



Citywide Housing Incentive Program, Housing Element Sites and Minimum Density, and Resident Protections Ordinances

CITYWIDE PROPOSED CODE AMENDMENT

Virtual Presentation for Staff-Level Public Hearing

CPC-2023-7068-CA, CPC-2024-387-CA, and CPC-2024-388-CA

LOS ANGELES
CITY PLANNING

July 25, 2024

Agenda

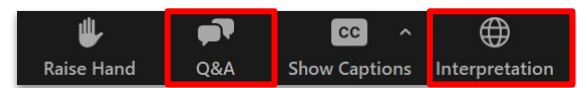
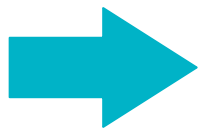
- 5:00 PM - Information Session
 - 5:00-5:40 PM - Citywide Housing Incentive Program Ordinance
 - Question Break
 - 6:00-6:15 PM - Housing Element Sites and Minimum Density Ordinance & Resident Protections Ordinance
 - Question Break
- 6:30 - 8:00 PM - Public Hearing

Stay Engaged During the Presentation!

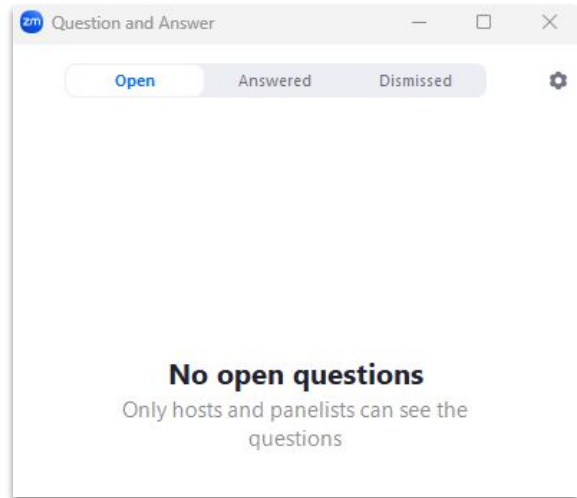
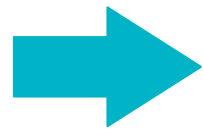
Please offer any comments and questions.



**Traducción al español
está disponible**
한국어 번역 가능
Spanish and Korean translation
available



**Type questions in
the Q&A**



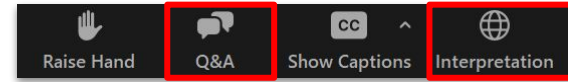
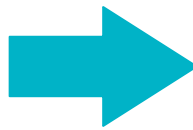
**No Artificial Intelligence,
including meeting notetakers
or bots, is permitted**

¡Manténgase conectado con nuestro equipo durante el seminario web!

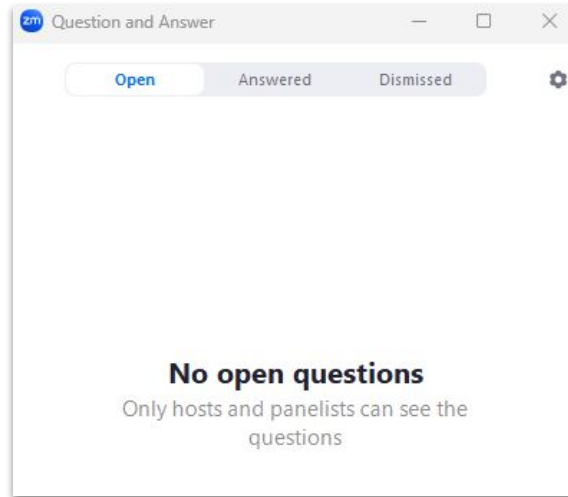
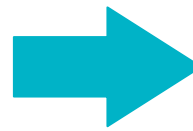
Por favor comparta sus comentarios y preguntas con nosotros.



Traducción al español está disponible
Spanish translation available



Escriba sus preguntas en la sección de preguntas y respuestas



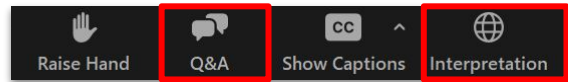
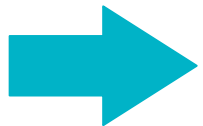
Ninguna herramienta de Inteligencia Artificial, tomadores de notas, o bots no son permitidos en plataformas virtuales que esté organizando el Departamento de Planeación de Los Ángeles (o LACP por sus siglas en inglés).

Image: No-ai-icon.com

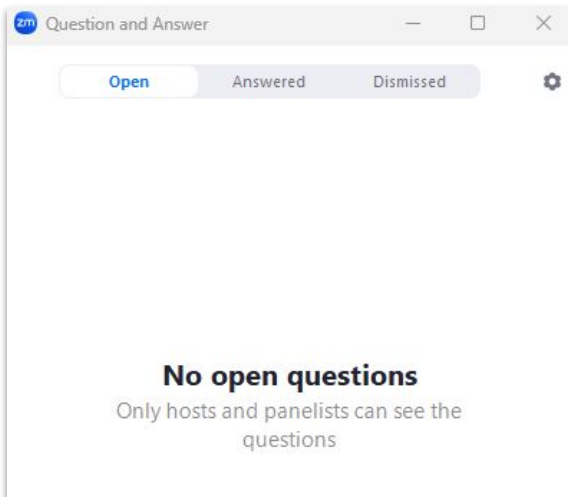
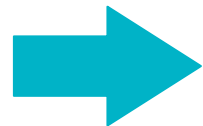
웨비나 도중에도 참여를 유지하기



한국어 번역 가능
Korean translation available



프로그램 전반에 대한 질문이
있으시면 Q&A 기능을 이용해
주시면 마지막에 Q&A 부분에서
답변해 드리겠습니다.



LACP 이벤트를 주최하는 가상
플랫폼에서는 인공지능 회의 도구,
메모 작성기 또는 봇이 허용되지
않는다는 점을 양해해 주시기
바랍니다.

Image: No-ai-icon.com

Housing Element Rezoning Program Background

An aerial photograph of a densely populated urban area, likely Los Angeles, showing a mix of multi-story apartment buildings and residential structures. The background features a range of mountains under a clear sky. The image is overlaid with a semi-transparent orange-to-blue gradient.

2021-2029 Housing Element

- Every eight-years, Los Angeles develops a policy framework known as the Housing Element Update.
- The most recent update established the City's official **housing goals, policies, objectives and programs** for the eight year period of **2021-2029**.
- Identified **rezoning** is needed to address the City's housing needs and targets.
- The City's Minimum Rezoning Need is 255,433 units by February 2025.
- There are significant consequences for failure to meet this obligation.



City of Los Angeles Housing Element 2021-2029

Consequences for Non-Compliance

State law requires **compliance** by the state (HCD) or there can be consequences including:

Significant funding put at risk (PLHA, AHSC, IIG, TCC, Planning Grants, etc.),

Loss of Local Zoning Control (Builders Remedy),

No Net Loss Requirements (findings required for more projects), and

Court Imposed Fines (up to \$600K per month) and other court actions that may affect zoning controls and require compliance.



Image: Builders Remedy project in the City of Santa Monica at 3000 Nebraska, 15 stories, 1600 units

Rezoning Program Considerations

Key elements of the rezoning strategy have been informed by:

- **Citywide Housing Priorities** developed through the Housing Element Update process
- Public and decision maker **input**
- **State Housing Element law** rezoning program requirements including:
 - **Affirmatively Furthering Fair Housing (AFFH)** objectives
 - Low income site requirements



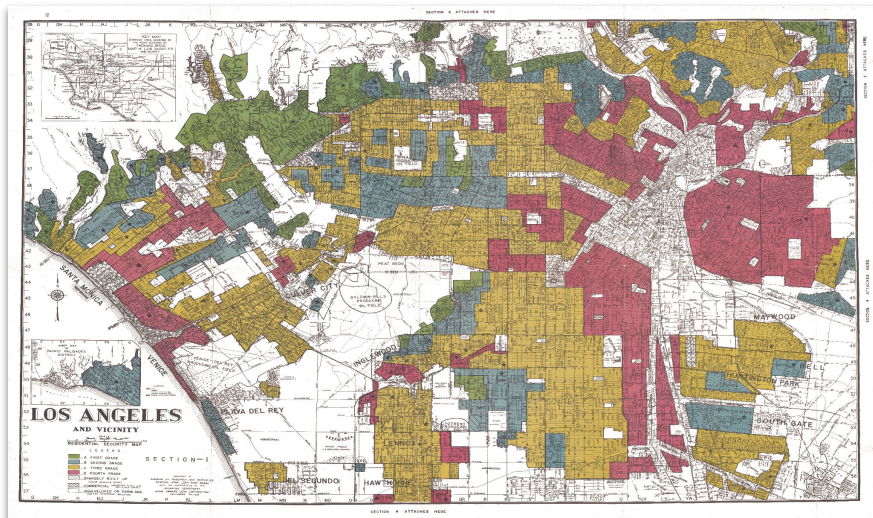
*Florence Mills Apartments
3501-3509 South Central Avenue.*

*Image: The 2022 Commercial Real Estate Awards:
Affordable Housing, Los Angeles Business Journal*

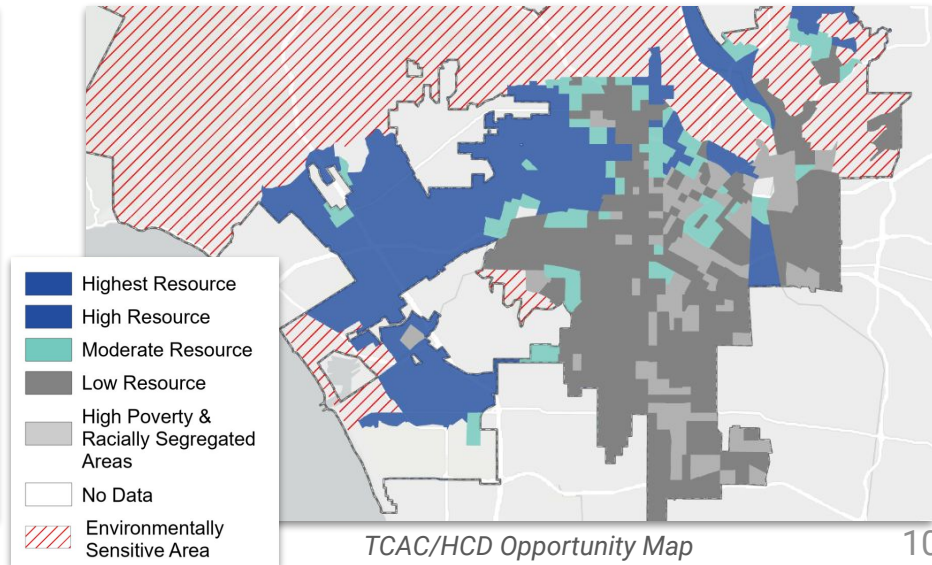
Affirmatively Furthering Fair Housing (AFFH)

AFFH is defined as:

“taking meaningful actions, in addition to combating discrimination, that overcome patterns of segregation and foster inclusive communities free from barriers that block access to opportunity ...”



Central Los Angeles County Redlining Map, 1939

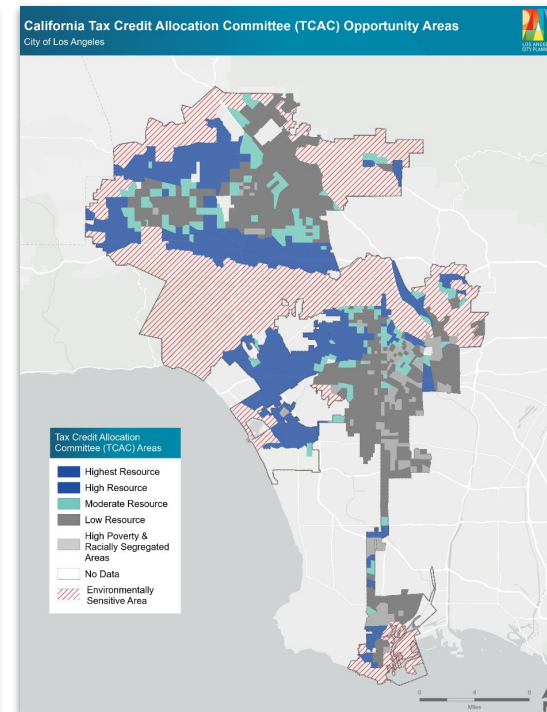
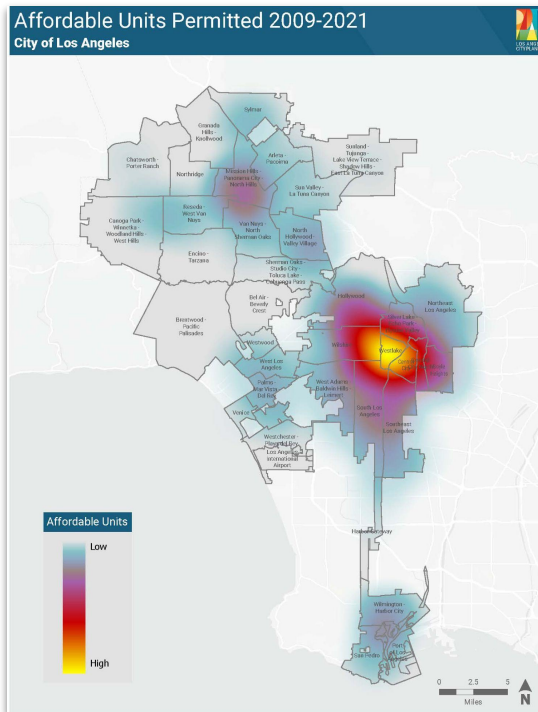


TCAC/HCD Opportunity Map

Equitable Rezoning Approach

The Housing Element Rezoning Program aims to expand access to housing and opportunity by:

- Focusing new **housing capacity in Higher Opportunity Areas**
- **Strengthening tenant protections** to protect communities vulnerable to displacement and housing pressures
- Promote **housing near jobs and transit** and away from environmentally hazardous areas



Outreach and Feedback

Rezoning Program Outreach

- 6 Live Webinars in English, Spanish, & Korean
- 57 events and meetings reaching just over 3,000 people. These included:
 - Partnerships with Community Based Organizations
 - Neighborhood Council Alliance Meetings
 - Community Events (including CicLAvia, Taste of Soul, etc)
- A first of its kind digital outreach campaign that included:
 - A targeted social media campaign with LA in a Minute that garnered over 400k views and engaged over 200k stakeholders
 - Google ads and digital engagement that reached over 1 million stakeholders with 54% of those reached being under 34



Top, Interactive Activity at Esperanza / PSR LA (4/2024)



Bottom: City Staff with Coalition for Humane Immigrant Rights of Los Angeles (CHIRLA) (04/2024)

What we heard in the Share Phase:

- Incentivize affordable housing in High Opportunity Areas
- Broaden environmental justice considerations
- Emphasis on the importance of a Plan that meets Affirmatively Further Fair Housing goals
- Increase project streamlining processes
- Expand Opportunity Corridor and Corridor Transition Incentive Areas
- Support development in single family zones
- Include Acutely Low and Moderate Income categories to affordability set aside options
- More Multi-Bedroom Units
- More guardrails around acquisition of single family faith based parcels
- Increase RSO replacement requirements and tenant protections
- Improve access to affordable units through marketing and outreach



Proposed Citywide Housing Incentive Program (CHIP) Ordinance

Citywide Proposed Code Amendment
Virtual Presentation for Public Hearing

CPC-2023-7068-CA

LOS ANGELES
CITY PLANNING

July 25, 2024

Citywide Housing Incentive Program Ordinance

State Density Bonus Program

State Density Bonus Law
Technical Revisions

Align with new AB 1287 to
provide 100% density bonus

Mixed Income Incentive Program

Transit Oriented Incentive Areas

Opportunity Corridors

Corridor Transition Areas

Affordable Housing Incentive Program

Opportunity Based 100%
Affordable Housing Incentives

Faith Based Organization
Incentives (80-100% Affordable)

Public Facilities (PF)
Zone/Publicly Owned Land
Incentives

Note: All programs will be in the Exceptions section (12.22) of the Municipal Code.

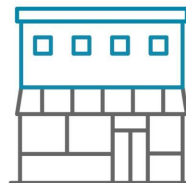
CHIP Strategies

Provide Density Bonuses for Affordable Housing

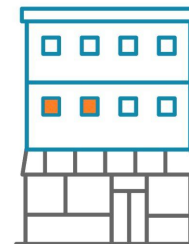
- Each program requires different affordability set asides for greater zoning 'incentives' (requests for additional height, larger building envelope or floor area ratio, reduced parking requirements, reduced yards, etc.)

Grant larger bonuses to projects offering a higher percentage of affordable units

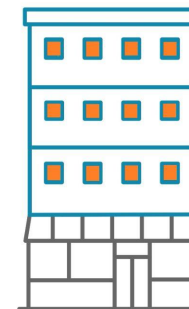
- But base zoning, moderate/higher resource areas, and proximity to transit also affect magnitude of incentives



Base
Zoning
Regulation



Mixed-Income
Affordable
Housing Bonus



100%
Affordable
Housing Bonus

CHIP Strategies

Menus of Incentives

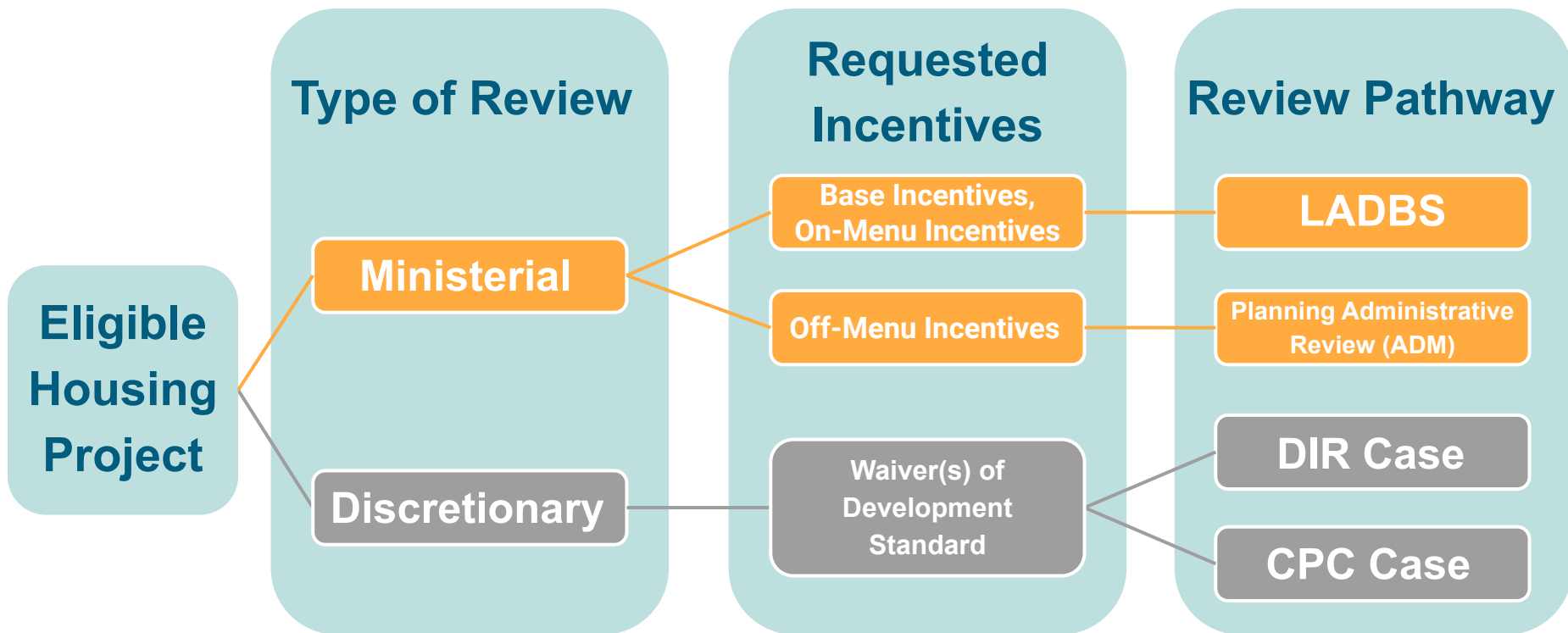
- Projects may utilize a number of incentives from a pre-set “menu of incentives”
- Additional incentives include yard/setback reductions, passageway reductions, transitional height, and more

Public Benefit Options

- By-right development bonuses in exchange for community benefits
- Options include childcare facilities, family sized units, privately owned public space, and more

- (i) **Public Benefit Options.** Per Paragraphs (e)(ii) or (f)(ii), all Projects that qualify for the Base Incentives contained in this subdivision shall be eligible for one or more of the following Public Benefit Options. Projects utilizing the Opportunity Corridor Transition Incentive Area are not eligible for Public Benefit Options. If a Project includes five of the following Public Benefit Options, they shall receive an additional 11 feet in height.
- (1) **Childcare Facility.** A Project that includes a Childcare Facility located on the premises of, as part of, or adjacent to, the project, shall be granted either of the following:
 - (i) An additional Density Bonus that is, for purposes of calculating residential density, an increase in the floor area of the project equal to the floor area of the Childcare Facility included in the project, or
 - (ii) An additional Incentive on or off the Additional Menu of Incentives that contributes significantly to the economic feasibility of the construction of the Childcare Facility. Projects that utilize this incentive may request an additional 11 feet in height.
 - (2) **Multi-Bedroom Units.** A Project that includes a minimum of 40% of Residential Units as 2-bedrooms or larger, shall be granted additional Floor Area up to 0.5 FAR or an additional 11 feet in height.
 - (3) **Preservation of Trees.** Additional 11 feet of height may be awarded for projects that maintain existing mature, Significant Trees (any tree that measures 12 inches or more in diameter at four and one-half feet above the average natural grade at the base of the tree and/or is more than 35 feet in height), as verified by a focused Tree Report prepared by a certified arborist. A covenant shall be filed with LADBS that requires the tree to be maintained for at least 15 years unless a certified arborist certifies that the tree is dead, dying or dangerous to public health.
 - (4) **Land Donation.** An applicant for a subdivision, parcel map or other residential development approval that donates land for housing to the City of Los Angeles satisfying the criteria of California Government Code Section 65915(g), as verified by the Department of City Planning, shall be granted a minimum Density Bonus of 15%. The Department of City Planning may adopt administrative guidelines for the purpose of clarifying procedures associated with the implementation of Land Donations pursuant to California Government Code Section 65915(g).
 - (5) **Active Ground Floor Exemption from Calculation of Floor Area.** Active uses, up to 1,500 square feet, located on the ground story shall be exempt from the calculation of floor area.
 - (i) For the purposes of exempting active uses on the ground story from calculating floor area, active space shall be designed and intended for General Commercial Uses, such as restaurants, counter service, general

Project Review Procedures



Note: This chart represents simplified project review procedures.

Summary of Programs and Revisions

Environmental Consideration Revisions

Environmental Justice Considerations

- Established a new “Environmental Considerations Area” definition including sites:
 - Previously used as a gas station, auto repair/maintenance,
 - Gas/oil well,
 - Dry cleaning facility,
 - within 500 ft of Hazardous Materials Sites listed on a state databases,
 - Sites in an Oil Drilling District,
 - Projects within a buffer of an oil well or field
- Require studies and a no further action letter to use the menu of incentives in the programs

Expanded Limitations

- Restricted and reduced access to incentives in:
 - CM, MR1, and MR2 zones that do not allow residential uses
 - The Coastal Zone
 - Designated Historic Areas

Procedures and Incentives

- **Expanded Administrative Review**
 - Ministerial procedure was moved from the Density Bonus section and added to Article 13 for use across the programs
- **One Hundred Percent Affordable Projects**
 - State Incentives were moved from the State Density Bonus section to AHIP
- **Modification of Development Standard Incentive**
 - Projects may request deviation from a non-numerical based Development Standard, in addition to 20% relief from a numerical based Development Standard
- **Multi-Bedroom Incentive**
 - Revised to grant eligible projects providing 3-bedroom or larger units two options for calculating the incentive

Project Exemptions

Affordable Housing Linkage Fee Exemption

The Affordable Housing Linkage Fee, per LAMC 19.18, requires projects to pay a fee, unless they provide on-site restricted affordable units at the following levels 40% Moderate, 20% Low Income, 11% Very Low Income, or 8% Extremely Low Income.

The revised ordinance amends the Affordable Housing Linkage Fee ~~section of the code~~ by adding an exemption from the fee for projects that utilize the Mixed Income Incentive Program.

Project Review (Site Plan Review) Exemption

Project Review, per LAMC 16.05, is a discretionary approval required for multifamily projects with 50 or more market-rate units.

The revised ordinance amends the Project Review section of the code by adding an exemption for Projects that provide Restricted Affordable Units consistent with the affordability requirements required for a project to be exempt from the Linkage Fee (LAMC Section 19.18.B.2(b)).

State Density Bonus Program Revisions

State Density Bonus Program



Comprehensive update to the City's Density Bonus Program

- Incorporates state legislation that has significantly amended State Density Bonus Law



Key Revisions

- Updated procedures for more predictable and streamlined project review
- New incentives for housing for target populations, and reduced parking requirements
- Incorporating provisions allowing for additional density bonuses up to 100% per AB 1287 (2023)

Summary of Key Revisions

Revised FAR Incentive

- Reduced FAR bonus for C Zones
- Removed R Zones from eligibility for a FAR bonus through an on-menu incentive
- Added an exception to remove sites with Designated historic resources from from eligibility

Revised Height Incentive

- Simplified Height incentive to allow a maximum height increase of 1 story or 11 feet

Zones	Initial Draft (03/2024)	Revised Draft (06/2024)
C Zones	3:1 or 35% whichever is greater	2.5:1 or 35%, whichever is greater Exception: Sites with Designated Historic Resources or Non-Contributing Elements not eligible for FAR bonus
R Zones	Percentage increase equal to percentage of density bonus Exception: RD Zones or more restrictive not applicable	N/A

Mixed Income Incentive Program (MIIP) Revisions

Opportunity Corridors Incentive Areas

Encourages housing development in jobs and transit-rich locations in High Opportunity Areas, with a strong focus on increasing housing potential along major streets.

Design Outcomes:

- Incentives calibrated to encourage 4 to 7 story podium buildings on Corridors depending on proximity to transit.
- Opportunities for low scale missing middle housing typologies located adjacent to Opportunity Corridors

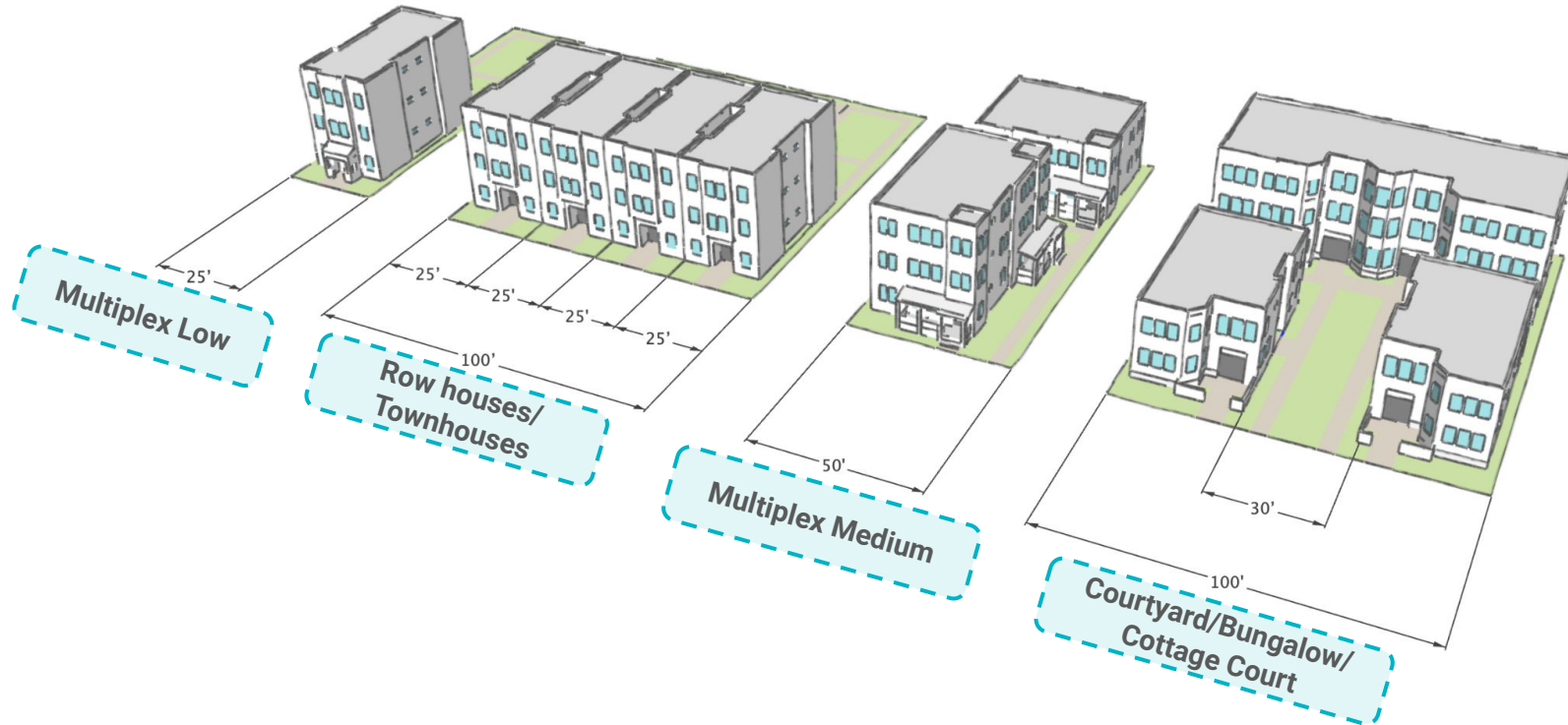


Opportunity Corridor →

Transition Area →

Lower Scale Residential Neighborhoods

Corridor Transition Areas



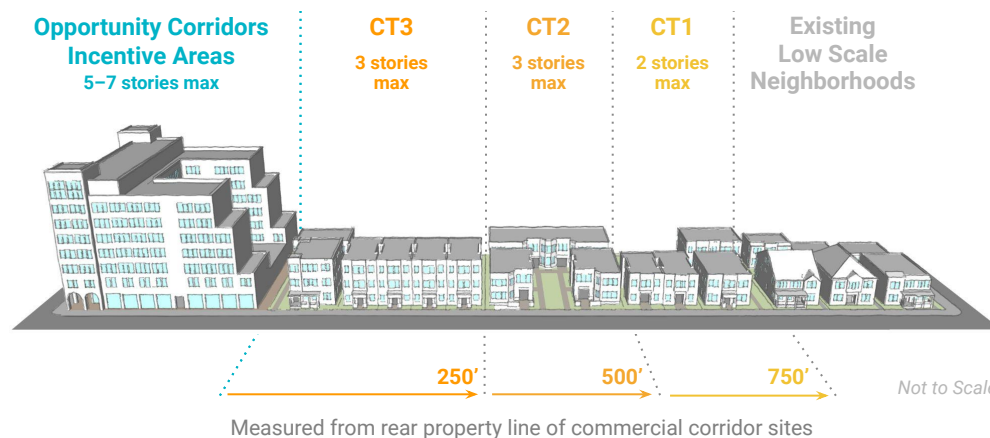
Corridor Transition Incentive Areas

Revised Draft Ordinance (06/2024)

Eligibility Subarea	Distance from Opportunity Corridor	Number of Units	FAR (max)
CT1	(350) 750 feet	Up to 6 units	1.15–1.45
CT2	(150) 500 feet	Up to 10 units	1.60–2.0
CT3 (New)	250 feet	Up to 16 units	2.15–2.9

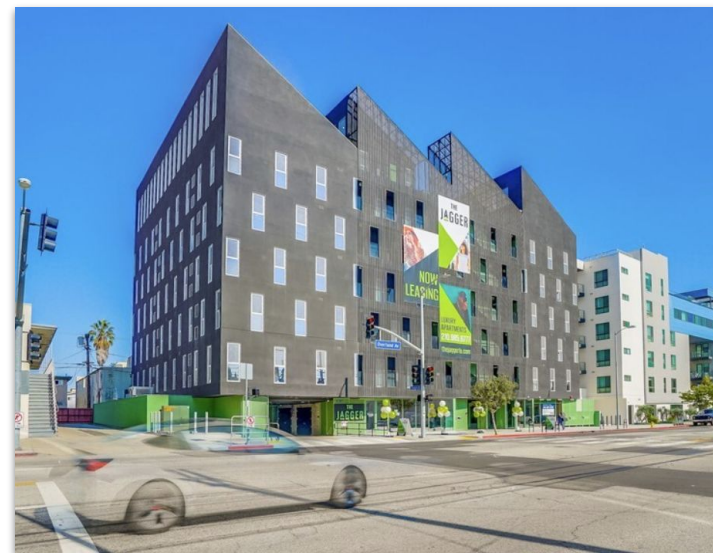
Note: HPOZs and Non-Contributing Elements are limited to up to 10 units in density.

Corridor Transition Incentive Area Diagram



Transit Oriented Incentive Areas (TOIA)

- Sites located within 0.5 mile from a Major Transit Stop are eligible for tiered development incentives.
- Incentives calibrated to 4 to 7 story podium buildings, depending on proximity to transit
- Offers expanded density and building volume incentives
- Codifies existing TOC Guidelines after sunset date



*The Jagger, Palms
Image: Apartments.com*

TOIA Revisions

Revised Ordinance (06/2024)

- Modified density bonus for projects located in Lower Opportunity Areas
- Increased Floor Area incentives for commercial sites

Eligibility Subarea	Density Bonus	FAR (max)
T1	Low Opportunity: 90% High Opportunity: 100%	R zones: 35% C zones: 3.0 or 40% increase
T2	Low Opportunity: 100% High Opportunity: 120%	R zones: 35% C zones: 3.25 or 40% increase
T3	Low Opportunity: 110% High Opportunity: Limited by Floor Area	R zones: 40% C zones: 3.75 or 50% increase
T4	Low Opportunity: 120% High Opportunity: Limited by Floor Area	R zones: 45% C zones: 4.25 or 55% increase

Note: HPOZs and Non-Contributing Elements are not eligible for a FAR incentive and limited to 1 additional story of height.

Restricted Affordability Set-Aside Requirements

Initial Draft (03/2024)

Market Tier	Incentive Program		Minimum Percent of Total Units Provided as Restricted Affordable Units		
	Transit Oriented Incentive Area	Opportunity Corridors Incentive Area	Income Level		
			Extremely Low Income (For Rental or For Sale)	Very Low Income (For Rental or For Sale)	Low Income (For Rental or For Sale)
Low Market Tier	T1	-	9%	12.5%	21%
	T2	OC-1	10%	13%	22%
	T3	OC-2	11%	14%	23%
	T4	OC-3	12%	15%	25%
Medium Market Tier	T1	-	10%	13%	21%
	T2	OC-1	11%	14%	22%
	T3	OC-2	12%	15%	24%
	T4	OC-3	13%	16%	26%
High Medium Market Tier	T1	-	11%	14%	22%
	T2	OC-1	12%	15%	23%
	T3	OC-2	13%	16%	25%
	T4	OC-3	14%	17%	27%
High Market Tier	T1	-	12%	15%	23%
	T2	OC-1	13%	16%	24%
	T3	OC-2	14%	17%	25%
	T4	OC-3	16%	19%	29%

Revised Draft (06/2024)

Market Tier	Incentive Program		Minimum Percent of Total Units Provided as Restricted Affordable Units		
	Transit Oriented Incentive Area	Opportunity Corridors Incentive Area	Income Level		
			Extremely Low Income	Very Low Income	Low Income
Low and Medium Market Tiers	T-1	-	9%	12.5%	21%
	T-2	OC-1	10%	13%	22%
	T-3	OC-2	11%	14%	23%
	T-4	OC-3	12%	15%	25%
High Medium and High Market Tiers	T-1	-	11%	14%	22%
	T-2	OC-1	12%	15%	23%
	T-3	OC-2	13%	16%	25%
	T-4	OC-3	14%	17%	27%

New Mixed Affordability Option

- Optional path for projects to meet required percentage of restricted affordable units
- Projects provide one of the combination of income levels, in lieu of a single income category
- Includes new income categories
 - Acutely Low Income (0 - 15% of AMI)
 - Moderate Income (100 - 120% of AMI)
- 1 covenanted ALI or ELI unit must be provided as a 3-bedroom unit

Market Tier	Minimum Percent of Total Units Provided as Restricted Affordable Units			
	Income Level			
	Acutely Low Income	Extremely Low Income	Very Low Income	Moderate Income
Lower Opportunity Areas				
Low and Medium Market Tiers	-	4%	8%	-
High Medium and High Market Tier	-	5%	9%	-
Higher Opportunity Areas				
Low and Medium Market Tiers	1%	4%	-	18%
High Medium and High Market Tier	1%	5%	-	20%

Technical Revisions in MIIP

Topic	Code Section	Technical Revisions (Revised Draft 06/2024)
Floor Area Incentives	12.22 A.38 (e)(2) and (f)(2)	<ul style="list-style-type: none"> Provisions added for flexibility parking structure designs that would facilitate possible future conversion of parking areas to active uses to allow parking not to count towards the calculation of Floor Area.
	12.22 A.38 (e)(2)	<ul style="list-style-type: none"> FAR incentives for sites located on an R-zone reduced by 5% in T-1 and 10% in T-2, T-3, and T-4 FAR incentives for sites located on a C-zone reduced by 0.25 FAR in T-1, T-2, T-3, and T-4
	12.22 A.38 (f)(2)	<ul style="list-style-type: none"> Increased FAR for C-zones in Opportunity Corridor-1 (OC-1) incentives to include 3.5:1 or 40% increase, whichever is greater
Menu of Incentives	12.22 A.38 (h)(2)	<ul style="list-style-type: none"> Updated PF-zone incentive to a P-zone incentive

Affordable Housing Incentive Program (AHIP) Revisions

Affordable Housing Incentive Program (AHIP)



100% Affordable Housing Projects

Applies to parcels allowing multi-family residential uses citywide, in High & Moderate opportunity areas, and areas with low vehicle miles travelled



Public Land Projects

Incentives for 100% Affordable Housing on “P” Parking zones, “PF” Public Facilities zones, and parcels owned by public agencies



Faith Based Organization (FBO) Projects

Incentivizes 80-100% Affordable Housing development on land owned by FBOs

State Law & AHIP (AB 1763/2334)

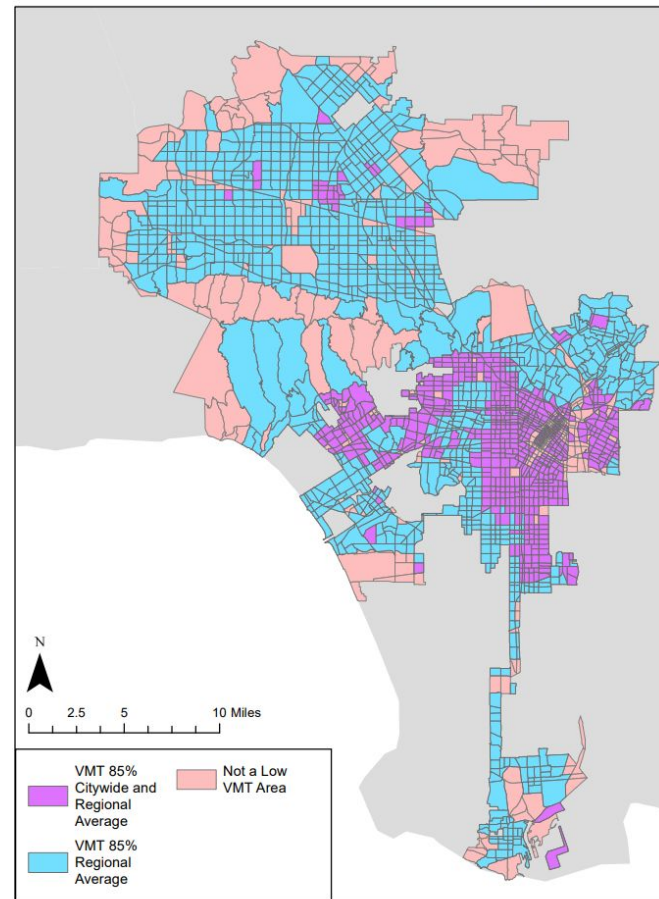
State Law Incentives:

- Citywide, 80% density increase and 0.5 parking space per unit
- Within ½-mile of a major transit stop (MTS) or low VMT area, Unlimited density and 33' or 3 story height increase

AHIP:

- AHIP is designed to match or exceed provisions of State Density Bonus Law
- Strengthens incentives for projects in Moderate and Higher Opportunity Areas, to Affirmatively Further Fair Housing

DRAFT Low VMT Areas (AB 2334)



Eligibility Revisions

- Revisions were incorporated to consolidate the One Hundred Percent Affordable Incentives
- Sites in Very High Fire Hazard Severity Zones, Sea Level Rise Areas, Manufacturing Zones, Environmental Consideration Areas, and Historic properties are now eligible for **limited** state incentives through AHIP.
- These projects have limited access to the menu of incentives.
- Dependent on the project, additional public noticing and hearing may be required for an off menu incentive request, which would be appealable.



*Hollywood Reservoir
Image: One Water LA 2040 Plan*

Base Incentives

- Max Allowable Residential Density **less than 5**
- Max Allowable Residential Density **greater than 5**

Subarea	Parking	Density	Floor Area Ratio	Height
Citywide	Usually .5 spaces per unit	Matches State Density Bonus(80%)	<ul style="list-style-type: none"> ● 1.5:1 (Maximum) ● Greatest of 3.0:1 or 35% 	<ul style="list-style-type: none"> ● 1' or 1 story ● 2' or 2 stories
Low-VMT/ ½ Mile of MTS	No Requirement	Limited by FAR	<ul style="list-style-type: none"> ● 2.0:1 (Maximum) ● Greatest of 3.5:1 or 50% 	<ul style="list-style-type: none"> ● 1' or 1 story ● 3' or 3 stories
Moderate and High Opp	No Requirement Non-residential parking may be reduced by 25%	Limited by FAR	<ul style="list-style-type: none"> ● 2.5:1 (Maximum) ● R Zones: Greatest of 3.5 :1 or 50% ● C Zones: Greatest of 4.5:1 or 55% 	<ul style="list-style-type: none"> ● 1' or 1 story ● 3' or 3 stories







Floor Area Ratio Revisions

FAR Base Incentives

- Sites with a Maximum Allowable Residential Density of under 5 units receive a lower FAR incentive than in Draft 1.0
- A higher FAR incentive for commercial zones in Opportunity Areas has been added

 Max Allowable Residential Density **less than 5**

 Max Allowable Residential Density **greater than 5**

Eligibility Subarea	FAR
Citywide	 1.5:1 Max
	 3.0:1, or 35% increase, whichever is greater
Low Vehicle Travel Area or within a ½ Mile of a Major Transit Stop	 2.0:1 Max
	 3.5:1, or 50% increase, whichever is greater
Moderate and Higher Opportunity Areas	 2.5:1 Max
	 R Zones: 3.5:1, or 50% increase, whichever is greater C Zones: 4.5:1, Or 55% increase, whichever is greater

Public Land Project Revisions

Public Land Projects added as a qualifying project type in Draft Two

- 100% income restricted requirement, on land owned by public agency or zoned Public Facilities (PF)
 - Establish Base Density and Standards through:
 - Least restrictive adjoining zone OR
 - FAR of 3:1+ height of 3 stories or 33 ft, whichever is greater or
 - through Council resolution

Project Type	Affordability Requirement	Total Units Required
One Hundred Percent Affordable Housing Project	100% income restricted, up to 20% may be for Moderate Income Units	5
Faith Based Organization Project	80 - 100% income restricted, up to 20% of restricted units may be for Moderate Income	5
Public Land Project	100% income restricted	5

Faith Based Organization Project

- A Faith Based Organization Project (FBO) is a housing development of 5 units or more where 80% of units are restricted to moderate and lower incomes on land owned by a Faith Based Organization
- AHIP's FBO incentives serve as an alternative to state's Senate Bill 4 chaptered into law at the beginning of 2024



*Faith Based Project Rendering
Image: AIA Seattle*

Faith Based Organization Project

Revisions to Key Provisions

- **Single Family Acquisition:** Single-Family zoned sites purchased by FBOs after January 1st, 2024 are not eligible to use Faith Based Organization Project incentives unless located within 528 feet (0.1 miles) from a parcel with an existing Church or House of Worship
- **Qualified Developer:** FBO Projects must be developed by or in partnership with a Qualified Developer: a local public entity, a non-profit developer, or a developer that the FBO has contracted with before
- **Land Ownership:** A Faith Based Organization must own the land at the filing of a project.



*Terner Center: Terraza Palmera at St. Joseph's
Oakland, CA*

Q & A

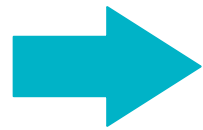
An aerial photograph of a city, likely Los Angeles, showing a dense residential area with many multi-story apartment buildings. The image is overlaid with a color gradient that transitions from a warm orange on the left to a cool blue on the right. The text 'Q & A' is prominently displayed in the upper left quadrant.

Participate in the Q&A!

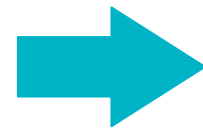
Please offer any comments and questions.



Spanish and Korean Translation Available



Type questions in the Q&A



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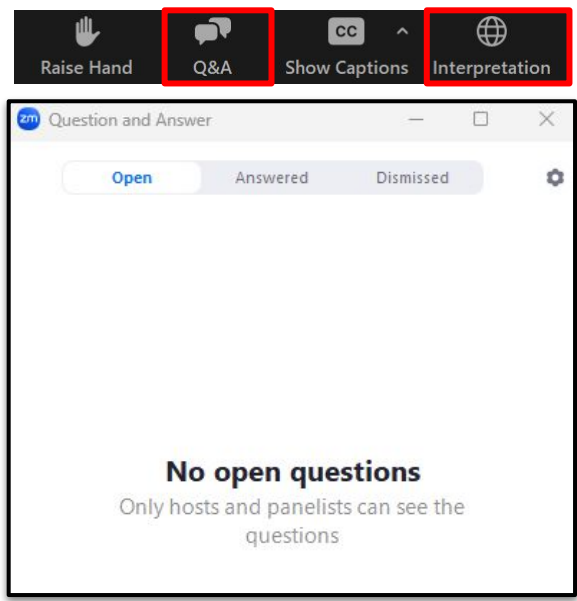


Image: No-ai-icon.com



Proposed Housing Elements Site and Minimum Density Ordinance

Citywide Proposed Code Amendment
Virtual Presentation for Public Hearing

CPC-2024-387-CA

LOS ANGELES
CITY PLANNING

July 25, 2024

Summary of the Housing Element Sites and Minimum Density Ordinance

- The proposed ordinance is designed to **fulfill state Housing Element law** requirements for different types of **sites identified in the 2021-2029 Housing Element** (Appendix 4.1) and in its Rezoning Program. These types of sites include:
 - Inventory of Adequate Sites (Appendix 4.1)
 - Sites Identified in Prior Housing Element Site Inventories (column P, Appendix 4.1)
 - Lower Income Rezoning Sites
- Housing Elements Sites Ordinance provisions:
 - Housing Replacement
 - No Net Loss Findings
 - By-right Development Review
 - Minimum Density

Lower Income Rezoning Sites

- Cal. Gov. Code Section 65583.2(h) mandates that if a City cannot identify sufficient sites for its RHNA allocation for lower-income households, it must designate sufficient **Lower Income Rezoning Sites**.
- **Lower Income Rezoning Sites** must:
 - Have a **minimum density** of 20 dwelling units per acre
 - Permit at least 16 dwelling units.
 - Allow a **by-right approval process** for projects with at least **20% of units** set-aside for **lower-income households**.



Image: Warren Techentin Architecture

By Right Development Review

Sites used on the prior Housing Element's inventory of sites must be rezoned to allow **residential use by right** if at least 20% of the units are reserved as affordable for lower income households.

“Residential use by right” means:

- Project must be approved if meets **objective standards**
- **No discretionary review** (e.g. DIR, CUPs, etc) except for new subdivisions
- **No CEQA**



Housing Element Sites and Minimum Density Ordinance

Key Revision: Minimum Density by Zone Classification

- One dwelling unit for every **2,000 square feet** of lot area (previously one dwelling unit for every **2,183 square feet** of lot area or 20 units per acre).
- Applies citywide to projects with residential uses on nearly all sites in the following zones:
 - **R3, RAS3, R4, RAS4, R5, CR, C1, C1.5, C2, C4, C5, & CM**
- Applies only in High or Medium High Residential Market Areas in **RD1.5 and RD 2 zones.**

Exemptions to Expanded Minimum Density Requirements

Exempt Sites:

- Designated Historic Resources
- Environmentally Sensitive Areas
- Very High Fire Severity Zones

Exempt Activities:

- Remodels and Additions to existing structures up to 1,500 square feet
- New Accessory Dwelling Units (ADUs)

Site Category and State Law Requirement Matrix

Housing Element Sites and Minimum Density Ordinance

Site Category	Housing Replacement Requirements	No Net Loss Findings	By-right Development Review*	Minimum Densities
<i>Inventory of Adequate Sites (Appendix 4.1)</i>	✓	✓		
<i>Prior Inventory of Housing Element Sites</i>			✓	
<i>Lower Income Rezoning Sites</i>			✓	✓

*Requires at least 20% of units set aside for lower-income households



Proposed Resident Protections Ordinance

Citywide Proposed Code Amendment
Virtual Presentation for Public Hearing

CPC-2024-388-CA

LOS ANGELES
CITY PLANNING

July 25, 2024

Background

- Rezoning Program offers an opportunity to introduce a clear and consistent citywide policies for:
 - Residents protections
 - Replacement units
 - New Affordable housing units
- The Resident Protections Ordinance codifies and expands temporary state laws, specifically the Housing Crisis Act



Image: Adobe Stock

Housing Replacement Requirements

Protected Units

Prior 5 years

Rent Controlled (RSO)
Occupied by lower income tenants
Deed restricted affordable

Prior 10 years

Ellis Act removals

Demolition Requires

1. Replacement of existing or demolished **Protected Units**
Must be replaced in the new building at an equivalent size and and at an affordable cost
2. **No Net Loss** of Dwelling Units
Applies to Housing Developments only
3. Existing **Occupant Protections** (see next slide)

Occupant Protections

Right to Remain

Existing occupants can continue to occupy their units up until **six months prior to the start of construction** activity.

Right to Return

A **right of first refusal** shall be provided for a comparable and affordable unit in the new housing development to the existing lower income occupants of any protected units.

Right to Relocation

Relocation benefits shall be afforded to the occupants of those affordable residential rental units.

Right to Return if Demolition Does Not Proceed

If the demolition does not proceed and the property returns to the rental market, **prior occupants** will be allowed to **return at their prior rental rate**.

Restricted Affordable Housing

All Restricted Affordable Housing Units must:

Be **Affordable for 99 Years** (Up from 55 years today)

Meet **fair housing requirements** regarding design, size and more

Be **available to those with the highest need**, including:

- Fair marketing and outreach
- Listing Affordable units in the City's online registry
- Priority Populations are first in line for Affordable units



Image: Brooks + Scarpa

Revisions

Ordinance Inputs

- Public Feedback (concept explorer, comment letters, emails, CBO outreach)
- Research (other cities, state law, local programs)
- Economic Studies
- Coordination with LAHD

Public Hearing Draft (June 2024)

- Code citation updates
- Definition refinement
- Targeted edits clarifying the intent of the ordinance and matching current City policies

City Planning Commission (Sept 24)

- Policy changes based on various inputs
- Released ahead of a City Planning Commission hearings

Next Steps + Timeline

An aerial photograph of a city, likely Los Angeles, showing a dense residential area with multi-story apartment buildings and houses. In the background, there are rolling hills and mountains under a clear sky. The image is overlaid with a gradient that transitions from a warm orange on the left to a cool blue on the right. A white horizontal line is positioned above the main title.

Ordinance Adoption Timeline

A rezoning program must be adopted and effective before **February 2025**.



Stay Connected

- Contact the Team for general questions or comments at housingelement@lacity.org
- Visit our Housing Element Rezoning Program website and sign up to receive updates!

The screenshot shows the website for the Housing Element Rezoning Program. At the top, there is a teal navigation bar with the title "Housing Element Rezoning Program" and links for ABOUT, DRAFT ORDINANCES, STRATEGIES, CONCEPT EXPLORER, EVENTS, RESOURCES, NEWS, and CONTACT. Below the navigation bar is a progress bar titled "WE ARE HERE" with four stages: "Winter 2022 - Fall 2023 Listen", "Winter 2024 Share / Publish", "Spring 2024 Revise / Publish", and "Summer - Fall 2024 Adopt". A note below the progress bar states: "*Note that the Citywide Adaptive Reuse Ordinance is currently in the 'Revise/Publish' Phase".

The main content area features an "Overview" section with the following text: "In March 2023, City Planning released six core strategies that comprise the Citywide Housing Incentive Program (CHIP)—a key component of the City's Housing Element Rezoning Program. These strategies were developed based on public input, City Council direction, and the results of the Affirmatively Furthering Fair Housing (AFFH) analysis conducted as part of the adopted 2021-2029 Housing Element. Following extensive outreach including webinars, office hours, and participation in public events, City Planning is pleased to share the release of several draft ordinances that will memorialize the CHIP strategies in the Los Angeles Municipal Code. Scroll down for more information and resources on these draft ordinances."

Below the overview is a "Draft Ordinances" section with a list of four items, each with a plus sign icon:

- + Citywide Housing Incentive Program Ordinance
- + Citywide Adaptive Reuse Ordinance
- + Housing Element Sites Ordinance
- + Resident Protections Ordinance

Overlaid on the bottom right of the screenshot is a "Sign up for updates from the Housing Element Rezoning Program" form. The form includes the following fields:

- * Email
- * First Name
- * Last Name
- Postal Code

A "Sign Up" button is located at the bottom of the form.

Q & A

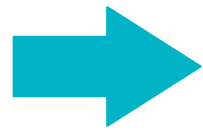
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Participate in the Q&A!

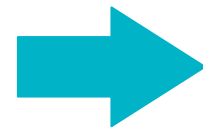
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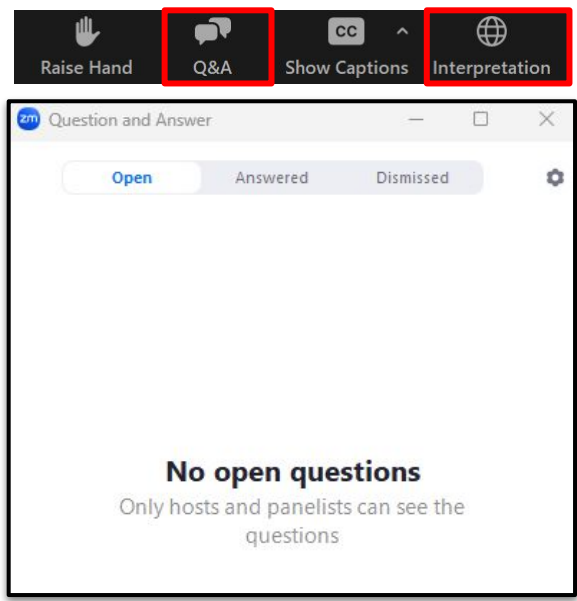


Image: No-ai-icon.com

Thank you





Citywide Housing Incentive Program, Housing Element Sites and Minimum Density, and Resident Protections Ordinances

CITYWIDE PROPOSED CODE AMENDMENT

Virtual Presentation for Staff-Level Public Hearing

CPC-2023-7068-CA, CPC-2024-387-CA, and CPC-2024-388-CA

LOS ANGELES
CITY PLANNING

July 25, 2024

Staff-Level Public Hearing: 6:30 - 8PM

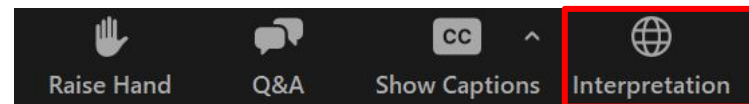
- Presents an opportunity for members of the public to provide verbal testimony and comments to the Hearing Officer regarding the proposed draft ordinances
- As a reminder, **no decision will be made at today's hearing** .



**Traducción al español
está disponible**


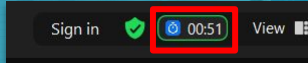
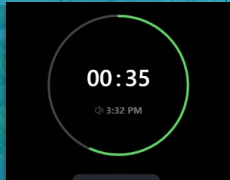
한국어 번역 가능

Spanish and Korean translation
available



Public Hearing - 6:30 - 8:00PM

If you would like to provide comments:

- **“Raise your hand”**  If you are joining us by webinar, click the **raise hand button** located at the bottom of your screen
- Staff will place you into the speaker queue
- Staff will be calling each speaker one at a time to provide public comment (by name or last 3 digits of phone number)
- You will be unmuted during your comment period
- Each speaker has 1.5 minutes to present
- Following your comment, you will be removed from the speaker queue and muted
- The timer is located here:  Click on the timer to expand it like this: 

Providing Written Comments

Written comments on the proposed draft ordinance may be submitted by email or hardcopy through **Monday, August 26, 2024** at 5:00 p.m.

To submit questions, comments, or to be placed on the interested parties list, contact City Planning staff at:

Theadora Trindle, Department of City Planning
200 North Spring Street, Room 750
Los Angeles, CA 90012
housingelement@lacity.org

Please include case number **CPC-2023-7068-CA** for the Citywide Housing Incentive Program Ordinance, **CPC-2024-387-CA** for the Housing Element Sites and Minimum Density Ordinance, and **CPC-2024-388-CA** for the Resident Protections Ordinance in any submitted correspondence.

Thank you

Additional information is found on the City Planning website:
<https://Planning4LA.org/CHIP>

Staff Contact

Theadora Trindle, City Planner
housingelement@lacity.org