



## DEPARTMENT OF CITY PLANNING

### RECOMMENDATION REPORT

#### City Planning Commission

**Date:** October 10, 2019  
**Time:** After 8:30 a.m.  
**Place:** Los Angeles City Council Chamber  
200 North Spring Street, Room 340  
Los Angeles, CA 90012

**Public Hearing:** July 31, 2019  
**Appeal Status:** Density Bonus/Affordable Housing Incentives Program Review is not appealable to City Council. All other entitlements are appealable to City Council.

**Expiration Date:** October 12, 2019

**Multiple Approval:** Yes

**Case No.:** CPC-2018-3029-CU-DB-SPP  
**CEQA No.:** ENV-2018-3030-CE

**Council No.:** 13 – O’Farrell  
**Plan Area:** Wilshire  
**Specific Plan:** Vermont/Western Station  
Neighborhood Area Plan (SNAP)  
Specific Plan – Subarea A -  
Neighborhood Conservation

**Certified NC:** Wilshire Center-Koreatown  
**GPLU:** Medium Residential

**Zone:** R3-1

**Applicant:** Kamran Gharibian,  
Oakwood Properties, LLC

**Representative:** Daniel Ahadian,  
nūr - DEVELOPMENT |  
CONSULTING

**PROJECT LOCATION:** 4055 - 4065 ¾ West Oakwood Avenue

**PROPOSED PROJECT:** The proposed project is the after-the-fact demolition of a 14-unit multi-family residential complex and a six (6)-unit multi-family residential complex; and the construction, use and maintenance of a five (5)-story, multi-family residential building containing 68 dwelling units, including 10 units restricted to Very Low Income Households and four (4) units restricted to Low Income Households. The proposed building will be a maximum of 60.79 feet in height and contain 100,852 square feet of floor area at a 4.02:1 floor area ratio (FAR). The project will provide 85 automobile parking spaces, 40 bicycle parking stalls, and 10,403 square feet of usable open space within a courtyard, terraces, a recreation room, and balconies.

**REQUESTED ACTION:**

1. Pursuant to California Environmental Quality Act (CEQA) Guidelines, Section 15332, Class 32, an Exemption from CEQA, and that there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies;
2. Pursuant to Los Angeles Municipal Code (LAMC) Section 12.24 U.26, a Conditional Use to permit an additional 35-percent density bonus for a total 70-percent density bonus for a Housing Development Project in which the density increase is greater than the maximum permitted in LAMC Section 12.22 A.25, allowing a total of 68 dwelling units in lieu of 40 units as otherwise permitted in the R3-1 Zone;
3. Pursuant to LAMC Section 12.22 A.25(g), a Density Bonus/Affordable Housing Incentive Program Review to permit a 35-percent density bonus and the following On-Menu and Off-Menu Incentives for a Housing Development Project totaling 68 dwelling units, reserving 10 units for Very Low Income Households and four (4) units for Low Income Households for a period of 55 years:



- a. An On-Menu Incentive for a 35-percent increase in the maximum FAR to allow 4.05:1 in lieu of 3:1 as otherwise permitted in the R3-1 Zone;
  - b. An Off-Menu Incentive for a 15.79-foot increase in the maximum building height limit to allow 60.79 feet in lieu of 45 feet as otherwise permitted in the R3-1 Zone; and a 22-foot increase in the maximum transitional height limit to allow 60.79 feet in lieu of 38.79 feet as otherwise permitted in Subarea A of the Vermont/Western Station Neighborhood Area Plan Specific Plan (Vermont/Western SNAP); and
  - c. An Off-Menu Incentive to allow a total combined lot area of 29,703.9 square feet to form a single building site in lieu of 15,000 square feet as otherwise permitted in Subarea A of the Vermont/Western SNAP; and
4. Pursuant to LAMC Section 11.5.7 C, a Project Permit Compliance Review for the after-the-fact demolition of a 14-unit multi-family residential complex and a six (6)-unit multi-family residential complex, and the construction, use and maintenance of a five (5)-story, multi-family residential building containing 68 dwelling units within Subarea A of the Vermont/Western SNAP.


#### RECOMMENDED ACTIONS:

1. **Determine** that based on the whole of the administrative record as supported by the justification prepared and found in the case file, the project is exempt from CEQA pursuant to CEQA Guidelines, Section 15332, Class 32, and there is no substantial evidence demonstrating that any exceptions contained in Section 15300.2 of the CEQA Guidelines regarding cumulative impacts, significant effects or unusual circumstances, scenic highways, hazardous waste sites, or historical resources apply;
2. **Approve**, pursuant to LAMC Section 12.24 U.26, a Conditional Use to permit a 70-percent density bonus for a Housing Development Project in which the density increase is greater than the maximum permitted in LAMC Section 12.22 A.25, allowing a total of 68 dwelling units in lieu of 40 units as otherwise permitted in the R3-1 Zone;
3. **Approve**, pursuant to LAMC Section 12.22 A.25(g), a Density Bonus/Affordable Housing Incentive Program Review to permit the following On-Menu and Off-Menu Incentives for a Housing Development Project totaling 68 dwelling units, reserving 10 units for Very Low Income Households and four (4) units for Low Income Households for a period of 55 years:
  - a. An **On-Menu Incentive** for a 34-percent increase in the maximum FAR to allow 4.02:1 in lieu of 3:1 as otherwise permitted in the R3-1 Zone;
  - b. An **Off-Menu Incentive** for a 15.79-foot increase in the maximum building height limit to allow 60.79 feet in lieu of 45 feet as otherwise permitted in the R3-1 Zone; and a 22-foot increase in the maximum transitional height limit to allow 60.79 feet in lieu of 38.79 feet as otherwise permitted in Subarea A of the Vermont/Western Station Neighborhood Area Plan (SNAP) Specific Plan (Vermont/Western SNAP); and
  - c. An **Off-Menu Incentive** to allow a total combined lot area of 29,703.9 square feet to form a single building site in lieu of 15,000 square feet as otherwise permitted in Subarea A of the Vermont/Western SNAP;
4. **Approve**, pursuant to LAMC Section 11.5.7 C, a Project Permit Compliance Review for the after-the-fact demolition of a 14-unit multi-family residential complex and a six (6)-unit multi-family residential complex, and the construction, use and maintenance of a five (5)-story, multi-family residential building containing 68 dwelling units within Subarea A of the Vermont/Western SNAP;



5. **Adopt** the attached Conditions of Approval; and
6. **Adopt** the attached Findings.

VINCENT P. BERTONI, AICP  
Director of Planning



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Christina Toy Lee, Senior Planner



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Tina Vacharkulksemsuk, City Planner



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Nuri Cho, City Planning Associate  
Telephone: (213) 978-1177

**ADVICE TO PUBLIC:** \*The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the *Commission Secretariat, Room 272, City Hall, 200 North Spring Street, Los Angeles, CA 90012* (Phone No. 213-978-1300). While all written communications are given to the Commission for consideration, the initial packets are sent to the Commission a week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendized herein, or in written correspondence on these matters delivered to this agency at or prior to the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to these programs, services and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request not later than seven working days prior to the meeting by calling the Commission Secretariat at (213) 978-1300.



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<sup>1</sup> An electronic copy of the CalEEMod output pages is available via Hightail and the October 10, 2019 CPC Meeting Agenda. A hard copy is available in the case file.

<sup>2</sup> An electronic copy of the Appendices to the Historic Resources Assessment Report is available via Hightail and the October 10, 2019 CPC Meeting Agenda. A hard copy is available in the case file.



## PROJECT ANALYSIS

### PROJECT SUMMARY

The proposed project involves the after-the-fact demolition of a 14-unit multi-family residential complex located at 4059-4065  $\frac{3}{4}$  West Oakwood Avenue and a six (6)-unit multi-family residential complex located at 4055-4057  $\frac{1}{2}$  West Oakwood Avenue for the construction, use and maintenance of a multi-family residential building containing 68 dwelling units, including 10 units restricted to Very Low Income Households, four (4) units restricted to Low Income Households, and 54 market-rate units (Exhibit A). The unit composition will be two (2) studios, 23 one-bedroom units, and 43 two-bedroom units.



The proposed building will be five stories high with a maximum building height of 60.79 feet, as measured from grade to the highest point of the roof parapet. The staircases will be a maximum of nine (9) feet high above the roof of the building. The building will contain 100,852 square feet of floor area with a floor area ratio (FAR) of 4.02:1.

The project will provide 85 automobile parking spaces within a one-level semi-subterranean parking garage. Three (3) parking spaces will be equipped with electric vehicle charging stations, and 12 spaces will be capable of supporting future electric vehicle supply equipment (EVSE). The project will also provide 40 bicycle parking stalls including four (4) short-term stalls within the front yard setback adjacent to the main pedestrian entrance and 36 long-term stalls at the rear of the parking garage.

A total of 10,403 square feet of usable open space will be provided, including 3,560 square feet of courtyard and a 780-square-foot recreation room on the first floor, 2,322 square feet of terraces on the fifth floor, and 3,741 square feet of balconies throughout the building. The project also proposes 1,839 square feet of solar space on the rooftop.



The main pedestrian entrance is located at the center of the building along Oakwood Avenue. Vehicular access to the proposed building will be provided via a two-way driveway located towards the west of the ground floor façade on Oakwood Avenue.

The project incorporates ample landscaping within the front, side and rear yard setbacks as well as the courtyard on the first floor and terraces on the fifth floor. The project proposes a total of 72 trees, including four (4) street trees in the parkway and 68 trees on-site.

## **BACKGROUND**

### **Project Site**

The project site is a slightly sloped, rectangular-shaped property that consists of two (2) contiguous parcels fronting Oakwood Avenue to the south between Heliotrope Drive to the west and Berendo Street to the east and abutting an alley to the north (Exhibit B). The project site previously consisted of three (3) contiguous parcels; however, a Certificate of Compliance for Lot Line Adjustment has been approved and recorded pursuant to Parcel Map Exemption No. AA-2016-0117-PMEX. As a result of the Lot Line Adjustment, the project site now consists of two (2) parcels.

The subject property comprises approximately 29,703.9 square feet of lot area with a width of approximately 150 feet and depth of approximately 198 feet. The site was previously developed with two multi-family residential complexes: a row of Spanish Colonial Revival bungalows with six units, originally constructed between 1920 and 1921 at 4055-4057 Oakwood Avenue; and a Spanish Colonial Revival Bungalow Court with 14 units, originally constructed in 1920 at 4059-4065 Oakwood Avenue. According to the Historic Resources Assessment Report prepared by ESA and dated January 2019 (Exhibit H), these buildings are not historical resources as defined by CEQA. On January 28, 2019, the Department of City Planning, Office of Historic Resources accepted and concurred with the findings of the Historic Resources Assessment Report (Exhibit H). The buildings were removed from the rental housing market pursuant to the Ellis Act Provisions in the Rent Stabilization Ordinance (RSO) on August 28, 2018 and subsequently demolished in 2018.

According to the Tree Letter prepared by McKinley & Associates and dated May 12, 2018 (Exhibit E), there are four (4) non-protected Evergreen Pear Trees in the parkway of Oakwood Avenue adjacent to the subject property. Per the Tree Letter, there are no trees growing on the subject property.

### **General Plan Land Use Designation, Zoning and Specific Plan**

The project site is located within the Wilshire Community Plan, which designates the site for Medium Residential land uses that correspond to the R3 Zone. The site is zoned R3-1 and therefore consistent with the General Plan Land Use Designation (Exhibit B). The project site is located within Subarea A (Neighborhood Conservation) of the Vermont/Western Station Neighborhood Area Plan Specific Plan (Vermont/Western SNAP) (Exhibit B). The site is not located within a community design overlay or an interim control ordinance area. The project site is located within the Los Angeles State Enterprise Zone, the City's Transit Priority Area, and Transit Oriented Communities (TOC) Tier 3. The site is located within the Freeway Adjacent Advisory Notice Area based on the distance of approximately 750 feet from the U.S. Route 101 freeway.



## Surrounding Properties

The project site is located in an urbanized area surrounded primarily by multi-family residential buildings. Properties to the north, across the alley, are designated for High Medium Residential land uses, zoned R4-1 and developed with two- to three (3)-story multi-family residential buildings. Properties to the east, west, and south are designated for Medium Residential land uses, zoned R3-1 and developed with two (2) to three (3)-story multi-family residential buildings.

## Streets and Circulation

Oakwood Avenue, adjoining the subject property to the south, is a Local Street, dedicated to a full right-of-way width of 60 feet and improved with curb, gutter and sidewalks.

Alley, adjoining the subject property to the north, is dedicated to a width of 20 feet.

## Public Transit

The project site is located approximately 0.18 miles from the Los Angeles County Metropolitan Transportation Authority (Metro) Local Lines 10<sup>3</sup>, 14<sup>4</sup>, and 204<sup>5</sup>, Rapid Line 754<sup>6</sup> and the Vermont/Beverly Station, and the Los Angeles Department of Transportation (LADOT) Commuter Express Line 422<sup>7</sup>. The site is also located within 0.4 miles from Metro Local Line 201<sup>8</sup> and LADOT DASH Wilshire Center/Koreatown<sup>9</sup>.

## Relevant Cases and Building Permits

### Subject Property:

Building Permit No. 17019-20000-05043 – On January 31, 2018, the Los Angeles Department of Building and Safety (LADBS) issued a building permit for the demolition of an existing single-family dwelling at 4055 West Oakwood Avenue.

Building Permit No. 17019-20000-05044 – On January 31, 2018, LADBS issued a building permit for the demolition of an existing single-family dwelling at 4055 1/2 West Oakwood Avenue.

Building Permit No. 17019-20000-05045 – On January 31, 2018, LADBS issued a building permit for the demolition of an existing duplex at 4055 1/3 – 4057 1/3 West Oakwood Avenue.

Building Permit No. 17019-20000-05046 – On January 31, 2018, LADBS issued a building permit for the demolition of an existing single-family dwelling at 4057 West Oakwood Avenue.

Building Permit No. 17019-20000-05047 – On January 31, 2018, LADBS issued a building permit for the demolition of an existing single-family dwelling at 4057 1/2 West Oakwood Avenue.

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<sup>3</sup> Metro Local Line 10 Map and Schedule, Dated December 16, 2018.

<sup>4</sup> Metro Local Line 14 Map and Schedule, Dated June 23, 2019.

<sup>5</sup> Metro Local Line 204 Map and Schedule, Dated June 23, 2019.

<sup>6</sup> Metro Rapid Line 754 Map and Schedule, Dated December 16, 2018.

<sup>7</sup> LADOT Commuter Express 422 Map and Schedule, Dated July 1, 2017.

<sup>8</sup> Metro Local Line 201 Map and Schedule, Dated June 23, 2019.

<sup>9</sup> LADOT DASH Wilshire Center/Koreatown Map and Schedule, Dated April 13, 2019.



Building Permit No. 17019-20000-05036 – On January 31, 2018, LADBS issued a building permit for the demolition of an existing apartment at 4059 1/4 - 4059 4/4 West Oakwood Avenue.

Building Permit No. 17019-20000-05034 – On January 31, 2018, LADBS issued a building permit for the demolition of an existing duplex at 4061 1/4 - 4061 2/4 West Oakwood Avenue.

Building Permit No. 17019-20000-05041 – On January 31, 2018, LADBS issued a building permit for the demolition of an existing duplex at 4061 3/4 - 4061 4/4 West Oakwood Avenue.

Building Permit No. 17019-20000-05039 – On January 31, 2018, LADBS issued a building permit for the demolition of an existing apartment at 4063 1/4 - 4063 4/4 West Oakwood Avenue.

Building Permit No. 17019-20000-05040 – On January 31, 2018, LADBS issued a building permit for the demolition of an existing apartment at 4065 1/4 – 4065 4/4 West Oakwood Avenue.

Case No. AA-2016-117-PMEX – On October 24, 2016, the Advisory Agency approved a Parcel Map Exemption for the adjustment of the common lot lines between parcels for the subject property to change three (3) adjacent parcels to two (2) parcels. On July 9, 2018, the Advisory Agency issued a Certificate of Compliance for Lot Line Adjustment verifying that all necessary deeds to adjust the boundaries of the subject parcels have been approved and recorded pursuant to the Parcel Map Exemption.

#### Surrounding Properties within a 500-Foot Radius:

Case No. DIR-2019-287-SPP – On June 28, 2019, the Director of Planning approved a Project Permit Compliance Review for the demolition of a two (2)-story duplex and a single-family dwelling building, and the construction, use and maintenance of a four (4)-story, 16-unit apartment building within Subarea A (Neighborhood Conservation) of the Vermont/Western SNAP on a property located at 4136-4138 ½ West Rosewood Avenue.

Case No. DIR-2016-1385-SPP – On July 11, 2016, the Director of Planning approved a Project Permit Compliance Review for the demolition of a duplex, and the construction, use and maintenance of two (2), three (3)-story duplexes within Subarea A (Neighborhood Conservation) of the Vermont/Western SNAP on a property located at 427 North Heliotrope Drive. A Certificate of Occupancy for this project was issued on May 9, 2018 under Building Permit No. 16010-10000-04000.

## **REQUESTED ENTITLEMENTS**

### **Conditional Use**

The City's Density Bonus Ordinance (Ordinance No. 179,581), codified in LAMC Section 12.22 A.25, permits a maximum density increase of up to 35 percent in exchange for setting aside 11 percent of the base density units for Very Low Income Households in accordance with the State Density Bonus Law (Government Code Section 65915). The State Density Bonus Law (Government Code Section 65915(n)) also allows a city to grant a density bonus greater than 35 percent for a development, if permitted by a local ordinance. The City adopted the Value Capture Ordinance (Ordinance No. 185,373), codified in LAMC Section 12.24 U.26, to permit a density increase greater than 35 percent with the approval of a Conditional Use. In exchange for the increased density, the Value Capture Ordinance requires projects to set aside one (1) additional



percent of base density units above the 11 percent for Very Low Income Households for every additional 2.5 percent density increase above the 35 percent. Below is a table showing the requisite percentage of affordable housing units for Very Low Income Households based on the percentage of density increase.

<b>Percentage of Base Density to be Restricted to Very Low Income Households</b>	<b>Percentage of Density Increase Granted</b>
11	35
12	37.5
13	40
14	42.5
15	45
16	47.5
17	50
18	52.5
19	55
20	57.5
21	60
22	62.5
23	65
24	67.5
25	70

The project site is located within Subarea A (Neighborhood Conservation) of the Vermont/Western SNAP, which defers to the density permitted by the underlying zone, R3-1. Per the R3-1 Zone, the base density permitted on the subject property is 40 units. The applicant requests a Conditional Use to increase the density by 70 percent to allow a total of 68 units in lieu of 40 base density units. As highlighted in the table above, the applicant is required to set aside 25 percent, that is 10 units, of the 40 base density units for Very Low Income Households in order to be granted a 70-percent density bonus. The applicant proposes to set aside 10 units for Very Low Income Households in addition to four (4) units restricted to Low Income Households. As such, the project satisfies the minimum percentage of base density to be restricted to Very Low Income Households to be eligible for a 70-percent density increase.

### **Density Bonus/Affordable Housing Incentives Program**

In accordance with the State Density Bonus Law (Government Code Section 65915) and the City's Density Bonus Ordinance codified in LAMC Section 12.22 A.25, the project is eligible for up to three (3) On and/or Off-Menu Incentives in exchange for setting aside the minimum requisite percentage of affordable housing, which is at least 15 percent, that is six (6) units, of the 40 base density units for Very Low Income Households. The applicant proposes to set aside 10 units, that is 25 percent of the 40 base density units, for Very Low Income Households and four (4) units for Low Income Households. As such, the project is eligible for three (3) On and/or Off-Menu Incentives.



### Incentives

The applicant requests one (1) On-Menu Incentive and two (2) Off-Menu Incentives as follows:

- **On-Menu Incentive for FAR.** The R3-1 Zone allows a maximum FAR of 3:1 with a maximum floor area of 75,272 square feet. The applicant requests an On-Menu Incentive for a 35-percent increase in the maximum FAR to allow 4.05:1 with a maximum floor area of 101,618 square feet. The project proposes a 34-percent increase in the maximum FAR to allow 4.02:1 with a maximum floor area of 100,852 square feet.
- **Off-Menu Incentive for Height.** The project is subject to two height limits: 1) a maximum building height limit of 45 feet per the R3-1 Zone; and 2) a transitional height limit of 38.79 feet per Subarea A of the Vermont/Western SNAP (see Finding No. 3.a.E for the transitional height limit calculation). The applicant requests an Off-Menu Incentive for a 15.79-foot increase in the maximum building height and a 22-foot increase in the transitional height limit to allow a maximum building height limit and a transitional height limit of 60.79 feet.
- **Off-Menu Incentive for Lot Assembly.** Subarea A of the Vermont/Western SNAP states that no more than two lots, having a total combined lot area of 15,000 square feet, may be tied together to form a single building site. The applicant requests an Off-Menu Incentive to allow a total combined lot area of 29,703.9 square feet to form a single building site in lieu of 15,000 square feet as otherwise permitted in Subarea A of the Vermont/Western SNAP.

### LAMC Criteria

Pursuant to LAMC Section 12.22 A.25(e)(2), in order to be eligible for any On-Menu Incentives, a Housing Development Project (other than an Adaptive Reuse Project) shall comply with the following criteria, which this project does:

- a. *The façade of any portion of a building that abuts a street shall be articulated with a change of material or a break in plane, so that the façade is not a flat surface.*

The proposed building will provide a variety of architectural materials and building planes that articulate the facades. The building will employ different textures, colors and materials that add visual interests to the building and avoid dull and repetitive facades. Materials on all facades will consist of stone, wood, stucco, chrome, and glass. There will be projecting and recessed balconies as well as vertical stucco columns that break up the massing and planes on all elevations. As such, the façade of any portion of the proposed building will be articulated with a change of material or a break in plane.

- b. *All buildings must be oriented to the street by providing entrances, windows architectural features and/or balconies on the front and along any street facing elevation.*

The proposed building will provide a main pedestrian entrance at the center of the building on the south elevation facing Oakwood Avenue. Additionally, the building will be U-shaped with a courtyard that opens up to the street. The south elevation will also have ample fenestration with windows, projecting balconies, and terraces. As such, the proposed building will be oriented to the street.



- c. *The Housing Development Project shall not involve a contributing structure in a designated Historic Preservation Overlay Zone (HPOZ) and shall not involve a structure that is a City of Los Angeles designated Historic-Cultural Monument (HCM).*

The proposed project is not located within a designated HPOZ, nor does it involve a property that is designated as an HCM.

- d. *The Housing Development Project shall not be located on a substandard street in a Hillside Area or in a Very High Fire Hazard Severity Zone as established in Section 57.25.01 of the LAMC.*

The proposed project is not located in a Hillside Area, nor is it located in a Very High Fire Hazard Severity Zone.

### **Project Permit Compliance Review**

The proposed project is located within Subarea A (Neighborhood Conservation) of the Vermont/Western SNAP, adopted as Ordinance No. 173,749, effective March 1, 2001; and last amended by Ordinance No. 184,414, effective August 16, 2016. The Vermont/Western SNAP provides for regulatory controls and incentives for development within its boundaries. The regulations set forth in the Specific Plan take precedence over those in the LAMC wherever the Specific Plan contains provisions which require or permit greater or lesser setbacks, street dedications, open space, densities, heights, uses or parking or other controls on development.

Pursuant to Section 5.A of the Vermont/Western SNAP, no demolition, grading or building permit shall be issued for any Project unless a Project Permit Compliance Review has been issued. On January 31, 2018, the applicant obtained demolition permits from LADBS for the buildings that existed at the time and subsequently demolished the buildings. However, the demolition permits were issued erroneously, as the applicant did not obtain a Project Permit Compliance Review for the demolition of the buildings on the subject property located within the Vermont/Western SNAP area. The applicant is requesting a Project Permit Compliance Review to retroactively allow the demolition for the construction of the new multi-family residential building within the Specific Plan area.

### **PROFESSIONAL VOLUNTEER PROGRAM**

The proposed project was reviewed by the Department of City Planning, Urban Design Studio's Professional Volunteer Program (PVP) on Tuesday, March 5, 2019. The resulting comments and suggestions focus primarily on exterior design and treatment of the building, pedestrian connectivity, vehicle and bicycle circulation and landscaping. The project has been redesigned subsequent to the PVP meeting in consideration of the PVP panel's comments and suggestions. The following includes a discussion of PVP comments and suggestions and the applicant's response.

### **Building Design**

PVP commented that overall, the project is a nicely designed courtyard housing that enhances the existing neighborhood and the U-shaped design works for the development. PVP suggested that the building facades provide some modifications at each level so that the design is not monotonous. PVP also suggested adding windows to the staircases to provide views of the courtyard, adding more open space at the roof level, and redesigning entrances and walls of the northeast and northwest units as well as the internal parapet on the roof at these corners to provide gentle features rather than zigzags with sharp corners.



In response, the applicant provided new renderings to show the various materials, textures and architectural elements in the façade design and redesigned the northeast and northwest units to be simple with gentle features. With regard to adding windows to the staircases, the applicant responded that the staircases are barely visible to the tenants that would be enjoying the courtyard on the first floor and the cost to add fire-rated windows for the staircases would be significant. In terms of adding more open space at the roof level, the applicant responded that the project will not be providing additional open space at that level, because activating the roof space with open space may have adverse impacts to neighbors.

### **Pedestrian Connectivity**

To encourage pedestrian connectivity, PVP suggested that the amount of steps to get to the first floor be reduced and requested the applicant to consider having a full subterranean parking garage instead of a semi-subterranean garage and lower the first level to the grade level to eliminate the staircase. PVP also requested that the ADA lift and access space be enhanced. Lastly, PVP requested that the building have a north entrance door to provide access to pedestrians from the alley located to the north of the site.

In response, the entrance has been redesigned to provide two sets of smaller numbers of steps. The ADA lift area has been relocated to an area closer to the main pedestrian entrance adjacent to the stairs and enhanced with landscaping. The building now provides a door and a pathway at the center of the building on the north elevation and a gate at the northeast corner to provide access to and from the alley.

### **Circulation**

PVP initially recommended that the applicant move the driveway to the alley rather than providing it along Oakwood Avenue; however, staff explained that providing a driveway along the alley may be problematic, because the alley is not accessible from the west side as it is blocked by existing development along Heliotrope Drive. As a result, PVP suggested that the driveway be relocated towards the west side of the building elevation on Oakwood Avenue to provide better pedestrian experience for residents and visitors who use the Vermont/Beverly Metro Station so that they do not have to walk past a driveway. PVP also suggested that the long-term bicycle room be moved to an area closer to the street and that a staging area for trash collection be provided.

In response, the applicant moved the driveway to the west side of the building instead of the east side. Additionally, the applicant responded that the long-term bicycle room is positioned in a location that provides pedestrian access to stairs and elevators from the basement level, and the staging area for trash collection will be provided in the area adjacent to the elevators in the basement.

### **Massing**

PVP suggested that the applicant consider removing units at the northeast and northwest corners on the fifth floor level to allow a height transition from adjacent buildings and reduce the massing along the alley.

In response, the applicant reduced the size of the units located at the northeast and northwest corners and set the units back to allow a height transition and reduce the massing.



**Landscaping**

PVP commented that landscaping needs a hierarchy and more variety in spatial organization. PVP also suggested that the applicant consider having a more generous opening in the main courtyard and providing a monumental piece.

In response to the comments, the applicant redesigned the landscaped areas and updated the planting materials to provide a hierarchy. The center courtyard on the first floor is divided into two areas: one area located to the north has been redesigned to provide a center piece planter with a variety of plant materials with seating areas at four corners and the second area located to the south has been redesigned to provide a fountain at the center and trees with large canopies at the edges of the courtyard.

**PUBLIC HEARING**

A public hearing on this matter was held by the Hearing Officer on behalf of the City Planning Commission on Wednesday, July 31, 2019 at City Hall, 200 North Spring Street, Room 1020, Los Angeles, CA 90012. In attendance were the project applicant and representatives, who presented before the Hearing Officer describing the site location, project description, and requested entitlements. No other members of the public attended the public hearing to provide testimony. As of the writing of this staff recommendation report, staff has not received any written correspondence regarding the subject matter.

**CONCLUSION**

Based on the information submitted to the record, staff recommends that the City Planning Commission determine that the project is categorically exempt from CEQA; approve a Conditional Use to permit a 70-percent density bonus, a Density Bonus/Affordable Housing Incentive Program Review to permit an On-Menu Incentive for an FAR increase from 3:1 to 4.02:1 and two Off-Menu Incentives to allow a maximum building height of 60.79 feet and a total combined lot area of 29,703.9 square feet to form a single building site, and a Project Permit Compliance for the after-the-fact demolition of two multi-family residential complexes and the construction, use and maintenance of the proposed multi-family residential building within Subarea A (Neighborhood Conservation) of the Vermont/Western SNAP; and adopt the attached Conditions of Approval and Findings.



## CONDITIONS OF APPROVAL

1. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the Applicant, stamped Exhibit "A" (stamp dated June 5, 2019) and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning, Central Project Planning Division, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Los Angeles Municipal Code or the project conditions.
2. **Residential Density.** The project shall be limited to a maximum density of 68 dwelling units including Density Bonus Units.
3. **Affordable Units.** A minimum of 14 units, that is 35 percent of the 40 base density units, shall be reserved as affordable units for a period of 55 years as follows: 10 units, that is 25 percent of the 40 base density units, shall be reserved for Very Low Income Households as determined by the California Department of Housing and Community Development (HCD), and the remaining four (4) units, that is 10 percent of the 40 base density units, shall be reserved for Low Income Households as determined by the U.S. Department of Housing and Urban Development (HUD) at a rent level established by the Los Angeles Housing and Community Investment Department (HCIDLA).
4. **Housing Requirements.** Prior to issuance of a building permit, the owner shall execute and record a covenant and agreement running with the land to the satisfaction of HCIDLA. The covenant shall bind the owner to reserve 10 units, that is 24 percent of the 40 base density units, available to Very Low Income Households for rental as determined to be affordable to such households by HCIDLA for a period of 55 years. The remaining four (4) units, that is 10 percent of the 40 base density units, shall be reserved for Low Income Households as determined by HUD at a rent level established by HCIDLA for a period of 55 years. Enforcement of the terms of said covenant shall be the responsibility of HCIDLA. The applicant shall present a copy of the recorded covenant to the Department of City Planning for inclusion in the case file. The project shall comply with the Guidelines for the Affordable Housing Incentives Program adopted by the City Planning Commission and any monitoring requirements established by the HCIDLA. Refer to the AB 2556 Housing Replacement Section of the Staff Recommendation Report dated October 10, 2019.
5. **Rent Stabilization Ordinance (RSO).** Prior to the issuance of a Certificate of Occupancy, the owner shall obtain approval from HCIDLA regarding replacement of affordable units, provision of RSO units, and qualification for the Exemption from the RSO with Replacement Affordable Units in compliance with Ordinance No. 184,873. In order for all new units to be exempt from the RSO, the applicant will need to either replace all withdrawn RSO units with affordable units on a one-for-one basis or provide at least 20 percent of the total number of newly constructed rental units as affordable, whichever results in the greater number. The executed and recorded covenant and agreement submitted and approved by HCIDLA shall be provided.
6. **Floor Area Ratio (On-Menu Incentive).** The maximum floor area ratio shall be limited to 4.02:1 with a maximum floor area of 100,852 square feet.
7. **Building Height (Off-Menu Incentive).** The proposed building shall not exceed a maximum height of 60.79 feet, as measured from grade to the highest point of the roof parapet. Roof structures for the purposes specified in LAMC Section 12.21.1 B.3 may be erected up to 10 feet above 60.79 feet, provided the structures are set back a minimum of 10 feet from the outer roof perimeter and screened from view at street level.



8. **Lot Assembly (Off-Menu Incentive).** The project site may consist of a maximum of two (2) contiguous lots, totaling 29,703.9 square feet in size, to form a single building site.
9. **Parks First.** Prior to the issuance of any building permit, the applicant shall complete the following:
  - a. Make a payment to the Department of Recreation and Parks (RAP) for the required Park Fee pursuant to LAMC Section 17.12. Contact RAP staff by email at [rap.parkfees@lacity.org](mailto:rap.parkfees@lacity.org), by phone at (213) 202-2682 or in person at the public counter at 221 N. Figueroa St., Suite 400 (4<sup>th</sup> Floor), Los Angeles, CA 90012 to arrange for payment.
  - b. The applicant shall pay \$206,400 to the Parks First Trust Fund for the net increase of 48 residential dwelling units. The amount of Parks First Trust Fund Fee shall be off-set by the Park Fee, as determined by the Department of City Planning (DCP), Central Project Planning Division staff. The applicant shall provide proof of payment for the Park Fee to the Central Project Planning Division staff to determine the resulting amount of Parks First Trust Fund Fee to be paid. DCP staff shall sign off on the Certificate of Occupancy in the event there are no resulting Parks First Trust Fund Fee to be paid. In the event there are remaining Parks First Trust Fund Fee to be paid, the applicant shall make a payment to the Office of the City Administrative Officer (CAO), Parks First Trust Fund. Contact Jennifer Shimatsu of the CAO directly at (213) 978-7628 or [Jennifer.Shimatsu@lacity.org](mailto:Jennifer.Shimatsu@lacity.org) to arrange for payment. The applicant shall submit proof of payment for the Parks First Trust Fund Fee to DCP staff, who will then sign off on the Certificate of Occupancy.
10. **Front Yard Setback.** The building shall observe a front yard setback of 15 feet.
11. **Usable Open Space.** The project shall provide open space as follows:
  - a. The project shall provide a minimum of 7,875 square feet of usable open space. At least 50 percent, that is 3,937.5 square feet, of the total required usable open space shall be located at the ground level or first habitable room level;
  - b. Common open space areas shall be open to the sky, constitute at least 50 percent of the total required usable open space, and have a minimum dimension of 20 feet and a minimum area of 600 feet;
  - c. The recreation room may qualify as common open space but shall not qualify for more than 25 percent, that is 1,968.75 square feet, of the total required usable open space; and
  - d. Balconies shall have a minimum dimension of six (6) feet.
12. **Automobile Parking.** Based on the number and type of dwelling units proposed, a minimum of 56 automobile parking spaces, including spaces for disabled persons and guests, shall be provided for the project pursuant to Government Code Section 65915. However, in no event shall the automobile parking spaces exceed a maximum of 123 spaces for the dwelling units and a maximum of 17 spaces for guests pursuant to the Vermont/Western SNAP.
13. **Electric Vehicle Parking.** The project shall include at least 20 percent of 56 minimum parking spaces required, that is 12 spaces, as capable of supporting future electric vehicle supply equipment (EVSE). Plans shall indicate the proposed type and location(s) of EVSE and also include raceway method(s), wiring schematics and electrical calculations to verify that the electrical system has sufficient capacity to simultaneously charge all electric vehicles at all designated EV charging locations at their full rated amperage. Plan design shall be based



upon Level 2 or greater EVSE at its maximum operating capacity. Five (5) percent of 56 minimum parking spaces required, that is three (3) spaces, shall be further provided with EV chargers to immediately accommodate electric vehicles within the parking areas. When the application of either the 20 percent or five (5) percent results in a fractional space, round up to the next whole number. A label stating "EV CAPABLE" shall be posted in a conspicuous place at the service panel or subpanel and next to the raceway termination point.

14. **Solar.** The project shall dedicate a minimum of 1,839 square feet of rooftop space for the installation of a photovoltaic system, in substantial conformance with the plans stamped Exhibit "A."
15. **Bicycle Parking.** The project shall provide a minimum of 34 bicycle parking spaces.
16. **Landscape Plan.** Prior to the issuance of a building, a final landscape plan that is in substantial conformance with the landscape plan in Exhibit "A" shall be submitted that shows:
  - a. The courtyard, terraces and all open areas not used for buildings, driveways, parking, recreational facilities, or pedestrian amenities are landscaped by shrubs, trees and ground cover;
  - b. An irrigation plan showing all landscaped areas including the public right-of-way are irrigated with an automated watering system. Landscaping shall be maintained in good health for the life of the project; and
  - c. Portland cement concrete, pervious cement, grass-crete or another porous surface material is provided for the first 25 feet in length of the driveway.
17. **Street Trees.** Prior to the issuance of a building permit, the applicant shall obtain a Class "A" or "B" permit and post a performance bond with the Bureau of Engineering guaranteeing installation and shall execute a Covenant and Agreement that runs in perpetuity for the installation and maintenance of the following:
  - a. Seven (7), 24-inch box shade trees shall be provided in the public right-of-way of Oakwood Avenue along the portion of the project frontage subject to the Department of Public Works, Bureau of Street Services, Urban Forestry Division requirements;
  - b. Tree removal and replacement shall be conducted consistent with the Department of Public Works, Bureau of Street Services, Urban Forestry Division requirements;
  - c. The applicant shall be responsible for new street tree planting and pay fees for clerical, inspection, and maintenance per LAMC Section 62.176 for each tree; and
  - d. An automated irrigation system shall be provided.

The Covenant and Agreement shall run with the land and shall be binding on any subsequent owners, heirs or assigns. Further, the Covenant and Agreement must be submitted to the Department of City Planning for approval prior to being recorded. After recordation, a certified copy containing the County Recorder's number and date must be given to the Department of City Planning for attachment to the subject case file.

18. **Utilities.** All new utility lines which directly service the subject lots shall be installed underground. If underground service is not currently available, provisions shall be made by the applicant for future underground service.



19. **Surface Mechanical Equipment.** All surface or ground mounted mechanical equipment shall be screened from public view and treated to match the materials and colors of the building which they serve.
20. **Rooftop Appurtenances.** All rooftop equipment and building appurtenances shall be screened from any street, public right-of-way, or adjacent property with enclosures or parapet walls constructed of materials complimentary to the materials and design of the main structure.

### **Administrative Conditions**

21. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building and Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall be stamped by Department of City Planning staff "Plans Approved". A copy of the Plans Approved, supplied by the applicant, shall be retained in the subject case file.
22. **Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet, and shall include any modifications or notations required herein.
23. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
24. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
25. **Department of Building and Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
26. **Enforcement.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Department of City Planning.
27. **Indemnification and Reimbursement of Litigation Costs.**

Applicant shall do all of the following:

- (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of



subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.

- (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.



## FINDINGS

### ENTITLEMENT FINDINGS

#### 1. Conditional Use Findings

- a. **The project will enhance the built environment in the surrounding neighborhood or will perform a function or provide a service that is essential or beneficial to the community, city, or region.**

The project site is located within Subarea A (Neighborhood Conservation) of the Vermont/Western Station Neighborhood Area Plan Specific Plan (Vermont/Western SNAP), which defers to the density permitted by the underlying zone R3-1. Per the R3-1 Zone, the base density permitted on the subject property is 40 units.

The Density Bonus Ordinance permits a density bonus of up to 35 percent in exchange for setting aside 11 percent of the 40 base density units for Very Low Income Households. With the Density Bonus Ordinance, the project would be permitted a density bonus of 14 units allowing a total of 54 units on site in exchange for setting aside five (5) units for Very Low Income Households. The State Density Bonus Law (Government Code Section 65915(n)) allows a city to grant a density bonus greater than 35 percent for a development, if permitted by a local ordinance. The City adopted the Value Capture Ordinance (Ordinance No. 185,373), codified in LAMC Section 12.24 U.26, to permit a density increase greater than 35 percent with the approval of a Conditional Use. In exchange for the increased density, the Value Capture Ordinance requires projects to set aside one (1) additional percent of base density units above the 11 percent for Very Low Income Households for every additional 2.5 percent density increase above the 35 percent. Below is a table showing the requisite percentage of affordable housing units for Very Low Income Households based on the percentage of density increase.

<b>Percentage of Base Density to be Restricted to Very Low Income Households</b>	<b>Percentage of Density Increase Granted</b>
11	35
12	37.5
13	40
14	42.5
15	45
16	47.5
17	50
18	52.5
19	55
20	57.5
21	60
22	62.5
23	65
24	67.5
25	70



The applicant requests a Conditional Use to increase the density by 70 percent to allow a total of 68 units in lieu of 40 base density units. As highlighted in the table above, the applicant is required to set aside 25 percent, that is 10 units, of the 40 base density units for Very Low Income Households in exchange for the 70-percent density increase requested. The applicant proposes to set aside 10 units for Very Low Income Households as well as four (4) units restricted to Low Income Households. As such, the project satisfies the minimum percentage of base density to be restricted to Very Low Income Households to be eligible for a 70-percent density increase.

According to the 2013 Housing Element of the City of Los Angeles General Plan, pages 1-14, 29 percent of total households in the City are in the Very Low Income Category and 16.1 percent are in the Low Income Category; therefore, almost half of the City's residents are in the Very Low or Low Income Categories. Additionally, the Housing Element shows that of the 29 percent Very Low Income Households, 82 percent are renters and 18 percent are owners; and of the 16.1 percent Low Income households, 73 percent are renters and 27 percent are owners, demonstrating that a significant number of Los Angeles' Very Low and Low Income Households are renters. The City has determined that the shortage of affordable housing is an ongoing crisis in the City of Los Angeles. The increased intensity and density of the proposed development will be offset by the project's ability to provide the number of affordable units required by the City's Density Bonus policy. Therefore, the proposed project would provide a service that is essential and beneficial to the community, city and region.

- b. The project's location, size, height, operations and other significant features will be compatible with and will not adversely affect or further degrade adjacent properties, the surrounding neighborhood, or the public health, welfare, and safety.**

The proposed project involves the after-the-fact demolition of a 14-unit multi-family residential complex located at 4059-4065  $\frac{3}{4}$  West Oakwood Avenue and a six (6)-unit multi-family residential complex located at 4055-4057  $\frac{1}{2}$  West Oakwood Avenue for the construction, use and maintenance of a multi-family residential building containing 68 dwelling units, including 10 units restricted to Very Low Income Households, four (4) units restricted to Low Income Households, and 54 market-rate units.

The project site is located in an urbanized area surrounded primarily by multi-family residential buildings. Properties to the north, across the alley, are designated for High Medium Residential land uses, zoned R4-1 and developed with two (2) to three (3)-story multi-family residential buildings. Properties to the east, west, and south are designated for Medium Residential land uses, zoned R3-1 and developed with two- to three (3)-story multi-family residential buildings. As such, the proposed multi-family residential development is compatible with the use and location of properties in the surrounding neighborhood.

The subject property is located in Subarea A (Neighborhood Conservation) of the Vermont/Western SNAP, which allows density and use permitted by the underlying R3-1 Zone. The project site is allowed 40 base density units per the R3-1 Zone; however, the applicant requests a density bonus of 70 percent to provide 68 units in lieu of 40 base density units. As shown in the radius map (Exhibit B), the density of surrounding properties ranges from one unit to 93 units. The proposed density of 68 units is within the existing range of density in the neighborhood and therefore will not adversely affect or further degrade the surrounding neighborhood.



The R3-1 Zone allows a maximum FAR of 3:1 with a maximum floor area of 75,272 square feet on the project site that has a buildable area of 25,090.8 square feet. The applicant requests an On-Menu Incentive for a 35-percent increase in the maximum FAR to allow 4.05:1 with a maximum floor area of 101,618 square feet. While the project qualifies for a maximum 4.05:1 FAR, it proposes a 34-percent increase in the FAR to allow a 4.02:1 FAR and 100,852 square feet of floor area.

The project site is subject to two (2) building height limits: 1) a maximum of 45 feet per the R3-1 Zone; and 2) a transitional height of 38.79 feet per Subarea A of the Vermont/Western SNAP. The applicant requests an Off-Menu Incentive to allow a 15.79-foot increase in the 45-foot height limit per the R3-1 Zone and a 22-foot increase in the 38.79-foot transitional height limit to allow a maximum building height of 60.79 feet. The proposed building will have a maximum height of 60.79 feet, as measured from grade to the top of the roof parapet.

The proposed floor area and building height may be larger and taller than the existing development on the surrounding properties. However, these Incentives are requested under the Density Bonus Ordinance that implements the provisions of the State Density Bonus Law and therefore supersedes the Specific Plan and the Zoning Code regulations. Additionally, as shown in the ZIMAS map (Exhibit B), the proposed building footprint will be similar to some of the surrounding buildings, including buildings located at 421 North Heliotrope, 333 North Berendo Street, and 336 North Berendo Street. Furthermore, pursuant to SB 743, aesthetic impacts of the proposed project, including shade and shadow impacts resulting from the building height, are not considered a significant impact as it is a residential project located on an infill site within a transit priority area. Therefore, it can be found that the size and height of the proposed project are compatible with the surrounding neighborhood and will not adversely affect other properties.

The project will provide 85 automobile parking spaces within a one-level semi-subterranean parking garage. According to the Los Angeles Department of Transportation (LADOT) Traffic Study Exemption Thresholds reviewed and signed by LADOT on May 23, 2018 (Exhibit D), the proposed project is not required to prepare a traffic study as any traffic impacts related to the project are expected to be less than significant. The project will provide three (3) parking spaces that are equipped with electric vehicle charging stations, and 12 spaces will be capable of supporting future electric vehicle supply equipment (EVSE). The project will also provide 40 bicycle parking stalls including four (4) short-term stalls within the front yard setback adjacent to the main pedestrian entrance and 36 long-term stalls at the rear of the parking garage. A total of 10,403 square feet of usable open space will be provided, including 3,560 square feet of courtyard and a 780-square-foot recreation room on the first floor, 2,322 square feet of terraces on the fifth floor, and 3,741 square feet of balconies throughout the building. There will be 1,839 square feet of solar space on the rooftop. The project incorporates ample landscaping within the front, side and rear yard setbacks as well as the courtyard on the first floor and terraces on the fifth floor. The project proposes a total of 72 trees, including four (4) street trees in the parkway and 68 trees on-site. As such, the project will provide alternate modes of transportation, amenities and sustainability features that will enhance the surrounding neighborhood rather than further degrade or adversely affect other properties.



- c. **The project substantially conforms with the purpose, intent and provisions of the General Plan, the applicable community plan, and any applicable specific plan.**

The Los Angeles General Plan sets forth goals, objectives and programs that guide both Citywide and community specific land use policies. The General Plan is comprised of a range of State-mandated and optional elements, including, Land Use, Transportation, Noise, Safety, Housing and Conservation. The City's Land Use Element is divided into 35 community plans that establish parameters for land use decisions within those sub-areas of the City.

The project substantially conforms with the following purposes and objectives of the General Plan Elements: Housing Element, Mobility Element, and Land Use Element – Wilshire Community Plan.

### **Housing Element**

The City's Housing Element for 2013-2021 was adopted by City Council on December 3, 2013. The Housing Element identifies the City's housing conditions and needs, establishes goals, objectives, and policies that are the foundation of the City's housing and growth strategy, and provides an array of programs the City intends to implement to create sustainable, mixed-income neighborhoods across the City. The proposed project would be in conformance with following goals, objectives and policies of the Housing Element as described below:

**Goal 1:** *A City where housing production and preservation result in an adequate supply of ownership and rental housing that is safe, healthy and affordable to people of all income levels, races, ages and suitable for their various needs.*

**Objective 1.1:** *Produce an adequate supply of rental and ownership housing in order to meet current and projected needs.*

**Policy 1.1.2:** *Expand affordable rental housing for all income groups that need assistance.*

**Policy 1.1.4:** *Expand opportunities for residential development, particularly in designated Centers, Transit Oriented Districts and along Mixed-Use Boulevards.*

**Policy 1.2.8:** *Preserve the existing stock of affordable housing near transit stations and transit corridors. Encourage one-to-one replacement of demolished units.*

**Objective 2.2:** *Promote sustainable neighborhoods that have mixed-income housing, jobs, amenities, services and transit.*

**Objective 2.4:** *Promote livable neighborhoods with a mix of housing types, quality design and a scale and character that respects unique residential neighborhoods in the City.*

The project proposes the after-the-fact demolition of two multi-family residential complexes containing a total of 20 dwelling units, and the construction, use and maintenance of a multi-family residential building containing a total of 68 dwelling units, resulting in a one-to-one replacement of the 20 demolished units and a net increase of 48 units on-site. All of the 68 dwelling units will be available for rental housing. The project will provide 14 affordable housing units including 10 units restricted to Very Low



Income Households and four (4) units restricted to Low Income Households. The project will offer a range of apartment types and sizes as it provides two (2) studios, 23 one-bedroom units, and 43 two-bedroom units. Additionally, the project proposes a total of 10,403 square feet of usable open space within a courtyard, a recreation room, terraces and balconies. The project will provide affordable and market-rate housing in close proximity to transit corridors, including Vermont Avenue, approximately 0.16 miles to the east of the site and Beverly Boulevard approximately 0.1 miles to the south of the site. The project site is located approximately 0.18 miles from the Los Angeles County Metropolitan Transportation Authority (Metro) Local Lines 10<sup>10</sup>, 14<sup>11</sup>, and 204<sup>12</sup>, Rapid Line 754<sup>13</sup>, and Vermont/Beverly Station serving the Red Line, and the Los Angeles Department of Transportation (LADOT) Commuter Express Line 422<sup>14</sup>. The site is also located within 0.4 miles from Metro Local Line 201<sup>15</sup> and LADOT DASH Wilshire Center/Koreatown<sup>16</sup>. As such, the project conforms to the Housing Element of the General Plan.

### **Mobility Element**

The Mobility Plan 2035 includes goals that define the City's high-level mobility priorities. The Mobility Element sets forth objectives and policies to establish a citywide strategy to achieve long-term mobility and accessibility within the City of Los Angeles. Among other objectives and policies, the Mobility Plan aims to support ways to reduce vehicle miles traveled (VMT) per capita by increasing the availability of affordable housing options with proximity to transit stations and major bus stops and offering more non-vehicle alternatives, including transit, walking and bicycling. The proposed project is in conformance with the following policies of the Mobility Element:

***Policy 3.3:*** Promote equitable land use decisions that result in fewer vehicle trips by providing greater proximity and access to jobs, destinations and other neighborhood services.

***Policy 3.8:*** Provide bicyclists with convenient, secure and well-maintained bicycle parking facilities.

The proposed residential building is a pedestrian-oriented development that provides 14 affordable units and 54 market-rate units in proximity to several transit options. As previously mentioned, the project site is located approximately 0.18 miles from Metro Local Lines 10, 14, and 204, Rapid Line 754, and Vermont/Beverly Station serving the Red Line, and LADOT Commuter Express Line 422. The site is also located within 0.4 miles from Metro Local Line 201<sup>17</sup> and LADOT DASH Wilshire Center/Koreatown. These transit stations provide access to employment centers and jobs, local and regional destinations, and other neighborhood services for project residents. The proposed project will also allow for the reduction of vehicle trips by placing a residential development within proximity to public transit. The availability of many transit options along the commercial corridors creates a lesser need for the use of personal vehicles. Additionally, the project will also provide 40 bicycle parking stalls including four (4)

<sup>10</sup> Metro Local Line 10 Map and Schedule, Dated December 16, 2018.

<sup>11</sup> Metro Local Line 14 Map and Schedule, Dated June 23, 2019.

<sup>12</sup> Metro Local Line 204 Map and Schedule, Dated June 23, 2019.

<sup>13</sup> Metro Rapid Line 754 Map and Schedule, Dated December 16, 2018.

<sup>14</sup> LADOT Commuter Express 422 Map and Schedule, Dated July 1, 2017.

<sup>15</sup> Metro Local Line 201 Map and Schedule, Dated June 23, 2019.

<sup>16</sup> LADOT DASH Wilshire Center/Koreatown Map and Schedule, Dated April 13, 2019.

<sup>17</sup> Metro Local Line 201 Map and Schedule, Dated June 23, 2019.



short-term stalls within the front yard setback adjacent to the main pedestrian entrance and 36 long-term stalls at the rear of the parking garage. As such, the project conforms to the Mobility Element of the General Plan.

### **Land Use Element – Wilshire Community Plan**

The Wilshire Community Plan was adopted by the City Council on September 19, 2001. The Community Plan's purpose is to promote an arrangement of land use, circulation, and services which all encourage and contribute to the economic, social and physical health, safety, welfare, and convenience of the Community. The proposed project is in conformance with the following policies and objectives of the Wilshire Community Plan:

***Goal 1:*** *Provide a safe, secure, and high quality residential environment for all economic, age and ethnic segments of the Wilshire Community.*

***Objective 1-2:*** *Reduce vehicular trips and congestion by developing new housing in close proximity to regional and community commercial centers, subway stations and existing bus route stops.*

***Policy 1-2.1:*** *Encourage higher density residential uses near major public transportation centers.*

***Policy 1-4.1:*** *Promote greater individual choice in type, quality, price and location of housing.*

The Wilshire Community Plan designates the site for Medium Residential land uses. The site is zoned R3-1, which corresponds to the Medium Residential land use designation. The project site is located within Subarea A (Neighborhood Conservation) of the Vermont/Western SNAP, which defers to the density permitted by the underlying R3-1 Zone. Per the R3-1 Zone, the project site is permitted a base density of 40 dwelling units. The applicant requests a 70-percent density increase to allow 68 units in lieu of 40 units in exchange for setting aside 10 units for Very Low Income Households in addition to four (4) units for Low Income Households. The project will promote greater individual choice in housing by providing a range of apartment types and sizes including two (2) studios, 23 one-bedroom units, and 43 two-bedroom units. The project site is located in close proximity to transit stations including Metro Vermont/Beverly Station serving the Red Line as well as bus routes including Metro Local Lines and Rapid Lines and LADOT Commuter Express and DASH Lines. As such, the project conforms to the Wilshire Community Plan.

### **Vermont/Western SNAP Specific Plan**

The Specific Plan was adopted by the City Council on January 23, 2001 (Ordinance No. 173,749) and became effective on March 1, 2001. As part of the Specific Plan, Development Standards and Design Guidelines have also been adopted by the City Planning Commission on August 10, 2000. As found in Finding No. 3 below, the proposed project is in substantial conformance with all applicable regulations in the Specific Plan and the Development Standards and Design Guidelines in conjunction with the approval of Off-Menu Incentives under the Density Bonus Ordinance.



**d. The project is consistent with and implements the affordable housing provisions of the Housing Element of the General Plan.**

The proposed project would be in conformance with following affordable housing provisions of the Housing Element as described below:

***Policy 1.1.2:*** *Expand affordable rental housing for all income groups that need assistance. .*

***Policy 1.2.8:*** *Preserve the existing stock of affordable housing near transit stations and transit corridors. Encourage one-to-one replacement of demolished units.*

***Objective 2.2:*** *Promote sustainable neighborhoods that have mixed-income housing, jobs, amenities, services and transit.*

In granting a Conditional Use for a 70-percent density increase, affordable housing is required beyond the minimum percentage required per the State Density Bonus Law and the City's Density Bonus Ordinance. This ensures that the project provides a proportional amount of affordable housing units compared to the density increase it is seeking. In this case, the project is required to set aside 25 percent, that is 10 units, of the 40 base density units for Very Low Income Households in exchange for the 70-percent density increase requested. The project proposes to set aside 10 units for Very Low Income Households in addition to four (4) units restricted to Low Income Households, thereby complying with the requisite percentage of affordable housing units for the 70-percent density increase.

The project proposes the after-the-fact demolition of two multi-family residential complexes containing a total of 20 dwelling units and the construction of a multi-family residential building containing a total of 68 dwelling units, resulting in a one-to-one replacement of the 20 demolished units and a net increase of 48 units on-site. All of the 68 dwelling units will be available for rental housing. The project will offer a range of apartment types and sizes as it provides two (2) studios, 23 one-bedroom units, and 43 two-bedroom units. Additionally, the project proposes a total of 10,403 square feet of usable open space within a courtyard, a recreation room, terraces and balconies. The project will provide affordable housing in close proximity to transit corridors, including Vermont Avenue, approximately 0.16 miles to the east of the site and Beverly Boulevard approximately 0.1 miles to the south of the site. The project site is located approximately 0.18 miles from Metro Local Lines 10, 14, and 204, Rapid Line 754, and Vermont/Beverly Station serving the Red Line, and LADOT Commuter Express Line 422. The site is also located within 0.4 miles from Metro Local Line 201 and LADOT DASH Wilshire Center/Koreatown. Therefore, the project is in conformance with the affordable housing provisions of the Housing Element.

**e. The project contains the requisite number of Restricted Affordable Units, based on the number of units permitted by the maximum allowable density on the date of application, as follows:**

- A. 11% Very Low Income Units for a 35% density increase; or**
- B. 20% Low Income Units for a 35% density increase; or**
- C. 40% Moderate Income Units for a 35% density increase in for-sale projects.**



**The project may then be granted additional density increases beyond 35% by providing additional affordable housing units in the following manner:**

- D. For every additional 1% set aside of Very Low Income Units, the project is granted an additional 2.5% density increase; or**
- E. For every additional 1% set aside of Low Income Units, the project is granted an additional 1.5% density increase; or**
- F. For every additional 1% set aside of Moderate Income Units in for-sale projects, the project is granted an additional 1% density increase; or**
- G. In calculating the density increase and Restricted Affordable Units, each component of any density calculation, including base density and bonus density, resulting in fractional units shall be separately rounded up to the next whole number.**

The project site is located within Subarea A (Neighborhood Conservation) of the Vermont/Western SNAP, which defers to the density permitted by the underlying zone R3-1. Per the R3-1 Zone, the base density permitted on the subject property is 40 units.

Per the Density Bonus Ordinance, the project is permitted a 35-percent density increase in exchange for setting aside 11 percent, or five (5) units, of the 40 base density units for Very Low Income Households.

The project is permitted additional density increase beyond 35 percent by setting aside one (1) additional percent of base density units above the 11 percent for Very Low Income Households for every additional 2.5 percent density increase above the 35 percent. Below is a table showing the requisite percentage of affordable housing units for Very Low Income Households based on the percentage of density increase.

<b>Percentage of Base Density to be Restricted to Very Low Income Households</b>	<b>Percentage of Density Increase Granted</b>
11	35
12	37.5
13	40
14	42.5
15	45
16	47.5
17	50
18	52.5
19	55
20	57.5
21	60
22	62.5
23	65
24	67.5
25	70



The applicant requests a 70-percent density increase to allow a total of 68 units in lieu of 40 base density units. As highlighted in the table above, the applicant is required to set aside 25 percent, that is 10 units, of the 40 base density units for Very Low Income Households in exchange for the 70-percent density increase requested. The applicant proposes to set aside 10 units for Very Low Income Households as well as four (4) units restricted to Low Income Households. As such, the project satisfies the minimum percentage of base density to be restricted to Very Low Income Households to be eligible for a 70-percent density increase.

**f. The project meets any applicable dwelling unit replacement requirements of California Government Code Section 65915(c)(3).**

On September 27, 2014, Governor Jerry Brown signed Assembly Bill (AB) 2222 as amended by AB 2556 on August 19, 2016, to amend sections of California's Density Bonus Law (Government Code Section 65915). Major changes to the law are applicable to new density bonus developments resulting in a loss in existing affordable units or rent-stabilized units. The law aims to replace units and ensure rental affordability periods for 55 years. Pursuant to the Determination made by the Los Angeles Housing and Community Investment Department (HCIDLA) dated February 21, 2019 (Exhibit I), there are 20 existing units subject to the Rent Stabilization Ordinance (RSO) within five (5) years of the application, 14 of which need to be replaced with equivalent type, with 10 units restricted to Very Low Income Households and four (4) units restricted to Low Income Households. The applicant is required to replace the remaining six (6) units in compliance with the City's RSO pursuant to Government Code Section 65915(c)(3)(C)(ii). The applicant proposes to set aside 10 units for Very Low Income Households and four (4) units for Low Income Households. Additionally, per the Conditions of Approval, the applicant is required to obtain approval from HCIDLA regarding replacement of affordable units, provision of RSO units, and qualification for the Exemption from the RSO with Replacement Affordable Units in compliance with Ordinance No. 184,873. As such, the applicant will satisfy the AB 2556 replacement requirement with the proposed number of affordable units and compliance with the Condition of Approval. Additionally, per the Condition of Approval, the applicant is required to execute and record a covenant and agreement binding the applicant to reserve 10 units available to Very Low Income Households and four (4) units available to Low Income Households for a period of 55 years. Therefore, as proposed and conditioned, the project meets the replacement requirements of California Government Code Section 65915(c)(3).

**g. The project's Restricted Affordable Units are subject to a recorded affordability restriction of 55 years from the issuance of the Certificate of Occupancy, recorded in a covenant acceptable to the Housing and Community Investment Department, and subject to fees as set forth in Section 19.14 of the Los Angeles Municipal Code.**

The applicant proposes to set aside a total of 14 units for Restricted Affordable Units. Per the Conditions of Approval, the applicant is required to execute a covenant to the satisfaction of HCIDLA to make 10 Restricted Affordable Units available to Very Low Income Households for rental as determined to be affordable to such households by HCIDLA for a period of 55 years. The applicant is also required to make the remaining four (4) Restricted Affordable Units available to Low Income Households for rental as determined by HUD for a period of 55 years. The applicant is required to present a copy of the recorded covenant to the Department of City Planning and the proposed project shall comply with any monitoring requirements established by HCIDLA.



Therefore, as conditioned, the project satisfies this finding in regards to subjected restricted affordable units to recorded affordability per HCIDLA.

**h. The project addresses the policies and standards contained in the City Planning Commission's Affordable Housing Incentives Guidelines.**

The City Planning Commission approved the Affordable Housing Incentives Guidelines (CPC-2005-1101-CA) on June 9, 2005. The Guidelines were subsequently approved by City Council (CF 05-1345) on February 20, 2008, as a component of the City of Los Angeles Density Bonus Ordinance. The Guidelines describe the density bonus provisions and qualifying criteria, incentives available, design standards, and the procedures through which projects may apply for a density bonus and incentives. HCIDLA utilizes these Guidelines in the preparation of Housing Covenants for Affordable Housing Projects. On April 9, 2010, the City Council adopted updates to the City's Density Bonus Ordinance (CF 05-1345-S1, Ordinance No. 181,142). However, at that time, the Affordable Housing Incentives Guidelines were not updated to reflect changes to the City's Density Bonus Ordinance or more recent changes in State Density Bonus Law located in the Government Code. Therefore, where there is a conflict between the Guidelines and current laws, the current law prevails. Additionally, many of the policies and standards contained in the Guidelines, including design and location of affordable units to be comparable to the market-rate units, equal distribution of amenities, monitoring requirements, and affordability levels, are covered by the State Density Bonus Laws.

The project requests a 70-percent density increase above the 40 base density units to permit a total of 68 dwelling units. The project will set aside 10 units for Very Low Income Households and four (4) units for Low Income Households. As such, the project is consistent with the State Density Bonus Law and the local Density Bonus Ordinance, which the Affordable Housing Incentives Guidelines implement. Therefore, the project complies with the City Planning Commission's Affordable Housing Incentives Guidelines.

**2. Density Bonus/Affordable Housing Incentives Program Review Findings**

**Density Bonus Legislation Background**

The California State Legislature has declared that "[t]he availability of housing is of vital statewide importance," and has determined that state and local governments have a responsibility to "make adequate provision for the housing needs of all economic segments of the community." Section §65580, subds. (a), (d). Section 65915 further provides that an applicant must agree to, and the municipality must ensure, the "continued affordability of all Low and Very Low Income units that qualified the applicant" for the density bonus.

With Senate Bill 1818 (2004), state law created a requirement that local jurisdictions approve a density bonus and up to three "concessions or incentives" for projects that include defined levels of affordable housing in their projects. In response to this requirement, the City created an ordinance that includes a menu of incentives (referred to as "on-menu" incentives) comprised of eight zoning adjustments that meet the definition of concessions or incentives in state law (California Government Code Section 65915). The eight on-menu incentives allow for: 1) reducing setbacks; 2) reducing lot coverage; 3) reducing lot width, 4) increasing floor area ratio (FAR); 5) increasing height; 6) reducing required open space; 7) allowing for an alternative density calculation that includes streets/alley dedications; and 8) allowing for "averaging" of FAR, density, parking or open space. In order to grant approval



of an on-menu incentive, the City utilizes the same findings contained in state law for the approval of incentives or concessions.

Government Code Section 65915 was then amended by California State Assembly Bill (AB) 2222 (January 1, 2015) and AB 2556 (effective January 1, 2017). As a result, Density Bonus projects filed as of January 1, 2015 must demonstrate compliance with the housing replacement provisions which require replacement of rental dwelling units that either exist at the time of application of a Density Bonus project, or have been vacated or demolished in the five-year period preceding the application of the project. This applies to all pre-existing units that have been subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower or very low income; subject to any other form of rent or price control (including Rent Stabilization Ordinance); or is occupied by Low or Very Low Income Households (i.e., income levels less than 80 percent of the area median income [AMI]). The replacement units must be equivalent in size, type, or both and be made available at affordable rent/cost to, and occupied by, households of the same or lower income category as those meeting the occupancy criteria. Prior to the issuance of any Determination for Density Bonus and Affordable Housing Incentives, the Housing and Community Investment Department (HCIDLA) is responsible for providing the Department of City Planning, along with the applicant, a determination letter addressing replacement unit requirements for individual projects. The City also requires a Land Use Covenant recognizing the conditions be filed with the County of Los Angeles prior to granting a building permit on the project. Pursuant to the Determination made by the Los Angeles Housing and Community Investment Department (HCIDLA) dated February 21, 2019 (Exhibit I), there are 20 existing units subject to the Rent Stabilization Ordinance (RSO) within five (5) years of the application, 14 of which need to be replaced with equivalent type, with 10 units restricted to Very Low Income Households and four (4) units restricted to Low Income Households. The applicant is required to replace the remaining six (6) units in compliance with the City's RSO pursuant to Government Code Section 65915(c)(3)(C)(ii). The applicant proposes to set aside 10 units for Very Low Income Households and four (4) units for Low Income Households. Additionally, per the Conditions of Approval, the applicant is required to obtain approval from HCIDLA regarding replacement of affordable units, provision of RSO units, and qualification for the Exemption from the RSO with Replacement Affordable Units in compliance with Ordinance No. 184,873. As such, the applicant will satisfy the AB 2556 replacement requirement with the proposed number of affordable units and compliance with the Condition of Approval.

AB 2556 also increases covenant restrictions from 30 to 55 years for projects approved after January 1, 2015. This Determination reflects these 55 year covenant restrictions.

Under Government Code Sections 65915(a), 65915(d)(2)(C) and 65915(d)(3), the City of Los Angeles complies with the State Density Bonus law by adopting density bonus regulations and procedures as codified in Section 12.22 A.25 of the Los Angeles Municipal Code (LAMC). LAMC Section 12.22 A.25 creates a procedure to waive or modify Zoning Code standards which may prevent, preclude or interfere with the effect of the density bonus by which the incentive or concession is granted, including legislative body review. The Ordinance must apply equally to all new residential development.

In exchange for setting aside a defined number of affordable dwelling units within a development, applicants may request up to three incentives in addition to the density bonus and parking relief which are permitted by-right. The incentives are deviations from the City's development standards, thus providing greater relief from regulatory constraints. Utilization of the Density Bonus/Affordable Housing Incentive Program supersedes requirements of the LAMC and underlying ordinances relative to density, number of units, parking, and other requirements relative to incentives, if requested.



For the purpose of clarifying the Covenant Subordination Agreement between the City of Los Angeles and the United States Department of Housing and Urban Development (HUD) note that the covenant required in the Conditions of Approval herein shall prevail unless pre-empted by State or Federal law.

In accordance with Government Code Section 65915, the Department has procedures and timelines in place, including a list of required materials for submittal, and a notification to the applicant by the project planner that the project has been deemed complete. Additionally, density calculations for this project were to be rounded up to the next whole number for base density units, the number of density bonus units, the number of Affordable Units required to be eligible for the density bonus, and the number of required parking spaces. Government Code Section 65915 eliminated special studies, and financial pro-formas and third party reviews are no longer required for density bonus cases and are not used for Findings.

### **AB 744 Legislation Background**

On October 9, 2015, Governor Brown signed Assembly Bill 744 (AB 744), which amended sections of the State Density Bonus Law (Government Code Section 65915) and went into effect on January 1, 2016. Upon request from a developer, Government Code Section 65915 requires local jurisdictions to approve alternative reduced parking ratios for two types of eligible projects: 1) 100 percent affordable developments consisting solely of rental units, exclusive of a manager's unit or units, with an affordable housing cost to lower income families; and 2) mixed-income developments consisting of the maximum number of very low- or low-income units provided for in the Density Bonus Law, which is 11 percent and 20 percent respectively (calculated prior to any units added through a density bonus). The vehicular parking ratios, inclusive of handicapped and guest parking, that may be requested for different project types are as follows: 1) 0.5 parking spaces per unit for 100 percent affordable rental projects located within one half mile of a major transit stop, as defined in Subdivision (b) of Section 211 of the Public Resources Code; 2) 0.5 parking spaces per unit for 100 percent affordable rental senior projects having either paratransit service or unobstructed access, within one half mile, to fixed bus route service that operates at least eight times per day; 3) 0.3 parking spaces per unit for 100 percent affordable rental special needs projects having either paratransit service or unobstructed access, within one half mile, to fixed bus route service that operates at least eight times per day; or, 4) 0.5 parking spaces per bedroom for mixed income projects within one half mile of a major transit stop to which the project has unobstructed access. The proposed project will set aside 25 percent, that is 10 units, of 40 base density units for Very Low Income Households in addition to four (4) units for Low Income Households. The project site is located approximate 0.18 miles from the Metro Vermont/Beverly Station serving the Red Line, which is a major transit stop as defined in Public Resources Code Section 21155(b). As such, the project is subject to a reduced parking requirement of 0.5 spaces per bedroom pursuant to Government Code Section 65915 in lieu of the required parking per LAMC Section 12.21 A.4. The proposed unit composition is two (2) studios, 23 one-bedroom units, and 43 two-bedroom units, resulting in a minimum parking requirement of 56 spaces. The project will provide 85 parking spaces.

### **Findings**

The applicant requests an On-Menu Incentive and two (2) Off-Menu Incentives pursuant to the Density Bonus/Affordable Housing Incentives Program, as listed below:

- a. An **On-Menu Incentive** for a 35-percent increase in the maximum FAR to allow 4.05:1 in lieu of 3:1 as otherwise permitted in the R3-1 Zone;



- b. An **Off-Menu Incentive** for a 15.79-foot increase in the maximum building height limit to allow 60.79 feet in lieu of 45 feet as otherwise permitted in the R3-1 Zone; and a 22-foot increase in the maximum transitional height limit to allow 60.79 feet in lieu of 38.79 feet as otherwise permitted in Subarea A of the Vermont/Western Station Neighborhood Area Plan Specific Plan (Vermont/Western SNAP); and
- c. An **Off-Menu Incentive** to allow a total combined lot area of 29,703.9 square feet to form a single building site in lieu of 15,000 square feet as otherwise permitted in Subarea A of the Vermont/Western SNAP;

Following is a delineation of the findings related to the request for the On- and Off-Menu Incentives pursuant to Government Code 65915 and LAMC 12.22.A.25. By law, the Commission shall approve a Density Bonus and requested Incentives unless the Commission makes a finding based on substantial evidence that:

- a. **The incentives do not result in identifiable and actual cost reductions to provide for affordable housing costs as defined in California Health and Safety Code Section 50052.5 or Section 50053 for rents for the affordable units.**

The record does not contain substantial evidence that would allow the City Planning Commission to make a finding that the requested incentives do not result in identifiable and actual cost reduction to provide for affordable housing costs per State Law. The California Health & Safety Code Sections 50052.5 and 50053 define formulas for calculating affordable housing costs for very low, low, and moderate income households. Section 50052.5 addresses owner-occupied housing and Section 50053 addresses rental households. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed 25 percent gross income based on area median income thresholds dependent on affordability levels.

#### **On-Menu Incentive – FAR**

The list of On-Menu Incentives in LAMC Section 12.22 A.25 was pre-evaluated at the time the Density Bonus Ordinance was adopted to include types of relief that minimize restrictions on the size of the project. As such, the Planning Department will always arrive at the conclusion that the Density Bonus On-Menu Incentives provide identifiable and actual cost reductions that provide for affordable housing costs, because the Incentives by their nature increase the scale of the project, allow the construction of increased residential floor area, allow for processing, construction and design efficiencies, and collectively allow more market-rate floor area whose rents will subsidize the affordable units. The requested On-Menu Incentive for a 35-percent increase in the maximum FAR is expressed in the Menu of Incentives per LAMC Section 12.22 A.25(f) and as such, allows exceptions to zoning requirements that result in building design or construction efficiencies that provide for affordable housing costs.

The project site is zoned R3-1 Zone and has a buildable area of 25,090.8 square feet. The R3-1 Zone allows a maximum FAR of 3:1 and a maximum floor area of 75,272 square feet on the project site. The applicant requests an On-Menu Incentive for a 35-percent increase in the maximum FAR to allow 4.05:1 and a maximum floor area of 101,618 square feet. The 35-percent increase in the FAR creates additional 26,346 of floor area. While the project qualifies for a maximum 4.05:1 FAR, it proposes a 34-percent increase in the FAR to allow a 4.02:1 FAR and 100,852 square feet of floor area. The 34-percent increase in the FAR creates additional 25,580 square feet of floor area.



Required and Proposed Floor Area				
Lot Area (SF)	Buildable Area (SF)	By-Right FAR	Maximum Floor Area Permitted By-Right (SF)	Additional Floor Area Created (SF)
29,703.9	25,090.8	3:1	75,272	-
		Requested FAR	Maximum Floor Area Permitted with Incentive (SF)	Additional Floor Area Created (SF)
		4.05:1	101,618	26,346
		Proposed FAR	Maximum Floor Area Proposed (SF)	Additional Floor Area Created (SF)
		4.02:1	100,852	25,580

The requested On-Menu Incentive allow the developer to expand the building envelope so the additional units can be constructed and the overall space dedicated to residential use is increased. This On-Menu Incentive supports the applicant's decision to set aside 10 units for Very Low Income Households and four (4) units for Low Income Households for 55 years.

#### Off-Menu Incentive – Building Height

The project site is subject to two (2) building height limits: 1) a maximum of 45 feet per the R3-1 Zone; and 2) a transitional height of 38.79 feet per Subarea A of the Vermont/Western SNAP Specific Plan. The applicant requests an Off-Menu Incentive to allow a 15.79-foot increase in the 45-foot height limit per the R3-1 Zone and a 22-foot increase in the 38.79-foot transitional height limit to allow a maximum building height of 60.79 feet. The proposed building will have a maximum height of 60.79 feet, as measured from grade to the top of the roof parapet. The table below summarizes the required and proposed building height for the project:

Required and Proposed Building Height				
	By-Right (Feet)	Height Increase with Off-Menu Incentive (Feet)	Maximum Height Permitted (Feet)	Proposed (Feet)
<b>Building Height per R3-1</b>	45	15.79	60.79	60.79
<b>Transitional Height Limit per SNAP</b>	38.79	22	60.79	60.79

As currently proposed, the building will be five (5) stories high with 14 units at the first through fourth floors and 12 units at the fifth floor. The 40 base density units are attributed to the first three floors; the 35-percent density increase, that is 14 units of the 40 base density units, under the Density Bonus Ordinance are attributed to two units on the third floor and the fourth floor; and the the additional 35-percent density increase, that is 14 units of the 40 base density units, under the Conditional Use is attributed to two units on the fourth floor and the fifth floor.



Without the Off-Menu Incentive, the building height will need to be reduced to 38.79 feet to comply with both height limits. The reduction in the building height would result in the loss of two to three floor levels, thereby losing 28 to 40 units as proposed in the plans submitted to the case file. As such, the Off-Menu Incentive is needed to allow for the construction of a five (5)-story building with a maximum building height of 60.79 feet to accommodate the proposed project with 68 units and support the applicant's decision to set aside 10 units for Very Low Income Households and four (4) units for Low Income Households for 55 years.

### **Off-Menu Incentive – Lot Assembly**

Pursuant to Section 7.A. of the Vermont/Western SNAP Specific Plan, residential uses allowed by the existing residential zoning classification of any lot located within Subarea A shall be permitted, provided that no more than two (2) lots have a total combined lot area of 15,000 square feet may be tied together to form a single building site. The project site is comprised of two (2) contiguous parcels having a total combined area of approximately 29,703.9 square feet, which exceeds the maximum total combined lot area of 15,000 square feet permitted by the Specific Plan. Compliance with the lot assembly provision would reduce the lot area on which the project could be built and the base density is calculated. Additionally, compliance with the lot assembly provision would reduce the buildable area from which the maximum floor area permitted is calculated. By granting the Off-Menu Incentive to allow a combined lot area of 29,703.9 square feet to form a single building site in lieu of 15,000 square feet, the project is able to increase the development rights, developable area and building envelope, thereby creating additional space for the construction of residential units including affordable housing units.

- b. The incentive(s) will have a specific adverse impact upon public health and safety or the physical environment, or on any real property that is listed in the California Register of Historical Resources and for which there are no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the development unaffordable to Very Low, Low and Moderate Income households. Inconsistency with the zoning ordinance or the general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety (Gov. Code 65915(d)(1)(B) and 65589.5(d)).**

There is no substantial evidence in the record that the proposed incentives will have a specific adverse impact. A "specific adverse impact" is defined as, "a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" (LAMC Section 12.22 A.25(b)). As required by Section 12.22 A.25(e)(2), the project meets the eligibility criterion that is required for density bonus projects. The project also does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical-Cultural Monuments. Therefore, there is no substantial evidence that the proposed incentive(s) will have a specific adverse impact on public health and safety.

- c. The incentives are contrary to state or federal law.**

There is no substantial evidence in the record that the requested incentives are contrary to state or federal law.



### 3. Project Permit Compliance Review Findings

#### a. The project substantially complies with the applicable regulations, findings, standards, and provisions of the specific plan.

**A. Parks First.** Section 6.F of the Vermont/Western SNAP Specific Plan requires the applicant to pay a Parks First Trust Fund of \$4,300 for each new residential unit, prior to the issuance of a Certificate of Occupancy. The project proposes the after-the-fact demolition of two multi-family residential complexes containing a total of 20 dwelling units, and the construction, use and maintenance of a multi-family residential building containing a total of 68 dwelling units, resulting in a net increase of 48 residential units, thus requiring a payment of \$206,400 to the Parks First Trust Fund. The calculation of a Parks First Trust Fund fee to be paid or actual park space to be provided pursuant to the Specific Plan Ordinance shall be off-set by the amount of any Quimby Fee pursuant to LAMC Section 17.12 or dwelling unit construction tax pursuant to LAMC Section 21.10.1, et seq. paid as a result of the project. This requirement is reflected in the Conditions of Approval. Therefore, as conditioned, the project complies with Section 6.F of the Specific Plan.

**B. Residentially Zoned Properties.** Section 7.A of the Vermont/Western SNAP Specific Plan states that residential uses allowed by the existing residential zoning classification of any lot located within Subarea A shall be permitted, provided that no more than two lots have a total combined lot area of 15,000 square feet may be tied together to form a single building site. The proposed residential development is located within the R3-1 Zone, which permits one dwelling unit for every 800 square feet of lot area. Pursuant to LAMC Section 12.22 C.16, in computing the number of dwelling units allowed by the minimum lot area per dwelling unit requirements on a lot abutting upon one or more alleys, one-half the width of such alley or alleys may be assumed to be a portion of the lot. The subject site is approximately 29,703.9 square feet in size and abuts an alley, 1,500 square feet of which may be assumed to be a portion of the lot. In total, the project site is approximately 31,203.9 square feet in size for the purpose of calculating the number of dwelling units allowed, which allows a maximum density of 40 dwelling units by right. However, the applicant is seeking a 70-percent density bonus through a Conditional Use pursuant to the State Density Bonus Law (Government Code Section 65915) and the City's Value Capture Ordinance codified in LAMC Section 12.24 U.26 to allow a maximum of 68 dwelling units in lieu of 40 dwelling units, in exchange for setting aside at least 25 percent, that is 10 units, of the 40 base density units for Very Low Income Households. The table below summarizes the permitted and proposed density for the project:

Permitted and Proposed Density								
	Lot Area (SF)	Alley Area (SF)	Total Lot Area (SF)	Density (Unit/Lot Area SF)	By-Right (Units)	70% Density Bonus (Units)	Maximum Density Permitted	Proposed (Units)
<b>Density</b>	29,703.9	1,500	31,203.9	1/800	40	28	68	68

As mentioned, the project site is comprised of two (2) contiguous parcels having a total combined area of approximately 29,703.9 square feet, which exceeds the



maximum total combined lot area of 15,000 square feet permitted by the Specific Plan. In accordance with the State Density Bonus Law (Government Code Section 65915) and the City's Density Bonus Ordinance codified in LAMC Section 12.22 A.25, the project is eligible for up to three (3) on and/or off-menu incentives in exchange for setting aside 25 percent, that is 10 units, of the 40 base density units for Very Low Income Households. The applicant requests an Off-Menu Incentive pursuant to the Density Bonus/Affordable Housing Incentive Program to allow a combined lot area of 29,703.9 square feet to form a single building site in lieu of 15,000 square feet as otherwise permitted by the Specific Plan. The project has been conditioned to record a covenant with HCIDLA to make 10 units available to Very Low Income Households for a minimum of 55 years to be eligible for the 70-percent density bonus. Therefore, as conditioned and in conjunction with the approval of the Conditional Use and Density Bonus/Affordable Housing Incentive Program for the Off-Menu Incentive, the project complies with Section 7.A of the Specific Plan.

- C. Commercially Zoned Properties.** Section 7.B of the Vermont/Western SNAP Specific Plan states that commercial uses on commercially zoned properties are limited to those uses defined as "Neighborhood Retail" and "Neighborhood Serving" in LAMC Section 13.07 and limited to the ground floor only. The project site is not commercially zoned nor does the project propose commercial uses. Therefore, Section 7.B of the Specific Plan does not apply.
- D. Schools, Child Care and Community Facilities.** Section 7.C of the Vermont/Western SNAP Specific Plan states that public or private schools, child care facilities, parks, community gardens, community facilities, shall be permitted on any lot or lots provided that the building site for those uses has no more than two acres of combined lot area. The project does not include any school, child care or community facilities uses. Therefore, Section 7.C of the Specific Plan does not apply.
- E. Transitional Height.** Section 7.D of the Vermont/Western SNAP Specific Plan states that the maximum height of any new building within Subarea A shall not exceed a height that is within 15 feet of the height of the shortest adjacent building on any adjacent lot. However, in no circumstance can the project exceed the 45-foot height limit of the underlying R3-1 Zone. The Specific Plan further stipulates that roofs and roof structures for the purposes specified in LAMC Section 12.21.1 B.3 and architectural rooftop features may be erected up to 10 feet above the transitional height limit, if the structures and features are set back a minimum of 10 feet from the roof perimeter and screened from view at the street level.

The adjacent building located to the west of the project site is 26.78 feet in height, and the adjacent building located to the east of the project site is 23.79 feet in height. As such, the transitional height limit for the proposed project is based on the height of the adjacent building to the east, requiring a maximum transitional height limit of 38.79 feet (23.79 feet plus 15 additional feet). However, the applicant is seeking an Off-Menu Incentive pursuant to the Density Bonus/Affordable Housing Incentive Program to allow a 22-foot increase in the maximum transitional height limit to allow 60.79 feet in lieu of 38.79 feet as otherwise permitted by Specific Plan and 15.79-foot increase in the maximum building height limit to allow 60.79 feet in lieu of 45 feet as otherwise permitted in the R3-1 Zone in exchange for setting aside 25 percent, that is 10 units, of 40 base density units for Very Low Income Households. The proposed building will



have a maximum height of 60.79 feet, as measured from grade to the top of the roof parapet. The table below summarizes the required and proposed building height for the project:

Required and Proposed Building Height				
	By-Right (Feet)	Height Increase with Off-Menu Incentive (Feet)	Maximum Height Permitted (Feet)	Proposed (Feet)
Building Height per R3-1	45	15.79	60.79	60.79
Transitional Height Limit per SNAP	38.79	22	60.79	60.79

The building has two staircases designed for the purposes specified in LAMC Section 12.21.1 B.3. These staircases exceed the 60.79-foot height by three feet and six feet, 4 inches; however, the staircases are set back 21 feet, 8 inches from the roof perimeter and will be screened from view at the street level.

Therefore, as proposed and conditioned and in conjunction with the Density Bonus/Affordable Housing Incentive Program for the Off-Menu Incentive, the project complies with Section 7.D of the Specific Plan.

**F. Building Setback.** Section 7.E of the Vermont/Western SNAP Specific Plan states that all buildings shall face a public street. The proposed development is a multi-family residential building fronting Oakwood Avenue with a main pedestrian entrance located along the street frontage. Section 7.E. of the Vermont/Western Specific Plan also states that the exterior wall of the building frontage shall be located no closer to the street and no farther from the street than the exterior walls of the adjacent buildings. According to the survey submitted by the applicant, the adjacent building to the west of the project site is set back 13.86 feet from the street, and the adjacent building to the east of the project site is set back 15.12 feet from the street. The proposed development will provide a 15-foot setback from the street, which is within the minimum and maximum setbacks permitted by the Specific Plan. Therefore, the project complies with Section 7.E of the Specific Plan.

**G. Usable Open Space.** Section 7.F of the Vermont/Western SNAP Specific Plan states that residential projects with two or more dwelling units must provide specified amounts of common and private open space pursuant to the standards set forth in LAMC Section 12.21 G.2. The Specific Plan further stipulates that 50 percent of the total open space must be located at the grade level or first habitable room level, and roof decks may be used in their entirety as common or private open space excluding that portion of the roof within 20 feet of the roof perimeter.

Units containing less than three habitable rooms require 100 square feet of open space per unit. Units containing three habitable rooms require 125 square feet of open space per unit. Units containing more than three habitable rooms require 175 square feet of open space per unit. Per the definition of habitable rooms in LAMC Section 12.03, a habitable room does not include a kitchen for the purposes of open space requirements.



The proposed development consists of 68 units, comprised of two (2) studios, 23 one-bedroom units, and 43 two-bedroom units. Per the standards set forth in LAMC Section 12.21 G.2, the proposed project is required to provide a minimum usable open space of 7,875 square feet, 50 percent, or 3,937.5 square feet, of which must be located at the grade level or first habitable room level. The table below summarizes the required open space for the project:

Required Open Space			
Number of Habitable Rooms	Number of Units	Open Space Requirement (SF/Unit)	Total Open Space Requirement (SF)
< 3 Habitable Rooms	25	100	2,500
= 3 Habitable Rooms	43	125	5,375
> 3 Habitable Rooms	0	175	0
<b>Total</b>			7,875
<b>Required at the Ground Level or First Habitable Room Level (50%)</b>			3,937.5

The project proposes a total of 10,403 square feet of usable open space, 4,340 square feet of which is located at the first habitable room level. The proposed usable open space consists of 3,560 square feet of courtyard and a 780-square-foot recreation room on the first floor, 2,322 square feet of terraces on the fifth floor, and 3,741 square feet of balconies throughout the building. The table below summarizes the proposed usable open space for the project. Therefore, the project complies with Section 7.F of the Specific Plan.

Proposed Open Space			
	Floor Level	Type	Area (SF)
<b>Common Open Space</b>	First Floor	Courtyard	3,560
	First Floor	Recreation Room	780
	Fifth Floor	Terrace	1,161
	Fifth Floor	Terrace	1,161
<b>Private Open Space</b>	First-Fifth Floors	Balconies	3,741
<b>Total Open Space Provided</b>			10,403
<b>Open Space Provided at the First Habitable Room Level</b>			4,340



- H. Project Parking Requirements.** Section 7.G.1 of the Vermont/Western SNAP Specific Plan sets forth minimum and maximum parking standards (including guest parking) for residential projects based on the number of habitable rooms per unit.

The applicant proposes to utilize AB 744, which amended sections of the State Density Bonus Law (Government Code Section 65915) to reduce vehicular parking requirements for projects that provide the requisite percentage of affordable housing and is located near designated public transit. Pursuant to Government Code Section 65915, the proposed project is required to provide one-half (0.5) spaces per bedroom, inclusive of spaces for guests and disabled persons. The proposed development consists of 68 units, comprised of two (2) studios, 23 one-bedroom units, and 43 two-bedroom units, resulting in a minimum parking requirement of 56 spaces per Government Code Section 65915. Government Code Section 65915 supersedes the minimum parking requirement of the Specific Plan. However, the Specific Plan still governs the maximum parking requirement. The Specific Plan allows a maximum of one parking space for each dwelling unit having fewer than three habitable rooms, a maximum of one and one-half (0.5) parking spaces for each dwelling unit with three habitable rooms, and a maximum of two parking spaces for each dwelling unit having more than three habitable rooms. Pursuant to LAMC Section 12.03, a kitchen is considered a habitable room for the purposes of parking requirements. The proposed development consists of 68 units, comprised of two (2) studios, 23 one-bedroom units, and 43 two-bedroom units, resulting in a maximum parking requirement of 123 spaces. Additionally, the Specific Plan permits a maximum of one-quarter (0.25) space for each dwelling unit as guest parking. The proposed 68-unit development is thus permitted a maximum of 17 guest parking spaces. The parking requirements for the project are summarized in the tables below. The project will provide a total of 85 parking spaces which meets the minimum parking requirement of 56 and maximum parking requirement of 140.

Minimum Parking Requirement pursuant to AB 744 (Government Code Section 65915)			
	Number of Units	Parking Ratio / Unit	Required Parking
Studio (0 Bedroom)	2	0.5	1
One Bedroom	23	0.5	12
Two Bedroom	43	1	43
Total Spaces (Including Guests and Disabled Persons)			56



Maximum Parking Requirement pursuant to the Specific Plan			
	Number of Units	Parking Ratio / Unit	Required Parking
< 3 Habitable Rooms	2	1	2
= 3 Habitable Rooms	23	1.5	35
> 3 Habitable Rooms	43	2	86
Total Spaces for Residential Units			123
Guest Spaces	68	0.25	17
Grand Total			140

Section 7.2.G of the Vermont/Western SNAP Specific Plan requires any residential project with two or more residential units to provide one-half (0.5) bicycle parking space per residential units. The project consists of 68 residential units and is therefore required to provide 34 bicycle parking spaces. The project proposes a total of 40 bicycle parking spaces including 36 long-term spaces within the semi-subterranean parking garage and four (4) short-term spaces within the front yard setback. Therefore, the project complies with Section 7.G of the Specific Plan.

- I. **Conversion Requirements.** Section 7.H of the Vermont/Western SNAP Specific Plan sets forth requirements pertaining to the conversion of existing structures to residential condominium uses. The project proposes the after-the-fact demolition of a 14-unit multi-family residential complex and a six (6)-unit multi-family residential complex for the construction, use and maintenance of a multi-family residential building containing 68 dwelling units. The project does not include the conversion of existing structures to residential condominium uses. Therefore, Section 7.H of the Specific Plan does not apply.
- J. **Development Standards.** Section 7.I of the Vermont/Western SNAP Specific Plan requires that all projects be in substantial conformance with the following Development Standards and Design Guidelines.

#### Development Standards

- K. **Landscaped Focal Point.** The Development Standard requires all new development projects to be designed around a landscaped focal point or courtyard. The project includes a central courtyard at the first floor level along the Oakwood Avenue frontage. The courtyard is divided into two areas: one area located to the north provides a center piece planter with a variety of plant materials with seating areas at four corners and the second area located to the south provides a fountain at the center and trees with large canopies along the edges of the courtyard and seating areas at four corners. The residential units surround the courtyard on the east, north and west sides. Therefore, as proposed, the project complies with this Development Standard.



- L. Landscape Plan.** The Development Standard requires that all open areas not used for buildings, driveways, parking, recreational facilities, or pedestrian amenities shall be landscaped by shrubs, trees, ground cover and other planting materials. The project will provide four (4) street trees in the parkway of the sidewalk. The main pedestrian entrance at the center of the site will be accentuated with planters containing trees, shrubs and ground cover including Aloe Tree, Date Palm, Stalked Bulbine. The remaining areas of the front yard that are not used for the driveway and pedestrian amenities are landscaped with trees, shrubs and ground cover including Desert Museum Palo Verde, Dwarf Mat Rush, Sticks on Fire, and Senecio Vitalis. The east side yard will be landscaped with Sweet Bay trees and the rear yard will be landscaped with Bush Anemone and California Grey Rush. The courtyard will be landscaped with a variety of trees, shrubs and ground cover, including but not limited to Olive Trees, Creeping Fig, California Grey Rush, Blue Flame Agave, Dwarf Myrtle, Cape Rush, and White Striped Tasman Flax Lily. The two terraces on the fifth floor level will also be landscaped with a variety of planting materials, including but not limited to Dragon Trees, Small Cape Rush, Lady Palm, and Fortnight Lily. Therefore, as proposed, the project complies with this Development Standard.
- M. Usable Open Space.** The Development Standard requires that common usable open space have a minimum dimension of 20 feet and a minimum area of 600 square feet for projects with 10 dwelling units or more. The Development Standards also requires that private usable open space, such as balconies or patios, have a minimum dimension of six (6) feet for balconies and 10 feet for patios. The Development Standard further stipulates that private open space may reduce the required usable open space directly commensurate with the amount of private open space provided. The project proposes a total of 10,403 square feet of usable open space consisting of 3,560 square feet of courtyard and a 780-square-foot recreation room on the first floor, 2,322 square feet of terraces on the fifth floor, and 3,741 square feet of balconies throughout the building. The table below summarizes the proposed usable open space for the project.

Proposed Open Space			
	Floor Level	Type	Area (SF)
<b>Common Open Space</b>	First Floor	Courtyard	3,560
	First Floor	Recreation Room	780
	Fifth Floor	Terrace	1,161
	Fifth Floor	Terrace	1,161
<b>Private Open Space</b>	First-Fifth Floors	Balconies	3,741
<b>Total Open Space Provided</b>			10,403
<b>Open Space Provided at the First Habitable Room Level</b>			4,340



The courtyard will have a minimum dimension of 42 feet, 4 inches. The recreation room will have a minimum dimension of 23 feet. The terraces will have a minimum dimension of 23 feet, 3 inches. The balconies will have a minimum dimension of 6 feet. No patios are proposed. Therefore, as proposed, the project complies with this Development Standard.

- N. Street Trees.** The Development Standard requires at least one 24-inch box shade tree to be planted in the public right-of-way for every 20 feet of street frontage and an automatic irrigation system be provided within the tree well. The subject site occupies approximately 150 feet of street frontage along Oakwood Avenue, requiring seven (7) trees in the public right-of-way. The project is conditioned herein to provide seven (7) trees and an automatic irrigation system in the public right-of-way of Oakwood Avenue along the portion of the project frontage to the satisfaction of the Department of Public Works, Bureau of Street Services, Urban Forestry Division. Therefore, as conditioned, the project complies with this Development Standard.
- O. Utilities.** The Development Standard requires all new utility lines which directly service the lot or lots to be installed underground. No utilities are being proposed as part of the project work scope. However, in the event that utilities be installed in the future, a Condition of Approval has been included requiring all proposed utilities on the project site to be placed underground. If underground service is not currently available, provisions shall be made for future underground service. Therefore, as conditioned, the project complies with this Development Standard.
- P. Pedestrian Access.** The Development Standard requires that pedestrian access be in the form of walks provided from the public street to the main building entrance and that they provide a view into any existing interior courtyard or landscaped open area. The project proposes pedestrian pathways at the center of the subject property to provide access to the building from Oakwood Avenue. The pathway leads to the main pedestrian entrance at the center of the building and into the central landscaped courtyard. Therefore, as proposed, the project complies with this Development Standard.
- Q. Alley Access.** This Development Standard requires vehicle and pedestrian access from existing alleys or side streets to be preserved and enhanced. The project site is located adjacent to an existing 20-foot alley. The project will not include a driveway from the alley, because the alley is not accessible from the west end as it is blocked by existing development along Heliotrope Drive. However, the project will provide pedestrian access via two pathways - one at the center of the property and another at the northeast corner. Therefore, as proposed, the project is in substantial conformance with this Development Standard.
- R. Curb Cuts.** This Development Standard allows no more than one curb cut per lot or 100 feet of lot frontage and further requires curb cuts to be a maximum of 20 feet in width unless otherwise required by the Department of Transportation (DOT) or the Department of Building and Safety (DBS). The project site has approximately 150 feet of street frontage. The project will provide one 20-foot curb cut along Oakwood Avenue. Therefore, the project complies with this Development Standard.



- S. Driveways.** The Development Standard requires that the first 25 feet in length of driveways be constructed of Portland cement concrete, pervious cement, grass-crete, or any other porous surface that reduces heat radiation and/or increases surface absorption, thereby reducing runoff. The project is conditioned herein to construct the first 25 feet of the proposed driveway with a porous surface material. Therefore, as conditioned, the project complies with this Development Standard.
- T. Parking Lots and Structures.** This Development Standard requires surface parking lots, structures, garages and carports to be located at the rear of buildings. The project includes a semi-subterranean parking garage and does not propose surface parking lots, structures, garages or carports. Therefore, this Development Standard does not apply.
- U. Trash, Service Equipment and Satellite Dishes.** The Development Standard requires that trash, service equipment and satellite dishes to be located away from streets and enclosed or screened by landscaping, fencing or other architectural means. Additionally, the trash area shall be enclosed by a minimum six-foot high decorative masonry wall. The trash area will be located within the semi-subterranean parking garage and will not be visible from the street. The plans submitted as part of this application do not indicate the location of service equipment and satellite dishes. In the event that service equipment and satellite dishes are proposed in the future, a Condition of Approval has been included requiring that said equipment be located away from Oakwood Avenue. Therefore, as proposed and conditioned, the project complies with this Development Standard.
- V. Roofs and Rooftop Appurtenances.** The Development Standard requires that all rooftop equipment be screened from public view or architecturally integrated into the design of the building. The project proposes mechanical equipment on the rooftop. A Condition of Approval has been included requiring said equipment be screened from view from any street, public right-of-way or adjacent property with enclosures or parapet walls constructed of materials complimentary to the materials and design of the main structure. Therefore, as conditioned, the project complies with this Development Standard.
- W. Roof Lines.** The Development Standard requires that all roof lines in excess of 40 feet in horizontal length must be broken up through the use of gables, dormers, plant-ons, cutouts or other appropriate means. The roof lines will be broken up through cutouts, roof parapet and vertical architectural elements. Therefore, as proposed, the project complies with this Development Standards.
- X. Privacy.** The Development Standard requires that buildings be arranged to avoid windows facing windows across property lines, or the private open space of other residential units. The project abuts two (2)-story residential buildings to the east and west. The East and West Elevations provided in Exhibit "A" depict the windows of existing adjacent structures to the east and west superimposed onto the elevations of the proposed project. These Elevations show that the windows of the proposed project are generally staggered and offset from the windows of the adjacent residential buildings. There are partially overlapping windows; however, given the constraints as an infill development located in an urbanized area, the applicant has demonstrated efforts to arrange windows to avoid directly facing windows across property lines. Therefore, as proposed, the project is in substantial conformance with this Development Standard.



- Y. Façade Relief.** The Development Standard requires that all exterior building elevations, walls or fences provide a break in the plane for every 20 feet in horizontal length, and every 15 feet in vertical length created by an architectural detail or a change in material. The Specific Plan further requires architectural treatments on the building front elevation to be continued on the sides and back of buildings. The project incorporates various materials including stone, wood, stucco, chrome, and glass and articulation through changes in the plane including recessed and projecting balconies for every 20 feet or less horizontally and every 15 feet or less vertically. Therefore, as proposed, the project complies with this Development Standard.

### **Design Guidelines**

- Z. General Building Design.** This Design Guideline recommends that buildings should be compatible in form with the existing neighborhood atmosphere. The surrounding area is currently developed single- and multi-family residential developments with pitched and/or flat roofs. The two (2), three (3)-story duplexes are similar in massing with surrounding buildings and incorporate pitched and flat roofs. Therefore, the project satisfies this Design Guideline.
- AA. Architectural Features.** The Design Guideline recommends that courtyards, roof gardens, porches, balconies, arbors and trellises be used to add interest to the buildings. The project proposes a central courtyard at the center of the building on the first floor. The proposed building will have recessed and projecting balconies that add interest to the building. Therefore, the project satisfies this Design Guideline.
- BB. Shade.** The Design Guideline recommends that canopies, building overhangs and arbors be incorporated into the design of new structures to provide shade. The project includes architectural features and projecting and recessed balconies along all elevations which create ample shade opportunities. Therefore, the project satisfies this Design Guideline.
- CC. Building Color.** The Design Guideline encourages buildings be painted three colors: a dominant color, a subordinate color and a grace note color. The project proposes white as its dominant color, brown as its subordinate color, and gray as its grace note color. Therefore, the project satisfies this Design Guideline.
- b. The project incorporates mitigation measures, monitoring measures when necessary, or alternatives identified in the environmental review, which would mitigate the negative environmental effects of the project, to the extent physically feasible.**

The proposed project is exempt from CEQA pursuant to State CEQA Statute and Guidelines, Article 19, Section 15332 (Class 32 Urban In-Fill Development), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to State CEQA Statute and Guidelines, Section 15300.2 applies. Therefore, the project is not subject to any mitigation measures to mitigate negative environmental effects.



**CEQA FINDINGS**

The proposed project is exempt from CEQA pursuant to State CEQA Statute and Guidelines, Article 19, Section 15332 (Class 32 Urban In-Fill Development), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to State CEQA Statute and Guidelines, Section 15300.2 applies.

**Class 32 Criteria**

A project qualifies for a Class 32 Categorical Exemption if it meets the following criteria:

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations.**

The subject site is located within the Wilshire Community Plan and designated for Medium Residential land uses corresponding to the R3 Zone. The site is zoned R3-1 and thus, consistent with the land use designation. As shown in the case file and under Finding No. 1 above, the project is consistent with the General Plan including the Wilshire Community Plan and all applicable zoning designation and regulations in conjunction with the approval of the Conditional Use and Density Bonus Affordable Housing Incentive Program. As such, the proposed project meets this criterion.

- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.**

The project site is wholly within the City of Los Angeles. The site is located on a property that is approximately 29,703.9 square feet, or 0.69 acres, in size. The site is located in an urbanized area surrounded primarily by multi-family residential buildings. Properties to the north, across the alley, are designated for High Medium Residential land uses, zoned R4-1 and developed with two (2) to three (3)-story multi-family residential buildings. Properties to the east, west, and south are designated for Medium Residential land uses, zoned R3-1 and developed with two (2) to three (3)-story multi-family residential buildings. As such, the proposed project meets this criterion.

- (c) The project site has no value as habitat for endangered, rare or threatened species.**

The site was developed with two multi-family residential complexes since 1920 until the buildings were demolished in 2018. As previously mentioned, the site is located in an urbanized area surrounded primarily by multi-family residential buildings. According to the Tree Letter prepared by McKinley & Associates and dated May 12, 2018 (Exhibit E), there four (4) non-protected Evergreen Pear Trees in the parkway of Oakwood Avenue adjacent to the subject property. Per the Tree Letter, there are no trees growing on the subject property. The project site does not adjoin any open space or wetlands that could support habitat for endangered, rare or threatened species. Therefore, the site does not contain or have value as habitat for endangered, rare or threatened species and is not located adjacent to any habitat for endangered, rare or threatened species. As such, the proposed project meets this criterion.



- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.**

Traffic

According to the Los Angeles Department of Transportation (LADOT) Traffic Study Exemption Thresholds reviewed and signed by LADOT on May 23, 2018 (Exhibit D), the proposed project is not required to prepare a traffic study as any traffic impacts related to the project are expected to be less than significant.

Noise

According to the Noise Technical Report prepared by DKA Planning and dated July 2019 (Exhibit F), impacts from the projects construction noise, off-site ambient noise levels from traffic, and on-site operational noise would be less than significant.

Air Quality

According to the Air Quality Technical Report prepared by DKA Planning and dated June 2019 (Exhibit G), the proposed project is consistent with the South Coast Air Quality Management District's (SCAQMD) Air Quality Management Plan and the City's Air Quality Element of the General Plan. In addition, per the Air Quality Technical Report, the project impacts in air quality related to construction and operation would be less than significant.

Water Quality

Based on the Department of Toxic Substances Control's Envirostor Database, the project site is not listed for cleanup, permitting or investigation of any hazardous waste contamination. The proposed project would not handle, dispose, or store any hazardous materials during the project's construction activities. Additionally, the project would not exacerbate any hazardous conditions on the project site could affect groundwater conditions. The proposed project would not use hazardous materials other than modest amounts of typical cleaning supplies and solvents used for purposes that are typically associated with the operation of a multi-family residential development. As such, the project does not include potential sources of contaminants that could degrade water quality.

The proposed project is subject to Best Management Practices (BMPs) identified in a Storm Water Pollution Prevention Plan (SWPPP) for erosion control and other measures to meet the National Pollutant Discharge Elimination System (NPDES) requirements for stormwater quality. Implementation of the BMPs and compliance with the NPDES and City discharge requirements would ensure that the construction of the proposed project would not violate any water quality standards or discharge requirements, or otherwise substantially degrade water quality during construction. Additionally, the proposed project would be required to demonstrate compliance with Low Impact Development (LID) Ordinance standards to ensure that the proposed project would not adversely affect water quality or significant contribute to site runoff during the operation of the proposed project. Therefore, the project would result in less than significant impacts to the water quality. As such, the proposed project meets this criterion.

- (e) The site can be adequately served by all required utilities and public services.**

The project site was previously improved with multi-family residential complexes and served by public utilities and services. As such, the proposed project will continue to be



adequately served by all public utilities and services, including the Department of Water and Power, Bureau of Sanitation, Police Department, Fire Department, Los Angeles Unified School District, and the Los Angeles Public Library. As such, the proposed project meets this criterion.

#### Exceptions to Exemptions

- (a) **Cumulative Impact. All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.**

There are two projects located within 500 feet of the subject property: one project located at 4136-4138 ½ West Rosewood Avenue for the demolition of existing buildings and the construction of an apartment building containing 16 units; and another project located at 307 North Berendo Street for the demolition of existing buildings and the construction of a mixed-use development containing 67 dwelling units. As presented in this CEQA analysis, the proposed project would not result in any significant traffic, noise, air quality or water quality impacts. When viewed in conjunction with other proposed, approved or reasonably anticipated projects, the proposed project would not generate impacts that are cumulatively considerable, as the proposed project is consistent with the land use and zoning designations of the property as well as the General Plan, LAMC and Specific Plan provisions in conjunction with the Conditional Use and Density Bonus Affordable Housing Incentive Program.

- (b) **Significant Effect. A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.**

As found in the Entitlement Findings above, the proposed project would be consistent with the General Plan, zoning regulations, and provisions in the Vermont/Western SNAP Specific Plan in conjunction with the approval of the Conditional Use and Density Bonus Affordable Housing Incentive Program. The project proposes a multi-family residential building on a property designated and zoned for such development. All adjacent lots are developed with multi-family residential buildings. The record contains no evidence that there are no unusual circumstances that exist in connection with the proposed project or surrounding environmental conditions that have the potential to result in a significant impact upon the environment.

- (c) **Scenic Highways. A categorical exemption shall not be used for a project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway.**

The only State Scenic Highway within the City of Los Angeles is the Topanga Canyon State Scenic Highway, State Route 27, which travels through a portion of Topanga State Park. State Route 27 is located approximately 24 miles west of the subject property. Therefore, the subject site will not create any impacts within a designated as a state scenic highway.

- (d) **Hazardous Waste Sites. A categorical exemption shall not be used for a project located on a site which is included on any list compiled pursuant to Section 65962.5 of the Government Code.**



Based on the Department of Toxic Substances Control's Envirostor Database, the project site is not listed for cleanup, permitting or investigation of any hazardous waste contamination. The proposed project would not handle, dispose, or store any hazardous materials during the project's construction activities nor use hazardous materials other than modest amounts of typical cleaning supplies and solvents used for purposes that are typically associated with the operation of a multi-family residential development.

**(e) Historical Resources. A categorical exemption shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource.**

According to the Historic Resources Assessment Report prepared by ESA and dated January 2019 (Exhibit H), the proposed project would have no impact on historical resources. The project site was previously improved with a row of Spanish Colonial Revival bungalows originally constructed between 1920 and 1921 at 4055-4057 Oakwood Avenue and a Spanish Colonial Revival Bungalow Court originally constructed in 1920 at 4059-4065 Oakwood Avenue. ESA found that these buildings are not associated with significant settlement patterns or neighborhood trends, no significant persons lived at the property, and the previous improvements were not the work of a master architect or builder. The Bungalow Court located at 4059-4065 Oakwood Avenue was an altered example that lacked integrity to convey the distinguishing characteristics of the bungalow court property type due to later additions that connected the originally detached residences and because of substantial replacement of the fenestration (windows and doors). The row of bungalows at 4055-4057 Oakwood Avenue was a basic, architecturally undistinguished example. Based on the analysis presented in the Historic Resources Assessment Report, ESA has concluded that the Bungalow Court and the row of bungalows are not historical resources as defined by CEQA. On January 28, 2019, the Department of City Planning, Office of Historic Resources accepted and concurred with the findings of the Historic Resources Assessment Report (Exhibit H).



## **PUBLIC HEARING AND COMMUNICATIONS**

### **Public Hearing**

A public hearing on this matter was held by the Hearing Officer on behalf of the City Planning Commission on Wednesday, July 31, 2019 at City Hall, 200 North Spring Street, Room 1020, Los Angeles, CA 90012. In attendance were the project applicant and representatives, who presented before the Hearing Officer describing the site location, project description, and requested entitlements. No other members of the public attended the public hearing to provide testimony.

### **Written Correspondence**

As of the writing of this staff recommendation report, staff has not received any written correspondence regarding the subject matter.



PROJECT:  
4055-4065 OAKWOOD AVE.  
LOS ANGELES, CA 90004

OWNER:  
MOHAMMAD TAGHDIRI  
ANDREW GHARIBIAN  
KAMRAN GHARIBIAN  
508 E 16TH STREET  
LOS ANGELES, CA 90015

ARCHITECTURAL DESIGNER :  
BAHRAM RAEEN  
(310) 826-2646  
11040 SANTA MONICA BLVD.,SUITE 326,  
LOS ANGELES, CA 90025

LAND USE CONSULTANT:  
NUR-DEVELOPMENT I CONSULTING  
1601 S GENESEE AVE  
LOS ANGELES, CA 90019  
WWW.NURDEVELOPMENT.COM

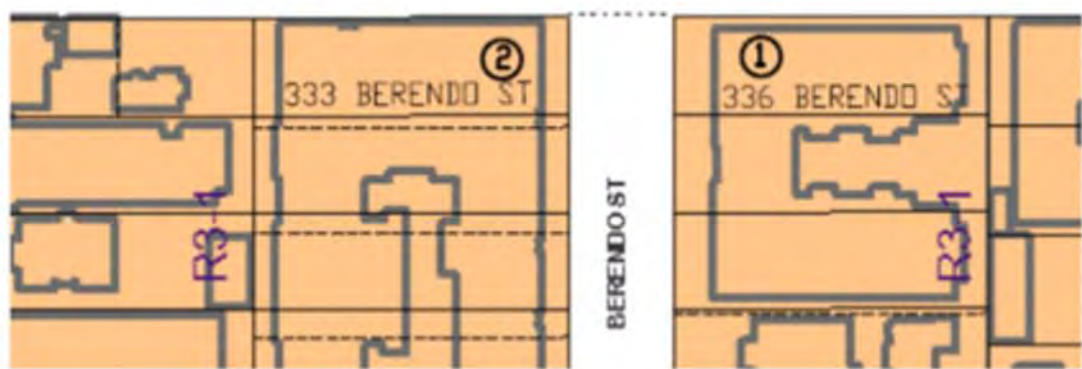
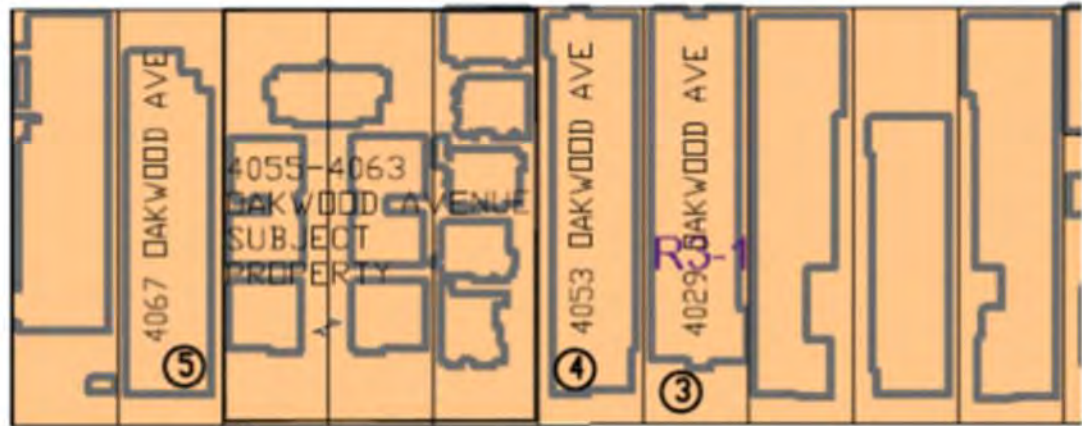
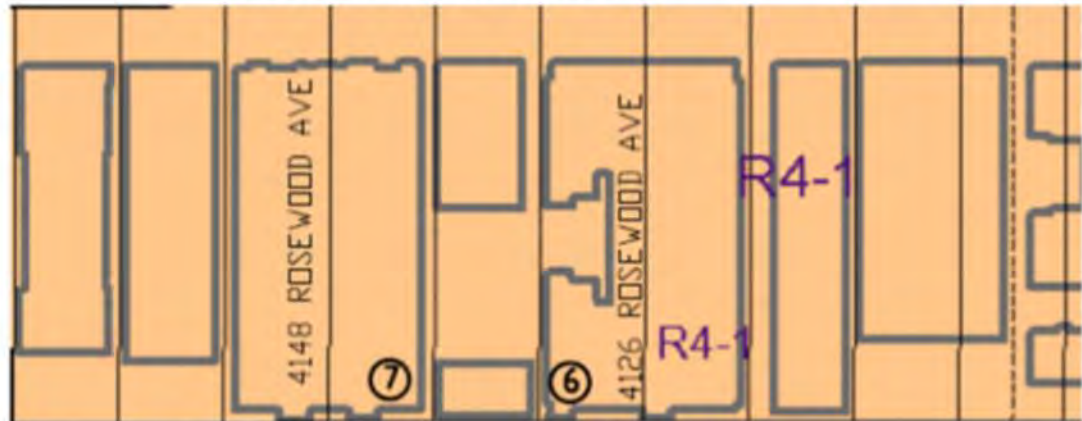


## EXHIBIT A

CPC-2018-3029-CU-DB-SPP

Plans and Renderings

4055--4063  
SCALE: 1" = 20'  
DATE: MAY 2, 2017



BY: NICK KAZEM, INC.  
CIVIL ENGINEERS & LAND SURVEYORS  
4966 TOPANGA CYN. BLVD.,  
WOODLAND HILLS, CA 91364  
818/ 999-9890

PROPERTY NO.	①	②	③	④	⑤	⑥	⑦
LOWEST PT 5' FROM BLDG	290.91	281.40	289.72	288.10	279.71	289.31	287.94
TOP OF PARAPET	327.53	319.62	326.68	311.89	306.49	325.19	319.14
HEIGHT	36.62	38.22	36.96	23.79	26.78	35.88	31.20

## PROJECT SUMMARY

VERMONT-WESTERN SNAP SUB-AREA  
SUBAREA A – NEIGHBORHOOD CONSERVATION

**REQUESTED ENTITLEMENTS**  
CONDITIONAL USE PERMIT FOR A DENSITY INCREASE OF 70%  
OFF-MENU INCENTIVE TO TIE 3 LOTS TOTALING 29,703 SQ FT  
OFF-MENU INCENTIVE FOR A HEIGHT INCREASE OF 22'  
ON-MENU INCENTIVE FOR AN FAR INCREASE OF 35%  
SPECIFIC PLAN PROJECT PERMIT COMPLIANCE REVIEW

**LOT AREA**  
GROSS 29,703.90  
½ ALLEY 1,500  
DEDICATION 0  
NET 29,703.90  
NET + ½ ALLEY 31,203.90

**ZONING** R3-1

**RESIDENTIAL DENSITY**  
DENSITY RATIO 1 DU/800 SF  
ALLOWABLE / BASE DENSITY: 31,203.9 / 800 = 39.004875  
DENSITY BONUS REQUESTED (ALIGNED W/ TOC TIER 3) 70%  
DENSITY BONUS: 40 + 70% = 68

RESTRICTED SET-ASIDE PER 12.24.U.26.(a)(2)d. 25%  
RESTRICTED SET-ASIDE (ON BASE DENSITY): 40 X 25%: 10.0  
AFFORDABLE PER AB 2556 (PER HCIDLA DETERMINATION) 10 VLI + 4 LI

TOTAL PROVIDED UNITS 68  
MARKET-RATE UNITS 54  
VLI UNITS 10  
LI UNITS 4

**RESIDENTIAL UNIT MIX**  
STUDIO 2  
1-BR 23  
2-BR 43  
TOTAL 68

**FLOOR AREA & FAR (ZONING)**  
BUILDABLE AREA (SEE DIAGRAM ON SITE PLAN) 25,091.0  
MAX FLOOR AREA / FAR PER R3-1 75,272 / 3:1  
MAX FLOOR AREA / FAR PER ON-MENU INCENTIVE (35%) 101,618 / 4.05:1  
FLOOR AREA / FAR PROVIDED 100,852 / 4.02:1

**HEIGHT & STORIES**  
MAX HEIGHT / STORIES PER R3-1 45' / UNLIMITED  
LOWEST ADJACENT BUILDING (SEE HEIGHT SURVEY) 23.79  
TRANSITIONAL HEIGHT PER SNAP: 23.79 + 15 = 38.79  
MAX HEIGHT / STORIES PER TOC TIER 3: 38.79 + 22 60.79/UNLIMITED  
HEIGHT / STORIES REQUESTED VIA OFF-MENU 60.79/5-STORIES

**AUTO PARKING**  
RESIDENTIAL REQUIRED PER AB 744 0.5 / BEDROOM  
STUDIO: 2 X 0.5 = 1  
1-BR: 23 X 0.5 = 11.5 = 12  
2-BR: 43 X 1 = 43  
TOTAL 56

RESIDENTIAL MAX PER SNAP  
<3 HABITABLE ROOMS: 1 X 2 = 2  
=3 HABITABLE ROOMS: 1.5 X 23 = 34.5  
>3 HABITABLE ROOMS: 2 X 43 = 86  
GUEST: 0.25 X 68 = 17  
TOTAL MAX PER SNAP 140

RESIDENTIAL PROVIDED  
STANDARD 66  
COMPACT 17  
HANDICAP 2  
TOTAL 85  
EVCS FULL INSTALLATION: 56 X 5% 3  
EVCS CONDUIT READY: 56 X 20% 12

**BIKE PARKING**  
BIKE PARKING REQUIRED PER SNAP: 68 X 50% = 34

LONG-TERM PROVIDED: 36  
SHORT-TERM PROVIDED: 4  
TOTAL BIKE PARKING PROVIDED 40

**OPEN SPACE**  
STUDIO: 2 X 100 200  
1-BR: 23 X 100 2,300  
2-BR: 43 X 125 5,375  
TOTAL REQUIRED SQUARE FOOTAGE 7,875

REQUIRED # OF TREES: 68 DU / 4 TREES 17  
TREES PROVIDED 72

1<sup>ST</sup> FLOOR COURTYARD 3,560  
5<sup>TH</sup> FLOOR COURTYARD 2,322  
RECREATION ROOM: 25% X 7,875 = 1,968 > 780 780  
BALCONIES 3,741  
TOTAL PROVIDED SQUARE FOOTAGE 10,403

50% OF REQUIRED OPEN SPACE: 7,875 X 50% = 3,937.50  
TOTAL COMMON OPEN SPACE PROVIDED: 3,560 + 2,322 + 780 = 6,662  
COMMON OPEN SPACE > 50% OF REQUIRED? (6,662 > 3,937.5) YES

REQUIRED LANDSCAPE: 25% X 6,662 (COMMON OPEN) 1,665.50  
PROVIDED LANDSCAPE 1,861

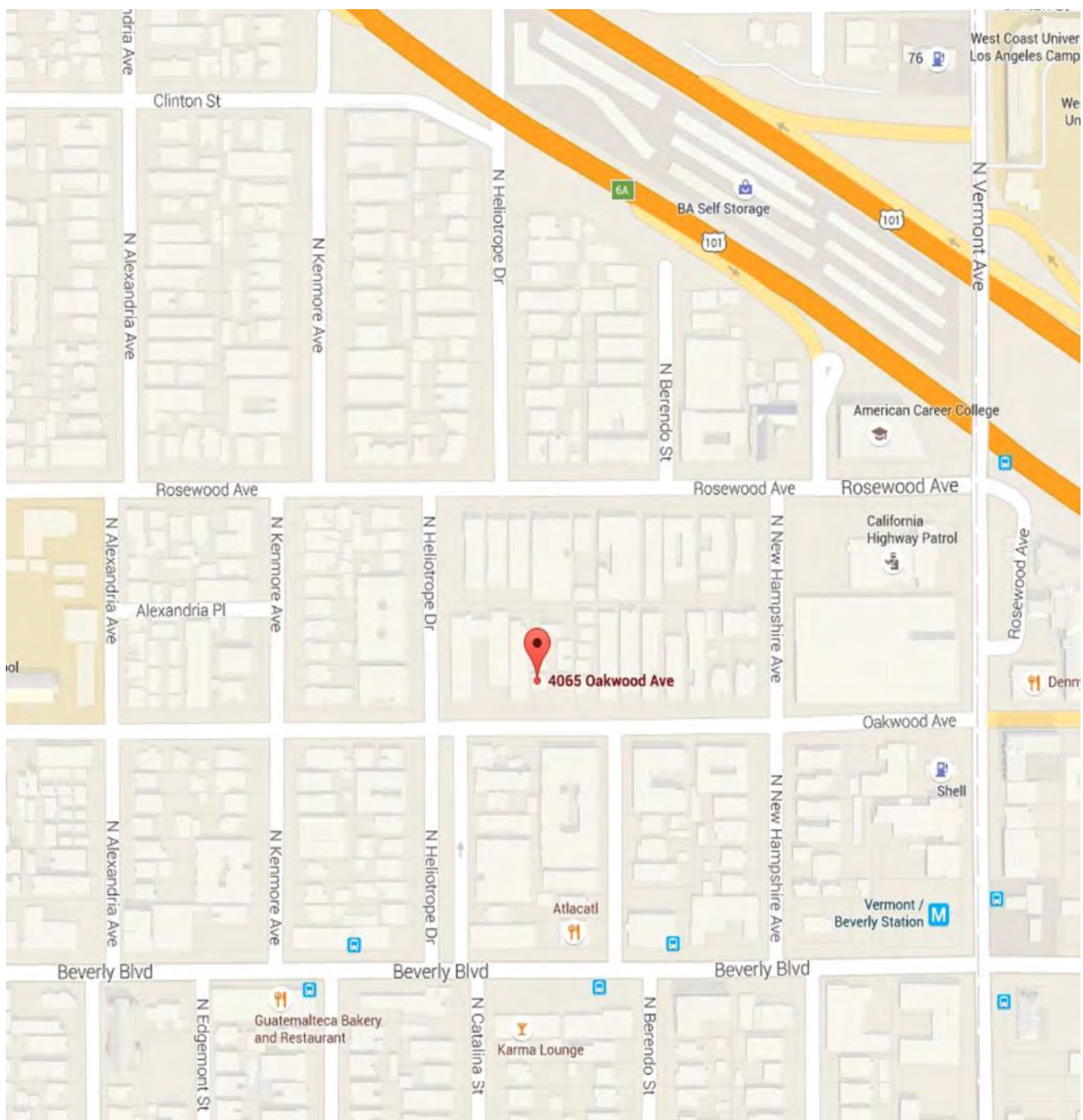
**SETBACKS**  
BUILDING LINE PER ORDINANCE 65.086 15'  
FRONT YARD SETBACK PER SNAP  
ADJOINING BLDG W/ FURTHER FY SETBACK 15.12  
ADJOINING BLDG W/ CLOSEST FY SETBACK 13.86  
PROVIDED FRONT YARD SETBACK 15'

SY SETBACK REQUIRED/PROVIDED FOR 5-STORY BUILDING 8'  
REAR YARD SETBACK REQUIRED/PROVIDED PER 12.22.C.10. 5'

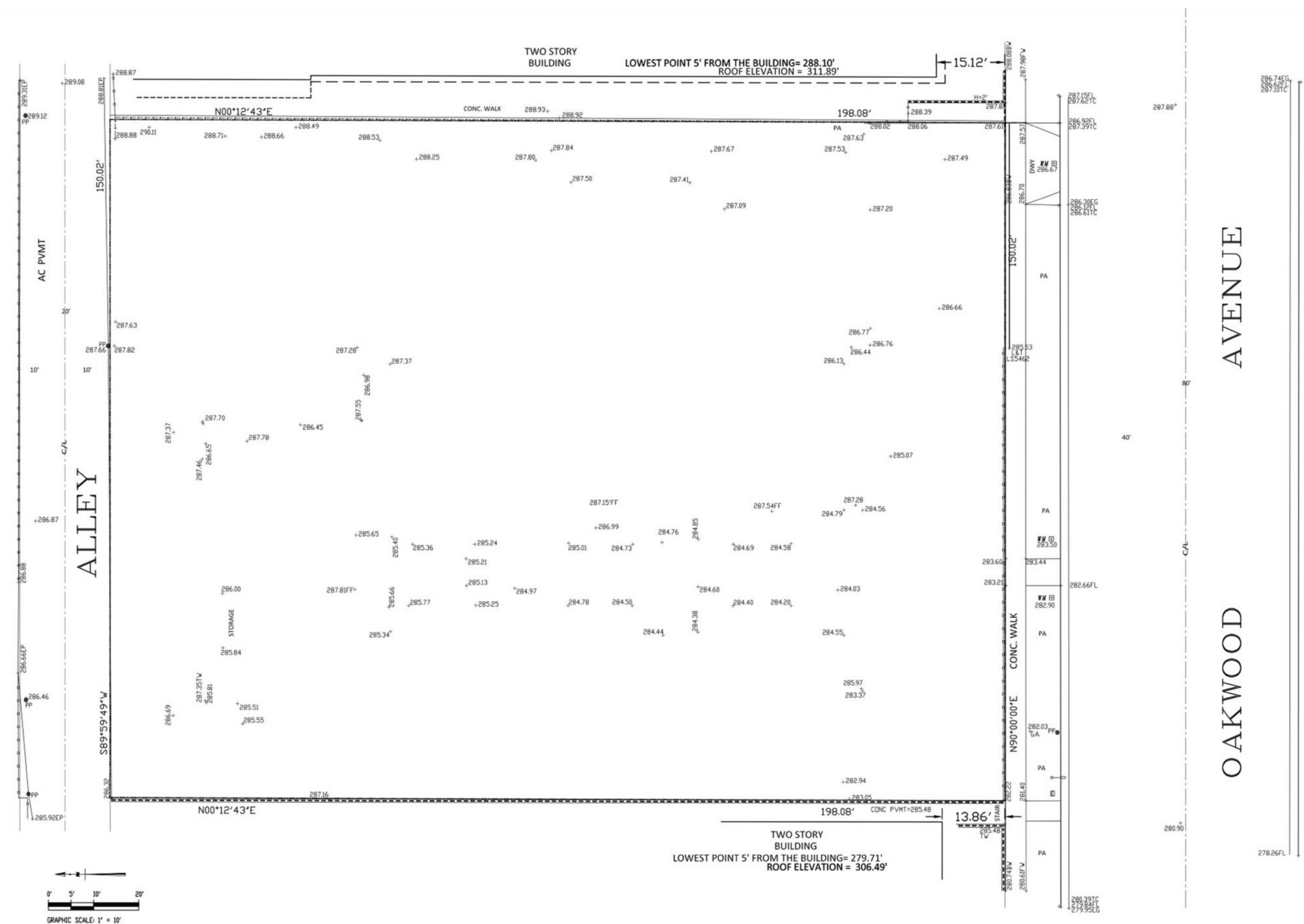
## ARCHITECTURAL

**NO.** **SHEET TITLE**  
T-1 COVERSHEET: INDEX OF DWG'S  
PROJECT SUMMARY  
LEGAL DESCRIPTION  
SURVEY PLAN  
A-1 SITE PLAN  
A-1.1 OPEN SPACE DIAGRAM  
A-2 BASEMENT PARKING & ROOF PLAN  
A-3 1ST FLOOR PLAN  
A-4 2ND-4TH FLOOR PLAN  
A-5 5TH FLOOR PLAN & SCHEDULES  
A-6 ROOF PLAN  
A-7 N&S ELEVATIONS  
A-8 E&W ELEVATIONS  
A-8.1 ADJACENT BUILDINGS WINDOWS TRANSPOSED  
A-8.2 WALL ELEVATIONS  
A-9 SECTIONS

### VICINITY MAP



## ADJACENT BUILDING FRONT YARD SURVEY



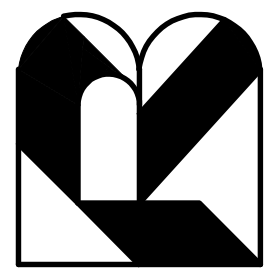
### LEGAL DESCRIPTION

Lot No. 8 and Lot 9 and lot 10 in Block "C" Resubdivision of Block "C" and Lots 4, 6, 7, 8, and 9 and one acre lot Block "A" of Barrows Addition, in the City of Los Angeles, County of Los Angeles, as per map recorded in book 6, page 33 of maps, in the office of the county recorder of said county. Except the west half of said Lot 9.State of California  
APN No. 5520-017-010  
5520-017-009

REVISIONS BY

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TEL: (310) 826-2646  
FAX: (310) 202-7444  
email: baeen@raei.com

**B. RAEEN**  
CONSULTANT ENGINEER, INC.,  
11040 SANTA MONICA BLVD., SUITE 326, LOS ANGELES, CA 90025



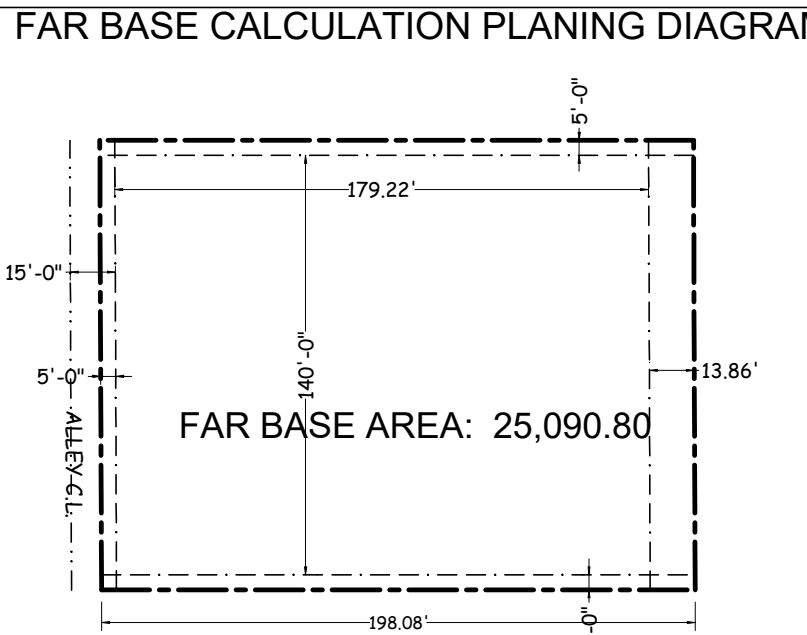
REGISTERED PROFESSIONAL ENGINEER  
No. 37060  
Exp. June 30, 2018  
CIVIL  
STATE OF CALIFORNIA

68 UNITS APARTMENT  
4055 W. OAKWOOD AVE,  
LOS ANGELES, CA 90004

Date:  
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Sheet:

T-1  
Sheet

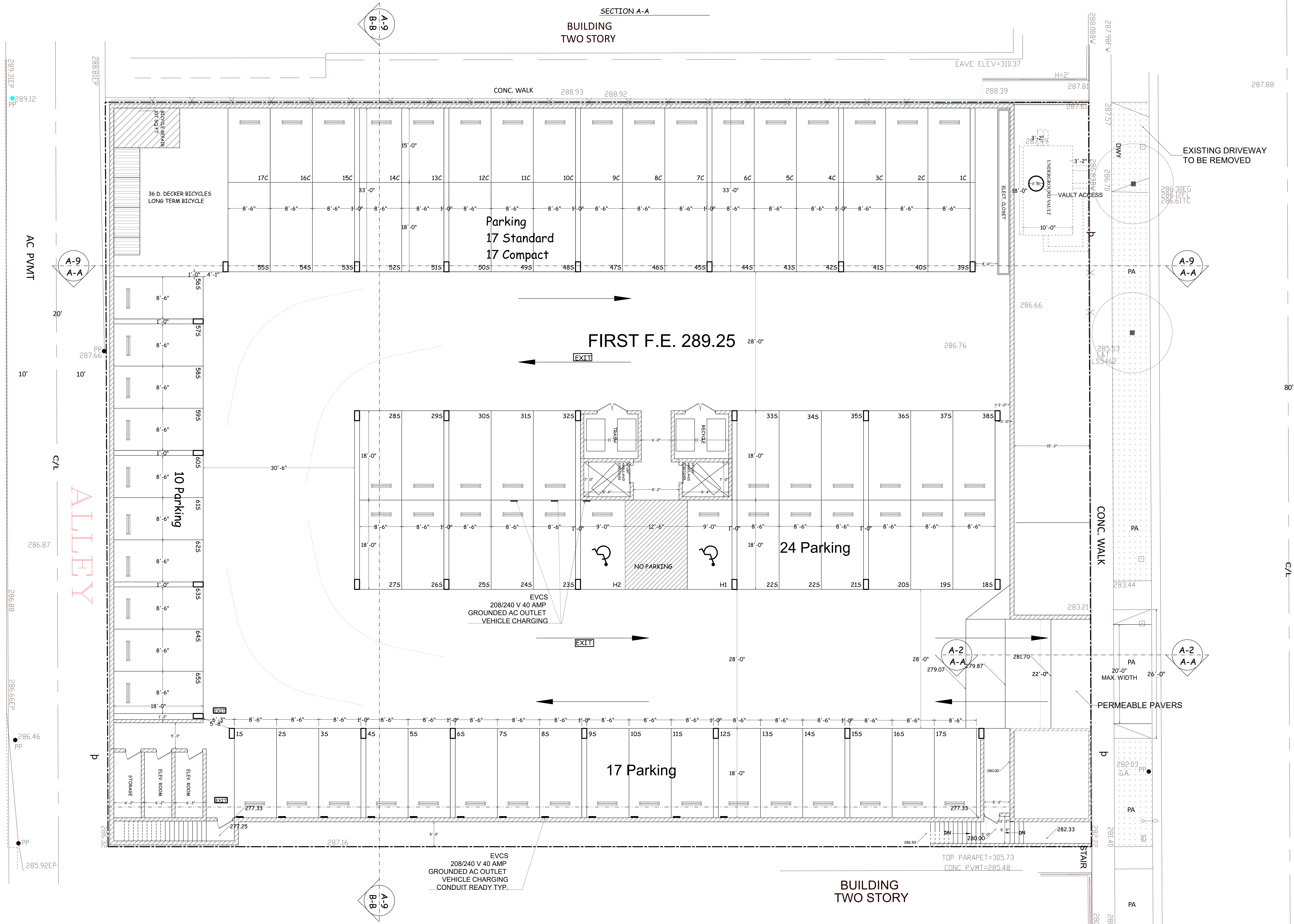












BASEMENT PLAN

SCALE: 1/8"=1'-0"

EVCS FULL INSTALLATION = 3 (5%)  
EVCS CONDUIT READY = 12 (20%)

REVISIONS


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TEL: (310) 856-5646  
FAX: (310) 202-7444  
email: b.raeen@gmail.com

B. RAEEN

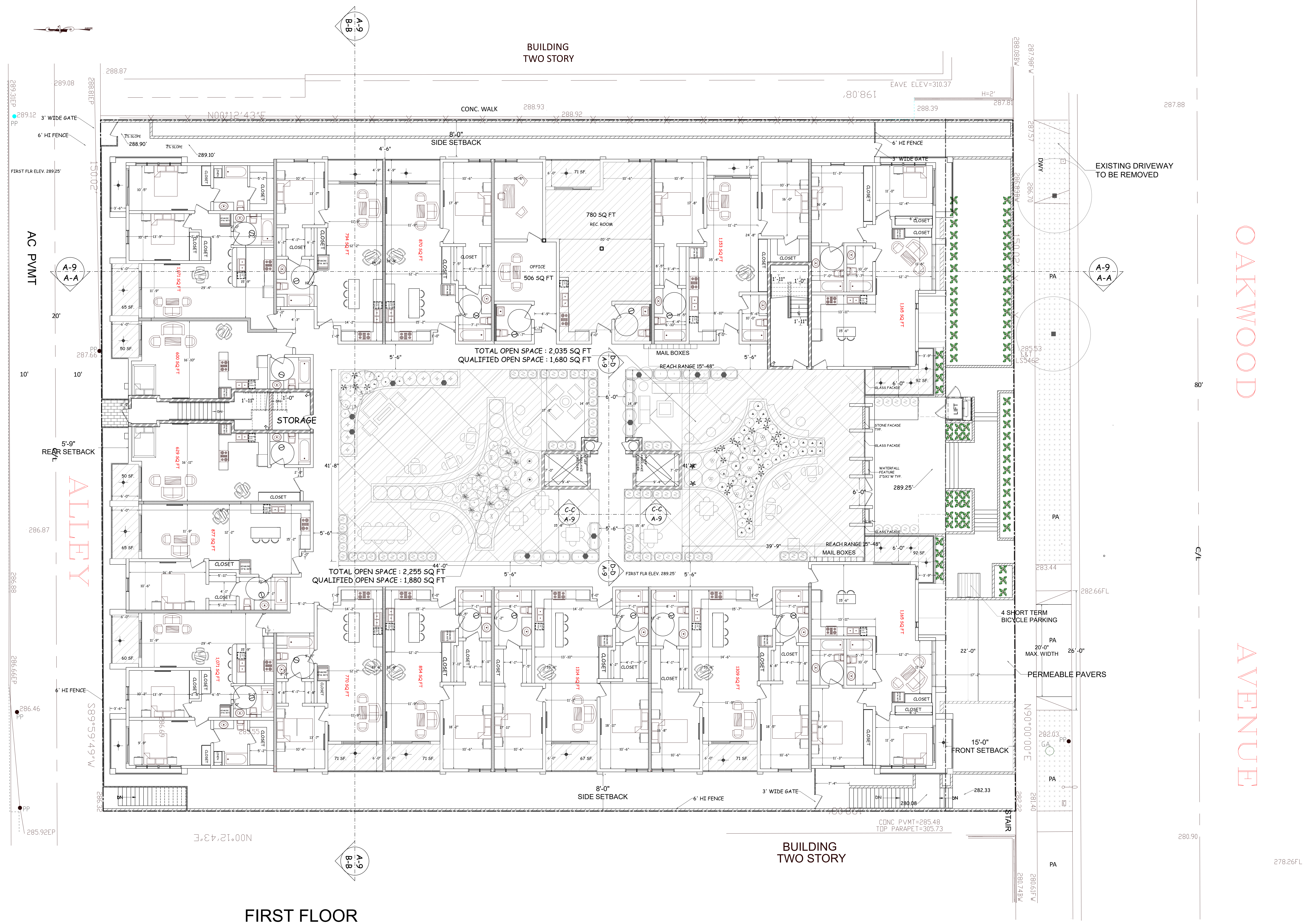
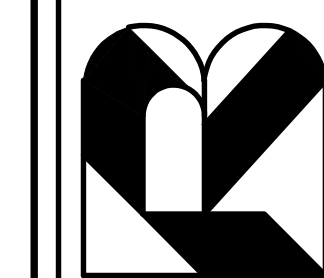
CONSULTANT ENGINEER, INC.,

11040 SANTA MONICA BLVD, SUITE 336, LOS ANGELES, CA 90025

68 UNITS APARTMENT  
4055 W. OAKWOOD AVE,  
LOS ANGELES, CA 90004

OR  
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Sheets





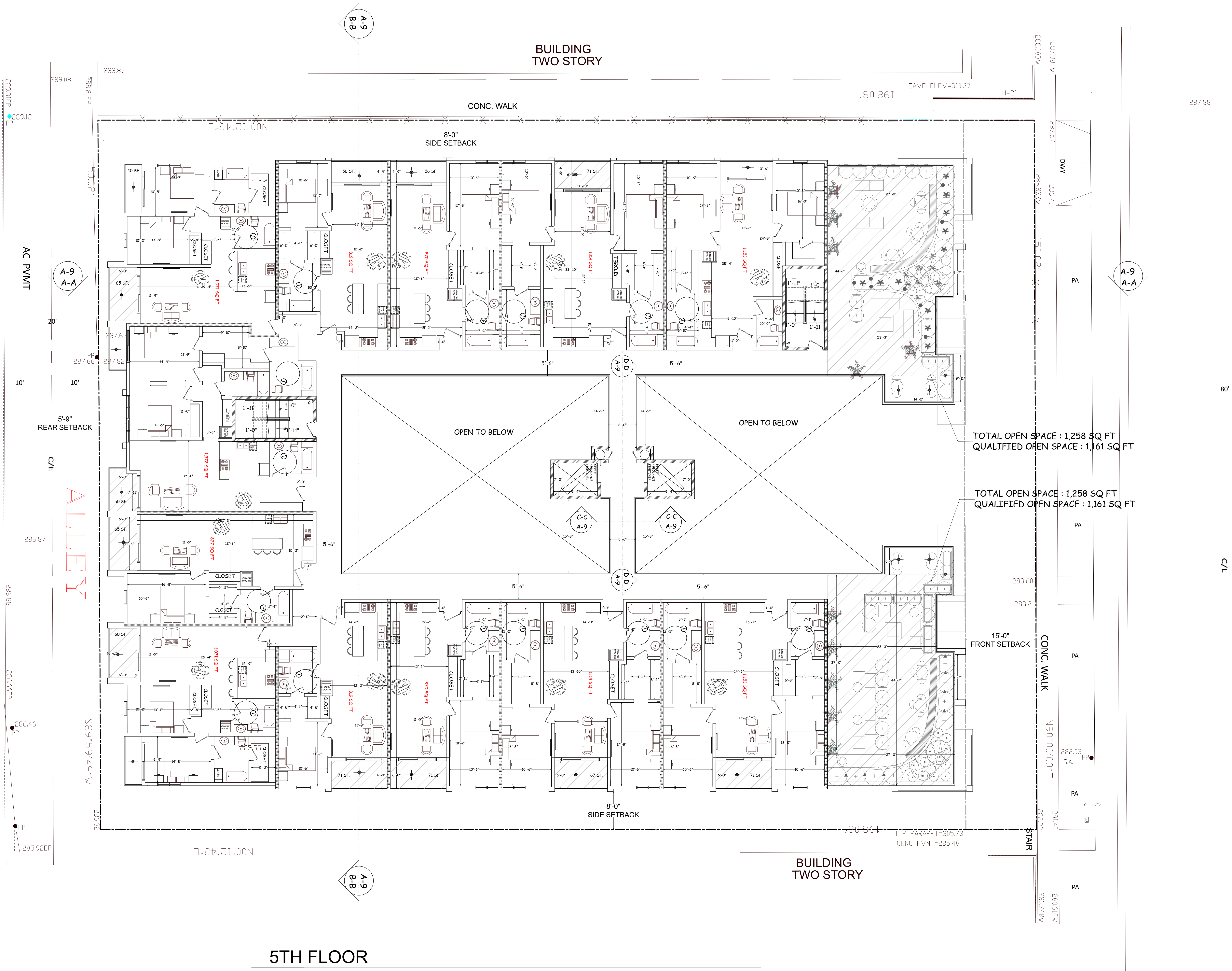
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QUALIFIED OPEN SPACE AREA









 QUALIFIED OPEN SPACE AREA

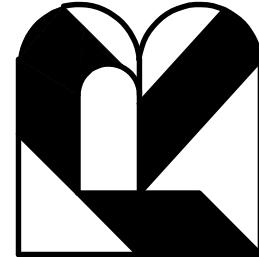
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TEL: (310) 856-5646  
FAX: (310) 202-7444  
email: bnae@bnae.com

**B. RAEEN**  
CONSULTANT ENGINEER, INC.,  
11040 SANTA MONICA BLVD, SUITE 336, LOS ANGELES, CA 90025



REGISTERED PROFESSIONAL ENGINEER  
B. RAEEN  
No. 37060  
Exp. June 30, 2019  
CIVIL  
STATE OF CALIFORNIA

68 UNITS APARTMENT  
4055 W. OAKWOOD AVE,  
LOS ANGELES, CA 90004

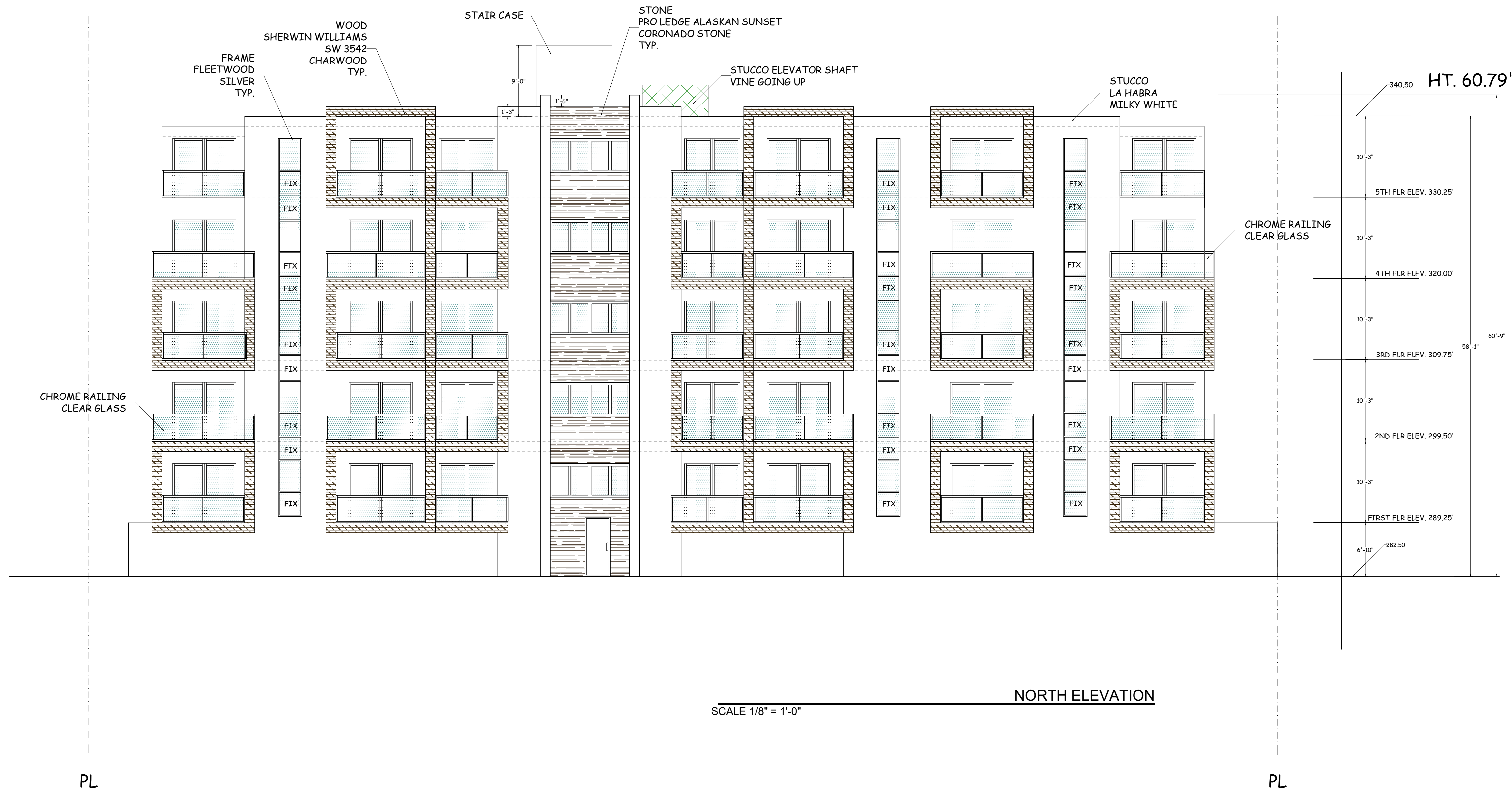
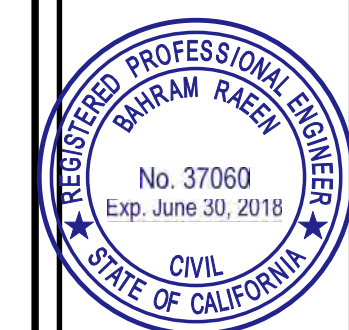
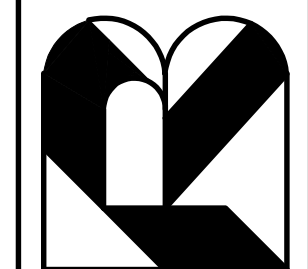
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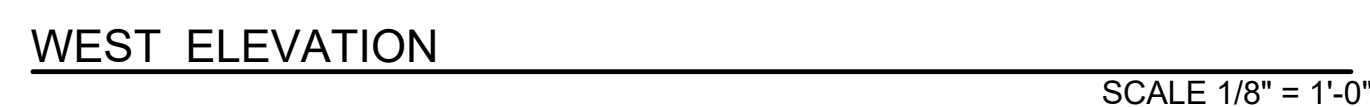


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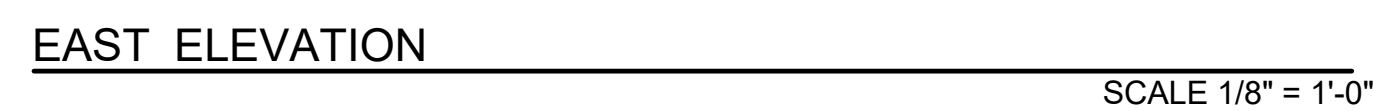
TEL: (310) 826-2646  
 FAX: (310) 202-7444  
 email: braeen@aol.com



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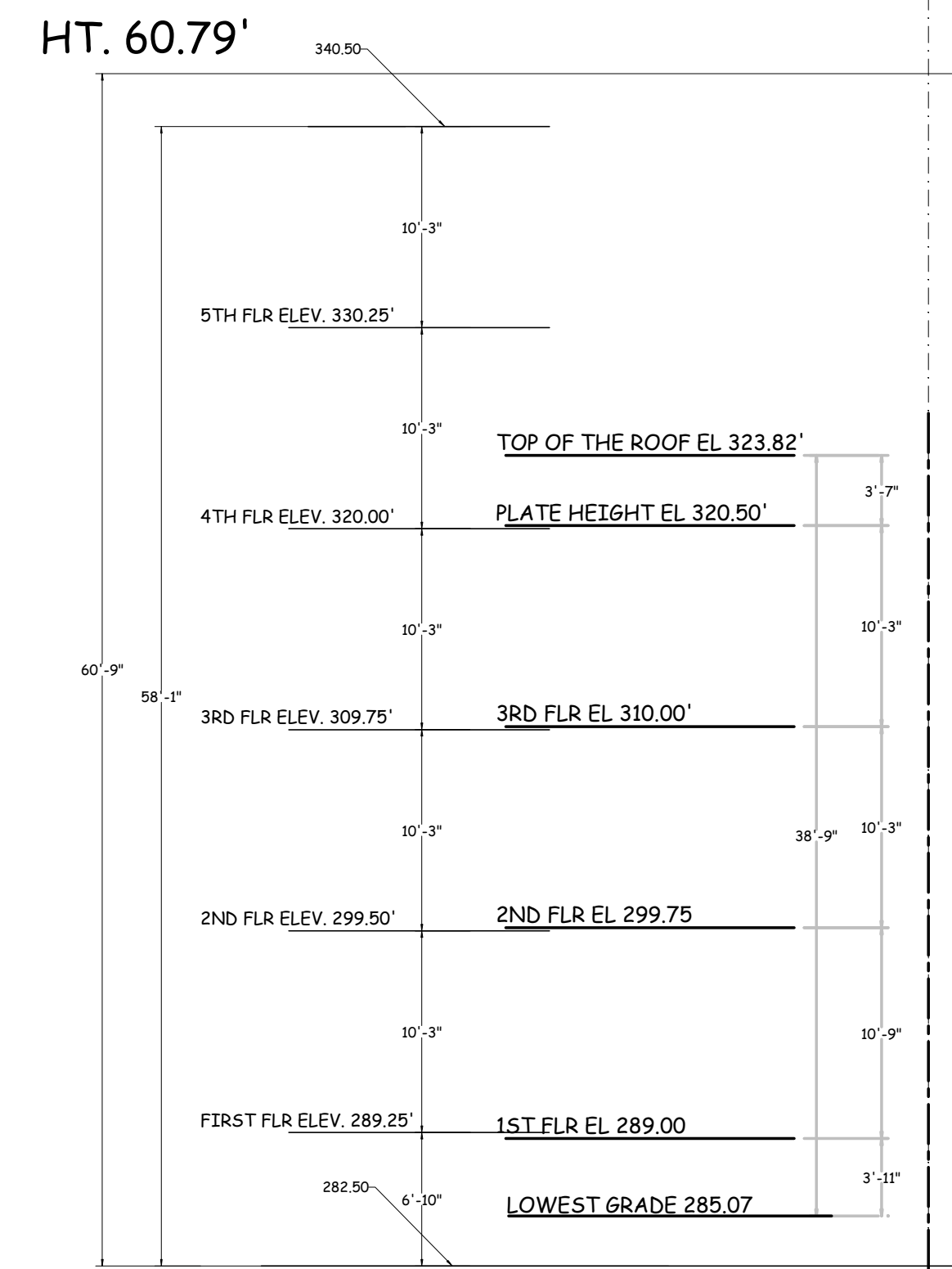


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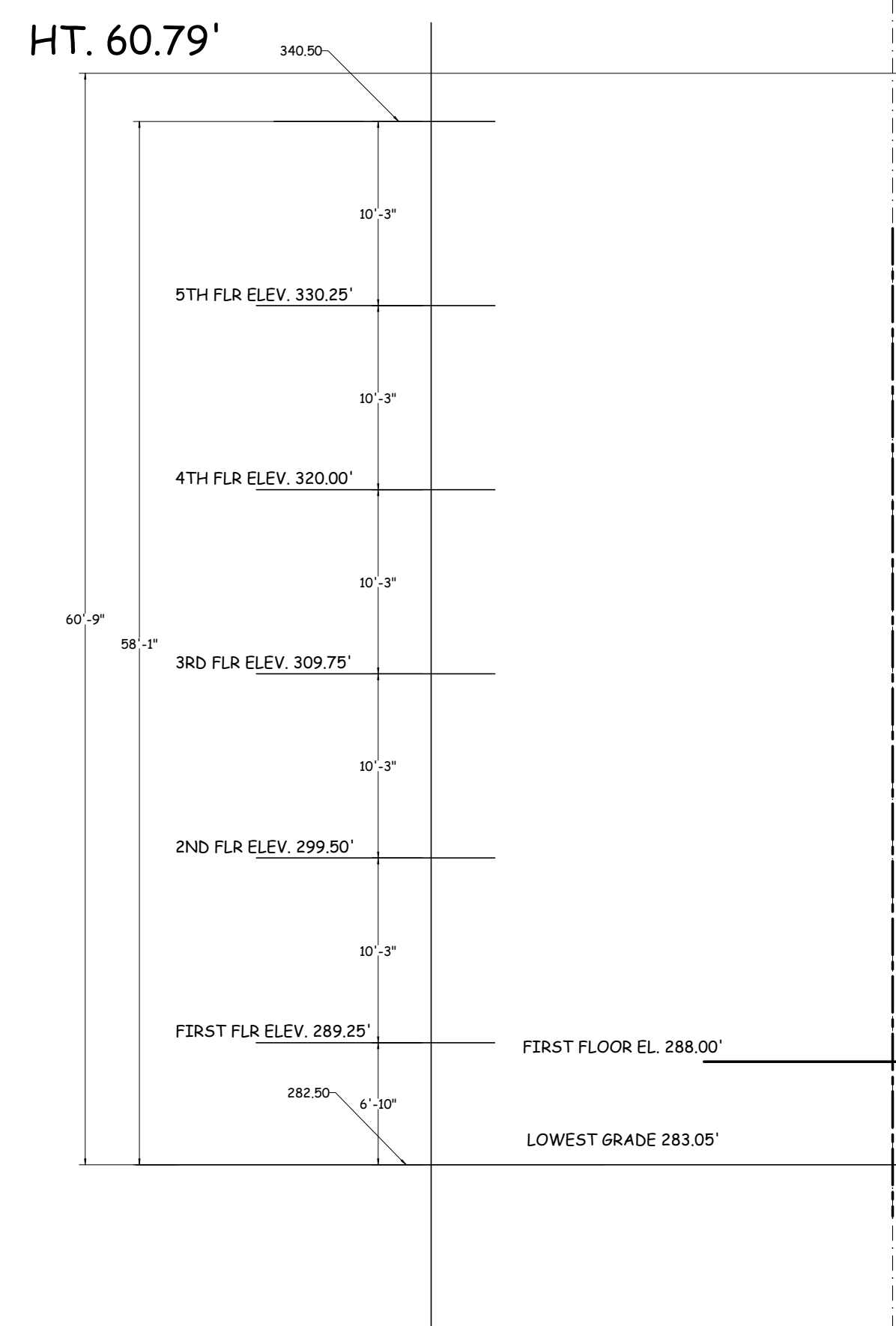


EAST ELEVATION WITH ADJACENT BUILDINGS WINDOWS TRANSPOSED

SCALE 1/8" = 1'-0"

PL

PL



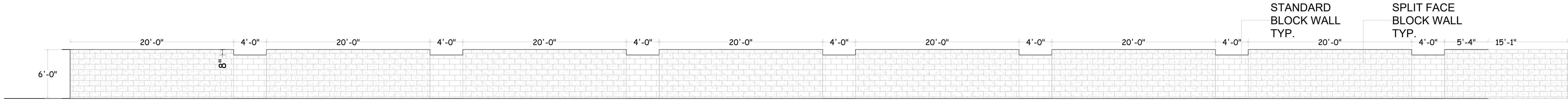
WEST ELEVATION WITH ADJACENT BUILDINGS WINDOWS TRANSPOSED

SCALE 1/8" = 1'-0"

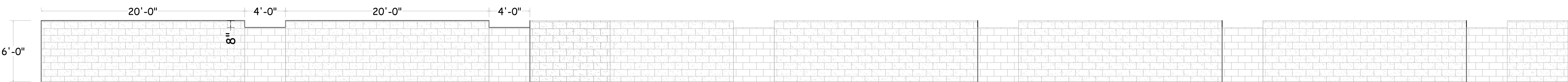
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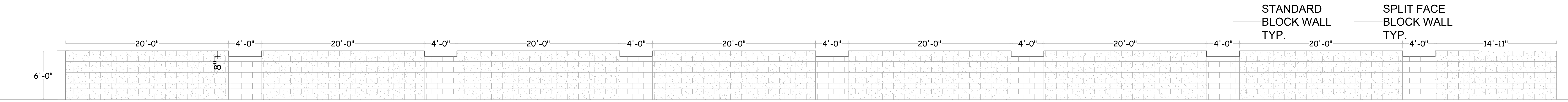




EAST SIDE WALL ELEV.  
SCALE: 3/16"=1'-0"



NORTH SIDE WALL ELEV.  
SCALE: 3/16"=1'-0"

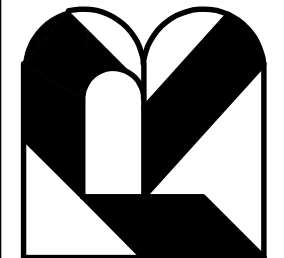


WEST SIDE WALL ELEV.  
SCALE: 3/16"=1'-0"

REVISIONS		BY

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FAX: (310) 202-7444  
email: b.raeeen@aol.com

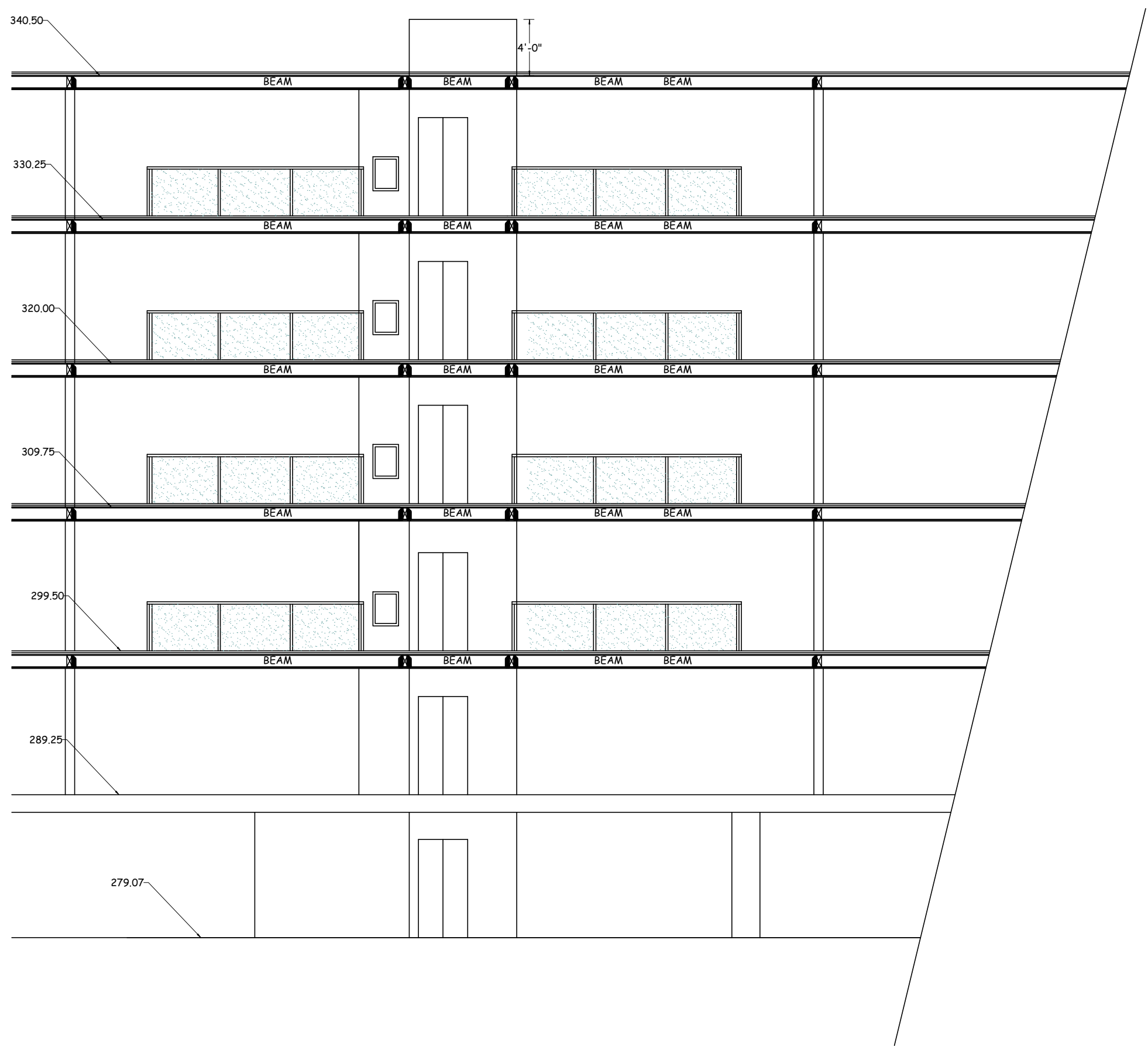
**B. RAEEEN**  
CONSULTANT ENGINEER, INC.,  
11040 SANTA MONICA BLVD, SUITE 326, LOS ANGELES, CA 90025



68 UNITS APARTMENT  
4055 W. OAKWOOD AVE.,  
LOS ANGELES, CA 90004

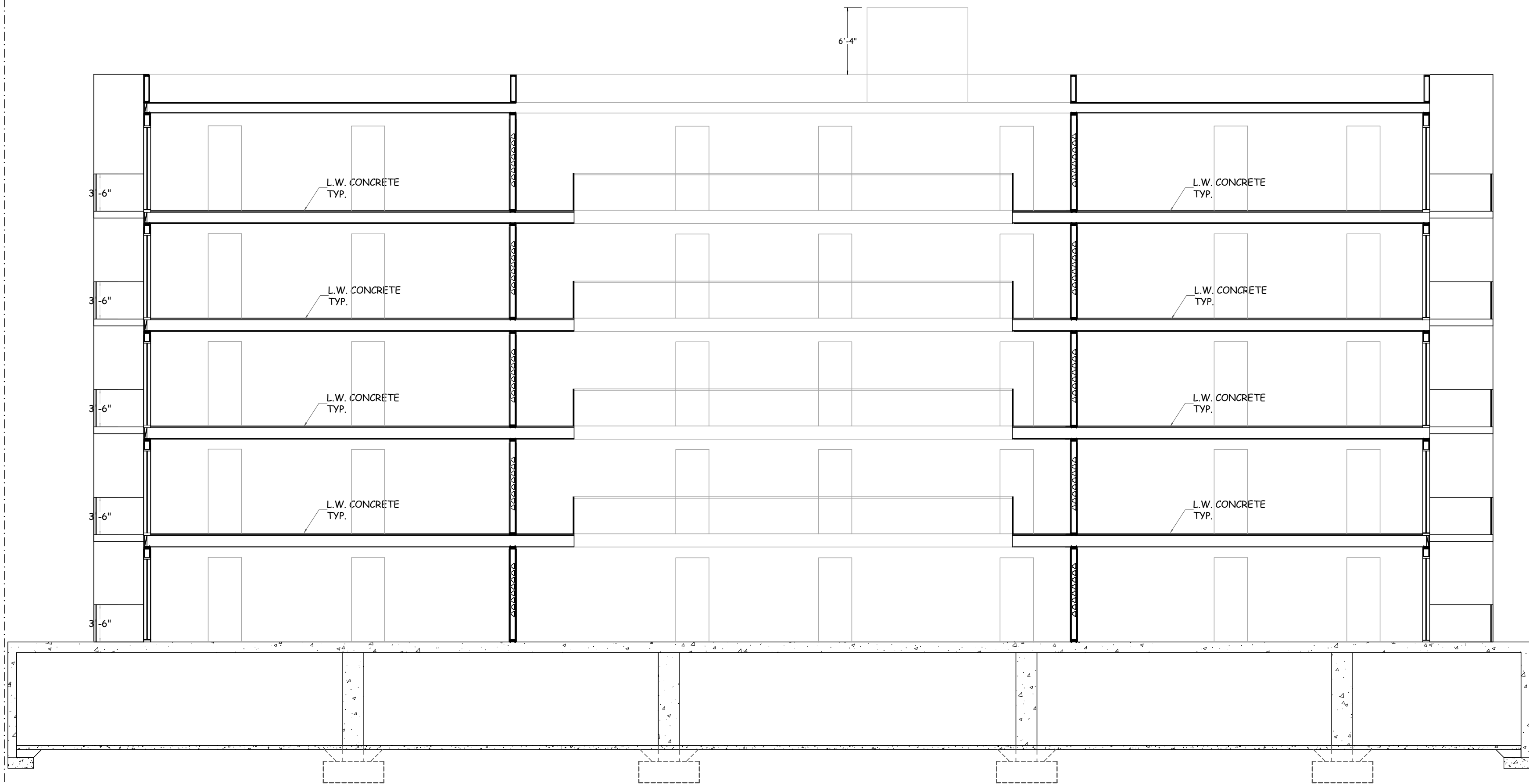
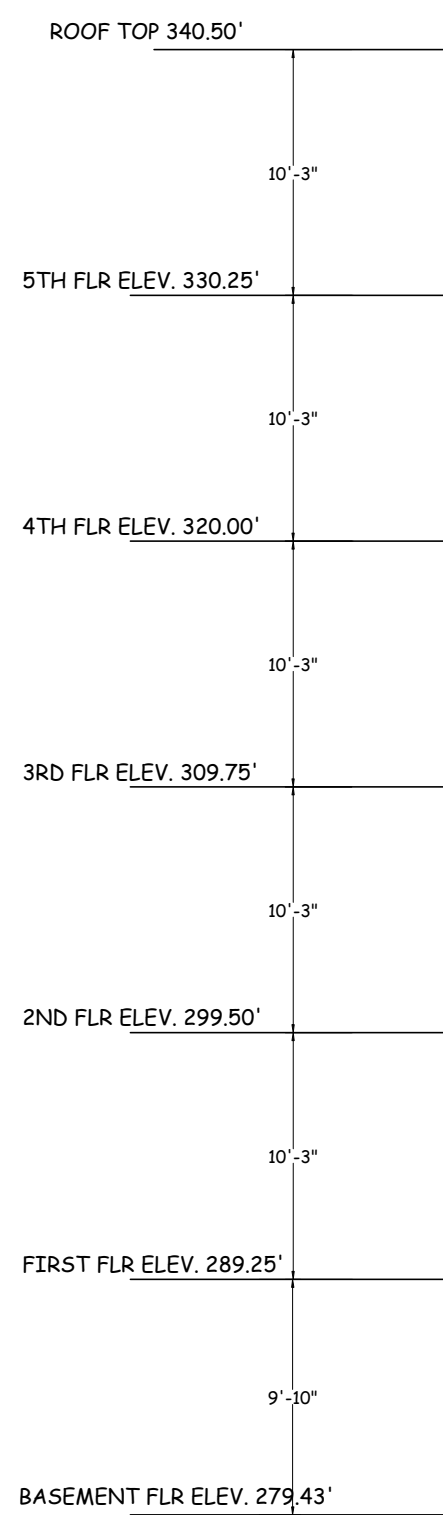
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SECTION D-D

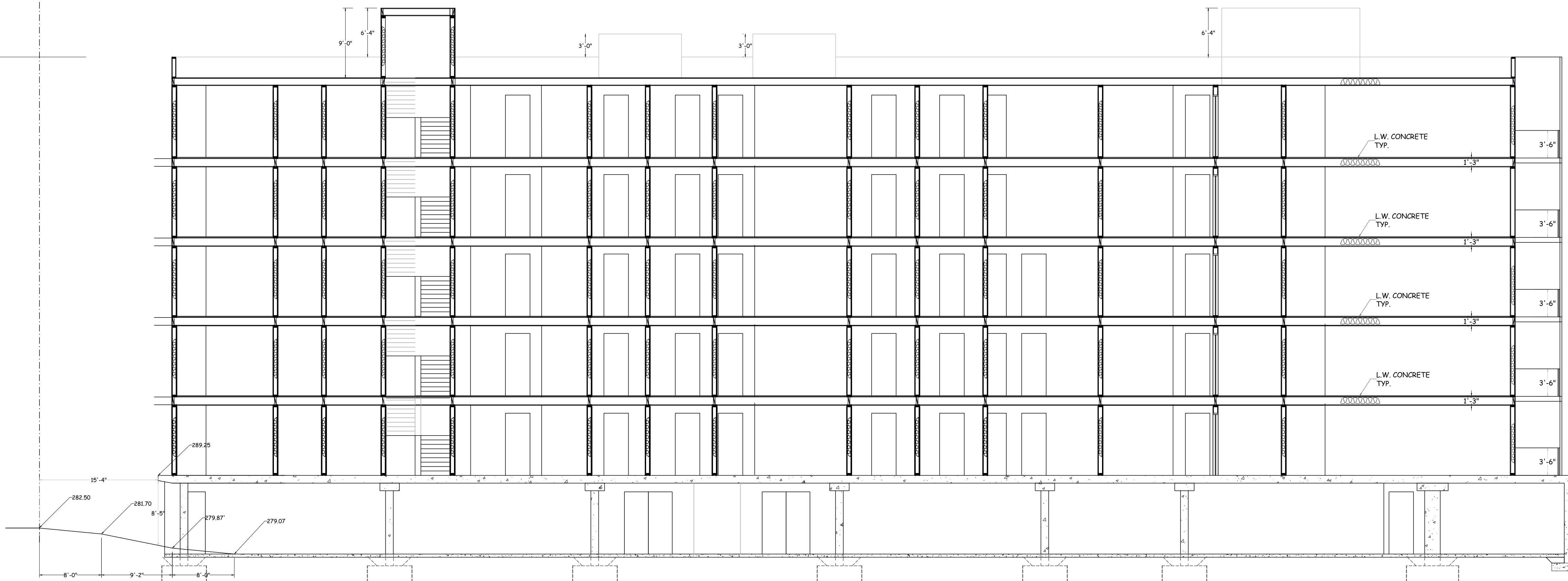
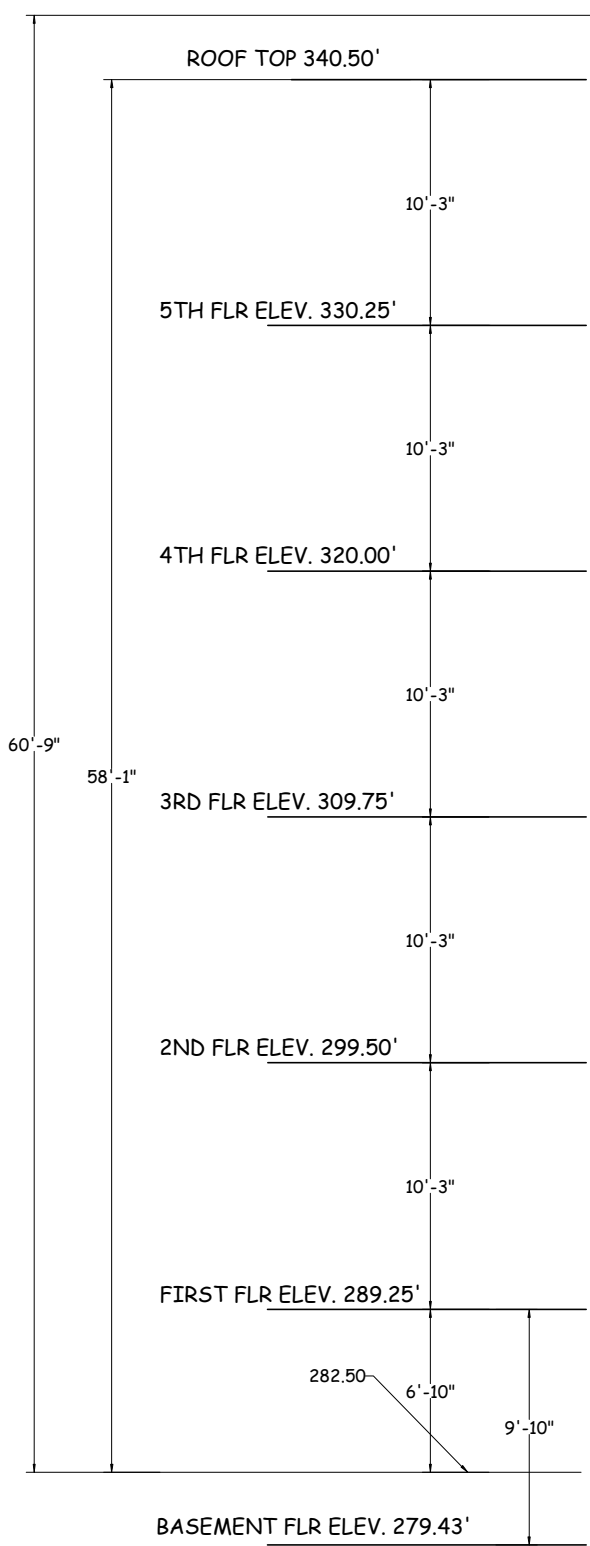
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SECTION B-B

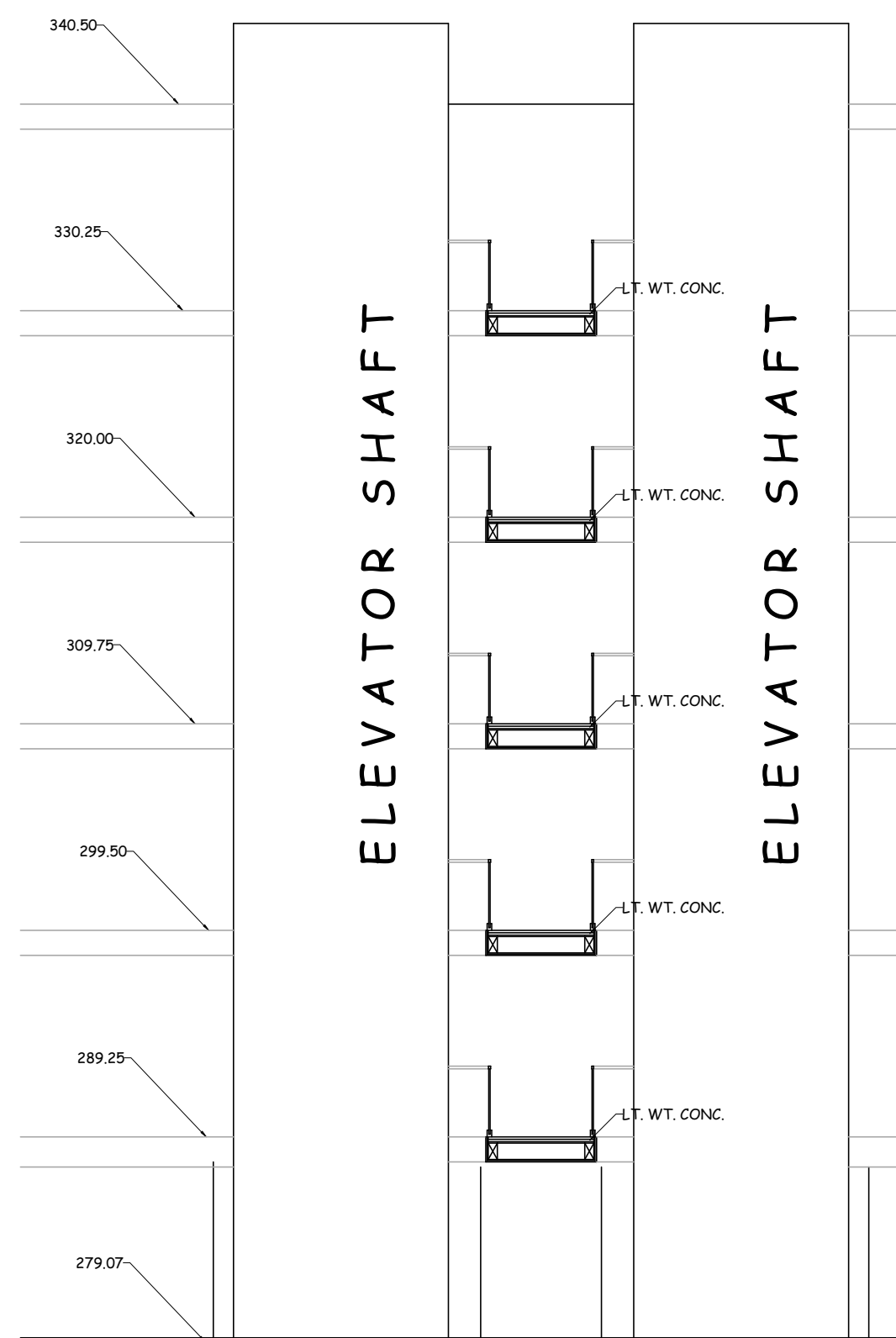
SCALE 1/8" = 1'-0"

HT. 60.79'



SECTION A-A

SCALE 1/8" = 1'-0"



SECTION C-C

SCALE 1/8" = 1'-0"



## TREE LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
☉	* Aloe barberae	Tree Aloe	15-gal	4		low 0.3
☉	* Caryota mitis	Clustered Fishtail Palm	24"box	3		med 0.5
☉	* Cercidium floridum	Desert Museum Palo Verde	36"box	3		low 0.3
☉	* Dracaena draco	Dragon Tree	24"box	2		low 0.3
☉	* Howea forsterana	Kentia Palm	24"box	5		med 0.5
☉	* Laurus nobilis	Sweet Bay	24"box	39		low 0.3
☉	* Olea europaea	Olive	24"box	4	fruitless	low 0.3
☉	* Phoenix dactylifera	Date Palm	24"box	1		low 0.3
☉	* Pyrus kawakamii	Evergreen Pear	24"box	1	Street tree	low 0.3

\* Points claimed

Required Open Space: 6,662sf  
Required Open Space to be landscaped: 1,665.5 sf (25%)  
First floor Open Space area landscaped: 1,217sf  
Fifth Open Space area landscaped: 644sf  
Total Open Space area landscaped: 1,861sf > 1,665.5sf

Required # of trees 68 Units / 4 = 17 tree  
Provided # of trees 72 tree

## SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WUCOLS
☉	Achillea m. 'Strawberry Seduction'	Common Yarrow	1-gal	24"oc	low 0.3
☉	* Aeonium arborescens 'Zwartkop'	Black Rose Aeonium	5-gal	12	low 0.3
☉	* Aeonium 'Kiwi'		5-gal	5	low 0.3
☉	* Agave 'Blue Flame'	Blue Flame Agave	5-gal	7	low 0.3
☉	* Aloe striata		5-gal	9	low 0.3
☉	* Bulbine frutescens	Stalked Bulbine	5-gal	18"oc	low 0.3
☉	* Carex divisa	Berkeley Sedge	1-gal	70	low 0.3
☉	* Carex oshimensis 'Evergold'	Variegated Japanese Sedge	1-gal	8	low 0.3
☉	* Carpenteria californica	Bush Anemone	5-gal	18	low 0.3

## SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WUCOLS
☉	* Chondropetalum tectorum	Cape Rush	5-gal	8	low 0.3
☉	* Dianella tasmanica 'Variegata'	White Striped Tasman Flax Lily	5-gal	4	low 0.3
☉	* Euphorbia characias 'Bruce's Dwarf'	Bruce's Dwarf Euphorbia	5-gal	7	low 0.3
☉	* Euphorbia tirucalli	Sticks on Fire	5-gal	13	low 0.3
☉	Ficus pumila	Creeping Fig	5-gal	3	low 0.3
☉	* Juncus patens	California Grey Rush	5-gal	24"oc	low 0.3
☉	* Lomandra 'Lime Tuff'	Dwarf Mat Rush	5-gal	22	low 0.3
☉	* Senecio vitalis		5-gal	15	low 0.3
☉	* Myrtus communis 'Compacta'	Dwarf Myrtle	5-gal	20	low 0.3
☉	* Sansevieria trifasciata 'Laurenti'	Striped Mother-in-law's Tongue	5-gal	87	low 0.3
☉	* Senecio rowleyanus	String-of-Pearls	5-gal	71	low 0.3

Janus et Cie		
Item	Model - Koko II	Color
Chairs	Boxwood	Mica
Couch	Boxwood	Mica

www.janusetcie.com

Architectural Pottery		
Item	Model	Color
Fire Pit	Legacy Round Fire Pit	Beechwood
Fire Pit	Geo Square Fire Pit	Beechwood

tel: 714.895.3359

Landscape Form items		
Item	Model	Color
Table	Cheap Chic square top	Flambe Orange
Chairs	Catena	Flambe Orange
Trash	Parc Vue	Stainless Steel

tel: 800.521.2546



Fountain



OAKWOOD

AVENUE



ASLA

Yael Lir Landscape Architects  
1010 Sycamore Ave. Suite 313  
South Pasadena, CA 91030  
Tel 323.258.5222  
Fax 323.258.5333  
yael@yaellir.com

OAKWOOD  
4055-4065 OAKWOOD AVE.  
LOS ANGELES, CA 90004

## PLANTING PLAN




DATE: APRIL 6, 2018  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 200718  
DRAWN BY:

L-1

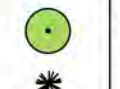





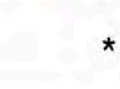

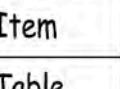
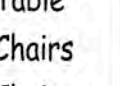
Street Tree Spacing Guidelines	
Water and Gas Meters	6 feet
Driveway Aprons and Crosswalks	6 feet
Fire Hydrants	10 feet
Street Lights	20 feet
Electrical Power Poles	20 feet



TREE LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
	Rhipis excelsa	Lady Palm	15-gal	10	4-5' ht.	mod 0.5

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
	* Agave attenuata 'Variegata'	Variegated Fox Tail Agave	5-gal	15		low 0.3
	* Aloe striata	Berkeley Sedge	5-gal	15		low 0.3
	* Carex divisa	Small Cape Rush	5-gal	8		low 0.3
	* Chondropetalum tectorum	Fortnight Lily	1-gal	11		low 0.3
	* Diets bicolor	Dragon Tree	5-gal	4		low 0.3
	* Dracaena draco	Dwarf Myrtle	5-gal	32		low 0.3
	* Myrtus communis 'Compacta'	Donkey Tail	1-gal	7		low 0.3
	* Sedum morganianum	String of Pearls	1-gal	8		low 0.3
	* Senecio rowleyanus	Spanish Moss	1-gal	6"oc		low 0.3
	* Tillandsia usneoides					

\* Points claimed

Haringe Collection from Skargaarden			Architectural Pottery		
Item		Color	Item	Model	Color
Table	HART21-XX	Teak/Natural	Fire Pit	Legacy Round Fire Pit	Beechwood
Chairs	HARAR-BT-HAC-100XX-SN-XX	Teak/Natural	Fire Pit	Geo Square Fire Pit	Beechwood
Chairs	HARLA-BT-HLC-100XX-SN-XX	Teak/Natural			
Couch	HARLS-BT-HS-100XX-SN-XX	Teak/Natural			

https://www.curranonline.com

PLANTING NOTES

- DRAWING IS DIAGRAMMATIC: CONTRACTOR TO VERIFY ALL LOCATIONS AND CONDITIONS ON SITE. COUNT ALL PLANT MATERIAL BEFORE BIDDING.
- CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS ON SITE AND LOCATE ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR TO REPAIR AT HIS OWN EXPENSE ALL PROPERTY DAMAGE WHICH OCCURS DURING PROJECT INSTALLATION.
- NOTE ADDITIONAL REMARKS ON SPECIFIC PLANTS IN PLANT LIST.
- ALL EXISTING PLANT MATERIAL TO BE REMOVED EXCEPT WHERE NOTED ON PLAN.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR 90 DAYS FROM THE DATE OF ACCEPTANCE BY OWNER. PALM TO BE GUARANTEED FOR THE PERIOD OF 1 YEAR.
- FINISH GRADE TO BE 2" BELOW ALL WALKS, CURBS, AND PAVING.
- ALL PLANTED AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1,000 SQ. FT. OF SURFACE AREA. ROTO-TILL AMENDMENTS TO A DEPTH OF 6"

\*150 LBS. GRO-POWER

\*3 CU YDS NITROGENIZED, MINERALIZED FIR BARK

\*ADD 9 LBS OF GRO-POWER CONTROLLED RELEASE 12-8-8 PER CU YD OF MIX.

- PLANT HOLE TO BE TWICE AS WIDE AND DEEP AS THE PLANT ROOT BALL. BACKFILL AND COMPACT TO 80 % SOIL OF SITE AND 20 % FIR BARK, AS DEFINED IN #8. PROVIDE GRO-POWER PLANT TABLETS AT THE FOLLOWING RATES:

5 GAL  
24" box

6-9  
14-16

PLACE RECOMMENDED TABLETS BETWEEN THE BOTTOM AND THE TOP OF THE ROOT BALL BUT NO HIGHER THAN 1/3 OF THE WAY UP TO THE TOP OF THE ROOT BALL. SPACE TABLETS EQUALLY AROUND THE PERIMETER OF THE ROOT BALL APPROXIMATELY 2" FROM THE ROOT TIPS. PALM TREES ARE NOT TO RECEIVE TABLETS.

- ALL PROPOSED SHRUBS AND GROUND COVER AREAS ARE TO BE TREATED WITH A PRE-EMERGENT WEED KILLER (EPTAM / RONSTAR). APPLY PER MANUFACTURER'S SPECIFICATIONS: A) IMMEDIATELY AFTER PLANTING, B) AT THE BEGINNING OF THE MAINTENANCE PERIOD, AND C) AT THE END OF THE MAINTENANCE PERIOD.

- CONTRACTOR TO INSTALL AND MAINTAIN LANDSCAPE PLANTING IN ACCORDANCE WITH THE GOVERNING AGENCY'S GUIDELINES AND SPECIFICATIONS UNLESS NOTED OTHERWISE IN THESE NOTES OR ON THE PLANS.

- SOIL SAMPLES TAKEN FROM VARIOUS LOCATIONS IN THE PLANTING AREAS WILL BE SENT TO A SOIL LAB FOR PROFESSIONAL ANALYSIS AND RECOMMENDATIONS FOR SOIL IMPROVEMENT. CONTRACTOR TO FOLLOW SOIL TESTING RECOMMENDATIONS.



Couch



Chairs & table



Fire pit



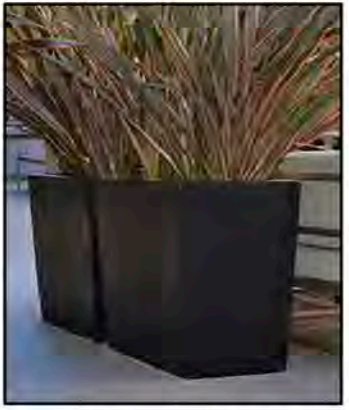
Fire pit



Litter receptacle



Umbrella



Geo planter



Large Umbrella



REVISIONS	DATE
1.	1.06.18
2.	3.21.19
3.	
4.	
5.	
6.	
7.	
8.	
9.	



ASLA

Yael Lir Landscape Architects

1010 Sycamore Ave. Suite 313

South Pasadena, CA 91030

Tel 323.258.5222

Fax 323.258.5333

yael@yaellir.com

OAKWOOD  
4055-4065 OAKWOOD AVE.  
LOS ANGELES, CA 90004

FIFTH FLOOR PLANTING PLAN



DATE: APRIL 6, 2018  
SCALE: 1/8"=1'-0"  
JOB NUMBER: 200718  
DRAWN BY:





*Cercidium floridum* /  
Desert Museum Palo Verde



*Laurus nobilis* /  
Sweet Bay



*Podocarpus henkelii* /  
Henkel's Yellowwood



*Caryota mitis* /  
Clustered Fishtail Palm



*Aloe barberae* /  
Tree Aloe



*Dracaena draco* / Dragon Tree



*Howea forsterana* /  
Kentia Palm



*Phoenix dactylifera* /  
Date Palm



*Archontophoenix cunninghamiana* /  
King Palm



*Olea europea* / Olive



*Pyrus kawakamii* / Evergreen Pear



*Rhaps excelsa* / Lady Palm

REVISIONS	DATE
1.	1.06.18
2.	3.21.19
3.	
4.	
5.	
6.	
7.	
8.	
9.	



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Yael Lir Landscape Architects  
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yael@yaellir.com

OAKWOOD  
4055-4065 OAKWOOD AVE.  
LOS ANGELES, CA 90004

#### TREE PHOTOS

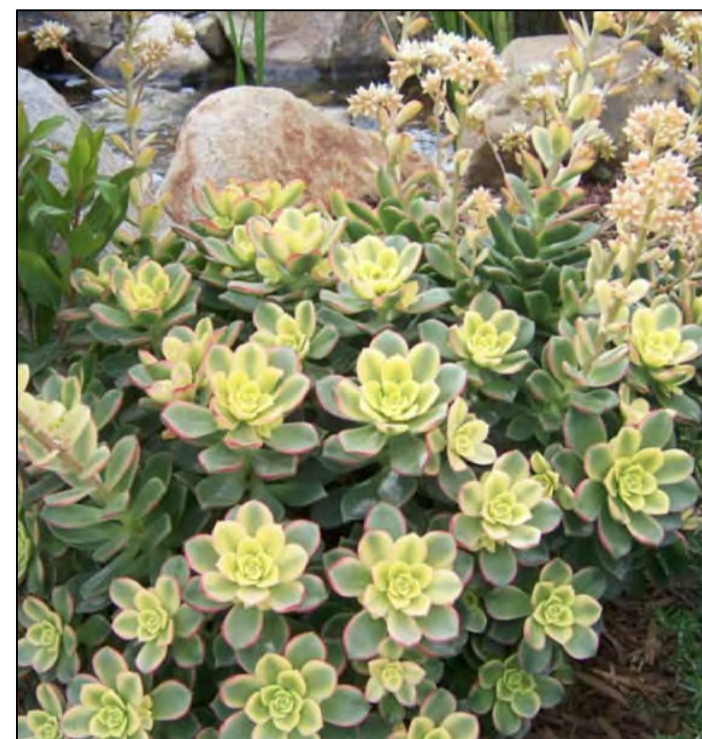


DATE: APRIL 6, 2018  
SCALE: 1/8"=1'-0"  
JOB NUMBER: 200718  
DRAWN BY:





Acheillea m.  
'Strawberry Seduction' /  
Common Yarrow



Aeonium 'Kiwi'



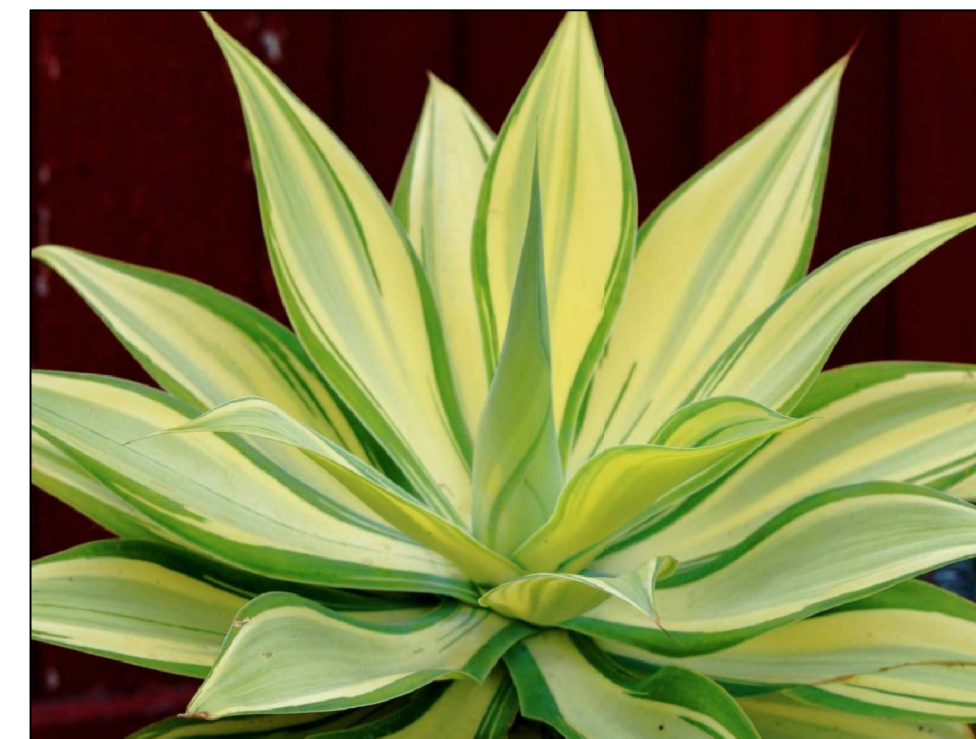
Aeonium arboreum 'Zwartkop' /  
Black Rose Aeonium



Aloe striata



Agave 'Blue Flame' / Blue Flame Agave



Agave attenuata 'Variegata'



Bulbine frutescens / Stalked Bulbine



Carex divulsa /  
Berkeley Sedge



Carex oshimensis  
'Evergold' /  
Variegated Japanese Sedge



Carpenteria californica /  
Bush Anemone



Chondropetalum tectorum /  
Cape Rush



Dianella tasmanica 'Variegata' /  
White Striped Tasman Flax Lily



Ficus pumila /  
Creeping Fig



Juncus patens /  
California Grey Rush



Senecio vitalis



Myrtus communis 'Compacta' /  
Dwarf Myrtle



Euphorbia c. 'Bruce's Dwarf' /  
Bruce's Dwarf Euphorbia



Euphorbia tirucalli 'Sticks on Fire' /  
Red Pencil Tree



Dietes bicolor /  
Fortnight Lily



Spanish moss



Lomandra 'Lime Tuff' /  
Dwarf Mat Rush



Sansevieria trifasciata 'Laurenti' /  
Striped Mother-in-law's Tongue



Sedum morganianum



Senecio rowleyanus /  
String-of-Pearls

REVISIONS	DATE
1.	1.06.18
2.	3.21.19
3.	
4.	
5.	
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8.	
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ASLA

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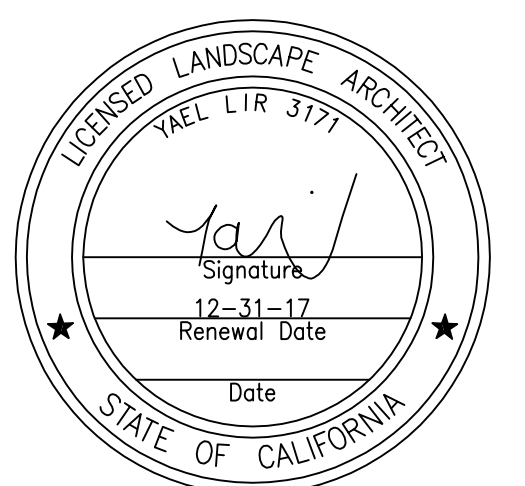
Tel 323.258.5222

Fax 323.258.5333

yael@yaellir.com

OAKWOOD  
4055-4065 OAKWOOD AVE.  
LOS ANGELES, CA 90004

## PLANT PHOTOS



DATE: APRIL 6, 2018

SCALE: 1/8"=1'-0"

JOB NUMBER: 200718

DRAWN BY:































































## Maps











Address: 4057 W OAKWOOD AVE

Tract: RE-SUBDIVISION OF BLOCK C  
AND LOTS 4, 6, 8, 9, AND 1 ACRE  
LOT, BLOCK A, OF BARRO

Zoning: R3-1

APN: 5520017009

Block: C

General Plan: Medium Residential

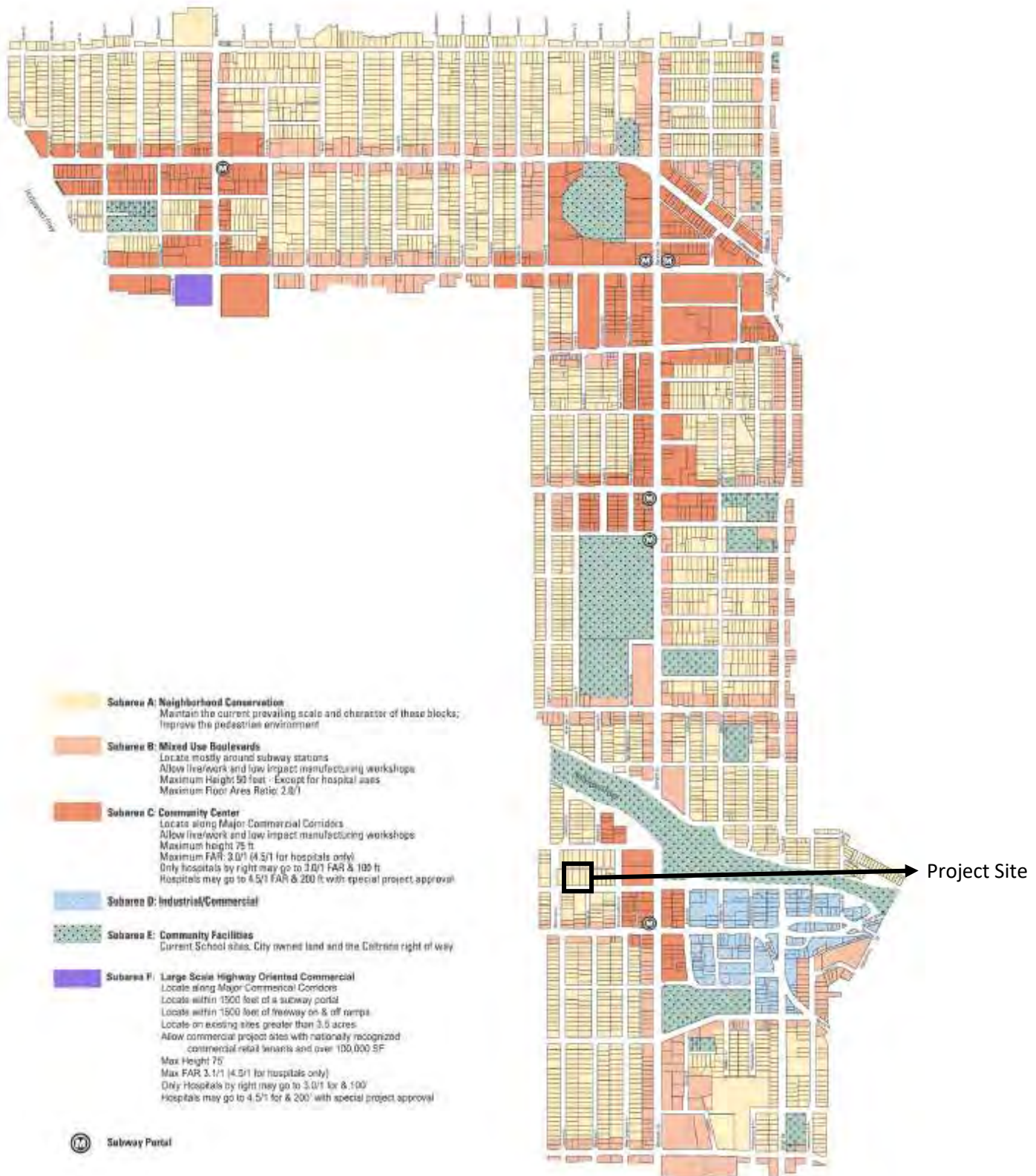
PIN #: 138B197 29

Lot: 8

Arb: None







Map I

## Vermont/Western Transit Oriented District Specific Plan (Station Neighborhood Area Plan)

CPC 00-1976

Los Angeles Department of City Planning • Citywide Division • Graphics Section • as adopted by the City Council January 23, 2001





## NOTICE OF EXEMPTION

(PRC Section 21152; CEQA Guidelines Section 15062)

Filing of this form is optional. If filed, the form shall be filed with the County Clerk, 12400 E. Imperial Highway, Norwalk, CA 90650, pursuant to Public Resources Code Section 21152(b) and CEQA Guidelines Section 15062. Pursuant to Public Resources Code Section 21167 (d), the posting of this notice starts a 35-day statute of limitations on court challenges to reliance on an exemption for the project. Failure to file this notice as provided above, results in the statute of limitations being extended to 180 days.

## PARENT CASE NUMBER(S) / REQUESTED ENTITLEMENTS

CPC-2018-3029-CU-DB-SPP/Conditional Use, Density Bonus Affordable Housing Incentive Program, and Project Permit Compliance

## LEAD CITY AGENCY

City of Los Angeles (Department of City Planning)

## CASE NUMBER

ENV-2018-3030-CE

## PROJECT TITLE

4055-4065 West Oakwood Avenue

## COUNCIL DISTRICT

13 – O'Farrell

## PROJECT LOCATION (Street Address and Cross Streets and/or Attached Map)

4055-4065 W. Oakwood Avenue

☐ Map attached.

## PROJECT DESCRIPTION:

☐ Additional page(s) attached.

After-the-fact demolition of a 14-unit multi-family residential complex and a six-unit multi-family residential complex, and the construction, use and maintenance of a five (5)-story, multi-family residential building containing 68 dwelling units, including 10 units restricted to Very Low Income Households and four (4) units restricted to Low Income Households. The proposed building will be a maximum of 60.79 feet in height and contain 100,852 square feet of floor area at a 4.02:1 floor area ratio (FAR). The project will provide 85 automobile parking spaces, 40 bicycle parking stalls, and 10,403 square feet of usable open space within two (2) courtyards, a recreation room, and balconies.

## NAME OF APPLICANT / OWNER:

Kamran Gharibian

## CONTACT PERSON (If different from Applicant/Owner above)

Daniel Ahadian

## (AREA CODE) TELEPHONE NUMBER

(310) 339-7344

## EXT.

## EXEMPT STATUS: (Check all boxes, and include all exemptions, that apply and provide relevant citations.)

## STATE CEQA STATUTE &amp; GUIDELINES

☐ STATUTORY EXEMPTION(S)

Public Resources Code Section(s) \_\_\_\_\_

☒ CATEGORICAL EXEMPTION(S) (State CEQA Guidelines Sec. 15301-15333 / Class 1-Class 33)

CEQA Guideline Section 15332 / Class 32 \_\_\_\_\_

☐ OTHER BASIS FOR EXEMPTION (E.g., CEQA Guidelines Section 15061(b)(3) or (b)(4) or Section 15378(b) )

## JUSTIFICATION FOR PROJECT EXEMPTION:

☒ Additional page(s) attached

(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations; (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; (c) The project site has no value as habitat for endangered, rare or threatened species; (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (e) The site can be adequately served by all required utilities and public services.

☒ None of the exceptions in CEQA Guidelines Section 15300.2 to the categorical exemption(s) apply to the Project.☐ The project is identified in one or more of the list of activities in the City of Los Angeles CEQA Guidelines as cited in the justification.

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT ISSUED BY THE CITY PLANNING DEPARTMENT STATING THAT THE DEPARTMENT HAS FOUND THE PROJECT TO BE EXEMPT.

If different from the applicant, the identity of the person undertaking the project.

## CITY STAFF USE ONLY:

## CITY STAFF NAME AND SIGNATURE

Nuri Cho



## STAFF TITLE

City Planning Associate

## ENTITLEMENTS APPROVED

## FEE:

\$5,774.00+surcharges

## RECEIPT NO.

0102894851

## REC'D. BY (DCP DSC STAFF NAME)

Danalynn Dominguez



# EXHIBIT D

CPC-2018-3029-CU-DB-SPP

LADOT Referral Form

## REFERRAL FORMS:

### DEPARTMENT OF TRANSPORTATION REFERRAL FORM: TRAFFIC STUDY ASSESSMENT

The Department of Transportation (DOT) Referral Form serves as an initial assessment to determine whether a project requires a traffic Study.

Prior to the submittal of a referral form with DOT, a Planning case must have been filed with the Department of City Planning, and:

- ☒ The referral form must be accompanied by a proof of filing of an Environmental Assessment Form (EAF) or Environmental Impact Report (EIR) for a project with new floor area, change of use, new construction; and
- ☒ Project exceeds a threshold as listed in the "Traffic Study Exemption Thresholds"

#### NOTES:

1. All new school projects, including by-right projects, must contact DOT for an assessment of the school's proposed drop-off/pick-up scheme and to determine if any traffic controls, school warning and speed limit signs, school crosswalk and pavement markings, passenger loading zones and school bus loading zones are needed.
2. Unless exempted, projects located within a transportation specific plan area may be required to pay a traffic impact assessment fee regardless of the need to prepare a traffic study.
3. Pursuant to LAMC Section 19.15, a review fee payable to DOT may be required to process this form. The applicant should contact the appropriate DOT Development Services Office to arrange payment.
4. DOT's Traffic Study Policies and Procedures can be found at <http://ladot.lacity.org>, under "B-Permit & Traffic Studies."

**RELATED CODE SECTION/ORDINANCE:** LAMC Section 16.05; various ordinances

**SPECIALIZED REQUIREMENTS:** When submitting this referral form to DOT, include the documents listed below:

- ☐ Copy of completed Planning Department Master Land Use Permit Application (CP-7771)
- ☐ Copy of a fully dimensioned site plan showing all existing and proposed structures, parking and loading areas, driveways, as well as on-site and off-site circulation.
- ☐ If filing for purposes of Site Plan Review, a copy of the completed Site Plan Review Supplemental Application (CP-2150)

**DOT DEVELOPMENT SERVICES DIVISION OFFICES:** Please route this form for processing to the appropriate DOT Office as follows:

#### Metro

213-972-8482  
100 S Main St, 9<sup>th</sup> Floor  
Los Angeles, CA 90012

#### West LA

213-485-1062  
7166 W Manchester Blvd  
Los Angeles, CA 90045

#### Valley

818-374-4699  
6262 Van Nuys Blvd, 3<sup>rd</sup> Floor  
Van Nuys, CA 91401



**TO BE VERIFIED BY CITY PLANNING STAFF PRIOR TO DOT REVIEW**  
**PROJECT INFORMATION**

Case Number: APCC-2018- SPE-TOC-SPP

Project Address: 4055-4065 W. Oakwood Av

Project Description: A new 5-story, 60.79' high multi-family building consisting of 68 units, 14 of which are low income (6 ELI, 4VLI and 4 LI) for a total set-aside of 20.5%. 1 subterranean parking level consists of 85 auto stalls and 40 bike stalls.

**TO BE COMPLETED BY DOT STAFF:**  
**TRIP GENERATION CALCULATION**

	Land Use (list each use)	Size / Unit	Daily Trips	AM Peak Hour Trips	PM Peak Hour Trips
Proposed					
	Apartments	54 Units	395	25	30
	Affordable Units	14	57	7	5
	Total new trips:		452	32	35
Existing					
	Apartments	20 Units	146	9	11
	Total existing trips:		146	9	11
	Net Increase / Decrease (+ or - )		306	23	24

DOT  
Comments:


*Please note that this form is not intended to address the project's site access plan, driveway dimensions and location, internal circulation elements, dedication and widening, etc. These items require separate review and approval by DOT.*

Transportation Specific Plan Area: Yes ☐ No ☒

Fee Calculation:

Traffic Study Required: Yes ☐ No ☒

Prepared by DOT Staff: Name: Weston Pringle Phone: 213-972-8482

Signature:  Date: 05/23/18



**McKinley & Associates** (818) 240-1358

## Certification Letter

May 12, 2018

Mr. Daniel Ahadian  
Nur – Development/Consulting  
1601 S. Genesee Avenue  
Los Angeles, CA 90019

Dear Mr. Ahadian:

Recently you contacted me and requested an Arborist Letter concerning the trees located at 4055-4065 Oakwood Avenue, Los Angeles. The subject properties are located in a multi-family residential area within the City of Los Angeles.

### **Background/Observations:**

On Wednesday, May 9, 2018 at approximately 4:00 p.m. I arrived at the properties located at 4055-4065 Oakwood Avenue, Los Angeles, California. These multi-family residential properties are at the present time vacant. The site has undergone demolition.

### **Tree Inspection Data:**

Tree #1 *Pyrus kawakamii* or Evergreen Pear; 4" DBH; 10' Spread; 15' Ht; Street Tree; Rating: D+  
Tree #2 *Pyrus kawakamii* or Evergreen Pear; 5" DBH; 10' Spread; 20' Ht; Street Tree; Rating: C  
Tree #3 *Pyrus kawakamii* or Evergreen Pear; 5" DBH; 14' Spread; 18' Ht; Street Tree; Rating: C-  
Tree #4 *Pyrus kawakamii* or Evergreen Pear; 3" DBH; 10' Spread; 13' Ht; Street Tree; Rating: C-  
There are no trees growing on the subject properties. It is a large vacant lot.

### **Recommendation**

The only trees in the vicinity of the subject properties are 4 City Street Trees. These trees are required to be protected during construction. This would require temporary chain-link fencing at the drip line of each tree or the farthest point possible. No dumping of paints, stucco, excess soil and other foreign materials within the drip line of the trees is allowed. If at some later date it should become necessary to remove these trees then a permit must first be obtained through the City of Los Angeles, Public Works Department, Urban Forestry Section. The permit will specify the numbers sizes and species of the replacement street trees.

Arborists and Environmental Consultants





McKinley & Associates (818) 240-1358

**Certification**

As an I.S.A Certified Arborist and ASCA Consulting Arborist I further certify that there are no native, protected species of Oak, California Bay, California Sycamore or Southern California Black Walnut trees growing on or near the subject property. No native, protected Oak, Bay, Sycamore or Southern California Black Walnut trees will be impacted on neighboring properties by any future development of this property.

Should you require a more detailed report, my services are available. If you have questions, please feel free to contact me on my business cell phone at (818) 426-2432 or you may call my office (818) 240-1358.

*William R. McKinley*

William R. McKinley, Consulting Arborist  
American Society of Consulting Arborists  
Certified Arborist #WE-4578A  
International Society of Arboriculture

Arborists and Environmental Consultants

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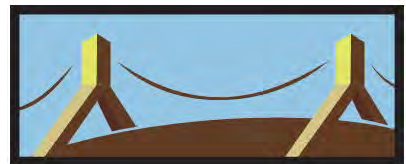






## 4055 OAKWOOD AVENUE

### Noise Technical Report



Prepared by DKA Planning  
July 2019



# Noise

## 1. Introduction

This section evaluates noise impacts that would be generated by construction and operation of the Project. The analysis compares these impacts to applicable regulations and thresholds of significance. Noise measurement technical reports, calculation worksheets, and a map of noise receptors and measurement locations are included in the attached Appendix.

## 2. Environmental Setting

### a) Fundamentals of Noise

#### (1) Introduction to Noise

##### (a) Characteristics of Sound

Sound can be described in terms of its loudness (amplitude) and frequency (pitch). The standard unit of measurement for sound is the decibel (i.e., dB). Because the human ear is not equally sensitive to sound at all frequencies, the A-weighted scale (dBA) is used to reflect the normal hearing sensitivity range. On this scale, the range of human hearing extends from 3 to 140 dBA. **Table 4.I-1** provides examples of A-weighted noise levels from common sources.

**Table 4.I-1**  
**A-Weighted Decibel Scale**

Typical A-Weighted Sound Levels	Sound Level (dBA $L_{eq}$ )
Near Jet Engine	130
Rock and Roll Band	110
Jet flyover at 1,000 feet	100
Power Motor	90
Food Blender	80
Living Room Music	70
Human Voice at 3 feet	60
Residential Air Conditioner at 50 feet	50
Bird Calls	40
Quiet Living Room	30
Average Whisper	20
Rustling Leaves	10
<i>Source: Cowan, James P., Handbook of Environmental Acoustics, 1993. These noise levels are approximations intended for general reference and informational use. They do not meet the standard required for detailed noise analysis, but are provided for the reader to gain a rudimentary concept of various noise levels.</i>	

##### (b) Noise Definitions

This noise analysis discusses sound levels in terms of equivalent noise level ( $L_{eq}$ ), maximum noise level ( $L_{max}$ ) and the Community Noise Equivalent Level (CNEL).



Equivalent Noise Level ( $L_{eq}$ ):  $L_{eq}$  represents the average noise level on an energy basis for a specific time period. Average noise level is based on the energy content (acoustic energy) of sound. For example, the  $L_{eq}$  for one hour is the energy average noise level during that hour.  $L_{eq}$  can be thought of as a continuous noise level of a certain period equivalent in energy content to a fluctuating noise level of that same period.  $L_{eq}$  is expressed in units of dBA.

Maximum Noise Level ( $L_{max}$ ):  $L_{max}$  represents the maximum instantaneous noise level measured during a given time period.

Community Noise Equivalent Level (CNEL): CNEL is an adjusted noise measurement scale of average sound level during a 24-hour period. Due to increased noise sensitivities during evening and night hours, human reaction to sound between 7:00 P.M. and 10:00 P.M. is as if it were actually 5 dBA higher than had it occurred between 7:00 A.M. and 7:00 P.M. From 10:00 P.M. to 7:00 A.M., humans perceive sound as if it were 10 dBA higher. To account for these sensitivities, CNEL figures are obtained by adding an additional 5 dBA to evening noise levels between 7:00 P.M. and 10:00 P.M. and 10 dBA to nighttime noise levels between 10:00 P.M. and 7:00 A.M. Because of this, 24-hour CNEL figures are always higher than their corresponding actual 24-hour averages.

### (c) *Effects of Noise*

The degree to which noise can impact an environment ranges from levels that interfere with speech and sleep to levels that can cause adverse health effects. Most human response to noise is subjective. Factors that influence individual responses include the intensity, frequency, and pattern of noise; the amount of background noise present; and the nature of work or human activity exposed to intruding noise.

According to the National Institute of Health (NIH), extended or repeated exposure to sounds at or above 85 dB can cause hearing loss. Sounds of 75 dBA or less, even after continuous exposure, are unlikely to cause hearing loss.<sup>1</sup> The World Health Organization (WHO) reports that adults should not be exposed to sudden “impulse” noise events of 140 dB or greater. For children, this limit is 120 dB.<sup>2</sup>

Exposure to elevated nighttime noise levels can disrupt sleep, leading to increased levels of fatigue and decreased work or school performance. For the preservation of healthy sleeping environments, the WHO recommends that continuous interior noise levels not exceed 30 dBA,  $L_{eq}$  and that individual noise events of 45 dBA or higher be limited.<sup>3</sup> Assuming a conservative exterior to interior sound reduction of 15 dBA, continuous exterior noise levels should therefore not exceed 45 dBA  $L_{eq}$ . Individual exterior events of 60 dBA or higher should also be limited.

Some epidemiological studies have shown a weak association between long-term exposure to noise levels of 65 to 70 dBA,  $L_{eq}$  and cardiovascular effects, including ischaemic heart disease and hypertension. However, at this time, the relationship is largely inconclusive. People with

---

<sup>1</sup> National Institute of Health, National Institute on Deafness and Other Communication, [www.nidcd.nih.gov/health/noise-induced-hearing-loss](http://www.nidcd.nih.gov/health/noise-induced-hearing-loss).

<sup>2</sup> World Health Organization, Guidelines for Community Noise, 1999.

<sup>3</sup> Ibid.



normal hearing sensitivity can recognize small perceptible changes in sound levels of approximately 3 dBA. Changes of at least 5 dBA can be readily noticeable and may cause community reactions. Sound level increases of 10 dBA or greater are perceived as a doubling in loudness.<sup>4</sup> However, few people are highly annoyed by noise levels below 55 dBA  $L_{eq}$ .<sup>5</sup>

#### *(d) Noise Attenuation*

Noise levels decrease as the distance from noise sources to receivers increases. For each doubling of distance, noise from stationary sources, commonly referred to as “point sources,” can decrease by approximately 6 dBA over hard surfaces (e.g., reflective surfaces such as parking lots) and 7.5 dBA over soft surfaces (e.g., absorptive surfaces such as soft dirt and grass). For example, if a point source produces a noise level of 89 dBA at a reference distance of 50 feet and over an asphalt surface, its noise level would be approximately 83 dBA at a distance of 100 feet, 77 dBA at 200 feet, etc. Noises generated by “line” sources such as roadways decrease by 3 dBA over hard surfaces and 4.5 dBA over soft surfaces for each doubling of distance.

Noise is most audible when traveling by direct line of sight, an unobstructed visual path between noise source and receptor. Barriers that break line of sight between sources and receivers, such as walls and buildings, can greatly reduce source noise levels by allowing noise to reach receivers by diffraction only. As a result, sound barriers can reduce source noise levels by up to 20 dBA, though it is generally infeasible for temporary barriers to reduce noise levels by more than 15 dBA.<sup>6</sup> The effectiveness of barriers can be greatly reduced when they are not high or long enough to completely break line of sight from sources to receivers. Because decibels are logarithmic units, they cannot be simply added or subtracted. For example, two cars each producing 60 dBA of noise would not produce a combined 120 dBA.

## **b) Regulatory Framework**

### **(1) Noise**

#### *(a) Federal*

Currently, no federal noise standards regulate environmental noise associated with short-term construction activities or long-term operations of development projects. As such, temporary and long-term noise impacts produced by the Project would be largely regulated or evaluated by State and City of Los Angeles standards designed to protect public well-being and health.

#### *(b) State*

##### 2017 General Plan Guidelines

The State’s 2017 General Plan Guidelines establish county and city standards for acceptable exterior noise levels based on land use. These standards are incorporated into land use planning

---

<sup>4</sup> Federal Transit Administration, Transit Noise and Vibration Impact Assessment, 2006.

<sup>5</sup> World Health Organization, Guidelines for Community Noise, 1999.

<sup>6</sup> California Department of Transportation, Technical Noise Supplement to the Traffic Noise Analysis Protocol, September 2013.



processes to prevent or reduce noise and land use incompatibilities. **Table 4.1-2** illustrates State compatibility considerations between various land uses and exterior noise levels.

**Table 4.1-2  
State of California Noise/Land Use Compatibility Matrix**

Land Use Compatibility	Community Noise Exposure (dBA, CNEL)							
	<	55	60	65	70	75	80	>
Residential – Low Density Single-Family, Duplex Mobile Homes	NA							
		CA						
					NU			
						CU		
Residential – Multi-Family	NA							
			CA					
					NU			
						CU		
Transient Lodging – Motels, Hotels	NA							
			CA					
					NU			
							CU	
Schools, Libraries, Churches, Hospitals, Nursing Homes	NA							
			CA					
					NU			
							CU	
Auditoriums, Concert Halls, Amphitheaters	CA							
				CU				
Sports Arenas, Outdoor Spectator Sports	CA							
					CU			
Playgrounds, Neighborhood Parks	NA				NU			
						CU		
Golf Courses, Riding Stables, Water Recreation, Cemeteries	NA				NU			
							CU	
Office Buildings, Business Commercial and Professional	NA				CA			
						NU		
Industrial, Manufacturing, Utilities, Agriculture	NA				CA			
						NU		

NA = Normally Acceptable - Specified land use is satisfactory, based upon the assumption that any buildings involved are of normal conventional construction without any special noise insulation requirements.  
 CA = Conditionally Acceptable - New construction or development should be undertaken only after a detailed analysis of the noise reduction requirements is made and needed noise insulation features included in the design. Conventional construction, but with closed windows and fresh air supply system or air conditioning will normally suffice.  
 NU = Normally Unacceptable - New construction or development should generally be discouraged. If new construction or development does proceed, a detailed analysis of the noise reduction requirements must be made and needed noise insulation features included in the design.  
 CU = Clearly Unacceptable - New construction or development should generally not be undertaken.  
 Source: California Office of Planning and Research, General Plan Guidelines - Noise Element Guidelines (Appendix D), Figure 2, 2017.



(c) *City of Los Angeles*

General Plan Noise Element

The City of Los Angeles General Plan includes a Noise Element with policies that regulate noise impacts to protect public health. However, it contains no quantitative thresholds of significance for evaluating a project's noise impacts. Instead, it adopts the State's guidance on noise and land use compatibility, shown in **Table 4.1-2** above, "to help guide determination of appropriate land use and mitigation measures vis-à-vis existing or anticipated ambient noise levels."

Los Angeles Municipal Code

The City of Los Angeles Municipal Code (the "LAMC") contains a number of regulations that would apply to the Project's temporary construction activities and long-term operations.

Section 111.02 discusses the measurement procedure and criteria regarding the sound level of "offending" noise sources. A noise source causing a 5 dBA increase over the existing average ambient noise levels of an adjacent property is considered to create a noise violation. However, Section 111.02(b) provides a 5 dBA allowance for noise sources lasting more than five but less than 15 minutes in any 1-hour period, and a 10 dBA allowance for noise sources causing noise lasting 5 minutes or less in any 1-hour period. In accordance with these regulations, a noise level increase from certain city-regulated noise sources of five dBA over the existing or presumed ambient noise level at an adjacent property is considered a violation.

Section 41.40(a) would prohibit Project construction activities from occurring between the hours of 9:00 P.M. and 7:00 A.M., Monday through Friday. Subdivision (c) would further prohibit such activities from occurring before 8:00 A.M. or after 6:00 P.M. on any Saturday, or on any Sunday or national holiday.

*SEC.41.40. NOISE DUE TO CONSTRUCTION, EXCAVATION WORK—WHEN PROHIBITED.*

(a) No person shall, between the hours of 9:00 P.M. and 7:00 A.M. of the following day, perform any construction or repair work of any kind upon, or any excavating for, any building or structure, where any of the foregoing entails the use of any power drive drill, riveting machine excavator or any other machine, tool, device or equipment which makes loud noises to the disturbance of persons occupying sleeping quarters in any dwelling hotel or apartment or other place of residence. In addition, the operation, repair or servicing of construction equipment and the job-site delivering of construction materials in such areas shall be prohibited during the hours herein specified. Any person who knowingly and willfully violates the foregoing provision shall be deemed guilty of a misdemeanor punishable as elsewhere provided in this Code.

(c) No person, other than an individual homeowner engaged in the repair or construction of his single-family dwelling shall perform any construction or repair work of any kind upon, or any earth grading for, any building or structure located on land developed with residential buildings under the provisions of Chapter I of this Code, or



perform such work within 500 feet of land so occupied, before 8:00 A.M. or after 6:00 P.M. on any Saturday or national holiday nor at any time on any Sunday. In addition, the operation, repair, or servicing of construction equipment and the job-site delivering of construction materials in such areas shall be prohibited on Saturdays and on Sundays during the hours herein specific...

Section 112.05 of the LAMC establishes noise limits for powered equipment and hand tools operated within 500 feet of residential zones. Regarding construction activities, this includes a maximum noise limit of 75 dBA for the types of construction vehicles and equipment that could be used for this Project. However, the LAMC notes that these limitations would not apply if it can be proven that the Project's compliance would be technically infeasible.

*SEC. 112.05. MAXIMUM NOISE LEVEL OF POWERED EQUIPMENT OR POWERED HAND TOOLS*

Between the hours of 7:00 A.M. and 10:00 P.M., in any residential zone of the City or within 500 feet thereof, no person shall operate or cause to be operated any powered equipment or powered hand tool that produces a maximum noise level exceeding the following noise limits at a distance of 50 feet therefrom:

- (a) 75 dBA for construction, industrial, and agricultural machinery including crawler-tractors, dozers, rotary drills and augers, loaders, power shovels, cranes, derricks, motor graders, paving machines, off-highway trucks, ditchers, trenchers, compactors, scrapers, wagons, pavement breakers, compressors and pneumatic or other powered equipment;
- (b) 75 dBA for powered equipment of 20 HP or less intended for infrequent use in residential areas, including chain saws, log chippers and powered hand tools;
- (c) 65 dBA for powered equipment intended for repetitive use in residential areas, including lawn mowers, backpack blowers, small lawn and garden tools and riding tractors.

Said noise limitations shall not apply where compliance therewith is technically infeasible. The burden of proving that compliance is technically infeasible shall be upon the person or persons charged with a violation of this section. Technical infeasibility shall mean that said noise limitations cannot be complied with despite the use of mufflers, shields, sound barriers and/or other noise reduction device or techniques during the operation of the equipment.

Section 112.01 of the LAMC prohibits any amplified noises, especially those from outdoor sources (e.g., outdoor speakers) from exceeding the ambient noise levels of adjacent properties by more than 5 dBA. Amplified noises would also be prohibited from being audible greater than 150 feet from the Project's property line, as it is located within 500 feet of residential zones.

*SEC. 112.01. RADIOS, TELEVISION SETS, AND SIMILAR DEVICES*



(a) It shall be unlawful for any person within any zone of the City to use or operate any radio, musical instrument, phonograph, television receiver, or other machine or device for the producing, reproducing or amplification of the human voice, music, or any other sound, in such a manner, as to disturb the peace, quiet, and comfort of neighbor occupants or any reasonable person residing or working in the area.

(b) Any noise level caused by such use or operation which is audible to the human ear at a distance in excess of 150 feet from the property line of the noise source, within any residential zone of the City or within 500 feet thereof, shall be a violation of the provisions of this section.

(c) Any noise level caused by such use or operation which exceeds the ambient noise level on the premises of any other occupied property, or if a condominium, apartment house, duplex, or attached business, within any adjoining unit, by more than five (5) decibels shall be a violation of the provisions of this section.

Section 112.02(a) would prevent Project heating, ventilation, and air conditioning (HVAC) systems and other mechanical equipment from elevating ambient noise levels at neighboring residences by more than 5 dBA.

SEC.112.02. AIR CONDITIONING, REFRIGERATION, HEATING, PLUMBING,  
FILTERING EQUIPMENT

*(a) It shall be unlawful for any person, within any zone of the city, to operate any air conditioning, refrigeration or heating equipment for any residence...as to create any noise which would cause the noise level on the premises of any other occupied property...to exceed the ambient noise level by more than five decibels.*

## **c) Existing Conditions**

### **(1) Noise-Sensitive Receptors**

Land uses sensitive to noise may include residences, transient lodgings, schools, libraries, churches, hospitals, nursing homes, concert halls, amphitheaters, playgrounds, and parks. Sensitive receptors within 1,000 feet of the Project Site include but are not limited to the following:

Oakwood Avenue Residences

This receptor consists of residences along the north side of Oakwood Avenue. The nearest individual residences are located approximately 7-10 feet from the Project Site.

Rosewood Avenue Residences

This receptor consists of residences along Rosewood Avenue. The nearest individual residences are located within approximately 25 feet of the Project Site across a rear alley.

### **(2) Existing Ambient Noise Levels**



DKA Planning took short-term noise measurements near the Project site to determine the ambient noise conditions of the neighborhood.<sup>7</sup> As shown in **Table 4.I-4**, noise levels along roadways near the Project Site are generally consistent with their traffic volumes.

**Table 4.I-4  
Existing Noise Levels**

Noise Monitoring Locations	Sound Levels (dBA, Leq)
1. Oakwood Avenue, near Berendo Street	63.3
2. Rosewood Avenue, near Berendo Street	68.3
<i>Source: DKA Planning, 2019</i>	

### 3. Project Impacts

#### a) Methodology

##### (1) On-Site Construction Activities

The Project's construction noise impact associated with its on-site construction activities was determined by identifying the maximum  $L_{max}$  source noise levels of the Project's potential construction equipment at a reference distance of 50 feet and comparing them to the 75 dBA at 50 feet standard set by Section 112.05 of the LAMC, as the Project is located within 500 feet of residential zones. Noise levels were then conservatively adjusted to account for any standard, industry-wide best practice noise management techniques or features that would be adopted by the Project's construction.

Incremental noise increases at nearby sensitive receptors were estimated using logarithmic methodologies that consider reference equipment noise levels, noise management techniques, distance to receptors, and any attenuating features. The distance from construction equipment noise sources (e.g., engines and tailpipes) assume that vehicles would not be capable of operating directly where the Project's property line abuts adjacent structures. These vehicles would retain some setback to preserve maneuverability, in addition to operating at reduced power and intensity to maintain precision at these locations. Reference equipment noise levels were obtained from the Federal Highway Administration's Roadway Construction Noise Model, version 1.1 (FHWA RCNM 1.1).

<sup>7</sup>

Noise measurements were taken using a Quest Technologies SoundPro DL Sound Level Meter. The SoundPro meter complies with the American National Standards Institute (ANSI) and International Electrotechnical Commission (IEC) for general environmental measurement instrumentation. The meter was equipped with an omni-directional microphone, calibrated before the day's measurements, and set at approximately five feet above the ground.



## (2) Off-Site Construction Activities – Haul Trucks

The Project's off-site construction noise impact from haul trucks was analyzed by considering the Project's estimated haul truck usage with existing traffic and roadway noise levels along the Project's anticipated haul route.

## (3) On-Site Operational Noise Sources

The Project's potential to result in significant noise impacts from on-site operational noise sources was evaluated by identifying sources of on-site noise sources and considering the impact that they could produce given the nature of the source (i.e., loudness and whether noise would be produced during daytime or more-sensitive nighttime hours), distances to nearby sensitive receptors, surrounding ambient noise levels, the presence of similar noise sources in the vicinity, and maximum allowable noise levels permitted by the LAMC.

## (4) Off-Site Operational Noise Sources

The Project's off-site noise impact from Project-related traffic was evaluated based on projected traffic volumes without and with traffic generated by the Proposed Project. Any doubling of traffic on local roadways could increase ambient noise levels by 3 dBA. As such, this analysis addresses whether traffic generated by the Proposed Project could double volumes on local roadways. Any significant increases in traffic volume that could result in audible or significant increases in ambient noise at local sensitive receptors are identified.

# b) Thresholds of Significance

## (1) State CEQA Guidelines Appendix G

In accordance with Appendix G of the CEQA Guidelines, a project would have a significant impact related to noise if the Project would result in:

- a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies;***
- b) For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airstrip, would the project expose people residing or working in the project area to excessive noise levels.***

## (2) On-Site Construction Noise Threshold



Based on guidelines from the City of Los Angeles City Department of Planning, the on-site construction noise impact would be considered significant if:

- Construction noise would exceed the 75 dBA at 50 feet maximum noise level limit for powered equipment established by Section 112.05 of the LAMC. This regulation applies to the on-site operations of powered construction equipment and not to road-legal trucks operating on public rights-of-way;

### (3) Operational Noise Thresholds

In addition to applicable City standards and guidelines that would regulate or otherwise moderate the Project's operational noise impacts, an operational noise impact would be considered significant if:

- It causes a 5 dBA increase over the existing average ambient noise levels of an adjacent property pursuant to Section 111.02(b) of the LAMC.

## c) Analysis of Project Impacts

***Threshold a) Would the project result in exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?***

### (1) On-Site Construction Activities

Proposed construction would generate noise during the 24 months of demolition, site preparation, grading, building construction, and application of architectural coatings. During all construction phases, noise-generating activities could occur at the Project site between the hours of 7:00 A.M. and 9:00 P.M. Monday through Friday, in accordance with Section 41.40(a) of the LAMC. On Saturdays, construction would be permitted to occur between 8:00 A.M. and 6:00 P.M. The Project would require heavy equipment such as excavators, loaders, and other earthmoving vehicles. Smaller equipment such as forklifts, generators, and various powered hand tools would also be utilized. Off-site secondary noises would be generated by construction worker vehicles, vendor deliveries, and haul trucks.

As shown in **Table 4.I-5**, regulatory compliance with LAMC Section 112.05 would ensure that the Project's construction noise does not exceed 75 dBA at 50 feet with the inclusion of industry-wide best practices. These Regulatory Compliance Measures (RCMs) are listed at the end of this report and include erecting temporary noise barriers around the Project's perimeter and using mufflers to dampen noise from internal combustion engines. This includes assuming 10 dB from use of temporary sound barriers and 3 dB and more from use of sound mufflers (see Technical Appendix for examples of products that could ensure compliance with LAMC Section 112.05). Therefore, because the Project would comply fully with the City's Municipal Code, its construction noise impact would subsequently be considered **less than significant**.



**Table 4.I-5  
Maximum Construction Noise Levels**

Noise Source	Noise Level (dBA, L <sub>max</sub> ) <sup>1</sup>		Significant?
	Reference	With Best Practices	
Backhoe	77.6	64.6	No
Dozer	81.7	68.7	No
Excavator	80.7	67.7	No
Front End Loader	79.1	66.1	No
Gradall	83.4	70.4	No
Grader	85.0	72.0	No
<sup>1</sup> Noise levels derived from the Federal Highway Administration's Roadway Construction Noise Model, version 1.1 (FHWA RCNM 1.1).			

## (2) Off-Site Construction Activities – Haul Trucks

With regard to off-site construction-related noise impacts, Section 112.05 of the LAMC does not regulate noise levels from road legal trucks, such as delivery vehicles, concrete mixing trucks, pumping trucks, and haul trucks. However, the operation of these vehicles would still comply with the construction restrictions set forth by Section 41.40 of the LAMC. The Project is expected to require about 301 haul trips to export soils to an off-site landfill approximately 20 miles away. Haul trucks would likely use collector roads like Oakwood Avenue or Rosewood Avenue to access Vermont Avenue and ultimately the US-101 Hollywood Freeway. Haul trucks would generate occasional noise events at receptors during passbys, but such intermittent noise events would have a limited effect on surrounding average ambient noise levels. As a result, the Project's off-site construction noise impact from haul trucks would be considered **less than significant**.

## (3) On-Site Operational Noise Sources

During operations, the Project would produce noise from both on- and off-site sources. As discussed below, the Project would not result in an exposure of persons to or a generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies. The Project would also not increase surrounding noise levels by more than 3 dBA CNEL, the minimum threshold of significance adopted by this analysis. As a result, the Project's on-site operational noise impacts would be considered **less than significant**.

Mechanical Equipment. Regulatory compliance with LAMC Section 112.02 would ensure that noises from sources such as heating, air conditioning, and ventilation systems not increase ambient noise levels at neighboring occupied properties by more than 5 dBA. Given this regulation, the relatively quiet operation of modern rooftop-mounted HVAC systems, and distances to receptors, it is unlikely that noise from the Project's HVAC systems would be audible



at off-site locations. Nearly all of the Project's surrounding commercial and residential land uses contain similar rooftop-mounted HVAC units. The Project's HVAC systems would be consistent with its surroundings and would not alter the environmental profile of the neighborhood by any substantial degree.

Auto-Related Activities. The Project is forecast to generate an estimated 452 gross new daily trips (306 net daily trips), which could translate to an hourly average of 23 net A.M. trips and 24 net P.M. trips, based on the Institute of Traffic Engineers' ITE Trip Generation Manual. Based on FTA equations for the projection of parking garage noise levels, the parking garage would be predicted to generate an hourly  $L_{eq}$  noise level of 60 dBA at the nearest receptor.<sup>8</sup> Based on the ambient noise level of 63.3 dBA  $L_{eq}$ , the garage would increase ambient noise levels by less than 3 dBA  $L_{eq}$  and would not be audible. As such, the Project's parking garage would have no noticeable effect on the surrounding noise environment.

Residential Uses. Noise associated with residential uses would be contained internally within the Project. Normal and reasonable use of the Project's open space areas would not be expected to generate a substantial amount of noise. Noise from speech and conversation generally does not exceed approximately 65 dBA at a reference distance of one meter. These noises attenuate rapidly and would not be capable of elevating surrounding ambient noise levels by more than a nominal degree.

The impact of on-site operational noise sources would be considered **less than significant**.

#### (4) Off-Site Operational Noise Sources

The majority of the Project's operational noise impacts would be from off-site mobile sources associated with its net new daily vehicle trips. On a typical weekday, the Project is forecast to generate an estimated 452 gross new daily trips (306 net daily trips), which could translate to about 23 net A.M. peak hour trips and 24 net P.M. peak hour trips. The City's L.A. CEQA Guidelines finds that a doubling of traffic volumes (i.e., 100 percent increase) is needed to increase ambient noise levels near roadways by 3 dBA or more.

During a peak hour, approximately 24 vehicle trips would be distributed onto Oakwood Avenue, which is a local street close to Beverly Boulevard that has more than 100 peak hour vehicle trips. As such, the Project's incremental traffic would not double existing traffic volumes. The Project's traffic impact on other streets would be less, as project-related traffic would dissipate onto the network of streets in the area. As such, Project-related traffic would generate far less than a doubling of traffic on key roadway segments near the Project Site and result in an inaudible increase in traffic-related noise on local streets. Twenty-four-hour CNEL impacts would similarly be negligible, far below the minimum 3 dBA noise increase threshold. Therefore, the Project's traffic impact on off-site ambient noise levels would be considered **less than significant**.

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<sup>8</sup> Federal Transit Administration, Transit Noise and Vibration Impact Assessment Manual, September 2018



As such, the Project's contribution to permanent cumulative off-site ambient noise level increases would be negligible. As a result, the Project's cumulative operational noise impact would be considered **less than significant**.

***Threshold b) For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airstrip, would the project expose people residing or working in the project area to excessive noise levels?***

The Project site is neither located near a private airstrip or an airport land use plan, nor within two miles of a public airport or public use airstrip. As a result, this criterion is not applicable to this Project, which would have **no impact** on people residing or working in the Project area.

#### **d) Regulatory Compliance Measures**

RCM-NOI-1 Temporary noise barriers around the Project's perimeter that reduce ambient noise levels that comply with LAMC Section 112.05.

RCM-NOI-2 Using mufflers to dampen noise from internal combustion engines to comply with LAMC Section 112.05.

#### **e) Mitigation Measures**

The Project would not result in any significant noise impacts and no mitigation measures are required.



# **TECHNICAL APPENDIX**





# Acoustical Surfaces, Inc.

**SOUNDPROOFING, ACOUSTICS, NOISE & VIBRATION CONTROL SPECIALISTS**

123 Columbia Court North • Suite 201 • Chaska, MN 55318

(952) 448-5300 • Fax (952) 448-2613 • (800) 448-0121

Email: [sales@acousticalsurfaces.com](mailto:sales@acousticalsurfaces.com)

Visit our Website: [www.acousticalsurfaces.com](http://www.acousticalsurfaces.com)

**We Identify and S.T.O.P. Your Noise Problems**

## Echo Barrier™

**The Industry's First Reusable, Indoor/  
Outdoor Noise Barrier/Absorber**



- Superior acoustic performance
- Industrial durability
- Simple and quick installation system
- Lightweight for easy handling
- Unique roll-up design for compact storage and transportation
- Double or triple up for noise 'hot spots'
- Ability to add branding or messages
- Range of accessories available
- Weatherproof – absorbs sound but not water
- Fire retardant
- 1 person can do the job of 2 or 3 people

Why is it all too often we see construction sites with fencing but no regard for sound issues created from the construction that is taking place? This is due to the fact that there has not been an efficient means of treating this type of noise that was cost effective **until now**.

Echo Barrier temporary fencing is a reusable, outdoor noise barrier. Designed to fit on all types of temporary fencing. Echo Barrier absorbs sound while remaining quick to install, light to carry and tough to last.

**BENEFITS:** Echo Barrier can help reduce noise complaints, enhance your company reputation, extend site operating hours, reduce project timescales & costs, and improve working conditions.

**APPLICATIONS:** Echo Barrier works great for construction & demolition sites; rail maintenance & replacement; music, sports and other public events; road construction; utility/maintenance sites; loading and unloading areas; outdoor gun ranges.

**DIMENSIONS:** 6.56' × 4.49'.

**WEIGHT:** 13 lbs.

**ACOUSTIC PERFORMANCE:** 10-20dB noise reduction (greater if barrier is doubled up).

**INSTALLATION:** The Echo Barrier is easily installed using our quick hook system and specially designed elastic ties.

### Echo Barrier Transmission Loss Field Data

	125Hz	250Hz	500Hz	1KHz	2KHz	4KHz	8KHz
Single Layer	6	12	16	23	28	30	30
Double Layer	7	19	24	28	32	31	32

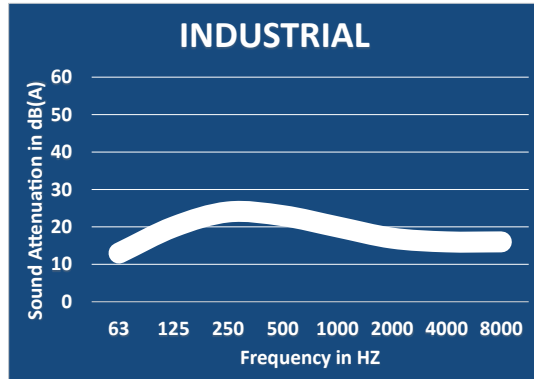
• Soundproofing Products • Sonex™ Ceiling & Wall Panels • Sound Control Curtains • Equipment Enclosures • Acoustical Baffles & Banners • Solid Wood & Veneer Acoustical Ceiling & Wall Systems  
 • Professional Audio Acoustics • Vibration & Damping Control • Fire Retardant Acoustics • Hearing Protection • Moisture & Impact Resistant Products • Floor Impact Noise Reduction  
 • Sound Absorbers • Noise Barriers • Fabric Wrapped Wall Panels • Acoustical Foam (Egg Crate) • Acoustical Sealants & Adhesives • Outdoor Noise Control • Assistive Listening Devices  
 • OSHA, FDA, ADA Compliance • On-Site Acoustical Analysis • Acoustical Design & Consulting • Large Inventory • Fast Shipment • No Project too Large or Small • Major Credit Cards Accepted



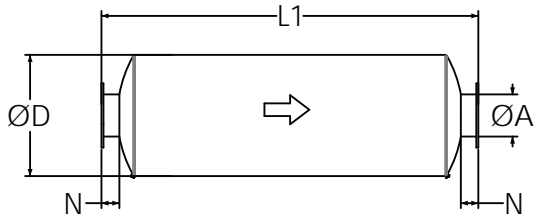
# Industrial Grade Silencers

## Model NTIN-C (Cylindrical), 15-20 dBA

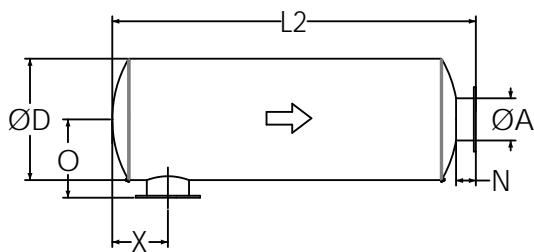
### TYPICAL ATTENUATION CURVE



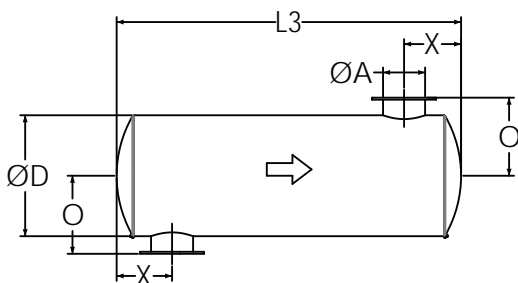
### TYPICAL CONFIGURATIONS



**END IN END OUT (EI-EO)**



**SIDE IN END OUT (SI-EO)**



**SIDE IN SIDE OUT (SI-SO)**

Nett Technologies' Industrial Grade Silencers are designed to achieve maximum performance with the least amount of backpressure.

The silencers are Reactive Silencers and are typically used for reciprocating or positive displacement engines where noise level regulations are low.

### FEATURES & BENEFITS

- Over 25 years of excellence in manufacturing noise and emission control solutions
- Compact modular designs providing ease of installations, less weight and less foot-print
- Responsive lead time for both standard and custom designs to meet your needs
- Customized engineered systems solutions to meet challenging integration and engine requirements

Contact Nett Technologies with your projects design requirements and specifications for optimized noise control solutions.

### OPTIONS

- Versatile connections including ANSI pattern flanges, NPT, slip-on, engine flange, schedule 40 and others
- Aluminized Steel, Stainless Steel 304 or 316 construction
- Horizontal or vertical mounting brackets and lifting lugs

### ACCESSORIES

- Hardware Kits
- Flexible connectors and expansion joints
- Elbows
- Thimbles
- Raincaps
- Thermal insulation: integrated or with thermal insulation blankets
- Please see our accessories catalog for a complete listing

### PRODUCT DIMENSIONS (in)

Model*	A	D	L1	L2	L3	X**	X	N	O
	Outlet	Dia	EI-EO	SI-EO	SI-SO	Min	Max	Nipple	O
NTIN-C1	1	4	20	18	16	3	7	2	4
NTIN-C1.5	1.5	6	22	20	18	3	8	2	5
NTIN-C2	2	6	22	19	16	3	8	3	6
NTIN-C2.5	2.5	6	24	21	18	4	9	3	6
NTIN-C3	3	8	26	23	20	5	10	3	7
NTIN-C3.5	3.5	9	28	25	22	5	11	3	8
NTIN-C4	4	10	32	29	26	5	12	3	8
NTIN-C5	5	12	36	33	30	6	14	3	9
NTIN-C6	6	14	40	36	32	7	16	4	11
NTIN-C8	8	16	50	46	42	8	21	4	12
NTIN-C10	10	20	52	48	44	11	21	4	14
NTIN-C12	12	24	62	58	54	12	26	4	16
NTIN-C14	14	30	74	69	64	15	31	5	20
NTIN-C16	16	36	82	77	72	18	35	5	23
NTIN-C18	18	40	94	89	84	18	42	5	25
NTIN-C20	20	40	110	105	100	19	52	5	25
NTIN-C22	22	48	118	113	108	22	56	5	29
NTIN-C24	24	48	130	125	120	24	62	5	29

\* Other models and custom designs are available upon request. Dimensions subject to change without notice. All silencers are equipped with drain ports on inlet side. The silencer is all welded construction and coated with high heat black paint for maximum durability.

\*\* Standard inlet/outlet position.



4055 OAKWOOD AVENUE

## Air Quality Technical Report



Prepared by DKA Planning  
June 2019



# Air Quality

## 1. Introduction

This section of the Categorical Exemption addresses the air emissions generated by construction and operation of the Project. The analysis also evaluates the consistency of the Project with the air quality policies set forth within the South Coast Air Quality Management District's (SCQMD) Air Quality Management Plan (AQMP) and the City of Los Angeles (City) General Plan. The analysis of Project-generated air emissions focuses on whether the Project would cause an exceedance of an ambient air quality standard or SCAQMD significance threshold. Calculation worksheets, assumptions, and model outputs used in the analysis are included in the attached Appendix.

## 2. Environmental Setting

### a) Regulatory Framework

#### (1) Federal

##### *(a) Clean Air Act*

The Federal Clean Air Act (CAA) was first enacted in 1955 and has been amended numerous times in subsequent years, with the most recent amendments in 1990. At the federal level, the United States Environmental Protection Agency (USEPA) is responsible for implementation of some portions of the CAA (e.g., certain mobile source and other requirements). Other portions of the CAA (e.g., stationary source requirements) are implemented by state and local agencies. In California, the CCAA is administered by the California Air Resources Board (CARB) at the state level and by the air quality management districts and air pollution control districts at the regional and local levels.

The 1990 amendments to the CAA identify specific emission reduction goals for areas not meeting the National Ambient Air Quality Standard (NAAQS). These amendments require both a demonstration of reasonable further progress toward attainment and incorporation of additional sanctions for failure to attain or to meet interim milestones. The sections of the CAA which are most applicable to the Project include Title I (Nonattainment Provisions) and Title II (Mobile Source Provisions).

NAAQS have been established for seven major air pollutants: CO (carbon monoxide), NO<sub>2</sub> (nitrogen dioxide), O<sub>3</sub> (ozone), PM<sub>2.5</sub> (particulate matter, 2.5 microns), PM<sub>10</sub> (particulate matter, 10 microns), SO<sub>2</sub> (sulfur dioxide), and Pb (lead).



The CAA requires USEPA to designate areas as attainment, nonattainment, or maintenance (previously nonattainment and currently attainment) for each criteria pollutant based on whether the NAAQS have been achieved. Title I provisions are implemented for the purpose of attaining NAAQS. The federal standards are summarized in **Table 4.B-1**. USEPA has classified the Los Angeles County portion of the South Coast Air Basin (Basin) as a nonattainment area for O<sub>3</sub>, PM<sub>2.5</sub>, and Pb.

**Table 4.B-1**  
**State and National Ambient Air Quality Standards and Attainment Status for LA County**

Pollutant	Averaging Period	California		Federal	
		Standards	Attainment Status	Standards	Attainment Status
Ozone (O <sub>3</sub> )	1-hour	0.09 ppm (180 µg/m <sup>3</sup> )	Non-attainment	--	--
	8-hour	0.070 ppm (137 µg/m <sup>3</sup> )	N/A <sup>1</sup>	0.070 ppm (137 µg/m <sup>3</sup> )	Non-attainment
Respirable Particulate Matter (PM <sub>10</sub> )	24-hour	50 µg/m <sup>3</sup>	Non-attainment	150 µg/m <sup>3</sup>	Maintenance
	Annual Arithmetic Mean	20 µg/m <sup>3</sup>	Non-attainment	--	--
Fine Particulate Matter (PM <sub>2.5</sub> )	24-hour	--	--	35 µg/m <sup>3</sup>	Non-attainment
	Annual Arithmetic Mean	12 µg/m <sup>3</sup>	Non-attainment	12 µg/m <sup>3</sup>	Non-attainment
Carbon Monoxide (CO)	1-hour	20 ppm (23 mg/m <sup>3</sup> )	Attainment	35 ppm (40 mg/m <sup>3</sup> )	Maintenance
	8-hour	9.0 ppm (10 mg/m <sup>3</sup> )	Attainment	9 ppm (10 mg/m <sup>3</sup> )	Maintenance
Nitrogen Dioxide (NO <sub>2</sub> )	1-hour	0.18 ppm (338 µg/m <sup>3</sup> )	Attainment	100 ppb (188 µg/m <sup>3</sup> )	Maintenance
	Annual Arithmetic Mean	0.030 ppm (57 µg/m <sup>3</sup> )	Attainment	53 ppb (100 µg/m <sup>3</sup> )	Maintenance
Sulfur Dioxide (SO <sub>2</sub> )	1-hour	0.25 ppm (655 µg/m <sup>3</sup> )	Attainment	75 ppb (196 µg/m <sup>3</sup> )	Attainment
	24-hour	0.04 ppm (105 µg/m <sup>3</sup> )	Attainment	--	--
Lead (Pb)	30-day average	1.5 µg/m <sup>3</sup>	Attainment	--	--
	Calendar Quarter	--	--	0.15 µg/m <sup>3</sup>	Non-attainment
Visibility Reducing Particles	8-hour	Extinction of 0.07 per kilometer	N/A	No Federal Standards	
Sulfates	24-hour	25 µg/m <sup>3</sup>	Attainment	No Federal Standards	
Hydrogen Sulfide (H <sub>2</sub> S)	1-hour	0.03 ppm (42 µg/m <sup>3</sup> )	Unclassified	No Federal Standards	
Vinyl Chloride	24-hour	0.01 ppm (26 µg/m <sup>3</sup> )	N/A	No Federal Standards	

<sup>1</sup>N/A = not available

Source: CARB, Ambient Air Quality Standards, and attainment status, 2018 ([www.arb.ca.gov/desig/adm/adm.htm](http://www.arb.ca.gov/desig/adm/adm.htm)).



CAA Title II pertains to mobile sources, such as cars, trucks, buses, and planes. Reformulated gasoline and automobile pollution control devices are examples of the mechanisms the USEPA uses to regulate mobile air emission sources. The provisions of Title II have resulted in tailpipe emission standards for vehicles, which have been strengthened in recent years to improve air quality. For example, the standards for NO<sub>x</sub> emissions have been lowered substantially and the specification requirements for cleaner burning gasoline are more stringent.

The USEPA regulates emission sources that are under the exclusive authority of the federal government, such as aircraft, ships, and certain types of locomotives. USEPA has jurisdiction over emission sources outside state waters (e.g., beyond the outer continental shelf) and establishes various emission standards, including those for vehicles sold in states other than California. Automobiles sold in California must meet stricter emission standards established by CARB. USEPA adopted multiple tiers of emission standards to reduce emissions from non-road diesel engines (e.g., diesel-powered construction equipment) by integrating engine and fuel controls as a system to gain the greatest emission reductions. The first federal standards (Tier 1) for new non-road (or off-road) diesel engines were adopted in 1994 for engines over 50 horsepower, to be phased-in from 1996 to 2000. On August 27, 1998, USEPA introduced Tier 1 standards for equipment under 37 kW (50 horsepower) and increasingly more stringent Tier 2 and Tier 3 standards for all equipment with phase-in schedules from 2000 to 2008. The Tier 1 through 3 standards were met through advanced engine design, with no or only limited use of exhaust gas after-treatment (oxidation catalysts). Tier 3 standards for NO<sub>x</sub> and hydrocarbon are similar in stringency to the 2004 standards for highway engines. However, Tier 3 standards for particulate matter were never adopted. On May 11, 2004, USEPA signed the final rule introducing Tier 4 emission standards, which were phased-in between 2008 and 2015. The Tier 4 standards require that emissions of particulate matter and NO<sub>x</sub> be further reduced by about 90 percent. Such emission reductions are achieved through the use of control technologies—including advanced exhaust gas after-treatment.

## (2) State

### (a) *California Clean Air Act*

In addition to being subject to the requirements of CAA, air quality in California is also governed by more stringent regulations under the California Clean Air Act (CCAA). In California, CCAA is administered by CARB at the state level and by the air quality management districts and air pollution control districts at the regional and local levels. CARB, which became part of the California Environmental Protection Agency in 1991, is responsible for meeting the state requirements of the CAA, administering the CCAA, and establishing the California Ambient Air Quality Standards (CAAQS). The CCAA, as amended in 1992, requires all air districts in the State to endeavor to achieve and maintain the CAAQS. CAAQS are generally more stringent than the corresponding federal standards and incorporate additional standards for sulfates, hydrogen sulfide, vinyl chloride, and visibility-reducing particles.

CARB regulates mobile air pollution sources, such as motor vehicles. CARB is responsible for setting emission standards for vehicles sold in California and for other emission sources, such as



consumer products and certain off-road equipment. CARB established passenger vehicle fuel specifications in March 1996. CARB oversees the functions of local air pollution control districts and air quality management districts, which, in turn, administer air quality activities at the regional and county levels. The State standards are summarized in **Table 4.B-1**.

The CCAA requires CARB to designate areas within California as either attainment or nonattainment for each criteria pollutant based on whether the CAAQS thresholds have been achieved. Under the CCAA, areas are designated as nonattainment for a pollutant if air quality data shows that a state standard for the pollutant was violated at least once during the previous three calendar years. Exceedances that are affected by highly irregular or infrequent events are not considered violations of a state standard and are not used as a basis for designating areas as nonattainment. Under the CCAA, the non-desert Los Angeles County portion of the Basin is designated as a nonattainment area for O<sub>3</sub>, PM<sub>10</sub>, and PM<sub>2.5</sub>.

#### *(b) Toxic Air Contaminant Identification and Control Act*

The public's exposure to toxic air contaminants (TACs) is a significant public health issue in California. CARB's statewide comprehensive air toxics program was established in the early 1980s. The Toxic Air Contaminant Identification and Control Act created California's program to reduce exposure to air toxics. Under the Toxic Air Contaminant Identification and Control Act, CARB is required to use certain criteria in the prioritization for the identification and control of air toxics. In selecting substances for review, CARB must consider criteria relating to "the risk of harm to public health, amount or potential amount of emissions, manner of, and exposure to, usage of the substance in California, persistence in the atmosphere, and ambient concentrations in the community" [Health and Safety Code Section 39666(f)].

The Toxic Air Contaminant Identification and Control Act also requires CARB to use available information gathered from the Air Toxics "Hot Spots" Information and Assessment Act program to include in the prioritization of compounds. CARB identified particulate emissions from diesel-fueled engines (diesel PM) TACs in August 1998. Following the identification process, CARB was required by law to determine if there is a need for further control, which led to the risk management phase of the program. For the risk management phase, CARB formed the Diesel Advisory Committee to assist in the development of a risk management guidance document and a risk reduction plan. With the assistance of the Diesel Advisory Committee and its subcommittees, CARB developed the Risk Reduction Plan to Reduce Particulate Matter Emissions from Diesel-Fueled Engines and Vehicles and the Risk Management Guidance for the Permitting of New Stationary Diesel-Fueled Engines. The Board approved these documents on September 28, 2000, paving the way for the next step in the regulatory process: the control measure phase. During the control measure phase, specific Statewide regulations designed to further reduce diesel PM emissions from diesel-fueled engines and vehicles have and continue to be evaluated and developed. The goal of each regulation is to make diesel engines as clean as possible by establishing state-of-the-art technology requirements or emission standards to reduce diesel PM emissions. Breathing H<sub>2</sub>S at levels above the state standard could result in exposure to a disagreeable rotten eggs odor. The State does not regulate other odors.

#### *(c) California Air Toxics Program*



The California Air Toxics Program was established in 1983, when the California Legislature adopted Assembly Bill (AB) 1807 to establish a two-step process of risk identification and risk management to address potential health effects from exposure to toxic substances in the air.<sup>1</sup> In the risk identification step, CARB and the Office of Environmental Health Hazard Assessment (OEHHA) determine if a substance should be formally identified, or “listed,” as a TAC in California. Since inception of the program, a number of such substances have been listed, including benzene, chloroform, formaldehyde, and particulate emissions from diesel-fueled engines, among others.<sup>2</sup> In 1993, the California Legislature amended the program to identify the 189 federal hazardous air pollutants as TACs.

In the risk management step, CARB reviews emission sources of an identified TAC to determine whether regulatory action is needed to reduce risk. Based on results of that review, CARB has promulgated a number of airborne toxic control measures (ATCMs), both for mobile and stationary sources. In 2004, CARB adopted an ATCM to limit heavy-duty diesel motor vehicle idling in order to reduce public exposure to diesel PM and other TACs. The measure applies to diesel-fueled commercial vehicles with gross vehicle weight ratings greater than 10,000 pounds that are licensed to operate on highways, regardless of where they are registered. This measure does not allow diesel-fueled commercial vehicles to idle for more than 5 minutes at any given time.

In addition to limiting exhaust from idling trucks, CARB adopted regulations on July 26, 2007 for off-road diesel construction equipment such as bulldozers, loaders, backhoes, and forklifts, as well as many other self-propelled off-road diesel vehicles to reduce emissions by installation of diesel particulate filters and encouraging the replacement of older, dirtier engines with newer emission-controlled models. Implementation is staggered based on fleet size, with the largest operators having begun compliance in 2014.<sup>3</sup>

(d) *Assembly Bill 2588 Air Toxics “Hot Spots” Program*

The AB 1807 program is supplemented by the AB 2588 Air Toxics “Hot Spots” program, which was established by the California Legislature in 1987. Under this program, facilities are required to report their air toxics emissions, assess health risks, and notify nearby residents and workers of significant risks if present. In 1992, the AB 2588 program was amended by Senate Bill (SB) 1731 to require facilities that pose a significant health risk to the community to reduce their risk through implementation of a risk management plan.

(e) *Air Quality and Land Use Handbook: A Community Health Perspective*

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<sup>1</sup> CARB, California Air Toxics Program, [www.arb.ca.gov/toxics/toxics.htm](http://www.arb.ca.gov/toxics/toxics.htm), last reviewed by CARB September 24, 2015.

<sup>2</sup> CARB, Toxic Air Contaminant Identification List, [www.arb.ca.gov/toxics/id/taclist.htm](http://www.arb.ca.gov/toxics/id/taclist.htm), last reviewed by CARB July 18, 2011.

<sup>3</sup> CARB, In-Use Off-Road Diesel-Fueled Fleets Regulation, [www.arb.ca.gov/msprog/ordiesel/ordiesel.htm](http://www.arb.ca.gov/msprog/ordiesel/ordiesel.htm), last reviewed by CARB July 28, 2016.



The *Air Quality and Land Use Handbook: A Community Health Perspective* provides important air quality information about certain types of facilities (e.g., freeways, refineries, rail yards, ports, etc.) that should be considered when siting sensitive land uses such as residences.<sup>4</sup> CARB provides recommended site distances from certain types of facilities when considering siting new sensitive land uses. The recommendations are advisory and should not be interpreted as defined “buffer zones.” If a project is within the siting distance, CARB recommends further analysis. Where possible, CARB recommends a minimum separation between new sensitive land uses and existing sources.

(f) *Air Quality and Land Use Handbook*

CARB published the *Air Quality and Land Use Handbook* (CARB Handbook) on April 28, 2005 to serve as a general guide for considering health effects associated with siting sensitive receptors proximate to sources of TAC emissions. The recommendations provided therein are voluntary and do not constitute a requirement or mandate for either land use agencies or local air districts. The goal of the guidance document is to protect sensitive receptors, such as children, the elderly, acutely ill, and chronically ill persons, from exposure to TAC emissions. Some examples of CARB’s siting recommendations include the following: (1) avoid siting sensitive receptors within 500 feet of a freeway, urban road with 100,000 vehicles per day, or rural roads with 50,000 vehicles per day; (2) avoid siting sensitive receptors within 1,000 feet of a distribution center (that accommodates more than 100 trucks per day, more than 40 trucks with operating transport refrigeration units per day, or where transport refrigeration unit operations exceed 300 hours per week); and (3) avoid siting sensitive receptors within 300 feet of any dry cleaning operation using perchloroethylene and within 500 feet of operations with two or more machines.

(g) *California Code of Regulations*

The California Code of Regulations (CCR) is the official compilation and publication of regulations adopted, amended or repealed by the state agencies pursuant to the Administrative Procedure Act. The CCR includes regulations that pertain to air quality emissions. Specifically, Section 2485 in CCR Title 13 states that the idling of all diesel-fueled commercial vehicles (weighing over 10,000 pounds) used during construction shall be limited to five minutes at any location. In addition, Section 93115 in CCR Title 17 states that operation of any stationary, diesel-fueled, compression-ignition engines shall meet specified fuel and fuel additive requirements and emission standards.

(3) Regional

(a) *South Coast Air Quality Management District*

The South Coast Air Quality Management District (SCAQMD) was created in 1977 to coordinate air quality planning efforts throughout Southern California. SCAQMD is the agency principally

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<sup>4</sup> CARB, *Air Quality and Land Use Handbook, a Community Health Perspective*, April 2005.



responsible for comprehensive air pollution control in the region. Specifically, SCAQMD is responsible for monitoring air quality, as well as planning, implementing, and enforcing programs designed to attain and maintain the CAAQS and NAAQS in the district. SCAQMD has jurisdiction over an area of 10,743 square miles consisting of Orange County; the non-desert portions of Los Angeles, Riverside, and San Bernardino counties; and the Riverside County portion of the Salton Sea Air Basin and Mojave Desert Air Basin. The Basin portion of SCAQMD's jurisdiction covers an area of 6,745 square miles. The Basin includes all of Orange County and the non-desert portions of Los Angeles (including the Project Area), Riverside, and San Bernardino counties. The Basin is bounded by the Pacific Ocean to the west; the San Gabriel, San Bernardino and San Jacinto Mountains to the north and east; and the San Diego County line to the south.

Programs that were developed by SCAQMD to attain and maintain the CAAQS and NAAQS include air quality rules and regulations that regulate stationary sources, area sources, point sources, and certain mobile source emissions. SCAQMD is also responsible for establishing stationary source permitting requirements and for ensuring that new, modified, or relocated stationary sources do not create net emission increases. All projects in the SCAQMD jurisdiction are subject to SCAQMD rules and regulations, including, but not limited to the following:

- Rule 401 Visible Emissions – This rule prohibits an air discharge that results in a plume that is as dark or darker than what is designated as No. 1 Ringelmann Chart by the United States Bureau of Mines for an aggregate of three minutes in any one hour.
- Rule 402 Nuisance – This rule prohibits the discharge of “such quantities of air contaminants or other material which cause injury, detriment, nuisance, or annoyance to any considerable number of people or the public, or which endanger the comfort, repose, health or safety of any such persons or the public, or which cause, or have a natural tendency to cause, injury or damage to business or property.”
- Rule 403 Fugitive Dust – This rule requires that future projects reduce the amount of particulate matter entrained in the ambient air as a result of fugitive dust sources by requiring actions to prevent, reduce, or mitigate fugitive dust emissions from any active operation, open storage pile, or disturbed surface area.

#### *(b) Air Quality Management Plan*

The 2012 Air Quality Management Plan (AQMP) was adopted in December 2012 and continues the progression toward clean air and compliance with State and federal requirements. It includes a comprehensive strategy aimed at controlling pollution from all sources, including stationary sources, on- and off-road mobile sources and area sources. The 2012 AQMP includes demonstration of attainment of the federal 24-hour PM<sub>2.5</sub> in the Basin through adoption of all feasible measures while incorporating current scientific information and meteorological air quality models. It also updates the USEPA approved 8-hour O<sub>3</sub> Control Plan with new commitments for short-term NO<sub>x</sub> and VOC reductions. The 2012 AQMP also addresses several State and federal planning requirements. The 2012 AQMP builds upon the approach taken in the 2007 AQMP, for the attainment of federal PM and O<sub>3</sub> standards, and highlights the significant amount of reductions needed and the urgent need to engage in interagency coordinated planning to identify additional



strategies, especially in the area of mobile sources, to meet all federal criteria pollutant standards within the timeframes allowed under the CAA.

The 2016 AQMP was adopted in April 2017 and represents the most updated regional blueprint for achieving federal air quality standards. The 2016 AQMP adapts previously conducted regional air quality analyses to account for the recent unexpected drought conditions, and presents a revised approach to demonstrated attainment of the 2006 24-hour PM<sub>2.5</sub> NAAQS for the Basin. Additionally, the 2016 AQMP relied upon a comprehensive analysis of emissions, meteorology, atmospheric chemistry, regional growth projections, and the impact of existing control measures to evaluate strategies for reducing NO<sub>x</sub> emissions sufficiently to meet the upcoming ozone deadline standards.

*(c) Multiple Air Toxics Exposure Study IV*

To date, the most comprehensive study on air toxics in the Basin is the Multiple Air Toxics Exposure Study IV (MATES-IV). The monitoring program measured more than 30 air pollutants, including both gases and particulates. The monitoring study was accompanied by a computer modeling study in which the SCAQMD estimated the risk of cancer from breathing toxic air pollution throughout the region based on emissions and weather data. MATES-IV found that the cancer risk in the region from carcinogenic air pollutants ranges from about 320 to 480 in a million, though OEHHA methodologies place average basinwide risk at 897 in a million. About 90 percent of the risk is attributed to emissions associated with mobile sources, with the remainder attributed to toxics emitted from stationary sources, which include large industrial operations, such as refineries and metal processing facilities, as well as smaller businesses such as gas stations and chrome plating. The results indicate that diesel PM is the major contributor to air toxics risk, accounting on average for about 68 percent of the total risk.

*(d) Southern California Association of Governments*

SCAG is the regional planning agency for Los Angeles, Orange, Ventura, Riverside, San Bernardino, and Imperial Counties, and addresses regional issues relating to transportation, the economy, community development and the environment. SCAG coordinates with various air quality and transportation stakeholders in Southern California to ensure compliance with the federal and state air quality requirements, including the Transportation Conformity Rule and other applicable federal, state, and air district laws and regulations. As the federally designated Metropolitan Planning Organization (MPO) for the six-county Southern California region, SCAG is required by law to ensure that transportation activities “conform” to, and are supportive of, the goals of regional and state air quality plans to attain the NAAQS. In addition, SCAG is a co-producer, with the SCAQMD, of the transportation strategy and transportation control measure sections of the AQMP for the Air Basin.



SCAG adopted the 2016–2040 Regional Transportation Plan/Sustainable Communities Strategy on April 7, 2016.<sup>5,6</sup> The 2016–2040 RTP/SCS reaffirms the land use policies that were incorporated into SCAG’s prior 2012–2035 RTP/SCS. These foundational policies, which guided the development of the plan’s land use strategies, include the following:

- Identify regional strategic areas for infill and investment;
- Structure the plan on a three-tiered system of centers development;<sup>7</sup>
- Develop “Complete Communities”;
- Develop nodes on a corridor;
- Plan for additional housing and jobs near transit;
- Plan for changing demand in types of housing;
- Continue to protect stable, existing single-family areas;
- Ensure adequate access to open space and preservation of habitat; and
- Incorporate local input and feedback on future growth.

The 2016–2040 RTP/SCS recognizes that transportation investments and future land use patterns are inextricably linked, and continued recognition of this close relationship will help the region make choices that sustain existing resources and expand efficiency, mobility, and accessibility for people across the region. In particular, the 2016–2040 RTP/SCS draws a closer connection between where people live and work, and it offers a blueprint for how Southern California can grow more sustainably. The 2016–2040 RTP/SCS also includes strategies focused on compact infill development and economic growth by building the infrastructure the region needs to promote the smooth flow of goods and easier access to jobs, services, educational facilities, healthcare and more.

The 2016–2040 RTP/SCS states that the SCAG region was home to about 18.3 million people in 2012 and included approximately 5.9 million homes and 7.4 million jobs.<sup>8</sup> By 2040, the integrated growth forecast projects these figures will increase by 3.8 million people, with nearly 1.5 million more homes and 2.4 million more jobs. High Quality Transit Areas (HQTAs) will account for 3

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<sup>5</sup> SCAG, Final 2016–2040 RTP/SCS.

<sup>6</sup> CARB, Executive Order G-16-066, SCAG 2016 SCS ARB Acceptance of GHG Quantification Determination, June 2016.

<sup>7</sup> Complete language: “Identify strategic centers based on a three-tiered system of existing, planned and potential relative to transportation infrastructure. This strategy more effectively integrates land use planning and transportation investment.” A more detailed description of these strategies and policies can be found on pp. 90–92 of the SCAG 2008 Regional Transportation Plan, adopted in May 2008.

<sup>8</sup> The SCAG 2016–2040 RTP/SCS is based on year 2012 demographic data with growth forecasts developed for 2020, 2035, and 2040.



percent of regional total land but are projected to accommodate 46 percent and 55 percent of future household and employment growth respectively between 2012 and 2040.<sup>9</sup> The 2016–2040 RTP/SCS overall land use pattern reinforces the trend of focusing new housing and employment in the region’s HQTAs. HQTAs are a cornerstone of land use planning best practice in the SCAG region because they concentrate roadway repair investments, leverage transit and active transportation investments, reduce regional life cycle infrastructure costs, improve accessibility, create local jobs, and have the potential to improve public health and housing affordability. As discussed further below, the Project Site is located within an HQTA.

#### (4) Local

##### (a) *City of Los Angeles General Plan Air Quality Element*

The Air Quality Element of the City’s General Plan was adopted on November 24, 1992, and sets forth the goals, objectives, and policies, which guide the City in the implementation of its air quality improvement programs and strategies. The Air Quality Element acknowledges the interrelationships among transportation and land use planning in meeting the City’s mobility and air quality goals.

The Air Quality Element includes six key goals:

- Goal 1:** Good air quality in an environment of continued population growth and healthy economic structure.
- Goal 2:** Less reliance on single-occupant vehicles with fewer commute and non-work trips.
- Goal 3:** Efficient management of transportation facilities and system infrastructure using cost-effective system management and innovative demand management techniques.
- Goal 4:** Minimize impacts of existing land use patterns and future land use development on air quality by addressing the relationship between land use, transportation, and air quality.
- Goal 5:** Energy efficiency through land use and transportation planning, the use of renewable resources and less-polluting fuels and the implementation of conservation measures including passive measures such as site orientation and tree planting.
- Goal 6:** Citizen awareness of the linkages between personal behavior and air pollution and participation in efforts to reduce air pollution.

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<sup>9</sup> Defined by the 2016–2040 RTP/SCS as generally walkable transit villages or corridors located within 0.5 mile of a well-serviced transit stop or a transit corridor with 15-minute or less service frequency during peak commute hours.



*(b) Clean Up Green Up Ordinance*

The City of Los Angeles adopted a Clean Up Green Up Ordinance (Ordinance Number 184,245) on April 13, 2016, which among other provisions, includes provisions related to ventilation system filter efficiency in mechanically ventilated buildings. This ordinance added Sections 95.314.3 and 99.04.504.6 to the Los Angeles Municipal Code (LAMC) and amended Section 99.05.504.5.3 to implement building standards and requirements to address cumulative health impacts resulting from incompatible land use patterns.

*(c) California Environmental Quality Act*

In accordance with CEQA requirements, the City assesses the air quality impacts of new development projects, requires mitigation of potentially significant air quality impacts by conditioning discretionary permits, and monitors and enforces implementation of such mitigation. The City uses the SCAQMD's *CEQA Air Quality Handbook* and SCAQMD's supplemental online guidance/information for the environmental review of plans and development proposals within its jurisdiction.

*(d) Land Use Compatibility*

In November 2012, the Los Angeles City Planning Commission (CPC) issued an advisory notice (Zoning Information 2427) regarding the siting of sensitive land uses within 1,000 feet of freeways. The CPC deemed 1,000 feet to be a conservative distance to evaluate projects that house populations considered to be more at-risk from the negative effects of air pollution caused by freeway proximity. The CPC advised that applicants of projects requiring discretionary approval, located within 1,000 feet of a freeway and contemplating residential units and other sensitive uses (e.g., hospitals, schools, retirement homes, etc.) perform a Health Risk Assessment (HRA). The Project Site is more than 1,000 feet north of the Santa Monica Freeway (I-10) and 1,000 feet south of the Hollywood Freeway (US-101).

On April 12, 2018, the City updated its guidance on siting land uses near freeways, resulting in an updated Advisory Notice effective September 17, 2018 requiring all proposed projects within 1,000 feet of a freeway adhere to the Citywide Design Guidelines, including those that address freeway proximity. It also recommended that projects consider avoiding location of sensitive uses like schools, day care facilities, and senior care centers in such projects, locate open space areas as far from the freeway, locate non-habitable uses (e.g., parking structures) nearest the freeway, and screen project sites with substantial vegetation and/or a wall barrier. Requirements for preparing HRAs were removed.

**b) Existing Conditions**

**(1) Pollutants and Effects**

*(a) State and Federal Criteria Pollutants*



Air quality is defined by ambient air concentrations of seven specific pollutants identified by the USEPA to be of concern with respect to health and welfare of the general public. These specific pollutants, known as “criteria air pollutants,” are defined as pollutants for which the federal and State governments have established ambient air quality standards, or criteria, for outdoor concentrations to protect public health. Criteria air pollutants include carbon monoxide (CO), ground-level ozone (O<sub>3</sub>), nitrogen oxides (NO<sub>x</sub>), sulfur oxides (SO<sub>x</sub>), particulate matter ten microns or less in diameter (PM<sub>10</sub>), particulate matter 2.5 microns or less in diameter (PM<sub>2.5</sub>), and lead (Pb). The following descriptions of each criteria air pollutant and their health effects are based on information provided by the SCAQMD.<sup>10</sup>

**Carbon Monoxide (CO).** CO is primarily emitted from combustion processes and motor vehicles due to incomplete combustion of fuel. Elevated concentrations of CO weaken the heart’s contractions and lower the amount of oxygen carried by the blood. It is especially dangerous for people with chronic heart disease. Inhalation of CO can cause nausea, dizziness, and headaches at moderate concentrations and can be fatal at high concentrations.

**Ozone (O<sub>3</sub>).** O<sub>3</sub> is a gas that is formed when volatile organic compounds (VOCs) and nitrogen oxides (NO<sub>x</sub>)—both byproducts of internal combustion engine exhaust—undergo slow photochemical reactions in the presence of sunlight. O<sub>3</sub> concentrations are generally highest during the summer months when direct sunlight, light wind, and warm temperature conditions are favorable. An elevated level of O<sub>3</sub> irritates the lungs and breathing passages, causing coughing and pain in the chest and throat, thereby increasing susceptibility to respiratory infections and reducing the ability to exercise. Effects are more severe in people with asthma and other respiratory ailments. Long-term exposure may lead to scarring of lung tissue and may lower lung efficiency.

**Nitrogen Dioxide (NO<sub>2</sub>).** NO<sub>2</sub> is a byproduct of fuel combustion and major sources include power plants, large industrial facilities, and motor vehicles. The principal form of nitrogen oxide produced by combustion is nitric oxide (NO), which reacts quickly to form NO<sub>2</sub>, creating the mixture of NO and NO<sub>2</sub> commonly called NO<sub>x</sub>. NO<sub>2</sub> absorbs blue light and results in a brownish-red cast to the atmosphere and reduced visibility. NO<sub>2</sub> also contributes to the formation of PM<sub>10</sub>. Nitrogen oxides irritate the nose and throat, and increase one’s susceptibility to respiratory infections, especially in people with asthma. The principal concern of NO<sub>x</sub> is as a precursor to the formation of ozone.

**Sulfur Dioxide (SO<sub>2</sub>).** Sulfur oxides (SO<sub>x</sub>) are compounds of sulfur and oxygen molecules. SO<sub>2</sub> is the pre- dominant form found in the lower atmosphere and is a product of burning sulfur or burning materials that contain sulfur. Major sources of SO<sub>2</sub> include power plants, large industrial facilities, diesel vehicles, and oil-burning residential heaters. Emissions of sulfur dioxide aggravate lung diseases, especially bronchitis. It also constricts the breathing passages, especially in asthmatics and people involved in moderate to heavy exercise. SO<sub>2</sub> potentially causes wheezing, shortness of breath, and coughing. High levels of particulates appear to worsen

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<sup>10</sup> SCAQMD, Final Program Environmental Impact Report for the 2012 AQMP, December 7, 2012.



the effect of sulfur dioxide, and long-term exposures to both pollutants leads to higher rates of respiratory illness.

**Particulate Matter (PM<sub>10</sub> and PM<sub>2.5</sub>).** The human body naturally prevents the entry of larger particles into the body. However, small particles, with an aerodynamic diameter equal to or less than 10 microns (PM<sub>10</sub>), and even smaller particles with an aerodynamic diameter equal to or less than 2.5 microns (PM<sub>2.5</sub>), can enter the body and become trapped in the nose, throat, and upper respiratory tract. These small particulates can potentially aggravate existing heart and lung diseases, change the body's defenses against inhaled materials, and damage lung tissue. The elderly, children, and those with chronic lung or heart disease are most sensitive to PM<sub>10</sub> and PM<sub>2.5</sub>. Lung impairment can persist for two to three weeks after exposure to high levels of particulate matter. Some types of particulates can become toxic after inhalation due to the presence of certain chemicals and their reaction with internal body fluids.

**Lead (Pb).** Lead is emitted from industrial facilities and from the sanding or removal of old lead-based paint. Smelting or processing the metal is the primary source of lead emissions, which is primarily a regional pollutant. Lead affects the brain and other parts of the body's nervous system. Exposure to lead in very young children impairs the development of the nervous system, kidneys, and blood forming processes in the body.

#### *(b) State-only Criteria Pollutants*

**Visibility-Reducing Particles.** Deterioration of visibility is one of the most obvious manifestations of air pollution and plays a major role in the public's perception of air quality. Visibility reduction from air pollution is often due to the presence of sulfur and NO<sub>x</sub>, as well as PM.

**Sulfates (SO<sub>4</sub><sup>2-</sup>).** Sulfates are the fully oxidized ionic form of sulfur. Sulfates occur in combination with metal and/or hydrogen ions. In California, emissions of sulfur compounds occur primarily from the combustion of petroleum-derived fuels (e.g., gasoline and diesel fuel) that contain sulfur. This sulfur is oxidized during the combustion process and subsequently converted to sulfate compounds in the atmosphere. Effects of sulfate exposure at levels above the standard include a decrease in ventilatory function, aggravation of asthmatic symptoms, and an increased risk of cardio-pulmonary disease. Sulfates are particularly effective in degrading visibility, and, due to fact that they are usually acidic, can harm ecosystems and damage materials and property.

**Hydrogen Sulfide (H<sub>2</sub>S).** H<sub>2</sub>S is a colorless gas with the odor of rotten eggs. It is formed during bacterial decomposition of sulfur-containing organic substances. Also, it can be present in sewer gas and some natural gas and can be emitted as the result of geothermal energy exploitation. Breathing H<sub>2</sub>S at levels above the state standard could result in exposure to a very disagreeable odor.

**Vinyl Chloride.** Vinyl chloride is a colorless, flammable gas at ambient temperature and pressure. It is also highly toxic and is classified as a known carcinogen by the American Conference of Governmental Industrial Hygienists and the International Agency for Research on Cancer. At



room temperature, vinyl chloride is a gas with a sickly-sweet odor that is easily condensed. However, it is stored at cooler temperatures as a liquid. Due to the hazardous nature of vinyl chloride to human health, there are no end products that use vinyl chloride in its monomer form. Vinyl chloride is a chemical intermediate, not a final product. It is an important industrial chemical chiefly used to produce polyvinyl chloride (PVC). The process involves vinyl chloride liquid fed to polymerization reactors where it is converted from a monomer to a polymer PVC. The final product of the polymerization process is PVC in either a flake or pellet form. Billions of pounds of PVC are sold on the global market each year. From its flake or pellet form, PVC is sold to companies that heat and mold the PVC into end products such as PVC pipe and bottles. Vinyl chloride emissions are historically associated primarily with landfills.

## (2) Toxic Air Contaminants

TACs refer to a diverse group of “non-criteria” air pollutants that can affect human health but have not had ambient air quality standards established for them. This is not because they are fundamentally different from the pollutants discussed above but because their effects tend to be local rather than regional. TACs are classified as carcinogenic and noncarcinogenic, where carcinogenic TACs can cause cancer and noncarcinogenic TAC can cause acute and chronic impacts to different target organ systems (e.g., eyes, respiratory, reproductive, developmental, nervous, and cardiovascular).

CARB and OEHHA determine if a substance should be formally identified, or “listed,” as a TAC in California. A complete list of these substances is maintained on CARB’s website.<sup>11</sup>

Diesel particulate matter (DPM), which is emitted in the exhaust from diesel engines, was listed by the state as a TAC in 1998. DPM has historically been used as a surrogate measure of exposure for all diesel exhaust emissions. DPM consists of fine particles (fine particles have a diameter less than 2.5 micrometer ( $\mu\text{m}$ )), including a subgroup of ultrafine particles (ultrafine particles have a diameter less than 0.1  $\mu\text{m}$ ). Collectively, these particles have a large surface area which makes them an excellent medium for absorbing organics. The visible emissions in diesel exhaust include carbon particles or “soot.” Diesel exhaust also contains a variety of harmful gases and cancer-causing substances.

Exposure to DPM may be a health hazard, particularly to children whose lungs are still developing and the elderly who may have other serious health problems. DPM levels and resultant potential health effects may be higher in close proximity to heavily traveled roadways with substantial truck traffic or near industrial facilities. According to CARB, DPM exposure may lead to the following adverse health effects: (1) aggravated asthma; (2) chronic bronchitis; (3) increased respiratory

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<sup>11</sup> CARB, Toxic Air Contaminant Identification List, [www.arb.ca.gov/toxics/id/taclist.htm](http://www.arb.ca.gov/toxics/id/taclist.htm), last reviewed by CARB July 18, 2011.



and cardiovascular hospitalizations; (4) decreased lung function in children; (5) lung cancer; and (6) premature deaths for people with heart or lung disease.<sup>12,13</sup>

### (3) Volatile Organic Compounds

VOCs are typically formed from combustion of fuels and/or released through evaporation of organic liquids. Some VOCs are also classified by the state as toxic air contaminants. While there are no specific VOC ambient air quality standards, VOC is a prime component (along with NO<sub>x</sub>) of the photochemical processes by which such criteria pollutants as ozone, nitrogen dioxide, and certain fine particles are formed. They are, thus, regulated as “precursors” to the formation of those criteria pollutants.

### (4) Project Site

The Project Site is located within the South Coast Air Basin (the Basin); named so because of its geographical formation is that of a basin, with the surrounding mountains trapping the air and its pollutants in the valleys or basins below. The 6,745-square-mile Basin includes all of Orange County and the non-desert portions of Los Angeles, Riverside, and San Bernardino Counties. It is bounded by the Pacific Ocean to the west; the San Gabriel, San Bernardino and San Jacinto Mountains to the north and east; and the San Diego County line to the south. Ambient pollution concentrations recorded in Los Angeles County portion of the Basin are among the highest in the four counties comprising the Basin. USEPA has classified Los Angeles County as nonattainment areas for O<sub>3</sub>, PM<sub>10</sub>, PM<sub>2.5</sub>, and lead. This classification denotes that the Basin does not meet the NAAQS for these pollutants. In addition, under the CCAA, the Los Angeles County portion of the Basin is designated as a nonattainment area for O<sub>3</sub>, PM<sub>10</sub>, and PM<sub>2.5</sub>. The air quality within the Basin is primarily influenced by a wide range of emissions sources, such as dense population centers, heavy vehicular traffic, industry, and meteorology.

Air pollutant emissions are generated in the local vicinity by stationary and area-wide sources, such as commercial activity, space and water heating, landscaping maintenance, consumer products, and mobile sources primarily consisting of automobile traffic.

#### (a) *Air Pollution Climatology*<sup>14</sup>

The topography and climate of Southern California combine to make the Basin an area of high air pollution potential. During the summer months, a warm air mass frequently descends over the cool, moist marine layer produced by the interaction between the ocean's surface and the lowest layer of the atmosphere. The warm upper layer forms a cap over the cooler surface layer which inhibits the pollutants from dispersing upward. Light winds during the summer further limit

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<sup>12</sup> CARB, Overview: Diesel Exhaust and Health, [www.arb.ca.gov/research/diesel/diesel-health.htm](http://www.arb.ca.gov/research/diesel/diesel-health.htm), last reviewed by CARB April 12, 2016.

<sup>13</sup> CARB, Fact Sheet: Diesel Particulate Matter Health Risk Assessment Study for the West Oakland Community: Preliminary Summary of Results, March 2008.

<sup>14</sup> AQMD, Final Program Environmental Impact Report for the 2012 AQMP, December 7, 2012.



ventilation. Additionally, abundant sunlight triggers photochemical reactions which produce O<sub>3</sub> and the majority of particulate matter.

(b) *Air Monitoring Data*

The SCAQMD monitors air quality conditions at 38 source receptor areas (SRA) throughout the Basin. The Project Site is located in SCAQMD's Central Los Angeles receptor area. Historical data from the area was used to characterize existing conditions in the vicinity of the Project area. **Table 4.B-2** shows pollutant levels, State and federal standards, and the number of exceedances recorded in the area from 2015 through 2017. The one-hour State standard and 8-hour federal standard for O<sub>3</sub> was exceeded ten times and 18 times, respectively, during this three-year period, the daily State standard for PM<sub>10</sub> was exceeded 85 times while the daily federal standard for PM<sub>2.5</sub> was exceeded 14 times. CO and NO<sub>2</sub> levels did not exceed the CAAQS from 2015 to 2017 for 1-hour (and 8-hour for CO).

**Table 4.B-2**  
**Ambient Air Quality Data**

Pollutants and State and Federal Standards	Maximum Concentrations and Frequencies of Exceedance Standards		
	2015	2016	2017
<b>Ozone (O<sub>3</sub>)</b>			
Maximum 1-hour Concentration (ppm)	0.104	0.103	0.116
Days > 0.09 ppm (State 1-hour standard)	2	2	6
Days > 0.070 ppm (Federal 8-hour standard)	0	4	14
<b>Carbon Monoxide (CO<sub>2</sub>)</b>			
Maximum 1-hour Concentration (ppm)	3.2	1.9	1.9
Days > 20 ppm (State 1-hour standard)	0	0	0
Maximum 8-hour Concentration (ppm)	1.8	1.4	1.6
Days > 9.0 ppm (State 8-hour standard)	0	0	0
<b>Nitrogen Dioxide (NO<sub>2</sub>)</b>			
Maximum 1-hour Concentration (ppm)	0.0791	0.0647	0.0806
Days > 0.18 ppm (State 1-hour standard)	0	0	0
<b>PM<sub>10</sub></b>			
Maximum 24-hour Concentration (µg/m <sup>3</sup> )	88	67	96
Days > 50 µg/m <sup>3</sup> (State 24-hour standard)	26	18	41
<b>PM<sub>2.5</sub></b>			
Maximum 24-hour Concentration (µg/m <sup>3</sup> )	56.4	44.4	49.2
Days > 35 µg/m <sup>3</sup> (Federal 24-hour standard)	7	2	5
<b>Sulfur Dioxide (SO<sub>2</sub>)</b>			
Maximum 24-hour Concentration (ppb)	12.6	13.4	5.7
Days > 0.04 ppm (State 24-hour standard)	0	0	0
ppm = parts by volume per million of air. µg/m <sup>3</sup> = micrograms per cubic meter. N/A = not available at this monitoring station. Source: SCAQMD annual monitoring data ( <a href="http://www.aqmd.gov/home/air-quality/air-quality-data-studies/historical-data-by-year">http://www.aqmd.gov/home/air-quality/air-quality-data-studies/historical-data-by-year</a> ) accessed March 7, 2019.			



*(c) Existing Health Risk in the Surrounding Area*

Based on the MATES-IV model, the calculated cancer risk in the Project area is approximately 1,295 in a million.<sup>15</sup> The cancer risk in this area is predominately related to nearby sources of diesel particulates. In general, the risk at the Project Site is comparable with other urbanized areas in Los Angeles.

*(d) Sensitive Receptors*

Some land uses are considered more sensitive to changes in air quality than others, depending on the population groups and the activities involved. CARB has identified the following groups who are most likely to be affected by air pollution: children less than 14 years of age, the elderly over 65 years of age, athletes, and people with cardiovascular and chronic respiratory diseases. According to the SCAQMD, sensitive receptors include residences, schools, playgrounds, child care centers, athletic facilities, long-term health care facilities, rehabilitation centers, convalescent centers, and retirement homes. Because there are a number of residences in the area, sensitive receptors within 1,000 feet of the Project Site include but are not limited to the following:

- Multi-family residences, 4053 Oakwood Avenue; 5 feet east of the Project site.
- Multi-family residences, 4069 Oakwood Avenue; 5 feet west of the Project site.
- North Berendo Apartments, multi-family residences, 333 North Berendo Street; 80 feet south of the Project site.
- Rosewood Vista Multi-family residences, 4142 Rosewood Avenue; 25 feet north of the Project site.
- Rosewood Assisted Living, 433 North Kenmore Avenue; 610 feet northwest of the Project site.
- Virgil Junior High School, 152 North Vermont Avenue; 1,600 feet southeast of the Project site.

*(e) Existing Project Site Emissions*

The Project Site includes multi-family residential units in several buildings. To ensure a conservative estimate, this analysis does not discount any emissions associated with the existing residences.

### **3. Project Impacts**

#### **a) Methodology**

The air quality analysis conducted for the Project is consistent with the methods described in the SCAQMD CEQA Air Quality Handbook (1993 edition), as well as the updates to the CEQA Air Quality Handbook, as provided on the SCAQMD website. The SCAQMD recommends the use of

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<sup>15</sup> SCAQMD, Multiple Air Toxics Exposure Study in the South Coast Air Basin (MATES-IV), MATES IV Interactive Carcinogenicity Map, 2015, [www3.aqmd.gov/webappl/OI.Web/OI.aspx?jurisdictionID=AQMD.gov&shareID=73f55d6b-82cc-4c41-b779-4c48c9a8b15b](http://www3.aqmd.gov/webappl/OI.Web/OI.aspx?jurisdictionID=AQMD.gov&shareID=73f55d6b-82cc-4c41-b779-4c48c9a8b15b), accessed March 7, 2019.



the California Emissions Estimator Model (CalEEMod, version 2016.3.2) as a tool for quantifying emissions of air pollutants that will be generated by constructing and operating development projects. The analyses focus on the potential change in air quality conditions due to Project implementation. Air pollutant emissions would result from both construction and operation of the Project. Specific methodologies used to evaluate these emissions are discussed below.

## (1) Construction

Sources of air pollutant emissions associated with construction activities include heavy-duty off-road diesel equipment and vehicular traffic to and from the Project construction site. Project-specific information was used where provided describing the schedule of construction activities and the equipment inventory anticipated. Details pertaining to the schedule and equipment can be found in the Appendix. The CalEEMod model provides default values for daily equipment usage rates and worker trip lengths, as well as emission factors for heavy-duty equipment, passenger vehicles, and haul trucks that have been derived by the CARB. Maximum daily emissions were quantified for each construction activity based on the number of equipment and daily hours of use, in addition to vehicle trips to and from the Project Site.

The SCAQMD recommends that air pollutant emissions be assessed for both regional scale and localized impacts. The regional emissions analysis includes both on-site and off-site sources of emissions, while the localized emissions analysis focuses only on sources of emissions that would be located on the Project Site.

Localized impacts were analyzed in accordance with the SCAQMD Localized Significance Threshold (LST) methodology.<sup>16</sup> The localized effects from on-site portion of daily emissions were evaluated at sensitive receptor locations potentially impacted by the Project according to the SCAQMD's localized significance thresholds (LST) methodology, which uses on-site mass emission look-up tables and Project-specific modeling, where appropriate.<sup>17</sup> SCAQMD provides LSTs applicable to the following criteria pollutants: NO<sub>x</sub>, CO, PM<sub>10</sub>, and PM<sub>2.5</sub>. SCAQMD does not provide an LST for SO<sub>2</sub> since land use development projects typically result in negligible construction and long-term operation emissions of this pollutant. Since VOCs are not a criteria pollutant, there is no ambient standard or SCAQMD LST for VOCs. Due to the role VOCs play in O<sub>3</sub> formation, it is classified as a precursor pollutant, and only a regional emissions threshold has been established.

LSTs represent the maximum emissions from a project that are not expected to cause or contribute to an exceedance of the most stringent applicable federal or state ambient air quality standard and are developed based on the ambient concentrations of that pollutant for each source receptor area and distance to the nearest sensitive receptor. The mass rate look-up tables were developed for each source receptor area and can be used to determine whether or not a project may generate significant adverse localized air quality impacts. SCAQMD provides LST mass rate

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<sup>16</sup> SCAQMD, Final Localized Significance Methodology, revised July 2008.

<sup>17</sup> SCAQMD, LST Methodology Appendix C-Mass Rate LST Look-Up Table, October 2009.



look-up tables for projects with active construction areas that are less than or equal to five acres. If the project exceeds the LST look-up values, then the SCAQMD recommends that project-specific air quality modeling must be performed. Please refer to **Threshold b** below, for the analysis of localized impacts from on-site construction activities. In accordance with SCAQMD guidance, maximum daily emissions of NO<sub>x</sub>, CO, PM<sub>10</sub>, and PM<sub>2.5</sub> from on-site sources during each construction activity were compared to LST values for a one-acre site having sensitive receptors within 25 meters (82 feet).<sup>18</sup>

The Basin is divided into 38 SRAs, each with its own set of maximum allowable LST values for on-site emissions sources during construction and operations based on locally monitored air quality. Maximum on-site emissions resulting from construction activities were quantified and assessed against the applicable LST values.

The significance criteria and analysis methodologies in the SCAQMD's CEQA Air Quality Handbook were used in evaluating impacts in the context of the CEQA significance criteria listed below. The SCAQMD LSTs for NO<sub>2</sub>, CO, and PM<sub>10</sub> were initially published in June 2003 and revised in July 2008.<sup>19</sup> The LSTs for PM<sub>2.5</sub> were established in October 2006.<sup>20</sup> Updated LSTs were published on the SCAQMD website on October 21, 2009.<sup>21</sup> **Table 4.B-3** presents the significance criteria for both construction and operational emissions.

**Table 4.B-3**  
**SCAQMD Construction Emissions Thresholds**

Criteria Pollutant	Construction Emissions		Operation Emissions
	Regional	Localized /a/	
Volatile Organic Compounds (VOC)	75	--	55
Nitrogen Oxides (NO <sub>x</sub> )	100	74	55
Carbon Monoxide (CO)	550	680	550
Sulfur Oxides (SO <sub>x</sub> )	150	--	150
Respirable Particulates (PM <sub>10</sub> )	150	5	150
Fine Particulates (PM <sub>2.5</sub> )	55	3	55
In pounds per day			
/a/ Localized significance thresholds assumed a 1-acre and 25-meter (82-foot) receptor distance, which are the smallest Project Site and shortest distance used for analysis in the LST guidance document. The SCAQMD has not developed LST values for VOC or SO <sub>x</sub> .			
Source: SCAQMD			

## (2) Operations

<sup>18</sup> SCAQMD, Fact Sheet for Applying CalEEMod to Localized Significance Thresholds, 2008.

<sup>19</sup> SCAQMD, Fact Sheet for Applying CalEEMod to Localized Significance Thresholds, 2008.

<sup>20</sup> SCAQMD, Final – Methodology to Calculate Particulate Matter (PM) 2.5 and PM 2.5 Significance Thresholds, October 2006.

<sup>21</sup> SCAQMD, Final Localized Significance Threshold Methodology Appendix C – Mass Rate LST Look-Up Tables, October 21, 2009.



CalEEMod also generates estimates of daily and annual emissions of air pollutants resulting from future operation of a project. Operational emissions of air pollutants are produced by mobile sources (vehicular travel) and stationary sources (utilities demand). The Project Site is serviced by the Los Angeles Department of Water and Power (LADWP), for which CalEEMod has derived default emissions factors for electricity and natural gas usage that are applied to the size and land use type of the Project in question. CalEEMod also generates estimated operational emissions associated water use, wastewater generation, and solid waste disposal.

Similar to construction, SCAQMD's CalEEMod software was used for the evaluation of Project emissions during operation. CalEEMod was used to calculate on-road fugitive dust, architectural coatings, landscape equipment, energy use, mobile source, and stationary source emissions. To determine if a significant air quality impact would occur, the net increase in regional and local operational emissions generated by the Project was compared against the SCAQMD's significance thresholds.<sup>22</sup>

### (3) Toxic Air Contaminants Impacts (Construction and Operations)

Potential TAC impacts are evaluated by conducting a qualitative analysis consistent with the CARB Handbook followed by a more detailed analysis (i.e., dispersion modeling), as necessary. The qualitative analysis consists of reviewing the Project to identify any new or modified TAC emissions sources. If the qualitative evaluation does not rule out significant impacts from a new source, or modification of an existing TAC emissions source, a more detailed analysis is conducted.

## b) Thresholds of Significance

### (1) State CEQA Guidelines Appendix G

Would the Project:

- a) ***Conflict with or obstruct implementation of the applicable air quality plan;***
- b) ***Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or State ambient air quality standard;***
- c) ***Expose sensitive receptors to substantial pollutant concentrations; or***

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<sup>22</sup> SCAQMD, SCAQMD Air Quality Significance Thresholds, revised March 2015. SCAQMD based these thresholds, in part on the federal Clean Air Act and, to enable defining "significant" for CEQA purposes, defined the setting as the South Coast Air Basin. (See SCAQMD, CEQA Air Quality Handbook, April 1993, pp. 6-1-6-2.).



**d) Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people.**

(2) 2006 L.A. CEQA Thresholds Guide and SCAQMD Thresholds

For this analysis the Appendix G Thresholds are relied upon. The analysis utilizes factors and considerations identified in the 2006 L.A. CEQA Thresholds Guide (Thresholds Guide) and SCAQMD Thresholds, as appropriate, to assist in answering the Appendix G Threshold questions.

(a) Construction

The Thresholds Guide states that the determination of significance shall be made on a case-by-case basis, considering the following criteria to evaluate construction-related air emissions:

(i) Combustion Emissions from Construction Equipment

- Type, number of pieces and usage for each type of construction equipment;
- Estimated fuel usage and type of fuel (diesel, natural gas) for each type of equipment; and
- Emission factors for each type of equipment.

(ii) Fugitive Dust—Grading, Excavation and Hauling

- Amount of soil to be disturbed on-site or moved off-site;
- Emission factors for disturbed soil;
- Duration of grading, excavation and hauling activities;
- Type and number of pieces of equipment to be used; and
- Projected haul route.

(iii) Fugitive Dust—Heavy-Duty Equipment Travel on Unpaved Road

- Length and type of road;
- Type, number of pieces, weight and usage of equipment; and
- Type of soil.

(iv) Other Mobile Source Emissions



- Number and average length of construction worker trips to Project Site, per day; and
- Duration of construction activities.

In addition, the following criteria set forth in the SCAQMD's *CEQA Air Quality Handbook* serve as quantitative air quality standards to be used to evaluate project impacts under the Appendix G Thresholds. Under these thresholds, a significant threshold would occur when:<sup>23</sup>

- Regional emissions from both direct and indirect sources would exceed any of the following SCAQMD prescribed threshold levels: (1) 100 pounds per day for NO<sub>x</sub>; (2) 75 pounds a day for VOC; (3) 150 pounds per day for PM<sub>10</sub> or SO<sub>x</sub>; (4) 55 pounds per day for PM<sub>2.5</sub>; and (5) 550 pounds per day for CO.
- Maximum on-site daily localized emissions exceed the LST, resulting in predicted ambient concentrations in the vicinity of the Project Site greater than the most stringent ambient air quality standards for CO (20 ppm [23,000 µg/m<sup>3</sup>] over a 1-hour period or 9.0 ppm [10,350 µg/m<sup>3</sup>] averaged over an 8-hour period) and NO<sub>2</sub> (0.18 ppm [339 µg/m<sup>3</sup>] over a 1-hour period, 0.1 ppm [188 µg/m<sup>3</sup>] over a three-year average of the 98th percentile of the daily maximum 1-hour average, or 0.03 ppm [57 µg/m<sup>3</sup>] averaged over an annual period).
- Maximum on-site localized PM<sub>10</sub> or PM<sub>2.5</sub> emissions during construction exceed the applicable LSTs, resulting in predicted ambient concentrations in the vicinity of the Project Site to exceed the incremental 24-hour threshold of 10.4 µg/m<sup>3</sup> or 1.0 µg/m<sup>3</sup> PM<sub>10</sub> averaged over an annual period.

#### (b) Operation

The Thresholds Guide bases the determination of significance of operational air quality impacts on criteria set forth in the SCAQMD's *CEQA Air Quality Handbook*.<sup>24</sup> However, as discussed above, the City has chosen to use Appendix G as the thresholds of significance for this analysis. Accordingly, the following serve as quantitative air quality standards to be used to evaluate project impacts under the Appendix G thresholds. Under these thresholds, a significant threshold would occur when:

- Operational emissions exceed 10 tons per year of volatile organic gases or any of the following SCAQMD prescribed threshold levels: (1) 55 pounds a day for VOC;<sup>25</sup> (2) 55

<sup>23</sup> SCAQMD, SCAQMD Air Quality Significance Thresholds, revised March 2015.

<sup>24</sup> SCAQMD, SCAQMD Air Quality Significance Thresholds, revised March 2015.

<sup>25</sup> For purposes of this analysis, emissions of VOC and reactive organic compounds (ROG) are used interchangeably since ROG represents approximately 99.9 percent of VOC emissions.



pounds per day for NO<sub>x</sub>; (3) 550 pounds per day for CO; (4) 150 pounds per day for SO<sub>x</sub>; (5) 150 pounds per day for PM<sub>10</sub>; and (6) 55 pounds per day for PM<sub>2.5</sub>.<sup>26,27</sup>

- Maximum on-site daily localized emissions exceed the LST, resulting in predicted ambient concentrations in the vicinity of the Project Site greater than the most stringent ambient air quality standards for CO (20 parts per million (ppm) over a 1-hour period or 9.0 ppm averaged over an 8-hour period) and NO<sub>2</sub> (0.18 ppm over a 1-hour period, 0.1 ppm over a 3-year average of the 98th percentile of the daily maximum 1-hour average, or 0.03 ppm averaged over an annual period).<sup>28</sup>
- Maximum on-site localized operational PM<sub>10</sub> and PM<sub>2.5</sub> emissions exceed the incremental 24-hour threshold of 2.5 µg/m<sup>3</sup> or 1.0 µg/m<sup>3</sup> PM<sub>10</sub> averaged over an annual period.<sup>29</sup>
- The Project causes or contributes to an exceedance of the California 1-hour or 8-hour CO standards of 20 or 9.0 ppm, respectively; or
- The Project creates an odor nuisance pursuant to SCAQMD Rule 402.

#### (c) *Toxic Air Contaminants*

The Thresholds Guide states that the determination of significance shall be made on a case-by-case basis, considering the following criteria to evaluate TACs:

- Would the project use, store, or process carcinogenic or non-carcinogenic toxic air contaminants which could result in airborne emissions?

In assessing impacts related to TACs in this section, the City will use Appendix G as the thresholds of significance. The criteria identified above from the Thresholds Guide will be used where applicable and relevant to assist in analyzing the Appendix G thresholds. In addition, the following criteria set forth in the SCAQMD's *CEQA Air Quality Handbook* serve as quantitative air quality standards to be used to evaluate project impacts under Appendix G thresholds. Under these thresholds, a significant threshold would occur when:<sup>30</sup>

- The Project results in the exposure of sensitive receptors to carcinogenic or toxic air contaminants that exceed the maximum incremental cancer risk of 10 in one million or

<sup>26</sup> City of Los Angeles, *L.A. CEQA Thresholds Guide*, 2006, p. B.2-5.

<sup>27</sup> SCAQMD Air Quality Significance Thresholds, [www.aqmd.gov/docs/default-source/ceqa/handbook/scaqmd-air-quality-significance-thresholds.pdf](http://www.aqmd.gov/docs/default-source/ceqa/handbook/scaqmd-air-quality-significance-thresholds.pdf), last updated March 2015.

<sup>28</sup> SCAQMD, Final Localized Significance Threshold Methodology, revised July 2008.

<sup>29</sup> SCAQMD, Final—Methodology to Calculate Particulate Matter (PM) 2.5 and PM<sub>2.5</sub> Significance Thresholds, October 2006.

<sup>30</sup> SCAQMD, *CEQA Air Quality Handbook*, April 1993, Chapter 6 (Determining the Air Quality Significance of a Project) and Chapter 10 (Assessing Toxic Air Pollutants).



an acute or chronic hazard index of 1.0.<sup>31</sup> For projects with a maximum incremental cancer risk between 1 in one million and 10 in one million, a project would result in a significant impact if the cancer burden exceeds 0.5 excess cancer cases.

(d) *Consistency with Applicable Air Quality Plans*

CEQA Guidelines Section 15125 requires an analysis of project consistency with applicable governmental plans and policies. This analysis is conducted to assess potential project impacts against Threshold (a) from the Appendix G thresholds. In accordance with the SCAQMD's *CEQA Air Quality Handbook*, the following criteria shall be used to evaluate a project's consistency with SCAQMD and SCAG regional plans and policies, including the AQMP, consistent with the Appendix G thresholds:<sup>32</sup>

- Will the Project result in any of the following:
  - An increase in the frequency or severity of existing air quality violations;
  - Cause or contribute to new air quality violations; or
  - Delay timely attainment of air quality standards or the interim emission reductions specified in the AQMP?
- Will the Project exceed the assumptions utilized in preparing the AQMP?
  - Is the Project consistent with the population and employment growth projections upon which AQMP forecasted emission levels are based;
  - Does the Project include air quality mitigation measures; or
  - To what extent is Project development consistent with the AQMP land use policies?

The Project's impacts with respect to these criteria are discussed to assess the consistency with the SCAQMD's AQMP and SCAG regional plans and policies. In addition, the Project's consistency with the City of Los Angeles General Plan Air Quality Element is discussed.

**c) Analysis of Project Impacts**

***Threshold a) Would the project conflict with or obstruct implementation of the applicable air quality plan?***

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<sup>31</sup> Hazard index is the ratio of a toxic air contaminant's concentration divided by its Reference Concentration, or safe exposure level. If the hazard index exceeds one, people are exposed to levels of TACs that may pose noncancer health risks.

<sup>32</sup> SCAQMD, *CEQA Air Quality Handbook*, April 1993, p. 12-3.



## (1) SCAQMD CEQA Air Quality Handbook Policy Analysis and SCAG 2016-2040 RTP/SCS Consistency

The following analysis addresses the Project's consistency with applicable SCAQMD and SCAG policies, including the SCAQMD's 2016 AQMP and growth projections within the SCAG 2016–2040 RTP/SCS. In accordance with the procedures established in the SCAQMD's *CEQA Air Quality Handbook*, the following criteria are required to be addressed in order to determine the Project's consistency with applicable SCAQMD and SCAG policies:

- Would the project result in any of the following:
  - An increase in the frequency or severity of existing air quality violations; or
  - Cause or contribute to new air quality violations; or
  - Delay timely attainment of air quality standards or the interim emission reductions specified in the AQMP.
- Would the project exceed the assumptions utilized in preparing the AQMP?
  - Is the Project consistent with the population and employment growth projections upon which AQMP forecasted emission levels are based;
  - Does the Project include air quality mitigation measures; or
  - To what extent is Project development consistent with the AQMP land use policies?

With respect to the first criterion, as discussed below, localized concentrations of NO<sub>2</sub> as NO<sub>x</sub>, CO, PM<sub>10</sub>, and PM<sub>2.5</sub> have been analyzed for the Project. SO<sub>2</sub> emissions would be negligible during construction and long-term operations, and, therefore, would not have the potential to cause or affect a violation of the SO<sub>2</sub> ambient air quality standard. Since VOCs are not a criteria pollutant, there is no ambient standard or localized threshold for VOCs. Due to the role VOCs play in O<sub>3</sub> formation, it is classified as a precursor pollutant, and only a regional emissions threshold has been established.

Particulate matter is the primary pollutant of concern during construction activities, and, therefore, the Project's PM<sub>10</sub> and PM<sub>2.5</sub> emissions during construction were analyzed in order to: (1) ascertain potential effects on localized concentrations; and (2) determine if there is a potential for such emissions to cause or affect a violation of the ambient air quality standards for PM<sub>10</sub> and PM<sub>2.5</sub>. As demonstrated in the analysis below (see **Table 4.B-6** later in this section), the increases in PM<sub>10</sub> and PM<sub>2.5</sub> emissions during construction would not exceed the SCAQMD-recommended significance thresholds at sensitive receptors in proximity to the Project Site.

Additionally, the Project's maximum potential NO<sub>x</sub> and CO daily emissions during construction were analyzed to ascertain potential effects on localized concentrations and to determine if there



is a potential for such emissions to cause or affect a violation of an applicable ambient air quality standard. As shown in **Table 4.B-6** NO<sub>x</sub> and CO would not exceed the SCAQMD-recommended localized significance thresholds. Therefore, Project construction would not result in a significant impact with regard to localized air quality.

Because the Project would not introduce any substantial stationary sources of emissions, CO is the preferred benchmark pollutant for assessing local area air quality impacts from post-construction motor vehicle operations.<sup>33</sup> As indicated under the discussion for CEQA Guidelines Threshold (c) in the following section, no intersections would require a CO hotspot analysis, and impacts would be less than significant. Therefore, the Project would not increase the frequency or severity of an existing CO violation or cause or contribute to new CO violations.

As discussed below, an analysis of potential localized operational impacts from on-site activities was conducted. As demonstrated in the analysis below (see **Table 4.B-7** later in this section), localized NO<sub>2</sub> as NO<sub>x</sub>, CO, PM<sub>10</sub>, and PM<sub>2.5</sub> operational impacts would be less than significant. Therefore, the Project would not increase the frequency or severity of an existing violation or cause or contribute to new violations for these pollutants. As the Project would not exceed any of the state and federal standards, the Project would also not delay timely attainment of air quality standards or interim emission reductions specified in the AQMP.

With respect to the determination of consistency with AQMP growth assumptions, the projections in the AQMP for achieving air quality goals are based on assumptions in SCAG's 2016–2040 RTP/SCS regarding population, housing, and growth trends. Determining whether or not a project exceeds the assumptions reflected in the AQMP involves the evaluation of three criteria: (1) consistency with applicable population, housing, and employment growth projections; (2) project mitigation measures; and (3) appropriate incorporation of AQMP land use planning strategies. The following discussion provides an analysis with respect to each of these three criteria.

- Is the project consistent with the population, housing, and employment growth projections upon which AQMP forecasted emission levels are based?

A project is consistent with the AQMP, in part, if it is consistent with the population, housing, and employment assumptions that were used in the development of the AQMP. In the case of the 2016 AQMP, two sources of data form the basis for the projections of air pollutant emissions: the City of Los Angeles General Plan and SCAG's RTP. The General Plan serves as a comprehensive, long-term plan for future development of the City.

The 2016–2040 RTP/SCS provides socioeconomic forecast projections of regional population growth. The population, housing, and employment forecasts, which are adopted by SCAG's Regional Council, are based on local plans and policies applicable to the specific area; these are used by SCAG in all phases of implementation and review. According to the California

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<sup>33</sup> SCAQMD, CEQA Air Quality Handbook, Chapter 12, Assessing Consistency with Applicable Regional Plans, 1993.



Department of Finance, the population for the City of Los Angeles in 2017 was approximately 4,041,707 persons. In 2040, the City of Los Angeles is anticipated to have a population of approximately 4,609,400 persons.

Based on a household size factor of 2.43 persons per household in the City in 2017, the Project is estimated to generate a residential population of 207 persons at full buildout, which would represent approximately 0.05 percent of the population growth forecasted by SCAG in the City of Los Angeles between 2017 and 2040.

Because the Project's resulting residential growth would fall well within the growth forecasts for the City and similar projections form the basis of the 2016 AQMP, it can be concluded that the Project would be consistent with the projections in the AQMP.

- Does the project implement feasible air quality mitigation measures?

As discussed below under Thresholds (b), (c), and (d), the Project would not result in any significant air quality impacts and therefore would not require mitigation. In addition, the Project would comply with all applicable regulatory standards as required by SCAQMD. Furthermore, with compliance with the regulatory requirements identified above, no significant air quality impacts would occur. As such, the proposed Project meets this AQMP consistency criterion.

- To what extent is project development consistent with the land use policies set forth in the AQMP?

With regard to land use developments such as the Project, the AQMP's air quality policies focus on the reduction of vehicle trips and vehicle miles traveled (VMT). The Project would serve to implement a number of land use policies of the City of Los Angeles, SCAQMD, and SCAG.

The Project would be designed and constructed to support and promote environmental sustainability. The Project represents an infill development within an existing urbanized area that would intensify new residential uses within an HQT. "Green" principles are incorporated throughout the Project to comply with the City of Los Angeles Green Building Code and the California Green Building Standards Code (CALGreen) through energy conservation, water conservation, and waste reduction features.

The air quality plan applicable to the Project area is the 2016 AQMP. The 2016 AQMP is the SCAQMD plan for improving regional air quality in the Basin. The 2016 AQMP is the current management plan for continued progression toward clean air and compliance with State and federal requirements. It includes a comprehensive strategy aimed at controlling pollution from all sources, including stationary sources, on- and off-road mobile sources and area sources. The 2016 AQMP also incorporates current scientific information and meteorological air quality models. It also updates the federally approved 8-hour O<sub>3</sub> control plan with new commitments for short-term NO<sub>x</sub> and VOC reductions.



The 2016 AQMP includes short-term control measures related to facility modernization, energy efficiency, good management practices, market incentives, and emissions growth management.

As demonstrated in the following analyses, the Project would not result in significant regional emissions. The 2016 AQMP adapts previously conducted regional air quality analyses to account for the recent unexpected drought conditions, and presents a revised approach to demonstrated attainment of the 2006 24-hour PM<sub>2.5</sub> NAAQS for the Basin. Directly applicable to the Project, the 2016 AQMP proposes robust NO<sub>x</sub> reductions from commercial cooking and residential and commercial appliances, as well as commercial space heating. The Project would be required to comply with all new and existing regulatory measures set forth by the SCAQMD. Implementation of the Project would not interfere with air pollution control measures listed in the 2016 AQMP.

The Project Site is classified as “Medium Residential” in the General Plan Framework and the Community Plan, a zoning classification that allows residential uses by right. As such, the RTP/SCS’ assumptions about growth in the City accommodate housing, population, and job growth on this site. As a result, the Project would be consistent with the growth assumptions in the City’s General Plan. Because the AQMP accommodates growth forecasts from local General Plans, the emissions associated with this Project are accounted for and mitigated in the region’s air quality attainment plans. The air quality impacts of development on the Project Site are accommodated in the region’s emissions inventory for the 2016 RTP/SCS and 2016 AQMP.

Further, the Project’s infill location would promote the concentration of development in an urban location with extensive infrastructure and access to public transit facilities, an important policy objective in the 2016 AQMP. The Project’s proximity to public transportation would reduce vehicle miles traveled for residents and visitors, including Metro bus service on Beverly Boulevard (Route 14) Normandie Avenue (Route 754), Metro Rail service at the Vermont/Beverly Station two blocks southeast of the Project Site. The Project would also promote bicycle transportation by including seven short-term and 68 long-term bicycle parking spaces pursuant to LAMC section 12.21 A.4.

**Therefore, the Project would result in less-than significant impacts related to consistency with the AQMP.**

## (2) City of Los Angeles Policies

The Project would offer convenient access to public transit and opportunities for walking and biking, thereby facilitating a reduction in VMT, in addition to bicycle parking. In addition, the Project would be consistent with the existing land use pattern in the vicinity that concentrates urban density along major arterials and near transit options. The Project also includes primary entrances for pedestrians and bicyclists that would be safe, easily accessible, and a short distance from local Metro bus service on Beverly Boulevard (Route 14) Normandie Avenue (Route 754), and Metro Rail service at the Vermont/Beverly Station two blocks southeast of the Project Site.



The Project would be consistent with applicable policies of the Air Quality Element. The Project would implement sustainability features that would reduce vehicular trips, reduce VMT, and encourage use of alternative modes of transportation.

The City's General Plan Air Quality Element identifies 30 policies with specific strategies for advancing the City's clean air goals. As illustrated in **Table 4.B-4**, the Project is consistent with the applicable policies in the Air Quality Element. **Therefore, the Project would result in less-than significant impacts related to consistency with the Air Quality Element.**

**Table 4.B-4**  
**Project Consistency With City Of Los Angeles General Plan Air Quality Element**

Strategy	Project Consistency
<b>Policy 1.3.1.</b> Minimize particulate emissions from construction sites.	<b>Consistent.</b> The Project would minimize particulate emissions during construction through best practices and/or SCAQMD rules.
<b>Policy 1.3.2.</b> Minimize particulate emissions from unpaved roads and parking lots associated with vehicular traffic.	<b>Consistent.</b> The Project would minimize particulate emissions from unpaved facilities through best practices and/or SCAQMD rules.
<b>Policy 2.1.1.</b> Utilize compressed work weeks and flextime, telecommuting, carpooling, vanpooling, public transit, and improve walking/bicycling related facilities in order to reduce vehicle trips and/or VMT as an employer and encourage the private sector to do the same to reduce work trips and traffic congestion.	<b>Consistent.</b> The Project would be located near Downtown Los Angeles, an urban area with significant infrastructure to provide alternative transportation modes, including proximity to Metro bus service on Beverly Boulevard (Route 14) Normandie Avenue (Route 754), Metro Rail service at the Vermont/Beverly Station two blocks southeast of the Project Site.
<b>Policy 2.1.2.</b> Facilitate and encourage the use of telecommunications (i.e., telecommuting) in both the public and private sectors, in order to reduce work trips.	<b>Not Applicable.</b> The Project is a residential development that would not have employers that could implement telecommuting programs.
<b>Policy 2.2.1.</b> Discourage single-occupant vehicle use through a variety of measures such as market incentive strategies, mode-shift incentives, trip reduction plans and ridesharing subsidies.	<b>Not Applicable.</b> The Project is a residential development that would not have employers that could implement trip reduction programs.
<b>Policy 2.2.2.</b> Encourage multi-occupant vehicle travel and discourage single-occupant vehicle travel by instituting parking management practices.	<b>Not Applicable.</b> The Project is a residential development that would not have employers that could implement parking management programs.
<b>Policy 2.2.3.</b> Minimize the use of single-occupant vehicles associated with special events or in areas and times of high levels of pedestrian activities.	<b>Not Applicable.</b> The Project would not include facilities for special events.
<b>Policy 3.2.1.</b> Manage traffic congestion during peak hours.	<b>Consistent.</b> The Project would minimize traffic impacts at nearby intersections, generating about 306 net daily vehicle trips, including 23 trips in the morning peak hour and 24 trips during the afternoon peak hour. These increases would have negligible impacts on Oakwood Avenue and the local arterials (e.g., Vermont Avenue, Beverly Boulevard) with significant travel demand.
<b>Policy 4.1.1.</b> Coordinate with all appropriate regional agencies on the implementation of strategies for the integration of land use, transportation, and air quality policies.	<b>Consistent.</b> The Project is being entitled through the City of Los Angeles, which coordinates with SCAG, Metro, and other regional agencies on the coordination of land use, air quality, and transportation policies.
<b>Policy 4.1.2.</b> Ensure that project level review and approval of land use development remains at the local level.	<b>Consistent.</b> The Project would be entitled and environmentally cleared at the local level.



**Table 4.B-4**  
**Project Consistency With City Of Los Angeles General Plan Air Quality Element**

<b>Strategy</b>	<b>Project Consistency</b>
<b>Policy 4.2.1.</b> Revise the City's General Plan/Community Plans to achieve a more compact, efficient urban form and to promote more transit-oriented development and mixed-use development.	<b>Not Applicable.</b> This policy calls for City updates to its General Plan.
<b>Policy 4.2.2.</b> Improve accessibility for the City's residents to places of employment, shopping centers and other establishments.	<b>Consistent.</b> The Project would be infill development that would provide residents with proximate access to jobs, shopping, and other uses.
<b>Policy 4.2.3.</b> Ensure that new development is compatible with pedestrians, bicycles, transit, and alternative fuel vehicles.	<b>Consistent.</b> The Project would be located in an urban area with significant infrastructure to facilitate alternative transportation modes, including close proximity to bus routes operating by Metro on Beverly Boulevard (Route 14) Normandie Avenue (Route 754), Metro Rail service at the Vermont/Beverly Station two blocks southeast of the Project Site. The inclusion of short- and long-term bicycle parking spaces will support this policy, along with pre-wiring for electric vehicle charging stations.
<b>Policy 4.2.4.</b> Require that air quality impacts be a consideration in the review and approval of all discretionary projects.	<b>Consistent.</b> The Project's air quality impacts are analyzed in this document.
<b>Policy 4.2.5.</b> Emphasize trip reduction, alternative transit and congestion management measures for discretionary projects.	<b>Consistent.</b> The Project would be located in an urban area with significant infrastructure to facilities alternative transportation modes, including close proximity to Metro bus service on Beverly Boulevard (Route 14) Normandie Avenue (Route 754), Metro Rail service at the Vermont/Beverly Station two blocks southeast of the Project Site.
<b>Policy 4.3.1.</b> Revise the City's General Plan/Community Plans to ensure that new or relocated sensitive receptors are located to minimize significant health risks posed by air pollution sources.	<b>Not Applicable.</b> This policy calls for City updates to its General Plan.
<b>Policy 4.3.2.</b> Revise the City's General Plan/Community Plans to ensure that new or relocated major air pollution sources are located to minimize significant health risks to sensitive receptors.	<b>Not Applicable.</b> This policy calls for City updates to its General Plan.
<b>Policy 5.1.1.</b> Make improvements in Harbor and airport operations and facilities in order to reduce air emissions.	<b>Not Applicable.</b> This policy calls for cleaner operations of the City's water port and airport facilities.
<b>Policy 5.1.2.</b> Effect a reduction in energy consumption and shift to non-polluting sources of energy in its buildings and operations.	<b>Not Applicable.</b> This policy calls for cleaner operations of the City's buildings and operations.
<b>Policy 5.1.3.</b> Have the Department of Water and Power make improvements at its in-basin power plants in order to reduce air emissions.	<b>Not Applicable.</b> This policy calls for cleaner operations of the City's Water and Power energy plants.
<b>Policy 5.1.4.</b> Reduce energy consumption and associated air emissions by encouraging waste reduction and recycling.	<b>Consistent.</b> The Proposed Project would be consistent with this policy by complying with Title 24, CALGreen, and other requirements to reduce solid waste and energy consumption.
<b>Policy 5.2.1.</b> Reduce emissions from its own vehicles by continuing scheduled maintenance, inspection and vehicle replacement programs; by adhering to the	<b>Not Applicable.</b> This policy calls for the City to gradually reduce the fleet emissions inventory from its vehicles through use of alternative fuels, improved



**Table 4.B-4**  
**Project Consistency With City Of Los Angeles General Plan Air Quality Element**

Strategy	Project Consistency
State of California's emissions testing and monitoring programs; by using alternative fuel vehicles wherever feasible, in accordance with regulatory agencies and City Council policies.	maintenance practices, and related operational improvements.
<b>Policy 5.3.1.</b> Support the development and use of equipment powered by electric or low-emitting fuels.	<b>Consistent.</b> The Project would be designed to meet the applicable requirements of the State Green Building Standards Code and the City of Los Angeles' Green Building Code.
<b>Policy 6.1.1.</b> Raise awareness through public-information and education programs of the actions that individuals can take to reduce air emissions.	<b>Not Applicable.</b> This policy calls for the City to promote clean air awareness through its public awareness programs.
Source: DKA Planning, 2018.	

**Threshold b) *Would the project result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or State ambient air quality standard?***

(1) Construction

Construction-related emissions were estimated using the South Coast Air Quality Management District's (SCAQMD's) CalEEMod 2016.3.2 model using assumptions from the Project's developer, including the Project's construction schedule of 24 months. **Table 4.B-5** summarizes the potential construction schedule that was modeled for air quality impacts.

**Table 4.B-5**  
**Potential Construction Schedule**

Phase	Duration	Notes
Demolition	Month 1	Debris from 23,400 square feet of development hauled off-site
Site Preparation	Month 2	
Grading	Month 3	13,500 cubic yards of soil export
Building Construction	Month 4-Month 24	
Architectural Coatings	Month 18-Month 24	
Source: DKA Planning, 2019		

The Project would be required to comply with the following regulations, as applicable:

- SCAQMD Rule 403, would reduce the amount of particulate matter entrained in ambient air as a result of anthropogenic fugitive dust sources by requiring actions to prevent, reduce or mitigate fugitive dust emissions.
- SCAQMD Rule 1113, which limits the VOC content of architectural coatings.

(a) *Regional Emissions*



Construction activity has the potential to create air quality impacts through the use of heavy-duty construction equipment and through vehicle trips generated by construction workers traveling to and from the Project Site. Fugitive dust emissions would primarily result from grading activities. NO<sub>x</sub> emissions would primarily result from the use of construction equipment and truck trips. During the building finishing phase, paving and the application of architectural coatings (e.g., paints) would potentially release VOCs (regulated by SCAQMD Rule 1113). The assessment of construction air quality impacts considers each of these potential sources. Construction emissions can vary substantially from day to day, depending on the level of activity, the specific type of operation and, for dust, the prevailing weather conditions.

As stated above, it is mandatory for all construction projects in the Basin to comply with SCAQMD Rule 403 for Fugitive Dust. Rule 403 control requirements include measures to prevent the generation of visible dust plumes. Measures include, but are not limited to, applying water and/or soil binders to uncovered areas, reestablishing ground cover as quickly as possible, utilizing a wheel washing system or other control measures to remove bulk material from tires and vehicle undercarriages before vehicles exit the Project Site, and maintaining effective cover over exposed areas. Compliance with Rule 403 would reduce regional PM<sub>2.5</sub> and PM<sub>10</sub> emissions associated with construction activities by approximately 61 percent.

This analysis also assumes a single-trip haul distance of up to 20 miles to a landfill. However, closer locations may be determined feasible, which would result in lower emissions for the Project.

As shown in **Table 4.B-6**, the construction of the Project will produce VOC, NO<sub>x</sub>, CO, SO<sub>x</sub>, PM<sub>10</sub> and PM<sub>2.5</sub> emissions that do not exceed the SCAQMD's regional thresholds. As a result, construction of the Project would not contribute substantially to an existing violation of air quality standards for regional pollutants (e.g., ozone). **This impact is considered less than significant.**

**Table 4.B-6**  
**Estimated Daily Construction Daily Emissions - Unmitigated**

Construction Phase Year	Daily Emissions (Pounds Per Day)					
	VOC	NO <sub>x</sub>	CO	SO <sub>x</sub>	PM <sub>10</sub>	PM <sub>2.5</sub>
2019	2	28	12	<1	3	1
2020	5	12	13	<1	2	1
<b>Maximum Regional Total</b>	<b>5</b>	<b>28</b>	<b>13</b>	<b>&lt;1</b>	<b>3</b>	<b>1</b>
<b>Regional Threshold</b>	<b>75</b>	<b>100</b>	<b>550</b>	<b>150</b>	<b>150</b>	<b>55</b>
<b>Exceed Threshold?</b>	<b>No</b>	<b>No</b>	<b>No</b>	<b>No</b>	<b>No</b>	<b>No</b>
<b>Maximum Localized Total</b>	<b>5</b>	<b>10</b>	<b>8</b>	<b>&lt;1</b>	<b>2</b>	<b>1</b>
<b>Localized Threshold</b>	<b>--</b>	<b>74</b>	<b>680</b>	<b>--</b>	<b>5</b>	<b>3</b>
<b>Exceed Threshold?</b>	<b>N/A</b>	<b>No</b>	<b>No</b>	<b>N/A</b>	<b>No</b>	<b>No</b>
The construction dates are used for the modeling of air quality emissions in the CalEEMod software. If construction activities commence later than what is assumed in the environmental analysis, the actual emissions would be lower than analyzed because of the increasing penetration of newer equipment with lower certified emission levels. Assumes implementation of SCAQMD Rule 403 (Fugitive Dust Emissions) Source: DKA Planning, 2019 based on CalEEMod 2016.3.2 model runs. LST analyses based on 1-acre site with 25-meter distances to receptors in Central LA source receptor area.						



*(b) Localized Emissions*

In addition to maximum daily regional emissions, maximum localized (onsite) emissions were quantified for each construction activity. The localized construction air quality analysis was conducted using the methodology promulgated by the SCAQMD. Look-up tables provided by the SCAQMD were used to determine localized construction emissions thresholds for the Project.<sup>34</sup> LSTs represent the maximum emissions from a project that are not expected to cause or contribute to an exceedance of the most stringent applicable federal or state ambient air quality standard and are based on the most recent background ambient air quality monitoring data (2015–2017) for the Project area.

Maximum on-site daily construction emissions for NO<sub>x</sub>, CO, PM<sub>10</sub>, and PM<sub>2.5</sub> were calculated using CalEEMod and compared to the applicable SCAQMD LSTs for the Central LA SRA based on construction site acreage that is less than or equal to one acre. Potential impacts were evaluated at the closest off-site sensitive receptor, which are apartments to either side of the Proposed Project. The closest receptor distance on the SCAQMD mass rate LST look-up tables is 25 meters.

As shown in **Table 4.B-6**, above, the Project would produce emissions that do not exceed the SCAQMD's recommended localized standards of significance for NO<sub>2</sub> and CO during the construction phase. Similarly, construction activities would not produce PM<sub>10</sub> and PM<sub>2.5</sub> emissions that exceed localized thresholds recommended by the SCAQMD.

These estimates assume the use of Best Available Control Measures (BACM) that address fugitive dust emissions of PM<sub>10</sub> and PM<sub>2.5</sub> through SCAQMD Rule 403. This would include watering portions of the site that are disturbed during grading activities and minimizing tracking of dirt onto local streets. **Therefore, construction impacts on localized air quality are considered less than significant.**

A cumulatively considerable net increase would occur if the project's construction impacts substantially contribute to air quality violations when considering other projects that may undertake construction activities at the same time.

Construction of the Project would not contribute significantly to cumulative emissions of any non-attainment regional pollutants. For regional ozone precursors, the Project would not exceed SCAQMD mass emission thresholds for ozone precursors during construction. Similarly, regional emissions of PM<sub>10</sub> and PM<sub>2.5</sub> would not exceed mass thresholds established by the SCAQMD. **Therefore, construction emissions impact on regional criteria pollutant emissions would be considered less than significant.**

When considering local impacts, cumulative construction emissions are considered when projects are within close proximity of each other that could result in larger impacts on local sensitive receptors. Construction of the Project itself would not produce cumulative considerable emissions of localized nonattainment pollutants PM<sub>10</sub> and PM<sub>2.5</sub>, as the anticipated emissions would not

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<sup>34</sup> SCAQMD, LST Methodology Appendix C-Mass Rate LST Look-up Table, revised October 2009.



exceed LST thresholds set by the SCAQMD. **Therefore, construction emissions impact on localized criteria pollutant emissions would be considered less than significant.**

If any related project were to undertake construction concurrently with the Project, localized CO, PM<sub>2.5</sub>, PM<sub>10</sub>, and NO<sub>2</sub> concentrations would be further increased. However, the application of LST thresholds to this project would help ensure that it does not produce localized hotspots of CO, PM<sub>2.5</sub>, PM<sub>10</sub>, and NO<sub>2</sub>. This and any related projects that would exceed LST thresholds (after mitigation) could perform dispersion modeling to confirm whether health-based air quality standards would be violated. The SCAQMD's LST thresholds recognize the influence of a receptor's proximity, setting mass emissions thresholds for PM<sub>10</sub> and PM<sub>2.5</sub> that generally double with every doubling of distance.

There is an existing regional cumulative impact associated with O<sub>3</sub>, NO<sub>2</sub>, PM<sub>10</sub>, and PM<sub>2.5</sub> because the Basin is designated as a State and/or federal nonattainment air basin for these pollutants. However, an individual Project can emit these pollutants without significantly contributing to this cumulative impact depending on the magnitude of emissions. As discussed above, construction and operational emissions Project would not exceed any applicable SCAQMD thresholds of significance.

With respect to the Project's construction-related air quality emissions and cumulative Air Basin-wide conditions, the SCAQMD has developed strategies (e.g., SCAQMD Rule 403) to reduce criteria pollutant emissions outlined in the AQMP pursuant to Federal CAA mandates. As stated above, the Project would comply with applicable regulatory requirements, including the SCAQMD Rule 403 requirements. Per SCAQMD rules and mandates as well as the CEQA requirement that significant impacts be mitigated to the extent feasible, all construction projects Air Basin-wide would comply with these same regulatory requirements and would implement all feasible mitigation measures when significant impacts are identified.

According to the SCAQMD, individual projects that exceed the SCAQMD's recommended daily thresholds for project-specific impacts would cause a cumulatively considerable increase in emissions for those pollutants for which the Air Basin is in non-attainment. As shown in **Table 4.B-6**, Project construction daily emissions would not exceed any of the SCAQMD's regional or localized thresholds. **Therefore, the Project's contribution to cumulative construction-related regional or localized emissions would not be cumulatively considerable and, thus, would be less than significant.**

## (2) Operation

Operational emissions of criteria pollutants would come from area sources and mobile sources. Area sources include natural gas for space heating and water heating, gasoline-powered landscaping and maintenance equipment, consumer products such as household cleaners, and architectural coatings for routine maintenance.



The Project will also produce long-term air quality impacts to the region primarily from motor vehicles that access the Project site. The Project could add up to 452 gross vehicle trips (306 net trips) to and from the Project Site on a peak weekday at the start of operations in 2021.<sup>35</sup> Operational emissions would not exceed SCAQMD's regional significance thresholds for VOC, NO<sub>x</sub>, CO, PM<sub>10</sub> and PM<sub>2.5</sub> emissions (**Table 4.B-7**). As a result, the Project's operational impacts on regional air quality are considered **less than significant**.

With regard to localized air quality impacts, the Proposed Project would emit minimal emissions of NO<sub>2</sub>, CO, PM<sub>10</sub>, and PM<sub>2.5</sub> from area and energy sources on-site. These localized emissions would not approach the SCAQMD's localized significance thresholds that signal when there could be human health impacts at nearby sensitive receptors during long-term operations. The Project's operational impacts on localized air quality are considered **less than significant**.

**Therefore, the operational impacts of the Project on regional and localized air quality are considered less than significant.**

**Table 4.B-7**  
**Estimated Daily Operations Emissions - Unmitigated**

Emissions Source	Daily Emissions (Pounds Per Day)					
	VOC	NO <sub>x</sub>	CO	SO <sub>x</sub>	PM <sub>10</sub>	PM <sub>2.5</sub>
Area Sources	2	<1	6	<1	<1	<1
Energy Sources	<1	<1	<1	<1	<1	<1
Mobile Sources	1	4	12	<1	3	1
<b>Net Regional Total</b>	<b>3</b>	<b>4</b>	<b>18</b>	<b>&lt;1</b>	<b>3</b>	<b>1</b>
<b>Regional Significance Threshold</b>	<b>55</b>	<b>55</b>	<b>550</b>	<b>150</b>	<b>150</b>	<b>55</b>
<b>Exceed Threshold?</b>	<b>No</b>	<b>No</b>	<b>No</b>	<b>No</b>	<b>No</b>	<b>No</b>
<b>Net Localized Total</b>	<b>2</b>	<b>&lt;1</b>	<b>6</b>	<b>&lt;1</b>	<b>&lt;1</b>	<b>&lt;1</b>
<b>Localized Significance Threshold</b>	<b>N/A</b>	<b>74</b>	<b>680</b>	<b>N/A</b>	<b>2</b>	<b>1</b>
<b>Exceed Threshold?</b>	<b>No</b>	<b>No</b>	<b>No</b>	<b>No</b>	<b>No</b>	<b>No</b>
Source: DKA Planning, 2019 based on CalEEMod 2016.3.2 model runs. LST analyses based on 1-acre site with 25-meter distances to receptors in Central LA source receptor area.						

As for cumulative operational impacts, the proposed land use will not produce cumulatively considerable emissions of nonattainment pollutants at the regional or local level. The Project would not include major sources of combustion or fugitive dust. As a result, its localized emissions of PM<sub>10</sub> and PM<sub>2.5</sub> would be minimal. Likewise, existing land uses in the area include land uses that do not produce substantial emissions of localized nonattainment pollutants. As shown in **Table 4.B-7**, Project operation daily emissions would not exceed any of the SCAQMD's regional or localized thresholds. Because the Project's air quality impacts would not exceed the SCAQMD's operational thresholds of significance. **Therefore, the Project's contribution to cumulative operation-related regional or localized emissions would not be cumulatively considerable and, thus, would be less than significant.**

<sup>35</sup> DKA Planning 2018, based on CalEEMod 2016.3.2 model runs.



**Threshold c)      *Would the project expose sensitive receptors to substantial pollutant concentrations?***

There are several existing sensitive receptors within 500 feet of the Project Site, including but not limited to:

- Multi-family residences, 4053 Oakwood Avenue; 5 feet east of the Project site.
- Multi-family residences, 4069 Oakwood Avenue; 5 feet west of the Project site.
- North Berendo Apartments, multi-family residences, 333 North Berendo Street; 80 feet south of the Project site.
- Rosewood Vista Multi-family residences, 4142 Rosewood Avenue; 25 feet north of the Project site.
- Rosewood Assisted Living, 433 North Kenmore Avenue; 610 feet northwest of the Project site.
- Virgil Junior High School, 152 North Vermont Avenue; 1,600 feet southeast of the Project site.

**(1) Construction**

Construction of the Project could expose sensitive receptors to substantial pollutant concentrations if maximum daily emissions of regulated pollutants generated by sources located on and/or near the Project site exceeded the applicable LST values presented in **Table 4.B-3**, or if construction activities generated significant emissions of TACs that could result in carcinogenic risks or non-carcinogenic hazards exceeding the SCAQMD Air Quality Significance Thresholds of 10 excess cancers per million or non-carcinogenic Hazard Index greater than 1.0, respectively. As discussed above, the LST values were derived by the SCAQMD for the criteria pollutants NO<sub>x</sub>, CO, PM<sub>10</sub>, and PM<sub>2.5</sub> to prevent the occurrence of concentrations exceeding the air quality standards at sensitive receptor locations based on proximity and construction site size.

As shown in **Table 4.B-6**, during construction of the Project, maximum daily localized unmitigated emissions of NO<sub>2</sub>, CO, PM<sub>10</sub>, and PM<sub>2.5</sub> from sources on the Project site would remain below each of the respective LST values. Unmitigated maximum daily localized emissions would not exceed any of the localized standards for receptors that are generally within 25 meters of the Proposed Project's construction activities. Therefore, based on SCAQMD guidance, localized emissions of criteria pollutants would not have the potential to expose sensitive receptors to substantial concentrations that would present a public health concern.

The primary TAC that would be generated by construction activities is diesel PM, which would be released from the exhaust stacks of construction equipment. The construction emissions modeling conservatively assumed that all equipment present on the Project Site would be operating simultaneously and continuously throughout most of the day, while in all likelihood this would rarely be the case. Average daily emissions of diesel PM would be less than one pound per day throughout the course of Project construction. Therefore, the magnitude of daily diesel PM emissions, would not be sufficient to result in substantial pollutant concentrations at off-site residential locations nearby.

Furthermore, according to SCAQMD methodology, health risks from carcinogenic air toxics are usually described in terms of individual cancer risk. "Individual Cancer Risk" is the likelihood that a



person exposed to concentrations of TACs over a 30-year period will contract cancer based on the use of standard risk-assessment methodology. The entire duration of construction activities associated with implementation of the Project is anticipated to be approximately 21 months, and the magnitude of daily diesel PM emissions will vary over this time period. No residual emissions and corresponding individual cancer risk are anticipated after construction. Because there is such a short-term exposure period, construction TAC emissions would result in a less-than significant impact. **Therefore, construction of the Project would not expose sensitive receptors to substantial diesel PM concentrations, and this impact would be less than significant.**

## (2) Operation

The Project Site would be developed with land uses that are not typically associated with TAC emissions. Typical sources of acutely and chronically hazardous TACs include industrial manufacturing processes (e.g., chrome plating, electrical manufacturing, petroleum refinery). The Project would not include these types of potential industrial manufacturing process sources. It is expected that quantities of hazardous TACs generated on-site (e.g., cleaning solvents, paints, landscape pesticides, etc.) for the types of proposed land uses would be below thresholds warranting further study under California Accidental Release Program.

When considering potential air quality impacts under CEQA, consideration is given to the location of sensitive receptors within close proximity of land uses that emit TACs. CARB has published and adopted the Air Quality and Land Use Handbook: A Community Health Perspective, which provides recommendations regarding the siting of new sensitive land uses near potential sources of air toxic emissions (e.g., freeways, distribution centers, rail yards, ports, refineries, chrome plating facilities, dry cleaners, and gasoline dispensing facilities).<sup>36</sup>

The SCAQMD adopted similar recommendations in its Guidance Document for Addressing Air Quality Issues in General Plans and Local Planning.<sup>37</sup> Together, the CARB and SCAQMD guidelines recommend siting distances for both the development of sensitive land uses in proximity to TAC sources and the addition of new TAC sources in proximity to existing sensitive land uses.

The primary sources of potential air toxics associated with Project operations include DPM from delivery trucks (e.g., truck traffic on local streets and idling on adjacent streets) and to a lesser extent, facility operations (e.g., natural gas fired boilers). However, these activities, and the land uses associated with the Project, are not considered land uses that generate substantial TAC emissions. It should be noted that the SCAQMD recommends that health risk assessments (HRAs) be conducted for substantial individual sources of DPM (e.g., truck stops and warehouse distribution facilities that generate more than 100 trucks per day or more than 40 trucks with operating transport refrigeration units) and has provided guidance for analyzing mobile source

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<sup>36</sup> CARB, Air Quality and Land Use Handbook, a Community Health Perspective, April 2005.

<sup>37</sup> SCAQMD, Guidance Document for Addressing Air Quality Issues in General Plans and Local Planning, May 6, 2005.



diesel emissions.<sup>38</sup> Based on this guidance, the Project would not include these types of land uses and is not considered to be a substantial source of DPM warranting a refined HRA since daily truck trips to the Project Site would not exceed 100 trucks per day or more than 40 trucks with operating transport refrigeration units. In addition, the CARB-mandated ATCM limits diesel-fueled commercial vehicles (delivery trucks) to idle for no more than 5 minutes at any given time, which would further limit diesel particulate emissions.

As the Project would not contain substantial TAC sources and is consistent with the CARB and SCAQMD guidelines, the Project would not result in the exposure of off-site sensitive receptors to carcinogenic or toxic air contaminants that exceed the maximum incremental cancer risk of 10 in one million or an acute or chronic hazard index of 1.0, and potential TAC impacts would be less than significant.

The Project would generate long-term emissions on-site from area and energy sources that would generate negligible pollutant concentrations of CO, NO<sub>2</sub>, PM<sub>2.5</sub>, or PM<sub>10</sub> at nearby sensitive receptors. While long-term operations of the Project would generate traffic that produces off-site emissions, these would not result in exceedances of CO air quality standards at roadways in the area due to three key factors. First, CO hotspots are extremely rare and only occur in the presence of unusual atmospheric conditions and extremely cold conditions, neither of which applies to this Project area. Second, auto-related emissions of CO continue to decline because of advances in fuel combustion technology in the vehicle fleet. Finally, the Project would not contribute to the levels of congestion that would be needed to produce the amount of emissions needed to trigger a potential CO hotspot.<sup>39</sup>

Finally, the Project would not result in any substantial emissions of TACs during the construction or operations phase. During the construction phase, the primary air quality impacts would be associated with the combustion of diesel fuels, which produce exhaust-related particulate matter that is considered a toxic air contaminant by CARB based on chronic exposure to these emissions.<sup>40</sup> However, construction activities would not produce chronic, long-term exposure to diesel particulate matter. During long-term project operations, the Project does not include typical sources of acutely and chronically hazardous TACs such as industrial manufacturing processes and automotive repair facilities. As a result, the Project would not create substantial concentrations of TACs.

In addition, the SCAQMD recommends that health risk assessments be conducted for substantial sources of diesel particulate emissions (e.g., truck stops and warehouse distribution facilities) and has provided guidance for analyzing mobile source diesel emissions.<sup>41</sup> The Project would not

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<sup>38</sup> SCAQMD, Health Risk Assessment Guidance for Analyzing Cancer Risks from Mobile Source Diesel Idling Emissions for CEQA Air Quality Analysis, 2002.

<sup>39</sup> Caltrans, Transportation Project-Level Carbon Monoxide Protocol, updated October 13, 2010.

<sup>40</sup> California Office of Environmental Health Hazard Assessment. Health Effects of Diesel Exhaust. [www. http://oehha.ca.gov/public\\_info/facts/dieselfacts.html](http://oehha.ca.gov/public_info/facts/dieselfacts.html)

<sup>41</sup> SCAQMD, Health Risk Assessment Guidance for Analyzing Cancer Risks from Mobile Source Diesel Emissions, December 2002.



generate a substantial number of truck trips. Based on the limited activity of TAC sources, the Project would not warrant the need for a health risk assessment associated with on-site activities. **Therefore, Project impacts would be less than significant.**

***Threshold e) Would the project result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?***

The proposed Project would intensify existing residential land uses in the area but would not result in activities that create objectionable odors. It would not include any land uses typically associated with unpleasant odors and local nuisances (e.g., rendering facilities, dry cleaners). SCAQMD regulations that govern nuisances would regulate any occasional odors. As a result, any odor impacts from the Project would be considered **less than significant**. No further analysis is required.

## **d) Cumulative Impacts**

SCAQMD recommends that any construction-related emissions and operational emissions from individual development projects that exceed the project-specific mass daily emissions thresholds identified above also be considered cumulatively considerable.<sup>42</sup> Individual projects that generate emissions not in excess of SCAQMD's significance thresholds would not contribute considerably to any potential cumulative impact. SCAQMD neither recommends quantified analyses of the emissions generated by a set of cumulative development projects nor provides thresholds of significance to be used to assess the impacts associated with these emissions.

### **(1) AQMP Consistency**

Cumulative development is not expected to result in a significant impact in terms of conflicting with, or obstructing implementation of the 2016 AQMP. As discussed previously, growth considered to be consistent with the AQMP would not interfere with attainment because this growth is included in the projections utilized in the formulation of the AQMP. Consequently, as long as growth in the Basin is within the projections for growth identified in the 2016 RTP/SCS, implementation of the AQMP will not be obstructed by such growth. In addition, as discussed previously, the population growth resulting from the Project would be consistent with the growth projections of the AQMP. Each related project would implement feasible air quality mitigation measures to reduce the criteria air pollutants, if required due to any significant emissions impacts. In addition, each related project would be evaluated for its consistency with the land use policies set forth in the AQMP. **Therefore, the Project's contribution to the cumulative impact would not be cumulatively considerable and, therefore, would be less than significant.**

### **(2) Construction**

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<sup>42</sup> White Paper on Regulatory Options for Addressing Cumulative Impacts from Air Pollution Emissions, SCAQMD Board Meeting, September 5, 2003, Agenda No. 29, Appendix D, p. D-3.



As discussed above, the Project's construction-related air quality emissions and cumulative impacts would be less than significant. The Project would comply with regulatory requirements, including the SCAQMD Rule 403 requirements listed above. Based on SCAQMD guidance, individual construction projects that exceed the SCAQMD's recommended daily thresholds for project-specific impacts would cause a cumulatively considerable increase in emissions for those pollutants for which the Air Basin is in non-attainment. As shown above, construction-related daily emissions at the Project Site would not exceed any of the SCAQMD's regional or localized significance thresholds. **Therefore, the Project's contribution to cumulative air quality impacts due to localized emissions would not be cumulatively considerable and, therefore, would be less than significant.**

Similar to the Project, the greatest potential for TAC emissions at each related project would generally involve diesel particulate emissions associated with heavy equipment operations during grading and excavation activities. According to SCAQMD methodology, health effects from carcinogenic air toxics are usually described in terms of individual cancer risk. "Individual Cancer Risk" is the likelihood that a person exposed to concentrations of TACs over a 30-year period will contract cancer, based on the use of standard risk-assessment methodology. Construction activities are temporary, short-term events; thus, construction at each related project would not result in a long-term substantial source of TAC emissions. Additionally, the SCAQMD CEQA guidance does not require a health risk assessment for short-term construction emissions. It is therefore not meaningful to evaluate long-term cancer impacts from construction activities, which occur over relatively short durations. **As such, given the short-term nature of these activities, cumulative toxic emission impacts during construction would be less than significant.**

### (3) Operation

As discussed above, the Project's operational air quality emissions and cumulative impacts would be less than significant. According to the SCAQMD, if an individual project results in air emissions of criteria pollutants that exceed the SCAQMD's recommended daily thresholds for project-specific impacts, then the project would also result in a cumulatively considerable net increase of these criteria pollutants. As operational emissions would not exceed any of the SCAQMD's regional or localized significance thresholds, the emissions of non-attainment pollutants and precursors generated by Project operations would not be cumulatively considerable.

With respect to TAC emissions, neither the Project nor any of the related projects (which are largely residential, retail/commercial, and office in nature), would represent a substantial source of TAC emissions, which are typically associated with large-scale industrial, manufacturing, and transportation hub facilities. The Project and related projects would be consistent with the recommended screening level siting distances for TAC sources, as set forth in CARB's Land Use Guidelines, and the Project and related projects would not result in a cumulative impact requiring further evaluation. However, the related projects could generate minimal TAC emissions related to the use of consumer products and landscape maintenance activities, among other things. Pursuant to AB 1807, which directs the CARB to identify substances as TACs and adopt airborne



toxic control measures to control such substances, the SCAQMD has adopted numerous rules (primarily in Regulation XIV) that specifically address TAC emissions. These SCAQMD rules have resulted in and will continue to result in substantial Basin-wide TAC emissions reductions. As such, cumulative TAC emissions during long-term operations would be less than significant. **Therefore, the Project would not result in any substantial sources of TACs that have been identified by the CARB's Land Use Guidelines, and thus, would not contribute to a cumulative impact.**

## **e) Regulatory Compliance Measures**

The Proposed Project will be required to comply with a number of ordinances, rules, and regulations that govern energy use, transportation, utilities, and other resources that will reduce air quality emissions. These include, but are not limited to:

- Comply with the 2017 Los Angeles Green Building Code (LAGBC),<sup>43</sup> which builds upon and sets higher standards than those in the 2016 California Green Building Standards Code (CalGreen, effective January 1, 2017).<sup>44</sup>
- Inclusion of native plants and drip/subsurface irrigation systems that reduce water use.
- Individual metering or sub metering for residences to reduce water use
- Installation of leak detection systems
- Infrastructure that supports electric vehicle charging.
- Use of best available control measures to reduce fugitive dust during the construction process pursuant to SCAQMD Rule 403.
- *Use of architectural coatings that meet low-VOC content limits established by SCAQMD Rule 1113.*

## **f) Mitigation Measures**

None required.

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<sup>43</sup> LA Department of Building and Safety: <http://ladbs.org/forms-publications/forms/green-building>

<sup>44</sup> California Building Codes: <http://www.bsc.ca.gov/Codes.aspx>



# TECHNICAL APPENDIX



4055 Oakwood Avenue Future - Los Angeles-South Coast County, Summer  
**4055 Oakwood Avenue Future**  
Los Angeles-South Coast County, Summer

**1.0 Project Characteristics**

**1.1 Land Usage**

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Enclosed Parking with Elevator	85.00	Space	0.34	34,000.00	0
Apartments Mid Rise	68.00	Dwelling Unit	0.34	68,000.00	194

**1.2 Other Project Characteristics**

Urbanization	Urban	Wind Speed (m/s)	2.2	Precipitation Freq (Days)	33
Climate Zone	11			Operational Year	2021
Utility Company	Los Angeles Department of Water & Power				
CO2 Intensity (lb/MWhr)	1227.89	CH4 Intensity (lb/MWhr)	0.029	N2O Intensity (lb/MWhr)	0.006

**1.3 User Entered Comments & Non-Default Data**

- Project Characteristics -
- Land Use - Developer information
- Construction Phase - Consultant assumptions
- Trips and VMT - Assumes 10 CY per haul truck capacity
- Demolition - Developer information
- Grading - Developer information
- Woodstoves - Developer information
- Construction Off-road Equipment Mitigation - Assumes SCAQMD Rule 403 control efficiencies



Table Name	Column Name	Default Value	New Value
tblConstDustMitigation	CleanPavedRoadPer centReduction	0	46
tblConstructionPhase	NumDays	10.00	22.00
tblConstructionPhase	NumDays	1.00	20.00
tblConstructionPhase	NumDays	2.00	21.00
tblConstructionPhase	NumDays	100.00	459.00
tblConstructionPhase	NumDays	5.00	132.00
tblFireReplaces	NumberGas	57.80	0.00
tblFireReplaces	NumberNoOfFireplace	6.80	68.00
tblFireReplaces	NumberWood	3.40	0.00
tblGrading	AcresOfGrading	0.00	0.68
tblGrading	AcresOfGrading	10.00	0.50
tblGrading	MaterialExported	0.00	13,500.00
tblLandUse	LotAcreage	0.76	0.34
tblLandUse	LotAcreage	1.79	0.34
tblTripsAndVMT	HaulingTripsNumber	1,688.00	1,350.00
tblWoodStoves	NumberCatalytic	3.40	0.00
tblWoodStoves	NumberNoncatalytic	3.40	0.00

## 2.0 Emissions Summary

### 2.1 Overall Construction (Maximum Daily Emission)

#### Unmitigated Construction

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2019	1.6071	28.3302	12.3719	0.0646	2.0955	0.6210	2.7058	0.7662	0.5825	1.3487	0.0000	6,838.5279	6,838.5279	0.6080	0.0000	6,853.7283
2020	4.7950	12.1678	12.9088	0.0267	0.9327	0.6469	1.5796	0.2493	0.6043	0.8536	0.0000	2,638.4040	2,638.4040	0.4287	0.0000	2,649.1208



Maximum	4.7950	28.3302	12.9088	0.0646	2.0955	0.6469	2.7058	0.7662	0.6043	1.3487	0.0000	6,838.5279	6,838.5279	0.6080	0.0000	6,853.7283
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### Mitigated Construction

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2019	1.6071	28.3302	12.3719	0.0646	1.1186	0.6210	1.7289	0.3896	0.5825	0.9720	0.0000	6,838.5279	6,838.5279	0.6080	0.0000	6,853.7283
2020	4.7950	12.1678	12.9088	0.0267	0.5657	0.6469	1.2126	0.1592	0.6043	0.7635	0.0000	2,638.4040	2,638.4040	0.4287	0.0000	2,649.1208
Maximum	4.7950	28.3302	12.9088	0.0646	1.1186	0.6469	1.7289	0.3896	0.6043	0.9720	0.0000	6,838.5279	6,838.5279	0.6080	0.0000	6,853.7283

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	44.38	0.00	31.36	45.96	0.00	21.20	0.00	0.00	0.00	0.00	0.00	0.00

## 2.2 Overall Operational

### Unmitigated Operational

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	1.6488	0.0650	5.6310	3.0000e-004	0.0310	0.0310		0.0310	0.0310	0.0000	10.1202	10.1202	9.8400e-003	0.0000		10.3661
Energy	0.0185	0.1583	0.0673	1.0100e-003	0.0128	0.0128		0.0128	0.0128	0.0128		202.0151	202.0151	3.8700e-003	3.7000e-003	203.2156
Mobile	0.8772	4.1307	12.0426	0.0415	3.2858	0.0342	3.3200	0.8794	0.0319	0.9113		4,223.2964	4,223.2964	0.2193		4,228.7787
Total	2.5445	4.3539	17.7409	0.0429	3.2858	0.0780	3.3638	0.8794	0.0758	0.9551	0.0000	4,435.4316	4,435.4316	0.2330	3.7000e-003	4,442.3604



**Mitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	1.6488	0.0650	5.6310	3.0000e-004	0.0310	0.0310	0.0310	0.0310	0.0310	0.0310	0.0000	10.1202	10.1202	9.8400e-003	0.0000	10.3661
Energy	0.0185	0.1583	0.0673	1.0100e-003	0.0128	0.0128	0.0128	0.0128	0.0128	0.0128		202.0151	202.0151	3.8700e-003	3.7000e-003	203.2156
Mobile	0.8772	4.1307	12.0426	0.0415	3.2858	0.0342	3.3200	0.8794	0.0319	0.9113		4.223.2964	4.223.2964	0.2193		4.228.7787
Total	2.5445	4.3539	17.7409	0.0429	3.2858	0.0780	3.3638	0.8794	0.0758	0.9551	0.0000	4,435.4316	4,435.4316	0.2330	3.7000e-003	4,442.3604

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

**3.0 Construction Detail**

**Construction Phase**

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Demolition	Demolition	1/2/2019	1/31/2019	5	22	
2	Site Preparation	Site Preparation	2/1/2019	2/28/2019	5	20	
3	Grading	Grading	3/1/2019	3/31/2019	5	21	
4	Building Construction	Building Construction	4/1/2019	12/31/2020	5	459	
5	Architectural Coating	Architectural Coating	7/1/2020	12/31/2020	5	132	

**Acres of Grading (Site Preparation Phase): 0.5**

**Acres of Grading (Grading Phase): 0.68**

**Acres of Paving: 0.34**



Residential Indoor: 137,700; Residential Outdoor: 45,900; Non-Residential Indoor: 0; Non-Residential Outdoor: 0; Striped Parking Area: 2,040

**OffRoad Equipment**

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Demolition	Rubber Tired Dozers	1	1.00	247	0.40
Demolition	Tractors/Loaders/Backhoes	2	6.00	97	0.37
Site Preparation	Graders	1	8.00	187	0.41
Site Preparation	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Grading	Concrete/Industrial Saws	1	8.00	81	0.73
Grading	Rubber Tired Dozers	1	1.00	247	0.40
Grading	Tractors/Loaders/Backhoes	2	6.00	97	0.37
Building Construction	Cranes	1	4.00	231	0.29
Building Construction	Forklifts	2	6.00	89	0.20
Building Construction	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Architectural Coating	Air Compressors	1	6.00	78	0.48

**Trips and VMT**

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition	4	10.00	0.00	106.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Site Preparation	2	5.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Grading	4	10.00	0.00	1,350.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	5	63.00	13.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	13.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT

**3.1 Mitigation Measures Construction**

Replace Ground Cover

Water Exposed Area

Clean Paved Roads



### 3.2 Demolition - 2019

#### Unmitigated Construction On-Site

	ROG	NOX	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day															
Fugitive Dust					1.0470	0.0000	1.0470	0.1585	0.0000	0.1585			0.0000			0.0000
OffRoad	0.9530	8.6039	7.6917	0.0120		0.5371	0.5371		0.5125	0.5125		1,159.6570	1,159.6570	0.2211		1,165.1847
Total	0.9530	8.6039	7.6917	0.0120	1.0470	0.5371	1.5841	0.1585	0.5125	0.6710		1,159.6570	1,159.6570	0.2211		1,165.1847

#### Unmitigated Construction Off-Site

	ROG	NOX	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day															
Hauling	0.0453	1.4757	0.3146	3.8500e-003	0.0842	5.4200e-003	0.0897	0.0231	5.1800e-003	0.0283		416.5375	416.5375	0.0287		417.2546
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0500	0.0367	0.4822	1.2200e-003	0.1118	9.6000e-004	0.1127	0.0296	8.9000e-004	0.0305		121.2953	121.2953	4.1700e-003		121.3995
Total	0.0952	1.5125	0.7968	5.0700e-003	0.1960	6.3800e-003	0.2024	0.0527	6.0700e-003	0.0588		537.8328	537.8328	0.0329		538.6541

#### Mitigated Construction On-Site



	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.3879	0.0000	0.3879	0.0587	0.0000	0.0587			0.0000			0.0000
Off-Road	0.9530	8.6039	7.6917	0.0120		0.5371	0.5371		0.5125	0.5125	0.0000	1,159.6570	1,159.6570	0.2211		1,165.1847
Total	0.9530	8.6039	7.6917	0.0120	0.3879	0.5371	0.9250	0.0587	0.5125	0.5712	0.0000	1,159.6570	1,159.6570	0.2211		1,165.1847

### Mitigated Construction Off-Site

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0453	1.4757	0.3146	3.8500e-003	0.0549	5.4200e-003	0.0604	0.0159	5.1800e-003	0.0211		416.5375	416.5375	0.0287		417.2546
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0500	0.0367	0.4822	1.2200e-003	0.0671	9.6000e-004	0.0680	0.0187	8.9000e-004	0.0196		121.2953	121.2953	4.1700e-003		121.3995
Total	0.0952	1.5125	0.7968	5.0700e-003	0.1220	6.3800e-003	0.1284	0.0346	6.0700e-003	0.0406		537.8328	537.8328	0.0329		538.6541

### **3.3 Site Preparation - 2019**

### Unmitigated Construction On-Site

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.0265	0.0000	0.0265	2.8600e-003	0.0000	2.8600e-003			0.0000			0.0000
Off-Road	0.7195	8.9170	4.1407	9.7500e-003		0.3672	0.3672		0.3378	0.3378		965.1690	965.1690	0.3054		972.8032



Total	0.7195	8.9170	4.1407	9.7500e-003	0.0265	0.3672	0.3937	2.8600e-003	0.3378	0.3407		965.1690	965.1690	0.3054		972.8032
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Unmitigated Construction Off-Site

Category	ROG	NOX	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
lb/day																
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0250	0.0184	0.2411	6.1000e-004	0.0559	4.8000e-004	0.0564	0.0148	4.4000e-004	0.0153		60.6476	60.6476	2.0800e-003		60.6997
Total	0.0250	0.0184	0.2411	6.1000e-004	0.0559	4.8000e-004	0.0564	0.0148	4.4000e-004	0.0153		60.6476	60.6476	2.0800e-003		60.6997

Mitigated Construction On-Site

Category	ROG	NOX	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
lb/day																
Fugitive Dust					9.8200e-003	0.0000	9.8200e-003	1.0600e-003	0.0000	1.0600e-003			0.0000			0.0000
OffRoad	0.7195	8.9170	4.1407	9.7500e-003		0.3672	0.3672		0.3378	0.3378	0.0000	965.1690	965.1690	0.3054		972.8032
Total	0.7195	8.9170	4.1407	9.7500e-003	9.8200e-003	0.3672	0.3770	1.0600e-003	0.3378	0.3389	0.0000	965.1690	965.1690	0.3054		972.8032

Mitigated Construction Off-Site







Hauling	0.6041	19.6896	4.1980	0.0514	1.1240	0.0723	1.1962	0.3081	0.0691	0.3772		5,557.5756	5,557.5756	0.3827		5,567.1442
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0500	0.0367	0.4822	1.2200e-003	0.1118	9.6000e-004	0.1127	0.0296	8.9000e-004	0.0305		121.2953	121.2953	4.1700e-003		121.3995
<b>Total</b>	<b>0.6541</b>	<b>19.7264</b>	<b>4.6802</b>	<b>0.0526</b>	<b>1.2357</b>	<b>0.0732</b>	<b>1.3090</b>	<b>0.3377</b>	<b>0.0700</b>	<b>0.4077</b>		<b>5,678.8709</b>	<b>5,678.8709</b>	<b>0.3869</b>		<b>5,688.5436</b>

**Mitigated Construction On-Site**

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day															
Fugitive Dust					0.3186	0.0000	0.3186	0.1588	0.0000	0.1588			0.0000			0.0000
Off-Road	0.9530	8.6039	7.6917	0.0120		0.5371	0.5371		0.5125	0.5125	0.0000	1,159.6570	1,159.6570	0.2211		1,165.1847
<b>Total</b>	<b>0.9530</b>	<b>8.6039</b>	<b>7.6917</b>	<b>0.0120</b>	<b>0.3186</b>	<b>0.5371</b>	<b>0.8556</b>	<b>0.1588</b>	<b>0.5125</b>	<b>0.6712</b>	<b>0.0000</b>	<b>1,159.6570</b>	<b>1,159.6570</b>	<b>0.2211</b>		<b>1,165.1847</b>

**Mitigated Construction Off-Site**

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day															
Hauling	0.6041	19.6896	4.1980	0.0514	0.7330	0.0723	0.8052	0.2121	0.0691	0.2813		5,557.5756	5,557.5756	0.3827		5,567.1442
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0500	0.0367	0.4822	1.2200e-003	0.0671	9.6000e-004	0.0680	0.0187	8.9000e-004	0.0196		121.2953	121.2953	4.1700e-003		121.3995
<b>Total</b>	<b>0.6541</b>	<b>19.7264</b>	<b>4.6802</b>	<b>0.0526</b>	<b>0.8001</b>	<b>0.0732</b>	<b>0.8733</b>	<b>0.2308</b>	<b>0.0700</b>	<b>0.3008</b>		<b>5,678.8709</b>	<b>5,678.8709</b>	<b>0.3869</b>		<b>5,688.5436</b>



### 3.5 Building Construction - 2019

#### Unmitigated Construction On-Site

	ROG	NOX	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day															
Off-Road	0.9576	9.8207	7.5432	0.0114		0.6054	0.6054		0.5569	0.5569	1,127.6696	1,127.6696	0.3568			1,136.5692
Total	0.9576	9.8207	7.5432	0.0114		0.6054	0.6054		0.5569	0.5569	1,127.6696	1,127.6696	0.3568			1,136.5692

#### Unmitigated Construction Off-Site

	ROG	NOX	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day															
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0540	1.5045	0.3992	3.4000e-003	0.0832	9.5900e-003	0.0928	0.0240	9.1800e-003	0.0331	362.4590	362.4590	0.0232			363.0397
Worker	0.3147	0.2313	3.0376	7.6800e-003	0.7042	6.0700e-003	0.7103	0.1868	5.6000e-003	0.1924	764.1603	764.1603	0.0263			764.8165
Total	0.3687	1.7358	3.4368	0.0111	0.7874	0.0157	0.8031	0.2107	0.0148	0.2255	1,126.6193	1,126.6193	0.0495			1,127.8562

#### Mitigated Construction On-Site



	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day															
OffRoad	0.9576	9.8207	7.5432	0.0114		0.6054	0.6054		0.5569	0.5569	0.0000	1,127.6696	1,127.6696	0.3568		1,136.5892
Total	0.9576	9.8207	7.5432	0.0114		0.6054	0.6054		0.5569	0.5569	0.0000	1,127.6696	1,127.6696	0.3568		1,136.5892

### Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day															
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0540	1.5045	0.3992	3.4000e-003	0.0560	9.5900e-003	0.0655	0.0173	9.1800e-003	0.0264		362.4590	362.4590	0.0232		363.0397
Worker	0.3147	0.2313	3.0376	7.6800e-003	0.4226	6.0700e-003	0.4287	0.1176	5.6000e-003	0.1232		764.1603	764.1603	0.0263		764.8165
Total	0.3687	1.7358	3.4368	0.0111	0.4785	0.0157	0.4942	0.1349	0.0148	0.1497		1,126.6193	1,126.6193	0.0495		1,127.8562

### 3.5 Building Construction - 2020

#### Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day															
OffRoad	0.8617	8.8523	7.3875	0.0114		0.5224	0.5224		0.4806	0.4806		1,102.9781	1,102.9781	0.3567		1,111.8862



Total	0.8617	8.8523	7.3875	0.0114		0.5224	0.5224	0.4806	0.4806		1,102.9781	1,102.9781	0.3567		1,111.8962
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**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day															
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0462	1.3828	0.3623	3.3700e-003	0.0832	6.5100e-003	0.0897	0.0240	6.2300e-003	0.0302		360.1321	360.1321	0.0220		360.6815
Worker	0.2899	0.2063	2.7584	7.4400e-003	0.7042	5.8900e-003	0.7101	0.1868	5.4200e-003	0.1922		740.9511	740.9511	0.0234		741.5351
Total	0.3362	1.5891	3.1207	0.0108	0.7874	0.0124	0.7998	0.2107	0.0117	0.2224		1,101.0832	1,101.0832	0.0453		1,102.2166

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day															
Off-Road	0.8617	8.8523	7.3875	0.0114		0.5224	0.5224		0.4806	0.4806	0.0000	1,102.9781	1,102.9781	0.3567		1,111.8962
Total	0.8617	8.8523	7.3875	0.0114		0.5224	0.5224		0.4806	0.4806	0.0000	1,102.9781	1,102.9781	0.3567		1,111.8962

**Mitigated Construction Off-Site**







Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0598	0.0426	0.5692	1.5400e-003	0.1453	1.2100e-003	0.1465	0.0385	1.1200e-003	0.0397		152.8947	152.8947	4.8200e-003		153.0152			
Total	0.0598	0.0426	0.5692	1.5400e-003	0.1453	1.2100e-003	0.1465	0.0385	1.1200e-003	0.0397		152.8947	152.8947	4.8200e-003		153.0152			

**Mitigated Construction On-Site**

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day															
Archit Coating	3.2951					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
OffRoad	0.2422	1.6838	1.8314	2.9700e-003		0.1109	0.1109		0.1109	0.1109	0.0000	281.4481	281.4481	0.0218		281.9928
Total	3.5372	1.6838	1.8314	2.9700e-003		0.1109	0.1109		0.1109	0.1109	0.0000	281.4481	281.4481	0.0218		281.9928

**Mitigated Construction Off-Site**

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day															
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0598	0.0426	0.5692	1.5400e-003	0.0872	1.2100e-003	0.0884	0.0243	1.1200e-003	0.0254		152.8947	152.8947	4.8200e-003		153.0152
Total	0.0598	0.0426	0.5692	1.5400e-003	0.0872	1.2100e-003	0.0884	0.0243	1.1200e-003	0.0254		152.8947	152.8947	4.8200e-003		153.0152



## 4.0 Operational Detail - Mobile

### 4.1 Mitigation Measures Mobile

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	0.8772	4.1307	12.0426	0.0415	3.2858	0.0342	3.3200	0.8794	0.0319	0.9113	4,223.2964	4,223.2964	0.2193			4,228.7787
Unmitigated	0.8772	4.1307	12.0426	0.0415	3.2858	0.0342	3.3200	0.8794	0.0319	0.9113	4,223.2964	4,223.2964	0.2193			4,228.7787

### 4.2 Trip Summary Information

	Average Daily Trip Rate			Unmitigated		Mitigated	
Land Use	Weekday	Saturday	Sunday	Annual VMT		Annual VMT	
Apartments Mid Rise	452.20	434.52	398.48	1,510,381		1,510,381	
Enclosed Parking with Elevator	0.00	0.00	0.00				
Total	452.20	434.52	398.48	1,510,381		1,510,381	

### 4.3 Trip Type Information

	Miles			Trip %			Trip Purpose %		
Land Use	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Mid Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
Enclosed Parking with Elevator	16.60	8.40	6.90	0.00	0.00	0.00	0	0	0

### 4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Mid Rise	0.547192	0.045177	0.202743	0.121510	0.016147	0.006143	0.019743	0.029945	0.002479	0.002270	0.005078	0.000682	0.000891



Enclosed Parking with Elevator	0.547192	0.045177	0.202743	0.121510	0.016147	0.006143	0.019743	0.029945	0.002479	0.002270	0.005078	0.000682	0.000891
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## 5.0 Energy Detail

Historical Energy Use: N

### 5.1 Mitigation Measures Energy

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
NaturalGas Mitigated	0.0185	0.1583	0.0673	1.0100e-003		0.0128	0.0128		0.0128	0.0128	202.0151	202.0151	3.8700e-003	3.7000e-003		203.2156
NaturalGas Unmitigated	0.0185	0.1583	0.0673	1.0100e-003		0.0128	0.0128		0.0128	0.0128	202.0151	202.0151	3.8700e-003	3.7000e-003		203.2156

### 5.2 Energy by Land Use - NaturalGas Unmitigated

	NaturalGas Use	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Mid Rise	1717.13	0.0185	0.1583	0.0673	1.0100e-003		0.0128	0.0128		0.0128	0.0128	202.0151	202.0151	3.8700e-003	3.7000e-003		203.2156
Enclosed Parking with Elevator	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Total		0.0185	0.1583	0.0673	1.0100e-003		0.0128	0.0128		0.0128	0.0128	202.0151	202.0151	3.8700e-003	3.7000e-003		203.2156



**Mitigated**

	Natural Gas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e	
Land Use	kBTU/yr	lb/day										lb/day						
Apartments Mid Rise	1.71713	0.0185	0.1583	0.0673	1.0100e-003		0.0128	0.0128		0.0128	0.0128			202.0151	202.0151	3.8700e-003	3.7000e-003	203.2156
Enclosed Parking with Elevator	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000			0.0000	0.0000	0.0000	0.0000	
Total		0.0185	0.1583	0.0673	1.0100e-003		0.0128	0.0128		0.0128	0.0128			202.0151	202.0151	3.8700e-003	3.7000e-003	203.2156

**6.0 Area Detail**

**6.1 Mitigation Measures Area**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	1.6488	0.0650	5.6310	3.0000e-004		0.0310	0.0310		0.0310	0.0310	0.0000	10.1202	10.1202	9.8400e-003	0.0000	10.3661
Unmitigated	1.6488	0.0650	5.6310	3.0000e-004		0.0310	0.0310		0.0310	0.0310	0.0000	10.1202	10.1202	9.8400e-003	0.0000	10.3661

**6.2 Area by SubCategory**

**Unmitigated**



	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.1192					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	1.3584					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Landscaping	0.1712	0.0650	5.6310	3.0000e-004		0.0310	0.0310		0.0310	0.0310		10.1202	10.1202	9.8400e-003		10.3661
<b>Total</b>	<b>1.6488</b>	<b>0.0650</b>	<b>5.6310</b>	<b>3.0000e-004</b>		<b>0.0310</b>	<b>0.0310</b>		<b>0.0310</b>	<b>0.0310</b>	<b>0.0000</b>	<b>10.1202</b>	<b>10.1202</b>	<b>9.8400e-003</b>	<b>0.0000</b>	<b>10.3661</b>

### Mitigated

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.1192					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	1.3584					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Landscaping	0.1712	0.0650	5.6310	3.0000e-004		0.0310	0.0310		0.0310	0.0310		10.1202	10.1202	9.8400e-003		10.3661
<b>Total</b>	<b>1.6488</b>	<b>0.0650</b>	<b>5.6310</b>	<b>3.0000e-004</b>		<b>0.0310</b>	<b>0.0310</b>		<b>0.0310</b>	<b>0.0310</b>	<b>0.0000</b>	<b>10.1202</b>	<b>10.1202</b>	<b>9.8400e-003</b>	<b>0.0000</b>	<b>10.3661</b>

### 7.0 Water Detail

#### 7.1 Mitigation Measures Water



8.0 Waste Detail

8.1 Mitigation Measures Waste

9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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10.0 Stationary Equipment

Fire Pumps and Emergency Generators

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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Boilers

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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User Defined Equipment

Equipment Type	Number
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11.0 Vegetation



4055 Oakwood Avenue Future - Los Angeles-South Coast County, Annual  
**4055 Oakwood Avenue Future**  
Los Angeles-South Coast County, Annual

**1.0 Project Characteristics**

**1.1 Land Usage**

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Enclosed Parking with Elevator	85.00	Space	0.34	34,000.00	0
Apartments Mid Rise	68.00	Dwelling Unit	0.34	68,000.00	194

**1.2 Other Project Characteristics**

Urbanization	Urban	Wind Speed (m/s)	2.2	Precipitation Freq (Days)	33
Climate Zone	11			Operational Year	2021
Utility Company	Los Angeles Department of Water & Power				
CO2 Intensity (lb/MWhr)	1227.89	CH4 Intensity (lb/MWhr)	0.029	N2O Intensity (lb/MWhr)	0.006

**1.3 User Entered Comments & Non-Default Data**

- Project Characteristics -
- Land Use - Developer information
- Construction Phase - Consultant assumptions
- Trips and VMT - Assumes 10 CY per haul truck capacity
- Demolition - Developer information
- Grading - Developer information
- Woodstoves - Developer information
- Construction Off-road Equipment Mitigation - Assumes SCAQMD Rule 403 control efficiencies



Table Name	Column Name	Default Value	New Value
tblConstDustMitigation	CleanPavedRoadPercentReduction	0	46
tblConstructionPhase	NumDays	10.00	22.00
tblConstructionPhase	NumDays	1.00	20.00
tblConstructionPhase	NumDays	2.00	21.00
tblConstructionPhase	NumDays	100.00	459.00
tblConstructionPhase	NumDays	5.00	132.00
tblFireplaces	NumberGas	57.80	0.00
tblFireplaces	NumberNoFireplace	6.80	68.00
tblFireplaces	NumberWood	3.40	0.00
tblGrading	AcresOfGrading	0.00	0.68
tblGrading	AcresOfGrading	10.00	0.50
tblGrading	MaterialExported	0.00	13,500.00
tblLandUse	LotAcresge	0.76	0.34
tblLandUse	LotAcresge	1.79	0.34
tblTripsAndVMT	HaulingTripNumber	1,688.00	1,350.00
tblWoodstoves	NumberCatalytic	3.40	0.00
tblWoodstoves	NumberNoncatalytic	3.40	0.00

## 2.0 Emissions Summary

### 2.1 Overall Construction

#### Unmitigated Construction

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	toms/yr										MT/yr					
2019	0.1668	1.6502	1.3338	3.1400e-003	0.1123	0.0773	0.1895	0.0309	0.0715	0.1024	0.0000	289.0069	289.0069	0.0474	0.0000	290.1929
2020	0.3946	1.4892	1.5136	3.1500e-003	0.1106	0.0775	0.1880	0.0296	0.0719	0.1015	0.0000	283.2929	283.2929	0.0493	0.0000	284.5259



Maximum	0.3946	1.6502	1.5136	3.1500e-003	0.1123	0.0775	0.1895	0.0309	0.0719	0.1024	0.0000	289.0069	289.0069	0.0493	0.0000	290.1929
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### Mitigated Construction

Year	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
tons/yr																
2019	0.1668	1.6502	1.3338	3.1400e-003	0.0640	0.0773	0.1412	0.0183	0.0715	0.0898	0.0000	289.0067	289.0067	0.0474	0.0000	290.1928
2020	0.3946	1.4892	1.5136	3.1500e-003	0.0673	0.0775	0.1447	0.0190	0.0719	0.0909	0.0000	283.2928	283.2928	0.0493	0.0000	284.5258
Maximum	0.3946	1.6502	1.5136	3.1500e-003	0.0673	0.0775	0.1447	0.0190	0.0719	0.0909	0.0000	289.0067	289.0067	0.0493	0.0000	290.1928
MT/yr																

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	41.11	0.00	24.27	38.39	0.00	11.39	0.00	0.00	0.00	0.00	0.00	0.00

Quarter	Start Date	End Date	Maximum Unmitigated ROG + NOX (tons/quarter)							Maximum Mitigated ROG + NOX (tons/quarter)						
1	1-2-2019	4-1-2019	0.5560							0.5560						
2	4-2-2019	7-1-2019	0.4187							0.4187						
3	7-2-2019	10-1-2019	0.4233							0.4233						
4	10-2-2019	1-1-2020	0.4249							0.4249						
5	1-2-2020	4-1-2020	0.3801							0.3801						
6	4-2-2020	7-1-2020	0.3802							0.3802						
7	7-2-2020	9-30-2020	0.5513							0.5513						
		Highest	0.5560							0.5560						

## 2.2 Overall Operational Unmitigated Operational







### 3.0 Construction Detail

#### Construction Phase

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Demolition	Demolition	1/2/2019	1/31/2019	5	22	
2	Site Preparation	Site Preparation	2/1/2019	2/28/2019	5	20	
3	Grading	Grading	3/1/2019	3/31/2019	5	21	
4	Building Construction	Building Construction	4/1/2019	12/31/2020	5	459	
5	Architectural Coating	Architectural Coating	7/1/2020	12/31/2020	5	132	

Acres of Grading (Site Preparation Phase): 0.5

Acres of Grading (Grading Phase): 0.68

Acres of Paving: 0.34

Residential Indoor: 137,700; Residential Outdoor: 45,900; Non-Residential Indoor: 0; Non-Residential Outdoor: 0; Striped Parking Area: 2,040

#### OffRoad Equipment

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Demolition	Rubber Tired Dozers	1	1.00	247	0.40
Demolition	Tractor/Loaders/Backhoes	2	6.00	97	0.37
Site Preparation	Graders	1	8.00	187	0.41
Site Preparation	Tractor/Loaders/Backhoes	1	8.00	97	0.37
Grading	Concrete/Industrial Saws	1	8.00	81	0.73
Grading	Rubber Tired Dozers	1	1.00	247	0.40
Grading	Tractor/Loaders/Backhoes	2	6.00	97	0.37
Building Construction	Cranes	1	4.00	231	0.29
Building Construction	Forklifts	2	6.00	89	0.20
Building Construction	Tractor/Loaders/Backhoes	2	8.00	97	0.37
Architectural Coating	Air Compressors	1	6.00	78	0.48



### Trips and VMT

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition	4	10.00	0.00	106.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHD
Site Preparation	2	5.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHD
Grading	4	10.00	0.00	1,350.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHD
Building Construction	5	63.00	13.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHD
Architectural Coating	1	13.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHD

### 3.1 Mitigation Measures Construction

Replace Ground Cover

Water Exposed Area

Clean Paved Roads

### 3.2 Demolition - 2019

#### Unmitigated Construction On-Site

Category	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
	tons/yr										MT/yr					
Fugitive Dust					0.0115	0.0000	0.0115	1.7400e-003	0.0000	1.7400e-003	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	0.0105	0.0946	0.0846	1.3000e-004		5.9100e-003	5.9100e-003	5.6400e-003	5.6400e-003	5.6400e-003	0.0000	11.5723	11.5723	2.2100e-003	0.0000	11.6274
Total	0.0105	0.0946	0.0846	1.3000e-004	0.0115	5.9100e-003	0.0174	1.7400e-003	5.6400e-003	7.3800e-003	0.0000	11.5723	11.5723	2.2100e-003	0.0000	11.6274

#### Unmitigated Construction Off-Site







Hauling	5.0000e-004	0.0168	3.5600e-003	4.0000e-005	6.0000e-004	6.0000e-005	6.6000e-004	1.7000e-004	6.0000e-005	2.3000e-004	0.0000	4.1270	4.1270	2.9000e-004	0.0000	4.1343
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	5.5000e-004	4.6000e-004	4.9900e-003	1.0000e-005	7.2000e-004	1.0000e-005	7.4000e-004	2.0000e-004	1.0000e-005	2.1000e-004	0.0000	1.1587	1.1587	4.0000e-005	0.0000	1.1597
Total	1.0500e-003	0.0172	8.5500e-003	5.0000e-005	1.3200e-003	7.0000e-005	1.4000e-003	3.7000e-004	7.0000e-005	4.4000e-004	0.0000	5.2857	5.2857	3.3000e-004	0.0000	5.2940

### 3.3 Site Preparation - 2019

#### Unmitigated Construction On-Site

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					2.7000e-004	0.0000	2.7000e-004	3.0000e-005	0.0000	3.0000e-005	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Off-Road	7.2000e-003	0.0892	0.0414	1.0000e-004		3.6700e-003	3.6700e-003		3.3800e-003	3.3800e-003	0.0000	8.7559	8.7559	2.7700e-003	0.0000	8.8251
Total	7.2000e-003	0.0892	0.0414	1.0000e-004	2.7000e-004	3.6700e-003	3.9400e-003	3.0000e-005	3.3800e-003	3.4100e-003	0.0000	8.7559	8.7559	2.7700e-003	0.0000	8.8251

#### Unmitigated Construction Off-Site

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	2.5000e-004	2.1000e-004	2.2700e-003	1.0000e-005	5.5000e-004	0.0000	5.5000e-004	1.5000e-004	0.0000	1.5000e-004	0.0000	0.5267	0.5267	2.0000e-005	0.0000	0.5271
Total	2.5000e-004	2.1000e-004	2.2700e-003	1.0000e-005	5.5000e-004	0.0000	5.5000e-004	1.5000e-004	0.0000	1.5000e-004	0.0000	0.5267	0.5267	2.0000e-005	0.0000	0.5271



### Mitigated Construction On-Site

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					1.0000e-004	0.0000	1.0000e-004	1.0000e-005	0.0000	1.0000e-005	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
OffRoad	7.2000e-003	0.0892	0.0414	1.0000e-004		3.6700e-003	3.6700e-003		3.3800e-003	3.3800e-003	0.0000	8.7559	8.7559	2.7700e-003	0.0000	8.8251
<b>Total</b>	<b>7.2000e-003</b>	<b>0.0892</b>	<b>0.0414</b>	<b>1.0000e-004</b>	<b>1.0000e-004</b>	<b>3.6700e-003</b>	<b>3.7700e-003</b>	<b>1.0000e-005</b>	<b>3.3800e-003</b>	<b>3.3900e-003</b>	<b>0.0000</b>	<b>8.7559</b>	<b>8.7559</b>	<b>2.7700e-003</b>	<b>0.0000</b>	<b>8.8251</b>

### Mitigated Construction Off-Site

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	2.5000e-004	2.1000e-004	2.2700e-003	1.0000e-005	3.3000e-004	0.0000	3.3000e-004	9.0000e-005	0.0000	1.0000e-004	0.0000	0.5267	0.5267	2.0000e-005	0.0000	0.5271
<b>Total</b>	<b>2.5000e-004</b>	<b>2.1000e-004</b>	<b>2.2700e-003</b>	<b>1.0000e-005</b>	<b>3.3000e-004</b>	<b>0.0000</b>	<b>3.3000e-004</b>	<b>9.0000e-005</b>	<b>0.0000</b>	<b>1.0000e-004</b>	<b>0.0000</b>	<b>0.5267</b>	<b>0.5267</b>	<b>2.0000e-005</b>	<b>0.0000</b>	<b>0.5271</b>

### **3.4 Grading - 2019**

#### Unmitigated Construction On-Site



	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					9.0300e-003	0.0000	9.0300e-003	4.5000e-003	0.0000	4.5000e-003	0.0000	0.0000	0.0000	0.0000		0.0000
Off-Road	0.0100	0.0903	0.0808	1.3000e-004		5.6400e-003	5.6400e-003		5.3800e-003	5.3800e-003	0.0000	11.0462	11.0462	2.1100e-003	0.0000	11.0989
Total	0.0100	0.0903	0.0808	1.3000e-004	9.0300e-003	5.6400e-003	0.0147	4.5000e-003	5.3800e-003	9.8800e-003	0.0000	11.0462	11.0462	2.1100e-003	0.0000	11.0989

**Unmitigated Construction Off-Site**

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	6.4100e-003	0.2136	0.0454	5.4000e-004	0.0116	7.6000e-004	0.0124	3.1900e-003	7.3000e-004	3.9200e-003	0.0000	52.5613	52.5613	3.7100e-003	0.0000	52.6539
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	5.3000e-004	4.4000e-004	4.7700e-003	1.0000e-005	1.1500e-003	1.0000e-005	1.1600e-003	3.1000e-004	1.0000e-005	3.1000e-004	0.0000	1.1060	1.1060	4.0000e-005	0.0000	1.1070
Total	6.9400e-003	0.2141	0.0502	5.5000e-004	0.0128	7.7000e-004	0.0135	3.5000e-003	7.4000e-004	4.2300e-003	0.0000	53.6673	53.6673	3.7500e-003	0.0000	53.7609

**Mitigated Construction On-Site**

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Fugitive Dust					3.3400e-003	0.0000	3.3400e-003	1.6700e-003	0.0000	1.6700e-003	0.0000	0.0000	0.0000	0.0000		0.0000
Off-Road	0.0100	0.0903	0.0808	1.3000e-004		5.6400e-003	5.6400e-003		5.3800e-003	5.3800e-003	0.0000	11.0462	11.0462	2.1100e-003	0.0000	11.0989



Total	0.0100	0.0903	0.0808	1.3000e-004	3.3400e-003	5.6400e-003	8.9800e-003	1.6700e-003	5.3800e-003	7.0500e-003	0.0000	11.0462	11.0462	2.1100e-003	0.0000	11.0989
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### Mitigated Construction Off-Site

Category	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
Hauling	6.4100e-003	0.2136	0.0454	5.4000e-004	7.5900e-003	7.6000e-004	8.3500e-003	2.2000e-003	7.3000e-004	2.9300e-003	0.0000	52.5613	52.5613	3.7100e-003	0.0000	52.6539
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	5.3000e-004	4.4000e-004	4.7700e-003	1.0000e-005	6.9000e-004	1.0000e-005	7.0000e-004	1.9000e-004	1.0000e-005	2.0000e-004	0.0000	1.1060	1.1060	4.0000e-005	0.0000	1.1070
Total	6.9400e-003	0.2141	0.0502	5.5000e-004	8.2800e-003	7.7000e-004	9.0500e-003	2.3900e-003	7.4000e-004	3.1300e-003	0.0000	53.6673	53.6673	3.7500e-003	0.0000	53.7609
	MT/yr															

### 3.5 Building Construction - 2019

### Unmitigated Construction On-Site

Category	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
	tons/yr															
Off-Road	0.0943	0.9673	0.7430	1.1200e-003		0.0596	0.0596		0.0549	0.0549	0.0000	100.7660	100.7660	0.0319	0.0000	101.5630
Total	0.0943	0.9673	0.7430	1.1200e-003		0.0596	0.0596		0.0549	0.0549	0.0000	100.7660	100.7660	0.0319	0.0000	101.5630
	MT/yr															

### Unmitigated Construction Off-Site







Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	5.4200e-003	0.1513	0.0414	3.3000e-004	5.4400e-003	9.5000e-004	6.3900e-003	1.6800e-003	9.1000e-004	2.3900e-003	0.0000	32.0208	32.0208	2.1400e-003	0.0000	32.0742			
Worker	0.0311	0.0259	0.2817	7.2000e-004	0.0409	6.0000e-004	0.0415	0.0114	5.5000e-004	0.0120	0.0000	65.3661	65.3661	2.2500e-003	0.0000	65.4223			
Total	0.0365	0.1772	0.3231	1.0500e-003	0.0463	1.5500e-003	0.0479	0.0131	1.4600e-003	0.0146	0.0000	97.3869	97.3869	4.3900e-003	0.0000	97.4965			

### 3.5 Building Construction - 2020

#### Unmitigated Construction On-Site

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr															
Off-Road	0.1129	1.1597	0.9678	1.4900e-003		0.0684	0.0684		0.0630	0.0630	0.0000	131.0792	131.0792	0.0424	0.0000	132.1391
Total	0.1129	1.1597	0.9678	1.4900e-003		0.0684	0.0684		0.0630	0.0630	0.0000	131.0792	131.0792	0.0424	0.0000	132.1391

#### Unmitigated Construction Off-Site

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr															
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	6.1800e-003	0.1846	0.0500	4.4000e-004	0.0107	8.6000e-004	0.0116	3.1000e-003	8.2000e-004	3.9200e-003	0.0000	42.3070	42.3070	2.6900e-003	0.0000	42.3742
Worker	0.0381	0.0307	0.3397	9.3000e-004	0.0904	7.7000e-004	0.0912	0.0240	7.1000e-004	0.0247	0.0000	84.2921	84.2921	2.6600e-003	0.0000	84.3585
Total	0.0443	0.2153	0.3897	1.3700e-003	0.1012	1.6300e-003	0.1028	0.0271	1.5300e-003	0.0287	0.0000	126.5990	126.5990	5.3500e-003	0.0000	126.7327



### Mitigated Construction On-Site

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Off-Road	0.1129	1.1597	0.9678	1.4900e-003		0.0684	0.0684		0.0630	0.0630	0.0000	131.0791	131.0791	0.0424	0.0000	132.1389
Total	0.1129	1.1597	0.9678	1.4900e-003		0.0684	0.0684		0.0630	0.0630	0.0000	131.0791	131.0791	0.0424	0.0000	132.1389

### Mitigated Construction Off-Site

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	6.1800e-003	0.1846	0.0500	4.4000e-004	7.2300e-003	8.6000e-004	8.0900e-003	2.2400e-003	8.2000e-004	3.0600e-003	0.0000	42.3070	42.3070	2.6900e-003	0.0000	42.3742
Worker	0.0381	0.0307	0.3397	9.3000e-004	0.0544	7.7000e-004	0.0552	0.0152	7.1000e-004	0.0159	0.0000	84.2921	84.2921	2.6600e-003	0.0000	84.3585
Total	0.0443	0.2153	0.3897	1.3700e-003	0.0616	1.6300e-003	0.0632	0.0174	1.5300e-003	0.0189	0.0000	126.5990	126.5990	5.3500e-003	0.0000	126.7327

### 3.6 Architectural Coating - 2020

#### Unmitigated Construction On-Site



	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Archit. Coating	0.2175					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000
Off-Road	0.0160	0.1111	0.1209	2.0000e-004	7.3200e-003	7.3200e-003		7.3200e-003	7.3200e-003		0.0000	16.8515	16.8515	1.3000e-003	0.0000	16.8841
Total	0.2335	0.1111	0.1209	2.0000e-004	7.3200e-003	7.3200e-003		7.3200e-003	7.3200e-003		0.0000	16.8515	16.8515	1.3000e-003	0.0000	16.8841

**Unmitigated Construction Off-Site**

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000
Worker	3.9600e-003	3.1900e-003	0.0353	1.0000e-004	9.4000e-003	8.0000e-005	9.4800e-003	2.5000e-003	7.0000e-005	2.5700e-003	0.0000	8.7632	8.7632	2.8000e-004	0.0000	8.7701
Total	3.9600e-003	3.1900e-003	0.0353	1.0000e-004	9.4000e-003	8.0000e-005	9.4800e-003	2.5000e-003	7.0000e-005	2.5700e-003	0.0000	8.7632	8.7632	2.8000e-004	0.0000	8.7701

**Mitigated Construction On-Site**

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Archit. Coating	0.2175					0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000
Off-Road	0.0160	0.1111	0.1209	2.0000e-004	7.3200e-003	7.3200e-003		7.3200e-003	7.3200e-003		0.0000	16.8515	16.8515	1.3000e-003	0.0000	16.8841



Total	0.2335	0.1111	0.1209	2.0000e-004		7.3200e-003	7.3200e-003		7.3200e-003	7.3200e-003	0.0000	16.8515	16.8515	1.3000e-003	0.0000	16.8841
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Mitigated Construction Off-Site

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr															
	MT/yr															
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	3.9600e-003	3.1900e-003	0.0353	1.0000e-004	5.6500e-003	8.0000e-005	5.7300e-003	1.5800e-003	7.0000e-005	1.6500e-003	0.0000	8.7632	8.7632	2.8000e-004	0.0000	8.7701
Total	3.9600e-003	3.1900e-003	0.0353	1.0000e-004	5.6500e-003	8.0000e-005	5.7300e-003	1.5800e-003	7.0000e-005	1.6500e-003	0.0000	8.7632	8.7632	2.8000e-004	0.0000	8.7701

4.0 Operational Detail - Mobile

4.1 Mitigation Measures Mobile

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	tons/yr										MT/yr					
Mitigated	0.1482	0.7684	2.0625	7.1300e-003	0.5733	6.0900e-003	0.5793	0.1537	5.6900e-003	0.1594	0.0000	657.6724	657.6724	0.0361	0.0000	658.5502
Unmitigated	0.1482	0.7684	2.0625	7.1300e-003	0.5733	6.0900e-003	0.5793	0.1537	5.6900e-003	0.1594	0.0000	657.6724	657.6724	0.0361	0.0000	658.5502



## 4.2 Trip Summary Information

	Average Daily Trip Rate			Unmitigated	Mitigated
	Weekday	Saturday	Sunday	Annual VMT	Annual VMT
Land Use					
Apartments Mid Rise	452.20	434.52	398.48	1,510,381	1,510,381
Enclosed Parking with Elevator	0.00	0.00	0.00		
Total	452.20	434.52	398.48	1,510,381	1,510,381

### 4.3 Trip Type Information

	Miles			Trip %			Trip Purpose %		
	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Mid Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
Enclosed Parking with Elevator	16.60	8.40	6.90	0.00	0.00	0.00	0	0	0

#### 4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Mid Rise	0.547192	0.0465177	0.202743	0.121510	0.016147	0.006143	0.019743	0.029945	0.002479	0.002270	0.005078	0.000682	0.000889
Enclosed Parking with Elevator	0.547192	0.0465177	0.202743	0.121510	0.016147	0.006143	0.019743	0.029945	0.002479	0.002270	0.005078	0.000682	0.000889

## 5.0 Energy Detail

Historical Energy Use: N

## 5.1 Mitigation Measures Energy

Category	tons/yr										MT/yr					
	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Electricity Mitigated							0.0000	0.0000	0.0000	0.0000	0.0000	260.9507	260.9507	6.1600e-003	1.2800e-003	261.4847







	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	MT/yr			
Apartments Mid Rise	269285	149,9816	3.5400e-003	7.3000e-004	150.2886
Enclosed Parking with Elevator	199240	110.9690	2.6200e-003	5.4000e-004	111.1961
Total		260,9507	6.1600e-003	1.2700e-003	261,4847

Mitigated

	Electricity Use	Total CO2	CH4	N2O	CO2e
Land Use	kWh/yr	MT/yr			
Apartments Mid Rise	269285	149,9816	3.5400e-003	7.3000e-004	150.2886
Enclosed Paking with Elevator	199240	110.9690	2.6200e-003	5.4000e-004	111.1961
Total		260,9507	6.1600e-003	1.2700e-003	261,4847

6.0 Area Detail

6.1 Mitigation Measures Area

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
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Mitigated

	Indoor/Outdoor Use	Total CO2	CH4	N2O	CO2e
Land Use	Mgal	MT/yr			
Apartments Mid Rise	4.43047 / 2.79312	50.8197	0.1455	3.6500e-003	55.5458
Enclosed Parking with Elevator	0 / 0	0.0000	0.0000	0.0000	0.0000
Total		50.8197	0.1455	3.6500e-003	55.5458

8.0 Waste Detail

8.1 Mitigation Measures Waste

Category/Year

	Total CO2	CH4	N2O	CO2e
	MT/yr			
Mitigated	6.3496	0.3753	0.0000	15.7308
Unmitigated	6.3496	0.3753	0.0000	15.7308

8.2 Waste by Land Use

Unmitigated



	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Apartments Mid Rise	31.28	6.3496	0.3753	0.0000	15.7308
Enclosed Parking with Elevator	0	0.0000	0.0000	0.0000	0.0000
Total		6.3496	0.3753	0.0000	15.7308

Mitigated

	Waste Disposed	Total CO2	CH4	N2O	CO2e
Land Use	tons	MT/yr			
Apartments Mid Rise	31.28	6.3496	0.3753	0.0000	15.7308
Enclosed Parking with Elevator	0	0.0000	0.0000	0.0000	0.0000
Total		6.3496	0.3753	0.0000	15.7308

9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
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10.0 Stationary Equipment

Fire Pumps and Emergency Generators

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
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**Boilers**

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
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**User Defined Equipment**

Equipment Type	Number
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**11.0 Vegetation**

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4055 Oakwood Avenue Future - Los Angeles-South Coast County, Winter  
**4055 Oakwood Avenue Future**  
Los Angeles-South Coast County, Winter

**1.0 Project Characteristics**

**1.1 Land Usage**

Land Uses	Size	Metric	Lot Acreage	Floor Surface Area	Population
Enclosed Parking with Elevator	85.00	Space	0.34	34,000.00	0
Apartments Mid Rise	68.00	Dwelling Unit	0.34	68,000.00	194

**1.2 Other Project Characteristics**

Urbanization	Urban	Wind Speed (m/s)	2.2	Precipitation Freq (Days)	33
Climate Zone	11			Operational Year	2021
Utility Company	Los Angeles Department of Water & Power				
CO2 Intensity (lb/MWhr)	1227.89	CH4 Intensity (lb/MWhr)	0.029	N2O Intensity (lb/MWhr)	0.006

**1.3 User Entered Comments & Non-Default Data**

- Project Characteristics -
- Land Use - Developer information
- Construction Phase - Consultant assumptions
- Trips and VMT - Assumes 10 CY per haul truck capacity
- Demolition - Developer information
- Grading - Developer information
- Woodstoves - Developer information
- Construction Off-road Equipment Mitigation - Assumes SCAQMD Rule 403 control efficiencies



Table Name	Column Name	Default Value	New Value
tblConstDustMitigation	CleanPavedRoadPerCentReduction	0	46
tblConstructionPhase	NumDays	10.00	22.00
tblConstructionPhase	NumDays	1.00	20.00
tblConstructionPhase	NumDays	2.00	21.00
tblConstructionPhase	NumDays	100.00	459.00
tblConstructionPhase	NumDays	5.00	132.00
tblFireReplaces	NumberGas	57.80	0.00
tblFireReplaces	NumberNoOfFireplace	6.80	68.00
tblFireReplaces	NumberWood	3.40	0.00
tblGrading	AcresOfGrading	0.00	0.68
tblGrading	AcresOfGrading	10.00	0.50
tblGrading	MaterialExported	0.00	13,500.00
tblLandUse	LotAcreage	0.76	0.34
tblLandUse	LotAcreage	1.79	0.34
tblTripsAndVMT	HaulingTripsNumber	1,688.00	1,350.00
tblWoodStoves	NumberCatalytic	3.40	0.00
tblWoodStoves	NumberNoncatalytic	3.40	0.00

## 2.0 Emissions Summary

### 2.1 Overall Construction (Maximum Daily Emission)

#### Unmitigated Construction

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2019	1.6276	28.5969	12.6159	0.0636	2.0955	0.6212	2.7072	0.7662	0.5838	1.3500	0.0000	6,737.1895	6,737.1895	0.6224	0.0000	6,752.7486
2020	4.8357	12.1942	12.6662	0.0261	0.9327	0.6470	1.5798	0.2493	0.6044	0.8537	0.0000	2,576.3494	2,576.3494	0.4285	0.0000	2,587.0611



Maximum	4.8357	28.5969	12.6662	0.0636	2.0955	0.6470	2.7072	0.7662	0.6044	1.3500	0.0000	6,737.1895	6,737.1895	0.6224	0.0000	6,752.7486
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### Mitigated Construction

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Year	lb/day										lb/day					
2019	1.6276	28.5969	12.6159	0.0636	1.1186	0.6212	1.7303	0.3896	0.5838	0.9733	0.0000	6,737.1895	6,737.1895	0.6224	0.0000	6,752.7486
2020	4.8357	12.1942	12.6662	0.0261	0.5657	0.6470	1.2127	0.1592	0.6044	0.7636	0.0000	2,576.3494	2,576.3494	0.4285	0.0000	2,587.0611
Maximum	4.8357	28.5969	12.6662	0.0636	1.1186	0.6470	1.7303	0.3896	0.6044	0.9733	0.0000	6,737.1895	6,737.1895	0.6224	0.0000	6,752.7486

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	44.38	0.00	31.35	45.96	0.00	21.18	0.00	0.00	0.00	0.00	0.00	0.00

## 2.2 Overall Operational

### Unmitigated Operational

Category	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
	lb/day										lb/day					
Area	1.6488	0.0650	5.6310	3.0000e-004		0.0310	0.0310		0.0310	0.0310	0.0000	10.1202	10.1202	9.8400e-003	0.0000	10.3661
Energy	0.0185	0.1583	0.0673	1.0100e-003		0.0128	0.0128		0.0128	0.0128		202.0151	202.0151	3.8700e-003	3.7000e-003	203.2156
Mobile	0.8524	4.2396	11.4274	0.0395	3.2858	0.0344	3.3202	0.8794	0.0321	0.9115		4,018.9199	4,018.9199	0.2183		4,024.3777
Total	2.5197	4.4629	17.1257	0.0408	3.2858	0.0782	3.3640	0.8794	0.0759	0.9553	0.0000	4,231.0552	4,231.0552	0.2320	3.7000e-003	4,237.9595



**Mitigated Operational**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Area	1.6488	0.0650	5.6310	3.0000e-004	0.0310	0.0310	0.0310	0.0310	0.0310	0.0310	0.0000	10.1202	10.1202	9.8400e-003	0.0000	10.3661
Energy	0.0185	0.1583	0.0673	1.0100e-003	0.0128	0.0128	0.0128	0.0128	0.0128	0.0128		202.0151	202.0151	3.8700e-003	3.7000e-003	203.2156
Mobile	0.8524	4.2396	11.4274	0.0395	3.2858	0.0344	3.3202	0.8794	0.0321	0.9115		4.018.9199	4.018.9199	0.2183		4.024.3777
Total	2.5197	4.4629	17.1257	0.0408	3.2858	0.0782	3.3640	0.8794	0.0759	0.9553	0.0000	4,231.0552	4,231.0552	0.2320	3.7000e-003	4,237.9595

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Percent Reduction	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

**3.0 Construction Detail**

**Construction Phase**

Phase Number	Phase Name	Phase Type	Start Date	End Date	Num Days Week	Num Days	Phase Description
1	Demolition	Demolition	1/22/2019	1/31/2019	5	22	
2	Site Preparation	Site Preparation	2/1/2019	2/28/2019	5	20	
3	Grading	Grading	3/1/2019	3/31/2019	5	21	
4	Building Construction	Building Construction	4/1/2019	12/31/2020	5	459	
5	Architectural Coating	Architectural Coating	7/1/2020	12/31/2020	5	132	

**Acres of Grading (Site Preparation Phase): 0.5**

**Acres of Grading (Grading Phase): 0.68**

**Acres of Paving: 0.34**



Residential Indoor: 137,700; Residential Outdoor: 45,900; Non-Residential Indoor: 0; Non-Residential Outdoor: 0; Striped Parking Area: 2,040

**OffRoad Equipment**

Phase Name	Offroad Equipment Type	Amount	Usage Hours	Horse Power	Load Factor
Demolition	Concrete/Industrial Saws	1	8.00	81	0.73
Demolition	Rubber Tired Dozers	1	1.00	247	0.40
Demolition	Tractors/Loaders/Backhoes	2	6.00	97	0.37
Site Preparation	Graders	1	8.00	187	0.41
Site Preparation	Tractors/Loaders/Backhoes	1	8.00	97	0.37
Grading	Concrete/Industrial Saws	1	8.00	81	0.73
Grading	Rubber Tired Dozers	1	1.00	247	0.40
Grading	Tractors/Loaders/Backhoes	2	6.00	97	0.37
Building Construction	Cranes	1	4.00	231	0.29
Building Construction	Forklifts	2	6.00	89	0.20
Building Construction	Tractors/Loaders/Backhoes	2	8.00	97	0.37
Architectural Coating	Air Compressors	1	6.00	78	0.48

**Trips and VMT**

Phase Name	Offroad Equipment Count	Worker Trip Number	Vendor Trip Number	Hauling Trip Number	Worker Trip Length	Vendor Trip Length	Hauling Trip Length	Worker Vehicle Class	Vendor Vehicle Class	Hauling Vehicle Class
Demolition	4	10.00	0.00	106.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Site Preparation	2	5.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Grading	4	10.00	0.00	1,350.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Building Construction	5	63.00	13.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT
Architectural Coating	1	13.00	0.00	0.00	14.70	6.90	20.00	LD_Mix	HDT_Mix	HHDT

**3.1 Mitigation Measures Construction**

Replace Ground Cover

Water Exposed Area

Clean Paved Roads



### 3.2 Demolition - 2019

#### Unmitigated Construction On-Site

	ROG	NOX	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day															
Fugitive Dust					1.0470	0.0000	1.0470	0.1585	0.0000	0.1585			0.0000			0.0000
OffRoad	0.9530	8.6039	7.6917	0.0120		0.5371	0.5371		0.5125	0.5125		1,159.6570	1,159.6570	0.2211		1,165.1847
Total	0.9530	8.6039	7.6917	0.0120	1.0470	0.5371	1.5841	0.1585	0.5125	0.6710		1,159.6570	1,159.6570	0.2211		1,165.1847

#### Unmitigated Construction Off-Site

	ROG	NOX	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day															
Hauling	0.0464	1.4954	0.3359	3.7800e-003	0.0842	5.5200e-003	0.0898	0.0231	5.2800e-003	0.0284		409.4730	409.4730	0.0298		410.2175
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0554	0.0407	0.4425	1.1500e-003	0.1118	9.6000e-004	0.1127	0.0296	8.9000e-004	0.0305		114.2131	114.2131	3.9300e-003		114.3113
Total	0.1018	1.5361	0.7784	4.9300e-003	0.1960	6.4800e-003	0.2025	0.0527	6.1700e-003	0.0589		523.6861	523.6861	0.0337		524.5288

#### Mitigated Construction On-Site



	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.3879	0.0000	0.3879	0.0587	0.0000	0.0587			0.0000			0.0000
Off-Road	0.9530	8.6039	7.6917	0.0120		0.5371	0.5371		0.5125	0.5125	0.0000	1,159.6570	1,159.6570	0.2211		1,165.1847
Total	0.9530	8.6039	7.6917	0.0120	0.3879	0.5371	0.9250	0.0587	0.5125	0.5712	0.0000	1,159.6570	1,159.6570	0.2211		1,165.1847

### Mitigated Construction Off-Site

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0464	1.4954	0.3359	3.7800e-003	0.0549	5.5200e-003	0.0605	0.0159	5.2800e-003	0.0212		409.4730	409.4730	0.0298		410.2175
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0554	0.0407	0.4425	1.1500e-003	0.0671	9.6000e-004	0.0680	0.0187	8.9000e-004	0.0196		114.2131	114.2131	3.9300e-003		114.3113
Total	0.1018	1.5361	0.7784	4.9300e-003	0.1220	6.4800e-003	0.1285	0.0346	6.1700e-003	0.0407		523.6861	523.6861	0.0337		524.5288

### **3.3 Site Preparation - 2019**

### Unmitigated Construction On-Site

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Fugitive Dust					0.0265	0.0000	0.0265	2.8600e-003	0.0000	2.8600e-003			0.0000			0.0000
Off-Road	0.7195	8.9170	4.1407	9.7500e-003		0.3672	0.3672		0.3378	0.3378		965.1690	965.1690	0.3054		972.8032



Total	0.7195	8.9170	4.1407	9.7500e-003	0.0265	0.3672	0.3937	2.8600e-003	0.3378	0.3407		965.1690	965.1690	0.3054		972.8032
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Unmitigated Construction Off-Site

Category	ROG	NOX	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
lb/day																
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0277	0.0203	0.2212	5.7000e-004	0.0559	4.8000e-004	0.0564	0.0148	4.4000e-004	0.0153		57.1065	57.1065	1.9600e-003		57.1557
Total	0.0277	0.0203	0.2212	5.7000e-004	0.0559	4.8000e-004	0.0564	0.0148	4.4000e-004	0.0153		57.1065	57.1065	1.9600e-003		57.1557

Mitigated Construction On-Site

Category	ROG	NOX	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
lb/day																
Fugitive Dust					9.8200e-003	0.0000	9.8200e-003	1.0600e-003	0.0000	1.0600e-003			0.0000			0.0000
OffRoad	0.7195	8.9170	4.1407	9.7500e-003		0.3672	0.3672		0.3378	0.3378	0.0000	965.1690	965.1690	0.3054		972.8032
Total	0.7195	8.9170	4.1407	9.7500e-003	9.8200e-003	0.3672	0.3770	1.0600e-003	0.3378	0.3389	0.0000	965.1690	965.1690	0.3054		972.8032

Mitigated Construction Off-Site







Hauling	0.6192	19.9524	4.4817	0.0505	1.1240	0.0736	1.1976	0.3081	0.0704	0.3785		5,463.3194	5,463.3194	0.3973		5,473.2526
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0554	0.0407	0.4425	1.1500e-003	0.1118	9.6000e-004	0.1127	0.0286	8.9000e-004	0.0305		114.2131	114.2131	3.9300e-003		114.3113
Total	0.6746	19.9930	4.9242	0.0516	1.2357	0.0746	1.3103	0.3377	0.0713	0.4090		5,577.5325	5,577.5325	0.4013		5,587.5639

### Mitigated Construction On-Site

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day															
Fugitive Dust					0.3186	0.0000	0.3186	0.1588	0.0000	0.1588			0.0000			0.0000
Off-Road	0.9530	8.6039	7.6917	0.0120		0.5371	0.5371		0.5125	0.5125	0.0000	1,159.6570	1,159.6570	0.2211		1,165.1847
Total	0.9530	8.6039	7.6917	0.0120	0.3186	0.5371	0.8556	0.1588	0.5125	0.6712	0.0000	1,159.6570	1,159.6570	0.2211		1,165.1847

### Mitigated Construction Off-Site

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day															
Hauling	0.6192	19.9524	4.4817	0.0505	0.7330	0.0736	0.8066	0.2121	0.0704	0.2825		5,463.3194	5,463.3194	0.3973		5,473.2526
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Worker	0.0554	0.0407	0.4425	1.1500e-003	0.0671	9.6000e-004	0.0680	0.0187	8.9000e-004	0.0196		114.2131	114.2131	3.9300e-003		114.3113
Total	0.6746	19.9930	4.9242	0.0516	0.8001	0.0746	0.8746	0.2308	0.0713	0.3021		5,577.5325	5,577.5325	0.4013		5,587.5639



### 3.5 Building Construction - 2019

#### Unmitigated Construction On-Site

	ROG	NOX	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day															
Off-Road	0.9576	9.8207	7.5432	0.0114		0.6054	0.6054		0.5569	0.5569	1,127.6696	1,127.6696	0.3568			1,136.5692
Total	0.9576	9.8207	7.5432	0.0114		0.6054	0.6054		0.5569	0.5569	1,127.6696	1,127.6696	0.3568			1,136.5692

#### Unmitigated Construction Off-Site

	ROG	NOX	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day															
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000
Vendor	0.0563	1.5065	0.4400	3.3100e-003	0.0832	9.7500e-003	0.0930	0.0240	9.3300e-003	0.0333	362.6602	362.6602	0.0248			353.2796
Worker	0.3489	0.2562	2.7876	7.2300e-003	0.7042	6.0700e-003	0.7103	0.1868	5.6000e-003	0.1924	719.5424	719.5424	0.0248			720.1612
Total	0.4052	1.7627	3.2276	0.0105	0.7874	0.0158	0.8032	0.2107	0.0149	0.2256	1,072.2027	1,072.2027	0.0495			1,073.4408

#### Mitigated Construction On-Site



	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day															
OffRoad	0.9576	9.8207	7.5432	0.0114		0.6054	0.6054		0.5569	0.5569	0.0000	1,127.6696	1,127.6696	0.3568		1,136.5892
Total	0.9576	9.8207	7.5432	0.0114		0.6054	0.6054		0.5569	0.5569	0.0000	1,127.6696	1,127.6696	0.3568		1,136.5892

### Mitigated Construction Off-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day															
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0563	1.5065	0.4400	3.3100e-003	0.0560	9.7500e-003	0.0657	0.0173	9.3300e-003	0.0266		352.6602	352.6602	0.0248		353.2796
Worker	0.3489	0.2562	2.7876	7.2300e-003	0.4226	6.0700e-003	0.4287	0.1176	5.6000e-003	0.1232		719.5424	719.5424	0.0248		720.1612
Total	0.4052	1.7627	3.2276	0.0105	0.4785	0.0158	0.4944	0.1349	0.0149	0.1498		1,072.2027	1,072.2027	0.0495		1,073.4408

### 3.5 Building Construction - 2020

#### Unmitigated Construction On-Site

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio-CO2	NBio-CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day															
OffRoad	0.8617	8.8523	7.3875	0.0114		0.5224	0.5224		0.4806	0.4806		1,102.9781	1,102.9781	0.3567		1,111.8862



Total	0.8617	8.8523	7.3875	0.0114		0.5224	0.5224	0.4806	0.4806		1,102.9781	1,102.9781	0.3567		1,111.8962
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**Unmitigated Construction Off-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day															
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Vendor	0.0483	1.3826	0.3996	3.2800e-003	0.0832	6.6100e-003	0.0898	0.0240	6.3200e-003	0.0303		350.2838	350.2838	0.0234		350.8694
Worker	0.3219	0.2284	2.5264	7.0000e-003	0.7042	5.8900e-003	0.7101	0.1868	5.4200e-003	0.1922		697.6748	697.6748	0.0220		698.2246
Total	0.3703	1.6109	2.9260	0.0103	0.7874	0.0125	0.7999	0.2107	0.0117	0.2225		1,047.9586	1,047.9586	0.0454		1,049.0940

**Mitigated Construction On-Site**

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day															
Off-Road	0.8617	8.8523	7.3875	0.0114		0.5224	0.5224		0.4806	0.4806	0.0000	1,102.9781	1,102.9781	0.3567		1,111.8962
Total	0.8617	8.8523	7.3875	0.0114		0.5224	0.5224		0.4806	0.4806	0.0000	1,102.9781	1,102.9781	0.3567		1,111.8962

**Mitigated Construction Off-Site**







Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Worker	0.0664	0.0471	0.5213	1.4500e-003	0.1453	1.2100e-003	0.1465	0.0385	1.1200e-003	0.0397		143.9647	143.9647	4.5400e-003		144.0781		
Total	0.0664	0.0471	0.5213	1.4500e-003	0.1453	1.2100e-003	0.1465	0.0385	1.1200e-003	0.0397		143.9647	143.9647	4.5400e-003		144.0781		

**Mitigated Construction On-Site**

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day															
Archit Coating	3.2951					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
OffRoad	0.2422	1.6838	1.8314	2.9700e-003		0.1109	0.1109		0.1109	0.1109	0.0000	281.4481	281.4481	0.0218		281.9928
Total	3.5372	1.6838	1.8314	2.9700e-003		0.1109	0.1109		0.1109	0.1109	0.0000	281.4481	281.4481	0.0218		281.9928

**Mitigated Construction Off-Site**

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Hauling	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000			0.0000
Vendor	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000			0.0000
Worker	0.0664	0.0471	0.5213	1.4500e-003	0.0872	1.2100e-003	0.0884	0.0243	1.1200e-003	0.0254		143.9647	143.9647	4.5400e-003		144.0781
Total	0.0664	0.0471	0.5213	1.4500e-003	0.0872	1.2100e-003	0.0884	0.0243	1.1200e-003	0.0254		143.9647	143.9647	4.5400e-003		144.0781



## 4.0 Operational Detail - Mobile

### 4.1 Mitigation Measures Mobile

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	0.8524	4.2396	11.4274	0.0395	3.2858	0.0344	3.3202	0.8794	0.0321	0.9115	4,018.9199	4,018.9199	0.2183			4,024.3777
Unmitigated	0.8524	4.2396	11.4274	0.0395	3.2858	0.0344	3.3202	0.8794	0.0321	0.9115	4,018.9199	4,018.9199	0.2183			4,024.3777

### 4.2 Trip Summary Information

	Average Daily Trip Rate			Unmitigated		Mitigated	
Land Use	Weekday	Saturday	Sunday	Annual VMT		Annual VMT	
Apartments Mid Rise	452.20	434.52	398.48	1,510,381		1,510,381	
Enclosed Parking with Elevator	0.00	0.00	0.00				
Total	452.20	434.52	398.48	1,510,381		1,510,381	

### 4.3 Trip Type Information

	Miles			Trip %			Trip Purpose %		
Land Use	H-W or C-W	H-S or C-C	H-O or C-NW	H-W or C-W	H-S or C-C	H-O or C-NW	Primary	Diverted	Pass-by
Apartments Mid Rise	14.70	5.90	8.70	40.20	19.20	40.60	86	11	3
Enclosed Parking with Elevator	16.60	8.40	6.90	0.00	0.00	0.00	0	0	0

### 4.4 Fleet Mix

Land Use	LDA	LDT1	LDT2	MDV	LHD1	LHD2	MHD	HHD	OBUS	UBUS	MCY	SBUS	MH
Apartments Mid Rise	0.547192	0.045177	0.202743	0.121510	0.016147	0.006143	0.019743	0.029945	0.002479	0.002270	0.005078	0.000682	0.000891



Enclosed Parking with Elevator	0.547192	0.045177	0.202743	0.121510	0.016147	0.006143	0.019743	0.029945	0.002479	0.002270	0.005078	0.000682	0.000891
--------------------------------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------	----------

## 5.0 Energy Detail

Historical Energy Use: N

### 5.1 Mitigation Measures Energy

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
NaturalGas Mitigated	0.0185	0.1583	0.0673	1.0100e-003		0.0128	0.0128		0.0128	0.0128	202.0151	202.0151	3.8700e-003	3.7000e-003		203.2156
NaturalGas Unmitigated	0.0185	0.1583	0.0673	1.0100e-003		0.0128	0.0128		0.0128	0.0128	202.0151	202.0151	3.8700e-003	3.7000e-003		203.2156

### 5.2 Energy by Land Use - NaturalGas Unmitigated

	NaturalGas Use	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Land Use	kBTU/yr	lb/day										lb/day					
Apartments Mid Rise	1717.13	0.0185	0.1583	0.0673	1.0100e-003		0.0128	0.0128		0.0128	0.0128	202.0151	202.0151	3.8700e-003	3.7000e-003		203.2156
Enclosed Parking with Elevator	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000		0.0000
Total		0.0185	0.1583	0.0673	1.0100e-003		0.0128	0.0128		0.0128	0.0128	202.0151	202.0151	3.8700e-003	3.7000e-003		203.2156



Mitigated

	Natural Gas Use	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e	
Land Use	kBTU/yr	lb/day										lb/day						
Apartments Mid Rise	1.71713	0.0185	0.1583	0.0673	1.0100e-003		0.0128	0.0128		0.0128	0.0128			202.0151	202.0151	3.8700e-003	3.7000e-003	203.2156
Enclosed Paking with Elevator	0	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000			0.0000	0.0000	0.0000	0.0000	
Total		0.0185	0.1583	0.0673	1.0100e-003		0.0128	0.0128		0.0128	0.0128			202.0151	202.0151	3.8700e-003	3.7000e-003	203.2156

6.0 Area Detail

6.1 Mitigation Measures Area

	ROG	NOx	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
Category	lb/day										lb/day					
Mitigated	1.6488	0.0650	5.6310	3.0000e-004		0.0310	0.0310		0.0310	0.0310	0.0000	10.1202	10.1202	9.8400e-003	0.0000	10.3661
Unmitigated	1.6488	0.0650	5.6310	3.0000e-004		0.0310	0.0310		0.0310	0.0310	0.0000	10.1202	10.1202	9.8400e-003	0.0000	10.3661

6.2 Area by SubCategory

Unmitigated



	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.1192					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	1.3584					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Landscaping	0.1712	0.0650	5.6310	3.0000e-004		0.0310	0.0310		0.0310	0.0310		10.1202	10.1202	9.8400e-003		10.3661
<b>Total</b>	<b>1.6488</b>	<b>0.0650</b>	<b>5.6310</b>	<b>3.0000e-004</b>		<b>0.0310</b>	<b>0.0310</b>		<b>0.0310</b>	<b>0.0310</b>	<b>0.0000</b>	<b>10.1202</b>	<b>10.1202</b>	<b>9.8400e-003</b>	<b>0.0000</b>	<b>10.3661</b>

### Mitigated

	ROG	NOK	CO	SO2	Fugitive PM10	Exhaust PM10	PM10 Total	Fugitive PM2.5	Exhaust PM2.5	PM2.5 Total	Bio- CO2	NBio- CO2	Total CO2	CH4	N2O	CO2e
SubCategory	lb/day										lb/day					
Architectural Coating	0.1192					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Consumer Products	1.3584					0.0000	0.0000		0.0000	0.0000			0.0000			0.0000
Hearth	0.0000	0.0000	0.0000	0.0000		0.0000	0.0000		0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000	0.0000
Landscaping	0.1712	0.0650	5.6310	3.0000e-004		0.0310	0.0310		0.0310	0.0310		10.1202	10.1202	9.8400e-003		10.3661
<b>Total</b>	<b>1.6488</b>	<b>0.0650</b>	<b>5.6310</b>	<b>3.0000e-004</b>		<b>0.0310</b>	<b>0.0310</b>		<b>0.0310</b>	<b>0.0310</b>	<b>0.0000</b>	<b>10.1202</b>	<b>10.1202</b>	<b>9.8400e-003</b>	<b>0.0000</b>	<b>10.3661</b>

### 7.0 Water Detail

#### 7.1 Mitigation Measures Water



8.0 Waste Detail

8.1 Mitigation Measures Waste

9.0 Operational Offroad

Equipment Type	Number	Hours/Day	Days/Year	Horse Power	Load Factor	Fuel Type
----------------	--------	-----------	-----------	-------------	-------------	-----------

10.0 Stationary Equipment

Fire Pumps and Emergency Generators

Equipment Type	Number	Hours/Day	Hours/Year	Horse Power	Load Factor	Fuel Type
----------------	--------	-----------	------------	-------------	-------------	-----------

Boilers

Equipment Type	Number	Heat Input/Day	Heat Input/Year	Boiler Rating	Fuel Type
----------------	--------	----------------	-----------------	---------------	-----------

User Defined Equipment

Equipment Type	Number
----------------	--------

11.0 Vegetation



4055 Oakwood Avenue  
GHG Emissions Impact Compared to "NAT" Scenario

Source	NAT (2021)	As Proposed (2021)	Reduction from NAT	Change from NAT
Area	1	1	-	0%
Energy	509	295	(214)	-42%
Mobile	938	659	(280)	-30%
Waste	16	16	-	0%
Water	56	56	-	0%
Construction	19	19	-	0%
<b>Total Emissions</b>	<b>1,539</b>	<b>1,045</b>	<b>(493)</b>	<b>-32.1%</b>

Land Use	BAU	As Proposed	Difference
Land Use	68 DU	68 DU	None
Traffic	452 gross ADT	452 gross ADT	None
Area	Same as proposed	Project assumptions	None
Energy	No State measures	See below	State measures
Mobile	No State measures	See below	State measures
Waste	Reduce construction w/	Reduce construction w/	None
Water	Project assumptions	Project assumptions	None

Mobile source emission: Pavley emission standards (19.8% reduction)

Low carbon fuel standard (7.2% reduction)

Vehicle efficiency measures (2.8% reduction)

Energy Production Assu Natural gas transmission and distribution efficiency measures (7.4% reduction)

Natural gas extraction efficiency measures (1.6% reduction)

Renewables (electricity) portfolio standard (33% reduction)



**EXHIBIT H**

CPC-2018-3029-CU-DB-SPP

Historic Resources

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**Oakwood: Revisions to HRA**

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**Janet Hansen** <janet.hansen@lacity.org>

Mon, Jan 28, 2019 at 10:35 AM

To: Daniel Ahadian &lt;daniel@nurdevelopment.com&gt;

Cc: Nuri Cho &lt;nuri.cho@lacity.org&gt;, Andrew Gharibian &lt;Andrew.gharibian@yahoo.com&gt;, Kamran Gharibian &lt;kggharibian@yahoo.com&gt;, Lambert Giessinger &lt;lambert.giessinger@lacity.org&gt;, Christina Toy &lt;christina.toy-lee@lacity.org&gt;, Margarita Jerabek &lt;mjerabek@esassoc.com&gt;, "Daniel F. Freedman" &lt;dff@jmbm.com&gt;

Daniel - We accept this as the final report and confirm the report findings.

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# 4055-4057 AND 4059-4065 WEST OAKWOOD AVENUE, LOS ANGELES, CALIFORNIA

## Historic Resources Assessment

January 2019





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# EXECUTIVE SUMMARY

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## 4055-4057 and 4059-4065 West Oakwood Avenue Historic Resources Assessment Report

The purpose of this Historic Resources Assessment Report (Report) is to document and evaluate improvements previously located at 4055-4057 and 4059-4065 West Oakwood Avenue, City of Los Angeles (City), Los Angeles County, California on assessor parcel numbers (APN) 5520-017-028 (previously 5520-017009 and 5520-017-029 (previously 5520-017-010 (subject properties or Project site). The Project Site is comprised of lots 8, 9, and 10, in Block C in the Re-subdivision of Barrow's Addition, within the City of Los Angeles. The subject properties are presently vacant and unimproved. They were previously improved with a row of Spanish Colonial Revival bungalows originally constructed in 1920-1921 at 4055-4057 Oakwood Avenue, and a Spanish Colonial Revival Bungalow Court originally constructed in 1920 at 4059-4065 Oakwood Avenue. However, these improvements were demolished in 2018. The subject properties are located within the northeast section of the Wilshire Community Plan Area (CPA) that was surveyed in 2015 during the most recent city-wide survey, SurveyLA of the "Wilshire Historic Districts, Planning District and Multi-Property Resources."<sup>1</sup> The 4059-4065 Oakwood Avenue Bungalow Court was identified under Criteria C/3/3 as an excellent example of a 1920s bungalow court in the Wilshire area (Status Code 3S; 3CS; 5S3);<sup>2</sup> however, the row of bungalows at 4055-4057 Oakwood Avenue was not identified as a historical resource in SurveyLA. The subject properties are bounded by Oakwood Avenue to the south; a two-story dingbat apartment building built in 1963 to the east, a two story apartment building built in 1983 to the west, a large apartment building built in 1989 and a two-story single family residence built in the Craftsman style in 1938 north.

To account for the lack of survey data on the previous improvements, ESA conducted thorough property history research sufficient to reach a conclusion supported by substantial evidence, including documentary research on the construction history, alterations, and online research to locate photographs and aerial images of the subject property prior to demolition. This Report was prepared to comply with the California Environmental Quality Act (CEQA), to assess the buildings and landscapes previously located on the subject properties for potential eligibility as historical resources at the federal, state, and local levels of significance. The Report includes a

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<sup>1</sup> SurveyLA, "Historic Districts, Planning Districts, and Multi Property Resources," *Wilshire*, January 26, 2015, pages 1026-1027.

<sup>2</sup> 4059-4065 Oakwood Avenue was evaluated under the context Residential Development and Suburbanization, 1850-1980, sub-context Multi-Family Residential Development, 1910-1980, theme Multi-Family Residential, 1910-1980, sub theme The Bungalow Court, 1910-1939, property type Residential, sub type Bungalow Court.



summary of the research methods used, regulatory setting, a brief history of the subject properties and surrounding area, an architectural description of the subject properties based upon photographic and documentary research, a historic context and evaluation of significance for the subject properties, and an impacts analysis for the redevelopment project proposed for the Project Site, in compliance with CEQA. ESA evaluated the subject properties under the applicable national, State and City eligibility criteria and the associated SurveyLA contexts and themes, Spanish Colonial Revival Style, 1915-1940 (C/3/3), and The Bungalow Court, 1910-1939 (A/1/1 and C/3/3).

ESA found that the subject properties are not associated with significant settlement patterns or neighborhood trends, no significant persons lived there, and the previous improvements were not the work of a master architect or builder. The Bungalow Court at 4059-4065 Oakwood was an altered example that lacked integrity to convey the distinguishing characteristics of the bungalow court property type due later additions that connected the originally detached residences, and because of substantial replacement of the fenestration (windows and doors). The row of bungalows at 4055-4057 Oakwood Avenue was a basic, architecturally undistinguished example. The documentation available to ESA through property history and documentary research along with photographic evidence of the subject properties prior to demolition was sufficient to reach this conclusion. Based on the analysis presented in this Report including the subject properties' historical association, architectural style, and property type, ESA has concluded that both 4055-4057 and 4059-4065 Oakwood Avenue are ineligible under Criteria A/1/1 or C/3/3 and appear not to be historical resources as defined by CEQA. Therefore, pursuant to CEQA, the proposed redevelopment project would have no impact on historical resources.



# 4055-4057 AND 4059-4065 WEST OAKWOOD AVENUE

## Historic Resources Assessment Report

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### Introduction

Environmental Science Associates (ESA) has been retained by Oakwood Properties LLC (“Client”), to conduct a Historic Resources Assessment (HRA) for two properties that comprise the Project Site for a proposed redevelopment project located at 4055-4057 and 4059-4065 West Oakwood Avenue, consisting of assessor parcel numbers (APN) 5520-017-028 and 5520-017-029 in the Wilshire neighborhood of the City of Los Angeles (City). The Project Site is comprised of lots 8, 9 and 10, in Block C in the Re-subdivision of Barrow’s Addition, within the City of Los Angeles. The Project Site previously contained improvements over 45 years in age that were demolished in 2018 pursuant to a City Demolition Permit.<sup>3</sup> This HRA was prepared at the request of the City to evaluate the eligibility of the previously existing buildings and landscapes on the subject properties as potential historical resources, to comply with the California Environmental Quality Act (CEQA). The HRA includes a discussion of the research methods used, regulatory setting, a brief history of the subject properties and surrounding area, an architectural description of the subject properties based upon photographic and documentary research, a historic context and evaluation of significance for the subject properties, and an impacts analysis for the redevelopment project proposed for the Project Site, in compliance with CEQA. The proposed project would construct a new apartment complex on the Project Site. Therefore, the HRA also includes an analysis of potential impacts to identified historical resources within the Project Site and in the immediate project vicinity, pursuant to CEQA. As a result of this analysis, ESA found that 4055-4056 and 4059-4065 West Oakwood Avenue do not qualify as individual historical resource pursuant to CEQA and do not appear to be situated in a designated or potentially eligible historic district. As such, the Project would have no direct impacts to historical resources on the Project Site. Furthermore, the Project would result in no indirect impacts to historical resources in the immediate surroundings.

### Project Setting

The Project location is at 4055-4057 and 4059-4065 West Oakwood Avenue on Lots 8, 9 and 10 of Burrow’s Addition, within the City of Los Angeles, on APNs: 5520-017-009 and 5520-017-010 (subject property) **Figure 1, Regional and Project Vicinity Map**. As mentioned above and

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<sup>3</sup> City of Los Angeles Department of Building and Safety, 2018, permit numbers 17019-20000-05034, 17019-20000-0536, 17019-20000-0539, 17019-20000-05040, 17019-20000-05041, 17019-20000-05043, 17019-20000-05044, 17019-20000-05045, 17019-20000-05046, and 17019-20000-05047.



shown in **Figure 2**, *Aerial Photograph of Project Site*, 4055-4057 West Oakwood Avenue was constructed in 1920-1922 and was improved with a row of five single-story detached Spanish Colonial Revival bungalows. The rectangular parcel measures approximately 52-feet wide by 220-feet deep. The bungalows were situated in a row near the west property line. The east side of the property had some lawn and a driveway running to the rear of the property. Also shown in **Figure 2**, the adjacent parcel 4059-4065 West Oakwood Avenue was improved in 1920 with a Spanish Colonial Revival bungalow court consisting of six single-story bungalows and an apartment house in the back. The rectangular parcel is approximately 100-feet wide by 200-feet deep. The bungalows were situated around a central courtyard with landscaping and a walkway. There was a concrete pad and a lawn in the front yard area and parking in the rear. The improvements on the Project Site were demolished in 2018 and the two parcels are now vacant. The Project Site is approximately 9,901.2 square feet in size<sup>4</sup> and is bounded by Oakwood Avenue to the south; a two-story dingbat apartment building built in 1963 to the east, a two-story apartment building built in 1983 to the west, a large apartment building built in 1989 and a two-story single family residence built in the Craftsman style in 1938 north.

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<sup>4</sup> ZIMAS





SOURCE: ESRI

4055-4065 Oakwood

**Figure 1**  
Regional Location





SOURCE Mapbox; ESRI

4055-4065 Oakwood

**Figure 2**  
Project Vicinity



## Project Description

This Report is required by the City of Los Angeles as part of the review process for a proposed Project that is in a conceptual stage and has already demolished the improvements on the Project Site. The parcels containing 4055-4057 and 4059-4065 West Oakwood Avenue would be tied and then redeveloped with a five-story, 68-unit, transit-oriented apartment building. A more complete Project description is provided below in the CEQA Impacts Analysis. Current concept plans for the proposed Project, prepared by B. Raeen Consultant Engineer, Inc., are included in Appendix E.

## Research and Field Methodology

ESA's qualified architectural historians, including Margarita C. Jerabek, Ph.D., Director of Historic Resources; and Hanna Winzenried, M.S.C., Associate Architectural Historian, completed this study, all of whom meet and exceed the Secretary of the Interior's Professional Qualification Standards in history and architectural history. The investigations were conducted under the direction of Dr. Jerabek. This Historic Resources Assessment Report was authored by Ms. Winzenried. Professional qualifications are included in **Appendix A**.

The following tasks were performed by ESA's architectural historians for the study:

- No survey was completed because the buildings were demolished in 2018. To account for the lack of survey data, ESA conducted research to find photographs and aerials of the subject property prior to demolition.
- Site-specific research on the property was conducted utilizing building permits, Assessor's Records and map books, Sanborn Fire Insurance maps (Sanborn maps), historical Los Angeles Times, Ancestry.com, Newspapers.com, and other published sources. ESA staff conducted research at the City Department of Building and Safety (LADBS), and the City Department of Planning.
- ESA staff reviewed and analyzed ordinance, statutes, regulations, bulletins, and technical materials relating to federal, state, and local historic preservation, designation assessment processes, and related programs.
- ESA staff completed a historic resource assessment of the potential historic resource based upon criteria used by the National Register of Historic Places (National Register), California Register of Historical Resources (California Register), and City Cultural Heritage Ordinance.

## Regulatory Framework

Historical resources fall within the jurisdiction of the federal, state, and local designation programs. Federal laws provide the framework for the identification, and in certain instances, protection of historical resources. Additionally, state and local jurisdictions play active roles in the identification, documentation, and protection of such resources within their communities. The National Historic Preservation Act (NHPA) of 1966, as amended and the California Public



Resources Code (PRC), Section 5024.1, are the primary federal and state laws and regulations governing the evaluation and significance of historical resources of national, state, regional, and local importance. Descriptions of these relevant laws and regulations are presented below.

## Federal Eligibility Criteria and Integrity Aspects

### National Register of Historic Places

The National Register was established by the NHPA as “an authoritative guide to be used by federal, state, and local governments, private groups and citizens to identify the Nation’s cultural resources and to indicate what properties should be considered for protection from destruction or impairment.”<sup>5</sup> The National Register recognizes properties that are significant at the national, state, and/or local levels.

To be eligible for listing in the National Register, a resource must be significant in American history, architecture, archaeology, engineering, or culture. Four criteria for evaluation have been established to determine the significance of a resource:

- A. Associated with events that have made a significant contribution to the broad patterns of our history;
- B. Associated with the lives of persons significant in our past;
- C. Embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction;
- D. Yields, or may be likely to yield, information important in prehistory or history.<sup>6</sup>

Districts, sites, buildings, structures, and objects that are 50 years in age must meet one or more of the above criteria and retain integrity (that is, convey their significance) to be eligible for listing.

Under the National Register, a property can be significant not only for the way it was originally constructed, but also for the way it was adapted at a later period, or for the way it illustrates changing tastes, attitudes, and uses over a period of time.<sup>7</sup>

Within the concept of integrity, the National Register recognizes seven aspects or qualities that, in various combinations, define integrity: Location, Design, Setting, Materials, Workmanship, Feeling, and Association:

*Location* is the place where the historic property was constructed or the place where the historic event occurred. The relationship between the property and its location is often important to understanding why the property was created or why something happened. The actual location of a

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<sup>5</sup> 36 CFR Section 60.2.

<sup>6</sup> “Guidelines for Completing National Register Forms,” in National Register Bulletin 16, U.S. Department of Interior, National Park Service, September 30, 1986. This bulletin contains technical information on comprehensive planning, survey of cultural resources and registration in the NRHP.

<sup>7</sup> National Register Bulletin 15, p. 19.



historic property, complemented by its setting, is particularly important in recapturing the sense of historic events and persons. Except in rare cases, the relationship between a property and its historic associations is destroyed if the property is moved.

*Design* is the combination of elements that create the form, plan, space, structure, and style of a property. It results from conscious decisions made during the original conception and planning of a property (or its significant alteration) and applies to activities as diverse as community planning, engineering, architecture, and landscape architecture. Design includes such elements as organization of space, proportion, scale, technology, ornamentation, and materials. A property's design reflects historic functions and technologies as well as aesthetics. It includes such considerations as the structural system; massing; arrangement of spaces; pattern of fenestration; textures and colors of surface materials; type, amount and style of ornamental detailing; and arrangement and type of plantings in a designed landscape.

*Setting* is the physical environment of a historic property. Whereas location refers to the specific place where a property was built or an event occurred, setting refers to the *character* of the place in which the property played its historic role. It involves *how*, not just *where*, the property is situated and its relationship to surrounding features and open space.

*Workmanship* is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory. It is the evidence of artisans' labor and skill in constructing or altering a building, structure, object, or site. Workmanship can apply to the property as a whole or to its individual components.

*Materials* are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property. The choice and combination of materials reveal the preferences of those who created the property and indicate the availability of particular types of materials and technologies. A property must retain key exterior materials dating from the period of its historic significance.

*Feeling* is a property's expression of the aesthetic or historic sense of a particular period of time. It results from the presence of physical features that, taken together, convey the property's historic character.

*Association* is the direct link between an important historic event or person and a historic property. A property retains association if it *is* the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer.<sup>8</sup>

To retain historic integrity, a property will always possess most of the aspects and depending upon its significance, retention of specific aspects of integrity may be paramount for a property to convey its significance.<sup>9</sup> Determining which of these aspects are most important to a particular

<sup>8</sup> National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation, 44-45, <http://www.nps.gov/nr/publications/bulletins/pdfs/nrb15.pdf>, accessed July 7, 2013.

<sup>9</sup> The National Register defines a property as an "area of land containing a single historic resource or a group of resources, and constituting a single entry in the National Register of Historic Places." A "Historic Property" is



property requires knowing why, where and when a property is significant.<sup>10</sup> For properties that are considered significant under National Register Criteria A and B, *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation (National Register Bulletin 15)* explains, “a property that is significant for its historic association is eligible if it retains the essential physical features that made up its character or appearance during the period of its association with the important event, historical pattern, or person(s).”<sup>11</sup> In assessing the integrity of properties that are considered significant under National Register Criterion C, *National Register Bulletin 15* states, “a property important for illustrating a particular architectural style or construction technique must retain most of the physical features that constitute that style or technique.”<sup>12</sup>

## State Register and Eligibility Criteria

### California Register of Historical Resources

The OHP, as an office of the California Department of Parks and Recreation (DPR), implements the policies of the NHPA on a statewide level.

The OHP also carries out the duties as set forth in the PRC and maintains the HRI and the California Register. The State Historic Preservation Officer (SHPO) is an appointed official who implements historic preservation programs within the state’s jurisdictions.

Also implemented at the state level, CEQA requires Projects to identify any substantial adverse impacts which may affect the significance of identified historical resources.

The California Register was created by Assembly Bill 2881 which was signed into law on September 27, 1992. The California Register is “an authoritative listing and guide to be used by state and local agencies, private groups, and citizens in identifying the existing historical resources of the state and to indicate which resources deserve to be protected, to the extent prudent and feasible, from substantial adverse change.”<sup>13</sup> The criteria for eligibility for the California Register are based upon National Register criteria.<sup>14</sup>

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defined as “any prehistoric or historic district, site, building, structure, or object at the time it attained historic significance.” Glossary of National Register Terms, [http://www.nps.gov/nr/publications/bulletins/nrb16a/nrb16a\\_appendix\\_IV.htm](http://www.nps.gov/nr/publications/bulletins/nrb16a/nrb16a_appendix_IV.htm), accessed June 1, 2013.

<sup>10</sup> National Register Bulletin 15, p. 44.

<sup>11</sup> “A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer. Like feeling, association requires the presence of physical features that convey a property’s historic character. Because feeling and association depend on individual perceptions, their retention alone is never sufficient to support eligibility of a property for the National Register.” Ibid, p. 46.

<sup>12</sup> “A property that has lost some historic materials or details can be eligible if it retains the majority of the features that illustrate its style in terms of the massing, spatial relationships, proportion, pattern of windows and doors, texture of materials, and ornamentation. The property is not eligible, however, if it retains some basic features conveying massing but has lost the majority of the features that once characterized its style.” Ibid.

<sup>13</sup> PRC Section 5024.1(a).

<sup>14</sup> PRC Section 5024.1(b).



The California Register consists of resources that are listed automatically and those that must be nominated through an application and public hearing process. The California Register automatically includes the following:

- California properties listed on the National Register and those formally Determined Eligible for the National Register;<sup>15</sup>
- California Registered Historical Landmarks from No. 770 onward;
- Those California Points of Historical Interest (PHI) that have been evaluated by the OHP and have been recommended to the State Historical Commission for inclusion on the California Register.<sup>16</sup>

Other resources which may be nominated to the California Register include:

- Individual historical resources;
- Historical resources contributing to historic districts;
- Historical resources identified as significant in historical resources surveys with significance ratings of Category 1 through 5;
- Historical resources designated or listed as local landmarks, or designated under any local ordinance, such as an HPOZ.<sup>17</sup>

To be eligible for the California Register, a historical resource must be significant at the local, state, or national level, under one or more of the following four criteria:

1. Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;
2. Is associated with the lives of persons important in our past;
3. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
4. Has yielded, or may be likely to yield, information important in prehistory or history.

Additionally, a historical resource eligible for listing in the California Register must meet one or more of the criteria of significance described above and retain enough of its historic character or appearance to be recognizable as a historical resource and to convey the reasons for its significance. Historical resources that have been rehabilitated or restored may be evaluated for listing. Integrity is evaluated with regard to the retention of seven aspects of integrity similar to the National Register (location, design, setting, materials, workmanship, feeling, and association). Also like the National Register, it must also be judged with reference to the particular criteria under which a resource is proposed for eligibility. Alterations over time to a resource or historic changes in its use may themselves have historical, cultural, or architectural significance. It is possible that historical resources may not retain sufficient integrity to meet the criteria for listing

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<sup>15</sup> PRC Section 5024.1(d).

<sup>16</sup> PRC Section 5024.1(d).

<sup>17</sup> PRC Section 5024.1(e)



in the National Register, but they may still be eligible for listing in the California Register. A resource that has lost its historic character or appearance may still have sufficient integrity for the California Register if it maintains the potential to yield significant scientific or historical information or specific data.<sup>18</sup>

## Local Cultural Heritage Ordinance and Eligibility Criteria

### City of Los Angeles

The City enacted a Cultural Heritage Ordinance in April 1962 which defines Historic-Cultural Monuments. According to the Cultural Heritage Ordinance, Historic-Cultural Monuments are sites, buildings, or structures of particular historic or cultural significance to the City in which the broad cultural, political, or social history of the nation, state, or City is reflected or exemplified, including sites and buildings associated with important personages or which embody certain distinguishing architectural characteristics and are associated with a notable architect. These Historic-Cultural Monuments are regulated by the City's Cultural Heritage Commission and the City Council.

#### ***Los Angeles Cultural Heritage Ordinance Eligibility Criteria***

The Los Angeles City Council adopted the Cultural Heritage Ordinance in 1967 and amended it in 2018 (Los Angeles Administrative Code, Chapter 9, Division 22, Article 1, Section 22.171.7). The Cultural Heritage Ordinance establishes criteria for designating a local historical resource as an HCM. An HCM is any site (including significant trees or other plant life located on the site), building, or structure of particular historic or cultural significance to the City that meets at least one of the following criteria:

1. Is identified with important events of national, state, or local history, or exemplifies significant contributions to the broad cultural, economic, or social history of the nation, state, city, or community; or
2. Is associated with the lives of historic personages important to national, state, city or local history; or
3. Embodies the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age.

#### ***Los Angeles Historic Preservation Overlay Zone (HPOZ) Ordinance Eligibility Criteria***

City of Los Angeles Ordinance Number 175891, found in Section 12.20.3 of the Los Angeles Municipal Code, describes the procedures for creation of new HPOZs, the powers and duties of HPOZ Boards, and the review processes for Projects within HPOZs. The Ordinance was created in 1979 and most recently amended and re-adopted by the Los Angeles City Council in 2017.<sup>19</sup>

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<sup>18</sup> Codified in California Code of Regulations, Title 14, Chapter 11.5, Section 4852(c) which can be accessed on the internet at <http://ohp.parks.ca.gov>

<sup>19</sup> "Citywide HPOZ Ordinance," City of Los Angeles Office of Historic Resources, <http://www.preservation.lacity.org/hpoz/citywide-hpoz-ordinance>, accessed July 24, 2013.



An HPOZ is an area of the City which is designated as containing structures, landscaping, natural features or sites having historic, architectural, cultural or aesthetic significance. Before an HPOZ may move into the formal adoption process, an historic resources survey of the proposed district must be completed. The survey studies the historic and architectural significance of the neighborhood and identifies structures and features as either “contributing” or “non-contributing” to the district. A contributing structure is a building that was constructed during the predominant period of development in the neighborhood and that has retained most of its historic features. A non-contributing structure is one that was either constructed after the major period of the neighborhood’s development, or has been so significantly altered that it no longer conveys its historic character.<sup>20</sup>

According to Section 12.20.3 of the City of Los Angeles Municipal Code, features designated as contributing shall meet one or more of the following criteria:

- Adds to the Historic architectural qualities or Historic associations for which a property is significant because it was present during the period of significance, and possesses Historic integrity reflecting its character at that time; or
- Owing to its unique location or singular physical characteristics, represents an established feature of the neighborhood, community or city; or
- Retaining the building, structure, Landscaping, or Natural Feature, would contribute to the preservation and protection of the resource and its environment.<sup>21</sup>

## Environmental Setting

### History and Description of Surrounding Area

#### Wilshire Area

El Camino Vieho or “old Road” was a major trail that early Spanish settlers in El Pueblo de Los Angeles leading west from Yang-Na to the tar pits and was also known as LaBrea Road. During the Spanish Period, it divided Rancho La Brea to the north and Rancho Las Cienegas to the south. Now it is known as Wilshire Boulevard, and is the backbone to the Wilshire neighborhood in Los Angeles.<sup>22</sup>

During most of the 19<sup>th</sup> century, the Wilshire area was used for grazing cattle in open pastures. There were farms for barley and wheat. It remained rural until the land boom in the 1880s. Henry Gaylord Wilshire and William Wilshire purchased 35 acres of the area west of Westlake Park in 1887 and subdivided the land in 1895. The brothers envisioned the subdivision to be luxurious with concrete curbs, sidewalks, large lots, palm trees, and views. The Wilshire brothers convinced

<sup>20</sup> “How to Establish an HPOZ,” City of Los Angeles Office of Historic Resources, <http://www.preservation.lacity.org/hpoz/how-establish-hpoz>, accessed July 24, 2013.

<sup>21</sup> “Citywide HPOZ Ordinance,” City of Los Angeles Historic Resources, <http://www.preservation.lacity.org/hpoz/citywide-hpoz-ordinance>, accessed July 24, 2013, pgs. 11-12.

<sup>22</sup> SurveyLA, *Historic Resources Survey Report, Wilshire Community Plan Area*, prepared for the City of Los Angeles Department of City Planning, January 23, 2015, 10.



the City Council to ban heavy hauling, railroads, and streetcars from Wilshire Blvd to ensure it was a quite comfortable place to live.<sup>23</sup> Many wealthy Angelinos moved to the neighborhood at the turn of the century.

Development continued through the 1910s and 1920s when large apartment buildings, hotels, and commercial structures were being built throughout the district. In the early 1920s, A.W. Ross began buying up land along Wilshire Boulevard far west of most development where he envisioned a shopping district that would have shoppers from Beverly Hills and Hollywood. It would become known as Miracle Mile. Much of the commercial development through the 1930s catered to the automobile, making Wilshire Blvd one of the heaviest traveled roads in Los Angeles.<sup>24</sup>

After World War II, Wilshire's department stores, clubs and restaurants were joined by large office buildings housing high profile corporations and it quickly became a new up-and-coming business center. In the 1950s, high-rise office buildings began to be erected along Wilshire Boulevard. This continued through the 1970s and waned in the 1980s when high rise corporate buildings began to slow down.<sup>25</sup>

The subject properties are found at the northern portion of Koreatown. Koreatown was heavily developed in the 1910s and continued to grow in population through the 1940s. It was one of the earliest developed areas in the Wilshire CPA. During the 1920s and 1930s, there were numerous single and multi-family Craftsman neighborhoods, bungalow courts, apartment houses, and duplexes and fourplexes with many of the residents using streetcars or automobiles for their daily travel. There were block upon block of automobile suburbs in Koreatown developed during this time.<sup>26</sup> Originally, most of the residents were wealthy Caucasians moving west from older more crowded parts of Los Angeles. Strict housing covenants kept the neighborhood homogenous until such covenants were deemed unconstitutional in 1948, making the neighborhood more economically and ethnically diverse from the 1950s onward. Many Koreans migrated into the neighborhood in the 1970s and 1980s.<sup>27</sup>

## Barrow's Addition

The Project Site is located on lots 8, 9 and 10, in the tract described as the "Re-subdivision of Block C & Lots 4, 6, 8, 9, and one-acre lot, Block A, of Barrow's Addition" to the City of Los Angeles, recorded in Book 25, page 13, Miscellaneous Records, Los Angeles County, California by proprietor Hugh T. Duff in 1904 (**Figure 3**). Hugh T. Duff was a businessman who invested in

<sup>23</sup> SurveyLA, *Historic Resources Survey Report, Wilshire Community Plan Area*, prepared for the City of Los Angeles Department of City Planning, January 23, 2015, 10.

<sup>24</sup> SurveyLA, *Historic Resources Survey Report, Wilshire Community Plan Area*, prepared for the City of Los Angeles Department of City Planning, January 23, 2015, 12.

<sup>25</sup> SurveyLA, *Historic Resources Survey Report, Wilshire Community Plan Area*, prepared for the City of Los Angeles Department of City Planning, January 23, 2015, 14.

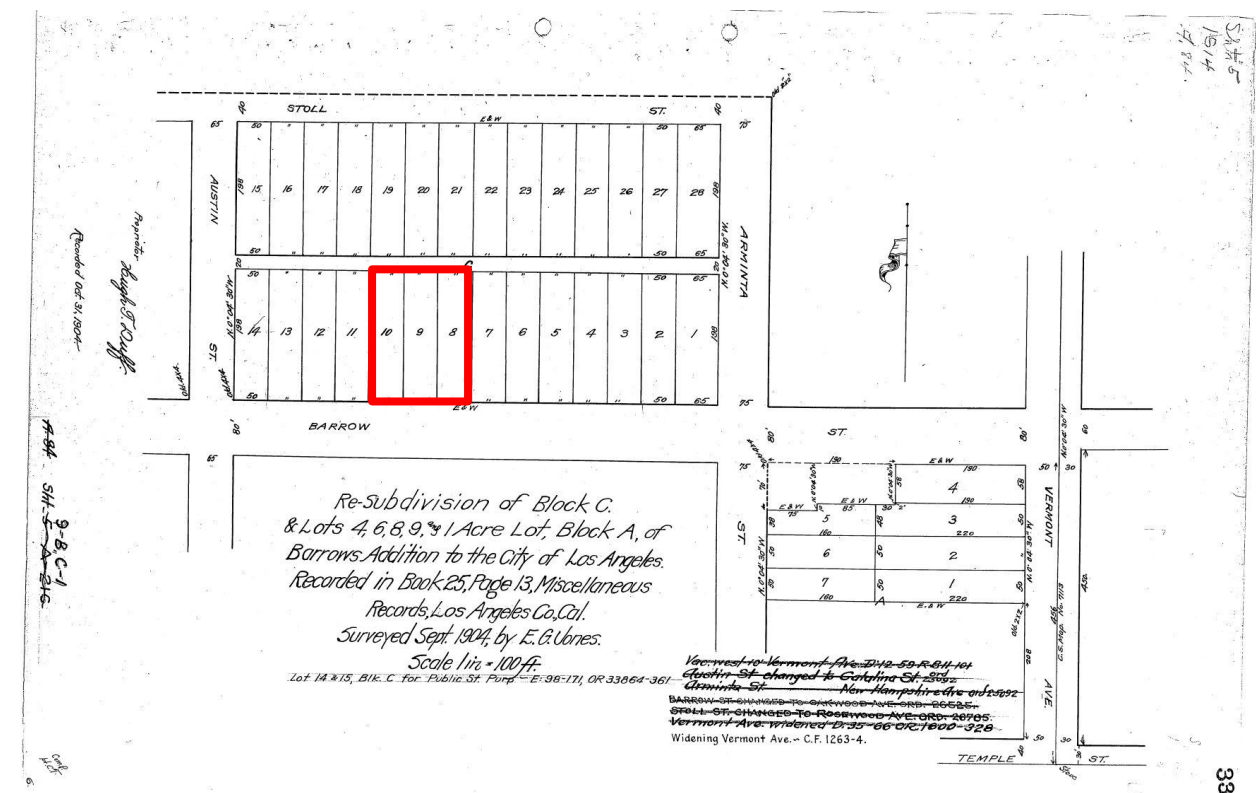
<sup>26</sup> SurveyLA, *Historic Resources Survey Report, Wilshire Community Plan Area*, prepared for the City of Los Angeles Department of City Planning, January 23, 2015, 15.

<sup>27</sup> SurveyLA, *Historic Resources Survey Report, Wilshire Community Plan Area*, prepared for the City of Los Angeles Department of City Planning, January 23, 2015, 15.



a variety of different industries including real estate, oil, mining, electric power. He was the owner of the Machinery and Electric Company, El Sueno Mine, and an officer of the Consolidated Oil Stock Company.<sup>28</sup>

Historic maps provide information about the settlement and development of the project area. By 1919, Barrow's Addition was about half developed with single-family residences (**Figure 4**).<sup>29</sup> In 1921, most of the tract was developed. Most of the development was single-family residences, although there were three sets of bungalows and three apartment buildings along Oakwood Avenue (**Figure 5**).<sup>30</sup> By 1950, empty lots had been developed with large apartment buildings (**Figure 6**).<sup>31</sup> By 1965, most of the single-family residences on the tract had been replaced by apartment buildings (**Figure 7**).<sup>32</sup>



SOURCE: Los Angeles County  
Assessor

4055-4065 Oakwood Avenue / D180899.00

**Figure 3**  
Tract Map, subject properties outlined in red

<sup>28</sup> *Los Angeles Times*, January 30, 1897; November 4, 1899; April 25, 1900; April 23, 1902; February 23, 1925; and October 30, 1903.

<sup>29</sup> Sanborn volume 19, sheet 999, 1919.

<sup>30</sup> University of Southern California, "Baist's Real Estate Atlas of Surveys of Los Angeles, California, 1921," accessed October 9, 2018, <http://digitallibrary.usc.edu/cdm/ref/collection/p15799coll58/id/31391>

<sup>31</sup> Sanborn volume 19, sheet 999, 1950.

<sup>32</sup> University of California, Santa Barbara, "Frame Finder," accessed October 9, 2018, [http://mil.library.ucsb.edu/ap\\_indexes/FrameFinder/](http://mil.library.ucsb.edu/ap_indexes/FrameFinder/).



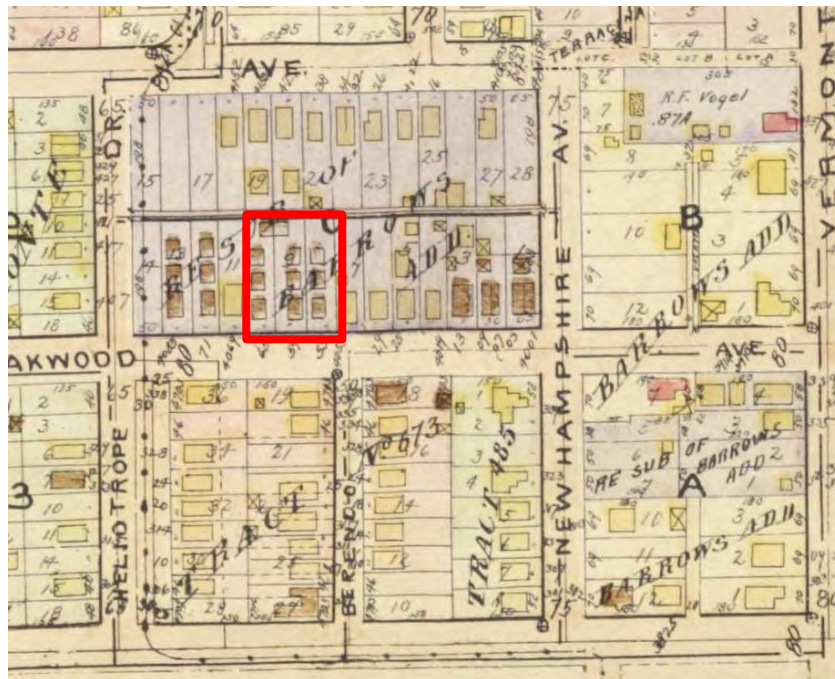


SOURCE: Los Angeles County Assessor

4055-4065 Oakwood Avenue / D180899.00

**Figure 4**

Excerpt of Sanborn volume 19, sheet 999, 1919, showing that the subject properties outlined in red were undeveloped at that time



SOURCE: USC

4055-4065 Oakwood Avenue / D180899.00

**Figure 5**

Baist Map showing Barrow's Addition, 1921, subject properties outlined in red had been improved by that time





SOURCE: Los Angeles County  
Assessor

4055-4065 Oakwood Avenue / D180899.00

**Figure 6**  
Excerpt of Sanborn volume 19, sheet 999, 1950, subject properties outlined in red



SOURCE: UCSB

4055-4065 Oakwood Avenue / D180899.00

**Figure 7**  
Excerpt of an aerial photograph from 1965, subject properties outlined in red



## Construction and Occupancy History of 4055-4057 and 4059-4065 West Oakwood Avenue

### Construction History

#### ***4055-4057 Oakwood Avenue***

The first permits on record for 4055-4057 Oakwood Avenue are for the construction of four new single family residences on the lot on November 20, 1920, December 7, 1920, January 25, 1921, and September 2, 1921. A permit for a garage was issued March 1, 1921 and a permit for a duplex was issued on November 4, 1921. The owner was L.C. Sherwood, the architect was listed as Damion Sherwood, and the contractor was Perry B. Sherwood. The new single family houses were valued at \$2,000, the duplex was valued at \$6,000, and the garage was valued at \$200. Later alterations are documented in the permit history. A permit was issued on August 4, 1970 for kitchen alterations including the removal of a non-bearing wall between the kitchen and service porch and enclosing window openings at 4055 1/3 Oakwood Avenue. A permit was issued on January 26, 1976 to install sliding glass windows onto 4055 2/3 Oakwood Avenue. There were no further permits until their demolition permits issued on January 31, 2018 to Oakwood Properties valued at \$1,500-\$2,000 each. Based upon photographic evidence, unpermitted alterations appeared to include the addition of metal awnings over doors and windows as shown in the figures below. A summary of alterations is shown in **Table 1** and **Figure 8** below, and Building Permits are included in **Appendix D**. Original plans and Assessor records are provided in **Appendix E**.

**TABLE 1**  
**ALTERATIONS OF 4055-4057 OAKWOOD**

<b>Alteration</b>	<b>Date</b>	<b>Location</b>	<b>Permitted?</b>
Enclosed window openings and remove non-bearing wall between kitchen and service porch	9/4/1970	4055 1/3 Oakwood Avenue	Yes
Install sliding glass windows	1/26/1979	4055 2/3	Yes
Addition of metal awnings	-	All windows and doors	No
All windows changed to metal sliding windows	-	All	No
Spanish tile coping removed and stucco repairs	-	All	No
Hardscaping altered for parking spaces	-	Landscape	No





SOURCE: Loopnet

4055-4065 Oakwood Avenue / D180899.00

**Figure 8**

4055-4057 Oakwood Ave, 2008. Red boxes show altered openings and added hardscaping, and yellow arrows point out the added metal awnings and removed tile copings.

### **L.C. Sherwood:**

A review of newspapers, local directories, and historic periodicals did not include any information regarding a person with the initials of L.C. and the last name of Sherwood.

### **Damion Sherwood:**

Damion M Sherwood was listed as the architect on the building permits for the bungalows at 4055-4057 Oakwood. Documentary evidence indicates that Sherwood was a building contractor by profession. A City Directory from 1918, lists his occupation as a Building Contractor.<sup>33</sup> He was born in Oregon 1881, and lived in Los Angeles since 1903. He was married to Gertrude Sherwood.<sup>34</sup> He passed away in October of 1949.<sup>35</sup> Furthermore, it is evident he was not a master architect, or a notable local architect, or a registered architect: his name does not appear in the *American Architects Directory*;<sup>36</sup> he is not listed in the *Biographical Dictionary of American*

<sup>33</sup> Ancestry.com. *U.S. City Directories, 1822-1995* [database on-line]. Provo, UT, USA: Ancestry.com Operations, Inc., 2011.

<sup>34</sup> "Damon M. Sherwood," *The Los Angeles Times* (Los Angeles, CA), October 18, 1949, pg. 45; United States Federal Census, 1930.

<sup>35</sup> "Damon M. Sherwood," *The Los Angeles Times* (Los Angeles, CA), October 18, 1949, pg. 45.

<sup>36</sup> George S. Koyl, ed., *American Architects Directory*, 2<sup>nd</sup> edition (New York: R. R. Bowker Co.), 1962.



*Architects (Deceased)*;<sup>37</sup> and his name does not appear in the California Architects Board of licensed architects.<sup>38</sup>

### Perry Sherwood:

Perry B. Sherwood was listed as the contractor of the project in the building permits for the bungalows at 4055-4057 Oakwood. He was listed as a building contractor in a 1921 city directory and as a carpenter in a 1918 city directory.<sup>39</sup>

**TABLE 2**  
**4055-4057 OAKWOOD AVENUE**  
**LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY BUILDING PERMITS<sup>40</sup>**

Issued	Permit/Assessor Record	Address	Owner	Contractor (C) or Architect (A)	Valuation (\$)	Description
11/20/1920	22923	4055	L.C. Sherwood	Damion M. Sherwood (A), Perry B. Sherwood (C)	2,000	Residence, 26'x32' 12 foot tall building
12/7/1920	24147	4057	L.C. Sherwood	P.B. Sherwood (C)	2,000	Single family residence, 26'x32', 12 feet high
1/25/1921	1525	4057 ½	L.C. Sherwood	Damion Sherwood (A), Perry. B. Sherwood (C)	2,000	Single family dwelling, 26'x32', 12 feet tall
3/1/1921	3871	4057 ½	L.C. Sherwood	L.C. Sherwood (C)	200	Garage 16'x20'
9/2/1921	21371	4055 ½	L.C. Sherwood	M. D. Sherwood (A)	2,000	Single-family residence, 26'x32', 12 feet tall
10/4/1921	34834	4055	L.C. Sherwood	L.C. Sherwood (C)	6,000	Duplex, 24'x40', two stories high, 23 feet tall
8/4/1970	13268	4055 1/3	William Sousa	Owner	500	Kitchen alterations: remove non-bearing wall between kitchen and service porch and enclose window openings
1/26/1976	51021	4055 2/3	Ofelia Otero 7 Maria Cabrera	Owner	200	Sliding glass windows
1/2/1987	3800100291	4055 ½	Cesar	-	880	Reroof with two

<sup>37</sup> Henry F. Whitney and Elsie Rathburn Whitney, *Biographical Dictionary of American Architects (Deceased)*, Los Angeles: New Age Publishing Co., 1956.

<sup>38</sup> <https://search.dca.ca.gov/>

<sup>39</sup> Ancestry.com. *U.S. City Directories, 1822-1995* [database on-line]. Provo, UT, USA: Ancestry.com Operations, Inc., 2011.

<sup>40</sup> Documentation exists for all permits and certificates of occupancy listed in this table.



Issued	Permit/Assessor Record	Address	Owner	Contractor (C) or Architect (A)	Valuation (\$)	Description
			Jurilla			layers of 30 lbs. and a glasscap, 3-ply class b
1/31/2018	17019-20000-05045	4055 1/3-4057 1/3	Oakwood Properties LLC	-	2,000	Demo (E) duplex. Clear and fence the lot
1/31/2018	17019-20000-05046	4057	Oakwood Properties LLC	-	1,500	Demo (E) single family dwelling unit. Fence and clear the lot.
1/31/2018	17019-20000-0547	4057 ½	Oakwood Properties LLC	-	1,500	Demo (E) single family dwelling unit. Fence and clear the lot

### **4059-4065 Oakwood Avenue**

The first permits on record for 4059-4065 are for three one story single-family residences issued on April 5, 1920 for owner, Henry Mertz. The residences are designed and built by Thomas Grow. A permit for a two room addition was issued on September 11, 1920. Four new permits for new dwellings were issued on the same day with the same owner and architect. On March 11, 1937, owner Harold Schwimer received a permit to move the garage from 5061 ½ to the rear of the lot. He also received a permit to move 4065 to 4065 ¼ Oakwood Avenue and to put two new outside doors onto the dwelling. He obtained the same permit to move 4059 to 4059 ½ Oakwood Avenue, creating two new duplexes on the lot out of existing structures. He received a permit on June 7, 1937 to move residence from 4063 to 4063 ½. New garages were built on June 7, 1937. Permits for interior tile work of all the structures were issued on July 21, August 21, and September 1, 1937 to be done by E. B. Scott. A lean-to addition was built onto 4059 ½ on March 14, 1939 on either side of the rear structure. On October 29, 1940, two permits were issued to add rooms and outside doors to the structures. These additions connected two bungalows on both the west and east side of the lot together creating duplexes rather than individual detached bungalows. These alterations changed the configuration of the courtyard area in relation to the bungalows which disqualifies it according to SurveyLA eligibility criteria, and the cumulative effect of the other alterations also detracts from the integrity and significance of the subject properties. All wooden porches were replaced with concrete porches on April 2, 1948. These alterations are corroborated by assessor records and detract significantly from the property's integrity. On July 7, 1989, Han Gon Shin was issued five permits to demolish all of the structures on the lot, but these permits were never followed through. On October 6, 1996, the owner Seog Hwan Kang was issued a roofing, plumbing, electrical appliance, drywall, cabinets and door painting permit. On February 3, 1996, he was issued a permit for a certificate of occupancy and reroof. No further permits were issued until the permits issued on January 31, 2018 to demolish all of the buildings on the lot (Building Permits are included in **Appendix D**). Original plans and Assessor records are provided in **Appendix E**. This history is summarized below in **Table 4**.

Unpermitted alterations observed from photographs of the property from 2018 include: changes to primary elevation windows such as removal of divided-lite (6/1) hung windows and replacement with aluminum slider windows, as well as other windows being changed throughout,



security doors added, original French doors replaced, tile coping removed from the roof line, the addition of a metal fence along the property line, alteration of landscaping, the removal of all but one outdoor courtyard lights, addition of metal railings to entry balconies, and some re-stucco of the exterior, all of which detract significantly from the property's integrity. Alterations are shown in **Table 3** and **Figures 9-11** below.

**TABLE 3**  
**ALTERATIONS OF 4059-4065 OAKWOOD**

<b>Alteration</b>	<b>Date</b>	<b>Location</b>	<b>Permitted?</b>
Renumbered 4065-4055 ½ and put in new outside doors	3/11/1937	4065-4055 ½	Yes
Renumbered 4059 to 4059 ½ to create two new duplexes	3/11/1937	4059 ½	Yes
Renumbered residence from 4063 to 4063 ½.	6/7/1937	4063 ½	Yes
Lean-to addition to side of structure	5/14/1939	4059 ½	Yes
add rooms and outside doors to the structures. These additions connected two bungalows on both the west and east side of the lot together creating duplexes rather than individual detached bungalows	10/29/1940	Rear bungalows	Yes
All wooden porches were replaced with concrete porches	4/2/1948	All	Yes
Primary elevation windows changed from 6/1 true-divided lites hung windows to aluminum slider windows	-	On all primary elevations	No
Security doors added, and original French doors replaced	-	On all structures	No
Metal railings added to balconies	-	On all structures	No
Alterations to landscaping including addition of a metal fence and alterations to hardscaping	-	Landscape	No





SOURCE: Google Maps, 2019

4055-4065 Oakwood Avenue / D180899.00

**Figure 9**

Aerial View of 4059-4065 Oakwood Avenue, 2018, with red boxes showing location of additions and alterations to the landscaping with arrow pointing to new fence





4055-4065 Oakwood Avenue / D180899.00

SOURCE: Apartments.com, 2018

**Figure 10**  
4059-4065 Oakwood Avenue with red boxes showing additions and blue arrows pointing out added metal railings on porches



4055-4065 Oakwood Avenue / D180899.00

SOURCE: Apartments.com, 2018

**Figure 11**  
4058-4065 Oakwood Avenue, with altered windows, door, and porch in red boxes



**Henry Mertz:**

Henry Mertz was the owner of 4059-4066 Oakwood in 1920 and had the buildings built. In 1921, he lived in H506 1/2 North Heliotrope Drive which is close to the subject property. His occupation was listed as a builder.<sup>41</sup>

**Thomas Grow:**

Thomas Grow was born in 1866 in Ohio. He was married to Lillian Grow. In 1920, they lived with their son, Jacob C, a painter, their daughter-in-law, Mildred and their grandchildren Jacob C. and Orville T. In 1920, his occupation was listed as a building contractor.<sup>42</sup>

**TABLE 4**  
**4059-4065 OAKWOOD AVENUE**  
**LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY BUILDING PERMITS<sup>43</sup>**

Issued	Permit/Assess or Record	Address	Owner	Contractor (C) or Architect (A)	Valuation (\$)	Description
4/5/1920	5129	4059 lot 9	Henry Mertz	Thomas Grow	3,000	28'x32' ten foot tall one story one family residence
4/5/1920	5130	4065	Henry Mertz	Thomas Grow	3,000	One family five room residence, 28'x32' ten foot tall one story
4/5/1920	5131	4059-4065	Henry Mertz	Thomas Grow	300	9'x20 residence, one story and 10 feet high.
9/11/1920	15505	Rear 4059-65	Henry Mertz	Thomas Grow	\$400	Add two rooms on the end
9/11/1920	15501	4061	Henry Mertz	Thomas Grow	2,500	New dwelling, 24'x32', 12 feet tall
9/11/1920	15502	4059	Henry Mertz	Thomas Grow	3,000	New dwelling, 32'x32', 12 feet high
9/11/1920	15503	4063 A	Henry Mertz	Thomas Grow (A), Henry Mertz (C)	3,000	Single family dwelling, 32'x32', 12 feet high
9/11/1920	15504	4065 A	Henry Mertz	Grow (A), Henry Mertz (C)	2,500	Dwelling, 24'x32', 12 feet high
3/11/1937	7476	4061 ½	Harold Schwimer	-	160	Move garage from 4061 ½ Oakwood Ave to rear of the lot between berendo and Heliotrope, add two new garages
3/11/1937	7475	4065	Harold Schwimer	-	300	Move residence from 4065 Oakwood to 4065 ¼ Oakwood. Add a wall put in a kitchen and bathroom. Put two new outside doors
3/11/1937	7474	4059	Harold Schwimer	-	300	Move existing residence from 4059 to 4059 ¼ and add wall inside, put in a kitchen and bathroom, put two new outside doors in
4/1/1937	10064	4065	Harold	E. B. Scott (C)	Illegible	Internal tile

<sup>41</sup> U.S. City Directories, 1988-1995, *Ancestry*, 1921.

<sup>42</sup> United States Federal Census, 1920.

<sup>43</sup> Documentation exists for all permits and certificates of occupancy listed in this table.



Issued	Permit/Assess or Record	Address	Owner	Contractor (C) or Architect (A)	Valuation (\$)	Description
			Schwimer			
6/7/1937	18841	4061	Harold Schwimer	-	300	Residence moved from 4061 to 4961 ¼, put in partition, open front door and a rear door
6/7/1937	18840	4061 ½	Harold Schwimer	-	128	Garage: 16'x20'
6/7/1937	18842	4061 ½	Harold Schwimer	-	128	Garage, 16'x20'
6/7/1937	18839	4063 ½	Harold Schwimer	-	300	Move residence from 4063 ½ to 4063 ¼ -4063 ½ (make into a duplex?) , put in partition, open front door and rear door.
6/7/1937	18843	4059 ½	Harold Schwimer-	-	300	Residence from 4059 ½ to 4059 1/2 -3/4: Put in partition, open front door and rear door
6/7/1937	18838	4065 ½	Harold Schwimer	-	300	Residence from 4065 ½ to 4065 ½ to ¾
7/21/1937	24121	4050 ½	Ethel Schwimer	E.B. Scott (C)	Illegible	Interior tile work
7/21/1937	24122	4061-4061 ¼	Ethel Schwimer	E.B. Scott (C)	-	Interior tile work
8/21/1937	26764	4063-4063 ¼	Ethel Schwimer	E.B. Scott (C)	-	Interior tile work of duplex
9/1/1937	29017	4065 ½ and 65 ¾	Ethel Schwimer	E.B. Scott (C)	-	Interior tile work
9/10/1937	29960	4061 ½ and 4063	Harold Schwimer	-	200	Add a bedroom and a bathroom on second floor, put in three new windows in old bedroom, put up a back stairway on outside of house. The above to be done on the backside
11/24/1937	38483	4061 ½-4063	Schwimer	E.B. Scott (C)	-	Interior tile work
3/14/1939	9558	4059 ½	Harold Schwimer	-	22	Built a lean-to to the side of the building, 8' long 2' wide, 6' high.
10/29.1940	43934	4059 ¾ and 3059 ½, 4061 and 4061 ½, 4059 ¾-4059 ½	Harold Schwimer	-	200	Will add to above building a bedroom 10'5" and connect existing (2 family residence #4061 and 4061 ¼)
10/29/1940	43935	4065 ¾-4065 ½, 4063-4063 ¼, 4065 ¾-4065 ½	Harold Schwimer	-	200	Will add a bedroom 10'5" x 14'0" and come at existing (2 family residence #4063
4/2/1948	10358 10359 10360 10361	-	Mr. S. Schwimer	Angelins Termite Control (C)	300	Replace all wood porches with concrete, seal off porches with concrete, patch repair stucco, repair fungus infected sub-flooring and floor



Issued	Permit/Assess or Record	Address	Owner	Contractor (C) or Architect (A)	Valuation (\$)	Description
	10362					supports, clean out underneath building, lower dirt and treat for subterranean termite infestation.
8/4/1970	13268	4055 1/3	William Sousa	Owner	500	Kitchen alterations: remove non-bearing wall between kitchen and service porch and enclose window openings
1/26/1976	51021	4055 2/3	Ofelia Otero 7 Maria Cabrera	Owner	200	Sliding glass windows
1/2/1987	3800100291	4055 ½	Cesar Jurilla	-	880	Reroof with two layers of 30 lb and a glasscap, 3-ply class b
6/7/1989	LA35153	4059	Han Gon Shin	Jai Han (E), KNS (A), Ace Engineering (C)	1,500	Demo clear lot, hand wreck.
6/7/1989	LA35154	4059 ¼	Han Gon Shin	Jae Han (E), JNS (A), ACE Engineering (C)	1,500	Demo-clear lot- hand wreck
6/7/1989	LA35155	4059 ½	Han Gon Shin	Jef Han (E), KNS (A), Ace Engineering (C)	1,500	Demo clear lot, hand wreck
6/7/1989	LA35156	4059 ¾	Han Gon Shin	Sae Han (E), JNS (A), Ace Engineering (C)	2,200	Demo- clear lot- hand wreck
6/7/1989	LA35157	4061	Han Gon Shin	Jaf Han (E), KNS (A), Ace Engineering (C)	2,200	Demo clear lot, hand wreck
7/4/1989	3776764	-	-	-	-	Lot tie of lots 9 and 10
10/6/1993	93H0 24321	4059-4065	Seog Hwan Kang	Advanced Architect Devop. (C)	100,000	Roofing, plumbing, electrical, appliance, drywall, cabinets, door painting
2/3/1996	96H0 42945	4059-65	Seog H. Kang	Owner		Application for building permit and certificate of occupancy- new apartment building and garage- asphalt shingle roll roof, 20SQS add ½ CDX Plywood
9/6/2016	63139614	4055-6063	-	-	-	Lot tie lot 8, 9, and 10
1/31/2018	17019-20000-05034	4061 ¼- 4061 2/4	Oakwood Properties LLC		1,500	Demo (E) duplex. Clear and fence the lot
1/31/2018	17019-20000-05036	4059 ¼- 4059 4/4	Oakwood Properties LLC	-	1,500	Demo (E) apartment building. Sewer cap per separate permit. Clear and fence the lot
1/31/2018	17019-20000-05039	4063 ¼ - 4063 4/4	Oakwood Properties LLC	-	15,000	Demo (E) apartment building. Sewer cap fee under separate permit. Clear and fence the lot
1/31/2018	17019-20000-05040	4065 ¼- 4065 4/4	Oakwood Properties	-	1,500	Demo (E) apartment building. Sewer cap fee per separate



Issued	Permit/Assess or Record	Address	Owner	Contractor (C) or Architect (A)	Valuation (\$)	Description
			LLC			permit. Clear and fence lot
1/31/2018	17019-20000- 05041	4061 3/4 – 4061 4/4	Oakwood Properties LLC	-	3,100	Demo (E) duplex. Clear and fence lot.

## Occupancy and Ownership History

Los Angeles-area directories and phone books, City of Los Angeles building permits on file with the City's Building Division, as well as U. S. Census data and other records were reviewed to determine if the subject property has any significant associations with the productive lives of historic personages. **Table 5** below summarizes the occupancy and ownership history of 4055-4057 Oakwood Avenue; and **Table 6** summarizes the occupancy and ownership of 4059-4065 Oakwood Avenue.

### 4055-4057 Oakwood Avenue

Because the bungalows at 4055-4057 Oakwood Avenue were rental properties there was a high turnover of occupants. Most of these occupants were employed in the retail enterprises and were not employed in the entertainment industry. The first occupant on record was A.W. Hotz, a druggist and manager of the Gardner Pharmacy on Sunset Boulevard.<sup>44</sup> He lived at 4055 ½ in 1927. Before moving to Los Angeles, Hotz lived and worked in St. Louis, Missouri. In 1919, his brother-in-law, Corp. William Vogel died on armistice day from wounds previously received during World War I. Vogel worked for Hotz's drug store in St Louis at the time of his death.<sup>45</sup> He was a part of the Gardner Business Men's Association and worked as the treasurer. The association's aim was to "increase the usefulness of the many enterprises centering around Gardner Junction."<sup>46</sup> In 1939, Hotz became the president of the Southern California Retail Druggists' Association.<sup>47</sup> Wolfe Wilder also lived on the subject property in 1927 at 4055 2/3. Wilder worked as a furniture store owner. He lived with his wife, Bella Wilder, and young son, William M. Wilder. In 1961, an elderly Wilder was swindled out of \$26,000 by a utility building tour guide, Jack O'Brien.<sup>48</sup> Annie B. Porter lived at 4057 in 1927.<sup>49</sup> Mary Wasserman lived at 4057 ½ in 1927. She was born in 1888 in Austria and moved to the United States in 1923. She worked as a restaurant manager.<sup>50</sup> From 1928-1930, Court Sherwood lived at 4055.<sup>51</sup>

<sup>44</sup> *The Los Angeles Times* (Los Angeles, CA), September 24, 1928, pg. 7.

<sup>45</sup> "Wounded Soldier Died on Armistice Day," *St. Louis Post-Dispatch* (St. Louis, Missouri), January 28, 1919, pg. 12.

<sup>46</sup> "Gardner Group Elects," *The Los Angeles Times* (Los Angeles, CA), April 19, 1929, pg. 40.

<sup>47</sup> "Druggists Seat New Officers," *The Los Angeles Times* (Los Angeles, CA), February 17, 1939, pg. 44.

<sup>48</sup> "Building Guide Held in Swindling Case," *The Los Angeles Times* (Los Angeles, CA), March 22, 1961, pg. 42.

<sup>49</sup> No further information was found on Annie B. Porter due to the common nature of her name.

<sup>50</sup> United States Federal Census, 1930.

<sup>51</sup> No further information was found on Court Sherwood.



From 1935-1940, Ralph Rigaud, his wife Rose, and sons Rene and George lived at 4055. Rigaud was born in 1907 in Missouri and grew up speaking French, as his mother was a French native. He worked as a waiter at a restaurant.<sup>52</sup> Their son, Rene grew up to become the Los Angeles Fire Battalion Chief.<sup>53</sup> In 1935-1950, Frank Moody, his wife Betty, and daughter Jean M. lived at 4055 1/3. Moody was born in 1909 in Utah and worked as a bookkeeper at S. California Edison. Betty Moody was born in 1918 in California.<sup>54</sup> From 1935-1940, Josie Brodine, her daughter, Gloria Morris, and her son-in-law Richard Morris lived at 4055 2/3. Brodine was born in 1907 in New York and was divorced. She worked as a cook and manager at a Soda Fountain shop and Gloria worked as a waitress. Richard worked as a truck driver for Retail Clothes Cleaning.<sup>55</sup> In 1940, Joseph Morris and his wife, Anna lived at 4055 1/2. Joseph was born in 1904 in Pennsylvania and worked as a salesman at a retail department store. Anna was born in 1903 in Pennsylvania and worked as a saleswoman at a retail furniture store.<sup>56</sup> Lester Soloman and his wife Sylvia Soloman lived at 4059 in 1940. Lester was born in 1912 in Washington and he worked as a salesman at a shoe store, and Sylvia was born in 1913 in Canada and worked as a cashier at a retail store.<sup>57</sup> Doris I. Monnitobas lived at 4059 2/3. She was born in 1904 in England and lived in Italy in 1935. She worked as a child's nurse in a private residence.<sup>58</sup> Also in 1940, Marion C. Narden, his wife Mary Narden, and mother-in-law Eunica A. Williams lived at 4059 1/4. Marion was born in 1913 in Oklahoma and worked as an assistant manager at a retail store. Mary Narden was born in 1920 in Montana and worked as a saleswoman at a cosmetics retail store. Eunica Williams was born in 1891 in Iowa and was divorced. She worked as a receptionist at a premium stamps retail store.<sup>59</sup>

**TABLE 5**  
**OCCUPANCY HISTORY OF 4055-4057 OAKWOOD**

Year	Address	Owner/Occupant	Occupation	Notes	Source
1927	4055 1/2	A.W. Hotz	Druggist		1927 City Directory
1927	4055 2/3	Wolfe Wilder	Furniture Store owner		1927 City Directory
1927	4057	Annie B. Porter	-		1927 City Directory
1927	4057 1/2	Mary Wasserman	Restaurant Manager		1927 City Directory
1928-1930	4055	Court Sherwood	-		1928 City Directory

<sup>52</sup> United States Federal Census, 1940.

<sup>53</sup> George Stein, "Officials Warn of Fire Danger due to Huge Buildup of Brush," *The Los Angeles Times* (Los Angeles, CA), July 12, 1990, pg. 270.

<sup>54</sup> United States Federal Census, 1940.

<sup>55</sup> United States Federal Census, 1940.

<sup>56</sup> United States Federal Census, 1940.

<sup>57</sup> United States Federal Census, 1940.

<sup>58</sup> United States Federal Census, 1940.

<sup>59</sup> United States Federal Census, 1940.



Year	Address	Owner/Occupant	Occupation	Notes	Source
1935-1940	4055	Ralph Rigaud	Waiter at Restaurant	Head	1940 US Census
		Rose Rigaud	-	Wife	
		Rene Rigaud	-	Son	
		George Rigaud	-	Son	
1935-1940	4055 1/3	Frank Moody	Bookkeeper at S. California Edison	Head	1940 US Census
		Betty Moody	-	Wife	
		Jean M. Moody	-	Daughter	
1935-1940	4055 2/3	Josie Brodine	Cook/Manager at Fountain	Head	1940 US Census
		Richard Morris	Truck Driver for Retail Clothes Cleaning	Son-in law	
		Gloria Morris	Waitress at Soda Fountain	Daughter	
1940	4055 1/2	Joseph Morris	Salesman at Retail Department Store	Head	1940 US Census
		Anna Morris	Saleswoman at Retail Furniture Store	Wife	
1940	4059	Lester Soloman	Salesman at shoe store	Head	1940 US Census
		Sylvia Soloman	Cashier at retail store	Wife	
1940	4059 2/3	Doris Monntobas	Child's nurse at private home	Head	1940 US Census
1940	4059 ¼	Marion C. Warden	Assistant Manager at Retail	Head	1940 US Census
		Mary Warden	Saleswoman at retail cosmetics	Wife	
		Eugene Williamson	Receptionist at retail premium stamps	Mother-in-law	

#### 4059-4065 Oakwood Avenue

The bungalows at 4059-4095 Oakwood Avenue were rental properties and evidence shows there was also a high turnover of occupants at this property. Most of these occupants were employed in sales, services, or manufacturing and were not employed in the entertainment industry. The first occupant on record is Doland L. Allison who lived at 4059 from 1920-1921 and was a college student at the University of California.<sup>60</sup> In 1927, C.W. Henry, W.O. Fritz, Phil S. Gibson, W.H. Savage, David B. Cohen, and J.C. Courtourier lived in bungalows on the subject property.<sup>61</sup> From 1928-1929, Angles Leslie lived at 4059 ½ and worked as an assistant superintendent in the Hollywood Clara Barton Memorial Hospital. She may possibly be the same Agnes Leslie who killed her husband in 1956, but no evidence was found to verify they are the same person.<sup>62</sup> Martin Kasino, his wife Adele, and a lodger, Jules Pilcher, lived at 4065 ½ from 1935-1940. Martin was born in 1904 in Pennsylvania and worked as a salesman for a men's clothing retail store. Adele was born in 1917 in Pennsylvania as well and Jules Pilcher worked as an elevator operator at a hotel and was born in 1919 in Pennsylvania.<sup>63</sup> From 1935- 1940, Hulda Larson lived at 4065 ¾. She was born in 1871 in Sweden and was widowed. She worked as a tailoress at a men's clothing retail store.<sup>64</sup> She passed away in 1953 leaving behind a son, Linne, and two grandchildren and one great-grandchild.<sup>65</sup> From 1935-1940, Jack Helfrick and wife Esther lived

<sup>60</sup> Register of the University of California

<sup>61</sup> No further information was found about these residents.

<sup>62</sup> "Mercy Killing Sentence Given," *The Los Angeles Times* (Los Angeles, CA) August 24, 1956, pg. 46.

<sup>63</sup> United States Federal Census, 1940.

<sup>64</sup> United States Federal Census, 1940.

<sup>65</sup> "Mrs. Hulda P. Larson," *The Los Angeles Times* (Los Angeles, CA), November 28, 1953, pg. 20.



at 4061 ¾ Oakwood. Jack was born in 1893 in Ohio and worked as a salesman at a wholesale store. Esther was born in 1913 in New York and worked as a stenographer at Los Angeles Water and Power. She worked for them until she was dismissed in 1950 for refusing to sign affidavits indicating Communist Party membership. She sued the City arguing that the affidavits and the oath of loyalty were acts violating the City Charter and Federal and State Constitutions.<sup>66</sup>

In 1940, Philip Elsey, Jr., his mother Rebeccka Kromer, and brother Clarence Elsey R. lived at 4061 Oakwood. Philip was born in 1914 in Pennsylvania and worked in the services and sales in the carburetor industry. Rebeccka was born in Pennsylvania in 1896 and worked as a saleslady in the women's news. Clarence was born in 1918 in Pennsylvania and worked as an assembly man in the carburetors industry.<sup>67</sup> In 1940, Alvin F. Saffel and his wife Margaret lived at 4061 ½. Alvin was born in 1904 in Iowa and worked as an auto mechanic. Margaret was born in 1908 in Iowa. In 1940, Dora and her mother Jane R. Miller lived at 4063 1/4 Oakwood. Dora was born in 1901 in South Africa and worked as a buckle maker at a factory. Jane was born in 1881 in Australia and was a widow.<sup>68</sup> In 1940, Helen Keapman and her son Harold lived in 4063 ½ Oakwood. Helen Keapman was born in 1897 in Russia and was widowed. She worked as a wholesale dressmaker. Harold was born in 1925 in Illinois.<sup>69</sup> In 1940, Sam Schwimer and his wife, Ethel, and sons Harold and Leonard lived at 4063 Oakwood. Sam was born in 1882 in Hungary and Ethel was born in 1893 in Hungary. Harold was born in 1917 in Michigan and Leonard was born in 1920 in Michigan. Leonard is the only one with a listed occupation which is a truck driver for the shower door industry.<sup>70</sup> In 1940, Grady Embry, Jr. and his wife, Charlton lived at 4065 Oakwood. Grady was born in 1917 in Arkansas and worked as an exterminator. Charlton was born in 1916 in Arkansas and worked as a stenographer at a newspaper.<sup>71</sup>

In 1941, Irene D. Mountstevens lived at 4059 ¾ Oakwood and Grace L. Walker lived at 4065 Oakwood. Walker worked as a stenographer for Southwestern Butchers Supply Co. In 1953, Frances J. Edwards lived at 4059 Oakwood. Frances J. Edwards died in December of 1953. She lived in Los Angeles since 1917 and had a son, Raymond and a daughter Beatrice.<sup>72</sup>

**TABLE 6**  
**OCCUPANCY HISTORY OF 4059-4065 OAKWOOD (OAKWOOD COURT)**

Year	Address	Owner/Occupant	Occupation	Notes	Source
1920-1921	4059	Doland L. Allison	College Student		Register of the University of California

<sup>66</sup> "City Aid in Loyalty Case Sues to Regain Job," *The Los Angeles Times* (Los Angeles, CA), November 1, 1950, pg. 18.

<sup>67</sup> United States Federal Census, 1940.

<sup>68</sup> United States Federal Census, 1940.

<sup>69</sup> United States Federal Census, 1940.

<sup>70</sup> United States Federal Census, 1940.

<sup>71</sup> United States Federal Census, 1940.

<sup>72</sup> "Frances J. Edwards," *The Los Angeles Times* (Los Angeles, CA), December 10, 1953, pg. 60; no other information was found about these occupants.



Year	Address	Owner/Occupant	Occupation	Notes	Source
1927	4059	C.W. Henry	-		1927 City Directory
1927	4059 1/2	W.O. Fritz	-		1927 City Directory
1927	4061 1/2	Phil S. Gibson	-		1927 City Directory
1927	4063	W.H. Savage	-		1927 City Directory
1927	4065	David B. Cohen	-		1927 City Directory
1927	4065 1/2	J.C. Courtourier	-		1927 City Directory
1928-1929	4059 ½	Agnes Leslie	Assistant Supt. Hollywood Clara Barton Memorial Hospital		1928, 1929 City Directory
1935-1940	4065 1/2	Martin Kasino Adele Kasino Jules Pilcher	Salesman for Retail Man's Clothing - Elevator Operator at a Hotel	Head Wife Lodger	1940 US Census
1935-1940	4065 3/4	Hulda Larson	Tailoress at Retail Men's Clothing	Head	1940 US Census
1935-1940	4061 3/4	Jack Helfrick Esther Helfrick	Salesman at wholesale bouregeg Stenographer at Los Angeles Water and Power	Head Wife	1940 US Census
1940	4061	Philip Elsey, Jr. Rebecka Kromer Clarence Elsey R.	Service and Sales in the Carburetor Industry Saleslady in the women's news Assembly Man in the Carburetor Industry	Head Mother Brother	1940 US Census
1940	4061 1/2	Alvin F. Saffel Margaret Saffel	Auto Mechanic at private garage -	Head Wife	1940 US Census
1940	4063 1/4	Dora Miller Jane R. Miller	Buckle Maker at a Factory	Head Mother	1940 US Census
1940	4063 1/2	Helen Keapman Harold Keapman	Dressmaker at wholesale dressmaker -	Head Son	1940 US Census
1940	4063	Sam Schwimer Ethel Schwimer Harold Schwimer Lenoard Schwimer	- - - Truck Driver for Shower Door Industry		1940 US Census
1940	4065	Grady Embry, Jr. Charlton Embry	Exterminator Stenographer at newspaper		1940 US Census
1941	4059 ¾	Irene D. Mountstevens	-		1941 City Directory
1941	4065	Grace L. Walker	Stenographer for Southwestern Butchers Supply Co.		1941 City Directory
1953	4059	Frances J. Edwards	-		Obituary; Los Angeles Times 12/10/1953



## Architectural Description

The investigations for this Historic Resources Assessment Report were completed after the buildings at 4055-4057 and 4065-4069 West Oakwood Avenue had been demolished in 2018, therefore, ESA could not conduct a field survey of the former buildings. Therefore, ESA's evaluation is based upon photographic evidence found through online research and documentary evidence in City and County records and publically accessible online archives. The following architectural descriptions are based upon the photographic and documentary evidence uncovered during our research.

### 4055-4057 Oakwood (Single-family dwellings)

Prior to demolition, based upon a 2008 photograph, 4055-4057 Oakwood consisted of four one-story bungalows and a two story duplex. They were constructed in a single-parti row with a parking pad in the front-yard area and a concrete walkway leading to the rear bungalows. There was grass on either side of the walkway. The bungalows were built in a simplified Spanish Colonial Revival style, had stucco siding and flat roofs. Permitted alterations include the removal of a non-bearing wall between the kitchen and service porch and enclosing window openings in 1970 and the replacement of windows with sliding windows in 1976 (alterations). By 2018, all of the original windows had been replaced with sliding metal windows (alteration). Non permitted alterations include the addition of metal awnings over many of the windows and all of the doors (alterations). All of these alterations detract significantly from the property's integrity, as shown in **Table 1** and **Figure 8**.



SOURCE: Loopnet

4055-4065 Oakwood Avenue / D180899.00

**Figure 12**  
4055-4057 Oakwood Ave, 2008





SOURCE: Redfin

4055-4065 Oakwood Avenue / D180899.00

**Figure 13**  
4055-4057 Oakwood Ave, 2008

#### **4059-4065 Oakwood (Bungalow Court)**

Based upon photographic evidence, 4059-4065 Oakwood was originally built as a bungalow court. There were six detached (free standing/not connected) bungalows and a larger two-story multi-family detached residence to the north (rear) side of the property. The six bungalows were originally detached, but the two northern bungalows on either side were later attached (structurally connected) by a permit issued in 1940. The bungalows all faced to the central courtyard on the property where there was a walkway and landscaping. The property was eventually surrounded by a fence (alteration).

The two southern-most bungalows were still detached in 2018. They had a few original wood windows with true-divided-lites although many of the windows were replaced with vinyl sliding windows. There were Spanish tile awnings over entrances and windows. To the north were two bungalows on either side that were connected by additions constructed in 1940, making them duplexes. These additions, which filled in the space between the originally detached bungalows, resulted in an adverse impact to both the original site plan and a substantial alteration of the original spatial relationships of bungalows and the center courtyard, and resulted in a substantial adverse change to the integrity and significance of the property.

To the rear was a large two-story building with a flat roof and stucco siding. Most of the original wood double-hung windows had divided lites on the south (primary) façade and, based upon the photographs, still appeared to be intact in 2018 as well as the original wood French doors. There were additions on the west and east (side) facades of the rear building from 1939 (alteration). All of these alterations detract significantly from the property's integrity, as shown in **Table 3** and **Figures 9-11**.





4055-4065 Oakwood Avenue / D180899.00

SOURCE: Apartments.com, 2018

**Figure 14**  
Primary elevation



4055-4065 Oakwood Avenue / D180899.00

SOURCE: Apartments.com, 2018

**Figure 15**  
Primary elevation





4055-4065 Oakwood Avenue / D180899.00

SOURCE: Apartments.com, 2018

**Figure 16**  
Primary elevation and court of 4059-4065 Oakwood Avenue



4055-4065 Oakwood Avenue / D180899.00

SOURCE: Apartments.com, 2018

**Figure 17**  
Primary elevation of 4058-4065 Oakwood Avenue, view facing northeast



## Historic Context

Two applicable themes from the *Los Angeles Citywide Historic Context Statement* were used to evaluate the significance of the subject properties as potential historical resources, Spanish Colonial Revival, 1912-1948 (Criteria C/3/3),<sup>73</sup> and The Bungalow Court, 1910-1939 (Criteria A/1/1 and C/3/3).<sup>74</sup>

### Spanish Colonial Revival, 1912-1942<sup>75</sup>

By the early 1920s the Mission Revival had given way to the Spanish Colonial Revival. Influential in its spread were the Spanish-style buildings at the 1915 Panama California Exposition in San Diego, designed by Bertram Goodhue and Carleton Winslow, Sr. The buildings in San Diego provided a variety of Spanish forms, including the ornate Churrigueresque, discussed below as a separate sub-theme.

Closer to home is an earlier example of the Spanish Colonial Revival, the Southwest Museum (L.A. Historic-Cultural Monument No. 283). It is located at 234 Museum Drive in the Mount Washington neighborhood of Northeast Los Angeles and constructed of reinforced concrete between 1912 and 1914. Its architects were Sumner Hunt and Silas R. Burns. (It is reached from Museum Drive by way of a tunnel and elevator, the portal to which was designed by Allison and Allison in a Pre-Columbian Revival style and completed in 1920.)<sup>76</sup>



SOURCE: Los Angeles Public Library

4055-4065 Oakwood Avenue / D180899.00

**Figure 18**  
Southwest Museum, 1912-1914, L.A. HCM No. 283

<sup>73</sup> Architecture and Engineering, 1850-1980, theme Mediterranean & Indigenous Revival Architecture, 1893-1948, sub theme Spanish Colonial Revival, 1912-1942, property type, Multi-family Residential

<sup>74</sup> Residential Development and Suburbanization, 1850-1980, sub-context Multi-Family Residential Development, 1910-1980, theme Multi-Family Residential, 1910-1980, sub theme The Bungalow Court, 1910-1939, property type Residential, sub type Bungalow Court.

<sup>75</sup> SurveyLA, "Mediterranean & Indigenous Revival Architecture, 1893-1948." *Los Angeles Citywide Historic Context Statement*, Prepared for City of Los Angeles, Department of City Planning, November 2018. 14-21.

<sup>76</sup> Jeffrey Herr, ed., *Landmark L.A: Historic-Cultural Landmarks of Los Angeles* (Los Angeles: Cultural Affairs Department, 2002), 444; 1920-1950 Sanborn Map, Volume 12, Sheet 1234.



The Southwest Museum as an institution was founded in 1903 by Charles Lummis, whose home, El Alisal (L.A. Historic-Cultural Monument No. 68) is nearby. The purpose of the museum was to collect, preserve, and exhibit artifacts of the Native Americans of the Southwest. It was the first museum established in Los Angeles and the oldest privately-endowed museum in the state dedicated to Native American culture.<sup>77</sup>

The Southwest Museum building illustrates the Spanish Colonial Revival treatment of the structure as a series of picturesquely arranged masses, to be seen in three dimensions. The detailing is austere, with characteristic features limited to expanses of undecorated walls, low-pitched red-tiled gabled roofs, arched windows, and an occasional tower with a parapeted, hipped, or conical roof. This approach was influenced by growing interest in the vernacular architecture of Andalusia, in southern Spain.<sup>78</sup>

Advancing the Spanish Colonial Revival were publications by architects who had studied the historic structures of Mexico and the Mediterranean, in particular that of Andalusia. Typical was *Architectural Details: Spain and the Mediterranean*, published in 1926 by Richard Requa. It stressed the appropriateness of Mediterranean form for a climate such as Southern California and called out the elements of the style. In addition to expanses of unbroken white or pastel-colored walls and low-sloped red tile roofs, Requa noted the importance of enclosed outdoor spaces and the need for details such as wrought iron for balconies and for *rejas*, or window grilles.<sup>79</sup>

Because of the stress on picturesquely assembled masses, the Spanish Colonial Revival was extremely flexible. It could vary in scale and use. Its only limitation was that it worked best in stand-alone buildings, where its three-dimensional nature could be shown. It was less successful as part of a dense streetscape, tight against neighboring buildings. For that it often employed a variation, the Churrigueresque style.<sup>80</sup>

The Spanish Colonial became ubiquitous in 1920s Los Angeles. Most every building type made use of it, employing all forms of construction –wood frame, brick masonry, reinforced concrete, even adobe (discussed in a separate sub-theme). Because of its widespread use, it is best examined by separating examples into building-type categories. These include residential (single-family and multi-family), commercial, industrial, and institutional.

### ***Multi-Family Residential***

The Spanish Colonial Revival was useful for multi-family housing. Picturesquely assembled massing together with flexible stucco-on-wood-frame construction made it adaptable to a variety of sizes and site conditions. The style was popular for duplexes, triplexes, and fourplexes as well

<sup>77</sup> Herr, *Landmark L.A.*, 444.

<sup>78</sup> For the origins of the style, in particular the massing of the building into picturesque “episodes” based on Iberian castles and the overall horizontality and simplicity based on Andalusian farmhouses, see Lauren Weiss Bricker, *The Mediterranean House in America* (New York: Abrams, 2008), 13-14; also Arrol Gellner, *Red Tile Style* (New York: Viking Studio, 2002), 22, 29-30.

<sup>79</sup> Stephanos Polyzoides, Roger Sherwood and James Tice, *Courtyard Housing in Los Angeles: A Typological Analysis*, Second Edition (New York: Princeton University Press, 1992), 63.

<sup>80</sup> David Gebhard and Robert Winter, *An Architectural Guide to Los Angeles* (Salt Lake City, UT: Gibbs Smith, 2003), 137-138.



as auto-oriented bungalow courts and traditional urban apartment houses. It also led to a new multi-family building type, the courtyard apartment building.

The duplex and the triplex were the smallest of the multi-family forms and tried to fit the image of the single-family home. The duplex was the most common, either one-story side-by-side or two-story stacked. It typically sat on a lot that was the same size as that for a single-family structure, and its use of a side driveway provided the same rhythm to the streetscape. Only the larger bulk of the two-story stacked form, particularly seen from the side, gave away its multi-family character.

Two examples, both L.A. Historic-Cultural Monuments, illustrate the characteristics of the Spanish Colonial Revival duplex and triplex. They are adjacent along Kelton Avenue in West Los Angeles and were constructed in 1929. They appear to have been built by their owners and employ conventional stucco on wood frame construction. They are identified by the names of their owner-builders.

The first, the Pengelly House (L.A. Historic-Cultural Monument No. 746), is a two-story stacked duplex. Located at 1845-1847 Kelton, it is typical with its façade composition of a projecting living-room wing on one side balanced by an exterior stairway on the other. The two living rooms receive different window treatments – one arched and the other not – to lessen the look of identical stacked flats.



4055-4065 Oakwood Avenue / D180899.00

SOURCE: Office of Historic  
Resources

**Figure 19**  
Pengelly House duplex, 1929, L.A. HCM No. 746



The Pengelly is also typical of the stacked duplex in that the character-defining elements of picturesque massing, tile roofs and arched openings are limited to the facade. The remainder of the building is a simple rectangular volume topped with a parapeted flat roof and features window arrangements that make no attempt to hide its stacked-flat nature.

More complete in its use of the Spanish Colonial Revival is the Siple House triplex (L.A. Historic-Cultural Monument 747), at 1841-1843 Kelton Avenue. It consists of a single-story front cottage attached to a rear two-story two-flat building. The outdoor stairway is inserted between the two elements. This layout allows for the entire structure to be treated as a picturesque assemblage of masses. Unlike the duplex next door, the entire building has a sloped tile roof, allowing it to resemble more closely a large single-family home.



SOURCE: Office of Historic  
Resources

4055-4065 Oakwood Avenue / D180899.00

**Figure 20**  
Siple House triplex, 1929, L.A. HCM No. 747

The Spanish Colonial Revival fit well the needs of the bungalow court, a building type that dates from the early 1900s. The design of these Spanish Colonial Revival courts of the 1920s was in some cases reminiscent of the Mission Revival style, consisting of a collection of simple rectangular parapeted masses whose only character-defining feature was a tile-roofed hood over the individual front doors. Others were more elaborate, with picturesquely arranged units climbing up steep hillsides.

A modest example is the Sun Rise Court of 1921 (L.A. Historic-Cultural Monument No. 400). It is located at 5721-5729 Monte Vista Street in the Highland Park neighborhood of Northeast Los Angeles. It was designed by Charles Conrad for Max and Lena Kogan. The court is U-shaped and



consists of five single story side-by-side duplexes, two on each side of the center walkway and one at the end forming the base of the U. In the rear are garages opening onto an alley.<sup>81</sup>



SOURCE: Office of Historic Resources

4055-4065 Oakwood Avenue / D180899.00

**Figure 21**  
Sun Rise Court, 1921, L.A. HCM No. 400

Most notable is the entrance portal, drawn from the Moorish architecture of southern Spain. In contrast, the units themselves are simple rectangles of stucco on wood frame. Spanish Colonial Revival details are limited to tile roofs like miniature mansards along the tops of the exterior walls that face the street and tiled hoods over the front doors.<sup>82</sup>

A more elaborate example is the Scott Avenue Court of 1927 (L.A Historic-Cultural Monument No. 938). It is located at 1463-1463 Scott Avenue in Echo Park, in the hilly district adjacent to Elysian Park. The layout resembles that of the Sun Rise Court, with two rows of four detached stucco-on-wood-frame structures lining a central passage of steps and walkways.

<sup>81</sup> Herr, *Landmark L.A.*, 453; 1920-1950 Sanborn Map, Volume 12, Sheet 1254.

<sup>82</sup> "Application for the Erection of Frame Buildings," November 17, 1921, Search Online Building Records at [www.ladbs.org](http://www.ladbs.org), accessed May 2018





4055-4065 Oakwood Avenue / D180899.00

SOURCE: SurveyLA

**Figure 22**  
Scott Avenue Court, 1927, L.A. HCM No. 938

But the steepness of the site allows for a more picturesque appearance. The units are staggered masses, much like a Spanish or Italian hill town. Along with this is a more animated treatment of the two front units, with parapeted gables containing elaborately arched windows flanked by receding tile-roofed side wings. Of note, due to the slope, is the placement of the garages under the front two structures.<sup>83</sup>

An example of a large apartment house is the Villa Carlotta of 1926 (L.A. Historic-Cultural Monument No. 315). It is located at 5959 Franklin Avenue in Hollywood and was designed by Arthur E. Harvey. Construction is brick masonry with a stucco finish.<sup>84</sup>

Urban apartment buildings like the Villa Carlotta fit the Spanish Colonial Revival style less comfortably than smaller multi-family forms. By its nature the urban apartment house is a single, large undifferentiated block, with regular fenestration and a thick shape that best suited a parapeted flat roof. The Carlotta deals with this dilemma by treating the façade as several separate buildings, each with its own roof form and pattern of window openings.

<sup>83</sup> “Application for the Erection of Frame Buildings,” March 11, 1927, Search Online Building Records at [www.ladbs.org](http://www.ladbs.org), accessed May 2018. This is an arrangement that modernists architects such as R. M. Schindler and Richard Neutra used in similar site conditions.

<sup>84</sup> Herr, *Landmark L.A.*, 447; “Application for the Erection of Buildings,” July 2, 1926, Search Online Building Records at [www.ladbs.org](http://www.ladbs.org), accessed May 2018; 1919-1950 Sanborn Map, Volume 11, Sheet 1156.





4055-4065 Oakwood Avenue / D180899.00

SOURCE: Los Angeles Public Library

**Figure 23**  
Villa Carlotta, 1926, L.A. HCM No. 315

Most innovative of the multi-family residential forms was the courtyard apartment building. It combined the larger size of the urban apartment house together with the spread-out nature of the bungalow court. It was based on the freedom of massing allowed by the Spanish Colonial Revival and made use of the character-defining feature of the patio to create a new type of multi-family dwelling.<sup>85</sup>

A well-known example is the Andalusia Apartments and Gardens from 1927 (L. A. Historic-Cultural Monument No. 435). It is located at 1471-1475 Hayvenhurst Drive in Hollywood. It was one of several courtyard apartment projects designed by owners Arthur and Nina Zwebell. Arthur drew the plans and when necessary hired architects and engineers to review and sign them. He was responsible for the exteriors and Nina for the interiors. Arthur also served as the contractor.<sup>86</sup>

The two-story Andalusia is of stucco-on-wood-frame construction. The shape is a hollow rectangle arranged around a central patio and set back from the street behind an automobile court with garages. The layout follows that of a bungalow court, with an axis that runs along the center of the auto court, through an arched passageway into the courtyard patio, and then on to a rear patio with a swimming pool. There are nine units, most of which are two-story and some of which contain double-height living areas.<sup>87</sup>

<sup>85</sup> Also see Polyzoides, et al., *Courtyard Housing in Los Angeles*, passim.

<sup>86</sup> Herr, *Landmark L.A.*, 456; Polyzoides et al., *Courtyard Housing in Los Angeles*, 64.

<sup>87</sup> Polyzoides, *Courtyard Housing in Los Angeles*, 76-82; "Application for the Erection of Frame Buildings," May 17, 1926, at Search Online Building Records at [www.ladbs.org](http://www.ladbs.org), accessed May 2018





SOURCE: Office of Historic  
Resources

4055-4065 Oakwood Avenue / D180899.00

**Figure 24**  
The Andalusia, 1927, L.A. HCM No. 435

The most inventive space is the courtyard patio, described as a “verdant garden with a fat turret” in a rear corner. In the center is “a brightly tiled fountain that was copied from one in Seville.”<sup>44</sup> Unlike other building types, for which “much of the Spanish Revival was merely decorative,” the courtyard apartment houses as exemplified by the Andalusia, “made a serious attempt to recreate Mediterranean lifestyles.”<sup>88</sup>

### The Bungalow Court (1910-1939)<sup>89</sup>

The bungalow court was the earliest iteration of the low-rise, high-density courtyard apartment building which would eventually become the predominant multi-family housing dwelling type in Southern California.<sup>90</sup> Consisting of small, single-unit bungalows clustered on large lots, the bungalow court dates primarily from about the 1910s until the end of the 1930s, during which time it flourished throughout the Los Angeles county region, particularly in rapidly growing areas such as Hollywood and in the cities of Pasadena and Santa Monica. The early courts were designed as vacation residences for those spending winters in California and were promoted as a tranquil, homelike alternative for affluent visitors tiring of resort hotels.<sup>91</sup> As the population of Southern California exploded in the 1920s and 1930s, bungalow courts became more associated with year-round rental housing for people with moderate or lower incomes.<sup>92</sup> The appeal of the bungalow court was summarized by one critic, “a house in one of these courts virtually combines

<sup>88</sup> Paul Gleye, *The Architecture of Los Angeles* (Los Angeles: Rosebud Books, 1981), 92.

<sup>89</sup> SurveyLA, “Multi-Family Residential Development, 1895-1970,” *Los Angeles Citywide Historic Context Statement*, prepared for the City of Los Angeles Department of City Planning, December 2018, 40-51.

<sup>90</sup> Stephanos Polyzoides, Roger Sherwood, James Tice, and Julius Shulman, *Courtyard Housing in Los Angeles: A Typological Analysis* (Berkeley, CA: University of California Press, 1992), 9.

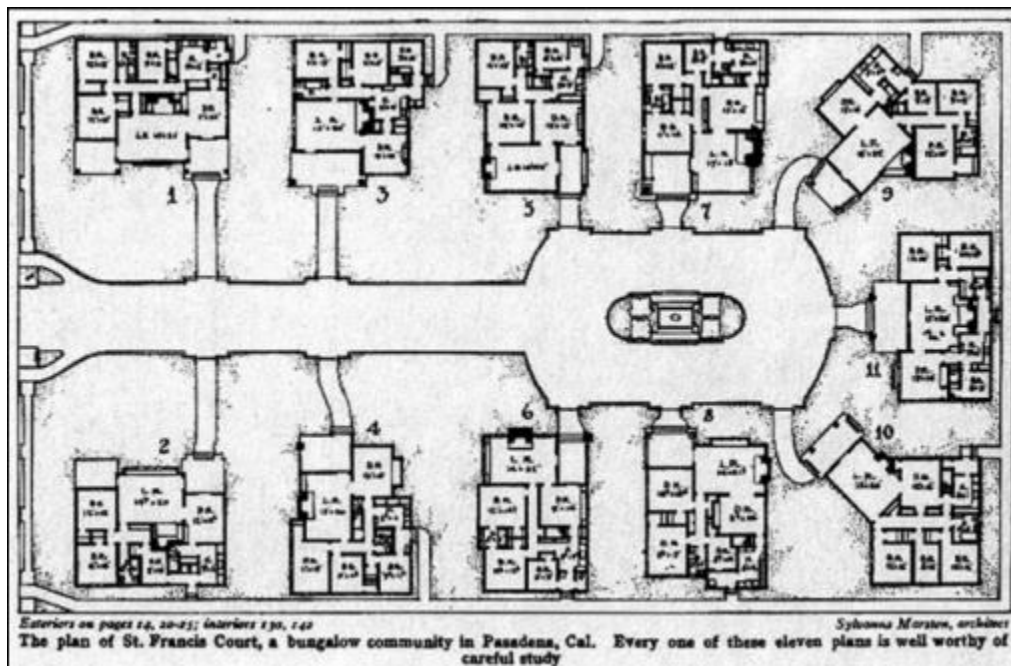
<sup>91</sup> Edward B. Bosley, “Sylvanus Martson,” in Robert Winder, ed. *Toward a Simpler Way of Life: The Arts and Crafts Architects of California* (Berkeley and Los Angeles, University of California Press, 1997, 170; Robert Winder, *The California Bungalow* (Los Angeles: Hennessey and Ingalls, Inc., 1980), 58-67.

<sup>92</sup> Winter, *The California Bungalow*, 66-67.



the conveniences of the modern apartment house with all the privacy and freedom of the individual home.”<sup>93</sup>

The earliest occurrence of the bungalow court in Southern California is generally attributed to the city of Pasadena, but the property type soon became popular in Los Angeles. While bungalow courts are often associated with the work of noted architects, the majority were developed by contractors or ownerbuilders; indeed, it was their ease of construction by small-scale developers that allowed for the proliferation of the housing type throughout Los Angeles. The bungalow court evolved as a symmetrical grouping of freestanding single-story rental cottages bounding a landscaped court.<sup>94</sup> A typical bungalow court might include between six and ten units, depending on the size of the property on which it was constructed.<sup>95</sup> Smaller lots often featured linear plans of multiple units joined in a single row by common walls, while larger lots could accommodate a U-shaped plan around a shared central courtyard.



SOURCE: Department of Geography,  
UCSB

4055-4065 Oakwood Avenue / D180899.00

**Figure 25**  
St. Francis Court site plan by architect Sylvanus Marston, 1908

Architectural historian Robert Winter attributes the concept of the bungalow court to East Coast influences, observing that the roots of the building type “go back to groupings of cottages built usually in religious campgrounds from Martha’s Vineyard to Chautauqua to Winona Lake in Indiana and beyond.”<sup>96</sup> The bungalow court can also be seen as a direct offshoot of the California

<sup>93</sup> Charles Alma Byers, “The Community Court, Its Practical and Artistic Possibilities,” *The Touchstone* III (April 1918): 58.

<sup>94</sup> Todd Douglas Gish, “Building Los Angeles: Urban Housing in the Suburban Metropolis, 1900-1936” (PhD diss., University of Southern California, 2007), 97.

<sup>95</sup> *Ibid.*, 97.

<sup>96</sup> *Ibid.*, 58.



Bungalow tradition – a regionally suitable, moderately priced, and carefully designed domestic architecture. The bungalow court was a unique compromise for high-density housing, bringing together the amenities of privacy and open space usually reserved for single-family living with the convenience of an apartment. With front porches and common areas encouraging socializing among the residents, bungalow courts also helped provide new residents with a sense of identity and place.<sup>97</sup>

St. Francis Court (1908) in Pasadena is generally identified as the first bungalow court in the Los Angeles area and the first of its kind in the United States. Attributed to architect Sylvanus Marston, the court was touted in contemporary advertisements as “a wonderfully artistic arrangement of eleven beautifully furnished bungalows around a large private court. Soon other architects and contractors capitalized on Marston’s idea, and the building type would become “a favorite in Southern California for the first three decades of the 20th century.”<sup>98</sup>



SOURCE: Pasadena Museum History

4055-4065 Oakwood Avenue / D180899.00

**Figure 26**  
St. Francis Court in Pasadena

Another notable designer of bungalow courts was architect Arthur S. Heineman. In addition to the three courts constructed by Heineman and his brother in Pasadena (those for which they are best known) the brothers also developed bungalow courts in the Los Angeles area, and especially in Hollywood.<sup>99</sup> A Los Angeles Times article published in January 1911 reported that the Heinemans had been hired by Mrs. W. S. Crane to design a bungalow court on Santa Barbara Avenue near Vermont.<sup>100</sup> They designed at least three other courts in Los Angeles, including the Manor Court, the Hollywood Court, and Ivan Court.<sup>101</sup>

<sup>97</sup> City of Pasadena, *Cultural Resources of the Recent Past Historic Context Report*, prepared by Historic Resources Group and Pasadena Heritage, October 2007.

<sup>98</sup> Ibid., 44.

<sup>99</sup> Christine Lazzaretto, “The Bungalow and the Automobile: Arthur and Alfred Heineman and the Invention of the Milestone Motel” (Master’s thesis, University of Southern California, 2007), 49.

<sup>100</sup> Ibid.

<sup>101</sup> Ibid. Location of these courts is not known.



As Robert Winter notes, while “not the originator, Heineman and his younger brother Alfred certainly capitalized on the idea of bungalow courts, usually planning them for people with somewhat lower incomes than Marston’s court serviced.”<sup>102</sup> Indeed, it is the widespread adoption of more modest courts which Winter thought more representative of the bungalow court’s character.

Historians quite naturally tend to illustrate their writing with the best they can find of the genre, thus suggesting to the reader an amount of work of high quality which simply did not exist. Every one of the literally thousands of bungalow courts in Southern California cannot come up to the high standards of the Heinemans and Marston. But it is surprising how many come off extremely well. They may have been a speculator’s dream, but they also performed a service. While designed at first for vacationing easterner and Midwesterner, the courts could be and were adapted to the use of people with moderate or lower incomes; thus, the bungalow courts extended at least a touch of “casual California living” even to the poor. For the social historian not enslaved to high art, the very simple bungalow courts...are at least as interesting as the work of the masters.<sup>103</sup>



SOURCE: Cary Moore Collection, Los Angeles Public Library

4055-4065 Oakwood Avenue / D180899.00

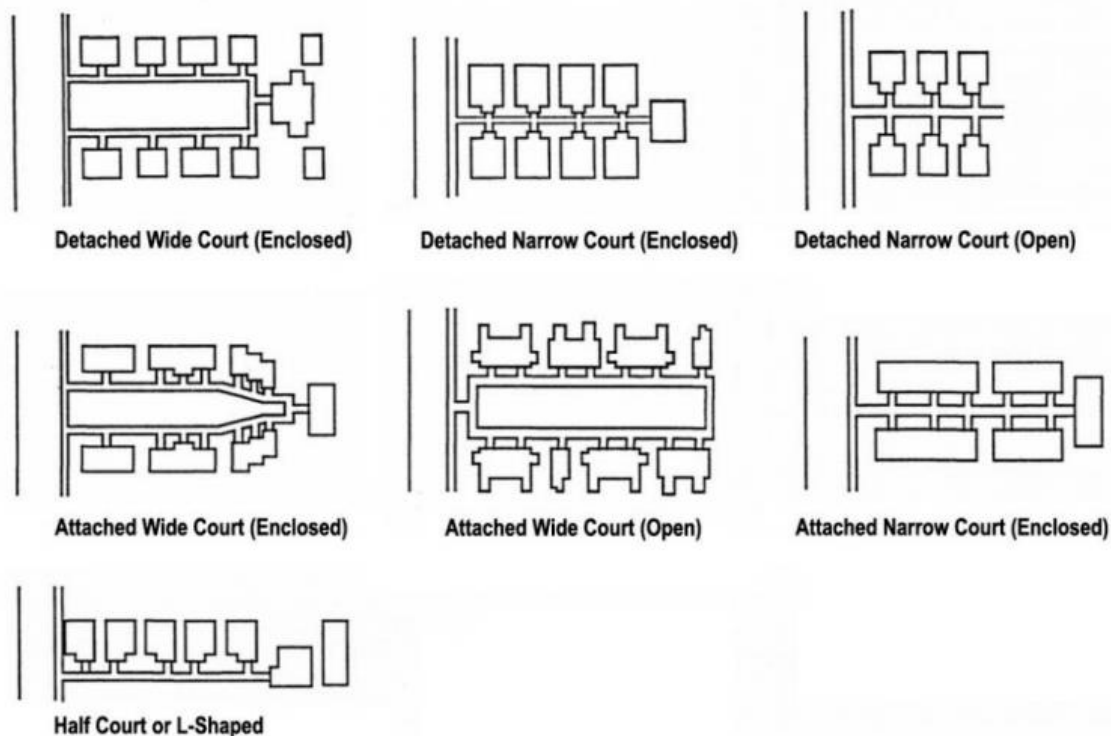
**Figure 27**  
Mission Revival Bungalow Court at 1222-1224 N. Kenmore Avenue,  
Hollywood, 1924

<sup>102</sup> 3 Winter, *The California Bungalow*, 60.

<sup>103</sup> *Ibid.*, 66-67.



Even as the bungalow court evolved to a lower-cost permanent housing model, characteristics found in Marston's initial design remained and came to define the housing type. Whether modest or extravagant, bungalow courts retained the same essential composition regardless of their style, level of architectural detail, or amenities. Indeed, as architect Ross Chapin acknowledges, the success of the form comes in part from the ease with which it could adapt to lot dimensions and the wide variety of styles that were possible.<sup>104</sup> According to Chapin, early courts in the United States constructed through the mid-1910s were mostly organized in a U-shaped plan on lots with a street frontage of 150 feet or more and equal depth. This allowed for a central garden space 50 feet wide, with room for porches, small private yards, and significant landscaping in the shared court.<sup>105</sup> Early versions of the type were also composed of a single row of detached units arranged along a side court. These types of courts replicate the experience of a single-family house because though the individual bungalows are often very small, they are usually freestanding or include only one common wall with a neighboring unit.



SOURCE: Taken from "Bungalow Courts in Pasadena, Amendment," National Register of Historic Places Inventory/Nomination Form, November 15, 1994.

4055-4065 Oakwood Avenue / D180899.00

**Figure 28**  
Sampling of Bungalow Court Plans

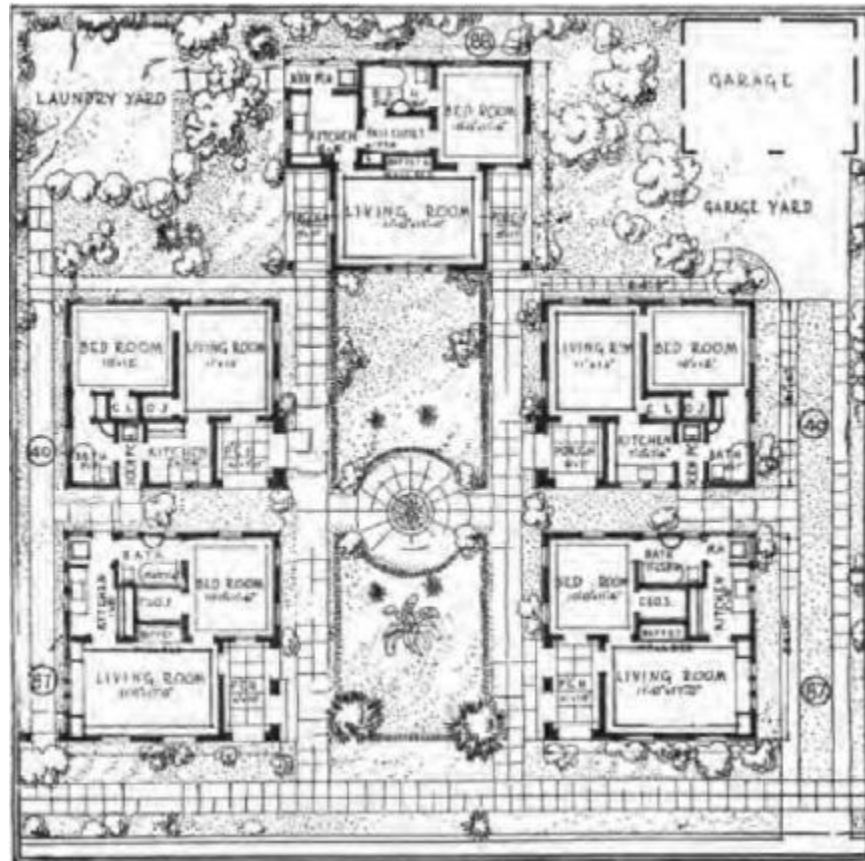
In Los Angeles, bungalow courts were often located on double lots that were originally intended for much larger houses with gardens when the area was expected to be much less densely developed. Early land subdivision in Southern California favored the single-family dwelling lot –

<sup>104</sup> Ross Chapin, *Pocket Neighborhoods: Creating Small-Scale Community in a Large-Scale World* (Newtown, CT: The Taunton Press, 2011), 46.

<sup>105</sup> Chapin, 46.



typically 50 feet by 150 feet – so it was this land parcel that became the basic unit of development for the bungalow courts, which “sprouted even in these tight spaces, interspersed among the single-family houses.”<sup>106</sup> Because bungalow courts tended to blend nicely into single-family streetscapes, they were “utilized extensively in spot development that did not disrupt the physical and social context of given neighborhoods.”<sup>107</sup>



SOURCE: *Ideal Homes in Garden Communities*, 76

4055-4065 Oakwood Avenue / D180899.00

**Figure 29**  
Detailed bungalow court plan, 1915

After World War I it was more common for the courts to be composed of larger residential buildings containing a series of attached units, reflecting the increasing density of Los Angeles. However, units were still arranged in the characteristic pattern, with separate entrances oriented directly onto a central court. Often a larger multi-unit building was situated at the rear of the courtyard, creating a U-shaped configuration and providing a visual terminus to the courtyard itself.

<sup>106</sup> Polyzoides et al., *Courtyard Housing in Los Angeles*, 12.

<sup>107</sup> Ibid.





4055-4065 Oakwood Avenue / D180899.00

SOURCE: SurveyLA

**Figure 30**  
Craftsman Bungalow Court at 2320-2324 W. Fair Park Avenue, Eagle  
Rock, 1922

Land prices increased after World War I, which led to courts being constructed on even narrower lots, to about 75 feet wide, with the common space taking up the slack.<sup>108</sup> A half-court pattern appeared on a still smaller lot, in an L-shaped configuration. Pushing the limits further, some court layouts morphed into a series of one- or two-sided attached garden apartments.<sup>109</sup> Although these later buildings did not have the same character as the earlier one- or two-unit bungalow courts, they were a step in the transition in courtyard housing from true bungalow courts consisting of single or duplex units to U-shaped courtyards. Winter notes that, “Important was the

<sup>108</sup> Chapin, *Pocket Neighborhoods*, 46.

<sup>109</sup> *Ibid.*, 46.



tendency to try to unify these assemblages not only with a stylistic theme, but also a design focus – some imposing feature such as an entry gate or a tower in the rear.”<sup>110</sup>



SOURCE: SurveyLA

4055-4065 Oakwood Avenue / D180899.00

**Figure 31**  
Craftsman Bungalow Court at 7175-7189 N. Figueroa Street, Highland Park, circa 1925



SOURCE: SurveyLA

4055-4065 Oakwood Avenue / D180899.00

**Figure 32**  
Craftsman Bungalow Court at 2337-2347 W Ridgeview Avenue, Eagle Rock, 1927

<sup>110</sup> Winter, *The California Bungalow*, 67.



Bungalow courts in Los Angeles reflected interpretations of popular architectural styles of their period of construction. The earliest courts reflected the contemporary taste for the Arts and Crafts Movement, and in particular the Craftsman style. In response to the widespread marketing of Southern California as America's answer to the climate and tradition of the Mediterranean region, the design of many bungalow courts employed the vocabulary of Mediterranean and Indigenous Revival Styles.<sup>111</sup>



SOURCE: SurveyLA

4055-4065 Oakwood Avenue / D180899.00

**Figure 33**

Spanish Colonial Revival Bungalow Court at 1836-1842 W Chickasaw Avenue, Eagle Rock, 1929

Widely popular in Southern California from the late 1910s through the 1930s, the Spanish Colonial Revival style emerged from a conscious effort by architects to emulate older Spanish architectural traditions. The affordability of stucco over other building materials like redwood veneer was also a factor in the proliferation of the style.<sup>112</sup> Well-suited to Southern California's warm dry climate, the Spanish Colonial Revival style's exotic appearance and a sense of historic depth appealed to many Southern California residents, particularly those relocating from other parts of the country.<sup>113</sup> Other common, though less prevalent architectural styles embraced by the Los Angeles bungalow court include American Colonial Revival, Tudor Revival, Storybook, French Norman, Mediterranean Revival, Dutch Colonial Revival, Exotic Revival, and later Art Deco and Moderne styles.<sup>114</sup> Today bungalow courts are an increasingly threatened property type. Examples are located citywide in areas primarily developed from the 1910s to the 1930s. Areas with concentrations include Westlake, Echo Park, Venice, Northeast Los Angeles, and especially Hollywood.

<sup>111</sup> Associated styles include Spanish Colonial Revival and Mission Revival among others. For more information, see the Mediterranean and Indigenous Revival theme of the Citywide historic context.

<sup>112</sup> Caroline Raftery, "The Bungalow Courts of Hollywood, California: Hollywood Bungalow Court Survey, Preservation Analysis, And Recommendations," (Master's thesis, Columbia University, 2016), 40.

<sup>113</sup> Virginia and Lee McAlester, *A Field Guide to American Houses* (New York: Alfred A. Knopf, 2000), 417-418.

<sup>114</sup> Winter, *The California Bungalow*, 67.





4055-4065 Oakwood Avenue / D180899.00

SOURCE: SurveyLA

**Figure 34**  
Spanish Colonial Revival Bungalow Court at 4381-4387 E. York Blvd,  
Eagle Rock, 1940

### ***The Bungalow Court in Hollywood***

The bungalow court took on particular significance in Hollywood, due to its close association with the burgeoning entertainment industry. Between 1910 and 1920, the Hollywood area alone saw a population increase from 5,000 to 36,000. Writing in 1937's *History of Hollywood*, Edwin O. Palmer observes that "agriculture was practically abandoned, being replaced by businesses and high-class residences, bungalow courts and apartments... This great growth was undoubtedly due to motion picture business" (emphasis added).<sup>115</sup> 7 Hollywood's first film studio was established on the northwest corner of Sunset Boulevard and Gower Street in 1911. Nestor Studios was drawn to the area for its predictable weather and varied landscapes that were ideal for the production of motion pictures. Impressed with the company's success in Hollywood, other studios soon followed. Within months of Nestor's arrival, fifteen companies were shooting in and around Hollywood. By 1926, the weekly payroll in the local film industry reached two million dollars.

<sup>115</sup> 7 Edwin O. Palmer, *History of Hollywood*, Volume One (Hollywood, CA: Arthur H. Cawston, 1937), 259.





SOURCE: City of Los Angeles Office  
of Historic Resources

4055-4065 Oakwood Avenue / D180899.00

**Figure 35**  
French Norman Style, Covert Cottages, 938-944 ½ N. Martel Avenue,  
Hollywood, City HCM No. 783



SOURCE: City of Los Angeles Office  
of Historic Resources

4055-4065 Oakwood Avenue / D180899.00

**Figure 36**  
Colonial Revival Style, Whitley Court, 1720-1728 N. Whitley Avenue,  
Hollywood, City HCM No. 448

The local population grew rapidly to support this new industry, and by the late teens and early twenties scores of small independent studios were operating in Hollywood, transforming the area from a residential community of spacious homes on large lots to an active urban center. By the



end of the 1920s, Hollywood's population had soared to 50,000.<sup>116</sup> As Hollywood Boulevard became more commercial, the residential cross-streets to the north and south began to be developed with increasing density. New residential housing types began to populate these streets, including apartment houses, residential hotels, and bungalow courts. Today, the Hollywood area contains by far the largest concentration of bungalow courts in Los Angeles, with over forty different plan configurations.<sup>117</sup> Also due to the influence of nearby movie studios, Hollywood boasts some of the most architecturally distinctive Exotic Revival and Storybook examples, from Moorish or Egyptian motifs to the fairy-tale influence of Disney films.



4055-4065 Oakwood Avenue / D180899.00

SOURCE: SurveyLA

**Figure 37**  
Storybook Bungalow Court known as the "Snow White Cottages," 2906 Griffith Park Blvd., Los Feliz, 1931-1932. Disney animators are said to have lived here in the 1930s while working on the first animated feature film

<sup>116</sup> Leonard and Dale Pitt, *Los Angeles A to Z: An Encyclopedia of the City and County* (Berkeley, CA: University of California Press, 1997), 203.

<sup>117</sup> Raftery, 43.





SOURCE: SurveyLA

4055-4065 Oakwood Avenue / D180899.00

**Figure 38**  
Craftsman Bungalow Court at 348-358 Douglas Street, Westlake, 1923



SOURCE: SurveyLA

4055-4065 Oakwood Avenue / D180899.00

**Figure 39**  
Spanish Colonial Revival Bungalow Court at 5115-5125 W. De Longpre Avenue, Hollywood, 1923




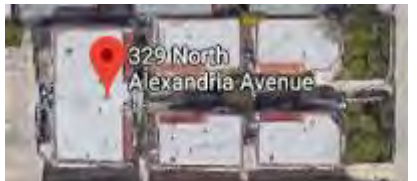
By the middle of the twentieth century the bungalow court type was becoming obsolete as increasing land values and more stringent parking requirements necessitated higher densities.



## Other Examples of Existing Bungalow Courts in the Wilshire Area

ESA conducted research investigations to determine if other examples of Bungalow Courts existing in the Wilshire Area, and our research results are summarized in Tables 7 and 8 below. The Bungalow Court property type is common type of multi-family residential housing in the City of Los Angeles at large, and in the Wilshire Area, and numerous examples in the Wilshire Area have been recorded in *SurveyLA*. Table 7 shows that 19 Bungalow Courts were identified as significant historical resources in *SurveyLA*, while Table 8 lists several previously unrecorded Bungalow Courts not included in *SurveyLA* located in the vicinity of the Project Site. ESA also identified 74 Bungalow Courts within a mile radius of the subject properties, as shown on Figure 40.

**TABLE 7**  
**OTHER SIGNIFICANT BUNGALOW COURTS IN WILSHIRE**  
**LOS ANGELES DEPARTMENT OF PLANNING WILSHIRE CPA<sup>118</sup>**

Name	Date Built	Significance	Status Code	Photograph	Aerial Photograph
323-325 North Alexandria Avenue Bungalow Court	1927	Excellent example of an intact 1920s bungalow court.	3S; 3CS; 5S3		
329-333 North Alexandria Avenue Bungalow Court	1923	Excellent example of a 1920s bungalow court. However, window replacement and other alterations means it does not retain sufficient integrity for listing in the National Register	3CS; 5S3		

<sup>118</sup> SurveyLA, *Historic Resources Survey Report, Wilshire Community Plan Area*, prepared for the City of Los Angeles Department of City Planning, January 23, 2015.



Name	Date Built	Significance	Status Code	Photograph	Aerial Photograph
608-616 North Kingsley Drive Bungalow Court	1930	Excellent example of a 1930s bungalow court	3S; 3CS; 5S3		
412-420 North Norton Avenue Bungalow Court	1926	Excellent example of 1920s bungalow court	3S; 3CS; 5S3		
424-430 North Norton Avenue Bungalow Court	1924	Excellent example of a 1920s bungalow court	3S; 3CS; 5S3		
616-620 North Plymouth Boulevard Bungalow Court	1923	Excellent example of 1920s bungalow court	3S; 3CS; 5S3		



Name	Date Built	Significance	Status Code	Photograph	Aerial Photograph
628-632 North Plymouth Boulevard Bungalow Court	1924	Excellent example of 1920s bungalow court	3S; 3CS; 5S3		
1236-1244 South Ardmore Avenue Bungalow Court	1913	Excellent example of 1910s bungalow court	3S; 3CS; 5S3		
1104-1106 South Berendo Street Bungalow Court	1927	Excellent example of 1920s bungalow court	3S; 3CS; 5S3		
973-977 South Gramercy Drive Bungalow Court	1922	Excellent example of 1920s bungalow court	3S; 3CS; 5S3		



Name	Date Built	Significance	Status Code	Photograph	Aerial Photograph
1203-1205 South Mariposa Avenue Bungalow Court	1926	Excellent example of 1920s bungalow court, also eligible for Mediterranean and Indigenous Revival Architecture	3S; 3CS; 5S3		
1216-1218 South Mullen Avenue Bungalow Court	1923	Excellent example of 1920s bungalow court	3S; 3CS; 5S3		
1126-1128 South New Hampshire Avenue Bungalow Court	1924	Excellent example of 1920s bungalow court	3S; 3CS; 5S3		
1200-1204 South Plymouth Boulevard Bungalow Court	1927	Excellent example of 1920s bungalow court	3S; 3CS; 5S3		







Name	Date Built	Significance	Status Code	Photograph	Aerial Photograph
1245-1255 South Plymouth Boulevard Bungalow Court	1923	Excellent example of 1920s bungalow court	3S; 3CS; 5S3		
3020-3030 West 12 <sup>th</sup> Street Bungalow Court	1923	Excellent example of 1920s bungalow court	3S; 3CS; 5S3		
5212-5218 West Melrose Avenue Bungalow Court	1921	Excellent example of 1920s bungalow court	3S; 3CS; 5S3		



Name	Date Built	Significance	Status Code	Photograph	Aerial Photograph
5111-5119 West Raleigh Street Bungalow Court	1921	Excellent example of 1920s bungalow court. Due to alterations, including window replacement, the bungalow court does not retain sufficient integrity for listing in the National Register	3CS; 5S3		
2600-2606 West San Marino Street Bungalow Court	1916	Excellent example of 1910s bungalow court	3S; 3CS; 5S3		



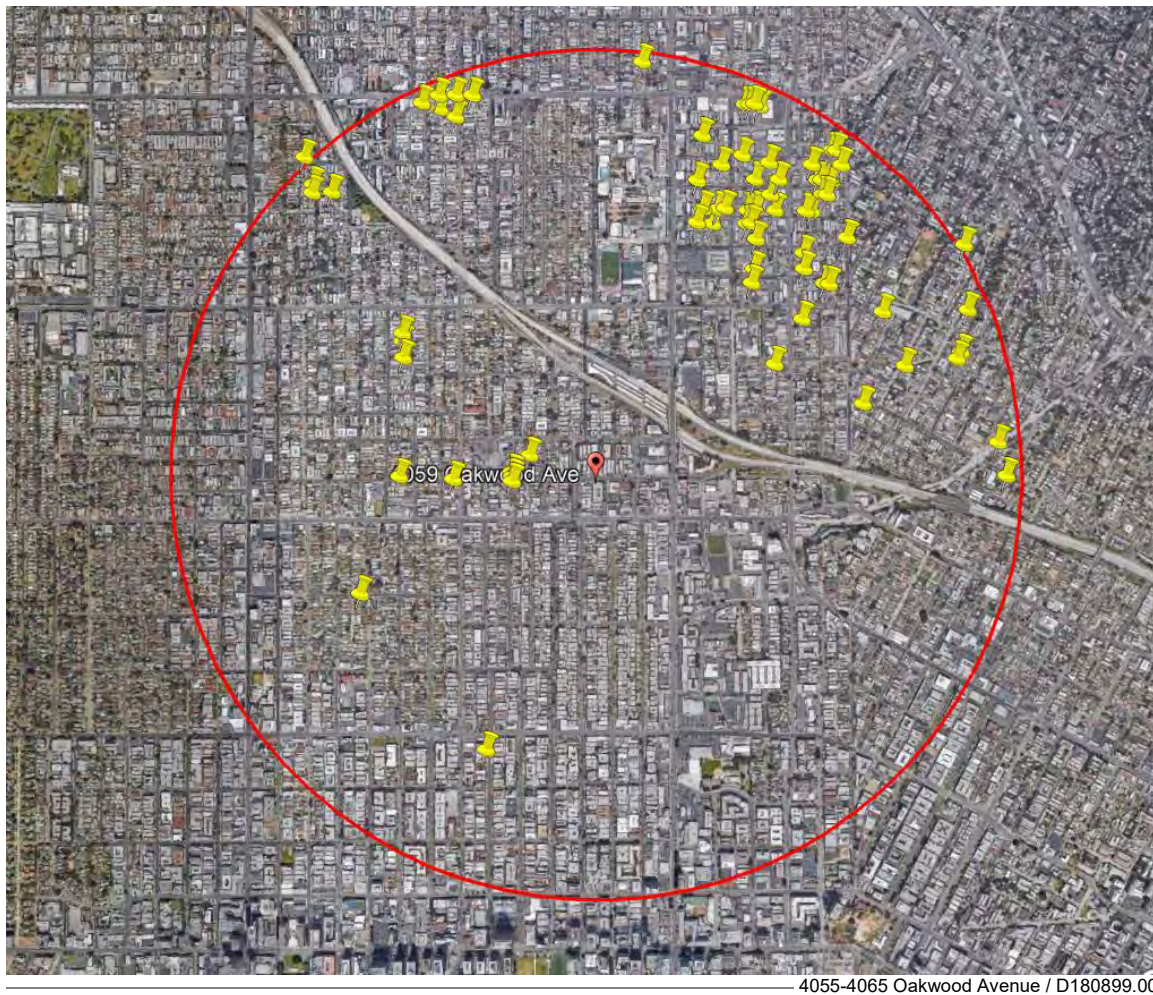
TABLE 8  
OTHER NEARBY BUNGALOW COURTS IN WILSHIRE

Address	Date Built	Photograph	Aerial Photograph
4167 Oakwood Avenue	1923		
335 N Alexandria Ave	1923		
542 N Kingsley Dr.	1923		



Address	Date Built	Photograph	Aerial Photograph
564 N Kingsley Dr.	1920		
4252 West 1 <sup>st</sup> Street	1921/1928		
328 N Kingsley Dr.	1924		
538 N Westmoreland Ave	1910/1922		





SOURCE: Google Earth

**Figure 40**  
74 Bungalow Courts within a mile radius (the red circle) of the subject property (marked by red arrow) are marked by yellow pins



## Evaluation

### Previous Evaluations of the Subject Property

Both of the subject properties have been previously evaluated, and as a result, 4059-4065 Oakwood was identified as a multi-property resource during the most recent city-wide survey, SurveyLA of the “Wilshire Historic Districts, Planning District and Multi-Property Resources” in 2015 under the SurveyLA theme of The Bungalow Court, 1910-1939.

### Evaluation of Potential Historical Resources within the Subject Property

#### ***SurveyLA Registration Requirements and Eligibility Standards***

Based upon the historical and architectural themes developed in Environmental Setting section and in the Los Angeles Historic Context Statement, there are two significant SurveyLA themes associated with the subject property: Residential Development and Suburbanization, 1850-1980: Bungalow Courts, 1910-1939; and Architecture and Engineering, 1850-1980: Spanish Colonial Revival, 1912-1948, Residential, Bungalow Court. The following is the Context Summary Table developed by the OHR that defines the eligibility standards, character-defining features, and integrity aspects a historical resource needs to have in order to be considered eligible in association with the aforementioned themes. These standards were utilized in the evaluation of the improvement on the subject property that follows below.

#### **Context: Residential Development and Suburbanization, 1850-1980: Bungalow Courts, 1910-1939.**

##### **Residential Development and Suburbanization, 1850-1980**

<b>CONTEXT:</b>	Residential Development and Suburbanization, 1850-1980
<b>SUB CONTEXT:</b>	Multi-Family Residential Development, 1910-1980
<b>THEME:</b>	Multi-Family Residential, 1910-1980
<b>SUB THEME:</b>	The Bungalow Court, 1910-1939
<b>PROPERTY TYPE:</b>	Residential
<b>PROPERTY SUB TYPE:</b>	Bungalow Court
<b>GEOGRAPHIC LOCATION</b>	Citywide in areas that were predominantly developed in the 1920s and 1930s. They typically occur on residential streets, including those developed with single-family residences and/or other multi-family types.
<b>AREA OF SIGNIFICANCE</b>	Architecture; Community Planning & Development
<b>CRITERIA</b>	A/1/1; C/3/3
<b>PERIOD OF SIGNIFICANCE</b>	1910 – 1939
<b>ELIGIBILITY STANDARDS:</b>	<p>A good to excellent example of the type</p> <p>Was constructed during the period of significance</p> <p>Represents an intact court plan from the period of construction</p>



<b>CHARACTER DEFINING/ASSOCIATIVE FEATURES:</b>	<p>Retains most of the essential character-defining features from the period of significance</p> <p>Retains most of the essential character-defining features from the period of significance</p> <p>Composed of multiple detached or semi-detached buildings</p> <p>Typically occupies a single or double residential lot</p> <p>Units are oriented around a central common open area, a primary feature of the design (typically a landscaped area with a central walkway or simple cement sidewalk; a paved central motor court is less common)</p> <p>The primary entrance to individual units open directly onto the shared central walkway; front units may open onto the street</p> <p>Early examples have little or no accommodation for the automobile. Examples that accommodate automobiles may include a central motor court or side alleys leading to a parking area or garages. Examples built on steep topography may have parking garages at the street level.</p> <p>May also be significant as a good to excellent example of an architectural style from its period and/or the work of a significant architect or builder</p> <p>Property as a whole is composed of a unifying architectural style. Associated architectural styles may include, and not be limited to: Craftsman, Mission Revival, Spanish Colonial Revival, American Colonial Revival, Tudor Revival, Exotic Revival, Storybook</p> <p>Bungalow courts are of particular significance in Hollywood, where large colonies once existed to accommodate people working in the burgeoning entertainment industry</p>
<b>INTEGRITY CONSIDERATIONS:</b>	<p>Should retain integrity of Location, Design, Materials, and Setting (must retain the relationship between the units and the courtyard), and Feeling</p> <p>Some original materials may be altered or replaced</p> <p>Replacement of some windows may be acceptable if the openings have not been changed or resized</p> <p>Security bars may have been added</p> <p>Original landscaping may have been altered or removed</p> <p>Surrounding buildings and land uses may have changed</p> <p>If it is a rare surviving example of its type, or is a rare example in the community in which it is located, a greater degree of alteration or fewer character-defining features may be acceptable</p> <p>Where this property type is situated within a grouping of multi-family residences, it may also be significant as a contributor to a multi-family residential district. A grouping may be composed of a single property type or a variety of types.</p>

### Context: Architecture and Engineering, 1850-1980: Spanish Colonial Revival, 1912-1948.

#### Architecture and Engineering, 1850-1980

<b>CONTEXT:</b>	Architecture and Engineering, 1850-1980
<b>SUB CONTEXT:</b>	No Sub-context
<b>THEME:</b>	Mediterranean and Indigenous Revival Architecture, 1887-1952
<b>SUB THEME:</b>	Spanish Colonial Revival, 1912-1948
<b>PROPERTY TYPE:</b>	Residential
<b>PROPERTY SUB TYPE:</b>	Bungalow Court
<b>GEOGRAPHIC LOCATION</b>	Found in residential areas developed during the 1920s throughout the City. Concentrations are found in Westwood, Hollywood, Hancock Park, Miracle Mile, Los Feliz, Silverlake, Echo Park, Lincoln Heights, Westlake



<b>AREA OF SIGNIFICANCE</b>	Architecture
<b>CRITERIA</b>	C/3/3
<b>PERIOD OF SIGNIFICANCE</b>	1915 – 1942
<b>ELIGIBILITY STANDARDS:</b>	<p>Was constructed during the period of significance</p> <p>Exemplifies the character-defining features of the Spanish Colonial Revival style</p> <p>Is an excellent example of the style and/or the work of a significant architect or builder</p>
<b>CHARACTER DEFINING/ASSOCIATIVE FEATURES:</b>	<p>Retains most of the essential character-defining features of the style</p> <p>Typically asymmetrical horizontal assemblage of building masses</p> <p>Stucco or plastered exterior walls</p> <p>Distinctively shaped and capped chimneys</p> <p>Low sloped clay tile roofs or roof trim</p> <p>Arched openings, individually serving doors and windows or arranged in arcades</p> <p>Towers used as vertical accents to horizontal assemblages</p> <p>Patios, courtyards, and loggias or covered porches and or/balconies</p> <p>Spare detailing making use of wrought iron, wood, cast stone, terra cotta, polychromatic tile</p> <p>Grilles, or rejas, of cast iron or wood over windows and other wall openings</p> <p>Attic vents of clay tiles or pipe</p>
<b>INTEGRITY CONSIDERATIONS:</b>	<p>Should retain integrity of Design, Materials, Workmanship, and Feeling</p> <p>Stucco repair or replacement must duplicate the original in texture and appearance</p> <p>Roof replacement should duplicate original in materials, color, texture, dimension, and installation pattern</p> <p>New additions should be appropriately scaled and located so as to not overwhelm the original design and massing</p> <p>Evolution of plant materials is expected, but significant designed landscapes should be retained</p> <p>Original use may have changed</p> <p>Setting may have changed (surrounding buildings and land uses)</p> <p>Limited window replacement may be acceptable</p> <ul style="list-style-type: none"> <li>• Commercial storefronts alterations may be acceptable if most of the original architectural detailing is retained and proportions are not substantially altered</li> </ul> <p>For residential properties alterations to garages may be permissible</p> <p>Security bars may have been added</p>



## Significance Evaluation

ESA reviewed the subject property for significance under the federal, state, and local criteria. The subject property was evaluated under the SurveyLA themes associated with the subject property by applying the standards and integrity requirements outlined above. They were evaluated for eligibility under Criteria A/1/1 and C/3/3 under the theme, Residential Development and Suburbanization, 1850-1980: Bungalow Courts, 1912-1939. They were evaluated under Criteria C/3/3 under theme, Architecture and Engineering, 1850-1980: Spanish Colonial Revival, 1912-1948, as applied to Residential Architecture, for the Bungalow Court property type.

### ***National Register, California Register, Los Angeles Historic-Cultural Monument***

#### **Broad Patterns of History**

With regard to broad patterns of history, the following are the relevant criteria:

- **National Register Criterion A:** Is associated with events that have made a significant contribution to the broad patterns of our history.
- **California Register Criterion 1:** Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.
- **Los Angeles Historic Cultural Monument Criterion 1:** Is associated with the lives of historic personages important to national, state, city or local history

The subject properties previously located at 4055-4057 and 4059-4065 West Oakwood Avenue were located on the Barrow's Addition tract, within the Koreatown neighborhood in Wilshire and the City of Los Angeles. Barrow's Addition is a small tract encompassing a block that was subdivided in 1904, and was half developed by 1919 with single-family residences. In 1921, most of the tract was developed, including the subject properties which were built in 1920 and 1921-1922, and were among the last improvements to the tract. At that time there were approximately three bungalow courts and three apartment houses on the tract. By 1950, all of the lots on Barrow's Addition were developed, with three new apartment buildings northwest of the subject properties. Many of the original structures on the tract were replaced with larger apartment buildings by 1965, including the bungalow court to the far west of the tract. The two subject properties were the only existing bungalow courts in Barrows Addition before they were demolished in 2018. There is no evidence to suggest that the subject properties' construction was influential upon the Tract's development. The subject properties were later infill structures that altered the tract, and they were a different property type than the single-family residences that originally characterized tract. The Tract followed the development pattern of Koreatown, which was heavily developed in the 1910s with single-family residences, many of which were replaced with various types of multi-family residences in the 1920s and 1930s to accommodate the rapidly growing population in the neighborhood. However, the Tract is small and was not historically significant to the development of the Wilshire area. Furthermore, the subject properties do not appear to have been historically significant in the development of Wilshire, Koreatown, or Barrow's Addition. Additionally, the integrity of the area has been substantially eroded by



redevelopment with large multi-family residences that had altered much of the tract by 1965, and substantially changed the historic patterns of residential development in the Barrow's Addition. Additionally, as previously discussed in detail in the construction history and architectural descriptions included above for the subject properties, they were altered examples of Spanish Colonial Revival-style Bungalow Courts and in 2018 they did not retain enough integrity to convey the characteristics of their property type.

**The subject properties do not appear eligible for the National Register under Criterion A, the California Register under Criterion 1, or the local register as an individual resource.**

### **Significant Persons**

With regard to associations with important persons, the following are the relevant criteria:

- **National Register Criterion B:** Is associated with the lives of persons significant in our past.
- **California Register Criterion 2:** Is associated with the lives of persons important in our past.
- **Los Angeles Historic Cultural Monument Criterion 2:** The proposed site, building, or structure is identified with historic personages or with important events in the main currents of national, state, or local history.

### **4055-4057 West Oakwood Avenue**

Because the bungalows at 4055-4057 Oakwood Avenue were rental properties there was a high turnover of occupants. Most of these occupants were employed in the retail enterprises and were not employed in the entertainment industry. Research, which included a review of local newspapers, online databases, Los Angeles Public Library, Online Archive of California, Calisphere, and the Huntington, did not indicate that any occupant was historically significant at the local, state, or federal criteria. A complete ownership and occupancy history of 4059-4056 Oakwood can be found in the above report on pages 26-28.

### **4059-4065 West Oakwood Avenue**

Similarly, the bungalows at 4059-4065 Oakwood Avenue were rental properties and there was a high turnover of occupants. Most of these occupants were employed in sales, services, or manufacturing and were not employed in the entertainment industry. Research, which included a review of local newspapers, online databases, Los Angeles Public Library, Online Archive of California, Calisphere, and the Huntington, did not indicate that any occupant was historically significant at the local, state, or federal criteria. A complete ownership and occupancy history of 4059-4056 Oakwood can be found in the above report on pages 28-30.

**Therefore, the subject properties are recommended ineligible for listing under National Register Criterion B, California Register Criterion 2, or LAHCM Criterion 2 for eligibility related to a historic personage.**



## Architecture

With regard to architecture, design, or construction, the following are the relevant criteria:

- **National Register Criterion C:** Embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.
- **California Register Criterion 3:** Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.
- **Los Angeles Historic Cultural Monument Criterion 3:** Embodies the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age.

### 4055-4057 West Oakwood Avenue

4055-4057 Oakwood Avenue was designed in the Spanish Colonial Revival style by contractor, Damion Sherwood, and the general contractor for the subject property was Perry Sherwood, a building contractor and carpenter. Neither of these men were master designers, builders or architects. A review of biographical dictionaries and historical directories of American Architects, historical newspapers, local directories, and historic periodicals did not include any information regarding Damion or Perry Sherwood and therefore indicates that they were not notable nor were they considered master builders.

4055-4057 Oakwood Avenue was a single-bar parti row of bungalows built in a simplified Spanish Colonial Revival style. The single-bar parti is the oldest and most elementary type of bungalow court, and 4055-4057 Oakwood Avenue was a very altered example in 2018. The architectural features of the bungalows were very simplistic, only representing the Spanish Colonial Revival style with stucco siding and a flat roof, which are not enough to merit significance, and there were no other architectural details to speak of to convey the architectural style. Furthermore, the 4055-4057 Oakwood Avenue bungalows were substantially altered by 2018 and do not meet the integrity requirements for eligibility under criteria C/3/3. The property did not retain its integrity of design, setting, materials, workmanship or feeling. Window openings were enclosed, and the rest of the windows were replaced with sliding windows. Metal awnings were added over many of the windows and openings. According to the SurveyLA eligibility standards, window openings should not be changed or resized, and thus the property is disqualified. The multiple alterations, such as the change in window sizes and locations, the addition of metal awnings, alterations of the roofs and parapets, stucco patching and repairs and re-stuccoing, also detracted from its integrity of the materials and design. It also lacked integrity of design and feeling due to alteration of the landscape by paving of the lot for parking and the integration of cars onto the lot, which would not have been the case when the bungalows were originally constructed. Therefore, the property is not eligible because it was a very simple, substantially altered example of a basic single-bar parti row of Spanish Colonial Revival-style bungalows that was not architecturally significant and did not retain integrity.



### **4059-4065 West Oakwood Avenue**

4059-4065 Oakwood Avenue was designed by Thomas Grow and built by the owner, Henry Mertz. A review of newspapers, local directories, and historic periodicals did not include any information regarding Thomas Grow or Henry Mertz and therefore ESA concludes that neither men are notable and they are not considered master designers, builders or architects.

4059-4065 Oakwood Avenue was an example of a U parti bungalow court, which was the most common type of courtyard housing in Southern California. The subject property was a variation that included bungalows on either side, with a larger two-story apartment house at the rear which was part of the trend towards courtyard apartment buildings rather than bungalow courts. 4059-4065 Oakwood Avenue was not a rare example of the bungalow court property type as there are numerous eligible examples of bungalow courts in the nearby vicinity, as illustrated in Tables 7 and 8 and Figure 40 on pages 55-63 above. Today there are 74 extant bungalow courts in the Wilshire area of Los Angeles within a one-mile radius of the subject property, as shown on **Figure 40**. These include 323-325 North Alexandria Avenue Bungalow court, 329-333 North Alexandrian Avenue Bungalow Court, 424-430 North Norton Avenue Bungalow Court, 616-620 North Plymouth Boulevard Bungalow Court, 3020-3030 West 12<sup>th</sup> Street Bungalow Court, and 2600-2606 West San Marino Street Bungalow Court which were called out by the Wilshire CPA for SurveyLA. Other nearby similar examples include 4167 Oakwood Avenue, 335 North Alexandria Avenue, 542 North Kingsley Drive, and 4252 West 1<sup>st</sup> Street. Other various types of bungalows exist throughout the Wilshire area. Therefore, the subject property was not a rare surviving example of its type in 2018, nor was it a rare example in the community in which it was located, and therefore it should not be allowed a greater degree of alteration or fewer character-defining features to be acceptable as a potential historical resource.<sup>119</sup>

As discussed in detail above in the construction history on pages 19-20 and architectural description on pages 32-34, 4059-4065 Oakwood Avenue was a substantially altered example of a Bungalow Court. A large addition was added to either side of the apartment house on the rear of the lot in 1939 which happened in the last year of the period of significance for bungalow courts in Los Angeles. In 1940, additions were added between two bungalows on the west and east side connecting them together, turning them from individual detached bungalows to attached duplexes, changing the layout of the site as well as the relationship between the bungalows and the courtyard, which disqualifies the subject property from the integrity considerations of SurveyLA for the Bungalow Court property type. Further, in 1948, all of the wood porches were replaced with concrete porches. Unpermitted alterations include the changes to primary elevation windows, the addition of security doors, the replacement of original entrance doors from the original wood French door to a single wood door, the addition of a fence, and the alteration of the hardscaping in the courtyard area. These alterations substantially reduced the subject property's integrity of design, materials, and workmanship as an example of the Spanish Colonial Revival-style Bungalow Court. SurveyLA's integrity standards for Spanish Colonial Revival buildings states that the roof tile material should not be replaced with new materials; however, the tile coping on the subject property was replaced, and this change along with other cumulative

<sup>119</sup> SurveyLA, "Multi-Family Residential Development, 1895-1970," *Los Angeles Citywide Historic Context Statement*, prepared for the City of Los Angeles Department of City Planning, December 2018, 50-51.



alterations, causes the subject property to be disqualified from eligibility because it does not meet SurveyLA's integrity standards. All of these alterations have negatively affected the integrity and significance of 4059-4065 Oakwood Avenue, that has lost its integrity of design, setting, materials, workmanship and feeling, such that its potential significance as a historical resource has been materially impaired. Therefore, the subject property is not a significant example of its style or property type.

**Therefore, the subject properties are recommended ineligible for listing under National Register Criterion C, California Register Criterion 3, LAHCM Criterion 3.**

## Data

- National Register Criterion D. It yields, or may be likely to yield, information important in prehistory or history.
- California Register Criterion 4. Has yielded, or may be likely to yield, information important in prehistory or history.

While most often applied to archaeological districts and sites, Criterion D/4 can also apply to buildings, structures, and objects that contain important information. In order for these types of properties to be eligible under Criterion D/4, they themselves must be, or must have been, the principal source of the important information. The subject properties do not appear to yield significant information that would expand our current knowledge or theories of design, methods of construction, operation, or other information that is not already known. **Therefore, the subject properties are recommended ineligible for listing under National Register Criterion D and California Register Criterion 4.**

## Conclusion

The subject properties, 4055-4057 and 4059-4065 West Oakwood Avenue, do not appear to qualify as historical resources pursuant to CEQA. They were not associated with significant settlement patterns or neighborhood trends under criteria A/1/1 as discussed above, and no significant persons lived there. Additionally, they were not distinguished examples of the Bungalow Court property type, Spanish Colonial Revival style architecture, or the work of a master architect or builder and are not eligible under Criteria C/3/3. 4055-4057 Oakwood was an altered, single-bar parti bungalow court in a simplistic Spanish Colonial Revival style designed by an unknown architect/contractor Damion Sherwood, that did not possess sufficient integrity or significance as an example of its style or property type to be eligible under criteria A/1/1 or C/3/3. 4059-4065 Oakwood was a U parti bungalow court in the Spanish Colonial Revival style by an unknown designer Thomas Grow in 1920. Further, 4059-4065 Oakwood lacked integrity to convey the distinguishing characteristics of the bungalow court property type under Criteria C/3/3 due to alterations to the site plan, foot print, massing, and relationship of spaces caused by the later additions that connected the originally detached residences when four of the units were converted into attached duplexes. Additionally, substantial replacement of the fenestration (windows and doors) along with other cumulative alterations substantially detracted from its architectural integrity as an example of the Spanish Colonial Revival style. Substantial evidence



presented in this report obtained through property history and documentary research along with available photographic evidence of the subject properties prior to demolition in 2018 was sufficient to reach this conclusion. Therefore, the subject properties do not appear eligible under any of the criteria at the federal, state, and local levels.

## CEQA Impacts Analysis

### Significance Thresholds

The thresholds for determining the significance of environmental effects on historical resources identified below are derived from the state's CEQA Guidelines (California Code of Regulations, Title 14, Chapter 3) as defined in Section 15064.5 and the City of Los Angeles CEQA Thresholds Guide. Pursuant to this guidance, a project that would physically detract, either directly or indirectly, from the integrity and significance of the historical resource such that its eligibility for listing in the National Register, California Register or as a City Monument would no longer be maintained, is considered a project that would result in a significant impact on the historical resource. Adverse impacts, that may or may not rise to a level of significance, result when one or more of the following occurs to a historical resource: demolition, relocation, conversion, rehabilitation, or alteration, or new construction on the site or in the vicinity.<sup>120</sup>

### CEQA Guidelines

According to the state *CEQA Guidelines*, Section 15064.5(b) describes “substantial adverse change” of an historical resource as follows:

- Substantial adverse change in the significance of an historical resource means physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired.
- The significance of a historical resource is materially impaired when a project:
  - a. Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for inclusion in, the California Register of Historical Resources; or
  - a. Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to Section 5020.1(k) of the PRC or its identification in a historical resources survey meeting the requirements of Section 5024.1(g) of the PRC, unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significant; or
  - b. Demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA.

<sup>120</sup> L.A. CEQA Thresholds Guide, Section D.3. Historical Resources, City of Los Angeles, 2006, p. D.3-1 (<http://environmentla.org/programs/Thresholds/D-Cultural%20Resources.pdf>, accessed 6/04/2013)



The *L.A. CEQA Thresholds Guide* states that a project would normally have a significant impact on a significant resource if it would cause a substantial adverse change in the significance of a historical resource as defined in Section 15064.5 of the *CEQA Guidelines* when one or more of the following occurs:

- Demolition of a significant resource that does not maintain the integrity and significance of a significant resource;
- Relocation that does not maintain the integrity and significance of a significant resource;
- Conversion, rehabilitation, or alteration of a significant resource which does not conform to the Secretary of the Interior’s Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (“Standards”); or
- Construction that reduces the integrity or significance of important resources on the site or in the vicinity.<sup>121</sup>

Under CEQA, a proposed development must be evaluated to determine how it may impact the potential eligibility of a structure(s) or a site for designation as a historical resource. The Standards were developed as a means to evaluate and approve work for federal grants for historic buildings and then for the federal rehabilitation tax credit (see 36 Code of Federal Regulations (“CFR”) Section 67.7). Similarly, the Los Angeles Cultural Heritage Ordinance provides that compliance with the Standards is part of the process for review and approval by the Cultural Heritage Commission of proposed alterations to City Monuments (see Los Angeles Administrative Code Section 22.171.14.a.1). Therefore, the Standards are used for regulatory approvals for projects involving designated historical resources but not for resource evaluations.<sup>122</sup> Similarly, CEQA recognizes the value of the Standards by using them to demonstrate that a project may be approved without an EIR. In effect, CEQA has a “safe harbor” by providing either a categorical exemption or a negative declaration for a project involving a historical resource which meets the Standards (see state *CEQA Guidelines* Section 15331 and 15064.5(b)(3)).

Based on the above considerations, the factors listed in the *L.A. CEQA Thresholds Guide* have been reviewed and refined for this analysis. As such, the Project would have a significant impact on historical resources, if:

- HIST-1** The Project would demolish, destroy, relocate, or alter a historical resource such that eligibility for listing on a register of historical resources would be lost (i.e., no longer eligible for listing as a historical resource); or

<sup>121</sup> L.A. CEQA Thresholds Guide, Section D.3. Historical Resources, City of Los Angeles, 2006, p. D.3-1 (<http://environmentla.org/programs/Thresholds/D-Cultural%20Resources.pdf>, accessed 6/04/2013)

<sup>122</sup> Century Plaza Hotel EIR, Appendix IV.D-3, Historic Thresholds Letter, from Michael J. Logrande, Director of Planning and Ken Bernstein, Manager, Office of Historic Resources, City of Los Angeles, to Bruce Lackow, President, Matrix Environmental, Los Angeles, California, December 15, 2010.



**HIST-2** The Project would reduce the integrity or significance of important resources on the Project Site or in the vicinity.

## Analysis of Project Impacts

### Project Description

Current Project plans, prepared by B. Raeen Consultant Engineer, Inc., are partially excerpted below in **Figure 41** and included in full in Appendix E. The Project has already demolished the existing improvements on the Project Site and seeks to redevelop it with a 68-unit transit-oriented apartment building. There was a recent lot tie between the parcels that comprise 4055-4057 Oakwood and 4059-4065 Oakwood Avenue. The proposed five-story apartment building would be arranged in a U shape around the side and rear property lines with a courtyard in the center. Parking would be provided in a basement parking area. The height of the apartment building would be consistent and not exceed 60.79 feet. The Project would maintain setbacks from the adjacent parcels at 4053 and 4067-4069 West Oakwood Avenue. The Project would feature a contemporary design and exterior materials would include wood, metal railings, stucco, and glass. Landscaping would also be contemporary in design.



SOURCE: B. Raeen Consultant  
Engineer, Inc.

4055-4065 Oakwood Avenue / D180899.00

**Figure 41**  
Rendering of proposed Project, view facing northwest

### Direct Impacts

The former bungalow courts at 4055-4057 and 4059-4065 West Oakwood Avenue do not have sufficient architectural merit, historical significance, or integrity to qualify as historical resources



under CEQA. Therefore, the Project would have no direct impact to historical resources on the Project Site. Furthermore, the Project Site is not located in a historic district.

## Indirect Impacts

Indirect impacts were analyzed to determine if the Project would result in a substantial material change to the integrity of the resources and their immediate surroundings that would detract from the significance of historical resources within the Project vicinity. Located within a dense, urban setting, with limited visibility, the archival records search was conducted to capture all known historical resources within the immediate vicinity of the Project which may have views of the Project Site for the purpose of analyzing potential indirect impacts. The impacts study area is defined as the north and south side of 4000 block of West Oakwood Avenue and the south side of Rosewood Avenue as well as buildings along Heliotrope Dr. and New Hampshire Avenue bordering the block. The archival records search involved review of ESA's in-house files and review of the National Register, California Register, HRI, SurveyLA, HCM, and HistoricPlacesLA.org databases and designation lists to find previously identified historical resources. As a result, there is only one recorded historical resource located within the impacts study area: 4074 West Oakwood Avenue, identified by SurveyLA as an early single-family residential development built in the vernacular style in 1900 which is about 80 feet southwest from the subject property. The proposed project could alter the surroundings and alter spatial relationships with 4074 West Oakwood Avenue. However, the setting for 4074 West Oakwood is already altered due to new infill developments including an apartment building to the east built in 1973, an apartment building to the north built in 1963, and an apartment building to the south built in 1988. Therefore, the Project would result in no adverse indirect impacts to historical resources in the Project vicinity.

## Conclusion

As a result of its investigations, ESA found that 4055-4056 and 4059-4065 Oakwood Avenue do not qualify as individual historical resource pursuant to CEQA and do not appear to be situated in a designated or potentially eligible historic district. As such, the Project would have no direct impacts to historical resources on the Project Site. Furthermore, the Project would result in no indirect impacts to historical resources in the surrounding neighborhood.

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# Appendix A

## **Professional Qualifications**









# Margarita Jerabek, PhD

## Historic Resources Director

### EDUCATION

Ph.D., Art History,  
University of California,  
Los Angeles

M.A., Architectural  
History, School of  
Architecture, University  
of Virginia

Certificate of Historic  
Preservation, School of  
Architecture, University  
of Virginia

B.A., Art History,  
Oberlin College

### 30 YEARS EXPERIENCE

### AWARDS

2014 Preservation  
Award, The Dunbar  
Hotel, L.A. Conservancy

2014 Westside Prize,  
The Dunbar Hotel,  
Westside Urban Forum

2014 Design Award:  
Tongva Park & Ken  
Genser Square,  
Westside Urban Forum

Preservation Design  
Awards, RMS Queen  
Mary Conservation Plan  
2012; and Restoration  
and Exhibit Design for  
Home Savings,  
Montebello, 2016,  
California Preservation  
Foundation

### PROFESSIONAL AFFILIATIONS

California Preservation  
Foundation

Santa Monica  
Conservancy

Society of Architectural  
Historians, Life Member

American Institute of  
Architects (AIA),  
National Allied Member

Margarita Jerabek has 30 years of professional practice in the United States with an extensive background in historic preservation, architectural history, art history and decorative arts, and historical archaeology. She specializes in Visual Art and Culture, 19th-20th Century American Architecture, Modern and Contemporary Architecture, Architectural Theory and Criticism, Urbanism, and Cultural Landscape, and is a regional expert on Southern California architecture. Her qualifications and experience meet and exceed the Secretary of the Interior's Professional Qualification Standards in History, Archaeology, and Architectural History. Margarita has managed and conducted a wide range of technical studies in support of environmental compliance projects, developed preservation and conservation plans, and implemented preservation treatment projects for public and private clients in California and throughout the United States.

### Relevant Experience

Margarita has prepared a broad range of environmental documentation and conducted preservation projects throughout the Los Angeles metropolitan area and Southern California. She provides expert assistance to public agencies and private clients in environmental review, from due diligence through planning/design review and permitting and when necessary, implements mitigation and preservation treatment measures on behalf of her clients. As primary investigator and author of hundreds of technical reports, plan review documents, preservation and conservation plans, HABS/HAER/HALS reports, construction monitoring reports, salvage reports and relocation plans, she is a highly experienced practitioner and expert in addressing historical resources issues while supporting and balancing project goals.

She is an expert in the evaluation, management and treatment of historic properties for compliance with Sections 106 and 110 of the NHPA, NEPA, Section 4(f) of the Department of Transportation Act, CEQA, and local ordinances and planning requirements. Margarita regularly performs assessments to ensure conformance with the Secretary of the Interior's Standards for the Treatment of Historic Properties, and assists clients with adaptive reuse/rehabilitation projects by providing preservation design and treatment consultation, agency coordination, legally defensible documentation, construction monitoring and conservation treatment.

Margarita is a regional expert on Southern California architecture. She has prepared a broad range of environmental documentation and conducted preservation projects throughout the Los Angeles metropolitan area as well as in Ventura, Orange, Riverside, San Bernardino and San Diego counties. Beyond her technical skill, she is a highly experienced project manager with broad national experience throughout the United States. She currently manages ESA's on-call historic preservation services with the City of Santa Monica, and Los Angeles Unified School District.





# Hanna Winzenried

## Architectural Historian

### EDUCATION

MSc Historic Conservation, Oxford Brookes University

BA, European Studies, Brigham Young University

### 2 YEARS OF EXPERIENCE

### PROFESSIONAL AFFILIATIONS

The Society for the Protection of Ancient Buildings

Historic England

National Trust for Places of Historic Interest or Natural Beauty

Hanna is an architectural historian intern with 3 years of academic and professional experience performing building conservation, historic research, and field surveys and conducting plan reviews for conformance with local regulations and ordinances. She has 1.5 years of experience with the City of Los Angeles, Department of Planning, in the Office of Historic Resources Historic Preservation Overlay Zones (HPOZ) Unit. Her experience and education both in California and abroad have given her a wide set of interdisciplinary skills, including strong technical and research skills.

### Relevant Experience

#### **9120 W. Olympic Boulevard Preliminary Assessment and Character Defining Features Analysis for the Harkham Hillel Hebrew Academy, Beverly Hills, CA.**

*Contributor.* ESA prepared a Phase I Historic Resources Assessment for the modernist educational building at 9120 W. Olympic Boulevard. The purpose of the report is to identify and evaluate potential historic resources. The subject property was built in 1963 as the largest Jewish day school. It was built in the Modernist architectural style by the renowned architect Sydney Eisenshtate. The Academy enrollment has outgrown the existing space, and the school is looking for a way to expand its square footage. Hanna is performing research and assisting in the preparation of the reports.

#### **Universal Hilton Environmental Impacts Report and Historic Resources Technical Report for 555 W Universal Terrace Parkway, Los Angeles, CA.**

*Contributor.* ESA prepared an Environmental Impacts Report including a Historic Resources Technical Report. The Universal Hilton Hotel was designed by master architect, William L. Pereira in 1983 in the postmodern style. The hotel was designed to accommodate visitors to the Universal Theme Parks. The hotel management wants to expand the number of rooms by building a large addition. Hanna is performing research and assisting in the preparation of the report.

**361 Myrtle Street Peer Review Letter for the residence at 361 Myrtle Street, Glendale, CA.** *Contributor.* ESA prepared a peer review letter to conduct a peer review of previous historic resource evaluations and analyze potential cumulative impacts of the demolition for the property at 361 Myrtle Street. Previous evaluations and the impact of demolishing the residence were reviewed and analyzed. Hanna is performing research and assisting with the preparation of the report.



## Appendix B

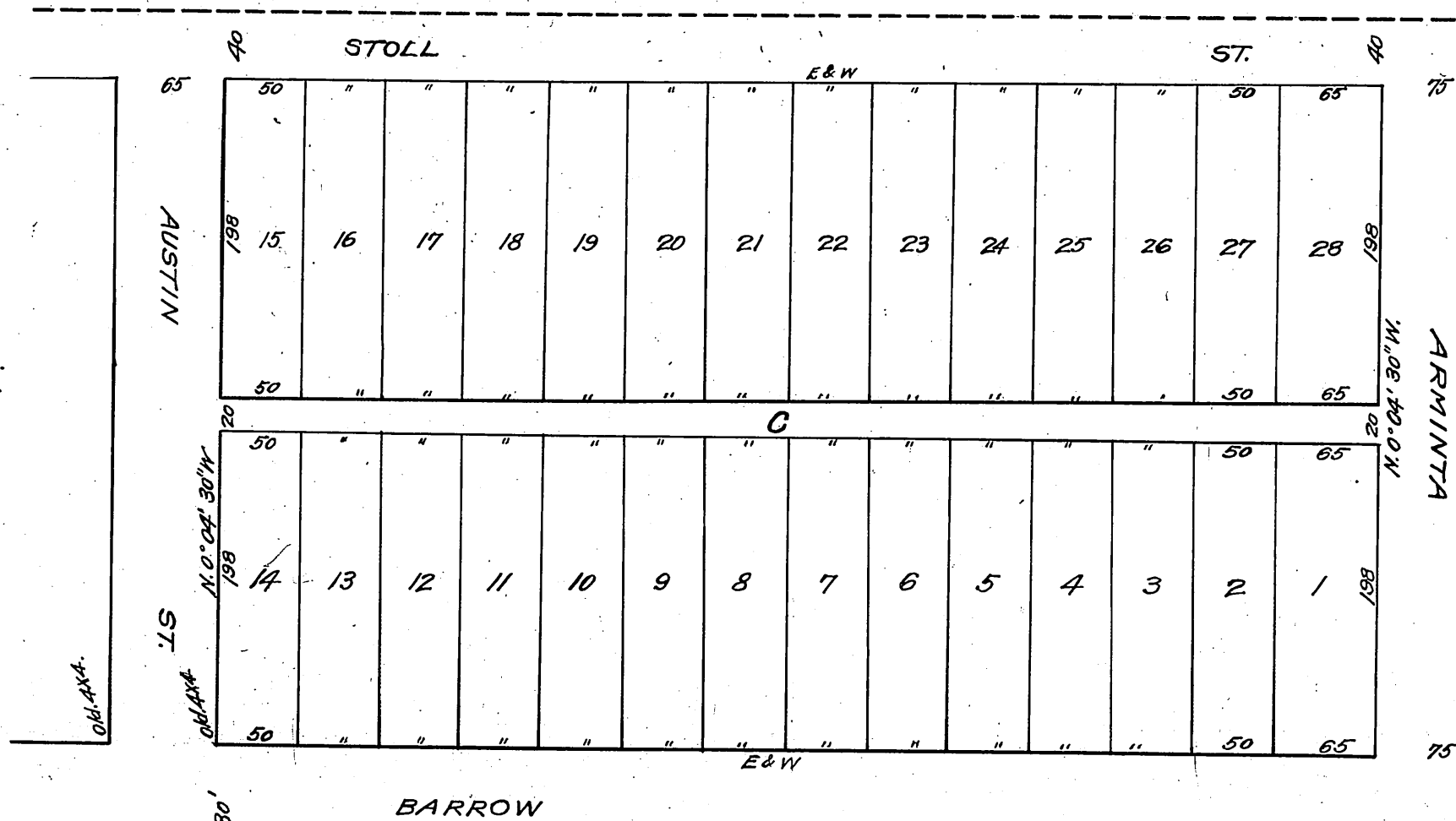
### **Tract Maps**







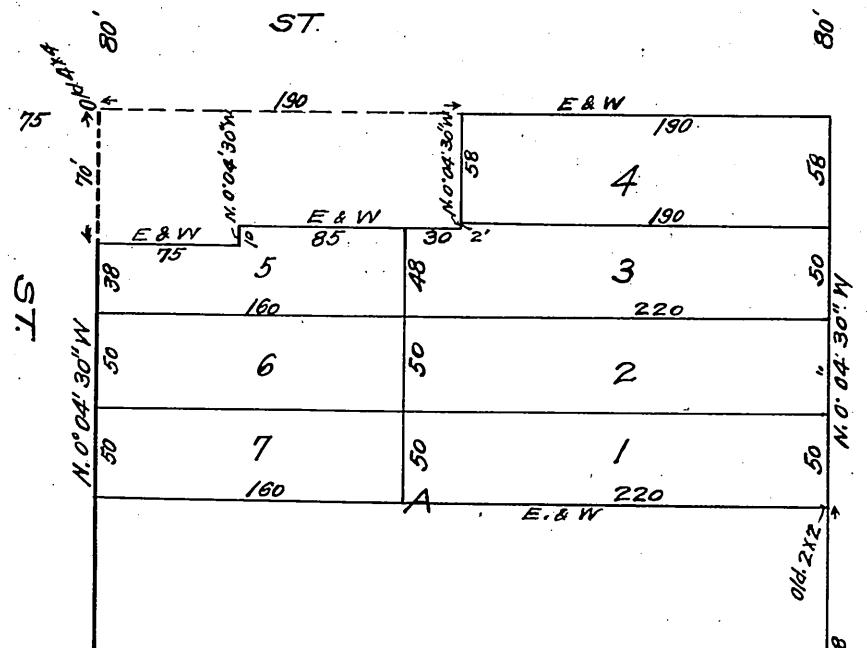
SH#5  
1514  
A. 84.



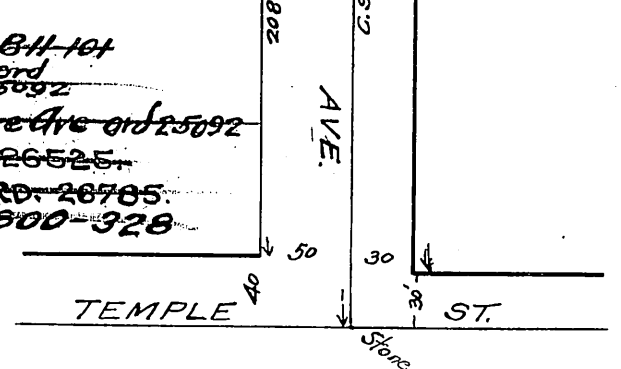
Re-subdivision of Block C.  
& Lots 4, 6, 8, 9, & 1 Acre Lot, Block A, of  
Barrows Addition to the City of Los Angeles.  
Recorded in Book 25, Page 13, Miscellaneous  
Records, Los Angeles Co., Cal.  
Surveyed Sept. 1904, by E. G. Uones.

Scale 1 in = 100 ft.

Lot 14 & 15, Blk. C for Public St. Purp - E: 98-171, OR 33864-361



~~Vac. west to Vermont Ave. D-12-59 R.B.H. 101~~  
~~Austin St. changed to Catalina St. Ord. 23692~~  
~~Arminta St. New Hampshire Ave. Ord. 25092~~  
~~BARROW ST. CHANGED TO OAKWOOD AVE. ORD. 26525.~~  
~~STOLL ST. CHANGED TO ROSEWOOD AVE. ORD. 26785.~~  
~~Vermont Ave. widened D-35-66 OR 1600-328~~  
Widening Vermont Ave. ~ C.F. 1263-4.



Recorded Oct. 31, 1904.

Proprietor  
August G. Uones

A. 84 SH-5 A-216

Comp.  
A.C.C.



## Appendix C

### **Sanborn Maps**







1st Edition, Del. Vol. 9  
**999**  
 COLEGROVE DIST.



988

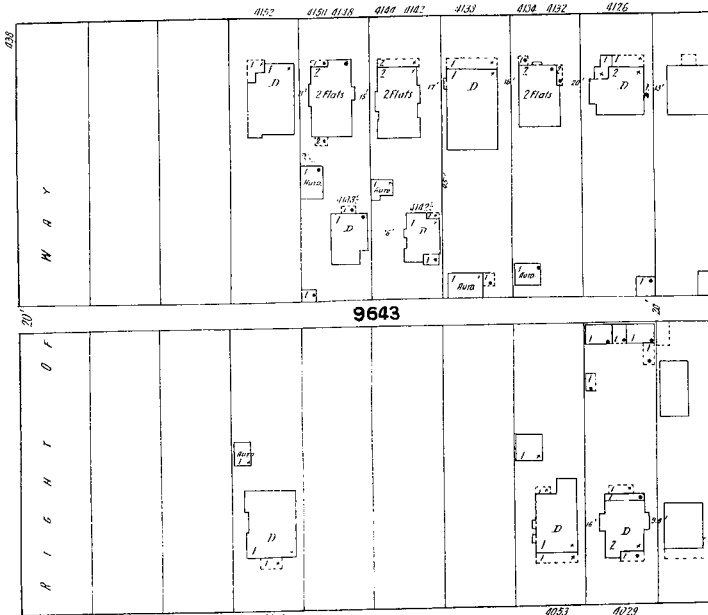
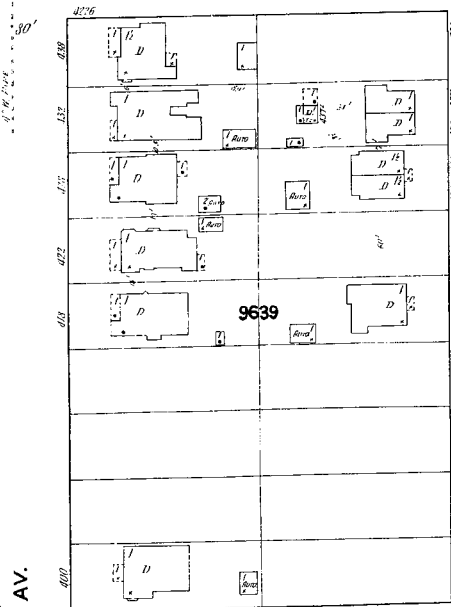
990

N. BERENDO

N. KENMORE AV.

HELIOTROPE DRIVE

ROSEWOOD AV.

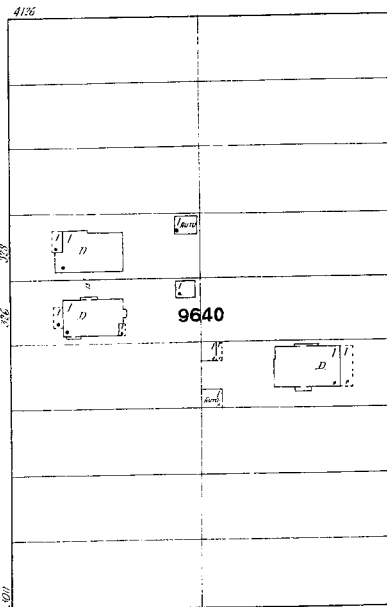


998

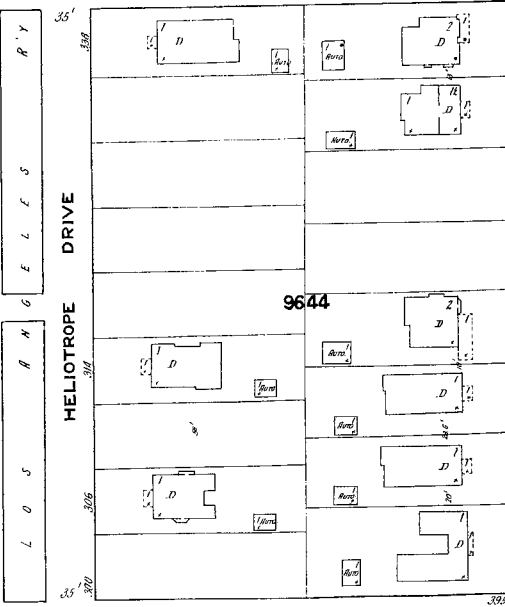
OAKWOOD AV.

999A

N. KENMORE



HELIOTROPE DRIVE



N. BERENDO

TEMPLE

Scale of Feet



See Volume Seven



**999**  
COLEGROVE DIST.

988

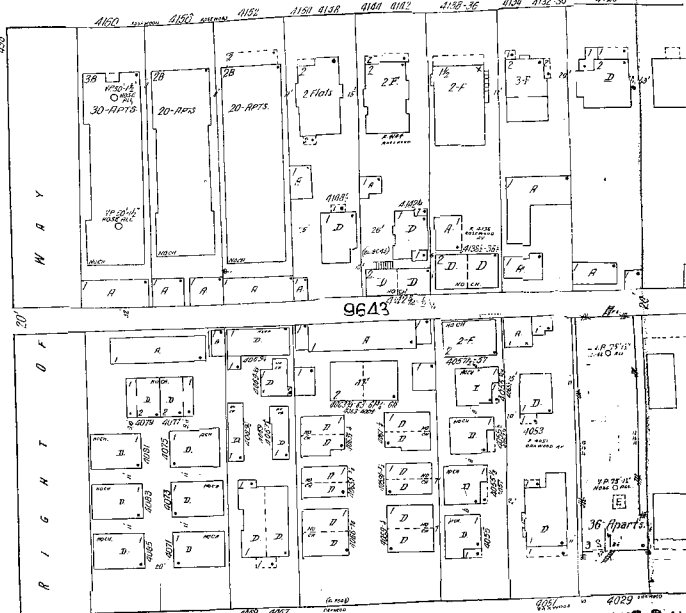
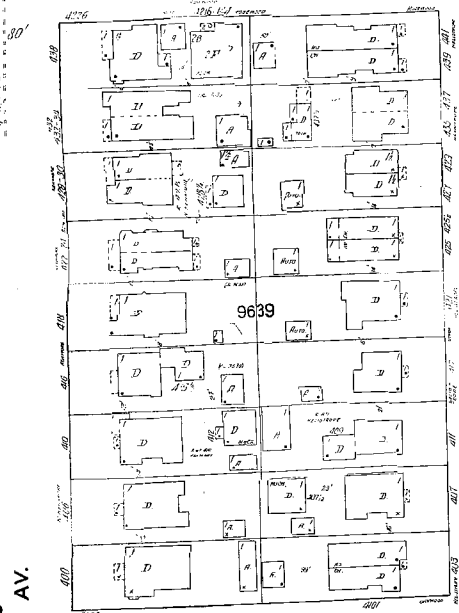
990

N. KENMORE AV.

HELIOTROPE DRIVE

ROSEWOOD AV.

N. BERENDO



998

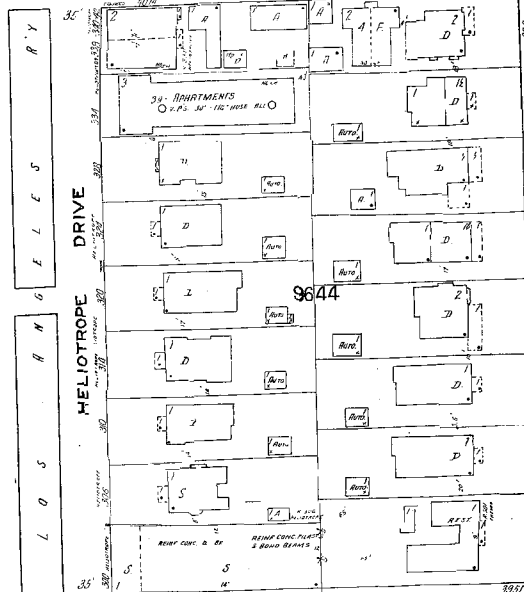
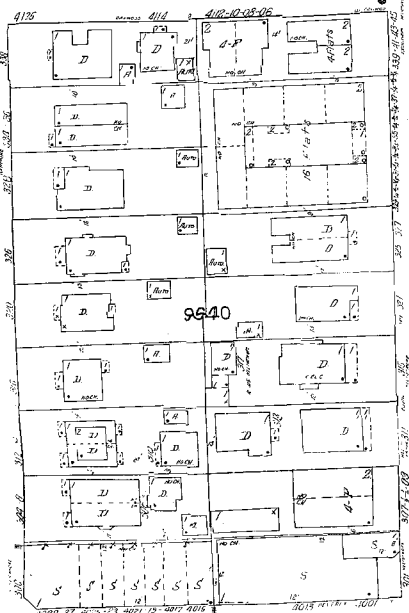
OAKWOOD

AV.

999A

N. KENMORE

HELIOTROPE



N. BERENDO

BEVERLY (TEMPLE)

BLVD

Scale of Feet.



Copyright 1911 by the Standard Map Co.

See Volume Seven



# Appendix D

## **LADBS Building Permits**







# All Applications must be filled out by Applicant

BLANK FORM 1

PLANS AND SPECIFICATIONS  
and other data must also be filed

BOARD OF PUBLIC WORKS

## DEPARTMENT OF BUILDINGS

2

### Application for the Erection of Frame Building

CLASS: D

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Engineer of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

TAKE TO  
ROOM No. 8  
FIRST  
FLOOR  
CITY CLERK  
PLEASE  
VERIFY

TAKE TO  
ROOM No. 405  
SOUTH  
ANNEX  
ENGINEER  
PLEASE  
VERIFY

Lot No. 9 Block C Retabawian 468  
(Description of Property) the one here lot in  
Block A of a portion  
of the narrow addition  
opposite Page 33  
District No. 3 M. B. Page 4 F. B. Page 2

No. 4059  
(Location of Job) Oakwood Ave Street

(USE INK OR INDELIBLE PENCIL)

- Purpose of Building Residence No. of Rooms 5 No. of Families one
- Owner's name Henry Merty Phone 597150
- Owner's address 506 1/2 Heliotrop drive
- Architect's name T.K. Grow Phone
- Contractor's name " Phone "
- Contractor's address R.F.D. #9 - Box 421
- ENTIRE COST OF PROPOSED WORK { Including Plumbing, Gas Fitting, Sowers, Cesspools, Elevators, Painting, Finishing, etc. } \$ 3000.00
- Any other building on the lot? no How used?
- Size of the proposed building 28 x 32 Height to highest point 10 feet
- Number of stories in height one Character of ground
- Material of foundation concrete Size footings 12" Size wall 12" Depth below ground 6"
- Material of chimneys  Number of inlets to flues 1 Interior size of flues 8"
- Give sizes of following materials: REDWOOD MUDSILLS 2 x 6 Girders 4 x 4  
EXTERIOR studs 2 x 4 INTERIOR BEARING studs 2 x 3 Interior Non-Bearing studs 2 x 3 Ceiling joists 2 x 4 Roof rafters 2 x 6 FIRST FLOOR JOISTS 2 x 6 Second floor joists 1 x 4 Specify material of roof paper

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

OVER

(Sign here)

(Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY

PERMIT NO. <b>5129</b>	Plans and specifications checked and found to conform to Ordinances, State Laws, etc.  Plan Examiner.	Application checked and found O. K. <b>APR 5 - 1920</b> Clerk.	Stamp here when permit is issued <b>APR 5 1920</b>
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3-7600



NOTE---Answer the Following Questions For Dwellings and Flats Only:--  
STATE DWELLING HOUSE ACT

14. Are there any living rooms in basement? *No*
15. What is least area of any room, other than kitchens, bathrooms, or closets? *9 x 14*
16. What is the least width of any room, other than kitchens, bathrooms, or closets? *9*
17. What is the minimum ceiling height? *8 ft 3"*
18. Give least size of window courts (width and length)

A window court is the unoccupied ground area, in front of any and all windows, as required by the State Law, and such area must be entirely open and uncovered, and be at least 4 feet in width, and at least 86 sq. ft. in area. Eaves or cornices may project into such window courts not to exceed 8 inches; if a greater projection is desired, window court must be increased in width as much as eaves.

19. Give maximum cornice projection into such court. *No cornice*
20. Will windows in each room be equal to one-eighth ( $\frac{1}{8}$ ) of floor area? *Yes*
21. Give maximum width of porch to edge of cornice or eaves. *Now ~~18"~~ 14"*
22. What is the minimum height of floor joists above ground? *18"*
23. Will entire space underneath building be enclosed and be provided with ventilating screens? *Yes*
24. Will a water-closet be provided for each family? *Yes*
25. Give least width of water-closet compartment or room, when finished. *6 x 8*
26. Give size of windows for toilet and bathrooms. *3 x 3*
27. Will all provisions of State Dwelling House Act be complied with? *Yes*

I have carefully examined and read the above blank and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

(Sign here)

*Henry M. A.*  
(Owner or Authorized Agent)



# All Applications must be filled out by Applicant

BLDG. FORM 2

PLANS AND SPECIFICATIONS  
and other data must also be filed

BOARD OF PUBLIC WORKS

## DEPARTMENT OF BUILDINGS

2

### Application for the Erection of Frame Building CLASS "D"

To the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

TAKE TO  
ROOM No. 6  
FIRST  
FLOOR  
CITY CLERK  
PLEASE  
VERIFY

TAKE TO  
ROOM No. 405  
SOUTH  
ANNEX  
ENGINEER  
PLEASE  
VERIFY

Lot No. 10 Block C Reubensin 4689  
(Description of Property) the one acre lot in  
Block A of a portion  
of the Burrows addition  
per Book 6 - page 33  
District No. 31 M. B. Page 1 F. B. Page 1

No. 4065  
(Location of Job)  
Oakwood Ave. Street

(USE INK OR INDELIBLE PENCIL)

- Purpose of Building Residence No. of Rooms 5 No. of Families one
- Owner's name Henry Mertz Phone 597-150
- Owner's address 506 1/2 Heliotrope Drive
- Architect's name T. K. Grow Phone
- Contractor's name " Phone "
- Contractor's address R.T.D #9 - Box 471
- ENTIRE COST OF PROPOSED WORK { Including Plumbing, Gas Fitting, Sewers, Cesspools, Elevators, Painting, Finishing, etc. } \$ 30000 / 30000
- Any other building on the lot? no How used?
- Size of the proposed building 28 x 32 Height to highest point 10 feet
- Number of stories in height one Character of ground
- Material of foundation concrete Size footings 12" Size wall 12" Depth below ground 6"
- Material of chimneys  Number of inlets to flues  Interior size of flues x
- Give sizes of following materials: REDWOOD MUDSILLS 2 x 6 Girders 4 x 4  
EXTERIOR studs 2 x 4 INTERIOR BEARING studs 2 x 3 Interior Non-Bearing studs 2 x 3 Ceiling joists 2 x 4 Roof rafters 2 x 6 FIRST FLOOR JOISTS 2 x 6 Second floor joists 2 x 6 Specify material of roof paper

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

OVER

(Sign here)

(Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY

PERMIT NO. <u>5130</u>	Plans and specifications checked and found to conform to Ordinances, State Laws, etc. <u>Plan, Examiner, APR 5 - 1920</u>	Application checked and found O. K. <u>Clerk,</u>	Stamp here when permit is <u>APR 5 1920</u>
---------------------------	--	--	--

3 - Plans



NOTE---Answer the Following Questions For Dwellings and Flats Only:---

STATE DWELLING HOUSE ACT

14. Are there any living rooms in basement? *no*
15. What is least area of any room, other than kitchens, bathrooms, or closets? *9 + 14*
16. What is the least width of any room, other than kitchens, bathrooms, or closets? *9*
17. What is the minimum ceiling height? *8' 3"*
18. Give least size of window courts (width and length).
- A window court is the unoccupied ground area, in front of any and all windows, as required by the State Law, and such area must be entirely open and uncovered, and be at least 4 feet in width, and at least 36 sq. ft. in area. Eaves or cornices may project into such window courts not to exceed 8 inches; if a greater projection is desired, window court must be increased in width as much as eaves.
19. Give maximum cornice projection into such court. *no cornice*
20. Will windows in each room be equal to one-eighth ( $\frac{1}{8}$ ) of floor area? *yes*
21. Give maximum width of porch to edge of cornice or eaves. *none*
22. What is the minimum height of floor joists above ground? *18 in*
23. Will entire space underneath building be enclosed and be provided with ventilating screens? *yes*
24. Will a water-closet be provided for each family? *yes*
25. Give least width of water-closet compartment or room, when finished. *6 x 8*
26. Give size of windows for toilet and bathrooms. *5 + 3*
27. Will all provisions of State Dwelling House Act be complied with? *yes*

I have carefully examined and read the above blank and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

(Sign here)

*Henry Merty*  
(Owner or Authorized Agent)



All Applications must be filled out by Applicant

PLANS AND SPECIFICATIONS  
and other data must also be filed

BOARD OF PUBLIC WORKS

DEPARTMENT OF BUILDINGS

2

Application for the Erection of Frame Building  
CLASS "D"

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

TAKE TO  
ROOM No. 1  
FIRST  
FLOOR  
CITY CLERK  
PLEASE  
VERIFY

Lot No. 9 + 10 Block C Resubdivision 9  
(Description of Property) the one acre lot in Block 9 of a portion of the Burrell addition  
Permit 9 REC-C-  
Burrell addition as per Book 6 - Page 33  
District No. 31 M. B. Page 4 F. B. Page 468

TAKE TO  
ROOM No. 405  
SOUTH  
ANNEX  
ENGINEER  
PLEASE  
VERIFY

No. 2059-4065  
(Location of Job) Oakwood Ave  
Street Private

O. K. City Clerk  
By [Signature] Deputy  
O. K. City Engineer  
By [Signature] Deputy

- (USE INK OR INDELIBLE PENCIL)
- Purpose of Building Garage No. of Rooms 4 No. of Families 4
  - Owner's name Henry Mertz Phone 572-150
  - Owner's address 506 1/2 Heliotrop drive
  - Architect's name J. K. Gross Phone
  - Contractor's name " Phone
  - Contractor's address P. O. Box 471
  - ENTIRE COST OF PROPOSED WORK { Including Plumbing, Gas Fitting, Sowers, Cesspools, Elevators, Painting, Finishing, etc. } \$ 300.00
  - Any other building on the lot? Yes How used? Residence
  - Size of the proposed building 9x20 Height to highest point 10 feet
  - Number of stories in height one Character of ground
  - Material of foundation concrete Size footings 4x4 Size wall 4x4 Depth below ground 4
  - Material of chimneys brick Number of inlets to flues 1 Interior size of flues 12x12
  - Give sizes of following materials: REDWOOD MUDSILLS 2x6 Girders 4x4  
EXTERIOR studs 2x3 INTERIOR BEARING studs 2x3 Interior Non-Bearing studs 1x3 Ceiling joists 2x4 Roof rafters 2x4 FIRST FLOOR JOISTS 2x4  
Second floor joists 2x4 Specify material of roof Asphalt

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

OVER (Sign here) Henry Mertz  
(Owner or Authorized Agent)

PERMIT NO. <u>5131</u>	Plans and specifications checked and found to conform to Ordinances, State Laws, etc. <u>[Signature]</u> Plan Examiner.	Application checked and found O. K. <u>APR 5 1920</u> Clerk.	Stamp when permit is issued <u>APR 5 1920</u> <u>RECEIVED</u>
---------------------------	---	--	---

2-7000



NOTE---Answer the Following Questions For Dwellings and Flats Only:--  
STATE DWELLING HOUSE ACT

14. Are there any living rooms in basement? *Yes*
15. What is least area of any room, other than kitchens, bathrooms, or closets? *300 sq. ft.*
16. What is the least width of any room, other than kitchens, bathrooms, or closets? *8 ft.*
17. What is the minimum ceiling height? *8 ft. 3 in.*
18. Give least size of window courts (width and length) *8 ft. x 10 ft.*
- A window court is the unoccupied ground area, in front of any and all windows, as required by the State Law, and such area must be entirely open and uncovered, and be at least 4 feet in width, and at least 80 sq. ft. in area. Eaves or cornices may project into such window courts not to exceed 8 inches; if a greater projection is desired, window court must be increased in width as much as eaves.
19. Give maximum cornice projection into such court. *None*
20. Will windows in each room be equal to one-eighth ( $\frac{1}{8}$ ) of floor area?
21. Give maximum width of porch to edge of cornice or eaves.
22. What is the minimum height of floor joists above ground?
23. Will entire space underneath building be enclosed and be provided with ventilating screens?
24. Will a water-closet be provided for each family?
25. Give least width of water-closet compartment or room, when finished.
26. Give size of windows for toilet and bathrooms.
27. Will all provisions of State Dwelling House Act be complied with?

I have carefully examined and read the above blank and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

(Sign here)

*Henry M. Smith*  
(Owner or Authorized Agent)



All Applications must be filled out by Applicant

Blk. Form 3

PLANS AND SPECIFICATIONS  
and other data must also be filed

BOARD OF PUBLIC WORKS

DEPARTMENT OF BUILDINGS

Application to Alter, Repair or Demolish

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

TAKE TO  
ROOM No. 6  
FIRST  
FLOOR

CITY CLERK  
PLEASE  
VERIFY

TAKE TO  
ROOM No. 405  
SOUTH  
ANNEX

ENGINEER  
PLEASE  
VERIFY

~~REMOVED FROM~~

Lot 9<sup>th</sup> 10 Block C  
Tract Removal of Block  
Ex. lots 4-6-8-9 of  
Barraco Addition to the City  
of Los Angeles County of So.  
Calif.

Book 31 Page 4 F. B. Page 73

From No. Rear 4059-65 Oakwood Ave Street

To No. \_\_\_\_\_ Street

(USE INK OR INDELIBLE PENCIL)

~~REMOVED TO~~

Lot \_\_\_\_\_ Block \_\_\_\_\_

Tract \_\_\_\_\_

Book \_\_\_\_\_ Page \_\_\_\_\_ F. B. Page \_\_\_\_\_

O. K. City Clerk  
By [Signature] Deputy  
O. K. City Engineer  
By [Signature] Deputy

1. What purpose is the present Building used for? Garages (Private)
2. Owner's name Henry Mertz Phone 597150
3. Owner's address 506 1/2 Heliotroth Dr
4. Architect's name Th. Brown Phone 6040
5. Contractor's name Henry Mertz Phone 597150
6. Contractor's address 506 1/2 Heliotroth Dr
7. ENTIRE COST OF PROPOSED WORK {Including Plumbing, Gas Fitting, Sowers, Corseps, Elevators, Painting, Finishing, etc.} \$ 400.00
8. Class of Present Building Garages No. of Rooms at present \_\_\_\_\_
9. Number of stories in height one Size of present building \_\_\_\_\_ x \_\_\_\_\_
10. State how many buildings are on this lot \_\_\_\_\_
11. State purpose buildings on lot are used for Garages (Private)  
(Tenement House, Hotel, Residence, or any other purpose.)

STATE ON FOLLOWING LINES EXACTLY WHAT ALTERATIONS, ADDITIONS, ETC., WILL BE MADE TO THIS BUILDING:

Add two rooms on either end

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

**OVER**

(Sign here)

(Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY

PERMIT NO. <u>15505</u>	Plans and specifications checked and found to conform to Ordinances, State Laws, etc. <u>[Signature]</u> Plan Examiner.	Application checked and found O. K. <u>SEP 11 1920</u> Clerk.	Stamp <u>SEP 11 1920</u>
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G. H. Rose 4



17. Will all provisions of State Dwelling House Act be complied with?.....

(Owner or Authorized Agent.)



# All Applications must be filled out by Applicant

Bldg. Form 2

PLANS AND SPECIFICATIONS  
and other data must also be filed

BOARD OF PUBLIC WORKS

## DEPARTMENT OF BUILDINGS

### Application for the Erection of Frame Buildings CLASS "D"

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

TAKE TO  
ROOM No. 6  
FIRST  
FLOOR

CITY CLERK  
PLEASE  
VERIFY

TAKE TO  
ROOM No. 405  
SOUTH  
ANNEX

ENGINEER  
PLEASE  
VERIFY

Lot 9 Block C of the Desubdivision  
(Description of Property)

of Block C and lots 4-6-8-9  
and the one lot in Block A  
of Barragan Addition to the City of Los  
Angeles County of Los Angeles State of Calif

Dist. No. 31 M. B. Page 4 F. B. Page 173

No. 4061 "A" Oakwood Ave  
(Location of Job)

Street

(USE INK OR INDELIBLE PENCIL)

O. K. City Clerk

O. K. City Engineer

By Deputy

By Deputy

- Purpose of Building Dwelling No. of Rooms 4 No. of Families one
- Owner's name Henry Mertz Phone 597150
- Owner's address 506 1/2 Heliotrop Dr
- Architect's name Thomas Brown Phone Ver 6040
- Contractor's name Henry Mertz Phone 597150
- Contractor's address 506 1/2 Heliotrop Dr
- ENTIRE COST OF PROPOSED WORK {Including Plumbing, Gas Fitting, Sewers, Cesspools, Elevators, Painting, Finishing, etc.} \$ 2500.00
- Any other building on the lot? Yes How used? Dwelling
- Size of proposed building 24 x 32 Height to highest point 12 feet
- Number of stories in height one Character of ground level
- Material of foundation concrete Size of footings 12 Size wall 6 Depth below ground 6
- Material of chimneys iron Number of inlets to flue 1 Interior size of flues 12 x 12
- Give sizes of following materials: REDWOOD MUDSILLS 2 x 6 Girders 4 x 4  
EXTERIOR studs 2 x 3 INTERIOR BEARING studs 2 x 3 Interior Non-Bearing studs 2 x 3  
Ceiling joist 2 x 4 Roof rafters 2 x 4 FIRST FLOOR JOISTS 2 x 6  
Second floor joists 2 x 6 Specify material of roof composition
- Will all provisions of State Dwelling House Act be complied with? Yes

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

**OVER**

(Sign here)

(Owner or Authorized Agent.)

FOR DEPARTMENT USE ONLY

PERMIT NO. <u>15501</u>	Plans and specifications checked and found to conform to Ordinances, State Laws, etc. <u>[Signature]</u> Plan Examiner.	Application checked and found O. K. <u>SEP 11 1934</u> Clerk.	Stamp here when permit is issued <u>[Stamp]</u>
----------------------------	---	---	--

J. H. Rose



## This image shows a single sheet of white paper with horizontal ruling lines. The lines are evenly spaced and run across the width of the page. There is no handwriting or other markings on the paper.



All Applications must be filled out by Applicant

Std. Form 3

PLANS AND SPECIFICATIONS  
and other data must also be filed

BOARD OF PUBLIC WORKS

DEPARTMENT OF BUILDINGS

Application for the Erection of Frame Buildings  
CLASS "D"

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

TAKE TO  
ROOM No. 6  
FIRST  
FLOOR

CITY CLERK  
PLEASE  
VERIFY

TAKE TO  
ROOM No. 405  
SOUTH  
ANNEX

ENGINEER  
PLEASE  
VERIFY

Lot Mine 9 Block C of the

(Description of Property)

Resubdivision of Block C and lots 4-6-8-9 and the one Acre lot in Block A of Barrows Addition to the City of Los Angeles, County of Los Angeles, State of California

Dist. No. 31 M. B. Page 4 F. B. Page 173

No. 4059 A Oakwood Ave

(Location of Job)

Street

(USE INK OR INDELIBLE PENCIL)

O. K. City Clerk

O. K. City Engineer

Deputy

Deputy

- Purpose of Building Dwelling No. of Rooms 5 No. of Families 1
- Owner's name Henry Mertz Phone 597150
- Owner's address 506 1/2 Heliotrop Dr.
- Architect's name Thomas Brown Phone Per 6040
- Contractor's name Henry Mertz Phone 597150
- Contractor's address 506 1/2 Heliotrop Dr.
- ENTIRE COST OF PROPOSED WORK {Including Plumbing, Gas Fitting, Sewers, Casapools, Elevators, Painting, Finishing, etc.} \$ 3000.00
- Any other building on the lot? Yes How used? Dwelling
- Size of proposed building 32 x 32 Height to highest point 12 feet
- Number of stories in height one Character of ground level
- Material of foundation concrete Size of footings 12" Size wall 6" Depth below ground 6"
- Material of chimneys none Number of inlets to flue Interior size of flues x
- Give sizes of following materials: REDWOOD MUDSILLS 2" x 6" Girders 4" x 4"  
EXTERIOR studs 2 x 3 INTERIOR BEARING studs 2 x 3 Interior Non-Bearing studs 1  
2 x 3 Ceiling joist 2 x 4 Roof rafters 2 x 4 FIRST FLOOR JOISTS 2 x 6  
Second floor joists x Specify material of roof composition
- Will all provisions of State Dwelling House Act be complied with? Yes

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

**OVER**

(Sign here)

(Owner or Authorized Agent.)

FOR DEPARTMENT USE ONLY			
PERMIT NO. <u>15502</u>	Plans and specifications checked and found to conform to Ordinances, State Laws, etc. <u>[Signature]</u> Plan Examiner.	Application checked and found O. K. <u>SEP 11 1924</u> Clark.	Stamp here when permit is issued <u>SEP 11 1924</u> [Stamp]

S. H. Rose



## This image shows a single sheet of white paper with horizontal ruling lines. The lines are evenly spaced and run across the width of the page. There is no handwriting or other markings on the paper. At the bottom center, there are two small circular punch holes.



All Applications must be filled out by Applicant

Blg. Form 2

PLANS AND SPECIFICATIONS  
and other data must also be filed

BOARD OF PUBLIC WORKS

DEPARTMENT OF BUILDINGS

Application for the Erection of Frame Buildings  
CLASS "D"

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

TAKE TO  
ROOM No. 6  
FIRST  
FLOOR

CITY CLERK  
PLEASE  
VERIFY

TAKE TO  
ROOM No. 405  
SOUTH  
ANNEX

ENGINEER  
PLEASE  
VERIFY

Lot 10 Block C of the  
(Description of Property)

Resubdivision of Block C and lots 4-6-8-9 and the one here lot in Block A of  
Narrow Addition to the City of Los Angeles  
County, Los Angeles State of California

Dist. No. 31 M. B. Page 4 F. B. Page 173

No. 4063 "A" Oakwood Ave  
(Location of Job)

Street

(USE INK OR INDELIBLE PENCIL)

O. K. City Clerk

O. K. City Engineer

By

By

- Purpose of Building Dwelling No. of Rooms 5 No. of Families one
- Owner's name Henry Mertz Phone 592150
- Owner's address 506 1/2 Heliotrope Dr
- Architect's name Thomas Grow Phone Var 6040
- Contractor's name Henry Mertz Phone 592150
- Contractor's address 506 1/2 Heliotrope Dr
- ENTIRE COST OF PROPOSED WORK (Including Plumbing, Gas Fitting, Sewers, Casapools, Elevators, Painting, Finishing, etc.) - \$ 3100 00
- Any other building on the lot? Yes How used? Dwelling
- Size of proposed building 32' x 32' Height to highest point 12 feet
- Number of stories in height one Character of ground Level
- Material of foundation concrete Size of footings 12 Size wall 6 Depth below ground 6
- Material of chimneys none Number of inlets to flue Interior size of flues x
- Give sizes of following materials: REDWOOD MUDSILLS 2 x 6 Girders 4 x 4  
EXTERIOR studs 2 x 3 INTERIOR BEARING studs 2 x 3 Interior Non-Bearing studs 2 x 3  
Ceiling joist 2 x 4 Roof rafters 2 x 4 FIRST FLOOR JOISTS 2 x 4  
Second floor joists x Specify material of roof Composition
- Will all provisions of State Dwelling House Act be complied with? Yes

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

**OVER**

(Sign here)

(Owner or Authorized Agent.)

FOR DEPARTMENT USE ONLY

PERMIT NO. <u>15503</u>	Plans and specifications checked and found to conform to Ordinances, State laws, etc. <u>HPM</u> Plan Examiner.	Application checked and found O. K. <u>SEP 11 1920</u> Clerk.	Stamp here when permit is issued. <u>SEP 11 1920</u>
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L. H. Rose 4



## This image shows a single sheet of white paper with horizontal ruling lines. The lines are evenly spaced and run across the width of the page. There is no handwriting or other markings on the paper.



# All Applications must be filled out by Applicant

Blkg. Form 2

PLANS AND SPECIFICATIONS  
and other data must also be filed

BOARD OF PUBLIC WORKS

## DEPARTMENT OF BUILDINGS

### Application for the Erection of Frame Buildings CLASS "D"

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

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Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

TAKE TO  
ROOM No. 6  
FIRST  
FLOOR

CITY CLERK  
PLEASE  
VERIFY

TAKE TO  
ROOM No. 405  
SOUTH  
ANNEX

ENGINEER  
PLEASE  
VERIFY

Lot 1 Block 6 of Rembrandt  
(Description of Property)  
of Block 6 and lots 4-6-8-9  
only the one lot in Block A  
of Barron Addition to the City of  
Los Angeles, County of Los Angeles, State of Calif.  
Dist. No. 31 M. B. Page 4 F. B. Page 193

No. 4065 "A" Oakwood Ave  
(Location of Job)

Street

(USE INK OR INDELIBLE PENCIL)

O. K. City Clerk  
By [Signature] Deputy  
O. K. City Engineer  
By [Signature] Deputy

- Purpose of Building Dwelling No. of Rooms 4 No. of Families one
- Owner's name Henry Mertz Phone 597 150
- Owner's address 506 1/2 Heliotrop Dr
- Architect's name Th. Gray Phone Ver 40 40
- Contractor's name Henry Mertz Phone 597 150
- Contractor's address 506 1/2 Heliotrop Dr
- ENTIRE COST OF PROPOSED WORK {Including Plumbing, Gas Fitting, Sewers, Casework, Elevators, Painting, Finishing, etc.} \$ 2500 00
- Any other building on the lot? Yes How used? Dwelling
- Size of proposed building 24 x 32 Height to highest point 12 feet
- Number of stories in height one Character of ground level
- Material of foundation concrete Size of footings 12 Size wall 6 Depth below ground 6
- Material of chimneys none Number of inlets to flue none Interior size of flues none x none
- Give sizes of following materials: REDWOOD MUDSILLS 2 x 6 Girders 4 x 4  
EXTERIOR studs 2 x 3 INTERIOR BEARING studs 2 x 3 Interior Non-Bearing studs 2 x 3  
Ceiling joist 2 x 4 Roof rafters 2 x 4 FIRST FLOOR JOISTS 2 x 6  
Second floor joists none Specify material of roof composition
- Will all provisions of State Dwelling House Act be complied with? Yes

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

**OVER**

(Sign here)

Henry Mertz  
(Owner or Authorized Agent.)

FOR DEPARTMENT USE ONLY

PERMIT NO. <b>15504</b>	Plans and specifications checked and found to conform to Ordinances, State Laws, etc. <u>[Signature]</u> Plan Examiner,	Application checked and found O. K. <b>SEP 11 1920</b> Clark,	Stamp <b>SEP 11 1920</b>

L. H. Rose 4



# REMARKS

Lined area for writing remarks.



All Applications must be filled out by Applicant

PLANS AND SPECIFICATIONS  
and other data must also be filed

BOARD OF PUBLIC WORKS

DEPARTMENT OF BUILDINGS

Application for the Erection of Frame Buildings  
CLASS "D"

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

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Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

TAKE TO  
ROOM NO. 6 -  
FIRST  
FLOOR

CITY CLERK  
PLEASE  
VERIFY

TAKE TO  
ROOM NO. 405  
SOUTH  
ANNEX

ENGINEER  
PLEASE  
VERIFY

Lot 8 Block C  
(Description of Property)  
Resub of Block C & lots 4, 6, 8 & 9  
1 acre lot in Block A  
Barrow add  
City of L.A. 1/33 maps  
Dist. No. 31 M. B. Page 4 F. B. Page 7

No. 4055 (Location of Job)  
Oakwood Ave. Street  
(USE INK OR INDELIBLE PENCIL)

O. K. City Clerk  
By [Signature] Deputy  
O. K. City Engineer  
By [Signature] Deputy

- Purpose of Building Residence No. of Rooms 4 No. of Families 1
- Owner's name L. C. Sherwood Phone
- Owner's address 4055 Oakwood Ave
- Architect's name L. C. Sherwood Phone
- Contractor's name L. C. Sherwood Phone
- Contractor's address 3447 Dayton Ave
- VALUATION OF PROPOSED WORK {Including Plumbing, Gas Fitting, Sewers, Cesspools, Elevators, Painting, Finishing, all Labor, etc.} \$ 2000
- Any other building now on the lot? None How used?
- Size of proposed building 24 x 32 Height to highest point 12 feet
- Number of stories in height One Character of ground Loam
- Material of foundation Concrete Size of footings 12 Size wall 8 Depth below ground 6
- Material of chimneys            Number of inlets to flue            Interior size of flues            x
- Give sizes of following materials: REDWOOD MUDDSILLS 2 x 6 Girders 3 x 4  
EXTERIOR studs 2 x 3 INTERIOR BEARING studs 2 x 3 Interior Non-Bearing studs 2 x 3  
Ceiling joist 2 x 3 Roof rafters 2 x 4 FIRST FLOOR JOISTS 2 x 6  
Second floor joists            x            Specify material of roof Composition
- Will all provisions of State Dwelling House Act be complied with? yes

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

OVER (Sign here) [Signature] (Owner or Authorized Agent)

PERMIT NO. <b>22923</b>	FOR DEPARTMENT USE ONLY	
	Plans and specifications checked and found to conform to Ordinances, State Laws, etc.  Plan Examiner, <u>[Signature]</u>	Application checked and found O. K. <u>02 NOV</u> Clerk, <u>[Signature]</u>

Stamp: NOV 20 1920  
[Other stamps and signatures]



## This image shows a single page of white paper with horizontal ruling lines. The lines are evenly spaced and run across the width of the page. There is no handwriting or other markings on the paper.



All Applications must be filled out by Applicant

Bldg. Form 2

PLANS AND SPECIFICATIONS  
and other data must also be filed

BOARD OF PUBLIC WORKS

DEPARTMENT OF BUILDINGS

Application for the Erection of Frame Buildings  
CLASS "D"

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

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Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

TAKE TO  
ROOM NO. 6  
FIRST  
FLOOR

CITY CLERK  
PLEASE  
VERIFY

TAKE TO  
ROOM NO. 405  
SOUTH  
ANNEX

ENGINEER  
PLEASE  
VERIFY

Lot 8 Block C  
(Description of Property)

of the Resub-division of Block C  
and lots 4-6-8 and 9

of Barrows addition The City of L.A.

Dist. No. 31 M. B. Page 4 F. B. Page 173

No. 4057 Oakwood Ave.  
(Location of Job)

Street

(USE INK OR INDELIBLE PENCIL)

O. K. City Clerk

O. K. City Engineer

Deputy

Deputy

By

1. Purpose of Building Residence No. of Rooms 4 No. of Families One

2. Owner's name L. C. Sherwood Phone

3. Owner's address 4055 Oakwood ave.

4. Architect's name Phone

5. Contractor's name R. C. Sherwood Phone Lincoln 2684

6. Contractor's address 3447 Dayton ave.

7. VALUATION OF PROPOSED WORK {Including Plumbing, Gas Fitting, Sewers, Cesspools, Elevators, Painting, Finishing, all Labor, etc.} \$ 2000

8. Any other building now on the lot? yes How used? just being built

9. Size of proposed building 26 x 32 Height to highest point 12 feet

10. Number of stories in height One Character of ground Clay

11. Material of foundation Concrete Size of footings 18 Size wall 6 Depth below ground 6

12. Material of chimneys Number of inlets to flue Interior size of flues x

13. Give sizes of following materials: REDWOOD MUDSILLS 2 x 6 Girders 3 x 4

EXTERIOR studs 2 x 3 INTERIOR BEARING studs 2 x 3 Interior Non-Bearing studs

2 x 3 Ceiling joist 2 x 3 Roof rafters 2 x 4 FIRST FLOOR JOISTS 2 x 6

Second floor joists x Specify material of roof Composition

14. Will all provisions of State Dwelling House Act be complied with? yes

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

OVER

(Sign here)

(Owner or Authorized Agent.)

FOR DEPARTMENT USE ONLY

PERMIT NO.

24147

Plans and specifications checked  
and found to conform to Ord-  
nances, State Laws, etc.

Plan Examiner.

Application checked and found  
O. K.

DEC 7 1920

Clerk.

Stamp when permit  
is issued

DEC 7 1920

ISSUED



## REMARKS



All Applications must be filled out by Applicant

Blkg. Form 2

PLANS AND SPECIFICATIONS  
and other data must also be filed

BOARD OF PUBLIC WORKS

## DEPARTMENT OF BUILDINGS

### Application for the Erection of Frame Buildings CLASS "D"

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

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Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

TAKE TO  
ROOM NO. 6  
FIRST  
FLOOR

CITY CLERK  
PLEASE  
VERIFY

TAKE TO  
ROOM No. 405  
SOUTH  
ANNEX

ENGINEER  
PLEASE  
VERIFY

Lot 8 Block C  
(Description of Property)

Reverend Beke + C

14 Barnum Ave

Dist. No. 3 M. B. Page 4 F. B. Page

No. 4057 1/2 Oakwood Ave.  
(Location of Job)

Street

(USE INK OR INDELIBLE PENCIL)

O. K. City Clerk

By

O. K. City Engineer

By

1. Purpose of Building Dwelling No. of Rooms 4 No. of Families 1

2. Owner's name L. C. Sherwood Phone

3. Owner's address 4055 Oakwood

4. Architect's name James Sherwood Phone

5. Contractor's name W. B. Sherwood Phone Lincoln 2684

6. Contractor's address 3447 Bayview Ave.

7. VALUATION OF PROPOSED WORK {Including Plumbing, Gas Fitting, Sewers, Casework, Elevators, Painting, Finishing, all Labor, etc.} \$ 2000

8. Any other building now on the lot? yes How used? Dwelling

9. Size of proposed building 26 x 32 Height to highest point 12 feet

10. Number of stories in height One Character of ground firm

11. Material of foundation Concrete Size of footings 12 Size wall 6 Depth below ground 6

12. Material of chimneys — Number of inlets to flue — Interior size of flues — x —

13. Give sizes of following materials: REDWOOD MUDSILLS 2 x 6 Girders 7 x 4

EXTERIOR studs 2 x 3 INTERIOR BEARING studs 2 x 3 Interior Non-Bearing studs

2 x 3 Ceiling joist 2 x 3 Roof rafters 2 x 4 FIRST FLOOR JOISTS 2 x 6

Second floor joists — x — Specify material of roof Composition

14. Will all provisions of State Dwelling House Act be complied with? yes

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

OVER

(Sign here)

(Owner or Authorized Agent.)

FOR DEPARTMENT USE ONLY

PERMIT NO.

1525

Plans and specifications checked and found to conform to Ordinances, State Laws etc.

W. B. Sherwood  
Plan Examiner.

Application checked and found O. K.

JAN 25 1921

Clerk.

Stamp here when permit issued.

JAN 25 1921

1000000

L.A. Bldg. Dept.



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All Applications must be filled out by Applicant

PLANS AND SPECIFICATIONS  
and other data must also be filed

BOARD OF PUBLIC WORKS

DEPARTMENT OF BUILDINGS

Application to Alter, Repair or Demolish

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

TAKE TO  
ROOM NO. 6  
FIRST  
FLOOR

CITY CLERK  
PLEASE  
VERIFY

TAKE TO  
ROOM NO. 405  
SOUTH  
ANNEX

ENGINEER  
PLEASE  
VERIFY

REMOVED FROM

REMOVED TO

Lot 8 Block C  
Tract Barrows addition

Lot \_\_\_\_\_ Block \_\_\_\_\_  
Tract \_\_\_\_\_

Book \_\_\_\_\_ Page \_\_\_\_\_ F. B. Page \_\_\_\_\_

Book \_\_\_\_\_ Page \_\_\_\_\_ F. B. Page \_\_\_\_\_

From No. \_\_\_\_\_

Street \_\_\_\_\_

To No. 405 7 1/2 Oakwood Ave.

Street \_\_\_\_\_

(USE INK OR INDELIBLE PENCIL)

O. K. City Clerk

By \_\_\_\_\_ Deputy.

- What purpose is the present Building now used for? Dwelling Garage
- What purpose will Building be used for hereafter? Dwelling Garage
- Owner's name L. C. Sherwood Phone \_\_\_\_\_
- Owner's address 405 7 1/2 Oakwood Ave.
- Architect's name \_\_\_\_\_ Phone \_\_\_\_\_
- Contractor's name L. C. Sherwood Phone \_\_\_\_\_
- Contractor's address 405 7 1/2 Oakwood Ave.
- VALUATION OF PROPOSED WORK {Including Plumbing, Gas Fitting, Sewers, Cesspools, Elevators, Painting, Finishing, all Labor, etc.} \$ 200.
- Class of Present Building Frame No. of Rooms at present \_\_\_\_\_
- Number of stories in height 1 Size of present building \_\_\_\_\_ X
- State how many buildings are on this lot 3
- State purpose buildings on lot are used for Dwellings  
(Tenement House, Hotel, Residence, or any other purpose.)

STATE ON FOLLOWING LINES EXACTLY WHAT ALTERATIONS, ADDITIONS, ETC., WILL BE MADE TO THIS BUILDING:

Garage 18 x 20

Pls

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

OVER

(Sign here)

L. C. Sherwood  
(Owner or Authorized Agent.)

FOR DEPARTMENT USE ONLY

PERMIT NO <u>3871</u>	Plans and specifications checked and found to conform to Ordinances, State Laws etc. <u>True</u> Plan Examiner.	Application checked and found O. K. <u>MAR -1 1921</u> Clerk.	Stamp here when permit is issued <u>MAR 2 1921</u>
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FOR PLANS SEE  
71

A. J. Johnston

Th. A. J. J.



13. Size of new addition 16 x 20 No. of Stories in height One  
14. Material of foundation Redwood Size footings 21 Size wall \_\_\_\_\_ Depth below ground \_\_\_\_\_  
15. Size of Redwood Mudsills 2 x 6 Size of interior bearing studs 2 x 3  
16. Size of exterior studs 2 x 3 Size of interior non-bearing studs \_\_\_\_\_  
17. Size of first floor joists 2 x 4 Second floor joists \_\_\_\_\_  
18. Will all provisions of State Dwelling House Act be complied with? \_\_\_\_\_

I have carefully examined and read the above blank and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

(Sign here) L. R. Sherman  
(Owner or Authorized Agent)

Lined area for additional notes or specifications.



All Applications must be filled out by Applicant

PLANS AND SPECIFICATIONS  
and other data must also be filed

BOARD OF PUBLIC WORKS

## DEPARTMENT OF BUILDINGS

Application for the Erection of Frame Buildings  
CLASS "D"

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

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Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

TAKE TO  
ROOM NO. 6  
FIRST  
FLOORCITY CLERK  
PLEASE  
VERIFYTAKE TO  
ROOM NO. 405  
SOUTH  
ANNEXENGINEER  
PLEASE  
VERIFYLot 8 Block C

(Description of Property)

Residue of Block C and lots 4-6-8-9Barrows Additionand 1 acre Lot A of Barrows AdditionDist. No. 31 M. B. Page 4 F. B. PageNo. 4055 1/2 (Location of Job)Oakwood Ave. Street

(USE INK OR INDELIBLE PENCIL)

O. K. City Clerk

O. K. City Engineer

By

Deputy

- Purpose of Building Residence No. of Rooms 4 No. of Families 1
- Owner's name L. C. Sherwood Phone —
- Owner's address 4055 1/2
- Architect's name M. D. Sherwood Phone —
- Contractor's name — Phone —
- Contractor's address —
- VALUATION OF PROPOSED WORK {Including Plumbing, Gas Fitting, Sewers, Cesspools, Elevators, Painting, Finishing, all Labor, etc.} \$ 2000.
- Any other building now on the lot? yes How used? Residence
- Size of proposed building 26 x 32 Height to highest point 12 feet
- Number of stories in height 1 Character of ground Clay
- Material of foundation Concrete Size of footings 12 Size wall 8 Depth below ground 6
- Material of chimneys — Number of inlets to flue — Interior size of flues — x —
- Give sizes of following materials: REDWOOD MUDDSILLS 2 x 6 Girders 4 x 4  
EXTERIOR studs 2 x 3 INTERIOR BEARING studs 2 x 3 Interior Non-Bearing studs 2 x 3  
Ceiling joist 2 x 3 Roof rafters 2 x 4 FIRST FLOOR JOISTS 2 x 6  
Second floor joists — x — Specify material of roof Composition
- Will all provisions of State Dwelling House Act be complied with? yes

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

OVER

(Sign here)

(Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY

PERMIT NO. <u>21371</u>	Plans and specifications checked and found to conform to Ordinances, State Laws, etc. <u>Memill</u> Plan Examiner,	Application checked and found O. K. <u>SEP - 2 1921</u> Clerk.	Stamp: <u>RECEIVED</u> <u>SEP 2 1921</u> <u>RECEIVED</u> L.A. Bldg. Dept.
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PERMITS  
Johnston



## This image shows a single sheet of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page. There is no handwriting or printed text on the paper.



All Applications must be filled out by Applicant

Bldg. Form 2

PLANS AND SPECIFICATIONS  
and other data must also be filed

2

BOARD OF PUBLIC WORKS

DEPARTMENT OF BUILDINGS

Application for the Erection of Frame Buildings  
CLASS "D"

To the Board of Public Works of the City of Los Angeles:

Application is hereby made to the Board of Public Works of the City of Los Angeles, through the office of the Chief Inspector of Buildings, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

Lot No. 8 Block C  
(Description of Property) Barrows Addition  
District No. 3 M. B. Page 4 E. B. Page 5  
No. 4055 Oakwood St Ret. Webster  
(Location of Job) Los Angeles - Calif.  
(USE INK OR INDELIBLE PENCIL)

TAKE TO  
REAR OF  
NORTH  
ANNEX  
1st FLOOR  
CITY CLERK  
PLEASE  
VERIFY

TAKE TO  
ROOM No. 405  
SOUTH  
ANNEX  
ENGINEER  
PLEASE  
VERIFY

O. K. City Clerk  
O. K. City Engineer  
By Deputy

- Purpose of Building Duplex Dwelling No. of Rooms 8 No. of Families 2
- Owner's name L. C. Sherwood Phone
- Owner's address 4055 Oakwood Ave
- Architect's name  Phone
- Contractor's name L. C. Sherwood Phone 9145 WIL
- Contractor's address 4055 Oakwood Ave #600000
- VALUATION OF PROPOSED WORK {Including Plumbing, Gas Fitting, Sewers, Cesspools, Elevators, Painting, Finishing, all Labor, etc.} \$ 5000.00
- Is there any existing (old) building on lot? Yes How used? Dwellings
- Size of proposed building 24'0" x 40'0" Height to highest point 23'6" feet
- Number of Stories in height 2 Character of ground Loam
- Material of foundation Concrete Size of footings 18" Size of wall 8" Depth below ground 12"
- Material of chimneys  Number of inlets to flue  Interior size of flues
- Give sizes of following materials: REDWOOD MUDSILLS 2" x 6" Girders 4" x 6"  
EXTERIOR studs 2" x 4" INTERIOR BEARING studs 2" x 4" Interior Non-Bearing studs 2" x 4"  
Ceiling joists 2" x 6" Roof rafters 2" x 3" FIRST FLOOR JOISTS 2" x 6"  
Second floor joists 2" x 10" Specify material of roof Composition
- Will all provisions of State Dwelling House Act be complied with? Yes

I have carefully examined and read the above application and know the same is true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

(Sign here) L. C. Sherwood  
(Owner or Authorized Agent.)

OVER

FOR DEPARTMENT USE ONLY		
PERMIT NO. <u>34834</u>	Plans and Specifications checked and found to conform to Ordinances, State Laws, etc. <u>M. W. W.</u> Plan Examiner	Application checked and found O. K. <u>M. W. W.</u> Clerk
		Stamp here when permit is issued. <u>OCT 4 1922</u> L. A. Bldg. Dept.

Plans 1200



FOR DEPARTMENT USE ONLY

APPLICATION	O. K. <i>g</i>
CONSTRUCTION	O. K. <i>g</i>
ZONING	O. K. <i>g</i>
SET-BACK LINE	O. K. <i>g</i>
ORD. 33761 (N. S.)	O. K. <i>g</i>
FIRE DISTRICT	O. K. <i>g</i>

REMARKS

*Estimate raised because valuation seemed low*

*L. P. Sheppard*



3

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:  
Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:  
First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.  
Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.  
Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot.....  
Tract.....

Present location of building } 406 1/2 oakswood AVE.  
(House Number and Street)  
New location of building } IN REAR OF LOT  
(House Number and Street)  
Between what cross streets } BERENDO and HELIOTROPE

Approved by  
City Engineer.

*[Signature]*  
Deputy.

1. Purpose of PRESENT building PUT GARAGE Families..... Rooms.....  
(Store, Residence, Apartment House, Hotel, or any other purpose)  
2. Use of building AFTER alteration or moving SAME Families..... Rooms.....  
3. Owner (Print Name) Harold Schurman Phone Olympia 4884  
4. Owner's Address 406 1/2 oakswood Ave.  
5. Certificated Architect..... State License No..... Phone.....  
6. Licensed Engineer..... State License No..... Phone.....  
7. Contractor NONE State License No..... Phone.....  
8. Contractor's Address.....  
9. VALUATION OF PROPOSED WORK {Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon.} \$ 160.00  
10. State how many buildings NOW } on lot and give use of each. (Residence, Hotel, Apartment House, or any other purpose)  
11. Size of existing building 9 x 40 Number of stories high..... Height to highest point.....  
12. Class of building ~~wood~~ Material of existing walls wood Exterior framework wood  
(Wood or Steel)

Describe briefly and fully all proposed construction and work:

ADD 2 new garages

Fill in Application on other Side and Sign Statement

(OVER)

PERMIT NO.  7476  PLANS  Rec'd.....	FOR DEPARTMENT USE ONLY 4579				Fee.....  Stamp here when Permit is issued  MAR 11 1937  Inspector <i>[Signature]</i>
	Plans and Specifications checked	Zone R-4	Fine District No. 200		
	Corrections verified	Bldg. Line 15' Ft.	Street Widening		
	Plans, Specifications and Applications rechecked and approved	Application checked and approved			
	For Plans See	Filed with	Required Valuation Included	Specified Yes-No	



PLANS, SPECIFICATIONS, and other data must be filed if required.

2-9x18

NEW CONSTRUCTION

Size of Addition ~~9x40~~ Size of Lot 100x200 Number of Stories when complete 1  
Material of Foundation dirt Width of Footing RW Depth of footing below ground  
Width Foundation Wall Size of Redwood Sill 2x6 Material Exterior Walls  
Size of Exterior Studs 2x4 Size of Interior Bearing Studs X  
Joists: First Floor x Second Floor x Rafters 4x7 Roofing Material Corrugated

I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State laws.

Sign Here Harold Schirmer  
(Owner or Authorized Agent)

By

FOR DEPARTMENT USE ONLY			
Application JBM	Fire District JBM	Bldg. Line 15' 0" JBM	Termite Inspection
Construction	Zoning JBM	Street Widening	Forced Draft Ventil.
(1) REINFORCED CONCRETE Barrels of Cement Tons of Reinforcing Steel		(2) The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from Street Sign Here (Owner or Authorized Agent)	
(3) No required windows will be obstructed. Sign Here (Owner or Authorized Agent)		(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width. Sign Here (Owner or Authorized Agent)	

REMARKS:

*Report*

*90%*



3

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
BUILDING DIVISION

## Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

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Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot.....  
 Tract.....

Present location of building } 4065 OAKWOOD Ave  
 (House Number and Street)  
 New location of building } 4065-1/2 Oakwood Ave  
 (House Number and Street)  
 Between what cross streets } BERENDO and HELIOT ROPE

Approved by  
City Engineer.

Deputy.

- Purpose of PRESENT building..... RESIDENCE..... Families..... 1..... Rooms..... 5  
 (Store, Residence, Apartment House, Hotel, or any other purpose)
- Use of building AFTER alteration or moving..... RESIDENCE..... Families..... 2..... Rooms..... 3
- OWNER (Print Name)..... HAROLD SCHWIMER..... Phone..... OLYPIA 4881
- Owner's Address..... 4061 1/2 OAKWOOD AVE.....
- Certificated Architect..... State License No..... Phone.....
- Licensed Engineer..... State License No..... Phone.....
- Contractor..... None..... State License No..... Phone.....
- Contractor's Address..... GEM
- VALUATION OF PROPOSED WORK {including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon} \$ 300.00
- State how many buildings NOW } 8 RESIDENCES  
 on lot and give use of each. (Residence, Hotel, Apartment House, or any other purpose)
- Size of existing building 32'3" x 32'2" Number of stories high..... 1..... Height to highest point..... 12'
- Class of building STUCCO Material of existing walls..... Exterior framework STUCCO  
 (Wood or Steel)

Describe briefly and fully all proposed construction and work:

Add a wall put in a Kitchen and Bath room  
 PUT 2 new outside doors in

Fill in Application on other Side and Sign Statement

(OVER)

FOR DEPARTMENT USE ONLY 4579			
PERMIT NO.  7475	Plans and Specifications checked <i>[Signature]</i>	Zone R-4	Fire District No. 240
	Corrections verified <i>[Signature]</i>	Bldg. Line 15' Fl. 240 Fl.	Street Widening
PLANS	Plans, Specifications and Applications rechecked and approved <i>[Signature]</i>	Application checked and approved <i>[Signature]</i>	
	For Plans See <i>[Signature]</i>	Specified Yes-No SPRINKLER	
Rec'd.....	Required Valuation Included		Inspector <i>[Signature]</i>

Fee.....

Stamp here when  
Permit is issued.

MAR 11 1937

12



**PLANS, SPECIFICATIONS, and other data must be filed if required.**

## NEW CONSTRUCTION

Size of Addition.....x.....Size of Lot.....x.....Number of Stories when complete.....  
 Material of Foundation.....Width of Footing.....Depth of footing below ground.....  
 Width Foundation Wall.....Size of Redwood Sill.....x.....Material Exterior Walls.....  
 Size of Exterior Studs.....x.....Size of Interior Bearing Studs.....x.....  
 Joists: First Floor.....x.....Second Floor.....x.....Rafters.....x.....Roofing Material.....

I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State laws.

**Sign Here.**

Harold Schwimer  
(Owner or Authorized Agent)

By.

FOR DEPARTMENT USE ONLY			
Application..... <i>HC</i>	Fire District..... <i>HC</i>	Bldg. Line..... <i>15' 0" from</i>	Termite Inspection.....
Construction.....	Zoning.....	Street Widening.....	Forced Draft Ventil.....
<b>(1)</b> <b>REINFORCED CONCRETE</b>  Barrels of Cement.....  Tons of Reinforcing Steel.....		<b>(2)</b> The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from  .....Street  Sign Here..... <div style="text-align: right; font-size: small;">(Owner or Authorized Agent)</div>	
<b>(3)</b> No required windows will be obstructed.  Sign Here..... <div style="text-align: right; font-size: small;">(Owner or Authorized Agent)</div>		<b>(4)</b> There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.  Sign Here..... <div style="text-align: right; font-size: small;">(Owner or Authorized Agent)</div>	

REMARKS:

I hereby certify that no contractor is employed, and/or will be employed to do the work mentioned in this application.

(Signed)

Harold Schwerer



3

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
BUILDING DIVISION

## Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot Same Lot 9410 B/K "C"Tract Same Tract of B/K "C" HammerstonPresent location of building } 4059 OAKWOOD AVE  
(House Number and Street)New location of building } 4059-1/4 Oakwood Ave  
(House Number and Street)Between what cross streets } BRENDA and HELIOTROPE  
New Street thereApproved by  
City Engineer.

Deputy.

- Purpose of PRESENT building RESIDENCE Families 1 Rooms 6  
(Store, Residence, Apartment House, Hotel, or any other purpose)
- Use of building AFTER alteration or moving RESIDENCE Families 2 Rooms 8
- Owner (Print Name) HAROLD SCHWIMER Phone OLYPIA 4884
- Owner's Address 4061 1/2 OAKWOOD AVE
- Certificated Architect \_\_\_\_\_ State \_\_\_\_\_ License No. \_\_\_\_\_ Phone \_\_\_\_\_
- Licensed Engineer \_\_\_\_\_ State \_\_\_\_\_ License No. \_\_\_\_\_ Phone \_\_\_\_\_
- Contractor None State \_\_\_\_\_ License No. \_\_\_\_\_ Phone \_\_\_\_\_
- Contractor's Address \_\_\_\_\_
- VALUATION OF PROPOSED WORK {Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon} \$ 300<sup>00</sup> 45m
- State how many buildings NOW } 8 RESIDENCE HOUSES  
on lot and give use of each. (Residence, Hotel, Apartment House, or any other purpose)
- Size of existing building 32'3" x 32'2" Number of stories high 1 Height to highest point 12'
- Class of building STUCCO Material of existing walls \_\_\_\_\_ Exterior framework STUCCO  
(Wood or Steel)

Describe briefly and fully all proposed construction and work:

add a wall inside put in a kitchen and bath room, put 2 new outside doors in

Fill in Application on other Side and Sign Statement

(OVER)

PERMIT NO.  <b>7474</b>	FOR DEPARTMENT USE ONLY <u>4579</u>				Fee <u>2.50</u>  Stamp here when Permit is issued  <b>MAR 11 1937</b>
	Plans and Specifications checked <u>R. M. Moring</u>	Zone <u>R-4</u>	Fire District No. <u>no</u>		
	Corrections verified <u>R. M. Moring</u>	Bldg. Line <u>15'</u>	Street Widening Ft. <u>20'</u> Ft.		
	Plans, Specifications and Applications rechecked and approved <u>R. M. Moring</u>	Application checked and approved <u>R. M. Moring</u> Clerk			
PLANS Rec'd <u>4/8/37</u>	For Plans See <u>11</u>	Filed With <u>11</u>	SPRINKLER Required Valuation Included <u>Yes</u>		Inspector <u>Shaw</u>



PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition.....x.....Size of Lot.....x.....Number of Stories when complete.....  
Material of Foundation.....Width of Footing.....Depth of footing below ground.....  
Width Foundation Wall.....Size of Redwood Sill.....Material Exterior Walls.....  
Size of Exterior Studs.....Size of Interior Bearing Studs.....x.....  
Joists: First Floor.....x.....Second Floor.....x.....Rafters.....x.....Roofing Material.....  
I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State laws.

Sign Here.....Harold J. Beckman  
(Owner or Authorized Agent)

By.....

FOR DEPARTMENT USE ONLY			
Application..... <i>John</i>	Fire District..... <i>John</i>	Bldg. Line..... <i>15' over</i>	Termite Inspection.....
Construction.....	Zoning.....	Street Widening.....	Forced Draft Ventil.....

(1) REINFORCED CONCRETE  
Barrels of Cement.....  
Tons of Reinforcing Steel.....  
(2) The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from.....Street  
Sign Here.....  
(Owner or Authorized Agent)

(3) No required windows will be obstructed.  
Sign Here.....  
(Owner or Authorized Agent)  
(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.  
Sign Here.....  
(Owner or Authorized Agent)

REMARKS:

I hereby certify that no contractor is employed, and/or will be employed to do the work mentioned in this application.

(Signed) *Harold J. Beckman*



3

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot.....

Tract.....

Present location of building } 4065 Oakwood ave  
(House Number and Street)  
New location of building }  
(House Number and Street)  
Between what cross streets }  
Approved by City Engineer.  
Deputy.

1. Purpose of PRESENT building..... Res..... Families..... Rooms.....  
(Store, Residence, Apartment House, Hotel, or any other purpose)

2. Use of building AFTER alteration or moving..... Families..... Rooms.....

3. Owner (Print Name)..... J. Schweimer..... Phone.....

4. Owner's Address..... 4065 Oakwood.....

5. Certificated Architect..... None..... State License No..... Phone.....

6. Licensed Engineer..... None..... State License No..... Phone.....

7. Contractor..... CB Smith..... State License No. 3694..... Phone.....

8. Contractor's Address..... 822 W. 1st Ave..... Building Ord.

9. VALUATION OF PROPOSED WORK {Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon.} \$.....

10. State how many buildings NOW } on lot and give use of each. }  
(Residence, Hotel, Apartment House, or any other purpose)

11. Size of existing building..... x..... Number of stories high..... Height to highest point.....

12. Class of building..... D..... Material of existing walls..... Exterior framework.....  
(Wood or Steel)

Describe briefly and fully all proposed construction and work:

Interior Lile

Fill in Application on other Side and Sign Statement

(OVER)

PERMIT NO.	FOR DEPARTMENT USE ONLY				Fee.....  Stamp here when Permit is issued  <u>APR -1 1937</u>
	Plans and Specifications checked	Zone	Fire District No.		
	Corrections verified	Bldg. Line	Street Widening		
	Plans, Specifications and Applications rechecked and approved	Application checked and approved <u>Price 2/31/37</u> Clerk			
PLANS	For Plans See	Filed with	Required Valuation Included	SPRINKLER Specified Yes-No	Inspector <u>Commins</u>



PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition.....X.....Size of Lot.....X.....Number of Stories when complete.....  
Material of Foundation.....Width of Footing.....Depth of footing below ground.....  
Width Foundation Wall.....Size of Redwood Sill.....X.....Material Exterior Walls.....  
Size of Exterior Studs.....X.....Size of Interior Bearing Studs.....X.....  
Joists: First Floor.....X.....Second Floor.....X.....Rafters.....X.....Roofing Material.....  
I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State laws.

Sign Here.....  
By.....  
(Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY			
Application .....	Fire District.....	Bldg. Line .....	Termite Inspection.....
Construction.....	Zoning .....	Street Widening .....	Forced Draft Ventil.....

(1) REINFORCED CONCRETE  
Barrels of Cement.....  
Tons of Reinforcing Steel.....  
The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from.....Street  
Sign Here.....  
(Owner or Authorized Agent)

(3) No required windows will be obstructed.  
Sign Here.....  
(Owner or Authorized Agent)  
(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.  
Sign Here.....  
(Owner or Authorized Agent)

REMARKS: .....



3

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
BUILDING DIVISION

## Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

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Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot 9 Lot 9Tract Remainder of Blk C + Lots 4, 6-89 Tract 1 acre Lot Blk 9 of Burrows AddPresent location of building } 4061 Oakwood Avenue  
(House Number and Street)New location of building } 4061-614 Oakwood Ave.  
(House Number and Street)Between what cross streets } Heliothrops & New HampshireApproved by  
City Engineer.

Deputy.

- Purpose of PRESENT building Residence Families 1 Rooms 5  
(Store, Residence, Apartment House, Hotel, or any other purpose)
- Use of building AFTER alteration or moving Residence Families 2 Rooms 5
- OWNER (Print Name) HAROLD SCHWIMER Phone OL 4884
- Owner's Address 4061 1/2 Oakwood Avenue
- Certificated Architect None State License No. Phone.
- Licensed Engineer None State License No. Phone.
- Contractor None State License No. Phone.
- Contractor's Address None
- VALUATION OF PROPOSED WORK {including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon.} \$ 300.00
- State how many buildings NOW on lot and give use of each. 8 Residences  
(Residence, Hotel, Apartment House, or any other purpose)
- Size of existing building 25'0" x 32'2" Number of stories high 1 Height to highest point 12
- Class of building D Material of existing walls Stucco Exterior framework wood  
(Wood or Steel)

Describe briefly and fully all proposed construction and work:

Put in Partition, open front door and a rear door

7 Fill in Application on other Side and Sign Statement

(OVER)

PERMIT NO.  <b>18841</b>	FOR DEPARTMENT USE ONLY <u>4879</u>				Fee <u>250</u> Stamp here when Permit is issued  <u>JUN -7 1937</u> Inspector <u>Aurora 12</u> <u>Commons</u>
	Plans and Specifications checked <u>[Signature]</u>	Zone <u>R4</u>	Fire District No. <u>20</u>		
	Corrections verified <u>[Signature]</u>	Bldg. Line <u>15'</u> FL.	Street Widening <u>no</u> FL.		
	Plans, Specifications and Applications rechecked and approved <u>[Signature]</u>	Application checked and approved <u>[Signature]</u>			
PLANS	For Plans See	Filed with	SPRINKLER	Specified Fee-No	



## NEW CONSTRUCTION

Sign Here *Harold Schinner*  
(Owner or Authorized Agent)

BY

FOR DEPARTMENT USE ONLY			
Application	Fire District	Bldg. Line	Street Widening
Construction	Zoning	Termite Inspection	Forced Draft Ventil.

<p>(1) REINFORCED CONCRETE</p> <p>Barrels of Cement.....</p> <p>Tons of Reinforcing Steel.....</p>	<p>(2)</p> <p>The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from Street.....</p> <p>Sign Here..... (Owner or Authorized Agent)</p>
--	---

<p>(3) No required windows will be obstructed.</p> <p>Sign Here..... (Owner or Authorized Agent)</p>	<p>(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.</p> <p>Sign Here..... (Owner or Authorized Agent)</p>
--	---

REMARKS:



2

**CITY OF LOS ANGELES**  
**DEPARTMENT OF BUILDING AND SAFETY**  
**BUILDING DIVISION**

**Application for the Erection of a Building**  
 OF  
**CLASS "D"**

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

Lot No. 10

Tract Remainder of Blk 9 + Lots 4, 6-8-9 + 1 Acre of Lot 22 Blk 9 - 1st 4th

Location of Building 406 1/2 OAKWOOD AVENUE  
 (House Number and Street)

Approved by  
City Engineer

Between what cross streets NEW HAMPSHIRE + HELIOTROPE  
 Deputy.

**USE INK OR INDELIBLE PENCIL**

- Purpose of building GARAGE Families      Rooms       
(Store, Residence, Apartment House, Hotel, or any other purpose)
- Owner (Print Name) HAROLD SCHWIMER Phone DL 4884
- Owner's address 406 1/2 OAKWOOD AVENUE
- Certificated Architect None State License No.      Phone
- Licensed Engineer None State License No.      Phone
- Contractor NONE State License No.      Phone
- Contractor's address 128 Ray
- VALUATION OF PROPOSED WORK 8 - RESIDENCE \$1500  
Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon.
- State how many buildings NOW on lot and give use of each. 8 - RESIDENCE  
(Store, Residence, Apartment House, Hotel, or any other purpose)
- Size of new building 16' x 20' No. Stories 1 Height to highest point 10 Size lot 100 x 200
- Type of soil Sandy loam Foundation (Material) R.W. Depth in ground
- Width of footing      Width of foundation wall      Size of redwood sill 2 x 6
- Material exterior wall WOOD Size of studs: (Exterior) 2 x 4 (Interior bearing) 2 x 4
- Joist: First floor 2 x 4 Second floor 2 x 4 Rafters 2 x 4 Material of roof COMPO
- Chimney (Material) None Size Flue      No. inlets each flue      Depth footing in ground

I have carefully examined and read the above completed Application and know the same is true and correct, and hereby certify and agree that if a permit is issued all the provisions of the Building Ordinance and State Laws will be complied with whether herein specified or not; I also certify that plans and specifications filed will conform to all the Building Ordinances and State Laws.

Sign here Harold Schwimer

(Owner or Authorized Agent)

Plans, Specifications and other data must be filed if required.

By     

<b>PERMIT NO.</b>  <b>18840</b>	<b>FOR DEPARTMENT USE ONLY 4579</b>				<b>Fee</b>  <u>2.00</u> Stamp here when Permit is issued  <b>JUN -7 1937</b>
	Plans and Specifications checked <u>[Signature]</u>	Zone <u>R4</u>	Fire District No. <u>70</u>	Bldg. Line <u>15'</u> Ft.	
	Corrections verified <u>[Signature]</u>	Street Widening <u>No</u> Ft.	Application checked and approved <u>6/7/37 [Signature]</u>	Inspector <u>Owens 12</u>	
	Plans, Specifications and Application rechecked and approved <u>[Signature]</u>	Required Valuation Included <u>    </u>	Specified Yes—No <u>    </u>	SPRINKLER <u>    </u>	



FOR DEPARTMENT USE ONLY			
Application	Fire District	Bldg. Line	Street Widening
Construction	Zoning	Forced Draft Ventil.	

(1) REINFORCED CONCRETE

The building referred to in this Application will be more than 100 feet from Street

(2) Sign Here.....  
(Owner or Authorized Agent)  
(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.  
Sign Here.....  
(Owner or Authorized Agent)

Barrels of Cement.....  
Tons of Reinforcing Steel.....  
(3) This building will be not less than 10 feet from any other building used for residential purposes on this lot.

Sign here.....  
(Owner or Authorized Agent)

REMARKS:



2

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
BUILDING DIVISION

**Application for the Erection of a Building**  
OF  
CLASS "D"

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

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Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

Lot No. 9

Tract Resub. of Blk. C + Lot 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 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623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000, 1001, 1002, 1003, 1004, 1005, 1006, 1007, 1008, 1009, 1010, 1011, 1012, 1013, 1014, 1015, 1016, 1017, 1018, 1019, 1020, 1021, 1022, 1023, 1024, 1025, 1026, 1027, 1028, 1029, 1030, 1031, 1032, 1033, 1034, 1035, 1036, 1037, 1038, 1039, 1040, 1041, 1042, 1043, 1044, 1045, 1046, 1047, 1048, 1049, 1050, 1051, 1052, 1053, 1054, 1055, 1056, 1057, 1058, 1059, 1060, 1061, 1062, 1063, 1064, 1065, 1066, 1067, 1068, 1069, 1070, 1071, 1072, 1073, 1074, 1075, 1076, 1077, 1078, 1079, 1080, 1081, 1082, 1083, 1084, 1085, 1086, 1087, 1088, 1089, 1090, 1091, 1092, 1093, 1094, 1095, 1096, 1097, 1098, 1099, 1100, 1101, 1102, 1103, 1104, 1105, 1106, 1107, 1108, 1109, 1110, 1111, 1112, 1113, 1114, 1115, 1116, 1117, 1118, 1119, 1120, 1121, 1122, 1123, 1124, 1125, 1126, 1127, 1128, 1129, 1130, 1131, 1132, 1133, 1134, 1135, 1136, 1137, 1138, 1139, 1140, 1141, 1142, 1143, 1144, 1145, 1146, 1147, 1148, 1149, 1150, 1151, 1152, 1153, 1154, 1155, 1156, 1157, 1158, 1159, 1160, 1161, 1162, 1163, 1164, 1165, 1166, 1167, 1168, 1169, 1170, 1171, 1172, 1173, 1174, 1175, 1176, 1177, 1178, 1179, 1180, 1181, 1182, 1183, 1184, 1185, 1186, 1187, 1188, 1189, 1190, 1191, 1192, 1193, 1194, 1195, 1196, 1197, 1198, 1199, 1200, 1201, 1202, 1203, 1204, 1205, 1206, 1207, 1208, 1209, 1210, 1211, 1212, 1213, 1214, 1215, 1216, 1217, 1218, 1219, 1220, 1221, 1222, 1223, 1224, 1225, 1226, 1227, 1228, 1229, 1230, 1231, 1232, 1233, 1234, 1235, 1236, 1237, 1238, 1239, 1240, 1241, 1242, 1243, 1244, 1245, 1246, 1247, 1248, 1249, 1250, 1251, 1252, 1253, 1254, 1255, 1256, 1257, 1258, 1259, 1260, 1261, 1262, 1263, 1264, 1265, 1266, 1267, 1268, 1269, 1270, 1271, 1272, 1273, 1274, 1275, 1276, 1277, 1278, 1279, 1280, 1281, 1282, 1283, 1284, 1285, 1286, 1287, 1288, 1289, 1290, 1291, 1292, 1293, 1294, 1295, 1296, 1297, 1298, 1299, 1300, 1301, 1302, 1303, 1304, 1305, 1306, 1307, 1308, 1309, 1310, 1311, 1312, 1313, 1314, 1315, 1316, 1317, 1318, 1319, 1320, 1321, 1322, 1323, 1324, 1325, 1326, 1327, 1328, 1329, 1330, 1331, 1332, 1333, 1334, 1335, 1336, 1337, 1338, 1339, 1340, 1341, 1342, 1343, 1344, 1345, 1346, 1347, 1348, 1349, 1350, 1351, 1352, 1353, 1354, 1355, 1356, 1357, 1358, 1359, 1360, 1361, 1362, 1363, 1364, 1365, 1366, 1367, 1368, 1369, 1370, 1371, 1372, 1373, 1374, 1375, 1376, 1377, 1378, 1379, 1380, 1381, 1382, 1383, 1384, 1385, 1386, 1387, 1388, 1389, 1390, 1391, 1392, 1393, 1394, 1395, 1396, 1397, 1398, 1399, 1400, 1401, 1402, 1403, 1404, 1405, 1406, 1407, 1408, 1409, 1410, 1411, 1412, 1413, 1414, 1415, 1416, 1417, 1418, 1419, 1420, 1421, 1422, 1423, 1424, 1425, 1426, 1427, 1428, 1429, 1430, 1431, 1432, 1433, 1434, 1435, 1436, 1437, 1438, 1439, 1440, 1441, 1442, 1443, 1444, 1445, 1446, 1447, 1448, 1449, 1450, 1451, 1452, 1453, 1454, 1455, 1456, 1457, 1458, 1459, 1460, 1461, 1462, 1463, 1464, 1465, 1466, 1467, 1468, 1469, 1470, 1471, 1472, 1473, 1474, 1475, 1476, 1477, 1478, 1479, 1480, 1481, 1482, 1483, 1484, 1485, 1486, 1487, 1488, 1489, 1490, 1491, 1492, 1493, 1494, 1495, 1496, 1497, 1498, 1499, 1500, 1501, 1502, 1503, 1504, 1505, 1506, 1507, 1508, 1509, 1510, 1511, 1512, 1513, 1514, 1515, 1516, 1517, 1518, 1519, 1520, 1521, 1522, 1523, 1524, 1525, 1526, 1527, 1528, 1529, 1530, 1531, 1532, 1533, 1534, 1535, 1536, 1537, 1538, 1539, 1540, 1541, 1542, 1543, 1544, 1545, 1546, 1547, 1548, 1549, 1550, 1551, 1552, 1553, 1554, 1555, 1556, 1557, 1558, 1559, 1560, 1561, 1562, 1563, 1564, 1565, 1566, 1567, 1568, 1569, 1570, 1571, 1572, 1573, 1574, 1575, 1576, 1577, 1578, 1579, 1580, 1581, 1582, 1583, 1584, 1585, 1586, 1587, 1588, 1589, 1590, 1591, 1592, 1593, 1594, 1595, 1596, 1597, 1598, 1599, 1600, 1601, 1602, 1603, 1604, 1605, 1606, 1607, 1608, 1609, 1610, 1611, 1612, 1613, 1614, 1615, 1616, 1617, 1618, 1619, 1620, 1621, 1622, 1623, 1624, 1625, 1626, 1627, 1628, 1629, 1630, 1631, 1632, 1633, 1634, 1635, 1636, 1637, 1638, 1639, 1640, 1641, 1642, 1643, 1644, 1645, 1646, 1647, 1648, 1649, 1650, 1651, 1652, 1653, 1654, 1655, 1656, 1657, 1658, 1659, 1660, 1661, 1662, 1663, 1664, 1665, 1666, 1667, 1668, 1669, 1670, 1671, 1672, 1673, 1674, 1675, 1676, 1677, 1678, 1679, 1680, 1681, 1682, 1683, 1684, 1685, 1686, 1687, 1688, 1689, 1690, 1691, 1692, 1693, 1694, 1695, 1696, 1697, 1698, 1699, 1700, 1701, 1702, 1703, 1704, 1705, 1706, 1707, 1708, 1709, 1710, 1711, 1712, 1713, 1714, 1715, 1716, 1717, 1718, 1719, 1720, 1721, 1722, 1723, 1724, 1725, 1726, 1727, 1728, 1729, 1730, 1731, 1732, 1733, 1734, 1735, 1736, 1737, 1738, 1739, 1740, 1741, 1742, 1743, 1744, 1745, 1746, 1747, 1748, 1749, 1750, 1751, 1752, 1753, 1754, 1755, 1756, 1757, 1758, 1759, 1760, 1761, 1762, 1763, 1764, 1765, 1766, 1767, 1768, 1769, 1770, 1771, 1772, 1773, 1774, 1775, 1776, 1777, 1778, 1779, 1780, 1781, 1782, 1783, 1784, 1785, 1786, 1787, 1788, 1789, 1790, 1791, 1792, 1793, 1794, 1795, 1796, 1797, 1798, 1799, 1800, 1801, 1802, 1803, 1804, 1805, 1806, 1807, 1808, 1809, 1810, 1811, 1812, 1813, 1814, 1815, 1816, 1817, 1818, 1819, 1820, 1821, 1822, 1823, 1824, 1825, 1826, 1827, 1828, 1829, 1830, 1831, 1832, 1833, 1834, 1835, 1836, 1837, 1838, 1839, 1840, 1841, 1842, 1843, 1844, 1845, 1846, 1847, 1848, 1849, 1850, 1851, 1852, 1853, 1854, 1855, 1856, 1857, 1858, 1859, 1860, 1861, 1862, 1863, 1864, 1865, 1866, 1867, 1868, 1869, 1870, 1871, 1872, 1873, 1874, 1875, 1876, 1877, 1878, 1879, 1880, 1881, 1882, 1883, 1884, 1885, 1886, 1887, 1888, 1889, 1890, 1891, 1892, 1893, 1894, 1895, 1896, 1897, 1898, 1899, 1900, 1901, 1902, 1903, 1904, 1905, 1906, 1907, 1908, 1909, 1910, 1911, 1912, 1913, 1914, 1915, 1916, 1917, 1918, 1919, 1920, 1921, 1922, 1923, 1924, 1925, 1926, 1927, 1928, 1929, 1930, 1931, 1932, 1933, 1934, 1935, 1936, 1937, 1938, 1939, 1940, 1941, 1942, 1943, 1944, 1945, 1946, 1947, 1948, 1949, 1950, 1951, 1952, 1953, 1954, 1955, 1956, 1957, 1958, 1959, 1960, 1961, 1962, 1963, 1964, 1965, 1966, 1967, 1968, 1969, 1970, 1971, 1972, 1973, 1974, 1975, 1976, 1977, 1978, 1979, 1980, 1981, 1982, 1983, 1984, 1985, 1986, 1987, 1988, 1989, 1990, 1991, 1992, 1993, 1994, 1995, 1996, 1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 21







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CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
BUILDING DIVISION

## Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot 10 Lot 10Tract Resub. of Bldg. Co. & Lots 4-6-8-9-10-11-12-13-14 of parcel 1 & 1/4 of parcel 2Present location of building } 406 3 1/2 Oakwood Avenue  
(House Number and Street)New location of building } 406 3 1/4 - 1/2 Oakwood Ave  
(House Number and Street)Between what cross streets } Heliothrops and New HampshireApproved by  
City Engineer.

Deputy.

1. Purpose of PRESENT building Residence Families 1 Rooms 5  
(Store, Residence, Apartment House, Hotel, or any other purpose)2. Use of building AFTER alteration or moving Residence Families 2 Rooms 53. OWNER (Print Name) HAROLD SCHWIMER Phone OL 48844. Owner's Address 406 1 1/2 Oakwood Avenue5. Certificated Architect None State License No. Phone6. Licensed Engineer None State License No. Phone7. Contractor None State License No. Phone

8. Contractor's Address

9. VALUATION OF PROPOSED WORK {Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon.} \$ 300.0010. State how many buildings NOW } In 8 - Residences  
on lot and give use of each. (Residence, Hotel, Apartment House, or any other purpose)11. Size of existing building 25' x 32' 2" Number of stories high 1 Height to highest point 12'12. Class of building D Material of existing walls STCCO Exterior framework Wood  
(Wood or Steel)

Describe briefly and fully all proposed construction and work:

Put in partition, open front door and a rear door.

Fill in Application on other Side and Sign Statement

(OVER)

PERMIT NO.  <b>18839</b>	FOR DEPARTMENT USE ONLY <u>4579</u>				Fee <u>2.50</u> Stamp here when Permit is issued  <u>JUN -7 1937</u>
	Plans and Specifications checked <u>H. H. H. H. H.</u>	Zone <u>R 4</u>	Fire District No. <u>710</u>		
	Corrections verified <u>H. H. H. H. H.</u>	Bldg. Line <u>15'</u> Fl.	Street Widening <u>120</u> Fl.		
	Plans, Specifications and Applications rechecked and approved <u>H. H. H. H. H.</u>	Application checked and approved <u>6/7/37</u> Clerk			
PLANS	For Plans See	Filed with	SPRINKLER Required Valuation Included Specified Yes-No		Inspector <u>Owen 12</u>

Common



**NEW CONSTRUCTION**

Material of Foundation ..... Width of Footing, ..... Depth of footing below ground.





Size of Exterior Studs.....X.....Size of Interior Bearing Studs.....X.....

Joists: First Floor.....x.....Second Floor.....x.....Rafters.....x.....Roofing Material.....

I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State laws.

Sign Here.....  
(Owner or Authorized Agent)

**BY.**

FOR DEPARTMENT USE ONLY			
Application	Fire District	Bldg. Line	Street Widening
			
Construction	Zoning	Termite Inspection	Forced Draft Ventil.

(1) REINFORCED CONCRETE

REINFORCED CONCRETE Barrels of Cement.....	The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from Street.....
---	--

.....  
 Tons of Reinforcing Steel.....  
 Sign Here.....  
 (Owner or Authorized Agent)  
 Street.....

(3) No required windows will be obstructed.

(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.

REMARKS:



3

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
BUILDING DIVISION

## Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot 9 Lot 9Tract Remainder of Blk C + Lots 4, 6, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100 Tract Lot A of Barrows AdditionPresent location of building } 4059 1/2 Oakwood Avenue  
(House Number and Street)New location of building } 4059 1/2 - 3A Oakwood Ave  
(House Number and Street)Between what cross streets } Heliotrope + New HampshireApproved by  
City Engineer.

Deputy.

1. Purpose of PRESENT building RESIDENCE Families 1 Rooms 5  
(Store, Residence, Apartment House, Hotel, or any other purpose)2. Use of building AFTER alteration or moving RESIDENCE Families 2 Rooms 53. OWNER (Print Name) HAROLD SCHWIMER Phone OL 48844. Owner's Address 4061 1/2 OAKWOOD AVENUE5. Certificated Architect None State License No. Phone.6. Licensed Engineer None State License No. Phone.7. Contractor NONE State License No. Phone.

8. Contractor's Address

9. VALUATION OF PROPOSED WORK {Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon.} \$ 300.00 R.P.C.10. State how many buildings NOW on lot and give use of each. 8 - RESIDENCE  
(Residence, Hotel, Apartment House, or any other purpose)11. Size of existing building 24'3" x 32'2" Number of stories high 1 Height to highest point 1212. Class of building D Material of existing walls STUCCO Exterior framework WOOD  
(Wood or Steel)

Describe briefly and fully all proposed construction and work:

PUT IN PARTITION, OPEN FRONT DOOR AND REAR DOOR.

Fill in Application on other Side and Sign Statement

(OVER)

PERMIT NO.  <b>18843</b>	FOR DEPARTMENT USE ONLY <u>4579</u>				Fee <u>2.50</u> Stamp here when Permit is issued  <u>JUN -7 1937</u>
	Plans and Specifications checked <u>H. H. Morris</u>	Zone <u>R4</u>	Fire District No. <u>10</u>		
	Corrections verified <u>H. H. Morris</u>	Bldg. Lins <u>15</u> Ft.	Street Widening <u>No</u> Ft.		
	Plans, Specifications and Applications rechecked and approved <u>H. H. Morris</u>	Application checked and approved <u>17/37</u> <u>L. H. Morris</u> Clerk			
PLANS	For Plans See	Filed with	SPRINKLER		Inspector
Rec'd			Valuation Included		Specified Fee - No

C. H. Morris



PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition.....	Size of Lot.....	Number of Stories when complete.....
Material of Foundation.....	Width of Footing.....	Depth of footing below ground.....
Width Foundation Wall.....	Size of Redwood Sill.....	Material Exterior Walls.....
Size of Exterior Studs.....	Size of Interior Bearing Studs.....	
Joints: First Floor.....	Second Floor.....	Roofing Material.....
I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State Laws.		
Sign Here.....		(Owner or Authorized Agent)
By.....		

FOR DEPARTMENT USE ONLY			
Application.....	Fire District.....	Bldg. Line.....	Street Widening.....
Construction.....	Zoning.....	Forced Draft Ventil.....	

(1)	REINFORCED CONCRETE	Barrels of Cement.....	Tons of Reinforcing Steel.....
(3)	No required windows will be obstructed.	Sign Here..... (Owner or Authorized Agent)	
(2)	The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from Street.....	Sign Here..... (Owner or Authorized Agent)	
(4)	There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.	Sign Here..... (Owner or Authorized Agent)	

REMARKS:



## CITY OF LOS ANGELES

## DEPARTMENT OF BUILDING AND SAFETY

## BUILDING DIVISION

## Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

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First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

## REMOVED FROM

## REMOVED TO

Lot 10 Lot 10

Tract Remainder of Bldg. C + Lots 4-68-9 + 1 acre lot Bldg. A of Main Road

Present location of building } 4065 1/2 OAKWOOD AVENUE  
(House Number and Street)

New location of building } 4065 1/2 - 34 Oakwood Ave.  
(House Number and Street)

Between what cross streets } HELIOTROPE AND NEW HAMPSHIRE

Approved by  
City Engineer.

Deputy.

1. Purpose of PRESENT building RESIDENCE Families 1 Rooms 5  
(Store, Residence, Apartment House, Hotel, or any other purpose)

2. Use of building AFTER alteration or moving RESIDENCE Families 2 Rooms 5

3. Owner (Print Name) HAROLD SCHWIMER Phone DL 4884

4. Owner's Address 4061 1/2 OAKWOOD AVENUE

5. Certificated Architect None State License No. Phone.

6. Licensed Engineer None State License No. Phone.

7. Contractor NONE State License No. Phone.

8. Contractor's Address

9. VALUATION OF PROPOSED WORK {Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon.} \$300.00 N.P.C.

10. State how many buildings NOW } 8 - RESIDENCE  
on lot and give use of each. (Residence, Hotel, Apartment House, or any other purpose)

11. Size of existing building 24'3" x 32'2" Number of stories high 1 Height to highest point 12

12. Class of building D Material of existing walls STUCCO Exterior framework WOOD  
(Wood or Steel)

Describe briefly and fully all proposed construction and work:

PUT IN PARTITION, OPEN FRONT DOOR AND REAR DOOR

Fill in Application on other Side and Sign Statement

(OVER)

PERMIT NO.  <b>18838</b>	FOR DEPARTMENT USE ONLY <u>4579</u>				Fee <u>2.50</u>  Stamp here when Permit is issued  <u>JUN -7 1937</u>
	Plans and Specifications checked <u>[Signature]</u>	Zone <u>R4</u>	Fire District No. <u>20</u>		
	Corrections verified <u>[Signature]</u>	Bldg. Line <u>15'</u> Ft.	Street Widening <u>10'</u> Ft.		
	Plans, Specifications and Applications rechecked and approved <u>[Signature]</u>	Application checked and approved <u>6/7/37 [Signature]</u>		Clerk	
PLANS	For Plans See	Filed with	SPRINKLER		Inspector
Rec'd.			Required Valuation Included		Specified Fee—No

Corrections



PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition.....	Size of Lot.....	Number of Stories when complete.....
Material of Foundation.....	Width of Footing.....	Depth of Footing below ground.....
Width Foundation Wall.....	Size of Redwood Sill.....	Material Exterior Walls.....
Size of Exterior Studs.....	Size of Interior Bearing Studs.....	
Joists: First Floor.....	Second Floor.....	Roofing Material.....
I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State Laws.		
Sign Here.....		(Owner or Authorized Agent)
By.....		

FOR DEPARTMENT USE ONLY			
Application.....	Fire District.....	Bldg. Line.....	Street Widening.....
Construction.....	Zoning.....	Forced Draft Ventil.....	Termite Inspection.....

(1) REINFORCED CONCRETE		(2)	
Barrels of Cement.....	The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from Street.....		
Tons of Reinforcing Steel.....	Sign Here.....		
(3) No required windows will be obstructed.		(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.	
Sign Here.....		Sign Here.....	
(Owner or Authorized Agent)		(Owner or Authorized Agent)	

REMARKS:



3

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

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Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot.....

Tract.....

Present location of building } 4059 1/2 4059 3/4 Oakwood St  
(House Number and Street)  
New location of building }  
(House Number and Street)  
Between what cross streets }  
Approved by City Engineer.  
Deputy.

- Purpose of PRESENT building Duplex Families.....Rooms.....  
(Store, Residence, Apartment House, Hotel, or any other purpose)
- Use of building AFTER alteration or moving.....Families.....Rooms.....
- Owner (Print Name) Ethel Schwimer Phone.....
- Owner's Address 4059 1/2 Oakwood St
- Certificated Architect None State License No.....Phone.....
- Licensed Engineer None State License No.....Phone.....
- Contractor E B Scott State License No. 3694 Phone.....
- Contractor's Address 822 No. LaBrea Ave Tile Setting Ord. Fee \$1.00
- VALUATION OF PROPOSED WORK {Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon.} \$.....
- State how many buildings NOW } on lot and give use of each. (Residence, Hotel, Apartment House, or any other purpose)
- Size of existing building.....x.....Number of stories high.....Height to highest point.....
- Class of building D Material of existing walls.....Exterior framework.....  
(Wood or Steel)  
Describe briefly and fully all proposed construction and work:

Interior Tile Work

Fill in Application on other Side and Sign Statement

(OVER)

PERMIT NO.  24121	FOR DEPARTMENT USE ONLY				Fee.....  Stamp here when Permit is issued  JUL 21 1937
	Plans and Specifications checked	Zone	Fire District No.		
	Corrections verified	Blgd. Line	Street Widening		
	Plans, Specifications and Applications rechecked and approved	Application checked and approved 7/21/37		Clerk	
PLANS	For Plans See	Filed with	Required Valuation Included	SPRINKLER Specified Yes-No	Inspector J. L. Quinn



PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition.....X.....Size of Lot.....X.....Number of Stories when complete.....  
Material of Foundation.....Width of Footing.....Depth of footing below ground.....  
Width Foundation Wall.....Size of Redwood Sill.....X.....Material Exterior Walls.....  
Size of Exterior Stud.....X.....Size of Interior Bearing Studs.....X.....  
Joists: First Floor.....X.....Second Floor.....X.....Rafters.....X.....Roofing Material.....  
I have carefully examined and read both sides of this completed Application and know the same is true and correct and  
hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be  
complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform  
to all of the provisions of the Building Ordinances and State laws.

Sign Here.....  
By.....  
(Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY			
Application .....	Fire District.....	Bldg. Line .....	Termite Inspection.....
Construction.....	Zoning .....	Street Widening .....	Forced Draft Ventil.....

(1) REINFORCED CONCRETE  
Barrels of Cement.....  
Tons of Reinforcing Steel.....  
The building (and, or, addition) referred to in this Appli-  
cation is, or will be when moved, more than 100 feet from  
Street.....  
Sign Here.....  
(Owner or Authorized Agent)

(3) No required windows will be ob-  
structed.  
Sign Here.....  
(Owner or Authorized Agent)

(4) There will be an unobstructed passageway at least ten  
(10) feet wide, extending from any dwelling on lot to a Public  
Street or Public Alley at least 10 feet in width.  
Sign Here.....  
(Owner or Authorized Agent)

REMARKS:



3

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
BUILDING DIVISION

## Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

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Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot..... Lot.....

Tract..... Tract.....

Present location of building } 406I 406I<sup>1</sup>/<sub>2</sub> Oakwood St  
(House Number and Street)New location of building }  
(House Number and Street)Between what cross streets }  
Deputy.Approved by  
City Engineer.1. Purpose of PRESENT building..... Duplex..... Families..... Rooms.....  
(Store, Residence, Apartment House, Hotel, or any other purpose)

2. Use of building AFTER alteration or moving..... Families..... Rooms.....

3. Owner (Print Name)..... Ethel Schwimer..... Phone.....

4. Owner's Address..... 406I - Oakwood St.....

5. Certificated Architect..... State License No..... Phone.....

6. Licensed Engineer..... State License No..... Phone.....

7. Contractor..... E B Scott..... State License No..... 3694..... Phone.....

8. Contractor's Address..... 822 No La Brea Ave.....  
Tile Setting Ord. Fee \$1.009. VALUATION OF PROPOSED WORK {Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon} \$.....  
Contractors Reg. No.....10. State how many buildings NOW } on lot and give use of each. }  
(Residence, Hotel, Apartment House, or any other purpose)

11. Size of existing building.....x..... Number of stories high..... Height to highest point.....

12. Class of building..... D..... Material of existing walls..... Exterior framework.....  
(Wood or Steel)

Describe briefly and fully all proposed construction and work:

Interior Tile Work

Fill in Application on other Side and Sign Statement

(OVER)

PERMIT NO.  24122	FOR DEPARTMENT USE ONLY				Fee.....  Stamp here when Permit is issued  JUL 21 1937
	Plans and Specifications checked	Zone	Fire District No.		
	Corrections verified	Bldg. Line	Street Widening		
	Plans, Specifications and Applications rechecked and approved	Application checked and approved P. J. J. 37 Clerk			
PLANS	For Plans See	Filed with	Required Valuation Included	SPRINKLER Specified Yes—No	Inspector A. L. Owens



PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition.....x.....Size of Lot.....x.....Number of Stories when complete.....  
Material of Foundation.....Width of Footing.....Depth of footing below ground.....  
Width Foundation Wall.....Size of Redwood Sill.....x.....Material Exterior Walls.....  
Size of Exterior Studs.....x.....Size of Interior Bearing Studs.....x.....  
Joists: First Floor.....x.....Second Floor.....x.....Rafters.....x.....Roofing Material.....  
I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State Laws.

Sign Here.....  
By.....  
.....  
.....

FOR DEPARTMENT USE ONLY			
Application .....	Fire District.....	Bldg. Line .....	Termite Inspection.....
Construction.....	Zoning .....	Street Widening .....	Forced Draft Ventil.....

(1) REINFORCED CONCRETE	Barrels of Cement.....	.....	Tons of Reinforcing Steel.....
(2) The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from ..... Street	Sign Here.....	(Owner or Authorized Agent)	

(3) No required windows will be obstructed.	Sign Here.....	(Owner or Authorized Agent)	
(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.	Sign Here.....	(Owner or Authorized Agent)	

REMARKS:



3

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

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Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot..... Lot.....

Tract..... Tract.....

Present location of building } 4063 - 4063 1/2 Oakwood Ave  
(House Number and Street)  
New location of building }  
(House Number and Street)  
Between what cross streets } Deputy.

Approved by  
City Engineer.

- Purpose of PRESENT building Duplex Families..... Rooms.....  
(Store, Residence, Apartment House, Hotel, or any other purpose)
- Use of building AFTER alteration or moving..... Families..... Rooms.....
- Owner (Print Name)..... Ethel Schwimer Phone.....
- Owner's Address..... 4063 - 1/2 Oakwood
- Certificated Architect..... State License No..... Phone.....
- Licensed Engineer..... State License No..... Phone.....
- Contractor..... E. B. Scott State License No..... 3694 Phone.....
- Contractor's Address..... 822 No. La Brea Ave. Tile Setting Ord. Fee \$1.00
- VALUATION OF PROPOSED WORK { Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon. } \$ Contractors Reg. No.....
- State how many buildings NOW } on lot and give use of each. (Residence, Hotel, Apartment House, or any other purpose)
- Size of existing building..... x..... Number of stories high..... Height to highest point.....
- Class of building..... Material of existing walls..... Exterior framework.....  
(Wood or Steel)

Describe briefly and fully all proposed construction and work:

Interior Tile Work

Fill in Application on other Side and Sign Statement

(OVER)

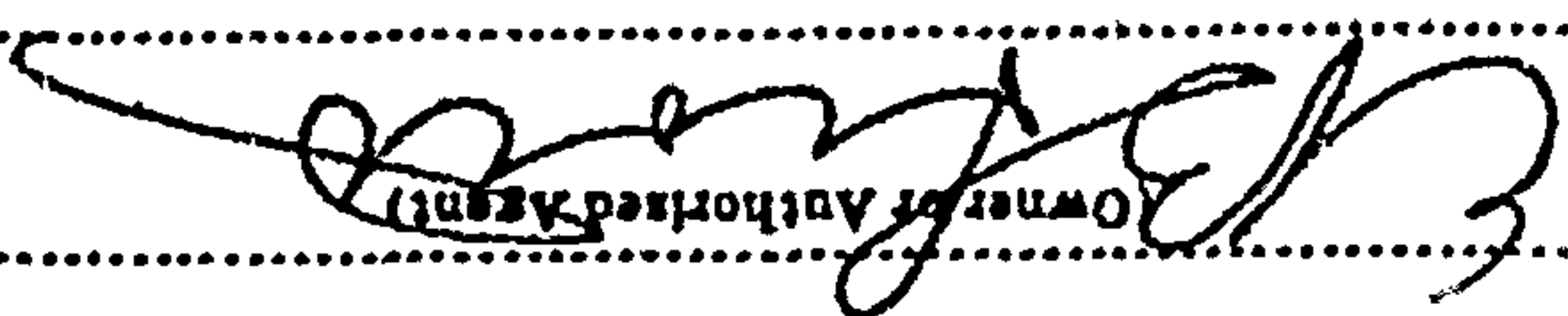
PERMIT NO.  26764	FOR DEPARTMENT USE ONLY				Fee.....  Stamp here when Permit is issued  AUG 12 1937
	Plans and Specifications checked	Zone	Fire District No.		
	Corrections verified	Bldg. Line	Street Widening		
	Plans, Specifications and Applications rechecked and approved	Application checked and approved Fence 8/17/37 SPRINKLER Required Valuation Included Specified Yes-No		Inspector B. M. Smith - 13	
PLANS	For Plans See	Filed with			



PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition.....x.....Size of Lot.....x.....Number of Stories when complete.....  
Material of Foundation.....Width of Footing.....Depth of footing below ground.....  
Width Foundation Wall.....Size of Redwood Sill.....x.....Material Exterior Walls.....  
Size of Exterior Studs.....x.....Size of Interior Bearing Studs.....x.....  
Joists: First Floor.....x.....Second Floor.....x.....Rafters.....x.....Roofing Material.....  
I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State Laws.

Sign Here.....  
By.....  


FOR DEPARTMENT USE ONLY			
Application .....	Fire District.....	Bldg. Line .....	Termite Inspection.....
Construction.....	Zoning .....	Street Widening .....	Forced Draft Ventil.....

(1) REINFORCED CONCRETE  
Barrels of Cement.....  
Tons of Reinforcing Steel.....  
(2) The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from  
Street.....  
Sign Here.....  
(Owner or Authorized Agent)

(3) No required windows will be obstructed.  
Sign Here.....  
(Owner or Authorized Agent)  
(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.  
Sign Here.....  
(Owner or Authorized Agent)

REMARKS: .....



3

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

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Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot.....

Tract.....

Present location of building } 4065 1/2 & 65 3/4 Oakwood Ave.  
(House Number and Street)  
New location of building }  
(House Number and Street)  
Between what cross streets }  
Approved by City Engineer.  
Deputy.

1. Purpose of PRESENT building.....Residence.....Families.....Rooms.....  
(Store, Residence, Apartment House, Hotel, or any other purpose)

2. Use of building AFTER alteration or moving.....Families.....Rooms.....

3. Owner (Print Name).....Esther Schwalmer.....Phone.....

4. Owner's Address.....4065 1/2 & 65 3/4 Oakwood Ave.....

5. Certificated Architect.....None.....State License No.....Phone.....

6. Licensed Engineer.....None.....State License No.....Phone.....

7. Contractor.....E B Scott.....State License No. 3694.....Phone.....

8. Contractor's Address.....822 No La Brea Ave.....

9. VALUATION OF PROPOSED WORK {Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon.} \$.....Tile Setting Ord. \$ 1.00  
Contractors

10. State how many buildings NOW } on lot and give use of each. } (Residence, Hotel, Apartment House, or any other purpose)

11. Size of existing building.....x.....Number of stories high.....Height to highest point.....

12. Class of building.....D.....Material of existing walls.....Exterior framework.....  
(Wood or Steel)

Describe briefly and fully all proposed construction and work:

Interior Tile Work

Fill in Application on other Side and Sign Statement

(OVER)

PERMIT NO.  29017  PLANS  Rec'd.....	FOR DEPARTMENT USE ONLY				Fee.....  Stamp here when Permit is issued  SEP -1 1937  Inspector 1937-1-13
	Plans and Specifications checked	Zone	Fire District No.		
	Corrections verified	Bldg. Line	Street Widening		
	Plans, Specifications and Applications rechecked and approved	Application checked and approved 8/2-1/37 Clerk			
	For Plans Fee	Filed with	Required Valuation Included	Specified Yes-No	

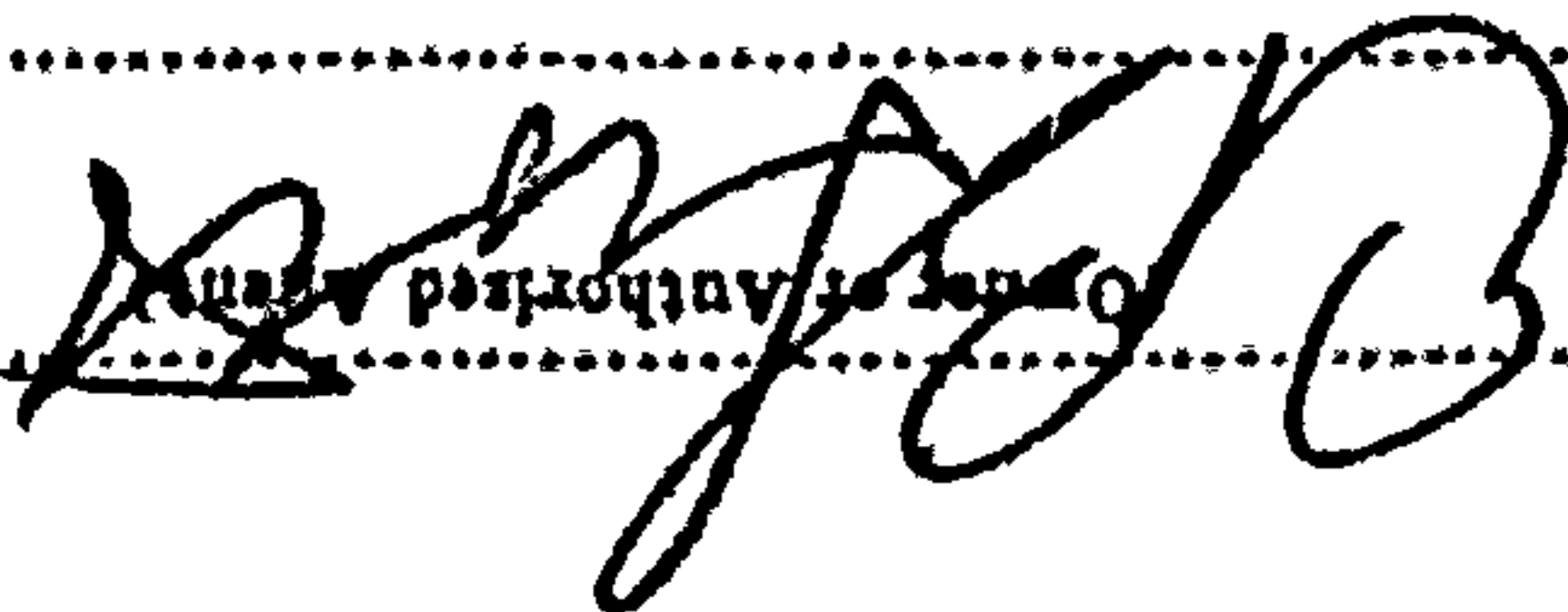


PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition.....x.....Size of Lot.....x.....Number of Stories when complete.....  
Material of Foundation.....Width of Footing.....Depth of footing below ground.....  
Width Foundation Wall.....Size of Redwood Sill.....Material Exterior Walls.....  
Size of Exterior Studs.....Size of Interior Bearing Studs.....x.....  
Joists: First Floor.....x.....Second Floor.....x.....Rafter.....x.....Roofing Material.....  
I have carefully examined and read both sides of this completed Application and know the same is true and correct and  
hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be  
complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform  
to all of the provisions of the Building Ordinances and State laws.

Sign Here

By 

By

FOR DEPARTMENT USE ONLY			
Application .....	Fire District.....	Bldg. Line .....	Street Widening .....
Construction.....	Zoning .....	Forced Draft Ventil.....	Termite Inspection.....

(1) REINFORCED CONCRETE Barrels of Cement..... Tons of Reinforcing Steel.....	(2) The building (and, or, addition) referred to in this Appli- cation is, or will be when moved, more than 100 feet from Street..... Sign Here..... (Owner or Authorized Agent)	(3) No required windows will be ob- structed. Sign Here..... (Owner or Authorized Agent)	(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width. Sign Here..... (Owner or Authorized Agent)
--	---	--	--

REMARKS:



3

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot.....

Tract.....

Present location of building } 4061 1/2 and 4063 Oakwood Avenue  
(House Number and Street)

New location of building }  
(House Number and Street)

Between what cross streets } New Hampshire and Hilcothrops

Approved by  
City Engineer.

Deputy.

1. Purpose of PRESENT building..... Residence..... Families..... 2..... Rooms..... 10.....  
(Store, Residence, Apartment House, Hotel, or any other purpose)

2. Use of building AFTER alteration or moving..... Residence..... Families..... 2..... Rooms..... 13.....

3. Owner (Print Name)..... HAROLD SCHWIMER..... Phone..... OL 4884

4. Owner's Address..... 4063 OAKWOOD AVENUE

5. Certificated Architect..... None..... State License No. .... Phone.....

6. Licensed Engineer..... None..... State License No. .... Phone.....

7. Contractor..... None..... State License No. .... Phone.....

8. Contractor's Address..... None.....

9. VALUATION OF PROPOSED WORK..... \$ 200.00  
Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon.

10. State how many buildings NOW } 8 RESIDENCE  
on lot and give use of each. (Residence, Hotel, Apartment House, or any other purpose)

11. Size of existing building 50' x 25' 2" Number of stories high..... 2..... Height to highest point 21'.....

12. Class of building..... D..... Material of existing walls STUCCO Exterior framework..... WOOD  
(Wood or Steel)

Describe briefly and fully all proposed construction and work:

Add a Bedroom and a bathroom on second floor, put in 3 new windows in old Bedroom put up a back stairway on outside of house. The above to be done to both sides.

Fill in Application on other Side and Sign Statement

(OVER)

<p>PERMIT NO. 29960</p> <p>PLANS</p> <p>Rec'd</p>	<p>FOR DEPARTMENT USE ONLY 4579</p>			<p>Fee..... 3.50</p> <p>Stamp here when Permit is issued</p> <p>SEP 10 1937</p> <p>Inspector.....</p>
	<p>Plans and Specifications checked.....</p> <p>Emley 8/37</p>	<p>Zone R4</p>	<p>Fire District No. 710</p>	
	<p>Corrections verified.....</p> <p>Emley 10/37</p>	<p>Bldg. Line 15' Ft.</p>	<p>Street Widening 100 Ft.</p>	
	<p>Plans, Specifications and Applications rechecked and approved.....</p> <p>Emley</p>	<p>Application checked and approved.....</p> <p>Emley 10-37</p>		
<p>For Plans See.....</p>	<p>Filed with.....</p>	<p>SPRINKLER.....</p>	<p>Valuation included.....</p>	<p>Specified.....</p>



PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition 2' 4" x 7' 6" Size of Lot 100 x 200 Number of Stories when complete 2

Material of Foundation Concrete Width of Footing 16" Depth of footing below ground 12"

Width Foundation Wall 8" Size of Redwood Sill 2" Material Exterior Walls 5" Stone

Size of Exterior Studs 2" x 4" Size of Interior Bearing Studs 2" x 4" Roofing Material Composition

Joists: First Floor 2" x 8" Second Floor 2" x 8" Rafter 2" x 8" Roofing Material Composition

I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State Laws.

Sign Here

(Owner or Authorized Agent)

By

FOR DEPARTMENT USE ONLY

Application	Fire District	Bldg. Line 15' 7"	Termite Inspection
Construction	Zoning	Street Widening	Forced Draft Ventil.

REINFORCED CONCRETE

Barrels of Cement  
Tons of Reinforcing Steel

(2)

The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from Street

Sign Here

(Owner or Authorized Agent)

(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.

Sign Here

(Owner or Authorized Agent)

REMARKS:

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
BUILDING LINE AGREEMENT

I hereby agree that the building and every portion thereof referred to in this application will be set back from the street properly line not less than feet except that the following projections may extend into such set-back space, as follows:

Cornices, canopies and eaves 2 ft. 6 in.

Landing or terrace, without roof, extending to first floor level only 6 ft

Open railing, not over 38 in. high, around such landing or terrace 6 ft

Five Escapes 4 ft. 6 in.

I hereby agree to the above conditions and accept the permit to do the work mentioned in this application in accordance therewith.

(Signed)

Owner or Authorized Agent

Blk. Form 60

I hereby certify that there is no general contractor for this building or work.

(Signed)



3

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot..... Lot.....

Tract..... Tract.....

Present location of building } 4061 1/2 - 4063 Oakwood Ave., Los Angeles  
(House Number and Street)

New location of building }  
(House Number and Street)

Between what cross streets }  
Deputy.

Approved by  
City Engineer.

1. Purpose of PRESENT building Duplex residence Families..... Rooms.....  
(Store, Residence, Apartment House, Hotel, or any other purpose)

2. Use of building AFTER alteration or moving..... Families..... Rooms.....

3. OWNER (Print Name) Schwimmer Phone.....

4. Owner's Address 4061 1/2 Oakwood Ave.

5. Certificated Architect..... State License No..... Phone.....

6. Licensed Engineer..... State License No..... Phone.....

7. Contractor E. B. Scott State License No. 3694 Phone GR 2847

8. Contractor's Address 822 N. La Brea Ave.

9. VALUATION OF PROPOSED WORK {Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon} Tile Setting Ord. Fee \$1.00  
Contractors

10. State how many buildings NOW on lot and give use of each }  
(Residence, Hotel, Apartment House, or any other purpose) No.....

11. Size of existing building..... Number of stories high..... Height to highest point.....

12. Class of building..... Material of existing walls..... Exterior framework.....  
(Wood or Steel)

Describe briefly and fully all proposed construction and work:

interior tile work.

Fill in Application on other Side and Sign Statement

(OVER)

PERMIT NO.  38483	FOR DEPARTMENT USE ONLY				Fee  Stamp here when Permit is issued  NOV 24 1937
	Plans and Specifications checked	Zone	Fire District		
	Corrections verified	Bldg. Line	Street Widening		
	Plans, Specifications and Applications rechecked and approved	Application checked and approved			
PLANS	For Plans See	Filed with	11/23/37	Inspector	
			Required Valuation Included	Specified Fee—No	



PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition.....X.....Size of Lot.....X.....Number of Stories when complete.....  
Material of Foundation.....Width of Footing.....Depth of footing below ground.....  
Width Foundation Wall.....Size of Redwood Sill.....Material Exterior Walls.....  
Size of Exterior Studs.....Size of Interior Bearing Studs.....  
Joists: First Floor.....X.....Second Floor.....X.....Rafter.....X.....Roofing Material.....  
I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State laws.

Sign Here.....  
By.....  
(Owner or Authorized Agent)

FOR DEPARTMENT USE ONLY			
Application.....	Fire District.....	Bldg. Line.....	Permit Inspection.....
Construction.....	Zoning.....	Street Widening.....	Forced Draft Ventil.....

(1) REINFORCED CONCRETE  
Barrels of Cement.....  
Tons of Reinforcing Steel.....  
Sign Here.....  
(2) The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from Street.....  
(Owner or Authorized Agent)

(3) No required windows will be obstructed.  
Sign Here.....  
(Owner or Authorized Agent)

(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.  
Sign Here.....  
(Owner or Authorized Agent)

REMARKS:

RECEIVED-BLDG. & SAFETY

CASH ☐ CASHIERS CHECK ☐  
CHECK ☐ MONEY ORDER ☐

NOV 23 1937

Opened By.....  
Checked By.....



3

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
BUILDING DIVISION

Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot..... Lot.....

Tract..... Tract.....

Present location of building } 4059 1/2 Oakwood Ave.  
(House Number and Street)

New location of building }  
(House Number and Street)

Between what cross streets } New Hampshire & Heliotrope  
Deputy.

1. Purpose of PRESENT building RESIDENCE Families 2 Rooms 5  
(Store, Residence, Apartment House, Hotel, or any other purpose)

2. Use of building AFTER alteration or moving RESIDENCE Families 2 Rooms 5

3. Owner (Print Name) HAROLD SCHWIMER Phone OL 4884

4. Owner's Address 4063 OAKWOOD AVE.

5. Certificated Architect..... State License No..... Phone.....

6. Licensed Engineer..... NONE State License No..... Phone.....

7. Contractor..... State License No..... Phone.....

8. Contractor's Address.....

9. VALUATION OF PROPOSED WORK (including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon) \$ 2200

10. State how many buildings NOW on lot and give use of each. 10 1 frame house  
(Residence, Hotel, Apartment House, or any other purpose)

11. Size of existing building 32' x 30' Number of stories high 1 Height to highest point 15'

12. Class of building..... Material of existing walls STUCCO Exterior framework WOOD  
(Wood or Steel)

Describe briefly and fully all proposed construction and work:

Built a lean to to the side of the Building 8' long 2' wide & 6' high

Fill in Application on other Side and Sign Statement

(OVER)

PERMIT NO.  9558	FOR DEPARTMENT USE ONLY				Fee.....  Stamp here when Permit is issued  MAR 14 1933
	Plans and Specifications checked	Zone	Fire District	No.	
	Corrections verified	Bldg. Line	Street Widening	Ft.	
	Plans, Specifications and Applications rechecked and approved	Application checked and approved			
PLANS	For Plans See	Filed with	SPRINKLER	Required Valuation Included	Specified Yes-No
Rec'd.					Inspector L. O. Hayes



PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition 8 x 2  
Size of Lot 100 x 100  
Number of Stories when complete 1

Material of Foundation Concrete  
Width of Foundation Wall 2  
Depth of footing below ground 2

Size of Redwood Sill 2 x 6  
Material Exterior Walls Stone

Size of Exterior Studs 2 x 4  
Size of Interior Bearing Studs 2 x 4

Roofing Material Rafters 2 x 4

Joists: First Floor 2 x 6  
Second Floor 2 x 6  
I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State Laws.

Sign Here (Owner or Authorized Agent)

By

FOR DEPARTMENT USE ONLY			
Application	Fire District	Bldg. Lb	Street Widening
Construction	Zoning	Forced Draft Ventil.	Termite Inspection

(1) REINFORCED CONCRETE

Barrels of Cement  
Tons of Reinforcing Steel

(3) No required windows will be obstructed.

Sign Here (Owner or Authorized Agent)

(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.

Sign Here (Owner or Authorized Agent)

(2) The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from Street

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY

BUILDING LINE AGREEMENT

I hereby agree that the building and every portion thereof referred to in this application will be set back from the street property line not less than 15 feet, except that the following projections may extend into such set-back space, as follows:

Cornices, canopies and eaves 2 ft. 6 in.

Landing or terrace, without roof, extending to first floor level only 6 ft.

Open railing, not over 33 in. high, around such landing or terrace 6 ft.

Fire Escapes 4 ft. 6 in.

I hereby agree to the above conditions and accept the permit to do the work mentioned in this application in accordance therewith.

(Signed)

Owner or Authorized Agent

Bldg. Form 60



3

CITY OF LOS ANGELES  
DEPARTMENT OF BUILDING AND SAFETY  
BUILDING DIVISION

## Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

REMOVED FROM

REMOVED TO

Lot..... Lot.....

Tract..... Tract.....

Present location  
of buildingNew location  
of buildingBetween what  
cross streets4059 3/4 and 4059 1/2  
Oakwood Ave.  
4061 1/4 - 4061 1/2 - 4059 3/4 - 4059 1/2  
(House Number and Street)Approved by  
City Engineer

Deputy.

1. Purpose of PRESENT building... Residence Families... 2 Rooms... 5  
(Store, Residence, Apartment House, Hotel, or any other purpose)
2. Use of building AFTER alteration or moving... Residence Families... 4 Rooms... 11
3. Owner (Print Name)... Harold Schwimer Phone... 02 4884
4. Owner's Address... 4063 Oakwood Ave.
5. Certificated Architect... NONE State License No. .... Phone..
6. Licensed Engineer... NONE State License No. .... Phone..
7. Contractor... NONE State License No. .... Phone..
8. Contractor's Address... L.P.
9. VALUATION OF PROPOSED WORK {Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon.} \$ 200
10. State how many buildings NOW } 10 Buildings 3 one garages Residences  
on lot and give use of each. (Residence, Hotel, Apartment House, any other purpose)
11. Size of existing building 24'3" x 32'2" Number of stories high... 1 Height to highest point... about 12'
12. Class of building... B Material of existing walls Stucco Exterior framework WOOD  
(Wood or Steel)

Describe briefly and fully all proposed construction and work:

Will add to above building a bedroom  
10'5" x 14'8" and correct plumbing (2 family  
residence # 4061 + 4061 1/4)

Fill in Application on other Side and Sign Statement

(OVER)

PERMIT NO.		FOR DEPARTMENT USE ONLY				Fee	
43934	Plans and Specifications checked	Zone	Fire District		Stamp here when Permit is issued		
	Corrections verified	Bldg. Line	No. 10				
	Plans, Specifications and Appl. to be rechecked and approved	Ft.	St. W.		ULI 25 1940		
	Application checked and approved	Clerk					
PLANS	For Plans See	Filed with	SPRINKLER		Inspector		
Rec'd 10/24/40			Valuation Included		C.A. Kelso		



PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition, 10'5" x 14'6" Size of Lot, 100' x 200' Number of Stories when complete, 1  
Material of Foundation, Concrete, Width of Footing, 12" Depth of Footing below Ground, 6"  
Width Foundation Wall, 6" Size of Redwood Sill, 2" x 6" Material Exterior Walls, Stucco  
Size of Exterior Studs, 2" x 4" Size of Interior Bearing Studs, 2" x 4"  
Joists: First Floor, 2" x 6" Second Floor, 2" x 4" Rafters, 2" x 4" Roofing Material,  
I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State Laws.  
Sign Here, *Harold Johnson*  
(Owner or Authorized Agent)

By

FOR DEPARTMENT USE ONLY			
Application	Fire District	Bldg. Line	Termite Inspection
Construction	Zoning	Street Widening	Forced Draft Ventil.

(1) REINFORCED CONCRETE Barrels of Cement Tons of Reinforcing Steel	(2) The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from Street	(3) No required windows will be obstructed.	(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.
Sign Here (Owner or Authorized Agent)	Sign Here (Owner or Authorized Agent)	Sign Here (Owner or Authorized Agent)	Sign Here (Owner or Authorized Agent)

REMARKS:



3

## CITY OF LOS ANGELES

## DEPARTMENT OF BUILDING AND SAFETY

## BUILDING DIVISION

## Application to Alter, Repair, Move or Demolish

To the Board of Building and Safety Commissioners of the City of Los Angeles:

Application is hereby made to the Board of Building and Safety Commissioners of the City of Los Angeles, through the office of the Superintendent of Building, for a building permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which are hereby agreed to by the undersigned applicant and which shall be deemed conditions entering into the exercise of the permit:

First: That the permit does not grant any right or privilege to erect any building or other structure therein described, or any portion thereof, upon any street, alley or other public place or portion thereof.

Second: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Los Angeles.

Third: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

## REMOVED FROM

## REMOVED TO

Lot.....

Tract.....

Present location  
of buildingNew location  
of buildingBetween what  
cross streets

Lot.....

Tract.....

Approved by  
City Engineer

Deputy.

1. Purpose of PRESENT building..... Residence Families..... 2 Rooms..... 5  
(Store, Residence, Apartment House, Hotel, or any other purpose)2. Use of building AFTER alteration or moving..... Residence Families..... 4 Rooms..... 113. OWNER (Print Name)..... Harold Schwimer Phone..... OL 48844. Owner's Address..... 4063 Oakwood Ave

5. Certificated Architect..... State License No. .... Phone.....

6. Licensed Engineer..... State License No. .... Phone.....

7. Contractor..... State License No. .... Phone.....

8. Contractor's Address.....

9. VALUATION OF PROPOSED WORK {Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and/or elevator equipment therein or thereon.} \$ 20010. State how many buildings NOW } 10 Buildings 3 garages 7 residences  
on lot and give use of each. {Residence, Hotel, Apartment House, or any other purpose}11. Size of existing building 24'3" x 32'2" Number of stories high..... 1 Height to highest point..... about 12'12. Class of building..... D Material of existing walls..... Stucco Exterior framework..... WOOD  
(Wood or Steel)

Describe briefly and fully all proposed construction and work:

Will add to above building a  
bedroom 10'5" x 14'0" and connect  
exterior (2 family residence # 4063 & 634)

Fill in Application on other Side and Sign Statement

(OVER)

FOR DEPARTMENT USE ONLY				Fee
PERMIT NO. <u>43936</u>	Plans and Specifications checked <u>William</u>	Zone <u>R4</u>	Fire District <u>200</u>	Stamp here when Permit is issued  <u>UL 29 1940</u>
	Corrections verified <u>William</u>	Bldg. Use <u>Res</u>	Street Widening <u>No</u>	
	Plans, Specifications and App'ls to be rechecked and approved <u>William</u>	Application checked and approved <u>10/29/40</u>		
PLANS Rec'd <u>10/29/40</u>	For Plans See <u>William</u>	Filed with <u>William</u>	Required Valuation Included <u>SPRINKLER</u>	Inspector <u>GA Kelo 13</u>



PLANS, SPECIFICATIONS, and other data must be filed if required.

NEW CONSTRUCTION

Size of Addition 10'5" x 14'0" Size of Lot 40' x 200' Number of Stories when complete 1 1/2'  
Material of Foundation Concrete Width of Footing 12" Depth of footing below ground 6'  
Width Foundation Wall 6" Size of Redwood Sill 2 x 6 Material Exterior Walls Stucco  
Size of Exterior Studs 2 x 4 Size of Interior Bearing Studs 2 x 4  
Joists: First Floor 2 x 6 Second Floor 2 x 4 Roofing Material Composition  
I have carefully examined and read both sides of this completed Application and know the same is true and correct and hereby certify and agree, if a Permit is issued, that all the provisions of the Building Ordinances and State Laws will be complied with whether herein specified or not; also certify that plans and specifications, if required to be filed, will conform to all of the provisions of the Building Ordinances and State Laws.

Sign Here *Stanley Schurmer*  
(Owner or Authorized Agent)

By .....

FOR DEPARTMENT USE ONLY			
Application <i>AS</i>	Fire District	Bldg. Line	Termite Inspection
Construction	Zoning	Street Widening	Forced Draft Ventil.

(1) REINFORCED CONCRETE  
Barrels of Cement  
Tons of Reinforcing Steel  
The building (and, or, addition) referred to in this Application is, or will be when moved, more than 100 feet from Street.  
Sign Here.....  
(Owner or Authorized Agent)

(3) No required windows will be obstructed.  
Sign Here.....  
(Owner or Authorized Agent)  
(4) There will be an unobstructed passageway at least ten (10) feet wide, extending from any dwelling on lot to a Public Street or Public Alley at least 10 feet in width.  
Sign Here.....  
(Owner or Authorized Agent)

REMARKS:



3

DEPARTMENT OF BUILDING AND SAFETY

BUILDING DIVISION

APPLICATION TO ALTER, REPAIR, MOVE OR DEMOLISH  
A BUILDING OF TYPE

REMOVED FROM		REMOVED TO	
Lot		Lot	
Tract		Tract	
Present location of building	4059 - 4059 1/2 Oakwood Avenue, Los Angeles, California (House Number and Street)		
New location of building	4059 - 4059 1/2 Oakwood Avenue, Los Angeles, California (House Number and Street)		
Between what cross streets	Hallirotre Avenue and Vermont Avenue, Los Angeles, Calif.		
Approved by City Engineer			
Deputy			

USE INK OR INDELIBLE PENCIL

- Use of existing building Dwelling Families 2 Rooms   
(Dwelling, Apartment House, Hotel or other purpose)
- State how long building has been used for present occupancy Approximately 20 years
- Use of building AFTER alteration or moving Court Dwelling Families 2 Rooms
- Owner (Print Name) Mr. S. Schwimer Phone
- Owner's Address 4063 Oakwood Avenue P. O. Los Angeles, California
- Certificated Architect  State License No.  Phone
- Licensed Engineer  State License No.  Phone
- Contractor Angelus Termites Control State License No. 68965 Phone FA-5912
- Contractor's Address 3571 Beverly Boulevard, Los Angeles, California
- VALUATION OF PROPOSED WORK \$ 300.00  
(Including all labor and material and all permanent heating, heating, ventilating, water supply plumbing, fire sprinkler, electrical wiring and elevator equipment thereof or thereon)
- State how many buildings NOW 5 buildings - dwellings  
on lot and give use of each. (Dwelling, Apartment House, Hotel or other purpose)
- Size of existing building x Number of stories high  Height to highest point
- Material Exterior Walls Stucco Exterior Framework Wood  
(Wood, Steel or Masonry) (Wood or Steel)
- Describe briefly all proposed construction and work:  
Replace all wood porches with concrete. Seal off porches with concrete.  
Fetch damaged stucco. Repair fungus infected sub-flooring and floor supports.  
Clean out underneath building, lower dirt and treat for Subterranean Termites infestation.

Fill in Application on other Side and Sign Statement 4579 (Over)

FOR DEPARTMENT USE ONLY					
PERMIT No <u>LA 10358</u>	Inside Lot	Key Lot	Lot Size	FL. rear alley	Close
	Corner Lot	Corner Lot Keved		FL. side alley	
	Plans and Specifications checked		Zone	Fire District	
	Construction verified		Mag. Line	Street Widening	
PLANS	Plans, Specifications and Application checked and approved		FL	FL	
	For Plans fee		Application checked and approved		
	Filed with		Continuous Inspection	SPRINKLER Specified Required	Valuation included Yes - No
Stamp here when Permit is issued <u>AFR-2 1948</u>					



PLANS, SPECIFICATIONS, and other data must be filed if required.

## NEW CONSTRUCTION

15. Size of Addition x Size of Lot x Number of Stories when complete       

16. Type of Roofing       

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here ANGELUS TERMITE CONTROL

(Owner or Authorized Agent)

By Charles E. Johnson  
Asst. Mgr.

### FOR DEPARTMENT USE ONLY

(a) Footing: Width <u>      </u> Depth in Ground <u>      </u> Width of Wall <u>      </u>		
(b) Size of Studs <u>      </u> Material of Floor <u>      </u>		
(c) Size of Floor Joists <u>      </u> Size of Rafters <u>      </u>		
(1) PLAN CHECKING Receipt No. <u>      </u> Valuation \$ <u>      </u> Fee Paid \$ <u>      </u>	(2) REINFORCED CONCRETE Barrels of Cement <u>      </u> Tons of Reinforcing Steel <u>      </u>	(3) The building referred to in this Application will be more than 100 feet from <u>      </u> Street Sign here <u>      </u> (Owner or Authorized Agent)

REMARKS:

RECEIVED  
1-10-48  
CHECKED  
H. J. JORDAN  
C. J. J.



## DEPARTMENT OF BUILDING AND SAFETY

## BUILDING DIVISION

APPLICATION TO ALTER, REPAIR, MOVE OR DEMOLISH  
A BUILDING OF TYPE

REMOVED FROM		REMOVED TO	
Lot		Lot	
Tract		Tract	
Present location of building	4065 - 4065 1/2 Oakwood Avenue, Los Angeles, California (House Number and Street)		
New location of building	4065 - 4065 1/2 Oakwood Avenue, Los Angeles, California (House Number and Street)		
Between what cross streets	Halliottrop Avenue and Vermont Avenue, Los Angeles, Calif.		

Approved by  
City Engineer.

Deputy.

## USE INK OR INDELIBLE PENCIL

- Use of existing building Dwelling Families 2 Rooms 4  
(Store, Dwelling, Apartment House, Hotel or other purpose)
- State how long building has been used for present occupancy Approximately 20 years
- Use of building AFTER alteration or moving Dwelling Families 2 Rooms
- Owner (Print Name) Mr. S. Schwimer Phone
- Owner's Address 4063 Oakwood Avenue P. O. Los Angeles, Calif.
- Certificated Architect  State License No.  Phone
- Licensed Engineer  State License No.  Phone
- Contractor Angelina Territo Control State License No. 66965 Phone FA-5812
- Contractor's Address 3571 Beverly Boulevard, Los Angeles, California
- VALUATION OF PROPOSED WORK \$ 300.00  
(Including all labor and material and all permanent lighting, heating, venting, water supply, plumbing, fire sprinkler, electrical wiring and elevators, equipment owned by owner)
- State how many buildings NOW on lot and give use of each 5 Building - Dwellings  
(Store, Dwelling, Apartment House, Hotel or other purpose)
- Size of existing building x Number of stories high Height to highest point
- Material Exterior Walls Stucco Exterior framework Wood  
(Wood, Steel or Masonry) (Wood or Steel)
- Describe briefly all proposed construction and work:  
Replace all wood porches with concrete. Seal off porches with concrete.  
Patch damaged stucco. Repair fungus infected sub-flooring and floor supports.  
Clean out underneath buildings, lower dirt and treat for Subterranean Termites infestation.

Fill in Application on other Side and Sign Statement

45792(Over)

## FOR DEPARTMENT USE ONLY

PERMIT No. <b>LA</b> <b>10359</b>	Inside Lot	Key Lot	Lot Area	FL rear alley	Clock	Stamp here when Permit is issued  <b>AFH-2 1948</b> Inspector <i>Fry</i>
	Corner Lot	Corner Lot Moved		FL side alley		
	Plans and Specifications checked		Room	Fire District	No.	
	Corrections required		Wdg. Line	Street Widening	FL	
PLANS	Plans, Specifications and Application rechecked and approved		Application checked and approved		FL	Valuation Included Yes <u></u> No <u></u>
	For Plans Fee		Paid with		Continuous Inspection	
					SPRINKLER Specified Required	



PLANS, SPECIFICATIONS, and other data must be filed if required.

## NEW CONSTRUCTION

15. Size of Addition \_\_\_\_\_ x \_\_\_\_\_ Size of Lot \_\_\_\_\_ x \_\_\_\_\_ Number of Stories when complete \_\_\_\_\_

16. Type of Roofing \_\_\_\_\_

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

So here

# ANGEL'S TRULING CONTROL

(C) Right of Attorney and Agent:

**BY**

Assistant Manager

**FOR DEPARTMENT USE ONLY**

(a) Footing: Width.....Depth in Ground.....Width of Wall

(b) Size of Spills.....Material of Floor.....

(c) Size of Floor Joists.....x..... Size of Rafter.....x.....

## (1) PLAN CHECKING

(2) **REINFORCED CONCRETE**

(3) The building referred to in this Application will be more than 100 feet from Street

Receipt No. \_\_\_\_\_

Barrels of Cement.....

Valuation \$

### Time of Offense

Fee Paid \$

Sign here \_\_\_\_\_  
 (Owner or Authorized Agent)

**REMARKS:**

**F**

END CLASSIFIED

1948

~~SECRET~~ ~~CONFIDENTIAL~~

100



3

DEPARTMENT OF BUILDING AND SAFETY

BUILDING DIVISION

APPLICATION TO ALTER, REPAIR, MOVE OR DEMOLISH  
A BUILDING OF TYPE

REMOVED FROM		REMOVED TO	
Lot		Lot	
Tract		Tract	
Present location of building	4063 1/2 - 4065 3/4 Oakwood Avenue, Los Angeles, California (House Number and Street)		
New location of building	4063 1/2 - 4065 3/4 Oakwood Avenue, Los Angeles, California (House Number and Street)		
Between what cross streets	Between Heliotrope Avenue and Vermont Avenue, Los Angeles, California		

Approved by  
City Engineer.  
  
Deputy.

USE INK OR INDELIBLE PENCIL

- Use of existing building Dwelling Families 4 Rooms   
(House, Dwelling, Apartment House, Hotel or other purpose)
- State how long building has been used for present occupancy Approximately 20 years
- Use of building AFTER alteration or moving Dwelling Families 4 Rooms
- Owner (Print Name) Mr. S. Schwimer Phone
- Owner's Address 4063 Oakwood Avenue P. O. Los Angeles, California
- Certificated Architect  State License No.  Phone
- Licensed Engineer  State License No.  Phone
- Contractor Angelus Termites Control State License No. 65965 Phone PA-5912
- Contractor's Address 3571 Beverly Boulevard, Los Angeles, California

- VALUATION OF PROPOSED WORK 2,400.00  
(Including all labor and material and all permanent settling, bearing, ventilating, water supply, plumbing, fire sprinkler, electrical wiring and elevator equipment therein or thereon)
- State how many buildings NOW on lot and give use of each. 5 Buildings - Dwellings  
(House, Dwelling, Apartment House, Hotel or other purpose)
- Size of existing building x Number of stories high  Height to highest point
- Material Exterior Walls Stucco Exterior framework Wood  
(Wood, Steel or Masonry) (Wood or Steel)
- Describe briefly all proposed construction and work:  
Replace all wood porches with concrete. Seal off porches with concrete.  
Patch damaged stucco. Repair Fungus infected sub-flooring and floor supports.  
Clean out underneath buildings, lower dirt and treat for Subterranean Termites infestation.

Fill in Application on other Side and Sign Statement 4579 (Over)

FOR DEPARTMENT USE ONLY					
PERMIT No.  <b>LA 10360</b>	Inside Lot	Key Lot	Lot Area	FL rear alley	FL side alley
	Corner Lot	Corner Lot Keyed			
	Plans and Specifications checked		Zone <u>R4</u>	Fire District	
	Corrections verified		Mag. Line	Street Widening	
PLANS	Plans, Specifications and Application rechecked and approved		Application checked and approved		Stamp here when Permit is issued  <b>APR - 2 1948</b>
	For Plans See		Inspector		
	Filed with		Valuation Included Yes <u></u> No <u></u>		



PLANS, SPECIFICATIONS, and other data must be filed if required.

## NEW CONSTRUCTION

15. Size of Addition ☒ Size of Lot ☒ Number of Stories when complete \_\_\_\_\_

16. Type of Roofing \_\_\_\_\_

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here \_\_\_\_\_

AUGUSTUS TERNITE CONTROL

(Owner or Authorized Agent)

By \_\_\_\_\_

Assistant Manager

### FOR DEPARTMENT USE ONLY

(a) Footing: Width _____ Depth in Ground _____ Width of Wall _____		
(b) Size of Studs _____ Material of Floor _____		
(c) Size of Floor Joists _____ Size of Rafters _____		
(1) PLAN CHECKING Receipt No. _____ Valuation \$ _____ Fee Paid \$ _____	(2) REINFORCED CONCRETE Barrels of Cement _____ Tons of Reinforcing Steel _____	(3) The building referred to in this Application will be more than 100 feet from _____ Street Sign here _____ (Owner or Authorized Agent)

REMARKS: \_\_\_\_\_

RECEIVED  
1938  
CHECKED  
RECORDED



3

APPLICATION TO ALTER, REPAIR, MOVE OR DEMOLISH  
A BUILDING OF TYPE

REMOVED FROM		REMOVED TO	
Lot		Lot	
Tract		Tract	
Present location of building	4061 1/2 - 4063 3/4 Oakwood Avenue, Los Angeles, Calif. <small>(House Number and Street)</small>		
New location of building	4061 1/2 - 4063 3/4 Oakwood Avenue, Los Angeles, Calif. <small>(House Number and Street)</small>		
Between what cross streets	Heliotrope Avenue and Vermont Avenue, Los Angeles, Calif.		

Approved by  
City Engineer

Deputy

USE INK OR INDELIBLE PENCIL

- Use of existing building Dwelling Families 4 Rooms   
(Store, Dwelling, Apartment House, Hotel or other purpose)
- State how long building has been used for present occupancy Approximately 20 years
- Use of building AFTER alteration or moving Dwelling Families 4 Rooms
- Owner (Print Name) Mr. S. Schwimer Phone
- Owner's Address 4063 Oakwood Avenue P. O. Los Angeles, Calif.
- Certificated Architect  State License No.  Phone
- Licensed Engineer  State License No.  Phone
- Contractor Angelus Termite Control State License No. 68965 Phone FA-5812
- Contractor's Address 3571 Beverly Boulevard, Los Angeles, California
- VALUATION OF PROPOSED WORK 400.00  
(Including all labor and material and all permanent fixtures, heating, ventilation, water supply, plumbing, fire sprinkler, structural steel and elevator equipment thereof or thereof)
- State how many buildings NOW on lot and give use of each 5 Buildings - Dwellings  
(Store, Dwelling, Apartment House, Hotel or other purpose)
- Size of existing building x Number of stories high  Height to highest point
- Material Exterior Walls Stucco Exterior framework Wood  
(Wood, Steel or Masonry) (Wood or Steel)
- Describe briefly all proposed construction and work:  
Replace all wood porches with concrete. Seal off porches with concrete.  
Patch damaged stucco. Repair fungus infected sub-flooring and floor supports.  
Clean out underneath buildings, lower dirt and treat for Subterranean Termite infestation.

Fill in Application on other Side and Sign Statement

4-7-48 (Over)

FOR DEPARTMENT USE ONLY

PERMIT No.  LA  10361	Inside Lot	Key Lot	Lot Size	Pl. Year Bldg	Class	Stamp here when Permit is issued
	Corner Lot	Corner Lot Keyed		Pl. Year Bldg		
PLANS	Plans and Specifications checked		Zone <u>4</u>	Fire District		AFR-2 1348
	Corrections verified		Bldg. Line	Street Widening		
	Plans, Specifications and Application rechecked and approved		Application checked and approved			
	For Plans Rev	Filed with	Confession Inspection	Sprinkler Specified Required	Valuation Included Yes - No	



PLANS, SPECIFICATIONS, and other data must be filed if required.

## NEW CONSTRUCTION

13. Size of Addition x Size of Lot x Number of Stories when complete       

14. Type of Roofing       

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here

ANGELUS TERMITE CONTROL

(Owner or Authorized Agent)

By

Charles E. Johnson

Assistant Manager

### FOR DEPARTMENT USE ONLY

(a) Footing: Width <u>      </u> Depth in Ground <u>      </u> Width of Wall <u>      </u>		
(b) Size of Sinds <u>      </u> Material of Floor <u>      </u>		
(c) Size of Floor Joists <u>      </u> Size of Rafters <u>      </u>		
(1) PLAN CHECKING Receipt No. <u>      </u> Valuation \$ <u>      </u> Fee Paid \$ <u>      </u>	(2) REINFORCED CONCRETE Barrels of Cement <u>      </u> Tons of Reinforcing Steel <u>      </u>	(3) The building referred to in this Application will be more than 100 feet from <u>      </u> Street Sign here <u>      </u> (Owner or Authorized Agent)

REMARKS:

11248  
CHECKED  
H. H. HENDERSON



DEPARTMENT OF BUILDING AND SAFETY

BUILDING DIVISION

APPLICATION TO ALTER, REPAIR, MOVE OR DEMOLISH  
A BUILDING OF TYPE

REMOVED FROM		REMOVED TO	
Lot		Lot	
Tract		Tract	
Present location of building	4059 1/2 - 4061 1/2 Oakwood Avenue, Los Angeles, Calif. (House Number and Street)		
New location of building	4059 1/2 - 4061 1/2 Oakwood Avenue, Los Angeles, Calif. (House Number and Street)		
Between what cross streets	Belmont Avenue and Vermont Avenue, Los Angeles, Calif.		

Approved by  
City Engineer.

Deputy.

USE INK OR INDELIBLE PENCIL

1. Use of existing building Dwelling Families 4 Rooms 4  
(Store, Dwelling, Apartment House, Hotel or other purpose)

2. State how long building has been used for present occupancy Approximately 20 years

3. Use of building AFTER alteration or moving Dwelling Families 4 Rooms 4

4. Owner (Print Name) Mr. S. Schwimer Phone

5. Owner's Address 4063 Oakwood Avenue P. O. Los Angeles, Calif.

6. Certified Architect  State License No.  Phone

7. Licensed Engineer  State License No.  Phone

8. Contractor Angelus Termite Control State License No. 68965 Phone PA-5312

9. Contractor's Address 3572 Beverly Boulevard, Los Angeles, California

10. VALUATION OF PROPOSED WORK \$ 400.00  
(Including all labor and material and all permanent lighting, heating, ventilating, water supply, plumbing, etc. E. e. sprinkler, electrical wiring and equipment thereon or thereon.)

11. State how many buildings NOW on lot and give use of each 5 Buildings - Dwellings  
(Store, Dwelling, Apartment House, Hotel or other purpose)

12. Size of existing building Number of stories high Height to highest point

13. Material Exterior Walls Stucco Exterior Framework Wood  
(Wood, Steel or Masonry) (Wood or Steel)

14. Describe briefly all proposed construction and work:  
Replace all wood porches with concrete. Seal off porches with concrete.  
Fetch damaged stucco. Repair fungus infected sub-flooring and floor supports.  
Clean out underneath buildings, lower dirt and treat for Subterranean Termites infestation.

Fill in Application on other Side and Sign Statement 4-7-9 (Over)

FOR DEPARTMENT USE ONLY

PERMIT No. <b>LA</b> <b>10362</b>	Issue Lot	Key Lot	Lot Size	Pl. rear alley	Clock	Stamp here when Permit is issued.  <b>APR - 2 1948</b>  <i>[Signature]</i>
	Corner Lot	Corner Lot Keyed	Pl. side alley	Fire District	No.	
	Plans and Specifications checked		Blg. Line	Street Widening	Pl.	
	Corrections needed		Application checked and approved		Pl.	
PLANS	Plans, Specifications and Application rechecked and approved.		Inspector		Clerk	Valuation included Yes - No
	For Plans Yes	Filed with	Continuous Inspection	SPRINKLER Specified Required		



PLANS, SPECIFICATIONS, and other data must be filed if required.

## NEW CONSTRUCTION

15. Size of Addition            x            Size of Lot            x            Number of Stories when complete           

14. Type of Roofing.....

I hereby certify that to the best of my knowledge and belief the above application is correct and that this building or construction work will comply with all laws, and that in the doing of the work authorized thereby I will not employ any person in violation of the Labor Code of the State of California relating to Workmen's Compensation Insurance.

Sign here ANGELUS TERNITE CONTROL

(Office of Liaison Agent)

By Charles L. Johnson

Post. Apr.

**FOR DEPARTMENT USE ONLY**

(a) Footing: Width \_\_\_\_\_ Depth in Ground \_\_\_\_\_ Width of Wall \_\_\_\_\_

(b) Size of Sides \_\_\_\_\_ Material of Floor \_\_\_\_\_

(c) Size of Floor Joists \_\_\_\_\_ x \_\_\_\_\_ Size of Rafters \_\_\_\_\_ x \_\_\_\_\_

(1) PLAN CHECKING

**REINFORCED CONCRETE**

(3) The building referred to in this Application will be more than 100 feet from \_\_\_\_\_ Street

Receipt No. \_\_\_\_\_

**Barrels of Cement**.....

**Valuation** \_\_\_\_\_

[illegible]

Fre Paid \$

Sign here \_\_\_\_\_  
(Owner or Authorized Agent)

Owner of Axtford Arms

REMARKS:

**CHECKED**



3

APPLICATION TO ADD-ALTER-REPAIR-DEMOLISH  
AND FOR CERTIFICATE OF OCCUPANCY

CITY OF LOS ANGELES

DEPT. OF BUILDING AND SAFETY

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only. 2. Plot Plan Required on Back of Original.

1. LEGAL DESCR.	LOT 8	BLK. C	TRACT resub. of blk C, et al of Barrows Addn.	CENSUS TRACT 1926
2. PRESENT USE OF BUILDING	(01) dwelling	NEW USE OF BUILDING	(01) same	DIST. MAP 138-197
3. JOB ADDRESS	4055 1/3 Oakwood Ave.			ZONE R-4-2
4. BETWEEN CROSS STREETS	New Hampshire Ave. AND Heliotrope Dr.			FIRE DIST. /
5. OWNER'S NAME	William <del>XXXXX</del> Sousa		PHONE 662-3867	LOT (TYPE) int
6. OWNER'S ADDRESS	same		CITY ZIP	LOT SIZE 50x198
7. ARCHITECT OR DESIGNER	STATE LICENSE No.		PHONE	
8. ENGINEER	STATE LICENSE No.		PHONE	ALLEY 20
9. CONTRACTOR	owner		STATE LICENSE No.	PHONE BLDG. LINE 15
10. LENDER	BRANCH ADDRESS		AFFIDAVITS CCPD	
11. SIZE OF EXISTING BLDG.	LENGTH 24	WIDTH 18	STORIES 1	NO. OF EXISTING BUILDINGS ON LOT AND USE 4-1fam./1-2fam. dwell
12. MATERIAL OF CONSTRUCTION OF EXISTING BLDG.	EXT. WALLS stucco	ROOF compo	FLOOR wd	
13. JOB ADDRESS	4055 1/3 Oakwood Ave.			DISTRICT OFFICE LA
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING	\$ 500.00			GRADING /
15. NEW WORK: (Describe)	kitchen alterations Remove Non-Brg. wall betw. Kit. & Serv. Porch & Encl. Windows Opening.			CRIT. SOIL /
NEW USE OF BUILDING	(01) Dwelling		SIZE OF ADDITION /	STORIES n/c
HEIGHT	/		FLOOD /	
TYPE V	GROUP R-1	SPRINKLERS REQ'D SPECIFIED /	INSPECTION ACTIVITY COM GEN MAJ. S. CONS	
BLDG. AREA n/c	MAX. OCC. /	TOTAL	PLANS CHECKED	
DWELL. UNITS 1	GUEST ROOMS /	PARKING REQ'D PROVIDED n/c	PLANS APPROVED	
P.C. No.	CONT. INSP.	APPLICATION APPROVED		INSPECTOR B
P.C. 536	S.P.C.	G.P.I.	B.P. 825	I.F. /
O.S.	C/O	TYPYST kg		

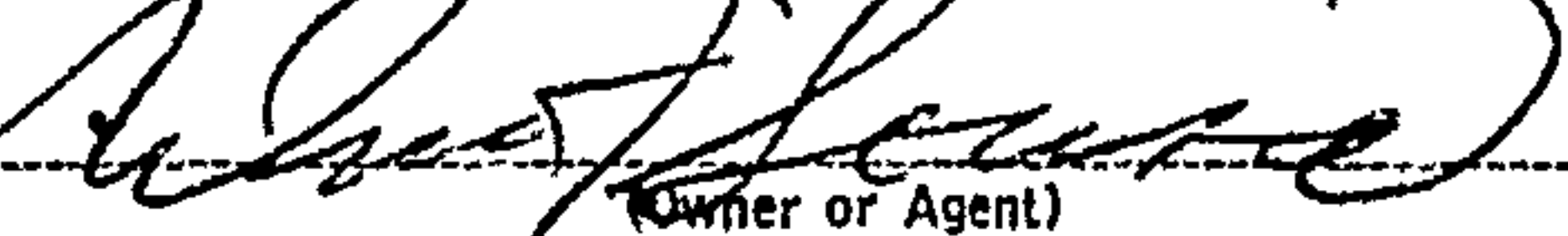
PLAN CHECK EXPIRES SIX MONTHS AFTER FEE IS PAID. PERMIT EXPIRES ONE YEAR AFTER FEE IS PAID OR SIX MONTHS AFTER FEE IS PAID IF CONSTRUCTION IS NOT COMMENCED.

CASHIER'S USE ONLY	AUG--4-70	4 1 3 0 7	•13268	U = 6 CK	5.36
	AUG--4-70	4 1 3 0 8	•13268	U = 2 CK	8.25

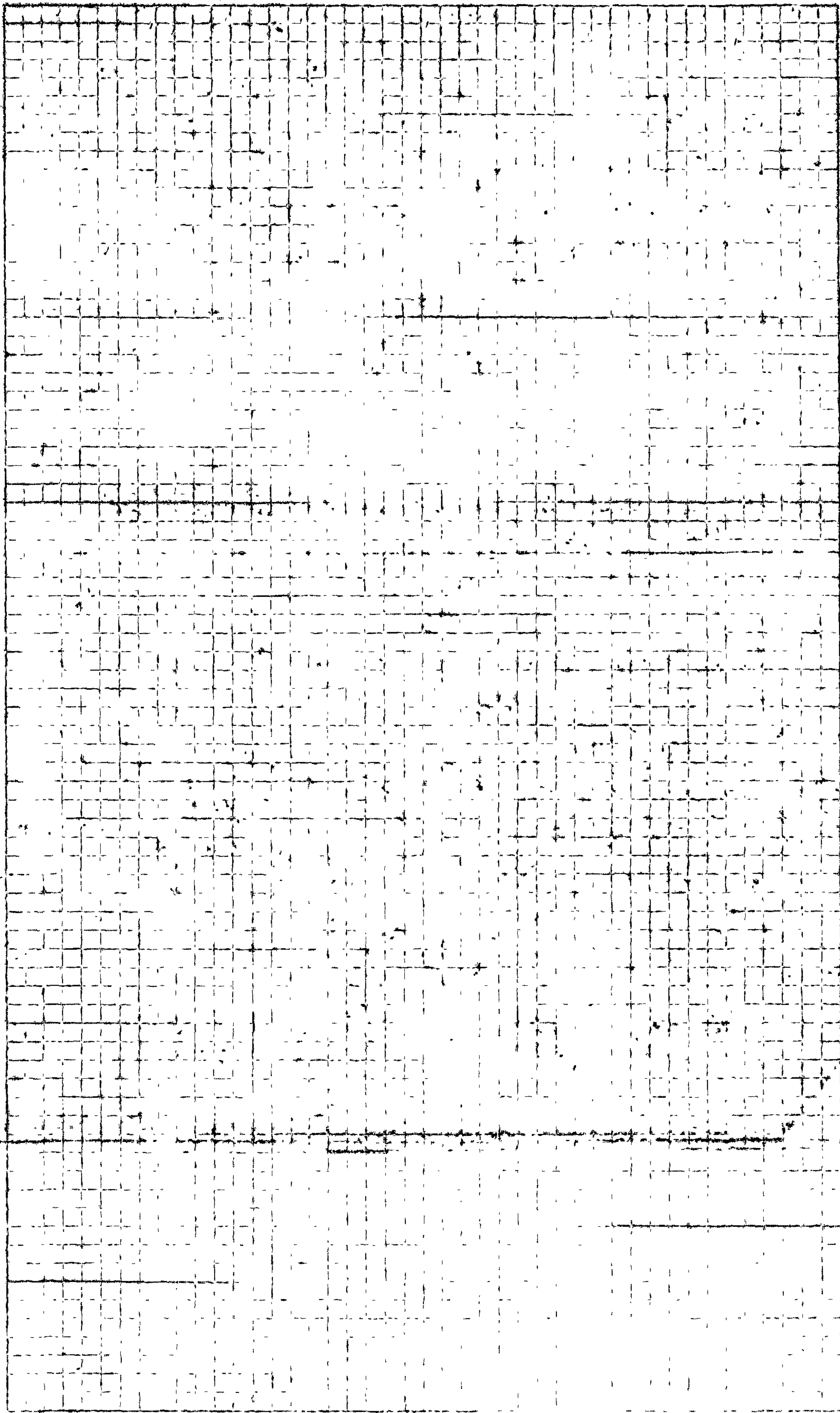
STATEMENT OF RESPONSIBILITY

I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.

"This permit is an application for inspection, the issuance of which is not an approval or an authorization of the work specified herein. This permit does not authorize or permit, nor shall it be construed as authorizing or permitting the violation or failure to comply with any applicable law. Neither the City of Los Angeles, nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein, or the condition of the property or soil upon which such work is performed." (See Sec. 91.0202 L.A.M.C.)

Signed 	Name	Date
Bureau of Engineering	ADDRESS APPROVED RByler	8-3-70
	SEWERS AVAILABLE SFC not applic/Swarts	8-3-70
	NOT AVAILABLE	
	DRIVEWAY APPROVED	
	HIGHWAY DEDICATION REQUIRED COMPLETED	
	FLOOD CLEARANCE APPROVED	
Conservation	APPROVED FOR ISSUE FILE #	
Plumbing	PRIVATE SEWAGE DISPOSAL SYSTEM APPROVED	
Planning	APPROVED UNDER CASE #	
Fire	APPROVED (TITLE 19) (L.A.M.C.-S700)	
Traffic	APPROVED FOR	





ON LOT 12, SHOW ALL BUILDINGS ON LOT AND USE OF EACH



3

CITY OF LOS ANGELES

## APPLICATION FOR INSPECTION — ADDITION-ALTER-REPAIR-DEMOLISH

AND FOR CERTIFICATE OF OCCUPANCY

B&S B-3—R5.75  
DEPT. OF BUILDING AND SAFETY

INSTRUCTIONS: Applicant to Complete Numbered Items Only.

AR-1

1. LEGAL DESCR.	LOT 8	BLK C	TRACT resub of BRC lots 4,6,8,9&1 acre lot bk A of Barrows Add.	DIST. MAP 138-197
2. PRESENT USE OF BUILDING (01) Dwelling	NEW USE OF BUILDING (01) same			CENSUS TR. 1926.00
3. JOB ADDRESS 4055 2/3 Oakwood Ave.				ZONE R4-2
4. BETWEEN CROSS STREETS New Hampshire	AND Heliotrope			FIRE DIST. /
5. OWNER'S NAME Ofelia Otero & Maria Cabrera	PHONE 665-0252			LOT (TYPE) int
6. OWNER'S ADDRESS 4055 2/3 Oakwood Ave.	CITY LA	ZIP 90004		LOT SIZE 50x198
7. ENGINEER	ACTIVE STATE LICENSE No.			PHONE
8. ARCHITECT OR DESIGNER	ACTIVE STATE LICENSE No.			PHONE
9. CONTRACTOR OWNER	ACTIVE STATE LICENSE No.			PHONE
10. BRANCH LENDER	ADDRESS			CITY
11. SIZE OF EXISTING BLDG. WIDTH LENGTH	STORIES 1	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE	
12. CONST. MATERIAL OF EXISTING BLDG. >>>>	EXT. WALLS		ROOF	FLOOR
13. JOB ADDRESS 4055 2/3 Oakwood Ave.				DIST. OFFICE LA
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING \$ 200				CRIT. SOIL /
15. NEW WORK: (Describe) change 3 windows to SLIDING GLASS WINDOWS				GRADING /
NEW USE OF BUILDING (01) Dwelling				HIGHWAY DED. /
SIZE OF ADDITION				FLOOD /
TYPE ✓	GROUP OCC. R-1	PLANS CHECKED		CONS. /
BLDG. AREA	MAX OCC.	TOTAL	PLANS APPROVED	ZONED BY Myers
DWELL. UNITS N/C	GUEST ROOMS	PARKING REQ'D PROVIDED	APPLICATION APPROVED	FILE WITH
SPRINKLERS REQ'D SPECIFIED	CONT. INSP.	INSPECTION ACTIVITY		INSPECTOR (B) unknown
P.C.	S.P.C.	B.P. 6.60	P.M.	I.F. /
G.P.I.	C/O	O.S. /	TYPYST as	
P.C. No.	PLAN CHECK EXPIRES SIX MONTHS AFTER FEE IS PAID. PERMIT EXPIRES ONE YEAR AFTER FEE IS PAID OR SIX MONTHS AFTER FEE IS PAID IF CONSTRUCTION IS NOT COMMENCED.			

JAN-26-76 510215 020223 T-2CK 6.60

## STATEMENT OF RESPONSIBILITY

I certify that in doing the work specified herein I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.

"This permit is an application for inspection, the issuance of which is not an approval or an authorization of the work specified herein. This permit does not authorize or permit, nor shall it be construed as authorizing or permitting the violation or failure to comply with any applicable law. Neither the City of Los Angeles, nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein, or the condition of the property or soil upon which such work is performed." (See Sec. 91.0202 L.A.M.C.)

Signed   
(Owner or Agent having Property Owner's Consent)

Signature/Date

Bureau of Engineering

ADDRESS APPROVED

Hsieh 1-26-76

SEWERS

SEWERS AVAILABLE

NOT AVAILABLE

SFC PAID

NO SEWER/PLUMBING REQ'D.

SFC DUE

SFC NOT APPLICABLE

DRIVEWAY

HIGHWAY DEDICATION

REQUIRED

COMPLETED

FLOOD CLEARANCE

Conservation

APPROVED FOR ISSUE ☐NO FILE ☐

Fire

APPROVED (TITLE 19) (L.A.M.C.-S700)

Housing

HOUSING AUTHORITY APPROVAL

Planning

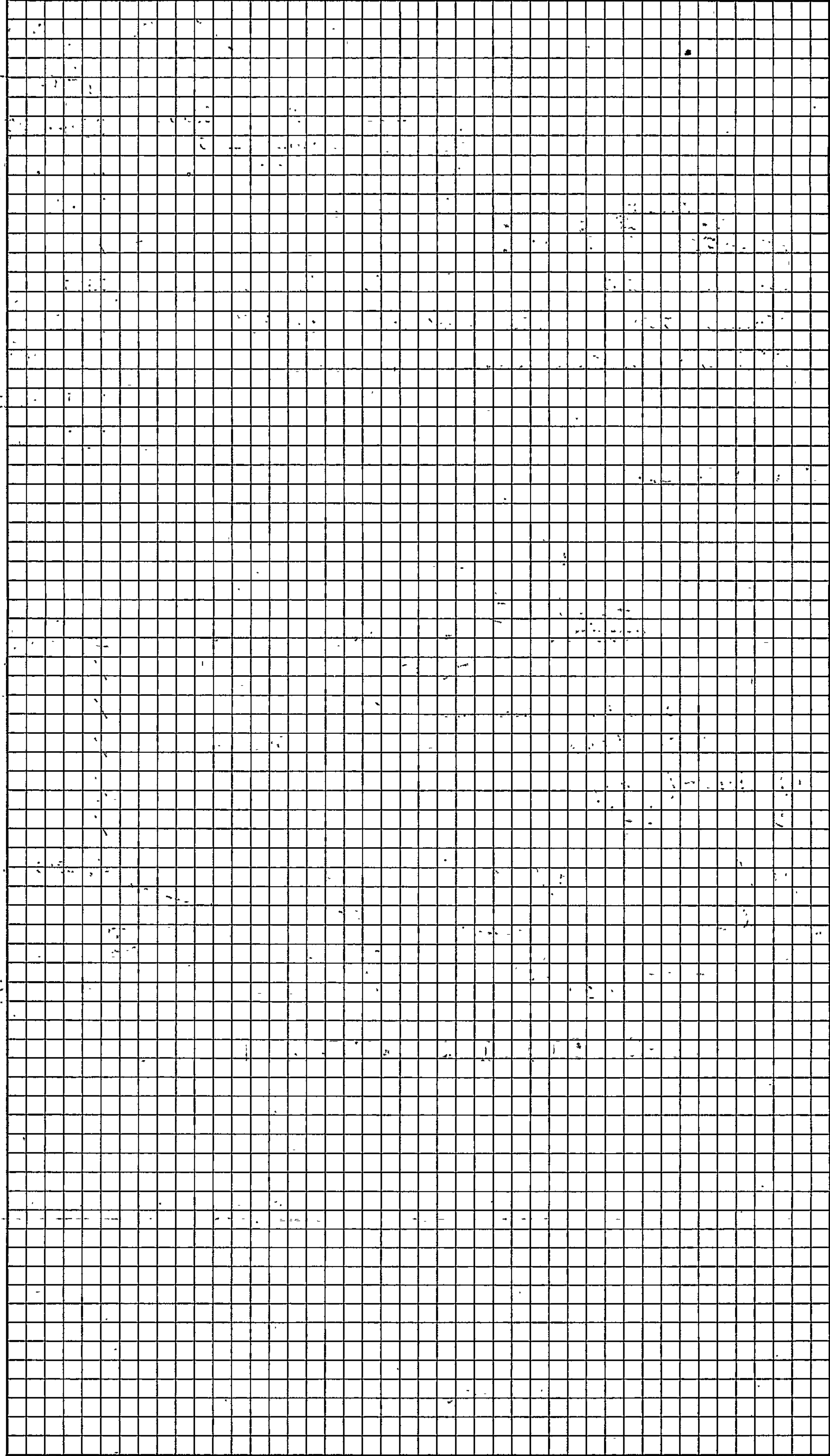
APPROVED UNDER CASE #

Traffic

APPROVED FOR




ON PLOT PLAN SHOW ALL BUILDINGS ON LOT AND USE OF EACH





3

## APPLICATION

CITY OF LOS ANGELES

DEPT OF BUILDING AND SAFETY

TO ADD-ALTER-  
REPAIR-DEMOLISH  
AND FOR CERTIFICATE  
OF OCCUPANCYFOR  
INSPECTION

1 5 8 0 0 1 0 0 2 9 1

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.

1. LOT LEGAL DESCR.	I	BLOCK	TRACT MP9 200B	COUNCIL DISTRICT NO 4	DIST MAP 138B197 CENSUS TRACT 2112
2. PRESENT USE OF BUILDING 61) Dwelling	NEW USE OF BUILDING 01) SAME				ZONE E4-Z
3. JOB ADDRESS 4055 1/2 Oakwood Ave.					FIRE DIST.
4. BETWEEN CROSS STREETS 3wverly & Vermont	AND				LOT TYPE
5. OWNER'S NAME CESAR JURILLA	PHONE (213) 334-5064				LOT SIZE
6. OWNER'S ADDRESS 178 N. Mariposa Ave.	CITY Los Angeles, CA 90004				ALLEY
7. ENGINEER	BUS LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	BLDG. LINE	
8. ARCHITECT OR DESIGNER	BUS LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	AFFIDAVITS NOT HP02	
9. ARCHITECT OR ENGINEER'S ADDRESS	CITY	ZIP			
10. CONTRACTOR A-1 Roofing Serv.	BUS LIC. NO. 103730-45/	ACTIVE STATE LIC. NO. 313258c-39	PHONE 263-6801		
11. SIZE OF EXISTING BLDG WIDTH LENGTH	STORIES	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE		
12. CONST. MATERIAL OF EXISTING BLDG. →	EXT. WALLS	ROOF	FLOOR	P.C. REQ'D	
13. JOB ADDRESS 4055 1/2 Oakwood Ave.	STREET GUIDE 34-F.5			DISTRICT OFFICE C.A.	
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING	11 sqs. \$880.00			SEISMIC STUDY ZONE	
15. NEW WORK (Describe) Re-roof with two layers of 30 Lb. and a glasscap. 3-ply. Class B.				GRADING	FLOOD
NEW USE OF BUILDING NC			SIZE OF ADDITION NC	STORIES NC	HEIGHT NC
TYPE NC	GROUP OCC. NC	FLOOR AREA NC	PLANS CHECKED	FILE WITH	
DWELL UNITS NC	MAX OCC.	TOTAL	APPLICATION APPROVED <i>Jeffrey A. Moore</i>	TYPIST	
GUEST ROOMS	PARKING REQ'D	PARKING PROVIDED STD COMP	INSPECTION ACTIVITY GEN. MAJS. CONS. EQ.	INSPECTOR	
PC	GPJ	CONT INSP	B & S B-3 (R 5.85)		
S.P.C.	P.M.				
B.P. 20.00	E.I. 50¢	Claims for refund of fees paid on permits must be filed 1 Within one year from date of payment of fee, or 2. Within one year from date of expiration of extension for building or grading permits granted by the Dept. of B. & S. SECTIONS 22 12 & 22 13 LAMC			
IF	F.H.				
N/A	DSS 1.00				
DIST OFFICE C.A.	S.O.S.S.	SPRINKLERS REQ'D SPEC.			
PC NO.	G.D.	ENERGY			
TOTAL =	21.50	No			
PLAN CHECK EXPIRES ONE YEAR AFTER FEE IS PAID. PERMIT EXPIRES TWO YEARS AFTER FEE IS PAID OR 180 DAYS AFTER FEE IS PAID IF CONSTRUCTION IS NOT COMMENCED					

## DECLARATIONS AND CERTIFICATIONS

## LICENSED CONTRACTORS DECLARATION

16. I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.  
Date 12-12-86 Lic. Class C-39 Lic. Number 313258 Contractor A-1 Roofing Serv.

## OWNER-BUILDER DECLARATION

17. I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.).

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.).

☐ I am exempt under Sec. \_\_\_\_\_, B. & P. C. for this reason \_\_\_\_\_

Date \_\_\_\_\_ Owner's Signature \_\_\_\_\_

## WORKERS' COMPENSATION DECLARATION

18. I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).

Policy No. 285 #220-86 Insurance Company State Comp. Ins. Fund.

☐ Certified copy is hereby furnished.

☒ Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety.

Date 12-12-86 Applicant's Signature A-1 Roofing Serv. Inc.

Applicant's Mailing Address 3455 E. Olympic Blvd. L.A. 90023

## CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

19. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.

Date \_\_\_\_\_ Applicant's Signature \_\_\_\_\_

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

## CONSTRUCTION LENDING AGENCY

20. I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

21. I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed. (See Sec. 91.0202 LAMC)

Signed *James M. Sidwell*  
(Owner or agent having property owner's consent)

President  
Position

1-2-87  
Date



1 3 0 0 1 0 0 2 9 2

C 20.00 B-1  
C .50 E-1.  
C 1.00 OSS  
K7009 54502 0001  
3 01/06/87 21.50 2NDR



3

## APPLICATION

CITY OF LOS ANGELES

DEPT OF BUILDING AND SAFETY

TO ADD-ALTER-  
REPAIR-DEMOLISH  
AND FOR CERTIFICATE  
OF OCCUPANCYFOR  
INSPECTION

1 5 8 0 0 1 0 0 2 9 1

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.

1. LOT LEGAL DESCR.	I	BLOCK	TRACT MP9 200B	COUNCIL DISTRICT NO 4	DIST MAP 138B197 CENSUS TRACT 2112
2. PRESENT USE OF BUILDING 61) Dwelling	NEW USE OF BUILDING 01) SAME				ZONE E4-Z
3. JOB ADDRESS 4055 1/2 Oakwood Ave.					FIRE DIST.
4. BETWEEN CROSS STREETS 3wverly & Vermont	AND				LOT TYPE
5. OWNER'S NAME CESAR JURILLA	PHONE (213) 334-5064				LOT SIZE
6. OWNER'S ADDRESS 178 N. Mariposa Ave.	CITY Los Angeles, CA 90004				ALLEY
7. ENGINEER	BUS LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	BLDG. LINE	
8. ARCHITECT OR DESIGNER	BUS LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	AFFIDAVITS NOT HP02	
9. ARCHITECT OR ENGINEER'S ADDRESS	CITY	ZIP			
10. CONTRACTOR A-1 Roofing Serv.	BUS LIC. NO. 103730-45/	ACTIVE STATE LIC. NO. 313258c-39	PHONE 263-6801		
11. SIZE OF EXISTING BLDG WIDTH LENGTH	STORIES	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE		
12. CONST. MATERIAL OF EXISTING BLDG. →	EXT. WALLS	ROOF	FLOOR	P.C. REQ'D	
13. JOB ADDRESS 4055 1/2 Oakwood Ave.	STREET GUIDE 34-F.5				DISTRICT OFFICE C.A.
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING	11 sqs. \$880.00				SEISMIC STUDY ZONE
15. NEW WORK (Describe) Re-roof with two layers of 30 Lb. and a glasscap. 3-ply. Class B.					GRADING FLOOD HWY. DEO CONS.
NEW USE OF BUILDING NC		SIZE OF ADDITION NC		STORIES NC	HEIGHT NC
TYPE NC	GROUP OCC. NC	FLOOR AREA NC	PLANS CHECKED		
DWELL UNITS NC	MAX OCC.	TOTAL		APPLICATION APPROVED <i>Jeffrey A. Moore</i>	
GUEST ROOMS	PARKING REQ'D	PARKING PROVIDED STD COMP		INSPECTION ACTIVITY GEN. MAJS. CONS. EQ.	
PC	GPJ	CONT INSP		B & S B-3 (R 5.85)	
S.P.C.	P.M.				
B.P. 20.00	E.I. 50¢	Claims for refund of fees paid on permits must be filed 1 Within one year from date of payment of fee, or 2. Within one year from date of expiration of extension for building or grading permits granted by the Dept. of B. & S. SECTIONS 22 12 & 22 13 LAMC		CASHIER'S USE ONLY 20.00 B-CI .50 E.I. 1.00 OSS 54502 0021 K7009 3 01/06/87 21.50 CHTD	
IF	F.H.				
N/A	DSS 1.00				
DIST OFFICE C.A.	S.O.S.S.	SPRINKLERS REQ'D SPEC.			
P.C. NO.	G.D.	ENERGY		No	
TOTAL = 21.50					
PLAN CHECK EXPIRES ONE YEAR AFTER FEE IS PAID. PERMIT EXPIRES TWO YEARS AFTER FEE IS PAID OR 180 DAYS AFTER FEE IS PAID IF CONSTRUCTION IS NOT COMMENCED					

## DECLARATIONS AND CERTIFICATIONS

## LICENSED CONTRACTORS DECLARATION

16. I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Date 12-12-86 Lic. Class C-39 Lic. Number 313258 Contractor A-1 Roofing Serv.

## OWNER-BUILDER DECLARATION

17. I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.).

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.).

☐ I am exempt under Sec. \_\_\_\_\_, B. & P. C. for this reason \_\_\_\_\_

Date \_\_\_\_\_ Owner's Signature \_\_\_\_\_

## WORKERS' COMPENSATION DECLARATION

18. I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).

Policy No. 285 #220-86 Insurance Company State Comp. Ins. Fund.

☐ Certified copy is hereby furnished.

☒ Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety.

Date 12-12-86 Applicant's Signature A-1 Roofing Serv. Inc.

Applicant's Mailing Address 3455 E. Olympic Blvd. L.A. 90023

## CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

19. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.

Date \_\_\_\_\_ Applicant's Signature \_\_\_\_\_

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

## CONSTRUCTION LENDING AGENCY

20. I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

21. I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed. (See Sec. 91.0202 LAMC)

Signed *James M. Sidwell*  
(Owner or agent having property owner's consent)

President  
Position

1-2-87  
Date



1 3 0 0 1 0 0 2 9 2

C 20.00 B-1  
C .50 E-1.  
C 1.00 OSS  
K7009 54502 0001  
3 01/06/87 21.50 2NDR



3

APPLICATION  
FOR  
INSPECTION

CITY OF LOS ANGELES DEPT OF BUILDING AND SAFETY

TO ADD-ALTER-  
REPAIR-DEMOLISH  
AND FOR CERTIFICATE  
OF OCCUPANCY

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.

1. LEGAL DESCR.	LOT 24	BLOCK C	TRACT Resub of Barrows Addition	COUNCIL DISTRICT NO. 4	DIST MAP 138B197 CENSUS TRACT 1926
2. PRESENT USE OF BUILDING (D) SFD	NEW USE OF BUILDING (C) Demo			ZONE R4 1	
3. JOB ADDRESS	4059 Oakwood Ave.				FIRE DIST. 1
4. BETWEEN CROSS STREETS	Hevotrope and New Hampshire (6/33)				LOT TYPE INT
5. OWNER'S NAME	Han Gon Shin				LOT SIZE 100x198
6. OWNER'S ADDRESS	2333 Coldwater Cyn Dr. Bev Hills 90210				ALLEY 20' E&M
7. ENGINEER	Jar Han C38208				BLDG. LINE 15'
8. ARCHITECT OR DESIGNER	KNS				AFFIDAVITS
9. ARCHITECT OR ENGINEER'S ADDRESS	430 S. Western Ave. #204 L.A. 90020				ELI 117 D
10. CONTRACTOR	Ace Engineering 531281				P.C. REQ'D
11. SIZE OF EXISTING BLDG.	WIDTH 25	LENGTH 20	STORIES	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE
12. CONST. MATERIAL OF EXISTING BLDG.	EXT. WALLS wood		ROOF wood	FLOOR conc/wood	FILE WITH
13. JOB ADDRESS	4059 Oakwood AVE.				TYPIST glenda
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING	\$ 1,500.00				INSPECTOR
15. NEW WORK (Describe)	Demo Clear Lot SC# E4835				GRADING FLOOD

HANDWRECK

NEW USE OF BUILDING	Demo		SIZE OF ADDITION	STORIES	HEIGHT	FILED BY
TYPE	GROUP OCC.	FLOOR AREA	PLANS CHECKED	TOTAL		FILE WITH
DWELL UNITS	MAX OCC.	PARKING REQ'D	APPLICATION APPROVED	COMB GEN. MAJS. CONS. E.O.		INSPECTOR
GUEST ROOMS	PARKING PROVIDED	STD. COMP.	INSPECTION ACTIVITY			INSPECTOR
P.C.	G.P.I.	CONT. INSP.	B & S B-3 (R.2/87)			
S.P.C.	P.M.					
B.P.	E.I.		Claims for refund of fees paid on permits must be filed: 1. Within one year from date of payment of fee; or 2. Within one year from date of expiration of extension for building or grading permits granted by the Dept. of B. & S. SECTIONS 22.12 & 22.13 LAMC.			
I.F.	F.H.					
S.D.	O.S.S.					
DIST. OFFICE	S.O.S.		SPRINKLERS REQ'D SPEC.			
P.C. NO.	C/O		ENERGY			

Unless a shorter period of time has been established by an official action, plan check approval expires one year after the fee is paid and this permit expires two years after the fee is paid or 180 days after the fee is paid if construction is not commenced.

0430

CASHIER'S USE ONLY

LA 35152

## DECLARATIONS AND CERTIFICATIONS

## LICENSED CONTRACTORS DECLARATION

16. I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Date 3-6-09 Lic. Class C-21 Lic. Number 531281 Contractor: Otthel (Signature)

## OWNER-BUILDER DECLARATION

17. I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.).

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.).

☐ I am exempt under Sec. \_\_\_\_\_, B. & P. C. for this reason \_\_\_\_\_

Date \_\_\_\_\_ Owner's Signature \_\_\_\_\_

## WORKERS' COMPENSATION DECLARATION

18. I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).

Policy No. 1075-46P Insurance Company ST TRUD

☐ Certified copy is hereby furnished.☐ Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety.

Date 3-6-09 Applicant's Signature Otthel

Applicant's Mailing Address 1936 BEL AIRE DR. GLENDALE 91201

## CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

19. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.

Date \_\_\_\_\_ Applicant's Signature \_\_\_\_\_

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

## CONSTRUCTION LENDING AGENCY

20. I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

21. I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed. (See Sec. 91.0202 LAMC)

Signed Otthel CONTRACTOR 6-07-89  
(Owner or agent having property owner's consent) Position Date



Bureau of Engineering  2 4 2 0 0 4		ADDRESS APPROVED		Paul 2-8-89
		DRIVEWAY		
		HIGHWAY DEDICATION	REQUIRED COMPLETED	2
		FLOOD CLEARANCE		
SEWERS		SEWERS AVAILABLE		
		NOT AVAILABLE		
		SFC PAID		
		SFC DUE		
		SFC NOT APPLICABLE		
Grading		PRIVATE SEWAGE SYSTEM APPROVED		
Conservation		APPROVED FOR ISSUE <input type="checkbox"/> NO FILE <input type="checkbox"/> FILE CLOSED <input type="checkbox"/>		
Fire		APPROVED (TITLE 19) (L.A.M.C.-S700)		
Housing		HOUSING AUTHORITY APPROVAL		
Planning		APPROVED UNDER CASE #		
Traffic		APPROVED FOR		
Construction Tax		RECEIPT NO.	DWELLING UNITS	

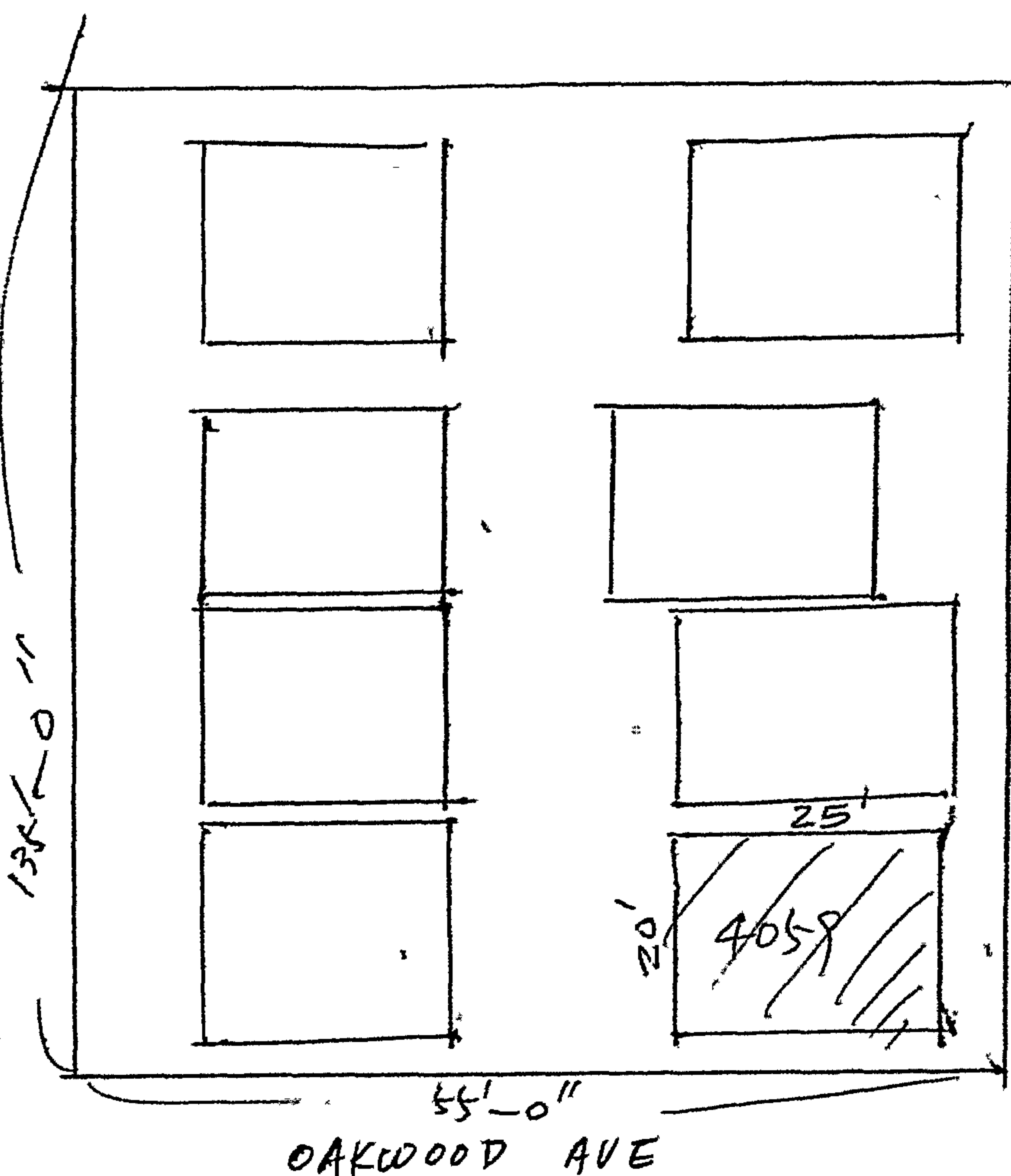
LEGAL DESCRIPTION

SQ. FT. BY LUPAMS 1007 #  
 LOT TIE AFF. DOC. # 89-405435  
 DEMO AFF. DOC. # 89-972401

ON PLOT PLAN SHOW ALL BUILDINGS ON LOT AND USE OF EACH

OK TO ISSUE DEMO PERMIT  
 ON THIS DATE ONLY 6-16-89  
 BY: A. Wang  
 LOG # 2243

ATTACHED PLOT PLANS SHALL NOT EXTEND ABOVE THIS LINE





3

APPLICATION FOR INSPECTION

CITY OF LOS ANGELES DEPT. OF BUILDING AND SAFETY

TO ADD-ALTER-REPAIR-DEMOLISH AND FOR CERTIFICATE OF OCCUPANCY

INSTRUCTIONS: 4. Applicant to Complete Numbered Items Only.

1. LOT	BLOCK	TRACT	COUNCIL DISTRICT NO.	DIST. MAP
LEGAL DESCR.	9 +10	C	Resub Of Barrows Addition	4
2. PRESENT USE OF BUILDING	NEW USE OF BUILDING			ZONE
(01) SFD	( ) DEMO			R4-1
3. JOB ADDRESS	4059 1/4 Oakwood Ave.			FIRE DIST.
4. BETWEEN CROSS STREETS	AND			LOT TYPE
Heliotrope	New Hampshire			INT
5. OWNER'S NAME	PHONE			LOT SIZE
Han Gon Shin	(213) 276-9199			100X98
6. OWNER'S ADDRESS	CITY	ZIP	ALLEY	
2333 Coldwater Cyn Dr.	Bev. Hills	90210	20' REAR	
7. ENGINEER	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	BLDG. LINE
Jae Han		C38208	(213)386-5439	15'
8. ARCHITECT OR DESIGNER	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	AFFIDAVITS
J N S			(213)738-9177	21117
9. ARCHITECT OR ENGINEER'S ADDRESS	CITY	ZIP	P.C. REQ'D	
430 S. Western Ave. #204	LA	90020	NO(f)	
10. CONTRACTOR	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	DISTRICT OFFICE
ACE Engineering		531281	(213)469-8318	LA
11. SIZE OF EXISTING BLDG.	STORIES	HEIGHT	SEISMIC STUDY ZONE	
WIDTH 30 LENGTH 25	1	10	NO(f)	
12. CONST. MATERIAL	EXT. WALLS	ROOF	FLOOR	GRADING
OF EXISTING BLDG. →	Wood	Wood	Conc/Wood	FLOOD
13. JOB ADDRESS	STREET GUIDE			HWY. DED.
4059 1/4 Oakwood Ave.				CONS.
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING	\$ 1500.00			
15. NEW WORK (Describe)	Demo- clear Lot - HANDWRECK			
SC# E-4837				
NEW USE OF BUILDING		SIZE OF ADDITION		STORIES
DEMO				HEIGHT
TYPE	GROUP OCC.	FLOOR AREA	PLANS CHECKED	ZONED BY
DWELL UNITS	MAX OCC.	TOTAL	APPLICATION APPROVED	FILE WITH
GUEST ROOMS	PARKING REQ'D	PARKING PROVIDED	INSPECTION ACTIVITY	TYPYST
		STD. COMP.	COMB GEN. MAJS. CONS. ED	Julia
P.C.	G.P.I.	CONT. INSP.	INSPECTOR	
S.P.C.	P.M.			
B.P.	E.I.	Claims for refund of fees paid on permits must be filed: 1. Within one year from date of payment of fee; or 2. Within one year from date of expiration of extension for building or grading permits granted by the Dept. of B. & S. SECTIONS 22.12 & 22.13 LAMC.	CASHIER'S USE ONLY	
I.F.	F.H.			
S.D.	D.S.S.			
DIST. OFFICE	S.O.S.S.			
P.C. NO.	C/O	ENERGY		
Unless a shorter period of time has been established by an official action, plan check approval expires one year after the fee is paid and this permit expires two years after the fee is paid or 180 days after the fee is paid if construction is not commenced.				

DECLARATIONS AND CERTIFICATIONS

16. I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Date 6-07-89 Lic. Class C-21 Lic. Number 531281 Contractor Offland (Signature)

17. I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.)

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.)

☐ I am exempt under Sec. B. & P. C. for this reason.

Date Owner's Signature

18. I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).

Policy No. 1075-469 Insurance Company ST FUND

☐ Certified copy is hereby furnished.

☐ Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety.

Date 6-07-89 Applicant's Signature Offland

Applicant's Mailing Address 1726 BEL AIR DR. G.L. CA 91201

19. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.

Date Applicant's Signature

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

20. I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name Lender's Address

21. I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed.

10.0202 LAMC)

Owner or agent having property owner's consent) Position Date



2 4 2 0 0 4 3 0 4		ADDRESS APPROVED		Paul 2-8-89
		DRIVEWAY		
		HIGHWAY 2	REQUIRED	
		DEDICATION	COMPLETED	
		FLOOD CLEARANCE		
SEWERS		SEWERS AVAILABLE		
		NOT AVAILABLE		
		SFC PAID		
		SFC DUE		
		SFC NOT APPLICABLE		
Grading		PRIVATE SEWAGE SYSTEM APPROVED		
Conservation		APPROVED FOR ISSUE <input type="checkbox"/> NO FILE <input type="checkbox"/> FILE CLOSED <input type="checkbox"/>		
Fire		APPROVED (TITLE 19) (L.A.M.C.-S700)		
Housing		HOUSING AUTHORITY APPROVAL		
Planning		APPROVED UNDER CASE #		
Traffic		APPROVED FOR		
Construction Tax		RECEIPT NO.	DWELLING UNITS	

LEGAL DESCRIPTION

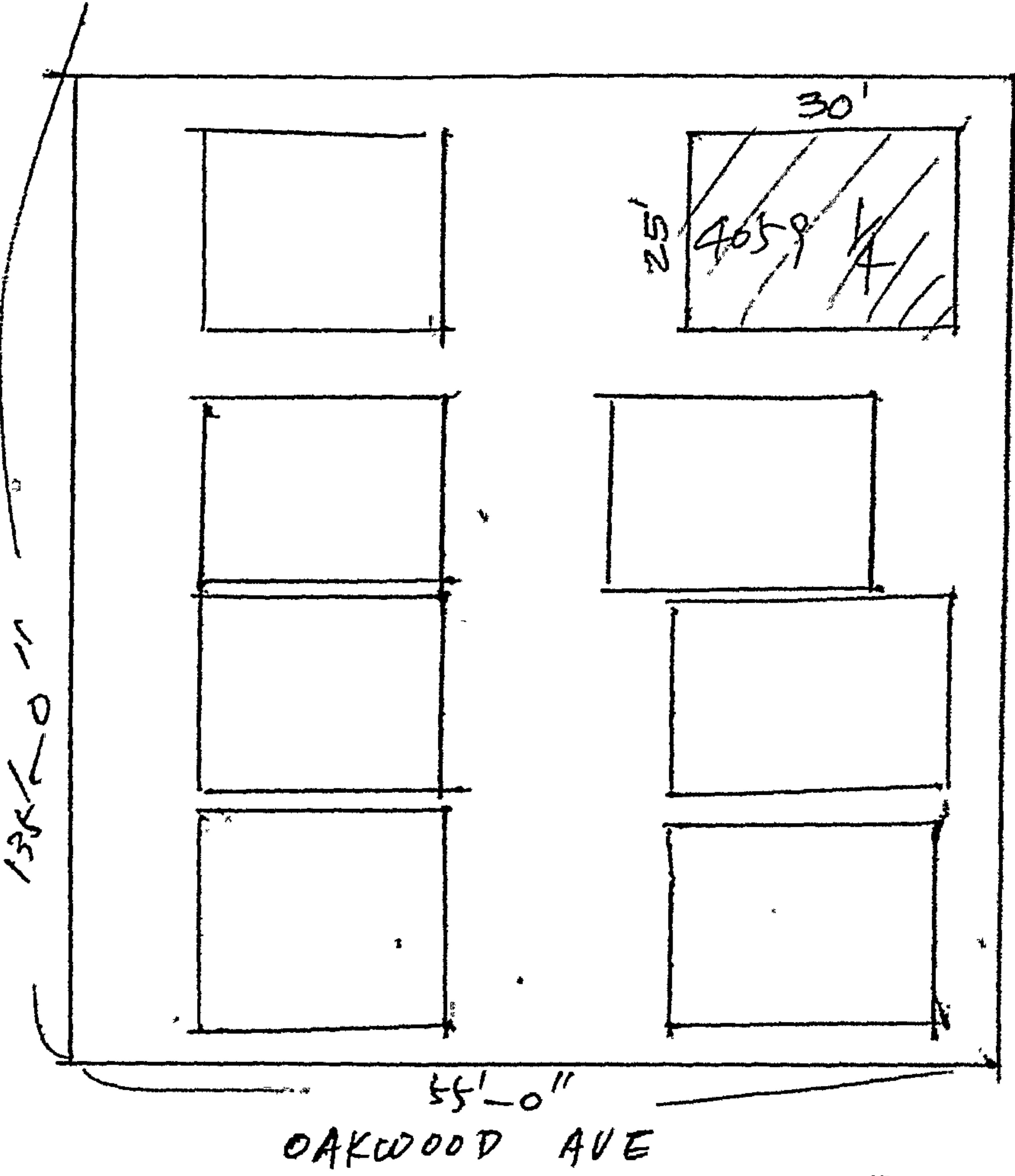
Demo AFF 84-972901 BE

LOT TIE AFF 89-405435 BE

ON PLOT PLAN SHOW ALL BUILDINGS ON LOT AND USE OF EACH

OK TO ISSUE DEMO PERMIT  
 ON THIS DATE ONLY 6-16-89  
 BY: A. Wang  
 LOG # J224A

ATTACHED PLOT PLANS SHALL NOT EXTEND ABOVE THIS LINE



3 4 3 0 0 1 0 0 2 5



3

APPLICATION  
FOR  
INSPECTION

CITY OF LOS ANGELES DEPT. OF BUILDINGS AND SAFETY

TO ADD-ALTER-  
REPAIR-DEMOLISH  
AND FOR CERTIFICATE  
OF OCCUPANCY

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.

1. LOT	2. BLOCK	3. TRACT	4. COUNCIL DISTRICT NO.	5. DIST. MAP
LEGAL DESCR.	9 + 16	C	Resub of Barrows Add	4
6. PRESENT USE OF BUILDING (OI)	SFD	7. NEW USE OF BUILDING	(1) Demo	8. ZONE
9. JOB ADDRESS	4059 1/2 Oakwood Ave.	10. (MPL-33A)		11. FIRE DIST.
12. BETWEEN CROSS STREETS	AND	13. LOT TYPE		14. LOT SIZE
Hevotrope and New Hampshire	( 6/33 )			15. 100X198
16. OWNER'S NAME	213 276 9199	17. PHONE		18. ALLEY
Han Gon Shin				19. 20' REAR
20. OWNER'S ADDRESS	2333 Coldwater Cyn Dr.	21. CITY	22. ZIP	23. BLDG. LINE
24. BEV HILLS	90210			25. 15'
26. ENGINEER	BUS. LIC. NO.	27. ACTIVE STATE LIC. NO.	28. PHONE	29. AFFIDAVITS
Jaf Han	C38208	(213) 738 9177		30. 22117
31. ARCHITECT OR DESIGNER	BUS. LIC. NO.	32. ACTIVE STATE LIC. NO.	33. PHONE	34. P.C. REQ'D
KNS		213 738 9177		35. No(f)
36. ARCHITECT OR ENGINEER'S ADDRESS	CITY	37. ZIP		38. DISTRICT OFFICE
430 S. Western Ave.	#204 L.A.	90020		39. T.A.
40. CONTRACTOR	BUS. LIC. NO.	41. ACTIVE STATE LIC. NO.	42. PHONE	43. SEISMIC STUDY ZONE
Ace Engineering	531281	213 461 8318		44. GRADING
45. SIZE OF EXISTING BLDG.	STORIES	46. HEIGHT	47. NO. OF EXISTING BUILDINGS ON LOT AND USE	48. FLOOD
WIDTH 25 LENGTH 20				49. HWY. DED.
50. CONST. MATERIAL	EXT. WALLS	51. ROOF	52. FLOOR	53. COMS.
OF EXISTING BLDG. 20	wood	wood	conc/wood	54. ZONED BY
55. 13. JOB ADDRESS	4059 1/2 Oakwood Ave.	56. STREET GUIDE		57. D Hills
58. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING	\$ 1720.00	59. SC#	24839	60. FILE WITH
61. NEW WORK (Describe)	Demo Clear Lot	62. HANDWRECK		63. TYPIST
64. NEW USE OF BUILDING	Demo	65. SIZE OF ADDITION	66. STORIES	67. HEIGHT
68. TYPE	GROUP OCC.	69. FLOOR AREA	70. PLANS CHECKED	71. APPLICATION APPROVED
72. DWELL UNITS	MAX OCC.	73. TOTAL	74. INSPECTION ACTIVITY	75. INSPECTOR
76. GUEST ROOMS	PARKING REQ'D	77. PARKING PROVIDED	78. COMB	79. GEN.
80. F.C.	G.P.I.	81. CONT. INSP.	82. MAJS.	83. CONS.
84. S.P.C.	P.M.		85. EQ.	86. B & SB-3 (R 2/27)
87. B.P.	E.I.	88. Claims for refund of fees paid on permits must be filed: 1. Within one year from date of payment of fee; or 2. Within one year from date of expiration of extension for building or grading permits granted by the Dept. of B. & S. SECTIONS 22.12 & 22.13 LAMC.	89. CASHIER'S USE ONLY	
90. I.F.	F.H.			
91. SD	D.S.S.			
92. DIST. OFFICE	S.O.E.S.	93. SPRINKLERS REQ'D SPEC.		
94. P.C. NO.	C/O	95. ENERGY		

Unless a shorter period of time has been established by an official action, plan check approval expires one year after the fee is paid and this permit expires two years after the fee is paid or 180 days after the fee is paid if construction is not commenced.

2450

35/55

DECLARATIONS AND CERTIFICATIONS  
LICENSED CONTRACTORS DECLARATION

16. I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Date 6-07-89 Lic. Class C-21 Lic. Number 531281 Contractor (Signature)

## OWNER-BUILDER DECLARATION

17. I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.).

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.).

☐ I am exempt under Sec. B. & P. C. for this reason.

Date Owner's Signature

## WORKERS' COMPENSATION DECLARATION

18. I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).

Policy No. 102546 Insurance Company ST. LUND.

☐ Certified copy is hereby furnished.☒ Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety.

Date 6-07-89 Applicant's Signature

Applicant's Mailing Address 1736 BEL AIR DR G1 91201

## CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

19. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.

Date Applicant's Signature

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

## CONSTRUCTION LENDING AGENCY

20. I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name Lender's Address

21. I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed.

Sec. 91.0202 LAMC

(Owner or agent having property owner's consent) CONTRACTOR 6-07-89

Position Date



Bureau of Engineering  24200400236		ADDRESS APPROVED		Paul 2-8-89
		DRIVEWAY		
		HIGHWAY DEDICATION	REQUIRED COMPLETED	
		FLOOD CLEARANCE		
SEWERS			SEWERS AVAILABLE	
			NOT AVAILABLE	
			SFC PAID	
			SFC DUE	
		SFC NOT APPLICABLE		
Grading		PRIVATE SEWAGE SYSTEM APPROVED		
Conservation		APPROVED FOR ISSUE <input type="checkbox"/> NO FILE <input type="checkbox"/> FILE CLOSED <input type="checkbox"/>		
Fire		APPROVED (TITLE 19) (L.A.M.C.-S700)		
Housing		HOUSING AUTHORITY APPROVAL		
Planning		APPROVED UNDER CASE #		
Traffic		APPROVED FOR		
Construction Tax		RECEIPT NO.	DWELLING UNITS	

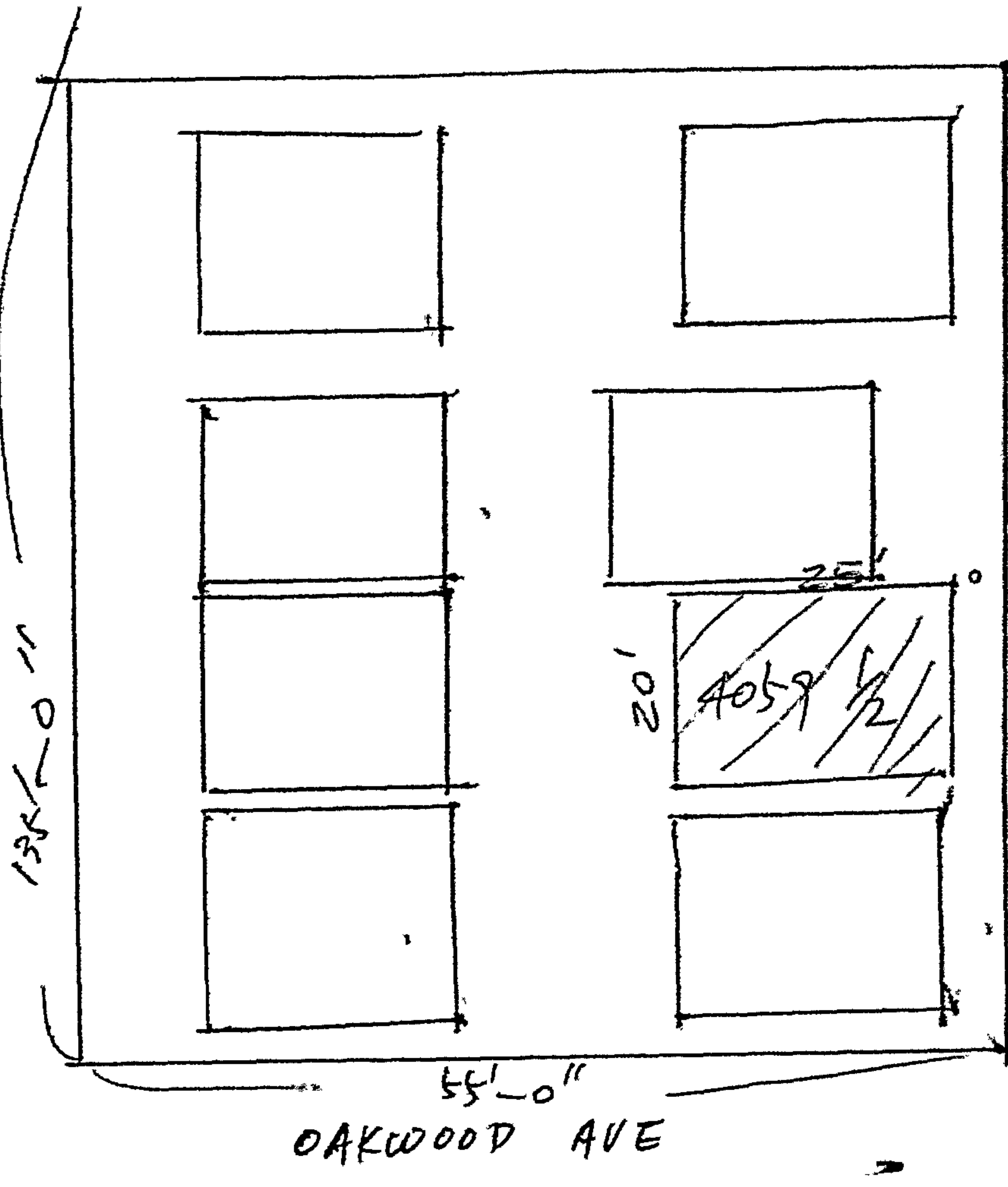
LEGAL DESCRIPTION

LOT 11E AFF. DOC. # 89-405435  
 DEMO AFF. DOC. # 89-972401

ON PLOT PLAN SHOW ALL BUILDINGS ON LOT AND USE OF EACH

OK TO ISSUE DEMO PERMIT  
 ON THIS DATE ONLY 6-16-89  
 BY: A. Wang  
 LOG # JZZ45

ATTACHED PLOT PLANS SHALL NOT EXTEND ABOVE THIS LINE





3

APPLICATION  
FOR  
INSPECTION

CITY OF LOS ANGELES DEPT. OF BUILDING AND SAFETY

TO ADD-ALTER-  
REPAIR-DEMOLISH  
AND FOR CERTIFICATE  
OF OCCUPANCY

INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.

1. LEGAL DESCR.	LOT 9+10	BLOCK C	TRACT Resub Of Barows Add 6-33	CONV. DISTRICT NO. 4	EST. MAP 138B197 CENSUS TRACT 1926
2. PRESENT USE OF BUILDING (01) SED	NEW USE OF BUILDING (1) Demo				ZONE R4-1
3. JOB ADDRESS 4059 3/4 Oakwood Ave.	(MP6-33A)				FIRE DIST. 1
4. BETWEEN CROSS STREETS Heliotrope	AND New Hampshire				LOT TYPE 1MT.
5. OWNER'S NAME Han Gon Shin	PHONE (213) 276-9199				LOT SIZE 100x198
6. OWNER'S ADDRESS 2333 Coldwater Cy n Dr	CITY Rev. Hills 90210				ALLEY 20/200
7. ENGINEER Sae Han	BUS. LIC. NO. C38208	ACTIVE STATE LIC. NO. (213) 386-5439			BLDG. LINE 151
8. ARCHITECT OR DESIGNER J N S	BUS. LIC. NO.	ACTIVE STATE LIC. NO. (213) 738-9177			AFFIDAVITS
9. ARCHITECT OR ENGINEER'S ADDRESS 430 S. Western Ave #204	CITY LA 90020				
10. CONTRACTOR ACE Engineering	BUS. LIC. NO. 531281	ACTIVE STATE LIC. NO. (213) 469-8318			
11. SIZE OF EXISTING BLDG. WIDTH 30 LENGTH 25	STORIES	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE		P.C. REQ'D
12. CONST. MATERIAL OF EXISTING BLDG. →	EXT. WALLS Wood	ROOF Wood	FLOOR Conc/Wood	STREET GUIDE	No/f
13. JOB ADDRESS 4059 3/4 Oakwood Ave.					DISTRICT OFFICE LA
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING	\$ 2200.00				SEISMIC STUDY ZONE
15. NEW WORK (Describe)	Demo- Clear Lot - HANDWRECK				GRADING FLOOD
SC#					HWY. DED. CONS.
NEW USE OF BUILDING DEMO			SIZE OF ADDITION	STORIES	HEIGHT
TYPE	GROUP OCC.	FLOOR AREA	PLANS CHECKED	ZONED BY D. HILTS	
DWELL UNITS	MAX OCC.	TOTAL	APPLICATION APPROVED	FILE WITH	
GUEST ROOMS	PARKING REQ'D	PARKING PROVIDED STD. COMP.	INSPECTION ACTIVITY	TYPIST Julia	
P.C.	G.P.I.	CONT. INSP.	COMB	GEN.	MAJS.
S.P.C.	P.M.		CONS.	E.O.	
B.P.	E.I.	Claims for refund of fees paid on permits must be filed: 1. Within one year from date of payment of fee; or 2. Within one year from date of expiration of extension for building or grading permits granted by the Dept. of B. & S. SECTIONS 22.12 & 22.13 LAMC.	B & SB-3 (R.2/87)		
I.F.	F.H.				
S.D.	O.S.S.	SPRINKLERS REQ'D SPEC.			
DIST. OFFICE LA	S.O.S.S.	ENERGY			
P.C. NO.	C/O				
Unless a shorter period of time has been established by an official action, plan check approval expires one year after the fee is paid and this permit expires two years after the fee is paid or 180 days after the fee is paid if construction is not commenced.					

2870

CASHIER'S USE ONLY

64842 \$ 06718789 2870 CHTR

LA 156

DECLARATIONS AND CERTIFICATIONS  
LICENSED CONTRACTORS DECLARATION

16. I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Date 6-07-89 Lic. Class C-2 Lic. Number 531281 Contractor Offland (Signature)

## OWNER-BUILDER DECLARATION

17. I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.).☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.).☐ I am exempt under Sec. B. & P. C. for this reason.

Date Owner's Signature

## WORKERS' COMPENSATION DECLARATION

18. I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).

Policy No. 1075469 Insurance Company ST HAMP

☐ Certified copy is hereby furnished.☐ Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety.

Date 6-07-89 Applicant's Signature Offland

Applicant's Mailing Address 1736. BEL AIR DR. S.W. CA 91201

## CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

19. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.

Date Applicant's Signature

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

## CONSTRUCTION LENDING AGENCY

20. I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name Lender's Address

21. I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein. That it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed. (See Sec. 91.0202 LAMC)

Signed Offland CONTRACT 6-07-89



Bureau of Engineering		ADDRESS APPROVED		Part 1	2-8-89
		DRIVEWAY			
		HIGHWAY DEDICATION	REQUIRED COMPLETED		
		FLOOD CLEARANCE			
SEWERS		SEWERS AVAILABLE			
		NOT AVAILABLE			
		SFC PAID			
		SFC DUE			
		SFC NOT APPLICABLE			
Grading		PRIVATE SEWAGE SYSTEM APPROVED			
Conservation		APPROVED FOR ISSUE <input type="checkbox"/> NO FILE <input type="checkbox"/> FILE CLOSED <input type="checkbox"/>			
Fire		APPROVED (TITLE 19) (L.A.M.C.-S700)			
Housing		HOUSING AUTHORITY APPROVAL			
Planning		APPROVED UNDER CASE #			
Traffic		APPROVED FOR			
Construction Tax		RECEIPT NO.		DWELLING UNITS	

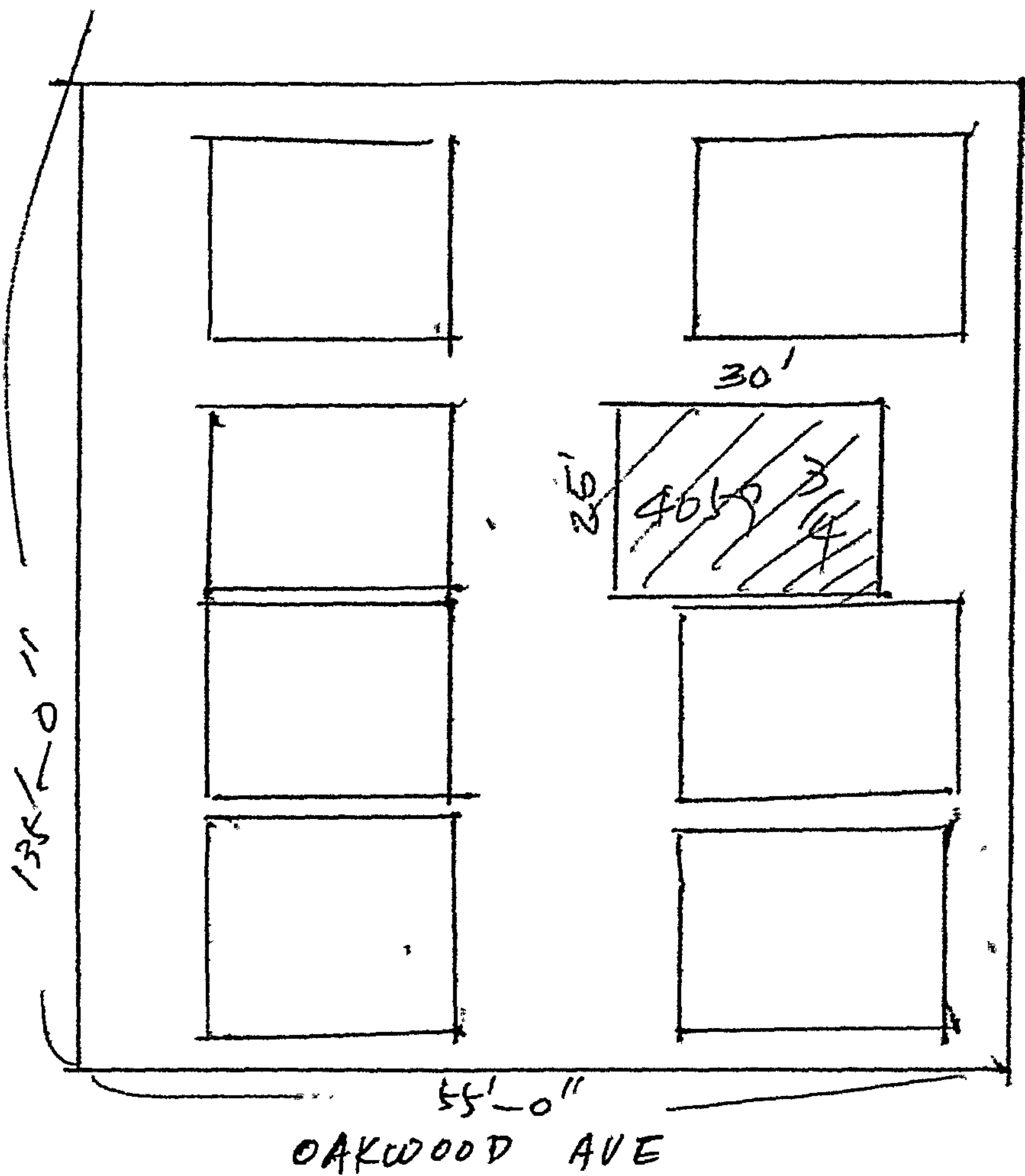
LEGAL DESCRIPTION

LOT 11E AFF. DOC. # 89-405435  
 DEMO AFF. DOC. # 89-972401

ON PLOT PLAN SHOW ALL BUILDINGS ON LOT AND USE OF EACH

OK TO ISSUE DEMO PERMIT  
 ON THIS DATE ONLY 6-16-89  
 BY: A. Wang  
 LOG # J2246

ATTACHED PLOT PLANS SHALL NOT EXTEND ABOVE THIS LINE





3

P.C.	G.P.I.	CONT. INSP.	
SPC.	P.M.		
B.P.	E.I.	Claims for refund of fees paid on permits must be filed: 1. Within one year from date of payment of fee; or 2. Within one year from date of expiration of extension for building or grading permits granted by the Dept. of B. & S. SECTIONS 22.12 & 22.13 LAMC.	
I.F.	F.H.		
S.D.	O.S.S.		
DIST. OFFICE	S.O.S.S.		SPRINKLERS REQ'D SPEC.
P.C. NO.	C/O		ENERGY

28.70

CASHIER'S USE ONLY

[illegible]

LABSIS

### LICENSED CONTRACTORS DECLARATION

**OWNER-BUILDER DECLARATION**

## OWNER-BUILDER DECLARATION

☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.).

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code; The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law).

☐ I am exempt under Sec. \_\_\_\_\_, B. & P. C. for this reason: \_\_\_\_\_

## WORKERS' COMPENSATION DECLARATION

Policy No. 1075469 Insurance Company ST. HENRY

☐ Certified copy is hereby furnished.

☐ Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety.

Date 6-17-21 Applicant's Signature [Signature]  
1236 REF AIDE DR SI 9/20/

**Applicant's Mailing Address** 1730 BGL FIRE FF AL 36-3

**CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE**

19. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.

Date \_\_\_\_\_ Applicant's Signature \_\_\_\_\_

**CONSTRUCTION LENDING AGENCY**

**20. I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).**

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

Letter 3 Name: \_\_\_\_\_ Letter 23 Date: \_\_\_\_\_

21. I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to

enter upon the above-mentioned property for inspection purposes.

I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the City of Los

Angeles nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed.

ance or results of any work described herein or the condition of the property or soil upon which such work is performed.  
(See Sec. 91.0202 LAMC)

OFFICE OF THE ATTORNEY GENERAL  
CONTRACT 6-09-81

Signed [Signature] [Signature] [Signature]  
 [Signature] [Signature] [Signature]

(Owner of Agent having property owner's consent)	Position	Date



Bureau of Engineering		ADDRESS APPROVED		Paul 2-8-89
		DRIVEWAY		
		HIGHWAY DEDICATION	REQUIRED COMPLETED	
		FLOOD CLEARANCE		
SEWERS		SEWERS AVAILABLE		
		NOT AVAILABLE		
		SFC PAID		
		SFC DUE		
		SFC NOT APPLICABLE		
Grading		PRIVATE SEWAGE SYSTEM APPROVED		
Conservation		APPROVED FOR ISSUE <input type="checkbox"/> NO FILE <input type="checkbox"/> FILE CLOSED <input type="checkbox"/>		
Fire		APPROVED (TITLE 19) (L.A.M.C.-S700)		
Housing		HOUSING AUTHORITY APPROVAL		
Planning		APPROVED UNDER CASE #		
Traffic		APPROVED FOR		
Construction Tax		RECEIPT NO.	DWELLING UNITS	

2 4 2 0 0 4

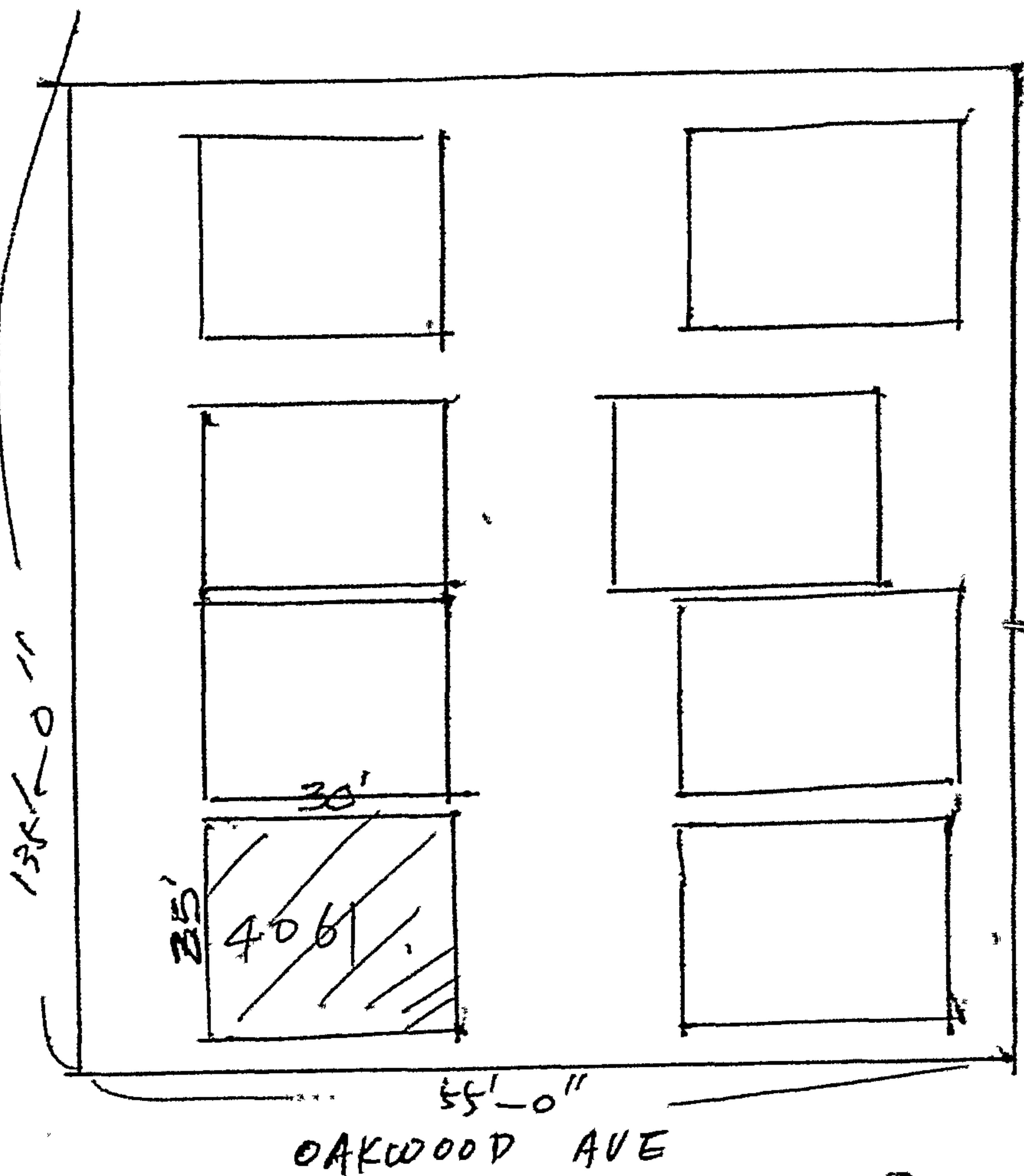
0 0 0 0 0 0

LEGAL DESCRIPTION		
<del>DEMO LOT</del>	<del>THE</del> AFF 89-972401	62
LOT TIE AFF	89-405435	65

ON PLOT PLAN SHOW ALL BUILDINGS ON LOT AND USE OF EACH

OK TO ISSUE DEMO PERMIT  
ON THIS DATE ONLY 6-16-89  
BY: A. Wong  
LOG # 02247

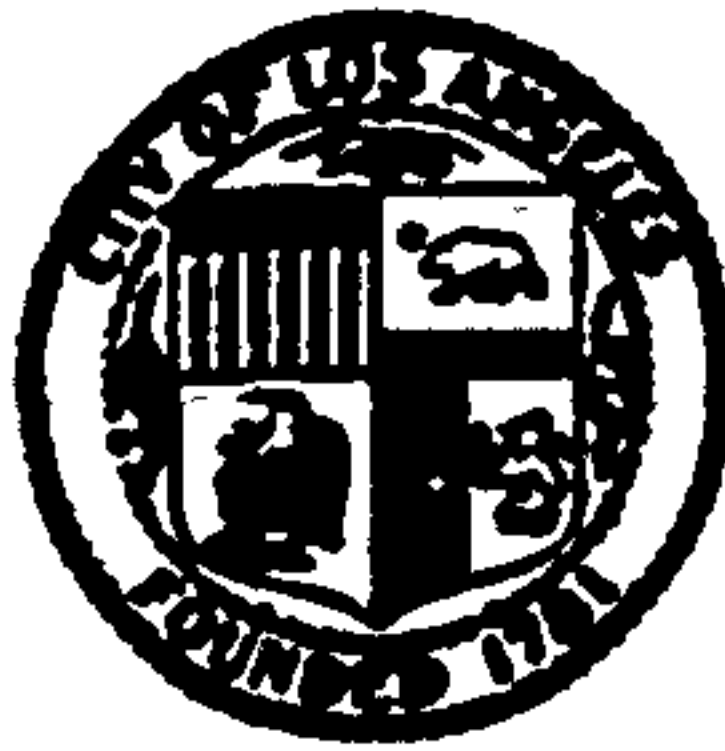
↑ ATTACHED PLOT PLANS SHALL NOT EXTEND ABOVE THIS LINE





4 2 0 0 0 1 7 0 3 6 9  
CITY OF LOS ANGELES

CALIFORNIA



TOM BRADLEY  
MAYOR

COMMISSIONERS

MARCIA MARCUS  
PRESIDENT

TOM WOO  
VICE-PRESIDENT

REVELACION P. ABRACOSA

RICHARD W. HARTZLER

BENITO A. SINCLAIR

DEPARTMENT OF  
BUILDING AND SAFETY  
411, CITY HALL  
LOS ANGELES, CA 90012-4869

WARREN V. O'BRIEN  
GENERAL MANAGER

EARL SCHWARTZ  
EXECUTIVE OFFICER

NOTICE REGARDING MISSING SIGNATURES ON THE BUILDING PERMIT

Building permit 93H024321 issued on 10-6-93 for  
4059-4065 Oakwood Ave is missing signatures in the Declaration  
and Certifications area of the permit. Therefore, a #3 permit line 15 new  
work, must state that this permit is being issued to capture the required  
signatures from permit 93H024321 issued on 10-6-93.

The issuing engineer's supervisor, Art DeVine, was notified about this  
error on 10-12-93 and asked to issue another permit to obtain the  
required signature(s) for this project.

Anyone needing a copy of the permit issued to capture the signatures for  
permit 93H024321 will need to check the COMMENTS field on DAFS (document  
display) screen to determine which permit was subsequently issued to capture  
the required signatures for this job.

Note: The permit (93H024321) follows this notice.

Jolene K. Reyer

Data Entry/Word Processing Supervisor

10/12/93

TWP120590NMS/6WP



INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only.

1. LEGAL DESCR.	LOT 9, 10	BLOCK C	TRACT RESUB OF BLOCK C ETC.	CITY CLERK REF. NO. MP6-33	DIST. MAP 138B197
2. PRESENT USE OF BUILDING 05 ) APARTMENT				NEW USE OF BUILDING (05) SAME	ZONE R3-1
3. JOB ADDRESS 4059-4065 OAKWOOD AVE.				SUITE/UNIT NO.	FIRE DIST. - COUN. DIST. 4
4. BETWEEN CROSS STREETS VERMONT AND NORMANDIE				LOT TYPE INT.	
5. OWNER'S NAME ( ) TENANT ( ) BUILDING SEOG HWAN KANG				LOT SIZE -	
6. OWNER'S ADDRESS 13075 GLADSTONE AVE. SYLMAR CA 91342				CITY ZIP	
7. ENGINEER				BUS. LIC. NO.	ACTIVE STATE LIC. NO. PHONE
8. ARCHITECT OR DESIGNER				BUS. LIC. NO.	ACTIVE STATE LIC. NO. PHONE
9. ARCHITECT OR ENGINEER'S ADDRESS				CITY	ZIP
10. CONTRACTOR ADVANCED ARCHITECT DEVEP.				BUS. LIC. NO. 815475-04	ACTIVE STATE LIC. NO. 654779 PHONE 213 460-2005
11. SIZE OF EXISTING BLDG. WIDTH LENGTH		STORIES 182	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE Various	
12. FRAMING MATERIAL OF EXISTING BLDG.		EXT. WALLS	ROOF	FLOOR	
13. JOB ADDRESS 4059-4065 OAKWOOD AVE.				SUITE/UNIT NO.	
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING \$100,000.00				DIST. OFF. L.A.	P.C. REQ'D -
15. NEW WORK (Describe) ROOFING, PLUMBING, ELECTRICAL, APPLIANCE, DRYWALL, CABINETS, DOOR PAINTING				GRADING -	SEISMIC -
NEW USE OF BUILDING		SIZE OF ADDITION	STORIES	HEIGHT	FILE WITH
TYPE		GROUP OCC.	MAX. OCC.	BUILDING PLANS CHECKED	ZONED
DWELL UNITS		BUILDING AREA	ZONING AREA	E.S. CAUDILL	
GUEST ROOMS		PARKING REQ'D	PARKING PROVIDED	INSPECTION ACTIVITY	
P.C.		G.P.I. + NP	CONT. INSP.	CS ( ) GEN. ( ) MAINT. ( ) EQ.	
S.P.C.		P.M.		SYS YES SSYS	
B.P.		E.I.	Claims for refund of fees paid on permits must be filed: 1. Within one year from date of payment of fee; or 2. Within one year from date of expiration of extension for building or grading permits granted by the Dept. of B. & S. SECTIONS 22.12 & 22.13 LAMC.	B & S 08-B-3 (R.7/90)	
I.F.		F.H.			
S.D.		O.S.S.			
ISS. OFF.		S.O.S.S.		SPRINKLERS REQ'D SPEC.	
P.C. NO.		C/O	ENERGY	DAS	
Unless a shorter period of time has been established by an official action, plan check approval expires one year after the fee is paid and this permit expires two years after the fee is paid or 180 days after the fee is paid if construction is not commenced.					
NEW AFFIDAVITS					
PLAN CHECK EXTENDED TO PER					
ADMINISTRATIVE APPROVAL DATED					
BY					
D.A.D. PLANS CHECKED					
HOUSING MITIGATION FEE ORDINANCE					
ASBESTOS NOTIFICATION					
Check Box: <input type="checkbox"/> Notification letter sent to AQMD or EPA.					
<input type="checkbox"/> I declare that notification of asbestos removal is not applicable to addressed project.					
Signature Date					

DECLARATIONS AND CERTIFICATIONS

LICENSED CONTRACTORS DECLARATION

16. I hereby affirm that I am licensed under the provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

OWNER-BUILDER DECLARATION

17. I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.).

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.).

☐ I am exempt under Sec. , B. & P. C. for this reason

Date Owner's Signature

WORKERS' COMPENSATION DECLARATION

18. I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).

Policy No. Insurance Company

☐ Certified copy is hereby furnished.

☐ Certified copy is filed with the Los Angeles City Dept. of Bldg. & Safety.

Date Applicant's Signature

Applicant's Mailing Address

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

19. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.

Date Applicant's Signature

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

CONSTRUCTION LENDING AGENCY

20. I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name Lender's Address

21. I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes.

I realize that this permit is an application for inspection, that it does not approve or authorize the work specified herein, that it does not authorize or permit any violation or failure to comply with any applicable law, that neither the city of Los Angeles nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein or the condition of the property or soil upon which such work is performed. (See Sec. 91.0202 LAMC)

Signed (Owner or agent having property owner's consent) Position Date



423971371

Bureau of Engineering		ADDRESS APPROVED		
		DRIVEWAY		
		HIGHWAY	REQUIRED	
		DEDICATION	COMPLETED	
		FLOOD CLEARANCE		
Public Works Improvement	Required YES <input type="checkbox"/> NO <input type="checkbox"/> PERMIT	#		
SEWERS			SEWERS AVAILABLE	
RES. NO.			NOT AVAILABLE	
CERT. NO.			SFC PAID	
		SFC NOT APPLICABLE	SFC DUE	
Grading	PRIVATE SEWAGE SYSTEM APPROVED			
Comm. Safety	APPROVED FOR ISSUE <input type="checkbox"/> NO FILE <input type="checkbox"/> FILE CLOSED <input type="checkbox"/>			
CEQA				
Fire	APPROVED (TITLE 19) (L.A.M.C.-S700)			
	APPROVED - HYDRANT UNIT, ROOM 920 CHE			
CRA	APPROVED PER REDEV. PROJECT			
Transportation	APPROVED FOR DRIVEWAY LOCATION			
	APPROVED FOR ORD. #			
Planning	WORK SHEET #			
	APPROVED UNDER CASE #			
	LANDSCAPE / XERISCAPE			
	SIGHT PLAN REVIEW			
Housing	HOUSING AUTHORITY AFFIDAVIT NO.			
Construction Tax	RECEIPT NO.	DWELLING UNITS		
Cultural Affairs				
Rent Stabilization Division				

LEGAL DESCRIPTION

ON PLOT PLAN SHOW ALL BUILDINGS ON LOT AND USE OF EACH

ATTACHED PLOT PLANS SHALL NOT EXTEND ABOVE THIS LINE



THIS PERMIT IS FOR (Mark one)

- ☐ NEW BLDG/ STRUCTURE ☒ ADD, ALTER, REPAIR EXISTING BUILDING
- ☐ RELOCATE EXIST. BLDG. ☐ DEMOLITION OF ENTIRE BUILDING

CITY OF LOS ANGELES - DEPARTMENT OF BUILDING AND SAFETY

INCIDENT CODE

# APPLICATION FOR BUILDING PERMIT AND CERTIFICATE OF OCCUPANCY

REF. NO.:



<b>(A) PROJECT ADDRESS</b>		SUITE/UNIT NO.		CROSS STREETS	
4059-65 OAKWOOD AVE				VERMONT / NORMANDIE	
TRACT(S) and COUNTY REF. NO. (For alpha tracts) e.g. J.G. McDonald Tract (MR 70-20)				BLOCK	LOT(S) and ARB(S) e.g. 15, 16 (Arb 3), 17, 18
RESUB DIV OF BLOCK C & LOTS 4,6,8,9, AND 1 ACRE LOT, BLOCK OF BARRONS ADDITION (MP6-33)				C	9-10
LOT TYPE	LOT SIZE	ZONE	BUILDING LINE	ALLEY	
INT		R3-1	15'	20'R	
AFFIDAVITS, EASEMENTS AND RESTRICTIONS				CENSUS TRACT	ADDR. APPD DATE
				1926	
				COUNCIL DIST	FIRE DISTRICT
				13	
				GRADING	HIGHWAY DED. SEISMIC STUDY

<b>(B) PROPERTY OWNER</b>		PHONE		<b>APPLICANT</b>		PHONE	
SEOG H. KANG		213)739-2002		OWNER			
ADDRESS		SUITE/UNIT NO.		ADDRESS		SUITE/UNIT NO.	
2510 W. 7th ST. LA CA							
CITY/STATE/ZIP				CITY/STATE/ZIP			
LA CA 90057							
ARCHITECT NAME		ADDRESS		LIC CLASS ACTIVE STATE LIC NO		CITY BUS. LIC NO. PHONE NO	
ENGINEER							
CONTRACTOR		OWNER					
PROPOSED USE OF BUILDING				EXISTING USE OF BUILDING (Leave blank for new buildings)			
( ) SAME				( 07 ) GARAGE			
DESCRIPTION OF WORK							
<input type="checkbox"/> DAMAGE REPAIR <10% <input type="checkbox"/> PATCH PLASTER/ DRYWALL <input type="checkbox"/> INT NON-STRUCTURAL REMODEL <input type="checkbox"/> DOOR/WINDOW CHANGEOUT <input type="checkbox"/> RE-STUCCO/SIDING <input checked="" type="checkbox"/> RE-ROOF							
OTHER: (Describe) ASPHALT SHINGLE ROLL ROOF. 20 SQS ADD 1/2 CDX PLYWOOD							

<b>(C) COMPLETE THIS SECTION ONLY FOR ONE AND TWO FAMILY DWELLINGS INVOLVING MECHANICAL WORK IN CONJUNCTION WITH THE WORK DESCRIBED IN SEC. "B" ABOVE. A SEPARATE PERMIT SHALL BE OBTAINED FROM MECHANICAL BUREAU FOR ANY WORK WHICH DOES NOT MEET ANY OF THE FOLLOWING CONDITIONS</b>							
<input type="checkbox"/> ELECTRICAL WORK FOR PANEL SIZE <400 AMPS AND TOTAL FLOOR AREA <15,000 S.F. <input type="checkbox"/> PLUMBING (NOT INCLUDING FIRE SPRINKLERS) <input type="checkbox"/> HVAC WORK FOR HEAT/VENT SIZE < 350,000 BTU AND A.C. SIZE < 25 TONS							
DESCRIPTION OF MECHANICAL WORK (Check applicable boxes above)							
ELECT CONTR NAME		ADDRESS		LIC CLASS ACTIVE STATE LIC NO		CITY BUS. LIC NO. PHONE NO.	
PLUMB. CONTR.							
HVAC CONTR.		OWNER					

<b>(D) NO. OF EXISTING BLDGS. ON LOT AND USE</b>			
1-APT, 1-GAR			
LENGTH	WIDTH	HEIGHT (BUILDING)	FLOOR AREA (BUILDING)
190	90		
STORIES	GROUP OCCUPANCY	OCCUPANTS PER GROUP	MAX. OCCUPANCY
1 STOR			
DWELLING UNITS	GUEST ROOMS	CONSTR. TYPE	LIC. FABRICATOR REQ'D FOR
16			
REQ'D PARKING	PARKING PROVIDED	HEIGHT (ZONING)	FLOOR AREA (ZONING)
	STD COMP D.A.		
LOCATION OF REQ'D FIRE SPRINKLERS		TYPE OF INSPECTION	DISTRICT INSP. OFFICE
		CS EQ FS MS PEN 4A VN WLA SP	
LATERAL/FDN SYSTEMS	SHEARWALL	EBF/CBF	SMRSF/OMRSF
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SPECIAL INSPECTIONS	CONG > 2000 PSI	FIELD WELDING	GUNITE/SHOTCRETE
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	MASONRY	REBAR WELDS	GRADING
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
			OTHER
			OTHER

<b>(E) P.C. NO.</b>		VALUATION (including all fixed operating equipment) \$	
CC		7,500 2,500	
PLAN CHECK	SUPP. PLAN CHECK	E.Q. INSTR.	SUPPLEMENT TO PERMIT NO.
		50	
HILLSIDE POSTING	BLDG. PERMIT	PLAN MAINT	PLAN CHECKED BY
PRE-INSPECTION	ELEC. PRMT (25%)	FIRE HYDRANT	D.A. PLAN CHECKED BY
INVESTIGATION FEE	PLUMB. PRMT (25%)	ARTS DEV FEE	ZONING VERIFIED BY
			DATE 2-12-96
RELOCATION FEE	HVAC PRMT (15%)	SCHOOL DIST FEE	APPLICATION APPROVED BY
			PRINT JIMENEZ BSID 62321
MTUI		SCH. DIST FL AREA	SIGNATURE DATE 2-12-96
<input type="checkbox"/> ENERGY <input checked="" type="checkbox"/> SURCHARGES <input type="checkbox"/> D.A. SURCH. <input type="checkbox"/> SEWER CAP REQ'D		PLOT PLAN ATTACHED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> OTHER ATTACHMENTS (Descr.) <input type="checkbox"/> YES	

Unless a shorter period of time has been established by an official action, plan check approval expires one and a half years after the fee has been paid. This permit expires two years after the fee has been paid or 180 days after the fee has been paid and construction has not commenced; or if work is suspended, discontinued or abandoned for a continuous period of 180 days (Sec. 98.0803 L.A.M.C.). Claims for refund of fees paid on permits must be filed within one year from the date of expiration for building permits granted by the Department of Building and Safety (Sec. 22.12 & 22.13 L.A.M.C.).

8 & 5 00-B-2 Rev. 2/96

FOR CASHIER'S USE ONLY

02/12/96 09:26:35AM H001 T-2957 C 26  
 BLDG PERMITS R 84.00  
 INVOICE # 0062321 RB  
 EI RESIDENTIAL 0.50  
 SYS DEV 5.07  
 ONE STOP 1.69  
 CITY PLAN SURC 2.52  
 MISCELLANEOUS 5.00  
 TOTAL 98.78  
 CHECK 98.78

96HO 42945



BUREAU OF ENGINEERING		<b>LICENSED CONTRACTOR AND WORKERS' COMPENSATION DECLARATION</b>		PLANNING WORKSHEET NO.	
CURB RAMP FLOOD HIGHWAY DEVIATION <input type="checkbox"/> COMPLETED <input type="checkbox"/> REQUIRED EXCAVATION ADJACENT TO PUBLIC WAY CONSTR. TAX RECEIPT NO. HOUSING AUTHORITY CULTURAL AFFAIRS CEQA		SEWERS <input type="checkbox"/> AVAILABLE <input type="checkbox"/> NOT AVAILABLE SEWER RESERVATION NO. SEWER FACILITIES CHARGE <input type="checkbox"/> NOT APPLICABLE GRADING DIVISION <input type="checkbox"/> PAID <input type="checkbox"/> DUE <input type="checkbox"/> PRIVATE SEWAGE SYSTEM OK CAL OSHA AQM-AB3205 DEPT WATER & POWER CASH/SURETY BOND NO. FROM OUTSIDE CITY/CITY		LANDSCAPE/EXTERISCAPE APPROVED UNDER CASE NO. SITE PLAN REVIEW FIRE DEPT APPROVED TITLE 19 (L.A.M.C. Sec. 700) HYDRANT UNIT OTHER DEPT OF TRANSPORTATION DRIVEWAY LOCATION ORD. NO. CASH/SURETY BOND NO. MILES MOVED	

**GENERAL CONTRACTOR**

I hereby affirm, under penalty of perjury, that I am the general contractor named on the reverse side of this permit and I am licensed under the provisions of Chapter 9, commencing with Section 7000, of Division 3 of the Business and Professions Code, and my license is in full force and effect. I am responsible for the following permits:

Building ☐ Electrical ☐ Plumbing ☐ HVAC ☐

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Sec. 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Sec. 3700 of the Labor Code for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are \_\_\_\_\_

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the provisions of Sec. 3700 of the Labor Code, I shall forthwith comply with those provisions.

\_\_\_\_\_  
Sign Date

**HVAC CONTRACTOR**

I hereby affirm, under penalty of perjury, that I am the HVAC contractor named on the reverse side of this permit and I am licensed under the provisions of Chapter 9, commencing with Section 7000, of Division 3 of the Business and Professions Code, and my license is in full force and effect. I am responsible only for the HVAC permit.

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Sec. 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Sec. 3700 of the Labor Code for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are \_\_\_\_\_

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the provisions of Sec. 3700 of the Labor Code, I shall forthwith comply with those provisions.

\_\_\_\_\_  
Sign Date

**ELECTRICAL CONTRACTOR**

I hereby affirm, under penalty of perjury, that I am the electrical contractor named on the reverse side of this permit and I am licensed under the provisions of Chapter 9, commencing with Section 7000, of Division 3 of the Business and Professions Code, and my license is in full force and effect. I am responsible only for the electrical permit.

I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Sec. 3700 of the Labor Code, for the performance of the work for which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Sec. 3700 of the Labor Code for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are \_\_\_\_\_

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the provisions of Sec. 3700 of the Labor Code, I shall forthwith comply with those provisions.

\_\_\_\_\_  
Sign Date

**WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL BE SUBJECT TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF THE COMPENSATION DAMAGES AS PROVIDED FOR IN SEC. 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.**

**CONSTRUCTION LENDING AGENCY**

I hereby affirm, under penalty of perjury, that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3087, Civil Code).

Lender's name \_\_\_\_\_  
Lender's address \_\_\_\_\_

**ASBESTOS REMOVAL**

I declare that notification of Asbestos Removal is not applicable ☒ or I declare that a notification letter has been sent to the AQMD or EPA ☐.

\_\_\_\_\_  
Sign Date

**OWNER-BUILDER DECLARATION**

I hereby affirm, under penalty of perjury, that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business & Professions Code): Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chap. 9 commencing with Sec. 7000 of Div. 3 of the Business & Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Sec. 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

I, as the owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business & Professions Code). The Contractors License Law does not apply to the owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not intend to improve for the purpose of sale.

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business & Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.

☐ I am exempt under Sec. \_\_\_\_\_, Bus. & Prof. Code for the following reason \_\_\_\_\_

\_\_\_\_\_  
Sign Date

**FINAL DECLARATION**

I, the owner, authorize representatives of this city to enter upon the above-described property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein. Also, that it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, that neither the City of Los Angeles nor any board, department, officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed.

\_\_\_\_\_  
Owner Sign Date

\_\_\_\_\_  
Authorized Agent Sign Date



4061 1/4 - 4061 2/4 W Oakwood Ave



Permit #:

17019 - 20000 - 05034

Plan Check #: B17VN18105

Printed: 01/31/18 03:27 PM

Event Code:

Bldg-Demolition 1 or 2 Family Dwelling Appointment Plan Check Plan Check	City of Los Angeles - Department of Building and Safety <b>APPLICATION FOR INSPECTION TO DEMOLISH BUILDING OR STRUCTURE</b>	Issued on: 01/31/2018 Last Status: Issued Status Date: 01/31/2018
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<b>1. TRACT</b> RE-SUBDIVISION OF BLOCK C, C	<b>BLOCK</b> 9	<b>LOT(s)</b> 9	<b>ARB</b> M B 6-33	<b>COUNTY MAP REF #</b> M B 6-33	<b>PARCEL ID # (PIN #)</b> 138B197 30	<b>2. ASSESSOR PARCEL #</b> 5520 - 017 - 010
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<b>3. PARCEL INFORMATION</b> Area Planning Commission - Central LADBS Branch Office - LA Bldg. Line - 15 Council District - 13 Certified Neighborhood Council - Wilshire Center - Koreatown	Community Plan Area - Wilshire Census Tract - 1926.20 District Map - 138B197 Energy Zone - 9 Methane Hazard Site - Methane Buffer Zone	Near Source Zone Distance - 1.7 Thomas Brothers Map Grid - 594-A7
ZONES(S): R3-1		

<b>4. DOCUMENTS</b> ZI - ZI-2374 LOS ANGELES STATE ENTER SPA - Vermont / Western Station Neighborhood ZI - ZI-2427 FWY Adj Advisory Notice for Se ZI - ZI-2452 Transit Priority Area in the Cit TNI - East Hollywood	ORD - ORD-173799 ORD - ORD-161116-SA20 ORD - ORD-165331-SA6300 ORD - ORD-173749	ORD - ORD-184271 ORD - ORD-184385 ORD - ORD-184414	ORD - ORD-184888 ORD - ORD-65086 CPC - CPC-1984-1-HD CPC - CPC-1986-823-GPC
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<b>5. CHECKLIST ITEMS</b> Sewer Cap - Permit Required
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<b>6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION</b> Owner(s): OAKWOOD PROPERTIES LLC 423 16TH ST, LOS ANGELES CA 90015 -- Tenant:  Applicant: (Relationship: Agent for Owner) MOHAMMAD TAGHDIRI - 19051 NASHVILLE ST, PORTER RANCH, CA 91326 -- (310) 387-1388
--

For Cashier's Use Only

W/O #: 71905034

<b>7. EXISTING USE</b> (02) Duplex	<b>PROPOSED USE</b> (23) Demolition
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<b>8. DESCRIPTION OF WORK</b> DEMO (E) DUPLEX. CLEAR & FENCE THE LOT.
--

<b>9. # Bldgs on Site &amp; Use:</b> DEMO 1 OF 10
---

<b>10. APPLICATION PROCESSING INFORMATION</b> BLDG. PC By: Omid Hedayat OK for Cashier: Omid Hedayat Signature: Date: 01/31/2018	DAS PC By: Coord. OK:
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<b>11. PROJECT VALUATION</b> Final Fee Period Permit Valuation: \$1,500 PC Valuation: Sewer Cap ID: Total Bond(s) Due:
--

<b>12. ATTACHMENTS</b> CEQA Bldg Demolition Notice Demo Affirmation Posting	Owner-Builder Declaration Plot Plan	
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For inspection requests, call toll-free (888) LA4BUILD (524-2845). Outside LA County, call (213) 482-0000 or request inspections via <a href="http://www.ladbs.org">www.ladbs.org</a> . To speak to a Call Center agent, call 311. Outside LA County, call (213) 473-3231.
--

VN LAUR 203123104 1/31/2018 3:26:48 PM  
DEMO PERMIT \$130.00  
PLUMBING PERMIT RES \$33.80  
BUILDING PLAN CHECK \$0.00  
EI RESIDENTIAL \$0.50  
DEV SERV CENTER SURCH \$4.93  
SYSTEMS DEVT FEE \$9.86  
CITY PLANNING SURCH \$7.80  
MISCELLANEOUS \$10.00  
PLANNING GEN PLAN MAINT SURCH \$9.10  
CA BLDG STD COMMISSION SURCHARGE \$1.00

Sub Total: \$206.99

Permit #: 170192000005034

Building Card #: 2018VN59586

Receipt #: 0203489772



\* P 1 7 0 1 9 2 0 0 0 0 5 0 3 4 F N \*



**13. STRUCTURE INVENTORY**

(Note: Numeric measurement data in the format "number / number" implies "change in numeric value / total resulting numeric value")

**17019 - 20000 - 05034**

(P) Dwelling Unit: -2 Units / 0 Units  
(P) R3 Occ. Group: -872 Sqft / 0 Sqft

**14. APPLICATION COMMENTS:**

DPI: 17019-20000-04635 Mailed: 10-27-17

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless the information printed exceeds that required by section 19825 of the Health and Safety Code of the State of California.

**15. BUILDING RELOCATED FROM:****16. CONTRACTOR, ARCHITECT & ENGINEER NAME****ADDRESS****CLASS****LICENSE #****PHONE #**

(O) OWNER-BUILDER

0

**PERMIT EXPIRATION/REFUNDS:** This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

**17. OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the following reason (Section 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☒ I, as the owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year from completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

OR

☐ I, as the owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

**18. WORKERS' COMPENSATION DECLARATION**

I hereby affirm, under penalty of perjury, one of the following declarations:

☒ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: \_\_\_\_\_ Policy Number: \_\_\_\_\_

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

**WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.**

**19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING**

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at [www.aqmd.gov](http://www.aqmd.gov). Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or [www.dhs.ca.gov/childlead](http://www.dhs.ca.gov/childlead).

**20. FINAL DECLARATION**

I certify that I have read this application INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

**By signing below, I certify that:**

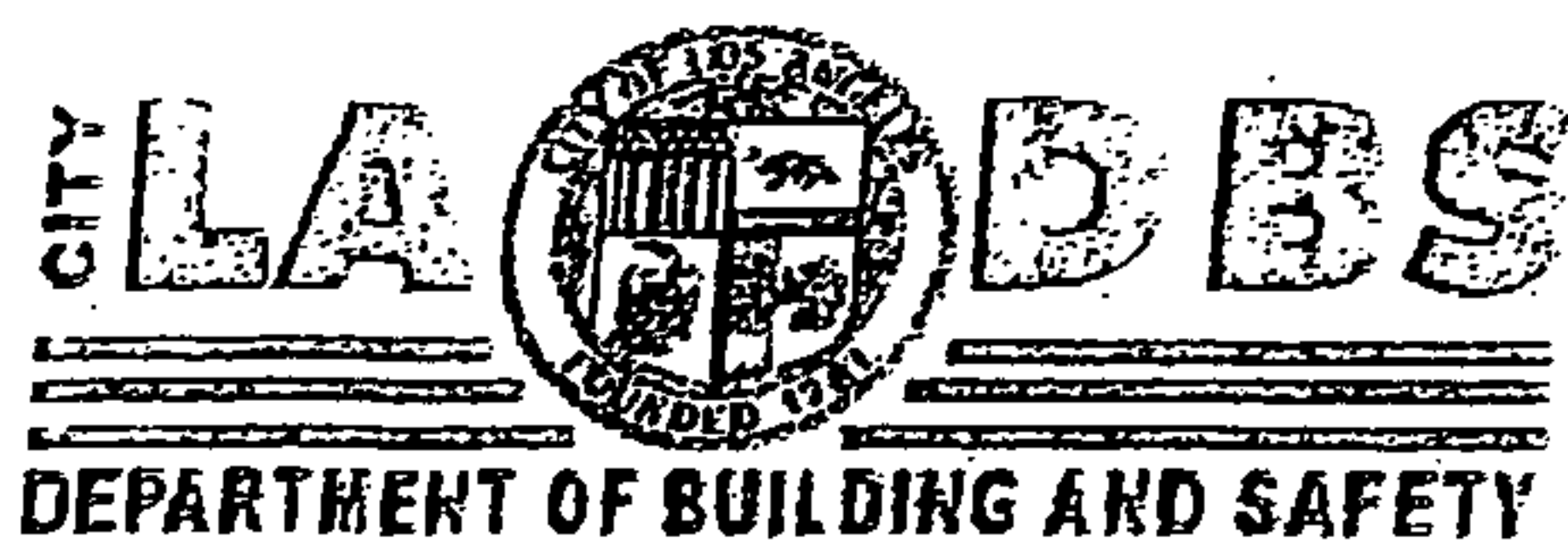
- (1) I accept all the declarations above namely the Owner-Builder Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

Print Name: **MOHAMMAD-TAGHDIRI**

Sign: \_\_\_\_\_

Date: **01/31/2018**☒ Owner☐ Authorized Agent





# AFFIRMATION OF POSTING FOR DEMOLITION OF EXISTING BUILDINGS OR STRUCTURES

LAMC Section 91.106.4.5.1

Project Address: 4061 1/4 - 4061 3/4 Demolition Permit #: 17019-20000-05034

## Affirmation of Posting

The Los Angeles Municipal Code(LAMC) Section 91.106.4.5.1 requires posting of a notice prior to the issuance of a permit for demolition of an existing building or structure for which the original building permit was issued more than 45 years prior to the date of submittal of the application for demolition preinspection, or where information submitted with the application indicates that the building or structure is more than 45 years old based on the date the application is submitted, the property shall be posted in a conspicuous place near the entrance of the property where demolition will occur, with a public notice of the application for demolition preinspection.

I hereby affirm that the property located at 4061 1/4 - 4061 3/4 W. OAK WOOD AVE was posted on 10-27-12 (mm/dd/yyyy) in accordance with LAMC 91.106.4.5.1 at least 30 days prior to the issuance of this permit for demolition of the existing building(s) or structure(s).

Print Name: Mohammad Tayeb

Signature: [Signature] Date: 12-12-17

Please check one: ☒ Owner, ( ) Contractor, ( ) Authorized Agent for owner/contractor

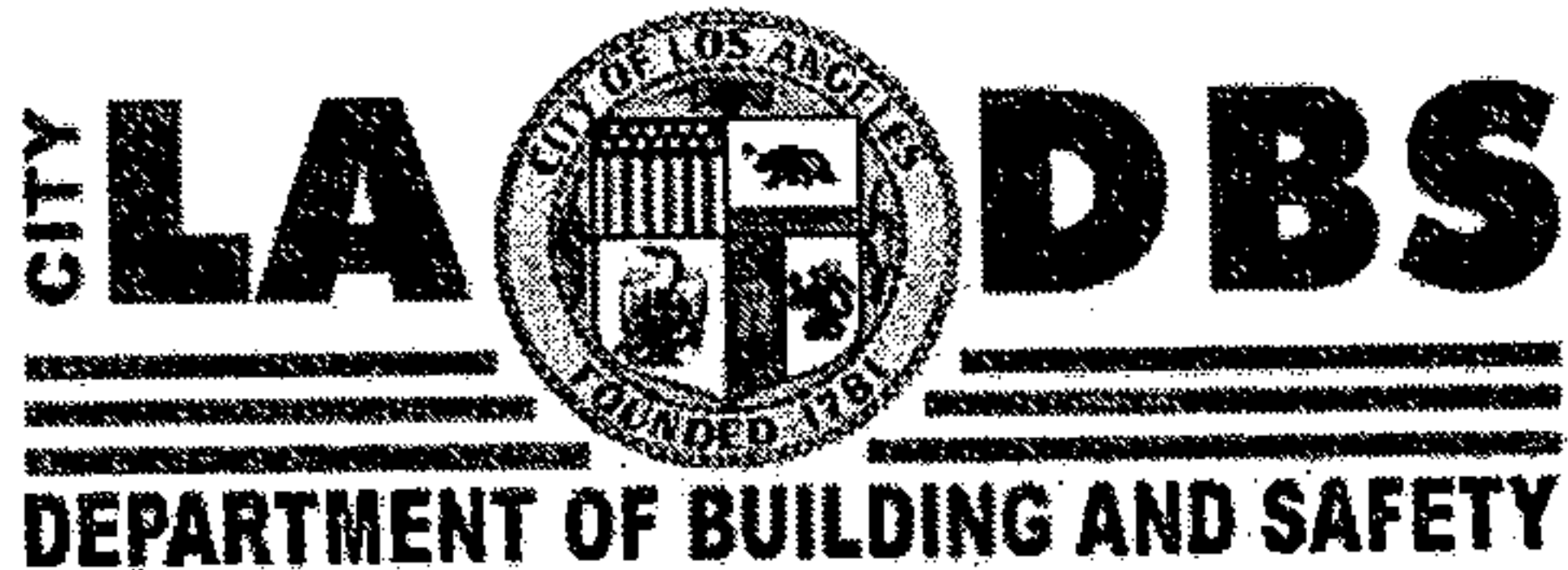
### FOR DEPARTMENT USE ONLY

DPI Application #: 17019-20000-04635 Date notification letters mailed: 10-27-17

Note: Verify notification and posting were completed at least 30 days prior to demolition permit issuance.

Reviewed by (print name): OMIS HEDAYAT Signature: [Signature]





## OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF INFORMATION

### (OWNER-BUILDER DECLARATION)

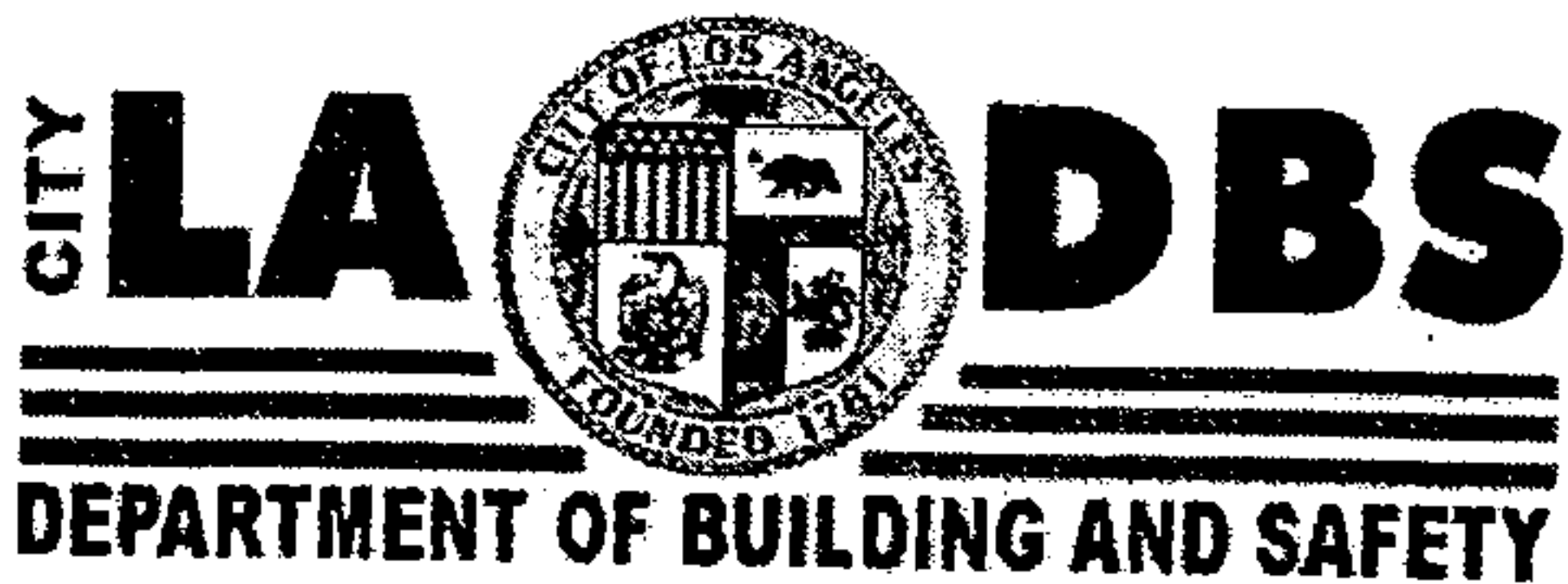
Application Number: 17019-20000-05034

Project Address: 4061 1/4 - 4061 2/4 W Oakwood Ave

DIRECTIONS: Read and initial each statement below to signify you understand or verify this information.

- M.T 1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.
- n.t 2. I understand building permits are not required to be signed by property owners unless they are *responsible* for the construction and are not hiring a licensed Contractor to assume this responsibility.
- n.t 3. I understand as an "Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.
- n.t 4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.
- n.t 5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.
- n.t 6. I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.
- n.t 7. I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless *all* work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.
- n.t 8. I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.
- n.t 9. I understand I may obtain more information regarding my obligations as an "employer" from the Internal Revenue Service, the United States Small Business Administration, the California Department of Benefit Payments, and the California Division of Industrial Accidents. I also understand I may contact the California Contractors' State License Board (CSLB) at 1-800-321-CSLB (2752) or [www.cslb.ca.gov](http://www.cslb.ca.gov) for more information about licensed contractors.





OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF  
INFORMATION

(OWNER-BUILDER DECLARATION, cont.)

Application Number: 17019-20K-05034

Project Address: 4061 1/4 - 4061 3/4 W Oakwood Ave

N 10. I am aware of and consent to an Owner-Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity at the following address: W Oakwood Ave

N 11. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern Owner-Builders as well as employers.

N 12. I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form. Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed Contractors may be in civil court. It is also important for you to understand that if an unlicensed Contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner-Builder and wish to hire Contractors, you will be responsible for verifying whether or not those Contractors are properly licensed and the status of their workers' compensation insurance coverage. Before a building permit can be issued, this form must be completed and signed by the property owner and returned to the agency responsible for issuing the permit.

Note: A copy of the property owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.

Owner's Name: OAKWOOD Prop. L.L.C

Signature of property owner [Signature] Date: 1-31-18

SEC. 3. Section 19830 of the Health and Safety Code is repealed.  
SEC. 4. Section 19831 of the Health and Safety Code is repealed.  
SEC. 5. Section 19832 of the Health and Safety Code is repealed.

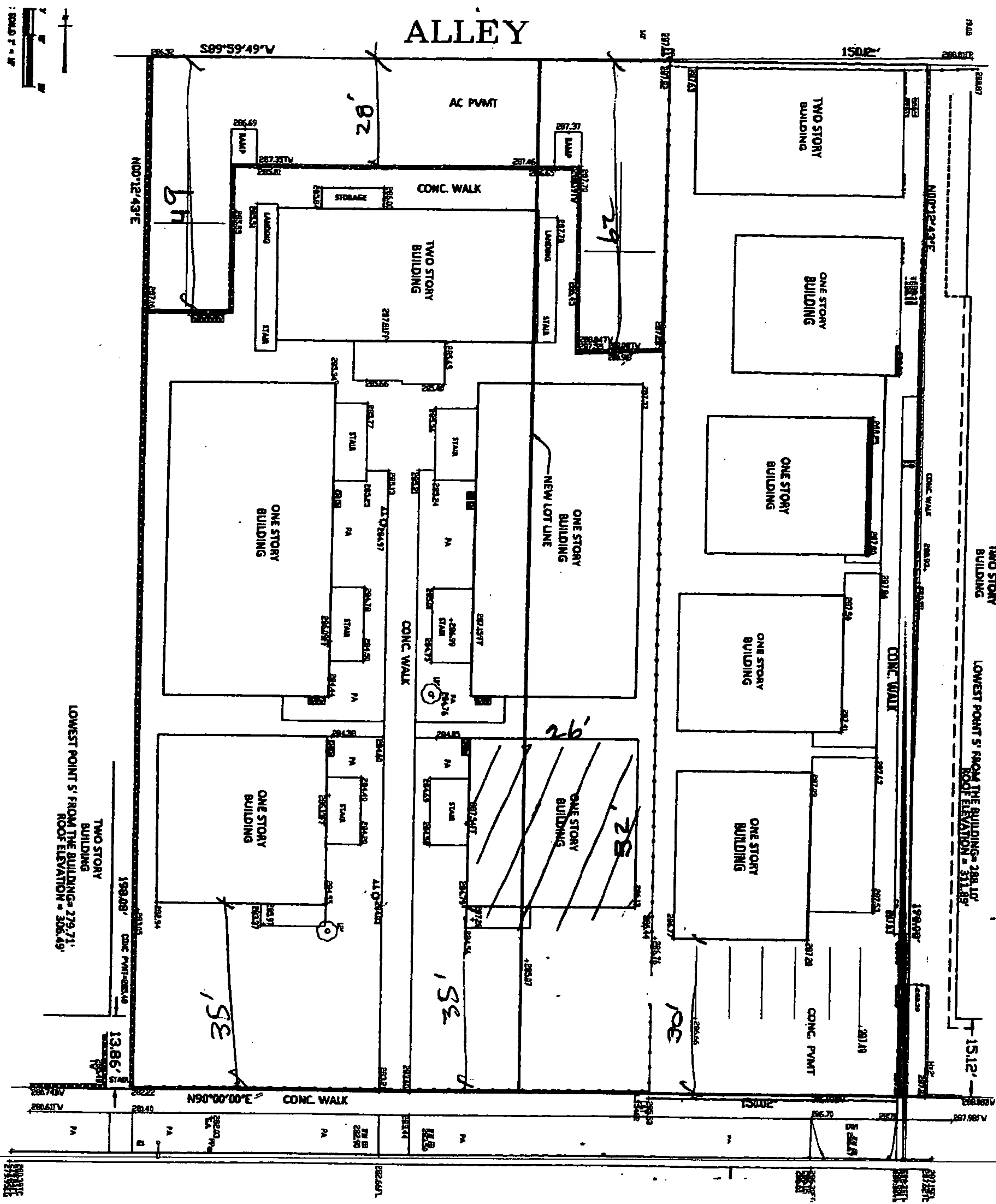


Bldg-Demolition  
1 or 2 Family Dwelling  
Plan Check

City of Los Angeles - Department of Building and Safety

Plan Check #: B17VN18105  
Initiating Office: VAN NUYS  
Printed on: 12/19/17 11:04:22

PLOT PLAN ATTACHMENT



(DO NOT DRAW, WRITE, OR PASTE ATTACHMENTS OUTSIDE BORDER)

1050206201850934

OAKWOOD

AVENUE

4N

1-31-18

Signature



Address:

4061 1/4 - 4061 2/4 OAKWOOD AVE



City of Los Angeles - Department of Building and Safety

## Attachment to Application for Demolition Permit:

## Notice and Owner's Declaration Related to CEQA and Project Scope

I. Notice to Owner

If you are applying for a demolition permit to facilitate the construction or development of the project site, you may be referred to the Planning Department for further assistance.

The California Environmental Quality Act (CEQA) directs public agencies to assess and disclose the environmental effects of the projects it approves. In determining whether a proposed project is subject to CEQA, the City is required to consider all of the parts and phases of the project and may not limit its review to the specific permits or approvals sought. (Public Resources Code Section 21065) Failure by a project applicant to disclose future construction or development activities on the project site may result in a violation of CEQA. If the City determines that an application or approval is part of a larger undisclosed project, the City may revoke and/or stay any approvals until a full and complete CEQA analysis of the whole project is reviewed and an appropriate CEQA clearance is adopted or certified.

Please contact the Planning Department if you have additional questions after reviewing this notice.

II. Owner's Project Information

Based upon the above-stated rule, is the proposed demolition part of a larger development project at the demolition site, and if so, will the larger project require any discretionary approvals from the City? (Select "Yes" or "No," and follow the related instructions)

Yes ☒ A CEQA clearance from the Planning Department will be required prior to the issuance of the demolition permit for the proposed project. Return this form to a Department of Building and Safety Plan Check Engineer at the time of plan check.

No ☐ Sign and notarize the signature at the bottom of the form and return the notarized form to a Department of Building and Safety Plan Check Engineer at the time of plan check.

III. Owner's Declaration

I own the property located at Mohammad Taghdiri. I have read the above "Notice to Owner." I understand that a "project," as defined by CEQA, is the whole of the proposed activity and is not limited to the demolition subject to this application. I further understand that CEQA prohibits treatment of each separate approval as a separate project for purposes of evaluating environmental impacts. I acknowledge and understand that should the City determine that the demolition proposed is part of a larger project requiring any discretionary permits, the City may revoke and/or stay any approvals (including certificates of occupancy) until a full and complete CEQA analysis is prepared and clearance is adopted or certified.

I certify that (i) the demolition authorized by this permit is not to facilitate the construction or development of a larger project at the project site, or (ii) the demolition is part of a larger project and, after using all reasonable efforts, including consulting with the City Planning Department, I have determined there are no discretionary permits required for the project, including but not limited to haul route permits, permits to remove protected trees, historic resource review, or any discretionary zoning or map approvals.

Date 12-12-12 Name of the Owner (Print) BAKWOOD prop. LLC

Signature

(See page 2 of 2 For Notary Acknowledgment)





Application #:

Printed: 08/26/16 12:04 PM

City of Los Angeles - Department of Building and Safety  
Attachment to Application for Demolition Permit:  
Notice and Owner's Declaration Related to CEQA and Project  
Scope

## ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California  
County of Los Angeles

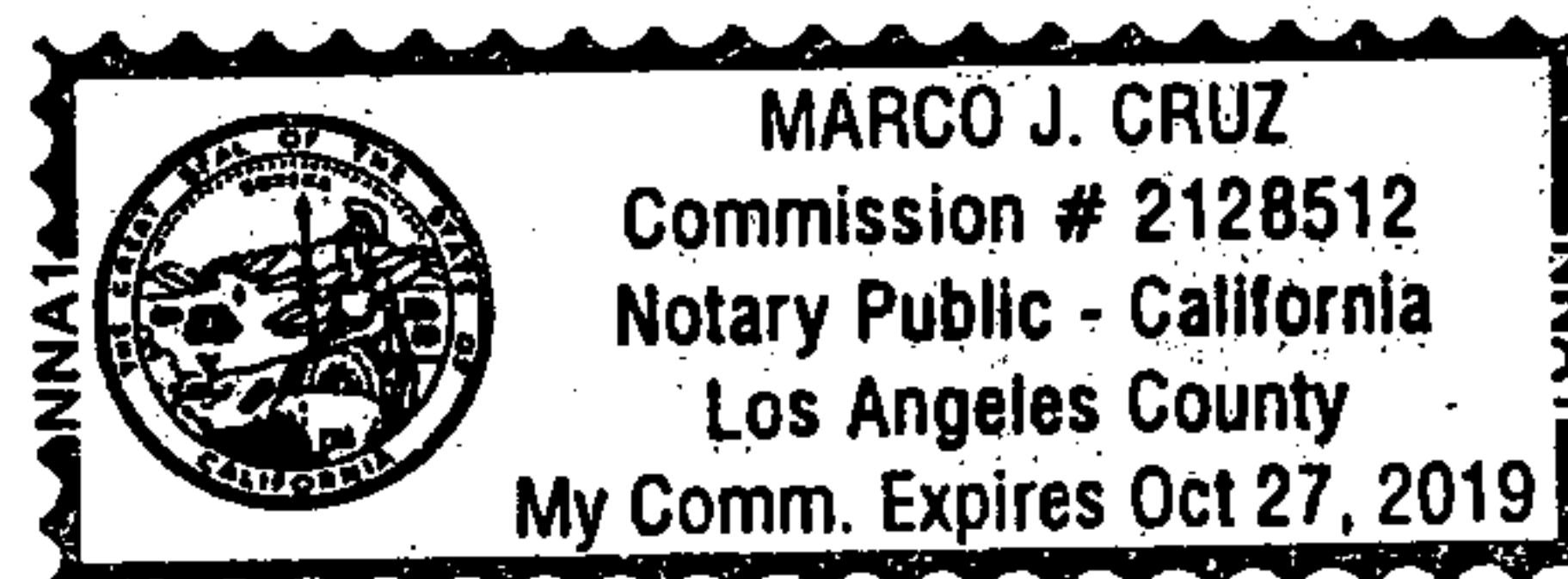
On 12/14/17 before me, Marco J. Cruz, notary  
(insert name and title of the officer)

personally appeared Mohammad Taghdiri  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Signature] (Seal)





4059 1/4 - 4059 4/4 W Oakwood Ave



Permit #:

17019 - 20000 - 05036

Plan Check #: B17VN18105

Printed: 01/31/18 03:25 PM

Event Code:

Bldg-Demolition 1 or 2 Family Dwelling Appointment Plan Check Plan Check	City of Los Angeles - Department of Building and Safety <b>APPLICATION FOR INSPECTION TO DEMOLISH BUILDING OR STRUCTURE</b>	Issued on: 01/31/2018 Last Status: Issued Status Date: 01/31/2018
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1. TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF #	PARCEL ID # (PIN #)	2. ASSESSOR PARCEL #
RE-SUBDIVISION OF BLOCK C, C		9		M B 6-33	138B197 30	5520 - 017 - 010

<b>3. PARCEL INFORMATION</b> Area Planning Commission - Central LADBS Branch Office - LA Bldg. Line - 15 Council District - 13 Certified Neighborhood Council - Wilshire Center - Koreatown	Community Plan Area - Wilshire Census Tract - 1926.20 District Map - 138B197 Energy Zone - 9 Methane Hazard Site - Methane Buffer Zone	Near Source Zone Distance - 1.7 Thomas Brothers Map Grid - 594-A7
ZONES(S): R3-1		

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<b>5. CHECKLIST ITEMS</b> Sewer Cap - Permit Required
--

<b>6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION</b> Owner(s): OAKWOOD PROPERTIES LLC 423 16TH ST, LOS ANGELES CA 90015 -- Tenant:  Applicant: (Relationship: Agent for Owner) MOHAMMAD TAGHDIRI - 19051 NASHVILLE ST, PORTER RANCH, CA 91326 -- (310) 387-1388
--

For Cashier's Use Only

W/O #: 71905036

<b>7. EXISTING USE</b> (05) Apartment	<b>PROPOSED USE</b> (23) Demolition
--	--

<b>8. DESCRIPTION OF WORK</b> DEMO (E) APARTMENT BUILDING. SEWER CAP PER SEPARATE PERMIT. CLEAR AND FENCE THE LOT.
---

<b>9. # Bldgs on Site &amp; Use:</b> DEMO 2 OF 10
---

<b>10. APPLICATION PROCESSING INFORMATION</b> BLDG. PC By: Omid Hedayat OK for Cashier: Omid Hedayat Signature: Date: 01/31/2018	DAS PC By: Coord. OK:
--	--------------------------

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VN LAUR 203123104 1/31/2018 3:24:53 PM  
DEMO PERMIT \$130.00  
BUILDING PLAN CHECK \$0.00  
EI RESIDENTIAL \$0.50  
DEV SERV CENTER SURCH \$3.92  
SYSTEMS DEVT FEE \$7.83  
CITY PLANNING SURCH \$7.80  
MISCELLANEOUS \$10.00  
PLANNING GEN PLAN MAINT SURCH \$9.10  
CA BLDG STD COMMISSION SURCHARGE \$1.00  
BUILDING PLAN CHECK \$0.00

Sub Total: \$170.15

Permit #: 170192000005036  
Building Card #: 2018VN59584  
Receipt #: 0203489770



\* P 1 7 0 1 9 2 0 0 0 0 5 0 3 6 F N \*



**13. STRUCTURE INVENTORY**

(Note: Numeric measurement data in the format "number / number" implies "change in numeric value / total resulting numeric value")

**17019 - 20000 - 05036**

(P) Dwelling Unit: -4 Units / 0 Units

(P) R2 Occ. Group: -2500 Sqft / 0 Sqft

**14. APPLICATION COMMENTS:**

DPI: 17019-20000-04635 Mailed: 10-27-17

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(O) OWNER-BUILDER

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**17. OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the following reason (Section 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☒ I, as the owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year from completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

OR

☐ I, as the owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

**18. WORKERS' COMPENSATION DECLARATION**

I hereby affirm, under penalty of perjury, one of the following declarations:

☒ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: \_\_\_\_\_ Policy Number: \_\_\_\_\_

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

**WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.**

**19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING**

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at [www.aqmd.gov](http://www.aqmd.gov). Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or [www.dhs.ca.gov/childlead](http://www.dhs.ca.gov/childlead).

**20. FINAL DECLARATION**

I certify that I have read this application **INCLUDING THE ABOVE DECLARATIONS** and state that the above information **INCLUDING THE ABOVE DECLARATIONS** is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

**By signing below, I certify that:**

- (1) I accept all the declarations above namely the Owner-Builder Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

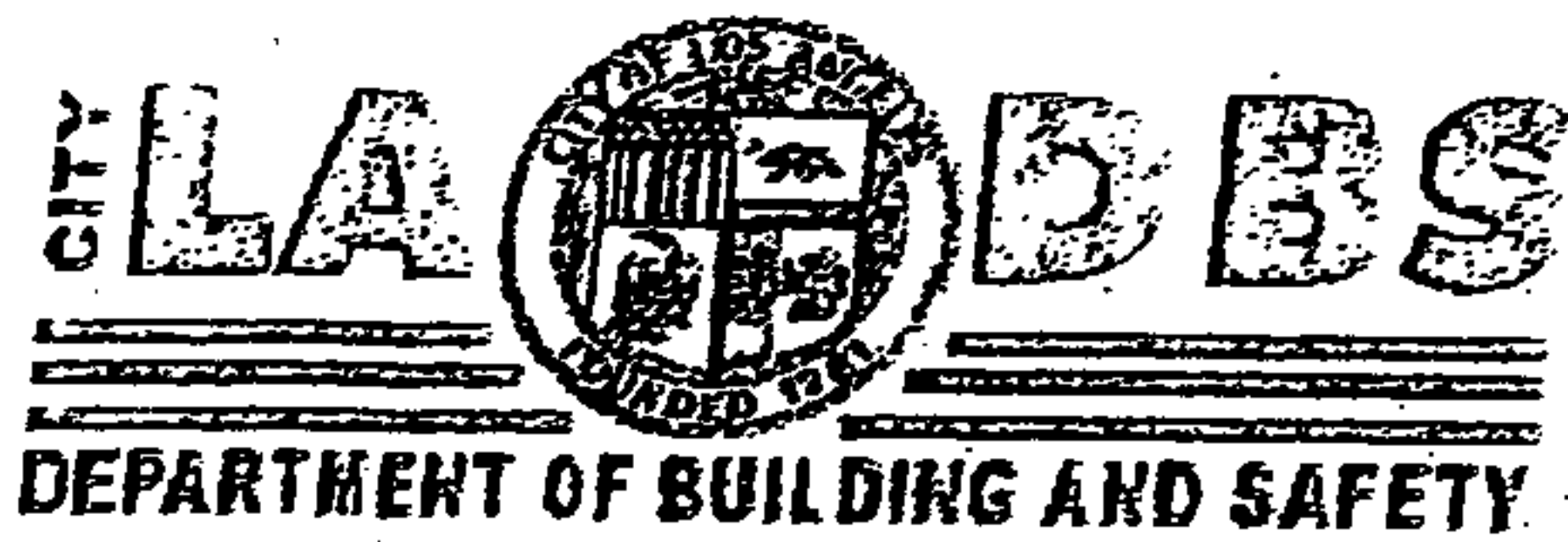
Print Name: **MOHAMMAD-TAGHDIRI**Sign: Date: **01/31/2018**

Owner



Authorized Agent





# AFFIRMATION OF POSTING FOR DEMOLITION OF EXISTING BUILDINGS OR STRUCTURES

LAMC Section 91.106.4.5.1

Project Address: 4059 1/4 - 4 1/4 Oakwood Ave Demolition Permit #: 17019 - 20000 - 05036

## Affirmation of Posting

The Los Angeles Municipal Code (LAMC) Section 91.106.4.5.1 requires posting of a notice prior to the issuance of a permit for demolition of an existing building or structure for which the original building permit was issued more than 45 years prior to the date of submittal of the application for demolition preinspection, or where information submitted with the application indicates that the building or structure is more than 45 years old based on the date the application is submitted, the property shall be posted in a conspicuous place near the entrance of the property where demolition will occur, with a public notice of the application for demolition preinspection.

I hereby affirm that the property located at 4059 1/4 to 4 1/4 Oakwood Ave was posted on 10/27/17 (mm/dd/yyyy) in accordance with LAMC 91.106.4.5.1 at least 30 days prior to the issuance of this permit for demolition of the existing building(s) or structure(s).

Print Name: Mohand Taghdori

Signature: [Signature] Date: 12-12-17

Please check one: ☒ Owner, ☐ Contractor, ☐ Authorized Agent for owner/contractor

## FOR DEPARTMENT USE ONLY

DPI Application #: 17019 - 20000 - 04635 Date notification letters mailed: 10-27-17

Note: Verify notification and posting were completed at least 30 days prior to demolition permit issuance.

Reviewed by (print name): OMID HEDAYAT Signature: [Signature]



Address:

4059 1/4 - 4059 1/4 W Oakwood Ave



Application #:

17019-20000-05036

Printed: 08/26/16 12:04 PM

City of Los Angeles - Department of Building and Safety

**Attachment to Application for Demolition Permit:  
Notice and Owner's Declaration Related to CEQA and Project  
Scope**

**I. Notice to Owner**

*If you are applying for a demolition permit to facilitate the construction or development of the project site, you may be referred to the Planning Department for further assistance.*

The California Environmental Quality Act (CEQA) directs public agencies to assess and disclose the environmental effects of the projects it approves. In determining whether a proposed project is subject to CEQA, the City is required to consider all of the parts and phases of the project and may not limit its review to the specific permits or approvals sought. (Public Resources Code Section 21065) Failure by a project applicant to disclose future construction or development activities on the project site may result in a violation of CEQA. If the City determines that an application or approval is part of a larger undisclosed project, the City may revoke and/or stay any approvals until a full and complete CEQA analysis of the whole project is reviewed and an appropriate CEQA clearance is adopted or certified.

*Please contact the Planning Department if you have additional questions after reviewing this notice.*

**II. Owner's Project Information**

Based upon the above-stated rule, is the proposed demolition part of a larger development project at the demolition site, and if so, will the larger project require any discretionary approvals from the City? (Select "Yes" or "No," and follow the related instructions)

Yes ☒ A CEQA clearance from the Planning Department will be required prior to the issuance of the demolition permit for the proposed project. Return this form to a Department of Building and Safety Plan Check Engineer at the time of plan check.

No ☐ Sign and notarize the signature at the bottom of the form and return the notarized form to a Department of Building and Safety Plan Check Engineer at the time of plan check.

**III. Owner's Declaration**

I own the property located at \_\_\_\_\_, I have read the above "Notice to Owner." I understand that a "project," as defined by CEQA, is the whole of the proposed activity and is not limited to the demolition subject to this application. I further understand that CEQA prohibits treatment of each separate approval as a separate project for purposes of evaluating environmental impacts. I acknowledge and understand that should the City determine that the demolition proposed is part of a larger project requiring any discretionary permits, the City may revoke and/or stay any approvals (including certificates of occupancy) until a full and complete CEQA analysis is prepared and clearance is adopted or certified.

I certify that (i) the demolition authorized by this permit is not to facilitate the construction or development of a larger project at the project site, or (ii) the demolition is part of a larger project and, after using all reasonable efforts, including consulting with the City Planning Department, I have determined there are no discretionary permits required for the project, including but not limited to haul route permits, permits to remove protected trees, historic resource review, or any discretionary zoning or map approvals.

Date \_\_\_\_\_ Name of the Owner (Print) Mohammad Teghdan  
OAK WOOD PROJECT, LLC

Signature [Signature]

(See page 2 of 2 For Notary Acknowledgment)





Application #:

Printed: 08/26/16 12:04 PM

City of Los Angeles - Department of Building and Safety  
Attachment to Application for Demolition Permit:  
Notice and Owner's Declaration Related to CEQA and Project  
Scope

## ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

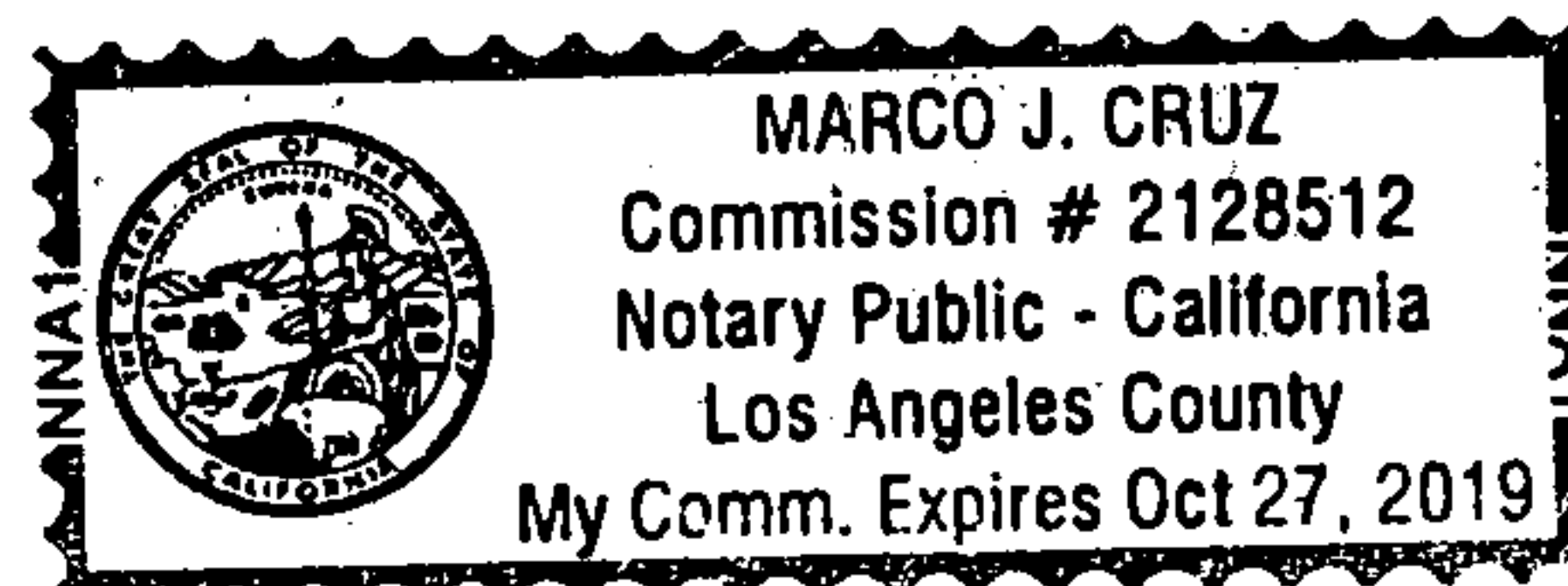
On 12/14/17 before me, Marco J. Cruz, notary  
(insert name and title of the officer)

personally appeared Mohammad Taghdiri  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/~~she/they~~ executed the same in his/~~her/their~~ authorized capacity(ies), and that by his/~~her/their~~ signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

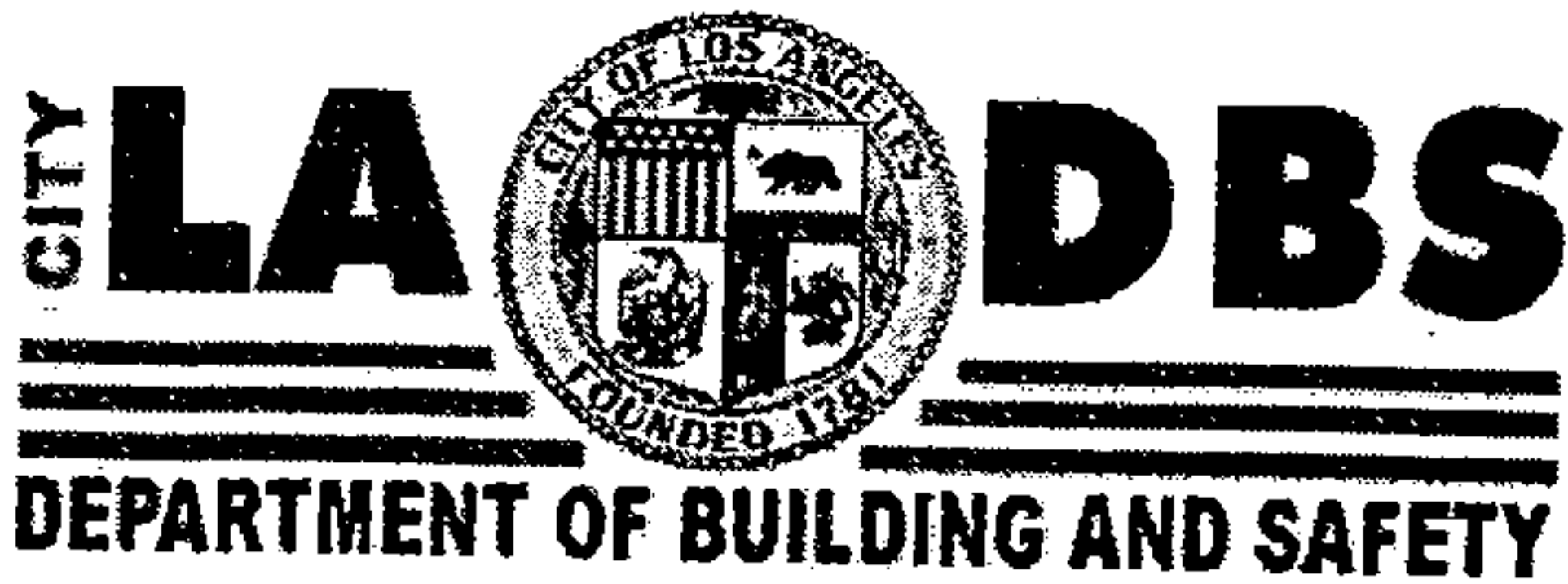
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Marco J. Cruz (Seal)







OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF  
INFORMATION

(OWNER-BUILDER DECLARATION, cont.)

Application Number: 17019-20K-05036

Project Address: 4059 1/4 - 4059 4/4 W Oakwood Ave

N.F. 10. I am aware of and consent to an Owner-Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity at the following address: 5059 1/4 - 4059 4/4 W Oakwood Ave

N.T. 11. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern Owner-Builders as well as employers.

N.T. 12. I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form. Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed Contractors may be in civil court. It is also important for you to understand that if an unlicensed Contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner-Builder and wish to hire Contractors, you will be responsible for verifying whether or not those Contractors are properly licensed and the status of their workers' compensation insurance coverage. Before a building permit can be issued, this form must be completed and signed by the property owner and returned to the agency responsible for issuing the permit.

Note: A copy of the property owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.

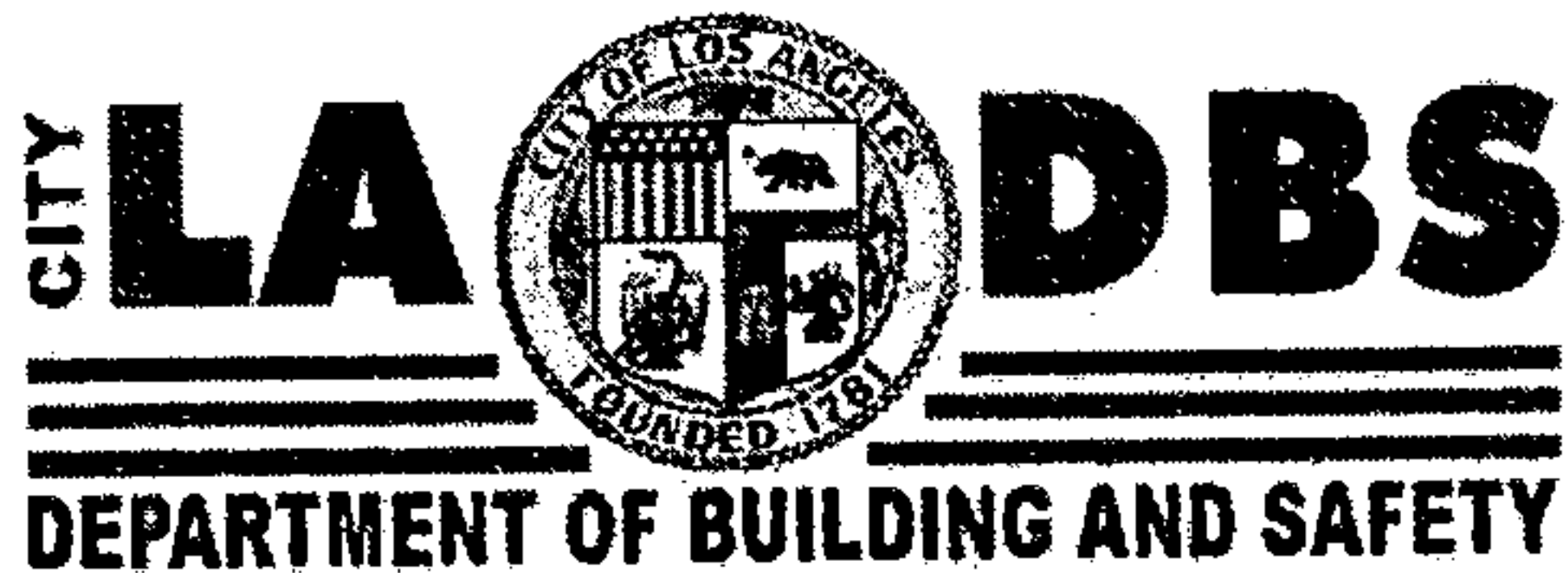
Owner's Name: OAK WOOD Prop. L.L.C

Signature of property owner

[Signature] Date: 1-31-18

SEC. 3. Section 19830 of the Health and Safety Code is repealed.  
SEC. 4. Section 19831 of the Health and Safety Code is repealed.  
SEC. 5. Section 19832 of the Health and Safety Code is repealed.





## OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF INFORMATION

### (OWNER-BUILDER DECLARATION)

Application Number: 17019-20K-05036

Project Address: 4059 1/4 - 4059 1/4 W Oakwood Ave

DIRECTIONS: Read and initial each statement below to signify you understand or verify this information.

- M.T 1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.
- N.T 2. I understand building permits are not required to be signed by property owners unless they are *responsible* for the construction and are not hiring a licensed Contractor to assume this responsibility.
- N.T 3. I understand as an "Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.
- N.T 4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.
- N.T 5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.
- N.T 6. I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.
- N.T 7. I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless *all* work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.
- N.T 8. I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.
- N.T 9. I understand I may obtain more information regarding my obligations as an "employer" from the Internal Revenue Service, the United States Small Business Administration, the California Department of Benefit Payments, and the California Division of Industrial Accidents. I also understand I may contact the California Contractors' State License Board (CSLB) at 1-800-321-CSLB (2752) or [www.cslb.ca.gov](http://www.cslb.ca.gov) for more information about licensed contractors.



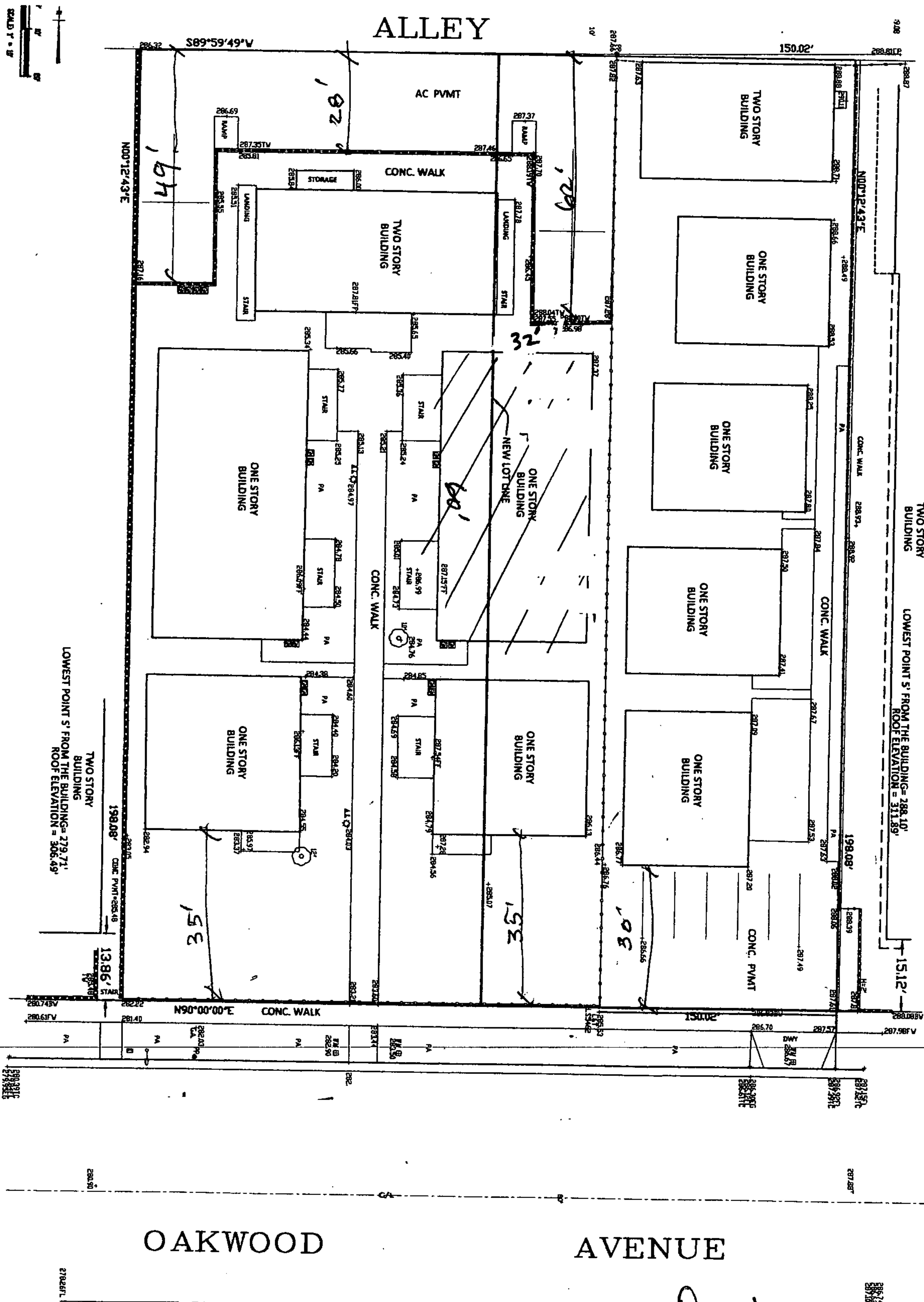
Permit Application #: **17019 - 20000 - 05036**

**Plan Check #: B17VN18105**

Initiating Office: VAN NUYS

Printed on: 12/19/17 10:11:52

# PLOT PLAN ATTACHMENT


$$A^N$$

01-31-18



4063 1/4 - 4063 4/4 W Oakwood Ave



Permit #:

17019 - 20000 - 05039

Plan Check #: B17VN18105

Printed: 01/31/18 03:28 PM

Event Code:

Bldg-Demolition 1 or 2 Family Dwelling Appointment Plan Check Plan Check	City of Los Angeles - Department of Building and Safety <b>APPLICATION FOR INSPECTION TO DEMOLISH BUILDING OR STRUCTURE</b>	Issued on: 01/31/2018 Last Status: Issued Status Date: 01/31/2018
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<b>1. TRACT</b>	<b>BLOCK</b>	<b>LOT(s)</b>	<b>ARB</b>	<b>COUNTY MAP REF #</b>	<b>PARCEL ID # (PIN #)</b>	<b>2. ASSESSOR PARCEL #</b>
RE-SUBDIVISION OF BLOCK C, C		10		M B 6-33	138B197 31	5520 - 017 - 010

<b>3. PARCEL INFORMATION</b> Area Planning Commission - Central LADBS Branch Office - LA Bldg. Line - 15 Council District - 13 Certified Neighborhood Council - Wilshire Center - Koreatown	Community Plan Area - Wilshire Census Tract - 1926.20 District Map - 138B197 Energy Zone - 9 Methane Hazard Site - Methane Buffer Zone	Near Source Zone Distance - 1.7 Thomas Brothers Map Grid - 594-A7
ZONES(S): R3-1		

<b>4. DOCUMENTS</b> ZI - ZI-2374 LOS ANGELES STATE ENTER SPA - Vermont / Western Station Neighborhood ZI - ZI-2427 FWY Adj Advisory Notice for Se ZI - ZI-2452 Transit Priority Area in the Cit TNI - East Hollywood	ORD - ORD-173799 ORD - ORD-161116-SA20 ORD - ORD-165331-SA6300 ORD - ORD-173749	ORD - ORD-184888 ORD - ORD-184271 ORD - ORD-184385 ORD - ORD-184414	ORD - ORD-184888 ORD - ORD-65086 CPC - CPC-1984-1-HD CPC - CPC-1986-823-GPC
--	--	--	--

<b>5. CHECKLIST ITEMS</b> Sewer Cap - Permit Required
--

<b>6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION</b> Owner(s): OAK WOOD PROPERTIES LLC 423 16TH ST, LOS ANGELES CA 90015 -- Tenant:  Applicant: (Relationship: Agent for Owner) MOHAMMAD TAGHDIRI - 19051 NASHVILLE ST, PORTER RANCH, CA 91326 -- (310) 387-1388
---

For Cashier's Use Only W/O #: 71905039

<b>7. EXISTING USE</b> (05) Apartment	<b>PROPOSED USE</b> (23) Demolition
--	--

<b>8. DESCRIPTION OF WORK</b> DEMO (E) APARTMENT BUILDING. SEWER CAP FEE UNDER SEPARATE PERMIT. CLEAR AND FENCE THE LOT.
--

<b>9. # Bldgs on Site &amp; Use:</b> DEMO 3 OF 10
---

<b>10. APPLICATION PROCESSING INFORMATION</b> BLDG. PC By: Omid Hedayat OK for Cashier: Omid Hedayat Signature: Date: 01/31/2018	DAS PC By: Coord. OK:
--	--------------------------

<b>11. PROJECT VALUATION</b> Final Fee Period
Permit Valuation: \$15,000 PC Valuation:
Sewer Cap ID: Total Bond(s) Due:

<b>12. ATTACHMENTS</b> CEQA Bldg Demolition Notice Demo Affirmation Posting	Owner-Builder Declaration Plot Plan
---	--

For inspection requests, call toll-free (888) LA4BUILD (524-2845). Outside LA County, call (213) 482-0000 or request inspections via <a href="http://www.ladbs.org">www.ladbs.org</a> . To speak to a Call Center agent, call 311. Outside LA County, call (213) 473-3231.
--

VN LAUR 203123104 1/31/2018 3:27:34 PM  
DEMO PERMIT \$227.50  
BUILDING PLAN CHECK \$146.25  
EI RESIDENTIAL \$1.95  
DEV SERV CENTER SURCH \$11.27  
SYSTEMS DEVT FEE \$22.54  
CITY PLANNING SURCH \$22.43  
MISCELLANEOUS \$10.00  
PLANNING GEN PLAN MAINT SURCH \$26.16  
CA BLDG STD COMMISSION SURCHARGE \$1.00  
BUILDING PLAN CHECK \$0.00

Sub Total: \$469.10

Permit #: 170192000005039  
Building Card #: 2018VN59587  
Receipt #: 0203489774



\* P 1 7 0 1 9 2 0 0 0 0 5 0 3 9 F N \*



**13. STRUCTURE INVENTORY**

(Note: Numeric measurement data in the format "number / number" implies "change in numeric value / total resulting numeric value")

**17019 - 20000 - 05039**

(P) Dwelling Unit: -4 Units / 0 Units  
(P) R2 Occ. Group: -1904 Sqft / 0 Sqft

**14. APPLICATION COMMENTS:**

DPI: 17019-20000-04635 Mailed: 10-27-17

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless the information printed exceeds that required by section 19825 of the Health and Safety Code of the State of California.

**15. BUILDING RELOCATED FROM:****16. CONTRACTOR, ARCHITECT & ENGINEER NAME****ADDRESS****CLASS****LICENSE #****PHONE #**

(O) OWNER-BUILDER

0

**PERMIT EXPIRATION/REFUNDS:** This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

**17. OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the following reason (Section 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☒ I, as the owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year from completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

OR

☐ I, as the owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

**18. WORKERS' COMPENSATION DECLARATION**

I hereby affirm, under penalty of perjury, one of the following declarations:

☒ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: \_\_\_\_\_ Policy Number: \_\_\_\_\_

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

**WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.**

**19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING**

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at [www.aqmd.gov](http://www.aqmd.gov). Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or [www.dhs.ca.gov/childlead](http://www.dhs.ca.gov/childlead).

**20. FINAL DECLARATION**

I certify that I have read this application **INCLUDING THE ABOVE DECLARATIONS** and state that the above information **INCLUDING THE ABOVE DECLARATIONS** is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

**By signing below, I certify that:**

- (1) I accept all the declarations above namely the Owner-Builder Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

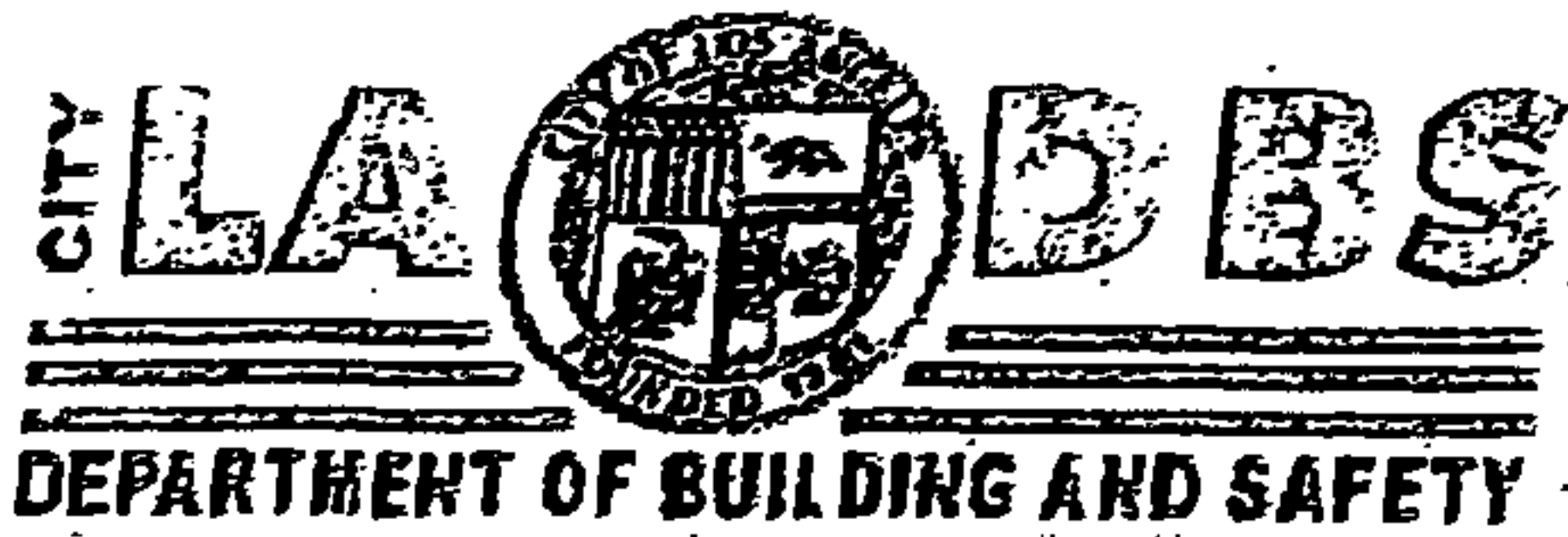
Print Name: **MOHAMMAD-TAGHDIRI**Sign: Date: **01/31/2018**

Owner



Authorized Agent





# AFFIRMATION OF POSTING FOR DEMOLITION OF EXISTING BUILDINGS OR STRUCTURES

LAMC Section 91.106.4.5.1

Project Address: 4063 1/4 - 414 Oakwood Ave Demolition Permit #: 17019 - 20000 - 05039

## Affirmation of Posting

The Los Angeles Municipal Code(LAMC) Section 91.106.4.5.1 requires posting of a notice prior to the issuance of a permit for demolition of an existing building or structure for which the original building permit was issued more than 45 years prior to the date of submittal of the application for demolition preinspection, or where information submitted with the application indicates that the building or structure is more than 45 years old based on the date the application is submitted, the property shall be posted in a conspicuous place near the entrance of the property where demolition will occur, with a public notice of the application for demolition preinspection.

I hereby affirm that the property located at 4063 1/4 to 4065 1/4 Oakwood was posted on 10-27-17 (mm/dd/yyyy) in accordance with LAMC 91.106.4.5.1 at least 30 days prior to the issuance of this permit for demolition of the existing building(s) or structure(s).

Print Name: Mohammed Tayeb

Signature: [Signature] Date: 12/12/17

Please check one: ☒ Owner, ☐ Contractor, ☐ Authorized Agent for owner/contractor

## FOR DEPARTMENT USE ONLY

DPI Application #: 17019 - 20000 - 04635 Date notification letters mailed: 10-27-17

Note: Verify notification and posting were completed at least 30 days prior to demolition permit issuance.

Reviewed by (print name): OMID HEDAYAT Signature: [Signature]



4063 1/4 - 1/4 W Oakwood Ave



Application #: 17019 - 20000 - 05039

Printed: 10/27/17 11:38 AM

City of Los Angeles - Department of Building and Safety  
Attachment to Application for Demolition Permit:  
Notice and Owner's Declaration Related to CEQA  
and Project Scope

## ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California  
County of Los Angeles

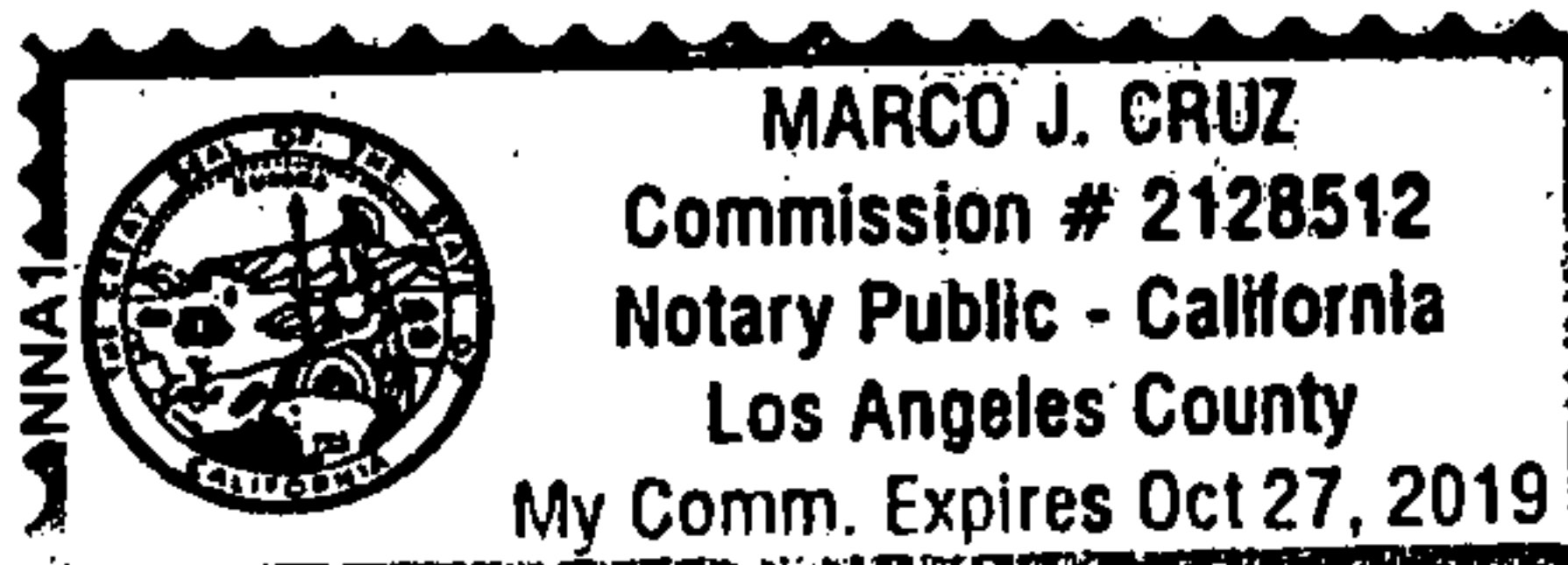
On 11/27/17 before me, Marco J. Cruz, notary  
(insert name and title of the officer)

personally appeared Mohammad Taghdiri  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Marco J. Cruz (Seal)







City of Los Angeles - Department of Building and Safety  
**Attachment to Application for Demolition Permit:  
Notice and Owner's Declaration Related to CEQA  
and Project Scope**

**I. Notice to Owner**

*If you are applying for a demolition permit to facilitate the construction or development of the project site, you may be referred to the Planning Department for further assistance.*

The California Environmental Quality Act (CEQA) directs public agencies to assess and disclose the environmental effects of the projects it approves. In determining whether a proposed project is subject to CEQA, the City is required to consider all of the parts and phases of the project and may not limit its review to the specific permits or approvals sought. (Public Resources Code Section 21065) Failure by a project applicant to disclose future construction or development activities on the project site may result in a violation of CEQA. If the City determines that an application or approval is part of a larger undisclosed project, the City may revoke and/or stay any approvals until a full and complete CEQA analysis of the whole project is reviewed and an appropriate CEQA clearance is adopted or certified.

*Please contact the Planning Department if you have additional questions after reviewing this notice.*

**II. Owner's Project Information**

Based upon the above-stated rule, is the proposed demolition part of a larger development project at the demolition site, and if so, will the larger project require any discretionary approvals from the City? (Select "Yes" or "No," and follow the related instructions)

Yes ☐ A CEQA clearance from the Planning Department will be required prior to the issuance of the demolition permit for the proposed project. Return this form to a Department of Building and Safety Plan Check Engineer at the time of plan check.

No ☒ Sign and notarize the signature at the bottom of the form and return the notarized form to a Department of Building and Safety Plan Check Engineer at the time of plan check.

**III. Owner's Declaration**

I own the property located at 4063 1/2 - 4065 1/4 OAK WOOD AVE. I have read the above "Notice to Owner." I understand that a "project," as defined by CEQA, is the whole of the proposed activity and is not limited to the demolition subject to this application. I further understand that CEQA prohibits treatment of each separate approval as a separate project for purposes of evaluating environmental impacts. I acknowledge and understand that should the City determine that the demolition proposed is part of a larger project requiring any discretionary permits, the City may revoke and/or stay any approvals (including certificates of occupancy) until a full and complete CEQA analysis is prepared and clearance is adopted or certified.

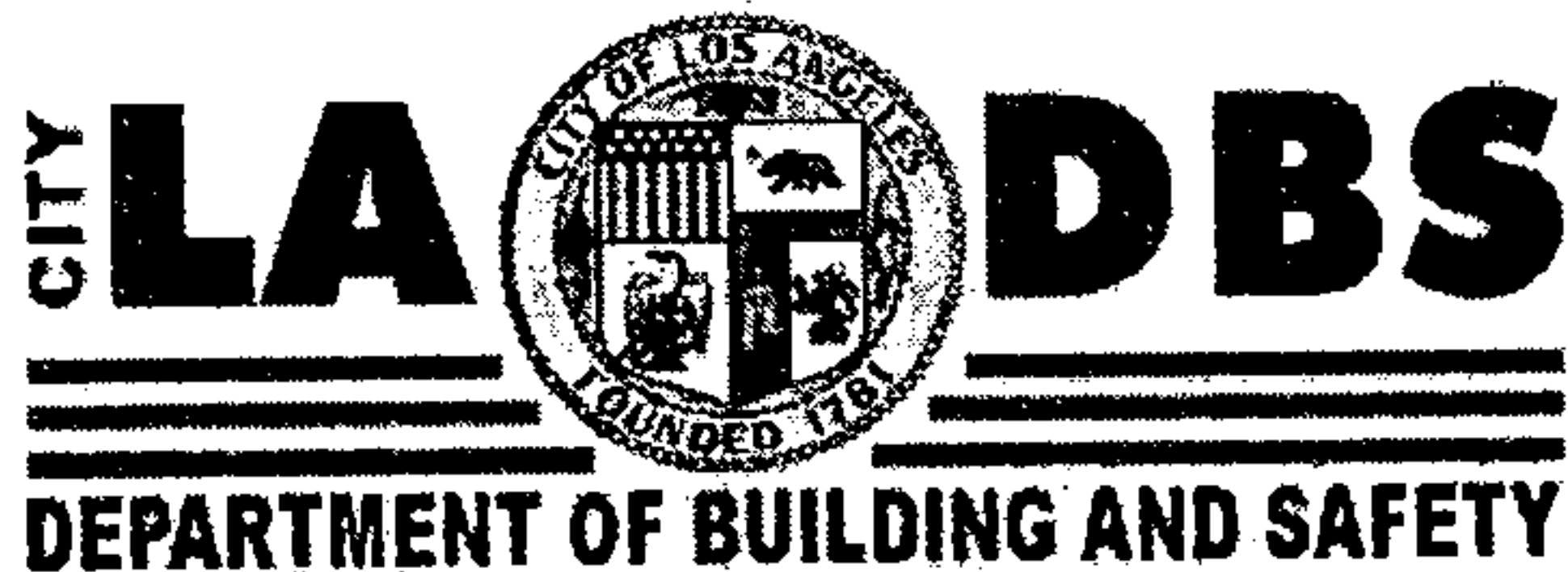
I certify that (i) the demolition authorized by this permit is not to facilitate the construction or development of a larger project at the project site, or (ii) the demolition is part of a larger project and, after using all reasonable efforts, including consulting with the City Planning Department, I have determined there are no discretionary permits required for the project, including but not limited to haul route permits, permits to remove protected trees, historic resource review, or any discretionary zoning or map approvals.

Date 11/27/17 Name of the Owner (Print) OAK WOOD Prop. LLC

Signature 

(See page 2 of 2 For Notary Acknowledgment)





## OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF INFORMATION

### (OWNER-BUILDER DECLARATION)

Application Number: 17019-20K-05039

Project Address: 4063 1/4 - 4063 1/4 W Oakwood Ave

DIRECTIONS: Read and initial each statement below to signify you understand or verify this information.

M.T 1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

n.t 2. I understand building permits are not required to be signed by property owners unless they are *responsible* for the construction and are not hiring a licensed Contractor to assume this responsibility.

n.t 3. I understand as an "Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.

n.t 4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.

n.t 5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.

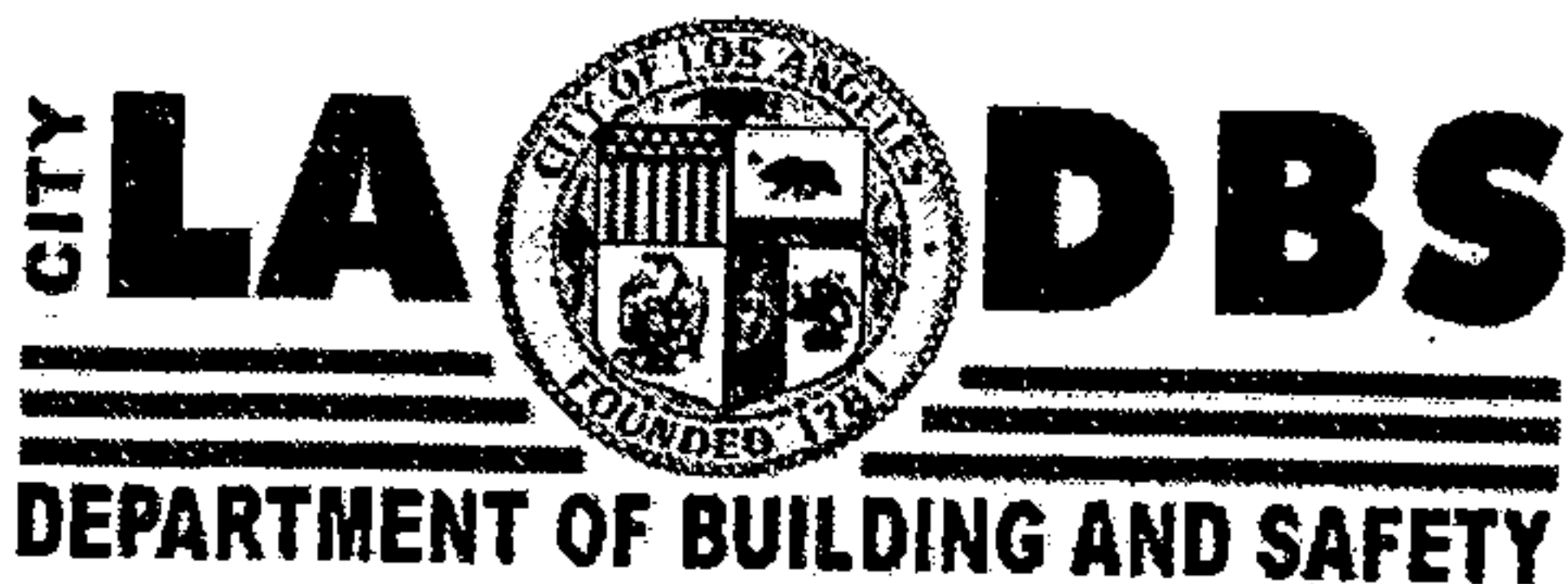
n.t 6. I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.

n.t 7. I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless *all* work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.

n.t 8. I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.

n.t 9. I understand I may obtain more information regarding my obligations as an "employer" from the Internal Revenue Service, the United States Small Business Administration, the California Department of Benefit Payments, and the California Division of Industrial Accidents. I also understand I may contact the California Contractors' State License Board (CSLB) at 1-800-321-CSLB (2752) or [www.cslb.ca.gov](http://www.cslb.ca.gov) for more information about licensed contractors.





OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF  
INFORMATION

(OWNER-BUILDER DECLARATION, cont.)

Application Number: 17019-20000-03039

Project Address: 4063 1/4 - 4063 1/4  
W Oakwood Ave

N.F. 10. I am aware of and consent to an Owner-Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity at the following address: W Oakwood Ave

N.T. 11. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern Owner-Builders as well as employers.

N.T. 12. I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form. Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed Contractors may be in civil court. It is also important for you to understand that if an unlicensed Contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner-Builder and wish to hire Contractors, you will be responsible for verifying whether or not those Contractors are properly licensed and the status of their workers' compensation insurance coverage. Before a building permit can be issued, this form must be completed and signed by the property owner and returned to the agency responsible for issuing the permit.

Note: A copy of the property owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.

Owner's Name: OAK WOOD Prop. L.L.C.

Signature of property owner [Signature] Date: 1-31-18

SEC. 3. Section 19830 of the Health and Safety Code is repealed.  
SEC. 4. Section 19831 of the Health and Safety Code is repealed.  
SEC. 5. Section 19832 of the Health and Safety Code is repealed.

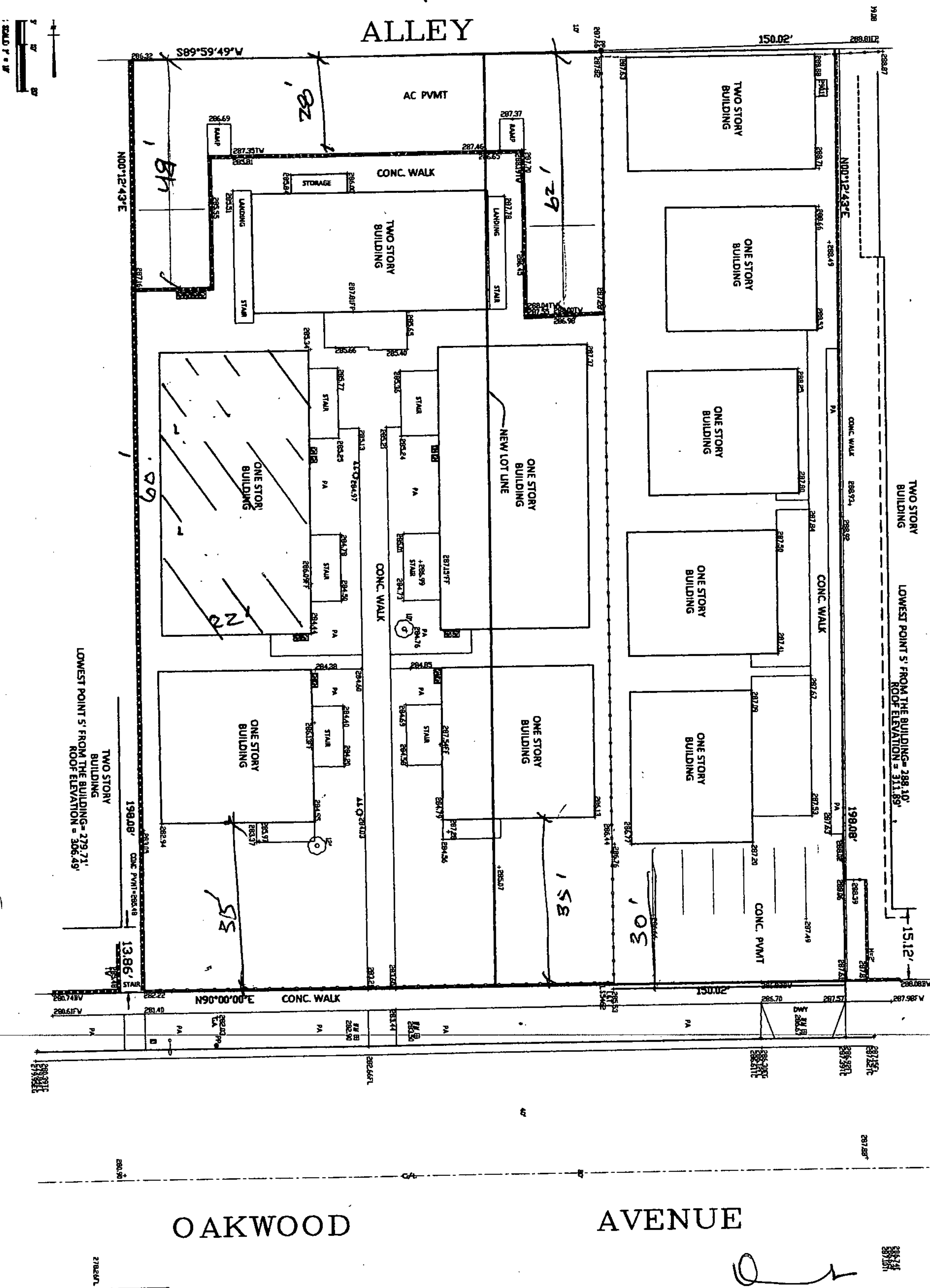


Bldg-Demolition  
1 or 2 Family Dwelling  
Plan Check

City of Los Angeles - Department of Building and Safety

Plan Check #: B17VN18105  
Initiating Office: VAN NUYS  
Printed on: 12/19/17 09:50:26

PLOT PLAN ATTACHMENT





**17019 - 20000 - 05040**

Printed: 01/31/18 03:28 PM

Event Code:

Bldg-Demolition	City of Los Angeles - Department of Building and Safety	Issued on: 01/31/2018
1 or 2 Family Dwelling	<b>APPLICATION FOR INSPECTION TO</b>	Last Status: Issued
Appointment Plan Check	<b>DEMOLISH BUILDING OR STRUCTURE</b>	Status Date: 01/31/2018
Plan Check		

<u>1. TRACT</u>	<u>BLOCK</u>	<u>LOT(s)</u>	<u>ARB</u>	<u>COUNTY MAP REF #</u>	<u>PARCEL ID # (PIN #)</u>	<u>2. ASSESSOR PARCEL #</u>
RE-SUBDIVISION OF BLOCK C, C		9		M B 6-33	138B197 30	5520 - 017 - 010
RE-SUBDIVISION OF BLOCK C, C		10		M B 6-33	138B197 31	5520 - 017 - 010

3. <u>PARCEL INFORMATION</u>		
Area Planning Commission - Central	Community Plan Area - Wilshire	Near Source Zone Distance - 1.7
LADBS Branch Office - LA	Census Tract - 1926.20	Thomas Brothers Map Grid - 594-A7
Bldg. Line - 15	District Map - 138B197	
Council District - 13	Energy Zone - 9	
Certified Neighborhood Council - Wilshire Center - Koreatown	Methane Hazard Site - Methane Buffer Zone	

ZONES(S): R3-1

4. DOCUMENTS			
ZI - ZI-2374 LOS ANGELES STATE ENTER SPA - Vermont / Western Station Neighborhoo	ORD - ORD-173799		ORD - ORD-184888
ZI - ZI-2427 FWY Adj Advisory Notice for Se	ORD - ORD-161116-SA20	ORD - ORD-184271	ORD - ORD-65086
ZI - ZI-2452 Transit Priority Area in the Cit	ORD - ORD-165331-SA6300	ORD - ORD-184385	CPC - CPC-1984-1-HD
TNI - East Hollywood	ORD - ORD-173749	ORD - ORD-184414	CPC - CPC-1986-823-GPC


<p><b><u>5. CHECKLIST ITEMS</u></b></p> <p>Sewer Cap - Permit Required</p>	
--	--

<p><b><u>6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION</u></b></p> <p>Owner(s):  OAKWOOD PROPERTIES LLC  423 16TH ST, LOS ANGELES CA 90015 --</p> <p>Tenant:</p>   <p>Applicant: (Relationship: Agent for Owner)  MOHAMMAD TAGHDIRI -  19051 NASHVILLE ST, PORTER RANCH, CA 91326 -- (310) 387-1388</p>	<p><b>For Cashier's Use Only</b></p> <p><b>W/O #: 7190504</b></p>
---	---

<u>7. EXISTING USE</u>	<u>PROPOSED USE</u>
(05) Apartment	(23) Demolition

3. <u>DESCRIPTION OF WORK</u>
DEMO (E) APARTMENT BUILDING. SEWER CAP FEE PER SEPARATE PERMIT. CLEAR AND FENCE THE LOT.

9. # Bldgs on Site & Use:

<b>10. APPLICATION PROCESSING INFORMATION</b>		
BLDG. PC By: Omid Hedayat	DAS PC By:	VN LAUR 203123104 1/31/2018 3:28:12 PM
OK for Cashier: Omid Hedayat	Coord. OK:	DEMO PERMIT \$130.00
Signature: 	Date: 01/31/2018	BUILDING PLAN CHECK \$0.00

<b>11. PROJECT VALUATION</b>	Final Fee Period	EI RESIDENTIAL	\$0.50
<b>Permit Valuation:</b>	\$1,500	<b>PC Valuation:</b>	DEV SERV CENTER SURCH \$3.92
Sewer Cap ID:	Total Bond(s) Due:	SYSTEMS DEVT FEE	\$7.83
		CITY PLANNING SURCH	\$7.80

12. ATTACHMENTS			
CEQA Bldg Demolition Notice	Owner-Builder Declaration		
Demo Affirmation Posting	Plot Plan		

For inspection requests, call toll-free (888) LA4BUILD (524-2845). Outside LA County, call (213) 482-0000 or request inspections via [www.ladbs.org](http://www.ladbs.org). To speak to a Call Center agent, call 311. Outside LA County, call (213) 473-3231.

VN LAUR 203123104 1/31/2018 3:28:12 PM	
DEMO PERMIT	\$130.00
BUILDING PLAN CHECK	\$0.00
EI RESIDENTIAL	\$0.50
DEV SERV CENTER SURCH	\$3.92
SYSTEMS DEVT FEE	\$7.83
CITY PLANNING SURCH	\$7.80
MISCELLANEOUS	\$10.00
PLANNING GEN PLAN MAINT SURCH	\$9.10
CA BLDG STD COMMISSION SURCHARGE	\$1.00
BUILDING PLAN CHECK	\$0.00

Sub Total:	\$170.15
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Permit #: 170192000005040

Building Card #: 2018VN59588

Receipt #: 0203489775



\* P 1 7 0 1 9 2 0 0 0 0 0 5 0 4 0 F N \*



**13. STRUCTURE INVENTORY**

(Note: Numeric measurement data in the format "number / number" implies "change in numeric value / total resulting numeric value")

17019 - 20000 - 05040

(P) Dwelling Unit: -4 Units / 0 Units

(P) R2 Occ. Group: -1904 Sqft / 0 Sqft

**14. APPLICATION COMMENTS:**

DPI: 17019-20000-04635 Mailed: 10-27-17

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless the information printed exceeds that required by section 19825 of the Health and Safety Code of the State of California.

**15. BUILDING RELOCATED FROM:****16. CONTRACTOR, ARCHITECT & ENGINEER NAME****ADDRESS****CLASS****LICENSE #****PHONE #**

(O) OWNER-BUILDER

0

**PERMIT EXPIRATION/REFUNDS:** This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

**17. OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the following reason (Section 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☒ I, as the owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year from completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

OR

☐ I, as the owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

**18. WORKERS' COMPENSATION DECLARATION**

I hereby affirm, under penalty of perjury, one of the following declarations:

☒ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: \_\_\_\_\_ Policy Number: \_\_\_\_\_

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

**WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.**

**19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING**

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at [www.aqmd.gov](http://www.aqmd.gov). Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or [www.dhs.ca.gov/childlead](http://www.dhs.ca.gov/childlead).

**20. FINAL DECLARATION**

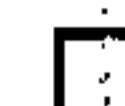
I certify that I have read this application INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

**By signing below, I certify that:**

- (1) I accept all the declarations above namely the Owner-Builder Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

Print Name: **MOHAMMAD-TAGHDIRI**Sign: Date: **01/31/2018**

Owner



Authorized Agent



Address: 4065 1/4, 4065 1/4  
OAK WOOD AVE



Application #: 17019-Z8100-05040

Printed: 08/26/16 12:04 PM

City of Los Angeles - Department of Building and Safety  
Attachment to Application for Demolition Permit:  
Notice and Owner's Declaration Related to CEQA and Project  
Scope

**I. Notice to Owner**

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The California Environmental Quality Act (CEQA) directs public agencies to assess and disclose the environmental effects of the projects it approves. In determining whether a proposed project is subject to CEQA, the City is required to consider all of the parts and phases of the project and may not limit its review to the specific permits or approvals sought. (Public Resources Code Section 21065) Failure by a project applicant to disclose future construction or development activities on the project site may result in a violation of CEQA. If the City determines that an application or approval is part of a larger undisclosed project, the City may revoke and/or stay any approvals until a full and complete CEQA analysis of the whole project is reviewed and an appropriate CEQA clearance is adopted or certified.

Please contact the Planning Department if you have additional questions after reviewing this notice.

**II. Owner's Project Information**

Based upon the above-stated rule, is the proposed demolition part of a larger development project at the demolition site, and if so, will the larger project require any discretionary approvals from the City? (Select "Yes" or "No," and follow the related instructions)

Yes ☐ A CEQA clearance from the Planning Department will be required prior to the issuance of the demolition permit for the proposed project. Return this form to a Department of Building and Safety Plan Check Engineer at the time of plan check.

No ☒ Sign and notarize the signature at the bottom of the form and return the notarized form to a Department of Building and Safety Plan Check Engineer at the time of plan check.

**III. Owner's Declaration**

I own the property located at 4065 1/4, 4065 1/4, OAK WOOD AVE. I have read the above "Notice to Owner." I understand that a "project," as defined by CEQA, is the whole of the proposed activity and is not limited to the demolition subject to this application. I further understand that CEQA prohibits treatment of each separate approval as a separate project for purposes of evaluating environmental impacts. I acknowledge and understand that should the City determine that the demolition proposed is part of a larger project requiring any discretionary permits, the City may revoke and/or stay any approvals (including certificates of occupancy) until a full and complete CEQA analysis is prepared and clearance is adopted or certified.

I certify that (i) the demolition authorized by this permit is not to facilitate the construction or development of a larger project at the project site, or (ii) the demolition is part of a larger project and, after using all reasonable efforts, including consulting with the City Planning Department, I have determined there are no discretionary permits required for the project, including but not limited to haul route permits, permits to remove protected trees, historic resource review, or any discretionary zoning or map approvals.

Date \_\_\_\_\_

Name of the Owner (Print) \_\_\_\_\_

Mohammed Taghdar  
OAK WOOD Prop. Co. LLC

Signature \_\_\_\_\_

(See page 2 of 2 For Notary Acknowledgment)





Application #:

Printed: 08/26/16 12:04 PM

City of Los Angeles - Department of Building and Safety  
Attachment to Application for Demolition Permit:  
Notice and Owner's Declaration Related to CEQA and Project  
Scope

## ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

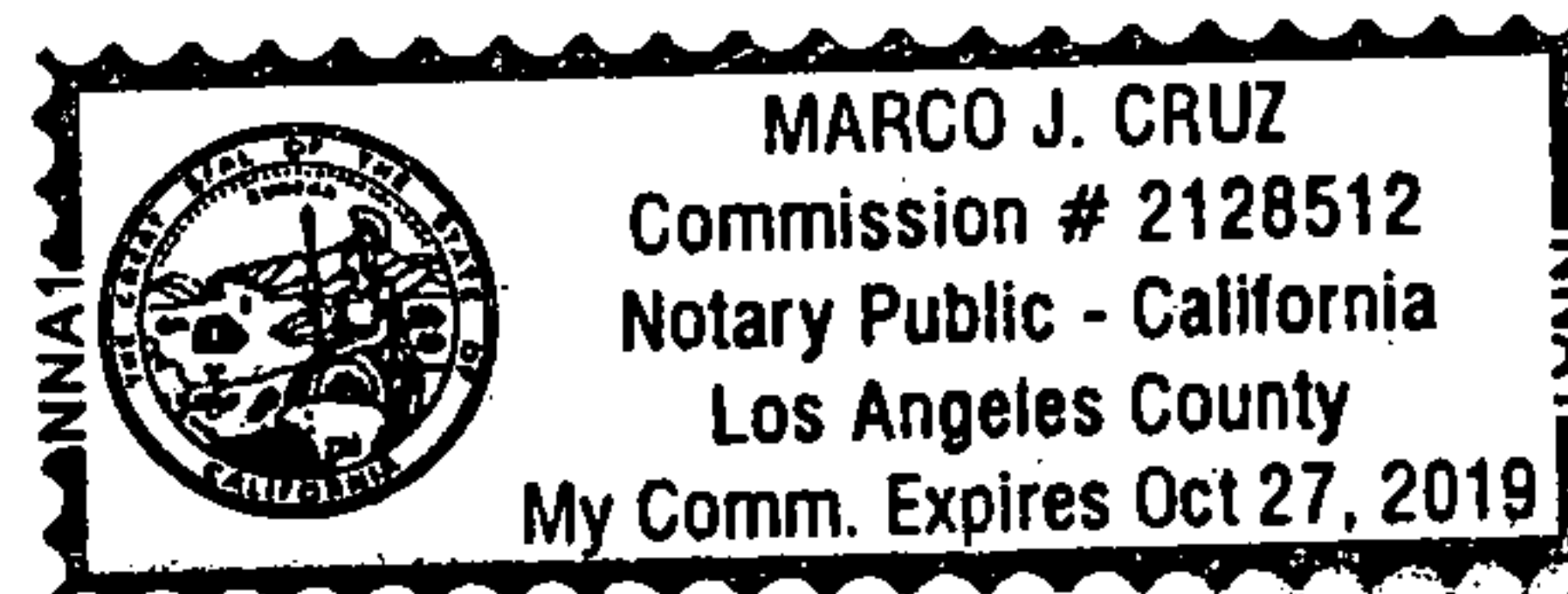
On 12/14/17 before me, Marco J. Cruz, notary  
(insert name and title of the officer)

personally appeared Mohammad Taghdiri  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Signature] (Seal)





Project Address: 4065 1/4, 4065 1/4 Demolition Permit #: 17019-20000-05040  
DAK WOOD AVE

### Affirmation of Posting

The Los Angeles Municipal Code (LAMC) Section 91.106.4.5.1 requires posting of a notice prior to the issuance of a permit for demolition of an existing building or structure for which the original building permit was issued more than 45 years prior to the date of submittal of the application for demolition preinspection, or where information submitted with the application indicates that the building or structure is more than 45 years old based on the date the application is submitted, the property shall be posted in a conspicuous place near the entrance of the property where demolition will occur, with a public notice of the application for demolition preinspection.

I hereby affirm that the property located at 4065 1/4, 4065 1/4 DAK WOOD AVE was posted on 10-27-17 (mm/dd/yyyy) in accordance with LAMC 91.106.4.5.1 at least 30 days prior to the issuance of this permit for demolition of the existing building(s) or structure(s).

Print Name: Mohammed Taphdar

Signature: [Signature] Date: 12-12-17

Please check one: ☒ Owner, ☐ Contractor, ☐ Authorized Agent for owner/contractor

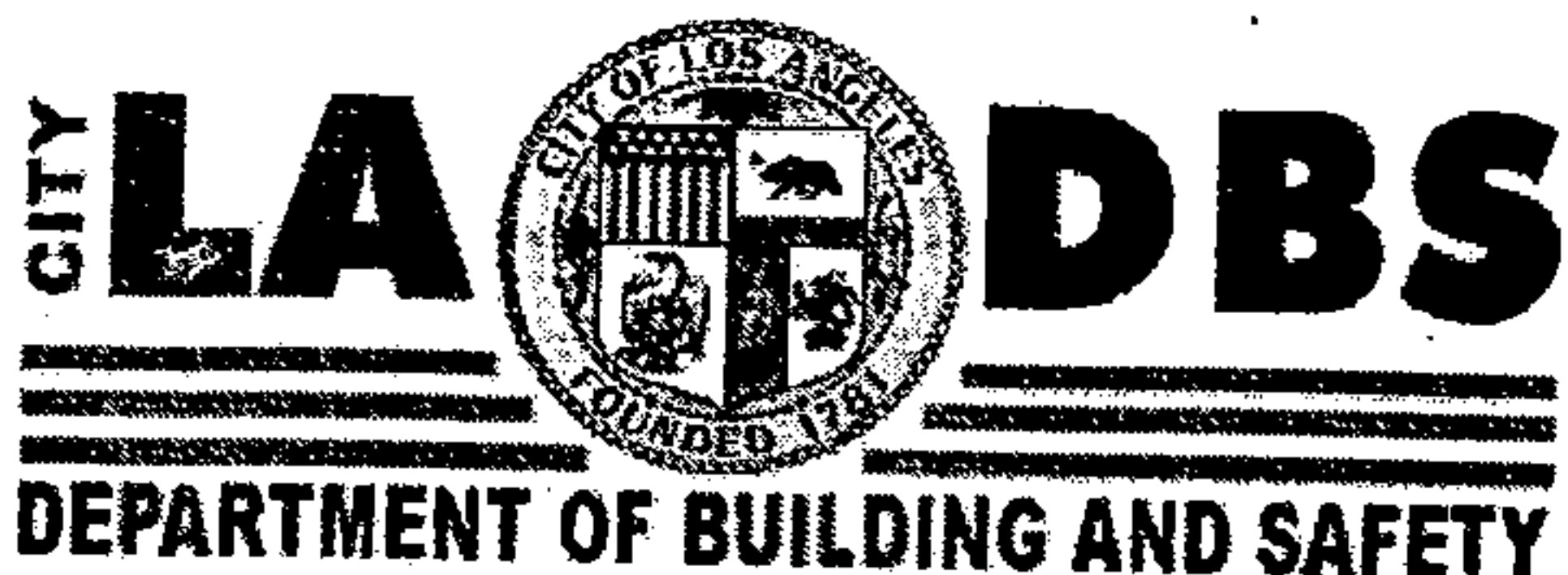
### FOR DEPARTMENT USE ONLY

DPI Application #: 17019-20000-04635 Date notification letters mailed: 10-27-17

Note: Verify notification and posting were completed at least 30 days prior to demolition permit issuance.

Reviewed by (print name): OMID KEDAYAT Signature: [Signature]





OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF  
INFORMATION

(OWNER-BUILDER DECLARATION, cont.)

Application Number: 17019-20000-05040

Project Address: 4065 1/4 - 4065 1/4 W Oakwood Ave

N 10. I am aware of and consent to an Owner-Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity at the following address: 4065 1/4 - 4065 1/4 W Oakwood Ave

N 11. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern Owner-Builders as well as employers.

N 12. I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form. Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed Contractors may be in civil court. It is also important for you to understand that if an unlicensed Contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner-Builder and wish to hire Contractors, you will be responsible for verifying whether or not those Contractors are properly licensed and the status of their workers' compensation insurance coverage. Before a building permit can be issued, this form must be completed and signed by the property owner and returned to the agency responsible for issuing the permit.

Note: A copy of the property owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.

Owner's Name: OAKWOOD Prop. L.L.C.

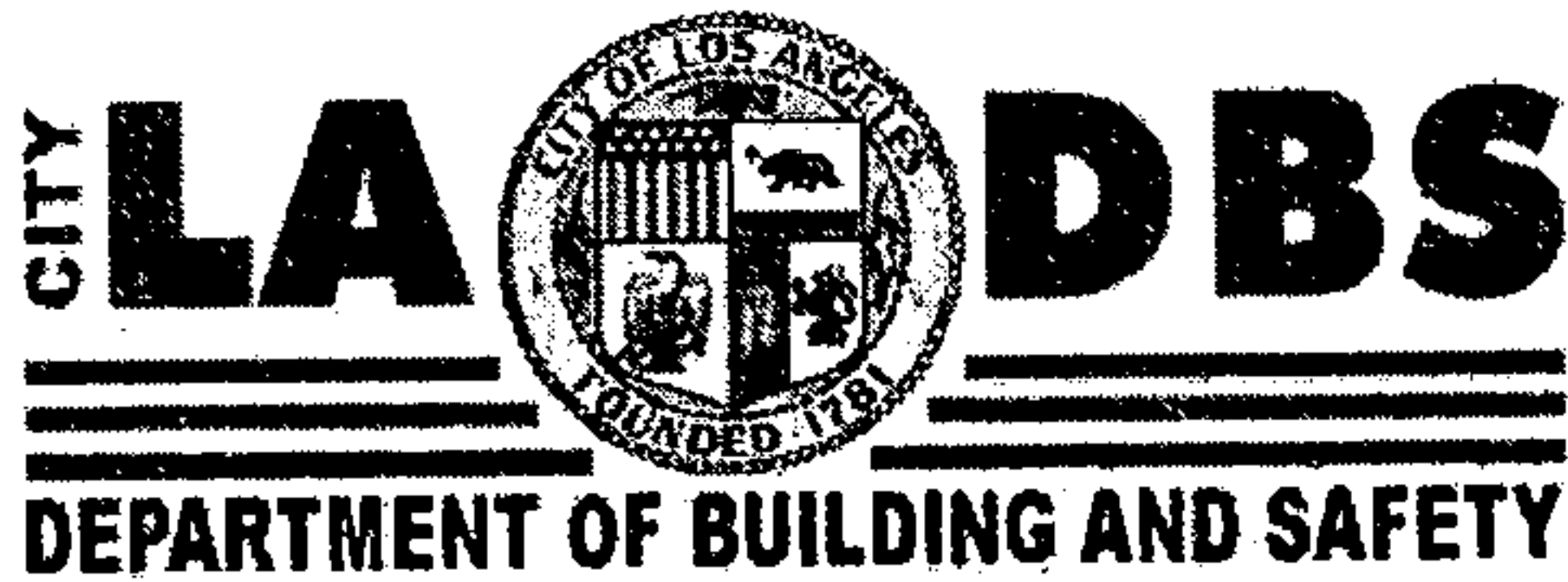
Signature of property owner [Signature] Date: 1-31-18

SEC. 3. Section 19830 of the Health and Safety Code is repealed.

SEC. 4. Section 19831 of the Health and Safety Code is repealed.

SEC. 5. Section 19832 of the Health and Safety Code is repealed.





## OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF INFORMATION

### (OWNER-BUILDER DECLARATION)

Application Number: 1 7019 - 20 000 - 0 50 40

Project Address: 4065 1/4 - 4065 1/4 W Oakwood Ave

DIRECTIONS: Read and initial each statement below to signify you understand or verify this information.

- M.T 1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.
- N.T 2. I understand building permits are not required to be signed by property owners unless they are *responsible* for the construction and are not hiring a licensed Contractor to assume this responsibility.
- N.T 3. I understand as an "Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.
- N.T 4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.
- N.T 5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.
- N.T 6. I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.
- N.T 7. I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless *all* work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.
- N.T 8. I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.
- N.T 9. I understand I may obtain more information regarding my obligations as an "employer" from the Internal Revenue Service, the United States Small Business Administration, the California Department of Benefit Payments, and the California Division of Industrial Accidents. I also understand I may contact the California Contractors' State License Board (CSLB) at 1-800-321-CSLB (2752) or [www.cslb.ca.gov](http://www.cslb.ca.gov) for more information about licensed contractors.



Permit Application # : **17019 - 20000 - 05040**

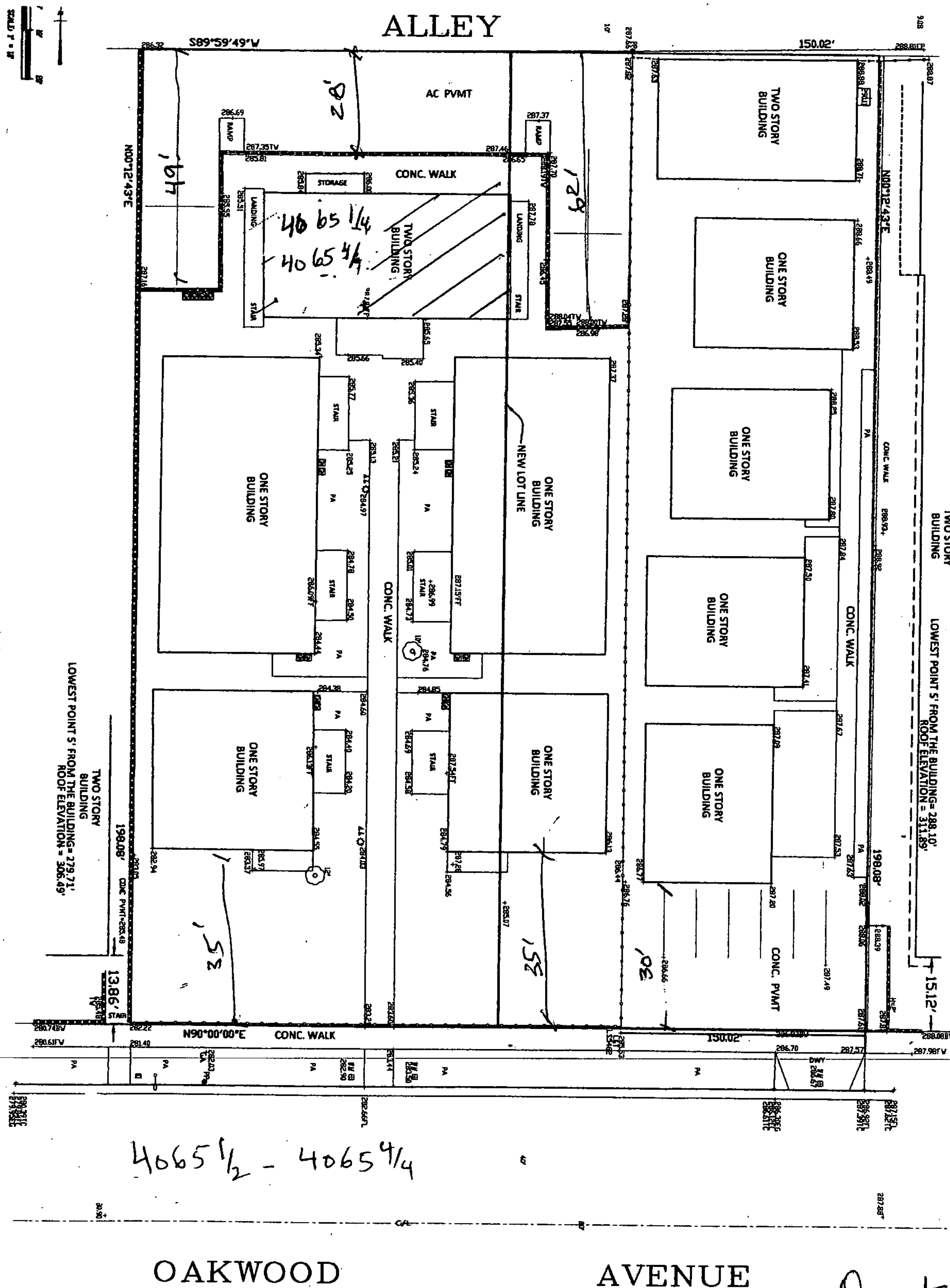
City of Los Angeles - Department of Building and Safety

Plan Check #: B17VN18105

Initiating Office: VAN NUYS

Printed on: 12/19/17 10:32:58

# PLOT PLAN ATTACHMENT



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(DO NOT DRAW, WRITE, OR PASTE ATTACHMENTS OUTSIDE BORDER)

$$4065\frac{1}{2} - 4065\frac{9}{4}$$

01-31-18 A N



4061 3/4 - 4061 4/4 W Oakwood Ave



Permit #:

17019 - 20000 - 05041

Plan Check #: B17VN18105

Printed: 01/31/18 03:26 PM

Event Code:

Bldg-Demolition 1 or 2 Family Dwelling Appointment Plan Check Plan Check	City of Los Angeles - Department of Building and Safety <b>APPLICATION FOR INSPECTION TO DEMOLISH BUILDING OR STRUCTURE</b>	Issued on: 01/31/2018 Last Status: Issued Status Date: 01/31/2018
---	--	---

<b>1. TRACT</b>	<b>BLOCK</b>	<b>LOT(s)</b>	<b>ARB</b>	<b>COUNTY MAP REF #</b>	<b>PARCEL ID # (PIN #)</b>	<b>2. ASSESSOR PARCEL #</b>
RE-SUBDIVISION OF BLOCK C, C		10		M B 6-33	138B197 31	5520 - 017 - 010

<b>3. PARCEL INFORMATION</b> Area Planning Commission - Central LADBS Branch Office - LA Bldg. Line - 15 Council District - 13 Certified Neighborhood Council - Wilshire Center - Koreatown	Community Plan Area - Wilshire Census Tract - 1926.20 District Map - 138B197 Energy Zone - 9 Methane Hazard Site - Methane Buffer Zone	Near Source Zone Distance - 1.7 Thomas Brothers Map Grid - 594-A7
ZONES(S): R3-1		

<b>4. DOCUMENTS</b> ZI - ZI-2374 LOS ANGELES STATE ENTER SPA - Vermont / Western Station Neighborhood ZI - ZI-2427 FWY Adj Advisory Notice for Se ZI - ZI-2452 Transit Priority Area in the Cit TNI - East Hollywood	ORD - ORD-173799 ORD - ORD-161116-SA20 ORD - ORD-165331-SA6300 ORD - ORD-173749	ORD - ORD-184888 ORD - ORD-184271 ORD - ORD-184385 ORD - ORD-184414	CPC - CPC-1984-1-HD CPC - CPC-1986-823-GPC
--	--	--	---

<b>5. CHECKLIST ITEMS</b> Sewer Cap - Permit Required
--

<b>6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION</b> Owner(s): OAKWOOD PROPERTIES LLC 423 16TH ST, LOS ANGELES CA 90015 -- Tenant:  Applicant: (Relationship: Agent for Owner) MOHAMMAD TAGHDIRI - 19051 NASHVILLE ST, PORTER RANCH, CA 91326 -- (310) 387-1388
--

For Cashier's Use Only W/O #: 71905041

<b>7. EXISTING USE</b> (02) Duplex	<b>PROPOSED USE</b> (23) Demolition
---------------------------------------	--

<b>8. DESCRIPTION OF WORK</b> DEMO (E) DUPLEX. CLEAR AND FENCE THE LOT.
--

<b>9. # Bldgs on Site &amp; Use:</b> DEMO 5 OF 10
---

<b>10. APPLICATION PROCESSING INFORMATION</b>	
BLDG. PC By: Omid Hedayat OK for Cashier: Omid Hedayat Signature:	DAS PC By: Coord. OK: Date: 01/31/2018

<b>11. PROJECT VALUATION</b> Final Fee Period	
Permit Valuation: \$3,100	PC Valuation:
Sewer Cap ID:	Total Bond(s) Due:

<b>12. ATTACHMENTS</b> CEQA Bldg Demolition Notice Demo Affirmation Posting	Owner-Builder Declaration Plot Plan
---	--

For inspection requests, call toll-free (888) LA4BUILD (524-2845). Outside LA County, call (213) 482-0000 or request inspections via <a href="http://www.ladbs.org">www.ladbs.org</a> . To speak to a Call Center agent, call 311. Outside LA County, call (213) 473-3231.
--

VN LAUR 203123104 1/31/2018 3:25:55 PM  
DEMO PERMIT \$130.00  
PLUMBING PERMIT RES \$33.80  
BUILDING PLAN CHECK \$0.00  
EI RESIDENTIAL \$0.50  
DEV SERV CENTER SURCH \$4.93  
SYSTEMS DEVT FEE \$9.86  
CITY PLANNING SURCH \$7.80  
MISCELLANEOUS \$10.00  
PLANNING GEN PLAN MAINT SURCH \$9.10  
CA BLDG STD COMMISSION SURCHARGE \$1.00  
BUILDING PLAN CHECK \$0.00

Sub Total: \$206.99

Permit #: 170192000005041  
Building Card #: 2018VN59585  
Receipt #: 0203489771



\* P 1 7 0 1 9 2 0 0 0 0 5 0 4 1 F N \*



**13. STRUCTURE INVENTORY**

(Note: Numeric measurement data in the format "number / number" implies "change in numeric value / total resulting numeric value")

**17019 - 20000 - 05041**

(P) Dwelling Unit: -2 Units / 0 Units

(P) R3 Occ. Group: -872 Sqft / 0 Sqft

**14. APPLICATION COMMENTS:**

DPI: 17019-20000-04635 Mailed: 10-27-17

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless the information printed exceeds that required by section 19825 of the Health and Safety Code of the State of California.

**15. BUILDING RELOCATED FROM:****16. CONTRACTOR, ARCHITECT & ENGINEER NAME****ADDRESS****CLASS****LICENSE #****PHONE #**

(O) OWNER-BUILDER

0

**PERMIT EXPIRATION/REFUNDS:** This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

**17. OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the following reason (Section 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☒ I, as the owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year from completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

OR

☐ I, as the owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

**18. WORKERS' COMPENSATION DECLARATION**

I hereby affirm, under penalty of perjury, one of the following declarations:

☒ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: \_\_\_\_\_ Policy Number: \_\_\_\_\_

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

**WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.**

**19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING**

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at [www.aqmd.gov](http://www.aqmd.gov). Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or [www.dhs.ca.gov/childlead](http://www.dhs.ca.gov/childlead).

**20. FINAL DECLARATION**

I certify that I have read this application **INCLUDING THE ABOVE DECLARATIONS** and state that the above information **INCLUDING THE ABOVE DECLARATIONS** is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

**By signing below, I certify that:**

- (1) I accept all the declarations above namely the Owner-Builder Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

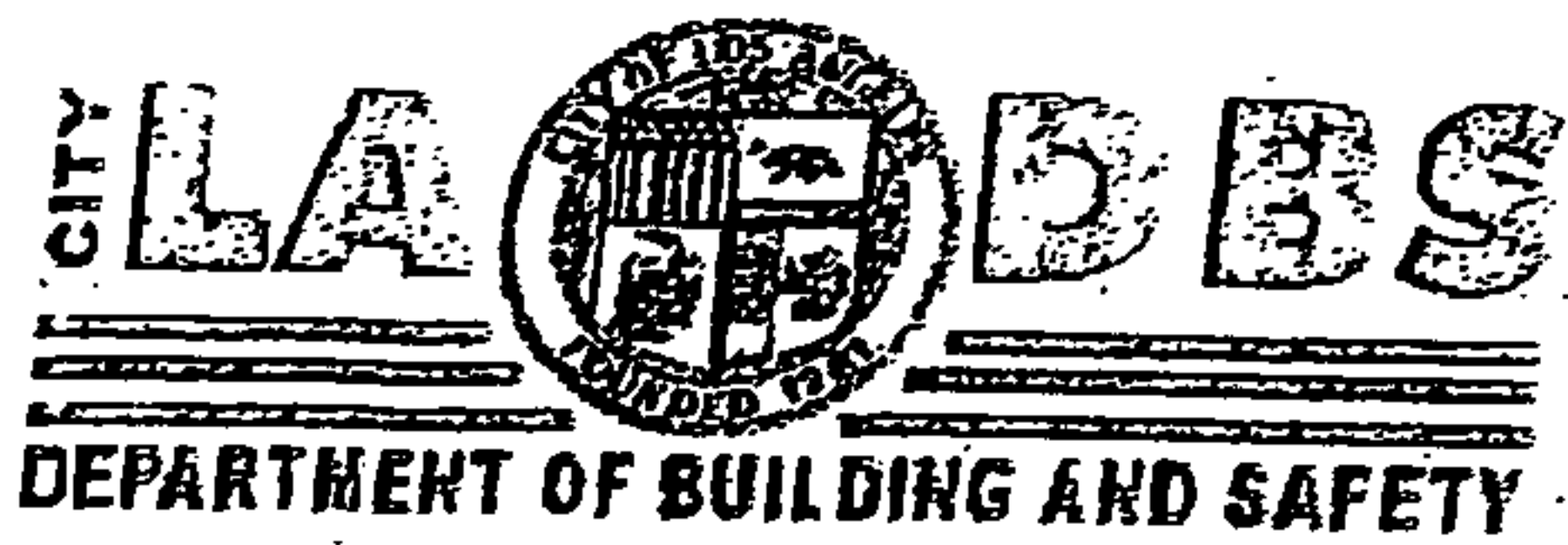
Print Name: **MOHAMMAD-TAGHDIRI**Sign: Date: **01/31/2018**

Owner



Authorized Agent





**AFFIRMATION OF POSTING FOR DEMOLITION OF  
EXISTING BUILDINGS OR STRUCTURES**

LAMC Section 91.106.4.5.1

Project Address: 4061 3/4 4061 1/4  
W. OAK WOOD AVE Demolition Permit #: 17019-20000-05041

**Affirmation of Posting**

The Los Angeles Municipal Code (LAMC) Section 91.106.4.5.1 requires posting of a notice prior to the issuance of a permit for demolition of an existing building or structure for which the original building permit was issued more than 45 years prior to the date of submittal of the application for demolition preinspection, or where information submitted with the application indicates that the building or structure is more than 45 years old based on the date the application is submitted, the property shall be posted in a conspicuous place near the entrance of the property where demolition will occur, with a public notice of the application for demolition preinspection.

I hereby affirm that the property located at 4061 3/4 4061 1/4 W OAK WOOD AVE was posted on 10-27-17 (mm/dd/yyyy) in accordance with LAMC 91.106.4.5.1 at least 30 days prior to the issuance of this permit for demolition of the existing building(s) or structure(s).

Print Name: Mohammad Taghadomi

Signature: [Signature] Date: 12-15-17

Please check one: ☒ Owner, ☐ Contractor, ☐ Authorized Agent for owner/contractor

**FOR DEPARTMENT USE ONLY**

DPI Application #: 17019-20000-04635 Date notification letters mailed: 10-27-17

Note: Verify notification and posting were completed at least 30 days prior to demolition permit issuance.

Reviewed by (print name): OMID HEDAYAT Signature: [Signature]







Address: 4061 3/4, 4061 1/4



Application #: 17019-Z8766-05041

Printed: 08/26/16 12:04 PM

W GARWOOD AVE  
L.A. 90004

City of Los Angeles - Department of Building and Safety  
Attachment to Application for Demolition Permit:  
Notice and Owner's Declaration Related to CEQA and Project  
Scope

**I. Notice to Owner**

If you are applying for a demolition permit to facilitate the construction or development of the project site, you may be referred to the Planning Department for further assistance.

The California Environmental Quality Act (CEQA) directs public agencies to assess and disclose the environmental effects of the projects it approves. In determining whether a proposed project is subject to CEQA, the City is required to consider all of the parts and phases of the project and may not limit its review to the specific permits or approvals sought. (Public Resources Code Section 21065) Failure by a project applicant to disclose future construction or development activities on the project site may result in a violation of CEQA. If the City determines that an application or approval is part of a larger undisclosed project, the City may revoke and/or stay any approvals until a full and complete CEQA analysis of the whole project is reviewed and an appropriate CEQA clearance is adopted or certified.

Please contact the Planning Department if you have additional questions after reviewing this notice.

**II. Owner's Project Information**

Based upon the above-stated rule, is the proposed demolition part of a larger development project at the demolition site, and if so, will the larger project require any discretionary approvals from the City? (Select "Yes" or "No," and follow the related instructions)

Yes ☐ A CEQA clearance from the Planning Department will be required prior to the issuance of the demolition permit for the proposed project. Return this form to a Department of Building and Safety Plan Check Engineer at the time of plan check.

No ☒ Sign and notarize the signature at the bottom of the form and return the notarized form to a Department of Building and Safety Plan Check Engineer at the time of plan check.

**III. Owner's Declaration**

I own the property located at 4061 3/4, 4061 1/4 GARWOOD AVE. I have read the above "Notice to Owner." I understand that a "project," as defined by CEQA, is the whole of the proposed activity and is not limited to the demolition subject to this application. I further understand that CEQA prohibits treatment of each separate approval as a separate project for purposes of evaluating environmental impacts. I acknowledge and understand that should the City determine that the demolition proposed is part of a larger project requiring any discretionary permits, the City may revoke and/or stay any approvals (including certificates of occupancy) until a full and complete CEQA analysis is prepared and clearance is adopted or certified.

I certify that (i) the demolition authorized by this permit is not to facilitate the construction or development of a larger project at the project site, or (ii) the demolition is part of a larger project and, after using all reasonable efforts, including consulting with the City Planning Department, I have determined there are no discretionary permits required for the project, including but not limited to haul route permits, permits to remove protected trees, historic resource review, or any discretionary zoning or map approvals.

Date 12-14-17 Name of the Owner (Print) GARWOOD Property LLC

Signature

(See page 2 of 2 For Notary Acknowledgment)





Application #:

Printed: 08/26/16 12:04 PM

City of Los Angeles - Department of Building and Safety  
Attachment to Application for Demolition Permit:  
Notice and Owner's Declaration Related to CEQA and Project  
Scope

## ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

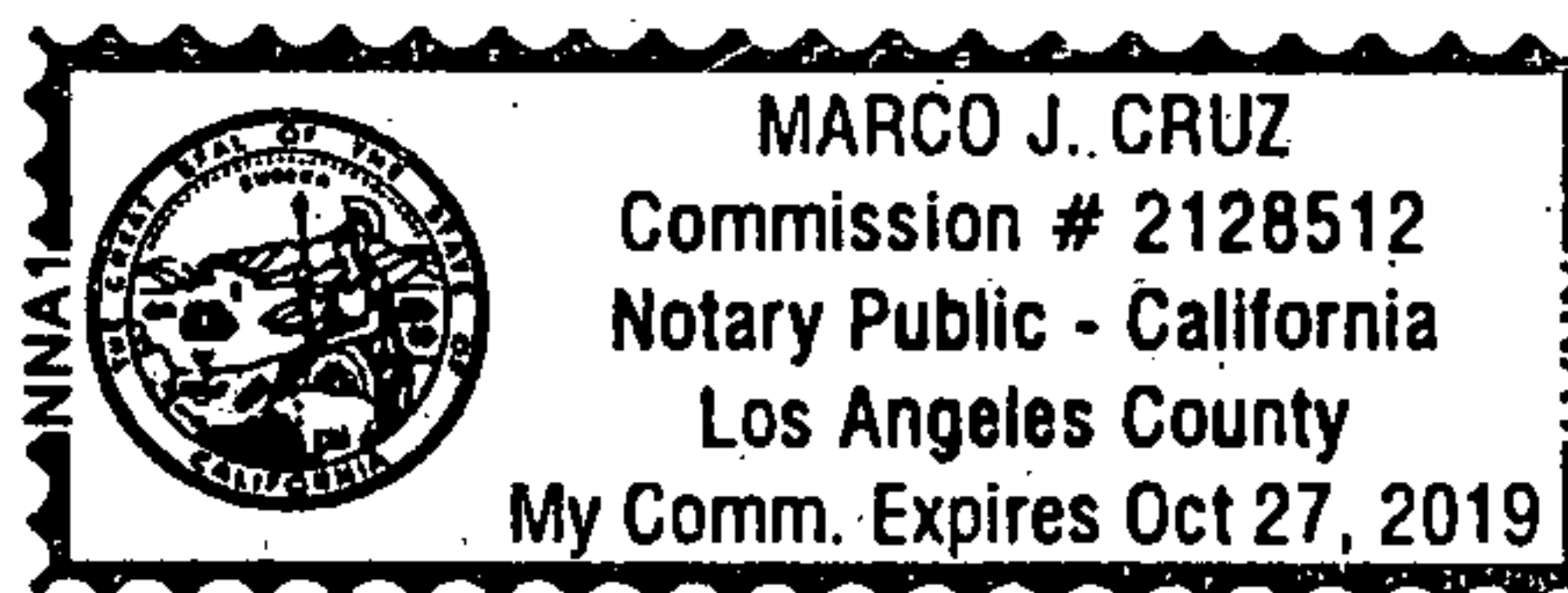
On 12/14/17 before me, Marco J. Cruz notary  
(insert name and title of the officer)

personally appeared Mohammad Taghdiri  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/~~she/they~~ executed the same in his/~~her/their~~ authorized capacity(ies), and that by his/~~her/their~~ signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

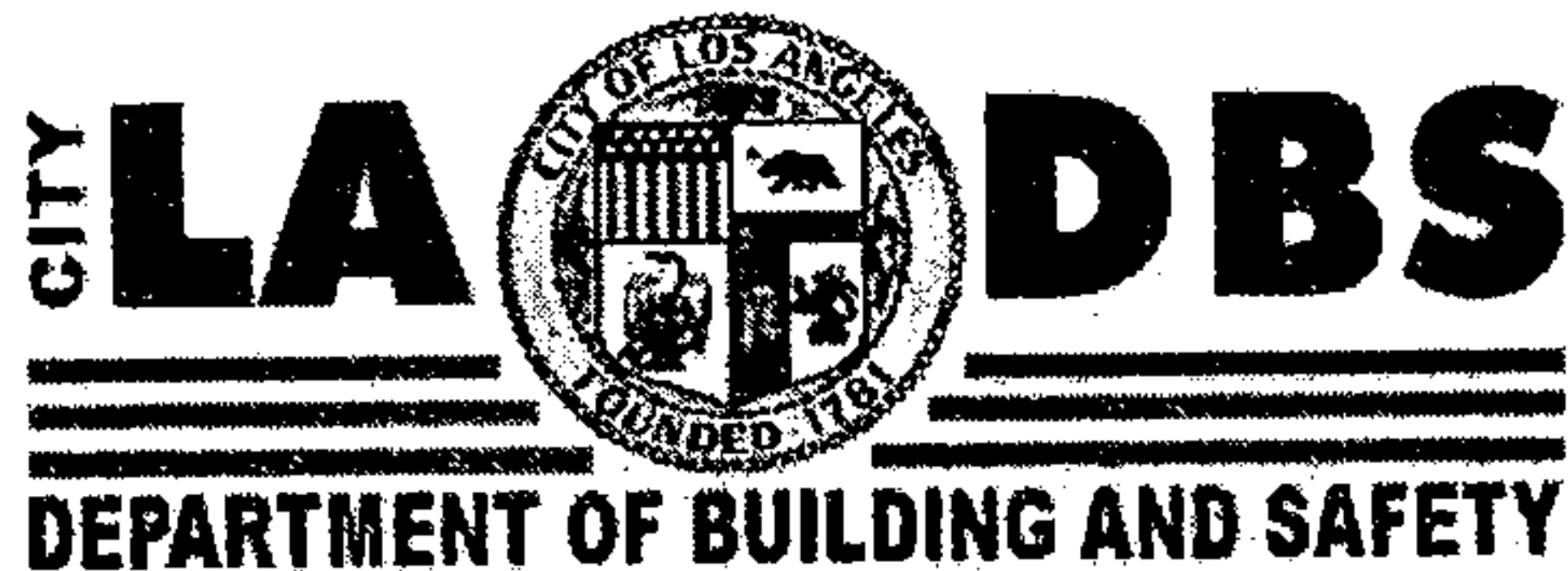
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Signature] (Seal)







## OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF INFORMATION

### (OWNER-BUILDER DECLARATION)

Application Number: 17019-20K-05041

Project Address: 4061 3/4 - 4061 4/4 W Oakwood Ave

DIRECTIONS: Read and initial each statement below to signify you understand or verify this information.

1050206201850933  
M.T. 1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

n.t. 2. I understand building permits are not required to be signed by property owners unless they are *responsible* for the construction and are not hiring a licensed Contractor to assume this responsibility.

n.t. 3. I understand as an "Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.

n.t. 4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.

n.t. 5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.

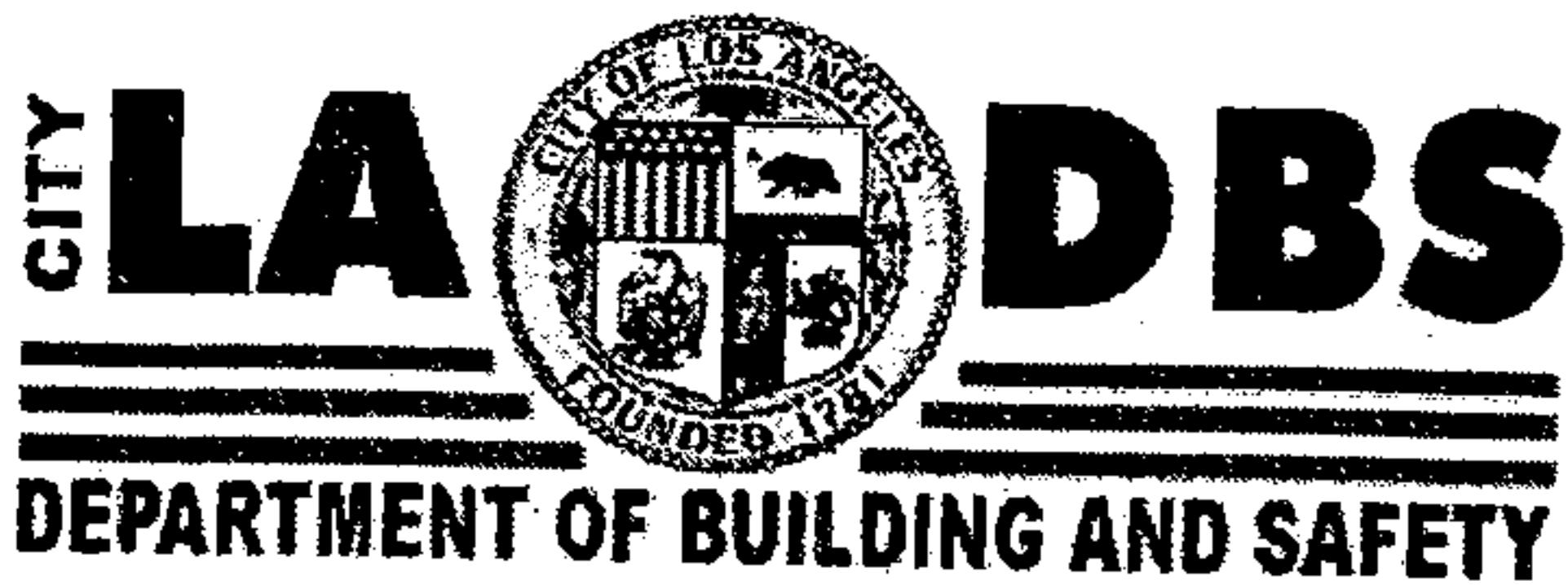
n.t. 6. I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.

n.t. 7. I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless all work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.

n.t. 8. I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.

n.t. 9. I understand I may obtain more information regarding my obligations as an "employer" from the Internal Revenue Service, the United States Small Business Administration, the California Department of Benefit Payments, and the California Division of Industrial Accidents. I also understand I may contact the California Contractors' State License Board (CSLB) at 1-800-321-CSLB (2752) or [www.cslb.ca.gov](http://www.cslb.ca.gov) for more information about licensed contractors.





OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF  
INFORMATION

(OWNER-BUILDER DECLARATION, cont.)

Application Number: 17019-20K-05041

Project Address: 4061 3/4 - 4061 4/4 W Oakwood Ave

N.F. 10. I am aware of and consent to an Owner-Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity at the following address: 4061 3/4 - 4061 4/4 W Oakwood Ave

N.F. 11. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern Owner-Builders as well as employers.

N.F. 12. I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form. Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed Contractors may be in civil court. It is also important for you to understand that if an unlicensed Contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner-Builder and wish to hire Contractors, you will be responsible for verifying whether or not those Contractors are properly licensed and the status of their workers' compensation insurance coverage. Before a building permit can be issued, this form must be completed and signed by the property owner and returned to the agency responsible for issuing the permit.

Note: A copy of the property owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.

Owner's Name: OAKWOOD Prop. L.L.C

Signature of property owner [Signature] Date: 1-31-18

SEC. 3. Section 19830 of the Health and Safety Code is repealed.  
SEC. 4. Section 19831 of the Health and Safety Code is repealed.  
SEC. 5. Section 19832 of the Health and Safety Code is repealed.

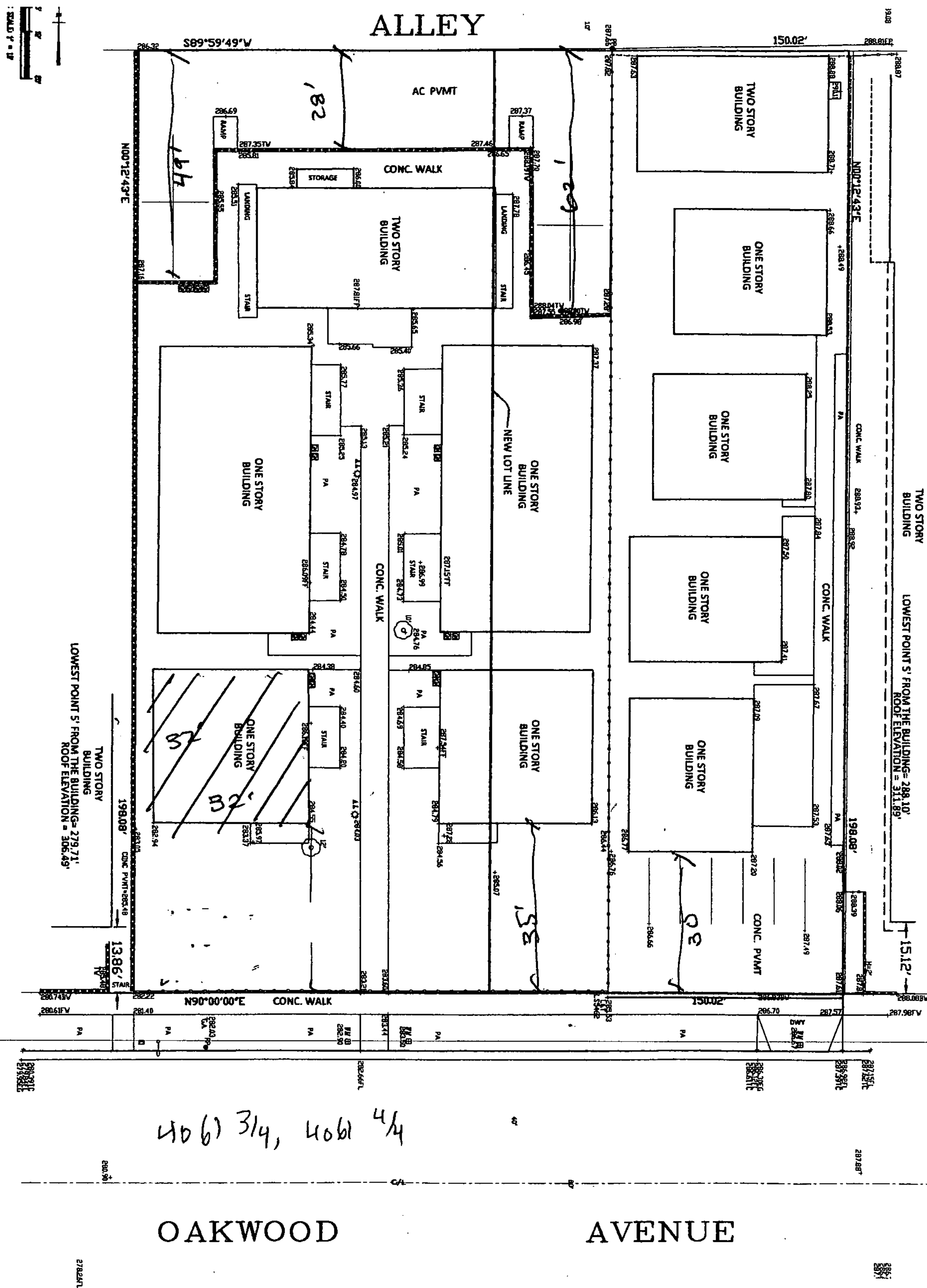


**Bldg-Demolition**  
**1 or 2 Family Dwelling**  
**Plan Check**

City of Los Angeles - Department of Building and Safety

Plan Check #: B17VN18105  
Initiating Office: VAN NUYS  
Printed on: 12/19/17 11:08:47

# PLOT PLAN ATTACHMENT





4055 W Oakwood Ave



Permit #:

17019 - 20000 - 05043

Plan Check #: B17VN18105

Printed: 01/31/18 03:30 PM

Event Code:

<b>Bldg-Demolition</b> 1 or 2 Family Dwelling Appointment Plan Check Plan Check	<b>City of Los Angeles - Department of Building and Safety</b>  <b>APPLICATION FOR INSPECTION TO</b> <b>DEMOLISH BUILDING OR STRUCTURE</b>	Issued on: 01/31/2018 Last Status: Issued Status Date: 01/31/2018														
<table border="1" style="width:100%"><tr><td style="width:20%"><b>1. TRACT</b></td><td style="width:10%"><b>BLOCK</b></td><td style="width:10%"><b>LOT(s)</b></td><td style="width:10%"><b>ARB</b></td><td style="width:20%"><b>COUNTY MAP REF #</b></td><td style="width:20%"><b>PARCEL ID # (PIN #)</b></td><td style="width:10%"><b>2. ASSESSOR PARCEL #</b></td></tr><tr><td>RE-SUBDIVISION OF BLOCK C / C</td><td>8</td><td></td><td></td><td>MB 6-33</td><td>138B197 29</td><td>5520 - 017 - 009</td></tr></table>			<b>1. TRACT</b>	<b>BLOCK</b>	<b>LOT(s)</b>	<b>ARB</b>	<b>COUNTY MAP REF #</b>	<b>PARCEL ID # (PIN #)</b>	<b>2. ASSESSOR PARCEL #</b>	RE-SUBDIVISION OF BLOCK C / C	8			MB 6-33	138B197 29	5520 - 017 - 009
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<b>3. PARCEL INFORMATION</b> Area Planning Commission - Central LADBS Branch Office - LA Bldg. Line - 15 Council District - 13 Certified Neighborhood Council - Wilshire Center - Koreatown Community Plan Area - Wilshire Census Tract - 1926.20 District Map - 138B197 Energy Zone - 9 Methane Hazard Site - Methane Buffer Zone Near Source Zone Distance - 1.7 Thomas Brothers Map Grid - 594-A7																
ZONES(S): R3-1																
<b>4. DOCUMENTS</b> ZI - ZI-2374 LOS ANGELES STATE ENTER SPA - Vermont / Western Station Neighborhood ORD - ORD-173749 ZI - ZI-2427 FWY Adj Advisory Notice for Se RENT - YES ORD - ORD-173799 ZI - ZI-2452 Transit Priority Area in the Cit ORD - ORD-161116-SA20 TNI - East Hollywood ORD - ORD-165331-SA6300 ORD - ORD-184414 ORD - ORD-184888 ORD - ORD-65086 CPC - CPC-1984-1-HD																
<b>5. CHECKLIST ITEMS</b> Sewer Cap - Permit Required																
<table border="1" style="width:100%"><tr><td style="width:60%"><b>6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION</b> Owner(s): OAKWOOD PROPERTIES LLC 423 16TH ST, LOS ANGELES CA 90015 -- Tenant:  Applicant: (Relationship: Agent for Owner) MOHAMMAD TAGHDIRI - 19051 NASHVILLE, PORTER RANCH, CA 91326 -- (310) 387-1388</td><td style="width:40%; text-align:right"><b>For Cashier's Use Only</b>  W/O #: 71905043</td></tr></table>			<b>6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION</b> Owner(s): OAKWOOD PROPERTIES LLC 423 16TH ST, LOS ANGELES CA 90015 -- Tenant:  Applicant: (Relationship: Agent for Owner) MOHAMMAD TAGHDIRI - 19051 NASHVILLE, PORTER RANCH, CA 91326 -- (310) 387-1388	<b>For Cashier's Use Only</b>  W/O #: 71905043												
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<b>8. DESCRIPTION OF WORK</b> DEMO (E) SINGLE FAMILY DWELLING UNIT. FENCE AND CLEAR THE LOT.																
<b>9. # Bldgs on Site &amp; Use:</b> DEMO 6 OF 10																
<b>10. APPLICATION PROCESSING INFORMATION</b> BLDG. PC By: Omid Hedayat OK for Cashier: Omid Hedayat Signature: DAS PC By: Coord. OK: Date: 01/31/2018																
<table border="1" style="width:100%"><tr><td style="width:50%"><b>11. PROJECT VALUATION</b> Final Fee Period</td><td style="width:50%;"></td></tr><tr><td>Permit Valuation: \$1,500</td><td>PC Valuation:</td></tr><tr><td>Sewer Cap ID:</td><td>Total Bond(s) Due:</td></tr></table>			<b>11. PROJECT VALUATION</b> Final Fee Period		Permit Valuation: \$1,500	PC Valuation:	Sewer Cap ID:	Total Bond(s) Due:								
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Permit Valuation: \$1,500	PC Valuation:															
Sewer Cap ID:	Total Bond(s) Due:															
<b>12. ATTACHMENTS</b> CEQA Bldg Demolition Notice Demo Affirmation Posting Owner-Builder Declaration Plot Plan 																
For inspection requests, call toll-free (888) LA4BUILD (524-2845). Outside LA County, call (213) 482-0000 or request inspections via <a href="http://www.ladbs.org">www.ladbs.org</a> . To speak to a Call Center agent, call 311. Outside LA County, call (213) 473-3231.																

VN LAUR 203123104 1/31/2018 3:29:41 PM	
DEMO PERMIT	\$130.00
PLUMBING PERMIT RES	\$33.80
BUILDING PLAN CHECK	\$0.00
EI RESIDENTIAL	\$0.50
DEV SERV CENTER SURCH	\$4.93
SYSTEMS DEVT FEE	\$9.86
CITY PLANNING SURCH	\$7.80
MISCELLANEOUS	\$10.00
PLANNING GEN PLAN MAINT SURCH	\$9.10
CA BLDG STD COMMISSION SURCHARGE	\$1.00
BUILDING PLAN CHECK	\$0.00

Sub Total: \$206.99

Permit #: 170192000005043  
Building Card #: 2018VN59590  
Receipt #: 0203489779



\* P 1 7 0 1 9 2 0 0 0 0 5 0 4 3 F N \*



**13. STRUCTURE INVENTORY**

(Note: Numeric measurement data in the format "number / number" implies "change in numeric value / total resulting numeric value")

17019 - 20000 - 05043

(P) Floor Area (ZC): -832 Sqft / 0 Sqft  
(P) Dwelling Unit: -1 Units / 0 Units  
(P) R3 Occ. Group: -832 Sqft / 0 Sqft

**14. APPLICATION COMMENTS:**

[1] DPI: 17019-20000-04632, Mailed: 10-27-17 [2] Permit # 1920LA22923

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless the information printed exceeds that required by section 19825 of the Health and Safety Code of the State of California.

**15. BUILDING RELOCATED FROM:****16. CONTRACTOR, ARCHITECT & ENGINEER NAME****ADDRESS****CLASS****LICENSE #****PHONE #**

(O) OWNER-BUILDER

0

**PERMIT EXPIRATION/REFUNDS:** This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

**17. OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the following reason (Section 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☒ I, as the owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year from completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

OR

☐ I, as the owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

**18. WORKERS' COMPENSATION DECLARATION**

I hereby affirm, under penalty of perjury, one of the following declarations:

☒ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: \_\_\_\_\_ Policy Number: \_\_\_\_\_

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

**WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.**

**19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING**

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at [www.aqmd.gov](http://www.aqmd.gov). Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or [www.dhs.ca.gov/childlead](http://www.dhs.ca.gov/childlead).

**20. FINAL DECLARATION**

I certify that I have read this application INCLUDING THE ABOVE DECLARATIONS and state that the above information INCLUDING THE ABOVE DECLARATIONS is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

**By signing below, I certify that:**

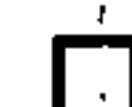
- (1) I accept all the declarations above namely the Owner-Builder Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

Print Name: **MOHAMMAD-TAGHDIRI**

Sign: \_\_\_\_\_

Date: **01/31/2018**

Owner



Authorized Agent

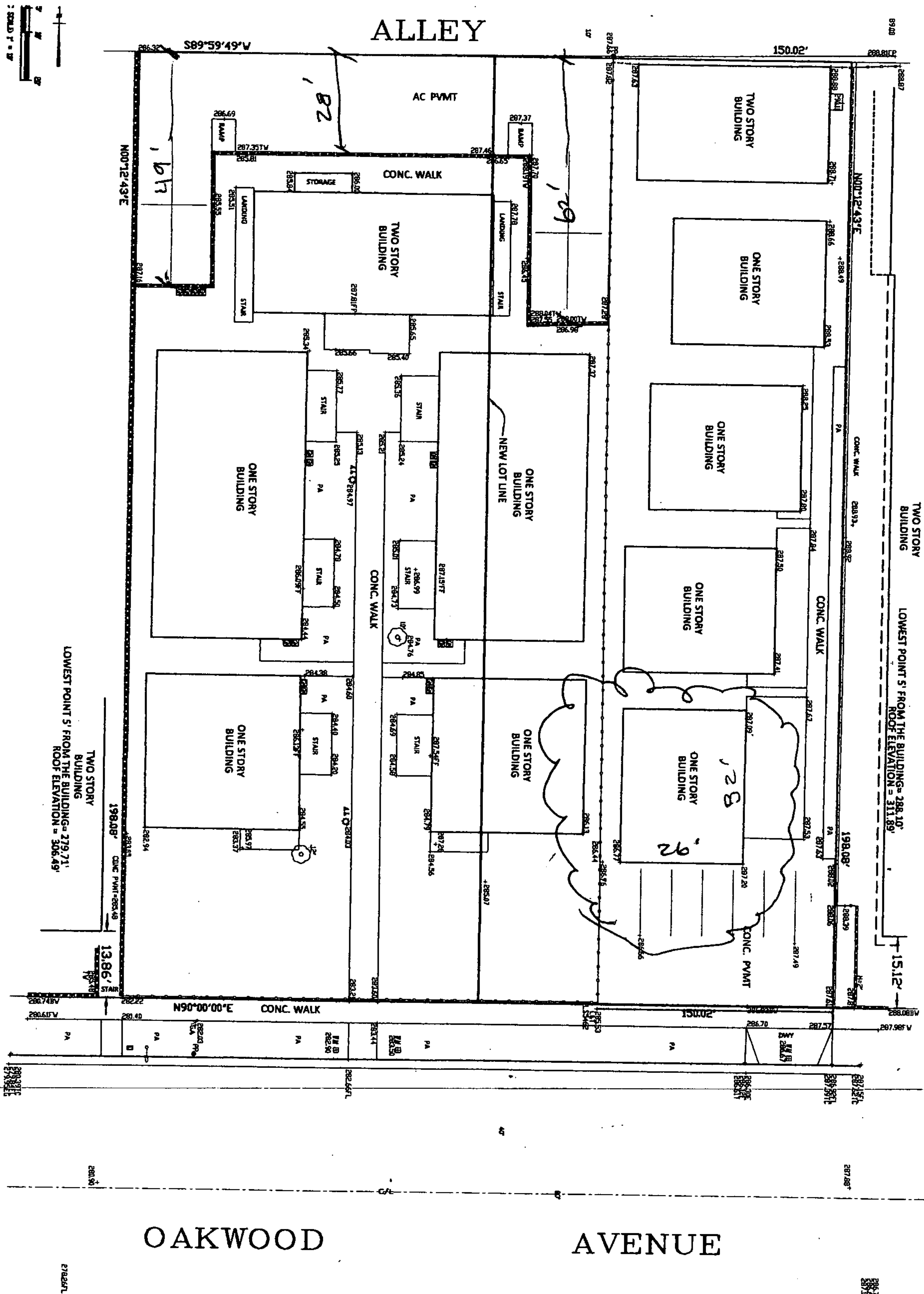


Bldg-Demolition  
1 or 2 Family Dwelling  
Plan Check

City of Los Angeles - Department of Building and Safety

Plan Check #: B17VN18105  
Initiating Office: VAN NUYS  
Printed on: 12/19/17 11:19:45

PLOT PLAN ATTACHMENT



(DO NOT DRAW, WRITE, OR PASTE ATTACHMENTS OUTSIDE BORDER)

1050206201850934



Project Address: 4055 W. OAKWOOD Demolition Permit #: 17019-20000-05043

### Affirmation of Posting

The Los Angeles Municipal Code(LAMC) Section 91.106.4.5.1 requires posting of a notice prior to the issuance of a permit for demolition of an existing building or structure for which the original building permit was issued more than 45 years prior to the date of submittal of the application for demolition preinspection, or where information submitted with the application indicates that the building or structure is more than 45 years old based on the date the application is submitted, the property shall be posted in a conspicuous place near the entrance of the property where demolition will occur, with a public notice of the application for demolition preinspection.

I hereby affirm that the property located at 4055 OAKWOOD was posted on 10-27-17 (mm/dd/yyyy) in accordance with LAMC 91.106.4.5.1 at least 30 days prior to the issuance of this permit for demolition of the existing building(s) or structure(s).

Print Name: Mohammad Taghdiri

Signature: [Signature] Date: 11/27/17

Please check one: ☒ Owner, ☐ Contractor, ☐ Authorized Agent for owner/contractor

#### FOR DEPARTMENT USE ONLY

DPI Application #: 17019-20000-04632 Date notification letters mailed: 10-27-17

Note: Verify notification and posting were completed at least 30 days prior to demolition permit issuance.

Reviewed by (print name): OMID HEJATAT Signature: [Signature]



1-4: 100

1-4: 100

1-4: 100





City of Los Angeles - Department of Building and Safety  
Attachment to Application for Demolition Permit:  
Notice and Owner's Declaration Related to CEQA  
and Project Scope

## ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California  
County of Los Angeles

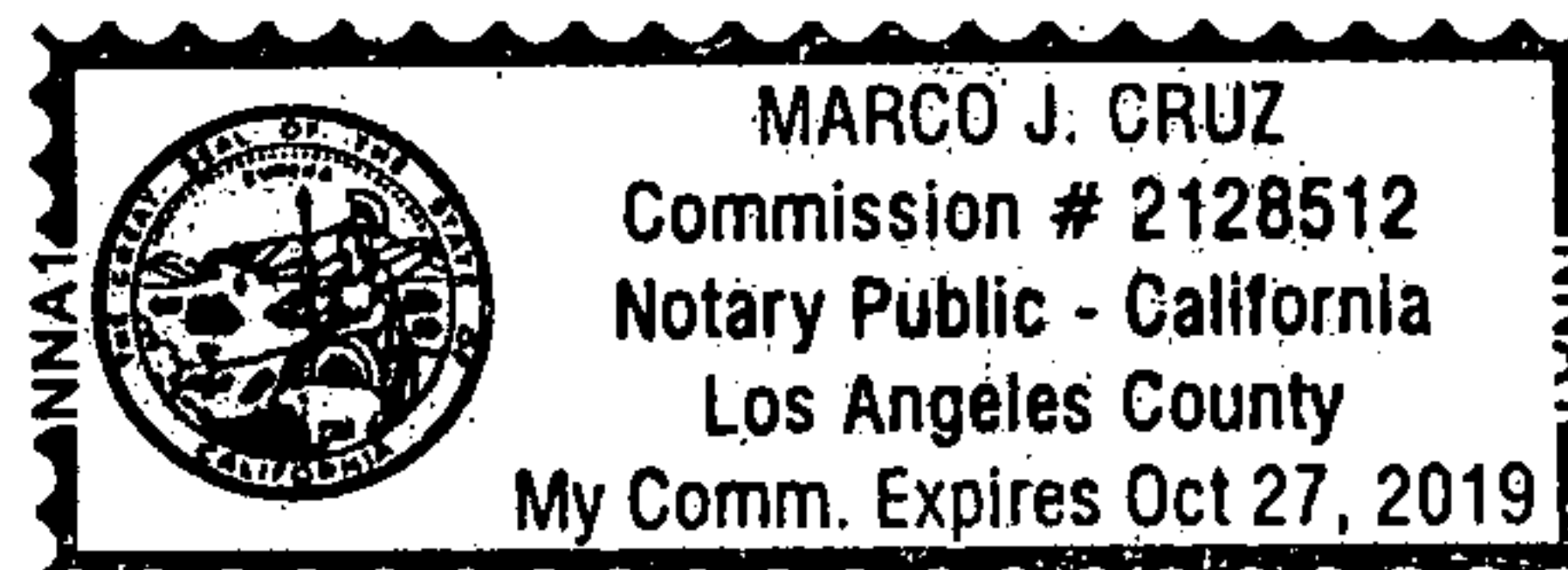
On 11/27/2017 before me, Marco J. Cruz, notary  
(insert name and title of the officer)

personally appeared Mohammad Taghdiri,  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Marco J. Cruz (Seal)







City of Los Angeles - Department of Building and Safety  
**Attachment to Application for Demolition Permit:  
Notice and Owner's Declaration Related to CEQA  
and Project Scope**

**I. Notice to Owner**

*If you are applying for a demolition permit to facilitate the construction or development of the project site, you may be referred to the Planning Department for further assistance.*

The California Environmental Quality Act (CEQA) directs public agencies to assess and disclose the environmental effects of the projects it approves. In determining whether a proposed project is subject to CEQA, the City is required to consider all of the parts and phases of the project and may not limit its review to the specific permits or approvals sought. (Public Resources Code Section 21065) Failure by a project applicant to disclose future construction or development activities on the project site may result in a violation of CEQA. If the City determines that an application or approval is part of a larger undisclosed project, the City may revoke and/or stay any approvals until a full and complete CEQA analysis of the whole project is reviewed and an appropriate CEQA clearance is adopted or certified.

*Please contact the Planning Department if you have additional questions after reviewing this notice.*

**II. Owner's Project Information**

Based upon the above-stated rule, is the proposed demolition part of a larger development project at the demolition site, and if so, will the larger project require any discretionary approvals from the City? (Select "Yes" or "No," and follow the related instructions)

Yes ☐ A CEQA clearance from the Planning Department will be required prior to the issuance of the demolition permit for the proposed project. Return this form to a Department of Building and Safety Plan Check Engineer at the time of plan check.

No ☒ Sign and notarize the signature at the bottom of the form and return the notarized form to a Department of Building and Safety Plan Check Engineer at the time of plan check.

**III. Owner's Declaration**

I own the property located at 4055 W OAKWOOD. I have read the above "Notice to Owner." I understand that a "project," as defined by CEQA, is the whole of the proposed activity and is not limited to the demolition subject to this application. I further understand that CEQA prohibits treatment of each separate approval as a separate project for purposes of evaluating environmental impacts. I acknowledge and understand that should the City determine that the demolition proposed is part of a larger project requiring any discretionary permits, the City may revoke and/or stay any approvals (including certificates of occupancy) until a full and complete CEQA analysis is prepared and clearance is adopted or certified.

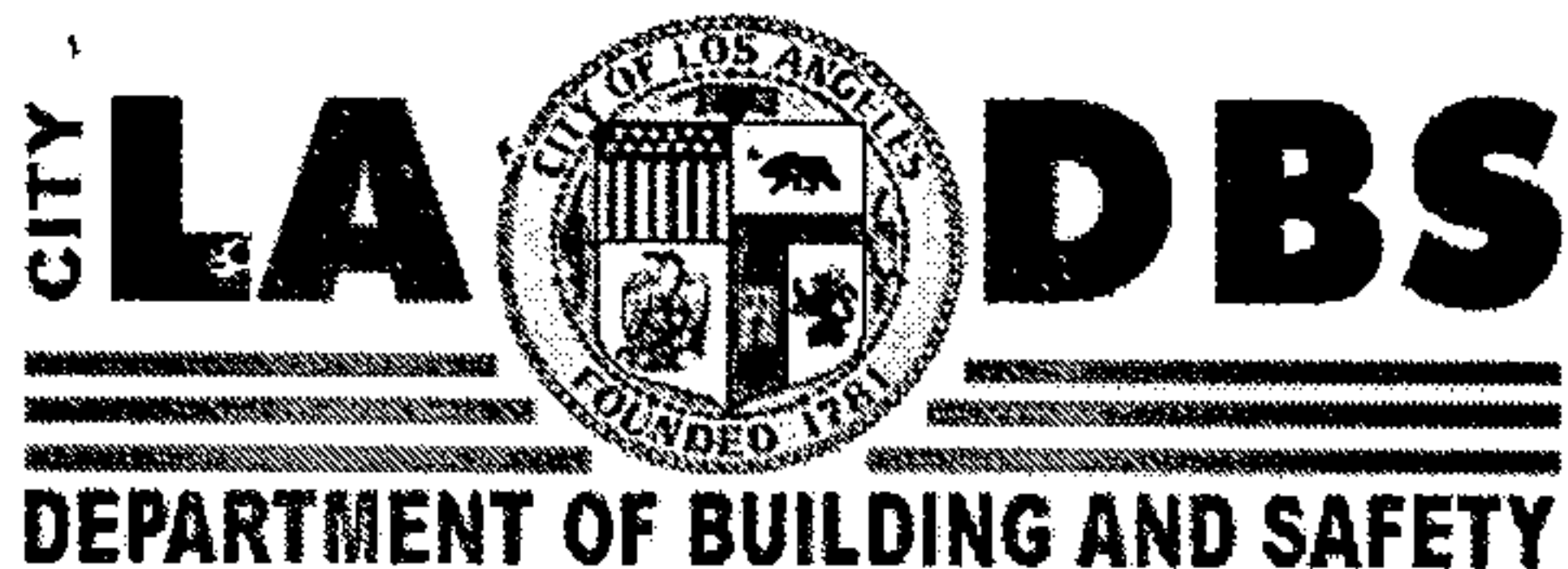
I certify that (i) the demolition authorized by this permit is not to facilitate the construction or development of a larger project at the project site, or (ii) the demolition is part of a larger project and, after using all reasonable efforts, including consulting with the City Planning Department, I have determined there are no discretionary permits required for the project, including but not limited to haul route permits, permits to remove protected trees, historic resource review, or any discretionary zoning or map approvals.

Date 11/27/17 Name of the Owner (Print) OAKWOOD PROP LLC

Signature 

(See page 2 of 2 For Notary Acknowledgment)





OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF  
INFORMATION

(OWNER-BUILDER DECLARATION, cont.)

Application Number: 17019 - 20000 - 05043

Project Address: 4055 W Oakwood Ave

1050206201850934  
10 10. I am aware of and consent to an Owner-Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity at the following address: 4055 W Oakwood Ave

11 11. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern Owner-Builders as well as employers.

12 12. I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form. Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed Contractors may be in civil court. It is also important for you to understand that if an unlicensed Contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner-Builder and wish to hire Contractors, you will be responsible for verifying whether or not those Contractors are properly licensed and the status of their workers' compensation insurance coverage. Before a building permit can be issued, this form must be completed and signed by the property owner and returned to the agency responsible for issuing the permit.

Note: A copy of the property owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.

Owner's Name: OAKWOOD Prop. L.L.C

Signature of property owner [Signature] Date: 1-31-18

SEC. 3. Section 19830 of the Health and Safety Code is repealed.

SEC. 4. Section 19831 of the Health and Safety Code is repealed.

SEC. 5. Section 19832 of the Health and Safety Code is repealed.





## OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF INFORMATION

### (OWNER-BUILDER DECLARATION)

Application Number: 17019-20K-05043

Project Address: 4055 W Oakwood Ave

DIRECTIONS: Read and initial each statement below to signify you understand or verify this information.

M.T 1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

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n.t 3. I understand as an "Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.

n.t 4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.

n.t 5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.

n.t 6. I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.

n.t 7. I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless all work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.

n.t 8. I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.

n.t 9. I understand I may obtain more information regarding my obligations as an "employer" from the Internal Revenue Service, the United States Small Business Administration, the California Department of Benefit Payments, and the California Division of Industrial Accidents. I also understand I may contact the California Contractors' State License Board (CSLB) at 1-800-321-CSLB (2752) or [www.cslb.ca.gov](http://www.cslb.ca.gov) for more information about licensed contractors.



4055 1/2 W Oakwood Ave



Permit #:

17019 - 20000 - 05044

Plan Check #: B17VN18105

Printed: 01/31/18 03:31 PM

Event Code:

Bldg-Demolition 1 or 2 Family Dwelling Appointment Plan Check Plan Check	City of Los Angeles - Department of Building and Safety <b>APPLICATION FOR INSPECTION TO DEMOLISH BUILDING OR STRUCTURE</b>	Issued on: 01/31/2018 Last Status: Issued Status Date: 01/31/2018
---	--	---

1. TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF #	PARCEL ID # (PIN #)	2. ASSESSOR PARCEL #
RE-SUBDIVISION OF BLOCK C, C		8		M B 6-33	138B197 29	5520 - 017 - 009

<b>3. PARCEL INFORMATION</b>		
Area Planning Commission - Central LADBS Branch Office - LA Bldg. Line - 15 Council District - 13 Certified Neighborhood Council - Wilshire Center - Koreatown	Community Plan Area - Wilshire Census Tract - 1926.20 District Map - 138B197 Energy Zone - 9 Methane Hazard Site - Methane Buffer Zone	Near Source Zone Distance - 1.7 Thomas Brothers Map Grid - 594-A7
ZONES(S): R3-1		

<b>4. DOCUMENTS</b>			
ZI - ZI-2374 LOS ANGELES STATE ENTER SPA - Vermont / Western Station Neighborhood	ORD - ORD-173749	ORD - ORD-184414	
ZI - ZI-2427 FWY Adj Advisory Notice for Se RENT - YES	ORD - ORD-173799	ORD - ORD-184888	
ZI - ZI-2452 Transit Priority Area in the Cit	ORD - ORD-161116-SA20	ORD - ORD-184271	ORD - ORD-65086
TNI - East Hollywood	ORD - ORD-165331-SA6300	ORD - ORD-184385	CPC - CPC-1984-1-HD

<b>5. CHECKLIST ITEMS</b>
Sewer Cap - Permit Required

<b>6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION</b>
Owner(s): OAKWOOD PROPERTIES LLC 423 16TH ST, LOS ANGELES CA 90015 -- Tenant:  Applicant: (Relationship: Agent for Owner) MOHAMMAD TAGHDIRI - 19051 NASHVILLE, PORTER RANCH, CA 91326 -- (310) 387-1388

For Cashier's Use Only W/O #: 71905044

<b>7. EXISTING USE</b>	<b>PROPOSED USE</b>
(01) Dwelling - Single Family	(23) Demolition

<b>8. DESCRIPTION OF WORK</b>
DEMO (E) SINGLE FAMILY DWELLING. CLEAR & FENCE THE LOT.

<b>9. # Bldgs on Site &amp; Use:</b>
--------------------------------------

<b>10. APPLICATION PROCESSING INFORMATION</b>	
BLDG. PC By: Omid Hedayat OK for Cashier: Omid Hedayat Signature:	DAS PC By: Coord. OK: Date: 01/31/2018

<b>11. PROJECT VALUATION</b>	Final Fee Period
Permit Valuation: \$1,500	PC Valuation:
Sewer Cap ID:	Total Bond(s) Due:

<b>12. ATTACHMENTS</b>	
CEQA Bldg Demolition Notice Demo Affirmation Posting	Owner-Builder Declaration Plot Plan

For inspection requests, call toll-free (888) LA4BUILD (524-2845). Outside LA County, call (213) 482-0000 or request inspections via <a href="http://www.ladbs.org">www.ladbs.org</a> . To speak to a Call Center agent, call 311. Outside LA County, call (213) 473-3231.
--

VN LAUR 203123104 1/31/2018 3:30:26 PM  
DEMO PERMIT \$130.00  
PLUMBING PERMIT RES \$33.80  
BUILDING PLAN CHECK \$0.00  
EI RESIDENTIAL \$0.50  
DEV SERV CENTER SURCH \$4.93  
SYSTEMS DEVT FEE \$9.86  
CITY PLANNING SURCH \$7.80  
MISCELLANEOUS \$10.00  
PLANNING GEN PLAN MAINT SURCH \$9.10  
CA BLDG STD COMMISSION SURCHARGE \$1.00  
BUILDING PLAN CHECK \$0.00

Sub Total: \$206.99

Permit #: 170192000005044  
Building Card #: 2018VN59591  
Receipt #: 0203489780



\* P 1 7 0 1 9 2 0 0 0 0 5 0 4 4 F N \*



**13. STRUCTURE INVENTORY**

(Note: Numeric measurement data in the format "number / number" implies "change in numeric value / total resulting numeric value")

**17019 - 20000 - 05044**

(P) Floor Area (ZC): -832 Sqft / 0 Sqft  
(P) Dwelling Unit: -1 Units / 0 Units  
(P) R3 Occ. Group: -832 Sqft / 0 Sqft

**14. APPLICATION COMMENTS:**

[1] DPI: 17019-20000-04632 Mailed: 10-27-17 [2] Permit: 1921LA21371

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless the information printed exceeds that required by section 19825 of the Health and Safety Code of the State of California.

**15. BUILDING RELOCATED FROM:****16. CONTRACTOR, ARCHITECT & ENGINEER NAME****ADDRESS****CLASS****LICENSE #****PHONE #**

(O) OWNER-BUILDER

0

**PERMIT EXPIRATION/REFUNDS:** This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

**17. OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the following reason (Section 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☒ I, as the owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year from completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

OR

☐ I, as the owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

**18. WORKERS' COMPENSATION DECLARATION**

I hereby affirm, under penalty of perjury, one of the following declarations:

☒ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: \_\_\_\_\_ Policy Number: \_\_\_\_\_

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

**WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.**

**19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING**

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at [www.aqmd.gov](http://www.aqmd.gov). Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or [www.dhs.ca.gov/childlead](http://www.dhs.ca.gov/childlead).

**20. FINAL DECLARATION**

I certify that I have read this application **INCLUDING THE ABOVE DECLARATIONS** and state that the above information **INCLUDING THE ABOVE DECLARATIONS** is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

**By signing below, I certify that:**

- (1) I accept all the declarations above namely the Owner-Builder Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

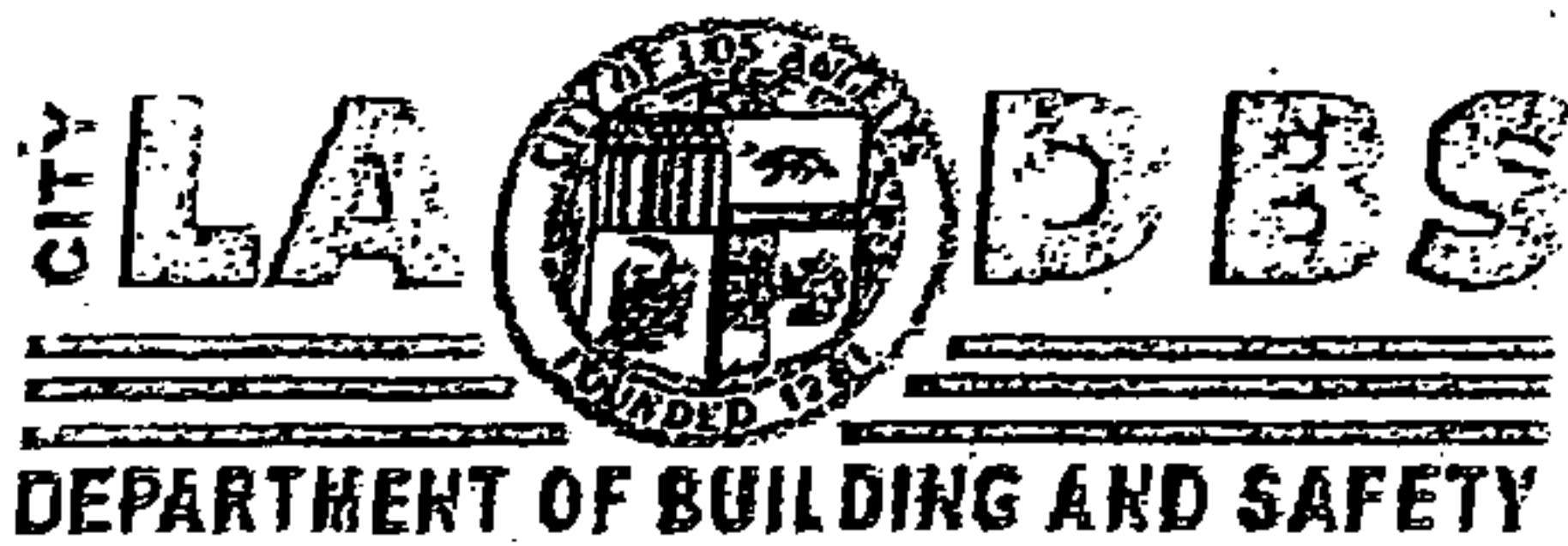
Print Name: **MOGAMMAD-TAGHDIRT**Sign: Date: **01/31/2018**

Owner



Authorized Agent





# AFFIRMATION OF POSTING FOR DEMOLITION OF EXISTING BUILDINGS OR STRUCTURES

LAMC Section 91.106.4.5.1

Project Address: 4055 1/2 W Oakwood Ave Demolition Permit #: 17019-2000-05044

## Affirmation of Posting

The Los Angeles Municipal Code(LAMC) Section 91.106.4.5.1 requires posting of a notice prior to the issuance of a permit for demolition of an existing building or structure for which the original building permit was issued more than 45 years prior to the date of submittal of the application for demolition preinspection, or where information submitted with the application indicates that the building or structure is more than 45 years old based on the date the application is submitted, the property shall be posted in a conspicuous place near the entrance of the property where demolition will occur, with a public notice of the application for demolition preinspection.

I hereby affirm that the property located at 4055 1/2 W OAK WOOD was posted on 10-27-17 (mm/dd/yyyy) in accordance with LAMC 91.106.4.5.1 at least 30 days prior to the issuance of this permit for demolition of the existing building(s) or structure(s).

Print Name: Mohammad Tayeb

Signature: [Signature] Date: 12/14/17

Please check one: ☐ Owner, ☐ Contractor, ☐ Authorized Agent for owner/contractor

### FOR DEPARTMENT USE ONLY

DPI Application #: 17019-2000-04632 Date notification letters mailed: 10-27-17

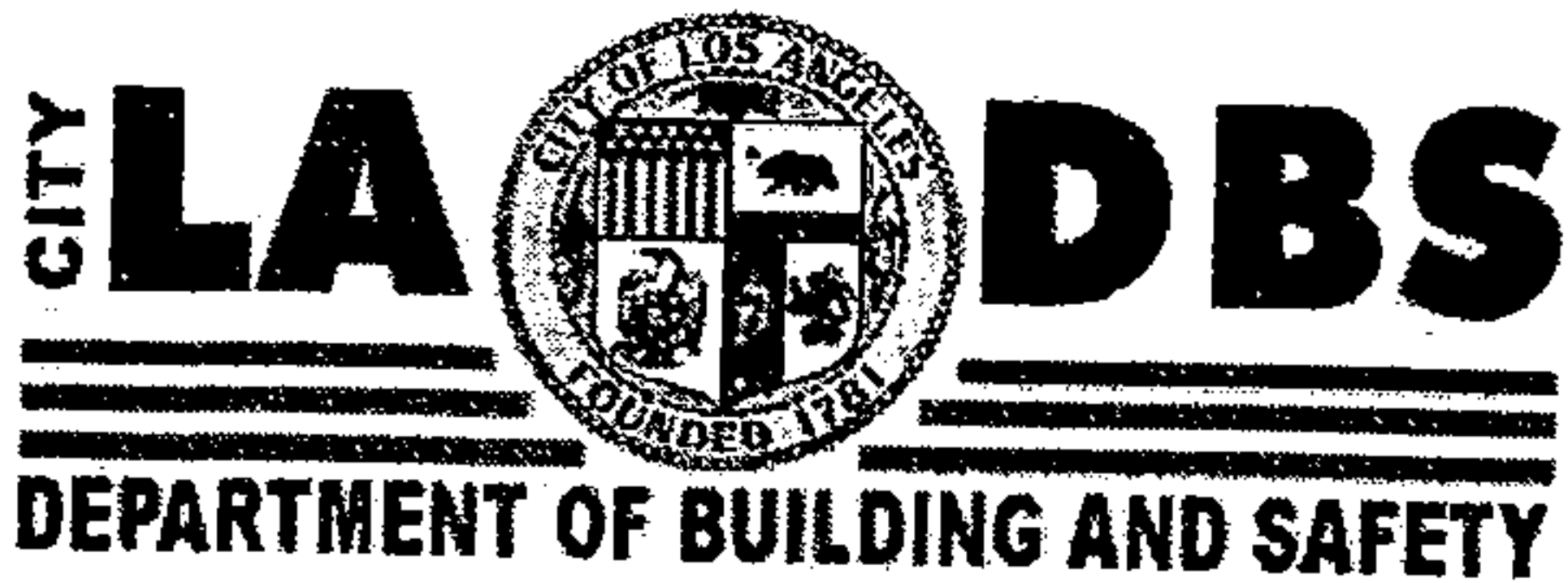
Note: Verify notification and posting were completed at least 30 days prior to demolition permit issuance.

Reviewed by (print name): OMID HENAYAT Signature: [Signature]









OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF  
INFORMATION

(OWNER-BUILDER DECLARATION, cont.)

Application Number: 17019-20000-05044

Project Address: 4655 1/2 W Oakwood Ave

N.F. 10. I am aware of and consent to an Owner-Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity at the following address: W Oakwood Ave

N.T. 11. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern Owner-Builders as well as employers.

N.T. 12. I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form. Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed Contractors may be in civil court. It is also important for you to understand that if an unlicensed Contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner-Builder and wish to hire Contractors, you will be responsible for verifying whether or not those Contractors are properly licensed and the status of their workers' compensation insurance coverage. Before a building permit can be issued, this form must be completed and signed by the property owner and returned to the agency responsible for issuing the permit.

Note: A copy of the property owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.

Owner's Name: OAK WOOD Prop. L.L.C.

Signature of property owner [Signature] Date: 1-31-18

SEC. 3. Section 19830 of the Health and Safety Code is repealed.  
SEC. 4. Section 19831 of the Health and Safety Code is repealed.  
SEC. 5. Section 19832 of the Health and Safety Code is repealed.





## OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF INFORMATION

### (OWNER-BUILDER DECLARATION)

Application Number: 17019 - 20000 - 05044

Project Address: 4055 1/2 W Oakwood Ave

DIRECTIONS: Read and initial each statement below to signify you understand or verify this information.

M.T 1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

n.t 2. I understand building permits are not required to be signed by property owners unless they are *responsible* for the construction and are not hiring a licensed Contractor to assume this responsibility.

n.t 3. I understand as an "Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.

n.t 4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.

n.t 5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.

n.t 6. I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.

n.t 7. I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless *all* work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.

n.t 8. I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.

n.t 9. I understand I may obtain more information regarding my obligations as an "employer" from the Internal Revenue Service, the United States Small Business Administration, the California Department of Benefit Payments, and the California Division of Industrial Accidents. I also understand I may contact the California Contractors' State License Board (CSLB) at 1-800-321-CSLB (2752) or [www.cslb.ca.gov](http://www.cslb.ca.gov) for more information about licensed contractors.

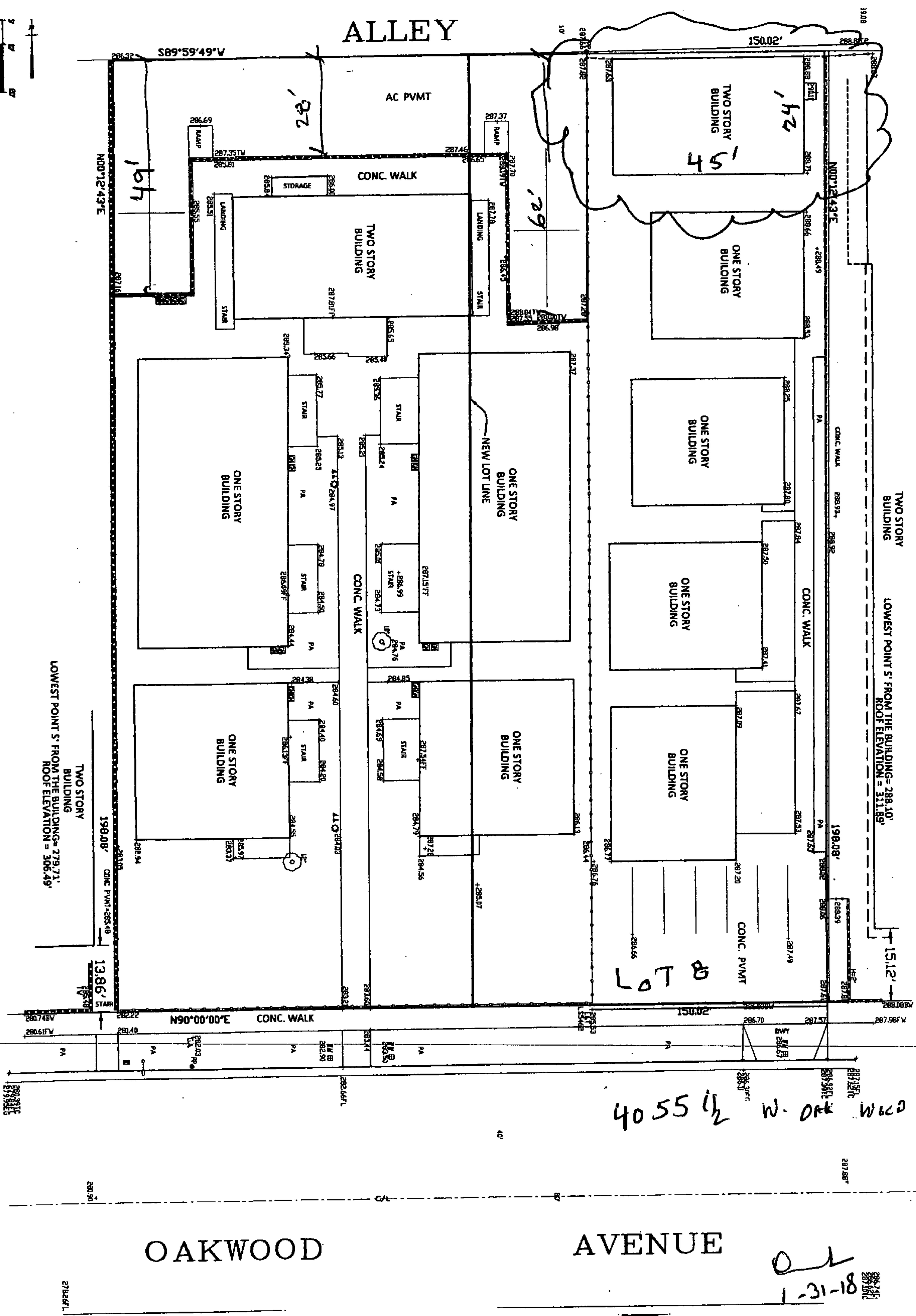
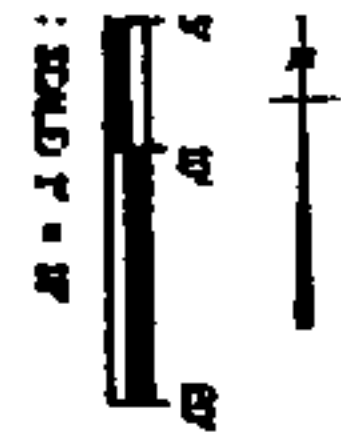


Bldg-Demolition  
1 or 2 Family Dwelling  
Plan Check

City of Los Angeles - Department of Building and Safety

Plan Check #: B17VN18105  
Initiating Office: VAN NUYS  
Printed on: 12/01/17 15:42:03

PLOT PLAN ATTACHMENT



(DO NOT DRAW, WRITE, OR PASTE ATTACHMENTS OUTSIDE BORDERED)

1050206201850934

4055 1/2 W. OAK WOOD

1-31-18

4N



Address: 4055 1/2 W oakwood Ave



Application #: 17019-2000-05044

Printed: 08/26/16 12:04 PM

City of Los Angeles - Department of Building and Safety  
Attachment to Application for Demolition Permit:  
Notice and Owner's Declaration Related to CEQA and Project  
Scope

**I. Notice to Owner**

*If you are applying for a demolition permit to facilitate the construction or development of the project site, you may be referred to the Planning Department for further assistance.*

The California Environmental Quality Act (CEQA) directs public agencies to assess and disclose the environmental effects of the projects it approves. In determining whether a proposed project is subject to CEQA, the City is required to consider all of the parts and phases of the project and may not limit its review to the specific permits or approvals sought. (Public Resources Code Section 21065) Failure by a project applicant to disclose future construction or development activities on the project site may result in a violation of CEQA. If the City determines that an application or approval is part of a larger undisclosed project, the City may revoke and/or stay any approvals until a full and complete CEQA analysis of the whole project is reviewed and an appropriate CEQA clearance is adopted or certified.

*Please contact the Planning Department if you have additional questions after reviewing this notice.*

**II. Owner's Project Information**

Based upon the above-stated rule, is the proposed demolition part of a larger development project at the demolition site, and if so, will the larger project require any discretionary approvals from the City? (Select "Yes" or "No," and follow the related instructions)

Yes ☐ A CEQA clearance from the Planning Department will be required prior to the issuance of the demolition permit for the proposed project. Return this form to a Department of Building and Safety Plan Check Engineer at the time of plan check.

No ☒ Sign and notarize the signature at the bottom of the form and return the notarized form to a Department of Building and Safety Plan Check Engineer at the time of plan check.

**III. Owner's Declaration**

I own the property located at \_\_\_\_\_. I have read the above "Notice to Owner." I understand that a "project," as defined by CEQA, is the whole of the proposed activity and is not limited to the demolition subject to this application. I further understand that CEQA prohibits treatment of each separate approval as a separate project for purposes of evaluating environmental impacts. I acknowledge and understand that should the City determine that the demolition proposed is part of a larger project requiring any discretionary permits, the City may revoke and/or stay any approvals (including certificates of occupancy) until a full and complete CEQA analysis is prepared and clearance is adopted or certified.

I certify that (i) the demolition authorized by this permit is not to facilitate the construction or development of a larger project at the project site, or (ii) the demolition is part of a larger project and, after using all reasonable efforts, including consulting with the City Planning Department, I have determined there are no discretionary permits required for the project, including but not limited to haul route permits, permits to remove protected trees, historic resource review, or any discretionary zoning or map approvals.

Date \_\_\_\_\_ Name of the Owner (Print) \_\_\_\_\_

Signature \_\_\_\_\_

(See page 2 of 2 For Notary Acknowledgment)





Application #:

Printed: 08/26/16 12:04 PM

City of Los Angeles - Department of Building and Safety  
Attachment to Application for Demolition Permit:  
Notice and Owner's Declaration Related to CEQA and Project  
Scope

## ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

On 12/14/17 before me, Marco J Cruz, notary  
(insert name and title of the officer)

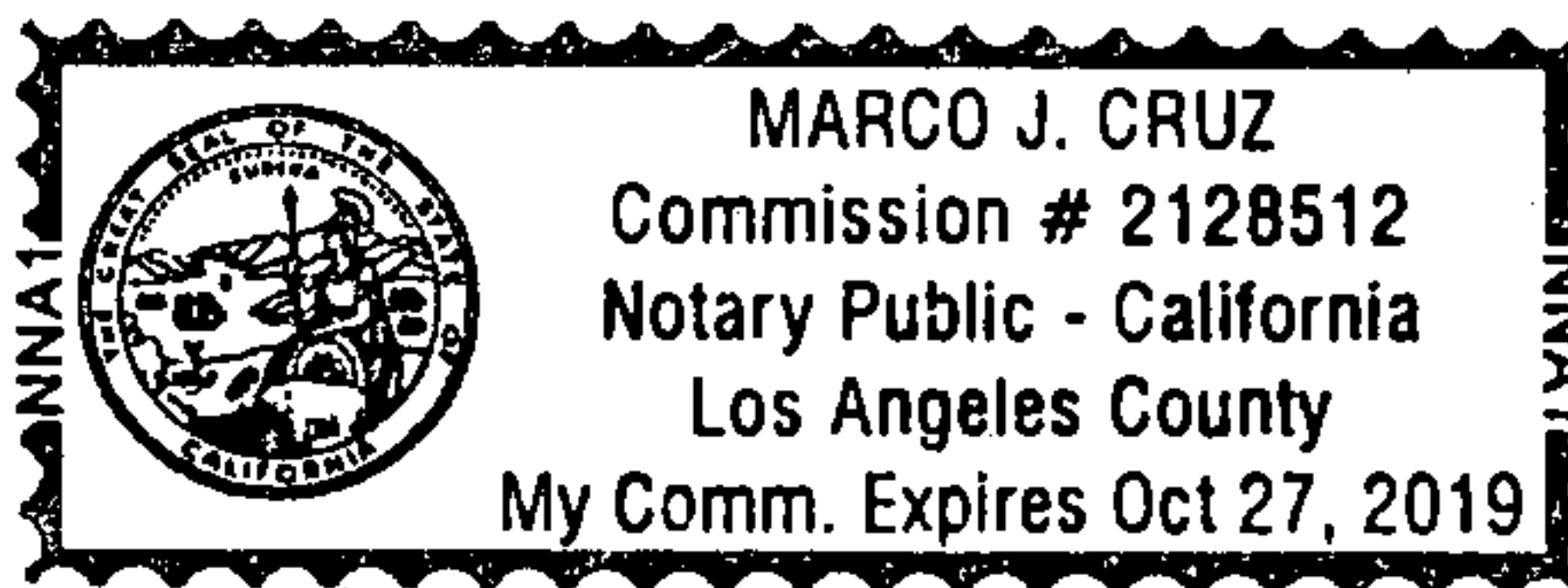
personally appeared Mohammad Taghdiri  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature

(Seal)





4055 1/3 - 4057 1/3 W Oakwood Ave



Permit #:

17019 - 20000 - 05045

Plan Check #: B17VN18105

Printed: 01/31/18 03:29 PM

Event Code:

Bldg-Demolition 1 or 2 Family Dwelling Appointment Plan Check Plan Check	City of Los Angeles - Department of Building and Safety <b>APPLICATION FOR INSPECTION TO DEMOLISH BUILDING OR STRUCTURE</b>	Issued on: 01/31/2018 Last Status: Issued Status Date: 01/31/2018
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<b>1. TRACT</b>	<b>BLOCK</b>	<b>LOT(s)</b>	<b>ARB</b>	<b>COUNTY MAP REF #</b>	<b>PARCEL ID # (PIN #)</b>	<b>2. ASSESSOR PARCEL #</b>
RE-SUBDIVISION OF BLOCK C, C	8			M B 6-33	138B197 29	5520 - 017 - 009

<b>3. PARCEL INFORMATION</b> Area Planning Commission - Central LADBS Branch Office - LA Bldg. Line - 15 Council District - 13 Certified Neighborhood Council - Wilshire Center - Koreatown	Community Plan Area - Wilshire Census Tract - 1926.20 District Map - 138B197 Energy Zone - 9 Methane Hazard Site - Methane Buffer Zone	Near Source Zone Distance - 1.7 Thomas Brothers Map Grid - 594-A7
ZONES(S): R3-1		

<b>4. DOCUMENTS</b> ZI - ZI-2374 LOS ANGELES STATE ENTER SPA - Vermont / Western Station Neighborhood ZI - ZI-2427 FWY Adj Advisory Notice for Se RENT - YES ZI - ZI-2452 Transit Priority Area in the Cit TNI - East Hollywood	ORD - ORD-173749 ORD - ORD-173799 ORD - ORD-161116-SA20 ORD - ORD-165331-SA6300	ORD - ORD-184414 ORD - ORD-184888 ORD - ORD-184271 ORD - ORD-184385	ORD - ORD-184414 ORD - ORD-184888 ORD - ORD-65086 CPC - CPC-1984-I-HD
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<b>5. CHECKLIST ITEMS</b> Sewer Cap - Permit Required
--

<b>6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION</b> Owner(s): OAKWOOD PROPERTIES LLC 423 16TH ST, LOS ANGELES CA 90015 -- Tenant:  Applicant: (Relationship: Agent for Owner) MOHAMMAD TAGHDIRI - 19051 NASHVILLE, PORTER RANCH, CA 91326 -- (310) 387-1388
---

For Cashier's Use Only

W/O #: 71905045

<b>7. EXISTING USE</b> (02) Duplex	<b>PROPOSED USE</b> (23) Demolition
---------------------------------------	--

<b>8. DESCRIPTION OF WORK</b> DEMO (E) DUPLEX. CLEAR AND FENCE THE LOT.
--

<b>9. # Bldgs on Site &amp; Use:</b>	DEMO 8 OF 10
--------------------------------------	--------------

<b>10. APPLICATION PROCESSING INFORMATION</b>	
BLDG. PC By: Omid Hedayat OK for Cashier: Omid Hedayat Signature:	DAS PC By: Coord. OK: Date: 01/31/2018

<b>11. PROJECT VALUATION</b>	Final Fee Period
Permit Valuation: \$2,000	PC Valuation:
Sewer Cap ID:	Total Bond(s) Due:

<b>12. ATTACHMENTS</b>	
CEQA Bldg Demolition Notice Demo Affirmation Posting	Owner-Builder Declaration Plot Plan

For inspection requests, call toll-free (888) LA4BUILD (524-2845). Outside LA County, call (213) 482-0000 or request inspections via <a href="http://www.ladbs.org">www.ladbs.org</a> . To speak to a Call Center agent, call 311. Outside LA County, call (213) 473-3231.
--

VN LAUR 203123104 1/31/2018 3:28:56 PM  
DEMO PERMIT \$130.00  
PLUMBING PERMIT RES \$33.80  
BUILDING PLAN CHECK \$0.00  
EI RESIDENTIAL \$0.50  
DEV SERV CENTER SURCH \$4.93  
SYSTEMS DEVT FEE \$9.86  
CITY PLANNING SURCH \$7.80  
MISCELLANEOUS \$10.00  
PLANNING GEN PLAN MAINT SURCH \$9.10  
CA BLDG STD COMMISSION SURCHARGE \$1.00  
BUILDING PLAN CHECK \$0.00

Sub Total: \$206.99

Permit #: 170192000005045  
Building Card #: 2018VN59589  
Receipt #: 0203489777



\* P 1 7 0 1 9 2 0 0 0 0 5 0 4 5 F N \*



**13. STRUCTURE INVENTORY**

(Note: Numeric measurement data in the format "number / number" implies "change in numeric value / total resulting numeric value")

17019 - 20000 - 05045

(P) Floor Area (ZC): -1920 Sqft / 0 Sqft  
(P) Dwelling Unit: -2 Units / 0 Units  
(P) R3 Occ. Group: -1920 Sqft / 0 Sqft

**14. APPLICATION COMMENTS:**

[1] DPI: 17019-20000-04632 . Mailed: 10-27-17 [2] Permit # 1922LA34834

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless the information printed exceeds that required by section 19825 of the Health and Safety Code of the State of California.

**15. BUILDING RELOCATED FROM:****16. CONTRACTOR, ARCHITECT & ENGINEER NAME****ADDRESS****CLASS****LICENSE #****PHONE #**

(O) OWNER-BUILDER

0

**PERMIT EXPIRATION/REFUNDS:** This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

**17. OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the following reason (Section 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☒ I, as the owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year from completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

OR

☐ I, as the owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

**18. WORKERS' COMPENSATION DECLARATION**

I hereby affirm, under penalty of perjury, one of the following declarations:

☒ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: \_\_\_\_\_ Policy Number: \_\_\_\_\_

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

**WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.**

**19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING**

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at [www.aqmd.gov](http://www.aqmd.gov). Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or [www.dhs.ca.gov/childlead](http://www.dhs.ca.gov/childlead).

**20. FINAL DECLARATION**

I certify that I have read this application **INCLUDING THE ABOVE DECLARATIONS** and state that the above information **INCLUDING THE ABOVE DECLARATIONS** is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

**By signing below, I certify that:**

- (1) I accept all the declarations above namely the Owner-Builder Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

Print Name: **MOHAMMAD-TAGHDIRI**Sign: Date: **01/31/2018**☒ Owner☐ Authorized Agent



Bldg-Demolition  
1 or 2 Family Dwelling  
Plan Check

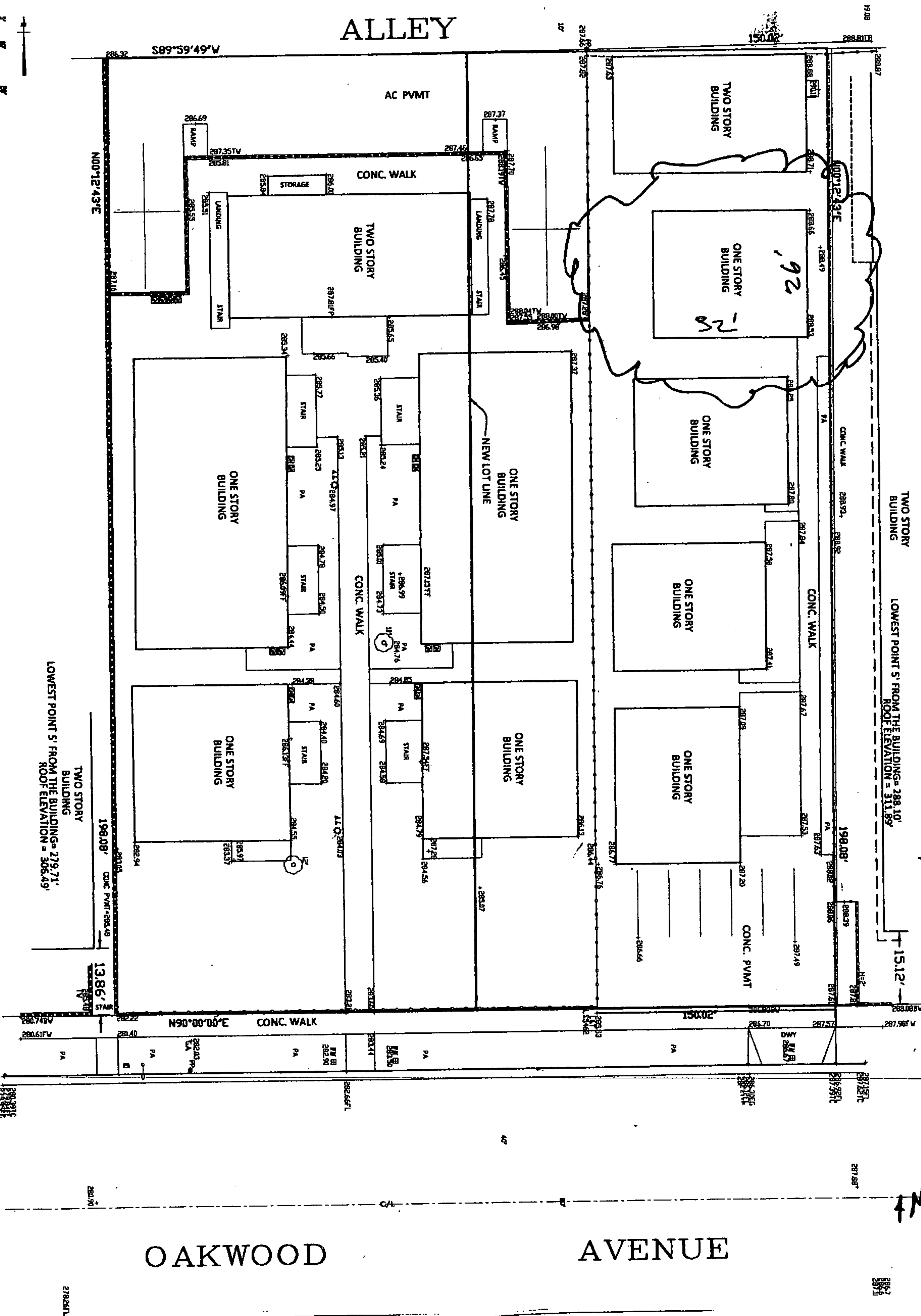
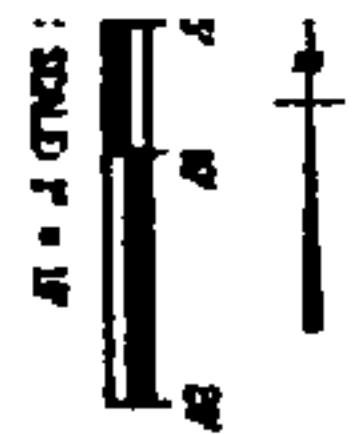
City of Los Angeles - Department of Building and Safety

Plan Check #: B17VN18105

Initiating Office: VAN NUYS

Printed on: 12/19/17 11:20:08

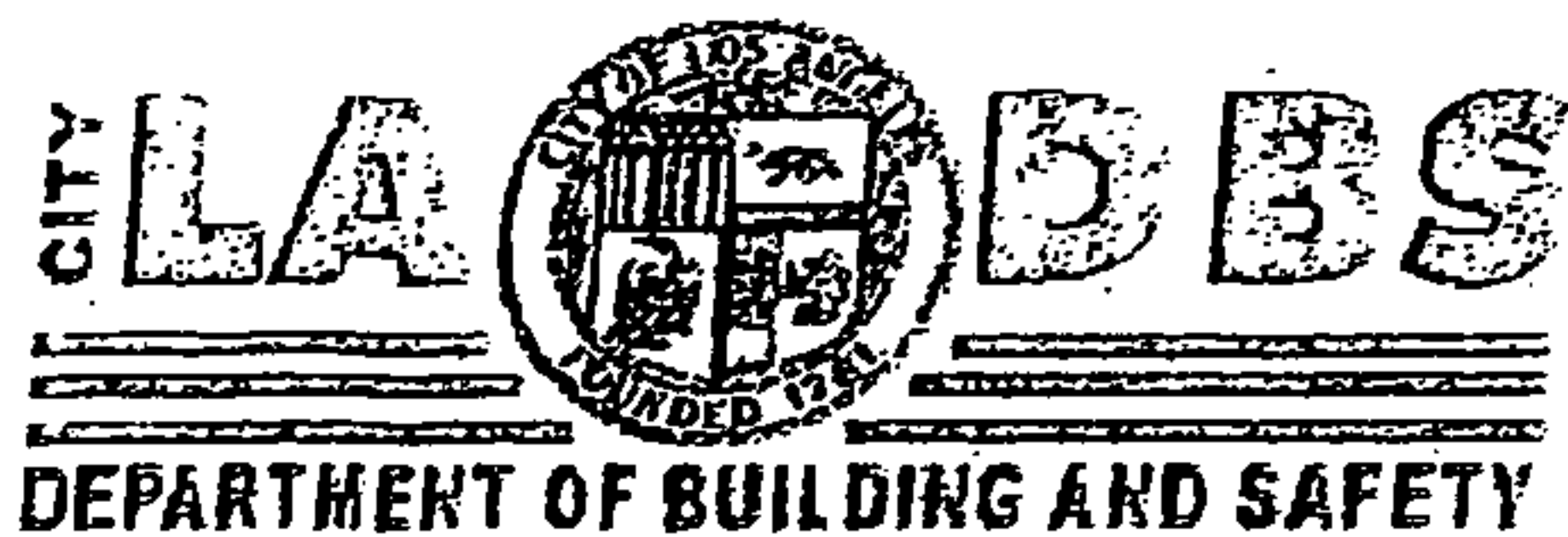
PLOT PLAN ATTACHMENT



OAKWOOD

AVENUE





# AFFIRMATION OF POSTING FOR DEMOLITION OF EXISTING BUILDINGS OR STRUCTURES

LAMC Section 91.106.4.5.1

Project Address: 4055 1/2 - 4057 1/2 W Oakwood Ave Demolition Permit #: 17019-20000-05045

## Affirmation of Posting

The Los Angeles Municipal Code(LAMC) Section 91.106.4.5.1 requires posting of a notice prior to the issuance of a permit for demolition of an existing building or structure for which the original building permit was issued more than 45 years prior to the date of submittal of the application for demolition preinspection, or where information submitted with the application indicates that the building or structure is more than 45 years old based on the date the application is submitted, the property shall be posted in a conspicuous place near the entrance of the property where demolition will occur, with a public notice of the application for demolition preinspection.

I hereby affirm that the property located at 4055 1/2 - 4057 1/2 W Oakwood Ave was posted on 10-27-17 (mm/dd/yyyy) in accordance with LAMC 91.106.4.5.1 at least 30 days prior to the issuance of this permit for demolition of the existing building(s) or structure(s).

Print Name: Mohammad Taghdir

Signature: [Signature] Date: 01-31-18

Please check one: ( ) Owner, ( ) Contractor, ( ) Authorized Agent for owner/contractor

### FOR DEPARTMENT USE ONLY

DPI Application #: 17019-20000-04632 Date notification letters mailed: 10-27-17

Note: Verify notification and posting were completed at least 30 days prior to demolition permit issuance.

Reviewed by (print name): OMID HEDAYAT Signature: [Signature]



... ..

• • • • •



Application #:

Printed: 08/26/16 12:04 PM



**City of Los Angeles - Department of Building and Safety**  
**Attachment to Application for Demolition Permit:**  
**Notice and Owner's Declaration Related to CEQA and Project**  
**Scope**

## I. Notice to Owner

***If you are applying for a demolition permit to facilitate the construction or development of the project site, you may be referred to the Planning Department for further assistance.***

The California Environmental Quality Act (CEQA) directs public agencies to assess and disclose the environmental effects of the projects it approves. In determining whether a proposed project is subject to CEQA, the City is required to consider all of the parts and phases of the project and may not limit its review to the specific permits or approvals sought. (Public Resources Code Section 21065) Failure by a project applicant to disclose future construction or development activities on the project site may result in a violation of CEQA. If the City determines that an application or approval is part of a larger undisclosed project, the City may revoke and/or stay any approvals until a full and complete CEQA analysis of the whole project is reviewed and an appropriate CEQA clearance is adopted or certified.

***Please contact the Planning Department if you have additional questions after reviewing this notice.***

## **II. Owner's Project Information**

**Based upon the above-stated rule, is the proposed demolition part of a larger development project at the demolition site, and if so, will the larger project require any discretionary approvals from the City? (Select "Yes" or "No," and follow the related instructions)**

**Yes \_\_\_ A CEQA clearance from the Planning Department will be required prior to the issuance of the demolition permit for the proposed project. Return this form to a Department of Building and Safety Plan Check Engineer at the time of plan check.**

**No \_\_\_\_ Sign and notarize the signature at the bottom of the form and return the notarized form to a Department of Building and Safety Plan Check Engineer at the time of plan check.**

### **III. Owner's Declaration**

I own the property located at \_\_\_\_\_. I have read the above "Notice to Owner." I understand that a "project," as defined by CEQA, is the whole of the proposed activity and is not limited to the demolition subject to this application. I further understand that CEQA prohibits treatment of each separate approval as a separate project for purposes of evaluating environmental impacts. I acknowledge and understand that should the City determine that the demolition proposed is part of a larger project requiring any discretionary permits, the City may revoke and/or stay any approvals (including certificates of occupancy) until a full and complete CEQA analysis is prepared and clearance is adopted or certified.

I certify that (i) the demolition authorized by this permit is not to facilitate the construction or development of a larger project at the project site, or (ii) the demolition is part of a larger project and, after using all reasonable efforts, including consulting with the City Planning Department, I have determined there are no discretionary permits required for the project, including but not limited to haul route permits, permits to remove protected trees, historic resource review, or any discretionary zoning or map approvals.

Date \_\_\_\_\_ Name of the Owner (Print) \_\_\_\_\_

**Signature** \_\_\_\_\_

**(See page 2 of 2 For Notary Acknowledgment)**





Application #:

Printed: 08/26/16 12:04 PM

City of Los Angeles - Department of Building and Safety  
Attachment to Application for Demolition Permit:  
Notice and Owner's Declaration Related to CEQA and Project  
Scope

## ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles )

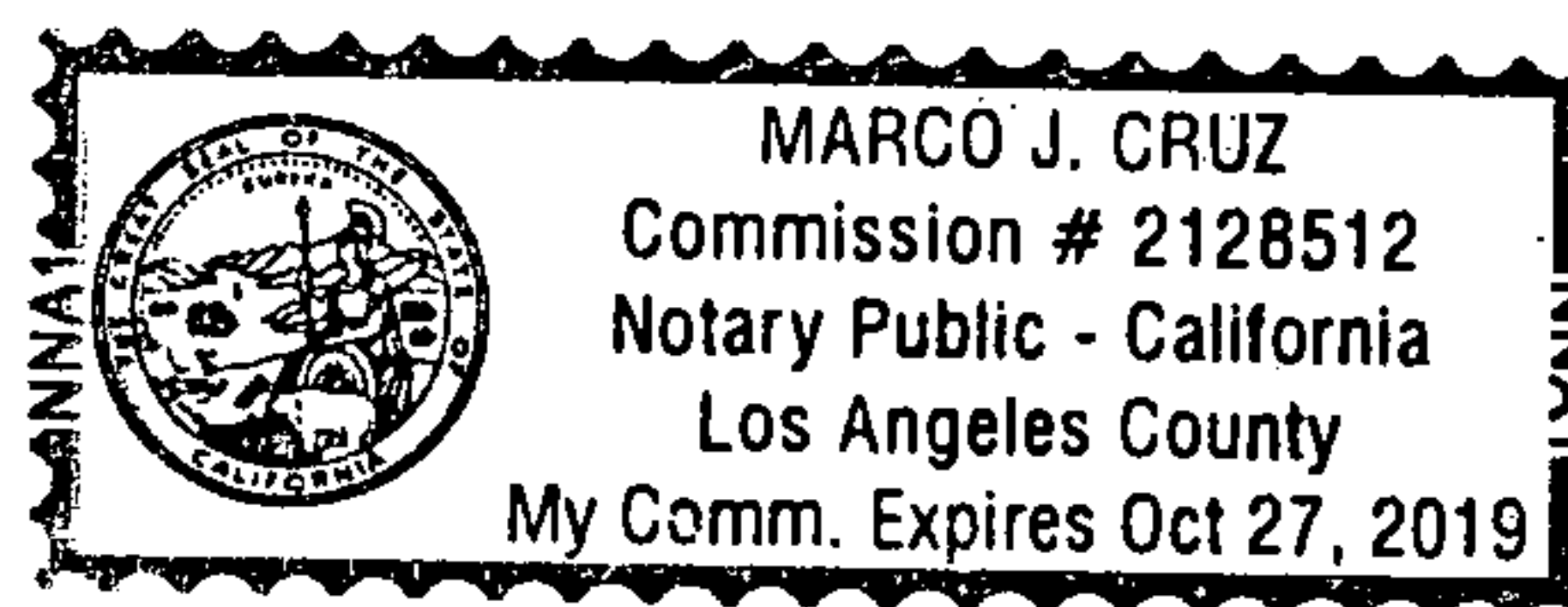
On 12/14/17 before me, Marco J. Cruz  
(insert name and title of the officer)

personally appeared Mohammad Toghiani  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Marco J. Cruz (Seal)







# OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF INFORMATION

## (OWNER-BUILDER DECLARATION)

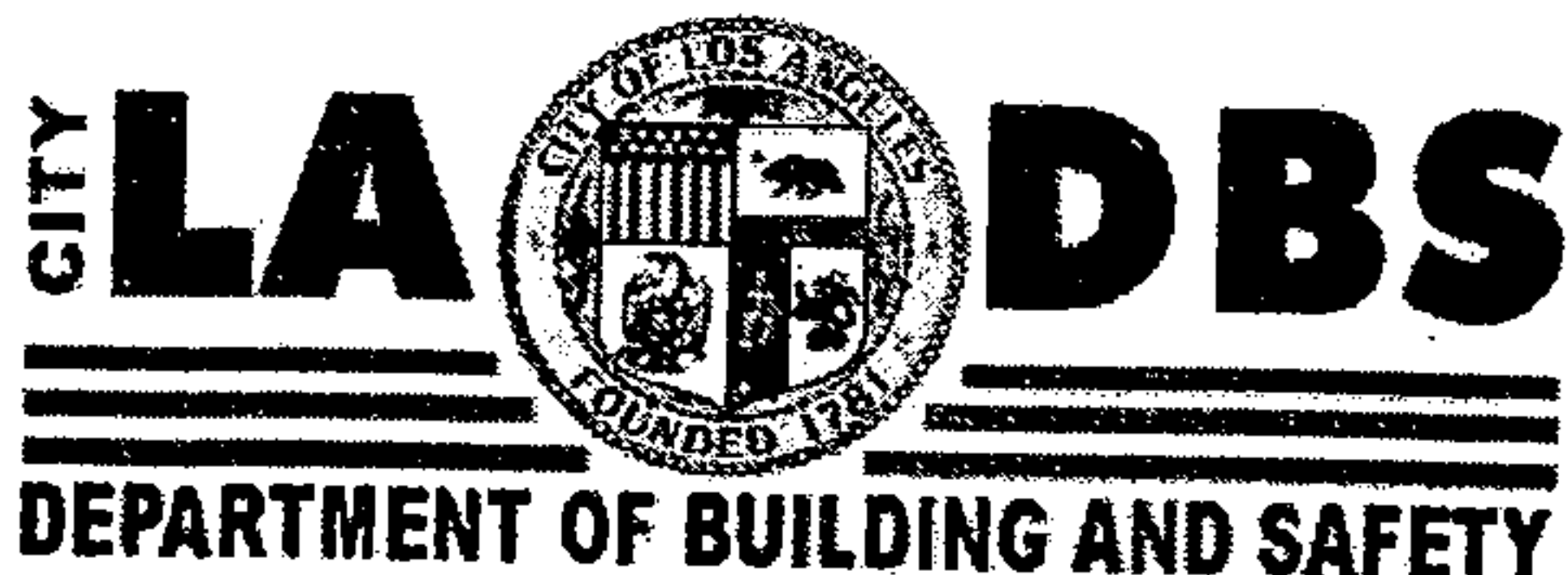
Application Number: 17019-20000-05045

Project Address: 405 5 1/3 - 405 7 1/3 W Oakwood Ave

DIRECTIONS: Read and initial each statement below to signify you understand or verify this information.

- M.T 1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.
- N.T 2. I understand building permits are not required to be signed by property owners unless they are *responsible* for the construction and are not hiring a licensed Contractor to assume this responsibility.
- N.T 3. I understand as an "Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.
- N.T 4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.
- N.T 5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.
- N.T 6. I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.
- N.T 7. I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless *all* work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.
- N.T 8. I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.
- N.T 9. I understand I may obtain more information regarding my obligations as an "employer" from the Internal Revenue Service, the United States Small Business Administration, the California Department of Benefit Payments, and the California Division of Industrial Accidents. I also understand I may contact the California Contractors' State License Board (CSLB) at 1-800-321-CSLB (2752) or [www.cslb.ca.gov](http://www.cslb.ca.gov) for more information about licensed contractors.





OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF  
INFORMATION

(OWNER-BUILDER DECLARATION, cont.)

Application Number: 17019-20000-04045

Project Address: 4055 1/3 - 4057 1/3 W Oakwood Ave

N.F. 10. I am aware of and consent to an Owner-Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity at the following address: W Oakwood Ave

N.F. 11. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern Owner-Builders as well as employers.

N.F. 12. I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form. Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed Contractors may be in civil court. It is also important for you to understand that if an unlicensed Contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner-Builder and wish to hire Contractors, you will be responsible for verifying whether or not those Contractors are properly licensed and the status of their workers' compensation insurance coverage. Before a building permit can be issued, this form must be completed and signed by the property owner and returned to the agency responsible for issuing the permit.

Note: A copy of the property owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.

Owner's Name: OAKWOOD Prop. L.L.C.

Signature of property owner [Signature] Date: 1-31-18

SEC. 3. Section 19830 of the Health and Safety Code is repealed.  
SEC. 4. Section 19831 of the Health and Safety Code is repealed.  
SEC. 5. Section 19832 of the Health and Safety Code is repealed.



4057 W Oakwood Ave



Permit #:

17019 - 20000 - 05046

Plan Check #: B17VN18105

Printed: 01/31/18 03:31 PM

Event Code:

Bldg-Demolition Apartment Appointment Plan Check Plan Check	City of Los Angeles - Department of Building and Safety <b>APPLICATION FOR INSPECTION TO DEMOLISH BUILDING OR STRUCTURE</b>	Issued on: 01/31/2018 Last Status: Issued Status Date: 01/31/2018
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<b>1. TRACT</b> RE-SUBDIVISION OF BLOCK C / C	<b>BLOCK</b> 8	<b>LOT(s)</b> 8	<b>ARB</b> M B 6-33	<b>COUNTY MAP REF #</b> 138B197 29	<b>PARCEL ID # (PIN #)</b> 5520 - 017 - 009	<b>2. ASSESSOR PARCEL #</b> 5520 - 017 - 009
--	-------------------	--------------------	------------------------	---------------------------------------	--	---

<b>3. PARCEL INFORMATION</b> Area Planning Commission - Central LADBS Branch Office - LA Bldg. Line - 15 Council District - 13 Certified Neighborhood Council - Wilshire Center - Koreatown	Community Plan Area - Wilshire Census Tract - 1926.20 District Map - 138B197 Energy Zone - 9 Methane Hazard Site - Methane Buffer Zone	Near Source Zone Distance - 1.7 Thomas Brothers Map Grid - 594-A7
ZONES(S): R3-1		

<b>4. DOCUMENTS</b> ZI - ZI-2374 LOS ANGELES STATE ENTER SPA - Vermont / Western Station Neighborhood ZI - ZI-2427 FWY Adj Advisory Notice for Se RENT - YES ZI - ZI-2452 Transit Priority Area in the Cit TNI - East Hollywood	ORD - ORD-173749 ORD - ORD-173799 ORD - ORD-161116-SA20 ORD - ORD-165331-SA6300	ORD - ORD-184414 ORD - ORD-184888 ORD - ORD-65086 CPC - CPC-1984-1-HD
---	--	--

<b>5. CHECKLIST ITEMS</b> Sewer Cap - Permit Required
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<b>6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION</b> Owner(s): OAK WOOD PROPERTIES LLC 423 16TH ST, LOS ANGELES CA 90015 -- Tenant:  Applicant: (Relationship: Agent for Owner) MOHAMMAD TAGHDIRI - 19051 NASHVILLE, PORTER RANCH, CA 91326 -- (310) 387-1388	For Cashier's Use Only W/O #: 71905046
--	---

<b>7. EXISTING USE</b> (01) Dwelling - Single Family	<b>PROPOSED USE</b> (23) Demolition
---	--

<b>8. DESCRIPTION OF WORK</b> DEMO (E) SINGLE FAMILY WELLING UNIT. FENCE AND CLEAR THE LOT.
--

<b>9. # Bldgs on Site &amp; Use:</b> DEMO 9 OF 10
---

<b>10. APPLICATION PROCESSING INFORMATION</b>	
BLDG. PC By: Omid Hedayat OK for Cashier: Omid Hedayat Signature:	DAS PC By: Coord. OK: Date: 01/31/2018

<b>11. PROJECT VALUATION</b> Final Fee Period	
Permit Valuation: \$1,500	PC Valuation:
Sewer Cap ID:	Total Bond(s) Due:

<b>12. ATTACHMENTS</b>	
CEQA Bldg Demolition Notice Demo Affirmation Posting	Owner-Builder Declaration Plot Plan

For inspection requests, call toll-free (888) LA4BUILD (524-2845). Outside LA County, call (213) 482-0000 or request inspections via <a href="http://www.ladbs.org">www.ladbs.org</a> . To speak to a Call Center agent, call 311. Outside LA County, call (213) 473-3231.
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\* P 1 7 0 1 9 2 0 0 0 0 5 0 4 6 F N \*

VN LAUR 203123104 1/31/2018 3:31:20 PM  
DEMO PERMIT \$130.00  
BUILDING PLAN CHECK \$0.00  
EI RESIDENTIAL \$0.50  
DEV SERV CENTER SURCH \$3.92  
SYSTEMS DEVT FEE \$7.83  
CITY PLANNING SURCH \$7.80  
MISCELLANEOUS \$10.00  
PLANNING GEN PLAN MAINT SURCH \$9.10  
CA BLDG STD COMMISSION SURCHARGE \$1.00  
BUILDING PLAN CHECK \$0.00

Sub Total: \$170.15.

Permit #: 170192000005046  
Building Card #: 2018VN59592  
Receipt #: 0203489783



**13. STRUCTURE INVENTORY**

(Note: Numeric measurement data in the format "number / number" implies "change in numeric value / total resulting numeric value")

17019 - 20000 - 05046

(P) Floor Area (ZC): -832 Sqft / 0 Sqft  
(P) Dwelling Unit: -1 Units / 0 Units  
(P) R3 Occ. Group: -832 Sqft / 0 Sqft

**14. APPLICATION COMMENTS:**

DPI: 17019-20000-04632 Mailed: 10.27.17

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless the information printed exceeds that required by section 19825 of the Health and Safety Code of the State of California.

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(O) OWNER-BUILDER

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☐ I, as the owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

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Carrier: \_\_\_\_\_ Policy Number: \_\_\_\_\_

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

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**20. FINAL DECLARATION**

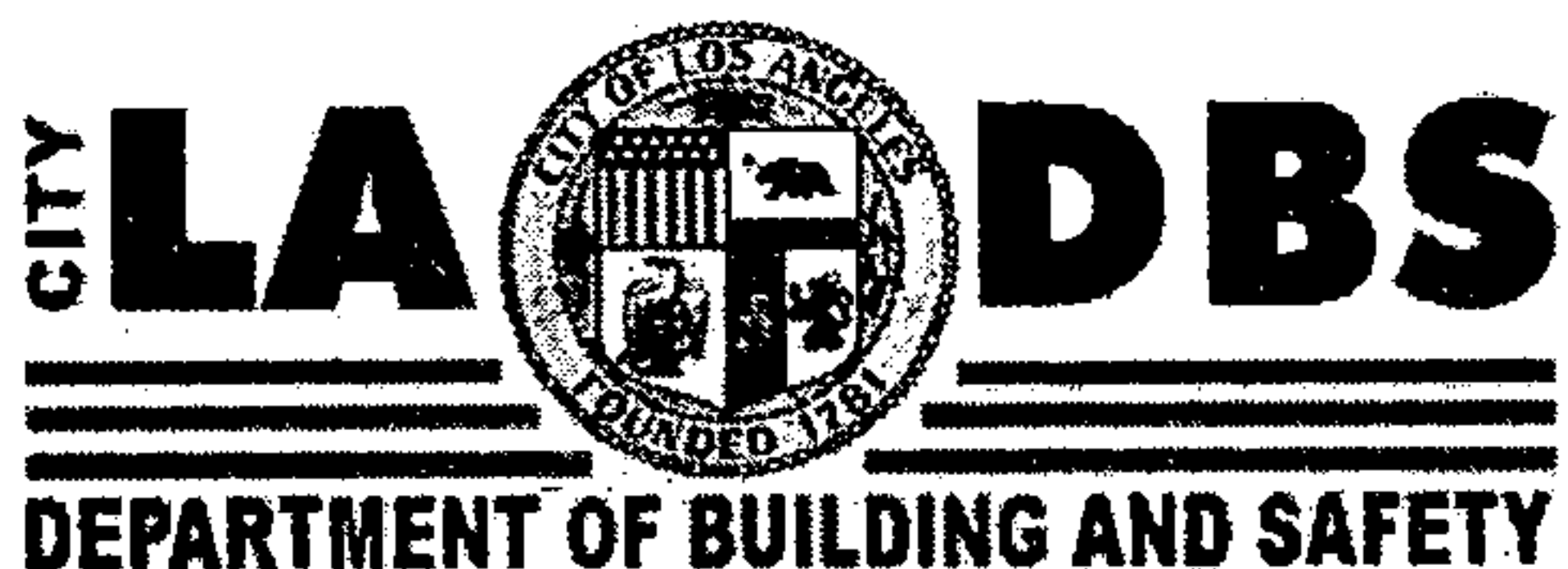
I certify that I have read this application **INCLUDING THE ABOVE DECLARATIONS** and state that the above information **INCLUDING THE ABOVE DECLARATIONS** is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

**By signing below, I certify that:**

- (1) I accept all the declarations above namely the Owner-Builder Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

Print Name: **MOHAMMAD-TAGHDIRI**Sign: Date: **01/31/2018**☒ Owner☐ Authorized Agent





OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF  
INFORMATION

(OWNER-BUILDER DECLARATION)

Application Number: 17019-20K-05046

Project Address: 4057 W Oakwood Ave

DIRECTIONS: Read and initial each statement below to signify you understand or verify this information.

M.T 1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

h.t 2. I understand building permits are not required to be signed by property owners unless they are *responsible* for the construction and are not hiring a licensed Contractor to assume this responsibility.

h.t 3. I understand as an "Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.

h.t 4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.

h.t 5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.

h.t 6. I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.

h.t 7. I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless *all* work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.

h.t 8. I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.

h.t 9. I understand I may obtain more information regarding my obligations as an "employer" from the Internal Revenue Service, the United States Small Business Administration, the California Department of Benefit Payments, and the California Division of Industrial Accidents. I also understand I may contact the California Contractors' State License Board (CSLB) at 1-800-321-CSLB (2752) or [www.cslb.ca.gov](http://www.cslb.ca.gov) for more information about licensed contractors.





OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF  
INFORMATION

(OWNER-BUILDER DECLARATION, cont.)

Application Number: 17019-20K-05046

Project Address: 4057 W Oakwood Ave

N.F. 10. I am aware of and consent to an Owner-Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity at the following address: 4057 W Oakwood Ave

N.T. 11. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern Owner-Builders as well as employers.

N.T. 12. I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form. Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed Contractors may be in civil court. It is also important for you to understand that if an unlicensed Contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner-Builder and wish to hire Contractors, you will be responsible for verifying whether or not those Contractors are properly licensed and the status of their workers' compensation insurance coverage. Before a building permit can be issued, this form must be completed and signed by the property owner and returned to the agency responsible for issuing the permit.

Note: A copy of the property owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.

Owner's Name: OAKWOOD Prop. L.L.C

Signature of property owner [Signature] Date: 1-31-18

SEC. 3. Section 19830 of the Health and Safety Code is repealed.  
SEC. 4. Section 19831 of the Health and Safety Code is repealed.  
SEC. 5. Section 19832 of the Health and Safety Code is repealed.

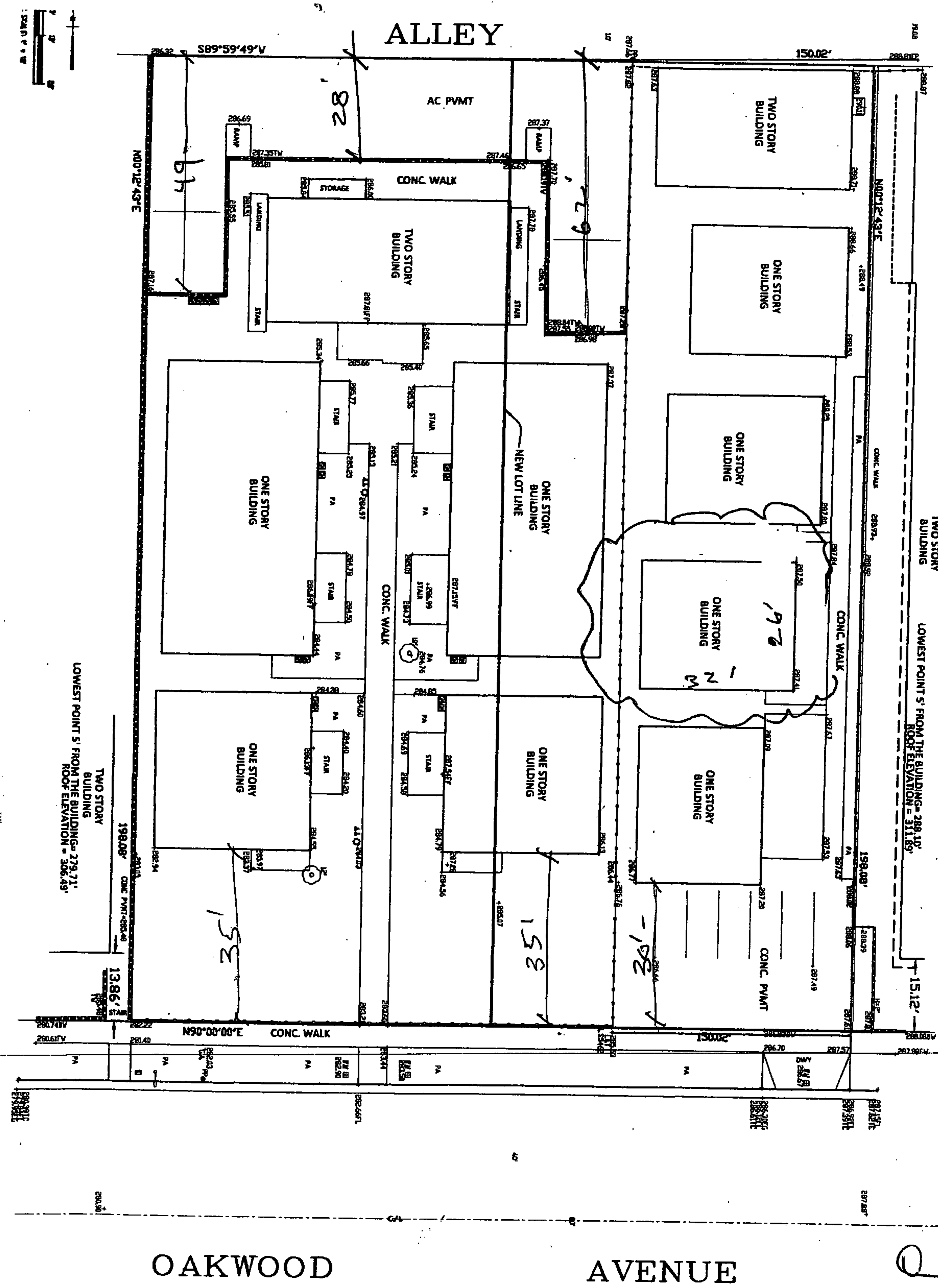


Bldg-Demolition  
Apartment  
Plan Check

City of Los Angeles - Department of Building and Safety

Plan Check #: B17VN18105  
Initiating Office: VAN NUYS  
Printed on: 01/31/18 14:56:32

PLOT PLAN ATTACHMENT



(DO NOT DRAW, WRITE, OR PASTE ATTACHMENTS OUTSIDE BORDER)

1050206201850934



Address: 4037 W Oakwood Ave



Application #: 17019-20000-6046

Printed: 08/26/16 12:04 PM

City of Los Angeles - Department of Building and Safety  
Attachment to Application for Demolition Permit:  
Notice and Owner's Declaration Related to CEQA and Project  
Scope

**I. Notice to Owner**

If you are applying for a demolition permit to facilitate the construction or development of the project site, you may be referred to the Planning Department for further assistance.

The California Environmental Quality Act (CEQA) directs public agencies to assess and disclose the environmental effects of the projects it approves. In determining whether a proposed project is subject to CEQA, the City is required to consider all of the parts and phases of the project and may not limit its review to the specific permits or approvals sought. (Public Resources Code Section 21065) Failure by a project applicant to disclose future construction or development activities on the project site may result in a violation of CEQA. If the City determines that an application or approval is part of a larger undisclosed project, the City may revoke and/or stay any approvals until a full and complete CEQA analysis of the whole project is reviewed and an appropriate CEQA clearance is adopted or certified.

Please contact the Planning Department if you have additional questions after reviewing this notice.

**II. Owner's Project Information**

Based upon the above-stated rule, is the proposed demolition part of a larger development project at the demolition site, and if so, will the larger project require any discretionary approvals from the City? (Select "Yes" or "No," and follow the related instructions)

Yes ☐ A CEQA clearance from the Planning Department will be required prior to the issuance of the demolition permit for the proposed project. Return this form to a Department of Building and Safety Plan Check Engineer at the time of plan check.

No ☒ Sign and notarize the signature at the bottom of the form and return the notarized form to a Department of Building and Safety Plan Check Engineer at the time of plan check.

**III. Owner's Declaration**

I own the property located at 4037 Oakwood Ave. I have read the above "Notice to Owner." I understand that a "project," as defined by CEQA, is the whole of the proposed activity and is not limited to the demolition subject to this application. I further understand that CEQA prohibits treatment of each separate approval as a separate project for purposes of evaluating environmental impacts. I acknowledge and understand that should the City determine that the demolition proposed is part of a larger project requiring any discretionary permits, the City may revoke and/or stay any approvals (including certificates of occupancy) until a full and complete CEQA analysis is prepared and clearance is adopted or certified.

I certify that (i) the demolition authorized by this permit is not to facilitate the construction or development of a larger project at the project site, or (ii) the demolition is part of a larger project and, after using all reasonable efforts, including consulting with the City Planning Department, I have determined there are no discretionary permits required for the project, including but not limited to haul route permits, permits to remove protected trees, historic resource review, or any discretionary zoning or map approvals.

Date 12-12-12 Name of the Owner (Print) OAKWOOD PR LLC

Signature [Signature]

(See page 2 of 2 For Notary Acknowledgment)





Application #:

Printed: 08/26/16 12:04 PM

City of Los Angeles - Department of Building and Safety  
Attachment to Application for Demolition Permit:  
Notice and Owner's Declaration Related to CEQA and Project  
Scope

## ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

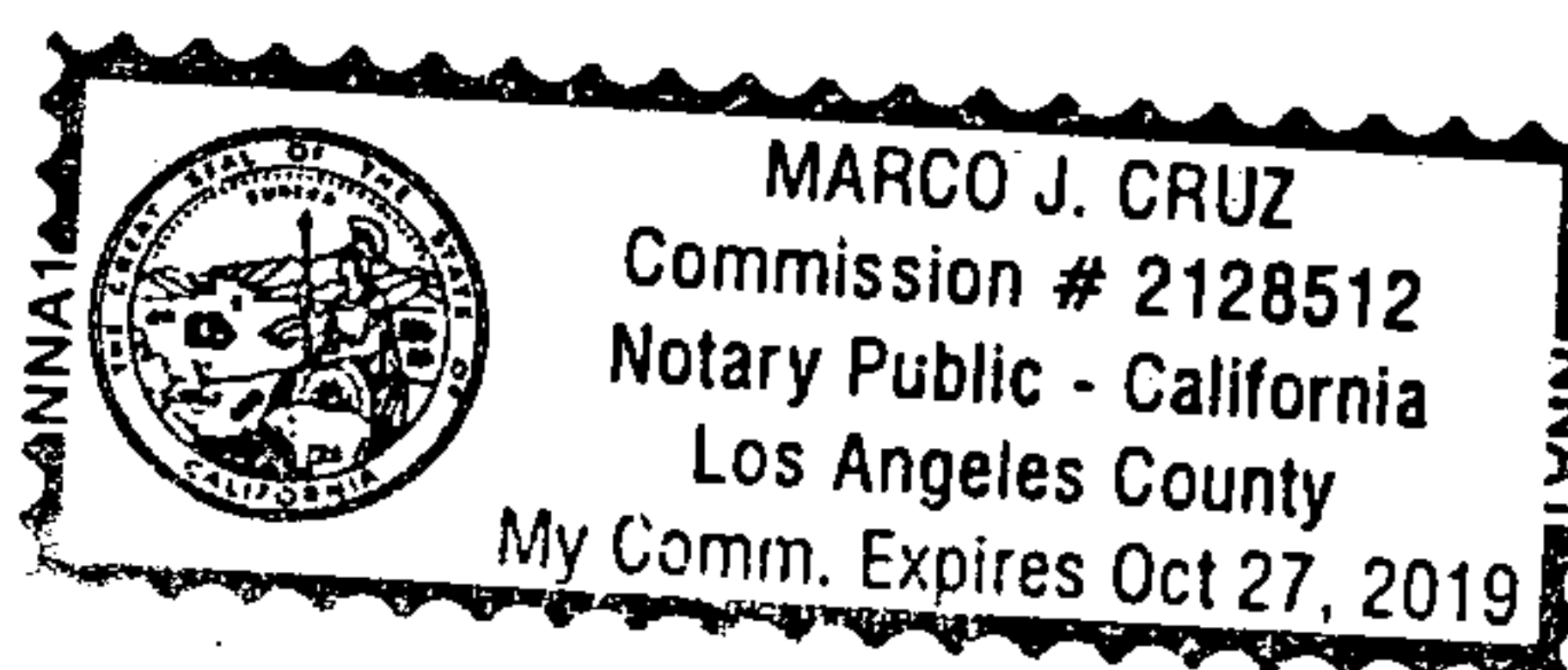
On 12/14/17 before me, Marco J Cruz, notary  
(insert name and title of the officer)

personally appeared Mohammad Taghdiri  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/~~she/they~~ executed the same in his/~~her/their~~ authorized capacity(ies), and that by his/~~her/their~~ signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

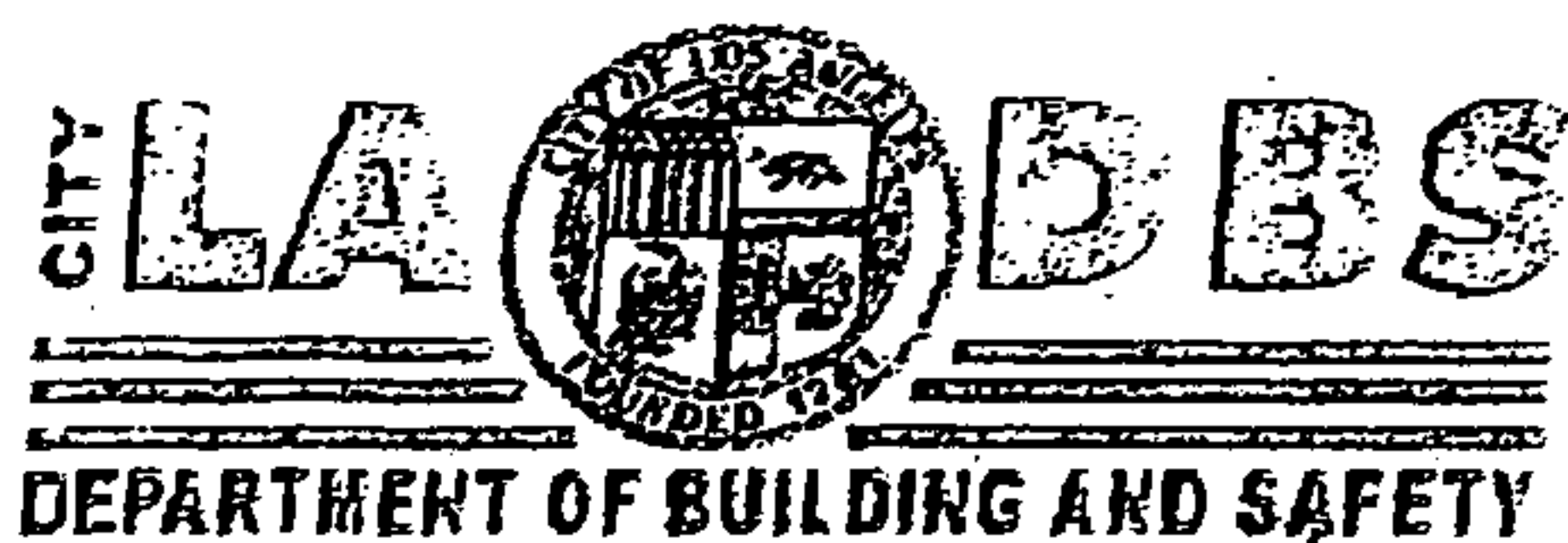
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Signature] (Seal)







**AFFIRMATION OF POSTING FOR DEMOLITION OF  
EXISTING BUILDINGS OR STRUCTURES**

LAMC Section 91.106.4.5.1

Project Address: 4057 W Oakwood Ave Demolition Permit #: 17019-20000-05046

**Affirmation of Posting**

The Los Angeles Municipal Code (LAMC) Section 91.106.4.5.1 requires posting of a notice prior to the issuance of a permit for demolition of an existing building or structure for which the original building permit was issued more than 45 years prior to the date of submittal of the application for demolition preinspection, or where information submitted with the application indicates that the building or structure is more than 45 years old based on the date the application is submitted, the property shall be posted in a conspicuous place near the entrance of the property where demolition will occur, with a public notice of the application for demolition preinspection.

I hereby affirm that the property located at 4057 W OAK WOOD AVE was posted on 10-27-17 (mm/dd/yyyy) in accordance with LAMC 91.106.4.5.1 at least 30 days prior to the issuance of this permit for demolition of the existing building(s) or structure(s).

Print Name: Mohammed Taghdli

Signature: [Signature] Date: 12-12-17

Please check one: ☐ Owner, ☒ Contractor, ☐ Authorized Agent for owner/contractor

**FOR DEPARTMENT USE ONLY**

DPI Application #: 17019-20000-04632 Date notification letters mailed: 10.27.17

Note: Verify notification and posting were completed at least 30 days prior to demolition permit issuance.

Reviewed by (print name): OMID HEDAYAT Signature: [Signature]



4057 1/2 W Oakwood Ave



Permit #:

17019 - 20000 - 05047

Plan Check #: B17VN18105

Printed: 01/31/18 03:24 PM

Event Code:

Bldg-Demolition 1 or 2 Family Dwelling Appointment Plan Check Plan Check	City of Los Angeles - Department of Building and Safety <b>APPLICATION FOR INSPECTION TO DEMOLISH BUILDING OR STRUCTURE</b>	Issued on: 01/31/2018 Last Status: Issued Status Date: 01/31/2018
---	--	---

1. TRACT	BLOCK	LOT(s)	ARB	COUNTY MAP REF #	PARCEL ID # (PIN #)	2. ASSESSOR PARCEL #
RE-SUBDIVISION OF BLOCK C, C		8		MB 6-33	138B197 29	5520 - 017 - 009

<b>3. PARCEL INFORMATION</b>		
Area Planning Commission - Central LADBS Branch Office - LA Bldg. Line - 15 Council District - 13 Certified Neighborhood Council - Wilshire Center - Koreatown	Community Plan Area - Wilshire Census Tract - 1926.20 District Map - 138B197 Energy Zone - 9 Methane Hazard Site - Methane Buffer Zone	Near Source Zone Distance - 1.7 Thomas Brothers Map Grid - 594-A7
ZONES(S): R3-1		

<b>4. DOCUMENTS</b>			
ZI - ZI-2374 LOS ANGELES STATE ENTER SPA - Vermont / Western Station Neighborhood	ORD - ORD-173749	ORD - ORD-184414	
ZI - ZI-2427 FWY Adj Advisory Notice for Se RENT - YES	ORD - ORD-173799	ORD - ORD-184888	
ZI - ZI-2452 Transit Priority Area in the Cit	ORD - ORD-161116-SA20	ORD - ORD-184271	ORD - ORD-65086
TNI - East Hollywood	ORD - ORD-165331-SA6300	ORD - ORD-184385	CPC - CPC-1984-1-HD

<b>5. CHECKLIST ITEMS</b>
Sewer Cap - Permit Required

<b>6. PROPERTY OWNER, TENANT, APPLICANT INFORMATION</b>
Owner(s): OAKWOOD PROPERTIES LLC 423 16TH ST, LOS ANGELES CA 90015 -- Tenant:  Applicant: (Relationship: Agent for Owner) MOHAMMAD TAGHDIRI - 19051 NASHVILLE, PORTER RANCH, CA 91326 -- (310) 387-1388

For Cashier's Use Only W/O #: 71905047

<b>7. EXISTING USE</b>	<b>PROPOSED USE</b>
(01) Dwelling - Single Family	(23) Demolition

<b>8. DESCRIPTION OF WORK</b>
DEMO (E) SINGLE FAMILY DWELLING UNIT. FENCE AND CLEAR THE LOT.

<b>9. # Bldgs on Site &amp; Use:</b>
--------------------------------------

<b>10. APPLICATION PROCESSING INFORMATION</b>	
BLDG. PC By: Omid Hedayat	DAS PC By:
OK for Cashier: Omid Hedayat	Coord. OK:
Signature:	Date: 01/31/2018

<b>11. PROJECT VALUATION</b>	Final Fee Period
Permit Valuation: \$1,500	PC Valuation:
Sewer Cap ID:	Total Bond(s) Due:

<b>12. ATTACHMENTS</b>	
CEQA Bldg Demolition Notice Demo Affirmation Posting	Owner-Builder Declaration Plot Plan

For inspection requests, call toll-free (888) LA4BUILD (524-2845). Outside LA County, call (213) 482-0000 or request inspections via <a href="http://www.ladbs.org">www.ladbs.org</a> . To speak to a Call Center agent, call 311. Outside LA County, call (213) 473-3231.
--

VN LAUR 203123104 1/31/2018 3:24:37 PM  
DEMO PERMIT \$130.00  
PLUMBING PERMIT RES \$33.80  
BUILDING PLAN CHECK \$0.00  
EI RESIDENTIAL \$0.50  
DEV SERV CENTER SURCH \$4.93  
SYSTEMS DEVT FEE \$9.86  
CITY PLANNING SURCH \$7.80  
MISCELLANEOUS \$10.00  
PLANNING GEN PLAN MAINT SURCH \$9.10  
CA BLDG STD COMMISSION SURCHARGE \$1.00  
BUILDING PLAN CHECK \$0.00

Sub Total: \$206.99

Permit #: 170192000005047  
Building Card #: 2018VN59583  
Receipt #: 0203489769



\* P 1 7 0 1 9 2 0 0 0 0 5 0 4 7 F N \*



**13. STRUCTURE INVENTORY**

(Note: Numeric measurement data in the format "number / number" implies "change in numeric value / total resulting numeric value")

**17019 - 20000 - 05047**

(P) Floor Area (ZC): -832 Sqft / 0 Sqft  
(P) Dwelling Unit: -1 Units / 0 Units  
(P) R3 Occ. Group: -832 Sqft / 0 Sqft

**14. APPLICATION COMMENTS:**

[1] DPI: 17019-20000-04632 Mailed: 10.27.17 [2] Original Permit: # 1921LA1525

In the event that any box (i.e. 1-16) is filled to capacity, it is possible that additional information has been captured electronically and could not be printed due to space restrictions. Nevertheless the information printed exceeds that required by section 19825 of the Health and Safety Code of the State of California.

**15. BUILDING RELOCATED FROM:****16. CONTRACTOR, ARCHITECT & ENGINEER NAME****ADDRESS****CLASS****LICENSE #****PHONE #**

(O) OWNER-BUILDER

0

**PERMIT EXPIRATION/REFUNDS:** This permit expires two years after the date of the permit issuance. This permit will also expire if no construction work is performed for a continuous period of 180 days (Sec. 98.0602 LAMC). Claims for refund of fees paid must be filed within one year from the date of expiration for permits granted by LADBS (Sec. 22.12 & 22.13 LAMC). The permittee may be entitled to reimbursement of permit fees if the Department fails to conduct an inspection within 60 days of receiving a request for final inspection (HS 17951).

**17. OWNER-BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the following reason (Section 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☒ I, as the owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year from completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

OR

☐ I, as the owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

**18. WORKERS' COMPENSATION DECLARATION**

I hereby affirm, under penalty of perjury, one of the following declarations:

☒ I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: \_\_\_\_\_ Policy Number: \_\_\_\_\_

☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

**WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.**

**19. ASBESTOS REMOVAL DECLARATION / LEAD HAZARD WARNING**

I certify that notification of asbestos removal is either not applicable or has been submitted to the AQMD or EPA as per section 19827.5 of the Health and Safety Code. Information is available at (909) 396-2336 and the notification form at [www.aqmd.gov](http://www.aqmd.gov). Lead safe construction practices are required when doing repairs that disturb paint in pre-1978 buildings due to the presence of lead per section 6716 and 6717 of the Labor Code. Information is available at Health Services for LA County at (800) 524-5323 or the State of California at (800) 597-5323 or [www.dhs.ca.gov/childlead](http://www.dhs.ca.gov/childlead).

**20. FINAL DECLARATION**

I certify that I have read this application **INCLUDING THE ABOVE DECLARATIONS** and state that the above information **INCLUDING THE ABOVE DECLARATIONS** is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this city to enter upon the above-mentioned property for inspection purposes. I realize that this permit is an application for inspection and that it does not approve or authorize the work specified herein, and it does not authorize or permit any violation or failure to comply with any applicable law. Furthermore, neither the City of Los Angeles nor any board, department officer, or employee thereof, make any warranty, nor shall be responsible for the performance or results of any work described herein, nor the condition of the property nor the soil upon which such work is performed. I further affirm under penalty of perjury, that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided (Sec. 91.0106.4.3.4 LAMC).

**By signing below, I certify that:**

- (1) I accept all the declarations above namely the Owner-Builder Declaration, Workers' Compensation Declaration, Asbestos Removal Declaration / Lead Hazard Warning, and Final Declaration; and
- (2) This permit is being obtained with the consent of the legal owner of the property.

Print Name: **MOHAMMAD-TAGHDIRI**

Sign: \_\_\_\_\_

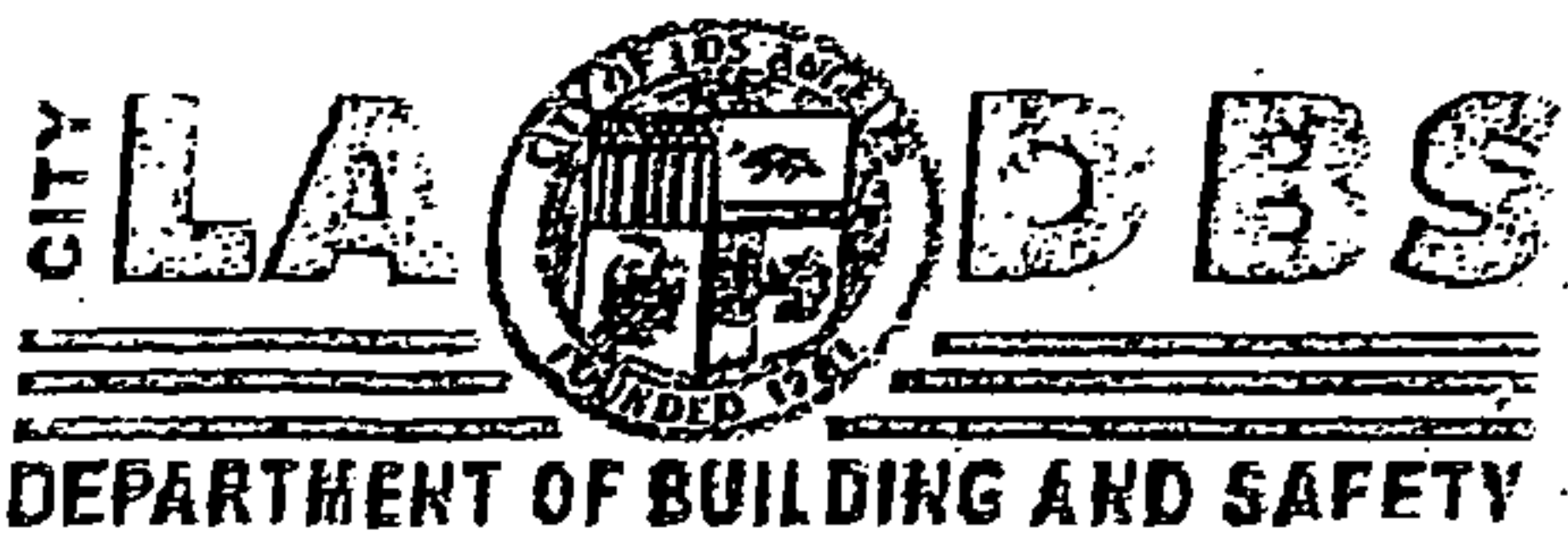
Date: **01/31/2018**

Owner



Authorized Agent





# AFFIRMATION OF POSTING FOR DEMOLITION OF EXISTING BUILDINGS OR STRUCTURES

LAMC Section 91.106.4.5.1

Project Address: 4075 1/2 W Oakwood Ave Demolition Permit #: 17019-20000-05039

## Affirmation of Posting

The Los Angeles Municipal Code(LAMC) Section 91.106.4.5.1 requires posting of a notice prior to the issuance of a permit for demolition of an existing building or structure for which the original building permit was issued more than 45 years prior to the date of submittal of the application for demolition preinspection, or where information submitted with the application indicates that the building or structure is more than 45 years old based on the date the application is submitted, the property shall be posted in a conspicuous place near the entrance of the property where demolition will occur, with a public notice of the application for demolition preinspection.

I hereby affirm that the property located at 4057 1/2 W OAKWOOD was posted on 10-27-17 (mm/dd/yyyy) in accordance with LAMC 91.106.4.5.1 at least 30 days prior to the issuance of this permit for demolition of the existing building(s) or structure(s).

Print Name: Mohammad Taghdini

Signature: [Signature] Date: 12-12-17

Please check one: ( ) Owner, ( ) Contractor, ( ) Authorized Agent for owner/contractor

### FOR DEPARTMENT USE ONLY

DPI Application #: 17019-20000-04635 Date notification letters mailed: 10-27-18

Note: Verify notification and posting were completed at least 30 days prior to demolition permit issuance.

Reviewed by (print name): OMID HEDAYAT Signature: [Signature]



*Journal of Management Studies*, 19(1), 67-80.

1. 1990年12月25日，在“九七”香港回归前，香港各界人士纷纷发表文章，就香港前途问题提出自己的看法。

2. *Phragmites* (common in the marshes of the lower Mississippi River and in the coastal marshes of the Gulf of Mexico).



3)  
Address: 4057 1/2 W Oakwood Ave



Application #: 17019 - 20000 - 05039

Printed: 08/26/16 12:04 PM

City of Los Angeles - Department of Building and Safety  
Attachment to Application for Demolition Permit:  
Notice and Owner's Declaration Related to CEQA and Project  
Scope

I. Notice to Owner

If you are applying for a demolition permit to facilitate the construction or development of the project site, you may be referred to the Planning Department for further assistance.

The California Environmental Quality Act (CEQA) directs public agencies to assess and disclose the environmental effects of the projects it approves. In determining whether a proposed project is subject to CEQA, the City is required to consider all of the parts and phases of the project and may not limit its review to the specific permits or approvals sought. (Public Resources Code Section 21065) Failure by a project applicant to disclose future construction or development activities on the project site may result in a violation of CEQA. If the City determines that an application or approval is part of a larger undisclosed project, the City may revoke and/or stay any approvals until a full and complete CEQA analysis of the whole project is reviewed and an appropriate CEQA clearance is adopted or certified.

Please contact the Planning Department if you have additional questions after reviewing this notice.

II. Owner's Project Information

Based upon the above-stated rule, is the proposed demolition part of a larger development project at the demolition site, and if so, will the larger project require any discretionary approvals from the City? (Select "Yes" or "No," and follow the related instructions)

Yes ☐ A CEQA clearance from the Planning Department will be required prior to the issuance of the demolition permit for the proposed project. Return this form to a Department of Building and Safety Plan Check Engineer at the time of plan check.

No ☒ Sign and notarize the signature at the bottom of the form and return the notarized form to a Department of Building and Safety Plan Check Engineer at the time of plan check.

III. Owner's Declaration

I own the property located at 4057 1/2 W OAKWOOD AVE. I have read the above "Notice to Owner." I understand that a "project," as defined by CEQA, is the whole of the proposed activity and is not limited to the demolition subject to this application. I further understand that CEQA prohibits treatment of each separate approval as a separate project for purposes of evaluating environmental impacts. I acknowledge and understand that should the City determine that the demolition proposed is part of a larger project requiring any discretionary permits, the City may revoke and/or stay any approvals (including certificates of occupancy) until a full and complete CEQA analysis is prepared and clearance is adopted or certified.

I certify that (i) the demolition authorized by this permit is not to facilitate the construction or development of a larger project at the project site, or (ii) the demolition is part of a larger project and, after using all reasonable efforts, including consulting with the City Planning Department, I have determined there are no discretionary permits required for the project, including but not limited to haul route permits, permits to remove protected trees, historic resource review, or any discretionary zoning or map approvals.

Date 12-12-12 Name of the Owner (Print) OAKWOOD Property LLC

Signature

(See page 2 of 2 For Notary Acknowledgment)





Application #:

Printed: 08/26/16 12:04 PM

City of Los Angeles - Department of Building and Safety  
Attachment to Application for Demolition Permit:  
Notice and Owner's Declaration Related to CEQA and Project  
Scope

## ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

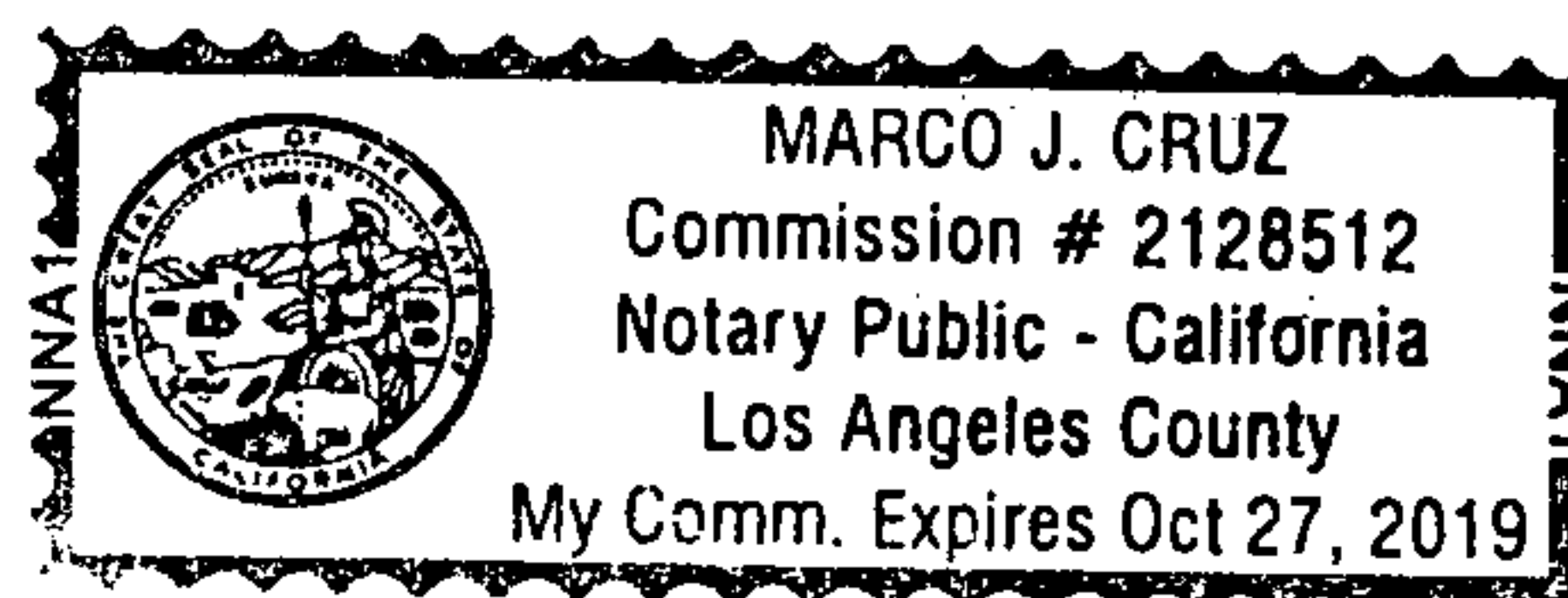
On 12/14/17 before me, Marco J. Cruz, notary  
(insert name and title of the officer)

personally appeared Mohammad Taghdiri  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

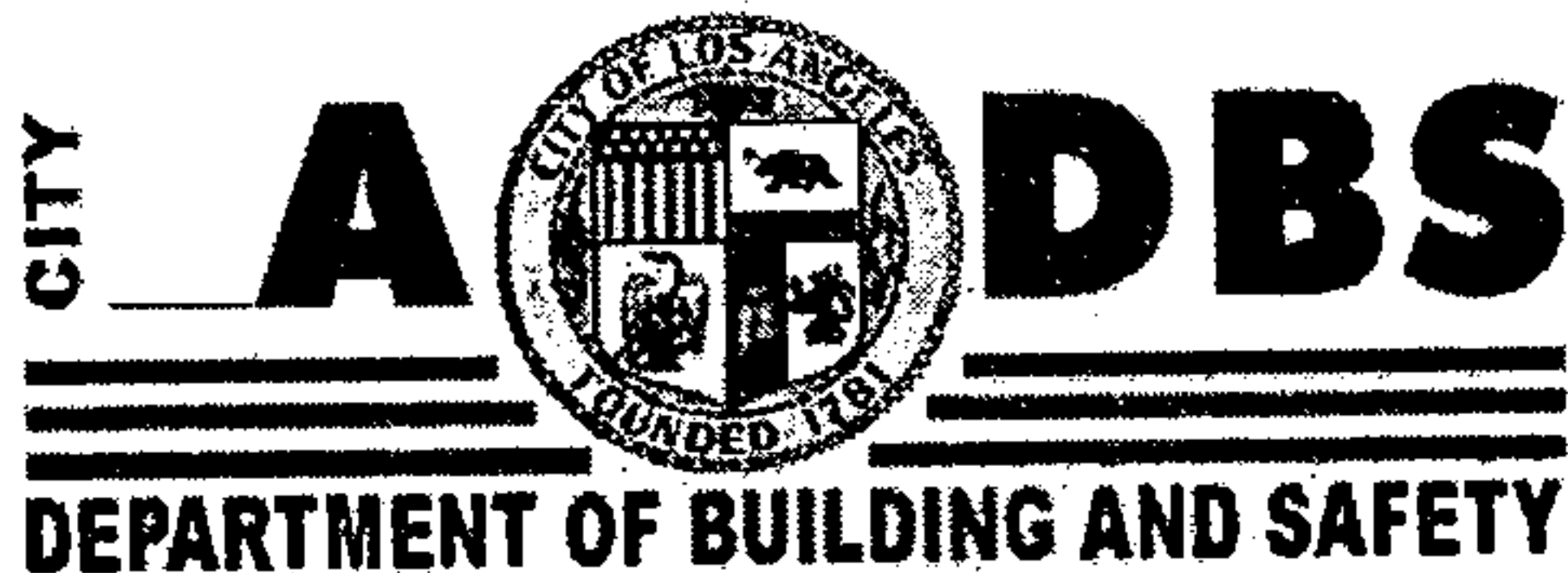
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Signature] (Seal)







## OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF INFORMATION

### (OWNER-BUILDER DECLARATION)

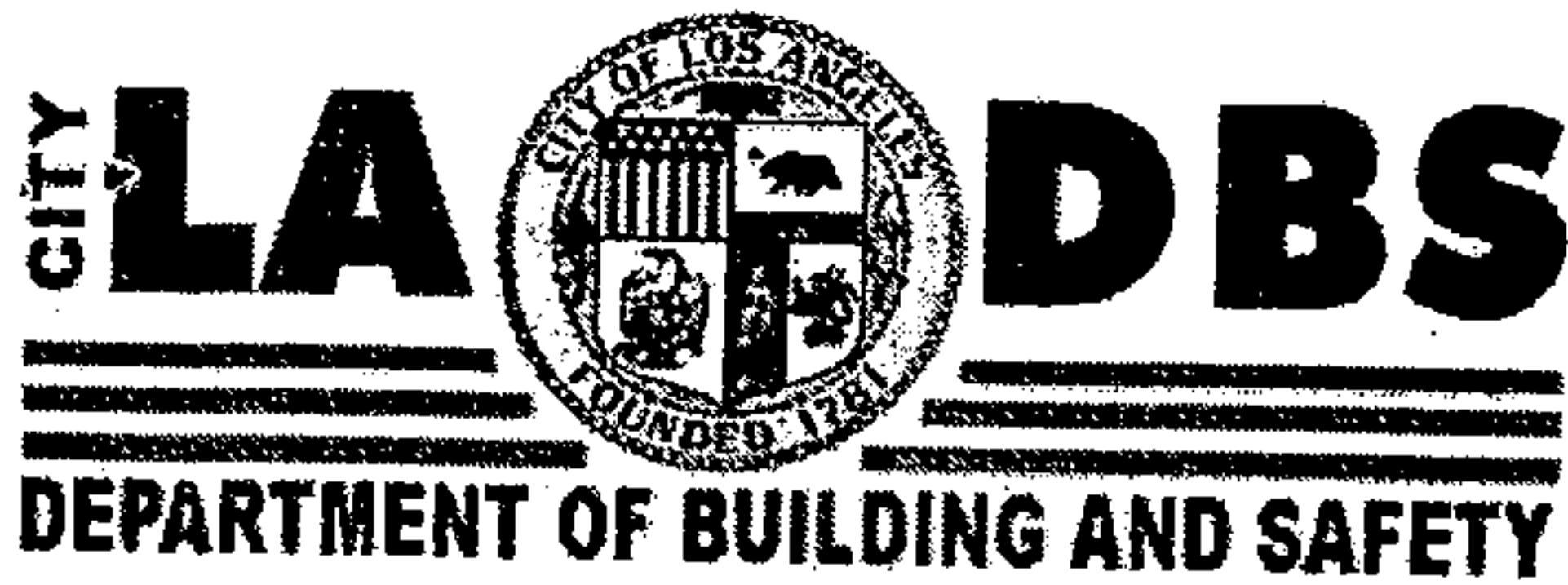
Application Number: 17019-20K-05047

Project Address: 4057 W Oakwood Ave

DIRECTIONS: Read and initial each statement below to signify you understand or verify this information.

- M.T 1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.
- n.t 2. I understand building permits are not required to be signed by property owners unless they are *responsible* for the construction and are not hiring a licensed Contractor to assume this responsibility.
- n.t 3. I understand as an "Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.
- n.t 4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.
- n.t 5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.
- n.t 6. I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.
- n.t 7. I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless *all* work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.
- n.t 8. I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.
- n.t 9. I understand I may obtain more information regarding my obligations as an "employer" from the Internal Revenue Service, the United States Small Business Administration, the California Department of Benefit Payments, and the California Division of Industrial Accidents. I also understand I may contact the California Contractors' State License Board (CSLB) at 1-800-321-CSLB (2752) or [www.cslb.ca.gov](http://www.cslb.ca.gov) for more information about licensed contractors.





OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF  
INFORMATION

(OWNER-BUILDER DECLARATION, cont.)

Application Number: 17019-20K-05047

Project Address: 457 1/2 W Oakwood Ave

NT 10. I am aware of and consent to an Owner-Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity at the following address: 457 W Oakwood Ave

NT 11. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern Owner-Builders as well as employers.

NT 12. I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form. Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed Contractors may be in civil court. It is also important for you to understand that if an unlicensed Contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner-Builder and wish to hire Contractors, you will be responsible for verifying whether or not those Contractors are properly licensed and the status of their workers' compensation insurance coverage. Before a building permit can be issued, this form must be completed and signed by the property owner and returned to the agency responsible for issuing the permit.

Note: A copy of the property owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.

Owner's Name: OAKWOOD Prop. L.L.C

Signature of property owner [Signature] Date: 1-31-18

SEC. 3. Section 19830 of the Health and Safety Code is repealed.  
SEC. 4. Section 19831 of the Health and Safety Code is repealed.  
SEC. 5. Section 19832 of the Health and Safety Code is repealed.



4057 1/2 W Oakwood Ave

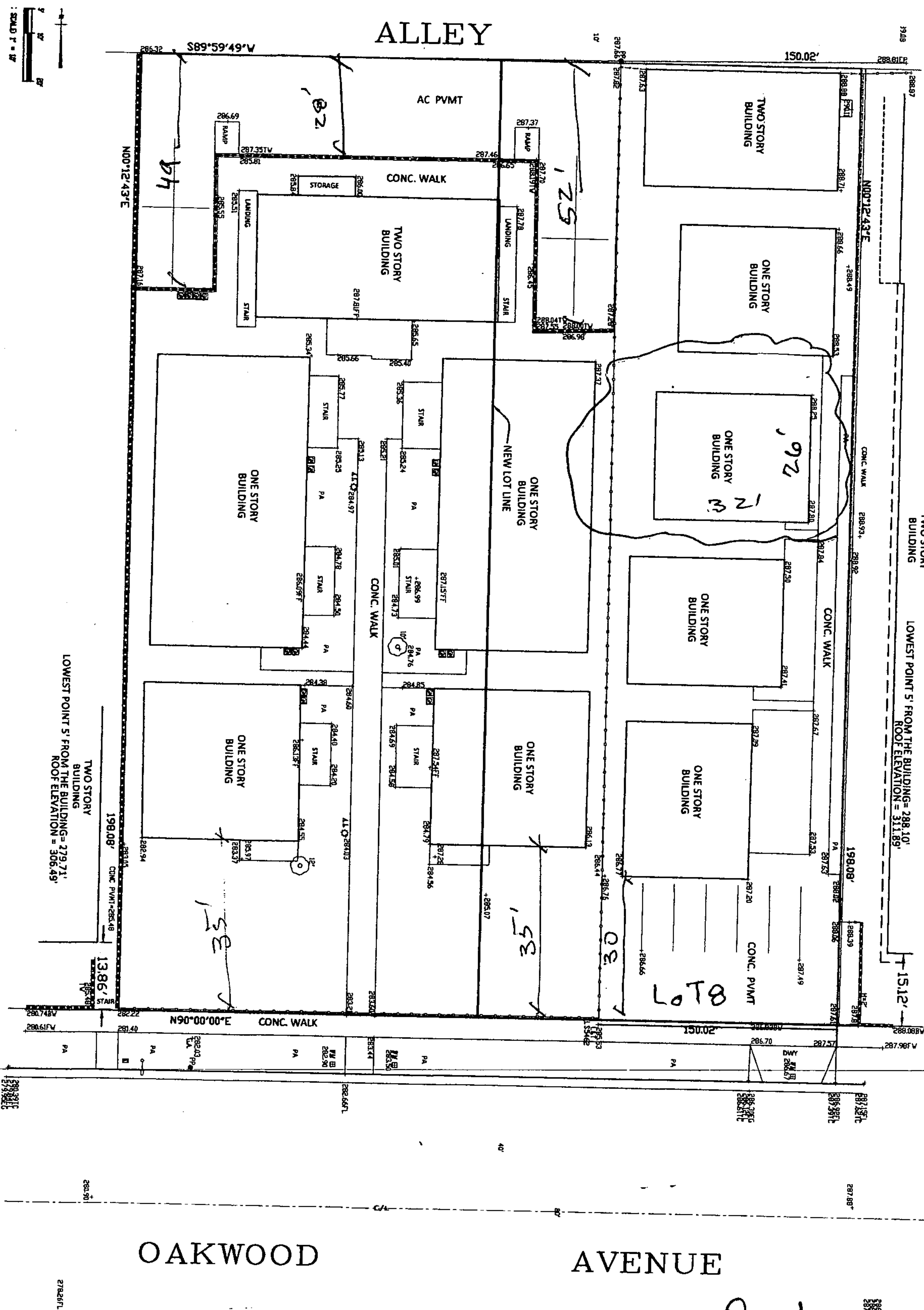
Permit Application #: 17019 - 20000 - 05047

Bldg-Demolition  
1 or 2 Family Dwelling  
Plan Check

City of Los Angeles - Department of Building and Safety

Plan Check #: B17VN18105  
Initiating Office: VAN NUYS  
Printed on: 12/01/17 12:55:13

PLOT PLAN ATTACHMENT



1050206201850933



# Appendix E

## **Assessor Forms**







# RESIDENTIAL PROPERTY APPRAISAL RECORD

NAME OF PROPERTY \_\_\_\_\_

L.A. COUNTY ASSESSOR

TRACT \_\_\_\_\_

LOT \_\_\_\_\_

BLOCK \_\_\_\_\_

0500

USE TYPE

0400

ZONING

PARCEL NUMBER

5520-17-9

ADDRESS

4055 Oakwood Ave

COMMUNITY

LA 4

CHARACTER OF PROPERTY				
USE	UTILITIES	TOPOGRAPHY	LAND IMPS.	BUILDING
Single	All	Level	Off-Site	Built:
Double	Electric	Steep Slope	Sidewalk	Remodel
Apartment	Gas	Gentle Slope	Curb & Gutter	Eff. Yr.
Motel	Water	Bank	Pavement	
Hotel	Telephone	Low	Orn. Lights	Class:
Rooming Hse.	Sewer	High	Parkway	No. Stys:
Trailer Park		Uphill	Storm Drain	Area
		Offhill		
	Poles-Front			No. Units
	-Rear			Furnished
	Underground	View	Alley	
Proper				Proper
Marginal		LOT DESCR.	On - Site	Typical
Sub-Marg'l.		Corner	Graded	
Non-Conform		Interior	Excavated	Over Imp.
	SET BACK	Cul De Sac	Filled	Under Imp.
	Front:	Key		Misplaced
	Side:		Ret. Walls	
	Rear:	Waterfront	Pilings	
			Hillside Fdn.	

CHARACTER OF NEIGHBORHOOD				
SEE NEIGHBORHOOD ANALYSIS RECORD:				
USE			TOPOGRAPHY	TREND
Residential	Commercial	Industrial		
Single	Retail	Light	Level	Developing
Income	Wholesale	Heavy	Hilly	Stationary
Area	Area	Area	Undulating	Declining
Spotted	Spotted	Spotted	Mountainous	
Ribbon	Ribbon	Ribbon		Transitional
			Low	
			High	GENERAL
				Av. Yr. Imp. Built
Sub 1	12090		Marsh	
✓	6130		Rocky	
			Beach	% Built Up:
TOTAL	18220			Transition Rate:
			View	% In New Use:
GENERAL (E, G, A, F, P)				
Desirability	Land Imps.	Transport'n	Schools	Free From Haz.
Stability	Utilities	Com'l. Centers	Parks	
Planning	Gov't. Services	Parking		Marketability

## SUMMARY

Assessment Year	19	19	19	19	19	19	19	19
Appraiser And Date								
Improvement R.C.N.								
Improvement R.C.L.N.D.								
Land Value								
Total Property R.C.L.N.D.								
Capitalized Earning Ability								
Indicated Sale Price								
Listed Price								

## APPRAISAL

Total Property Value								
Land Value								
Improvement Value								

## ASSESSED VALUES

Land								
Improvements								
Total Property								
ENTERED								



## REMARKS

[illegible][illegible]

## LAND VALUE COMPUTATION

[illegible]



DESCRIPTION OF BUILDING					RESIDENTIAL INCOME		BUILDING RECORD		5520		17		9		1,2,3,4,8				
CLASS & SHAPE		NO. STY.	BLDG. NAME	MAIN IMP.	YR. BLT.	L.A. CO. ASSESSOR		CITY		ADDRESS		MAP BOOK		PAGE		PARCEL			
FOUNDATION		EXTERIOR		ROOF STYLE		INTER. FINISH		LIGHTING		AIR COND.		KITCHEN		UNIT BREAKDOWN		ROOMS			
Canc. Palsed		Stucco		Gable		Plaster		Wiring		Heating		Cabinets		L.F. No. of Units		NO. PLB			
Canc. Slab		Siding "x"		Hip		Inter Stucco		Amps:		Forced Air		Counters		L.F. Area per Unit		Entry			
		B. & B. T. & G.		Shed		Gypsum		K.T. Conduit		Gravity		Garb. Disp.		Dishwasher		Liv. Rm.			
Crosswalls		Shingle		Flat		Plywood		B.X. NMCable		Floor Furn.		Refrig.		Plumbing Count		Liv. Din.			
Piers		Canc. Block		Cut Lip		Exp. Beam		Fixtures		Wall: Gas		Range-Oven		Area per Plb. Flt.		Dining			
Hvy Light		Brick		Pitch L. M. H.		Spray Plast.		Few Cheap		: Elect.		Hood - Fan		Mix-Blend		Den			
STRUCTURAL				Overhang: Ft.				Avg. Med.		Radiant: Elect		DUCTING		BATHS		FLOORS			
Wood Frame				Fin. Unfin.				Many Spec.		* : H.W.		Tin		Floors		Hardwood			
Steel Frame		Veneer				Wd. Wk: Pine		Low Voltage		Steam		Galvanized				Parquet			
Masonry				ROOF COVER		Hard Wd.		Master Control				Perimeter		Shower-Stl.		Plywood			
		Trim: Wood		Shingle: Wood		Special		Dlm. Switches						" over tub		T. & G.			
Sub-Floor		Brick		Compd.						Cooling		UNITS				Concrete			
Insul. Clg.		Stone		Asbest.		PLUMBING		ELEVAYOR		Heat Pump		Bachelor		Pullman Spl.		Asph. Tile			
Insul. Walls						Roof Med. Spec.		Elect.		Chilled Water		Single		Pullman Dbl.		Vinyl.			
		Sliding Doors		Shake: Hvy.		No. Fixtures		Hydraul.		2 Pipes 3 Pipes		1 B.R. - 1 Bath		Glass Door		Lino.			
WINDOWS		Lin. Ft.		Light				No. Staps		Refrig. H.P.		1 B.R. - Both		Walls:		Kitchenette			
D.H. Csmt.		ENTRANCE		Tile		Water Heater:		Copy Lbs.		Thru Wall		2 B.R. - 1 Bath		RATING (E. G. A. F. P.)		Office			
Sliding		Individual		Gravel, Rock		Central				Evap. Cooler		2 B.R. - Bath		Cond. Arch		Laundry			
Metal		Central Hall		Composition		Individual		FIREPLACE				3 B.R. - Bath		Func. Plan					
Screens				Gutters		Size: No.		Spl. Dbl.						Con-Form.		Stg. Space			
														Work-ship		Qual.			
																TOTALS			
YEAR	USE TYPE	CLASS SHAPE	UNITS	EFF. YR.	DEPR. TABLE	SQ. FEET MAIN IMP.	UNIT COST	R.C.N. MAIN IMP.	R.C.N. OTHER	R.C.N. TOTAL	% GOOD	R.C.L.N.D.	SP	APPRaiser	DATE	COST REV'D	INT. VIEW	NO INT. VIEW	CO. CK.
68UD	0400		6	21		3,43				3560	X4	14240							
68UD	0100		4							2230	X4	8920		SP 68 PDR					
68UD D.J.S. 4																			
COMPUTATIONS																			
Unit	Area	Unit Cost	Cost	Area	Unit Cost	Cost	Area	Unit Cost	Cost	Area	Unit Cost	Cost	Area	Unit Cost	Cost	Area	Unit Cost	Cost	
SqL Bung	832	9.50	7900	4 ALIKE															
Total R.C.N.																			
7900 X4=31600																			







7GB522D- ASSR. 37x Rev. 3/64 - Cdb 4-64



70B-22D- INSR. 374 Rev. 3 '64 - Cdb 4-64



DESCRIPTION OF BUILDING					RESIDENTIAL INCOME		BUILDING RECORD		5520		17		10		11																																																																																																																									
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Crosswalls		Shingle		Flat		Plywood		B.X.		Floor Furn.		Refrig.				Plumbing Count		Liv. Din.																																																																																																																						
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<p>6.8.1.1) 1.5.5</p> <p>COMPUTATIONS</p> <table border="1"> <thead> <tr> <th>Unit</th> <th>Area</th> <th>Unit Cost</th> <th>Cost</th> <th>Area</th> <th>Unit Cost</th> <th>Cost</th> <th>Area</th> <th>Unit Cost</th> <th>Cost</th> <th>Area</th> <th>Unit Cost</th> <th>Cost</th> <th>Area</th> <th>Unit Cost</th> <th>Cost</th> <th>Area</th> <th>Unit Cost</th> <th>Cost</th> </tr> </thead> <tbody> <tr> <td>2 unit</td> <td>2100</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>PLUS</td> <td>420</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td>2.500</td> <td>8.00</td> <td>20000</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>ADDITIONAL</td> <td></td> <td></td> <td>500</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td>20500</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>GARAGES</td> <td>1916</td> <td>2.00</td></tr></tbody></table>																				Unit	Area	Unit Cost	Cost	Area	Unit Cost	Cost	Area	Unit Cost	Cost	Area	Unit Cost	Cost	Area	Unit Cost	Cost	Area	Unit Cost	Cost	2 unit	2100																		PLUS	420																			2.500	8.00	20000																ADDITIONAL			500																			20500																GARAGES	1916	2.00
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MISCELLANEOUS STRUCTURES					
STRUCTURE	FOUND.	FLOOR	EXTERIOR	ROOF	INTERIOR

# COMPUTATIONS

MAIN AREAS	OTHER AREAS
<p><u>double</u></p> $2(8 \times 25) = 400$ $2(25 \times 34) = 1700$ $\underline{2100}$ <p>37 had</p> $2(8 \times 25) = 400$ $\underline{2500 \#}$	

(97) M. Adv 960813. Gar repair, no adds per apt. mgr.  
(213) 666-6873. NAV, Miller 960815.

REMARKS: 44 PCH. NOT COSTED.

(90) M driveby. Old Imps still there, Demo's  
Not yet. Male 699 + 900? AS

(91) - All IMPS STILL HERE - N.Y. E/C 9/91 w/ still not gone close out  
pmt. Manzanera 910519 (92) M CRRY-BUR DEMO. IMPS INTACT est  
pmt expired - NAV close-out 910820 (96) URGENCY

MAINT - NO \$ ADDED - ALL SEVEN (7) IMPS. STILL PRESENT

OWNERS NAME: "CLOSE-OUT PERMIT" BUILDERS NAME: LAH024721 - W/NAV.

PERMIT NO.	DATE	AMOUNT	IMPROVEMENT
LA35153	890616	1500	Demo Single Fam. Rm
LA35154	890616	1500	Demo Single Fam. Rm
LA35155	890616	1500	Demo Single Fam. Rm
LA35156	890616	2200	Demo Single Fam. Rm.
LA35157	890616	2200	Demo Single Fam. Rm.
LAH024321	931006	100000	ALTR. APT.
LAH042945	960212	25000	ALTR. priv. gar.

9-6/8/95  
960604







2 SFR'S

#4063

$$26 \times 32 = 832$$

$$2 \times 20 = 40$$

872 #

#4063 #

872 #

<u>Permit #</u>	<u>Date</u>	<u>Amt</u>	<u>IMP</u>
LA 35163	890616	2200	Denro Single Farm
LA 35164	"	"	"
LA 35165	"	"	"
LA 35166	"	"	"
LA 35167	"	"	"
LA 35175	"	"	"
LA 35176	"	"	"
LA 35177	"	"	"
LA 35178	"	"	"
LA 35179	"	"	"







2 duplex

# 4059.4 4061

$$24 \times 32 = 768$$

$$32 \times 32 = 1024$$

$$8 \times 14 = \frac{112}{1904 \#}$$

# 4059A + 4061A =

1904 #



# RESIDENTIAL PROPERTY APPRAISAL RECORD

JUL 31 59

USE TYPE 0400	ZONING	PARCEL NUMBER 5520-17-10
ADDRESS 4059 Oakwood Ave		COMMUNITY LA 4

NAME OF PROPERTY \_\_\_\_\_ L.A. COUNTY ASSESSOR

TRACT \_\_\_\_\_ LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

CHARACTER OF PROPERTY				
USE	UTILITIES	TOPOGRAPHY	LAND IMPS.	BUILDING
Single	All	Level	Off-Site	Built:
Double	Electric	Steep Slope	Sidewalk	Remodel
Apartment	Gas	Gentle Slope	Curb & Gutter	Eff. Yr.
Motel	Water	Bank	Pavement	
Hotel	Telephone	Low	Om. Lights	Class:
Rooming Hse.	Sewer	High	Parkway	No. Stys:
Trailer Park		Uphill	Storm Drain	Area
		Offhill		
	Poles-Front			No. Units
	-Rear			Furnished
	Underground	View	Alley	
Proper				Proper
Marginal		LOT DESCR.	On - Site	Typical
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Area	Area	Area	Undulating	Declining
Spotted	Spotted	Spotted	Mountainous	
Ribbon	Ribbon	Ribbon		Transitional
			Low	
			High	GENERAL
REMARKS				Av. Yr. Imp. Built
SUB 1 10810				
SUB 2 7940			Marsh	
SUB 3 15780			Rocky	
TOTAL 34530			Beach	% Built Up:
				Transition Rate:
			View	% In New Use:
GENERAL (E, G, A, F, P)				
Desirability	Land Imps.	Transport'n	Schools	Free From Haz.
Stability	Utilities	Com'l Centers	Parks	
Planning	Gov't. Services	Parking		Marketability

## SUMMARY

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Improvement R.C.L.N.D.								
Land Value								
Total Property R.C.L.N.D.								
Capitalized Earning Ability								
Indicated Sale Price								
Listed Price								

## APPRAISAL

Total Property Value								
Land Value								
Improvement Value								

## ASSESSED VALUES

Land								
Improvements								
Total Property								
ENTERED								



## Building Description Blank

## Index

PAGE

LOS ANGELES COUNTY ASSESSORS OFFICE

STREET NO. 705 1/2 W. 4th St.

TRACT

RE SUB OF BLK CANS Ltrs 4-6-8-9 and 1090 Ltr

BUK A OF BARRIVIC ADD

PARCEL 1210

LOT No. 9410

BLOCK NO.

EXAMINED BY

DATE 7-22-54 1954

CLASS	EXTERIOR	HEATING	EXT. FEATURES
Single	1 1/2 2 3 Story	Fireplace	Steel Sash
Double	Stucco Rustic	" Double	Copper Spouts
Bungalow	Shingles B & B	Pulse Mantel	Screens
Maverick	Siding	Gas Furnace	Trim-Tile, Plaster
Residence	Sheet Steel T & G	No. Pipes	" Stone, Wood, Brick
California	Wide Siding	Gas Radiators	Cornice Boxed
Dwelling	Adobe Shingle	Steam	
Cottage	Vertical Siding	Elec. Heaters	INSIDE FINISH
Bungalow Court	Plaster on Tile	Blower Furnace	Plaster Sand, Putty
Flat Studio	Asbestos Siding	Floor Furnace	Plaster-Board
Apartment	Brick Veneer	Wall Heaters	Interior Stucco
No. Units	Corrugated Iron	Air Conditioning	Ply-Bal Knotty Pine
Area per Unit	Frame, Steel	Plumbing	Panelled
Factory	Frame, Wood	No. of Fls. <b>NO. 1</b>	Walls Tint, Paper
Church		Cheap <b>Good</b>	Paint Sanitaz
School		Medium <b>Special</b>	Unfinished
Store		Bath No. 1 2 3	Woodwork, Plain
Garage	Flat 1/4 1/2 3/4	Tile Floor. 1 2 3	Ornamental
Barn	Hip Monitor	Tile Walls 1 2 3	BUILT-INS
Shed	Gables, Dormers	Height 1 2 3	Refrigerator
Country House	Shed Cut-up	Shower	Elec., Gas, Ice
	Copper Shingle	Over Tub 1 2 3	Buffet Hookcases
	Shingles Gravel	Stall 1 2 3	Patent Beds
	Sheet Steel Slate	Tile Walls 1 2 3	Cedar Closets
	Corrugated Iron	1 2 3	Venetian Blinds
	Composition		BUILT
	Compo Shingle		
	Tile Trim		
	Amf. Sm. 1 g.c.		
	Tile		
	1/4 1/2 3/4 Full		
	Wood Steel Truss		
	Span ft.		
	Quality		
BASEMENT		Lighting	CLASSIFICATION
feet x		Cheap Medium Good Special	Cheap Depr. Ratio
feet deep			Good Special
sq. ft.			

Check Sanitas				B	1	2	3	BUILDING VALUES				
Living Room								Year	1940			
Bedrooms								No. of Square ft.	44			
Dressing Room								At. \$	2.00			
Bathroom								Building Value	88			
" No Tub								Basement Value				
Hto ( ) ( )								Heating Value				
Kitchen								Garage Value				
Bkfst. R. or N.								Outbuild- ings Value				
Porch ( )												
Hdwd. Floors												
Hdwd. Finish												
P. C. by Date								% P. C. Val.				
								Total Value	88			

[illegible]



CUT

DATE

E. ON M.B. ON

BY

DATE

11- 2 x 2 Stucco structures added  
to bungs to house hot water  
heaters moved outside -  
11 x 2 x 2 = 44 ft<sup>2</sup>

OWNER'S NEWOLD SCHWIMMER	PERMIT NO.	DATE	AMOUNT
C. F. CHECKED	9558	3/14-30	22
COMPT. CHECKED			
E. ON M. B.			
COMPARED			



Form 6

PARCEL 12/10

## Building Description Blank

Index

Book  
Page

STREET No.

4059 Oakwood Ave

TRACT

Remnant of blk 6 etc. of  
Add A Barrows Tr.

LOT No.

9+10

BLOCK No.

6

EXAMINED BY

Purvis

DATE

12/29/1937

CLASS	EXTERIOR	HEATING	EXT. FEATURES
Single ✓ 6	1 1/2 2 3 Story	Fireplace	Copper Down Spouts
Double	Stucco	False Mantel	Tile-Trim Steel Sash
Maverick	Shakes, Rustle	Gas Furnace	Brick " Wood-Trim
California	Siding, B & B	No. Flths	Stone " Plaster "
Bungalow	Sheet Steel	Gas Radiators	
Residence	Brick Veneer	Steam	INSIDE FINISH
Cottage	Corrugated Iron	Elec. Heaters	Plaster Sand, Putty
Dwelling	Frame, Steel	Blower Furnace	Plaster-Board
Flat	Frame, Wood	Floor Furnace	Interior Stucco
Apartment	Adobe Shingle		Fly-N'd. Knotty Pine
Factory	Vertical Siding	PLUMBING	Canvas or Sanitas
Church	Plaster on Tile	No. of Fix 24	Paper Paint
School		Cheap Medium Good Special	Unfinished
Store	ROOF		Woodwork, Plain
Garage	Flat 1/4 1/4 1/4	Bath No. 1 2 3	" Ornamental
Hall	Shed Shingle	Tile Floor	BUILT-INS
Shed	Gables Cut-up	Tile Walls	Refrigerator
Poultry House	State Gravel	Height	Mech., Gas, Ice
Oil Station	Shakes Monitor	Shower	Buffet Bookcases
	Corrugated Iron	Over Tub	Patent Beds
	Composition	Sink	Cedar Closets
	Comp Shingle	Tile Walls	
	Tile-Trim	Glass Door	BUILT
	Amt. Sm. Lsc.		1937
	Tile	LIGHTING	CLASSIFICATION
	1/4 1/4 1/4 Full	Cheap Medium Good Special	Cheap Medium Good Special
	Wood, Steel Truss		
	Quality 1.10	BUILDING VALUES	CHANGES ONLY
FOUNDATION		No. of Square ft.	
Stone		At \$	
Concrete		Building Value	
Brick		Basement Value	
Cross Walls		Garage Value	
Hillside		Outbuild-ings Value	
Steel Joists		Plumbing	
		Value 960	
		Total Value 2215	
BASEMENT		Depr. 7.	
feet x		Special Depr.	
feet x		Depreciated Value	
sq. ft.		Assessed Value 1110	
Check Sanitation	B 1 2 3		
Living Room	( )		
Bedrooms	( )		
Dressing Room	( )		
Bathroom	( )		
" No Tub	( )		
Tile Walls ( )			
Kitchen	( )		
Hfst. R. or Nook	( )		
Plank ( )			
Hdwd. Floors	( )		
Hdwd. Finish	( )		
No. of Permit	7474	Date	7/11/37
Estimated Cost of Bldg.	300	Alt	
No. of Permit		Date	
Estimated Cost of Bldg.	670	1260	
Owner's Name	Harold Schramm		
C. F. Checked	4/23/30-38		
Compt. Checked	553		
E. on M. B.	A	1220	
Compared	S		
P. C. by	Date	%	P.O. Val.
	1/10	600	
			1340





Garage to do - new floor Room  
 4 lat comp roofs  
 Sidings  
 Windows  
 Best floor  
 Heavy frame  
 Everything in construction long & from  
 south to - with material - everything in



$2 \times 11 \times 18 = 396$   
 $16 \times 18 = 288$   
 $1.84 \times 10 @ 30 \times = 200$

Alternatives - Each of the 6 single  
 5 room bungalows made into 3 room and  
 2 more double by constructing short  
 partition - making all closets with lock  
 and adding kitchen sink. No other  
 space added value per unit -  $175 \times 6 = 1050$   
 Permit fix - 4 in 2000 - Total 2000 @ 40 = 800

Permits

7474 }  
 7475 } - Garage  
 7476 }

Per unit:  
 Electrical work 15  
 Partitions - 50  
 Sink 15  
 Kitchen cabinets 35  
 Kitchen sink 35  
 Paint, windows 15  
 All in 175 arb  
 of Harold Schuman

18838 }  
 18839 }  
 18840 } - Alter  
 18841 } Partitions  
 18842 }  
 18843 }  
 29960 }

Average area  
 444  $\frac{1}{2}$  per apt  
 Equivalent to 200  
 per ft

And to like permits for same on 100



# BUILDING DESCRIPTION BLANK

No. 4790-371 Index 58

Tract Subdiv. 4-6-8-9-10

Parcel 12/10

Lot No 7-10 Block No 6

Examined by MC 0-15 Date 12/10

CLASS	EXTERIOR	HEATING	TRIMMINGS
Single	Bay Windows	Fire Place	Cobblestone
Double	1 sty 2 sty 3 sty	Wood, Coal, Oil	Brick, Plaster
California	Number	and Gas Furnace	Stone, Wood
Dunglow	Wall Coverings	Stair	Plain
Residence	Plaster, Mortar, Lath	Stove	Ornamental
Flat	Wood Lath		INSIDE FINISH
Apartment	Shaded Rustic	PLUMBING	Plain
Factory	Stain, D & B	No. of Fixtures	Ornamental
Garage	Back, P or C		Stock
Shed	Corr. Iron		Special
Barn	ROOF		BUILT IN FEATURES
Church	Flat Hip		Buffet
School	Gables, Dormers	Good, Medium	Patent Beds
Store	Cut up, Ordinary	Cheap	Refrigerator
Storage	Plain, Gravel	Sewer	Bookcases
	Tile, Shingle	Cesspool	Plain
	Corr. Iron	LIGHTING	Ornamental
	Composition	Gas, Electric	CONDITION
FOUNDATION	CONSTRUCTION	Good	Good
Stone	Good	Medium	Built
Concrete	Medium	Cheap	Medium
Brick	Cheap		Poor
Wood			
OCCUPANCY	<u>5270</u>		
Owner, Rented, Vacant	Living Room	1	2
Rent Paid \$	Bed	4	4
Per Mo.	Bath	2	2
Basement	Kitchen	2	2
ft. x ft.	Storage	2	2
ft. deep	Stair	2	2
cu. ft. @	Hardwood Floor	4	4
Lot Grade	Hardwood Fin.	2	2
	Cement Floor	2	2
	Unfinished	2	2

Remarks: 10 Rooms as shown

4790-371

OWNER Wm. J. Smith

BLDG. VALUES	
CLASS	
NO. CU. FT.	
NO. SQ. FT.	<u>7428</u>
AT \$	<u>250</u>
BLDG COST \$	<u>18570</u>
RENT COST \$	<u>1140</u>
HEAT COST \$	
TOTAL COST \$	<u>19710</u>
PER CENT DEP.	
PER CENT UTILITY DEP.	
REP. VALUE \$	<u>4970</u>
ASSESSED VALUE \$	<u>9850</u>



water cement fl concrete roof.

26 = 1520 @ 25 40

15503 }  
15501 } 9/11/20  
15502 }  
15504 }  
1520  
250  
1140  
512974/5/20  
5131

34	26	24	32
35	32	32	32
170	52	48	64
48	78	48	96
650	802	22	1024
	40		
	872		

768  
768  
1024  
1024  
1744  
1250  
850  
7428  
14256  
2714  
18570

4063 28  
4063-A 28  
2/9/21

4061 28  
4061-A 28  
32

4059 32  
4059A 32







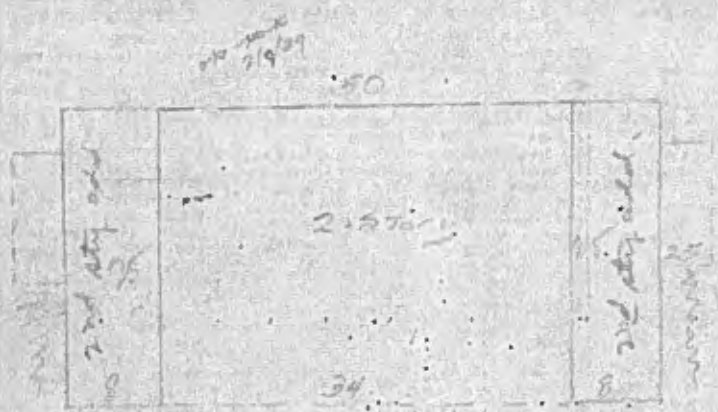
CUT

DATE

E. ON M.B. ON

BY

DATE

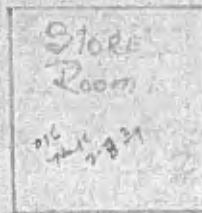


Add. To  $2 \times 9 \times 25 = 450$

2-Bed. Room  
2 Bath

Tile Value  
included in  
Cost Factor

Plumbing  
1200 Plumbing 40 = 480



Flat Condo.  
Cheap Side  
Gravel Floor

18'  $16 \times 13 = 208 @ 40 = 8320$

OWNER'S NAME	PERMIT NO.	DATE	AMOUNT
G. F. CHECKED			
COMPT. CHECKED <i>h</i>			
E. ON M. B. <i>h</i>			
COMPARED <i>h</i>			



BOOK  
PAGE

LOS ANGELES COUNTY ASSESSORS OFFICE

STREET NO 4039 E 74th St

TRACT Republic of Haiti - C-6032 4/1/2000

4-6-9-9- 1000 Lot A 0- BUEK 0000

LOT No. 4570 BLOCK No. 25

EXAMINED BY 2505 DATE 9/1 1941

CLASS	EXTERIOR	HEATING	EXT. FEATURES
Single Double Bungalow Maverick Resistance California Dwelling Cottage Bungalow Flat Apartment No. Units Area per Unit Factory Church School Store Garage Barn Shed Poultry House	1 1 1/2 2 3 Story Stucco Shakes, Siding Sheet Steel Wide Siding Adobe Vertical Siding Plaster on Tile Asbestos Siding Brick Veneer Corrugated Iron Frame, Steel Frame, Wood	Fireplace " Double False Mantel Gas Furnace No. Pipes Gas Radiators Steam Elec. Heaters Blower Furnace Floor Furnace Wall Heaters Air Conditioning	Steel Sash Copper Spouts Screens Trim-Tile, Plaster " Stone, Wood, Brick Cornice Boxed
			INSIDE FINISH
			Plaster Sand, Putty Plaster Board Interior Stucco Ply-Board Knotty Pine Panelled Walls Trim, Paper Paint Unfinished Woodwork, Plain " Ornamental
		PLUMBING	
		No. of Fixtures Cheap Medium Good Special	
		Bath No. 1 2 3 Tile Floor	
		Tile Walls Height Shower Over Tub Stall Tile Walls	
		Glass Door	
		LIGHTING	
		Cheap Medium Good Special	
FOUNDATION			BUILT-INS
Stone Concrete Cross Walls Hillside Steel Joists	Wood Brick		Refrigerator Elec. Gas. Ice Buffet Bookcases Patent Beds Cedar Closets Venetian Blinds
			BUILT
			1940
BASEMENT			CLASSIFICATION
foot x foot x foot deep sq. ft.	1/2 1 1/2 2 3 Full Wood Steel Truss ft. Quality		Cheap Medium Good Special
			Dep'r. Rate

Check Sanitas				B	1	2	3	BUILDING VALUES			
Living Room								Year	1942		
Bedrooms				2				No. of Square ft.	224		
Dressing Room								At. \$	150		
Bathroom								Building Value	403		
" No Tub								Basement Value			
Tile								Heating Value			
Kitchen								Garage Value			
Bfst. R. or N.								Outbuildings Value			
Plank Hdwd. Floors				2							
Hdwd. Finsh											
P. C. by											
Date											
%											
P. C. Val.											
								Total Value	403		

[illegible]



IF CUT

DATE

C. ON M. B. ON

BY

DATE

Add - Bed Room between 2 Buildings



$$24 \times 14 \times 8 = 274 \text{ ft}$$

OWNER'S NAME	PERMIT NO.	DATE	AMOUNT
<i>J. J. Johnson</i>	<i>43934</i>	<i>12/9/40</i>	<i>250</i>
C. F. CHECKED <i>4/2/41</i>	<i>43935</i>	<i>12/9/40</i>	<i>200</i>
COMPT. CHECKED <i>4</i>			
E. ON M. B. <i>4</i>			
COMPARED <i>10</i>			



# Appendix F

## **DPR Forms**







State of California ☐ The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other  
Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 10 \*Resource Name or #: (Assigned by recorder) 4055-4057 West Oakwood Avenue

P1. Other Identifier: \_\_\_\_\_

\*P2. Location: ☐ Not for Publication ☒ Unrestricted

\*a. County Los Angeles and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

\*b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ of \_\_\_\_\_ of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 4055-4057 West Oakwood Avenue City Los Angeles Zip 90004

d. UTM: (Give more than one for large and/or linear resources) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, decimal degrees, etc., as appropriate)

APN: 5520-017-028

\*P3a. **Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) Prior to demolition, based upon a 2008 photograph, 4055-4057 Oakwood consisted of four one-story bungalows and a two story duplex. They were constructed in a single-parti row with a parking pad in the front-yard area and a concrete walkway leading to the rear bungalows. There was grass on either side of the walkway. The bungalows were built in a simplified Spanish Colonial Revival style, had stucco siding and flat roofs. Permitted alterations include the removal of a non-bearing wall between the kitchen and service porch and enclosing window openings in 1970 and the replacement of windows with sliding windows in 1976 (alterations). By 2018, all of the original windows had been replaced with sliding metal windows (alteration). Non permitted alterations include the addition of metal awnings over many of the windows and all of the doors (alterations). All of these alterations detract significantly from the property's integrity.

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



\*P3b. **Resource Attributes:** (List attributes and codes) HP3 (Multiple Family Property)

\*P4. **Resources Present:**

☒ Building ☐ Structure ☐ Object  
☐ Site ☐ District ☐ Element of District  
☐ Other (Isolates, etc.)

P5b. Description of Photo: (view, date, accession #) Primary (south) elevation,  
view north (Photo by Loopnet)

\*P6. **Date Constructed/Age and Source:** ☒ Historic ☐ Prehistoric  
☐ Both

1920/Los Angeles County Assessor

\*P7. **Owner and Address:**

Oakwood Properties LLC

509 East 16<sup>th</sup> Street

Los Angeles, CA 90015

\*P8. **Recorded by:** (Name, affiliation, and address) Hanna Winzenried  
ESA

626 Wilshire Blvd., Suite 1100

Los Angeles, CA 90017

\*P9. **Date Recorded:** \_\_\_\_\_

November, 2018

\*P10. **Survey Type:** (Describe)

Intensive Pedestrian

\*P11. **Report Citation:** (Cite survey report and other sources, or enter "none.")

ESA, 4055-4065 West Oakwood Avenue, Los Angeles, CA: Historic Resource Assessment, November, 2018

\*Attachments: ☐ NONE ☐ Location Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other (List): \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

\*Resource Name or # (Assigned by recorder) 4055-4057 West Oakwood Avenue \*NRHP Status Code 6Z  
Page 2 of 10

B1. Historic Name: \_\_\_\_\_  
B2. Common Name: \_\_\_\_\_  
B3. Original Use: Multi-Family Residence B4. Present Use: Multi-Family Residence

\*B5. Architectural Style: Spanish Colonial Revival

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The first permits on record for 4055-4057 Oakwood Avenue are for the construction of four new single family residences on the lot on November 20, 1920, December 7, 1920, January 25, 1921, and September 2, 1921. A permit for a garage was issued March 1, 1921 and a permit for a duplex was issued on November 4, 1921. The owner was L.C. Sherwood, the architect was listed as Damion Sherwood, and the contractor was Perry B. Sherwood. The new single family houses were valued at \$2,000, the duplex was valued at \$6,000, and the garage was valued at \$200. Later alterations are documented in the permit history. A permit was issued on August 4, 1970 for kitchen alterations including the removal of a non-bearing wall between the kitchen and service porch and enclosing window openings at 4055 1/3 Oakwood Avenue. A permit was issued on January 26, 1976 to install sliding glass windows onto 4055 2/3 Oakwood Avenue. There were no further permits until their demolition permits issued on January 31, 2018 to Oakwood Properties valued at \$1,500-\$2,000 each. Based upon photographic evidence, unpermitted alterations appeared to include the addition of metal awnings over doors and windows.

\*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features:

B9a. Architect: \_\_\_\_\_ b. Builder: \_\_\_\_\_

\*B10. Significance: Theme Spanish Colonial Revival Architecture (1915-1940); The Bungalow Court (1910-1939)  
Area Los Angeles

Period of Significance 1920 Property Type Multi-Family Residential Applicable Criteria \_\_\_\_\_

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

ESA reviewed the subject property for significance under the federal, state, and local criteria. The subject property was evaluated under the SurveyLA themes associated with the subject property by applying the standards and integrity requirements outlined above. They were evaluated for eligibility under Criteria A/1/1 and C/3/3 under the theme, Residential Development and Suburbanization, 1850-1980: Bungalow Courts, 1912-1939. They were evaluated under Criteria C/3/3 under theme, Architecture and Engineering, 1850-1980: Spanish Colonial Revival, 1912-1948, as applied to Residential Architecture, for the Bungalow Court property type.

[See Continuation Sheets]

B11. Additional Resource Attributes: (List attributes and codes) \_\_\_\_\_

\*B12. References:

[See Continuation Sheets]

B13. Remarks:

\*B14. Evaluator: Hanna Winzenried

\*Date of Evaluation: November, 2018

(This space reserved for official comments.)

(Sketch Map with north arrow required.)





## CONTINUATION SHEET

Property Name: [   
 Page 3 of 10 ]

**\*B10. Significance (continued):**

### National Register, California Register, and Los Angeles Register

### ***a. Broad Patterns of History***

With regard to broad patterns of history, the following are the relevant criteria:

National Register Criterion A: Is associated with events that have made a significant contribution to the broad patterns of our history.

California Register Criterion 1: Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.

Los Angeles Historic Cultural Monument Criterion 1: Is identified with important events of national, state, or local history, or exemplifies significant contributions to the broad cultural, economic, or social history of the nation, state, city, or community.

The subject properties previously located at 4055-4057 and 4059-4065 West Oakwood Avenue were located on the Barrow's Addition tract, within the Koreatown neighborhood in Wilshire and the City of Los Angeles. Barrow's Addition is a small tract encompassing a block that was subdivided in 1904, and was half developed by 1919 with single-family residences. In 1921, most of the tract was developed, including the subject properties which were built in 1920 and 1921-1922, and were among the last improvements to the tract. At that time there were approximately three bungalow courts and three apartment houses on the tract. By 1950, all of the lots on Barrow's Addition were developed, with three new apartment buildings northwest of the subject properties. Many of the original structures on the tract were replaced with larger apartment buildings by 1965, including the bungalow court to the far west of the tract. The two subject properties were the only existing bungalow courts in Barrows Addition before they were demolished in 2018. There is no evidence to suggest that the subject properties' construction was influential upon the Tract's development. The subject properties were later infill structures that altered the tract, and they were a different property type than the single-family residences that originally characterized tract. The Tract followed the development pattern of Koreatown, which was heavily developed in the 1910s with single-family residences, many of which were replaced with various types of multi-family residences in the 1920s and 1930s to accommodate the rapidly growing population in the neighborhood. However, the Tract is small and was not historically significant to the development of the Wilshire area. Furthermore, the subject properties do not appear to have been historically significant in the development of Wilshire, Koreatown, or Barrow's Addition. Additionally, the integrity of the area has been substantially eroded by redevelopment with large multi-family residences that had altered much of the tract by 1965, and substantially changed the historic patterns of residential development in the Barrow's Addition. Additionally, as previously discussed in detail in the construction history and architectural descriptions included above for the subject properties, they were altered examples of Spanish



Colonial Revival-style Bungalow Courts and in 2018 they did not retain enough integrity to convey the characteristics of their property type.

**The subject properties do not appear eligible for the National Register under Criterion A, the California Register under Criterion 1, or the local register as an individual resource.**

***b. Significant Persons***

With regard to associations with important persons, the following are the relevant criteria:

National Register Criterion B: Is associated with the lives of persons significant in our past.

California Register Criterion 2: Is associated with the lives of persons important in our past.

Los Angeles Historic Cultural Monument Criterion 1: Is associated with the lives of historic personages important to national, state, city or local history

**4055-4057 West Oakwood Avenue**

Because the bungalows at 4055-4057 Oakwood Avenue were rental properties there was a high turnover of occupants. Most of these occupants were employed in the retail enterprises and were not employed in the entertainment industry. Research, which included a review of local newspapers, online databases, Los Angeles Public Library, Online Archive of California, Calisphere, and the Huntington, did not indicate that any occupant was historically significant at the local, state, or federal criteria.

**4059-4065 West Oakwood Avenue**

Similarly, the bungalows at 4059-4065 Oakwood Avenue were rental properties and there was a high turnover of occupants. Most of these occupants were employed in sales, services, or manufacturing and were not employed in the entertainment industry. Research, which included a review of local newspapers, online databases, Los Angeles Public Library, Online Archive of California, Calisphere, and the Huntington, did not indicate that any occupant was historically significant at the local, state, or federal criteria.

***c. Architecture***

With regard to architecture, design, or construction, the following are the relevant criteria:

National Register Criterion C: Embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.

California Register Criterion 3: Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.



Los Angeles Historic Cultural Monument Criterion 3: Embodies the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age.

4055-4057 Oakwood Avenue was designed in the Spanish Colonial Revival style by contractor, Damion Sherwood, and the general contractor for the subject property was Perry Sherwood, a building contractor and carpenter. Neither of these men were master designers, builders or architects. A review of biographical dictionaries and historical directories of American Architects, historical newspapers, local directories, and historic periodicals did not include any information regarding Damion or Perry Sherwood and therefore indicates that they were not notable nor were they considered master builders.

4055-4057 Oakwood Avenue was a single-bar parti row of bungalows built in a simplified Spanish Colonial Revival style. The single-bar parti is the oldest and most elementary type of bungalow court, and 4055-4057 Oakwood Avenue was a very altered example in 2018. The architectural features of the bungalows were very simplistic, only representing the Spanish Colonial Revival style with stucco siding and a flat roof, which are not enough to merit significance, and there were no other architectural details to speak of to convey the architectural style. Furthermore, the 4055-4057 Oakwood Avenue bungalows were substantially altered by 2018 and do not meet the integrity requirements for eligibility under criteria C/3/3. The property did not retain its integrity of design, setting, materials, workmanship or feeling. Window openings were enclosed, and the rest of the windows were replaced with sliding windows. Metal awnings were added over many of the windows and openings. According to the SurveyLA eligibility standards, window openings should not be changed or resized, and thus the property is disqualified. The multiple alterations, such as the change in window sizes and locations, the addition of metal awnings, alterations of the roofs and parapets, stucco patching and repairs and re-stuccoing, also detracted from its integrity of the materials and design. It also lacked integrity of design and feeling due to alteration of the landscape by paving of the lot for parking and the integration of cars onto the lot, which would not have been the case when the bungalows were originally constructed. Therefore, the property is not eligible because it was a very simple, substantially altered example of a basic single-bar parti row of Spanish Colonial Revival-style bungalows that was not architecturally significant and did not retain integrity.

#### **4059-4065 West Oakwood Avenue**

4059-4065 Oakwood Avenue was designed by Thomas Grow and built by the owner, Henry Mertz. A review of newspapers, local directories, and historic periodicals did not include any information regarding Thomas Grow or Henry Mertz and therefore ESA concludes that neither men are notable and they are not considered master designers, builders or architects.

4059-4065 Oakwood Avenue was an example of a U parti bungalow court, which was the most common type of courtyard housing in Southern California. The subject property was a variation that included bungalows on either side, with a larger two-story apartment house at the rear which was part of the trend towards courtyard apartment buildings rather than bungalow courts. 4059-4065 Oakwood Avenue was not a rare example of the bungalow court property type as there are numerous eligible examples of bungalow courts in the nearby vicinity, as illustrated in Tables 7 and 8 and Figure 40 on pages 55-63 above. Today there are 74 extant bungalow courts in the Wilshire area of Los Angeles within a one-mile radius of the subject property. These include 323-325 North Alexandria Avenue Bungalow court, 329-333



north Alexandrian Avenue Bungalow Court, 424-430 North Norton Avenue Bungalow Court, 616-620 North Plymouth Boulevard Bungalow Court, 3020-3030 West 12<sup>th</sup> Street Bungalow Court, and 2600-2606 West San Marino Street Bungalow Court which were called out by the Wilshire CPA for SurveyLA. Other nearby similar examples include 4167 Oakwood Avenue, 335 North Alexandria Avenue, 542 North Kingsley Drive, and 4252 West 1<sup>st</sup> Street. Other various types of bungalows exist throughout the Wilshire area. Therefore, it the subject property was not a rare surviving example of its type in 2018, nor was it a rare example in the community in which it was located, and therefore it should not be allowed a greater degree of alteration or fewer character-defining features to be acceptable as a potential historical resource.

4059-4065 Oakwood Avenue was a substantially altered example of a Bungalow Court. A large addition was added to either side of the apartment house on the rear of the lot in 1939 which happened in the last year of the period of significance for bungalow courts in Los Angeles. In 1940, additions were added between two bungalows on the west and east side connecting them together, turning them from individual detached bungalows to attached duplexes, changing the layout of the site as well as the relationship between the bungalows and the courtyard, which disqualifies the subject property from the integrity considerations of SurveyLA for the Bungalow Court property type. Further, in 1948, all of the wood porches were replaced with concrete porches. Unpermitted alterations include the changes to primary elevation windows, the addition of security doors, the replacement of original entrance doors from the original wood French door to a single wood door, the addition of a fence, and the alteration of the hardscaping in the courtyard area. These alterations substantially reduced the subject property's integrity of design, materials, and workmanship as an example of the Spanish Colonial Revival-style Bungalow Court. SurveyLA's integrity standards for Spanish Colonial Revival buildings states that the roof tile material should not be replaced with new materials; however, the tile coping on the subject property was replaced, and this change along with other cumulative alterations, causes the subject property to be disqualified from eligibility because it does not meet SurveyLA's integrity standards. All of these alterations have negatively affected the integrity and significance of 4059-4065 Oakwood Avenue, that has lost its integrity of design, setting, materials, workmanship and feeling, such that its potential significance as a historical resource has been materially impaired. Therefore, the subject property is not a significant example of its style or property type.

**Therefore, the subject properties are recommended ineligible for listing under National Register Criterion C, California Register Criterion 3, LAHCM Criterion 3.**

***d. Data***

National Register Criterion D. It yields, or may be likely to yield, information important in prehistory or history.

California Register Criterion 4. Has yielded, or may be likely to yield, information important in prehistory or history.

While most often applied to archaeological districts and sites, Criterion D/4 can also apply to buildings, structures, and objects that contain important information. In order for these types of properties to be eligible under Criterion D/4, they themselves must be, or must have been, the principal source of the important information. The Residence does not appear to yield significant information that would expand our current knowledge or theories of design, methods of construction, operation, or other



information that is not already known. **Therefore, the subject property is recommended ineligible for listing under National Register Criterion D and California Register Criterion 4.**

**\*B12. References (continued):**

36 CFR Section 60.2.

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State of California ☐ The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other  
Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

Page 1 of 10 \*Resource Name or #: (Assigned by recorder) 4059-4065 West Oakwood Avenue

P1. Other Identifier: \_\_\_\_\_

\*P2. Location: ☐ Not for Publication ☒ Unrestricted

\*a. County Los Angeles and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

\*b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; \_\_\_\_\_ of \_\_\_\_\_ of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 4059-4065 West Oakwood Avenue City Los Angeles Zip 90004

d. UTM: (Give more than one for large and/or linear resources) Zone \_\_\_\_\_, \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, decimal degrees, etc., as appropriate)

APN: 5520-017-029

\*P3a. **Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries) Based upon photographic evidence, 4059-4065 Oakwood was originally built as a bungalow court. There were six detached (free standing/not connected) bungalows and a larger two-story multi-family detached residence to the north (rear) side of the property. The six bungalows were originally detached, but the two northern bungalows on either side were later attached (structurally connected) by a permit issued in 1940. The bungalows all faced to the central courtyard on the property where there was a walkway and landscaping. The property was eventually surrounded by a fence (alteration). [See Continuation Sheet]

\*P3b. **Resource Attributes:** (List attributes and codes) HP3 (Multiple Family Property)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



\*P4. **Resources Present:**

☒ Building ☐ Structure ☐ Object  
☐ Site ☐ District ☐ Element of District  
☐ Other (Isolates, etc.)

P5b. Description of Photo: (view, date, accession #) Primary (south) elevation, view north (Photo by Apartments.com)

\*P6. **Date Constructed/Age and Source:** ☒ Historic ☐ Prehistoric  
☐ Both

1920/Los Angeles County Assessor

\*P7. **Owner and Address:**

Oakwood Properties LLC

509 East 16<sup>th</sup> Street

Los Angeles, CA 90015

\*P8. **Recorded by:** (Name, affiliation, and address) Hanna Winzenried  
ESA

626 Wilshire Blvd., Suite 1100

Los Angeles, CA 90017

\*P9. **Date Recorded:** \_\_\_\_\_

November, 2018

\*P10. **Survey Type:** (Describe)

Intensive Pedestrian

\*P11. **Report Citation:** (Cite survey report and other sources, or enter "none.")

ESA, 4055-4065 West Oakwood Avenue, Los Angeles, CA: Historic Resource Assessment, November, 2018

\*Attachments: ☐ NONE ☐ Location Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other (List): \_\_\_\_\_



# BUILDING, STRUCTURE, AND OBJECT RECORD

\*Resource Name or # (Assigned by recorder) 4059-4065 West Oakwood Avenue \*NRHP Status Code 6Z  
Page 2 of 10

B1. Historic Name: \_\_\_\_\_  
B2. Common Name: \_\_\_\_\_  
B3. Original Use: Multi-Family Residence B4. Present Use: Multi-Family Residence

\*B5. Architectural Style: Spanish Colonial Revival

\*B6. Construction History: (Construction date, alterations, and date of alterations)

The first permits on record for 4059-4065 are for three one story single-family residences issued on April 5, 1920 for owner, Henry Mertz. The residences are designed and built by Thomas Grow. A permit for a two room addition was issued on September 11, 1920. Four new permits for new dwellings were issued on the same day with the same owner and architect. On March 11, 1937, owner Harold Schwimer received a permit to move the garage from 5061 1/2 to the rear of the lot. He also received a permit to move 4065 to 4065 1/4 Oakwood Avenue and to put two new outside doors onto the dwelling. He obtained the same permit to move 4059 to 4059 1/2 Oakwood Avenue, creating two new duplexes on the lot out of existing structures. He received a permit on June 7, 1937 to move residence from 4063 to 4063 1/2. New garages were built on June 7, 1937. Permits for interior tile work of all the structures were issued on July 21, August 21, and September 1, 1937 to be done by E. B. Scott. A lean-to addition was built onto 4059 1/2 on March 14, 1939 on either side of the rear structure. On October 29, 1940, two permits were issued to add rooms and outside doors to the structures. These additions connected two bungalows on both the west and east side of the lot together creating duplexes rather than individual detached bungalows. These alterations changed the configuration of the courtyard area in relation to the bungalows which disqualifies it according to SurveyLA eligibility criteria, and the cumulative effect of the other alterations also detracts from the integrity and significance of the subject properties. [See Continuation Sheets]

\*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features:

B9a. Architect: \_\_\_\_\_ b. Builder: \_\_\_\_\_

\*B10. Significance: Theme Spanish Colonial Revival Architecture (1915-1940); The Bungalow Court (1910-1939)  
Area Los Angeles

Period of Significance 1920 Property Type Multi-Family Residential Applicable Criteria \_\_\_\_\_

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

ESA reviewed the subject property for significance under the federal, state, and local criteria. The subject property was evaluated under the SurveyLA themes associated with the subject property by applying the standards and integrity requirements outlined above. They were evaluated for eligibility under Criteria A/1/1 and C/3/3 under the theme, Residential Development and Suburbanization, 1850-1980: Bungalow Courts, 1912-1939. They were evaluated under Criteria C/3/3 under theme, Architecture and Engineering, 1850-1980: Spanish Colonial Revival, 1912-1948, as applied to Residential Architecture, for the Bungalow Court property type.

[See Continuation Sheets]

B11. Additional Resource Attributes: (List attributes and codes) \_\_\_\_\_

\*B12. References:

[See Continuation Sheets]

B13. Remarks:

\*B14. Evaluator: Hanna Winzenried

\*Date of Evaluation: November, 2018

(This space reserved for official comments.)

(Sketch Map with north arrow required.)





Property Name: [   
 Page 3 of 10 ]

The two southern-most bungalows were still detached in 2018. They had a few original wood windows with true-divided-lites although many of the windows were replaced with vinyl sliding windows. There were Spanish tile awnings over entrances and windows. To the north were two bungalows on either side that were connected by additions constructed in 1940, making them duplexes. These additions, which filled in the space between the originally detached bungalows, resulted in an adverse impact to both the original site plan and a substantial alteration of the original spatial relationships of bungalows and the center courtyard, and resulted in a substantial adverse change to the integrity and significance of the property.

To the rear was a large two-story building with a flat roof and stucco siding. Most of the original wood double-hung windows had divided lites on the south (primary) façade and, based upon the photographs, still appeared to be intact in 2018 as well as the original wood French doors. There were additions on the west and east (side) facades of the rear building from 1939 (alteration). All of these alterations detract significantly from the property's integrity

All wooden porches were replaced with concrete porches on April 2, 1948. These alterations are corroborated by assessor records and detract significantly from the property's integrity. On July 7, 1989, Han Gon Shin was issued five permits to demolish all of the structures on the lot, but these permits were never followed through. On October 6, 1996, the owner Seog Hwan Kang was issued a roofing, plumbing, electrical appliance, drywall, cabinets and door painting permit. On February 3, 1996, he was issued a permit for a certificate of occupancy and reroof. No further permits were issued until the permits issued on January 31, 2018 to demolish all of the buildings on the lot (Building Permits are included in **Appendix D**). Original plans and Assessor records are provided in **Appendix E**. This history is summarized below in **Table 4**.

Unpermitted alterations observed from photographs of the property from 2018 include: changes to primary elevation windows such as removal of divided-lite (6/1) hung windows and replacement with aluminum slider windows, as well as other windows being changed throughout, security doors added, original French doors replaced, tile coping removed from the roof line, the addition of a metal fence along the property line, alteration of landscaping, the removal of all but one outdoor courtyard lights, addition of metal railings to entry balconies, and some re-stucco of the exterior, all of which detract significantly from the property's integrity. **\*B10. Significance (continued):**

### *a. Broad Patterns of History*



With regard to broad patterns of history, the following are the relevant criteria:

National Register Criterion A: Is associated with events that have made a significant contribution to the broad patterns of our history.

California Register Criterion 1: Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.

Los Angeles Historic Cultural Monument Criterion 1: Is identified with important events of national, state, or local history, or exemplifies significant contributions to the broad cultural, economic, or social history of the nation, state, city, or community.

The subject properties previously located at 4055-4057 and 4059-4065 West Oakwood Avenue were located on the Barrow's Addition tract, within the Koreatown neighborhood in Wilshire and the City of Los Angeles. Barrow's Addition is a small tract encompassing a block that was subdivided in 1904, and was half developed by 1919 with single-family residences. In 1921, most of the tract was developed, including the subject properties which were built in 1920 and 1921-1922, and were among the last improvements to the tract. At that time there were approximately three bungalow courts and three apartment houses on the tract. By 1950, all of the lots on Barrow's Addition were developed, with three new apartment buildings northwest of the subject properties. Many of the original structures on the tract were replaced with larger apartment buildings by 1965, including the bungalow court to the far west of the tract. The two subject properties were the only existing bungalow courts in Barrows Addition before they were demolished in 2018. There is no evidence to suggest that the subject properties' construction was influential upon the Tract's development. The subject properties were later infill structures that altered the tract, and they were a different property type than the single-family residences that originally characterized tract. The Tract followed the development pattern of Koreatown, which was heavily developed in the 1910s with single-family residences, many of which were replaced with various types of multi-family residences in the 1920s and 1930s to accommodate the rapidly growing population in the neighborhood. However, the Tract is small and was not historically significant to the development of the Wilshire area. Furthermore, the subject properties do not appear to have been historically significant in the development of Wilshire, Koreatown, or Barrow's Addition. Additionally, the integrity of the area has been substantially eroded by redevelopment with large multi-family residences that had altered much of the tract by 1965, and substantially changed the historic patterns of residential development in the Barrow's Addition. Additionally, as previously discussed in detail in the construction history and architectural descriptions included above for the subject properties, they were altered examples of Spanish Colonial Revival-style Bungalow Courts and in 2018 they did not retain enough integrity to convey the characteristics of their property type.

**The subject properties do not appear eligible for the National Register under Criterion A, the California Register under Criterion 1, or the local register as an individual resource.**

***b. Significant Persons***

With regard to associations with important persons, the following are the relevant criteria:

National Register Criterion B: Is associated with the lives of persons significant in our past.



California Register Criterion 2: Is associated with the lives of persons important in our past.

Los Angeles Historic Cultural Monument Criterion 1: Is associated with the lives of historic personages important to national, state, city or local history

#### **4055-4057 West Oakwood Avenue**

Because the bungalows at 4055-4057 Oakwood Avenue were rental properties there was a high turnover of occupants. Most of these occupants were employed in the retail enterprises and were not employed in the entertainment industry. Research, which included a review of local newspapers, online databases, Los Angeles Public Library, Online Archive of California, Calisphere, and the Huntington, did not indicate that any occupant was historically significant at the local, state, or federal criteria.

#### **4059-4065 West Oakwood Avenue**

Similarly, the bungalows at 4059-4065 Oakwood Avenue were rental properties and there was a high turnover of occupants. Most of these occupants were employed in sales, services, or manufacturing and were not employed in the entertainment industry. Research, which included a review of local newspapers, online databases, Los Angeles Public Library, Online Archive of California, Calisphere, and the Huntington, did not indicate that any occupant was historically significant at the local, state, or federal criteria.

#### ***c. Architecture***

With regard to architecture, design, or construction, the following are the relevant criteria:

National Register Criterion C: Embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.

California Register Criterion 3: Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.

Los Angeles Historic Cultural Monument Criterion 3: Embodies the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age.

4055-4057 Oakwood Avenue was designed in the Spanish Colonial Revival style by contractor, Damion Sherwood, and the general contractor for the subject property was Perry Sherwood, a building contractor and carpenter. Neither of these men were master designers, builders or architects. A review of biographical dictionaries and historical directories of American Architects, historical newspapers, local directories, and historic periodicals did not include any information regarding Damion or Perry Sherwood and therefore indicates that they were not notable nor were they considered master builders.

4055-4057 Oakwood Avenue was a single-bar parti row of bungalows built in a simplified Spanish Colonial Revival style. The single-bar parti is the oldest and most elementary type of bungalow court, and



4055-4057 Oakwood Avenue was a very altered example in 2018. The architectural features of the bungalows were very simplistic, only representing the Spanish Colonial Revival style with stucco siding and a flat roof, which are not enough to merit significance, and there were no other architectural details to speak of to convey the architectural style. Furthermore, the 4055-4057 Oakwood Avenue bungalows were substantially altered by 2018 and do not meet the integrity requirements for eligibility under criteria C/3/3. The property did not retain its integrity of design, setting, materials, workmanship or feeling. Window openings were enclosed, and the rest of the windows were replaced with sliding windows. Metal awnings were added over many of the windows and openings. According to the SurveyLA eligibility standards, window openings should not be changed or resized, and thus the property is disqualified. The multiple alterations, such as the change in window sizes and locations, the addition of metal awnings, alterations of the roofs and parapets, stucco patching and repairs and re-stuccoing, also detracted from its integrity of the materials and design. It also lacked integrity of design and feeling due to alteration of the landscape by paving of the lot for parking and the integration of cars onto the lot, which would not have been the case when the bungalows were originally constructed. Therefore, the property is not eligible because it was a very simple, substantially altered example of a basic single-bar parti row of Spanish Colonial Revival-style bungalows that was not architecturally significant and did not retain integrity.

#### **4059-4065 West Oakwood Avenue**

4059-4065 Oakwood Avenue was designed by Thomas Grow and built by the owner, Henry Mertz. A review of newspapers, local directories, and historic periodicals did not include any information regarding Thomas Grow or Henry Mertz and therefore ESA concludes that neither men are notable and they are not considered master designers, builders or architects.

4059-4065 Oakwood Avenue was an example of a U parti bungalow court, which was the most common type of courtyard housing in Southern California. The subject property was a variation that included bungalows on either side, with a larger two-story apartment house at the rear which was part of the trend towards courtyard apartment buildings rather than bungalow courts. 4059-4065 Oakwood Avenue was not a rare example of the bungalow court property type as there are numerous eligible examples of bungalow courts in the nearby vicinity, as illustrated in Tables 7 and 8 and Figure 40 on pages 55-63 above. Today there are 74 extant bungalow courts in the Wilshire area of Los Angeles within a one-mile radius of the subject property. These include 323-325 North Alexandria Avenue Bungalow court, 329-333 north Alexandrian Avenue Bungalow Court, 424-430 North Norton Avenue Bungalow Court, 616-620 North Plymouth Boulevard Bungalow Court, 3020-3030 West 12<sup>th</sup> Street Bungalow Court, and 2600-2606 West San Marino Street Bungalow Court which were called out by the Wilshire CPA for SurveyLA. Other nearby similar examples include 4167 Oakwood Avenue, 335 North Alexandria Avenue, 542 North Kingsley Drive, and 4252 West 1<sup>st</sup> Street. Other various types of bungalows exist throughout the Wilshire area. Therefore, it the subject property was not a rare surviving example of its type in 2018, nor was it a rare example in the community in which it was located, and therefore it should not be allowed a greater degree of alteration or fewer character-defining features to be acceptable as a potential historical resource.

4059-4065 Oakwood Avenue was a substantially altered example of a Bungalow Court. A large addition was added to either side of the apartment house on the rear of the lot in 1939 which happened in the last year of the period of significance for bungalow courts in Los Angeles. In 1940, additions were added between two bungalows on the west and east side connecting them together, turning them from individual



detached bungalows to attached duplexes, changing the layout of the site as well as the relationship between the bungalows and the courtyard, which disqualifies the subject property from the integrity considerations of SurveyLA for the Bungalow Court property type. Further, in 1948, all of the wood porches were replaced with concrete porches. Unpermitted alterations include the changes to primary elevation windows, the addition of security doors, the replacement of original entrance doors from the original wood French door to a single wood door, the addition of a fence, and the alteration of the hardscaping in the courtyard area. These alterations substantially reduced the subject property's integrity of design, materials, and workmanship as an example of the Spanish Colonial Revival-style Bungalow Court. SurveyLA's integrity standards for Spanish Colonial Revival buildings states that the roof tile material should not be replaced with new materials; however, the tile coping on the subject property was replaced, and this change along with other cumulative alterations, causes the subject property to be disqualified from eligibility because it does not meet SurveyLA's integrity standards. All of these alterations have negatively affected the integrity and significance of 4059-4065 Oakwood Avenue, that has lost its integrity of design, setting, materials, workmanship and feeling, such that its potential significance as a historical resource has been materially impaired. Therefore, the subject property is not a significant example of its style or property type.

**Therefore, the subject properties are recommended ineligible for listing under National Register Criterion C, California Register Criterion 3, LAHCM Criterion 3.**

**d. Data**

National Register Criterion D. It yields, or may be likely to yield, information important in prehistory or history.

California Register Criterion 4. Has yielded, or may be likely to yield, information important in prehistory or history.

While most often applied to archaeological districts and sites, Criterion D/4 can also apply to buildings, structures, and objects that contain important information. In order for these types of properties to be eligible under Criterion D/4, they themselves must be, or must have been, the principal source of the important information. The Residence does not appear to yield significant information that would expand our current knowledge or theories of design, methods of construction, operation, or other information that is not already known. **Therefore, the subject property is recommended ineligible for listing under National Register Criterion D and California Register Criterion 4.**

**\*B12. References (continued):**

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# Appendix G

## **Project Plans**





















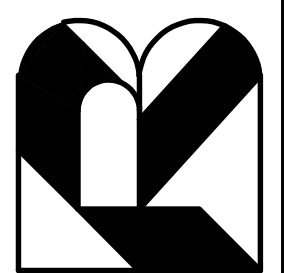


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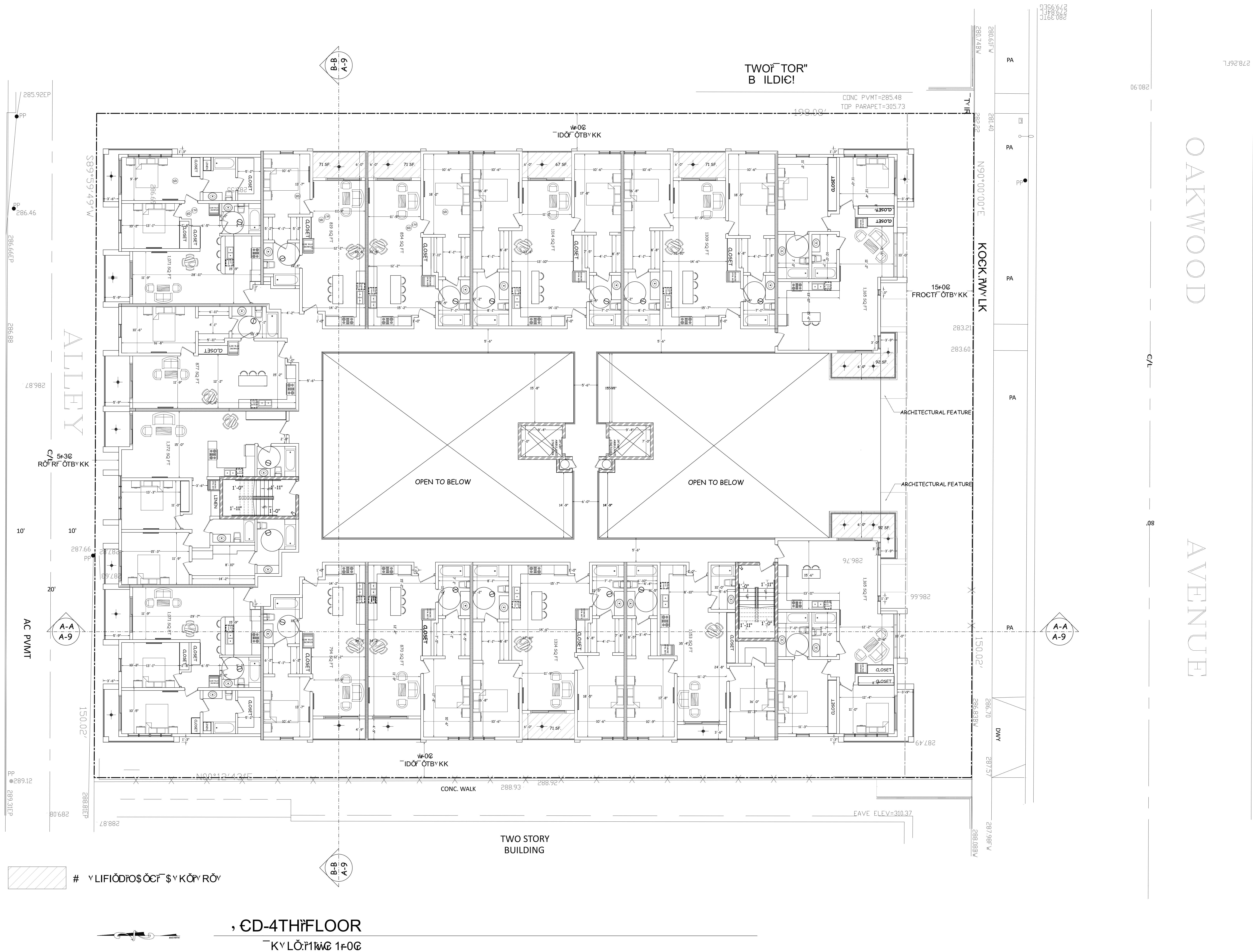
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LOS ANGELES, CA 90004

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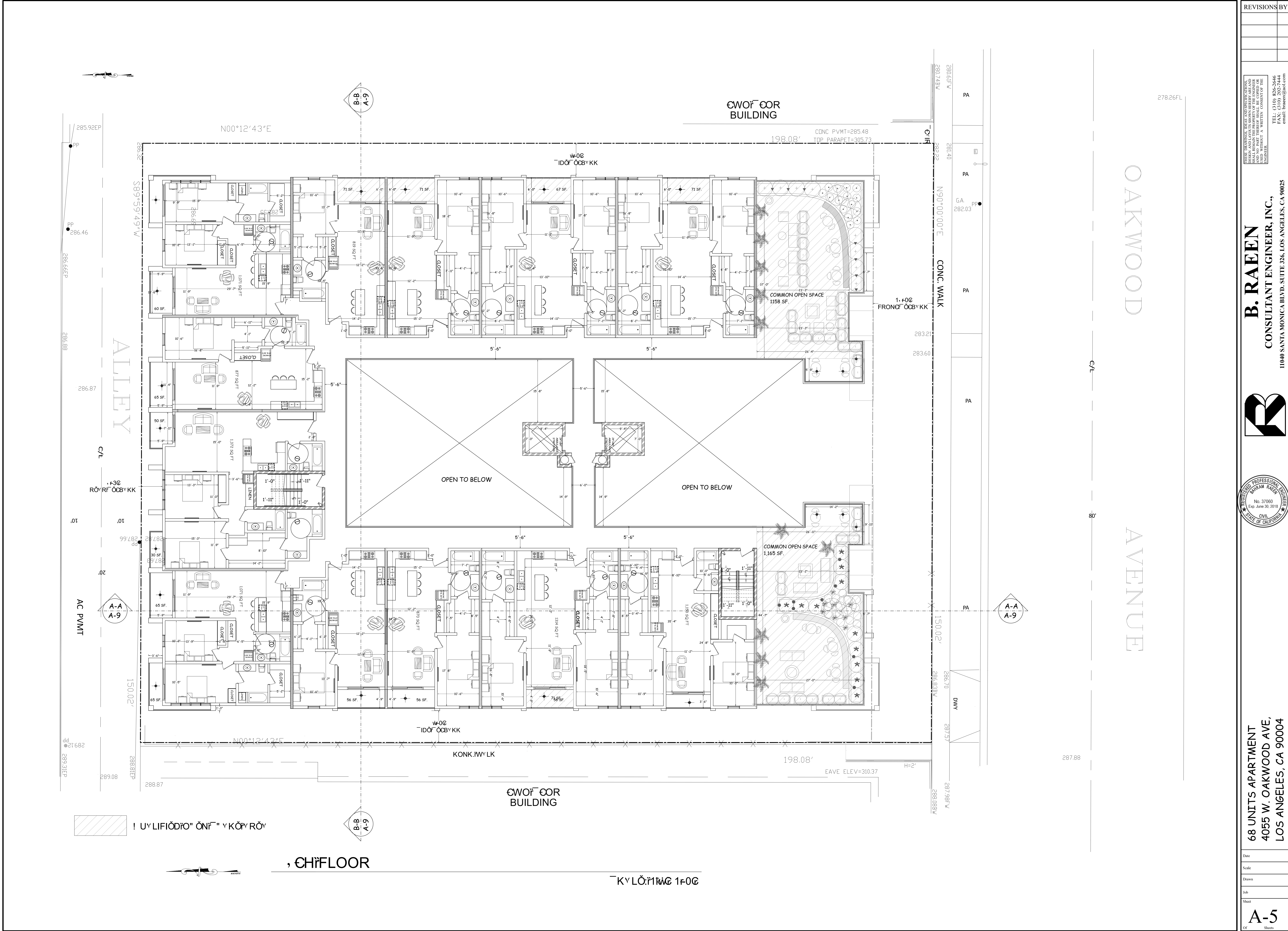
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JOB: 68 UNITS APARTMENT  
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FAX: (310) 292-7444  
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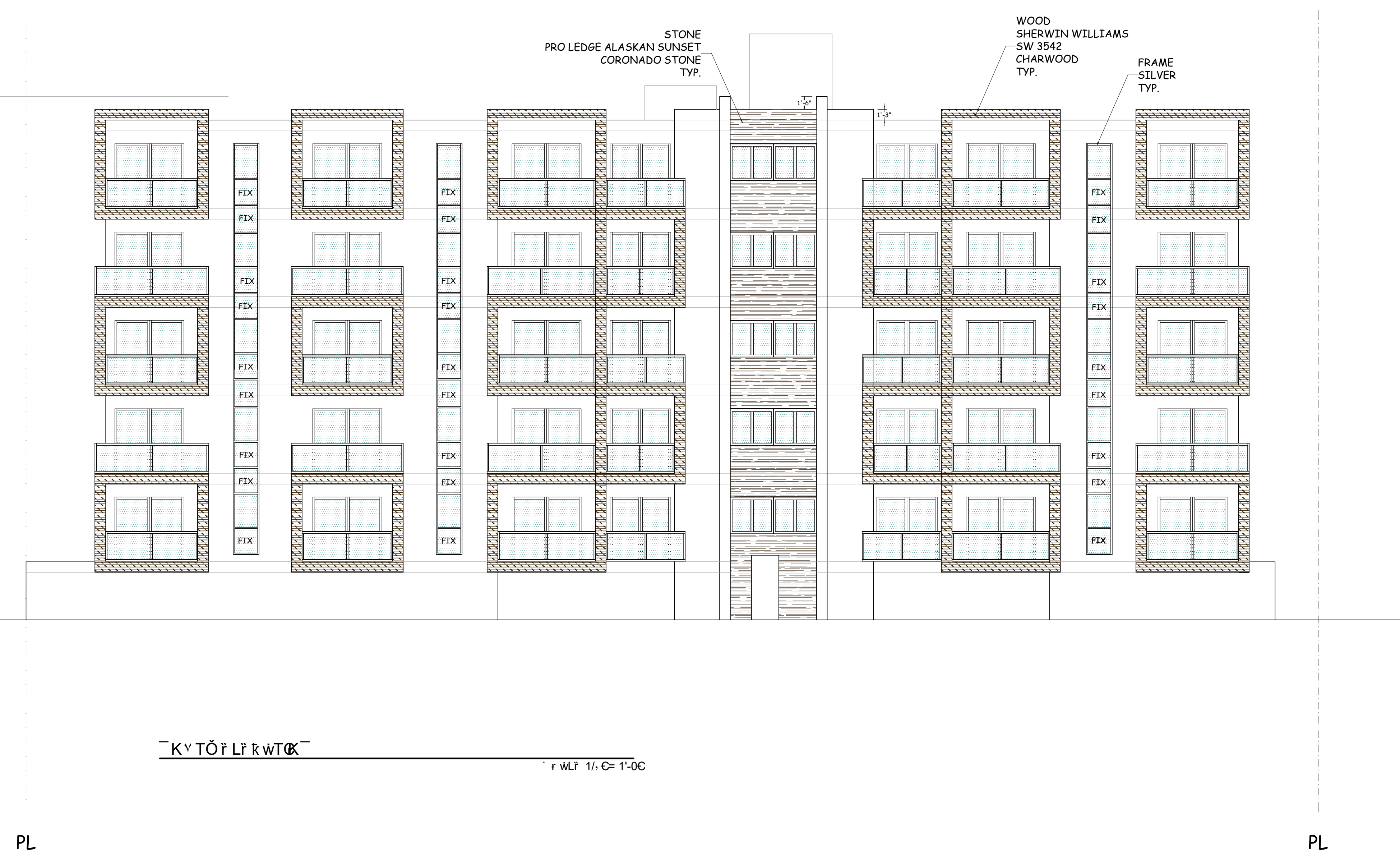




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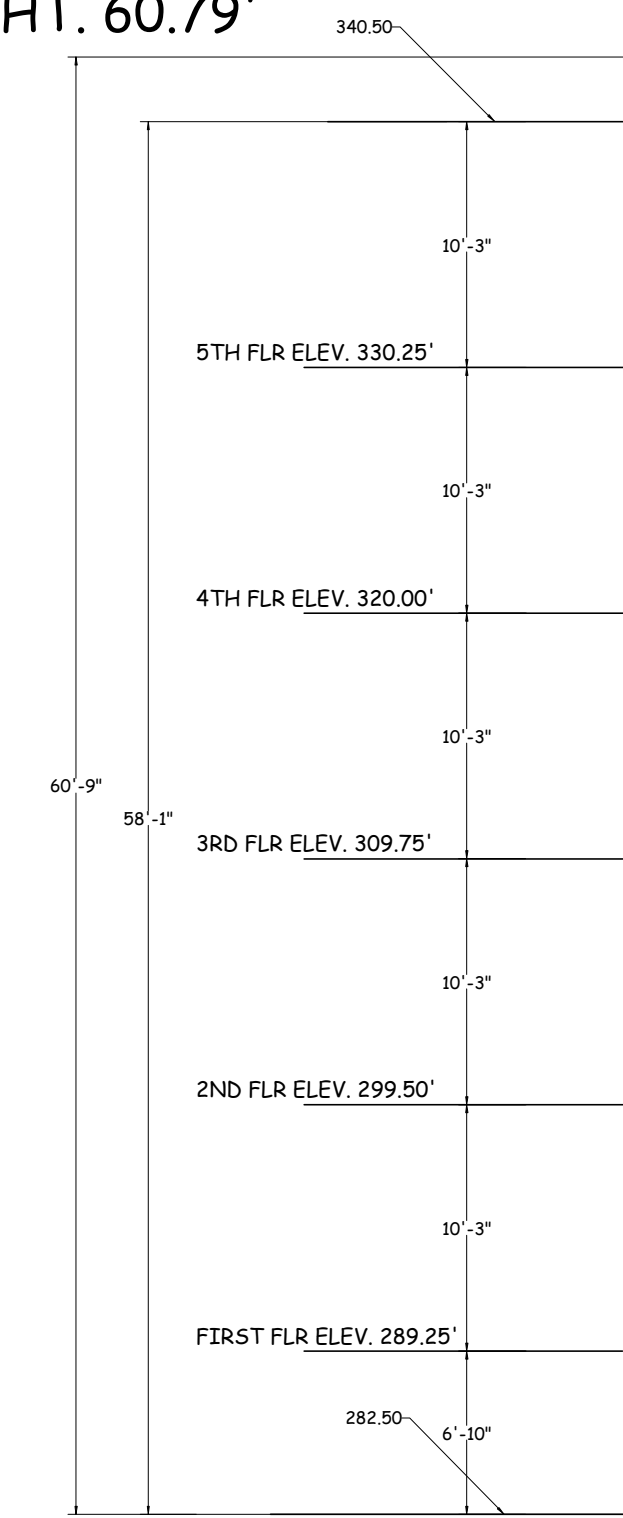


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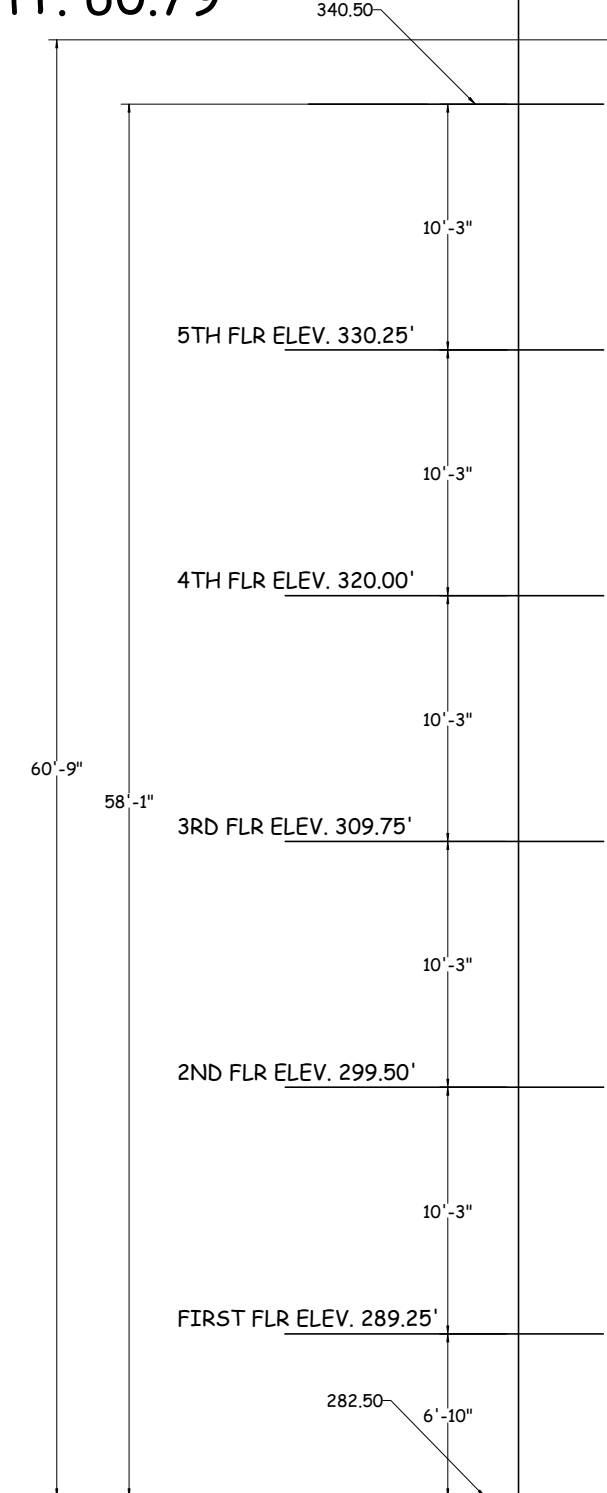
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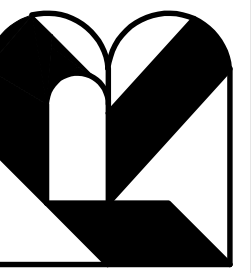
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email: b.raeen@aol.com

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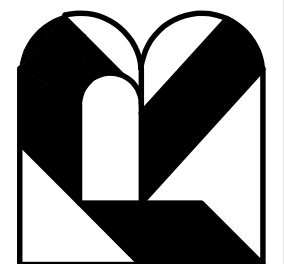






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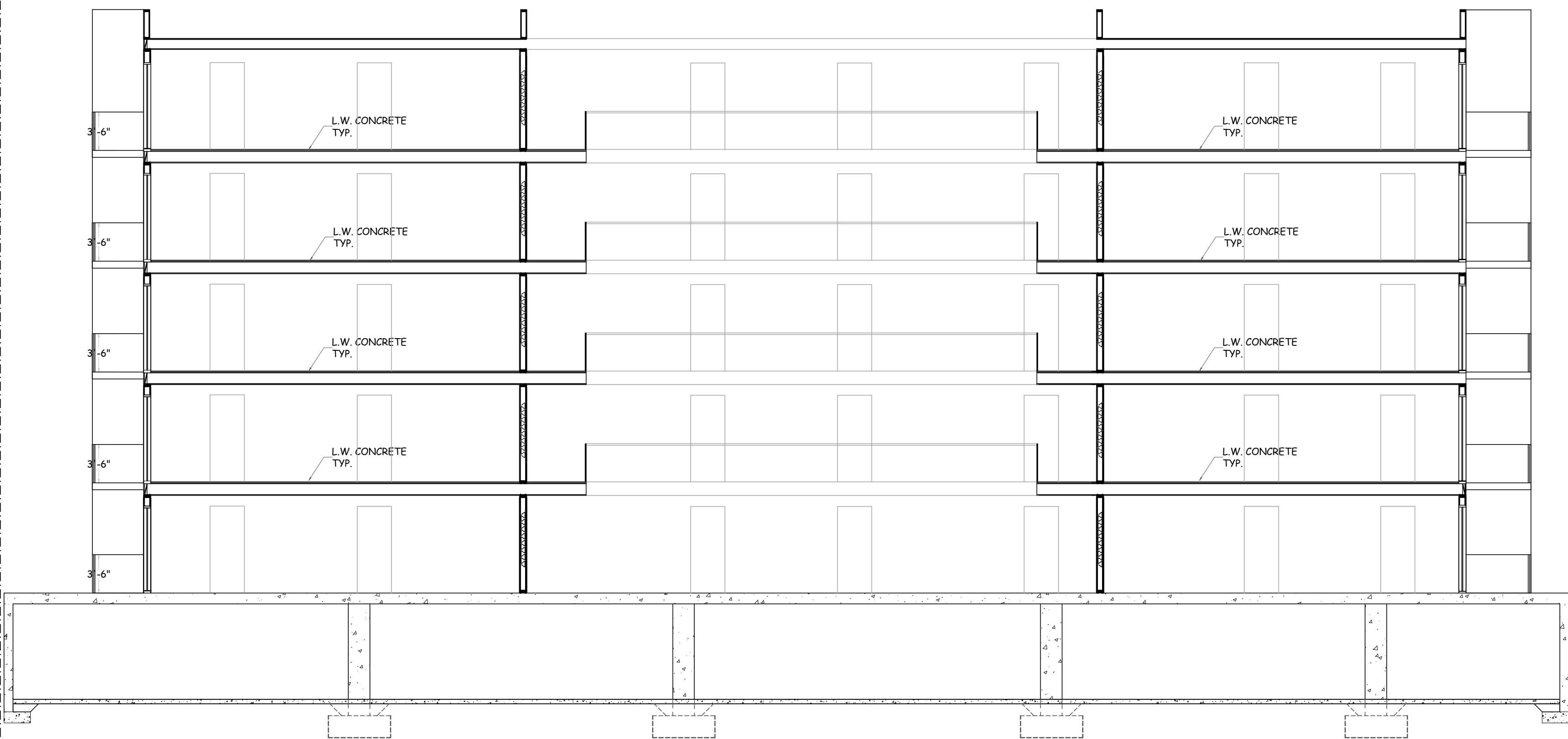


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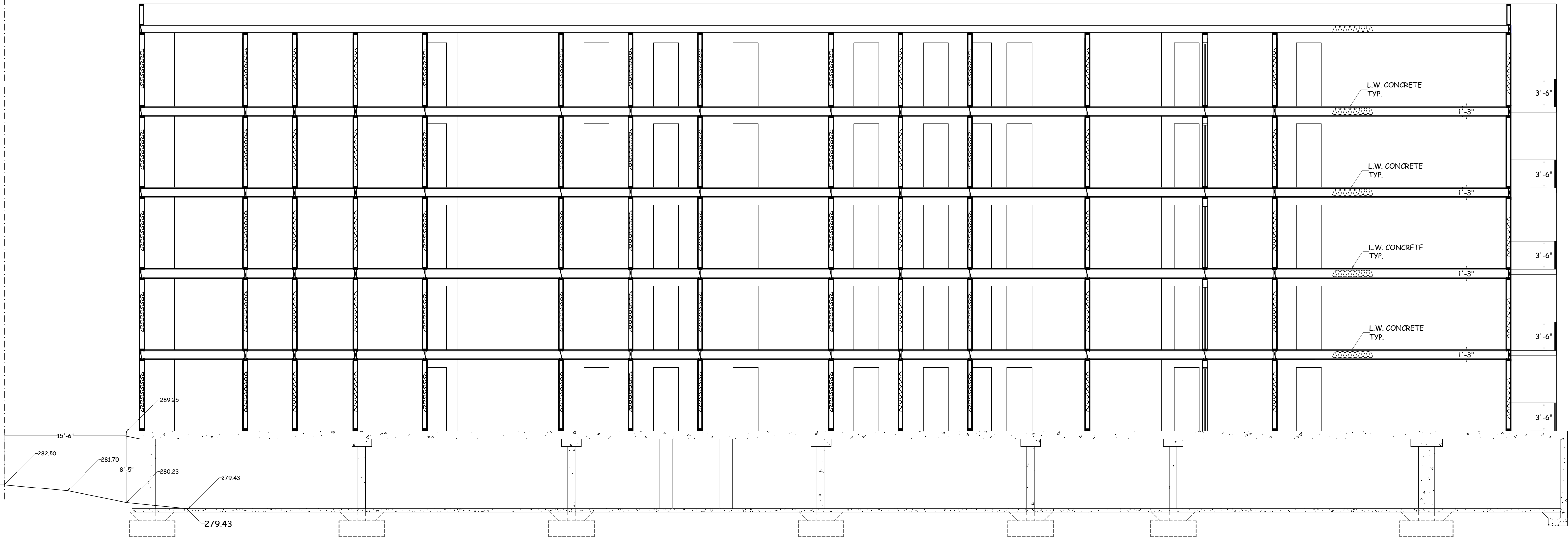
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10'-3"  
FIRST FLR ELEV. 289.25'  
9'-10"  
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KEY TOP R/W  
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FIRST FLR ELEV. 289.25'  
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BASEMENT FLR ELEV. 279.43'



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TREE LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
* Aloe barbaerae		Tree Aloe	15-gal	4		low 0.3
* Caryota mitis		Clustered Fishtail Palm	24"box	3		mod 0.5
* Cercidium floridum		Desert Museum Palo Verde	36"box	3		low 0.3
* Dracaena draco		Dragon Tree	24"box	2		low 0.3
* Howea forsterana		Kentia Palm	24"box	3		mod 0.5
* Laurus nobilis		Sweet Bay	24"box	11		low 0.3
* Phoenix dactylifera		Date Palm	24"box	3		low 0.3
* Podocarpus henkelii		Henkel's Yellowwood	24"box	9		mod 0.5

\* Points claimed

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WUCOLS
* Achillea m. 'Strawberry Seduction'		Common Yarrow	1-gal	24"oc	low 0.3
* Aeonium arborescens 'Zwartkop'		Black Rose Aeonium	5-gal	7	low 0.3
* Aeonium 'Kiwi'			5-gal	27	low 0.3
* Aeonium 'Sunburst'		Copper Pinwheel	5-gal	3	low 0.3
* Agave angustifolia 'Marginata'		Variiegated Caribbean Agave	5-gal	6	low 0.3
* Agave 'Blue Flame'		Blue Flame Agave	5-gal	7	low 0.3
* Aloe 'Delta Lights'			5-gal	8	low 0.3
* Aloe striata			5-gal	9	low 0.3
* Bulbine frutescens		Stalked Bulbine	5-gal	18"oc	low 0.3
* Carex divisa		Berkeley Sedge	1-gal	46	low 0.3
* Carex oshimensis 'Evergold'		Variiegated Japanese Sedge	1-gal	8	low 0.3
* Carpenteria californica		Bush Anemone	5-gal	27	low 0.3

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WUCOLS
* Chondropetalum tectorum		Cape Rush	5-gal	8	low 0.3
* Dianella tasmanica 'Variegata'		White Striped Tasman Flax Lily	5-gal	4	low 0.3
* Dietes bicolor		Fortnight Lily	5-gal	44	low 0.3
* Euphorbia characias 'Bruce's Dwarf'		Bruce's Dwarf Euphorbia	5-gal	7	low 0.3
* Euphorbia tirucalli		Sticks on Fire	5-gal	15	low 0.3
* Festuca o. glauca 'Elijah Blue'		Sheep Fescue	5-gal	12"oc	low 0.3
* Juncus patens		California Grey Rush	5-gal	24"oc	low 0.3
* Lomandra 'Lime Tuff'		Dwarf Mat Rush	5-gal	36	low 0.3
* Muhlenbergia rigens		Deer Grass	5-gal	13	low 0.3
* Myrtus communis 'Compacta'		Dwarf Myrtle	5-gal	20	low 0.3
* Nandina domestica		Heavenly Bamboo	5-gal	12	low 0.3
* Sansevieria trifasciata 'Laurenti'		Striped Mother-in-law's Tongue	5-gal	75	low 0.3

Janus et Cie		
Item	Model - Koko II	Color
Chairs	Boxwood	Mica
Couch	Boxwood	Mica

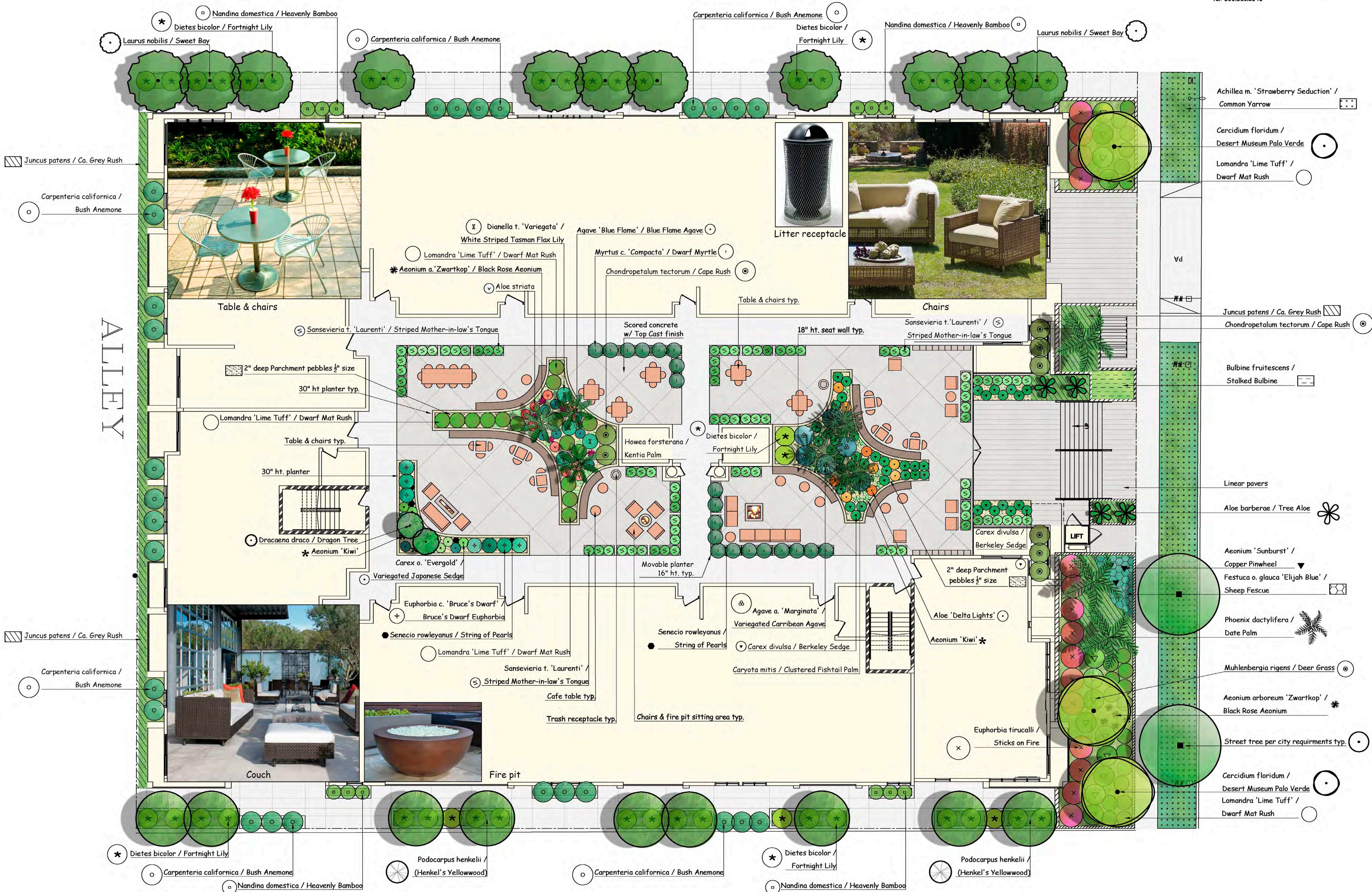
www.janusetcie.com

Architectural Pottery		
Item	Model	Color
Fire Pit	Legacy Round Fire Pit	Beechwood
Fire Pit	Geo Square Fire Pit	Beechwood

tel: 714.895.3359

Landscape Form items		
Item	Model	Color
Table	Cheap Chic square top	Flambe Orange
Chairs	Catena	Flambe Orange

tel: 800.521.2546



OAKWOOD AVENUE



ASLA  
Yael Lir Landscape Architects  
1010 Sycamore Ave. Suite 313  
South Pasadena, CA 91030  
Tel 323.258.5222  
Fax 323.258.5333  
yael@yaellir.com

OAKWOOD  
4055-4065 OAKWOOD AVE.  
LOS ANGELES, CA 90004

ILLUSTRATIVE PLAN




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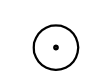

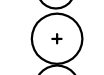

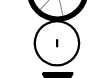



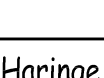
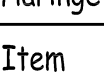
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TREE LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
	Rhapis excelsa	Lady Palm	15-gal	10	4-5' ht.	mod 0.5

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
	* Agave attenuata 'Variegata'	Variegated Fox Tail Agave	5-gal	15		low 0.3
	* Aloe striata		5-gal	8		low 0.3
	* Carex divulsa	Berkeley Sedge	5-gal	15		low 0.3
	* Chondropetalum tectorum	Small Cape Rush	5-gal	8		low 0.3
	* Diets bicolor	Fortnight Lily	1-gal	11		low 0.3
	* Dracaena draco	Dragon Tree	5-gal	4		low 0.3
	* Myrtus communis 'Compacta'	Dwarf Myrtle	5-gal	32		low 0.3
	* Sedum morganianum	Donkey Tail	1-gal	7		low 0.3
	* Senecio rowleyanus	String of Pearls	1-gal	8		low 0.3
	* Tillandsia usneoides	Spanish Moss	1-gal	6"oc		low 0.3

\* Points claimed

Haring Collection from Skargaarden		
Item		Color
Table	HART21-XX	Teak/Natural
Chairs	HARAR-BT-HAC-100XX-SN-XX	Teak/Natural
Chairs	HARLA-BT-HLC-100XX-SN-XX	Teak/Natural
Couch	HARLS-BT-HS-100XX-SN-XX	Teak/Natural

Architectural Pottery		
Item	Model	Color
Fire Pit	Legacy Round Fire Pit	Beechwood
Fire Pit	Geo Square Fire Pit	Beechwood

tel: 714.895.3359

<https://www.curranonline.com>



Dracaena draco / Dragon Tree



Rhapis excelsa / Lady Palm



Aloe striata



Chondropetalum tectorum / Small Cape Rush



Diets bicolor / Fortnight Lily



Sedum morganianum / Donkey Tail



Agave a. 'Variegata' / Variegated Fox Tail Agave



Carex divulsa / Berkeley Sedge



Myrtus communis 'Compacta' / Dwarf Myrtle



Senecio rowleyanus / String of Pearls



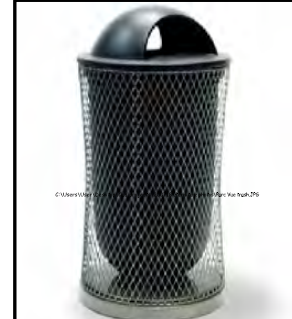
Couch



Chairs & table



Fire pit

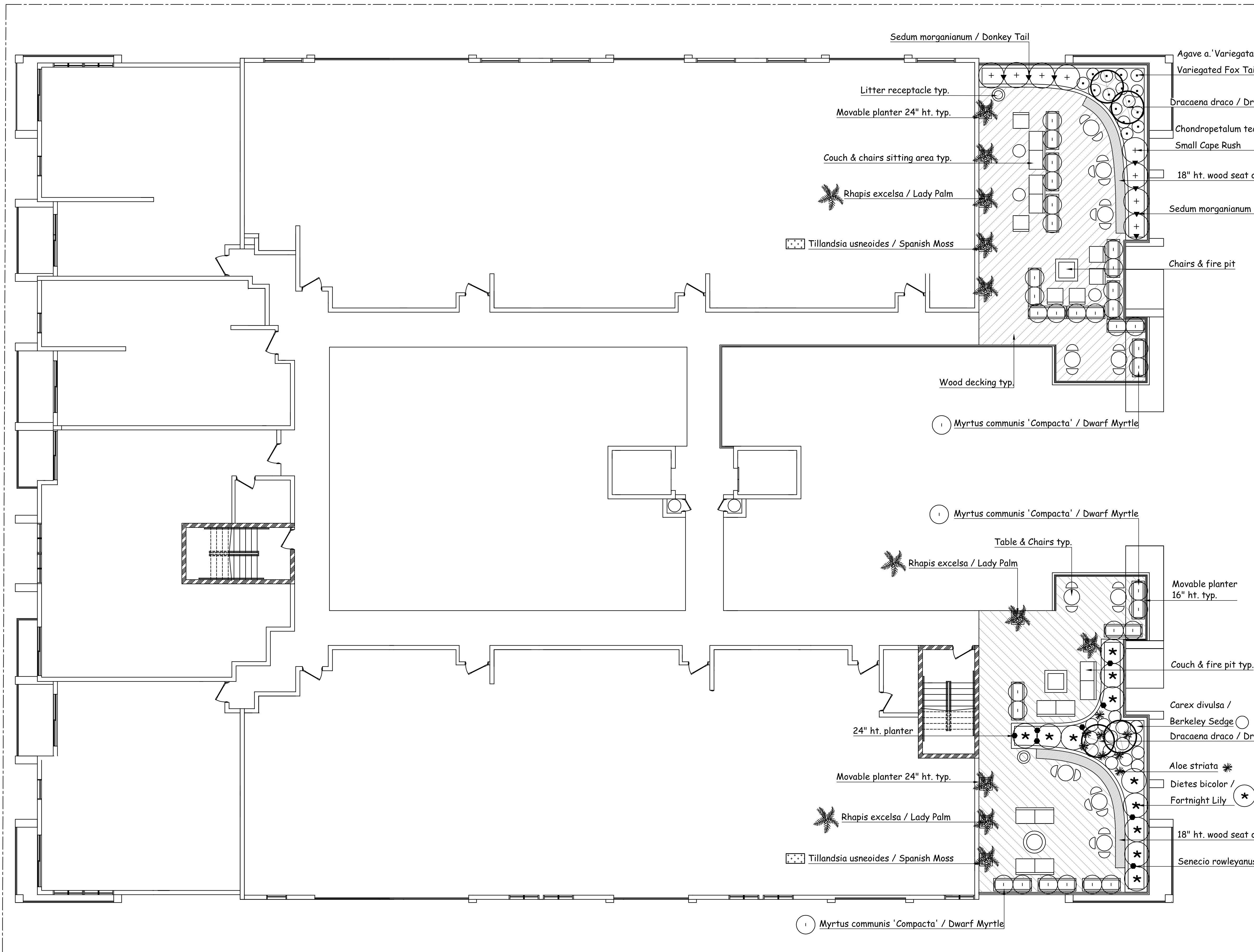


Litter receptacle



Geo planter

ALLEY



OAKWOOD AVENUE



ASLA

Yael Lir Landscape Architects

1010 Sycamore Ave. Suite 313

South Pasadena, CA 91030

Tel 323.258.5222

Fax 323.258.5333

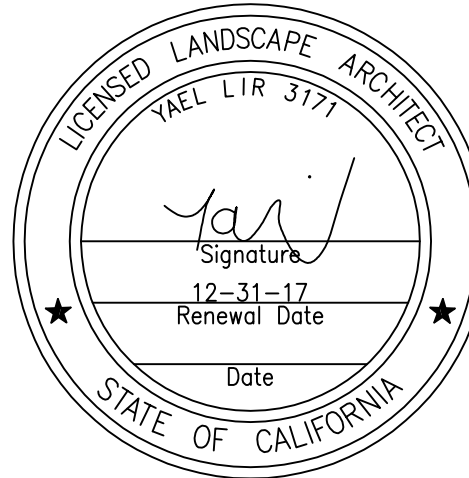
yael@yaellir.com

OAKWOOD

4055-4065 OAKWOOD AVE.

LOS ANGELES, CA 90004

FIFTH FLOOR PLANTING PLAN



DATE: APRIL 6, 2018

SCALE: 1/8"=1'-0"

JOB NUMBER: 200718

DRAWN BY:





Dracaena draco / Dragon Tree



Aloe striata



Chondropetalum tectorum / Small Cape Rush



Agave a. 'Variegata' / Variegated Fox Tail Agave



Carex divulsa / Berkeley Sedge



Rhaps excelsa / Lady Palm



Dietes bicolor / Fortnight Lily



Sedum morganianum / Donkey Tail



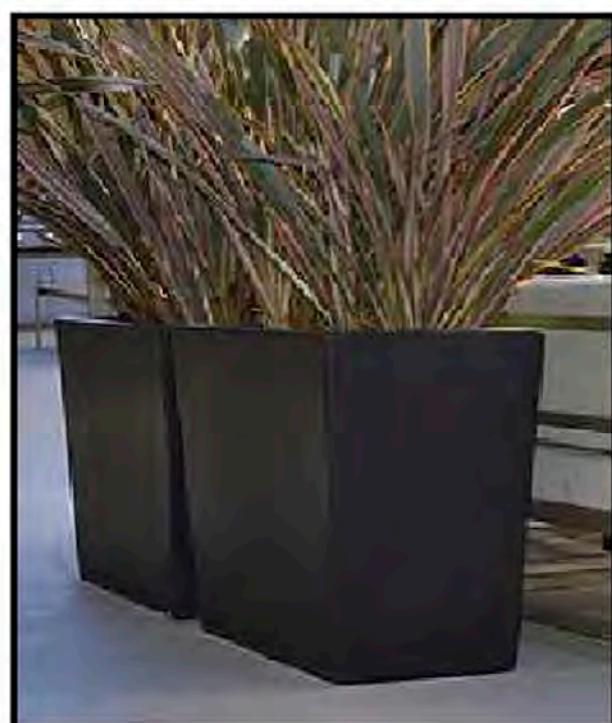
Myrtus communis 'Compacta' / Dwarf Myrtle



Senecio rowleyanus / String of Pearls



Fire pit



Geo planter



Litter receptacle



Couch



Table & chairs

TREE LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
	Rhaps excelsa	Lady Palm	15-gal	10	4-5' ht.	mod 0.5

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
	* Agave attenuata 'Variegata'	Variegated Fox Tail Agave	5-gal	15		low 0.3
	* Aloe striata		5-gal	8		low 0.3
	* Carex divulsa	Berkeley Sedge	5-gal	15		low 0.3
	* Chondropetalum tectorum	Small Cape Rush	5-gal	8		low 0.3
	* Dietes bicolor	Fortnight Lily	1-gal	11		low 0.3
	* Dracaena draco	Dragon Tree	5-gal	4		low 0.3
	* Myrtus communis 'Compacta'	Dwarf Myrtle	5-gal	32		low 0.3
	* Sedum morganianum	Donkey Tail	1-gal	7		low 0.3
	* Senecio rowleyanus	String of Pearls	1-gal	8		low 0.3
	* Tillandsia usneoides	Spanish Moss	1-gal	6"oc		low 0.3

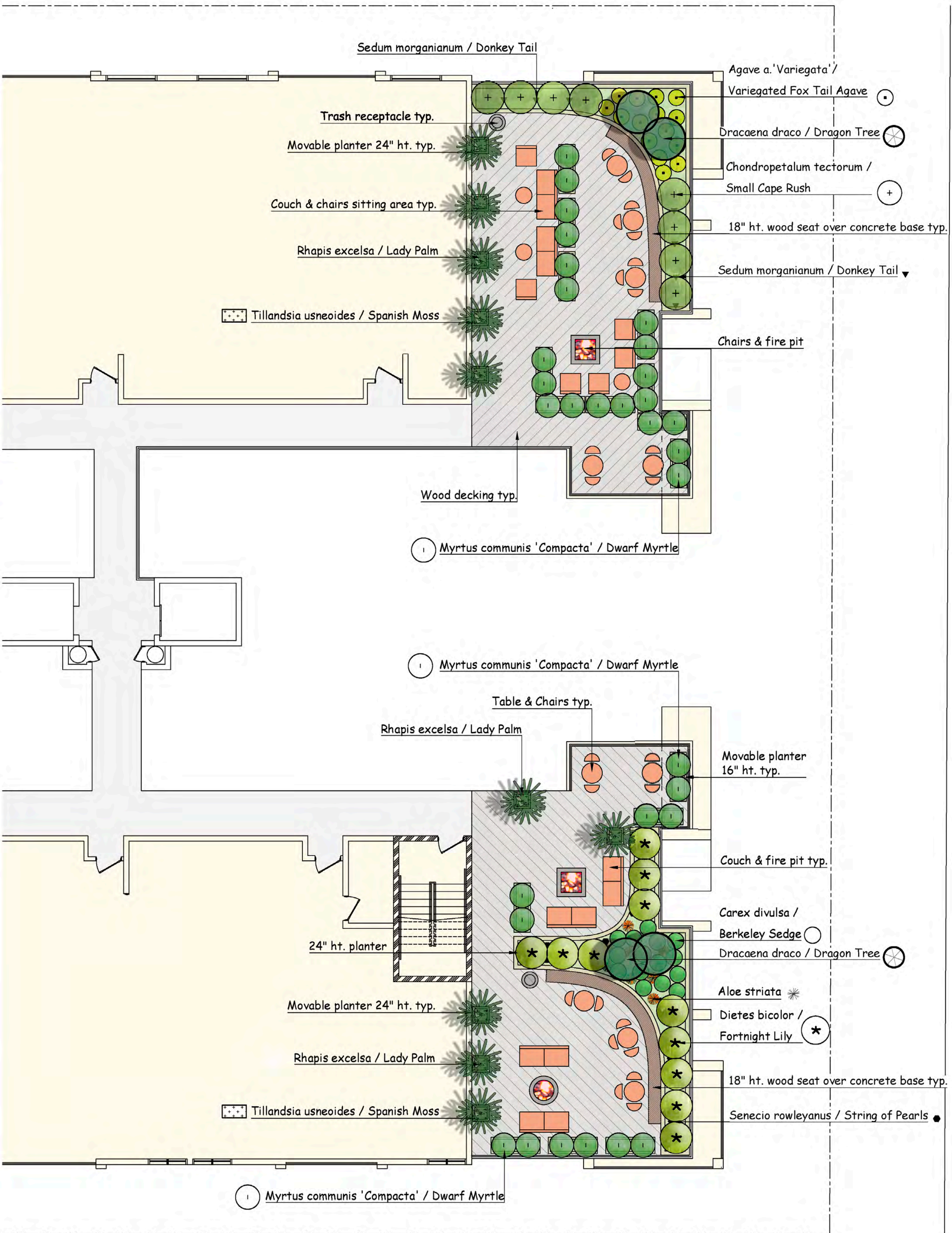
\* Points claimed

Item	Model	Color
Table	HART21-XX	Teak/Natural
Chairs	HARAR-BT:HAC-100XX-SN-XX	Teak/Natural
Chairs	HARLA-BT:HLC-100XX-SN-XX	Teak/Natural
Couch	HARLS-BT:HS-100XX-SN-XX	Teak/Natural

https://www.curranonline.com

Item	Model	Color
Fire Pit	Legacy Round Fire Pit	Beechwood
Fire Pit	Geo Square Fire Pit	Beechwood

tel: 714.895.3359



OAKWOOD AVENUE

REVISIONS	DATE
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ASLA  
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1010 Sycamore Ave. Suite 313  
South Pasadena, CA 91030  
Tel 323.258.5222  
Fax 323.258.5333  
yael@yaelir.com

OAKWOOD  
4055-4065 OAKWOOD AVE.  
LOS ANGELES, CA 90004

5TH FLOOR ILLUSTRATIVE PLAN



DATE: APRIL 6, 2018  
SCALE: 1/8"=1'-0"  
JOB NUMBER: 200718  
DRAWN BY:





Cercidium floridum /  
Desert Museum Palo Verde



Laurus nobilis /  
Sweet Bay



Podocarpus henkelii /  
Henkel's Yellowwood



Caryota mitis /  
Clustered Fishtail Palm



Aloe barberae /  
Tree Aloe



Dracaena draco / Dragon Tree



Howea forsterana /  
Kentia Palm



Phoenix dactylifera /  
Date Palm

REVISIONS	DATE
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South Pasadena, CA 91030  
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yael@yaellir.com

OAKWOOD  
4055-4065 OAKWOOD AVE.  
LOS ANGELES, CA 90004

TREE PHOTOS



DATE: APRIL 6, 2018  
SCALE: 1/8"=1'-0"  
JOB NUMBER: 200718  
DRAWN BY:





Acheille m.  
'Strawberry Seduction' /  
Common Yarrow



Aeonium 'Kiwi'



Aeonium arboreum 'Zwartkop' /  
Black Rose Aeonium



Aeonium 'Sunburst' /  
Copper Pinwheel



Agave 'Blue Flame' / Blue Flame Agave



Aloe 'Delta Lights'



Bulbine frutescens / Stalked Bulbine



Carex divulsa /  
Berkeley Sedge



Carex oshimensis  
'Evergold' /  
Variegated Japanese Sedge



Carpenteria californica /  
Bush Anemone



Chondropetalum tectorum /  
Cape Rush



Dianella tasmanica 'Variegata' /  
White Striped Tasman Flax Lily



Festuca o. glauca  
'Elijah Blue' /  
Sheep Fescue



Juncus patens /  
California Grey Rush



Muhlenbergia rigens /  
Deer Grass



Myrtus communis 'Compacta' /  
Dwarf Myrtle



Euphorbia characias 'Bruce's Dwarf' /  
Bruce's Dwarf Euphorbia



Aloe striata



Agave angustifolia 'Marginata' /  
Variegated Caribbean Agave



Dietes bicolor /  
Fortnight Lily



Euphorbia tirucalli /  
Sticks on Fire



Lomandra 'Lime Tuff' /  
Dwarf Mat Rush



Nandina domestica /  
Heavenly Bamboo



Sansevieria trifasciata 'Laurenti' /  
Striped Mother-in-law's Tongue

REVISIONS	DATE
1.	
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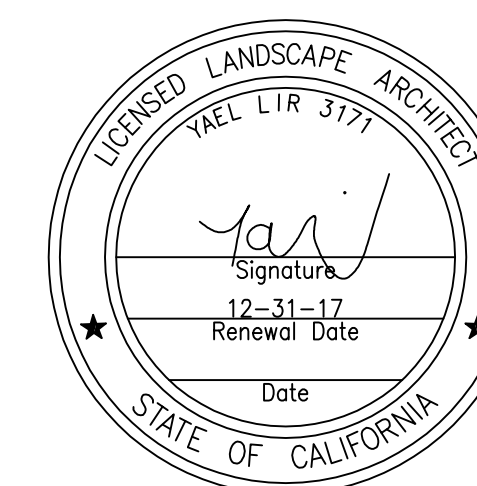
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yael@yaellir.com

OAKWOOD  
4055-4065 OAKWOOD AVE.  
LOS ANGELES, CA 90004

## PLANT PHOTOS



DATE: APRIL 6, 2018

SCALE: 1/8"=1'-0"

JOB NUMBER: 200718

DRAWN BY:





NEIL PONSKY  
2018

**HOUSING DEVELOPMENT**  
**4055 OAKWOOD DRIVE.**  
**LOS ANGELES, CALIFORNIA 90004**

**ARCHITECTURAL DESIGN: B. RAEEN CONSTRUCTION, INC.**





RECEIVED  
CITY OF LOS ANGELES  
MAY 03 2

# EXHIBIT I

CPC-2018-3029-CU-DB-SPP


HCIDLA AB 2556 Determination

CITY PLANNING  
PROJECT PLANNING

Eric Garcetti, Mayor  
Rushmore D. Cervantes, General Manager

DATE: February 21, 2019

TO: Oakwood Properties, LLC, a California limited liability company, Owner

FROM: Marites Cunanan, Senior Management Analyst I   
Los Angeles Housing and Community Investment Department

SUBJECT: **Amended AB 2556 (TOC) Determination for  
4055-4065 West Oakwood Avenue, Los Angeles, CA 90004**

Based on the Affordable Unit Determination Application submitted by Oakwood Properties, LLC, a California limited liability company (Owner), the Los Angeles Housing and Community Investment Department (HCIDLA) has determined that twenty (20) units (as detailed below) are subject to replacement under AB 2556 (formerly AB 2222).

Information about the existing property for the five years prior to the date of the application is required in order to make a determination. HCIDLA received the Affordable Unit Determination on February 6, 2019, so HCIDLA must collect data from February 2014 to February 2019.

Oakwood Properties, LLC, a California limited liability company (Owner), acquired the properties 4055-4057 West Oakwood Avenue under APN # 5520-017-009 on August 24, 2015 per Grant Deed.

Oakwood Properties, LLC, a California limited liability company (Owner), acquired the properties 4059-4065 West Oakwood Avenue under APN # 5520-017-010 on June 5, 2015 per Grant Deed.

Per Department of City Planning (ZIMAS), County Assessor Parcel Information (LUPAMS), Real Quest database, Billing Information System (BIMS) database, Code, Compliance, and Rent Information (CRIS) database, Internet Search, Rent Stabilization Ordinance Unit (RSO), the properties 4055-4057 West Oakwood Avenue under APN # 5520-017-009 have a use code of "500 – Residential/Five or More Units".

Per Department of City Planning (ZIMAS), County Assessor Parcel Information (LUPAMS), Real Quest database, Billing Information System (BIMS) database, Code, Compliance, and Rent Information (CRIS) database, Internet Search, Rent Stabilization Ordinance Unit (RSO), the properties 4059-4065 West Oakwood Avenue under APN # 5520-017-010 have a use code of "500 – Residential/Five or More Units".

The Los Angeles Department of Building and Safety database indicates that the Owner has not applied for a New Building Permit but has applied for Demolition Permits.

Per statement received by HCIDLA on February 6, 2019, the Owner plans to demolish the existing units and construct a new sixty-eight (68) unit, five (5) story apartment building pursuant to Density Bonus (DB) guidelines. If the future project is converted to condominiums, this determination will need to be amended to reflect an updated number of replacement units to replace 100% of the existing units.



ADDRESS	BEDROOM TYPE
4055 W Oakwood Ave	2 Bedroom
4055 1/4 W Oakwood Ave	2 Bedroom
4055 1/2 W Oakwood Ave	2 Bedroom
4055 3/4 W Oakwood Ave	2 Bedroom
4057 W Oakwood Ave	2 Bedroom
4057 1/2 W Oakwood Ave	2 Bedroom
4059 W Oakwood Ave	1 Bedroom
4059 1/4 W Oakwood Ave	1 Bedroom
4059 1/2 W Oakwood Ave	1 Bedroom
4059 3/4 W Oakwood Ave	1 Bedroom
4061 W Oakwood Ave	2 Bedroom
4061 1/4 W Oakwood Ave	Studio
4061 1/2 W Oakwood Ave	1 Bedroom
4061 3/4 W Oakwood Ave	1 Bedroom
4063 W Oakwood Ave	2 Bedroom
4063 1/4 W Oakwood Ave	2 Bedroom
4063 3/4 W Oakwood Ave	1 Bedroom
4065 W Oakwood Ave	2 Bedroom
4065 1/4 W Oakwood Ave	2 Bedroom
4065 3/4 W Oakwood Ave	1 Bedroom

No income documents were provided for these unit(s). Pursuant to AB 2556, where incomes of existing or former tenants are unknown, the required percentage of affordability is determined by the percentage of extremely very low and low income rents in the jurisdiction as shown in the HUD Comprehensive Housing Affordability Strategy (CHAS) database. At present, the CHAS database shows 50% Very Low (below 51% Area Median Income [AMI]) and 18% Low (51% to 80% [AMI]) renter households for Los Angeles (for a total of 68%). The balance of these unit(s) (i.e. 32%) are presumed to have been occupied by persons and families above-lower income.

**Number of Existing RSO Units within five (5) years of Owner's application = 20**  
**Number of Affordable Replacement Units required per CHAS: 14 (see table)**

20 Units x 68%	14 Units
50% Very Low	10 Units
18% Low	4 Units

Market Rate RSO Units	6 Units
-----------------------	---------

**Number of Unit(s) presumed to be above-lower income subject to replacement = 6**

**For Rental:**

Pursuant to CHAS, fourteen (14) unit(s) need to be replaced with equivalent type, with ten (10) units restricted to Very Low Income Households and four (4) units to Low Income Households. For the six (6) remaining units presumed to have been occupied by an above-lower income person or household, as permitted by California Government Code §65915(c)(3)(C)(ii), the City has opted to require that those unit(s) be replaced in compliance with the City's Rent Stabilization Ordinance (RSO).



Please note that all the new units may be subject to RSO requirements unless an RSO Exemption is filed and approved by the RSO Section. This determination is provisional and subject to verification by the RSO Section.

This AB 2556 determination only applies if the proposed project is a rental DB project and NOT condominiums. In the event the project changes to condominiums, the owner needs to request an AB 2556 amendment to reflect 100% replacement of the units. In addition, if the project is changed from DB to Transit Oriented Communities (TOC) or vice-versa, an AB 2556 amendment will also be required.

**NOTE: This determination is provisional and subject to verification by HCIDLA's Rent Division.**

**\*\*WARNING\*\***

**LOT TIES AND EXISTING PRE-1978 SINGLE FAMILY DWELLINGS ON ONE LOT**

<b>ISSUE:</b>	Is a <b>LOT TIE</b> required for the <b>NEW</b> project?
<b>IF NO:</b>	Owner's existing Rent Stabilization (RSO) replacement obligation, if any, remains the <b>SAME</b> as above.
<b>IF YES:</b>	Owner's existing RSO replacement obligation, if any, will <b>INCREASE</b> by one and the new project will also be subject to the RSO, unless the existing single family dwelling is demolished before the lots are tied.

cc: Los Angeles Housing and Community Investment Department File  
Oakwood Properties, LLC, a California limited liability company, Owner  
Ulises Gonzalez, Case Management Section, City Planning Department

MAC:jm