62
SYSTEMS DEVT FEE	\$16.86
CITY PLANNING SURCH	\$13.86
MISCELLANEOUS	\$10.00
PLANNING GEN PLAN MAINT SURCH	\$11.55
CA BLDG STD COMMISSION SURCHARGE	\$1.00
BUILDING PLAN CHECK	\$27.00
ELECTRICAL PERMIT-COMM	\$49.00

Sub Total: \$339.95

Permit #: 160481000000914
Building Card #: 2016LA62656
Receipt #: 0101569777



* P 1 6 0 4 8 1 0 0 0 0 0 9 1 4 F N *

13. STRUCTURE INVENTORY

(Note: Numeric measurement data in the format "number / number" implies "change in numeric value / total resulting numeric value")

16048 - 10000 - 00914

(P) # 412056: # of Faces: +2 Faces / 2 Faces
(P) # 412056: Height from Grade: +16 Feet / Feet
(P) # 412056: Illuminated Sign
(P) # 412056: Sign Area: +38.66 Sqft / 38.66 Sqft
(P) # 412056: Sign Length: +3.5 Feet / 3.5 Feet
(P) # 412056: Sign Width: +8 Feet / 8 Feet
(P) # 412056: Street Frontage: Feet

14. APPLICATION COMMENTS:

1. Plan check fee collected under 16048-10000-00912. 2. SPI completed under 16048-10000-00756. 3. Lot is not commercial corner, adjacent parking lot belongs to the City of LA not the owner. (confirmed with the counter supervisor) 4. Investigation Fee under permit 16048-10000-00912

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless the information printed exceeds that required by section 19825 of the Health and Safety Code of the State of California.

15. BUILDING RELOCATED FROM:**16. CONTRACTOR, ARCHITECT & ENGINEER NAME****ADDRESS****CLASS****LICENSE #****PHONE #**

(C) WESTERN SIGN & AWNING

2556 FAIVRE STREET,

CHULA VISTA, CA 91911

C45

863570

PERMIT EXPIRATION/REFUNDS: This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

17. LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. The following applies to B contractors only: I understand the limitations of Section 7057 of the Business and Professional Code related to my ability to take prime contracts or subcontracts involving specialty trades.

License Class: C45 License No.: 863570 Contractor: WESTERN SIGN & AWNING

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☒ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: TRAVELERS INDEMNITY CO. OF IL

Policy Number: UB9D831120

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at www.aqmd.gov. Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or www.dhs.ca.gov/childlead.

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Lender's Name (If Any): _____ Lender's Address: _____

21. FINAL DECLARATION

I certify that I have read this application **INCLUDING THE ABOVE DECLARATIONS** and state that the above information **INCLUDING THE ABOVE DECLARATIONS** is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

By signing below, I certify that:

- (1) I accept all the declarations above namely the Licensed Contractor's Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, Construction Lending Agency Declaration, and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

Print Name: KELLY BONELLI-SHERER

Sign: Kelly Bonelli-Sherer

Date: 04/13/2016

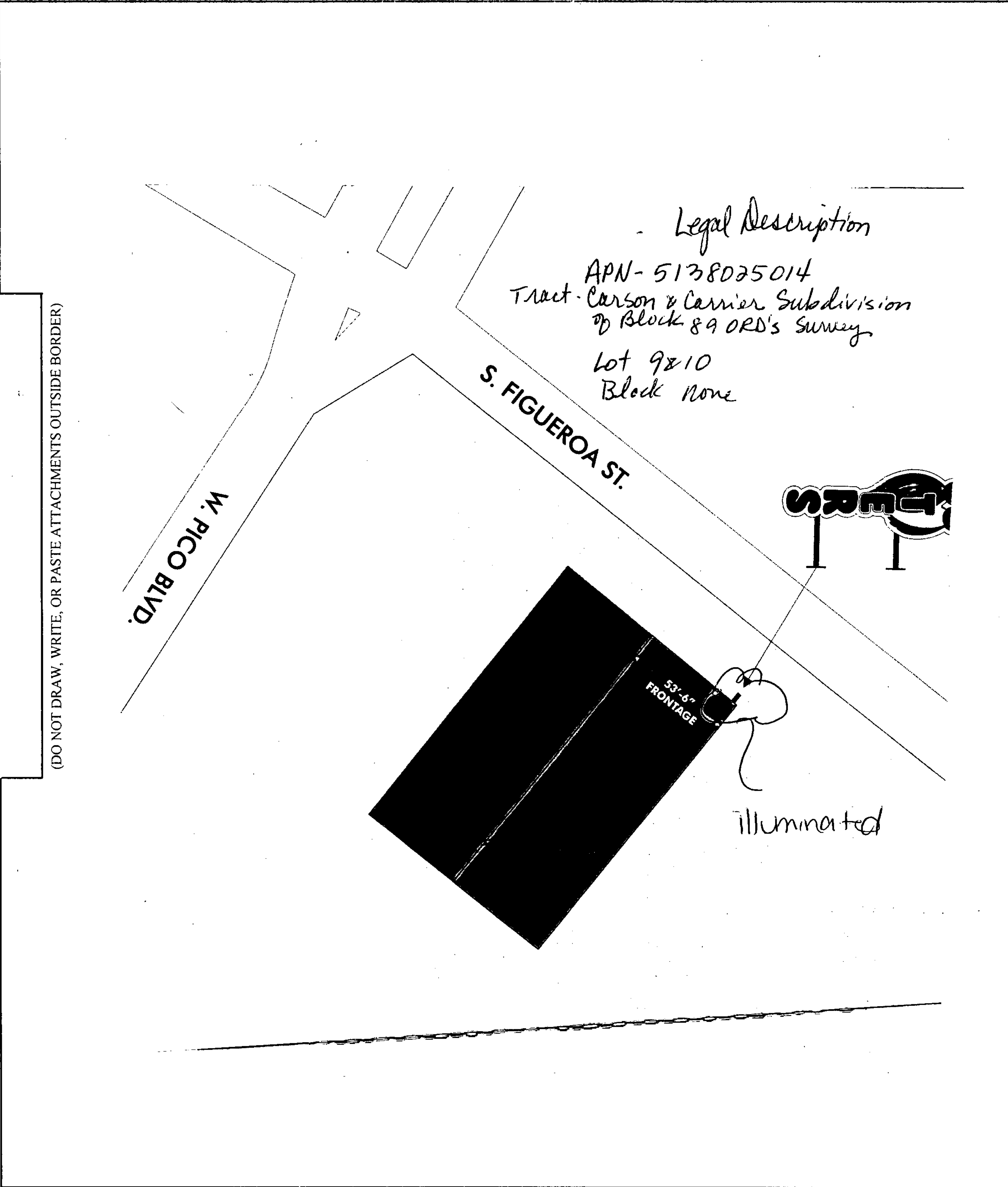


Contractor



Authorized Agent

Sign	City of Los Angeles - Department of Building and Safety	Plan Check #: B16LA05318
Onsite		Initiating Office: METRO
Plan Check	PLOT PLAN ATTACHMENT	Printed on: 04/13/16 14:05:56



All applications must be filled out by applicant

WARD _____

PLANS AND SPECIFICATIONS
and other data must also be filed

BOARD OF PUBLIC WORKS
DEPARTMENT OF BUILDINGS

Application for the Erection of Building
CLASS "A" — "B" — "C"

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

TAKE TO ROOM No. 6 FIRST FLOOR	Lot No. <u>10441</u>	Block _____	O. K. City Assessor	By _____ Deputy
	(Description of Property) <u>Carson - Carson Sub of Blk 8902</u>			
ASSESSOR PLEASE VERIFY				
TAKE TO ROOM No. 405 SOUTH ANNEX	District No. <u>10</u>	M. B. Page <u>10</u>	F. B. Page <u>173</u>	
	No. _____	(Location of Job) <u>1246-1252 S Figueroa</u>		
ENGINEER PLEASE VERIFY	Street _____			O. K. City Engineer
(USE INK OR INDELIBLE PENCIL)				

- Purpose of Building Retail No. of Rooms _____ No. of families _____
- Owner's name J. A. GRAVES Phone 10128
- Owner's address Farmers & Merchants National Bank,
- Architect's name Morgan, Walls & Morgan Phone 62948
- Contractor's name Davidson Const Co Phone _____
- Contractor's address _____
- ENTIRE COST OF PROPOSED BUILDING {Including Plumbing, Gas Fitting, Sewers, Cesspools, Elevators, Painting, Finishing, etc.} \$ 80,000.
- Any other buildings on the lot? no How used? _____
- Size of proposed building 100 x 150 Size of lot 100 x 150 feet
- Number of stories in height two Height to highest point 35'
- Material of foundation reinforced concrete Character of soil gravel
- Size of footings see plans Depth below surface of ground see plans
- Number of chimneys 1 Material of chimneys T.O.
- Number of inlets to each flue 1 Interior size of such flues _____
- Material of exterior walls brick and concrete
- Material of interior construction tile
- Material of floors concrete
- Material of roof concrete
- Are there any other buildings within 30 feet of the proposed structure? yes

I have carefully examined and read the above application and know the same is true and correct, and hereby certify and agree that if a permit is issued that all of the provisions of the Building Ordinances will be complied with, whether herein specified or not; also certify that the plans and specifications herewith filed conform to all of the provisions of the Building Ordinances and Laws.

(Sign here) O. Morgan
(Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY			
PERMIT NO. <u>10441</u>	Plans and specifications checked and found to conform to Ordinances, State Laws, etc. (Use Ink) <u>Revised</u> Plan Examiner	Application checked and found O. K. (Use Rubber Stamp) <u>NOV 8 - 1919</u> Clerk	RECEIVED <u>NOV 8 1919</u> TOWNSHIP

PLANS Revised

REMARKS

2000 Bbls

100 Tons

All Applications must be filled out by Applicant

Bldg. Form 8

PLANS AND SPECIFICATIONS
and other data must also be filed

BOARD OF PUBLIC WORKS

DEPARTMENT OF BUILDINGS

Application to Alter, Repair or Demolish

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

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Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

	REMOVED FROM	REMOVED TO	
TAKE TO ROOM No. 6 FIRST FLOOR	Lot.....Block.....	Lot.....Block.....	
CITY CLERK PLEASE VERIFY	Tract.....	Tract.....	O. K. City Clerk By.....Deputy.....
TAKE TO ROOM No. 405 SOUTH ANNEX	Book.....Page.....F. B. Page.....	Book.....Page.....F. B. Page.....	O. K. City Engineer By.....Deputy.....
ENGINEER PLEASE VERIFY	From No.	Street	
	To No. <u>1246 S. Figueroa St.</u>	Street	
	(USE INK OR INDELIBLE PENCIL)		

1. What Purpose is the present Building used for? Apartment
2. Owner's name J. A. Graves Phone 10128
3. Owner's address 4011 S. Main
4. Architect's name Morgan Walls & Morgan Phone 67948
5. Contractor's name Arldson Construction Co. Phone 21047
6. Contractor's address 16 E. Tennessee St.
7. ENTIRE COST OF PROPOSED WORK {Including Plumbing, Gas Fitting, Sowers, Cesspools, Elevators, Painting, Finishing, etc.} \$ 300
8. Class of Present Building A No. of Rooms at present
9. Number of stories in height
10. State how many buildings are on this lot
11. State purpose buildings on lot are used for.
(Tenement House, Hotel, Residence, or any other purpose.)

STATE ON FOLLOWING LINES EXACTLY WHAT ALTERATIONS, ADDITIONS, ETC., WILL BE MADE TO THIS BUILDING:

Application to alter or make changes to plans of building for which building permit No. 10441 was obtained on 1919
to build changes or alterations more particularly described as follows:
1246 S. Figueroa St.

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

OVER

(Sign here)

(Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY

PERMIT NO. <u>3822</u>	Plans and specifications checked and found to conform to Ordinances, State Laws, etc. <u>Reine Hice</u> Plan Examiner.	Application checked and found O. K. <u>MAR 6 - 1920</u> Clerk.	Stamp here when permit is issued <u>MAR 6 1920</u> L.A. Bldg. Dept.
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FOR PLANS SEE

NO. 10441-11

All Applications must be filled out by Applicant

Stdg. Form 3

3

BOARD OF PUBLIC WORKS

PLANS AND SPECIFICATIONS
and other data must also be filed

DEPARTMENT OF BUILDINGS

Application to Alter, Repair or Demolish

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

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Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

	REMOVED FROM	REMOVED TO	
TAKE TO ROOM No. 6 FIRST FLOOR	Lot _____ Block _____ Tract _____	Lot _____ Block _____ Tract _____	O. K. City Clerk By _____ Deputy
CITY CLERK PLEASE VERIFY			
TAKE TO ROOM No. 405 SOUTH ANNEX	Book _____ Page _____ F. B. Page _____ From No. _____ Street _____	Book _____ Page _____ F. B. Page _____ Street _____	O. K. City Engineer By _____ Deputy
ENGINEER PLEASE VERIFY	To No. <u>1246 So Figueroa</u> (USE INK OR INDELIBLE PENCIL)		

1. What purpose is the present Building used for? garage public
2. Owner's name Maxwell & Hoffman Phone _____
3. Owner's address 1246 So. Figueroa St LA.
4. Architect's name D. J. Burgeson Phone 65319
5. Contractor's name C. C. Contract Co. Phone 65319
6. Contractor's address 343 Jeannette St LA.
7. ENTIRE COST OF PROPOSED WORK {Including Plumbing, Gas Fitting, Sewers, Ceasapools, Elevators, Painting, Finishing, etc.} \$500.00
8. Class of Present Building One C No. of Rooms at present _____
9. Number of stories in height One Size of present building _____
10. State how many buildings are on this lot _____
11. State purpose buildings on lot are used for _____
(Tenement House, Hotel, Residence, or any other purpose.)

STATE ON FOLLOWING LINES EXACTLY WHAT ALTERATIONS, ADDITIONS, ETC., WILL BE MADE TO THIS BUILDING:

a balcony 12' by 36'6" to be erected in rear room for office purposes.
on first floor.

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

OVER

(Sign here)

Will O'Bratt
(Owner or Authorized Agent.)

FOR DEPARTMENT USE ONLY

PERMIT NO. <u>13228</u>	Plans and specifications checked and found to conform to Ordinances, State Laws, etc. <u>Thorne</u> Plan Examiner.	Application checked and found O. K. <u>4/17/20</u> Clerk.	Stamp <u>AUG 18 1920</u> <u>WILL</u>
----------------------------	--	---	--

PERMITS

W. J. Jones

74

12. Size of new addition x No. of Stories in height x
13. Material of foundation x Size footings x Size wall x Depth below ground x
14. Size of Redwood Mudsills x Size of interior bearing studs x
15. Size of exterior studs x Size of interior non-bearing studs x
16. Size of first floor joists x Second floor joists x
17. Will all provisions of State Dwelling House Act be complied with? x

I have carefully examined and read the above blank and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

(Sign here)

(Owner or Authorized Agent.)

All Applications must be filled out by Applicant

PLANS AND SPECIFICATIONS
and other data must also be filed

BOARD OF PUBLIC WORKS

DEPARTMENT OF BUILDINGS

Application to Alter, Repair or Demolish

To the Board of Public Works of the City of Los Angeles:

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TAKE TO
ROOM NO. 6
FIRST
FLOOR
CITY CLERK
PLEASE
VERIFY

TAKE TO
ROOM NO. 405
SOUTH
ANNEX

ENGINEER
PLEASE
VERIFY

REMOVED FROM

REMOVED TO

Lot.....Block.....

Lot.....Block.....

Tract.....

Tract.....

Book.....Page.....F. B. Page.....

Book.....Page.....F. B. Page.....

From No. 1250 Street

To No. 1249 So. Figueroa Street

(USE INK OR INDELIBLE PENCIL)

O. K. City Clerk

Deputy

By

Deputy

O. K. City Engineer

By

- What purpose is the present Building now used for? Garage (public)
- What purpose will Building be used for hereafter? Same
- Owner's name J. A. Graves Phone.....
- Owner's address Merchant Natl Bank Bldg.
- Architect's name..... Phone.....
- Contractor's name Rome Contractors Phone 65319-
- Contractor's address 343 Granette St
- VALUATION OF PROPOSED WORK {including Plumbing, Gas Fitting, Sewers, Cesspools, Elevators, Painting, Finishing, all Labor, etc.} \$ 800.00
- Class of Present Building A. No. of Rooms at present Garage & office room
- Number of stories in height Two Size of present building X
- State how many buildings are on this lot one
- State purpose buildings on lot are used for Garage (public)
(Tenement House, Hotel, Residence, or any other purpose.)

STATE ON FOLLOWING LINES EXACTLY WHAT ALTERATIONS, ADDITIONS, ETC., WILL BE MADE TO THIS BUILDING:

Building new Magazine in used Car room

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

(Sign here)

D. L. Burgeron
(Owner or Authorized Agent.)

OVER

FOR DEPARTMENT USE ONLY

PERMIT NO. <u>23587</u>	Plans and specifications checked and found to conform to Ordinances, State Laws etc. <u>Thomas</u> Plan Examiner.	Application checked and found O. K. NOV 30 1920 Clerk.	Stamp here when permit issued NOV 30 1920 L. B. Dept. of Buildings
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FOR PLANS SEE

No. 102117-19

All Applications must be filled out by Applicant

Bldg. Form 3

PLANS AND SPECIFICATIONS
and other data must also be filed

3

BOARD OF PUBLIC WORKS

DEPARTMENT OF BUILDINGS

Application to Alter, Repair or Demolish

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

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Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

	REMOVED FROM	REMOVED TO	
TAKE TO ROOM No. 6 FIRST FLOOR	Lot.....Block..... Tract.....	Lot.....Block..... Tract.....	O. K. City Clerk By Deputy
CITY CLERK PLEASE VERIFY			
TAKE TO ROOM No. 405 SOUTH ANNEX	Book.....Page.....F. B. Page.....	Book.....Page.....F. B. Page.....	
ENGINEER PLEASE VERIFY	From No.....Street To No. 1750 So Figueroa St Street	From No.....Street To No.....Street	

(USE INK OR INDELIBLE PENCIL)

- What purpose is the present Building now used for? *Automobile office & sales*
- What purpose will Building be used for hereafter? *Same*
- Owner's name *J. A. Graves* Phone.....
- Owner's address *Van Nuys Bldg*
- Architect's name *Acme Contractors* Phone *65319*
- Contractor's name *Acme Contractors* Phone *65319*
- Contractor's address *343 Jeanette St*
- VALUATION OF PROPOSED WORK {Including Plumbing, Gas Fitting, Sewers, Caspools, Elevators, Painting, Finishing, all Labor, etc.} \$ *100.00*
- Class of present Building *A* No. of rooms at present *4*
- Number of stories in height *2* Size of present Building *50 x 100*
- State how many buildings are on this lot *1*
- State purpose buildings on lot are used for *Automobile offices & salesrooms*
(Tenement House, Hotel, Residence, or any other purpose.)

STATE ON FOLLOWING LINES EXACTLY WHAT ALTERATIONS, ADDITIONS, ETC., WILL BE MADE TO THIS BUILDING:

to add 1 window to north wall of building for purpose of light & ventilation
No building within 30 ft of structure

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

OVER

(Sign here) *J. A. Graves*
Acme Contractor - *M. Reason*
(Owner or Authorized Agent.)

FOR DEPARTMENT USE ONLY

PERMIT NO. 17074	Plans and Specifications checked and found to conform to Ordinances, State Laws, etc.	Application checked and found O. K. <i>25</i>	Stamp here when permit is issued 1000000 JUL 25 1921 1000000 L.A. Bldg. Dept.
	Plan Examiner <i>Thomas</i>	Clerk <i>120</i>	

- 13. Size of new addition.....x.....No, of stories in height.....
- 14. Material of foundation.....Size footings.....Size wall.....Depth below ground.....
- 15. Size of Redwood Mudsills.....x.....Size of interior bearing studs.....x.....
- 16. Size of exterior studs.....x.....Size of interior non-bearing studs.....x.....
- 17. Size of first floor joists.....x.....Second floor joists.....x.....
- 18. Will all provisions of State Dwelling House Act be complied with?.....

I have carefully examined and read the above blank and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

(Sign here).....
(Owner or Authorized Agent.)

Lined area for additional notes or signatures.

All Applications must be filled out by Applicant

PLANS AND SPECIFICATIONS
and other data must also be filed

1

BOARD OF PUBLIC WORKS

DEPARTMENT OF BUILDINGS

Application for the Erection of Buildings

CLASS ~~"A"~~ "C" concrete

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

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TAKE TO
ROOM NO. 6
FIRST
FLOOR
CITY CLERK
PLEASE
VERIFYTAKE TO
ROOM NO. 405
SOUTH
ANNEX
ENGINEER
PLEASE
VERIFYLot No. 9810 Block 10
(Description of Property)Carson & Cummins
Succ of Bell 8905Dist. No. 10 M. B. Page 10 F. B. Page 85No. 1244 So Figueroa Street
(Location of Job)bet 12th & 13th

O. K. City Clerk

O. K. City Engineer

By Deputy

By Deputy

Platform for advertising autos (USE INK OR INDELIBLE PENCIL)

- Purpose of Building Platform for advertising autos No. of Rooms 10 No. of Families 10
- Owner's name Paul G. Hoffman co Phone 7500
- Owner's address 1244 S. Figueroa st
- Architect's name Paul G. Hoffman co Phone 7500
- Contractor's name Paul G. Hoffman co Phone 7500
- Contractor's address 1244 S. Figueroa st
- TOTAL VALUATION OF BUILDING {Including Plumbing, Gas Fitting, Sewers, Cesspools, Elevators, Painting, Finishing, all Labor, etc.} \$ 7500
- Any other buildings on lot at present? auto frame How used? used
- Size of proposed building 10 x 22 Size of lot 100 x 150 feet
- Number of stories in height 3 Height to highest point 3'
- Material of foundation concrete Character of soil sand
- Size of footings 18" Depth below surface of ground 12"
- Number of chimneys 1 Material of chimneys brick
- Number of inlets to each flue 1 Interior size of such flues 12"
- Material of exterior walls concrete
- Material of interior construction concrete
- Material of floors concrete
- Material of roof wood
- Are there any other buildings within 30 feet of the proposed structure? no

I have carefully examined and read the above application and know the same is true and correct, and hereby certify and agree that if a permit is issued that all of the provisions of the Building Ordinances will be complied with, whether herein specified or not; also certify that the plans and specifications herewith filed conform to all of the provisions of the Building Ordinances and State Laws.

OVER

(Sign here) Paul G. Hoffman
(Owner or Authorized Agent.)

FOR DEPARTMENT USE ONLY

PERMIT NO. <u>21081</u> ✓	Plans and specifications checked and found to conform to Ordinances, State Laws, etc. Plan Examiner.	Application checked and found O. K. <u>H. W. [Signature]</u> Clerk.	Stamp here when permit is issued <u>RECEIVED</u> JUN 20 1922 L.A. Bldg. Dept.
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This image shows a single sheet of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page. There is no handwriting or other markings on the paper.

All Applications must be filled out by Applicant

Blg. Form 3

PLANS AND SPECIFICATIONS
and other data must also be filed

BOARD OF PUBLIC WORKS

DEPARTMENT OF BUILDINGS

Application to Alter, Repair or Demolish

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

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Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

TAKE TO
REAR OF
NORTH
ANNEX
1st FLOOR
CITY CLERK
PLEASE
VERIFY

Lot.....Block.....
Tract.....

Lot.....Block.....
Tract.....

O.K. City Clerk

Deputy

TAKE TO
ROOM No. 405
SOUTH
ANNEX
ENGINEER
PLEASE
VERIFY

Book.....Page.....F. B. Page.....

Book.....Page.....F. B. Page.....

O.K. City Engineer

Deputy

From No. *Butter 12 and 13* Street

To No. *1250 on Figueroa (to Figueroa)* Street

(USE INK OR INDELIBLE PENCIL)

- What purpose is the present Building now used for? *Sales Room*
- What purpose will Building be used for hereafter? *Sales Room*
- Owner's name *J. A. Graves* Phone.....
- Owner's address *Summer Bldg*
- Architect's name *Gene Contractors* Phone *65319*
- Contractor's name..... Phone.....
- Contractor's address.....
- VALUATION OF PROPOSED WORK {including Plumbing, Gas Fitting, Sewers, Cesspools, Elevators, Painting, Finishing, all Labor, etc.} \$ *800.00*
- Class of present Building *C* No. of rooms at present.....
- Number of stories in height *2* Size of present Building.....
- State how many buildings are on this lot.....
- State purpose buildings on lots are used for *Garage Sales Room*
(Tenement house, Hotel, Residence, or any other purpose.)

STATE ON FOLLOWING LINES EXACTLY WHAT ALTERATIONS, ADDITIONS, ETC., WILL BE MADE TO THIS BUILDING:

addition to present
Boleary and not to
interfere with old construction
in any way
Mezzanine to be used for offices

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

OVER

7/19/23

11:00

(Sign here)

Gene Contractors

(Owner or Authorized Agent.)

FOR DEPARTMENT USE ONLY

PERMIT NO.
10785

Plans and Specifications checked
and found to conform to Ord-
nances, State Laws, etc.

Harcer
Plan Examiner

Application checked and found
O. K.

10785
Clerk

Stamp here when permit
is issued
MAR 12 1923

L. & Bldg. Dept.

PLANS

250

13. Size of new addition.....16' x 33'.....No. of Stories in height.....1.....
14. Material of foundation.....Concrete.....Size footings.....12" x 12".....Size wall.....12" x 12".....Depth below ground.....4'.....
15. Size of Redwood Mudsills.....4" x 6".....Size of interior bearing studs.....2" x 4".....
16. Size of exterior studs.....2" x 4".....Size of interior non-bearing studs.....2" x 4".....
17. Size of first floor joists.....2" x 8".....Second floor joists.....2" x 12".....
18. Will all provisions of State Dwelling House Act be complied with?.....Yes.....

I have carefully examined and read the above blank and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

(Sign here)

Gene Contractor
(Owner or Authorized Agent.)

FOR DEPARTMENT USE ONLY

APPLICATION	O. K.
CONSTRUCTION	O. K. <i>Kareem</i>
ZONING	O. K. <i>f</i>
SET-BACK LINE	O. K. <i>f</i>
ORD. 33761 (N. S.)	O. K. <i>f</i>
FIRE DISTRICT	O. K. <i>f</i>

I HEREBY AGREE TO LOCATE AND BUILD-
ING ON INTERESTED AND TRACTS
INVESTMENT FOR THE YEAR 1957
PROPERTY FOR THE YEAR 1957
NEARBY
BUT, I, ON 1957

Applications must be filled out by applicant

Bldg. Form 1

PLANS AND SPECIFICATIONS
and other data must also be filed

BOARD OF PUBLIC WORKS

DEPARTMENT OF BUILDINGS

Application for the Erection of Buildings CLASS "A" - "B" - "C"

To the Board of Public Works of the City of Los Angeles:

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Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

TAKE TO
ROOM No. 6
FIRST
FLOOR

CITY CLERK
PLEASE
VERIFY

TAKE TO
ROOM No. 405
SOUTH
ANNEX

ENGINEER
PLEASE
VERIFY

Lot No. 8 and N. 45.32' of Lot 9 Block 89 Ord's Survey

Description of Property

Carson and Currier's Subdivision

District No.

M. B. Page

F. B. Page

No. 1238-40 So Figueroa

(Location of Job)

Street

USE INK OR INDELIBLE PENCIL

1. Purpose of Building Auto Sales and Service No. of Rooms See plans No. of families

2. Owner's name J. A. GRAVES Phone 62166

3. Owner's address Farmers & Merchant Bank

4. Architect's name MORGAN, WALLS & MORGAN Phone 62948

5. Contractor's name Barin Burch Phone

6. Contractor's address

7. TOTAL VALUATION OF BUILDING {Including Plumbing, Gas Fitting, Sewers, Cesspools, Elevators, Painting, Finishing, etc.} \$85,000.00

8. Any other buildings on lot at present? No How used?

9. Size of proposed building 95'4" x 150'3" Size of lot 95'4" x 155'0" feet

10. Number of stories in height Two Height to highest point 43'1-5/8"

11. Material of foundation Concrete Character of soil Sandy loam Gravel

12. Size of footings See Plans 2'2" Depth below surface of ground See plans 4'0"

13. Number of chimneys None Material of chimneys None

14. Number of inlets to each flue Interior size of such flues x x

15. Material of exterior walls Concrete frame, brick filler walls

16. Material of interior construction Hollow tile and metal lath and plaster partitions

17. Material of floors Concrete, except portion of mezzanine which is wood.

18. Material of roof Concrete

19. Are there any other buildings within 30 feet of the proposed structure? Yes.

I have carefully examined and read the above application and know the same is true and correct, and hereby certify and agree that if a permit is issued that all of the provisions of the Building Ordinances will be complied with, whether herein specified or not; also certify that the plans and specifications herewith filed conform to all of the provisions of the Building Ordinances and State Laws.

(Sign here)

Thayer Waller Morgan
(Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY

PERMIT NO. 20672 21117	Plans and specifications checked and found to conform to Ordinances, State Laws, etc. Plan Examiner.	Application checked and found O. K. Clerk.	Stamp here with Permit No. MAY 7 1923 L. A. Bldg. Dept.
------------------------------	---	---	---

REMARKS

~~20500~~ 2500 yds of Concrete
80 Tons of Steel
3430 Bbls Cement

All Applications Must be Filled Out by Applicant

Bldg. Form 3

PLANS AND SPECIFICATIONS
and other data must also be filed

3

DEPARTMENT OF BUILDING AND SAFETY

Application to Alter, Repair or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

TAKE TO
ROOM No. 6
REAR OF
NORTH
ANNEX
1st FLOOR
CITY CLERK
PLEASE
VERIFY

TAKE TO
FIRST FLOOR
242 SO.
BROADWAY
ENGINEER
PLEASE
VERIFY

Lot.....Block.....
Tract.....
Book.....Page.....F. B. Page.....
From No. 1240 So Figueroa St. Street
To No. 13th Pico St. Street

Lot.....Block.....
Tract.....
Book.....Page.....F. B. Page.....
Street
Street

O.K. City Clerk
O.K. City Engineer

By Deputy

(USE INK OR INDELIBLE PENCIL)

- What purpose is the present Building now used for? automobile salesroom.
- What purpose will Building be used for hereafter? "
- Owner's name Lord Motor Car Co. Phone.....
- Owner's address 1240 So. Figueroa
- Architect's name..... Phone.....
- Contractor's name Western Sign Co. Phone Wernmore 1503
- Contractor's address 1233 So. Figueroa
- VALUATION OF PROPOSED WORK {Including Plumbing, Gas Fitting, Sewers, Cesspools, Elevators, Painting, Finishing, all Labor, etc.} \$ 100.00
- Class of present Building C No. of rooms at present.....
- Number of stories in height 3 Size of present Building.....
- State how many buildings are on this lot.....
- State purpose buildings on lot are used for.....
(Apartment House, Hotel, Residence, or any other purpose.)

STATE ON FOLLOWING LINES EXACTLY WHAT ALTERATIONS, ADDITIONS, ETC., WILL BE MADE TO THIS BUILDING:

Wish to put a sign across front of building 12 ft high up from ground. Sign is 96 ft long and 6 ft wide. Sign will not interfere with required windows, standpipes, fire escapes etc. Projection not over 3 inches. Sign temporary.

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

OVER

(Sign here) B. J. Lewis.
(Owner or Authorized Agent.)

FOR DEPARTMENT USE ONLY

PERMIT NO. <u>33020</u>	Plans and Specifications checked and found to conform to Ordinances, State Laws, etc. <u>Karn</u> 9/25 Plan Examiner	Application checked and found O. K. <u>Price</u> 11/25 Clerk	Stamp here when permit is issued <u>SEP 25 1925</u>
----------------------------	--	--	--

For plan.

13. Size of new addition.....7' x 12'.....No. of Stories in height.....
14. Material of foundation.....Size footings.....Size wall.....Depth below ground.....
15. Size of Redwood Mudsills.....x.....Size of interior bearing studs.....x.....
16. Size of exterior studs.....x.....Size of interior non-bearing studs.....x.....
17. Size of first floor joists.....x.....Second floor joists.....x.....
18. Will all provisions of State Housing Act be complied with?.....

I have carefully examined and read the above blank and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

(Sign here).....
(Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY

APPLICATION	O. K.
CONSTRUCTION	O. K.
ZONING	O. K.
SET-BACK LINE	O. K.
ORD. 33761 (N. S.)	O. K.
FIRE DISTRICT <u>#1</u>	O. K.

REMARKS

3" max 16" x 96" 12'-0" sidewalk

3

CITY OF LOS ANGELES
DEPARTMENT OF BUILDING AND SAFETY
BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

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Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot..... Lot.....

Tract..... Tract.....

Present location of building } 1604 S. Figueroa (House Number and Street)
New location of building } 1240 S. Figueroa (House Number and Street)
Between what cross streets } 12th and Pico Blvd.

Approved by
City Engineer.

Deputy.

- Purpose of PRESENT building. Stores and offices Families 0 Rooms 28
Store, Residence, Apartment House, or any other purpose.
- Use of building AFTER alteration or moving. Same Families 0 Rooms 28
- Owner (Print Name) The Thompson - Struebling Co. Phone.....
- Owner's address 1240 S. Figueroa
- Certificated Architect..... State License No..... Phone.....
- Licensed Engineer..... State License No..... Phone.....
- Contractor Q. R. S. Sign Corp. State License No. 13131 Phone AD 3131
- Contractor's address 3520 S. Main St.,
- VALUATION OF PROPOSED WORK {Including all Material, Labor, Finishing, Equipment} \$ 60.00
{and Appliances in Completed Building.}
- State how many buildings NOW } 1
on lot and give use of each. } Residence, Hotel, Apartment House, or any other purpose.
- Size of existing building 100x128 Number of stories high 2 Height to highest point 30
- Class of building "A" Material of existing walls Conc. Exterior framework Conc.
Wood or Steel

Describe briefly and fully all proposed construction and work:

Moving an existing roof sign and raising it six feet
as indicated on the accompanying plans.

Fill in Application on other Side and Sign Statement

(OVER)

PERMIT NO. 5080	FOR DEPARTMENT USE ONLY 4-7-33				Fee..... Stamp here when Permit is issued. APR 11 1933
	Plans and Specifications checked	Zone	Fire District		
	Corrections verified	Set Back	Street Widening		
	Plans, Specifications and Applications rechecked and approved	Application checked and approved			
PLANS 4/1/33	For Plans See	Filed with	Required SPRINKLER	Specified	Inspector
			Yes-No	Yes-No	

PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition ☒ Size of Lot ☒ Number of Stories when complete ☒

Material of Foundation ☒ Width of Footing ☒ Depth of footing below ground ☒

Width Foundation Wall ☒ Size of Redwood Sill ☒ Material Exterior Walls ☒

Size of Exterior Studs ☒ Size of Interior Bearing Studs ☒

Foists: First Floor ☒ Second Floor ☒ Rafters ☒ Roofing Material ☒

I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State laws.

Sign Here ☒ G. R. S. Sign Corp., Ltd.

(Owner or Authorized Agent)

By

FOR DEPARTMENT USE ONLY

Application	Fire District	Set back	Permit Inspection
Construction	Zoning	Street Widening	Forced Draft Ventil.

(1) REINFORCED CONCRETE

The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from Street

Barrels of Cement

Tons of Reinforcing Steel

(3) No required windows will be obstructed.

(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.

Sign Here

(Owner or Authorized Agent)

REMARKS:

3

CITY OF LOS ANGELES
DEPARTMENT OF BUILDING AND SAFETY
BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot..... Lot.....

Tract..... Tract.....

Present location of building } 1240 So. Figueroa
(House Number and Street)
New location of building } same + 1250 So Figueroa
(House Number and Street)
Between what cross streets } 12th + Pico

Approved by
City Engineer.

Deputy.

- Purpose of PRESENT building Auto. Sales + Garage Families 1 Rooms 1
(Store, Residence, Apartment House, Hotel, or any other purpose)
- Use of building AFTER alteration or moving same Families 1 Rooms 1
- Owner (Print Name) THOMPSON-NASH MOTORS. Phone PR 3111
- Owner's Address 1240 So. FIGUEROA.
- Certificated Architect [Signature] State License No. Phone
- Licensed Engineer [Signature] State License No. Phone
- Contractor A. N. MUNMERT State License No. 4921 Phone FE 1309
- Contractor's Address 3084 W. OLYMPIC
- VALUATION OF PROPOSED WORK [Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon.] \$ 550⁰⁰
- State how many buildings NOW } one sales room
on lot and give use of each. }
(Residence, Hotel, Apartment House, or any other purpose)
- Size of existing building.....x.....Number of stories high 2 Height to highest point.....
- Class of building A Material of existing walls concrete Exterior framework steel
(Wood or Steel)

Describe briefly, and fully all proposed construction and work:

cut openings in 21" brick wall to make passage way between the 2 bldgs same to be covered by Class A fire proof doors installed by Calif. Fireproof door Co. (1923 So. Los Angeles). 1 door on each side of partition, 10" I Beam above opening. 16" bracing

Fill in Application on other Side and Sign Statement

(OVER)

PERMIT NO. 15418	FOR DEPARTMENT USE ONLY				Fee..... Stamp here when Permit is issued SEP - 3 1935
	Plans and Specifications checked <u>[Signature]</u>	Zone <u>B3</u>	Fire District No. <u>1</u>		
	Corrections verified <u>[Signature]</u>	Bldg. Line <u> </u> Ft.	Street Widening <u> </u> Ft.		
	Plans, Specifications and Applications checked and approved <u>[Signature]</u>	Application checked and approved <u>[Signature]</u>			
PLANS <u>9/13</u>	For Plans See <u> </u>	Filed with <u> </u>	SPRINKLER Specified Valuation Included <u> </u> Specified <u> </u> No		Inspector <u>[Signature]</u>

PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition. ☒ Size of Lot. ☒ Number of Stories when complete. ☒
Material of Foundation. ☒ Width of Footing. ☒ Depth of Footing below ground. ☒
Width Foundation Wall. ☒ Size of Redwood Sill. ☒ Material Exterior Walls. ☒
Size of Exterior Studs. ☒ Size of Interior Bearing Studs. ☒
Joists: First Floor. ☒ Second Floor. ☒ Rafters. ☒ Roofing Material. ☒
I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State Laws.

Sign Here *F A H Mowman*
(Owner or Authorized Agent)

By *RE/3 March*

FOR DEPARTMENT USE ONLY			
Application	File District	Bldg. Line	Termite Inspection
Construction	Zoning	Street Widening	Forced Draft Ventil.

(1) REINFORCED CONCRETE

Barrels of Cement
Tons of Reinforcing Steel

Sign Here
(Owner or Authorized Agent)

(2) The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from Street

(3) No required windows will be obstructed.

Sign Here
(Owner or Authorized Agent)

(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.

REMARKS:

3

CITY OF LOS ANGELES
DEPARTMENT OF BUILDING AND SAFETY
BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot.....Same.....Lot.....9.....
 Tract.....Carson & Turners.....
 Tract.....Sub. of Bk. 89 and Survey.....

Present location of building } 1240 - So - Figueroa St }
 (House Number and Street)
 New location of building } Same }
 (House Number and Street)
 Between what cross streets } 12th & Pico }
 Approved by City Engineer.
 Deputy.

- Purpose of PRESENT building.....Show Room - Auto.....Families.....Rooms.....
 (Store, Residence, Apartment House, Hotel, or any other purpose)
- Use of building AFTER alteration or moving.....Same.....Families.....Rooms.....
- Owner (Print Name).....THOMPSON NASH Co......Phone.....
- Owner's Address.....1240 - So - Figueroa St.....
- Certificated Architect.....None.....State License No.....Phone.....
- Licensed Engineer.....None.....State License No.....Phone.....
- Contractor.....A. H. Mammert.....State License No. 4921.....Phone FE. 1309
- Contractor's Address.....3084 - W. Olympic.....
- VALUATION OF PROPOSED WORK.....One - Auto Show Rm......
 Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon. \$ 75.00
- State how many buildings NOW } One - Auto Show Rm. }
 on lot and give use of each. (Residence, Hotel, Apartment House, or any other purpose)
- Size of existing building 100 x 150 Number of stories high 2 Height to highest point.....
- Class of building.....C.....Material of existing walls Brick.....Exterior framework.....
 (Wood or Steel)

Describe briefly and fully all proposed construction and work:

When 4-12' x 15' plate glass windows are removed we propose to remove 2' x 15' of brick work from under the 4- openings, & install folding steel doors.

Fill in Application on other Side and Sign Statement

(OVER)

PERMIT NO. 3389	FOR DEPARTMENT USE ONLY <u>5518</u>				Fee..... <u>1.50</u> Stamp here when Permit is issued FEB -2 1937
	Plans and Specifications checked	Zone <u>M2</u>	Fire District No. <u>1</u>		
	Corrections verified	Bldg. Line <u>10' 0"</u>	Street Widening <u>10'</u> Ft.		
	Plans, Specifications and Applications rechecked and approved	Application checked and approved <u>2/2/37</u> Clerk			
PLANS	For Plans See	Filed with	Required Valuation Included	SPRINKLER Specified Yes-No	Inspector <u>[Signature]</u>
Rec'd.....					<u>[Signature]</u>

PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition.....x.....Size of Lot.....x.....Number of Stories when complete.....
Material of Foundation.....Width of Footing.....Depth of footing below ground.....
Width Foundation Wall.....Size of Redwood Sill.....Material Exterior Walls.....
Size of Exterior Studs.....Size of Interior Bearing Studs.....
Joists: First Floor.....x.....Second Floor.....x.....
Rafters.....x.....Roofing Material.....
I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State Laws.

Sign Here.....
A. H. Mearns
By.....
Ray B. Denny
(Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY

Application.....	Fire District.....	Bldg. Line.....	Termite Inspection.....	Forced Draft Ventil.....
Construction.....	Zoning.....	Street Widening.....		

(1) REINFORCED CONCRETE
Barrels of Cement.....
Tons of Reinforcing Steel.....
(2) The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from.....Street.....
Sign Here.....
(Owner or Authorized Agent)

(3) No required windows will be obstructed.
Sign Here.....
(Owner or Authorized Agent)

(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.
Sign Here.....
(Owner or Authorized Agent)

REMARKS: P-2-37 Permit OK This location is not affected by the proposed widening of Highway St. as shown in Red Book # 732610 John R. Bruce
By Officer O'Callahan

3

APPLICATION TO ALTER, REPAIR OR DEMOLISH AND FOR A Certificate of Occupancy

CITY OF LOS ANGELES
DEPARTMENT
OF
BUILDING AND SAFETY
BUILDING DIVISION

Lot No.

Tract

Location of Building

1240 So FIGUEROA

(House Number and Street)

Approved by
City Engineer

Between what cross streets

Pico & 12th St

Deputy.

USE INK OR INDELIBLE PENCIL

- Present use of building SALES ROOM & GARAGE Families Rooms
(Store, Dwelling, Apartment House, Hotel or other purpose)
- State how long building has been used for present occupancy
- Use of building AFTER alteration or moving Families Rooms
- Owner NASH CALIFORNIA CO Phone
(Print Name)
- Owner's Address 1240 So FIGUEROA ST. P. O.
- Certificated Architect State License No. Phone
- Licensed Engineer State License No. Phone
- Contractor QRS NEON CORP. LTD. State License No. 27902 Phone
- Contractor's Address 1717 CORDOVA ST. RO. 0131
- VALUATION OF PROPOSED WORK Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment therein or thereon. \$610.00
- State how many buildings NOW } on lot and give use of each. (Store, Dwelling, Apartment House, Hotel or other purpose)
- Size of existing building x Number of stories high 3 Height to highest point
- Material Exterior Walls MASONRY Exterior framework STEEL
(Wood, Steel or Masonry) (Wood or Steel)
- Describe briefly all proposed construction and work:

ERECT 2 METAL NEON SIGN ON EXIST
BLDG

NEW CONSTRUCTION

- Size of Addition x Size of Lot x Number of Stories when complete
- Footing: Width Depth in Ground Width of Wall Size of Floor Joists x
- Size of Studs x Material of Floor Size of Rafters x Type of Roofing

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here

By

(Owner or Authorized Agent)

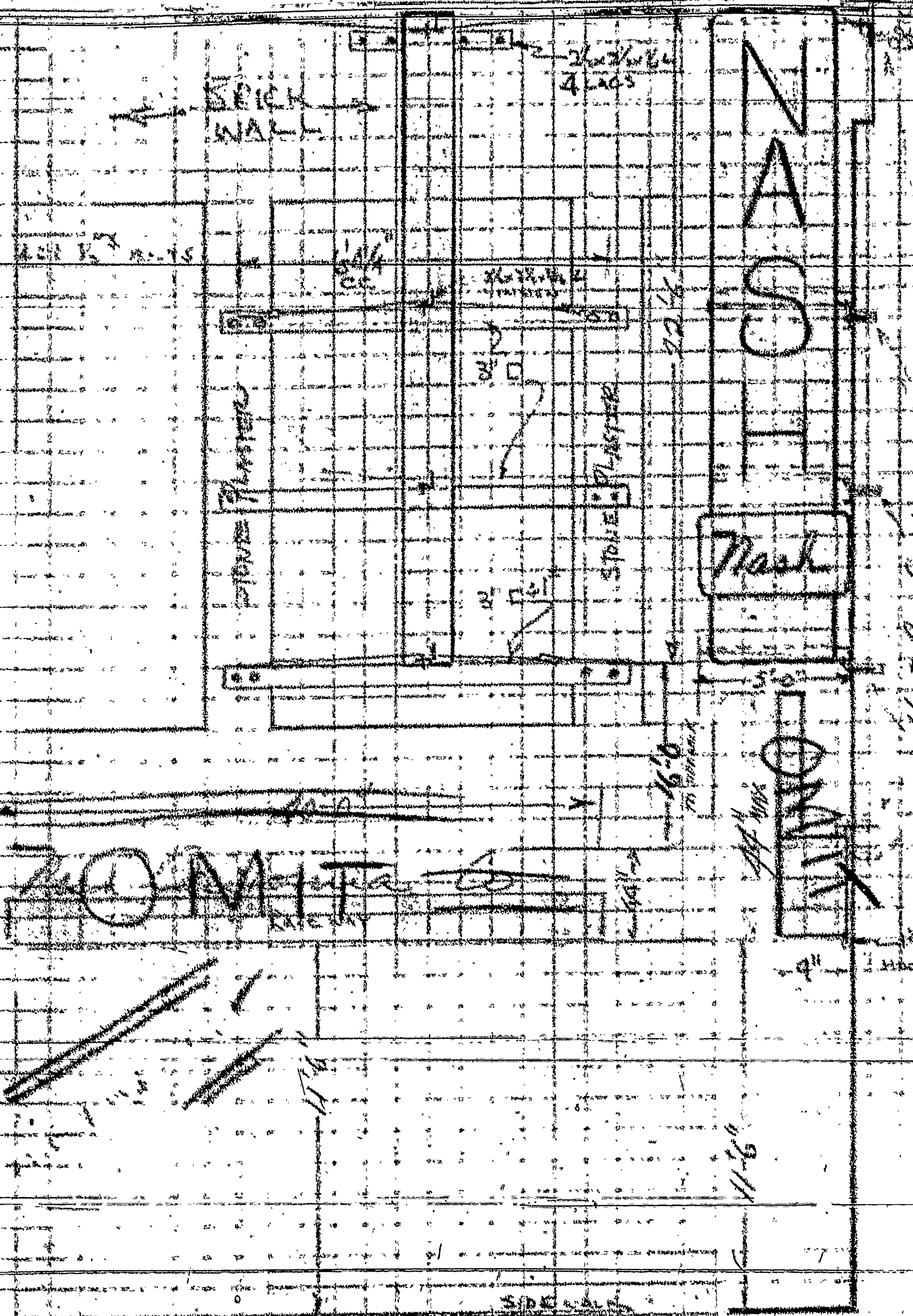
FOR DEPARTMENT USE ONLY

(1) PLAN CHECKING				(2) REINFORCED CONCRETE		Bldg. Per. <u>450</u>	
Receipt No. <u> </u>				Bbls. <u> </u>		Cert. of Occupancy <u> </u>	
Valuation \$ <u> </u>				Cement <u> </u>		FEES	
Fee Paid \$ <u> </u>				Tons of Reinforcing Steel <u> </u>		Total <u>450</u>	
TYPE	GROUP	Maximum No. Occupants	Inside Lot	Key Lot	Lot Size	Feet rear alley	Clerk
			Corner Lot	Corner Lot Keyed		Feet side alley	<u>90H</u>
PERMIT No.		Plans and Specifications checked		Zone <u>M2</u>	Fire District No. <u>1</u>	District Map No. <u> </u>	
<u>27746</u>		Correction Verified		Rdg. Line <u> </u> Ft.	Street Widening <u> </u> Ft.	Stamp here when Permit is issued	
		Plans, Specifications and Application rechecked and approved.		Application checked and approved			
PLANS		<u>Res. Van Gorder</u>		<u>007 23 1946</u>		Clerk	
		For Plans See		SPRINKLER		Inspector	
		Filed with		Specified - Required		<u>MEADENHALL</u>	
				Valuation Included			

Revised drawing Oct. 17, 1966

for same as 2 previous

CABLE & TUBS BUCKLES - 304L



1/2\"/>

ACT DEC 11 5202 G

Form 2-4
CITY OF LOS ANGELES
DEPARTMENT
OF
BUILDING AND SAFETY
BUILDING DIVISION

7363 — 2.00

VAL = $\frac{126}{12} \times \frac{30}{12} \times 2 = 7117.35$

FLYOT PLAN

NASH BLDG

SETBACK FORMED

FLYOT PLAN

ALLEY

BLDG

SIGN

REGAIN CARLOS

STREET IRON

JAN 13 1937

ALREADY A CITY

DOOR

REAR ELEVATION

(ALLEY)

SECTION

SIDEWALK

5'-0" WIDE

FLYOT

11240

50'

10'-0"

FLYOT

REINFORCED CONCRETE WALL

3

APPLICATION TO ALTER, REPAIR OR DEMOLISH AND FOR A Certificate of Occupancy

CITY OF LOS ANGELES
DEPARTMENT
OF
BUILDING AND SAFETY
BUILDING DIVISION

Lot No.

Tract

Location of Building 1240 S. FIGUEROA ST.

(Street Number and Street)

Approved by
City EngineerBetween what cross streets PICO & 12TH ST

Deputy

USE INK OR INDELIBLE PENCIL.

1. Present use of building AUTO. AGENCY Families _____ Rooms _____
(Store, Dwelling, Apartment House, Hotel or other purpose)
2. State how long building has been used for present occupancy _____
3. Use of building AFTER alteration or moving _____ Families _____ Rooms _____
4. Owner NASH CALIFORNIA CO Phone _____
5. Owner's Address 1240 S. FIGUEROA P. O. _____
6. Certificated Architect _____ State _____ License No. _____ Phone _____
7. Licensed Engineer _____ State _____ License No. _____ Phone _____
8. Contractor QRS NEON CORP. LTD. State _____ License No. 27902 Phone _____
9. Contractor's Address 1717 CORDOVA ST. RO 0131 State _____ License No. _____ Phone _____
10. VALUATION OF PROPOSED WORK _____
(Including labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire apparatus, electrical wiring and devices, equipment, fixtures or fixtures.) 440
11. State how many buildings NOW on lot and give use of each _____
(Store, Dwelling, Apartment House, Hotel or other purpose)
12. Size of existing building _____ x _____ Number of stories high _____ Height to highest point _____
13. Material Exterior Walls MASONRY Exterior framework METAL
(Wood, Steel or Masonry) (Wood or Steel)
14. Describe briefly all proposed construction and work:
INSTALL METAL NEON SIGN ON EXISTING BUILDING

NEW CONSTRUCTION

15. Size of Addition _____ x _____ Size of Lot _____ x _____ Number of Stories when complete _____
16. Footing: Width _____ Depth in Ground _____ Width of Wall _____ Size of Floor Joists _____
17. Size of Studs _____ x _____ Material of Floor _____ Size of Rafters _____ x _____ Type of Roofing _____

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here

JAN 15 1947

By A. E. G. [Signature]

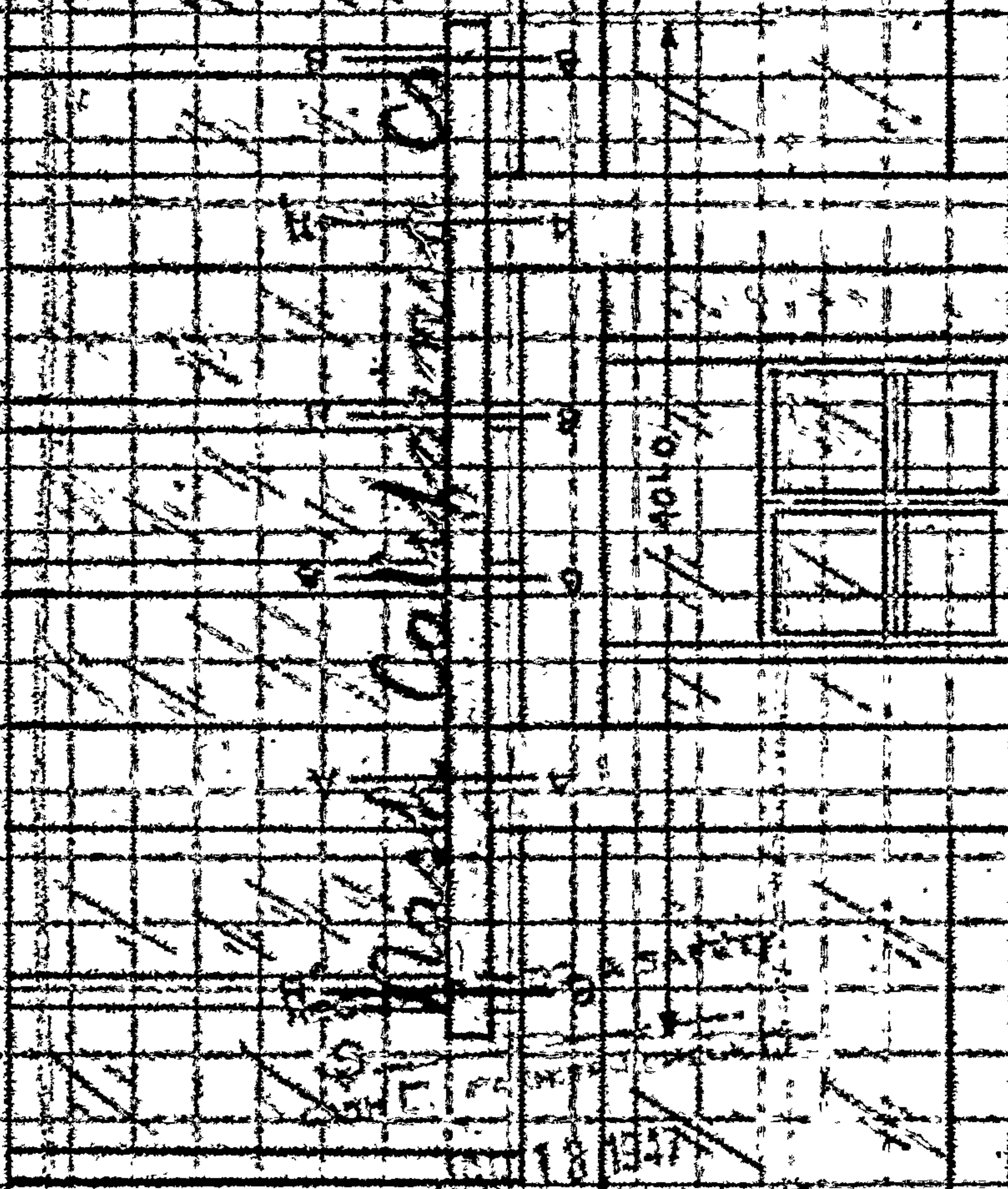
FOR DEPARTMENT USE ONLY

(1) PLAN CHECKING				(2) REINFORCED CONCRETE				Fees			
Receipt No. _____				Bldg. Per. <u>9.50</u>				Cert. of Occupancy _____			
Valuation \$ _____				Cement _____				Total _____			
Fee Paid \$ _____				Time of Rebar- forcing Steel _____				Post test alloy _____			
TYPE GROUP		Maximum No. Occupants		Inside Lot Corner Lot		Key Lot Corner Lot Keyed		Lot Size		Pl. alloy _____	
PREMIT No. <u>651</u>		Plans and Specifications checked		Zone <u>M</u>		Fire District		District Map No. _____		_____	
		Correction Varied		Bldg. Line		Street Widening					
PLANS		Plans, Specifications and Application checked and approved.		Application checked and approved		JAN 14 1947		Stamp: Jan 15 1947			
For Plans Fee		Plan with		Inspection		SPRINKLER		Specified - Required		Inspection	

* 5756-4 3.50

VAL = 40 x 1/4 x 1/4 = 4.00

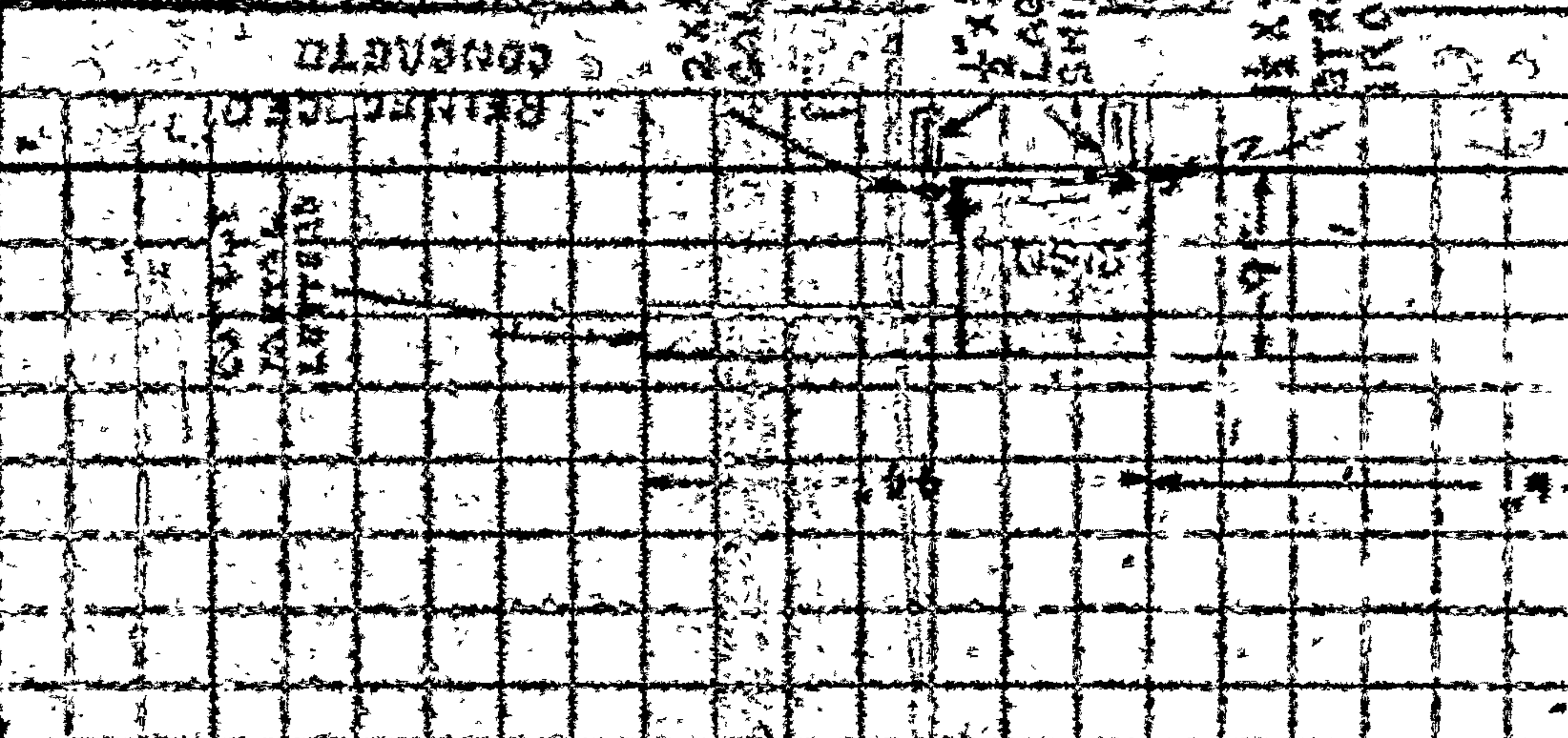
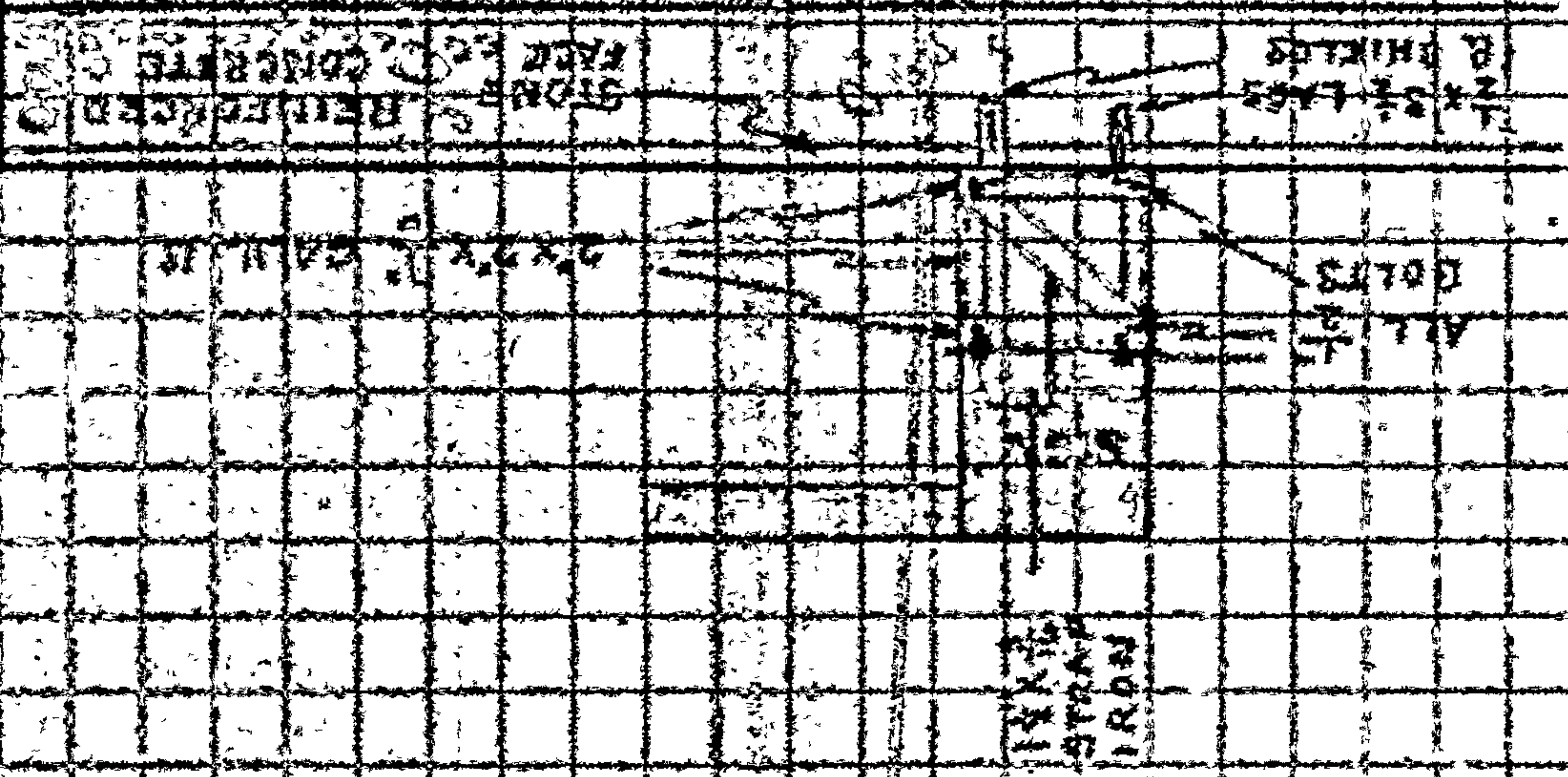
Checked by _____
Designed by _____
MADE IN U.S.A.



ELEVATION

SEC. B-B

SEC. A-A



3

APPLICATION TO ALTER, REPAIR OR DEMOLISH AND FOR A Certificate of Occupancy

Form 6-1
CITY OF LOS ANGELES
DEPARTMENT
OF
BUILDING AND SAFETY
BUILDING DIVISION

Lot No.

Tract

Location of Building 1240 S FIGUEROA

(House Number and Street)

Approved by
City EngineerBetween what cross streets PICO & 11TH

Dputy.

USE INK OR INDELIBLE PENCIL

1. Present use of building AUTO AGENCY Families _____ Rooms _____
(Store, Dwelling, Apartment House, Hotel or other purpose)
2. State how long building has been used for present occupancy _____
3. Use of building AFTER alteration or moving _____ Families _____ Rooms _____
4. Owner NASH CALIFORNIA CO. Phone _____
5. Owner's Address 1240 S FIGUEROA P. O. _____
6. Certified Architect _____ State _____ License No. _____ Phone _____
7. Licensed Engineer _____ State _____ License No. _____ Phone _____
8. Contractor ORS NEON CORP. LTD. State _____ License No. 27902 Phone _____
9. Contractor 1133 CO. EVAST. NO. 0131
10. VALUATION OF PROPOSED WORK 163.00
(Include labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment therein or thereon.)

11. State how many buildings NOW on lot and give use of each. _____
(Store, Dwelling, Apartment House, Hotel or other purpose)
12. Size of existing building _____ x _____ Number of stories high _____ Height to highest point _____
13. Material Exterior Walls REINFORCED CONCRETE Exterior framework METAL
(Wood, Steel or Masonry) (Wood or Steel)
14. Describe briefly all proposed construction and work:
INSTALL METAL NEON SIGN ON REAR ELEVATION OF ELEVATOR SHAFT TOWER

NEW CONSTRUCTION

15. Size of Addition _____ x _____ Size of Lot _____ x _____ Number of Stories when complete _____
16. Footing: Width _____ Depth in Ground _____ Width of Wall _____ Size of Floor Joists _____ x _____
17. Size of Studs _____ x _____ Material of Floor _____ Size of Rafters _____ x _____ Type of Roofing _____

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

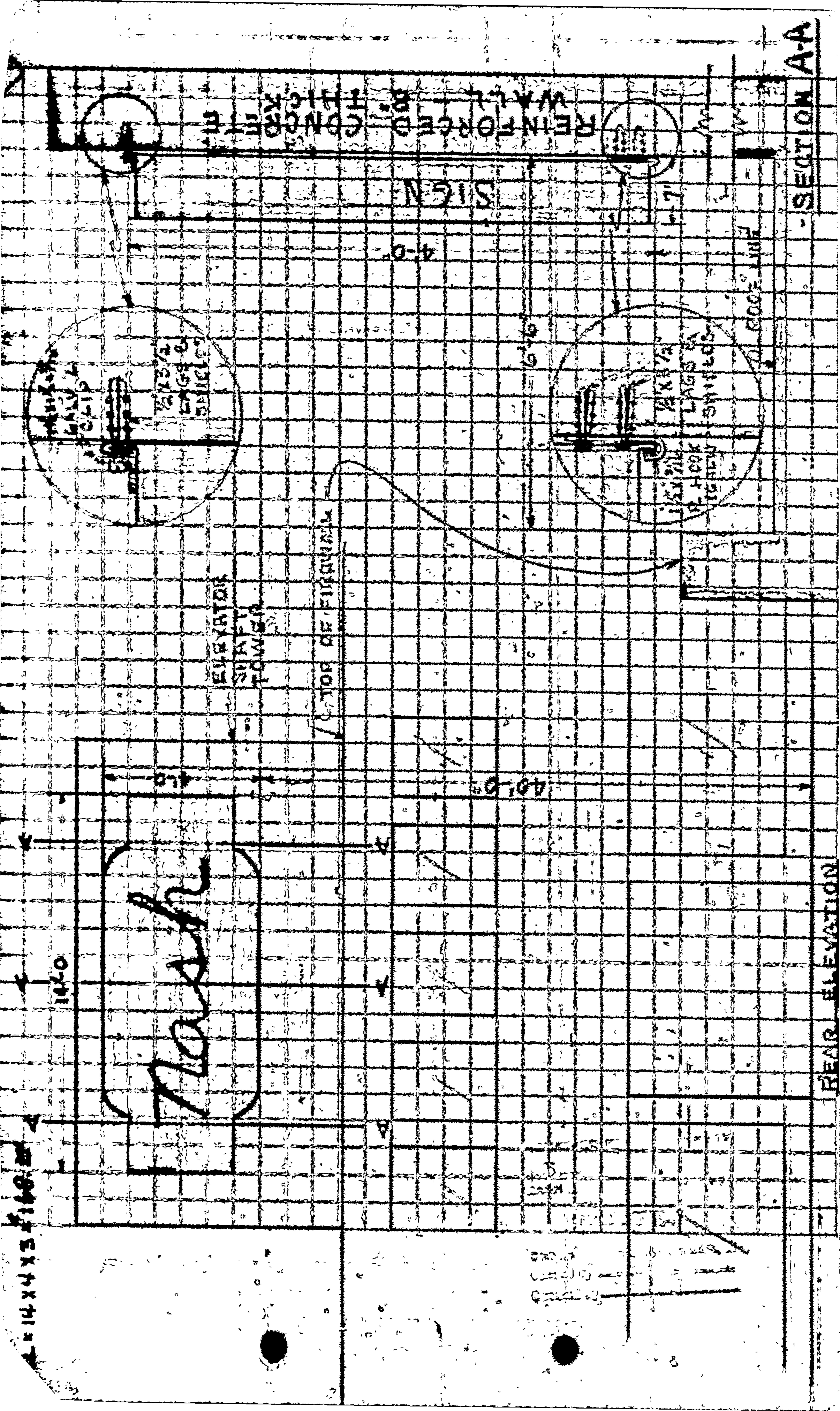
Signed here ORS NEON CORP. LTD. - LOS ANGELESBy John S. [Signature]

FOR DEPARTMENT USE ONLY

(1) PLAN CHECKING		(2) REINFORCED CONCRETE		FEES	
Receipt No.		Reb. Cement		Edge Per.	
Valuation \$		Tons of Reinforcing Steel		Cart of Occupancy	
Fee Paid \$				Total	<u>2</u>
TYPE	GROUP	Maximum No. Occupants	Inside Lot	Key Lot	Lot Area
			Corner Lot	Corner Lot Keyed	
PERMIT No.	Plans and specifications checked	Plans	Reinforcing Steel	Fire Escapes	No.
<u>1133</u>	Correction Verified	Reinforcing Steel	Reinforcing Steel	Fire Escapes	No.
	Plans, specifications and application reviewed and approved	Reinforcing Steel	Reinforcing Steel	Fire Escapes	No.
PLANS	For Plans use	Reinforcing Steel	Reinforcing Steel	Fire Escapes	No.
Mark		Reinforcing Steel	Reinforcing Steel	Fire Escapes	No.

5882 - 2.00

PLEASE ELEVATION!



3

APPLICATION TO ALTER, REPAIR, OR DEMOLISH AND FOR A Certificate of Occupancy

Form B-3-1-1-3-0
CITY OF LOS ANGELES
DEPARTMENT
OF
BUILDING AND SAFETY
BUILDING DIVISION

Lot No. 10-11-12-13 Blk 27
Tract Tract 10-11-12-13
Location of Building 1248 S. Figueroa St.
(House Number and Street)
Between what cross streets Bellevue & 12th
USE INK OR INDELIBLE PENCIL.

Approved by
City Engineer

Deputy.

1. Present use of building Garage Families _____ Rooms _____
(Store, Dwelling, Apartment House, Hotel or other purpose)
2. State how long building has been used for present occupancy 10 years
3. Use of building AFTER alteration or moving Same Families _____ Rooms _____
4. Owner Nash Motors Phone _____
(Print Name)
5. Owner's Address Same P. O. _____
6. Certificated Architect _____ State _____ License No. _____ Phone _____
7. Licensed Engineer _____ State _____ License No. _____ Phone _____
8. Contractor _____ State _____ License No. _____ Phone _____
9. Contractor's Address _____

10. VALUATION OF PROPOSED WORK

Including all labor and material and all permanent
lighting, heating, ventilating, water supply, plumbing,
fire sprinkler, electrical wiring and elevator
equipment therein or thereon.

11. State how many buildings NOW on lot and give use of each. One
(Store, Dwelling, Apartment House, Hotel or other purpose)
12. Size of existing buildings 10 x 10 Number of stories high 1 Height to highest point 20
13. Material Exterior Walls Brick Exterior framework _____
(Wood, Steel or Masonry) (Wood or Steel)
14. Describe briefly all proposed construction and work:

Replace sign facing - no increase in area
no structural changes

NEW CONSTRUCTION

15. Size of Addition _____ x _____ Size of Lot _____ x _____ Number of Stories when complete _____
16. Footing: Width _____ Depth in Ground _____ Width of Wall _____ Size of Floor Joists _____
17. Size of Studs _____ x _____ Material of Floor _____ Size of Rafter _____ x _____ Type of Roofing _____

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here

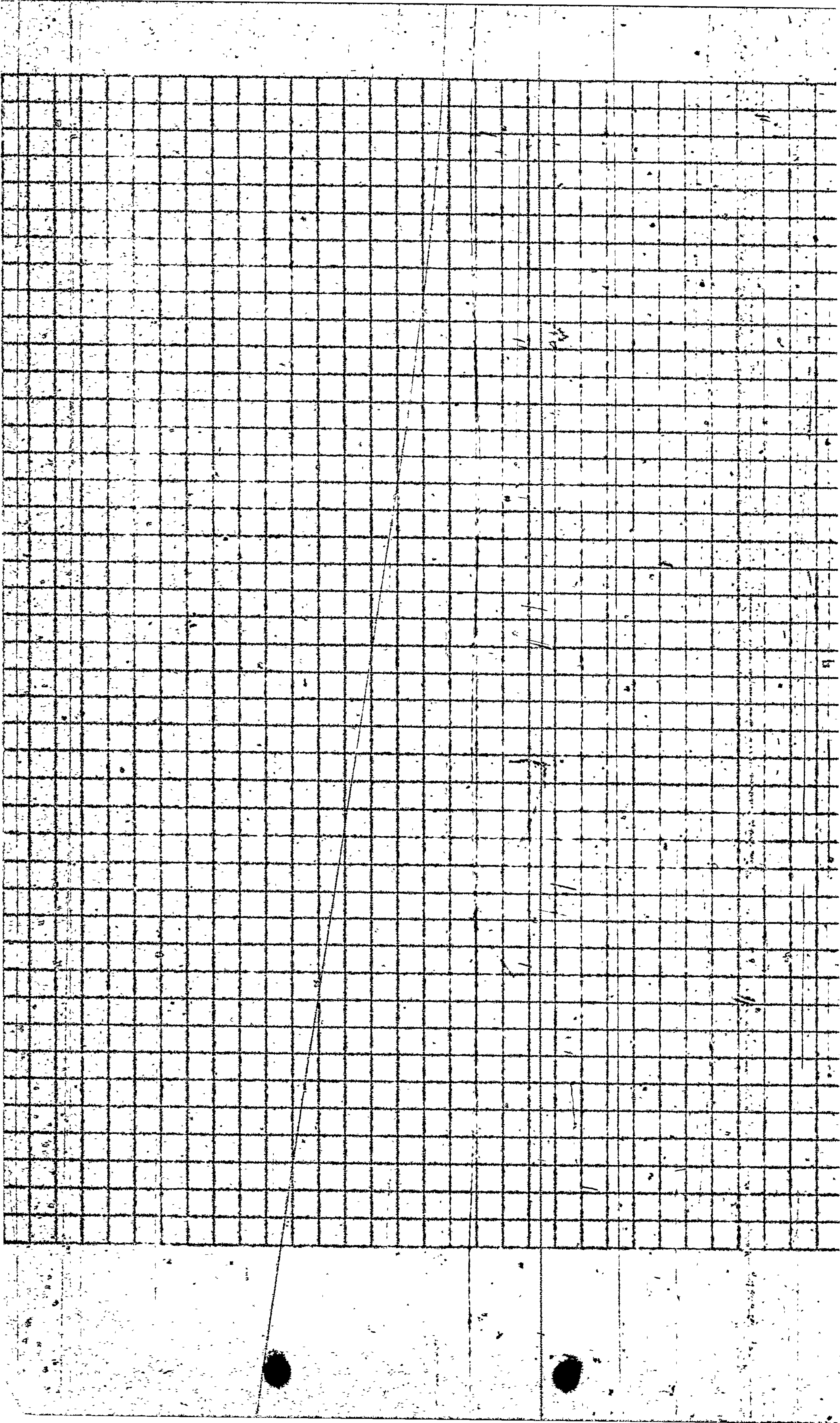
(Owner or Registered Agent)

DISTRICT
OFFICE

By

FOR DEPARTMENT USE ONLY

PLAN CHECKING		CHANGE OF OCCUPANCY		F E E S	
Date	4408	Area of Bldg.	Sq. Ft.	Bldg. Per	1.50
Receipt No.		Date		Cert. of Occupancy	
Valuation \$	100.00	Receipt No.		Total	1.50
Fee Paid \$		Fee Paid \$			
TYPE	GROUP	Maximum No. Occupants	Inside Lot	Key Lot	Lot Size
Refr. Sign			Corner Lot	Corner Lot Keyed	220 x 155
REINFORCED CONCRETE					
Rein. Cement					
Temp. of Reinforcing Steel					
PERMIT No.	LA 19105	Plans and Specifications checked	Zone	Fire District	No. 22
		Correction Ver. and	Reg. Line	Street Widening	
		Plans, Specifications and Application rechecked and approved			
PLANS		For Plans See	Filed with	Application checked and approved	AUG 17 1949
				Concurrence Inspection	SPRINKLER
				Specified-Required	Inspector
				Yes - No	G. Kent



7

Application for Permit To Erect or Alter an Electric Sign

To be made in duplicate
If filed in a Branch Office,
to be made in quadruplicate

Form B-1-724-2-0
CITY OF LOS ANGELES
DEPARTMENT
OF
BUILDING AND SAFETY

Location of Building 1240 South Figueroa

(House Number and Street)

Between what cross streets Pico & 12th Street

USE INK OR INDELIBLE PENCIL

1. Purpose of building Car Dealer

(Store, Dwelling, Apartment, House, Hotel or other purpose)

2. Owner Nash California Co.

(Print Name)

Phone BU-0331

3. Owner's address 1240 South Figueroa

P. O.

Certified Architect

4. Registered Engineer

State
Certificate No.

Phone

5. Contractor Triple "A" Neon

State

License No. 96992

Phone ST-7-5361

6. Contractor's address 11015 Cuspton

7. VALUATION OF PROPOSED WORK

Including all labor and material and all electrical wiring and equipment thereof or thereon.

8. Size of building 70' x 100' No. Stories 1

Material Exterior Walls concrete

9. Type: ☐ Projecting ☒ Wall ☐ Roof

10. ☐ New ☒ Alteration

11. Weight 800 #

Square Feet of Area

248

12. Materials of Sign Construction Steel

13. Height of Lower Edge above Grade 10'

14. Height of Upper Edge above Grade 14'

15. Distance of Outer Edge from Building 2'

16. Height of Roof Sign above Roof or Parapet

ELECTRICAL FEES

17. Number of Lamp Holders 4 Neon Signs

For issuing permit \$ 1.00

18. Number of Transformers 5

19. Number of Flashers

20. ☐ Shop Inspection

I hereby certify that to the best of my knowledge and belief the above application is correct and that this work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance. The undersigned affirms and agrees that all fluorescent or other gas-discharge tube equipment installed and connected to facilities authorized by this permit will comply in all respects with the rules and requirements of the Department of Water and Power relating to power factor and other regulations governing service to such equipment.

(Sign here) *E. J. Hunter*
Registered Electrical Contractor.

By

Supervising Electrician

DISTRICT
OFFICE

FOR DEPARTMENT USE ONLY

PLAN CHECKING		FEE SCHEDULE	
Date JUN 13 1953	Receipt No. 8390	Building Permit 5.00	
Valuation 799	Fee Paid 11.00	Electrical Permit 3.00	
TOTAL FEE			
BUILDING PERMIT No. 1A16962	Plans and Specifications checked	Name M-2	Fire Inspect
	Checked and approved	Signature	Area Widening
ELECTRICAL PERMIT No.	Plans and Specifications checked	Signature	Area Widening
	Checked and approved	Signature	Area Widening
For Plans See		Filed with	
		Stamp here date permits are issued JUN 13 1953	
		Inspector	

ELECTRIC SIGN

10/25/77

3

APPLICATION TO
ALTER, REPAIR, or DEMOLISH
AND FOR A
Certificate of Occupancy

Form B-3
CITY OF LOS ANGELES
DEPARTMENT
OF
BUILDING AND SAFETY
BUILDING DIVISION

Lot No. Portion of lot 9 and lot 10
Tract Carson & Curriers, sub. of blk 89, Ords sub.
Location of Building 1248 S. Figueroa St
(House Number and Street)
Between what cross streets? 12th St & Pico St

Approved by
City Engineer

Deputy.

USE INK OR INDELIBLE PENCIL

1. Present use of building Auto sales & service Families _____ Rooms _____
(Store, Dwelling, Apartment House, Hotel or other purpose)
2. State how long building has been used for present occupancy 20 yrs
3. Use of building AFTER alteration or moving same Families _____ Rooms _____
4. Owner G. E. Wotkyns Phone _____
(Print Name)
5. Owner's Address Room 1200, 112 N. 9th St. P. O. L.A.
6. Certificated Architect None State _____ License No. _____ Phone _____
7. Licensed Engineer _____ State _____ License No. _____ Phone _____
8. Contractor Harry M. Lukens State _____ License No. 17869 Phone _____
9. Contractor's Address 1419 Essex St.
10. VALUATION OF PROPOSED WORK { Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment therein or thereon. } \$ 1500.00
11. State how many buildings NOW } 1 - auto sales & service
on lot and give use of each. } (Store, Dwelling, Apartment House, Hotel or other purpose)
12. Size of existing building 95' x 150' Number of stories high 2 Height to highest point 35'
13. Material Exterior Walls Concrete Exterior framework Concrete
(Wood, Steel or Masonry) (Wood or Steel)
14. Describe briefly all proposed construction and work:

Parapet wall corrections along Figueroa St and alley in rear.

NEW CONSTRUCTION

15. Size of Addition _____ x _____ Size of Lot _____ x _____ Number of Stories when complete _____
16. Footing: Width _____ Depth in Ground _____ Width of Wall _____ Size of Floor Joists _____ x _____
17. Size of Studs _____ x _____ Material of Floor _____ Size of Rafters _____ x _____ Type of Roofing _____

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here [Signature]
(Owner or Authorized Agent)

DISTRICT
OFFICE

By

FOR DEPARTMENT USE ONLY

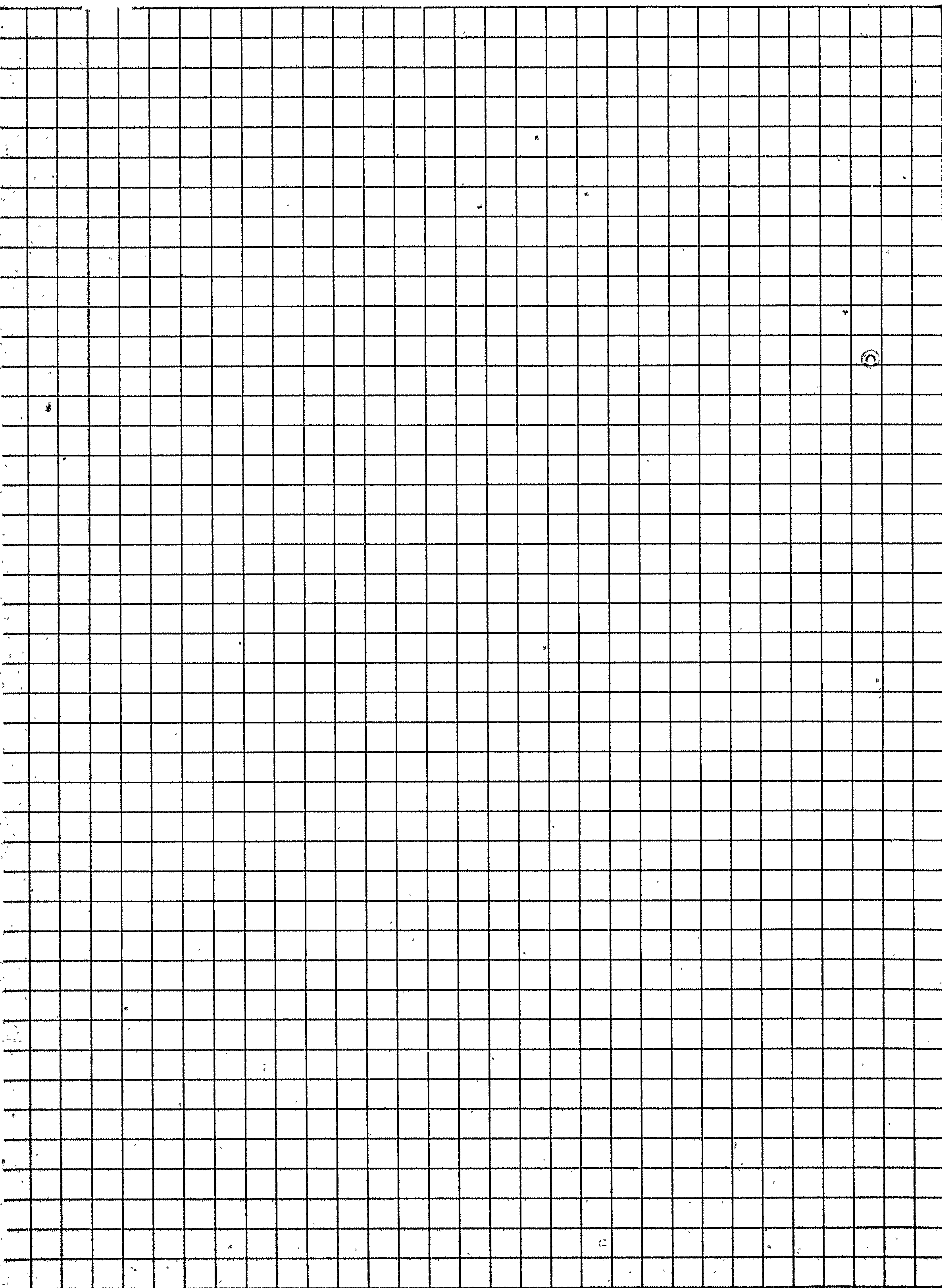
PLAN CHECKING

OCCUPANCY SURVEY

Valuation \$ <u>1500.00</u>	Area of Bldg. _____ Sq. Ft.	Investigation Fee \$ _____
Fee \$ <u>3.00</u>	Fee \$ _____	Cert. of Occupancy Fee \$ _____
TYPE <u>I</u>	Lot Size <u>20</u>	Bldg. Permit Fee \$ <u>7.50</u>
Maximum No. Occupants <u>No change</u>	Corner Lot _____	Total \$ _____
Inside Lot _____	Corner Lot Keyed _____	20' rear alley _____
GROUP <u>F-1</u>	Zone <u>M-2</u>	20' side alley _____
Plans and Specifications checked <u>[Signature]</u>	Fire District <u>80+</u>	Clerk <u>[Signature]</u>
Correction Verified _____	No. _____	District Map No. <u>5318</u>
For Plans See _____	Street Widening _____	Application checked and approved _____
FILED WITH <u>[Signature]</u>	FL. _____ Ft. _____	FEB 18 1963
Plans, Specifications and Application rechecked and approved <u>[Signature]</u>	Continuous Inspection _____	Inspector <u>[Signature]</u>
SPRINKLER Specified—Required _____	Valuation Included Yes _____ No _____	

DO NOT WRITE BELOW THIS LINE

TYPE OF RECEIPT	DATE ISSUED	TRACER NO. (MY)	RECEIPT NO.	CODE	FEE PAID
Plan Checking	FEB 18 '53		LA 52646		
Supplemental Plan Checking					
Building Permit	FEB 18 '53		LA 52646		



3

APPLICATION TO
ALTER, REPAIR, or DEMOLISH
AND FOR A
Certificate of Occupancy

Form B-3
CITY OF LOS ANGELES
DEPARTMENT
OF
BUILDING AND SAFETY
BUILDING DIVISION

Lot No. 8, 9 and S.W. 16' of lot 7
Tract Carson & Curriers, sub. of blk 89, Ord's Survey
Location of Building 1240 S. Figueroa St
(House Number and Street)
Between what cross streets? 12th + 13th Sts & Pico St

Approved by
City Engineer

Deputy.

USE INK OR INDELIBLE PENCIL

1. Present use of building Auto Sales & Service Families _____ Rooms _____
(Store, Dwelling, Apartment House, Hotel or other purpose)
2. State how long building has been used for present occupancy 20 yrs
3. Use of building AFTER alteration or moving Same Families _____ Rooms _____
4. Owner G. E. Watkins Phone _____
5. Owner's Address Room 1299 1299 W. 9th St P. O. L.A.
6. Certificated Architect None State _____ License No. _____ Phone _____
7. Licensed Engineer _____ State _____ License No. _____ Phone _____
8. Contractor Harry M. Lukens State _____ License No. 17869 Phone _____
9. Contractor's Address 1419 Essex St

10. VALUATION OF PROPOSED WORK [Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment therein or thereon.] \$ 1000
11. State how many buildings NOW on lot and give use of each. 1 auto sales & service
(Store, Dwelling, Apartment House, Hotel or other purpose)
12. Size of existing building 9.5 x 1.8 Number of stories high 2 Height to highest point 35'
13. Material Exterior Walls Concrete Exterior framework Concrete
(Wood, Steel or Masonry) (Wood or Steel)
14. Describe briefly all proposed construction and work:

Parapet wall corrections along Figueroa St and alley in rear

NEW CONSTRUCTION

15. Size of Addition _____ Size of Lot _____ Number of Stories when complete _____
16. Footing: Width _____ Depth in Ground _____ Width of Wall _____ Size of Floor Joists _____
17. Size of Studs _____ Material of Floor _____ Size of Rafters _____ Type of Roofing _____

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here [Signature]
(Owner or Authorized Agent)

DISTRICT
OFFICE

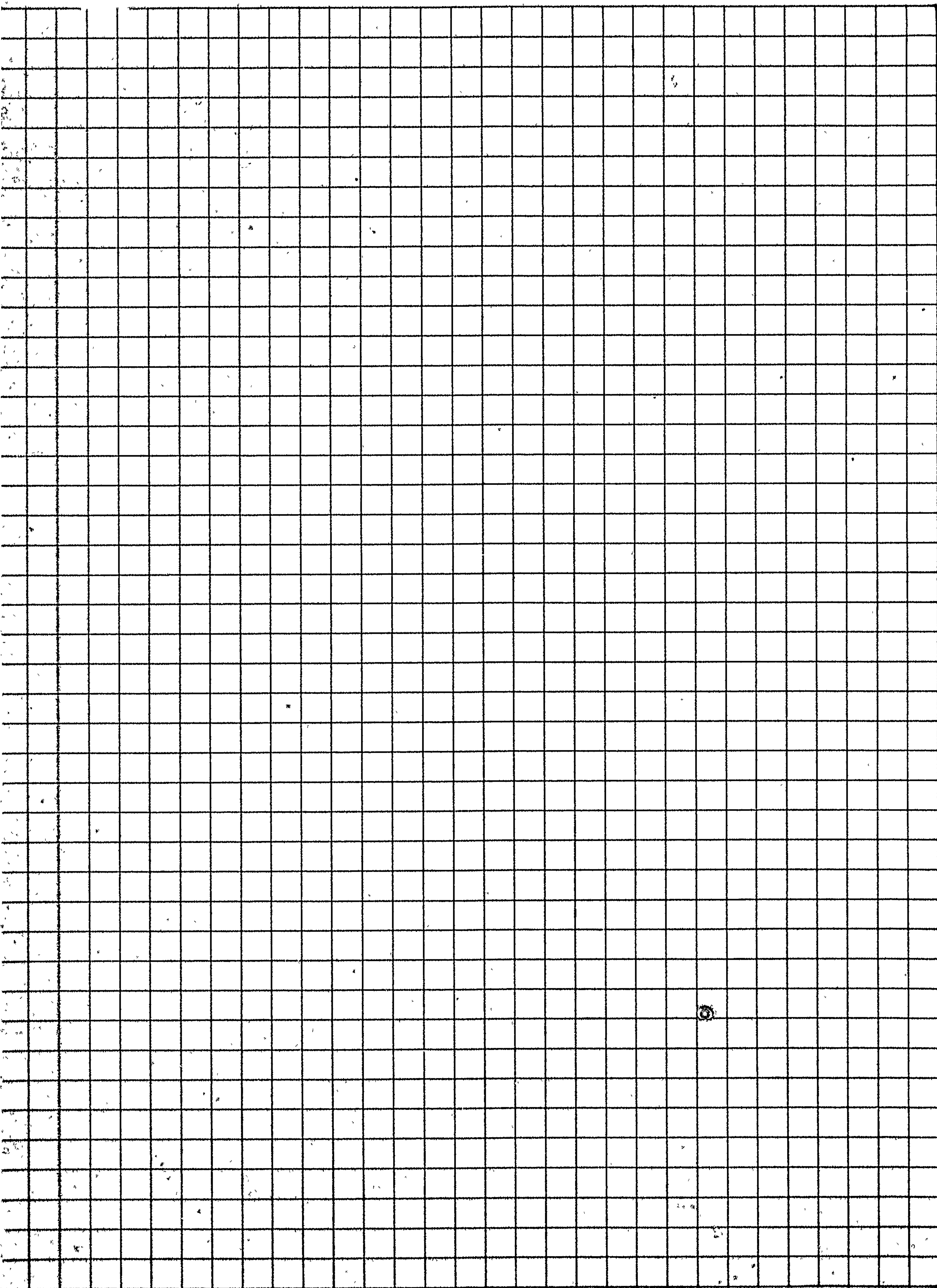
By _____

FOR DEPARTMENT USE ONLY

PLAN CHECKING				OCCUPANCY SURVEY		Investigation Fee \$ _____ Cert. of Occupancy Fee \$ _____ Bldg. Permit Fee \$ <u>6</u> Total \$ <u>6</u>	
Valuation \$ <u>1000.00</u>		Area of Bldg. _____ Sq. Ft.		Fee \$ _____		Total \$ <u>6</u>	
Fee \$ <u>2.00</u>		Fee \$ _____		Fee \$ _____		Total \$ <u>6</u>	
TYPE	Maximum No. Occupants	Inside Lot	Key Lot	Lot Size	Ft. rear alley _____ Ft. side alley _____		
<u>5</u>	<u>No change</u>	Corner Lot	Corner Lot Keyed		Clerk <u>Kindy</u>		
GROUP	Plans and Specifications checked	Zone	Fire District	No. <u>1</u>	District Map No. <u>5518</u>		
<u>F-1</u>	<u>Lukham</u>	<u>M-2</u>	No. <u>1</u>		Application checked and approved		
For Plans See	Correction Verified	Bldg. Line	Street Widening		<u>FEB 18 1953</u> Clerk		
<u>[Signature]</u>	<u>Lukham</u>						
Filed with	Plans, Specifications and Application received and approved.	Continuous Inspection	SPRINKLER Specified—Required Valuation Included Yes—No		Inspector <u>Bliss</u>		

DO NOT WRITE BELOW THIS LINE

TYPE OF RECEIPT	DATE ISSUED	TRACER NO. (M)	RECEIPT NO.	CODE	FEE PAID
Plan Checking	FEB 18 '53		LA 6896		
Supplemental Plan Checking					
Building Permit	FEB 18 '53		LA 52647		



3

● APPLICATION TO
ALTER, REPAIR, or DEMOLISH
AND FOR A
Certificate of Occupancy

Form B-2
CITY OF LOS ANGELES
DEPARTMENT
OF
BUILDING AND SAFETY
BUILDING DIVISION

Lot No. 10 7 11

Tract

Location of Building 1240 S. Figueroa St
(House Number and Street)Approved by
City EngineerBetween what cross streets? 12th & Pico Sts

Deputy.

USE INK OR INDELIBLE PENCIL

1. Present use of building Garage
(Store, Dwelling, Apartment House, Hotel or other purpose) Families. Rooms.
2. State how long building has been used for present occupancy 25 yrs
3. Use of building AFTER alteration or moving Same Families Rooms
4. Owner G. E. Wotkyns Phone
5. Owner's Address Helendale P. O. Calif.
6. Certificated Architect None State License No. 7377 Phone
7. Licensed Engineer John Lander State License No. 7371 Phone
8. Contractor Harry M. Lukens State License No. 12869 Phone
9. Contractor's Address 1419 Essex St Engle
10. VALUATION OF PROPOSED WORK Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment therein or thereon \$ 200
11. State how many buildings NOW on lot and give use of each. 1 100 x 100 Garage
(Store, Dwelling, Apartment House, Hotel or other purpose)
12. Size of existing building 100 x 100 Number of stories high 2 Height to highest point 35
13. Material Exterior Walls Masonry Exterior framework (Wood, Steel or Masonry) (Wood or Steel)

14. Describe briefly all proposed construction and work:

Repair broken concrete slab between joist on 2nd floor. Pan joist construction.

NEW CONSTRUCTION

15. Size of Addition x Size of Lot x Number of Stories when complete
16. Footing: Width Depth in Ground Width of Wall Size of Floor Joists x
17. Size of Studs x Material of Floor Size of Rafters x Type of Roofing

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here

(Owner or Authorized Agent)

DISTRICT
OFFICE

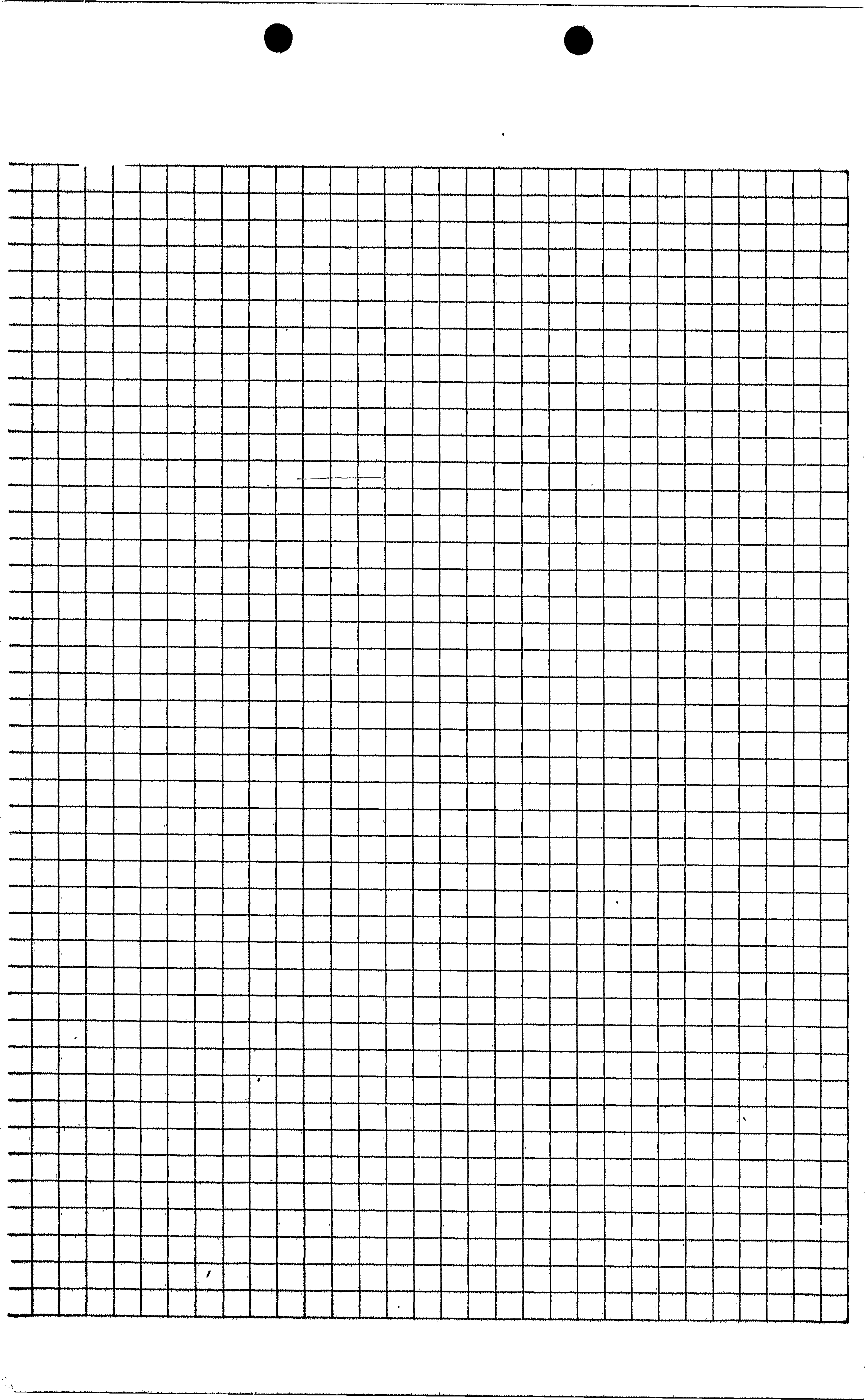
By

FOR DEPARTMENT USE ONLY

PLAN CHECKING				OCCUPANCY SURVEY		
Valuation \$ <u>200</u>		Area of Bldg. Sq. Ft.		Investigation Fee \$		
Fee \$ <u>100</u>		Fee \$		Cert. of Occupancy Fee \$		
TYPE <u>I</u>		TYPE <u>I</u>		Bldg. Permit Fee \$ <u>2</u>		
Maximum No. Occupants <u>No Change</u>		Lot Size <u>100 x 155</u>		Total \$		
Inside Lot		Corner Lot Keyed		20 Ft. rear alley		
Plans and Specifications checked <u>OK</u>		Zone <u>M-2</u>		Ft. side alley		
Correction Verified		Bldg. Line		District Map No. <u>5318</u>		
File with <u>W. Bruggen</u>		Continuous Inspection		Application checked and approved		
Specified - Required Valuation Included Yes - No		SPRINKLER		Inspector <u>SEE CLERK</u>		

DO NOT WRITE BELOW THIS LINE

TYPE OF RECEIPT	DATE ISSUED	TRACER NO. (M)	RECEIPT NO.	CODE	FEE PAID
Plan Checking	SEP 14 1953		1A20433		
Supplemental Plan Checking					
Building Permit	SEP 18 1953		1A69038		



3

● APPLICATION TO ●
ALTER, REPAIR, or DEMOLISH
AND FOR A
Certificate of Occupancy

Form B-3
CITY OF LOS ANGELES
DEPARTMENT
OF
BUILDING AND SAFETY
BUILDING DIVISION

Lot No. 8 E 9
Tract Carson E. Curriers Sub Div. of Block 87
Location of Building 1240 S. Figueroa St
(House Number and Street)
Between what cross streets? 12th St. & Pico

Approved by
City Engineer

Deputy.

USE INK OR INDELIBLE PENCIL

1. Present use of building Garage Families.....Rooms.....
(Store, Dwelling, Apartment House, Hotel or other purpose)
2. State how long building has been used for present occupancy 2541 1/2
3. Use of building AFTER alteration or moving Same (vacant) Families.....Rooms.....
4. Owner G. E. Wotkins Phone.....
(Print Name)
5. Owner's Address Helen Dale P. O. Helen Dale, Calif.
6. Certificated Architect None State.....License No.....Phone.....
7. Licensed Engineer.....State.....License No.....Phone.....
8. Contractor Harry M. Lukens State.....License No. 1869 Phone 21-79296
9. Contractor's Address 1419 Essex
10. VALUATION OF PROPOSED WORK Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment therein or thereon. \$ 800.00
11. State how many buildings NOW } 1 - Garage
on lot and give use of each. } (Store, Dwelling, Apartment House, Hotel or other purpose)
12. Size of existing building 75 x 150 Number of stories high 2 Height to highest point 40
13. Material Exterior Walls Masonry Exterior framework Masonry
(Wood, Steel or Masonry) (Wood or Steel)
14. Describe briefly all proposed construction and work:

Install new 9x18' toilet room on 2nd floor. New partitions to be solid M.L.P. New toilets + urinals.

NEW CONSTRUCTION

15. Size of Addition.....x.....Size of Lot.....x.....Number of Stories when complete.....
16. Footing: Width.....Depth in Ground.....Width of Wall.....Size of Floor Joists.....x.....
17. Size of Studs.....x.....Material of Floor.....Size of Rafters.....x.....Type of Roofing.....

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here [Signature]
Owner or Authorized Agent

DISTRICT
OFFICE

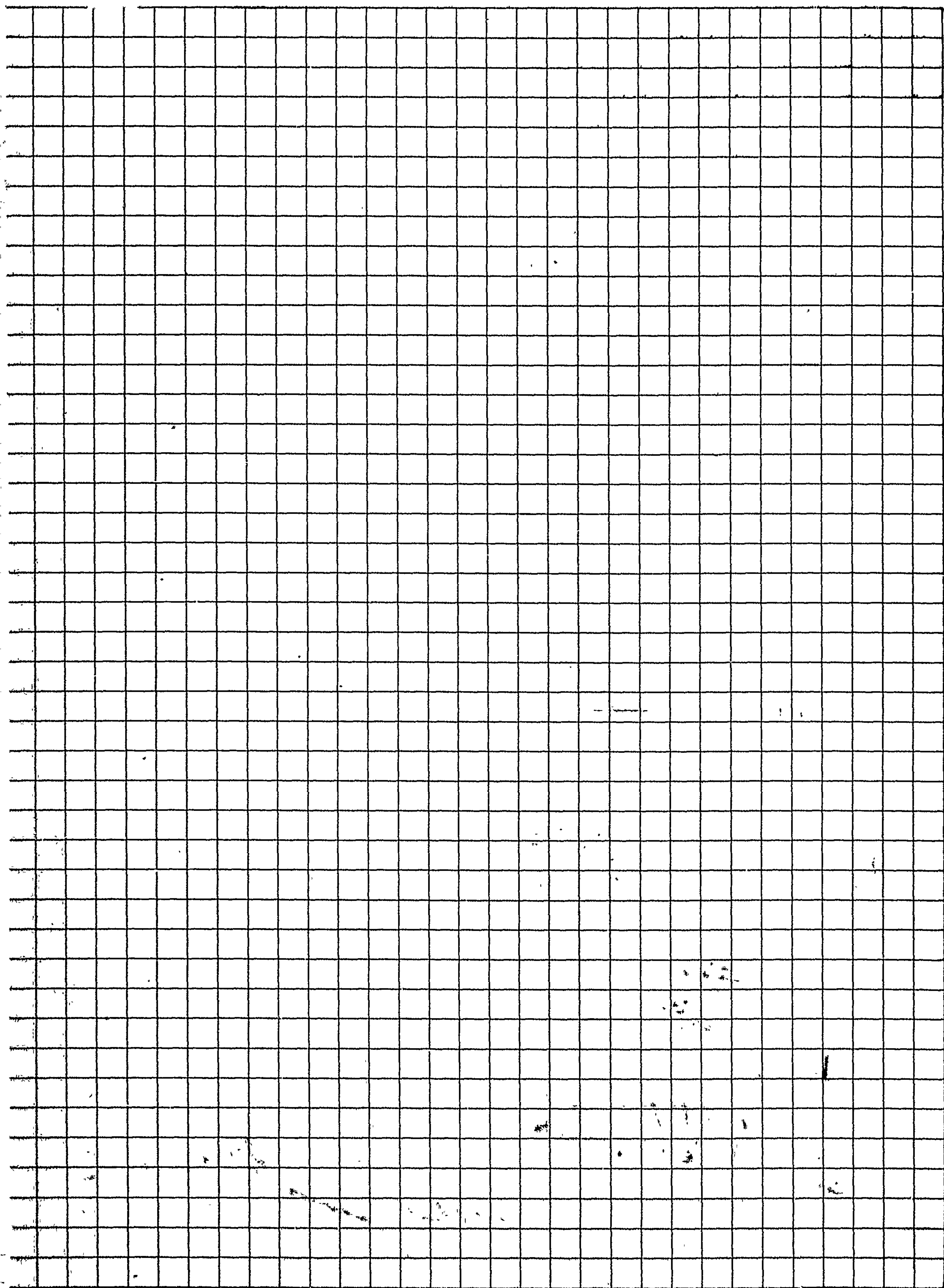
By

FOR DEPARTMENT USE ONLY

PLAN CHECKING				OCCUPANCY SURVEY		Investigation Fee \$.....	
Valuation \$ <u>800.00</u>		Area of Bldg.....Sq. Ft.		Cert. of Occupancy Fee \$ <u>5.00</u>		Bldg. Permit Fee \$ <u>5.00</u>	
Fee \$ <u>2.00</u>		Fee \$.....		Total \$.....			
TYPE <u>I</u>	Maximum No. Occupants <u>Inside Lot</u>	Key Lot <u>---</u>	Lot Size <u>100 X 155.23</u>	20ft. rear alley		Clerk <u>[Signature]</u>	
GROUP <u>1</u>	Plans and Specifications checked <u>[Signature]</u>	Corner Lot Keyed <u>---</u>	Fire District <u>280</u>	X Ft. side alley			
For Plans See <u>---</u>	Correction verified <u>[Signature]</u>	Zone <u>M-2</u>	No. <u>2</u>	District Map No. <u>5518</u>			
		Bldg. Line <u>10'</u> Ft.	Street Widening <u>---</u> Ft.	Application checked and approved <u>[Signature]</u>		Clerk <u>[Signature]</u>	
Filed with <u>---</u>	Plans, Specifications and Application rechecked and approved <u>[Signature]</u>	Continuous Inspection <u>none</u>	SPRINKLER Specified <u>---</u> Required <u>---</u> Valuation Included <u>---</u> Yes <u>---</u> No <u>---</u>	Inspector <u>[Signature]</u>			

DO NOT WRITE BELOW THIS LINE

TYPE OF RECEIPT	DATE ISSUED	TRACER NO. (M)	RECEIPT NO.	CODE	FEE PAID
Plan Checking	DEC 13 1954		LA61428		
Supplemental Plan Checking					✓
Building Permit	DEC 13 1954		LA 3157		



3

● APPLICATION TO
ALTER, REPAIR, or DEMOLISH
AND FOR A
Certificate of Occupancy

Westbrook
Form B-3
CITY OF LOS ANGELES
DEPARTMENT
OF
BUILDING AND SAFETY
BUILDING DIVISION

Lot No. 9 *Carson & Currier's*

Tract Sub. of Ltr 89 Ord. Survey

Location of Building 1240 So. FIGUEROA St.
(House Number and Street)

Approved by
City Engineer

Between what cross streets? 12th & Pico

Deputy.

USE INK OR INDELIBLE PENCIL

1. Present use of building GARAGE Families..... Rooms.....
(Store, Dwelling, Apartment House, Hotel or other purpose)

2. State how long building has been used for present occupancy 30 years

3. Use of building AFTER alteration or moving Printing Shop Families..... Rooms.....

4. Owner SCHAU BACHER - FREY Phone.....
(Print Name)

5. Owner's Address ABOVE P. O.

6. Certificated Architect STILES CLEMENTS State License No. 813 B Phone TR 0873

7. Licensed Engineer..... State License No. Phone.....

8. Contractor Owner State License No. Phone.....

9. Contractor's Address.....

10. VALUATION OF PROPOSED WORK \$ 500.00
(Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment therein or thereon.)

11. State how many buildings NOW one on lot and give use of each. (Store, Dwelling, Apartment House, Hotel or other purpose)

12. Size of existing building 95 x 150 Number of stories high 3 Height to highest point 50

13. Material Exterior Walls Concrete Exterior framework Concrete
(Wood, Steel or Masonry) (Wood or Steel)

14. Describe briefly all proposed construction and work:

INSTALL 4- STEEL BEAMS IN 2ND FLOOR

NEW CONSTRUCTION

15. Size of Addition x Size of Lot x Number of Stories when complete.....

16. Footing: Width x Depth in Ground x Width of Wall x Size of Floor Joists x

17. Size of Studs x Material of Floor x Size of Rafters x Type of Roofing.....

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby, I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here STILES CLEMENTS
(Owner or Authorized Agent)

By J. H. Jaeger

DISTRICT
OFFICE

FOR DEPARTMENT USE ONLY

PLAN CHECKING			OCCUPANCY SURVEY		Investigation Fee \$.....	
Valuation \$ <u>500.00</u>			Area of Bldg. <u>X</u> Sq. Ft.		Cert. of Occupancy Fee \$.....	
Fee \$ <u>1.00</u>			Fee \$.....		Bldg. Permit Fee \$ <u>350</u>	
Total \$.....						
TYPE <u>I</u>	Maximum No. Occupants <u>1</u>	Inside Lot <u>1</u>	Key Lot <u>1</u>	Lot Size <u>50x155.21</u>	20 Ft. rear alley <u>X</u>	Clerk <u>Jaeger</u>
GROUP <u>1</u>	Plans and Specifications checked <u>Fandel & Miele</u>	Corner Lot <u>1</u>	Corner Lot Keyed <u>1</u>	Fire District <u>80</u>	X Ft. side alley	
For Plans See <u>1</u>	Correction Verified <u>Fandel & Miele</u>	Bldg. Line <u>1</u>	Zone <u>M-2</u>	No. <u>1</u>	District Map No. <u>5518</u>	
Filed with <u>1</u>	Plans, Specifications and Application rechecked and approved <u>J. R. Mung</u>	Continuous Inspection <u>1</u>	Street Widening <u>1</u>	SPRINKLER Specified—Required Valuation Included Yes—No	Application checked and approved <u>DEC 16 1954</u>	Clerk <u>Jaeger</u>

(DO NOT WRITE BELOW THIS LINE)

TYPE OF RECEIPT	DATE ISSUED	TRACER NO. (M)	RECEIPT NO.	CODE	FEE PAID
Plan Checking	DEC 14 1954				
Supplemental Plan Checking					
Building Permit	DEC 17 1954				

No EXTERIOR
ALY.

3

APPLICATION TO
ALTER, REPAIR, or DEMOLISH
AND FOR A
Certificate of Occupancy

Form B-3
CITY OF LOS ANGELES
DEPARTMENT
OF
BUILDING AND SAFETY
BUILDING DIVISION

Lot No. Portions of lots 11, 12 & 13

Tract Carson & Currier's Sub. of Blk 89 Ord's Survey

Location of Building 1250 SO FIGUEROA
(House Number and Street)

Approved by
City Engineer

Between what cross streets? 12TH ST & PICO CORNER

Deputy.

USE INK OR INDELIBLE PENCIL

1. Present use of building AUTOMOBILE AGENCY Families Rooms
(Store, Dwelling, Apartment House, Hotel or other purpose)
2. State how long building has been used for present occupancy
3. Use of building AFTER alteration or moving SAME Families Rooms
4. Owner SPENCER J. HONIG Phone
(Print Name)
5. Owner's Address 1240 SO FIGUEROA ST. P. O. L.A. 15 CALIF
State License No. Phone
6. Certificated Architect NONE State License No. Phone
7. Licensed Engineer State License No. Phone
8. Contractor HARRY M. LUKENS State License No. 17968 Phone RI 79296
9. Contractor's Address 1419 ESSEX ST. L.A. 21

10. VALUATION OF PROPOSED WORK

Including all labor and material and all permanent
lighting, heating, ventilating, water supply, plumb-
ing, fire sprinkler, electrical wiring and elevator
equipment therein or thereon.

\$ 2000.00

11. State how many buildings NOW 1 AUTOMOBILE AGENCY
on lot and give use of each. 70 100 (Store, Dwelling, Apartment House, Hotel or other purpose)
12. Size of existing building 20 x 250 Number of stories high 2 Height to highest point 45'
13. Material Exterior Walls MASONRY Exterior framework MASONRY
(Wood, Steel or Masonry) (Wood or Steel)

14. Describe briefly all proposed construction and work:

~~MAKE PARAPET WALL COMPLY WITH SURVEY~~
Parapet corrections along Figueroa St & Pico Blvd

NEW CONSTRUCTION

15. Size of Addition x Size of Lot x Number of Stories when complete
16. Footing: Width Depth in Ground Width of Wall Size of Floor Joists x
17. Size of Studs x Material of Floor Size of Rafter x Type of Roofing

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here R. J. Lukens
(Owner or Authorized Agent)

By HARRY M. LUKENS

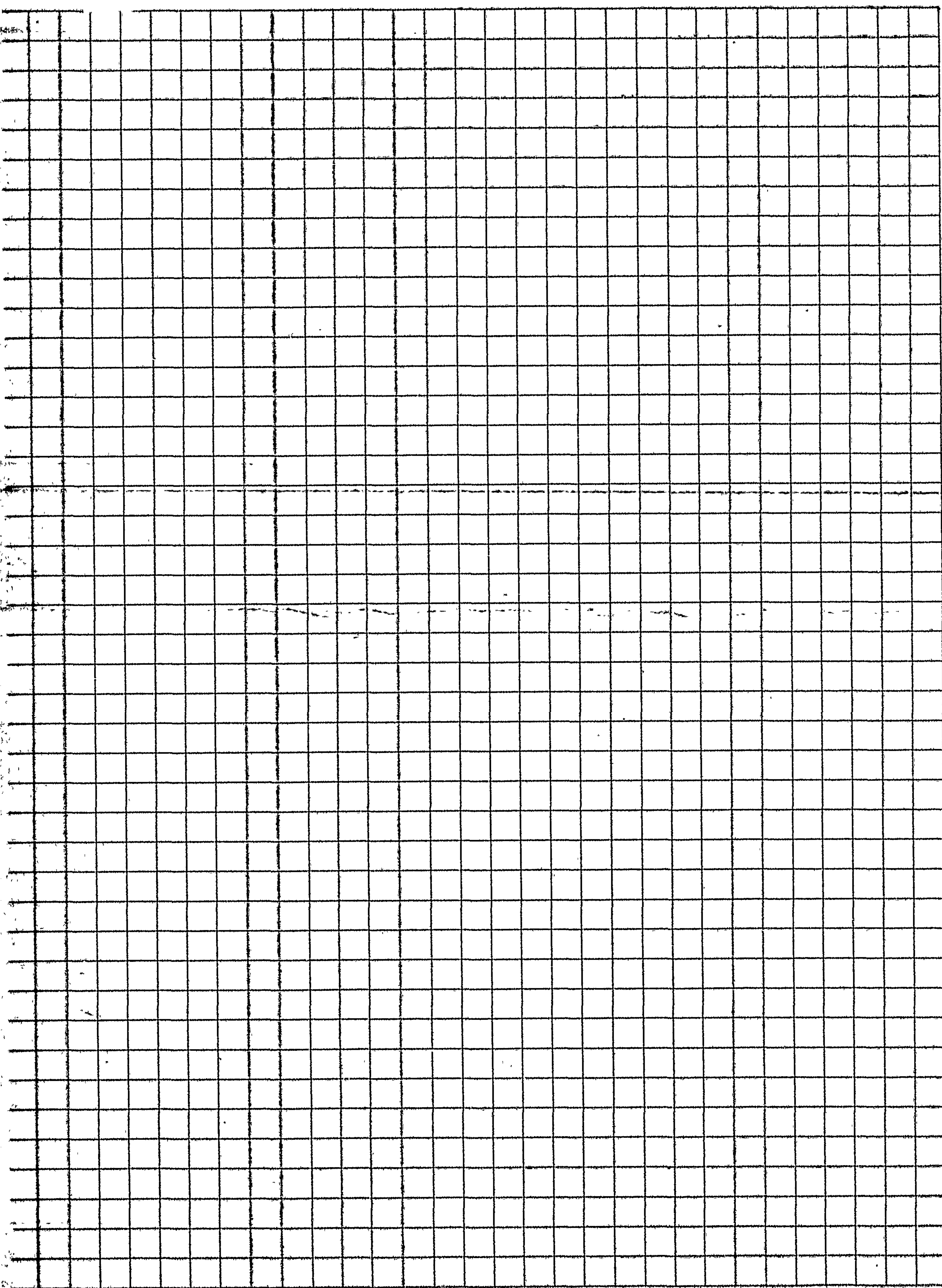
DISTRICT
OFFICE

FOR DEPARTMENT USE ONLY

PLAN CHECKING				OCCUPANCY SURVEY		Investigation Fee \$ <u> </u>	
Valuation \$ <u>2000.00</u>				Area of Bldg. <u> </u> Sq. Ft.		Cert. of Occupancy Fee \$ <u> </u>	
Fee \$ <u>3.00</u>				Fee \$ <u> </u>		Bldg. Permit Fee \$ <u>9-</u>	
Total \$ <u> </u>						Total \$ <u> </u>	
TYPE <u>HA</u>	Maximum No. Occupants <u>No change</u>	Inside Lot <u> </u>	Key Lot <u>No</u>	Lot Size <u>20</u>	20 Ft. rear alley <u> </u>		Clock <u> </u>
GROUP <u>F-2</u>	Plans and Specifications checked <u>Lukens</u>	Corner Lot <u> </u>	Corner Lot Keyed <u> </u>	Fire District <u>2</u>	20 Ft. side alley <u> </u>		
For Plans See <u> </u>	Correction Verified <u>Lukens</u>	Zone <u>M-2</u>	Bldg. Line <u>10</u> Ft.	No. <u>2</u>	District Map No. <u>5518</u>		
Filed with <u>Ornelson</u>	Plans, Specifications and Application rechecked and approved <u> </u>	Continuous Inspection <u>none</u>	SPRINKLER <u> </u>	Street Widening <u> </u> Ft.	Application checked and approved <u> </u>		Clerk <u> </u>
				Specified—Required <u> </u>	Inspector <u> </u>		
				Valuation included <u> </u>			
				Yes—No <u> </u>			

DO NOT WRITE BELOW THIS LINE

TYPE OF RECEIPT	DATE ISSUED	TRACER NO. (M)	RECEIPT NO.	CODE	FEE PAID
Plan Checking	24 1954		177082		
Supplemental Plan Checking					
Building Permit	24 1954		1784021		



3

APPLICATION TO ALTER - REPAIR - DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

DIST. MAP 5518	1. LEGAL LOT 9 & 10	BLK.	TRACT Carson & Curriers sub. of block 89 Ord's Survey
ZONE M-2	2. BLDG. ADDRESS 1240 So. Figueroa St		
FIRE DIST. 2	3. BETWEEN CROSS STS. 12th St AND Pico Blvd.,		
(INSIDE) KEY	4. PRESENT USE OF BLDG. Garage	NEW USE OF BLDG.	
COR. LOT	5. OWNER Schwabacher & Frey		
REV. COR. LOT SIZE 50 x 155.2	6. OWNER'S ADDRESS 1240 So. Figueroa St.		
REAR ALLEY 20'	7. CERT. ARCH. Stiles Clements		STATE LICENSE NUMBER 813-B
SIDE ALLEY BLDG. LINE 10' VARIABLE	8. LIC. ENG.		STATE LICENSE NUMBER
AFFIDAVITS	9. CONTRACTOR Owner		STATE LICENSE NUMBER
BLDG. AREA	10. SIZE OF EX. BLDG. <div style="display: flex; justify-content: space-around; align-items: center;"> 95 x 150 STORIES 2 HEIGHT 40 </div>		
SPRINKLERS REQ'D. SPECIFIED	11. MATERIAL EXT. WALLS: <input type="checkbox"/> WOOD <input type="checkbox"/> METAL <input type="checkbox"/> CONC. BLOCK <input type="checkbox"/> STUCCO <input checked="" type="checkbox"/> BRICK <input checked="" type="checkbox"/> CONCRETE		
	ROOF CONST: <input type="checkbox"/> WOOD <input type="checkbox"/> STEEL <input checked="" type="checkbox"/> CONC. <input type="checkbox"/> OTHER		

3

1240 South Figueroa Street

VALIDATION	LA 4973	JAN 6 1955	58615
TYPE	GROUP	MAX. OCC.	
I	G-1	333	JAN 6 1955
DIST. OFFICE LA.		LA 4973	
C. OF O. ISSUED		P.C. \$2.00 B.P. 6.00	
DWELL. UNITS	12. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BLDG. \$ 1,000.00		VALUATION APPROVED <i>Miles</i>
PARKING SPACES	13. SIZE OF ADDITION <div style="display: flex; justify-content: space-around; align-items: center;"> X STORIES HEIGHT </div>		APPLICATION CHECKED HAAKER, BY
GUEST ROOMS	14. NEW WORK: Change doors & install new MATERIAL EXT. WALLS MATERIAL ROOF stair		PLANS CHECKED <i>Farrel Miles</i>
FILE WITH	<p>I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation, insurance.</p> <p style="text-align: center;">Schwabacher Frey by <i>Farrel H. Jaehn</i> SIGNED</p> <p style="text-align: center;">This form when properly validated is a permit to do the work described.</p>		CORRECTIONS VERIFIED <i>Farrel T. Miles</i>
CONT. INSP.			PLANS APPROVED <i>Van O'Kinde</i>
			APPLICATION APPROVED <i>Miles</i>

NO EXTENSOR

ALTERATIONS

3

APPLICATION TO ALTER - REPAIR - DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

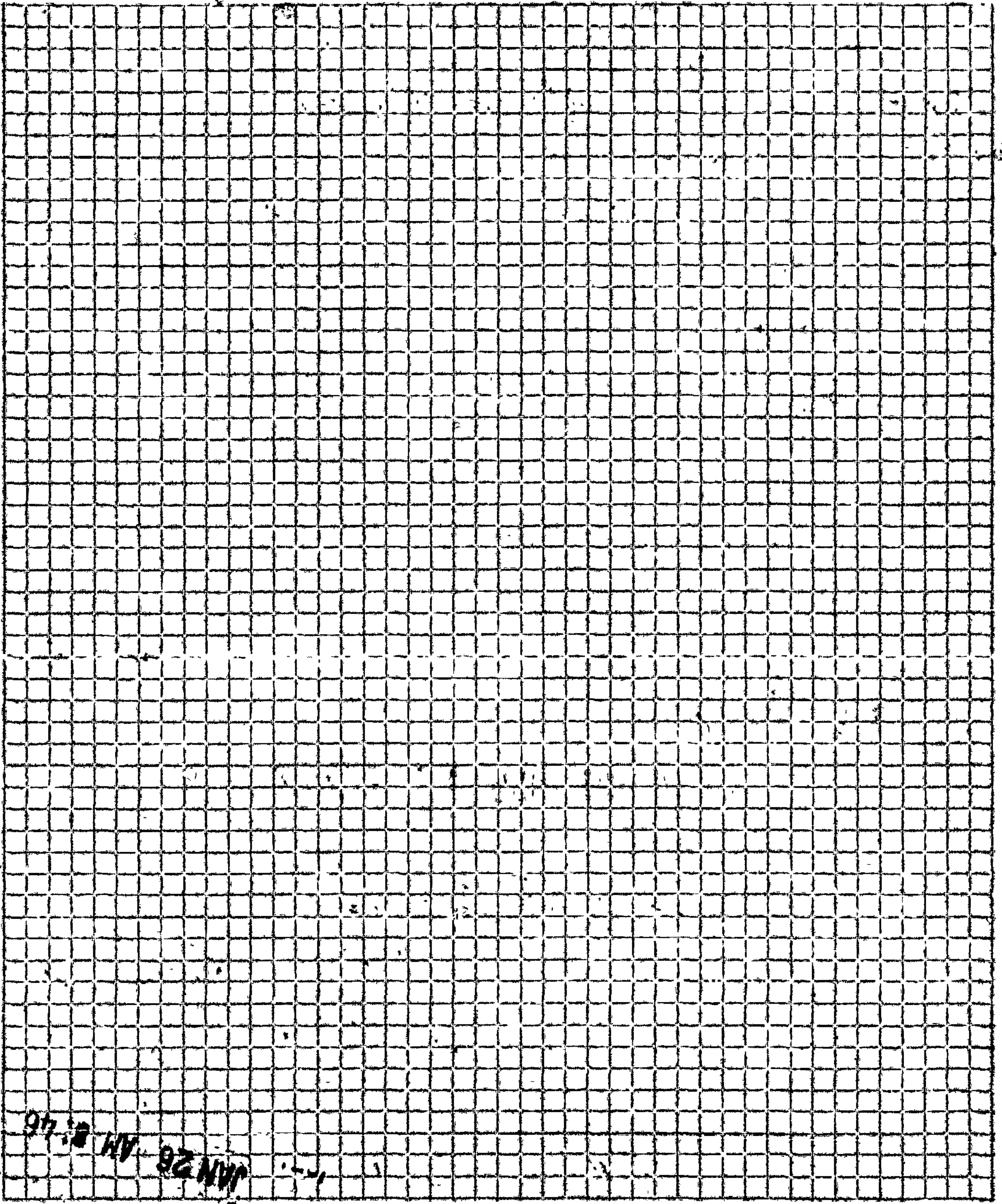
DIST. MAP 5518	1. LEGAL LOT No	BLK. LEGAL	TRACT
ZONE M-2	2. BLDG. ADDRESS 1240 S. Figueroa.		APPROVED
FIRE DIST.	3. BETWEEN CROSS STS. 12th Street AND Pico		
INSIDE KEY	4. PRESENT USE OF BLDG. Printing	NEW USE OF BLDG. SAME	
COR. LOT	5. OWNER G. L. Notlins		
REV. COR. LOT SIZE	6. OWNER'S ADDRESS Helendale, California		
X REAR ALLEY	7. CERT. ARCH.		STATE LICENSE NUMBER
SIDE ALLEY	none		
BLDG. LINE	8. LIC. ENG. none		STATE LICENSE NUMBER
AFFIDAVITS	9. CONTRACTOR J. H. Bryant Company		STATE LICENSE NUMBER 35304
BLDG. AREA	10. SIZE OF EX. BLDG.		
SPRINKLERS REQ'D. SPECIFIED	11. MATERIAL EXT. WALLS; <input checked="" type="checkbox"/> WOOD <input type="checkbox"/> METAL <input type="checkbox"/> CONC. BLOCK <input type="checkbox"/> STUCCO <input type="checkbox"/> BRICK <input type="checkbox"/> CONCRETE		STORIES HEIGHT ROOF CONST: <input type="checkbox"/> WOOD <input type="checkbox"/> STEEL <input type="checkbox"/> CONC. <input type="checkbox"/> OTHER

3

1240 S. Figueroa

VALIDATION		LA 5527
TYPE	GROUP	MAX. OCC. JAN 31 1955 LA 5527
DIST. OFFICE		
C. OF O. ISSUED		No P.C. B.P. 11.40
DWELL. UNITS	12. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BLDG. \$ 2800.00	
PARKING SPACES	13. SIZE OF ADDITION	
GUEST ROOMS	14. NEW WORK: MATERIAL EXT. WALLS New composition roof MATERIAL ROOF	
FILE WITH	I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.	
CONT. INSP.	SIGNED	
This form when properly validated is a permit to do the work described.		VALUATION APPROVED APPLICATION CHECKED PLANS CHECKED CORRECTIONS VERIFIED PLANS APPROVED APPLICATION APPROVED

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.
2. Plot Plan Required on Back of Original.



JAN 26 AM 8:46

3

APPLICATION TO ALTER - REPAIR - DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY






CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

DIST. MAP 5518	1. LEGAL LOT	BLK.	TRACT
ZONE M-2	2. BLDG. ADDRESS 1248 So Figueroa St		APPROVED
FIRE DIST. 1	3. BETWEEN CROSS STS. 12th AND Pico Sts		
INSIDE <input checked="" type="checkbox"/> KEY	4. PRESENT USE OF BLDG. Auto Storage & Sales Room		NEW USE OF BLDG. Desk Mfg Display rm
COR. LOT	5. OWNER G E Wotkyns		
REV. COR. LOT SIZE X	6. OWNER'S ADDRESS 1248 So Figueroa St		
REAR ALLEY 20	7. CERT. ARCH.		STATE LICENSE NUMBER
SIDE ALLEY	none		STATE LICENSE NUMBER
BLDG. LINE	none		STATE LICENSE NUMBER
AFFIDAVITS 717	9. CONTRACTOR Harry M Lukens		STATE LICENSE NUMBER 17869
BLDG. AREA 31,000	10. SIZE OF EX. BLDG. 99 x 150 STORIES 2 HEIGHT 40		
SPRINKLERS REQ'D. SPECIFIED	11. MATERIAL EXT. WALLS: <input type="checkbox"/> WOOD <input type="checkbox"/> METAL <input type="checkbox"/> CONC. BLOCK <input type="checkbox"/> STUCCO <input type="checkbox"/> BRICK <input type="checkbox"/> CONCRETE		ROOF CONST: <input type="checkbox"/> WOOD <input type="checkbox"/> STEEL <input checked="" type="checkbox"/> CONC. <input type="checkbox"/> OTHER

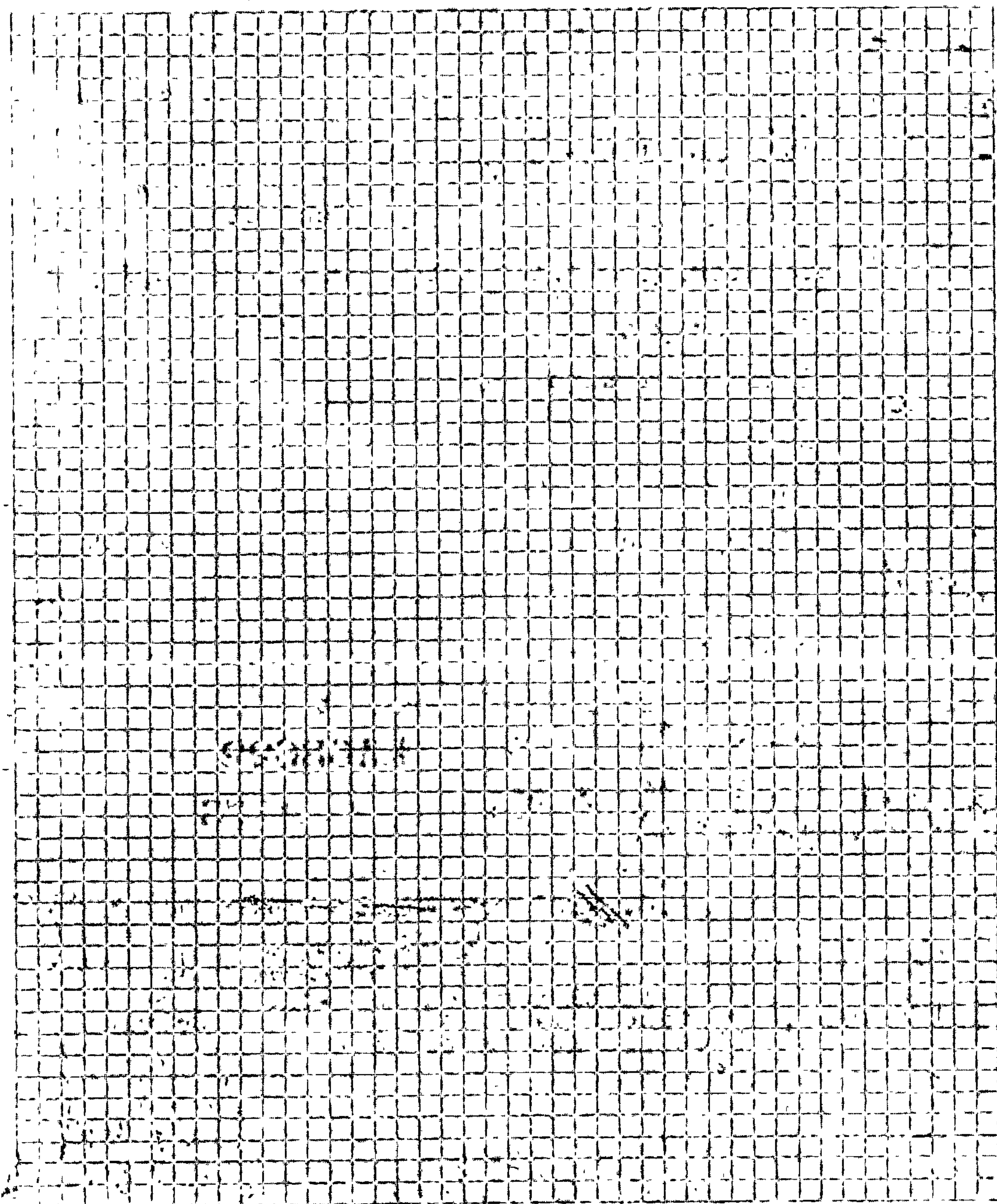
3

1248 So Figueroa St

VALIDATION		LA 9776		MAR 4 1955		LA63622	
TYPE 1	GROUP G-1	MAX. OCC. 440	MAR 4 1955		LA 9776		
(Non-conforming, wood mezz)							
DIST. OFFICE							
C. OF O. ISSUED			P.C. \$2000 STAMPED WHR BPT 1800				
DWELL. UNITS 0	12. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BLDG.		15000 TO 20000		VALUATION APPROVED \$2000 5000 WHR		
PARKING SPACES 13	13. SIZE OF ADDITION Instl. part on mezz-cl wind, gyp tile wall		STORIES ON MEZZ 1		HEIGHT 10		
GUEST ROOMS 0	14. NEW WORK: Stairs 1st fl to mezz		MATERIAL EXT. WALLS		MATERIAL ROOF		
FILE WITH	I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.  SIGNED						
CONT. INSP.							
			APPLICATION CHECKED Colvin PLANS CHECKED  CORRECTIONS VERIFIED  PLANS APPROVED  APPLICATION APPROVED 				

This form when properly validated is a permit to do the work described.

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.
2. Plot Plan Required on Back of Original.



3

APPLICATION TO ALTER - REPAIR - DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

DIST. MAP 5518	1. LEGAL LOT 10 & 11	BLK.	TRACT Sub of Bk 89 Ord Survey Carson & Curriers
ZONE M-2	2. BLDG. ADDRESS 1248 So Figueroa		APPROVED
FIRE DIST. 1	3. BETWEEN CROSS STS. Pico Blvd AND 12th St		
INSIDE X KEY	4. PRESENT USE OF BLDG. Furniture Sales & Factory	NEW USE OF BLDG. same	
COR. LOT	5. OWNER G E Wotkyns		
REV. COR. LOT SIZE 100x155	6. OWNER'S ADDRESS Helendale		
REAR ALLEY 20	7. CERT. ARCH. none		STATE LICENSE NUMBER
SIDE ALLEY BLDG. LINE	8. LIC. ENG. -		STATE LICENSE NUMBER
AFFIDAVITS	9. CONTRACTOR Harry M Lukens		STATE LICENSE NUMBER 17869
BLDG. AREA	10. SIZE OF EX. BLDG. 99 x 150 STORIES 2 HEIGHT 40		
SPRINKLERS REQ'D. SPECIFIED	11. MATERIAL EXT. WALLS: <input type="checkbox"/> WOOD <input type="checkbox"/> METAL <input type="checkbox"/> CONC. BLOCK <input checked="" type="checkbox"/> STUCCO <input type="checkbox"/> BRICK <input type="checkbox"/> CONCRETE		ROOF CONST: <input type="checkbox"/> WOOD <input type="checkbox"/> STEEL <input type="checkbox"/> CONC. <input type="checkbox"/> OTHER

3

1427 1248 So Figueroa

VALIDATION		LA10363	MAR 16 1955	LA63961
TYPE I	GROUP G-1	MAX. OCC.	MAR 16 1955	LA10363
DIST. OFFICE				
C. OF O. ISSUED		PIC. \$10.00		
DWELL. UNITS	12. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BLDG.		\$ 5000	VALUATION APPROVED <i>[Signature]</i>
PARKING SPACES	13. SIZE OF ADDITION		Install new front, cover w Robertson steel decking	APPLICATION CHECKED Colvin WHK
GUEST ROOMS	14. NEW WORK:		MATERIAL EXT. WALLS MATERIAL ROOF	PLANS CHECKED Kirkgaard
FILE WITH 9776-55	CONT. INSP.		CORRECTIONS VERIFIED <i>[Signature]</i>	
		I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.		PLANS APPROVED <i>[Signature]</i>
		<i>[Signature]</i> SIGNED		APPLICATION APPROVED <i>[Signature]</i>
		This form when properly validated is a permit to do the work described.		

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.
2. Plot Plan Required on Back of Original.

OK
Rd
Rd
3/14/56
of Public Works

APPLICATION TO ALTER - REPAIR - DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

18	1. LEGAL LOT 10 & 11	BLK.	TRACT Sub of Blk 89 Carson & Curriers Ord Survey
M-2	2. BLDG. ADDRESS 1248 So Figueroa		APPROVED
FIRE DIST. 1	3. BETWEEN CROSS STS. Pico AND 12th		
INSIDE KEY X	4. PRESENT USE OF BLDG. Furniture Sales & Factory	NEW USE OF BLDG. same	
COR. LOT	5. OWNER G E Wotkyns		
REV. COR. LOT SIZE 100 x 155	6. OWNER'S ADDRESS Helendale Calif		
REAR ALLEY 20	7. CERT. ARCH. none		STATE LICENSE NUMBER
SIDE ALLEY BLDG. LINE	8. LIC. ENG. none		STATE LICENSE NUMBER
AFFIDAVITS	9. CONTRACTOR 1419 Essex St LA 21 Harry M Lukens		STATE LICENSE NUMBER 17869
BLDG. AREA 31000	10. SIZE OF EX. BLDG. 99 x 150 STORIES 2 HEIGHT 40		
SPRINKLERS REQ'D. SPECIFIED	11. MATERIAL EXT. WALLS: <input type="checkbox"/> WOOD <input type="checkbox"/> METAL <input type="checkbox"/> CONC. BLOCK <input type="checkbox"/> STUCCO <input checked="" type="checkbox"/> BRICK <input type="checkbox"/> CONCRETE ROOF CONST: <input type="checkbox"/> WOOD <input type="checkbox"/> STEEL <input checked="" type="checkbox"/> CONC. <input type="checkbox"/> OTHER		

3		1248 So Figueroa	
VALIDATION		LA 13207 Mar 30 1955 LA 64426	
TYPE non	GROUP	MAX. OCC.	
I cong	G-1	40	APR 4 1955 LA 13207
DIST. OFFICE			
C. OF O. ISSUED		PC\$1. 0 / BP 250	
DWELL. UNITS 0	12. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BLDG. \$ 300		VALUATION APPROVED Krikgaard
PARKING SPACES 13 aff	13. SIZE OF ADDITION filed New 18 STORIES 1 9' 2" HEIGHT		APPLICATION CHECKED Colvin (WHK)
GUEST ROOMS 0	14. NEW WORK: doorwa MATERIAL EXT. WALLS MATERIAL ROOF		PLANS CHECKED Kirkgaard
FILE WITH 9776&10363	<p>I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.</p> <p style="text-align: center;"><i>Harry M Lukens</i> SIGNED</p> <p style="text-align: center;">This form when properly validated is a permit to do the work described.</p>		CORRECTIONS VERIFIED
CONT. INSP. none			PLANS APPROVED
			APPLICATION APPROVED <i>Jendy</i>

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.
2. Plot Plan Required on Back of Original.

New marguerite

Figueroa St

~~Wittich~~

prop. 11/15/5

100'

2 story
Type I
existing

150'

prop. 11/15/5

5-
11/15/5

3

APPLICATION TO ALTER - REPAIR - DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

1. LEGAL LOT Part of 11, 12 & 13		BLK.	TRACT Carlson & Curriers Sub. Blk 89 Ord's Survey		DIST. MAP 5518	
2. BUILDING ADDRESS 1250-54-60 S. Figueroa St.				APPROVED ABJ		ZONE M-2
3. BETWEEN CROSS STREETS 12th St.				AND Pico Blvd.		FIRE DIST. I 80/72
4. PRESENT USE OF BUILDING Sales Room			NEW USE OF BUILDING Same			INSIDE KEY
5. OWNER Horton & Converse			PHONE			COR. LOT <input checked="" type="checkbox"/>
6. OWNER'S ADDRESS 621 W. Pico Blvd.			P.O.			ZONE
7. CERT. ARCH.			STATE LICENSE			PHONE
8. LIC. ENGR.			STATE LICENSE			PHONE
9. CONTRACTOR R. L. Arnold			STATE LICENSE 157125			PHONE AT 25345
10. CONTRACTOR'S ADDRESS 935 Roanoke Rd.			P.O. San Marino			ZONE
11. SIZE OF EXISTING BLDG. 185x178		STORIES 2	HEIGHT 30	NO. OF EXISTING BUILDINGS ON LOT AND USE 1		BLDG. AREA
12. MATERIAL EXT. WALLS: <input type="checkbox"/> WOOD <input type="checkbox"/> METAL <input type="checkbox"/> CONC. BLOCK <input type="checkbox"/> STUCCO <input checked="" type="checkbox"/> BRICK <input type="checkbox"/> CONCRETE		ROOF CONST. <input checked="" type="checkbox"/> WOOD <input type="checkbox"/> STEEL <input type="checkbox"/> CONC. <input type="checkbox"/> OTHER		ROOFING Comp		SPRINKLERS REQ'D. SPECIFIED
3 1250-54-60 S. Figueroa					DISTRICT OFFICE L.A.	
VALIDATION A66575		CASHIER'S USE ONLY				
TYPE #7		GROUP 6-1		MAX. OCC. N.C.		
C. OF O. ISSUED		INSPECTOR		P.C. \$10.00		S.P.C.
				B.P. 1800		I.F.
				O.S.		C/O
13. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING. \$5000.00				DWELL. UNITS		
14. SIZE OF ADDITION STORIES				HEIGHT		VALUATION APPROVED Mutch
15. NEW WORK: EXT. WALLS				ROOFING		APPLICATION CHECKED Kehmeier
No structural changes Glass front in exist. bldg.						PLANS CHECKED Mutch
I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workman's compensation insurance.						CORRECTIONS VERIFIED
SIGNED: Robert H. Arnold						PLANS APPROVED
This Form When Properly Validated is a Permit to Do the Work Described.						APPLICATION APPROVED W. L.

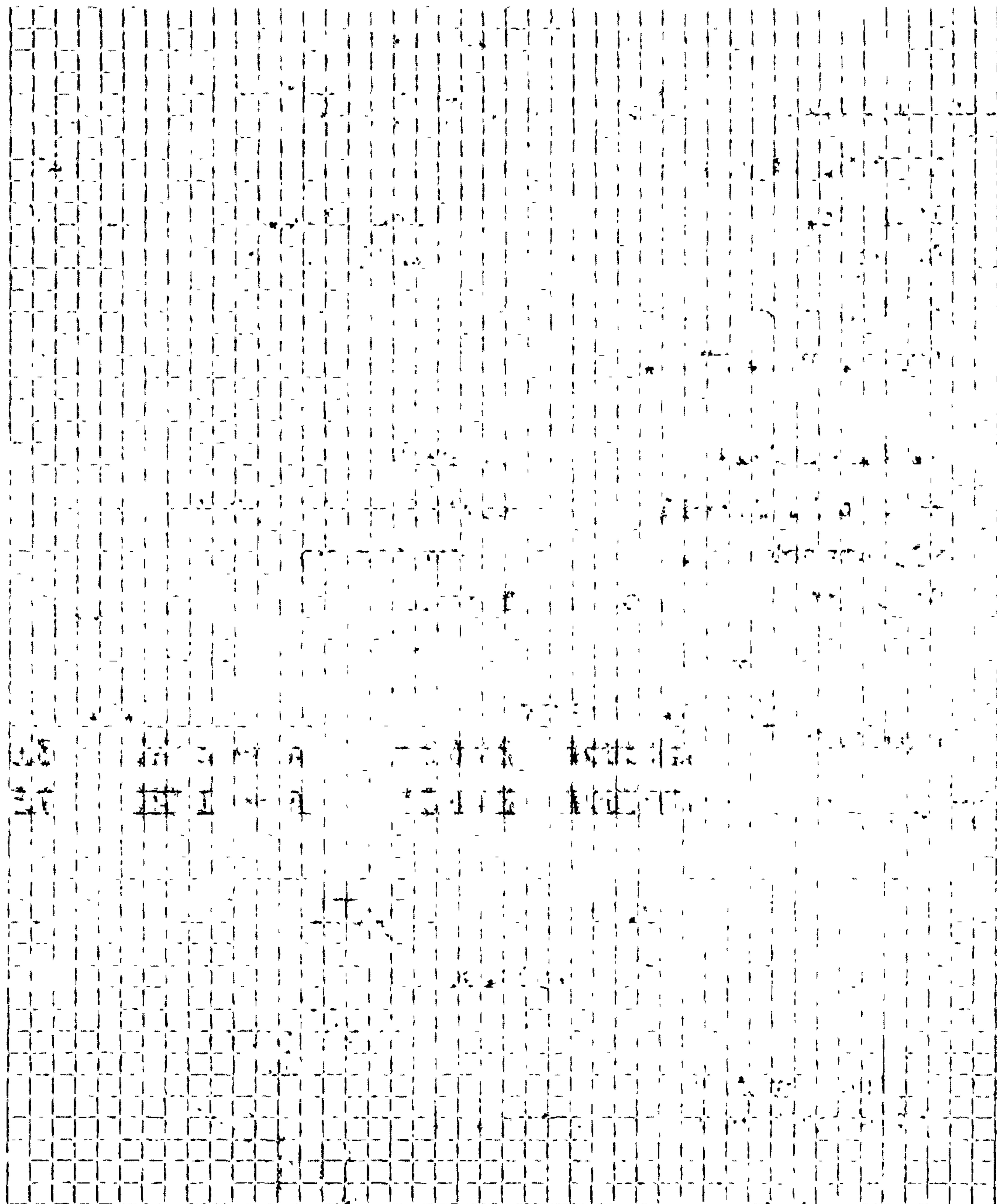
3

APPLICATION TO ALTER - REPAIR - DEMOLISH
AND FOR CERTIFICATE OF OCCUPANCY

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

1. LEGAL LOT Pts 11,12,13		BLK. 89	TRACT Carlson & Curriers Sub Oras Survey		DIST. MAP 5518	
2. BUILDING ADDRESS 1250 S. Figueroa				APPROVED		ZONE M-2
3. BETWEEN CROSS STREETS 12th St. AND Pico Blvd.				FIRE DIST. I 72/100		
4. PRESENT USE OF BUILDING Stores			NEW USE OF BUILDING Retail Store		INSIDE KEY	
5. OWNER Horton & Converse			PHONE		COR. LOT X	
6. OWNER'S ADDRESS 621 W. Pico Blvd.			P.O.		ZONE	
7. CERT. ARCH.			STATE LICENSE		PHONE	
8. LIC. ENGR. J. L. Randall			STATE LICENSE CE 9969		PHONE	
9. CONTRACTOR Robert L. Arnold			STATE LICENSE 157125		PHONE AT 25345	
10. CONTRACTOR'S ADDRESS 935 Roanoke Rd.			P.O. San Marino		ZONE	
11. SIZE OF EXISTING BLDG. 85 x 150		STORIES 2	HEIGHT 30	NO. OF EXISTING BUILDINGS ON LOT AND USE 1 comm		BLDG. AREA N/C
12. MATERIAL EXT. WALLS: <input type="checkbox"/> WOOD <input type="checkbox"/> METAL <input type="checkbox"/> CONC. BLOCK <input type="checkbox"/> STUCCO <input checked="" type="checkbox"/> BRICK <input type="checkbox"/> CONCRETE		ROOF CONST. <input checked="" type="checkbox"/> WOOD <input type="checkbox"/> STEEL <input type="checkbox"/> CONC. <input type="checkbox"/> OTHER		ROOFING compo		SPRINKLERS REQ'D. SPECIFIED
3 1250 S. Figueroa				DISTRICT OFFICE L.A.		
VALIDATION LA 70298		PR-30-57 24624		CASHIER'S USE ONLY A - 2 CK		3.00
TYPE III-A		GROUP G-1		MAX. OCC. N/C		PR-30-57 24625 A - 1 CK 7.50
C. OF O. ISSUED		INSPECTOR		P.C. 3.00	S.P.C.	B.P. 7.50
13. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING.		\$ 1500.00		DWELL. UNITS		
14. SIZE OF ADDITION		STORIES		HEIGHT		VALUATION APPROVED
15. NEW WORK: EXT. WALLS		ROOFING		APPLICATION CHECKED		
Replace stairway		cut 2 openings thru brick wall		PLANS CHECKED		
I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.		SIGNED R. L. Arnold		CORRECTIONS VERIFIED		
This Form When Properly Validated is a Permit to Do the Work Described.		APPLICATION APPROVED		PARKING 787		



100
100

100
100

100
100

100
100

NO MORE THAN ONE DOT IN ANY ONE SQUARE

3

APPLICATION TO ALTER - REPAIR - DEMOLISH
AND FOR CERTIFICATE OF OCCUPANCY

Form B-3

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.
2. Plot Plan Required on Back of Original.

1. LEGAL DESCR.	LOT	BLK.	TRACT	ADDRESS APPROVED	
2. BUILDING ADDRESS 1240 So. Figueroa				DIST. MAP 5518	
3. BETWEEN CROSS STREETS 12th St. AND Pico				ZONE M-2-4	
4. PRESENT USE OF BUILDING Office		NEW USE OF BUILDING Same		FIRE DIST. II 80	
5. OWNER'S NAME Schwabeker - Frey Co.		PHONE RI 79151		INSIDE KEY	
6. OWNER'S ADDRESS Above		P. O.		ZONE COR. LOT	
7. CERT. ARCH NONE		STATE LICENSE		PHONE LOT SIZE	
8. LIC. ENGR. NONE		STATE LICENSE		PHONE	
9. CONTRACTOR Harold Sampson		STATE LICENSE 47220		PHONE WE 64260	
10. CONTRACTOR'S ADDRESS 1311 So. Orange Grove Ave. L.A. 19		P. O.		ZONE BLDG. LINE	
11. SIZE OF EXISTING BLDG. STORIES 1		HEIGHT 20		NO. OF EXISTING BUILDINGS ON LOT AND USE Offices	
12. MATERIAL: <input type="checkbox"/> WOOD <input type="checkbox"/> METAL <input type="checkbox"/> CONC. BLOCK <input type="checkbox"/> ROOF <input checked="" type="checkbox"/> WOOD <input type="checkbox"/> STEEL <input type="checkbox"/> ROOFING <input type="checkbox"/> SPRINKLERS REQ'D. SPECIFIED AFFIDAVITS		EXT. WALLS: <input type="checkbox"/> STUCCO <input checked="" type="checkbox"/> BRICK <input type="checkbox"/> CONCRETE <input type="checkbox"/> CONST. <input type="checkbox"/> CONC. <input type="checkbox"/> OTHER <input type="checkbox"/> compo		13. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING. \$ 500.00	
14. SIZE OF ADDITION		STORIES		HEIGHT	
15. NEW WORK: (Describe) Erect wood partition width of building		EXT. WALLS		ROOFING	
I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.		VALUATION APPROVED Lakafuy		APPLICATION CHECKED Dreier	
Signed Harold Sampson by E.S.		PLANS CHECKED		CORRECTIONS VERIFIED	
This Form When Properly Validated is a Permit to Do the Work Described.		PLANS APPROVED		APPLICATION APPROVED Lakafuy	
		INSPECTOR		FILE WITH	
				CONT. INSP.	

SEWER (Available) (Not Available)

CRITICAL SOIL

CASHIER'S USE ONLY

LA 71128

SEP-26-60

62401

B - 2 CK

1.75

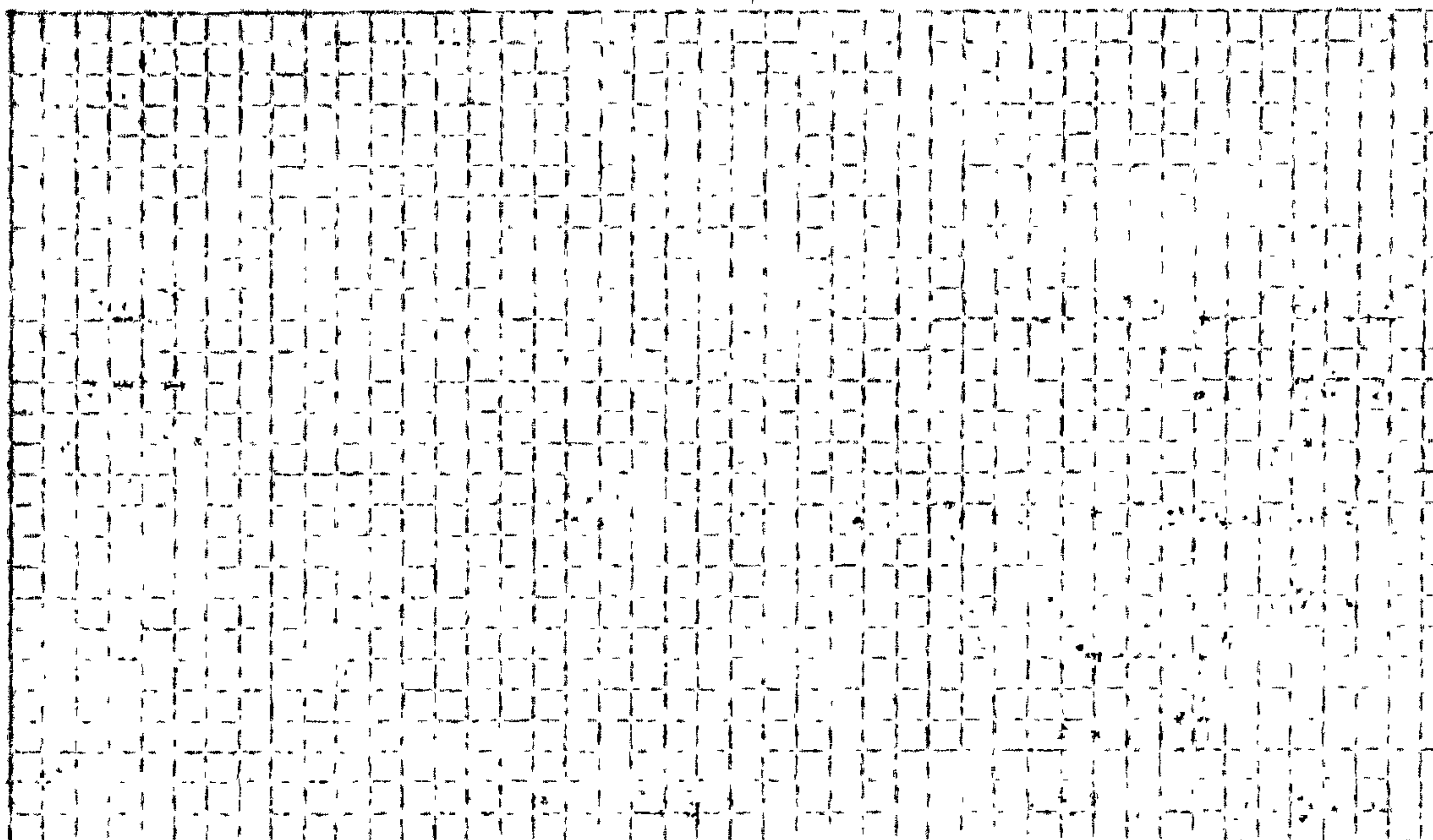
SEP-26-60

62402

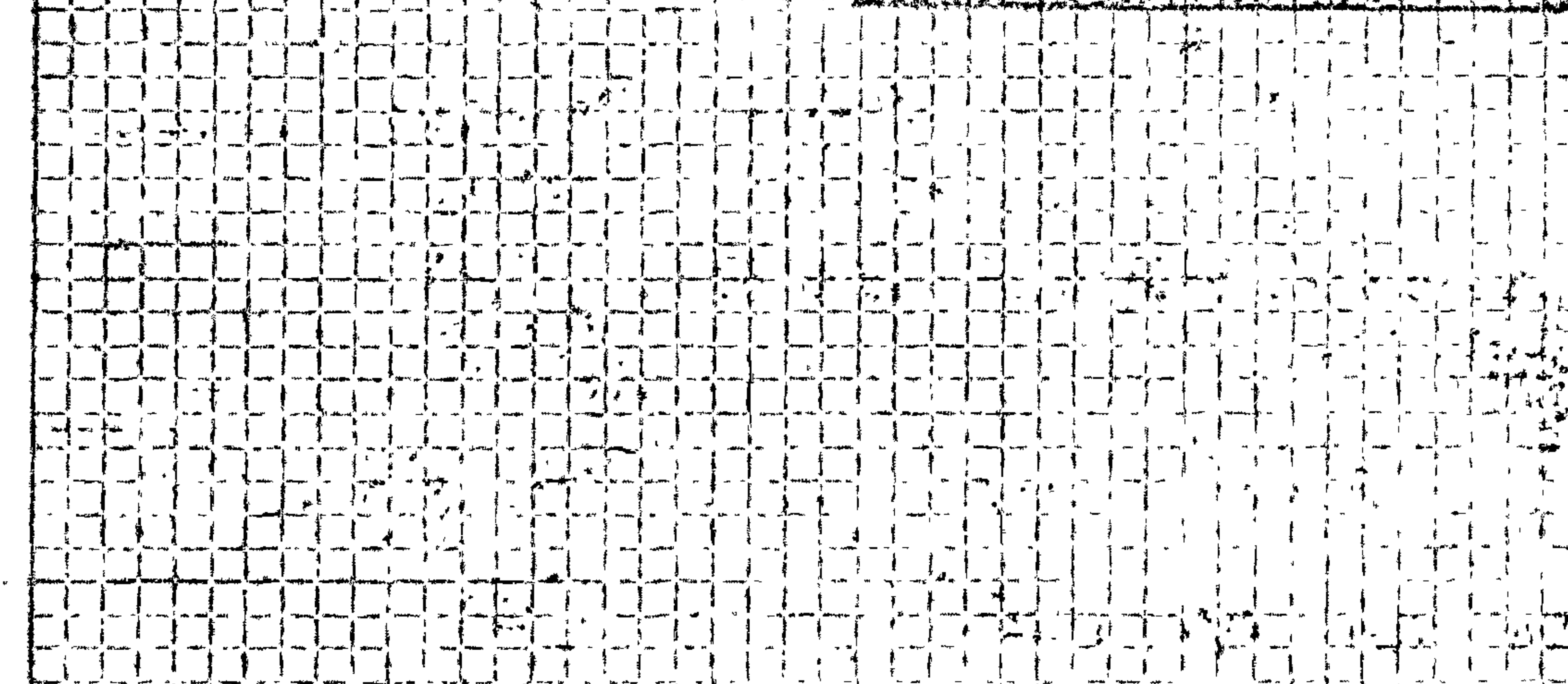
B - 1 CK

3.50

P.C. No. GRADING CRIT. SOIL CONS.



1. The area shown on the plan is to be used for the purpose of the project.



ON PLAN SHOW ALL BUILDINGS ON LOT AND USE OF EACH.
1. The area shown on the plan is to be used for the purpose of the project.

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only 2. Plot Plan Required on Back of Original.				CENSUS TRACT	
LEGAL DESCR.	LOT	BLK.	TRACT	DIST. MAP	
	11,12& 13		Carson & Curriers Sub of Blk 89, Ord's Survey	5518	
PRESENT USE OF BUILDING			NEW USE OF BUILDING		
16) furniture sales			(16 same		
JOB ADDRESS				FIRE DIST.	
1250 South Figueroa St.				80/72	
BETWEEN CROSS STREETS				INSIDE COR. LOT	
12th St. AND Pico Blvd.				KEY REV. COR.	
OWNER'S NAME				LOT SIZE	
Horton & Converse				178x157	
OWNER'S ADDRESS				153x155	
621 West Pico Blvd.				20	
ARCHITECT OR DESIGNER				REAR ALLEY	
				SIDE ALLEY	
ENGINEER				BLDG. LINE	
CONTRACTOR				AFFIDAVITS	
Williams Waterproffing&Painting 160105 2578191				PKG 767	
SIZE OF EXISTING BLDG.		STORIES	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE	
				1 - sales bldg	
MATERIAL OF CONSTRUCTION		EXT. WALLS	ROOF	FLOOR	
		brick	wood	wood CONC.	
JOB ADDRESS					
3 1250 So. Figueroa St.					
VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING.					
\$ 1,000 \$ 2,600					
NEW WORK: (Describe)					
Install new office partitions & show windowplatforms					
NEW USE OF BUILDING			SIZE OF ADDITION	STORIES	HEIGHT
(16) Retail Store			N.C.		
TYPE	GROUP	SPRINKLERS REQ'D SPECIFIED		VALUATION APPROVED	
III A	G-1				
BLDG. AREA	MAX. OCC.	TOTAL		PLANS CHECKED	
N.C.	N.C.				
DWELL. UNITS	GUEST ROOMS	SPACES REQ'D	PROVIDED	PLANS APPROVED	
		N.C.			
P.C. No.		CONT. INSP.		APPLICATION APPROVED	
MM 656					
P.C.	S.P.C.	G.P.I.	B.P.	I.E.	O.S.
806			1240		
					C/O
					TYPIST
					ty

CASHIER ONLY	NOV-23-65	624175	• 9023	X — 2 CS	8.06
	NOV-23-65	624185	• 9023	X — 1 CS	12.40

STATEMENT OF RESPONSIBILITY

I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.

"This permit is an application for inspection, the issuance of which is not an approval or an authorization of the work specified herein. This permit does not authorize or permit, nor shall it be construed as authorizing or permitting the violation or failure to comply with any applicable law. Neither the City of Los Angeles, nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein, or the condition of the property or soil upon which such work is performed." (See Sec. 91.0202 L.A.M.C.)

Signed	(Owner or Agent)	Name	Date
		G Shuxter	11/23/65
Bureau of Engineering	ADDRESS APPROVED		
	SEWERS AVAILABLE		
	NOT AVAILABLE		
	DRIVEWAY APPROVED		
	HIGHWAY DEDICATION REQUIRED		
	COMPLETED		
	FLOOD CLEARANCE APPROVED		
Conservation	APPROVED FOR ISSUE		
	FILE #		
Plumbing	PRIVATE SEWAGE DISPOSAL		
	SYSTEM APPROVED		
Planning	APPROVED UNDER		
	CASE #		
Fire	APPROVED (TITLE 19)		
	(L.A.M.C.-S700)		
Traffic	APPROVED FOR		

201-53-02 05118 2 000 X -- 3 000 2001
201-53-02 05111 2 000 X -- 5 000 00

3

APPLICATION TO ALTER - REPAIR - DEMOLISH
AND FOR CERTIFICATE OF OCCUPANCY

B&S Form B-3

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only
2. Plot Plan Required on Back of Original.

CENSUS TRACT

1. LEGAL DESCR. LOT 10 BLK. TRACT Carson & Currier's Sub. of Blk. 89 Ord's Survey 5518
2. PRESENT USE OF BUILDING () store NEW USE OF BUILDING (16) same

DIST. MAP 5518
ZONE M-2-4

3. JOB ADDRESS 1248 S. Figueroa
BETWEEN CROSS STREETS 12th St. AND Pico Blvd.

FIRE DIST. T/80
INSIDE COR. LOT KEY REV. COR.

5. OWNER'S NAME A. G. Schaeffer, Sr. PHONE KE 2756
6. OWNER'S ADDRESS 5156 Los Encantos Way P.O. BOX 27 ZIP
7. ARCHITECT OR DESIGNER STATE LICENSE NO. PHONE

LOT SIZE 50x155.21
155.18

8. ENGINEER STATE LICENSE NO. PHONE
9. CONTRACTOR OWNER STATE LICENSE NO. PHONE

REAR ALLEY 20'
SIDE ALLEY BLDG. LINE 20' = Fig.

10. SIZE OF EXISTING BLDG. 100x150 STORIES 2 HEIGHT 20 NO. OF EXISTING WINDOWS ON LOT AND USE
11. MATERIAL OF CONSTRUCTION EXT. WALLS BRICK ROOF WOOD COMP

AFFIDAVITS DPD

3 12. JOB ADDRESS 1248 S. Figueroa

DISTRICT OFFICE L.A.

13. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING. \$ 3000

GRADING

14. NEW WORK: (Describe) 800 SF INT PART Int. curtain walls for furniture display

CRIT. SOIL
HIGHWAY DED. yes No 505

NEW USE OF BUILDING STORE SIZE OF ADDITION NC STORIES HEIGHT

FLOOD

TYPE II-A GROUP G-1 SPRINKLERS REQ'D SPECIFIED NC VALUATION APPROVED
BLDG. AREA NC MAX. OCC. TOTAL PLANS CHECKED
DWELL. UNITS NC GUEST ROOMS SALES PARKING REQ'D PROVIDED PLANS APPROVED
P.C. No. LL 4201 CONT. INSP. APPLICATION APPROVED
P.C. 910 S.P.C. G.P.I. B.P. 1400 O.S. TYPIST k

CONS. yes
ZONED BY Shukla
FILE WITH NO
INSPECTOR

C-58170

APR-15-65 18634 E •92717 X = 2 CS 9.10
APR-15-65 18635 E •92717 X = 1 CS 24.00

STATEMENT OF RESPONSIBILITY

I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.

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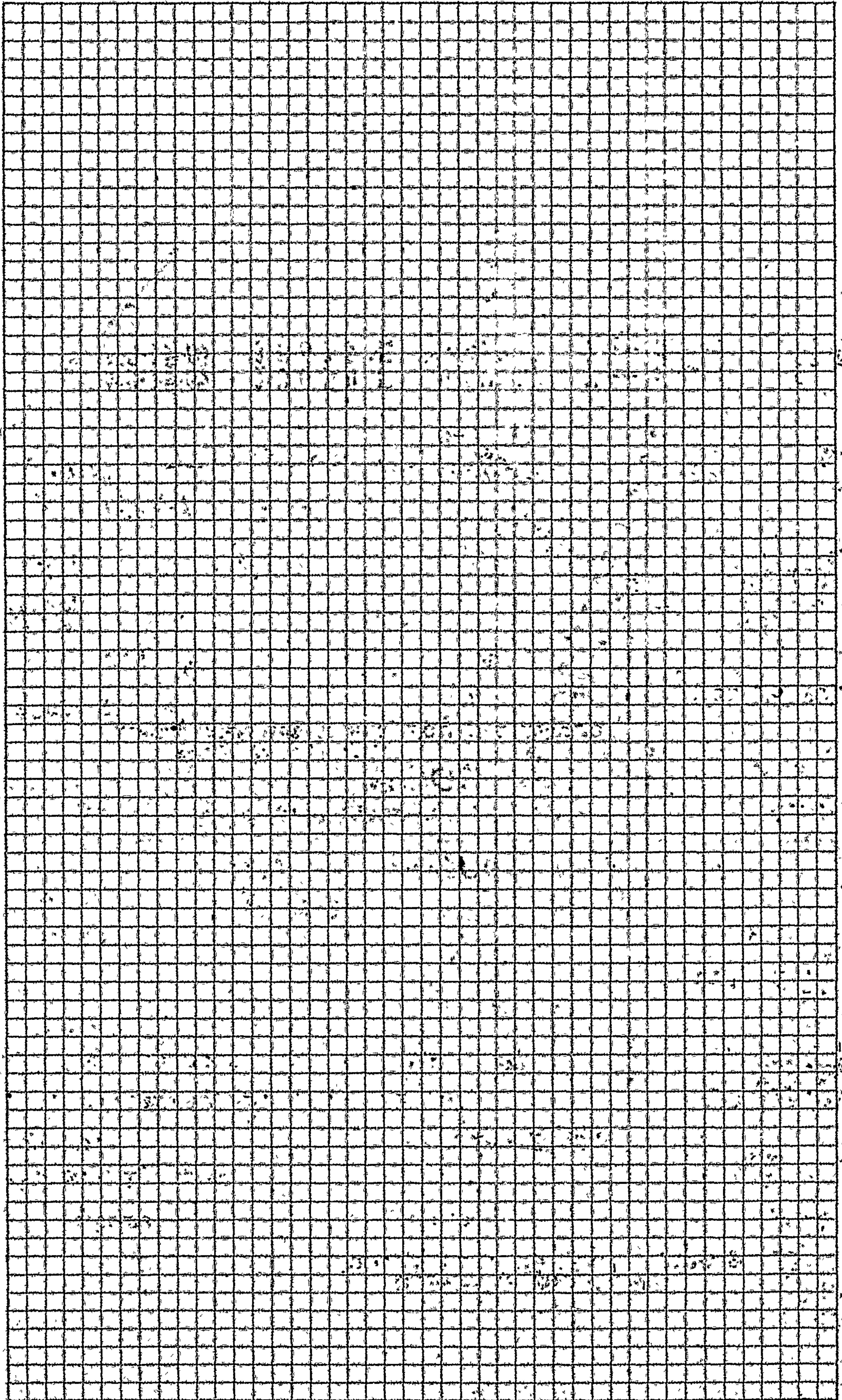
Signed [Signature] (Owner or Agent)

Name	Date
Byler	4-15-65
Overlin	4-14-65

Bureau of Engineering	ADDRESS APPROVED
	SEWERS AVAILABLE
	NOT AVAILABLE
	DRIVEWAY APPROVED
	HIGHWAY DEDICATION REQUIRED
	COMPLETED
	FLOOD CLEARANCE APPROVED
Conservation	APPROVED FOR ISSUE NO REFERENCE
Plumbing	PRIVATE SEWAGE DISPOSAL SYSTEM APPROVED
Planning	APPROVED UNDER CASE #
Fire	APPROVED (TITLE 19) (L.A.M.C.-5700)
Traffic	APPROVED FOR

LEGAL DESCRIPTION

ON PLOT PLAN SHOW ALL BUILDINGS ON LOT AND USE OF EACH



3 APPLICATION TO ALTER-REPAIR-DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY

CITY OF LOS ANGELES
DEPT. OF BUILDING AND SAFETY

AC-2

INSTRUCTIONS: 1. Application to Complete Numbered Items Only
2. Plot Plan Required on Back of Original.

CENSUS TRACT

1. LEGAL DESCR.	LOT 9	BLK.	TRACT Carson & Carriers Sub of Blk. 39 Ord's Survey 5518	DIST. MAP
2. PRESENT USE OF BUILDING 12) office & mfg.	NEW USE OF BUILDING (12) same		ZONE M-2-4-0	
3. JOB ADDRESS 1240 S. Figueroa St.				FIRE DIST. T
4. BETWEEN CROSS STREETS 12th St AND Pico				INSIDE COR. LOT KEY REV. COR.
5. OWNER'S NAME The E. 24th St. Corp	PHONE			LOT SIZE 50 X 155
6. OWNER'S ADDRESS 149 W. 22nd St. 90007	P.O. BOX ZIP			REAR ALLEY 20
7. ARCHITECT OR DESIGNER	STATE LICENSE NO. PHONE			SIDE ALLEY
8. ENGINEER Jackson M. Lewis S1215 RI 98144	STATE LICENSE NO. PHONE			BLDG. LINE
9. CONTRACTOR The Ted R. Cooper Co. B-382 RI 98144	STATE LICENSE NO. PHONE			AFFIDAVITS Downtown
10. SIZE OF EXISTING BLDG. 98 X 150	STORIES 2	HEIGHT 30	NO. OF EXISTING BUILDINGS ON LOT AND USE 1 - off., hse	
11. MATERIAL OF CONSTRUCTION	EXT. WALLS	ROOF	FLOOR	

3 12. JOB ADDRESS 1240 S. Figueroa St.	DISTRICT OFFICE LA			
13. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING \$12,000 B.P. only \$ 6,000 P.C. only	GRADING /			
14. NEW WORK: (Describe) Install 2story 7'X9' elevator, with block wall, shaft new 12'X20' & 4'4"X11' conc flr NEW USE OF BUILDING slabs wood strip	CRIT. SOIL /			
TYPE Same	GROUP	SPRINKLERS REQ'D SPECIFIED	VALUATION APPROVED	CONS.
BLDG. AREA	MAX OCC.	TOTAL	PLANS CHECKED	ZONED BY
DWELL. UNITS	GUEST ROOMS	SPACES PARKING	PLANS APPROVED	FILE WITH
P.C. No.	CONT. INSP.		APPLICATION APPROVED	INSPECTOR
P.C. 16.90	S.P.C.	G.P.I.	B.P. 50.00	I.F. 1
			O.S.	C/O
				TYPIST lh

Plan check expires six months after fee is paid. Permit expires one year after fee is paid or six month after fee is paid if construction is not commenced.

DEC-6-67 57574 E •57568 X — 2 CK 16.90
DEC-6-67 57575 E •57568 X — 1 CK 50.00

STATEMENT OF RESPONSIBILITY

I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.

"This permit is an application for inspection, the issuance of which is not an approval or an authorization of the work specified herein. This permit does not authorize or permit, nor shall it be construed as authorizing or permitting the violation or failure to comply with any applicable law. Neither the City of Los Angeles, nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein, or the condition of the property or soil upon which such work is performed." (See Sec. 91.0202 L.A.M.C.)

Signed Jackson M. Lewis (for TRC)
(Owner or Agent)

Bureau of Engineering	ADDRESS APPROVED	Name L. Dalton	Date 12-5
	SEWERS AVAILABLE		
	NOT AVAILABLE		
	DRIVEWAY APPROVED		
	HIGHWAY DEDICATION REQUIRED		
	COMPLETED		
	FLOOD CLEARANCE APPROVED		
Conservation	APPROVED FOR ISSUE FILE #		
Plumbing	PRIVATE SEWAGE DISPOSAL SYSTEM APPROVED		
Planning	APPROVED UNDER CASE #		
Fire	APPROVED (TITLE 19) (L.A.M.C.-S700)		
Traffic	APPROVED FOR		

NAME	AKS — X	382720	2 4 1 2 3	10-0-338
CHOR	NO 1 — X	382720	2 4 1 2 3	10-0-338

AC-2

3

APPLICATION TO ALTER-REPAIR-DEMOLISH
AND FOR CERTIFICATE OF OCCUPANCY

CITY OF LOS ANGELES
DEPT. OF BUILDING AND SAFETY

INSTRUCTIONS: 1. Application to Complete Numbered Items Only
2. Plot Plan Required on Back of Original.

CENSUS TRACT

1. LEGAL DESCR.	LOT	BLK.	TRACT
	9		Carson & Carriers sub. of blk. 39 Ord's Survey
2. PRESENT USE OF BUILDING	NEW USE OF BUILDING		
12 office/mfg./warehouse.	12 same		
3. JOB ADDRESS			
1240 S. Figueroa St.			
4. BETWEEN CROSS STREETS			
1st St. AND Pico			
5. OWNER'S NAME	PHONE		
The E. 24th St. Corp.			
6. OWNER'S ADDRESS	P.O. BOX	ZIP	
149 W. 22nd St.	LA	90007	
7. ARCHITECT OR DESIGNER	STATE LICENSE NO.		PHONE
8. ENGINEER	STATE LICENSE NO.		PHONE
Jackson M. Lewis	S1215		RI98144
9. CONTRACTOR	STATE LICENSE NO.		PHONE
The Ted R. Cooper Co.	B382		RI 98144
10. SIZE OF EXISTING BLDG.	STORIES	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE
98x150	2	30'	1-office
11. MATERIAL OF CONSTRUCTION	EXT. WALLS	ROOF	FLOOR

DIST. MAP
5518
ZONE
M-2-4-0
FIRE DIST.
I
INSIDE COR. LOT
KEY REV. COR.
LOT SIZE
50x155
REAR ALLEY
20
SIDE ALLEY
BLDG. LINE
/
AFFIDAVITS
downtown

3

12. JOB ADDRESS
1240 S. Figueroa St.
13. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING
15,000
14. NEW WORK: (Describe)
(mezz. makes bldg a 3 story bldg.) int. office partitions, air cond. susp. clg. 4x22 canopies(2) mezz.flr. addition

DISTRICT OFFICE
LA
GRADING
/
CRIT. SOIL
/
HIGHWAY DED.
/

NEW USE OF BUILDING	SIZE OF ADDITION	STORIES	HEIGHT	FLOOD
Scmp	2-4x22	3		/
TYPE	GROUP	SPRINKLERS REQ'D SPECIFIED	VALUATION APPROVED	CONS.
NC	G-1/U-1	—	Mazel	/
BLDG. AREA	MAX OCC.	TOTAL	PLANS CHECKED	ZONED BY
1600 sq ft	NC		Mazel	
DWELL. UNITS	GUEST ROOMS	SPACES REQ'D PROVIDED	PLANS APPROVED	FILE WITH
—	—	2 2	Mazel	LA57568/67
P.C. No.	CONT. INSP.	No paid parking	APPLICATION APPROVED	INSPECTOR
NN9786			Mazel	
P.C.	S.P.C.	G.P.I.	B.P.	I.F.
40.30			62.00	
				O.S.
				C/O
				TYPIST
				ks

Plan check expires six months after fee is paid. Permit expires one year after fee is paid or six month after fee is paid if construction is not commenced.

JAN 19-68 031105 • • Z-2 CK 40.30

JAN 26-68 042765 • 60061 Z-1 CK 62.00

STATEMENT OF RESPONSIBILITY

I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.

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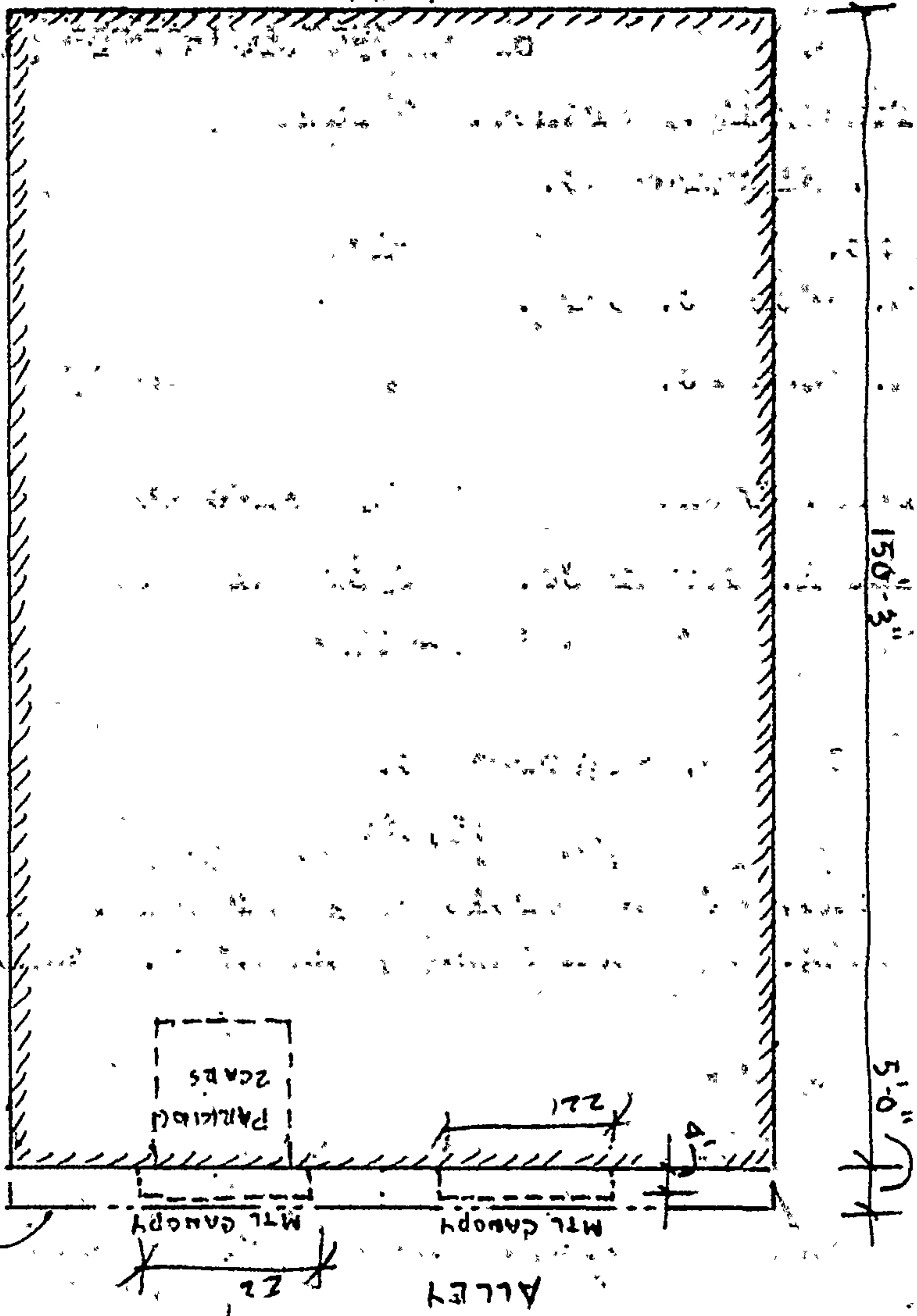
Signed BY TED R. COOPER CO INC.
The E. 24th St. Corp.
(Owner or Agent)

Name	Date
Bureau of Engineering	
ADDRESS APPROVED	
SEWERS AVAILABLE	
NOT AVAILABLE	
DRIVEWAY APPROVED	
HIGHWAY DEDICATION REQUIRED	
COMPLETED	
FLOOD CLEARANCE APPROVED	
Conservation	
APPROVED FOR ISSUE	
FILE #	
Plumbing	
PRIVATE SEWAGE DISPOSAL	
SYSTEM APPROVED	
Planning	
APPROVED UNDER	
CASE #	
Fire	
APPROVED (TITLE 19)	
(L.A.M.C.—S700)	
Traffic	
APPROVED FOR	

LOT 9
BLK. 39
CARSON & CARLIS SUB OF BLK 39 GND'S SURVEY

7-12-83 02:10 P • • • 1-1-83 10:11

7-12-83 02:10 P • • • 1-1-83 10:11



1240 S. FIGUEROA ST.

100-114

95'-3" ±

150'-3"

5'-0"

3

APPLICATION TO ALTER - REPAIR - DEMOLISH
AND FOR CERTIFICATE OF OCCUPANCY

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

B&S Form B-3

AC-2

INSTRUCTIONS:

1. Applicant to Complete Numbered Items Only
2. Plot Plan Required on Back of Original.

CENSUS TRACT

1. LEGAL DESCR.	LOT 9	BLK.	TRACT Carson & Carriers Sub of Blk. 39 Ord's Survey	DIST. MAP 5518
2. PRESENT USE OF BUILDING (12) Office & Mfg.	NEW USE OF BUILDING (12) Same			ZONE M-2-4-0
3. JOB ADDRESS 1240 S. Figueroa St.				FIRE DIST. ONE
4. BETWEEN CROSS STREETS 12th AND Pico				INSIDE COR. LOT KEY REV. COR.
5. OWNER'S NAME The E. 24th St. Corp.	PHONE			LOT SIZE 50 x 155
6. OWNER'S ADDRESS 149 W. 22nd St.	P.O. BOX	ZIP 90007		REAR ALLEY
7. ARCHITECT OR DESIGNER	STATE LICENSE NO. PHONE			SIDE ALLEY
8. ENGINEER Jackson M. Lewis	STATE LICENSE NO. S1215 PHONE RI 9-8144			BLDG. LINE /
9. CONTRACTOR The Ted R. Cooper Co.	STATE LICENSE NO. B-382 PHONE RI 9-8144			AFFIDAVITS
10. SIZE OF EXISTING BLDG. 98 x 150	STORIES 2	HEIGHT 30	NO. OF EXISTING BUILDINGS ON LOT AND USE 1 - office., hse.	Downtown
11. MATERIAL OF CONSTRUCTION	EXT. WALLS BRICK	ROOF CORNR.	FLOOR WOOD	
12. JOB ADDRESS 1240 S. Figueroa St.				DISTRICT OFFICE IA
13. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING. \$180.00				GRADING /
14. NEW WORK: (Describe) Cut 2 opngs 1'-4" x 2'-3" in existing 2nd fl. slab bet. joist.				CRIT. SOIL /
NEW USE OF BUILDING SAME		SIZE OF ADDITION	STORIES	HEIGHT
TYPE 111-A	GROUP G-1	SPRINKLERS REQ'D SPECIFIED	VALUATION APPROVED	
BLDG. AREA	MAX. OCC.	TOTAL	PLANS CHECKED	CONS. /
DWELL. UNITS	GUEST ROOMS	SPACES REQ'D PROVIDED	PLANS APPROVED	ZONED BY C. Fry
P.C. No.	CONT. INSP.	APPLICATION APPROVED		FILE WITH
P.C. 1.30	S.P.C.	G.P.I.	B.P. 2	I.F.
O.S.	C/O	TYPIST Cq		

CASHIER ONLY

JUN-14-68
JUN-14-68

31263
31264

•68718
•68718

W = 2 CK
W = 1 CK

1.30
2.00

STATEMENT OF RESPONSIBILITY

I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.

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Signed TED R. COOPER CO INC
By The E. 24th St. Corp.
(Owner or Agent)

Bureau of Engineering	ADDRESS APPROVED	Name	Date
	SEWERS AVAILABLE		
	NOT AVAILABLE		
	DRIVEWAY APPROVED		
	HIGHWAY DEDICATION REQUIRED		
	COMPLETED		
	FLOOD CLEARANCE APPROVED		
Conservation	APPROVED FOR ISSUE		
	FILE #		
Plumbing	PRIVATE SEWAGE DISPOSAL SYSTEM APPROVED		
Planning	APPROVED UNDER CASE #		
Fire	APPROVED (TITLE 19) (L.A.M.C.-5700)		
Traffic	APPROVED FOR		

LOT 9, CARSON & CARPENTER'S SURVEY
OF BLK 39, GRD'S SURVEY

1240 S. FIGUEROA ST.

98'

NEW OPENS
@ 2ND FL.

150'

ALLEY

3

APPLICATION TO ALTER-REPAIR-DEMOLISH
AND FOR CERTIFICATE OF OCCUPANCY

B&S B-3-R2

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only. 2. Plot Plan Required on Back of Original.

1. LEGAL DESCR.	LOT	9,10,11	BLK.	89	TRACT	Carson and Curriers	CENSUS TRACT	2079		
2. PRESENT USE OF BUILDING		NEW USE OF BUILDING		subdiv. of Ord's Svy				DIST. MAP	5518	
(16) Furniture Store		same						ZONE	M2-4=0	
3. JOB ADDRESS		1248 S. Figueroa St.							FIRE DIST.	one
4. BETWEEN CROSS STREETS		Pico Blvd.		AND		12th St.		LOT (TYPE)	int	
5. OWNER'S NAME		Albert G. Schaefer							LOT SIZE	125x?
6. OWNER'S ADDRESS		5156 Los Encantos Way		CITY		LA 90027		155.17		
7. ARCHITECT OR DESIGNER									STATE LICENSE No	PHONE
8. ENGINEER		Ivall A. Pardee							STATE LICENSE No	PHONE
9. CONTRACTOR		to be determined							STATE LICENSE No	PHONE
10. LENDER									BRANCH OFFICE	PHONE
11. SIZE OF EXISTING BLDG.		STORIES		HEIGHT		NO. OF EXISTING BUILDINGS ON LOT AND USE				
150x100		2		34'		1				
12. MATERIAL OF CONSTRUCTION OF EXISTING BLDG		EXT. WALLS		ROOF		FLOOR				
brick		comp		conc						
13. JOB ADDRESS		1248 So. Figueroa St.							DISTRICT OFFICE	LA
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING		\$ 3000.00							GRADING	/
15. NEW WORK (Describe)		structural remodeling of south wall							CRIT. SOIL	/
NEW USE OF BUILDING		SIZE OF ADDITION		STORIES		HEIGHT		FLOOD	yes	
(16) Furniture Store										
TYPE		GROUP		SPRINKLERS REQ'D SPECIFIED		VALUATION APPROVED		CONS.	/	
III-A		N/C		N/C		N/C				
BLDG. AREA		MAX. OCC.		TOTAL		PLANS CHECKED		ZONED BY	Iyle	
N/C		N/C		N/C		N/C		FILE WITH		
DWELL. UNITS		GUEST ROOMS		PARKING REQ'D PROVIDED		PLANS APPROVED		INSPECTOR	M.	
P.C. No.		CONT. INSP.		N/C		APPLICATION APPROVED				
V1347										
P.C.		S.P.C.		G.R.I.		B.F.		T.F.		
10.01		X		NO		15		X		

PLAN CHECK EXPIRES SIX MONTHS AFTER FEE IS PAID. PERMIT EXPIRES ONE YEAR AFTER FEE IS PAID OR SIX MONTHS AFTER FEE IS PAID IF CONSTRUCTION IS NOT COMMENCED.

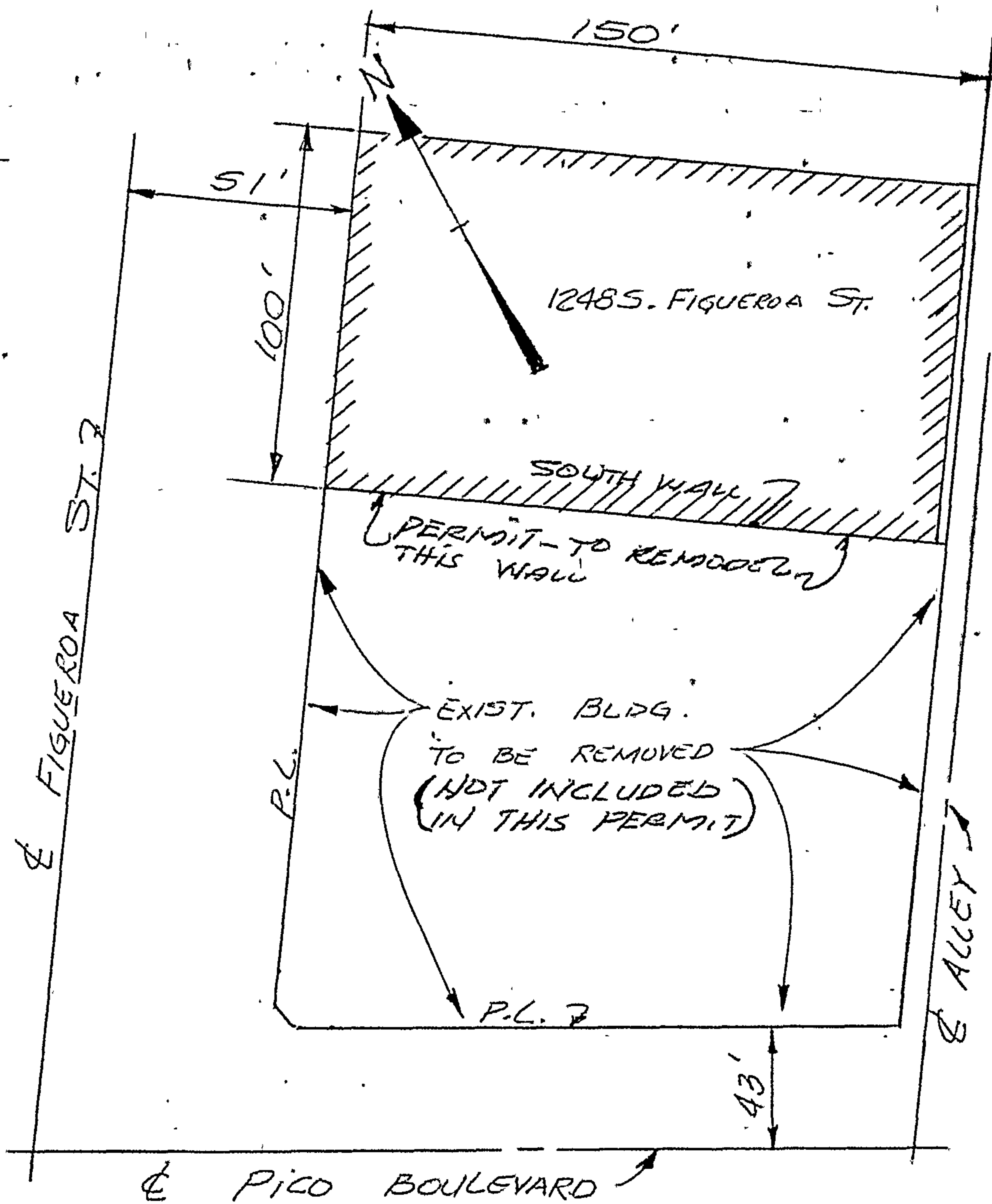
CASHIER'S USE ONLY	SEP-2-69	45769 E	•94812	X - 6 NF	0.00
	SEP-2-69	45770 E	•94812	X - 1 NF	0.00

STATEMENT OF RESPONSIBILITY

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Signed	<i>Albert G. Schaefer</i>	Name	K. Sei	Date	7/9/69
(Owner or Agent)			Helen Z.	Rm 460	7/9/69
Bureau of Engineering	ADDRESS APPROVED				
	SEWERS AVAILABLE				
	NOT AVAILABLE				
	DRIVEWAY APPROVED				
	HIGHWAY DEDICATION REQUIRED				
	COMPLETED				
	FLOOD CLEARANCE APPROVED				
Conservation	APPROVED FOR ISSUE				
Plumbing	FILE #				
Planning	PRIVATE SEWAGE DISPOSAL SYSTEM APPROVED				
Fire	APPROVED UNDER				
	CASE #				
	APPROVED (TITLE 19)				
	(L.A.M.C.-5700)				
Traffic	APPROVED FOR				



00.0	File - X	51840	2 2 1 2 4	08-5-432
00.0	File - X	51840	2 2 1 2 4	08-5-432

3

APPLICATION TO ADD-ALTER-REPAIR-DEMOLISH

B & S B-34-R12-68

CITY OF LOS ANGELES

AND FOR CERTIFICATE OF OCCUPANCY

DEPT. OF BUILDING AND SAFETY

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only. 2. Plot Plan Required on Back of Original.

1. LEGAL DESCR.	LOT	BLK.	TRACT	SENSUS TRACT	
	10		Carson and Curriers Subn. of Block 89	CT2079	
2. PRESENT USE OF BUILDING	NEW USE OF BUILDING		DIST. MAP		
16 commercial bldg.	16 comm. bldg.		5518		
3. JOB ADDRESS	ZONE				
1248 So. Figueroa St.	M2-4-0				
4. BETWEEN CROSS STREETS	FIRE DIST.				
Pico AND 12th	I				
5. OWNER'S NAME	PHONE		LOT (TYPE)		
Mr. Singletary	Re3 1732		Int		
6. OWNER'S ADDRESS	CITY		ZIP		LOT SIZE
2308 1/2 W. 24th St.	L. A.				50x155.21
7. ARCHITECT OR DESIGNER	STATE LICENSE No.		PHONE		50x155.18
					ALLEY
8. ENGINEER	STATE LICENSE No.		PHONE		20' R.
					BLDG. LINE
9. CONTRACTOR	STATE LICENSE No.		PHONE		
Safe-Way Sandblasting	123070		870-6188		
10. LENDER	BRANCH		ADDRESS		AFFIDAVITS
					Parking 717
11. SIZE OF EXISTING BLDG.	STORIES	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE		
30'X130'	2	30'			
12. MATERIAL OF CONSTRUCTION OF EXISTING BLDG.	EXT. WALLS	ROOF	FLOOR		
	stucco	compo			
13. JOB ADDRESS	DISTRICT OFFICE				
3 1248 So. Figueroa	LA				
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING	GRADING				
\$ 285.00					
15. NEW WORK: (Describe)	CRIT. SOIL				
Sandblast So. wall in preparation for painting.					
NEW USE OF BUILDING		SIZE OF ADDITION	STORIES	HEIGHT	FLOOD
(16) Same		0			
TYPE	GROUP	SPRINKLERS REQ'D SPECIFIED	INSPECTION ACTIVITY		CONS.
V	N/C		COMB	GEN	yes
BLDG. AREA	MAX. OCC.	TOTAL	PLANS CHECKED		ZONED BY
N/C	N/C				Miller
DWELL. UNITS	GUEST ROOMS	PARKING REQ'D SPACES	PLANS APPROVED		FILE WITH
		N/C			
P.C. No.	CONT. INSP.		APPLICATION APPROVED		INSPECTOR
			E. Miller		I
P.C.	S.P.C.	G.P.I.	B.P.	I.F.	O.S.
			2.75		

PLAN CHECK EXPIRES SIX MONTHS AFTER FEE IS PAID. PERMIT EXPIRES ONE YEAR AFTER FEE IS PAID OR SIX MONTHS AFTER FEE IS PAID IF CONSTRUCTION IS NOT COMMENCED.

CASHIER'S USE ONLY

MAY-14-70

254635

• 8857

Z-1CK

2.75

STATEMENT OF RESPONSIBILITY

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Signed

Charles James

(Owner or Agent)

	Name	Date
Bureau of Engineering		5/11/70
	ADDRESS APPROVED	
	SEWERS AVAILABLE	
	NOT AVAILABLE	
	DRIVEWAY APPROVED	
	HIGHWAY DEDICATION REQUIRED COMPLETED	
	FLOOD CLEARANCE APPROVED	
Conservation	APPROVED FOR ISSUE FILE #	
Plumbing	PRIVATE SEWAGE DISPOSAL SYSTEM APPROVED	
Planning	APPROVED UNDER CASE #	
Fire	APPROVED (TITLE 19) (L.A.M.C.-S700)	
Traffic	APPROVED FOR	

1970 MAY -4 PM 1:58

3

APPLICATION TO ADD-ALTER-REPAIR-DEMOLISH

B&S B-3-R9-73

CITY OF LOS ANGELES

AND FOR CERTIFICATE OF OCCUPANCY

DEPT. OF BUILDING AND SAFETY

INSTRUCTIONS: Applicant to Complete Numbered Items Only.

1. LEGAL DESCR.	LOT SW 16' of lt. 7, all of lt 8, & NELY 29' of lt 9, all Carson & Curriers Subd of Blk 89 Ord's Survey	BLK	TRACT	DIST. MAP 5518
2. PRESENT USE OF BUILDING	(22) warehouse	NEW USE OF BUILDING	(22) same	CENSUS TR. 20789.00
3. JOB ADDRESS	1240 S. Figueroa St.			ZONE M2-4-0
4. BETWEEN CROSS STREETS	Pico Blvd.	AND	12th St.	FIRE DIST. one
5. OWNER'S NAME	Kraus Original Inc.	PHONE		LOT (TYPE) inside
6. OWNER'S ADDRESS	same	CITY	LA	LOT SIZE 95x155±
7. ENGINEER		STATE LICENSE No.		ALLEY 20' R
8. ARCHITECT OR DESIGNER	Ted R. Cooper Co.	STATE LICENSE No.	C382	PHONE 749-8144
9. CONTRACTOR	architect OWNER	STATE LICENSE No.		PHONE
10. BRANCH LENDER		ADDRESS		CITY
11. SIZE OF EXISTING BLDG.	WIDTH 95 LENGTH 150	STORIES 3	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE
12. CONST. MATERIAL OF EXISTING BLDG.	EXT. WALLS conc blk	ROOF compo	FLOOR conc	
13. JOB ADDRESS	1240 S. Figueroa St.			DIST. OFFICE LA
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING	\$50			CRIT. SOIL
15. NEW WORK: (Describe)	install H.M. ROOM in existing bldg. (NEOPRENE ADHESIVE 7450) 4 DRUMS			GRADING
NEW USE OF BUILDING	SAME	SIZE OF ADDITION	STORIES	HEIGHT
TYPE	TH A	GROUP OCC.	G-1	PLANS CHECKED
BLDG. AREA	1/2	MAX OCC.		PLANS APPROVED
DWELL. UNITS		GUEST ROOMS	PARKING REQ'D PROVIDED	APPLICATION APPROVED
SPRINKLERS REQ'D SPECIFIED		CONT. INSP.		INSPECTION ACTIVITY
				COMB GEN MAJ. S. CONS
P.C.	8.12	S.P.C.	9.55	I.F.
				G.P.I.
				U.S.
				C/O
				PM
				TYPIST

CASHIER'S USE ONLY

STATEMENT OF RESPONSIBILITY

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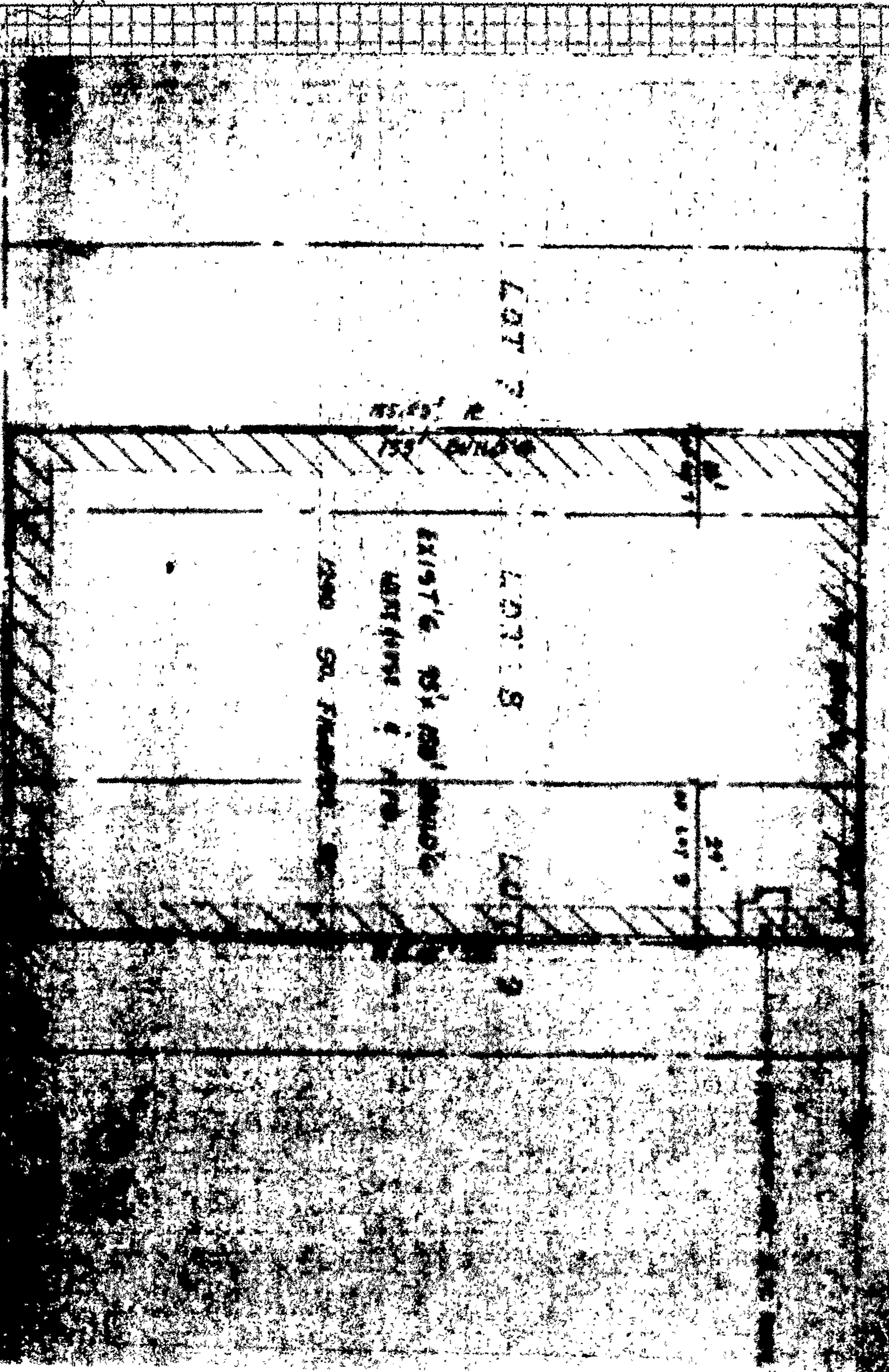

Signed

Joseph Douglas King
(Owner or Agent)

Signature/Date

Bureau of Engineering	ADDRESS APPROVED	Shum 4-15-74
	SEWERS	SEWERS AVAILABLE
		NOT AVAILABLE
		SFC PAID
		SFC DUE
	DRIVEWAY	Shum 4-15-74
	HIGHWAY DEDICATION	REQUIRED
		COMPLETED
	FLOOD CLEARANCE	
Conservation	APPROVED FOR ISSUE <input type="checkbox"/> NO FILE <input checked="" type="checkbox"/>	Thompson 4-15-74
Fire	APPROVED (TITLE 19) (L.A.M.C. S700)	
Plumbing	PRIVATE SEWAGE SYSTEM APPROVED	
Planning	APPROVED UNDER CASE #	
Traffic	APPROVED FOR	

SW 17' OF LOT 7, ALL OF LOT 8 & NORTH
OF LOT 9



3

APPLICATION FOR INSPECTION — TO ADD-ALTER-REPAIR-DEMOLISH

AC-1

CITY OF LOS ANGELES

AND FOR CERTIFICATE OF OCCUPANCY

B&S B-3 (RB 79)
DEPT. OF BUILDING AND SAFETY

INSTRUCTIONS: Applicant to Complete Numbered Items Only.

1. LEGAL DESCR.	LOT 10	BLK ---	TRACT Carson & Curriers Subd of Blk 89 Ords Survey	DIST. MAP 126 205 CENSUS TRACT 2079.00
2. PRESENT USE OF BUILDING (22) Warehouse	NEW USE OF BUILDING 22 same		ZONE M2-4-0	
3. JOB ADDRESS 1248 S. Figueroa St.	FIRE DIST. one		LOT TYPE int.	
4. BETWEEN CROSS STREETS 12th St.	AND Pico		LOT SIZE 50x155.21	
5. OWNER'S NAME Harlow KEM Kerman	PHONE 748-8806		155.18	
6. OWNER'S ADDRESS 1248 Figueroa St.	CITY LA	ZIP	ALLEY Rear 20'	
7. ENGINEER	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	BLDG. LINE
8. ARCHITECT OR DESIGNER	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	AFFIDAVITS prkg. 717
9. OWNER	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	*ZI 940
10. BRANCH LENDER	ADDRESS	CITY	Cent. City DTP/CCPD	
11. SIZE OF EXISTING BLDG. WIDTH LENGTH	STORIES 2	HEIGHT 25	NO. OF EXISTING BUILDINGS ON LOT AND USE one	
12. CONST. MATERIAL OF EXISTING BLDG. →	EXT. WALLS blk walls	ROOF comp	FLOOR wd	
13. JOB ADDRESS 1248 S. Figueroa St.	DISTRICT OFFICE LA		SEISMIC STUDY ZONE	
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE PROPOSED BUILDING \$ 5,000	GRADING		HIGHWAY DED. YES	
15. NEW WORK: (Describe) Adding an office w/in exist. bldgr. Interior Partitions & Suspended Ceiling	FLOOD		CONS.	
NEW USE OF BUILDING (22) Whse	SIZE OF ADDITION		STORIES	HEIGHT
TYPE III	GROUP OCC. G1	BLDG. AREA	PLANS CHECKED	
DWELL. UNITS NC	MAX OCC. NC	TOTAL	PLANS APPROVED	
GUEST ROOMS NC	PARKING REQ'D NC	PARKING PROVIDED STD. NC (COMP.)	APPLICATION APPROVED	
SPRINKLERS REQ'D SPECIFIED NC	CONT. INSP. NC	INSPECTION ACTIVITY		INSPECTOR
P.C. 31.45	S.P.C.	B.P. 37.00	P.M.	I.F. /
P.C. NO.	WORKER'S COMPENSATION INSURANCE CERTIFICATE ON FILE		ENERGY:	TYPIST KCB

PERMIT EXPIRES TWO YEARS AFTER FEE IS PAID OR 180 DAYS AFTER FEE IS PAID IF CONSTRUCTION IS NOT COMMENCED.

CASHIER'S USE ONLY

MAR-19-79	67288	79504	U = 6 CK	31.45
MAR-19-79	67289	79504	U = 1 CK	37.00

LIMIT OF PERMIT

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Signed: *Richard R. Levan*
(Owner or Agent having Property Owner's Consent). ALSO, sign statement on reverse side, if applicable.

Signature/Date

Bureau of Engineering	ADDRESS APPROVED	Meyers 3-19-79
	DRIVEWAY Not affected	Chin 3-19-79
	HIGHWAY DEDICATION	REQUIRED
	COMPLETED	
FLOOD CLEARANCE		
SEWERS	X SEWERS AVAILABLE	Chin 3-19-79
	NOT AVAILABLE	
	SFC PAID	
	SFC NOT APPLICABLE	SFC DUE
Plumbing	PRIVATE SEWAGE SYSTEM APPROVED	
Conservation	APPROVED FOR ISSUE <input type="checkbox"/> NO FILE <input type="checkbox"/> FILE CLOSED <input type="checkbox"/>	
Fire	APPROVED (TITLE 19) (L.A.M.C.-S700)	
Housing	HOUSING AUTHORITY APPROVAL	
Planning	APPROVED UNDER CASE #	
Traffic	APPROVED FOR	
Construction Tax	RECEIPT NO.	DWELLING UNITS

3/19/79

Agents

Richard R. Lewis
Richard R. Jernigan

COMMUNITY REDEVELOPMENT
PROJECT AREA, AND HAVE BEEN ADVISED
TO CONTINUE WITH THE COMMUNITY REDEVELOPMENT
PROJECT AGENCY
SIGNATURE Richard R. Lewis

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.

1. LEGAL DESCR.	LOT 5, 16, 17, 73 89 N.E. 29th St	BLOCK	TRACT	COUNCIL DISTRICT NO.	DIST. MAP
			Carson, St Carrier's Sub of Ord's Survey	9	126-205
2. PRESENT USE OF BUILDING	NEW USE OF BUILDING				CENSUS TRACT
OFFICE & MFG.	SAME				2079.00
3. JOB ADDRESS					ZONE
1240 South Figueroa Street					M2-4-0-(2)
4. BETWEEN CROSS STREETS	AND				FIRE DIST.
East 12th Street	Pico Blvd				One
5. OWNER'S NAME	PHONE				LOT TYPE
East Twenty-Fourth St. Corp	749-8144				Interior
6. OWNER'S ADDRESS	CITY				LOT SIZE
149 West 22nd Street	90007				50'X155.29
7. ENGINEER	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	ALLEY	
				20' Rear	
8. ARCHITECT OR DESIGNER	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	BLDG. LINE	
9. ARCHITECT OR ENGINEER'S ADDRESS	CITY				AFFIDAVITS
					D.P.D.
10. CONTRACTOR	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	Z1-940	
Ted R. Copper Co. Inc	382B		749-8144		
11. SIZE OF EXISTING BLDG.	STORIES	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE		
WIDTH 95' LENGTH 150'	3	36'	1-Office & MFG		
12. CONST. MATERIAL	EXT. WALLS	ROOF	FLOOR		
OF EXISTING BLDG.	Brick	Concrete	Concrete		
13. JOB ADDRESS	STREET GUIDE				DISTRICT OFFICE
1240 S. Figueroa Street					LA
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING	12,300.00				SEISMIC STUDY ZONE
15. NEW WORK (Describe)	Comply with Fire Safety Orders				GRADING
					FLOOD
					Yes
					CONS.

NEW USE OF BUILDING	SIZE OF ADDITION	STORIES	HEIGHT	ZONED BY	
Office & MFG				Frobus	
TYPE	GROUP	BLDG. AREA	PLANS CHECKED	FILE WITH	
ITA			Kendig		
DWELL. UNITS	MAX. OCC.	TOTAL	APPLICATION APPROVED	TYPIST	
			Kendig	met	
GUEST ROOMS	PARKING REQ'D	PARKING PROVIDED	INSPECTION ACTIVITY	INSPECTOR	
		STD. COMP.	CONS.	Kobosa	
SPRINKLERS REQ'D SPEC.	CONT. INSP.	CASHIER'S USE ONLY			
P.C. 6868 P.M.					
S.P.C. I.F.					
B.P. 8080 O.S.	Claims for refund of fees paid on permits must be filed: 1. Within one year from date of payment of fee; or 2. Within one year from date of expiration of extension for building or grading permits granted by the Dept. of B. & S. SECTIONS 22.12 & 22.13 LAMC.				
G.R. C/O					
DIST. OFFICE	ENERGY:				
P.C. NO.					
221733					
PLAN CHECK EXPIRES ONE YEAR AFTER FEE IS PAID. PERMIT EXPIRES TWO YEARS AFTER FEE IS PAID OR 180 DAYS AFTER FEE IS PAID IF CONSTRUCTION IS NOT COMMENCED.					

DECLARATIONS AND CERTIFICATIONS

LICENSED CONTRACTORS DECLARATION

16. I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Date 11/24/80 Lic. Class B Lic. No. 382 Contractor *[Signature]*

Contractor's Mailing Address 149 W. 22nd St. L.A. 90007

OWNER-BUILDER DECLARATION

17. I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.).

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.).

☐ I am exempt under Sec. _____, B. & P. C. for this reason _____

Date _____ Owner _____

WORKERS' COMPENSATION DECLARATION

18. I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).

Policy No. _____ Company ALLIANZ

☐ Certified copy is hereby furnished.

☒ Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety.

Date 11/24/80 Applicant *[Signature]*

Applicant's Mailing Address 149 W. 22nd St. L.A. 90007

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

19. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.

Date _____ Applicant _____

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

CONSTRUCTION LENDING AGENCY

20. I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

21. I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed. (See Sec. 91.0202 LAMC)

Signed *[Signature]* ARCH 11/24/80 Date

(Owner or agent having property owner's consent) Position

6.000001 E0000000		ADDRESS APPROVED MF 11/21/80	
		ENTRANCE	
		HIGHWAY	REQUIRED
		DEDICATION	COMPLETED
		FLOOD CLEARANCE	
		SEWER AVAILABLE	Stian 11/21/80
		NOT AVAILABLE	
		DFC PAID	
		DFC DUE	
X		DFC NOT APPLICABLE	
ON 2/29		PRIVATE SEWAGE SYSTEM APPROVED	
CONSERVATION		APPROVED FOR ISSUE <input type="checkbox"/> NO FILE <input type="checkbox"/> FILE CLOSED <input type="checkbox"/>	
FLOOD		FLOOD INSURANCE (FLOOD DAMAGE)	
HOLDING		HOLDING AUTHORITY & APPROVAL	
FLOODING		APPROVED UNDER CASE #	
TAXES		APPROVED FOR	
CONSTRUCTION TAX		PROPERTY TAX	DWELLING UNITS

CONSTRUCTION TAX

ON PLOT PLAN SHOW ALL BUILDINGS ON LOT AND USE OF EACH

ATTACHED PLOT PLANS SHALL NOT EXTEND ABOVE THIS LINE

3

APPLICATION
FOR
INSPECTION

CITY OF LOS ANGELES DEPT. OF BUILDING AND SAFETY

TO ADD-ALTER-
REPAIR-DEMOLISH
AND FOR CERTIFICATE
OF OCCUPANCY

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.

1. LOT	BLOCK	TRACT	COUNCIL DISTRICT NO.	DIST. MAP
LEGAL 10 por. 9 & DESCR. 11 See attached		Carson Carriers/ Sub of Bl. 89 Ords Survey	9	126-205 CENSUS TRACT 2079
2. PRESENT USE OF BUILDING (16 Retail Store	NEW USE OF BUILDING (16) Auto Dealer	ZONE M2-4-0(2)		
3. JOB ADDRESS 1248 S. Figueroa St.	FIRE DIST. -- II			
4. BETWEEN CROSS STREETS Pico Blvd.	AND 12th ST.	LOT TYPE Int.		
5. OWNER'S NAME Mary Mann	PHONE	LOT SIZE Irreg.		
6. OWNER'S ADDRESS 1248 Figueroa St.	CITY Los Angeles	ZIP		
7. ENGINEER	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	ALLEY 20' rear
8. ARCHITECT OR DESIGNER	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	BLDG. LINE --
9. ARCHITECT OR ENGINEER'S ADDRESS	CITY	ZIP	AFFIDAVITS DTPD CCPD ZI 940	
10. CONTRACTOR	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	P.C. REQ'D no (f)
Keyte Deckers Inc.	490028	818-352-7841		
11. SIZE OF EXISTING. BLDG. WIDTH 100 LENGTH 150	STORIES 2	HEIGHT 40	NO. OF EXISTING BUILDINGS ON LOT AND USE 1-retail	
12. CONST. MATERIAL OF EXISTING BLDG.	EXT. WALLS	ROOF	FLOOR	
13. JOB ADDRESS 1248 S. Figueroa	STREET GUIDE			DISTRICT OFFICE LA
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING	\$ 80,000.			SEISMIC STUDY ZONE --
15. NEW WORK (Describe) Tenant improvement-partition walls, ceiling, bathroom remodel.				GRADING --
NEW USE OF BUILDING Auto Dealership	SIZE OF ADDITION NONE	STORIES N.C.	HEIGHT N.C.	FLOOD --
TYPE DWELL UNITS	GROUP OCC. B-2/B-1	FLOOR AREA N.C.	PLANS CHECKED J. MOORE	HWY. DED. yes
GUEST ROOMS	PARKING REQ'D N.C.	PARKING PROVIDED STD. COMP.	APPLICATION APPROVED J. Moore	CONS. --
P.C. 323.00	G.P.I.	CONT. INSP.	ZONED BY J. Cassle	
S.P.C.	P.M.		FILE WITH	
B.P. 380.00	E.L.		TYPIST V.V.	
LF.	F.H.		INSPECTOR	
N/A	D.S.			
DIST. OFFICE L.A.	S.O.D.			
P.C. NO.	C/O			
PLAN CHECK EXPIRES ONE YEAR AFTER FEE IS PAID. PERMIT EXPIRES TWO YEARS AFTER FEE IS PAID OR 180 DAYS AFTER FEE IS PAID IF CONSTRUCTION IS NOT COMMENCED.		CASHIER'S USE ONLY		
		B & S B-3 (R 5.85)		
		C 323.00 B-PC C 380.00 B-PR C 7.60 PL7M C 5.60 E.L. C 176.00 FIRE C 17.84 DSS C 54642 DD01 F6050 4 01/08/87 910.04 CHTD		

DECLARATIONS AND CERTIFICATIONS

LICENSED CONTRACTORS DECLARATION

16. I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.
Date 8 JAN 87 Lic. Class B-1 Lic. Number 490028 Contractor (Signature)

OWNER-BUILDER DECLARATION

17. I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):
☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.).
☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.).
☐ I am exempt under Sec. _____, B. & P. C. for this reason _____
Date _____ Owner's Signature _____

WORKERS' COMPENSATION DECLARATION

18. I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).
Policy No. _____ Insurance Company _____
☐ Certified copy is hereby furnished.
☒ Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety.
Date 8 JAN 87 Applicant's Signature (Signature)
Applicant's Mailing Address _____

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

19. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.
Date _____ Applicant's Signature _____

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

CONSTRUCTION LENDING AGENCY

20. I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).
Lender's Name _____ Lender's Address _____

21. I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed. (See Sec. 91.0202 LAMC)

Signed (Owner or agent having property owner's consent) (Signature) Contractor Position 8 JAN 87 Date

1 3 8 2 0 0 0 4

Tworek 1-7-87

X

John Lee 1-8-87

NO CHANGE IN PLOT PLAN

FE050 6 01/08/87 910.04 2108
323.00 0.00
360.00 0.00
7.00 PL/M
5.00 E.I.
176.00 F.H.C
17.00 U.S.
54.00 U.S.
10.00 U.S.



APPLICATION
FOR
INSPECTION

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

OF SIGNS

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only. 2. Plot Plan Required on Back of Original.

1. LEGAL DESCR.	LOT 10	BLOCK -	TRACT Carson & Currier Sub. of blk 89 Ord's Survey M.R. 55-3	COUNCIL DISTRICT NO.	DIST. MAP 126-B-205 CENSUS TRACT 2079
2. TYPE OF SIGN OR NEW WORK () Wall Sign	<input type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL				ZONE M2-4-0(2)
3. JOB ADDRESS 1248 S. Figueroa					FIRE DIST. 2
4. BETWEEN CROSS STREETS Pico	AND Georgia				LOT (TYPE) Int.
5. OWNER'S NAME Acua	PHONE 749-9670				LOT SIZE 150 x 150
6. OWNER'S ADDRESS Same	CITY ZIP				
7. ARCHITECT OR ENGINEER	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	ALLEY 20	
8. ARCHITECT OR ENGINEER ADDRESS	CITY ZIP				BLDG. LINE
9. QUALIFIED INSTALLER Triple "A" Neon	BUS. LIC. NO. 6652	ACTIVE STATE LIC. NO. 176084	PHONE 763-6233	AFFIDAVITS ZI 1022	
10. INSTALLER'S ADDRESS 11015 Cupmston N. Hollywood	CITY ZIP 91601				DPD ZA85-0246
11. SIZE OF EXISTING BUILDING WIDTH 150 GTH 100	TYPE	STORIES 1	NO. OF EXISTING BUILDINGS ON LOT AND USE		PC req.no (h)
12. SIZE OF SIGN 45x31 2x8 4x56	TOTAL COPY AREA 375		OVERALL HEIGHT	FROM GRADE	FROM ROOF
13. JOB ADDRESS 1248 S. Figueroa ST.	STREET GUIDE 44B4				HIGHWAY DED. yes
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED SIGN \$ 12840.00					DIST. OFFICE LA
15. MATERIAL OF SIGN CONSTRUCTION	SUPPORTING FRAME Metal	FRAME OF COPY Metal	SURFACE OF SIGN Plex		GRADING --
16. TYPE OF SIGN OR NEW WORK Wall	<input type="checkbox"/> SINGLE FACE <input type="checkbox"/> DOUBLE FACE <input type="checkbox"/> OTHER				CONS. --
17. ILLUMINATION <input type="checkbox"/> NONE <input checked="" type="checkbox"/> INTERNAL <input type="checkbox"/> EXTERNAL	<input type="checkbox"/> FLASHING <input type="checkbox"/> OTHER <input type="checkbox"/> REVOLVING <input type="checkbox"/> NONE				ZONED BY Guerrero
18. NO. OF SIGNS OR GAS TUBE SYSTEMS 2	NO. OF ADDITIONAL BRANCH CIRCUITS -		NO. OF CONTROL DEVICES 2		FREEWAY CLEARANCE
PERMIT FEES		FREEWAY CLEARANCE		PLANS CHECKED	
SIGNS/G. T. SYSTEMS 21.00		DATE		APPLICATION APPROVED	
ADDITIONAL CIRCUITS				TYPIST V.V.	
ELECTRICAL SERVICE				B & S B-5 (R 12.85)	
CONTROL DEVICES 7.00		APPROVALS REQUIRED		CASHIER'S USE ONLY	
ISSUING FEE 10.00		Yus No		170.77 B-PC	
BLDG. PERMIT 341.54		FREEWAY SURVEY () (X)		379.54 B-C	
P.C. 170.77		TRANS DEPT () (X)		.90 E-1	
S.P.C. EI 0.90		INSP. ACTIVITY BMI		11.02 OSS	
I.F. OSS 11.02		INSPECTOR		53064 0051	
DISTRICT OFFICE SOSS		P.C NO		K7245 3 02/20/87 562.23 CHTD	
PLAN CHECK EXPIRES ONE YEAR AFTER FEE IS PAID. PERMIT TWO YEARS AFTER OR 180 DAYS IF WORK IS NOT BEGUN.					

DECLARATIONS AND CERTIFICATIONS

LICENSED CONTRACTORS DECLARATION

19. I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.
Date 2-20-87 Lic. Class C-5-C-10 Lic. No. 56684 Contractor's Signature [Signature]
Contractor's Mailing Address 11015 CUPMSTON ST N. HOLLYWOOD CA

OWNER-BUILDER DECLARATION

20. I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

[] I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale)

[] I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.)

[] I am exempt under Sec. _____, B. & P. C. for this reason _____

Date _____ Owner's Signature _____

WORKERS' COMPENSATION DECLARATION

21. I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).

Policy No 577877 Insurance Company STATE FUND

[] Certified copy is hereby furnished.

[X] Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety

Date 2-20-87 Applicant's Signature [Signature]

Applicant's Mailing Address _____

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

22. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.

Date _____ Applicant's Signature _____

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

CONSTRUCTION LENDING AGENCY

23. I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name _____

Lender's Address _____

24. I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed. (See Sec. 91.0203 LAMC)

Signed [Signature] (Owner or agent having property owner's consent) [Signature] Position [Signature] Date 2-20-87

COMBINED SIGN AREAS

Existing Sign Area:

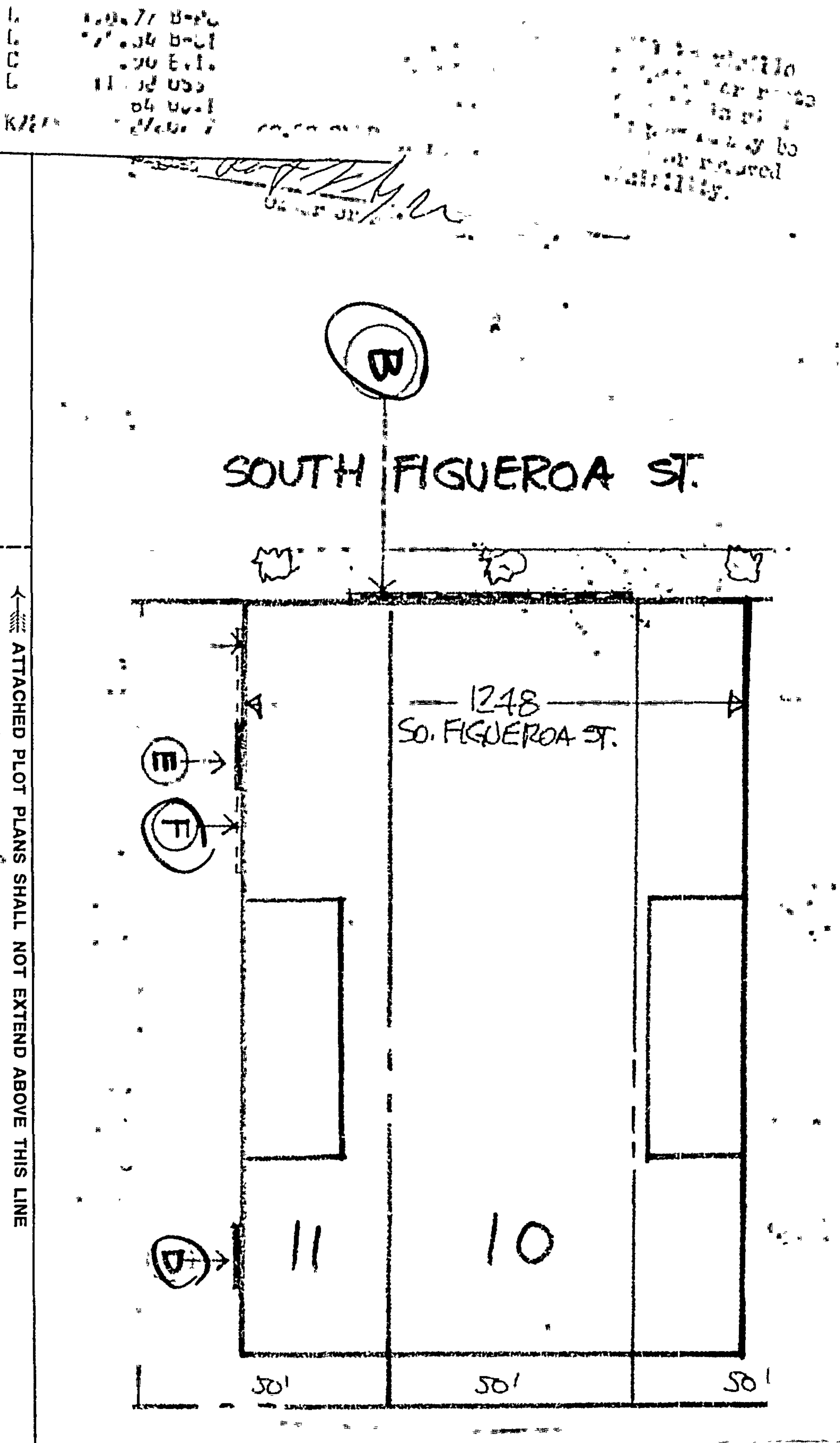
- 1. Illuminated Canopy Sign.....
 - 2. Monument Sign.....
 - 3. Pole Sign.....
 - 4. Projecting Sign.....
 - 5. Roof Sign.....
 - 6. Wall Sign.....
 - 7. Window Sign.....
 - 8. Proposed WALL Sign..... 375
- Total Area.....
- Allowable Combined Area (4x 150) 600 ✓
- Allowable WALL Sign Area..... 400
- * Actual WALL Sign Area..... 224 ✓
- Facing FIG
- 2 x 150 + 100

REQUIRED	
COMPLETED	
ANCE	
AVAILABLE	
AILABLE	
ID	
E	
CLOSED <input type="checkbox"/>	

LEGAL DESCRIPTION

WALL SIGN
170' wall sign
170' wall sign

BUILDINGS ON LOT AND USE OF EACH



3

Signed [Signature] (Owner or agent having property owner's consent) [Signature] Position April 27, 1981 Date

14800200208

4-27-87 Enriquez

C 17.00 B-PC
C 20.00 BP-R
C .50 E-I
C 1.00 USS
63644 0001
H4437 4.04/27/87 38.50 2NDR

ON LOT 14 OF HIGH HILL CL LTH CO ON LOT AND USE OF CASH

WILL BE PAID TO THE

CHURCH OF THE CHRISTIAN

Handwritten signature

STANDARD PHOTO PLAYS WITH NALXIB 7001 100 100

OFFICE OF THE
DIRECTOR OF THE
FEDERAL BUREAU OF
INVESTIGATION
WASHINGTON, D.C.

3 FOR INSPECTION		REPAIR-DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY	
INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.			
1. LEGAL DESCR.	LOT	BLOCK	TRACT
	10,11		Carson and Curriers subd 65 Blk 89 ORDSURVEY 9
2. PRESENT USE OF BUILDING		NEW USE OF BUILDING	
16 Car Sales		16 Same	
3. JOB ADDRESS			DIST. MAP
1248 South Figueroa Street			126B205
4. BETWEEN CROSS STREETS			CENSUS TRACT
Pico Blvd AND 12th Street			2079
5. OWNER'S NAME			LOT TYPE
Mary Mann			INC LEGAL
6. OWNER'S ADDRESS			LOT SIZE
1248 South Figueroa Street Los Angeles			
7. ENGINEER			ALLEY
BUS. LIC. NO. ACTIVE STATE LIC. NO. PHONE			20'
8. ARCHITECT OR DESIGNER			BLDG. LINE
BUS. LIC. NO. ACTIVE STATE LIC. NO. PHONE			1
9. ARCHITECT OR ENGINEER'S ADDRESS			AFFIDAVITS
CITY ZIP			CCPD DPD
10. CONTRACTOR			27 940
Keyte&Deckers 490028 818-352-7941			pkg 717
11. SIZE OF EXISTING BLDG.			P.C. REQ'D
WIDTH LENGTH 3 HEIGHT 1- Car Dealer			No (a)
12. CONST. MATERIAL			DISTRICT OFFICE
OF EXISTING BLDG. EXT. WALLS ROOF FLOOR			LA
13. JOB ADDRESS			SEISMIC STUDY ZONE
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING			
\$ 200			
15. NEW WORK			GRADING FLOOD
(Describe) Reopen Existing Doorway for Access to Adjacent lot			HWY. COED. CONS.
NEW USE OF BUILDING			ZONED BY
SIZE OF ADDITION			M.L.
STORIES HEIGHT			FILE WITH
TYPE N/C GROUP OCC. N/C FLOOR AREA			TYPIST
TOTAL			A.H.
DWELL UNITS MAX OCC.			INSPECTOR
GUEST ROOMS PARKING REQ'D			COMB GEN. MAJ.S. CONS. EQ.
PARKING PROVIDED STD. COMP.			
P.C. 17 G.P.I. CONT. INSP.			
S.P.C. P.M.			
B.P. 20 E.I. 500			
I.F. F.H.			
S.D. NA O.S.S. 700			
DIST. OFFICE LA S.O.S.S.			
P.C. NO. C/O ENERGY			

16. I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.			B & S B-3 (R/2/87)		
Date 7-31-87 Lic. Class _____ Lic. Number 498466 Contractor _____			(Signature)		
OWNER-BUILDER DECLARATION					
17. I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):					
<input type="checkbox"/> I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.).					
<input type="checkbox"/> I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.).					
<input type="checkbox"/> I am exempt under Sec. _____ B. & P. C. for this reason _____					
Date _____ Owner's Signature _____					
WORKERS' COMPENSATION DECLARATION					
18. I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).					
Policy No. 05087387 Insurance Company State Fund					
<input type="checkbox"/> Certified copy is hereby furnished.					
<input type="checkbox"/> Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety.					
Date 7-31-87 Applicant's Signature _____					
Applicant's Mailing Address _____					
CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE					
19. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.					
Date _____ Applicant's Signature _____					
NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.					
CONSTRUCTION LENDING AGENCY					
20. I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).					
Lender's Name _____ Lender's Address _____					
21. I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.					
I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed. (See Sec. 910202 LAMC)					
Signed _____ Position _____ Date 7-31-87					
(Owner or agent having property owner's consent)					

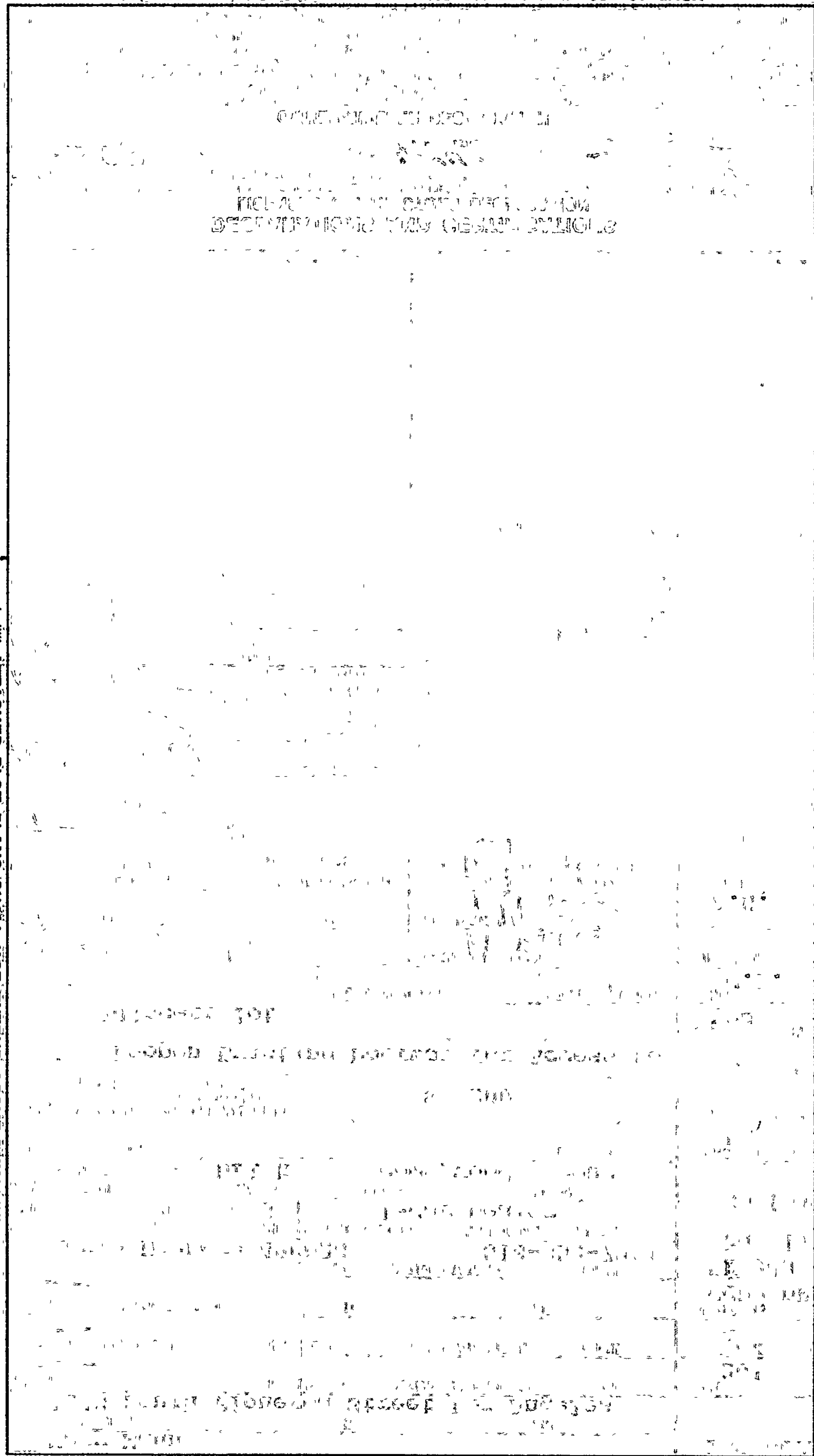
Bureau of Engineering		1530050206		ADDRESS APPROVED		
				DRIVEWAY		
		HIGHWAY		REQUIRED		
		DEDICATION		COMPLETED		
		FLOOD CLEARANCE				
SEWERS				SEWERS AVAILABLE		
				NOT AVAILABLE		
				SFC PAID		
		SFC NOT APPLICABLE		SFC DUE		
Grading		PRIVATE SEWAGE SYSTEM APPROVED				
Conservation		APPROVED FOR ISSUE <input type="checkbox"/> NO FILE <input type="checkbox"/> FILE CLOSED <input type="checkbox"/>				
Fire		APPROVED (TITLE 19) (L.A.M.C.-8700)				
Housing		HOUSING AUTHORITY APPROVAL				
Planning		APPROVED UNDER CASE #				
Traffic		APPROVED FOR				
Construction Tax		RECEIPT NO.		DWELLING UNITS		

LEGAL DESCRIPTION

Aff. 87-1223300

Modification OK'd opening at property

ON PLOT PLAN SHOW ALL BUILDINGS ON LOT AND USE OF EACH



↑ ATTACHED PLOT PLANS SHALL NOT EXTEND ABOVE THIS LINE

FOR INSPECTION 3700200319

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only. 2. Plot Plan Required on Back of Original.

1. LOT LEGAL DESCR. 10-13	BLOCK -	TRACT Carson & Curriers Sub. of Blk 89 Ord's Survey	COUNCIL DISTRICT NO. 9	DIST. MAP 126B205 CENSUS TRACT 2079
2. TYPE OF SIGN OR NEW WORK (19) Sign Sign - INFO			<input checked="" type="checkbox"/> ON-SITE SIGN	<input type="checkbox"/> OFF-SITE SIGN
3. JOB ADDRESS 1248 S. Figueroa St., LA			EXP. DATE	
4. BETWEEN CROSS STREETS Pico Blvd. 12th St.			LOT (TYPE) Int/cor	
5. OWNER'S NAME Acura			LOT SIZE Lot tie req	
6. OWNER'S ADDRESS Same			ALLEY 20' Rear	
7. ARCHITECT OR ENGINEER BUS. LIC. NO. ACTIVE STATE LIC. NO. PHONE			BLDG. LINE	
8. ARCHITECT OR ENGINEER ADDRESS CITY ZIP			AFFIDAVITS AF 4371 ZI 9406 Over pls	
9. QUALIFIED INSTALLER Triple A Neon			P.C. RECD No (4)	
10. INSTALLER'S ADDRESS 11015 Cumpstor N. Hollywood 91601			DIST. OFFICE LA	
11. SIZE OF EXISTING BUILDING TYPE WIDTH LENGTH			SEISMIC STUDY ZONE	
12. SIZE OF SIGN 2x5 5' high 10' 4'			GRADING Yes	
13. JOB ADDRESS 1248 S. Figueroa St.			FLOOD -	
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED SIGN \$ 1000.00			Hwy. REG. Yes	
15. MATERIAL OF SIGN CONSTRUCTION SUPPORTING FRAME Mt1			ZONED BY G.G.	
16. TYPE OF SIGN OR NEW WORK Sign Sign - INFO			FILE WITH	
17. ILLUMINATION <input type="checkbox"/> NONE <input checked="" type="checkbox"/> INTERNAL <input type="checkbox"/> EXTERNAL			TYPYST hla	
18. NO. OF SIGNS OR GAS TUBE SYSTEMS 1			INSPECTOR	
PERMIT FEES			PLANS CHECKED	
SIGNS/G. T. SYSTEMS 15.00			APPLICATION APPROVED	
ADDITIONAL CIRCUITS			CASHIER'S USE ONLY	
ELECTRICAL SERVICE			13.39 B-ED	
CONTROL DEVICES 5.00			56.60 B-ED	
ISSUING-FEE 10.00			50.00 E1-R	
BLDG. PERMIT 26.00			1.41 OSS	
P.C. 13.30 TOTAL 50.00			95201 B-ED	
S.P.C. 0.50			5704/16/83	
S.P.I. 1.41			71:01 ENTB	
DISTRICT OFFICE LA			LA-95201	

DECLARATIONS AND CERTIFICATIONS

19. I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.
Date 7/18/81 Lic. Class 445160 Lic. No. 176084 Contractor's Signature [Signature]
Contractor's Mailing Address 11015 Cumpstor St. N. Hollywood 91601

20. I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code): Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).
☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.)
☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.)
☐ I am exempt under Sec. B. & P. C. for this reason.
Date _____ Owner's Signature _____

21. I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).
Policy No. 379827 Insurance Company STATE FUND
☐ Certified copy is hereby furnished.
☒ Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety.
Date 7/18/81 Applicant's Signature [Signature]
Applicant's Mailing Address 11015 Cumpstor St. N. Hollywood 91601

22. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.
Date _____ Applicant's Signature _____

23. I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).
Lender's Name _____
Lender's Address _____

24. I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.
I realize that this permit is an application for inspection; that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed (See Sec. 91000, LAMC).
Signed [Signature] (Owner or agent having property owner's consent) Position _____ Date 7/18/81

SEE BOARD FILE #872255
COMBINED SIGN AREAS

1. Illum. Canopy Sign
2. Monument Sign
3. Pole Sign
4. Projecting Sign
5. Roof Sign
6. Wall Sign
7. Window Sign
8. Proposed _____ Sign

Total Area _____

THE COMMUNITY REDEVELOPMENT AGENCY
OF THE CITY OF LOS ANGELES, CALIFORNIA

THESE PLANS ARE APPROVED AS BEING IN COMPLIANCE WITH APPLICABLE REDEVELOPMENT PLANS.

1231014
C/S

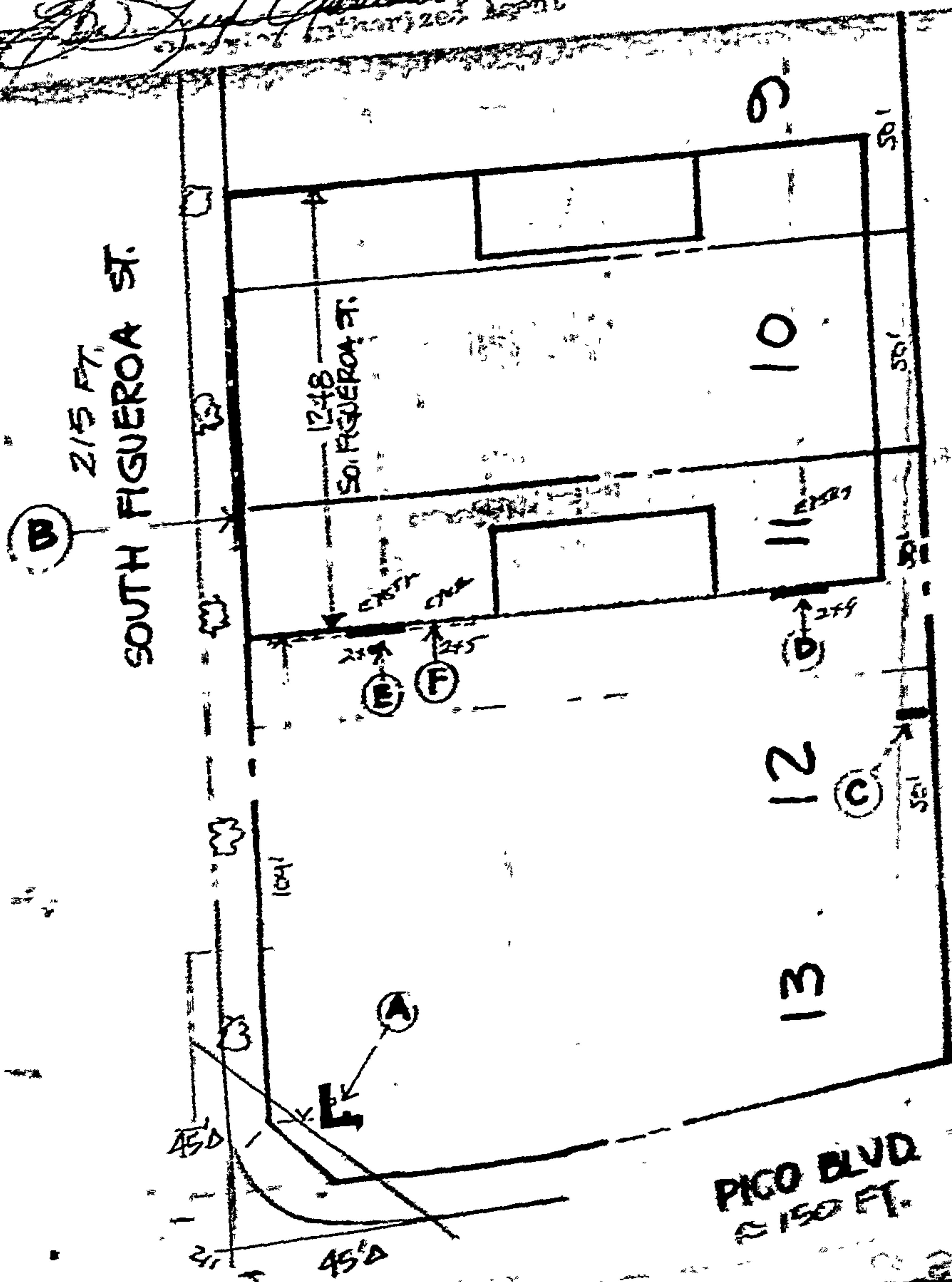
Don M. Seibold

FILE: Ex 11a DATE: 1-11-88

ON PLOT PLAN SHOW ALL BUILDINGS AND SIGNS ON LOT

I certify that no portion of this sign will be visible from the main traveled roadway of any existing or route adopted location that is within 2,000 feet of this sign location. I further understand that this permit may be revoked and the sign required to be altered or removed should sight inspection reveal roadway visibility.

[Signature]
Special Agent in Charge



ATTACHED PLOT PLANS SHALL NOT EXTEND ABOVE THIS LINE

FOR
INSPECTION

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only. 2. Plot Plan Required on Back of Original.

1. LOT	10-13	BLOCK	-	TRACT	Carson & Curriers Sub of Blk 89 Ord's Survey	COUNCIL DISTRICT NO.	9	DIST. MAP	126B205
LEGAL DESCR.								CENSUS TRACT	2079
2. TYPE OF SIGN OR NEW WORK	(19) Pylon Sign					<input checked="" type="checkbox"/> ON-SITE SIGN	<input type="checkbox"/> OFF-SITE SIGN	ZONE	M2-4-0(2)
3. JOB ADDRESS	1248 S. Figueroa St., LA					<input type="checkbox"/> TEMP.		FIRE DIST.	I
4. BETWEEN CROSS STREETS	Pico AND 12th St.					PHONE		LOT (TYPE)	Cor/Int
5. OWNER'S NAME	Acura					ZIP		LOT SIZE	Lot tie req
6. OWNER'S ADDRESS	Same							ALLEY	20' Rear
7. ARCHITECT OR ENGINEER	DAVID R. ENDICOTT					BUS. LIC. NO.	17447	ACTIVE STATE LIC. NO.	(65) 987-4989
8. ARCHITECT OR ENGINEER ADDRESS	1964 N. DOWNEY AVE CAMARILLO					CITY	93010	BLDG. LINE	-
9. QUALIFIED INSTALLER	Triple Neon					BUS. LIC. NO.	176084	ACTIVE STATE LIC. NO.	763-6237
10. INSTALLER'S ADDRESS	11015 Cumpston					CITY	N. Hollywood	ZIP	91601
11. SIZE OF EXISTING BUILDING	DATE	STORIES	NO. OF EXISTING BUILDINGS ON LOT AND USE						
WIDTH	LENGTH								
12. SIZE OF SIGN	TOTAL COPY AREA		OVERALL HEIGHT	FROM GRADE	FROM ROOF	P.C. REQ'D			
(2) 4x14-6	116 sq		12'			No(h)			
13. JOB ADDRESS	1248 S. Figueroa St.					STREET GUIDE	DIST. OFFICE		
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT, REQUIRED TO OPERATE AND USE PROPOSED SIGN	\$ 4880.00					SEISMIC STUDY ZONE			
15. MATERIAL OF SIGN CONSTRUCTION	SUPPORTING FRAME		FRAME OF COPY	SURFACE OF SIGN		GRADING		FLOOD	
	Metal		Metal	Plex		Yes		-	
16. TYPE OF SIGN OR NEW WORK	(19) Pylon Sign					<input type="checkbox"/> SINGLE FACE <input checked="" type="checkbox"/> DOUBLE FACE <input type="checkbox"/> OTHER		HAY DED.	CONS.
17. ILLUMINATION	<input type="checkbox"/> NONE <input checked="" type="checkbox"/> INTERNAL <input type="checkbox"/> EXTERNAL					<input type="checkbox"/> FLASHING <input type="checkbox"/> OTHER		ZONED BY	G.G.
18. NO. OF SIGNS OR GAS TUBE SYSTEMS	1		NO. OF ADDITIONAL BRANCH CIRCUITS	1		NO. OF CONTROL DEVICES		FILE WITH	
PERMIT FEES			CONT. INSP.		PLANS CHECKED		TYPIST		
SIGNS/G. T. SYSTEMS	15.00		DIS. FEE		APPLICATION APPROVED		INSPECTOR		
ADDITIONAL CIRCUITS	-		FREEWAY CLEARANCE		STAMP		B & S B-5 (R 8.86)		
ELECTRICAL SERVICE	-		DATE		TRANSPORTATION		139:95 CHTB		
CONTROL DEVICES	5.00		159.81		DATE		30:00 CHTB		
ISSUING FEE	10.00		DATE		F.H.				
BLDG. PERMIT	27.81		DATE		F.H.				
P.C.	TOTAL		DATE		F.H.				
S.P.C.	67.90		DATE		F.H.				
S.P.I.	O.S.S.		DATE		F.H.				
DISTRICT OFFICE	S.O.S.S.		DATE		F.H.				
229.95			DATE		F.H.				

DECLARATIONS AND CERTIFICATIONS

LICENSED CONTRACTORS DECLARATION

I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Date 4/18/86 Lic. Class CE/CIO Lic. No. 176084 Contractor's Signature [Signature]

Contractor's Mailing Address 11015 Cumpston N. Hollywood 91601

OWNER-BUILDER DECLARATION

I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code): Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code): The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code): The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.

☐ I am exempt under Sec. B. & P. C. for this reason.

Date 4/18/86 Owner's Signature [Signature]

WORKERS' COMPENSATION DECLARATION

I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).

Policy No. 579827 Insurance Company STATE FARM

☐ Certified copy is hereby furnished.

☒ Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety.

Date 4/18/86 Applicant's Signature [Signature]

Applicant's Mailing Address 11015 Cumpston N. Hollywood 91601

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.

Date 4/18/86 Applicant's Signature [Signature]

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name [Blank]

Lender's Address [Blank]

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed. (See Sec. 910202, SANC)

Signed [Signature] Position [Blank] Date [Blank]

(Owner or agent having property owner's consent)

Bureau of Engineering	37002	ADDRESS APPROVED	2	THI/8-21-87
CITY PLANNING		HIGHWAY DEDICATION		
OFF SITE CLEARANCE:				
LEGAL DESCRIPTION:				
AFFIDAVITS: Pkg 767, 717/CCPD-DPD/ZI 940/AFF63767				

Valuation: 8' x 31' + 4640 = \$4880.00
 SEE BOARD FILE #872255
 (NO LOT TIE) **COMBINED SIGN AREAS**

Existing Sign Area

1. Illum. Canopy Sign
2. Monument Sign
3. Pole Sign
4. Projecting Sign
5. Roof Sign
6. Wall Sign
7. Window Sign
8. Proposed POLE Sign 116

Total Area 116

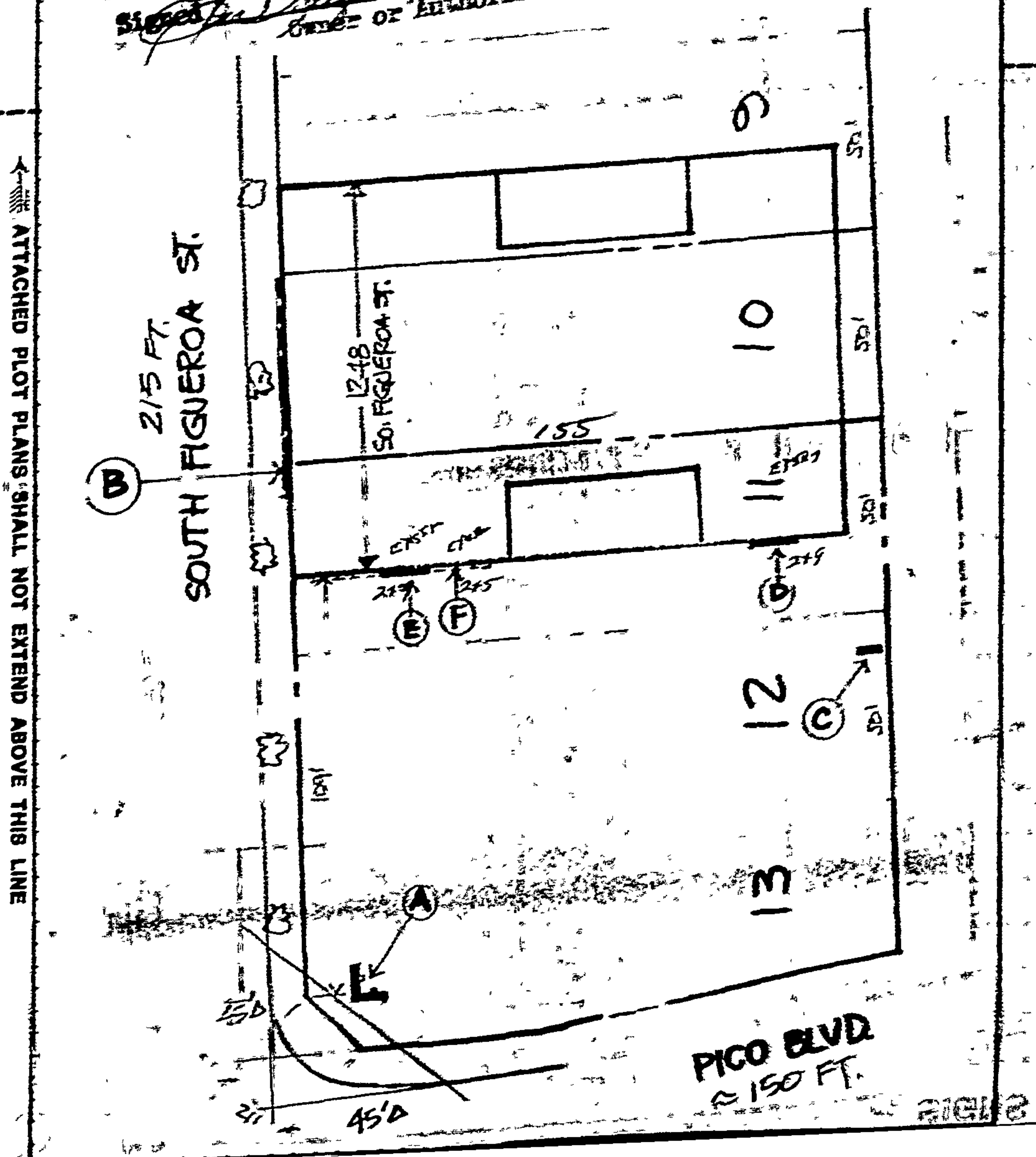
Signs Facing PICO
 Allowable Combined Sign Area
 Actual Combined Sign Area 116
 Allowable _____ Sign Area
 Actual _____ Sign Area
 Proposed Sign Facing _____

RE DEVELOPMENT REDEVELOPMENT PERMITS
 BY THE CITY OF LOS ANGELES, CALIFORNIA
 THESE PLANS ARE APPROVED AS BEING IN COMPLIANCE WITH APPLICABLE REDEVELOPMENT PLANS
 PROJECT C-130 PARCEL S.P.
 IN Block 97K DATE 4-11-88

ON PLOT PLAN SHOW ALL BUILDINGS AND SIGNS ON LOT

I certify that no portion of this sign will be visible from the main traveled roadway of any existing or route adopted freeway that is within 2,000 feet of this sign location. I further understand that this permit may be revoked and the sign required to be altered or removed should field inspection reveal freeway visibility.

Signed [Signature]
 Owner or Authorized Agent



ATTACHED PLOT PLANS SHALL NOT EXTEND ABOVE THIS LINE

3

APPLICATION
FOR
INSPECTION

CITY OF LOS ANGELES DEPT. OF BUILDING AND SAFETY

EARTHQUAKE SAFETY DIVISION
460YTO ADD-ALTER-
REPAIR-DEMOLISH
AND FOR CERTIFICATE
OF OCCUPANCY

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.

1. LEGAL DESCR.	LOT 9	BLOCK	TRACT Carson 2nd Curried subd of Blk 89 Ord's Survey	COUNCIL DISTRICT NO. 9	DIST. MAP 126B205 CENSUS TRACT 2079
2. PRESENT USE OF BUILDING	Sewing, Clth Mfg		NEW USE OF BUILDING		Same
3. JOB ADDRESS	1240 S. Figueroa St.				
4. BETWEEN CROSS STREETS	PICO BL.		AND 12th ST.		LOT TYPE interior
5. OWNER'S NAME	Ted R. Cooper Prop		PHONE 749-8144		LOT SIZE Inc. Legal
6. OWNER'S ADDRESS	149 W. 22nd St.		CITY LA	ZIP 90007	ALLEY 20' rear
7. ENGINEER	Oldham & Erickson		BUS. LIC. NO. SE864	ACTIVE STATE LIC. NO. 869-2531	PHONE
8. ARCHITECT OR DESIGNER			BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE
9. ARCHITECT OR ENGINEER'S ADDRESS	9027 E. Florence Ave.		CITY Downey	ZIP 90240	AFFIDAVITS ZI 940
10. CONTRACTOR	N/C		BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE
11. SIZE OF EXISTING BLDG.	WIDTH 95	LENGTH 150	STORIES 2	HEIGHT 32	NO. OF EXISTING BUILDINGS ON LOT AND USE one / Mfg
12. CONST. MATERIAL OF EXISTING BLDG.	Masonry		ROOF CONC	FLOOR Conc	STREET GUIDE
13. JOB ADDRESS	1240 S. Figueroa St.				
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING	\$ 37,000.00				
15. NEW WORK (Describe)	Full compliance with Div. 88. CLASS II				

NEW USE OF BUILDING		SIZE OF ADDITION		STORIES	HEIGHT	ZONED BY
N/C		0				
TYPE III	GROUP OCC.	FLOOR AREA	TOTAL	PLANS CHECKED	APPLICATION APPROVED	FILE WITH
DWELL UNITS	MAX OCC.			INSPECTION ACTIVITY	TYPIST ph	INSPECTOR
GUEST ROOMS	PARKING REQ'D	PARKING PROVIDED	STD. COMP.	COMB GEN. MAJS. CONS.	B & SB-3 (R.2/87)	
P.C. 178.92	EPL	CONT. RSP. Fullpen Weld Gunite				
S.P.C.	P.M.	6.1				
B.P. 210.50	EI	5.55				
I.E.	P.H.					
S.D.	O.S.S.	3.58				
DIST. OFFICE L.A.	S.P.S.	4.44				
P.C. NO. D4756	CO	SPRINKLERS REQ'D SPEC. ENERGY				

Unless a shorter period of time has been established by an official action, plan check approval expires one year after the fee is paid and this permit expires two years after the fee is paid or 180 days after the fee is paid if construction is not commenced.

CASHIER'S USE ONLY

178.92 BWRD
3.58 OSS
07676 5701/21788 182.50 CHTD

210.50 EQBP
5.00 PL/M
5.55 EI-C
4.44 OSS
97891-0001
A7201 205/12/83 226.49 CHTD

LA 97891

DECLARATIONS AND CERTIFICATIONS
LICENSED CONTRACTORS DECLARATION

16. I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Date _____ Lic. Class _____ Lic. Number _____ Contractor _____ (Signature)

OWNER-BUILDER DECLARATION

17. I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code): Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.

☐ I am exempt under Sec. _____ B. & P. C. for this reason _____

Date _____ Owner's Signature _____

WORKERS' COMPENSATION DECLARATION

18. I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).

Policy No. _____ Insurance Company _____

☐ Certified copy is hereby furnished.

☐ Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety.

Date _____ Applicant's Signature _____

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

19. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.

Date _____ Applicant's Signature _____

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

CONSTRUCTION LENDING AGENCY

20. I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name _____ Lender's Address _____

21. I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein, or the condition of the property or soil upon which such work is performed. (See Sec. 91.0202 LAMC)

Signed _____ (Owner or agent having property owner's consent)

Position _____

Date _____

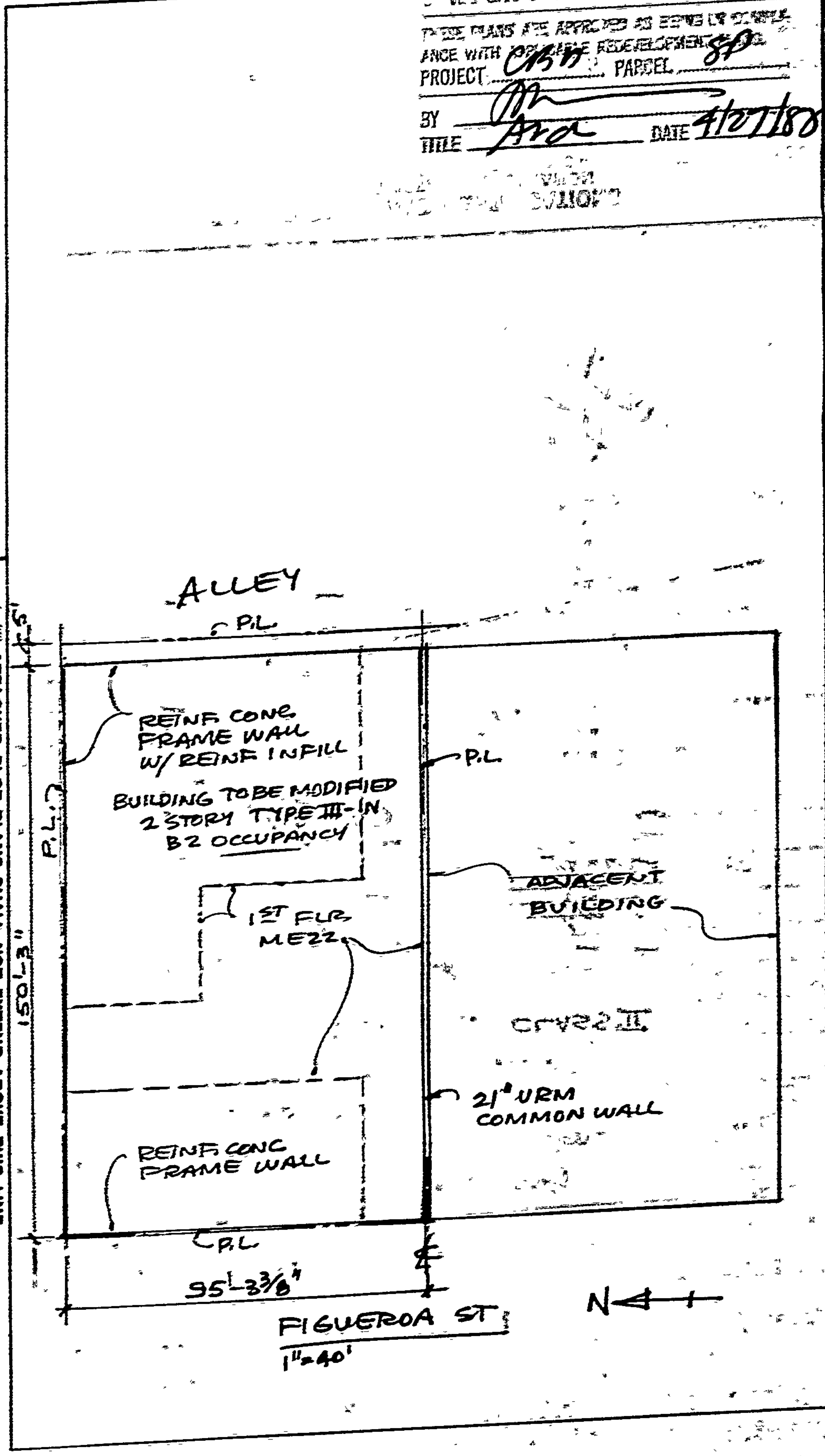
Bureau of Engineering	1000		ADDRESS APPROVED <input checked="" type="checkbox"/>	
			DRIVEWAY	
	HIGHWAY	REQUIRED		
	DEDICATION	COMPLETED		
	FLOOD CLEARANCE			
SEWERS			SEWERS AVAILABLE	
			NOT AVAILABLE	
			SFC PAID	
			SFC DUE	
	SFC NOT APPLICABLE			
Grading	PRIVATE SEWAGE SYSTEM APPROVED			
Conservation	APPROVED FOR ISSUE <input type="checkbox"/> NO FILE <input type="checkbox"/> FILE CLOSED <input type="checkbox"/>			
Fire	APPROVED (TITLE 19) (L.A.M.C. S700)			
Housing	HOUSING AUTHORITY APPROVAL			
Planning	APPROVED UNDER CASE #			
Traffic	APPROVED FOR		DWELLING UNITS	
Construction Tax	RECEIPT NO.			

LEGAL DESCRIPTION LOT 9, CARSON & CURRIER'S SUBD. OF BLOCK 89 - ORDS SURVEY

ON PLOT PLAN SHOW ALL BUILDINGS ON LOT AND USE OF EACH LOT OF THE CITY OF LOS ANGELES, CALIFORNIA

THESE PLANS ARE APPROVED AS BEING IN COMPLIANCE WITH ORDINANCE REDEVELOPMENT PROJECT CBS 11 PARCEL 8P
 BY Arda DATE 4/27/88

ATTACHED PLOT PLANS SHALL NOT EXTEND ABOVE THIS LINE



Primary Record Form, State of California
Department of Parks and
Recreation

State of California & The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
HRI #
Trinomial
NRHP Status Code 6Z

8 Other Review Code Reviewer Date Listings

Page 1 of 8 * Resource Name or #: (Assigned by recorder) Hoffman-Studebaker Building

P1. Other Identifier: 1248 South Figueroa Street

*P2. Location: ☐ Not for Publication ☐ Unrestricted

* a. County Los Angeles and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

* b. USGS 7.5' Quad Date T ; R ; of of Sec ; B.M.

c. Address 1248 South Figueroa Street City Los Angeles Zip 90015

d. UTM: (Give more than one for large and/or linear resources) Zone , mE/ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, decimal degrees, etc., as appropriate)

Lots 9, 10, & 11 of Block 89 of Carson and Currier's Tract, also listed as 1246-1252 South Figueroa, APN # 5138025014

* P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

1248 S. Figueroa Street situated near the northeast corner of the intersection of South Figueroa Street and Pico Boulevard in the City of Los Angeles on three lots covering a total area of approximately 15,000 square feet. This two story commercial building on the subject property is orientated towards South Figueroa Street and represents a highly altered building once typical of automotive sales in the 1920s. The building, which features a rectangular and symmetrical plan, has a reinforced concrete foundation on gravel, exterior walls of brick and concrete with concrete floors and roofs, and interior walls of tile. (See Continuation Sheet)

* P3b. Resource Attributes: HP6, HP8

* P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5b. Description of Photo: (view, date, accession #) View south,

P5a.



June 17, 2016

* P6. Date Constructed/Age and Source: ☒ Historic ☐ Prehistoric ☐ Both

1919

* P7. Owner and Address:

BBCN Bank, 1122 South Wall Street,
Los Angeles, CA 90015

* P8. Recorded by: (Name, affiliation, and address) Margaret Roderick, ESA
PCR, 201 Santa Monica Boulevard,
Suite 500, CA
90401

* P9. Date Recorded: June 29, 2016

* P10. Survey Type: (Describe)

Intensive Level Survey

* P11. Report Citation: (Cite survey report and other sources, or enter "none.")
ESA PCR. Intensive Level Survey.

Prepared for BBCN Bank. June 2016, to support the Figueroa Convention Center Hotel Project Initial Study.

* Attachments: ☐ NONE ☐ Location Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (List):

State of California & The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
BUILDING, STRUCTURE, AND OBJECT RECORD

Primary #
 HRI#

* **Resource Name or #** (Assigned by recorder) Hoffman-Studebaker Building * **NRHP Status Code** 6Z
 Page 2 of 8

B1. Historic Name: Hoffman-Studebaker Building
 B2. Common Name: 1248 South Figueroa Street B3.
 Original Use: Automotive Dealership for Studebaker B4. Present Use: Retail and
Restaurants * **B5. Architectural Style:** Vernacular
Industrial/Commercial * **B6. Construction History:**
 (Construction date, alterations, and date of alterations)

Located on lots 9, 10, and 11 of block 89 of Carson and Currier's Tract, the commercial building was built in 1919 and represents the first and only building built on the property. The building permits on file in the City of Los Angeles Department of Building and Safety (LADBS) were reviewed to determine the history of construction and alterations. Addresses are originally listed as 1246 through 1252 Figueroa Street, but the building is now listed as 1248 South Figueroa Avenue. The building at 1248 South Figueroa has incurred many alterations since its original date of construction (1919, primary period of significance). (See Continuation Sheets)

* **B7. Moved?** ☒ No ☐ Yes ☐ Unknown Date: _____ Original Location: _____
 * **B8. Related Features:**

B9a. Architect: Morgan, Walls, and Morgan b. Builder: Davidson Construction Company
 * **B10. Significance:** Theme Commercial Development and the Automobile, 1910-1980 Area Downtown Los Angeles
Period of Significance 1919 Property Type Commercial Applicable Criteria _____
None (Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The commercial building at 1248 South Figueroa Street was evaluated under the following historical theme: Commercial Development and the Automobile (1910-1980). The primary period of significance assigned to the subject property is 1919, the original date of construction, and the secondary period of significance is 1920 to 1925, the period in which the building was used by Paul Hoffman as a Studebaker automotive dealership. Based on LADBS permits and conditions observed during the site inspection, the building no longer retains a level of integrity to be eligible under the theme of Commercial Development and the Automobile (1910-1980). As a result of its investigations, ESA PCR finds that the building is not eligible under National Register, California Register, and HCM criteria. (See Continuation Sheet)

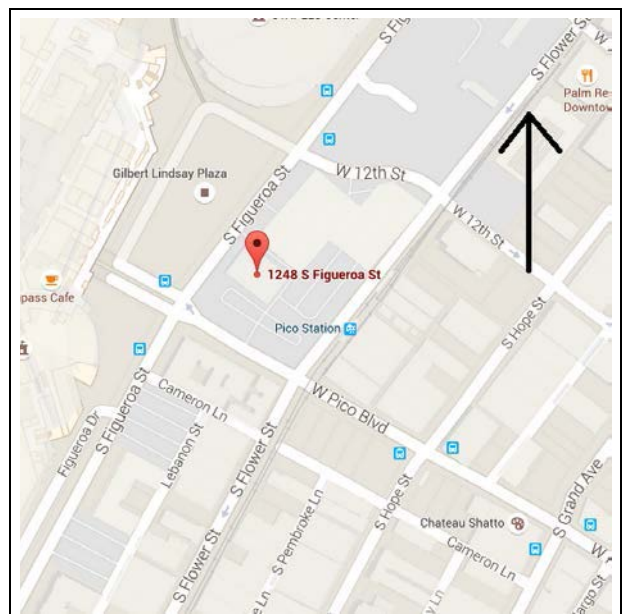
B11. Additional Resource Attributes: (List attributes and codes) _____

* **B12. References:**
 See continuation sheets.

B13. Remarks:

* **B14. Evaluator:** Margaret Roderick, ESA
PCR
 * **Date of Evaluation:** June 29, 2016

(This space reserved for official comments.)



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P3a. Description (continued)

The primary (west) elevation features five symmetrical bays with the main entrance located in the center. The main entrance features double doors with side lights and a transom, which is all covered by a decorative vine grille, set within a trefoil arch (alteration). The flanking bays feature similar configurations with three additional entry ways each with double doors, side lights, and transoms, while the fourth opening is filled with windows that retain a similar pattern to the others (alteration). The second floor displays single-light quad windows in each of the five bays (alteration). The primary elevation is topped with a cornice. The original roof type is unknown, but the building now features a flat rooftop deck.

The north and south elevations consist of three bays, which are solid masonry except for two openings in the north wall that provide access between the restaurant and an outdoor seating area. The central bay on each of these elevations caps at the top of the first floor and now provides balcony space for the second floor. The south elevation evidences reinforcement of the brick masonry wall. The east (rear) elevation mirrors the primary (west) elevation, but has been heavily altered over time. Imprints of ground level entryways, clerestory/transom lights, and second-floor windows are visible, but few remain. The central entryway features double-doors, a transom, a decorative vine grille, and a single solid door to the north (alteration). Two second story windows are extant; however, the other extant windows have been altered through the addition of vents, paint, or other methods of coverage.

B6. Construction History (continued)

The original permit for the construction is dated September 8, 1919, requesting the construction of a two-story 100' x 150' building of brick and concrete with a reinforced concrete foundation for retail purposes. This building's permit also suggests the construction of a single chimney and tile interior walls. The owner is noted as J. A. Graves (of Farmers and Merchants National bank) with Morgan, Walls, and Morgan as the architects and Davidson Construction Company as the contractor.

Permits indicate that minor alterations occurred in 1920 and include the addition of a balcony and/or mezzanine to be used as office space, with later repairs in 1923. In 1921 a single new window was added to the north wall to provide light and ventilation and in 1922, a platform for advertising was constructed on lots 9 and 10 of the Carson and Currier's tract.

In the 1950s the concrete slab on the second floor needed repairs between joists, additional steel beams were added (possibly as part of the concrete slab and joist repair process), work on mezzanine included the addition of a new staircase along with tilework, and a new marquee provided advertising space for the tenants.

In 1965 partitions were added within the building.ⁱ A 1969 permit shows "structural remolding of the south" was to take place with the removal of a building to the south, which was located on the corner of Figueroa and Pico.ⁱⁱ However, the permit does not detail the remodeling to take place but a subsequent permit indicates sandblasting as preparation for painting.ⁱⁱⁱ

Miscellaneous tenant improvements take place including a 1979 addition of an office within the building to feature partitions and a suspended ceiling, additional work on partitions and ceilings (1980), a bathroom remodel (1987), signs (1987-88), and reopening of an exterior door (1987).

Starting in 2009 additional changes occurred including nonstructural "general rehabilitation," stucco on the north, east, and south elevations with new doors and windows (or repair and to maintain window trim on primary

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elevation), the closure of six skylights, and installation of a new exterior door. In 2010, structural upgrades were required and a change in use from auto dealer to retail and/or restaurants required additional changes such as the addition of restrooms on the third floor and the conversion of roof to deck. In 2011 major alterations include a revision of the roof top plan, addition of a mezzanine (to be structurally independent), fence wall and glass guardrails for deck areas, an opening in north wall, and the addition of new signs.

10b. Significance (continued)

Broad Patters of History

With regard to broad patters of history, the following are the relevant criteria:

National Register Criterion A: Is associated with events that have made a significant contribution to the broad patterns of our history.

California Register Criterion 1: Is associated with events that have made a significant contribution of the broad patterns of California's history and cultural heritage.

Los Angeles Historic Cultural Monument Criterion: The proposed building or structure reflects or exemplifies the broad cultural, political, economic, or social history of the nation, state, or city (community).

The subject property is located in the Carson and Currier's Tract on lots 9, 10, & 11 of block 89. The subject property was improved with a building in 1919. The building was intended for use as an automobile dealership and housed Studebaker under Paul G. Hoffman beginning in 1920. As such, the Building is associated with early patterns of automotive sales and showrooms in Los Angeles. Indeed, this portion of South Figueroa featured many auto dealers and show rooms in the early 1900s. Despite later development and demolition, which has compromised the subject property's historic setting, the building retains features of its historical associations such as the building's massing. However, alterations elicit a low level of integrity and the building no longer retains enough character-defining features and integrity to represent any historical associations. **Therefore, the building is not eligible under this National Register Criterion A, California Register Criterion 1, and the HCM criterion for history.**

Significant Persons

With regard to associations with important people, the following are relevant criteria:

National Register Criterion B: Is associated with the lives of persons significant in our past.

California Register Criterion 2: Is associated with the lives of persons important in our past.

Los Angeles Historic Cultural Monument Criterion: The proposed site, building, or structure is identified with historic personages or with important events in the main currents of national, state, or local history.

Based on permit research, the building was constructed and held by Farmers and Merchants National Bank and building business was conducted by John A. Graves on behalf of the bank through at least 1923.^{iv} Paul G. Hoffman, a local distributor for Studebaker, is associated with the building in these early years between 1920 and 1925.^v His name, along with A. W. Maxwell's, appear on two permits from the period and Hoffman occupied a mezzanine office at 1248 South Figueroa Street for his three building Studebaker dealership at the corner of Pico Boulevard and

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Figueroa Street.^{vi} Hoffman's major achievements occurred after his departure from Los Angeles in 1925 when he became vice-president of Studebaker and moved to the mid-west.

In 1953 G. E. Watkiyns is recorded as the owner of the Building as well as an adjacent lot and in 1955 the Building's use changed from auto sales to furniture manufacture and display.^{vii} A series of owners show up in building permits as follows: A.G. Schaeffer Sr. (1965), Harlow Kerman (1979), Mary Mann and Acura (1987-1988), and Homero and Belinda Meruelo (2004-2009). Since 2009 the building has been owned by a corporation, Downtown Live LLC.

For the purposes of this assessment, the building does not retain integrity from the period of significance and does not have enough integrity to be identified with historic persons or events. Furthermore, the building is not associated with Hoffman's productive life in which he achieved significance and success as a businessman representing Studebaker. Therefore, the Building is ineligible for listing under the National Register Criterion B, California Register Criterion 2, or the HCM criterion related to historic personages or events.

Architecture

With regard to architecture, design, or construction, the following are the relevant criteria:

National Register Criterion C: Embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.

California Register Criterion 3: Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.

Los Angeles Historic Cultural Monument Criterion: The proposed site, building, or structure embodies certain distinguishing architectural characteristics of an architectural-type specimen, inherently valuable for a study of a period style or method of construction; or the proposed site, building, or structure is a notable work of a master builder, designer, or architect whose individual genius influenced his age.

The building on the subject property was designed by master architects Morgan, Walls, and Morgan in 1919. Founded in 1868 by Ezra Kysor, the firm was the oldest continuing architectural firm in Los Angeles in the 1970s.^{viii} The firm Morgan, Walls, and Morgan also completed the Haas Building (1915), the Isaias W. Hellman Office Building (1915), The Desmond (1916), the Bank of Italy Building (1922) to name a few. Morgan, Walls, and Morgan designed buildings in traditional styles, such as the Beaux Arts style, and included design elements, often classically derived. For example, the Hellman Building includes cartouches, leaf motifs, dentals, and other decorative elements. Indeed, even the Desmond department store, originally Willy's-Overland Car Company, provides an example of automobile dealership and show room architecture produced by Morgan, Walls, and Morgan. The building is very simple yet the architect's included some decorative features evidenced through materials and the use of cartouches. Thus, although the Building at 1248 South Figueroa is designed by master architects it is not a notable example because it no longer embodies distinctive characteristics. **Therefore, the Residence is found not eligible under this National Register Criterion C, California Register Criterion C, and the HCM criterion for architecture.**

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Archeology

National Register Criterion D: It yields, or may be likely to yield, information important in prehistory or history.

California Register Criterion 4: Has yielded, or may be likely to yield, information important in prehistory or history.

The Building is not likely to yield any information important to prehistory or history. **Therefore, the Building does not meet the above criterion at the national or state level.**

Integrity Analysis

The National and California Registers have specific language regarding integrity. Both require that a resource retain sufficient integrity to convey its significance.^{ix} In accordance with the guidelines of the National Register, integrity is evaluated in regard to the retention of location, design, setting, materials, workmanship, feeling, and association. The property must retain, however, the essential physical features that enable it to convey its historic identity. Furthermore, National Register Bulletin 15 states, "A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer. Like feeling, association requires the presence of physical features that convey a property's historic character. Because feeling and association depend on individual perceptions, their retention alone is never sufficient to support eligibility of a property for the National Register."^x The California Register requires that a resource retain enough of its historic character or appearance to be recognizable as a historical resource and to convey the reasons for its significance.

Furthermore, the Office of Historic Resources has developed eligibility standards that define what integrity aspects a historical resource should retain in order to be considered eligible in association with historical themes. A property significant under the theme of Commercial Development and the Automobile (1910-1980) should retain integrity of location, design, and feeling from its period of significance.

Location:

The building has not been moved. **Therefore, the building is found to retain integrity of location.**

Design:

Building permits on file at the LADBS identify many alterations to the building. The building retains its footprint and massing, but the Morgan, Walls, and Morgan design is no longer extant; the alterations have compromised the Building's integrity of design. **Therefore, the Building is found to not retain integrity of design.**

Setting:

The building was one of many automobile dealerships in the 1920s. The 1920s commercial character of the building's immediate setting has been compromised due to the construction of the Los Angeles Convention center in 1969, the addition of the Staples Center in 1999, and the demolition of the remainder of the buildings on the subject block. **Therefore, the building is found to not retain integrity of setting.**

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Materials:

Few original materials can be identified within the Building. Several windows on the south (rear) elevation appear to be original, but all other windows and openings have been updated and the brick exterior is now stucco clad. In addition, remnants of a tile floor exist in the interior, which may also be original. As such, only minimal amounts of original materials remain. **Thus, the Building is found to not retain integrity of materials.**

Workmanship:

Since the building has gone substantial alterations, the workmanship is no longer visible. Traces are identified in an interior tile floor, which is only partially extant and in poor condition. **Therefore, the Building is found to not retain integrity of workmanship.**

Feeling:

The appearance of the building has undergone alterations that affect its appearance. While the Building's footprint and massing suggest a building typical for automotive sales and repair in the 1920s the loss of design, setting, and materials detract from the feeling. **Therefore, the building is found to not retain integrity of feeling.**

Association:

The building fails to convey its historical association with automobile sales and repair in the 1920s in Los Angeles. Nor does it represent an association with historic personages or is an example of a notable work by a master architect. **Therefore, the building is found to not retain integrity of association.**

Conclusion

The subject property located at 1248 South Figueroa was improved with a commercial building in 1919. As a result of its investigation, ESA PCR concludes that the building is not eligible for listing in the National Register, the California Register, or the HCM. Although it does feature the work of master architects Morgan, Walls, and Morgan, the Building is not a notable example of their work and is highly altered. Additionally, the building only retains integrity of location and does not retain the remaining six aspects of integrity considered due to a series of alterations since its construction in 1919.

12b. References (continued)

California Code of Regulations, California Register of Historical Resources (Title 14, Chapter 11.5), Section 4852(c).

California Public Resources Code § 5024.1.

Code of Federal Regulations (CFR), 36 § 60.2.

"Display Ad 15: Convincing Proof of Studebaker Quality" *Los Angeles Times*, March 24, 1926.

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National Park Service. *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation*. Washington DC: U.S. Dept. of the Interior, National Park Service, Interagency Resources Division, 1990, rev. 1991.

“New Hoffman Plant Ready: Important Corner Occupied by Big Company; Third Store Added to Chain during the Year; And Ninth Since Company was Started Here.” *Los Angeles Times*, December 6, 1923.

“Plan to Enter New home Soon: Work being Rushed on Studebaker Headquarters; Building to be one of Finest in the City; Service, Repair Departments are Separate Units.” *Los Angeles Times*, May 2, 1923.

Raucher, Alan R. “Paul G. Hoffman, Studebaker, and the Car Culture.” *Indiana Magazine of History* 79 no. 3 (September 1983): 209-230.

“Studebaker in New Home: Headquarters for Paul G. Hoffman Co. is One of Finest Motor Car Buildings.” *Los Angeles Times*, June 6, 1923.

ⁱ 1965LA92717

ⁱⁱ 1969LA94812

ⁱⁱⁱ 1970LA08857

^{iv} Last permit with J. A. Graves listed as owner for 1248 South Figueroa is 1923LA10785. No other permits represent the subject property until 1953. Thus, J. A. Graves and Farmers and Merchants National Bank owned the property till at least 1923 but possibly till 1953.

^v “New Hoffman Plant Ready: Important Corner Occupied by Big Company; Third Store Added to Chain During the Year; And Ninth Since Company was Started Here,” *Los Angeles Times*, December 6, 1923, V16.

^{vi} 1920LA13228 and 1922LA21081.

^{vii} 1953LA69038 describes building at 1240 and on lots 10 & 11 and 1955LA09776 mentions change of use from auto sales to desk manufacturing/display room.

^{viii} *National Register of Historic Places Inventory-Nomination Form for the Pellisier Building*, September 29, 1977, 7.

^{ix} National Register Bulletin 15, p. 44.

^x National Register Bulletin 15, p. 46.