

Additions Examples (1 of 2)



③ Master Balcony and Master Bath - North West View
12" = 1'-0"



⊕ Master Balcony and Master Bath - Aerial View
12" = 1'-0"



② Master Balcony - South West View
12" = 1'-0"



Imagery ©2017 Google, Map data ©2017 Google 20 ft

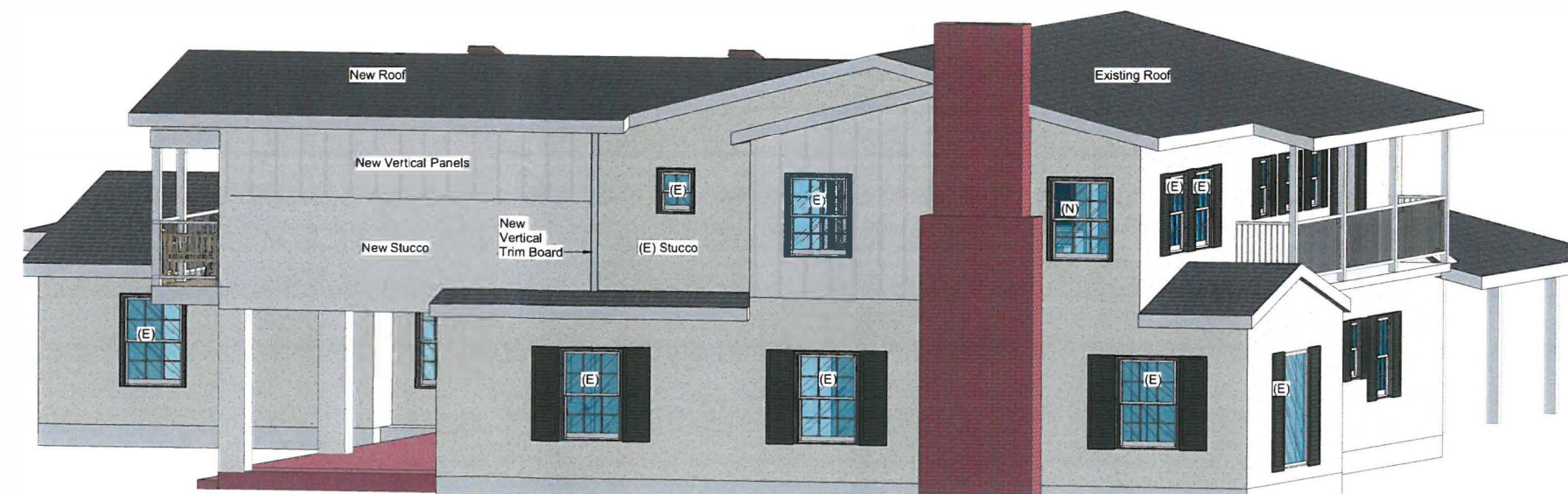
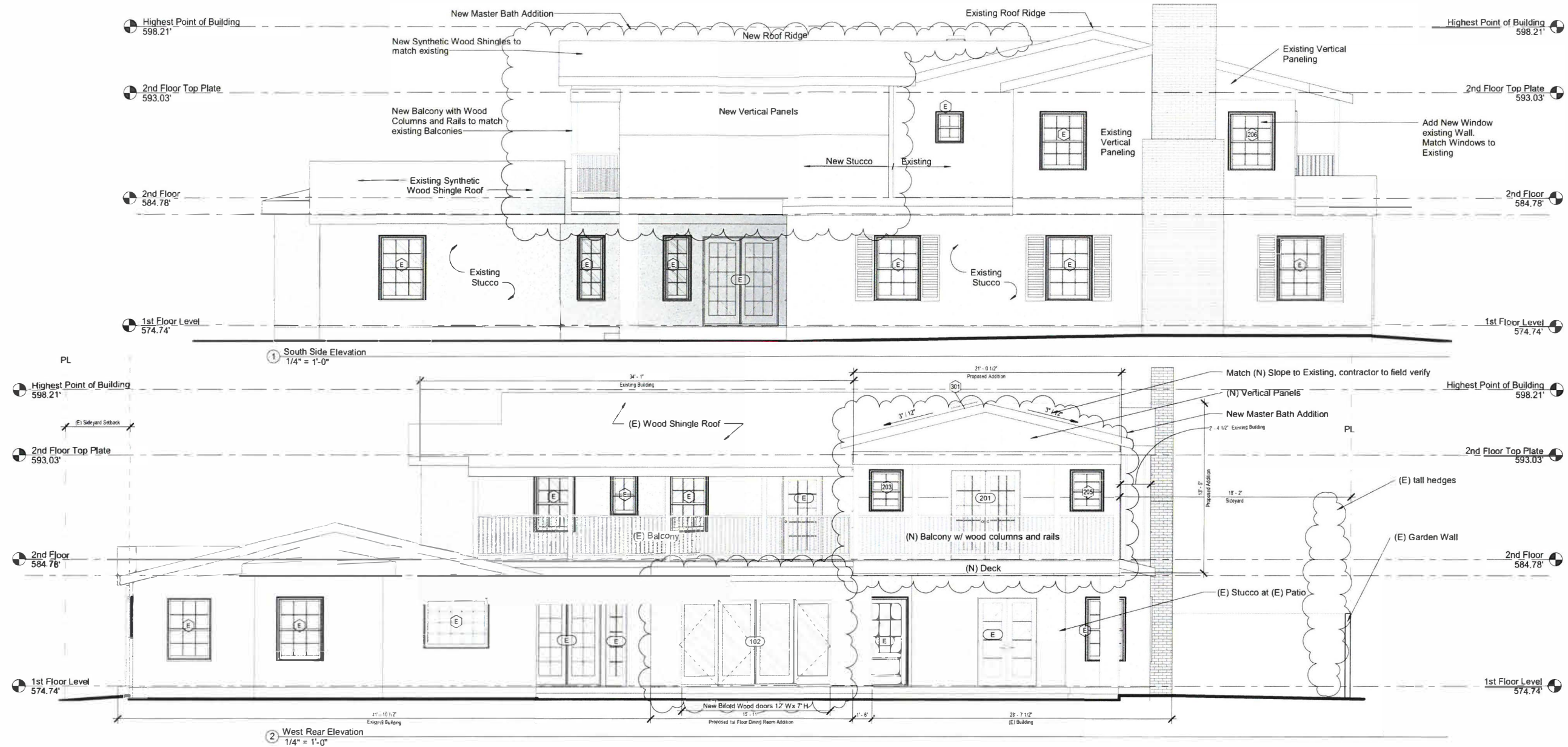
Proposed Elevations - 3D Views

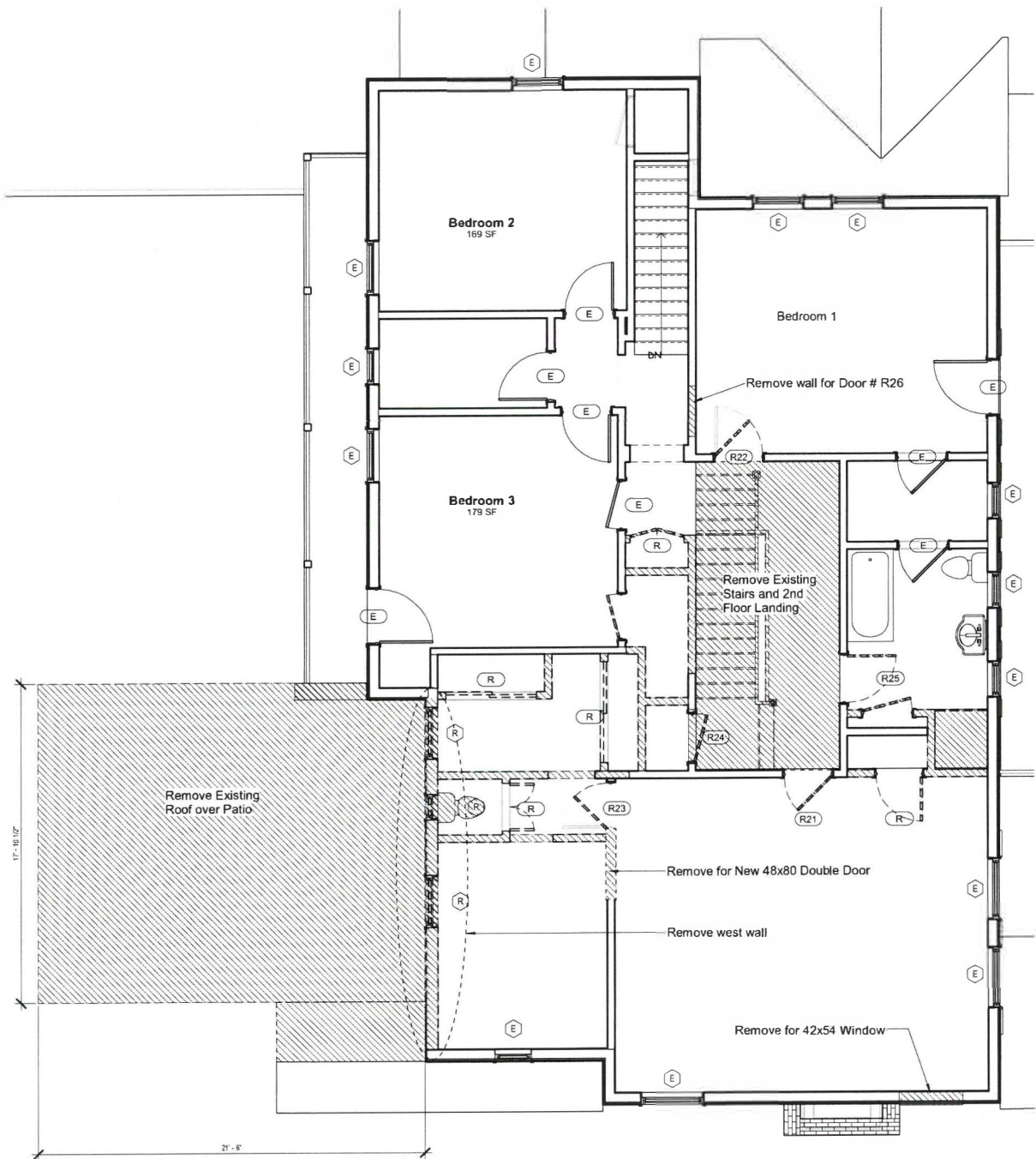
Architecture JHK

webpage: www.ArchJHK.com
tel: 424-666-1599
email: ArchJHK@gmail.com

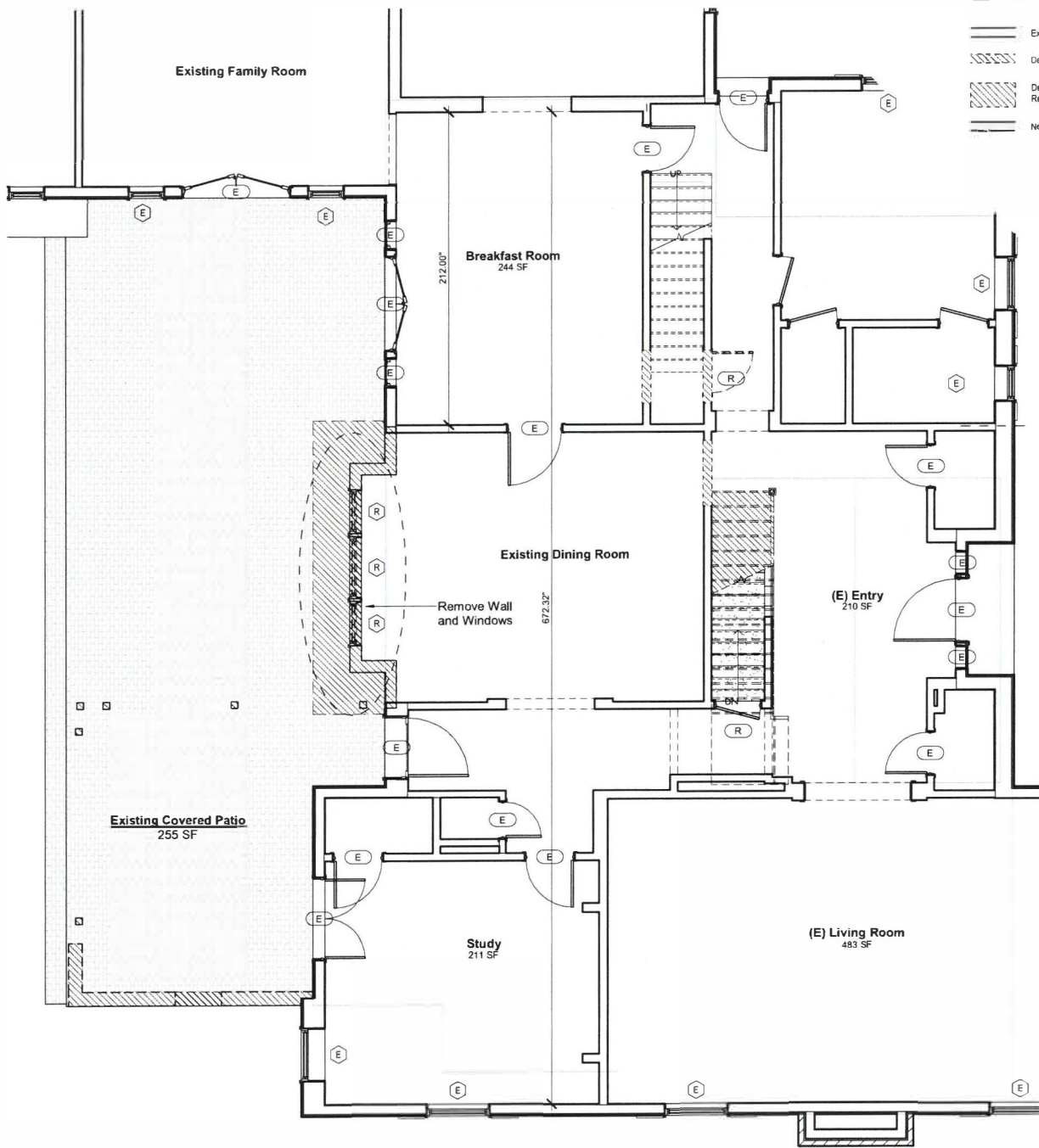
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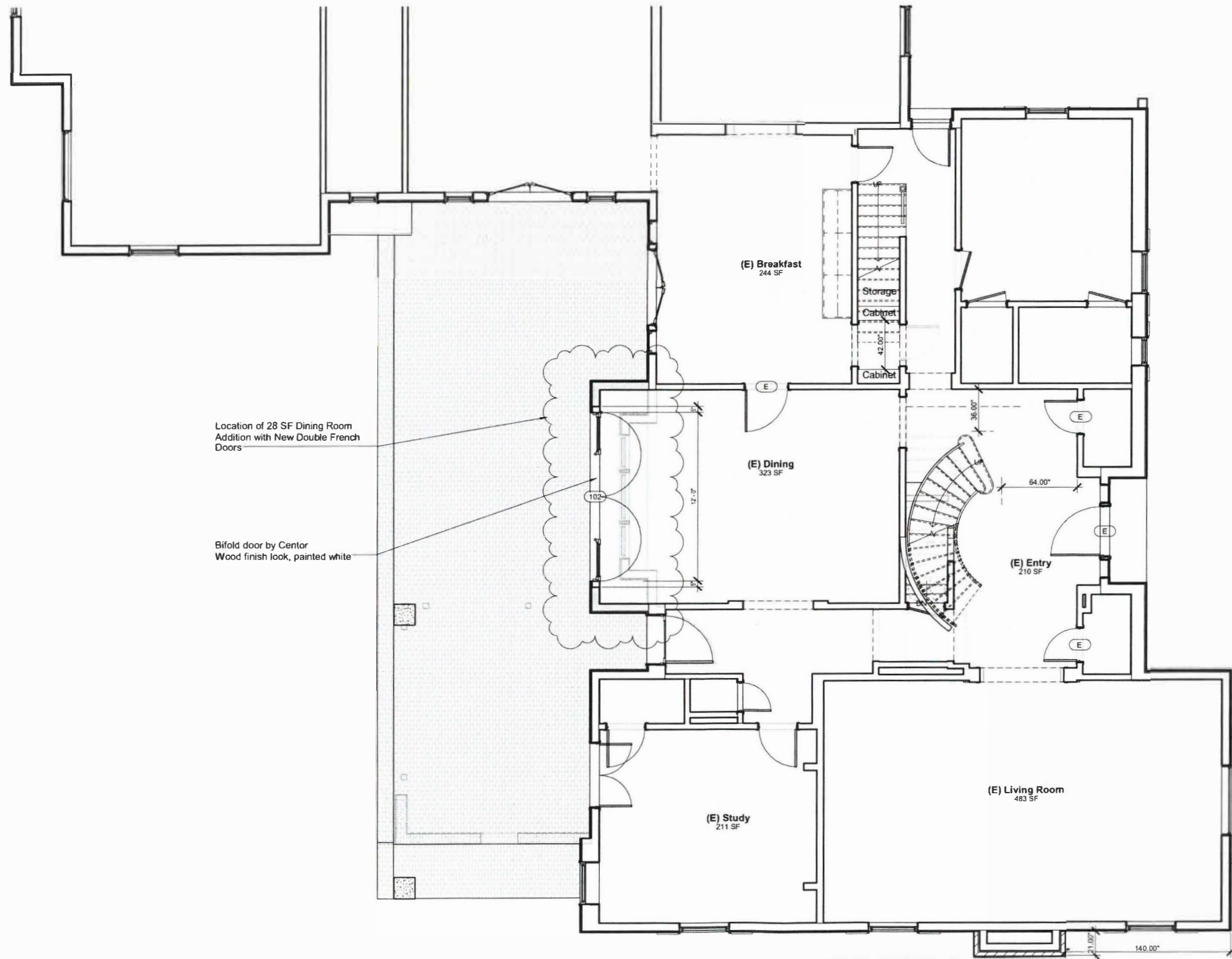


2 2nd Floor Demo Plan
1/4" = 1'-0"



oor Demo Plan
1/4" = 1'-0"

- Legend**
- E Existing Window
 - R Remove/Demo Window
 - R2 Reuse/Relocate Window
 - E Existing Door
 - R Remove/Demo Door
 - R2 Reuse/Relocate Door
 - Existing Wall
 - Demo Wall
 - Demolished / Removed Area
 - New Wall



Location of 28 SF Dining Room Addition with New Double French Doors

Bifold door by Centor Wood finish look, painted white



Symbol Legend

- Floor Drain
- Smoke Detector - Hard-wired smoke alarms with battery back-up shall be installed outside of each separate sleeping area or bedrooms and one on each story, including basement. The smoke alarms shall be interconnected (CHC R314)

(see #12 under General Notes)
- Carbon Monoxide Detector - Hard-wired carbon monoxide detectors with battery back-up shall be installed outside of each separate sleeping area or bedrooms and one on each story, including basement. The carbon monoxide detectors shall be interconnected.

Installed within which fuel-burning appliances are installed and in dwelling units that have attached garages. (R314)

(see #13 under General Notes)
- Exhaust Fan with bourscoort or high efficacy lighting
1. Fans shall be ENERGY STAR compliant and be ducted to terminate to the outside of the building
2. Fans, not functioning as a component of a whole house ventilation system, must be controlled by a humidity control.

Door and Window Symbols

- Existing Window
- Remove/Demo Window
- Reuse/Relocate Window
- Existing Door
- Remove/Demo Door
- Reuse/Relocate Door
- Existing Wall
- Demo Wall
- Area of Demo/Removal
- New Wall
- New Concrete Block Wall / Foundation Wall

Notes:

- 1. Floor heating in New Master Bath

New First Floor Plan

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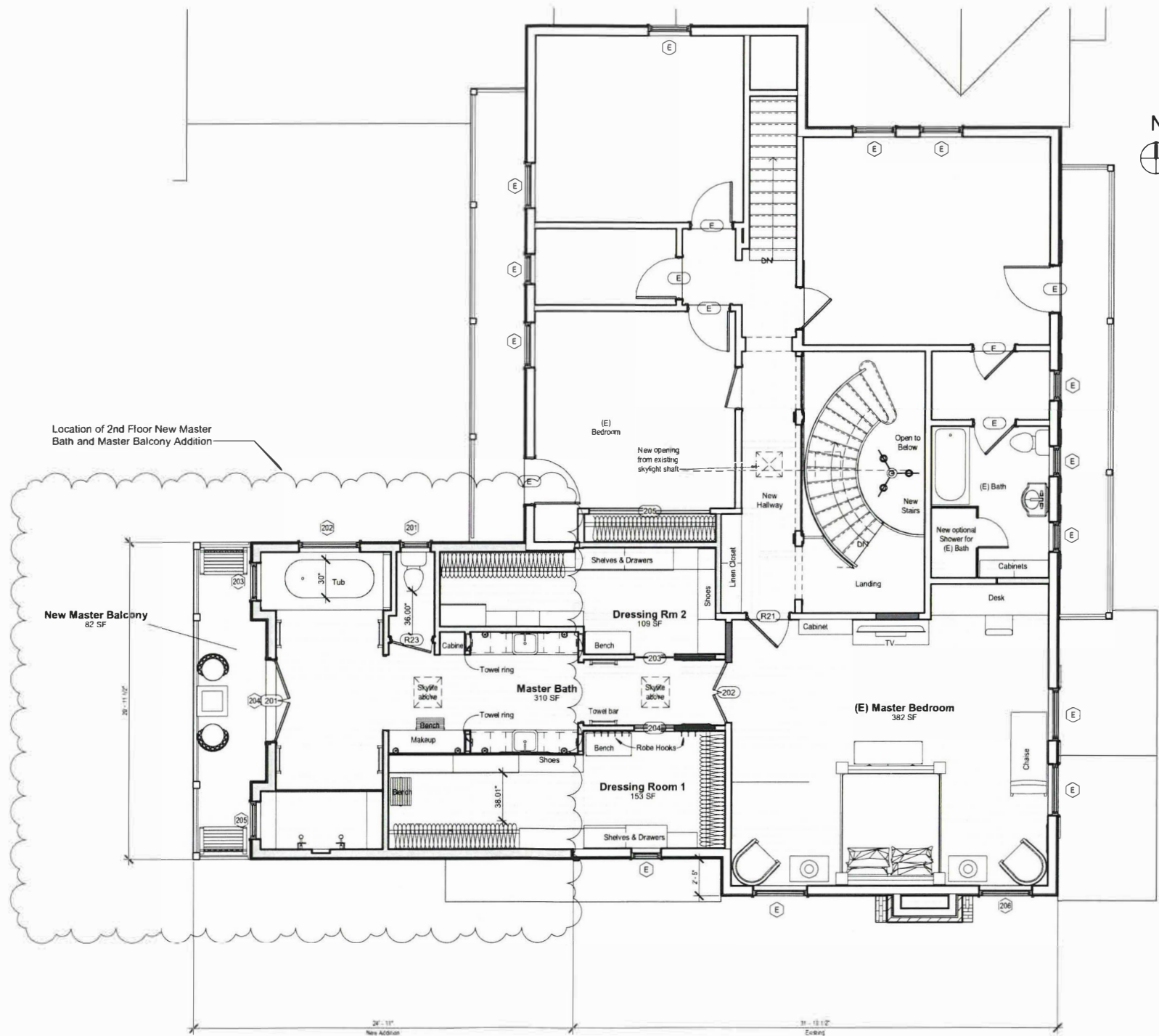
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Date

1/4" = 1'-0"

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A201



Symbol Legend

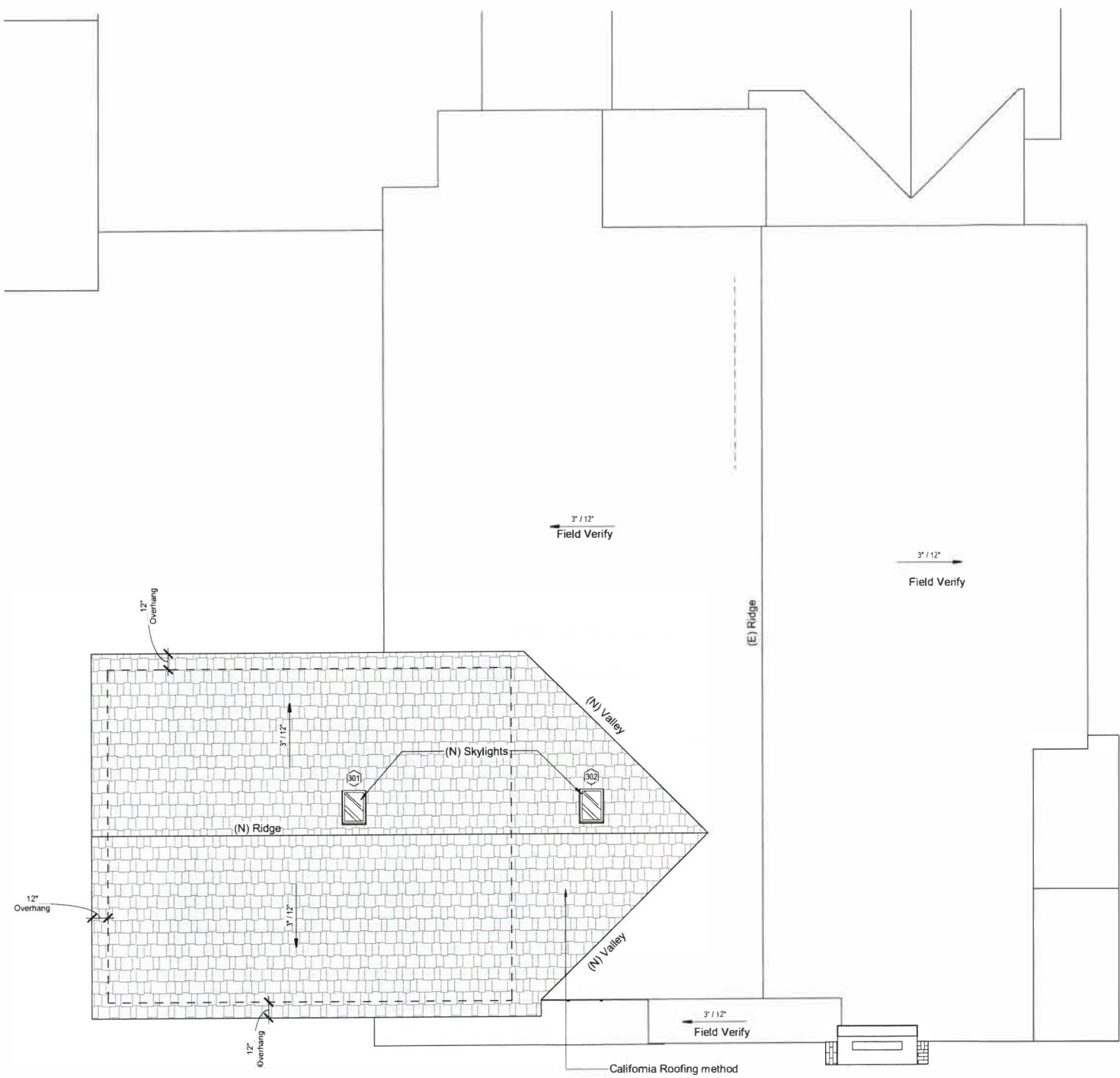
- Floor Drain
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Door and Window Symbols

- Existing Window
- Remove/Demo Window
- Reuse/Relocate Window
- Existing Door
- Remove/Demo Door
- Reuse/Relocated Door
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- Demo Wall
- Area of Demo/Removal
- New Wall
- New Concrete Block Wall / Foundation Wall

Notes:

- 1. Floor heating in New Master Bath





New Synthetic Wood Shakes
Aged BRAVA Composite Cedar Shakes



New Synthetic Wood Shakes
Aspen Composite Cedar Shakes



New Synthetic Wood Shakes
Sierra BRAVA Composite Cedar

Roof Legend



New Roof Shingle Color and
Material to match existing roof
shingles



(E) Synthetic Wood Shakes



(E) Real Wood Shakes



(E) Roof Wood Shakes

Match New slope to existing roof slope.
Contractor to Field Verify existing slope

Door Schedule								
Mark	Type Mark	Width	Height	Security	Fire Rating	Function	Sill	Hardware
1st Floor Level								
102	A	144.00	84.00	Security Lock		Exterior		
104	F	32.00	80.00			Interior		
105	F	32.00	80.00			Interior		
106	F	32.00	80.00			Interior		
R	AA	30.00	80.00			Interior		
2nd Floor								
201	B	64.00	84.00	Security Lock		Exterior		
202	C	48.00	80.00	Privacy		Interior		
203	G	32.00	80.00			Interior		
204	G	32.00	80.00			Interior		
205	D	96.00	80.00			Interior		
R21	F	32.00	80.00	Privacy		Interior		
R23	F	32.00	80.00	Privacy		Interior		
T	F	32.00	80.00			Interior		

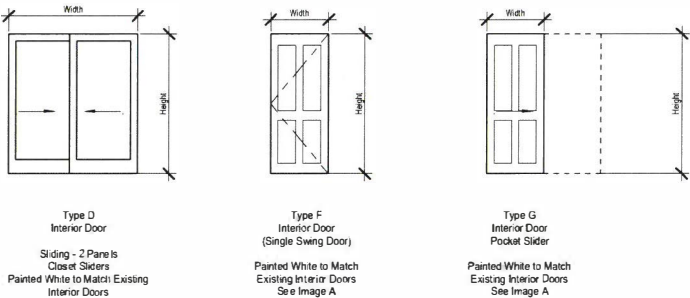
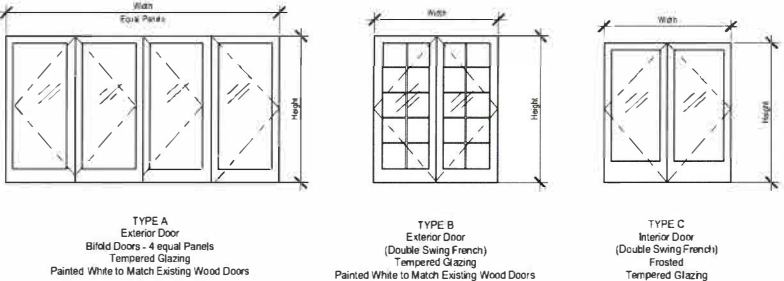


Image A
Photo of Existing 4 paneled door,
painted white, 2.5\"/>

1 Door Types
1/4\"/>



Existing Windows and Doors do not have exterior casings, minimal window sill projection and about 1.5\"/>



Image B
True Divided Lites

Window Schedule						
Mark	Type Mark	Width	Height	Sill Height	Comments	Glass
2nd Floor						
201	C	24.00	40.00	46.00		
202	A	48.00	54.00	30.00		Tempered
203	B	30.00	38.00	46.00		Tempered
204	D	64.00	18.94	90.00		
205	B	30.00	38.00	46.00		Tempered
206	A	42.00	54.00	26.00		

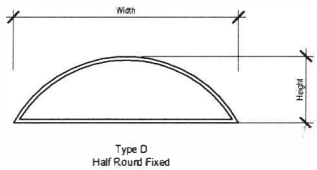
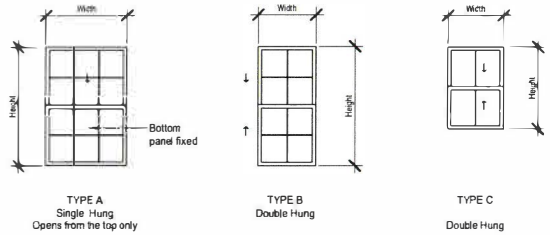
2nd Floor Top Plate						
Mark	Type Mark	Width	Height	Sill Height	Comments	Glass
301	VSE	16.00	24.00			
302	VSE	16.00	24.00			

All Windows and Glazed doors shall be dual glazed
True Divide Lites
Painted White to Match Existing

Window Efficiency Factor - Wood Doors and Windows by Centor, Marvin or Comparable

U = 38 or better
SHGC = .31 or better

The NFRC temporary label displayed on windows must remain on the unit
until final inspection has been completed.



Velux Skylights (See Sheet A601 for LARR)
Skylights and sloped glazing shall comply with
Section R308.6.

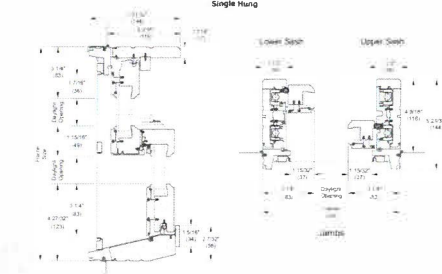
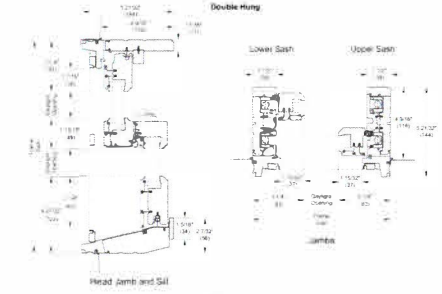
- Model VSE
Electric Powered Venting Deck Mount
- Model VS
Manual Venting Deck Mount
- Model FS
Fixed Deck Mount

2 Window Types
1/4\"/>

Clad Ultimate Double Hung - Next Generation 2.0

Section Details: Operating

Scale: 3/4\"/>



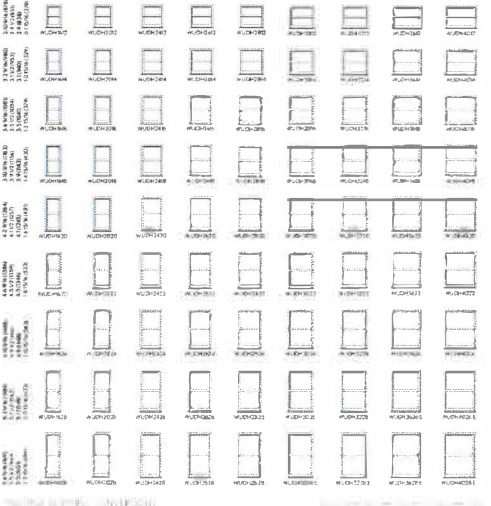
CUDHG 2.0-22

Marvin Architectural Detail Manual

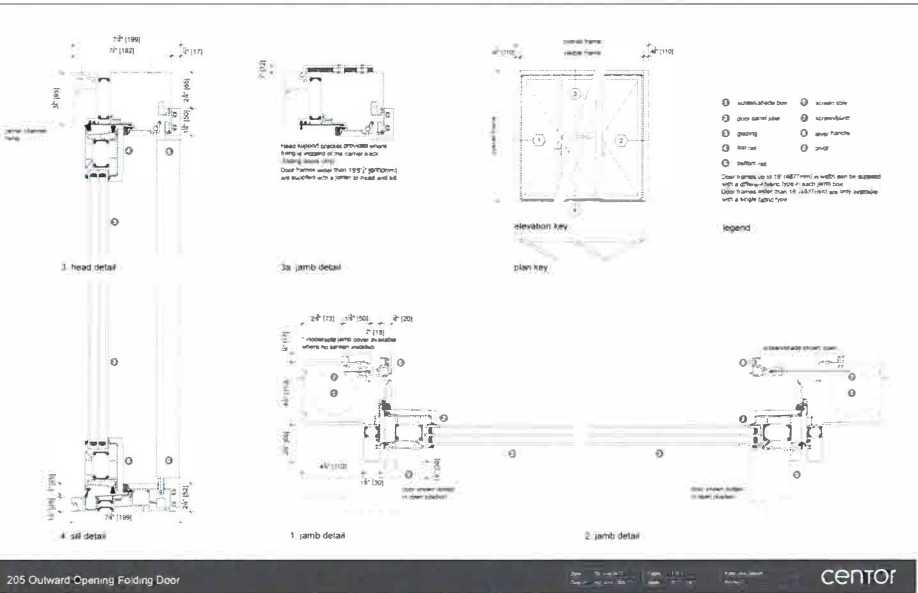
Marvin or Comparable

WOOD ULTIMATE DOUBLE HUNG

Model	Width	Height	Weight	Material	Finish	Hardware
WU-1000	1000	1000	1000	Wood	White	Standard
WU-1200	1200	1200	1200	Wood	White	Standard
WU-1400	1400	1400	1400	Wood	White	Standard
WU-1600	1600	1600	1600	Wood	White	Standard
WU-1800	1800	1800	1800	Wood	White	Standard
WU-2000	2000	2000	2000	Wood	White	Standard
WU-2200	2200	2200	2200	Wood	White	Standard
WU-2400	2400	2400	2400	Wood	White	Standard
WU-2600	2600	2600	2600	Wood	White	Standard
WU-2800	2800	2800	2800	Wood	White	Standard
WU-3000	3000	3000	3000	Wood	White	Standard
WU-3200	3200	3200	3200	Wood	White	Standard
WU-3400	3400	3400	3400	Wood	White	Standard
WU-3600	3600	3600	3600	Wood	White	Standard
WU-3800	3800	3800	3800	Wood	White	Standard
WU-4000	4000	4000	4000	Wood	White	Standard
WU-4200	4200	4200	4200	Wood	White	Standard
WU-4400	4400	4400	4400	Wood	White	Standard
WU-4600	4600	4600	4600	Wood	White	Standard
WU-4800	4800	4800	4800	Wood	White	Standard
WU-5000	5000	5000	5000	Wood	White	Standard
WU-5200	5200	5200	5200	Wood	White	Standard
WU-5400	5400	5400	5400	Wood	White	Standard
WU-5600	5600	5600	5600	Wood	White	Standard
WU-5800	5800	5800	5800	Wood	White	Standard
WU-6000	6000	6000	6000	Wood	White	Standard
WU-6200	6200	6200	6200	Wood	White	Standard
WU-6400	6400	6400	6400	Wood	White	Standard
WU-6600	6600	6600	6600	Wood	White	Standard
WU-6800	6800	6800	6800	Wood	White	Standard
WU-7000	7000	7000	7000	Wood	White	Standard
WU-7200	7200	7200	7200	Wood	White	Standard
WU-7400	7400	7400	7400	Wood	White	Standard
WU-7600	7600	7600	7600	Wood	White	Standard
WU-7800	7800	7800	7800	Wood	White	Standard
WU-8000	8000	8000	8000	Wood	White	Standard
WU-8200	8200	8200	8200	Wood	White	Standard
WU-8400	8400	8400	8400	Wood	White	Standard
WU-8600	8600	8600	8600	Wood	White	Standard
WU-8800	8800	8800	8800	Wood	White	Standard
WU-9000	9000	9000	9000	Wood	White	Standard
WU-9200	9200	9200	9200	Wood	White	Standard
WU-9400	9400	9400	9400	Wood	White	Standard
WU-9600	9600	9600	9600	Wood	White	Standard
WU-9800	9800	9800	9800	Wood	White	Standard
WU-10000	10000	10000	10000	Wood	White	Standard



Model	Width	Height	Weight	Material	Finish	Hardware
WU-1000	1000	1000	1000	Wood	White	Standard
WU-1200	1200	1200	1200	Wood	White	Standard
WU-1400	1400	1400	1400	Wood	White	Standard
WU-1600	1600	1600	1600	Wood	White	Standard
WU-1800	1800	1800	1800	Wood	White	Standard
WU-2000	2000	2000	2000	Wood	White	Standard
WU-2200	2200	2200	2200	Wood	White	Standard
WU-2400	2400	2400	2400	Wood	White	Standard
WU-2600	2600	2600	2600	Wood	White	Standard
WU-2800	2800	2800	2800	Wood	White	Standard
WU-3000	3000	3000	3000	Wood	White	Standard
WU-3200	3200	3200	3200	Wood	White	Standard
WU-3400	3400	3400	3400	Wood	White	Standard
WU-3600	3600	3600	3600	Wood	White	Standard
WU-3800	3800	3800	3800	Wood	White	Standard
WU-4000	4000	4000	4000	Wood	White	Standard
WU-4200	4200	4200	4200	Wood	White	Standard
WU-4400	4400	4400	4400	Wood	White	Standard
WU-4600	4600	4600	4600	Wood	White	Standard
WU-4800	4800	4800	4800	Wood	White	Standard
WU-5000	5000	5000	5000	Wood	White	Standard
WU-5200	5200	5200	5200	Wood	White	Standard
WU-5400	5400	5400	5400	Wood	White	Standard
WU-5600	5600	5600	5600	Wood	White	Standard
WU-5800	5800	5800	5800	Wood	White	Standard
WU-6000	6000	6000	6000	Wood	White	Standard
WU-6200	6200	6200	6200	Wood	White	Standard
WU-6400	6400	6400	6400	Wood	White	Standard
WU-6600	6600	6600	6600	Wood	White	Standard
WU-6800	6800	6800	6800	Wood	White	Standard
WU-7000	7000	7000	7000	Wood	White	Standard
WU-7200	7200	7200	7200	Wood	White	Standard
WU-7400	7400	7400	7400	Wood	White	Standard
WU-7600	7600	7600	7600	Wood	White	Standard
WU-7800	7800	7800	7800	Wood	White	Standard
WU-8000	8000	8000	8000	Wood	White	Standard
WU-8200	8200	8200	8200	Wood	White	Standard
WU-8400	8400	8400	8400	Wood	White	Standard
WU-8600	8600	8600	8600	Wood	White	Standard
WU-8800	8800	8800	8800	Wood	White	Standard
WU-9000	9000	9000	9000	Wood	White	Standard
WU-9200	9200	9200	9200	Wood	White	Standard
WU-9400	9400	9400	9400	Wood	White	Standard
WU-9600	9600	9600	9600	Wood	White	Standard
WU-9800	9800	9800	9800	Wood	White	Standard
WU-10000	10000	10000	10000	Wood	White	Standard



Integrated Door finishes



Door and Window Schedule

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tel: 424-666-1599

A\$00

Scale: 1/4\"/>

Date:

Additions Examples (2 of 2)

OWNER: *[Faint, illegible text]*

DESIGNER: JON ROBERTS
11982 MAYFIELD AVE.
LOS ANGELES, CA 90049
310 745 6781

LEGAL DESCRIPTION	AREAS (R.F.A.)	SQ.FT.
APN: 5052022023	HOUSE: -	1,265
TRACT: CRESTMOORE	(N) ADDITION -	334
MAP BOOK: M B 7-72	PROPOSED TOTAL -	1,599
BLOCK: NONE	REMODEL -	270
LOT: 75		
ZONE: R1-1-O-HPOZ		
LOT AREA: 5,206.5 (sq ft)		
TYPE: VB		
	<u>LOT COVERAGE</u>	<u>SQ.FT.</u>
	EXISTING +	1,837
	PROPOSED +	2,204
	TOTAL INCREASE +	19,984

BUILDING COVERAGE CALCULATION	
BUILDING	BLDG COVERAGE (SQ.FT.)
HOUSE:	1.837
(N) ADDITION	367
TOTAL	2.204
20% PERCENT THRESHOLD FOR CWC.	TOTAL x 20% =
MAX. ADDITION THRESHOLD FOR CWC.	367.4

THE PROPOSED WORK IS TO REMODEL AN EXISTING KITCHEN AND BEDROOM (270 SF.) AND TO ADD A NEW MASTER BEDROOM, MASTER CLOSET AND MASTER BATHROOM. THE ADDITION WILL ADD 334 SF.

THE NEW WORK WILL INCREASE THE LOT COVERAGE BY AN ADDITIONAL 24.35%. THE WORK DOES NOT INCREASE THE EXISTING HEIGHT OF THE BUILDING AND IS SET BACK FROM THE SIDE OF THE EXISTING HOUSE.

THERE IS AN EXISTING STORAGE SHED AT THE REAR OF THE PROPERTY AND THE PLAN IS TO REMOVE THIS STRUCTURE.

CS-1 COVERSHEET / PROPOSED SITEPLAN
CS-2 EXISTING SITE / PHOTOS
GN-1 GENERAL NOTES
A-1.0 FLOOR PLANS
A-2.0 ELEVATIONS
A-2.1 ELEVATIONS
A-3.0 SCHEDULES
A-4.0 PLANNING SHEET
A-5.0 MATERIALS

SITE PLAN / COVER SHEET

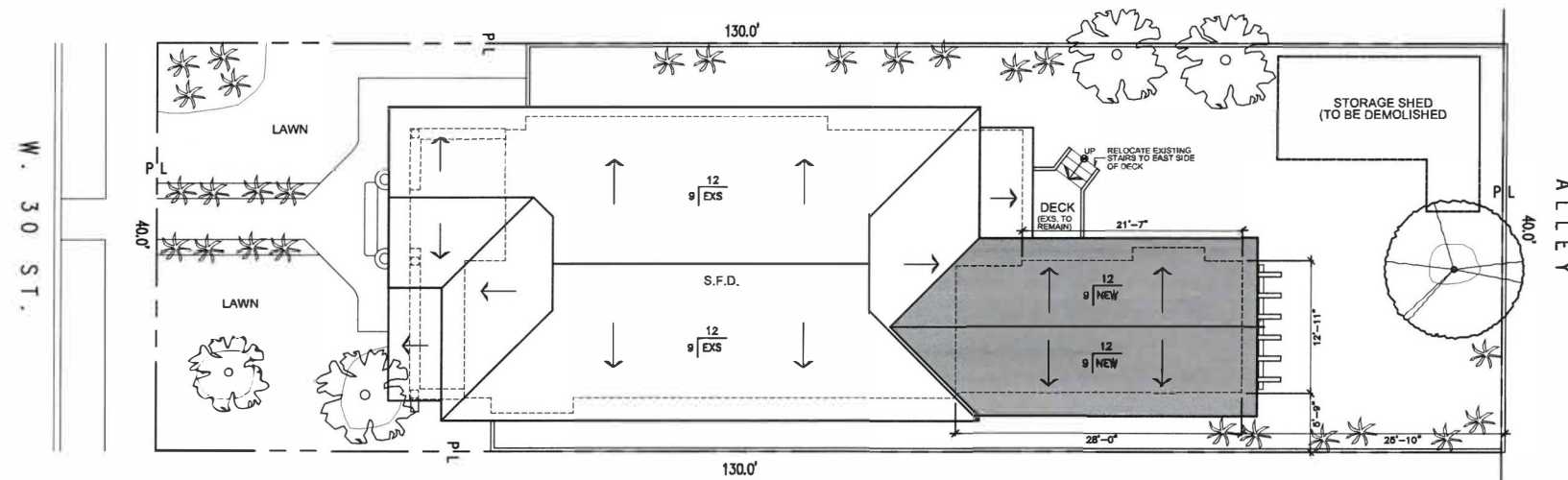
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Scale: _____

Drawn by: JR

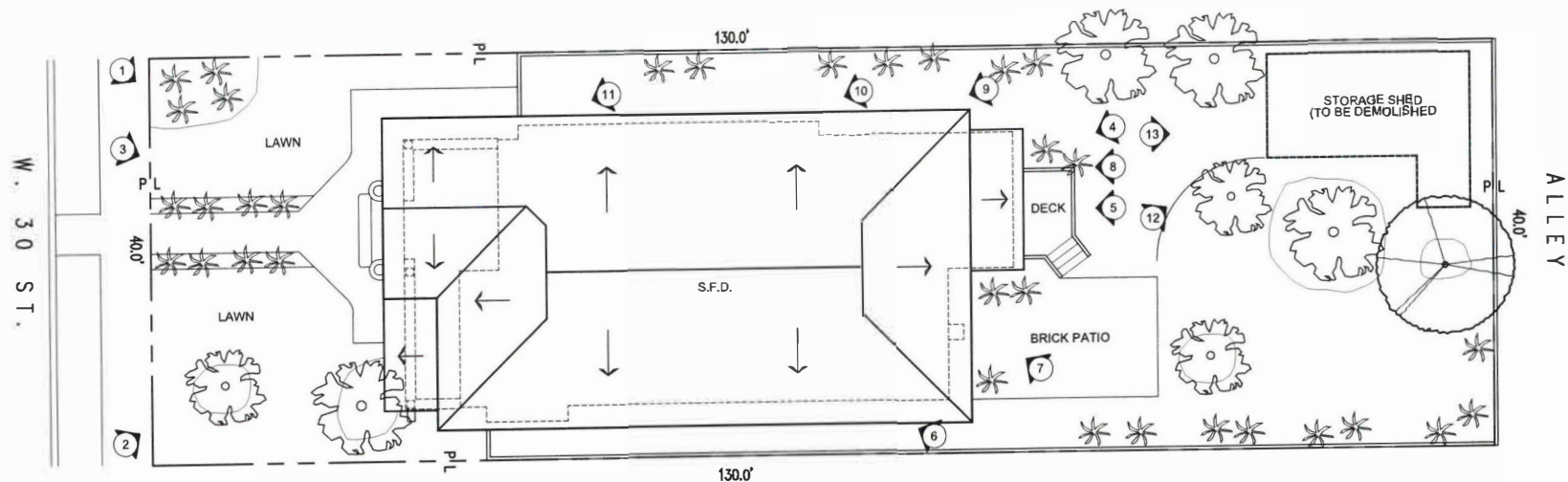
Job No.:

Sheet No. 3

CS-1

PROPOSED SITE PLAN / ROOF PLAN

Scale: 1/8" = 1'-0"



EXISTING SITE PLAN / ROOF PLAN

Scale: 1/8" = 1'-0"



PHOTO 1

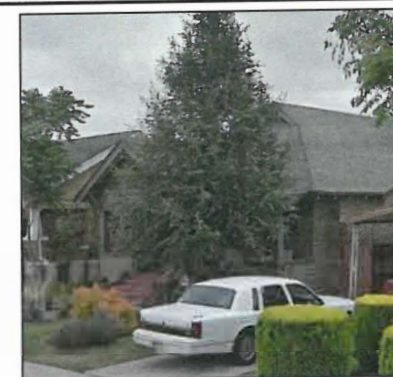


PHOTO 2



PHOTO 3



PHOTO 4



PHOTO 5



PHOTO 6



PHOTO 7



PHOTO 8



PHOTO 9



PHOTO 10



PHOTO 11



PHOTO 12



PHOTO 13

GENERAL

1. All details, sections and notes shown on drawings are intended to be typical and shall apply to similar situations elsewhere unless noted otherwise. Where specific dimensions, details or design intent cannot be determined, consult Architect before proceeding with work.
2. The contractor shall visit the site and be knowledgeable of conditions thereon. He shall investigate, verify and be responsible for all conditions of the project and shall notify the owner of any conditions requiring modification before proceeding with the work.
3. The contractor shall be responsible for accurate placement of building on site.
4. All dimensions have preference over scale.
5. Dimensions are considered to be NOMINAL unless otherwise noted. All measurements are to be finished surface unless otherwise noted.
6. Contractor shall coordinate and verify with architectural, mechanical, plumbing and electrical drawings for size and location of wall, floor and roof openings, wall offsets, provisions for present and future equipment, attachment and mounting of fixtures, inserts and other embedded hardware, stair details, pipe, vent, duct and other openings, and other details, whether or not shown on the structural drawings.
7. Where discrepancies exist between drawings of various trades, architectural drawings shall generally be assumed to govern. Consult Architect before proceeding with work.
8. All design and construction shall be in accordance with the 2015 Edition of the City of Los Angeles Building Code.
9. All materials and workmanship shall conform to the requirements of all applicable codes and governing authorities.
10. All material and workmanship shall be in accordance with the applicable standards and specification of the National Associations of the various trades.
11. All dissimilar metals shall be effectively isolated from each other to prevent molecular breakdown (galvanic action).
12. Provide adequate shores and bracing to support all construction loads.
13. Slope all finish grades and flatwork away from building.
14. Provide 10 square inches of ventilation per 10 square feet of enclosed attic.
16. Skylights and sloped glazing shall comply with Section R308.6.
17. Lots shall be graded to drain surface water away from foundation walls with a minimum fall of 6 inches within the first 10 feet (R401.3).
18. Damp proofing, where required, shall be installed with materials and as required in Section R406.1.
19. Provide anti-Graffiti finish within the first 9 feet, measured from grade, at exterior walls and doors. Exception: Maintenance of building affidavit recorded by the owner to covenant and agree with the City of Los Angeles to remove any graffiti within 7-days of the graffiti being applied.
20. Protection of wood and wood based products from decay shall be provided in the locations specified per Section R317.1 by the use of naturally durable wood that is preservative-treated in accordance with AWWA U1 for the species, product, preservative and end use. Preservatives shall be listed in Section 4 of AWWA U1.

SAFETY NOTES

1. The Contractor shall be responsible to comply with the pertinent sections, as they apply to this project of the "CONSTRUCTION SAFETY ORDERS" issued by the State of California, latest edition.
2. The Architect, structural engineer, and the owner do not accept any responsibility for the contractor's failure to comply with these safety orders.
3. The Contractor shall be responsible for adequate design and construction of all forms and shoring required.
4. Glazing in Hazardous locations shall be tempered.
5. The exterior door must open over a landing not more than 1" below the threshold. Exception: Providing the door does not swing over the landing, landing shall be not more than 8" below the threshold.
6. Draft stops shall be provided within a concealed floor-ceiling assembly formed of combustible construction.
7. Draft stops shall be provided within attics, mansards, overhangs and similar concealed spaces formed of combustible construction. (3000 sq. ft. & 60' max.)

MECHANICAL

1. Use copper water supply lines throughout. No plastic to be used.
2. Provide 50 square inches of vent area at top and bottom of gas water heater compartment.
3. Smoke detectors shall be installed in all bedrooms and hallways to bedrooms. Detectors shall be electrically wired with battery back up.
4. Forced air unit per Uniform Mechanical Code.
5. Water heater must be strapped to wall (Sec. 507.3, UPC)
6. Provide rain gutters and convey rainwater to the street in an approved device.
7. Heater shall be capable of maintaining a minimum room temperature of 68 F at a point 3 feet above the floor and 2 feet from exterior walls in all habitable rooms at the design temperature.

ELECTRICAL (Latest NEC)

1. Use Romex cable or approved equivalent.
2. Ground fault interrupter required for all exterior outlets, and all temporary panels used for construction.
3. All underground utilities to be pulled in approved conduit.
4. Telephone line to be in approved type conduit.
5. Temporary electrical panels to be braced prior to inspection.

ENERGY INSULATION STANDARDS

1. Certificate of compliance with Title 24 of energy standards signed by the insulation contractor and general contractor shall be prominently posted on the site.
2. All steam and steam condensate return piping and all continuously circulating domestic heating and hot water piping shall be insulated as required by the plumbing division.
3. All openings (E)doors and windows) in energy insulated walls shall be properly weather-stripped or gasketed to limit air infiltration.

SECURITY

- All openings marked are security openings, and the following notes shall apply:
1. Swinging doors:
- a. Door stops in-swinging doors shall be of one-piece construction with the jamb or joined by Rabbet to the jamb.
- b. All pin-type hinges which are accessible from outside the secured area when the door is closed shall have non-removable hinge pins. In addition, they shall have minimum 0.25 inches diameter steel jamb stud with 0.25 inches minimum projection unless the hinges are shaped to prevent removal of the door if the hinge pins are removed.
- c. The strike plate for latches and the holding device for projecting deadbolts in wood construction shall be secured to the jamb and the wall framing with screws not less than 2-1/2" in length.
- d. Deadbolts shall contain hardened inserts.
- e. Straight deadbolts shall have a minimum throw of 1" and an embedment of not less than 5/8".
- f. A hookshaped or an expanding-lug deadbolt shall have a minimum throw of 1".
- g. Wood flush type doors shall be 1-3/8" thick min. with solid core construction.
- h. Glass doors shall have fully tempered glass complying with the latest codes.
2. Cylinder guards shall be installed on all cylinder locks whenever the cylinder projects beyond the face of the door or is otherwise accessible to gripping tools.
3. Openable windows shall be provided with substantial locking devices.
4. All exterior doors and windows are security openings.
5. The inactive leaf of double doors shall be protected with a soffit strike and flush bolt.
6. The use of a locking system which consists of a deadlocking latch operated by a door knob and a deadbolt operated by a non-removable thumb turn which is independent of the deadlocking latch and which must be separately operated, shall not be considered as a system which requires special knowledge or effort when used in dwelling units. The doorknob and the thumb turn which operates the deadbolt shall not be separated by more than 8 inches.
7. Wood panel type doors must have panels at least 9/16 in. thick with shaped portions not less than 1/4 in. thick & individual panels must be no more than 300 sq. in. in area. Mullions shall be considered a part of adjacent panels except except mullions not over 18 in. long may have an overall width of not less than 2 inches. Stiles and rails shall be of solid lumber in thickness with overall dimensions of not less than 1 3/8 in. and 3 in. in width.
8. Sliding doors shall be provided with a device in the upper channel of the moving panel to prohibit raising and removing of the moving panel in the closed or partially open position.
9. Metal or wooden overhead or sliding doors shall be secured with a cylinder lock, padlock with a min. 9/32" diameter hardened steel shackle and bolted, hardened steel hasps, metal slide board, bolt or equivalent device unless secured electrically operated.
10. Glazed openings within 40" of the door lock when the door is in the closed position, shall be fully tempered glass or approved burglary resistant material, or shall be protected by metal bars, screens or grilles having a maximum opening of 2". The provisions of the section shall not apply to viewports or windows which do not exceed 2" in their greatest dimensions.

ADDITIONAL NOTES

1. Provide 70 inch high non-absorbent wall adjacent to shower and approved shatter resistant materials for shower enclosure. [1115B.2 & 2406.3(5)]
2. Provide an approved spark arrester for the chimney of a fireplace, stove, or barbecue.
3. A corrosion resistant weep screed is required below the stucco a min. of 4" above earth or 2" above paved area.
4. The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook up. The construction shall not be within ten feet of any power lines whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
5. An approved seismic Gas Shutoff Valve will be installed on the fuel gas line on the down stream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping. (Per Ordinance 170,158) Separate plumbing permit is required.
6. Provide ultra low flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
7. Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section 1205.2 or shall be provided with artificial light that is adequate to provide an average illumination of 10 foot-candles over the area of the room at a height of 30 inches above the floor level. (1205.1 and 1205.3)
8. Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposal system.
9. Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply.
10. Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor.
11. Unit Skylights shall be labeled by a LA City Approved Labeling Agency. Such label shall state the approved labeling agency name, product designation and performance grade rating (research report not required).
12. Smoke detectors shall be provided for all dwelling units intended for human occupancy, upon the owner's application for a permit for alterations, repairs, or additions, exceeding one thousand dollars (\$1,000).
13. Where a permit is required for alterations, repairs or additions exceeding one thousand dollars (\$1,000), existing dwellings or sleeping units that have attached garages or fuel-burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.1. Carbon monoxide alarms shall only be required in the specific dwelling unit or sleeping unit for which the permit was obtained. (R315.2)
14. Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section R303.1 or shall be provided with artificial light that is adequate to provide an average illumination of 6 foot-candles over the area of the room at a height of 30 inches above the floor level. (R303.1)
15. A copy of the evaluation report and/or conditions of listing shall be made available at the job site.

16. For existing pool on site, provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 secs. max.) for a single opening. The deactivation switch shall be at least 54" above the floor. (6109 of LABC)
17. For existing pool on site, provide anti-entrapment cover meeting the current ASTM or ASME for the suction outlets of the swimming pool, toddler pool and spa for single family dwellings per Assembly Bill (AB) No. 2977. (3162B)
18. Automatic garage door openers, if provided, shall be listed in accordance with UL 325. (R309.4)
19. Smoke detectors shall be provided for all dwelling units intended for human occupancy, upon the owner's application for a permit for alterations, repairs, or additions, exceeding one thousand dollars (\$1,000). (R314.6.2)
20. Where a permit is required for alterations, repairs or additions exceeding one thousand dollars (\$1,000), existing dwellings or sleeping units that have attached garages or fuel-burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.2. Carbon monoxide alarms shall only be required in the specific dwelling unit or sleeping unit for which the permit was obtained

PLAN CHECK NOTES

1. Glazing in the following locations shall be safety glazing conforming to the human impact loads of Section R308.3 (see exceptions) (R308.4):
- a. Fixed and operable panels of swinging, sliding and bi-fold door assemblies.
- b. Glazing in an individual fixed or operable panel adjacent to a door where the nearest vertical edge is within a 24-inch arc of either vertical edge of the door in a closed position and whose bottom edge is less than 60 inches above the floor or walking surface.
- c. Glazing in an individual fixed or operable panel that meets all of the following conditions:
- 1) Exposed area of an individual pane greater than 9 square feet.
- 2) Bottom edge less than 18 inches above the floor.
- 3) Top edge greater than 36 inches above the floor.
- 4) One or more walking surfaces within 36 inches horizontally of the glazing.
- d. Glazing in railings.
- e. Glazing in enclosures for or walls facing hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers where the bottom edge of the glazing is less than 60 inches measured vertically above any standing or walking surface.
- f. Glazing in walls and fences adjacent to indoor and outdoor swimming pools, hot tubs and spas where the bottom edge of the glazing is less than 60 inches above a walking surface and within 60 inches, measured horizontally and in a straight line, of the water's edge.
- g. Glazing where the bottom exposed edge of the glazing is less than 36 inches above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps.
- h. Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36 inches above the landing and within 60 inches horizontally of the bottom tread.
2. Lots shall be graded to drain surface water away from foundation walls with a minimum fall of 6 inches within the first 10 feet (R401.3).
3. Dampproofing, where required, shall be installed with materials and as required in Section R406.1.
4. Buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. (R319.1)
5. Provide anti-Graffiti finish within the first 9 feet, measured from grade, at exterior walls and doors. Exception: Maintenance of building affidavit is recorded by the owner to covenant and agree with the City of Los Angeles to remove any graffiti within 7-days of the graffiti being applied. (6306)

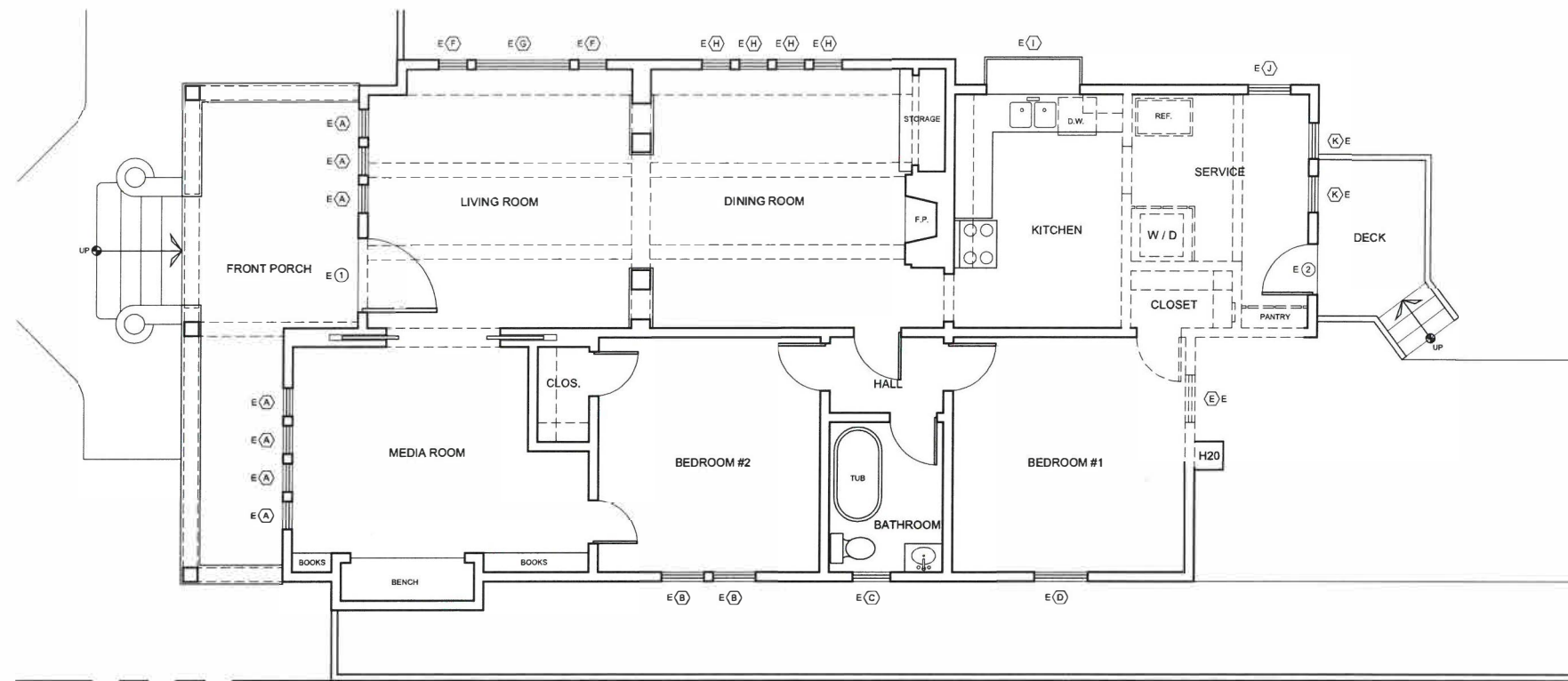
Date: 02/21/2018

Scale:

Drawn by: JR

Job No.:

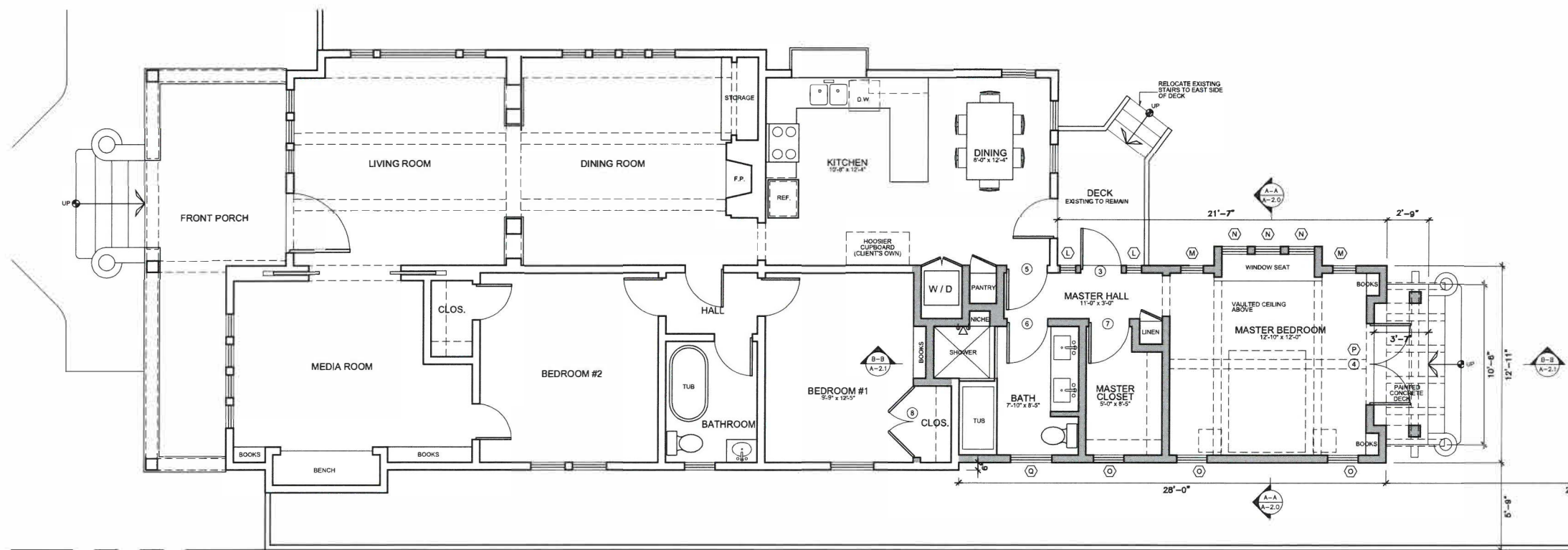
Sheet No: GN1



- LEGEND**
- EXISTING WALL TO BE REMOVED
 - EXISTING WALL TO REMAIN
 - NEW WALL
 - 120V HARDWIRED SMOKE DETECTOR WITH BATTERY BACK UP
 - 120V HARDWIRED CARBON MONOXIDE DETECTOR WITH BATTERY BACK UP

EXISTING / DEMO FLOOR PLAN

Scale: 1/4" = 1'-0"



PROPOSED FLOOR PLAN

Scale: 1/4" = 1'-0"



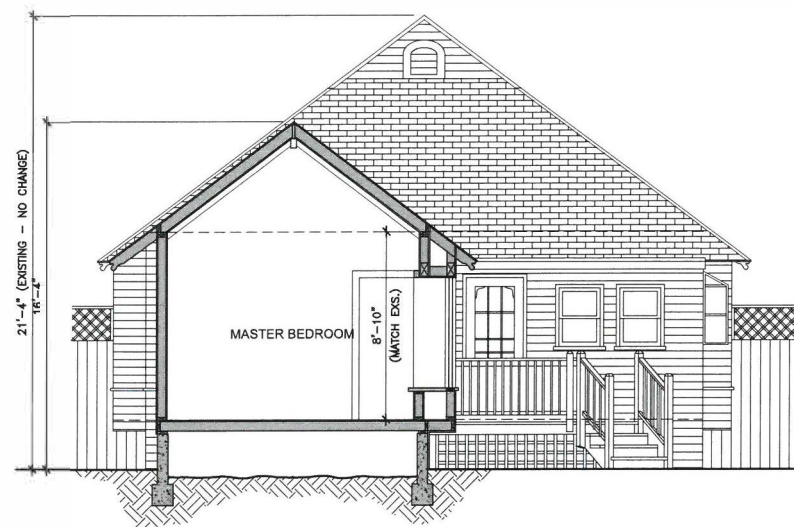
PROPOSED SOUTH ELEVATION

Scale: 1/4" = 1'-0"



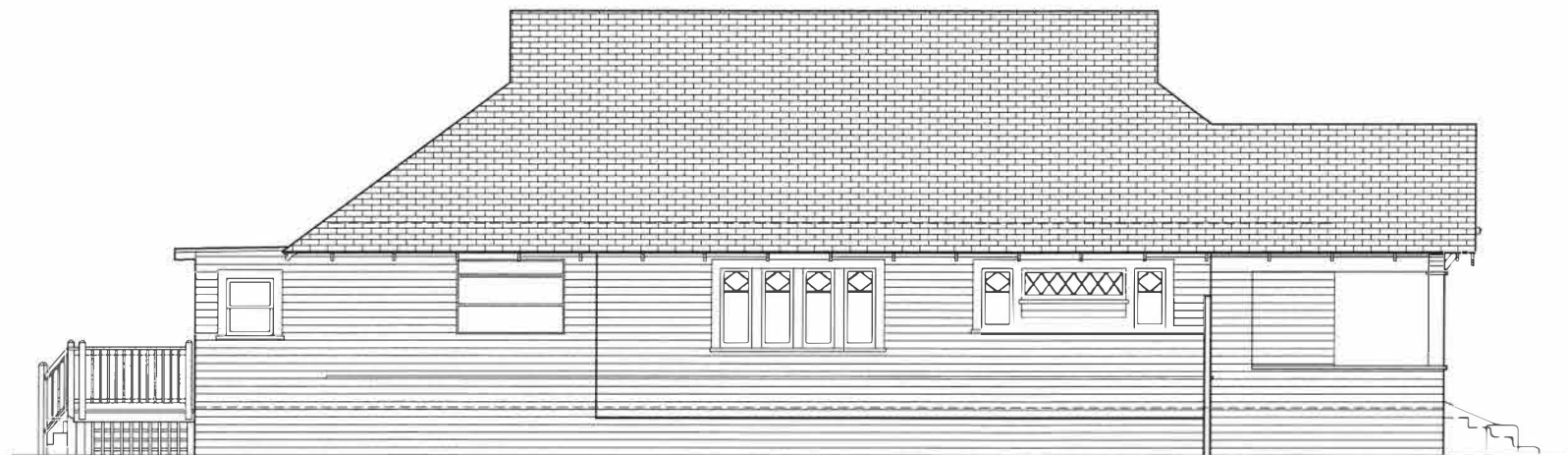
EXISTING SOUTH ELEVATION

Scale: 1/4" = 1'-0"



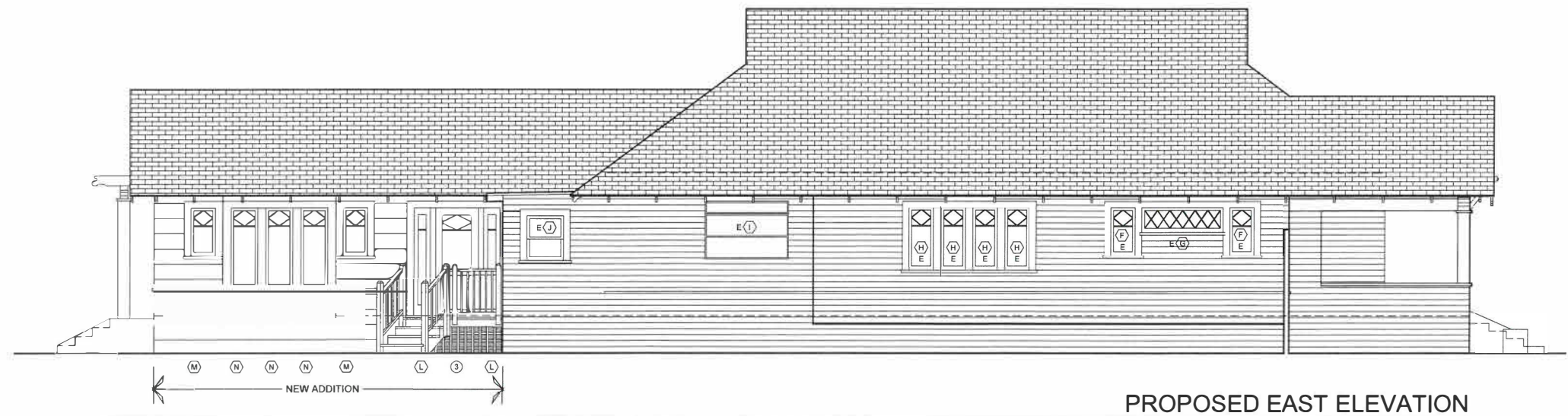
SECTION A-A

Scale: 1/4" = 1'-0"



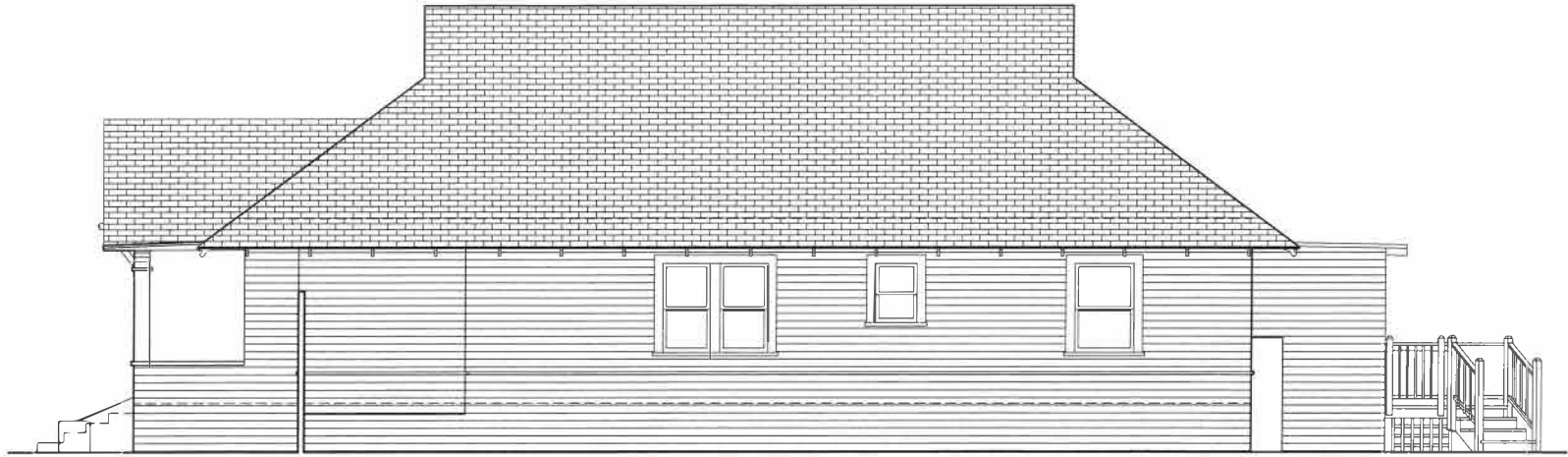
EXISTING EAST ELEVATION

Scale: 1/4" = 1'-0"



PROPOSED EAST ELEVATION

Scale: 1/4" = 1'-0"



EXISTING WEST ELEVATION

Scale: 1/4"= 1'-0"



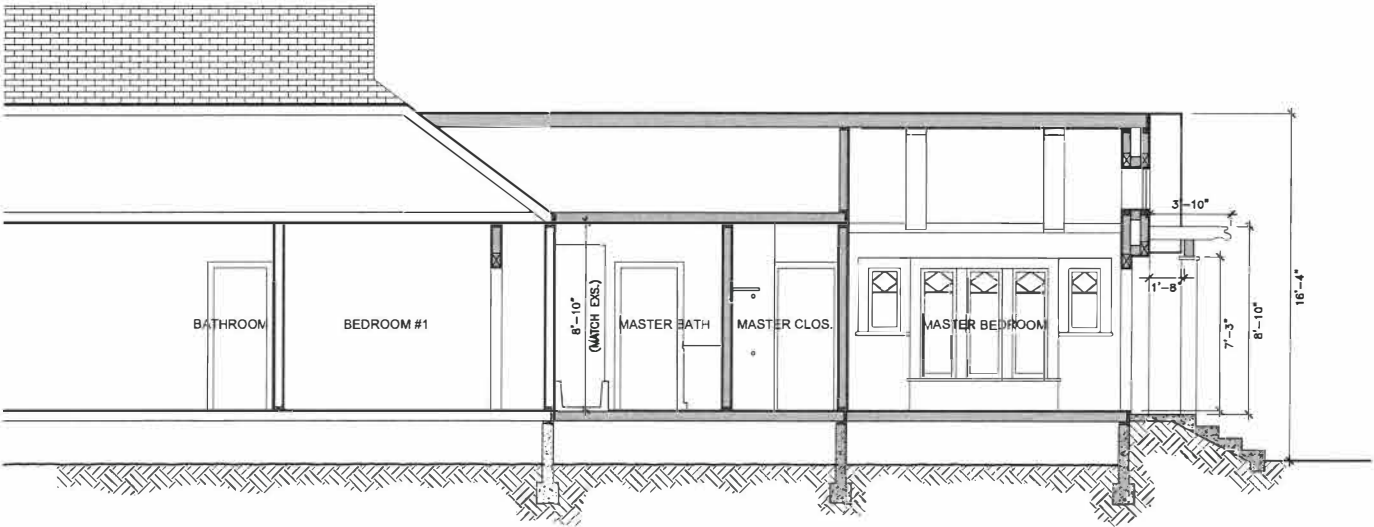
EXISTING NORTH ELEVATION

Scale: 1/4"= 1'-0"
(NO CHANGE)



PROPOSED WEST ELEVATION

Scale: 1/4"= 1'-0"



SECTION B-B

Scale: 1/4"= 1'-0"

**JAMES HARDIE
HARDIEPLANK LAP SIDING - 12" STRIPS (SMOOTH)
(INSTALLED PER MANUFACTURER'S INSTRUCTIONS)**

SIDING DETAIL	SCALE	1
	N.T.S.	

DOOR & WINDOW TYPES

Door 1E Door 2E

WINDOW SCHEDULE														
SYMB.	DOOR TYPE		SIZE		MATERIAL FRAME		MATERIAL SASH		GLAZING		LITES PER PANE		NOTES	
	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED		
(A)	E	FIXED	TO REMAIN	1'-6" x 4'-5"	TO REMAIN	WOOD	TO REMAIN	WOOD	TO REMAIN	SINGLE	TO REMAIN	6	TO REMAIN	NO CHANGE
(B)	E	DBL HUNG	TO REMAIN	2'-3" x 4'-8"	TO REMAIN	WOOD	TO REMAIN	WOOD	TO REMAIN	SINGLE	TO REMAIN	1	TO REMAIN	NO CHANGE
(C)	E	DBL HUNG	TO REMAIN	2'-0" x 2'-10"	TO REMAIN	WOOD	TO REMAIN	WOOD	TO REMAIN	SINGLE	TO REMAIN	1	TO REMAIN	NO CHANGE
(D)	E	DBL HUNG	TO REMAIN	2'-10" x 4'-4"	TO REMAIN	WOOD	TO REMAIN	WOOD	TO REMAIN	SINGLE	TO REMAIN	1	TO REMAIN	NO CHANGE
(E)	E	DBL HUNG	TO REMAIN	2'-6" x 4'-4"	TO REMAIN	WOOD	TO REMAIN	WOOD	TO REMAIN	SINGLE	TO REMAIN	1	TO REMAIN	NO CHANGE
(F)	E	FIXED	TO REMAIN	1'-6" x 2'-11"	TO REMAIN	WOOD	TO REMAIN	WOOD	TO REMAIN	SINGLE	TO REMAIN	6	TO REMAIN	NO CHANGE
(G)	E	FIXED	TO REMAIN	5'-0" x 1'-6"	TO REMAIN	WOOD	TO REMAIN	WOOD	TO REMAIN	SINGLE	TO REMAIN	19	TO REMAIN	NO CHANGE
(H)	E	FIXED	TO REMAIN	1'-6" x 3'-10"	TO REMAIN	WOOD	TO REMAIN	WOOD	TO REMAIN	SINGLE	TO REMAIN	6	TO REMAIN	NO CHANGE
(I)	E	FIXED	TO REMAIN	5'-0" x 3'-6"	TO REMAIN	WOOD	TO REMAIN	METAL	TO REMAIN	SINGLE	TO REMAIN	2	TO REMAIN	NO CHANGE
(J)	E	DBL HUNG	TO REMAIN	2'-3" x 2'-9"	TO REMAIN	WOOD	TO REMAIN	WOOD	TO REMAIN	SINGLE	TO REMAIN	1	TO REMAIN	NO CHANGE
(K)	E	FIXED	REMOVE	1'-11" x 2'-9"	REMOVE	WOOD	REMOVE	WOOD	REMOVE	SINGLE	REMOVE	1	REMOVE	REMOVE WINDOW TO MAKE WAY FOR ADDITION
(L)	N	N/A	FIXED	N/A	1'-0" x 6'-8"	N/A	WOOD	N/A	WOOD	N/A	DOUBLE	N/A	2	NEW WINDOW AT ADDITION
(M)	N	N/A	FIXED	N/A	1'-6" x 3'-0"	N/A	WOOD	N/A	WOOD	N/A	DOUBLE	N/A	6	NEW WINDOW AT ADDITION
(N)	N	N/A	FIXED	N/A	1'-8" x 5'-0"	N/A	WOOD	N/A	WOOD	N/A	DOUBLE	N/A	6	NEW WINDOW AT ADDITION
(O)	N	N/A	DBL HUNG	N/A	2'-0" x 3'-0"	N/A	WOOD	N/A	WOOD	N/A	DOUBLE	N/A	1	NEW WINDOW AT ADDITION
(P)	N	N/A	FIXED	N/A	1'-8" x 2'-0"	N/A	WOOD	N/A	WOOD	N/A	DOUBLE	N/A	1	NEW WINDOW AT ADDITION
(Q)	N	N/A	DBL HUNG	N/A	2'-8" x 3'-0"	N/A	WOOD	N/A	WOOD	N/A	DOUBLE	N/A	1	NEW WINDOW AT ADDITION

NOTES:

1. ALL NEW WINDOWS TO MATCH EXISTING.

2. WINDOWS AT BATHS TO BE TEMPERED AS SHOWN ON PLANS

3. MANUFACTURER OF ALL NEW DOORS AND WINDOWS TO BE T.M. COBB



DOOR SCHEDULE												
SYMB.	DOOR TYPE		SIZE		DOOR MATERIAL		GLAZING		LITES PER PANE		NOTES	
	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED		
1	E	5'-4" x 6'-8"	-	-	WOOD	-	SINGLE	-	-	-	NO CHANGE	
2	E	2'-8" x 6'-8"	-	-	WOOD	-	SINGLE	-	15	-	NO CHANGE	
3	N	-	2'-8" x 6'-8"	-	WOOD	-	SINGLE	-	6	-	NEW DOOR / NEW OPENING	
4	N	-	5'-4" x 6'-8"	-	WOOD	-	SINGLE	-	6	-	NEW DOOR / NEW OPENING (PAIR)	

NEW INTERIOR DOORS												
6	-	2'-8" x 6'-8"	-	-	WOOD	-	-	-	-	-	NEW PANEL DOOR TO MATCH EXS.	
8	-	2'-8" x 6'-8"	-	-	WOOD	-	-	-	-	-	NEW PANEL DOOR TO MATCH EXS.	
7	-	2'-8" x 6'-8"	-	-	WOOD	-	-	-	-	-	NEW PANEL DOOR TO MATCH EXS.	
5	-	4'-8" x 6'-8"	-	-	WOOD	-	-	-	-	-	NEW PAIR PANEL DOOR TO MATCH EXS.	

STANDARD CASEMENT WINDOW SECTION

Project / Job Reference: STANDARD PRODUCT LINE
Product Line: 4 1/2" CASEMENT
Drawing Title: VERTICAL / HEAD & SILL SECTION
Scale: 1/2" = 1"
Drawn By: Boris Orellana
Date: 08/12/06
Director: T.M. Cobb
File Name: NEW DESIGN

A-1

STANDARD CASEMENT WINDOW SECTION

Project / Job Reference: STANDARD PRODUCT LINE
Product Line: 4 1/2" CASEMENT
Drawing Title: HORIZONTAL / JAMB SECTION
Scale: 1/2" = 1"
Drawn By: Boris Orellana
Date: 08/12/06
Director: T.M. Cobb
File Name: NEW DESIGN

A-2

STANDARD DOUBLE HUNG SECTION

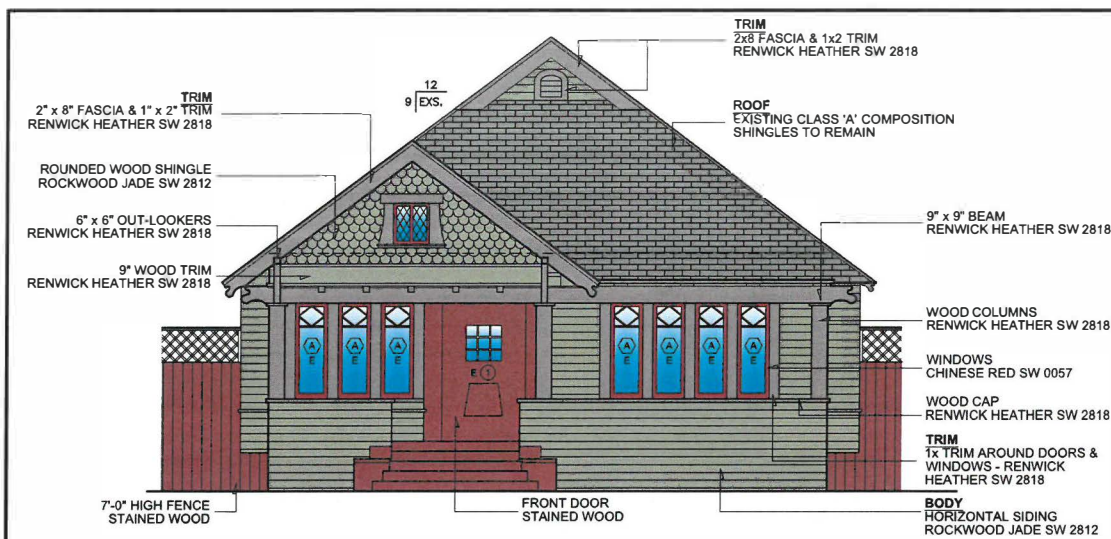
Project / Job Reference: STANDARD PRODUCT LINE
Product Line: 4 1/2" DOUBLE HUNG JAMB LINER
Drawing Title: VERTICAL / HEAD & SILL SECTION
Scale: 1/2" = 1"
Drawn By: Boris Orellana
Date: 08/12/06
Director: T.M. Cobb
File Name: NEW DESIGN

B-1

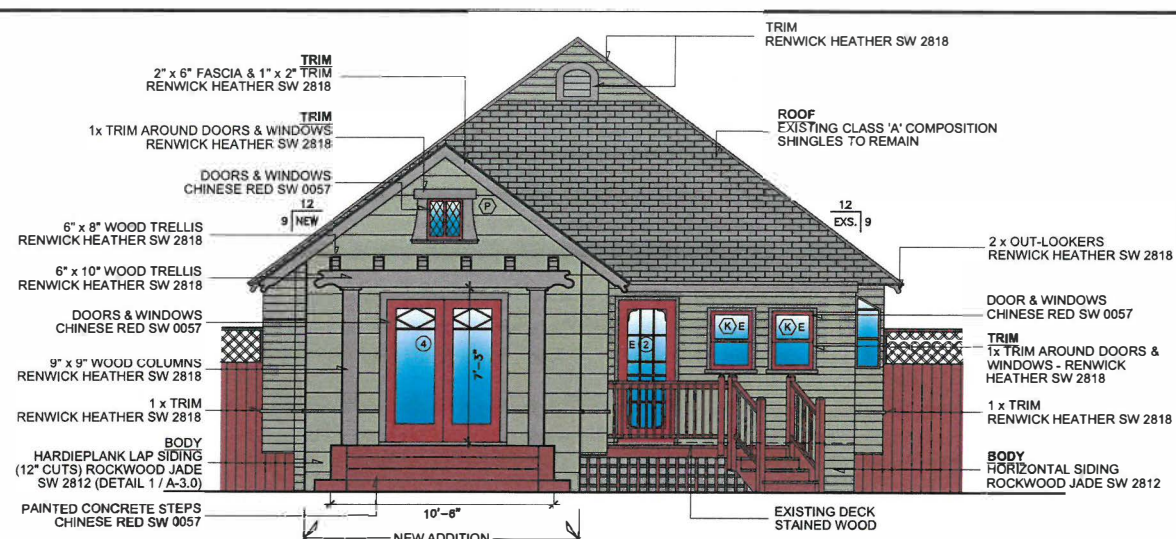
STANDARD DOUBLE HUNG SECTION

Project / Job Reference: STANDARD PRODUCT LINE
Product Line: 1 3/8" DOUBLE HUNG / ACME BAL / MIN JAMB
Drawing Title: HORIZONTAL SECTION
Scale: 1/2" = 1"
Drawn By: Dave Szromba
Date: 7/30/03
Director: T.M. Cobb
File Name: WDOSEC

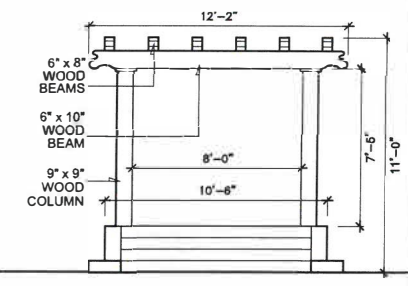
C2



EXISTING NORTH ELEVATION (NO CHANGE)
Scale: 1/4"= 1'-0"



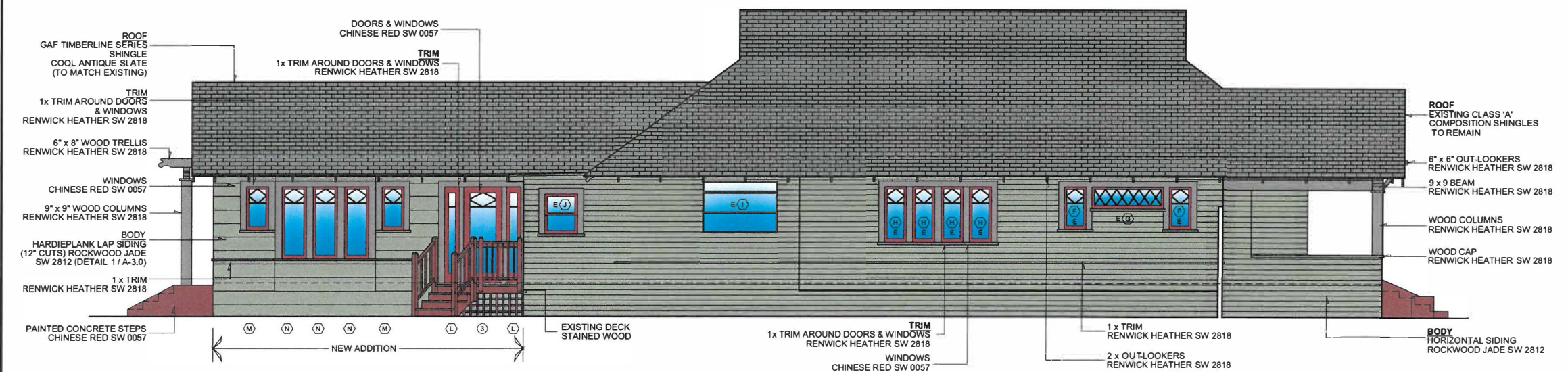
EXISTING SOUTH ELEVATION
Scale: 1/4"= 1'-0"



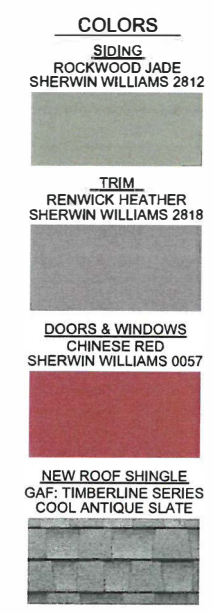
REAR TRELLIS
Scale: 1/4"= 1'-0"



PROPOSED WEST ELEVATION
Scale: 1/4"= 1'-0"




PROPOSED EAST ELEVATION
Scale: 1/4"= 1'-0"



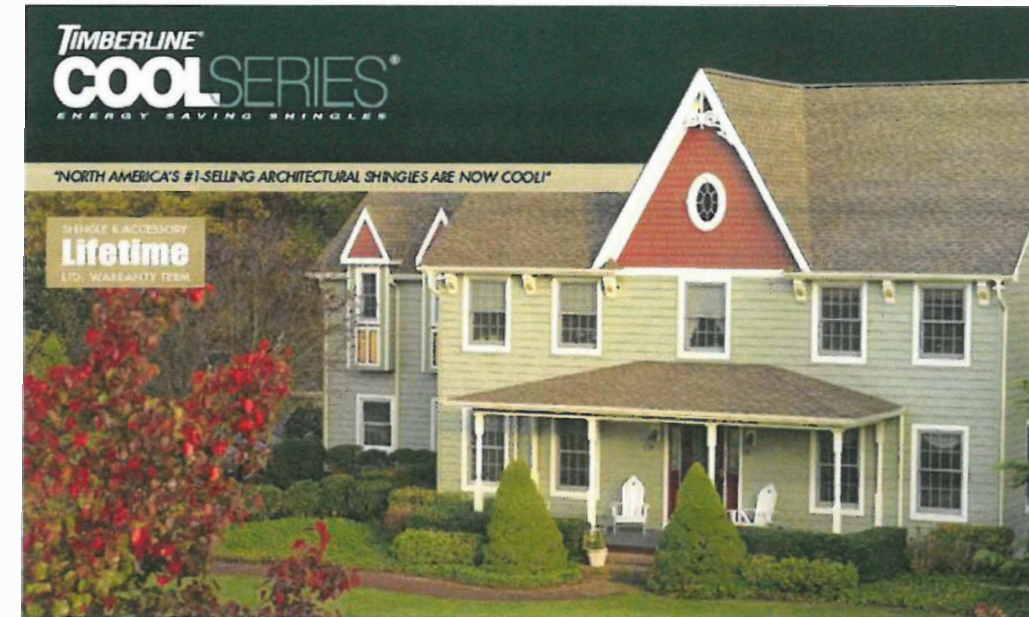
NOTE:
ALL NEW COLOR TO
MATCH EXISTING
CONTRACTOR TO VERIFY COLOR MATCH
OF ALL MATERIALS PRIOR TO PURCHASE

SMOOTH

12"*	9.25"*
10.75"	8"

 Download Product Catalog

CONTRACTOR TO VERIFY COLOR MATCH
OF ALL MATERIALS PRIOR TO PURCHASE



Product Reviews

Wrong City? Change Location



Timberline Cool Series -
Weathered Wood

Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.