



## DEPARTMENT OF CITY PLANNING

### RECOMMENDATION REPORT

#### City Planning Commission

**Date:** March 11, 2021  
**Time:** after 8:30 a.m.  
**Place:** In conformance with the Governor's Executive Order N-29-20 (March 17, 2020) and due to concerns over COVID-19, the CPC meeting will be conducted entirely telephonically by Zoom [<https://zoom.us/>].

The meeting's telephone number and access code access number will be provided no later than 72 hours before the meeting on the meeting agenda published at <https://planning.lacity.org/about/commissions-boards-hearings> and/or by contacting [cpc@lacity.org](mailto:cpc@lacity.org)

**Public Hearing:** January 29, 2021  
**Appeal Status:** Density Bonus / Affordable Housing Incentives Program is not appealable. Project Permit Compliance is appealable to City Council.  
**Expiration Date:** March 26, 2021  
**Multiple Approval:** Yes

**PROJECT LOCATION:** **3600-3610 West Stocker Street; 4201-4215 ½ South Crenshaw Boulevard**  
(legally described as Lots 92-108, Block None, Tract 10023)

**PROPOSED PROJECT:** The project is for the construction, use, and maintenance of a 6-story, 70-foot tall mixed-use building comprised of 64 dwelling units (including 6 Very Low Income units), and 5,000 square feet of ground floor commercial retail space. The project will provide forty-five (45) parking spaces at grade level and the second floor podium and will provide 53 long-term and 7 short-term bicycle parking spaces. The project will be 51,444 square feet in floor area with a Floor Area Ratio ("FAR") of 2.76:1. The site is currently developed with a single-story commercial building and single family dwelling proposed to be demolished.

#### REQUESTED ACTION:

1. **DETERMINE** based on the whole of the administrative record, that the Project is exempt from CEQA pursuant to State CEQA Guidelines, Article 19, Section 15332 (Class 32 - Infill Development), and that there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.
2. Pursuant to Los Angeles Municipal Code ("LAMC") Section 12.22 A.25(g)(3), a Density Bonus Compliance Review, for a project totaling 64 dwelling units, including 6 dwelling units for Very Low Income household occupancy for a period of 55 years, with the following Off-Menu Incentives:

**Case No.:** CPC-2019-5778-DB-DRB-SPP  
**CEQA No.:** ENV-2019-5779-CE  
**Incidental Cases:** None  
**Related Cases:** None  
**Council No.:** 8 – Harris-Dawson  
**Plan Area:** West Adams – Baldwin Hills – Leimert  
**Plan Overlay:** Crenshaw Corridor Specific Plan  
**Certified NC:** Empowerment Congress West Area  
**GPLU:** Neighborhood Commercial  
**Zone:** C1.5-1-SP  
**Applicant:** Abraham Shofet  
Echo Heights, LLC  
**Representative:** Gary Benjamin  
Alchemy Planning + Land Use

- a. Floor Area Ratio of 2.76 in lieu of 1.5:1 as otherwise permitted in the C1.5-1-SP zone; and
  - b. 22-foot increase in the maximum building height to allow 70 feet in lieu of 48 feet otherwise permitted in the Crenshaw Corridor Specific Plan Section 9.F.
- 3. Pursuant to LAMC Section 12.22 A.25(g)(3), a review of the following Waiver of Development Standards:
  - c. A 20% reduction in open space to allow 5,885 square feet of open space in lieu of the 6,500 square feet otherwise required by LAMC Section 12.21.G; and
  - d. A 0 foot front yard in lieu of 10 feet required by the C1.5-1-SP zone; and
  - e. A 0 foot side yard in lieu of 9 feet required by the C1.5-1-SP zone.
  - f. A 0 foot rear yard in lieu of 18 feet required by the C1.5-1-SP zone.
- 4. Pursuant to LAMC Section 11.5.7 and 16.50 a Project Permit Compliance Review and Design Review for a project within the Crenshaw Corridor Specific Plan area.

#### RECOMMENDED ACTIONS:

- 1. **DETERMINE** based on the whole of the administrative record, that the Project is exempt from CEQA pursuant to State CEQA Guidelines, Article 19, Section 15332 (Class 32 - Infill Development), and that there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.
- 2. **Approve**, pursuant to Los Angeles Municipal Code ("LAMC") Section 12.22 A.25(g)(3), a Density Bonus Compliance Review, for a project totaling 64 dwelling units, including 6 dwelling units for Very Low Income household occupancy for a period of 55 years, with the following two (2) Off-Menu Incentives:
  - a. a Floor Area Ratio of 2.76 in lieu of 1.5:1 as otherwise permitted in the C1.5-1-SP zone; and
  - b. a 22-foot increase in the maximum building height to allow 70 feet in lieu of 48 feet otherwise permitted in the Crenshaw Corridor Specific Plan Section 9.F.
- 3. **Approve**, pursuant to LAMC Section 12.22 A.25(g)(3), a review of the following Waiver of Development Standards:
  - c. A 20% reduction in open space to allow 5,885 square feet of open space in lieu of the 6,500 square feet otherwise required by LAMC Section 12.21.G; and
  - d. A 0 foot front yard in lieu of 10 feet required by the C1.5-1-SP zone;
  - e. A 0 foot side yard in lieu of 9 feet required by the C1.5-1-SP zone; and
  - f. A 0 foot rear yard in lieu of 18 feet required by the C1.5-1-SP zone.
- 4. **Approve**, Pursuant to LAMC Section 11.5.7 and 16.50 a Project Permit Compliance Review and Design Review for a project within the Crenshaw Corridor Specific Plan area.



VINCENT P. BERTONI, AICP  
Director of Planning

Approved by:



for

Faisal Roble, Principal Planner

Reviewed by:



Michelle Singh, Senior City Planner

Reviewed by:



Sergio Ibarra, City Planner

Prepared by:



Kyle Winston, Planning Assistant  
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**ADVICE TO PUBLIC:** \*The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the *Commission Secretariat, Room 273, City Hall, 200 North Spring Street, Los Angeles, CA 90012* (Phone No. 213-978-1300). While all written communications are given to the Commission for consideration, the initial packets are sent to the week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendaized herein, or in written correspondence on these matters delivered to this agency at or prior to the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to these programs, services and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request not later than three working days (72 hours) prior to the meeting by calling the Commission Secretariat at (213) 978-1300.

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## PROJECT ANALYSIS

### **PROJECT SUMMARY**

The project is the construction, use, and maintenance of a 6-story, 70-foot tall mixed-use building comprised of 64 dwelling units (including 6 Very Low Income units), and 5,000 square feet of ground floor commercial retail space. The project will provide forty-five (45) parking spaces at grade level, and will provide 53 long-term and 7 short-term bicycle parking spaces. The project will be 51,444 square feet in floor area with a Floor Area Ratio ("FAR") of 2.76:1.

The residential units are located on floors three through six, and will be comprised of 32 studios, 28 one-bedroom and 4 2-bedroom units. Residential amenities will be provided through private balconies, a gym, and a third floor courtyard. The project will also provide 5,000 square feet of flexible commercial space at the ground floor, which can be used for restaurant, retail, or commercial office.

The site is currently developed with a single story commercial building and single family dwelling proposed to be demolished.

### **BACKGROUND**

#### **Subject Property**

The project site is located on the west side of Crenshaw Boulevard and south side of Stocker Street in the West Adams – Baldwin Hills – Leimert Community Plan Area. The project site consists of four (4) contiguous lots totaling approximately 18,657 square feet, with approximately 110 feet of frontage on the south side of Stocker Street and approximately 175 feet of frontage along the west side of Crenshaw Boulevard, as provided in Exhibit B. The site is currently developed with a single story commercial building proposed to be removed with no existing on-site trees, as provided in Exhibit C Site Photos. There are no known designated historic resources on the subject site. There is one existing mural, which will be recreated by the original artist on the new building.

#### **Zoning and Land Use Designation**

The project site is located in the West Adams – Baldwin Hills – Leimert Community Plan, and is designated for Neighborhood Commercial land uses, with the corresponding zones of C1, C1.5, C2, C4, R3, and RAS3. The site is zoned C1.5-1-SP and is consistent with the land use designation. The site is located within the Crenshaw Redevelopment Project area and Transit Priority Area. The site is also located within subarea D and a Transit Oriented Development (TOD) area of the Crenshaw Corridor Specific Plan. The Specific Plan contains additional regulations for use, ground floor and building height, density, floor area, building disposition, building design, and parking.

#### **Surrounding Uses**

The surrounding area is developed with a combination of single-family and multi-family residential, commercial uses, automotive repair, and related parking. Properties to the east across Crenshaw Boulevard are zoned C1.5-1-SP and are developed with one story commercial structures. The property adjacent to the south is developed with a two-story commercial use in the C1.5-1-SP Zone. Properties to the west across the alley are outside of the City of Los Angeles' jurisdiction.

The property to the north across Stocker Street is developed with Baldwin Hills – Crenshaw Mall in the [T][Q]C2-2D Zone

### Streets and Circulation

Stocker Street, abutting the property to the north is a designated Boulevard II with a designated right-of-way width 110 feet and a roadway width of 80 feet with a curb, gutter, and sidewalk.

Crenshaw Boulevard, abutting the property to the west, is a designated Modified Avenue I, with a designated right-of-way width of 100 feet and roadway width of 56 feet, and is currently dedicated to a 90 foot right-of-way with a 70 foot roadway, with a curb, gutter, and sidewalk.

Alley, abutting the property to the west, is 20 feet in width.

### Public Transit

The project site is located at the intersection of Stocker Street and Crenshaw Boulevard, which serves the Los Angeles County Metropolitan Transit Authority (“Metro”) bus lines 40, 102, 105 and 210, Metro Rapid bus lines 705, 710, and 740 and is across the street from a future light rail station currently under construction.

### Relevant Cases and Building Permits

#### Subject Site:

No other relevant on-site cases.

#### Surrounding Sites:

Case No. CPC-2019-7006-DB-DRB-SPP-SPR-DD-MS On November 5, 2020 The Commission approved a proposed project that includes the demolition of existing buildings for the construction, use, and maintenance of a 5-story, 69-foot tall mixed-use building comprised of 124 dwelling units (including 14 Very Low Income units), and 6,000 square feet of ground floor commercial retail space with 60 parking spaces at 4242 Crenshaw Boulevard.

## **ISSUES**

The following section includes a discussion of issues and considerations related to the project.

### *The Crenshaw Corridor Specific Plan and Design Review Board*

The Design Review Board met on July 02, 2020, and reached a quorum of four Board Members. The vote was unanimous (five ayes and zero nays) recommending the project return to the Board after the board found the project to be inconsistent with the relevant design guidelines and development provisions of the Specific Plan. The Design Review Board reconvened on September 3, 2020, and reached a quorum of four Board Members. The vote was split (three ayes, zero nays, and one abstention) recommending that the project be approved with the following conditions:

- I. Provide a Mural at the southeast corner of the building facing Crenshaw where the ramp is located.
- II. Add landscaping curbside on Stocker and increase the flexibility of usable space.
- III. Provide screening and landscaping in front of the transformer on Stocker Street.

- IV. Make sure all 4 facades of the building are compliant with Design Guidelines 3a and 3e on pg. 54 of the Crenshaw Corridor Specific Plan.

The Applicant was amenable to the conditions as presented and revised the plans to reflect these recommendations.

*Empowerment Congress West Area (ECWA) Neighborhood Council.*

The Applicant met with the neighborhood council for a total of 2 times and received a recommendation of approval for the project. ECWA indicated that the changes made in the Design Review Board meetings were positive and satisfactory and supports the residential project. ECWA requests the developer provide 10 units of income restricted affordable housing in lieu of the 6 planned. Also, ECWA expressed concerns about pedestrian safety and congestion and would like to ask planning & the developer to implement road improvements that prevent cars traveling eastbound on Stocker Street from making a left into the alley and cars traveling northbound on Crenshaw Boulevard from making a left into the parking garage. Additionally, ECWA is concerned about the poor quality of the adjacent alley which will facilitate all automobile egress as well as deliveries, thus would like to ask the developer and the council office to coordinate pavement and pothole repair.

## **HOUSING REPLACEMENT**

Pursuant to Government Code Section 65915(c)(3) and Assembly Bills 2222 and 2556, applicants of Density Bonus projects filed as of January 1, 2015 must demonstrate compliance with the housing replacement provisions which require replacement of rental dwelling units that either exist at the time of application of a Density Bonus project, or have been vacated or demolished in the five-year period preceding the application of the project. This applies to all pre-existing units that have been subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower or very low income; subject to any other form of rent or price control; or occupied by Low or Very Low Income Households. Pursuant to the Determination made by the Los Angeles Housing and Community Investment Department (HCIDLA) dated August 1, 2019, HCIDLA determined that there were no residential units built and demolished in the property in the last 10 years, therefore no AB 2556 replacement affordable units are required (Exhibit D). Refer to the Density Bonus Legislation Background section of this determination for additional information.

## **REQUESTED ACTIONS**

### **Density Bonus / Affordable Housing Incentives Program**

Per Government Code Section 69515(c)(1), the Project qualifies for a density bonus increase of 35 percent, however the applicant is only proposing an increase of 24 percent or 13 additional market rate units. This density bonus is approved in exchange for setting aside 11% of the base density (6 units) for Very Low Income households for a period of 55 years. As a result of setting aside 11% of the 51 by-right density units (the Base Density 50.4 is rounded up to 51 for Density Bonus calculations), the applicant qualifies for two (2) incentives.

The applicant seeks the following two (2) Off-Menu Incentives as set forth in the Density Bonus Ordinance:

- a. To allow a Floor Area Ratio of 2.76 in lieu of 1.5:1 as otherwise permitted in the C1.5-1-SP zone; and
- b. To allow a 22-foot increase in the maximum building height to allow 70 feet in lieu of 48 feet otherwise permitted in the Crenshaw Corridor Specific Plan Section 9.F.

In addition to the two (2) Off-Menu Incentives, the applicant requests the following Waiver of Development Standards:

- c. A 20% reduction in open space to allow 5,885 square feet of open space in lieu of the 6,500 square feet otherwise required by LAMC Section 12.21.G; and
- d. A 0 foot front yard in lieu of 10 feet required by the C1.5-1-SP zone;
- e. A 0 foot side yard in lieu of 9 feet required by the C1.5-1-SP zone; and
- f. A 0 foot rear yard in lieu of 18 feet required by the C1.5-1-SP zone.

#### Project Permit Compliance Review

The applicant has requested a Specific Plan Project Permit Compliance and Design Review, in accordance with LAMC Sections 11.5.7.C and 16.50, for a Project within Subarea D of the Crenshaw Corridor Specific Plan. The term Project is defined by the Specific Plan as “*Any activity that requires the issuance of any of the following permits from the Department of Building and Safety: certificate of occupancy, building, grading, foundation, change of use, or sign.*” No Site Plan Review is required if Base Density units minus existing units is less than 50. The Base density of the subject site is 50.4 units allowed by right per LAMC which is then rounded down to 50 for the calculation utilized by LADBS to determine whether Site Plan Review is required. With one existing single-family dwelling proposed to be demolished and replaced, the base units total 49 (50 minus 1) and the threshold for Site Plan Review is not met, therefore it is not required.

#### CEQA

The project seeks to determine based on the whole of the administrative record, that the Project is exempt from CEQA pursuant to State CEQA Guidelines, Article 19, Section 15332 (Infill Development), and that there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

#### CONCLUSION

Based on the information submitted to the record, staff recommends that the City Planning Commission approve the construction of a 64-unit mixed use building with a Density Bonus Compliance Review, a Project Permit Compliance Review and Design Review for a project within Subarea D of the Crenshaw Corridor Specific Plan area pursuant to LAMC Section 11.5.7. and determine based on the whole of the administrative record, that the Project is exempt from CEQA pursuant to State CEQA Guidelines, Article 19, Section 15332 (Infill Development), and that there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

## CONDITIONS OF APPROVAL

1. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the Applicant, stamped "Exhibit A," and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning, West/South Project Planning Division, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Los Angeles Municipal Code or the project conditions.
2. **Residential Density.** The project shall be limited to a maximum density of 64 residential units including Density Bonus Units.
3. **Affordable Units.** A minimum of 6 units shall be reserved as affordable units for Very Low Income household occupancy, as defined by the State Density Bonus Law 65915 (c)(1) or (c)(2) as determined by the California Department of Housing and Community Development ("HCD");.
4. **Changes in Restricted Units.** Deviations that increase the number of restricted affordable units or that change the composition of units or change parking numbers shall be consistent with LAMC Section 12.22 A.25 (a-d).
5. **Housing Requirements.** Prior to issuance of a building permit, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing and Community Investment Department (HCIDLA) to make 6 units available to Very Low Income Households as determined by HCD, for sale or rental as determined to be affordable to such households by HCIDLA for a period of 55 years. Enforcement of the terms of said covenant shall be the responsibility of HCIDLA. The applicant will present a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with any monitoring requirements established by the HCIDLA. Refer to the Density Bonus Legislation Background section of this determination.
6. **Floor Area Ratio (Incentive).** The project shall be limited to a maximum floor area ratio ("FAR") of 2.76:1.
7. **Height (Incentive).** The project shall be limited to six (6) stories and 70 feet in height per Exhibit "A".
8. **Front Yard Setback (Waiver).** The project shall observe a 0-foot front yard setback in lieu of 10 feet otherwise required in the C1.5-1-SP zone.
9. **Rear Yard Setback (Waiver).** The project shall observe a 0-foot rear yard setback in lieu of the 18 feet otherwise required in the C1.5-1-SP zone.
10. **Side Yard Setbacks (Waiver).** The project shall observe a 0-foot side yard setback in lieu of the nine (9) feet otherwise required for a 6-story building in the C1.5-1-SP zone as provided in Exhibit 'A'.
11. **Ground Floor Use.** Ground Floor uses shall be limited to neighborhood retail or neighborhood services defined by LAMC Section 13.07.C, or to the Cultural Overlay uses allowed in Appendix B pursuant to Section 6.C.2 of the Crenshaw Corridor Specific Plan.

12. **Open Space (Waiver).** The project shall provide a minimum of 5,885 square feet of usable open space per Exhibit “A”.
13. **Zoning.** The project shall comply with all other requirements of the C1.5-1-SP zone.
14. **Automobile Parking.** Pursuant to Los Angeles Municipal Code (“LAMC”) Section 12.22 A.25(g)(3) the project shall provide a minimum residential parking at a rate of 0.5 spaces per unit (32 spaces) in lieu of the 80 parking spaces otherwise required by LAMC Section 12.21.A.4.
  - a. **Electric Vehicle Parking.** All electric vehicle charging spaces (EV Spaces) and electric vehicle charging stations (EVCS) shall comply with the regulations outlined in Sections 99.04.106 and 99.05.106 of Article 9, Chapter IX of the LAMC.
  - b. Any parking spaces provided above LAMC requirements shall be provided with EV chargers to immediately accommodate electric vehicles within the parking areas.
  - c. **Unbundled Parking.** Residential parking shall be unbundled from the cost of the rental units, with the exception of parking for Restricted Affordable Units.
15. **Adjustment of Parking.** In the event that the number of Restricted Affordable Units should increase, or the composition of such units should change (i.e. the number of bedrooms, or the number of units made available to Senior Citizens and/or Disabled Persons), or the applicant selects another Parking Option and no other Condition of Approval or incentive is affected, then no modification of this determination shall be necessary, and the number of parking spaces shall be re-calculated by the Department of Building and Safety based upon the ratios set forth above.
16. **Bicycle Parking.** Bicycle parking shall be provided consistent with LAMC 12.21 A.16.
17. **Landscape Plan.** All open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be attractively landscaped, including an automatic irrigation system, and maintained in accordance with a landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning. The landscape plan shall indicate landscape points for the project equivalent to 10% more than otherwise required by LAMC 12.40 and Landscape Ordinance Guidelines “O”.
18. **Streetscape Plan.** The project shall be in substantial conformance with the Crenshaw Boulevard Streetscape Plan
19. **Street Trees.** Plant street trees and remove any existing trees within dedicated streets or proposed dedicated streets as required by Urban Forestry Division of the Bureau of Street Services. Parkway tree removals shall be replanted at a 2:1 ratio. All street tree plantings shall be brought up to current standards. Street Trees shall be in conformance with the Crenshaw Corridor Streetscape Plan.
20. **Lighting.** All pedestrian walkways and vehicle access points will be well-lit. All outdoor lighting will be shielded to prevent excessive illumination and mitigate light impacts on adjacent residential properties and the public right-of-way. Utilize adequate, uniform, and glare-free lighting, such as dark-sky compliant fixtures, to avoid uneven light distribution, harsh shadows, and light spillage.



21. **Solar and Electric Generator.** Generators used during the construction process shall be electric or solar powered. Solar generator and electric generator equipment shall be located as far away from sensitive uses as feasible.
- Or: Where power poles are available, electricity from power poles and/or solar-powered generators rather than temporary diesel or gasoline generators shall be used during construction. (WL)
22. **Solar-ready Buildings.** The Project shall comply with the Los Angeles Municipal Green Building Code, Section 99.05.211, to the satisfaction of the Department of Building and Safety.
23. **Rooftop Equipment.** All rooftop equipment shall be screened to the top of the equipment. The mechanical systems shall be located at a minimum of 10 feet from the property line, ensuring it is not visible from adjacent properties.
24. **Signage.** There shall be no off-site commercial signage on construction fencing during construction.
25. **Building Façade.** All exterior building walls should provide a break in the plane, or a change in material, every 20 feet in horizontal length and every 15 feet in vertical length, created by an articulation or architectural detail.
26. **Security Devices.** Exterior roll-down doors shall be no less than 75 percent transparent.
27. **Use Limitations in Pedestrian-Oriented and TOD Areas.** Ground Floor Uses for Projects located in TOD areas shall be limited to neighborhood retail or neighborhood services defined by LAMC Section 13.07.C.
28. **Design Review Board.** The project shall comply with the following conditions of the Crenshaw Corridor Design Review Board.
- Provide the Mural at the southeast corner of the building facing Crenshaw where the ramp is located as shown on Exhibit A.
  - Add landscaping curbside on Stocker and increase the flexibility of usable space.
  - Provide screening and landscaping in front of the transformer on Stocker Street.
  - Make sure all 4 facades of the building are compliant with Design Guidelines 3a and 3e on pg. 54 of the Crenshaw Corridor Specific Plan.
29. **Covenant and Agreement.** No building permit or change of use permit shall be issued for any project until a covenant committing the property owner to maintain the Commercial Use (ground floor uses), limited to neighborhood retail or neighborhood services defined by LAMC Section 13.07.C, or to the Cultural Overlay uses allowed in Appendix B of the Crenshaw Corridor Specific Plan, is recorded in a manner approved by the City prior to issuance of a building permit.

### **Administrative Conditions**

30. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building and Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall be stamped by Department of City Planning staff "Plans Approved". A copy of the Plans Approved, supplied by the applicant, shall be retained in the subject case file.

31. **Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet, and shall include any modifications or notations required herein.
32. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
33. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
34. **Department of Building and Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
35. **Enforcement.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Department of City Planning.
36. **Indemnification and Reimbursement of Litigation Costs.**
- Applicant shall do all of the following:
- (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
  - (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
  - (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
  - (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).

- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

## FINDINGS

### **DENSITY BONUS / AFFORDABLE HOUSING INCENTIVES PROGRAM FINDINGS**

The applicant has requested two (2) Off-Menu Incentives. The following is a delineation of the findings related to the request for two Off-Menu Incentives, pursuant to LAMC Section 12.22 A.25(g) and Government Code Section 65915.

#### Off-Menu Incentives

- a. To allow a Floor Area Ratio of 2.76 in lieu of 1.5:1 as otherwise permitted in the C1.5-1-SP zone; and
- b. To allow a 22-foot increase in the maximum building height to allow 70 feet in lieu of 48 feet otherwise permitted in the Crenshaw Corridor Specific Plan Section 9.F.

**1. Government Code Section 65915 and LAMC Section 12.22 A.25(c) state that the Commission shall approve a density bonus and requested incentive(s) unless the Commission finds that:**

- a. The incentives do not result in identifiable and actual cost reductions to provide for affordable housing costs as defined in California Health and Safety Code Section 50052.5 or Section 50053 for rents for the affordable units.***

The record does not contain substantial evidence that would allow the City Planning Commission to make a finding that the requested incentives do not result in identifiable and actual cost reduction to provide for affordable housing costs per State Law. The California Health & Safety Code Sections 50052.5 and 50053 define formulas for calculating affordable housing costs for very low, low, and moderate income households. Section 50052.5 addresses owner-occupied housing and Section 50053 addresses rental households. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed 25 percent gross income based on area median income thresholds dependent on affordability levels.

***FAR Increase:*** The subject site is zoned C1.5-1-SP with a Height District No. 1 that permits a maximum Floor Area Ratio ("FAR") of 1.5:1. LAMC Section 12.22 A.25 permits an FAR increase of 35 percent to 2.025:1 FAR through an On-Menu Incentive for eligible projects within 1,500 feet of transit. The applicant has requested an Off-Menu Incentive to allow a 2.76:1 FAR in lieu of the otherwise permitted 1.5:1 FAR. The proposed project requests a maximum 2.76:1 FAR, providing a maximum floor area of 51,444 square feet. The proposed 2.76:1 FAR creates 23,459 additional square feet. As proposed, the additional FAR will allow for the construction of the affordable residential units. The requested incentive will allow the developer to expand the building envelope so the additional units can be constructed and the overall space dedicated to residential uses is increased. The ability to develop larger units will increase the revenue from the market-rate units, which will lower the marginal cost of developing the affordable units. Therefore, the FAR incentive would result in identifiable and actual cost reductions to provide for the project's affordable housing costs.

Of the 64 proposed units, there would be 32 studios, 28 one-bedroom units, and 19 two-bedroom units. Without the incentive to permit additional floor area, the average unit size and bedroom count would have to be significant smaller to construct the number of units that the requested density bonus allows. The ability to develop larger units will

increase the revenue from the market-rate units, which will lower the marginal cost of developing the affordable units. Therefore, the FAR incentive would result in identifiable and actual cost reductions to provide for the project's affordable housing costs.

*Height.* LAMC 12.22-A, 25(g)(3) allows a developer to request off menu incentives as necessary to reduce costs associated with providing for affordable housing units. Although the C1.5-1 zone does not typically impose a height limit, the Crenshaw Corridor Specific Plan sets a base height limit of 48 feet for the site, with architectural features permitted to extend to 57 feet and 7 inches. The applicant is seeking an Off-Menu Density Bonus request to increase height by 22 feet to a total of 70 feet, which is appropriate given the site zoning context and surrounding uses, and will accommodate the space needed to provide the six Very Low Income affordable units within the project.

The proposed building would be six stories tall to accommodate the proposed density bonus and increased FAR. By contrast, if the Specific Plan height limitation is applied, it would only be possible to construct a four-story building (assuming a typical 12-foot ground level and three 10-foot residential level). The loss of two residential levels would reduce the Project's floor area substantially and would, in turn, directly limit the project's ability to construct approximately 32 of the proposed residential dwelling units (including affordable units). As proposed, the additional height will physically allow construction of the project at the proposed density and with the requested FAR incentive by expanding the allowable building envelope. These incentives support the applicant's decision to set aside the specified number of dwelling units for Very Low Income Households for 55 years.

- b. The incentive(s) will have a specific adverse impact upon public health and safety or the physical environment, or on any real property that is listed in the California Register of Historical Resources and for which there are no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the development unaffordable to Very Low, Low and Moderate Income households. Inconsistency with the zoning ordinance or the general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety (Government Code Section 65915(d)(1)(B) and 65589.5(d)).**

There is no substantial evidence in the record that the proposed incentive(s) will have a specific adverse impact. A "specific adverse impact" is defined as, "a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" (LAMC Section 12.22 A.25(b)). As required by Section 12.22 A.25 (e)(2), the project meets the eligibility criterion that is required for density bonus projects. The project also does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical-Cultural Monuments. Therefore, there is no substantial evidence that the proposed incentive(s) will have a specific adverse impact on public health and safety.

- c. The incentive(s) are contrary to state or federal law.**

There is no evidence in the record that the proposed incentives are contrary to state or federal law.

Following is a delineation of the findings related to the request for four (4) Waivers of Development Standards, pursuant to Government Code Section 65915.

**2. Government Code Section 65915 and LAMC Section 12.22 A.25(c) state that the Commission shall approve a density bonus and requested Waiver of Development Standard(s) unless the Commission finds that:**

**a. *The waiver(s) or reduction(s) of development standard(s) are contrary to state or federal law.***

There is no evidence in the record that the proposed waivers are contrary to state or federal law.

A project that provides 11 percent of base units for Very Low Income Households qualifies for two (2) Incentives, and may request other “waiver[s] or reduction[s] of development standards that will have the effect of physically precluding the construction of a development meeting the [affordable set-aside percentage] criteria of subdivision (b) at the densities or with the concessions or incentives permitted under [State Density Bonus Law]” (Government Code Section 65915(e)(1)).

Therefore, the request for the following are recommended as a Waiver of Development Standards. Without the below Waivers, the existing development standards would preclude development of the proposed density bonus units and project amenities:

*Open Space Reduction:* LAMC Section 12.21 G requires 100 square feet of usable open space per dwelling unit with less than 3 habitable rooms, and 125 square feet of usable open space per dwelling unit with 3 habitable rooms. For the proposed project with 32 studio units, 28 one-bedroom units, and 4 two-bedroom units, a total of 6,500 square feet of open space would be required. Strict compliance with the open space requirements would have the effect of physically precluding construction of the development proposing 64 dwelling units, 6 of which will be set aside for Very Low Income Households. The applicant has requested a 20 percent reduction to allow 5,885 square feet of open space through a Waiver of Development Standard. If the project is required to provide an additional 615 square feet of open space, the total unit count would be reduced from 64 units to 63 units. The project currently proposes dwelling units that range in size from 390 square feet to 1,065 square feet. Compliance with the minimum usable open space provision would require the removal of floor area that could otherwise be dedicated to the number, configuration, and livability of affordable housing units. Specifically, the project would not only need to comply with the total amount of usable open space requirements, but also the design, dimension, and area requirements set forth in LAMC Section 12.21 G. Common open space would need to be at least 15 feet in width on all sides, have a minimum area of 400 square feet, and be open to sky. The project would lose floor area of the development in order to meet all of these additional requirements for common open space.

The requested waivers allow the developer to expand the building envelope so the additional and affordable units can be constructed, provide for design efficiencies, and allow the overall space dedicated to residential uses to be increased. These waivers support the applicant’s decision to set aside the specified number of dwelling units for Very Low or Low Income Households for 55 years.

*Front, Rear and Side Yards:* LAMC Section 12.13.5.B requires a minimum 10 foot front yard, with rear and side yards to conform to the requirements of the C1 Zone. The C1 Zone requires that corner lots adjacent to an A or R Zone, or residential uses shall provide 5 foot side yards plus an additional foot for each additional story over the second story up to a maximum 16 feet; and a 15 foot rear yard plus an additional foot for each additional story over the third story up to a maximum 20 feet. The Project is a 6-story residential building with ground floor commercial. The second level, while primarily a parking garage contains a gym for residents. The Project would therefore be required to provide a 10-foot front yard, 9-foot side yard setback and 18-foot rear yard setback. The Applicant has requested three Waivers of Development Standards for reduced yards, and proposes a 0-foot front yard, 0-foot side yard, and 0-foot rear yard setback in lieu of those otherwise required. The project architect has determined that without the waivers of the base yard standards, the overall livable area in the project would be reduced from the proposed 36,320 square feet of floor area by 6,128 square feet, to 30,192 square feet of livable/unit floor area.

Without these waivers, the total unit count would be reduced from 64 units to 53 units as the Crenshaw Corridor Specific Plan requires ground floor retail/commercial space. Strict compliance with the C1.5 yard requirements would physically preclude construction of the project at the permitted density and with the requested FAR incentive, resulting in a loss of 11 units and 6,128 square feet of livable/unit floor area

- b. The waiver will have specific adverse impact upon public health and safety or the physical environment, or on any real property that is listed in the California Register of Historical Resources and for which there is no feasible method to satisfactorily mitigate or avoid the specific adverse Impact without rendering the development unaffordable to Very Low, Low and Moderate Income households. Inconsistency with the zoning ordinance or the general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety.***

There is no substantial evidence in the record that the proposed incentive(s) will have a specific adverse impact. A "specific adverse impact" is defined as, "a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" (LAMC Section 12.22 A.25(b)). As required by Section 12.22 A.25 (e)(2), the project meets the eligibility criterion that is required for density bonus projects. The project also does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical-Cultural Monuments. The project does not involve the demolition of a historic structure that was placed on a national, state, or local historic register prior to the submission of the application. Therefore, there is no substantial evidence that the proposed waivers of development standards will have a specific adverse impact on public health and safety.

### **PROJECT PERMIT COMPLIANCE FINDINGS**

- 3. The project substantially complies with the applicable regulations, findings, standards, and provisions of the specific plan.**
  - a. Section 6: Land Uses.** The Crenshaw Corridor Specific Plan Map No. 4 designates the subject property as located in Subarea D. The Crenshaw Corridor Specific Plan provides for area-specific development standards along Crenshaw Boulevard and

adjacent properties, and provides design guidelines and design review for certain areas within the Specific Plan.

- i. **Prohibited Uses.** *Section 6.A.1 of the Crenshaw Corridor Specific Plan prohibits the following uses in the Specific Plan Area: (a) gun and/or pawn shops; (b) swap meets; (c) public self-storage; (d) motels; (e) bars not attached to dining, dancing and/or entertainment related uses; (f) recycling collection or buyback centers and mobile recycling centers, except as permitted by State Law.* The proposed project is a mixed-use project with 64 units and 5,000 square-feet of ground floor commercial space, which will not contain any of the aforementioned prohibited uses. Therefore, the project is in compliance with the land use section of the Specific Plan.
  - ii. **Limited Uses.** *Section 6.B of the Crenshaw Corridor Specific Plan limits the following uses in all areas of the Specific Plan Area: (a) Off-Site Alcohol Sales; (b) Automobile-Related Use; (c) Free-Standing Fast-Food Establishments.* The proposed project is a mixed-use project with 64 units and 5,000 square-feet of ground floor commercial space, which will not contain any of the limited uses. Therefore, the project is in compliance with the limited uses section of the Specific Plan.
  - iii. **Use Limitations in Pedestrian-Oriented and TOD Areas.** *Section 6.C.2 of the Crenshaw Corridor Specific Plan limits ground floor uses to neighborhood retail or neighborhood services defined by LAMC Section 13.07.C, or to the Cultural Overlay uses allowed in Appendix B.* The project is a mixed-use project with 64 residential units and 5,000 square-feet of ground floor commercial space along the Crenshaw Boulevard frontage, which is limited to neighborhood retail or neighborhood services defined by LAMC Section 13.07.C, or to the Cultural Overlay uses allowed in Appendix B of the Crenshaw Corridor Specific Plan per Condition 11, and therefore is in compliance with Section 6.C.2.
- b. **Section 7: Development Standards for Pedestrian-Oriented and TOD areas.** The Crenshaw Corridor Specific Plan Map No. 3 designates the subject property as a TOD area within Subarea D.
- i. *All Projects shall comply with the development standards in Subsections 1 and 7 of LAMC Section 13.07.E. For purposes of this Specific Plan, "Pedestrian-Oriented Streets," as used in LAMC Section 13.07.E shall mean all streets in Subarea D, F, and G.* The ground floor of the building is comprised of 5,000 square feet of commercial retail space that will be convenient to pedestrians and the building's residents. The at grade parking is completely screened along Crenshaw Boulevard and Stocker Street by the retail spaces and residential lobby.
  - ii. *All Projects shall have a pedestrian entrance along the street frontage of the building, even when other public entrances are provided. The pedestrian entrances on street frontage shall be kept open during business hours.* There are pedestrian entrances to the commercial space(s) along both Crenshaw Boulevard and Stocker Street.
- c. **Section 8: Mixed-Use Projects.** In Subareas D, F, and G, Mixed-Use Projects shall be developed in accordance with the following:



- i. *The Projects shall contain some combination of the neighborhood services/neighborhood retail uses required in Section 6.C on the Ground Floor with residential uses on the floors above.* The proposed project is a mixed-use project with 64 units and 5,000 square-feet of ground floor commercial space.
  - ii. *Parking shall not be permitted between the building and the street.* The at grade parking is completely screened along Crenshaw Boulevard and Stocker Street by the retail spaces and residential lobby.
- d. **Section 9: Floor Area Ratios and Height.** The Crenshaw Corridor Specific Plan Map No. 7 designates the subject property with a 48-foot height limit. The proposed project will build to a maximum height of 70-feet. The proposed project qualifies for a Density Bonus incentive for an additional height of up to 22 additional feet, allowing the project a maximum height of 70-feet.

In all Subareas, lots zoned commercial or industrial shall be permitted a maximum floor area ratio (FAR) of 1.5:1. The proposed project requests an Off Menu Density Bonus incentive for additional FAR, allowing the project a maximum FAR of 2.76:1. The project is residential and has a proposed Floor Area of 51,444 square-feet on a 18,657 square-foot lot for a total FAR of 2.76:1. Therefore, the project is in compliance with the Floor Area Ratio and height regulations of the Specific Plan.

- e. **Section 10: Building Setbacks and Open Space Areas.** Section 10.C of the Crenshaw Corridor Specific Plan requires projects involving new construction in Transit-Oriented Development (TOD) Areas be developed in accordance with the underlying zone district and any applicable provisions identified in Appendix A of the Crenshaw Corridor Specific Plan. The project requests Off Menu Density Bonus Incentives for reduced yards, and proposes a 0-foot front yard setback in lieu of the 10 feet otherwise required, a 0-foot rear yard setback in lieu of the 18 feet otherwise required, a 0-foot side yard setback in lieu of the 9 feet otherwise required by the C1.5-1-SP zone.

Section 10.D requires projects where the rear or side yard property line is contiguous with that of a residential lot, or separated by an alley, to have the entire building setback or individual floors “stepped back” one foot for every one foot in height as measured 15 feet above grade at the residential property line. The property across the alley from the subject site is outside of the City of Los Angeles’ jurisdiction, therefore this regulation does not apply.

- f. **Design Guidelines and Design Review Board.** The Design Review Board met on July 02, 2020 and reached a quorum of four Board Members. The vote was unanimous (five ayes and zero nays) recommending the project return to the Board after the board found the project to be inconsistent with the relevant design guidelines and development provisions of the Specific Plan. The Design Review Board reconvened on September 3, 2020 and reached a quorum of four Board Members. The vote was split (three ayes, zero nays, and one abstention) recommending that the project be approved with the following conditions:
  - i. Provide the Mural at the southeast corner of the building facing Crenshaw where the ramp is located.

- ii. Add landscaping curbside on Stocker and increase the flexibility of usable space.
  - iii. Provide screening and landscaping in front of the transformer on Stocker Street.
  - iv. Make sure all 4 facades of the building are compliant with Design Guidelines 3a and 3e on pg. 54 of the Crenshaw Corridor Specific Plan.
- g. The project is consistent with policies of the Crenshaw Corridor Specific Plan Design Guidelines **Section III. Guidelines and Standards for New Residential Projects of Five Units or More**

**GUIDELINE 1.** Create a space around which the building is designed that serves as an amenity for residents and increases the quality of the environment.

The third floor courtyard is proposed with 2,690 square feet of usable open space for residents, of which 650 square feet is landscaped. The courtyard is designed with seating areas, and recreation space. Additionally, the ground floor of the building is comprised of 5,000 square feet of commercial retail space that will be convenient to the building's residents.

**GUIDELINE 2.** Provide open space within a project that is usable and well designed.

The project includes approximately 5,885 square-feet of open space areas, including 650 square-feet of landscaping, 2,250 square feet of private balconies, a 945 square foot gym on the second floor and a 2,690 square foot courtyard. The courtyard is designed with seating areas, and recreation space.

**GUIDELINE 3.** Design all buildings with a quality and character that improve community appearance by avoiding excessive variety and monotonous repetition. To achieve this, the volume of all buildings should be composed of a variety of forms, contrasting shapes and should employ attractive and complementary building materials and architectural features.

The project provides a variety of architectural materials and building planes, with special attention to create a pedestrian-scaled project with substantial landscaping, common open space, commercial space and residential amenities. The architectural design of the building incorporates perpendicular lines and differentiating color tones and materials to create articulation and contrast along every façade. The design alternates different textures, colors, materials, and distinctive architectural treatments to every façade.

**GUIDELINE 4.** Screen all roof top equipment and building appurtenances from view of adjacent properties by architecturally integrating them into the design of the building

All rooftop equipment is designed to be screened to the top of the equipment as shown on "Exhibit A" and conditioned by Condition 23 of this Determination. The mechanical systems will be located at a minimum of 10 feet from the property line, ensuring it is not visible from adjacent properties.

**GUIDELINE 5.** Design trash and storage areas which are safe, attractive and secure.

A trash room will be located on the ground floor directly accessible from the parking garage which is accessible from the alley. Each floor will have a trash convenient to residents.

**GUIDELINE 6.** Design walls that are architecturally interesting and compliment architectural styles and/or themes.

The eastern façade, facing Crenshaw Boulevard, consists of a commercial ground floor storefront glazing and the upper residential floors consisting of painted cement board. Units are articulated with balconies which feature variations in pattern and material to enliven the facades. This façade will also have an iconic mural which is currently on the existing building re-placed on the new development. The northern building face will also incorporate storefront glazing and the new residential Lobby entrance.

**GUIDELINE 7.** Incorporate the design of parking structures into the building(s), which it serves.

The at grade parking is completely screened along Crenshaw Boulevard and Stocker Street by the retail spaces and residential lobby. Vehicular access to the parking structure is accessible from the alley and one entrance along Crenshaw Boulevard.

As conditioned, the project substantially complies with the applicable regulations, findings, standards, and provisions of the Crenshaw Corridor Specific Plan, the Crenshaw Corridor Design Manual and the Crenshaw Corridor Design Review Board.

4. **The project incorporates mitigation measures, monitoring measures when necessary, or alternatives identified in the environmental review, which would mitigate the negative environmental effects of the project, to the extent physically feasible.**

A Categorical Exemption, ENV-2019-5779-CE, has been prepared for the proposed project consistent with the provisions of the California Environmental Quality Act. The project proposes the construction of a six-story, mixed-income, mixed-use building with a maximum height of 70-feet and approximately with 64 dwelling units and 51,444 square-feet of Floor Area and 5,000 square-feet of commercial space.

The Categorical Exemption prepared for the proposed project is appropriate pursuant to CEQA Guidelines, Article 19, Section 15332 (Class 32 In-fill Developments), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

## **CEQA FINDINGS**

The Categorical Exemption prepared for the proposed project is appropriate pursuant to CEQA Guidelines, Article 19, Section 15332, and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

- a. ***The project is consistent with the applicable General Plan designation and all applicable General Plan policies as well as with applicable zoning designation and regulations:***

The subject site is located within the West Adams – Baldwin Hills - Leimert Community Planning Area and is designated for Neighborhood Commercial, with corresponding zones of C1, C1.5, C2, C4, R3, and RAS3 zones. The site is zoned C1.5-1-SP, located in the Subarea D of the Crenshaw Corridor Specific Plan. The proposed project is for the construction of a 6-story, mixed-use building with 64 dwelling units with ground floor commercial space, totaling 51,444 square-feet of floor area on an approximately 18,657 square foot lot in the C1.5-1-SP zone. The project provides 45 automobile spaces on-site. Additionally, 53 long-term and 17 short-term bicycle parking spaces are included in the project. As such, the project is consistent with the applicable West Adams – Baldwin Hills - Leimert Community Planning Area designation and policies and all applicable zoning designations and regulations.

***b. The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses:***

The subject site consists of a level, rectangular site measuring 0.428 acres and is wholly within the City of Los Angeles. Properties to the east across Crenshaw Boulevard are zoned C1.5-1-SP and are developed with one story commercial structures. The property adjacent to the south is developed with a two-story commercial use in the C1.5-1-SP Zone. Properties to the west across the alley are outside of the City of Los Angeles' jurisdiction. The property to the north across Stocker Street is developed with Baldwin Hills – Crenshaw Mall in the [T][Q]C2-2D Zone.

***c. The project site has no value as habitat for endangered, rare or threatened species:***

The subject site is currently developed with residential and commercial structures proposed to be demolished. Further, the subject site is surrounded by existing commercial and residential properties, and according to the tree report there are no protected trees on the subject site. Therefore, the subject site is not, and has no value as a habitat for endangered, rare, or threatened species.

***d. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality:***

The project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance, pollutant discharge, dewatering, stormwater mitigations; and Best Management Practices for stormwater runoff. More specifically, RCMs include but are not limited to:

- **Regulatory Compliance Measure RC-AQ-1(Demolition, Grading and Construction Activities): Compliance with provisions of the SCAQMD District Rule 403.** The project shall comply with all applicable standards of the Southern California Air Quality Management District, including the following provisions of District Rule 403:
  - All unpaved demolition and construction areas shall be wetted at least twice daily during excavation and construction, and temporary dust covers shall be used to reduce dust emissions and meet SCAQMD District Rule 403. Wetting could reduce fugitive dust by as much as 50 percent.
  - The construction area shall be kept sufficiently dampened to control dust caused by grading and hauling, and at all times provide reasonable control of dust caused by wind.

- All clearing, earth moving, or excavation activities shall be discontinued during periods of high winds (i.e., greater than 15 mph), so as to prevent excessive amounts of dust.
  - All dirt/soil loads shall be secured by trimming, watering or other appropriate means to prevent spillage and dust.
  - All dirt/soil materials transported off-site shall be either sufficiently watered or securely covered to prevent excessive amount of dust.
  - General contractors shall maintain and operate construction equipment so as to minimize exhaust emissions.
  - Trucks having no current hauling activity shall not idle but be turned off.
- **Regulatory Compliance Measure RC-GEO-1 (Seismic):** The design and construction of the project shall conform to the California Building Code seismic standards as approved by the Department of Building and Safety.
  - **Regulatory Compliance Measure RC-NO-1 (Demolition, Grading, and Construction Activities):** The project shall comply with the City of Los Angeles Noise Ordinance and any subsequent ordinances, which prohibit the emission or creation of noise beyond certain levels at adjacent uses unless technically infeasible.

These RCMs will reduce any potential impacts to less than significant, and will ensure the project will not have significant impacts on noise and water.

Furthermore, the project does not exceed the threshold criteria established by the LADOT for preparing a traffic study. As such, the project will not have any significant impacts to traffic. In regards to Air Quality, interim thresholds were developed by the Los Angeles Department of City Planning staff based on California Emissions Estimator Model (CalEEMod) runs relying on reasonable assumptions, consulting with AQMD staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established SCAQMD construction and operational thresholds.

**e. The site can be adequately served by all required utilities and public services:**

The site is currently being served adequately by the City's Department of Water and Power, the City's Bureau of Sanitation, the SoCal Gas Company, the Los Angeles Police Department, the Los Angeles Fire Department, and others public services. The utilities and public services have been servicing the neighborhood continuously for over 70 years. In addition, the California Green Code requires new construction to meet stringent efficiency standards for both water and power, such as high-efficiency toilets, dual-flush water closets, minimum irrigation standards, LED lighting, etc.

As a result of these new building codes that are required of all projects, it can be anticipated that the project will not create any impact on existing utilities and public services.

The project can be characterized as in-fill development within an urbanized area and meets the five conditions listed above. Therefore, the project qualifies for a Class 32 Categorical Exemption consistent with the California Environmental Quality Act.

**Exceptions Narrative for Class 32 Categorical Exemption**

There are five (5) Exceptions which must be considered in order to find a project exempt under Class 32:

- a. Cumulative Impacts.** *All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.*

On November 5, 2020 The Commission approved a proposed project that includes the demolition of existing buildings for the construction, use, and maintenance of a 5-story, 69-foot tall mixed-use building comprised of 124 dwelling units (including 14 Very Low Income units), and 6,000 square feet of ground floor commercial retail space with 60 parking spaces at 4242 Crenshaw Boulevard, which has not yet been constructed. The project was reviewed under CEQA and found to qualify for a Class 32 exemption. Additionally, the project is subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance, pollutant discharge, dewatering, stormwater mitigations; and Best Management Practices for stormwater runoff. The Categorical Exemption prepared for the proposed project is appropriate pursuant to CEQA Guidelines, Article 19, Section 15332, and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies. Therefore, there is no cumulative impact of successive projects of the same type in the same place as the proposed project.

- b. Significant Effect Due to Unusual Circumstances.** *A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.*

The proposed project is for the construction of a 6-story, mixed use building with 64 dwelling units with ground floor commercial space, totaling 51,444 square feet of floor area on an approximately 18,657 square foot lot in the C1.5-1-SP zone. All surrounding properties are developed with commercial and residential buildings. The subject site is of a similar size and massing to nearby properties. There are no known unusual circumstances which may lead to a significant effect on the environment.

- c. Scenic Highways.** *A categorical exemption shall not be used for a project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway.*

The only State Scenic Highway within the City of Los Angeles is the Topanga Canyon State Scenic Highway, State Route 27, which travels through a portion of Topanga State Park. The portion of State Route 27 which travels through the Los Angeles city limits is approximately 22 miles from the subject site. Therefore the subject site will not create any impacts within a highway designated as a state scenic highway.

- d. Hazardous Waste Sites.** *A categorical exemption shall not be used for a project located on a site which is included on any list compiled pursuant to Section 65962.5 of the Government Code*

According to Envirostor, the State of California's database of Hazardous Waste Sites, neither the subject site, nor any site within a 1,000-foot radius of the subject site, is identified as a hazardous waste site.

- e. Historical Resources.** *A categorical exemption shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource*

The project site is developed and has not been identified as a historic resource by local or state agencies, and the project site has not been determined to be eligible for listing in the National Register of Historic Places, California Register of Historical Resources, the Los Angeles Historic-Cultural Monuments Register, and/or any local register. Further, the project site was not found to be a potential historic resource based on the City's HistoricPlacesLA website or SurveyLA, the citywide survey of Los Angeles. Neither the State nor the City choose to treat the site as a historic resource, therefore, the proposed project cannot cause a substantial adverse change in the significance of a historical resource and this exception does not apply.

## **PUBLIC HEARING AND COMMUNICATIONS**

### **PUBLIC HEARING**

The public hearing was held on January 29, 2021 at approximately 11:00 am telephonically via Zoom In conformance with the Governor's Executive Order N-29-20 (March 17, 2020). The hearing was conducted by the Hearing Officer, Kyle Winston, on behalf of the City Planning Commission in taking testimony for Case No. CPC-2019-5778-DB-DRB-SPP. All interested parties were invited to attend the public hearing at which they could listen, ask questions, or present testimony regarding the project. The purpose of the hearing was to obtain testimony from affected and/or interested parties regarding this application. Interested parties are also invited to submit written comments regarding the request prior to hearing. The environmental determination was among the matters considered at the hearing.

The public hearing was attended by the representative (Gary Benjamin) and approximately three (3) other members from the applicant team, and approximately ten (10) members from the community. One member of the public spoke at the hearing.

#### **Applicant Presentation:**

The applicant's representative described the site location, project description, requested entitlements, and community outreach, which had been completed.

There was one (1) comment on the project. Objections raised included concerns about the reduction of parking spaces and its impact on the surrounding area, and the need for restaurants in the community.

### **WRITTEN CORRESPONDENCE**

Staff received a letter of support from the Empowerment Congress West Area (ECWA) Neighborhood Council. The Applicant met with the neighborhood council for a total of 2 times and received a recommendation of approval for the project. ECWA indicated that the changes made in the Design Review Board meetings were positive and satisfactory and supports the residential project. ECWA requests the developer provide 10 units of income restricted affordable housing in lieu of the 6 planned. Also, ECWA expressed concerns about pedestrian safety and congestion and would like to ask planning & the developer to implement road improvements that prevent cars traveling eastbound on Stocker Street from making a left into the alley and cars traveling northbound on Crenshaw Boulevard from making a left into the parking garage. Additionally, ECWA is concerned about the poor quality of the adjacent alley which will facilitate all automobile egress as well as deliveries, thus would like to ask the developer and the council office to coordinate pavement and pothole repair. The full letter has been attached to the case file (Exhibit F).



**CRENSHAW APARTMENTS**

**3600 STOCKER ST.**

**LOS ANGELES, CA. 90008**

**64-Unit Apartments**

**& Retail-Restaurant**

**THIS IS NOT A PUBLIC HOUSING FACILITIES OWNED AND/ OR OPERATED BY, FOR OR ON  
BEHALF OF A PUBLIC ENTITY AND NO TAX CREDIT RECEIVED FROM THE STATE OR FEDERAL.  
NOT A TCAC FACILITY, AND NOT A SOCIAL SERVICE CENTER. 100% PRIVATELY FUNDED.**

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SHEET	DESCRIPTION	SHEET	DESCRIPTION
C	COVER SHEET	SP-01	GENERAL NOTES
DIR-01	APPROVAL LETTER	SP-02	GENERAL NOTES
DIR-02	APPROVAL LETTER	SP-03	GENERAL NOTES- BICYCLE PARKING NOTES
S	SURVEY	SP-04	FIRE DEPARTMENT NOTES
A-01	SITE PLAN	SP-05	FIRE DEPARTMENT NOTES/ RECYCLING AREA NOTES
A-02	1/8" GROUND FLOOR PLAN	SP-06	DISABLE ACCESS NOTES
A-03	1/8" SECOND FLOOR (GARAGE)	SP-07	DISABLE ACCESS NOTES
A-04	1/8" THIRD FLOOR PLANS	SP-08	DISABLE ACCESS NOTES
A-05	1/8"FOURTH TO FIFTH FLOOR PLANS	SP-09	DISABLE ACCESS NOTES
A-06	1/8" SIXTH FLOOR PLAN	SP-10	LOS ANGELES GREEN BUILDING NOTES AND FORMS
A-07	ROOF PLAN	SP-11	LOS ANGELES GREEN BUILDING NOTES AND FORMS RESIDENTIAL
A-08	ELEVATIONS NORTH	SP-12	LOS ANGELES GREEN BUILDING NOTES AND FORMS NON-RESIDENTIAL
A-09	ELEVATIONS WEST	SP-13	LOS ANGELES GREEN BUILDING NOTES AND FORMS NON-RESIDENTIAL
A-10	ELEVATIONS EAST		
A-11	ELEVATIONS SOUTH		
A-12	SECTIONS A-A		
A-13	SECTIONS B-B		
A-14	SECTIONS C-C		
A-15	1/4" FLOOR PLANS		
A-16	1/4" FLOOR PLANS		
A-17	1/4" FLOOR PLANS		
A-18	1/4" FLOOR PLANS		
A-19	1/4" STAIR DETAILS		
A-20	OPEN SPACE/ GRADING/ SHADING PLANS		
A-21	DOOR/ FINISH SCHEDULES		
A-23	APPROVALS		
A-24	APPROVALS		
D-01	TYPICAL DETAILS		
D-02	TYPICAL DETAILS		
D-03	TYPICAL DETAILS		
D-04	TYPICAL DETAILS		
D-05	TYPICAL DETAILS		
D-06	TYPICAL DETAILS		
T24-a	TITLE 24- ENERGY COMPLIANCE		
T24-b	TITLE 24- ENERGY COMPLIANCE		
T24-c	TITLE 24- ENERGY COMPLIANCE		
T24-d	TITLE 24- ENERGY COMPLIANCE		

BLD'G CONST. / OCCUPANCY							BUILDING SUMMARY				PARKING SUMMARY			
RESIDENTIAL: TYPE III-A (4-STORY) SUPERVISED AUTOMATIC FULLY SPRINKLERED THROUGH OUT (NFPA I 3) ZONING CODE :(7 STORY) PROVIDE APPROVED FIRE ALARM SYSTEM PER NFPA 72 UNDER SEPARATE PERMIT EMERGENCY RESPONDER RADIO COVERAGE REQUIRED PER CFC 5 I 0 COMMERCIAL: TYPE IA (1-STORY GROUND FLOOR) SPRINKLERED THROUGH OUT (NFPA I 3) PARKING: TYPE IA (1-STORY 2ND FLOOR) SPRINKLERED THROUGH OUT (NFPA I 3) BUILDING HEIGHT BUILDING CODE: 66'-4" BUILDING HEIGHT ZONING CODE: 70'-0"							ZONING: C1.5-I-SP CRENSHAW CORRIDOR SPECIFIC PLAN SUBAREA "D" ZONING CODE HEIGHT LIMIT: 48' MAXIMUM BUILDING AREA ALLOWED PER SP: 1.5:1 FAR MAXIMUM BUILDING AREA ALLOWED PER SB-1818: 3:1 FAR LOT AREA (INCLUDING 1/2 ALLEY WIDTH): 20,185.1 SQ. FT. BASE # OF UNITS (PER C-1.5 ZONE):50.5 DENSITY INCREASE OF 24% (63.75) PROPOSED NUMBER OF UNITS 64 F.A.R. ALLOWED (SB-1818) 3.0:1 ALLOWABLE BUILDABLE AREA LOT AREA: 18,656.2 SQ. FT. 18,656.2X3.0= 55,968.6 SQ. FT. PROPOSED BUILDING AREA 51,444 SQ. FT. < 55,971.3 SQ. FT. ACTUAL FAR 2.76:1 BUILDING AREA: USE OCC. LOAD AREA GROUND FLOOR: GARAGE S-2 1/200 (59) 11,770 SQ. FT. RESTAURANT A-2 1/15 5,000 SQ. FT. TOTAL AREA: 16,770 SQ. FT. SECOND FLOOR: GARAGE S-2 1/200 (70) 14,082 SQ. FT. FITNESS/GYM R-2 1/50 (19) 945 SQ. FT. TOTAL AREA: 15,027 SQ. FT. THIRD FLOOR: RESIDENTIAL R-2 1/200 (58) 12,329 SQ. FT. EXTERIOR WALLS/ SHAFTY STAIRS/ VENTS <718> SQ. FT. TOTAL AREA: 11,611 SQ. FT. FOURTH THRU 6TH FLOOR (PER FLOOR): RESIDENTIAL R-2 1/200 (58) 12,329 SQ. FT. EXTERIOR WALLS/ SHAFTY STAIRS/ VENTS <718> SQ. FT. TOTAL AREA: 11,611 SQ. FT. TOTAL AREA (4-6): 34,833 SQ. FT. TOTAL RESIDENTIAL AREA (BLD'G CODE): 46,444 SQ. FT. TOTAL RESIDENTIAL AREA (ZONIG CODE): 46,444 SQ. FT. TOTAL RESIDENTIAL AREA (SCHOOL FEE):49,316 SQ. FT. TOTAL COMM. AREA (SCHOOL FEE) 5,000 SQ. FT. TOTAL HABITABLE AREA 54,316 SQ. FT. TOTAL GARAGE (5-2) OCCUPANCY 25,852 SQ. FT.				PARKING REQUIREMENTS PER LAMC (RESIDENTIAL) 2 SPACE PER 3 HAB. ROOMS=4X2 8 1.5 SPACE PER 2 HAB. ROOMS=24X1.5 36 1.0 SPACE PER 1 HAB. ROOM=36X1 36 TOTAL 80 PARKING REQUIRED PER CRENSHAW SPECIFIC PLAN (RESIDENTIAL) (50%<=SPACES<=90%)= 40 PARKING REQUIRED PER AB744 DENSITY BONUS 0.5 SPACES PER BEDROOM (68 BD RM) 34 RESIDENTIAL PARKING PROVIDED DISABLE ACCESS 01 STANDARD 35 TOTAL RESIDENTIAL PARKING PROVIDED 36 GUEST PARKING NONE COMMERCIAL REQUIRED LAMC 5,000 SQ. FT. (5,000/1,000)X2= 10 TOTAL PER CRENSHAW SPECIFIC PLAN (50%<=SPACES<=90%)= 05 DISABLE ACCESS 01 STANDARD 08 TOTAL COMMERCIAL PARKING PROVIDED 09 TOTAL PARKING PROVIDED 45 CAR CHARGER CALCULATIONS RESIDENTIAL: 50X5%=3 CAR CHARGER REQUIRED AND PROVIDED > 17 UNITS- ONE LARGER SIZE BICYCLE PARKING CALCULATIONS: REQUIRED / PROVIDED RESIDENTIAL LONG TERM 1-25 (1 PER 1 UNITS) 25 LONG TERM 26-64 (1 PER 1.5 UNIT) 26 SHORT TERM 1-25 (1 PER 10 UNITS) 02 SHORT TERM 26-64 (1 PER 15 UNIT) 03 TOTAL 56 BICYCLE PARKING CALCULATIONS: REQUIRED/ PROVIDED COMMERCIAL LONG TERM 2 1 PER 2,000 SQ. FT. 02 SHORT TERM 2 1 PER 2,000 SQ. FT. 02 TOTAL 04 TOTAL BICYCLE PARKING PERMANENT 53 SHORT TERM 07 CAR CHARGER CALCULATIONS COMMERCIAL: EV CHARGING STATION (TABLE 5.106.5.3.3) 0 DESIGNATED PARKING FOR CLEAN AIR (TABLE 5.106.5.2) 0			
VICINITY MAP														
INCENTIVES SUMMARY														
SB 1818 DENSITY BONUS BASE INCENTIVES														
• 24% INCREASE IN DENSITY														
• AB 744 PARKING (0.5 SPACES PER BEDROOM)														
SB 1818 DENSITY BONUS ON-MENU INCENTIVES														
• INCREASE IN FAR FROM 1.5 TO 2.76 (3.0 PERMITTED)														
• 20% OPEN SPACE REDUCTION														
SB 1818 DENSITY BONUS OFF-MENU INCENTIVES														
• INCREASE IN HEIGHT FROM 48' TO 70'														
• REDUCE REQUIRED FRONT YARD FOR GROUND LEVEL COMMERCIAL FROM 10' TO 0'														
• REDUCE EASTERLY SIDE YARD FOR GROUND FLOOR COMMERCIAL FROM 9' TO 0'														
• REDUCE THE REQUIRED SOUTHERLY REAR YARD FOR THE SECOND FLOOR PARKING DECK FROM 18' TO 0'.														
CONSTRUCTION TYPE SUMMARY														
TYPE OF CONSTRUCTION							IIIA							
OCCUPANCY							R-2							
NO. OF STORIES							4							
HEIGHT (ALLOWABLE)							65'+20'=85'							
ALLOWABLE FLOOR AREA							48,000							
W=(30' (1/2 STREET WIDTH)X200')/200'=30'														
FRONTAGE INCREASE: I=[F/P-0.25]W/30=[216/430-0.25]30/30 =0.25														
ASSUME 0.25														
AREA MODIFICATION: A <sub>n</sub> =[A <sub>i</sub> +(NSX <sub>i</sub> )X5.														
A <sub>a</sub> =[24,000+(24,000X0.25)]X2=60,000 SQ. FT. >46,444 5.F. (PROVIDED)														
ALLOWABLE AREA PER STORY							60,000 SQ. FT.							
MAX. BUILDING AREA:							UNLIMITED							
> 1 STORY: ALLOWABLE X2							60,000 SQ. FT.							
OCCUPANCY SEPARATION							3-HR							
DEFERRED SUBMITTAL ITEMS: DEFERRED SUBMITTAL ITEMS SHALL COMPLY WITH CBC SECTION 106.4.4.2. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT (STRUCTURAL ENGINEER) FOR REVIEW WITH THE GENERAL CONFORMANCE TO CONTRACT DOCUMENTS, PROVIDE A PROFESSIONAL ENGINEER'S SIGNATURE AND SEAL IN THE STATE WHERE THE PRODUCT SITE OCCURS. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED BY THE BUILDING OFFICIAL. DEFERRED SUBMITTAL ITEMS ARE AS FOLLOWING:  A. ELEVATOR ANCHOR SYSTEM B. ATS SYSTEM (HOLD DOWNS)							FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS) TABLE 601							
							BUILDING ELEMENT							
							TYPE I							
							TYPE IIIA							
							PRIMARY STRUCTURAL FRAME							
							3							
							1							
							BEARING WALLS							
							EXTERIOR							
							3							
							2							
							INTERIOR							
							3							
							1							
							NONBEARING WALLS AND PARTITIONS							
							EXTERIOR							
							1							
							1							
							NONBEARING WALLS AND PARTITIONS							
							INTERIOR							
							0							
							1							
							FLOOR CONSTRUCTION AND SECONDARY MEMBER							
							2							
							1							
							ROOF CONSTRUCTION AND SECONDARY MEMBER							
							1.5							
							1							
							SHAFT RATING							
							2							
OPEN SPACE REQUIREMENTS SEC. 12.21.62														
LESS THAN 3 HABITABLE ROOM UNIT @ 100 SQ. FT. PER UNIT=60X100=							6,000 SQ. FT.							
3 HABITABLE ROOM UNIT @ 125 SQ. FT. PER UNIT=4X125=							500 SQ. FT.							
4 HABITABLE ROOM UNIT @ 175 SQ. FT. PER UNIT=0X175=							0 SQ. FT.							
TOTAL OPEN SPACE REQUIRED=							6,500 SQ. FT.							
OPEN SPACE DECREASE OF 20% PER DENSITY BONUS INCENTIVE							5,200 SQ. FT.							
MINIMUM COMMON OPEN SPACE REQUIRED (50%)=							2,600 SQ. FT.							
PRIVATE OPEN SPACE PROVIDED:														
BALCONIES WITH 6' MIN. DIM.: 50 SQ.FT.X45=							2,250 SQ. FT.							
COMMON OPEN SPACE PROVIDED:														
COURT YARD WITH 20' MIN.:							2,690 SQ. FT.							
ROOF TOP WITH MIN. 15' DIM.:							0 SQ. FT.							
REC. ROOM-FITNESS CENTER SECOND FLOOR (18%)							945 SQ. FT.							
TOTAL OPEN SPACE PROVIDED:							5,885 SQ. FT.							
MIN. COMMON SPACE LANDSCAPE REQUIRED (25%)=2,600*25%=							650 SQ. FT.</							



3600 W. STOCKER ST.  
LOS ANGELES, CA, 90008

NEW 6-STORY MIXED-USE WITH 4- LEVEL TYPE III-A, 64-UNIT  
APARTMENT-HOUSE OVER 1-LEVEL 2ND FLOOR PARKING  
AND 1-LEVEL GROUND FLOOR COMMERCIAL RESTAURANT  
AND PARKING

ECHO HEIGHTS, LLC  
280 S. BEVERLY DR. #320  
BEVELRY HILLS, CA 90212

AFCO DESIGN, INC.  
10635 Santa Monica Blvd #190  
LOS ANGELES, CA 90025  
424-789-8001

LEE & LEE STRUCTURAL ENGINEERING, INC.  
SANG LEE  
3550 WILSHIRE BLVD. #480  
LOS ANGELES, CA90010  
213-351-0034

H.J. BURKE, INC.  
4079 N. RANCHO DR. #150  
LAS VEGAS, NV 89130  
310-633-1213

APPLIED SOIL TECHNOLOGY, INC.  
4742 SAN FERNANDO RD.  
GLENDALE, CA 91204  
818-552-6000


















AMPS ENGINEERING  
.  
.  
310-877-2835

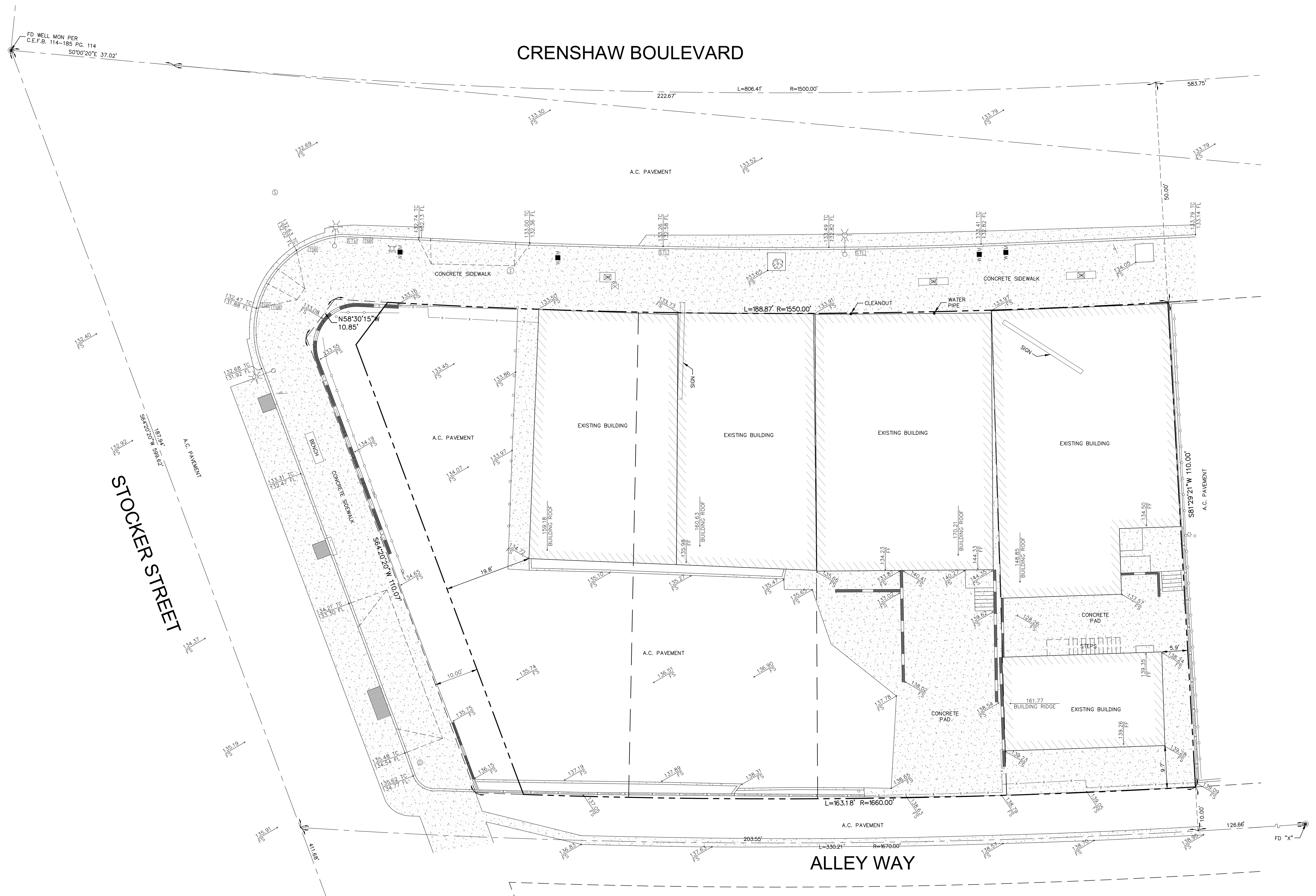
CURESH ENGINEERING MECHANICAL CONSULTANT  
1659 WELLESLEY AVE.  
LOS ANGELES, CA 90025  
310-775-7662

ALCHEMY PLANNING + LAND USE  
4470 W. SUNSET BLVD. #547  
LOS ANGELES, CA 90027  
213-479-7521

TRACT	TR10900
BLOCK	BLK A
LOT	110-111-112-113
MAP BOOK	MB 189-6/7
ARB	NONE
MAP SHEET	114B185
APN	5024-008-008,009,025
C.D.	08
T.G.	PAGE 673-E3

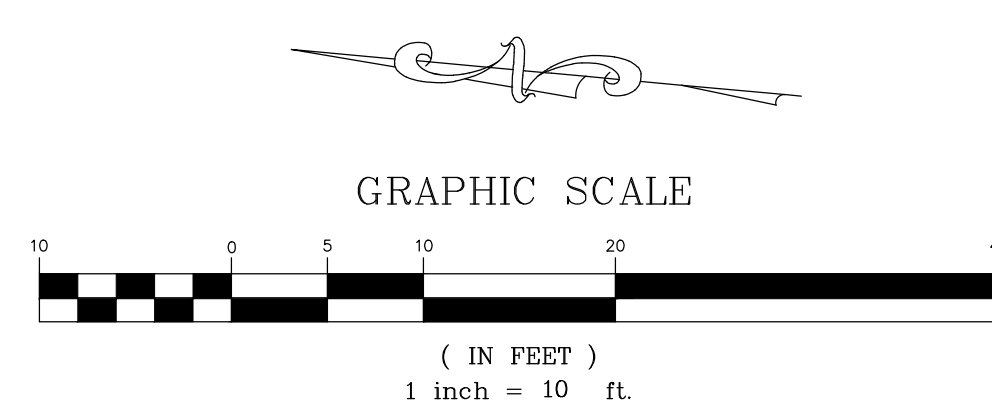
**C**

- |   |                                |
|---|--------------------------------|
|  | EXISTING BUILDING              |
| FS  | FINISHED SURFACE               |
| FF  | FINISHED FLOOR                 |
| FL  | FLOWLINE                       |
| TC  | TOP OF CURB                    |
|  | FOUND OR SET MONUMENT AS NOTED |
|  | GAS METER                      |
|  | GAS VALVE                      |
|  | SANITARY SEWER MANHOLE         |
|  | GUARD POST                     |
|  | FIRE HYDRANT                   |
|  | AREA LIGHT                     |
|  | CATCH BASIN                    |
|  | SIGN                           |
|  | STORM DRAIN MANHOLE            |
|  | STREET LIGHT                   |
|  | STREET LIGHT PULL BOX          |
|  | TELEPHONE MANHOLE              |
|  | TRAFFIC SIGNAL PULL BOX        |
|  | WATER METER                    |
|  | TREE                           |



**LEGAL DESCRIPTION:**  
A PORTION OF LOT 6, LOT 7, LOT 8 & LOT 9, BLOCK A OF TRACT MAP NO.  
10900, RECORDED IN BOOK 189 OF MAPS, PAGES 6 TO 7 OF THE LOS  
ANGELES COUNTY OFFICIAL RECORDS.

**BENCHMARK:**  
COUNTY OF LOS ANGELES BENCHMARK NO. 5Y11351,  
FOUND L&T IN S CB 3M(9.8FT) W/O BCR @ SW COR CRENSHAW BL & STOCKER ST.  
ELEVATION= 133.062'



FOR REVIEW AND COMMENT ONLY

---

HOOSHMAND JAHANPOUR-BURKE, LS 8230                      DATE

4209-4213 CRENSHAW BOULEVARD LOS ANGELES, CALIFORNIA		HOOSHMAND JAHANPOUR-BURKE LS 8230		H.J. BURKE, INC. 4079 N. RANCHO DR. # 150, LAS VEGAS, NEVADA 89130 T: (310) 633-1213 T: (702) 452-8753 F: (702) 562-5876 EMAIL: info@hjburke.com		DATE		REVISIONS	
1 OF 1		SHEET:		100% GRAPHIC SURVEY		DRAWN BY: AIL 11-20-2018		BY:	
				CHECKED BY: JOHN DWG. NAME: 4209-4213 CRENSHAW BLVD					





## CRENSHAW BOULEVARD

## STOCKER STREET

## ALLEY WAY

PROPOSED 4-STORY TYPE IIIA  
64-UNIT RESIDENTIAL OVER 1 LEVEL  
OF TYPE IA 2ND FLOOR GARAGE  
OVER 1 LEVEL OF TYPE IA GROUND  
FLOOR RESTAURANT AND GARAGE

FIRST FLOOR FINISH=133'-10"

### LEGEND:

- EXIT SIGN W/ EMERGENCY LIGHT
- HARD WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL DWELLING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED SHALL HAVE AN APPROVED CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS:
  - 1. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOM(S)
  - 2. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS
- 5 AIR EXCHANGE PER MINUTE MIN. EXHAUST FAN AND FLORESCENT LIGHT FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- WATER CURTAIN INSTALLED IN ACCORDANCE WITH SEC. 903.3.1.1
- DOOR TYPE
- WINDOW TYPE
- FIRE EXTINGUISHER, RECESSED INTO WALL
- INTERIOR ELEVATION MARKER
- EXISTING GRADE ELEVATION
- T.W. TOP OF WALL
- F.F. FINISHED FLOOR
- E.F.G. EXISTING FINISH GRADE
- T.D. TOP OF DRAIN
- A.D. AREA DRAIN
- 2-HR EXTERIOR WALL SEE DETAIL 1/D-02 FIRE BARRIER
- 2-HR 50 STC WALL SEE DETAIL 3/D-02 FIRE BARRIER
- 2-HR 50 STC WALL SEE DETAIL 3/D-02 FIRE BARRIER (PLB'S WALL)
- 1-HR 50 STC WALL SEE DETAIL 2/D-02 FIRE BARRIER
- 1-HR 50 STC WALL SEE DETAIL 2/D-02 FIRE BARRIER (PLB'S WALL)
- 8" SOLID GROUTED CONCRETE BLOCK WALL
- 8" CONCRETE WALL
- 1-HR RATED WOOD FRAMING, PROVIDE XG MIN. WOOD FRAMING FOR ALL PLUMBING WALLS 1 I/D-01
- 1/4" DROP SOFFIT. VERIFY SIZE PRIOR TO CONSTRUCTION VOID SOFFITS SHALL BE FILLED WITH INSULATION AND SOFFITS WITH AIR-CONDITIONING DUCTS SHALL BE PRE-UMED WITH 3/8" THICK GYP BO TAPED AND INSPECTED PRIOR TO INSTALLATION OF THE DUCTS. AREAS REQUIRING INSULATION ABOVE AND THE SIDE OF THE SOFFITS SHALL BE INSULATED AND INSPECTED PRIOR TO THE PRELIM DRYWALL SEE DETAIL 64/D-02 AND 14/D-04
- 8'-2" HEADROOM CLEARANCE
- SECURITY CAMERA
- AREA DRAIN AND FLOW DIRECTION
- EVS SEE NOTES
- FENCE WALL

### GRADE PLANE CALCULATIONS:

	NORTH	SOUTH	EAST	WEST
	133.00	139.09	134.05	136.15
	134.19	138.24	133.97	137.18
	134.65	135.50	133.91	137.88
	135.75	134.05	133.73	138.31
	136.15	-	133.16	138.65
	-	-	133.08	139.05
	-	-	-	139.09
	-	-	-	-
	-	-	-	-
TOTAL	673.62	546.60	601.80	266.33
Ave.	134.70	136.72	133.65	138.05
	GRADE PLANE			135.80

### NOTES:

- PROVIDE SUPERVISED AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 NFPA 13 THROUGH OUT THE BUILDING (UNDER SEPARATE PERMIT)
- PROVIDE FIRE ALARM SYSTEM APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION THROUGHOUT THE BUILDING (UNDER SEPARATE PERMIT)

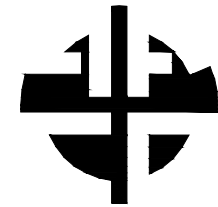
SEPARATE APPLICATION AND PERMIT(S) IS/ARE REQUIRED FOR:

- ELECTRICAL WORK
- PLUMBING WORK
- SHORING
- FIRE SPRINKLER
- SIGNS
- ELEVATOR
- RETAINING WALLS
- MECHANICAL WORK
- GRADING
- DEMOLITION
- FIRE ALARM
- SWIMMING POOL
- BLOCK WALLS > 3"

SITE PLAN  
SCALE: 3/32" = 1'-0"



SHEET NO. A-01  
JOB ADDRESS: 3600 STOCKER  
THIS DRAWING IS THE PROPERTY OF AFCD DESIGN, INC. AND SHALL NOT BE REPRODUCED OR USED IN ANY OTHER MANNER WITHOUT THE WRITTEN PERMISSION OF AFCD DESIGN, INC.  
10-14-2020



AFCO Design, Inc.

10635 Santa Monica Blvd. #190  
Los Angeles, California 90025  
Phone: 424.789.8001  
afcodevelopment.com

CRENSHAW BLVD.

ALLEY WAY

LEGEND:

- EXIT SIGN W/ EMERGENCY LIGHT
- HARD WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL DWELLING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED SHALL HAVE AN APPROVED CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS:
  - 1. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOM(S)
  - 2. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS
- 5 AIR EXCHANGE PER MINUTE MIN. EXHAUST FAN AND FLORESCENT LIGHT FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- WATER CURTAIN INSTALLED IN ACCORDANCE WITH SEC. 903.3.1.1
- DOOR TYPE
- WINDOW TYPE
- FIRE EXTINGUISHER, RECESSED INTO WALL.
- INTERIOR ELEVATION MARKER
- EXISTING GRADE ELEVATION
- T.W. TOP OF WALL
- F.F. FINISHED FLOOR
- E.F.G. EXISTING FINISH GRADE
- T.D. TOP OF DRAIN
- A.D. AREA DRAIN
- 2-HR EXTERIOR WALL SEE DETAIL 1/D-02 FIRE BARRIER
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- 8" CONCRETE WALL
- 1-HR RATED WOOD FRAMING. PROVIDE X6 MIN. WOOD FRAMING FOR ALL PLUMBING WALLS 1 1/D-01.
- 14" DROP SOFFIT. VERIFY SIZE PRIOR TO CONSTRUCTION VOID SOFFITS SHALL BE FILLED WITH INSULATION AND SOFFITS WITH AIR-CONDITIONING DUCTS SHALL BE PRE-UMED WITH 5/8" THICK GYP BD TAPED AND INSPECTED PRIOR TO INSTALLATION OF THE DUCTS. AREAS REQUIRING INSULATION ABOVE AND THE SIDE OF THE SOFFITS SHALL BE INSULATED AND INSPECTED PRIOR TO THE PRELIM DRYWALL SEE DETAIL 647/D-02 AND 14/D-04
- 8'-2" HEADROOM CLEARANCE
- SECURITY CAMERA
- AREA DRAIN AND FLOW DIRECTION
- EVS SEE NOTES
- FENCE WALL

OCCUPANCY A-2 (RESTAURANT)  
OCC. LOAD: 5,400 SQ. FT./15=360  
360>49 ONE EXITS REQUIRED.  
360>49 REQUIRED STAIR WIDTH 42"  
360>49 REQUIRED EXIT WIDTH 42"  
EXIT ACCESS TRAVEL DISTANCE: 250'  
MAX. COMMON PATH OF EGRESS  
TRAVEL DISTANCE: 75'

TABLE 1004.1.2  
TABLE 1006.3.2(2)  
(SEC. 1011.2 EXP. 1)  
TABLE 1020.2  
TABLE 1017.2  
TABLE 1006.3.2(2)

OCCUPANCY S2 (PARKING)  
OCC. LOAD: 7,790 SQ. FT./200=39  
39>29 TWO EXITS REQUIRED.  
39<50 REQUIRED STAIR WIDTH 36"  
39<50 REQUIRED EXIT WIDTH 36"  
EXIT ACCESS TRAVEL DISTANCE: 400'  
MAX. COMMON PATH OF EGRESS  
TRAVEL DISTANCE: 100'

TABLE 1004.1.2  
TABLE 1006.3.2(2)  
(SEC. 1011.2 EXP. 1)  
TABLE 1020.2  
TABLE 1017.2  
TABLE 1006.3.2(2)

EVSE NOTES:

- SEE PLANS FOR RACEWAY TERMINATION POINT (S), EVSE, AND EVE CHARGERS.
- ONLY UNDERGROUND RACEWAYS AND RELATED UNDERGROUND EQUIPMENT ARE REQUIRED TO BE INSTALLED AT THE TIME OF CONSTRUCTION.
- FOR BUILDINGS WITH 17 OR MORE DWELLING UNITS, AT LEAST ONE OF THE REQUIRED EV SPACES SHALL BE LOCATED IN COMMON AREA USE AREAS, EQUIPPED WITH AN EV CHARGING STATION AND AVAILABLE FOR USE BY ALL RESIDENTS.
- THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUITS. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
- THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVER-CURRENT PROTECTIVE DEVICE SPACE (S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH LOS ANGELES ELECTRICAL CODE.

NOTES:

PROVIDE SUPERVISED AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 NFPA 13 THROUGH OUT THE BUILDING (UNDER SEPARATE PERMIT)  
PROVIDE FIRE ALARM SYSTEM APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION THROUGHOUT THE BUILDING (UNDER SEPARATE PERMIT)

GROUND FLOOR PARKING

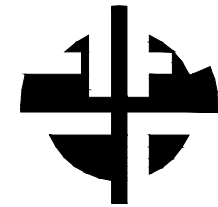
SCALE: 1/8"=1'-0"



SHEET NO. A-02

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10-14-2020





AFCD Design, Inc.

10635 Santa Monica Blvd. #190  
Los Angeles, California 90025  
Phone: 424.789.8001  
afcddevelopment.com

#### LEGEND:

- EXIT SIGN W/ EMERGENCY LIGHT
- HARD WIRE SMOKE DETECTORS WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL DWELLING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED SHALL HAVE AN APPROVED CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS:
1. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOM(S)
  2. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS
  - 5 AIR EXCHANGE PER MINUTE MIN. EXHAUST FAN AND FLORESCENT LIGHT FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- WATER CURTAIN INSTALLED IN ACCORDANCE WITH SEC. 903.3.1.1
- DOOR TYPE
- WINDOW TYPE
- FIRE EXTINGUISHER, RECESSED INTO WALL.
- INTERIOR ELEVATION MARKER
- EXISTING GRADE ELEVATION
- T.W. TOP OF WALL
- F.F. FINISHED FLOOR
- E.F.G. EXISTING FINISH GRADE
- T.D. TOP OF DRAIN
- A.D. AREA DRAIN
- 2-HR EXTERIOR WALL SEE DETAIL 1/D-02 FIRE BARRIER
- 2-HR 50 STC WALL SEE DETAIL 3/D-02 FIRE BARRIER
- 2-HR 50 STC WALL SEE DETAIL 3/D-02 FIRE BARRIER (PLB'S WALL)
- 1-HR 50 STC WALL SEE DETAIL 2/D-02 FIRE BARRIER
- 1-HR 50 STC WALL SEE DETAIL 2/D-02 FIRE BARRIER (PLB'S WALL)
- 8" SOLID GROUTED CONCRETE BLOCK WALL
- 8" CONCRETE WALL
- 1-HR RATED WOOD FRAMING. PROVIDE X6 MIN. WOOD FRAMING FOR ALL PLUMBING WALLS 1 1/D-01.
- 14" DROP SOFFIT. VERIFY SIZE PRIOR TO CONSTRUCTION VOID SOFFITS SHALL BE FILLED WITH INSULATION AND SOFFITS WITH AIR-CONDITIONING DUCTS SHALL BE PRE-UMED WITH 5/8" THICK GYP BD TAPED AND INSPECTED PRIOR TO INSTALLATION OF THE DUCTS. AREAS REQUIRING INSULATION ABOVE AND THE SIDE OF THE SOFFITS SHALL BE INSULATED AND INSPECTED PRIOR TO THE PRELIM DRYWALL SEE DETAIL G47/D-02 AND 14/D-04
- 8'-2" HEADROOM CLEARANCE
- SECURITY CAMERA
- AREA DRAIN AND FLOW DIRECTION
- EVS SEE NOTES
- FENCE WALL

OCCUPANCY S2 (PARKING)  
OCC. LOAD: 13,920 SQ. FT./200=70  
70>29 TWO EXITS REQUIRED.  
70>50 REQUIRED STAIR WIDTH 44"  
70>50 REQUIRED EXIT WIDTH 44"  
EXIT ACCESS TRAVEL DISTANCE: 400'  
MAX. COMMON PATH OF EGRESS  
TRAVEL DISTANCE: 100'

TABLE 1004.1.2  
TABLE 1006.3.2(2)  
(SEC. 1011.2 EXP. 1)  
TABLE 1020.2  
TABLE 1017.2  
TABLE 1006.3.2(2)

#### EVS NOTES:

1. SEE PLANS FOR RACEWAY TERMINATION POINT (S), EVCS, AND EVE CHARGERS.
2. ONLY UNDERGROUND RACEWAYS AND RELATED UNDERGROUND EQUIPMENT ARE REQUIRED TO BE INSTALLED AT THE TIME OF CONSTRUCTION.
3. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUITS. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
4. THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVER-CURRENT PROTECTIVE DEVICE SPACE (S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH LOS ANGELES ELECTRICAL CODE.

#### NOTES:

- PROVIDE SUPERVISED AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 NFPA 13 THROUGH OUT THE BUILDING (UNDER SEPARATE PERMIT)
- PROVIDE FIRE ALARM SYSTEM APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION THROUGHOUT THE BUILDING (UNDER SEPARATE PERMIT)

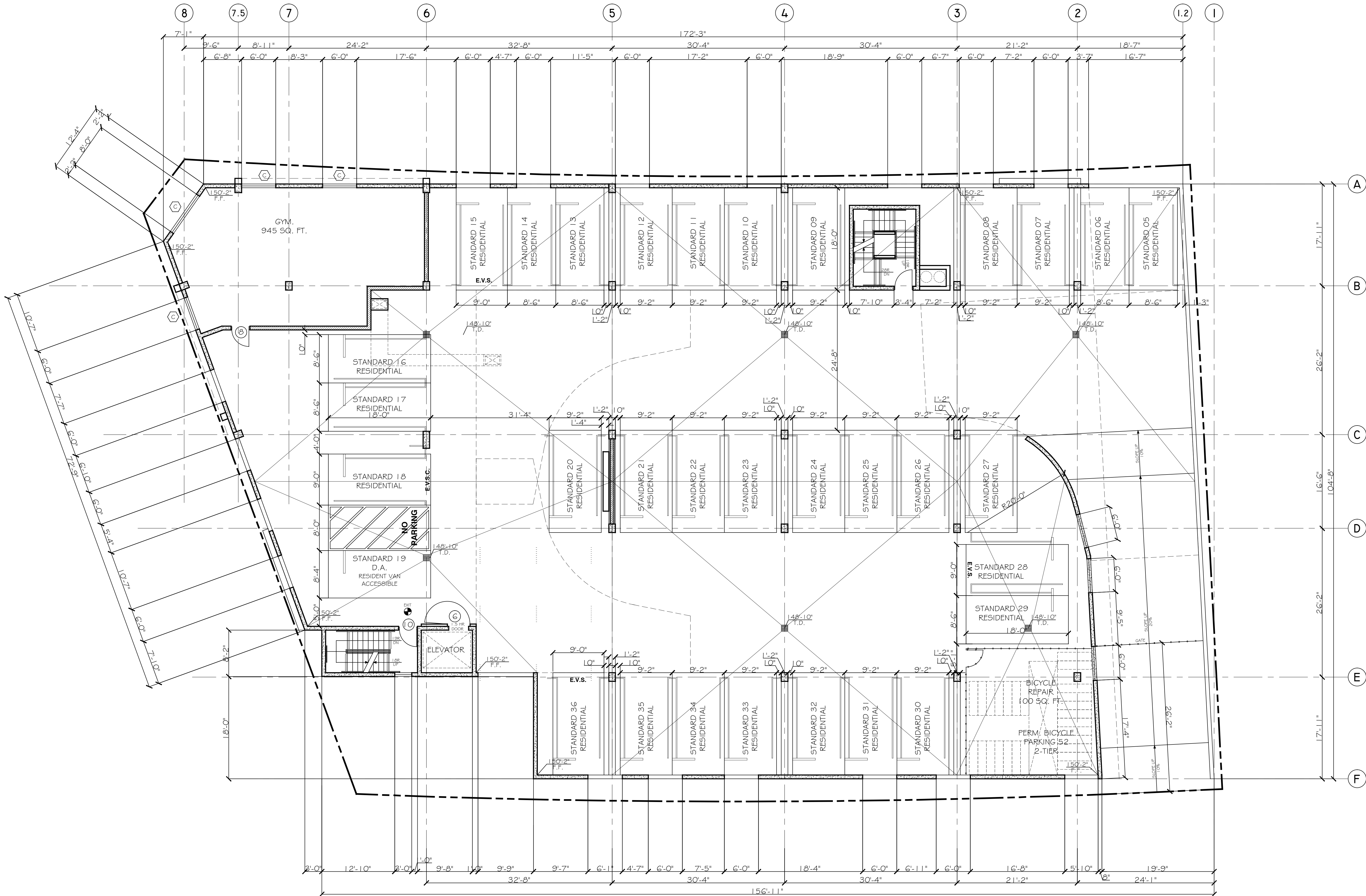
#### SECOND FLOOR PARKING

SCALE: 1/8"=1'-0"



#### SHEET NO. A-03

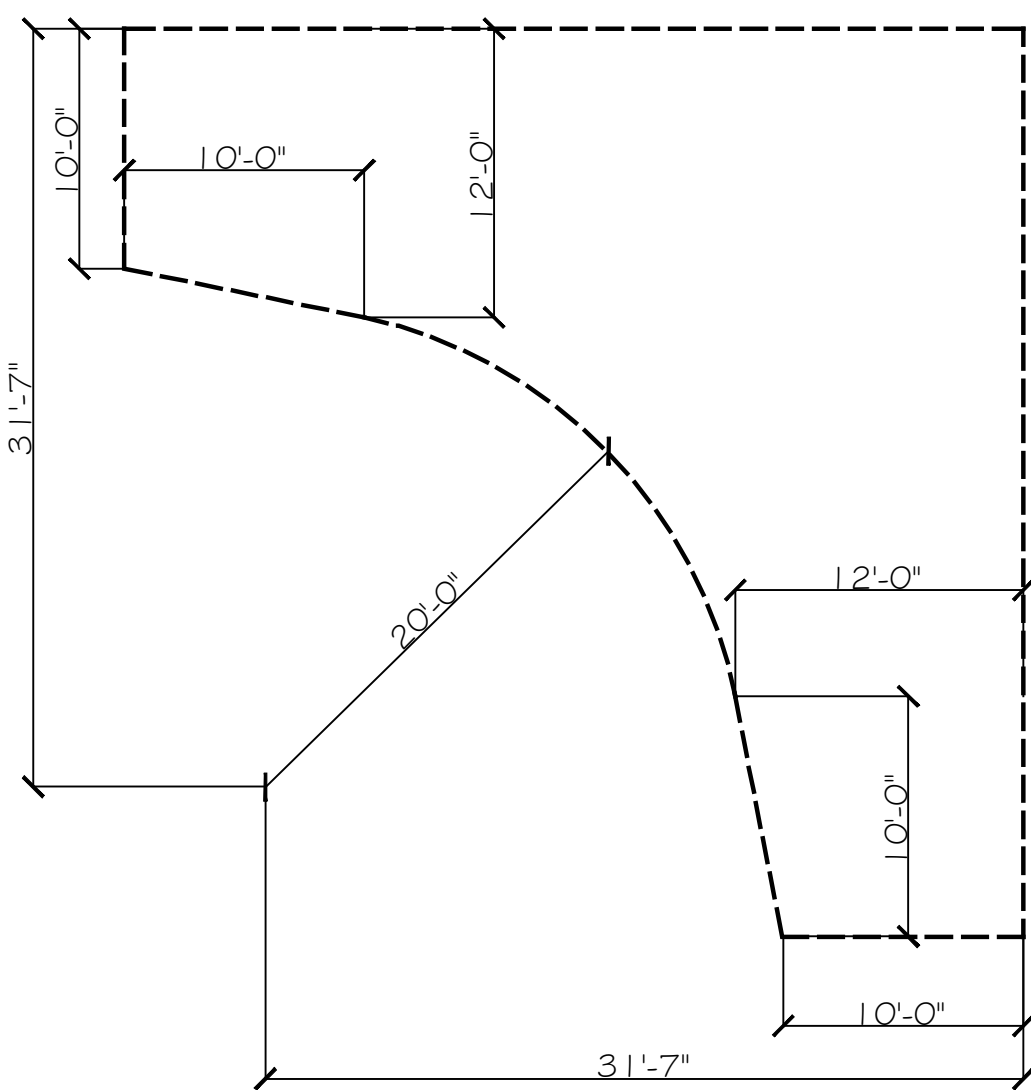
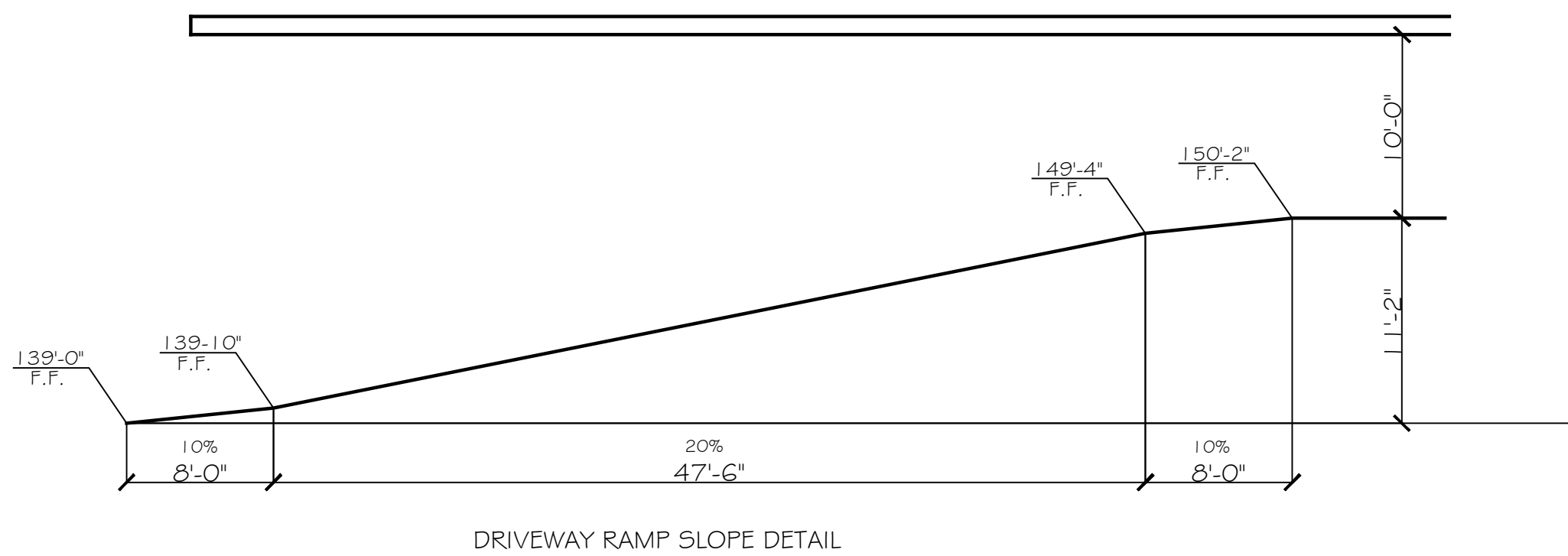
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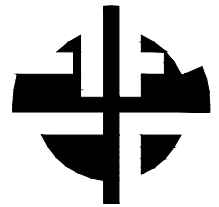
GARAGE VENTILATION CALC.: (SEC. 406.5.2)

TOTAL PERIMETER TIER AREA:	4,790	SQ. FT.	---
325X9=	958	SQ. FT.	
REQUIRED OPENING @ 20%:			
TOTAL PERIMETER TIER LENGTH:	479	L.F.	
REQUIRED OPENING LENGTH @ 40%:	191.6	L.F.	
NORTH WALL:			
AREA:	800	SQ. FT.	
OPENING PROVIDED	(8x5)=40	L.F.	
OPENING PROVIDED	(40x3'6")=140	SQ. FT.	
SOUTH WALL:			
AREA:	1,340	SQ. FT.	
OPENING PROVIDED	(45)=45	L.F.	
OPENING PROVIDED	(45x1'0")=450	SQ. FT.	
EAST WALL:			
AREA:	1,400	SQ. FT.	
OPENING PROVIDE	(8x8)=64	L.F.	
OPENING PROVIDED	(64x3'6")=1,250	SQ. FT.	
WEST WALL:			
AREA:	1,250	SQ. FT.	
OPENING PROVIDE	(8x5)=48	L.F.	
OPENING PROVIDED	(48x3'6")=1,68	SQ. FT.	
PERIMETER OF THE GARAGE TIER	479	L.F.	
AGGREGATE LENGTH OF OPENING	197	L.F. (41.12%)	
TOTAL PERIMETER WALL AREA	4,790	SQ. FT.	
TOTAL PERIMETER WALL OPENING PROVIDED	982	SQ. FT. (20.50%)	

VENTILATION IS NOT REQUIRED FOR GROUP "S-2" PARKING



CIRCULATION DRIVEWAY DETAIL



AFCO Design, Inc.

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Los Angeles, California 90025  
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LEGEND:

- EXIT SIGN W/ EMERGENCY LIGHT
- HARD WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL DWELLING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED SHALL HAVE AN APPROVED CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS:
1. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOM(S)
2. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS
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- WATER CURTAIN INSTALLED IN ACCORDANCE WITH SEC. 903.3.1.1
- DOOR TYPE
- WINDOW TYPE
- FIRE EXTINGUISHER, RECESSED INTO WALL.
- INTERIOR ELEVATION MARKER
- EXISTING GRADE ELEVATION
- TOP OF WALL
- FINISHED FLOOR
- EXISTING FINISH GRADE
- TOP OF DRAIN
- AREA DRAIN
- 2-HR EXTERIOR WALL SEE DETAIL 1/D-02 FIRE BARRIER
- 2-HR 50 STC WALL SEE DETAIL 3/D-02 FIRE BARRIER
- 2-HR 50 STC WALL SEE DETAIL 3/D-02 FIRE BARRIER (PLB'S WALL)
- 1-HR 50 STC WALL SEE DETAIL 2/D-02 FIRE BARRIER
- 1-HR 50 STC WALL SEE DETAIL 2/D-02 FIRE BARRIER (PLB'S WALL)
- 8" SOLID GROUTED CONCRETE BLOCK WALL
- 8" CONCRETE WALL
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- 14" DROP SOFFIT. VERIFY SIZE PRIOR TO CONSTRUCTION VOID SOFFITS SHALL BE FILLED WITH INSULATION AND SOFFITS WITH AIR-CONDITIONING DUCTS SHALL BE PRE-UMED WITH 5/8" THICK GYP BD TAPED AND INSPECTED PRIOR TO INSTALLATION OF THE DUCTS. AREAS REQUIRING INSULATION ABOVE AND THE SIDE OF THE SOFFITS SHALL BE INSULATED AND INSPECTED PRIOR TO THE PRELIM DRYWALL SEE DETAIL G47/D-02 AND 1 4/D-04
- 8'-2" HEADROOM CLEARANCE
- SECURITY CAMERA
- AREA DRAIN AND FLOW DIRECTION
- EVS SEE NOTES
- FENCE WALL

OCCUPANCY R2 (APARTMENT)

OCC. LOAD: 10,947 SQ. FT./200=55  
55>29 TWO EXITS REQUIRED,  
55>50 REQUIRED STAIR WIDTH 42"  
55>50 REQUIRED EXIT WIDTH 36"  
EXIT ACCESS TRAVEL DISTANCE: 250'  
MAX. COMMON PATH OF EGRESS  
TRAVEL DISTANCE: 75'

TABLE 1004.1.2  
TABLE 1006.3.2(2)  
(SEC. 101.1.2 EXP. 1)  
TABLE 1020.2  
TABLE 1017.2  
TABLE 1006.3.2(2)

OCCUPANCY A3 (COURTYARD)

OCC. LOAD: 2,245 SQ. FT./115=150  
150>29 TWO EXITS REQUIRED,  
150>50 REQUIRED EXIT WIDTH 44"  
EXIT ACCESS TRAVEL DISTANCE: 250'  
MAX. COMMON PATH OF EGRESS  
TRAVEL DISTANCE: 75'

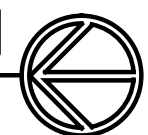
TABLE 1004.1.2  
TABLE 1006.3.2(2)  
TABLE 1020.2  
TABLE 1017.2  
TABLE 1006.3.2(2)

NOTES:

PROVIDE SUPERVISED AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 NFPA 13 THROUGH OUT THE BUILDING (UNDER SEPARATE PERMIT)  
PROVIDE FIRE ALARM SYSTEM APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION THROUGHOUT THE BUILDING (UNDER SEPARATE PERMIT)

3RD FLOOR PLAN

SCALE: 1/8"=1'-0"



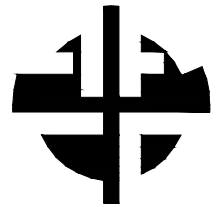
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Los Angeles, California 90025  
Phone: 424.789.8001  
afcodevelopment.com



LEGEND:

- EXIT SIGN W/ EMERGENCY LIGHT
- HARD WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL DWELLING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED SHALL HAVE AN APPROVED CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS:
  - 1. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOM(S)
  - 2. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS
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- DOOR TYPE
- WINDOW TYPE
- FIRE EXTINGUISHER, RECESSED INTO WALL.
- INTERIOR ELEVATION MARKER
- EXISTING GRADE ELEVATION
- TOP OF WALL
- FINISHED FLOOR
- EXISTING FINISH GRADE
- TOP OF DRAIN
- AREA DRAIN
- 2-HR EXTERIOR WALL SEE DETAIL 1/D-02 FIRE BARRIER
- 2-HR 50 STC WALL SEE DETAIL 3/D-02 FIRE BARRIER
- 2-HR 50 STC WALL SEE DETAIL 3/D-02 FIRE BARRIER (PLB'S WALL)
- 1-HR 50 STC WALL SEE DETAIL 2/D-02 FIRE BARRIER
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- 8" SOLID GROUTED CONCRETE BLOCK WALL
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- 8'-2" HEADROOM CLEARANCE
- SECURITY CAMERA
- AREA DRAIN AND FLOW DIRECTION
- EVS SEE NOTES
- FENCE WALL

OCCUPANCY: R2 (APARTMENT)  
OCC. LOAD: 10,947 SQ. FT./200=55  
55>29 TWO EXITS REQUIRED  
55>50 REQUIRED STAIR WIDTH 42"  
55>50 REQUIRED EXIT WIDTH 36"  
EXIT ACCESS TRAVEL DISTANCE: 250'  
MAX. COMMON PATH OF EGRESS TRAVEL DISTANCE: 75'

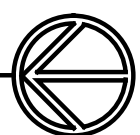
TABLE 1004.1.2  
TABLE 1006.3.2(2)  
(SEC. 101.1.2 EXP. 1)  
TABLE 1020.2  
TABLE 1017.2  
TABLE 1006.3.2(2)

NOTES:

PROVIDE SUPERVISED AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 NFPA 13 THROUGH OUT THE BUILDING (UNDER SEPARATE PERMIT)  
PROVIDE FIRE ALARM SYSTEM APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION THROUGHOUT THE BUILDING (UNDER SEPARATE PERMIT)

4TH THRU 5TH FLOOR PLAN

SCALE: 1/8"=1'-0"

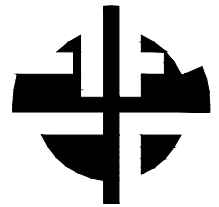


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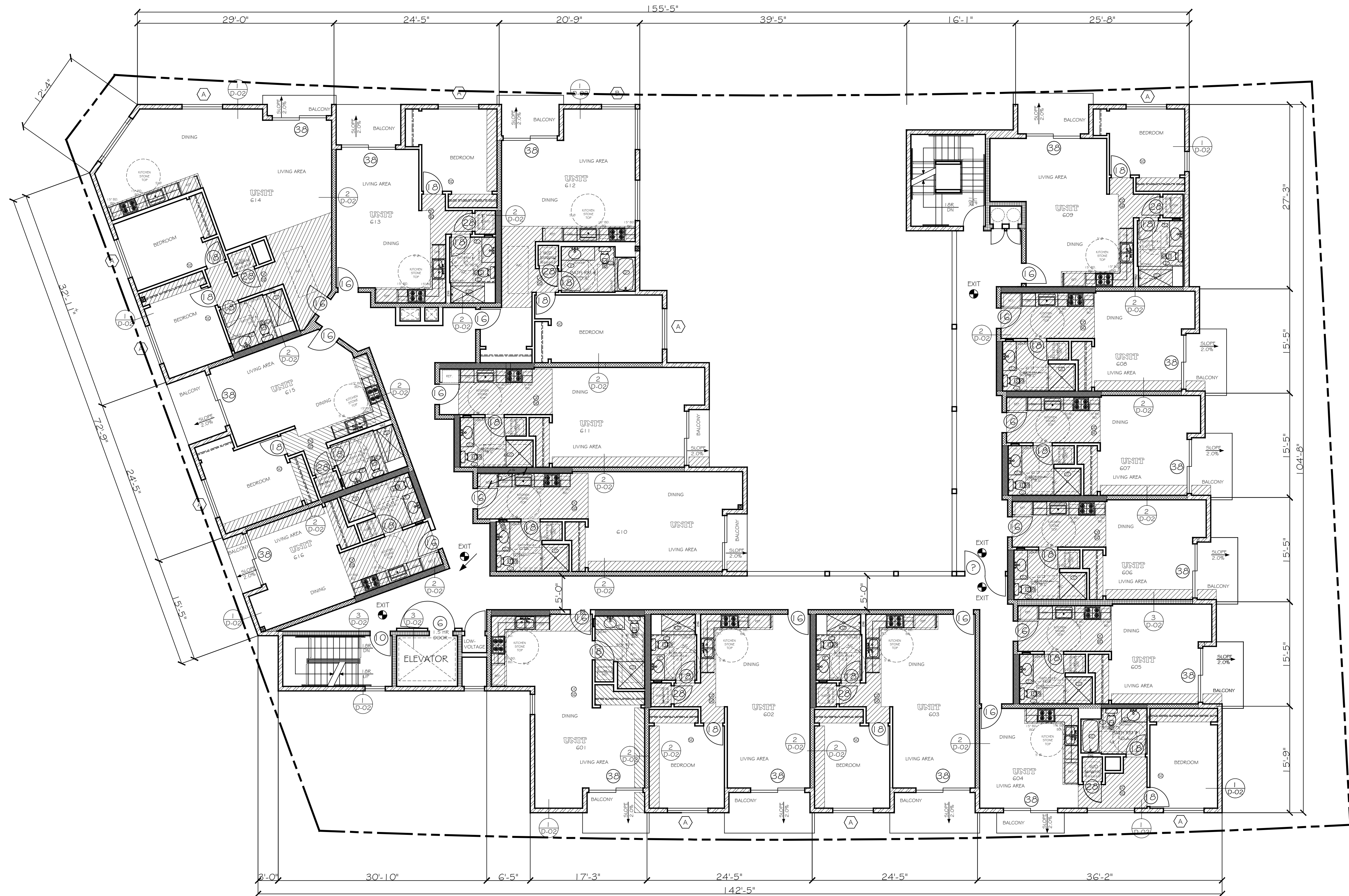
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LEGEND:

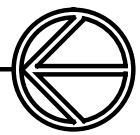
- EXIT SIGN W/ EMERGENCY LIGHT
- HARD WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL DWELLING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED SHALL HAVE AN APPROVED CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS:  
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- 8'-2" HEADROOM CLEARANCE
- SECURITY CAMERA
- AREA DRAIN AND FLOW DIRECTION
- EVS SEE NOTES
- FENCE WALL

OCCUPANCY: R2 (APARTMENT)  
OCC. LOAD: 10,947 SQ. FT./200=55  
55>29 TWO EXITS REQUIRED  
55>50 REQUIRED STAIR WIDTH 42"  
55>50 REQUIRED EXIT WIDTH 36"  
EXIT ACCESS TRAVEL DISTANCE: 250'  
MAX. COMMON PATH OF EGRESS TRAVEL DISTANCE: 75'

TABLE 1004.1.2  
TABLE 1006.3.2(2)  
(SEC. 101.1.2 EXP. 1)  
TABLE 1020.2  
TABLE 1017.2  
TABLE 1006.3.2(2)

NOTES:  
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PROVIDE FIRE ALARM SYSTEM APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION THROUGHOUT THE BUILDING (UNDER SEPARATE PERMIT)

6TH FLOOR PLAN  
SCALE: 1/8"= 1'-0"



SHEET NO. A-06

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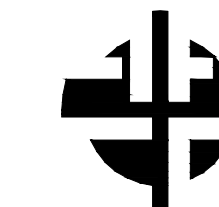


ROOF AREA:	11,622	SQ. FT.
15% REQUIRED:	1,743	SQ. FT.
AREA PROVIDED:	1,815	SQ. FT.

**ROOF PLAN**  
SCALE: 1/8" = 1'-0"

**SHEET NO. A-07**  
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PEDESTRIAN ORIENTED DISTRICT CALCULATIONS:

GROUND FLOOR USES:  
BUILDING FRONTAGE (SEC. 13.07 C.): 175'-2"

PEDESTRIAN VIEWS INTO THE BUILDING (SEC. 13.07 E.1.(e))  
COMMERCIAL USE (SEC. CCSP GUIDELINE 1a):  
134'-10" OR 76.96% > 75% REQUIRED

SECOND FLOOR PARKING (CCSP APPENDIX A SECTION III, GUIDE LINE 7b):

EXTERIOR WALL SURFACE: 11'X164'-8"=1,811 SQ. FT.  
OPENING PROVIDED:  
6'X6'9"X9=364.5 SQ. FT./1,811 SQ. FT.=20.12% > 20% REQUIRED

(CCSP APPENDIX A SECTION III, GUIDE LINE 3a):

FIRST FLOOR WALL SURFACE: 175'-2"X16'-4"=2,847 SQ. FT.  
134'-10"X12'+14'X12"=1,785 SQ. FT. (NON-STUCCO)  
1,785/2,847=62% > 40% REQUIRED

SECOND FLOOR WALL SURFACE: 157'-4"X10'-2"=1,595 SQ. FT.  
6'-9"X6'9"+20'-2"X11'-2"+6'-9"X25"=640 SQ. FT. (NON-STUCCO)  
640/1,595=40.1% > 40% REQUIRED

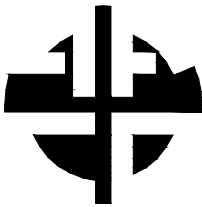
THIRD THRU 6TH FLOORS:  
EXTERIOR WALL SURFACE: 103'X125'-2"=1,283 SQ. FT.  
NON-STUCCO AREA PROVIDED:  
6'X7'3"+4'X7'+3'X7'+8'X8'4"+16'5'9"=576 SQ. FT. (NON-STUCCO)  
579/1,283=45.12% > 40% REQUIRED

**EAST ELEVATION**

SCALE: 1/8"=1'-0"

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## NORTH ELEVATION

SCALE: 1/8" = 1'-0"

### PEDESTRIAN ORIENTED DISTRICT CALCULATIONS:

GROUND FLOOR USES:  
BUILDING FRONTAGE (SEC. 13.07 C.): 86'-8"

PEDESTRIAN VIEWS INTO THE BUILDING (SEC. 13.07 E.1.(e)):  
77'-2" OR 89% > 75% REQUIRED

### SECOND FLOOR PARKING (CCSP APPENDIX A SECTION III, GUIDE LINE 7b):

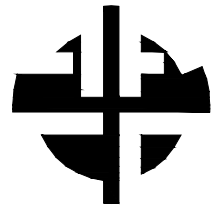
EXTERIOR WALL SURFACE: 11'x86'-8"=955 SQ. FT.  
OPENING PROVIDED:  
6'x6'9"x6=243 SQ. FT./955 SQ. FT.=25.44% > 20% REQUIRED

FIRST FLOOR WALL SURFACE: 86'-8"x16'-4"=1,410 SQ. FT.  
77'-2"x12'=925 SQ. FT. (NON-STUCCO)  
925/1,410=65.6% > 40% REQUIRED

SECOND FLOOR WALL SURFACE: 94'-2"x11'-2"=1,054 SQ. FT.  
6'-9"x6'x3+24'-2"x11'-2"+8'-10"x11'-2"=487 SQ. FT. (NON-STUCCO)  
487/1,054=46.2% > 40% REQUIRED

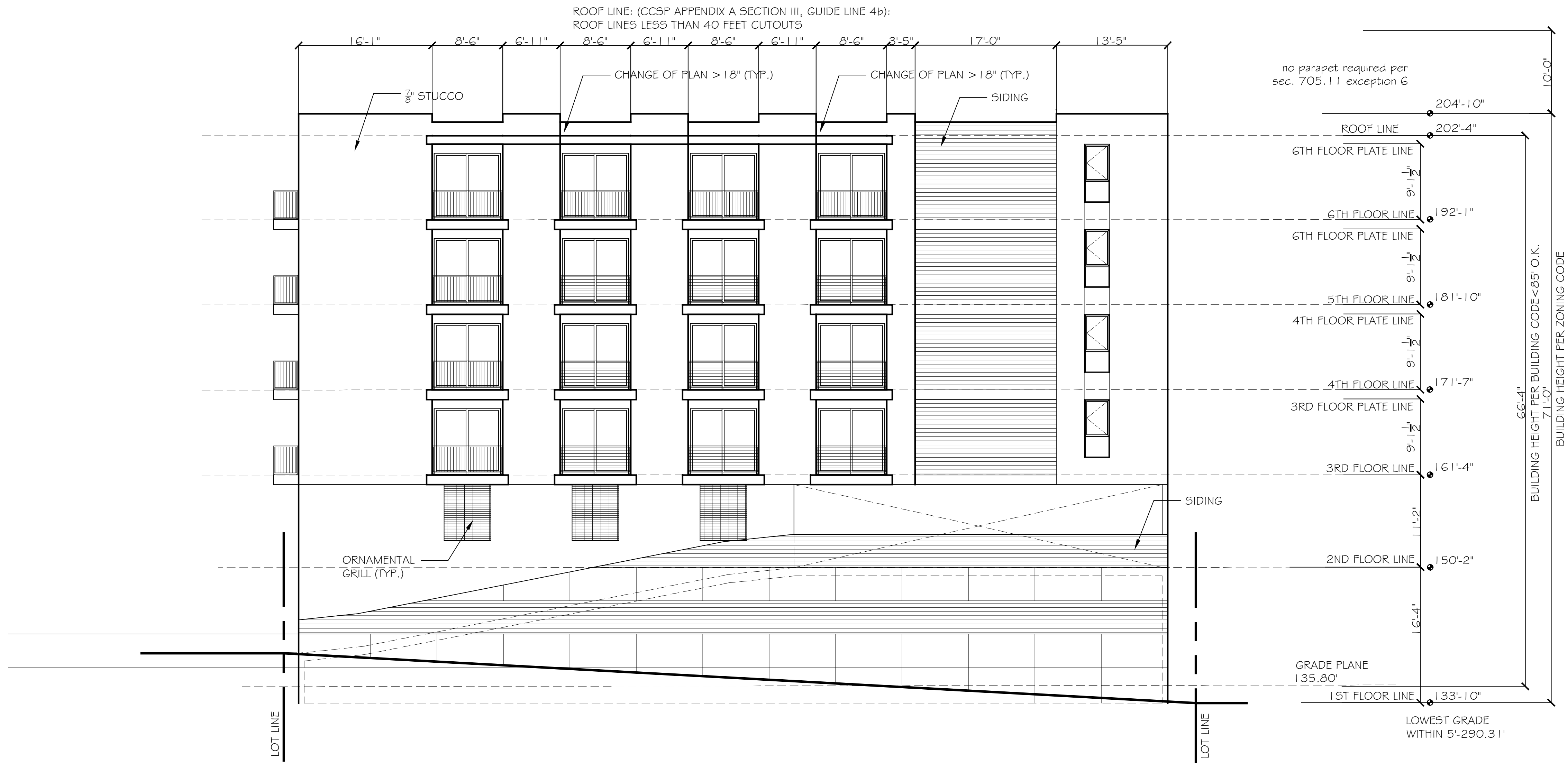
### THIRD THRU 6TH FLOORS: (CCSP APPENDIX A SECTION III, GUIDE LINE 3a):

EXTERIOR WALL SURFACE: 103'x94'-6"=969 SQ. FT.  
OPENING PROVIDED:  
6'x7'x3+8'x8'x3+8'10'x9'=398 SQ. FT.  
398/969=41.07% > 40% REQUIRED



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## SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

### PEDESTRIAN ORIENTED DISTRICT CALCULATIONS:

#### GROUND FLOOR PARKING (CCSP APPENDIX A SECTION III, GUIDE LINE 7b):

EXTERIOR WALL SURFACE: 1,506 SQ. FT.  
NON-STUCCO AREA PROVIDED:  
635 SQ. FT./1,506 SQ. FT.=42.16% > 40% REQUIRED

#### SECOND FLOOR PARKING (CCSP APPENDIX A SECTION III, GUIDE LINE 7b):

EXTERIOR WALL SURFACE: 11'X104'-8"=1,074 SQ. FT.  
OPENING PROVIDED:  
6'X6'9"X3+44'X10'=561 SQ. FT./1,074 SQ. FT.=52.22% > 20% REQUIRED

#### THIRD THRU 6TH FLOORS: (CCSP APPENDIX A SECTION III, GUIDE LINE 3a):

CHANGE IN PLANE OF AT LEAST 18"

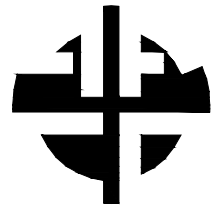
EXTERIOR WALL SURFACE: 10'3"X104'-8"=1,073 SQ. FT.  
OPENING PROVIDED:  
3'X7'+8'X8'X4+17'X9'=430 SQ. FT.  
430/1,073=40.01 > 40% REQUIRED

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PEDESTRIAN ORIENTED DISTRICT CALCULATIONS:

GROUND FLOOR PARKING (CCSP APPENDIX A SECTION III, GUIDE LINE 7b):

EXTERIOR WALL SURFACE: 12X137'-4"= 1,648 SQ. FT.  
OPENING PROVIDED:  
6'X6'9"X5 + 12'X11'=334.5 SQ. FT./1,648 SQ. FT.=20.29%> 20% REQUIRED

SECOND FLOOR PARKING (CCSP APPENDIX A SECTION III, GUIDE LINE 7b):

EXTERIOR WALL SURFACE: 12X137'-4"= 1,648 SQ. FT.  
OPENING PROVIDED:  
6'X6'9"X6 + 3'X6'9" + 10'X6'9"=330.75 SQ. FT./1,648 SQ. FT.=20.06%> 20% REQUIRED

FIRST FLOOR WALL SURFACE: 12X137'-4"= 1,648 SQ. FT.  
6'-9"X6'X6 + 11'X12' + 37'X11'-6"=760 SQ. FT. (NON-STUCCO)  
760/ 1,648=46.11>40% REQUIRED

SECOND FLOOR WALL SURFACE: 137'-4"X11'-2"= 1,531 SQ. FT.  
6'-9"X6'X8 + 24'-6"X11'-2" + 37'X7'=619 SQ. FT. (NON-STUCCO)  
619/ 1,531=40.42%>40% REQUIRED

THIRD THRU 6TH FLOORS: (CCSP APPENDIX A SECTION III, GUIDE LINE 3a):

EXTERIOR WALL SURFACE: 10'3"X139'-6"= 1,430 SQ. FT.  
OPENING PROVIDED:  
12'10" + 3'X7'X2 + 8'X8'X4 + 6'X7'X4=581 SQ. FT.  
581/1,430=40.62%>40% REQUIRED

WEST ELEVATION

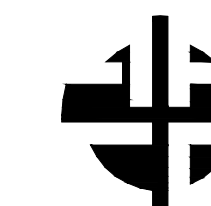
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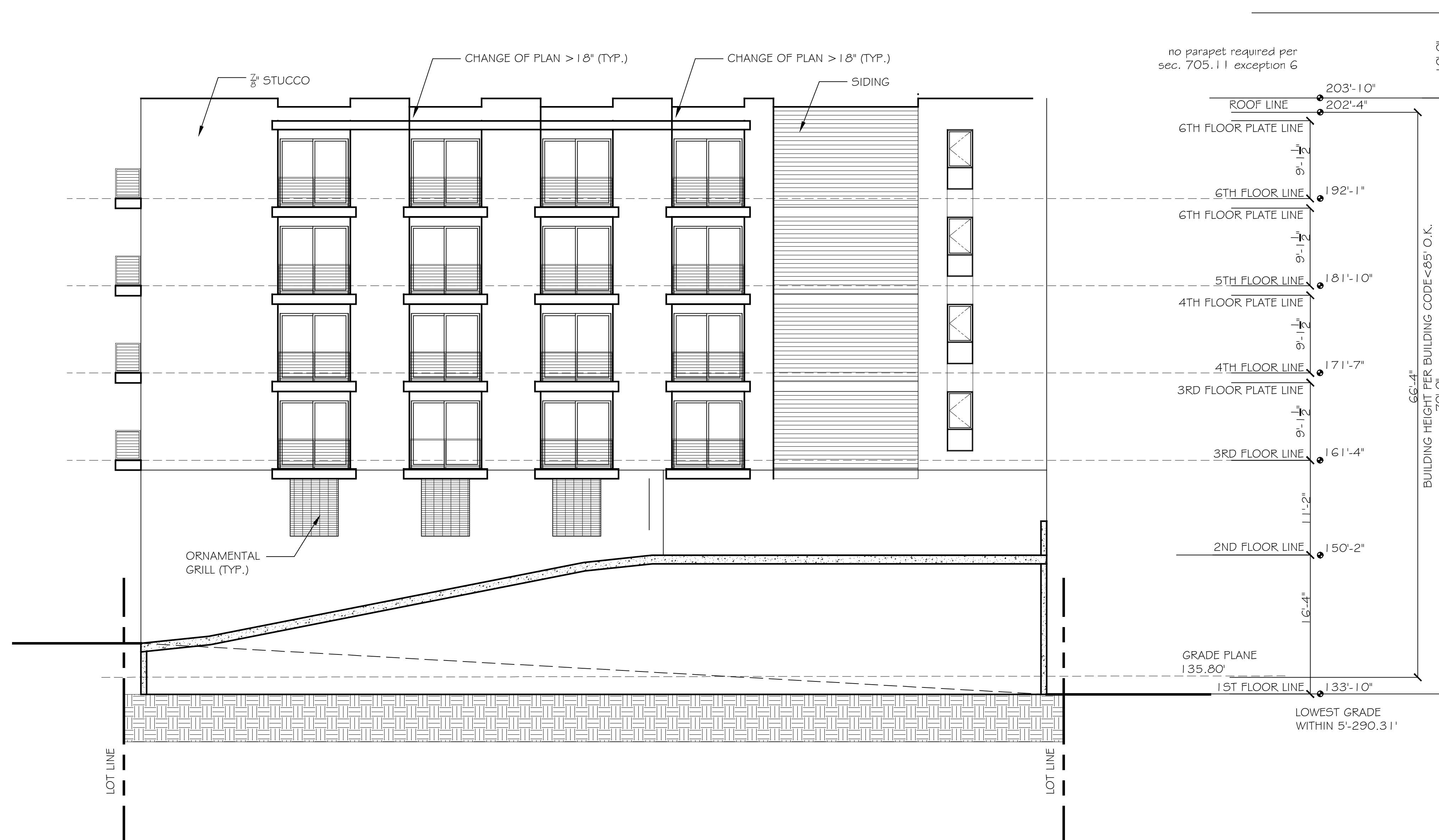
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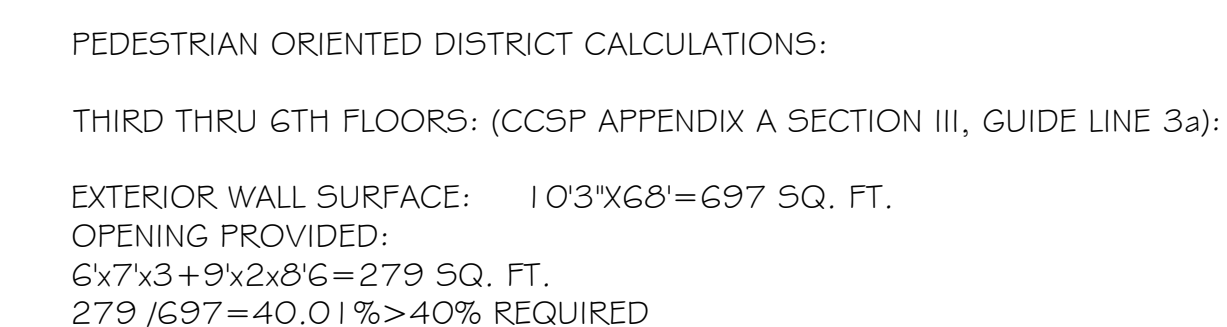
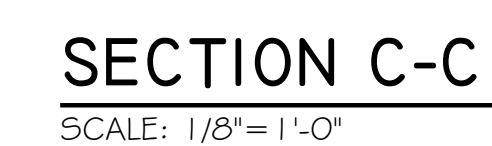
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**SECTION A-A**  
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SECTION D-D

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SCALE: 1/8" = 1'-0"





**CRENSHAW APARTMENTS**  
64-Unit Apartments & Retails  
3600 Stocker St, Los Angeles CA

Developed By:  
**AXIOM**  
Real Estate Investments, INC.  
Beverly Hills, CA





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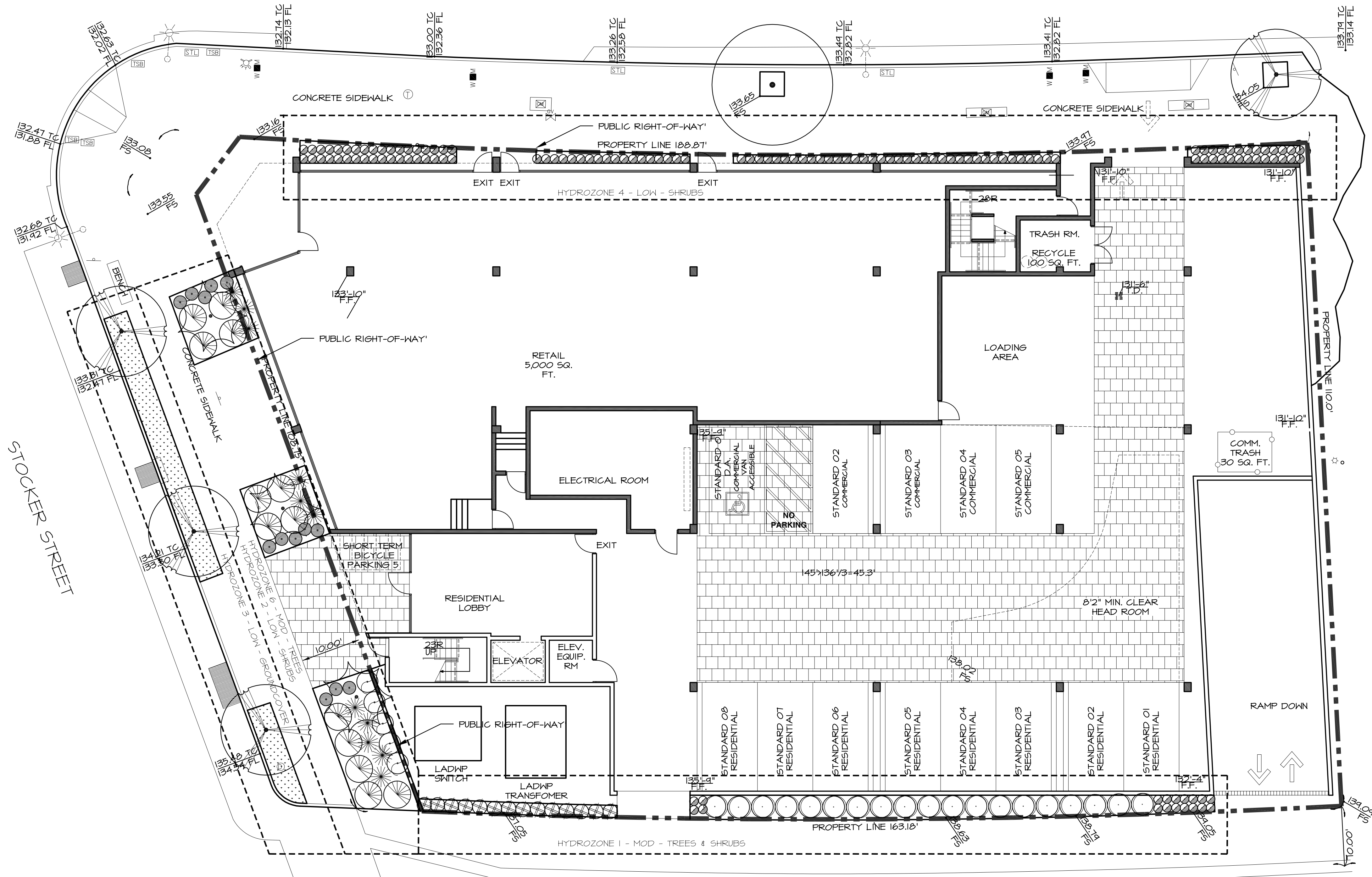




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# PLANTING PLAN

## VEIGHT-OF-WAY LANDSCAPE NOTES

TREE PLANTING:  
16. UNLESS OTHERWISE NOTED ON THESE PLANS, THE CONTRACTOR SHALL PLANT A MINIMUM OF 24-INCH BOX SIZE TREES OF SPECIES, QUANTITY, AND LOCATIONS APPROVED BY BSS UPD PER STANDARD PLANS S-450-3, S-456-2 AND S-663-1. THE COVER SHALL BE DECOMPOSED GRANITE WHEN TREE HELL COVER IS NOT SPECIFIED ON THESE PLANS.  
17. THE BSS UPD SHALL INSPECT AND TAG TREES UPON DELIVERY AND BEFORE PLANTING TO THE JOB SITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THE TREES ARE THE PROPER SPECIES APPROVED BY AN AUTHORIZED REPRESENTATIVE OF BSS UPD. THE STREET TREES SHALL MEET THE CRITERIA OF GOOD QUALITY TREE STOCK SET FORTH BY THE URBAN TREE FOUNDATION, [HTTP://WWW.URBANDTREEFUNDATION.ORG](http://www.urbandtreefoundation.org) FOR NURSERY TREE QUALITY.  
18. CONTACT BSS UPD (213-841-3071) AT LEAST FIVE WORKING DAYS BEFORE DELIVERY TO ARRANGE AN APPOINTMENT WITH THE BSS UPD INSPECTOR. UPD ACCEPTS NO RESPONSIBILITY FOR ANY PURCHASING AND/OR DELIVERY ARRANGEMENTS AND SHALL REJECT ANY TREES FAILING TO MEET THE SPECIFICATIONS SET FORTH IN THE URBAN TREE FOUNDATION'S GUIDELINES/SPECIFICATIONS FOR NURSERY TREE QUALITY. TREES THAT ARE REJECTED AS A RESULT OF CITY'S INSPECTION SHALL BE IMMEDIATELY REMOVED FROM THE PROJECT SITE. NO TREE SHALL BE PLANTED WITHOUT FIRST BEING INSPECTED AND ACCEPTED (TAGGED) BY UPD INSPECTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PERMIT REQUIREMENTS OR FEES.  
19. THE CONTRACTOR SHALL MAINTAIN A BALANCED WATERING PROGRAM TO ENSURE PROPER GROWTH AT THE TIME OF PLANTING AND THROUGHOUT THE MINIMUM THREE (3) YEAR WATERING PERIOD. IMMEDIATELY AFTER PLANTING, APPLY WATER TO EACH TREE, APPLY WATER IN A MODERATE STREAM IN PLANTING BASIN OR TREE HELL UNTIL SOIL AROUND THE ROOTS IS COMPLETELY SATURATED FROM THE BOTTOM OF THE PLANTING PIT TO THE SOIL ON THE SURFACE. APPLY WATER IN SUFFICIENT QUANTITIES AND AS OFTEN AS SEASONAL CONDITIONS REQUIRE TO ENSURE TREE ESTABLISHMENT AND ROBUST GROWTH.  
WINTER (DECEMBER - FEBRUARY) 75 GALLONS/TREE  
SPRING (MARCH - MAY) 10 GALLONS/TREE  
SUMMER (JUNE - SEPTEMBER) 30 GALLONS/TREE  
FALL (OCTOBER - NOVEMBER) 20 GALLONS/TREE  
SOIL TYPES:  
CLAY - HOLDS MORE WATER, DRIES SLOWLY. WATER LESS FREQUENTLY.  
SANDY - HOLDS LESS WATER, DRIES QUICKLY. WATER MORE FREQUENTLY.

NOTE: MORE WATER MAY BE NEEDED DURING LONG PERIODS OF SEVERE HEAT AND DRYING WINDS. CONVERSELY, LESS WATER MAY BE NEEDED DURING EXTENDED PERIODS OF COOL, RAINY WEATHER.  
19. LANDSCAPE CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE INFORMED BY THE CITY'S LATEST RESIDENTIAL PARKWAY LANDSCAPING GUIDELINES, AS APPLICABLE, DEPENDING UPON THE PROJECT'S ZONING.

PROJECT ACCEPTANCE OF TREES, LANDSCAPE, AND IRRIGATION:  
19.1. NOTIFY THE INSPECTOR OF PUBLIC WORKS A MINIMUM OF 5 DAYS IN ADVANCE TO COORDINATE AND ARRANGE INSPECTIONS.  
19.2. UPON COMPLETION OF PLANTING, THE CONTRACTOR SHALL ARRANGE FOR SUBSTANTIAL COMPLETION INSPECTION BY BSS UPD AND/OR THEIR ASSIGNED REPRESENTATIVE (IF TREES ARE INSTALLED) AND THE INSPECTOR OF PUBLIC WORKS. THE CONTRACTOR SHALL CORRECT ANY DISCREPANCIES PRIOR TO FINAL INSPECTION OF THE PROJECT. THE TREE MAINTENANCE AND ESTABLISHMENT PERIOD SHALL NOT COMMENCE UNTIL ALL CERTIFIED AS-BUILTS AND BACKFILL CERTIFICATION (WHERE AUTOMATIC IRRIGATION IS SPECIFIED) ARE SUBMITTED AND VERIFIED BY THE INSPECTOR OF PUBLIC WORKS OR THEIR ASSIGNED REPRESENTATIVE. CONTRACTOR SHALL FURNISH A MINIMUM OF TWO (2) COPIES OF EACH SUBMITTAL.  
19.3. TREE MAINTENANCE AND ESTABLISHMENT PERIOD:  
20. THE TREE MAINTENANCE AND ESTABLISHMENT PERIOD SHALL BEGIN ONCE ALL PLANTING AND RELATED LANDSCAPE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS. THE TREE MAINTENANCE AND ESTABLISHMENT PERIOD SHALL BE A MINIMUM OF THREE (3) YEARS TO ENSURE NEWLY PLANTED TREES ARE HEALTHY, VIGOROUS, AND FULLY ESTABLISHED.

## LANDSCAPE POINT SYSTEM

REQUIRED			
REFERENCE NO.	UNIT TYPE	POINTS	SQ. FEET
N/A	ENTIRE SITE	20	10,656.2 SF
TOTAL REQUIRED: 20			
PROVIDED			
A	1 TREE TAXON THAT DO NOT EXIST IN 1000 FT. RADIUS 5 PTS PER TREE UP TO 50% OF POINTS	10	N/A
B	4 - 24 INCH BOX STREET TREES 1 PT PER TREE	4	N/A
D	1 MAIN FINISH ELEV. OF STRUCTURE AT ELEV. THAT IS HANDICAP ACCESSIBLE.	5	N/A
E	ON / OFF SITE RECYCLING OF ALL VEGETATIVE WASTE	5	N/A
TOTAL PROVIDED:		24	

## TREE NOTES:

1 TREE REQUIRED FOR EVERY (4) FOUR UNITS. 64 UNITS = 16 - 24 INCH BOX TREES REQUIRED. 16 - 24 INCH BOX TREE PROVIDED.

1 TREE PER 500 SQ. FT. OF FRONT YARD 1500 SQ. FT. = 3 - 24 INCH BOX TREE REQUIRED. 3 - 24 INCH BOX TREE PROVIDED.

## WATER MANAGEMENT POINT SYSTEM

REQUIRED			
REFERENCE NO.	UNIT TYPE	POINTS	SQ. FEET
N/A	ENTIRE SITE	300	10,656.2 SF
TOTAL REQUIRED:		300	
PROVIDED			
N/A	AUTOMATIC CONTROLLERS	5	N/A
C	PLANTS ONCE ESTABLISHED THAT WILL REMAIN IN GOOD HEALTH WITH SUMMER WATER 240 X 2 PTS.	580	N/A
TOTAL PROVIDED:		585	

## OPEN SPACE TABULATION

REQUIRED			
UNIT TYPE	QUANTITY	RATIO / DU	SQ. FEET
3 HABITABLE ROOMS	60	100	6,000 SF
3 HABITABLE ROOMS	4	125	500 SF
TOTAL REQUIRED			6,500 S.F.
OPEN SPACE DECREASE OF 20% PER DENSITY BONUS INCENTIVE			5,200 SF
PROVIDED			
UNIT TYPE	QUANTITY	RATIO / DU	SQ. FEET
BALCONIES	45	50 SF	2,250 SF
FITNESS ROOM	-	-	945 SF
COURTYARD	-	-	2,640 SF
TOTAL PROVIDED			5,835 S.F.
MIN. COMMON SPACE LANDSCAPE REQUIRED (25%) = 2,600*25%=			650 SF
LANDSCAPE PROVIDED IN COMMON OPEN SPACE			738 SF

## TREE LEGEND

SYMBOL	BOTANICAL NAME / COMMON NAME SIZE / QUANTITY
	ARCHONTOPHOENIX CUNNINGHAMIANA KING PALM 24 INCH BOX / 3 / EVERGREEN / MOD
	CERCIS OCCIDENTALIS WESTERN REDBUD 24 INCH BOX / 7 / DECIDUOUS / LOW
	PODOCARPUS M. MAKI SHRUBBY YEW PINE 24 INCH BOX / 19 / EVERGREEN / MOD
	STREET TREE'S PER URBAN FORESTRY 24 INCH BOX / 4
	STREET TREE PROTECT IN PLACE 1 - EXISTING TO REMAIN

## SHRUB LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME SIZE / QUANTITY / HUCOLS
	AGAVE S. 'BLUE FLAME' BLUE FLAME AGAVE 5 GAL / 6 / 2-3' TALL X 3-4' WIDE / LOW
	CARISSA M. 'BOXWOOD BEAUTY' COMPACT NATAL FLUM 5 GAL / 14 / 2' TALL X 2' WIDE / LOW
	DIANELLA R. 'BABY BLISS' BABY BLISS FLAX LILY 1 GAL / 135 / 1-2' TALL X 1-2' WIDE / LOW
	ELTMUS C. 'CANYON PRINCE' CANYON PRINCE GIANT RYE GRASS 5 GAL / 17 / 2-3' TALL X 3' WIDE / LOW
	LANTANA C. 'MONIKI' TEENIE GENIE COMPACT LANTANA 5 GAL / 58 / 30" TALL X 30" WIDE / LOW
	RHAPHIOLEPIS I. 'PINK LADY' PINK INDIA HAWTHORN 5 GAL / 28 / 3+ TALL X 3+ WIDE / LOW
	WESTRINGIA F. 'LOW HORIZON' LOW HORIZON WESTRINGIA 5 GAL / 25 / 1' TALL X 2' WIDE / LOW

## GROUND COVER LEGEND

SYMBOL	BOTANICAL NAME / HUCOLS COMMON NAME SIZE / QUANTITY / HUCOLS
	ARTIFICIAL TURF INSTALL PER MANUFACTURERS RECOMMENDATIONS
	DYMONDIA MARGARETAE SILVER CARPET FLATS / PLANT @ 8" O.C. EQ. TRIA. SPACING / LOW
NO SYMBOL	3/4" - 1" DESERT GOLD GRAVEL 3" LAYER

## LANDSCAPE AREA

POTENTIAL LANDSCAPE AREA = (SITE) 10,656.2 S.F. - (BUILDING) 16,340 S.F. = 2,266 S.F. LANDSCAPE PROVIDED = 2,291 S.F.



THE OFFICE OF  
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ECHO HEIGHTS, LLC  
280 S. BEVERLY DR., #320  
BEVERLY HILLS, CA. 90212

PROJECT:

64 UNIT APARTMENT  
3600 W. STOCKER STREET  
LOS ANGELES, CA. 90008

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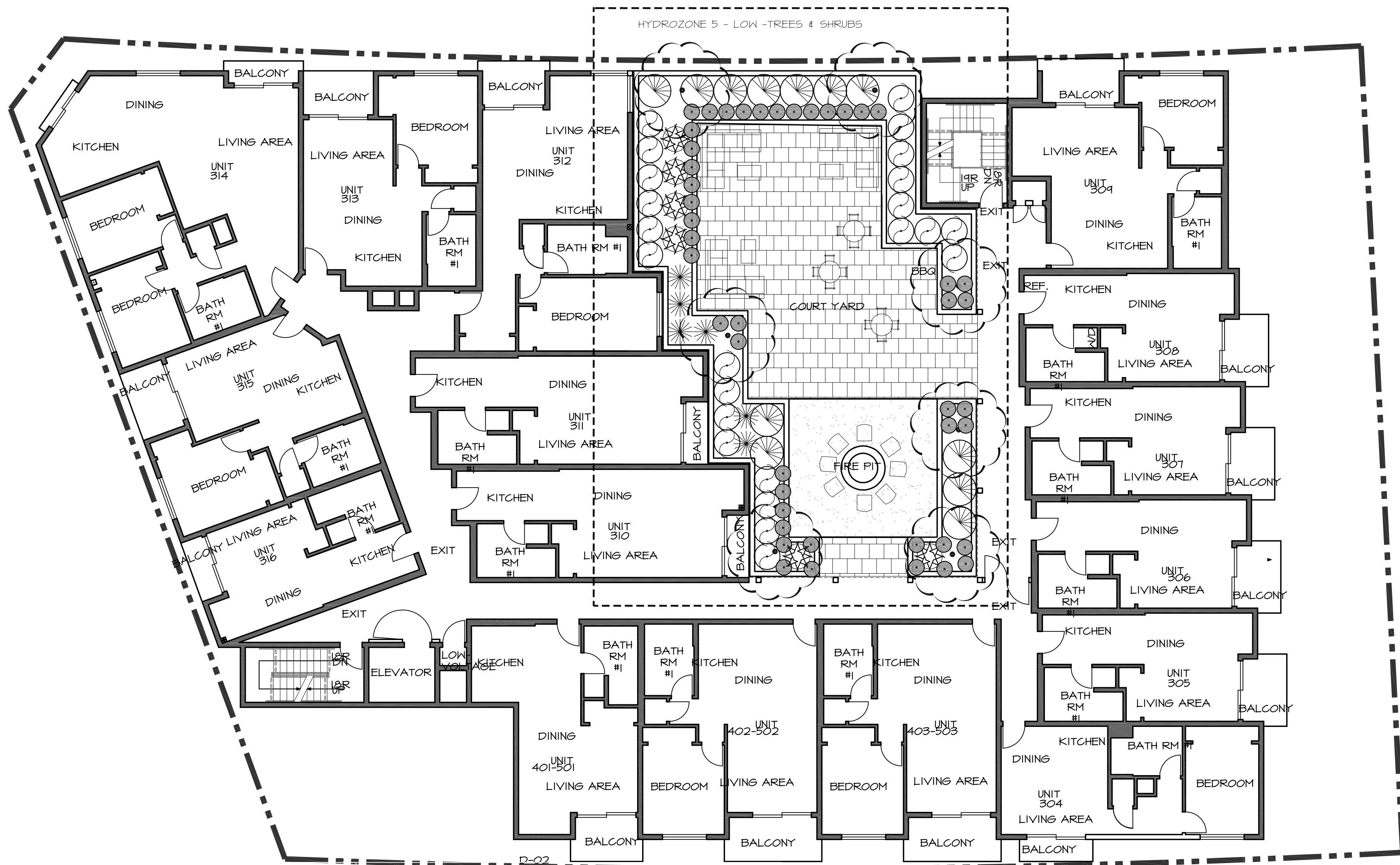
SHEET TITLE:

PLANTING PLAN

L-1

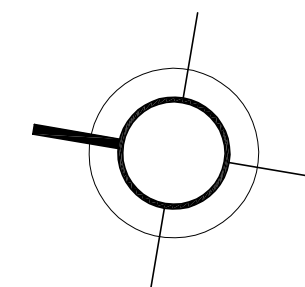
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## PLANTING PLAN – COURTYARD

SCALE: 1" = 10'-0"



### Water Efficient Landscape Worksheet

Reference Evapotranspiration (ETo)		50.1 Los Angeles		12 month Eto for Los Angeles from Jan. 1 - Dec. 31			
	ETWU requirement	ETWU requirement	ETWU requirement	ETWU requirement	MAWA requirement	ETWU requirement	
Hydrozone/Planting Description (PF)	Plant Factor	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (LA) (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
<b>Regular Landscape Areas</b>							
1) low shrubs	0.3	Drip	0.81	0.370	392	145.19	4,510
2) low shrubs	0.3	drip	0.81	0.370	499	184.81	5,741
3) low groundcover	0.3	drip	0.81	0.370	251	92.96	2,888
4) low shrubs	0.3	drip	0.81	0.370	261	96.67	3,003
5) low shrubs	0.3	drip	0.81	0.370	858	317.78	9,871
6) mod shrubs	0.5	drip	0.81	0.617	30	18.52	575
					132	0.00	0
					2,291	856	26,587
<b>Special Landscape Areas (SLA): Recycled Water</b>							
				0	0	0	0
				0	0	0	0
				0	0	0	0
				0	0	0	0
				Totals	0	856	26,587
<b>Estimated Total Water Use (ETWU)</b>							<b>26,587</b>
<b>Maximum Allowed Water Allowance (MAWA)</b>							<b>32,023</b>

Plant Water Use Type	Plant Factor	Irrigation method	Irrigation Efficiency
very low	0-0.1	overhead spray	0.75
low	0.1-0.3	drip	0.81
medium	0.4-0.6		
high	0.7-1.0		

<b>MAWA (annual gallons allowed)= (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]</b>	
<b>(50.1 x 0.62) X (0.45 X 2,291)</b>	
31.062	X 1,030.95 = <b>32,023 MAWA</b>

<b>ETAF Calculations</b>	
	Average ETAF for regular landscape areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.
Total ETAF x Area	856
Total Area	2,291
Average ETAF	0.37

<b>All Landscape Areas</b>	
Total ETAF x Area	856
Total Area	2,291
Sitewide ETAF	0.37

ETWU must be Less than MAWA  
ETWU will be "0" for 100% recycled water systems

### GENERAL #3 LANDSCAPE AREA

1. 99% OF PLANT AVERAGE PER HUCOLS = LOW OR 0.3 (NO TURF) 243 PLANTS @ 75% = 220 REG. 240 PLANTS PROVIDED.
2. TOTAL OF 2,291 SQ. FT. OF LANDSCAPED AREA PROVIDED- 99% LOW WATER AND 1% MOD WATER OR 0.5.
3. SEE WATER EFFICIENT WORK SHEET - SITE MEETS MHELO REQUIREMENTS.

### #1 LANDSCAPE DOCUMENTATION

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE ORDINANCE DOCUMENTATION PACKAGE.

*Susan E. McEowen*

JUNE 6, 2020

### #12 - RECIRCULATING WATER

RE CIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.

### #13 - MULCH

A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

### #14 - SOILS

FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.

### #16, 18, & 20 - IRRIGATION EQUIPMENT

MHELO IRRIGATION EQUIPMENT SPECIFICATIONS

16. A 1" DEDICATED WATER METER FOR IRRIGATION USE ONLY TO BE PROVIDED.
18. PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
20. CHECK VALVES OR ANTI-SYPHON VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.

### REQUIRED STATEMENTS & CERTIFICATION'S

23. I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.
24. THE FINAL SET OF LANDSCAPE AND IRRIGATION PLANS SHALL BEAR THE SIGNATURE OF A LICENSED LANDSCAPE ARCHITECT, LICENSED LANDSCAPE CONTRACTOR, CERTIFIED IRRIGATION DESIGNER, LICENSED ARCHITECT, LICENSED ENGINEER, LICENSED LAND SURVEYOR OR PERSONAL PROPERTY OWNER.
25. A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
26. A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE SIGNER OF THE LANDSCAPE PLANS, THE SIGNER OF THE IRRIGATION PLANS, OR THE LICENSED CONTRACTOR OF THE PROJECT.
27. AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

THE OFFICE OF  
**SUSAN E. McEOWEN**  
LANDSCAPE ARCHITECT 2180  
A CALIFORNIA CORPORATION  
19197 Golden Valley Road, #924  
Santa Clarita, CA 91387  
Office Telephone: (661) 212-3335  
Email Address: susan@landarch.us

OWNER:

ECHO HEIGHTS, LLC  
280 S. BEVERLY DR., #320  
BEVERLY HILLS, CA. 90212

PROJECT:

64 UNIT APARTMENT  
3600 W. STOCKER STREET  
LOS ANGELES, CA. 90008

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SHEET TITLE:

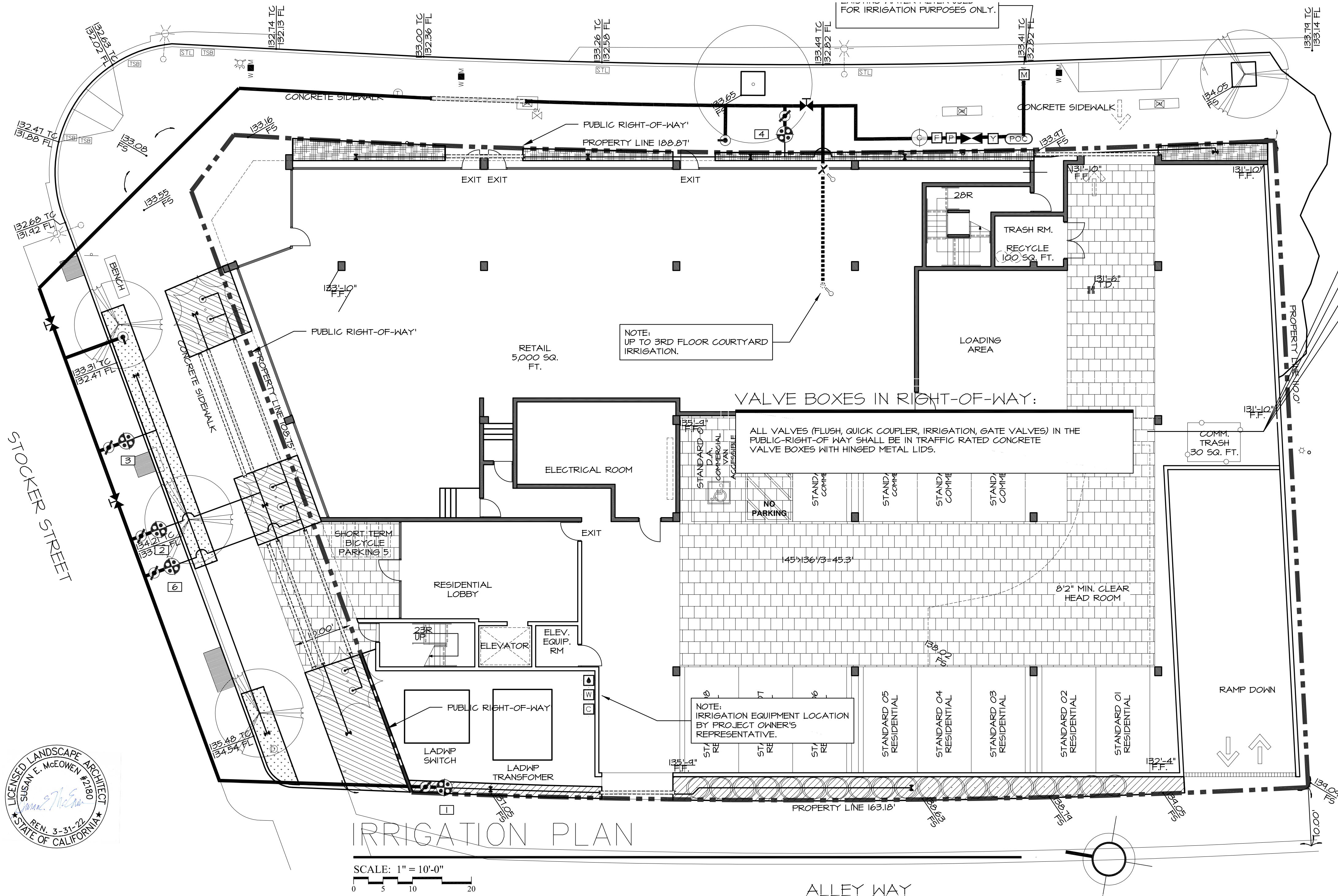
PLANTING PLAN

L-2

3600 STOCKER







IRRIGATION LEGEND

SYMBOL	MANUFACTURER	MODEL SPECIFICATION	PER DETAIL
[M]	ANY	WATER METER	N/A
[N/A]	NOTE: VERIFY SIZE AND LOCATION IN FIELD		
[POC]	N/A	POINT OF CONNECTION	N/A
[Y]	NOTE: VERIFY LOCATION IN FIELD		
[ZURN WILKINS]	5XL 1/2"		L-2.4 / 7
[ZURN WILKINS]	DESCRIPTION: 1/2" LEAD-FREE CAST BRONZE WYE TYPE STRAINER		
[ZURN WILKINS]	MODEL 375XL 1/2"		L-2.4 / 7
[ZURN WILKINS]	DESCRIPTION: 1/2" BACKFLOW PREVENTION DEVICE		
[ZURN WILKINS]	500XL 1/2"		L-2.4 / 7
[ZURN WILKINS]	DESCRIPTION: 1/2" PRESSURE REDUCING VALVE / POTABLE WATER LINES		
[EZ-FLOW]	EZ-FLOW EZ XXX-HC		L-2.4 / 10
[EZ-FLOW]	NOTE: XXX AUTOMATIC FERTILIZATION SYSTEM		
[RAIN BIRD]	100-PESB-PRS-D		L-2.4 / 9
[RAIN BIRD]	DESCRIPTION: 1" REMOTE CONTROL VALVE WITH SCRUBBER / PSI CTL.		
[RAIN BIRD]	XCZ-LF-100-PRF		L-2.4 / 9
[RAIN BIRD]	DESCRIPTION: LOW FLOW CONTROL ZONE KIT		
[NIBCO / EQUAL]	LINE SIZE		N/A
[NIBCO / EQUAL]	DESCRIPTION: LINE SIZE BALL VALVE IN YARD BOX		
[NIBCO / EQUAL]	LINE SIZE		N/A
[NIBCO / EQUAL]	DESCRIPTION: GATE VALVE IN YARD BOX		
[RAIN BIRD]	33DRLC		L-2.4 / 8
[RAIN BIRD]	DESCRIPTION: QUICK COUPLER VALVE		
[IRRITROL]	MC-10E (BLUE) SERIES		L-2.5 / 1
[IRRITROL]	DESCRIPTION: 10 STATION OUTDOOR CONTROLLER		
[IRRITROL]	CL-MI (CL-100-WIRELESS KIT)		L-2.4 / 11
[IRRITROL]	DESCRIPTION: IRRITROL WIRELESS RECEIVER MODULE		
[IRRITROL]	CL-WI (CL-100-WIRELESS KIT)		L-2.4 / 12
[IRRITROL]	DESCRIPTION: IRRITROL WIRELESS WEATHER SENSOR		
[ANY]	PVC SCH. 40 UV RESISTANT		N/A
[ANY]	SIZE: ABOVE GRADE / UV RESISTANT / SIZE PER PLAN		
[ANY]	SCH 40 PLASTIC PIPE IN PUBLIC RIGHT-OF-WAY		
[ANY]	SIZE: 1" LATERAL LINE		
[ANY]	PVC SCH 80 PLASTIC PIPE WITHIN THE PUBLIC		
[ANY]	SIZE: RIGHT-OF-WAY 1" MAIN LINE		
[ANY]	PVC CLASS 315 PLASTIC PIPE		N/A
[ANY]	SIZE: 3" MAIN LINE		
[ANY]	TYPE K COPPER WATER TUBE		N/A
[ANY]	SIZE: XXX LATERAL LINE / INSTALLATION BY CERTIFIED PLUMBER		
[ANY]	TYPE K COPPER WATER TUBE		N/A
[ANY]	SIZE: XXX MAIN LINE / INSTALLATION BY CERTIFIED PLUMBER		
[RAIN BIRD]	XF5-04-18-L-2 / 15		L-2.6 & L-2.7
[RAIN BIRD]	NOTE: SUB-SURFACE DRIPLINE / 0.9 GPH / 18" EMITTER SPACING		
[RAIN BIRD]	NOTE: BUILDING WALL PENETRATION / CORING AND WATER PROOFING BY CERTIFIED BUILDING PLUMBER.		
[RAIN BIRD]	NOTE: FLOOR SLAB AND PLANTER PENETRATION / CORING AND WATER PROOFING BY CERTIFIED BUILDING PLUMBER.		
[RAIN BIRD]	RWS-M-B-C-1401		XXX
[RAIN BIRD]	NOTE: ROOT WATERING SYSTEM WITH FILTER FABRIC SOCK / 0.25 GPM		
[N/A]	PIPE SLEEVING		N/A
[N/A]	NOTE: OVERSIZE SLEEVE AS NECESSARY FOR IRRIGATION PIPE(S).		

SUB-SURFACE ZONE

ZONE: 1	SIZE: 1"	TYPE: SHRUB	AREA: 473	PSI: 30	GPM: 2.27	RATE: 0.64	TIME: 23 MIN
ZONE: 2	SIZE: 1"	TYPE: SHRUB	AREA: 449	PSI: 20	GPM: 3.24	RATE: 0.64	TIME: 23 MIN
ZONE: 3	SIZE: 1"	TYPE: SHRUB	AREA: 251	PSI: 20	GPM: 1.67	RATE: 0.64	TIME: 23 MIN
ZONE: 4	SIZE: 1"	TYPE: SHRUB	AREA: 261	PSI: 20	GPM: 1.72	RATE: 0.64	TIME: 23 MIN
ZONE: 5	SIZE: 1"	TYPE: SHRUB	AREA: 858	PSI: 20	GPM: 5.66	RATE: 0.64	TIME: 23 MIN
ZONE: 6	SIZE: 1"	TYPE: TREE	PSI: 30	GPM: 3.00	TYPE: DBLR	COUNT: 6	

ZONE CALCULATIONS

ZONE: 1 SIZE: 1" TYPE: SHRUB AREA: 342 PSI: 20 GPM: 2.25 RATE: 0.64 TIME: 23 MIN	ZONE: 2 SIZE: 1" TYPE: SHRUB AREA: 449 PSI: 20 GPM: 3.24 RATE: 0.64 TIME: 23 MIN	ZONE: 3 SIZE: 1" TYPE: SHRUB AREA: 251 PSI: 20 GPM: 1.67 RATE: 0.64 TIME: 23 MIN	ZONE: 4 SIZE: 1" TYPE: SHRUB AREA: 261 PSI: 20 GPM: 1.72 RATE: 0.64 TIME: 23 MIN	ZONE: 5 SIZE: 1" TYPE: SHRUB AREA: 858 PSI: 20 GPM: 5.66 RATE: 0.64 TIME: 23 MIN
---	---	---	---	---

MUNICIPAL PRESSURE CALCULATIONS

CALCULATIONS FOR ZONE 4	
ITEM SPECIFICATION	PSI
STATIC WATER PRESSURE REQUIRED (VERIFY IN FIELD)	70
WYE STRAINER / FILTER	-0.01
BACKFLOW PREVENTION DEVICE	-11.0
PRESSURE REDUCING VALVE	-0.40
REMOTE CONTROL MASTER VALVE	-1.40
REMOTE CONTROL VALVE	-1.40
LATERAL LINE	-1.23
MAIN LINE	-2.34
FITTING LOSSES (10% OF TOTAL PIPE LOSSES)	-1.453
DIFFERENCE IN ELEVATION (+ / - 0.433 PSI PER FOOT)	- 27.00
SUBTOTAL	XXX
BOOSTER PUMP (MINIMUM PSI GAIN REQUIRED)	N/A
TOTAL PRESSURE AVAILABLE:	25

CONCRETE SLAB PENETRATION

CERTIFIED BUILDING PLUMBER REQUIRED FOR INSTALLATION OF ALL IRRIGATION PIPE AND WATER-PROOFING WITHIN BUILDING STRUCTURE(S). TYPICAL REQUIRED STRUCTURES INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
1. BUILDING SLABS, SUB-FLOORS, STEM WALLS, ETC.
2. INTERIOR AND EXTERIOR WALLS.
3. INTERIOR PLANTER BOXES AND POTS.

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IRRIGATION PLAN

START DATE:	SEPT. 30, 2020
REVISION DATE 01:	REV. 01
REVISION DATE 02:	REV. 02
REVISION DATE 03:	REV. 03
DRAWN BY:	SEM
CHECKED BY:	SEM
FILE NUMBER:	2020-11



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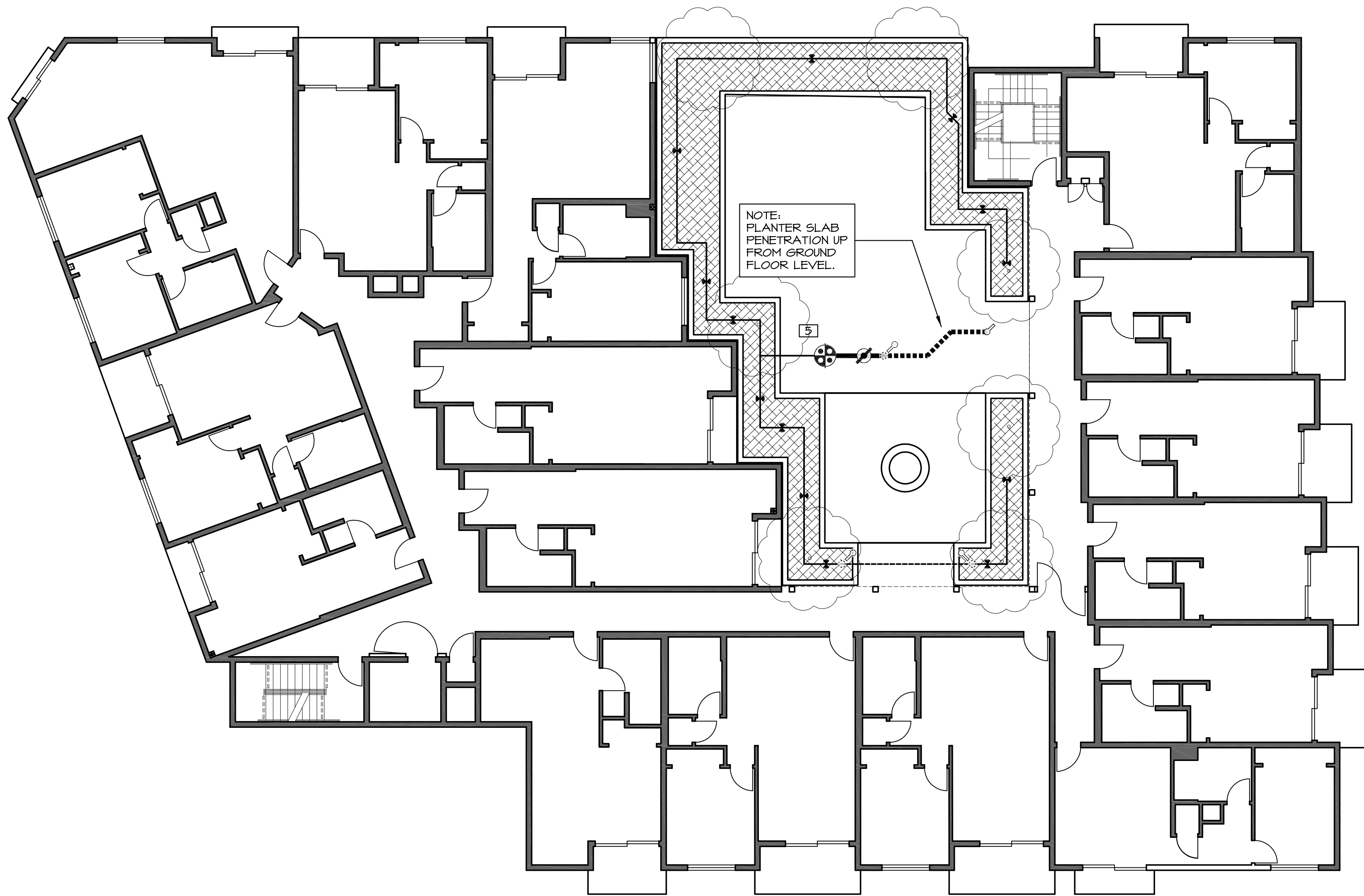
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L-4



## IRRIGATION PLAN – COURTYARD

SCALE: 1" = 10'-0"  
0 5 10 20

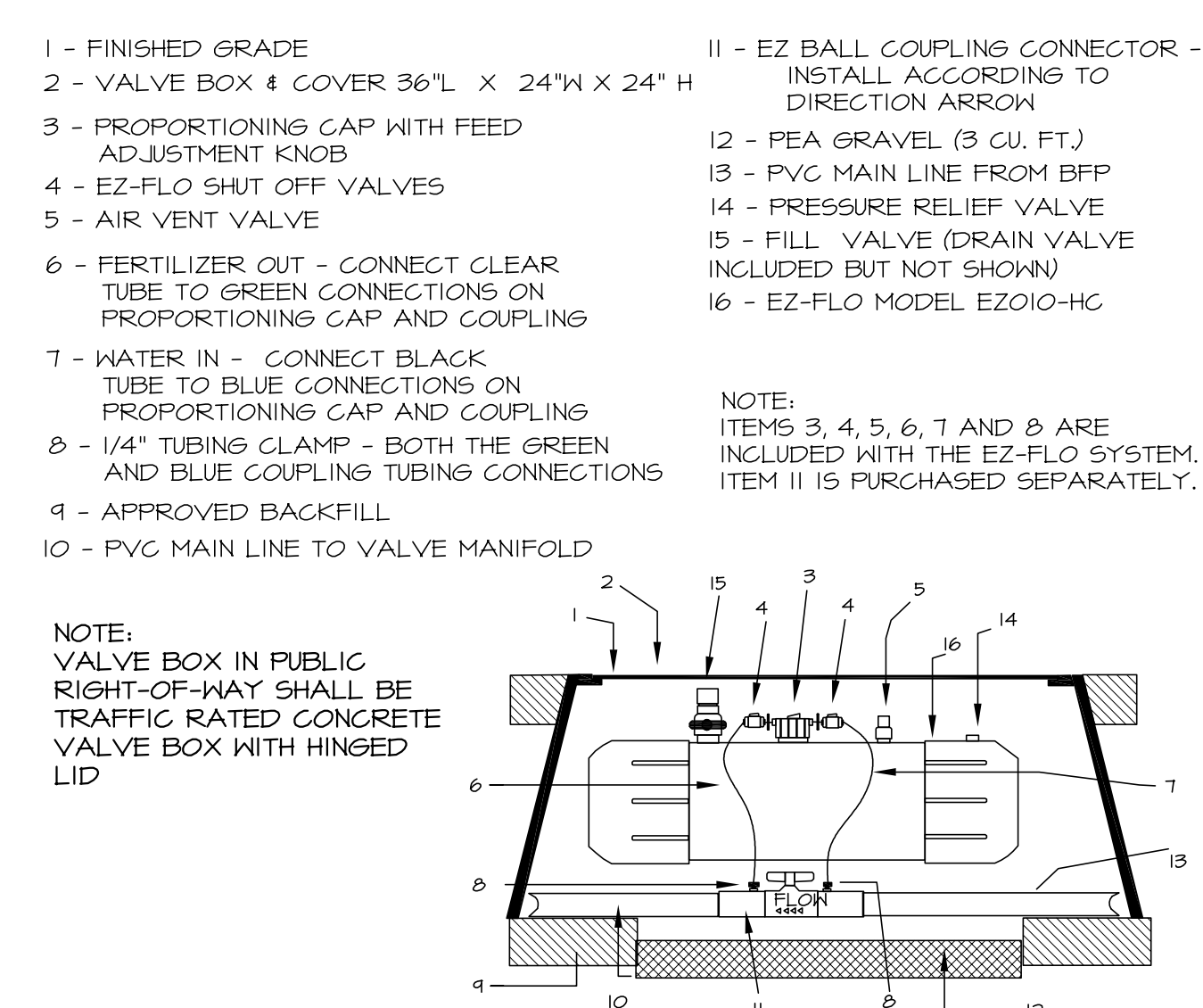
### IRRIGATION WITHIN THE PUBLIC RIGHT OF WAY

- All irrigation mainline shall be Schedule 80 PVC, and all laterals/sleeves shall be Schedule 40 PVC. Sleeves shall be 2x the size of the pipe being sleeved. All irrigation mainline and laterals shall be a minimum of 3/4" size.
- Contractor shall pay for all permits and construction costs for the Department of Water and Power (DWP) to conduct any street work (trenching), mainline/sleeve installation in the street and sub-water meter installation and reduced pressure backflow preventer review. A billing address must be provided when applying for installation of the sub-water meters. Contractor must file the application prior to start of construction. Contractor to contact the City in order to establish utility service and billing addresses. Utility service must be established prior to tree/shrub installations.
- The Reduced Pressure Principle Backflow Preventer, related equipment and irrigation controller shall be installed on private property.
- All irrigation equipment (for both concrete and landscape areas) shall be installed in traffic-rated concrete valve boxes with traffic-rated cast iron lids with a double toggle locking mechanism. All valve box lids shall be embossed with the initials of its contents in min. 1-1/2" high letters: RCV, GCV, ARV, FV, etc. Irrigation equipment includes remote control valves, flush valves, air relief valves, quick couplers etc.
- All irrigation mainlines within the public right of way shall be 24" below finish grade. All irrigation laterals within the public right of way shall be 12" below finish grade. Below vehicular access areas, irrigation mainlines within the public right of way shall be 36" below finish grade, sleeved.
- All irrigation shall be pop-up spray/bubbler heads and/or sub-surface drip irrigation. No fixed risers are allowed within the public right of way.
- Direct burial wire shall be #14 gauge and shall be placed at 24" below grade taped to mainline where applicable.
- All drip irrigation shall be subsurface type, a minimum of 24" to 48" below finish grade, not including mulch.

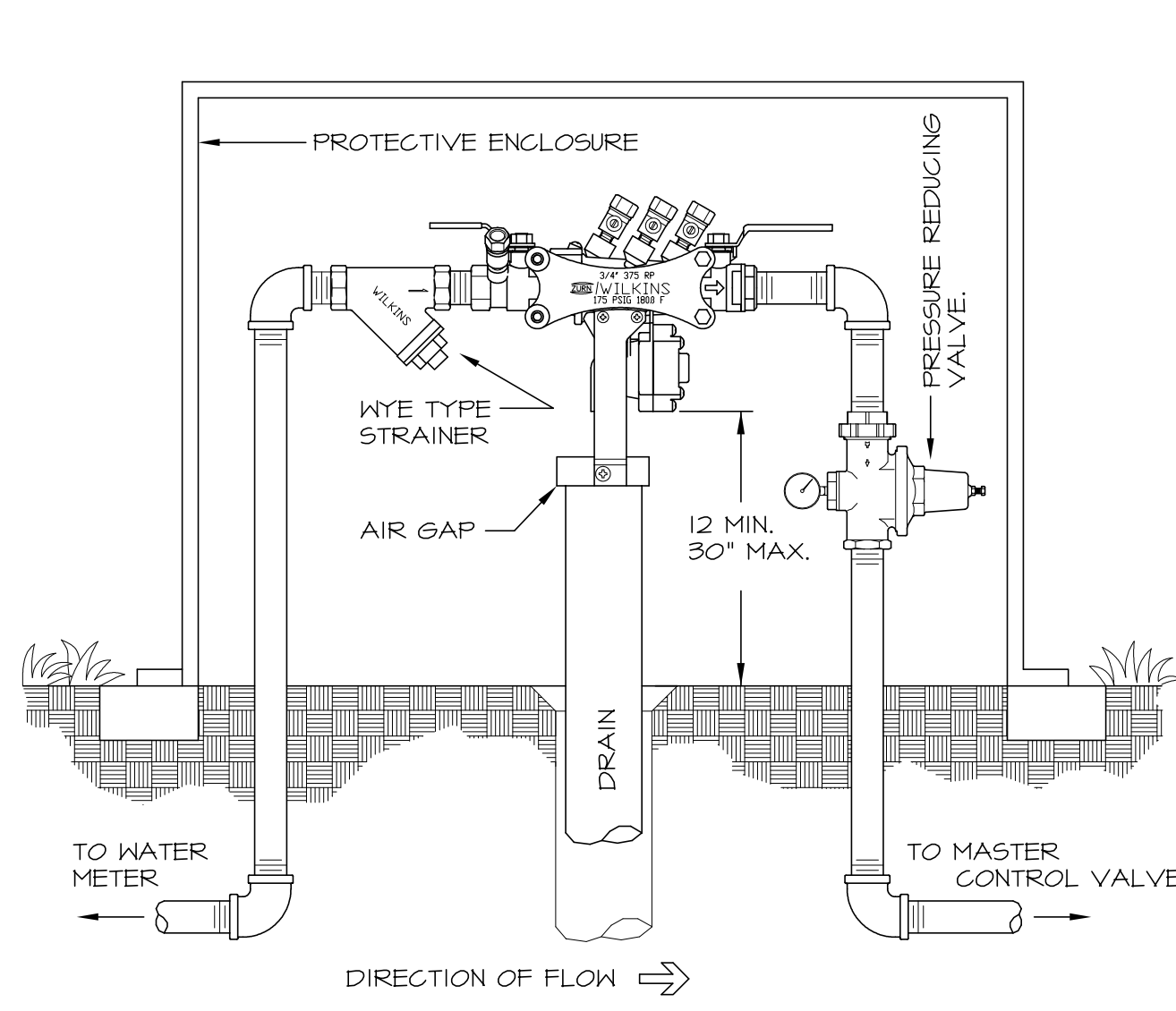


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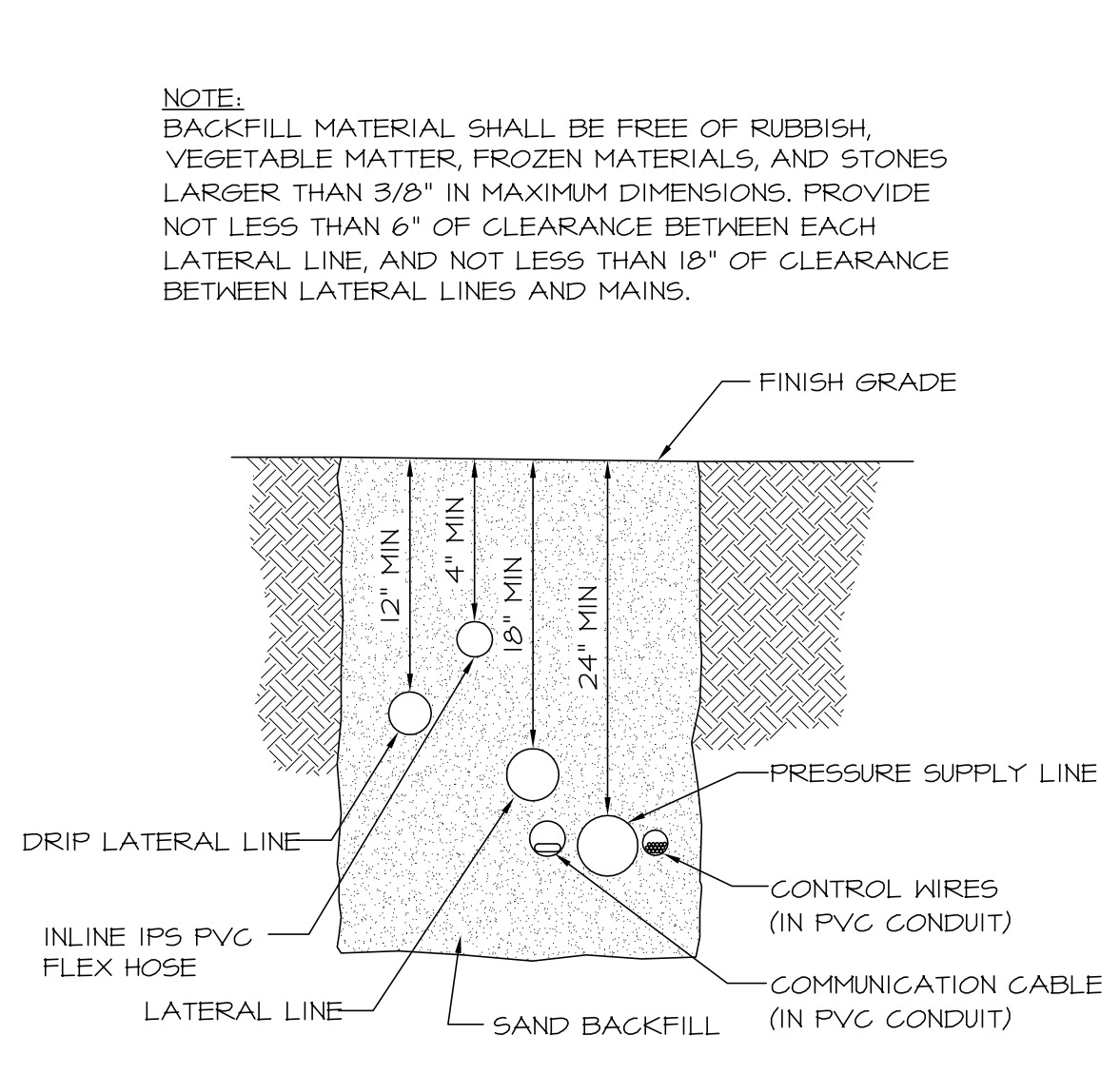
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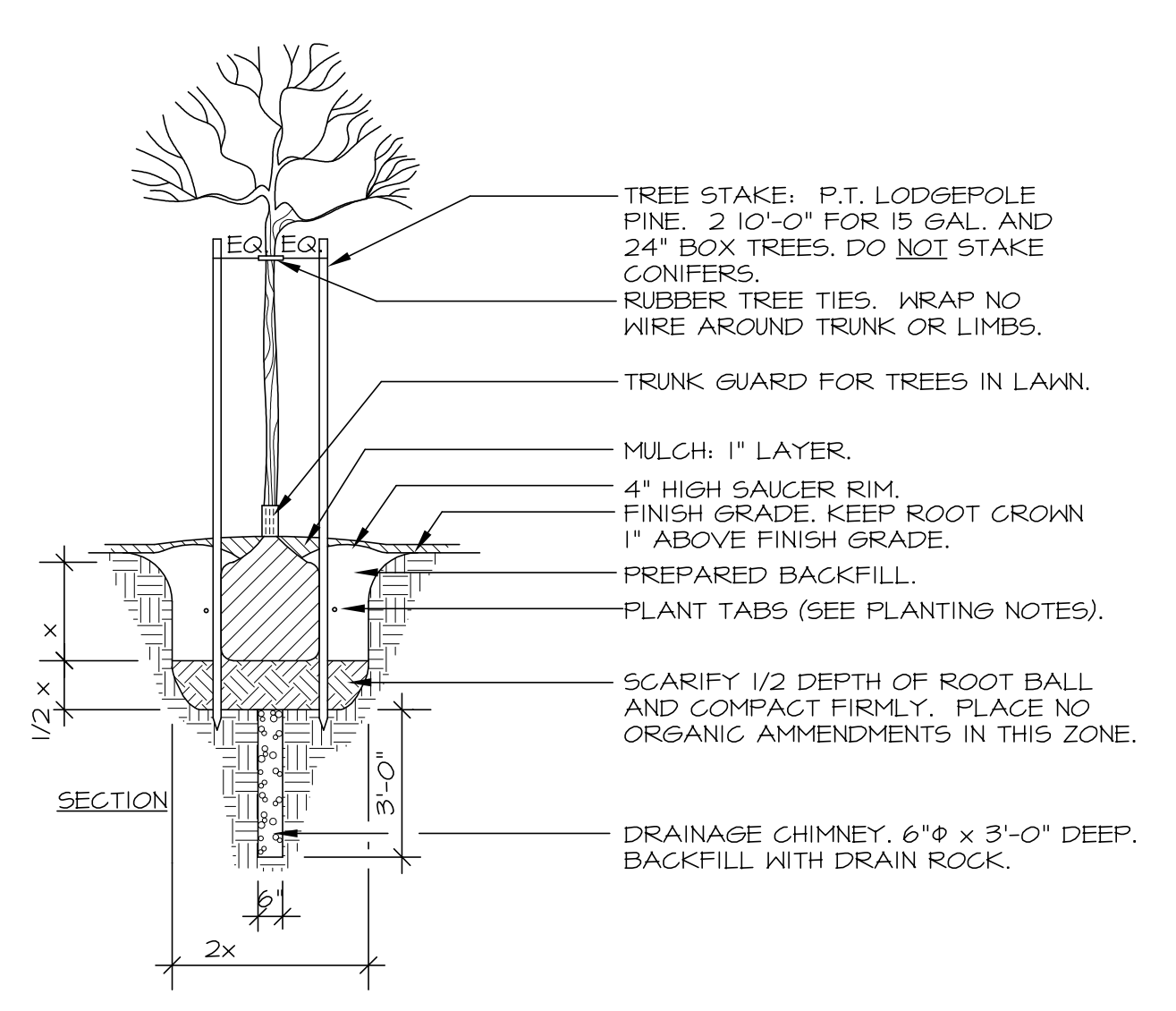
10 EZ-FLO FERTILIZING SYSTEM  
NO SCALE



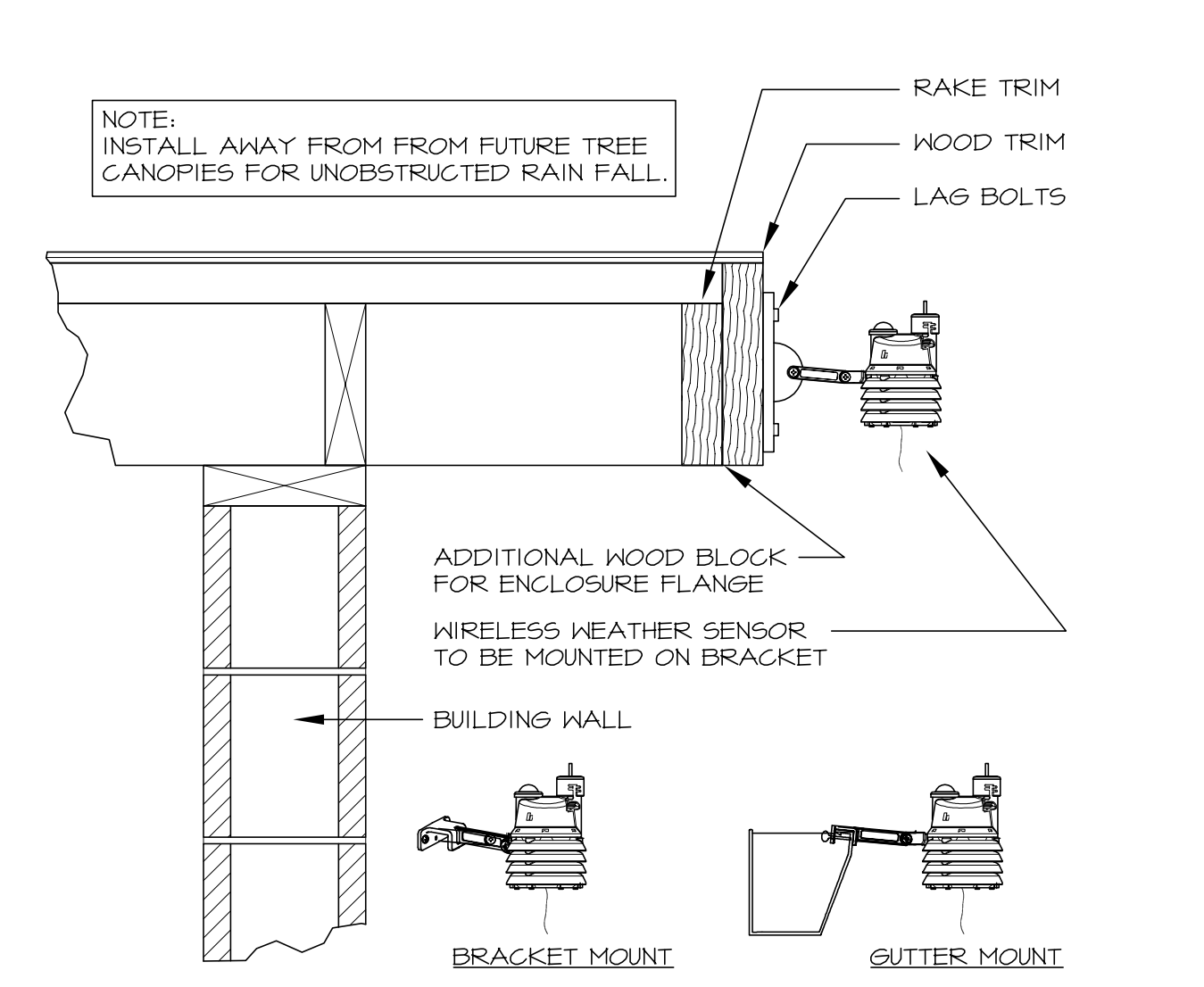
7 REDUCED PRESSURE BACKFLOW DEVICE  
NO SCALE



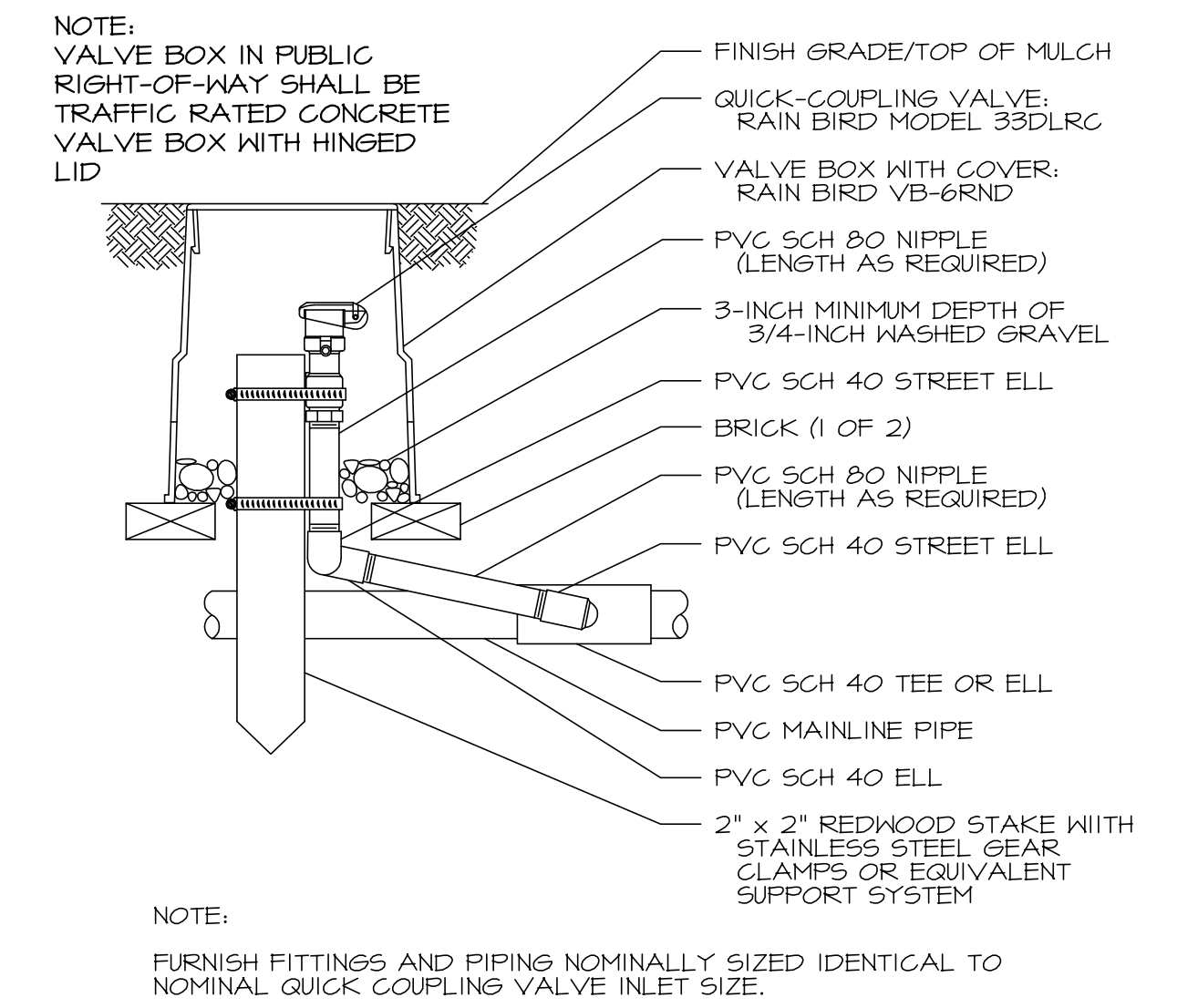
4 TRENCHING - OPEN AREAS  
NO SCALE



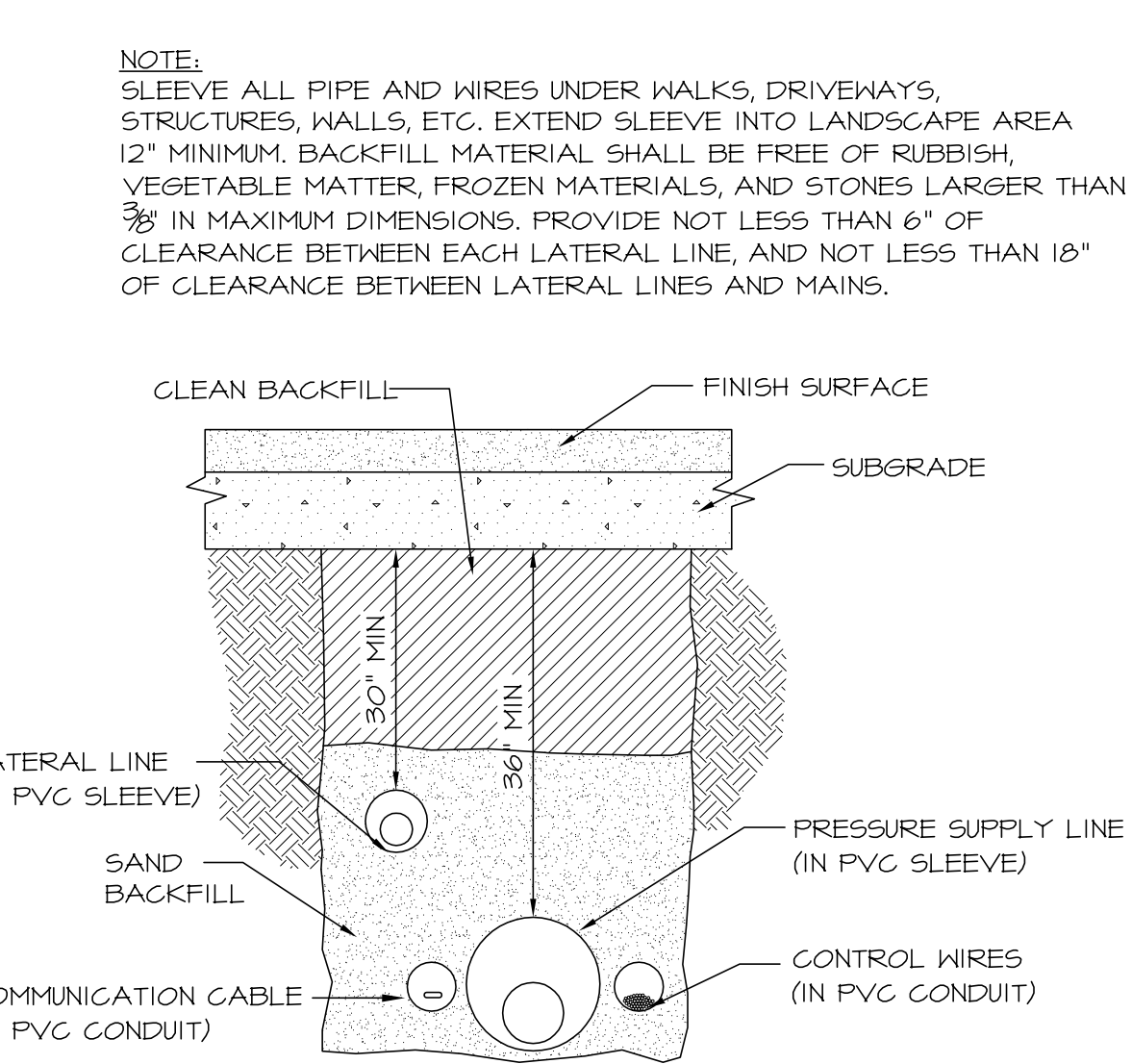
1 TREE PLANTING DETAIL  
NO SCALE



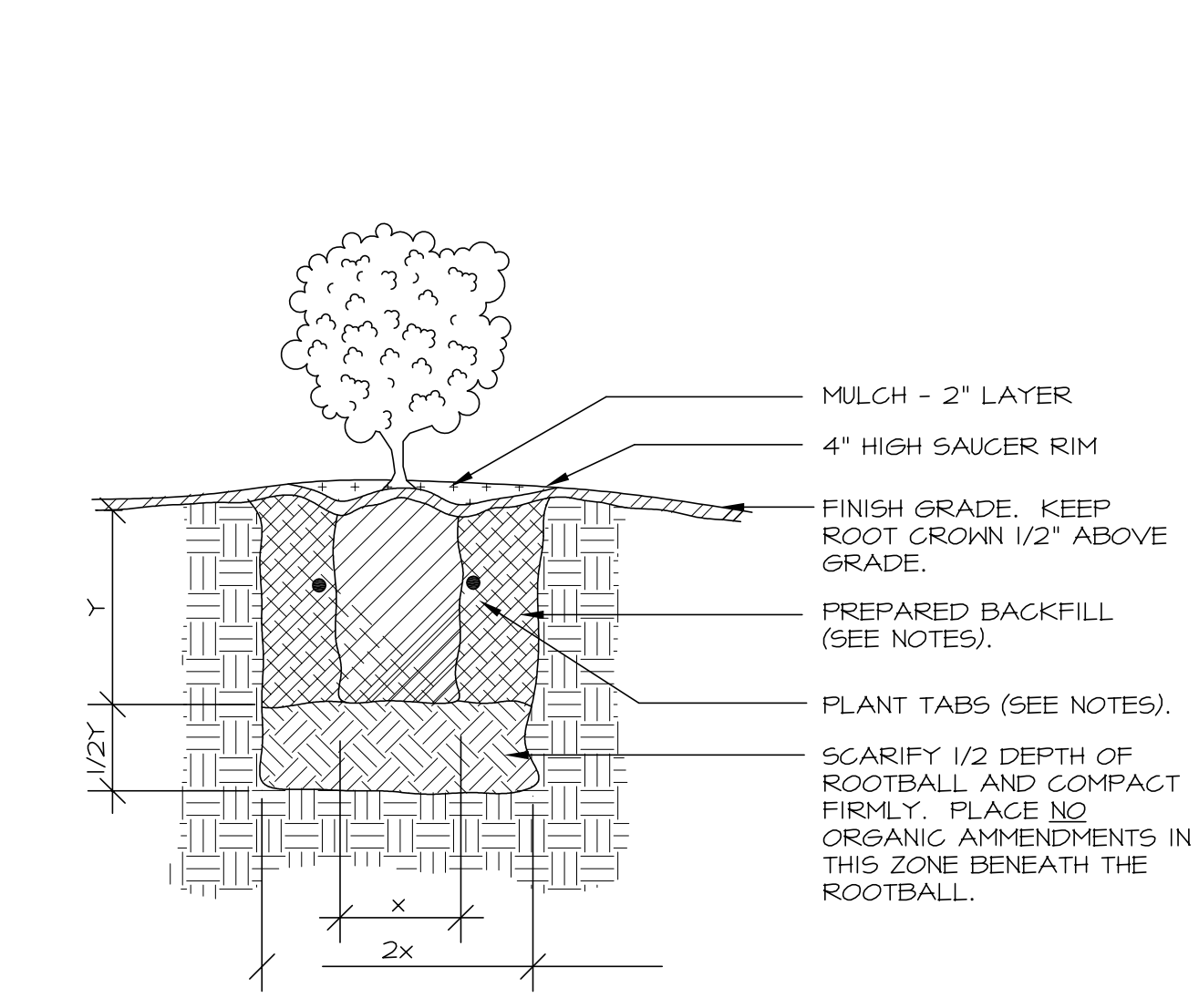
11 WIRELESS WEATHER SENSOR MOUNTING  
NO SCALE



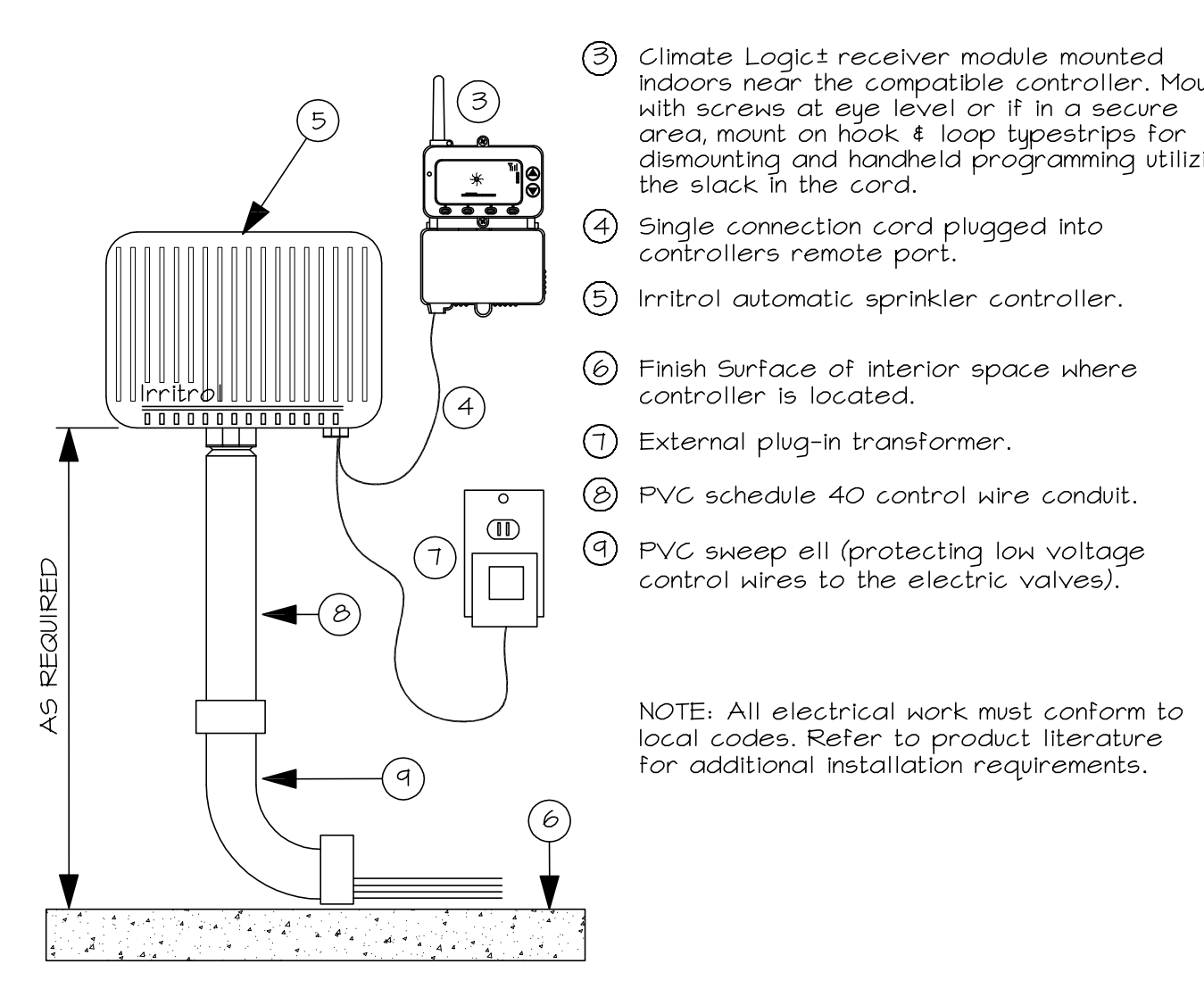
8 QUICK COUPLING VALVE  
NO SCALE



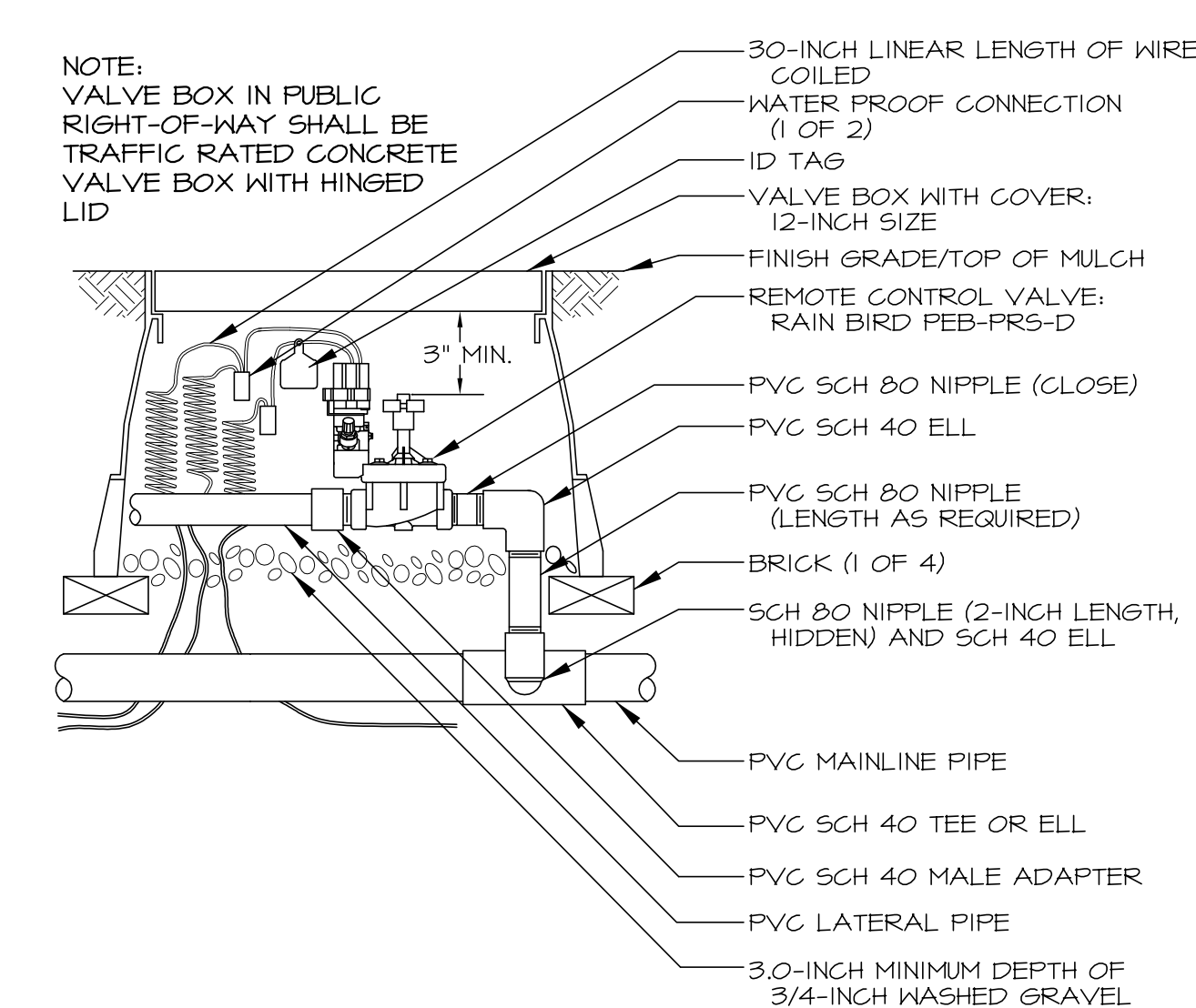
5 TRENCHING - UNDER HARDSCAPE  
NO SCALE



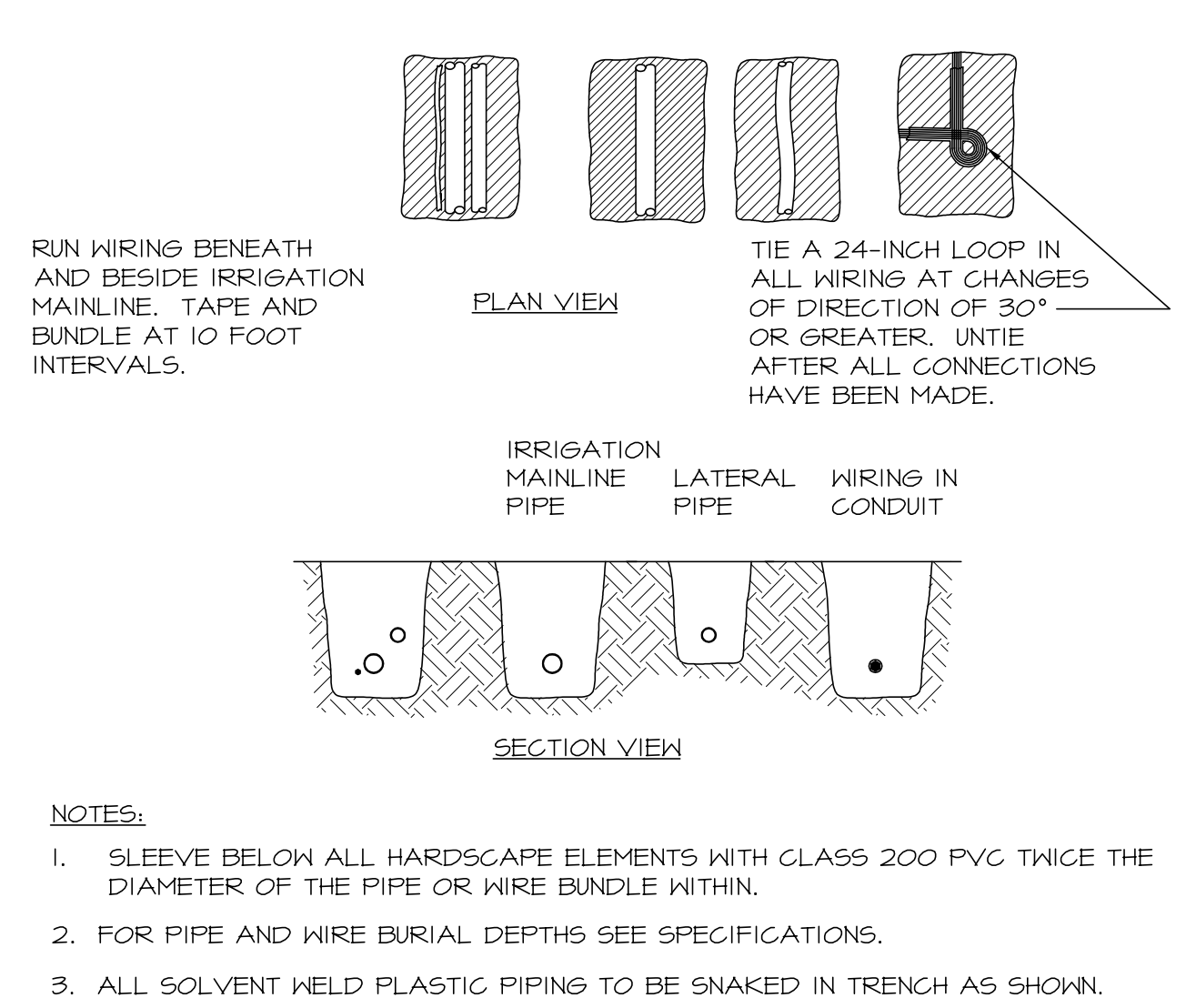
2 SHRUB PLANTING DETAIL  
NO SCALE



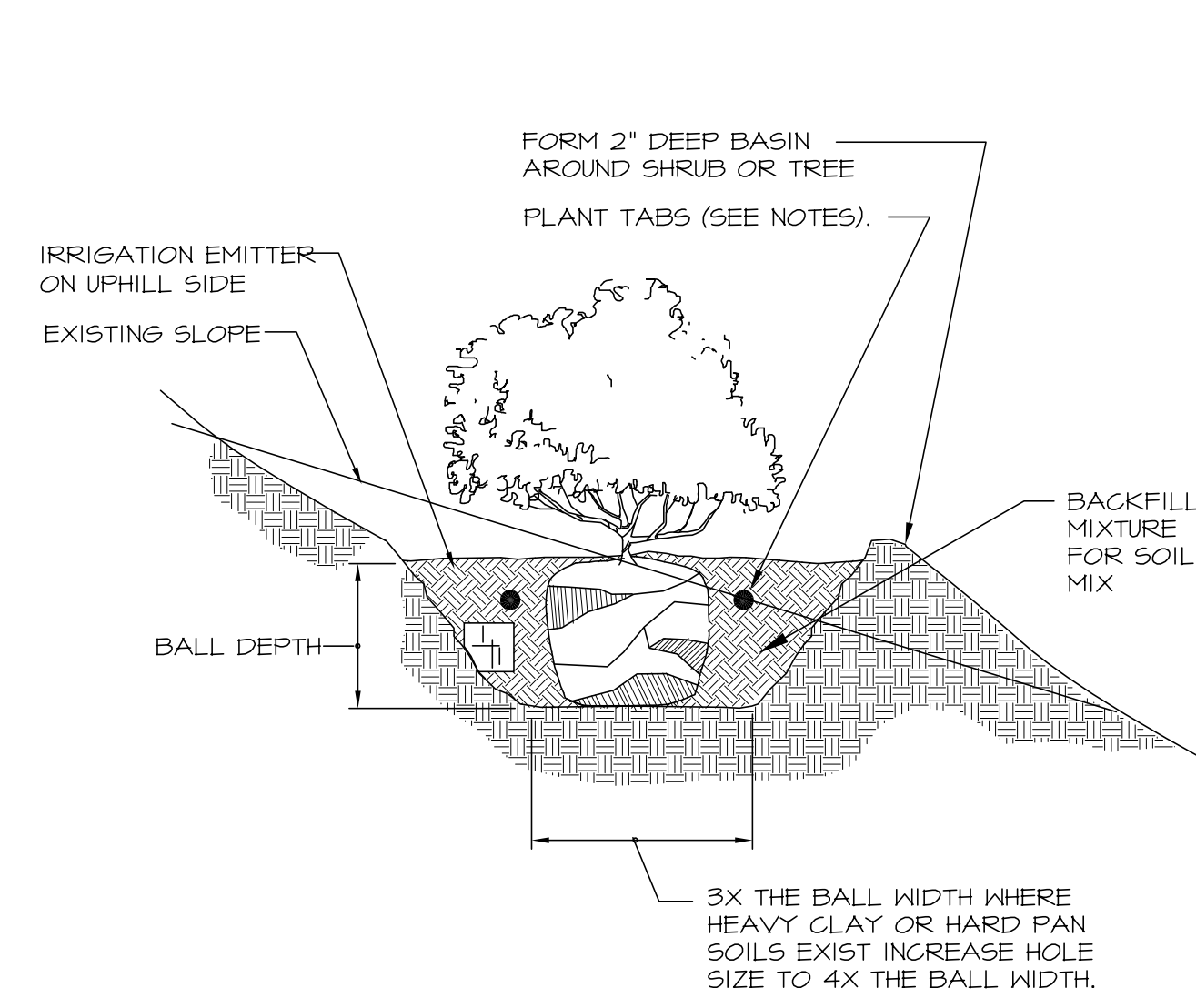
12 WEATHER-SENSING SYSTEM  
NO SCALE



9 REMOTE CONTROL VALVE  
NO SCALE



6 PIPE AND WIRE TRENCHING DETAIL  
NO SCALE



3 SLOPE PLANTING DETAIL  
NO SCALE



OWNER:  
**ECHO HEIGHTS, LLC**  
280 S. BEVERLY DR., #320  
BEVERLY HILLS, CA. 90212

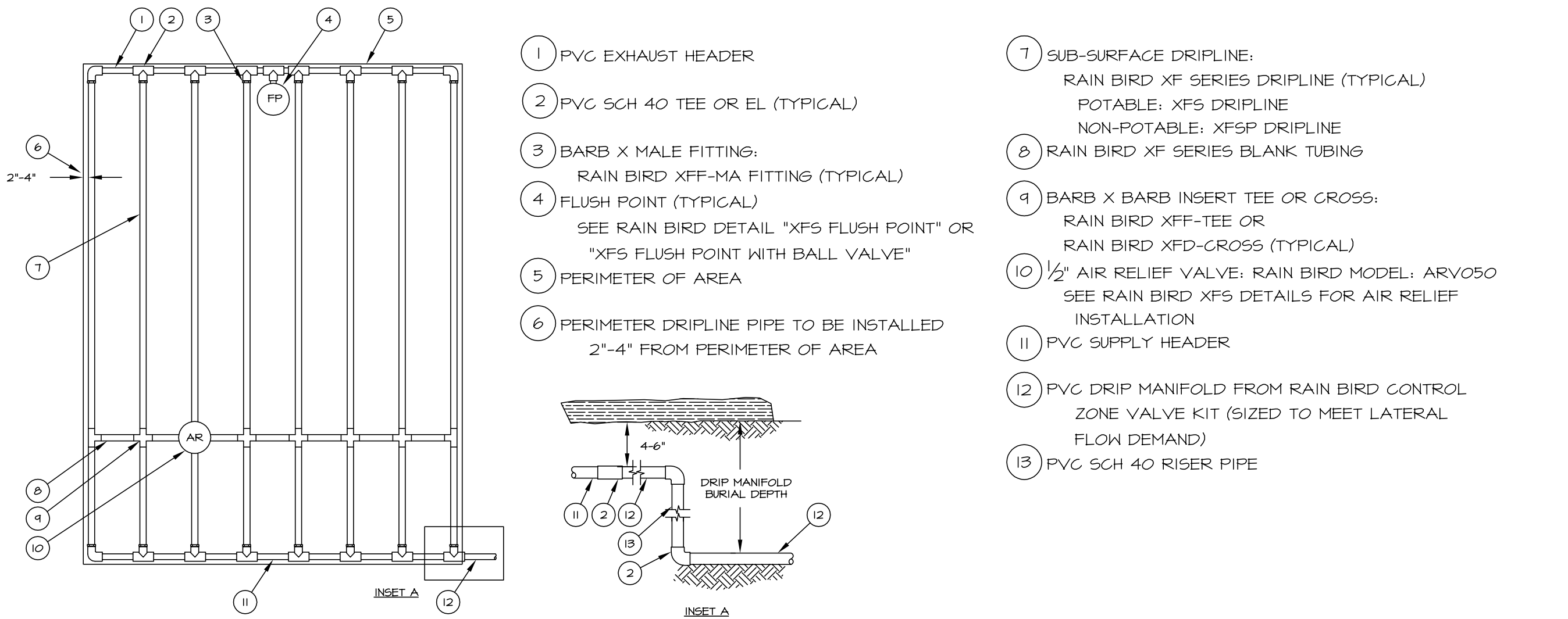
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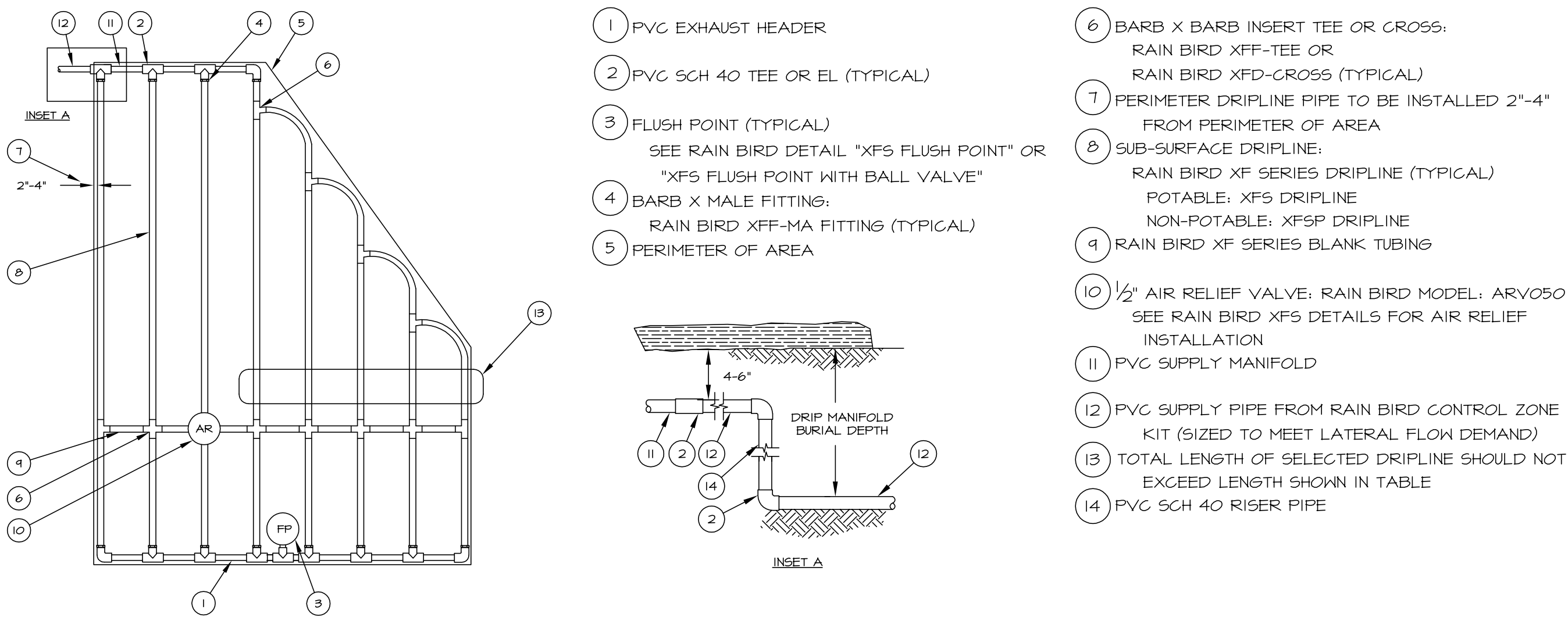
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**DETAILS**

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REVISION DATE 01:	REV. 01
REVISION DATE 02:	REV. 02
REVISION DATE 03:	REV. 03
DRAWN BY:	SEM
CHECKED BY:	
FILE NUMBER:	2020-11

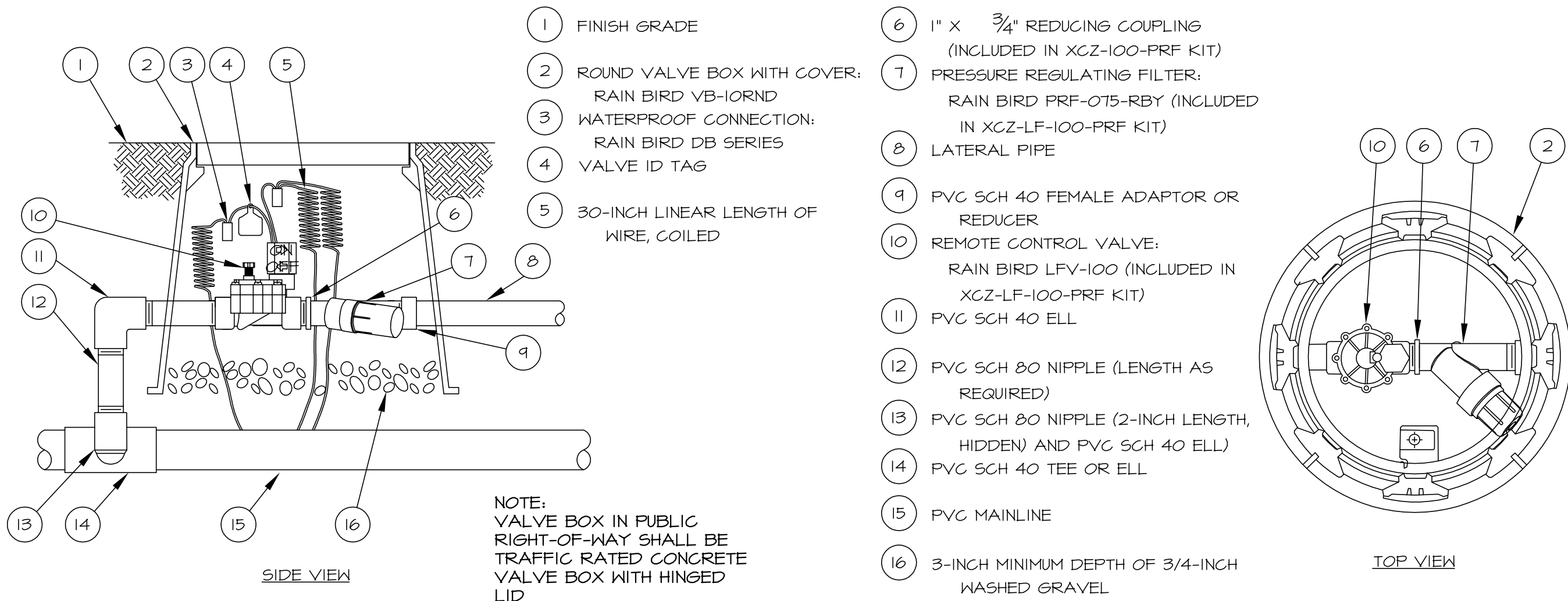
**L-6**  
3600 STOCKER



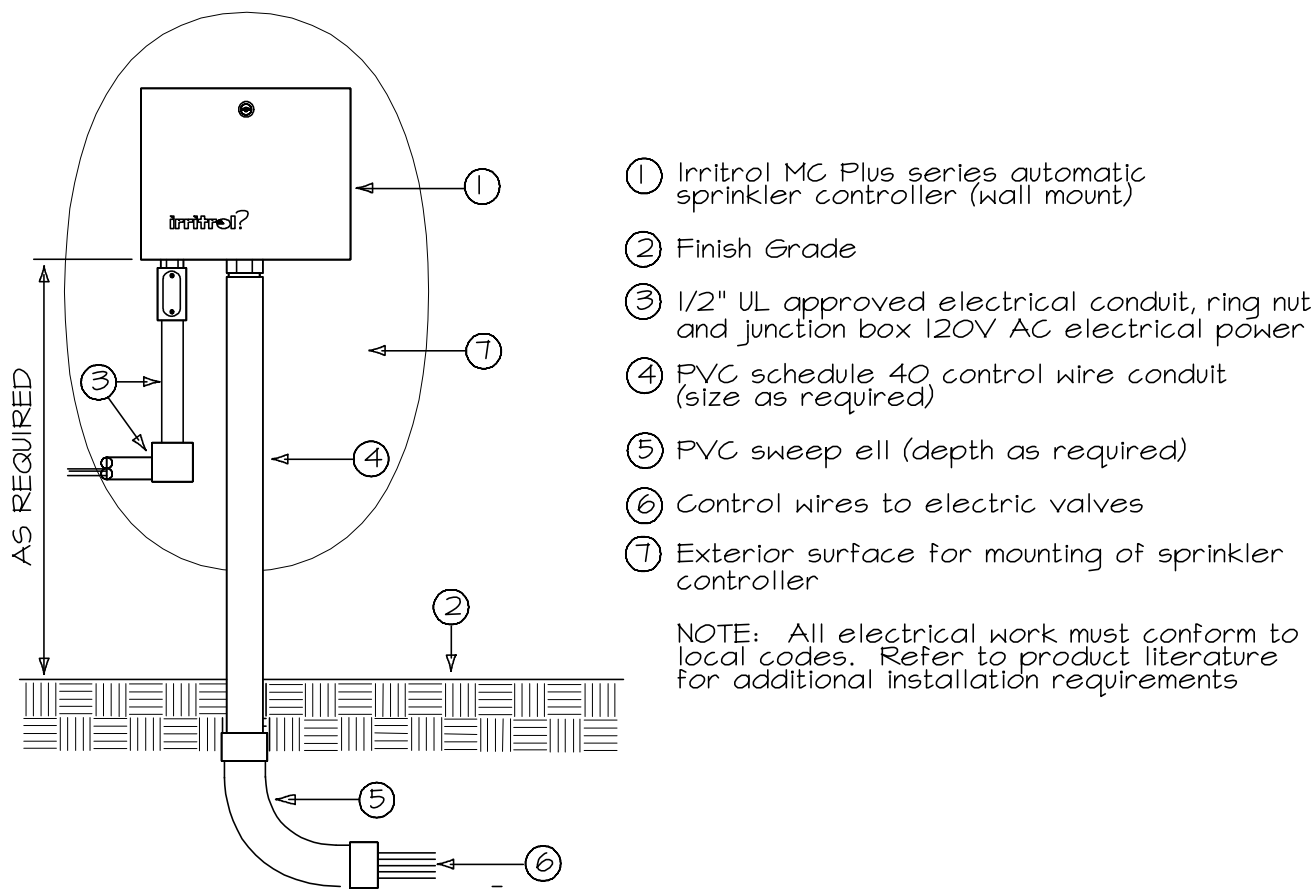
**1 DRIPLINE / END FEED LAYOUT**  
NO SCALE



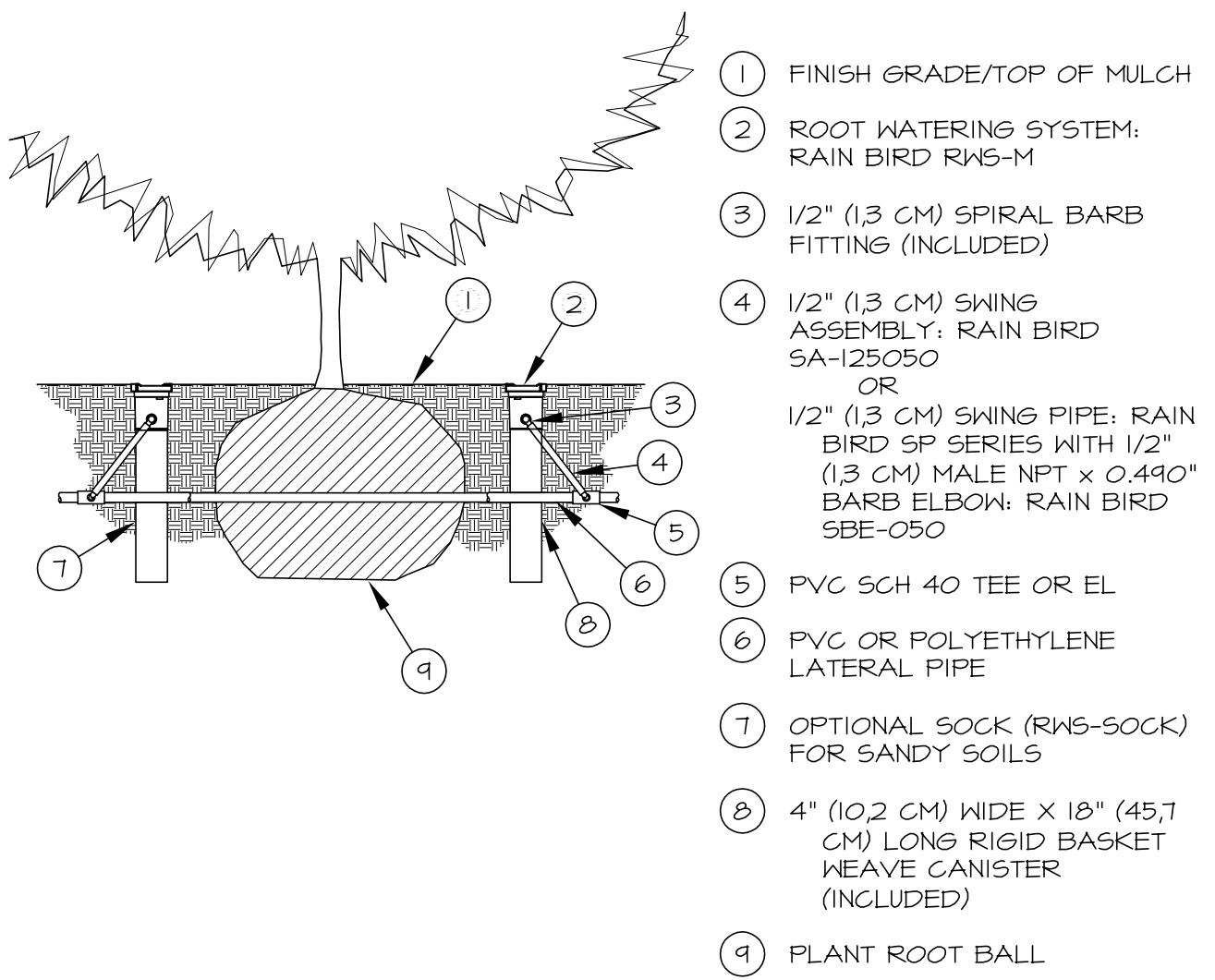
**2 DRIPLINE / IRREGULAR SHAPED LAYOUT**  
NO SCALE



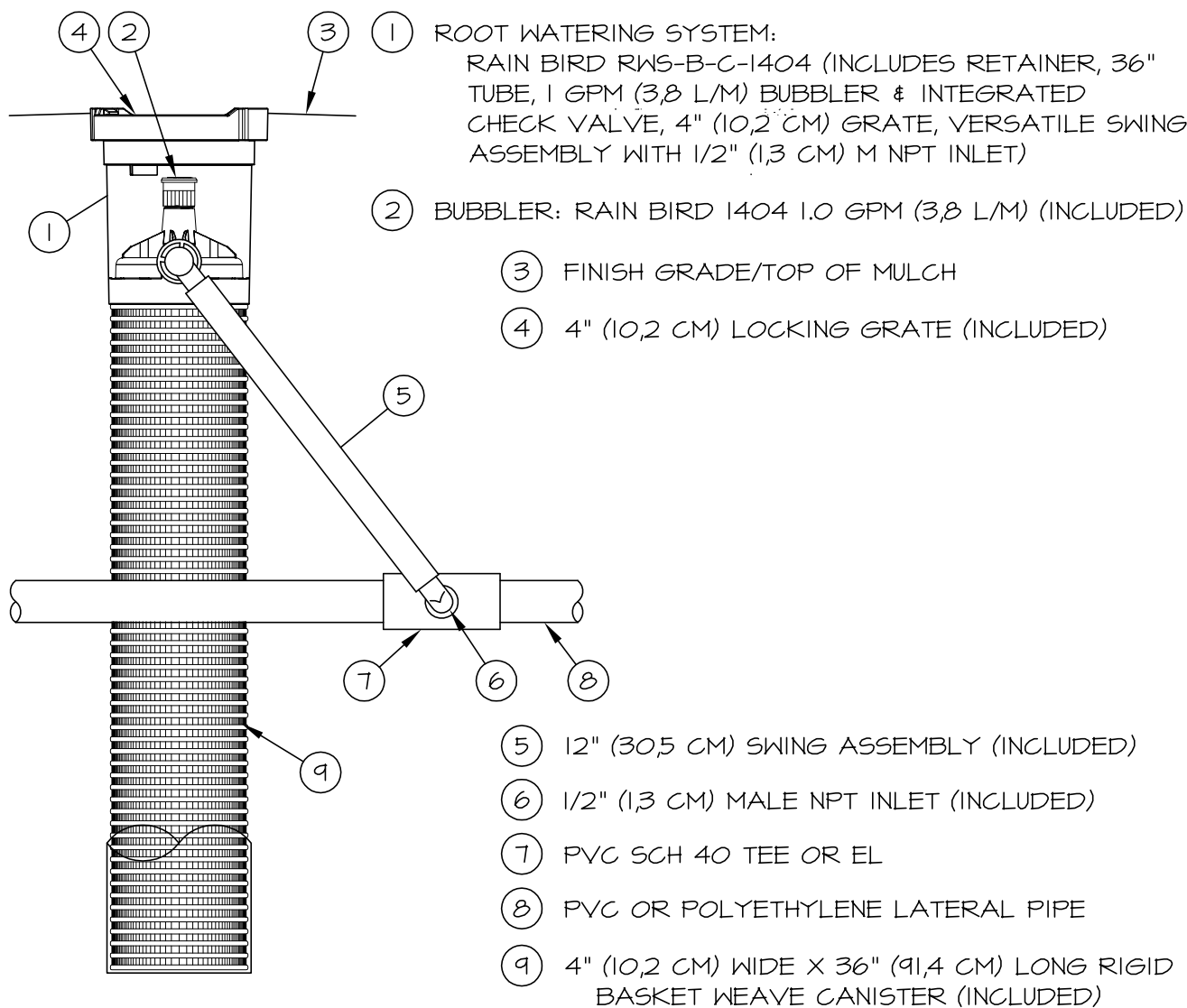
**13 CONTROL ZONE KIT IN ROUND VALVE BOX**  
NO SCALE



**1 WALL MOUNT CONTROLLER**  
NO SCALE



**X RWS INSTALLATION FOR TREES**  
NO SCALE



**ROOT WATERING SYSTEM (RWS)**  
NO SCALE

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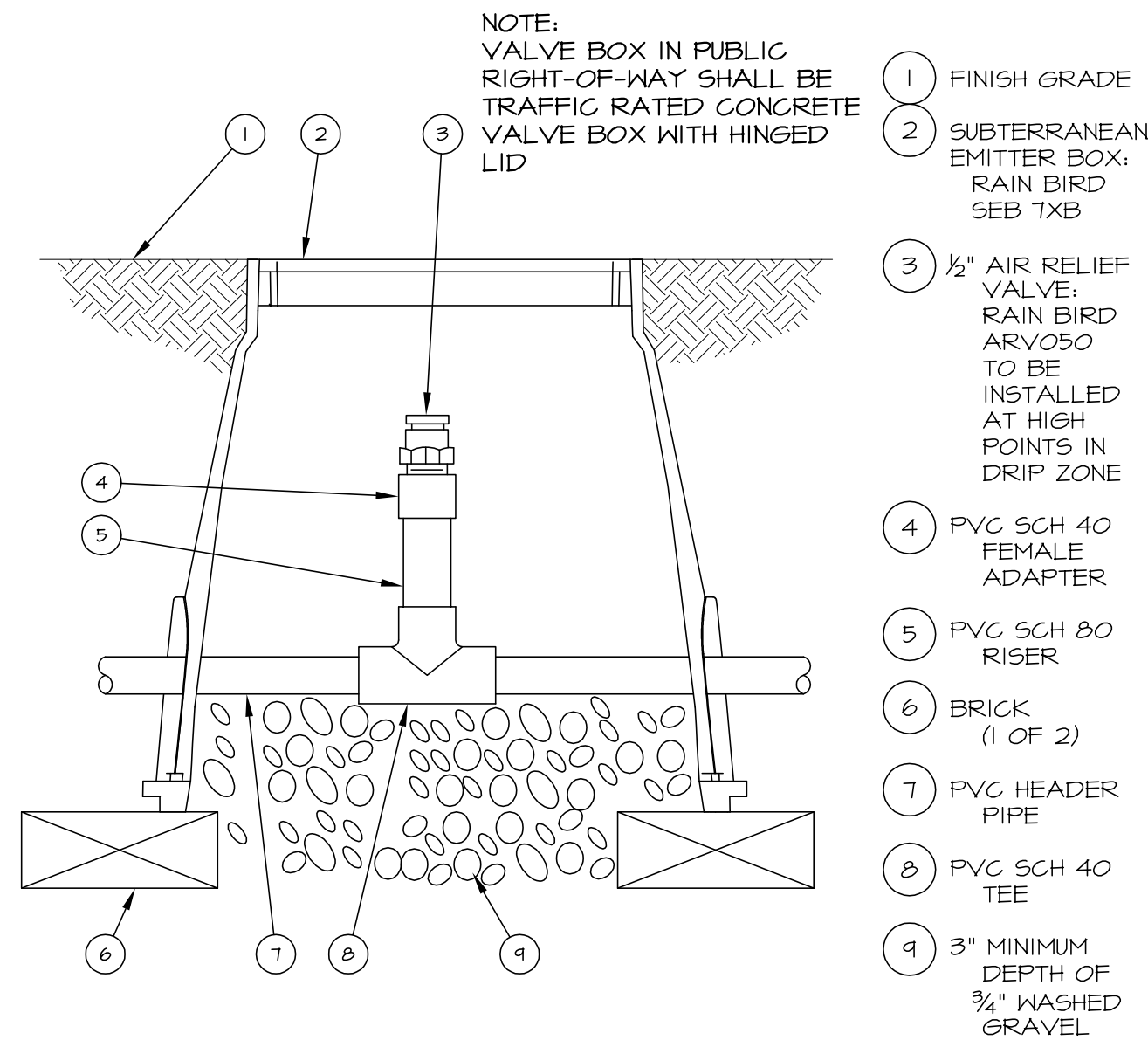
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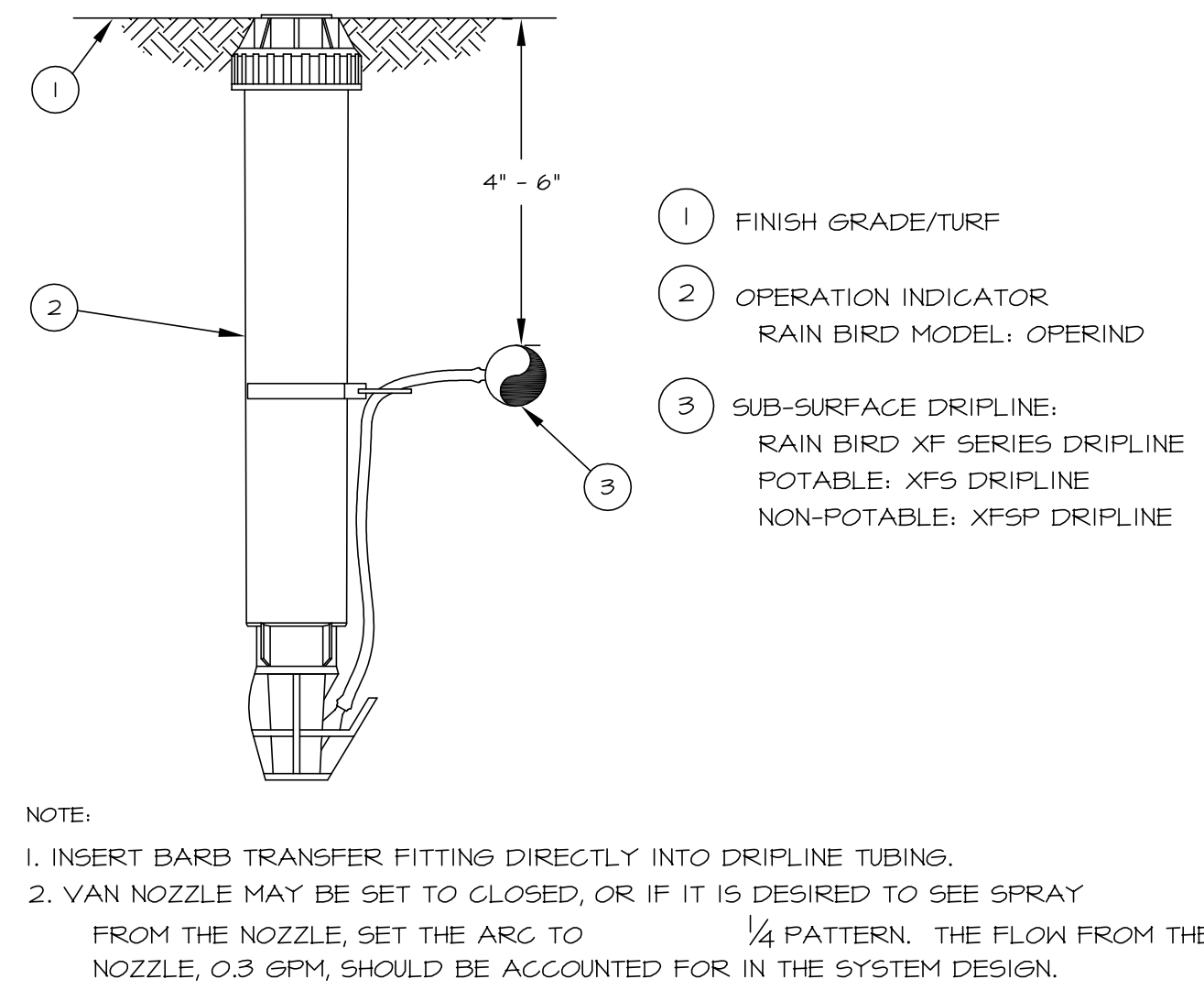
SHEET TITLE:  
  
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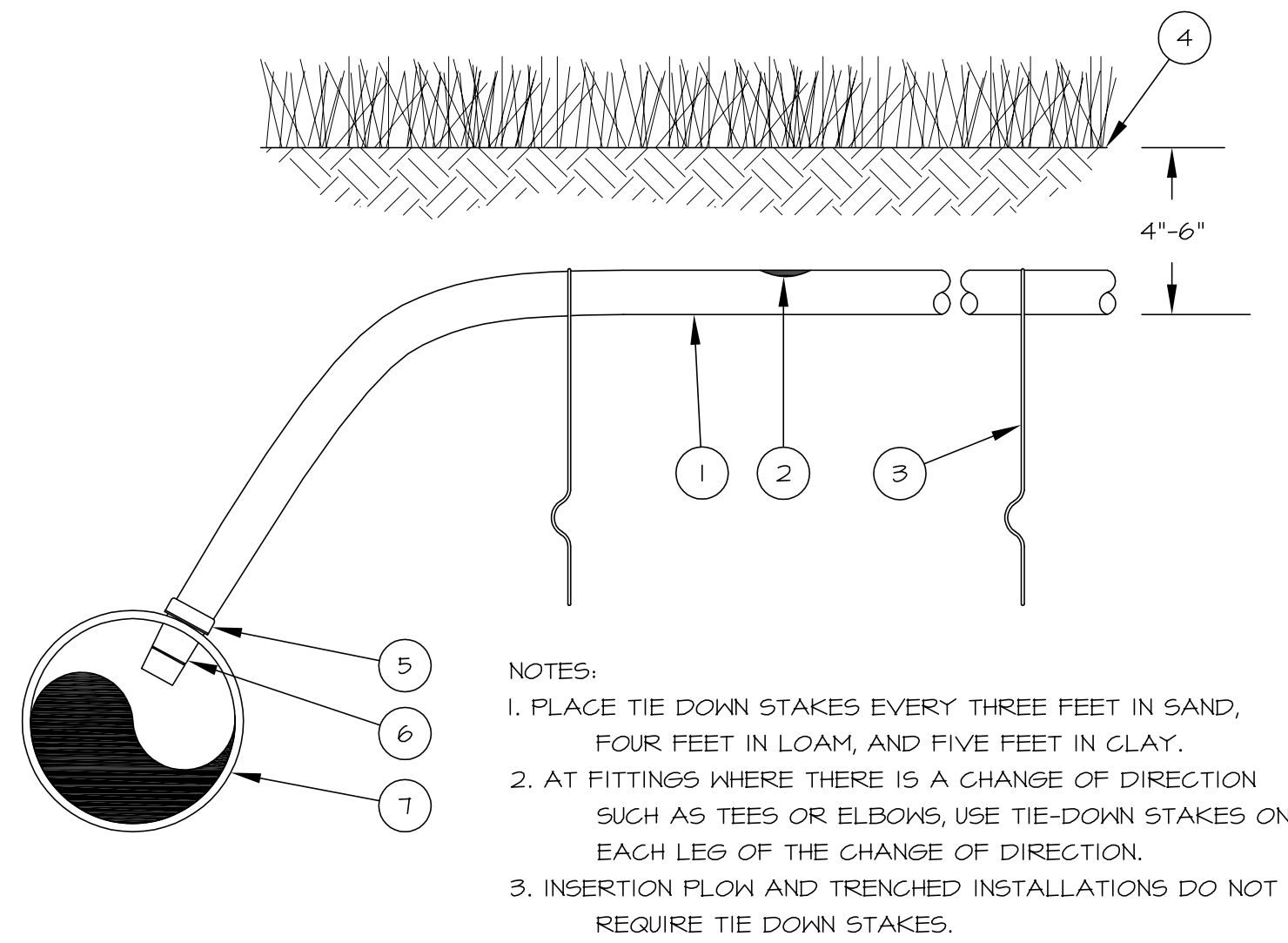
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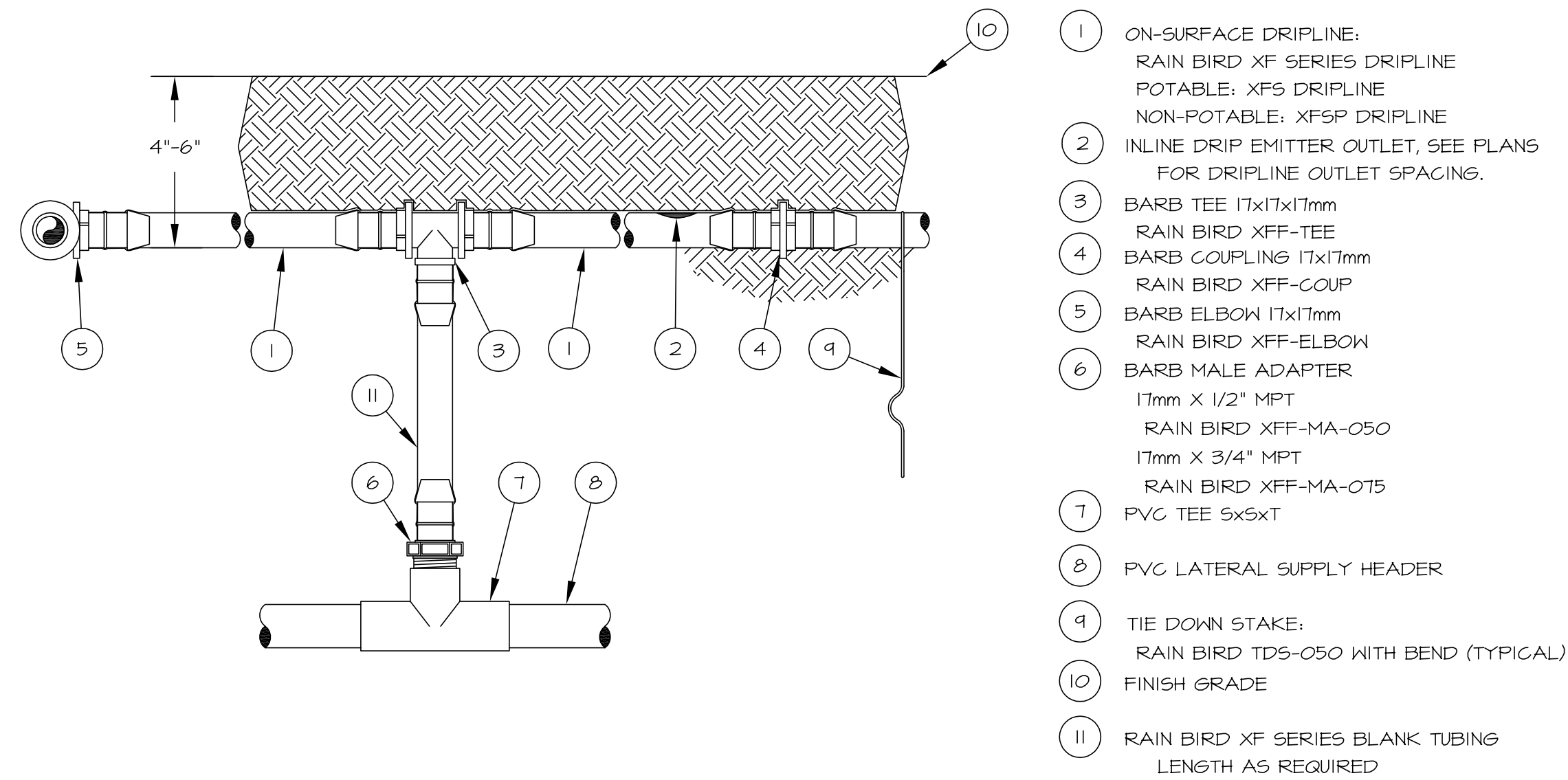
7 DRIPLINE / 1/2" HEADER AIR RELIEF VALVE  
NO SCALE



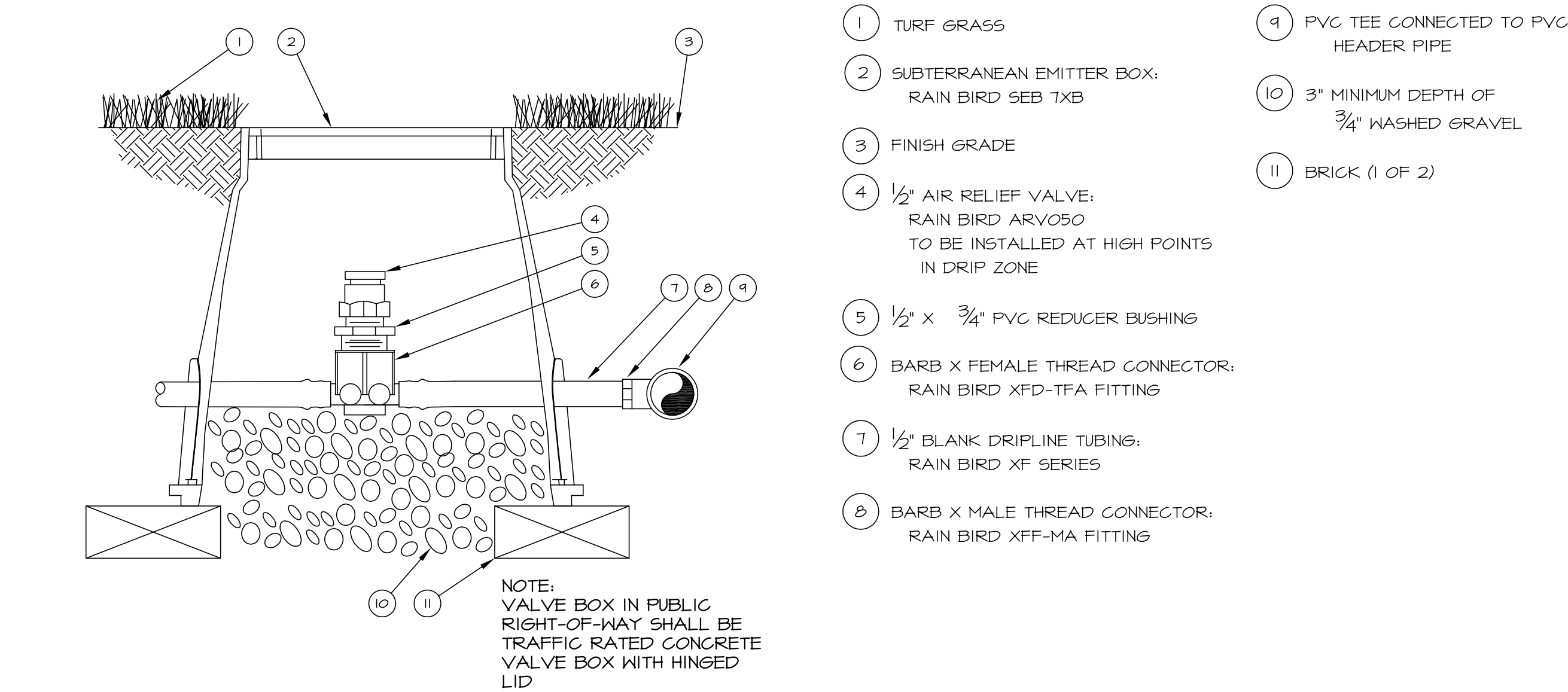
8 DRIPLINE / OPERATION INDICATOR  
NO SCALE



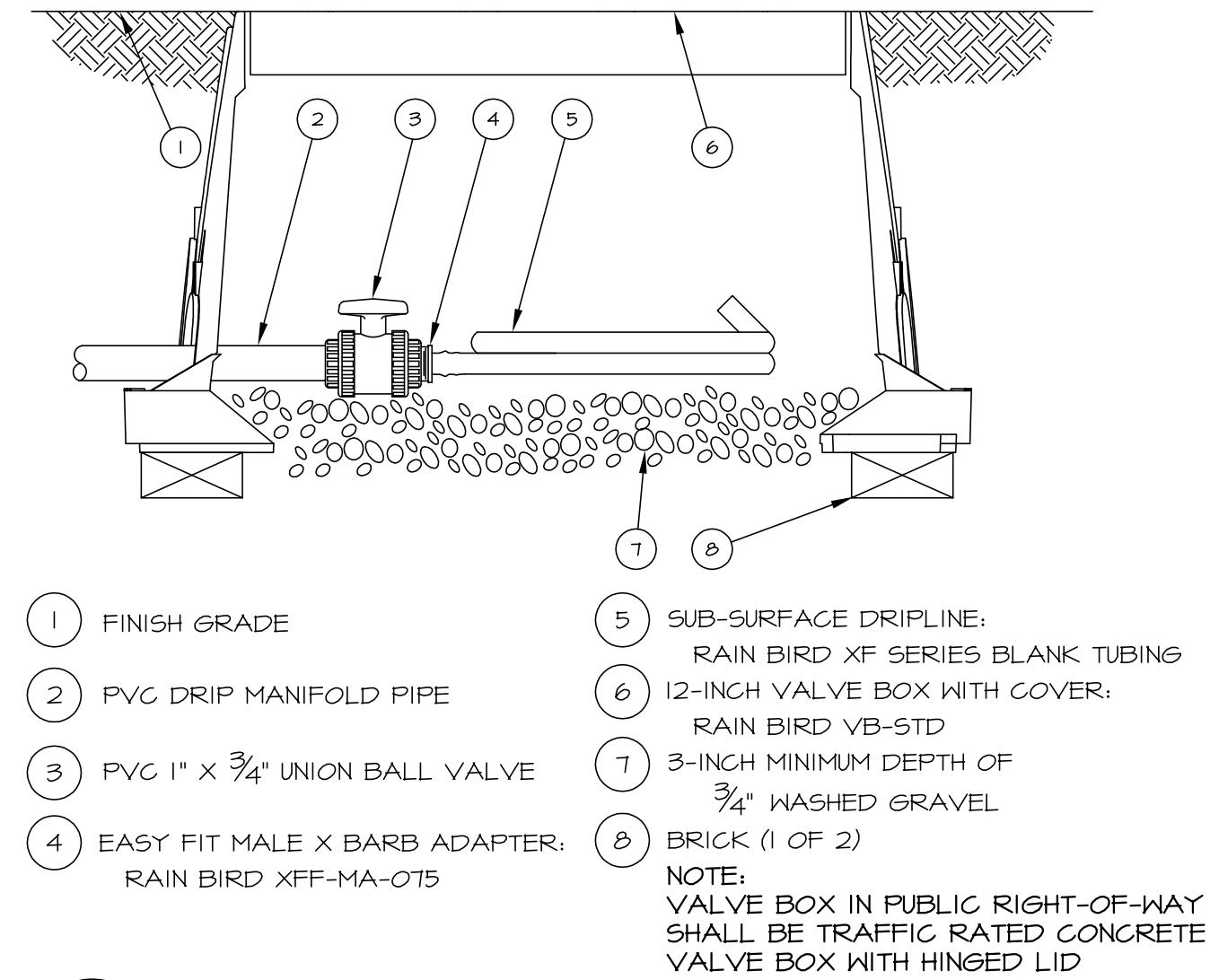
4 DRIPLINE / INSERT ADAPTER FOR 1 1/2" OR LARGER PVC  
NO SCALE



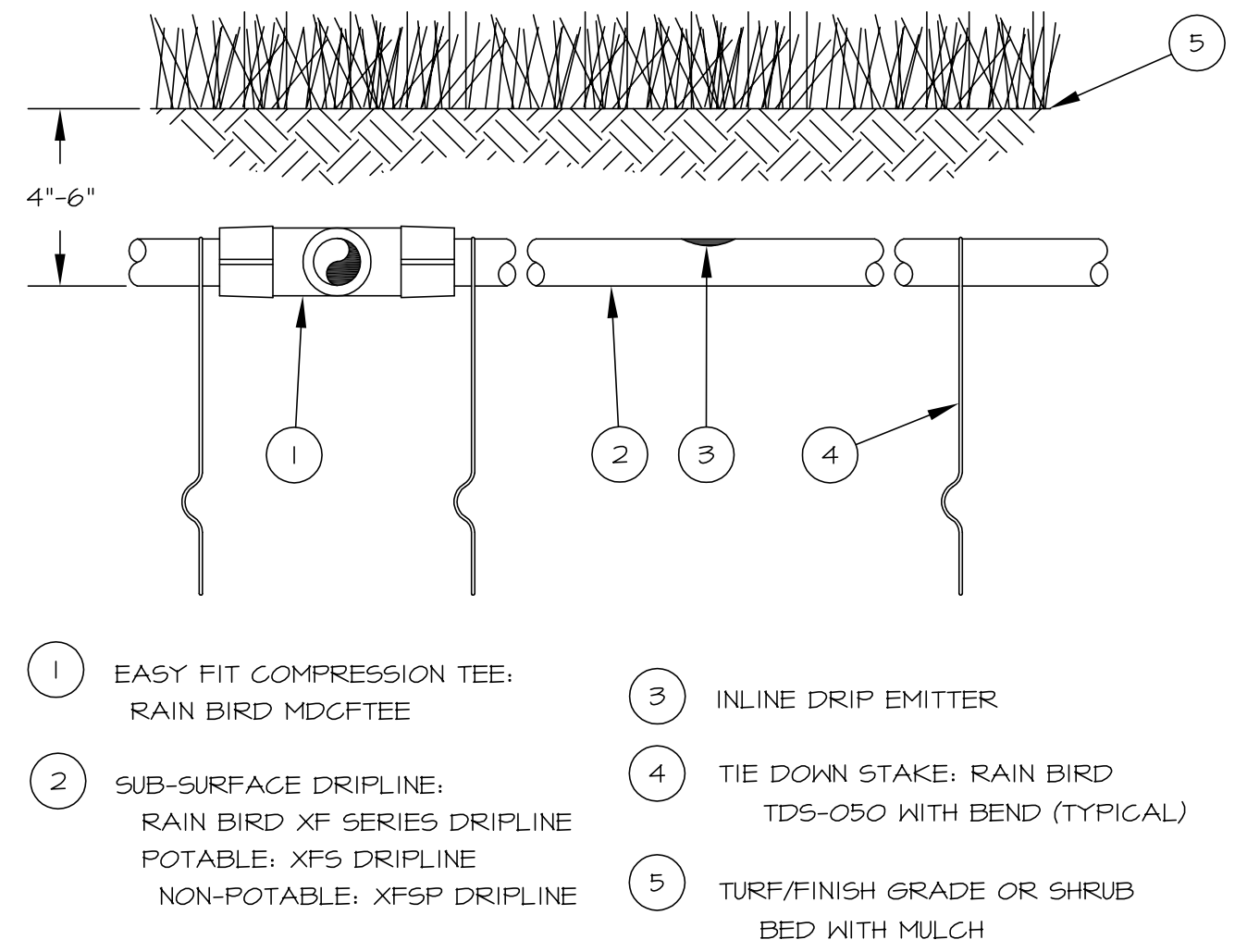
5 DRIPLINE / RISER ASSEMBLY  
NO SCALE



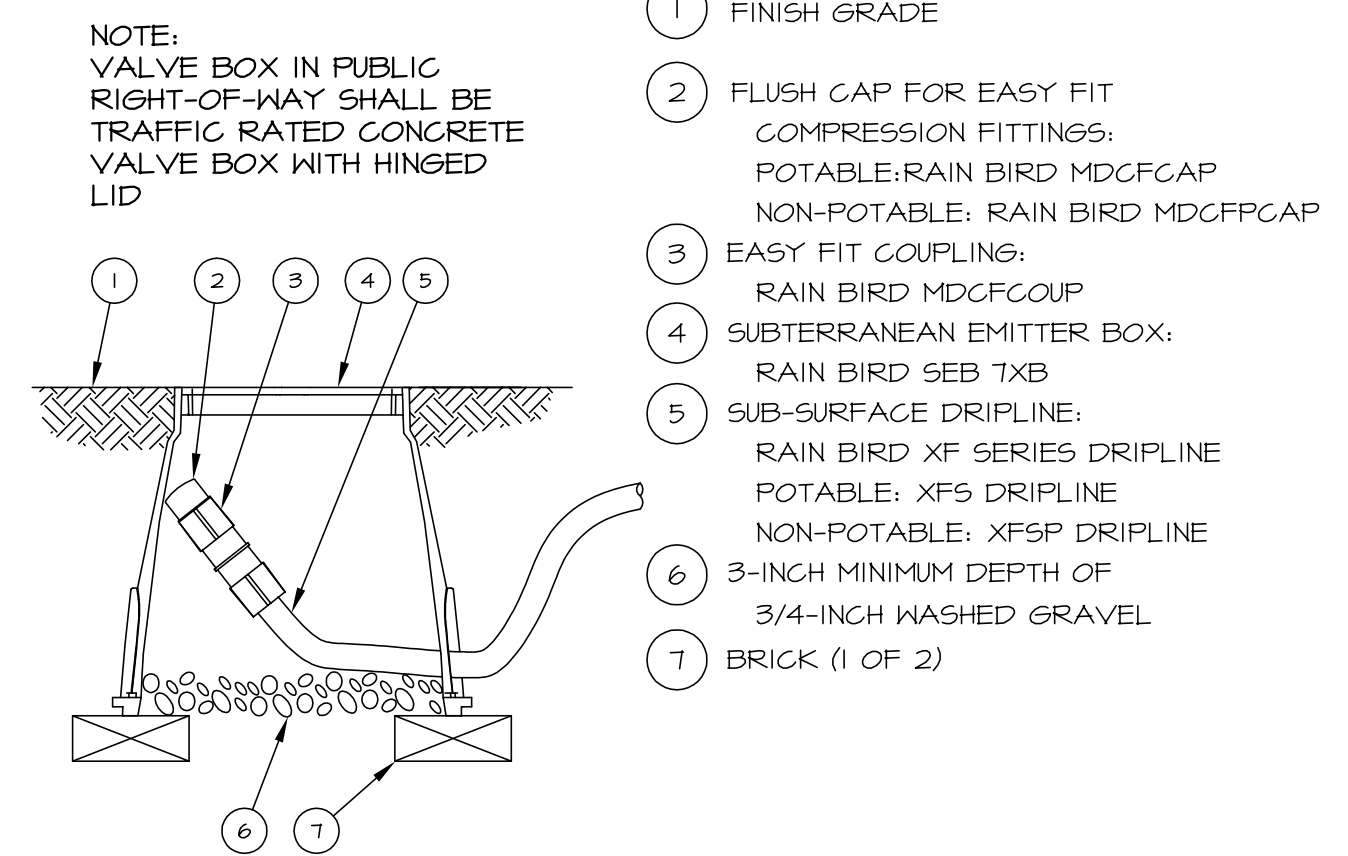
6 DRIPLINE / 1/2" INLINE AIR RELIEF VALVE  
NO SCALE



1 DRIPLINE / FLUSH POINT WITH BALL VALVE  
NO SCALE



2 DRIPLINE / BURIAL  
NO SCALE



3 DRIPLINE / FLUSH POINT COMPRESSION FIT  
NO SCALE



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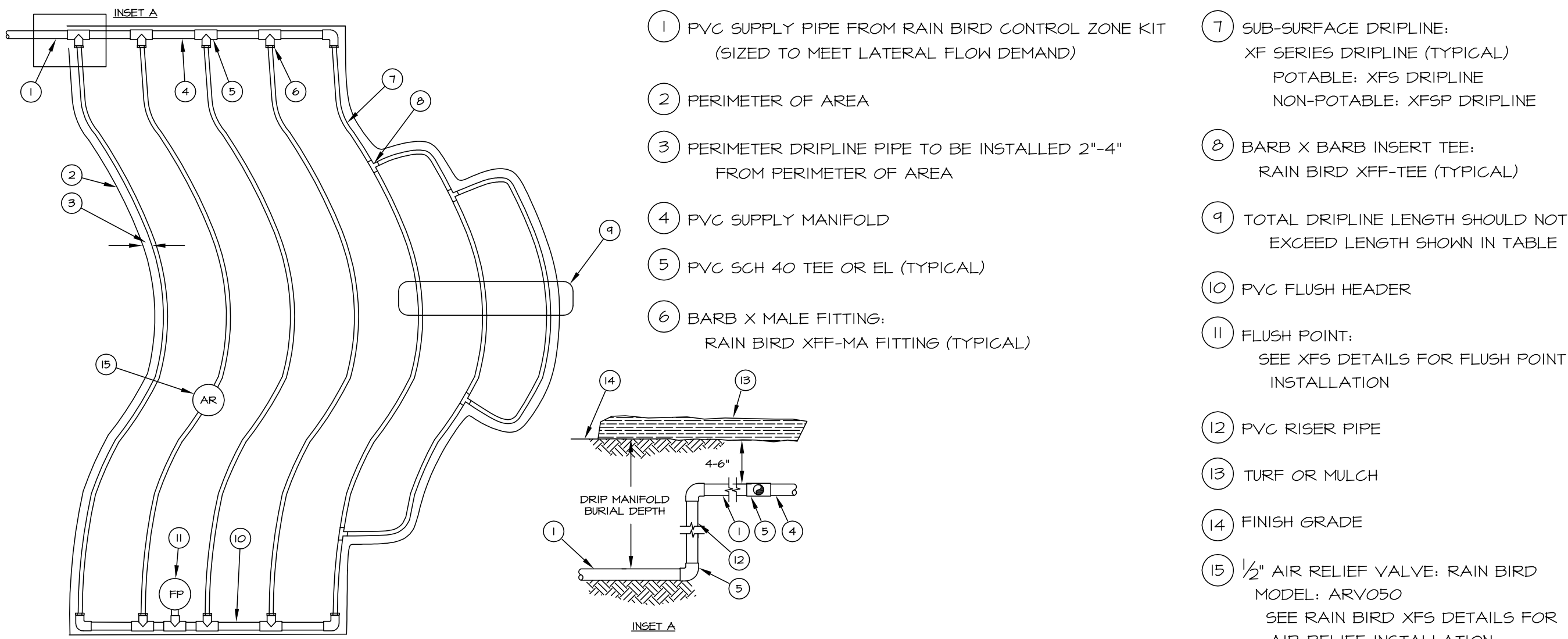
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SHEET TITLE:  
**DETAILS & NOTES**

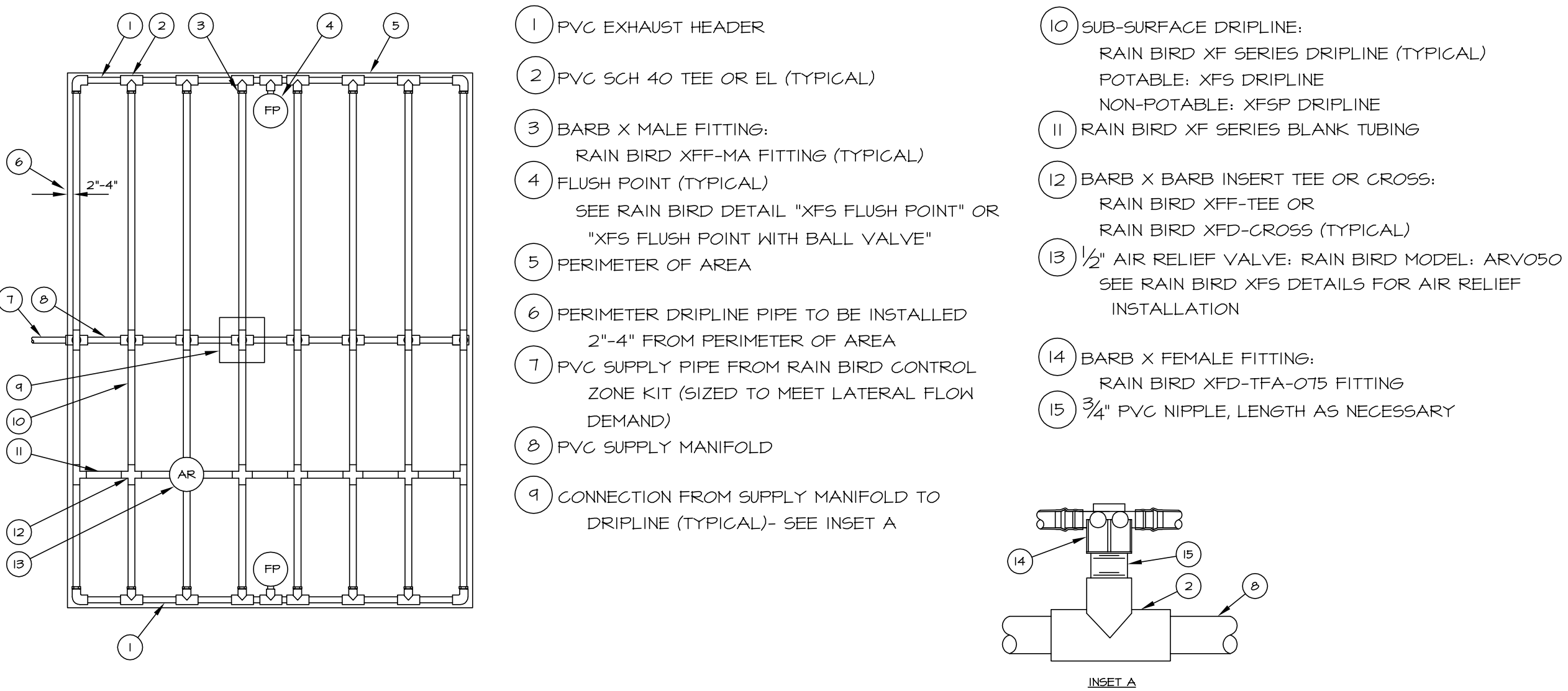
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CHECKED BY:	SEM
FILE NUMBER:	2020-111

L-8

3600 STOCKER



4 DRIPLINE / TYPICAL ODD CURVES LAYOUT  
NO SCALE



3 DRIPLINE / CENTER FEED LAYOUT  
NO SCALE

## STREET TREE SELECTION GUIDE

### STREET TREE SELECTION GUIDELINES:

- REQUEST A PLANTING PERMIT BY CALLING 3-1-1 OR THE BUREAU OF STREET SERVICES REQUEST CENTER AT (800) 946-2489.
  - THE URBAN FORESTRY DIVISION (UFD) WILL CONTACT YOU AND SET AN INSPECTION DATE. INSPECTION WILL DETERMINE:
    - TREE SPECIES
    - TREE PLANTING LOCATION(S) WHICH WILL BE MARKED ON CURB.
    - NUMBER OF TREES
    - PLEASE NOTE THAT REPLANTING MAY NOT BE PERMISSIBLE DUE TO THE EXISTENCE OF POWER POLES, METERS, DRIVEWAYS, ETC. (IN WHICH CASE A PERMIT WOULD NOT BE ISSUED).
  - UFD ARBORIST WILL ISSUE A TREE PLANTING PERMIT WITH ALL PERTINENT INFORMATION INCLUDING TREE PLANTING SPECIFICATIONS. YOU MAY NOW SELECT THE NURSERY FROM WHICH YOU WILL OBTAIN THE NECESSARY TREE SPECIES AND STOCK SIZE.
  - UPON SELECTION, CONTACT UFD AT (213) 485-8470 SO AN INSPECTOR MAY REVIEW THE TREE AT THE NURSERY AND TAG IT IF APPROVED.
  - SET UP TREE DELIVERY
  - TREE MAY BE PLANTED BY RESIDENTS OR CONTRACTOR.
  - YOU SHALL FIRST CONTACT DIGALERT AT (800) 227-2600 PRIOR TO EXCAVATION.
  - PLEASE CONTACT THE INSPECTOR WHO ISSUED THE PERMIT NOT MORE THAN FIVE DAYS AFTER PLANTING. THE INSPECTOR WILL RE-INSPECT AND SIGN-OFF THE FINAL APPROVAL. THE GOAL OF UFD IS TO PROCESS TREE PLANTING PERMITS WITHIN THREE WORKING DAYS OF THE REQUEST.
- \* FOR FURTHER INFORMATION PLEASE CONTACT THE URBAN FORESTRY DIVISION (UFD) AT (213) 847-3077.

NOTE:  
ALL NEWLY PLANTED TREES MUST HAVE A ROOT CONTROL BARRIER, STREET TREE DETAIL 5-456-1 AND TREES OF 15 GAL OR 24" BOX SIZE MUST ALSO HAVE A 10" METAL TREE STAKE, STREET TREE DETAIL 2-663-0. WHERE STREET TREES ARE PLANTED IN TREE WELLS REFER TO TREE DETAIL 5-450-2.

## TREE LOCATIONS PER URBAN FORESTRY

### TREE LOCATIONS WITHIN PUBLIC RIGHT OF WAY PER URBAN FORESTRY DIVISION

- FINAL DETERMINATION OF TREE PLANTING LOCATIONS IS SUBJECT TO APPROVAL BY BUREAU OF STREET SERVICES, URBAN FORESTRY DIVISION.
- THE BUREAU OF STREET SERVICES, URBAN FORESTRY DIVISION, SHALL INSPECT AND TAG TREES UPON DELIVERY TO THE JOB SITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THE TREES ARE THE PROPER SPECIES APPROVED BY AN AUTHORIZED REPRESENTATIVE OF URBAN FORESTRY DIVISION. THE STREET TREES SHALL MEET OR EXCEED THE CRITERIA OF GOOD QUALITY TREE STOCK SET FORTH BY THE URBAN TREE FOUNDATION'S [WWW.URBANTREE.ORG](http://WWW.URBANTREE.ORG) AND THE WESTERN CHAPTER OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE'S (WCISA) GUIDELINE SPECIFICATIONS FOR NURSERY TREE QUALITY. [WWW.ICISANET/DOWNLOADS/NURSERYTREESPECSPDF](http://WWW.ICISANET/DOWNLOADS/NURSERYTREESPECSPDF)
- CONTACT URBAN FORESTRY DIVISION (213) 485-6619 OR (213) 847-3077 AT LEAST FIVE WORKING DAYS BEFORE DELIVERY TO ARRANGE AN APPOINTMENT WITH THE INSPECTOR. INSPECTOR SHALL REVIEW THE PROPOSED TREE LOCATIONS PRIOR TO THE CONSTRUCTION OF THE SIDEWALK. URBAN FORESTRY DIVISION ACCEPTS NO RESPONSIBILITY FOR ANY PURCHASING AND/OR DELIVERY ARRANGEMENTS AND SHALL REJECT ANY TREES FAILING TO MEET THE SPECIFICATIONS SET FORTH IN THE URBAN TREE FOUNDATION'S AND WCISA'S GUIDELINES SPECIFICATIONS FOR NURSERY TREE QUALITY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PERMIT REQUIREMENTS OR FEES.
- EACH APPROVED STREET TREE REMOVAL SHALL BE REPLACED BY THE PERMIT APPLICANT ON A 2:1 BASIS WITH 24" BOX SIZE TREE STOCK AND BE WATERED FOR A MINIMUM THREE-YEAR PERIOD.

## GENERAL IRRIGATION NOTES

- THE IRRIGATION SYSTEM DESIGN IS BASED ON THE STATIC WATER PRESSURE, PER THE LOCAL WATER DISTRICT, OF TO PSI. THE CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION AND REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ABOVE AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.
- THIS DESIGN IS DIAGRAMMATIC FOR PURPOSES OF GRAPHIC CLARITY. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. INSTALL A MINIMUM LAYER OF 6" OF CLEAN FILL SAND BELOW PAVED AREAS.
- BEFORE ANY WORK COMMENCES, A CONFERENCE SHALL BE HELD WITH THE OWNER'S REPRESENTATIVE AND THE CONTRACTOR, REGARDING GENERAL REQUIREMENTS FOR THIS WORK.
- THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEASURES TO PROTECT UTILITIES AND ANY OTHER LINES OR STRUCTURES NOT SHOWN ON THESE PLANS AND HE IS RESPONSIBLE FOR THE PROTECTION OF ANY DAMAGE TO THESE LINES OR STRUCTURES.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONTRACTOR AGREES TO DEFEND AND INDEMNIFY AND HOLD OWNER AND DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCES OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.
- DO NOT INSTALL THE IRRIGATION SYSTEM AS SHOWN IN THE DRAWINGS WHEN IT IS OBVIOUS, IN THE FIELD, THAT OBSTRUCTIONS, GRADE DIFFERENCES, OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNERS OR AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER-SPRAY ON TO WALKS, ROADWAYS, AND / OR BUILDINGS AS MUCH AS POSSIBLE. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS AND TO THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING FLOW FOR EACH SYSTEM.
- ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN SHRUB OR GROUND COVER AREAS SHALL BE INSTALLED WHERE THE TOP OF THE SPRINKLER HEAD IS 1" ABOVE FINISHED GRADE.
- ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN LAWN AREAS SHALL BE INSTALLED WHERE THE TOP OF THE SPRINKLER HEAD IS FLUSH WITH ADJACENT SIDEWALK OR CURB.
- ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE OF THE AREA TO BE IRRIGATED UNLESS OTHERWISE DESIGNATED IN THE PLANS.
- 110 / 120 VOLT ELECTRICAL POWER AT THE AUTOMATIC CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE THE FINAL HOOKUP FROM THE ELECTRICAL OUTLET TO THE AUTOMATIC CONTROLLER.
- INSTALL ALL PIPE MATERIALS AND EQUIPMENT AS SHOWN IN DETAILS. USE TEFLON TAPE OR TEFLON PIPE DOWEL ON ALL MALE PIPE THREADS ON ALL SPRINKLERS, SWING JOINTS, AND VALVE ASSEMBLIES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, ETC. HE SHALL COORDINATE HIS WORK WITH THE CONTRACTORS FOR THE LOCATION AND THE INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, PAVING STRUCTURES, ETC.
- IN ADDITION TO THE CONTROL WIRE SLEEVES AND PIPE SLEEVES SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF CONTROL WIRE AND PIPE SLEEVES OF SUFFICIENT SIZE UNDER ALL PAVED AREAS.
- THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ALL THE LOCAL CODES AND ORDINANCES FOR NON-POTABLE WATER USAGE. HE SHALL TAG ALL PARTS OF THE IRRIGATION SYSTEM AS REQUIRED FOR NON-POTABLE WATER USAGE (IF REQUIRED).
- STOP ALL BACK-DRAINAGE OF HEADS WITH CHECK VALVES IN RISERS. ADJUST TO RECOMMENDED PRESSURE PER MANUFACTURE'S SPECIFICATIONS.
- ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO LOCAL AND STATE CODES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK.
- THE CONTRACTOR SHALL APPLY AND PAY FOR ALL PERMITS REQUIRED FOR THE WORK INDICATED ON THE PLAN.
- THE IRRIGATION SYSTEM SHALL BE UNCONDITIONALLY GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE.
- UPON COMPLETION OF WORK, ALL MATERIALS, EQUIPMENT, AND WASTE SHALL BE REMOVED FROM THE SITE TO THE OWNER'S SATISFACTION.
- THE IRRIGATION SYSTEM SHALL BE DEEMED INCOMPLETE UNTIL ALL HEADS, VALVES, AND RELATED IRRIGATION EQUIPMENT HAVE BEEN CHECKED AND ADJUSTED TO BEST CONFORM TO THE CONDITIONS THAT PREVAIL AT THE SITE.
- BACK FILL FOR TRENCHING SHALL BE COMPACTED TO DRY DENSITY EQUAL TO THE ADJACENT UNDISTURBED SOIL AND SHALL CONFORM TO THE ADJACENT GRADES WITHOUT DIPS, SUNKEN AREAS, HUMPS OR OTHER IRREGULARITIES.
- ALL PIPING SHALL CONFORM TO IRRIGATION LEGEND.
- PLASTIC FITTINGS SHALL BE OF SCHEDULE 40 POLYVINYL CHLORIDE PLASTIC PIPE.
- INITIAL BACK-FILL ON PLASTIC LINES SHALL BE FINE GRANULAR MATERIAL WITH NO FOREIGN MATTER LARGER THAN 1/2" DIAMETER.
- SUPPLY 05 PART OF THIS CONTRACT THE FOLLOWING TOOLS:
  - ONE WRENCH FOR DISASSEMBLY OF EACH TYPE OF SPRINKLER HEAD SUPPLIED.
  - TWO KEYS FOR THE CONTROLLER.

## GENERAL PLANTING NOTES

- THE WORK TO BE PERFORMED UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR, EQUIPMENT, MATERIALS, AND SERVICES NECESSARY TO COMPLETE THE FINISH GRADING, SOIL PREPARATION, PLANTING, AND MAINTENANCE SPECIFIED.
- THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL CODES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK.
- ALL SOIL USED DURING THE GRADING OPERATION SHALL BE LOOSE, FRIABLE SOIL OF THE SAME QUALITY AS EXISTING SOIL.
- ALL PLANTS SHALL BE HEALTHY, OF NORMAL GROWTH, WELL-ROOTED, FREE FROM DISEASE AND INSECT INFESTATION, AND NOT ROOT BOUND.
- PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL. THE PLANTS WILL BE REJECTED BY THE OWNER OR HIS REPRESENTATIVE IF DEEMED UNSATISFACTORY.
- FINISH GRADE IS FINAL GRADE, WITH SMOOTH, UNIFORM SURFACE, WEED FREE, READY FOR PLANTING. PLANTING AREA FINISH GRADE SHALL BE 1 1/2" BELOW ADJACENT PAVED SURFACES.
- NO PLANT SHALL BE PLANTED UNTIL IRRIGATION WORK IS COMPLETE, TESTED AND APPROVED OR UNTIL SOIL PREPARATION AND FINAL GRADE IS ESTABLISHED.
- EXCAVATE PLANTS WITH VERTICAL SIDES FOR ALL PLANTS TWICE THE DIAMETER AND 1/2 TIMES THE DEPTH OF ROOT BAILS. BACK-FILL WITH THE FOLLOWING MIX:
  - 6 PARTS ON SITE SOIL (BY VOLUME)
  - 4 PARTS NITROLIZED FIR SHAVINGS (BY VOLUME)
  - 2 POUNDS 10-10-10 COMMERCIAL FERTILIZER (PER CUBIC YARD MIX)
  - 10 POUNDS AGRICULTURE GYPSUM (PER CUBIC YARD MIX)
  - 2 POUNDS IRON SULFATE (PER CUBIC YARD OF MIX)
- RIP ALL PLANTING AREAS TO A DEPTH OF 6" AND TILL WITH THE FOLLOWING MATERIALS (PER 100 SQUARE FEET):
  - 4 CUBIC YARDS NITROLIZED FIR SHAVINGS
  - 30 POUNDS 20-20-20 COMMERCIAL FERTILIZER (10% SLOW RELEASE)
  - 100 POUNDS AGRICULTURAL GYPSUM
- AFTER SETTING PLANTS, BACK-FILL MATERIALS SHALL BE SOAKED TO SETTLE. THE TOP OF THE ROOT BALL SHALL BE 1" ABOVE FINISHED GRADE AFTER SETTLING OCCURS.
- THE OWNER OR HIS REPRESENTATIVE SHALL BE NOTIFIED 48 HOURS PRIOR TO THE FOLLOWING STAGES OF CONSTRUCTION INSPECTION:
  - AFTER TREE AND SHRUBS HAVE BEEN SPOTTED - PRIOR TO EXCAVATION OF PLANTING HOLES
  - UPON COMPLETION OF ALL PLANTING FOR APPROVAL TO BEGIN MAINTENANCE.
  - ONCE A WEEK PRIOR TO END OF MAINTENANCE.
- DO NOT WILLFULLY INSTALL ANY PLANT MATERIAL AS PER DESIGN WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN SITE CONDITIONS EXISTED THAT WAS NOT KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE OR OTHERWISE THE CONTRACTOR MUST ASSUME FULL RESPONSIBILITY FOR ANY AND ALL REVISIONS.
- AFTER ALL WORK HAS BEEN COMPLETED AND APPROVED BY THE OWNER, THE CONTRACTOR SHALL MAINTAIN THE PROJECT FOR A 90 DAY MAINTENANCE PERIOD BY WATERING, WEEDING, MULCHING, CULTIVATING, FERTILIZING AT 30, 60, AND 90 DAYS INTO THE MAINTENANCE PERIOD. USE 10-20-10 COMMERCIAL FERTILIZER PER MANUFACTURER'S RECOMMENDATIONS, AND ANY OTHER OPERATION NECESSARY FOR THE UPKEEP OF THE PROJECT.
- LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR THE FOLLOWING PERIODS OF TIME:
  - 1 YEAR FOR TREES
  - 6 MONTHS FOR SHRUBS
  - 30 DAYS FOR GROUNDCOVERS
- THE GUARANTEE SPECIFIED ABOVE DOES NOT HOLD FOR PLANT LOSS DUE TO POOR MAINTENANCE BY THE OWNER OR DUE TO VANDALISM BEFORE OR AFTER FINAL ACCEPTANCE.
- ALL TREES SPECIFIED ON PLAN SHALL BE GUYED PER PLAN DETAILS.

## TRANSIT FURNITURE REMOVAL

### TRANSIT FURNITURE REMOVAL / RELOCATION / RE-INSTALLATION

- CONTRACTOR SHALL ARRANGE AND PAY FOR THE REMOVAL, STORAGE, RELOCATION, REPLACEMENT, AND/OR RE-INSTALLATION OF ALL TRANSIT SHELTERS, PUBLIC AMENITY KIOSKS (PAK'S), NEWSSTAND VENDING KIOSKS (VK'S), AUTOMATED PUBLIC TOILETS (APT'S), AND/OR ADVERTISING BASED BUS BENCHES (AD BUS BENCHES) AND THEIR RELATED APPURTENANCES THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES ASSOCIATED WITH THESE PLANS WHETHER SHOWN AND INDICATED ON THE PLANS OR NOT. TRANSIT SHELTERS, PAK'S, VK'S, APT'S, AND AD BUS BENCHES ARE THE PROPERTY OF THE CITY OF LOS ANGELES AND MAY ONLY BE REMOVED, RELOCATED, STORED, REPLACED AND/OR RE-INSTALLED BY THE CITY'S AUTHORIZED VENDORS, OUTFRONT-JC DECAUX, LLC, (OUTFRONT-DECAUX) AND MARTIN OUTDOOR MEDIA, LLC (MOM).
- CONTRACTOR SHALL CONTACT GUILLERMO GONZALEZ OF OUTFRONT-JC DECAUX AT (213) 608-0872 A MINIMUM OF SIX (6) WEEKS PRIOR TO ANY REQUIRED REMOVAL OR RELOCATION OF A TRANSIT SHELTER, PAK, VK, OR APT, TO ARRANGE AND PAY FOR THE REQUIRED REMOVAL, RELOCATION, REPLACEMENT, OR RE-INSTALLATION. OUTFRONT-JC DECAUX WILL THEN PREPARE AN INVOICE FOR ITS COSTS TO PERFORM THE REQUESTED WORK AND PRESENT IT TO THE CONTRACTOR. UPON REMITTANCE FROM CONTRACTOR FOR ITS INVOICED COSTS, OUTFRONT-JC DECAUX WILL SCHEDULE ITS CREWS TO PERFORM THE REQUESTED WORK. NEITHER OUTFRONT-JC DECAUX OR THE CITY SHALL BE RESPONSIBLE FOR ANY DELAYS ASSOCIATED WITH CONTRACTOR'S FAILURE TO PROPERLY NOTIFY AND REMIT ITS PAYMENT TO OUTFRONT-JC DECAUX AS NOTED HEREON.
- CONTRACTOR SHALL CONTACT JUAN LOPEZ OR GLENN FLUTIE OF MOM AT (310) 554-1600 A MINIMUM OF FOUR (4) WEEKS PRIOR TO ANY REQUIRED REMOVAL OR RELOCATION OF ANY AD BUS BENCH TO ARRANGE FOR ITS REMOVAL OR RELOCATION. NEITHER MOM NOR THE CITY SHALL BE RESPONSIBLE FOR ANY DELAYS ASSOCIATED WITH THE CONTRACTOR'S FAILURE TO PROPERLY NOTIFY MOM AS NOTED HEREON.
- CONTRACTOR SHALL CONTACT GUILLERMO GONZALEZ OF OUTFRONT-DECAUX AT (213) 847-0872 A MINIMUM OF TWO (2) WEEKS PRIOR TO THE CONSTRUCTION OF ANY SIDEWALK AREA THAT IS INTENDED TO RECEIVE A NEW REPLACEMENT, OR RELOCATED TRANSIT SHELTER, PAK, VK, AND/OR APT TO COORDINATE THE PLACEMENT AND INSTALLATION OF ANY SUB-GRADE FOOTING AND/OR ELECTRICAL CONDUITS REQUIRED TO FACILITATE THE INSTALLATION OF SUCH CITY TRANSIT FURNITURE.







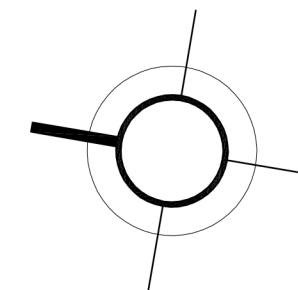




## PRELIMINARY LANDSCAPE PLAN - COURTYARD

SCALE: 1" = 10'-0"

0 5 10 20



## LANDSCAPE POINT SYSTEM

REQUIRED			
REFERENCE NO.	UNIT TYPE	POINTS	SQ. FEET
N/A	ENTIRE SITE	20	18,656.2 SF
TOTAL REQUIRED:		20	
PROVIDED			
A	7 TREE TAXON THAT DO NOT EXIST IN 1000 FT. RADIUS 5 PTS PER TREE UP TO 50% OF POINTS	10	N/A
B	4 - 24 INCH BOX STREET TREES 1 PT PER TREE	4	N/A
D	MAIN FINISH ELEV. OF STRUCTURE AT ELEV. THAT IS HANDICAP ACCESSIBLE.	5	N/A
E	ON / OFF SITE RECYCLING OF ALL VEGETATIVE WASTE	5	N/A
TOTAL PROVIDED:		24	

## WATER MANAGEMENT POINT SYSTEM

REQUIRED			
REFERENCE NO.	UNIT TYPE	POINTS	SQ. FEET
N/A	ENTIRE SITE	300	18,656.2 SF
TOTAL REQUIRED:		300	
PROVIDED			
N/A	AUTOMATIC CONTROLLERS PLANTS ONCE ESTABLISHED THAT WILL REMAIN IN GOOD HEALTH WITH SUMMER WATER 370' X 2 PTS.	5	N/A
C		740	N/A
TOTAL PROVIDED:		745	

## OPEN SPACE TABULATION

REQUIRED			
UNIT TYPE	QUANTITY	RATIO / DU	SQ. FEET
3 HABITABLE ROOMS	60	100	6,000 SF
3 HABITABLE ROOMS	4	125	500 SF
TOTAL REQUIRED			6,500 S.F.
OPEN SPACE DECREASE OF 20% PER DENSITY BONUS INCENTIVE			5,200 SF
PROVIDED			
UNIT TYPE	QUANTITY	RATIO / DU	SQ. FEET
BALCONIES	45	50 SF	2,250 SF
FITNESS ROOM	-	-	445 SF
COURTYARD	-	-	2,640 SF
TOTAL PROVIDED			5,885 S.F.
MIN. COMMON SPACE LANDSCAPE REQUIRED (25%) = 2,600*25%=			650 SF
LANDSCAPE PROVIDED IN COMMON OPEN SPACE			738 SF

## TREE NOTES:

1 TREE REQUIRED FOR EVERY (4) FOUR UNITS. 64 UNITS = 16 - 24 INCH BOX TREES REQUIRED. 16 - 24 INCH BOX TREE PROVIDED.

1 TREE PER 500 SQ. FT. OF FRONT YARD 1,500 SQ. FT. = 3 - 24 INCH BOX TREE REQUIRED. 3 - 24 INCH BOX TREE PROVIDED.



## PENALTY OF PERJURY STATEMENT

I hereby certify that to the best of my knowledge the attached radius map correctly depicts the required data obtained from the records of the City Engineer, City Clerk, and/or the Los Angeles Department of City Planning and where appropriate, the State Division Highways.

I further hereby certify that to the best of my knowledge, and under the penalty of perjury, the attached ownership list correctly shows the latest names and addresses on the City Engineer's land records as of the following date of preparation: **09 - 06 - 2019**. In certain circumstances, such as in annexation proceedings, where there may be not City Engineer records, the records of the County Assessor's Office may be accepted by the City Planning Commission.

The attached Ownership List is an: ☒ Original Mailing List or ☐ Updated Mailing List

**YVETTE CUELLAR**

(Print of type)

  
(Signature)

I hereby certify that to the best of my knowledge and under penalty of perjury, the attached occupants list correctly indicates address of the required occupants that fall within the radius of the following date of preparation : \_\_\_\_\_.

The attached Occupant List is an: ☐ Original Mailing List or ☐ Updated Mailing List

(Print of type)

(Signature)

In certain instances I may have been unable to verify all occupants, therefore the following indicates which occupants I was not able to identify. I understand that the Department of City Planning will determine if reasonable attempts were made to secure these addresses from the information provided below.

Ownership #	Reason unable to verify	Attempts made to verify	Additional Information

\* (1) Secured Building

(2) Gated Yard

(3) Refused Access

(4) Other: Specify

\*\* (1) Returned to building on three separate occasions

(2) Efforts to contact owner or manager without success

(3) Contact made with owner or manager, who refused to Provide the information

(4) Other: Specify

**REMINDER TO APPLICANT AND PROJECT TEAM:** The Department of City Planning will not utilize application maps and ownership list which bear a date of more than **365 days** old by the date of public notification. Furthermore, the applicant may be required to update the radius map and/or ownership list before the Department will schedule the public hearing for any discretionary application.



CALE 1" 80'

REVISED

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00000004-85  
670928  
670307  
670306  
670301  
J.A.W.C

802

TRACT NO 8900  
M.B. 116-49-50

TRACT NO. 10900  
M.B. 189-6-7

TRACT NO. 10750  
M.B. 183-17-22

THAT PORTION OF THE RANCHO  
CIENEGA O' PASO DE LA TIJERA  
OWNED BY A. J. HUTCHINSON AND

E. J. BALDWIN  
R.F. 532

CODE  
8841  
1552

FOR PREV. ASSM'T. SEE: 3/3-13 & 22

ASSESSOR'S MAP  
COUNTY OF LOS ANGELES, CALIF.

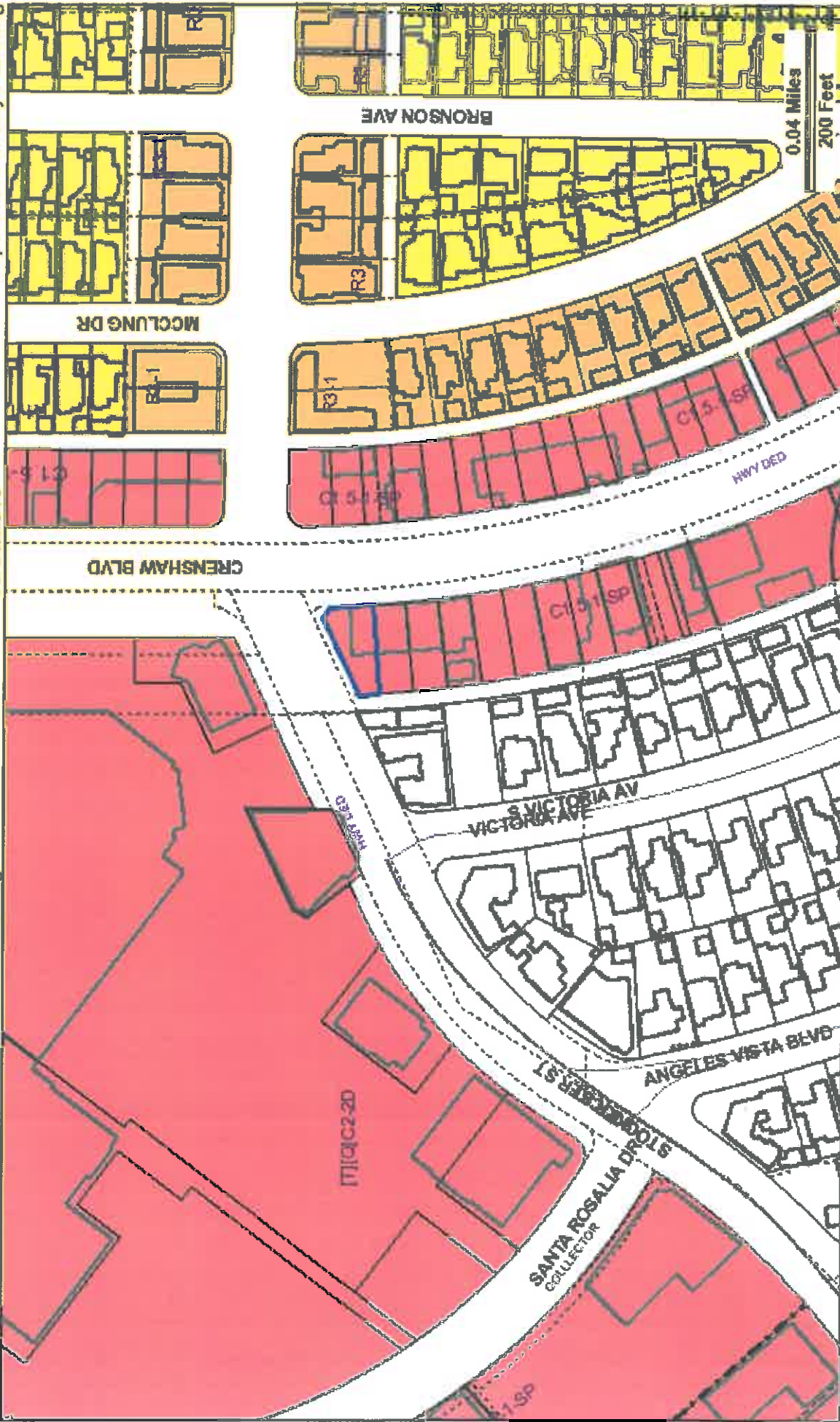


ZIMAS PUBLIC

Generalized Zoning

09/06/2019

City of Los Angeles  
Department of City Planning



Address: 3600 W STOCKER ST

APN: 5024008025

PIN #: 114B185 574

Tract: TR 10900

Block: BLK A

Lot: FR 9

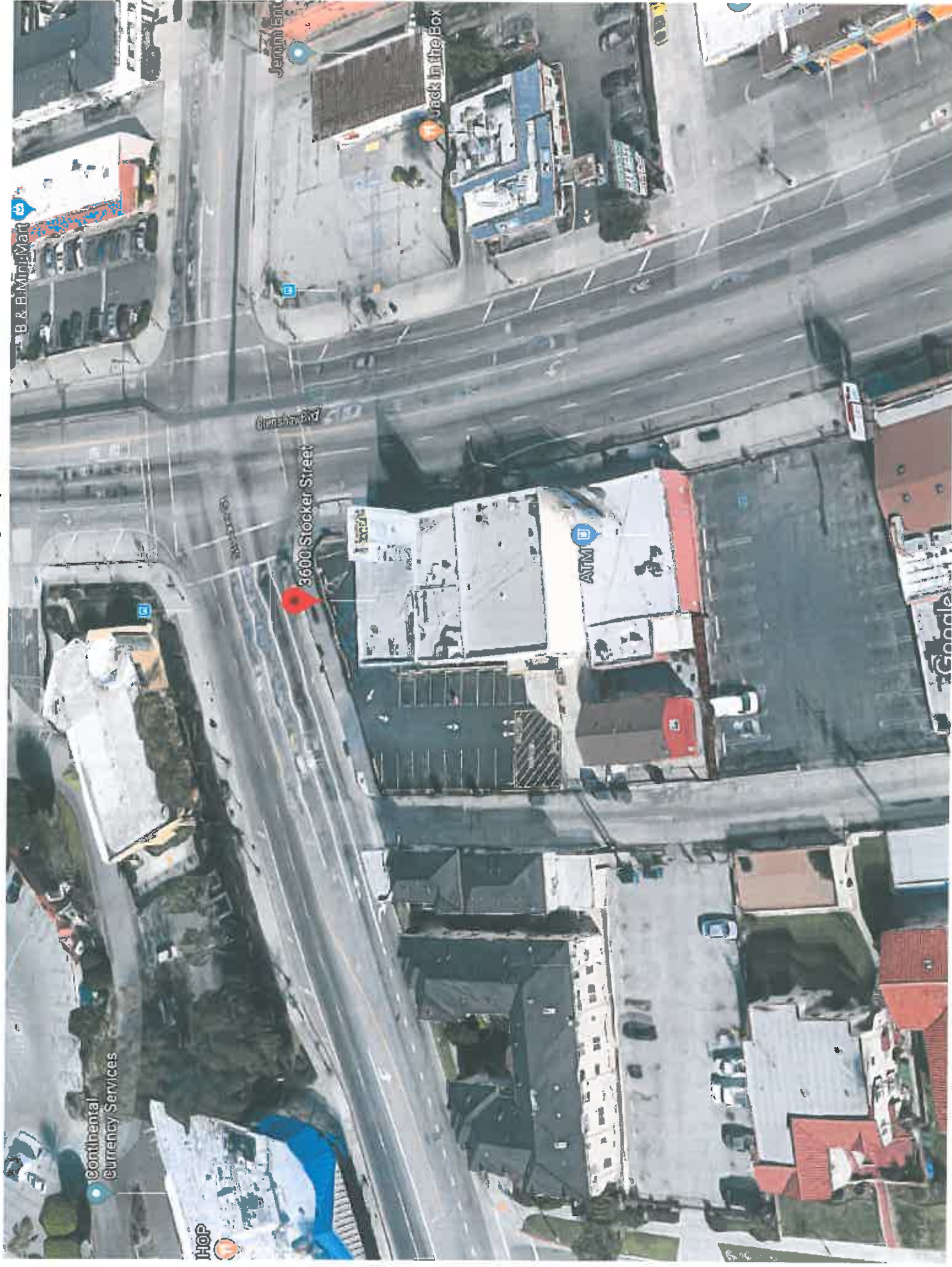
Arb: None

Zoning: C1.5-1-SP

General Plan: Neighborhood Commercial







A.P.N.: 5024-008-08,009,025





9.  
BALDWIN HILLS / CRENSHAW  
SHOPPING PLAZA

CRENSHAW  
BLVD  
137

CELLULAR  
CLEANERS  
REST'N  
BEAUTY  
SUPPLY  
SALON 5.  
MARKET

ALLEY

MC CLUNG DR DR

PARKING

VAC BLDG

REST'N

STOCKER  
ST

STOCKER  
ST

CITY COUNTY

VICTORIA  
AVE

PARKING

PARKING

VAC BLDG

VAC BLDG

PARKING

VAC BLDG

VAC SHOP

OFF UP

MARKET

PARKING

VAC BLDG

VAC  
BLDG

REST'N

CAR WASH

VAC BLDG

AUTO  
BODY

MC CLUNG  
DR

DR

## PHOTO BROCHURE



### RADIUS MAPS ETC

3544 PORTOLA AVENUE  
LOS ANGELES CA 90032  
OFF/FAX: (323) 221-4555

[radiusmapsetc@sbcglobal.net](mailto:radiusmapsetc@sbcglobal.net)

### SITE LOCATION:

3600-3610 W. STOCKER STREET  
4201-4215 1/2 S. CRENSHAW BLVD.  
LOS ANGELES CA 90008

### CASE NO.:

DATE: 09 - 06 - 2019  
SCALE: 1" = 100'  
D.M.: 114 B 185  
T.B. PAGE: 673 GRID: E-3  
A.P.N.: 5024-008-08,009,025







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15.





Eric Garcetti, Mayor  
Rushmore D. Cervantes, General Manager

**DATE:** August 1, 2019

**TO:** Echo Heights, LLC, a California limited liability company, Owner

**FROM:** Marites Cunanan, Senior Management Analyst I *McCunanan*  
Los Angeles Housing and Community Investment Department

**SUBJECT:** **AB 2556 (DB) Determination for**  
**3600-3610 West Stocker Street, Los Angeles, CA 90008**  
**4201-4215 ½ South Crenshaw Boulevard, Los Angeles, CA 90008**

Based on the Application for an Affordable Unit Determination (Application) submitted by Echo Heights, LLC, a California limited liability company (Owner), the Los Angeles Housing and Community Investment Department (HCIDLA) has determined that no units are subject to replacement under AB 2556 (formerly AB 2222).

Information about the existing property for the five (5) years prior to the date of the Application is required in order to make a determination. HCIDLA received the Application on April 8, 2019, so HCIDLA must collect data from April 2014 to April 2019.

The Owner acquired the property located at 4213-4215 ½ S. Crenshaw Blvd., under APN 5024-008-008, Lot 6 on December 26, 2018 per Grant Deed.

The Owner acquired the property located at 3600-3610 W. Stocker St. and 4201-4211 ½ S. Crenshaw Blvd., under APNs 5024-008-009 and 5024-008-025, Lots 7 and FR 9 on May 15, 2018 per Grant Deed.

Department of City Planning (ZIMAS), County Assessor Parcel Information (LUPAMS), DataTree database, Billing Information Management System (BIMS) database, and the Code, Compliance, and Rent Information System (CRIS) database, indicates a use code of "1210 – Commercial – Store and Residential Combination" for 4213-4215 ½ S. Crenshaw Blvd. Google Earth images and Internet Search confirms that the property is being used for commercial purposes. The Rent Stabilization Ordinance (RSO) Unit confirms that the property is mixed use where the commercial is detached from the single family dwelling and is not subject to the RSO.

Department of City Planning (ZIMAS), County Assessor Parcel Information (LUPAMS), DataTree database, Billing Information Management System (BIMS) database, and the Code, Compliance, and Rent Information System (CRIS) database, indicates a use code of "1100 – Commercial – Store – One Story" for 3600-3610 W. Stocker St. and 4201-4211 ½ S. Crenshaw Blvd. Google Earth images, Internet Search and the Rent Stabilization Ordinance (RSO) Unit confirms that the property is being used for commercial purposes.

The Los Angeles Department of Building and Safety database indicates that the Owner has not applied for a new Building Permit but has applied for a Demolition Permit (18019-30000-05039).

Per the Application received by HCIDLA on April 8, 2019, the Owner plans to construct a sixty-nine (69) unit apartment building pursuant to Density Bonus (DB) guidelines.

HCIDLA has determined that commercial buildings and a single family dwelling presently sits on the property and there were no residential units built or demolished on the property within the last five (5) years. AB 2556 does not apply to commercial buildings and detached single family dwellings, so no AB 2556 replacement affordable units



are required. Please note that this AB 2556 determination will also apply if the proposed project is changed to TOC.

**\*\*WARNING\*\***

**LOT TIES AND EXISTING PRE-1978 SINGLE FAMILY DWELLING ON ONE LOT**

<b>ISSUE:</b>	Is a <b>LOT TIE</b> required for the <b>NEW</b> project?
<b>IF NO:</b>	Owner's existing Rent Stabilization (RSO) replacement obligation, if any, remains the <b>SAME</b> as above.
<b>IF YES:</b>	Owner's existing RSO replacement obligation, if any, will <b>INCREASE</b> by one and the new project will also be subject to the RSO, unless the existing single family dwelling is demolished before the lots are tied.

**NOTE: This determination is provisional and is subject to verification by HCIDLA's Rent Division.**

If you have any questions regarding this determination, please contact Jacob Comer at [Jacob.comer@lacity.org](mailto:Jacob.comer@lacity.org).

cc: Los Angeles Housing and Community Investment Department File  
Echo Heights, LLC, a California limited liability company, Owner  
Ulises Gonzalez, Case Management Section, City Planning Department

MAC:jc

OFFICE OF THE CITY CLERK  
200 NORTH SPRING STREET, ROOM 395  
LOS ANGELES, CALIFORNIA 90012

## CALIFORNIA ENVIRONMENTAL QUALITY ACT

## NOTICE OF EXEMPTION

(PRC Section 21152; CEQA Guidelines Section 15062)

Filing of this form is optional. If filed, the form shall be filed with the County Clerk, 12400 E. Imperial Highway, Norwalk, CA 90650, pursuant to Public Resources Code Section 21152(b) and CEQA Guidelines Section 15062. Pursuant to Public Resources Code Section 21167 (d), the posting of this notice starts a 35-day statute of limitations on court challenges to reliance on an exemption for the project. Failure to file this notice as provided above, results in the statute of limitations being extended to 180 days.

PARENT CASE NUMBER(S) / REQUESTED ENTITLEMENTS

CPC-2019-5778-DRB-DRB-SPP

LEAD CITY AGENCY

City of Los Angeles (Department of City Planning)

CASE NUMBER

ENV-2019-5779-CE

PROJECT TITLE 3600 Stocker

COUNCIL DISTRICT

8

PROJECT LOCATION (Street Address and Cross Streets and/or Attached Map)

☐ Map attached.

3600 – 3610 West Stocker Street; 4201 – 4215 ½ South Crenshaw Boulevard

PROJECT DESCRIPTION:

☐ Additional page(s) attached.

An Off Menu Density Bonus and a Specific Plan Project Permit Compliance to allow for the demolition of two (2) existing one-story buildings and construction of a new 6-story, 70-foot mixed use building with 51,444 square feet of floor area including 64 dwelling units (32 studios, 28 one-bedrooms & 4 two-bedrooms) with 6 units set aside for Very Low Income households, 5,000 square feet of commercial space, 45 parking spaces and 60 bicycle parking spaces in the C1.5-1-SP zone within Subarea D of the Crenshaw Corridor Specific Plan.

NAME OF APPLICANT / OWNER:

Abraham Shofet, Echo Heights, LLC

CONTACT PERSON (If different from Applicant/Owner above)

Gary Benjamin

(AREA CODE) TELEPHONE NUMBER

EXT.

213-479-7521

EXEMPT STATUS: (Check all boxes, and include all exemptions, that apply and provide relevant citations.)

## STATE CEQA STATUTE &amp; GUIDELINES

☐ STATUTORY EXEMPTION(S)

Public Resources Code Section(s) \_\_\_\_\_

☒ CATEGORICAL EXEMPTION(S) (State CEQA Guidelines Sec. 15301-15333 / Class 1-Class 33)CEQA Guideline Section(s) / Class(es) Section 15332, Class 32☐ OTHER BASIS FOR EXEMPTION (E.g., CEQA Guidelines Section 15061(b)(3) or (b)(4) or Section 15378(b) )

JUSTIFICATION FOR PROJECT EXEMPTION:

☐ Additional page(s) attached

DETERMINED based on the whole of the administrative record, Case No. ENV-2020-2206-CE, the Project is exempt from CEQA pursuant to CEQA Guidelines, Article 19, Section 15332 (Infill Development Projects).

☒ None of the exceptions in CEQA Guidelines Section 15300.2 to the categorical exemption(s) apply to the Project.☐ The project is identified in one or more of the list of activities in the City of Los Angeles CEQA Guidelines as cited in the justification.

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT ISSUED BY THE CITY PLANNING DEPARTMENT STATING THAT THE DEPARTMENT HAS FOUND THE PROJECT TO BE EXEMPT.

If different from the applicant, the identity of the person undertaking the project.

## CITY STAFF USE ONLY:

CITY STAFF NAME AND SIGNATURE

Kyle Winston

STAFF TITLE

Planning Assistant

ENTITLEMENTS APPROVED

Density Bonus, Design Review Board, Project Permit Compliance

FEE:

RECEIPT NO.

REC'D. BY (DCP DSC STAFF NAME)

DISTRIBUTION: County Clerk, City Clerk, Agency Record

Rev. 3-21-2019



October 13, 2020

Department of City Planning  
200 N. Spring St., Room 721  
Los Angeles, CA 90012  
Attn: Kyle Winston

Councilmember Marqueece Harris-Dawson  
City Hall  
200 N. Spring St., Room 460  
Los Angeles, CA 90012

**Re: 3600 Stocker Street CPC-2019-5778**

Empowerment Congress West Area NDC (ECWA) would like to thank the team of 3600 Stocker Street for meeting with the community twice to better integrate their project into our neighborhood. The team has been communicative and transparent with residents about what was being proposed. Stakeholders have had the opportunity to influence the design via the Crenshaw Design Review Board (DRB) where the aesthetics of the project were improved considerably. The improvements include the increase in glass, improved mural location, improved balconies, and improved ingress. ECWA supports the residential mixed-use development of this currently nonresidential parcel. By working with the developer, we have been able to facilitate our community's share of housing production during a time of affordable housing shortage in California. The proposed project will include 6 units reserved for very low-income households. However, we would like to request the developer provide 10 units of income restricted affordable housing. Also, we have concerns about pedestrian safety and congestion and would like to ask planning & the developer to implement road improvements that prevent cars traveling eastbound on Stocker Street from making a left into the alley and cars traveling northbound on Crenshaw Boulevard from making a left into the parking garage. Finally, residents are also concerned about the poor quality of the adjacent alley which will facilitate all automobile egress as well as deliveries, thus we would like to ask the developer and the council office to coordinate pavement and pothole repair.

Sincerely,

Empowerment Congress West Area NDC

3701 Stocker St., Suite 208, Los Angeles, CA 90008