



## DEPARTMENT OF CITY PLANNING

### APPEAL REPORT

#### City Planning Commission

**Date:** February 13, 2020

**Time:** After 8:30 a.m.

**Place:** Los Angeles City Council Hall,  
200 North Spring Street, Council  
Chambers  
Los Angeles, CA 90012

**Public Hearing:** Required

**Appeal Status:** Not further appealable

**Expiration Date:** March 2, 2020

**Case No.:** DIR-2019-274-TOC-1A

**CEQA No.:** ENV-2019-275-SE

**Incidental Cases:** None

**Related Cases:** None

**Council No.:** 5 – Korertz

**Plan Area:** Hollywood

**Specific Plan:** None

**Certified NC:** Mid City West

**GPLU:** Neighborhood Office Commercial  
**Zone:** C4-1VL

**Applicant:** Pointe on La Brea EAH, LLC

**Representative:** Dana Sayles, AICP  
three6ixty

**Appellant:** La Brea-Willoughby Coalition  
**Representative:** Sabrina Venskus, Esq

**PROJECT LOCATION:** 843-849 North La Brea Avenue

**PROPOSED PROJECT:** Demolition of a 3,100 square-foot single-story automobile repair shop, and the construction, use, and maintenance of a five-story residential building that provides 100-percent affordable and Permanent Supportive Housing (PSH) totaling 50 dwelling units, consisting of 49 units reserved for Low Income Households eligible under the PSH target population and one market-rate manager's unit. The building will have a maximum height of 65 feet, 1 inch, as measured from grade to the roof structure and 31,974 square feet of floor area with a 3.05:1 FAR. The project proposes five (5) non-required at-grade automobile parking spaces at the rear of the building, 42 long-term bicycle parking spaces and 4 short-term bicycle parking spaces. The project will provide 3,770 square feet of Usable Open Space including a 905 square-foot community room, a 767 square-foot courtyard, a 1,498 square-foot roof deck room and 600 square feet of private balcony space.

**APPEAL:** An appeal of the December 17, 2019 Director of Planning's Determination which:

1. **Determined**, pursuant to the California Public Resources Code Section 21080.27(b)(1), that based on the whole of the administrative record as supported by the justification prepared and found in the environmental case ENV-2019-275-SE, the project is statutorily exempt from the California Environmental Quality Act (CEQA);

2. **Approved**, with Conditions, a Transit Oriented Communities (TOC) Affordable Housing Incentive Program Compliance Review, pursuant to the Los Angeles Municipal Code (LAMC) Section 12.22 A.31, for a qualified Tier 3 project, totaling 50 dwelling units, reserving 49 units for Permanent Supportive Housing and Low Income Household occupancy for a period of 55 years, with the following Additional Incentives:
  - a. **Side Yard Setbacks.** A three (3)-foot reduction to both the north and south side yards to permit the minimum setback of 5-feet, ½-inch consistent with the RAS3 Zone, pursuant to LAMC 12.10.5 C.2, in lieu of a minimum 8-feet required side yards for a five-story building required in the C4-1VL Zone; and
  - b. **Open Space.** A 25-percent reduction in the minimum usable open space to permit 3,770 square feet in lieu of 5,025 square feet as otherwise required by LAMC Section 12.21 G.2; and
  - c. **Height.** A 22-foot increase in maximum building height to permit 65 feet, 1- inch in lieu of the otherwise required 45 feet for residential buildings in the C4-1VL zone pursuant to LAMC Section 12.21.1 A.1; and
3. **Adopted** the Conditions of Approval and Findings.

#### RECOMMENDATION:

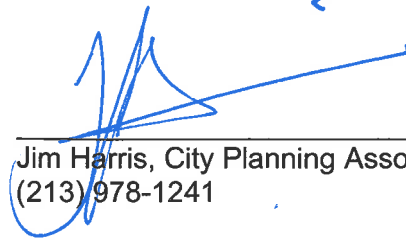
1. **Determine**, pursuant to the California Public Resources Code Section 21080.27(b)(1), that based on the whole of the administrative record as supported by the justification prepared and found in the environmental case ENV-2019-275-SE, the project is statutorily exempt from the California Environmental Quality Act (CEQA);
2. **Deny** the appeal **Sustain** the Director of Planning's Determination as follows:
  - a. **Approve with Conditions a Transit Oriented Communities (TOC) Affordable Housing Incentive Program Compliance Review**, pursuant to the Los Angeles Municipal Code (LAMC) Section 12.22 A.31, for a qualified Tier 3 project, totaling 50 dwelling units, reserving 49 units for Permanent Supportive Housing and Low Income Household occupancy for a period of 55 years, with the following Additional Incentives:
    - i. **Side Yard Setbacks.** A three (3)-foot reduction to both the north and south side yards to permit the minimum setback of 5-feet, ½-inch consistent with the RAS3 Zone, pursuant to LAMC 12.10.5 C.2, in lieu of a minimum 8-feet required side yards for a five-story building required in the C4-1VL Zone; and
    - ii. **Open Space.** A 25-percent reduction in the minimum usable open space to permit 3,770 square feet in lieu of 5,025 square feet as otherwise required by LAMC Section 12.21 G.2; and
    - iii. **Height.** A 22-foot increase in maximum building height to permit 65 feet, 1- inch in lieu of the otherwise required 45 feet for residential buildings in the C4-1VL zone pursuant to LAMC Section 12.21.1 A.1; and

3. **Adopt** the Director of Planning's Conditions of Approval and Findings, dated December 17, 2019.

VINCENT P. BERTONI, AICP  
Director of Planning



Christina Toy-Lee, AICP, Senior City Planner



Jim Harris, City Planning Associate  
(213) 978-1241

**ADVICE TO PUBLIC:** \*The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the *Central Los Angeles Area Planning Commission Secretariat, 200 North Spring Street, Room 272, Los Angeles, CA 90012* (Phone No.213-978-1300). While all written communications are given to the Commission for consideration, the initial packets are sent to the week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendaized herein, or in written correspondence on these matters delivered to this agency at or prior to the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request no later than three working days (72 hours) prior to the meeting by calling the Commission Secretariat at (213) 978-1300.

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- F. Mid City West Community Council Letter of Approval



## **APPEAL REPORT**

### **PROJECT SUMMARY**

The proposed project is for the demolition of the existing automobile repair shop, and the construction, use and maintenance of a five-story residential building that provides 100-percent affordable and Permanent Supportive Housing (PSH) totaling 50 dwelling units consisting of 49 units reserved for Low Income Households eligible under the PSH target population and one market-rate manager's unit (Exhibit A). The unit mix will consist of 49 studio units and one (1) two-bedroom unit.

The building will have a maximum height of 65 feet, 1 inch, as measured from grade to the roof structure and 31,974 square feet of floor area with a 3.05:1 FAR. The project proposes five (5) non-required at-grade automobile parking spaces at the rear of the building, 42 long-term bicycle parking spaces and 4 short-term bicycle parking spaces. The ingress and egress to the at-grade parking is located on the alley on the west side of the project site.

The project will provide 3,770 square feet of Usable Open Space including a 905 square-foot community room, a 767 square-foot courtyard, a 1,498 square-foot roof deck room and 600 square feet of private balcony space. The project will also provide 13 24-inch box trees on-site.

### **BACKGROUND**

#### **Site Characteristics and Existing Buildings and Structures**

The project site consists of two (2) contiguous rectangular-shaped level parcels with approximately 100 feet, 3 inches of street frontage along La Brea Avenue and a depth of approximately 105 feet for a total lot size of approximately 10,509.5 square feet (Exhibit C).

The project site is currently improved with a 3,100 square-foot single-story automobile repair shop that was constructed in 1972. The subject property is not eligible as a historic resource and is not located within a historic district and there are no trees on site or within the public right of way.

#### **Land Use and Zoning**

The project site is located within the Hollywood Community Plan, which designates the site for Neighborhood Office Commercial land uses. The project site is zoned C4-1VL resulting in a base residential density of 29 units, which includes half of the area of the abutting alley for density calculation purposes. Height District 1VL permits up to 1.5:1 FAR and 45 feet maximum building height for residential uses. The site is located within a Transit Priority Area and Tier 2 Transit Oriented Communities (TOC) Affordable Housing Incentive Program. The site is located across two lots, one lot qualifies as Tier 1 and the other as Tier 2, per the TOC Guidelines the project can utilize Tier 2 Incentives. The project is eligible for one (1) increase in Tier from 2 to 3 for consisting of 100-percent On-Site Restricted Affordable Units, exclusive of a manager's unit, per Section IV.9 of the TOC Guidelines. The site is also located in a Methane Buffer Zone.

#### **Surrounding Properties**

The surrounding area is characterized by residential, mixed-use, and commercial uses (Exhibit C). Properties adjacent to the site to the north, south, and east are C4-1VL-zoned properties, which are currently developed with automobile repair uses to the north, van rental services and

retail to the south, and retail and neighborhood-serving uses to the east across La Brea Avenue. Properties to the west on the opposite side of the public alley are zoned [Q]R3-1XL, and developed with both single-family and multi-family residences. Beyond the immediately abutting land uses, to the north on the corner of La Brea Avenue and Willoughby Avenue, is one property that was recently developed with a mixed-use building containing 180 apartment units, and another property that is currently under construction to build a mixed-use building with 169 apartment units. In addition, Melrose Elementary School is located approximately 700 feet to the south and west at 731 North Detroit Street.

### **Streets**

La Brea Avenue, abutting the subject property to the east is a Modified Avenue I per the Mobility Plan 2035, designated for a 104-foot full right-of-way width consisting of a 74-foot roadway and 15-foot sidewalks, and a 52-foot half width consisting of a 37-foot half-roadway and 15-foot sidewalk. The existing half-right-of-way width adjacent to the subject property measures 48 feet, consisting of a 35-foot 2-inch half-roadway and a 15-foot sidewalk.

### **APPROVED ACTIONS**

On December 17, 2019, the Director of Planning issued a Determination, which determined that the project is statutorily exempt from CEQA and approved the Additional Incentives under the TOC Affordable Housing Incentive Program. The Director's Determination are described in detail below (Exhibit D).

### **Statutory Exemption per CEQA**

Pursuant to AB 1197, a project that is consistent with the definition of Supportive Housing under Section 50675.14 of the Health and Safety Code, meets the eligibility requirements of Article 11 of Chapter 3 of Division 1 of Title 7 of the Government Code, and is funded, in part, by No Place Like Home Program (Part 3.9 commencing with Section 5849.1) of Division 5 of the Welfare and Institutions Code), Measure H sales tax proceeds approved by the voters on the March 17, 2017 Special Elections in the County of Los Angeles, as well as, general bond obligations issued pursuant to Proposition HHH approved by the City of Los Angeles at the November 8, 2016, statewide general election. Therefore, pursuant to AB 1197 and Public Resources Code Section 21080.27(b)(1), the project is Statutorily Exempt from CEQA as Supportive housing as found in the Justification for Case No. ENV-2019-275-SE in the case file demonstrating that the project meets the eligibility requirements outlined in AB 1197 (Exhibit E).

### **Transit Oriented Communities**

Measure JJJ was adopted by the Los Angeles City Council on December 13, 2016 and created the Transit Oriented Communities (TOC) Affordable Housing Incentive Program, which establishes incentives for residential or mixed-use projects located within one-half mile of a major transit stop, as defined under existing State law.

The TOC Affordable Housing Incentive Program Guidelines (TOC Guidelines), released on September 22, 2017, establish a tier-based system with development bonuses and incentives based on a project's distance from different types of transit. The largest bonuses are reserved for those areas in the closest proximity to significant rail stops or the intersection of major bus rapid transit lines. Required affordability levels are increased incrementally in each higher tier. The incentives provided in the TOC Guidelines describe the range of bonuses from particular zoning standards that applicants may select.

The project site is located less than 1,500 feet from the La Brea Avenue and Santa Monica Boulevard intersection serving a Rapid and Local Bus Line: Metro Rapid 4 with an average service interval of 13.55 minutes, and Metro 212/312 with an average service interval of 9.66 minutes. This qualifies Lot 3 as Tier 2 and Lot 4 as Tier 1 TOC Affordable Housing Incentive Area. The project crosses these two lots and requested the TOC Incentives that correspond to the lot with the highest Tier permitted, Tier 2. However, the project is eligible for one increase in Tier from Tier 2 to Tier 3 for consisting of 100-percent On-Site Restricted Affordable Units. Specifically, the project will reserve 100 percent of the total 50 dwelling units for Permanent Supportive Housing and Low Income Households, excluding the manager's unit. Furthermore, the TOC Guidelines require at least 23-percent of the total number of units to be set aside for Low Income Households to be eligible for TOC Incentives. As mentioned, the project is a 100-percent affordable housing project and therefore satisfies the requisite set aside of affordable housing to request TOC Incentives.

The TOC Guidelines allow three (3) Base Incentives for increased residential density, increased floor area ratio (FAR), and reduced automobile parking requirements. Based on the amount of affordable housing offered as well as its proximity to transit, a project may qualify for up to three (3) Additional Incentives for yards and setbacks, open space, lot coverage, lot width, averaging, density calculation, height, and developments in public facilities zones. As authorized by the TOC Guidelines, a project may also qualify for two (2) further Additional Incentives for a total of up to five (5) Additional Incentives, because it adheres to the labor standards required in LAMC Section 11.5.11.

The project is eligible to request three (3) Base Incentives and a total of three (3) Additional Incentives for setting aside 100 percent of the total units for Low Income Households, whereas 30-percent is the minimum required to be set aside for Low Income Households in order to be eligible for three (3) Additional Incentives. The project has been granted the following Base and Additional Incentives by the Director of Planning.

#### Tier 3 Base Incentives

1. **Density:** The C4-1VL Zone allows a base density of one (1) dwelling unit per 400 square feet of lot area, which results in a base density of 29 dwelling units for the subject site with 11,260 square feet of lot area. The TOC Guidelines allow up to a 70-percent increase in the maximum allowable density in exchange for setting aside at least 23-percent, or 12 units of the 50 total units for Low Income Households in Tier 3, which permits a maximum of 50 dwelling units on the subject site. The project is entitled to a 70-percent increase in density to permit a total of 50 dwelling units in lieu of 29 dwelling units.
2. **Floor Area Ratio (FAR):** The C4-1VL Zone allows a maximum FAR of 1.5:1. As an Eligible Housing Development, the TOC Guidelines allows up to 50 percent or 3.75:1 FAR in commercial zones, whichever is greater. The project proposed a 3.05:1 FAR.

3. **Automobile Parking:** The TOC Guidelines state there shall be no required parking for all residential units for a project that consists of 100-percent On-Site Restricted Affordable Units. The project proposes 49 dwelling units be restricted as Permanent Supportive Housing, Low Income Household units and one (1) manager unit. A minimum of zero (0) automobile parking spaces are required, and five (5) automobile parking spaces were proposed and conditioned.

#### Tier 3 Additional Incentives

1. **Side Yard Setbacks:** Pursuant to the TOC Guidelines, in any Commercial zone, Eligible Housing Developments may utilize any or all of the yard requirements for the RAS3 zone per LAMC 12.10.5. On the subject property, the minimum side yard setback required for a 5-story building is eight (8) feet. The TOC Guidelines allow a 30-percent decrease in the required width or depth of two (2) individual yards or setback. The Director granted a 30-percent reduction in the minimum side yard setbacks to permit 5-feet, 6-inches in lieu of eight (8) feet.
2. **Usable Open Space:** Pursuant to LAMC Section 12.21 G.2, the project must provide at a minimum the following usable Open Space per dwelling unit: 100 square feet for each unit having less than three habitable rooms; 125 square feet for each unit having three habitable rooms; and 175 square feet for each unit having more than three habitable rooms. The project proposes 49 studio and one (1) two-bedroom units, which requires a minimum of 5,025 square feet of usable open space. The TOC Guidelines allow for a maximum 25-percent reduction in required Open Space. Therefore, the project is eligible for a 25-percent reduction in the minimum usable open space requirement to allow 3,770 square feet in lieu of 5,025 square feet.
3. **Height:** The C4-1VL Zone allows for a maximum building height of 45 feet. The TOC Guidelines allow an increase in the maximum building height of up to two (2) additional stories up to 22 feet. While the project is eligible for a 22-foot increase in height, the project proposed a 20-foot increase for a total building height of 65 feet, 1 inch as measured from grade to the top of the roof structure, in lieu of 45 feet.

#### APPEAL AND APPELLATE BODY

On December 17, 2019, the Director of Planning issued a Determination that conditionally approved a Transit Oriented Communities Affordable Housing Incentive Program project for the proposed project. On January 2, 2020, an appeal was filed by La Brea-Willoughby Coalition, challenging validity of the TOC Guidelines, the Director's Determination of the required open space, and surrounding property owners' due process rights. The appeal application and justification are provided in Exhibit B. Pursuant to Sections 12.22 A.25(g), 12.22 A.31(e), 12.37 I.3 and 12.36 C.4 of the Los Angeles Municipal Code (LAMC), the City Planning Commission is the appellate body for a Transit Oriented Communities Affordable Housing Incentive Program project. The decision of the City Planning Commission is not further appealable.

#### APPEAL POINTS AND STAFF RESPONSE

Excerpts from the appeal justification concerning land use entitlements and staff response are provided as follows.

**Appeal Point 1:** TOC “guidelines” are not an ordinance, as they were never heard, ratified, nor passed by the FCC.

**Staff Response:** Voter approved Measure JJJ was officially adopted by the Los Angeles City Council as Ordinance No. 184,745 on December 13, 2016. Measure JJJ included the Transit Oriented Communities (TOC) Affordable Housing Incentive Program which is now codified at Los Angeles Municipal Code (LAMC) Section 12.22 A.31. LAMC 12.22.A.31(b) & (c) establishes the process for the preparation and adoption of the TOC Incentive Guidelines. Subsection (b) directs Director of Planning to prepare the TOC Affordable Housing Incentive Program Guidelines (TOC Guidelines). After the Director of Planning prepares the TOC Guidelines, subsection (c) requires that they be presented to the City Planning Commission for a recommendation to either adopt or reject them. After receiving the City Planning Commission’s recommendation, the Director of Planning then either adopts or rejects the draft TOC Guidelines. Following this process, the Director of Planning prepared the TOC Guidelines and then presented them to the City Planning Commission at its regularly scheduled meeting on May 25, 2017. Upon consideration of the TOC Guidelines the City Planning Commission recommended their adoption on May 25, 2017. Thereafter, the Director of Planning adopted them and published them on September 22, 2017. The process followed for the adoption of the TOC Guidelines is documented in Department of City Planning Case File DIR-2017-1914-MSC. Measure JJJ did not include any requirement that the City Council adopt the TOC Guidelines. That function was expressly delegated to the Director of Planning, after receiving a recommendation from the City Planning Commission.

**Appeal Point 2:** The project does not meet the City’s open space requirements.

**Staff Response:** The project does meet the City’s Open Space Requirements. Los Angeles Municipal Code (LAMC) Section 12.21 G defines Open Space as: “Usable open space shall mean an area which is design and intended to be used for active or passive recreation. Usable open space may consist of private and/or common area as further defined and regulated herein.” Furthermore, “roof decks in developments built at an R4, RAS4, and/or R5 density, regardless of the underlying zone, may be used in their entirety as common open space.”

The subject property has a C4-1VL zone which allows for R4 density of one (1) dwelling unit per 400 square feet per lot area. The lot area for this project is 11,260 square feet including one-half of the alley divided by 400 square feet for a base density of 29 dwelling units. Pursuant to the Tier 3 of the TOC Affordable Housing Incentive Program, the project is allowed a 70-percent increase in density to permit a maximum of 50 dwelling units. Per LAMC 12.21 G new construction of a building containing six (6) or more dwelling units shall provide, at a minimum, the following usable Open Space per dwelling unit: 100 square feet for each unit having less than three habitable rooms; 125 square feet for each unit having three habitable rooms; and 175 square feet for each unit having more than three habitable rooms.

The project is providing 49 studio and one (1) two-bedroom dwelling units. A studio unit has less than three (3) habitable rooms, for the 49 studio dwelling

units 4,900 square feet of usable Open Space is required. A two-bedroom unit has three (3) habitable rooms, for the one (1) two-bedroom dwelling unit 125 square feet of usable Open Space is required. This results in a total requirement of 5,025 square feet of usable Open Space for the project.

However, because this project is utilizing the Transit Oriented Communities Affordable Housing Incentive Project, it may obtain a reduction in the amount of Usable Open Space otherwise required for the project. Specifically, Section VII(b) of the TOC Guidelines allows for projects qualifying as Tier 3 projects, such as this project, to obtain a reduction in the required Usable Open Space of up to 25-percent. For this project, this reduction results in a minimum requirement of 3,769 square feet of Open Space. The project is providing 3,770 of Open Space which includes: a 905 square-foot community room, 767 square foot courtyard, 1,498 square foot roof deck, and 600 square feet of private balconies (12 balconies at 50 square feet each).

Additionally, per LAMC 12.21 G, a minimum of 25-percent of the common open area must be planted and one 24-inch box tree is required for every four (4) dwelling units. The project is required to provide 566.25 square feet of landscaping, based on 2,265 square feet of exterior common open space, and a total of 13 trees. The project is providing 819 square feet of landscaped area and 13 trees.

As such, the project is complying with Open Space requirements that apply to this Tier 3 TOC project.

**Appeal Point 3:** Surrounding property owners' due process rights were violated when the City fails to give all impacted property owners notices, hearing(s), and deny the right to appeal the project's approval.

**Staff Response:** The City complied with all noticing requirements for this project. LAMC section 12.22.A.31(e) states, "Application for the TOC Incentives shall be made on a form provided by the Department of City Planning, and shall follow the procedures outlined in Los Angeles Municipal Code (LAMC) Section 12.22.A.25(g)."

LAMC 12.22.A.25(g)(2) states, "Within three business days of making a decision, the Director shall transmit a copy by First Class Mail to the applicant and to all owners of properties abutting, across the street or alley from, or having a common corner with the subject property, and to the local Certified Neighborhood Council." Consistent with this requirement, on December 17, 2019 DCP mailed by First Class Mail the Letter of Determination to the applicant and their representative; required abutting property owners; Council District 5; Mid City West Community Council; the Los Angeles Bureau of Engineering, Department of Building and Safety, Department of Transportation, and Department of Neighborhood Empowerment; and interested parties. Proof of this mailing is contained in the Case File for this project.

Accordingly, the City provided the legally required notice of the Director's determination regarding this project. As such, no person's due process rights have been violated.

In addition, several months prior to the DCP issuing the Letter of Determination, the applicant presented the project to the Mid City West Community Council which approved a motion to strongly support the project as presented at their April 9, 2019 meeting by a vote of 16 yeas, 0 nays, 3 abstentions (Exhibit F). The appeal included a statement regarding the Mid City West Community Council's approval of the project while the project case file was on hold with the Department of City Planning (DCP). Placing a project case file on hold is the mechanism DCP utilizes to inform the applicant that corrections to a project or application are needed to continue processing the case, or that additional information or clarification is requested. A project case file being on hold does not preclude the applicant from presenting the project to community groups.

The appellant filed an appeal to the project on the last day of the appeal period, January 2, 2020.

**Appeal Narrative:** LWC case review after the Determination revealed changes, including the original project application and plan height of 56-feet/5-story was revised to 65-feet-1-inch/5-story.

**Staff Response:** Pursuant to the Tier 3 of the TOC Affordable Housing Incentive Program, the project requested an Additional Incentive for a 22-foot increase in maximum building height for restricting 30-percent, or 9 units, of the 29 base units for Low Income Households to permit a building height of 67-feet as measured from Grade, in lieu 45 feet per the C4-1VL zone. To meet the eligibility requirements for Additional Incentives, the project will reserve 169-percent of the 29 base units, a total of 49 dwelling units, for Low Income Households. Therefore, per the TOC Guidelines Additional Incentives, the project is entitled to a 22-foot increase in maximum building height.

As shown on the project plans (Exhibit A), the building height is 56 feet, 10 inches as measured from the lowest Grade to the parapet wall as defined by LAMC 12.03: Height of Building or Structure. The 65 feet, 1 inch, referenced in the Director's Determination, accounts for the additional nine (9) feet of height to the top of the roof access structure. It should be noted that the building height did not change as shown in Exhibit A, and remains 56 feet, 5-stories, from ground to the parapet and below the overall allowable building height of 67 feet.

As such, the project is complying with Height requirements that apply to this Tier 3 TOC project.

### **STAFF RECOMMENDATION**

For reasons stated herein and in the findings of the Director's Determination, the proposed project is eligible for the Base and Additional Incentives requested under the TOC Guidelines, and is statutorily exempt from CEQA pursuant to AB 1197 and Public Resources Code Section

21080.27(b)(1). Based on the complete plans submitted by the applicant and considering the appellant's arguments for appeal, staff finds that the project meets the required findings.

Therefore, staff recommends that the City Planning Commission: deny the appeal; determine that the project is statutorily exempt from CEQA pursuant to AB 1197; sustain the December 17, 2019, Director of Planning's Determination in approving the three (3) Base Incentives and three (3) Additional Incentives under the TOC Affordable Housing Incentive Program; and adopt the Director of Planning's Conditions of Approval and Findings.



# **EXHIBIT A**

## Project Plans

Case No. DIR-2019-274-TOC-1A





PROJECT

# THE POINTE ON LA BREA

An Affordable Housing Development  
843 N La Brea Avenue, Los Angeles, CA 90038

CLIENT

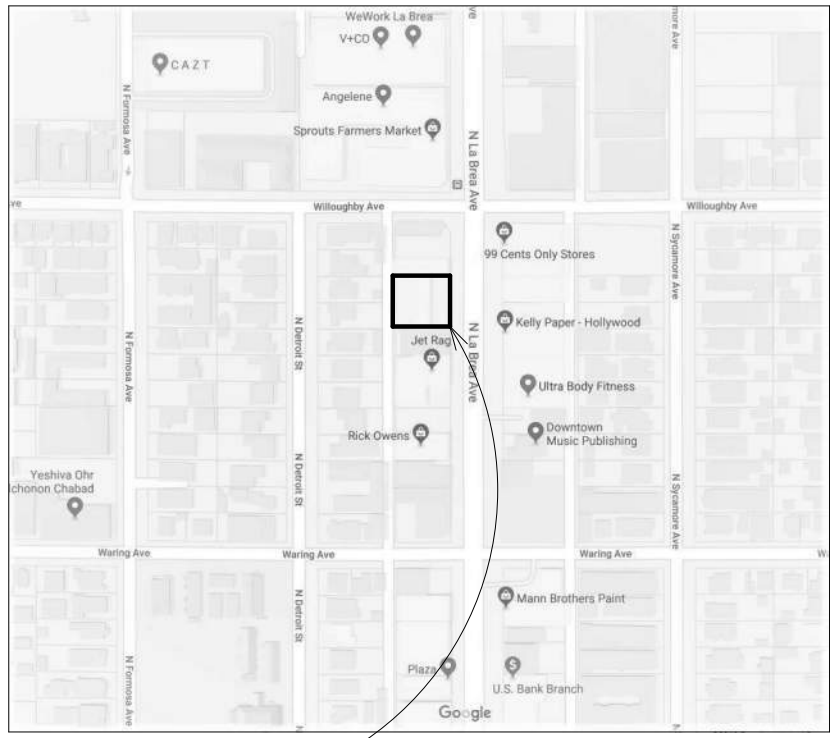
## EAH HOUSING

22 Pelican Way, San Rafael, CA 94901



- REQUIRED SUSTAINABLE BUILDING METHODS:**
1. **OUTDOOR WATER CONSERVATION MEASURES INCLUDE:**  
USE NATIVE OR DROUGHT-TOLERANT PLANTS FOR A MINIMUM OF 75% OF LANDSCAPED AREA; PLANTS TO BE SELECTED FROM LOS ANGELES COUNTY'S DROUGHT-TOLERANT PLANT LIST, OR THE LOCAL JURISDICTION'S DROUGHT-TOLERANT PLANT LIST, IF REQUIRED TO DO SO BY THE LOCAL JURISDICTION.  
- LIMIT CONVENTIONAL GRASS/TURF TO 25% OF LANDSCAPED AREA.  
- GROUP PLANTS WITH SIMILAR WATERING NEEDS (HYDROZONES).  
- INSTALL HIGH EFFICIENCY IRRIGATION SYSTEM WITH SMART IRRIGATION CONTROLS AT ALL LANDSCAPING.
  2. **ALL PROJECTS, AT MINIMUM, SHALL RECYCLE AND/OR SALVAGE 70% OF NON-HAZARDOUS CONSTRUCTIN AND DEMOLITION DEBRIS.**
  3. **THE PROJECT SHALL PROVIDE AN EASILY-ACCESSIBLE RECYCLING AREA FOR TENANT USE THAT SERVES THE ENTIRE BUILDING.**
  - 4.

### VICINITY MAP:



### T.O.C. TIER 3 PROJECT

- Base Incentives used:**
- (1) Increase in Number of Dwelling Units  
- Tier 3 - 70% increase
  - (2) Floor Area Ratio  
- Tier 3 - 3.75:1 FAR in Commercial Zones
  - (3) Residential Parking  
- 100% Affordable Project - No Parking Required
- Additional Incentives used:**
- (A) Yard/ Setback  
- Commercial Zone - May utilize any/all RAS3 Zone Yard Requirements.
  - (B) Open Space  
- Tiers 3 & 4 - Up to a 25% decrease in Required Open Space.
  - (C) Total Height  
- Tier 3 - Two additional stories up to 22 additional feet

### PROJECT SUMMARY:

#### LEGAL DESCRIPTION:

Address: 843-849 N La Brea Ave, Los Angeles CA  
Lot Area: = 10,509.5 SF  
Tract: = TR 5310  
APN: = 5525-004-023  
Map Reference: = M B 59-21  
Block: = None  
Lot: = 3 and 4  
ARB: = None  
Map Sheet: = 141B181

#### ZONING ANALYSIS/DENSITY CALCULATIONS:

**A. SITE ANALYSIS**  
ZONING: = C4-1VL  
LOT AREA + 1/2 ALLEY (10,509.5SF + (7'-6" X 100') = 11,260 SF

**B. ZONING ANALYSIS (C4-1VL ZONE)**  
OCCUPANCY GROUP = S-2, R-2, A-3, B  
BUILDING HEIGHT (ALLOWED/PROPOSED) = 67' (45' + 22') / 57'-10"  
SETBACK REQUIREMENTS  
- REQUIRED (FRONT / SIDE / REAR YARD) = 0' / 5' / 17\*\*  
- PROVIDED (FRONT / SIDE / REAR YARD) = 0' / 6'-0 1/4" TO 6'-2 3/4" / 19'-10 3/4\*\*  
\* MEASURED FROM CENTERLINE OF ALLEY

**C. DENSITY CALCULATIONS (C4-1VL ZONE)**  
NO. OF UNITS:  
ALLOWED = 29 Units  
ALLOWED (W/ 70% DENSITY BONUS) = 50 Units\*  
PROPOSED = 50 Units\*  
\* ALLOWABLE DENSITY WITHIN C4-1VL ZONE IS (11,260/400) = 29 UNITS. WITH 70% DENSITY BONUS PROVIDED BY T.O.C. ORDINANCE, (29 X 1.70) = 50 UNITS.

**D. F.A.R. CALCULATIONS (C4-1VL ZONE)**  
BUILDABLE AREA: = 10,509.5 SF  
ALLOWABLE F.A.R. = 3.75 : 1  
TOTAL AREA ALLOWED (10,509.5 SF x 3.75) = 39,410 SF

#### ACCESSIBLE UNIT TABLE

ACCESSIBLE UNITS FOR PERSONS WITH MOBILITY IMPAIRMENTS:  
- UNITS 101, 200, 300, 400, 500

ACCESSIBLE UNITS FOR PERSONS WITH SENSORY IMPAIRMENTS:  
- UNITS 211, 311

#### STATEMENT OF SCOPE OF WORK:

Demolish Existing 1-Story Commercial Structure and Existing Parking Lot. New Construction of One 4-Story Type V-A Residential Building Over 1-Story Type I-A Parking Garage / Common Spaces.

AFFORDABLE HOUSING UNITS = 50 UNITS  
UNIT MIX (STU / 2-BR) = 49 / 1  
PROPOSED BUILDING HEIGHTS = 57'-10" / 5 STORIES  
PROPOSED FLOOR AREA = 31,974 SF\*  
PROPOSED FAR = 3.04:1

\*CALCULATED PER THE REQUIREMENTS INDICATED IN DOCUMENT NO. P/BC 2002-02, REFERENCING SECTION 12.03 OF THE 2017 LOS ANGELES MUNICIPAL ZONING CODE.

INCLUDES AREA WITHIN EXTERIOR WALLS & COVERED EXTERIOR WALKWAYS. NOT INCLUDING STAIRWAYS, SHAFTS, ROOM HOUSING BUILDING-OPERATING EQUIPMENT OR MACHINERY, PARKING AREAS

#### SPATIAL PROGRAM:

**A. BUILDING (TYPE V-A CONSTRUCTION): = 29,502 SF**  
1. **Housing (48 Units):**  
(24) Studio Units @ 470 sf/unit = 11,280 SF  
(24) Studio Units @ 462 sf/unit = 11,088 SF

2. **Support Spaces / Utilities / Circulation:**  
Elevator/Stair/Trash Chute = 1,464 SF  
Circulation = 5,620 SF  
Electrical = 50 SF

**B. BUILDING (TYPE I-A CONSTRUCTION): = 6,588 SF**  
1. **Housing (2 Units):**  
(1) Studio Unit @ 461 sf/unit = 461 SF  
(1) 2-Bedroom Unit @ 771 sf/unit = 771 SF

2. **Communal Spaces:**  
Entrance Lobby = 358 SF  
Community Room / Restroom = 905 SF  
Offices = 434 SF  
Gym = 343 SF  
Corridor = 146 SF  
Laundry Room = 183 SF

3. **Support Spaces / Utilities:**  
Elevator/Stair/Trash Chute = 557 SF  
Electrical = 250 SF  
Bike Storage = 250 SF  
Storage / Janitorial = 135 SF

3. **Parking Garage:**  
Covered Parking = 1,795 SF

#### OPEN SPACE CALCULATIONS

**REQUIRED:** 49 UNITS @ 100 SF / UNIT = 4,900 SF  
1 UNITS @ 125 SF / UNIT = 125 SF  
**TOTAL W/ 25% REDUCTION: = 3,768 SF\***  
\* 25% REDUCTION ON OPEN SPACE PER T.O.C. ORDINANCE (TIER 3)

**PROVIDED:** COMMUNITY ROOM = 905 SF  
COURTYARD = 767 SF  
ROOF DECK = 1,498 SF  
PRIVATE BALCONIES (50 SF X 12) = 600 SF  
**TOTAL: = 3,770 SF**

#### LANDSCAPING CALCULATIONS

**REQUIRED / PROVIDED LANDSCAPING: = 942 SF / 942 SF**  
(25% OF REQUIRED OPEN SPACE) (3,768 X .25)

**TREES REQUIRED / PROVIDED: = 13 TREES / 13 TREES**  
(50 UNITS @ 4 TREES / UNIT)

#### PARKING SUMMARY (BICYCLE):

**REQUIRED:** 1 Long-Term Stall / 1 Units (1-25) = 25 Stalls  
1 Long-Term Stall / 1.5 Units(26-50) = 17 Stalls  
1 Short-Term Stall / 1 per 10 (1-25) = 2 Stalls  
1 Short-Term Stall / 1 per 15 (26-50) = 2 Stalls  
**TOTAL REQUIRED = 46 STALLS**

**PROVIDED:** Long-Term Stalls = 42 Stalls  
(RESIDENTIAL) Short-Term Stalls = 4 Stalls  
**TOTAL PROVIDED = 46 STALLS**

#### PARKING SUMMARY (VEHICULAR):

**REQUIRED:** 50 UNITS @ 0 STALLS/UNIT\* = 0 STALLS\*  
(RESIDENTIAL) TOTAL REQUIRED = 0 STALLS

**PROVIDED:** ACCESSIBLE (RESIDENTIAL) = 1 STALLS  
COMPACT = 2 STALLS  
STANDARD (EVCS READY) = 1 STALLS  
STANDARD (TANDEM) = 1 STALLS  
**TOTAL PROVIDED: 5**

\* FOR AN ELIGIBLE HOUSING DEVELOPMENT THAT CONSISTS OF 100% ON-SITE RESTRICTED AFFORDABLE UNITS, EXCLUSIVE OF A MANAGER'S UNIT, THERE SHALL BE NO REQUIRED PARKING FOR ALL RESIDENTIAL UNITS PER TOC GUIDELINES VI.2.a.i.2

### DRAWING INDEX:

#### ARCHITECTURAL

A1.00 TITLE / PROJECT INFORMATION  
A2.00 SITE PLAN  
A2.01 GROUND FLOOR PLAN  
A2.02 SECOND FLOOR PLAN  
A2.03 THIRD FLOOR PLAN  
A2.04 FOURTH FLOOR PLAN  
A2.05 FIFTH FLOOR PLAN  
A2.06 ROOF PLAN  
A3.01 SECTIONS  
A4.01 ELEVATIONS  
A4.02 ELEVATIONS  
A11.02 PERSPECTIVE

#### SURVEY

ALTA LAND TITLE SURVEY

#### LANDSCAPE

L-1 PLANTING PLAN  
L-2 ROOF PLANTING PLAN

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#### CONSTRUCTION NOTES:

- A. PROJECT SHALL BE IN COMPLIANCE WITH ALL COMPONENTS OF THE ARCHITECTURAL DESIGN REQUIREMENTS, APPLICABLE BUILDING CODES, AND ALL APPLICABLE ACCESSIBILITY REQUIREMENTS, INCLUDING, BUT NOT LIMITED TO:  
- THE 2017 CALIFORNIA BUILDING CODE  
- DISABLED ACCESS COMPLIANCE MANUAL  
- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN  
- FAIR HOUSING ACT
- B. FUNDED PROJECTS SHALL ADHERE TO THE PROVISIONS OF THE CBC CHAPTER 11(B) AND TITLE III OF THE AMERICANS WITH DISABILITIES ACT (2010)

#### DESIGN NOTES:

- A. UNITS COMPLYING WITH UNIVERSAL DESIGN STANDARDS WILL HAVE AN ISA SYMBOL OF MINIMUM 1" X 1", LOCATED WITHIN THE UNIT (BELOW THE DOOR VIEWER) AND MOUNTED PER CBC 1143A.
- B. PROJECT TO COMPLY WITH STATE'S NOISE INSULATION STANDARDS (CALIFORNIA ADMINISTRATIVE CODE TITLE 25, SECTION 1092), AND COUNTY OF LOS ANGELES CONSTRUCTION NOISE STANDARDS FOR RESIDENTIAL CONSTRUCTION
- C. INSULATED OR SOLID CORE. FLUSH, PAINT OR STAIN GRADE EXTERIOR DOORS SHALL BE MADE OF METAL CLAD OR HARDWOOD FACES, WITH A STANDARD ONE-YEAR GUARANTEE AND ALL SIX (6) SIDES FACTORY PRIMED
- D. ALL WINDOWS SHALL BE EQUIPPED WITH A NATIONAL FENESTRATION RATING COUNCIL (NFRC) LABEL (FOR FIELD INSPECTION) SHOWING THE U-VALUE AND SOLAR GAIN COEFFICIENT
- E. SCREENS SHALL BE PROVIDED FOR ALL OPERABLE WINDOWS
- F. PROVIDE WINDOW TREATMENTS AT ALL WINDOWS. METAL HORIZONTAL BLINDS ARE NOT PERMITTED.
- G. PROVIDE A DIGITAL MASTER ANTENNA TELEVISION (MATV) FOR ALL DEVELOPMENTS WIRED TO AT LEAST ONE (1) OUTLET IN THE LIVING ROOM, AND ALL BEDROOMS. THE SIGNAL SHALL BE AMPLIFIED AS REQUIRED TO REACH ALL RECEPTACLES IN EACH UNIT
- H. ENERGY STAR RATED CEILING FANS TO BE INSTALLED IN ALL BEDROOMS AND LIVING ROOMS
- I. HIGH EFFICIENCY TOILETS THAT REQUIRE 1.06 GALLONS OR LESS TO FLUSH AND MEET A MINIMUM MAP THRESHOLD OF 600 GRAMS OF WASTE REMOVED FROM THE TOILET IN A SINGLE FLUSH. TOILETS MUST BE EPA WATER-SENSE QUALIFIED
- J. SHOWER HEADS THAT ARE WATER EFFICIENT (1.6 GPM OR LESS) TO BE INSTALLED IN UNITS. WATER SAVING FIXTURES OR FLOW RESTRICTORS IN THE KITCHEN AND BATHROOMS (1.5 GPM OR LESS).
- K. ALL INTERIOR PAINT TO BE NO-VOX (5 G/L OR LESS)
- L. WIRING FOR AUDIO AND VISUAL DOORBELLS, REQUIRED BY UFAS/ADA 2010, SHALL BE INSTALLED IN ALL UNITS
- M. ALL UNITS SHALL BE NON-SMOKING

**FSY ARCHITECTS**  
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LOS ANGELES, CA 90039  
TEL : 323.255.4343  
WWW.FSYARCHITECTS.COM  
MAIL@FSYARCHITECTS.COM

**PROJECT NAME:**  
THE POINTE ON LA BREA

**PROJECT ADDRESS:**  
843 N La Brea Blvd,  
Los Angeles, CA  
90038

**CLIENT NAME:**  
EAH HOUSING

**CLIENT ADDRESS:**  
22 Pelican Way,  
San Rafael, CA 94901

**DRAWING TITLE:**  
TITLE / PROJECT INFORMATION

PROJECT NUMBER	1819	
NO.	DESCRIPTION	DATE

#### NOT FOR CONSTRUCTION

ENTITLEMENT SET	
Date	3/27/2019
Drawn by	HR
Checked by	SD

**A1.00**

Scale  
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PROJECT SUMMARY:

LEGAL DESCRIPTION:

Address: 843-849 N La Brea Ave, Los Angeles CA  
Lot Area: = 10,509.5 SF  
Tract: = TR 5310  
APN: = 5525-004-023  
Map Reference: = M B 59-21  
Block: = None  
Lot: = 3 and 4  
ARB: = None  
Map Sheet: = 141B181

ZONING ANALYSIS/DENSITY CALCULATIONS:

A. SITE ANALYSIS  
ZONING: = C4-1VL  
LOT AREA + 1/2 ALLEY (10,509.5SF + (7'-6" X 100') = 11,260 SF

B. ZONING ANALYSIS (C4-1VL ZONE)  
OCCUPANCY GROUP = S-2, R-2, A-3, B  
BUILDING HEIGHT (ALLOWED/PROPOSED) = 67' (45' + 22') / 57'-10"  
SETBACK REQUIREMENTS  
- REQUIRED (FRONT / SIDE / REAR YARD) = 0' / 5' / 17\*\*  
- PROVIDED (FRONT / SIDE / REAR YARD) = 0' / 6'-0 1/4" TO 6'-2 3/4" / 19'-10 3/4\*\*

C. DENSITY CALCULATIONS (C4-1VL ZONE)  
NO. OF UNITS:  
ALLOWED = 29 Units  
ALLOWED (W/ 70% DENSITY BONUS) = 50 Units\*  
PROPOSED = 50 Units\*  
\* ALLOWABLE DENSITY WITHIN C4-1VL ZONE IS (11,260/400) = 29 UNITS. WITH 70% DENSITY BONUS PROVIDED BY T.O.C. ORDINANCE, (29 X 1.70) = 50 UNITS.

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STATEMENT OF SCOPE OF WORK:

Demolish Existing 1-Story Commercial Structure and Existing Parking Lot. New Construction of One 4-Story Type V-A Residential Building Over 1-Story Type I-A Parking Garage / Common Spaces.

AFFORDABLE HOUSING UNITS = 50 UNITS  
UNIT MIX (STU / 2-BR) = 49 / 1  
PROPOSED BUILDING HEIGHTS = 57'-10" / 5 STORIES  
PROPOSED FLOOR AREA = 31,974 SF\*  
PROPOSED FAR = 3.04:1

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SPATIAL PROGRAM:

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1. Housing (48 Units):  
(24) Studio Units @ 470 sf / unit = 11,280 SF  
(24) Studio Units @ 462 sf / unit = 11,088 SF  
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Elevator/Stair/Trash Chute = 1,464 SF  
Circulation = 5,620 SF  
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3. Parking Garage:  
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REQUIRED: 49 UNITS @ 100 SF / UNIT = 4,900 SF  
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TOTAL W/ 25% REDUCTION: = 3,768 SF\*  
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ROOF DECK = 1,498 SF  
PRIVATE BALCONIES (50 SF X 12) = 600 SF  
TOTAL: = 3,770 SF

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(25% OF REQUIRED OPEN SPACE) (3,768 X .25)  
TREES REQUIRED / PROVIDED: = 13 TREES / 13 TREES  
(50 UNITS @ 4 TREES / UNIT)

PARKING SUMMARY (BICYCLE):

REQUIRED: 1 Long-Term Stall / 1 Units (1-25) = 25 Stalls  
1 Long-Term Stall / 1.5 Units (26-50) = 17 Stalls  
1 Short-Term Stall / 1 per 10 (1-25) = 2 Stalls  
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TOTAL REQUIRED = 46 STALLS

PROVIDED: Long-Term Stalls = 42 Stalls  
(RESIDENTIAL) Short-Term Stalls = 4 Stalls  
TOTAL PROVIDED = 46 STALLS

PARKING SUMMARY (VEHICULAR):

REQUIRED: 50 UNITS @ 0 STALLS/UNIT\* = 0 STALLS\*  
(RESIDENTIAL) TOTAL REQUIRED = 0 STALLS  
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COMPACT = 2 STALLS  
STANDARD (EVCS READY) = 1 STALLS  
STANDARD (TANDEM) = 1 STALLS  
TOTAL PROVIDED: 5  
\* FOR AN ELIGIBLE HOUSING DEVELOPMENT THAT CONSISTS OF 100% ON-SITE RESTRICTED AFFORDABLE UNITS, EXCLUSIVE OF A MANAGER'S UNIT, THERE SHALL BE NO REQUIRED PARKING FOR ALL RESIDENTIAL UNITS PER TOC GUIDELINES VI.2.a.1.2

T.O.C. TIER 3 PROJECT

Base Incentives used:  
(1) Increase in Number of Dwelling Units  
- Tier 3 - 70% Increase  
(2) Floor Area Ratio  
- Tier 3 - 3.75:1 FAR in Commercial Zones  
(3) Residential Parking  
- 100% Affordable Project - No Parking Required  
Additional Incentives used:  
(A) Yard/ Setback  
- Commercial Zone - May utilize any/all RAS3 Zone Yard Requirements.  
(B) Open Space  
- Tiers 3 & 4 - Up to a 25% decrease in Required Open Space.  
(C) Total Height  
- Tier 3 - Two additional stories up to 22 additional feet

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CONSTRUCTION NOTES:

- LADWP PAD MOUNTED TRANSFORMER. CONTRACTOR TO PROVIDE CONDUIT AND CONNECTIONS TO LADWP TRANSFORMER VAULT AND THROUGH TO PROPERTY LINE PER LADWP STANDARDS AND REQUIREMENTS. (SEE ELECTRICAL DRAWINGS AND LADWP SERVICE PLAN).
- (E) SIDEWALK
- (E) DRIVEWAY APRON
- 6' - 0" TALL PERIMETER FENCE
- (E) OVERHEAD POWER POLE
- DOUBLE BIKE STALL TO BE USED AS RESIDENTIAL SHORT-TERM BIKE STORAGE, COMPLYING WITH BICYCLE PARKING ORDINANCE CF-12-1297-S1. BICYCLE STALLS SHALL USE THE STANDARD PLAN IN COMPLIANCE WITH S-671-0. SEE A10.06
- LOWEST GRADE MEASURED WITHIN 5'-0" OF THE EXTERIOR WALL LINE OF THE BUILDING PER DOCUMENT NO. P/ZC 2002-008, REFERENCING LAMC SEC.12.03

GENERAL NOTES:

- BUILDING WILL BE PRE-WIRED FOR CLOSED-CIRCUIT SURVEILLANCE CAMERAS IN MAIN ENTRIES, PARKING AREAS, EXTERIOR EXIT DOORS, AND COMMON AREAS NOT DIRECTLY ADJACENT TO REGULARLY OCCUPIED ROOMS
- EXTERIOR LIGHTING AT PARKING AREAS, MAIN ENTRY, EXTERIOR EXIT DOORS, COURTYARDS, AND ANY AT-GRADE AREAS USED BY RESIDENTS TO BE COMPLIANT WITH CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN REQUIREMENTS.
- ALL PERIMETER FENCES AND ENTRANCE / EXIT GATES SHALL COMPLY WITH OPTED REQUIREMENTS
- UNIVERSALLY DESIGNED UNITS SHALL HAVE AN ISA SYMBOL OF MINIMUM 1" X 1", LOCATED WITHIN THE UNIT (BELOW THE DOOR VIEWER) AND MOUNTED PER CBC 2016, SECTION 1143A
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- ALL WINDOWS SHALL BE EQUIPPED WITH A NATIONAL FENESTRATION RATING COUNCIL (NFRC) LABEL (FOR FIELD INSPECTION) SHOWING THE U-VALUE AND SOLAR GAIN COEFFICIENT
- SCREENS SHALL BE PROVIDED FOR ALL OPERABLE WINDOWS
- PROVIDE WINDOW TREATMENTS AT ALL WINDOWS. METAL HORIZONTAL BLINDS ARE NOT PERMITTED.
- BUILDING WILL BE PREWIRED FOR CLOSED-CIRCUIT SURVEILLANCE CAMERAS

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PROJECT NAME:  
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Los Angeles, CA  
90038

CLIENT NAME:  
EAH HOUSING

CLIENT ADDRESS:  
22 Pelican Way,  
San Rafael, CA 94901

DRAWING TITLE:  
SITE PLAN

PROJECT NUMBER 1819

NO. DESCRIPTION DATE

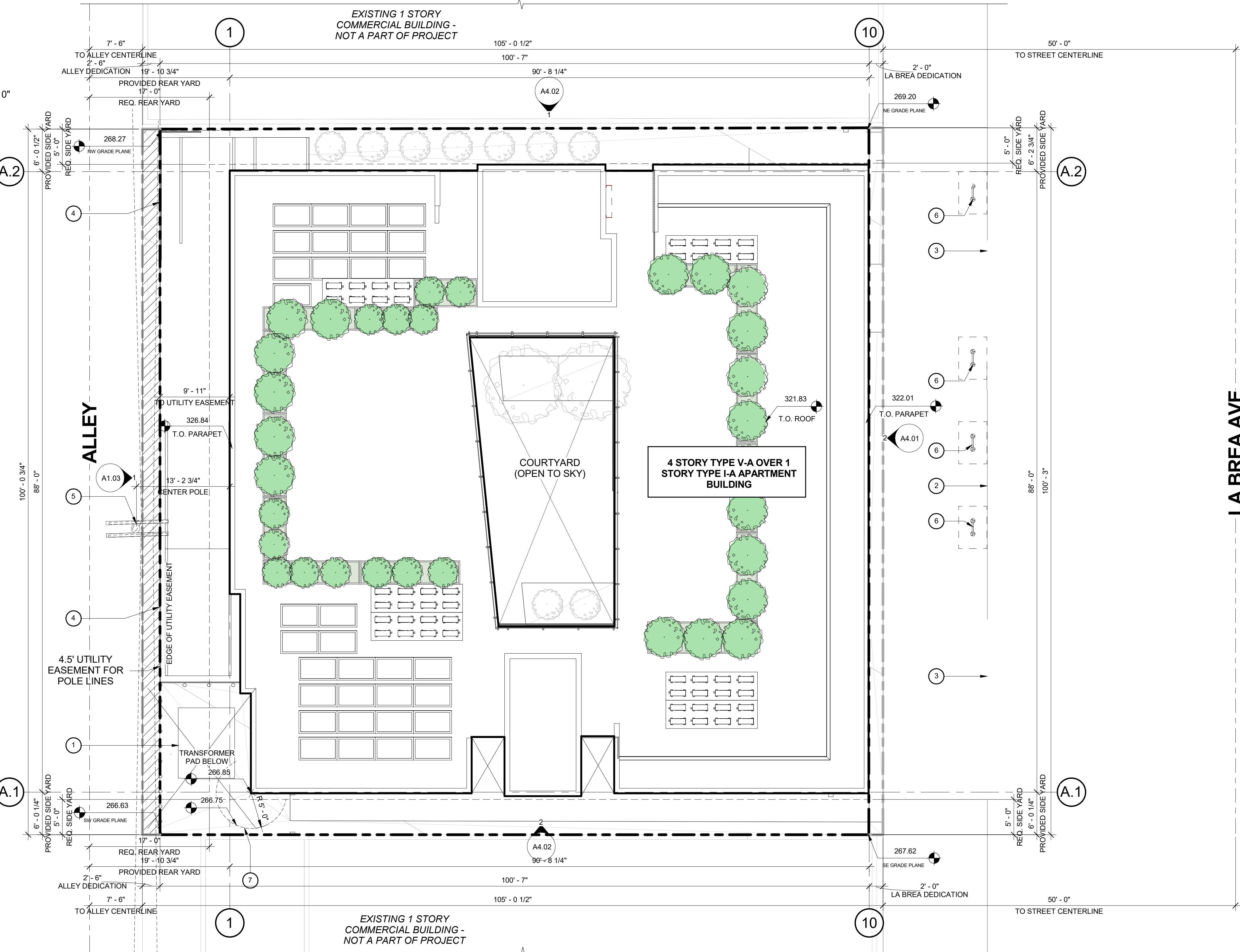
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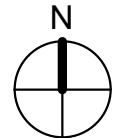
Date 3/27/2019  
Drawn by HR, BM  
Checked by SD

Scale 1/8" = 1'-0"

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0' 4' 8' 16' 32'  
SCALE: 1/8" = 1'-0"



1 SITE / PLOT PLAN  
1/8" = 1'-0"

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CONSTRUCTION NOTES:

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- CONCRETE SLAB ON-GRADE
- STRUCTURAL COLUMN
- SOFTSCAPE LANDSCAPING / PLANTING
- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5
- LONG-TERM WALL-MOUNTED BICYCLE STORAGE STALLS W/ DIMENSIONS COMPLYING WITH BICYCLE PARKING ORDINANCE CF 12-1297-S1. STALLS ARE ENCLOSED WITHIN WEATHERPROOF CLOSET W/ DOORS PER PLAN.
- STOREFRONT ASSEMBLY (ARCADIA - OFFSET DOUBLE GLAZING).
- ELECTRICAL EQUIPMENT
- EDGE OF BUILDING/WALKWAY ABOVE
- EDGE OF POWER LINE ABOVE (PER SURVEY)
- WROUGHT IRON METAL FENCE (8'-0" TALL)
- ON-GRADE PLANTERS (SEE LANDSCAPE DRAWINGS)
- EDGE OF OVERHEAD ENTRANCE CANOPY
- CONCRETE BOLLARDS (PER LADWP REQUIREMENTS)
- DOUBLE BIKE STALL TO BE USED AS RESIDENTIAL SHORT-TERM BIKE STORAGE, COMPLYING WITH BICYCLE PARKING ORDINANCE CF-12-1297-S1. BICYCLE STALLS SHALL USE THE STANDARD PLAN IN COMPLIANCE WITH S-671-0. SEE A10.06. 5' SHORT-TERM STALLS PROVIDED
- LOWEST GRADE MEASURED WITHIN 5'-0" OF THE EXTERIOR WALL LINE OF THE BUILDING PER DOCUMENT NO. P/ZC 2002-008, REFERENCING LAMC SEC. 12.03

PROGRAM LEGEND

- 2 BEDROOM
- COMMON
- COMMON LIGHT
- SERVICES
- STUDIO

**FSY**  
ARCHITECTS

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CLIENT ADDRESS:  
22 Pelican Way,  
San Rafael, CA 94901

DRAWING TITLE:  
GROUND FLOOR PLAN

PROJECT NUMBER	1819	
NO.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION

ENTITLEMENT SET

Date	3/27/2019
Drawn by	HR, BM
Checked by	SD

A2.01

Scale 1/8" = 1'-0"

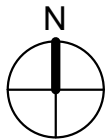
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1 GROUND FLOOR PLAN  
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LA BREA AVE

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2. 42" TALL METAL PICKET GUARDRAIL
3. OVERHEAD ELEVATOR DOOR SMOKE CONTAINMENT SYSTEM PER ICC-ES-ESR-1136. SMOKE GUARD MODEL 200 OR EQUAL. TYPICAL AT ALL ELEVATOR HOISTWAY OPENINGS. SMOKE ACTIVATED DOOR PER SECTION 715.4.8 OF THE 2016 CALIFORNIA BUILDING CODE.
4. EXIT WALKWAY W/ CLASS A ELASTOMERIC DECK COATING, LARR# 24208. SLOPED TO EDGE FOR DRAINAGE (MAX 2%)
5. VINYL WINDOW W/ ALUMINUM FINISH
6. STUD FRAMED SHEET METAL FINS W/ KYNAR FINISH (WHITE COLOR)
7. EDGE OF POWER LINE ABOVE (PER SURVEY)
8. 42" TALL METAL PANEL GAURDRAIL
9. PRIVATE BALCONY W/ CLASS A ELASTOMERIC DECK COATING, LARR# 24208. SLOPED TO EDGE FOR DRAINAGE (MAX 2%)
10. STUCCO FINISH (LA HABRA - CRYSTAL WHITE)

PROGRAM LEGEND

- SERVICES
- STUDIO

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PROJECT NAME:  
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90038

CLIENT NAME:  
EAH HOUSING

CLIENT ADDRESS:  
22 Pelican Way,  
San Rafael, CA 94901

DRAWING TITLE:

SECOND FLOOR PLAN

PROJECT NUMBER 1819

NO.	DESCRIPTION	DATE
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NOT FOR CONSTRUCTION

ENTITLEMENT SET

Date	3/27/2019
Drawn by	HR, BM
Checked by	SD

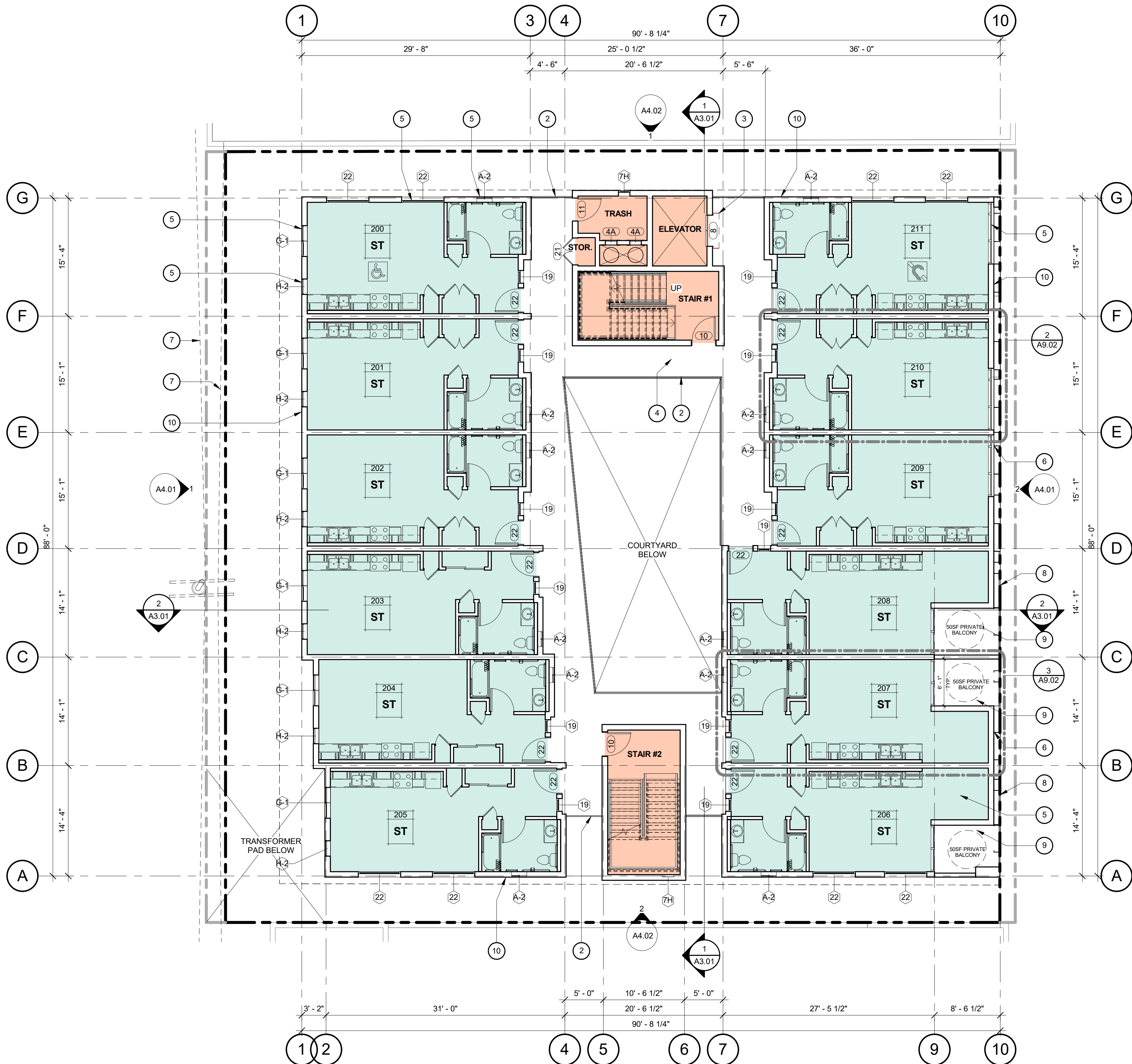
A2.02

Scale 1/8" = 1'-0"

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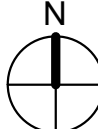
GENERAL NOTES:

- BUILDING WILL BE PRE-WIRED FOR CLOSED-CIRCUIT SURVEILLANCE CAMERAS IN MAIN ENTRIES, PARKING AREAS, EXTERIOR EXIT DOORS, AND COMMON AREAS NOT DIRECTLY ADJACENT TO REGULARLY OCCUPIED ROOMS
- EXTERIOR LIGHTING AT PARKING AREAS, MAIN ENTRY, EXTERIOR EXIT DOORS, COURTYARDS, AND ANY AT-GRADE AREAS USED BY RESIDENTS TO BE COMPLIANT WITH CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN REQUIREMENTS.
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- PROJECT TO COMPLY WITH STATE'S NOISE INSULATION STANDARDS (CALIFORNIA ADMINISTRATIVE CODE TITLE 25, SECTION 1092), AND COUNTY OF LOS ANGELES CONSTRUCTION NOISE STANDARDS FOR RESIDENTIAL CONSTRUCTION
- INSULATED OR SOLID CORE, FLUSH, PAINT OR STAIN GRADE EXTERIOR DOORS SHALL BE MADE OF METAL CLAD OR HARDWOOD FACES, WITH A STANDARD ONE-YEAR GUARANTEE AND ALL SIX (6) SIDES FACTORY PRIMED
- ALL WINDOWS SHALL BE EQUIPPED WITH A NATIONAL FENESTRATION RATING COUNCIL (NFRC) LABEL (FOR FIELD INSPECTION) SHOWING THE U-VALUE AND SOLAR GAIN COEFFICIENT
- SCREENS SHALL BE PROVIDED FOR ALL OPERABLE WINDOWS
- PROVIDE WINDOW TREATMENTS AT ALL WINDOWS. METAL HORIZONTAL BLINDS ARE NOT PERMITTED.
- PROVIDE A DIGITAL MASTER ANTENNA TELEVISION (MATV) FOR ALL DEVELOPMENTS WIRED TO AT LEAST ONE (1) OUTLET IN THE LIVING ROOM, AND ALL BEDROOMS. THE SIGNAL SHALL BE AMPLIFIED AS REQUIRED TO REACH ALL RECEPTACLES IN EACH UNIT
- BUILDING WILL BE PREWIRED FOR CLOSED-CIRCUIT SURVEILLANCE CAMERAS



0' 4' 8' 16' 32'

SCALE: 1/8" = 1'-0"



1 SECOND FLOOR PLAN

1/8" = 1'-0"



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3. OVERHEAD ELEVATOR DOOR SMOKE CONTAINMENT SYSTEM PER ICC-ES-ESR-1136. SMOKE GUARD MODEL 200 OR EQUAL. TYPICAL AT ALL ELEVATOR HOISTWAY OPENINGS. SMOKE ACTIVATED DOOR PER SECTION 715.4.8 OF THE 2016 CALIFORNIA BUILDING CODE.
4. EXIT WALKWAY W/ CLASS A ELASTOMERIC DECK COATING, LARR# 24208. SLOPED TO EDGE FOR DRAINAGE (MAX 2%)
5. VINYL WINDOW W/ ALUMINUM FINISH
6. STUD FRAMED SHEET METAL FINS W/ KYNAR FINISH (WHITE COLOR)
7. EDGE OF POWER LINE ABOVE (PER SURVEY)
8. 42" TALL METAL PANEL GAURDRAIL
9. PRIVATE BALCONY W/ CLASS A ELASTOMERIC DECK COATING, LARR# 24208. SLOPED TO EDGE FOR DRAINAGE (MAX 2%)
10. STUCCO FINISH (LA HABRA - CRYSTAL WHITE)

PROGRAM LEGEND

- SERVICES
- STUDIO

**FSY**  
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843 N La Brea Blvd,  
Los Angeles, CA  
90038

CLIENT NAME:  
EAH HOUSING

CLIENT ADDRESS:  
22 Pelican Way,  
San Rafael, CA 94901

DRAWING TITLE:  
THIRD FLOOR PLAN

PROJECT NUMBER		1819
NO.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION

ENTITLEMENT SET

Date	3/27/2019
Drawn by	HR, BM
Checked by	SD

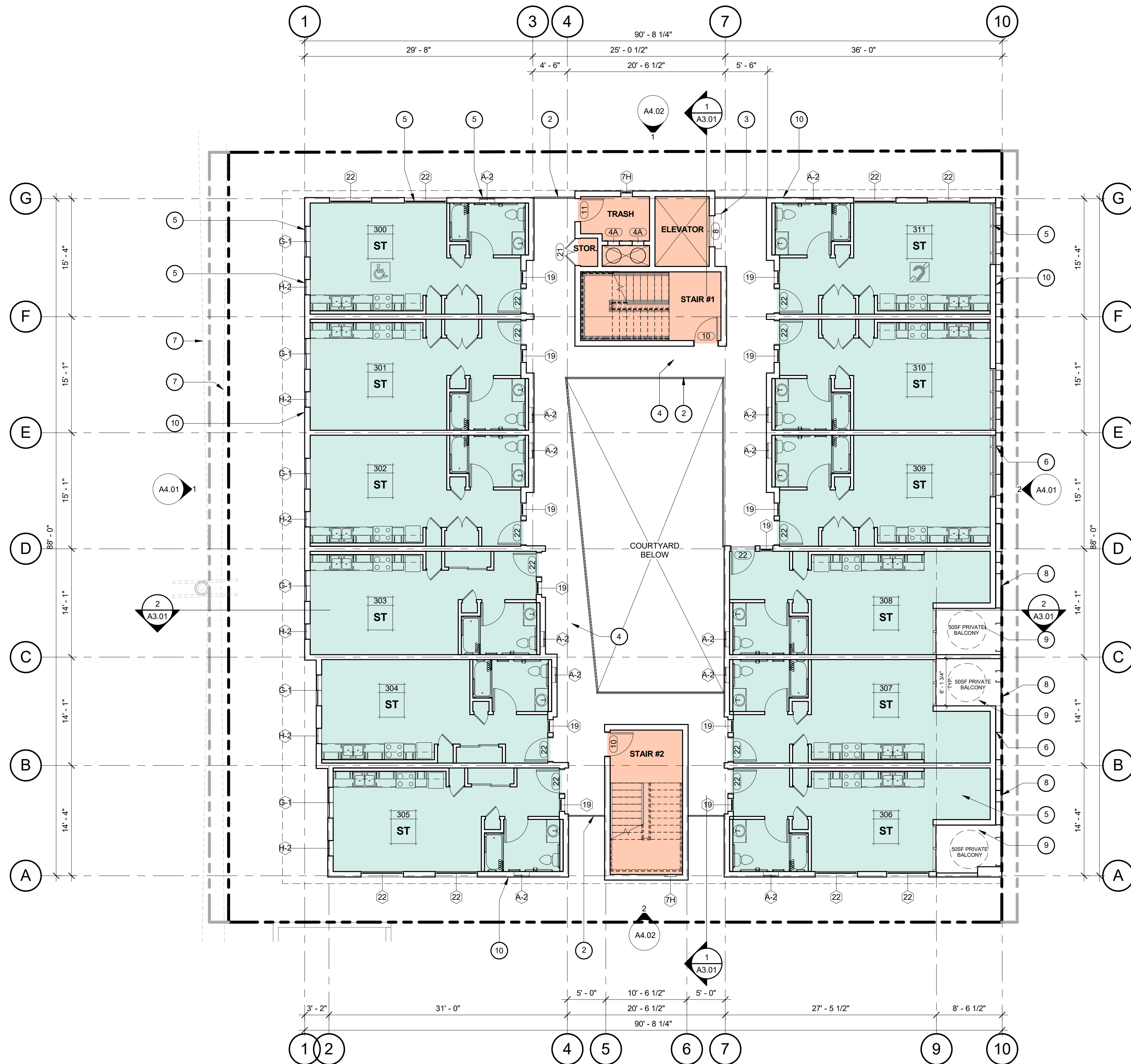
A2.03

Scale 1/8" = 1'-0"

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GENERAL NOTES:

- BUILDING WILL BE PRE-WIRED FOR CLOSED-CIRCUIT SURVEILLANCE CAMERAS IN MAIN ENTRIES, PARKING AREAS, EXTERIOR EXIT DOORS, AND COMMON AREAS NOT DIRECTLY ADJACENT TO REGULARLY OCCUPIED ROOMS
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- BUILDING WILL BE PREWIRED FOR CLOSED-CIRCUIT SURVEILLANCE CAMERAS



1 THIRD FLOOR PLAN  
1/8" = 1'-0"



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2. 42" TALL METAL PICKET GUARDRAIL
3. OVERHEAD ELEVATOR DOOR SMOKE CONTAINMENT SYSTEM PER ICC-ES-ESR-1136. SMOKE GUARD MODEL 200 OR EQUAL. TYPICAL AT ALL ELEVATOR HOISTWAY OPENINGS. SMOKE ACTIVATED DOOR PER SECTION 715.4.8 OF THE 2016 CALIFORNIA BUILDING CODE.
4. EXIT WALKWAY W/ CLASS A ELASTOMERIC DECK COATING, LARR# 24208. SLOPED TO EDGE FOR DRAINAGE (MAX 2%)
5. VINYL WINDOW W/ ALUMINUM FINISH
6. STUD FRAMED SHEET METAL FINS W/ KYNAR FINISH (WHITE COLOR)
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10. STUCCO FINISH (LA HABRA - CRYSTAL WHITE)

PROGRAM LEGEND

- SERVICES
- STUDIO

**FSY**  
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Los Angeles, CA  
90038

CLIENT NAME:  
EAH HOUSING

CLIENT ADDRESS:  
22 Pelican Way,  
San Rafael, CA 94901

DRAWING TITLE:

FOURTH FLOOR PLAN

PROJECT NUMBER		1819
NO.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION

ENTITLEMENT SET

Date	3/27/2019
Drawn by	HR, BM
Checked by	SD

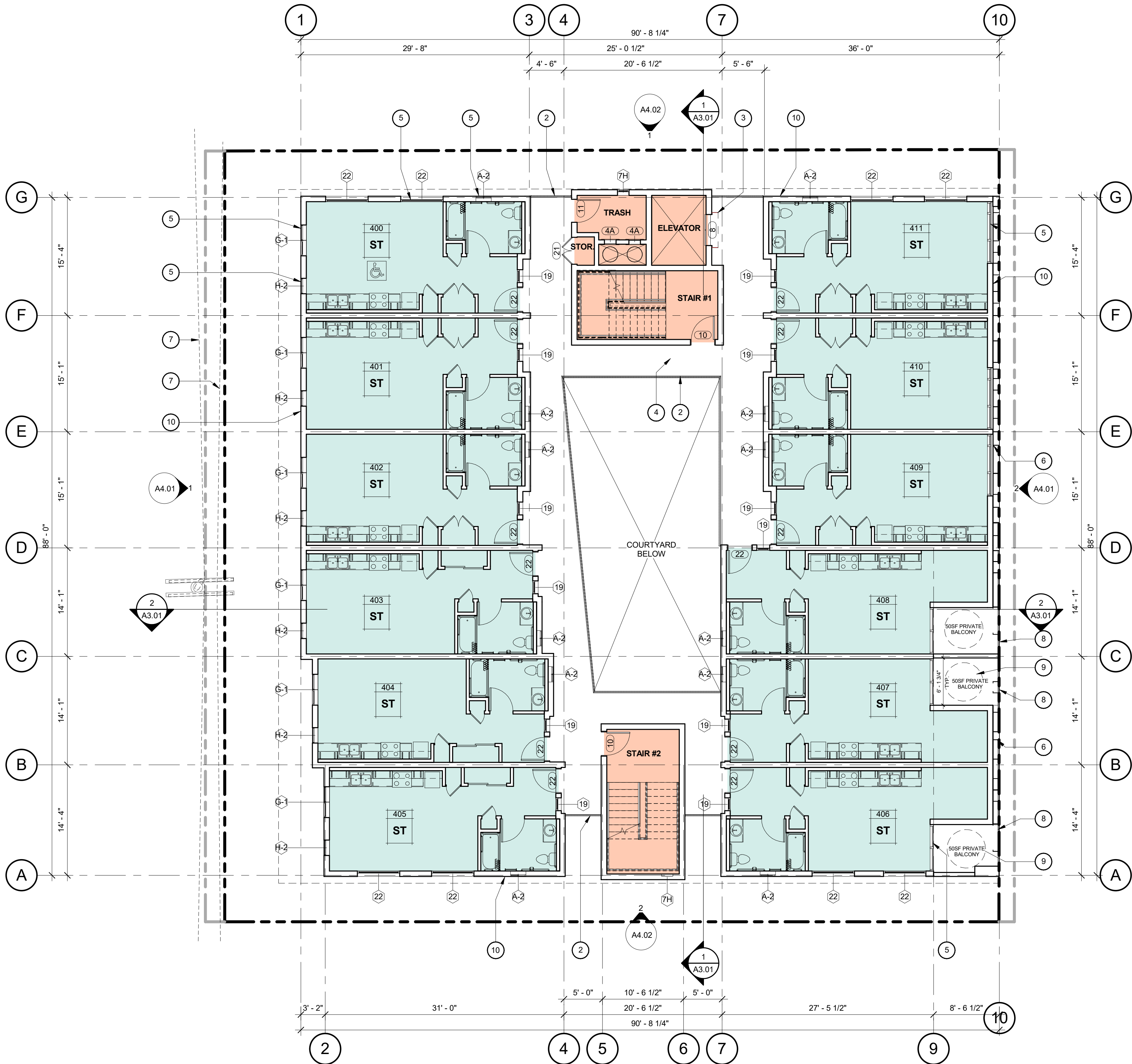
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Scale 1/8" = 1'-0"

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1 FOURTH FLOOR PLAN  
1/8" = 1'-0"



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8. 42" TALL METAL PANEL GAURDRAIL
9. PRIVATE BALCONY W/ CLASS A ELASTOMERIC DECK COATING, LARR# 24208. SLOPED TO EDGE FOR DRAINAGE (MAX 2%)
10. STUCCO FINISH (LA HABRA - CRYSTAL WHITE)

PROGRAM LEGEND

- SERVICES
- STUDIO

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PROJECT NAME:  
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BREA

PROJECT ADDRESS:  
843 N La Brea Blvd,  
Los Angeles, CA  
90038

CLIENT NAME:  
EAH HOUSING

CLIENT ADDRESS:  
22 Pelican Way,  
San Rafael, CA 94901

DRAWING TITLE:  
FIFTH FLOOR PLAN

PROJECT NUMBER	1819	
NO.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION

ENTITLEMENT SET

Date	3/27/2019
Drawn by	HR, BM
Checked by	SD

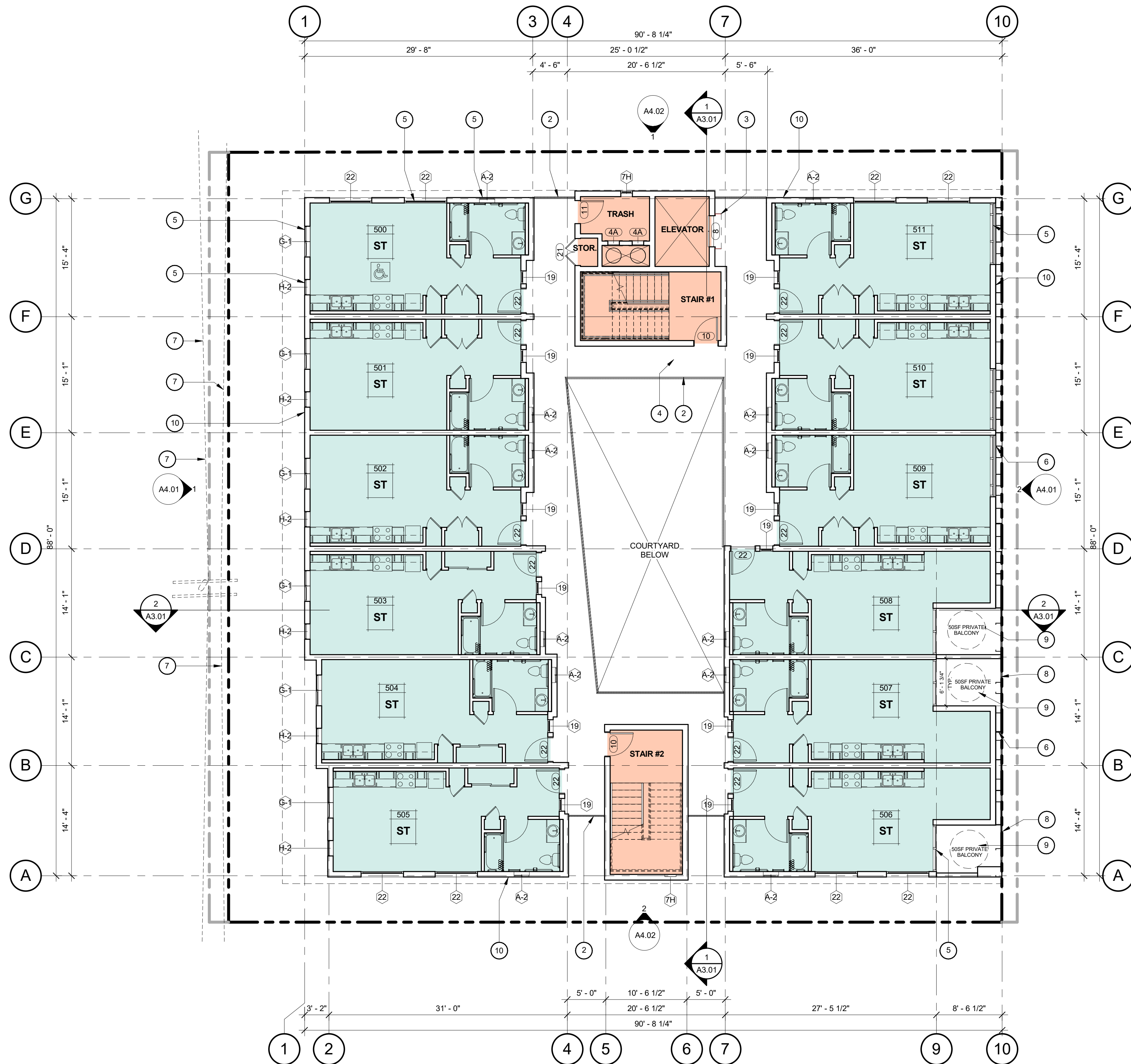
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Scale 1/8" = 1'-0"

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GENERAL NOTES:

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- BUILDING WILL BE PREWIRED FOR CLOSED-CIRCUIT SURVEILLANCE CAMERAS



0' 4' 8' 16' 32'  
SCALE: 1/8" = 1'-0"

1 FIFTH FLOOR PLAN  
1/8" = 1'-0"



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**CONSTRUCTION NOTES:**

- 60MIL MIN. FIRESTONE ULTRAPLY WHITE OR EQUAL CLASS 'A' SINGLE PLY COOL ROOF OVER 1/4" DENS DECK PRIME SHEATHING INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. TYPICAL PROVIDE PENETRATION FLASHING AND TPO COATED SHEET METAL FLASHING PER MANUFACTURER REQUIREMENTS. MINIMUM 78 SRI (SOLAR REFLECTANCE INDEX) CONTRACTOR TO PROVIDE MINIMUM 20 YEAR NDL WARRANTY. (ICM ESR 2831 (REFER TO CUT SHEET S723-RFS-012, TIS #201 ON A10.04 FOR TECHNICAL INFORMATION)
- 42" TALL METAL PICKET GUARDRAIL
- 42" TALL PARAPET WALL
- ROOF DECK W/ CLASS A ELASTOMERIC DECK COATING, LARR# 24208. SLOPED TO EDGE FOR DRAINAGE (MAX 2%)
- SHEET METAL PLANTER (3'-0" TALL) W/ PLANTING (SEE LANDSCAPE DRAWINGS)
- MECHANICAL/PLUMBING EQUIPMENT PAD (MIN. 8" A.F.F. HIGHEST ADJACENT ROOF FINISH ELEVATION OR PER MANUFACTURER RECOMMENDATIONS)
- EDGE OF POWER LINE ABOVE (PER SURVEY)
- MECHANICAL CONDENSER UNITS
- SOLAR PANELS / SOLAR ZONE
- LOW PARAPET WALL
- MECHANICAL EQUIPMENT SCREEN

**GENERAL NOTES - SOLAR ZONE:**  
SOLAR ZONE AREA WITH TOTAL AREA EQUAL TO OR GREATER THAN 15% OF THE BUILDING'S TOTAL ROOF AREA PROVIDED (PER 2017 LAGBC 4.211.4).

- ROOF AREA: 5,548 SF
- SOLAR ZONE AREA REQUIRED: 5,548 SF x .15 = 832 SF
- SOLAR ZONE AREA PROVIDED: 850 SF > 15% REQUIRED

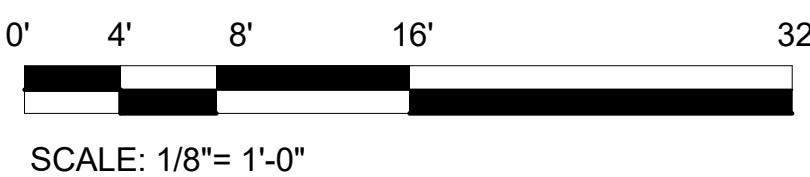
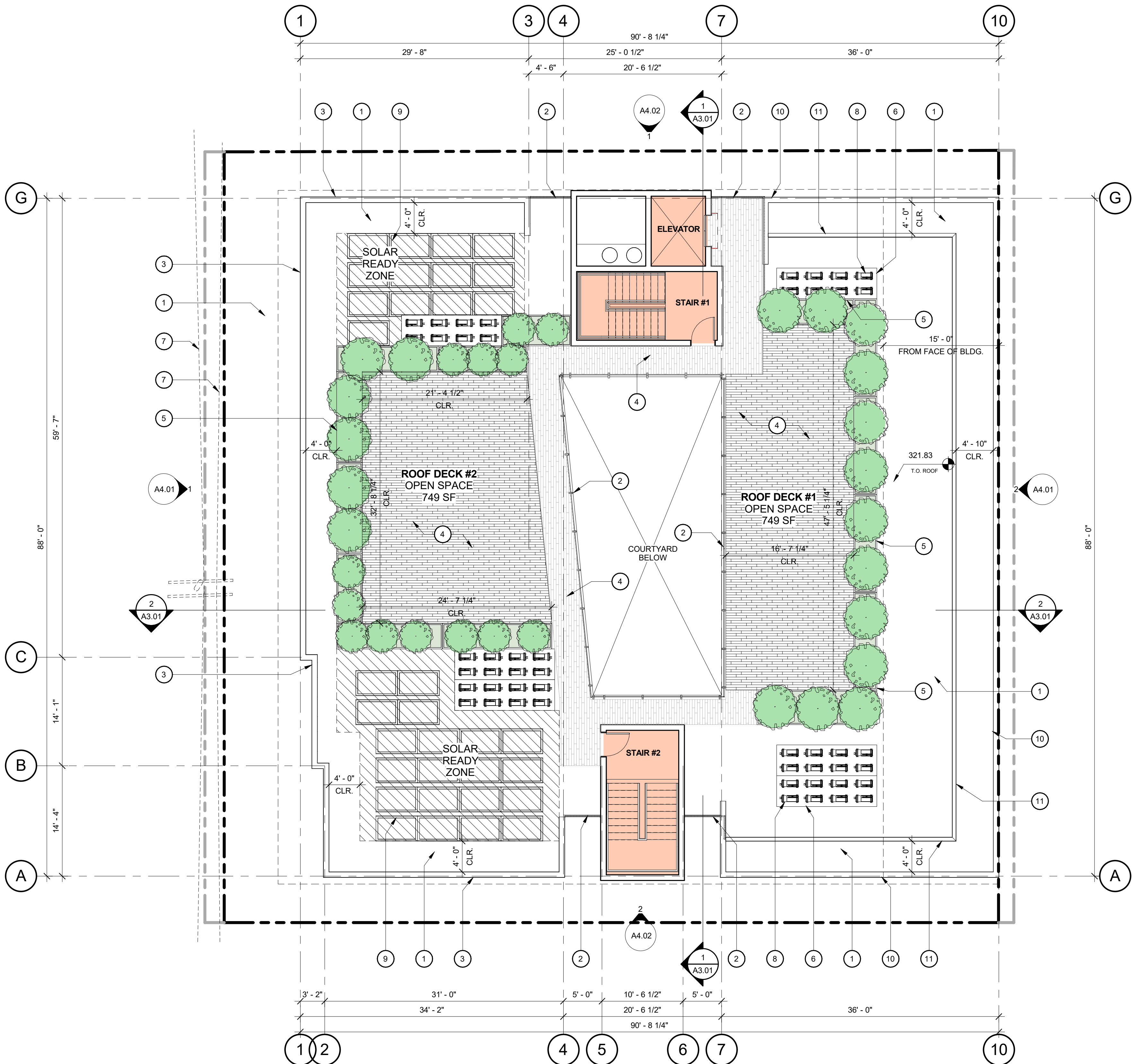
SOLAR ZONE SHALL BE FREE OF OBSTRUCTIONS AND BE SETBACK AT LEAST TWO TIMES THE HEIGHT OF ANY OBSTRUCTION, INCLUDING BUT NOT LIMITED TO, VENTS, CHIMNEYS, AND EQUIPMENT (PER 2017 LAGBC 4.211.4)

**GENERAL NOTES - LID**

- ROOF DRAINS AND DOWNSPOUTS TO DRAIN TO THE STORMWATER DRYWELL. (TBD BY CIVIL ENGINEER)

**GENERAL NOTES:**

- BUILDING WILL BE PRE-WIRED FOR CLOSED-CIRCUIT SURVEILLANCE CAMERAS IN MAIN ENTRIES, PARKING AREAS, EXTERIOR EXIT DOORS, AND COMMON AREAS NOT DIRECTLY ADJACENT TO REGULARLY OCCUPIED ROOMS
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**1 ROOF PLAN**  
1/8" = 1'-0"

**FSY ARCHITECTS**  
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**CLIENT NAME:**  
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**CLIENT ADDRESS:**  
22 Pelican Way,  
San Rafael, CA 94901

**DRAWING TITLE:**  
ROOF PLAN

PROJECT NUMBER		1819
NO.	DESCRIPTION	DATE

**NOT FOR CONSTRUCTION**

**ENTITLEMENT SET**

Date	3/27/2019
Drawn by	HR, BM
Checked by	SD

**A2.06**

Scale 1/8" = 1'-0"

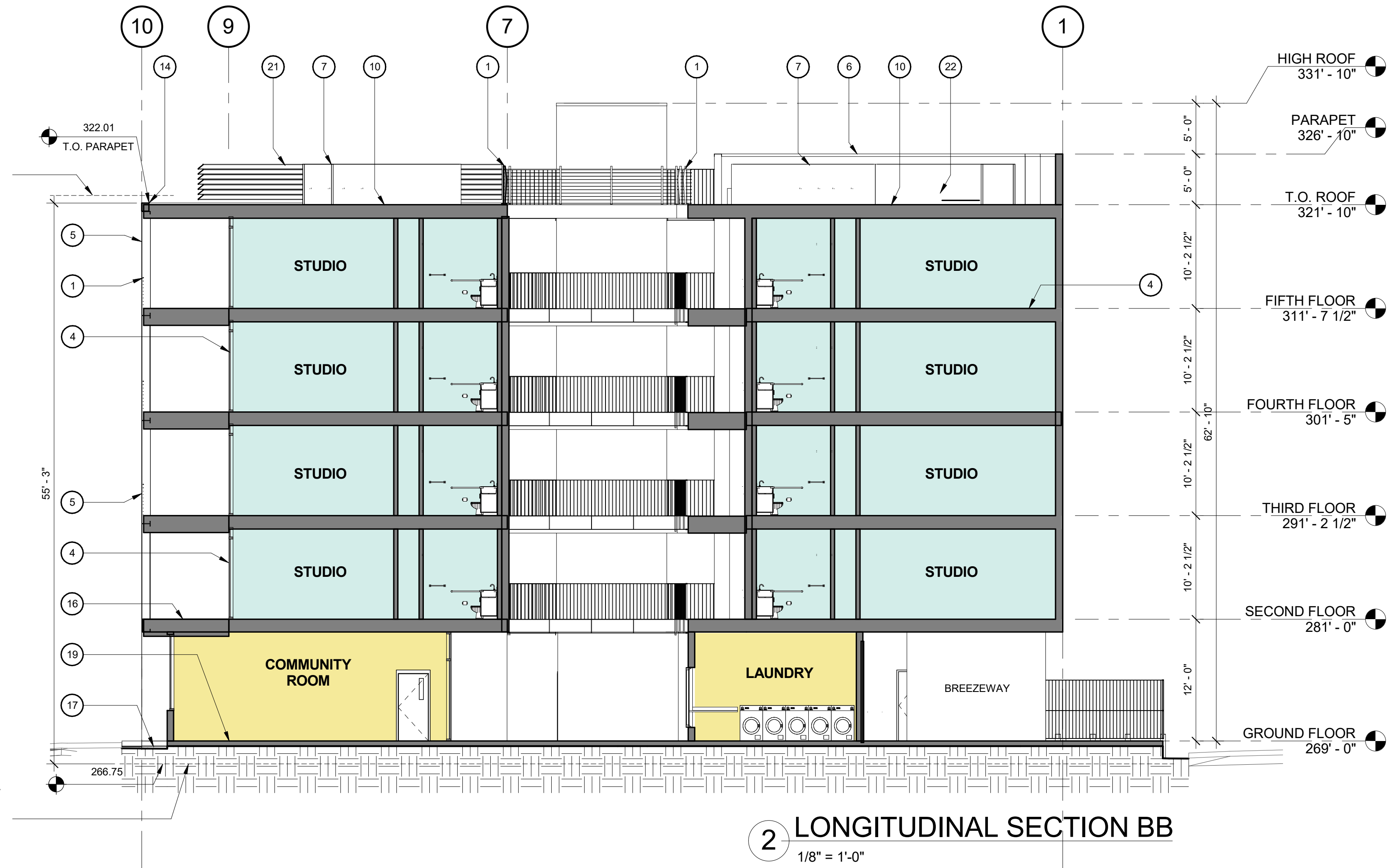
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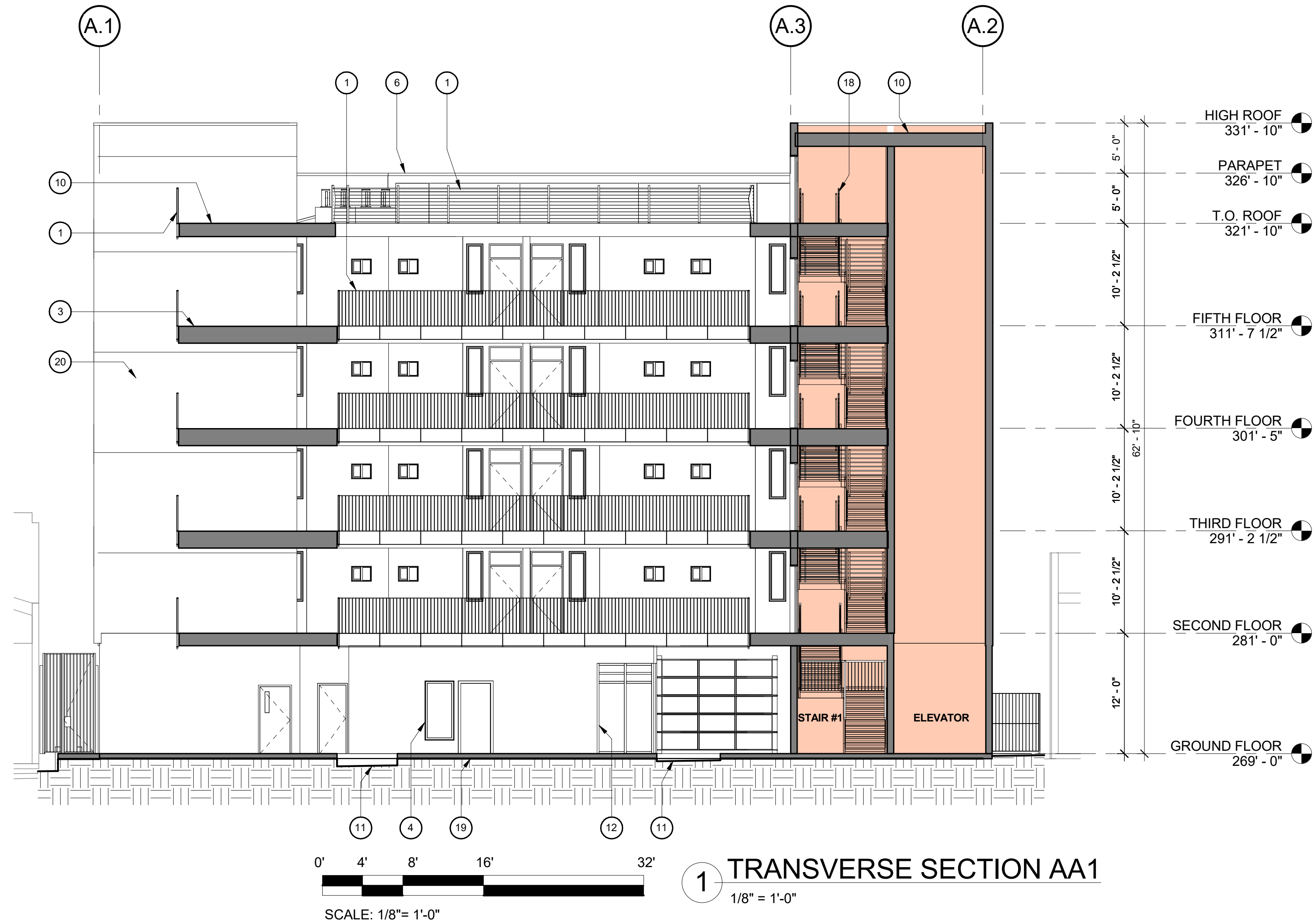


322.75 (266.75' + 45' + 11') MAX. HT. FROM LOWEST GRADE MEASURED 5' FROM BLDG. EXTERIOR. ANY HEIGHT INCREASE OVER 56' SHALL BE STEPPED-BACK AT LEAST 15' FROM EXTERIOR FACE OF THE GROUND FLOOR.

LOWEST GRADE MEASURED WITHIN 5'-0" OF THE EXTERIOR WALL LINE OF THE BLDG. PER DOCUMENT NO. P/ZC 2002-008, REFERENCING LAMC SEC. 12.03



2 LONGITUDINAL SECTION BB  
1/8" = 1'-0"



1 TRANSVERSE SECTION AA1  
1/8" = 1'-0"

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CONSTRUCTION NOTES:

- 42" TALL METAL PICKET GUARDRAIL
- OVERHEAD ELEVATOR DOOR SMOKE CONTAINMENT SYSTEM PER ICC ESAC 77. SMOKE GUARD MODEL 200 OR EQUAL. TYPICAL AT ALL ELEVATOR HOISTWAY OPENINGS. SMOKE ACTIVATED DOOR PER SECTION 715.4.8 OF THE 2016 CALIFORNIA BUILDING CODE.
- EXIT WALKWAY W/ CLASS A ELASTOMERIC DECK COATING, LARR# 24208. SLOPED TO EDGE FOR DRAINAGE (MAX 2%)
- VINYL WINDOW W/ ALUMINUM FINISH
- STUD FRAMED SHEET METAL FINS W/ KYNAR FINISH (WHITE COLOR)
- 42" TALL PARAPET WALL
- SHEET METAL PLANTER (3'-0" TALL) W/ PLANTING (SEE LANDSCAPE DRAWINGS)
- MECHANICAL/PLUMBING EQUIPMENT PAD (MIN. 8" A.F.F. HIGHEST ADJACENT ROOF FINISH ELEVATION OR PER MANUFACTURER RECOMMENDATIONS)
- MECHANICAL CONDENSER UNITS
- 60MIL MIN. FIRESTONE ULTRAPLY WHITE OR EQUAL CLASS 'A' SINGLE PLY COOL ROOF OVER 1/4" DENS DECK PRIME SHEATHING INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. TYPICAL PROVIDE PENETRATION FLASHING AND TPO COATED SHEET METAL FLASHING PER MANUFACTURER REQUIREMENTS. MINIMUM 78 SRI (SOLAR REFLECTANCE INDEX) CONTRACTOR TO PROVIDE MINIMUM 20 YEAR NDL WARRANTY. ICC# ESR 2831 (REFER TO CUT SHEET S723-RFS-012, TIS #201 ON A10.04 FOR TECHNICAL INFORMATION)
- ON-GRADE PLANTERS (SEE LANDSCAPE DRAWINGS)
- STOREFRONT ASSEMBLY (ARCADIA - OFFSET DOUBLE GLAZING).
- STRUCTURAL CONCRETE COLUMN
- LOW PARAPET
- STUCCO CEILING FINISH (LA HABRA - CRYSTAL WHITE)
- CONCRETE PODIUM (TBD BY STRUCTURAL ENGINEER)
- PLANTING STRIP (SEE LANDSCAPING DRAWINGS)
- METAL STAIR W/ TUBE METAL GUARDRAILS / HANDRAILS
- CONCRETE SLAB ON-GRADE (TBD BY STRUCTURAL)
- STUCCO FINISH (LA HABRA - CRYSTAL WHITE)
- METAL MECHANICAL EQUIPMENT ROOF SCREEN
- SOLAR PANEL

**FSY**  
ARCHITECTS

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LOS ANGELES, CA 90039  
TEL : 323.255.4343  
WWW.FSYARCHITECTS.COM  
MAIL@FSYARCHITECTS.COM

PROJECT NAME:  
THE POINTE ON LA  
BREA

PROJECT ADDRESS:  
843 N La Brea Blvd,  
Los Angeles, CA  
90038

CLIENT NAME:  
EAH HOUSING

CLIENT ADDRESS:  
22 Pelican Way,  
San Rafael, CA 94901

DRAWING TITLE:  
SECTIONS

PROJECT NUMBER		1819
NO.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION

ENTITLEMENT SET

Date	3/27/2019
Drawn by	HR, BM
Checked by	SD

A3.01

Scale	1/8" = 1'-0"
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322.75 (266.75' + 45' + 11') MAX. HT. FROM LOWEST GRADE MEASURED 5' FROM BLDG. EXTERIOR. ANY HEIGHT INCREASE OVER 56' SHALL BE STEPPED-BACK AT LEAST 15' FROM EXTERIOR FACE OF THE GROUND FLOOR.

LOWEST GRADE MEASURED WITHIN 5'-0" OF THE EXTERIOR WALL LINE OF THE BLDG. PER DOCUMENT NO. P/ZC 2002-008, REFERENCING LAMC SEC.12.03



2 EAST ELEVATION (LA BREA BLVD)  
1/8" = 1'-0"



1 WEST ELEVATION (ALLEY)  
1/8" = 1'-0"

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CONSTRUCTION NOTES:

- 42" TALL METAL PICKET GUARDRAIL
- 42" TALL METAL PANEL GAURDRAIL
- VINYL WINDOW W/ ALUMINUM FINISH
- PERFORATED METAL PANEL WITH METAL FRAME
- MECHANICAL EQUIPMENT SCREEN
- STUCCO FINISH (LA HABRA - CRYSTAL WHITE) 1-HR 3/A5.01
- STUCCO CONTROL JOINT
- STOREFRONT ASSEMBLY (ARCADIA - OFFSET DOUBLE GLAZING).
- STOREFRONT DOOR ASSEMBLY (ARCADIA - OFFSET DOUBLE GLAZING)
- STRUCTURAL CONCRETE COLUMN
- SHEET METAL COPING (COLOR MATCHED TO STUCCO)
- 8" ARCHITECTURAL BLOCK WALL W/ INTEGRATED COLOR
- LADWP PAD MOUNTED TRANSFORMER. CONTRACTOR TO PROVIDE CONDUIT AND CONNECTIONS TO LADWP TRANSFORMER VAULT AND THROUGH TO PROPERTY LINE PER LADWP STANDARDS AND REQUIREMENTS. (SEE ELECTRICAL DRAWINGS AND LADWP SERVICE PLAN).
- BOLLARDS (PER LADWP STANDARD PLANS)
- WROUGHT IRON METAL FENCE (8'-0" TALL)
- PERIMETER FENCE
- STUD FRAMED SHEET METAL FINIS W/KYNAR FINISH (WHITE COLOR)

GENERAL NOTES:

- ALL WINDOWS SHALL BE EQUIPPED WITH A NATIONAL FENESTRATION RATING COUNCIL (NFR) LABEL (FOR FIELD INSPECTION) SHOWING THE U-VALUE AND SOLAR GAIN COEFFICIENT
- SCREENS SHALL BE PROVIDED FOR ALL OPERABLE WINDOWS
- PROVIDE WINDOW TREATMENTS AT ALL WINDOWS. METAL HORIZONTAL BLINDS ARE NOT PERMITTED.

**FSY**  
ARCHITECTS

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TEL : 323.255.4343  
WWW.FSYARCHITECTS.COM  
MAIL@FSYARCHITECTS.COM

**PROJECT NAME:**  
THE POINTE ON LA BREA

**PROJECT ADDRESS:**  
843 N La Brea Blvd,  
Los Angeles, CA  
90038

**CLIENT NAME:**  
EAH HOUSING

**CLIENT ADDRESS:**  
22 Pelican Way,  
San Rafael, CA 94901

**DRAWING TITLE:**  
ELEVATIONS

NO.	DESCRIPTION	DATE
PROJECT NUMBER	1819	

**NOT FOR CONSTRUCTION**

**ENTITLEMENT SET**

Date	3/27/2019
Drawn by	HR, BM
Checked by	SD

**A4.01**

Scale 1/8" = 1'-0"

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### CONSTRUCTION NOTES:

1. 42" TALL METAL PICKET GUARDRAIL
2. 42" TALL METAL PANEL GUARDRAIL
3. VINYL WINDOW W/ ALUMINUM FINISH
4. PERFORATED METAL PANEL WITH METAL FRAME
5. MECHANICAL EQUIPMENT SCREEN
6. STUCCO FINISH (LA HABRA - CRYSTAL WHITE) 1-HR 3/AS.01
7. STUCCO CONTROL JOINT
8. STOREFRONT ASSEMBLY (ARCADIA - OFFSET DOUBLE GLAZING).
9. STOREFRONT DOOR ASSEMBLY (ARCADIA - OFFSET DOUBLE GLAZING)
10. STRUCTURAL CONCRETE COLUMN
11. SHEET METAL COPING (COLOR MATCHED TO STUCCO)
12. 8" ARCHITECTURAL BLOCK WALL W/ INTEGRATED COLOR
13. LADWP PAD MOUNTED TRANSFORMER. CONTRACTOR TO PROVIDE CONDUIT AND CONNECTIONS TO LADWP TRANSFORMER VAULT AND THROUGH TO PROPERTY LINE PER LADWP STANDARDS AND REQUIREMENTS. (SEE ELECTRICAL DRAWINGS AND LADWP SERVICE PLAN).
14. BOLLARDS (PER LADWP STANDARD PLANS)
15. WROUGHT IRON METAL FENCE (8'-0" TALL)
16. PERIMETER FENCE
17. STUO FRAMED SHEET METAL FINIS WKYNAR FINISH (WHITE COLOR)

**PROJECT NAME:**  
THE POINTE ON LA  
BREA

**PROJECT ADDRESS:**  
843 N La Brea Blvd,  
Los Angeles, CA  
90038



DRAWING TITLE:  
ELEVATIONS

NOT FOR CONSTRUCTION

---

**ENTITLEMENT SET**

---

Date	3/27/2019
Drawn by	HR, BM
Checked by	SD

3/27/2019 2:38:37 PM





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CONSTRUCTION NOTES:



STREET VIEW FROM LA BREA LOOKING SOUTH

FSY

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TEL : 323.255.4343  
WWW.FSYARCHITECTS.COM  
MAIL@FSYARCHITECTS.COM

PROJECT NAME:  
THE POINTE ON LA  
BREA

PROJECT ADDRESS:  
843 N La Brea Blvd,  
Los Angeles, CA  
90038

CLIENT NAME:  
EAH HOUSING

CLIENT ADDRESS:  
22 Pelican Way,  
San Rafael, CA 94901

LICENSED ARCHITECT  
JULIO CA MAYER  
No. C-24019  
REN. 7-3119  
STATE OF CALIFORNIA

DRAWING TITLE: PERSPECTIVE		
PROJECT NUMBER		1819
NO.	DESCRIPTION	DATE

NOT FOR CONSTRUCTION

ENTITLEMENT SET

Date	3/27/2019
Drawn by	HR, BM
Checked by	SD
Scale	

A11.02

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SURVEYOR'S NOTES:

1. DATE OF SURVEY: may 09, 2018.
2. THIS SURVEY WAS BASED UPON A PRELIMINARY TITLE REPORT ISSUED BY Commonwealth Land Title Company ORDER NO. 0917223 DATED mar ch 20, 2018 AT 7:30 AM
3. THIS SURVEY DOES NOT SHOW LOCATIONS OF, OR ENCROACHMENTS BY, SUBSURFACE FOOTINGS AND/OR FOUNDATIONS OF ANY BUILDINGS SHOWN HEREON. IF UNDERGROUND PUBLIC UTILITIES OR SUBSTRUCTURES, FLOOD ZONE DATA, ZONING AND SETBACK DATA ARE SHOWN HEREON, IT IS FOR INFORMATION ONLY, HAVING BEEN OBTAINED FROM RELIABLE AND RESPONSIBLE SOURCES NOT CONNECTED WITH THIS COMPANY. NO GUARANTY, WARRANTY OR REPRESENTATION, EITHER EXPRESSED OR IMPLIED, IS MADE AS TO THE ACCURACY OR THOROUGHNESS OF SUCH INFORMATION.
4. VERTICAL DATUM:  
city of los angeles BENCH MARK: 1303510  
DATUM: NAVD 1988  
YEAR OF ADJUSTMENT: 2000  
elevation (FEET): 261.479  
DESCRIPTION: cut spike at sw cor ch 3.5ft w of w curb la bre a ave; 12ft n of waring ave
5. note:  
ONLY A SIGNED AND SEALED COPY OF THIS SURVEY REPRESENTS A TRUE COPY OF OUR WORK PRODUCT. ANY COPIES CREATED FROM ELECTRONIC FILES OR OTHER METHODS MUST BE COMPARED TO A SIGNED AND SEALED COPY TO ASSURE ITS ACCURACY AND COMPLETENESS.
- LOS ANGELES COUNTY TAX ASSESSOR'S PARCEL NO. 5525-004-023

SITE AREA:  
NET AREA: 10,509.50 SQ. FT. OR 0.2413 ACRES  
GROSS AREA: 16,262.85 SQ. FT. OR 0.3733 ACRES  
NET AREA AFTER DEDICATION: 10,084.10 sq. ft. or 0.2315 acres

BUILDING AREA:  
AREAS OF STRUCTURE(S) BASED ON OUTSIDE MEASUREMENT OF BUILDING LINES AT GROUND LEVEL.  
BUILDING = 3,143 SQ. FT.

BASIS OF BEARINGS:

H-9-05-05 F.B. b ss sst s'k 'C. H-9-05-05 VYB-9 C. 'U'V YU'U'Yb1 Y5GG-CK B 'C' B A5DC. 'hf UWh'bc 'j' '825 GDF A5D  
RECORDED IN BOOK 59 PAGE 21 OF MAPS, WAS taken as THE BASIS OF BEARINGS FOR THIS MAP

LEGAL DESCRIPTION:

LOTS 3 AND 4, TRACT NO. 5310, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 59, PAGE 21 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EASEMENT DATA, EXCEPTIONS & EXCLUSIONS

PER PRELIMINARY TITLE REPORT ISSUED BY Commonwealth Land Title Company ORDER NO. 0917223 DATED mar ch 20, 2018 AT 7:30 AM

GEOGRAPHICALLY LOCATABLE ITEMS FROM SAID TITLE REPORT (SUCH AS EASEMENTS) WHICH AFFECT THE TITLE TO THE SUBJECT PROPERTY ARE NUMERICALLY KEYED TO SAID REPORT AND ARE AS FOLLOWS:

ITEM 2

PURPOSE: easement for pole lines  
IN FAVOR OF: g. allan hancock  
RECORDING DATA: book 450 pg 69, o.r.  
AFFECTS: as shown hereon

ITEM 3

PURPOSE: covenant and a g.reement to hold p.roperty as one  
IN FAVOR OF: city of los angeles  
RECORDING DATA: SEPT. 26, 1956 IN BOOK 52411 PG. 72, O.R.  
AFFECTS: SITE

ITEM 4

PURPOSE: covenant and a g.reement to hold p.roperty as one  
IN FAVOR OF: city of los angeles  
RECORDING DATA: JULY 11, 1985 AS INST. NO. 85-799642, O.R.  
AFFECTS: SITE

ZONING DATA:

ZONING: c-4-v1

SETBACK REQUIREMENTS

FRONT YARD: NONE  
SIDE YARD: NONE FOR COMMERCIAL USES SAME AS R4 ZONE FOR RESIDENTIAL USES At LOWEST RESIDENTIAL STORY  
REAR YARD: NONE FOR COMMERCIAL USES SAME AS R4 ZONE FOR RESIDENTIAL USES At LOWEST RESIDENTIAL STORY  
Height: not to exceed 3 stories or 45 ft.

THIS SUMMARY IS ONLY A GUIDE. DEFINITIVE INFORMATION SHOULD BE OBTAINED FROM THE ZONING CODE ITSELF AND FROM CONSULTATION WITH THE DEPARTMENT OF BUILDING AND SAFETY.

FLOOD ZONE DATA:

FLOOD ZONE: x  
COMMUNITY NO. 06037c  
PANEL NO. 1605f  
EFFECTIVE DATE: 09-26-08

STREET DEDICATION:

modified avenue l la bre a avenue - 104 feet (REQ.) - 2 feet p.roposed dedication  
alley - 20 feet (req.) - 2.5 feet p.roposed dedication

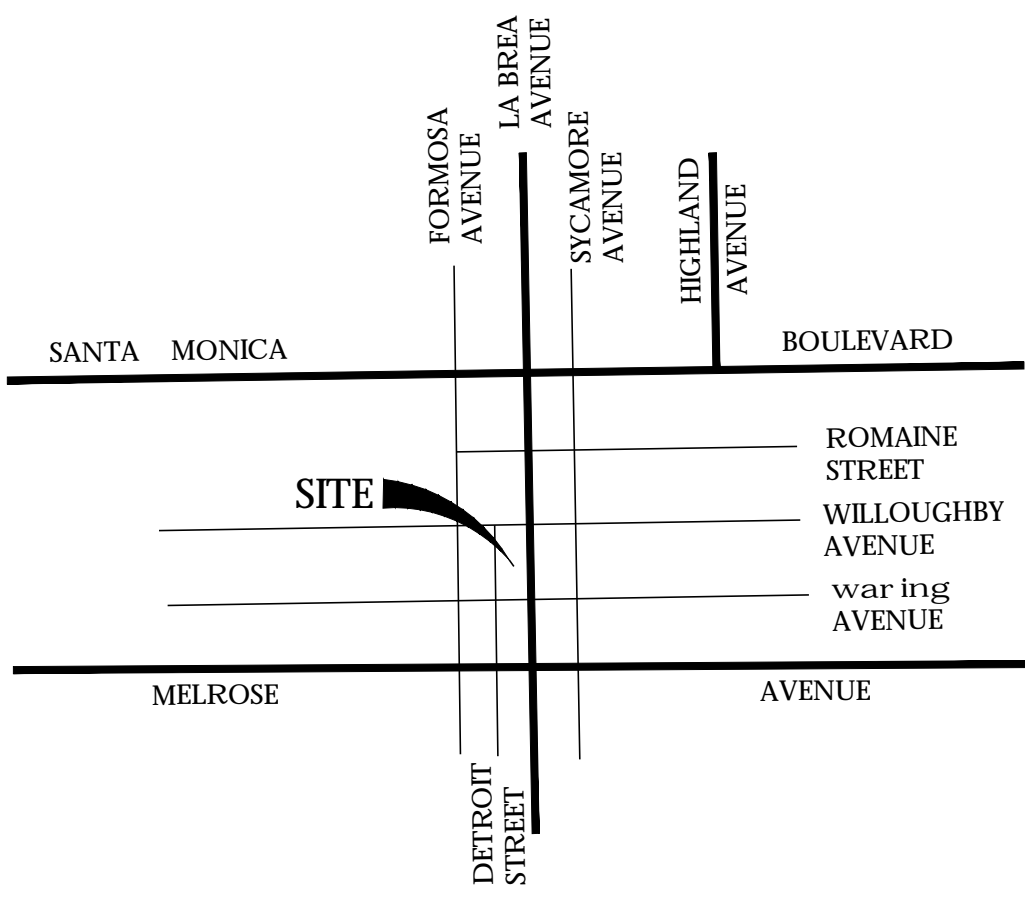
"DEDICATIONS SHOWN HEREON ARE BASED ON NAVIGATE LA STREET & HIGHWAY STANDARDS AND ARE SUBJECT TO REVIEW BY BUREAU OF ENGINEERING AND DEPARTMENT OF TRANSPORTATION."

STATEMENT OF CLEARANCES:

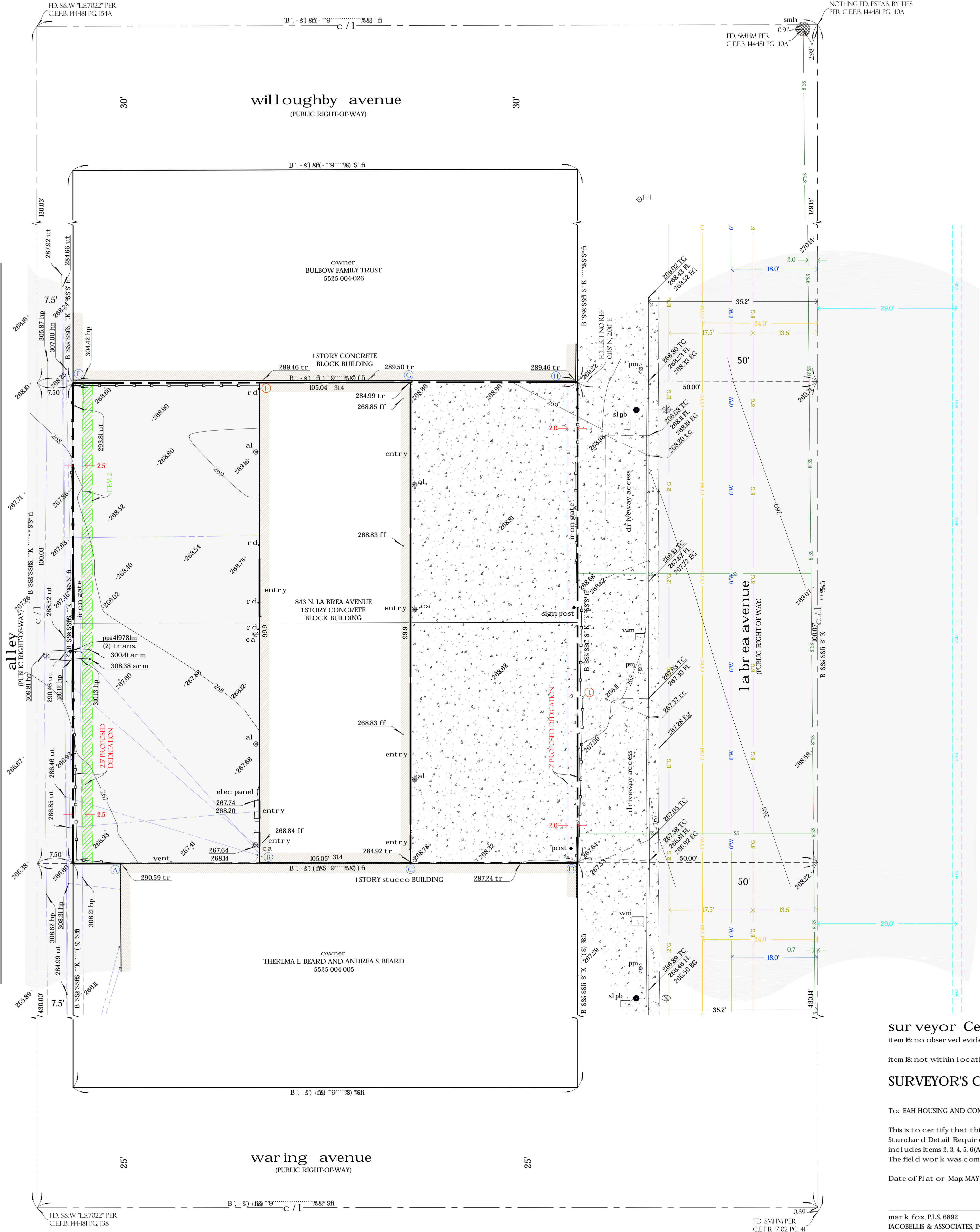
- (A) BUILDING CORNER on PROPERTY LINE  
(B) BUILDING CORNER 0.21 NLY OF PROPERTY LINE  
(C) BUILDING CORNER 0.16' NLY OF PROPERTY LINE  
(D) BUILDING CORNER 0.19' SYL OF PROPERTY LINE  
(E) BUILDING CORNER 0.61' NLY OF PROPERTY LINE  
(F) BUILDING CORNER on PROPERTY LINE  
(H) BUILDING CORNER 0.23' NLY OF PROPERTY LINE

STATEMENT OF ENCROACHMENTS:

- (P) BUILDING CORNER 0.03' NLY OF PROPERTY LINE  
(I) Iron Fence / gate 110' eLY OF PROPERTY LINE



VICINITY MAP  
NOT TO SCALE



surveyor Certificate notes:

item 18: no observed evidence of current earth moving work, building construction or building additions.

item 18: not within location of wetland areas as delineated by appropriate authorities.

SURVEYOR'S CERTIFICATION:

To: EAH HOUSING AND COMMONWEALTH LAND TITLE COMPANY

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 2, 3, 4, 5, 6(A), 7(A), 8(B), 9, 10(A), 11, 12, 13, 14, 16, 17, 18, 19, 20 of Table A thereto.

The field work was completed on MAY 09, 2018.

Date of Plat or Map: MAY 14, 2018

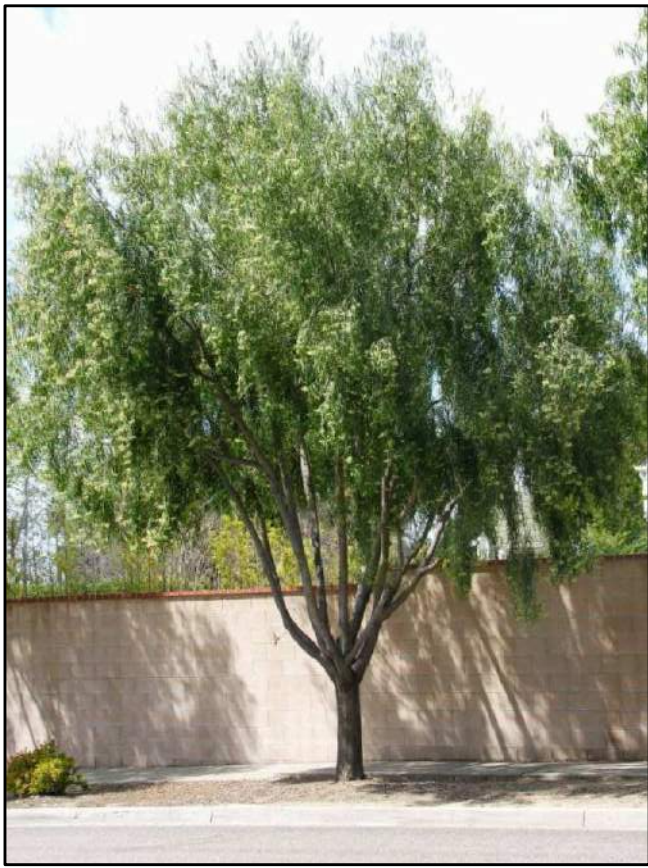
mark Fox, PLS, 6892  
IACOBELLIS & ASSOCIATES, INC.

PREPARED FOR:

eah housing  
attn: casey har r  
233 wilshire boulevard ste 400  
santa monica, ca. 90401

DATE	REVISION	ALTA / NSPS LAND TITLE SURVEY		DATE
		843 no. la bre a avenue los angeles, ca.		05-14-2018
		IACOBELLIS & ASSOCIATES, INC.		PROJECT NO.: 18-19-1a-593-d6
		PROFESSIONAL LAND SURVEYORS		DRAFTED BY: mms
		SURVEYS SUBDIVISIONS PHOTOGRAMMETRY		CHECKED BY: mf
		1145 Tampa Avenue Ste 15B, Northridge, CA 91326 Ph 818-366-9222 Fax 818-366-4813		SHEET NO. 1 OF 1





Agonis flexuosa / Peppermint Tree



Heteromeles arbutifolia / Toyon



Carex tumulicola / Berkeley Sedge



Muhlenbergia rigens / Deer Grass



Myoporum p. 'Pink' / Pink Australian Racer



Sedum morganianum



Solanum xanti / Chaparral Nightshade

TREE LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊙	* Agonis flexuosa	Peppermint Tree	24"box	6		low 0.3
⊗	* Heteromeles arbutifolia	Toyon	24"box	3		low 0.3

SHRUBS AND GROUND COVER LEGEND

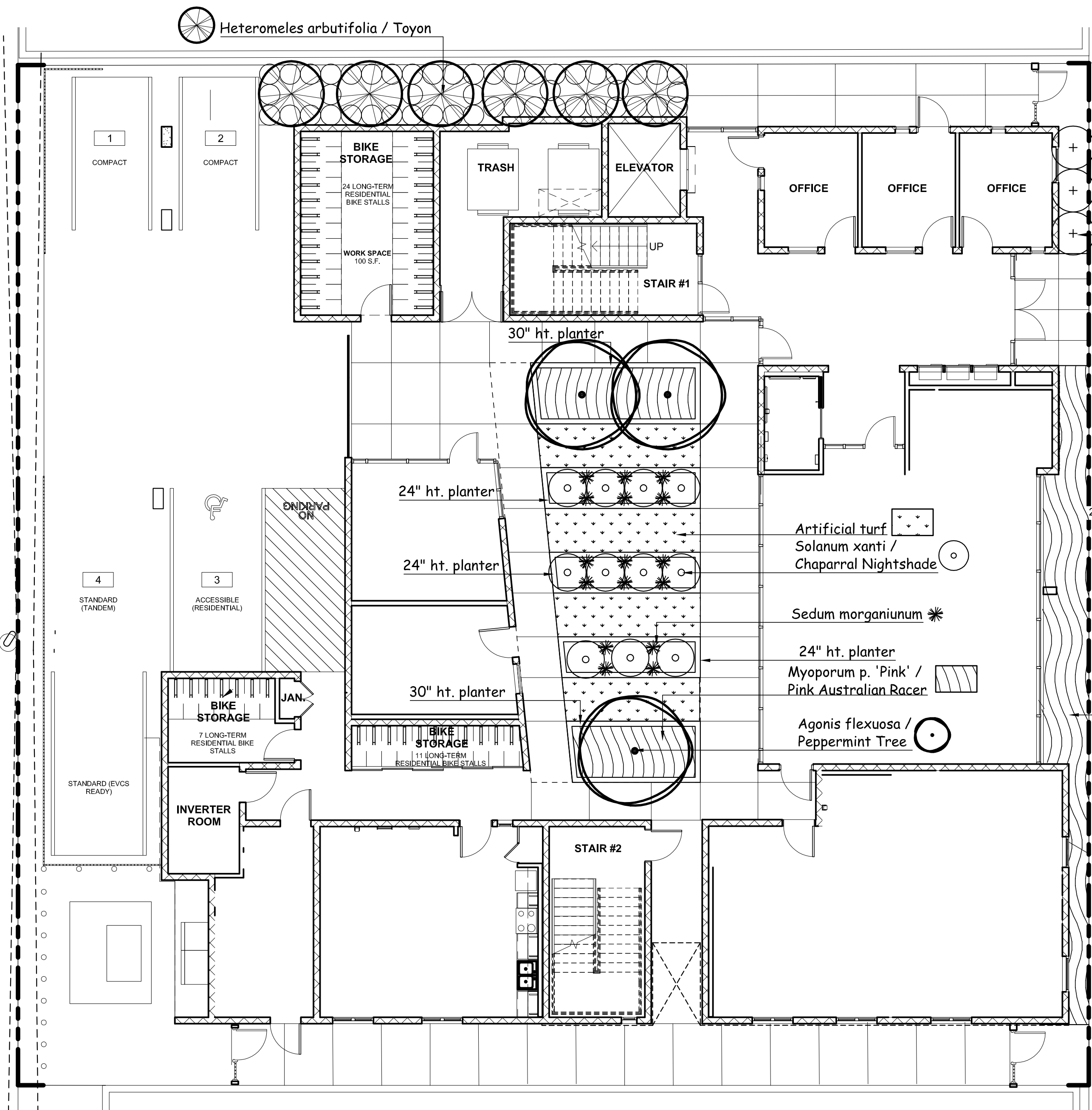
SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
○	* Carex tumulicola	Berkeley Sedge	5-gal	49		low 0.3
⊙	* Muhlenbergia rigens	Deer Grass	5-gal	3		low 0.3
⊗	Myoporum p. 'Pink'	Pink Australian Racer	5-gal	24"oc		low 0.3
*	* Sedum morganianum		5-gal	16		low 0.3
⊙	* Solanum xanti	Chaparral Nightshade	5-gal	11		low 0.3

\* Points Claimed

All trees to be planted with commercial root barriers.  
3" deep shredded Cedar bark to spread between plants.

NOTE:  
All groundcover areas where plants are 3' oc or greater  
to have 2 layers of geotextile fabric in 2 different directions  
geotextile fabric installed 3" below finished grade w/  
3" shredded bark above to eliminate weed growth.

NOTE:  
Waterproofing and drains in planters by others.



Muhlenbergia rigens / Deer Grass

PLANTING NOTES

- DRAWING IS DIAGRAMMATIC. CONTRACTOR TO VERIFY ALL LOCATIONS AND CONDITIONS ON SITE. COUNT ALL PLANT MATERIAL BEFORE BIDDING.
- CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS ON SITE AND LOCATE ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR TO REPAIR AT HIS OWN EXPENSE ALL PROPERTY DAMAGE WHICH OCCURS DURING PROJECT INSTALLATION.
- NOTE ADDITIONAL REMARKS ON SPECIFIC PLANTS IN PLANT LIST.
- ALL EXISTING PLANT MATERIAL TO BE REMOVED EXCEPT WHERE NOTED ON PLAN.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR 90 DAYS FROM THE DATE OF ACCEPTANCE BY OWNER. PALM TO BE GUARANTEED FOR THE PERIOD OF 1 YEAR.
- FINISH GRADE TO BE 2" BELOW ALL WALKS, CURBS, AND PAVING.
- ALL PLANTED AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1,000 SQ. FT. OF SURFACE AREA. ROTO-TILL AMENDMENTS TO A DEPTH OF 6"
  - \*150 LBS. GRO-POWER
  - \*3 CU YDS NITROGENIZED, MINERALIZED FIR BARK
  - \*ADD 8 LBS OF GRO-POWER CONTROLLED RELEASE 12-8-8 PER CU YD OF MIX.

Myoporum p. 'Pink' / Pink Australian Racer

- PLANT HOLE TO BE TWICE AS WIDE AND DEEP AS THE PLANT ROOT BALL. BACKFILL AND COMPACT TO 80 % SOIL OF SITE AND 20 % FIR BARK, AS DEFINED IN #8. PROVIDE GRO-POWER PLANT TABLETS AT THE FOLLOWING RATES:

5 GAL	6-9
24" box	14-16

PLACE RECOMMENDED TABLETS BETWEEN THE BOTTOM AND THE TOP OF THE ROOT BALL BUT NO HIGHER THAN 1/3 OF THE WAY UP TO THE TOP OF THE ROOT BALL. SPACE TABLETS EQUALLY AROUND THE PERIMETER OF THE ROOT BALL APPROXIMATELY 2" FROM THE ROOT TIPS. PALM TREES ARE NOT TO RECEIVE TABLETS.
- ALL PROPOSED SHRUBS AND GROUND COVER AREAS ARE TO BE TREATED WITH A PRE-EMERGENT WEED KILLER (EPTAM / RONSTAR). APPLY PER MANUFACTURER'S SPECIFICATIONS: A) IMMEDIATELY AFTER PLANTING, B) AT THE BEGINNING OF THE MAINTENANCE PERIOD, AND C) AT THE END OF THE MAINTENANCE PERIOD.
- CONTRACTOR TO INSTALL AND MAINTAIN LANDSCAPE PLANTING IN ACCORDANCE WITH THE GOVERNING AGENCY'S GUIDELINES AND SPECIFICATIONS UNLESS NOTED OTHERWISE IN THESE NOTES OR ON THE PLANS.
- SOIL SAMPLES TAKEN FROM VARIOUS LOCATIONS IN THE PLANTING AREAS WILL BE SENT TO A SOIL LAB FOR PROFESSIONAL ANALYSIS AND RECOMMENDATIONS FOR SOIL IMPROVEMENT. CONTRACTOR TO FOLLOW SOIL TESTING RECOMMENDATIONS.

Landscape Calculations per LAMC Section 12.21 G  
Required / Provided Landscaping: = 942 sf / 991 sf  
(25% of required open space) (3,768sf x .25)  
Trees Required / Provided: = 13 Trees / 14 Trees  
(50 Units @ 4 Trees / Unit)

REVISIONS	DATE
1.	2.26.18
2.	3.29.19
3.	
4.	
5.	
6.	
7.	
8.	
9.	

**Yael Lir**  
ASLA  
Yael Lir Landscape Architects  
1010 Sycamore Ave. Suite 313  
South Pasadena, CA 91030  
Tel 323.258.5222  
Fax 323.258.5333  
yael@yaellir.com

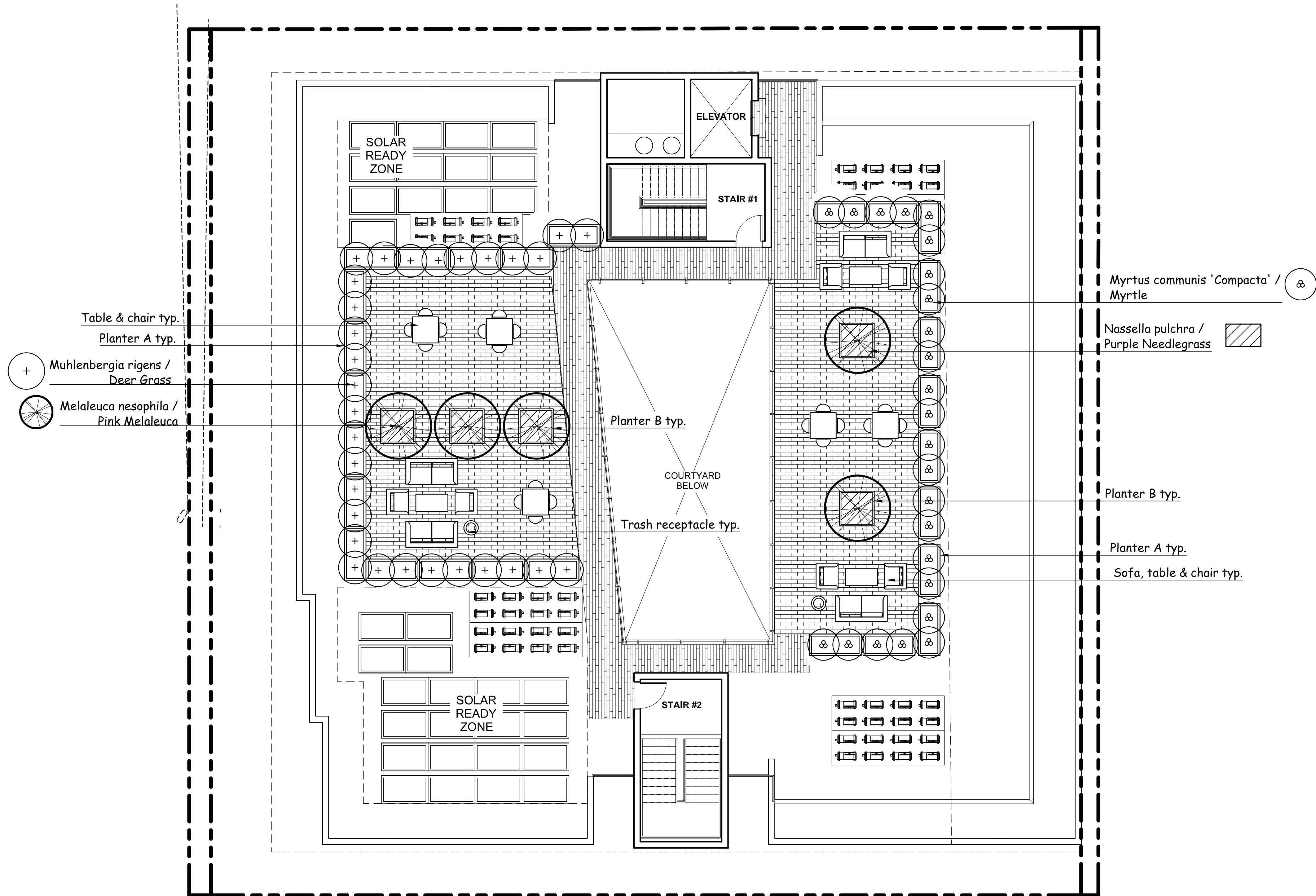
THE POINTE ON LA BREA  
843 N. LA BREA AVE.  
LOS ANGELES, CA 90038

PLANTING PLAN



DATE: OCT. 22, 2018  
SCALE: 1/8"=1'-0"  
JOB NUMBER: 206119  
DRAWN BY:





TREE LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
	* Melaleuca nesophila	Pink Melaleuca	24"box	5		low 0.3

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
	* Muhlenbergia rigens	Deer Grass	5-gal	30		low 0.3
	* Myrtus communis 'Compacta'	Myrtle	5-gal	24		low 0.3
	Nassella pulchra	Purple Needlegrass	5-gal	24"oc		low 0.3

\* Points claimed

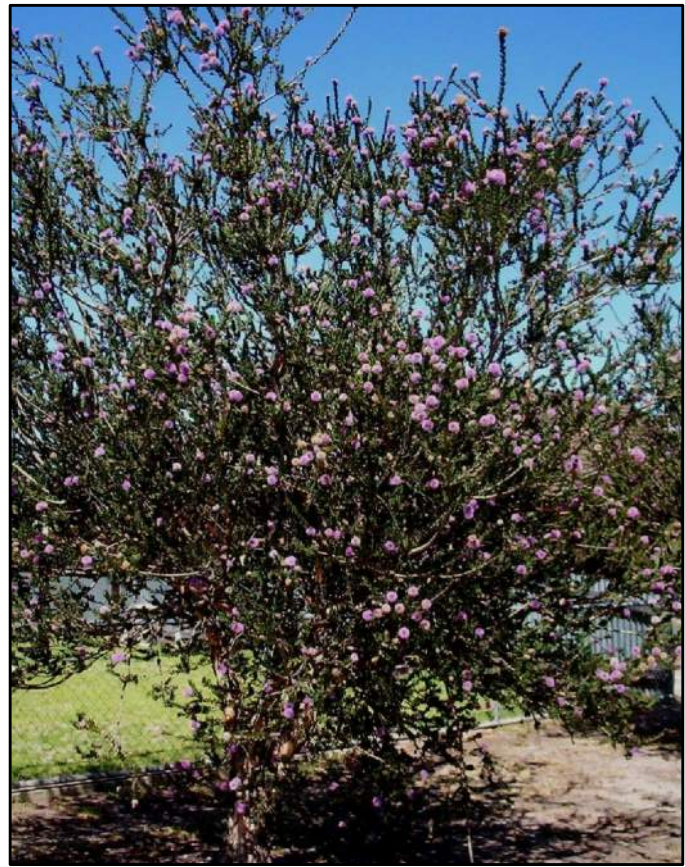
PLANTER LEGEND

	COLLECTION	MODEL	COLOR
A	Urban	UR-603030	Sierra
B	Urban	UR-4800	Sierra

TOURNESOL  
Tel: 800.542.2282

All trees to be planted with commercial root barriers.  
3" deep shredded Cedar bark to spread between plants.

NOTE:  
Waterproofing and drains in planters by others.



Heteromeles arbutifolia / Toyon



Muhlenbergia rigens /  
Deer Grass



Myrtus communis 'Compacta' /  
Myrtle



Nassella pulchra /  
Purple Needlegrass



Sofa, Table & chair



Planter



Chair



Table



Trash

REVISIONS	DATE
1.	2.26.18
2.	3.29.19
3.	
4.	
5.	
6.	
7.	
8.	
9.	



ASLA  
Yael Lir Landscape Architects  
1010 Sycamore Ave. Suite 313  
South Pasadena, CA 91030  
Tel 323.258.5222  
Fax 323.258.5333  
yael@yaelir.com

THE POINTE ON LA BREA  
843 N. LA BREA AVE.  
LOS ANGELES, CA 90038

ROOF PLANTING PLAN



DATE: OCT. 22, 2018  
SCALE: 1/8"=1'-0"  
JOB NUMBER: 206119  
DRAWN BY:





# **EXHIBIT B**

## Appeal Documents

Case No. DIR-2019-274-TOC-1A





## APPLICATIONS:

### APPEAL APPLICATION

This application is to be used for any appeals authorized by the Los Angeles Municipal Code (LAMC) for discretionary actions administered by the Department of City Planning.

#### 1. APPELLANT BODY/CASE INFORMATION

Appellant Body:

☒ Area Planning Commission    ☐ City Planning Commission    ☐ City Council    ☐ Director of Planning

Regarding Case Number: DIR-2019-274-TOC

Project Address: 843-849 NORTH LA BREA AVENUE

Final Date to Appeal: 2 JANUARY 2020

Type of Appeal:    ☐ Appeal by Applicant/Owner  
                          ☒ Appeal by a person, other than the Applicant/Owner, claiming to be aggrieved  
                          ☐ Appeal from a determination made by the Department of Building and Safety

#### 2. APPELLANT INFORMATION

Appellant's name (print): LUCILLE SAUNDERS

Company: LA BREA WILLOUGHBY COALITION

Mailing Address: 843 NORTH DETROIT STREET

City: LOS ANGELES

State: CA

Zip: 90046

Telephone: 323.939.2754

E-mail: labreacoalition@gmail.com

- Is the appeal being filed on your behalf or on behalf of another party, organization or company?

☐ Self

☒ Other: \_\_\_\_\_

- Is the appeal being filed to support the original applicant's position?    ☐ Yes    ☒ No

#### 3. REPRESENTATIVE/AGENT INFORMATION

Representative/Agent name (if applicable): SABRINA VENSUS, ESQUIRE

Company: VENSUS & ASSOCIATES

Mailing Address: 603 WEST OJAI AVENUE, SUITE F

City: OJAI

State: CA

Zip: 93023

Telephone: 805.272.8628

E-mail: venskus@lawsv.com

#### 4. JUSTIFICATION/REASON FOR APPEAL

Is the entire decision, or only parts of it being appealed? ☒ Entire ☐ Part

Are specific conditions of approval being appealed? ☒ Yes ☐ No

If Yes, list the condition number(s) here: 9, 10, 13, 14, and 15

Attach a separate sheet providing your reasons for the appeal. Your reason must state:

- The reason for the appeal
- How you are aggrieved by the decision
- Specifically the points at issue
- Why you believe the decision-maker erred or abused their discretion

#### 5. APPLICANT'S AFFIDAVIT

I certify that the statements contained in this application are complete and true:

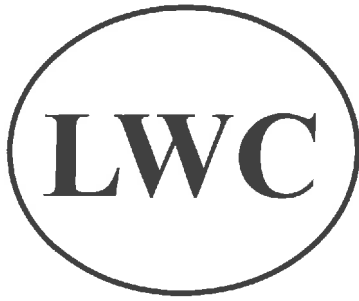
Appellant Signature: Tracie Saunders

Date: 2 January 2020

#### 6. FILING REQUIREMENTS/ADDITIONAL INFORMATION

- Eight (8) sets of the following documents are required for each appeal filed (1 original and 7 duplicates):
  - Appeal Application (form CP-7769)
  - Justification/Reason for Appeal
  - Copies of Original Determination Letter
- A Filing Fee must be paid at the time of filing the appeal per LAMC Section 19.01 B.
  - Original applicants must provide a copy of the original application receipt(s) (required to calculate their 85% appeal filing fee).
- All appeals require noticing per the applicable LAMC section(s). Original Applicants must provide noticing per the LAMC, pay mailing fees to City Planning's mailing contractor (BTC) and submit a copy of the receipt.
- Appellants filing an appeal from a determination made by the Department of Building and Safety per LAMC 12.26 K are considered Original Applicants and must provide noticing per LAMC 12.26 K.7, pay mailing fees to City Planning's mailing contractor (BTC) and submit a copy of receipt.
- A Certified Neighborhood Council (CNC) or a person identified as a member of a CNC or as representing the CNC may not file an appeal on behalf of the Neighborhood Council; persons affiliated with a CNC may only file as an individual on behalf of self.
- Appeals of Density Bonus cases can only be filed by adjacent owners or tenants (must have documentation).
- Appeals to the City Council from a determination on a Tentative Tract (TT or VTT) by the Area or City Planning Commission must be filed within 10 days of the date of the written determination of said Commission.
- A CEQA document can only be appealed if a non-elected decision-making body (ZA, APC, CPC, etc.) makes a determination for a project that is not further appealable. [CA Public Resources Code ' 21151 (c)].

This Section for City Planning Staff Use Only		
Base Fee: <u>109.47</u>	Reviewed & Accepted by (DSC Planner): <u>Terri Osborne</u>	Date: <u>1/2/2020</u>
Receipt No: <u>0110136143</u>	Deemed Complete by (Project Planner):	Date:
<input type="checkbox"/> Determination authority notified		<input type="checkbox"/> Original receipt and BTC receipt (if original applicant)



**RE: 843-849 NORTH LA BREA AVENUE, DIR-2019-274-TOC ENV-2019-275-SE/  
ADJACENT NEIGHBORS/LWC APPEAL JUSTIFICATIONS**

► **The reason for the appeal**

As the project's decision making processes completely negated adjacent neighbors' meaningful involvement and due process rights from the application to approval, the La Brea Willoughby Coalition ("LWC") and Venskus and Associates were engaged to advocate and represent our efforts to assert our rights.

► **How you are aggrieved by the decision**

The adjacent neighbors were eliminated from the decision making processes thus from duly presenting and protecting their property and health rights. The project was approved without addressing the community concerns, especially absolute roof deck opposition and unpassed guidelines were utilized in the strictly "ministerial approval."

► **Specifically the points at issue**

- TOC "guidelines" are not an ordinance, as they were never heard, ratified, nor passed by the FCC
- The project does not meet the City's open space requirements
- Surrounding property owners' due process rights were violated when the City fails to give all impacted property owners notices, hearing(s), and deny the right to appeal the project's approval

► **Why you believe the decision-maker erred or abused their discretion**

The community was simply eliminated from the project development/decision processes by the decision makers. The adjacent neighbors met with the project expeditor twice with specific project concerns and questions on incomplete and inaccurate information. These primary concerns and questions though presented to, were not addressed by the project expeditor, the Mid City West Community Council ("MCW"), CD5 council office, and DCP staff. MCW supported the project "as presented" even when DCP had the project "on hold." Throughout LWC monthly inquired of DCP staff any updated information. Followup/newer information was never given. LWC case review after the Determination revealed changes, including the original project application and plan height of 56-feet/5-story was revised to 65-feet-1-inch/5-story. If LWC was alerted when changes were made, this information would allowed additional review and input by citizens and MCW. We also challenge and assert changes into specific conditions as indicated set without our prior knowledge and input nor regard for significant adverse impacts to our neighborhood.

To sincerely serve, protect, and respect,  
*Lucille Saunders*, President LWC, 843 North Detroit  
and Adjacent Neighbors, right column

Ursula Ortiz, 842 North Detroit  
Lea and Ray Jaffe, 848 North Detroit  
Hilda Goldsmith, 852 North Detroit  
Lem Galley, 842 North La Brea





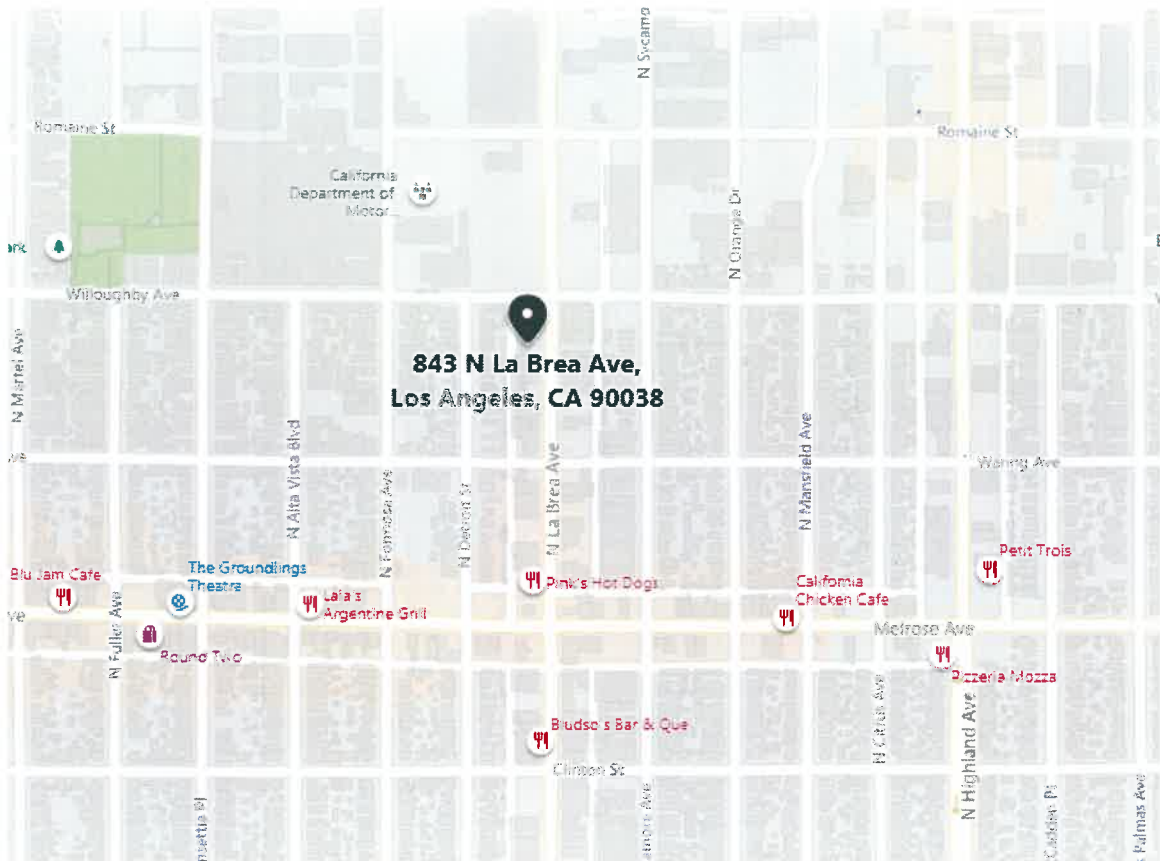
# **EXHIBIT C**

## **Radius, Vicinity and ZIMAS Maps**

Case No. DIR-2019-274-TOC-1A



## Vicinity Map



**Address:** 843-849 N. LA BREA AVE.



18-520



Zoning: C4-1VL  
General Plan: Neighborhood Office Commercial

Tract: TR 5310  
Block: None  
Lot: 3  
Arb: None

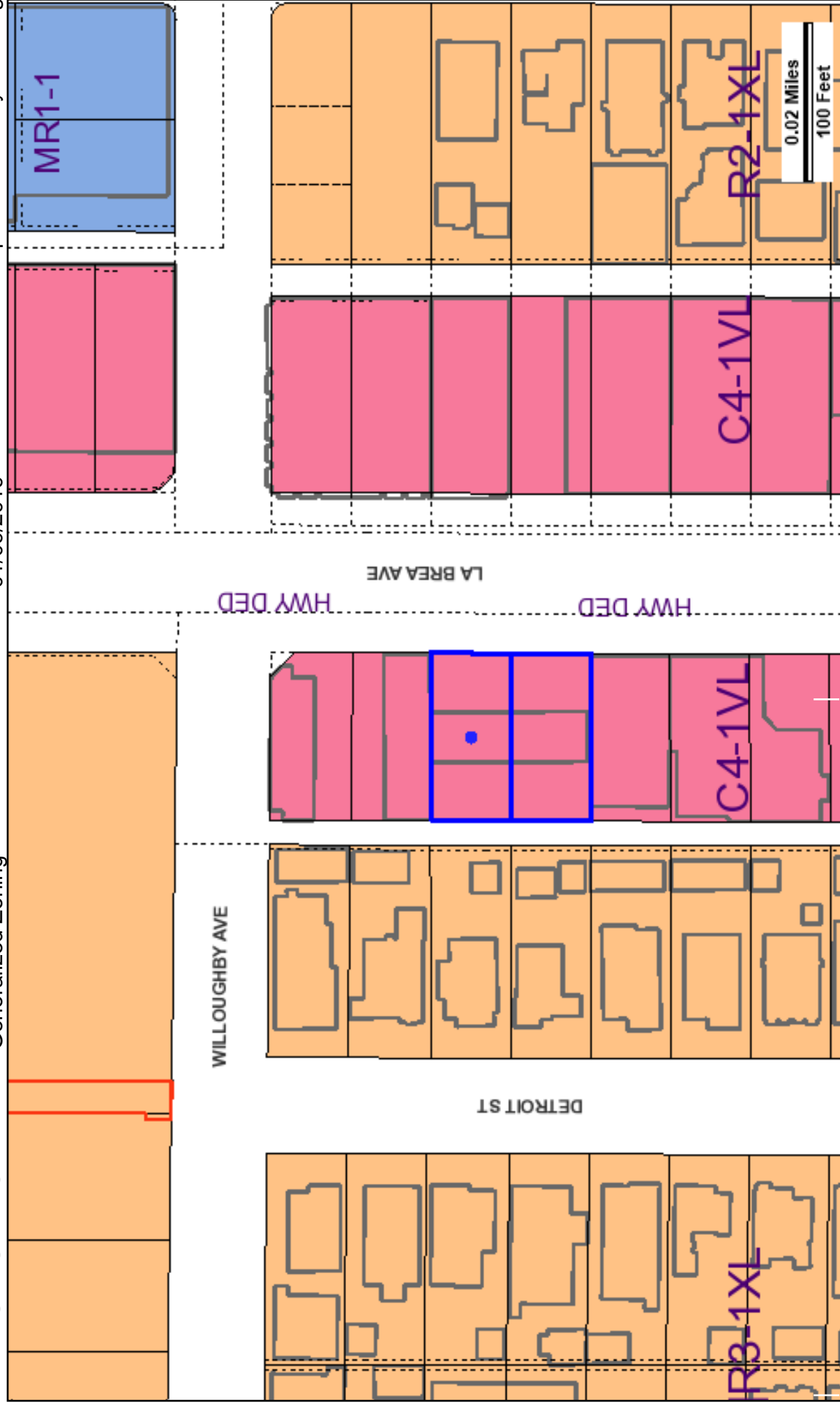
Address: 849 N LA BREA AVE  
APN: 5525004023  
PIN #: 141B181 43

ZIMAS PUBLIC

Generalized Zoning

01/09/2019

City of Los Angeles  
Department of City Planning



Address: 849 N LA BREA AVE

APN: 5525004023

PIN #: 141B181 43

Tract: TR 5310

Block: None

Lot: 3

Arb: None

Zoning: C4-1VL

General Plan: Neighborhood Office Commercial







# **EXHIBIT D**

## **Director's Determinations**

Case No. DIR-2019-274-TOC-1A





**DEPARTMENT OF  
CITY PLANNING**

COMMISSION OFFICE  
(213) 978-1300

**CITY PLANNING COMMISSION**

**SAMANTHA MILLMAN**  
PRESIDENT

**VAHID KHORSAND**  
VICE-PRESIDENT

**DAVID H. J. AMBROZ**

**CAROLINE CHOE**

**HELEN LEUNG**

**KAREN MACK**

**MARC MITCHELL**

**VERONICA PADILLA-CAMPOS**

**DANA M. PERLMAN**

**CITY OF LOS ANGELES**  
CALIFORNIA



**ERIC GARCETTI**  
MAYOR

**EXECUTIVE OFFICES**

200 N. SPRING STREET, ROOM 525

LOS ANGELES, CA 90012-4801

(213) 978-1271

**VINCENT P. BERTONI, AICP**  
DIRECTOR

**KEVIN J. KELLER, AICP**  
EXECUTIVE OFFICER

**SHANA M.M. BONSTIN**  
DEPUTY DIRECTOR

**TRICIA KEANE**  
DEPUTY DIRECTOR

**ARTHI L. VARMA, AICP**  
DEPUTY DIRECTOR

**LISA M. WEBBER, AICP**  
DEPUTY DIRECTOR

**DIRECTOR'S DETERMINATION  
TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM**

December 17, 2019

**Applicant/Owner**

Welton Jordan  
Pointe on La Brea EAH, LLC  
22 Pelican Way  
San Rafael, CA 94901

**Representative**

Dana A. Sayles, AICP  
three6ixty  
11287 W. Washington Boulevard  
Culver City, CA 90230

**Case No.** DIR-2019-274-TOC

**CEQA:** ENV-2019-275-SE

**Location:** 843-849 N. La Brea Avenue

**Council District:** 5 – Koretz

**Neighborhood Council:** Mid City West

**Community Plan Area:** Hollywood

**Land Use Designation:** Neighborhood Office  
Commercial

**Zone:** C4-1VL

**Legal Description:** Lots 3 and 4, Tract 5310,  
MB 59-21

**Last Day to File an Appeal:** January 2, 2020

**DETERMINATION - Transit Oriented Communities Affordable Housing Incentive Program**

Pursuant to the Los Angeles Municipal Code (LAMC) Section 12.22 A.31, I have reviewed the proposed project and as the designee of the Director of Planning, I hereby:

**Determine**, pursuant to the California Public Resources Code Section 21080.27(b)(1), that based on the whole of the administrative record as supported by the justification prepared and found in the environmental case file, the project is statutorily exempt from the California Environmental Quality Act (CEQA);

**Approve with Conditions a Transit Oriented Communities (TOC) Affordable Housing Incentive Program Compliance Review**, pursuant to the Los Angeles Municipal Code (LAMC) Section 12.22 A.31, for a qualified Tier 3 project, totaling 50 dwelling units, reserving 49 units for Permanent Supportive Housing and Low Income Household occupancy for a period of 55 years, with the following Base and Additional Incentives:

### **Additional Incentives**

- a. Side Yard Setbacks.** A three (3)-foot reduction to both the north and south side yards to permit the minimum setback of 5-feet, ½-inch consistent with the RAS3 Zone, pursuant to LAMC 12.10.5 C.2, in lieu of a minimum 8-feet required side yards for a five-story building required in the C4-1VL Zone;
- b. Open Space.** A 25-percent reduction in the minimum usable open space to permit 3,770 square feet in lieu of 5,025 square feet as otherwise required by LAMC Section 12.21 G.2; and
- c. Height.** A 22-foot increase in maximum building height to permit 65 feet, 1-inch in lieu of the otherwise required 45 feet for residential buildings in the C4-1VL zone pursuant to LAMC Section 12.21.1 A.1; and

**Adopt** the attached Findings and Conditions of Approval.

## CONDITIONS OF APPROVAL

1. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the applicant, stamped Exhibit "A," and attached to the subject case file. No change to the plans shall be made without prior review by the Department of City Planning, Central Project Planning Division, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Municipal Code or the project conditions.
2. **Residential Density.** The project shall be limited to a maximum density of 50 residential dwelling units, including density bonus units.
3. **Affordable Units.** The project shall reserve 49 units as follows: 12 units reserved for Low Income Households as determined by the HCD; and 37 units reserved for Low Income Households as determined by either HCD or the United States Department of Housing and Urban Development (HUD). Units shall be made available as Permanent Supportive Housing serving the target population.
4. **Changes in On-Site Restricted Units.** Deviations that increase the number of restricted affordable units or that change the composition of units or parking numbers shall be consistent with LAMC Section 12.22 A.31 and TOC Guidelines.
5. **Housing Requirements.** Prior to issuance of a building permit, the owner shall execute and record a covenant and agreement running with the land to the satisfaction of the Los Angeles Housing and Community Investment Department (HCIDLA). The covenant shall bind the owner to the following affordable units for rental for a period of 55 years: 12 units reserved for Low Income Households as determined by HCD; and 37 units reserved for Low Income Households as determined by either HCD or HUD. Enforcement of the terms of said covenant shall be the responsibility of HCIDLA. The applicant will present a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the TOC Guidelines and any monitoring requirements established by the HCIDLA.
6. **Rent Stabilization Ordinance (RSO).** Prior to the issuance of a Certificate of Occupancy, the owner shall obtain approval from the Los Angeles Housing and Community Investment Department (HCIDLA) regarding replacement of affordable units, provision of RSO Units, and qualification for the Exemption from the Rent Stabilization Ordinance with Replacement Affordable Units in compliance with Ordinance No. 184,873. In order for all the new units to be exempt from the Rent Stabilization Ordinance, the applicant will need to either replace all withdrawn RSO units with affordable units on a one-for-one basis or provide at least 20% of the total number of newly constructed rental units as affordable, whichever results in the greater number. The executed and recorded covenant and agreement submitted and approved by HCIDLA shall be provided.
7. **Assembly Bill 1197.** The project shall comply with all state requirements of Assembly Bill 1197 and Government Code Section 65650 through Section 65651.

8. **Supportive Services Plan.** The applicant shall submit a plan for providing supportive services, to the satisfaction of the Department of City Planning, with documentation demonstrating that supportive services will be provided onsite to residents in the project. The description of those services shall include all of the following:
- a. The name of the proposed entity or entities that will provide supportive services.
  - b. The proposed funding source or sources for the provided onsite supportive services.
  - c. Proposed staffing levels.
9. **Onsite Supportive Services.** At least 3 percent of the total nonresidential floor area shall be provided for onsite supportive services that are limited to tenant use, including, but not limited to, a community room, case management offices, a gym, laundry facility, and bicycle storage. The project will provide three (3) supportive service offices totaling 434 square feet, a 343 square foot gym, and a 905 square foot community room for on-site supportive services, as provided in Exhibit "A".
10. **Parking.** The project proposes 100% On-Site Restricted Affordable units comprised of 49 studio units and 1 two-bedroom manager's unit. Based on the number and type of dwelling units proposed, a minimum of zero automobile parking spaces are required, pursuant to the TOC Guidelines, and five (5) parking spaces shall be provided. In the event that the number of Restricted Affordable Units should increase or the composition of such units should change, then no modification of this determination shall be necessary, and the number of automobile parking spaces shall be re-calculated consistent with the TOC Guidelines.
11. **Bicycle Parking.** Bicycle parking shall be provided consistent with LAMC Section 12.21 A 16.
12. **Side Yards.** The project shall provide a minimum side yard setback of 5 feet, ½ inch.
13. **Rear Yard.** The project shall provide a minimum rear yard setback of 22 feet to the centerline of the alley per LAMC 12.22 C.10.
14. **Open Space.** The project shall provide a minimum of 3,768 square feet of usable open space.
15. **Height.** The project shall provide a maximum building height of 65 feet, 1 inch.
16. **Landscaping.** The landscape plan shall indicate landscape points for the project equivalent to **10 percent more than otherwise required** by LAMC 12.40 and Landscape Ordinance Guidelines "O". All open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be attractively landscaped, including an automatic irrigation system, and maintained in accordance with a landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning.

## **Administrative Conditions**

17. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building & Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building & Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building & Safety shall be stamped by Department of City Planning staff "Final Plans". A copy of the Final Plans, supplied by the applicant, shall be retained in the subject case file.
18. **Notations on Plans.** Plans submitted to the Department of Building & Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet, and shall include any modifications or notations required herein.
19. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
20. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
21. **Department of Building & Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building & Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building & Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
22. **Department of Water and Power.** Satisfactory arrangements shall be made with the Los Angeles Department of Water and Power (LADWP) for compliance with LADWP's Rules Governing Water and Electric Service. Any corrections and/or modifications to plans made subsequent to this determination in order to accommodate changes to the project due to the under-grounding of utility lines, that are outside of substantial compliance or that affect any part of the exterior design or appearance of the project as approved by the Director, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
23. **Enforcement.** Compliance with and the intent of these conditions shall be to the satisfaction of the Department of City Planning.
24. **Expiration.** In the event that this grant is not utilized within three years of its effective date (the day following the last day that an appeal may be filed), the grant shall be considered null and void. Issuance of a building permit, and the initiation of, and diligent continuation of, construction activity shall constitute utilization for the purposes of this grant.

**25. Indemnification and Reimbursement of Litigation Costs.**

Applicant shall do all of the following:

- (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, of the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

“City” shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

“Action” shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the applicant otherwise created by this condition.



## PROJECT BACKGROUND

The project site consists of two (2) contiguous rectangular-shaped parcels with approximately 100 feet, 3 inches of street frontage along La Brea Avenue and a depth of approximately 105 feet for a total lot size of approximately 10,509.5 square feet. The project site is located within the Hollywood Community Plan, which designates the site for Neighborhood Office Commercial land uses. The project site is zoned C4-1VL resulting in a base residential density of 29 units, which includes half of the area of the abutting alley for density calculation purposes. Height District 1VL permits up to 1.5:1 FAR and 45 feet maximum building height for residential uses. The site is located within a Transit Priority Area and Tier 2 Transit Oriented Communities (TOC) Affordable Housing Incentive Program<sup>1</sup>. The site is located across two lots, one lot qualifies as Tier 1 and the other as Tier 2, per the TOC Guidelines the project can utilize Tier 2 Incentives.

The project site is currently improved with a 3,100 square-foot single-story automobile repair shop that was constructed in 1972. The subject property is not eligible as a historic resource and is not located within a historic district and there are no trees on site or within the public right of way. The site is surrounded to the north, south, and east by C4-1VL-zoned properties, which are currently developed with automobile repair uses to the north, van rental services and retail to the south, and retail and neighborhood-serving uses to the east across La Brea Avenue. Properties to the west on the opposite side of the public alley are zoned [Q]R3-1XL, and developed with both single-family and multi-family residences. Further to the north on the corner of La Brea Avenue and Willoughby Avenue is one property that was recently developed with a mixed-use building containing 180 apartment units, and another property that is currently under construction to build a mixed-use building with 169 apartment units.

The proposed project is for the demolition of the existing automobile repair shop, and the construction, use and maintenance of a five-story residential building that provides 100-percent affordable and Permanent Supportive Housing (PSH) totaling 50 dwelling units consisting of 49 units reserved for Low Income Households eligible under the PSH target population and one market-rate manager's unit. The building will have a maximum height of 65 feet, 1 inch, as measured from grade to the roof structure and 31,974 square feet of floor area with a 3.05:1 FAR. The project proposes five (5) non-required at-grade automobile parking spaces at the rear of the building, 42 long-term bicycle parking spaces and 4 short-term bicycle parking spaces. The project will provide 3,770 of Usable Open Space including a 905 square-foot community room, a 767 square-foot courtyard, a 1,498 square-foot roof deck room and 600 square feet of private balcony space.

The applicant requests the following Base and Additional Incentives of the Transit Oriented Communities (TOC) Affordable Housing Incentive Program:

- Base Incentives:
  - A 70 percent TOC Tier 3 density bonus to allow 50 units in lieu of 29 base units, of which 49 are set aside as Low Income, Permanent Supportive Housing units and one manager's unit.
  - An increase in Floor Area Ratio (FAR) from 1.5:1 to 3.75:1.
  - A minimum of zero automobile parking spaces pursuant to the provisions of the TOC Guidelines for 100% affordable projects.

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<sup>1</sup> The project is eligible for one (1) increase in Tier from 2 to 3 for consisting of 100 percent On-Site Restricted Affordable Units, exclusive of a manager's unit per Section IV.9 of the TOC Guidelines.



- **Additional Incentives:**

- A reduction in the minimum side yard setback to permit 5-feet, ½ inch, side yard setbacks pursuant to RAS3 zone requirements in lieu of 8-foot side yard setbacks otherwise required for a 5-story building in a C4 zone.
- A 25% reduction in the minimum usable open space to permit 3,770 square feet of open space in lieu of the otherwise required 5,025 square feet of open space.
- A 22-foot increase in maximum building height to permit 65 feet, 1 inch in lieu of the otherwise maximum building height of 45 feet for residential buildings in the C4-1VL zone.

## **HOUSING REPLACEMENT (AB 2556 DETERMINATION) BACKGROUND**

On September 27, 2014, Governor Jerry Brown signed Assembly Bill (AB) 2222, as amended by AB 2556 on August 19, 2016, to amend sections of California's Density Bonus Law (Government Code Section 65915). AB 2556 requires applicants of Density Bonus projects filed as of January 1, 2015 to demonstrate compliance with the housing replacement provisions which require replacement of rental dwelling units that either exist at the time of application of a Density Bonus project, or have been vacated or demolished in the five-year period preceding the application of the project. This applies to all pre-existing units that have been subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower or very low income; subject to any other form of rent or price control; or occupied by Low or Very Low Income Households.

Pursuant to the AB 2556 (TOC) Determination Letter dated January 22, 2019 and prepared by the Los Angeles Housing and Community Investment Department (HCIDLA), no units are subject to replacement under AB 2556. As such, the project complies with AB 2556.

## **TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM BACKGROUND**

Measure JJJ was adopted by the Los Angeles City Council on December 13, 2016. Section 6 of the Measure instructed the Department of City Planning to create the TOC Affordable Housing Incentive Program. The measure required that the Department adopt a set of TOC Guidelines, which establishes incentives for residential and mixed-use projects located within ½ mile of a major transit stop. Major transit stops are defined under existing State law.

The TOC Guidelines, released on September 22, 2017, establish a tier-based system with varying development bonuses and incentives based on a project's distance from different types of transit. The largest bonuses are reserved for those areas in the closest proximity to significant rail stops or the intersection of major bus rapid transit lines. Required affordability levels are increased incrementally in each higher tier. The incentives provided in the TOC Guidelines describe the range of bonuses from particular zoning standards that applicants may select.

The project site is located less than 2,640 feet from the Metro Rapid 4 and Metro 212/312 bus routes. This qualifies the site as Tier 2 TOC Affordable Housing Incentive Area. However, per Section IV.9 of the TOC Guidelines, Eligible Housing Developments that consist of a 100 percent On-site Restricted Affordable Units, excluding a manager's unit, are eligible for one increase in Tier than otherwise would be provided. The project is an Eligible Affordable Housing Development

that consists of 100 percent On-Site Restricted Affordable Units, excluding a manager's unit, reserving 49 units for Low Income Households. As such the project is eligible for an increase to Tier 3 TOC Affordable Housing Incentive Area.

## **TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM ELIGIBILITY REQUIREMENTS**

To be an eligible TOC Housing Development, a project must meet the Eligibility criteria set forth in Section IV of the TOC Guidelines. A Housing Development located within a TOC Affordable Housing Incentive Area shall be eligible for TOC Incentives if it meets all of the following requirements, which it does:

1. ***On-Site Restricted Affordable Units.*** *In each Tier, a Housing Development shall provide On-Site Restricted Affordable Units at a rate of at least the minimum percentages described below. The minimum number of On-Site Restricted Affordable Units shall be calculated based upon the total number of units in the final project.*
  - a. *Tier 1 - 8% of the total number of dwelling units shall be affordable to Extremely Low Income (ELI) Households, 11% of the total number of dwelling units shall be affordable to Very Low (VL) Income Households, or 20% of the total number of dwelling units shall be affordable to Lower Income Households.*
  - b. *Tier 2 - 9% ELI, 12% VL or 21% Lower.*
  - c. *Tier 3 - 10% ELI, 14% VL or 23% Lower.*
  - d. *Tier 4 - 11% ELI, 15% VL or 25% Lower.*

As previously mentioned, the project qualifies for Tier 3 Incentives for consisting of 100 percent On-Site Restricted Affordable Units, excluding a manager's unit. As such the project is required to set aside at least 23 percent, or 12 units, of the 50 total units for Low Income Households. The project will reserve 49 units for Low Income Households. As such, the project meets the eligibility requirements for On-Site Restricted Affordable Units.

2. ***Major Transit Stop.*** *A Housing Development shall be located on a lot, any portion of which must be located within 2,640 feet of a Major Transit Stop, as defined in Section II and according to the procedures in Section III.2 of the TOC Guidelines.*

A Major Transit Stop is a site containing a rail station or the intersection of two or more bus routes with a service interval of 15 minutes or less during the morning and afternoon peak commute periods. The project site is located less than 2,640 feet the Metro Rapid 4 and Metro 212/312 bus routes with service intervals less than 15 minutes during the morning and afternoon peak commute periods. As such, the project meets the eligibility requirement for proximity to a Major Transit Stop.

3. ***Housing Replacement.*** *A Housing Development must meet any applicable housing replacement requirements of California Government Code Section 65915(c)(3), as verified by the Department of Housing and Community Investment (HCIDLA) prior to the issuance of any building permit. Replacement housing units required per this section may also count towards other On-Site Restricted Affordable Units requirements.*

Pursuant to the AB 2556 (TOC) Determination Letter dated January 22, 2019 and prepared by the Los Angeles Housing and Community Investment Department (HCIDLA), the property is presently improved with a commercial building and there were no residential units built or demolished on the property within the last five years, and AB 2556

does not apply to commercial properties. Therefore, no AB 2556 replacement affordable units are required.

4. ***Other Density or Development Bonus Provisions.*** *A Housing Development shall not seek and receive a density or development bonus under the provisions of California Government Code Section 65915 (State Density Bonus law) or any other State or local program that provides development bonuses. This includes any development bonus or other incentive granting additional residential units or floor area provided through a General Plan Amendment, Zone Change, Height District Change, or any affordable housing development bonus in a Transit Neighborhood Plan, Community Plan Implementation Overlay (CPIO), Specific Plan, or overlay district.*

The project is not seeking any additional density or development bonuses under the provisions of the State Density Bonus Law or any other State or local program that provides development bonuses, including, but not limited to a General Plan Amendment, Zone Change, Height District Change, or any affordable housing development bonus in a Transit Neighborhood Plan, Community Implementation Overlay (CPIO), Specific Plan, or overlay district. As such, the project meets this eligibility requirement.

5. ***Base Incentives and Additional Incentives.*** *All Eligible Housing Developments are eligible to receive the Base Incentives listed in Section VI of the TOC Guidelines. Up to three Additional Incentives listed in Section VII of the TOC Guidelines may be granted based upon the affordability requirements described below. For the purposes of this section below, "base units" refers to the maximum allowable density allowed by the zoning, prior to any density increase provided through these Guidelines. The affordable housing units required per this section may also count towards the On-Site Restricted Affordable Units requirement in the Eligibility Requirement No. 1 above (except Moderate Income units).*
  - a. *One Additional Incentive may be granted for projects that include at least 4% of the base units for Extremely Low Income Households, at least 5% of the base units for Very Low Income Households, at least 10% of the base units for Lower Income Households, or at least 10% of the base units for persons and families of Moderate Income in a common interest development.*
  - b. *Two Additional Incentives may be granted for projects that include at least 7% of the base units for Extremely Low Income Households, at least 10% of the base units for Very Low Income Households, at least 20% of the base units for Lower Income Households, or at least 20% of the base units for persons and families of Moderate Income in a common interest development.*
  - c. *Three Additional Incentives may be granted for projects that include at least 11% of the base units for Extremely Low Income Households, at least 15% of the base units for Very Low Income Households, at least 30% of the base units for Lower Income Households, or at least 30% of the base units for persons and families of Moderate Income in a common interest development.*

The project is seeking three Additional Incentives, which requires at least 30 percent, or 9 units, of the base 29 units to be set aside for Low Income Households. The project will reserve 169 percent of the base 29 units, that is 49 units, for Low Income Households. As such, the project meets the eligibility requirement for three Additional Incentives.

6. **Projects Adhering to Labor Standards.** *Projects that adhere to the labor standards required in LAMC 11.5.11 may be granted two Additional Incentives from the menu in Section VII of these Guidelines (for a total of up to five Additional Incentives).*

The project is not seeking two Additional Incentives beyond the three permitted in exchange for reserving at least 30 percent, or 9 units, of the 29 base units for Low Income Households. As such, the project need not adhere to the labor standards required in LAMC Section 11.5.11, and this eligibility requirement does not apply.

7. **Multiple Lots.** *A building that crosses one or more lots may request the TOC Incentives that correspond to the lot with the highest Tier permitted by Section III above.*

The project site consists of 2 lots: Lot 3 of Tract 5310 Map Book 59-21 is eligible for Tier 2 Incentives, and Lot 4 of Tract 5310 Map Book 59-21 is eligible for Tier 1. As such, the project meets the eligibility requirement for Multiple Lots.

8. **Request for a Lower Tier.** *Even though an applicant may be eligible for a certain Tier, they may choose to select a Lower Tier by providing the percentage of On-Site Restricted Affordable Housing units required for any lower Tier and be limited to the Incentives available for the lower Tier.*

The applicant has not selected a Lower Tier and is not providing the percentage of On-Site Restricted Affordable Housing units required for any lower Tier. As such, this eligibility requirement does not apply.

9. **100% Affordable Housing Projects.** *Buildings that are Eligible Housing Developments that consist of 100% On-Site Restricted Affordable units, exclusive of a building manager's unit or units shall, for purposes of these Guidelines, be eligible for one increase in Tier than otherwise would be provided.*

The project is an Eligible Housing Development that consists of 100 percent On-Site Restricted Affordable units, excluding the manager's unit, reserving 49 of 50 dwelling units for Low Income Households. As such, the project meets the eligibility requirement for one increase in Tier to a Tier 3 TOC Affordable Housing Incentive Area.

## **TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM / AFFORDABLE HOUSING INCENTIVES COMPLIANCE FINDINGS**

Pursuant to Section 12.22 A.31(e) of the LAMC, the Director shall review a Transit Oriented Communities (TOC) Affordable Housing Incentive Program project application in accordance with the procedures outlined in LAMC Section 12.22 A.25(g).

1. **Pursuant to Section 12.22 A.25(g) of the LAMC, the Director shall approve a density bonus and requested incentives unless the Director finds that:**
  - a. **The incentives are not required to provide for affordable housing costs as defined in California Health and Safety Code Section 50052.5 or Section 50053 for rents for the affordable units.**

The record does not contain substantial evidence that would allow the Director to make a finding that the requested incentives are not necessary to provide for affordable housing costs per State Law. The California Health & Safety Code Sections 50052.5 and 50053 define formulas for calculating affordable housing costs for Very Low, Low,

and Moderate Income Households. Section 50052.5 addresses owner-occupied housing and Section 50053 addresses rental households. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed 25 percent gross income based on area median income thresholds dependent on affordability levels.

The list of incentives in the TOC Guidelines were pre-evaluated at the time the TOC Affordable Housing Incentive Program Ordinance was adopted to include types of relief that minimize restrictions on the size of the project. As such, the Director will always arrive at the conclusion that the on-menu incentives are required to provide for affordable housing costs because the incentives by their nature increase the scale of the project.

The following incentives allow the developer to reduce the side yard setbacks, usable open space, and increase the building height so that all 49 affordable housing units reserved for Low Income Households can be constructed and the overall space dedicated to residential uses is increased. These incentives are expressed in the TOC Guidelines which permit exceptions to zoning requirements that result in building design or construction efficiencies that facilitate affordable housing costs. These incentives also support the applicant's decision to reserve 49 of 50 total units for Permanent Supportive Housing and Low Income Households.

**Side Yards:** A three (3)-foot reduction to both the north and south side yards to permit the minimum setback of 5-feet, 1/2 -inch consistent with the RAS3 Zone, pursuant to LAMC 12.10.5 C.2, in lieu of a minimum 8-feet required side yards for a five-story building in the C4-1VL Zone;

**Open Space:** A 25-percent reduction in the minimum usable open space to permit 3,770 square feet in lieu of 5,025 square feet as otherwise required by LAMC Section 12.21 G.2;

**Building Height:** An 22-foot increase in maximum building height to permit 65 feet, 1-inch in lieu of the otherwise required 45 feet for residential buildings in the C4-1VL zone pursuant to LAMC Section 12.21.1 A.1;

- b. **The Incentive will not have a specific adverse impact upon public health and safety or the physical environment, or on any real property that is listed in the California Register of Historical Resources and for which there are no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the development unaffordable to Very Low, Low and Moderate Income Households. Inconsistency with the zoning ordinance or the general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety.**

There is no evidence in the record that the proposed incentive will have a specific adverse impact. A "specific adverse impact" is defined as, "a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" (LAMC Section 12.22 A.25(b)). The project is in substantial conformance with the General Plan Land Use Designation and the Hollywood Community Plan in conjunction with the Base and Additional Incentives of the TOC Guidelines. Therefore, there is no substantial evidence that the proposed incentives will have a specific adverse impact on public health and safety.

## **ENVIRONMENTAL FINDINGS**

Pursuant to AB 1197, a project that is consistent with the definition of Supportive Housing under Section 50675.14 of the Health and Safety Code, meets the eligibility requirements of Article 11 of Chapter 3 of Division 1 of Title 7 of the Government Code, and is funded, in part, by No Place Like Home Program (Part 3.9 commencing with Section 5849.1) of Division 5 of the Welfare and Institutions Code), Measure H sales tax proceeds approved by the voters on the March 17, 2017 Special Elections in the County of Los Angeles, as well as, general bond obligations issued pursuant to Proposition HHH approved by the City of Los Angeles at the November 8, 2016, statewide general election. Therefore, pursuant to AB 1197 and Public Resources Code Section 21080.27(b)(1), the project is statutorily exempt from CEQA as Supportive housing.

See Justification for Categorical Exemption Case No. ENV-2019-275-SE in the case file for the narrative demonstrating that the Project meets the eligibility requirements outlined in AB 1197.

## **TIME LIMIT – OBSERVANCE OF CONDITIONS**

All terms and conditions of the Director's Determination shall be fulfilled before the use may be established. Pursuant to LAMC Section 12.25 A.2, the instant authorization is further conditional upon the privileges being utilized within **three years** after the effective date of this determination and, if such privileges are not utilized, building permits are not issued, or substantial physical construction work is not begun within said time and carried on diligently so that building permits do not lapse, the authorization shall terminate and become void.

## **TRANSFERABILITY**

This determination runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant. If any portion of this approval is utilized, then all other conditions and requirements set forth herein become immediately operative and must be strictly observed.

## **VIOLATIONS OF THESE CONDITIONS, A MISDEMEANOR**

The applicant's attention is called to the fact that this grant is not a permit or license and that any permits and licenses required by law must be obtained from the proper public agency. Furthermore, if any condition of this grant is violated or not complied with, then the applicant or his successor in interest may be prosecuted for violating these conditions the same as for any violation of the requirements contained in the Municipal Code, or the approval may be revoked.

Section 11.00 of the LAMC states in part (m): "It shall be unlawful for any person to violate any provision or fail to comply with any of the requirements of this Code. Any person violating any of the provisions or failing to comply with any of the mandatory requirements of this Code shall be guilty of a misdemeanor unless that violation or failure is declared in that section to be an infraction. An infraction shall be tried and be punishable as provided in Section 19.6 of the Penal Code and the provisions of this section. Any violation of this Code that is designated as a misdemeanor may be charged by the City Attorney as either a misdemeanor or an infraction.

Every violation of this determination is punishable as a misdemeanor unless provision is otherwise made, and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the County Jail for a period of not more than six months, or by both a fine and imprisonment."



## APPEAL PERIOD - EFFECTIVE DATE

**The Determination in this matter will become effective and final fifteen (15) days after the date of mailing of the Notice of Director's Determination** unless an appeal there from is filed with the City Planning Department. It is strongly advised that appeals be filed early during the appeal period and in person so that imperfections/incompleteness may be corrected before the appeal period expires. Any appeal must be filed on the prescribed forms, accompanied by the required fee, a copy of this Determination, and received and receipted at a public office of the Department of City Planning on or before the above date or the appeal will not be accepted. Forms are available on-line at <http://planning.lacity.org>.

Planning Department public offices are located at:

Figueroa Plaza  
201 North Figueroa Street  
4th Floor  
Los Angeles, CA 90012  
(213) 482-7077

Marvin Braude San Fernando  
Valley Constituent Service Center  
6262 Van Nuys Boulevard, Room 251  
Van Nuys, CA 91401  
(818) 374-5050

West Los Angeles  
1828 Sawtelle Boulevard  
2nd Floor  
Los Angeles, CA 90025  
(310) 231-2901

**Only an applicant or any owner or tenant of a property abutting, across the street or alley from, or having a common corner with the subject property can appeal this TOC Affordable Housing Incentive Program Review Determination.** Per Section 12.22 A.25 of the LAMC, appeals of TOC Affordable Housing Incentive Program Review cases are heard by the City Planning Commission.

Verification of condition compliance with building plans and/or building permit applications are done at the Development Services Center of the Department of City Planning at Figueroa Plaza in Downtown Los Angeles, Marvin Braude Constituent Service Center in the Valley, or in West Los Angeles. In order to assure that you receive service with a minimum amount of waiting, applicants are encouraged to schedule an appointment with the Development Services Center either through the Department of City Planning website at <http://planning.lacity.org> or by calling (213) 482-7077, (818) 374-5050, or (310) 231-2901. The applicant is further advised to notify any consultant representing you of this requirement as well.

The time in which a party may seek judicial review of this determination is governed by California Code of Civil Procedures Section 1094.6. Under that provision, a petitioner may seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, only if the petition for writ of mandate pursuant to that section is filed no later than the 90th day following the date on which the City's decision becomes final.



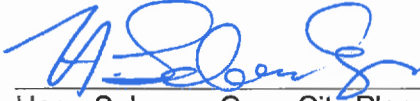
VINCENT P. BERTONI, AICP  
Director of Planning

Approved by:



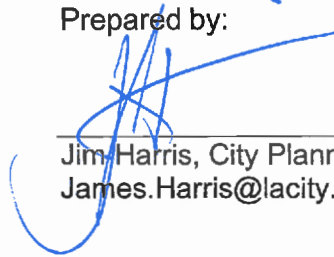
Christina Toy Lee, Senior City Planner

Reviewed by:



Hagu Solomon-Cary, City Planner

Prepared by:



Jim Harris, City Planning Associate  
James.Harris@lacity.org

**EXHIBIT E**  
CEQA Statutory Exemption  
ENV-2019-275-SE

Case No. DIR-2019-274-TOC-1A



**DEPARTMENT OF  
CITY PLANNING**

COMMISSION OFFICE  
(213) 978-1300

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DEPUTY DIRECTOR

## JUSTIFICATION FOR PROJECT EXEMPTION CASE NO. ENV-2019-275-SE

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The Department of City Planning determined that the proposed project is exempt from CEQA pursuant to Assembly Bill 1197, Public Resource Code, Section 21080.27(b)(1). There is substantial evidence demonstrating that the project is consistent with the definition of Supportive Housing under Section 50675.14 of the Health and Safety Code, the project meets the eligibility requirements of Article 11 of Chapter 3 of Division 1 of Title 7 of the Government Code, and the project is funded, in part, by No Place Like Home Program (Part 3.9 commencing with Section 5849.1) of Division 5 of the Welfare and Institutions Code), Measure H sales tax proceeds approved by the voters on the March 17, 2017 Special Elections in the County of Los Angeles, as well as, general bond obligations issued pursuant to Proposition HHH approved by the City of Los Angeles at the November 8, 2016, statewide general election. All actions to approve the Project were taken in furtherance of providing vitally needed Supportive Housing to house and serve the homeless in the City of Los Angeles.

**Project Location:** 843-849 N. La Brea Ave.

**Community Plan Area:** Hollywood

**Council District:** 5 – Koretz

**Project Description:** The proposed project is for the demolition of the existing automobile repair shop, and the construction, use and maintenance of a five-story residential building that provides 100-percent affordable and Permanent Supportive Housing (PSH) totaling 50 dwelling units consisting of 49 units reserved for Low Income Households eligible under the PSH target population and one market-rate manager's unit. The building will have a maximum height of 65 feet, 1 inch, as measured from grade to the roof structure and 31,974 square feet of floor area. The project proposes five (5) non-required at-grade automobile parking spaces at the rear of the building, 42 long-term bicycle parking spaces and 4 short-term bicycle parking spaces. The project will provide 3,770 of Usable Open Space including a 905 square-foot community room, a 767 square-foot courtyard, a 1,498 square-foot roof deck room and 600 square feet of private balcony space. The project proposes a Floor Area Ratio (FAR) of 3.05:1 and is located within the Hollywood Community Plan area. The project consists of 100 percent On-Site Restricted Affordable units, excluding the manager's unit, reserving 49 of 50 dwelling units for Low Income Households. As such, the project meets the eligibility requirement for Tier 3 TOC Affordable Housing Incentives and as previously stated, Public Resource Code, Section 21080.27 pursuant to Assembly Bill 1197.



# **EXHIBIT F**

## **Mid City West Community Council Letter of Approval**

Case No. DIR-2019-274-TOC-1A







**BOARD OF DIRECTORS  
2016-2019**

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Laura Petry

Tony Regenstein

Richard Risemberg

Scott Sale

Marc Sinnott

David Sobel

Nick Solish

Thao Tran

Henry Van Moyland

Don Whitehead

Roque Wicker

April 17<sup>th</sup>, 2019

Nuri Cho (nuri.cho@lacity.org)  
City Planning Associate  
Department of City Planning  
City of Los Angeles  
200 N Spring Street, Room 763

**Subject: 843 N La Brea Ave  
Pointe on La Brea  
DIR-2019-274-TOC  
ENV-2019-275-EAF**

Dear Ms. Cho,

We appreciate the opportunity to comment on this application as the certified neighborhood council serving the area in which the project is located.

The Mid City West Community Council (MCW) Board of Directors **approved** the following motion (16 yeas, 0 nays, 3 abstentions) at the Tuesday, April 9<sup>th</sup>, 2019 board meeting:

*Mid City West Community Council **strongly supports** the project as presented.*

Thank you for your attention to this matter. Please feel free to contact us via email at [knakata@midcitywest.org](mailto:knakata@midcitywest.org) or [mberker@midcitywest.org](mailto:mberker@midcitywest.org) as needed.

Sincerely,

Keith Nakata and Mehmet Berker  
Planning and Land Use Committee, Co-Chairs  
Mid City West Community Council

Cc: Office of Council District No. 5, Hon. Paul Koretz (via Email)  
Office of Council District No. 5, Aviv Kleinman “  
Office of Council District No. 5, Debbie Dyner Harris “  
Dana Sayles, three6ixty “