

Ventura Boulevard

Los Angeles, California



Historical Resource Technical Report

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CONSULTING

G P A

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EXECUTIVE SUMMARY

The purpose of this report is to determine if a proposed project (the Project) in the Encino-Tarzana Community Plan Area of the City of Los Angeles would impact any historical resources subject to the California Environmental Quality Act (CEQA). The Project involves seven parcels located at the south end of the block bounded by W. Otsego Street on the north, N. Genesta Avenue on the east, W. Ventura Boulevard on the south, and N. Amestoy Avenue on the west. The Project site is composed of two buildings located on W. Ventura Boulevard and four undeveloped parcels currently used as a surface parking lot. The two buildings are located at 17017 W. Ventura Boulevard, which is associated with Assessor Parcel Number (APN) 2258-013-020, and 17027-17031 W. Ventura Boulevard, which is associated with APNs 2258-013-021 and 2258-013-022. The four undeveloped parcels, which are separated from the two buildings by an alley, are located at APNs 2258-014-001, 2258-015-014, 2258-015-015, and 2258-015-016. The Project involves demolishing the two buildings and surface parking lot and constructing a new three-story building on W. Ventura Boulevard and a new five-story building to the north of the alley. One parcel, APN 2258-014-001, will remain a surface parking lot.

GPA Consulting (GPA) was retained to identify historical resources on and in the vicinity of the Project site, to assess any potential impacts the Project may have on identified historical resources, and to recommend mitigation measures as appropriate. As the Project would involve new construction, GPA established a study area to account for potential impacts on historical resources identified in the vicinity. The study area includes the Project site as well as parcels or portions of parcels to the north, south, east, and west within approximately 100 feet of the Project site. There are three historical resources in the study area: Home Savings and Loan, 17001 W. Ventura Boulevard, and 17013 W. Ventura Boulevard. The Home Savings and Loan building was identified as eligible for state and local landmark designation through SurveyLA. 17001 and 17013 W. Ventura Boulevard were identified as eligible for national, state, and local landmark designation through SurveyLA.

The properties at 17017 and 17027-17031 W. Ventura Boulevard are not currently listed under national, state, or local landmark or historic district programs and are not included as significant in any historic resource surveys of the area, including SurveyLA. Given the fact that the buildings are over 45 years of age, GPA evaluated the properties' eligibility for national, state, and local landmark and historic district designation. After careful inspection, investigation, and evaluation, GPA concluded that the two buildings are not eligible for listing in the National Register of Historic Places and/or California Register of Historical Resources and are not eligible for designation as a Los Angeles Historic-Cultural Monument due to a lack of integrity.

The threshold for determining significant impacts on historical resources in the State CEQA Guidelines is whether the proposed project would cause a substantial adverse change, which is defined as demolition, destruction, relocation, or alteration of the resource or its immediate vicinity such that the historical resource is materially impaired. As the existing buildings on the Project site that would be removed do not meet the definition of a historical resource according to CEQA, the Project would have no direct impacts on historical resources.

The indirect impacts from the Project were also analyzed. It was concluded that the indirect impact would be less than significant. The new buildings would introduce new visual elements to the immediate surroundings of the historical resources; however, the Project would not result in a substantial adverse change to the integrity of these historical resources to the degree that they



would no longer be eligible for listing as historical resources defined by CEQA. The historical resources would not be materially impaired by the Project. No mitigation is required or recommended.

1. INTRODUCTION

1.1 Purpose of Report

The purpose of this report is to determine if a proposed project (the Project) in the Encino-Tarzana Community Plan Area of the City of Los Angeles would impact any historical resources subject to the California Environmental Quality Act (CEQA). GPA Consulting (GPA) was retained to identify historical resources on and in the vicinity of the Project site, to assess any potential impacts the Project may have on the identified historical resources, and to recommend mitigation measures, as warranted, for compliance with CEQA.

The Project involves seven parcels located at the south end of the block bounded by W. Otsego Street on the north, N. Genesta Avenue on the east, W. Ventura Boulevard on the south, and N. Amestoy Avenue on the west (see **Figure 1**). The Project site is composed of two buildings located on W. Ventura Boulevard and four undeveloped parcels currently used as a surface parking lot. The two buildings are located at 17017 W. Ventura Boulevard, which is associated with Assessor Parcel Number (APN) 2258-013-020, and 17027-17031 W. Ventura Boulevard, which is associated with APNs 2258-013-021 and 2258-013-022. The four undeveloped parcels, which are separated from the two buildings by an alley, are located at APNs 2258-014-001, 2258-015-014, 2258-015-015, and 2258-015-016. The Project would involve demolishing the two buildings and surface parking lot and constructing a new three-story building on W. Ventura Boulevard and a new five-story building to the north of the alley. One parcel, APN 2258-014-001, would remain a surface parking lot.



Figure 1: Location of Project site

Study Area 1.3 Methodology

In preparing this report, GPA performed the following tasks:

1. Requested a records search from the South Central Coastal Information Center to determine whether or not the Project site contains any properties that are currently listed as landmarks or parts of historic districts under national, state, or local programs and whether or not any properties have been previously identified or evaluated as historical resources. This involved a review of the California Historical Resources Inventory System (CHRIS), which includes data on properties listed and determined eligible for listing in the National Register of Historic Places (National Register), listed and determined eligible for listing in the California Register of Historical Resources (California Register), California Registered Historical Landmarks, Points of Historical Interest, as well as properties that have been evaluated in historic resources surveys and other planning activities. This research revealed that there are no previously recorded properties on the Project site included in CHRIS.
2. Consulted the Los Angeles Historic Resources Inventory website, HistoricPlacesLA.org, to determine if any properties on the Project site or within the study area are designated Los Angeles Historic-Cultural Monuments (HCM) or within a designated Historic Preservation Overlay Zone (HPOZ). This research revealed that there are no HCMs or HPOZs located within the study area.
3. Consulted the findings of SurveyLA, the citywide historic resources survey of Los Angeles, to determine if any properties on the Project site or within the study area were identified as potential historical resources. Three properties were identified in the vicinity of the Project site. A description of the historical resources within the study area can be found in Section 3.2. The SurveyLA Historic Resources Inventory Forms can be found in Appendix A.
4. Determined that the existing buildings on the Project site should be evaluated as potential historical resources. Notwithstanding the fact that they were not identified by SurveyLA, the buildings are over 45 years of age. An evaluation of the existing buildings on the Project site can be found in Section 5. California Department of Parks and Recreation (DPR) 253 forms for the evaluation can be found in Appendix B.
5. Assessed the physical integrity of the buildings on the Project site during the field inspection. Digital photographs of the buildings' exteriors were also taken.
6. Conducted research into the history of the Project site and buildings thereon. Dates of construction and subsequent alterations were determined by the building permit record as well as additional sources, such as the Los Angeles County Office of the Assessor records, newspaper articles, and historic maps.
7. Consulted the Context/Theme/Property Type (CTP) eligibility standards formulated for the *Los Angeles Citywide Historic Context Statement* to identify the appropriate CTPs under which to evaluate the properties at 17017 and 17027-17031 W. Ventura Boulevard.
8. Reviewed and analyzed ordinances, statutes, regulations, bulletins, and technical materials relating to federal, state, and local historic preservation designations, and

assessment processes and programs to evaluate the significance and integrity of the building on the Project site as a potential historical resource.

9. Reviewed and analyzed the conceptual plans and related documents to determine if the Project would have an indirect impact on the identified historical resources as defined by CEQA. The Entitlement Submittal is attached in Appendix C.

1.4 Qualifications of Preparer

Emily Rinaldi was responsible for the preparation of this report. She fulfills the qualifications for a historic preservation professional outlined in Title 36 of the Code of Federal Regulations, Part 61. Her résumé is attached in Appendix D.

2. REGULATORY FRAMEWORK

Generally, a lead agency must consider a property a historical resource under CEQA if it is eligible for listing in the California Register. The California Register is modeled after the National Register. Furthermore, a property is presumed to be historically significant if it is listed in a local register of historical resources or has been identified as historically significant in a historic resources survey (provided certain criteria and requirements are satisfied) unless a preponderance of evidence demonstrates that the property is not historically or culturally significant.¹ The National Register, California Register, and local designation programs are discussed below.

2.1 National Register of Historic Places

The National Register is "an authoritative guide to be used by federal, state, and local governments, private groups, and citizens to identify the nation's cultural resources and to indicate what properties should be considered for protection from destruction or impairment."²

Criteria

To be eligible for listing in the National Register, a property must be at least 50 years of age (unless the property is of "exceptional importance") and possess significance in American history and culture, architecture, or archaeology. A property of potential significance must meet one or more of the following four established criteria:³

- A. Associated with events that have made a significant contribution to the broad patterns of our history; or
- B. Associated with the lives of persons significant in our past; or
- C. Embody the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D. Yield, or may be likely to yield, information important in prehistory or history.

¹ Public Resources Code Section 5024.1 and 14 California Code of Regulations Section 4850 & Section 15064.5(a)(2).

² Title 36 Code of Federal Regulations Part 60.2.

³ Title 36 Code of Federal Regulations Part 60.4.



Context

To be eligible for listing in the National Register, a property must be significant within a historic context. National Register Bulletin #15 states that the significance of a historic property can be judged only when it is evaluated within its historic context. Historic contexts are "those patterns, themes, or trends in history by which a specific...property or site is understood and its meaning...is made clear."⁴ A property must represent an important aspect of the area's history or prehistory and possess the requisite integrity to qualify for the National Register.

Integrity

In addition to possessing significance within a historic context, to be eligible for listing in the National Register a property must have integrity. Integrity is defined in National Register Bulletin #15 as "the ability of a property to convey its significance."⁵ Within the concept of integrity, the National Register recognizes the following seven aspects or qualities that in various combinations define integrity: feeling, association, workmanship, location, design, setting, and materials. Integrity is based on significance: why, where, and when a property is important. Thus, the significance of the property must be fully established before the integrity is analyzed.

Criteria Consideration G

Certain types of properties are not usually eligible for listing in the National Register. These properties include buildings and sites that have achieved significance within the past 50 years. Fifty years is a general estimate of the time needed to develop historical perspective and to evaluate significance. In addition to being significant under one of the four criteria listed above, these properties must meet a special requirement called a criteria consideration in order to be eligible for listing in the National Register. There are seven criteria considerations. Criteria Consideration G states "a property achieving significance within the last 50 years is eligible if it is of exceptional importance."⁶ This criteria consideration guards against the listing of properties of fleeting contemporary interest.

2.2 California Register of Historical Resources

In 1992, Governor Wilson signed Assembly Bill 2881 into law establishing the California Register. The California Register is an authoritative guide used by state and local agencies, private groups, and citizens to identify historical resources and to indicate what properties are to be protected, to the extent prudent and feasible, from substantial adverse impacts.⁷

The California Register consists of properties that are listed automatically as well as those that must be nominated through an application and public hearing process. The California Register automatically includes the following:

- California properties listed in the National Register and those formally Determined Eligible for the National Register;

⁴ *National Register Bulletin #15: How to Apply the National Register Criteria for Evaluation* (Washington D.C.: National Park Service, Department of the Interior, 1997), 7-8.

⁵ *National Register Bulletin #15*, 44-45.

⁶ *Ibid*, 41.

⁷ Public Resources Code Section 5024.1 (a).



- State Historical Landmarks from No. 0770 onward; and
- Those California Points of Historical Interest that have been evaluated by the State Office of Historic Preservation (SOHP) and have been recommended to the State Historical Resources Commission for inclusion on the California Register.⁸

Criteria and Integrity

For those properties not automatically listed, the criteria for eligibility of listing in the California Register are based upon National Register criteria, but are identified as 1-4 instead of A-D. To be eligible for listing in the California Register, a property generally must be at least 50 years of age and must possess significance at the local, state, or national level, under one or more of the following four criteria:

1. It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States; or
2. It is associated with the lives of persons important to local, California, or national history; or
3. It embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values; or
4. It has yielded, or has the potential to yield, information important in the prehistory or history of the local area, California, or the nation.

Properties eligible for listing in the California Register may include buildings, sites, structures, objects, and historic districts. It is possible that properties may not retain sufficient integrity to meet the criteria for listing in the National Register, but they may still be eligible for listing in the California Register. An altered property may still have sufficient integrity for the California Register if it maintains the potential to yield significant scientific or historical information or specific data.⁹

SOHP Survey Methodology

The evaluation instructions and classification system prescribed by the SOHP for recording historical resources provide a Status Code for use in classifying potential historical resources. In 2003, the Status Codes were revised to address the California Register. These Status Codes are used statewide in the preparation of historical resource surveys and evaluation reports. The first code is a number that indicates the general category of evaluation. The second code is a letter that indicates whether the property is separately eligible (S), eligible as part of a district (D), or both (B). There is sometimes a third code that describes some of the circumstances or conditions of the evaluation. The general evaluation categories are as follows:

1. Listed in the National Register or the California Register.
2. Determined eligible for listing in the National Register or the California Register.
3. Appears eligible for listing in the National Register or the California Register through survey evaluation.

⁸ Public Resources Code Section 5024.1 (d).

⁹ Title 14 California Code of Regulations Section 4852 (c).

4. Appears eligible for listing in the National Register or the California Register through other evaluation.
5. Recognized as historically significant by local government.
6. Not eligible for listing or designation as specified.
7. Not evaluated or needs re-evaluation.

The specific Status Codes referred to in this report are as follows:

- | | |
|------------|--|
| 3S | Appears eligible for the National Register as an individual property through survey evaluation. |
| 3CS | Appears eligible for the California Register as an individual property through survey evaluation. |
| 5S3 | Appears to be individually eligible for local listing or designation through survey evaluation. |
| 6Z | Found ineligible for the National Register, California Register, or local designation through survey evaluation. |

2.3 Los Angeles Cultural Heritage Ordinance

The Los Angeles City Council adopted the Cultural Heritage Ordinance in 1962 and amended it in 2018 (Sections 22.171 et seq. of the Administrative Code). The Ordinance created a Cultural Heritage Commission and criteria for designating Historic-Cultural Monuments (HCM). The Commission is comprised of five citizens, appointed by the Mayor, who have exhibited knowledge of Los Angeles history, culture and architecture. A monument is any site, building, or structure of particular historic or cultural significance to the City of Los Angeles and may be designated if it meets at least one of the following criteria:

- The proposed HCM is identified with important events of national, state, or local history, or exemplifies significant contributions to the broad cultural, economic or social history of the nation, state, city or community or community; or
- The proposed HCM is associated with the lives of historic personages important to national, state, city, or local history;
- The proposed HCM embodies the distinctive characteristics of a style, type, period, or method of construction; or represents; or represents a notable work of a master, designer, builder, or architect whose individual genius influenced his or her age.¹⁰

Unlike the National and California Registers, the Ordinance makes no mention of concepts such as physical integrity or period of significance. Moreover, properties do not have to reach a minimum age requirement, such as 50 years, to be designated as HCMs.

¹⁰ Los Angeles Administrative Code Section 22.171.7.

3. ENVIRONMENTAL SETTING

3.1 Description and History of the Study Area¹¹

The study area includes adjacent parcels or portions of parcels to the north, south, east, and west within approximately 100 feet of the Project site (see **Figure 3**). The surrounding streets are W. Ventura Boulevard, N. Genesta Avenue, and N. Amestoy Avenue. W. Ventura Boulevard is a major four-lane thoroughfare with two-way traffic traveling east-west and a center turning lane. N. Genesta Avenue and N. Amestoy Avenue are both two-lane thoroughfares with two-way traffic traveling north-south. The surrounding buildings are generally low-to-mid-rise residential and commercial buildings constructed between the 1940s and 2000s (see **Figures 4** and **5**). Other parcels or portions of parcels remain undeveloped and are currently being used as surface parking lots.



Figure 2: W. Ventura Boulevard, looking northwest toward the Project site (GPA, 2019)

The properties that comprise the study area were annexed into the City of Los Angeles in 1915. However, despite their annexation, the San Fernando Valley and what later became Encino remained sparsely populated and predominantly agricultural throughout the early twentieth century. The San Fernando Valley had few maintained roads, although Ventura Boulevard has operated as a major thoroughfare since the late eighteenth century and continues to serve as the dominant commercial artery of the south San Fernando Valley. The 1920s saw major road improvements, including work on the Cahuenga Pass and Sepulveda Tunnel, which provided vehicular access between the San Fernando Valley and West Los Angeles, as well as the paving of Ventura Boulevard. This improved vehicular access spurred residential development, primarily in the southeast San Fernando Valley.

The eastern community of Encino generally remained rural throughout the 1920s due to its relatively remote location. Unlike the majority of Encino however, the study area was first subdivided in 1922 as part of a residential development called Encino Acres. This subdivision was

¹¹ Adapted from Architectural Resources Group, Inc., "Historic Resources Survey Report: Encino-Tarzana Community Plan Area," *SurveyLA Los Angeles Historic Resources Survey* (City of Los Angeles Office of Historic Resources, February 26, 2013), 8-12.

located to the north of W. Ventura Boulevard between N. Balboa and White Oak Avenues and featured lots that ranged in size between 2 and 20 acres. Properties were used for country estates, hobby ranching, and farming, including the cultivation of lemons, oranges, and walnuts. The residences and some ancillary buildings from these properties remain in the center of these blocks that were later carved up into smaller lots, forming a distinctive pattern of parcels in the Encino Acres subdivision.

The demand for housing following World War II was central to the development of Encino. In the five years between 1945 and 1950, the population of the San Fernando Valley doubled to just over 400,000. The postwar boom brought tremendous change to the character of the community. Large residential subdivisions cropped up on both sides of Ventura Boulevard and, as the demand grew, land value skyrocketed. Fragmented urban development encroached on orchards and ranches. As a result, farmers could no longer make enough profit to cover rising property taxes and most were forced to downsize or sell. The opening of the 101 and 405 Freeways in the early 1960s further bolstered suburban growth, connecting Encino to many of the downtown and Westside business districts in Los Angeles. Much of Encino's existing residential and commercial development dates from its postwar development boom during the 1950s and 1960s.



Figure 3: W. Ventura Boulevard, looking northeast toward the Project site (GPA, 2019)

3.2 Historical Resources in the Study Area

There are three potential historical resources located in the study area (see **Figure 4**). Potential historical resources are defined as properties that have been identified as eligible in historic resources surveys completed within the last five years, such as SurveyLA. For the purposes of CEQA review, individual properties identified as eligible for national, state, or local landmark designation through SurveyLA are presumed to be historical resources.¹²

¹² State CEQA Guidelines §15064.5.



Figure 4: Location of historical resources in the study area

The historical resources in the study area are pictured and described below. See Section 2.2 for the definitions of the Status Codes associated with each historical resource. The SurveyLA Historic Resources Inventory Forms can be found in Appendix A.



1. Home Savings and Loan (3CS, 5S3)

The Home Savings and Loan is located to the west of the Project site at 17107 W. Ventura Boulevard. It was identified by SurveyLA as appearing eligible for listing in the California Register and for local designation as an excellent example of a post-World War II Savings and Loan building in Encino. It was also identified for its high artistic value, featuring mosaics designed by Millard Sheets, cast stone grilles by Tony Sheets (son to Millard Sheets) and sculpture by Betty Davenport Ford, all notable artists of their time.

SurveyLA notes that the building was completed in 1976, and therefore, does not appear eligible for the National Register because it is not yet 50 years of age or of exceptional importance. Research indicates that the eastern portion of the building was actually completed in 1959 according to designs by artist Millard Sheets, and an addition was later constructed to the west of the original 1959 building in the 1970s.¹³

2. 17013 W. Ventura Boulevard (5S3)

17013 is located immediately to the east of the Project site, adjacent to the east elevation of 17017 W. Ventura Boulevard. The two-story commercial building was designed in the Tudor Revival style and completed in 1946. It was identified by SurveyLA as appearing eligible for local designation for its association with an early period of commercial development, in the immediate post-World War II period, in Encino.



3. 17001 W. Ventura Boulevard (3S, 3CS, 5S3)

17001 W. Ventura Boulevard is located to the east of the Project site, immediately adjacent to the east elevation of 17013 W. Ventura Boulevard. The two-story commercial building was designed in the Tudor Revival style and completed in 1946. It was identified by SurveyLA as appearing eligible for listing in the National Register and California Register and for local designation for its association with an early period of commercial development, in the immediate post-World War II period, in Encino. It was also identified as an excellent example of a late Tudor Revival-style commercial building.



3.3 Description and History of the Project Site

The Project site is comprised of seven parcels located at the south end of the block bounded by W. Otsego Street on the north, N. Genesta Avenue on the east, W. Ventura Boulevard on the south, and N. Amestoy Avenue on the west. Two commercial buildings occupy the Project site: 17017 W. Ventura Boulevard and 17027-17031 W. Ventura Boulevard (see **Figure 6**). Both are sited along W. Ventura Boulevard, abutting the sidewalk. The remaining four parcels are separated

¹³ "Chase Bank, Encino," Los Angeles Conservancy, accessed March 13, 2019, <https://www.laconservancy.org/locations/chase-bank-encino>.

from the two buildings by a narrow alley that bisects the Project site in an east-west direction. These parcels are currently being used as a surface parking lot.



Figure 5: Location of buildings on the Project site

Except for a small building near the corner of W. Ventura Boulevard and N. Amestoy Avenue that appears to now be demolished, the Project site and the adjacent parcels within the study area appear to have remained undeveloped until after World War II (see **Figure 6**). The first known building to be developed on the Project site was 17017 W. Ventura Boulevard in 1946. It was constructed simultaneously with the neighboring buildings to the east, 17001 and 17013 W. Ventura Boulevard, both of which are located within the boundary of the study area (see **Figure 7**). 17027-17031 W. Ventura Boulevard was the second building constructed on the Project site in 1953. By 1956, the northwest portion of the Project site to the north of the alley was being used as a surface parking lot. The addition to 17027-17031 W. Ventura Boulevard was subsequently constructed in 1957-1958 (see **Figure 8**). By 1960, all four parcels to the north of the alley were used for surface parking (see **Figure 9**).



Figure 6: 1940 aerial photograph with Project site in blue (UCSB)



Figure 7: 1952 aerial photograph with Project site in blue (UCSB)



Figure 8: 1960 aerial photograph (UCSB)



Figure 9: 1976 aerial photograph (UCSB)

17017 W. Ventura Boulevard



Figure 10: 17017 W. Ventura Boulevard, looking northwest (GPA, 2019)



Figure 11: 17017 W. Ventura Boulevard, looking south (GPA, 2019)

Architectural Description

17017 W. Ventura Boulevard was constructed in 1946 as a commercial building with at least two storefronts (see **Figure 10** and **Figure 11**).¹⁴ It was originally designed by the architecture firm Spencer & Landon for owner M. F. (Frank) Flowers. The building is irregular in plan and one story in height. The eastern portion of the building directly abuts the sidewalk to the south and extends the length of the parcel, while the western portion is slightly setback from the sidewalk and extends to the center of the parcel. The roof is generally flat and surrounded by parapet, except for at the

¹⁴ Los Angeles Department of Building and Safety (LADBS), Building Permit No. LA58677, April 19, 1946.

street-facing or south elevation which features a steeply-pitched, asymmetrical gable roof covered in asphalt shingles. The western portion of the roof also has overhanging eaves with exposed rafter tails. The exterior is clad with stucco, except for the center of the north elevation, which is clad in wood siding. The main entrance is setback beneath the overhanging eave at the west end of the south elevation. It consists of fully-glazed, paired aluminum doors flanked by single-light sidelights. There is a secondary entrance located at the west end of the north elevation also setback beneath the overhanging eave. It consists of fully glazed, paired aluminum doors flanked by single-light sidelights, and is accessed via a short flight of concrete steps or accessibility ramp. The windows are all fixed single-light windows with aluminum frames, and are either single, paired, or within a row. The building is topped with a tall projecting roof sign.

Property History

17017 W. Ventura Boulevard was originally designed in the Late Tudor Revival style and had at least two commercial tenant space (see **Figure 12** and **Figure 13**). One of those tenant spaces was located in the western portion of the building and appears to have been originally accessed via an entrance on the west elevation facing what was then a surface parking lot. This entrance on the west elevation was later infilled in 1957, and the existing main entrance was added at the west end of the south elevation.¹⁵ In 1961, the two commercial tenant spaces appear to have been combined into one space.¹⁶ A rear porch addition that had been constructed in 1954 was later demolished in 1981, and the existing rear addition was constructed.¹⁷ New windows were added on the north elevation in 1983.¹⁸ The original windows on the south elevation were replaced in 1989.¹⁹ The building was seismically upgraded in 1994.²⁰ Earthquake damage to the roof trusses was repaired in 1995.²¹ An accessibility ramp was also constructed in 2001 to the south of the building.²²

As shown in a historic photograph from circa 1974, 17017 W. Ventura Boulevard retained many of its original features through at least the 1970s (see **Figure 17**). The building permit record does not note the exact date that the building's street-facing elevation was entirely remodeled, but it was likely sometime during the 1980s, possibly in 1989.²³ Since the 1970s, the building's Late Tudor Revival-style features were removed, its storefronts and entrances reconfigured, and its gable roof altered. Additionally, interior non-load bearing partitions, features, materials, and finishes have been removed and replaced since the building's construction in 1946.

One of the first known commercial occupants of 17017 W. Ventura Boulevard was Encino Market in 1950.²⁴ City directories between 1950 and 1980 list a grocery store as one of the tenants of 17017 W. Ventura Boulevard, although the name of the grocery store has changed from Encino Market

¹⁵ LADBS, Building Permit No. VN57430, July 22, 1957.

¹⁶ LADBS, Building Permit No. VN83983, July 18, 1961.

¹⁷ LADBS, Building Permit No. VN87260, November 3, 1954; and LADBS, Building Permit No. VN 23332, January 15, 1981.

¹⁸ LADBS, Building Permit No. LA75940, November 1, 1983.

¹⁹ LADBS, Building Permit No. VN03749, August 22, 1989.

²⁰ LADBS, Building Permit No. 97016-20000-16534, August 29, 1997.

²¹ LADBS, Building Permit No. VN71481, January 19, 1995.

²² LADBS, Building Permit No. 01016-20000-21384, November 5, 2001.

²³ LABDS, Building Permit No. 2510040017, August 22, 1989.

²⁴ Partner Engineering and Science, Inc., *Phase 1 Environmental Site Assessment Report*, January 29, 2015, 8.

in the early 1950s to Sale's Market in the late 1950s to Jursen's Grocery Store Co in the late 1970s.²⁵ Other commercial tenants of 17017 W. Ventura Boulevard include Melba Beauty Studios between 1950 and 1970 and Period Gifts in 1950.



Figure 12: 17001, 17013, and 17017 W. Ventura Boulevard in 1957 (LAPL)



Figure 13: 17017 W. Ventura Boulevard in circa 1957 (Images of America: San Fernando Valley)

17027-17031 W. Ventura Boulevard



Figure 14: 17027 (right) and 17031 W. Ventura Boulevard (left), looking north (GPA, 2019)

²⁵ Marc Wanamaker, *Images of America: San Fernando Valley*, Charleston: Arcadia Publishing, 2011, 67.



Figure 15: 17027 (left) and 17031 W. Ventura Boulevard (right), looking south (GPA, 2019)

Architectural Description

17027-17031 W. Ventura Boulevard was originally constructed in 1953 as a bank building on the parcel associated with the address 17031 W. Ventura Boulevard and APN 2258-013-022 (see **Figure 14** and **Figure 15**).²⁶ It was designed by architect John J. Landon for owner M. F. (Frank) Flowers. In 1957-1958, an addition was constructed to the east of the original building on the parcel associated with the address 17027 W. Ventura Boulevard and APN 2258-013-021.²⁷ It was also designed by architect Landon for owner Flowers. The 1953 building and 1958 addition are both two stories in height and rectangular in plan. The 1953 building extends further north than the 1958 addition. Both have flat roofs surrounded by concrete parapets. The exteriors are clad with brick veneer at the first story and stucco above. The main entrance is set back at the center of the 1953 building. It consists of two fully glazed, paired aluminum doors flanked by single-light sidelights.

There are five secondary entrances. To the east is an entrance to the ground-floor storefront on the 1958 addition. It consists of a single fully-glazed, aluminum door. Adjacent to the storefront entrance is a stair that extends to a second-floor balcony that is located on the east elevation of the 1958 addition. The stair has granite steps and a metal handrail. The entrance to the stair is covered by a metal security door. Along the second-floor balcony are two secondary entrances, each consisting of a fully glazed, single aluminum door. The remaining secondary entrances are located on the north elevations of the 1953 building and 1958 addition. Both consist of fully glazed, single aluminum doors within aluminum-and-glass storefront infill.

The street-facing (south) elevation of the 1953 building features a large rectangular window opening above the main entrance that is infilled with an aluminum-and-glass curtain wall. The windows at the ground-floor storefront are single-light fixed picture windows setback from the face of the 1958 addition. The remaining windows vary in size and are a mix of metal sliding sash, single-light fixed sash, and rows of single-light fixed window sash within wood frames. The 1953 building is topped with a projecting roof sign.

²⁶ LADBS, Building Permit No. LA19188, July 15, 1953.

²⁷ LADBS, Building Permit No. VN2708, November 22, 1957.

Property History

17027-17031 W. Ventura Boulevard has been altered over time. In 1961-1962, the roof was altered in order to support new air conditions units, and a new neon projecting roof sign added.²⁸ In 1973-1975, the building's original interior features related to its bank use were likely entirely removed when the building was converted into a health spa.²⁹ A pool was also added on the first floor and a mansard-type roof installed on the building's south elevation.³⁰ Interior non-load-bearing partitions were removed and new non-load-bearing partitions were constructed. The mansard-type roof was removed in 1987 and the building restuccoed and painted.³¹ It is possible that when the mansard-type roof was removed, the building's parapet was lowered as the existing parapet appears shorter than the parapet depicted in the circa 1974 historic photograph (see **Figure 17**). In 1994, the building's roofing materials were removed and replaced. A portion of the storefront on the building's south elevation was remodeled in 1997.³² Additionally, the original signage has been removed and new signage has been installed by various tenants over the years.

Other alterations noted during the field inspection include the replacement of the original main entrance doors, the replacement of the window sash on the secondary story of the south elevation of the 1953 building, and the removal of the original secondary-story window on the south elevation of the 1958 addition. The single large rectangular opening on the 1958 addition was infilled with a new row of window sashes. A first-story window on the north elevation of the 1958 addition that was originally located to the west of the rear entrance appears to have been removed and infilled. A new porch was constructed at the rear entrance on the north elevation of the 1953 building. The second-story window openings on the north elevation of the 1953 building also appear to have been resized.

17027-17031 W. Ventura Boulevard was originally constructed as the first location for the Bank of Encino (see **Figure 16**).³³ The Bank of Encino later expanded in 1955, opening a second branch in Granada Hills at 17815 Chatsworth Street and a third branch in Sherman Oaks at 14708 W. Ventura Boulevard.³⁴ In 1961, the Bank of Encino merged with the United California Bank.³⁵ All three locations of the Bank of Encino subsequently became branches of the United California Bank. The United California Bank occupied the 1953 building at 17027-17031 W. Ventura Boulevard until 1974 when the building was converted into a spa for the Holiday Health Club of California.³⁶ Other commercial tenants of 17027-17031 W. Ventura Boulevard include Northwestern Mutual Life Insurance, Encino Mortgage Corporation, and Grove Mortgage Co. in 1962, Mortgage Corporation and Westein Land Development in 1965, and Rush Associates in 1970.³⁷

²⁸ LADBS, Building Permit No. VN11814, July 6, 1962; and LADBS, Building Permit No. LA95298, August 15, 1962.

²⁹ LADBS, Building Permit No. VN97437, May 21, 1973.

³⁰ LADBS, Building Permit No. VN98803, June 18, 1973; and LADBS, Building Permit No. VN02879, September 28, 1973.

³¹ LADBS, Building Permit No. VN17672, February 24, 1987.

³² LADBS, Building Permit No. VN69116, December 13, 2019.

³³ "Ground Broken for New Bank," *Los Angeles Times*, July 26, 1953.

³⁴ "Bank of Encino Unit to open in February," *Los Angeles Times*, January 21, 1955; and "Bank of Encino Plans Third Branch," *Los Angeles Times*, November 3, 1955.

³⁵ "United California Bank of Encino Merger Approved," *Los Angeles Times*, June 23, 1961.

³⁶ LADBS, Certificate of Occupancy No. VN98804, January 31, 1974.

³⁷ Partner Engineering, 8.

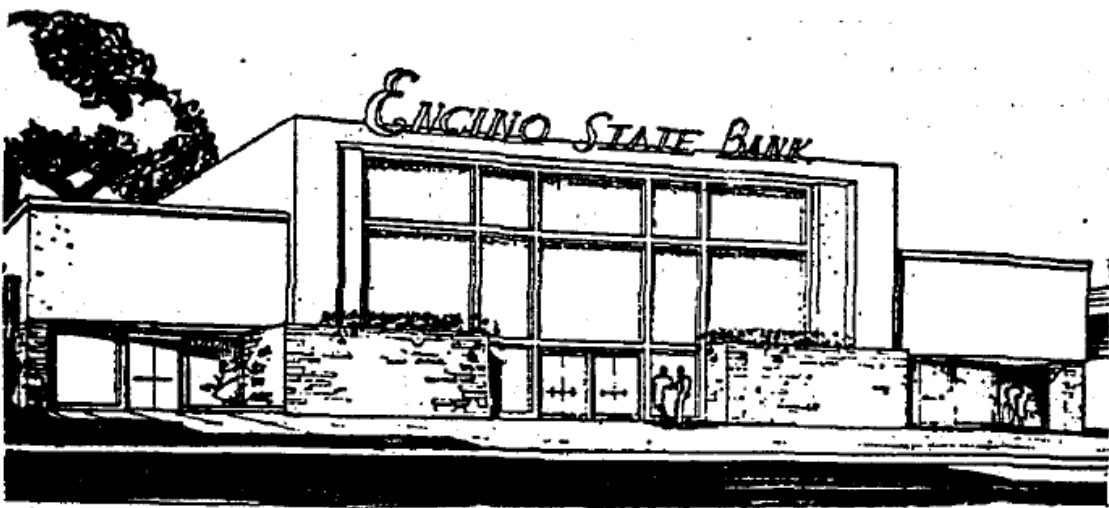


Figure 16: 1953 rendering of 17027-17031 W. Ventura Boulevard (Los Angeles Times). The two wings to the east and west of the building that are pictured in the rendering do not appear to have been constructed.



Figure 17: 17027-17031 W. Ventura Boulevard in circa 1974 (Images of America: San Fernando Valley)

4. HISTORIC CONTEXT

The significance of the properties at 17017 and 17027-17031 W. Ventura Boulevard must be evaluated within their historic context(s). Historic contexts are those patterns or trends in history by which a specific property is understood. The contexts, themes, and sub-themes discussed below were drawn from the *Los Angeles Citywide Historic Context Statement* (LACHCS) and are relevant in judging the significance of the existing buildings.

4.1 Arterial Commercial Development, 1880-1950³⁸

The most applicable sub-theme within the Commercial Development context for evaluating the property at 17017 W. Ventura Boulevard under Criterion A/1/1 is the Arterial Commercial Development sub-theme (see **Table 1**). The neighboring properties at 17001 and 17013 W. Ventura Boulevard, which were constructed simultaneously with 17017 W. Ventura Boulevard, were identified as eligible by SurveyLA for their association with the Early Neighborhood Commercial Development sub-theme. Because the Early Neighborhood Commercial Development sub-theme and eligibility standards were ultimately not developed as part of the Neighborhood Commercial Development theme, the most applicable sub-theme is therefore Arterial Commercial Development.

The Arterial Commercial Development sub-theme consists of resources located in a commercial corridor setting, along a transportation artery which is not served by a streetcar line. It includes individual buildings as well as historic districts. Their defining characteristic is their relationship to a mode of transportation – on foot, by wagon, or especially by automobile.

The period of significance begins in 1880, when neighborhoods began to spread out from the central city. It ends in 1950, by which time the neighborhood shopping center had begun to take its place as a setting for automobile-oriented local commerce.

Much of arterial commercial development is characterized by the same dense fabric of attached retail buildings, with storefronts directly on the sidewalk, which is typical of streetcar commercial development. At the same time, because it served non-streetcar modes of transportation, arterial development has more variety. Earlier resources can be stand-alone buildings in residential neighborhoods, serving pedestrian customers. Later resources can break from the pattern of attached buildings sitting directly on the street, and instead provide for parking.

Early examples are rare. One is a resource that dates from 1904 and is located at 6401 South Avalon Boulevard. At the time of construction, Avalon was known as South Park Avenue, and its streetcar line ended at Slauson, six blocks to the north. By 1923, once the line had been extended, this resource remained the only retail structure in the immediate area. It very much resembles streetcar-related neighborhood commercial architecture of the same period. It is a modest, single-bay mixed-use block in the form of a corner store, complete with diagonal entry. Most likely it originally contained an apartment for the proprietor on the second floor. The storefront has lost its original configuration, but the sidewall retains the characteristic high windows of the corner store.

³⁸ Excerpted from Daniel Prosser, "Commercial Development, Neighborhood Commercial Development, Arterial Commercial Development," *Los Angeles Citywide Historic Context Statement* (City of Los Angeles Office of Historic Resources, August 2017), 30-37.

A second early resource is on the southwest corner of Las Palmas and Fountain Avenues in Hollywood. It was built in 1912. Although only two blocks from the Highland Avenue streetcar line, it was separate from any sort of business district and, as late as 1919, was completely surrounded by homes. Its form, with a gabled roof, is essentially residential. After 1920, widespread automobile ownership allowed for a great deal of arterial commercial development. Most resembled the streetcar-based arrangement of attached storefronts and business blocks set against the sidewalk. Most also used the same commercial vernacular architecture.

There was, however, some arterial commercial development that differed in the sense of being more adventurous in massing and more elaborate in detailing. Much of this development occurred on the boulevards which served well-off neighborhoods. Here the market justified a greater investment in architectural design, even if it meant a higher initial cost.

While most arterial commercial development followed the dense street wall arrangement common along business corridors, some took advantage of the freedom allowed by the car and explored different site plans. These experiments occurred primarily in newer and better off areas, where larger tracts of land were available and common access to a passenger car was assumed. This allowed for the building to detach itself from its neighbors and provide a bit a space for the automobile.

Arterial commercial development as an architectural form for the most part ended with the Depression of the 1930s. Once construction resumed after the Second World War, patterns of neighborhood commercial construction took different forms, such as the free-standing single-purpose retail structure and the shopping center.

At the same time, there were a few developers after 1930 who believed that the traditional pattern of attached storefronts flush with the street was still applicable and that off-street parking was necessary only for supermarkets. A late example of arterial commercial development is the block along Lankershim Boulevard from Tujunga Avenue to Collins Street in North Hollywood (identified as the Lankershim Commercial Corridor Historic District for SurveyLA). The storefronts, built between the late 1930s and the early 1950s and in the styles prevalent in those years, maintain a relationship to the street and to each other that is the same as that found much older neighborhoods.

Table 1: Arterial Commercial Development	
Context: Commercial Development, 1850-1980	
Theme: Neighborhood Commercial Development	
Sub-Theme: Arterial Development, 1880-1950	
Eligibility Standards	
<ul style="list-style-type: none"> • Was constructed/developed during the period of significance • Located on streets served by modes of transportation other than streetcars, in particular by automobiles 	
Character-Defining/Associative Features	
<ul style="list-style-type: none"> • Retains most of the essential character defining features from the period of significance • May also be significant under themes within the Architecture and Engineering context • Sited along corridors of transit without streetcar lines • Sited on a constricted urban lot, close to railroad depots and/or public transportation and surrounded by similar hotels and other low-cost facilities such as bars and restaurants • Contains features that reflect trends in neighborhood commercial design • Associated with activities typical of neighborhood economic and social life • Examples may be set to the sidewalk or may have some accommodation for the automobile 	

Table 1: Arterial Commercial Development

<ul style="list-style-type: none"> • May accommodate one or multiple tenants
<ul style="list-style-type: none"> • Typically one to four stories in height
<ul style="list-style-type: none"> • May be located on a prominent corner
<ul style="list-style-type: none"> • Storefronts with large display windows; may have awnings or arcades
<ul style="list-style-type: none"> • For Multi-story, Mixed-Use Buildings: <ul style="list-style-type: none"> ◦ Was historically used for both commercial and office/residential uses ◦ Ground floor with storefronts and display windows ◦ Ground floor exterior entrance to upper floor units ◦ Fenestration on upper floor may be residential in character and remains intact
Integrity Considerations: Individual Resources
<ul style="list-style-type: none"> • Should retain integrity of Location, Design, Materials, Feeling, and Association
<ul style="list-style-type: none"> • Window and storefront openings remain intact
<ul style="list-style-type: none"> • Applied decoration is mostly intact; some decoration may be missing
<ul style="list-style-type: none"> • Relationship to sidewalk is maintained
<ul style="list-style-type: none"> • Setting may have changed (surrounding buildings and land uses)
<ul style="list-style-type: none"> • Original use may have changed
<ul style="list-style-type: none"> • Storefront signage may have changed

4.2 Banks, 1900-1980³⁹

The most applicable sub-theme within the Commercial Development context for evaluating the property at 17027-17031 W. Ventura Boulevard under Criterion A/1/1 is the Banks sub-theme (see **Table 2**).

The bank sub-theme consists of buildings constructed to provide banking services in a neighborhood setting. It ranges from the pedestrian-oriented independently-owned corner banks of the early 1900s to the free-standing automobile-oriented suburban branch banks of the 1970s.

Included are individual purpose-built bank structures in neighborhoods. Not included are resources from Downtown Los Angeles, or from regional business districts such as Hollywood Boulevard or Wilshire Boulevard-Miracle Mile. Also not included are postwar mid-rise commercial structures that combined banking space on the ground floor and office space above. This type is covered in the Postwar Modernism theme and the Rise of Corporations and Corporate Types theme.

Also not included are banks located in buildings originally built for a different use. Although this context does not include non-purpose-built banks, these early examples of adaptive reuse for banks can be found eligible based on further analysis. category includes two designated resources. The first is the Crocker Bank (L.A. Historic-Cultural Monument No. 298), which was originally a clothing store. The second is the Westwood Branch of the Bank of American (L.A. Historic-Cultural Monument No. 364), which was originally the headquarters of the Janss Development Company.

Neighborhood banking in the early 1900s was different from what exists currently. Branch banks were rare. Even in states such as California, which allowed branch banking, the standard was the

³⁹ Excerpted from Daniel Prosser, "Commercial Development, Neighborhood Commercial Development, Banks," *Los Angeles Citywide Historic Context Statement* (City of Los Angeles Office of Historic Resources, August 2017), 68-78.

independently owned bank serving residents of the surrounding community. These banks were typically created by local merchants to provide for their needs.

Most early neighborhood banks simply occupied storefronts in business blocks that they themselves constructed as investments. A few, however, wished to make more of an architectural statement. It generally took the form of a separate building placed on a corner to allow for maximum visibility. The scale of the architectural elements was enlarged to emphasize the monumental nature of the bank and stress its importance as a neighborhood institution. Most important was the corner entry. It was typically placed on a diagonal and offered an opportunity for elaboration.

By the early 1920s two innovations changed the nature of neighborhood banking. The first was the extension of banking services, such as checking accounts and personal loans, to the general public. The second was the growing popularity of the branch bank.

Bank of America played a key role in both of these innovations. Founded in 1904 as the Bank of Italy in San Francisco by A. P. Giannini, Bank of America was a pioneer at both creating branches and extending banking services to the public. The first branch opened in San Jose, when it took control of a failed bank. By 1925 it had 98 offices in 65 cities. Almost all were existing small banks that had failed, rather than new outlets. The Bank of Italy was renamed the Bank of America in 1930.

By the end of the 1920s the neighborhood bank building had adopted a general form that resembled a small classical temple. It was well suited to the typical business district corner lot. The short façade fit the narrow frontage and the longer side elevation was aligned to the deeper dimension of the site. The entrance moved from the corner to the center of the narrow façade, and windows on the long side elevation provided natural light to the interior.

A standard floor plan also emerged, with a banking hall on axis with the entry. On one side were tellers' cages, and on the other were desks for loan officers. At the end of the axis, facing the entrance, was the vault with a symbolically monumental door. This layout was so successful that it continued into the postwar years, as the architecture evolved toward modernism.

The form, in its simplest, was a single-story pedimented temple. But variations were present, including two-story modes, that allowed for office space above, and regionalized forms that permitted sloped roofs and materials other than stone. By the late 1920s, a stripped Classicism, typical of PWA Moderne, had become common.

Construction of new neighborhood banks for the most part ceased during the Depression years of the 1930s. Instead, the number of commercial banks throughout the country decreased from 24,504 in June of 1929 to 14,440 by the end of 1933. But there were a number of changes, experimented with during the 1930s, that were to effect bank design once construction resumed after the Second World War. The bad reputation that banks had gained, correctly or not, as being responsible for collapse of the economy led bankers to cultivate an image of openness and customer friendliness, rather than monumentality and stability.

This new view could be seen in the interiors of those few banks that were remodeled in the late 1930s. Simpler forms and lighter colors replaced darker and heavier materials. Fluorescent lighting and, in some cases, air conditioning were introduced to make interiors brighter and more comfortable. Most important as a symbol was the abolition of the teller's cage, separated from

the customer by an elaborate metal grille. In its place were installed plate glass dividers, with some adventurous banks eliminating the barrier altogether.

This attitude was the new standard by the end of the Second World War. Banking Magazine in 1945 published articles with titles such as "Planning a Bank to Make Friends." This journal and others focused, as one historian has noted, on the need for "open, friendly, warm and unimposing" buildings with "no more columns, grilles and cages." Instead, banks should have large windows that "show satisfied customers comfortably conducting their banking in a colorful, well-lit modern interior." The result was what this same historian has called "fish bowl banks."

At least as important as apparent openness was the acceptance of the automobile. Parking had been provided for some branches in better-off neighborhoods, but it was not until the 1950s that a lot for customers' cars was seen as a requirement. Occasionally branches were placed in neighborhood shopping centers, either as a free-standing structure or as a unit of the center itself. Most symbolic was the drive-up window, also a requirement by the mid-1950s. It could be either attached to the main building or placed on an island in the center of the parking lot.

A Mid-Century Modern version of the temple form was the common architectural approach. An example is the Bank of Tokyo, at 3501 West Jefferson Boulevard in West Adams. It dates from 1955 and served south Crenshaw and Jefferson Park's Japanese-American community.

But there were variations. One was a Googie-like use of free forms, usually in reinforced concrete. A rare example is the one-time Great Western Savings Bank, at 8201 North Van Nuys Boulevard in Panorama City. It dates from 1957 and was designed by W. A. Sarmiento. It is located two blocks south of the original Panorama City neighborhood commercial district.

Another variation was to adapt a classicizing New Formalism. This approach worked well with the internal arrangement that still followed the temple form. It could be an updated version of the Classical Revival style. Or it could use the heavier forms of 1970s Brutalism. The point was to indicate, as one historian has noted, that banking was still "a serious business."

An example of a Brutalist version of the New Formalism is the Lytton Savings and Loan (now Chase), at 6630 North Randi Avenue in Canoga Park. It dates from 1965. A classically symmetrical arrangement is employed, but the elements have been rendered as heavy structural forms. Of note is the continued presence of the glass front.

An example of a lighter and more elegant simplified classicism is the Bank of America branch at 6551 North Van Nuys Boulevard in Van Nuys. It dates from 1967 and was designed by the historically significant African American architect Paul R. Williams. It is located north of the original streetcar-based Van Nuys business district. Of particular note is the exterior mosaic by Millard Sheets.

Millard Sheets was an important figure in the design and decoration of banks in the postwar period. He believed in the integration of architecture and surface ornament that was part of the Beaux Arts tradition. He trained as an artist and worked primarily in mosaics and stained glass. He also served as a designer and associated with architects to create a number of important buildings in the New Formalist style, including the Scottish Rite Masonic Temple on Wilshire Boulevard. Sheets was best known for his work with the Home Savings and Loan Association, for which he provided designs and decorations for over forty branches.

Table 2: Banks	
Context: Commercial Development, 1850-1980	
Theme: Neighborhood Commercial Development	
Sub-Theme: Banks, 1900-1980	
Eligibility Standards	
<ul style="list-style-type: none"> Was constructed during the period of significance Was historically designed and used as a bank building 	
Character-Defining/Associative Features	
<ul style="list-style-type: none"> Retains most of the essential character defining features from the period of significance Contains features that reflect trends in neighborhood commercial and bank design from its period of construction Of a style or mixture of styles typical of the 1900-1980 period <ul style="list-style-type: none"> May also be significant under themes within the Architecture and Engineering context Typically associated with noted architects/designers May reflect corporate designs associated with particular banking institutions Characterized by pedestrian-oriented position on the street in the pre-World War II period Characterized by auto-friendly site planning and facilities in the post-World War II period Features architectural and site-planning elements to emphasize their perceived importance Associated with activities typical of neighborhood economic and social life 	
Integrity Considerations: Individual Resources	
<ul style="list-style-type: none"> Should retain integrity of Design, Materials, Location, Feeling, and Association Should maintain if possible original relationship to the street and to neighboring structures Architectural integrity should be intact, retaining original massing, significant features, and identifying details <ul style="list-style-type: none"> Some original materials may have been altered, removed, or replaced, particularly in early examples Use may have changed Setting may have changed (surrounding buildings and land uses) 	

4.3 Commercial Merchants, Leaders, and Builders, 1850-1980

The most applicable theme within the Commercial Development context for persons associated with the properties is the Commercial Merchants, Leaders, and Buildings theme (see **Table 3**). There is no narrative historic context developed for this theme as part of SurveyLA or the LACHCS as of the date of this report.

Table 3: Commercial Merchants, Leaders, and Builders	
Context: Commercial Development, 1850-1980	
Theme: Commercial Merchants, Leaders, and Builders, 1850-1980	
Eligibility Standards	
<ul style="list-style-type: none"> Is associated with a person who made important individual contributions to commercial growth and development <ul style="list-style-type: none"> Individual must be proven to have made an important contribution to commercial development 	
Character-Defining/Associative Features	
<ul style="list-style-type: none"> Retains most of the essential physical features from the period of significance Directly associated with the productive life of the individual in the area of commercial development May be associated with individuals important in ethnic, cultural, LGBT, and/or women's' history For residential property types, the individual must have resided in the property during the period in which he/she achieved significance For the National Register, properties associated with individuals whose significant accomplishment date from the last 50 years must possess exceptional significance 	

Table 3: Commercial Merchants, Leaders, and Builders	
Context: Commercial Development, 1850-1980	
Theme: Commercial Merchants, Leaders, and Builders, 1850-1980	
Integrity Considerations	
	<ul style="list-style-type: none"> Should retain integrity of Feeling, Association, Location, and Design from its period of significance
	<ul style="list-style-type: none"> Some original materials may be altered or removed, particularly in cases where a property is not also evaluated for significance under Criterion C/3/3.
	<ul style="list-style-type: none"> Setting may have changed (surrounding buildings and land uses)

4.4 Postmodernism, 1965-1991⁴⁰

The most applicable theme within the Architecture and Engineering context for evaluating the property at 17017 W. Ventura Boulevard under Criterion C/3/3 would be the Postmodernism theme (see **Table 5**).

Postmodernism was an internationally significant architectural movement that consciously applied traits, approaches, and concepts unassociated with Orthodox Modernism to move twentieth century architecture away from it. A highly communicative architecture, Postmodernism employed irony, ornament, play, symbolism, and historic or vernacular references to contextualize buildings to their setting, location, or users.

Postmodernism often uses materials seen in a Postmodern building's immediate physical setting, even if these materials are extremely mundane and vernacular, or unorthodox to a given building type, such as applying corrugated metal to a house. In Southern California Postmodernism, particularly in a variant referred to as the "Santa Monica School," or "Los Angeles School" as it will be referred in this narrative, elevations often incorporate an assembled and artistic handling of radically eclectic, juxtaposed, and contrapuntal design elements, materials, ideas, and forms. In doing so, many Los Angeles Postmodern buildings referenced a highly eclectic and heterogeneous city and its built environment. According to architect Fredrick Fisher, "When you are six feet away from neighboring buildings on both sides which might have been built decades apart you can either ignore the context or enter into it through a dialogue of contradictory pieces."

Within Los Angeles, Postmodernism begins in 1965. By the late 1960s Los Angeles had become a global city of world renown with a massive economy and a busy port conducting trade with nations across the planet. During this period, Los Angeles was the global capital for the aerospace and high-tech industries, and innumerable materials of the local industry such as certain resins, plastics, vacuum coated glass, would find their way into a variety of new Los Angeles art and architecture: Postmodern, Late-Modern, or otherwise.

In Venice Beach, a well-documented and important art scene developed during this time where artists such as Larry Bell, Robert Irwin, Ed Moses, Billy Al Bengston, and others had studios. These artists fell into categories of "Light and Space," "Pop," or "Finish Fetish" – the latter inspired by hot rods and glossy surfboards to make artworks that likewise had a high gloss quality.

⁴⁰ Excerpted from Daniel Paul, ICF, "Architecture and Engineering, 1850-1980, Postmodernism, 1965-1991," *Los Angeles Citywide Historic Context Statement* (City of Los Angeles Office of Historic Resources, January 2018).

Additionally, Los Angeles junk and assemblage artists such as Ed Kienholz were already a presence, exhibiting at venues such as the Ferus Gallery at 736-A N. La Cienega Boulevard. Indeed, later Postmodernism will take on the assembled, eclectic quality of Ferus Gallery assemblage. Creative liberty inspired by the local art scene, not to mention some of their materials and motifs, all done within a set of codes latently defined by the local practitioners, appears to have been a substantial part of Los Angeles School Postmodernism.

Los Angeles through most of the 1960s and before was indeed an environment creatively and physically wide open, if not isolating. The city would not have its first full time architectural critic until 1969, when John Pastier joined the Los Angeles Times. Pastier's hiring was but one key change signaling a new consciousness relative to local architectural endeavors. Concurrent during the late 1960s, locally three new architecture schools were established, so that Los Angeles no longer had just one major school in the University of Southern California. The UCLA School of Architecture and Urban Planning was founded in 1964 by Henry Liu, with Tim Vreeland as its first MA degree program chair. Local architect Ray Kappe founded the California Polytechnic University (Cal Poly) Pomona School of Architecture in 1969, and in 1972 Kappe left Pomona for Santa Monica where he founded the New School of Architecture later known as the Southern California Institute of Architecture (SCI-Arc). Early on, the new schools shared design studios, further allowing for a shared discourse. The establishment of the three new schools expanded the local discourse, and through teaching positions also allowed practitioners a degree of financial stability to both pursue and share the more envelope-pushing avenues of their work. Many of these professors, including Craig Hodgetts, Thom Mayne, Michael Rotondi, and Eric Owen Moss, would go on to become primary figures of Los Angeles School Postmodernism. According to Hodgetts, "The Schools offered the architects a platform for their unique visions, a vision that was, in retrospect, intransigent, iconoclastic, and – shudder – doomed to be regional, but was, in fact, solidly grounded in a fresh appraisal of the unexplored material potential unfettered by European antecedents."

Though the local style may have been unfettered by Europe, Europe, and in particular Great Britain, became increasingly interested in Los Angeles. Concurrently to the advent of the above-mentioned new schools, this overseas interest begins in the late 1960s and grows stronger through the following decade. The cities newly emigrated Brits included UCLA professor Warren Chalk of "Archigram," a conceptually focused art and technology collective; Peter Cook and Ron Herron of Archigram, who followed Chalk to UCLA; the writer Derek Walker; and the London Architectural Association's Reyner Banham, whose 1971 book *Los Angeles: Architecture of Four Ecologies* was an early attempt, albeit boosterish and flip in certain parts, to nomenclate and understand the city's built environment.

Charles Jencks would study under Banham at London's Architectural Association and, in character, his writing often mirrors that of Banham. The new British interest in Southern California during this time fostered a substantially higher level and frequency of discussion about Los Angeles architecture in global publications, making 1970s Los Angeles an "it" city in the architectural world.

Outside of Los Angeles, the 1960s were, of course, a well-documented time of social change and upheaval. Following on the heels of John F. Kennedy's assassination, paralleling the advent of architectural Postmodernism, were the assassinations of Robert F. Kennedy and Martin Luther King Jr., the Vietnam War, and late 1960s student uprisings. None of these events reasserted Modernism's promises. In discussing the practice at his own office, Eric Owen Moss, Director of SCI-Arc from 2002 to 2015, stated the "Strongest and most enduring recollection that forecast the

office tone was hanging out on the Berkeley street corners in 1968; strikes and sit-ins and marches and Hendrix and Dylan and Joplin and Bobby and Vietnam, and realizing it was impossible for me to know where and with whom to sign-up, to join, and to march lock step." To Los Angeles architect Coy Howard, "Dylan started it."

A distinctly Los Angeles-born Postmodernism was codified beginning in the early 1970s in the flat areas on the city's Westside, particularly within the coastal area including the Los Angeles neighborhood of Venice and the city of Santa Monica, the then-gritty area where these two areas conjoined that has commonly been called "Dogtown." Articles in various architectural journals referred to this group of Postmodernists as the "Los Angeles School" or occasionally the "Santa Monica School" – the monikers are used interchangeably. Regardless, as previously mentioned, it should be noted that in quantifying this group of architects, most of them seem to truly loathe identifying with any group whatsoever.

Documented in architectural press across the Western world, Los Angeles School Postmodernism is an internationally significant Postmodernism subtype. The pre-1980 examples of these highly visual designs often possess an eclectic, unanticipated, and ephemeral mix of forms, details, materials, implied perspectives, and references. Unlike other Postmodern expressions, Los Angeles School Postmodernism does not reference the past, classical or otherwise. Rather, its mix of features communicated specific, then-present condition of decenteredness, art, pluralism, and heterogeneity in Los Angeles, and its neighborhoods where this work is made. Los Angeles School Postmodernism will inform the aesthetics of Deconstructivism – a later architectural design system of international significance. Pre-1980 examples of Postmodernism in Los Angeles are primarily residential architecture, commercial architecture, small building additions, and all-over renovations of existing buildings.

Table 4: Postmodernism	
Context: Architecture and Engineering, 19850-1980	
Theme: Period Revival, 1965-1991	
Eligibility Standards	
<ul style="list-style-type: none"> Was constructed during the period of significance Is an excellent example of the Postmodern architectural style Exhibits quality of design through distinctive features 	
Character-Defining/Associative Features	
<ul style="list-style-type: none"> Retains most of the essential character defining features from the period of significance May have dramatic rooflines, including shed-like or mono-pitch Selectively references earlier era vernacular or classical design features, but not as a revival style Typically incorporates an unorthodox use of industrial material such as cinder block, asphalt, corrugated metal, or chain link fencing Displays eclectic, starkly contrasting, or colliding materials, colors, graphic patterning, or massing, and sculptural forms, among other elements Loosely-assembled, lightweight, or unfinished in appearance Ephemeral, smaller -scale details often informed by high tech or art that "stand in" for the whole Use of exaggerated or abstracted ornamentation For the National Register, a property must possess exceptional importance if less than 50 years of age Also for 1980 and earlier residential properties: <ul style="list-style-type: none"> Bold and highly visual in design, often using bright colors and industrial materials May resemble commercial or industrial property types on a smaller scale Displays eclectic and starkly contrasting elements, materials, colors patterns, or massing, often resulting in a loosely-assembled or unfinished appearance 	

Table 4: Postmodernism

<ul style="list-style-type: none"> May read as art objects that may include graphic design, sculptural, or assemblage elements.
Integrity Considerations
<ul style="list-style-type: none"> Should retain integrity of Location, Design, Materials, Workmanship, and Feeling from the period of significance Must retain majority smaller-scale details if such details were known to exist Must retain eclectic mix of design elements if known to originally exist Original color scheme may have been altered Setting may have changed (adjacent land uses)

4.5 Mid-Century Modern, 1945-1970⁴¹

The most applicable theme within the Architecture and Engineering context for evaluating the property at 17027-17031 W. Ventura Boulevard under Criterion C/3/3 would be Mid-Century Modernism sub-theme (see **Table 5**).

Mid-Century Modern is a term used to broadly describe trends in architecture and interior and product design in the mid-twentieth century from the late 1930s into the early 1970s.⁴² The style evolved from earlier idioms of the Modern movement, namely the International Style and Bauhaus movements, but more often experimented in organic forms. It emerged in the postwar period as the prevailing architectural style in the design of commercial, residential, and institutional buildings because it was widely seen to embody a “faith in the future and progress” of the postwar United States.⁴³ It utilized the industrial materials and streamlined construction techniques developed during the war years. Like other styles of the Modern movement, Mid-Century Modern was less stylistically rigid than prior modes of design.⁴⁴ In general, architects sought clean lines or simple geometric forms, functionalism and rationality in planning and arrangement of features, and transparency or lightness. Notable architects of the Mid-Century Modern style include, Frank Lloyd Wright (1867-1959), Richard Neutra (1892-1970), A. Quincy Jones (1913-1979), John Lautner (1911-1994), Gregory Ain (1909-1988), Eero Saarinen (1910-1961), Rudolph Schindler (1887-1953), and Pierre Koenig (1925-2004), among many others.

Mid-Century Modern architecture is generally characterized by shell or curtain wall façades, open floor plans, absence of applied ornament, and the use of cantilevers. Post-and-beam construction with the structure expressed is also common. Other character-defining features of Mid-Century Modern architecture include: flat roof or low-pitched gable or shed roofs with wide overhanging eaves and cantilevered canopies; wood, glass, plaster, stucco, concrete, steel, brick, tile, or stone used as exterior wall panels or accent materials; flush-mounted wood or metal

⁴¹ The narrative for the Mid-Century Modernism sub-theme for the LACHCS has not yet been completed as of the date of this report; adapted from GPA Consulting, *Historical Resources Evaluation Report for the Westbound State Route 91 (SR-91) Improvement Project from Approximately Shoemaker Avenue to Interstate 605 (I-605) and Northbound I-605 to Alondra Boulevard* (Los Angeles: California Department of Transportation, March 2018), 21-22.

⁴² “Art & Architecture Thesaurus Full Record Display (Getty Research),” The Getty, accessed August 3, 2017, <http://www.getty.edu/research/tools/vocabularies/aat/>.

⁴³ Leland M. Roth, *American Architecture*, Cambridge, MA: Perseus Books Group, 2001, 412.

⁴⁴ Building Conservation Associates, *New Canaan Mid-Century Modern Houses* (New Canaan, CT: Connecticut Commission on Culture & Tourism, 2008), 10.

frame windows; clerestories; and integrated landscape features, such as landscaped courtyards or built-in planters.

In commercial architecture, business owners embraced Mid-Century Modern architecture as a means through which to advertise a modern and stylish image.⁴⁵ One of the defining features of Mid-Century Modern-style commercial buildings is the increase of transparency using large plate glass windows and open storefronts, which permitted sweeping views of a building's interior. Other typical character-defining features of commercial buildings include: signs with over-scale lettering; metal grills or panels over upper floors for signage; asymmetrical arcaded outdoor lobbies; steel and aluminum curtain walls with porcelain enamel panels or glass spandrel panels; dramatic roof forms, such as folded plate or butterfly roofs; use of brick, stone, or tile as wall cladding; built-in planters or water features; canted storefront bays; and patterned concrete block screen walls.

Table 5: Mid-Century Modernism	
Context: Architecture and Engineering, 19850-1980	
Sub-Context: LA Modernism, 1919-1980	
Theme: Postwar Modernism, 1946-1976	
Sub-theme: Mid-Century Modern, 1945-1970	
Property Type: Residential	
Eligibility Standards	
<ul style="list-style-type: none"> Exhibits quality of design through distinctive features Retains the essential character defining features of Mid-Century Modernism from the period of significance Was constructed during the period of significance 	
Character-Defining/Associative Features	
<ul style="list-style-type: none"> Direct expression of the structural system, often wood or steel post and beam Flat roof, at times with wide overhanging eaves Floor-to-ceiling windows, often flush-mounted metal framed Horizontal massing Simple, geometric volumes If Expressionistic: sculptural forms intersecting with geometric volumes If Expressionistic: curved, sweeping wall surfaces If Expressionistic: dramatic roof forms, such as butterfly, A-frame, hyperbolic paraboloid, folded plate or barrel vault 	
Integrity Considerations	
<ul style="list-style-type: none"> Original garage doors may have been replaced Original setting (surrounding buildings, landscape) may not be intact (this applies to individual resources only; buildings associated with corporate or institutional campuses must maintain integrity of setting) Original use may have changed Replacement of some windows and doors may be acceptable if the openings have not been resized and original fenestration patterns have not been disrupted The addition of decorative elements to originally sparse façades The addition of security features such as screen doors and bars at windows The painting of surfaces (wood) that might have originally been unpainted 	

⁴⁵ Carol Dyson, "Mid-Century Commercial Modernism: Design and Materials," National Center for Preservation Technology and Training, accessed August 4, 2017, <https://www.ncptt.nps.gov/blog/mid-century-commercial-modernism-design-and-materials/>.

5. PROPERTIES IDENTIFIED AND EVALUATED AS POTENTIAL HISTORICAL RESOURCES

The properties at 17017 and 17027-17031 W. Ventura Boulevard were evaluated for individual listing in the National and California Registers, as well as for designation as an HCM, using established criteria and aspects of integrity. California Department of Parks and Recreation (DPR) 523 forms for the evaluations can be found in Appendix B.

5.1 Evaluation of 17017 W. Ventura Avenue

National Register of Historic Places

Criterion A

To be eligible for listing in the National Register under Criterion A, a property must have a direct association with events that have made a significant contribution to the broad patterns of our history. The context considered in this evaluation was the Arterial Commercial Development sub-theme of the LACHCS.

Ventura Boulevard has served as a major thoroughfare in the San Fernando Valley since the late eighteenth century and continues to serve as the dominant commercial artery of the south San Fernando Valley. The street was paved in the 1920s; and yet, despite these road improvements, there was very little development along Ventura Boulevard in the Encino area through the early 1940s. Following World War II, the unprecedented demand for housing in Southern California resulted in the San Fernando Valley's postwar transformation from an agricultural to suburban community. In order to accommodate the San Fernando Valley's growing population, large residential subdivisions were subsequently constructed throughout Encino, and new commercial business were constructed along Ventura Boulevard.

17017 W. Ventura Boulevard as well as the neighboring properties to the west, 17001 and 17013 W. Ventura Boulevard, represent an early period of arterial commercial development in Encino. All three buildings were constructed in 1946 at the beginning of Encino's postwar development boom. According to the building permit record, 17013 W. Ventura Boulevard was the first of the three buildings to be permitted for construction. Owner Jules Holmain filed a new building permit with the City of Los Angeles on December 12, 1945.⁴⁶ Owner M. L. (Frank) Flowers subsequently filed a new building permit on February 26, 1946, which was followed by owners Dr. and Mrs. G. Stanley Gordon, who filed a new building permit for 17001 W. Ventura Boulevard on April 24, 1946.⁴⁷ While no architect is listed on either of the new building permits for 17001 or 17013 W. Ventura Boulevard, all three buildings were designed in the Tudor Revival style and originally exhibited similar architectural features (see **Figure 12** and **Figure 13**). Because of their similar and cohesive appearance, it is likely the owners coordinated with one another on the design of their new buildings or the same architect designed all three buildings.

17017 W. Ventura Boulevard does not appear to meet the integrity considerations for the Arterial Commercial Development sub-theme (see **Table 1**). While it meets the eligibility standards for the Arterial Commercial Development sub-theme and represents an early period of commercial development in Encino, the building no longer retains integrity of design, feeling, materials,

⁴⁶ LABDS, Building Permit No. LA20416, December 12, 1945.

⁴⁷ LADBS, Building Permit No. LA5099, February 26, 1946; and LADBS, LA14650, April 24, 1946.

workmanship, and association due to the cumulative effect of alterations over time. If the building had not been altered, there might have been an increased potential for eligibility under Criterion A for its association with early arterial commercial development in Encino.

Criterion B

To be eligible for listing in the National Register under Criterion B, a property must be associated with lives of persons significant in our past. 17017 W. Ventura Boulevard was constructed by owner Marlon Franklin (Frank) Flowers. Flowers was in the investment business, a member of the Encino Chamber of Commerce for over 30 years, and a founding member of the Bank of Encino.⁴⁸ Research did not reveal Flowers to be an individual proven to have made an important contribution to the commercial development of Los Angeles; therefore, Flowers does not appear to meet the eligibility standards for the Commercial Merchants, Leaders, and Buildings theme of the LACHCS (see **Table 3**).

The first known commercial tenants of 17017 W. Ventura Boulevard were Encino Market in 1950 and later Sale's Market by the mid-1950s. Research did not reveal specific information regarding Encino Market or Sale's Market, except that Sale's market was a small chain of grocery stores owned by James C. Sale with three other locations in Beverly Hills, Malibu, and Palm Springs.⁴⁹ There is no evidence to suggest that 17017 W. Ventura Boulevard is associated with the lives of historic personages significant to our past. Therefore, the property does not appear to be significant under Criterion B.

Criterion C

To be eligible for listing under Criterion C, a property must embody the distinctive characteristics of a type, period, or method of construction, represent the work of a master, possess high artistic values, or represent a significant and distinguishable entity whose components may lack individual distinction. 17017 W. Ventura Boulevard was evaluated as an example of the Postmodern commercial building.

17017 W. Ventura Boulevard was originally constructed in 1946 as a Tudor Revival-style commercial building (see **Figure 12** and **Figure 13**); however, the building's original design is no longer evident due to the cumulative effect of subsequent alterations. The street-facing elevation was likely remodeled in 1989 and now possesses features associated with Postmodern commercial buildings, including an exaggerated roofline and select references to earlier era vernacular architecture such as overhanging eaves and exposed rafter tails. Because this alteration occurred within the last fifty years, the evaluation below applies Criteria Consideration G. Criteria Consideration G states that a property achieving significance within the past fifty years is eligible for the National Register of Historic Places if it is of exceptional importance under at least one of the National Register Criteria.⁵⁰

The building is a basic example of a Postmodern building that does not exhibit quality of design through distinctive features. It also is not an important example within the context of Postmodern architecture. Important examples of Postmodern buildings exhibit high quality of design and/or

⁴⁸ "M.F. Flowers," *Los Angeles Times*, March 9, 1962.

⁴⁹ "Sale's Market," Photograph, circa 1940, Eric Wienberg Collection of Malibu Matchbooks, Postcards, and Collectables, Los Angeles Public Library, match0044.tif.

⁵⁰ *National Register Bulletin* #15, 41-43.

are designed by a notable architect or architecture firm. Significant Postmodern buildings in Los Angeles include the Lee Burns Residence, Dyer House, and 708 House, all of which were identified by SurveyLA as eligible at a state and local level as excellent examples of Postmodern architecture.⁵¹ 17017 W. Ventura Boulevard is an unexceptional, but efficient building with few distinguishing aesthetic features. It is common and does not demonstrate any innovative, important, or outstanding design features. Additionally, the building was not originally constructed as a Postmodern commercial building but altered in 1989 during which Postmodern features were applied to the street-facing elevation. It does not appear to meet the eligibility standards for Postmodernism (see **Table 4**). Therefore, 17017 W. Ventura Boulevard does not appear to be significant under this aspect of Criterion C nor does it meet Criteria Consideration G for its exceptional architectural importance at a local, state, or national level.

Spencer & Landon are noted as the architects on the original building permit.⁵² Spencer & Landon appear to have designed numerous buildings throughout Southern California in the 1930s and 1940s, including the Palm Springs Racquet Club (1936) in Palm Springs, 1940 North St. Andrews Place (1935) in Los Angeles, and a classroom building at the Main Street School (1936) in Los Angeles.⁵³ They are not generally recognized for their greatness in the field of architecture at a local, state, or national level. Furthermore, the building's original design is no longer evident due to the cumulative effect of subsequent alterations. Geo. O. Chapman is noted as the contractor on the original building permit. Chapman is noted as the contractor for Engine Company No. 87 (1978) in Chatsworth and Empire Savings & Loan Association building (1957) in Pacoima.⁵⁴ He is not generally recognized as a master builder at a local, state, or national level.

Lomax-Rock Associates are noted as the architects on the 1989 building permit for the alteration of the street-facing elevation.⁵⁵ Jerrold E. Lomax and John Rock formed a partnership in the 1980s, which later dissolved in 1995.⁵⁶ Lomax studied architecture at the University of Houston and subsequently returned to Los Angeles in the early 1950s to join the practice of architect Craig Ellwood. In 1962, Lomax opened his own firm and appears to have overseen his own practice until the early 1980s when he partnered with Rock. After Lomax sold his share in Lomax-Rock Associates, he moved to Northern California where he continued an independent practice until his death in 2014. Rock continues to operate an independent practice now known as Rock Architects. Lomax-Rock Associates appear to have designed numerous buildings throughout Southern California, including 401 Jones Road (1982) in Oceanside and the Rice House (1993) in Glendale, which was

⁵¹ Historic Resources Group, "Historic Resources Survey Report: Brentwood-Pacific Palisades Community Plan Area," *SurveyLA Los Angeles Historic Resources Survey* (City of Los Angeles Office of Historic Resources, November 2013), 63; and Historic Resources Group, "Historic Resources Survey Report: Sherman Oaks-Studio City-Toluca Lake-Cahuenga Pass Community Plan Area," *SurveyLA Los Angeles Historic Resources Survey* (City of Los Angeles Office of Historic Resources, January 2013).

⁵² LADBS, Building Permit No. VN5099, February 26, 1946.

⁵³ Historic Resources Group, *City of Palm Springs Historic Context Statement and Survey Findings* (Palm Springs: City of Palm Springs, October 13, 2015); Katy Lain and Elizabeth Weaver, ICF Jones & Stokes, "California Department of Parks and Recreation Form Set, 1940 North St. Andrews Place," 2009; and "School Plans Advances by \$2,013,697 Projects," *Los Angeles Times*, July 19, 1936.

⁵⁴ "Engine Company No. 87," Los Angeles Fire Department Historical Archive, accessed March 18, 2019, https://www.lafire.com/stations/FS087/FS087_1951-2007.htm; and "Savings Firm Office Opened," *Los Angeles Times*, May 5, 1957.

⁵⁵ LADBS, Building Permit No. VN03749, August 22, 1989.

⁵⁶ Zoltan Pali, "Jerrold Lomax, 1927-2014," *The Architects Newspaper*, accessed April 9, 2019, <https://archpaper.com/2014/07/jerrold-lomax-1927-2014/>.

listed in the Glendale Register of Historic Resources in 2010.⁵⁷ Lomax and Rock both practiced in the late twentieth century, and the majority of their work appears to have been constructed within the last fifty years. As their body of work has not been the object of scholarly evaluation, there is not sufficient historical perspective to determine whether Lomax and Rock could be considered masters in the field of architecture at a local, state, or national level. However, even if Lomax and Rock were generally recognized for their greatness in the field, 17017 W. Ventura Boulevard does not appear to be a representative example of their work in comparison to other projects from this period such as the Rice House in Glendale. No contractor is noted on the 1989 building permit. 17017 W. Ventura Boulevard therefore does not appear to be significant under this aspect of Criterion C nor does it meet Criteria Consideration G for its association with an exceptionally important architect or builder.

The possession of high artistic values refers to a building's articulation of a particular concept of design so fully that it expresses an aesthetic ideal.⁵⁸ A building is eligible under this aspect of Criterion C would need to possess ornamentation and detail to lend it high artistic value, which 17017 W. Ventura Boulevard does not possess. Nor does it represent a significant and distinguishable entity whose components lack individual distinction, which generally applies to historic districts. The building is primarily surrounded by low-to-mid-rise residential and commercial buildings constructed between the 1940s and 2000s.

In conclusion, the property does not appear to be significant under Criterion C nor does it meet Criteria Consideration G for its exceptional architectural importance either individually or within a district.

Criterion D

Criterion D was not considered in this report, as it generally applies to archeological resources. There also is no reason to believe that the property has yielded or will yield information important to the prehistory or history of the local area, California, or nation.

Integrity

To be eligible for listing in the National Register, properties must retain their physical integrity from the period in which they gained significance. In the case of architecturally significant properties, the period of significance is normally the date of construction. For historically significant properties, the length of the historic associations usually measures the period of significance. As the property is significant under National Register Criterion A for its association with early arterial commercial development on Ventura Boulevard, the period of significance is 1946, the date of construction. However, due to the cumulative effect of alterations over time, the property does not retain the visual quality necessary to convey historic significance from this period. Because 17017 W. Ventura Boulevard does not appear significant under National Register Criterion C as a Postmodern-style building remodeled in 1989, the integrity of the 1989 alteration does not require examination. Therefore, the following is a point-by-point analysis of the seven aspects of integrity under Criterion A only:

⁵⁷ "Largest School Solar Plant Operating," *Los Angeles Times*, January 17, 1989; and "'Big Bold Moves' Take Top Design Honors," *Los Angeles Times*, January 8, 1995.

⁵⁸ *National Register Bulletin* #15, 20.

- Location – The place where the historic property was constructed or the place where the historic event occurred.

The building has not been moved. Therefore, it retains integrity of location.

- Materials – The physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.

The building's key exterior materials dating from its construction in 1946 have been removed, replaced, and/or covered over time. These key materials likely included, stucco cladding, wood half-timbering, wood shake roof shingles, wood-frame windows, and partially or fully glazed wood doors. The building's exterior has been entirely remodeled, its gable roof altered, and all of the original Late Tudor Revival-style features have been removed. Additionally, interior non-load bearing partitions, features, materials, and finishes have been removed and replaced since the building's construction in 1946. Therefore, due to the cumulative effect of these alterations the overall integrity of materials has been lost.

- Design – The combination of elements that create the form, plan, space, structure, and style of a property.

The original design of the building is no longer evident due to the cumulative effect of subsequent alterations, namely the removal of the Late Tudor Revival-style features, the reconfiguration of the original storefronts and entrances, as well as the alteration of the gable roof. The building no longer possesses the features that are associated with the Late Tudor Revival style nor does it reflect trends in commercial design from the late 1940s; therefore, the overall integrity of design has been lost.

- Workmanship – The physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.

The techniques used in the construction of the residence have been diminished as original materials have been removed and/or replaced, often with materials or features of a lesser quality of workmanship. Therefore, the overall integrity of workmanship has been lost.

- Feeling – A property's expression of the aesthetic or historic sense of a particular period of time.

The building no longer conveys integrity of feeling of a 1940s Late Tudor Revival-style commercial building due to the cumulative effect of alterations over time. It no longer possesses original features, such as massing, overall elevation design, wood doors and door frames, wood window sashes, and wood roof shingles, which taken together would convey the aesthetic or historic sense of its date of construction. These original physical features have been removed or covered with contemporary features and materials that diminish the overall integrity of feeling.

- **Setting** – The physical environment of the historic property.

The immediate setting of the property has been altered by the construction of a rear addition in 1981 and an accessibility ramp in 2001.⁵⁹ The broad setting has also noticeably changed. When 17017 W. Ventura Boulevard was constructed, the surrounding parcels were mostly undeveloped except for 17001 and 17013 W. Ventura Boulevard, which were constructed the same year at 17017 W. Ventura Boulevard. Since 17017 W. Ventura Boulevard's construction, 17027-17031 W. Ventura Boulevard and its addition were constructed to the west in 1953 and 1957, and 4917 N. Genesta Avenue was constructed to the northeast in 1957. Additionally, the majority of the surrounding parcels have since been developed with a mix of low-to-mid-rise residential and commercial buildings.

- **Association** – The direct link between an important event or person and a historic property.

Due to the cumulative effect of subsequent alterations, the building no longer conveys integrity of association under Criterion A with early arterial commercial development in Encino.

Conclusion

While the property at 17017 W. Ventura Boulevard appears to be significant under National Register Criterion A for its association with early arterial commercial development in Encino, it does not retain integrity; therefore, it is recommended ineligible for listing in the National Register.

California Register of Historical Resources

The California Register criteria for eligibility mirror those of the National Register. Therefore, 17017 W. Ventura Boulevard is ineligible for listing in the California Register for the same reasons outlined above.

Los Angeles Cultural Heritage Ordinance

Likewise, because the City of Los Angeles criteria were modeled on the National and California Register criteria, 17017 W. Ventura Boulevard is ineligible for designation as an HCM for the same reasons outlined under the National Register evaluation.

5.2 Evaluation of 17027-17031 W. Ventura Avenue

National Register of Historic Places

Criterion A

To be eligible for listing in the National Register under Criterion A, a property must have a direct association with events that have made a significant contribution to the broad patterns of our history. The context considered in this evaluation was the Banks sub-theme of the LACHCS.

17027-17031 W. Ventura Boulevard was originally constructed in 1953 by owner M. F. (Frank) Flowers for the Bank of Encino, of which Flowers was a founding member. In addition to Flowers, the bank was founded by several of Encino's most active and prominent civic figures at the time, including: R. J. Powers, head of the Powers & Stanley Talent Management Agency; Lawrence

⁵⁹ LADBS, Building Permit No. VN23332, January 18, 1981.

Wolff, Executive Assistant at Union Oil; W. L. Tooley, hotel owner, James C. E. Sale, president of Sale's Market, R. S. Norswing, president of Canoga Farms, Diel Klienbergh, rancher and retired businessman; Dr. Roland A. Newbold, dentist; and Anthony Travaglini, restaurateur.⁶⁰ The Bank of Encino was reportedly the first independent banking institution in the west San Fernando Valley and appears to have been the first bank branch to be opened in Encino.⁶¹ It featured commercial, savings, and loan departments, and offered industrial real estate, commercial real estate, and individual real estate loans. In its first years, the bank reportedly concentrated its efforts on "business affairs and activity" and "building and development" in Encino, offering loans and extending credit to a variety of local businesses.⁶² The bank quickly grew to allegedly become the largest community bank in the San Fernando Valley, opening a second branch in Granada Hills in 1954 and a third branch in Sherman Oaks in 1957.⁶³ In 1958, the Home Savings and Loan built a new bank branch in Encino at 17100 W. Ventura Boulevard, likely becoming the second bank branch to open in the community.⁶⁴ The Bank of Encino later merged with the United California Bank in 1961, ceasing independent operation.⁶⁵ The United California Bank continued to occupy 17027-17031 W. Ventura Boulevard until 1974, when the building was converted into a health spa.

The building appears to meet the eligibility standards for the Banks sub-theme (see **Table 2**). It was originally designed and used as a bank building, constructed during the period of significance, and appears to have an important association with neighborhood banking and early commercial development in Encino. The building, however, no longer retains features related to its original use as a bank nor does it retain integrity of design, feeling, materials, workmanship, and association due to the cumulative effect of alterations over time. If the building had not been altered, there might have been an increased potential for eligibility under Criterion A for its association with neighborhood banking and early commercial development in Encino.

Criterion B

To be eligible for listing in the National Register under Criterion B, a property must be associated with lives of persons significant in our past. 17017 W. Ventura Boulevard was constructed by owner Marlon Franklin (Frank) Flowers. Flowers was in the investment business, a member of the Encino Chamber of Commerce for over 30 years, and a founding member of the Bank of Encino.⁶⁶ Research did not reveal Flowers to be an individual proven to have made an important contribution to the commercial development of Los Angeles; therefore, Flowers does not appear to meet the eligibility standards for the Commercial Merchants, Leaders, and Buildings theme of the LACHCS (see **Table 3**).

Richard J. Powers served as president of the Bank of Encino from its founding in 1953 through its merger with the United California Bank in 1961.⁶⁷ Powers rose to prominence in the music publishing

⁶⁰ "Ground Broken for New Bank," *Los Angeles Times*, July 26, 1953.

⁶¹ "Bank of Encino to Open Branch in Granada Hills," *Van Nuys Valley News*, October 24, 1954.

⁶² *Ibid*; "Bank has Confidence in West Valley," *Van Nuys Valley News*, October 3, 1954.

⁶³ "Bank of Encino to Open Branch in Granada Hills," *Van Nuys Valley News*, October 24, 1954; "Bank of Encino Located in Three Valley Offices," *Van Nuys Valley News*, January 22, 1957; and "\$500,000 Unit for Bank of Encino Set," *Van Nuys Valley News*, June 10, 1956.

⁶⁴ "Branch to Open Soon," *Los Angeles Times*, April 24, 1957.

⁶⁵ "Two Banks to Merge Here; Increased Services Offered," *Van Nuys Valley News*, April 6, 1961.

⁶⁶ "M.F. Flowers," *Los Angeles Times*, March 9, 1962.

⁶⁷ "Ground Broken for New Bank," *Los Angeles Times*, July 26, 1953; "R. J. Powers Services Set for Tuesday," *Los Angeles Times*, October 16, 1967.

industry beginning in 1919. In 1933, he became the district manager of the American Society of Composers, Authors, and Publishers in New York and later came to Los Angeles in the 1940s as the ASCAP's western representative. He joined MGM in 1945 as coordinator of the record and music section and became head of the music department in 1947. He later founded his own firm, the Powers & Stanley Talent Management Agency. He served three terms of the President of the Encino Chamber of Commerce from 1941 to 1944 and two more from 1951 and 1953. He was also one of the founding members of the Bank of Encino. While Powers was an active and prominent civic figure in Encino from the 1940s until his death in 1967, research did not reveal that he made an important contribution to or gained importance in the field of banking in Los Angeles. Therefore, Powers does not appear to meet the eligibility standards for the Commercial Merchants, Leaders, and Buildings theme (see **Table 3**).

There is no evidence to suggest that 17017 W. Ventura Boulevard is associated with the lives of historic personages significant to our past. Therefore, the property does not appear to be significant under Criterion B.

Criterion C

To be eligible for listing under Criterion C, a property must embody the distinctive characteristics of a type, period, or method of construction, represent the work of a master, possess high artistic values, or represent a significant and distinguishable entity whose components may lack individual distinction. 17027-17031 W. Ventura Boulevard was evaluated as an example of the Mid-Century Modern style of the LACHCS.

The building is a basic example of a Mid-Century Modern bank building that does not exhibit quality of design through distinctive features. 17027-17031 W. Ventura Boulevard possess distinctive features associated with Mid-Century Modern commercial buildings, such as large floor-to-ceiling windows, simple, geometric volumes, horizontal massing, and unornamented wall surfaces; however, it is not an important example within the context of Mid-Century Modern architecture. The Mid-Century Modern style was applied to numerous commercial buildings throughout Los Angeles in the postwar period. Important examples of Mid-Century Modern-style commercial buildings exhibit high quality of design and/or are designed by a notable architect or architecture firm. Significant Mid-Century Modern commercial buildings in Los Angeles include the Cinerama Dome in Hollywood (HCM No. 659), Mutual Housing Association Site Office in Brentwood (HCM No. 680), Neutra Office Building in Silverlake (HCM No. 676), and Century Plaza Hotel in Century City (HCM No. 1060). 17027-17031 W. Ventura Boulevard is an unexceptional, but efficient building with few distinguishing aesthetic features. It is common and does not demonstrate any innovative, important, or outstanding design features. It does not appear to meet the eligibility standards for the Mid-Century Modern style (see **Table 5**).

John James Landon is noted as the architect on the original 1953 building permit and on the 1958 building permit for the addition.⁶⁸ Landon appears to have previously been a partner at Spencer & Landon, who designed 17017 W. Ventura Boulevard in 1946. He later established his own practice by 1953. He is noted as the architect of the Arroyo Seco regional branch of the Los Angeles Public Library at 6145 N. Figueroa Street and the Silverlake Presbyterian Church at 2930

⁶⁸ LADBS, Building Permit No. VN56701, July 15, 1953; and LADBS, Building Permit No. VN02708, July 11, 1957.

Hyperion Avenue.⁶⁹ Landon is not generally recognized for his greatness in the field of architecture at a local, state, or national level. Encino Construction Co. is noted as the contractor on the original 1953 building permit. The firm is also noted as the contractor of a fire station at 3036 Fletcher Drive in Los Angeles, and a new school building at St. Francis de Sales parochial school at 13370 Valleyheart Drive.⁷⁰ Encino Construction Co. is not generally recognized as a master builder at a local, state, or national level. No contractor is noted on the permit for 1958 addition. Therefore, 17027-17031 W. Ventura Boulevard does not represent the work of a master architect or builder.

The possession of high artistic values refers to a building's articulation of a particular concept of design so fully that it expresses an aesthetic ideal.⁷¹ A building is eligible under this aspect of Criterion C would need to possess ornamentation and detail to lend it high artistic value, which 17027-17031 W. Ventura Boulevard does not possess. Nor does it represent a significant and distinguishable entity whose components lack individual distinction, which generally applies to historic districts. The building is primarily surrounded by low-to-mid-rise residential and commercial buildings constructed between the 1940s and 2000s.

In conclusion, the property does not appear to be significant under Criterion C.

Criterion D

Criterion D was not considered in this report, as it generally applies to archeological resources. There also is no reason to believe that the property has yielded or will yield information important to the prehistory or history of the local area, California, or nation.

Integrity

To be eligible for listing in the National Register, properties must retain their physical integrity from the period in which they gained significance. In the case of architecturally significant properties, the period of significance is normally the date of construction. For historically significant properties, the length of the historic associations usually measures the period of significance. As the property is significant under National Register Criterion A for its association with neighborhood banking and early commercial development in Encino, the period of significance is 1953 to 1961, the date of construction to the date the Bank of Encino ceased independent operation. However, due to the cumulative effect of alterations over time, the property lacks integrity as a whole.

Following is a point-by-point analysis of the seven aspects of integrity:

- Location – The place where the historic property was constructed or the place where the historic event occurred.

The building has not been moved. Therefore, it retains integrity of location.

- Materials – The physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.

⁶⁹ "Highland Park Library Slated," *Los Angeles Times*, December 14, 1958; and "Dedication Held for Silverlake Church," *Los Angeles Times*, February 28, 1960.

⁷⁰ "Contract Given for Fire Station," *Los Angeles Times*, October 28, 1957; and "New Parochial School to Rise in Studio City," *Los Angeles Times*, March 5, 1961.

⁷¹ *National Register Bulletin* #15, 20.

The building's key exterior materials dating from its original construction in 1953 and the construction of the addition in 1958 have been removed, replaced, and/or covered over time. These key materials included stucco exterior cladding, metal frame window sashes, as well as fully-glazed metal doors and metal door frames. In 1973-1975, the building's original interior features related to its bank use were likely entirely removed when the building was converted into a health spa. Therefore, due to the cumulative effect of these exterior and interior alterations, the overall integrity of materials has been lost.

- Design – The combination of elements that create the form, plan, space, structure, and style of a property.

Because of the building's minimal detailing, alterations to the building's original design have a greater impact on integrity than they might otherwise (see Section 3.3 for a full description of the building's alterations history). Therefore, the original design of the building is no longer evident due to the cumulative effect of these alterations, most especially the removal of original storefronts and window sashes, the resizing of original window openings, the lowering of the parapet, and the removal of all interior features related to the building's original bank use. Therefore, the overall integrity of design has been lost.

- Workmanship – The physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.

The techniques used in the construction of the residence have been diminished as original materials have been removed and/or replaced, often with materials or features of a lesser quality of workmanship. Therefore, the overall integrity of workmanship has been lost.

- Feeling – A property's expression of the aesthetic or historic sense of a particular period of time.

Distinctive features that would have identified this building as a bank, namely exterior signage and interior decorative features, have been stripped from the building; therefore, it no longer conveys integrity of feeling as a 1950s bank building.

- Setting – The physical environment of the historic property.

The immediate setting of the property has been altered by the partial replacement of concrete at the sidewalk to the south and by the construction of a porch to the north. The broad setting has also been diminished by changes to the built environment over time. Neighboring properties constructed after the end of the period of significance include: 4949 Genesta Avenue (1974), 17047 W. Ventura Boulevard (1970), and 17050 W. Ventura Boulevard (2005).

- Association – The direct link between an important event or person and a historic property.

The building's original use is no longer apparent as a result of the removal of distinctive features that would have identified it as a bank. Therefore, due to the cumulative effect of subsequent alterations, the building no longer conveys integrity of association under Criterion A with neighborhood banking and early commercial development in Encino.

Conclusion

While the property at 17027-17031 W. Ventura Boulevard appears to be significant under National Register Criterion A for its association with neighborhood banking as a subtheme of early commercial development in Encino, it does not retain integrity; therefore, it is ineligible for listing in the National Register.

California Register of Historical Resources

The California Register criteria for eligibility mirror those of the National Register. Therefore, 17027-17031 W. Ventura Boulevard is ineligible for listing in the California Register for the same reasons outlined above.

Los Angeles Cultural Heritage Ordinance

Likewise, because the City of Los Angeles criteria were modeled on the National and California Register criteria, 17027-17031 W. Ventura Boulevard is ineligible for designation as an HCM for the same reasons outlined under the National Register evaluation.

6. PROJECT IMPACTS

6.1 Determining the Significance of Impacts on Historical Resources

The State CEQA Guidelines set the standard for determining the significance of impacts to historical resources in Title 14 California Code of Regulations Section 15064.5(b), which states:

A project with an effect that may cause a substantial adverse change in the significance of an historical resource is a project that may have a significant effect on the environment.

Title 14 California Code of Regulations Section 15064.5(b)(1) further clarifies “substantial adverse change” as follows:

Substantial adverse change in the significance of an historical resource means physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired.

Title 14 California Code of Regulations Section 15064.5(b)(2) in turn explains that a historical resource is “materially impaired” when a project:

Demolishes or materially alters in an adverse manner those physical characteristics that convey its significance and that justify its inclusion in or eligibility for inclusion in the California Register, local register, or its identification in a historic resources survey.

The following factors are set forth in the City of Los Angeles' “L.A. CEQA Thresholds Guide,” which states that a project would normally have a significant impact on a historical resource if it would result in a substantial adverse change in the significance of the historical resource. A substantial adverse change in significance occurs if the project involves:

- Demolition of a significant resource;
- Relocation that does not maintain the integrity and (historical/architectural) significance of a significant resource;

- Conversion, rehabilitation, or alteration of a significant resource which does not conform to the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings; or
- Construction that reduces the integrity or significance of important resources on the site or in the vicinity.

As such, the test for determining whether or not a proposed project will have a significant impact on an identified historical resource is whether or not the project will alter in an adverse manner the physical integrity of the historical resource such that it would no longer be eligible for listing in the National or California Registers or other landmark programs such as the list of HCMs.

6.2 Project Description

The Applicant proposes to develop a new commercial building and a new assisted living facility on the Project site (see **Figure 18** and **Figure 19**). The commercial building would be located on the three parcels bordering W. Ventura Boulevard, and the assisted living facility would be located on the four parcels to the north of the alley. The Project would involve the demolition of the two existing buildings at 17017 and 17027-17031 W. Ventura Boulevard. The maximum building height for the commercial building would be 48 feet, 6 inches above grade or three stories. Its total building floor area would be 55,416 square feet. The maximum building height for the assisted living facility would be 65 feet above grade or five stories with three subterranean floors. The three subterranean floors would be used for parking. Ninety guest rooms and various amenity spaces would be located on the first through fifth floors. A landscaped entry court would be located adjacent to Genesta Avenue and a landscaped patio would be located adjacent to the alley. The parcel associated with APN 2258-014-001 would remain a surface parking lot (see **Appendix C** for more information).



Figure 18: Proposed commercial building, looking north



Figure 19: Proposed assisted living facility, looking north

6.3 Analysis of Project Impacts

The Project would have no direct impact on historical resources. There are no historical resources on the Project site and no historical resources would be demolished, destroyed, relocated, or altered as a result of the Project (see **Section 5**). Therefore, this report only analyzes the potential for the Project to result in indirect impacts on the historical resources in the vicinity.

Indirect impacts or secondary effects are reasonably foreseeable and caused by a project but occur at a different time or place.⁷² As described in Section 3.2, there are three historical resources in the study area: the Home Savings and Loan, 17001 W. Ventura Boulevard, and 17013 W. Ventura Boulevard. The Home Savings and Loan building is located to the west of the Project site on the west side of N. Amestoy Avenue. 17001 and 17013 W. Ventura Boulevard are both located to the east of the Project site on W. Ventura Boulevard between N. Genesta and Amestoy Avenues. 17001 W. Ventura Boulevard is located on the corner of W. Ventura Boulevard and N. Genesta Avenue. 170013 W. Ventura Boulevard is located between 17001 and 17017 W. Ventura Boulevard.

In determining the potential impact of adjacent new construction on the historical resources in the study area, the central question is whether the new building would cause a "material impairment" to the significance of the nearby historical resources.⁷³ Material impairment occurs where a project demolishes or alters the physical characteristics that convey the significance of a historical resource and that justify its inclusion in or eligibility of inclusion in national, state, or local landmark or historic district programs pursuant to the requirements of CEQA. Such an effect would only occur if the historical resources in the study area no longer retained sufficient integrity to convey their significance. The significance of the historical resources in the study area are described in Section 3.2.

According to *National Register Bulletin #15*, there are seven aspects of integrity: feeling, association, workmanship, location, design, setting, and materials. The Project would not have any impact on the identified historical resources' physical characteristics that convey their historic

⁷² 14 CCR §15358 (a)(2)

⁷³ Pub. Res. Code §21084.1; CEQA Guidelines §15064.5(b).

significance and justify their inclusion in, or eligibility for, applicable landmark designation programs. Because the proposed Project would not alter physical characteristics of the historical resources, the only relevant aspect with respect to the impact of the new addition on these historical resources is setting. Setting refers to the character of the place in which the historical resource is situated within the boundaries of the property as well as the resource's broader surroundings. This analysis considers whether the integrity of setting of the three historical would be so diminished by the new construction that they would no longer qualify as historical resources under national, state, or local landmark programs.

The Project site is located outside the parcel boundary of the Home Savings and Loan building and therefore, would not impact its integrity of immediate setting. The historical resource's broader surroundings, namely its relationship to its surrounding features, has already been altered by new construction and is therefore not a character-defining feature. The Home Savings and Loan building was originally completed in 1959 with an addition constructed in 1976. Since 1959, the surrounding parcels were developed or redeveloped with new commercial or residential buildings, including 17141 W. Ventura Boulevard (1979) 5035 N. Amestoy Avenue (1990), and 17200 W. Ventura Boulevard (1976). For these reasons, the overall integrity of setting has already been diminished by changes to the built environment over time and thus lacks a distinct or cohesive character. Furthermore, the integrity of setting is not a key aspect of integrity for this historical resource to convey its significance because its design is not a reflection of its immediate environment. It is extremely rare that integrity of setting is necessary for a historical resource to express its historic or architectural significance within a dense urban environment.

The views of the Home Savings and Loan building from the surrounding blocks would not be obscured as a result of the Project. It would continue to be visible on the northwest corner of W. Ventura Boulevard and N. Amestoy Avenue. Thus, the Home Savings and Loan building would remain a prominent feature in the area.

The Project site is located outside the boundaries of 17001 and 17013 W. Ventura Boulevard and therefore, would not impact their integrity of immediate setting. As described in Section 5.1, the historical resources' broader surroundings namely their relationship to their surrounding features, has already been altered by new construction and is therefore not a character-defining feature. 17001 and 17013 W. Ventura Boulevard represent an early period of commercial development on Ventura Boulevard during a period in which Encino was transforming from an agricultural to suburban community. The surrounding parcels, the majority of which were vacant at the time the buildings were constructed, have since been developed with low-to-mid-rise commercial and residential buildings. Adjacent properties constructed after 1946 include 4917 N. Genesta Avenue (1957), 17027-17031 W. Ventura Boulevard (1953/1957), 17000 W. Ventura Boulevard (1960), and 17020 W. Ventura Boulevard (1956). For these reasons, the overall integrity of setting has already been diminished by changes to the built environment over time and thus lacks a distinct or cohesive character. Furthermore, the integrity of setting is not a key aspect of integrity for these historical resources to convey their significance because their design is not a reflection of their immediate environment. It is extremely rare that integrity of setting is necessary for a historical resource to express its historic or architectural significance within a dense urban environment.

The views of 17001 and 17013 W. Ventura Boulevard from the surrounding blocks would not be obscured as a result of the Project. The most important views of these historical resources are their street-facing elevations. The Project would not obscure 17001 W. Ventura Boulevard's street-



facing elevations along W. Ventura Boulevard and N. Genesta Avenue. It also would not obscure the views of 17001 and 17013 W. Ventura Boulevard from the alley to the north. Although the Project would be located immediately to the west of 17013 W. Ventura Boulevard, it would not obscure the historical resource's primary elevation facing W. Ventura Boulevard. Additionally, the proposed new building's setback from the street at approximately 27 feet above grade is consistent with the height of 17013 W. Ventura Boulevard, which is approximately 34 feet above grade. Therefore, 17001 and 17013 W. Ventura Boulevard would continue to be visible on W. Ventura Boulevard and from the alley to the north and thus would remain prominent features in the area.

In conclusion, the Project would not impact the setting of the Home Savings and Loan building, 17001 W. Ventura Boulevard, or 17013 W. Ventura Boulevard such that the integrity of the historical resources would be diminished to a level where they would no longer eligible for federal, state, and local landmark designation. While the Project would introduce new visual elements to the study area, the broad setting in the vicinity of the historical resource has noticeably changed and does not contribute to the significance of the historical resources. Therefore, because the integrity of setting has been substantially diminished by changes over time, the introduction of additional modern features would not diminish the integrity of the historical resources to the degree that they would no longer convey their significance. Furthermore, the integrity of setting is not a key aspect of integrity for these historical resources to convey their significance because their design is not a reflection of their immediate environment. Additionally, the historical resources would remain highly visible and continue to be prominent features of the blocks on which they are located. Therefore, the Project would not result in a substantial adverse change to the immediate surroundings of these historical resources to the degree that they would no longer be eligible for listing under national, state, or local landmark programs.

7. CONCLUSIONS

The Project would have no direct impacts on historical resources. There are no historical resources on the Project site and no historical resources would be demolished, destroyed, altered, or relocated as a result of the Project. Indirect impacts on historical resources were also analyzed. The new building would introduce a new visual element to the immediate surroundings of the historical resources; however, the Project would not result in a substantial adverse change to the integrity of the identified historical resources to the degree that they would no longer be eligible for listing as a historical resource defined by CEQA. Therefore, the indirect impact to the historical resources would be less than significant. No mitigation is required or recommended.

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Appendix A – SurveyLA Historical Resources Inventory Forms



Address: 17013 W VENTURA BLVD

Name:

Year built: 1948

Architectural style: Tudor Revival

Context 1:

Context:	Commercial Development, 1850-1980
Sub context:	No Sub-context
Theme:	Neighborhood Commercial Development, 1875-1960
Sub theme:	Early Neighborhood Commercial Development, 1880-1930
Property type:	Commercial
Property sub type:	No Sub-Type
Criteria:	A/1/1
Status code:	5S3
Reason:	Significant as representing an early period of commercial development, in the immediate post-World War II period, in Encino. A rare intact commercial building dating to this period on the boulevard. Appears to meet local criteria only and may not meet significance thresholds for National Register or California Register eligibility.



Address: 17100 W VENTURA BLVD

Name:

Year built: 1953

Architectural style: Modern, Mid-Century

Context 1:

Context:	Architecture and Engineering, 1850-1980
Sub context:	L.A. Modernism, 1919-1980
Theme:	Post-War Modernism, 1946-1976
Sub theme:	Mid-Century Modernism, 1945-1970
Property type:	Commercial
Property sub type:	No Sub-Type
Criteria:	C/3/3
Status code:	3S;3CS;5S3
Reason:	An excellent example Mid-Century Modern commercial architecture, designed by noted San Fernando Valley postwar architects Lane and Schlick. Retains distinctive features of the style, with direct expression of the structural system.

Status code:	5S3
Reason:	Significant as representing an early period of commercial development, in the immediate post-World War II period, in Encino. Encino Dry Cleaners has been in continuous operation at this location since the building's construction in 1947. Associated rooftop sign is also notable. Appears to meet local criteria only and may not meet significance thresholds for National Register or California Register eligibility.



Address: 17001 W VENTURA BLVD
 Name:
 Year built: 1947
 Architectural style: Tudor Revival

Context 1:

Context:	Architecture and Engineering, 1850-1980
Sub context:	No Sub-context
Theme:	Period Revival, 1919-1950
Sub theme:	Tudor Revival, 1930-1950
Property type:	Commercial
Property sub type:	No Sub-Type
Criteria:	C/3/3
Status code:	3S;3CS;5S3
Reason:	Excellent example of a late Tudor Revival-style commercial building. Exhibits distinctive characteristics of the style.

Context 2:

Context:	Commercial Development, 1850-1980
Sub context:	No Sub-context
Theme:	Neighborhood Commercial Development, 1875-1960
Sub theme:	Early Neighborhood Commercial Development, 1880-1930
Property type:	Commercial
Property sub type:	No Sub-Type
Criteria:	A/1/1
Status code:	3S;3CS;5S3
Reason:	Significant as representing an early period of commercial development, in the immediate post-World War II period, in Encino. A rare intact example of commercial development from this era on the boulevard.



Address: 17101 W VENTURA BLVD
 Name: Home Savings and Loan
 Year built: 1976
 Architectural style: Modern, Late

Context 1:

Context:	Commercial Development, 1850-1980
Sub context:	No Sub-context
Theme:	Banks and Financial Institutions, 1870-1980
Sub theme:	No SubTheme
Property type:	Commercial - Finance
Property sub type:	Bank/Saving & Loan
Criteria:	A/1/1 & C/3/3
Status code:	3CS;5S3
Reason:	Excellent example of a post-World War II savings and loan building in Encino. A significant representative of Home Savings and Loan's 1960s and 70s building campaign. Does not appear eligible for the National Register at this time as it is not yet 50 years of age or of exceptional importance.

Context 2:

Context:	Other Context, 1850-1980
Sub context:	No Sub-context
Theme:	Design/Construction, 1850-1980
Sub theme:	No SubTheme
Property type:	Commercial
Property sub type:	No Sub-Type
Criteria:	C/3/3
Status code:	3CS;5S3
Reason:	This building is significant for its high artistic value, featuring mosaics designed by Millard Sheets, cast stone grilles by Tony Sheets (son to Millard Sheets) and sculpture by Betty Davenport Ford, all noted artists of their time. The mosaics feature men and women tending the fields and animals, while Ford's 1,000 lb. sculptures are large mountain lions. The imagery appears to be homage to the San Fernando Valley's agrarian past and natural fauna. Does not appear eligible for the National Register at this time as it is not yet 50 years of age or of exceptional importance.



Appendix B – DPR 523 Forms

State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
HRI #

Trinomial

NRHP Status Code 6Z

Other Listings
Review Code

Reviewer

Date

Page 1 of 9

*Resource Name or #: (Assigned by recorder) 17017 W. Ventura Boulevard

P1. Other Identifier: None

*P2. Location: ☐ Not for Publication ☒ Unrestricted

*a. County Los Angeles and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Canoga Park, CA Date 2018 T ; R ; of of Sec ; B.M.

c. Address 17017 W. Ventura Boulevard City Los Angeles Zip 91316

d. UTM: (Give more than one for large and/or linear resources) Zone , mE/ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, decimal degrees, etc., as appropriate)

APN # 2258-013-020

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

17017 W. Ventura Boulevard was constructed in 1946 as a commercial building with at least two storefronts. It was originally designed by the architecture firm Spencer & Landon for owner M. F. (Frank) Flowers. The building is irregular in plan and one story in height. The eastern portion of the building directly abuts the sidewalk to the south and extends the length of the parcel, while the western portion is slightly setback from the sidewalk and extends to the center of the parcel. (Continued on Page 3.)

*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story Commercial Building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession #) 17017 W. Ventura Blvd, looking NW, 03/15/2019

*P6. Date Constructed/Age and Source: ☒ Historic ☐ Prehistoric

☐ Both

1946; Los Angeles Department of Building and Safety

*P7. Owner and Address:

17017 Venture LLC

18653 Ventura Blvd #333

Tarzana, CA 91356

*P8. Recorded by: (Name, affiliation, and address)

Emily Rinaldi

GPA Consulting

617 S. Olive Street, Suite 910

Los Angeles, CA 90014

*P9. Date Recorded: 03/20/2019

*P10. Survey Type: (Describe)

Intensive Survey

*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

GPA Consulting, "Historical Resource Evaluation Report for Ventura Boulevard, Los Angeles, California," March 2019

*Attachments: ☐ NONE ☐ Location Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

*Resource Name or # (Assigned by recorder) 17017 W. Ventura Boulevard

*NRHP Status Code 6Z

Page 2 of 9

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial

B4. Present Use: Commercial

*B5. Architectural Style: None

*B6. Construction History: (Construction date, alterations, and date of alterations)

See continuation sheet.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: N/A

Original Location: N/A

*B8. Related Features: N/A

B9a. Architect: Spencer & Landon

b. Builder: Geo O. Chapman

*B10. Significance: Theme Arterial Commercial Development, 1880-1950: Commercial Merchants, Leaders, and Buildings, 1850-1980; Late Tudor Revival Style, 1930-1950 Area Encino

Period of Significance 1946

Property Type Commercial

Applicable Criteria A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

National Register of Historic Places

Criterion A

To be eligible for listing in the National Register under Criterion A, a property must have a direct association with events that have made a significant contribution to the broad patterns of our history. The context considered in this evaluation was the Arterial Commercial Development sub-theme of the LACHCS. (Continued on Page 3.)

B11. Additional Resource Attributes: (List attributes and codes) None.

*B12. References:

See continuation sheet.

B13. Remarks:

None.

*B14. Evaluator: Emily Rinaldi

*Date of Evaluation: 03/20/2019

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



CONTINUATION SHEET

Page 3 of 9 *NRHP Status Code 6Z *Resource Name or # (Assigned by recorder) 17017 W. Ventura Boulevard

*Recorded by: Emily Rinaldi *Date 03/20/2019 ☒ Continuation ☐ Update

P3a. Description (Continued from Page 1):

The roof is generally flat and surrounded by parapet, except for at the street-facing or south elevation which features a steeply-pitched, asymmetrical gable roof covered in asphalt shingles. The western portion of the roof also has overhanging eaves with exposed rafter tails. The exterior is clad with stucco, except for the center of the north elevation, which is clad in wood siding. The main entrance is setback beneath the overhanging eave at the west end of the south elevation. It consists of fully glazed, paired aluminum doors flanked by single-light sidelights. There is a secondary entrance located at the west end of the north elevation also setback beneath the overhanging eave. It consists of fully glazed, paired aluminum doors flanked by single-light sidelights, and is accessed via a short flight of concrete steps or accessibility ramp. The windows are all fixed single-light windows with aluminum frames, and are either single, paired, or within a row. The building is topped with a tall projecting roof sign.

*B6. Construction History (Continued from Page 2):

17017 W. Ventura Boulevard was originally designed in the Late Tudor Revival style and had at least two commercial tenant space. One of those tenant spaces was located in the western portion of the building and appears to have been originally accessed via an entrance on the west elevation facing what was then a surface parking lot. This entrance on the west elevation was later infilled in 1957, and the existing main entrance was added at the west end of the south elevation.¹ In 1961, the two commercial tenant spaces appear to have been combined into one space.² A rear porch addition that had been constructed in 1954 was later demolished in 1981, and the existing rear addition was constructed.³ New windows were added on the north elevation in 1983.⁴ The original windows on the south elevation were replaced in 1989.⁵ The building was seismically upgraded in 1994.⁶ Earthquake damage to the roof trusses was repaired in 1995.⁷ An accessibility ramp was also constructed in 2001 to the south of the building.⁸

As shown in a historic photograph from circa 1974, 17017 W. Ventura Boulevard retained many of its original features through at least the 1970s. The building permit record does not note the exact date that the building's street-facing elevation was entirely remodeled, but it was likely sometime during the 1980s, possibly in 1989.⁹ Since the 1970s, the building's Late Tudor Revival-style features were removed, its storefronts and entrances reconfigured, and its gable roof altered. Additionally, interior non-load bearing partitions, features, materials, and finishes have been removed and replaced since the building's construction in 1946.

B10. Significance (Continued from Page 2):

Criterion A

Ventura Boulevard has served as a major thoroughfare in the San Fernando Valley since the late eighteenth century and continues to serve as the dominant commercial artery of the south San Fernando Valley. The street was paved in the 1920s; and yet, despite these road improvements, there was very little development along Ventura Boulevard in the Encino area through the early 1940s. Following World War II, the unprecedented demand for housing in Southern California resulted in the San Fernando Valley's postwar transformation from an agricultural to suburban community. In order to accommodate the San Fernando Valley's growing population, large residential subdivisions were subsequently constructed throughout Encino, and new commercial business were constructed along Ventura Boulevard.

17017 W. Ventura Boulevard as well as the neighboring properties to the west, 17001 and 17013 W. Ventura Boulevard, represent an early period of arterial commercial development in Encino. All three buildings were constructed in 1946 at the

¹ LADBS, Building Permit No. VN57430, July 22, 1957.

² LADBS, Building Permit No. VN83983, July 18, 1961.

³ LADBS, Building Permit No. VN87260, November 3, 1954; and LADBS, Building Permit No. VN 23332, January 15, 1981.

⁴ LADBS, Building Permit No. LA75940, November 1, 1983.

⁵ LADBS, Building Permit No. VN03749, August 22, 1989.

⁶ LADBS, Building Permit No. 97016-20000-16534, August 29, 1997.

⁷ LADBS, Building Permit No. VN71481, January 19, 1995.

⁸ LADBS, Building Permit No. 01016-20000-21384, November 5, 2001.

⁹ LABDS, Building Permit No. 2510040017, August 22, 1989.

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beginning of Encino's postwar development boom. According to the building permit record, 17013 W. Ventura Boulevard was the first of the three buildings to be permitted for construction. Owner Jules Holmain filed a new building permit with the City of Los Angeles on December 12, 1945.¹⁰ Owner M. L. Flowers subsequently filed a new building permit on February 26, 1946, which was followed by owners Dr. and Mrs. G. Stanley Gordon, who filed a new building permit for 17001 W. Ventura Boulevard on April 24, 1946.¹¹ While no architect is listed on either of the new building permits for 17001 or 17013 W. Ventura Boulevard, all three buildings were designed in the Tudor Revival style and originally exhibited similar architectural features. Because of their similar and cohesive appearance, it is likely the owners coordinated with one another on the design of their new buildings or the same architect designed all three buildings.

17017 W. Ventura Boulevard does not appear to meet the integrity considerations for the Arterial Commercial Development sub-theme. While it meets the eligibility standards for the Arterial Commercial Development sub-theme and represents an early period of commercial development in Encino, the building no longer retains integrity of design, feeling, materials, workmanship, and association due to the cumulative effect of alterations over time. If the building had not been altered, there might have been an increased potential for eligibility under Criterion A for its association with early arterial commercial development in Encino.

Criterion B

To be eligible for listing in the National Register under Criterion B, a property must be associated with lives of persons significant in our past. 17017 W. Ventura Boulevard was constructed by owner Marlon Franklin (Frank) Flowers. Flowers was in the investment business, a member of the Encino Chamber of Commerce for over 30 years, and a founding member of the Bank of Encino.¹² Research did not reveal Flowers to be an individual proven to have made an important contribution to the commercial development of Los Angeles; therefore, Flowers does not appear to meet the eligibility standards for the Commercial Merchants, Leaders, and Buildings theme of the LACHCS.

One of the first known commercial tenants of 17017 W. Ventura Boulevard was Encino Market in 1950 and Sale's Market by the mid-1950s. Research did not reveal specific information regarding Encino Market or Sale's Market, except that Sale's market was a small chain of grocery stores owned by James C. Sale with three other locations in Beverly Hills, Malibu, and Palm Springs.¹³ There is no evidence to suggest that 17017 W. Ventura Boulevard is associated with the lives of historic personages significant to our past. Therefore, the property does not appear to be significant under Criterion B.

Criterion C

To be eligible for listing under Criterion C, a property must embody the distinctive characteristics of a type, period, or method of construction, represent the work of a master, possess high artistic values, or represent a significant and distinguishable entity whose components may lack individual distinction. 17017 W. Ventura Boulevard was evaluated as an example of the Postmodern commercial building.

17017 W. Ventura Boulevard was originally constructed in 1946 as a Tudor Revival-style commercial building; however, the building's original design is no longer evident due to the cumulative effect of subsequent alterations. The street-facing elevation was likely remodeled in 1989 and now possesses features associated with Postmodern commercial buildings, including an exaggerated roofline and select references to earlier era vernacular architecture such as overhanging eaves and exposed rafter tails. Because this alteration occurred within the last fifty years, the evaluation below applies Criteria Consideration G. Criteria Consideration G states that a property achieving significance within the past fifty years is eligible for the National Register of Historic Places if it is of exceptional importance under at least one of the National Register Criteria.¹⁴

¹⁰ LABDS, Building Permit No. LA20416, December 12, 1945.

¹¹ LADBS, Building Permit No. LA5099, February 26, 1946; and LADBS, LA14650, April 24, 1946.

¹² "M.F. Flowers," *Los Angeles Times*, March 9, 1962.

¹³ "Sale's Market," Photograph, circa 1940, Eric Wienberg Collection of Malibu Matchbooks, Postcards, and Collectables, Los Angeles Public Library, match0044.tif.

¹⁴ *National Register Bulletin #15*, 41-43.

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The building is a basic example of a Postmodern building that does not exhibit quality of design through distinctive features. It also is not an important example within the context of Postmodern architecture. Important examples of Postmodern buildings exhibit high quality of design and/or are designed by a notable architect or architecture firm. Significant Postmodern buildings in Los Angeles include the Lee Burns Residence, Dyer House, and 708 House, all of which were identified by SurveyLA as eligible at a state and local level as excellent examples of Postmodern architecture.¹⁵ 17017 W. Ventura Boulevard is an unexceptional, but efficient building with few distinguishing aesthetic features. It is common and does not demonstrate any innovative, important, or outstanding design features. Additionally, the building was not originally constructed as a Postmodern commercial building, but altered in 1989 during which Postmodern features were applied to the street-facing elevation. It does not appear to meet the eligibility standards for Postmodernism. Therefore, 17017 W. Ventura Boulevard does not appear to be significant under this aspect of Criterion C nor does it meet Criteria Consideration G for its exceptional architectural importance at a local, state, or national level.

Spencer & Landon are noted as the architects on the original building permit.¹⁶ Spencer & Landon appear to have designed numerous buildings throughout Southern California in the 1930s and 1940s, including the Palm Springs Racquet Club (1936) in Palm Springs, 1940 North St. Andrews Place (1935) in Los Angeles, and a classroom building at the Main Street School (1936) in Los Angeles.¹⁷ They are not generally recognized for their greatness in the field of architecture at a local, state, or national level. Furthermore, the building's original design is no longer evident due to the cumulative effect of subsequent alterations. Geo. O. Chapman is noted as the contractor on the original building permit. Chapman is noted as the contractor for Engine Company No. 87 (1978) in Chatsworth and Empire Savings & Loan Association building (1957) in Pacoima.¹⁸ He is not generally recognized as a master builder at a local, state, or national level.

Lomax-Rock Associates are noted as the architects on the 1989 building permit for the alteration of the street-facing elevation.¹⁹ Jerrold E. Lomax and John Rock formed a partnership in the 1980s, which later dissolved in 1995.²⁰ Lomax studied architecture at the University of Houston and subsequently returned to Los Angeles in the early 1950s to join the practice of architect Craig Ellwood. In 1962, Lomax opened his own firm and appears to have overseen his own practice until the early 1980s when he partnered with Rock. After Lomax sold his share in Lomax-Rock Associates, he moved to Northern California where he continued an independent practice until his death in 2014. Rock continues to operate an independent practice now known as Rock Architects. Lomax-Rock Associates appear to have designed numerous buildings throughout Southern California, including 401 Jones Road (1982) in Oceanside and the Rice House (1993) in Glendale, which was listed in the Glendale Register of Historic Resources in 2010.²¹ Lomax and Rock both practiced in the late twentieth century, and the majority of their work appears to have been constructed within the last fifty years. As their body of work has not been the object of scholarly evaluation, there is not sufficient historical perspective to determine whether Lomax and Rock could be considered masters in the field of architecture at a local, state, or national level. However, even if Lomax and Rock were generally recognized for their greatness in the field, 17017 W. Ventura Boulevard does not appear to be a representative example of their work in comparison to other projects from this period such as the Rice House in Glendale. No contractor is noted on the 1989 building permit. 17017 W. Ventura Boulevard therefore does not appear to be significant under this aspect of Criterion C nor does it meet Criteria Consideration G for its association with an exceptionally important

¹⁵ Historic Resources Group, "Historic Resources Survey Report: Brentwood-Pacific Palisades Community Plan Area," *SurveyLA Los Angeles Historic Resources Survey* (City of Los Angeles Office of Historic Resources, November 2013), 63; and Historic Resources Group, "Historic Resources Survey Report: Sherman Oaks-Studio City-Toluca Lake-Cahuenga Pass Community Plan Area," *SurveyLA Los Angeles Historic Resources Survey* (City of Los Angeles Office of Historic Resources, January 2013).

¹⁶ LADBS, Building Permit No. VN5099, February 26, 1946.

¹⁷ Historic Resources Group, *City of Palm Springs Historic Context Statement and Survey Findings* (Palm Springs: City of Palm Springs, October 13, 2015); Katy Lain and Elizabeth Weaver, ICF Jones & Stokes, "California Department of Parks and Recreation Form Set, 1940 North St. Andrews Place," 2009; and "School Plans Advances by \$2,013,697 Projects," *Los Angeles Times*, July 19, 1936.

¹⁸ "Engine Company No. 87," Los Angeles Fire Department Historical Archive, accessed March 18, 2019, https://www.lafire.com/stations/FS087/FS087_1951-2007.htm; and "Savings Firm Office Opened," *Los Angeles Times*, May 5, 1957.

¹⁹ LADBS, Building Permit No. VN03749, August 22, 1989.

²⁰ Zoltan Pali, "Jerrold Lomax, 1927-2014," *The Architects Newspaper*, accessed April 9, 2019, <https://archpaper.com/2014/07/jerrold-lomax-1927-2014/>.

²¹ "Largest School Solar Plant Operating," *Los Angeles Times*, January 17, 1989; and "'Big Bold Moves' Take Top Design Honors," *Los Angeles Times*, January 8, 1995.

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architect or builder.

The possession of high artistic values refers to a building's articulation of a particular concept of design so fully that it expresses an aesthetic ideal.²² A building is eligible under this aspect of Criterion C would need to possess ornamentation and detail to lend it high artistic value, which 17017 W. Ventura Boulevard does not possess. Nor does it represent a significant and distinguishable entity whose components lack individual distinction, which generally applies to historic districts. The building is primarily surrounded by low-to-mid-rise residential and commercial buildings constructed between the 1940s and 2000s.

In conclusion, the property does not appear to be significant under Criterion C nor does it meet Criteria Consideration G for its exceptional architectural importance either individually or within a district.

Criterion D

Criterion D was not considered in this report, as it generally applies to archeological resources. There also is no reason to believe that the property has yielded or will yield information important to the prehistory or history of the local area, California, or nation.

Integrity

To be eligible for listing in the National Register, properties must retain their physical integrity from the period in which they gained significance. In the case of architecturally significant properties, the period of significance is normally the date of construction. For historically significant properties, the length of the historic associations usually measures the period of significance. As the property is significant under National Register Criterion A for its association with early arterial commercial development on Ventura Boulevard, the period of significance is 1946, the date of construction. However, due to the cumulative effect of alterations over time, the property does not retain the visual quality necessary to convey historic significance from this period. Because 17017 W. Ventura Boulevard does not appear significant under National Register Criterion C as a Postmodern-style building remodeled in 1989, the integrity of the 1989 alteration does not require examination. Therefore, the following is a point-by-point analysis of the seven aspects of integrity under Criterion A only:

- Location – The place where the historic property was constructed or the place where the historic event occurred.

The building has not been moved. Therefore, it retains integrity of location.

- Materials – The physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.

Alterations have affected the integrity of materials. According to the building permit record, 17017 W. Ventura Boulevard was originally designed in the Late Tudor Revival style and had at least two commercial tenant spaces. One of those tenant spaces was located in the western portion of the building and appears to have been originally accessed via an entrance on the west elevation facing what was then a surface parking lot. This entrance on the west elevation was later infilled in 1957, and the existing main entrance was added at the west end of the south elevation.²³ In 1961, the two commercial tenant spaces appear to have been combined into one space.²⁴ A rear porch addition that had been constructed in 1954 was later demolished in 1981, and the existing rear addition was constructed.²⁵ New windows were added on the north elevation in 1983.²⁶ The original windows on the south elevation were replaced in 1989.²⁷ The building was seismically upgraded in 1994.²⁸ Earthquake damage to the

²² *National Register Bulletin #15*, 20.

²³ LADBS, Building Permit No. VN57430, July 22, 1957.

²⁴ LADBS, Building Permit No. VN83983, July 18, 1961.

²⁵ LADBS, Building Permit No. VN87260, November 3, 1954; and LADBS, Building Permit No. VN 23332, January 15, 1981.

²⁶ LADBS, Building Permit No. LA75940, November 1, 1983.

²⁷ LADBS, Building Permit No. VN03749, August 22, 1989.

²⁸ LADBS, Building Permit No. 97016-20000-16534, August 29, 1997.

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roof trusses was repaired in 1995.²⁹ An accessibility ramp was also constructed in 2001 to the south of the building.³⁰

As shown in a historic photograph from circa 1974, 17017 W. Ventura Boulevard retained many of its original features through at least the 1970s. The building permit record does not note the exact date that the building's exterior was entirely remodeled, but it was likely sometime during the 1980s or early 1990s. Since the 1970s, the building's Late Tudor Revival-style features were removed, its storefronts and entrances reconfigured, and its gable roof altered. Additionally, interior non-load bearing partitions, features, materials, and finishes have been removed and replaced since the building's construction in 1946. Therefore, due to the cumulative effect of these alterations the overall integrity of materials has been lost.

- Design – The combination of elements that create the form, plan, space, structure, and style of a property.

The original design of the building is no longer evident due to the cumulative effect of subsequent alterations, namely the removal of the Late Tudor Revival-style features, the reconfiguration of the original storefronts and entrances, as well as the alteration of the gable roof; therefore, the overall integrity of design has been lost.

- Workmanship – The physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.

The techniques used in the construction of the building have been diminished as original materials have been removed and/or replaced. Therefore, the overall integrity of workmanship has been lost.

- Feeling – A property's expression of the aesthetic or historic sense of a particular period of time.

Due to the cumulative effect of subsequent alterations, the building no longer conveys integrity of feeling as a 1940s Late Tudor Revival-style commercial building.

- Setting – The physical environment of the historic property.

The immediate setting of the property has been altered by the construction of a rear addition in 1981 and an accessibility ramp in 2001.³¹ The broad setting has also noticeably changed. When 17017 W. Ventura Boulevard was constructed, the surrounding parcels were mostly undeveloped except for 17001 and 17013 W. Ventura Boulevard, which were constructed the same year at 17017 W. Ventura Boulevard. Since 17017 W. Ventura Boulevard's construction, 17027-17031 W. Ventura Boulevard and its addition were constructed to the west in 1953 and 1957, and 4917 N. Genesta Avenue was constructed to the northeast in 1957. Additionally, the majority of the surrounding parcels have since been developed with a mix of low-to-mid-rise residential and commercial buildings.

- Association – The direct link between an important event or person and a historic property.

Due to the cumulative effect of subsequent alterations, the building no longer conveys integrity of association under Criterion A with early arterial commercial development in Encino.

Conclusion

While the property at 17017 W. Ventura Boulevard appears to be significant under National Register Criterion A for its association with early arterial commercial development in Encino, it does not retain integrity; therefore, it is recommended ineligible for listing in the National Register.

California Register of Historical Resources

The California Register criteria for eligibility mirror those of the National Register. Therefore, 17017 W. Ventura Boulevard

²⁹ LADBS, Building Permit No. VN71481, January 19, 1995.

³⁰ LADBS, Building Permit No. 01016-20000-21384, November 5, 2001.

³¹ LADBS, Building Permit No. VN23332, January 18, 1981.

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is ineligible for listing in the California Register for the same reasons outlined above.

B12. References (Continued from Page 2):

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"Art & Architecture Thesaurus Full Record Display (Getty Research)." The Getty. Accessed August 3, 2017, <http://www.getty.edu/research/tools/vocabularies/aat/>.

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Roth, Leland M. *American Architecture*. Cambridge, MA: Perseus Books Group, 2001.

"Sale's Market." Photograph. circa 1940. Eric Wienberg Collection of Malibu Matchbooks, Postcards, and Collectables. Los Angeles Public Library. match0044.tif.

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State of California - The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #

HRI #

Trinomial

NRHP Status Code 6Z

Other Listings
Review Code

Reviewer

Date

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*Resource Name or #: (Assigned by recorder) 17027-17031 W. Ventura

Boulevard

P1. Other Identifier: None

*P2. Location: ☐ Not for Publication ☒ Unrestricted

*a. County Los Angeles and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Canoga Park, CA Date 2018 T ; R ; of of Sec ; B.M.

c. Address 17027-17031 W. Ventura Boulevard City Los Angeles Zip 91316

d. UTM: (Give more than one for large and/or linear resources) Zone , mE/ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, decimal degrees, etc., as appropriate)

APN # 2258-013-021 and ANP # 2258-013-022

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

17027-17031 W. Ventura Boulevard was originally constructed in 1953 as a bank building on the parcel associated with the address 17031 W. Ventura Boulevard and APN 2258-013-022. It was designed by architect John J. Landon for owner M. F. (Frank) Flowers. (Continued on Page 3.)

*P3b. Resource Attributes: (List attributes and codes) HP6. 1-3 story Commercial Building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5a. Photograph or Drawing (Photograph required for buildings, structures, and objects.)



P5b. Description of Photo: (view, date, accession #) 17027-17031 W. Ventura Blvd, looking N, 03/15/2019

*P6. Date Constructed/Age and

Source: ☒ Historic ☐ Prehistoric

☐ Both

1953/1957-1958; Los Angeles

Department of Building and Safety

*P7. Owner and Address:

17017 Venture LLC

18653 Ventura Blvd #333

Tarzana, CA 91356

*P8. Recorded by: (Name, affiliation, and address)

Emily Rinaldi

GPA Consulting

617 S. Olive Street, Suite 910

Los Angeles, CA 90014

*P9. Date Recorded: 03/20/2019

*P10. Survey Type: (Describe)

Intensive Survey

*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

GPA Consulting, "Historical Resource Evaluation Report for Ventura Boulevard, Los Angeles, California," March 2019

*Attachments: ☐ NONE ☐ Location Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photograph Record ☐ Other (List):

BUILDING, STRUCTURE, AND OBJECT RECORD

*Resource Name or # (Assigned by recorder) 17027-17031 W. Ventura Boulevard

*NRHP Status Code 6Z

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B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Commercial

B4. Present Use: Commercial

*B5. Architectural Style: Mid-Century Modern

*B6. Construction History: (Construction date, alterations, and date of alterations)

See continuation sheet.

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: N/A

Original Location: N/A

*B8. Related Features: N/A

B9a. Architect: John J. Landon

b. Builder: Encino Construction Co.

*B10. Significance: Theme Banks, 1900-1980; Commercial Merchants, Leaders, and Buildings, 1850-1980; Mid-Century Modern, 1945-1970

Area Encino

Period of Significance 1953-1961

Property Type Commercial

Applicable Criteria A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

National Register of Historic Places

Criterion A

To be eligible for listing in the National Register under Criterion A, a property must have a direct association with events that have made a significant contribution to the broad patterns of our history. The context considered in this evaluation was the Banks sub-theme of the LACHCS. (Continued on Page 3.)

B11. Additional Resource Attributes: (List attributes and codes) None.

*B12. References:

See continuation sheet.

B13. Remarks:

None.

*B14. Evaluator: Emily Rinaldi

*Date of Evaluation: 03/20/2019

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



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P3a. Description (Continued from Page 1):

In 1957-1958, an addition was constructed to the east of the original building on the parcel associated with the address 17027 W. Ventura Boulevard and APN 2258-013-021. It was also designed by architect John J. Landon for owner M.L. (Frank) Flowers. The 1953 building and 1958 addition are both two stories in height and rectangular in plan. The 1953 building extends further north than the 1958 addition. Both have flat roofs surrounded by concrete parapets. The exteriors are clad with brick veneer at the first story and stucco above. The main entrance is set back at the center of the 1953 building. It consists of two fully glazed, paired aluminum doors flanked by single-light sidelights.

There are five secondary entrances. To the east is an entrance to the ground-floor storefront on the 1958 addition. It consists of a single fully-glazed, aluminum door. Adjacent to the storefront entrance is a stair that extends to a second-floor balcony that is located on the east elevation of the 1958 addition. The stair has granite steps and a metal handrail. The entrance to the stair is covered by a metal security door. Along the second-floor balcony are two secondary entrances, each consisting of a fully glazed, single aluminum door. The remaining secondary entrances are located on the north elevations of the 1953 building and 1958 addition. Both consist of fully glazed, single aluminum doors within aluminum-and-glass storefront infill.

The street-facing (south) elevation of the 1953 building features a large rectangular window opening above the main entrance that is infilled with an aluminum-and-glass curtain wall. The windows at the ground-floor storefront are single-light fixed picture windows setback from the face of the 1958 addition. The remaining windows vary in size and are a mix of metal sliding sash, single-light fixed sash, and rows of single-light fixed window sash within wood frames. The 1953 building is topped with a projecting roof sign.

*B6. Construction History (Continued from Page 2):

17027-17031 W. Ventura Boulevard has been altered over time. In 1961-1962, the roof was altered in order to support new air conditions units, and a new neon projecting roof sign added.¹ In 1973-1975, the building's original interior features related to its bank use were likely entirely removed when the building was converted into a health spa.² A pool was also added on the first floor and a mansard-type roof installed on the building's south elevation.³ Interior non-load-bearing partitions were removed and new non-load-bearing partitions were constructed. The mansard-type roof was removed in 1987 and the building restuccoed and painted.⁴ It is possible that when the mansard-type roof was removed, the building's parapet was lowered as the existing parapet appears shorter than the parapet depicted in the circa 1974 historic photograph. In 1994, the building's roofing materials were removed and replaced. A portion of the storefront on the building's south elevation was remodeled in 1997.⁵ Additionally, the original signage has been removed and new signage has been installed by various tenants over the years.

Other alterations noted during the field inspection include the replacement of the original main entrance doors, the replacement of the window sash on the secondary story of the south elevation of the 1953 building, and the removal of the original secondary-story window on the south elevation of the 1958 addition. The single large rectangular opening on the 1958 addition was infilled with a new row of window sashes. A first-story window on the north elevation of the 1958 addition that was originally located to the west of the rear entrance appears to have been removed and infilled. A new porch was constructed at the rear entrance on the north elevation of the 1953 building. The second-story window openings on the north elevation of the 1953 building also appear to have been resized.

B10. Significance (Continued from Page 2):

Criterion A

17027-17031 W. Ventura Boulevard was originally constructed in 1953 by owner M. F. (Frank) Flowers for the Bank of Encino,

¹ LADBS, Building Permit No. VN11814, July 6, 1962; and LADBS, Building Permit No. LA95298, August 15, 1962.

² LADBS, Building Permit No. VN97437, May 21, 1973.

³ LADBS, Building Permit No. VN98803, June 18, 1973; and LADBS, Building Permit No. VN02879, September 28, 1973.

⁴ LADBS, Building Permit No. VN17672, February 24, 1987.

⁵ LADBS, Building Permit No. VN69116, December 13, 2019.

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of which Flowers was a founding member. In addition to Flowers, the bank was founded by several of Encino's most active and prominent civic figures at the time, including: R. J. Powers, head of the Powers & Stanley Talent Management Agency; Lawrence Wolff, Executive Assistant at Union Oil; W. L. Tooley, hotel owner, James C. E. Sale, president of Sale's Market, R. S. Norswing, president of Canoga Farms, Diel Klienber, rancher and retired businessman; Dr. Roland A. Newbold, dentist; and Anthony Travaglini, restaurateur.⁶ The Bank of Encino was reportedly the first independent banking institution in the west San Fernando Valley and appears to have been the first bank branch to be opened in Encino.⁷ It featured commercial, savings, and loan departments, and offered industrial real estate, commercial real estate, and individual real estate loans. In its first years, the bank reportedly concentrated its efforts on "business affairs and activity" and "building and development" in Encino, offering loans and extending credit to a variety of local businesses.⁸ The bank quickly grew to allegedly become the largest community bank in the San Fernando Valley, opening a second branch in Granada Hills in 1954 and a third branch in Sherman Oaks in 1957.⁹ In 1958, the Home Savings and Loan built a new bank branch in Encino at 17100 W. Ventura Boulevard, likely becoming the second bank branch to open in the community.¹⁰ The Bank of Encino later merged with the United California Bank in 1961, ceasing independent operation.¹¹ The United California Bank continued to occupy 17027-17031 W. Ventura Boulevard until 1974, when the building was converted into a health spa.

The building appears to meet the eligibility standards for the Banks sub-theme. It was originally designed and used as a bank building, constructed during the period of significance, and appears to have an important association with neighborhood banking and early commercial development in Encino. The building, however, no longer retains features related to its original use as a bank nor does it retain integrity of design, feeling, materials, workmanship, and association due to the cumulative effect of alterations over time. If the building had not been altered, there might have been an increased potential for eligibility under Criterion A for its association with neighborhood banking and early commercial development in Encino.

Criterion B

To be eligible for listing in the National Register under Criterion B, a property must be associated with lives of persons significant in our past. 17017 W. Ventura Boulevard was constructed by owner Marlon Franklin (Frank) Flowers. Flowers was in the investment business, a member of the Encino Chamber of Commerce for over 30 years, and a founding member of the Bank of Encino.¹² Research did not reveal Flowers to be an individual proven to have made an important contribution to the commercial development of Los Angeles; therefore, Flowers does not appear to meet the eligibility standards for the Commercial Merchants, Leaders, and Buildings theme of the LACHCS.

Richard J. Powers served as president of the Bank of Encino from its founding in 1953 through its merger with the United California Bank in 1961.¹³ Powers rose to prominence in the music publishing industry beginning in 1919. In 1933, he became the district manager of the American Society of Composers, Authors, and Publishers in New York and later came to Los Angeles in the 1940s as the ASCAP's western representative. He joined MGM in 1945 as coordinator of the record and music section and became head of the music department in 1947. He later founded his own firm, the Powers & Stanley Talent Management Agency. He served three terms of the President of the Encino Chamber of Commerce from 1941 to 1944 and two more from 1951 and 1953. He was also one of the founding members of the Bank of Encino. While Powers was an active and prominent civic figure in Encino from the 1940s until his death in 1967, research did not reveal that he made an important contribution to or gained importance in the field of banking in Los Angeles. Therefore, Powers does not appear to meet the eligibility standards for the Commercial Merchants, Leaders, and Buildings theme (see Table 3).

⁶ "Ground Broken for New Bank," *Los Angeles Times*, July 26, 1953.

⁷ "Bank of Encino to Open Branch in Granada Hills," *Van Nuys Valley News*, October 24, 1954.

⁸ Ibid; "Bank has Confidence in West Valley," *Van Nuys Valley News*, October 3, 1954.

⁹ "Bank of Encino to Open Branch in Granada Hills," *Van Nuys Valley News*, October 24, 1954; "Bank of Encino Located in Three Valley Offices," *Van Nuys Valley News*, January 22, 1957; and "\$500,000 Unit for Bank of Encino Set," *Van Nuys Valley News*, June 10, 1956.

¹⁰ "Branch to Open Soon," *Los Angeles Times*, April 24, 1957.

¹¹ "Two Banks to Merge Here; Increased Services Offered," *Van Nuys Valley News*, April 6, 1961.

¹² "M.F. Flowers," *Los Angeles Times*, March 9, 1962.

¹³ "Ground Broken for New Bank," *Los Angeles Times*, July 26, 1953; "R. J. Powers Services Set for Tuesday," *Los Angeles Times*, October 16, 1967.

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There is no evidence to suggest that 17017 W. Ventura Boulevard is associated with the lives of historic personages significant to our past. Therefore, the property does not appear to be significant under Criterion B.

Criterion C

To be eligible for listing under Criterion C, a property must embody the distinctive characteristics of a type, period, or method of construction, represent the work of a master, possess high artistic values, or represent a significant and distinguishable entity whose components may lack individual distinction. 17027-17031 W. Ventura Boulevard was evaluated as an example of the Mid-Century Modern style of the LACHCS.

The building is a basic example of a Mid-Century Modern bank building that does not exhibit quality of design through distinctive features. 17027-17031 W. Ventura Boulevard possess distinctive features associated with Mid-Century Modern commercial buildings, such as large floor-to-ceiling windows, simple, geometric volumes, horizontal massing, and unornamented wall surfaces; however, it is not an important example within the context of Mid-Century Modern architecture. The Mid-Century Modern style was applied to numerous commercial buildings throughout Los Angeles in the postwar period. Important examples of Mid-Century Modern-style commercial buildings exhibit high quality of design and/or are designed by a notable architect or architecture firm. Significant Mid-Century Modern commercial buildings in Los Angeles include the Cinerama Dome in Hollywood (HCM No. 659), Mutual Housing Association Site Office in Brentwood (HCM No. 680), Neutra Office Building in Silverlake (HCM No. 676), and Century Plaza Hotel in Century City (HCM No. 1060). 17027-17031 W. Ventura Boulevard is an unexceptional, but efficient building with few distinguishing aesthetic features. It is common and does not demonstrate any innovative, important, or outstanding design features. It does not appear to meet the eligibility standards for the Mid-Century Modern style.

John James Landon is noted as the architect on the original 1953 building permit and on the 1958 building permit for the addition.¹⁴ Landon appears to have previously been a partner at Spencer & Landon, who designed 17017 W. Ventura Boulevard in 1946. He later established his own practice by 1953. He is noted as the architect of the Arroyo Secco regional branch of the Los Angeles Public Library at 6145 N. Figueroa Street and the Silverlake Presbyterian Church at 2930 Hyperion Avenue.¹⁵ Landon is not generally recognized for his greatness in the field of architecture at a local, state, or national level. Encino Construction Co. is noted as the contractor on the original 1953 building permit. The firm is also noted as the contractor of a fire station at 3036 Fletcher Drive in Los Angeles, and a new school building at St. Francis de Sales parochial school at 13370 Valleyheart Drive.¹⁶ Encino Construction Co. is not generally recognized as a master builder at a local, state, or national level. No contractor is noted on the permit for 1958 addition. Therefore, 17027-17031 W. Ventura Boulevard does not represent the work of a master architect or builder.

The possession of high artistic values refers to a building's articulation of a particular concept of design so fully that it expresses an aesthetic ideal.¹⁷ A building is eligible under this aspect of Criterion C would need to possess ornamentation and detail to lend it high artistic value, which 17027-17031 W. Ventura Boulevard does not possess. Nor does it represent a significant and distinguishable entity whose components lack individual distinction, which generally applies to historic districts. The building is primarily surrounded by low-to-mid-rise residential and commercial buildings constructed between the 1940s and 2000s.

In conclusion, the property does not appear to be significant under Criterion C.

Criterion D

Criterion D was not considered in this report, as it generally applies to archeological resources. There also is no reason to believe that the property has yielded or will yield information important to the prehistory or history of the local area,

¹⁴ LADBS, Building Permit No. VN56701, July 15, 1953; and LADBS, Building Permit No. VN02708, July 11, 1957.

¹⁵ "Highland Park Library Slated," *Los Angeles Times*, December 14, 1958; and "Dedication Held for Silverlake Church," *Los Angeles Times*, February 28, 1960.

¹⁶ "Contract Given for Fire Station," *Los Angeles Times*, October 28, 1957; and "New Parochial School to Rise in Studio City," *Los Angeles Times*, March 5, 1961.

¹⁷ *National Register Bulletin* #15, 20.

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California, or nation.

Integrity

To be eligible for listing in the National Register, properties must retain their physical integrity from the period in which they gained significance. In the case of architecturally significant properties, the period of significance is normally the date of construction. For historically significant properties, the length of the historic associations usually measures the period of significance. As the property is significant under National Register Criterion A for its association with neighborhood banking and early commercial development in Encino, the period of significance is 1953 to 1961, the date of construction to the date the Bank of Encino ceased independent operation. However, due to the cumulative effect of alterations over time, the property lacks integrity as a whole.

Following is a point-by-point analysis of the seven aspects of integrity:

- Location – The place where the historic property was constructed or the place where the historic event occurred.
The building has not been moved. Therefore it retains integrity of location.
- Materials – The physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.

Alterations undertaken after the period of significance have affected the integrity of materials for the property. In 1961-1962, the roof was altered in order to support new air conditions units, and a new neon projecting roof sign added.¹⁸ In 1973-1975, the building's original interior features related to its bank use were likely entirely removed when the building was converted into a health spa.¹⁹ A pool was also added on the first floor and a mansard-type roof installed on the building's south elevation.²⁰ Interior non-load-bearing partitions were removed and new non-load-bearing partitions were constructed. The mansard-type roof was removed in 1987 and the building restuccoed and painted.²¹ It is possible that when the mansard-type roof was removed, the building's parapet was lowered as the existing parapet appears shorter than the parapet depicted in the circa 1974 historic photograph (see Figure 18). In 1994, the building's roofing materials were removed and replaced. A portion of the storefront on the building's south elevation was remodeled in 1997.²² Additionally, the original signage has been removed and new signage has been installed by various tenants over the years.

Other alterations noted during the field inspection include the replacement of the original main entrance doors, the replacement of the window sash on the secondary story of the south elevation of the 1953 building, and the removal of the original secondary-story window on the south elevation of the 1958 addition. The single large rectangular opening on the 1958 addition was infilled with a new row of window sashes. A first-story window on the north elevation of the 1958 addition that was originally located to the west of the rear entrance appears to have been removed and infilled. A new porch was constructed at the rear entrance on the north elevation of the 1953 building. The second-story window openings on the north elevation of the 1953 building also appear to have been resized.

Due to the cumulative effect of these exterior and interior alterations, the overall integrity of materials has been lost.

- Design – The combination of elements that create the form, plan, space, structure, and style of a property.
Because of the building's minimal detailing, alterations the materials, such as those described above, have a greater impact on integrity than they might otherwise. Therefore, the original design of the building is no longer evident due to the cumulative effect of these alterations, most especially the removal of original storefronts and window

¹⁸ LADBS, Building Permit No. VN11814, July 6, 1962; and LADBS, Building Permit No. LA95298, August 15, 1962.

¹⁹ LADBS, Building Permit No. VN97437, May 21, 1973.

²⁰ LADBS, Building Permit No. VN98803, June 18, 1973; and LADBS, Building Permit No. VN02879, September 28, 1973.

²¹ LADBS, Building Permit No. VN17672, February 24, 1987.

²² LADBS, Building Permit No. VN69116, December 13, 2019.

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sashes, the resizing of original window openings, the lowering of the parapet, and the removal of all interior features related to the building's original bank use. Therefore, the overall integrity of design has been lost.

- Workmanship – The physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.

The techniques used in construction of the building have been diminished as original materials and features have been removed and/or replaced. Therefore, the overall integrity of workmanship has been lost.

- Feeling – A property's expression of the aesthetic or historic sense of a particular period of time.

Distinctive features that would have identified this building as a bank, namely exterior signage and interior decorative features, have been stripped from the building; therefore, it no longer conveys integrity of feeling as a 1950s bank building.

- Setting – The physical environment of the historic property.

The immediate setting of the property has been altered by the partial replacement of concrete at the sidewalk to the south and by the construction of a porch to the north. The broad setting has also been diminished by changes to the built environment over time. Neighboring properties constructed after the end of the period of significance include: 4949 Genesta Avenue (1974), 17047 W. Ventura Boulevard (1970), and 17050 W. Ventura Boulevard (2005).

- Association – The direct link between an important event or person and a historic property.

The building's original use is no longer apparent as a result of the removal of distinctive features that would have identified it as a bank. Therefore, due to the cumulative effect of subsequent alterations, the building no longer conveys integrity of association under Criterion A with neighborhood banking and early commercial development in Encino.

Conclusion

While the property at 17027-17031 W. Ventura Boulevard appears to be significant under National Register Criterion A for its association with neighborhood banking as a subtheme of early commercial development in Encino, it does not retain integrity; therefore, it is ineligible for listing in the National Register.

California Register of Historical Resources

B12. References (Continued from Page 2):

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Appendix C – Entitlement Submittal

LEGAL DESCRIPTION

All that certain real property situated in the county of los angeles, state of California, described as follows:

PARCEL 1:
LOT 21 OF BLOCK G OF THE ENCINO TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 61, PAGES 82 AND 83 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 2:
LOTS 9, 10, 11 AND THE WESTERLY 6.88 FEET OF LOT 8, IN BLOCK "G" OF THE ENCINO TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 61, PAGES 82 AND 83 OF MAPS, AS SHOWN ON THE MAP FILED IN BOOK 64, PAGE 37 OF RECORDS OF SURVEY, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM THOSE PORTIONS THEREOF LYING WITHIN THE LINES OF OCCUPATION ON THE GROUND OF THE ALLEY ABUTTING LOTS 10 AND 11 ON THE NORTH, FROM INFORMATION COMMUNICATION TO THESELLER, IT WOULD APPER THAT SAID ALLEY AS SO OCCUPIED OVERLAPS THE NORTHERLY LINE OF SAID LOTS 10 AND 11 FROM A DISTANCE OF 0.35 FEET, MORE OR LESS, AT THE NORTHEAST CORNER OF SAID LOT 10 TO A DISTANCE OF 0.11 FEET, MORE OR LESS, AT THE NORTHWEST CORNER OF SAID LOT 11.

PARCEL 3:
THE EAST 150 FEET OF LOT 44 OF BLOCK "G" OF THE ENCINO TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 61, PAGES 82 AND 83 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 4:
LOTS 6, 7 AND 8 IN BLOCK "G" OF THE ENCINO TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 61, PAGES 82 AND 83 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THAT PORTION OF SAID LOT 8 DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF LOT 9 OF SAID BLOCK G OF THE ENCINO TRACT; THENCE SOUTH 74°16'35" EAST ALONG THE SOUTHERLY LINE SAID LOT 8 A DISTANCE OF 6.88 FEET; THENCE NORTH 0°03'29" WEST PARALLEL WITH THE EAST LINE SAID LOT 9, A DISTANCE OF 125.01 FEET TO THE NORTHERLY LINE OF SAID LOT 8; THENCE NORTH 74°15'53" WEST ALONG SAID NORTHERLY LONE 6.88 FEET TO THE NORTHEAST CORNER OF SAID LOT 9; THENCE SOUTH 0°03'29" EAST ALONG SAID EAST LINE OF LOT 9, A DISTANCE OF 125.01 FEET TO THE POINT OF BEGINNING.

PARCEL 5:
THE WESTERLY 150 FEET OF LOT 45, MEASURED ALONG THE NORTHERLY LINE OF SAID LOT 45 OF BLOCK "G" OF THE ENCINO TRACT, AND THE WESTERLY 150 FEET, MEASURED ALONG THE NORTHERLY LINE OF LOT 44 OF BLOCK "G" ENCINO TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 61, PAGES 82 AND 83 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 6:
THE WESTERLY 150 FEET OF LOT 44, MEASURED ALONG THE NORTHERLY LINE OF SAID LOT 45 OF BLOCK "G" OF THE ENCINO TRACT, AND THE WESTERLY 150 FEET, MEASURED ALONG THE NORTHERLY LINE OF LOT 44 OF BLOCK "G" ENCINO TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 61, PAGES 82 AND 83 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 2258-013-020; 2258-013-021; 2258-013-022; 2258-014-001; 2258-015-014; 2258-015-015; 2258-015-016

RENDER VIEW



SHEET INDEX

- PPE-0 PARKPOINTE ENCINO COVER SHEET
PPE-1 PARKPOINTE ENCINO OVERALL SITE PLAN
PPE-2 PARKPOINTE ENCINO TOPO SURVEY
PPE-3 PARKPOINTE ENCINO DEMOLITION PLAN
PPE-4 PARKPOINTE ENCINO TREE SURVEY
- PARKPOINTE ENCINO - COMMERCIAL BUILDING -
A0.0 COVER SHEET
A1.0 SITE PLAN
A2.0 FIRST FLOOR PLAN
A2.1 SECOND FLOOR PLAN
A2.2 THIRD FLOOR PLAN
A2.3 ROOF PLAN
A3.0 BUILDING ELEVATIONS
A3.1 BUILDING ELEVATIONS
A4.0 BUILDING SECTIONS
- PARKPOINTE ENCINO - ELDER CARE BUILDING -
G 1.1 TITLE SHEET
A 1.0 OVERALL SITE PLAN
A 1.1 ENLARGED SITE PLAN WEST
A 1.2 ENLARGED SITE PLAN EAST
A 2.1 FIRST FLOOR PLAN
A 2.2 SECOND FLOOR PLAN
A 2.3 THIRD FLOOR PLAN
A 2.4 FOURTH FLOOR PLAN
A 2.5 FIFTH FLOOR PLAN
A 2.6 ROOF PLAN
A 3.1 EXTERIOR ELEVATIONS NORTH & EAST
A 3.2 EXTERIOR ELEVATIONS SOUTH & WEST
A 4.1 SECTIONS
A 4.2 SECTIONS
A 4.3 SECTIONS
A 5.1 PERSPECTIVE RENDERINGS
A 5.2 PERSPECTIVE RENDERINGS
A 5.3 COURTYARD RENDERINGS
A 5.4 OVERALL PERSPECTIVE RENDERINGS
A 5.5 OVERALL PERSPECTIVE RENDERINGS
- PARKPOINTE ENCINO - PARKING DRAWINGS -
PK1.01 SITE PLAN + PARKING SUMMARY
PK2.01W B1 LEVEL - WEST
PK2.01E B1 LEVEL - EAST
PK2.02W B2 LEVEL - WEST
PK2.02E B2 LEVEL - EAST
PK2.03W B3 LEVEL - WEST
PK2.03E B3 LEVEL - EAST
PK2.04W B4 LEVEL - WEST
PK2.04E B4 LEVEL - EAST
PK3.01W LONGITUDINAL SECTION - WEST
PK3.01E LONGITUDINAL SECTION - EAST
PK3.02 CROSS SECTION
- PARKPOINTE ENCINO - LANDSCAPE DRAWINGS -
L - 1.0 OVERALL LANDSCAPE PLAN
L - 1.1 PRELIMINARY LANDSCAPE PLAN
L - 2.1 ELDER CARE - SOUTH COURTYARD LANDSCAPE PLAN
L - 2.2 ELDER CARE - ARRIVAL COURT LANDSCAPE PLAN
L - 3.1 PLANT IMAGERY

PROJECT DESCRIPTION

COMMERCIAL BUILDING 3 STORY COMMERCIAL BLDG. LOCATED ON VENTURA BLVD.
ELDER CARE FACILITY 5 STORY ELDER CARE FACILITY OVER 3 LEVELS OF SUBTERRANEAN PARKING
SUBTERRANEAN PARKING 3 LEVELS OF PARKING THAT SERVE COMMERCIAL BUILDING + ELDER CARE FACILITY
SURFACE PARKING LOT SURFACE PARKING LOT OVER SUBTERRANEAN PODIUM

COUNCIL DISTRICT

COUNCIL DISTRICT 5 - PAUL KORETZ
GENERAL PLAN: ENCINO - TARZANA COMMUNITY PLAN AREA
SPECIFIC PLAN: VENTURA - CAHUENGA CORRIDOR NEIGHBORHOOD OFFICE

PARKING SUMMARY

PARKING SPACES	REQUIRED	PROVIDED
COMMERCIAL BUILDING (1 SPACE PER 200 GSF)	278	326
ELDER CARE BUILDING (1 SPACE PER GUEST ROOM) PER L.A.M.C. 12-21 A2 (u) ALZHEIMER'S/DEMENTIA CARE 0.2 SPACES PER BED ELDER CARE TOTAL	33 5 38	33 5 38
TOTAL PARKING	316	364

PROJECT INFORMATION

SITE ADDRESS

COMMERCIAL BLDG. -17017-17031 VENTURA BLVD.
ELDER CARE -4929 GENESTA AVE.
SURFACE PARKING LOT -5018 AMESTOY AVE.
ENCINO, CA 91316

OWNER

17017 VENTURA LLC
C/O TRISTAR REALTY GROUP
18653 VENTURA BLVD. SUITE 333
TARZANA, CA 91356

CIVIL

HUITT-ZOLLARS
90 EAST THOUSAND OAKS BLVD., STE.201
THOUSAND OAKS, CA 91380

LAND USE CONSULTANT

ARMBRUSTER GOLDSMITH & DELVAC LLP
12100 WILSHIRE BLVD. STE. 1600
LOS ANGELES, CA 90025

PARKING ARCHITECT

WALTER P. MOORE & ASSOCIATES
707 WILSHIRE BLVD., STE. 2100
LOS ANGELES, CA 90017

APN:	CURRENT ZONE:	PROPOSED ZONE:	SPECIFIC PLAN DESIGNATION:
COMMERCIAL LOT: 2258-013-022 2258-013-021 2258-013-020 ELDER CARE LOT: 2258-015-014 2258-015-015 2258-015-016 SURFACE PARKING LOT: 2258-014-001	C4-1VL C4-1VL C4-1VL P-1VL P-1VL P-1VL P-1VL	C4 C4 C4 C2 C2 C2 C2	VENTURA-CAHUENGA CORRIDOR SPECIFIC PLAN VENTURA-CAHUENGA CORRIDOR SPECIFIC PLAN VENTURA-CAHUENGA CORRIDOR SPECIFIC PLAN VENTURA-CAHUENGA CORRIDOR SPECIFIC PLAN VENTURA-CAHUENGA CORRIDOR SPECIFIC PLAN VENTURA-CAHUENGA CORRIDOR SPECIFIC PLAN VENTURA-CAHUENGA CORRIDOR SPECIFIC PLAN
BICYCLE PARKING			
COMMERCIAL BUILDING ELDER CARE BUILDING TOTAL BICYCLE PARKING	11/6 17/9 28/15	11/6 17/9 28/15	11/6 17/9 28/15

PROJECT DATA

LOT AREA:	SF	ACRES
COMMERCIAL BUILDING LOT: ELDER CARE BUILDING LOT: SURFACE PARKING LOT: TOTAL LOT AREA	22,521 S.F. 35,663 S.F. 17,902 S.F. 76,086 S.F.	0.52 0.81 0.42 1.75
LOT COVERAGE:	ALLOWED	PROVIDED
COMMERCIAL BUILDING ELDER CARE BUILDING TOTAL LOT COVERAGE	60% 60% 60%	87% 47% 49%
FLOOR AREA RATIO:	ALLOWED	PROVIDED
COMMERCIAL BUILDING: 22,521 S.F. ELDER CARE BUILDING: 35,663 S.F. TOTAL	1.0:1 (22,521 S.F.) 1.0:1 (35,663 S.F.) 1.0:1	2.46:1 (55,416 S.F.) 2.25:1 (80,225 S.F.) 2.33:1
BLDG FLOOR AREAS:	-	55,416 S.F. 80,225 S.F. 135,641 S.F.
HEIGHTS:	30'-0" 30'-0"	48'-2" 58'-6"
SETBACKS:	REQUIRED	PROVIDED
COMMERCIAL LOT: FRONT SETBACK SIDE SETBACK REAR SETBACK (FROM CL OF ALLEY)	1'-6" 0'-0" 20'-0"	1'-6" 0'-0" 20'-0"
ELDER CARE BUILDING: FRONT SETBACK NORTH SIDE SETBACK SOUTH SIDE SETBACK REAR SETBACK	60'-0" 8'-0" 8'-0" 18'-0"	113'-4" 9'-2" TO 15'-5" 9'-0" 0'-0"

ELDER CARE UNIT MIX NUMBER OF GUEST ROOMS

ASSISTED LIVING 66
ALZHEIMER'S/DEMENTIA 24
TOTAL 90

LANDSCAPE TABULATIONS

LANDSCAPE AND IRRIGATION COMPLIANCE WITH REQUIREMENTS IN ACCORDANCE WITH CITY OF LOS ANGELES LANDSCAPE ORDINANCE NO. 170.978:

GUIDELINES K - VEHICULAR USE AREAS
1 TREE PER 4 PARKING SPACES REQUIRED AT PARKING AREAS
TOTAL PARKING SPACES (NOT INCLUDING SECURED AREAS) =12
TREES REQUIRED =3
TREES PROVIDED =5

PARKING TREE SIZE REQUIRED =24" BOX
PARKING TREE SIZE PROVIDED =36" BOX

TOTAL PARKING AREA =2,109 S.F.
PARKING SHADING REQUIRED 50% AFTER 10 YEAR GROWTH =1,054 S.F.
PARKING SHADING PROVIDED =675 S.F.

GUIDELINES O - LANDSCAPE POINT SYSTEM
TOTAL SITE AREA =53,577 S.F.
TOTAL POINTS REQUIRED BASED ON LOT SIZE (TABLE 1) =30 POINTS

-GROUPING OF STREET TREES IN PLANTING AREAS =2 POINTS
- STREET TREES TO SHADE THE STREET =13 POINTS

(1) POINT PER UNDERSTORY TREE
(13) TREES PROVIDED
- 30' ON CENTER MAXIMUM =16 POINTS
(2) POINTS PER TREE
(8) TREES PROVIDED
- STREET TREE PLANTED LARGER THAN 15 GALLON =39 POINTS
(3) POINTS PER 36" BOX
(13) NEW 36" BOX TREES PROVIDED
TOTAL POINTS EARNED: 70 POINTS, EXCEEDS REQUIRED 30 POINTS.

LEVELS	STANDARD		COMPACT		STANDARD & VAN SPACES	CAL GREEN			TOTAL STALLS	SQUARE FOOT AREA		TOTAL SF AREA	# SF. FT. PER STALL
	STANDARD	STANDARD TANDEM	COMPACT	COMPACT TANDEM		CA/VP/IEV	CA/VP/IEV (EVS)	CHARGING STATIONS		ON-GRADE SF AREA	BELOW GRADE SF AREA		
GROUND LEVEL					12				12	5,878		5,878	490
B1 LEVEL	62	4	8	1		6	19	5	105		52,140	52,140	497
B2 LEVEL	104	4	14	1					123		52,140	52,140	424
B3 LEVEL	110	4	8	2					124		52,140	52,140	420
TOTAL	276	12	30	4	12	6	19	5	364	5,878	156,420	162,298	
RATIOS	76%	3%	8%	1%	3%	2%	5%	1%	100%				



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626.590.1818

PARKPOINTE ENCINO
17017 -17031 Ventura Boulevard
4929 North Genesta Avenue
5018 North Amestoy Avenue

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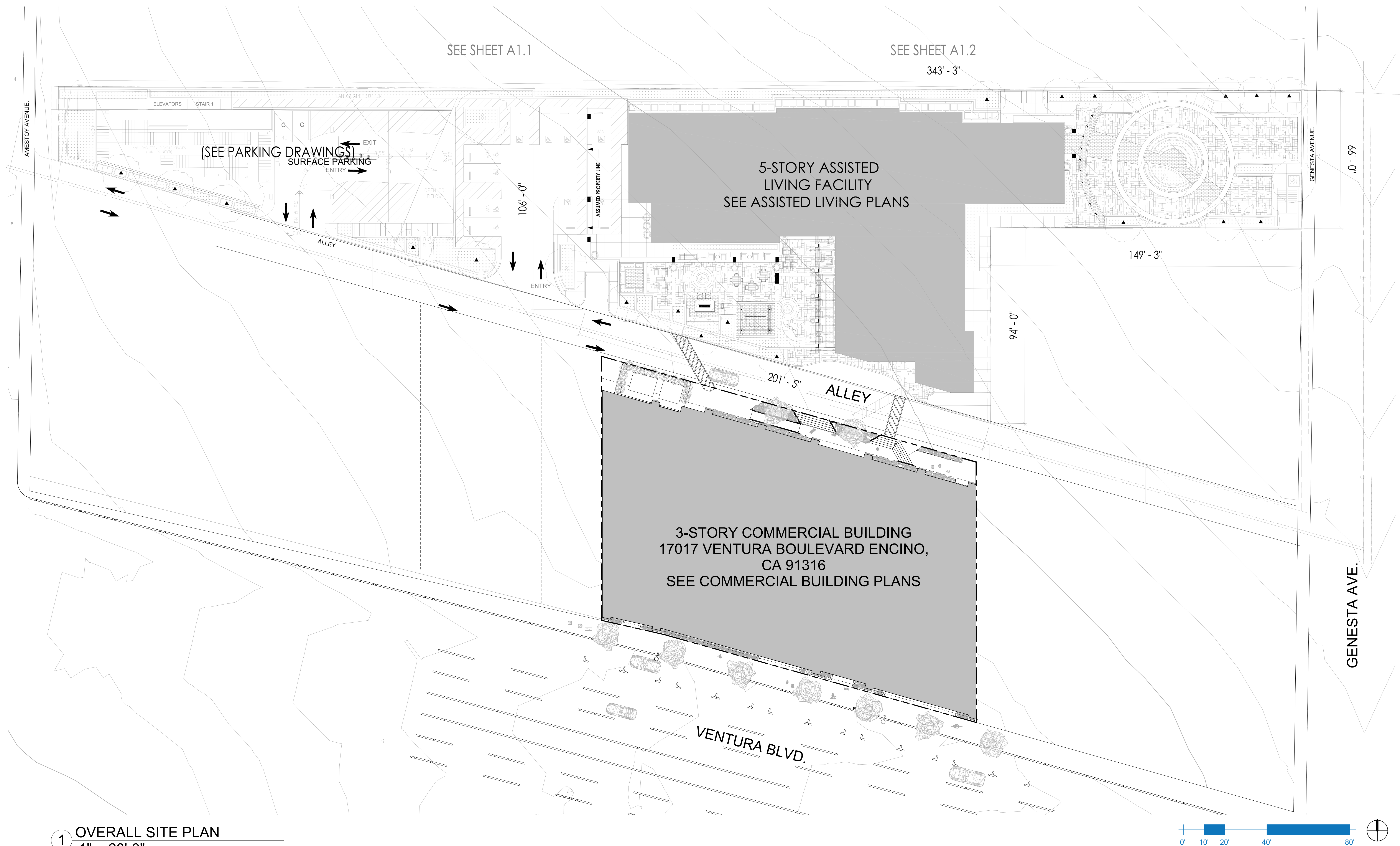
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SHEET TITLE

PARKPOINTE
ENCINO
COVER SHEET

Date Issued 09-11-2020

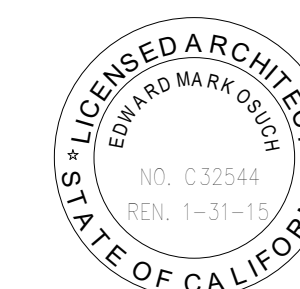
PPE-0



1 OVERALL SITE PLAN
1" = 20'-0"



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PARKPOINTE ENCINO

17017 -17031 Ventura Boulevard
4929 North Genesta Avenue
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SHEET TITLE
**PARKPOINTE
ENCINO
OVERALL
SITE PLAN**

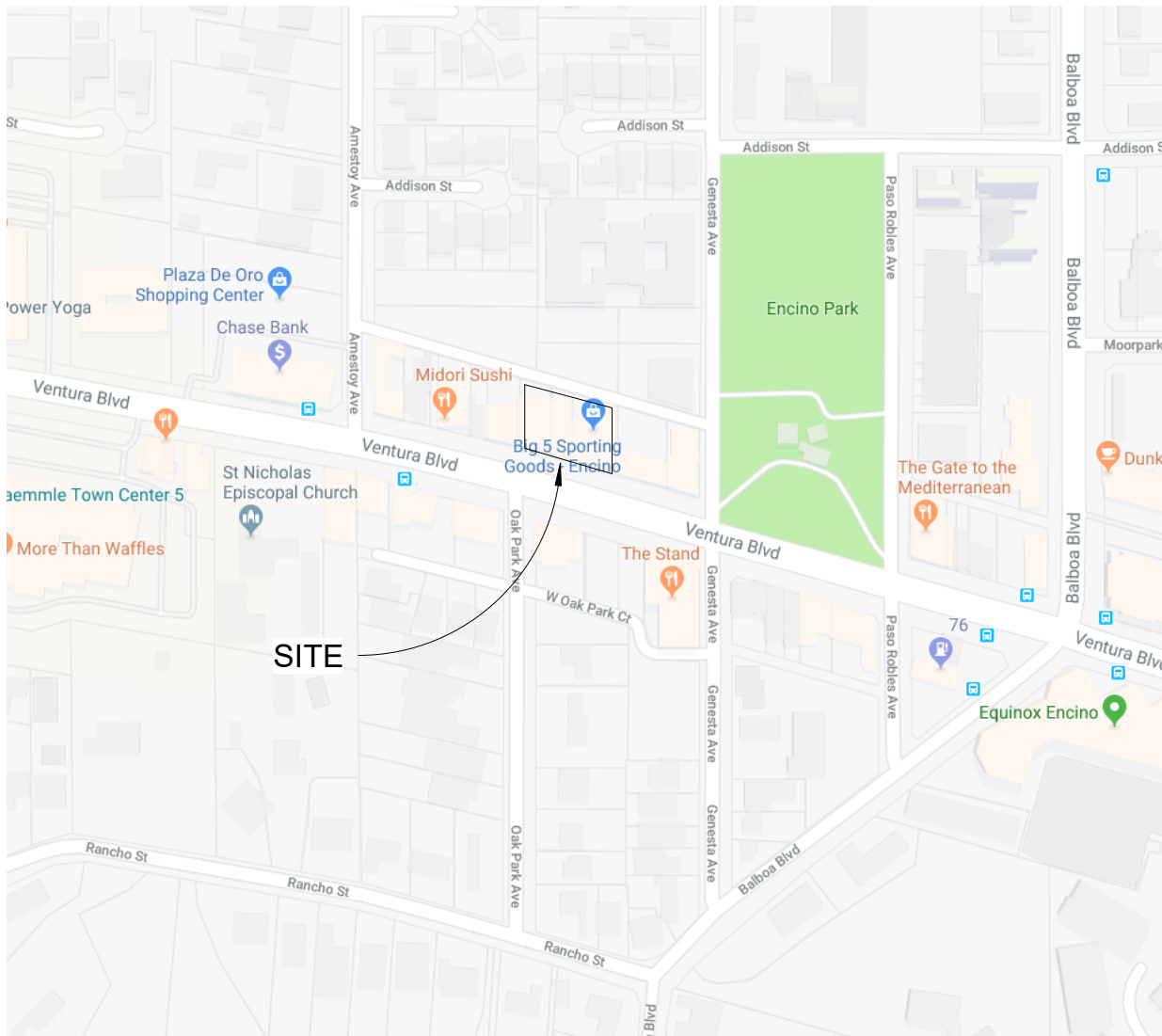
Date Issued 09-11-2020

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PARKPOINTE ENCINO

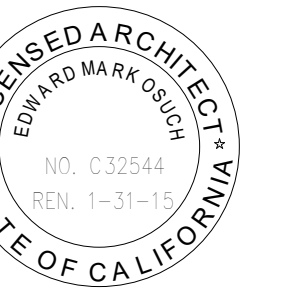
17017 VENTURA BLVD.
ENCINO, CA 91316



PROJECT DATA	LEGAL DESCRIPTION	PROJECT TEAM	SHEET INDEX	VICINITY MAP
<div>ADDRESS:17017 VENTURA BLVD. ENCINO, CA 91316</div> <div>ZONING:C4-1VL</div> <div>COMMUNITY PLAN: ENCINO-TARZANA COMMUNITY PLAN</div> <div>LAND DESIGNATION: NEIGHBORHOOD OFFICE COMMERCIAL</div> <div>SPECIFIC PLAN: VENTURA-CAHUENGA CORRIDOR</div> <div>PROPOSED PROJECT: THREE-STORY COMMERCIAL BUILDING LOCATED ON VENTURA BLVD.</div> <div>PROPOSED OCCUPANCY: B BUSINESS</div> <div>CONSTRUCTION TYPE: II-A</div>	<div>ENCINO MAP BOOK 61, PAGE 82-83</div> <div>PARCEL #2 APNS2258-013-021, 2258-013-022 LOTS9, 10, 11</div> <div>PARCEL #4 APN2258-013-020 LOTS6, 7, 8</div>	<div>OWNER 17017 VENTURA LLC c/o TRISTAR REALTY GROUP 18653 VENTURA BOULEVARD SUITE 333 TARZANA, CA 91356</div> <div>ARCHITECT NEO & ASSOCIATES 2115 HUNTINGTON DR. SAN MARINO, CA 91108</div> <div>CIVIL ENGINEER HUITT-ZOLLARS 90 EAST THOUSAND OAKS BOULEVARD SUITE 201 THOUSAND OAKS, CA 91360</div>	<div>A0.0COVER SHEET</div> <div>A1.0SITE PLAN</div> <div>A2.0FIRST FLOOR PLAN</div> <div>A2.1SECOND FLOOR PLAN</div> <div>A2.2THIRD FLOOR PLAN</div> <div>A2.3ROOF PLAN</div> <div>A3.0BUILDING ELEVATIONS</div> <div>A3.1BUILDING ELEVATIONS</div> <div>A4.0BUILDING SECTIONS</div>	



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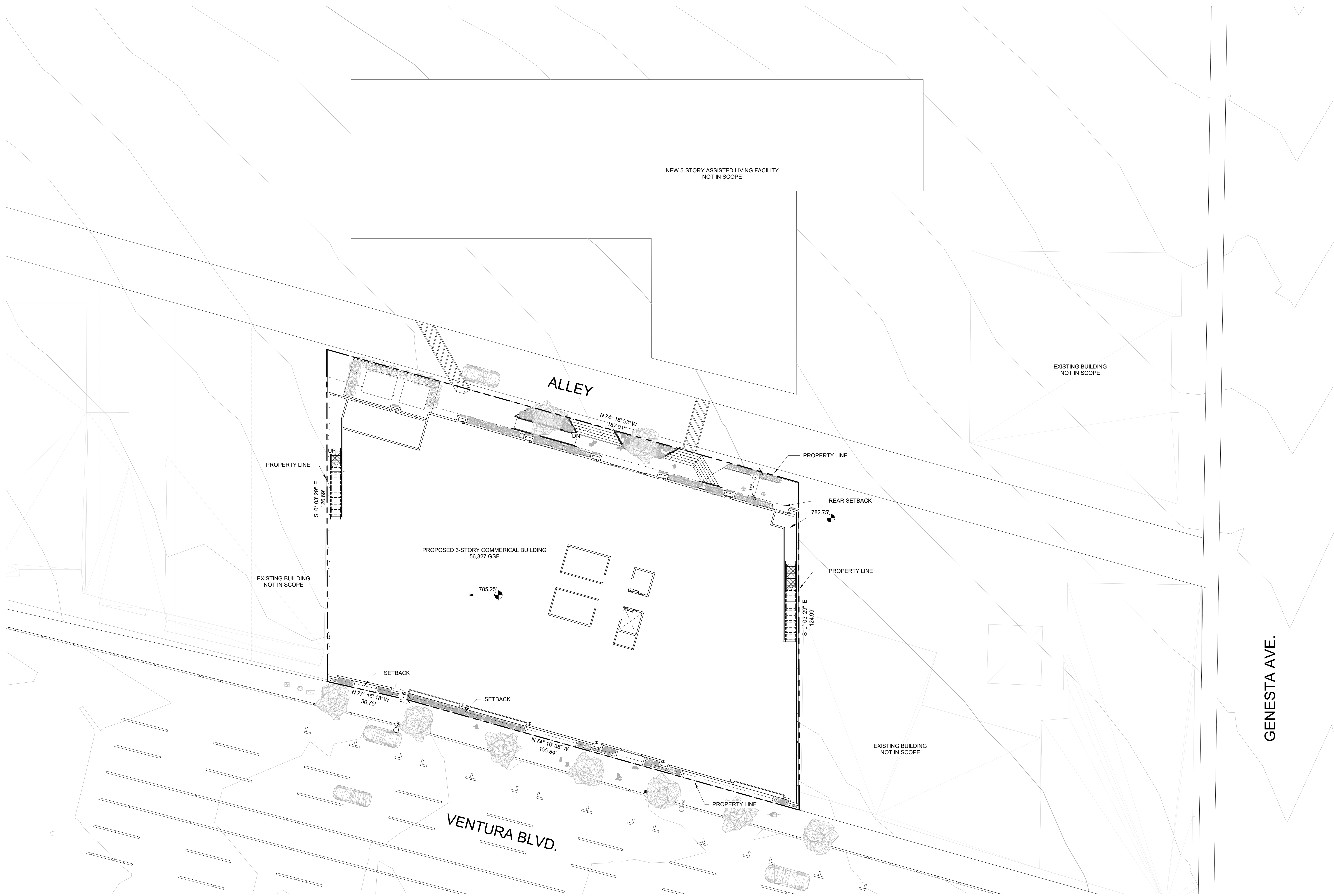
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COVER SHEET

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1 SITE PLAN
1/16" = 1'-0"

PARKING REQUIREMENTS

BICYCLE SPACES REQUIRED (PER LAMC SEC 12 21A 16 a.2)	
LONG-TERM	1/5,000 SF (MIN. 2)
SHORT-TERM	11 SPACES (55,681 SF / 5,000 SF)
6 SPACES (55,681 SF / 10,000 SF)	
TOTAL BICYCLE PARKING REQUIRED 17 SPACES	

AUTOMOBILE PARKING REQUIRED 5 SPACE PER 1,000SF	= 278 PARKING SPACES
TOTAL PARKING SPACES REQUIRED = 278 PARKING SPACES	
PARKING PROVIDED:	= 325 PARKING SPACES
*ALL REQUIRED PARKING & BICYCLE PARKING SPACES ARE LOCATED AT A PARKING GARAGE OFF-SITE	

PROJECT SITE SF CALCULATIONS

LOT AREA:	22,521 SF (0.52 ACRES)
FAR CALCULATION	
ALLOWABLE	1.0:1 (22,521 SF)
PROPOSED BUILDING GSF:	
FIRST FLOOR:	18,718 SF
SECOND FLOOR:	19,506 SF
THIRD FLOOR:	17,192 SF
TOTAL:	55,416 SF
*CIRCULATION (1,488 SF) & MECH. ROOMS (870 SF) NOT INCLUDED	
PROPOSED	2.46:1 (55,416 SF / 22,521 SF)
LOT COVERAGE CALCULATION	
REQUIRED LOT COVERAGE	60% (22,521 SF x .6 = 13,512.6 SF)
PROPOSED LOT COVERAGE:	87% (19,549 SF / 22,521 SF)
BLDG. HEIGHT ALLOWED:	30'-0"
BLDG. HEIGHT PROPOSED:	48'-2"

GROSS BUILDING AREA

BUILDING	
GSF FIRST FLOOR	18,448 SF
GSF SECOND FLOOR	19,629 SF
GSF THIRD FLOOR	17,339 SF
	55,416 SF
CIRCULATION	
STAIR 1	262 SF
ELEV.	67 SF
STAIR 2	294 SF
STAIR 1	257 SF
ELEV.	67 SF
STAIR 2	257 SF
STAIR 1	227 SF
ELEV.	67 SF
STAIR 2	228 SF
ELEV.	68 SF
ELEV.	68 SF
ELEV.	68 SF
	1,930 SF
MECH ROOM	
MECH ROOM	364 SF
ELEV. MECH. RM.	41 SF
MECH. SHAFT	42 SF
MECH. SHAFT	42 SF
MECH. SHAFT	42 SF
MECH. SHAFT	42 SF
	529 SF
TOTAL GSF:	57,875 SF



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626.590.1818

PARKPOINTE ENCINO

17017 VENTURA BLVD.
ENCINO, CA 91316

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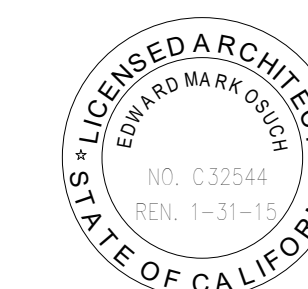
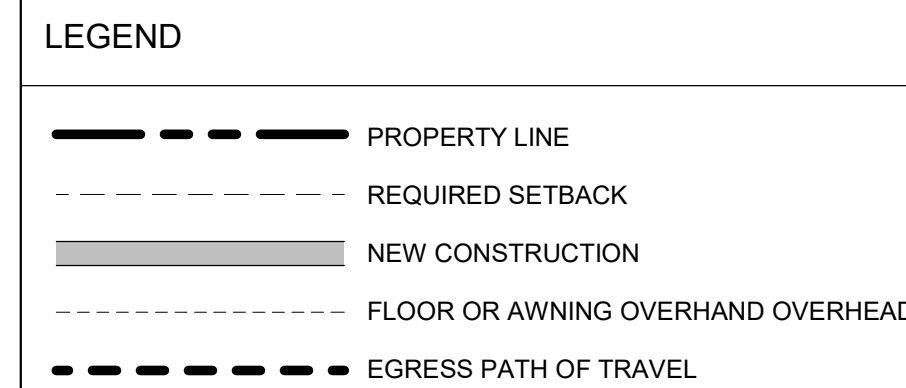
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SHEET TITLE

SITE PLAN

Date Issued 09-11-2020

A1.0



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SHEET TITLE

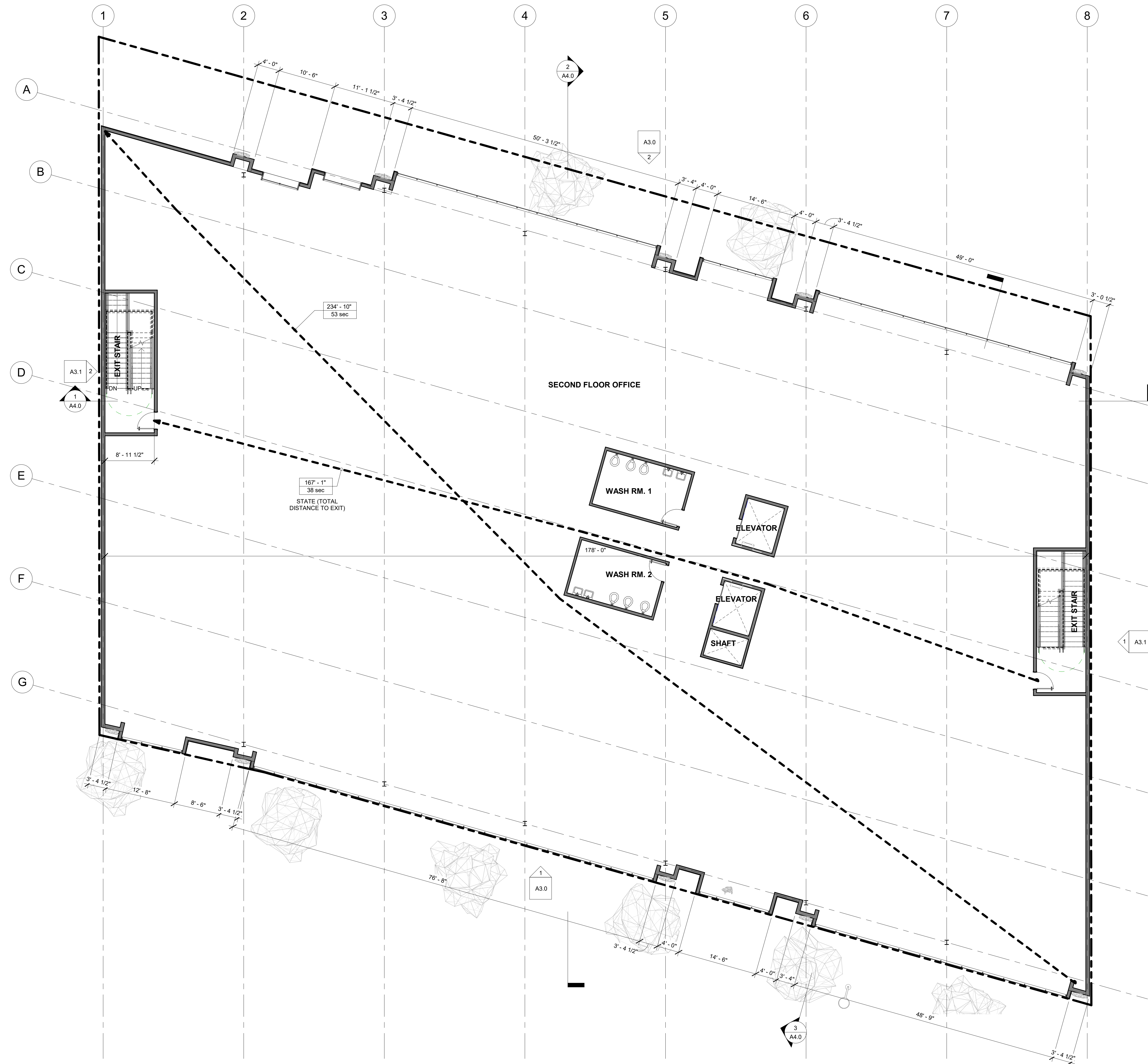
**FIRST FLOOR
PLAN**

Date Issued 09-11-2020

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1 FIRST FLOOR PLAN
1/8" = 1'-0"



1 SECOND FLOOR PLAN
1/8" = 1'-0"

LEGEND

- PROPERTY LINE
- REQUIRED SETBACK
- NEW CONSTRUCTION
- FLOOR OR AWNING OVERHAND OVERHEAD
- EGRESS PATH OF TRAVEL



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PARKPOINTE ENCINO
17017 VENTURA BLVD.
ENCINO, CA 91316

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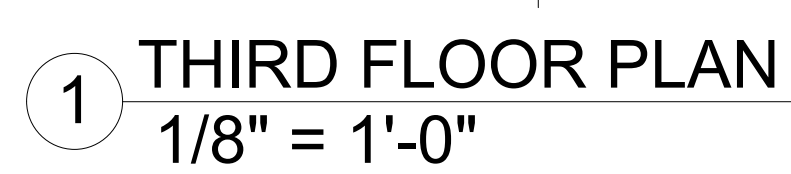
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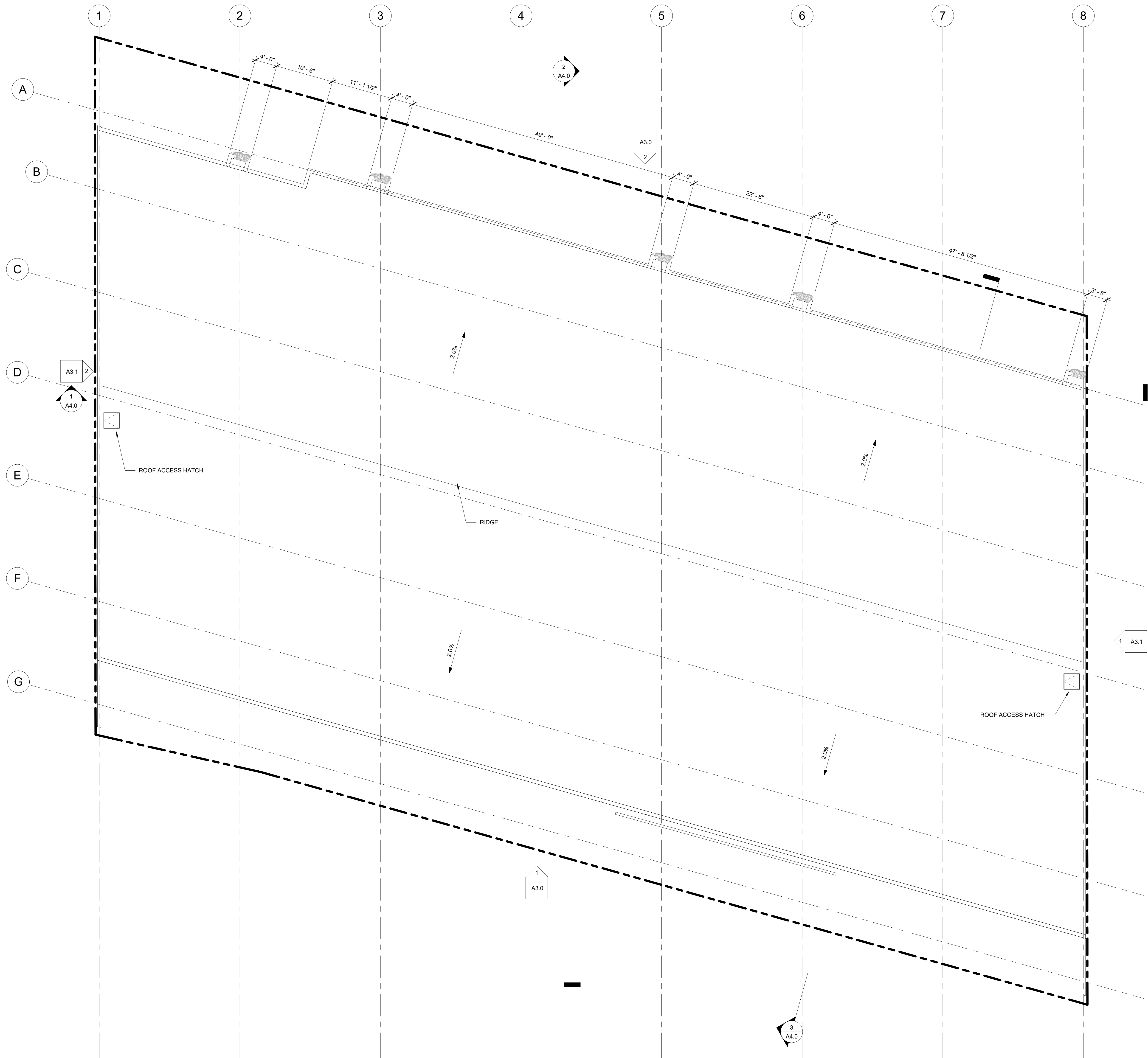
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SECOND FLOOR PLAN

Date Issued 09-11-2020

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1 ROOF PLAN
1/8" = 1'-0"

LEGEND

- PROPERTY LINE
- REQUIRED SETBACK
- NEW CONSTRUCTION
- FLOOR OR AWNING OVERHAND OVERHEAD
- EGRESS PATH OF TRAVEL



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PARKPOINTE ENCINO

17017 VENTURA BLVD.
ENCINO, CA 91316

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SHEET TITLE
ROOF PLAN

Date Issued 09-11-2020

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PARKPOINTE ENCINO

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ENCINO, CA 91316

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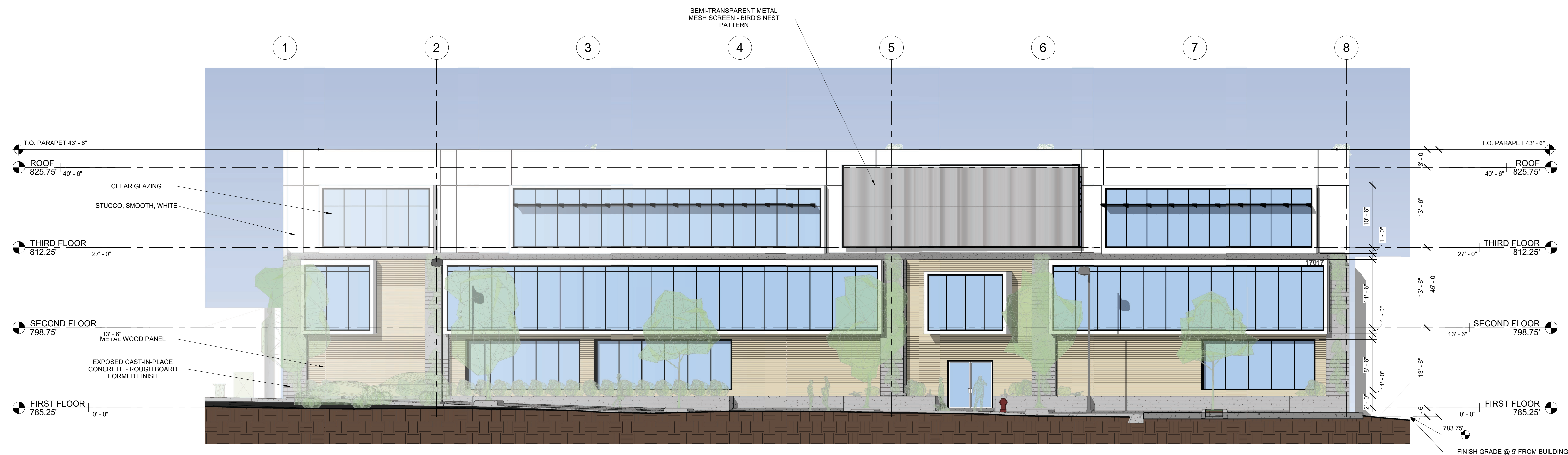
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SHEET TITLE
**BUILDING
ELEVATIONS**

Date Issued 09-11-2020

A3.0

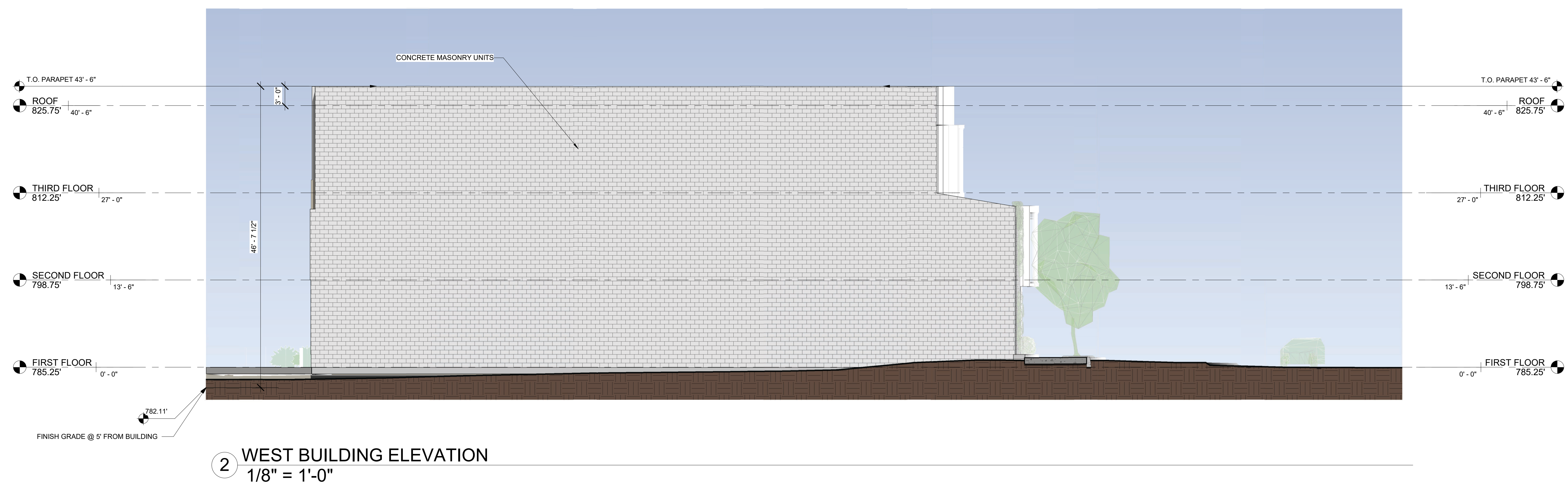
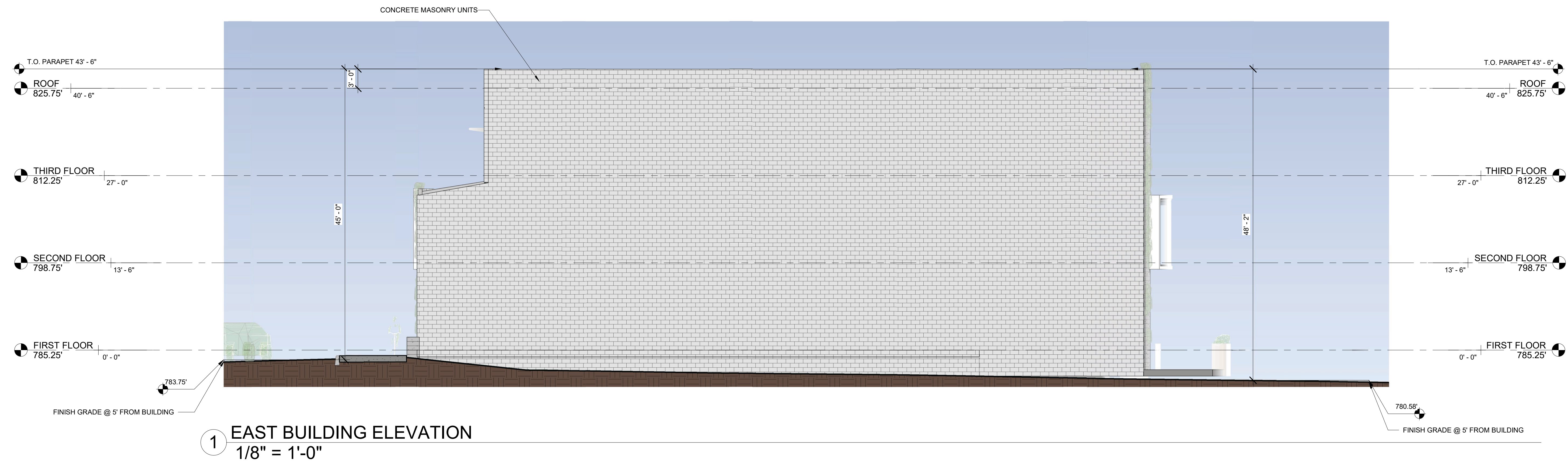
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1 SOUTH BUILDING ELEVATION
1/8" = 1'-0"



2 NORTH BUILDING ELEVATION
1/8" = 1'-0"



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Architectural Drawn By

SHEET TITLE
**BUILDING
ELEVATIONS**

Date Issued 09-11-2020

SUNRISE OF ENCINO ASSISTED LIVING FACILITY | ENCINO, CA

PLANNING SUBMITTAL | 01.30.2019



CONTACTS

PROPERTY OWNER:

17017 Ventura, LLC.
18653 Ventura Blvd., Suite 333
Tarzana, CA 91356

TENANT:

Sunrise Senior Living
7902 Westpark Drive
McLean, Virginia CA 22102

ARCHITECT:

HPI Architecture
115 22nd Street
Newport Beach, CA 92663
John Paris
jparis@hpiarchitecture.com
(949)675-6442

LANDSCAPE ARCHITECT:

Ridge Landscape Architects
8841 Research Drive
Suite 200
Irvine, CA 92618
Jim Ridge
jim@ridgela.com
(949) 387-1323

SHEET INDEX

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- A1.1 - ENLARGED SITE PLAN WEST
- A1.2 - ENLARGED SITE PLAN EAST
- A2.1 - FIRST FLOOR PLAN
- A2.2 - SECOND FLOOR PLAN
- A2.3 - THIRD FLOOR PLAN
- A2.4 - FOURTH FLOOR PLAN
- A2.5 - FIFTH FLOOR PLAN
- A2.6 - ROOF PLAN
- A3.1 - EXTERIOR ELEVATIONS NORTH & EAST
- A3.2 - EXTERIOR ELEVATIONS SOUTH & WEST

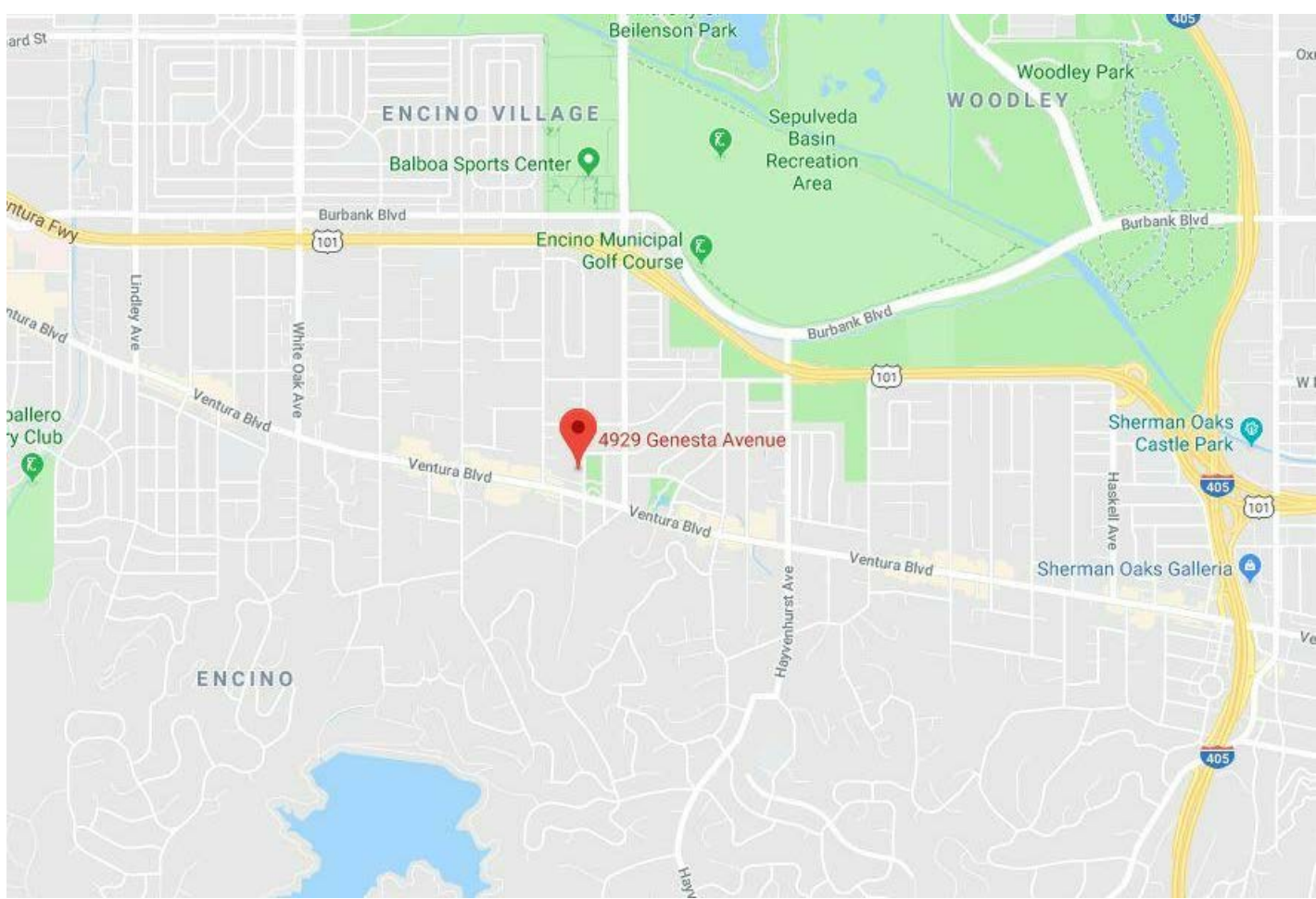
A4.1 - SECTIONS

- A4.2 - SECTIONS
- A4.3 - SECTIONS
- A5.1 - PERSPECTIVE RENDERINGS
- A5.2 - PERSPECTIVE RENDERINGS
- A5.3 - COURTYARD RENDERINGS
- A5.4 - OVERALL PROJECT RENDERINGS
- A5.5 - OVERALL PROJECT RENDERINGS

LANDSCAPE DRAWINGS:

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- L1.2 - PRELIMINARY LANDSCAPE PLAN
- L2.1 - SOUTH COURTYARD PRELIMINARY LANDSCAPE PLAN ENLARGEMENT
- L2.2 - ARRIVAL COURT PRELIMINARY LANDSCAPE PLAN ENLARGEMENT
- L3.1 - PLANT IMAGERY

VICINITY MAP



ParkPointe Encino

17017-17031 West Ventura Boulevard
4929 North Genesta Avenue
5018 North Amestoy Avenue

NO.	DESCRIPTION

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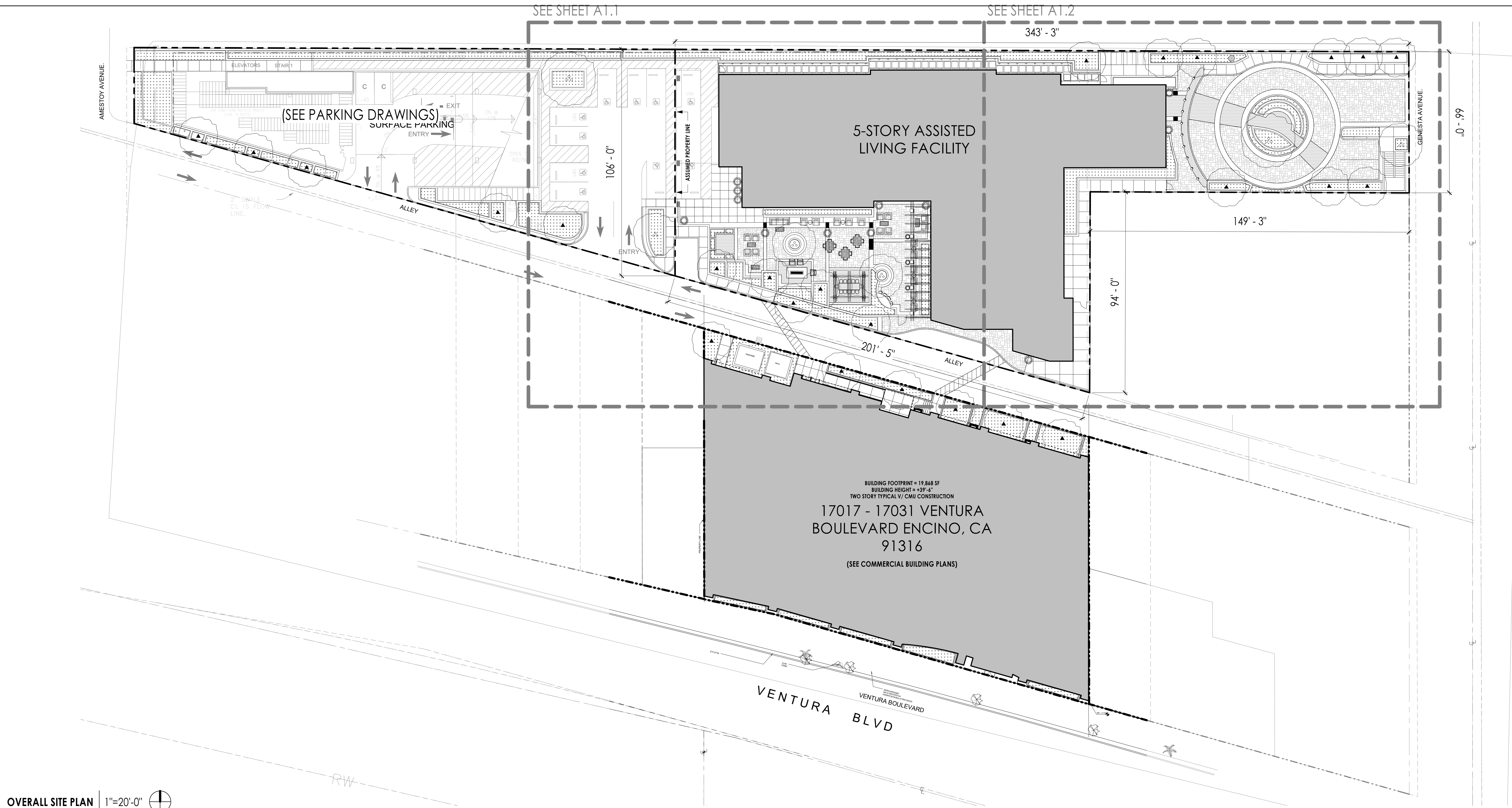
TITLE SHEET

01.30.2019

Date Issued Issue Date

Scale

G-1.1



OVERALL SITE PLAN | 1"=20'-0"

PROJECT DATA

ZONING
EXISTING: P-1VL
PROPOSED: C2

GENERAL PLAN: ENCINO-TARZANA

COMMUNITY PLAN
LAND DESIGNATION: NEIGHBORHOOD OFFICE
COMMERCIAL SPECIFIC PLAN: VENTURA-CAHUENGA BOULEVARD CORRIDOR

PROPOSED PROJECT:
5 STORIES, 90 UNITS OF ASSISTED LIVING AND ALZHEIMER'S/DEMENTIA CARE

PROPOSED OCCUPANCY:
R2.1, STATE LICENSED RCFC (RESIDENTIAL CARE FACILITY FOR ELDERLY)

CONSTRUCTION TYPE: I-B OVER A SUBTERRANEAN PARKING

PROJECT SITE

LOT AREA: 35,663 SF

HALF ALLEY: 2,344 SF

F.A.R. ALLOWED 1.0 : 1 (35,663 SF)

F.A.R. PROPOSED 2.25 (80,225 SF / 35,663 SF)

DENSITY ALLOWED 1 GUEST ROOM PER 200 SF (35,663 LOT AREA +2,344 ONE-HALF ALLEY =38,007) 38,007/200= 190 GUEST ROOMS

DENSITY PROPOSED: 90 GUEST ROOMS

LOT COVERAGE
BUILDING FOOTPRINT: 15,648 SF
HARDSCAPE: 13,793 SF
LANDSCAPE: 4,102 SF

BUILDING GROSS AREA

(EXCLUDES OUTDOOR DECKS, SHAFTS, AND STAIRS & ELEVATORS ON UPPER FLOORS)

FIRST FLOOR:	15,648 SF
SECOND FLOOR:	16,745 SF
THIRD FLOOR:	16,606 SF
FOURTH FLOOR:	16,095 SF
FIFTH FLOOR:	15,131 SF
TOTAL:	80,225 SF

BUILDING HEIGHT
(HEIGHT ABOVE FINISH GRADE) PER LAMC DEFINITION OF GRADE, THE LOWEST GRADE WITHIN FIVE FEET OF THE ASSISTED LIVING BUILDING IS 781.56 FT.

BUILDING HEIGHT ALLOWED: 30'-0" AFG

BUILDING HEIGHT PROPOSED:
TOP OF ROOF: 55'-0" AFG
TOP OF PARAPET/SCREENS: 59'-6" AFG
TOP OF STAIR ROOF: 65'-0" AFG

UNIT MIX NO. OF GUEST ROOMS

ASSISTED LIVING FAIR HOUSING

STUDIO	24
SEMI-PRIVATE	17
TWO-ROOM	25
TOTAL	66

ALZHEIMER'S DEMENTIA CARE

STUDIO	10
SEMI-PRIVATE	8
TWO-ROOM	6
TOTAL	24

TOTAL GUEST ROOMS 90

OPEN SPACE AND RECREATION REQUIREMENTS

GRADE LEVEL OPEN SPACE	4,677 SF
DECKS:	3,282 SF
TOTAL:	7,959 SF

OPEN SPACE	REQUIRED	PROVIDED
ELDERLY CARE (50 SF/UNIT)	4,500 SF	7,959 SF
INDOOR RECREATION SPACE (10 SF/UNIT)	900 SF	10,647 SF

PARKING REQUIREMENTS REQUIRED PROVIDED

ASSISTED LIVING CARE HOUSING (1 SPACE PER GUEST ROOM LAMC 12.21 A4(u) EXCEPTION 0.5 PARKING) (66 X 0.5) (66 ROOMS -50% EXCEPTION) 33

ALZHEIMER'S/DEMENTIA CARE (0.2 SPACE PER BED) (24 X 0.2) 5

TOTAL 38 39

BICYCLE REQUIREMENTS REQUIRED PROVIDED

SHORT TERM 1/10,000 SF 9 9

LONG TERM 1/5,000 SF 17 17

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SUNRISE SENIOR LIVING

HPI architecture
www.hpiarchitecture.com
115 22nd street
Newport Beach, CA 92663
o: 949. 675. 6442

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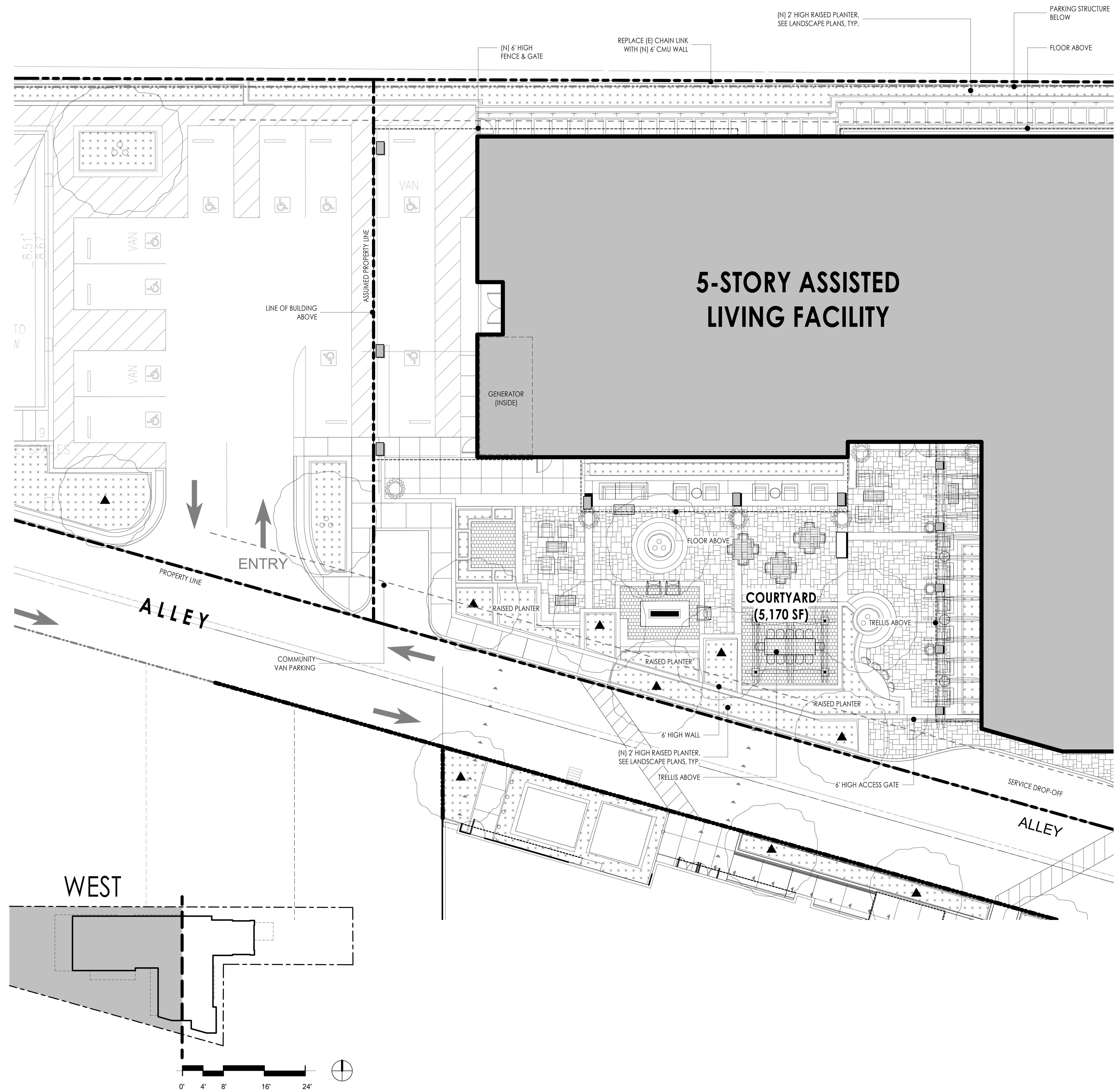
OVERALL SITE PLAN

01.30.2019

Date Issued Issue Date

Scale As indicated

A-1.0



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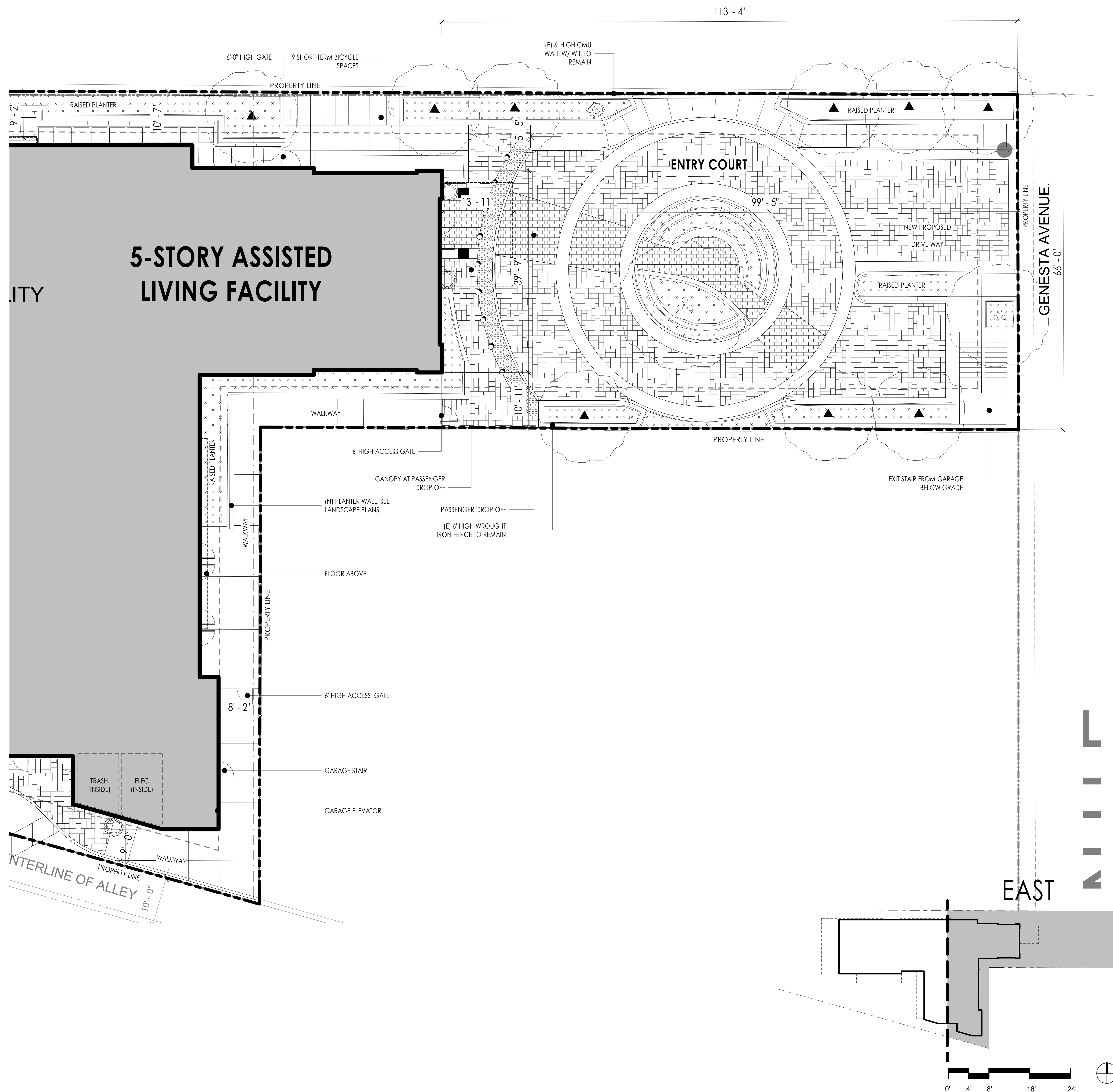
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SHEET
TITLE
ENLARGED SITE PLAN
WEST

01.30.2019
Date Issued Issue Date
Scale 1/8" = 1'-0"

A-1.1



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SHEET
TITLE
ENLARGED SITE PLAN
EAST

01.30.2019
Date Issued Issue Date
Scale 1/8" = 1'-0"

A-1.2



0' 4' 8' 16' 24'

FIRST FLOOR DATA

ASSISTED LIVING UNIT MIX	
STUDIO	7
SEMI PRIVATE	2
TWO ROOM	2
TOTAL	11

FIRST FLOOR GSF: 15,648 SF



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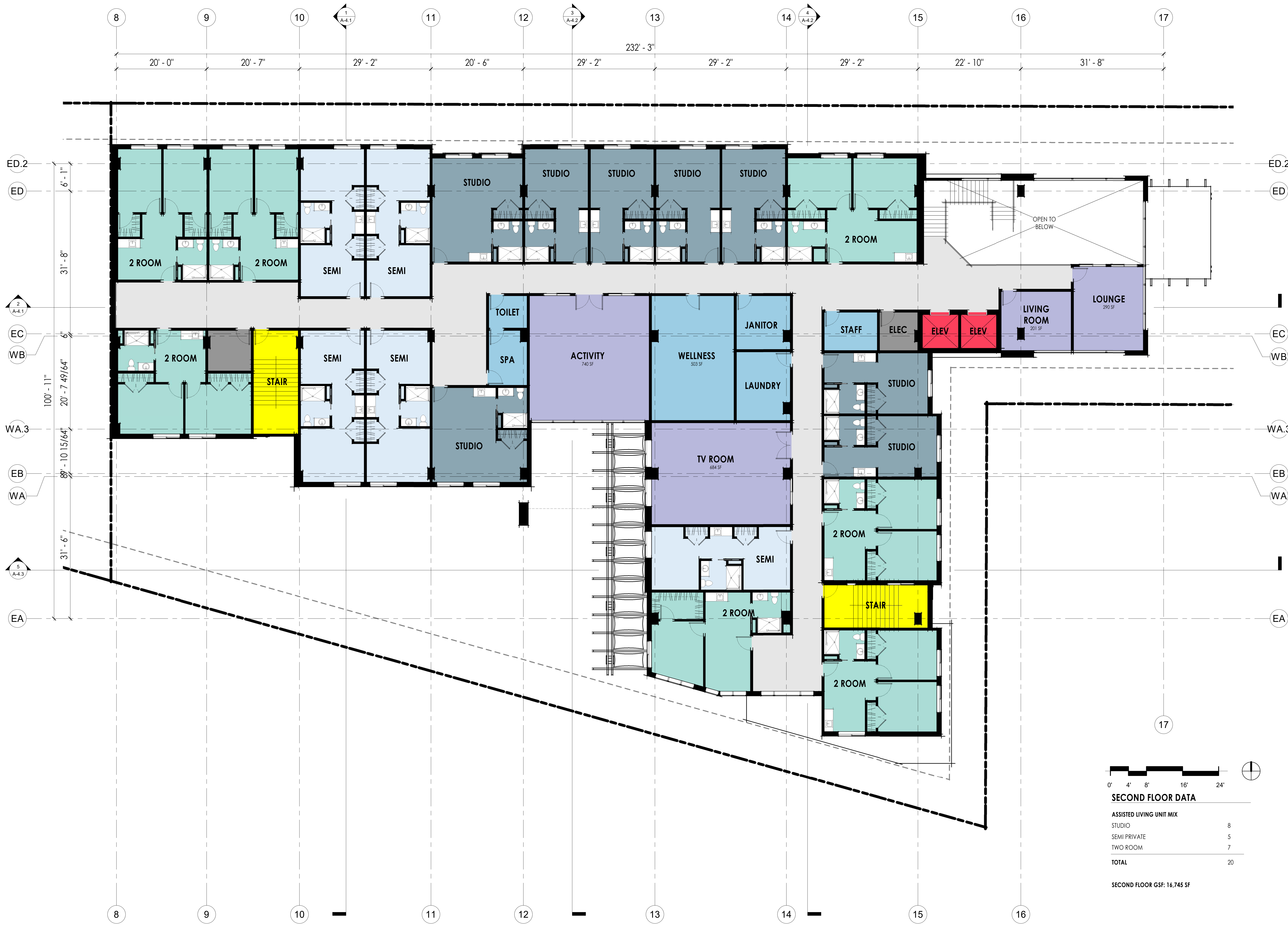
SHEET
TITLE

FIRST FLOOR PLAN

01.30.2019
Date Issued Issue Date
Scale 1/8" = 1'-0"

A-2.1

PLANNING SUBMITAL



SECOND FLOOR DATA	
ASSISTED LIVING UNIT MIX	
STUDIO	8
SEMI PRIVATE	5
TWO ROOM	7
TOTAL	20
SECOND FLOOR GSF: 16,745 SF	



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SHEET TITLE
SECOND FLOOR PLAN

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A-2.2

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[illegible]

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SHEET
TITLE

THIRD FLOOR PLAN

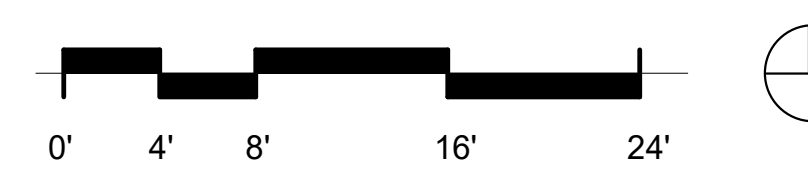
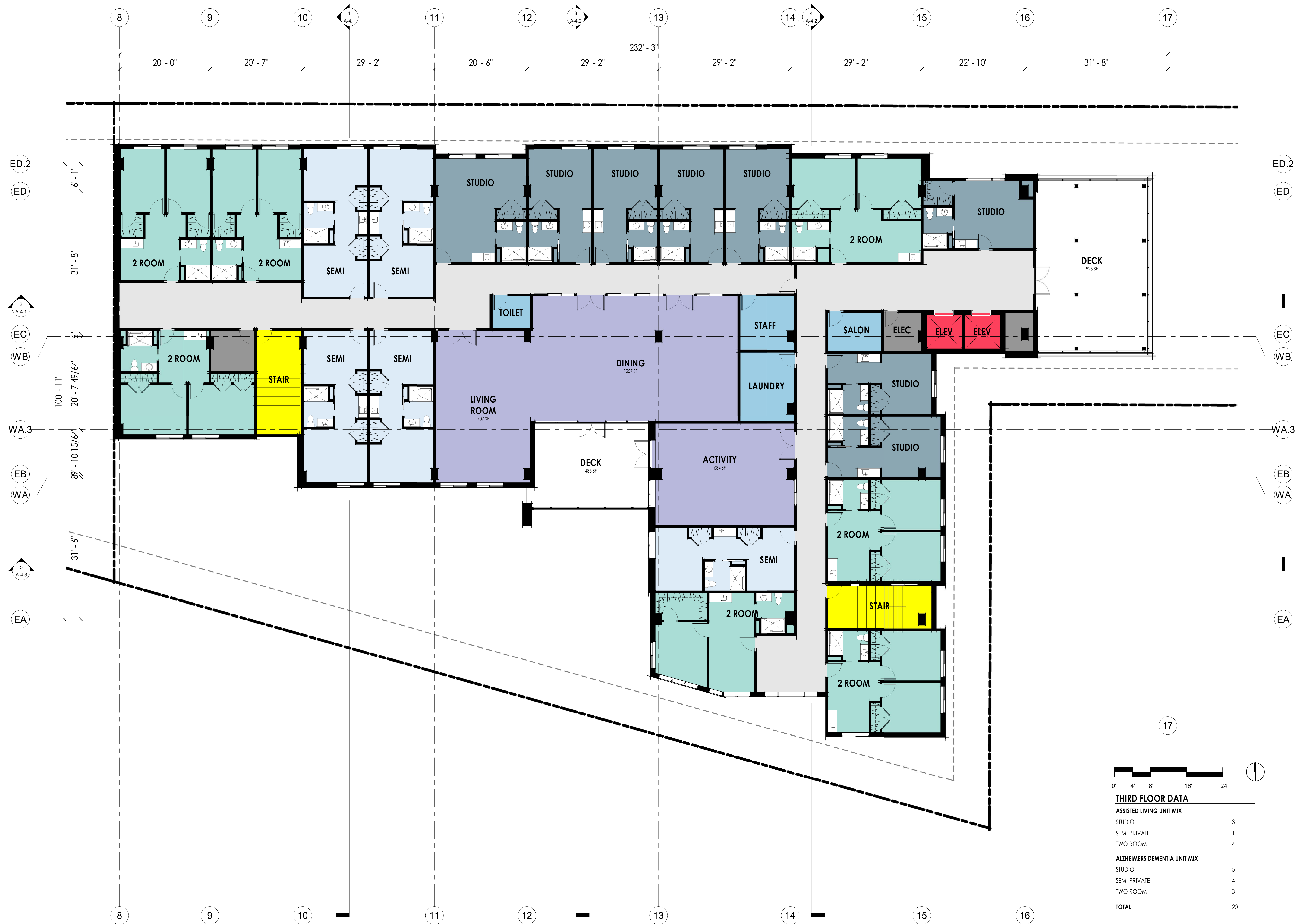
01.30.2019

Issue Date	Issue Date
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scale $1/8" = 1'-0"$

A-2.3

PLANNING SUBMITTAL



THIRD FLOOR DATA

ASSISTED LIVING UNIT MIX

STUDIO	3
SEMI PRIVATE	1
TWO ROOM	4

ALZHEIMERS DEMENTIA UNIT MIX

STUDIO	5
SEMI PRIVATE	4
TWO ROOM	3

TOTAL	20
-------	----

THIRD FLOOR GSF: 16,606 SF

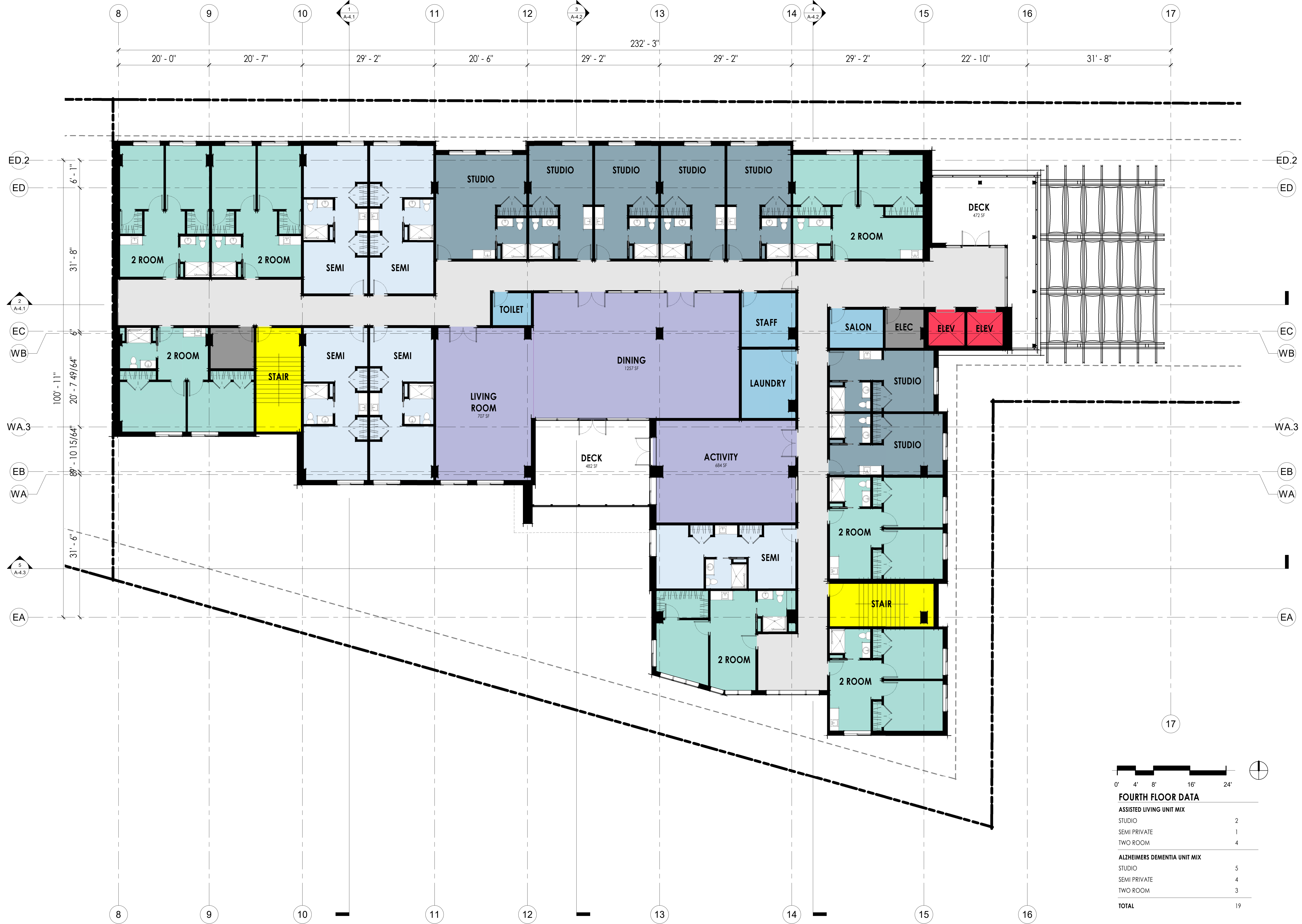
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SHEET
TITLE
FOURTH FLOOR PLAN

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Date Issued Issue Date
Scale 1/8" = 1'-0"



FOURTH FLOOR DATA	
ASSISTED LIVING UNIT MIX	
STUDIO	2
SEMI PRIVATE	1
TWO ROOM	4
ALZHEIMERS DEMENTIA UNIT MIX	
STUDIO	5
SEMI PRIVATE	4
TWO ROOM	3
TOTAL	19

FIRST FLOOR GSF: 16,095 SF

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[illegible]

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SHEET
TITLE

FIFTH FLOOR PLAN

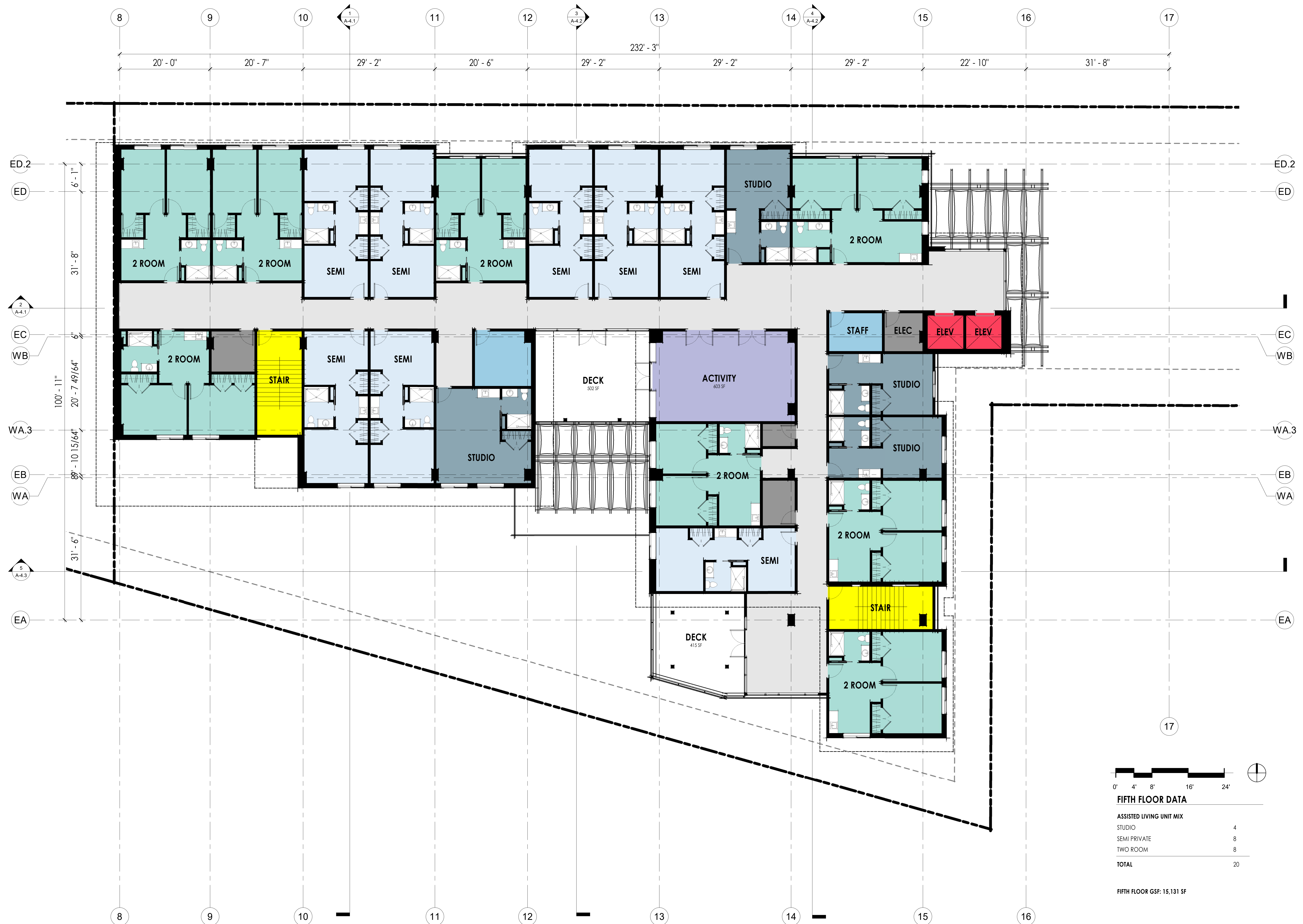
01.30.2019

Issue Date	Issue Date
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scale $1/8" = 1'-0"$

A-2.5

PLANNING SUBMITTAL



FIFTH FLOOR DATA

ASSISTED LIVING UNIT MIX	
STUDIO	4
SEMI PRIVATE	8
TWO ROOM	8
TOTAL	20

FIFTH FLOOR GSF: 15,131 SF

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TITLE

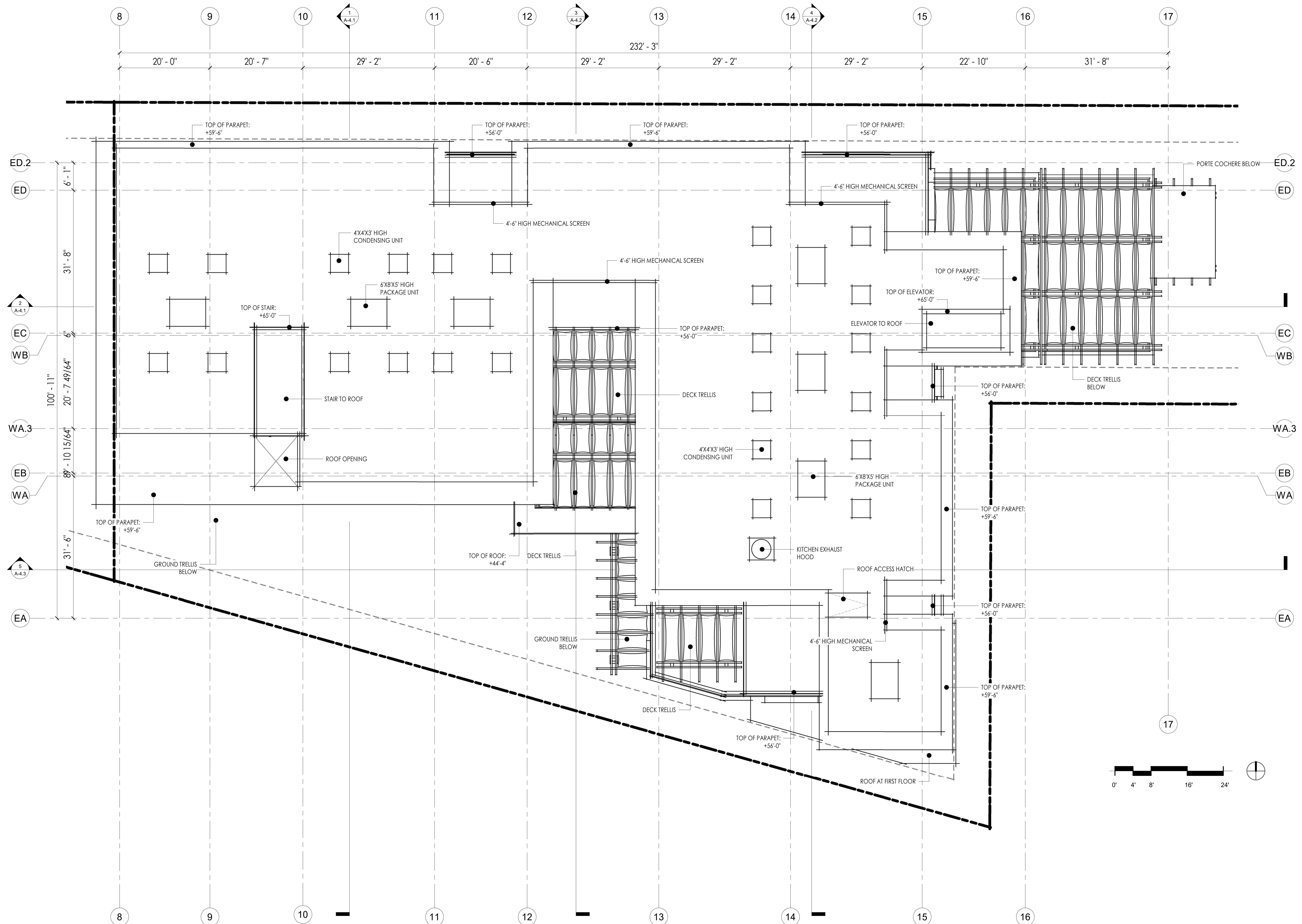
ROOF PLAN

01.30.2019

Date Issued	Issue Date
Scale	1/8" = 1'-0"

A-2.6

PLANNING SUBMITTAL





EAST ELEVATION SCALE 1/8" = 1'-0" 1

ELEVATION KEYNOTES

- 1 VINYL WINDOWS, TYP.
- 2 EXTERIOR CEMENT PLASTER W/ REVEALS
- 3 STAIR TOWER
- 4 COMPOSITE WOOD SIDING, TYP.
- 5 ALUMINUM EYEBROW CANOPY, TYP.
- 6 6" RECESS W/ EXTERIOR CEMENT PLASTER, TYP.
- 7 STOREFRONT
- 8 TRELLIS (NON COMBUSTIBLE MATERIAL), TYP.
- 9 GLASS GUARDRAIL, TYP.
- 10 ROOF OVERHANGS W/ALUMINUM FASCIA & PLASTER UNDERSIDINGS, TYP.
- 11 STONE VENNER, TYP.
- 12 MECHANICAL SCREEN, ALUMINUM PANEL, TYP.



NORTH ELEVATION SCALE 1/8" = 1'-0" 2

(FINISH GRADE)
PER LAMIC DEFINITION OF
GRADE, THE LOWEST GRADE
WITHIN FIVE FEET OF ASSIETED
LIVING BUILDING IS 781.56 FEET.



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SHEET
TITLE
EXTERIOR ELEVATIONS
NORTH & EAST

01.30.2019
Date Issued Issue Date
Scale As indicated

A-3.1



WEST ELEVATION SCALE 1/8" = 1'-0" 1

ELEVATION KEYNOTES

- 1 VINYL WINDOWS, TYP.
- 2 EXTERIOR CEMENT PLASTER W/ REVEALS
- 3 STAIR TOWER
- 4 COMPOSITE WOOD SIDING, TYP.
- 5 ALUMINUM EYEBROW CANOPY, TYP.
- 6 6" RECESS W/ EXTERIOR CEMENT PLASTER, TYP.
- 7 STOREFRONT
- 8 TRELLIS (NON COMBUSTIBLE MATERIAL), TYP.
- 9 GLASS GUARDRAIL, TYP.
- 10 ROOF OVERHANGS W/ALUMINUM FASCIA & PLASTER UNDERSIDINGS, TYP.
- 11 STONE VENNER, TYP.
- 12 MECHANICAL SCREEN, ALUMINUM PANEL, TYP.



SOUTH ELEVATION SCALE 1/8" = 1'-0" 2



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SHEET
TITLE
EXTERIOR ELEVATIONS
SOUTH & WEST

01.30.2019
Date Issued Issue Date
Scale As indicated

A-3.2

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TITLE

SECTIONS

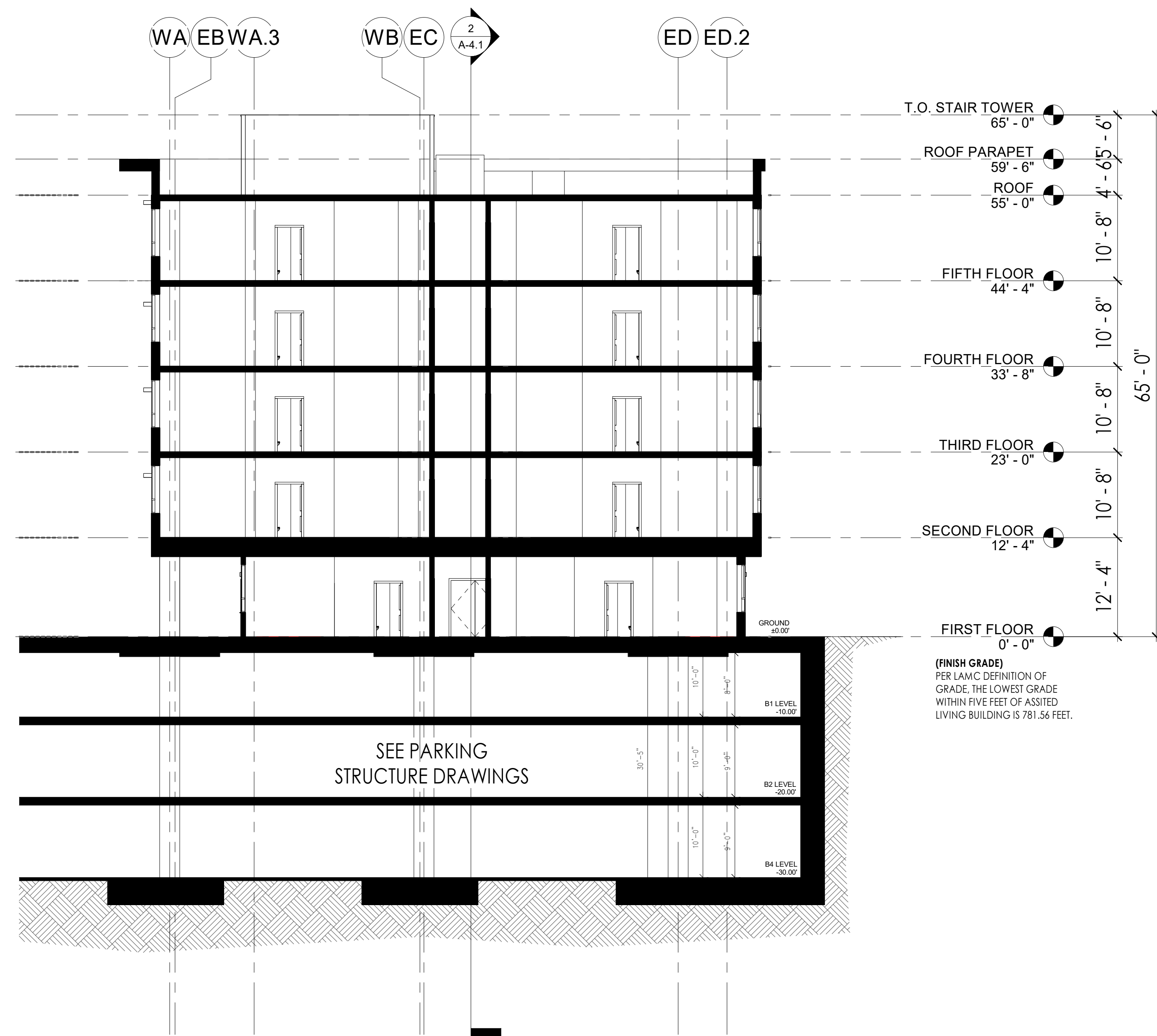
01.30.2019

Date
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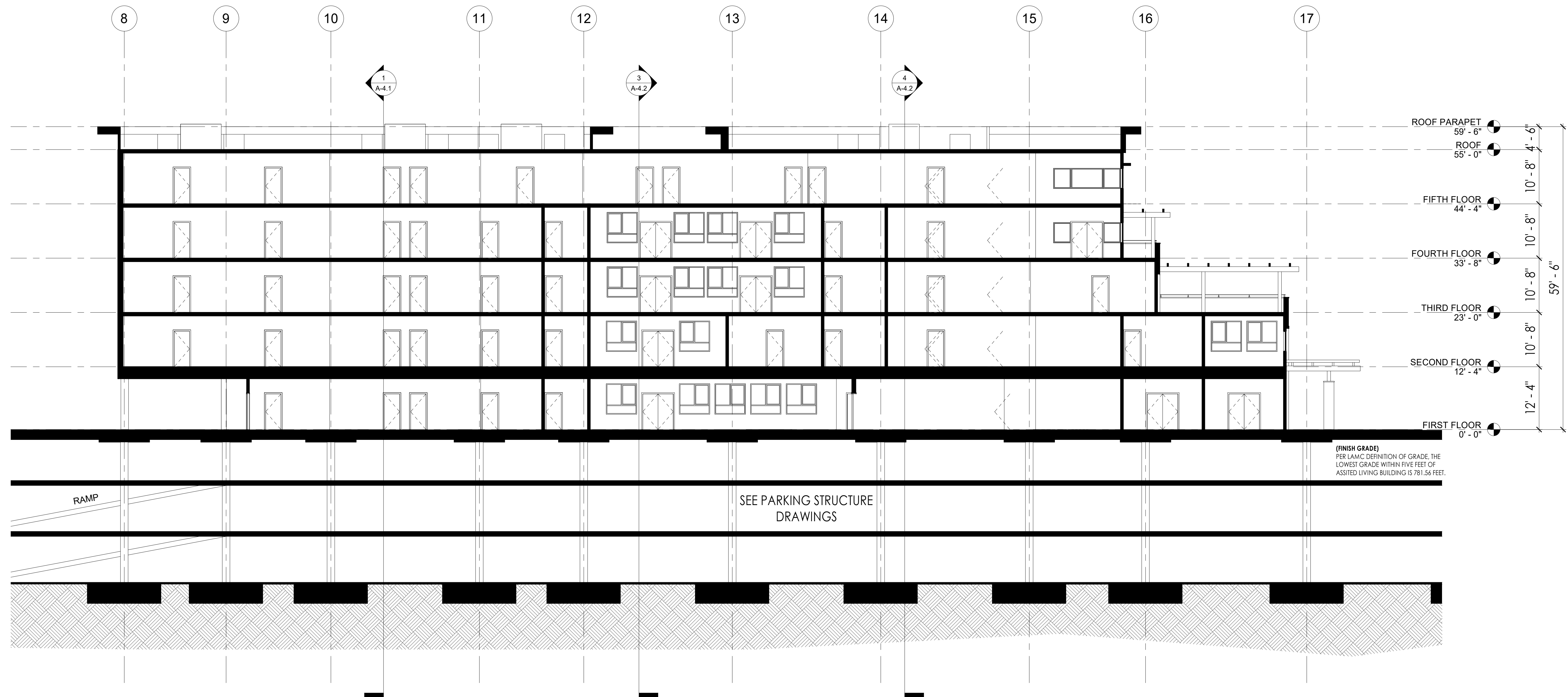
Issue
Date

Scale 1" = 10'-0"

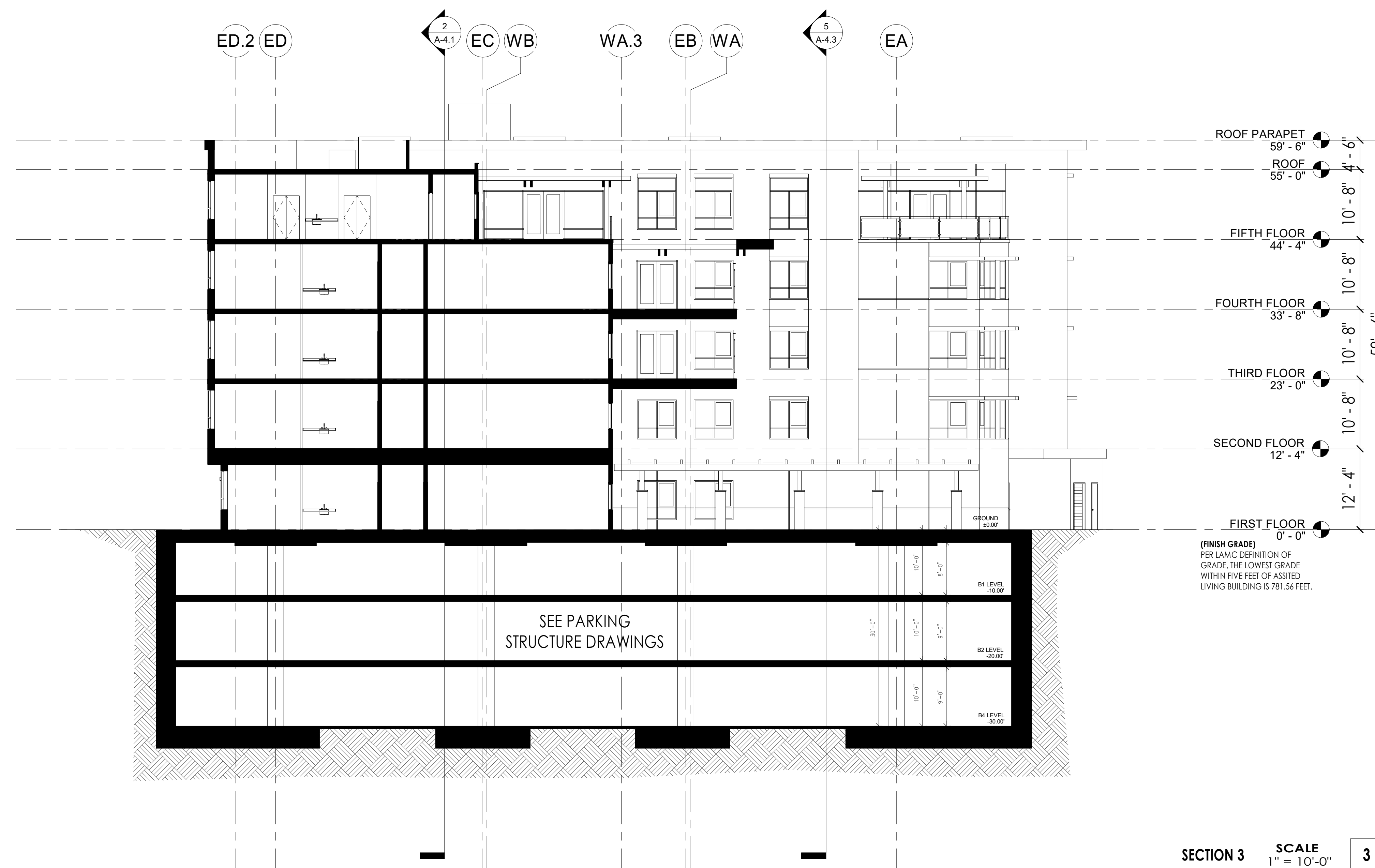
A-4.1



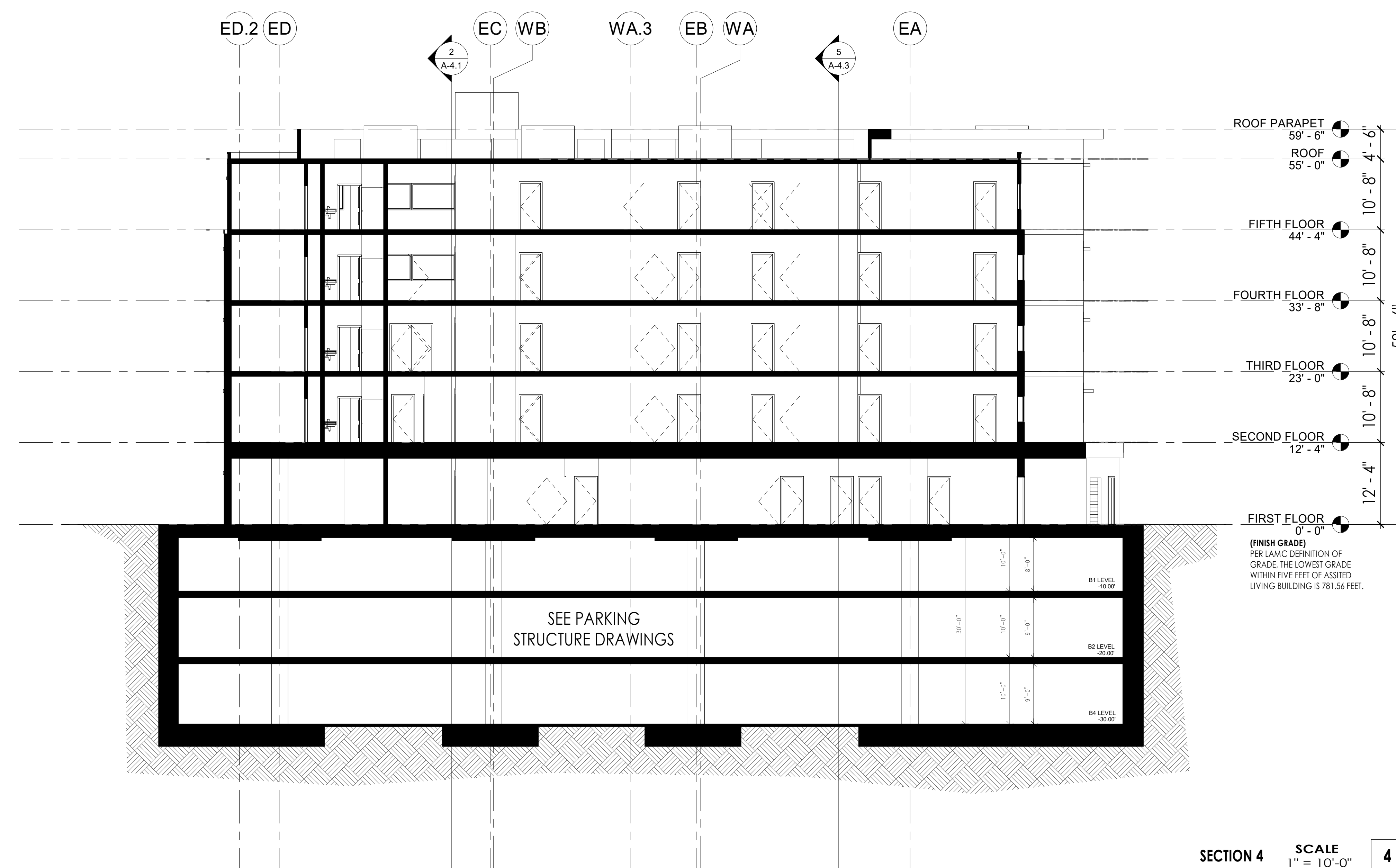
SECTION 1 SCALE 1" = 10'-0" 1



SECTION 2 SCALE 1" = 10'-0" 2



SECTION 3 SCALE 1" = 10'-0" 3



SECTION 4 SCALE 1" = 10'-0" 4



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SHEET TITLE

SECTIONS

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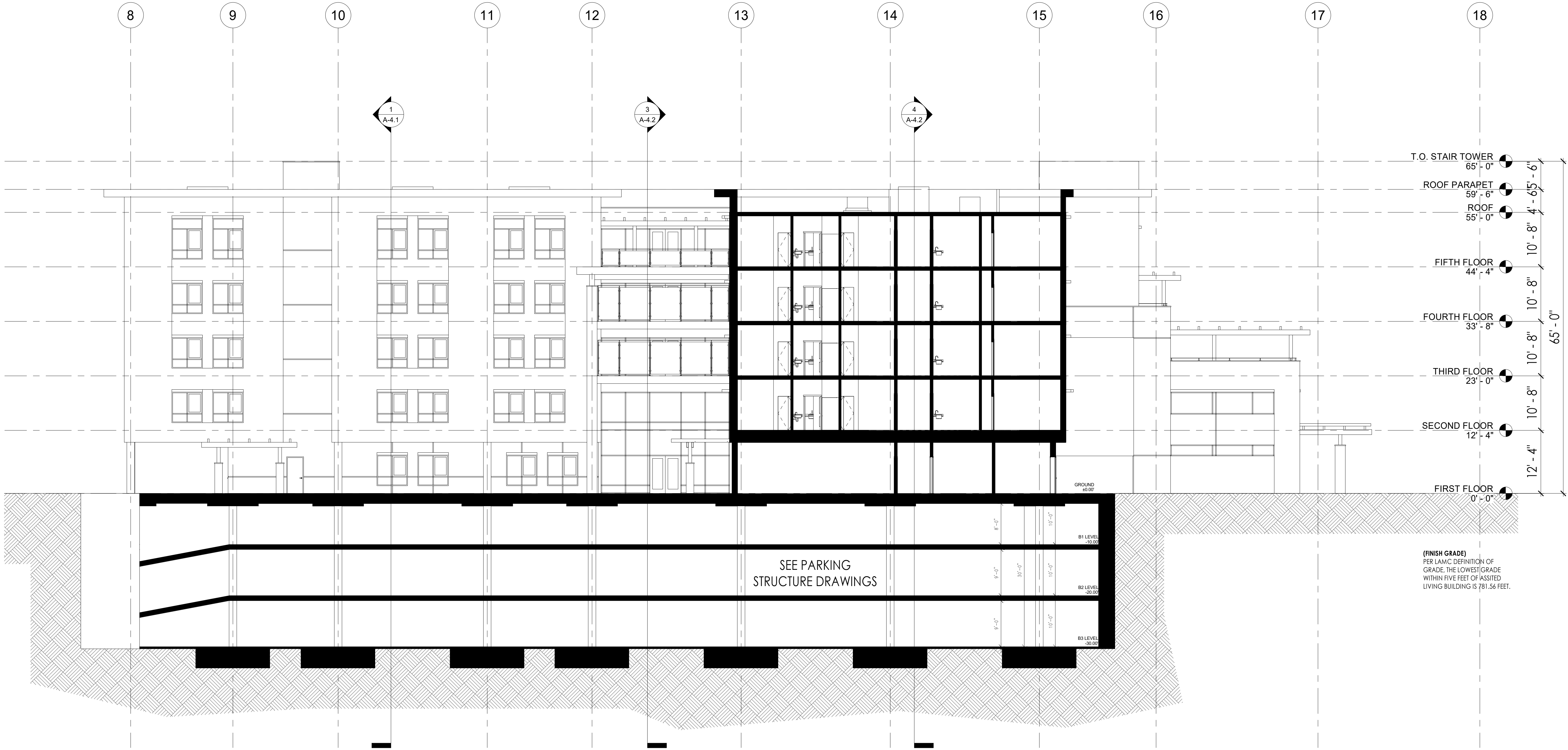
SHEET
TITLE

SECTIONS

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Date Issued Issue Date
Scale 1" = 10'-0"

A-4.3

PLANNING SUBMITTAL



SECTION 5
SCALE
1" = 10'-0"

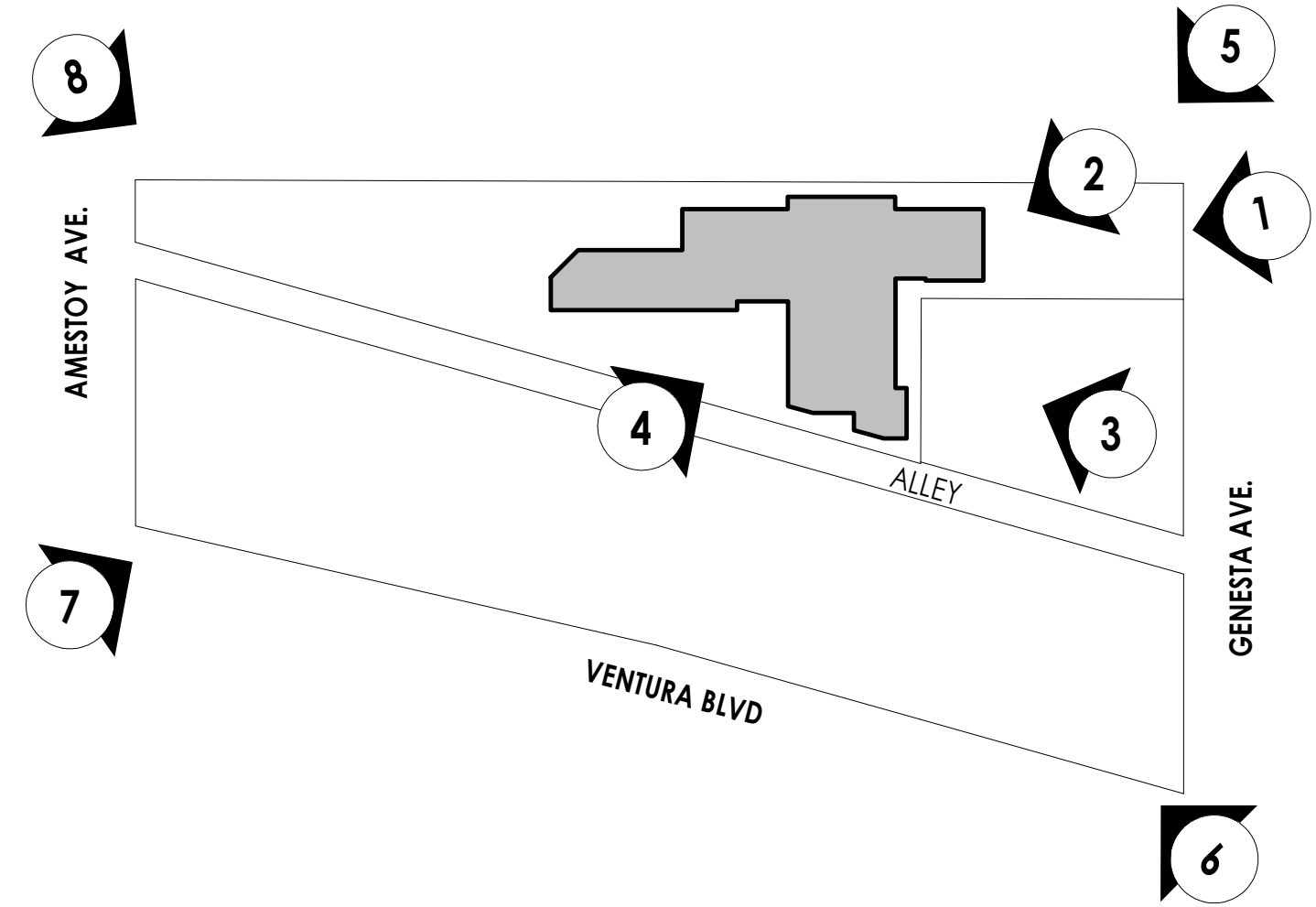
5



VIEW 1



VIEW 2



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SHEET TITLE	PERSPECTIVE RENDERINGS
01.30.2019	Issue Date
Date Issued	Issue Date
Scale	1" = 100'-0"

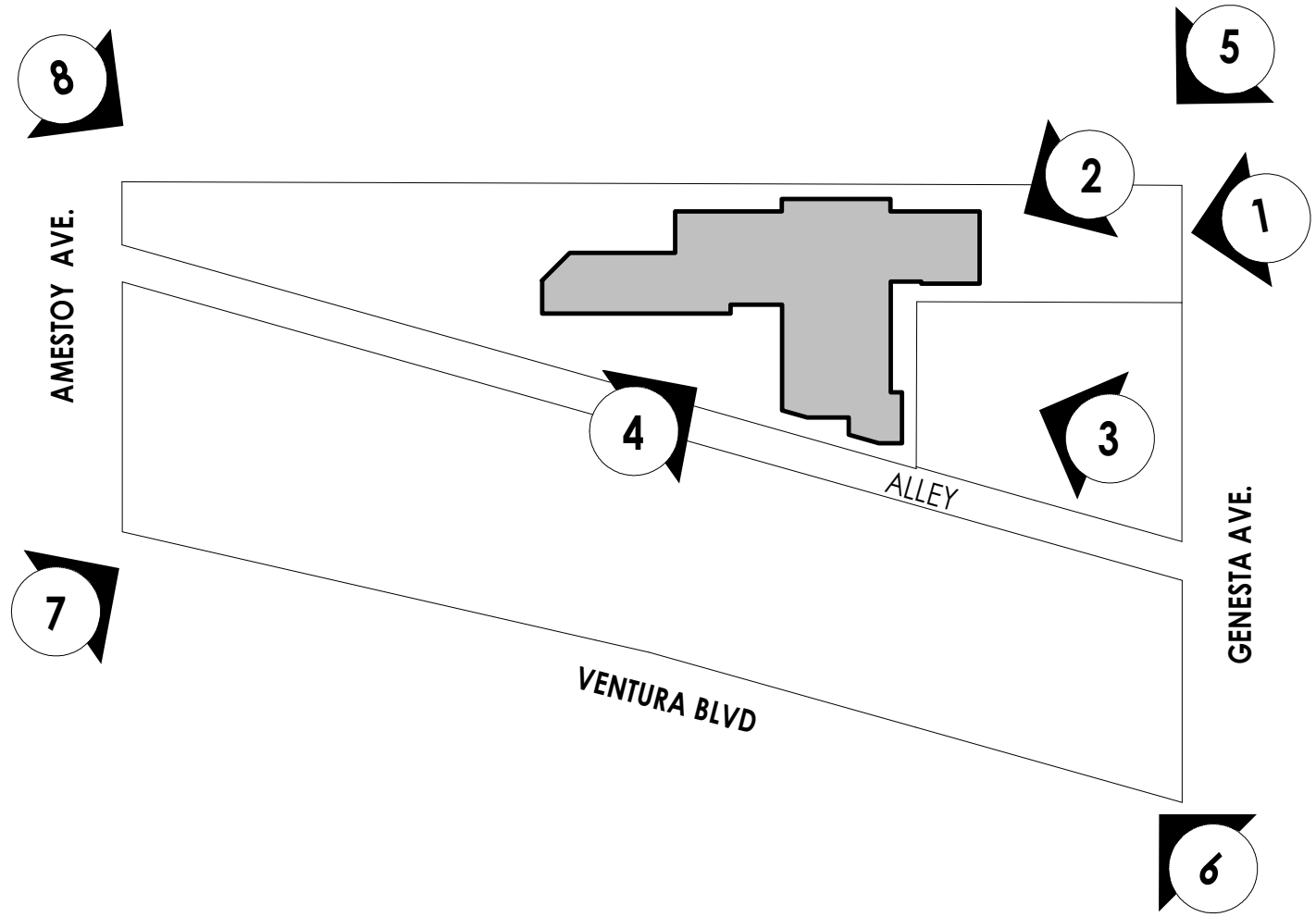
A-5.1



VIEW 3



VIEW 4



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SHEET TITLE	PERSPECTIVE RENDERINGS
01.30.2019	Issue Date
Date Issued	Issue Date
Scale	1" = 100'-0"



COURTYARD | **VIEW 1** (TREES HIDDEN FOR CLARITY)



COURTYARD | **VIEW 2**



COURTYARD | **VIEW 3**



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SHEET
TITLE

COURTYARD
RENDERINGS

01.30.2019
Date Issued Issue Date
Scale

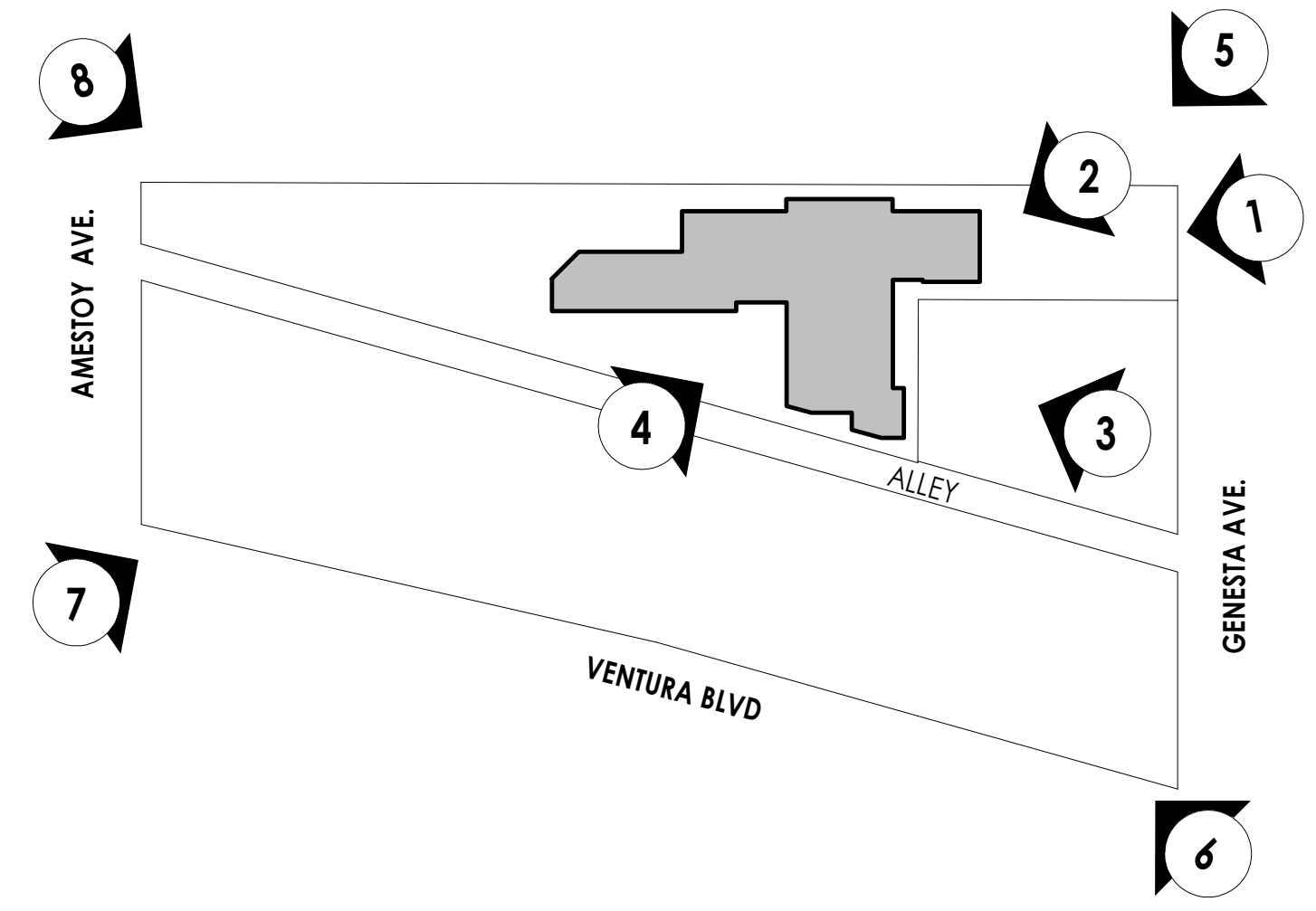
A-5.3



VIEW 5



VIEW 6



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TITLE

OVERALL PROJECT
RENDERINGS

01.30.2019
Date Issued Issue Date
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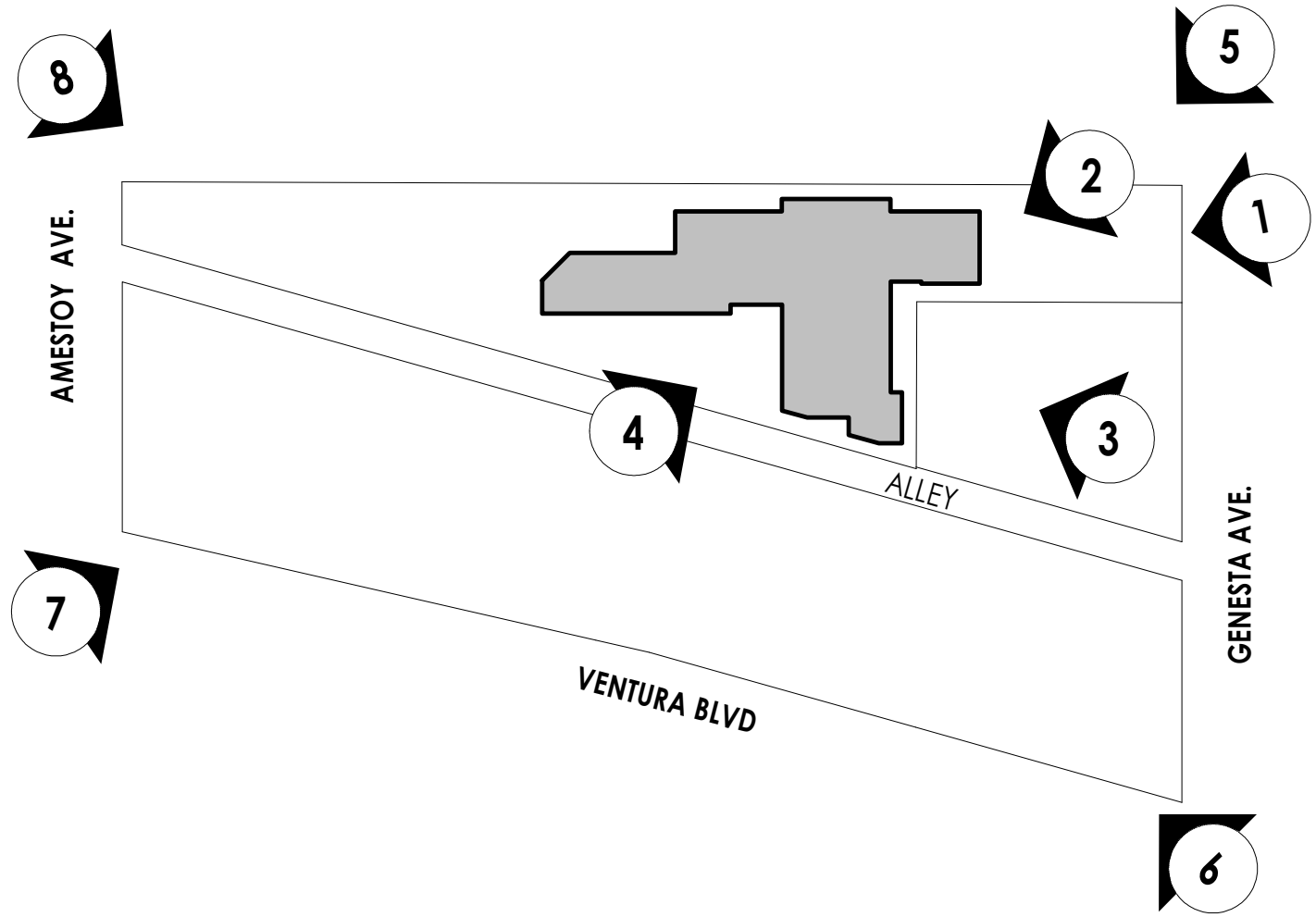
A-5.4



VIEW 7



VIEW 8





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SHEET
TITLE

OVERALL PROJECT
RENDERINGS

01.30.2019

Date Issued	Issue Date
Scale	1" = 100'-0"



LANDSCAPE TABULATIONS

LANDSCAPE AND IRRIGATION DESIGN COMPLIANCE WITH REQUIREMENTS IN ACCORDANCE WITH CITY OF LOS ANGELES LANDSCAPE ORDINANCE NO. 170,978 :

GUIDELINES K - VEHICULAR USE AREAS

1 TREE PER 4 PARKING SPACES REQUIRED AT PARKING AREAS
TOTAL PARKING SPACES (NOT INCLUDING SECURED AREAS) = 12
TREES REQUIRED = 3
TREES PROVIDED = 3

PARKING TREE SIZE REQUIRED = 24" BOX
PARKING TREE SIZE PROVIDED = 36" BOX

TOTAL PARKING AREA = 2,109 SF
PARKING SHADING REQUIRED 50% AFTER 10 YR GROWTH = 1,054 SF
PARKING SHADING PROVIDED = 150 SF

GUIDELINES O - LANDSCAPE POINT SYSTEM

TOTAL SITE AREA = 53,577 SQ. FT.
TOTAL POINTS REQUIRED BASED ON LOT SIZE (TABLE 1) = 30 POINTS

- GROUPING OF STREET TREES IN PLANTING AREAS = 2 POINTS

- STREET TREES TO SHADE THE STREET
(1) POINT PER UNDERSTORY TREE
(9) TREES PROVIDED = 9 POINTS

- 30' ON CENTER MAXIMUM
(2) POINT PER TREE
(7) TREES PROVIDED = 14 POINTS

- STREET TREE PLANTED LARGER THAN 15 GALLON
(3) POINTS PER 36" BOX
(9) NEW 36" BOX TREES PROVIDED = 27 POINTS

TOTAL POINTS EARNED 50 POINTS. EXCEEDS REQUIRED 30 POINTS.

SITE TOTALS

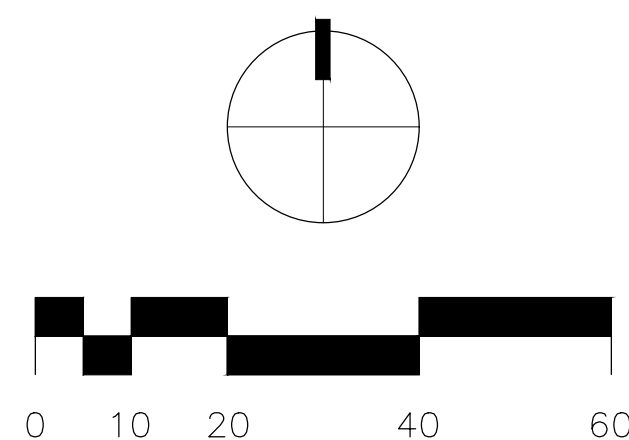
LANDSCAPE AREA (ASSISTED LIVING) = 4,318 S.F.
LANDSCAPE AREA (SURFACE PARKING) = 2,716 S.F.
LANDSCAPE AREA (COMMERCIAL AREA) = 1,661 S.F.

ARCHITECTURAL HARDSCAPE AREA (ASSISTED LIVING) = 12,465 S.F.
ARCHITECTURAL HARDSCAPE AREA (SURFACE PARKING) = 852 S.F.
ARCHITECTURAL HARDSCAPE AREA (COMMERCIAL AREA) = 489 S.F.

PARKING/DRIVE LANE AREA (ASSISTED LIVING) = 4,551 S.F.
PARKING/DRIVE LANE AREA (SURFACE PARKING) = 9,889 S.F.

NOTES:

REFER TO ARCHITECTURAL SHEETS FOR LANDSCAPE SETBACKS AND OTHER SITE DIMENSIONS.



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CONTACT: JAREA BOHONUS
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NO. DESCRIPTION

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Architectural Drawn By

SHEET TITLE
OVERALL LANDSCAPE
PLAN

Date Issued Issue Date
Scale 1" = 20'-0" 01/24/2019

L1.0

SHEET OF



LEGEND

- 1

INTEGRATED RESIDENT PLANTERS AT VARIOUS HEIGHTS FOR WHEEL CHAIR AND WALKER RESIDENTS
- 2

FIRE ELEMENT WITH BENCH AND SOFT SEATING
- 3

SHADE TRELLIS WITH COMMUNITY TABLE
- 4

RAISED PLANTER WITH SPECIMEN TREE
- 5

PLANT CONTAINER WITH ACCENT PLANT MATERIAL
- 6

ACCESSIBLE PATH TO RETAIL
- 7

PAINTED CROSSWALK TO RETAIL
- 8

ACCESS GATE WITH KEY PAD ENTRY
- 9

WATER QUALITY RAISED PLANTERS
- 10

PERIMETER SCREEN WALL
- 11

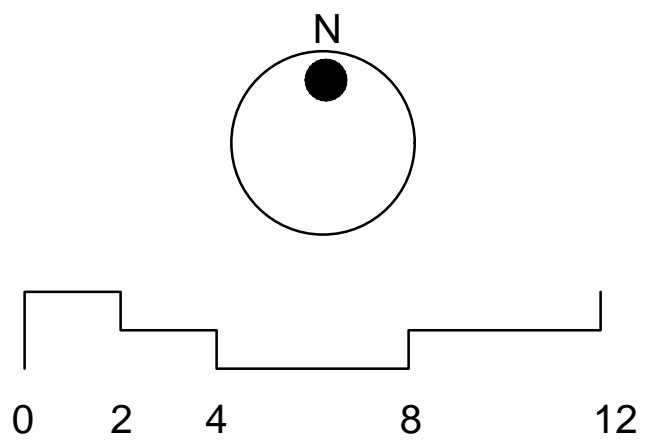
DINING TABLES AND CHAIRS
- 12

CONVERSATION AREA
- 13

CLUB CHAIRS WITH SIDE TABLES
- 14

SHADE TRELLIS
- 15

BAR SEATING



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Architectural Drawn By

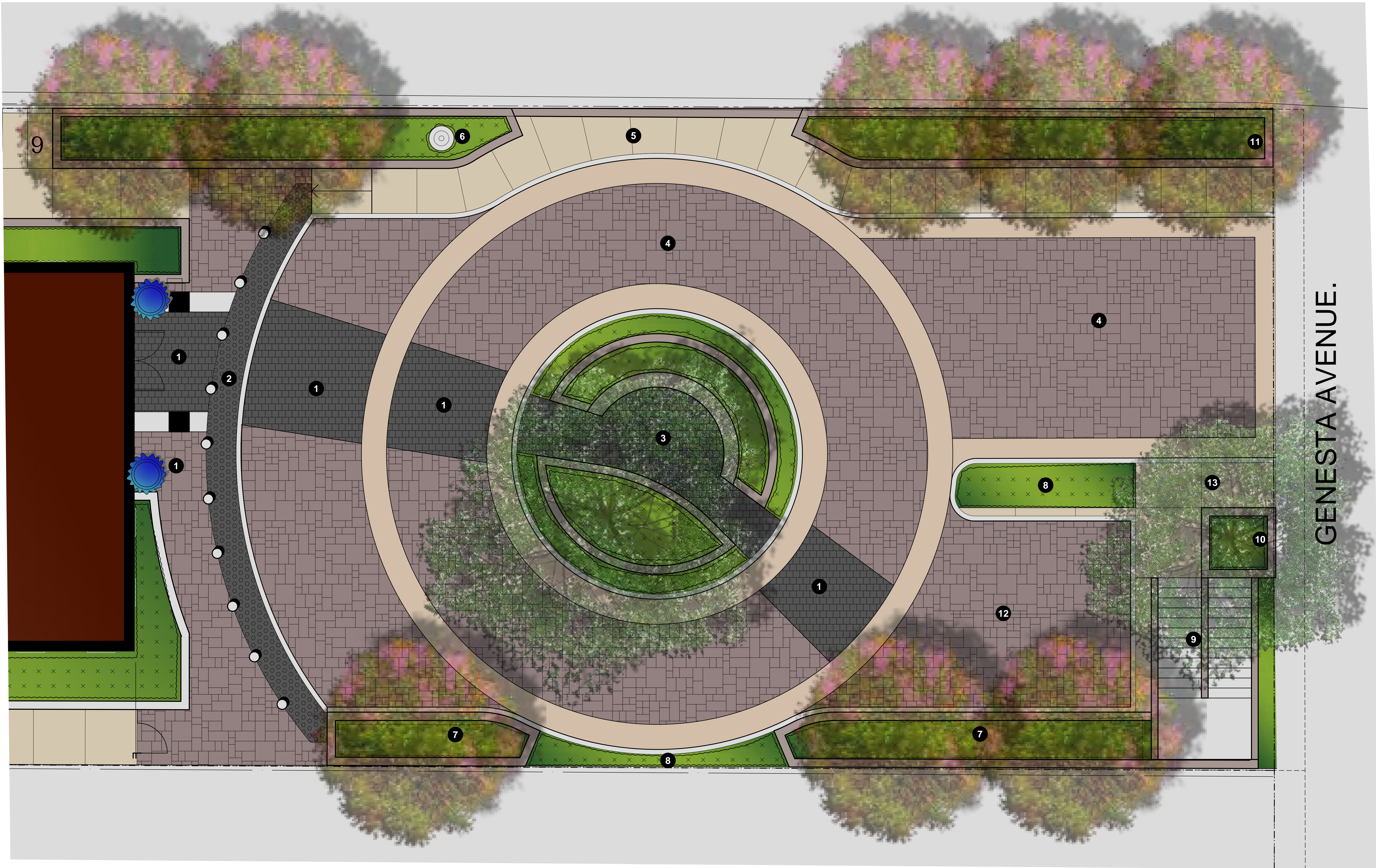
SHEET TITLE
SOUTH COURTYARD
PRELIMINARY
LANDSCAPE PLAN
ENLARGEMENT

Date Issued
Scale 1/4" = 1'-0"

Issue Date
01/24/2019

L2.1

SHEET OF



LEGEND

- 1

8X8 TILE OR PAVERS
- 2

ZERO INCH CURB WITH DETECTABLE WARNING TILES AND BOLLARDS
- 3

CENTRAL SEATING AREA WITH TERRACED PLANTERS AND SPECIMEN MULTI-TRUNK TREE
- 4

ASHLAR PAVERS OR TILE
- 5

ACCESSIBLE PATH TO RIGHT OF WAY
- 6

SUNRISE FLAG POLE FEATURE
- 7

RAISED PLANTER WITH SMALL ACCENT TREES
- 8

CURBED PLANTING AREA WITH LOW ACCENT PLANTINGS
- 9

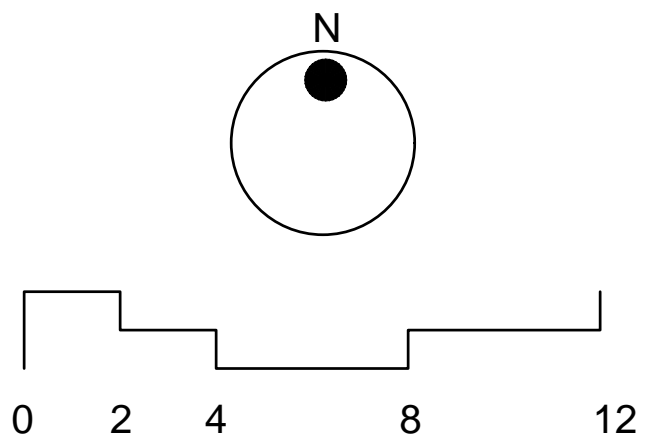
STAIRWAY TO PARKING GARAGE BELOW
- 10

ACCENT TREE IN RAISED PLANTER
- 11

SUNRISE MONUMENT SIGN
- 12

(2) PARKING STALLS
- 13

PEDESTRIAN CONNECTION FROM PARKING GARAGE STAIRS TO R.O.W.



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17027 VENTURA BLVD., SECOND FLOOR
ENCINO, CA 91316
818-748-4800



115 22nd street
Newport Beach, CA 92663
o: 949. 675. 6442

CONTACT: JAREA BOHONUS
EMAIL: jared@ridgela.com



ParkPointe Encino

17017-17031 West Ventura Boulevard
4929 North Genesta Avenue
5018 North Amestoy Avenue

NO.	DESCRIPTION
1	
2	
3	
4	
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6	
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Architectural Drawn By

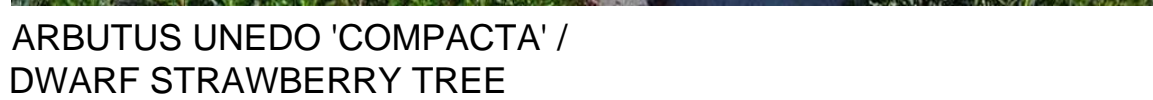
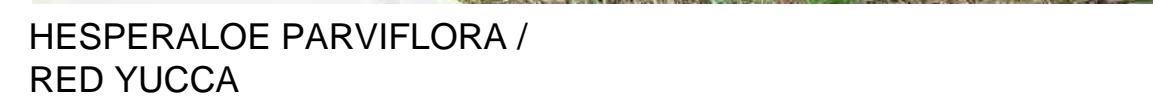
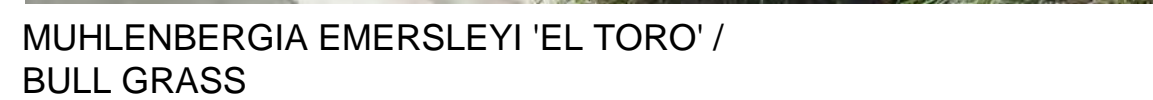
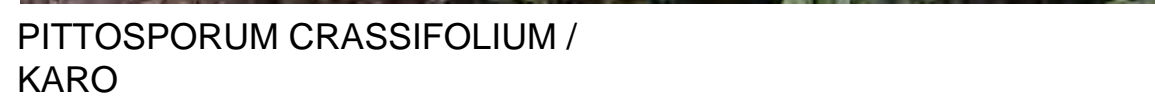
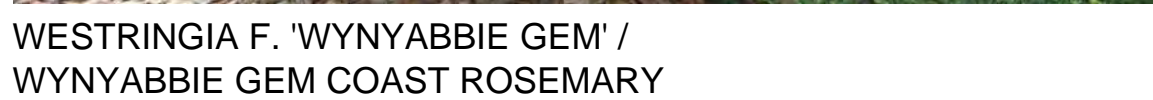
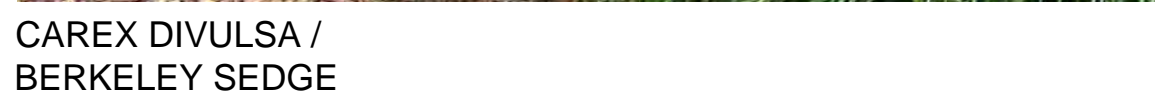
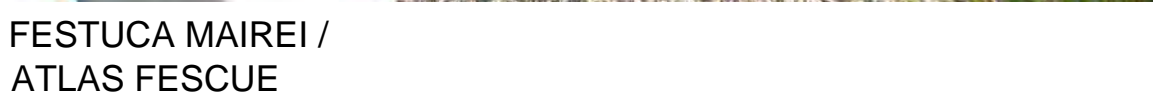
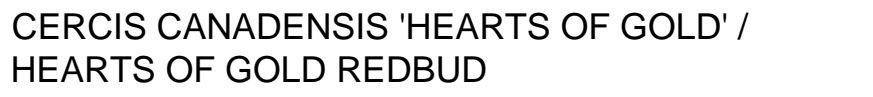
SHEET TITLE
ARRIVAL COURT
PRELIMINARY
LANDSCAPE PLAN
ENLARGEMENT

Date Issued
Scale 1/4" = 1'-0"

Issue Date
01/24/2019

L2.2

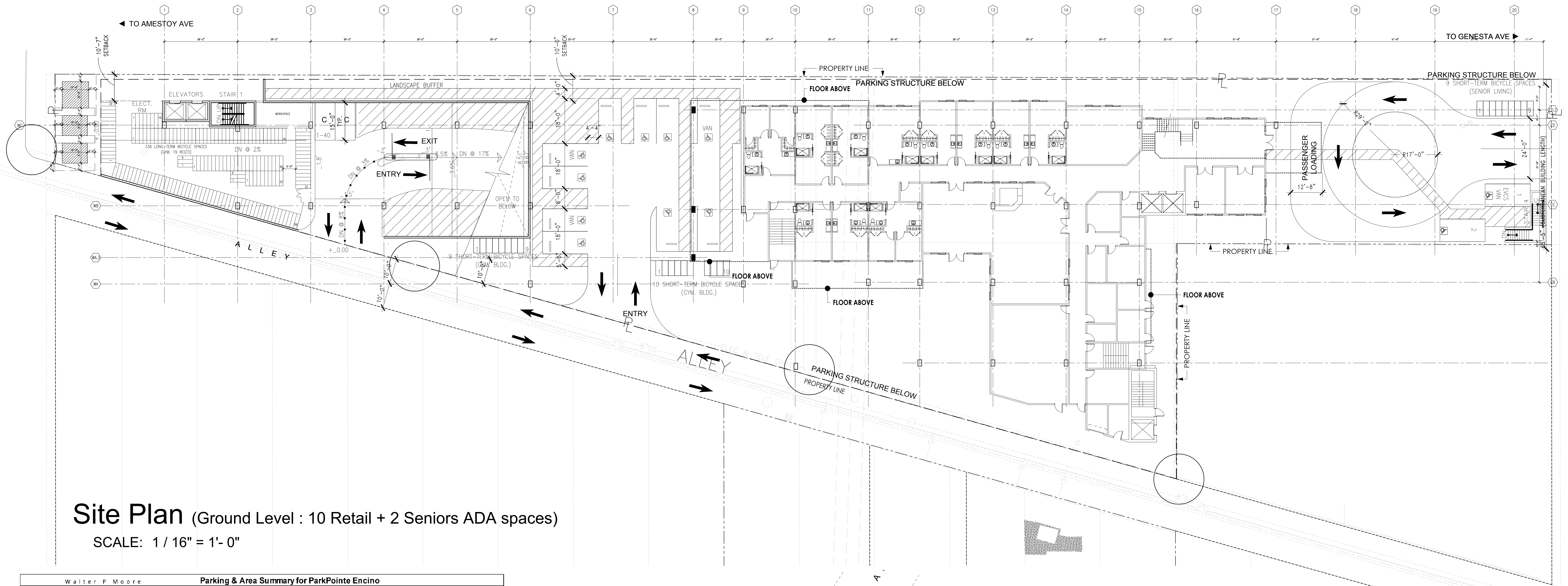
SHEET OF

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Architectural Drawn By

SHEET TITLE
PLANT IMAGERY

Date Issued	Issue Date
Scale N.T.S.	01/24/2019



Site Plan (Ground Level : 10 Retail + 2 Seniors ADA spaces)
SCALE: 1 / 16" = 1'- 0"

Walter P Moore				Parking & Area Summary for ParkPoint Encino											
Parking Areas				Provided Vehicle Parking Spaces											
(Apx. Structure Size = 570' x 150')				Standard		Compact		Accessible (ADA)		Cal Green		EV Charging Station		Totals	
Parking Bay	Use	On Grade Parking	Below Grade Parking	Standard Spaces	Standard Tandem	Compact	Compact Tandem	Standard and Van spaces	Clean Air / Vanpool / EV	CAVPEV (EVS)	Standard & Accessible EV Charging Stations	Spaces	SF. Per Sp.		
G1	G1A	Retail Senior	6430 638	0	0	0	0	10	0	0	0	10	643		
B1	B1A	Other	25964	29	0	2	0	0	6	9	3	49	319		
	B1A	Senior	10227	22	0	0	0	0	0	2	0	24			
	B1B	Other	15949	11	4	6	1	0	0	8	2	32			
B2	B2A	Other	25964	71	0	6	0	0	0	0	0	77	497		
	B2A	Senior	10227	12	0	1	0	0	0	0	0	13			
	B2B	Other	15949	21	4	7	1	0	0	0	0	33			
B3	B3A	Other	36191	87	0	3	0	0	0	0	0	90	420		
	B3B	Other	15949	23	4	5	2	0	0	0	0	34			
On Grade Below Grade															
Senior Vehicle Totals			20454	34	0	1	0	2	0	2	0	39	Spaces		
				Percentages											
				87%	0%	3%	0%	5%	0%	5%	0%	100%			
				Senior Bicycle Parking											
				Short-Term	Long-Term	Total									
				9	17	26									
				Spaces											
Retail Vehicle Totals		6430	135966	242	12	29	4	10	6	17	5	325	Spaces		
				Percentages											
				74%	4%	9%	1%	3%	2%	5%	2%	100%			
				Retail Bicycle Parking											
				Short-Term	Long-Term	Total									
				19	19	38									
				Spaces											
Grand Total		7068	156420	276	12	30	4	12	6	19	5	364	Spaces		
Grand Total SF			163488	Percentages											
Total SF Per space Efficiency			449	76%	3%	8%	1%	3%	2%	5%	1%	100%			

OCCUPANT LOAD AND REQUIRED EXITS :

OCCUPANT LOAD DESIGN BASIS: CBC 2016 - SECTION 1004, 1005 AND TABLE 1004.1.2

DOORS: 0.2 PER PERSON
STAIRS: 0.3 PER PERSON

TOTAL EXITS REQUIRED: 2
TOTAL EXITS PROVIDED: 3

MAXIMUM TRAVEL DISTANCE ALLOWABLE: 400' (SPRINKLERED PARKING)

REQUIRED EXITS:
OCCUPANT LOAD OF 1-29 = 1 EXIT REQ'D
OCCUPANT LOAD OF 30-500 = 2 EXIT REQ'D
OCCUPANT LOAD OF 501-1000 = 3 EXIT REQ'D
OCCUPANT LOAD OF MORE THAN 1000 = 4 EXIT REQ'D

OCCUPANT LOAD = 52,150 SF LARGEST FLOOR AREA : 200 = 261 SF/PERSON --> 2 EXITS REQUIRED
REQUIRED: 261 X 0.3 = 79" :2 EXITS = 40" PER STAIRS
PROVIDED: 144" :3 EXITS = 48" PER STAIRS

CONCLUSION: ONE STAIR CAN BE ELIMINATED

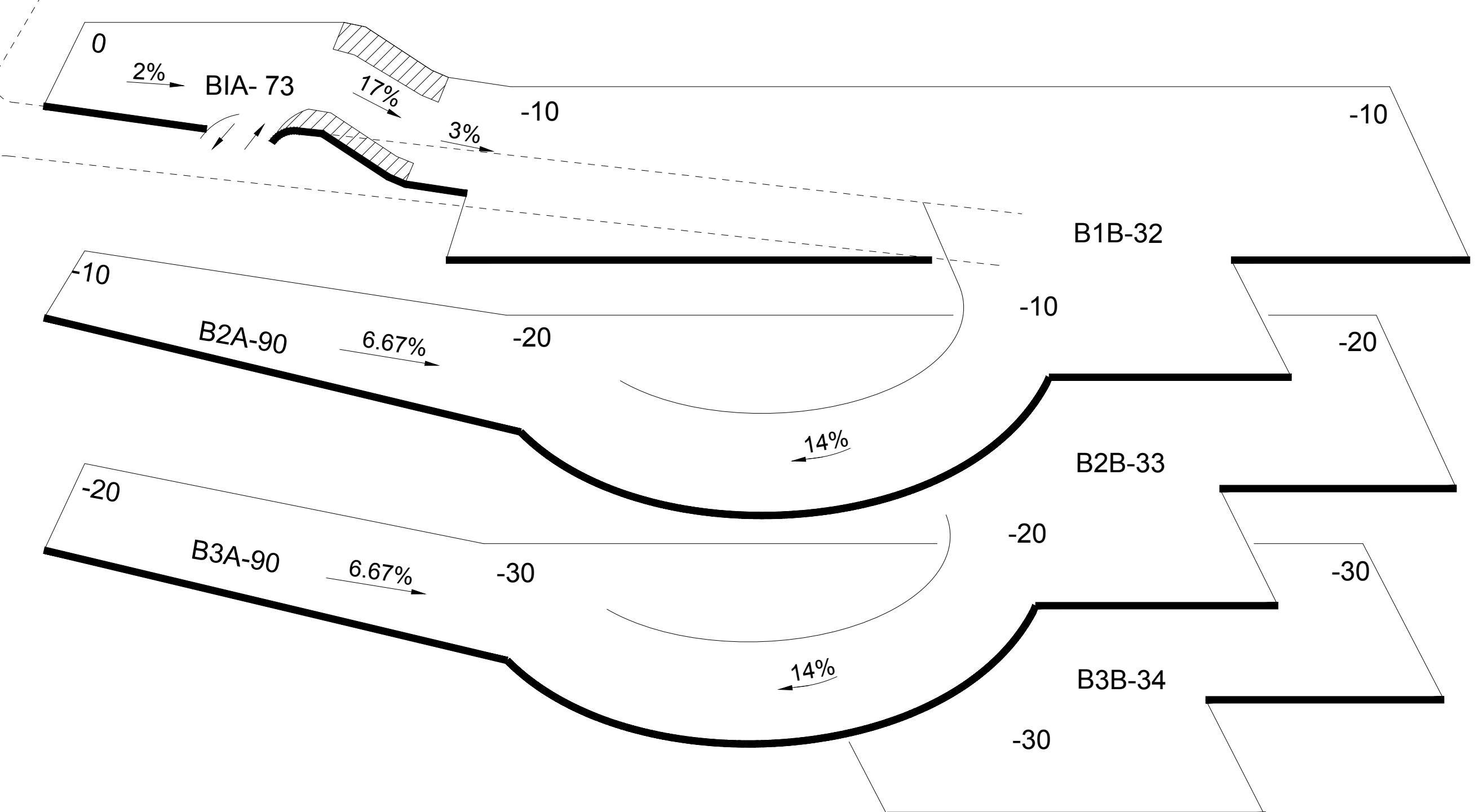
ELEVATOR REQUIREMENT:

PER CBC 1009.2.1 & 11B-202.4 IF ACCESSIBLE FLOOR IS MORE THAN 3 STORIES ABOVE OR BELOW THE LEVEL OF EXIT DISCHARGE ELEVATOR SHOULD BE PROVIDED.

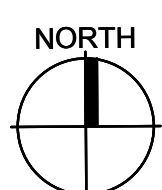
CONCLUSION: 2 ELEVATORS AT FAR WEST END ARE NOT REQUIRED

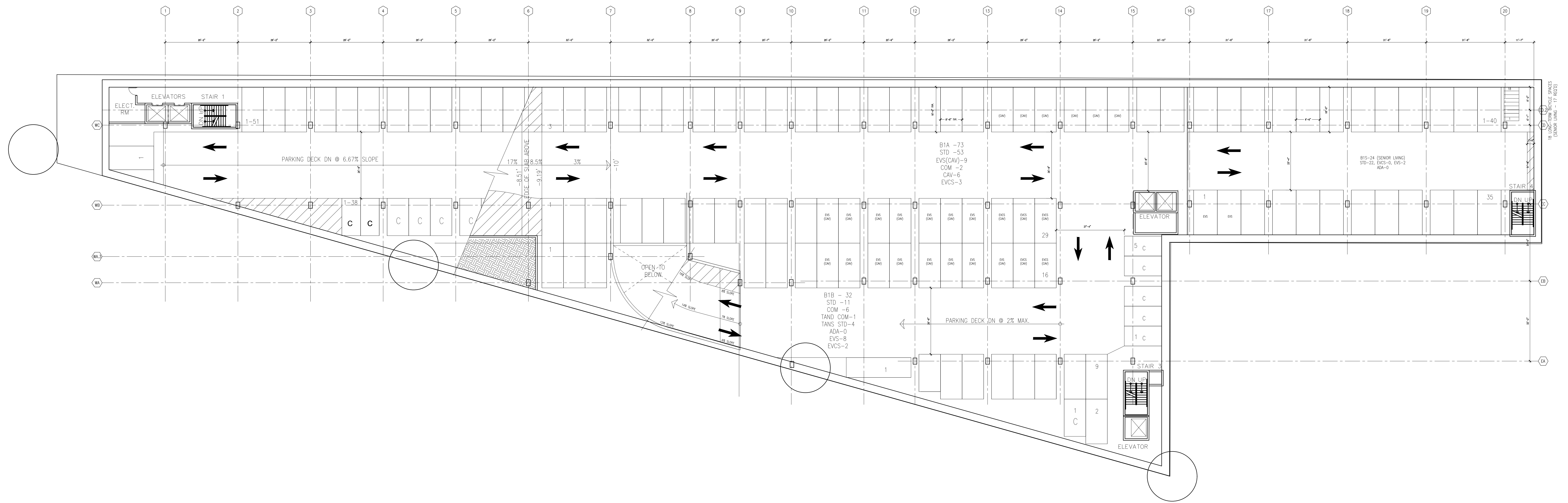
AMESTOY A

TO VENTURA BLVD.



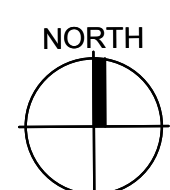
Expanded View (Looking North)
N.T.S.





B1 Level (105 spaces: 81 Ret. + 24 Seniors)

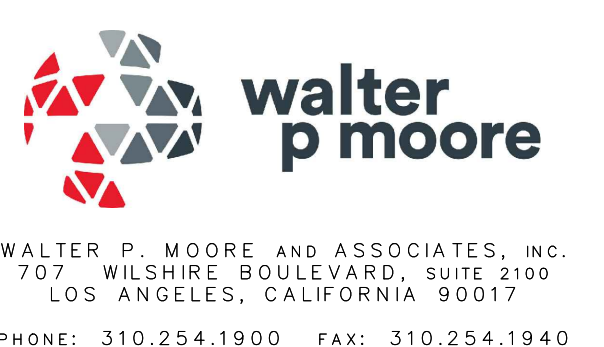
SCALE: 1 / 16" = 1'- 0"



Parkpointe Subterranean parking Encino, CA

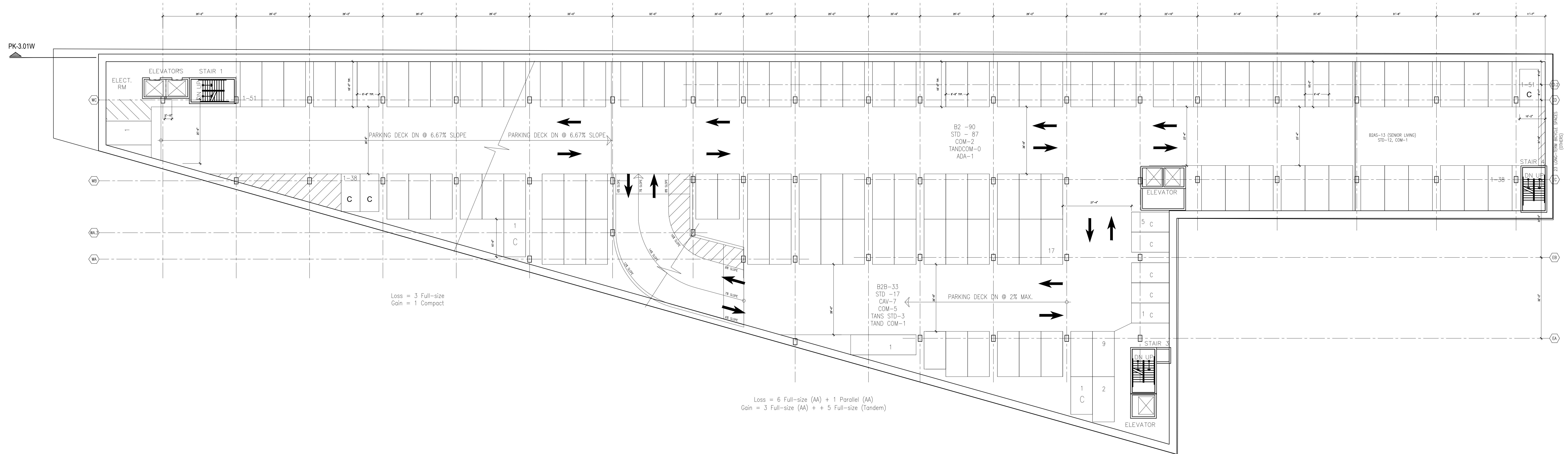


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PK1.02



B2 Level (123 spaces: 110 Ret. + 13 Seniors)

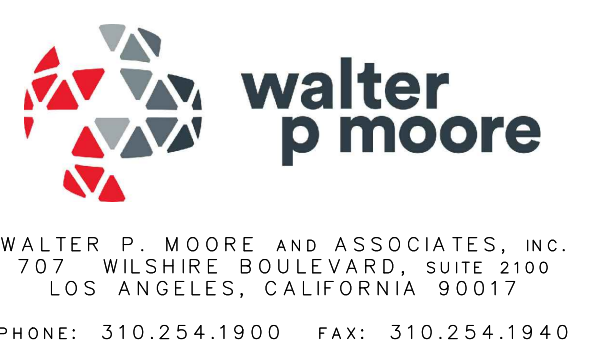
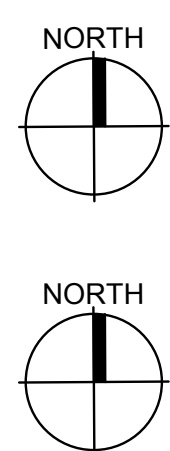
SCALE: 1 / 16" = 1' - 0"

Parkpointe Subterranean parking Encino, CA



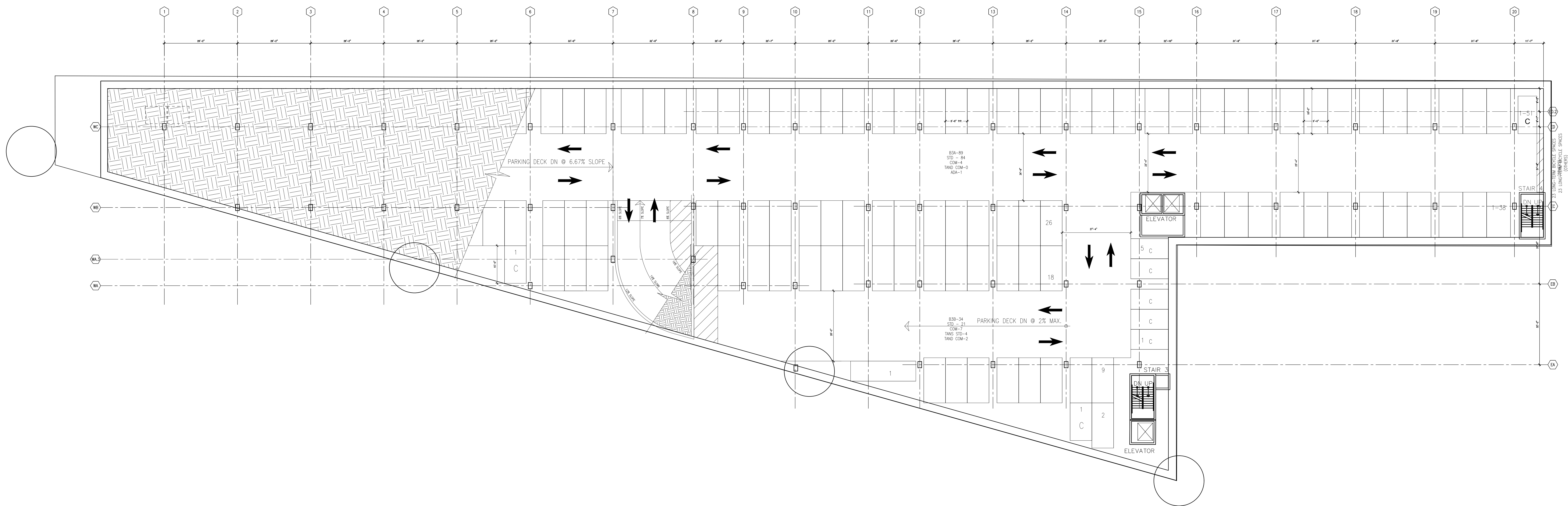
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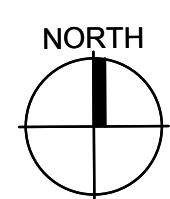
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PK1.03



B3 Level (124 Ret. spaces)

SCALE: 1 / 16" = 1'- 0"



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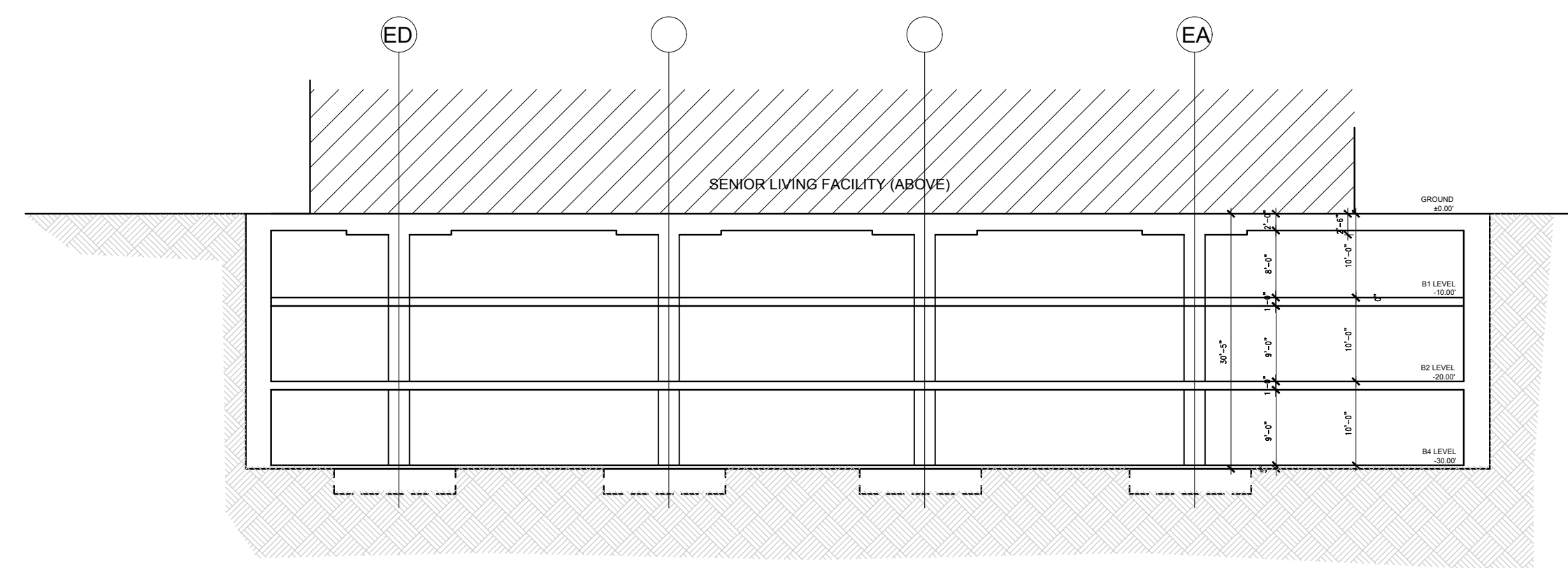


WALTER P. MOORE AND ASSOCIATES, INC.
707 WILSHIRE BOULEVARD, SUITE 2100
LOS ANGELES, CALIFORNIA 90017
PHONE: 310.254.1900 FAX: 310.254.1940

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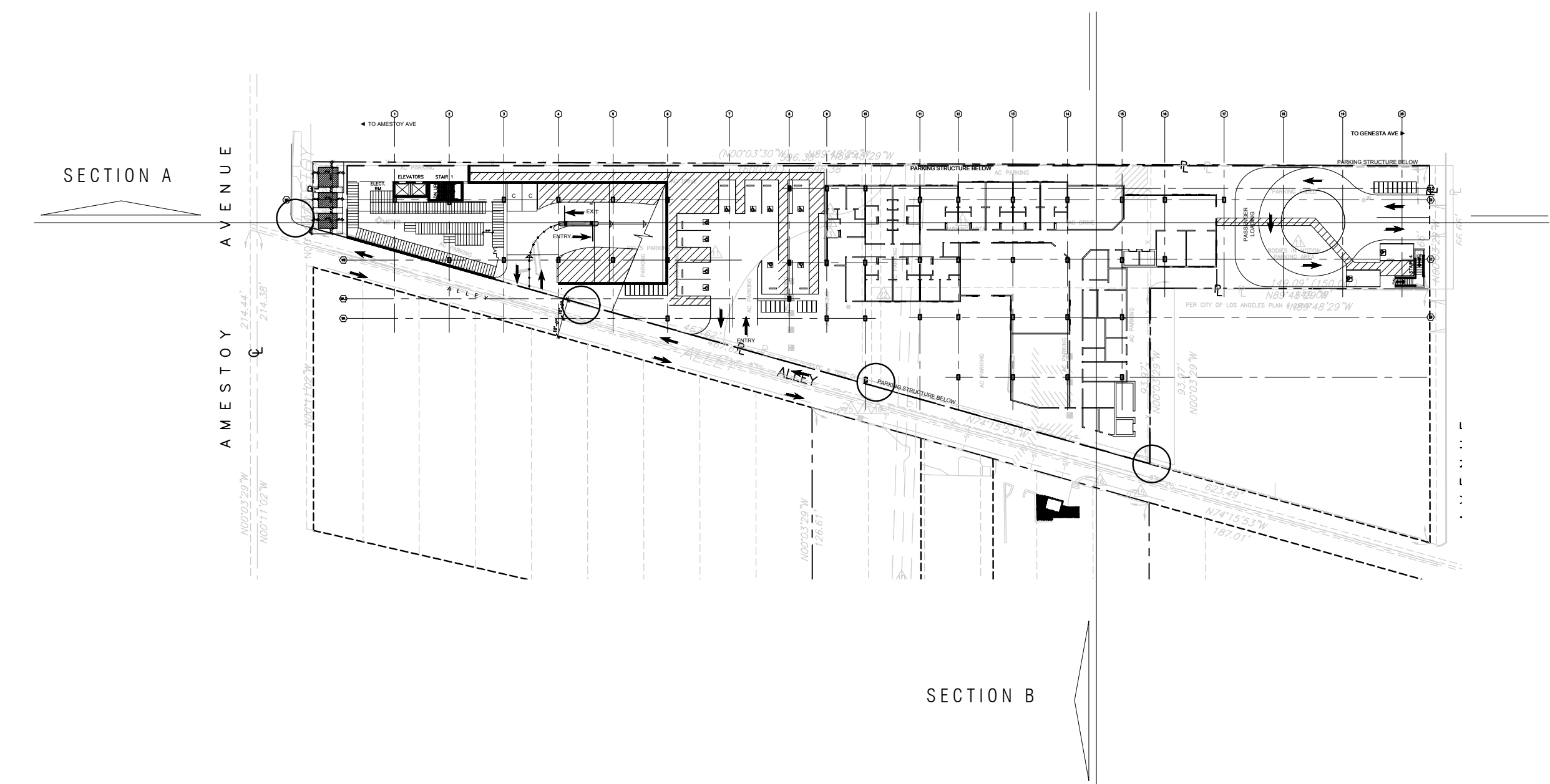
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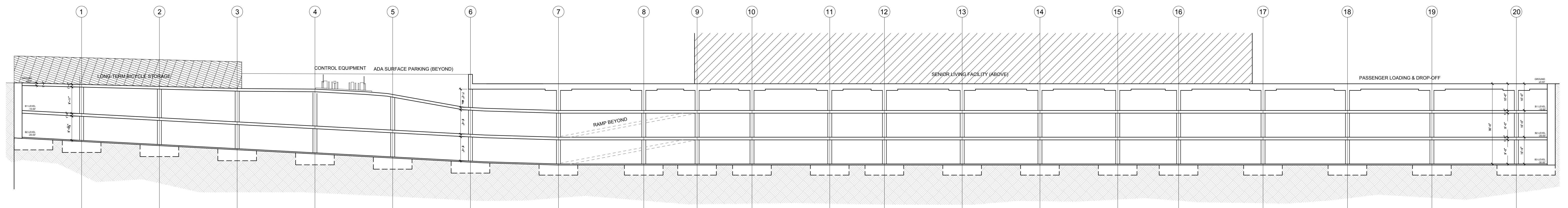


SECTION B

SCALE: 1 / 16" = 1'-0"

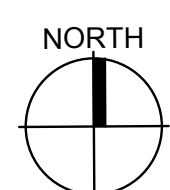


SECTION B



SECTION A

SCALE: 1 / 16" = 1'-0"



Parkpointe Subterranean parking Encino, CA



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PK3.01



Appendix D – Résumé



EMILY RINALDI



Emily Rinaldi is an Associate Architectural Historian at GPA. She has been involved in the field of historic preservation since 2011. Emily graduated from Columbia University with a Master of Science degree in Historic Preservation, receiving the school's highest honor for her thesis work. She has since worked in private historic preservation consulting in both the New York metropolitan area and California. Emily joined GPA in 2017 and her experience has included the preparation of environmental compliance documents in accordance with the California Environmental Quality Act and Section 106 of the National Historic Preservation Act; historic structure reports; local landmark nominations; Federal Rehabilitation Tax Credit and Mills Act applications; historic context statements; conditions assessments; large-scale historic resource surveys; and evaluations of eligibility for a wide variety of projects and property types throughout Southern California. She is also experienced in providing property owners with expert guidance in the rehabilitation and restoration of historic buildings, having completed numerous projects in New York and Los Angeles.

Educational Background:

- M.S., Historic Preservation, Columbia University, 2013
- B.A., History, New York University, 2009
- B.A., Political Science, New York University, 2009

Qualifications:

- Meets the Secretary of the Interior's Professional Qualifications Standards for history and architectural history pursuant to the Code of Federal Regulations, 36 CFR Part 61, Appendix A.

Professional Activities:

- Vernacular Architecture Forum, Image Editor for Buildings & Landscapes, 2014–2019

Selected Projects:

Secretary of the Interior's Standards Compliance

- **Wilshire Tower, Los Angeles, 2020** – Conducted fieldwork and research, authored a Preservation Plan, which included identifying character-defining features and preparing

Professional Experience:

- GPA Consulting, Associate Architectural Historian, 2017-Present
- Building Conservation Associates, Inc., Historic Preservationist, 2015-2017
- Avery Drawings & Archives, Columbia University, Graduate Intern, 2012-2013
- Docomomo, US, Intern, 2012

recommended treatments for rehabilitation in accordance with the Secretary of the Interior's Standards, and analyzed project plans for compliance with the Standards.

- **Hollywood Security Trust & Savings Bank, Los Angeles, 2020** – Conducted fieldwork and research, authored a Preservation Plan, which included identifying character-defining features and preparing recommended treatments for rehabilitation in accordance with the Secretary of the Interior's Standards, and analyzed project plans for compliance with the Standards.
- **Tokio Florist/Sakai-Kozawa Residence, Los Angeles, 2019-2020** – Conducted fieldwork and research, authored a Historic Structure Report, which included identifying and documenting character-defining features and preparing recommended strategies and treatments for rehabilitation in accordance with the Secretary of the Interior's Standards, and presented at the Los Angeles Cultural Heritage Commission.
- **Silver Lake Reservoir Complex Master Plan Project, Los Angeles, 2019-2020** – Conducted fieldwork and research, identified character-defining features, analyzed master plan project for compliance with the Secretary of the Interior's Standards, and presented at the Los Angeles Cultural Heritage Commission.
- **Continental Building, Los Angeles, 2019**– Conducted fieldwork and research, authored a Preservation Plan, which included identifying character-defining features and preparing recommended treatments for rehabilitation in accordance with the Secretary of the Interior's Standards, and analyzed project plans for compliance with the Standards.
- **Jay Littleton Ball Park, Ontario CA, 2018-2019** – Served as project manager, conducted fieldwork and research, authored a Historic Structure Report, which included identifying character-defining features and preparing recommended treatments for rehabilitation in accordance with the Secretary of the Interior's Standards, and presented at the Ontario Planning and Historic Preservation Commission.
- **Times Mirror Square, Los Angeles, 2018-2019** – Conducted fieldwork and research, and co-authored a Historic Structure Report, which included identifying character-defining features and preparing recommended treatments for rehabilitation in accordance with the Secretary of the Interior's Standards.
- **International Building, San Diego, 2018** – Conducted fieldwork and research, identified and documented character-defining features, and prepared conditions assessment as part of the Section 106 consultation process for the San Ysidro Land Port of Entry project.

Historic Preservation Tax Credit Certifications and Mills Act Contracts

- **Elks Lodge No. 99, Los Angeles 2018-2020** – Conducted fieldwork and research, prepared the Part II Historic Preservation Certification Application, prepared a Los Angeles Mills Act application, prepared a Historic Structure Report, and reviewed project plans for compliance with the Secretary of the Interior's Standards.
- **Casa de Rosas, Los Angeles, 2018-2020** – Conducted fieldwork, assisted in the preparation of the Part II Historic Preservation Certification Application, prepared six amendment applications, and reviewed project plans for compliance with the Secretary of the Interior's Standards.
- **Joannes Brothers Company Building, Los Angeles 2017-2018** – Conducted fieldwork and research, prepared a Los Angeles Mills Act application and Historic Structure Report, reviewed project plans for compliance with the Secretary of the Interior's Standards, and presented at the Los Angeles Cultural Heritage Commission.

- **Ridley's & Sons Department Store, New York, 2016-2017** – While employed at Building Conservation Associates, conducted fieldwork and research, and prepared the Part I and Part II Historic Preservation Certification Applications.

National, State and Local Landmark Nominations

- **Edmund "Rochester" Anderson House, Los Angeles, 2019** – Conducted research and assisted in prepared National Register nomination under Multiple Property Documentation Form for Historic Resources Associated with African Americans in Los Angeles.
- **Joannes Brothers Company Building, Los Angeles, 2017** – Conducted the fieldwork and research, prepared a Los Angeles Historic-Cultural Monument application, and presented at the Los Angeles Cultural Heritage Commission.

Section 106 Environmental Compliance Documentation

- **State Route 110 (SR-110) Arroyo Seco Parkway Safety and Operational Improvement Project, Los Angeles County, 2020** – Co-conducted the field survey and research, prepared Department of Parks and Recreation forms for properties within the Area of Potential Effects, and authored sections of the Historic Resource Evaluation Report and Historic Property Survey Report.
- **Edwards Crossing Bridge Replacement Project, Nevada County, 2020** – Analyzed project for compliance with the Secretary of the Interior's Standards and prepared of a Finding of Effect report.
- **07A3454, Task Order 23 - Ven-33 and Ven-150 Pedestrian and Bicycle Improvements, Ojai CA, 2018** – Co-conducted the field survey and research, prepared Department of Parks and Recreation forms for properties within the Area of Potential Effects, evaluated a historic district based upon national and state criteria, authored the Historic Property Survey Report, and authored sections of the Historic Resource Evaluation Report.

CEQA Environmental Compliance Documentation

- **6800 Hollywood Boulevard, Los Angeles, 2020** – Conducted fieldwork and research, evaluated two buildings as potential historic resource based upon national, state, and local criteria, prepared state inventory forms, analyzed project impacts, and authored Historical Resource Technical Report.
- **1730 S. Clementine Street, Anaheim, 2019** – Conducted fieldwork and research, evaluated property as potential historic resource based upon national, state, and local criteria, prepared state inventory forms, and authored Historical Resource Evaluation Report.
- **140 Oregon Street, El Segundo, 2019** – Conducted fieldwork and research, evaluated property as potential historic resource based upon national, state, and local criteria, prepared state inventory forms, and authored Historical Resource Evaluation Report.
- **1666 N. Vermont Avenue, Los Angeles, 2019** – Conducted fieldwork and research, evaluated two buildings as potential historic resource based upon national, state, and local criteria, prepared state inventory forms, analyzed project impacts, and authored Historical Resource Technical Report.

HABS/HAER Documentation

- **International Building, San Diego, 2019** – Conducted research, assisted with fieldwork and large-format photography, and completed the HABS historical documentation.

- **Times Mirror Building & Parking Structure, Los Angeles, 2018-2019** – Conducted research, assisted with fieldwork and large-format photography, and completed the HABS historical documentation.

Historic Resources Surveys and Context Statements

- **SurveyLA, Residential Development and Suburbanization Context Statement, Los Angeles, 2020** – Conducted research and co-authored Residential Development and Suburbanization Context Statement.
- **SurveyLA, Beaux Arts Classicism, Neoclassical, and Italian Renaissance Revival Architecture Context Statement, Los Angeles, 2018** – Conducted research and prepared the Beaux Arts Classicism, Neoclassical, and Italian Renaissance Revival Architecture Context Statement.
- **SurveyLA, African American History of Los Angeles, Historic Context Statement, Los Angeles, 2017** – Conducted research and assisted with the preparation of the African American Historic Context for the City of Los Angeles Historic Context Statement.
- **Southington Historic Inventory Survey, Southington CT, 2016-2017** – While employed at Building Conservation Associates, assisted City of Southington with historic resources survey, conducted research, co-conducted fieldwork, and assisted with the recordation of historic resources as part of a survey update.
- **Historic Preservation Element of the Township Master Plan, Montclair NJ, 2016** – While employed at Building Conservation Associates, assisted the City of Montclair in the development of a Historic Preservation Element of the Township Master Plan, including conducting fieldwork and research, preparing the Historic Preservation Element, public outreach, and coordinating with Township of Montclair Planning Department, Township of Montclair Historic Preservation Commission, and the New Jersey State Historic Preservation Office.