

EXHIBIT C.1:

Amendments to the New Zoning Code (LAMC Chapter 1A)

CPC-2016-2905-CPU

For consideration by the City Planning Commission

This Exhibit C.1 includes amendments to LAMC Chapter 1A, the New Zoning Code brought forward with the Downtown Community Plan (CPC-2014-1582-CA and CPC-2017-432-CPU). For additional Articles of the New Zoning Code, including Article 9: Public Benefits Systems, and rules, definitions, and procedures, please visit planning.lacity.org/zoning/new-code.

April 20, 2023

ARTICLE 1. **INTRODUCTORY PROVISIONS**

The Downtown Community Plan will bring forward for adoption the New Zoning Code, including this Article via CPC-2014-1582-CA and CPC-2017-432-CPU. The Boyle Heights Community Plan will bring forward the unique zones and additional standards or regulations needed to implement the Boyle Heights Community Plan.

PREFACE

This Chapter 1A of the Los Angeles Municipal Code serves as the new Zoning Code, a comprehensive update of the City's zoning system. The new Zoning Code will be applied incrementally on a geographic basis through the update of the City's Community Plans. In drafting the revised plans, the new zoning tools provided in this Chapter 1A will be applied to properties within each Community Plan area.

Eventually, Chapter 1A will supercede and serve as the only Zoning Code for Los Angeles. However in the interim, until all the Community Plans have been updated and properties remapped using the new zoning system, properties in Community Plan areas not yet updated will be regulated by the provisions of the Zoning Code found in existing *LAMC Chapter 1 (General Provisions and Zoning)*. Only when the entire City has been rezoned using the new zoning in this Chapter 1A will *LAMC Chapter 1 (General Provisions and Zoning)* be removed from the Los Angeles Municipal Code.

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DIV. 1.1. **GENERAL MUNICIPAL CODE PROVISIONS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 1.2. **MUNICIPAL CODE ADMINISTRATIVE CITATIONS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 1.3. **ORIENTATION**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 1.3.1. **ZONE STRING**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 1.3.2. **NON-ZONE STRING ARTICLES**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 1.3.3. **HOW TO USE THIS ZONING CODE**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 1.4. **INTRODUCTORY PROVISIONS**

SEC. 1.4.1. **OPENING PROVISIONS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 1.4.2. **APPLICABILITY OF THIS ZONING CODE**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 1.4.3. **SEVERABILITY**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 1.4.4. **SUCCESSIONAL RIGHTS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 1.4.5. **VESTED RIGHTS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 1.4.6. **CONTINUANCE OF EXISTING DEVELOPMENT**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 1.5. ZONING CODE MAPS

[Portions of this Division displayed in grayed out text are being introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU. Black text (not grayed out) is being introduced with the Boyle Heights Community Plan.]

SEC. 1.5.1. GENERAL

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 1.5.2. ZONING MAP

A. Applicability

1. Zoning Districts

In order to regulate the use and development of property, as provided for in this Zoning Code (Chapter 1A), land is designated with the following districts for zoning purposes. The zone of a lot is separated into two or more bracket sets [] in order to reinforce the separation of the built environment from the types of activities as two distinct and interchangeable permissions on a lot. The first bracket set contains the zoning districts that determine the built environment, and the second bracket set contains the zoning districts that determine the types of activities on a lot. Although the zoning districts may refer or have standards that are tied to other districts, each is independent and are combined in response to the variety of planning needs found throughout the City.

[Form – Frontage – Standards] [Use – Density]

- a. Form Districts are outlined in *Article 2*.
- b. Frontage Districts are outlined in *Article 3*.
- c. Development Standards Districts are outlined in *Article 4*.
- d. Use Districts are outlined in *Article 5*.
- e. Density Districts are outlined in *Article 6*.

2. Alternate Typologies

The zoning districts established in this Zoning Code (Chapter 1A) recognize that, in general, the physical form of development need not be determined by its use. There are certain cases, however, in which the physical form that development takes is directly tied to a specific use or activity. In those cases, *Article 7 (Alternate Typologies)* outlines a series of regulatory solutions that overrides specific regulations otherwise addressed by zoning districts applied to a lot. Each Alternate Typology establishes eligibility parameters for each option, and what metrics it supersedes from the applicable zoning districts.

3. **Specific Plans & Supplemental Districts**

In addition to the provisions of *Sec. 1.4.2.A.1. (Zoning Districts)* above, additional regulations may be applied as outlined in *Div. 8.1. (Specific Plans)* and *Div. 8.2. (Supplemental Districts)*. These are represented in a third bracket set of the zoning using the acronym "SP" for Specific Plans or the acronyms established for the respective Supplemental District. The third bracket set may include multiple Specific Plans or Supplemental Districts separated by a hyphen (-).

4. **Special Districts**

- a. In order to achieve Specific Planning objectives in designated areas having unique characteristics, Special Districts may replace the zoning in *Sec. 1.4.2.A.1. (Zoning Districts)* and Supplemental Districts in *Sec. 1.4.2.A.3. (Specific Plans & Supplemental Districts)* established above. Special Districts respond to unique conditions and stipulate land use and development requirements or incentives tailored to distinctive qualities that may not lend themselves to the regulations established in this Zoning Code (Chapter 1A), except as outlined within each Special District.
- b. The Special Districts outlined *Div. 8.3. (Special Districts)* shall serve as the designated zone, in lieu of zoning districts, Specific Plans, and Supplemental Districts, where applied.

5. **Zoning of Annexed or Unzoned Land**

- a. All land or territory annexed to the City after the effective date of this Zoning Code (Chapter 1A) is automatically classified [VN1-MU3-3][RG2-1L] unless the City Council specifically determines otherwise.
- b. The City Council may establish specific zoning by ordinance for land or territory to be annexed. The zoning ordinance may be adopted concurrently with the annexation. Unless the specific zoning is established by ordinance, the Zoning Map shall be amended to indicate the land or territory annexed as [VN1-MU3-3][RG2-1L] without additional proceedings.
- c. Any land or territory in the City not indicated on the Zoning Map as being in any zone will be construed as being classified in the most restrictive zone that exists on an adjacent lot on the same side of the street, or a lot on the opposite side of the street or highway of the subject land or territory, and the Zoning Map shall be amended to indicate that zone without additional proceedings.

B. **Boundaries**

1. **Street, Alley or Lot Lines**

Zone boundaries occur at street, alley, or lot lines unless otherwise shown on the Zoning Map, using the land base dataset, and where the indicated boundaries on the Zoning Map are approximately a street, alley or lot line, the street, alley or lot line are the boundaries of the zone.

2. Street or Public Right-of-Way

- a. A street, alley, railroad or railway right-of-way, watercourse, channel, or body of water included on the Zoning Map shall, unless otherwise indicated, be included within the zone boundaries of the adjoining property on either side of the street, alley, railroad or railway right-of-way, watercourse, channel or body of water.
- b. Where the street, alley, public right-of-way, watercourse, channel, or body of water serves as a boundary between two or more different zones, a line midway in the street, alley, public right-of-way, watercourse, channel, or body of water, and extending in the general direction of its long dimension is the boundary between zones.

3. Vacated Street or Alley

- a. In the event a dedicated street or alley shown on the Zoning Map is vacated, the property formerly in the street or alley shall be included within the zone of the adjoining property on either side of the vacated street or alley.
- b. In the event the street or alley was a zone boundary between two or more different zones, the new zone boundary is the former centerline of the vacated street or alley.

C. Amendments

1. Zone Changes

a. Process

At the direction of City Council, pursuant to *Sec. 13B.1.4. (Zone Change)*, the Director of Planning is authorized to revise the Zoning Map. At the direction of City Council for the adoption of a Specific Plan, pursuant to *Sec. 13B.1.2. (Specific Plan Adoption/Amendment)*, the Director of Planning is authorized to revise the Zoning Map. No unauthorized person may alter or modify the Zoning Map.

2. Zone Boundary Adjustments

a. Process

Whenever public necessity, convenience, general welfare or good zoning practice justifies the action, the Director of Planning may approve, conditionally approve, or deny a zone boundary adjustment, pursuant to *Sec. 13B.5.2. (Adjustment)*, and make minor adjustments to the location of a zone boundary to carry out the intent of this Section when:

- i. Property as shown on the Zoning Map has been divided or approved for division into parcels or lots and blocks by a final parcel or tract map, and the parcel or lot and block arrangement does not conform to that anticipated when the zone boundaries were established;
- ii. Property was redivided or approved for subdivision by a final parcel or tract map action into a different arrangement of lots and blocks than indicated on the Zoning Map; or

- iii. Where uncertainty exists in applying the provisions of this Subdivision or where revision is necessary to correct dimensional or mapping errors, the Director of Planning may determine the location of the zone boundary.
- b. **Limitation**

Zone boundary adjustments permitted pursuant to this Subdivision are limited to a distance of no more than 50 feet. When the adjustment is requested prior to recordation, the Director of Planning’s decision does not become effective until after the parcel map or final tract map has been recorded with the Office of the County Recorder.
- c. **Dedications**

The Director of Planning may require that the abutting streets, alleys, or highways be dedicated and improved in conformance with the standards for improvement of streets, alleys, and highways, if it is determined that traffic on the abutting streets, alleys or highways will be increased or impeded as a result of the zone boundary adjustment. An offer to dedicate or filing of a bond in conformance with *Sec. 10.1.4. (Dedication Procedure)* and *Sec. 10.1.5. (Improvement Procedure)* may be construed as compliance with these requirements.
- d. **Zoning Map**

The Zoning Map shall conform with the Director of Planning’s decision after the conditions are imposed, if any.

SEC. 1.5.3. **PRIMARY STREET MAP**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 1.5.4. **LOCAL AFFORDABLE HOUSING INCENTIVE MAP**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 1.5.5. **TARGETED PLANTING MAP**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 1.5.6. **HILLSIDE AREA MAP**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 1.5.7. **COASTAL ZONE MAP**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 1.5.8. **SPECIAL LOT LINE MAP**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 1.5.9. MAJOR TRANSIT STOP AREA MAP

A. Applicability

The Major Transit Stop Area Map identifies areas falling within ½ mile of a major transit stop which are subject to specific regulations intended to address the specific nature of transit-rich areas. These specific regulations are outlined in this Zoning Code (Chapter 1A) and are applicable by reference to this Zoning Code Map.

B. Boundaries

Any land designated, using the Department of Public Works, Bureau of Engineering land base dataset, as falling within a ½ mile of a major transit stop, as shown in the shaded portion of the Major Transit Stop Area Map.

C. Amendments

The Director of Planning is authorized to revise the Major Transit Stop Area Map to ensure it reflects the most current and planned major transit stops. No unauthorized person may alter or modify the Major Transit Stop Area Map.

DIV. 1.6. **EMERGENCY PROVISIONS**

SEC. 1.6.1. **LOCAL EMERGENCY TEMPORARY REGULATIONS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 1.6.2. **EMERGENCY HOMELESS SHELTERS - CITY OWNED AND LEASED PROPERTY**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 1.6.3. **EMERGENCY HOMELESS SHELTERS - CHARITABLE ORGANIZATIONS**

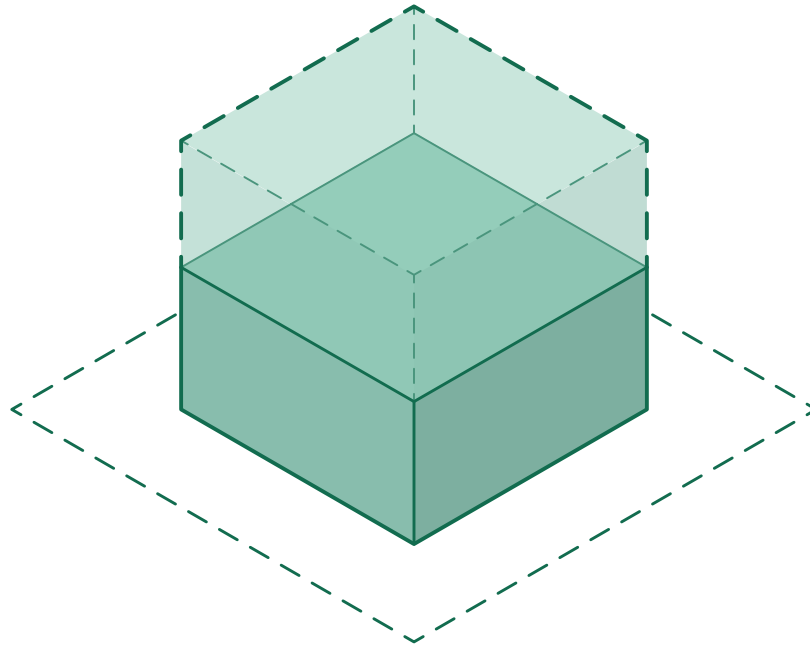
[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 1.6.4. **TEMPORARY RESIDENCY IN RESIDENTIAL VEHICLE PENDING RECONSTRUCTION OF DISASTER-DESTROYED DWELLING**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 1.6.5. **TEMPORARY REGULATORY RELIEF DURING A LOCAL EMERGENCY**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]



ARTICLE 2. **FORM**

[**FORM** - FRONTAGE - STANDARDS] [USE - DENSITY]

Part 2A. **Introduction**

Part 2B. **Form Districts**

Part 2C. **Form Rules**

The Downtown Community Plan will bring forward for adoption the New Zoning Code, including this Article via CPC-2014-1582-CA and CPC-2017-432-CPU. The Boyle Heights Community Plan will bring forward the unique zones and additional standards or regulations needed to implement the Boyle Heights Community Plan.

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DIV. 2A.1. **ORIENTATION**

SEC. 2A.1.1. **RELATIONSHIP TO ZONE STRING**

A zone string is composed of the following districts:



The Form District is a separate and independent component of each zone.

SEC. 2A.1.2. **HOW TO USE ARTICLE 2 (FORM)**

A. **Identify the Applied Form District**

The first component in a zone string identifies the Form District applied to a property.

B. **Form District Standards**

Form Districts standards are outlined in *Part 2B. (Form Districts)*. Each Form District page identifies the standards specific to that Form District.

C. **Interpreting Form District Standards**

Each standard on a Form District page in *Part 2B. (Form Districts)* provides a reference to *Part 2C. (Form Rules)* where the standard is explained in detail.

Form District Example:

Zone String

[**LM2** -MU2-5] [RG1-FA]

Find Your Applied Form District

Part 2B (Form Districts)

SEC. 2B.9.2. **LOW-RISE MEDIUM 2 (LM2)**

A. Lot Parameters

Form Rule Category

Specification for Standard

1. LOT SIZE	Div. 2C.1
Lot area (min)	2,500 sf
Lot width (min)	25'
2. COVERAGE	Div. 2C.2
Building coverage (max)	90%
Building setbacks	
Primary street (min)	0'
Side street (min)	0'
Side (min)	0'
Rear (min)	0'
Alley (min)	0'
Special lot line (min)	0'
3. AMENITY	Div. 2C.3
Lot amenity space (min)	25%
Residential amenity space (min)	n/a

B. Bulk and Mass

1. FAR & HEIGHT	Div. 2C.4
Base FAR (max)	1.5
Base height in stories (max)	3
Bonus FAR	3.0
Bonus height in stories (max)	6
2. BUILDING MASS	Div. 2C.6
Building width (max)	100'
Building break (min)	15'

Form Standard → [Lot area (min)]

Label on Graphic → [Building coverage (max)]

No Label on Graphic → [Side (min)]

Link to Rules → [Lot amenity space (min)]

Standard Not Applicable → [Residential amenity space (min)]

Form Rule Category Not Applicable (Div. 2C.5.) → [Building width (max)]

Learn More About Your Rules

Part 2C (Form Rules)

Form Rule Category

Form Standard → **DIV. 2C.6. BUILDING MASS**

SEC. 2C.6.1. BUILDING WIDTH

The maximum allowed width of any building or collection of buildings on a lot.

A. Intent

To promote fine-grained patterns of development and prevent long buildings that are significantly out of context with traditional patterns, by breaking wide buildings into multiple, clearly distinguished building widths and encourage larger projects to provide open space for pedestrians and recreation.

B. Applicability

- Building width requirements apply to all frontage lot line-facing buildings or structures on a lot.
- Building width requirements apply only to portions of buildings or structures located above the ground floor elevation.
- Building width requirements do not apply to exceptions listed in Sec. 2C.6.3.F (Exceptions).

C. Measurement

Building width is measured horizontally and parallel to each street lot line from one end of an applicable building or collection of buildings to the opposite end.

SEC. 2A.1.3. **FORM DISTRICT GRAPHICS**

A. **General**

Illustrations and graphics are included in Article 2 (Form) only to assist users in understanding the intent and requirements of the text. In the event a conflict occurs between the text of Article 2 (Form) and any illustration or graphic, the text prevails.

B. **Lot Parameter Graphics**

1. **Lot Boundary**

This line represents the perimeter of the subject lot, serving as a reference for both lot area and lot width.

2. **Buildable Area**

This shape represents the area on a lot where buildings are allowed, reduced by required building setbacks, or the lot boundary when no setback is required.

3. **Building Setbacks**

The area between a lot boundary and the minimum required setback, represented with a dotted white line and bounded by the buildable area.

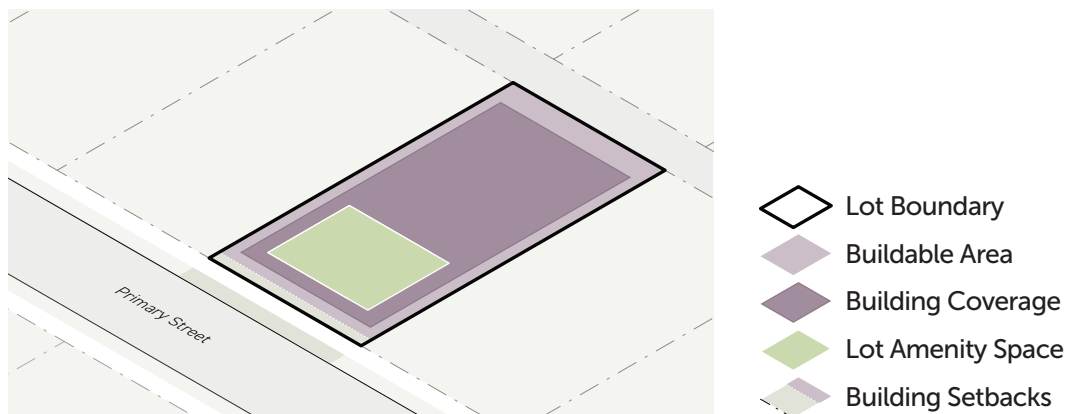
4. **Building Coverage**

This shape represents the total building coverage allowed in proportion to the lot area, but does not reflect any requirement as to the location or configuration of any buildings or structures.

5. **Lot Amenity Space**

This shape represents the total lot amenity space required in proportion to the lot area, but does not reflect any requirement as to the location or configuration of any amenity space.

LOT PARAMETER DIAGRAM



C. Bulk and Mass Graphics

1. General

- a. Bulk and mass graphics represent the volume where a building is allowed to be located by showing the maximum height allowed for the entire buildable area. The volume does not represent the massing of an allowed building. Other standards, such as maximum building coverage and floor area ratio (FAR), may limit the ability for a building to fill the full volume.
- b. Form Districts that include a maximum height standard and those that do not include a height limit are represented differently in the bulk and mass diagram.

2. Districts with a Maximum Height Standard

a. Maximum Bonus Height

Maximum bonus height represents the maximum number of stories allowed beyond the number of stories allowed by the maximum base height in stories.

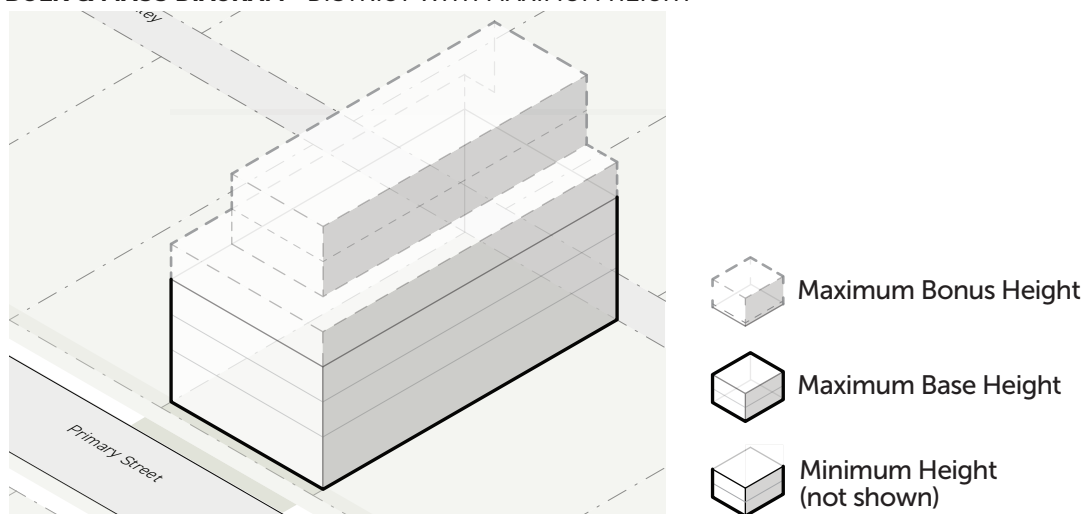
b. Maximum Base Height

Maximum base height represents the number of stories allowed without providing public benefits in trade for additional height according to *Article 9 (Public Benefit Systems)*.

c. Minimum Height

Minimum height represents the lowest number of stories required.

BULK & MASS DIAGRAM - DISTRICT WITH MAXIMUM HEIGHT



3. Districts with no Maximum Height Standard

a. Unlimited Height

This volume represents the building height allowed, in addition to the likely height of the building based on maximum Base FAR.

b. Likely Height Based on Bonus FAR

This volume represents the likely building height based on the maximum allowed Bonus FAR, in addition to the likely height of the building based on maximum Base FAR.

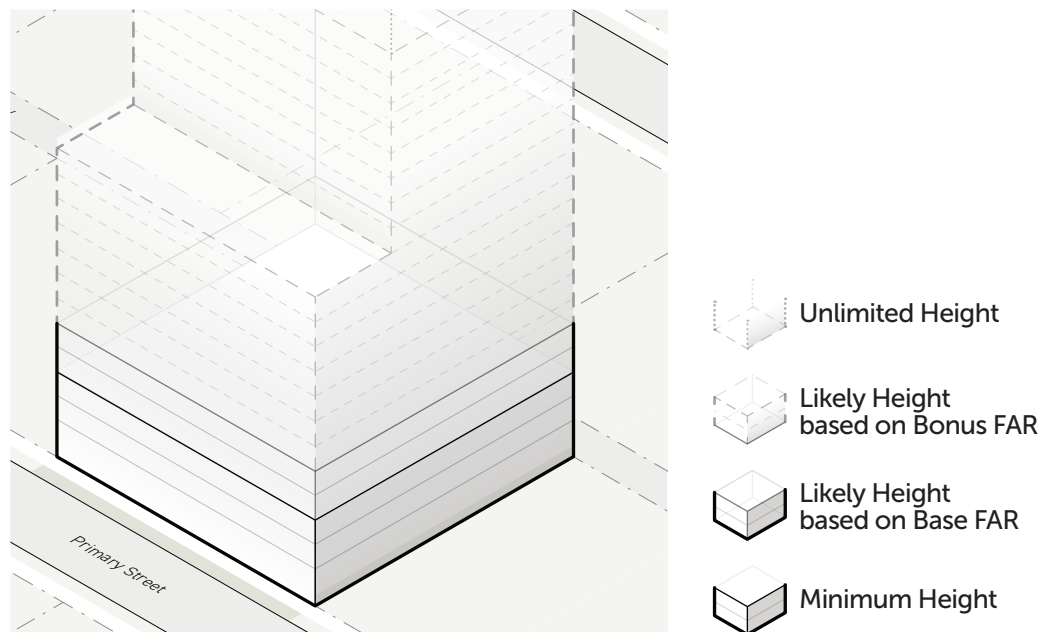
c. Likely Height Based on Base FAR

This volume represents the likely building height based on the maximum allowed Base FAR, in addition to the minimum required height of the building.

d. Minimum Height

This volume represents the minimum number of stories required.

BULK & MASS DIAGRAM - DISTRICT WITHOUT HEIGHT LIMIT



SEC. 2A.1.4. **FORM DISTRICT NAMING CONVENTION**

There are three different types of naming conventions for Form Districts. Each Form District name is composed of a variety of components that are specific to that district.

A. **Rural and Estate Form Districts**

[Reserved]

B. **House Form Districts**

[Reserved]

C. **All Other Form Districts**

All other Form District names are composed of three components:

1. **FAR Category**

The first component of each Form District name is a floor area ratio (FAR) category. FAR categories group all districts within a range of maximum allowed FAR. FAR categories are organized as follows:

- a. Very Low-Rise (>0.65-1.5 FAR)
- b. Low-Rise (>1.5-4.0 FAR)
- c. Mid-Rise (>4.0-6.0 FAR)
- d. Moderate-Rise (>6.0-8.5 FAR)
- e. High-Rise (>8.5-13.0 FAR)

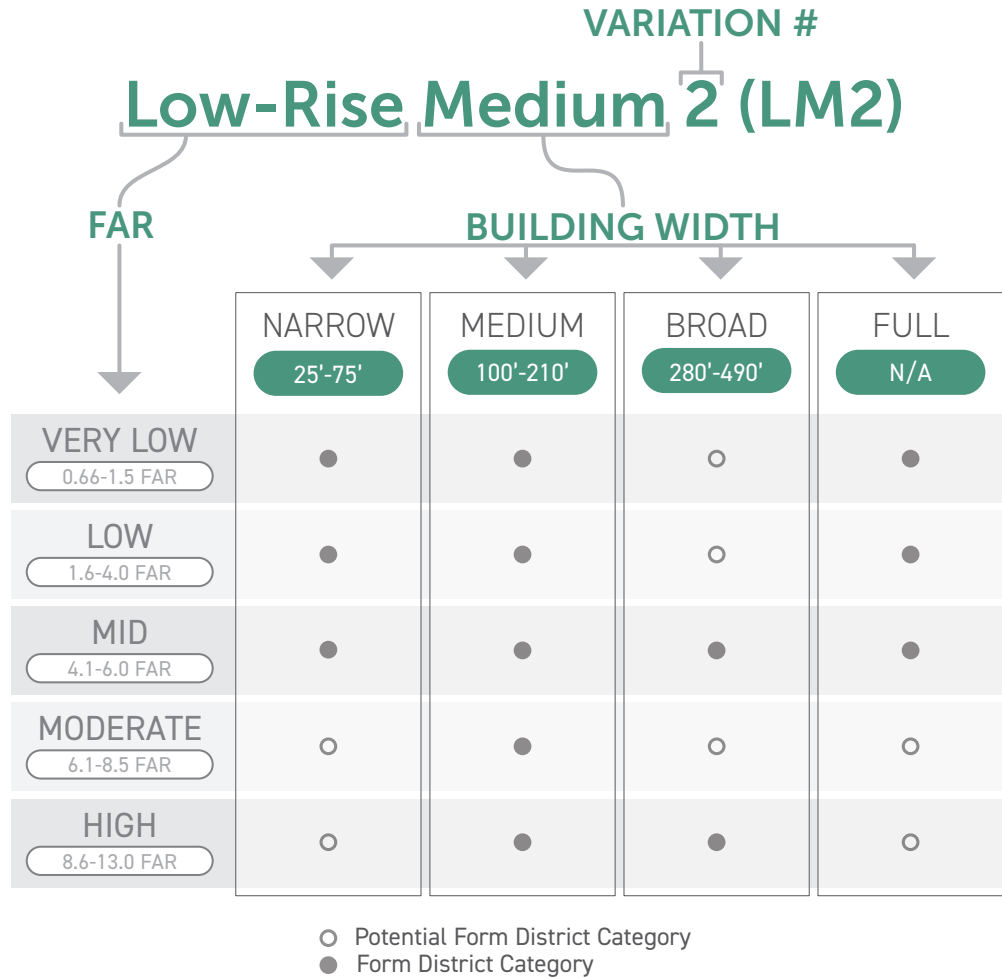
2. **Building Width Category**

The second component of each Form District name is a building width category. Building Width categories group all districts within a range of maximum allowed building width. Each building width category are organized as follows:

- a. Narrow (25'-75')
- b. Medium (100'-210')
- c. Broad (280'-490')
- d. Full (no building width maximum)

3. **Variation Number**

The last component of each Form District is a variation number. All Form Districts are numbered in the order they fall within Article 2 (Form).



DIV. 2A.2. OPENING PROVISIONS

SEC. 2A.2.1. FORM INTENT

The intent of Article 2 (Form) is to regulate the placement, scale, and intensity of buildings and structures on a lot in order to ensure building forms are compatible with their context and promote projects that support community goals.

SEC. 2A.2.2. FORM APPLICABILITY

A. General

All projects filed after the effective date of this Zoning Code (Chapter 1A.) shall comply with the Form District standards in Article 2 (Form), as further specified below. For vested rights, see *Sec. 1.4.5. (Vested Rights)*, and for continuance of existing development, see *Sec. 1.4.6. (Continuance of Existing Development)*.

B. Project Activities

- Categories of Form rules apply to a projects based on what types of project activities are proposed, as shown in the table below. Typically, more than one project activity will apply to a proposed project (for example, an addition that expands an existing use includes both new construction and a use modification).

FORM RULE CATEGORIES		PROJECT ACTIVITIES								
		New Construction	Major Demolition	Lot Modification	Site Modification	Facade Modification	Use Modification	Temporary Use	Renovation	Maintenance & Repair
<i>Div. 2C.1.</i>	Lot Size	○	○	●	○	○	○	○	○	○
<i>Div. 2C.2.</i>	Coverage	●	○	●	○	○	○	○	○	○
<i>Div. 2C.3.</i>	Amenity	●	○	●	●	○	●	○	○	○
<i>Div. 2C.4.</i>	Floor Area Ratio & Height	●	●	●	○	○	○	○	○	○
<i>Div. 2C.5.</i>	Upper-Story Bulk	●	●	○	○	○	○	○	○	○
<i>Div. 2C.6.</i>	Building Mass	●	○	○	○	○	○	○	○	○

● = Rules generally apply to this project activity
 ○ = Rules are not applicable

- Project activities are defined in *Sec. 14.1.15. (Project Activities)*.
- Where a category of Form rules are listed as generally applicable in the table above, and the applied *Form District (Part 2B)* provides standards in that Form rule category, the project activity shall meet all applicable Form standards within that Division. This general applicability

may be further specified for each standard in the applicability provisions in *Part 2C. (Form Rules)*. Project applicability may also be modified by *Article 12. (Nonconformities)*. Where a category of Form rules is listed as not applicable in the table above, no standards from that Form rule category apply to the project activity.

C. **Applicable Components of Lots, Buildings, and Structures**

1. Form Districts apply to all portions of a lot.
2. Form Districts apply to all portions of buildings and structures on a lot.
3. Specific Form standards and rules may further limit which components of buildings, structures and lots are required to comply with the rules in *Part 2C. (Form Rules)*.

D. **Nonconformity**

Article 12. (Nonconformity) provides relief from the requirements of Article 2 (Form) for existing lots, site improvements, buildings, structures, and uses that conformed to the zoning regulations, if any, at the time they were established, but do not conform to current district standards or use permissions. No project activity may decrease conformance with any Form District standard unless otherwise specified by *Division 12.2. (Form)*. Consider the following examples:

1. An addition to the side of an existing building: Where a proposed addition increases the total building width beyond the maximum building width allowed by the applied Form District, the addition is not allowed.
2. An addition to the top of an existing building: Where the height of the existing structure does not meet the street step-back standard specified by the applied Form District, all additional floor area shall be located behind the minimum step-back, but no modifications to the existing upper stories are required.

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DIV. 2B.1. **RURAL FORM DISTRICTS**

[Reserved]

DIV. 2B.2. **ESTATE FORM DISTRICTS**

[Reserved]

DIV. 2B.3. **HOUSE FORM DISTRICTS**

[Reserved]

DIV. 2B.4. **VERY LOW-RISE NARROW FORM DISTRICTS**

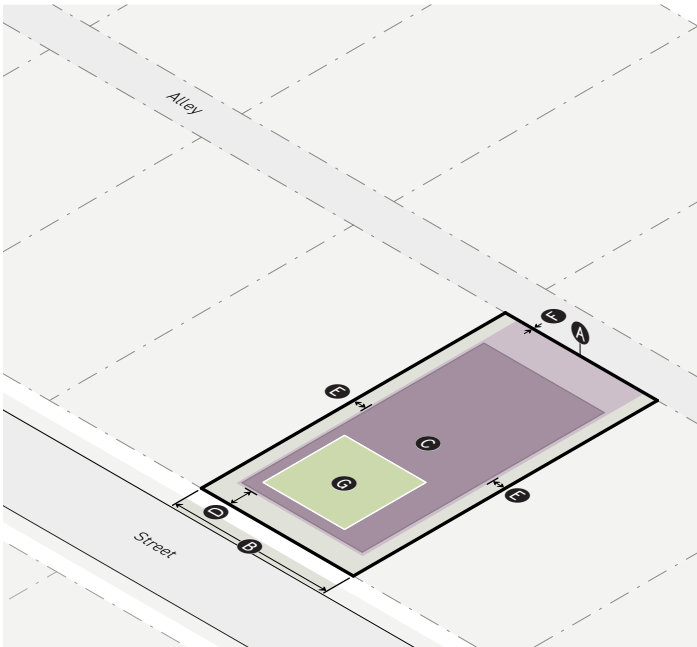
Each Very Low-Rise Narrow Form District occurs within the ranges specified below. The "Very Low" FAR category allows a range of 0.66 FAR to 1.5 FAR. The "Narrow" building width category allows a range of 25 to 75 feet of building width.

FAR	BUILDING WIDTH			
	NARROW 25'-75'	MEDIUM 100'-210'	BROAD 280'-490'	FULL N/A
VERY LOW 0.66-1.5 FAR	●	●	○	●
LOW 1.6-4.0 FAR	●	●	○	●
MID 4.1-6.0 FAR	●	●	●	●
MODERATE 6.1-8.5 FAR	○	●	○	○
HIGH 8.6-13.0 FAR	○	●	●	○

○ Potential Form District Category
● Form District Category

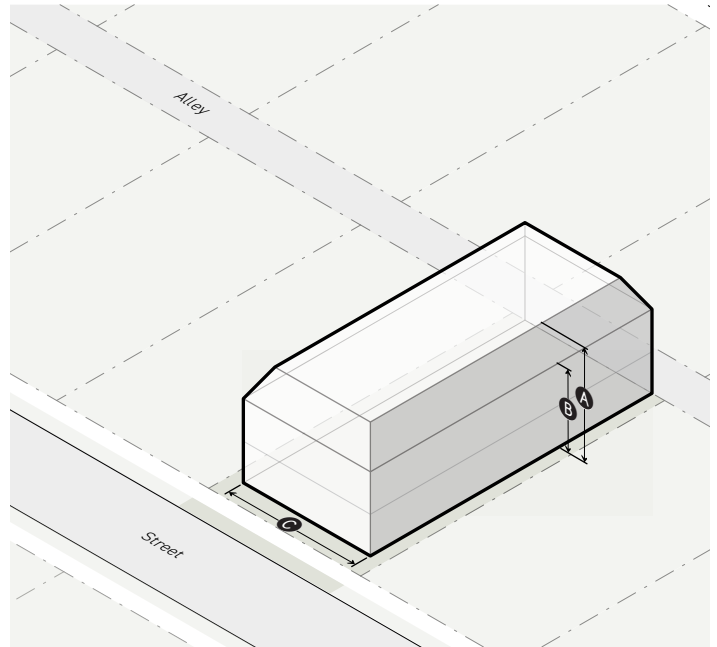
SEC. 2B.4.1. VERY LOW-RISE NARROW 1 (VN1)

A. Lot Parameters



1. LOT SIZE		Div. 2C.1.
A	Lot area (min)	5,000 sf
B	Lot width (min)	40'
2. COVERAGE		Div. 2C.2.
C	Building coverage (max)	65%
Building setbacks		
D	Primary street (min)	10'
	Side street (min)	5'
E	Side (min)	3'
	Rear (min)	3'
F	Alley (min)	0'
	Special: All (min)	0'
3. AMENITY		Div. 2C.3.
G	Lot amenity space (min)	15%
	Residential amenity space (min)	10%

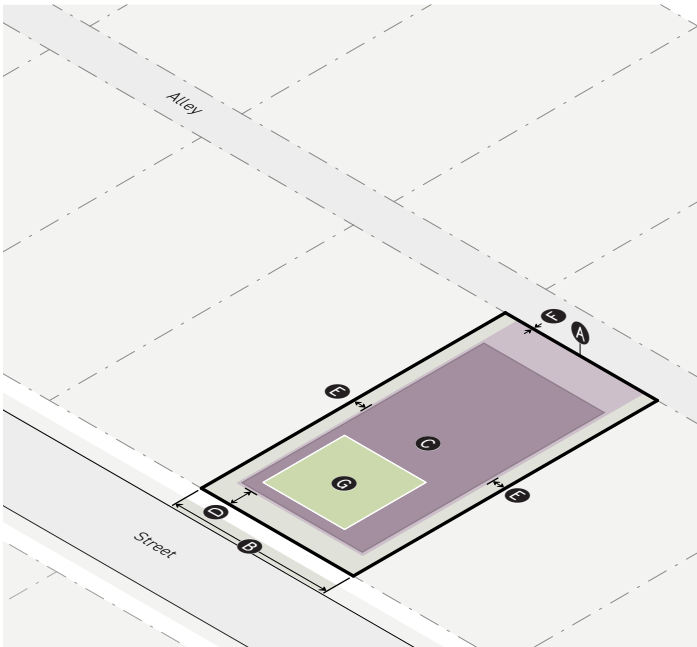
B. Bulk and Mass



1. FAR & HEIGHT		Div. 2C.4.
	FAR (max)	0.6
A	Height in feet (max)	33'
	Height in stories (max)	3
	Bonus	None
2. UPPER STORY BULK		Div. 2C.6.
B	Wall plate height (max)	24'
3. BUILDING MASS		Div. 2C.6.
C	Building width (max)	50'
	Building break (min)	6'

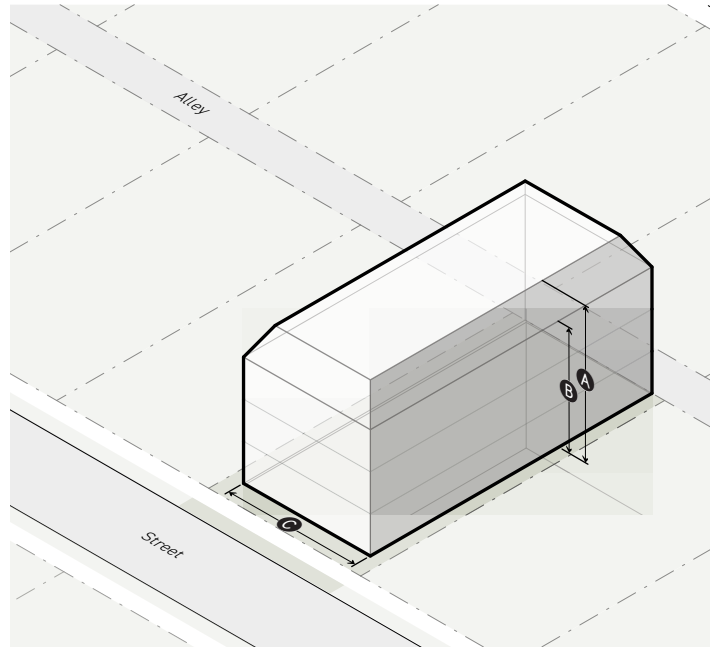
SEC. 2B.4.2. **VERY LOW-RISE NARROW 2 (VN2)**

A. Lot Parameters



1. LOT SIZE		<i>Div. 2C.1.</i>
A	Lot area (min)	5,000 sf
B	Lot width (min)	40'
2. COVERAGE		<i>Div. 2C.2.</i>
C	Building coverage (max)	65%
Building setbacks		
D	Primary street (min)	10'
	Side street (min)	5'
E	Side (min)	3'
	Rear (min)	3'
F	Alley (min)	0'
	Special: All (min)	0'
3. AMENITY		<i>Div. 2C.3.</i>
G	Lot amenity space (min)	15%
	Residential amenity space (min)	10%

B. Bulk and Mass



1. FAR & HEIGHT		<i>Div. 2C.4.</i>
	Base FAR (max)	1.0
A	Height in feet (max)	45'
	Height in stories (max)	4
	Bonus FAR (max)	1.5
2. UPPER STORY BULK		<i>Div. 2C.6.</i>
B	Wall plate height (max)	36'
3. BUILDING MASS		<i>Div. 2C.6.</i>
C	Building width (max)	50'
	Building break (min)	6'

DIV. 2B.5. VERY LOW-RISE MEDIUM FORM DISTRICTS

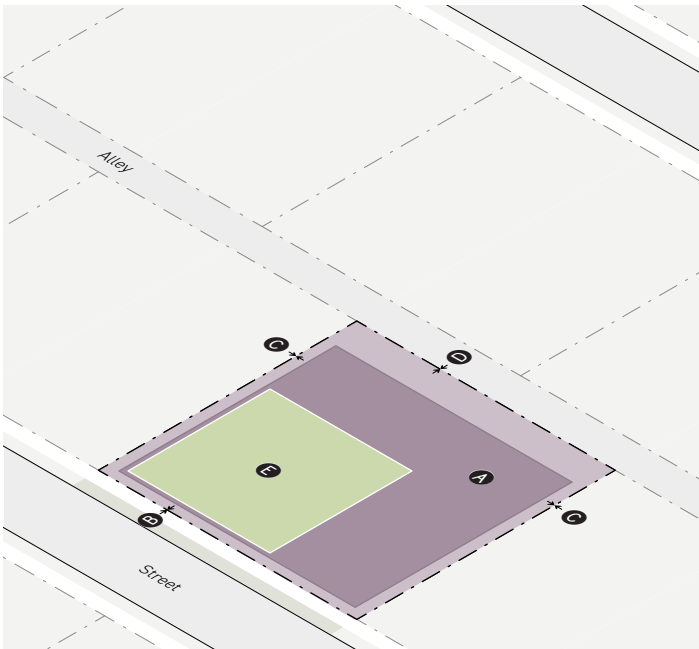
Each Very Low-Rise Narrow Form District occurs within the ranges specified below. The "Very Low" FAR category allows a range of 0.66 FAR to 1.5 FAR. The "Medium" building width category allows a range of 100 to 210 feet of building width.

FAR	BUILDING WIDTH			
	NARROW 25'-75'	MEDIUM 100'-210'	BROAD 280'-490'	FULL N/A
VERY LOW 0.66-1.5 FAR	●	●	○	●
LOW 1.6-4.0 FAR	●	●	○	●
MID 4.1-6.0 FAR	●	●	●	●
MODERATE 6.1-8.5 FAR	○	●	○	○
HIGH 8.6-13.0 FAR	○	●	●	○

○ Potential Form District Category
 ● Form District Category

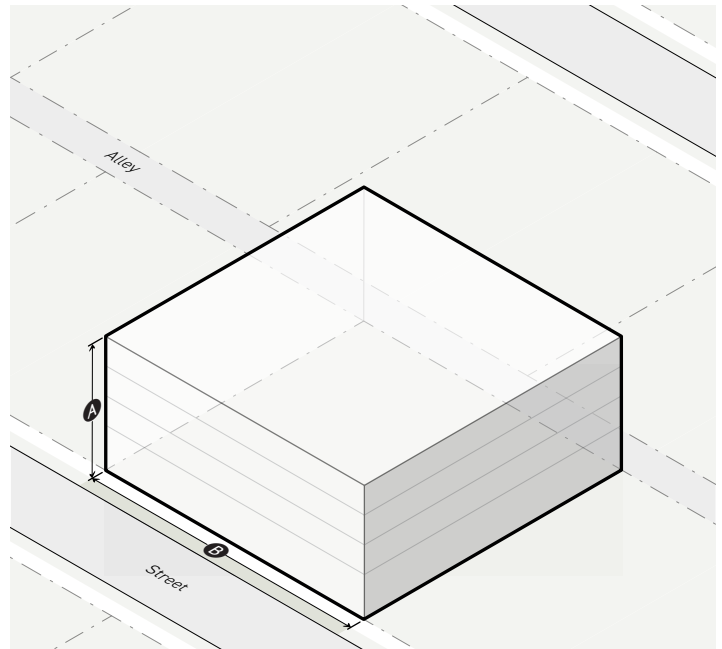
SEC. 2B.5.1. VERY LOW-RISE MEDIUM 1 (VM1)

A. Lot Parameters



1. LOT SIZE		Div. 2C.1.
A	Lot area (min)	n/a
B	Lot width (min)	n/a
2. COVERAGE		Div. 2C.2.
C	Building coverage (max)	85%
Building setbacks		
D	Primary street (min)	0'
	Side street (min)	0'
E	Side (min)	0'
	Rear (min)	0'
F	Alley (min)	0'
	Special: All (min)	15'
3. AMENITY		Div. 2C.3.
G	Lot amenity space (min)	30%
	Residential amenity space (min)	10%

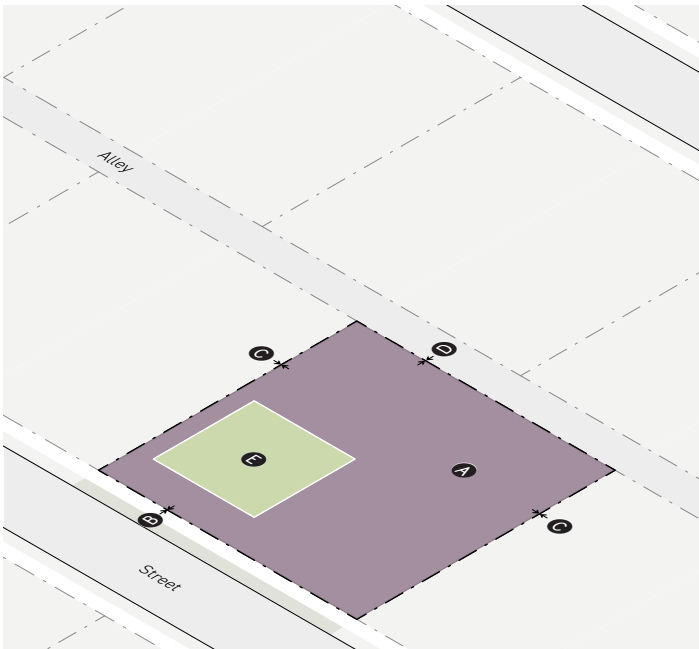
B. Bulk and Mass



1. FAR & HEIGHT		Div. 2C.4.
	FAR (max)	1.5
A	Height in feet (max)	45'
	Bonus	None
2. BUILDING MASS		Div. 2C.6.
C	Building width (max)	210'
	Building break (min)	15'

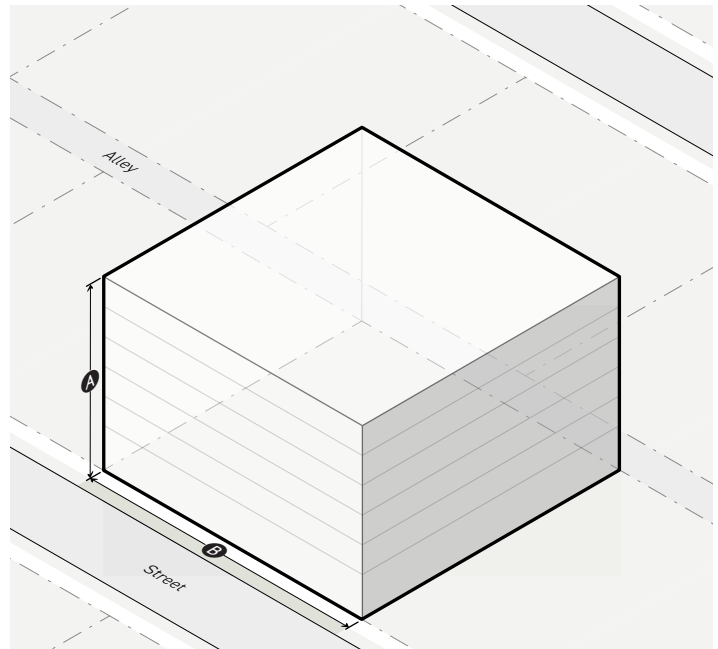
SEC. 2B.5.2. VERY LOW-RISE MEDIUM 2 (VM2)

A. Lot Parameters



1. LOT SIZE		Div. 2C.1.
Lot area (min)		n/a
Lot width (min)		n/a'
2. COVERAGE		Div. 2C.2.
A Building coverage (max)		100%
Building setbacks		
B Primary street (min)		0'
Side street (min)		0'
C Side (min)		0'
Rear (min)		0'
D Alley (min)		0'
Special: All (min)		0'
3. AMENITY		Div. 2C.3.
E Lot amenity space (min)		15%
Residential amenity space (min)		10%

B. Bulk and Mass



1. FAR & HEIGHT		Div. 2C.4.
FAR (max)		1.5
A Height in feet (max)		65'
Bonus		None
2. BUILDING MASS		Div. 2C.6.
C Building width (max)		210'
Building break (min)		15'

DIV. 2B.6. **VERY LOW-RISE BROAD FORM DISTRICTS**

[Reserved]

DIV. 2B.7. VERY LOW-RISE FULL FORM DISTRICTS

Each Very Low-Rise Full Form District occurs within the ranges specified below. The "Very Low" FAR category allows a range of 0.66 FAR to 1.5 FAR. The "Full" building width category has no maximum building width for the district.

FAR	BUILDING WIDTH			
	NARROW 25'-75'	MEDIUM 100'-210'	BROAD 280'-490'	FULL N/A
VERY LOW 0.66-1.5 FAR	●	●	○	●
LOW 1.6-4.0 FAR	●	●	○	●
MID 4.1-6.0 FAR	●	●	●	●
MODERATE 6.1-8.5 FAR	○	●	○	○
HIGH 8.6-13.0 FAR	○	●	●	○

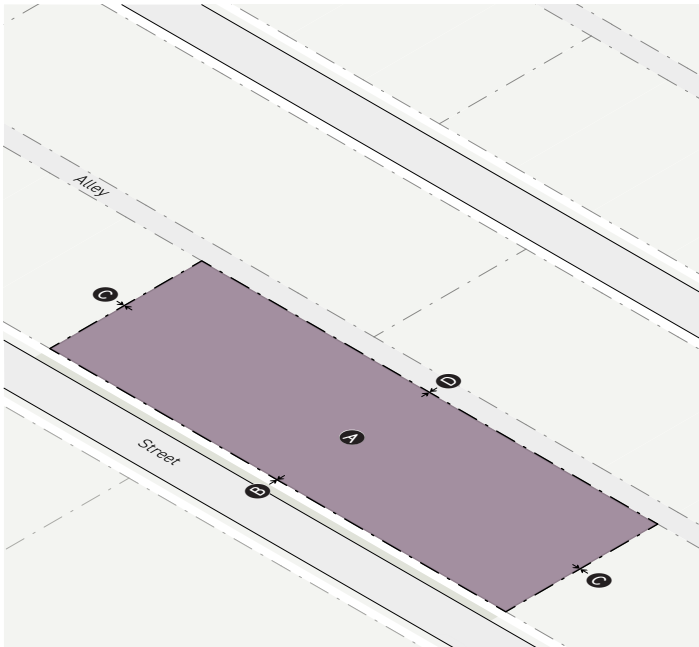
○ Potential Form District Category
 ● Form District Category

SEC. 2B.7.1. VERY LOW-RISE FULL 1 (VF1)

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

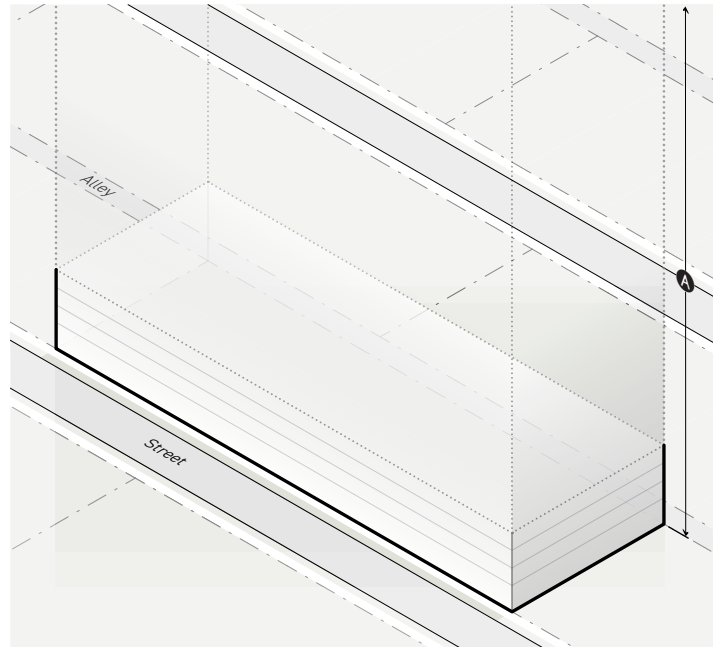
SEC. 2B.7.2. VERY LOW-RISE FULL 2 (VF2)

A. Lot Parameters



1. LOT SIZE		<i>Div. 2C.1.</i>
Lot area (min)		n/a
Lot width (min)		n/a
2. COVERAGE		<i>Div. 2C.2.</i>
A Building coverage (max)		100%
Building setbacks		
B Primary street (min)		0'
Side street (min)		0'
C Side (min)		0'
Rear (min)		0'
D Alley (min)		0'
Special: All (min)		0'
3. AMENITY		<i>Div. 2C.3.</i>
G Lot amenity space (min)		n/a
Residential amenity space (min)		n/a

B. Bulk and Mass



1. FAR & HEIGHT		<i>Div. 2C.4.</i>
FAR (max)		1.5
A Height (max)		n/a
Bonus		None
2. BUILDING MASS		<i>Div. 2C.6.</i>
Building width (max)		n/a
Building break (min)		n/a

DIV. 2B.8. LOW-RISE NARROW FORM DISTRICTS

Each Low-Rise Narrow Form District occurs within the ranges specified below. The "Low" FAR category allows a range of 1.6 FAR to 4.0 FAR. The "Narrow" building width category allows a range of 25 to 75 feet of building width.

FAR	BUILDING WIDTH			
	NARROW 25'-75'	MEDIUM 100'-210'	BROAD 280'-490'	FULL N/A
VERY LOW 0.66-1.5 FAR	●	●	○	●
LOW 1.6-4.0 FAR	●	●	○	●
MID 4.1-6.0 FAR	●	●	●	●
MODERATE 6.1-8.5 FAR	○	●	○	○
HIGH 8.6-13.0 FAR	○	●	●	○

○ Potential Form District Category
 ● Form District Category

SEC. 2B.8.1. **LOW-RISE NARROW 1 (LN1)**

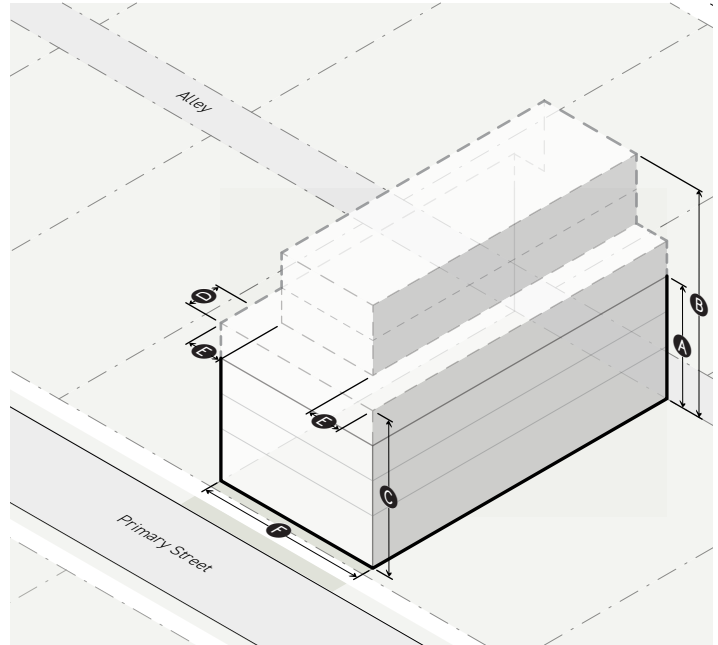
[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

A. Lot Parameters



1. LOT SIZE		Div. 2C.1.
A	Lot area (min)	2,500 sf
B	Lot width (min)	25'
2. COVERAGE		Div. 2C.2.
C	Building coverage (max)	80%
Building setbacks		
D	Primary street (min)	5'
	Side street (min)	0'
E	Side (min)	0'
	Rear (min)	0'
F	Alley (min)	0'
	Special: All (min)	0'
3. AMENITY		Div. 2C.3.
G	Lot amenity space (min)	25%
	Residential amenity space (min)	10%

B. Bulk and Mass



1. FAR & HEIGHT		Div. 2C.4.
	Base FAR (max)	1.5
A	Base height in stories (max)	3
	Bonus FAR (max)	3.0
B	Bonus height in stories (max)	6
2. UPPER-STORY BULK		Div. 2C.5.
Street step-back		
C	Stories without step-back (max)	4
D	Primary street step-back depth (min)	10'
	Side street step-back depth (min)	10'
District boundary height transition		
E	Abutting district allowed height (max)	45'
F	Stories without height transition (max)	4
G	Transition depth (min)	10'
3. BUILDING MASS		Div. 2C.6.
F	Building width (max)	75'
	Building break (min)	6'

DIV. 2B.9. LOW-RISE MEDIUM FORM DISTRICTS

Each Low-Rise Medium Form District occurs within the ranges specified below. The "Low" FAR category allows a range of 1.6 FAR to 4.0 FAR. The "Medium" building width category allows a range of 100 to 210 feet of building width.

FAR	BUILDING WIDTH			
	NARROW 25'-75'	MEDIUM 100'-210'	BROAD 280'-490'	FULL N/A
VERY LOW 0.66-1.5 FAR	●	●	○	●
LOW 1.6-4.0 FAR	●	●	○	●
MID 4.1-6.0 FAR	●	●	●	●
MODERATE 6.1-8.5 FAR	○	●	○	○
HIGH 8.6-13.0 FAR	○	●	●	○

○ Potential Form District Category
 ● Form District Category

SEC. 2B.9.1. LOW-RISE MEDIUM 1 (LM1)

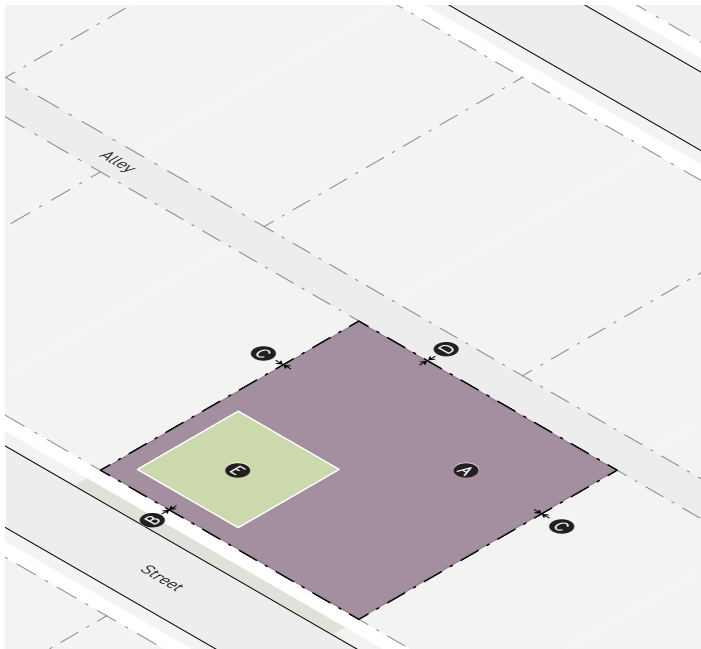
[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 2B.9.2. LOW-RISE MEDIUM 2 (LM2)

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

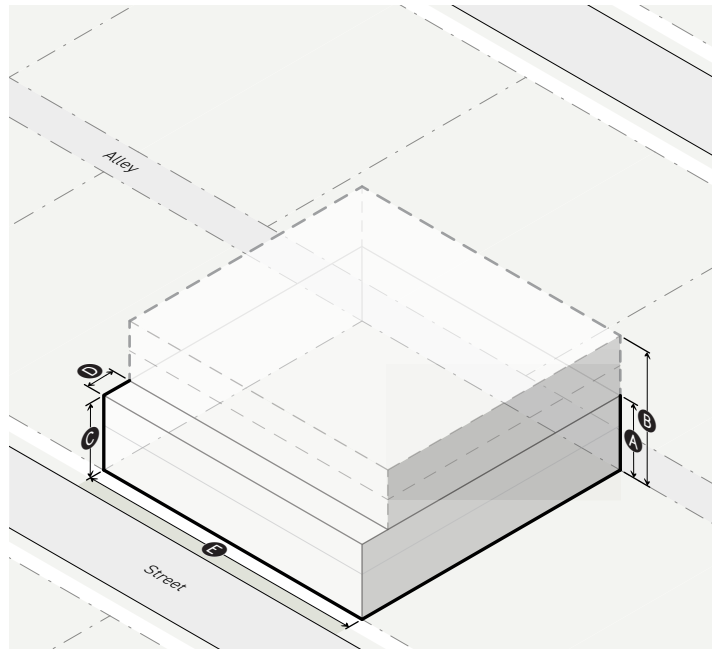
SEC. 2B.9.3. **LOW-RISE MEDIUM 3 (LM3)**

A. Lot Parameters



1. LOT SIZE		Div. 2C.1.
A	Lot area (min)	n/a
B	Lot width (min)	n/a
2. COVERAGE		Div. 2C.2.
C	Building coverage (max)	100%
Building setbacks		
D	Primary street (min)	0'
	Side street (min)	0'
E	Side (min)	0'
	Rear (min)	10'
F	Alley (min)	0'
	Special: All (min)	0'
3. AMENITY		Div. 2C.3.
G	Lot amenity space (min)	15%
	Residential amenity space (min)	10%

B. Bulk and Mass



1. FAR & HEIGHT		Div. 2C.4.
	Base FAR (max)	1.5
A	Base height in stories (max)	2
	Bonus FAR	2.5
B	Bonus height in stories (max)	4
2. UPPER-STORY BULK		Div. 2C.5.
Street step-back		
C	Stories without step-back (max)	2
D	Primary street step-back depth (min)	10'
	Side street step-back depth (min)	n/a
3. BUILDING MASS		Div. 2C.6.
E	Building width (max)	140'
	Building break (min)	15'

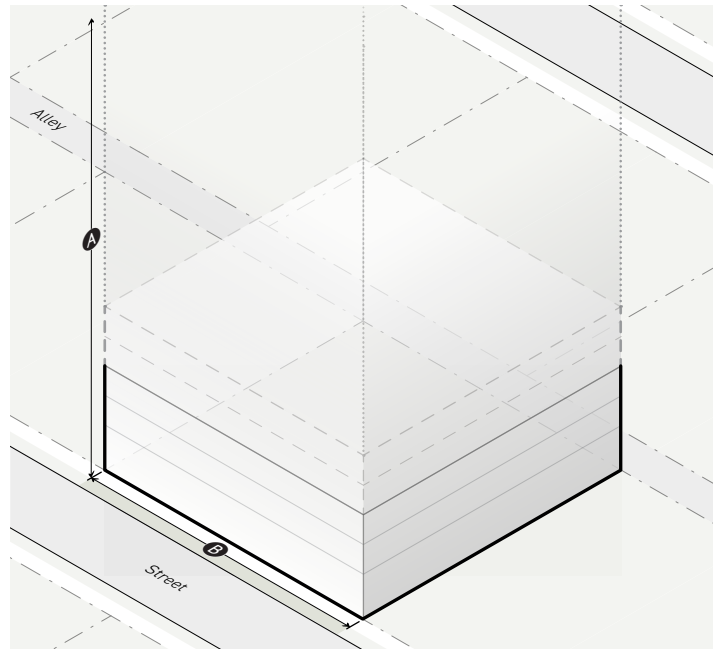
SEC. 2B.9.4. **LOW-RISE MEDIUM 4 (LM4)**

A. Lot Parameters



1. LOT SIZE		Div. 2C.1.
Lot area (min)		n/a
Lot width (min)		n/a'
2. COVERAGE		Div. 2C.2.
A Building coverage (max)		100%
Building setbacks		
B Primary street (min)		0'
Side street (min)		0'
C Side (min)		0'
Rear (min)		10'
D Alley (min)		0'
Special: All (min)		0'
3. AMENITY		Div. 2C.3.
E Lot amenity space (min)		15%
Residential amenity space (min)		10%

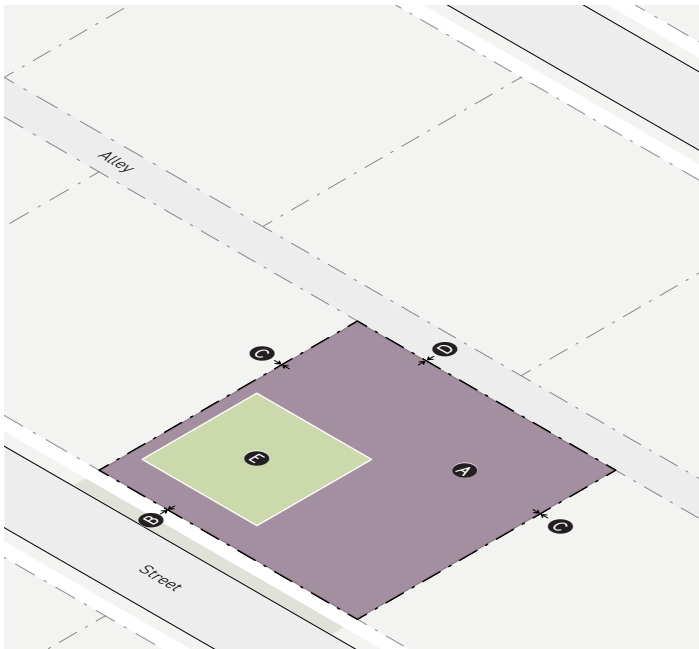
B. Bulk and Mass



1. FAR & HEIGHT		Div. 2C.4.
Base FAR (max)		1.5
Base height in feet (max)		n/a
Bonus FAR (max)		3.0
Bonus height in feet (max)		n/a
2. BUILDING MASS		Div. 2C.6.
A Building width (max)		210'
Building break (min)		15'

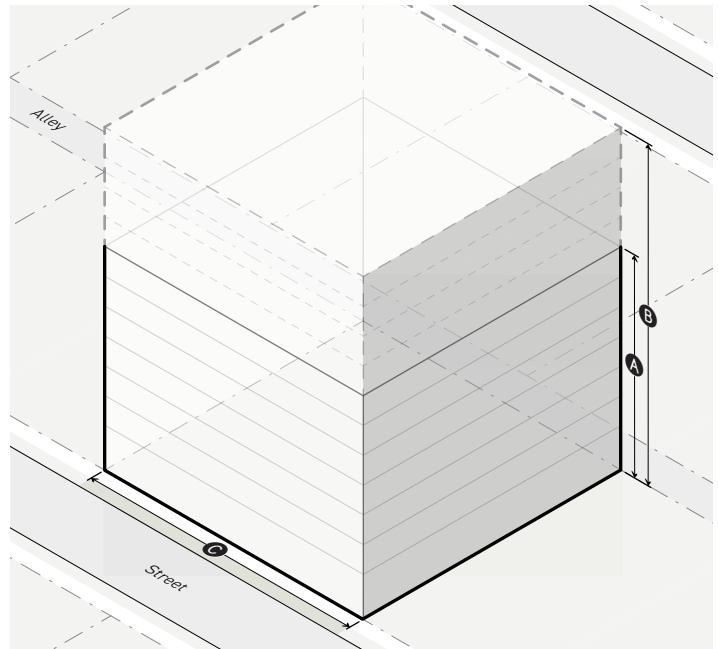
SEC. 2B.9.5. **LOW-RISE MEDIUM 5 (LM5)**

A. Lot Parameters



1. LOT SIZE		Div. 2C.1.
Lot area (min)		n/a
Lot width (min)		n/a'
2. COVERAGE		Div. 2C.2.
A Building coverage (max)		100%
Building setbacks		
B Primary street (min)		0'
Side street (min)		0'
C Side (min)		0'
Rear (min)		0'
D Alley (min)		0'
Special: All (min)		0'
3. AMENITY		Div. 2C.3.
E Lot amenity space (min)		20%
Residential amenity space (min)		10%

B. Bulk and Mass



1. FAR & HEIGHT		Div. 2C.4.
Base FAR (max)		2.0
A Base height in feet (max)		75'
Bonus FAR (max)		4.0
A Bonus height in feet (max)		120'
2. BUILDING MASS		Div. 2C.6.
C Building width (max)		210'
Building break (min)		15'

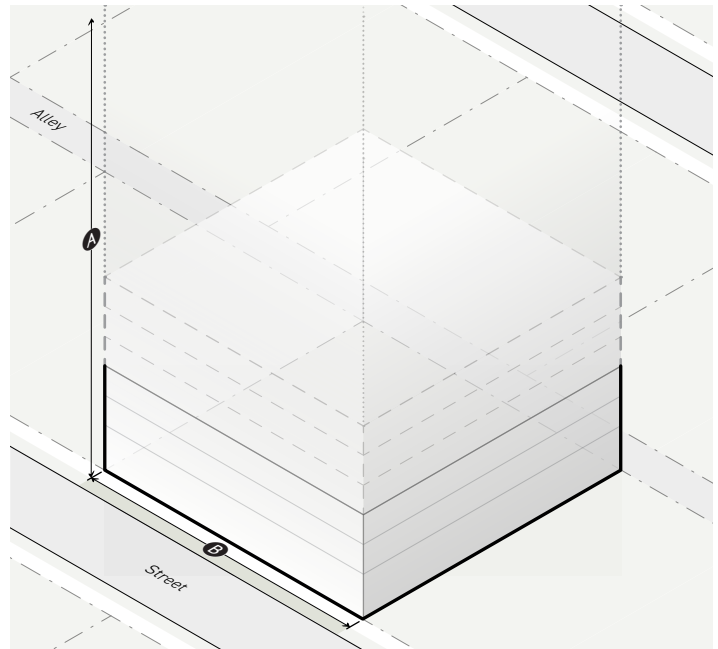
SEC. 2B.9.6. **LOW-RISE MEDIUM 6 (LM6)**

A. Lot Parameters



1. LOT SIZE		Div. 2C.1.
Lot area (min)		n/a
Lot width (min)		n/a'
2. COVERAGE		Div. 2C.2.
A Building coverage (max)		100%
Building setbacks		
B Primary street (min)		0'
Side street (min)		0'
C Side (min)		0'
Rear (min)		10'
D Alley (min)		0'
Special: All (min)		0'
3. AMENITY		Div. 2C.3.
E Lot amenity space (min)		15%
Residential amenity space (min)		10%

B. Bulk and Mass



1. FAR & HEIGHT		Div. 2C.4.
Base FAR (max)		1.5
Base height in feet (max)		n/a
Bonus FAR (max)		4.0
Bonus height in feet (max)		n/a
2. BUILDING MASS		Div. 2C.6.
C Building width (max)		140'
Building break (min)		15'

DIV. 2B.10. **LOW-RISE BROAD FORM DISTRICTS**

[Reserved]

DIV. 2B.11. **LOW-RISE FULL FORM DISTRICTS**

Each Low-Rise Full Form District occurs within the ranges specified below. The "Low" FAR category allows a range of 1.6 FAR to 4.0 FAR. The "Full" building width category has no maximum building width for the district.

FAR	BUILDING WIDTH			
	NARROW 25'-75'	MEDIUM 100'-210'	BROAD 280'-490'	FULL N/A
VERY LOW 0.66-1.5 FAR	●	●	○	●
LOW 1.6-4.0 FAR	●	●	○	●
MID 4.1-6.0 FAR	●	●	●	●
MODERATE 6.1-8.5 FAR	○	●	○	○
HIGH 8.6-13.0 FAR	○	●	●	○

○ Potential Form District Category
 ● Form District Category

SEC. 2B.11.1. **LOW-RISE FULL 1 (LF1)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 2B.11.2. **LOW-RISE FULL 2 (LF2)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 2B.12. **MID-RISE NARROW FORM DISTRICTS**

Each Mid-Rise Narrow Form District occurs within the ranges specified below. The "Mid" FAR category allows a range of 4.1 FAR to 6.0 FAR. The "Narrow" building width category allows a range of 25 to 75 feet of building width.

FAR	BUILDING WIDTH			
	NARROW 25'-75'	MEDIUM 100'-210'	BROAD 280'-490'	FULL N/A
VERY LOW 0.66-1.5 FAR	●	●	○	●
LOW 1.6-4.0 FAR	●	●	○	●
MID 4.1-6.0 FAR	●	●	●	●
MODERATE 6.1-8.5 FAR	○	●	○	○
HIGH 8.6-13.0 FAR	○	●	●	○

○ Potential Form District Category
● Form District Category

SEC. 2B.12.1. **MID-RISE NARROW 1 (MN1)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 2B.13. MID-RISE MEDIUM FORM DISTRICTS

Each Mid-Rise Medium Form District occurs within the ranges specified below. The "Mid" FAR category allows a range of 4.1 FAR to 6.0 FAR. The "Medium" building width category allows a range of 100 to 210 feet of building width.

FAR	BUILDING WIDTH			
	NARROW 25'-75'	MEDIUM 100'-210'	BROAD 280'-490'	FULL N/A
VERY LOW 0.66-1.5 FAR	●	●	○	●
LOW 1.6-4.0 FAR	●	●	○	●
MID 4.1-6.0 FAR	●	●	●	●
MODERATE 6.1-8.5 FAR	○	●	○	○
HIGH 8.6-13.0 FAR	○	●	●	○

○ Potential Form District Category
 ● Form District Category

SEC. 2B.13.1. MID-RISE MEDIUM 1 (MM1)

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 2B.14. **MID-RISE BROAD FORM DISTRICTS**

Each Mid-Rise Broad Form District occurs within the ranges specified below. The "Mid" FAR category allows a range of 4.1 FAR to 6.0 FAR. The "Broad" building width category allows a range of 280 to 490 feet of building width.

FAR	BUILDING WIDTH			
	NARROW 25'-75'	MEDIUM 100'-210'	BROAD 280'-490'	FULL N/A
VERY LOW 0.66-1.5 FAR	●	●	○	●
LOW 1.6-4.0 FAR	●	●	○	●
MID 4.1-6.0 FAR	●	●	●	●
MODERATE 6.1-8.5 FAR	○	●	○	○
HIGH 8.6-13.0 FAR	○	●	●	○

○ Potential Form District Category
● Form District Category

SEC. 2B.14.1. **MID-RISE BROAD 1 (MB1)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 2B.14.2. **MID-RISE BROAD 2 (MB2)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 2B.14.3. **MID-RISE BROAD 3 (MB3)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 2B.14.4. **MID-RISE BROAD 4 (MB4)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 2B.15. MID-RISE FULL FORM DISTRICTS

Each Mid-Rise Full Form District occurs within the ranges specified below. The "Mid" FAR category allows a range of 4.1 FAR to 6.0 FAR. The "Full" building width category has no maximum building width for the district.

FAR	BUILDING WIDTH			
	NARROW 25'-75'	MEDIUM 100'-210'	BROAD 280'-490'	FULL N/A
VERY LOW 0.66-1.5 FAR	●	●	○	●
LOW 1.6-4.0 FAR	●	●	○	●
MID 4.1-6.0 FAR	●	●	●	●
MODERATE 6.1-8.5 FAR	○	●	○	○
HIGH 8.6-13.0 FAR	○	●	●	○

○ Potential Form District Category
 ● Form District Category

SEC. 2B.15.1. MID-RISE FULL 1 (MF1)

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 2B.16. **MODERATE-RISE MEDIUM FORM DISTRICTS**

[Reserved]

DIV. 2B.17. MODERATE-RISE BROAD FORM DISTRICTS

Each Moderate-Rise Broad Form District occurs within the ranges specified below. The "Moderate" FAR category allows a range of 6.1 FAR to 8.5 FAR. The "Broad" building width category allows a range of 280 to 490 feet of building width.

FAR	BUILDING WIDTH			
	NARROW 25'-75'	MEDIUM 100'-210'	BROAD 280'-490'	FULL N/A
VERY LOW 0.66-1.5 FAR	●	●	○	●
LOW 1.6-4.0 FAR	●	●	○	●
MID 4.1-6.0 FAR	●	●	●	●
MODERATE 6.1-8.5 FAR	○	●	○	○
HIGH 8.6-13.0 FAR	○	●	●	○

○ Potential Form District Category
 ● Form District Category

SEC. 2B.17.1. MODERATE-RISE MEDIUM 1 (DM1)

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 2B.17.2. MODERATE-RISE MEDIUM 2 (DM2)

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 2B.17.3. MODERATE-RISE MEDIUM 3 (DM3)

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 2B.17.4. MODERATE-RISE MEDIUM 4 (DM4)

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 2B.17.5. MODERATE-RISE MEDIUM 5 (DM5)

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 2B.18. **MODERATE-RISE FULL FORM DISTRICTS**

[Reserved]

DIV. 2B.19. **HIGH-RISE MEDIUM FORM DISTRICTS**

Each High-Rise Medium Form District occurs within the ranges specified below. The "High" FAR category allows a range of 8.6 FAR to 13.0 FAR. The "Medium" building width category allows a range of 100 to 210 feet of building width.

FAR	BUILDING WIDTH			
	NARROW 25'-75'	MEDIUM 100'-210'	BROAD 280'-490'	FULL N/A
VERY LOW 0.66-1.5 FAR	●	●	○	●
LOW 1.6-4.0 FAR	●	●	○	●
MID 4.1-6.0 FAR	●	●	●	●
MODERATE 6.1-8.5 FAR	○	●	○	○
HIGH 8.6-13.0 FAR	○	●	●	○

○ Potential Form District Category
 ● Form District Category

SEC. 2B.19.1. **HIGH-RISE MEDIUM 1 (HM1)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 2B.19.2. **HIGH-RISE MEDIUM 2 (HM2)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 2B.20. **HIGH-RISE BROAD FORM DISTRICTS**

Each High-Rise Broad Form District occurs within the ranges specified below. The "High" FAR category allows a range of 8.6 FAR to 13.0 FAR. The "Broad" building width category allows a range of 280 to 490 feet of building width.

FAR	BUILDING WIDTH			
	NARROW 25'-75'	MEDIUM 100'-210'	BROAD 280'-490'	FULL N/A
VERY LOW 0.66-1.5 FAR	●	●	○	●
LOW 1.6-4.0 FAR	●	●	○	●
MID 4.1-6.0 FAR	●	●	●	●
MODERATE 6.1-8.5 FAR	○	●	○	○
HIGH 8.6-13.0 FAR	○	●	●	○

○ Potential Form District Category
● Form District Category

SEC. 2B.20.1. **HIGH-RISE BROAD 1 (HB1)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 2B.20.2. **HIGH-RISE BROAD 2 (HB2)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 2B.20.3. **HIGH-RISE BROAD 3 (HB3)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 2B.20.4. **HIGH-RISE BROAD 4 (HB4)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 2B.20.5. **HIGH-RISE BROAD 5 (HB5)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 2B.20.6. **HIGH-RISE BROAD 6 (HB6)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 2B.21. **HIGH-RISE FULL FORM DISTRICTS**

[Reserved]

PART 2C. FORM RULES

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DIV. 2C.1. **LOT SIZE**

SEC. 2C.1.1. **LOT AREA**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 2C.1.2. **LOT WIDTH**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 2C.1.3. **SUB-LOT AREA**

The total area within the boundaries of a sub-lot.

A. Intent

To ensure lots are large enough to accommodate automobile parking and provide a semi-public ground story pedestrian access to promote walkability, activate semi-public spaces, and support personalization and community.

B. Applicability

Minimum sub-lot area requirements apply to all sub-lots that include a dwelling unit within a small lot subdivision.

C. Standards

No sub-lot may have an area less than the minimum specified in the applied Alternate Typology (Part 7B).

D. Measurement

1. Sub-lot area is measured as the total area within the boundary of a sub-lot, measured horizontally.
2. Sub-lot area includes all portions of a lot allocated for required easements.
3. Sub-lot area includes all shared access easements.
4. Sub-lot area does not include portions of a lot required for land dedication with the exception of required street corner dedications and dedications for street widening according to Sec. 10.1.8. (Lots Affected By Street Widening).

E. Exceptions

Where no motor vehicle use areas are provided within the boundaries of a sub-lot, the minimum sub-lot area may be reduced to 450 square feet.

F. Relief

A reduction in required sub-lot area may be requested as a variance in accordance with Sec. 13B.5.3. (Variance).

SEC. 2C.1.4. **SUB-LOT WIDTH**

The horizontal dimension of a sub-lot along a street lot line or a shared pedestrian accessway.

A. **Intent**

To ensure lots are large enough to accommodate automobile parking and provide a semi-public ground story pedestrian access to promote walkability, activate semi-public spaces, and support personalization and community.

B. **Applicability**

Minimum sub-lot width requirements apply to all sub-lots that include a dwelling unit within a small lot subdivision.

C. **Standards**

No sub-lot may have a width less than the minimum specified in the applied Alternate Typology (Part 7B).

D. **Measurement**

1. Where a sub-lot abuts a frontage lot line, sub lot width is measured following the geometry of the frontage lot line.
2. Where a sub-lot does not abut a frontage lot line, sub lot width is measured as the narrowest horizontal dimension of the sub-lot.
3. Sub-lot area includes all shared access easements.

E. **Exceptions**

Where no motor vehicle use areas are provided within the boundaries of a sub-lot, the minimum sub-lot area may be reduced to 450 square feet.

F. **Relief**

A reduction in required sub-lot area may be requested as a variance in accordance with Sec. 13B.5.3. (Variance)

DIV. 2C.2. **COVERAGE**

SEC. 2C.2.1. **BUILDING COVERAGE**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 2C.2.2. **BUILDING SETBACKS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 2C.3. **AMENITY**

SEC. 2C.3.1. **LOT AMENITY SPACE**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 2C.3.2. **RESIDENTIAL AMENITY SPACE**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 2C.3.3. **AMENITY DESIGN STANDARDS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 2C.4. **FLOOR AREA RATIO & HEIGHT**

[Portions of this Division displayed in grayed out text are being introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU. Black text (not grayed out) is being introduced with the Boyle Heights Community Plan.]

SEC. 2C.4.1. **FLOOR AREA RATIO (FAR)**

The measurement of the total floor area of all buildings on a lot in relation to the size of the lot.

A. **Intent**

To regulate the bulk and massing of buildings on a lot.

B. **Applicability**

Floor area ratio standards apply to all portions of a lot, and all buildings and structures located on a lot, provided the area counts as floor area according to *Sec. 14.1.7. (Floor Area)*.

C. **Standards**

1. **Base**

A lot shall not exceed the maximum base floor area ratio without meeting the requirements of an incentive program outlined in *Article 9. (Public Benefit Systems)*.

2. **Bonus**

A lot may exceed the base floor area ratio up to the maximum bonus floor area ratio for projects participating in a community benefits program, pursuant to *Div. 9.3. (Community Benefits Program)*. Projects participating in other incentive programs intended to implement State law, including Density Bonus (*Sec. 9.2.1.*), the Permanent Supportive Housing Incentive Program (*Sec. 9.4.1.*), or the Accessory Dwelling Unit Incentive Program (*Sec. 9.5.1.*), may only exceed the maximum bonus floor area of the applied Form District if they meet the eligibility and program requirements needed to qualify for additional benefits beyond the established maximum bonus floor area.

D. **Measurement**

1. Floor area ratio is calculated by dividing the total floor area on a lot by the lot area.
2. For the measurement of floor area, see *Sec. 14.1.7. (Floor Area)*.
3. For the purpose of calculating FAR, portions of a lot designated for private streets may be counted as lot area. For the measurement of lot area, see *Sec. 2C.1.1. (Lot Area)*.
4. For the purpose of calculating FAR, lot area is the same as buildable area referred to in *Section 104(e) (Floor Area Restriction) of the City of Los Angeles Charter*.

5. The Downtown Community Plan Implementation Overlay (CPIO) may define and measure buildable area differently than outlined in Sec. 2C.4.1. for the purpose of calculating the maximum floor area using bonus FAR.

E. Relief

1. Additional FAR may be requested as a variance in accordance with Sec. 13B.5.3. (Variance).
2. For projects that include multiple parcels having different applied Form Districts (Part 2B), floor area averaging across the development site may be requested, in accordance with Sec. 13B.2.2. (Class 2 Conditional Use Permit).

a. Supplemental Findings

In addition to the findings in Sec. 13B.2.2. (Class 2 Conditional Use Permit), the Zoning Administrator shall also find that the project meets the following conditions:

- i. The project meets the definition of unified development,
- ii. All lots included in the project have a Commercial-Mixed (Div. 5B.6.), Commercial (Div. 5B.7.), Industrial-Mixed (Div. 5B.8), or Industrial Use Districts (Div. 5B.9.) applied, or the project is located entirely in the Downtown Community Plan Area and all lots included in the project have a Residential-Mixed (Div. 5B.5.), Commercial-Mixed (Div. 5B.6.), Commercial (Div. 5B.7.), Industrial-Mixed (Div. 5B.8), or Industrial Use Districts (Div. 5B.9.) applied.
- iii. Where any individual lot exceeds the maximum floor area ratio specified by the applied Form District (Part 2B), the total floor area across all lots included in the unified development shall not exceed the sum of the maximum floor areas allowed across all lots as calculated based on the maximum floor are ratio specified by each applied Form District (Part 2B).

b. Supplemental Procedures

If the Zoning Administrator approves floor area averaging, then the applicants shall file a covenant running with the land with the Department of Building and Safety, prior to the issuance of any building permits, that specified the following:

- i. The operation and maintenance of the development as a unified development is continued into perpetuity;
- ii. The floor area used and the remaining unbuilt floor area, if any, is allocated to each lot;
- iii. The unifying design elements are maintained and continued into perpetuity; and
- iv. An individual or entity is specified to be responsible and accountable for compliance and the fee for the annual inspection of compliance by the Department of Building and Safety, required pursuant to LAMC Sec. 19.11. (Annual Inspection of Compliance with Floor Area Ratio Averaging and Residential Density Transfer Covenants).

SEC. 2C.4.2. **HEIGHT IN FEET**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 2C.4.3. **HEIGHT IN STORIES**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 2C.4.4. **CITY HALL HEIGHT RESTRICTION**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 2C.5. UPPER-STORY BULK

SEC. 2C.5.1. BULK PLANE

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 2C.5.2. WALL PLATE HEIGHT

The vertical dimension of the wall of a building that supports the roof structure.

A. Intent

To help reduce the impact of taller building walls along the public realm and from abutting properties.

B. Applicability

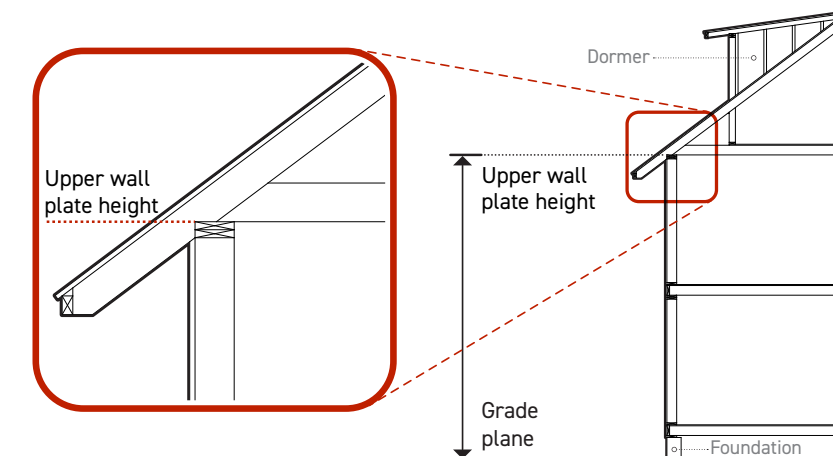
The maximum wall plate height requirement applies to all buildings on a lot where the Form District (Part 2B) specifies a maximum wall plate height standard.

C. Standards

1. No wall plate shall exceed the maximum wall plate height standard.
2. The roof may continue in height up to the maximum height in feet specified by the zoning district.

D. Measurement

Wall plate height is measured along each exterior wall of a building from grade plane to the top of the uppermost wall plate of the building.



E. Relief

1. An increase in the maximum wall plate height of 20% or less may be requested in accordance with *Sec. 13B.5.2. (Adjustments)*.

2. An increase in the maximum wall plate height of more than 20% has to be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*.

SEC. 2C.5.3. **STREET STEP-BACK**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 2C.5.4. **DISTRICT BOUNDARY HEIGHT TRANSITION**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 2C.6. **BUILDING MASS**

[Portions of this Division displayed in grayed out text are being introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU. Black text (not grayed out) is being introduced with the Boyle Heights Community Plan.]

SEC. 2C.6.1. **BUILDING WIDTH**

The horizontal dimension of any building or collection of abutting buildings on a lot.

A. **Intent**

1. To promote fine-grained patterns of development and prevent long buildings that are significantly out of context with traditional patterns by breaking wide buildings into multiple, clearly distinguished building widths.
2. To encourage larger projects to provide open space for pedestrians and recreation.

B. **Applicability**

1. Building width requirements apply to all frontage lot line-facing buildings or structures on a lot.
2. Building width requirements apply only to portions of buildings and structures located above the ground floor elevation.
3. Building width requirements do not apply to exceptions listed in *Sec. 2C.6.1.F. (Exceptions)*.

C. **Standards**

1. No applicable building or collection of abutting buildings located on the same lot shall be wider than the maximum building width specified by the applied *Form District (Part 2B)*.
2. Buildings that are located on separate lots, share no interior circulation, and are structurally independent, are considered separate buildings for the purpose of measuring building width.
3. Buildings located on different *sub-lots*, within the same *Small Lot Subdivision (Div. 7B.3.1.)*, that are separated by less than 6 feet are considered part of the same building for the purpose of measuring building width.

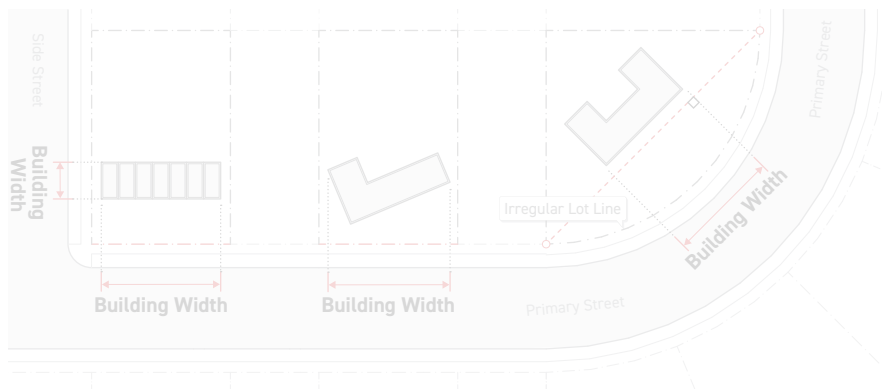
4. A building on a corner lot within the build-to zone area of overlap is allowed to exceed the maximum building width by up to 40 feet along both primary and side street lot lines.



4. In order to establish buildings on the same lot as separate buildings for the purpose of measuring maximum building width, a building break meeting the standards in Sec. 2C.2.6.1.E. (Building Break) shall be provided between the buildings.

D. Measurement

1. Building width is measured horizontally and parallel to each primary street lot line and side street lot line from one end of an applicable building or collection of abutting buildings to the opposite end.

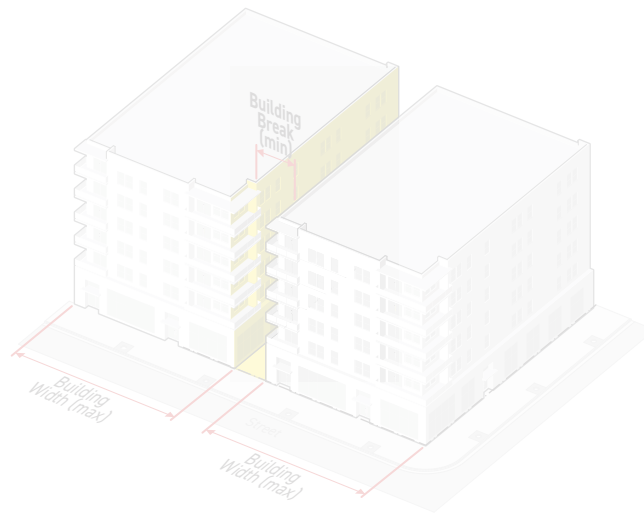


2. For frontage lot line-facing, see Sec. 14.1.6. (Facing).
3. For measuring building width on irregular lot lines, see Sec. 14.1.14. (Parallel or Perpendicular to irregular Lot line).

E. Building Break

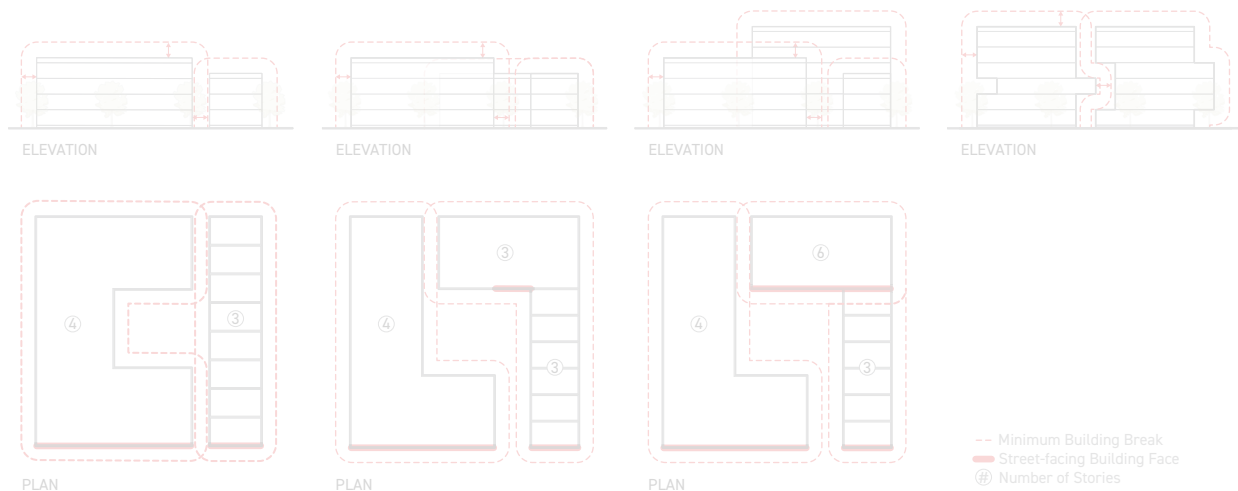
1. Standards

- a. All buildings and collections of abutting buildings located on the same lot shall be separated by at least the minimum building break dimension in order to establish them as separate buildings for the purpose of measuring building width.
- b. No building or structure shall encroach into the building break, except where allowed in *Sec. 2C.6.1.F. (Exceptions)*.



2. Measurement

A building break is measured perpendicular to the outermost surface of each applicable portion of a building both vertically and horizontally.



F. Exceptions

1. Encroachments

The following are allowed to encroach into the building break, as listed below:

ALLOWED HORIZONTAL ENCROACHMENTS	
Architectural Details (Sec. 14.15.A.1.a.)	
Encroachment (max)	2'
Clear width (min)	3'
Roof Projections (Sec. 14.15.A.1.b.)	
Encroachment (max)	2.5'
Clear width (min)	3'
Unenclosed Structures (Sec. 14.15.A.1.d. - Sec. 14.15.A.1.d.)	
Encroachment (max)	5'
Clear width (min)	3'
Mechanical/Electrical Equipment (Sec. 14.15.A.1.f. - Sec. 14.15.A.1.g.)	
Encroachment (max)	1.5'
Clear width (min)	3'

2. Building Break Outdoor Amenity Space Alternative

As an alternative to a building break, a street-facing outdoor amenity space that meets the following standards may be used to establish buildings or collections of abutting buildings as separate buildings for the purpose of measuring maximum building width:

- a. The outdoor amenity space shall meet the design standards for outdoor amenity space in Sec. 2C.3.3.A. (*Outdoor Amenity Space*).
- b. The outdoor amenity space width shall be at least 2 times the minimum building break dimension specified in the applied *Form District (Part 2B)*, measured parallel to the applicable street lot line.
- c. The outdoor amenity space width shall not be greater than the maximum building width, measured parallel to the applicable street lot line.
- d. The outdoor amenity space depth shall be at least 5 times the minimum building break dimension specified in the applied *Form District (Part 2B)*, measured perpendicular to the street lot line.
- e. A minimum of 75% of the outdoor amenity space area shall meet the design standards in Sec. 2C.3.3.C. (*Pedestrian Amenity Space*).
- f. The outdoor amenity space may count toward the required minimum build-to width required by the applied *Frontage District (Part 3B)*, provided it meets the requirements of Sec. 3C.1.3.E. (*Build-to Width Exceptions*).

- Building Mass -

- g. Any portion of the outdoor amenity space may count toward lot amenity space in Sec. 2C.3.1. (Lot Amenity Space) and residential amenity space in Sec. 2C.3.2. (Residential Amenity Space), provided it meets all applicable standards.

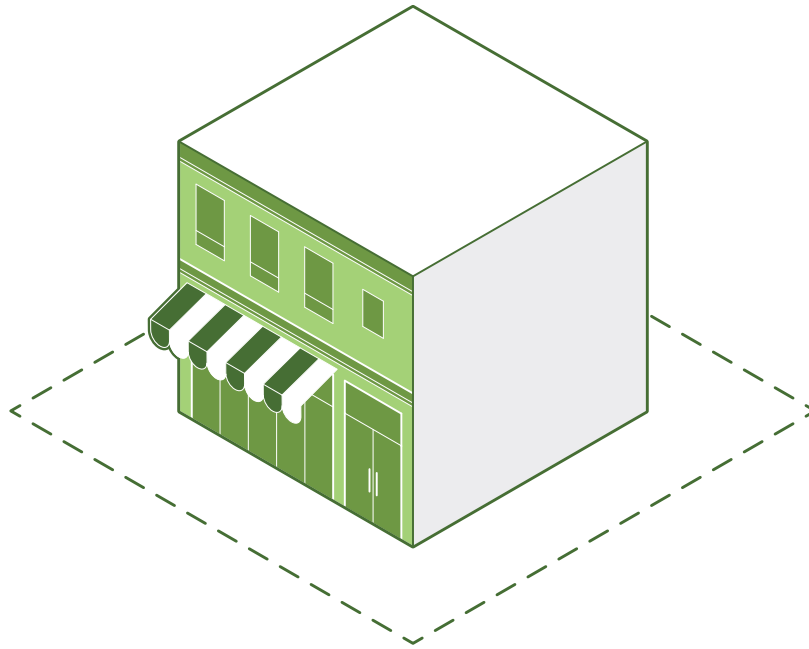


G. Relief

1. Increased building width of 20% or less or reduced building break of 20% or less may be requested in accordance with Sec. 13B.5.2. (Adjustments).
2. Increased building width or reduced building break may be requested as a variance in accordance with Sec. 13B.5.3. (Variance).

SEC. 2C.6.2. **FACADE WIDTH**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]



ARTICLE 3. **FRONTAGE**

[FORM - **FRONTAGE** - STANDARDS] [USE - DENSITY]

Part 3A. **Introduction**

Part 3B. **Frontage Districts**

Part 3C. **General Frontage Rules**

Part 3D. **Character Frontage Rules**

The Downtown Community Plan will bring forward for adoption the New Zoning Code, including this Article via CPC-2014-1582-CA and CPC-2017-432-CPU. The Boyle Heights Community Plan will bring forward the unique zones and additional standards or regulations needed to implement the Boyle Heights Community Plan.

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PART 3A. INTRODUCTION

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DIV. 3A.1. **ORIENTATION**

SEC. 3A.1.1. **RELATIONSHIP TO ZONE STRING**

A zone string is composed of the following districts:



The Frontage District is a separate and independent component of each zone.

SEC. 3A.1.2. **HOW TO USE ARTICLE 3 (FRONTAGE)**

A. **Identify the Applied Frontage District**

The second component in a zone string identifies the Frontage District applied to a property.

B. **Frontage District Standards**

Frontage District standards are outlined in *Part 3B. (Frontage Districts)*. Each Frontage District page identifies the standards specific to that Frontage District.

C. **Interpreting Frontage District Standards**

Each Frontage rule category on a Frontage District page in *Part 3B. (Frontage Districts)* provides a reference to *Part 3C. (General Frontage Rules)* or *Part 3D. (Character Frontage Rules)*, where the standards within that rule category are explained in detail. *Part 3D. (Character Frontage Rules)* may reference *Part 3C. (General Frontage Rules)* for standards that are common to both Character Frontages and General Frontages.

Frontage District Example:

Zone String

[LM2-**MU2**-5] [RG1-FA]

Find Your Frontage District

Part 3B (Frontage Districts)

SEC. 3B.2.3. MULTI-UNIT 2 (MU2)

A. Lot

Frontage Standard

Specification for Standard

B. Facade

Frontage Lot Line

Frontage Rule Category	Div. 3C.1		Link to Rules
	Primary	Side	
BUILD-TO	Div. 3C.1		
Applicable stories (min)	1	1	
Ⓐ Build-to range (min/max)	0'/10'	0'/15'	
Ⓑ Build-to width (min)	70%	40%	
Ⓒ Pedestrian amenity allowance (max)	n/a	n/a	
PARKING	Div. 3C.2		
Ⓓ Frontage setback (min)	20'	5'	
LANDSCAPING	Div. 3C.3		
Planting area (min)	30%	30%	
Frontage yard fence & wall type allowed:	A2	A2	
	Standard Does Not Apply		
	Div. 3C.4		
TRANSPARENCY	Div. 3C.4		
Ⓐ Ground story (min)	30%	30%	
Ⓑ Upper stories (min)	20%	20%	
Ⓒ Dead wall width (max)	35'	45'	
ENTRANCES	Div. 3C.5		
Ⓓ Street-facing entrance	Required	n/a	
Ⓔ Entrance spacing (max)	50'	100'	
Required entry feature	No	No	
GROUND STORY	Div. 3C.6		
Ⓕ Ground story height (min)			
Residential (min)	10'	10'	
Nonresidential (min)	10'	10'	
Ⓖ Ground floor elevation (min/max)			
Residential (min)	-2'/5'	-2'/5'	
Nonresidential (min)	-2'/2'	-2'/2'	

Learn More About Your Rules

Part 3C (General Frontage Rules)

DIV. 3C.6. GROUND STORY

SEC. 3C.6.1. GROUND STORY HEIGHT

The floor-to-floor height of the story of a building having its finished floor elevation nearest to the finished ground surface.

A. Intent

To promote active uses that are directly connected to the public realm, and ensure high-quality ground-story spaces that are adaptable and appropriate to their context.

B. Applicability

Ground story height standards apply to all portions of the ground story of a structure located within the first 15 feet of a frontage applicable facade, measured inward and perpendicular to the facade.

C. Standards

All occupiable space on the ground story shall have floor-to-floor height of no less than the ground story height minimum.

D. Measurement

- Ground story height is measured vertically from the top of the finished ground floor to the top of the finished floor above.
- Where no story exists above, ground story height is the shortest vertically distance from the top of the finished ground floor to the top of the ceiling or roof structure above.
- For determining the ground story, see Sec. 14.1.1.10. (*Ground Story Determination*).

E. Relief

- A reduction in required ground story height of 1 foot or less may be requested in accordance with Sec. 13.7.2 (*Adjustments*).
- Deviation from ground story height standards may be requested as a variance in accordance with Sec. 13.7.2 (*Adjustments*).

Character Frontage District Example:

Zone String

[LLM1-**CHC1**-.5] [IH2-FA]

Find Your Frontage District

Part 3B (Frontage Districts)

SEC. 3B.9.1. HISTORIC CORE (CHC1)

A. Intent
The Historic Core Character Frontage provides standards intended to reinforce the prevailing architectural characteristics of Downtown's Historic Core. With an architectural character established in the late 19th and early 20th centuries, key architectural characteristics of the Historic Core include grand entrances adorned with pillars and archways, highly decorative facades that clearly articulate the base, middle, and top layers of a building, deeply recessed windows, and flat roofs with prominent cornices. Buildings in the Historic Core adhere to a well-defined street wall with high ground floor activation. The Historic Core Character Frontage ensures new development contributes to the established architectural character of Downtown's Historic Core.

B. Lot

	Primary	Side
BUILD-TO	Div. 3D.1	
Applicable stories (min)	12	12
Build-to depth (max)	5'	10'
Build-to width (min)	90%	70%
Pedestrian amenity allowance (max)	15%	10%
PARKING	Div. 3D.2	
Parking setback (min)	20'	5'
LANDSCAPING	Div. 3D.3	
Planting area (min)	0%	0%
Frontage yard fence & wall type allowed:	A2	A2

Annotations: Label on Graphic, Frontage Rule Category, No Label on Graphic, Frontage Standard, Specification for Standard, Link to Rules

Learn More About Your Rules

Part 3D (Character Frontage Rules)

References to Part 3C

SEC. 3C.1. PARKING SETBACK

An area on a lot along a frontage lot line where motor vehicle use areas are prohibited, including primary street parking setbacks, side street parking setbacks and special lot line parking setbacks.

A. Intent
To minimize the impact of motor vehicle dominated areas on the public realm and to promote a comfortable, safe, engaging and attractive streetscape with active uses and landscaping along the public realm.

B. Applicability
Frontage setback requirements apply to the ground story portions of structures and portions of lots designed or designated for motor vehicle uses, including but not limited to parking structures, parking stalls, drive lanes, loading, vehicular circulation areas, and drive-thru facilities.

C. Standards
All applicable areas designated for motor vehicle use shall be located at or behind the required parking setback unless specifically stated as an exception below.

D. Measurement

All frontage setbacks are measured perpendicular to the frontage lot line.

1. A primary street parking setback is measured from the primary street lot line.
2. A side street parking setback is measured from the side street lot line.
3. An alley parking setback is measured from the alley lot line associated with a dual frontage.

DIV. 3D.1. BUILD-TO
See Sec. 3C.1

DIV. 3D.2. PARKING
See Sec. 3C.2

DIV. 3D.3. LANDSCAPING
See Sec. 3C.3

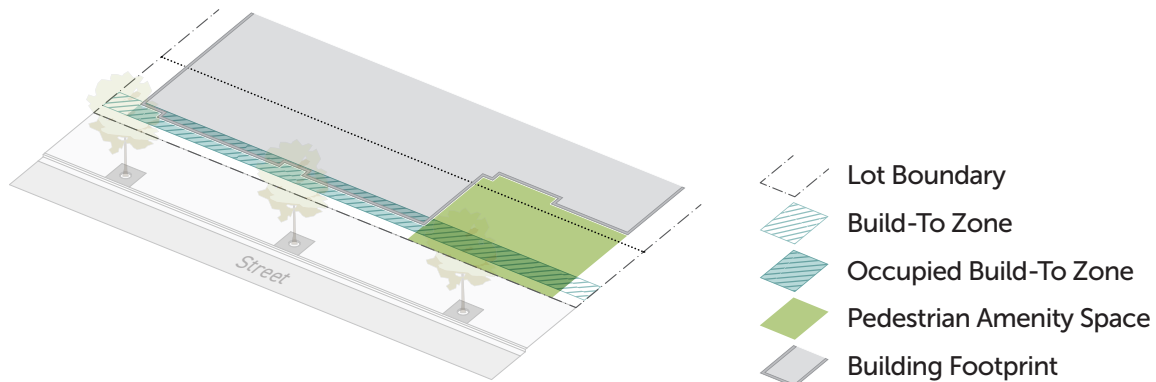
DIV. 3D.4. GROUND FLOOR ELEVATION
See Sec. 3C.6.2

SEC. 3A.1.3. **FRONTAGE DISTRICT GRAPHICS**

A. **General**

Illustrations and graphics are included in Article 3 (Frontage) only to assist users in understanding the purpose and requirements of the text. In the event a conflict occurs between the text of Article 3 (Frontage) and any illustration or graphic, the text prevails.

B. **Lot Graphics**



1. **Lot Boundary**

This line represents the perimeter of the subject lot, serving as a reference for build-to width.

2. **Build-To Zone**

This blue hatched shape represents the area on a lot, near the frontage lot line, that buildings are required to occupy according to the minimum build-to width specified by the applied *Frontage District (Part 3B)*.

3. **Occupied Build-To Zone**

The portion of the build-to zone with a blue rather than white background represents the width of the build-to zone that counts toward build-to width based on the location of buildings or the location of pedestrian amenity spaces. The location of the occupied build-to zone is not a requirement, but rather an example of one conforming site configuration.

4. **Pedestrian Amenity Space**

This green shape represents the largest pedestrian amenity space allowed to count toward build-to width according to the maximum pedestrian amenity allowance specified by the applied *Frontage District (Part 3B)*. The location of the pedestrian amenity space is not a requirement, but rather an example of one conforming site configuration.

5. **Building Footprint**

This shape represents the building footprint for the front portion of a lot including the portion of a building occupying the build-to zone, serving as a reference for build-to width. The building footprint does not represent the required placement of a building, but rather an example that meets the build-to standards of the applied *Frontage District (Part 3B)*.

C. Facade Graphics



1. Lot Boundary

This line represents the perimeter of the subject lot, serving as a reference for build-to width.

2. Pedestrian Amenity Space

This paver-patterned shape represents the pedestrian amenity space shown in the corresponding lot graphic, demonstrating the relationship between pedestrian amenity space activation requirements, and the standards of the applied *Frontage District (Part 3B)*.

3. Story

This volume represents a story of a building, serving as a reference for story height and ground floor elevation standards. The volume includes a line at the top and bottom of each story, and an additional line near the top of each story indicating the bottom of a floor plate. The bottom of the floor plate is only depicted on the side of the building.

4. Transparent Area

This shape represents door and window openings on frontage applicable facades, serving as a reference for transparency standards. The location of the transparent area is not a requirement, but rather an example of one conforming facade composition.

5. Active Wall Spacing

This red-hatched shape represents one example measurement of active wall spacing, including the regulated facade area between 1 set of door or window openings. This shape does not represent all applicable facade areas.

6. Street-Facing Entrance

This red outline represents a street-facing door openings, serving as a reference for street-facing entrance and entrance spacing standards. The locations of the street-facing entrances are not a requirement, but rather an example of one conforming facade composition.

D. Character Frontage Graphics

Character Frontage Districts (Div. 3B.9.) include a wider variety of graphics, but use the same approach to representation established by the lot graphics and facade graphics. In addition to the elements depicted in lot and frontage graphics, Character Frontage Districts represent articulation techniques, focal entry features, and exterior materials.

1. Articulation Techniques



Articulation standards often include a variety of regulatory elements, including, but not limited to, vertical and horizontal banding, building layers, and articulating elements. While articulating elements are not annotated in Character Frontage District graphics, building layers are represented with a red outline and banding is represented using a black outline around a translucent white shape.

2. Focal Entry Features and Exterior Materials



- a. Focal entry features are represented by a dashed red outline surrounding the area on a facade used to meet the requirements of one of the allowed focal entry features specified by the applied *Frontage District (Part 3B)*. The location of the focal entry feature is not a requirement, but rather an example of one conforming facade composition.
- b. Primary and secondary exterior materials are represented using a variety of colors and textures intended to represent one or more of the allowed exterior materials specified by the applied *Frontage District (Part 3B)*.

SEC. 3A.1.4. **FRONTAGE DISTRICT NAMING CONVENTION**

All Frontage District names are composed of two components: frontage category and variation number.

A. **Frontage Category**

The first component of each Frontage District is a frontage category. Frontage categories group all districts with similar characteristics. Frontage categories are organized as follows:

1. Drive
2. Multi-Unit
3. General
4. Shopfront
5. Market
6. Large Format
7. Warehouse
8. Dual
9. Character

B. **Variation Number**

The last component of each Frontage District is a variation number. All Frontage Districts are numbered in the order they fall within Article 3 (Frontage).

DIV. 3A.2. **OPENING PROVISIONS**

SEC. 3A.2.1. **FRONTAGE INTENT**

The intent of Article 3 (Frontage) is to regulate the portions of a lot and exterior building facades that impact the public realm. Frontage Districts help ensure that projects respond to the public realm in a contextually appropriate manner. Districts range from minimal standards for Warehouse Frontages to a robust set of standards for Shopfront Frontages which require projects to support a high-quality public realm that is active, comfortable, safe, and visually interesting, with strong connections between the public realm and uses inside buildings.

SEC. 3A.2.2. **FRONTAGE APPLICABILITY**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU. Changes highlighted in the Project Activities table below are introduced with the Boyle Heights Community Plan.],

A. Project Applicability

All projects filed after the effective date of this Zoning Code (Chapter 1A) must comply with the Frontage District standards and rules in Article 3 (Frontage), as further specified below. For vested rights, see *Sec. 1.4.5. (Vested Rights)*, and for continuance of existing development, see *Sec. 1.4.6. (Continuance of Existing Development)*.

B. Project Activities

- Categories of Frontage rules apply to a project based on what types of project activities are proposed, as shown in the table below. Typically, more than one project activity will apply to a proposed project (for example, a street-facing addition concealing a portion of an existing building facade includes both new construction and a facade modification).
- For all Frontage Districts, with the exception of Character Frontage Districts, Frontage rule categories apply to project activities as shown in the table below:

FRONTAGE RULE CATEGORIES		PROJECT ACTIVITIES								
		New Construction	Major Demolition	Lot Modification	Site Modification	Facade Modification	Use Modification	Temporary Use	Renovation	Maintenance & Repair
<i>Div. 3C.1.</i>	Build-To	●	●	○	○	○	○	○	○	○
<i>Div. 3C.2.</i>	Parking	●	●	○	●	○	○	○	○	○
<i>Div. 3C.3.</i>	Landscaping	●	●	●	●	○	○	○	○	○
<i>Div. 3C.4.</i>	Transparency	●	●	○	○	●	○	○	○	○
<i>Div. 3C.5.</i>	Entrances	●	●	○	○	●	○	○	○	○
<i>Div. 3C.6.</i>	Ground Story	●	○	○	○	○	○	○	○	○

● = Rules generally apply to this project activity
 ○ = Rules are not applicable

- For Character Frontage Districts, Character Frontage rule categories apply to project activities as shown in the table below:

CHARACTER FRONTAGE RULE CATEGORIES	PROJECT ACTIVITIES								
	New Construction	Major Demolition	Lot Modification	Site Modification	Facade Modification	Use Modification	Temporary Use	Renovation	Maintenance & Repair
<i>Div. 3D.1.</i> Build-To	●	●	○	○	○	○	○	○	○
<i>Div. 3D.2.</i> Parking	●	●	○	●	○	○	○	○	○
<i>Div. 3D.3.</i> Landscaping	●	●	●	●	○	○	○	○	○
<i>Div. 3D.4.</i> Ground Floor Elevation	●	○	○	○	○	○	○	○	○
<i>Div. 3D.5.</i> Story Height	●	○	○	○	○	○	○	○	○
<i>Div. 3D.6.</i> Articulation	●	●	○	○	●	○	○	○	○
<i>Div. 3D.7.</i> Features	●	○	○	○	●	○	○	○	○
<i>Div. 3D.8.</i> Entrances	●	●	○	○	●	○	○	○	○
<i>Div. 3D.9.</i> Transparency	●	●	○	○	●	○	○	○	○
<i>Div. 3D.10.</i> Exterior Materials	●	●	○	○	●	○	○	○	○
<i>Div. 3D.11.</i> Roof Design	●	●	○	○	●	○	○	○	○

● = Rules generally apply to this project activity
 ○ = Rules are not applicable

- Project activities are defined in *Sec. 14.1.15. (Project Activities)*.
- Where a category of Frontage rules is listed as generally applicable in the tables above, and the applied *Frontage District (Part 3B)* provides specifications for a standard in that Frontage rule category, the project activity shall meet all applicable Frontage standards within that Division. This general applicability may be further specified for each standard in the applicability provisions in *Part 3C (General Frontage Rules)* and *Part 3D (Character Frontage Rules)*. Project applicability may also be modified by *Article 12. (Nonconformities)*. Where a category of Frontage rules is listed as not applicable in the table above, no standards from that Frontage rule category apply to the project activity.

C. Applicable Components of Lots, Buildings, and Structures

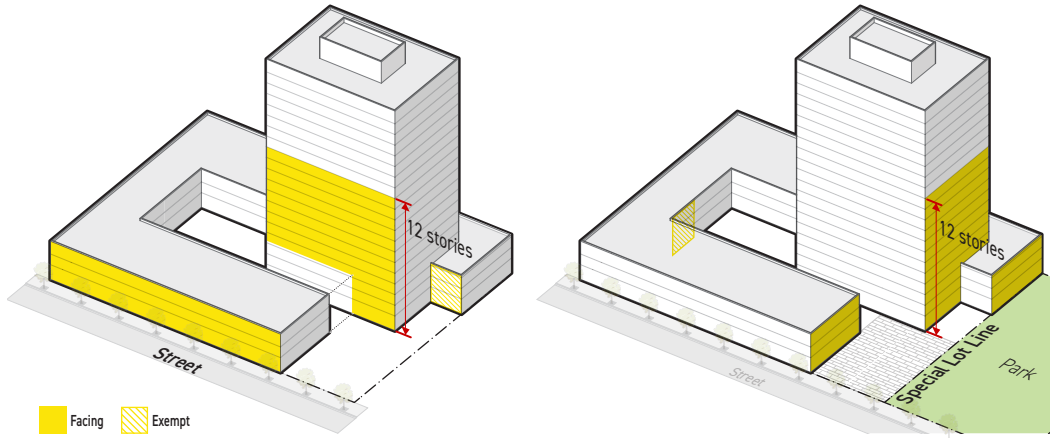
1. General

Frontage standards apply only to the applicable facades, applicable portions of a lot, and applicable building depth, as specified in the following examples in *Sec. 3A.2.2.C.2 (Frontage Applicable Facades)*. Specific Frontage District standards or rules may further limit which components of buildings and lots are required to comply with the standard within *Part 3C. (Frontage Rules)* and *Part 3D. (Character Frontage Rules)*.

2. Frontage Applicable Facades

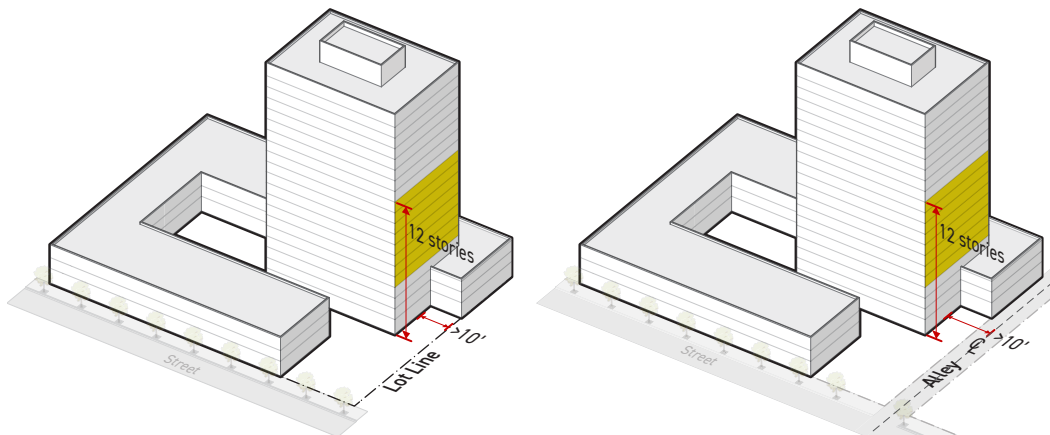
Frontage standards apply to the following facades up to the top of the 12th story:

a. Frontage Lot Line-Facing Facades



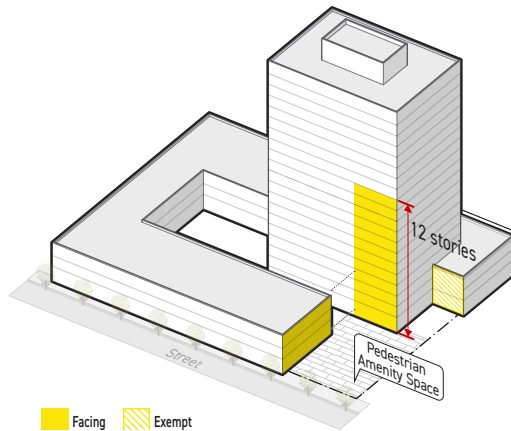
- i. Facades that face a frontage lot line, including *street-facing facades* (Sec. 14.1.6.D.), and when a *Dual Frontage District* (Div. 3B.8.) is applied, *special lot line-facing facades*.
- ii. These facades shall meet the standards specified by the applied *Frontage District* (Part 3B) for the frontage lot line that the facade faces (primary street lot line, side street lot line or special lot line).

b. Lot Line-Facing Facades (Non-Frontage Lot Line)



- i. *Lot line-facing facades* (Sec. 14.1.6.B.) that do not face a frontage lot line and are:
 - a) Located vertically above the top of the 4th story; and
 - b) Located 10 feet or more from a common lot line or centerline of an alley, measured horizontally.
- ii. Lot Line-Facing Facades (Non-Frontage Lot Line) facades shall meet the standards specified by the applied *Frontage District* (Part 3B) for the side street lot line.

c. Pedestrian Amenity Space-Facing Facades

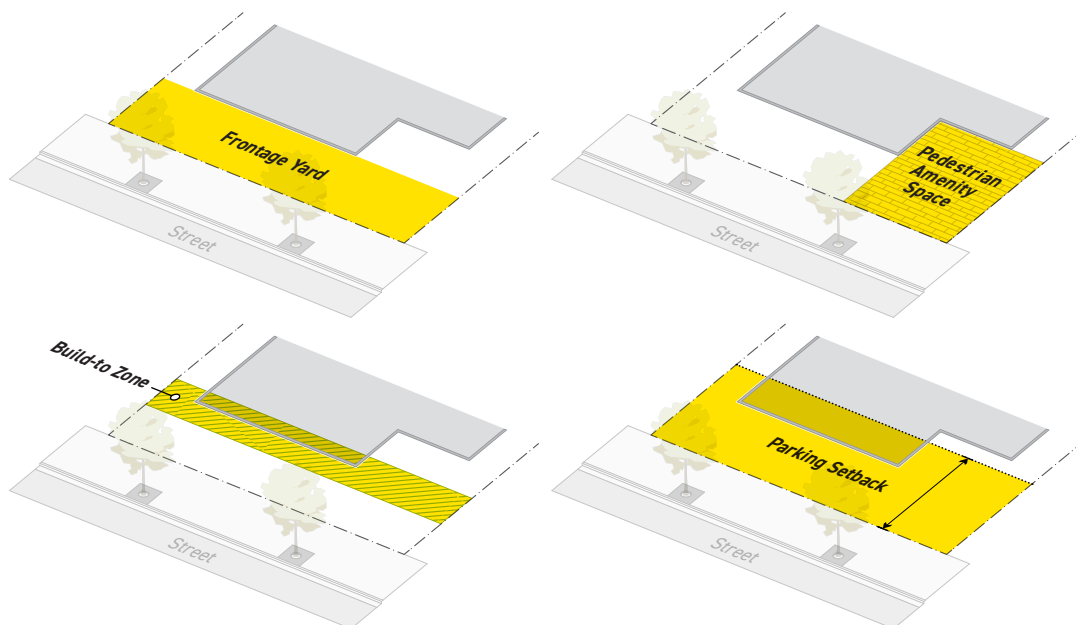


- i. Facades that face a pedestrian amenity space, see *Sec. 14.1.6.C. (Pedestrian Amenity Space-Facing Facades)*.
- ii. These facades shall meet the standards specified by the applied *Frontage District (Part 3B)* for the frontage lot line that the pedestrian amenity space abuts. Where the pedestrian amenity space abuts multiple frontage lot lines, the standards specified for the frontage lot line that abuts the pedestrian amenity space for the greatest length applies.

3. Frontage Applicable Portions of a Lot

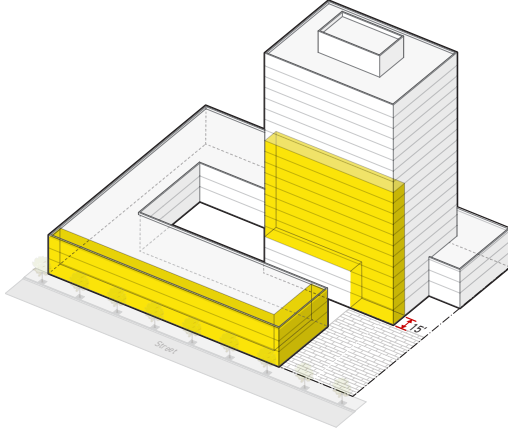
Frontage District standards apply to the following portions of a lot:

- a. Frontage yards, see *Sec. 14.1.16. (Yards)*;
- b. Pedestrian amenity spaces (*Sec. 2C.3.3.C*);
- c. Build-to zones; and
- d. *Parking setbacks (Sec. 3C.2.1)*.



4. Frontage Applicable Building Depth

Frontage District standards apply to portions of a building interior within 15 feet of a *frontage lot line-facing* (Sec. 3A.2.2.C.2.a.) or *pedestrian amenity space-facing* (Sec. 3A.2.2.C.2.c.) frontage applicable facade.



D. Nonconformity

Article 12. (Nonconformities) provides relief from the requirements of *Article 3. (Frontage)* for existing lots, site improvements, buildings and structures, and uses that conformed to the zoning regulations, if any, at the time they were established, but do not conform to current district standards or use permissions. No project activity may decrease conformance with any Frontage standard unless otherwise specified by *Division 12.3. (Frontage Exceptions)*. Consider the following examples:

1. Closing an existing window opening: Where the proposed facade modification reduces ground story transparency below the minimum required by the applied *Frontage District (Part 3B)*, the facade alteration is not allowed.
2. An addition or new detached structure to the side of a building: Where the applicable facades on the existing structure do not meet the Frontage District transparency standards, all applicable facades of the addition or new detached structure are required to meet the transparency standards, but no alteration of existing facades is required.

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DIV. 3B.1. **DRIVE FRONTAGES**

Drive Frontages control the location of vehicular access, require planted front yards, and provide flexible provisions for privacy through a combination of setbacks, frontage yard fences, and wall standards.

[Reserved]

DIV. 3B.2. **MULTI-UNIT FRONTAGES**

Multi-Unit Frontages require higher ground floor elevation, relatively low transparency, and frequent entrance spacing. This allows for greater privacy for tenants located on the ground story while retaining an interplay between the private and public realms. Frequent entrances activate the public realm with pedestrian activity and visual interest.

SEC. 3B.2.1. **MULTI-UNIT 1 (MU1)**

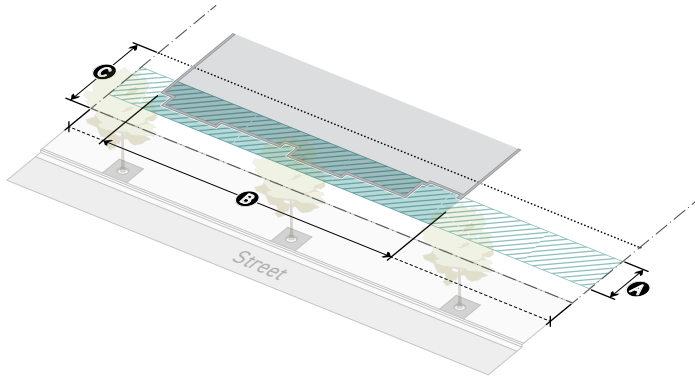
[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 3B.2.2. **MULTI-UNIT 2 (MU2)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

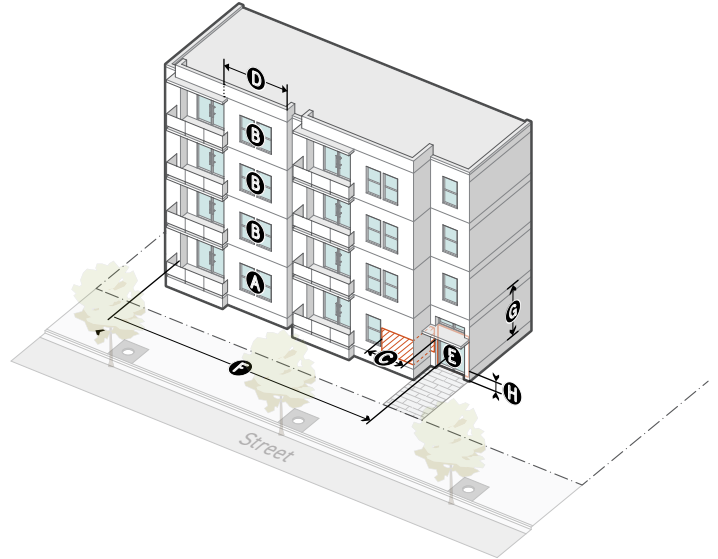
SEC. 3B.2.3. MULTI-UNIT 3 (MU3)

A. Lot



	Primary	Side
BUILD-TO	<i>Div. 3C.1.</i>	
Applicable stories (min)	1	1
A Build-to depth (max)	10'	15'
B Build-to width (min)	60%	40%
Pedestrian amenity allowance (max)	n/a	n/a
PARKING	<i>Div. 3C.2.</i>	
C Parking setback (min)	20'	5'
LANDSCAPING	<i>Div. 3C.3.</i>	
Frontage planting area (min)	30%	30%
Frontage yard fence & wall type allowed:	A3	A3

B. Facade



	Primary	Side
TRANSPARENCY	<i>Div. 3C.4.</i>	
Transparent area		
A Ground story (min)	30%	20%
B Upper stories (min)	20%	20%
C Active wall spacing (max)	20'	30'
ENTRANCES	<i>Div. 3C.5.</i>	
D Street-facing entrance	Required	n/a
E Entrance spacing (max)	50'	100'
Required entry feature	No	No
GROUND STORY	<i>Div. 3C.6.</i>	
F Ground story height (min)		
Residential	10'	10'
Nonresidential	12'	12'
G Ground floor elevation (min/max)		
Residential	-2'/5'	-2'/5'
Nonresidential	-2'/2'	-2'/2'

DIV. 3B.3. **GENERAL FRONTAGES**

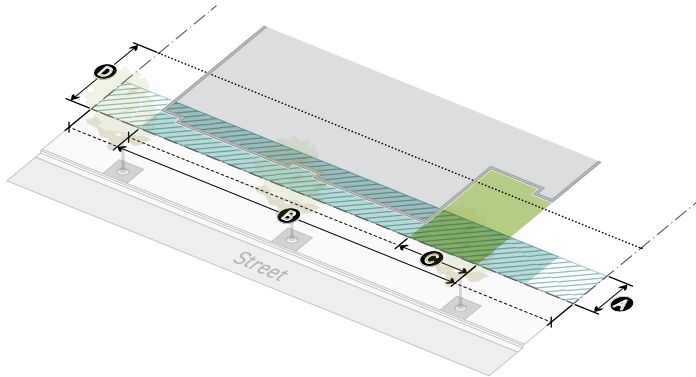
General Frontages require moderate to high build-to widths while allowing a wide range of modifications for pedestrian amenity spaces. These Frontage Districts have a moderate transparency requirement with flexible entrance spacing standards while ensuring a high-quality pedestrian environment and providing flexibility for a variety of ground story tenants.

SEC. 3B.3.1. **GENERAL 1 (G1)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

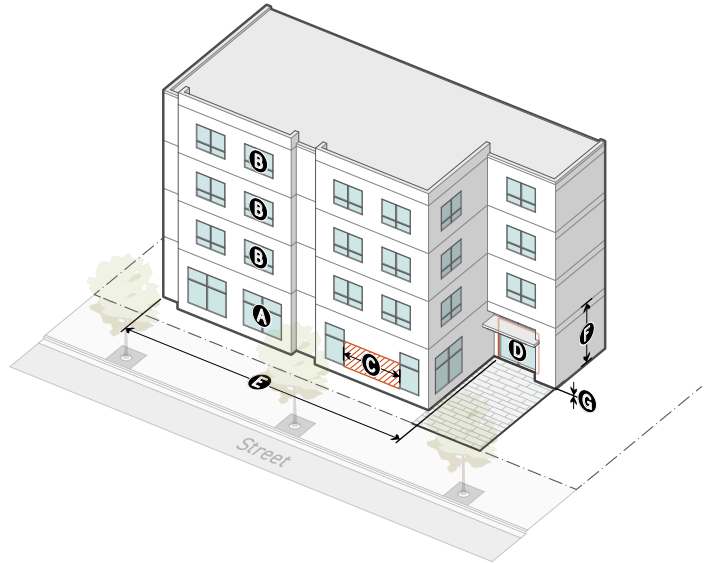
SEC. 3B.3.2. **GENERAL 2 (G2)**

A. Lot



	Primary	Side
BUILD-TO	<i>Div. 3C.1.</i>	
Applicable stories (min)	1	1
A Build-to depth (max)	10'	15'
B Build-to width (min)	70%	40%
C Pedestrian amenity allowance (max)	20%	5%
PARKING	<i>Div. 3C.2.</i>	
D Parking setback (min)	20'	5'
LANDSCAPING	<i>Div. 3C.3.</i>	
Frontage planting area (min)	30%	30%
Frontage yard fence & wall type allowed:	A2	A2

B. Facade



	Primary	Side
TRANSPARENCY	<i>Div. 3C.4.</i>	
Transparent area		
A Ground story (min)	40%	30%
B Upper stories (min)	20%	20%
C Active wall spacing (max)	20'	30'
ENTRANCES	<i>Div. 3C.5.</i>	
D Street-facing entrance	Required	n/a
E Entrance spacing (max)	50'	100'
Required entry feature	No	No
GROUND STORY	<i>Div. 3C.6.</i>	
F Ground story height (min)		
Residential	10'	10'
Nonresidential	12'	12'
G Ground floor elevation (min/max)		
Residential	-2'/5'	-2'/5'
Nonresidential	-2'/5'	-2'/5'

DIV. 3B.4. **SHOPFRONT FRONTAGES**

Shopfront Frontages require high build-to widths, high levels of transparency, frequent entrance spacing, and ground floor elevation at or near sidewalk grade. This promotes a legible street wall and activates the public realm with pedestrian activity and visual interest. The at-grade ground floor elevation allows for an increased connection between the interior uses and the pedestrian space.

SEC. 3B.4.1. **SHOPFRONT 1 (SH1)**

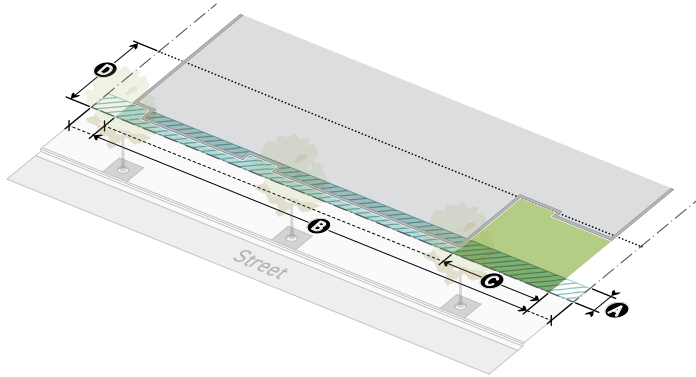
[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 3B.4.2. **SHOPFRONT 2 (SH2)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 3B.4.3. SHOPFRONT 3 (SH3)

A. Lot



	Primary	Side
BUILD-TO	<i>Div. 3C.1.</i>	
Applicable stories (min)	1	1
A Build-to depth (max)	5'	10'
B Build-to width (min)	90%	50%
C Pedestrian amenity allowance (max)	20%	0%
PARKING	<i>Div. 3C.2.</i>	
D Parking setback (min)	20'	5'
LANDSCAPING	<i>Div. 3C.3.</i>	
Frontage planting area (min)	30%	30%
Frontage yard fence & wall type allowed:	A2	A2

B. Facade



	Primary	Side
TRANSPARENCY	<i>Div. 3C.4.</i>	
Transparent area		
A Ground story (min)	60%	40%
B Upper stories (min)	20%	20%
C Active wall spacing (max)	15'	30'
ENTRANCES	<i>Div. 3C.5.</i>	
D Street-facing entrance	Required	Required
E Entrance spacing (max)	50'	75'
Required entry feature	No	No
GROUND STORY	<i>Div. 3C.6.</i>	
F Ground story height (min)		
Residential	14'	14'
Nonresidential	14'	14'
G Ground floor elevation (min/max)		
Residential	-2'/2'	-2'/2'
Nonresidential	-2'/2'	-2'/2'

DIV. 3B.5. **MARKET FRONTAGES**

Market Frontages require high build-to widths and frequent entrances integrated as market stalls and shopfront bays. These entry feature options, paired with frequent entry spacing, activates the public realm with pedestrian activity and visual interest in areas where market stalls are the dominant pattern.

SEC. 3B.5.1. **MARKET 1 (MK1)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 3B.6. **LARGE FORMAT FRONTAGES**

Large Format Frontages require moderate build-to widths and infrequent entrance spacing. These Frontage Districts are designed to accommodate large tenants and controlled access in a manner that promotes a walkable street edge.

[Reserved]

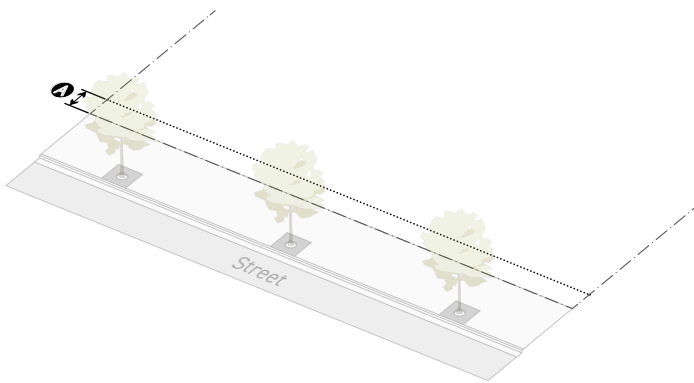
DIV. 3B.7. **WAREHOUSE FRONTAGES**

The Warehouse Frontages have few standards and allow for a high level of flexibility. These Frontage Districts are designed for freight service. Warehouse Frontages are intended for areas where pedestrian-friendly environments are not a priority.

SEC. 3B.7.1. WAREHOUSE 1 (WH1)

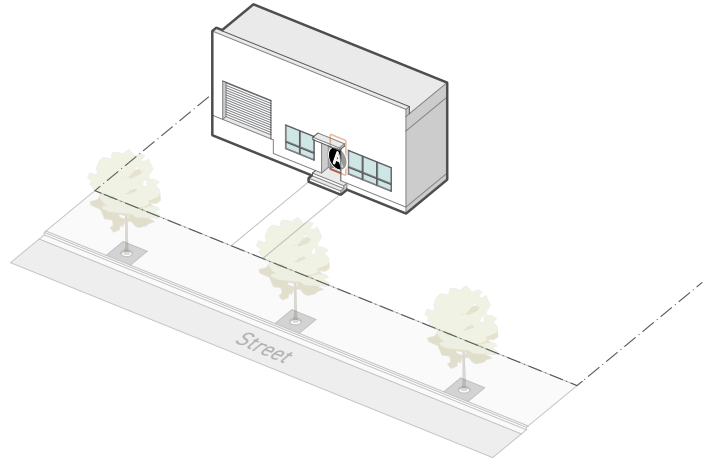
[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

A. Lot



	Primary	Side
BUILD-TO	<i>Div. 3C.1.</i>	
Applicable stories (min)	2	1
Build-to depth (min/max)	n/a	n/a
Build-to width (min)	n/a	n/a
Pedestrian amenity allowance (max)	n/a	n/a
PARKING	<i>Div. 3C.2.</i>	
A Parking setback (min)	5'	5'
LANDSCAPING	<i>Div. 3C.3.</i>	
Frontage planting area (min)	30%	30%
Frontage yard fence & wall type allowed:	A4	A4

B. Facade



	Primary	Side
TRANSPARENCY	<i>Div. 3C.4.</i>	
Transparent area		
Ground story (min)	n/a	n/a
Upper stories (min)	n/a	n/a
Active wall spacing (max)	n/a	n/a
ENTRANCES	<i>Div. 3C.5.</i>	
A Street-facing entrance	Required	n/a
Entrance spacing (max)	n/a	n/a
Required entry feature	No	No
GROUND STORY	<i>Div. 3C.6.</i>	
Ground story height (min)		
Residential	n/a	n/a
Nonresidential	n/a	n/a
Ground floor elevation (min/max)	n/a	n/a

DIV. 3B.8. **DUAL FRONTAGES**

The Dual Frontages are required to address primary, side, and special frontage lot lines. This allows for activation of the frontage lot line with increased standards.

SEC. 3B.8.1. **ALLEY MARKET (AL1)**

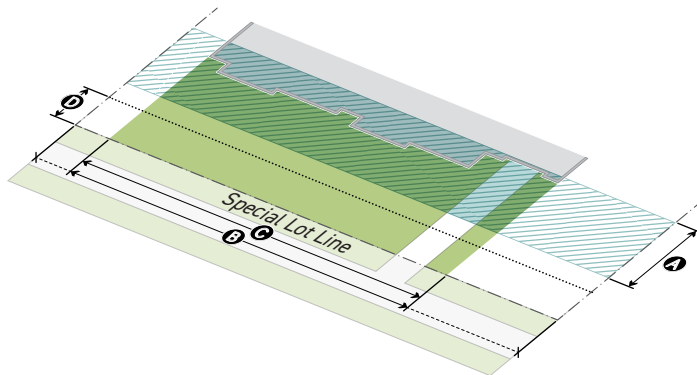
[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 3B.8.2. **ALLEY SHOPFRONT (AL2)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

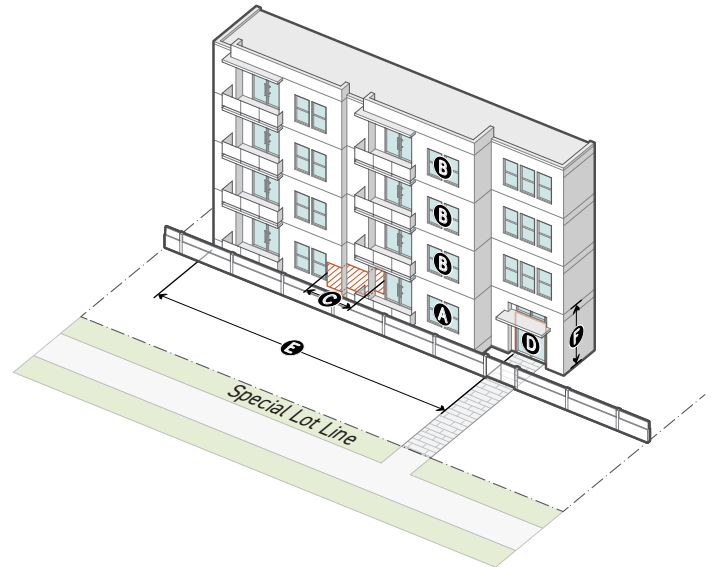
SEC. 3B.8.3. GREENWAY 1 (GW1)

A. Lot



	Special	Primary	Side
BUILD-TO	<i>Div. 3C.1.</i>		
Applicable stories (min)	1	1	1
A Build-to depth (max)	25'	25'	25'
B Build-to width (min)	70%	70%	40%
C Pedestrian amenity allowance (max)	100%	20%	5%
PARKING	<i>Div. 3C.2.</i>		
D Setback (min)	10'	5'	5'
LANDSCAPING	<i>Div. 3C.3.</i>		
Frontage planting area (min)	75%	30%	30%
Frontage yard fence & wall type allowed:	A3	A3	A4

B. Facade



	Special	Primary	Side
TRANSPARENCY	<i>Div. 3C.4.</i>		
Transparent area			
A Ground story (min)	20%	40%	20%
B Upper stories (min)	20%	20%	20%
C Active wall spacing (max)	30'	20'	30'
ENTRANCES	<i>Div. 3C.5.</i>		
D Street-facing entrance	Required	Required	Required
E Entrance spacing (max)	75'	75'	100'
Entry feature	n/a	n/a	n/a
GROUND STORY	<i>Div. 3C.6.</i>		
F Ground story height	14'	14'	14'
Ground floor elevation (min/max)	-2'/5'	-2'/5'	-2'/5'

DIV. 3B.9. **CHARACTER FRONTAGES**

Character Frontages provide standards for facade articulation, entry features, window design, siding materials, and roof form, in order to reinforce the prevailing architectural characteristics of the city's historically and culturally significant neighborhoods and districts.

SEC. 3B.9.1. **HISTORIC CORE (CHC1)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 3B.9.2. **DAYLIGHT FACTORY (CDF1)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 3B.9.3. **DAYLIGHT FACTORY / RIVER (CDR1)**

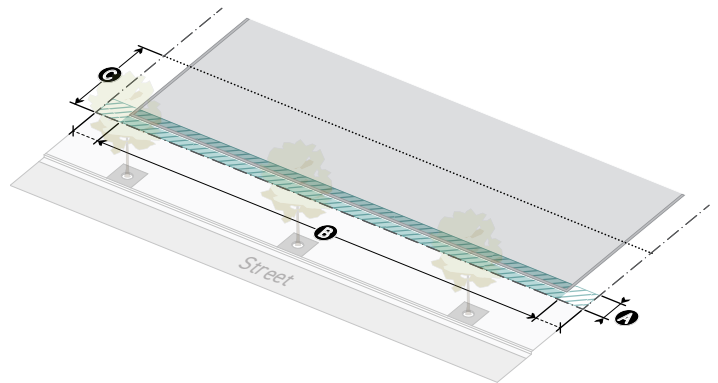
[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 3B.9.4. **CHARACTER COMMERCIAL (CC1)**

A. Intent

The Character Commercial 1 Frontage provides standards intended to reinforce the prevailing architectural characteristics of streetcar oriented commercial districts established during the late 19th and early 20th centuries. Such districts are characterized by one and two story brick buildings containing rows of small storefronts that were originally built to serve some of the city’s earliest neighborhoods. Key features include the decorative application of brick, shopfront and roofline cornices, recessed entrances, and large shopfront windows. Buildings that retain the qualities of early commercial districts adhere to a well-defined street wall with high ground floor activation. By providing a set of targeted design standards that regulate these key features the Character Commercial 1 Frontage ensures that new development contributes to the established architectural character of the city’s earliest commercial districts.

B. Lot



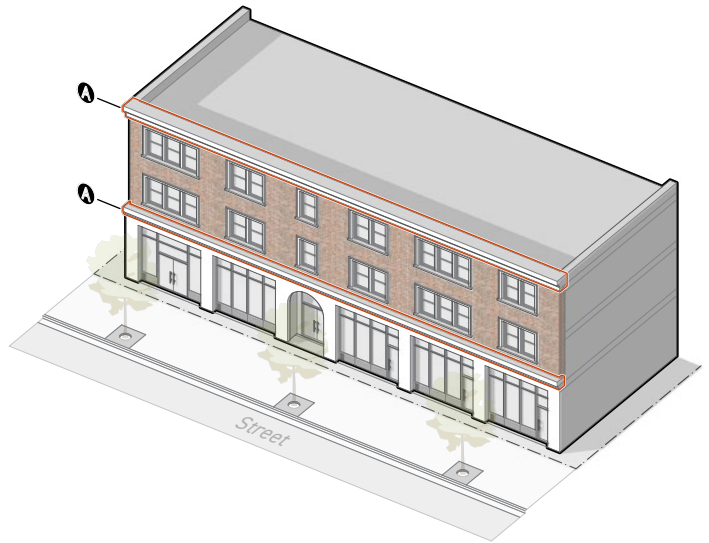
	Primary	Side
BUILD-TO	<i>Div. 3D.1.</i>	
Applicable stories (min)	2	2
A Build-to depth (max)	5'	10'
B Build-to width (min)	90%	70%
Pedestrian amenity allowance (max)	15%	10%
PARKING	<i>Div. 3D.2.</i>	
C Parking setback (min)	20'	5'
LANDSCAPING	<i>Div. 3D.3.</i>	
Frontage planting area (min)	0%	0%
Frontage yard fence & wall type allowed:	A1	A1

C. Stories



	Primary	Side
GROUND FLOOR ELEVATION	<i>Div. 3D.4.</i>	
A Ground floor elevation (min/max)	-2'2'	-2'2'
STORY HEIGHT	<i>Div. 3D.5.</i>	
B Ground story height (min)	14'	14'

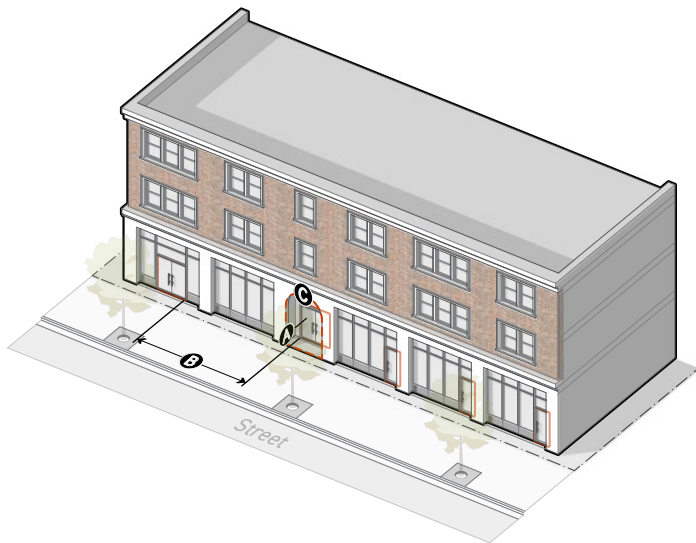
D. Facade



	Primary	Side
ARTICULATION	<i>Div. 3D.6.</i>	
A Base-top*	Required	Required

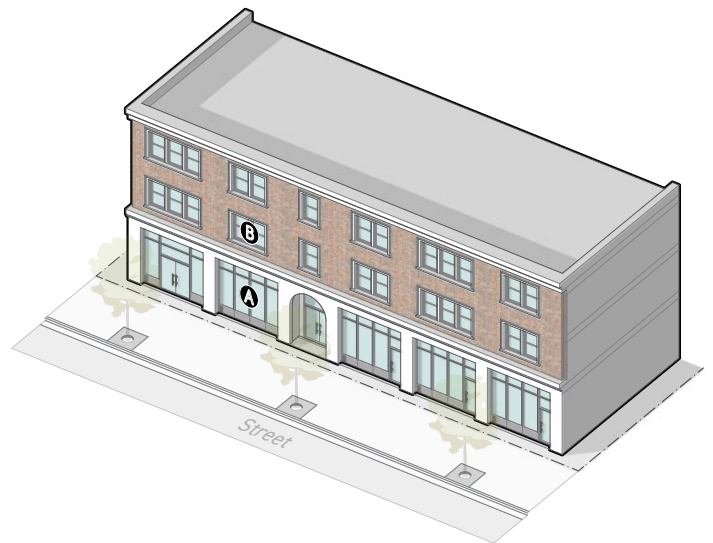
* Applicable for first 2 stories

E. Doors



	Primary	Side
ENTRANCES	<i>Div. 3D.8.</i>	
A Street-facing entrance	Required	Required
B Entrance spacing (max)	50'	50'
Entry feature	Required	Required
Options	<ul style="list-style-type: none"> • Recessed entry • Covered entry • Storefront bay 	
C Focal entry feature	1	0

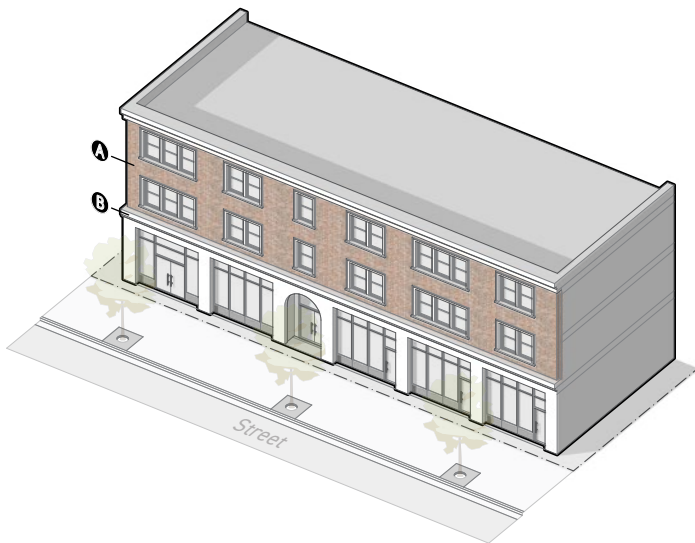
F. Windows



	Primary	Side
TRANSPARENCY	<i>Div. 3D.9.</i>	
A Ground story (min/max)	50%/70%	50%/70%
Active wall spacing (max)	20'	30'
Window recession (min)	6"	6"
Bulkhead	Required	Required
B Upper stories (min/max*)	30%/60%	30%/60%
Window recession (min)	3"	3"

* Applicable for first 2 stories

G. Cladding



H. Roof



EXTERIOR MATERIALS		Div. 3D.10.
A Principal material coverage (min) *		70%
Exterior material options		<ul style="list-style-type: none"> • Brickwork • Stonework • Glazed tile • Concrete
B Accessory material coverage (max) *		30%
Exterior material options		<ul style="list-style-type: none"> • Brickwork • Stonework • Concrete • Metal • Wood • Glazed tile
Number of accessory materials (max)		2

ROOF DESIGN		Div. 3D.11.
A Roof form (options)		<ul style="list-style-type: none"> • Flat

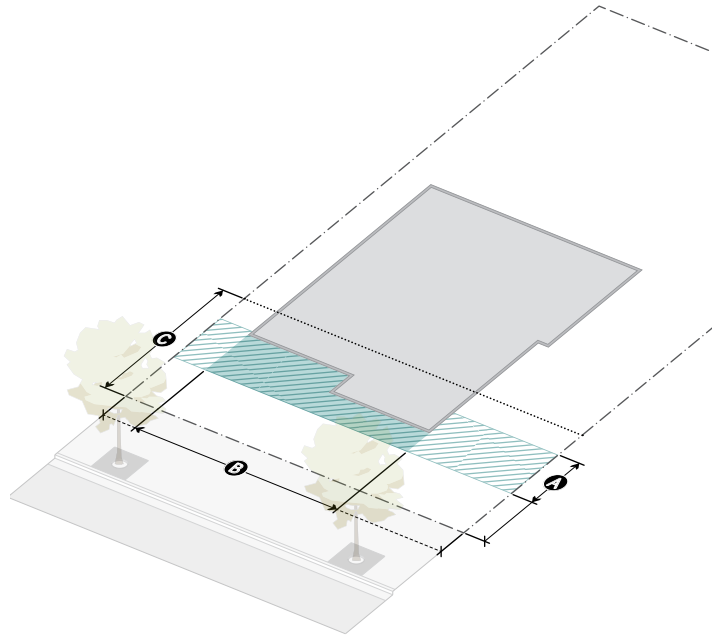
* Applicable for first 2 stories

SEC. 3B.9.5. CHARACTER RESIDENTIAL 1 (CR1)

A. Intent

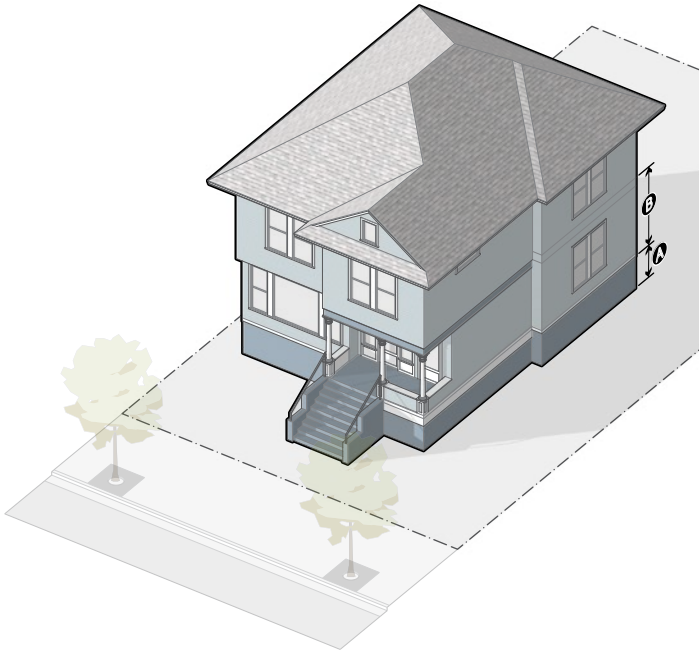
The Character Residential 1 Frontage provides standards intended to reinforce the prevailing architectural characteristics of the city’s residential neighborhoods established throughout the late 19th and early 20th centuries. Such neighborhoods are characterized by an eclectic mix of residential architecture, including Late-Victorian, Queen Anne, and Craftsman architectural styles. Together these styles share some unifying characteristics, such as building forms articulated by a prominent pitched roof or series of pitched roofs, entries featuring a covered front porch, and textured exterior wall surfaces of lap or shingle siding. Other common neighborhood characteristics include homes setback behind a front yard and parking areas hidden from view behind the main building. By providing a set of targeted design standards that regulate these key features the Character Residential 1 Frontage ensures that new development contributes to the established architectural character of the city’s earliest residential neighborhoods.

B. Lot



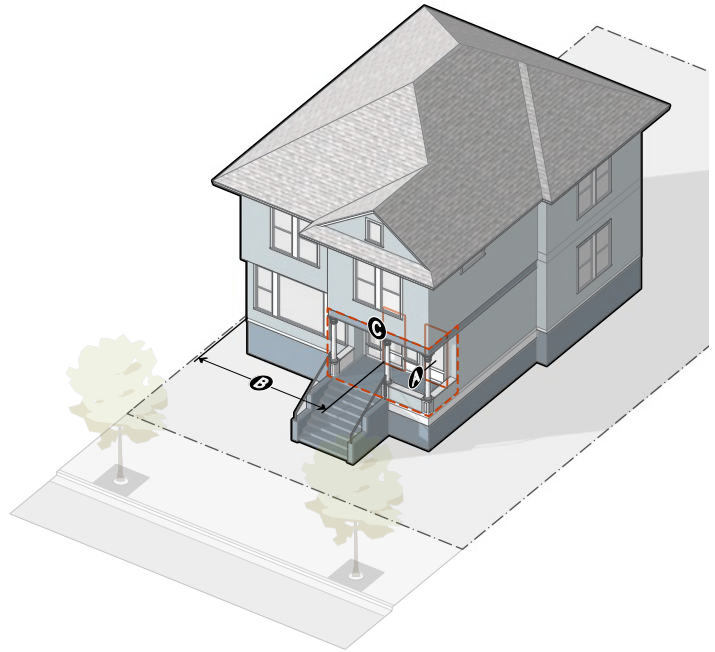
	Primary	Side
BUILD-TO	<i>Div. 3D.1.</i>	
Applicable stories (min)	3	3
A Build-to depth (max)	10'	15'
B Build-to width (min)	50%	40%
Pedestrian amenity allowance (max)	n/a	n/a
PARKING	<i>Div. 3D.2.</i>	
C Parking setback (min)	20'	5'
LANDSCAPING	<i>Div. 3D.3.</i>	
Frontage planting area (min)	30%	30%
Frontage yard fence & wall type allowed:	A2	A2

C. Stories



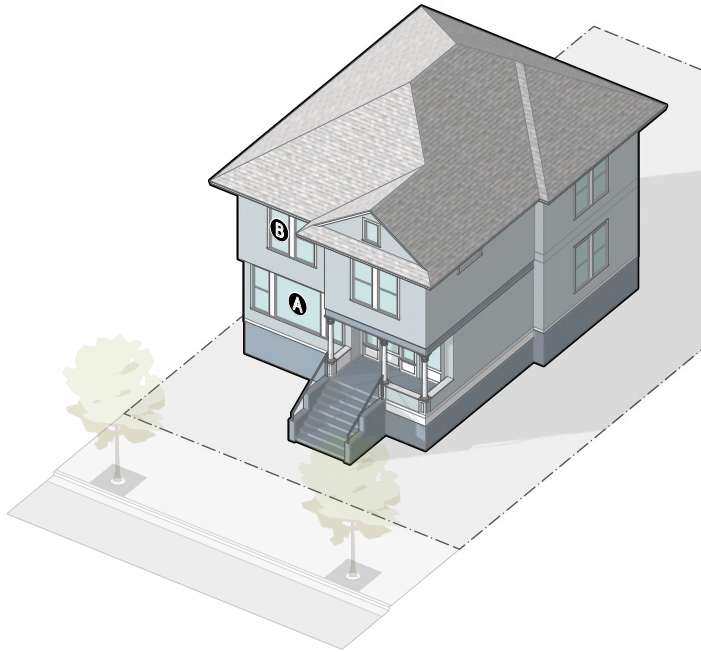
	Primary	Side
GROUND FLOOR ELEVATION	<i>Div. 3D.4.</i>	
A Ground floor elevation (min/max)	1.5'/5'	1.5'/5'
STORY HEIGHT	<i>Div. 3D.5.</i>	
B Ground story height (min)	n/a	n/a

D. Doors



	Primary	Side
ENTRANCES	<i>Div. 3D.8.</i>	
A Street-facing entrance	Required	n/a
B Entrance spacing (max)	50'	50'
Entry feature	Required	n/a
Options	• Porch	
C Focal entry feature	n/a	n/a

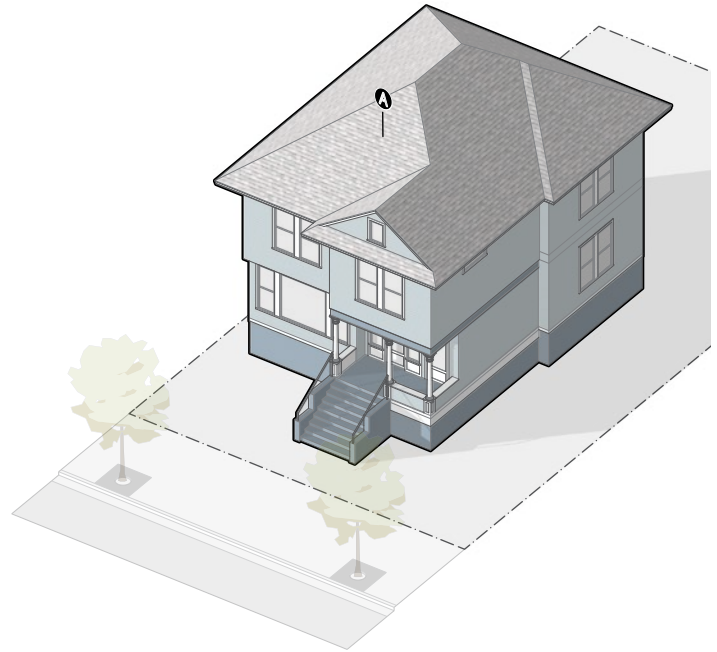
E. Windows



	Primary	Side
TRANSPARENCY	<i>Div. 3D.9.</i>	
A Ground story (min/max)	10%/35%	7%/35%
Active wall spacing (max)	10'	15'
Window recession (min)	1"	1"
B Upper stories (min/max) *	10%/35%	7%/35%
Window recession (min)	1"	1"

* Applicable for first 3 stories

F. Roof



ROOF DESIGN	<i>Div. 3D.11.</i>
A Roof form (options)	• Pitched
Overhang (min)	10"

PART 3C. GENERAL FRONTAGE RULES

Div. 3C.1. Build-To	3-40
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Sec. 3C.1.2. Build-to Depth	3-40
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DIV. 3C.1. **BUILD-TO**

[Portions of this Division displayed in grayed out text are being introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU. Black text (not grayed out) is being introduced with the Boyle Heights Community Plan.]

SEC. 3C.1.1. **APPLICABLE STORIES**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 3C.1.2. **BUILD-TO DEPTH**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 3C.1.3. **BUILD-TO WIDTH**

The cumulative building width that shall occupy the build-to zone, relative to the width of the lot at the frontage lot line.

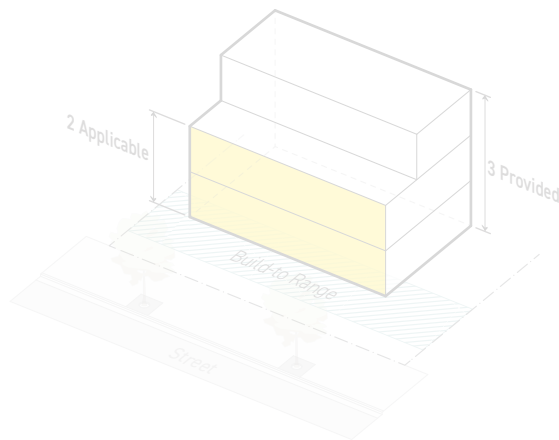
A. **Intent**

To ensure that buildings enclose the public realm with a legible and consistent street wall, spatially defining an outdoor room, and promoting a strong visual and physical connection between uses inside buildings and the public realm.

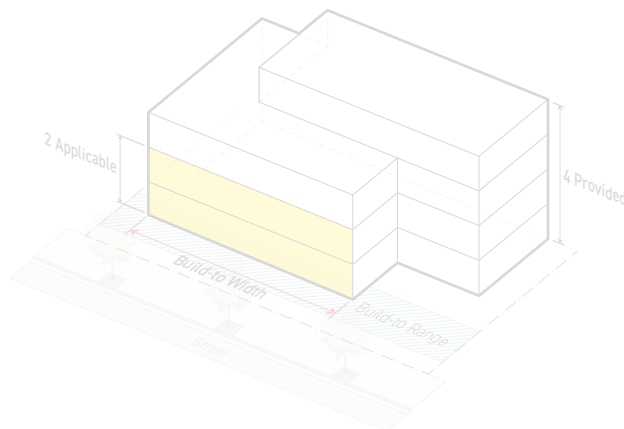
B. **Applicability**

Build-to width standards apply to the following:

1. Where a minimum height is specified in the applied *Form District (Part 2B)*, build-to width applies to all above-grade stories up to the minimum height in stories standard in accordance with Sec. 2C.4.3. (Height in Stories).



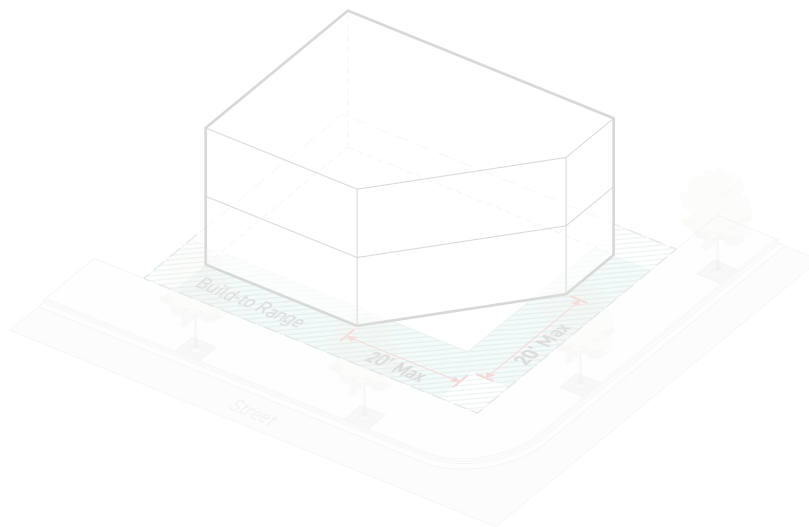
2. Where an applicable stories standard exists, build-to width applies to all stories located above-grade up to the applicable stories.



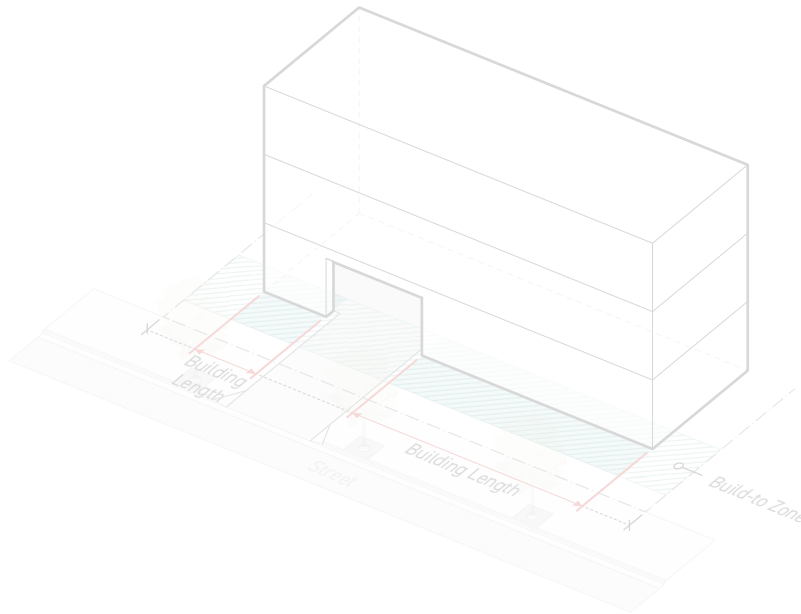
3. Where both an applicable stories standard and a minimum height are specified, build-to width applies to whichever standard requires the greatest number of stories located in the build-to zone.
4. Where no applicable stories standard is specified in the applied *Frontage District (Part 3B)* and no minimum height standard is specified in the applied *Form District (Part 2B)*, build-to width applies only to the ground story.

C. Standards

1. Buildings shall occupy the build-to zone for a cumulative width no less than that specified by the applied *Frontage District (Part 3B)*.
2. When build-to width is specified as "building-based", the build-to zone shall be occupied by buildings for no less than 50% of the width of the building having the greatest total floor area on the lot.
3. On a corner lot, a chamfered corner no more than 20 feet in width along both street lot lines qualifies as building width in the build-to zone for all applicable stories even where it extends outside of the build-to zone. Chamfered corner width is measured parallel to the frontage lot line.

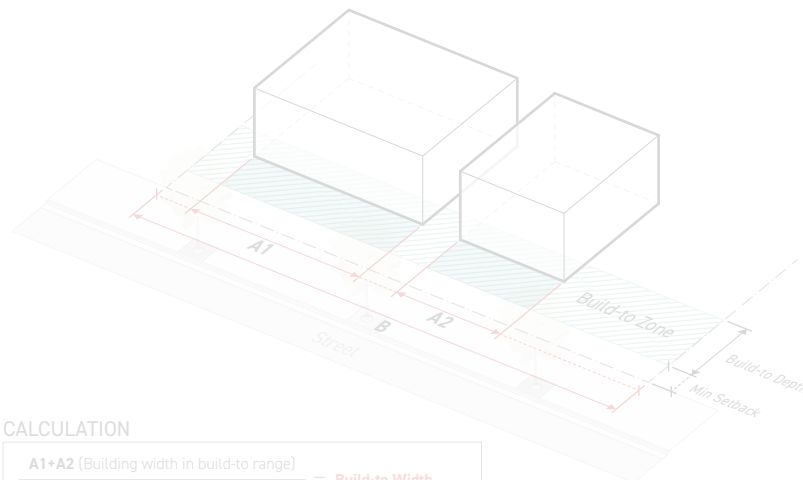


4. Portions of building width providing motor vehicle access to a motor vehicle use area through the ground story of a building do not qualify as building width in the build-to zone.



D. Measurement

The build-to width is a percentage measured as the sum of the widths of all portions of buildings occupying the build-to zone divided by the total lot width.



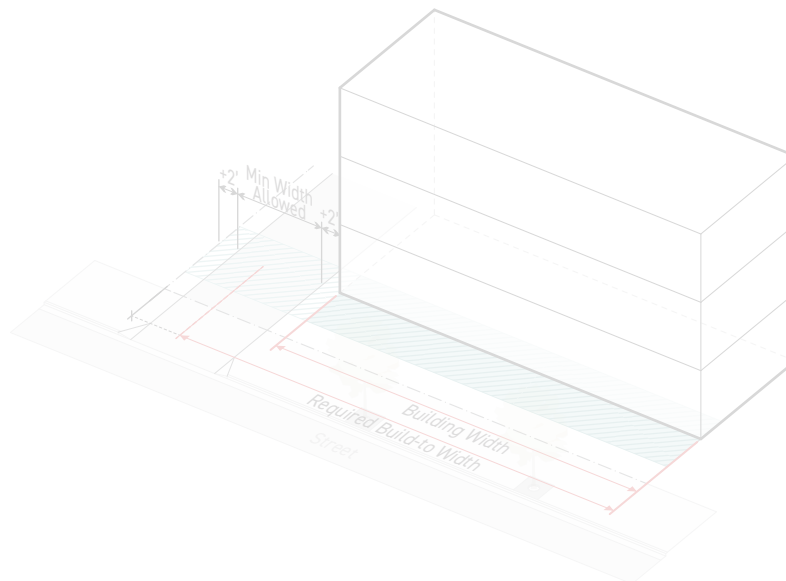
CALCULATION

$$\frac{A1 + A2 \text{ (Building width in build-to range)}}{B \text{ (Total Lot Width)}} = \text{Build-to Width}$$

1. Building width is measured parallel to the frontage lot line. For measuring building width on a complex lot, see Sec. 14.1.14. (Parallel or Perpendicular to Irregular Lot Line).
2. Lot width is measured along the frontage lot line. For measuring width of a complex lot, see Sec. 14.1.14. (Parallel or Perpendicular to Irregular Lot Line).

E. Exceptions

1. Outdoor amenity spaces meeting the design standards for *pedestrian amenity space* (Sec. 2C.3.3.C.2) count toward required minimum build-to width in accordance with Sec. 3C.1.4. (*Pedestrian Amenity Allowance*).
2. A building break that includes an open space meeting the design standards for pedestrian amenity space in Sec. 2C.3.3.C.2 (*Pedestrian Amenity Space*) counts toward the minimum build-to width required by the applied *Frontage District (Part 3B)* according to Sec. 3C.1.4. (*Pedestrian Amenity Allowance*).
3. Where vehicle access is permitted to be taken through the frontage lot line based on the vehicle access package in Sec. 4C.2.1. (*Automobile Access Packages*) specified by the applied *Development Standards District (Part 4B)* and providing access prevents a building from achieving the required build-to width, a reduced build-to width may be allowed, provided the portion of the lot in the build-to zone used for vehicle access is no wider than the minimum required drive aisle width plus an additional 4 feet of width for clearance. See Div. 4C.2. (*Automobile Access*).



F. Relief

1. Up to a 10% reduction to the total required width of building occupying the build-to zone may be requested in accordance with Sec. 13B.5.2. (*Adjustment*).
2. A reduced minimum build-to width may be requested as a variance in accordance with Sec. 13B.5.3. (*Variance*).

SEC. 3C.1.4. **BUILD-TO WIDTH**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 3C.1.5. **PEDESTRIAN AMENITY ALLOWANCE**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 3C.2. **PARKING**

SEC. 3C.2.1. **PARKING SETBACK**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 3C.2.2. **PARKING BETWEEN BUILDING & STREET**

The location of motor vehicle use areas between a building and the public realm.

A. **Intent**

To control the impact of motor vehicle-dominated areas on the pedestrian experience especially where buildings do not line the majority of the public realm, and to promote a comfortable, safe, engaging, and attractive streetscape, with pedestrian access to active uses and landscaping between the public realm and street-oriented buildings.

B. **Applicability**

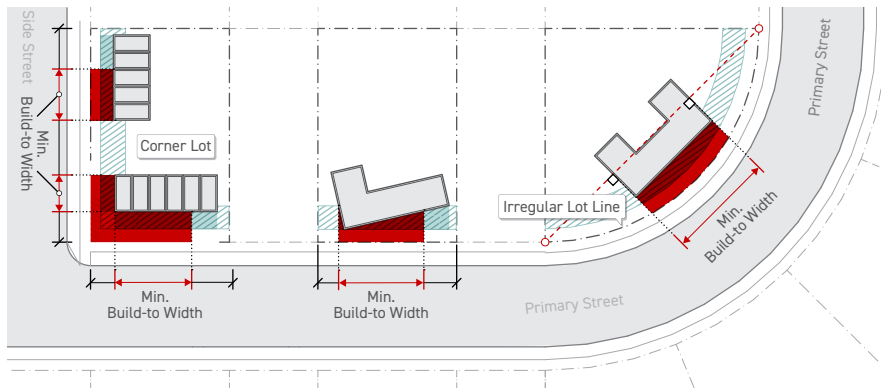
Where specified by the applied *frontage district (Part 3B)*, parking between the building and the street requirements apply to *frontage yards* and *frontage applicable building depth (Sec. 3A.2.2.C.4)* on the ground story.

C. **Standards**

1. Where the applied *frontage district (Part 3B)* specifies "No":
 - a. No motor vehicle use area may be located between a building that occupies the build-to zone and the frontage lot line, for the portion of the building width provided to comply with a build-to width requirement.
 - b. No motor vehicle use area may be located on the ground story of a building or structure within the frontage applicable building depth for the portion of the building width provided to comply with a build-to width requirement.
2. Where the applied *frontage district (Part 3B)* specifies "Yes", no additional limitations to the location of motor vehicle use areas are required to comply with parking between the building and street standards.

D. Measurement

1. The area between a building width and the street is determined as the entire area on a lot bordered by the applicable *street-facing facade* (Sec. 14.1.6.D.) and *frontage lot line*, for the applicable building width. For corner lots, the area between the building and the street also includes the portion of the lot beyond the width of the building nearest to the intersection, up to the intersecting street lot line.



2. For measuring building width see Sec. 2C.6.1.D.
3. For frontage lot line-facing, see Sec. 14.1.6. (Facing).
4. For *street-facing facade*, see Sec. 14.1.6.D.(Street-Facing Facade).

E. Exceptions

A driveway located between a street-facing building facade and the frontage lot line may be allowed provided all of the following conditions are met:

1. The *automobile access package* (Sec. 4C.2.1) specified by the applied *Development Standards District (Part 4B)* allows automobile access to be taken through the frontage lot line associated with a parking setback; and
2. The *driveway* is no wider than the minimum allowed width. See Div. 4C.2. (Automobile Access).

F. Relief

1. A reduction in the width of the area of the lot or building depth required to comply with parking between building and street standards of 15% or less may be requested in accordance with Sec. 13B.5.2. (Adjustment).
2. Modifications to parking between building and street standards may be requested as a variance in accordance with Sec. 13B.5.3. (Variance).

DIV. 3C.3. **LANDSCAPING**

[Portions of this Division displayed in grayed out text are being introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU. Black text (not grayed out) is being introduced with the Boyle Heights Community Plan.]

SEC. 3C.3.1. **FRONTAGE PLANTING AREA**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 3C.3.2. **FRONTAGE YARD FENCE & WALL**

Fences, walls, and hedges allowed in a frontage yard.

A. **Intent**

To balance the needs for human-scale activation and visual interest along the public realm, and to provide security and privacy for private ground story uses in a manner appropriate to context.

B. **Applicability**

All fences, walls or hedges located in a frontage yard. For retaining walls see *Sec. 4C.9.2. (Retaining Walls)*.

C. **Standards**

1. **General**

- a. Allowed *frontage yard fence and wall types (Sec. 3C.3.C.2.)* are hierarchical. Where a frontage yard fence and wall type with a higher number designator is allowed by the applied *Frontage District (Part 3B)*, all frontage yard fence and wall types having a lower number designator are also allowed. For example, if a Type A2 is allowed a Type A1 is also allowed.
- b. No frontage yard fence and wall type with a greater number designator than the allowed frontage yard fence and wall type may be located in the frontage yard. For example, if an A3 is allowed, an A4 is not allowed.
- c. Where a required *frontage screen (Sec. 4C.8.1.)* includes a wall or fence, the required fence or wall may only be located in the frontage yard if the wall or fence complies with the allowed frontage yard fence and wall standards specified by the applied *Frontage District (Part 3B)*.
- d. All fences and walls including their sub-grade elements, such as footings or foundation, shall be located on-site.
- e. All fences and walls provided shall include the necessary gates or openings to comply with the applicable pedestrian access package standards in *Sec. 4C.1.1. (Pedestrian Access Packages)*.

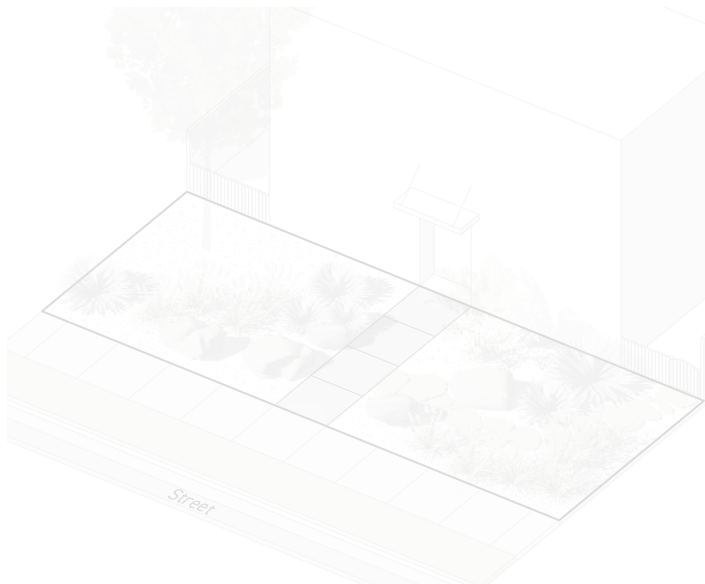
- f. Pools, ponds, and other bodies of water requiring protecting barriers according to *Sec. 91.6109 (Swimming Pools and Other Bodies of Water - Protective Devices Required) of Chapter 9 (Building Regulations) of the LAMC*, are only allowed in a frontage yard where the required protective barrier can be designed to conform with the Frontage fence & wall standards specified by the applied *Frontage District (Part 3B)*.
- g. All fences and walls provided shall comply with *Sec. 4C.7.3. (Fence/Wall Design and Installation)*.
- h. All hedges provided shall comply with *Sec. 4C.6.4 (Plant Design & Installation)*.
- i. Fences and walls provided within the frontage yard shall not include barbed or concertina wire.

2. Frontage Yard Fence & Wall Types

A package of standards, specified by the applied Frontage District (Part 3B), that applies to fences, walls, and hedges located in a frontage yard.

a. Type A1

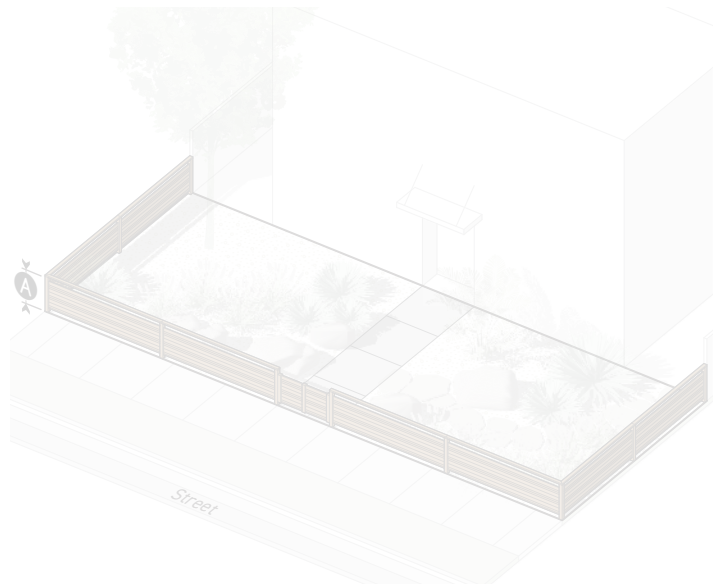
Intended for frontage yards where buildings should engage directly with the public realm to provide visual interest and activation, especially where ground story uses are commercial or non-fenced frontage yards are predominant.



DIMENSIONAL STANDARDS	Sec. 3.C.3.2.D.
Hedge height (max)	Not Allowed
Fence/wall height (max)	Not Allowed

b. Type A2

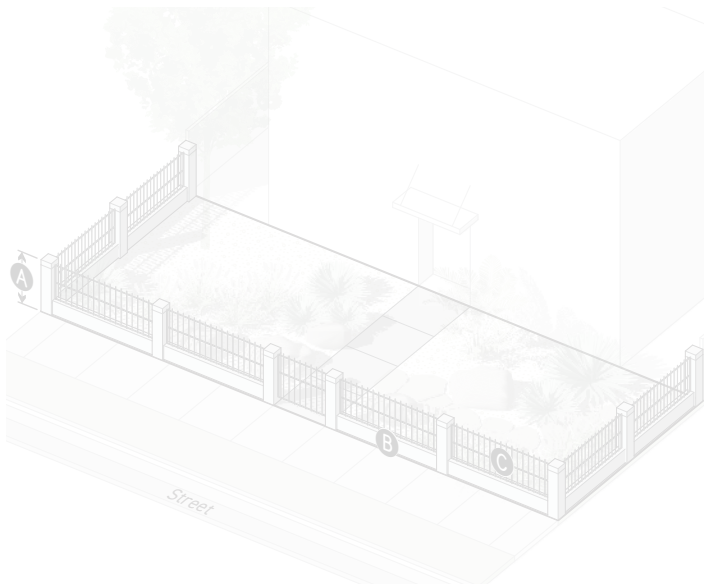
Intended for frontage yards where the need for visual interest and activation along the public realm shall be balanced with the need for separation between private ground story uses and the public realm.



DIMENSIONAL STANDARDS	Sec. 3.C.3.2.D.
Hedge height (max)	3.5'
Fence/wall height (max)	3.5'

c. Type A3

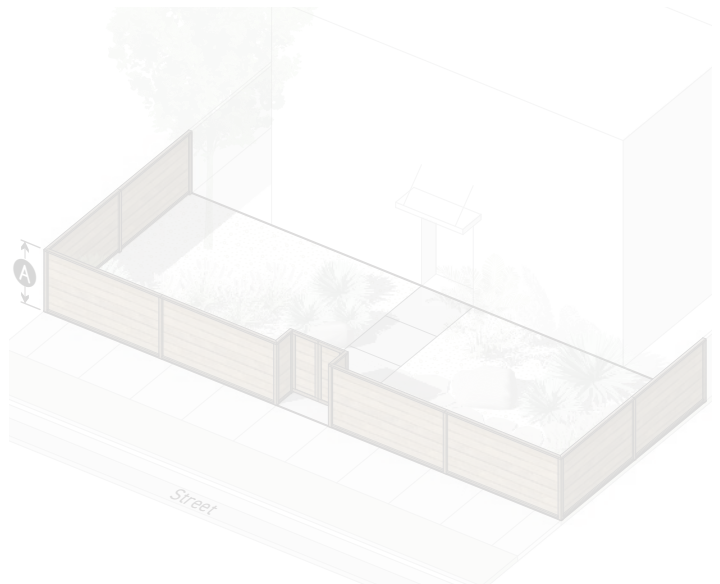
Intended for frontage yards where the need for visual interest and activation along the public realm shall be balanced with the need for security between private ground story uses and the public realm.



DIMENSIONAL STANDARDS		Sec. 3.C.3.2.D.
Hedge height (max)		3.5'
Fence/wall		
A	Height (max)	6'
B	Opacity below 3.5' in height (max)	100%
C	Opacity 3.5' and above in height (max)	50%

d. Type A4

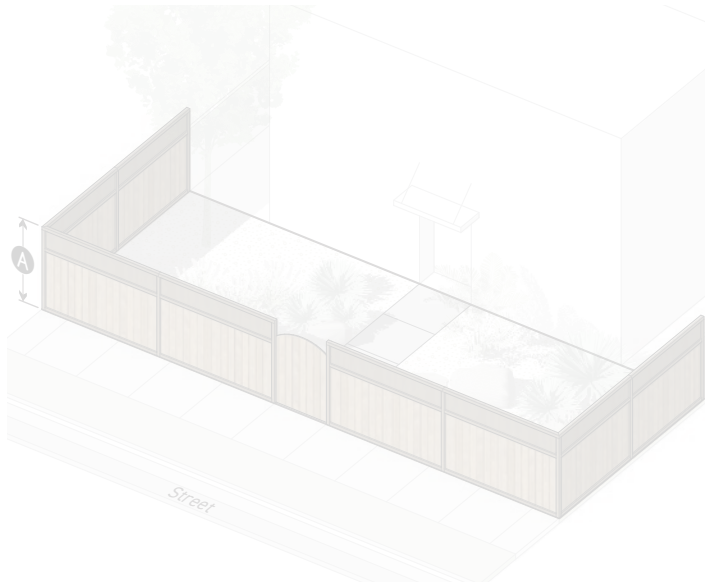
Intended for frontage yards in areas with high pedestrian and automobile traffic, where visual interest and activation along the public realm is less critical than the need to mitigate impacts from the public realm on private ground story uses.



DIMENSIONAL STANDARDS		Sec. 3.C.3.2.D.
Hedge height (max)		6'
A	Fence/wall height (max)	6'

e. Type A5

Intended for frontage yards in areas with high pedestrian and automobile traffic, where visual interest and activation along the public realm is less critical than the need to mitigate intrusions from the public realm on private ground story uses.



DIMENSIONAL STANDARDS	Sec. 3.C.3.2.D.
Hedge height (max)	8'
Fence/wall height (max)	8'

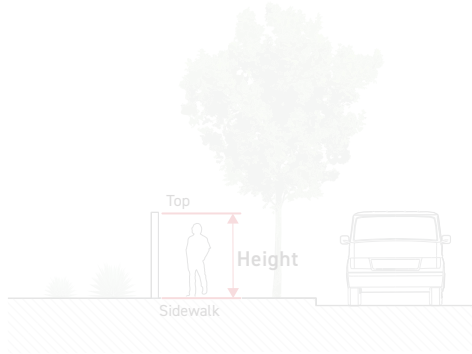
D. Measurement

1. Frontage yard

For frontage yard designation see *Sec. 14.1.16. (Yards)*.

2. Fence & Wall Height

- a. Where a public sidewalk is located within 5 feet of a wall or fence, height is measured vertically from the topmost point of the wall or fence to the adjacent public sidewalk.



- b. Where no sidewalk exists within 5 feet of a wall or fence, height is measured vertically from the topmost point of the wall or fence to the finished grade at the base of the wall or fence on the side that faces outward from the lot.
- c. For the measurement of retaining walls see *Sec. 4C.9.2. (Retaining Walls)*.

3. Hedge Height

Hedge height is measured according to *Sec. 4C.6.5.D.11 (Height at Maturity)*.

4. Opacity

For measurement of opacity, see *Sec. 14.1.13. (Opacity %)*.

E. Exceptions

Fences and walls located in a frontage yard may integrate outdoor lighting, entry arbors, and other accessory encroaching elements that exceed the maximum fence/wall height specified by the applicable frontage yard fence and wall type, provided the following:

1. The cumulative length of fence or wall that includes encroaching elements is no more than 10% of the total fence length located in the frontage yard.
2. No individual encroaching element may be wider than 6 feet, measured along the length of the fence or wall.
3. One encroaching element for each 40 feet of fence length may exceed the maximum fence and wall height by up to 40 inches. All other encroaching elements shall only exceed the maximum fence and wall height up to 18 inches.

F. Relief

1. A deviation from any allowed frontage yard fence and wall type dimensional standard of 15% or less may be requested in accordance with *Sec. 13B.5.2. (Adjustments)*.
2. A deviation from any allowed frontage yard fence and wall type standard may be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*.

DIV. 3C.4. **TRANSPARENCY**

SEC. 3C.4.1. **TRANSPARENT AREA**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 3C.4.2. **ACTIVE WALL SPACING**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 3C.5. **ENTRANCES**

SEC. 3C.5.1. **STREET-FACING ENTRANCE**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 3C.5.2. **ENTRY FEATURE**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 3C.6. **GROUND STORY**

SEC. 3C.6.1. **GROUND STORY HEIGHT**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 3C.6.2. **GROUND FLOOR ELEVATION**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

PART 3D. CHARACTER FRONTAGE RULES

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DIV. 3D.1. **BUILD-TO**

See Div. 3C.1. (Build-To).

DIV. 3D.2. **PARKING**

See Div. 3C.2. (Parking).

DIV. 3D.3. **LANDSCAPING**

See Div. 3C.3. (Landscaping).

DIV. 3D.4. **FINISHED FLOOR ELEVATION OF THE
GROUND STORY**

See Sec. 3C.6.2. (Ground Floor Elevation).

DIV. 3D.5. **STORY HEIGHT**

SEC. 3D.5.1. **GROUND STORY HEIGHT**

See Sec. 3C.6.1. (Ground Story Height)

SEC. 3D.5.2. **UPPER STORY HEIGHT**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 3D.6. **ARTICULATION**

[Portions of this Division displayed in grayed out text are being introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU. Black text (not grayed out) is being introduced with the Boyle Heights Community Plan.]

SEC. 3D.6.1. **BASE, MIDDLE & TOP**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 3D.6.2. **BASE-TOP**

The base-top articulation requirement is composed of two separate and coordinated articulating elements designed to visually break a building facade up into two separately legible layers.

A. **Intent**

To visually break a building facade up into two separately legible building layers.

B. **Applicability**

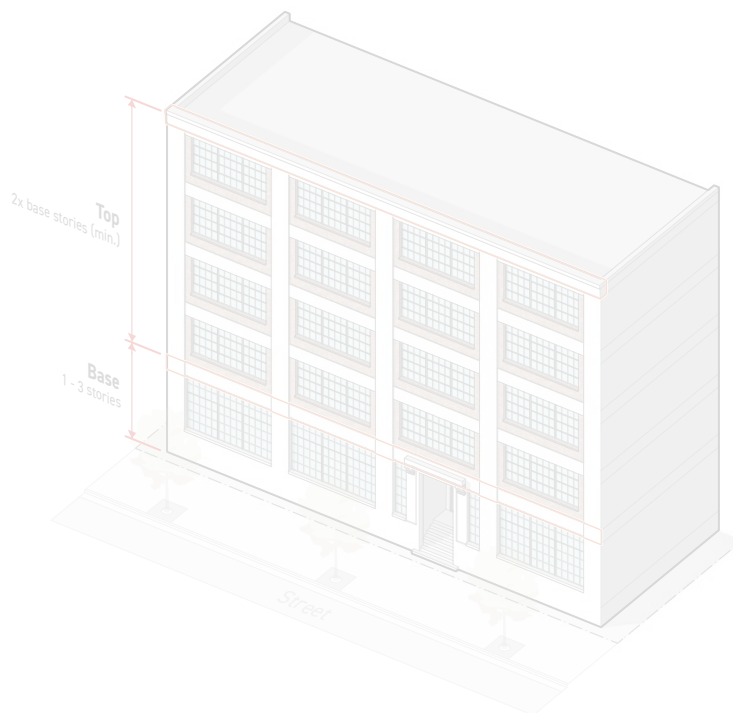
Base-top standards apply to all frontage applicable facades located on all build-to applicable stories specified by the applied *Frontage District (Part 3B)*. See *Sec. 3A.2.2.C.2. (Frontage Applicable Facades)*.

C. **Standards**

1. **General**

One articulating element option shall be provided for each building layer in accordance with the building layer standards below. See *Sec. 3D.6.5. (Articulating Elements)*.

2. **Building Layers**



a. **Base**

- i. The base building layer shall include between 1 and 3 contiguous stories starting with the ground story and continuing upward.
- ii. At least one of the following articulating elements shall be applied along the top of the base layer, creating a transition between the base and top layers:
 - a) *Sec. 3D.6.5.C.1. (Material Change);*
 - b) *Sec. 3D.6.5.C.2. (Belt Course); or*
 - c) *Sec. 3D.6.5.C.3. (Shopfront Cornice).*
- iii. The articulating element shall extend for the full width of the facade and be located no higher than the top of the uppermost story included in the layer.

b. **Top**

- i. The top building layer shall include at least twice as many stories as the base building layer and include all remaining above-grade stories not included in the base building layer or include all remaining above-grade stories upto a street stepback of no less than 15 feet in depth. If the building is less than 3 stories, or less than 3 stories without a street stepback of at least 15 feet in depth, the top layer may be composed of 1 story regardless of the height of the base layer.
- ii. A roofline cornice articulating element shall be applied to the top building layer when the top building layer is the topmost story of the building or the topmost story before a street step-back. See *Sec. 3D.6.5.C.4 (Roofline Cornice)*.
- iii. The roofline cornice shall extend for the full width of the facade and be located along the top of the topmost story included in the building layer.
- iv. When the top building layer does not include the topmost story of the building or the topmost story before a street step-back, at least one of the following articulating elements shall be applied along the top of the top layer, creating a transition between the top building layer and any story above:
 - a) *Sec. 3D.6.5.C.1. (Material Change); or*
 - b) *Sec. 3D.6.5.C.2. (Belt Course).*
- v. The articulating element shall extend for the full width of the building and be located along the top of the topmost story included in the building layer.

D. **Measurement**

For measurement of stories see *Sec. 2C.4.3. (Height in Stories)*.

E. Exceptions

Where the applied *Form District (Part 2B)* requires a street setback depth of 10 feet or greater, the top building layer may terminate at the topmost story below the street setback. No articulating element is required above the top building layer.

F. Relief

1. Base-top standards may be met through alternative compliance in accordance with Sec. 13B.5.1. (*Alternative Compliance*).
2. A deviation from number of stories in building layers of 1 story may be requested in accordance with Sec. 13B.5.2. (*Adjustment*).
3. Deviation from any base-top standard may be requested as a variance in accordance with Sec. 13B.5.3. (*Variance*).

SEC. 3D.6.3. **HORIZONTAL BANDS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 3D.6.4. **VERTICAL BANDS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 3D.6.5. **ARTICULATING ELEMENTS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 3D.7. **FEATURES**

SEC. 3D.7.1. **RESTRICTED FEATURES**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 3D.8. **ENTRANCES**

SEC. 3D.8.1. **STREET-FACING ENTRANCE**

See Sec. 3C.5.1. (*Street-Facing Entrance*).

SEC. 3D.8.2. **ENTRY FEATURE**

See Sec. 3C.5.2. (*Entry Feature*).

SEC. 3D.8.3. **FOCAL ENTRY FEATURE**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 3D.9. **TRANSPARENCY**

SEC. 3D.9.1. **GROUND STORY**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 3D.9.2. **UPPER STORIES**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 3D.10. **EXTERIOR MATERIALS**

SEC. 3D.10.1. **PRINCIPAL MATERIAL COVERAGE**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 3D.10.2. **ACCESSORY MATERIAL COVERAGE**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 3D.10.3. **EXTERIOR MATERIAL OPTIONS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 3D.11. **ROOF DESIGN**

[Portions of this Division displayed in grayed out text are being introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU. Black text (not grayed out) is being introduced with the Boyle Heights Community Plan.]

SEC. 3D.11.1. **ROOF FORM**

The shape of the external upper covering of a building, including the frame for supporting the roofing.

A. **Intent**

To ensure that building forms contribute to the established architectural character of surrounding neighborhoods or districts.

B. **Applicability**

- a. Where specified by the applied *Character Frontage District (Div. 3B.7)*, roof form standards apply to the roof of all frontage lot line facing buildings and structures on a lot.
- b. A minimum of 70% of the total roof area of each applicable building or structure shall meet roof form standards, measured horizontally.

C. **Standards**

1. **General**

All building and structures shall have a roof form listed as a roof form option in the applied *Frontage District (Part 3B)*.

2. **Roof Form Options**

a. **Flat**

A roof with a maximum pitch of 2:12 (2 inch of vertical rise for every 12 inches of horizontal span). Flat roof forms include roofs with parapets up to 6 feet in height.

b. **Pitched**

A roof composed of 2 or more sloping planes where all roof planes slope up from the exterior perimeter of the building or structure and connect with another roof plane at a central ridge. All roof planes shall have a minimum pitch of 3:12 (3 inch of vertical rise for every 12 inches of horizontal span). Examples of pitched roof forms include hipped, gabled, and gambrel roofs.

D. **Measurement**

1. Roof pitch is measured by calculating a roof's vertical rise in inches divided by a foot of its horizontal span and is represented as a ratio.
2. Roof form is measured as compliant or non-compliant based on whether it meets the standards and definition of one of the roof form options allowed by the applied *Frontage District (Part 3B)*.

E. Relief

1. Up to a 10% reduction to the total required roof area having an allowed roof form may be requested in accordance with *Sec. 13B.5.2. (Adjustment)*.
2. A deviation from roof form dimensional standard of 10% or less may be requested in accordance with *Sec. 13B.5.2. (Adjustment)*.
3. Deviation from any roof form standard may be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*

F. Measurement

1. Roof pitch is measured by calculating a roof's vertical rise in inches divided by a foot of its horizontal span and is represented as a ratio.
2. Roof form is measured as compliant or non-compliant based on whether it meets the standards and definition of one of the roof form options allowed by the applied *Frontage District (Part 3B)*.

G. Relief

1. Up to a 10% reduction to the total required roof area having an allowed roof form may be requested in accordance with *Sec. 13B.5.2. (Adjustment)*.
2. A deviation from roof form dimensional standard of 10% or less may be requested in accordance with *Sec. 13B.5.2. (Adjustment)*.
3. Deviation from any roof form standard may be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*.

SEC. 3D.11.2. **ROOF MATERIALS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 3D.11.3. **OVERHANG**

A. **Intent**

To ensure that a building's roof design contribute to the established architectural character of surrounding neighborhoods or districts.

B. **Applicability**

Where specified by the applied *Character Frontage District (Div. 3B.7)*, overhang standards apply to all portions of a roof used to comply with *Sec. 3D.11.1. (Roof Form)*.

C. **Standards**

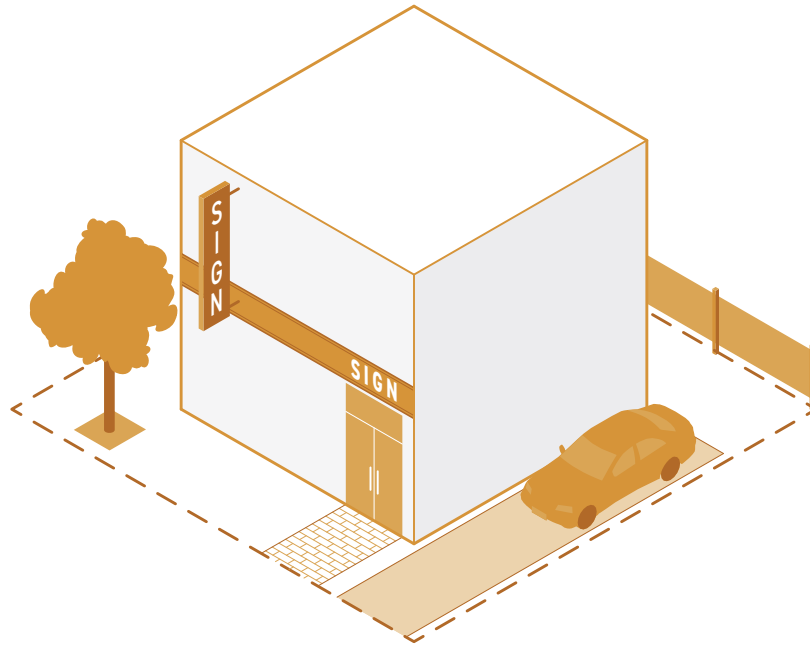
Applicable portions of the roof plane shall extend horizontally beyond the building footprint by no less than the minimum overhang dimension specified by the applied *Character Frontage District (Div. 3B.7)* for all portions of the perimeter of the building footprint.

D. **Measurement**

Overhang is measured horizontally and perpendicular to the building facade from the face of the outermost building facade to the outer edge of the roof plane for the full perimeter of the building or structure .

E. **Relief**

1. Up to a 15% reduction to the minimum overhang dimension may be requested in accordance with *Sec. 13B.5.2. (Adjustment)*.
2. Deviation from overhang standards may be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*.



ARTICLE 4. **DEVELOPMENT STANDARDS**

[FORM - FRONTAGE - **STANDARDS**] [USE - DENSITY]

Part 4A. **Introduction**

Part 4B. **Development Standards Districts**

Part 4C. **Development Standards Rules**

The Downtown Community Plan will bring forward for adoption the New Zoning Code, including this Article via CPC-2014-1582-CA and CPC-2017-432-CPU. The Boyle Heights Community Plan will bring forward the unique zones and additional standards or regulations needed to implement the Boyle Heights Community Plan.

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DIV. 4A.1. **ORIENTATION**

SEC. 4A.1.1. **RELATIONSHIP TO ZONE STRING**

A zone string is composed of the following districts:



The Development Standards District is a separate and independent component of each zone.

SEC. 4A.1.2. **HOW TO USE ARTICLE 4 (DEVELOPMENT STANDARDS)**

A. **Identify the Applied Development Standards District**

The third component in a zone string identifies the Development Standards District applied to a property.

B. **Development Standards District Regulations**

Development Standards District regulations are located in *Part 4B. (Development Standards Districts)*. Each Development Standards District page identifies the requirements specific to that Development Standards District.

C. **Interpreting Development Standards District Regulations**

Each standard or standards package on a Development Standards District page in *Part 4B. (Development Standards Districts)* provides a reference to *Part 4C. (Development Standards Rules)* where the standard or standards package is explained in detail. Additionally, *Part 4C. (Development Standards Rules)* includes general standards that apply across all Development Standards Districts.

Development Standards District Example:

Zone String

[LM2-MU2-**5**] [RG1-FA]

See Rules that Apply in all Districts

Find Your Development Standards District

Part 4B (Development Standards Districts)

DIV. 4B.5. **DISTRICT 5**

SEC. 4B.5.1. **INTENT**

Development Standards District 5 prioritizes the pedestrian experience. Development Standards District 5 prioritizes the pedestrian experience. Pedestrian access standards facilitate pedestrian circulation by improving pedestrian access from the public realm to the interior of buildings through frequent, direct and convenient access to building entrances. Parking for automobiles is not mandated, contributing to a dynamic and walkable environment. When parking is provided, it must meet high design standards to ensure pedestrian mobility, safety, and comfort are not hindered. On-site signs are sized and located to support a pedestrian-oriented public realm.

SEC.	Name of Standard	STANDARDS	Specification for Standard
	PEDESTRIAN ACCESS		Div. 4C.1
	Pedestrian access package		Package 1
	AUTOMOBILE ACCESS		Div. 4C.2
	Automobile access package		Package 1
	AUTOMOBILE PARKING		Div. 4C.4
	Required parking stalls		Package A
	Exempt change of use, non residential tenant size (max)		n/a
	Parking structure design		Primary St. Side St.
	Parking Garage		
	• Ground Story	Wrapped	Wrapped
	• Upper Stories	Adaptable	Adaptable
	• Integrated Parking		
	• Ground Story	Wrapped	Wrapped
	• Upper Stories	Wrapped	Adaptable
	SIGNS		Div. 4C.11
	Sign package		2
	DEVELOPMENT REVIEW		Div. 4C.14
	Development review threshold		Package 2

See Part 4C, (Development Standards Rules) for additional development standards that apply.

Link to Rules

Standard Does Not Apply

Frontage Lot Line

Learn More About Your Rules

Part 4C (Development Standards Rules)

SEC. 4C.4. AUTOMOBILE PARKING

SEC. 4C.4.1. AUTOMOBILE PARKING STALLS

A. Intent

To accommodate the arrival to a site by automobile at a level appropriate to the demand generated by a particular use within different mobility contexts without creating detrimental effects on surrounding properties or public right-of-way.

B. Applicability

Required automobile parking stall standards apply all uses on a lot.

C. Standards

1. General

a. All uses subject to the parking requirements of this Division must provide the minimum number of automobile parking stalls for the applicable parking use - A, B, C, D or E (Part 4B, (Development Standards Districts)), specifies the applicable parking use requirement for each zone.

b. When a site or lot is used for a combination of uses, the parking requirements are the sum of the requirements for each use, and no parking stall for one use may be included in the calculation of parking requirements for any other use, except as allowed in (Sec. 4C.4.2.C., (Reduction for Shared Parking)).

c. For electric vehicle charging space requirements, see the Green Building Code (GBC, Chapter 9, Article 9).

2. Required Automobile Parking Table

a. When the Required Automobile Parking Table lists multiple parking stall requirement options, the greater number of required parking stalls is required.

b. Use are defined in Part 5D.0. Use Definitions.

Except for standards specified by the Development Standards District, standards in Part 4C apply to all lots according to the corresponding applicability statement.

SEC. 4A.1.3. **DEVELOPMENT STANDARDS DISTRICT NAMING CONVENTION**

All Development Standards District names are identified as a number. All Development Standards Districts are numbered in the order they fall within this Article.

DIV. 4A.2. OPENING PROVISIONS

SEC. 4A.2.1. DEVELOPMENT STANDARDS INTENT

The intent of Article 4 (Development Standards) is to regulate site design, including location and characteristics of access, parking, landscape and other site features. Development Standards Districts consist of a combination of regulations that are appropriate to a variety of contexts ranging from auto-oriented to pedestrian-oriented.

SEC. 4A.2.2. DEVELOPMENT STANDARDS APPLICABILITY

A. General

All projects filed after the effective date of this Zoning Code (Chapter 1A) shall comply with the Development Standards Districts and Rules in this Article, as further specified below. For vested rights, see *Sec. 1.4.5. (Vested Rights)*, and for continuance of existing development, see *Sec. 1.4.6. (Continuance of Existing Development)*.

B. Project Activities

Categories of Development Standards rules apply to a project based on what types of project activities are proposed, as shown in the table below. Typically, more than one project activity will apply to a proposed project (for example, an addition that expands an existing use includes both new construction and a use modification).

DEVELOPMENT STANDARDS RULES CATEGORIES	PROJECT ACTIVITIES								
	New Construction	Major Demolition	Lot Modification	Site Modification	Facade Modification	Use Modification	Temporary Use	Renovation	Maintenance & Repair
<i>Div. 4C.1.</i> Pedestrian Access	●	●	●	●	●	○	○	○	○
<i>Div. 4C.2.</i> Automobile Access	●	●	●	●	○	○	○	○	○
<i>Div. 4C.3.</i> Bicycle Parking	●	●	○	●	○	●	○	○	○
<i>Div. 4C.4.</i> Automobile Parking	●	●	○	●	○	●	○	○	○
<i>Div. 4C.5.</i> TDM	●	○	○	●	○	●	○	○	○
<i>Div. 4C.6.</i> Plants	●	○	○	●	○	○	○	○	○
<i>Div. 4C.7.</i> Fences & Walls	●	●	●	●	○	●	○	○	○
<i>Div. 4C.8.</i> Screening	●	●	●	●	○	●	○	○	○
<i>Div. 4C.9.</i> Grading	●	●	●	●	○	○	○	○	○
<i>Div. 4C.10.</i> Outdoor Lighting & Glare	●	●	○	●	●	○	○	○	○
<i>Div. 4C.11.</i> Signs	●	●	●	●	●	●	○	○	○
<i>Div. 4C.12.</i> Site Elements	●	●	○	●	●	●	○	○	○
<i>Div. 4C.13.</i> Environmental Protection	●	●	○	●	○	○	○	○	○
<i>Div. 4C.14.</i> Development Review	●	○	○	●	○	●	○	○	○

● = Rules generally apply to this project activity

○ = Rules are not applicable

1. Project activities are defined in *Sec. 14.1.15. (Project Activities)*.
2. Where a category of Development Standards rules is listed as generally applicable in the table above, the project activity shall meet all applicable Development Standards standards within the Division. This general applicability may be further specified for each standard in the applicability provisions in *Part 4C. (Development Standards Rules)*. Project applicability may also be modified by *Article 12. (Nonconformities)*. Where a category of Development Standards rules is listed as not applicable in the table above, no standards from that Development Standards Rule category apply to the project activity.

C. **Nonconformity**

Article 12. (Nonconformity) provides relief from the requirements of Article 4 (Development Standards) for existing lots, site improvements, buildings, structures, and uses that conformed to the zoning regulations, if any, at the time they were established, but do not conform to current district standards or use permissions. No project activity may decrease conformance with any Development Standard regulation unless otherwise specified by *Division 12.4. (Development Standards Exceptions)*. Consider the following examples:

1. Extending a fence in a side yard: Where the existing, legally established fence located in a side yard is taller than the maximum height allowed by the fences and walls type specified by the applicable Frontage District, all new portions of fence built in the front yard have to meet the maximum fence and wall height standard, but no existing fence alteration is required.
2. Converting parking stalls to outdoor dining: Where the proposed site alteration and change of use reduces the amount of parking below the number of parking stalls specified by the applicable Development Standards District, the conversion is not allowed.

D. **Applicable Components of Lots and Structures**

1. Development Standards Districts apply to all portions of a lot.
2. Development Standards Districts apply to all portions of buildings and structures on a lot.
3. Specific Development Standards District standards and rules may further limit which components of structures and lots are required to comply with the rules in *Part 4C. (Development Standards Rules)*.

PART 4B. DEVELOPMENT STANDARDS DISTRICTS

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- District 1 -

DIV. 4B.1. **DISTRICT 1**

[Reserved]

DIV. 4B.2. **DISTRICT 2**

[Reserved]

DIV. 4B.3. DISTRICT 3

SEC. 4B.3.1. INTENT

Development Standards District 3 prioritizes the pedestrian experience while enabling mobility for motor vehicles. Pedestrian access standards ensure easy access from the public-right-of-way to building entrances, facilitating pedestrian movement. Required automobile parking is moderate in order to ensure sites can accommodate some vehicular access within a walkable environment. Parking facilities must meet design standards to ensure pedestrian mobility, safety, and comfort are not hindered, and buildings provide active frontages along primary streets. On-site signs are sized and located to support a pedestrian-oriented public realm.

SEC. 4B.3.2. STANDARDS

PEDESTRIAN ACCESS	<i>Div. 4C.1.</i>	
Pedestrian access package	Package 2	
AUTOMOBILE ACCESS	<i>Div. 4C.2.</i>	
Automobile access package	Package 2	
AUTOMOBILE PARKING	<i>Div. 4C.4.</i>	
Automobile parking stalls	Package C	
Change of use parking exemption (max)	n/a	
Parking structure design	Primary St.	Side St.
Parking Garage		
Ground Story	Wrapped	Screened
Upper Stories	Screened	Screened
Integrated Parking		
Ground Story	Wrapped	Screened
Upper Stories	Screened	Screened
SIGNS	<i>Div. 4C.11.</i>	
On-site sign regulations	Package 2	
DEVELOPMENT REVIEW	<i>Div. 4C.14.</i>	
Development review threshold	Package 1	

See Part 4C. (Development Standards Rules) for additional development standards that apply.

DIV. 4B.4. **DISTRICT 4**

SEC. 4B.4.1. **INTENT**

Development Standards District 4 prioritizes the pedestrian experience. Pedestrian access standards facilitate pedestrian circulation by improving pedestrian access from the public realm to the interior of buildings through frequent, direct and convenient access to building entrances. Parking for automobiles is not mandated, encouraging uses to orient toward pedestrian traffic in a walkable and transit rich environment. Parking facilities must meet high design standards to ensure pedestrian mobility, safety, and comfort are not hindered, and buildings provide active frontages along each segment of the public right-of-way. On-site signs are sized and located to support a pedestrian-oriented public realm.

SEC. 4B.4.2. **STANDARDS**

PEDESTRIAN ACCESS	<i>Div. 4C.1.</i>	
Pedestrian access package	Package 1	
AUTOMOBILE ACCESS	<i>Div. 4C.2.</i>	
Automobile access package	Package 1	
AUTOMOBILE PARKING	<i>Div. 4C.4.</i>	
Automobile parking stalls	Package A	
Change of use parking exemption (max)	n/a	
Parking structure design	Primary St.	Side St.
Parking Garage		
Ground Story	Wrapped	Wrapped
Upper Stories	Screened	Screened
Integrated Parking		
Ground Story	Wrapped	Wrapped
Upper Stories	Wrapped	Screened
SIGNS	<i>Div. 4C.11.</i>	
On-site sign regulations	Package 2	
DEVELOPMENT REVIEW	<i>Div. 4C.14.</i>	
Development review threshold	Package 1	

See *Part 4C. (Development Standards Rules)* for additional development standards that apply.

DIV. 4B.5. **DISTRICT 5**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 4B.6. **DISTRICT 6**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

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DIV. 4C.1. **PEDESTRIAN ACCESS**

SEC. 4C.1.1. **PEDESTRIAN ACCESS PACKAGES**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.1.2. **PEDESTRIAN BRIDGES & TUNNELS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 4C.2. **AUTOMOBILE ACCESS**

SEC. 4C.2.1. **AUTOMOBILE ACCESS PACKAGES**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.2.2. **MOTOR VEHICLE USE AREA DESIGN**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 4C.3. **BICYCLE PARKING**

SEC. 4C.3.1. **BICYCLE PARKING SPACES**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.3.2. **SHORT-TERM BICYCLE PARKING DESIGN**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.3.3. **LONG-TERM BICYCLE PARKING DESIGN**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 4C.4. **AUTOMOBILE PARKING**

[Portions of this Division displayed in grayed out text are being introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU. Black text (not grayed out) is being introduced with the Boyle Heights Community Plan.]

SEC. 4C.4.1. **AUTOMOBILE PARKING STALLS**

Space within a building, or a private or public parking area, exclusive of driveways, ramps, columns, office, and work areas, for the parking of one automobile. Does not include bicycle parking.

A. **Intent**

To accommodate the arrival to a site by automobile at a level appropriate to the demand generated by a particular use within different mobility contexts without creating detrimental effects on surrounding properties or public right-of-way.

- Automobile Parking -

B. Applicability

Required automobile parking stall standards apply to all uses on a lot determined by the automobile parking package assigned by the applicable Development Standards District.

C. Standards

1. General

- a. All uses subject to the parking requirements of Division 4C.4. (Automobile Parking) shall provide the minimum number of automobile parking stalls specified in the parking package assigned by the applied *Development Standards District (Part 4C)*.
- b. When a site or lot is used for a combination of uses, the parking requirements are the sum of the requirements for each use, and no parking stall for one use may be included in the calculation of parking requirements for any other use, with the following exceptions:
 - i. As allowed in Sec. 4C.4.3.C.2 (Shared Parking).
 - ii. When parking requirements for a single use on a site or lot with a combination of uses results in a fraction, then the total parking required for all uses on a site or lot shall be calculated based on the sum prior to the rounding of parking requirements for each use followed by rounding the total amount of parking required for a site or lot based on the combination of uses.
- c. For electric vehicle charging space requirements, see the *LAMC Chapter 9, Article 9 (Green Building Code)*.

2. Required Automobile Parking Table

- a. When the Required Automobile Parking Table lists multiple parking stall requirement options, the option that results in the greater number of required parking stalls applies.
- b. Uses are defined in *Part 5C.1. (Use Definitions)*.

-TABLE 1- REQUIRED AUTOMOBILE PARKING

	PARKING PACKAGE				
	A	B	C	D	E
RESIDENTIAL					
Dwelling:					
Dwelling Units:					
1-4 Habitable Rooms	--	0.25/du	0.5/du	0.75/du	1/du
5+ Habitable Rooms	--	0.75/du	1/du	1.5/du	2/du
Accessory Dwelling Unit	See Div 9.5. (Accessory Dwelling Unit Incentive Program)				
Household Business:					
Family Child Care	See Dwelling (No additional parking required beyond Dwelling)				
Home Occupation	See Dwelling (No additional parking required beyond Dwelling)				
Home Sharing	See Dwelling (No additional parking required beyond Dwelling)				
Joint Live/Work Quarters	Entire Unit including workspace treated as Dwelling Unit				
Live Work	Entire Unit including workspace treated as Dwelling Unit				
Mobilehome Park	See Title 25 of the California Administrative Code				
Supportive Housing:					
Medical Care	--	0.05/bed	0.1/bed	0.15/bed	0.2/bed
Non-Medical	--	0.25/du	0.5/du	0.75/du	1/du
Permenant Supportive Housing	--	0.05/du	0.1/du	0.15/du	0.2/du
Transitional Shelter	--	--	--	--	--
Homeless Shelter	--	--	--	2/shelter	2/shelter
PUBLIC AND INSTITUTIONAL					
Cemetery	--	--	--	--	--
Civic Facility	--	0.5/1,000 SF	1/1,000 SF	1.5/1,000 SF	2/1,000 SF
Detention	--	--	--	--	--
Fleet Services	--	--	--	--	--
Medical					
Local	--	0.1/bed	0.1/bed	0.2/bed	0.2/bed
Regional	--	0.5/bed	1/bed	1.5/bed	2/bed
Office, Government	--	0.5/1,000 SF	1/1,000 SF	1.5/1,000 SF	2/1,000 SF
Parking	--	--	--	--	--
Religious Assembly, excluding all non assembly area	--	10/1,000 SF	15/1,000 SF	20/1,000 SF	25/1,000 SF
School:					
Preschool/Daycare	--	0.25/1,000 SF	0.5/1,000 SF	0.75/1,000 SF	1/1,000 SF
K-12	--	0.25/1,000 SF	0.5/1,000 SF	0.75/1,000 SF	1/1,000 SF
Post-secondary	--	0.5/1,000 SF	1/1,000 SF	1.5/1,000 SF	2/1,000 SF
Social Services	--	0.5/1,000 SF	1/1,000 SF	1.5/1,000 SF	2/1,000 SF
Utilities	--	--	--	--	--

"--" = no parking required, "du" = dwelling unit, "SF" = square feet, "ac" = acre.

-TABLE 1- REQUIRED AUTOMOBILE PARKING

	PARKING PACKAGE				
	A	B	C	D	E
OPEN SPACE & RECREATION					
Indoor Recreation, Commercial	--	0.5/1,000 SF	1/1,000 SF	1.5/1,000 SF	2/1,000 SF
Nature Reserve	--	--	--	--	--
Open Space, Public	--	--	--	--	--
Outdoor Recreation, Commercial	--	--	--	--	--
Recreation, Public	--	--	--	--	--
Sports Arena and Stadium, Major, excluding all non assembly area	--	10/1,000 SF	15/1,000 SF	20/1,000 SF	25/1,000 SF
TRANSPORTATION USES					
All	--	--	--	--	--
GENERAL COMMERCIAL					
Animal Sales and Services:					
Kennel		0.5/1,000 SF	1/1,000 SF	1.5/1,000 SF	2/1,000 SF
Veterinary Care	--	0.5/1,000 SF	1/1,000 SF	1.5/1,000 SF	2/1,000 SF
Commissary Kitchen	--	0.5/1,000 SF	1/1,000 SF	1.5/1,000 SF	2/1,000 SF
Eating and Drinking:					
Service floor area	--	1/1,000 SF	2/1,000 SF	4/1,000 SF	5/1,000 SF
Food & drink preparation area	--	0.5/1,000 SF	1/1,000 SF	1.5/1,000 SF	2/1,000 SF
Entertainment Venue, excluding all non assembly area	--	10/1,000 SF	15/1,000 SF	20/1,000 SF	25/1,000 SF
Financial Services	--	0.5/1,000 SF	1/1,000 SF	1.5/1,000 SF	2/1,000 SF
Instructional Services	--	0.5/1,000 SF	1/1,000 SF	1.5/1,000 SF	2/1,000 SF
Lodging:					
First 30 rooms	--	0.5/lodging unit	0.5/lodging unit	1/lodging unit	1/lodging unit
Next 30 rooms	--	0.25/lodging unit	0.25/lodging unit	0.5/lodging unit	0.5/lodging unit
Remaining rooms	--	--	--	0.25/lodging unit	0.25/lodging unit
Medical Clinic	--	0.5/1,000 SF	1/1,000 SF	1.5/1,000 SF	2/1,000 SF
Office	--	0.5/1,000 SF	1/1,000 SF	1.5/1,000 SF	2/1,000 SF
Personal Services	--	0.5/1,000 SF	1/1,000 SF	1.5/1,000 SF	2/1,000 SF
Postmortem Services	--	0.5/1,000 SF	1/1,000 SF	1.5/1,000 SF	2/1,000 SF
Retail Sales:					
Sales floor area	--	1/1,000 SF	2/1,000 SF	3/1,000 SF	4/1,000 SF
Showroom area	--	0.5/1,000 SF	1/1,000 SF	1.5/1,000 SF	2/1,000 SF
Sexually Oriented Business	--	1/1,000 SF	2/1,000 SF	3/1,000 SF	4/1,000 SF
HEAVY COMMERCIAL USES					
Motor Vehicle Services, except as listed below:	--	0.5/1,000 SF	1/1,000 SF	1.5/1,000 SF	2/1,000 SF

"--" = no parking required, "du" = dwelling unit, "SF" = square feet, "ac" = acre.

-TABLE 1- REQUIRED AUTOMOBILE PARKING

	PARKING PACKAGE				
	A	B	C	D	E
Car Wash	--	--	--	--	--
Motor Vehicle Sales and Rental	--	0.5/1,000 SF	1/1,000 SF	1.5/1,000 SF	2/1,000 SF
Storage, Indoor		0.5/1,000 SF (1st 10,000 SF) + 0.1/1,000 SF after	1/1,000 SF (1st 10,000 SF) + 0.1/1,000 SF after	1.5/1,000 SF (1st 10,000 SF) + 0.2/1,000 SF after	2/1,000 SF (1st 10,000 SF) + 0.2/1,000 SF after
Storage, Outdoor:					
0-1 acre of outdoor storage area	--	2	3	5	6
>1-2 acres of outdoor storage area	--	1/ac	1.5/ac	2.5/ac	3.5/ac
>2 acres of outdoor storage area	--	0.25/ac	0.5/ac	0.75/ac	1/ac
LIGHT INDUSTRIAL USES					
All Light Industrial	--	0.5/1,000 SF (1st 10,000 SF) + 0.1/1,000 SF after	1/1,000 SF (1st 10,000 SF) + 0.1/1,000 SF after	1.5/1,000 SF (1st 10,000 SF) + 0.2/1,000 SF after	2/1,000 SF (1st 10,000 SF) + 0.2/1,000 SF after
HEAVY INDUSTRIAL USES					
All Heavy Industrial, except as listed below	--	0.5/1,000 SF (1st 10,000 SF) + 0.1/1,000 SF after	1/1,000 SF (1st 10,000 SF) + 0.1/1,000 SF after	1.5/1,000 SF (1st 10,000 SF) + 0.2/1,000 SF after	2/1,000 SF (1st 10,000 SF) + 0.2/1,000 SF after
Salvage Yard:					
0-1 acre of outdoor storage area	--	2	3	5	6
>1-2 acres of outdoor storage area	--	1/ac	1.5/ac	2.5/ac	3.5/ac
>2 acres of outdoor storage area	--	0.25/ac	0.5/ac	0.75/ac	1/ac
AGRICULTURAL USES					
All Agriculture	--	--	--	--	--

"--" = no parking required, "du" = dwelling unit, "SF" = square feet, "ac" = acre.

D. Measurement

1. Parking Stalls Per 1,000 Square Feet

When determining parking stall requirements specified as a ratio having a denominator of "1,000 SF" the method for determining the total number of required parking stalls shall be executed as follows:

- a. Divide the total floor area of the subject use by 1,000. For determining floor area of the specified use, see 4C.4.1.D.2. (Square Feet).
- b. Multiply the result by the numerator in the specified parking ratio. If the result is a fraction, round in accordance with 4C.4.1.D.3. (Fractional Spaces).
- c. The result shall be the total number of required parking stalls.

- Automobile Parking -

2. Parking Stalls Per Acre

When determining parking stall requirements specified as a ratio having a denominator of "acre" the method for determining the total number of required parking stalls shall be executed as follows:

- a. Divide the total area of the subject use by 43,560. For determining floor area of the specified use, see *4C.4.1.D.2. (Square Feet)*.
- b. Multiply the result by the numerator in the specified parking ratio. If the result is a fraction, round in accordance with *4C.4.1.D.3. (Fractional Spaces)*.
- c. The result shall be the total number of required parking stalls.

3. Square Feet

For the purpose of calculating required parking stalls in *Sec . 4C.4.1. (Automobile Parking Stalls)*, square feet refers to the total on-site floor area dedicated to a subject use, measured in square feet. The total floor area includes the floor area of accessory buildings. For the calculation of floor area, see *Sec. 14.1.7. (Floor Area)*.

4. Habitable Rooms

For the purpose of applying the automobile parking space requirements per *Sec. 4C.4.1. (Automobile Parking Stalls)*, any kitchen shall not be considered a habitable room.

5. Fractional Space

- a. When calculating required parking stalls in *Sec . 4C.4.1. (Automobile Parking Stalls)* results in the requirement of a fractional parking stall, any fraction up to and including 0.5 may be disregarded and any fraction over 0.5 requires one additional parking stall.
- b. Where required parking stalls in *Sec . 4C.4.1. (Automobile Parking Stalls)* is calculated for a lot including more than one use, parking spaces may be rounded after calculating the total number of required parking stalls for all uses on a lot.

E. Exception

1. Accessible Parking

The number of required automobile parking stalls may be reduced by the number of stalls deemed necessary in order to provide accessible parking stalls as required by California State access laws.

2. Amenity Space

Floor area provided as amenity space for site users shall be exempt from parking requirements.

3. Change of Use, Commercial Tenant Size

When allowed by the applicable Development Standards District, change of use projects of a size equal to or less than the square footage threshold specified by the applicable Development Standards District are not required to provide additional automobile parking stalls to accommodate a general commercial use that would otherwise require more automobile parking stalls than exists on-site.

4. Electric Vehicle Charging Stations

- a. Each electric vehicle charging station provided above the minimum required by [Article 9 \(Green Building Code\) of Chapter 9 \(Building Regulations\) of the LAMC](#) may be substituted for 2 required automobile parking stalls for the purpose of complying with any applicable minimum parking stall requirements of *Sec. 4C.4.1 (Automobile Parking Stalls)*.
 - i. Measurement. Where a multiport electric vehicle charger can simultaneously charge more than one vehicle, the number of electric vehicle charging stations shall be considered equivalent to the number of electric vehicles that can be simultaneously charged.
- b. An accessible parking stall with an access aisle served by electric vehicle supply equipment or an accessible parking stall with an aisle designated as a future electric vehicle charging space shall count as 2 required automobile parking stalls for the purpose of complying with any applicable minimum parking stall requirements of *Sec. 4C.4.1 (Automobile Parking Stalls)*.

5. Fire Pump Rooms

The number of required automobile parking stalls may be reduced by the number of stalls deemed necessary in order to install a water storage tank to enlarge an existing fire pump room, or to install a new fire pump room.

6. Historic Buildings and Buildings That Are At Least 25 Years Old

No additional parking is required for uses occupying a building that meets one of the following criteria:

- a. The building is a designated historic resource.
- b. The building is a surveyed historic resource.
- c. The building was constructed conforming to building and zoning codes in effect at the time it was built and is at least 25 years old. A certificate of occupancy, building permit, or other suitable documentation may be submitted as evidence to verify the date of construction.

7. Office Mixed-Use

- a. Any indoor recreation use, eating and drinking use, personal service use or retail use sharing a lot with an office use may provide parking at the same rate required for office uses subject to the following requirements:
 - i. The lot includes a total floor area of 50,000 square feet or greater.
 - ii. The office uses shall occupy a minimum of 75 percent of the floor area on the lot.
 - iii. The cumulative floor area dedicated to any combination of indoor recreation uses, eating and drinking uses, personal service uses or retail uses that may provide parking at the same rate required for office use shall not exceed 5 percent of the total floor area dedicated for office uses.
 - iv. Any floor area dedicated to any combination of indoor recreation uses, eating and drinking uses, personal service uses or retail uses that exceeds 5 percent of the total floor area dedicated for office use shall provide parking at the rate specified for the subject use in the applicable parking package assigned by the applied *Development Standards District (Part 4D)*.
- b. Any office use sharing a lot with a wholesale trade and warehousing use may provide parking at the same rate required for wholesale trade and warehousing uses when the following criteria are met:
 - i. The cumulative floor area dedicated to office uses that may provide parking at the same rate required for wholesale trade and warehousing uses shall not exceed 10 percent of the total floor area dedicated for wholesale trade and warehousing uses.
 - ii. Any floor area dedicated to office uses that exceeds 10 percent of the total floor area dedicated for wholesale trade and warehousing uses shall provide parking at the rate specified for office use in the applicable parking package assigned by the applied *Development Standards District (Part 4D)*.

8. Public Benefit Projects

Projects participating in an Affordable Housing Incentive Program, Community Benefits Program, or a General Incentive Program included in Article 9, Public Benefit Systems, may qualify for reduced required automobile parking as deemed eligible.

9. Small Business Tenant Space

Non-residential tenant spaces designated for commercial uses having a floor area of 1,500 square feet or less shall be exempt from requirements to provide automobile parking stalls. This exemption is limited to 2 tenant spaces per lot.

10. Substituting Required Automobile Parking with Bicycle Parking

- a. Required automobile parking stalls may be substituted with bicycle parking at a ratio of 1 automobile parking stall for every 4 bicycle parking spaces provided the bicycle parking spaces meet the applicable requirements of *Sec. 4C.3.1.C. (Required Bicycle Parking Spaces)*.
- b. Nonresidential uses may substitute up to 20% of the required automobile parking with bicycle parking. When a nonresidential use is located within 1,500 feet of a transit station, up to 30% of the required automobile parking stalls may be substituted with bicycle parking.
- c. Residential uses may substitute up to 10% of the required automobile parking with bicycle parking. When a residential use is located within 1,500 feet of a major transit stop, up to 15% of the required automobile parking stalls may be substituted with bicycle parking.
- d. Projects participating in an Affordable Housing Incentive Program, Community Benefits Program, or a General Incentive Program included in *Article 9. (Public Benefit Systems)*, may substitute up to 30% of the required automobile parking with bicycle parking, as deemed eligible.

11. Proximity to Transit

Regardless of the number of required automobile stalls specified by the parking package assigned by the applied Development Standards District, no minimum parking shall be required within ½ mile of a major transit stop - see *Sec. 1.5.9. (Major Transit Stop Area Map)*.

F. Relief

1. A reduction in required automobile parking requirements may be requested in accordance with *Sec. 4C.4.3. (Alternative Parking Strategies)*.
2. A reduction in required automobile parking requirements of up to 20% may be requested in accordance with *Sec. 13.7.2 (Adjustments)*.
3. A deviation in required automobile parking requirements may be allowed as a variance in accordance with *Sec. 13.7.3 (Variance)*.

SEC. 4C.4.2. **CHANGE OF USE PARKING EXEMPTION**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.4.3. **ALTERNATIVE PARKING STRATEGIES**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.4.4. **PARKING AREA DESIGN**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.4.5. **PARKING LOT DESIGN**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.4.6. **PARKING STRUCTURE DESIGN**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 4C.5. **TRANSPORTATION DEMAND MANAGEMENT**

SEC. 4C.5.1. **SMALL PROJECTS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.5.2. **MEDIUM PROJECTS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.5.3. **LARGE PROJECTS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 4C.6. **PLANTS**

SEC. 4C.6.1. **PROTECTED VEGETATION**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.6.2. **STREETSCAPE**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.6.3. **PLANT DESIGN & INSTALLATION**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 4C.7. **FENCES & WALLS**

SEC. 4C.7.1. **FRONTAGE YARD FENCES & WALLS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.7.2. **SIDE/REAR YARD FENCES & WALLS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.7.3. **FENCE/WALL DESIGN & INSTALLATION**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 4C.8. **SCREENING**

[Portions of this Division displayed in grayed out text are being introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU. Black text (not grayed out) is being introduced with the Boyle Heights Community Plan.]

SEC. 4C.8.1. **FRONTAGE SCREENS**

A device or combination of elements along a frontage lot line that conceals, obstructs or protects the public realm from adjacent uses, *activities*, or *site elements*.

A. **Intent**

To mitigate negative impacts from subject uses, *activities*, or *site elements* with significant impacts on the public realm, promoting visual interest and increasing comfort for users of the public realm.

B. **Applicability**

Frontage screen standards are applicable when required by the applied *Use District (Part 5B)*, *Sec. 4C.2.2. (Motor Vehicle Use Area Design)*, *Sec. 4C.2.2.C.2. (Drive-Through Facilities)*, *Sec. 4C.2.2.C.3. (Freight Loading Areas)*, *Sec. 4C.4.4. (Parking Lot Design)* or *Sec. 4C.4.4. (Parking Structure Design)*.

C. **Standards**

1. **General**

- a. Required frontage screens shall be located between the use, area, or site element subject to screening requirements and all frontage lot lines. Any wall and planting area required by the frontage screen type shall be continuous with the following exceptions:
 - i. Openings in a required frontage screen accommodating pedestrian accessways are allowed for a width no greater than 8 feet in width for each individual pedestrian accessway. Where an opening in the frontage screen accommodates both pedestrian and automobile access, the maximum allowable opening width is 8 feet greater than the maximum allowed driveway width.
 - ii. Openings in a required frontage screen accommodating automobile access are allowed for a width no greater than the maximum allowed driveway width allowed by the applied *Development Standards District (Part 4B)*.
 - iii. For portions of frontage lot lines where a building of no less that 10 feet in height is located between the frontage lot line and the use use, area, or site element subject to frontage screening requirements, no wall is required as part of the frontage screen, provided that the building is contiguous with the required wall.
- b. Required frontage screens including their sub-grade elements, such as footings or foundations, shall be located entirely on-site.

- Screening -

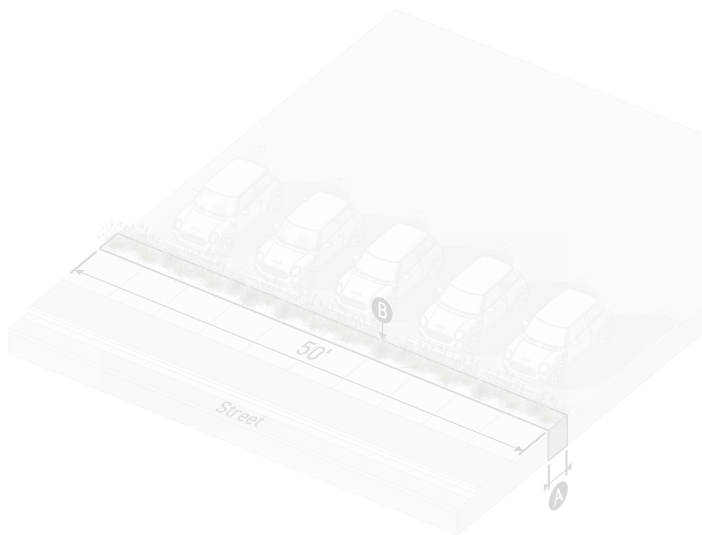
- c. Where there are overlapping frontage screen requirements, the screen type with the highest minimum fence or wall shall apply. Where none of the required screen types have a fence or wall requirement, the screen type with the widest required planting area shall apply.
- d. Where a required frontage screen includes a wall, the wall may only be located in the frontage yard if the wall complies with the allowed frontage yard fence and wall standards specified by the applied *Frontage District (Part 3B)*. Uses, activities, or site elements subject to frontage screening requirements shall not be located in a frontage yard if the required minimum wall height specified by the frontage screen exceeds the maximum height of allowed frontage yard fences and walls as specified by the *Frontage District (Part 3B)*.
- e. Where a required frontage screen includes a wall with a minimum height that exceeds the maximum height allowed in the rear or side yard (See Sec 4C.7.2.C.2.), the maximum wall height shall be 2 feet greater than the minimum wall height specified by the frontage screen.
- f. All walls provided in a frontage screen shall comply with Sec. 4C.7.3 (*Fence/Wall Design and Installation*).
- g. All plants provided in a frontage screen shall comply with Sec. 4C.4.4. (*Plant Design and Installation*).
- h. Maximum wall and fence height is regulated by Sec. 4C.7.1. (*Frontage Yard Fences & Walls*) and Sec. 4C.7.2. (*Side/Rear Yard Fences & Walls*).
- i. Walls provided to meet the standards of any required Frontage Screen shall not include barbed or concertina wire.

2. Frontage Screen Types

Packages of standards for required frontage screen

a. F-Screen 1

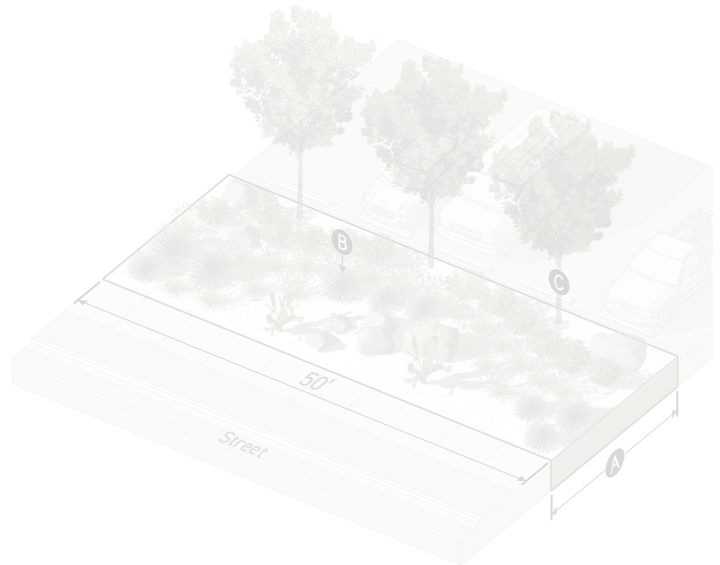
Intended for screening motor vehicle use areas that face a frontage lot line, including vehicle display areas.



PLANTING AREA		Sec. 4C.8.1.D.
A	Width (min)	3'
B	Screening Plants (min per 50')	20
WALLS		Sec. 4C.8.1.D.
	Height	n/a
	Opacity	n/a

b. F-Screen 2

Intended for screening motor vehicle areas including drive-through lanes, drive aisles, maneuvering areas and fire lanes that face a frontage lot line.

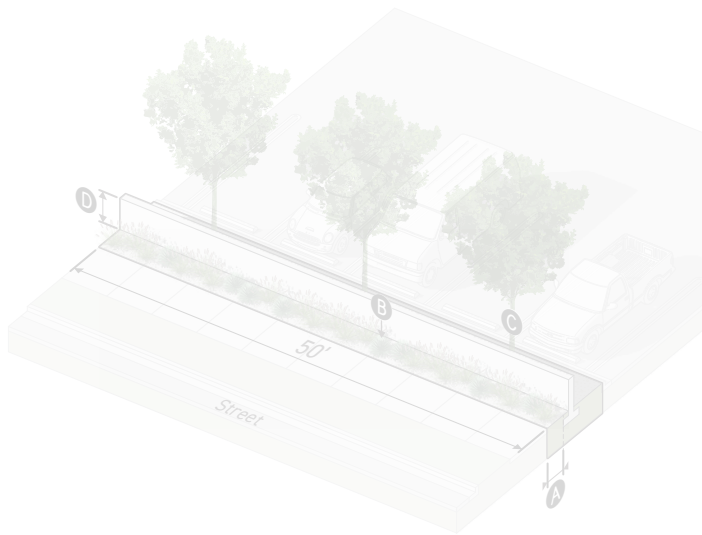


PLANTING AREA		Sec. 4C.8.1.D.
A	Width (min)	15'
B	Screening Plants (min per 50')	45
C	Large Species Trees (min per 50')	3
WALLS		Sec. 4C.8.1.D.
	Height	n/a
	Opacity	n/a

- Screening -

c. F-Screen 3

Intended for screening motor vehicle areas including drive-through lanes, drive aisles, maneuvering areas and fire lanes that face a frontage lot line.

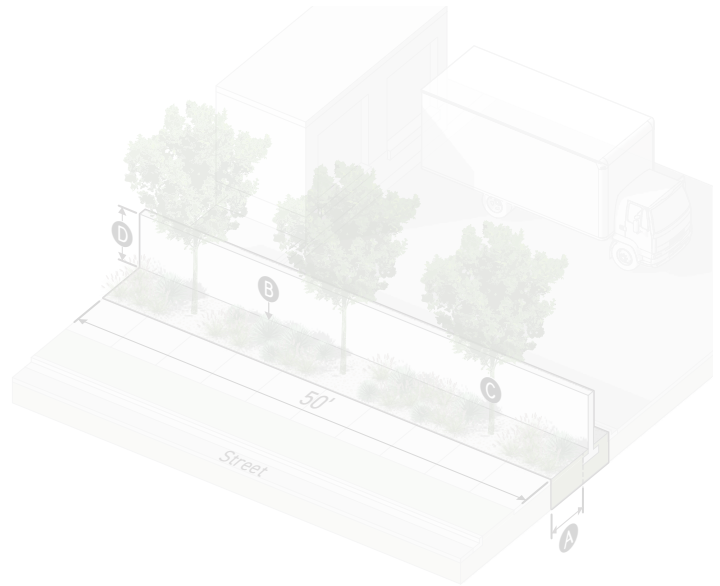


PLANTING AREA		Sec. 4C.8.1.D.
A	Width (min)*	3'
B	Screening Plants (min per 50')	20
C	Large Species Trees (min per 50')*	3
WALLS		Sec. 4C.8.1.D.
D	Height (min)	3.5'
Opacity		
Below 3.5' (min)		90%
3.5' and above (max)		50%

* Additional planting area may be required to accommodate large species trees.

d. F-Screen 4

Intended for screening outdoor areas associated with moderate-impact uses that face a frontage lot line.



PLANTING AREA		Sec. 4C.8.1.D.
A	Width (min)	5'
B	Screening Plants (min per 50')	30
C	Large Species Trees (min per 50')	3
WALLS		Sec. 4C.8.1.D.
D	Height (min)	6'
Opacity		
Below 6' (min)		100%
6' and above (max)		50%

e. F-Screen 5

Intended for screening outdoor areas associated with high-impact uses that face a frontage lot line.



PLANTING AREA		Sec. 4C.8.1.D.
A	Width (min)	5'
B	Screening Plants (min per 50')	30
C	Large Species Trees (min per 50')	3
WALLS		Sec. 4C.8.1.D.
D	Height (min)	10'
Opacity		
	Below 10' (min)	100%
	10' and above (max)	100%

D. Measurement

1. Planting Area

a. Width

For measuring planting area width see *Sec. 4C.4.4.D.1 (Planting Area Width)*.

b. Frequency

For measuring frequency, for example 5 per 50', see *Sec. 14.1.8. (Frequency)*.

c. Screening Plants

For screening plant standards see *Sec. 4C.4.4.C.3.b. (Screening Plants)*.

d. Large Species Trees

For large tree standards see *Sec. 4C.4.4.C.3.a.i (Tree Type- Large Tree)*.

2. Walls

a. Height

Frontage screen wall height is measured for the portion of the wall constructed of concrete or masonry that has a minimum thickness of 8 inches and meets the minimum opacity specified by the *Frontage screen type (4C.8.1.C.2.)*. For measuring wall height in a rear yard or side yard, see *Sec. 4C.7.2.D. (Fence and Wall Height)*. For measuring wall height in a frontage yard see *Sec. 3C.3.2.D.2 (Fence and Wall Height)*.

b. Opacity

For measuring opacity see *Sec. 14.1.13. (Opacity %)*.

E. Relief

1. An alternative to frontage screen standards may be requested in accordance with *Sec. 13B.5.1 (Alternative Compliance)*.
2. A deviation from any frontage screen dimensional standard of up to 10% may be requested in accordance with *Sec. 13B.5.2 (Adjustment)*.
3. A deviation from any frontage screen standard may be allowed as a variance in accordance with *Sec. 13B.5.3 (Variance)*.

SEC. 4C.8.2. **TRANSITION SCREENS**

A device or combination of elements along a common lot line that conceals, obstructs or protects abutting lots from impactful uses, activities, or site elements.

A. **Intent**

To mitigate negative impacts from subject uses, activities, or site elements on adjacent uses, promoting visual interest and increasing comfort for users of the subject lot, the public realm and adjacent lots.

B. **Applicability**

Transition screen standards are applicable when required by the applied *Use District (Part 5B)*, *Sec. 4C.2.2. (Motor Vehicle Use Area Design)*, *Sec. 4C.2.2.C.2. (Drive-Through Facilities)*, *Sec. 4C.2.2.C.3. (Freight Loading Areas)*, *Sec. 4C.4.4. (Parking Lot Design)*, *Sec. 4C.4.4. (Parking Structure Design)*, *Sec. 4C.8.2.C.2.a. (Freeway Screening)*, or *Sec. 8.3.2.A.3. (Freeway Screening)*.

C. **Standards**

1. **General**

- a. Required transition screens shall be located between the use, area, or site element subject to screening requirements and all common lot lines. Any walls and planting areas required by the transition screen type shall be continuous with the following exceptions:
 - i. Openings in a required transition screen accommodating pedestrian accessways are allowed for a width no greater than 6 feet in width for each individual pedestrian accessway.
 - ii. For portions of common lot lines where a building of no less than 10 feet in height is located between the common lot line and the use, area, or site element subject to transition screen requirements, no wall is required as part of the transition screen, provided that the building is contiguous with the required wall.
- b. Required transition screens including their sub-grade elements, such as footings or foundation, shall be located entirely on-site.
- c. Where there are overlapping transition screen requirements, the screen with the highest minimum wall shall apply. Where none of the required screen types have a fence or wall requirement, the screen type with the widest required planting area shall apply.
- d. Where a required transition screen includes a wall, the wall may only be located in the frontage yard if the wall complies with the allowed frontage yard fence and wall standards specified by the applied *Frontage District (Part 3B)*. Uses, activities, or site elements subject to screening requirements shall not be located in a frontage yard if the required minimum wall height specified by the transition screen exceeds the maximum height of allowed frontage yard fences and walls as specified by the *Frontage District (Part 3B)*.

- Screening -

- e. Where a required transition screen includes a wall with a minimum height that exceeds the maximum height allowed in the rear or side yard (See Sec 4C.7.2.C.2.), the maximum wall height shall be 2 feet greater than the minimum wall height specified by the transition screen.
- f. All walls provided in a transition screen shall comply with Sec. 4C.7.3 (*Fence/Wall Design and Installation*).
- g. All plants provided in a transition screen shall comply with Sec. 4C.4.4. (*Plant Design and Installation*).
- h. Maximum wall and fence height is regulated by Sec. 4C.7.1. (*Frontage Yard Fences & Walls*) and Sec. 4C.7.2. (*Side/Rear Yard Fences & Walls*).
- i. Walls provided to meet the standards of any required Transition Screen shall not include barbed or concertina wire.

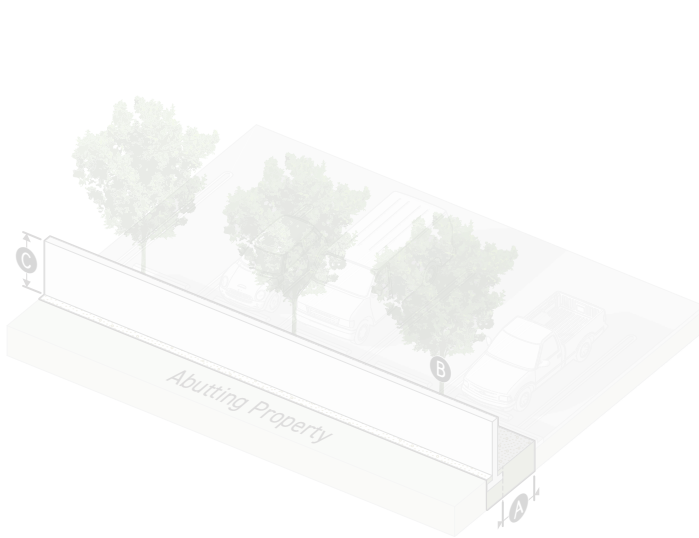
2. **Freeway Screening**

- a. Lots abutting a *Freeway (FWY) Special District* (Sec. 8.3.2.) shall provide a *T-3 transition screen* (Sec. 4C.8.2.C.2.c.) for the entire length of any lot line abutting a *Freeway (FWY) Special District*.
- b. In *Freeway (FWY) Special Districts* (Sec. 8.3.2.), *T-3 transition screens* (Sec. 4C.8.2.C.2.c.) shall be provided as according to Sec. 8.3.2.A.3. (*Freeway Screening*).

3. Transition Screen Types

a. T-Screen 1

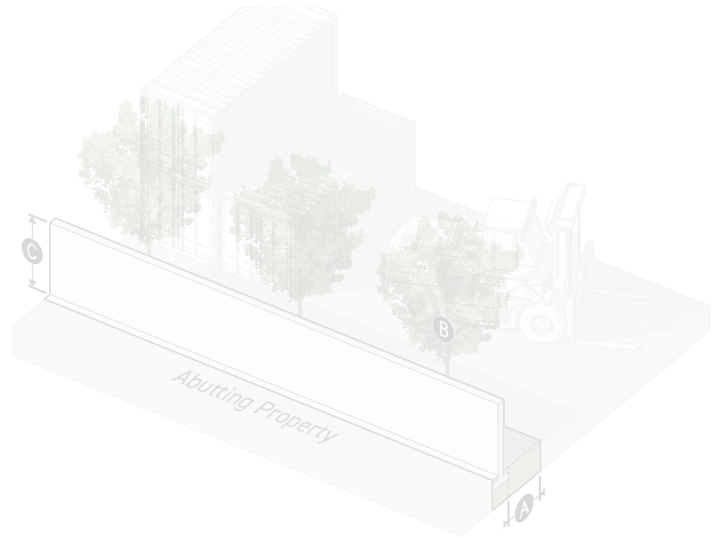
Intended for screening moderate-impact uses from abutting lower-intensity uses.



PLANTING AREA		Sec. 4C.8.2.D
A	Width (min)	5'
B	Large Species Trees (min per 50')	3
WALLS		Sec. 4C.8.2.D
C	Height (min)	6'
	Opacity	
	Below 6' (min)	100%
	6' and above (max)	50%

b. T-Screen 2

Intended for screening high-impact uses from lower-intensity abutting uses.



PLANTING AREA		Sec. 4C.8.2.D
A	Width (min)	5'
B	Large Species Trees (min per 50')	3
WALLS		Sec. 4C.8.2.D
C	Height (min)	10'
	Opacity	
	Below 10' (min)	100%
	10' and above (max)	100%

- Screening -

c. T-Screen 3

Intended for screening uses from adjacent sources of noise pollution and particulate air pollution such as freeways.



PLANTING AREA		Sec. 4C.8.2.D.
A	Width (min)	5'
B	Screening Plants (min per 50')	30
C	Large Species Trees (min per 50')	3
WALLS		Sec. 4C.8.2.D.
	Height (min)	None

D. Measurement

1. Planting Area

a. Width

For measuring planting area width see *Sec. 4C.4.4.D.1 (Planting Area Width)*.

b. Frequency

For measuring frequency, for example 5 per 50', see *Sec. 14.1.8. (Frequency)*.

c. Screening Plants

For screening plant standards see *Sec. 4C.4.4.C.3.b. (Screening Plants)*.

d. Large Species Trees

For large tree standards see *Sec. 4C.4.4.C.3.a.i (Tree Type- Large Species Tree)*.

2. Walls

a. Height

Transition screen wall height is measured for the portion of the wall constructed of concrete or masonry that has a minimum thickness of 8 inches and meets the minimum opacity specified by the *transition screen type (4C.8.2.C.3.)*. For measuring wall height in a rear yard or side yard, see *Sec. 4C.7.2.D. (Fence and Wall Height)*. For measuring wall height in a frontage yard see *Sec. 3C.3.2.D.2 (Fence and Wall Height)*.

b. Opacity

For measuring opacity see *Sec. 14.1.13. (Opacity %)*.

E. Relief

1. An alternative to transition screen standards may be requested in accordance with *Sec. 13B.5.1 (Alternative Compliance)*.
2. A deviation from any transition screen dimensional standard of up to 10% may be requested in accordance with *Sec. 13B.5.2 (Adjustment)*.
3. A deviation from any transition screen standard may be allowed as a variance in accordance with *Sec. 13B.5.3 (Variance)*.

SEC. 4C.8.3. **OUTDOOR STORAGE**

Material and equipment, new or used, held outside of a building for future use. Outdoor storage includes the storage of vehicles, boats, or airplanes which are inoperable, wrecked, damaged or unlicensed, i.e. not currently licensed by the Department of Motor Vehicles.

A. **Intent**

To ensure outdoor storage areas are designed in a manner that conceals, obstructs or protects abutting lots from impactful activities associated with outdoor storage.

B. **Applicability**

Outdoor storage screening standards are applicable where required by an applicable *Part 5B. Use District*. Outdoor storage screening standards do not apply to outdoor storage use areas where they are permitted by the applied *Use District (Part 5B)* but no outdoor storage screen is specified for the use.

C. **Standards**

1. **Location**

Outdoor storage and its screening enclosure shall not be located in any of the following locations:

- a. In a frontage yard.
- b. Closer to any frontage lot line than the frontage lot line setback listed in outdoor storage screen types.

2. **Screening Enclosure**

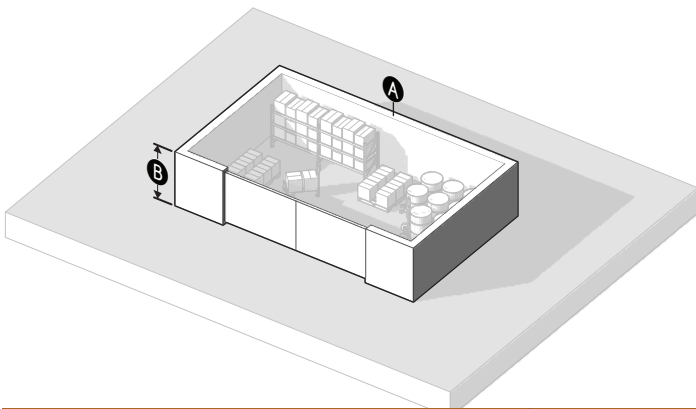
- a. Outdoor storage areas shall be screened with the outdoor storage screening type specified by the applicable *Use District (Part 5B)*.
- b. Necessary gates provided in the screening structure shall meet the standards of the specified outdoor storage screening type in addition to the following standards:
 - i. Shall have a height of no less than the minimum required fence or wall height.
 - ii. Where a screening structure is taller than the minimum height, gates may be no more than 1 foot shorter than the height of the wall or fence provided.
 - iii. In no case shall gates exceed the height of the screening structure by more than 1 foot.
- c. No material or equipment shall be stored to a height greater than the height of the enclosing wall or fence.
- d. In addition to complying with the standards of *Sec. 4C.7.3 (Fence/Wall Design and Installation)*, all provided fences and walls shall be constructed of non-combustible materials.

3. Outdoor Storage Screening Types

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU. Changes highlighted in the table below are introduced with the Boyle Heights Community Plan.]

a. S-Screen 1

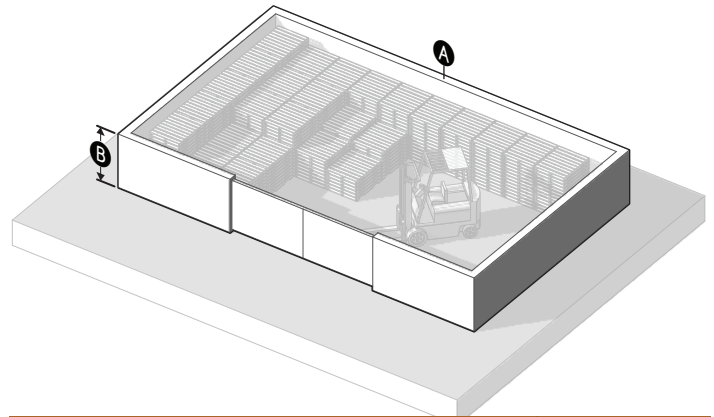
Applicable as required by *Article 5. (Use)*.



SITING		<i>Sec. 4C.8.3.D.</i>
Frontage lot line setback (min)	60'	
Area (max)	3,000 SF	
FENCES & WALLS		<i>Sec. 4C.8.3.D.</i>
A Enclosure (min)	100%	
B Height (min)	6'	
Opacity (min)	90%	

b. S-Screen 2

Applicable as required by *Article 5. (Use)*.



SITING		<i>Sec. 4C.8.3.D.</i>
Frontage lot line setback (min)	n/a	
Area (max)	n/a	
FENCES & WALLS		<i>Sec. 4C.8.3.D.</i>
A Enclosure (min)	100%	
B Height (min)	8'	
Opacity (min)	90%	
COVERING		<i>Sec. 4C.8.3.D.</i>
Covered (min)	100%	

D. Measurement

1. Siting

- a. For frontage yard designation see *Sec. 14.1.20.G. (Frontage Yard)*.
- b. Frontage lot line setbacks are measured perpendicular from all frontage lot lines toward the interior of the lot
- c. For lot line designation see *Sec. 14.1.12. (Lot Line Determination)*.
- d. For measurement of outdoor storage area, the area of an outdoor storage space is measured as all portions of a lot used for outdoor storage uses and enclosed by a screening structure. The area does not include the screening structure.

2. Fences and Walls

- a. For measurement of enclosure see *Sec. 14.1.4. (Enclosure)*.
- b. For measurement of fence or wall height see *Sec. 4C.7.1.D.2. (Fence and Wall Height)*.
- c. For measurement of opacity see *Sec. 14.1.13. (Opacity %)*.

3. Covering

For measurement of covered, see *Sec. 14.1.2. (Covered Area %)*.

E. Relief

1. An alternative to outdoor storage screening standards may be requested in accordance with *Sec. 13B.5.1 (Alternative Compliance)*.
2. A deviation from any outdoor storage screen type dimensional standard of up to 15% may be requested in accordance with *Sec. 13B.5.2 (Adjustment)*.
3. Deviation from any outdoor storage standard may be allowed as a variance in accordance with *Sec. 13B.5.3 (Variance)*.

DIV. 4C.9. **GRADING & RETAINING WALLS**

SEC. 4C.9.1. **GRADING & HAULING**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.9.2. **RETAINING WALLS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 4C.10. **OUTDOOR LIGHTING & GLARE**

SEC. 4C.10.1. **OUTDOOR LIGHTING**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.10.2. **GLARE**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 4C.11. **SIGNS**

SEC. 4C.11.1. **GENERAL SIGN RULES**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.11.2. **TEMPORARY SIGNS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.11.3. **OFF-SITE SIGNS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.11.4. **ON-SITE SIGNS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.11.5. **SIGN PACKAGES**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.11.6. **SIGN TYPES**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 4C.12. **SITE ELEMENTS**

SEC. 4C.12.1. **ROOF-MOUNTED EQUIPMENT**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.12.2. **GROUND-MOUNTED EQUIPMENT**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.12.3. **WALL-MOUNTED EQUIPMENT**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.12.4. **WIRELESS TELECOMMUNICATION FACILITIES**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.12.5. **WASTE RECEPTACLES**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.12.6. **RECYCLING AREAS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.12.7. **SHOPPING CART CONTAINMENT**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 4C.13. **ENVIRONMENTAL PROTECTION**

SEC. 4C.13.1. **ENVIRONMENTAL PROTECTION MEASURES**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 4C.13.2. **FREEWAY ADJACENCY**

A. **Intent**

1. Protect freeway-adjacent properties from air pollution.
2. Inform the public of health risks associated with vehicle exhaust and particulate matter.

B. **Applicability**

Freeway adjacency standards apply to all new construction and site modification.

C. **Standards**

1. **Required Signs**

- a. Any government owned, leased or operated building, or public park located within 1,000 feet of a freeway shall post a sign to notify the public as follows:

"NOTICE: Air pollution studies show a strong link between the chronic exposure of populations to vehicle exhaust and particulate matter from major roads and freeways and elevated risk of adverse health impacts, particularly in sensitive populations such as young children and older adults. Areas located within 500 feet of the freeway are known to experience the greatest concentration of ultrafine particulate matter and other pollutants implicated in asthma and other health conditions."

- b. The sign shall be posted at a shared main entrance or shared facility. Public parks shall post signage in restrooms. The sign must meet the following requirements:
 - i. A minimum size of 8.5 inches x 11 inches;
 - ii. Garamond bold condensed font type at 28 point size;
 - iii. English or English and Spanish;
 - iv. Durable sign made from plastic or aluminum or other hard surface; and
 - v. Fixed to a wall, door, or other physical structure.

2. **Required Screening**

Any property abutting a freeway is subject to the screening requirements specified in Sec. 4C.8.2.C.2. (*Freeway Screening*).

D. **Measurement**

Reserved.

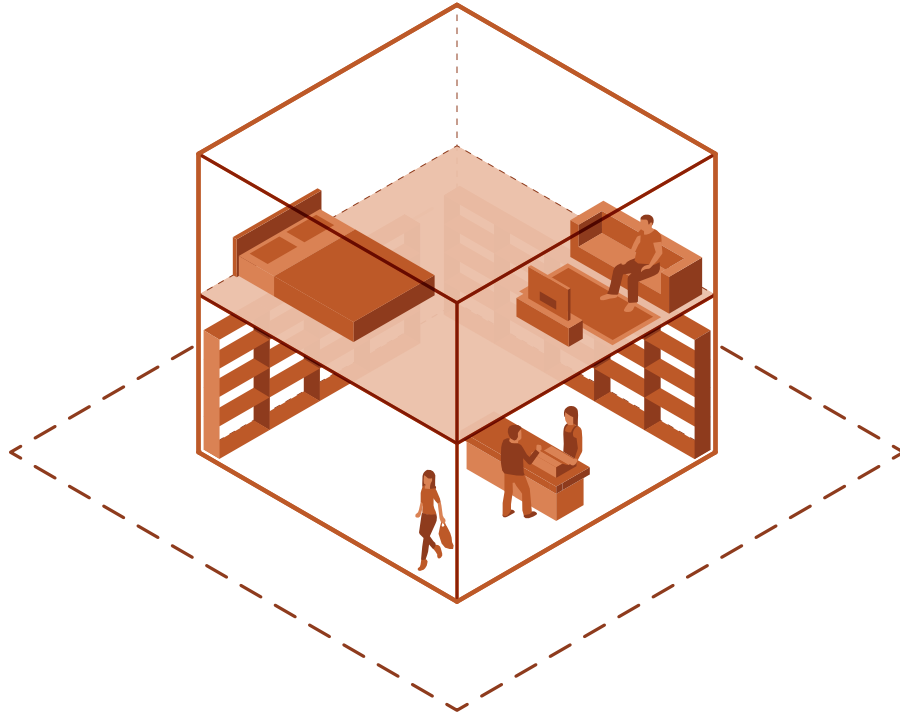
E. **Relief**

1. Deviation from any freeway adjacency standard may be requested as a variance in accordance with *Sec. 13B.5.3 (Variance)*.
2. Deviation from freeway screening requirements may be requested as specified in *Sec. 4C.8.2.E (Relief)*.

DIV. 4C.14. **DEVELOPMENT REVIEW**

SEC. 4C.14.1. **DEVELOPMENT REVIEW THRESHOLD PACKAGES**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]



ARTICLE 5. **USE**

[FORM - FRONTAGE - STANDARDS] [**USE** - DENSITY]

Part 5A. **Introduction**

Part 5B. **Use Districts**

Part 5C. **Use Rules**

The Downtown Community Plan will bring forward for adoption the New Zoning Code, including this Article via CPC-2014-1582-CA and CPC-2017-432-CPU. The Boyle Heights Community Plan will bring forward the unique zones and additional standards or regulations needed to implement the Boyle Heights Community Plan.

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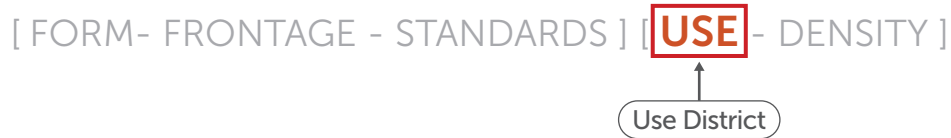
PART 5A. INTRODUCTION

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DIV. 5A.1. **ORIENTATION**

SEC. 5A.1.1. **RELATIONSHIP TO ZONE STRING**

A zone string is composed of the following Districts:



The Use District is a separate and independent component of each zone.

SEC. 5A.1.2. **HOW TO USE ARTICLE 5 (USE)**

A. **Identify the Applied Use District**

The fourth component in a zone string identifies the Use District applied to a property.

B. **Determine What Uses are Permitted**

1. **Reference the Use District Table**

Each Use District outlines the permissions levels and use limitations for all uses in a table that is organized by a uniform list of use categories and uses.

2. **Reference the Use Permissions**

Permission levels are outlined in *Div. 5C.2. (Use Permissions)*, and a key is also included in the footer of each page of the Use District table for each Use District.

3. **Reference the Use Definitions**

Refer to *Div. 5C.1. (Use Definitions)* to confirm the definition of any use listed in each Use District.

C. **Identify Use Standards**

Use District standards are outlined in *Div. 5C.3. (Use Standards)*. Each Use District page identifies the applicable standards specific to each use within that Use District.

1. **Identify Supplemental Standards**

When identified as a use standard on the Use District table, supplemental standards are required. The required supplemental standards for each use are outlined after the allowed uses and standards table for each Use District established in *Part 5B. (Use Districts)*.

2. Identify Supplemental Procedures

When identified as a use standard on the Use District table, supplemental procedures are required. The required supplemental procedures for each use are outlined after the supplemental standards for each Use District established in *Part 5B. (Use Districts)*.

D. Interpret Use Standards

Each use standard on a Use District page in *Part 5B. (Use Districts)* corresponds with a Section in *Part 5C. (Use Rules)*, where the use standard is explained in detail.

Use District Example:

Zone String

[LLM2-MU2-5] [**RG1** -FA]

Find Your Use District

Part 5B & 5C (Use Districts & Use Rules)

DIV. 5C.2. USE PERMISSIONS
SEC. 5C.2.1. GENERAL
 Use permission levels set out in each Use District table indicate how a use is permitted within the district. Permission levels range from permitted without requiring confirmation to any additional standards or conditions of approval, permitted only when specific standards are met, or permitted only through a process requiring approval by a decision-maker or decision-making body. Permission levels may be assigned to individual uses, sets, or entire use categories. Permission levels are represented within each Use District table using symbols that indicate which permission level is assigned to a particular use, set, or use category. The following sections summarize the meanings of each permission level.

SEC. 5C.2.2. PERMITTED (P)
 A use that is permitted without requiring confirmation to specific standards is indicated in the use table by the letter "P". Permitted uses are considered generally appropriate within a district without the need for specific standards to achieve a certain performance outcome or moderate potential effects a use may have on its surroundings.

SEC. 5C.2.3. USE STANDARD APPLIES (*)
 A use that is permitted only when conforming to a specific set of standards is indicated in the use table by the asterisk (*) symbol in combination with the underlying permission level. Any permission level may be combined with an "*" in order to cross-reference a specific set of standards, supplemental standards, or supplemental procedures that shall be applied. Standards, supplemental standards, or supplemental procedures indicated by the presence of an "*" are important for ensuring that a use exists and operates in a manner that is consistent with the intent of the Use District.

SEC. 5C.2.4. CC
 A use that requires of the public meet certain conditions may require special within the use table.

DIV. 5C.1. USE DEFINITIONS
SEC. 5C.1.1. RESIDENTIAL USES
 Any use listed considers a Dwelling Unit or Guest Room.

A. Class I Care
 1. **Class I Care**
 A Class I Care approval grant described in 5C.1.1.1 the use may be account for its

B. Group Living
 A group living facility of thirty (30) days or more within the use table.

C. Homeless Shelter

D. Household Living

E. Live Work
 1. **General**
 A live work unit combines both household living and live work uses within a single dwelling unit. Such units are subject to the same standards, supplemental standards, and supplemental procedures for both live work and household living uses. Such units are subject to the same standards, supplemental standards, and supplemental procedures for both live work and household living uses. Such units are subject to the same standards, supplemental standards, and supplemental procedures for both live work and household living uses.

2. Home Occupation
 An occupation carried on by the occupant or occupants of a Dwelling Unit as an Accessory Use. For Dwelling Units where Home Occupation is conducted, the Home Occupation shall be considered a Residential Use for zoning purposes.

F. Mobilehome Park

Reference the Use Permissions

Reference the Use Definitions

Interpret Any Supplemental Standards

DIV. 5B.4. RESIDENTIAL DISTRICTS
SEC. 5B.4.1. RESIDENTIAL GENERAL I (RG1)
A. Intent
 The RG1 Use District housing needs, in a municipal resources.

B. Allowed Uses & Use Limitations

Use	Permission	Use Standard	Specification
RESIDENTIAL USES			
Community Care Facility	P*		
Group Living	P*		
Household Living	P		Accessory to: Household Living
Live Work: Home Occupation	P*		Hours of operation (early/late): 8AM/8PM Client visits per hour (max): 1 Supplemental Standards: Sec. 5B.4.1.C.
Permanent Supportive Housing	P		
Medical	P*		Accessory to: Senior Living Non-Medical
PUBLIC & INSTITUTIONAL USES			
Civic: Local			
Medical, Major	C3		Supplemental Procedures: Sec. 5B.4.1.D.
Nature Reserve	P		
Office, Government, Social Services	P		
Open Space, Public	P		
Outdoor Recreation, Public	P		Use separation: Residential Use 100' Hours of operation (early/late): 7AM/10PM Outdoor sound system: C3 Relief: C2
Parking	P*		Accessory to: Allowed use
Penal Institution	C3		
Public Safety Facility	P		
Religious Assembly	C2		
School, All	P		
Sports Arena and Stadium, Major	C3		

KEY: "P" = Permitted Use; "*" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

Determine What Uses Are Permitted

if housing types for a variety of the efficient management of

Specified Use

Interpret Any Supplemental Procedures

Interpret Any Use Standards

C. Supplemental Standards

1. Home Occupation
 On-site deliveries and shipments related to the commercial use in a home occupation shall not be performed by vehicles having a designation greater than Class 4 or having a gross vehicular weight rating greater than 16,000 pounds. Deliveries from larger trucks shall occur no more frequently than once every 2 months.

2. Retail, Farmers' Market, Certified

a. Operator shall be limited to certified producers, non-profit organizations, and local government agencies.

b. When located on a parking lot, a Certified Farmers' Market shall not use more than 80% of the parking stalls required for permanent uses on the site.

c. Safety barricades shall be provided to separate and protect vendors and their customers from moving vehicles wherever active motor vehicular use areas and farmer's market activities are not separated by a permanent curb.

D. Supplemental Procedures

1. Medical, Major

a. The Zoning Administrator shall promptly notify the council-member that represents the area including the project site of the conditional use application.

b. In addition to the findings otherwise required by Sec. 13.4.2 (Conditional Use Permit, Class 2), the Zoning Administrator shall also consider:

i. That the proposed use will not adversely affect the welfare of the pertinent community.

DIV. 5C.2. USE STANDARDS
SEC. 5C.2.1. ACCESSORY TO

A. Intent
 To support the overall intent of the district by ensuring that the subject use exists as secondary to the specified use to which it is accessory, to allow for the flexibility of multi-use facilities while limiting the impacts of the subject use that would otherwise be detrimental.

B. Applicability
 Applies only when specified by the Use District as a required Use Standard.

C. Standards
 Uses that are accessory to a specified use shall not have a floor area greater than 25% of the floor area designated to the primary use to which it is accessory.

D. Measurement

1. For measuring floor area, see Sec. 34.1.7. (Floor Area).

2. The maximum allowed floor area of the accessory use is calculated by multiplying the total floor area designated for the primary use by 25%.

E. Relief
 See the Use District's allowed uses and use limitations.

SEC. 5C.2.2. ADAPTIVE REUSE PROJECT

A. Intent
 To encourage and facilitate the conversion and retention of existing or historically significant buildings. The goal is to reduce vacant space, as well as preserve the City's architectural and cultural past, and encourage the sustainable practice of retaining the inherent energy that goes into the construction of existing buildings.

B. Applicability
 Applies only when specified by the Use District as a required Use Standard.

C. Standards
 The specified use shall be provided within an adaptive reuse project that meets the standards of either Sec. 9.4.5. (Downtown Adaptive Reuse Projects) or Sec. 9.4.6. (Citywide Adaptive Reuse Projects).

SEC. 5A.1.3. **USE DISTRICT NAMING CONVENTION**

All Use District names are comprised of two components: a Use District Category and a variation number.

A. **Use District Category**

The first component of each Use District name is a Use District Category. Use District Category group all districts with similar characteristics. Use District Category are organized as follows:

1. Open Space
2. Agricultural
3. Residential
4. Residential-Mixed
5. Commercial-Mixed
6. Commercial
7. Industrial-Mixed
8. Industrial
9. Public

B. **Variation Number**

The last component of each Use District name is a variation number. All Use Districts are numbered in the order they fall within Article 5 (Use).



DIV. 5A.2. OPENING PROVISIONS

SEC. 5A.2.1. USE INTENT

The intent of Article 5 (Use) is to establish the Use Districts, Use Standards, and Use Definitions in order to regulate the activities on a lot, and to mitigate any potential impacts within a lot and on surrounding property as a result of those activities.

SEC. 5A.2.2. USE APPLICABILITY

A. General

1. Most lots, operations, and facilities will contain more than one use. No use that is not permitted by the Use District shall be allowed with the exception of incidental uses as established in *Sec. 5A.1.2.A.4. (Incidental Uses)*.
2. All projects filed after the effective date of this Zoning Code (Chapter 1A) shall comply with the Use District standards and all other provisions in Article 5 (Use), as further specified below. For vested rights, see *Sec. 1.4.5. (Vested Rights)*, and for continuance of existing development, see *Sec. 1.4.6. (Continuance of Existing Development)*.

B. Project Activities

1. Categories of Use rules apply to a project based on what types of project activities are proposed, as shown in the table below. Typically, more than one project activity will apply to a proposed project (for example, an addition will also include a use modification).

USE RULE CATEGORY		PROJECT ACTIVITIES								
		New Construction	Major Demolition	Lot Modification	Site Modification	Facade Modification	Use Modification	Temporary Use	Renovation	Maintenance & Repair
<i>Div. 5C.1.</i>	Use Definitions	●	○	○	○	○	●	●	○	○
<i>Div. 5C.2.</i>	Use Permissions	●	○	○	○	○	●	●	○	○
<i>Div. 5C.3.</i>	Use Standards	●	●	●	●	○	●	●	○	○

● = Rules generally apply to this project activity
 ○ = Rules are not applicable

2. Project activities are defined in *Sec. 14.1.15. (Project Activities)*.

3. Where a category of the Use rules are listed as generally applicable in the table above, the project activity shall meet all applicable Use standards within that Division. This general applicability may be further specified for each standard in the applicability provisions in *Part 5C. (Use Rules)*. Project applicability may also be modified by *Article 12. (Nonconformities)*. Where a category of Use rules is listed as not applicable in the table above, no standards from that Use rule category apply to the project activity.

C. Applicable Components of Lots, Buildings, and Structures

1. Use regulations apply to all portions of a lot.
2. Use regulations apply to all portions of buildings and structures on a lot.
3. Specific use regulations may further limit which components of buildings and lots are required to comply with *Part 5C (Use Rules)*.

D. Nonconformity

Article 12. (Nonconformity) provides relief from the requirements of Article 5 (Use) for existing lots, site improvements, buildings, structures, and uses that conformed to the zoning regulations, if any, at the time they were established, but do not conform to current Use District standards or use permissions. For lots with uses nonconforming as to the provisions of *Div. 5C.2. (Use Permissions)*, *Div. 5C.3. (Use Standards)*, or *Div. 5C.1. (Use Definitions)* specified by the applied Use District (*Part 5B*), no project activity may decrease the conformance with any regulations specified in Article 5 (Use), unless otherwise specified by *Div. 12.6. (Nonconforming Use)*. Consider the following examples:

1. An addition to an existing counter service business: Where the current total floor area of the use exceeds the maximum allowed commercial tenet size of the applied Use District, the addition is not allowed; however, the existing nonconforming tenet area is allowed to be continued.
2. Building a screening wall along the edge of a motor vehicle use area at a gas station: Where fueling station is not a permitted use in applied Use District, the screening wall site modification is allowed because it does not decrease the degree of non-conformity.
3. Demolition of a brewery facility where an accessory restaurant use remains: Where the restaurant is allowed only accessory to food and beverage manufacturing, this major demolition is not allowed unless the restaurant use is discontinued.

E. Incidental Uses

1. A use may be allowed as an incidental use, provided the Zoning Administrator determines it is incidental to and directly associated with an allowed use.
2. The Zoning Administrator shall consider the following characteristics when determining whether a use is incidental to and directly associated with an allowed use:
 - a. The use is customarily associated with the permitted use;
 - b. The use is subordinate in both intent and size to the permitted use;
 - c. The use is located on the same lot as the permitted use;
 - d. The use is abutting, adjacent to, or integrated within the use area of the permitted use;
 - e. The impact of the use is not detrimental when compared to the impact of the permitted use.
3. Where a use standard specifies the use is allowed only when incidental to a specified use, the subject use may not be allowed incidental to any other use except the specified use. See Sec. 5C.3.14. (*Incidental To*) for more standards rules.

SEC. 5A.2.3. **RELATIONSHIP TO FORM, FRONTAGE, & DEVELOPMENT STANDARDS**

Regardless of allowed uses, the form of a building, its architectural elements, and site improvements are regulated by Form, Frontage, and Development Standards Districts which shall be met. For example, an eating & drinking use might be allowed, but the Development Standard regulations may prohibit drive-through facilities.

SEC. 5A.2.4. **RELATIONSHIP TO DENSITY DISTRICTS**

Use Districts that contain provisions for Residential Uses do not include regulations regarding the number of dwelling units that are permitted. The Density District component of the zone-string, as described in *Article 6 (Density)*, is the mechanism that regulates the number of dwelling units permitted on any lot.

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DIV. 5B.1. OPEN SPACE DISTRICTS

Open Space Use Districts regulate open spaces to be preserved as natural resources or used for outdoor recreation opportunities.

SEC. 5B.1.1. OPEN SPACE 1 (OS1)

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU. Changes highlighted in the District below are introduced with the Boyle Heights Community Plan.]

A. Intent

The OS1 Use District is intended to protect and preserve natural resources, provide outdoor recreation opportunities, and facilitate the efficient management of municipal resources.

B. Allowed Uses & Use Limitations

Use	Permission	Use Standard	Specification
RESIDENTIAL			
Dwelling	--		
Household Business:			
Family Child Care	--		
Home Occupation	--		
Home Sharing	--		
Joint Living & Work Quarters	--		
Live/Work	--		
Mobilehome Park	--		
Supportive Housing:			
General	--		
Medical Care	--		
Transitional Shelter	--		
PUBLIC & INSTITUTIONAL			
		Building separation	
		Street (min)	300'
		Agricultural, Residential, or Residential-Mixed Use District (min)	300'
		Residential use (min)	300'
		Screening	
		Frontage screen	F-Screen 2
		Transition screen	T-Screen 1
Cemetery	P*		
Civic Facility:			
Local	P		
Regional	--		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

Use	Permission	Use Standard	Specification
Detention Facility	C3		
Fleet Services	--		
Medical:			
Local	--		
Regional	--		
Office, Government	--		
Parking	P*	In conjunction with:	Other allowed use
Public Safety Facility	P		
Religious Assembly	--		
School:			
Preschool/Daycare	--		
K-12	--		
Post-secondary	--		
Social Services	--		
Utilities:			
Minor	P*	Screening Frontage screen Transition screen	F-Screen 2 T-Screen 2
Major	C3		
Solar Energy Facility	C2*	In conjunction with: Floor area (min) Relief	Other allowed use 0.1 FAR C3
Wireless Facility, Monopole	C2*	Supplemental standards	Sec. 5B.1.1.C.1.
Wireless Facility, Rooftop	C2*	Supplemental standards	Sec. 5B.1.1.C.1.
OPEN SPACE & RECREATION			
Indoor Recreation, Commercial	--		
Nature Reserve	P		
Open Space, Public	P		
Outdoor Recreation, Commercial:			
General	C3*	Government owned	Required
Golf Course	C3*	Government owned	Required
Recreation, Public	P*	Use separation Residential Use Hours of operation (early/late) Outdoor sound system Relief	100' 7AM/10PM C3 C2
Amphitheater or Stadium			
Minor	C3		
Major	C3		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator;
 "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

- Open Space Districts -

Use	Permission	Use Standard	Specification
TRANSPORTATION			
Airport	--		
Freight Terminal	--		
Railway Facility	--		
Transit Station	--		
Heliport	--		
GENERAL COMMERCIAL			
	*	Government owned	Required
Animal Services:			
General	--		
Kennel	--		
Veterinary Care	--		
Commissary Kitchen	--		
Eating & Drinking:			
Alcohol Service	C2*	(see General Commercial) In conjunction with: Supplemental procedures	Restaurant Sec. 5B.1.1.D.1.
Bar	--		
Counter Service	C1*	(see General Commercial)	
Restaurant	C1*	(see General Commercial)	
Entertainment Venue:			
Local	C2*	(see General Commercial)	
Regional	C3*	(see General Commercial)	
Financial Services:			
General	--		
Alternative	--		
Instructional Services			
Lodging	--		
Medical Clinic	--		
Office	--		
Personal Services:			
General	--		
Massage, Licensed	--		
Massage, Unlicensed	--		
Postmortem Services			
Postmortem Services	--		
Retail:			
General	C1*	(see General Commercial)	
Alcohol	C1*	(see General Commercial)	

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 "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

Use	Permission	Use Standard	Specification
		<i>(see General Commercial)</i>	
Farmers' Market, Certified	C1*	Hours of operation (early/late)	7AM/7PM
		Service hours (early/late)	6AM/8PM
		Operating days per week (max)	2
		Special use program	Sec. 5C.4.1.
Firearms	--		
Food & Beverage	C1*	<i>(see General Commercial)</i>	
Large Format	--		
Merchant Market	--		
Pet Shop	--		
Temporary, Outdoor	C1*	<i>(see General Commercial)</i>	
Smoke & Vape Shop	--		
Sexually Oriented Business:			
General	--		
Sexual Encounter	--		
HEAVY COMMERCIAL			
Motor Vehicle Services:			
Light	--		
Heavy	--		
Car Wash	--		
Commercial Vehicle	--		
Fueling Station	--		
Motor Vehicle Sales & Rental:			
Commercial Vehicle	--		
Household Moving Truck Rental	--		
Standard Vehicle	--		
Storage, Indoor:			
General	--		
Self-Service Facility	--		
Storage, Outdoor:			
General	P*	Accessory to:	Other allowed use
		Screening	
		Outdoor storage screen	S-Screen 2
Cargo Container	--		
Official Motor Vehicle Impound	--		
Standard Vehicle	--		
Commercial Vehicle	--		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

- Open Space Districts -

Use	Permission	Use Standard	Specification
LIGHT INDUSTRIAL			
Electronics Assembly	--		
Maintenance & Repair Services	--		
Manufacturing, Light:			
General	--		
Alcoholic Beverage	--		
Artistic & Artisanal	--		
Cosmetic, Pharmaceutical	--		
Food & Drink	--		
Textile & Apparel	--		
Research & Development	C3*	Government owned	<i>Required</i>
Soundstages & Backlots	--		
Wholesale Trade & Warehousing	--		
HEAVY INDUSTRIAL			
Animal Products Processing	--		
Manufacturing, Heavy:	--		
General	--		
Chemical Products	--		
Petroleum & Coal Products	--		
Salvage Yard	--		
Recycling Facility:	--		
Collection	--		
Donation Bin	--		
Sorting & Processing	--		
Resource Extraction:			
General	--		
Exploratory Core Hole	C2*	Supplemental standards	<i>Sec. 5B.1.1.C.2.</i>
Off-Shore Drilling Servicing Installation	--		
Solid Waste Facility:			
Green Waste	--		
Hazardous Waste Facility	--		
Solid Waste	--		
AGRICULTURAL			
Animal Keeping:			
Bees	--		
Dairy	--		
Equine, Commercial	--		
Equine, Non-commercial	--		
Livestock	--		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

Use	Permission	Use Standard	Specification
Pets	--		
Small Animals	--		
Wild Animals	--		
Plant Cultivation:			
Community Garden	P		
Farming	--		
Truck Gardening	--		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

C. Supplemental Standards

1. Wireless Facility, All

The wireless facility shall meet all applicable standards required by *Sec. 4C.12.4. (Wireless Telecommunication Facilities)*.

2. Resource Extraction, Exploratory Core Hole

The maximum duration of a permit for exploratory core holes shall not exceed 200 days. However, where the Zoning Administrator, pursuant to *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, finds that drilling, testing, and proper abandonment cannot reasonably be completed within 200 days due to depth, deviation, or quantity of temporary geological exploratory core holes, the maximum duration may be increased to a total of 365 days.

D. Supplemental Procedures

1. Alcohol Service

- a. In addition to the notification otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall promptly notify the Council-member that represents the area including the project site of the conditional use application.
- b. In addition to the findings otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall also consider:
 - i. That the granting of the application will not result in an undue concentration of uses that dispense alcoholic beverages within a 1,000-foot radius of the lot according to the California Department of Alcoholic Beverage Control's guidelines for undue concentration.
 - ii. Consider the existing crime rate nearby, especially those crimes involving public drunkenness, the illegal sale or use of narcotics, drugs or alcohol, disturbing the peace, and disorderly conduct, and whether revocation or nuisance proceedings have been initiated for any similar use in the area.

- iii. That the proposed use will not detrimentally affect nearby Residential Use Districts or sensitive uses.
- c. Permission for multiple approvals to allow alcohol service for three or more tenant spaces may be applied for under a single conditional use permit entitlement, subject to the following:
 - i. Tenant spaces are maintained under a single ownership within a unified complex comprising a combined floor area of 10,000 square feet or greater on the same site.
 - ii. The entitlement application for multiple conditional use permits shall be subject to processes and procedures required by Sec. 13B.2.2. (Class 2 Conditional Use Permit).
 - iii. Project Review shall be completed for each individual tenant space resulting in approval for each individual tenant space prior to the establishment of the proposed use within the subject tenant space.
 - iv. Applications shall detail the square footage of each tenant space, suite or unit number, hours of operation, and specific nature of proposed use for each tenant-operator space.
 - v. Each individual tenant space shall be separately addressed with applicable site-specific conditions. Any change in tenant-operator shall be required to apply for Project Review in order to evaluate the applicability of existing conditions and review any potential changes in site operations and conditions.

DIV. 5B.2. **AGRICULTURAL DISTRICTS**

Agricultural Use Districts emphasize agriculture-related uses while also allowing for residential uses.

SEC. 5B.2.1. **AGRICULTURAL 1 (A1)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 5B.3. **RESIDENTIAL DISTRICTS**

Residential Use Districts emphasize residential uses and only allow a minimal amount of compatible services and amenities.

SEC. 5B.3.1. **RESIDENTIAL 1 (RG1)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5B.3.2. RESIDENTIAL 2 (RG2)

A. Intent

The RG2 Use District is intended to accommodate a wide variety of housing types for a variety of housing needs in a predominantly residential setting supported by local civic and recreational uses providing resources to a residential community.

B. Allowed Uses & Use Limitations

Use	Permission	Use Standard	Specification
RESIDENTIAL			
Dwelling	P		
Household Business:			
Family Child Care	P*	In conjunction with:	Dwelling
Home Occupation	P*	In conjunction with: Hours of operation (early/late) Client visits per hour (max) Supplemental standards	Dwelling 8AM/8PM 1 <i>Sec. 5B.3.1.C.1.</i>
Home Sharing	P*	In conjunction with: Special use program	Dwelling <i>Sec. 5C.4.4.</i>
Joint Living & Work Quarters	--		
Live/Work	--		
Mobilehome Park	--		
Supportive Housing:			
General	P		
Medical Care	P*	Accessory to:	Supportive Housing, General
Transitional Shelter	--		
PUBLIC & INSTITUTIONAL			
Cemetery	--		
Civic Facility:			
Local	P		
Regional	--		
Detention Facility	C3		
Fleet Services	--		
Medical:			
Local	C2		
Regional	C3		
Office, Government	--		
Parking	P*	In conjunction with:	Allowed use
Public Safety Facility	P		
Religious Assembly	C2		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator;
 "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

- Residential Districts -

Use	Permission	Use Standard	Specification
School:			
Preschool/Daycare	P*	Persons in care (max) Relief	20 C2
K-12	C3		
Post-secondary	C3		
Social Services	P		
Utilities:			
Minor	P*	Screening Frontage screen Transition screen	F-Screen 2 T-Screen 2
Major	C3		
Solar Energy Facility	C2*	In conjunction with: Floor area (min) Relief	Other allowed use 0.1 FAR C3
Wireless Facility, Monopole	C2*	Supplemental standards	Sec. 5B.3.1.C.2.
Wireless Facility, Rooftop	C2*	Supplemental standards	Sec. 5B.3.1.C.2.
OPEN SPACE & RECREATION			
Indoor Recreation, Commercial	--		
Nature Reserve	P		
Open Space, Public	P		
Outdoor Recreation, Commercial:			
General	--		
Golf Course	--		
Recreation, Public	P*	Use separation Residential Use Hours of operation (early/late) Outdoor sound system Relief	100' 7AM/10PM C3 C2
Amphitheater or Stadium			
Minor	C3		
Major	C3		
TRANSPORTATION			
Airport	--		
Freight Terminal	--		
Heliport	C2*	Incidental to:	<ul style="list-style-type: none"> Residential Office Medical Use
Railway Facility	--		
Transit Station	--		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

Use	Permission	Use Standard	Specification
GENERAL COMMERCIAL			
Animal Services:			
General	--		
Kennel	--		
Veterinary Care	--		
Commissary Kitchen			
Eating & Drinking:			
Alcohol Service	--		
Bar	--		
Counter Service	--		
Restaurant	--		
Entertainment Venue:			
Local	--		
Regional	--		
Financial Services:			
General	--		
Alternative	--		
Instructional Services			
Lodging			
Medical Clinic			
Office			
Personal Services:			
General	--		
Massage, Licensed	--		
Massage, Unlicensed	--		
Postmortem Services			
Retail:			
General	--		
Alcohol	--		
Farmers' Market, Certified	C1*	Hours of operation (early/late)	7AM/7PM
		Service hours (early/late)	6AM/8PM
		Operating days per week (max)	2
		Special use program	Sec. 5C.4.1.
Firearms	--		
Food & Beverage	--		
Large Format	--		
Merchant Market	--		
Pet Shop	--		
Temporary, Outdoor	--		
Smoke & Vape Shop	--		
Sexually Oriented Business:			
General	--		
Sexual Encounter	--		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

- Residential Districts -

Use	Permission	Use Standard	Specification
HEAVY COMMERCIAL			
Motor Vehicle Services:			
Light	--		
Heavy	--		
Car Wash	--		
Commercial Vehicle	--		
Fueling Station	--		
Motor Vehicle Sales & Rental:			
Commercial Vehicle	--		
Household Moving Truck Rental	--		
Standard Vehicle	--		
Storage, Indoor:			
General	--		
Self-Service Facility	--		
Storage, Outdoor:			
General	P*	Accessory to: Screening Outdoor storage screen	Other allowed use S-Screen 1
Cargo Container	--		
Official Motor Vehicle Impound	--		
Standard Vehicle	--		
Commercial Vehicle	--		
LIGHT INDUSTRIAL			
Electronics Assembly	--		
Maintenance & Repair Services	--		
Manufacturing, Light:			
General	--		
Alcoholic Beverage	--		
Artistic & Artisanal	--		
Cosmetic, Pharmaceutical	--		
Food & Drink	--		
Textile & Apparel	--		
Research & Development	--		
Soundstages & Backlots	--		
Wholesale Trade & Warehousing	--		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

Use	Permission	Use Standard	Specification
HEAVY INDUSTRIAL			
Animal Products Processing	--		
Manufacturing, Heavy:			
General	--		
Chemical Products	--		
Petroleum & Coal Products	--		
Salvage Yard	--		
Recycling Facility:			
Collection	P*	In conjunction with:	Public & Institutional use
		Area (max)	200 SF
		Building separation	
		Agricultural, Residential, or Residential-Mixed Use District (min)	150'
		Other buildings on site	10'
		Relief	C2
		Use enclosure	Covered and enclosed
		Screening	
		Outdoor storage screen	S-Screen 2
		Hours of operation (early/late)	7AM/7PM
		Supplemental standards	Sec. 5B.3.1.C.3.
Supplemental procedures	Sec. 5B.3.1.D.1.		
Donation Bin	--		
Sorting & Processing	--		
Resource Extraction:			
General	--		
Exploratory Core Hole	C2*	Supplemental standards	Sec. 5B.3.1.C.4.
Off-Shore Drilling Servicing Installation	--		
Solid Waste Facility:			
Green Waste	--		
Hazardous Waste Facility	--		
Solid Waste	--		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

Use	Permission	Use Standard	Specification
AGRICULTURAL			
Animal Keeping:			
Bees	P*	Accessory to:	Dwelling
		Lot Area (min)	
		Per beehive	2,500 SF
		Location	
		Frontage yard	Prohibited
		Setback (min)	
		Side, rear and alley lot lines	5'
		Screening	
		Transition screen	T-Screen 1
Exception	Rooftop location		
		Supplemental standards	Sec. 5B.3.1.C.5.
Dairy	--		
Equine, Commercial	--		
Equine, Non-commercial	P*	Lot area (min)	20,000SF
		Per equine	5,000SF
		Building separation	
		On-site Residential building	35'
		Off-site Residential building	75'
Relief	C1		
Livestock	--		
Pets	P*	In conjunction with:	Other allowed use
Small Animals	--		
Wild Animals	--		
Plant Cultivation:			
Community Garden	P		
Farming	--		
Truck Gardening	P		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

C. Supplemental Standards

1. Home Occupation

On-site deliveries and shipments related to the commercial use in a home occupation shall not be performed by vehicles having a gross vehicular weight rating designation greater than Class 4 or greater than 16,000 pounds. Deliveries from larger trucks shall occur no more frequently than once every 2 months.

2. Wireless Facility, All

The wireless facility shall meet all applicable standards required by Sec. 4C.12.4. (*Wireless Telecommunication Facilities*).

3. Recycling Facility, Collection

- a. All recycled goods, temporary installations, debris, trash, and any other material associated with the use, shall be placed or stored in a fully covered and enclosed recycling collection facility and not be left or stored outdoors beyond the hours of operation.
- b. The recycling collection facility enclosure shall be clearly identified with the operator's name, address, telephone number, hours of operation, and a notice that no material shall be left outside the enclosure, and each recycling receptacle shall clearly indicate the type of material to be deposited.

4. Resource Extraction, Exploratory Core Hole

The maximum duration of a permit for exploratory core holes shall not exceed 200 days. However, where the Zoning Administrator, pursuant to *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, finds that drilling, testing, and proper abandonment cannot reasonably be completed within 200 days due to depth, deviation, or quantity of temporary geological exploratory core holes, the maximum duration may be increased to a total of 365 days.

5. Animal Keeping, Bees

- a. Bee keeping operator shall be registered as a beekeeper with the Los Angeles County Agricultural Commission.
- b. A water source for bees shall be provided at all times on the lot where the bees are kept.

D. Supplemental Procedures

1. Recycling Facilities, Collection

An annual site inspection shall be conducted by LADBS pursuant to *Sec. 13B.10.3. (Annual Inspection Monitoring - Auto Dismantling Yards, Junk Yards, Scrap Metal or Recycling Materials Processing Yards, Recycling Collection Centers, Buyback Centers, Recycling Materials Sorting Facilities, and Cargo Container Storage Yards)*.

DIV. 5B.4. RESIDENTIAL-MIXED DISTRICTS

Residential-Mixed Use Districts emphasize residential uses and only allow a minimal amount of compatible services and amenities and limited commercial uses.

SEC. 5B.4.1. RESIDENTIAL-MIXED 1 (RX1)

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU. Changes highlighted in the District below are introduced with the Boyle Heights Community Plan.]

A. Intent

The RX1 Use District is intended to accommodate a wide variety of housing types for a variety of housing needs, in a primarily residential setting supported by neighborhood-serving commercial uses and facilitate the efficient management of municipal resources.

B. Allowed Uses & Use Limitations

Use	Permission	Use Standard	Specification
RESIDENTIAL			
Dwelling	P		
Household Business:			
Family Child Care	P*	In conjunction with:	Dwelling
		In conjunction with:	Dwelling
Home Occupation	P*	Hours of operation (early/late)	8AM/8PM
		Client visits per hour (max)	1
		Supplemental standards	<i>Sec. 5B.4.1.C.1.</i>
Home Sharing	P*	In conjunction with:	Dwelling
		Special use program	<i>Sec. 5C.4.4.</i>
Joint Living & Work Quarters	--		
Live/Work	--		
Mobilehome Park	--		
Supportive Housing:			
General	P		
Medical Care	P		
Transitional Shelter	P		
PUBLIC & INSTITUTIONAL			
Cemetery	--		
Civic Facility:			
Local	P		
Regional	--		
Detention Facility	C3		
Fleet Services	--		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

Use	Permission	Use Standard	Specification
Medical:			
Local	C2		
Regional	C3		
Office, Government	P*	Non-residential tenant size (max)	1,500 SF
		Relief	C2
		Upper story location	Prohibited
		Hours of operation (early/late)	6AM/10PM
Parking	P*	In conjunction with:	Allowed use
Public Safety Facility	P		
Religious Assembly	C2		
School:			
Preschool/Daycare	P*	Persons in care (max)	20
		Relief	C2
K-12	P		
Post-secondary	P		
Social Services	P		
Utilities:			
Minor	P*	Screening	
		Frontage screen	F-Screen 2
		Transition screen	T-Screen 2
Major	C3		
Solar Energy Facility	C2*	In conjunction with:	Other allowed use
		Floor area (min)	0.1 FAR
		Relief	C3
Wireless Facility, Monopole	C2*	Supplemental standards	Sec. 5B.4.1.C.2.
Wireless Facility, Rooftop	C2*	Supplemental standards	Sec. 5B.4.1.C.2.
OPEN SPACE & RECREATION			
Indoor Recreation, Commercial	P*	Non-residential tenant size (max)	1,500 SF
		Relief	C2
		Upper story location	Prohibited
		Hours of operation (early/late)	6AM/10PM
Nature Reserve	P		
Open Space, Public	P		
Recreation, Public	P*	Use separation	
		Residential Use	100'
		Hours of operation (early/late)	7AM/10PM
		Outdoor sound system	C3
		Relief	C2
Outdoor Recreation, Commercial:			
General	--		
Golf Course	--		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

- Residential-Mixed Districts -

Use	Permission	Use Standard	Specification
Amphitheater or Stadium			
Minor	C3		
Major	C3		
TRANSPORTATION			
Airport	--		
Freight Terminal	--		
Heliport	C2*	Incidental to:	Residential Use, Office or Medical
Railway Facility	--		
Transit Station	--		
GENERAL COMMERCIAL	*	Non-residential tenant size (max)	1,500 SF
		Relief	C2
		Upper story location	Prohibited
		Hours of operation (early/late)	6AM/10PM
Animal Services:			
General	--		
Kennel	--		
Veterinary Care	--		
Commissary Kitchen	--		
Eating & Drinking:			
Alcohol Service	C2*	(see General Commercial)	
		In conjunction with: Supplemental procedures	Restaurant Sec. 5B.4.1.D.1.
Bar	C2*	(see General Commercial)	
		Supplemental procedures	Sec. 5B.4.1.D.2.
Counter Service	P*	(see General Commercial)	
Restaurant	P*	(see General Commercial)	
Entertainment Venue:			
Local	--		
Regional	--		
Financial Services:			
General	--		
Alternative	--		
Instructional Services	P*	(see General Commercial)	
Lodging	--		
Medical Clinic	--		
Office	P*	(see General Commercial)	
Personal Services:			
General	P*	(see General Commercial)	
Massage, Licensed	P*	(see General Commercial)	
Massage, Unlicensed	--		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

Use	Permission	Use Standard	Specification
Postmortem Services	--		
Retail:			
General	P*	(see General Commercial)	
Alcohol	C2*	(see General Commercial)	
Farmers' Market, Certified	C1*	Hours of operation (early/late)	7AM/7PM
		Service hours (early/late)	8AM/8PM
		Operating days per week (max)	2
		Special use program	Sec. 5C.4.1.
Firearms	--		
Food & Beverage	P*	(see General Commercial)	
Large Format	--		
Merchant Market	--		
Pet Shop	--		
Temporary, Outdoor	--		
Smoke & Vape Shop	--		
Sexually Oriented Business:	--		
General	--		
Sexual Encounter	--		
HEAVY COMMERCIAL			
Motor Vehicle Services:			
Light	--		
Heavy	--		
Car Wash	--		
Commercial Vehicle	--		
Fueling Station	--		
Motor Vehicle Sales & Rental:			
Household Moving Truck Rental	--		
Standard Vehicle	--		
Commercial Vehicle	--		
Storage, Indoor:			
General	--		
Self-Service Facility	--		
Storage, Outdoor:			
General	P*	Accessory to: Screening	Other allowed use S-Screen 1
Cargo Container	--	Outdoor storage screen	
Official Motor Vehicle Impound	--		
Standard Vehicle	--		
Commercial Vehicle	--		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

- Residential-Mixed Districts -

Use	Permission	Use Standard	Specification
LIGHT INDUSTRIAL			
Electronics Assembly	--		
Maintenance & Repair Services	--		
Manufacturing, Light:			
General	--		
Alcoholic Beverage	--		
Artistic & Artisanal	--		
Cosmetic, Pharmaceutical	--		
Food & Drink	--		
Textile & Apparel	--		
Research & Development	--		
Soundstages & Backlots	C3		
Wholesale Trade & Warehousing	--		
HEAVY INDUSTRIAL			
Animal Products Processing	--		
Manufacturing, Heavy:			
General	--		
Chemical Products	--		
Petroleum & Coal Products	--		
Salvage Yard	--		
Recycling Facility:			
		In conjunction with:	Public & Institutional use
		Area (max)	200 SF
		Building separation	
		Agricultural, Residential, or Residential-Mixed Use District (min)	150'
		Other buildings on site	10'
Collection	P*	Relief	C2
		Use enclosure	Covered and enclosed
		Screening	
		Outdoor storage screen	S-Screen 2
		Hours of operation (early/late)	7AM/7PM
		Supplemental standards	Sec. 5B.3.1.C.3.
		Supplemental procedures	Sec. 5B.3.1.D.1.
Donation Bin	--		
Sorting & Processing	--		
Resource Extraction:			
General	--		
Exploratory Core Hole	C2*	Supplemental standards	Sec. 5B.4.1.C.3.
Off-Shore Drilling Servicing Installation	--		
Solid Waste Facility:			

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

Use	Permission	Use Standard	Specification
Green Waste	--		
Hazardous Waste Facility	--		
Solid Waste	--		
AGRICULTURAL			
Animal Keeping:			
		Accessory to:	Dwelling
		Lot Area (min)	
		Per beehive	2,500 SF
		Location	
		Frontage yard	Prohibited
Bees	P*	Use Setback (min)	
		Side, rear and alley lot lines	5'
		Screening	
		Transition screen	T-Screen 1
		Exception	Rooftop location
		Supplemental standards	Sec. 5B.4.1.C.4.
Dairy	--		
Equine, Commercial	--		
Equine, Non-commercial	--		
Livestock	--		
Pets	P*	In conjunction with:	Other allowed use
Small Animals	--		
Wild Animals	--		
Plant Cultivation:			
Community Garden	P		
Farming	--		
Truck Gardening	P		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

C. Supplemental Standards

1. Home Occupation

On-site deliveries and shipments related to the commercial use in a home occupation shall not be performed by vehicles having a gross vehicular weight rating designation greater than Class 4 or greater than 16,000 pounds. Deliveries from larger trucks shall occur no more frequently than once every 2 months.

2. Wireless Facility, All

The wireless facility shall meet all applicable standards required by Sec. 4C.12.4. (*Wireless Telecommunication Facilities*).

3. Recycling Facility, Collection

- a. All recycled goods, temporary installations, debris, trash and any other material associated with the use shall be placed or stored in a fully covered and enclosed recycling collection facility and not be left or stored outdoors beyond the hours of operation.
- b. The recycling collection facility enclosure shall be clearly identified with the operator's name, address, telephone number, hours of operation, and a notice that no material shall be left outside the enclosure, and each recycling receptacle shall clearly indicate the type of material to be deposited.

4. Resource Extraction, Exploratory Core Hole

The maximum duration of a permit for exploratory core holes shall not exceed 200 days. However, where the Zoning Administrator, pursuant to *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, finds that drilling, testing, and proper abandonment cannot reasonably be completed within 200 days due to depth, deviation, or quantity of temporary geological exploratory core holes, the maximum duration may be increased to a total of 365 days.

5. Animal Keeping, Bees

- a. Bee keeping operator shall be registered as a beekeeper with the Los Angeles County Agricultural Commission.
- b. A water source for bees shall be provided at all times on the lot where the bees are kept.

D. Supplemental Procedures

1. Alcohol Service

- a. In addition to the notification otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall promptly notify the Council-member that represents the area including the project site of the conditional use application.
- b. In addition to the findings otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall also consider:
 - i. That the granting of the application will not result in an undue concentration of uses that dispense alcoholic beverages within a 1,000-foot radius of the lot according to the California Department of Alcoholic Beverage Control's guidelines for undue concentration.
 - ii. Consider the existing crime rate nearby, especially those crimes involving public drunkenness, the illegal sale or use of narcotics, drugs or alcohol, disturbing the peace, and disorderly conduct, and whether revocation or nuisance proceedings have been initiated for any similar use in the area.
 - iii. That the proposed use will not detrimentally affect nearby Residential Use Districts or sensitive uses.

- c. Permission for multiple approvals to allow alcohol service for three or more tenant spaces may be applied for under a single conditional use permit entitlement, subject to the following:
 - i. Tenant spaces are maintained under a single ownership within a unified complex comprising a combined floor area of 10,000 square feet or greater on the same site.
 - ii. The entitlement application for multiple conditional use permits shall be subject to processes and procedures required by Sec. 13B.2.2. (Class 2 Conditional Use Permit).
 - iii. Project Review shall be completed for each individual tenant space resulting in approval for each individual tenant space prior to the establishment of the proposed use within the subject tenant space.
 - iv. Applications shall detail the square footage of each tenant space, suite or unit number, hours of operation, and specific nature of proposed use for each tenant-operator space.
 - v. Each individual tenant space shall be separately addressed with applicable site-specific conditions. Any change in tenant-operator shall be required to apply for Project Review in order to evaluate the applicability of existing conditions and review any potential changes in site operations and conditions.

2. **Bar**

- a. In addition to the notification otherwise required by Sec. 13B.2.2. (Class 2 Conditional Use Permit), the Zoning Administrator shall promptly notify the Council-member that represents the area including the project site of the conditional use application.
- b. In addition to the findings otherwise required by Sec. 13B.2.2. (Class 2 Conditional Use Permit), the Zoning Administrator shall also consider:
 - i. That the proposed use will not adversely affect the welfare of the pertinent community.
 - ii. That the granting of the application will not result in an undue concentration of premises for the sale or dispensing for consideration of alcoholic beverages, including beer and wine, in the area of the City involved, giving consideration to applicable State laws and to the California Department of Alcoholic Beverage Control's guidelines for undue concentration; and also giving consideration to the number and proximity of these establishments within a 1,000-foot radius of the lot, the crime rate in the area (especially those crimes involving public drunkenness, the illegal sale or use of narcotics, drugs or alcohol, disturbing the peace, and disorderly conduct), and whether revocation or nuisance proceedings have been initiated for any use in the area.

- iii. That the proposed use will not detrimentally affect nearby residentially zoned communities in the area of the City involved, after giving consideration to the distance of the proposed use from sensitive uses, and other establishments dispensing alcoholic beverages, including beer and wine.
- c. Permission for multiple approvals to allow bars for three or more tenant spaces may be applied for under a single conditional use permit entitlement, subject to the following:
 - i. Tenant spaces are maintained under a single ownership within a unified complex comprising a combined floor area of 10,000 square feet or greater on the same site.
 - ii. The entitlement application for multiple conditional use permits shall be subject to processes and procedures required by Sec. 13B.2.2. (Class 2 Conditional Use Permit).
 - iii. Project Review shall be completed for each individual tenant space resulting in approval for each individual tenant space prior to the establishment of the proposed use within the subject tenant space.
 - iv. Applications shall detail the square footage of each tenant space, suite or unit number, hours of operation, and specific nature of proposed use for each tenant-operator space.
 - v. Each individual tenant space shall be separately addressed with applicable site-specific conditions. Any change in tenant-operator shall be required to apply for Project Review in order to evaluate the applicability of existing conditions and review any potential changes in site operations and conditions.

3. **Recycling Facilities, Collection**

An annual site inspection shall be conducted by LADBS pursuant to *Sec. 13B.10.3. (Annual Inspection Monitoring - Auto Dismantling Yards, Junk Yards, Scrap Metal or Recycling Materials Processing Yards, Recycling Collection Centers, Buyback Centers, Recycling Materials Sorting Facilities, and Cargo Container Storage Yards)*.

SEC. 5B.4.2. RESIDENTIAL-MIXED 2 (RX2)

A. Intent

The RX2 Use District is intended to accommodate a wide variety of housing types for a variety of housing needs in a primarily residential setting supported by neighborhood-serving commercial uses, local civic and recreational uses providing resources to a residential community. The district generally limits commercial uses to corner sites and a 1,500 square foot establishment size.

B. Allowed Uses & Use Limitations

Use	Permission	Use Standard	Specification
RESIDENTIAL			
Dwelling	P		
Household Business:			
Family Child Care	P*	In conjunction with:	Dwelling
Home Occupation	P*	In conjunction with: Hours of operation (early/late) Client visits per hour (max) Supplemental standards	Dwelling 8AM/8PM 1 Sec. 5B.4.2.C.1.
Home Sharing	P*	In conjunction with: Special use program	Dwelling Sec. 5C.4.4.
Joint Living & Work Quarters	--		
Live/Work	--		
Mobilehome Park	--		
Supportive Housing:			
General	P		
Medical Care	P		
Transitional Shelter	P		
PUBLIC & INSTITUTIONAL			
Cemetery	--		
Civic Facility:			
Local	P		
Regional	--		
Detention Facility	C3		
Fleet Services	--		
Medical:			
Local	C2		
Regional	C3		
Office, Government	--		
Parking	P*	In conjunction with:	Allowed use
Public Safety Facility	P		
Religious Assembly	C2		
School:			

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

- Residential-Mixed Districts -

Use	Permission	Use Standard	Specification
Preschool/Daycare	P*	Persons in care (max)	20
		Relief	C2
K-12	C3		
Post-secondary	C3		
Social Services	P		
Utilities:			
Minor	P*	Screening	
		Frontage screen	F-Screen 2
		Transition screen	T-Screen 2
Major	C3		
Solar Energy Facility	C2*	In conjunction with:	Other allowed use
		Floor area (min)	0.1 FAR
		Relief	C3
Wireless Facility, Monopole	C2*	Supplemental standards	Sec. 5B.4.2.C.2.
Wireless Facility, Rooftop	C2*	Supplemental standards	Sec. 5B.4.2.C.2.
OPEN SPACE & RECREATION			
Indoor Recreation, Commercial	--		
Nature Reserve	P		
Open Space, Public	P		
Outdoor Recreation, Commercial:			
General	--		
Golf Course	--		
Recreation, Public	P*	Use separation	
		Residential Use	100'
		Hours of operation (early/late)	7AM/10PM
		Outdoor sound system	C3
		Relief	C2
Amphitheater or Stadium			
Minor	C3		
Major	C3		
TRANSPORTATION			
Airport	--		
Freight Terminal	--		
Heliport	C2*	Incidental to:	Residential Use, Office or Medical
Railway Facility	--		
Transit Station	--		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

Use	Permission	Use Standard	Specification
GENERAL COMMERCIAL	*	Non-residential tenant size (max)	1,500 SF
		Relief	C2
		Lot Eligibility	Corner Lot
		Upper story location	Prohibited
		Hours of operation (early/late)	6AM/10PM
Animal Services:			
General	--		
Kennel	--		
Veterinary Care	--		
Commissary Kitchen	--		
Eating & Drinking:			
Alcohol Service	--		
Bar	--		
Counter Service	--		
Restaurant	--		
Entertainment Venue:			
Local	--		
Regional	--		
Financial Services:			
General	--		
Alternative	--		
Instructional Services	--		
Lodging	--		
Medical Clinic	--		
Office	--		
Personal Services:			
General	P*	<i>(see General Commercial)</i>	
Massage, Licensed	P*	<i>(see General Commercial)</i>	
Massage, Unlicensed	--		
Postmortem Services	--		
Retail:			
General	P*	<i>(see General Commercial)</i>	
Alcohol	--		
Farmers' Market, Certified	C1*	Hours of operation (early/late)	7AM/7PM
		Service hours (early/late)	6AM/8PM
		Operating days per week (max)	2
		Special use program	Sec. 5C.4.2.
Firearms	--		
Food & Beverage	P*	<i>(see General Commercial)</i>	
Large Format	--		
Merchant Market	--		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

- Residential-Mixed Districts -

Use	Permission	Use Standard	Specification
Pet Shop	--		
Temporary, Outdoor	--		
Smoke & Vape Shop	--		
Sexually Oriented Business:	--		
General	--		
Sexual Encounter	--		
HEAVY COMMERCIAL			
Motor Vehicle Services:			
Light	--		
Heavy	--		
Car Wash	--		
Commercial Vehicle	--		
Fueling Station	--		
Motor Vehicle Sales & Rental:			
Household Moving Truck Rental	--		
Standard Vehicle	--		
Commercial Vehicle	--		
Storage, Indoor:			
General	--		
Self-Service Facility	--		
Storage, Outdoor:			
General	P*	Accessory to: Screening Outdoor storage screen	Other allowed use S-Screen 1
Cargo Container	--		
Official Motor Vehicle Impound	--		
Standard Vehicle	--		
Commercial Vehicle	--		
LIGHT INDUSTRIAL			
Electronics Assembly	--		
Maintenance & Repair Services	--		
Manufacturing, Light:			
General	--		
Alcoholic Beverage	--		
Artistic & Artisanal	--		
Cosmetic, Pharmaceutical	--		
Food & Drink	--		
Textile & Apparel	--		
Research & Development	--		
Soundstages & Backlots	C3		
Wholesale Trade & Warehousing	--		

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Use	Permission	Use Standard	Specification
HEAVY INDUSTRIAL			
Animal Products Processing	--		
Manufacturing, Heavy:			
General	--		
Chemical Products	--		
Petroleum & Coal Products	--		
Salvage Yard	--		
Recycling Facility:			
		In conjunction with:	Public & Institutional use
		Area (max)	200 SF
		Building separation	
		Agricultural, Residential, or Residential-Mixed Use District (min)	150'
		Other buildings on site	10'
Collection	P*	Relief	C2
		Use enclosure	Covered and enclosed
		Screening	
		Outdoor storage screen	S-Screen 2
		Hours of operation (early/late)	7AM/7PM
		Supplemental standards	Sec. 5B.3.1.C.3.
		Supplemental procedures	Sec. 5B.3.1.D.1.
Donation Bin	--		
Sorting & Processing	--		
Resource Extraction:			
General	--		
Exploratory Core Hole	C2*	Supplemental standards	Sec. 5B.4.2.C.4.
Off-Shore Drilling Servicing Installation	--		
Solid Waste Facility:			
Green Waste	--		
Hazardous Waste Facility	--		
Solid Waste	--		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

Use	Permission	Use Standard	Specification
AGRICULTURAL			
Animal Keeping:			
Bees	P*	Accessory to:	Dwelling
		Lot Area (min)	
		Per beehive	2,500 SF
		Location	
		Frontage yard	Prohibited
		Use Setback (min)	
		Side, rear and alley lot lines	5'
		Screening	
		Transition screen	T-Screen 1
		Exception	Rooftop location
		Supplemental standards	Sec. 5B.4.2.C.5.
Dairy	--		
Equine, Commercial	--		
Equine, Non-commercial	--		
Livestock	--		
Pets	P*	In conjunction with:	Other allowed use
Small Animals	--		
Wild Animals	--		
Plant Cultivation:			
Community Garden	P		
Farming	--		
Truck Gardening	P		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

C. Supplemental Standards

1. Home Occupation

On-site deliveries and shipments related to the commercial use in a home occupation shall not be performed by vehicles having a gross vehicular weight rating designation greater than Class 4 or greater than 16,000 pounds. Deliveries from larger trucks shall occur no more frequently than once every 2 months.

2. Wireless Facility, All

The wireless facility shall meet all applicable standards required by Sec. 4C.12.4. (*Wireless Telecommunication Facilities*).

3. Recycling Facility, Collection

- a. All recycled goods, temporary installations, debris, trash and any other material associated with the use shall be placed or stored in a fully covered and enclosed recycling collection facility and not be left or stored outdoors beyond the hours of operation.

- b. The recycling collection facility enclosure shall be clearly identified with the operator's name, address, telephone number, hours of operation, and a notice that no material shall be left outside the enclosure, and each recycling receptacle shall clearly indicate the type of material to be deposited.

4. **Resource Extraction, Exploratory Core Hole**

The maximum duration of a permit for exploratory core holes shall not exceed 200 days. However, where the Zoning Administrator, pursuant to *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, finds that drilling, testing, and proper abandonment cannot reasonably be completed within 200 days due to depth, deviation, or quantity of temporary geological exploratory core holes, the maximum duration may be increased to a total of 365 days.

5. **Animal Keeping, Bees**

- a. Bee keeping operator shall be registered as a beekeeper with the Los Angeles County Agricultural Commission.
- b. A water source for bees shall be provided at all times on the lot where the bees are kept.

D. **Supplemental Procedures**

1. **Recycling Facilities, Collection**

An annual site inspection shall be conducted by LADBS pursuant to *Sec. 13B.10.3. (Annual Inspection Monitoring - Auto Dismantling Yards, Junk Yards, Scrap Metal or Recycling Materials Processing Yards, Recycling Collection Centers, Buyback Centers, Recycling Materials Sorting Facilities, and Cargo Container Storage Yards)*.

DIV. 5B.5. **COMMERCIAL-MIXED DISTRICTS**

Commercial-Mixed Use Districts promote neighborhoods with a mixture of uses including commercial and residential.

SEC. 5B.5.1. **COMMERCIAL-MIXED 1 (CX1)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5B.5.2. **COMMERCIAL-MIXED 2 (CX2)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU. Changes highlighted in the District below are introduced with the Boyle Heights Community Plan.]

A. **Intent**

The CX2 Use District allows for commercial uses generally within a 50,000 square foot establishment size on the ground story, as well as a wide range of housing types. The Use District is intended to support a broad range of residential, commercial, and civic facility uses to serve surrounding neighborhoods as well as visitors to the area. Public and institutional services and amenities are also allowed.

B. **Allowed Uses & Use Limitations**

Use	Permission	Use Standard	Specification
RESIDENTIAL			
Dwelling	P		
Household Business:			
Family Child Care	P*	Accessory to:	Dwelling
Home Occupation	P*	Accessory to:	Dwelling
		Hours of operation (early/late)	8AM/8PM
		Client visits per hour (max)	1
		Supplemental standards	Sec. 5B.5.2.C.1.
Home Sharing	P*	In conjunction with:	Dwelling
		Special use program	Sec. 5C.4.4.
Joint Living & Work Quarters	P*	Designated work space:	
		Work space area (min/max)	10%/50%
		Workspace uses	<ul style="list-style-type: none"> • Office • Personal Services: General • Manufacturing, Light: General • Manufacturing, Light: Artistic & Artisanal
Live/Work	P*	Unit size (min avg.)	750 SF
		Designated work space	
		Work space area (min/max)	48%/50%
		Work space dimensions (min)	10' X 15'
		Workspace uses	<ul style="list-style-type: none"> • Office • Personal Services: General • Manufacturing, Light: General • Manufacturing, Light: Artistic & Artisanal
		Open plan area (min)	70%

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Use	Permission	Use Standard	Specification
Mobilehome Park	--		
Supportive Housing:			
General	P		
Medical Care	P		
Transitional Shelter	P		
PUBLIC & INSTITUTIONAL			
Cemetery	P*	Building separation	
		Street (min)	300'
		Agricultural, Residential, or Residential-Mixed Use District (min)	300'
		Residential use (min)	300'
		Screening	
		Frontage screen	F-Screen 2
Transition screen	T-Screen 1		
Civic Facility:			
Local	P		
Regional	--		
Detention Facility	C3		
Fleet Services	--		
Medical:			
Local	P		
Regional	P		
Office, Government	P		
Parking	P		
Public Safety Facility	P		
Religious Assembly	P		
School:			
Preschool/Daycare	P*	Persons in care (max)	50
K-12	P		
Post-secondary	P		
Social Services	P		
Utilities:			
Minor	P*	Screening	
		Frontage screen	F-Screen 2
		Transition screen	T-Screen 2
Major	C3		
Solar Energy Facility	P*	In conjunction with:	Other allowed use
		Floor area (min)	0.1 FAR
		Relief	C3
Wireless Facility, Monopole	C2*	Supplemental standards	Sec. 5B.5.2.C.2.
Wireless Facility, Rooftop	P*	Supplemental standards	Sec. 5B.5.2.C.2.

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

Use	Permission	Use Standard	Specification
OPEN SPACE & RECREATION			
Indoor Recreation, Commercial	P*	Non-residential tenant size (max)	50,000 SF
		Upper story location	Prohibited
Nature Reserve	P		
Open Space, Public	P		
Outdoor Recreation, Commercial:			
General	P		
Golf Course	--		
Recreation, Public	P		
Amphitheater or Stadium			
Minor	P*		
Major	C3		
TRANSPORTATION			
Airport	--		
Freight Terminal	--		
Heliport	C2*	Incidental to:	Residential Uses, Office or Medical
Railway Facility	--		
Transit Station	P		
GENERAL COMMERCIAL			
	*	Non-residential tenant size (max)	50,000 SF
		Relief	C2
Animal Services:			
General	P*	<i>(see General Commercial)</i>	
		Use enclosure	Fully indoor
Kennel	--		
Veterinary Care	P*	<i>(see General Commercial)</i>	
		Use enclosure	Fully indoor
Commissary Kitchen	P*	<i>(see General Commercial)</i>	
Daycare Facility:			
General	P*	Persons in care (max)	50
In-home	P*	Accessory to:	Dwelling
Eating & Drinking:			
Alcohol Service	C2*	<i>(see General Commercial)</i>	
		In conjunction with:	Restaurant
		Supplemental procedures	Sec. 5B.5.2.D.1.
Bar	C2*	<i>(see General Commercial)</i>	
		Supplemental procedures	Sec. 5B.5.2.D.2.
Counter Service	P*		
Restaurant	P*	<i>(see General Commercial)</i>	

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- Commercial-Mixed Districts -

Use	Permission	Use Standard	Specification
Entertainment Venue:			
Local	P*	(see General Commercial)	
Regional	P*	(see General Commercial)	
Financial Services:			
General	P*	(see General Commercial)	
Alternative	C2*	(see General Commercial)	
Instructional Services	P*	(see General Commercial)	
Lodging	P*	Use separation (min)	
		Agricultural, Residential, or Residential-Mixed Use District	500'
		Exception	Regional Center, Transit Core, or Traditional Core General Plan Designation
		Supplemental standards	Sec. 5B.5.2.C.3.
		Relief	C2
Medical Clinic	P*	(see General Commercial)	
Office	P		
Personal Services:			
General	P*	(see General Commercial)	
Massage, Licensed	P*	(see General Commercial)	
Massage, Unlicensed	--		
Postmortem Services	C2*	(see General Commercial)	
Retail:			
General	P*	(see General Commercial)	
Alcohol	C2*	(see General Commercial)	
		Supplemental procedures	Sec. 5B.5.2.D.3.
Farmers' Market, Certified	C1*	Hours of operation (early/late)	7AM/9PM
		Service hours	6AM/10PM
		Operating days per week (max)	2
		Special use program	Sec. 5C.4.1.
Food & Beverage	P*	(see General Commercial)	
Large Format	--		
Merchant Market	P		
Pet Shop	P*	(see General Commercial)	
Temporary Outdoor	C2		
Smoke & Vape Shop	P*	(see General Commercial)	
Sexually Oriented Business:			
General	P*	(see General Commercial)	
Sexual Encounter	--		

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Use	Permission	Use Standard	Specification
HEAVY COMMERCIAL			
Motor Vehicle Services:			
Light	--		
Heavy	--		
Car Wash	--		
Commercial Vehicle	--		
Fueling Station	--		
Motor Vehicle Sales & Rental:			
Commercial Vehicle	--		
Household Moving Truck Rental	--		
Standard Vehicle	--		
Storage, Indoor:			
General	--		
Self-Service Facility	--		
Storage, Outdoor:			
General	P*	Accessory to:	Other allowed use
		Screening	
		Outdoor storage screen	S-Screen 1
Cargo Container	--		
Commercial Vehicle	--		
Official Motor Vehicle Impound	--		
Standard Vehicle	--		
LIGHT INDUSTRIAL	*	Non-residential tenant size (max)	50,000 SF
		Relief	C2
Electronics Assembly	--		
Maintenance & Repair Services	--		
Manufacturing, Light:			
General	--		
Alcoholic Beverage	C2*	(see Light Industrial)	
		Accessory to:	Restaurant
Artistic & Artisanal	P*	(see Light Industrial)	
		Accessory to:	General Retail or Merchant Market
Cosmetic, Pharmaceutical	--		
Food & Drink	--		
Textile & Apparel	--		
Research & Development	C3*	see Light Industrial)	
Soundstages & Backlots	C3*	(see Light Industrial)	
Wholesale Trade & Warehousing	--		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

Use	Permission	Use Standard	Specification
HEAVY INDUSTRIAL			
Animal Products Processing	--		
Manufacturing, Heavy:			
General	--		
Chemical Products	--		
Petroleum & Coal Products	--		
Salvage Yard	--		
Recycling Facility:			
Collection	P*	In conjunction with	Other allowed use
		Area (max)	600 SF
		Building separation	
		Agricultural, Residential, or Residential-Mixed Use District (min)	100'
		Other buildings on the site	10'
		Relief	C2
		Use enclosure	Covered and enclosed
		Screening	
		Outdoor storage screen	S-Screen 2
		Hours of operation (early/late)	7AM/7PM
		Supplemental standards	Sec. 5B.5.2.C.4.
		Supplemental procedures	Sec. 5B.5.2.D.4.
		Donation Bin	P*
Size	Height: 82" Depth: 50" Width: 60"		
Use separation			
Agricultural, Residential, or Residential-Mixed Use District (min)	100'		
Use setback			
Frontage lot line (min)	20'		
Common lot line (min)	10'		
Use enclosure	Covered and enclosed		
Supplemental standards	Sec. 5B.5.2.C.5.		
Supplemental procedures	Sec. 5B.5.2.D.4.		
Sorting & Processing	--		
Resource Extraction:			
General	--		
Exploratory Core Hole	C2*	Supplemental standards	Sec. 5B.5.2.C.6.
Off-Shore Drilling Servicing Installation	--		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

Use	Permission	Use Standard	Specification
Solid Waste Facility:			
Green Waste	--		
Hazardous Waste Facility	--		
Solid Waste	--		
AGRICULTURAL			
Animal Keeping:			
Bees	--		
Dairy	--		
Equine, Commercial	--		
Equine, Non-commercial	--		
Livestock	--		
Pets	P*	In conjunction with:	Other allowed use
Small Animals	--		
Wild Animals	--		
Plant Cultivation:			
Community Garden	P		
Farming	--		
Truck Gardening	P		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

C. Supplemental Standards

1. Home Occupation

On-site deliveries and shipments related to the commercial use in a home occupation shall not be performed by vehicles having a gross vehicular weight rating designation greater than Class 4 or greater than 16,000 pounds. Deliveries from larger trucks shall occur no more frequently than once every 2 months.

2. Wireless Facility, All

The wireless facility shall meet all applicable standards required by *Sec. 4C.12.4. (Wireless Telecommunication Facilities)*.

3. Lodging

A Lodging use shall not be permitted where it requires a change of use from any residential use.

4. Recycling Facility, Collection

- a. All deposited goods and materials, temporary installations, debris, trash, and any other material associated with the use shall be placed or stored in a fully covered and enclosed recycling facility, and not be left or stored outdoors beyond the hours of operation.

- b. Collection facilities shall be emptied in accordance with their posted pick-up schedule, and the area surrounding the collection bins shall be maintained free of overflow goods and materials, litter, debris, posted bills, and graffiti at all times.
- c. In order to prevent unauthorized access to the collection facility, a tamper-resistant locking mechanism shall secure the opening of the collection facility.
- d. The receptacle, container, or bin in which goods and materials are stored shall be fabricated of durable, noncombustible, and waterproof materials.
- e. The recycling collection facility enclosure shall be clearly identified with the operator's name, address, and telephone number, the lot owner's name, address of the lot, the types of items or materials that may be deposited, the pick-up schedule, a notice that no material shall be left outside the enclosure, and instructions to call 311 to register any complaint regarding the facility with the Department of Building and Safety.

5. **Recycling Facility, Donation Bin**

- a. No more than one collection bin shall be located on any lot.
- b. Collection bins shall be emptied in accordance with their posted pick-up schedule, and the area surrounding the collection bins shall be maintained free of overflow goods and materials, litter, debris, posted bills, and graffiti at all times.
- c. In order to prevent unauthorized access to the collection bin, a tamper-resistant locking mechanism shall secure the opening of the collection bin.
- d. The collection bin shall be fabricated of durable, noncombustible, and waterproof materials.
- e. Collection bins shall be illuminated between sunset and sunrise by a light source providing at least 1 footcandle of light.
- f. The collection bin shall be clearly identified with the operator's name, address, and telephone number, the lot owner's name, address of the lot, the types of items or materials that may be deposited, the pick-up schedule, a notice that no material shall be left outside the enclosure, and instructions to call 311 to register any complaint regarding the collection bin with the Department of Building and Safety.

6. **Resource Extraction, Exploratory Core Hole**

The maximum duration of a permit for exploratory core holes shall not exceed 200 days. However, where the Zoning Administrator, pursuant to *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, finds that drilling, testing, and proper abandonment cannot reasonably be completed within 200 days due to depth, deviation, or quantity of temporary geological exploratory core holes, the maximum duration may be increased to a total of 365 days.

D. Supplemental Procedures

1. Alcohol Service

- a. In addition to the notification otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall promptly notify the Council-member that represents the area including the project site of the conditional use application.
- b. In addition to the findings otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall also consider:
 - i. That the granting of the application will not result in an undue concentration of uses that dispense alcoholic beverages within a 1,000-foot radius of the lot according to the California Department of Alcoholic Beverage Control’s guidelines for undue concentration.
 - ii. Consider the existing crime rate nearby, especially those crimes involving public drunkenness, the illegal sale or use of narcotics, drugs or alcohol, disturbing the peace, and disorderly conduct, and whether revocation or nuisance proceedings have been initiated for any similar use in the area.
 - iii. That the proposed use will not detrimentally affect nearby Residential Use Districts or sensitive uses.
- c. Permission for multiple approvals to allow alcohol service for three or more tenant spaces may be applied for under a single conditional use permit entitlement, subject to the following:
 - i. Tenant spaces are maintained under a single ownership within a unified complex comprising a combined floor area of 10,000 square feet or greater on the same site.
 - ii. The entitlement application for multiple conditional use permits shall be subject to processes and procedures required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*.
 - iii. Project Review shall be completed for each individual tenant space resulting in approval for each individual tenant space prior to the establishment of the proposed use within the subject tenant space.
 - iv. Applications shall detail the square footage of each tenant space, suite or unit number, hours of operation, and specific nature of proposed use for each tenant-operator space.
 - v. Each individual tenant space shall be separately addressed with applicable site-specific conditions. Any change in tenant-operator shall be required to apply for Project Review in order to evaluate the applicability of existing conditions and review any potential changes in site operations and conditions.

2. Bar

- a. In addition to the notification otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall promptly notify the Council-member that represents the area including the project site of the conditional use application.
- b. In addition to the findings otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall also consider:
 - i. That the granting of the application will not result in an undue concentration of uses that dispense alcoholic beverages within a 1,000-foot radius of the lot according to the California Department of Alcoholic Beverage Control's guidelines for undue concentration.
 - ii. Consider, the existing crime rate nearby, especially those crimes involving public drunkenness, the illegal sale or use of narcotics, drugs or alcohol, disturbing the peace, and disorderly conduct, and whether revocation or nuisance proceedings have been initiated for any similar use in the area.
 - iii. That the proposed use will not detrimentally affect nearby Residential Use Districts or sensitive uses.
- c. Permission for multiple approvals to allow bars for three or more tenant spaces may be applied for under a single conditional use permit entitlement, subject to the following:
 - i. Tenant spaces are maintained under a single ownership within a unified complex comprising a combined floor area of 10,000 square feet or greater on the same site.
 - ii. The entitlement application for multiple conditional use permits shall be subject to processes and procedures required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*.
 - iii. Project Review shall be completed for each individual tenant space resulting in approval for each individual tenant space prior to the establishment of the proposed use within the subject tenant space.
 - iv. Applications shall detail the square footage of each tenant space, suite or unit number, hours of operation, and specific nature of proposed use for each tenant-operator space.
 - v. Each individual tenant space shall be separately addressed with applicable site-specific conditions. Any change in tenant-operator shall be required to apply for Project Review in order to evaluate the applicability of existing conditions and review any potential changes in site operations and conditions.

3. Retail, Alcohol

- a. In addition to the notification otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall promptly notify the Council-member that represents the area including the project site of the conditional use application.
- b. In addition to the findings otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall also consider:
 - i. That the granting of the application will not result in an undue concentration of uses that dispense alcoholic beverages within a 1,000-foot radius of the lot according to the California Department of Alcoholic Beverage Control’s guidelines for undue concentration.
 - ii. Consider the existing crime rate nearby, especially those crimes involving public drunkenness, the illegal sale or use of narcotics, drugs or alcohol, disturbing the peace, and disorderly conduct, and whether revocation or nuisance proceedings have been initiated for any similar use in the area.
 - iii. That the proposed use will not detrimentally affect nearby Residential Use Districts or sensitive uses

4. Recycling Facilities, Collection

An annual site inspection shall be conducted by LADBS pursuant to *Sec. 13B.10.3. (Annual Inspection Monitoring - Auto Dismantling Yards, Junk Yards, Scrap Metal or Recycling Materials Processing Yards, Recycling Collection Centers, Buyback Centers, Recycling Materials Sorting Facilities, and Cargo Container Storage Yards)*.

SEC. 5B.5.3. **COMMERCIAL-MIXED 3 (CX3)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU. Changes highlighted in the District below are introduced with the Boyle Heights Community Plan.]

A. **Intent**

The CX3 Use District allows for primarily commercial uses. This District is intended to accommodate a variety of uses, mixing housing with small and large-scale commercial amenities and services.

B. **Allowed Uses & Use Limitations**

Use	Permission	Use Standard	Specification
RESIDENTIAL			
Dwelling	P		
Household Business:			
Family Child Care	P*	In conjunction with:	Dwelling
Home Occupation	P*	In conjunction with:	Dwelling
		Hours of operation (early/late)	8AM/8PM
		Client visits per hour (max)	1
		Supplemental standards	Sec. 5B.5.3.C.1.
Home Sharing	P*	In conjunction with:	Dwelling
		Special use program	Sec. 5C.4.4.
Joint Living & Work Quarters	P*	Designated work space:	
		Work space area (min/max)	10%/50%
		Workspace uses	<ul style="list-style-type: none"> • Office • Personal Services: General • Manufacturing, Light: General • Manufacturing, Light: Artistic & Artisanal
Live/Work	P*	Unit size (min avg.)	750 SF
		Designated work space	
		Work space area (min/max)	48%/50%
		Work space dimensions (min)	10' X 15'
		Workspace uses	<ul style="list-style-type: none"> • Office • Personal Services: General • Manufacturing, Light: General • Manufacturing, Light: Artistic & Artisanal
Mobilehome Park	--		

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Use	Permission	Use Standard	Specification
Supportive Housing:			
General	P		
Medical Care	P		
Transitional Shelter	P		
PUBLIC & INSTITUTIONAL			
Cemetery	P*	Building separation	
		Street (min)	300'
		Agricultural, Residential, or Residential-Mixed Use District (min)	300'
		Residential use (min)	300'
		Screening	
		Frontage screen	F-Screen 2
		Transition screen	T-Screen 1
Civic Facility:			
Local	P		
Regional	P		
Detention Facility	C3		
Fleet Services	--		
Medical:			
Local	P		
Regional	P		
Office, Government	P		
Parking	P		
Public Safety Facility	P		
Religious Assembly	P		
School:			
Preschool/Daycare	P*	Persons in care (max)	50
K-12	P		
Post-secondary	P		
Social Services	P		
Utilities:			
Minor	P*	Screening	
		Frontage screen	F-Screen 2
		Transition screen	T-Screen 2
Major	C3		
Solar Energy Facility	P*	In conjunction with:	Other allowed use
		Floor area (min)	0.1 FAR
		Relief	C3
Wireless Facility, Monopole	C2*	Supplemental standards	Sec. 5B.5.3.C.1.
Wireless Facility, Rooftop	P*	Supplemental standards	Sec. 5B.5.3.C.1.

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- Commercial-Mixed Districts -

Use	Permission	Use Standard	Specification
OPEN SPACE & RECREATION			
Indoor Recreation, Commercial	P		
Nature Reserve	P		
Open Space, Public	P		
Outdoor Recreation, Commercial:			
General	P		
Golf Course	--		
Recreation, Public	P		
Amphitheater or Stadium			
Minor	P		
Major	C3		
TRANSPORTATION			
Airport	--		
Freight Terminal	--		
Heliport	C2*	Incidental to:	Allowed use
Railway Facility	--		
Transit Station	P		
GENERAL COMMERCIAL			
Animal Services:			
General	P*	Use enclosure	Fully indoor
Kennel	--		
Veterinary Care	P*	Use enclosure	Fully indoor
Commissary Kitchen	P		
Eating & Drinking:			
Alcohol Service	C2*	In conjunction with: Supplemental procedures	Restaurant <i>Sec. 5B.5.3.D.1.</i>
Bar	C2*	Supplemental procedures	<i>Sec. 5B.5.3.D.2.</i>
Counter Service	P		
Restaurant	P		
Entertainment Venue:			
Local	P		
Regional	P		
Financial Services:			
General	P		
Alternative	C2		
Instructional Services	P		

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Use	Permission	Use Standard	Specification
Lodging	P*	Use separation (min)	
		Agricultural, Residential, or Residential-Mixed Use District	500'
		Exception	Regional Center, Transit Core, or Traditional Core General Plan Designation
		Supplemental standards Relief	Sec. 5B.5.3.C.3. C2
Medical Clinic	P		
Office	P		
Personal Services:			
General	P		
Massage, Licensed	P		
Massage, Unlicensed	--		
Postmortem Services	C2		
Retail:			
General	P		
Alcohol	C2*	Supplemental procedures	Sec. 5B.5.3.D.3.
Farmers' Market, Certified	C1*	Hours of operation (early/late)	7AM/9PM
		Service hours	6AM/10PM
		Operating days per week (max)	2
		Special use program	Sec. 5C.4.1.
Firearms	C2*	Supplemental procedures	Sec. 5B.5.3.D.4.
Food & Beverage	P		
Large Format	C3*	Supplemental procedures	Sec. 5B.5.3.D.5.
Merchant Market	P		
Pet Shop	P		
Temporary Outdoor	C2		
Smoke & Vape Shop	P		
Sexually Oriented Business:			
General	P		
Sexual Encounter	--		

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Use	Permission	Use Standard	Specification
HEAVY COMMERCIAL			
Motor Vehicle Services:			
Light	--		
Heavy	--		
Car Wash	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Use enclosure	
		Car Wash, mechanized	Fully indoor
		Car Wash, self-service	Covered
		Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1
		Hours of service and operation (early/late)	7AM/7PM
		Outdoor sound system	Prohibited
		Supplemental standards	Sec. 5B.5.3.C.4.
Commercial Vehicle	--		
Fueling Station	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1
		Service hours (early/late)	7AM/7PM
		Outdoor sound system	Prohibited
		Supplemental standards	Sec. 5B.5.3.C.5.
Motor Vehicle Sales & Rental:			
Commercial Vehicle	--		
Household Moving Truck Rental	C2*	Accessory to:	Self-Service Indoor Storage
		Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1
Standard Vehicle	P*	Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1

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Use	Permission	Use Standard	Specification
Storage, Indoor:			
General	--		
Self-Service Facility	C2		
Storage, Outdoor:			
General	P*	Accessory to:	Other allowed use
		Screening	
		Outdoor storage screen	S-Screen 1
Cargo Container	--		
Commercial Vehicle	--		
Official Motor Vehicle Impound	--		
Standard Vehicle	--		
LIGHT INDUSTRIAL			
Electronics Assembly	--		
Maintenance & Repair Services	--		
Manufacturing, Light:			
General	--		
Alcoholic Beverage	P*	Accessory to:	Restaurant
Artistic & Artisanal	P*	Accessory to:	Retail: General, Merchant Market
Cosmetic, Pharmaceutical	--		
Food & Drink	P*	Accessory to:	Eating & Drinking: General, Restaurant
Textile & Apparel	P*	Accessory to:	Retail: General, Merchant Market
Research & Development	C3		
Soundstages & Backlots	C3		
Wholesale Trade & Warehousing	--		
HEAVY INDUSTRIAL			
Animal Products Processing	--		
Manufacturing, Heavy:			
General	--		
Chemical Products	--		
Petroleum & Coal Products	--		
Salvage Yard	--		

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Use	Permission	Use Standard	Specification
Recycling Facility:			
Collection	P*	In conjunction with	Other allowed use
		Area (max)	600 SF
		Building separation	
		Agricultural, Residential, or Residential-Mixed Use District (min)	100'
		Other buildings on the site	10'
		Relief	C2
		Use enclosure	Covered and enclosed
		Screening	
		Outdoor storage screen	S-Screen 2
		Hours of operation (early/late)	7AM/7PM
		Supplemental standards	Sec. 5B.5.3.C.6.
Supplemental procedures	Sec. 5B.5.3.D.6.		
Donation Bin	P*	In conjunction with:	Other allowed use
		Size	Height: 82" Depth: 50" Width: 60"
		Use separation	
		Agricultural, Residential, or Residential-Mixed Use District (min)	100'
		Use setback	
		Frontage lot line (min)	20'
		Common lot line (min)	10'
		Use enclosure	Covered and enclosed
		Supplemental standards	Sec. 5B.6.3.C.7.
Supplemental procedures	Sec. 5B.6.3.D.6.		
Sorting & Processing	--		
Resource Extraction:			
General	--		
Exploratory Core Hole	C2*	Supplemental standards	Sec. 5B.6.3.C.8.
Off-Shore Drilling Servicing Installation	--		
Solid Waste Facility:			
Green Waste	--		
Hazardous Waste Facility	--		
Solid Waste	--		
AGRICULTURAL			
Animal Keeping:			
Bees	--		

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Use	Permission	Use Standard	Specification
Dairy	--		
Equine, Commercial	--		
Equine, Non-commercial	--		
Livestock	--		
Pets	P*	In conjunction with:	Other allowed use
Small Animals	--		
Wild Animals	--		
Plant Cultivation:			
Community Garden	P		
Farming	--		
Truck Gardening	P		

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

C. Supplemental Standards

1. Home Occupation

On-site deliveries and shipments related to the commercial use in a home occupation shall not be performed by vehicles having a gross vehicular weight rating designation greater than Class 4 or greater than 16,000 pounds. Deliveries from larger trucks shall occur no more frequently than once every 2 months.

2. Wireless Facility, All

The wireless facility shall meet all applicable standards required by *Sec. 4C.12.4. (Wireless Telecommunication Facilities)*.

3. Lodging

A lodging use shall not be permitted where it requires a change of use from any residential use.

4. Motor Vehicle Services, Car Wash

Bay doors and other building entrances and exits designed and intended for motor vehicles shall not face any residential use or school unless the residential use or school is located more than 100 feet from the car wash facility.

5. Motor Vehicle Services, Fueling Station

An off-street loading area, in compliance with development standard requirements for loading areas (*Sec. 4C.2.2.3.*), shall be provided to adequately accommodate all loading and unloading of fuel, vehicles, goods, and any other activities requiring the use of commercial vehicles for transportation.

6. Recycling Facility, Collection

- a. All deposited goods and materials, temporary installations, debris, trash, and any other material associated with the use shall be placed or stored in a fully covered and enclosed recycling facility, and not be left or stored outdoors beyond the hours of operation.
- b. Collection facilities shall be emptied in accordance with their posted pick-up schedule, and the area surrounding the collection bins shall be maintained free of overflow goods and materials, litter, debris, posted bills, and graffiti at all times.
- c. In order to prevent unauthorized access to the collection facility, a tamper-resistant locking mechanism shall secure the opening of the collection facility.
- d. The receptacle, container, or bin in which goods and materials are stored shall be fabricated of durable, noncombustible, and waterproof materials.
- e. The recycling collection facility enclosure shall be clearly identified with the operator's name, address, and telephone number, the lot owner's name, address of the lot, the types of items or materials that may be deposited, the pick-up schedule, a notice that no material shall be left outside the enclosure, and instructions to call 311 to register any complaint regarding the facility with the Department of Building and Safety.

7. Recycling Facility, Donation Bin

- a. No more than one collection bin shall be located on any lot.
- b. Collection bins shall be emptied in accordance with their posted pick-up schedule, and the area surrounding the collection bins shall be maintained free of overflow goods and materials, litter, debris, posted bills, and graffiti at all times.
- c. In order to prevent unauthorized access to the collection bin, a tamper-resistant locking mechanism shall secure the opening of the collection bin.
- d. The collection bin shall be fabricated of durable, noncombustible, and waterproof materials.
- e. Collection bins shall be illuminated between sunset and sunrise by a light source providing at least 1 footcandle of light.
- f. The collection bin shall be clearly identified with the operator's name, address, and telephone number, the lot owner's name, address of the lot, the types of items or materials that may be deposited, the pick-up schedule, a notice that no material shall be left outside the enclosure, and instructions to call 311 to register any complaint regarding the collection bin with the Department of Building and Safety.

8. Resource Extraction, Exploratory Core Hole

The maximum duration of a permit for exploratory core holes shall not exceed 200 days. However, where the Zoning Administrator, pursuant to *Sec. 13B.2.2. (Class 2 Conditional Use*

Permit), finds that drilling, testing, and proper abandonment cannot reasonably be completed within 200 days due to depth, deviation, or quantity of temporary geological exploratory core holes, the maximum duration may be increased to a total of 365 days.

D. Supplemental Procedures

1. Alcohol Service

- a.** In addition to the notification otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall promptly notify the Council-member that represents the area including the project site of the conditional use application.
- b.** In addition to the findings otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall also consider:
 - i.** That the granting of the application will not result in an undue concentration of uses that dispense alcoholic beverages within a 1,000-foot radius of the lot according to the California Department of Alcoholic Beverage Control’s guidelines for undue concentration.
 - ii.** Consider the existing crime rate nearby, especially those crimes involving public drunkenness, the illegal sale or use of narcotics, drugs or alcohol, disturbing the peace, and disorderly conduct, and whether revocation or nuisance proceedings have been initiated for any similar use in the area.
 - iii.** That the proposed use will not detrimentally affect nearby Residential Use Districts or sensitive uses.
- c.** Permission for multiple approvals to allow alcohol service for three or more tenant spaces may be applied for under a single conditional use permit entitlement, subject to the following:
 - i.** Tenant spaces are maintained under a single ownership within a unified complex comprising a combined floor area of 10,000 square feet or greater on the same site.
 - ii.** The entitlement application for multiple conditional use permits shall be subject to processes and procedures required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*.
 - iii.** Project Review shall be completed for each individual tenant space resulting in approval for each individual tenant space prior to the establishment of the proposed use within the subject tenant space.
 - iv.** Applications shall detail the square footage of each tenant space, suite or unit number, hours of operation, and specific nature of proposed use for each tenant-operator space.

- v. Each individual tenant space shall be separately addressed with applicable site-specific conditions. Any change in tenant-operator shall be required to apply for Project Review in order to evaluate the applicability of existing conditions and review any potential changes in site operations and conditions.

2. Bar

- a. In addition to the notification otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall promptly notify the Council-member that represents the area including the project site of the conditional use application.
- b. In addition to the findings otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall also consider:
 - i. That the granting of the application will not result in an undue concentration of uses that dispense alcoholic beverages within a 1,000-foot radius of the lot according to the California Department of Alcoholic Beverage Control's guidelines for undue concentration.
 - ii. Consider the existing crime rate nearby, especially those crimes involving public drunkenness, the illegal sale or use of narcotics, drugs or alcohol, disturbing the peace, and disorderly conduct, and whether revocation or nuisance proceedings have been initiated for any similar use in the area.
 - iii. That the proposed use will not detrimentally affect nearby Residential Use Districts or sensitive uses.
- c. Permission for multiple approvals to allow bars for three or more tenant spaces may be applied for under a single conditional use permit entitlement, subject to the following:
 - i. Tenant spaces are maintained under a single ownership within a unified complex comprising a combined floor area of 10,000 square feet or greater on the same site.
 - ii. The entitlement application for multiple conditional use permits shall be subject to processes and procedures required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*.
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 - iv. Applications shall detail the square footage of each tenant space, suite or unit number, hours of operation, and specific nature of proposed use for each tenant-operator space.
 - v. Each individual tenant space shall be separately addressed with applicable site-specific conditions. Any change in tenant-operator shall be required to apply for Project Review in order to evaluate the applicability of existing conditions and review any potential changes in site operations and conditions.

3. Retail, Alcohol

- a. In addition to the notification otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall promptly notify the Council-member that represents the area including the project site of the conditional use application.
- b. In addition to the findings otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall also consider:
 - i. That the granting of the application will not result in an undue concentration of uses that dispense alcoholic beverages within a 1,000-foot radius of the lot according to the California Department of Alcoholic Beverage Control’s guidelines for undue concentration.
 - ii. Consider the existing crime rate nearby, especially those crimes involving public drunkenness, the illegal sale or use of narcotics, drugs or alcohol, disturbing the peace, and disorderly conduct, and whether revocation or nuisance proceedings have been initiated for any similar use in the area.
 - iii. That the proposed use will not detrimentally affect nearby Residential Use Districts or sensitive uses

4. Retail, Firearms

In addition to the findings otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall also consider the number of firearms available for sale at the lot.

5. Retail, Large Format

- a. In addition to a Conditional Use Permit with approval by the City Planning Commission, pursuant to *Sec. 13B.2.3. (Class 3 Conditional Use Permit)*, new large format retail uses are required to prepare an economic impact analysis report for submission to the Department of City Planning and the Economic & Workforce Development Department for review in conjunction with its application to the Department of City Planning. The Economic & Workforce Development Department shall complete its review of the report within 60 days after receipt of the report from the applicant. The report shall identify the following:
 - i. The economic impact on retail businesses within a 3-mile radius, based on the potential to divert or expand the local or regional customer base. Data portraying the existing customer volume of the study area, as well as the anticipated customer volume of the study area, shall be included in the report.
 - ii. The destruction or demolition of any buildings, structures, facilities, or site area containing any of the following uses: any Residential Use, Civic Facility, School, Nature Reserve, Public Open Space, Nature Reserve, or Public Recreation.

- iii. Contribution to local retail market in terms of providing lower in cost or higher in quality goods and services than currently available to residents within a 3-mile radius. A survey of goods and services offered by retail uses within a 3-mile radius shall be included within the report.
 - iv. The number of permanent jobs displaced or created as a direct result of the project. Permanent jobs shall be categorized by employment sector within the report.
 - v. Fiscal impact on City tax revenue, either positive or negative.
 - vi. Viability of future reuse of the project site in the event the business vacates the premises based on factors such as building design, site layout, and lease terms requiring the lot to remain vacant for a significant amount of time.
 - vii. Reasonable expectation that employment solicitation by day laborers will occur at or around the lot.
 - viii. Measures to mitigate any materially adverse impacts identified within the report.
- b. If determined by the City Planning Commission, or the City Council on appeal, that based on the findings of the report, or any other information received before or at a public hearing, that there is a reasonable expectation that employment solicitation by day laborers will occur at or around the lot, then the following measures may be required to the satisfaction of the City Planning Commission, or the City Council on appeal:
- i. The project shall accommodate employment solicitation by day laborers with dedicated congregation space that meets the following criteria:
 - a) Is sufficient in size based on reasonably expected users;
 - b) Located along, but clear of a pedestrian accessway leading to a primary entrance; and
 - c) Is covered to provide adequate shelter from the weather.
 - ii. Amenities including publicly accessible sources of drinking water, toilet and trash facilities, tables, and seating areas shall also be made available during business hours of operation.
 - iii. A signage plan, indicating the location of signs at appropriate locations throughout the lot, directing users to dedicated congregation areas and amenities.

6. Recycling Facilities, All

An annual site inspection shall be conducted by LADBS, pursuant to *Sec. 13B.10.3. (Annual Inspection Monitoring - Auto Dismantling Yards, Junk Yards, Scrap Metal or Recycling Materials Processing Yards, Recycling Collection Centers, Buyback Centers, Recycling Materials Sorting Facilities, and Cargo Container Storage Yards)*.

SEC. 5B.5.4. **COMMERCIAL-MIXED 4 (CX4)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5B.5.5. COMMERCIAL-MIXED 5 (CX5)

A. Intent

The CX5 Use District is intended to support the clustering of small-scale retail, dining, personal service, office, entertainment, cultural and institutional uses catering to immediately surrounding neighborhoods, as well as a wide range of housing types. The district generally limits commercial uses to a 5,000 square foot establishment size on the ground story.

B. Allowed Uses & Use Limitations

Use	Permission	Use Standard	Specification
RESIDENTIAL			
Dwelling	P		
Household Business:			
Family Child Care	P*	Incidental to	Dwelling
Home Occupation	P*	Incidental to	Dwelling
		Hours of operation (early/late)	8AM/8PM
		Client visits per hour (max)	1
		Supplemental standards	Sec. 5B.5.5.C.1.
Home Sharing	P*	In conjunction with:	Dwelling
		Special use program	Sec. 5C.4.4.
Joint Living & Work Quarters	P*	Designated work space:	
		Work space area (min/max)	10%/50%
		Workspace uses	<ul style="list-style-type: none"> Office Personal Services: General Manufacturing, Light: General Manufacturing, Light: Artistic & Artisanal
Live/Work	P*	Unit size (min avg.)	750 SF
		Designated work space:	
		Work space area (min/max)	48%/50%
		Work space dimensions (min)	10' X 15'
		Workspace uses	<ul style="list-style-type: none"> Office Personal Services: General Manufacturing, Light: General Manufacturing, Light: Artistic & Artisanal
Open plan area (min)	70%		
Mobilehome Park	--		
Supportive Housing:			
General	P		
Medical Care	P		
Transitional Shelter	P		

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Use	Permission	Use Standard	Specification
PUBLIC & INSTITUTIONAL			
Cemetery	P*	Building separation	
		Street (min)	300'
		Agricultural, Residential, or Residential-Mixed Use District (min)	300'
		Residential use (min)	300'
		Screening	
		Frontage screen	F-Screen 2
		Transition screen	T-Screen 1
Civic Facility:			
Local	P		
Regional	--		
Detention Facility	C3		
Fleet Services	--		
Medical:			
Local	C2		
Regional	C3		
Office, Government	P		
Parking	P		
Public Safety Facility	P		
Religious Assembly	P		
School:			
Preschool/Daycare	P		
K-12	C3		
Post-secondary	C3		
Social Services	P		
Utilities:			
Minor	P*	Screening	
		Frontage screen	F-Screen 2
		Transition screen	T-Screen 2
Major	C3		
Solar Energy Facility	P*	In conjunction with:	Other allowed use
		Floor area (min)	0.1 FAR
		Relief	C3
Wireless Facility, Monopole	C2*	Supplemental standards	Sec. 5B.5.5.C.2.
Wireless Facility, Rooftop	P*	Supplemental standards	Sec. 5B.5.5.C.2.

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- Commercial-Mixed Districts -

Use	Permission	Use Standard	Specification
OPEN SPACE & RECREATION			
Indoor Recreation, Commercial	P*	Non-residential tenant size (max)	5,000 SF
		Relief	C2
		Upper story location	Prohibited
Nature Reserve	P		
Open Space, Public	P		
Outdoor Recreation, Commercial:			
General	P		
Golf Course	--		
Recreation, Public	P		
Amphitheater or Stadium			
Minor	C2		
Major	C3		
TRANSPORTATION			
Airport	--		
Freight Terminal	--		
Heliport	C2*	Incidental to:	Residential Uses, Office or Medical
Railway Facility	--		
Transit Station	P		
GENERAL COMMERCIAL			
	*	Non-residential tenant size (max)	5,000 SF
		Relief	C2
Animal Services:			
General	P*	(see General Commercial)	
		Use enclosure	Fully indoor
Kennel	--		
Veterinary Care	--		
Commissary Kitchen	P*	(see General Commercial)	
Eating & Drinking:			
		(see General Commercial)	
Alcohol Service	C2*	In conjunction with:	Restaurant
		Supplemental procedures	Sec. 5B.5.5.D.1.
Bar	C2*	(see General Commercial)	
		Supplemental procedures	Sec. 5B.5.5.D.2.
Counter Service	P*	(see General Commercial)	
Restaurant	P*	(see General Commercial)	
Entertainment Venue:			
Local	P*	(see General Commercial)	
Regional	--		
Financial Services:			
General	P*	(see General Commercial)	
Alternative	--		

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Use	Permission	Use Standard	Specification
Lodging	P*	Use separation (min)	
		Agricultural, Residential, or Residential-Mixed Use District	500'
		Exception	Regional Center, Transit Core, or Traditional Core General Plan Designation
		Supplemental standards	Sec. 5B.5.5.C.3.
		Relief	C2
Medical Clinic	P*	(see General Commercial)	
Office	P*	(see General Commercial)	
Personal Services:			
General	P*	(see General Commercial)	
Massage, Licensed	P*	(see General Commercial)	
Massage, Unlicensed	--		
Postmortem Services	C2*	(see General Commercial)	
Retail:			
General	P*	(see General Commercial)	
Alcohol	C2*	(see General Commercial)	
		Supplemental procedures	Sec. 5B.5.5.D.3.
Farmers' Market, Certified	C1*	Hours of operation (early/late)	7AM/9PM
		Service hours	6AM/10PM
		Operating days per week (max)	2
		Special use program	Sec. 5C.4.1.
Food & Beverage	P*	(see General Commercial)	
Large Format	--		
Merchant Market	P		
Pet Shop	P*	(see General Commercial)	
Temporary Outdoor	C2		
Smoke & Vape Shop	--		
Sexually Oriented Business:			
General	--		
Sexual Encounter	--		
HEAVY COMMERCIAL			
Motor Vehicle Services:			
Light	--		
Heavy	--		
Car Wash	--		
Commercial Vehicle	--		
Fueling Station	--		
Motor Vehicle Sales & Rental:			
Commercial Vehicle	--		
Household Moving Truck Rental	--		
Standard Vehicle	--		

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- Commercial-Mixed Districts -

Use	Permission	Use Standard	Specification
Storage, Indoor:			
General	--		
Self-Service Facility	--		
Storage, Outdoor:			
General	P*	Accessory to: Screening Outdoor storage screen	Other allowed use S-Screen 1
Cargo Container	--		
Commercial Vehicle	--		
Official Motor Vehicle Impound	--		
Standard Vehicle	--		
LIGHT INDUSTRIAL			
Electronics Assembly	--		
Maintenance & Repair Services	--		
Manufacturing, Light:			
General	--		
Alcoholic Beverage	--		
Artistic & Artisanal	--		
Cosmetic, Pharmaceutical	--		
Food & Drink	--		
Textile & Apparel	--		
Research & Development	--		
Soundstages & Backlots	--		
Wholesale Trade & Warehousing	--		
HEAVY INDUSTRIAL			
Animal Products Processing	--		
Manufacturing, Heavy:			
General	--		
Chemical Products	--		
Petroleum & Coal Products	--		
Salvage Yard	--		

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Use	Permission	Use Standard	Specification
Recycling Facility:			
Collection	P*	In conjunction with	Other allowed use
		Area (max)	600 SF
		Building separation	
		Agricultural, Residential, or Residential-Mixed Use District (min)	100'
		Other buildings on the site	10'
		Relief	C2
		Use enclosure	Covered and enclosed
		Screening	
		Outdoor storage screen	S-Screen 2
		Hours of operation (early/late)	7AM/7PM
		Supplemental standards	Sec. 5B.5.3.C.6.
		Supplemental procedures	Sec. 5B.5.3.D.6.
Donation Bin	P*	In conjunction with:	Other allowed use
		Size	Height: 82" Depth: 50" Width: 60"
		Use separation	
		Agricultural, Residential, or Residential-Mixed Use District (min)	100'
		Use setback	
		Frontage lot line (min)	20'
		Common lot line (min)	10'
		Use enclosure	Covered and enclosed
		Supplemental standards	Sec. 5B.5.5.C.5.
Supplemental procedures	Sec. 5B.5.5.D.4.		
Sorting & Processing	--		
Resource Extraction:			
General	--		
Exploratory Core Hole	C2*	Supplemental standards	Sec. 5B.5.5.C.6.
Off-Shore Drilling Servicing Installation	--		
Solid Waste Facility:			
Green Waste	--		
Hazardous Waste Facility	--		

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Use	Permission	Use Standard	Specification
Solid Waste	--		
AGRICULTURAL			
Animal Keeping:			
Bees	--		
Dairy	--		
Equine, Commercial	--		
Equine, Non-commercial	--		
Livestock	--		
Pets	P*	In conjunction with:	Other Allowed use
Small Animals	--		
Wild Animals	--		
Plant Cultivation:			
Community Garden	P		
Farming	--		
Truck Gardening	P		

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C. Supplemental Standards

1. Home Occupation

On-site deliveries and shipments related to the commercial use in a home occupation shall not be performed by vehicles having a gross vehicular weight rating designation greater than Class 4 or greater than 16,000 pounds. Deliveries from larger trucks shall occur no more frequently than once every 2 months.

2. Wireless Facility, All

The wireless facility shall meet all applicable standards required by Sec. 4C.12.4. (*Wireless Telecommunication Facilities*).

3. Lodging

A Lodging use shall not be permitted where it requires a change of use from any residential use.

4. Recycling Facility, Collection

- a. All deposited goods and materials, temporary installations, debris, trash, and any other material associated with the use shall be placed or stored in a fully covered and enclosed recycling facility, and not be left or stored outdoors beyond the hours of operation.
- b. Collection facilities shall be emptied in accordance with their posted pick-up schedule, and the area surrounding the collection bins shall be maintained free of overflow goods and materials, litter, debris, posted bills, and graffiti at all times.

- c. In order to prevent unauthorized access to the collection facility, a tamper-resistant locking mechanism shall secure the opening of the collection facility.
- d. The receptacle, container, or bin in which goods and materials are stored shall be fabricated of durable, noncombustible, and waterproof materials.
- e. The recycling collection facility enclosure shall be clearly identified with the operator's name, address, and telephone number, the lot owner's name, address of the lot, the types of items or materials that may be deposited, the pick-up schedule, a notice that no material shall be left outside the enclosure, and instructions to call 311 to register any complaint regarding the facility with the Department of Building and Safety.

5. **Recycling Facility, Donation Bin**

- a. No more than one collection bin shall be located on any lot.
- b. Collection bins shall be emptied in accordance with their posted pick-up schedule, and the area surrounding the collection bins shall be maintained free of overflow goods and materials, litter, debris, posted bills, and graffiti at all times.
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6. **Resource Extraction, Exploratory Core Hole**

The maximum duration of a permit for exploratory core holes shall not exceed 200 days. However, where the Zoning Administrator, pursuant to *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, finds that drilling, testing, and proper abandonment cannot reasonably be completed within 200 days due to depth, deviation, or quantity of temporary geological exploratory core holes, the maximum duration may be increased to a total of 365 days.

D. Supplemental Procedures

1. Alcohol Service

- a. In addition to the notification otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall promptly notify the Council-member that represents the area including the project site of the conditional use application.
- b. In addition to the findings otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall also consider:
 - i. That the granting of the application will not result in an undue concentration of uses that dispense alcoholic beverages within a 1,000-foot radius of the lot according to the California Department of Alcoholic Beverage Control’s guidelines for undue concentration.
 - ii. Consider, the existing crime rate nearby, especially those crimes involving public drunkenness, the illegal sale or use of narcotics, drugs or alcohol, disturbing the peace and disorderly conduct, and whether revocation or nuisance proceedings have been initiated for any similar use in the area.
 - iii. That the proposed use will not detrimentally affect nearby Residential Use Districts or sensitive uses.
- c. Permission for multiple approvals to allow alcohol service for three or more tenant spaces may be applied for under a single conditional use permit entitlement, subject to the following:
 - i. Tenant spaces are maintained under a single ownership within a unified complex comprising a combined floor area of 10,000 square feet or greater on the same site.
 - ii. The entitlement application for multiple conditional use permits shall be subject to processes and procedures required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*.
 - iii. Project Review shall be completed for each individual tenant space resulting in approval for each individual tenant space prior to the establishment of the proposed use within the subject tenant space.
 - iv. Applications shall detail the square footage of each tenant space, suite or unit number, hours of operation, and specific nature of proposed use for each tenant-operator space.
 - v. Each individual tenant space shall be separately addressed with applicable site-specific conditions. Any change in tenant-operator shall be required to apply for Project Review in order to evaluate the applicability of existing conditions and review any potential changes in site operations and conditions.

2. Bar

- a. In addition to the notification otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall promptly notify the Council-member that represents the area including the project site of the conditional use application.
- b. In addition to the findings otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall also consider:
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3. Retail, Alcohol

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 - iii. That the proposed use will not detrimentally affect nearby Residential Use Districts or sensitive uses.

4. **Recycling Facilities, All**

An annual site inspection shall be conducted by LADBS pursuant to *Sec. 13B.10.3. (Annual Inspection Monitoring - Auto Dismantling Yards, Junk Yards, Scrap Metal or Recycling Materials Processing Yards, Recycling Collection Centers, Buyback Centers, Recycling Materials Sorting Facilities, and Cargo Container Storage Yards)*.

DIV. 5B.6. **COMMERCIAL DISTRICTS**

Commercial Use Districts cater to light industrial and commercial uses including ones that may create more significant impacts, such as vehicle repair and fueling stations.

[Reserved]

DIV. 5B.7. **INDUSTRIAL-MIXED DISTRICTS**

Industrial-Mixed Use Districts accommodate a mixture of light industrial, office, and research and development activity, with limited residential uses and other compatible uses.

SEC. 5B.7.1. **INDUSTRIAL-MIXED 1 (IX1)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5B.7.2. **INDUSTRIAL-MIXED 2 (IX2)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5B.7.3. **INDUSTRIAL-MIXED 3 (IX3)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5B.7.4. **INDUSTRIAL-MIXED 4 (IX4)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5B.7.5. INDUSTRIAL-MIXED 5 (IX5)

A. Intent

The IX5 District is intended to accommodate light industrial uses, office space, and research and development activity. The Use District also allows a wide range of commercial uses. Residential uses are limited to Joint Living and Work Quarters and Supportive Housing.

B. Allowed Uses & Use Limitations

Use	Permission	Use Standard	Specification
RESIDENTIAL	*	Use Separation (min)	
		Heavy Industrial	50'
		Relief	C1
Dwelling	--		
Household Business:			
Family Child Care	--		
Home Occupation	--		
Home Sharing	--		
Joint Living & Work Quarters	C1*	(see Residential)	
		Designated work space:	
		Work space area (min/max)	10%/50%
		Workspace uses	<ul style="list-style-type: none"> • Office • Personal Services: General • Manufacturing, Light: General • Manufacturing, Light: Artistic & Artisanal
		Supplemental procedures	Sec. 5B.7.5.D.1.
Live/Work	--		
Mobilehome Park	--		
Supportive Housing:			
General	P*	(see Residential)	
Medical Care	--		
Transitional Shelter	P*	(see Residential)	

KEY: "P" = Permitted Use; "--" = Use Not Permitted; "*" = Use standard applies; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

- Industrial-Mixed Districts -

Use	Permission	Use Standard	Specification
PUBLIC & INSTITUTIONAL			
Cemetery	P*	Building setbacks	
		Street (min)	300'
		Agricultural, Residential, or Residential-Mixed Use District (min)	300'
		Residential use (min)	300'
		Relief	C1
		Screening	
		Frontage screen required	F-Screen 2
Transition screen required	T-Screen 1		
Civic Facility:			
Local	P		
Regional	P		
Detention Facility	C3		
Fleet Services	P		
Medical:			
Local	C2		
Regional	C3		
Office, Government	P		
Parking	P		
Public Safety Facility	P		
Religious Assembly	C2		
School:			
Preschool/Daycare	P*	Use separation	
		From Heavy Industrial Uses	50'
		Relief	C2
K-12	C3		
Post-Secondary	C2		
Social Services	P		
Utilities:			
Minor	P*	Screening	
		Frontage screen	F-Screen 2
		Transition screen	T-Screen 2
Major	C3		
Solar Energy Facility	P*	In conjunction with:	Other allowed use
		Floor area (min)	0.1 FAR
		Relief	C3
Wireless Facility, Monopole	P*	Supplemental standards	Sec. 5B.7.5.C.1.
Wireless Facility, Rooftop	P*	Supplemental standards	Sec. 5B.7.5.C.1.

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Use	Permission	Use Standard	Specification
OPEN SPACE & RECREATION			
Indoor Recreation, Commercial	P		
Nature Reserve	P		
Open Space, Public	P		
Outdoor Recreation, Commercial:			
General	P		
Golf Course	--		
Recreation, Public	P		
Amphitheater or Stadium			
Minor	P		
Major	C3		
TRANSPORTATION			
Airport	--		
Freight Terminal	C3		
Heliport	C2*	Incidental to:	Office or Medical
Railway Facility	C3		
Transit Station	P		
GENERAL COMMERCIAL			
Animal Services:			
General	P*	Use enclosure	Fully indoor
		Use enclosure	Fully indoor
Kennel	P*	Use separation	
		Residential or Residential-Mixed Use District (min)	200'
		Relief	C2
Veterinary Care	P*	Use enclosure	Fully indoor
Commissary Kitchen	P		
Eating & Drinking:			
Alcohol Service	C2*	In conjunction with: Supplemental procedures	Restaurant Sec. 5B.7.5.D.2.
Bar	C2*	Supplemental procedures	Sec. 5B.7.5.D.3.
Counter Service	P		
Restaurant	P		
Entertainment Venue:			
Local	P		
Regional	P		
Financial Services:			
General	P		
Alternative	C2		
Instructional Services	P		

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Use	Permission	Use Standard	Specification
Lodging	--		
Medical Clinic	P		
Office	P		
Personal Services:			
General	P		
Massage, Licensed	P		
Massage, Unlicensed	C2		
Postmortem Services	C2		
Retail:			
General	P		
Alcohol	C2*	Supplemental procedures	Sec. 5B.7.5.D.4.
Farmers' Market, Certified	C1*	Hours of operation (open/ close)	7AM/9PM
		Service hours	6AM/10PM
		Operating days per week (max)	2
		Special use program	Sec. 5C.4.1.
Firearms	C2*	Supplemental procedures	Sec. 5B.7.5.D.5.
Food & Beverage	P		
Large Format	C3*	Supplemental procedures	Sec. 5B.7.5.D.6.
Merchant Market	P		
Pet Shop	P		
Temporary Outdoor	C2		
Smoke & Vape Shop	P		
Sexually Oriented Business:	*	Use separation (min)	
		Other Sexually Oriented Business	1,000'
		Sensitive Use	500'
		Agricultural, Residential, or Residential-Mixed Use District	500'
General	P*	(see Sexually Oriented Business)	
Sexual Encounter	C2*	(see Sexually Oriented Business)	

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Use	Permission	Use Standard	Specification
HEAVY COMMERCIAL			
Motor Vehicle Services:			
Light	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Use enclosure	Fully indoors
		Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1
		Hours of operation (early/late)	7AM/7PM
		Service hours (early/late)	7AM/7PM
		Outdoor sound system	Prohibited
		Supplemental standards	Sec. 5B.7.5.C.2.
		Heavy	P*
Sensitive Use	500'		
Agricultural, Residential, or Residential-Mixed Use District	500'		
Relief	C2		
Use enclosure	Fully indoors		
Screening			
Frontage screen	F-Screen 3		
Transition screen	T-Screen 1		
Hours of operation (early/late)	7AM/7PM		
Service hours (early/late)	7AM/7PM		
Outdoor sound system	Prohibited		
Supplemental standards	Sec. 5B.7.5.C.2.		

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Use	Permission	Use Standard	Specification
Car Wash	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Use enclosure	
		Car Wash, mechanized	Fully indoor
		Car Wash, self-service	Covered
		Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1
		Hours of operation (early/late)	7AM/7PM
		Service hours (early/late)	7AM/7PM
		Outdoor sound system	Prohibited
Supplemental standards	Sec. 5B.7.5.C.3.		
Commercial Vehicle	--		
Fueling Station	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1
		Service hours (early/late)	7AM/7PM
Outdoor sound system	Prohibited		
Supplemental standards	Sec. 5B.7.5.C.4.		
Motor Vehicle Sales & Rental:			
Commercial Vehicle	--		
Household Moving Truck Rental	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 4
Transition screen	T-Screen 1		
Standard Vehicle	--		
Storage, Indoor:			
General	P		
Self-Service Facility	P		

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Use	Permission	Use Standard	Specification
Storage, Outdoor:			
General	P*	Accessory to:	Other allowed use
		Screening	
		Outdoor storage screen	S-Screen 2
Cargo Container	P*	Use separation (min)	
		Sensitive Use	500'
		Agricultural, Residential, or Residential-Mixed Use District	500'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 5
		Transition screen	T-Screen 2
		Supplemental standards	Sec. 5B.7.5.C.5.
		Supplemental procedures	Sec. 5B.7.5.D.7.
Commercial Vehicle	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 4
		Transition screen	T-Screen 1
Official Motor Vehicle Impound	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 4
		Transition screen	T-Screen 1
Standard Vehicle	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 4
		Transition screen	T-Screen 1

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Use	Permission	Use Standard	Specification
LIGHT INDUSTRIAL	*	Use enclosure	Fully Indoor
		Screening applicability	
		Abutting	<ul style="list-style-type: none"> • Sensitive Use Districts • Agricultural Use Districts • Residential Use Districts • Residential-Mixed Use Districts
		Screening	
		Transition Screen	T-Screen 1
Electronics Assembly	P*	<i>(see Light Industrial)</i>	
Maintenance & Repair Services	P*	<i>(see Light Industrial)</i>	
Manufacturing, Light:			
General	P*	<i>(see Light Industrial)</i>	
Alcoholic Beverage	P*	<i>(see Light Industrial)</i>	
Artistic & Artisanal	P*	<i>(see Light Industrial)</i>	
Cosmetic, Pharmaceutical	P*	<i>(see Light Industrial)</i>	
Food & Drink	P*	<i>(see Light Industrial)</i>	
Textile & Apparel	P*	<i>(see Light Industrial)</i>	
Research & Development	P*	<i>(see Light Industrial)</i>	
Soundstages & Backlots	P*	<i>(see Light Industrial)</i>	
Wholesale Trade & Warehousing	P*	<i>(see Light Industrial)</i>	
HEAVY INDUSTRIAL			
Animal Products Processing	--		
Manufacturing, Heavy:			
General	--		
Chemical Products	--		
Petroleum & Coal Products	--		
Salvage Yard	--		
Recycling Facilities			

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Use	Permission	Use Standard	Specification
Collection	P*	In conjunction with	Other allowed use
		Area (max)	600 SF
		Building separation	
		Agricultural, Residential, or Residential-Mixed Use District (min)	100'
		Other buildings on the site	10'
		Relief	C2
		Use enclosure	Covered and enclosed
		Screening	
		Outdoor storage screen	S-Screen 2
		Hours of operation (open/close)	7AM/7PM
		Supplemental standards	Sec. 5B.5.3.C.6.
		Supplemental procedures	Sec. 5B.5.3.D.6.
Donation Bin	P*	In conjunction with:	Other allowed use
		Size	Height: 82" Depth: 50" Width: 60"
		Use separation	
		Agricultural, Residential, or Residential-Mixed Use District (min)	100'
		Use setback	
		Frontage lot line (min)	20'
		Common lot line (min)	10'
		Use enclosure	Covered and enclosed
		Supplemental standards	Sec. 5B.7.5.C.7.
Supplemental procedures	Sec. 5B.7.5.D.9.		
Sorting & Processing	--		
Resource Extraction:			
General	--		
Exploratory Core Hole	C2*	Supplemental standards	Sec. 5B.7.5.C.8.
Off-Shore Drilling Servicing Installation	--		
Waste Facility			
Green Waste	--		
Hazardous Waste Facility	--		
Solid Waste	--		

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Use	Permission	Use Standard	Specification
AGRICULTURE			
Animal Keeping:			
Bees	P*	Lot Area (min)	
		Per beehive	2,500 SF
		Location	
		Frontage yard	Prohibited
		Setback (min)	
		Side, rear and alley lot lines	5'
		Screening	
		Transition screen	T-Screen 1
		Exception	Rooftop location
		Supplemental standards	Sec. 5B.7.5.C.9.
Dairy	--		
Equine, Commercial	--		
Equine, Non-commercial	--		
Livestock	--		
Pets	P*	In conjunction with:	Other allowed use
Small Animals	--		
Wild Animals	--		
Plant Cultivation:			
Community Garden	P		
Farming	P		
Truck Gardening	P		

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C. Supplemental Standards

1. Wireless Facility, All

The wireless facility shall meet all applicable standards required by Sec. 4C.12.4. (*Wireless Telecommunication Facilities*).

2. Motor Vehicle Services, General

- a. Bay doors and other building entrances and exits designed and intended for motor vehicle access shall meet the following standards:
 - i. Shall remain closed except during the allowed hours of operation, and
 - ii. Shall not face any frontage lot line.

- b. An off-street loading area, in compliance with development standard requirements for loading areas (Sec. 4C.2.2.3.), shall be provided to adequately accommodate all loading, unloading and any other activities requiring the use of commercial vehicles for transportation.
- c. All client vehicles being serviced by a general motor vehicle service use shall be stored on-site.

3. **Motor Vehicle Services, Car Wash**

Bay doors and other building entrances and exits designed and intended for motor vehicles shall not face any residential use or school unless the residential use or school is located more than 100 feet from the car wash facility.

4. **Motor Vehicle Services, Fueling Station**

An off-street loading area, in compliance with development standard requirements for loading areas (Sec. 4C.2.2.3.), shall be provided to adequately accommodate all loading and unloading of fuel, vehicles, goods and any other activities requiring the use of commercial vehicles for transportation.

5. **Outdoor Storage, Cargo Container**

- a. The entire lot shall be graded pursuant to *Chapter 9, Division 70 (Grading, Excavation and Fills) of the LAMC*.
- b. All driveways, accessways, and parking areas shall be covered with a decomposed granite, crushed gravel, or similar material and be treated with dust control methods.
- c. All containers shall be empty and cleaned of any residue which may pose any kind of physical or health risk.

6. **Recycling Facility, Collection**

- a. All deposited goods and materials, temporary installations, debris, trash, and any other material associated with the use shall be placed or stored in a fully covered and enclosed recycling facility, and not be left or stored outdoors beyond the hours of operation.
- b. Collection facilities shall be emptied in accordance with their posted pick-up schedule, and the area surrounding the collection bins shall be maintained free of overflow goods and materials, litter, debris, posted bills, and graffiti at all times.
- c. In order to prevent unauthorized access to the collection facility, a tamper-resistant locking mechanism shall secure the opening of the collection facility.
- d. The receptacle, container, or bin in which goods and materials are stored shall be fabricated of durable, noncombustible, and waterproof materials.

- e. The recycling collection facility enclosure shall be clearly identified with the operator's name, address, and telephone number, the lot owner's name, address of the lot, the types of items or materials that may be deposited, the pick-up schedule, a notice that no material shall be left outside the enclosure, and instructions to call 311 to register any complaint regarding the facility with the Department of Building and Safety.

7. **Recycling Facility, Donation Bin**

- a. No more than one collection bin shall be located on any lot.
- b. Collection bins shall be emptied in accordance with their posted pick-up schedule, and the area surrounding the collection bins shall be maintained free of overflow goods and materials, litter, debris, posted bills, and graffiti at all times.
- c. In order to prevent unauthorized access to the collection bin, a tamper-resistant locking mechanism shall secure the opening of the collection bin.
- d. The collection bin shall be fabricated of durable, noncombustible, and waterproof materials.
- e. Collection bins shall be illuminated between sunset and sunrise by a light source providing at least 1 footcandle of light.
- f. The collection bin shall be clearly identified with the operator's name, address, and telephone number, the lot owner's name, address of the lot, the types of items or materials that may be deposited, the pick-up schedule, a notice that no material shall be left outside the enclosure, and instructions to call 311 to register any complaint regarding the collection bin with the Department of Building and Safety.

8. **Resource Extraction, Exploratory Core Hole**

The maximum duration of a permit for exploratory core holes shall not exceed 200 days. However, where the Zoning Administrator, pursuant to *Sec. 13B.2.2. (Class 2 Conditional Use Permit)* finds that drilling, testing, and proper abandonment cannot reasonably be completed within 200 days due to depth, deviation, or quantity of temporary geological exploratory core holes, the maximum duration may be increased to a total of 365 days.

9. **Animal Keeping, Bees**

- a. Bee keeping operator shall be registered as a beekeeper with the Los Angeles County Agricultural Commission.
- b. A water source for bees shall be provided at all times on the lot where the bees are kept.

D. Supplemental Procedures

1. Joint Living & Work Quarters

- a. In addition to the findings otherwise required by *Sec. 13.B.2.1. (Class 1 Conditional Use Permit)*, the Zoning Administrator shall also find:
 - i. That the uses of property surrounding the proposed location of the joint living and work quarters and the use of the proposed location will not be detrimental to the health, safety and welfare of prospective residents of the quarters; and
 - ii. That the proposed joint living and work quarters will not displace viable industrial uses and will not substantially lessen the likelihood that the property will be available in the future for industrial uses.
- b. The Zoning Administrator shall also require:
 - i. That the authorized use shall be of no force and effect unless and until satisfactory evidence is presented to the Zoning Administrator for review and attachment to the file that a business tax registration certificate has been issued to each tenant by the Office of Finance pursuant to *LAMC Chapter 2 (Licence, Permits, Business Regulations), Sec. 21.03. (Imposition of Tax)*, permitting those persons to engage in business as artists or artisans; and
 - ii. That one or more signs or symbols of a size and design approved by the Fire Department shall be placed by the applicant at designated locations on the exterior of each building approved as joint living and work quarters to indicate that these buildings are used for residential purposes.

2. Alcohol Service

- a. In addition to the notification otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall promptly notify the Council-member that represents the area including the project site of the conditional use application.
- b. In addition to the findings otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall also consider:
 - i. That the granting of the application will not result in an undue concentration of uses that dispense alcoholic beverages within a 1,000-foot radius of the lot according to the California Department of Alcoholic Beverage Control's guidelines for undue concentration.
 - ii. Consider the existing crime rate nearby, especially those crimes involving public drunkenness, the illegal sale or use of narcotics, drugs or alcohol, disturbing the peace, and disorderly conduct, and whether revocation or nuisance proceedings have been initiated for any similar use in the area.

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- iii. That the proposed use will not detrimentally affect nearby Residential Use Districts or sensitive uses.
- c. Permission for multiple approvals to allow alcohol service for three or more tenant spaces may be applied for under a single conditional use permit entitlement, subject to the following:
 - i. Tenant spaces are maintained under a single ownership within a unified complex comprising a combined floor area of 10,000 square feet or greater on the same site.
 - ii. The entitlement application for multiple conditional use permits shall be subject to processes and procedures required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*.
 - iii. Project Review shall be completed for each individual tenant space resulting in approval for each individual tenant space prior to the establishment of the proposed use within the subject tenant space.
 - iv. Applications shall detail the square footage of each tenant space, suite or unit number, hours of operation, and specific nature of proposed use for each tenant-operator space.
 - v. Each individual tenant space shall be separately addressed with applicable site-specific conditions. Any change in tenant-operator shall be required to apply for Project Review in order to evaluate the applicability of existing conditions and review any potential changes in site operations and conditions.

3. Bar

- a. In addition to the notification otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall promptly notify the Council-member that represents the area including the project site of the conditional use application.
- b. In addition to the findings otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall also consider:
 - i. That the granting of the application will not result in an undue concentration of uses that dispense alcoholic beverages within a 1,000-foot radius of the lot according to the California Department of Alcoholic Beverage Control's guidelines for undue concentration.
 - ii. Consider the existing crime rate nearby, especially those crimes involving public drunkenness, the illegal sale or use of narcotics, drugs or alcohol, disturbing the peace, and disorderly conduct, and whether revocation or nuisance proceedings have been initiated for any similar use in the area.
 - iii. That the proposed use will not detrimentally affect nearby Residential Use Districts or sensitive uses.

- c. Permission for multiple approvals to allow bars for three or more tenant spaces may be applied for under a single conditional use permit entitlement, subject to the following:
 - i. Tenant spaces are maintained under a single ownership within a unified complex comprising a combined floor area of 10,000 square feet or greater on the same site.
 - ii. The entitlement application for multiple conditional use permits shall be subject to processes and procedures required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*.
 - iii. Project Review shall be completed for each individual tenant space resulting in approval for each individual tenant space prior to the establishment of the proposed use within the subject tenant space.
 - iv. Applications shall detail the square footage of each tenant space, suite or unit number, hours of operation, and specific nature of proposed use for each tenant-operator space.
 - v. Each individual tenant space shall be separately addressed with applicable site-specific conditions. Any change in tenant-operator shall be required to apply for Project Review in order to evaluate the applicability of existing conditions and review any potential changes in site operations and conditions.

4. **Retail, Alcohol**

- a. In addition to the notification otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall promptly notify the Council-member that represents the area including the project site of the conditional use application.
- b. In addition to the findings otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall also consider:
 - i. That the granting of the application will not result in an undue concentration of uses that dispense alcoholic beverages within a 1,000-foot radius of the lot according to the California Department of Alcoholic Beverage Control's guidelines for undue concentration.
 - ii. Consider the existing crime rate nearby, especially those crimes involving public drunkenness, the illegal sale or use of narcotics, drugs or alcohol, disturbing the peace, and disorderly conduct, and whether revocation or nuisance proceedings have been initiated for any similar use in the area.
 - iii. That the proposed use will not detrimentally affect nearby Residential Use Districts or sensitive uses

5. **Retail, Firearms**

In addition to the findings otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall also consider the number of firearms available for sale at the lot.

6. Retail, Large Format

- a. In addition to a Conditional Use Permit with approval by the City Planning Commission, pursuant to *Sec. 13B.2.3. (Class 3 Conditional Use Permit)*, new large format retail uses are required to prepare an economic impact analysis report for submission to the Department of City Planning and the Economic & Workforce Development Department for review in conjunction with its application to the Department of City Planning. The Economic & Workforce Development Department shall complete its review of the report within 60 days after receipt of the report from the applicant. The report shall identify the following:
 - i. The economic impact on retail businesses within a 3-mile radius based on the potential to divert or expand the local or regional customer base. Data portraying the existing customer volume of the study area as well as the anticipated customer volume of the study area shall be included in the report.
 - ii. The destruction or demolition of any buildings, structures facilities or site area containing any of the following uses: any Residential Use, Civic Facility, School, Nature Reserve, Public Open Space, or Public Recreation.
 - iii. Contribution to local retail market in terms of providing lower in cost or higher in quality goods and services than currently available to residents within a 3-mile radius. A survey of goods and services offered by retail uses within a 3-mile radius shall be included within the report.
 - iv. The number of permanent jobs displaced or created as a direct result of the project. Permanent jobs shall be categorized by employment sector within the report.
 - v. Fiscal impact on City tax revenue, either positive or negative.
 - vi. Viability of future reuse of the project site in the event the business vacates the premises based on factors such as building design, site layout, and lease terms requiring the lot to remain vacant for a significant amount of time.
 - vii. Reasonable expectation that employment solicitation by day laborers will occur at or around the lot.
 - viii. Measures to mitigate any materially adverse impacts identified within the report.
- b. If determined by the City Planning Commission, or the City Council on appeal, that based on the findings of the report, or any other information received before or at a public hearing that there is a reasonable expectation that employment solicitation by day laborers will occur at or around the lot then the following measures may be required to the satisfaction of the City Planning Commission, or the City Council on appeal:
 - i. The project shall accommodate employment solicitation by day laborers with dedicated congregation space that meets the following criteria:
 - a) Is sufficient in size based on reasonably expected users;

- b) Located along but clear of a pedestrian accessway leading to a primary entrance;
and
 - c) Is covered to provide adequate shelter from the weather.
- ii. Amenities including publicly accessible sources of drinking water, toilet and trash facilities, tables, and seating areas shall also be made available during business hours of operation.
 - iii. A signage plan, indicating the location of signs at appropriate locations throughout the lot directing users to dedicated congregation areas and amenities.

7. Outdoor Storage, Cargo Container

- a. The stacking of cargo containers more than 20 feet high shall only be permitted if a structural analysis done by a licensed engineer or architect in the State of California is submitted to and approved by the Los Angeles Department of Building and Safety (LADBS).
- b. An annual site inspection shall be conducted by LADBS, pursuant to *Sec. 13B.10.3. (Annual Inspection Monitoring - Auto Dismantling Yards, Junk Yards, Scrap Metal or Recycling Materials Processing Yards, Recycling Collection Centers or Buyback Centers, Recycling Materials Sorting Facilities, and Cargo Container Storage Yards)*.

8. Salvage Yard

An annual site inspection shall be conducted by LADBS, pursuant to *Sec. 13B.10.3. (Annual Inspection Monitoring - Auto Dismantling Yards, Junk Yards, Scrap Metal or Recycling Materials Processing Yards, Recycling Collection Centers, Buyback Centers, Recycling Materials Sorting Facilities, and Cargo Container Storage Yards)*.

9. Recycling Facilities, All

An annual site inspection shall be conducted by LADBS, pursuant to *Sec. 13B.10.3. (Annual Inspection Monitoring - Auto Dismantling Yards, Junk Yards, Scrap Metal or Recycling Materials Processing Yards, Recycling Collection Centers, Buyback Centers, Recycling Materials Sorting Facilities, and Cargo Container Storage Yards)*.

DIV. 5B.8. INDUSTRIAL DISTRICTS

SEC. 5B.8.1. INDUSTRIAL 1 (I1)

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5B.8.2. INDUSTRIAL 2 (I2)

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU. Changes highlighted in the District below are introduced with the Boyle Heights Community Plan.]

A. Intent

The I2 District allows heavy commercial, light industrial, and heavy industrial uses as well as a limited amount of commercial activity. This District is intended to support employment and accommodate the most intense industrial activities while minimizing potential disruptions to surrounding uses.

B. Allowed Uses & Use Limitations

Use	Permission	Use Standard	Specification
RESIDENTIAL			
Dwelling	--		
Household Business:			
Family Child Care	--		
Home Occupation	--		
Home Sharing	--		
Joint Living & Work Quarters	--		
Live/Work	--		
Mobilehome Park	--		
Supportive Housing:			
General	--		
Medical Care	--		
Transitional Shelter	--		
PUBLIC & INSTITUTIONAL			
Cemetery	P*	Building setbacks	
		Street (min)	300'
		Agricultural, Residential, or Residential-Mixed Use District (min)	300'
		Residential use (min)	300'
		Screening	
		Frontage screen	F-Screen 2
		Transition screen	T-Screen 1

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Use	Permission	Use Standard	Specification
Civic Facility:			
Local	P		
Regional	P		
Detention Facility	C3		
Fleet Services	P		
Medical:			
Local	C2		
Regional	C3		
Office, Government	P		
Parking	P		
Public Safety Facility	P		
Religious Assembly	C2		
School:			
Preschool/Daycare	--		
K-12	--		
Post-Secondary	C3		
Social Services	P		
Utilities:			
Minor	P*	Screening	
		Frontage screen	F-Screen 2
		Transition screen	T-Screen 2
Major	C3		
Solar Energy Facility	P*	In conjunction with:	Other allowed use
		Floor area (min)	0.1 FAR
		Relief	C3
Wireless Facility, Monopole	P*	Supplemental standards	Sec. 5B.8.2.C.1.
Wireless Facility, Rooftop	P*	Supplemental standards	Sec. 5B.8.2.C.2.
OPEN SPACE & RECREATION			
Indoor Recreation, Commercial	P		
Nature Reserve	P		
Open Space, Public	P		
Outdoor Recreation, Commercial:			
General	--		
Golf Course	--		
Recreation, Public	P		
Amphitheater or Stadium			
Minor	P		
Major	C3		

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- Industrial Districts -

Use	Permission	Use Standard	Specification
TRANSPORTATION			
Airport	C3		
Freight Terminal	C3		
Heliport	C2*	Incidental to: Relief	Office or Medical C3
Railway Facility	C3		
Transit Station	P		
GENERAL COMMERCIAL			
Animal Services:			
General	P*	Use enclosure	Fully indoor
Kennel	P*	Use enclosure	Fully indoor
		Use separation	
		Residential or Residential-Mixed Use District (min)	200'
		Relief	C2
Veterinary Care	P*	Use enclosure	Fully indoor
Commissary Kitchen	P		
Eating & Drinking:			
Alcohol Service	C2*	In conjunction with: Supplemental procedures	Restaurant <i>Sec. 5B.8.2.D.1.</i>
Bar	C2*	Accessory to:	Manufacturing, Light: Food & Drink
		Supplemental procedures	<i>Sec. 5B.8.2.D.2.</i>
Counter Service	P		
Restaurant	P*	Accessory to:	Manufacturing, Light: Food & Drink
Entertainment Venue:			
Local	--		
Regional	--		
Financial Services:			
General	--		
Alternative	--		
Instructional Services	P*	Accessory to:	Other allowed use
Lodging	--		
Medical Clinic	--		
Office	P*	Accessory to:	Other allowed use
Personal Services:			
General	--		
Massage, Licensed	--		
Massage, Unlicensed	C2		
Postmortem Services	P		

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Use	Permission	Use Standard	Specification
Retail:			
General	P*	Accessory to:	Other allowed use
Alcohol	C2*	Accessory to:	<ul style="list-style-type: none"> • Manufacturing, Light: Food & Drink, • Fueling Station
		Supplemental procedures	Sec. 5B.8.2.D.3.
Farmers' Market, Certified	C1*	Hours of operation (early/late)	7AM/9PM
		Service hours	6AM/10PM
		Operating days per week (max)	2
		Special use program	Sec. 5C.4.1.
Firearms	C2*	Supplemental procedures	Sec. 5B.8.2.D.4.
Food & Beverage	P*	Accessory to:	<ul style="list-style-type: none"> • Manufacturing, Light: Food & Drink • Fueling Station
Large Format	C3*	Supplemental procedures	Sec. 5B.8.2.D.5.
Merchant Market	P		
Pet Shop	P		
Temporary Outdoor	P		
Smoke & Vape Shop	P		
Sexually Oriented Business:	*	Use separation (min)	
		Other Sexually Oriented Business	1,000'
		Sensitive Use	500'
		Agricultural, Residential, or Residential-Mixed Use District	500'
		Relief	C2
General	P*	<i>(See Sexually Oriented Business)</i>	
Sexual Encounter	C2*	<i>(See Sexually Oriented Business)</i>	
HEAVY COMMERCIAL			
Motor Vehicle Services:			
Light	p*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Use enclosure	Fully indoors
		Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1
		Outdoor sound system	Prohibited
Supplemental standards	Sec. 5B.8.2.C.2.		

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- Industrial Districts -

Use	Permission	Use Standard	Specification
Heavy	p*	Use separation (min)	
		Sensitive Use	500'
		Agricultural, Residential, or Residential-Mixed Use District	500'
		Relief	C2
		Use enclosure	Fully indoors
		Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1
		Outdoor sound system	Prohibited
		Supplemental standards	Sec. 5B.8.2.C.2.
Car Wash	p*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Use enclosure	
		Car Wash, mechanized	Fully indoor
		Car Wash, self-service	Covered
		Screening	Prohibited
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1
Outdoor sound system	Prohibited		
Supplemental standards	Sec. 5B.8.2.C.3.		
Commercial Vehicle	p*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Use enclosure	Fully indoors
		Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1
		Outdoor sound system	Prohibited
		Supplemental standards	Sec. 5B.8.2.C.2.

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Use	Permission	Use Standard	Specification
Fueling Station	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1
		Outdoor sound system	Prohibited
		Supplemental standards	Sec. 5B.8.2.C.4.
Motor Vehicle Sales & Rental:			
Commercial Vehicle	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 3
Transition screen	T-Screen 1		
Household Moving Truck Rental	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 4
Transition screen	T-Screen 1		
Standard Vehicle	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 3
Transition screen	T-Screen 1		
Storage, Indoor:			
General	P		
Self-Service Facility	P		
Storage, Outdoor:			

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- Industrial Districts -

Use	Permission	Use Standard	Specification
General	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Outdoor storage screen	S-Screen 2
Cargo Container	P*	Use separation (min)	
		Sensitive Use	500'
		Agricultural, Residential, or Residential-Mixed Use District	500'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 5
		Transition screen	T-Screen 2
		Supplemental standards	Sec. 5B.8.2.C.5.
Supplemental procedures	Sec. 5B.8.2.D.6.		
Commercial Vehicle	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 4
Official Motor Vehicle Impound	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 4
Standard Vehicle	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 4
		Transition screen	T-Screen 1

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Use	Permission	Use Standard	Specification
LIGHT INDUSTRIAL	*	Use enclosure	Fully Indoor
		Screening applicability	
		Abutting	<ul style="list-style-type: none"> • Sensitive Use Districts • Agricultural Use Districts • Residential Use Districts • Residential-Mixed Use Districts
		Screening	
		Transition Screen	T-Screen 1
Electronics Assembly	P*	(see Light Industrial)	
Maintenance & Repair Services	P*	(see Light Industrial)	
Manufacturing, Light:			
General	P*	(see Light Industrial)	
Alcoholic Beverage	P*	(see Light Industrial)	
Artistic & Artisanal	P*	(see Light Industrial)	
Cosmetic, Pharmaceutical	P*	(see Light Industrial)	
Food & Drink	P*	(see Light Industrial)	
Textile & Apparel	P*	(see Light Industrial)	
Research & Development	P*	(see Light Industrial)	
Soundstages & Backlots	P*	(see Light Industrial)	
Wholesale Trade & Warehousing	P*	(see Light Industrial)	
HEAVY INDUSTRIAL	*	Use standard applicability	
		Abutting	<ul style="list-style-type: none"> • Sensitive Use Districts • Agricultural Use Districts • Residential Use Districts • Residential-Mixed Use Districts
		Screening	
		Frontage Screen	F-Screen 5
		Transition Screen	T-Screen 2
		Use enclosure	Fully Indoor
Animal Products Processing	P*	Use separation (min)	
		Sensitive Use	500'
		Agricultural, Residential, or Residential-Mixed Use District	500'
		Relief	C2
		Use enclosure	Fully indoor
		(See Heavy Industrial Uses)	

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- Industrial Districts -

Use	Permission	Use Standard	Specification
Manufacturing, Heavy:			
General	P*	Use separation (min)	
		Sensitive Use	1000'
		Agricultural, Residential, or Residential-Mixed Use District	1000'
		Relief	C3
		Use enclosure <i>(See Heavy Industrial Uses)</i>	Fully indoor
Chemical Products	P*	Use separation (min)	
		Sensitive Use	1000'
		Agricultural, Residential, or Residential-Mixed Use District	1000'
		Relief	C3
		Use enclosure <i>(See Heavy Industrial Uses)</i>	Fully indoor
Petroleum and Coal Product	C3*	Use separation (min)	
		Sensitive Use	1,500'
		Agricultural, Residential, or Residential-Mixed Use District	1,500'
		Relief	C3
		Supplemental procedures	<i>Sec. 5B.8.2.D.7.</i>
Salvage Yard	P*	Use separation (min)	
		Sensitive Use	500'
		Agricultural, Residential, or Residential-Mixed Use District	500'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 5
		Transition screen	T-Screen 2
Supplemental procedures	<i>Sec. 5B.8.2.D.8.</i>		
Recycling Facilities			

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Use	Permission	Use Standard	Specification
Collection	P*	Use separation (min)	
		Sensitive Use	1000'
		Agricultural, Residential, or Residential-Mixed Use District	1000'
		Relief	C3
		Screening	
		Frontage screen	F-Screen 5
		Transition screen	T-Screen 2
		Use enclosure	Fully indoor
		Supplemental standards	Sec. 5B.8.2.C.6.
		Supplemental procedures	Sec. 5B.8.2.D.9.
Donation Bin	P*	In conjunction with	Other allowed use
		Size	Height: 82" Depth: 50" Width: 60"
		Use separation	
		Agricultural, Residential, or Residential-Mixed Use District (min)	100'
		Use setback	
		Frontage lot line (min)	20'
		Common lot line (min)	10'
		Use enclosure	Covered and enclosed
		Supplemental standards	Sec. 5B.8.2.C.7.
		Supplemental procedures	Sec. 5B.8.2.D.9.
Sorting & Processing	P*	Use separation (min)	
		Sensitive Use	1000'
		Agricultural, Residential, or Residential-Mixed Use District	1000'
		Relief	C3
		Screening	
		Frontage screen	F-Screen 5
		Transition screen	T-Screen 2
		Use enclosure	Fully indoor
		Supplemental standards	Sec. 5B.8.2.C.8.
		Supplemental procedures	Sec. 5B.8.2.D.9.
Resource Extraction:			
General	C3*	Supplemental procedures	Sec. 5B.8.2.D.10.
Exploratory Core Hole	C2*	Supplemental standards	Sec. 5B.8.2.C.9.
Off-Shore Drilling Servicing Installation	C3		

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- Industrial Districts -

Use	Permission	Use Standard	Specification
Waste Facility:			
Green Waste	P*	Use separation (min)	
		Sensitive Use	500'
		Agricultural, Residential, or Residential-Mixed Use District	500'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 5
		Transition screen	T-Screen 2
		Use enclosure	Fully indoor
		Supplemental standards	Sec. 5B.8.2.C.10.
		Hazardous Waste	C3*
Sensitive Use	1,500'		
Agricultural, Residential, or Residential-Mixed Use District	1,500'		
Relief	C3		
Screening			
Frontage screen	F-Screen 5		
Transition screen	T-Screen 2		
Use enclosure	Fully indoor		
Supplemental standards	Sec. 5B.8.2.C.11.		
Supplemental procedures	Sec. 5B.8.2.D.11.		
Solid Waste	C3*	Use separation (min)	
		Sensitive Use	1,500'
		Agricultural, Residential, or Residential-Mixed Use District	1,500'
		Relief	C3
		Screening	
		Frontage screen	F-Screen 5
		Transition screen	T-Screen 2
		Use enclosure	Fully indoor
		Supplemental standards	Sec. 5B.8.2.C.12.
		Supplemental procedures	Sec. 5B.8.2.D.12.

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Use	Permission	Use Standard	Specification
AGRICULTURE	*	Building separation	
		Off-site dwelling units	75'
		Relief	C1
Animal Keeping:			
Bees	P*	Lot Area (min)	
		Per beehive	2,500 SF
		Location	
		Frontage yard	Prohibited
		Setback (min)	
		Side, rear and alley lot lines	5'
		Screening	
		Transition screen	T-Screen 1
Exception	Rooftop location		
		Supplemental standards	Sec. 5B.8.2.C.13.
Dairy	P*	Lot area (min) <i>(see Agriculture)</i>	871,200 SF
Equine, Commercial	P*	Lot area (min)	17,500 SF
		Per equine	4,000 SF
		Relief	C2
		<i>(see Agriculture)</i>	
Equine, Non-commercial	--		
Livestock	P*	Lot area (min)	17,500 SF
		Per bovine	4,000 SF
		Per swine	3,500 SF
		Relief	C2
		<i>(see Agriculture)</i>	
Pets	P*	In conjunction with:	Other allowed use
Small Animals	P*	Lot area (min)	
		Commercial purposes	217,800 SF
		Non-commercial purposes	n/a
		<i>(see Agriculture)</i>	
Wild Animals	C2*	<i>(see Agriculture)</i>	
Plant Cultivation:			
Community Garden	P		
Farming	P		
Truck Gardening	P		

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C. Supplemental Standards

1. Wireless Facility, All

The wireless facility shall meet all applicable standards required by *Sec. 4C.12.4. (Wireless Telecommunication Facilities)*.

2. Motor Vehicle Services, General & Commercial Vehicle

- a. Bay doors and other building entrances and exits designed and intended for motor vehicle access shall meet the following standards:
 - i. Shall remain closed except during the allowed hours of operation, and
 - ii. Shall not face any frontage lot line.
- b. An off-street loading area, in compliance with development standard requirements for loading areas (*Sec. 4C.2.2.3.*), shall be provided to adequately accommodate all loading, unloading, and any other activities requiring the use of commercial vehicles for transportation.
- c. All client vehicles being serviced by a general motor vehicle service use shall be stored on-site.

3. Motor Vehicle Services, Car Wash

Bay doors and other building entrances and exits designed and intended for motor vehicles shall not face any residential use or school unless the residential use or school is located more than 100 feet from the car wash facility.

4. Motor Vehicle Services, Fueling Station

An off-street loading area, in compliance with development standard requirements for loading areas (*Sec. 4C.2.2.3.*), shall be provided to adequately accommodate all loading and unloading of fuel, vehicles, goods, and any other activities requiring the use of commercial vehicles for transportation.

5. Outdoor Storage, Cargo Container

- a. The entire lot shall be graded pursuant to *Chapter 9, Division 70 (Grading, Excavation and Fills) of the LAMC*.
- b. All driveways, accessways, and parking areas shall be covered with a decomposed granite, crushed gravel, or similar material and be treated with dust control methods.
- c. All containers shall be empty and cleaned of any residue which may pose any kind of physical or health risk.

6. Recycling Facility, Collection

- a. All deposited goods and materials, temporary installations, debris, trash, and any other material associated with the use shall be placed or stored in a fully covered and enclosed recycling facility, and not be left or stored outdoors beyond the hours of operation.
- b. Collection facilities shall be emptied in accordance with their posted pick-up schedule, and the area surrounding the collection bins shall be maintained free of overflow goods and materials, litter, debris, posted bills, and graffiti at all times.
- c. In order to prevent unauthorized access to the collection facility, a tamper-resistant locking mechanism shall secure the opening of the collection facility.
- d. The receptacle, container, or bin in which goods and materials are stored shall be fabricated of durable, noncombustible, and waterproof materials.
- e. The recycling collection facility enclosure shall be clearly identified with the operator's name, address, and telephone number, the lot owner's name, address of the lot, the types of items or materials that may be deposited, the pick-up schedule, a notice that no material shall be left outside the enclosure, and instructions to call 311 to register any complaint regarding the facility with the Department of Building and Safety.

7. Recycling Facility, Donation Bin

- a. No more than one collection bin shall be located on any lot.
- b. Collection bins shall be emptied in accordance with their posted pick-up schedule, and the area surrounding the collection bins shall be maintained free of overflow goods and materials, litter, debris, posted bills, and graffiti at all times.
- c. In order to prevent unauthorized access to the collection bin, a tamper-resistant locking mechanism shall secure the opening of the collection bin.
- d. The collection bin shall be fabricated of durable, noncombustible, and waterproof materials.
- e. Collection bins shall be illuminated between sunset and sunrise by a light source providing at least 1 footcandle of light.
- f. The collection bin shall be clearly identified with the operator's name, address, and telephone number, the lot owner's name, address of the lot, the types of items or materials that may be deposited, the pick-up schedule, a notice that no material shall be left outside the enclosure, and instructions to call 311 to register any complaint regarding the collection bin with the Department of Building and Safety.

8. Recycling Facilities, Sorting & Processing

All leachates shall be collected, controlled, disposed of, and shall not be allowed to remain at the lot at any time.

9. Resource Extraction, Exploratory Core Hole

The maximum duration of a permit for exploratory core holes shall not exceed 200 days. However, where the Zoning Administrator, pursuant to *Sec. 13B.2.2. (Class 2 Conditional Use Permit)* finds that drilling, testing, and proper abandonment cannot reasonably be completed within 200 days due to depth, deviation, or quantity of temporary geological exploratory core holes, the maximum duration may be increased to a total of 365 days.

10. Waste Facility, Green Waste

All leachates shall be collected, controlled, disposed of, and shall not be allowed to remain at the lot at any time.

11. Waste Facility, Hazardous Waste

All leachates shall be collected, controlled, disposed of, and shall not be allowed to remain at the lot at any time.

12. Waste Facility, Solid Waste

All leachates shall be collected, controlled, disposed of, and shall not be allowed to remain at the lot at any time.

13. Animal Keeping, Bees

- a. Bee keeping operator shall be registered as a beekeeper with the Los Angeles County Agricultural Commission.
- b. A water source for bees shall be provided at all times on the lot where the bees are kept.

D. Supplemental Procedures

1. Alcohol Service

- a. In addition to the notification otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall promptly notify the Council-member that represents the area including the project site of the conditional use application.
- b. In addition to the findings otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall also consider:
 - i. That the granting of the application will not result in an undue concentration of uses that dispense alcoholic beverages within a 1,000-foot radius of the lot according to the California Department of Alcoholic Beverage Control's guidelines for undue concentration.
 - ii. Consider the existing crime rate nearby, especially those crimes involving public drunkenness, the illegal sale or use of narcotics, drugs or alcohol, disturbing the peace, and disorderly conduct, and whether revocation or nuisance proceedings have been initiated for any similar use in the area.

- iii. That the proposed use will not detrimentally affect nearby Residential Use Districts or sensitive uses.
- c. Permission for multiple approvals to allow alcohol service for three or more tenant spaces may be applied for under a single conditional use permit entitlement, subject to the following:
 - i. Tenant spaces are maintained under a single ownership within a unified complex comprising a combined floor area of 10,000 square feet or greater on the same site.
 - ii. The entitlement application for multiple conditional use permits shall be subject to processes and procedures required by Sec. 13B.2.2. (Class 2 Conditional Use Permit).
 - iii. Project Review shall be completed for each individual tenant space resulting in approval for each individual tenant space prior to the establishment of the proposed use within the subject tenant space.
 - iv. Applications shall detail the square footage of each tenant space, suite or unit number, hours of operation, and specific nature of proposed use for each tenant-operator space.
 - v. Each individual tenant space shall be separately addressed with applicable site-specific conditions. Any change in tenant-operator shall be required to apply for Project Review in order to evaluate the applicability of existing conditions and review any potential changes in site operations and conditions.

2. Bar

- a. In addition to the notification otherwise required by Sec. 13B.2.2. (Class 2 Conditional Use Permit), the Zoning Administrator shall promptly notify the Council-member that represents the area including the project site of the conditional use application.
- b. In addition to the findings otherwise required by Sec. 13B.2.2. (Class 2 Conditional Use Permit), the Zoning Administrator shall also consider:
 - i. That the granting of the application will not result in an undue concentration of uses that dispense alcoholic beverages within a 1,000-foot radius of the lot according to the California Department of Alcoholic Beverage Control's guidelines for undue concentration.
 - ii. Consider the existing crime rate nearby, especially those crimes involving public drunkenness, the illegal sale or use of narcotics, drugs or alcohol, disturbing the peace, and disorderly conduct, and whether revocation or nuisance proceedings have been initiated for any similar use in the area.
 - iii. That the proposed use will not detrimentally affect nearby Residential Use Districts or sensitive uses.

- c. Permission for multiple approvals to allow bars for three or more tenant spaces may be applied for under a single conditional use permit entitlement, subject to the following:
 - i. Tenant spaces are maintained under a single ownership within a unified complex comprising a combined floor area of 10,000 square feet or greater on the same site.
 - ii. The entitlement application for multiple conditional use permits shall be subject to processes and procedures required by Sec. 13B.2.2. (Class 2 Conditional Use Permit).
 - iii. Project Review shall be completed for each individual tenant space resulting in approval for each individual tenant space prior to the establishment of the proposed use within the subject tenant space.
 - iv. Applications shall detail the square footage of each tenant space, suite or unit number, hours of operation, and specific nature of proposed use for each tenant-operator space.
 - v. Each individual tenant space shall be separately addressed with applicable site-specific conditions. Any change in tenant-operator shall be required to apply for Project Review in order to evaluate the applicability of existing conditions and review any potential changes in site operations and conditions.

3. Retail, Alcohol

- a. In addition to the notification otherwise required by Sec. 13B.2.2. (*Class 2 Conditional Use Permit*), the Zoning Administrator shall promptly notify the Council-member that represents the area including the project site of the conditional use application.
- b. In addition to the findings otherwise required by Sec. 13B.2.2. (*Class 2 Conditional Use Permit*), the Zoning Administrator shall also consider:
 - i. That the granting of the application will not result in an undue concentration of uses that dispense alcoholic beverages within a 1,000-foot radius of the lot according to the California Department of Alcoholic Beverage Control's guidelines for undue concentration.
 - ii. Consider the existing crime rate nearby, especially those crimes involving public drunkenness, the illegal sale or use of narcotics, drugs or alcohol, disturbing the peace, and disorderly conduct, and whether revocation or nuisance proceedings have been initiated for any similar use in the area.
 - iii. That the proposed use will not detrimentally affect nearby Residential Use Districts or sensitive uses.

4. Retail, Firearms

In addition to the findings otherwise required by Sec. 13B.2.2. (*Class 2 Conditional Use Permit*), the Zoning Administrator shall also consider the number of firearms available for sale at the lot.

5. Retail, Large Format

- a. In addition to a Conditional Use Permit with approval by the City Planning Commission, pursuant to *Sec. 13B.2.3. (Class 3 Conditional Use Permit)*, new large format retail uses are required to prepare an economic impact analysis report for submission to the Department of City Planning and the Economic & Workforce Development Department for review in conjunction with its application to the Department of City Planning. The Economic & Workforce Development Department shall complete its review of the report within 60 days after receipt of the report from the applicant. The report shall identify the following:
 - i. The economic impact on retail businesses within a 3-mile radius based on the potential to divert or expand the local or regional customer base. Data portraying the existing customer volume of the study area as well as the anticipated customer volume of the study area shall be included in the report.
 - ii. The destruction or demolition of any buildings, structures, facilities, or site area containing any of the following uses: any Residential Use, Civic Facility, School, Nature Reserve, Public Open Space, or Public Recreation.
 - iii. Contribution to local retail market in terms of providing lower in cost or higher in quality goods and services than currently available to residents within a 3-mile radius. A survey of goods and services offered by retail uses within a 3-mile radius shall be included within the report.
 - iv. The number of permanent jobs displaced or created as a direct result of the project. Permanent jobs shall be categorized by employment sector within the report.
 - v. Fiscal impact on City tax revenue, either positive or negative.
 - vi. Viability of future reuse of the project site in the event the business vacates the premises based on factors such as building design, site layout, and lease terms requiring the lot to remain vacant for a significant amount of time.
 - vii. Reasonable expectation that employment solicitation by day laborers will occur at or around the lot.
 - viii. Measures to mitigate any materially adverse impacts identified within the report.
- b. If determined by the City Planning Commission, or the City Council on appeal, that based on the findings of the report, or any other information received before or at a public hearing that there is a reasonable expectation that employment solicitation by day laborers will occur at or around the lot then the following measures may be required to the satisfaction of the City Planning Commission, or the City Council on appeal:
 - i. The project shall accommodate employment solicitation by day laborers with dedicated congregation space that meets the following criteria:
 - a) Is sufficient in size based on reasonably expected users;

- b) Located along but clear of a pedestrian accessway leading to a primary entrance; and
 - c) Is covered to provide adequate shelter from the weather.
- ii. Amenities including publicly accessible sources of drinking water, toilet and trash facilities, tables, and seating areas shall also be made available during business hours of operation.
 - iii. A signage plan, indicating the location of signs at appropriate locations throughout the lot directing users to dedicated congregation areas and amenities.

6. Outdoor Storage, Cargo Container

- a. The stacking of cargo containers more than 20 feet high shall only be permitted if a structural analysis done by a licensed engineer or architect in the State of California is submitted to and approved by the Los Angeles Department of Building and Safety (LADBS).
- b. An annual site inspection shall be conducted by LADBS, pursuant to *Sec. 13B.10.3. (Annual Inspection Monitoring - Auto Dismantling Yards, Junk Yards, Scrap Metal or Recycling Materials Processing Yards, Recycling Collection Centers or Buyback Centers, Recycling Materials Sorting Facilities, and Cargo Container Storage Yards)*.

7. Manufacturing, Heavy, Petroleum and Coal Product Manufacturing

In addition to a Conditional Use Permit with approval by the City Planning Commission, pursuant to *Sec. 13B.2.3. (Class 3 Conditional Use Permit)*, new petroleum-based oil refineries and existing refineries expanding operations beyond the current property lines are required to:

- a. Comply with all of the required Unified Programs (Unified Hazardous Waste and Hazardous Materials Management Regulatory Program). California Environmental Reporting System (CERS) database submittals may serve as proof of compliance.
- b. Submit a health assessment of the project for the surrounding vicinity identifying pollution and population indicators, such as, but not limited to, those analyzed in the California Communities Environmental Health Screening Tool; the number of people affected by the project; short term or permanent impacts caused by the project; likelihood that impacts will occur; and recommended mitigation measures.
- c. Submit a health assessment of the project for the surrounding vicinity identifying pollution and population indicators, such as, but not limited to, those analyzed in the California Communities Environmental Health Screening Tool; the number of people affected by the project; short term or permanent impacts caused by the project; likelihood that impacts will occur; and recommended mitigation measures.
- d. Submit a truck routing plan that minimizes the incidence of a commercial truck traveling past residences, churches, schools, hospitals, public playgrounds, nursing homes, daycare centers, and other similar uses.

8. **Salvage Yard**

An annual site inspection shall be conducted by LADBS pursuant to *Sec. 13B.10.3. (Annual Inspection Monitoring - Auto Dismantling Yards, Junk Yards, Scrap Metal or Recycling Materials Processing Yards, Recycling Collection Centers, Buyback Centers, Recycling Materials Sorting Facilities, and Cargo Container Storage Yards)*.

9. **Recycling Facilities, All**

An annual site inspection shall be conducted by LADBS pursuant to *Sec. 13B.10.3. (Annual Inspection Monitoring - Auto Dismantling Yards, Junk Yards, Scrap Metal or Recycling Materials Processing Yards, Recycling Collection Centers, Buyback Centers, Recycling Materials Sorting Facilities, and Cargo Container Storage Yards)*.

10. **Resource Extraction, General**

In addition to a Conditional Use Permit with approval by the City Planning Commission, pursuant to *Sec. 13B.2.3. (Class 3 Conditional Use Permit)*, new resource extraction facilities and existing resource extraction facilities expanding operations beyond the current property lines are required to:

- a. Comply with all of the required Unified Programs (Unified Hazardous Waste and Hazardous Materials Management Regulatory Program). California Environmental Reporting System (CERS) database submittals may serve as proof of compliance.
- b. Submit a health assessment of the project for the surrounding vicinity identifying pollution and population indicators, such as, but not limited to, those analyzed in the California Communities Environmental Health Screening Tool; the number of people affected by the project; short term or permanent impacts caused by the project; likelihood that impacts will occur; and recommended mitigation measures.
- c. Submit a health assessment of the project for the surrounding vicinity identifying pollution and population indicators, such as, but not limited to, those analyzed in the California Communities Environmental Health Screening Tool; the number of people affected by the project; short term or permanent impacts caused by the project; likelihood that impacts will occur; and recommended mitigation measures.
- d. Submit a truck routing plan that minimizes the incidence of a commercial truck traveling past residences, churches, schools, hospitals, public playgrounds, nursing homes, child care centers, and other similar uses.

11. **Waste Facility, Hazardous Waste**

In addition to the other findings required by *Sec. 13B.2.3. (Class 3 Conditional Use Permit)*, the City Planning Commission shall make all of the following findings:

- a. That the proposed location of the facility will not result in an undue concentration of waste processing facilities in the immediate area, will not create a cumulative impact with special consideration given to the location of waste facilities already permitted, and will support the equitable distribution of these facilities citywide.
- b. That the facility will not detrimentally affect nearby residential uses and other sensitive land uses, taking into consideration the number and proximity of residential buildings, churches, schools, hospitals, public playgrounds, nursing homes, daycare centers, and other similar uses within a 1,500-foot radius of the proposed lot.
- c. That the facility operator will provide community benefits as determined appropriate to businesses and residents likely to be impacted by this facility, taking into consideration the location of the proposed lot and nearby uses.

12. **Waste Facility, Solid Waste**

In addition to the other findings required by *Sec. 13B.2.3. (Class 3 Conditional Use Permit)*, the City Planning Commission shall make all of the following findings:

- a. That the proposed location of the facility will not result in an undue concentration of waste processing facilities in the immediate area, will not create a cumulative impact with special consideration given to the location of waste facilities already permitted, and will support the equitable distribution of these facilities citywide.
- b. That the facility will not detrimentally affect nearby residential uses and other sensitive land uses, taking into consideration the number and proximity of residential buildings, churches, schools, hospitals, public playgrounds, nursing homes, daycare centers, and other similar uses within a 1,500-foot radius of the proposed lot.
- c. That the facility operator will provide community benefits as determined appropriate to businesses and residents likely to be impacted by this facility, taking into consideration the location of the proposed lot and nearby uses.

SEC. 5B.8.3. INDUSTRIAL 3 (I3)

A. Intent

The I3 District is intended to support a wide range of commercial and industrial uses that support commerce, manufacturing, goods movement, and warehousing. Industrial uses are regulated to ensure disruptions to abutting uses and nearby communities are minimized.

B. Allowed Uses & Use Limitations

Use	Permission	Use Standard	Specification
RESIDENTIAL			
Dwelling	--		
Household Business:			
Family Child Care	--		
Home Occupation	--		
Home Sharing	--		
Joint Living & Work Quarters	--		
Live/Work	--		
Mobilehome Park	--		
Supportive Housing:			
General	--		
Medical Care	--		
Transitional Shelter	--		
PUBLIC & INSTITUTIONAL			
Cemetery	P*	Building setbacks	
		Street (min)	300'
		Agricultural, Residential, or Residential-Mixed Use District (min)	300'
		Residential use (min)	300'
		Relief	C1
		Screening	
		Frontage screen required	F-Screen 2
Transition screen required	T-Screen 1		
Civic Facility:			
Local	P		
Regional	P		
Detention Facility	C3		
Fleet Services	P		
Medical:			
Local	C2		
Regional	C3		
Office, Government	P		

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- Industrial Districts -

Use	Permission	Use Standard	Specification
Parking	P		
Public Safety Facility	P		
Religious Assembly	C2		
School:			
Preschool/Daycare	--		
K-12	--		
Post-Secondary	C2		
Social Services	P		
Utilities:			
		Screening	
Minor	P*	Frontage screen	F-Screen 2
		Transition screen	T-Screen 2
Major	C3		
		In conjunction with:	Other allowed use
Solar Energy Facility	P*	Floor area (min)	0.1 FAR
		Relief	C3
Wireless Facility, Monopole	P*	Supplemental standards	Sec. 5B.8.3.C.1.
Wireless Facility, Rooftop	P*	Supplemental standards	Sec. 5B.8.3.C.1.
OPEN SPACE & RECREATION			
Indoor Recreation, Commercial	P		
Nature Reserve	P		
Open Space, Public	P		
Outdoor Recreation, Commercial:			
General	--		
Golf Course	--		
Recreation, Public	P		
Amphitheater or Stadium			
Minor	P		
Major	C3		
TRANSPORTATION			
Airport	--		
Freight Terminal	C3		
Heliport	C2*	Incidental to:	Office or Medical
Railway Facility	C3		
Transit Station	P		

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Use	Permission	Use Standard	Specification
GENERAL COMMERCIAL			
Animal Services:			
General	P*	Use enclosure	Fully indoor
Kennel	P*	Use enclosure	Fully indoor
		Use separation	
		Residential or Residential-Mixed Use District (min)	200'
		Relief	C2
Veterinary Care	P*	Use enclosure	Fully indoor
Commissary Kitchen	P		
Eating & Drinking:			
Alcohol Service	C2*	In conjunction with: Supplemental procedures	Restaurant <i>Sec. 5B.8.3.D.1.</i>
Bar	C2*	Supplemental procedures	<i>Sec. 5B.8.3.D.2.</i>
Counter Service	P		
Restaurant	P		
Entertainment Venue:			
Local	--		
Regional	--		
Financial Services:			
General	--		
Alternative	--		
Instructional Services	P		
Lodging	--		
Medical Clinic	--		
Office	P		
Personal Services:			
General	--		
Massage, Licensed	--		
Massage, Unlicensed	C2		
Postmortem Services	P		
Retail:			
General	P		
Alcohol	C2*	Supplemental procedures	<i>Sec. 5B.8.3.D.3.</i>
Farmers' Market, Certified	C1*	Hours of operation (early/late)	7AM/9PM
		Service hours	6AM/10PM
		Operating days per week (max)	2
		Special use program	<i>Sec. 5C.4.1.</i>
Firearms	C2*	Supplemental procedures	<i>Sec. 5B.8.3.D.4.</i>

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- Industrial Districts -

Use	Permission	Use Standard	Specification
Food & Beverage	P		
Large Format	C3*	Supplemental procedures	Sec. 5B.8.3.D.5.
Merchant Market	P		
Pet Shop	P		
Temporary Outdoor	P		
Smoke & Vape Shop	P		
Sexually Oriented Business:	*	Use separation (min)	
		Other Sexually Oriented Business	1,000'
		Sensitive Use	500'
		Agricultural, Residential, or Residential-Mixed Use District	500'
General	P*	(see Sexually Oriented Business)	
Sexual Encounter	C2*	(see Sexually Oriented Business)	
HEAVY COMMERCIAL			
Motor Vehicle Services:			
Light	p*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Use enclosure	Fully indoors
		Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1
		Hours of operation (early/late)	7AM/7PM
		Service hours (early/late)	7AM/7PM
		Outdoor sound system	Prohibited
		Supplemental standards	Sec. 5B.8.3.C.2.
		Heavy	p*
Sensitive Use	500'		
Agricultural, Residential, or Residential-Mixed Use District	500'		
Relief	C2		
Use enclosure	Fully indoors		
Screening			
Frontage screen	F-Screen 3		
Transition screen	T-Screen 1		
Hours of operation (early/late)	7AM/7PM		
Service hours (early/late)	7AM/7PM		
Outdoor sound system	Prohibited		
Supplemental standards	Sec. 5B.8.3.C.2.		

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Use	Permission	Use Standard	Specification		
Car Wash	p*	Use separation (min)			
		Sensitive Use	200'		
		Agricultural, Residential, or Residential-Mixed Use District	200'		
		Relief	C2		
		Use enclosure			
		Car Wash, mechanized	Fully indoor		
		Car Wash, self-service	Covered		
		Screening			
		Frontage screen	F-Screen 3		
		Transition screen	T-Screen 1		
		Hours of operation (early/late)	7AM/7PM		
		Service hours (early/late)	7AM/7PM		
		Outdoor sound system	Prohibited		
		Supplemental standards	Sec. 5B.8.3.C.3.		
Commercial Vehicle	p*	Use separation (min)			
		Sensitive Use	200'		
		Agricultural, Residential, or Residential-Mixed Use District	200'		
		Relief	C2		
		Use enclosure	Fully indoors		
		Screening			
		Frontage screen	F-Screen 3		
		Transition screen	T-Screen 1		
		Hours of operation (early/late)	7AM/7PM		
		Service hours (early/late)	7AM/7PM		
		Outdoor sound system	Prohibited		
		Supplemental standards	Sec. 5B.8.3.C.2.		
		Fueling Station	p*	Use separation	
				Sensitive Use	200'
Agricultural, Residential, or Residential-Mixed Use District	200'				
Relief	C2				
Screening					
Frontage screen	F-Screen 3				
Transition screen	T-Screen 1				
Service hours (early/late)	7AM/7PM				
Outdoor sound system	Prohibited				
Supplemental standards	Sec. 5B.8.3.C.4.				

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- Industrial Districts -

Use	Permission	Use Standard	Specification
Motor Vehicle Sales & Rental:			
Commercial Vehicle	P*	Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1
Household Moving Truck Rental	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 4
Standard Vehicle	P*	Screening	
		Frontage screen	F-Screen 3
		Transition screen	T-Screen 1
Storage, Indoor:			
General	P		
Self-Service Facility	P		
Storage, Outdoor:			
General	P*	Accessory to:	Other allowed use
		Screening	
		Outdoor storage screen	S-Screen 2
Cargo Container	P*	Use separation (min)	
		Sensitive Use	500'
		Agricultural, Residential, or Residential-Mixed Use District	500'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 5
		Transition screen	T-Screen 2
		Supplemental standards	Sec. 5B.8.3.C.5.
Supplemental procedures	Sec. 5B.8.3.D.6.		
Commercial Vehicle	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 4
		Transition screen	T-Screen 1

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Use	Permission	Use Standard	Specification
Official Motor Vehicle Impound	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 4
		Transition screen	T-Screen 1
Standard Vehicle	P*	Use separation (min)	
		Sensitive Use	200'
		Agricultural, Residential, or Residential-Mixed Use District	200'
		Relief	C2
		Screening	
		Frontage screen	F-Screen 4
		Transition screen	T-Screen 1
LIGHT INDUSTRIAL	*	Use enclosure	Fully Indoor
		Screening applicability	
		Abutting	<ul style="list-style-type: none"> • Sensitive Use • Agricultural Use Districts • Residential Use Districts • Residential-Mixed Use Districts
		Screening	
		Transition Screen	T-Screen 1
Electronics Assembly	P*	(see Light Industrial)	
Maintenance & Repair Services	P*	(see Light Industrial)	
Manufacturing, Light:			
General	P*	(see Light Industrial)	
Alcoholic Beverage	P*	(see Light Industrial)	
Artistic & Artisanal	P*	(see Light Industrial)	
Cosmetic, Pharmaceutical	P*	(see Light Industrial)	
Food & Drink	P*	(see Light Industrial)	
Textile & Apparel	P*	(see Light Industrial)	
Research & Development	P*	(see Light Industrial)	
Soundstages & Backlots	P*	(see Light Industrial)	
Wholesale Trade & Warehousing	P*	(see Light Industrial)	

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- Industrial Districts -

Use	Permission	Use Standard	Specification
HEAVY INDUSTRIAL			
Animal Products Processing	--		
Manufacturing, Heavy:			
General	--		
Chemical Products	--		
Petroleum & Coal Products	--		
Salvage Yard	--		
Recycling Facilities			
		Use separation (min)	
		Sensitive Use	1000'
		Agricultural, Residential, or Residential-Mixed Use District	1000'
		Relief	C3
		Use enclosure	Fully indoor
		Screening	
		Frontage screen	F-Screen 5
		Transition screen	T-Screen 2
		Hours of operation (early/late)	
Collection	P*	Within 1000' of Agricultural, Residential, or Residential-Mixed Use District	7AM/7PM
		Beyond 1000' of Agricultural, Residential, or Residential-Mixed Use District	24-hours
		Service hours (early/late)	
		Within 1000' of Agricultural, Residential, or Residential-Mixed Use District	7AM/8PM
		Beyond 1000' of Agricultural, Residential, or Residential-Mixed Use District	24-hours
		Supplemental standards	Sec. 5B.8.3.C.6.
		Supplemental procedures	Sec. 5B.8.3.D.7.

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Use	Permission	Use Standard	Specification
Donation Bin	P*	In conjunction with:	Other allowed use
		Size	Height: 82" Depth: 50" Width: 60"
		Use separation	
		Agricultural, Residential, or Residential-Mixed Use District (min)	100'
		Use setback	
		Frontage lot line (min)	20'
		Common lot line (min)	10'
		Use enclosure	Covered and enclosed
		Supplemental standards	Sec. 5B.8.3.C.7.
Supplemental procedures	Sec. 5B.8.3.D.8.		
Sorting & Processing	--		
Resource Extraction:			
General	--		
Exploratory Core Hole	C2*	Supplemental standards	Sec. 5B.8.3.C.8.
Off-Shore Drilling Servicing Installation	--		
Waste Facility			
Green Waste	--		
Hazardous Waste Facility	--		
Solid Waste	--		
AGRICULTURE			
Animal Keeping:			
Bees	P*	Lot Area (min)	
		Per beehive	2,500 SF
		Location	
		Frontage yard	Prohibited
		Setback (min)	
		Side, rear and alley lot lines	5'
		Screening	
		Transition screen	T-Screen 1
Exception	Rooftop location		
Supplemental standards	Sec. 5B.8.1.C.9.		
Dairy	--		
Equine, Commercial	--		
Equine, Non-commercial	--		
Livestock	--		
Pets	P*	In conjunction with:	Other allowed use
Small Animals	--		

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- Industrial Districts -

Use	Permission	Use Standard	Specification
Wild Animals	--		
Plant Cultivation:			
Community Garden	P		
Farming	P		
Truck Gardening	P		

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C. Supplemental Standards

1. Wireless Facility, All

The wireless facility shall meet all applicable standards required by *Sec. 4C.12.4. (Wireless Telecommunication Facilities)*.

2. Motor Vehicle Services, General & Commercial Vehicle

- a. Bay doors and other building entrances and exits designed and intended for motor vehicle access shall meet the following standards:
 - i. Shall remain closed except during the allowed hours of operation, and
 - ii. Shall not face any frontage lot line.
- b. An off-street loading area, in compliance with development standard requirements for loading areas (*Sec. 4C.2.2.3.*), shall be provided to adequately accommodate all loading, unloading and any other activities requiring the use of commercial vehicles for transportation.
- c. All client vehicles being serviced by a general motor vehicle service use shall be stored on-site.

3. Motor Vehicle Services, Car Wash

Bay doors and other building entrances and exits designed and intended for motor vehicles shall not face any residential use or school unless the residential use or school is located more than 100 feet from the car wash facility.

4. Motor Vehicle Services, Fueling Station

An off-street loading area, in compliance with development standard requirements for loading areas (*Sec. 4C.2.2.3.*), shall be provided to adequately accommodate all loading and unloading of fuel, vehicles, goods and any other activities requiring the use of commercial vehicles for transportation.

5. Outdoor Storage, Cargo Container

- a. The entire lot shall be graded pursuant to *Chapter 9, Division 70 (Grading, Excavation and Fills) of the LAMC*.
- b. All driveways, accessways, and parking areas shall be covered with a decomposed granite, crushed gravel, or similar material and be treated with dust control methods.
- c. All containers shall be empty and cleaned of any residue which may pose any kind of physical or health risk.

6. Recycling Facility, Collection

- a. All deposited goods and materials, temporary installations, debris, trash, and any other material associated with the use shall be placed or stored in a fully covered and enclosed recycling facility, and not be left or stored outdoors beyond the hours of operation.
- b. Collection facilities shall be emptied in accordance with their posted pick-up schedule, and the area surrounding the collection bins shall be maintained free of overflow goods and materials, litter, debris, posted bills, and graffiti at all times.
- c. In order to prevent unauthorized access to the collection facility, a tamper-resistant locking mechanism shall secure the opening of the collection facility.
- d. The receptacle, container, or bin in which goods and materials are stored shall be fabricated of durable, noncombustible, and waterproof materials.
- e. The recycling collection facility enclosure shall be clearly identified with the operator's name, address, and telephone number, the lot owner's name, address of the lot, the types of items or materials that may be deposited, the pick-up schedule, a notice that no material shall be left outside the enclosure, and instructions to call 311 to register any complaint regarding the facility with the Department of Building and Safety.

7. Recycling Facility, Donation Bin

- a. No more than one collection bin shall be located on any lot.
- b. Collection bins shall be emptied in accordance with their posted pick-up schedule, and the area surrounding the collection bins shall be maintained free of overflow goods and materials, litter, debris, posted bills, and graffiti at all times.
- c. In order to prevent unauthorized access to the collection bin, a tamper-resistant locking mechanism shall secure the opening of the collection bin.
- d. The collection bin shall be fabricated of durable, noncombustible, and waterproof materials.
- e. Collection bins shall be illuminated between sunset and sunrise by a light source providing at least 1 footcandle of light.

- f. The collection bin shall be clearly identified with the operator's name, address, and telephone number, the lot owner's name, address of the lot, the types of items or materials that may be deposited, the pick-up schedule, a notice that no material shall be left outside the enclosure, and instructions to call 311 to register any complaint regarding the collection bin with the Department of Building and Safety.

8. Resource Extraction, Exploratory Core Hole

The maximum duration of a permit for exploratory core holes shall not exceed 200 days. However, where the Zoning Administrator, pursuant to *Sec. 13B.2.2. (Class 2 Conditional Use Permit)* finds that drilling, testing, and proper abandonment cannot reasonably be completed within 200 days due to depth, deviation, or quantity of temporary geological exploratory core holes, the maximum duration may be increased to a total of 365 days.

9. Animal Keeping, Bees

- a. Bee keeping operator shall be registered as a beekeeper with the Los Angeles County Agricultural Commission.
- b. A water source for bees shall be provided at all times on the lot where the bees are kept.

D. Supplemental Procedures

1. Alcohol Service

- a. In addition to the notification otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall promptly notify the Council-member that represents the area including the project site of the conditional use application.
- b. In addition to the findings otherwise required by *Sec. 13B.2.2. (Class 2 Conditional Use Permit)*, the Zoning Administrator shall also consider:
 - i. That the granting of the application will not result in an undue concentration of uses that dispense alcoholic beverages within a 1,000-foot radius of the lot according to the California Department of Alcoholic Beverage Control's guidelines for undue concentration.
 - ii. Consider the existing crime rate nearby, especially those crimes involving public drunkenness, the illegal sale or use of narcotics, drugs or alcohol, disturbing the peace, and disorderly conduct, and whether revocation or nuisance proceedings have been initiated for any similar use in the area.
 - iii. That the proposed use will not detrimentally affect nearby Residential Use Districts or sensitive uses.
- c. Permission for multiple approvals to allow alcohol service for three or more tenant spaces may be applied for under a single conditional use permit entitlement, subject to the following:

- i. Tenant spaces are maintained under a single ownership within a unified complex comprising a combined floor area of 10,000 square feet or greater on the same site.
- ii. The entitlement application for multiple conditional use permits shall be subject to processes and procedures required by Sec. 13B.2.2. (Class 2 Conditional Use Permit).
- iii. Project Review shall be completed for each individual tenant space resulting in approval for each individual tenant space prior to the establishment of the proposed use within the subject tenant space.
- iv. Applications shall detail the square footage of each tenant space, suite or unit number, hours of operation, and specific nature of proposed use for each tenant-operator space.
- v. Each individual tenant space shall be separately addressed with applicable site-specific conditions. Any change in tenant-operator shall be required to apply for Project Review in order to evaluate the applicability of existing conditions and review any potential changes in site operations and conditions.

2. **Bar**

- a. In addition to the notification otherwise required by Sec. 13B.2.2. (*Class 2 Conditional Use Permit*), the Zoning Administrator shall promptly notify the Council-member that represents the area including the project site of the conditional use application.
- b. In addition to the findings otherwise required by Sec. 13B.2.2. (*Class 2 Conditional Use Permit*), the Zoning Administrator shall also consider:
 - i. That the granting of the application will not result in an undue concentration of uses that dispense alcoholic beverages within a 1,000-foot radius of the lot according to the California Department of Alcoholic Beverage Control's guidelines for undue concentration.
 - ii. Consider the existing crime rate nearby, especially those crimes involving public drunkenness, the illegal sale or use of narcotics, drugs or alcohol, disturbing the peace, and disorderly conduct, and whether revocation or nuisance proceedings have been initiated for any similar use in the area.
 - iii. That the proposed use will not detrimentally affect nearby Residential Use Districts or sensitive uses.
- c. Permission for multiple approvals to allow bars for three or more tenant spaces may be applied for under a single conditional use permit entitlement, subject to the following:
 - i. Tenant spaces are maintained under a single ownership within a unified complex comprising a combined floor area of 10,000 square feet or greater on the same site.

- ii. The entitlement application for multiple conditional use permits shall be subject to processes and procedures required by Sec. 13B.2.2. (Class 2 Conditional Use Permit).
- iii. Project Review shall be completed for each individual tenant space resulting in approval for each individual tenant space prior to the establishment of the proposed use within the subject tenant space.
- iv. Applications shall detail the square footage of each tenant space, suite or unit number, hours of operation, and specific nature of proposed use for each tenant-operator space.
- v. Each individual tenant space shall be separately addressed with applicable site-specific conditions. Any change in tenant-operator shall be required to apply for Project Review in order to evaluate the applicability of existing conditions and review any potential changes in site operations and conditions.

3. Retail, Alcohol

- a. In addition to the notification otherwise required by Sec. 13B.2.2. (Class 2 Conditional Use Permit), the Zoning Administrator shall promptly notify the Council-member that represents the area including the project site of the conditional use application.
- b. In addition to the findings otherwise required by Sec. 13B.2.2. (Class 2 Conditional Use Permit), the Zoning Administrator shall also consider:
 - i. That the granting of the application will not result in an undue concentration of uses that dispense alcoholic beverages within a 1,000-foot radius of the lot according to the California Department of Alcoholic Beverage Control's guidelines for undue concentration.
 - ii. Consider the existing crime rate nearby, especially those crimes involving public drunkenness, the illegal sale or use of narcotics, drugs or alcohol, disturbing the peace, and disorderly conduct, and whether revocation or nuisance proceedings have been initiated for any similar use in the area.
 - iii. That the proposed use will not detrimentally affect nearby Residential Use Districts or sensitive uses

4. Retail, Firearms

In addition to the findings otherwise required by Sec. 13B.2.2. (Class 2 Conditional Use Permit), the Zoning Administrator shall also consider the number of firearms available for sale at the lot.

5. Retail, Large Format

- a. In addition to a Conditional Use Permit with approval by the City Planning Commission, pursuant to Sec. 13B.2.3. (Class 3 Conditional Use Permit), new large format retail uses are required to prepare an economic impact analysis report for submission to the Department

of City Planning and the Economic & Workforce Development Department for review in conjunction with its application to the Department of City Planning. The Economic & Workforce Development Department shall complete its review of the report within 60 days after receipt of the report from the applicant. The report shall identify the following:

- i.** The economic impact on retail businesses within a 3-mile radius based on the potential to divert or expand the local or regional customer base. Data portraying the existing customer volume of the study area as well as the anticipated customer volume of the study area shall be included in the report.
 - ii.** The destruction or demolition of any buildings, structures facilities or site area containing any of the following uses: any Residential Use, Civic Facility, School, Nature Reserve, Public Open Space, or Public Recreation.
 - iii.** Contribution to local retail market in terms of providing lower in cost or higher in quality goods and services than currently available to residents within a 3-mile radius. A survey of goods and services offered by retail uses within a 3-mile radius shall be included within the report.
 - iv.** The number of permanent jobs displaced or created as a direct result of the project. Permanent jobs shall be categorized by employment sector within the report.
 - v.** Fiscal impact on City tax revenue, either positive or negative.
 - vi.** Viability of future reuse of the project site in the event the business vacates the premises based on factors such as building design, site layout, and lease terms requiring the lot to remain vacant for a significant amount of time.
 - vii.** Reasonable expectation that employment solicitation by day laborers will occur at or around the lot.
 - viii.** Measures to mitigate any materially adverse impacts identified within the report.
- b.** If determined by the City Planning Commission, or the City Council on appeal, that based on the findings of the report, or any other information received before or at a public hearing that there is a reasonable expectation that employment solicitation by day laborers will occur at or around the lot then the following measures may be required to the satisfaction of the City Planning Commission, or the City Council on appeal:
- i.** The project shall accommodate employment solicitation by day laborers with dedicated congregation space that meets the following criteria:
 - a)** Is sufficient in size based on reasonably expected users;
 - b)** Located along but clear of a pedestrian accessway leading to a primary entrance;
and
 - c)** Is covered to provide adequate shelter from the weather.

- ii. Amenities including publicly accessible sources of drinking water, toilet and trash facilities, tables, and seating areas shall also be made available during business hours of operation.
- iii. A signage plan, indicating the location of signs at appropriate locations throughout the lot directing users to dedicated congregation areas and amenities.

6. Outdoor Storage, Cargo Container

- a. The stacking of cargo containers more than 20 feet high shall only be permitted if a structural analysis done by a licensed engineer or architect in the State of California is submitted to and approved by the Los Angeles Department of Building and Safety (LADBS).
- b. An annual site inspection shall be conducted by LADBS, pursuant to *Sec. 13B.10.3. (Annual Inspection Monitoring - Auto Dismantling Yards, Junk Yards, Scrap Metal or Recycling Materials Processing Yards, Recycling Collection Centers or Buyback Centers, Recycling Materials Sorting Facilities, and Cargo Container Storage Yards)*.

7. Manufacturing Heavy, Salvage Yard

An annual site inspection shall be conducted by LADBS, pursuant to *Sec. 13B.10.3. (Annual Inspection Monitoring - Auto Dismantling Yards, Junk Yards, Scrap Metal or Recycling Materials Processing Yards, Recycling Collection Centers, Buyback Centers, Recycling Materials Sorting Facilities, and Cargo Container Storage Yards)*.

8. Recycling Facilities, All

An annual site inspection shall be conducted by LADBS, pursuant to *Sec. 13B.10.3. (Annual Inspection Monitoring - Auto Dismantling Yards, Junk Yards, Scrap Metal or Recycling Materials Processing Yards, Recycling Collection Centers, Buyback Centers, Recycling Materials Sorting Facilities, and Cargo Container Storage Yards)*.

DIV. 5B.9. PUBLIC DISTRICTS

Public Use Districts promote public and institutional uses and allow a limited amount of compatible uses.

SEC. 5B.9.1. PUBLIC 1 (P1)

A. Intent

The P1 Use District allows for government buildings, structures, offices, and services facilities. This District is intended to provide regulations for the use and development of land owned by a government agency. For most uses, district permissions assume those of the most restrictive adjoining use district.

B. Allowed Uses & Use Limitations

Use	Permission	Use Standard	Specification
RESIDENTIAL			
Dwelling	A-		
Household Business:			
Family Child Care	A-		
Home Occupation	A-		
Home Sharing	A-		
Joint Living & Work Quarters	A-		
Live/Work	A-		
Mobilehome Park	A-		
Supportive Housing:			
General	A-		
Medical Care	A-		
Transitional Shelter	P		
PUBLIC & INSTITUTIONAL			
Cemetery	A-		
Civic Facility:			
Local	P*	Government owned	Required
		Relief	C3
Regional	C3		
Detention Facility	C3		
Fleet Services	P		
Medical:			
Local	P*	Government owned	Required
Regional	P*	Government owned	Required
Office, Government	P		
Parking	A-		

KEY: "P" = Permitted Use; "*" = Use standard applies; "A+" = Dependent on most permissive zoning; "A-" = Dependent on most restrictive zoning; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

- Public Districts -

Use	Permission	Use Standard	Specification
Public Safety Facility	P		
Religious Assembly	A-		
School:			
Preschool/Daycare	P		
K-12	P*	Government owned	Required
Post-secondary	C3		
Social Services	P		
Utilities:			
Minor	P*	Screening Frontage screen Transition screen	F-Screen 2 T-Screen 2
Major	C3		
Solar Energy Facility	P*	In conjunction with: Floor area (min) Relief	Other allowed use 0.1 FAR C3
Wireless Facility, Monopole	C2*	Supplemental standards	Sec. 5B.9.1.C.1.
Wireless Facility, Rooftop	P*	Supplemental standards	Sec. 5B.9.1.C.1.
OPEN SPACE & RECREATION			
Indoor Recreation, Commercial	A-		
Nature Reserve	P		
Open Space, Public	P		
Outdoor Recreation, Commercial:			
General	A-		
Golf	A-		
Recreation, Public	P		
Amphitheater or Stadium			
Local	C3		
Regional	C3		
TRANSPORTATION			
Airport	A-		
Freight Terminal	A-		
Heliport	A-		
Railway Facility	A-		
Transit Station	A-		
GENERAL COMMERCIAL			
Animal Services:			
General	A-		
Kennel	A-		
Veterinary Care	A-		
Commissary Kitchen	A-		

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Use	Permission	Use Standard	Specification
Eating & Drinking:			
Alcohol Service	A-		
Bar	A-		
Counter Service	A-		
Restaurant	A-		
Entertainment Venue, Indoor:			
Local	A-		
Regional	C2		
Financial Services:			
General	A-		
Alternative	A-		
Instructional Services			
Lodging	A-		
Medical Clinic	P*	Government owned	Required
Office	A-		
Personal Services:			
General	A-		
Massage, Licensed	A-		
Massage, Unlicensed	A-		
Postmortem Services			
	A-		
Retail:			
General	A-		
Alcohol	A-		
Farmers' Market, Certified	A-		
Firearms	A-		
Food & Beverage	A-		
Large Format	A-		
Merchant Market	A-		
Pet Shop	A-		
Temporary, Outdoor	A-		
Smoke & Vape Shop	A-		
Sexually Oriented Business:			
General	A-		
Sexual Encounter	A-		
HEAVY COMMERCIAL			
Motor Vehicle Services:			
Light	A-		
Heavy	A-		
Car Wash	A-		
Commercial Vehicle	A-		
Fueling Station	A-		

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- Public Districts -

Use	Permission	Use Standard	Specification
Motor Vehicle Sales & Rental:			
Commercial Vehicle	A-		
Household Moving Truck Rental	A-		
Standard Vehicle	A-		
Storage, Indoor:			
General	A-		
Self-Service Facility	A-		
Storage, Outdoor:			
General	A-		
Cargo Container	A-		
Commercial Vehicle	A-		
Official Motor Vehicle Impound	A-		
Standard Vehicle	A-		
LIGHT INDUSTRIAL USES			
Electronics Assembly	A-		
Maintenance & Repair Services	A-		
Manufacturing, Light:			
General	A-		
Alcoholic Beverage	A-		
Artistic & Artisanal	A-		
Cosmetic, Pharmaceutical	A-		
Food & Drink	A-		
Textile & Apparel	A-		
Research & Development	C3		
Soundstages & Backlots	A-		
Wholesale Trade & Warehousing	A-		
HEAVY INDUSTRIAL USES			
Animal Products and Processing	A-		
Manufacturing, Heavy:			
General	A-		
Chemical Products	A-		
Petroleum & Coal Products	A-		
Salvage Yard	A-		
Recycling Facilities			
Collection	C3		
Donation Bin	A-		
Sorting & Processing	C3		
Resource Extraction:			
General	A-		

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Use	Permission	Use Standard	Specification
Exploratory Core Hole	A-		
Off-Shore Drilling Servicing Installation	A-		
Waste Facility:			
Green Waste	A-		
Hazardous Waste	A-		
Solid Waste	C3		
AGRICULTURE USES			
Animal Keeping:			
Bees	A-		
Dairy	A-		
Equine, Commercial	A-		
Equine, Non-commercial	A-		
Livestock	A-		
Pets	A-		
Small Animals	A-		
Wild Animals	A-		
Plant Cultivation:			
Community Garden	A-		
Farming	A-		
Truck Gardening	A-		

KEY: "P" = Permitted Use; "*" = Use standard applies; "A+" = Dependent on most permissive zoning; "A-" = Dependent on most restrictive zoning; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

C. Supplemental Standards

1. Wireless Facility, All

The wireless facility shall meet all applicable standards required by *Sec. 4C.12.4. (Wireless Telecommunication Facilities)*.

SEC. 5B.9.2. PUBLIC 2 (P2)

A. Intent

The P2 Use District allows for government buildings, structures, offices, and services facilities. This District is intended to provide regulations for the use and development of land owned by a government agency. For most uses, district permissions assume those of the most permissive adjoining use district.

B. Allowed Uses & Use Limitations

Use	Permission	Use Standard	Specification
RESIDENTIAL			
Dwelling	P*	Use separation	
		Heavy Industrial	300'
		Restricted affordable units	100% of dwelling units
		Supplemental standards	Sec.5B.9.2.C.1.
		Relief	C3
		Supplemental procedures	Sec.5B.9.2.D.1.
Government owned	Required		
Household Business:			
Family Child Care	A+		
Home Occupation	A+		
Home Sharing	A+		
Joint Living & Work Quarters	A+		
Live/Work	A+		
Mobilehome Park	A+		
Supportive Housing:			
General	A+		
Medical Care	A+		
Transitional Shelter	P		
PUBLIC & INSTITUTIONAL			
Cemetery	A+		
Civic Facility:			
Local	P*	Government owned	Required
		Relief	C3
Regional	C3		
Detention Facility	C3		
Fleet Services	P		
Medical:			
Local	P*	Government owned	Required
Regional	P*	Government owned	Required
Office, Government	P		

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Use	Permission	Use Standard	Specification
Parking	A+		
Public Safety Facility	P		
Religious Assembly	A+		
School:			
Preschool/Daycare	P		
K-12	P*	Government owned	Required
Post-secondary	C3		
Social Services	P		
Utilities:			
		Screening	
Minor	P*	Frontage screen	F-Screen 2
		Transition screen	T-Screen 2
Major	C3		
		In conjunction with:	Other allowed use
Solar Energy Facility	P*	Floor area (min)	0.1 FAR
		Relief	C3
Wireless Facility, Monopole	C2*	Supplemental standards	Sec. 5B.9.2.C.2.
Wireless Facility, Rooftop	P*	Supplemental standards	Sec. 5B.9.2.C.2.
OPEN SPACE & RECREATION			
Indoor Recreation, Commercial	A+		
Nature Reserve	P		
Open Space, Public	P		
Outdoor Recreation, Commercial:			
General	A+		
Golf	A+		
Recreation, Public	P		
Amphitheater or Stadium			
Local	C2		
Regional	C3		
TRANSPORTATION			
Airport	A+		
Freight Terminal	A+		
Heliport	A+		
Railway Facility	A+		
Transit Station	A+		
GENERAL COMMERCIAL			
Animal Services:			
General	A+		
Kennel	A+		
Veterinary Care	A+		

KEY: "P" = Permitted Use; "*" = Use standard applies; "A+" = Dependent on most permissive zoning; "A-" = Dependent on most restrictive zoning; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

Use	Permission	Use Standard	Specification
Commissary Kitchen	A+		
Eating & Drinking:			
Alcohol Service	A+		
Bar	A+		
Counter Service	A+		
Restaurant	A+		
Entertainment Venue, Indoor:			
Local	A+		
Regional	C2		
Financial Services:			
General	A+		
Alternative	A+		
Instructional Services	A+		
Lodging	A+		
Medical Clinic	P*	Government owned	Required
Office	A+		
Personal Services:			
General	A+		
Massage, Licensed	A+		
Massage, Unlicensed	A+		
Postmortem Services	A+		
Retail:			
General	A+		
Alcohol	A+		
Farmers' Market, Certified	A+		
Firearms	A+		
Food & Beverage	A+		
Large Format	A+		
Merchant Market	A+		
Pet Shop	A+		
Temporary, Outdoor	A+		
Smoke & Vape Shop	A+		
Sexually Oriented Business:			
General	A+		
Sexual Encounter	A+		
HEAVY COMMERCIAL			
Motor Vehicle Services:			
Light	A+		
Heavy	A+		
Car Wash	A+		

KEY: "P" = Permitted Use; "*" = Use standard applies; "A+" = Dependent on most permissive zoning; "A-" = Dependent on most restrictive zoning; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

Use	Permission	Use Standard	Specification
Commercial Vehicle	A+		
Fueling Station	A+		
Motor Vehicle Sales & Rental:			
Commercial Vehicle	A+		
Household Moving Truck Rental	A+		
Standard Vehicle	A+		
Storage, Indoor:	A+		
General	A+		
Self-Service Facility	A+		
Storage, Outdoor:			
General	A+		
Cargo Container	A+		
Commercial Vehicle	A+		
Official Motor Vehicle Impound	A+		
Standard Vehicle	A+		
LIGHT INDUSTRIAL USES			
Electronics Assembly	A+		
Maintenance & Repair Services	A+		
Manufacturing, Light:			
General	A+		
Alcoholic Beverage	A+		
Artistic & Artisanal	A+		
Cosmetic, Pharmaceutical	A+		
Food & Drink	A+		
Textile & Apparel	A+		
Research & Development	C3		
Soundstages & Backlots	A+		
Wholesale Trade & Warehousing	A+		
HEAVY INDUSTRIAL USES			
Animal Products and Processing	A+		
Manufacturing, Heavy:			
General	A+		
Chemical Products	A+		
Petroleum & Coal Products	A+		
Salvage Yard	A+		
Recycling Facilities			
Collection	C3		
Donation Bin	A+		
Sorting & Processing	C3		

KEY: "P" = Permitted Use; "*" = Use standard applies; "A+" = Dependent on most permissive zoning; "A-" = Dependent on most restrictive zoning; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

Use	Permission	Use Standard	Specification
Resource Extraction:			
General	A+		
Exploratory Core Hole	A+		
Off-Shore Drilling Servicing Installation	A+		
Waste Facility:			
Green Waste	A+		
Hazardous Waste	A+		
Solid Waste	C3		
AGRICULTURE USES			
Animal Keeping:			
Bees	A+		
Dairy	A+		
Equine, Commercial	A+		
Equine, Non-commercial	A+		
Livestock	A+		
Pets	A+		
Small Animals	A+		
Wild Animals	A+		
Plant Cultivation:			
Community Garden	A+		
Farming	A+		
Truck Gardening	A+		

KEY: "P" = Permitted Use; "*" = Use standard applies; "A+" = Dependent on most permissive zoning; "A-" = Dependent on most restrictive zoning; "C1" = Approval by Zoning Administrator; "C2" = Public Hearing by Zoning Administrator; "C3" = Review by City Planning Commission

C. Supplemental Standards

1. Dwelling

An alternative percentage of restricted affordable units may be authorized by a Community Plan Implementation Overlay (CPIO) Subarea.

2. Wireless Facility, All

The wireless facility shall meet all applicable standards required by *Sec. 4C.12.4. (Wireless Telecommunication Facilities)*.

D. Supplemental Procedures

1. Dwelling

In addition to the findings otherwise required by *Sec. 13B.2.3. (Class 3 Conditional Use Permit)*, the City Planning Commission shall also find:

- a. A minimum percentage of restricted affordable housing shall be provided in accordance with the most applicable Local Affordable Housing Incentive Program.

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DIV. 5C.1. **USE DEFINITIONS**

[Portions of this Division displayed in grayed out text are being introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU. Black text (not grayed out) is being introduced with the Boyle Heights Community Plan.]

SEC. 5C.1.1. **RESIDENTIAL USES**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.1.2. **PUBLIC & INSTITUTIONAL USES**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.1.3. **OPEN SPACE & RECREATION USES**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.1.4. **TRANSPORTATION USES**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.1.5. **GENERAL COMMERCIAL USES**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.1.6. **HEAVY COMMERCIAL USES**

Uses that involve the servicing and sale of motor vehicles, and businesses dedicated primarily to storage.

A. Motor Vehicle Services

A use involving the diagnosing of malfunctions, repairing, or maintaining motor vehicles.

1. Light

Any motor vehicle services use involving the mechanical or electrical repair, diagnosis, maintenance or servicing of non-commercial motor vehicles. Includes automotive emissions testing, electrical diagnostic, battery testing, and charging, tire removal, replacement, and repair, mechanical adjustment, oil change, lubrication, sound system, alarm service and installation, and window repair., Does not include car wash or fueling station.

2. Heavy

Any motor vehicle services use involving, auto body repair or rebuilding, painting, or servicing of non-commercial and commercial motor vehicles. Includes the repair or rebuilding of a vehicle's frame, roof, doors, fenders, bumpers, hood, trunk, automobile painting, and electric vehicle battery reconditioning and replacement. Does not include car wash or fueling station.

- Use Definitions -

3. Car Wash

Any motor vehicle services use engaged in cleaning, washing, or waxing of non-commercial motor vehicles, such as passenger cars, trucks, vans, and trailers. For wash facilities for commercial vehicles, see Sec. 5C.1.6.A.4. (Commercial Vehicle).

4. Fueling Station

Any motor vehicle services use that sells and dispenses vehicle fuel, including diesel, gasoline, hydrogen, and other alternative fuels. Includes electric vehicle charging station and commercial vehicle fueling. Does not include electric vehicles charging spaces within a parking area serving another use or uses.

5. Commercial Vehicle

Any motor vehicle services use involving the diagnosing of malfunctions, repairing or maintaining of commercial vehicles.

B. Motor Vehicle Sales and Rental

Any heavy commercial use that sells, rents, or leases motor vehicles.

1. Household Moving Truck Rental

Any use involving the rental of household moving rental trucks or utility trailers.

2. Standard Vehicle

Any display of 3 or more new or used non-commercial motor vehicles for sale, rental, or lease, including recreational vehicles, passenger vehicles, pickup trucks, motorcycles, or boats. For vehicle storage, see Sec. 5C.1.6.D. (Outdoor Storage).

3. Commercial Vehicle

Any use involving the sale, rental, or lease of new or used commercial motor vehicles. For vehicle storage, see Sec. 5C.1.6.D. (Outdoor Storage).

C. Storage, Indoor

The holding of goods, merchandise, supplies, material, machinery, equipment, or other items for future use located indoors.

1. General

Any indoor storage use, excluding self-service indoor storage.

2. Self-Service

Any indoor storage use that offers secure self-storage for household goods in individual rooms, compartments, lockers, or containers, to which clients bring goods for storage and retrieve them at any time during normal business hours.

D. Storage, Outdoor

The outdoor holding of goods, merchandise, supplies, material, machinery, equipment, vehicles, or other items for future use. Includes contractor's equipment storage yard and lumber yard.

1. General

Any outdoor storage use that does not involve the keeping of empty cargo containers (Sec. 5C.1.6.D.2.), inactive commercial vehicles (Sec. 5C.1.6.D.3.), towing and storage for official motor vehicle impound (Sec. 5C.1.6.D.4.), or inactive standard vehicles (Sec. 5C.1.6.D.5.).

2. Cargo Container

Any outdoor storage use involving the keeping of empty cargo containers. Cargo container outdoor storage may include storage of container chassis and commercial truck cabs, repair facility, warehouse, and office, incidental to the movement or storage of cargo containers. For the storage of cargo containers that are not empty, or uses which are part of any freight transfer, see Sec. 5C.1.4.D. (Freight Terminals).

3. Commercial Vehicle

The storage of commercial motor vehicles that are not actively used by the principal occupants of the lot. Includes storage of tractor trailers, cement trucks, and specialized trailers for oversized loads. For uses where vehicles are actively used by the principal occupants of lot, see Sec. 5C.1.2.I. (Parking).

SEC. 5C.1.7. LIGHT INDUSTRIAL USES

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.1.8. HEAVY INDUSTRIAL USES

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.1.9. AGRICULTURAL USES

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 5C.2. **USE PERMISSIONS**

[Portions of this Division displayed in grayed out text are being introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU. Black text (not grayed out) is being introduced with the Boyle Heights Community Plan.]

SEC. 5C.2.1. **GENERAL**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.2.2. **PERMITTED (P)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.2.3. **USE STANDARD APPLIES (*)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.2.4. **CONDITIONAL USES (C1, C2 & C3)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.2.5. **DEPENDENT ON ADJOINING ZONING (A- & A+)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.2.6. **NOT PERMITTED (--)**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 5C.3. **USE STANDARDS**

[Portions of this Division displayed in grayed out text are being introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU. Black text (not grayed out) is being introduced with the Boyle Heights Community Plan.]

SEC. 5C.3.1. **ACCESSORY TO**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.2. **ADAPTIVE REUSE PROJECT**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.3. **AREA**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.4. **BEDS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.5. **BUILDING SEPARATION**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

A. **Intent**

To ensure that buildings and structures are located at an adequate distance from streets, uses, or districts so as not to negatively impact neighboring lots, uses, or the public realm.

B. **Applicability**

Applies only when specified by the Use District as a required use standard.

C. **Standards**

All portions of a building designated with the subject use shall be located at a distance of no less than the minimum required building separation from one or more of the following, as specified by the Use District:

1. A street;
2. A specified use;
3. A specified Use District;
4. An on-site dwelling unit; and
5. An off-site dwelling unit.
6. Other buildings on-site.

SEC. 5C.3.6. **CLIENT VISITS PER HOUR**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.7. **NON-RESIDENTIAL TENANT SIZE**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.8. **DESIGNATED WORK SPACE AREA**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.9. **DESIGNATED WORK SPACE DIMENSIONS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.10. **DESIGNATED WORK SPACE USES**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.11. **GOVERNMENT OWNED**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.12. **HOURS OF OPERATION**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.13. **IN CONJUNCTION WITH**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.14. **INCIDENTAL TO**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.15. **LOT ELIGIBILITY**

A. **Intent**

To limit subject uses only to lots having specific qualities required in order to ensure the use is appropriately sited within its surroundings and complies with the intent of the Use District.

B. **Applicability**

Applies only when specified by the Use District as a required use standard.

C. Standards

1. Alley Abutting: Where the applied Use District specifies 'Alley Abutting' for the lot eligibility standard, the subject use may be permitted when the subject use is located on a lot that abuts an alley having a width of 15 feet or greater.
2. Boulevard or Avenue Fronting: Where the applied Use District specifies 'Boulevard or Avenue Fronting' for the lot eligibility standard, the subject use may be permitted when the subject use is located on a lot sharing a lot line with a street designated as a Boulevard or Avenue.
3. Industrial Collector Fronting: Where the applied Use District specifies 'Industrial Collector Fronting' for the lot eligibility standard, the subject use may be permitted when the subject use is located on a lot sharing a lot line with a street designated as a Industrial Collector.
4. Corner Lot: Where the applied Use District specifies 'Corner Lot' for the lot eligibility standard, the subject use may be permitted when the subject use is located on a lot located at the intersection of two streets.
5. Minimum Lot Area: Where the applied Use District specifies 'Minimum Lot Area' for the lot eligibility standard, the subject use may be permitted when the subject use is located on a lot having an area that is equal to or greater than the minimum area specified by the applied Use District.

D. Measurement

1. Alley width is measured as the narrowest horizontal distance between opposite edges of a designated alley.
2. For lot line determination see *Sec. 14.1.12 (Lot Line Determination)*.
3. For lot area measurement see *Sec. 2C.1.1.D. (Lot Area, Measurement)*.

E. Relief

See the allowed uses and use limitations of the applied *Use District (Part 5B)*.

SEC. 5C.3.16. **MINIMUM FLOOR AREA**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.17. **OPEN PLAN AREA**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.18. **OPERATING DAYS PER WEEK**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.19. **OUTDOOR SOUND SYSTEM**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.20. **PERSONS IN CARE**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.21. **RESTRICTED AFFORDABLE UNITS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.22. **SCREENING**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.23. **SEATING CAPACITY**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.24. **SERVICE HOURS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.25. **SIZE**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.26. **SUPPLEMENTAL PROCEDURES**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.27. **SUPPLEMENTAL STANDARDS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.28. **UNIT SIZE**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.29. **UPPER STORY LOCATION**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.30. **USE ENCLOSURE**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.31. **USE SEPARATION**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.32. **USE SETBACK**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.3.33. **USE STANDARD APPLICABILITY**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

DIV. 5C.4. **SPECIAL USE PROGRAMS**

Special use programs are established for uses that require a detailed and prescriptive set of performance standards for safe, orderly, and efficient operation, in addition to any use standards and supplemental standards that may be included in the Use District.

SEC. 5C.4.1. **FARMERS' MARKET**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.4.2. **RESTAURANT BEVERAGE PROGRAM A**

[Placeholder for the incorporation of Council File 17-0981 (Restaurant Beverage Program)]

SEC. 5C.4.3. **RESTAURANT BEVERAGE PROGRAM B**

[Placeholder for the incorporation of Council File 17-0981 (Restaurant Beverage Program)]

SEC. 5C.4.4. **RESTAURANT BEVERAGE PROGRAM C**

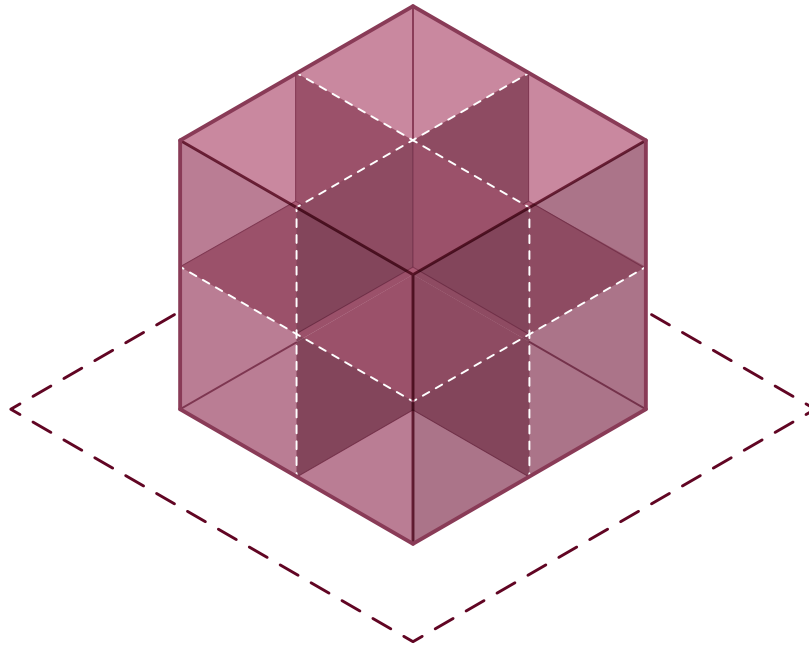
[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU as Sec. 5C.4.2. in the June 2nd, 2021 Proposed Draft of the New Zoning Code]

SEC. 5C.4.5. **NIGHTLIFE BEVERAGE PROGRAM**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 5C.4.6. **HOME-SHARING**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]



ARTICLE 6. **DENSITY**

[FORM - FRONTAGE - STANDARDS] [USE - **DENSITY**]

Part 6A. **Introduction**

Part 6B. **Density Districts**

Part 6C. **Density Rules**

The Downtown Community Plan will bring forward for adoption the New Zoning Code, including this Article via CPC-2014-1582-CA and CPC-2017-432-CPU. The Boyle Heights Community Plan will bring forward the unique zones and additional standards or regulations needed to implement the Boyle Heights Community Plan.

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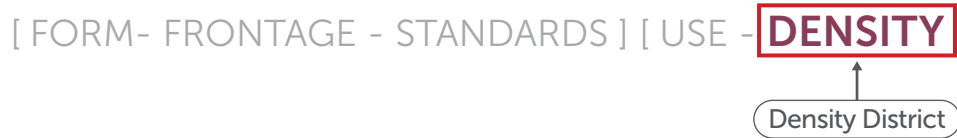
PART 6A. INTRODUCTION

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DIV. 6A.1. **ORIENTATION**

SEC. 6A.1.1. **RELATIONSHIP TO ZONE STRING**

A zone string is composed of the following districts, as established in *Sec. 1.5.2. (Zoning Map)*:



The Density District is a separate and independent component of each zone.

SEC. 6A.1.2. **HOW TO USE ARTICLE 6 (DENSITY)**

A. **Identify the Density District**

The fifth component in a zone string identifies the Density District for a property.

B. **Density District Standards**

Density Districts standards are located in *Part 6B. (Density Districts)*. Each Density District identifies the standards specific to that Density District.

C. **Interpreting Density District Standards**

Each standard in a Density District in *Part 6B. (Density Districts)* provides a reference to *Part 6C. (Density Rules)* where the standard is explained in detail.

Form District Example:

Zone String

[LM2-MU2-5] [RG1-**4**]

Find Your Applied Density District

Part 6B (Density Districts)

SEC. 6B.1.2 LOT AREA-BASED DISTRICTS

In FA, 2, 3, 4, 6, 8, 10, 12, 15, 20, 30, 40, 50, 60 Density Districts, the maximum density of household living units on a lot shall be determined using the table below. A lot may contain a maximum of one household living unit and one group living unit, except where limited by the applicable Use District.

Density District	Lot Area per Household Living Unit (min sq-ft) Sec. 6C.1.2	Lot Area per Group Living Unit (min sq-ft) Sec. 6C.1.3
FA	Limited by Floor Area	Limited by Floor Area
2	200	Limited by Floor Area
3	300	150
4	400	200
6	600	300
8	800	400
10	1000	500
12	1200	600
15	1500	750
20	2000	1000
30	3000	1500
40	4000	2000
50	5000	2500
60	6000	3000
N	Not Permitted	Not Permitted

Annotations: "Density District Category" points to the first column, "Density Standard" points to the second and third columns, "Link to Rules" points to the table, and "Specification for Standard" points to the highlighted row for density district 4.

Learn More About Your Rules

Part 6C (District Rules)

SEC. 6C.1.3 LOT AREA PER GROUP LIVING UNIT

The maximum number of group living units allowed on a lot based on lot area.

A. Intent
 The intent of regulating the number of group living units based on lot area is to provide a method that ensures there is a specified maximum ratio of group living units in relation to the size of a lot.

B. Applicability
 Lot area per guest room applies to any project that includes group living units in a lot area-based Density District.

C. Standards
 The number of group living units on a lot shall not exceed the maximum established by the applicable Density District in Sec. 6B.1.2. (Lot Area-Based Districts).

D. Measurement

- The maximum number of group living units is calculated by dividing the lot area by the group living units per lot area value as outlined in Sec. 6B.1.2. (Lot Area-Based Districts), and can be provided in conjunction with any household living units if permitted on a lot as calculated in Sec. 6C.1.2. (Lot Area per Household Living Unit).
- Lot area is counted only once – for either a household living unit or a group living unit.
- Fractions of units do not count toward an additional household living unit or guest room, except as permitted in Article 9. (Public Benefit Programs).
- When density is designated as Limited by Floor Area, there is no maximum density. Group living units are limited only by the physical constraints of the applicable Form District and are subject to the dimensional requirements in Chapter 9. (Building Regulations).
- When density is designated as Not Permitted, household living units or group living units are not permitted.

E. Exceptions
 Accessory dwelling units, compliant with Sec. 5C.9.1. (Accessory Dwelling Units) and Sec.

SEC. 6A.1.3. **DENSITY DISTRICT NAMING CONVENTION**

There are two categories of Density Districts, lot-based and lot area-based.

A. **Lot-Based Districts**

Lot-Based Districts names include a number, representing the maximum quantity of household dwelling units that are allowed on a lot, followed by the letter "L".

B. **Lot Area-Based Districts**

With the exception of the "FA" and "N" Density Districts, lot-based Density District names are a number that represents how many hundreds of square feet of lot area are required per household dwelling unit or efficiency dwelling unit. The FA Density District is an abbreviation for "Floor Area", indicating that floor area is the only practical limit to density in this district and that the effective minimum lot area per household dwelling unit or efficiency dwelling unit is 0 square feet. The N Density District is an abbreviation for "Not Permitted", indicating that no household dwelling units or efficiency dwelling units are allowed in this Density District.

DIV. 6A.2. **OPENING PROVISIONS**

SEC. 6A.2.1. **DENSITY INTENT**

The intent of *Article 6 (Density)* is to establish Density Districts, a mechanism that regulates the number of household dwelling units or efficiency dwelling units permitted on any lot, otherwise known as density. Density Districts allow for a wide variety of zoning approaches to housing.

SEC. 6A.2.2. **DENSITY APPLICABILITY**

A. **General**

All projects filed after the effective date of this Zoning Code shall comply with the Density Standards in Article 6 (Density), as further specified below. For vested rights, see *Sec. 1.4.5. (Vested Rights)*, and for continuance of existing development, see *Sec. 1.4.6. (Continuance of Existing Development)*.

B. **Project Activities**

- Categories of Density rules apply to a project based on what types of project activities are proposed, as shown in the table below. Typically, more than one project activity will apply to a proposed project (for example, an addition that expands an existing use includes both new construction and a use modification).

DENSITY RULE CATEGORY	PROJECT ACTIVITIES								
	New Construction	Demolition	Lot Modification	Site Modification	Facade Modification	Use Modification	Temporary Use	Renovation	Maintenance & Repair
<i>Div. 6C.1</i> Maximum Density	●	○	●	○	○	●	○	○	○

● = Rules generally apply to this project activity
 ○ = Rules are not applicable

- Project Activities are defined in *Sec. 14.1.15. (Project Activities)*.
- Where a category of Density rules are listed as generally applicable in the table above, and the applied Density District (*Part 6B*) provides specifications for a standard in that Density rule category, the project activity shall meet all applicable Density standards within that Division. This general applicability may be further specified for each standard in the applicability provisions in *Part 6C. (Density Rules)*. Project applicability may also be modified by *Article 12. (Nonconformities)*. Where a Division of the Density District rules is listed as not applicable in the table above, no standards from that Density rule category apply to the project activity.

C. **Nonconformity**

Nonconformity provides relief from the requirements of Article 6 (Density) for existing lots, site improvements, buildings and structures, and uses that conformed to the zoning regulations, if any, at the time they were established, but do not conform to current district standards or use permissions. No project activity may decrease conformance with any Density Standards in Article 6 (Density) for a nonconforming use, unless otherwise specified by *Div. 12.7. (Nonconforming Density)*.

SEC. 6A.2.3. **RELATIONSHIP TO USE DISTRICTS**

- A. When household dwelling units or efficiency dwelling units are permitted by a Use District in *Part 5B. (Use Districts)*, the Density Districts in *Article 6 (Density)* establish limits on the number of household dwelling units or efficiency dwelling units.
- B. Some Use Districts in *Part 5B. (Use Districts)* establish additional requirements for household dwelling units and efficiency dwelling units in addition to those in *Article 6 (Density)*.

SEC. 6A.2.4. **RELATIONSHIP TO PUBLIC BENEFIT SYSTEMS**

Affordable housing incentive programs, outlined in *Article 9. (Public Benefit Systems)*, offer a variety of methods to obtain additional density (in excess of the limits established in *Article 6 (Density)* and the applied Density District) in exchange for different affordability levels and types of affordable housing.

SEC. 6A.2.5. **RELATIONSHIP TO FORM DISTRICTS**

Form Districts do not directly limit density, but do establish requirements that may result in physical constraints that could impact the number of household dwelling units or efficiency dwelling units that can be accommodated on a lot.

PART 6B. DENSITY DISTRICTS

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DIV. 6B.1. **MAXIMUM DENSITY**

Every Density District has a corresponding maximum density. The maximum density either limits the number of dwelling units allowed based on lot area or indicates a flat limit on the number of dwelling units allowed per lot.

SEC. 6B.1.1. **LOT-BASED DISTRICTS**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

In 1L, 2L, 3L and 4L Density Districts, the maximum number of dwelling units permitted on a lot is limited according to the table below.

LOT-BASED DISTRICTS	
Density District	Dwelling Units Per Lot (max) <i>Sec. 6C.1.1.</i>
1L	1
2L	2
3L	3
4L	4

SEC. 6B.1.2. LOT AREA-BASED DISTRICTS

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU. Changes highlighted in the table below are introduced with the Boyle Heights Community Plan.]

In FA, 2, 3, 4, 6, 8, 10, 12, 15, 20, 25, 30, 40, 50, 60, and N Density Districts, the maximum density of household dwelling units and efficiency dwelling units permitted on a lot is limited according to the table below. A lot may contain any combination of household dwelling units and efficiency dwelling units.

LOT AREA-BASED DISTRICTS		
Density District	Lot Area per Household Dwelling Unit (min SF) <i>Sec. 6C.1.2.</i>	Lot Area per Efficiency Dwelling Unit (min SF) <i>Sec. 6C.1.3.</i>
FA	Limited by Floor Area	Limited by Floor Area
2	200	100
3	300	150
4	400	200
6	600	300
8	800	400
10	1000	1000
12	1200	1200
15	1500	1500
20	2000	2000
25	2500	2500
30	3000	3000
40	4000	4000
50	5000	5000
60	6000	6000
N	Not Permitted	Not Permitted

PART 6C. **DENSITY RULES**

Div. 6C.1. Maximum Density **6-14**

DIV. 6C.1. **MAXIMUM DENSITY**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

ARTICLE 7. **ALTERNATE TYPOLOGIES**

Part 7A. **Introduction**

Part 7B. **Alternate Typologies**

Part 7C. **Alternate Typology Rules**

The Downtown Community Plan will bring forward for adoption the New Zoning Code, including this Article via CPC-2014-1582-CA and CPC-2017-432-CPU. The Boyle Heights Community Plan will bring forward the unique zones and additional standards or regulations needed to implement the Boyle Heights Community Plan.

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- Part 7B. Alternate Typologies. 7-11**
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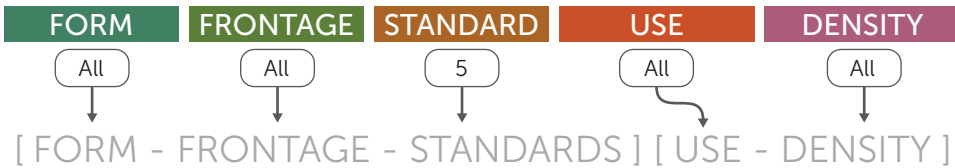
PART 7A. INTRODUCTION

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DIV. 7A.1. ORIENTATION

SEC. 7A.1.1. RELATIONSHIP TO ZONE STRING

Alternative Typologies may be used on lots where all districts in the applied zone string are listed as eligible districts in the eligibility table of the proposed Alternate Typology. The proposed Alternate Typology either supersedes or defers to the standards of the underlying applied zone string districts as specified by the proposed Alternate Typology.



SEC. 7A.1.2. HOW TO USE ARTICLE 7 (ALTERNATE TYPOLOGIES)

A. Determine Eligibility

Review each component in a zone string against the eligible districts for an Alternate Typology.

B. Form Standards

Form regulations are outlined in subsection D. of each Alternate Typology.

C. Frontage Standards

Frontage regulations are outlined in subsection E. of each Alternate Typology.

D. Development Standards

Development Standards regulations are outlined in subsection F. of each Alternate Typology.

E. Use Standards

Use regulations are outlined in subsection G. of each Alternate Typology.

F. Density Standards

Density regulations are outlined in subsection H. of each Alternate Typology.

G. Interpret Standards

Each standard in an Alternate Typology in *Part 7B. (Alternate Typologies)* provides a reference to *Part 7C. (Alternate Typology Rules)* where each standard is explained in detail.

Zone String Example:

Zone String

[LM2 | MU2 | 5 | RG1 | FA]

See if Your Zoning is Eligible

Part 7B (Alternate Typology)

SEC. 7B.11. CIVIC INSTITUTION 1

A. Eligible Districts

FORM	FRONTAGE	STANDARD	USE	DENSITY
All	All	5	All	All

F. Development Standards
Set by Development Standard District (Part 4B).

G. Use Standards

- For a minimum of 20 years after the issuance of a Institution 1 Alternate Typology only public and/or occupancy shall indicate a public or institutional period.
- Once 20 years have elapsed, any use allowed in the
- For additional Use District Standards See Part 5B (E)
- For additional Use Specific Standards See Part 5C.

H. Density Standards
Set by Density District (Part 6B).

E. Frontage Standards

1. Site
2. Facade

D. Form Standards

1. Lot Parameters
5. Bulk and Mass

Category	Standard	Notes
Lot area (sqm)	≥ 75	
Lot width (m)	≥ 10	
Building coverage (m ²)	95%	
Primary street (m)	0'	
Side street (m)	0'	
Rear (m)	0'	
Alley (m)	0'	
Street (m)	0'	
Amenity space (m ²)	0%	
Residential amenity space (m ²)	0%	

Unregulated Standard

Defaults to Underlying Zoning

Learn More About Your Rules

Part 7C (Alternate Typology Rules)

Alternate Typologies | ARTICLE 7

DIV. 7C.1 ALTERNATE TYPOLOGY RULES

SEC. 7C.1.1 FORM RULES

A. For Form Standards set by Form District See Part 2B (Form Districts)

B. For Form Standards Rules See Part 2C (Form Rules)

SEC. 7C.1.2 FRONTAGE RULES

A. For Frontage Standards set by Frontage District See Part 2B (Frontage Districts)

B. For General Frontage Rules See Part 3C (General Frontage Rules)

C. For Character Frontage Rules See Part 3D (Character Frontage Rules)

SEC. 7C.1.3 DEVELOPMENT RULES

A. For Development Standards set by Development Standards District See Part 4B (Development Standards District)

B. For Development Standards Rules See Part 4C (Development Standards Rules)

SEC. 7C.1.4 USE RULES

A. For Use District Standards See Part 5B (Use District Standards)

B. For Use Specific Standards See Part 5C (Use Standards)

C. For Use Rules See Part 5D (Use Rules)

SEC. 7C.1.5 DENSITY RULES

A. For Density District Standards See Part 6B (Density District Standards)

B. For Density Rules See Part 6C (Density Rules)

PART 2C FORM RULES

PART 6B DENSITY DISTRICTS

SEC. 7A.1.3. ALTERNATE TYPOLOGY GRAPHICS

A. General

1. Illustrations and graphics are included in Article 7 (Alternate Typologies) only to assist users in understanding the intent and requirements of the text. In the event a conflict occurs between the text of Article 7 (Alternate Typologies) and any illustration or graphic, the text prevails.
2. To interpret the Form standard graphics in Article 7 (Alternate Typologies) see *Sec. 2A.1.4.C. (Interpreting Form District Standards)*.
3. To interpret the Frontage standard graphics in Article 7 (Alternate Typologies) see *Sec. 3A.1.4. (Interpreting Frontage District Standards)*.

SEC. 7A.1.4. ALTERNATE TYPOLOGY NAMING CONVENTION

Alternate Typology names are composed of two components: a typology category and a variation number.

A. Typology Category

The first component of each Alternate Typology is a typology category. Typology categories group all typologies with similar allowed uses, characteristics, and intent. Typology categories are organized as follows:

1. Civic Institution
2. Corner Store
3. Small Lot Subdivision
4. Drive-Through
5. Fueling Station

B. Variation Number

The last component of each Alternate Typology name is a variation number. Alternate Typologies are numbered based on the Development Standard Districts in which they are eligible, starting with Development Standards District 5 and ending Development Standards District 1.

DIV. 7A.2. OPENING PROVISIONS

SEC. 7A.2.1. ALTERNATE TYPOLOGIES INTENT

There are certain cases where the desired physical form for a specific type of development is prohibited by the zoning applied to a lot. In those cases, Alternate Typologies provide an option to override specific standards in the underlying zoning that may otherwise prohibit the desired form. In exchange for providing greater flexibility on particular standards, Alternate Typologies require other higher standards that promote the desired form and ensure projects are contextually appropriate.

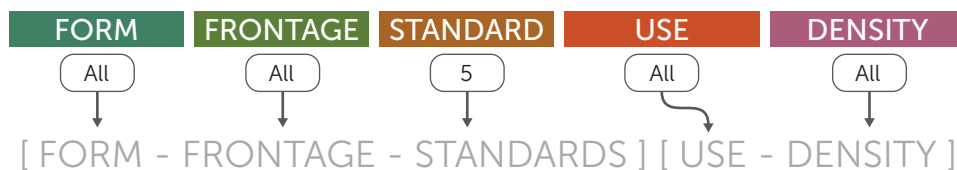
SEC. 7A.2.2. ALTERNATE TYPOLOGIES APPLICABILITY

A. General

All projects approved using an Alternate Typology and filed after the effective date of this Zoning Code (Chapter 1A) shall comply with the applicable Alternate Typology Standards in Article 7 (Alternate Typologies), as further specified below. For vested rights, see *Sec. 1.4.5. (Vested Rights)*, and for continuance of existing development, see *Sec. 1.4.6. (Continuance of Existing Development)*.

B. Eligibility

Alternate Typologies are only allowed in eligible districts. Each Alternate Typology provides an eligibility table that lists all zoning districts where the Alternate Typology is allowed. Any lot within one of the eligible zone districts may use the Alternate Typology. When an eligible district is listed with "_", all variations of the district are eligible (for example, RN_ includes RN1, RN2 and any other RN variation).



C. Project Activities

1. Alternate Typology standards apply to project activities as shown in the applicability tables in Part A of the Zone String Articles, 2-6. More than one project activity may apply to a project (for example, an addition may also include the expansion of a use).
2. Where a rule is listed as generally applicable in the applicability tables in Part A of the Zone String Articles, 2-6, the project activity shall meet the applicable Alternate Typology rules within the Division. This general applicability may be further specified for each standard in the applicability provisions in *Part 2C. (Form Rules)*, *Part 3C. (Frontage Rules)*, *Part 3D. (Character Frontage Rules)*, *Part 4C. (Development Standards Rules)*, *Part 5C. (Frontage Rules)*, and *Part 6C. (Frontage Rules)*. Project applicability may also be modified by *Article 12. (Nonconformities)*. Where a Division of the Alternate Typology rules is listed as not applicable in the applicability tables of the Zone String articles, 2-6, the standards within the Division do not apply to the project activity.
3. For more information about project activities, see *Sec. 14.1.15. (Project Activities)*.

D. Applicable Components of Buildings and Lots

1. Alternate Typology regulations apply to all portions of a lot.
2. Alternate Typology regulations apply to all portions of buildings and structures on a lot.
3. Specific Alternate Typology regulations may further limit which components of buildings and lots are required to comply with the rules in *Part 7C. (Alternate Typology Rules)*.

E. Nonconformity

1. Where an existing lot, site, building, or structure is nonconforming as to the standards specified by the underlying applied zone string districts, a project is eligible to use Alternate Typology for proposed project activities, provided that the uses on the lot will conform to the use standards of the proposed Alternate Typology once the proposed project is complete. Once any project activity is approved under the rules of an Alternate Typology, no future project activity on that lot may decrease the conformance with any Alternate Typology standard in Article 7 (Alternate Typologies), except as specified by the following provision.
2. *Article 12. (Nonconformity)* provides relief from the requirements of *Article 7 (Alternate Typologies)*, for existing lots, site improvements, buildings, structures, and uses that conformed to the zoning regulations, if any, at the time they were established, but do not conform to current district standards or use permissions. No proposed project activity using an Alternate Typology may decrease the conformance with any Form, Frontage, Development Standards, Use, or Density standard in *Article 7 (Alternate Typologies)*, unless otherwise specified in *Div. 12.2. (Form Exceptions)*, *Div. 12.3. (Frontage Exceptions)*, *Div. 12.4. (Development Standards Exceptions)*, *Div. 12.5. (Use Exceptions)*, or *Div. 12.6. (Density Exceptions)*.

SEC. 7A.2.3. **RELATIONSHIP TO ZONING DISTRICTS**

- A. Where a standard is listed in an Alternate Typology, the specification listed for the standard in the Alternate Typology supersedes the specification listed in the underlying zone string districts for the same standard.
- B. The underlying zone string district standard applies where an Alternate Typology:
 - 1. Defers to the underlying districts (for example, "Set by Form District");
 - 2. Provides no specification for a standard listed by the underlying zone string districts; or
 - 3. Does not list a standard that is listed by the underlying zone string districts.

SEC. 7A.2.4. **RELATIONSHIP TO SPECIFIC PLANS & SUPPLEMENTAL DISTRICTS**

- A. Alternate Typologies do not supersede the requirements of Specific Plans or Supplemental Districts.
- B. Special Districts are not eligible to use Alternate Typologies.

PART 7B. ALTERNATE TYPOLOGIES

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DIV. 7B.1. **CIVIC INSTITUTION**

SEC. 7B.1.1. **CIVIC INSTITUTION 1**

[Introduced with the Downtown Community Plan via CPC-2014-1582-CA and CPC-2017-432-CPU]

SEC. 7B.1.2. CIVIC INSTITUTION 2

A. Eligible Districts	FORM	FRONTAGE	STANDARD	USE	DENSITY
	All	All	1, 2, 3, & 4	All	All



B. Intent

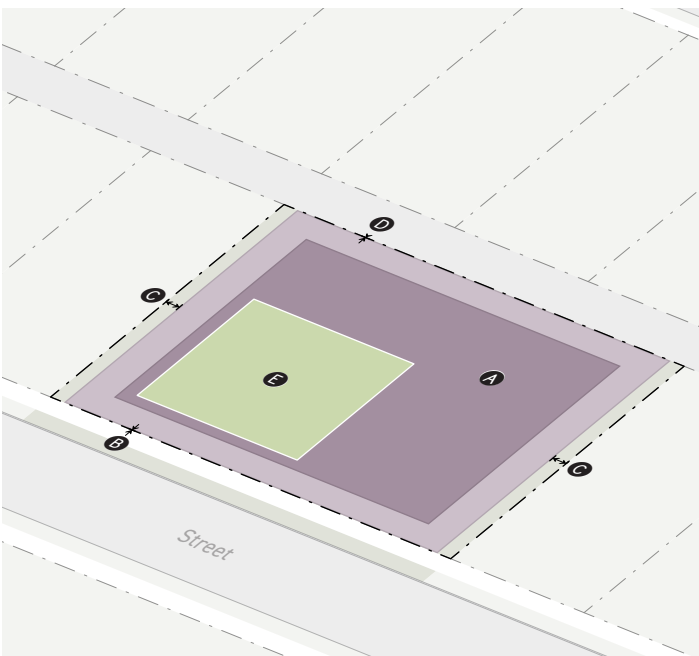
The Civic Institution 2 Alternate Typology is intended to promote placemaking through architectural monuments and publicly accessible spaces. This Alternate Typology allows greater design flexibility for civic institutions to differentiate civic assets from the surrounding urban fabric, while maintaining standards essential for ensuring all projects actively contribute to a highly walkable urban environment.

C. Review

Administrative review is required, see Sec. 14.5.1. (*Administrative Review*).

D. Form Standards

1. Lot Parameters



LOT SIZE		Sec. 7C.1.1.
Lot area (min)		n/a
Lot width (min)		n/a
COVERAGE		Sec. 7C.1.1.
A Building coverage (max)		65%
Building setbacks		
B Primary street (min)		0'
Side street (min)		5'
C Side (min)		5'
Rear (min)		5'
D Alley (min)		0'
Special lot line (min)		Set by Form District
AMENITY		Sec. 7C.1.1.
E Lot amenity space (min)		20%
Residential amenity space (min)		n/a

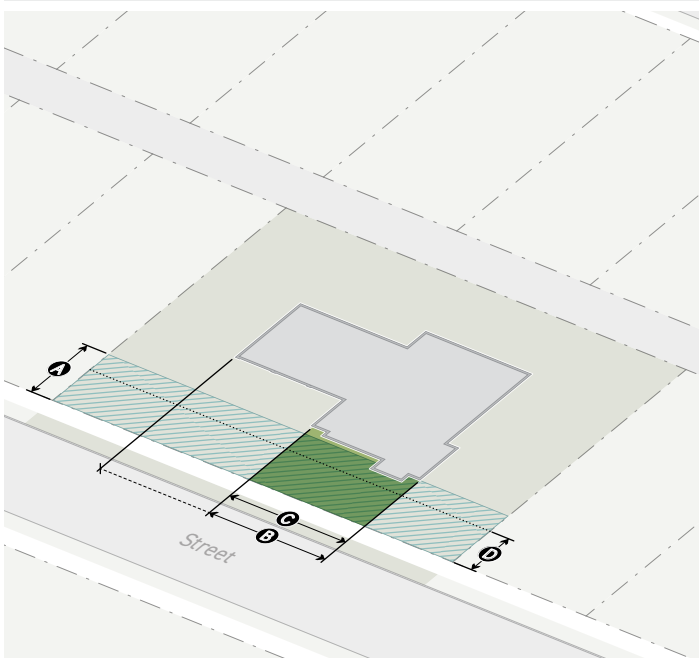
2. Bulk and Mass



HEIGHT & FAR		Sec. 7C.1.1.
FAR (max)		Set by Form District
A Height (max)		n/a
UPPER STORY BULK		Sec. 7C.1.1.
Bulk plane		n/a
Street step-back		n/a
Height transition		n/a
District boundary height transition		n/a
BUILDING MASS		Sec. 7C.1.1.
Set by Form District		

E. Frontage Standards

1. Site



	Primary St.	Side St.
BUILD-TO	Sec. 7C.1.2.	
Applicable stories (min)	1	n/a
A Build-to depth (max)	30'	n/a
B Build-to width (min)	Building-based	n/a
C Pedestrian amenity allowance (max)	100%	n/a
PARKING	Sec. 7C.3.2	
D Parking setback (min)	20'	0'
Parking between building & street (allowed)	No	Yes
LANDSCAPE	Sec. 7C.1.2.	
Frontage planting area (min)	70%	70%
Frontage yard fence & wall type allowed:	A3*	A3

*Fences and walls may not be located between the building face meeting the required build-to width and the street.

2. Facade



	Primary St.	Side St.
TRANSPARENCY	Sec. 7C.1.2.	
A Ground story (min)	10%*	10%*
Upper stories (min)	n/a	n/a
B Active wall spacing (max)	30'	40'
ENTRANCES	Sec. 7C.1.2.	
C Street-facing entrance	Required	n/a
D Entrance spacing (max)	100'	150'
Required entry feature	Yes	No
E Entry feature options	<ul style="list-style-type: none"> • Recessed Entry • Covered Entry 	
GROUND STORY	Sec. 7C.1.2.	
Ground story height (min)	n/a	n/a
Ground floor elevation (min/max)	n/a	n/a

*Ground story window and door glazing may be screened for up to 50% of the glazed area.

F. Development Standards

Set by applied *Development Standard District (Part 4B)*.

G. Use Standards

1. For a minimum of 20 years after the issuance of a Certificate of Occupancy, no less than 75% of the total floor area on the lot shall be designated for one or more of the following uses:
 - a. Civic Facility: All (examples include community centers, museums, and libraries);
 - b. Office, Government;
 - c. Public Safety Facility (examples include fire and police stations);
 - d. Religious Assembly (examples include churches, mosques, synagogues, and temples);
 - e. School: K-12;
 - f. School: Post-Secondary;
 - g. Social Services; and
 - h. Transit Station.
2. Once 20 years have elapsed, all floor area on the lot may be designated for any use allowed in the applied *Use District (Part 5B)*.
3. For additional Use District standards, see the applied Use District (Part 5B).

H. Density Standards

Set by the applied Density District (Part 6B).

DIV. 7B.2. CORNER STORE

SEC. 7B.2.1. CORNER STORE 1

A. Eligibility

1. Eligible Districts	FORM	FRONTAGE	STANDARD	USE	DENSITY
	All	All	3 & 4	RX_	All

2. Eligible Lots

The Corner Store 1 Alternate Typology is eligible only on corner lots.



B. Intent

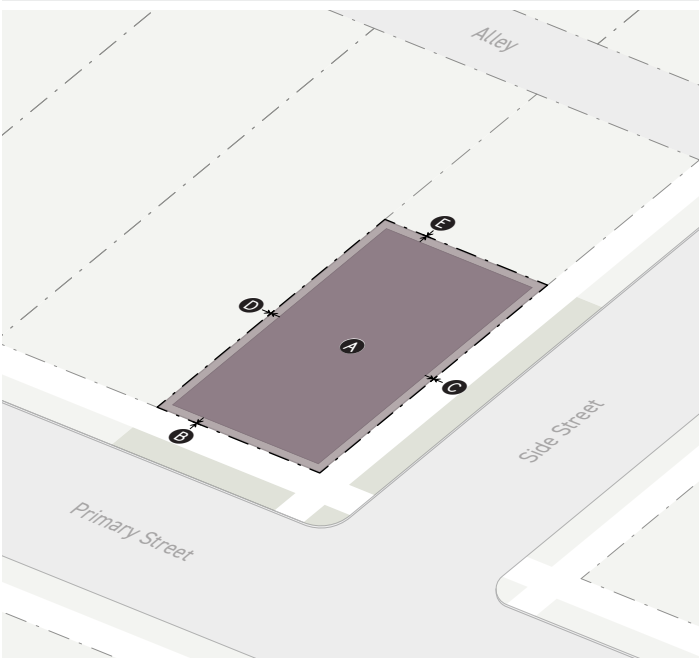
The Corner Store 1 Alternate Typology is intended to accommodate small-scale, community serving commercial uses in a scale appropriate for predominantly residential settings. This Alternate Typology intends to improve the walkability of residential neighborhoods, provide surrounding residents with amenities within a convenient distance of their homes, and support community-oriented small businesses development.

C. Review

Administrative review is required, see *Sec. 14.5.1. (Administrative Review)*.

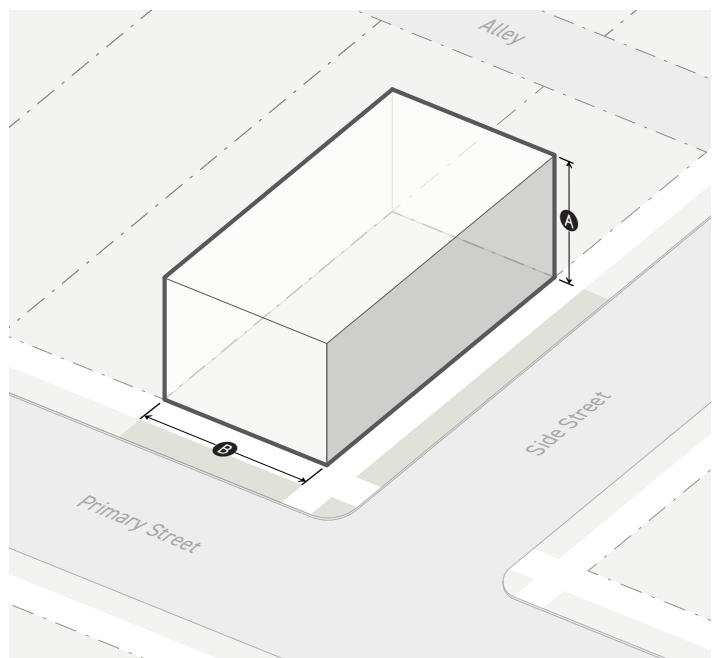
D. Form Standards

1. Lot Parameters



LOT SIZE		Sec. 7C.1.1.
Lot area (min)		n/a
Lot width (min)		n/a
COVERAGE		Sec. 7C.1.1.
A Building coverage (max)		95%
Building setbacks		
B Primary street (min)		0'
C Side street (min)		0'
D Side (min)		Set by Form District
E Rear (min)		Set by Form District
Alley (min)		0'
Special lot line (min)		Set by Form District
AMENITY		Sec. 7C.1.1.
Lot amenity space (min)		n/a
Residential amenity space (min)		n/a

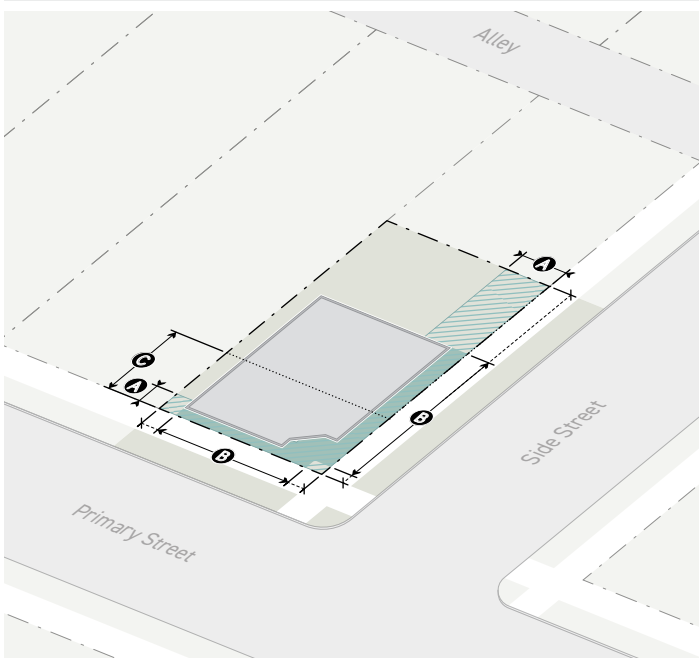
2. Bulk and Mass



HEIGHT & FAR		Sec. 7C.1.1.
A Set by Form District		
UPPER STORY BULK		Sec. 7C.1.1.
Set by Form District		
BUILDING MASS		Sec. 7C.1.1.
B Set by Form District		

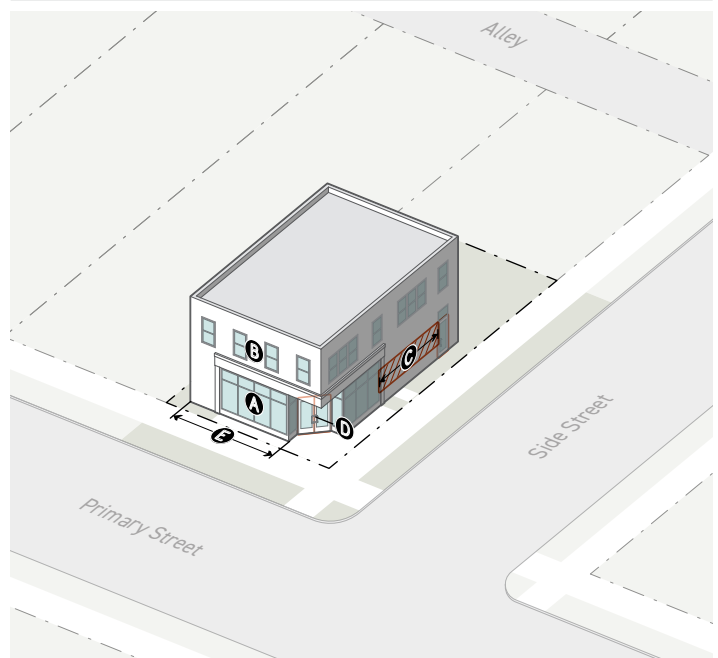
E. Frontage Standards

1. Site



	Primary St.	Side St.
BUILD-TO	Sec. 7C.1.2.	
Applicable stories (min)	1	1
A Build-to depth (max)	5'	10'
B Build-to width (min)	80%	60%
C Pedestrian amenity allowance (max)	n/a	n/a
PARKING	Sec. 7.3.2	
D Parking setback (min)	25'	0'
Parking between building & street (allowed)	No	No
LANDSCAPE	Sec. 7C.1.2.	
Frontage planting area (min)	n/a	n/a
Frontage yard fence & wall type allowed:	A1	A3

2. Facade



	Primary St.	Side St.
TRANSPARENCY	Sec. 7C.1.2.	
A Ground story (min)	50%	30%
Upper stories (min)	20%	20%
B Active wall spacing (max)	10'	20'
ENTRANCES	Sec. 7C.1.2.	
C Street-facing entrance	Required	n/a
D Entrance spacing (max)	25'	50'
Required entry feature	Yes	No
Options	<ul style="list-style-type: none"> • Recessed entry • Covered entry • Storefront bay 	
GROUND STORY	Sec. 7C.1.2.	
Ground story height (min)		
Residential (min)	10'	10'
Nonresidential (min)	14'	14'
Ground floor elevation (min/max)		
Residential	-2'/5'	-2'/5'
Non-residential	-2'/2'	-2'/2'

F. Development Standards

Set by applied *Development Standard District (Part 4B.)*.

G. Use Standards

1. For a minimum of 10 years after the issuance of a Certificate of Occupancy, a minimum of 500 square feet of ground story floor area shall be designated for General Commercial Uses. Where the total building coverage on the lot is less than 1,500 square feet, the minimum ground story floor area designated for General Commercial Uses may be less than 500 square feet but shall be no less than 33% of the total building coverage.
2. Once 10 years have elapsed, the required ground story floor area designated for General Commercial Uses may be designated for any use allowed in the applied *Use District (Part 5B.)*.
3. Any floor area provided beyond the minimum required for General Commercial Uses may be designated for any use allowed in the applicable Use District.
4. For additional Use rules, see the applied *Use District (Part 5B.)*.

H. Density Standards

Set by the applied *Density District (Part 6B.)*.

I. Relief

A reduction of up to 5 years to the amount of time that commercial floor area is required to be occupied by a General Commercial Use may be reduced up to 5 years requested in accordance with Sec. 13.B.2.2. (Class 2 Conditional Use Permit).

DIV. 7B.3. **SMALL LOT SUBDIVISION**

SEC. 7B.3.1. **SMALL LOT 1**

A. **Eligibility**

- | 1. Eligible Districts | FORM | FRONTAGE | STANDARD | USE | DENSITY |
|------------------------------|-------------|------------------------|-----------------|-----------------------------|----------------|
| | V_ & L_ | MU_, G_, LF_,
& WH_ | 1, 2, 3, & 4 | RG_, RX_, C_,
CX_, & IX_ | FA through 25 |
2. **Eligible Lots**

Small Lot Subdivision 1 Alternate Typology is eligible on lots having a lot width no greater than 80 feet. For lots greater than 80 feet wide, see *Small Lot Subdivision 2 Alternate Typology (Sec. 7B.3.2.)*.



B. **Intent**

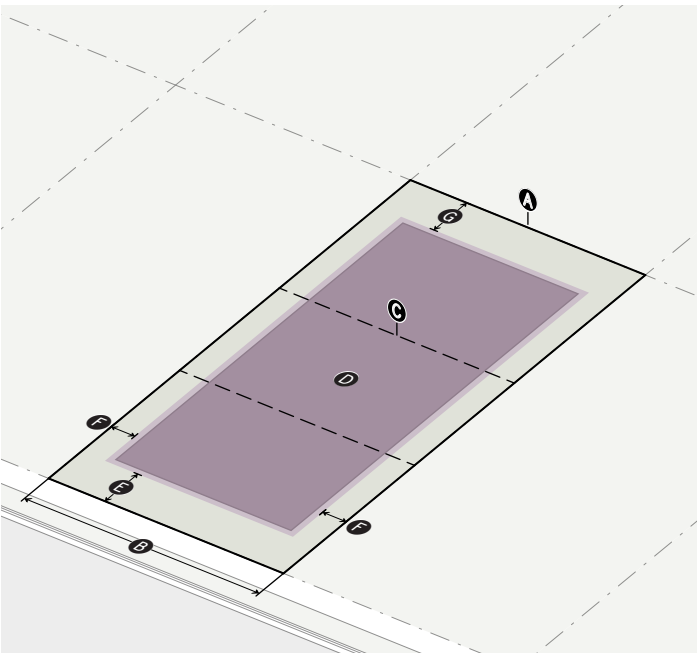
The Small Lot Subdivision 1 Alternate Typology is intended to encourage the development of fee-simple property ownership in a compact urban form. This Alternate Typology modifies standard subdivision rules to provide greater flexibility, while maintaining standards essential for ensuring all projects actively contribute to a highly walkable urban environment.

C. **Review**

1. Administrative review is required, see *Sec. 14.5.1. (Administrative Review)*.
2. If the project involves a subdivision it shall be reviewed pursuant to the applicable provisions of *Article 11 (Division of Land)*.

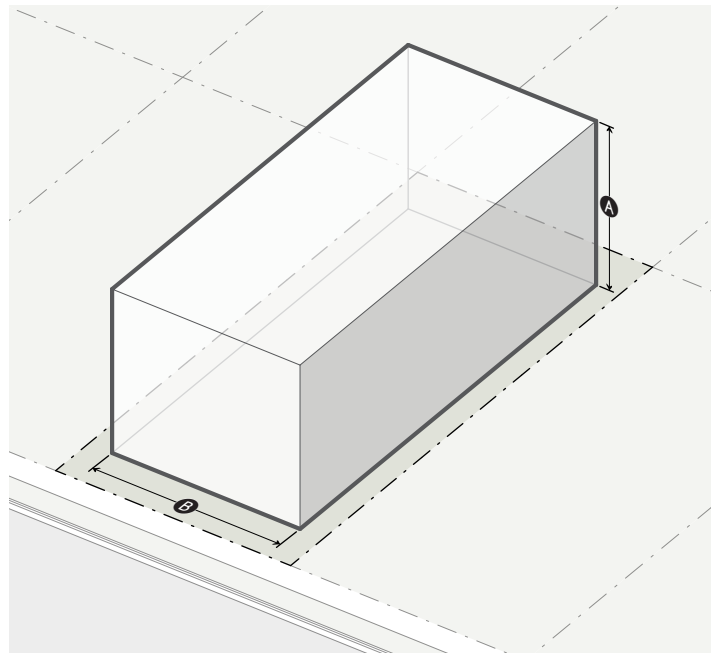
D. Form Standards

1. Lot Parameters



LOT SIZE		Sec. 7C.1.1.
A	Lot area (min)	5,000 SF
B	Lot width (min)	50'
C	Sub-lot area (min)	600 SF
	Sub-lot width (min)	18'
COVERAGE		Sec. 7C.1.1.
D	Building coverage (max)	75%
Building setbacks		
E	Primary street (min)	Set by Form District
	Side street (min)	Set by Form District
F	Side (min)	Set by Form District
G	Rear (min)	Set by Form District
	Alley (min)	Set by Form District
	Special: All (min)	Set by Form District
AMENITY		Sec. 7C.1.1.
	Lot amenity space (min)	n/a
	Residential amenity space (min)	10%

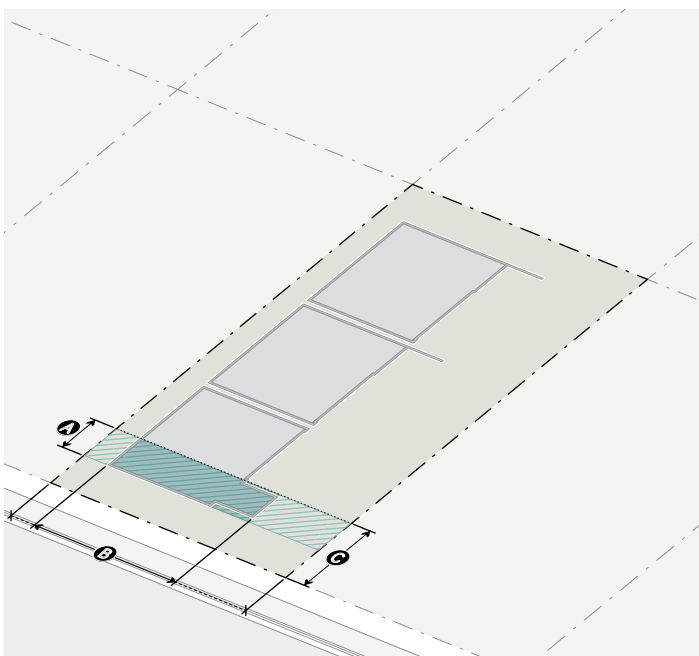
2. Bulk and Mass



HEIGHT & FAR		Sec. 7C.1.1.
	FAR (max)	Set by Form District
	Height in stories (max)	Set by Form District
A	Height in feet (max)	Set by Form District
UPPER STORY BULK		Sec. 7C.1.1.
	Street step-back	Set by Form District
District boundary height transition		
	Abutting district allowed height (max)	35'
	Stories without height transition (max)	2
	Transition depth (min)	10'
BUILDING MASS		Sec. 7C.1.1.
B	Building width (max)	180'
	Building break (min)	6'
C	Facade width (max)	30'

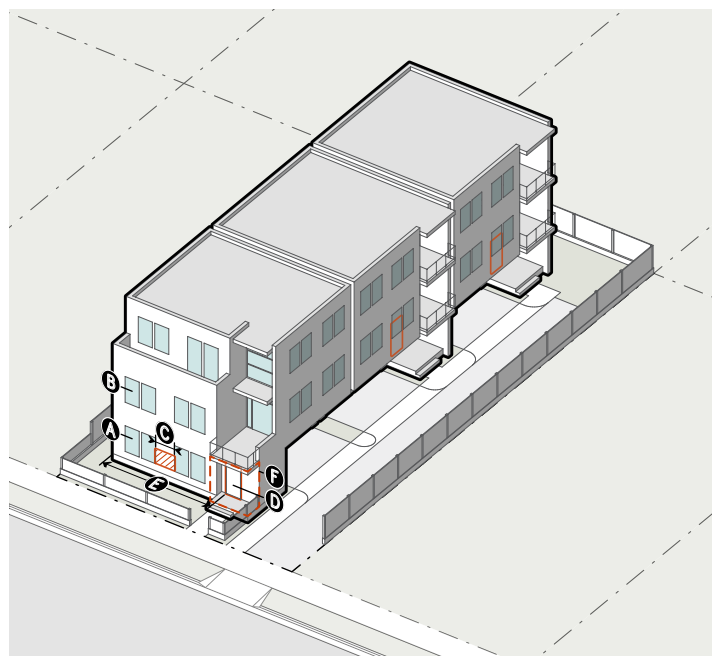
E. Frontage Standards

1. Site



	Primary St.	Side St.
BUILD-TO	Sec. 7C.1.2.	
Applicable stories (min)	1	1
A Build-to depth (max)	10'	10'
B Build-to width (min)	60%	60%
Pedestrian amenity allowance (max)	n/a	n/a
PARKING	Sec. 7C.1.2.	
C Parking setback (min)	20'	20'
Parking between building & street (allowed)	No	No
LANDSCAPE	Sec. 7C.1.2.	
Frontage planting area (min)	30%	30%
Frontage yard fence & wall type allowed:	A2	A2

2. Facade



	Primary St.	Side St.
TRANSPARENCY	Sec. 7C.1.2.	
Ground story (min)		
A Residential (min)	20%	20%
Nonresidential (min)	60%	40%
B Upper stories (min)	20%	20%
C Active wall spacing (max)	10'	20'
ENTRANCES	Sec. 7C.1.2.	
D Street-facing entrance	Required	Required
E Entrance spacing (max)	40'	40'
F Required entry feature	Yes	Yes
Options	<ul style="list-style-type: none"> • Porch • Raised entry • Forecourt • Recessed entry • Covered entry 	
GROUND STORY	Sec. 7C.1.2.	
Ground story height (min)		
Residential (min)	10'	10'
Nonresidential (min)	14'	14'
Ground floor elevation (min/max)		
Residential	-2'/5'	-2'/5'
Non-residential	-2'/2'	-2'/2'

F. Development Standards

1. Pedestrian Access

In addition to any site access pedestrian standards specified by the applied *Development Standards District (Part 4B)*, small lot subdivisions shall meet the following pedestrian access standards:

- a. Small lot subdivisions shall provide a shared pedestrian accessway meeting the following standards:
 - i. Shall have a minimum width of 4 feet.
 - ii. Shall connect from the sidewalk, or other publicly accessible pedestrian facility along the frontage lot line, to all common open spaces, mailboxes, trash enclosures, and each required pedestrian entrance.
 - iii. Shall be accessible to users of all sub-lots included in the small lot subdivision.
 - iv. Shall be physically separated from and uninterrupted by motor vehicle use areas except where required to cross a drive aisle or driveway. Physical separation methods may include, curbs of no less than 4 inches in height, a planting area having no horizontal dimension less than 18 inches, or bollards, raised planters or similar containment methods, no less than 12 inches in height and separated by no more than 5 feet.
- b. Each unit that does not include a street-facing entrance accessible from a pedestrian accessway, shall provide a pedestrian entrance that meets the following standards:
 - i. Shall face the required shared pedestrian accessway.
 - ii. Shall provide an entry feature meeting the standards for one of the allowed entry features options specified by the the *Small Lot Subdivision 1 Frontage Standards table (Sec. 7B.3.1.E.)*. For the purposes of meeting entry feature standards, a pedestrian access that faces a linked pedestrian access way shall be considered a street-facing entrance

2. Additional Rules

For additional Development Standards rules, see the applied *Development Standard District (Part 4B.)* and *Development Standards Rules (Part 4C.)*.

G. Use Standards

Set by the applied *Use District (Part 5B.)*.

H. Density Standards

Set by the applied *Density District (Part 6B.)*.

DIV. 7B.4. **DRIVE-THROUGH**

[Reserved]

DIV. 7B.5. **FUELING STATION**

[Reserved]

DIV. 7B.6. **RESIDENTIAL LOT-SPLIT**

[Reserved]

PART 7C. ALTERNATE TYPOLOGY RULES

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DIV. 7C.1. **ALTERNATE TYPOLOGY RULES**

SEC. 7C.1.1. **FORM RULES**

- A. For Form Standards set by Form District, see the applied *Form District Part 2B. (Form Districts)*.
- B. For Form Rules, see the applied *Form District Part 2C. (Form Rules)*.

SEC. 7C.1.2. **FRONTAGE RULES**

- A. For Frontage Standards set by Frontage District, see the applied *Frontage District Part 3B. (Frontage Districts)*.
- B. For General Frontage Rules, see the applied *Frontage District Part 3C. (General Frontage Rules)*.
- C. For Character Frontage Rules, see the applied *Frontage District Part 3D. (Character Frontage Rules)*.

SEC. 7C.1.3. **DEVELOPMENT STANDARDS RULES**

- A. For Development Standards set by the applied Development Standards District, see *Part 4B. (Development Standards Districts)*.
- B. For Development Standards Rules, see the applied Development Standards District *Part 4C. (Development Standards Rules)*.

SEC. 7C.1.4. **USE RULES**

- A. For Use District Standards, see the applied *Use District Part 5B. (Use District Standards)*.
- B. For Use Specific Standards, see the applied *Use District Part 5C. (Use Standards)*.
- C. For Use Rules, see the applied *Use District Part 5D. (Use Rules)*.

SEC. 7C.1.5. **DENSITY RULES**

- A. For Density District Standards, see the applied *Density District Part 6B. (Density District Standards)*.
- B. For Density Rules, see the applied *Density District Part 6C. (Density Rules)*.