



DEPARTMENT OF CITY PLANNING

RECOMMENDATION REPORT

City Planning Commission

Date: December 12, 2019
Time: After 8:30 A.M.*
Place: Los Angeles City Council Chambers
200 North Spring Street, Room 340
Los Angeles, CA 90012

Public Hearing: November 6, 2019

Appeal Status: General Plan Amendment is not appealable. Zone and Height District Changes are appealable only by the applicant to City Council if disapproved in whole or in part. Site Plan Review is appealable to the City Council by any party.

Expiration Date: December 13, 2019

Multiple Approval: Yes

Case No.: CPC-2017-589-GPAJ-ZCJ-HD-SPR

CEQA No.: ENV-2017-615-SCEA and Addendum

Incidental Cases: VTT-74864

Related Cases: N/A

Council No.: 14 - Huizar

Plan Area: Central City

Specific Plan: None

Certified NC: Downtown Los Angeles

Existing GPLU: Light Manufacturing

Proposed GPLU: Regional Commercial

Existing Zone: M2-2D

Proposed Zone: C2-4D

Applicant: Weingart Center Association

Representative: Jim Ries,
Craig Lawson & Co, LLC

PROJECT LOCATION: 600 South San Pedro Street (600-628 S. San Pedro Street, 611-615 S. Crocker Street, and 518-522 E. 6th Street)

PROPOSED PROJECT: The Project involves the demolition and removal of an existing surface parking lot and the potential removal of four (4) street trees for the construction, use, and maintenance of 302 residential dwelling units (298 Restricted Affordable units and four (4) manager units) and up to 10,230 square feet of commercial floor area. The Project would include 39 trees and 30,080 square feet of open space. A total of 15,945 square feet of the Project's residential floor area will provide residential supportive services such as counseling, career center, computer training room, library, group space, and fitness area for project tenants. The Project would include up to 212 vehicular parking spaces and 198 bicycle parking spaces.

The Project consists of two (2) buildings including an 18-story mixed-use building with a maximum height of approximately 211 feet, 4 inches at the southeast corner of San Pedro Street and 6th Street and a 4-story retail and parking building with a maximum height of approximately 62 feet fronting San Pedro Street. The mixed-use building will contain 302 residential dwelling units, which will consist of 298 Restricted Affordable and four (4) manager units, supportive services and common areas for residents, and up to one (1) level and up to 7,030 square feet of office uses and 198 bicycle parking spaces within the subterranean level of the mixed-use building and the at-grade courtyard. The retail and parking building will contain 3,200 square feet of ground floor retail space and four (4) levels of above-grade parking with a roof deck.

REQUESTED ACTION: 1. Based on the independent judgement of the decision-maker, after consideration of the whole of the administrative record, that the project was assessed in the previously adopted Sustainable Communities Environmental Assessment (SCEA), Case No. ENV-2017-615-SCEA, dated September 2018, and Errata, dated October 22, 2018, adopted by the City Council on October 26, 2018 (CF 18-0889) pursuant to Public Resources Code Section 21155, and pursuant to CEQA Guidelines Sections 15162 and 15164 and

- as supported by the Addendum dated November 2019, no major revisions are required to the SCEA and no subsequent SCEA, environmental impact report, or negative declaration is required for approval of the Project;
2. Pursuant to Charter Section 555 and Los Angeles Municipal Code (LAMC) Section 11.5.6, a General Plan Amendment to the Central City Community Plan to re-designate the land use of the Project Site from Light Manufacturing to Regional Commercial;
 3. Pursuant to LAMC Section 12.32 F, a Zone Change and Height District Change from M2-2D to C2-4D and pursuant to LAMC Section 11.5.11(e) and California Government Code 65915(k), three Developer Incentives to permit:
 - a. a one (1) percent reduction in the overall required open space and for 59 percent of the common open space to be interior common open space or covered open space in lieu of the requirements of LAMC Section 12.21 G;
 - b. 39 trees, a 49 percent reduction, in lieu of the 76 trees required pursuant to LAMC Section 12.21 G;
 - c. No parking space shall be required for dwelling units set aside as Restricted Affordable as determined by the City of Los Angeles Housing and Community Investment Department in lieu of the parking required pursuant to LAMC Section 12.21 A.4; and
 4. Pursuant to LAMC Section 16.05, a Site Plan Review for a project which creates or results in an increase of 50 or more dwelling units.

RECOMMENDED ACTIONS:

1. **FIND**, based on the independent judgement of the decision-maker, after consideration of the whole of the administrative record, the project was assessed in the Sustainable Communities Environmental Assessment (SCEA), Case No. ENV-2017-615-SCEA, dated September 2018, and the Errata, dated October 22 2018, adopted by the City Council on October 26, 2018 (CF 18-0889); and pursuant to CEQA Guidelines 15162 and 15164, as supported by the Addendum dated November 2019, no major revisions are required to the SCEA; and no subsequent SCEA, environmental impact report, or negative declaration is required for approval of the Project;
2. **Approve and Recommend a General Plan Amendment** to the Central City Community Plan to re-designate the land use of the Project Site from Light Manufacturing to Regional Commercial;
3. **Approve and Recommend** that the City Council adopt a **Zone Change** and **Height District Change** on the Project Site from M2-2D to [T][Q]C2-4D, consistent with the recommended General Plan Amendment, and **Approve three Developer's Incentives** to permit:
 - a. a one (1) percent reduction in the overall required open space and for 59 percent of the common open space to be interior common open space or covered open space in lieu of the requirements of LAMC Section 12.21 G;
 - b. 39 trees, a 49 percent reduction, in lieu of the 76 trees required pursuant to LAMC Section 12.21 G;
 - c. No parking space shall be required for dwelling units set aside as Restricted Affordable as determined by the City of Los Angeles Housing and Community Investment Department in lieu of the parking required pursuant to LAMC Section 12.21 A.4; and
4. **Approve the Site Plan Review** for a project with 302 residential dwelling units and 10,230 square feet of commercial floor area;
5. **Adopt** the attached Conditions of Approval;
6. **Adopt** the attached Findings; and

7. **Advise** the applicant that, pursuant to California State Public Resources Code Section 21081.6, the City shall monitor or require evidence that mitigation conditions are implemented and maintained throughout the life of the project and the City may require any necessary fees to cover the cost of such monitoring.

VINCENT P. BERTONI, AICP
Director of Planning



Jane J. Choi
Senior City Planner



May Srinopwongsagon
City Planner

ADVICE TO PUBLIC: *The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the *Commission Secretariat, Room 272, City Hall, 200 North Spring Street, Los Angeles, CA 90012* (Phone No. 213-978-1300). While all written communications are given to the Commission for consideration, the initial packets are sent to the week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendaized herein, or in written correspondence on these matters delivered to this agency at or prior to the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to these programs, services and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request not later than three working days (72 hours) prior to the meeting by calling the Commission Secretariat at (213) 978-1295.

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PROJECT ANALYSIS

Project Summary

The Project, also referred to as Site 2 Project, involves the demolition and removal of an existing surface parking lot and the potential removal of four (4) street trees for the construction, use, and maintenance of 302 residential dwelling units and up to 10,230 square feet of commercial floor area. The residential dwelling units will consist of 298 Restricted Affordable units and four (4) manager units. Five (5) percent of the total dwelling units, or 16 units, will be designated for Extremely Low Income Households and 11 percent of the total dwelling units, or 34 units, for Very Low Income Households. The remaining 248 of 298 Restricted Affordable units will be set aside for Low Income Households.

The Project consists of two (2) buildings including an 18-story mixed-use building with a maximum height of approximately 211 feet, 4 inches located at the southeast corner of San Pedro Street and 6th Street and a 4-story retail and parking building with a maximum height of approximately 62 feet fronting San Pedro Street. The mixed-use building will contain the 302 residential dwelling units, supportive services and common areas for residents, 7,030 square feet of office uses, and bicycle parking spaces within the subterranean level of the building. The retail and parking building will contain 3,200 square feet of ground floor retail space and four (4) levels of above-grade parking containing 212 vehicular parking spaces with a roof deck.

On November 8, 2019, the Advisory Agency approved Vesting Tentative Tract Map No. 74864 for the merger and resubdivision into one master ground lot and fifteen commercial condominiums for the construction of 302 residential dwelling units, intended for rental, and 10,230 square feet of commercial floor area. No appeals were filed and the decision became effective on November 19, 2019.

General Plan Amendment, Zone Change, and Height District Change

The Project application was submitted to the Department of City Planning on February 13, 2017 and includes a request for a General Plan Amendment, Zone Change, and Height District Change which would result in allowing a residential use where not previously allowed. As clarified in the Department of City Planning Memo Dated December 13, 2016, the project is subject to Measure JJJ because the application was submitted after December 13, 2016.

The Project application includes a request to amend the land use designation of the Project Site from Light Manufacturing to Regional Commercial. The amendment was initiated by the Director of City Planning on January 30, 2017. The initiation of the General Plan Amendment took into consideration the draft goals and plans for the area as part of the DTLA 2040 Community Plan Update process. In conjunction with the requested amendment, the application includes a request for a Zone and Height District Change from M2-2D to C2-4D. Additionally, the Applicant has requested three Developer Incentives, pursuant to Los Angeles Municipal Code (LAMC) Section 11.5.11(e) and California Government Code 65915(k), which is further discussed under Developer Incentives.

Labor and Affordability

As a project that is subject to the requirements of Measure JJJ, the Project would be required to comply with LAMC Section 11.5.11(i), as it relates to the local hiring of construction workers for building and construction work.

Projects which propose ten or more residential dwelling units are required to comply with one of the on-site affordability provisions, or one of the alternative options pursuant to LAMC Section

11.5.11. LAMC Section 11.5.11(a)(1) is the first on-site affordable provision, which is for Rental Projects. The provision provides different set aside requirements based on the existing permitted uses on the site and the number of dwelling units proposed. The Project would comply with LAMC Section 11.5.11(a)(1)(iii) due to the existing land use designation and zoning, which would require a minimum of five (5) percent of the total units to be set aside for Extremely Low Income households and either 11 percent of the total units to be set aside for Very Low Income households or 20 percent of the total units to be set aside for Lower Income households, inclusive of any Replacement Units.

The Project is a 100 percent affordable housing project which intends to set aside 298 dwelling units for as Restricted Affordable units. In compliance with LAMC Section 11.5.11(a)(1)(iii), the applicant proposes to set aside five (5) percent of the total dwelling units, or 16 units, for Extremely Low Income Households and 11 percent of the total dwelling units, or 34 units, for Very Low Income Households. The affordability levels for these units would be determined by the Department of Housing and Community Development (HCD) Rent Income Schedule, which is anticipated to have a Qualifying Maximum Income Level of 30 and 50 percent, respectively, of the Area Median Income (AMI).

With the exception of the four (4) manager units, the remaining 248 units will be set aside for Low Income Households. The affordability levels for these units may be determined by the Department of Housing and Urban Development (HUD) Rent Income Schedule, which is anticipated to have a Qualifying Maximum Income Level of 80 percent of the AMI.

Background

The subject Project is for Site 2 of the two projects proposed by the applicant, the Weingart Center Association. In February 2017, the applicant filed an application for two (2) proposed projects located on the eastern side of San Pedro Street. The applicant intended to develop the two (2) sites with a total of 685 residential dwelling units, 5,450 square feet of commercial floor area, 17,100 square feet of office space, and 244 vehicular parking spaces.

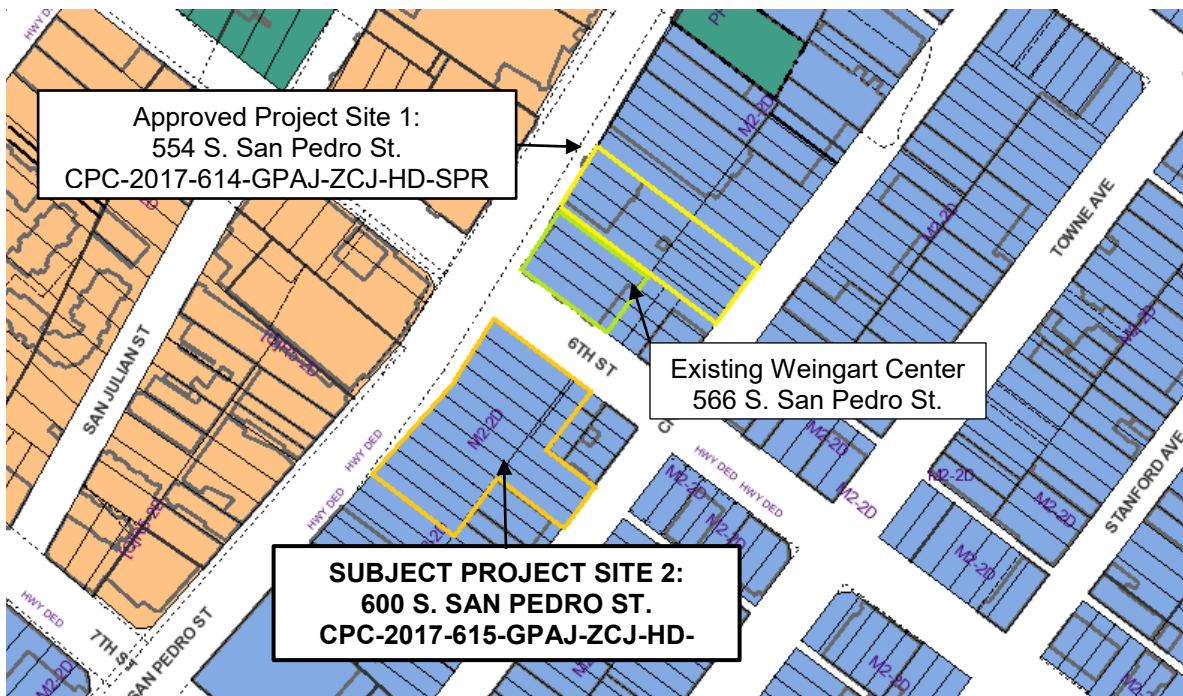


Figure 1: Project Sites

The subject Project Site, Site 2, is located at 600 South San Pedro Street, while Site 1, 554 South San Pedro Street, is located one block north. The two sites are located approximately 180 feet away from each other, separated by 6th Street and an existing 10-story building, which the applicant currently owns and operates as the Weingart Center.

Due to the close proximity of the two project sites, the potential environmental impacts of both projects were analyzed under one environmental document. The Sustainable Communities Environmental Assessment (SCEA) analyzed the potential impacts of the Site 1 and Site 2 Projects as they were originally submitted to the City in 2017.

The Site 1 Project was considered by the City Planning Commission (CPC) at its meeting on November 29, 2018. At its meeting, the CPC recommended that the City Council adopt the requested General Plan Amendment, Zone Change, and Height District Change and approved the Site Plan Review for Case No. CPC-2017-614-GPAJ-ZCJ-HD and denied the appeal of Case No. VTT-74852. The General Plan Amendment, Zone Change, and Height District Change were subsequently adopted by the City Council on January 22, 2019.

Project Site

The subject Project Site is comprised of multiple parcels, consisting of 48,816 gross square feet of lot area, is located generally at 600 South San Pedro Street. The site is bounded by San Pedro Street to the west, 6th Street to the north, and Crocker Street to the east within the Central City Community Plan area. The site is located within the Greater Downtown Housing Incentive Area, a designated Transit Priority Area, Adaptive Reuse Incentive Area, and within the Community Redevelopment Agency's (CRA/LA) Central Industrial Redevelopment Project Area. The site is located within proximity to three freeways: Pasadena/Harbor Freeway (I-110/SR 110), located 1.0 miles to the west; the Hollywood Freeway (US - 101), located less than 1.0 mile to the north; and the Santa Monica Freeway (I-10) located approximately 1.5 miles to the south.

The Project Site is developed with a surface parking lot that has 136 parking spaces. From the 1980s until 1992, the site was granted a series of variances to permit the temporary use of the site for a 138-bed dormitory facility to provide housing for transient individuals. Since then the site has been utilized to provide parking for the existing operations of the Weingart Center located at 566 South San Pedro Street.

Site 2 Project

The Project proposed for Site 2 was subsequently modified by the applicant after it was analyzed in the SCEA and the SCEA was adopted by the City Council. The subject Project is now proposed for a maximum of 302 residential dwelling units, comprised of 298 Restricted Affordable units and four (4) manager units, 3,200 square feet of general commercial floor area, and 7,120 square feet of commercial floor area. Table 1, below, summarizes the changes to the Site 2 Project, as it was analyzed in the adopted SCEA and as presented for consideration today.

The 18-story building with one (1) subterranean level, referred to as Building 1, is located at the northwest corner of the subject site and will consist of 302 residential dwelling units and 7,030 square feet of commercial office space. The building will have a height of 211 feet, 4 inches. The ground floor will include commercial/office space, an office lobby, and a residential lobby, while the second floor will consist of rooms which would also be utilized to provide various supportive services to the Project's future tenants, as well as office space for Weingart staff. The third floor will consist of indoor amenity spaces and nine (9) dwelling units. The remaining dwelling units will be located on Levels 4 through 18 of the building.

The second building, referred to as Building 2 is comprised of a 3,200 square feet of ground floor commercial space and four (4) levels of above-grade parking with a roof deck. The rooftop will also include a covered outdoor amenity space, which would feature a community garden. The building is located along the western property line of the site with frontage along San Pedro Street. The parking spaces would be accessible from a driveway apron located along San Pedro Street.

TABLE 1: PROJECT COMPARISON			
	Original Site 2 Project	Present Site 2 Project	Change
Residential			
Restricted Affordable DUs	298 DUs	298 DUs	No Change
Manager Units	5 DUs	4 DUs	-1 DU
Total DUs	303 DUs	302 DUs	-1 DU
Commercial			
General Commercial	3,200 SF	3,200 SF	No Change
Office	17,100 SF	7,030 SF	-10,070 SF
Total SF	20,300 SF	10,230 SF	-10,070 SF
Parking	212 Spaces	212 Spaces	No Change
<i>DUs = Dwelling Units</i> <i>SF = Square Footage</i>			

Residential Supportive Services

The applicant, Weingart Center Association, is a non-profit social service provider and proposes to provide supportive services as part of the Project. The social services are intended to be an ancillary service to the overall operations of the Project, providing supportive services to the future residents of the Project. Supportive services would include providing counseling services, a career center, computer training room, library, group space, and fitness area.

During the joint public hearing, the applicant clarified that while management and service providers between the existing Weingart Center, the approved Site 1 Project, and the subject Project would be shared, the services at Site 2 would be intended to serve only the residents on-site. The area dedicated to providing these services will be located on Level 2 and 3 of Building 1 and would not require the queuing for services outside or within the public right-of-way.

Open Space

The Project would include 30,080 square feet of open space, which is proposed to be provided as both outdoor and indoor common open space. The Project has been designed with a ground floor outdoor courtyard which would separate the two (2) buildings along San Pedro Street and provide connectivity to Crocker Street.

The Project proposes to provide 12,365 square feet of outdoor, open-to-the-sky open space, 17,715 square feet of either indoor open space or covered open space, and 39 trees. Portions of the outdoor open space will be provided as covered decks on Levels 6, 14, and 18, which will have a height clearance of 15 feet to 18 feet 6 inches, in Building 1. Building 2 will include a covered deck and community garden on the rooftop of the building. The proposed open space is a reduction from the open space required pursuant to LAMC Section 12.21 G. However, it is generally consistent with the by-right open space incentives for qualifying affordable housing projects located within the Greater Downtown Housing Incentive Area pursuant to LAMC Section 12.22 A.29. The applicant has requested a Developer's Incentive regarding an overall reduction of one (1) percent for the required open space, to permit up to 59 percent of the common open space to be covered or interior open space, and to permit a 49 percent reduction

in the required number of trees, which is further discussed under “Considerations – Developer’s Incentive – Open Space and Parking”.

Parking

Presently, the applicant operates the Weingart Center located at 566 South San Pedro Street. The surface parking lot on the subject site and the Site 1, which has a combined total of 158 parking spaces is utilized to serve the operations of the existing Weingart Center. The approved Site 1 Project would remove the existing 22 parking spaces in the surface parking lot and would provide 32 parking spaces as part of the approved project. As part of the Proposed Project for the subject site, the applicant would remove the existing 136 parking spaces to construct Building 2, which would consist of ground floor commercial space and four (4) levels of above-grade parking with 212 parking spaces with a roof deck.

The applicant has requested a Developer’s Incentive, allowed through Measure JJJ, to allow the project to providing zero (0) parking spaces for those dwelling units set aside as Restricted Affordable units. The incentive request is further discussed under “Considerations – Developer’s Incentive – Open Space and Parking”. Of the 212 parking spaces, four (4) would be required for the manager units and 11 spaces would be required for the commercial uses, resulting in a total of 15 required parking spaces in the event the Developer’s Incentive is granted. The remaining 197 parking spaces are anticipated to serve the existing Weingart Center, the approved Site 1 Project, and the subject Project.

Although the Project was submitted in 2017, the proposed design of Building 2 substantially complies with the Advisory Notice Relative to Above-Grade Parking which became effective on October 24, 2019. The Notice provides guidance relative to the design of above-grade parking which were outlined by the Commission to address concerns regarding the potential impact of above-grade parking. The building has been designed to provide transparent storefront systems along the ground floor similar to the ground floor lobby of Building 1. The upper levels of the building are proposed to be screen with



alternations of green screen with vines, perforated metal, and composite metal panels, which would match the material and design of Building 1. The rooftop of the building will include 5,295 square feet of open space, which will be covered with a metal trellis, which is proposed to be installed with photovoltaic panels.

Project Sustainability

The Project has proposed to install 2,500 square feet of solar panels on the rooftop of Building 1 and 3,500 square feet on Building 2. The panels on Building 2 would be installed on the roof of the metal trellis that is proposed to cover the open space on the roof of the building. The Project proposes to provide for the installation of wiring for 20 percent of the 15 required parking spaces for future installation of EV Chargers and five (5) percent of the 15 required parking spaces would be immediately installed with EV Chargers.

Surrounding Properties

The surrounding properties to the north, east, and south have a land use designation of Light Manufacturing, are zoned M2-2D, and are subject to the same “D” Limitations as the Project Site. The adjacent property to the north, across 6th Street, is developed with a ten-story building which houses the Weingart Center Association and the Hope Row Resources Center, which provides transitional housing and social services. The adjacent property to the north of the existing Weingart Center is the approved Site 1 Project. At the southwest corner of 6th Street and Crocker Street is an existing four (4) story building operated by the Skid Row Development Corporation. To the east, across Crocker Street, and to the south, the properties are developed with one- to two-story commercial/warehouse uses. To the west, across South San Pedro Street, the properties have a land use designation of High Medium and are zoned [Q]R52D and are developed with the Midnight Mission, a homeless services organization, and a residential building with 115 affordable housing units.

Streets and Circulation

South San Pedro Street, a designated Avenue II, is dedicated to a varying width of 90 to 95 feet at the site’s frontage and is improved with roadway, curb, gutter, and sidewalk.

East 6th Street, a designated Avenue II, is dedicated to a width of 80 feet at the site’s frontage and is improved with roadway, curb, gutter, and sidewalk.

South Crocker Street, a designated Collector, is dedicated to a varying width of 60 to 62 feet at the site’s frontage and is improved with roadway, curb, gutter, and sidewalk.

Relevant Cases

Subject Property:

Case No. VTT-74864: On November 8, 2019, the Advisory Agency approved Vesting Tentative Tract Map 74864 for the merger and resubdivision into one master ground lot and 15 commercial condominiums.

Ordinance No. 164,307: On June 30, 1989, the ordinance became effective implementing Qualified “Q” Conditions and Development “D” Limitations on properties within the Central City Community Plan area. The project site is located within Subarea 1580. The “D” Limitation limits the development of properties to a 3:1 FAR, unless a transfer of floor area is approved then a maximum 6:1 FAR may be permitted.

Case No. CPC-2017-432-CPU-CA: Pending Central City and Central City North Community Plan Update.

Case No. ZA-1991-371-CUZ: On June 18, 1991, the Zoning Administrator approved a Variance to permit the continued use and maintenance of a one-story, 138-bed dormitory facility for the housing of indigent and transient persons until April 4, 1992 in the M2-2D Zone.

Case No. ZA-1989-1359-ZV: On February 28, 1990, the Zoning Administrator denied a Variance to permit the continued use and maintenance of a one-story, 138-bed dormitory facility for the housing of indigent and transient persons until July 1, 1991 in the M2-2D Zone.

Case No. ZA-1989-536-ZV: On July 1, 1989, the Zoning Administrator approved a Variance to permit the continued use and maintenance of a one-story, 138-bed dormitory facility for the housing of indigent and transient persons until July 1, 1990 in the M2-2D Zone.

Case No. ZA-1988-959-ZV: On February 16, 1989, the Zoning Administrator approved a Variance to permit the continued use and maintenance of a one-story, 138-bed dormitory facility for the housing of indigent and transient persons until July 1, 1989, permitting a possible one-year time extension until July 1, 1990 in the M2-2D Zone.

Case No. ZA-1986-1378-ZV: On March 26, 1987, the Zoning Administrator approved a Variance to permit the continued use and maintenance of a one-story, 138-bed dormitory facility for the housing of indigent and transient persons for a term period from December 31, 1986 to June 30, 1987 in the M2-2D Zone.

Case No. ZA-1985-423-ZV, BZA-3323, and Council File No. 85-1653: On November 1, 1985, the City Council adopted a resolution (Council File No. 85-1653) to approve the variance to allow the relocation, use and maintenance of a one-story 138-bed dormitory facility for the housing of indigent and transient persons in the M2-4 Zone with 52 on-site parking spaces which was denied by the Zoning Administrator (Case No. ZA-1985-423-ZV) on June 13, 1985 and was subsequently appealed to the Board of Zoning Appeals (BZA-3323) which approved the appeal on August 27, 1985 for a term period of one year.

Case No. ZA-1985-52-ZV: On January 11, 1985, the Zoning Administrator granted a Variance to allow a 138-bed dormitory for the housing of indigent persons, parking deviation of tow spaces, instead of the required 29 spaces, and reduced front and side yards located at the westerly corner of San Julian and Fifth Streets until June 10, 1985.

Surrounding Properties:

Case No. CPC-2017-614-GPAJ-ZCJ-HD-SPR: At its meeting on January 22, 2019, the Los Angeles City Council adopted a General Plan Amendment from Light Manufacturing to Regional Commercial and an amendment to Footnote No. 3, a Zone and Height District Change from the M2-2D Zone to C2-4D Zone, and at its meeting on November 29, 2018, the Los Angeles City Planning Commission approved a Site Plan Review for the construction of 382 residential dwelling units (378 Very-Low Income Household units and 4 manager units) and 2,250 square feet of commercial floor area, and approximately 25,498 square feet of residential floor area will be provide Philanthropic Institutional services such as counseling, career center, and computer training room for a site generally located at 554 South San Pedro Street (Site 1 Project for Weingart Center).

Case No. VTT-74852-1A: At its meeting on November 29, 2018, the Los Angeles City Planning Commission denied the appeals and sustained the decision of the Deputy Advisory Agency to approve Vesting Tentative Tract Map No. 74852 for the merger and re-subdivision of ten lots into one master ground lot and three airspace lots in conjunction with the construction, use, and maintenance of 382 residential dwelling units (378 units set aside for Very-Low Income Households and four manager units) and 2,250 square feet of commercial floor area, and approximately 25,498 square feet of residential floor area will be provide Philanthropic Institutional services such as counseling, career center, and computer training room for a site generally located at 554 South San Pedro Street(Site 1 Project for Weingart Center).

Case No. CPC-2017-849-GPAJ-ZCJ-HD-SPR: At its meeting on December 21, 2017, the City Planning Commission recommended that the City Council adopt a General Plan Amendment to Regional Commercial and a Vesting Zone Change and Height District Change to [T]C2-2D for the construction of 82 residential dwelling units with 81 units set

aside for Very-Low Income Households for a site located at 656-660 South Stanford Avenue. On January 12, 2018, the City Council adopted the General Plan Amendment, Vesting Zone Change, and Height District Change.

Case No. DIR-2011-1209-DD: On July 18, 2011, the Director of Planning approved a Director's Determination to allow a 7.5 percent reduction to the required open space for a 108-unit Single Room Occupancy affordable residential apartment building for a site located at 505 South San Pedro Street.

Public Hearing and Communications

A joint public hearing on this matter was held by the Advisory Agency and the Hearing Officer at City Hall on Wednesday, November 6, 2019. The public hearing was attended by the applicant, the applicant's representative, and two members from the public.

During the public hearing, the applicant team presented the Project and requested modification to one recommended condition related to the dedication of the public right-of-way from the Bureau of Engineering and calculation of floor area from the Department of Building and Safety contained within the Staff Recommendation Report for Case No. VTT-74864.

During the public comment portion of the hearing, one member of the public spoke in support of the project.

In response to questions raised by the Hearing Officer, the applicant team clarified the following:

- The parking spaces are intended to serve employees of the Weingart Center, as supported by a Parking Demand Analysis submitted at the beginning of the hearing.
- The on-site residential support services are intended to serve residents within the subject Project; however, management and service providers may be shared between the three Weingart operations.
- The ground floor courtyard is intended to serve residents on-site and is not intended to be open to the public. A gate or fence is proposed to be installed along San Pedro Street and Crocker Street.

During the Subdivision Committee deliberation, the Bureau of Engineering agreed to the requested modification to the recommended dedication requirements subject to the pending Community Plan Update. The Deputy Advisory Agency concurred with the recommendation of the Bureau of Engineering and stated that he was inclined to approve the vesting tentative tract map with the requested modifications, but held the case under advisement for one day to discuss the applicant's requested clarification of floor area calculation with the Department of Building and Safety. Subsequent to the hearing, Planning Staff discussed the requested modification with the Department of Building and Safety. The representative from the Department of Building and Safety concurred with the changes, which are reflected in the determination letter of Case No. VTT-74864.

Considerations

General Plan Land Use Designation and Zoning

The Project Site is located within the Central City East district of downtown, as identified by the Central City Community Plan text. The Community Plan describes the district as being developed with general commercial uses and manufacturing uses such as wholesale, warehouses, and food processing. Additionally, the area is developed with approximately 6,500 single-room occupancy (SRO) units. The SRO hotel units, which were constructed in the early

1900s, have been identified as “the primary source of housing for the area.”¹ In addition to the SRO hotel units, the area is also “a center of social services”² which provides various types of supportive services such as: transitional housing, homeless outreach, alcohol treatment programs, job training, mental health services, family and children services, and aging programs. A majority of the streets within the district have been developed with residential, commercial, and manufacturing uses interspersed with one another, creating a unique social, economic, and physical identity for the neighborhood which is primarily zoned for manufacturing uses.

As requested by the applicant, the City has initiated a General Plan Amendment to re-designate the land use of the Project Site from Light Manufacturing to Regional Commercial. In conjunction with the amendment to the land use designation, the applicant has requested a Zone Change and Height District Change from M2-2D to C2-4D to redevelop the site with 302 residential dwelling units and 10,230 square feet of commercial floor area. As the Project will set aside 298 of the dwelling units as Restricted Affordable Units, with the remaining four (4) units designated as manager units, the Project is considered a Rental Project pursuant to LAMC Section 11.5.11(a)(1) and a 100 percent affordable housing project, as defined in LAMC Section 11.5.11(a)(3). As the site is currently designated and zoned for light manufacturing uses, the Project could not be permitted without these requests. The re-designation and re-zoning of the site for regional commercial and residential uses would allow the redevelopment of the underutilized site. Although the proposed use would be located within an area that is primarily designated and zoned for light manufacturing uses, the use would be consistent and compatible with the existing development of the surrounding area as previously described.

Conversion of Industrial Land to Non-Industrial Uses

As indicated in the *Economic Development* Chapter of the Framework Element, some existing industrially zoned lands may be inappropriate for new industries and should be converted for other land uses. Where such lands are to be converted, their appropriate use shall be the subject of planning studies. This is satisfied in several ways. First, the entire project approval process, including the CEQA process, the entitlement process, and the various points therein for public comment form a planning study themselves. The CEQA process included a SCEA, which assessed the surrounding land uses, as well as an analysis of the proposed land use in relation to the General Plan and the LA CEQA Guidelines threshold for land use compatibility. The entitlement process further analyzed in detail the Goals and Policies of the General Plan, and demonstrated that the Project met the overall intent of the General Plan. As demonstrated therein, the land use pattern, both in the immediate neighborhood of the subject property and in the larger Central City East district, has maintained its distinct development patterns of being developed with a mixture of general commercial and light manufacturing uses, SRO buildings which are primarily serve to provide affordable housing in the area, and supportive services.

The Project Site is an existing surface parking lot that is designated and zoned for industrial uses and is surrounding by residential uses and supportive services to the west and north and light manufacturing uses to the east and south. While the primary use has been a surface parking lot, a series of variances were granted in the 1980s until 1992 to permit the temporary use of the site for a 138-bed dormitory facility to provide housing for transient individuals. The variances were necessary as the construction of new residential uses are not permitted on industrially zoned properties. The Project proposes to redevelop the existing surface parking lot with 302 dwelling units, of which 298 units will be affordable units, 10,230 square feet of commercial floor area, and will include on-site residential supportive services. There would be no loss of industrial uses on the site, as the site is currently used as a surface parking lot and does not contain industrial uses.

¹ Page I-10 of the Central City Community Plan

² Ibid.

The Project Site is located within the Greater Downtown Housing Incentive Area (GDHI), which was established to incentivize the development of housing within the boundaries of the Incentive Area. GDHI was adopted with the intention of not only incentivizing the development of additional housing, but to facilitate the development of more affordable and workforce housing within the boundaries of the area. As further discussed below under *Greater Downtown Housing Incentive Area*, the Project is consistent with intent of GDHI.

In January 2008, the Department of City Planning (DCP) and CRA/LA issued a memorandum referred to as the Industrial Land Use Policy Project (ILUP). The ILUP studied land within different parts of the City and categorized them into one of four typologies: Employment Protection Districts, Industrial Mixed Use Districts, Transitional Districts, and Correction Areas. The ILUP provides short and long term direction related to the preservation of industrial land uses for the City as a whole, with consideration of the existing conditions of the geographic area and the objectives and policies of the applicable Community Plan area. The Project Site was categorized as being part of the Employment Protection District within the Central City – Downtown: Analysis Area 1. The boundaries of Analysis Area 1 generally coincide with the Central City East District, as identified in the Community Plan, which is described as being interspersed with residential, supportive services, commercial, and light industrial uses. The Community Plan identifies a need to not only preserve existing industrial uses, but to preserve existing affordable housing options and to allow for the development of new affordable housing. Specifically, the Community Plan identifies a need to provide “affordable infill housing east of San Pedro Street, in areas of existing housing clusters.”³

While the requested amendment to the land use designation would re-designate site from Light Manufacturing to a Regional Commercial land use designation, and the Project is not one called out in the ILUP to be converted for residential use, the Project would be consistent with the overall direction provided by the ILUP for this specific geographic area and would be consistent with the Community Plan’s objectives for affordable housing.

DTLA 2040: Community Plan Update

The Department of City Planning is currently in the process of updating community plan, “DTLA 2040”, which would update the Central City and Central City North Community Plan areas. The draft plan was released October 2019. The draft DTLA 2040 plan anticipates encouraging the introduction of housing in the Skid Row and Central City East area and indicates that the area; which the Project Site would be located in would have a maximum base FAR of 3:1 and a maximum Bonus FAR of 6:1.

Greater Downtown Housing Incentive Area (GDHI)

The Project Site is located within the GDHI, which was established to incentivize the development of housing within the boundaries of the Incentive Area. The Incentive Area provides two levels of incentives for housing production. The first level of incentives, LAMC Section 12.22 C.3, contains provisions to encourage the development of housing, whether the units are market rate or affordable. One of these incentives includes that properties located within the Incentive Area are not subject to the minimum dwelling unit per lot area, or density, calculations of the underlying zone. The second level of incentives, LAMC Section 12.22 A.29, contains additional incentives for housing developments which provide the minimum amount of affordable units specified in the Section. Additional incentives include a 35 percent increase in floor area, a 50 percent reduction in open space, zero parking for dwelling units set aside for households with less than 50 percent of the AMI.

³ Page III-15 of the Central City Community Plan

While the site is located within the boundaries of the Incentive Area, the provisions of the Incentive Area are only applicable to properties which are zoned R4, RAS4, R5, CR, C2, C4, and C5. As previously discussed, the existing land use designation and M2-2D Zone would not allow for the redevelopment of the Project Site with the new construction of a multi-family residential building as the main use of the site. The amendment to the land use designation and re-zoning of the site to the requested C2 Zone would permit the development of the proposed Project, and would allow the applicant to utilize the provisions of the Incentive Area; however, the applicant has requested Developer's Incentives as allowed through a provision of Measure JJJ. Measure JJJ, codified in Section 11.5.11 of the LAMC, contains a provision that states that "a Developer seeking and receiving a density or development bonus under the provisions of California Government Code Section 65915 or any other State or local program that provides development bonuses shall not be eligible for the development bonuses pursuant to this Section. For purposes of this provision, development bonuses shall include discretionary General Plan amendments, zone changes, and height district change." The applicant has conservatively requested Developer's Incentives in conjunction with the requested zone change via Measure JJJ instead of utilizing the incentives of GDHI so as to not conflict with the provisions of Measure JJJ. The Developer's Incentives would be consistent with the intent of GDHI's by-right incentives described above.

Height District Change - Floor Area Ratio (FAR)

The Project Site is located within Height District 2, which would permit a maximum FAR of six times the buildable area of the lot or a 6:1 FAR. However, the site is subject to a Development "D" Limitation, contained in Ordinance No. 164,307 subarea 1295, which restricts the development of the site to a 3:1 FAR. Exceptions to the limitation are permitted for those projects which comply with the rehabilitation or replacement of existing buildings provision of the Redevelopment Plan, which are not applicable for this Project. As indicated on the Central City Community Plan General Plan Land Use Map, the Regional Commercial land use designation has a corresponding footnote, Footnote No. 3. The footnote states that the Regional Commercial designation corresponds to Height Districts 3 and 4, with a "D" Limitation restricting development to a 6:1 FAR, or up to a 10:1 or 13:1 FAR if a transfer of floor area is approved. Respectively, Height District 3 permits a maximum 10:1 FAR and Height District 4 permits a maximum 13:1 FAR. The footnote is intended to provide guidance as it relates to adopting the appropriate Height District and "D" Limitation for parcels which have been designated with the Regional Commercial land use designation within the plan area.

As the Project proposes to have a maximum 3.55:1 FAR, the applicant has requested a Height District Change because the FAR exceeds the existing "D" Limitation. The recommended Height District 4 is a corresponding height district of the Regional Commercial land use designation, which would permit a maximum 13:1 FAR by-right. Pursuant to LAMC Section 12.32 G.4 (*D Development Limitations*), the City may establish "D" Limitations to state that a building or structure may be built to a specific maximum height or floor area ratio less than that ordinarily permitted in the particular Height District classification. Planning Staff has recommended that a new "D" Limitation be adopted as part of the Height District Change, which would limit the FAR of the site to a maximum of 3.55:1. In comparison, the additional FAR would be compatible with the by-right FAR bonus permitted under the Greater Downtown Housing Incentive Area with an affordable housing component under LAMC Section 12.22 A.29, which would permit a 35 percent increase, or a 4.05:1 FAR.

Developer's Incentive: Open Space and Parking

Pursuant to LAMC Section 11.5.11(e), "a Project that provides affordable housing consistent with this Section shall also be entitled to three incentives or concessions specified in California Government Code Section 65915(k) or the applicable Affordable Housing Incentive Program." As the Project proposes to provide affordable housing consistent with the provisions of LAMC

Section 11.5.11, the applicant has requested three (3) incentives that are generally consistent with by-right incentives for projects which provide affordable housing within the Greater Downtown Housing Incentive Area. The recommended approach is the most consistent with the intent of Measure JJJ.

Parking

The Project proposes to provide 212 parking spaces, of which 11 would be required for the commercial uses and four (4) would be required for the manager units, for a total of 15 required parking spaces. As the applicant has requested an incentive to permit zero (0) parking spaces for the Restricted Affordable units, this would result in 197 non-Code required parking spaces. The applicant intends to utilize the non-Code required parking spaces to serve the anticipated future demand of the operations of the subject Project, the approved Site 1 Project, which has 32 parking spaces, and the existing Weingart Center. The anticipated demand was analyzed as part of the Parking Needs Assessment, included as Exhibit C, prepared by Linscott, Law, and Greenspan, dated November 5, 2019 and October 30, 2019.

The requested incentive differs slightly from the by-right incentive of LAMC Section 12.22 A.29(c)(3) in that the incentive may only be applied to units that would be set aside for households that earn less than 50% of the Area Median Income as determined by the Housing and Community Investment Department (HCID). As previously discussed, the Project would provide housing for three (3) different income levels. This would include units set aside for Extremely Low Income Households and Very Low Income Households, which would be determined by the HCD Rent Income Schedule, which is anticipated to have a Qualifying Maximum Income Level of 30 and 50 percent, respectively, of the AMI. The units which would be set aside for Low Income Households are anticipated to be determined by the HUD Rent Income Schedule, which is anticipated to have a Qualifying Maximum Income Level of 80 percent of the AMI. In comparison, consistency with LAMC Section 12.22 A.29(c)(3) would result in parking being required for 248 of the 298 Restricted Affordable units. As requested, the incentive would require zero (0) parking spaces for any of the Restricted Affordable units regardless of the income level the units are designated for.

The Metro Purple/Red line station is at Pershing Square station, which is located 0.7 miles northwest of the Project Site, while the nearest Metro Gold Line Little Tokyo/Arts District station is located 0.8 miles northeast of the Project Sites. The eastbound bus stop for Metro Bus Lines 18, 53, 62, and Metro Rapid Line 720 is located at the southeast corner of San Pedro Street and 6th Street. The westbound bus stop is located at the northeast corner of San Pedro Street and 5th Street. The bus lines would be able to provide connections to other public transit lines such as the Metro Red, Purple, and Gold lines, and a number of other bus lines located at Union Station. The site's proximity to existing public transit would encourage the use of public transit and reduce reliance on private automobiles.

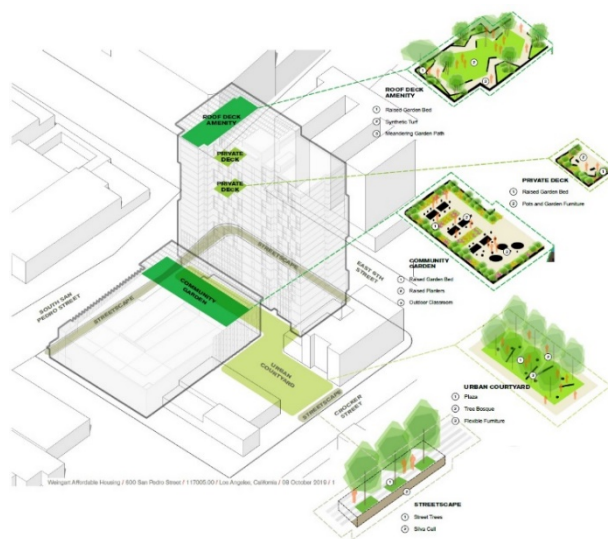
Open Space

The applicant has requested two Developer's Incentive regarding open space. The first part of the requested incentive is to permit a reduction of the required amount of open space by one (1) percent and to permit up to 59 percent of the common open space to be interior or covered open space. The second requested incentive is to permit up to a 49 percent reduction in the required number of trees.

The Project proposes to provide a total of 30,080 square feet of open space and 39 trees, which is a one (1) and 49 percent reduction, respectively, from the total required pursuant to LAMC Section 12.21 G. As previously discussed under "Considerations – Greater Downtown Housing Incentive Area", a qualifying by-right affordable housing project is able to reduce the required open space and trees by 50 percent pursuant to LAMC Section 12.22 A.29(c)(2). The table

below provides a comparison of the open space that is required for all projects located outside of the Incentive Area (Section 12.21 G), by-right affordable projects in the Incentive Area, and what is proposed for the Project.

TABLE 2: OPEN SPACE COMPARISON			
	SECTION 12.21 G	GDHI AREA	PROPOSED
Total Open Space	30,300 sf	15,150 sf	30,080 sf
Trees	76	38	39



In addition to providing the minimum amount of open space that is required to be provided, Section 12.21 G includes development standards for the design and operations of the required open space. For common open space, a maximum of 25 percent may be provided indoors, such as a recreational room, and outdoor open space is required to be open to the sky. The applicant has proposed to provide all of the required open space as common open space, allowing for larger, usable shared space rather than smaller individual spaces, such as a private balcony. The Project includes 7,520 square feet of indoor open space to provide for amenities such as: art and music room/library, game/club room, lounge/TV room, and fitness rooms.

In addition to the proposed 12,365 square feet of open-to-the-sky open space, the Project would provide 10,195 square feet of covered decks located on Levels 6, 14, and 18 of Building 1 and on Level 5 of Building 2. The entirety of the decks located on Level 6 and 14 will have a vertical height clearance of approximately 18 feet 6 inches and will each have 1,350 square feet of area, while the deck on Level 18 would have a height clearance of 15 feet and 2,200 square feet of area. The decks have been designed similarly to private individual balconies, which may be covered, and would continue to provide access to light and air, while providing for passive outdoor recreational uses. Due to the configuration of the proposed buildings and open space, the applicant has requested a 49 percent reduction in the required number of trees, for a total of 39 trees to be planted throughout the site and adjacent public right-of-way. As shown on the landscape plan, 31 trees are proposed within the 12,365 square-foot ground floor courtyard and adjacent public right-of-way.

In addition to the open space provided on-site, the Project Site is located within proximity to two parks: Gladys Park and San Julian Park. The Project Site's Crocker Street frontage is located approximately 800 feet (0.15 miles) west of Gladys Park, which is located at 808 East 6th Street. The approximately 14,745 square-foot park is operated by the Department of Recreation and Parks, and is open between the hours of 9:30 a.m. to 5:00 p.m. Facilities at the park include landscaped play areas, seating areas, outdoor exercise equipment, and a half-court basketball court. The Project Site's San Pedro Street frontage is located approximately 995 feet (0.18 miles) southeast of San Julian Park, which is located at 312 East 5th Street. It is an approximately 12,683 square-foot park, which includes seating areas and landscaping and operates between dawn and dusk.

Public Outreach

During the joint public hearing for the Site 1 Project, the applicant's representative discussed the history of both projects, as well as the outreach that had been conducted. As outlined by the

applicant's representative, public outreach meetings were held over the span of two years, beginning in February 2017, with adjacent neighbors, community stakeholders, and other interested parties. In response to the comments raised by Central City East Association (CCEA) and the Downtown Industrial BID at the joint public hearing, the applicants arranged follow up meetings with CCEA, the Downtown Industrial BID, as well as interested surrounding property owners.

In a letter dated October 7, 2019, the Downtown Los Angeles Neighborhood Council (DLANC) submitted a letter stating that the council voted in support of the Site 2 Project. The letter recommends the conditions related to the maintenance of pedestrian access during construction, that temporary walkways are well-lit, that housing of existing homeless residents in Downtown Los Angeles be prioritized to the greatest extent feasible, services are provided to residents of the building only and not located on the ground floor or street facing spaces, that the ground floor shall retain transparency, the project will not become a transitional shelter, and security will be provided for alleyways and parking lot. The letter in its entirety is included in Exhibit F.

As stated during the joint public hearing on November 6, 2019 for the subject Project, the applicant team has maintain contact with stakeholders in the area and have held one-on-one meetings upon request. On November 29, 2019, the applicant's representative submitted 47 letters of support for the Project.

Professional Volunteers Program

The Project was presented to the Professional Volunteers Program (PVP) on June 6, 2017. Overall members of the PVP provided positive comments regarding the Project's architectural design, stating that the design looked more like luxury housing instead of an affordable housing project. Comments also included that the proposed outdoor courtyard on the ground floor was a nice feature. Questions were primarily raised regarding the circulation of the site and details about the landscaping of the paseos.

On June 20, 2019, the applicant team presented the revised project to the Urban Design Studio. The design of the Project remained largely the same as presented to PVP, with minor revisions to take into account the changes in square footage. Planning Staff provided a suggestion to increase the height of the ground floor commercial space of Building 2 and to provide additional transparency that would be consistent with the ground floor of Building 1. The applicant team submitted revised plans which took into account Planning Staff's recommendation and additional landscaping.

Conclusion

Based on the information submitted, the surrounding uses, and good planning and zoning practices, the Project would redevelop the underutilized site with 302 residential dwelling units, consisting of 298 Restricted Affordable Units and four manager units, 10,230 square feet of commercial floor area, and supportive services. As proposed, the Project would be consistent with a number of goals, objectives, and policies of the Plan Area. The Project would not only provide additional housing, but would also be setting aside 298 of the units as Restricted Affordable housing and would provide on-site social services for future residents. Staff recommends that the City Planning Commission find that the Project was adequately analyzed in the Sustainable Communities Environmental Assessment, Errata, and Addendum prepared for the Project and approve and recommend adoption of the General Plan Amendment, Zone Change, and Height District Change and approve the Site Plan Review.

CONDITIONS FOR EFFECTUATING [T] TENTATIVE CLASSIFICATION REMOVAL

Pursuant to Section 12.32 G of the Municipal Code, the (T) or [T] Tentative Classification shall be removed by the recordation of a final parcel or tract map or by posting of guarantees through the B-permit process of the City Engineer to secure the following without expense to the City of Los Angeles, with copies of any approval or guarantees provided to the Department of City Planning for attachment to the subject planning case file.

1. Dedications and Improvements. Prior to the issuance of any building permits, public improvements and dedications for streets and other rights-of-way adjoining the subject property shall be guaranteed to the satisfaction of the Bureau of Engineering, Department of Transportation, Fire Department (and other responsible City, regional, and Federal government agencies as may be necessary).

A. Responsibilities/Guarantees.

- (1) As part of early consultation, plan review, and/or project permit review, the applicant/developer shall contact the responsible agencies to ensure that any necessary dedications and improvements are specifically acknowledged by the applicant/developer.
- (2) Prior to the issuance of sign-offs for final site plan approval and/or project permits by the Department of City Planning, the applicant/developer shall provide written verification to the Department of City Planning from the responsible agency acknowledging the agency's consultation with the applicant/developer. The required dedications and improvements may necessitate redesign of the project. Any changes to the project design required by a public agency shall be documented in writing and submitted for review by the Department of City Planning.

B. Dedication Required.

- (1) That a 3-foot wide strip of land be dedicated along 6th Street adjoining the subdivision to complete a 43-foot wide half public street right-of-way in accordance with **Avenue II** Standards of **LA MOBILITY PLAN** including a 15-foot by 15-foot property line cut corner or a 20-foot radius property line return at the intersection with San Pedro Street. In the event the Community Plan Update covering this site has been approved by the City Council prior to the final map recordation of this tentative map then the applicant has the option to comply with the modified street designations or area zoning proposed under the new Community Plan.
- (2) That a 4-foot wide strip of land be dedicated along Crocker Street adjoining the subdivision to complete a 34-foot wide half public street right-of-way in accordance with **Industrial Collector Street Standards of LA Mobility Plan**. In the event the Community Plan Update covering this site has been approved by the City Council prior to the final map recordation of this tentative map then the applicant has the option to comply with the modified street designations or area zoning proposed under the new Community Plan.

C. Improvement Required.

- (1) Improve Crocker Street being dedicated and adjoining the subdivision by the construction of the following:

- a. A concrete curb, a concrete gutter, and a 10-foot full width concrete sidewalk with tree well.
 - b. Suitable surfacing to join the existing pavements and to complete a 24-foot half roadway in accordance with Industrial Collector Standards of LA Mobility Plan.
 - c. Any necessary removal and reconstruction of existing improvements.
 - d. The necessary transitions to join the existing improvements.
 - e. In the event the Community Plan Update covering this site has been approved by the City Council prior to the final map recordation of this tentative map then the applicant has the option to comply with the modified street designations or area zoning proposed under the new Community Plan.
- (2) Improve 6th Street being dedicated and adjoining the subdivision by the construction of a new full-width concrete sidewalk with tree wells including any necessary removal and reconstruction of existing improvements. In the event the Community Plan Update covering this site has been approved by the City Council prior to the final map recordation of this tentative map then the applicant has the option to comply with the modified street designations or area zoning proposed under the new Community Plan.
2. Street Lighting: Construct new pedestrian lights: five (5) on San Pedro Street, four (4) on 6th Street, and two (2) on Crocker Street. If no street widening per BOE improvement conditions, relocate and upgrade street lights: two (2) on San Pedro Street and two (2) on 6th Street.

Notes:

The quantity of street lights identified may be modified slightly during the plan check process based on illumination calculations and equipment selection.

Conditions set: 1) in compliance with a Specific Plan, 2) by LADOT, or 3) by other legal instrument excluding the Bureau of Engineering condition S-3 (i), requiring an improvement that will change the geometrics of the public roadway or driveway apron may require additional or the reconstruction of street lighting improvements as part of that condition.

3. Urban Forestry – Street Trees: Plant street trees and remove any existing trees within dedicated streets or proposed dedicated streets as required by the Urban Forestry Division of the Bureau of Street Services. Parkway tree removals shall be replanted at a 2:1 ratio. All street tree plantings shall be brought up to current standards. When the City has previously been paid for tree planting, the subdivider or contractor shall notify the Urban Forestry Division (213-847-3077) upon completion of construction to expedite tree planting.

Note:

Removal of planting of any tree in the public right-of-way required approval of the Board of Public Works. All protected tree removals must be approved by the Board of Public Works. Contact Urban Forestry Division at: 213-847-3077 for permit information. CEQA document must address parkway tree removal.

Notice: If conditions dictate, connections to the public sewer system may be postponed until adequate capacity is available.

Notice: Certificates of Occupancy for the subject property will not be issued by the City until the construction of all the public improvements (streets, sewers, storm drains, etc.) as required herein, are completed to the satisfaction of the City Engineer.

[Q] QUALIFIED CONDITIONS

Pursuant to Section 12.32 G of the Municipal Code, the following limitations are hereby imposed upon the use of the subject property, subject to the "Q" Qualified classification.

1. **Site Plan.** The use and development of the subject property shall be in substantial conformance with the site plan labeled Exhibit "A" dated November 19, 2019. Prior to the issuance of building permits, detailed development plans including a site plan illustrating elevations, facades, and architectural treatment, and a landscape/irrigation plan shall be submitted for review and approval by the Central Project Planning Bureau of the Department of City Planning. The plans shall comply with provisions of the Municipal Code, the subject conditions, and the intent of the subject permit authorization.
2. **Affordable Housing.** Prior to the issuance of a permit, projects of ten or more dwelling units shall submit proof of compliance with the Affordable Housing provisions of Los Angeles Municipal Code Section 11.5.11.
3. **Use.**
 - a. Residential uses shall be limited to a 100 percent affordable housing building, exclusive of the manager's unit, with a maximum density of 302 dwelling units subject to Condition No. 3.
 - b. A maximum of 10,230 square feet of commercial uses permitted in the C2 Zone may be permitted.
 - c. A maximum of 15,945 square feet of residential floor area may also be utilized for ancillary on-site residential supportive services, subject to the following:
 - i. Supportive services uses shall be ancillary to a 100 percent affordable housing development, excluding the manager units, and shall be limited to residents on-site.
 - ii. Lines for supportive services uses shall occur on-site and shall not block the public right-of-way adjacent to the site.
4. **Labor Requirement.** Pursuant to Los Angeles Municipal Code Section 11.5.11, certified by City Council on December 13, 2017 and codified as Section 5.522 of the Administrative Code, the applicant shall confer with Department of Public Works, Bureau of Contract Administration, Office of Contract Compliance, and shall provide the following to the Department of City Planning:
 - a. A signed Preconstruction Checklist Agreement between the Applicant and the Bureau of Contract Administration (maintained in the case file), prior to clearing any Building Permit, which covers the following:
 - i. **Licenses.** All building and construction work on the project will be performed at all tiers by contractors that are licensed by the State of California and the City of Los Angeles. The project will employ only construction workers that possess all licenses and certifications required by the State of California and the City of Los Angeles.
 - ii. **Local Hire.** At least 30% of all respective workforces' construction workers' hours of Project Work will be performed by permanent residents of the City of Los Angeles. Of these, at least 10% of all their respective workforces' construction workers' hours of Project Work shall be performed by Transitional Workers whose primary place of residence is within a 5-mile radius of the covered project. If such minimums are not met, evidence of a good faith effort to solicit such local workers shall be evidenced.

- iii. **Wages.** The project will pay construction workers performing Project Work hourly wage rates for those classifications in compliance with the applicable prevailing wage rate determination established pursuant to the California Labor Code.
- iv. **Training.** At least 60% of construction workforces employed on the project will be:
 - (1) Workers who graduated from a Joint Labor Management apprenticeship training program approved by the State of California.
 - (2) Alternatively, workers employed that have minimum hours of on-the-job experience in the applicable craft which would be required to graduate from such a state-approved apprenticeship training program.
 - (3) Workers who are registered apprentices in an apprenticeship training program approved by the State of California or an out-of-state, federally-approved apprenticeship program.
- ii) **Bond.** A Bond may be required to ensure compliance.
- b. After the project has completed construction, and prior to any Certificate of Occupancy, a signed report from the Bureau of Contract Administration that indicates compliance with the above licenses, local hire, wages and training requirements shall be added to the case file.

“D” DEVELOPMENT LIMITATIONS

Pursuant to Section 12.32 G of the Municipal Code, the following limitations are hereby imposed upon the use of the subject property, subject to the “D” Development Limitations.

1. **Floor Area.** The total floor area of all buildings or structures located on the lot shall not exceed a Floor Area Ratio (FAR) of 3.55:1.
2. **Height.** The height of all buildings or structures located on the lot shall not exceed a height of 212 feet. Roof structures and equipment that comply with LAMC Section 12.21.1 B.3 may exceed this height limit.

CONDITIONS OF APPROVAL

Pursuant to Section 11.5.11(e) and 16.05 of the Los Angeles Municipal Code, the following conditions are hereby imposed upon the use of the subject property:

A. Development Conditions

1. **Site Development.** The use and development of the subject property shall be in substantial conformance with the site plan labeled Exhibit "A" dated November 19, 2018. Prior to the issuance of building permits, detailed development plans including a site plan illustrating elevations, facades, and architectural treatment, and a landscape/irrigation plan shall be submitted for review and approval by the Central Project Planning Bureau of the Department of City Planning. The plans shall comply with provisions of the Municipal Code, the subject conditions, and the intent of the subject permit authorization.
2. **Use.**
 - a. Residential uses shall be limited to a 100 percent affordable housing building, exclusive of the manager's unit, with a maximum density of 302 dwelling units subject to Condition No. 3.
 - b. A maximum of 10,230 square feet of commercial uses permitted in the C2 Zone may be permitted.
 - c. A maximum of 15,945 square feet of residential floor area may also be utilized for ancillary on-site residential supportive services, subject to the following:
 - i. Supportive services uses shall be ancillary to a 100 percent affordable housing development, excluding the manager units, and shall be limited to residents on-site.
 - ii. Lines for supportive services uses shall occur on-site and shall not block the public right-of-way adjacent to the site.
3. **Affordable Units.**
 - a. A minimum of 298 of the 302 residential dwelling units shall be reserved as affordable units as follows: a minimum of five (5) percent, or 16 units, shall be reserved for Extremely Low Income Households and a minimum of eleven (11) percent, or 34 units, shall be reserved for Very Low Income Households as determined by the California Department of Housing and Community Development (HCD), and the remaining 82 percent, or 248 units, shall be reserved for Low Income Households as determined by the U.S. Department of Housing and Urban Development (HUD).
 - b. **Changes in Restricted Units.** Deviations that change the composition of units shall be consistent with LAMC Section 11.5.11(a)(1)(iii).
 - c. **Housing Requirements.** Prior to issuance of a building permit, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing and Community Investment Department (HCIDLA). The Covenant shall bind the owner to reserve 16 units available to Extremely Low Income Households and 34 units for Very Low

Income Households for rental as determined to be affordable to such households by HCIDLA for a period of 55 years. The remaining 248 affordable units shall be reserved for Low Income Households as determined by HUD for a period of 55 years. Enforcement of the terms of said covenant shall be the responsibility of HCIDLA. The applicant will present a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the Guidelines for the Affordable Housing Incentives Program adopted by the City Planning Commission and with any monitoring requirements established by the HCIDLA.

4. Developer's Incentives.

a. Open Space.

- i. The total required open space required pursuant to LAMC Section 12.21 G may be reduced by a maximum of one (1) percent and the total number of trees required pursuant to LAMC Section 12.21 G may be reduced by a maximum of 49 percent, provided that:

- (1) The landscape plan shall indicate landscape points for the project equivalent to 10% more than otherwise required by LAMC 12.40 and Landscape Ordinance Guidelines "O"; and

- (2) Except as modified herein, the landscape plan shall comply with the applicable regulations of LAMC Section 12.21 G.

- ii. A maximum of 59 percent of the total required open space may be provided as indoor common open space or covered outdoor common open space, provided that no more than 25 percent is provided as indoor common open space.

- b. Parking. No parking space shall be required for dwelling units dedicated to or set-aside as a Restricted Affordable unit.

5. Landscaping.

a. Tree Wells.

- i. The minimum depth of tree wells on the rooftop shall be as follows:

- (1) Minimum depth for trees shall be 42 inches.

- (2) Minimum depth for shrubs shall be 30 inches.

- (3) Minimum depth for herbaceous plantings and ground cover shall be 18 inches.

- (4) Minimum depth for an extensive green roof shall be 3 inches.

- ii. The minimum amount of soil volume for tree wells on the rooftop shall be based on the size of the tree at maturity:

- (1) 600 cubic feet for a small tree (less than 25 feet tall at maturity).

(2) 900 cubic feet for a medium tree (25-40 feet tall at maturity).

(3) 1,200 cubic feet for a large tree (more than 40 feet tall at maturity).

- b. Green walls shall be planted along the north and south elevations of the buildings along the paseos at the ground floor level in conformance with the stamped Exhibit A dated November 19, 2018.

6. **Parking.**

- a. Residential vehicular parking for dwelling units dedicated or set-aside for households that are not designated as a Restricted Affordable unit and Commercial vehicular parking shall be provided pursuant to LAMC Section 12.21 A.4.
- b. The project shall provide unbundled parking leases for residential units. Residential tenants shall have the option to lease parking spaces separately from the residential dwelling units or commercial tenant space, or to opt out of leasing parking spaces.
- c. **Electric Vehicle Parking.** The project shall include at least 20 percent of the total required parking spaces capable of supporting future electric vehicle supply equipment (EVSE). Plans shall indicate the proposed type and location(s) of EVSE and also include raceway method(s), wiring schematics and electrical calculations to verify that the electrical system has sufficient capacity to simultaneously charge all electric vehicles at all designated EV charging locations at their full rated amperage. Plan design shall be based upon Level 2 or greater EVSE at its maximum operating ampacity. The project shall include at least five (5) percent of the total required parking spaces to further be provided with EV chargers to immediately accommodate electric vehicles within the parking areas. When the application of either the required 20 percent or five percent results in a fractional space, round up to the next whole number. A label stating "EVCAPABLE" shall be posted in a conspicuous place at the service panel or subpanel and next to the raceway termination point.

7. **Sustainability.**

- a. The project shall comply with the Los Angeles Municipal Green Building Code, Section 99.05.211, to the satisfaction of the Department of Building and Safety.
- b. Prior to the issuance of the Certificate of Occupancy for each building, the applicant shall install a minimum of 2,500 square feet of solar panels on Building 1 and 3,500 square feet on Building 2. The solar panels may be located directly on the rooftop or on canopies or trellis. The allocation of solar panels may be re-distributed between the two buildings provided that a minimum of 6,000 square feet of solar panels shall be provided overall. The amount of solar panels to be provided for the entire project shall be indicated on the plans for both buildings.

- 8. **Mechanical Equipment.** All mechanical equipment on the roof shall be screened from view. The transformer, if located in the front yard, shall be screened with landscaping.

9. **Construction.**

- a. The project contractor shall use power construction equipment with state-of-the-art noise shielding and muffling devices. On-site power generators shall either be plug-in electric or solar powered.

- b. Notwithstanding the provisions of LAMC Section 14.4.17, no signs shall be permitted on construction fencing except for those signs required by the Department of Building and Safety or other Department, Bureau, or Agency.

10. Lighting.

- a. Outdoor lighting shall be designed and installed with shielding, such that the light source cannot be seen from adjacent residential properties, the public right-of-way, nor from above.
- b. Pedestrian lights shall be installed within the public rights-of-way directly adjacent to the Project Site subject to the review, determination, and approval by the Bureau of Street Lighting that it is feasible to accommodate the pedestrian lights in addition to the required street lights. Pedestrian lights shall not be required if the Bureau of Street Lighting determines that the pedestrian lights would not be in compliance with the minimum distance requirements from other infrastructure located within the public rights-of-way.

B. Environmental Conditions

11. Cultural Resources.

- a. Prior to Project construction, the prime contractor and any subcontractor(s) shall be advised of the legal and/or regulatory implications of knowingly destroying cultural resources or removing artifacts, human remains, bottles, and other cultural materials from the Project Sites. In addition, in the event that buried archaeological resources are exposed during Project construction, work within 50 feet of the find shall stop until a professional archaeologist, meeting the standards of the Secretary of the Interior, can identify and evaluate the significance of the discovery and develop recommendations for treatment. Construction activities could continue in other areas of the Project Sites. Recommendations could include preparation of a Treatment Plan, which could require recordation, collection and analysis of the discovery; preparation of a technical report; and curation of the collection and supporting documentation in an appropriate depository. Any Native American remains shall be treated in accordance with state law.
- b. Before ground disturbance, field observations regarding the geo-archaeological setting shall be conducted by a qualified archaeologist to determine the presence of undisturbed sediments capable of preserving archaeological remains, and the depth at which these sediments would no longer be capable of containing archaeological material. An archaeological monitor shall be present during initial excavation activities. The duration and timing of the monitoring shall be determined by the qualified archaeologist in consultation with the Department of City Planning and the Project Applicant. The qualified archaeologist may designate an archaeologist to conduct the monitoring under their direction.
- c. Prior to Project construction, the prime contractor and any subcontractor(s) shall be advised of the legal and/or regulatory implications of knowingly destroying paleontological or unique geologic resources or sites from the Project Sites. In addition, in the event that paleontological resources or sites, or unique geologic features are exposed during Project construction, work within 50 feet of the find shall stop until a qualified paleontologist, can identify and evaluate the significance of the

discovery and develop recommendations for treatment. Construction activities could continue in other areas of the Project Sites. Recommendations could include a preparation of a Treatment Plan, which could require recordation, collection, and analysis of the discovery; preparation of a technical report; and curation of the collection and supporting documentation in an appropriate depository. Any paleontological resources or sites, or unique geologic features shall be treated in accordance with state law.

12. **Land Use and Planning.** Where an inconsistency with the adopted general plan is identified at the proposed Project location, determine if the environmental, social, economic, and engineering benefits of the Project warrant a variance from adopted zoning or an amendment to the general plan.
13. **Hazards and Hazardous Materials.** During excavation of Site 1 for the subterranean parking garage and prior to issuance of a Building Permit, if a UST is encountered, the Project Applicant shall procure a Division 5 Permit from the Los Angeles Fire Department for removal of a UST and shall comply with the requirements of the permit.
14. **Noise.**
 - a. All diesel-powered construction vehicles shall be equipped with exhaust mufflers or other suitable noise reduction devices capable of achieving a sound attenuation of at least 3 dBA.
 - b. Temporary sound barriers capable of achieving a sound attenuation of at least 10 dBA shall be erected along the Project's boundaries.
15. **Police.** Prior to issuance of a Certificate of Occupancy, the Project Applicant shall provide the Central Area Commanding Area Officer with diagrams of each portion of the Project Sites. The diagrams shall include access routes and additional information that might facilitate police response.
16. **Construction Staging and Traffic Management Plan.** Prior to the issuance of a demolition permit, in coordination with LADOT and the Department of Building and Safety, the Project Applicant shall prepare a detailed Construction Staging and Traffic Management Plan (CSTMP), including street closure information, detour plans, haul routes, and staging plans. The CSTMP shall outline how construction would be carried out and identify specific actions that would be required to reduce effects on the surrounding community. The CSTMP shall be based on the nature and timing of specific construction activities and other projects in the vicinity, and shall include the following elements as appropriate:
 - Coordinate with Metro regarding temporary relocation of the bus stop located on East 6th Street adjacent to Site 2 and other construction activities that could affect Metro service in the vicinity of the Project Sites;
 - Provide for temporary traffic control during all construction activities within public rights-of-way to improve traffic flow on public roadways (e.g. flagmen);
 - Schedule of construction activities to reduce the effect on traffic flow on surrounding arterial streets;
 - Reroute construction trucks to reduce travel on congested streets to the extend

feasible;

- Prohibit construction-related vehicles from parking on surrounding public streets;
- Provide safety precautions for pedestrians and bicyclists through such measures as alternate routing and protection barriers in compliance with LAMC Section 62.45;
- Accommodate all equipment on-site; and
- Prepare a haul truck route program for the Project that specifies the routes to and from the Project Sites.

C. Administrative Conditions

17. **Approvals, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, reviews or approval, plans, etc, as may be required by the subject conditions, shall be provided to the Department of City Planning for placement in the subject file.
18. **Code Compliance.** All area, height and use regulations of the zone classification of the subject property shall be complied with, except wherein these conditions explicitly allow otherwise.
19. **Covenant.** Prior to the issuance of any permits relative to this matter, an agreement concerning all the information contained in these conditions shall be recorded in the County Recorder's Office. The agreement shall run with the land and shall be binding on any subsequent property owners, heirs or assign. The agreement must be submitted to the Department of City Planning for approval before being recorded. After recordation, a copy bearing the Recorder's number and date shall be provided to the Department of City Planning for attachment to the file.
20. **Definition.** Any agencies, public officials or legislation referenced in these conditions shall mean those agencies, public offices, legislation or their successors, designees or amendment to any legislation.
21. **Enforcement.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Department of City Planning and any designated agency, or the agency's successor and in accordance with any stated laws or regulations, or any amendments thereto.
22. **Building Plans.** A copy of the first page of this grant and all Conditions and/or any subsequent appeal of this grant and its resultant Conditions and/or letters of clarification shall be printed on the building plans submitted to the Development Services Center and the Department of Building and Safety for purposes of having a building permit issued.
23. **Corrective Conditions.** The authorized use shall be conducted at all times with due regard for the character of the surrounding district, and the right is reserved to the City Planning Commission, or the Director pursuant to Section 12.27.1 of the Municipal Code, to impose additional corrective conditions, if, in the Commission's or Director's opinion, such conditions are proven necessary for the protection of persons in the neighborhood or occupants of adjacent property.

24. INDEMNIFICATION AND REIMBURSEMENT OF LITIGATION COSTS.

Applicant shall do all of the following:

- a. Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- b. Reimburse the City for any and all costs incurred in defense of an action related to or arising out of the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- c. Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- d. Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- e. If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

“City” shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

“Action” shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions include actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

FINDINGS

General Plan/Charter Findings

1. **General Plan Land Use Designation.** The Project Site, located generally at 600 South San Pedro Street, is within the Central City Community Plan, which was last updated by the City Council on January 8, 2003. The site is an irregularly-shaped site, comprised of multiple parcels and 48,816 gross square feet of lot area. The Community Plan designates the site with a land use designation of Light Manufacturing, which lists the MR2 and M2 Zones as corresponding zones.

As recommended, the amendment would re-designate the Project Site to the Regional Commercial land use designation, which lists the following corresponding zones: CR, C1.5, C2, C4, C5, R3, R4, R5, RAS3, and RAS4. Footnote No. 3 of the Community Plan indicates that the corresponding Height Districts for the Regional Commercial land use designation are Height Districts 3D and 4D, with Development “D” Limitations limiting the floor area ratio (FAR) to 6:1, except for those projects which are approved a transfer of floor area. Those projects which are approved a transfer of floor area are permitted to have a maximum 10:1 or 13:1 FAR, respectively. The recommended change to the Zone and Height District to [T][Q]C2-4D for the site would be consistent with the adoption of the recommended Plan Amendment and would be in substantial conformance with the purpose, intent, and provisions of the General Plan as it is reflected within the Central City Community Plan.

2. **Charter Finding – City Charter Finding 555.** The General Plan may be amended in its entirety, by subject elements or parts of subject elements, or by geographic areas, provided that the part or area involved has significant social, economic or physical identity.

The Project Site is located within the Central City Community Plan area, at the southeast corner of the intersection of San Pedro Street and 6th Street. While the site does not include the existing building located at the southwest corner of Crocker Street and 6th Street, the site does include the three parcels to the south of that building, which have frontage along Crocker Street. The Project Site has been utilized as a surface parking lot with 136 parking spaces since 1992. Prior to its use as a surface parking lot, the site was granted a series of variances beginning in the 1980s until 1992 to permit the temporary use of the site for a 138-bed dormitory facility to provide housing for transient individuals. Despite having been designated and zoned for light manufacturing uses prior to the 1980s, the Project Site itself has not been established with a social, economic or physical identity related to manufacturing or industrial uses. The Project Site has, however, been established as a site capable of providing housing for transient individuals and now for providing parking to serve the Weingart Center, which provides affordable housing and supportive services in the area.

The Project proposes to demolish the existing surface parking lot to construct a new 18-story mixed-use building, referred to as Building 1, and a building with ground floor commercial uses and four (4) levels of above-grade parking with a roof deck, referred to as Building 2. As the site has been continuously utilized as a surface parking lot since the early 1990s, the recommended amendment to the Regional Commercial designation would not eliminate an existing industrial use in the vicinity and would permit a mix of uses that is compatible with the surrounding area. The properties to the west have a land use designation of High Medium Residential and are zoned [Q]R5-2D, which would permit residential uses by-right. The properties located directly across from the site, on the western side of San Pedro Street, are developed with the Midnight Mission, a homeless services organization, and a 115-unit affordable housing project. The properties to the

north, east, and south have a land use designation of Light Manufacturing and are zoned M2-2D. To the east, across Crocker Street, and south, the adjacent properties are developed with light manufacturing uses. To the north, across 6th Street, the applicant operates the Weingart Center, which provides transitional housing as well as supportive services from the center. The existing four (4) story building located adjacent to the site, at the southwest corner of 6th Street and Crocker Street, is an SRO building.

Building 1 will house up to 302 residential dwelling units, of which 298 units will be set aside as Restricted Affordable units and the remaining four (4) units will be designated as manager units. The building will include one basement level which will house bicycle parking spaces, storage areas, as well as utilities. The building will include 7,030 square feet of commercial office space, as well as residential supportive services such as counseling, career center, computer training room, library, group space, and a fitness area. Building 2 will consist of 3,200 square feet of floor area for general commercial uses and 212 vehicular parking spaces and open space, which would include a community garden. The Project would provide improvements along the public right-of-way, as well as allow for the new construction of housing in an area where housing has primarily been located in buildings constructed in the early 1900s. The Project consists of two buildings which are located on the northern and western portions of the site. The site has been designed to provide a 22-foot wide courtyard between the two buildings along San Pedro Street, which leads to an approximately 8,625 square-foot outdoor courtyard along Crocker Street, which would provide much needed outdoor space for its future residents. The recommended General Plan Amendment to re-designate the Project Site from Light Manufacturing to Regional Commercial would allow the site to be developed as a mixed-use development, with Restricted Affordable Units, that is consistent with the development of the surrounding area and a number of objectives and policies of the General Plan. As proposed, the Project would enhance and encourage the future social, economic, and physical development and identity of the Project Site and surrounding areas.

The site is located within the Central City East district, as identified by the Central City Community Plan text. The Community Plan describes the district as being developed with general commercial uses, and manufacturing uses such as wholesale, warehouses, and food processing. Additionally, the area is developed with approximately 6,500 SRO hotels units, which have been identified as the primary source of housing for the area. In addition to the light manufacturing and SRO hotels, the area is a center of social services that provides supportive services such as: transitional housing, homeless outreach, family and children's services, aging programs, job training programs, as well as mental health services. The Central City East district is comprised of buildings that range in height from one- to six-story buildings that are utilized for supportive services, residential, commercial or light manufacturing uses. There are a few existing buildings which are higher, such as the building located across 6th Street to the north. The adjacent property is developed with the former El Rey Hotel, which was constructed in 1925 and is ten-stories. The unique development of the residential, commercial, and manufacturing uses interspersed with one another has established a social, economic, and physical identity for this portion of the Central City East district.

3. **Charter Finding – City Charter Finding 556.** The proposed Amendment is in substantial conformance with the purposes, intent and provisions of the General Plan.

The Project Site is located within the Central City Community Plan area, which is one of 35 community plans that the Land Use Element of the General Plan is comprised of. The Community Plan designates the site with a land use designation of Light Manufacturing, which lists the following corresponding zones: MR2 and M2. The site is presently zoned M2-2D, which is consistent with the existing land use designation.

As recommended, the amendment would re-designate the Project Site from Light Manufacturing to Regional Commercial. The amendment of the land use designation, in conjunction with the recommended zone and height district change to [T][Q]C2-4D, would allow the redevelopment of the site with a new affordable housing project and commercial floor area. The site is located within an area that is designated and zoned for manufacturing uses, but has been developed and continually utilized with a mixture of residential, commercial, and light manufacturing uses. The ability to rehabilitate or redevelop the existing residential development in the area is limited, as residential uses are not permitted by-right in the existing land use designation and zone. The amendment, zone change, and height district change would allow the redevelopment of the site with 302 dwelling units, which would include 298 dwelling units set aside as Restricted Affordable Units. As further discussed in Finding Nos. 5 through 10, the amendment of the land use designation would be consistent with the purpose, intent and provisions of the General Plan.

4. **Charter Finding – City Charter Finding 558.** The proposed Amendment to the Central City Community Plan will be in conformance with public necessity, convenience, general welfare and good zoning practice.

The recommended amendment to the Central City Community Plan would re-designate the land use designation of the Project Site from Light Manufacturing to Regional Commercial. In conjunction with the recommended amendment, the recommended Zone Change and Height District Change from M2-2D to [T][Q]C2-4D would permit the development of the Project Site a 302-unit affordable housing project with 10,230 square feet of commercial floor area.

Public Necessity, Convenience, and General Welfare

The Project Site has a land use designation of Light Manufacturing and is zoned M2-2D, which would prohibit the development of new residential uses on the site. The Project proposes to redevelop the underdeveloped and underutilized site presently utilized as a surface parking lot with 302-residential dwelling units, 10,230 square feet of commercial floor area, and proposes to provide on-site residential supportive services, including maintaining the food service operations that is currently operated by the applicants. As the existing land use designation and zone would not permit new residential development, the amendment is necessary to permit the redevelopment of an underdeveloped and underutilized site with a residential use.

On April 8, 2015, Mayor Eric Garcetti released the Sustainable City pLAN, a roadmap to achieve short-term results while setting the path to strengthen the transformation of the City in the decades to come. As part of the plan, the Mayor set forth a goal of creating 100,000 new housing units by 2021. The plan highlights the need to minimize the loss of affordable housing and the need to increase the production of affordable housing. The amendment would allow the site to be redeveloped and to provide 302 additional units to the housing market, including 298 affordable units. The Project would be an infill development within an area of the City that is developed with a mixture of residential, commercial, and light manufacturing uses. As described by the Community Plan, existing SRO units provide the primary source of housing for the area. The amendment would not only introduce new housing, but would also allow for housing to be provided in new construction, which has been limited in the area. Additionally, due to the unique nature of the surrounding area, the Project would place housing within close proximity to commercial and light manufacturing jobs, as well as near public transit. Additionally, the Project has been designed with a ground floor outdoor courtyard, providing connectivity from San Pedro Street, to the west, to Crocker Street, to the east. Additional amenity spaces are provided throughout Building 1 and on the rooftop of the Building 2. In total, the

proposed project would provide 30,080 square feet of open space, which would include new landscaping and planting of trees on-site and within the adjacent public right-of-way. As proposed, the Project would improve the livability and general welfare of the future residents of the development.

Good Zoning Practice

The Project Site is designated by the Community Plan for Light Manufacturing land uses and is zoned M2-2D. As zoned, it is consistent with the existing land use designation. The properties to the north, south, and east are designated and zoned for light manufacturing uses; however, many of the properties have remained developed with SRO buildings and utilized for residential purposes. Presently, the existing residential use in the surrounding area to the east of San Pedro Street are non-conforming and would not be permitted within the existing land use designation and zone. The properties to the west have a land use designation of High Medium Residential and are zoned [Q]R5-2D, which would permit residential uses by-right. The properties located directly across from the site, on the western side of San Pedro Street, are developed with the Midnight Mission, a homeless services organization, and a 115-unit affordable housing project. The amendment to re-designate the site to Regional Commercial would allow it to be redeveloped with a new mixed-use development that would consist primarily of Restricted Affordable housing. As the surrounding area is developed with a mixture of residential, commercial, and light manufacturing uses, the amendment would not be introducing an incompatible use to the area or eliminating an existing manufacturing or industrial use since the site is used as a surface parking lot. As described in Finding No. 5, the amendment would allow the development of the site with residential and commercial uses that are consistent with the objectives and policies of the Community Plan and would be mutually compatible and supportive of one another.

- 5. General Plan Text.** The Central City Community Plan text includes the following relevant objectives, policies, and programs:

Objective 9-1: To address the problems of the homeless population by creating a mix of policies, services and facilities that better serve their needs.

Policy 9.1-1: Preserve the existing affordable housing stock through rehabilitation and develop new affordable housing options.

Program: Retain and develop new supported housing opportunities for homeless people.

Program: Continue the rehabilitation of existing housing under nonprofit ownership and management. In the area west of San Pedro Street, allow new housing which is affordable to neighborhood residents. Provide affordable infill housing east of San Pedro Street, in areas of existing housing clusters.

In addition to the above referenced objectives, policies, and programs, one of the residential issues identified by the Community Plan is the lack of affordable housing to support those employed in the industrial sector.

The Project Site is located within the Central City East district of the City, as described in the Community Plan text. As described by the Community Plan, the district is characterized by manufacturing uses such as wholesale and warehousing uses, and a mixture of other commercial uses. Additionally, the district is developed with approximately

6,500 SRO hotel units which “are the primary source of housing for the area.”⁴ In addition to the manufacturing, commercial, and residential uses in the area, the area is developed with a number of social services which include job training programs, transitional housing, homeless outreach, and various other services and programs to assist those in need of employment and housing assistances.

The site is located along the eastern side of San Pedro Street, in an area where SRO developments are interspersed with the existing commercial and manufacturing uses in the M2 Zone. The Project Site is currently developed with a surface parking lot, which was at one time the location of a temporary dormitory for transient individuals. The redevelopment of the site would not remove any existing SRO units or manufacturing or industrial uses and would develop the site with a Project containing 302 residential dwelling units and 10,230 square feet of commercial floor area development. Of the 302 units, 16 units will be set aside for Extremely Low Income Households, 34 units for Very Low Income Households, and 248 units for Low Income Households. The remaining four (4) units would be utilized as manager units. In addition to providing additional affordable housing opportunities, the Project would include on-site residential supportive services for future residents. Approximately 15,945 square feet of floor area would be utilized to provide on-site residential support services such as counseling, a career center, computer training room, library, group space, and a fitness area. Additionally, the Project would place new housing within close proximity to commercial and light manufacturing jobs, as well as near public transit. The existing land use designation and M2-2D Zone limits the ability to redevelop the site with a use that would be consistent with the above referenced objectives and policies of the Community Plan.

The recommended amendment to the re-designate the site to the Regional Commercial land use designation and recommended zone and height district change to [T][Q]C2-4D would allow the site to be redeveloped with the Project as proposed. The project would not remove any existing SRO or affordable units from the market and would add 298 affordable units to the market. The Project is proposed as a 100 percent affordable housing project which will set aside units for three (3) different income levels, with four (4) of the units being utilized as manager units. By setting aside units for Extremely Low, Very Low, and Low Income households, the Project would be able to provide housing for individuals that are in different stages of their livelihoods, potentially also allowing individuals to grow in place as they transition from one income level to the next. As previously described, the site is located within an area which is developed with residential, commercial, and light manufacturing uses. The redevelopment of the site with additional affordable housing units would place future residents within proximity to employment opportunities, including those within the industrial sector. As recommended, the General Plan Amendment to the land use designation from Light Manufacturing to Regional Commercial, and the Zone Change and Height District Change to [T][Q]C2-4D would be consistent with the above referenced objectives, policies, and programs of the Central City Community Plan.

- 6. Framework Element.** The Framework Element for the General Plan (Framework Element) was adopted by the City of Los Angeles in December 1996 and re-adopted in August 2001. The Framework Element provides guidance regarding policy issues for the entire City of Los Angeles, including the project site. The Framework Element also sets forth a Citywide comprehensive long-range growth strategy and defines Citywide policies regarding such issues as land use, housing, urban form, neighborhood design, open space, economic development, transportation, infrastructure, and public services. The Framework Element includes the following provisions, objectives and policies relevant to the instant request:

⁴ Page I-10 of the Central City Community Plan

Land Use

GOAL 3C: Multi-family neighborhoods that enhance the quality of life for the City's existing and future residents.

Objective 3.7: Provide for the stability and enhancement of multi-family residential neighborhoods and allow for growth in areas where there is sufficient public infrastructure and services and the residents' quality of life can be maintained or improved.

Economic Development

GOAL 7G: A range of housing opportunities in the City.

Objective 7.9: Ensure that the available range of housing opportunities is sufficient, in terms of location, concentration, type, size, price/rent range, access to local services and access to transportation, to accommodate future population growth and to enable a reasonable portion of the City's work force to both live and work in the City.

Policy 7.9.1: Promote the provision of affordable housing through means which require minimal subsidy levels and which, therefore, are less detrimental to the City's fiscal structure.

As described in Finding No. 5, the Central City East district was developed with a number of SRO buildings constructed in the early 1900s and represents the main type of housing in the area. Despite the designation for light manufacturing land uses, the area has continued to maintain the existing residential uses alongside the warehouse and commercial uses. While the M2 Zone would permit the rehabilitation or new construction of light manufacturing and commercial uses, the ability to rehabilitate existing residential buildings is limited and new construction of housing would not be permitted on the site. As recommended, the Regional Commercial land use designation and C2 Zone would enable the redevelopment of the underutilized site with a residential development that would provide Restricted Affordable dwelling units, as well as providing a new general commercial and office space. Additionally, the applicant proposes to provide on-site residential supportive services which would include counseling, a career center, computer training room, library, group space, and a fitness area to future tenants of the Project. Although the Project Site is not located within the "traditional" multi-family neighborhood, the site is located within an area that is developed with multi-family housing, known as SRO units, which have served to provide affordable housing in the area. The redevelopment of the site would introduce new Restricted Affordable Units, along with on-site supportive services, while also improving the livability of its future residents by providing on-site open space and landscaping. As recommended, the use would be compatible with existing development in the area which consists of residential, commercial, and light manufacturing uses, and would be consistent with the above referenced goals, objectives, and policies, of the Framework Element.

7. **Housing Element.** The Housing Element of the General Plan contains the following relevant goals, objectives, and policies:

GOAL 1: Housing production and preservation.

Objective 1.1: Produce an adequate supply of rental and ownership housing in order to meet current and projected needs.

Policy 1.1.2: Expand affordable rental housing for all income groups that need assistance.

Policy 1.1.3: Facilitate new construction and preservation of a range of different housing types that address the particular needs of the City's households.

GOAL 4: Ending and Preventing Homelessness.

Objective 4.1: Provide an adequate supply of short-term and permanent housing and services throughout the City that are appropriate and meet the specific needs of all persons who are homeless or at risk of homelessness.

Policy 4.1.3: Provide permanent supportive housing options with services for homeless persons and person/families at risk of homelessness to ensure that they remain housed and get the individualized help they may need.

As previously discussed, the site is designated for light manufacturing uses and would no longer permit the development of new residential uses. The existing SRO residential buildings in the surrounding areas would no longer be permitted and the ability to rehabilitate or convert buildings are limited. The recommended Regional Commercial land use designation and the recommended [T][Q]C2-4D Zone would allow for the Project Site to be redeveloped with a new 100 percent affordable housing project. The Project proposes to designate four (4) units as a manager units and the remaining 298 of the proposed 302 dwelling units to be set aside as Restricted Affordable units for Extremely Low, Very-Low, and Low Income households. The redevelopment of the site with affordable rental units would introduce a new housing opportunity within a newly constructed building to individuals of different income levels. As such, the recommended amendment, and zone and height district change would be consistent with Goals No. 1 and 4 of the Housing Element, as well as the objectives and policies.

GOAL 2: Safe, Livable, and Sustainable Neighborhoods.

Objective 2.1: Promote safety and health within neighborhoods.

Objective 2.3: Promote sustainable buildings, which minimize adverse effects on the environment and minimize the use of non-renewable resources.

Policy 2.3.3: Promote and facilitate the reduction of energy consumption in new and existing housing.

The Project Site has frontage along the eastern side of San Pedro Street, the western side of Crocker Street, and the southern side of 6th Street. Along with the approved Site 1 Project, the proposed Project would be one of the first new major developments in the area, which has seen very little new development to the east of San Pedro Street. The Project would remove a surface parking lot and construct a new building which would meet current building code requirements for safety. Although the Project is primarily a residential building, the ground floor will include 3,200 square feet of commercial floor area and an office lobby along San Pedro Street and commercial office space along 6th Street. The ground floor has been designed to create an active ground floor presence with the use of

transparent materials along both street frontages. Additionally, the Project proposes, and has been conditioned to install 4,500 square feet of solar panels within various designated areas of the buildings. As recommended, the Project would be consistent with the above referenced goals, objectives, and policies.

8. **Mobility Element.** The Mobility Element of the General Plan is not likely to be affected by the recommended action herein. The proposed project, with the requested General Plan Amendment and Zone Change, proposes to construct a new mixed-use building consisting of 302 residential dwelling units and 10,230 square feet of commercial floor area on a site that is bounded by San Pedro Street to the west, 6th Street to the north, and Crocker Street to the east. San Pedro Street is designated as an Avenue II and is currently dedicated to a width of 90 to 95 feet at the Project Site's street frontage, and is improved with sidewalks, curb and gutter, and street trees. 6th Street is a designated Avenue II and is dedicated to a width of 80 feet at the site's frontage and is improved with roadway, curb, gutter, and sidewalk. Crocker Street is a designated Collector Street with a varying width of 60 to 62 feet at the project site's street frontage, and is improved with sidewalks, curb and gutter, and street trees. The project will be required to dedicate and improve the public right-of-way to the satisfaction of the Bureau of Engineering. The Bureau of Engineering recommended that the dedication and improvement of Crocker Street be completed to meet the Industrial Collector Street Standards due to the adjacent M Zoned properties. However, the Bureau of Engineering also recognizes that the area is currently undergoing a transition where the primary uses permitted may no longer be manufacturing or industrial uses. As such, the Bureau of Engineering included an additional provision to permit the option of complying with general Collector Street Standard if the City Council adopts the updated Community Plan and the area is re-designated for commercial and residential uses or if the street designation is modified to a lower designation. In addition to establishing Street Standards, the Mobility Element encourages "the adoption of low and zero emission fuel sources, new mobility technologies, and supporting infrastructure" (Policy 5.4). The Project has been conditioned to require that 20 percent of the parking spaces are to be wired for the installation of future EV chargers, and that 5 percent of the required parking be installed with EV chargers.
9. **The Sewerage Facilities Element** of the General Plan will not be affected by the recommended action. While the sewer system might be able to accommodate the total flows for the proposed project, further detailed gauging and evaluation may be needed as part of the permit process to identify a specific sewer connection point. If the public sewer has insufficient capacity then the developer will be required to build sewer lines to a point in the sewer system with sufficient capacity. A final approval for sewer capacity and connection permit will be made at that time. Ultimately, this sewage flow will be conveyed to the Hyperion Treatment Plant, which has sufficient capacity for the project.
10. **Health and Wellness Element and Air Quality Element.** Policy 5.1 and 5.7 of the Plan for a Healthy LA, the Health and Wellness Element, and Policy 4.2.3 of the Air Quality Element are policy initiatives related to the reduction of air pollution and greenhouse gases. As conditioned herein, the Project would be required to provide parking spaces which would be equipped for the immediate installation and use of EV Charging Stations, as well as for future use. The Project has also been conditioned to install solar panels to an operating photovoltaic system. The installation and operation of the solar panels would help to reduce the site's dependence on fossil fuels and carbon generating public utility electrical power. Taken together, the conditions would provide for the public welfare and public necessity by reducing the level of pollution or greenhouse gas emissions to the benefit of the neighborhood and the City. As conditioned, the Project would be consistent with the aforementioned policies, as well as Policy 5.1.2 of the Air Quality Element, by ensuring that future developments are compatible with alternative fuel vehicles and shift to non-polluting sources of energy. The solar and EV conditions are also good zoning

practices because they provide a convenient service amenity to the occupants or visitors who use electric vehicles and utilize electricity on site for other functions. As such, the Project provides service amenities to improve habitability for future residents of the Project and to minimize impacts on neighboring properties.

Entitlement Findings

11. Zone Change and Height District Change Findings.

- a. Pursuant to Section 12.32 C of the Municipal Code, and based on these findings, the recommended action is deemed consistent with public necessity, convenience, general welfare and good zoning practice.**

Public Necessity, Convenience, and General Welfare

The Project Site is located within the Central City East district of the Central City Community Plan area. The district, as described by the Community Plan, consists of a mixture of residential, commercial, and light manufacturing uses. In addition to the mix of uses, the area is a center for social services, providing access to transitional housing and other supportive services for the homeless. The land use designation of properties to the north, south, and east is Light Manufacturing and they are zoned for light manufacturing uses; however, a number of lots have remained developed with SRO buildings. To the west, across San Pedro Street, properties are designated and zoned for multi-family residential uses. The existing M2-2D Zone would prohibit the redevelopment of the Project Site with a new Project containing 302 residential dwelling units and 10,230 square feet of commercial floor area. In addition to the setting aside 298 dwelling units as Restricted Affordable Units for Extremely Low, Very-Low, and Low Income households, the applicant proposes to provide on-site residential supportive services for the future tenants. As discussed in Finding No. 4, the Sustainable City pLAn issued by the Mayor establishes a goal to create 100,000 dwelling units by the year 2021. Additionally, the plan indicates a need to not only enable the production of additional housing, but to encourage the production of affordable housing. The Zone Change and Height District Change would permit the redevelopment of the site with a 100 percent, 302-unit affordable housing project.

The Project Site is located within a Transit Priority Area, as defined by Senate Bill (SB 743). The Metro Purple/Red Line station is at Pershing Square station, which is located 0.7 miles northwest of the Project Site, while the nearest Metro Gold Line Little Tokyo/Arts District station is located 0.8 miles northeast of the Project Sites. The eastbound bus stop for Metro Bus Lines 18, 53, 62, and Metro Rapid Line 720 is located at the southeast corner of San Pedro Street and 6th Street. The westbound bus stop is located at the northeast corner of San Pedro Street and 5th Street. The bus lines would be able to provide connections to other public transit lines such as the Metro Red, Purple, and Gold lines, and a number of other bus lines located at Union Station. The Project would place additional housing within proximity to public transit, and employment centers, as such requiring zero (0) parking spaces for dwelling units that are set aside as Restricted Affordable units would reduce reliance on the use of individual vehicles and encourage the use of public transit, thereby supporting the policies and objectives of the General Plan as discussed in Findings No. 5 through 10.

As the Project proposes more than six (6) dwelling units, it is required to provide open space for the future residents. In lieu of providing a combination of common and private open space, the applicant has chosen to provide all of the required open space as common open space. A 12,365 square-foot, open-to-the-sky, ground floor courtyard will be provided primarily on the eastern portion of site. The courtyard will consist of

flexible open space, but will include bicycle racks, seating, as well as a variety of landscaping including the planting of 31 trees within the courtyard and adjacent public right-of-way. Additional outdoor common open space will be provided on Levels 6, 14, and 18; however, these areas will not be open to the sky as they are covered by the floors above. While these spaces may not be open to sky, they would continue to provide access to useable outdoor space providing direct access to light and air. A total of 7,520 square feet of interior floor area will be provided for indoor common open space, providing residential amenity spaces such as art & music room/library, game/club room, lounge/TV room, and fitness room. Although the dedicated area of indoor common open space would exceed the minimum 25 percent permitted by the LAMC, providing the additional area for shared common open space would support and encourage social activities for the future residents. While the Project provides a reduce amount of open space and an increase in the amount of interior or covered open space than stated in the LAMC, it would provide on-site outdoor and indoor open space which existing SRO buildings in the area lack meets the intent of providing adequate access to light and air. As proposed, the Project would be consistent with the public necessity, convenience, and general welfare of the surrounding area.

Good Zoning Practice

As recommended, the Zone Change and Height District Change to [T][Q]C2-4D would permit the redevelopment of the Project Site with new affordable housing. As discussed in Finding No. 5, and above, the site is located within an area of the City which is developed with a mixture of residential, commercial, and light manufacturing uses. A number of properties in the area have been utilized for residential purposes since the early 1900s when they were developed with residential hotels for transient workers in the industrial field. The recommended Zone Change and Height District Change would enable the development of Restricted Affordable housing which would include on-site supportive services for future residents, consistent with Objective 9-1, Policy 9.1-1, and identified programs of the Community Plan, as referenced in Finding No. 5.

In conjunction with the redevelopment of the site, the proposed building would be required to comply with the current open space requirements of the LAMC. The Project would be required to provide 30,300 square feet of open space and 76 trees; however, the Applicant has requested a Developer's Incentive to reduce the required open space to by one (1) percent and the number of trees by 49 percent, as well as to provide up to 59 percent of the open space as indoor or covered open space. Existing SRO buildings have minimal landscaping or open space areas as they were constructed in the early 1900s. The Project would provide a total of 30,080 square feet of open space, with 17,715 square feet of it being interior or covered, and 39 trees. The Project proposes to provide a 12,365 outdoor courtyard that would be located primarily on the eastern side of the site. In addition to the ground floor courtyard, indoor recreational spaces would be provided on Level 2, 3, and 18 of Building 1. The ground floor courtyard and adjacent public right-of-way will be landscaped and planted with the trees. Additional open space would be provided through covered outdoor decks located on Levels 6, 14, and 18 of Building 1 and the rooftop of Building 2. While the courtyards would be covered by the floors above, the courtyards would provide functional outdoor open space that are otherwise compliant with the requirements of the LAMC Section 12.21 G. Although the Project proposes to reduce the amount of open space and trees to be located on-site, the site is located 800 feet west of a public park, Gladys Park, located on 6th Street. The site is also located 995 feet southeast of San Julian Park, which is located at the southwest corner of San Julian Street and 5th Street. Facilities at the parks include landscaped play areas, seating areas, outdoor exercise equipment, and a half-court basketball court. As recommended, the Zone

Change and Height District Change would permit the development of the site with a use that is compatible with the surrounding area and would support the goals, objectives, and policies of the General Plan, as discussed in Finding Nos. 5 through 10.

- b. **Pursuant to Section 12.32 G and Q of the Municipal Code “T” and “Q” Classification Findings.** The current action, as recommended, has been made contingent upon compliance with new “T” and “Q” conditions of approval imposed herein for the proposed project. As recommended, the Zone Change has been placed in permanent “T” and “Q” Classification in order to ensure consistency with the amendment to the land use designation from Light Manufacturing to Regional Commercial. The “T” Conditions are necessary to ensure the identified dedications, improvements, and actions are undertaken to meet the public’s needs, convenience, and general welfare served by the actions required. These actions and improvements will provide the necessary infrastructure to serve the proposed community at this site. The “Q” Conditions that limits the scale and scope of future development on the site are also necessary to protect the best interests of and to assure a development more compatible with surrounding properties and the overall pattern of development in the community, to secure an appropriate development in harmony with the General Plan, and to prevent or mitigate the potential adverse environmental effects of the subject recommended action.
- c. **Pursuant to Section 12.32-G and Q of the Municipal Code “D” Limitation Findings.** The Council shall find that any or all the limitations are necessary: (1) to protect the best interests of and assure a development more compatible with the surrounding property or neighborhood, and (2) to secure an appropriate development in harmony with the objectives of the General Plan, or (3) to prevent or mitigate potentially adverse environmental effects of the Height District establishment or change.

The Project Site is located within an area which is developed with one- to six-story buildings and is limited to a maximum FAR of 3:1 unless the additional floor area is consistent with the rehabilitation provisions of the Redevelopment Plan. Height Districts 3 and 4 correspond to the Regional Commercial land use designation, as indicated in Footnote No. 3 of the Community Plan. The Footnote indicates that FARs within Height District 3 and 4 would be subject to a Development “D” Limitation, which would permit a maximum FAR of 6:1, unless a transfer of floor area is approved. The recommended change from Height District 2 to 4 would provide consistency with Footnote No. 3, which states either Height District 4 is a corresponding Height District for the Regional Commercial land use designation. The adoption of the “D” Limitation would limits the maximum FAR to 3.55:1, which would permit floor area that is greater than what is currently permitted by-right on the surrounding properties. However, it would be less than the maximum FAR permitted by the existing “D” Limitation and Footnote. Additionally, the proposed 3.55:1 FAR would be consistent with the FAR that is permitted for lots located on the western side of San Pedro Street. Those properties are zoned R5-2D and are limited to a 3:1 FAR, similar to the subject site. However, these lots would be able to apply the by-right FAR incentive of the Greater Downtown Incentive Area and receive a 35 percent increase in the permitted FAR for a 4.05:1 FAR. While the Building 1 would be substantially taller than the buildings in the surrounding area, it is compatible with the future development that is permitted by the Zone. Additionally, the design allows the Project to accommodate a 12,365 square-foot outdoor courtyard on the ground floor, that is of a comparable size to local parks in the surrounding area.

The recommended FAR would be consistent with the anticipated development of Regional Centers as described within the Framework Element. The proposed setbacks, as well as building design, would make the buildings compatible with the surrounding area and would be consistent with the corresponding Height Districts of the recommended Regional Commercial Land Use Designation. As recommended, the “D” Limitation would limit the development of the site to a 3.55:1 FAR and a maximum height of 211 feet 4 inches, ensuring that the future development would maintain compatibility with the surrounding area and any future development. As discussed in Finding Nos. 5 through 10, the “D” Limitation would secure an appropriate development in harmony with the objectives of the General Plan.

12. Site Plan Review Findings.

- a. The project is in substantial conformance with the purposes, intent and provisions of the General Plan, applicable community plan, and any applicable specific plan.**

As discussed in Finding No. 1, the recommended Zone and Height District changes for the Project Site would be consistent with the recommended land use designation. As the Project Site is located within the Greater Downtown Housing Incentive Area, the Project would not be subject to the minimum lot area per dwelling unit calculations of the recommended C2 Zone. The density would be limited by the proposed 3.55:1 FAR and a minimum habitable size from the Building Code. As proposed, the Project would be a 100 percent affordable housing project which would provide four (4) manager units and 298 dwelling units set aside for Extremely Low, Very-Low, and Low Income households. In conjunction with the requested Zone Change, the applicant has requested Developer Incentives to reduce the required open space and trees, to increase the amount of covered or interior open space, and to reduce the amount of required parking. As discussed in Finding No. 5 through 10, the Project would meet the goals, objectives, and policies of the General Plan and the Central City Community Plan area. As such, the project is in substantial conformance with the General Plan and Community Plan. The project site is not located within a specific plan area.

- b. The project consists of an arrangement of buildings and structures (including height, bulk and setbacks), off-street parking facilities, loading areas, lighting, landscaping, trash collection, and other such pertinent improvements, that is or will be compatible with existing and future development on adjacent properties and neighboring properties.**

The Project Site is located on the eastern side of San Pedro Street, at the southeast corner of San Pedro Street and 6th Street. The surrounding properties are developed with a mixture of residential, commercial, and light manufacturing uses. Along Crocker Street, manufacturing uses include a wholesale distributor of for food and clothing. Properties to the north and west are developed with buildings which provide transitional housing or supportive services. While the adjacent property to the north is developed with a 10-story building, the surrounding properties are developed primarily with one- to six-story buildings. As the Project Site is located within the Greater Downtown Housing Incentive area, the Project has been designed in accordance with the Downtown Design Guide and as described below, and would be compatible with the existing and future development on adjacent and neighboring properties. As identified in the Downtown Design Guide, the Project Site is located within the Central Industrial District.

Building Arrangement (height, bulk and setbacks)

As indicated in Figure 3-1 of the Downtown Design Guide, San Pedro Street, 6th Street, and Crocker Street are not designated as Retail Streets. Building 1 would provide a zero-foot setback along 6th Street, after the required dedication, and a varying setback along San Pedro Street, providing for articulation in the building façade. Building 2 would primarily provide a zero-foot setback from the existing property line. As proposed, the building would be consistent with Section 3.B of the Guide as it relates to building setbacks. The ground floors of each of the buildings utilizes transparent materials and is designed to accommodate active uses. Building 1 would have a maximum of 18 stories, with the first floor developed with commercial office space, an office lobby, and a residential lobby. The subterranean level would be accessible via stairs or elevators located within the building. Building 2 would have 3,200 square feet of commercial floor area along San Pedro Street and four (4) levels of above-grade parking with a roof deck which would be accessible from San Pedro Street as well. Additionally, 5,295 square feet of covered open space is propose on the roof of the building. There is approximately a 22-foot separation between the two buildings, which would be developed with pedestrian pathways, landscaping, and seating as part of the 12,365 of ground floor courtyard.

Off-Street Parking Facilities and Loading Areas

The Project proposes to provide 212 automobile parking, which would be located within a four (4) levels of above-grade parking with a roof deck. Although the Project does not propose parking spaces for a majority of the residential units, the Project has been conditioned to require that parking spaces are sold or rented separately from the residential dwelling units. A loading area will be provided as required by the Department of Building and Safety. As proposed, the Project would be consistent with the Section 5 of the Guide as it relates to the Parking and Access.

Lighting

The proposed plans do not indicate a lighting plan; however, Condition No. 10 of the Conditions of Approval would ensure that the installation of lights would not result in a substantial amount of light that would adversely affect the day or night time views in the project vicinity.

Landscaping

The Project proposes to provide 30,080 square feet of open space, of which 17,715 square feet will be provided as either covered or uncovered outdoor open space. The Project would provide approximately 8,990 square feet of landscaped area. The Project has proposed landscaping throughout the Project Site and proposes to plant 39 24-inch box trees on-site and within the public right-of-way. The Project has been conditioned to meet the planting standards of the Guide, as found in Section 9-H, unless otherwise prohibited by the Urban Forestry Division, Bureau of Public Works.

Trash Collection

The Project proposes to provide a trash and recycling area within the building. The common area for the collection would be located within the parking area on the ground floor towards the rear of the site.

Fences and/or Walls

The proposed project may incorporate fences and/or walls along the western and eastern property lines to provide security for the ground floor courtyard.

Sustainability

The Project has proposed the installation of wiring for the future installation of electric vehicle charging stations for 20 percent of the required parking, the immediate installation of electric vehicle charging stations for five percent of the proposed parking spaces, and would install operational photovoltaic system (solar) that would offset the electrical demand of the EV chargers and other on-site electrical uses. The immediate installation of the charging stations and solar would be in excess of building code requirements. The electric vehicle charging spaces and solar panels will improve habitability for residents and neighboring properties by reducing the level of greenhouse gas emissions and fuel consumption from the project site, in spite of increased parking capacity, through encouraging the use of low or zero emission vehicles.

c. Any residential project provides recreational and service amenities to improve habitability for its residents and minimize impacts on neighboring properties.

The Project proposes to provide 298 efficiency units and four (4) two-bedroom units. Pursuant to LAMC Section 12.21 G, the Project would be required to provide 30,300 square feet of open space and 76 trees. In conjunction with the recommended zone change, it is recommended that the required open space and number of trees be reduced. The Project proposes to provide 30,080 square feet of open space and 39 trees. Although the Project would provide less open space than required pursuant to LAMC Section 12.21 G, the proposed open space areas has been thoughtfully designed and it is anticipated that it would be sufficient to improve the habitability of its future residents. The Project proposes to provide a 12,365 square-foot ground floor courtyard which would be landscaped and accessible from San Pedro Street and Crocker Street. An additional 10,195 square feet of covered outdoor decks are provided throughout Building 1 and on the rooftop of Building 2, providing for varying uses and social interactions. An additional 7,520 square feet of indoor open space would be provided for various recreational uses including a fitness room, game room, art/music room/library, and a lounge/TV room. Landscaping would include a total of 39 24-inch box trees, to be planted on-site and within the adjacent right-of-way. In addition to recreational amenities, the Project provides a dedicated space intended to provide residents with on-site social services related to mental, physical, social, and job training. As proposed, the project would provide recreational and service amenities which would improve habitability for its residents and minimize impacts on neighboring properties.

Environmental Findings

- 13. Environmental Finding.** The City of Los Angeles, as the Lead Agency, prepared a Sustainable Communities Environmental Assessment (SCEA), Case No. ENV-2017-615-SCEA, for the development of Site 1 located at 554-562 South San Pedro Street and 555-561 South Crocker Street with 382 residential dwelling units, 2,250 square feet of commercial floor area, 32 vehicular parking spaces, and associated ancillary philanthropic institutional uses and open space (Site 1 Project) and the development of Site 2 located at 600-628 South San Pedro Street, 611-615 South Crocker Street, and 518-522 East 6th Street with 303 residential dwelling units, 3,200 square feet of commercial floor area, 17,100 square feet of office, 212 vehicular parking spaces, and 33,000 square feet of open space (Original Site 2 Project), collectively referred to as the Original Project. Of the total proposed 685 residential dwelling units on Sites 1 and 2, 676 dwelling units will be set aside for Very-Low Income Households and nine as manager's units. At its meeting on October 26, 2018 (CF 18-0889), after conducting a public hearing on October 23, 2018

and consideration of all comments received regarding the SCEA and the Original Project, the City Council adopted the SCEA and Errata dated October 22, 2018, pursuant to Public Resources Code (PRC) Section 21155.2(b)(6) finding that the Original Project is a “transit priority project” as defined by PRC Section 21155 and that the SCEA incorporates all feasible mitigation measures, performance standards, or criteria set forth in prior EIR(s), including SCAG 2016-2040 RTP/SCS EIR SCH No. 20150311035; finding that all potentially significant effects required to be identified in the initial study have been identified and analyzed in the SCEA; finding that with respect to each significant effect on the environment required to be identified in the initial study for the SCEA, changes or alterations have been required in or incorporated into the Original Project that avoid or mitigate the significant effects to a level of insignificance or those changes or alterations are within the responsibility and jurisdiction of another public agency and have been, or can and should be, adopted by that other agency.

Subsequent to the adoption of the SCEA, the applicant submitted a revised Project for Site 2, which includes the reduction of the residential dwelling units from 303 to 302 and the reduction of office space from 17,100 square feet to 7,030 square feet (Modified Site 2 Project). Pursuant to CEQA Guidelines Section 15162 and 15164, an Addendum, dated November 2019, was prepared to analyze the proposed changes and found that the changes to the Project were not substantial and that no major revisions are required to the SCEA and no subsequent SCSEA is required.

The City Planning Commission finds, based on substantial evidence found in the administrative record of the SCEA, Case No. ENV-2017-615-SCEA, and the Errata, dated October 22, 2018, including but not limited to oral and written testimony at the public hearings, that the SCEA previously adopted by the City Council is adequate under CEQA and that pursuant to CEQA Guidelines Section 15162 and 15164 and as supported by the Addendum dated November 2019, no major revisions are required to the SCEA and no subsequent SCEA or EIR is required for the City Planning Commission to approve or recommend adoption of the requested discretionary actions, Case No. CPC-2017-589-GPAJ-ZCJ-HD-SPR, for the Project; and incorporates the CEQA Findings made pursuant to PRC Section 21081 and Mitigation Monitoring Program adopted by the City Council on October 26, 2018 by reference. Consistent with the PRC Section 21081.6(a)(2), the records upon which this decision is based are located in the Department of City Planning offices at 200 North Spring Street, Room 621, Los Angeles, California 90012.

14. **Flood Insurance.** The National Flood Insurance Program rate maps, which are a part of the Flood Hazard Management Specific Plan adopted by the City Council by Ordinance No. 172,081, have been reviewed and it has been determined that this project is located in Zone C, areas of minimal flooding.

EXHIBIT A

CPC-2017-589-GPAJ-ZCJ-HD-SPR

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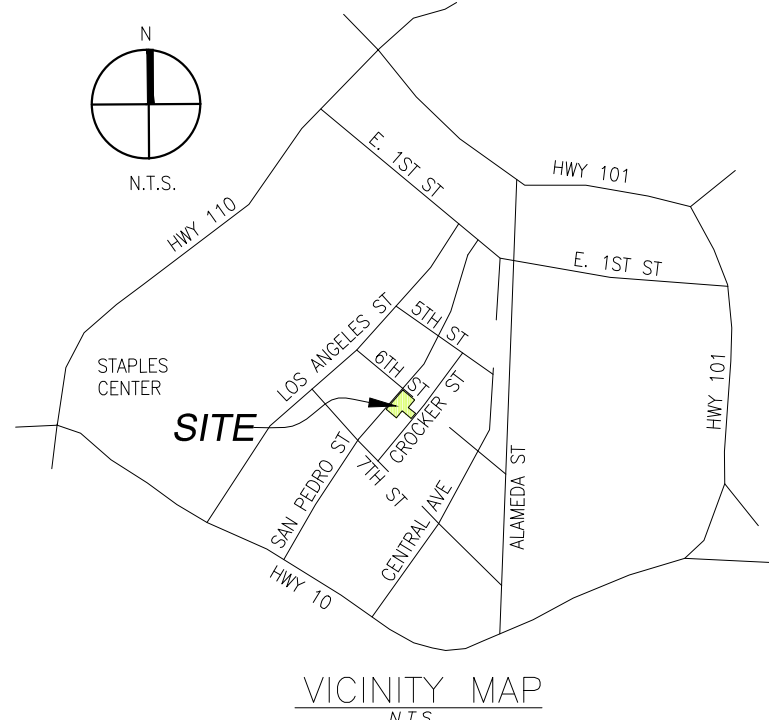


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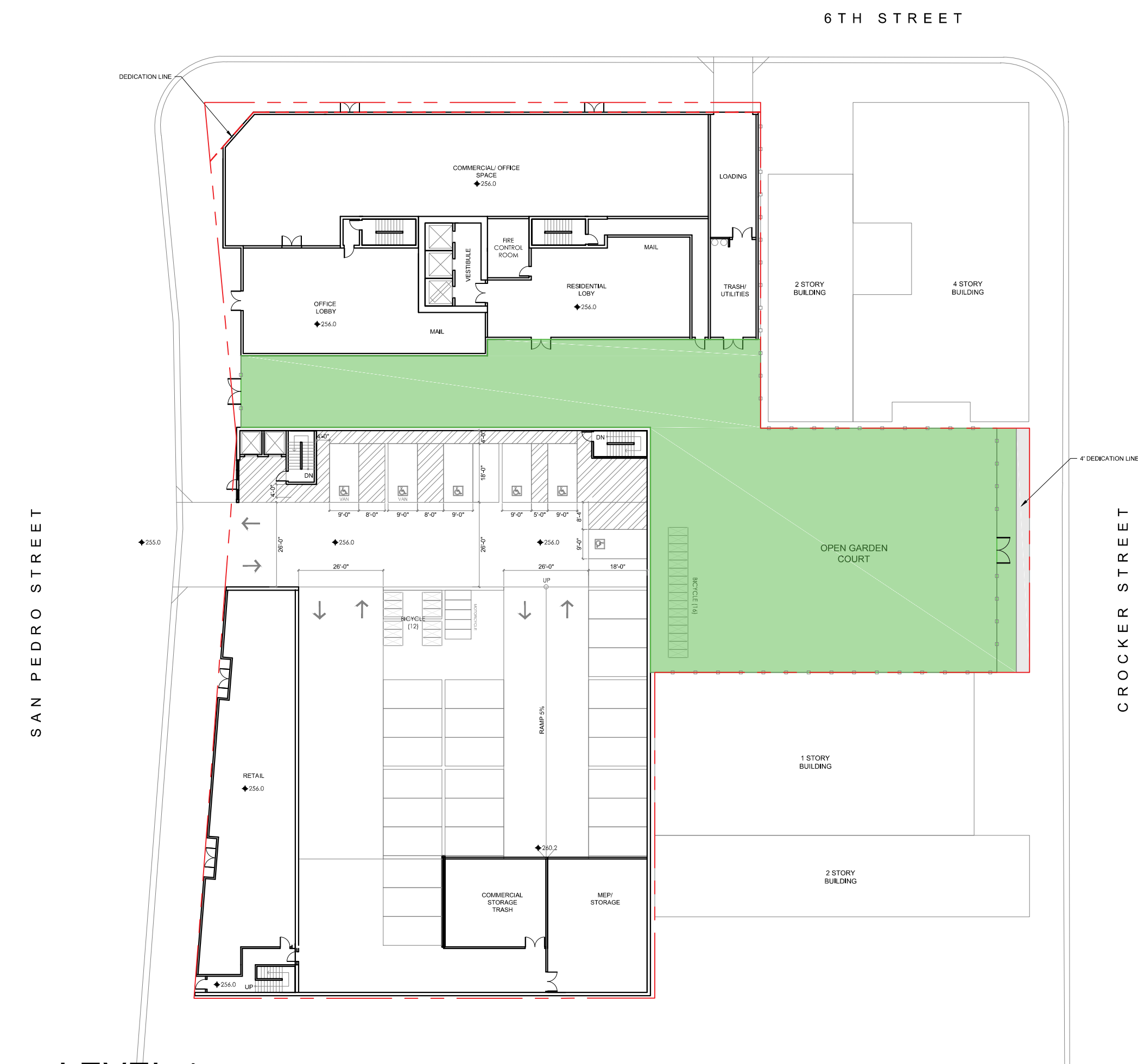
WEINGART

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T: 213.689.2222

PROJECT LOCATION	PROJECT TEAM	SHEET INDEX																																																																																
<div><p>VICINITY MAP N.T.S.</p></div>	<p>OWNER: WEINGART CENTER ASSOCIATION 600 S. SAN PEDRO LOS ANGELES, CA 90013 CONTACT: TONJA BOYKIN T.213.689.2222 EXT. 4222</p> <p>ARCHITECT: JOSEPH WONG DESIGN ASSOCIATES 2359 FOURTH AVE SAN DIEGO CA, 92101 CONTACT: MATTHEW GEAMAN T.619.233.6777</p> <p>CIVIL ENGINEER: FUSCOE ENGINEERING, INC 600 WILSHIRE BLVD, SUITE 1470 LOS ANGELES, CA 90017 CONTACT: ANDY WILLRODT, PE T.213.542.5620</p> <p>LAND USE CONSULTANT: CRAIG LAWSON & CO. 3221 HUTCHINSON AVE, SUTE D LOS ANGELES, CA 90034 CONTACT: JAMIE POSTER T.310.838.2400 X107</p> <p>LANDSCAPE ARCHITECT: AHBE LANDSCAPE ARCHITECT 617 W. 7TH ST., SUITE 304 LOS ANGELES, CA, 90017 CONTACT: JIM HELLINGER T.213.694.3800</p>	<p>GENERAL</p> <table><tr><td>T.0</td><td>COVER SHEET</td></tr><tr><td>T.1</td><td>TITLE SHEET</td></tr><tr><td>T.2</td><td>DATA SHEET</td></tr></table> <p>ARCHITECTURAL</p> <table><tr><td>A001</td><td>OPEN SPACE CALCULATIONS</td></tr><tr><td>A002</td><td>OPEN SPACE CALCULATIONS</td></tr><tr><td>A003</td><td>PHILANTHROPIC SF</td></tr><tr><td>A101</td><td>PLOT PLAN</td></tr><tr><td>A201</td><td>LEVEL B1</td></tr><tr><td>A202</td><td>LEVEL 1</td></tr><tr><td>A203</td><td>LEVEL 2</td></tr><tr><td>A204</td><td>LEVEL 3</td></tr><tr><td>A205</td><td>LEVEL 4</td></tr><tr><td>A206</td><td>LEVEL 5</td></tr><tr><td>A207</td><td>LEVEL 6-7</td></tr><tr><td>A208</td><td>LEVEL 8-13</td></tr><tr><td>A209</td><td>LEVEL 14-15</td></tr><tr><td>A210</td><td>LEVEL 16-17</td></tr><tr><td>A211</td><td>LEVEL 18</td></tr><tr><td>A212</td><td>ROOF PLAN</td></tr><tr><td>A401</td><td>BUILDING ELEVATION</td></tr><tr><td>A402</td><td>BUILDING ELEVATION</td></tr><tr><td>A403</td><td>BUILDING ELEVATION</td></tr><tr><td>A404</td><td>BUILDING ELEVATION</td></tr><tr><td>A405</td><td>BUILDING ELEVATION</td></tr><tr><td>A501</td><td>BUILDING SECTION</td></tr><tr><td>A502</td><td>BUILDING SECTION</td></tr><tr><td>A601</td><td>TYPICAL UNIT PLANS</td></tr><tr><td>A801</td><td>PERSPECTIVE VIEW</td></tr><tr><td>A802</td><td>PERSPECTIVE VIEW</td></tr><tr><td>A900</td><td>MATERIAL BOARD</td></tr></table> <p>LANDSCAPE</p> <table><tr><td>1</td><td>CONCEPTUAL DESIGN APPROACH</td></tr><tr><td>2</td><td>CONCEPTUAL LANDSCAPE PLAN- L1</td></tr><tr><td>3</td><td>CONCEPTUAL LANDSCAPE PLAN- L2</td></tr><tr><td>4</td><td>CONCEPTUAL LANDSCAPE PLAN- L4 & L6</td></tr><tr><td>5</td><td>CONCEPTUAL LANDSCAPE PLAN- L7</td></tr><tr><td>6</td><td>CONCEPTUAL LANDSCAPE PLAN- L10&11</td></tr><tr><td>7</td><td>CONCEPTUAL LANDSCAPE PLAN- L18&19</td></tr><tr><td>8</td><td>CONCEPTUAL LANDSCAPE PLAN- L22</td></tr><tr><td>9</td><td>CONCEPTUAL LANDSCAPE PLAN- PLANT PALETTE</td></tr><tr><td>10</td><td>CONCEPTUAL LANDSCAPE PLAN- HARDSCAPE MATERIAL</td></tr></table>	T.0	COVER SHEET	T.1	TITLE SHEET	T.2	DATA SHEET	A001	OPEN SPACE CALCULATIONS	A002	OPEN SPACE CALCULATIONS	A003	PHILANTHROPIC SF	A101	PLOT PLAN	A201	LEVEL B1	A202	LEVEL 1	A203	LEVEL 2	A204	LEVEL 3	A205	LEVEL 4	A206	LEVEL 5	A207	LEVEL 6-7	A208	LEVEL 8-13	A209	LEVEL 14-15	A210	LEVEL 16-17	A211	LEVEL 18	A212	ROOF PLAN	A401	BUILDING ELEVATION	A402	BUILDING ELEVATION	A403	BUILDING ELEVATION	A404	BUILDING ELEVATION	A405	BUILDING ELEVATION	A501	BUILDING SECTION	A502	BUILDING SECTION	A601	TYPICAL UNIT PLANS	A801	PERSPECTIVE VIEW	A802	PERSPECTIVE VIEW	A900	MATERIAL BOARD	1	CONCEPTUAL DESIGN APPROACH	2	CONCEPTUAL LANDSCAPE PLAN- L1	3	CONCEPTUAL LANDSCAPE PLAN- L2	4	CONCEPTUAL LANDSCAPE PLAN- L4 & L6	5	CONCEPTUAL LANDSCAPE PLAN- L7	6	CONCEPTUAL LANDSCAPE PLAN- L10&11	7	CONCEPTUAL LANDSCAPE PLAN- L18&19	8	CONCEPTUAL LANDSCAPE PLAN- L22	9	CONCEPTUAL LANDSCAPE PLAN- PLANT PALETTE	10	CONCEPTUAL LANDSCAPE PLAN- HARDSCAPE MATERIAL
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PROJECT DATA

LOT AREA			GROUND LOT		ACRE(S)		
			48,816		1.12		
DENSITY							
PERMITTED							
EXISTING M2			0				
PROPOSED C2 (200 sf per unit)			244				
DT INCENTIVE OVERLAY (unlimited)			-				
PROPOSED							
TOWER			302				
TOTAL			302				
UNIT TYPE			Total Density				
EFFICIENCY UNIT			298				
MANAGER UNIT			4				
TOTAL			302				
TOTAL			302				
FLOOR AREA							
PERMITTED			FAR		Total		
Existing M2 (FAR 3:1)			3		146,448		
Permitted C2 (FAR6:1)			6		292,896		
PROPOSED			FAR		Total		
*Total GSF			3.55		173,325		
PROPOSED BY USE			Total Density				
Residential (FAR 3.34)			163,095				
Commercial (FAR 0.21)			10,230				
Retail			3,200				
Office			7,030				
TOTAL			173,325 (FAR 3.55)				
*Per City of LA definition GSF							
VERTICAL HEIGHT/ STORIES							
EXISTING HEIGHT DISTRICT:			2D - 75'				
PROPOSED BY C2:			4D- UNLIMITED				
PROPOSED PROJECT HEIGHT:			TOWER - 211'-4"				
STORIES:			PARKING STRUCTURE - 62'-0"				
			TOWER - 18				
			PARKING STRUCTURE - 4				
LOT COVERAGE							
			69%				
OPEN SPACE							
REQUIRED			HAB. RMS		Total S.F.		
<3HAB. RMS			298		29,800		
(100 S.F./ UNIT)							
>3 HAB. RMS			4		500		
(125 S.F./ UNIT)							
TOTAL REQUIRED			302		30,300		
PROPOSED					Total S.F.		
EXTERIOR COMMON OPEN SPACE (OPEN TO SKY)							
LEVEL 1			COURTYARD		12,365		
TOTAL					12,365		
EXTERIOR COMMON OPEN SPACE (NOT OPEN TO SKY)							
LEVEL 6 & 7					1,350		
LEVEL 14 &15					1,350		
LEVEL 18					2,200		
LEVEL 5 - PARKING STRCT.					5,295		
TOTAL					10,195		
INTERIOR RECREATION ROOM							
LEVEL 2					1,985		
LEVEL 3 - TOWER					4,215		
LEVEL 18					1,320		
TOTAL					7,520		
PROPOSED TOTAL EXTERIOR COMMON OPEN SPACE					12,365		
PROPOSED TOTAL INT. COM. OPEN SPACE (NOT OPEN TO SKY) + INTERIOR REC. ROOM					17,715		
PROPOSED TOTAL					30,080		
LANDSCAPE							
REQUIRED:			SF				
OPEN SPACE REQUIRED			30,300				
LANDSCAPE AT 25%			7,575				
PROPOSED:			8,990				
TREE REQUIREMENT							
REQUIRED:			TOTAL				
(1TREE/ 4 UNITS)			76				
PROPOSED:			39				
PARKING REQUIREMENT							
REQUIRED			HAB. RMS		REQ'D		
RESIDENTIAL			298		0		
AFFORDABLE UNITS			4		4		
MANAGER UNITS			4		4		
TOTAL					4		
COMMERCIAL			SPACES/ SF		SF		
			1/1,000 sf		10,230		
TOTAL					15		
PROPOSED			TOTAL				
RESIDENTIAL							
AFFORDABLE UNITS			0				
MANAGER UNITS			4				
COMMERCIAL			208				
TOTAL			212				
BICYCLE PARKING							
REQUIRED							
RESIDENTIAL							
ORDINANCE IMPLEMENTATION							
DU		UNITS THIS TIER		ST-BICYCLE RATIO		SHORT TERM	
1-25		25		1:10		LT-BICYCLE RATIO	
26-100		75		1:15		LONG TERM	
101-200		100		1:20		S+L TRM	
201-302		102		1:40			
SUB		302		-			
RETAIL				16		151	
3,200				1:2,000		2	
OFFICE				1:10,000		2	
6,945						3	
TOTAL				20		155	
PROPOSED						175	
RESIDENTIAL				16		158	
RETAIL				2		6	
OFFICE				4		8	
TOTAL				22		10	
						192	
SOLAR SF							
ROOF- TOWER			2,500				
ROOF- PARKING STRUC. OPEN SPACE			3,500				
TOTAL			6,000				



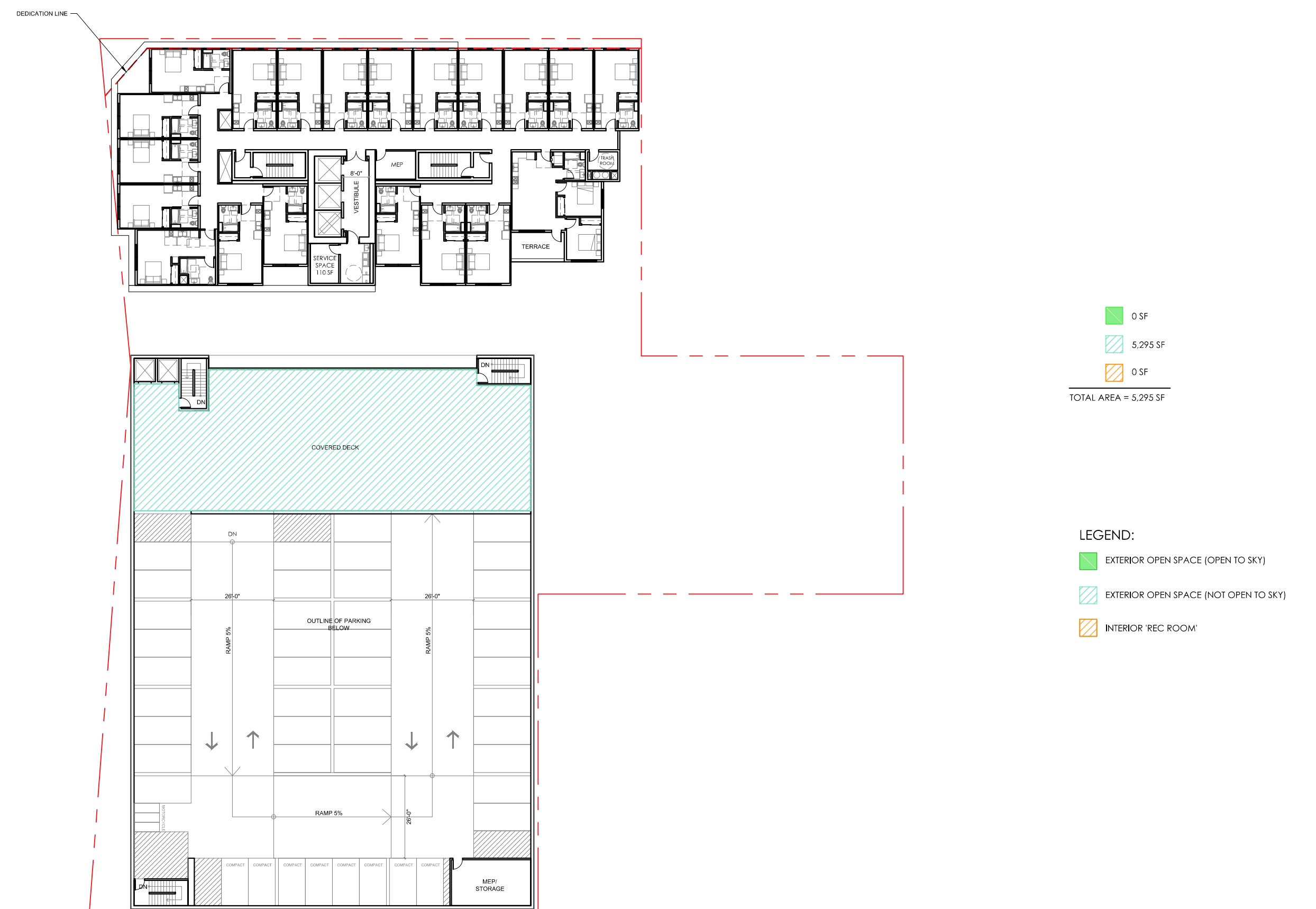
1 LEVEL 1
SCALE: 1/32" = 1'-0"



2 LEVEL 2
SCALE: 1/32" = 1'-0"



3 LEVEL 3
SCALE: 1/32" = 1'-0"



4 LEVEL 5
SCALE: 1/32" = 1'-0"

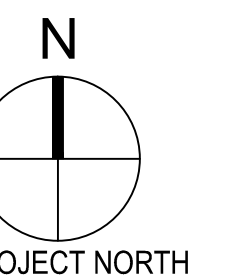
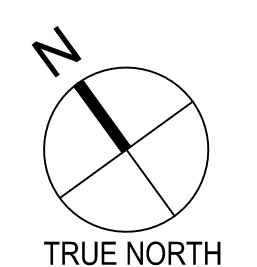
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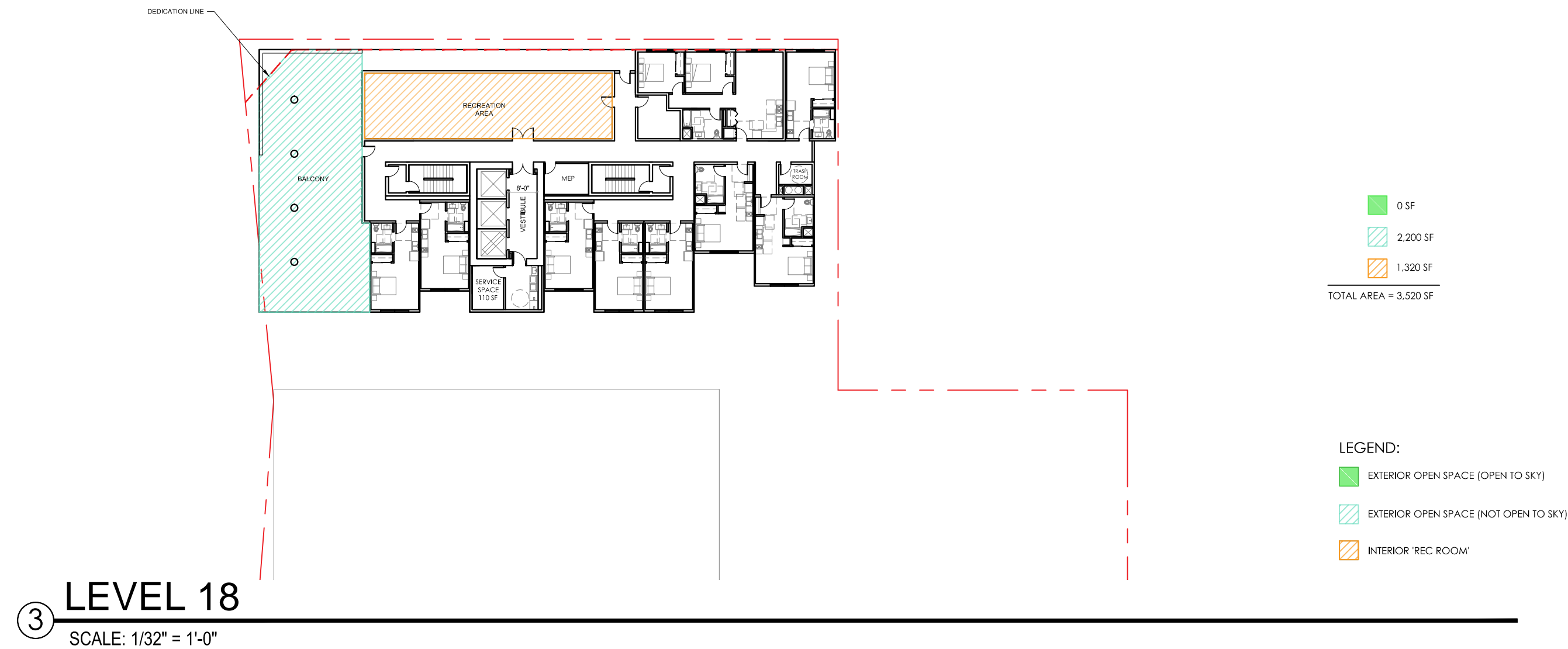
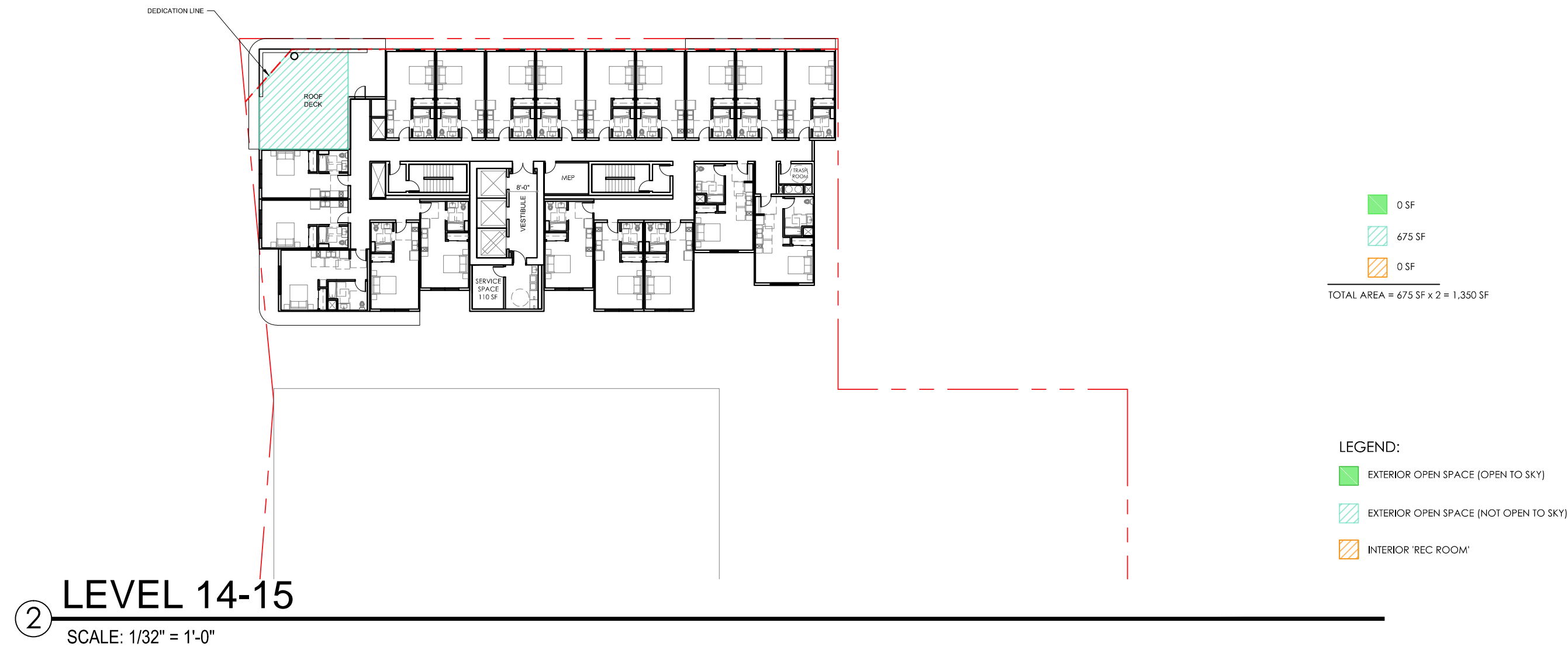
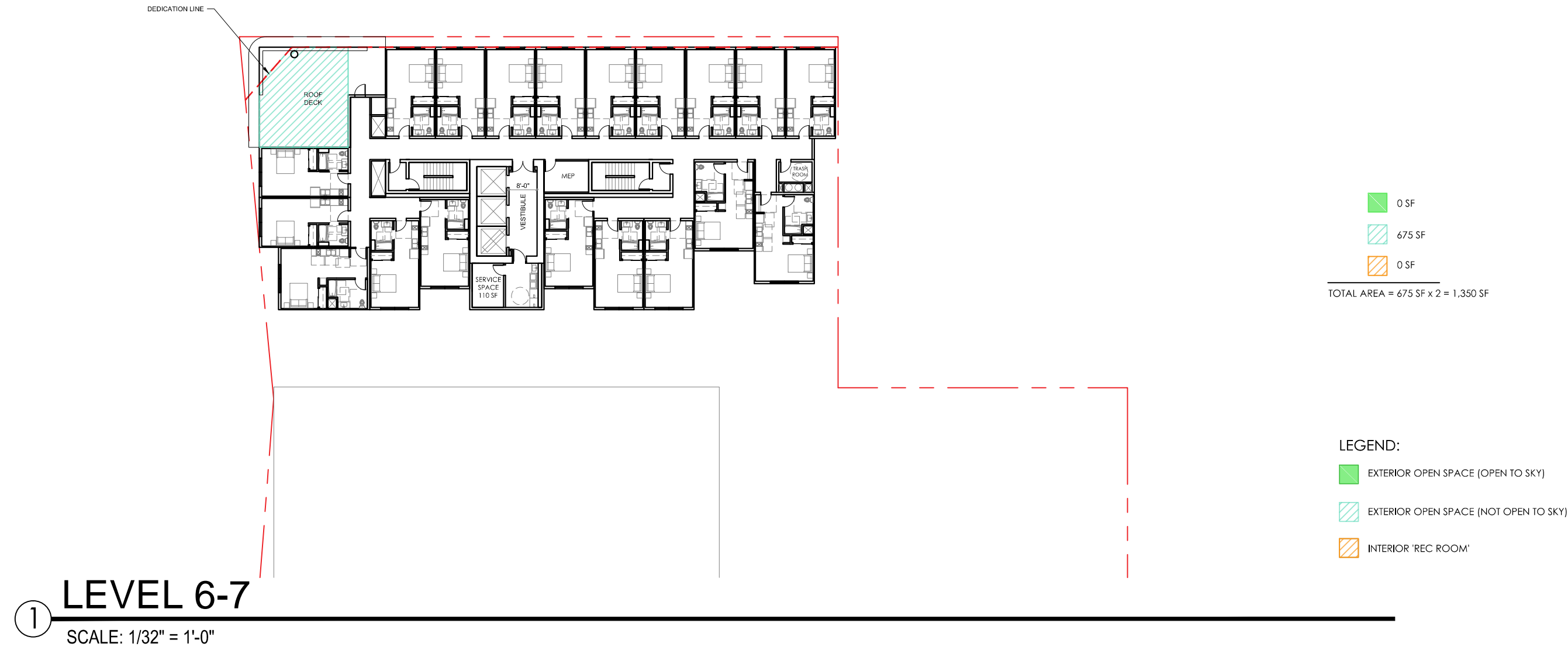
REQUIRED OPEN SPACE:

298 UNITS X 100 SF/ UNIT	30,200
4 UNITS X 125 SF/ UNIT	100
TOTAL	30,300

PROPOSED:

EXTERIOR OPEN SPACE (OPEN TO SKY)	12,365
EXTERIOR OPEN SPACE (NOT OPEN TO SKY)	10,195
INTERIOR 'REC ROOM'	7,520
TOTAL	30,080 SF





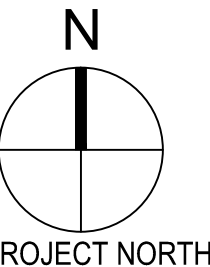
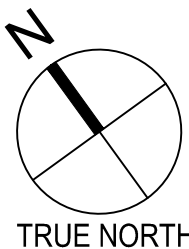
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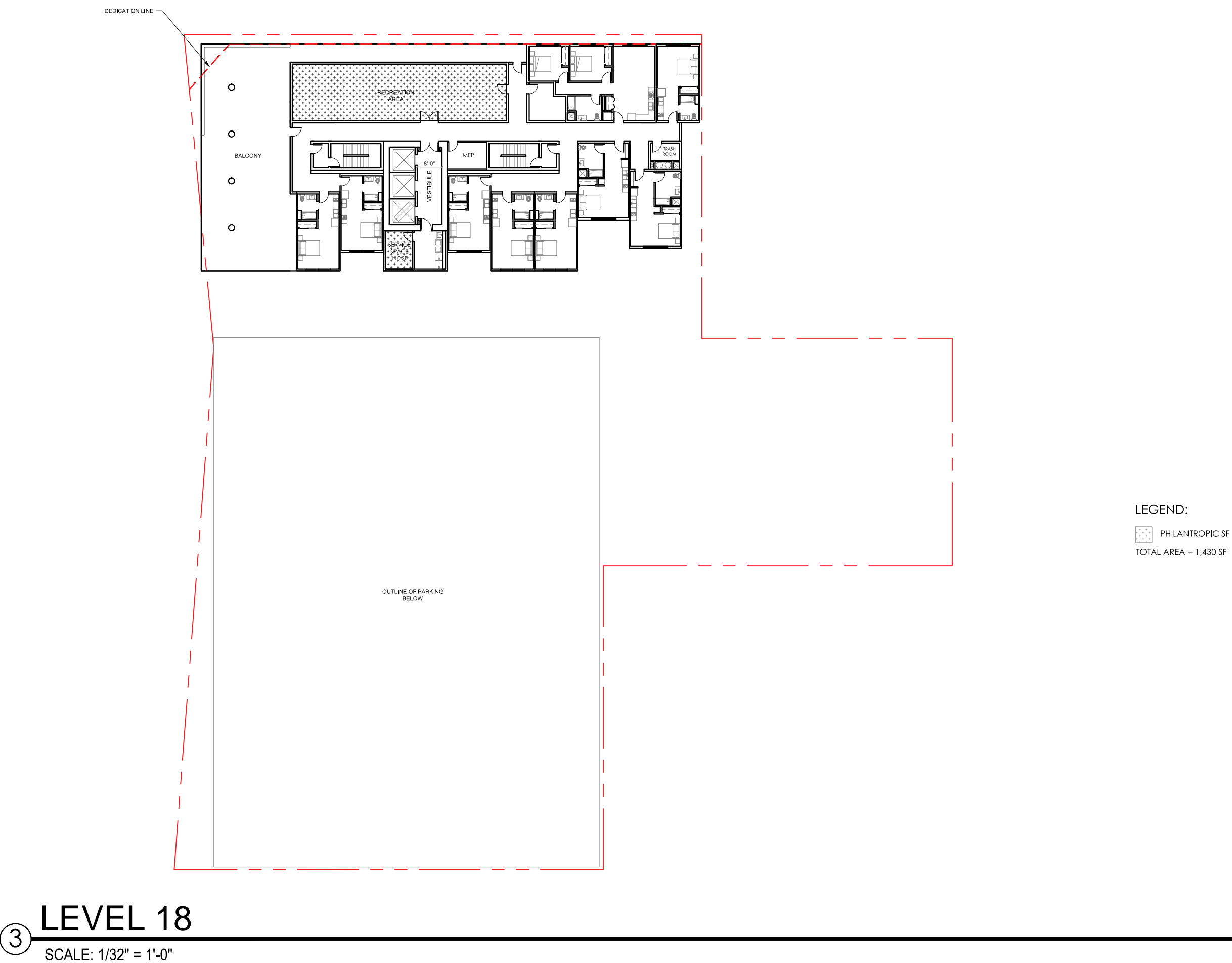
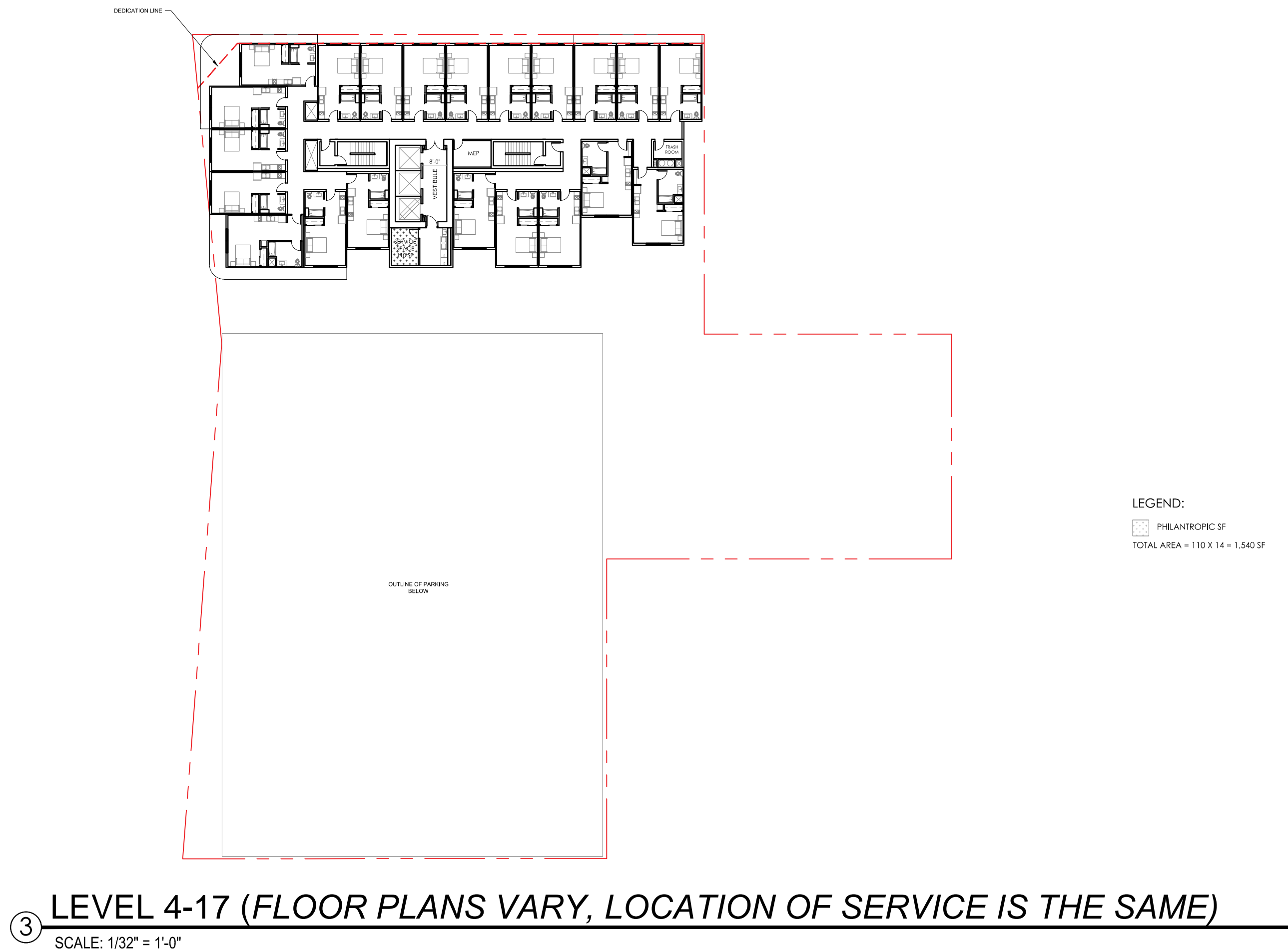
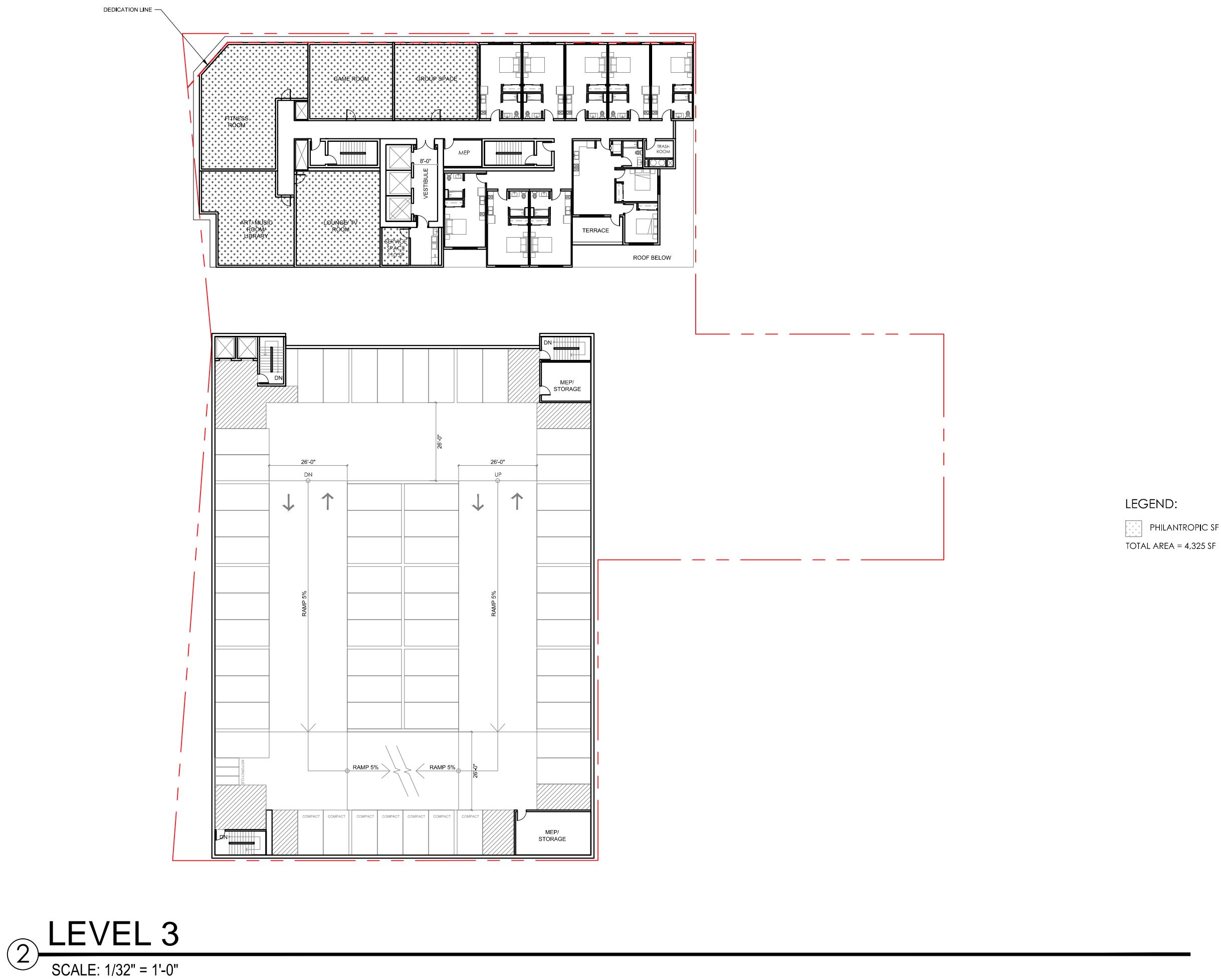
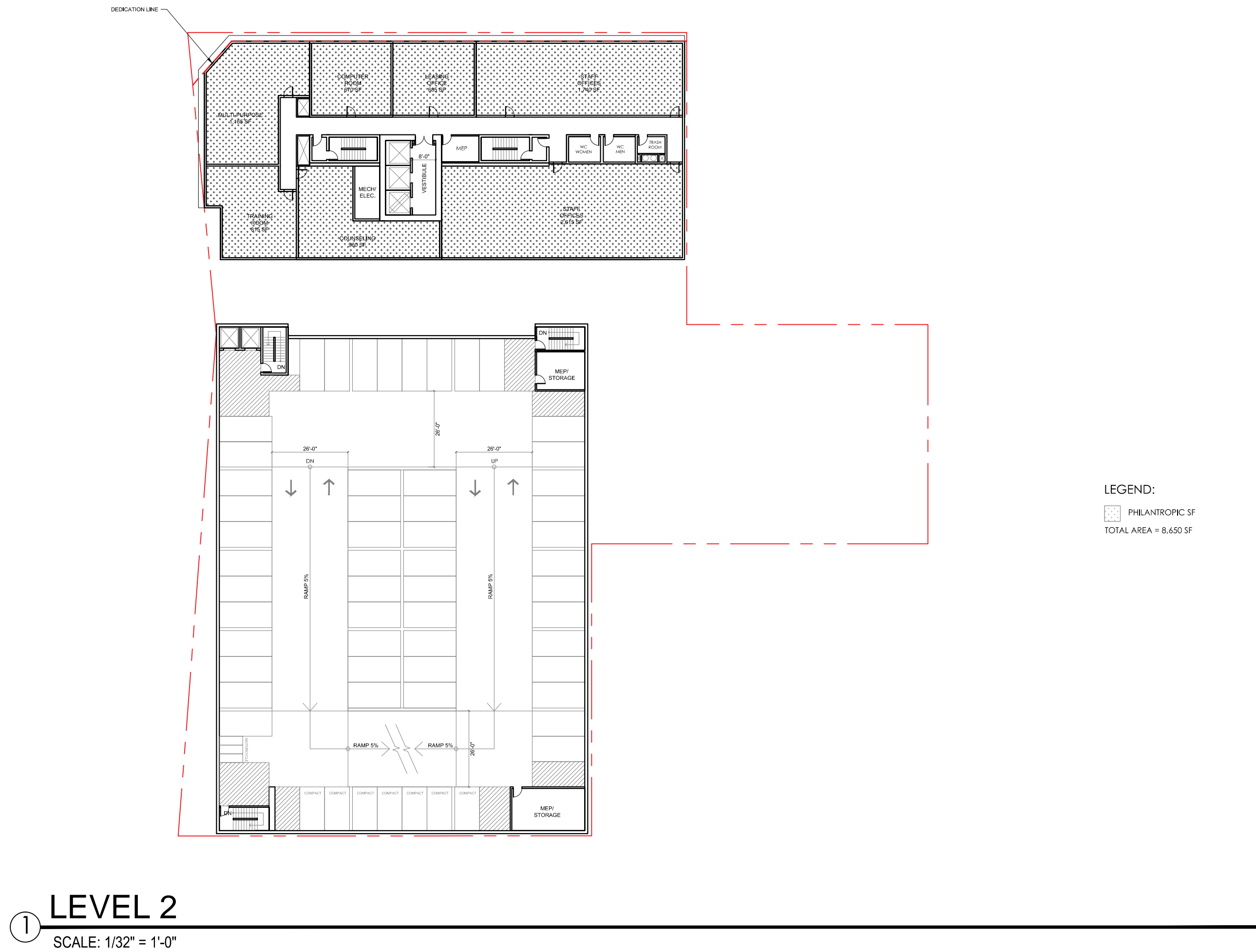
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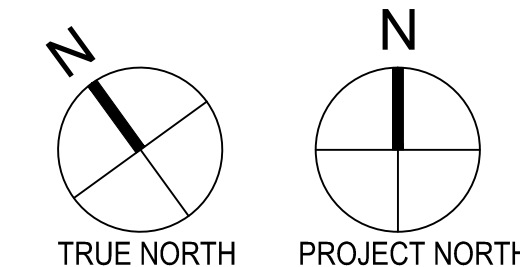
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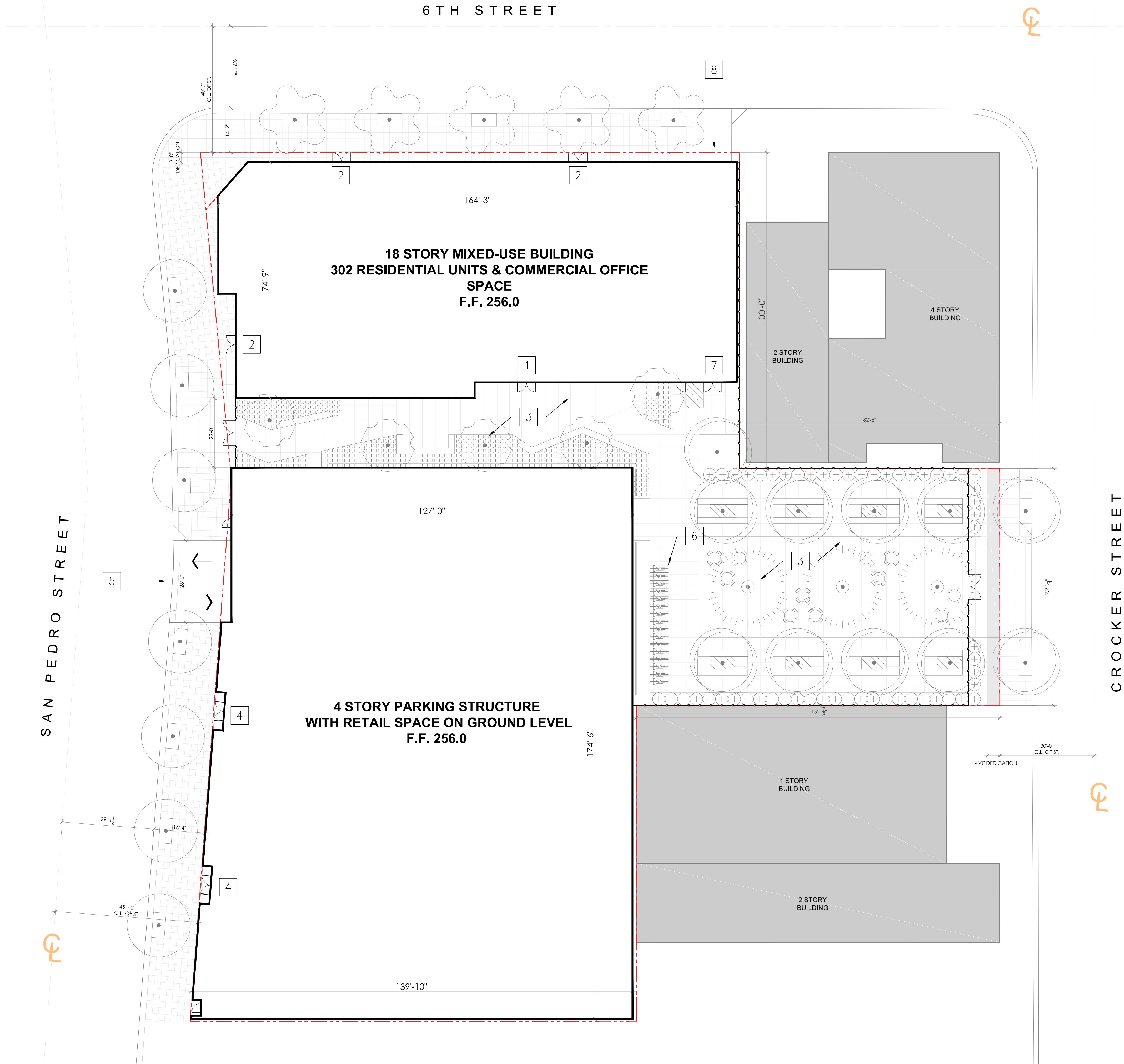




PHILANTHROPIC SF

LEVEL 2: 8,650 SF
 LEVEL 3: 4,325 SF
 LEVEL 4-17: 1,540 SF
 LEVEL 18: 1,430 SF
TOTAL: 15,945 SF





PROJECT INFORMATION

PROJECT ADDRESS:
 600 - 628 S. SAN PEDRO ST., LOS ANGELES, CA 90013;
 611- 615 S. CROCKER ST., LOS ANGELES, CA 90013
 518 - 522 E. 6th ST., LOS ANGELES, CA 90013

PROJECT DESCRIPTION:
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LEGAL DESCRIPTION:
 REAL PROPERTY IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
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ACCESSOR PARCEL NUMBER:
 5147026033

ARB NUMBERS: INCLUDED IN LEGAL DESCRIPTION

ZONING:
 EXISTING: M2-2D
 PROPOSED: C2-4D

KEYNOTES

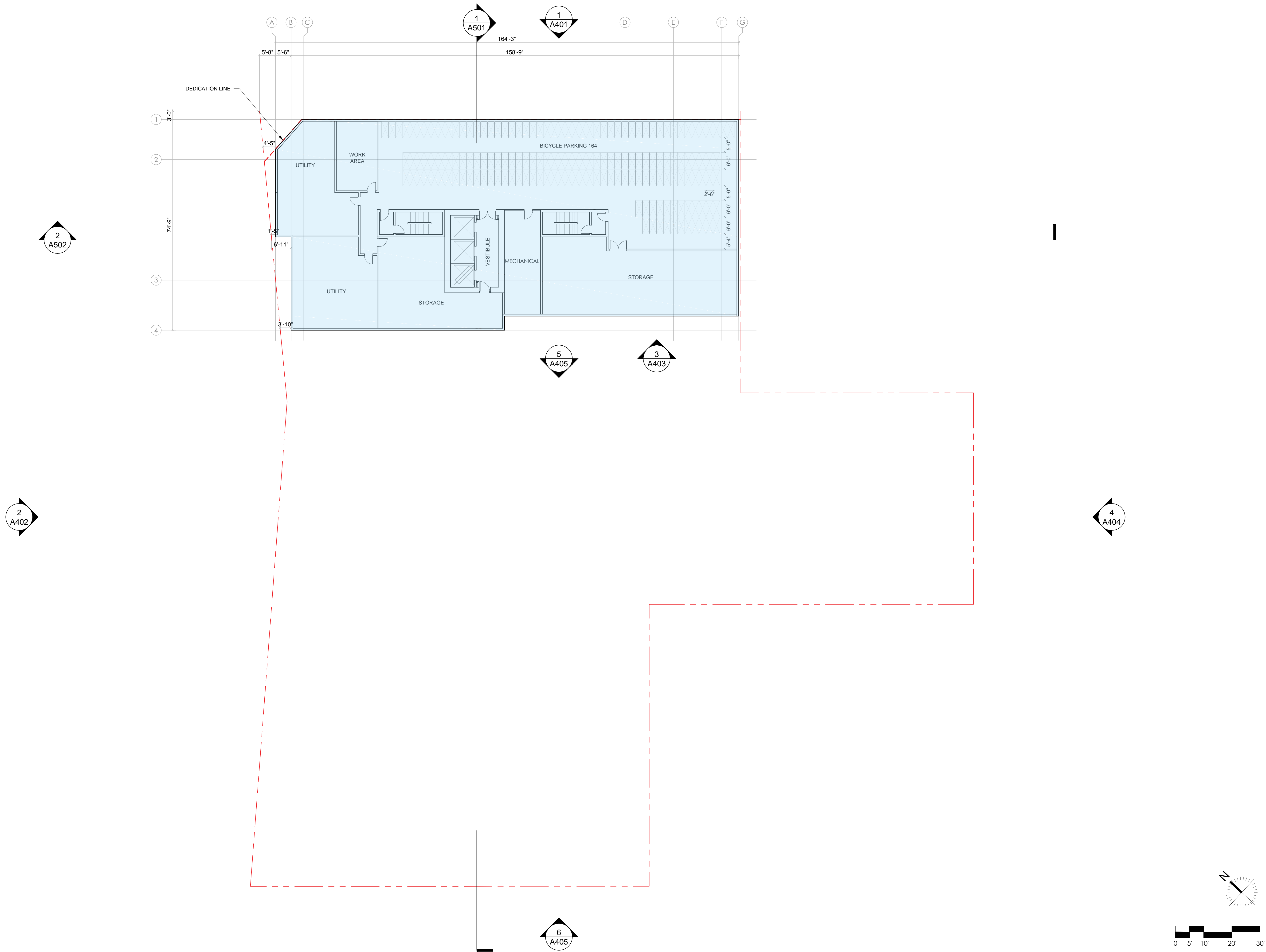
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- 2 COMMERCIAL/OFFICE ENTRANCE
- 3 COURTYARD (SEE LANDSCAPE)
- 4 RETAIL ENTRANCE
- 5 PARKING STRUCTURE ENTRANCE
- 6 SHORT TERM BICYCLE PARKING
- 7 TRASH ROOM ACCESS
- 8 LOADING ACCESS

LEGEND

- PROPERTY LINE
- DEDICATION LINE
- NEW DECORATIVE FENCE

PROJECT NORTH TRUE NORTH

0' 5' 10' 20' 30'



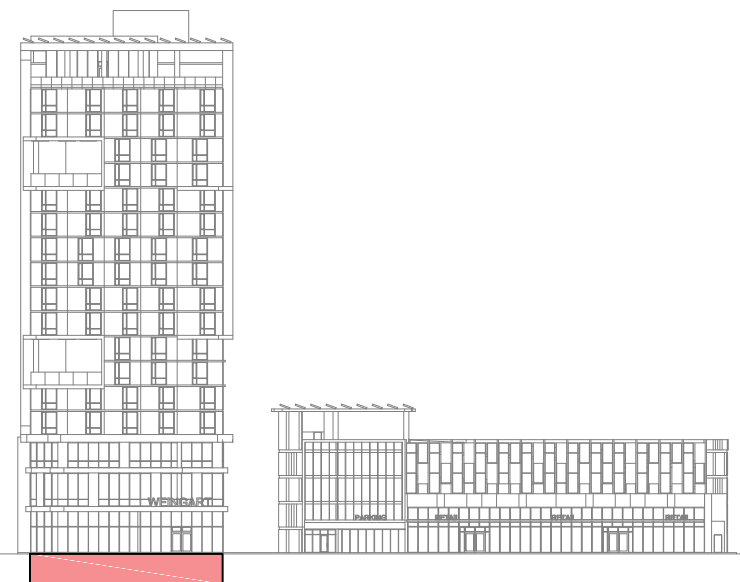
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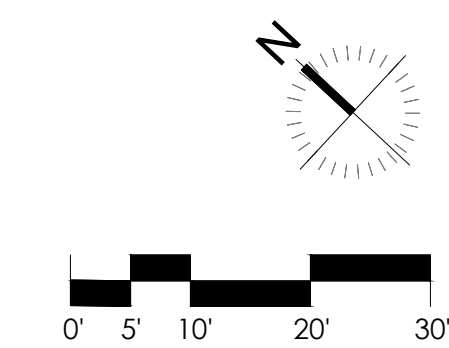
BICYCLE	
LONG TERM:	
RESIDENTIAL	158
OFFICE	6
TOTAL	164

LEGEND

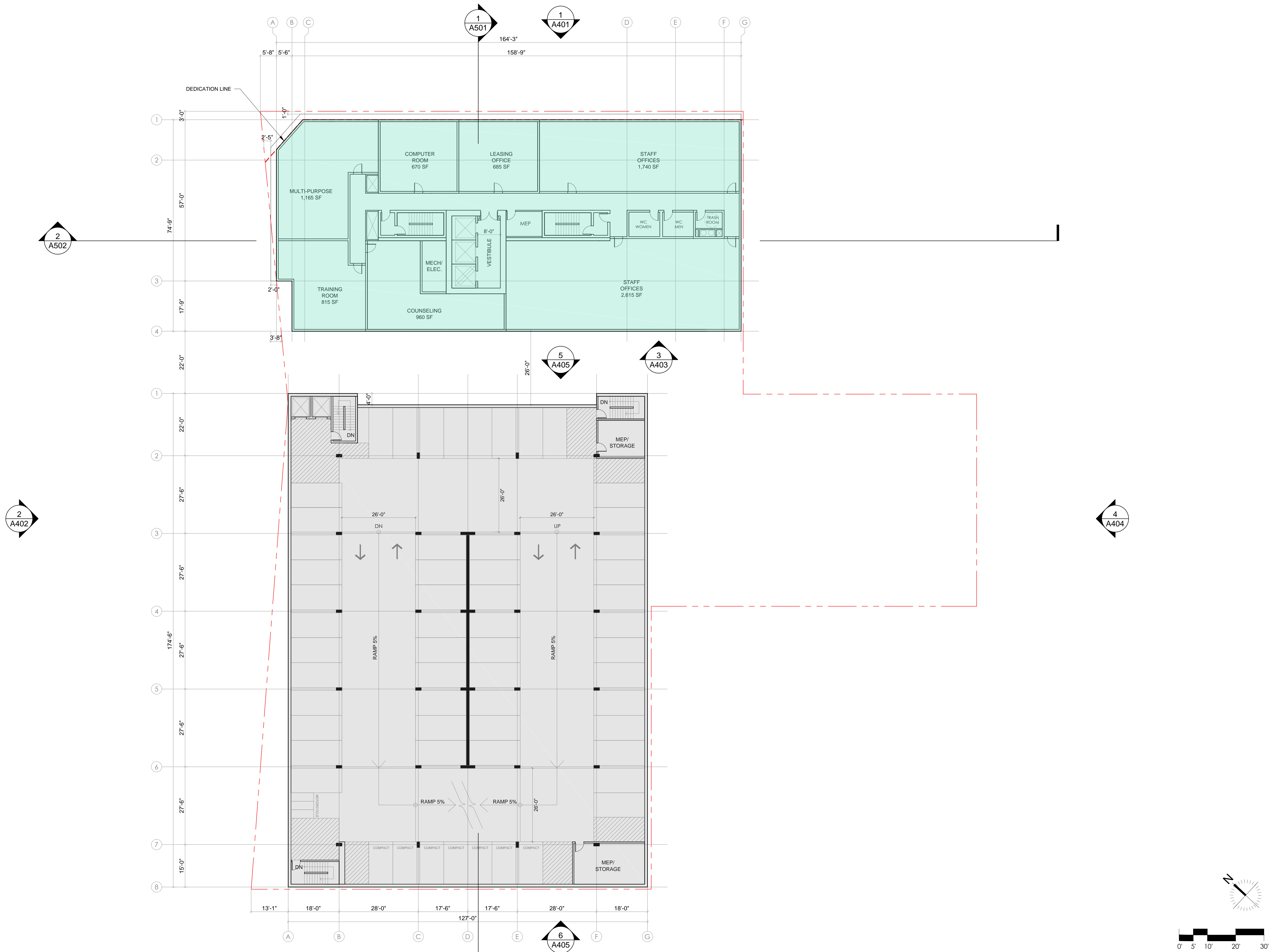
- PROPERTY LINE
- DEDICATION LINE
- ACCESSIBLE PARKING STALL
- ACCESSIBLE VAN PARKING STALL
- VAN

KEY MAP





KEY MAP



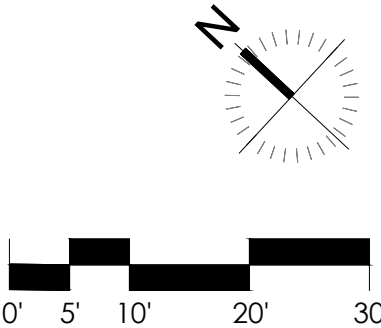
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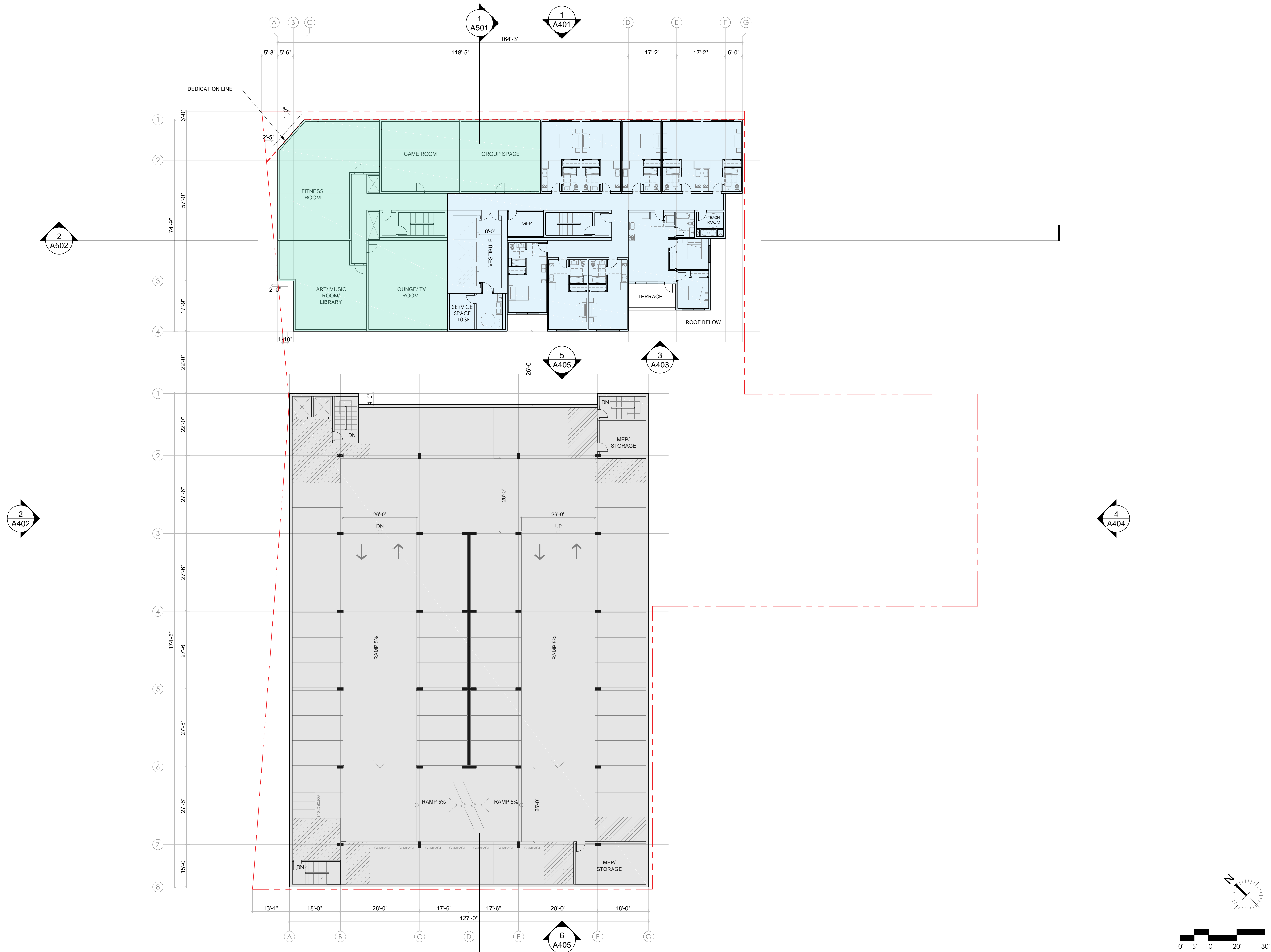
PARKING	
STANDARD	53
TOTAL	53

LEGEND

---	PROPERTY LINE
-.-.-	DEDICATION LINE

KEY MAP





FLOOR PLAN DATA

UNIT COUNT	
STUDIO	8
MANAGER	1
TOTAL	9

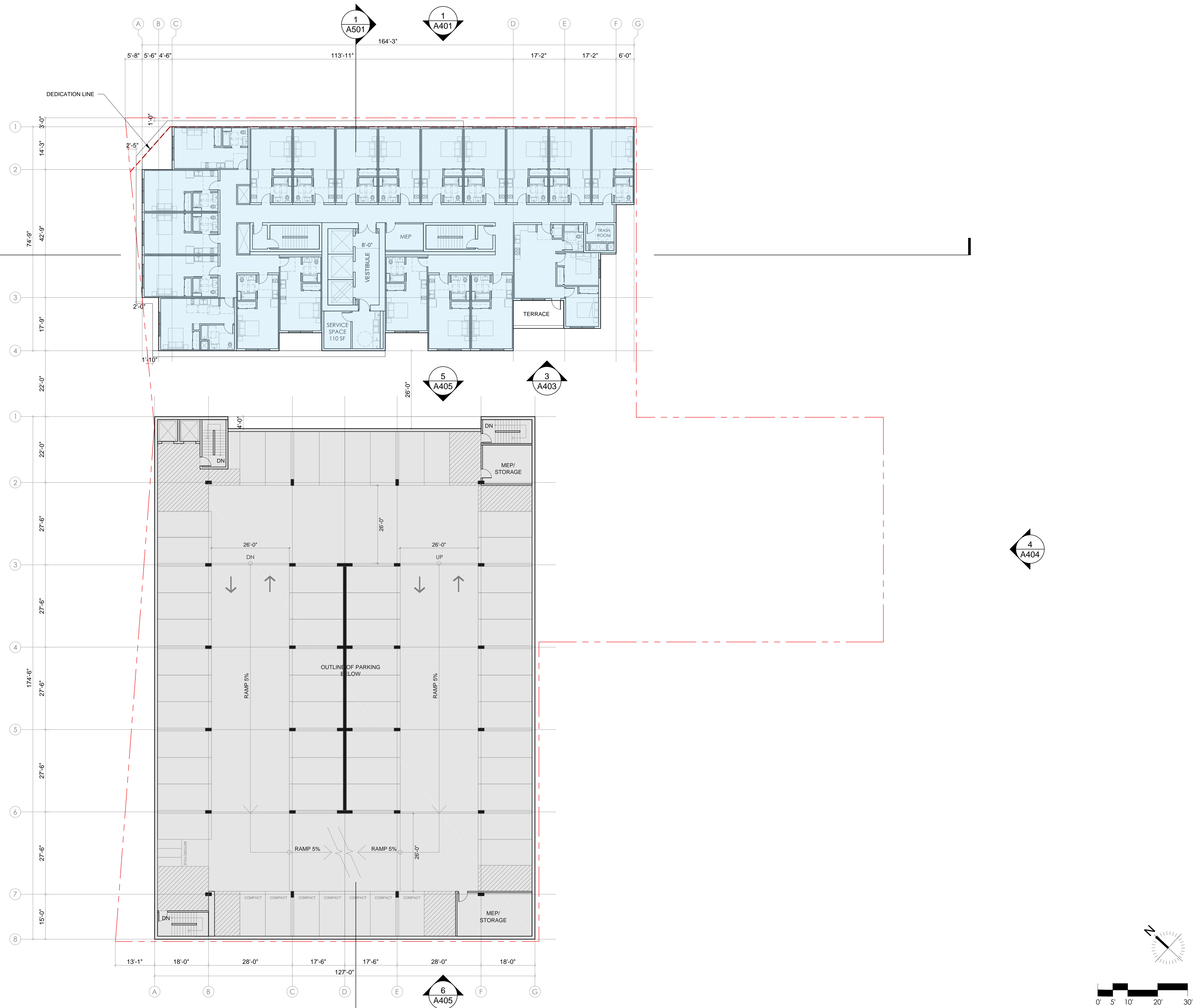
PARKING	
STANDARD	53
TOTAL	53

LEGEND

- PROPERTY LINE
- .-.- DEDICATION LINE

KEY MAP





FLOOR PLAN DATA

UNIT COUNT	
STUDIO	19
MANAGER	1
TOTAL	20

PARKING	
STANDARD	53
TOTAL	53

LEGEND

- PROPERTY LINE
- DEDICATION LINE

KEY MAP

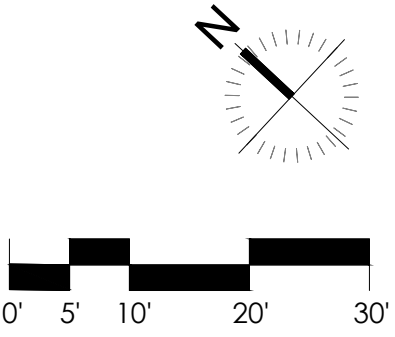
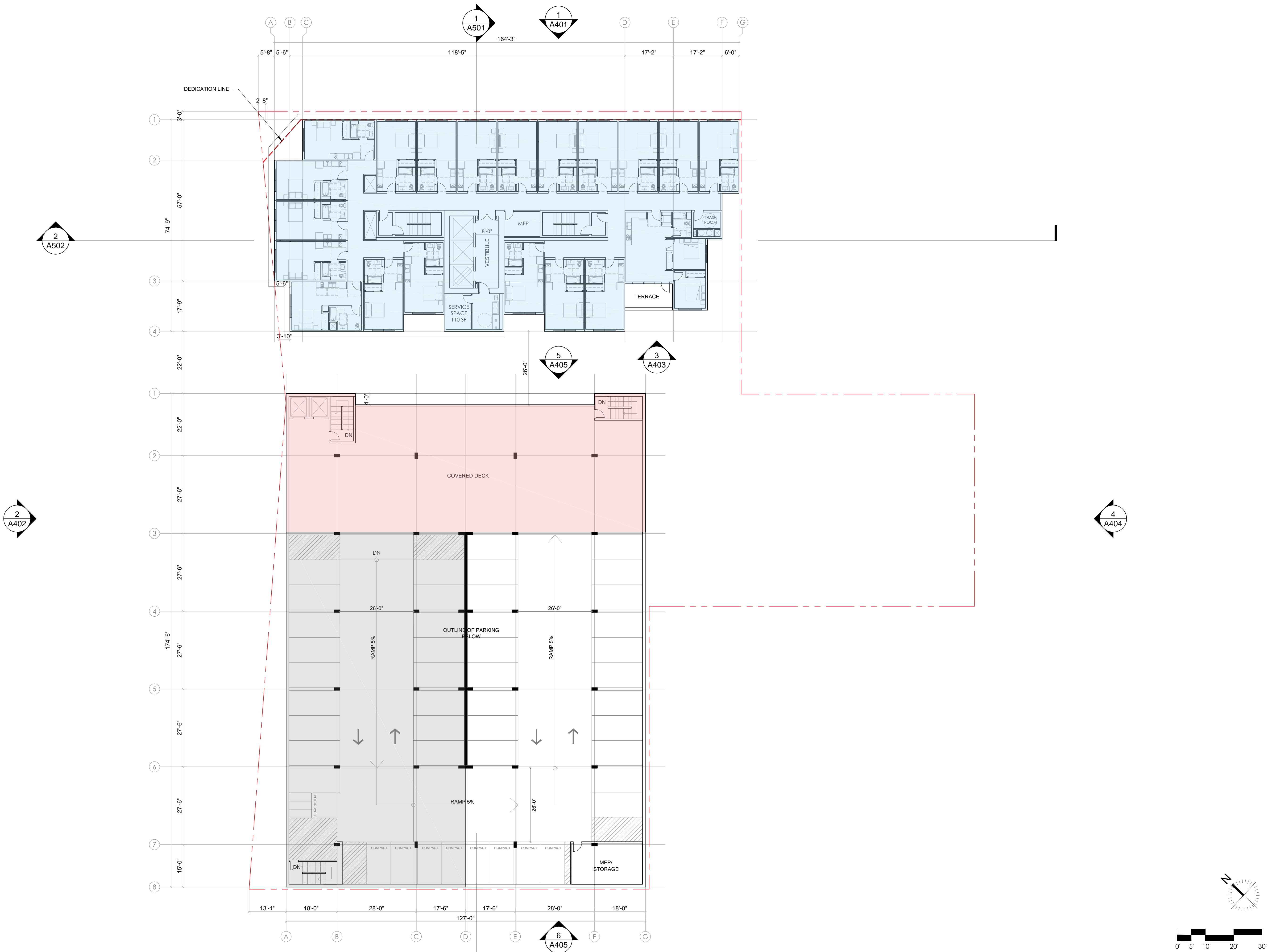
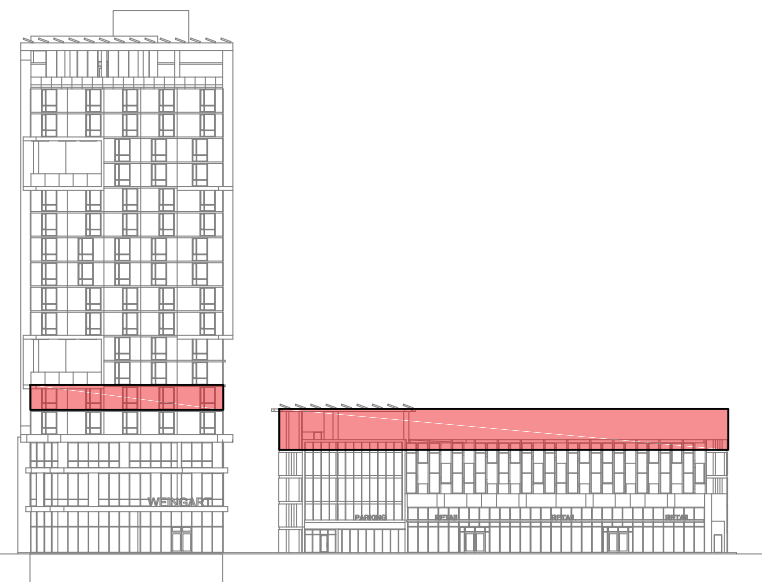
FLOOR PLAN DATA

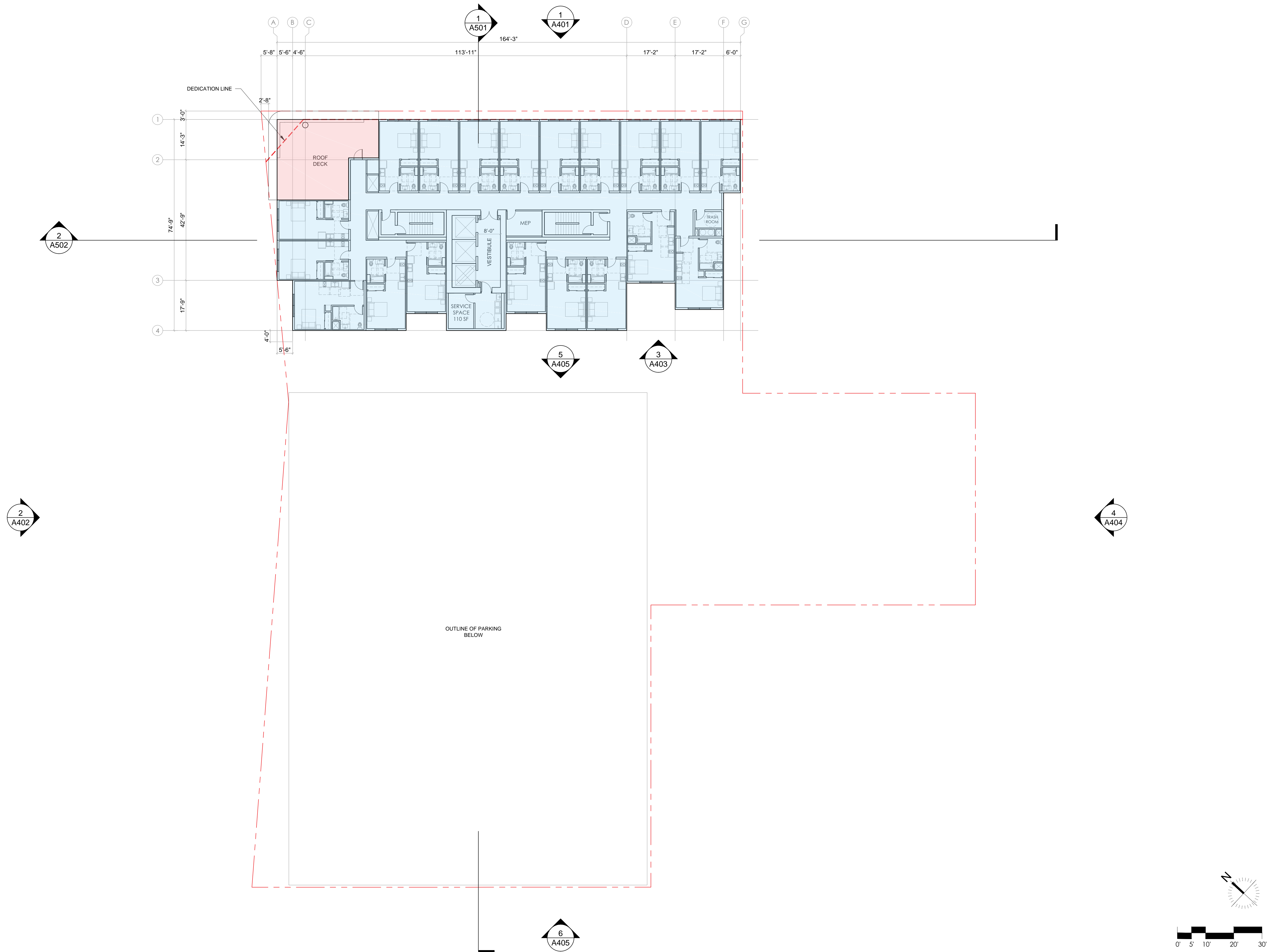
UNIT COUNT	
STUDIO	19
MANAGER	1
TOTAL	20
PARKING	
STANDARD	21
TOTAL	21
SOLAR	
ROOF OVER DECK	3,500 SF

LEGEND

- PROPERTY LINE
- DEDICATION LINE

KEY MAP





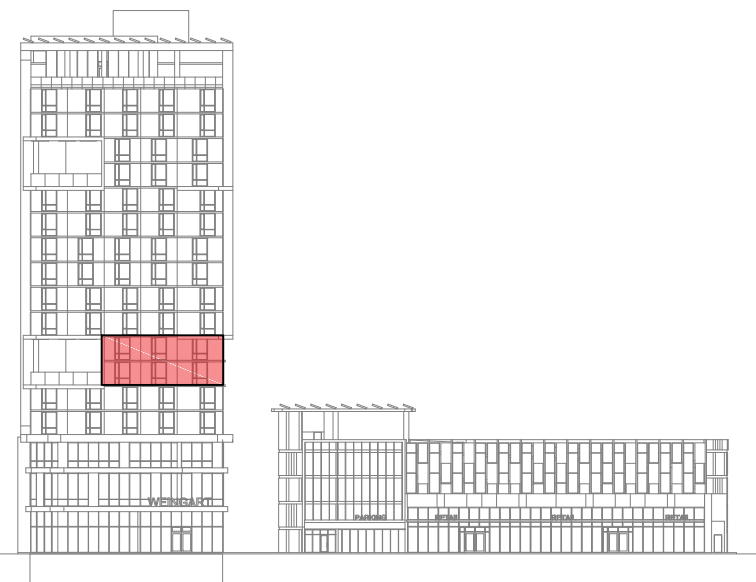
FLOOR PLAN DATA

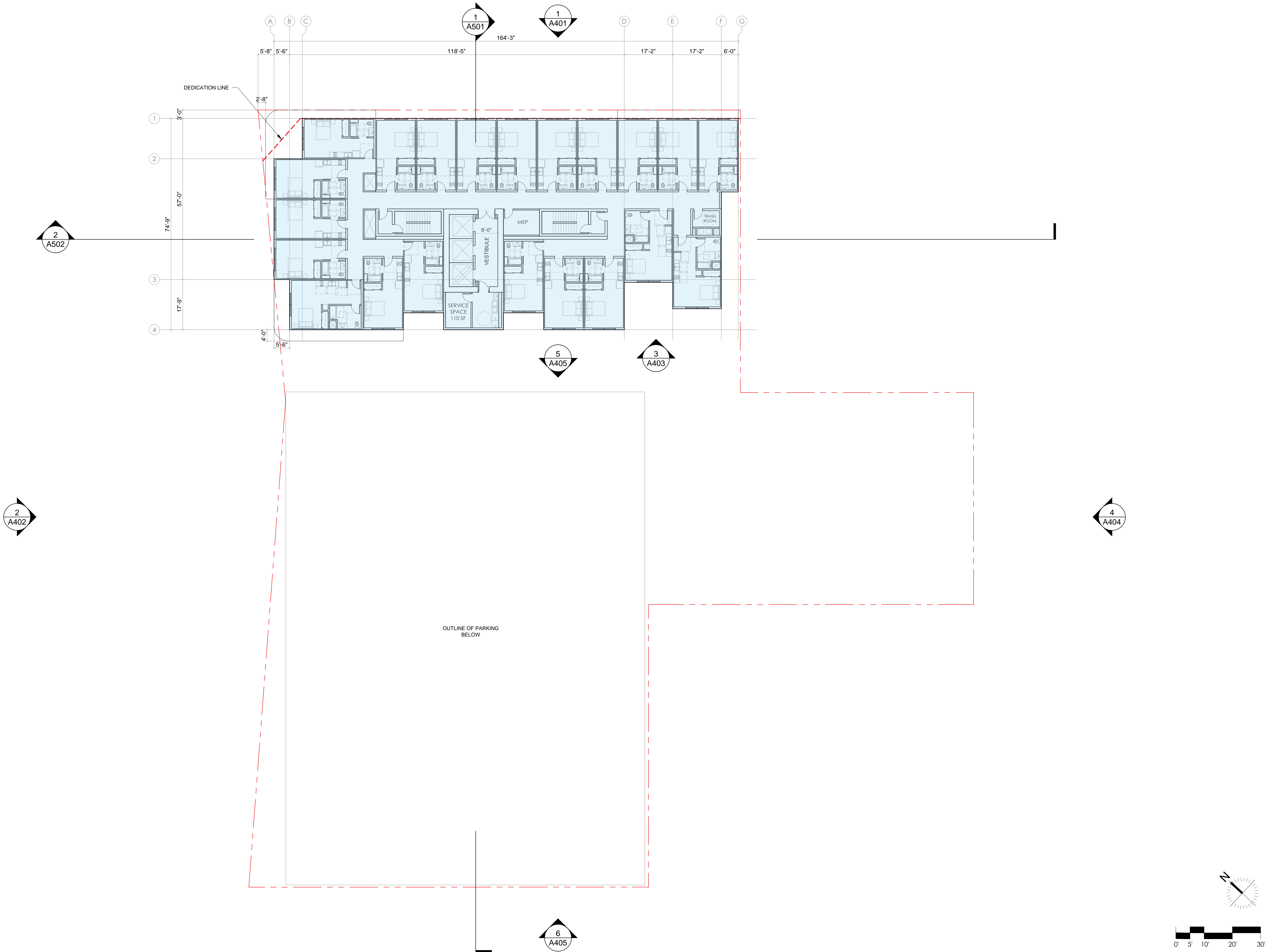
UNIT COUNT	
STUDIO	19/ FLR
TOTAL	19/ FLR

LEGEND

---	PROPERTY LINE
---	DEDICATION LINE

KEY MAP





FLOOR PLAN DATA

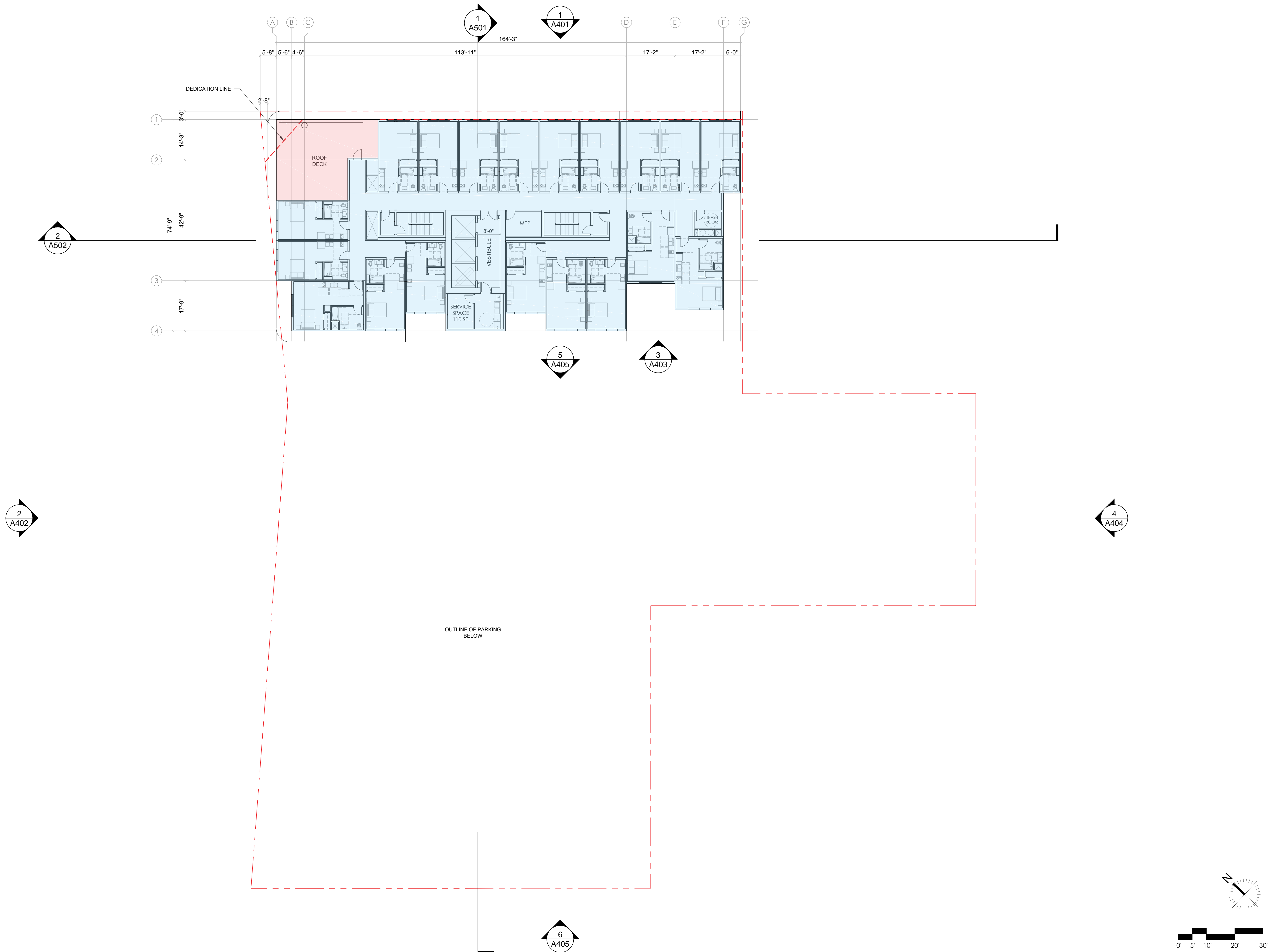
UNIT COUNT	
STUDIO	21/ FLR
TOTAL	21/ FLR

LEGEND

- PROPERTY LINE
- DEDICATION LINE

KEY MAP





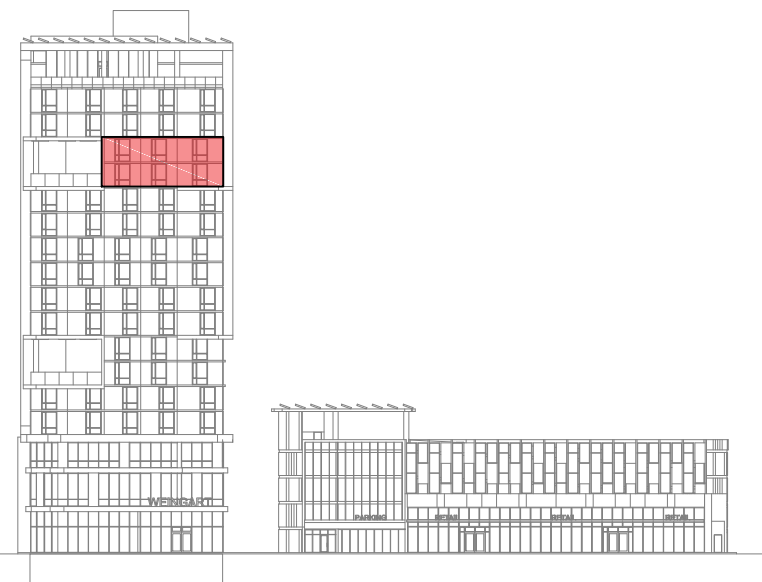
FLOOR PLAN DATA

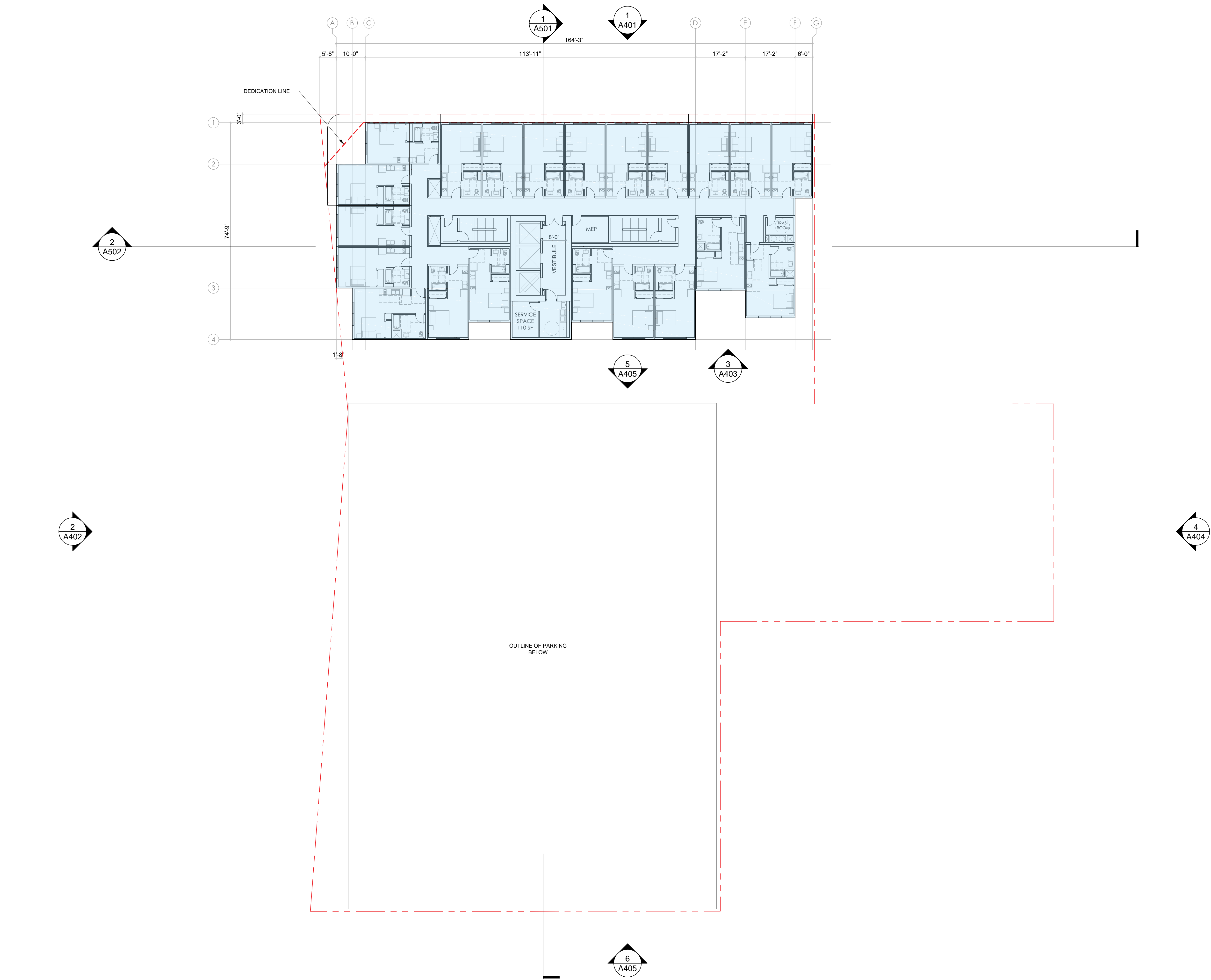
UNIT COUNT	
STUDIO	19/ FLR
TOTAL	19/ FLR

LEGEND

- PROPERTY LINE
- DEDICATION LINE

KEY MAP







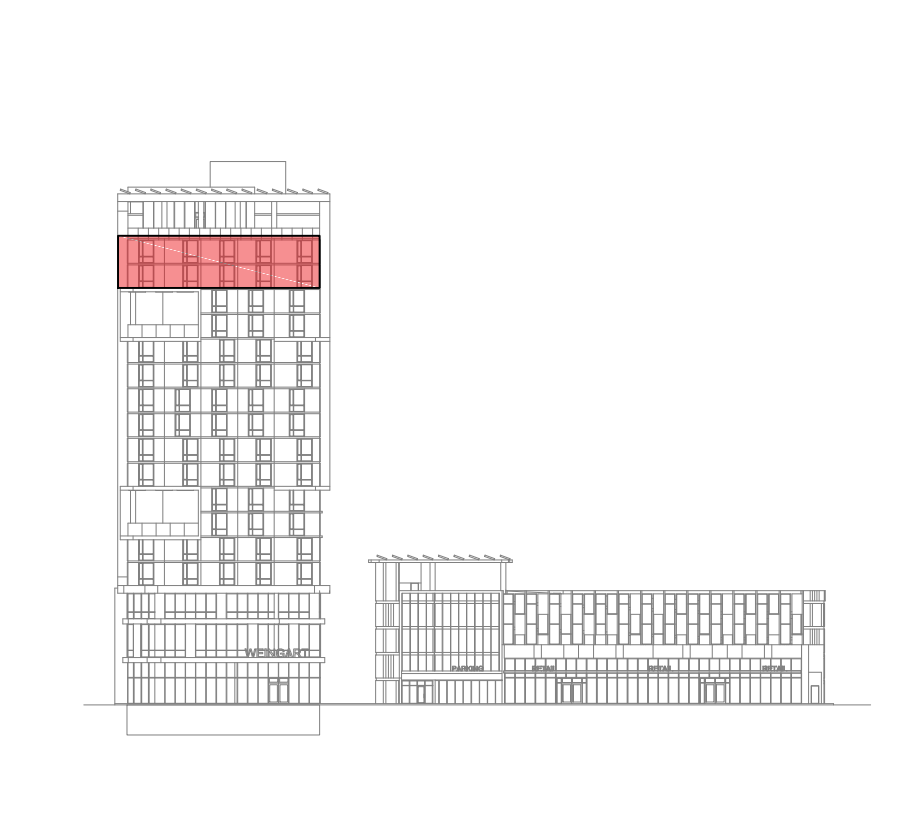
FLOOR PLAN DATA

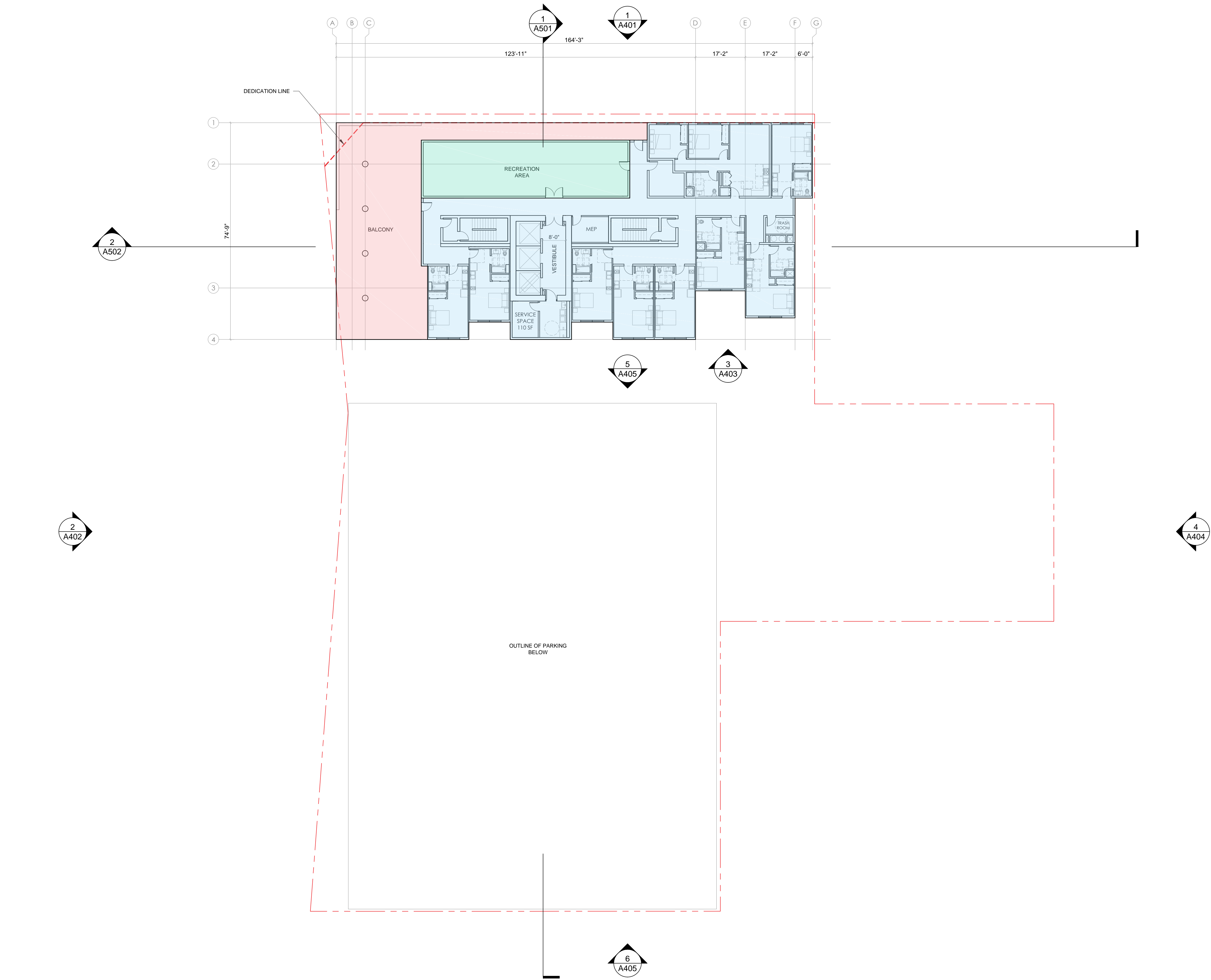
UNIT COUNT	
STUDIO	21 / FLR
TOTAL	21 / FLR

LEGEND

	PROPERTY LINE
	DEDICATION LINE

KEY MAP





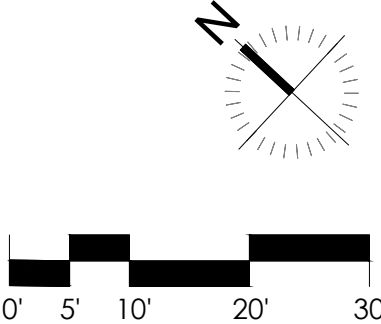
FLOOR PLAN DATA

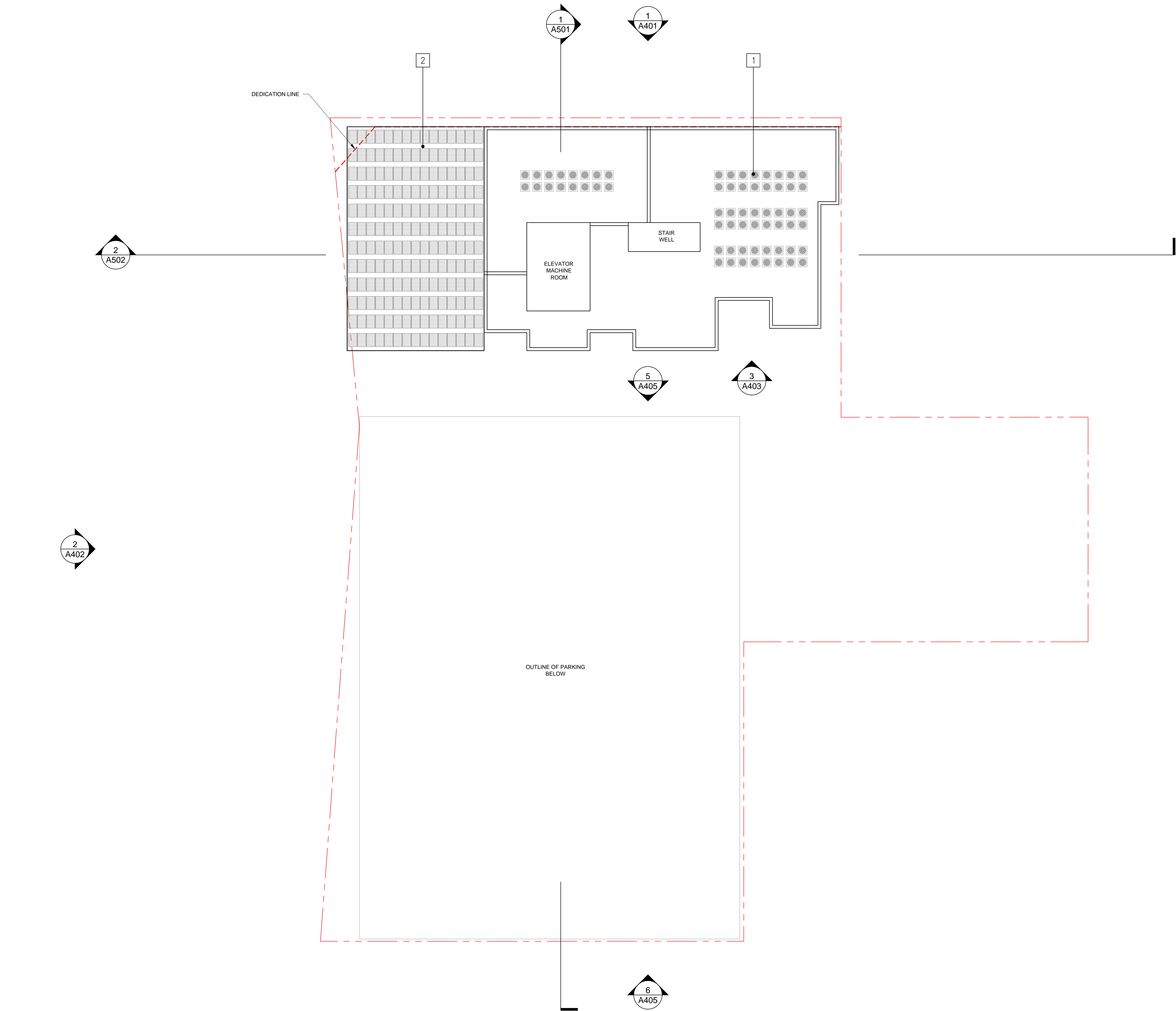
UNIT COUNT	
STUDIO	8
MANAGER	1
TOTAL	9

LEGEND

- PROPERTY LINE
- DEDICATION LINE

KEY MAP





FLOOR PLAN DATA

SOLAR
ON ROOF 2,500 SF

KEYNOTES

- 1 MECHANICAL EQUIPMENT
- 2 SOLAR PANELS

LEGEND

- PROPERTY LINE
- DEDICATION LINE

KEY MAP





① NORTH ELEVATION

KEYNOTES

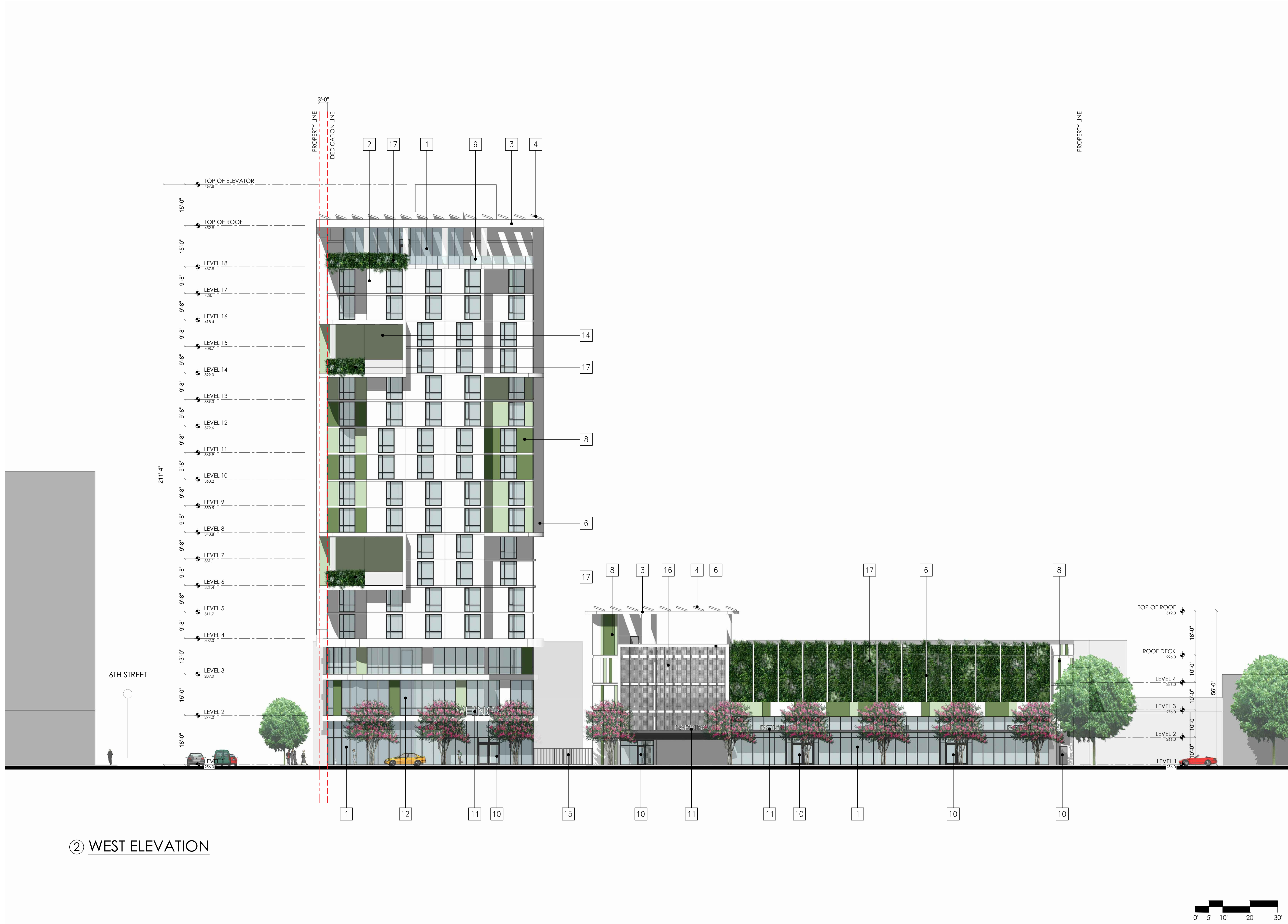
- 1 STOREFRONT SYSTEM
- 2 PRECAST CONCRETE PANELS
- 3 METAL TRELLIS
- 4 PHOTOVOLTAIC PANELS
- 5 EXPOSED SLAB
- 6 METAL TRIM/ FINS
- 7 WINDOWS
- 8 COMPOSITE METAL PANELS
- 9 GLASS GUARDRAIL
- 10 DOOR
- 11 SIGNAGE
- 12 WINDOW WALL SYSTEM
- 13 METAL LOUVERS
- 14 PAINTED STUCCO OR CONCRETE
- 15 FENCE
- 16 PERFORATED METAL
- 17 42" PLANTER/ RAILING WITH VEGETATION

LEGEND

- PROPERTY LINE
- DEDICATION LINE

KEY MAP

PARKING GARAGE



② WEST ELEVATION

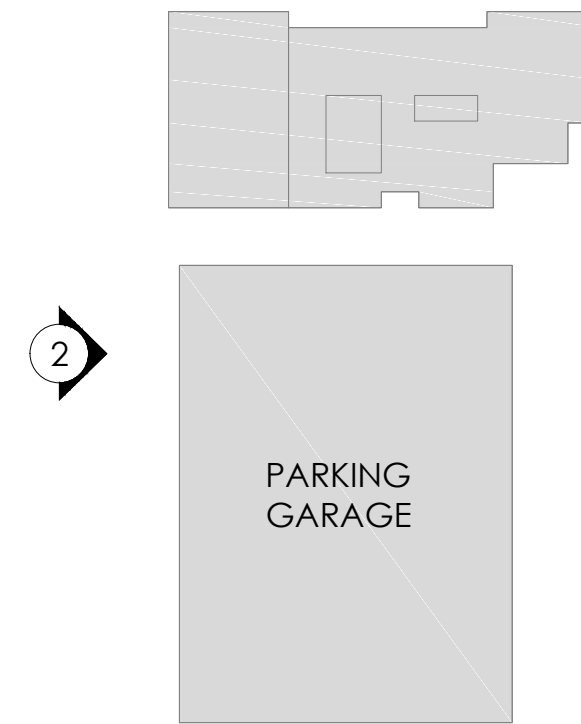
KEYNOTES

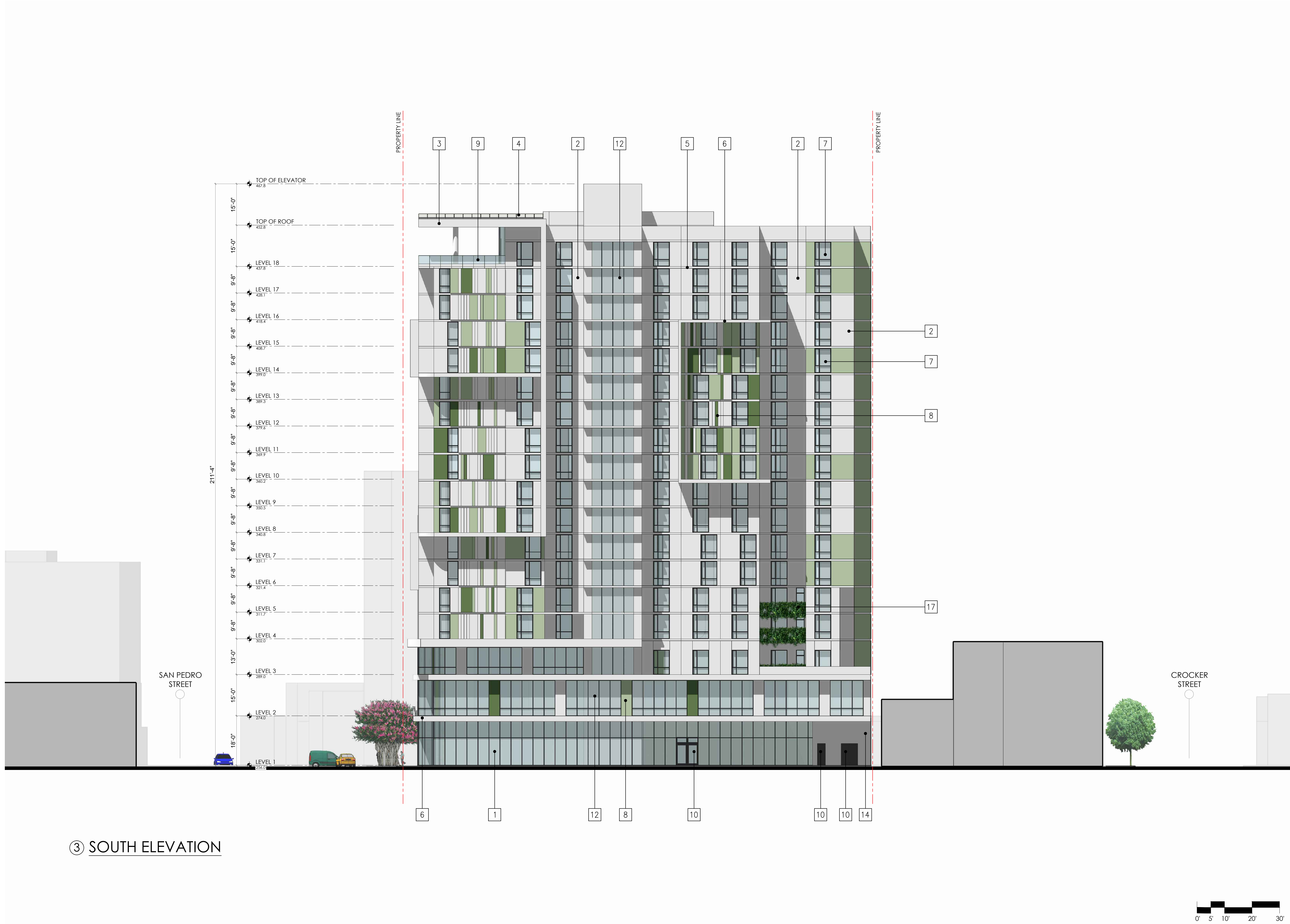
- 1 STOREFRONT SYSTEM
- 2 PRECAST CONCRETE PANELS
- 3 METAL TRELLIS
- 4 PHOTOVOLTAIC PANELS
- 5 EXPOSED SLAB
- 6 METAL TRIM/ FINS
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- 13 METAL LOUVERS
- 14 PAINTED STUCCO OR CONCRETE
- 15 FENCE
- 16 PERFORATED METAL
- 17 42" PLANTER/ RAILING WITH VEGETATION

LEGEND

- PROPERTY LINE
- DEDICATION LINE

KEY MAP





③ SOUTH ELEVATION



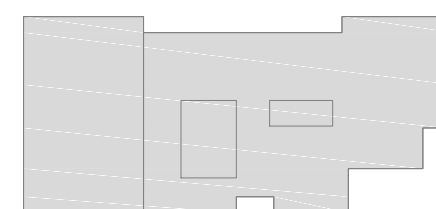
KEYNOTES

- 1 STOREFRONT SYSTEM
- 2 PRECAST CONCRETE PANELS
- 3 METAL TRELLIS
- 4 PHOTOVOLTAIC PANELS
- 5 EXPOSED SLAB
- 6 METAL TRIM/ FINS
- 7 WINDOWS
- 8 COMPOSITE METAL PANELS
- 9 GLASS GUARDRAIL
- 10 DOOR
- 11 SIGNAGE
- 12 WINDOW WALL SYSTEM
- 13 METAL LOUVERS
- 14 PAINTED STUCCO OR CONCRETE
- 15 FENCE
- 16 PERFORATED METAL

LEGEND

- PROPERTY LINE
- DEDICATION LINE

KEY MAP



BUILDING ELEVATION

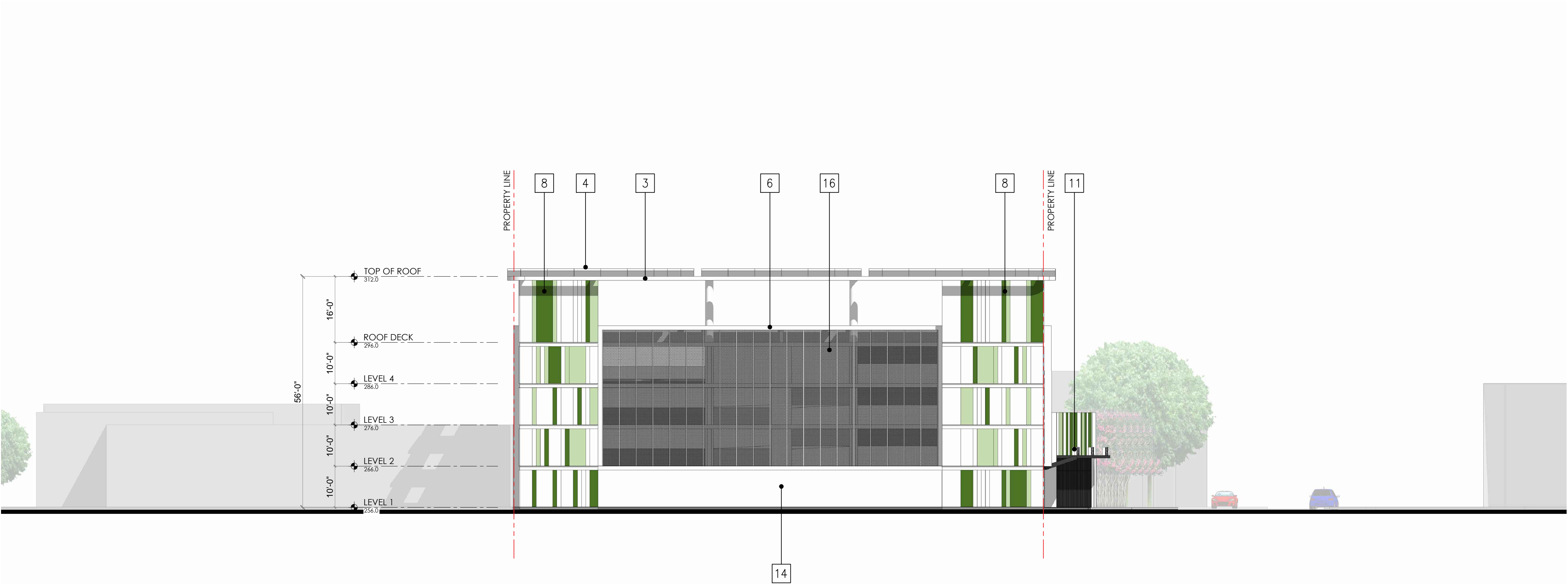
PROJECT: SAN PEDRO TOWER

SC: 1/16" = 1'-0"

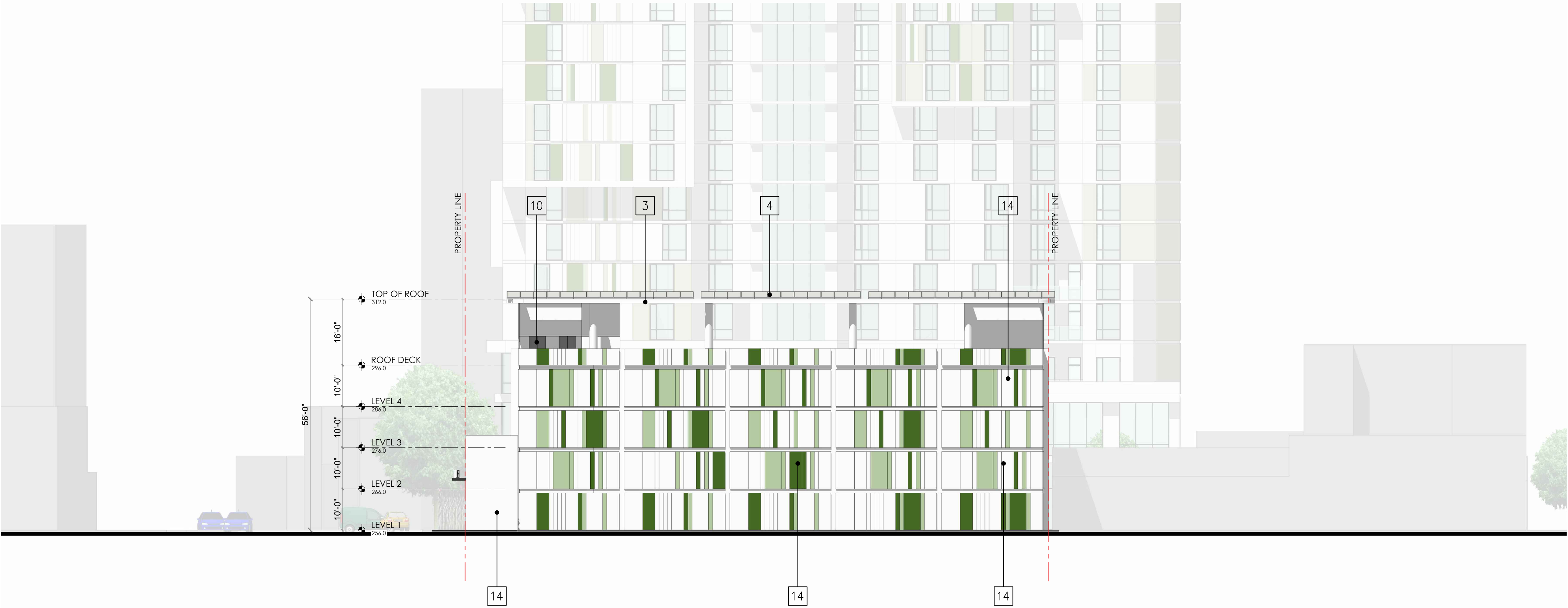
A404

/ JOB NO: 3322 / DATE: NOV 1, 2019

600 S. SAN PEDRO STREET LOS ANGELES, CA



⑤ NORTH PARKING ELEVATION



⑥ SOUTH PARKING ELEVATION

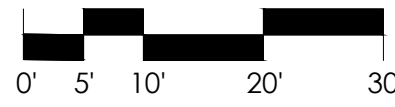
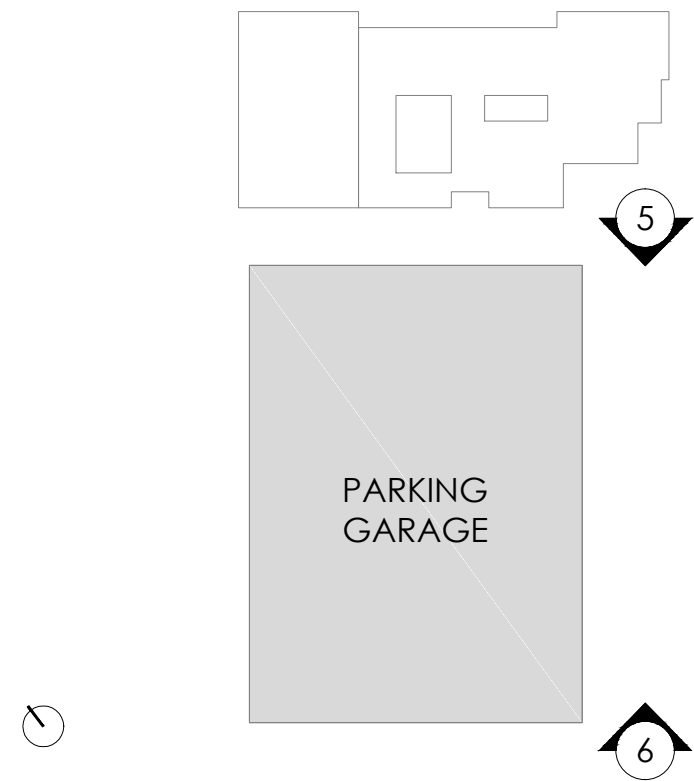
KEYNOTES

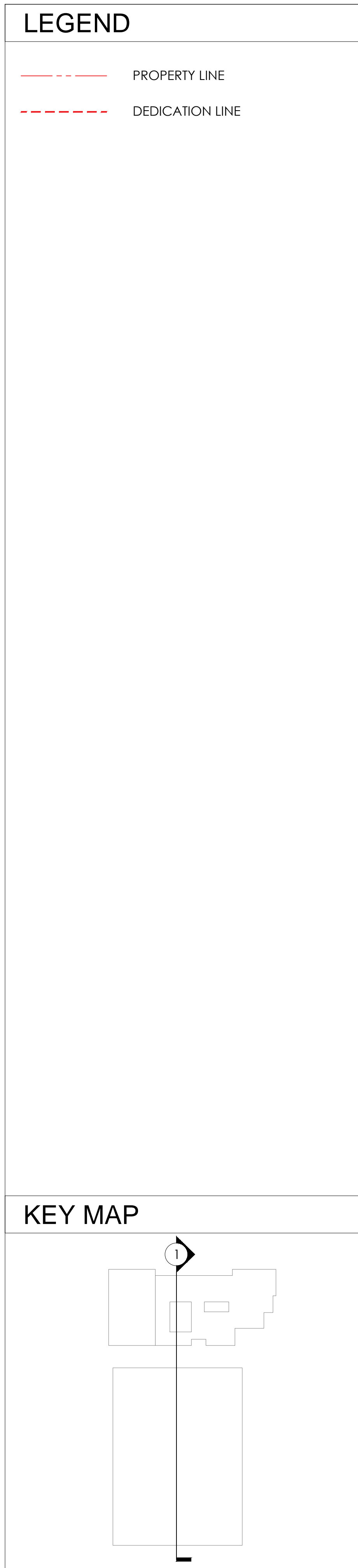
- 1 STOREFRONT SYSTEM
- 2 PRECAST CONCRETE PANELS
- 3 METAL TRELLIS
- 4 PHOTOVOLTAIC PANELS
- 5 EXPOSED SLAB
- 6 METAL TRIM/ FINS
- 7 WINDOWS
- 8 COMPOSITE METAL PANELS
- 9 GLASS GUARDRAIL
- 10 DOOR
- 11 SIGNAGE
- 12 WINDOW WALL SYSTEM
- 13 METAL LOUVERS
- 14 PAINTED STUCCO OR CONCRETE
- 15 FENCE
- 16 PERFORATED METAL

LEGEND

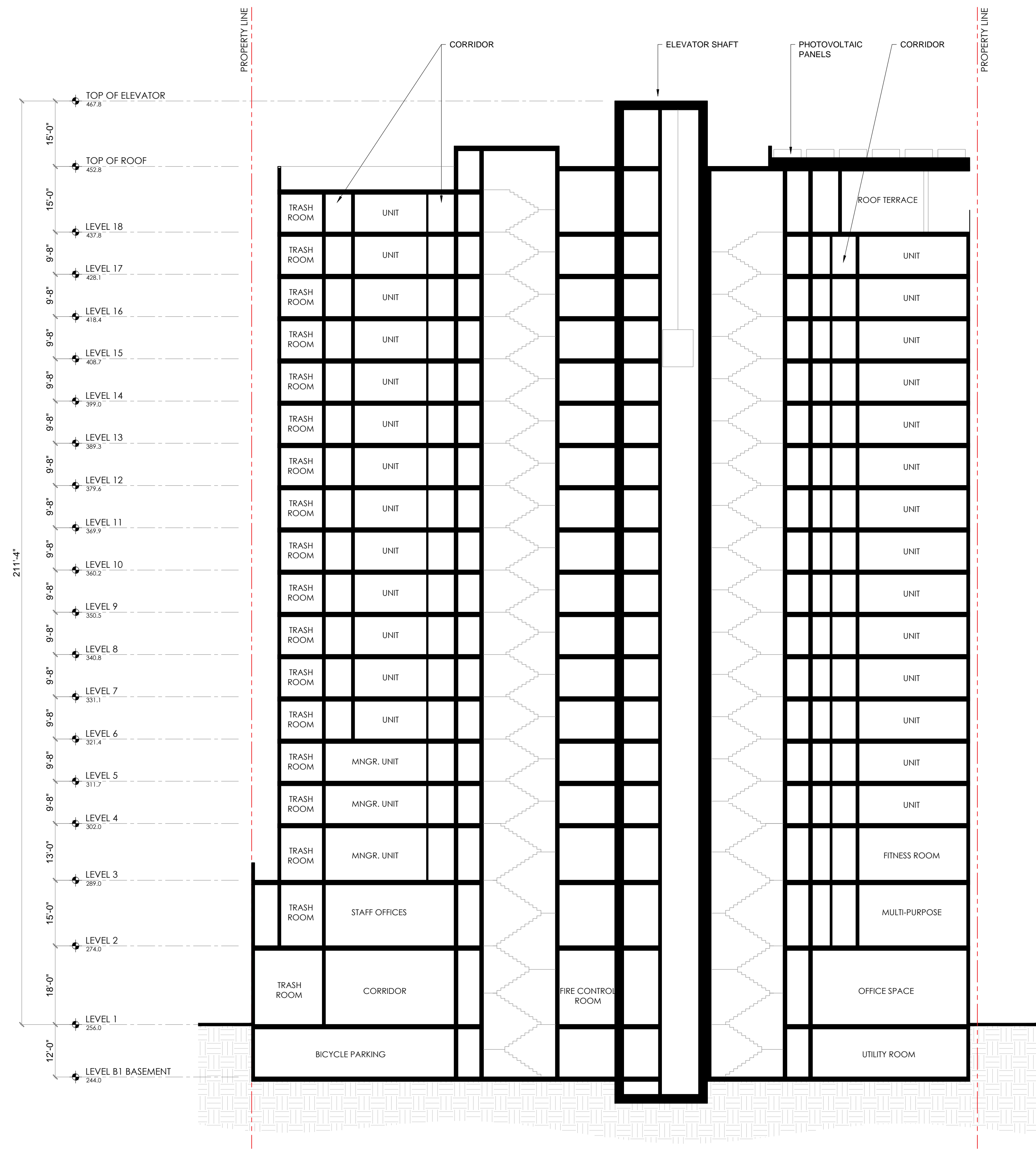
- PROPERTY LINE
- DEDICATION LINE

KEY MAP





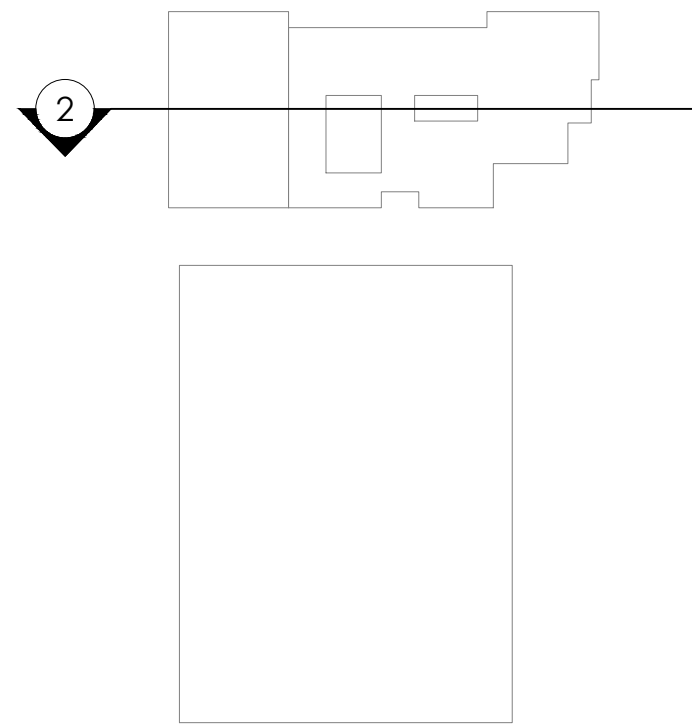
② BUILDING SECTION

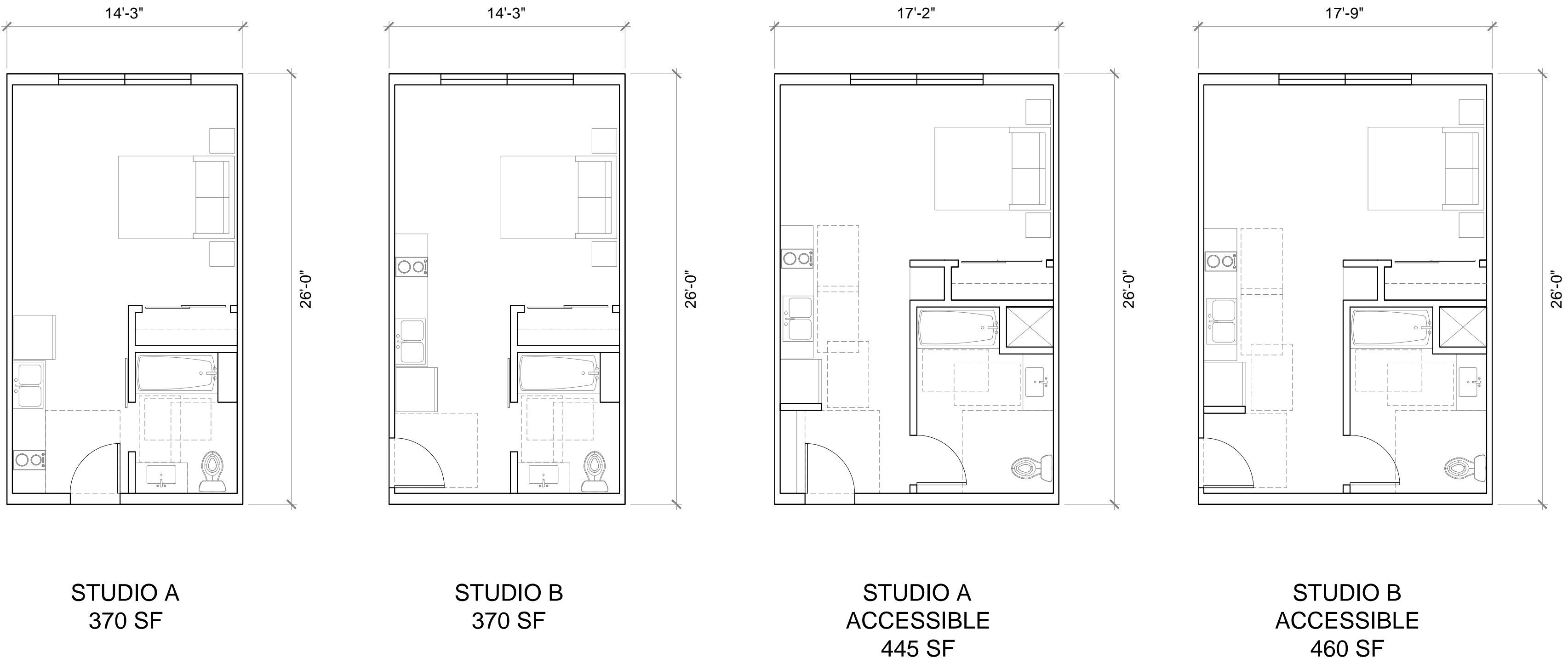


LEGEND

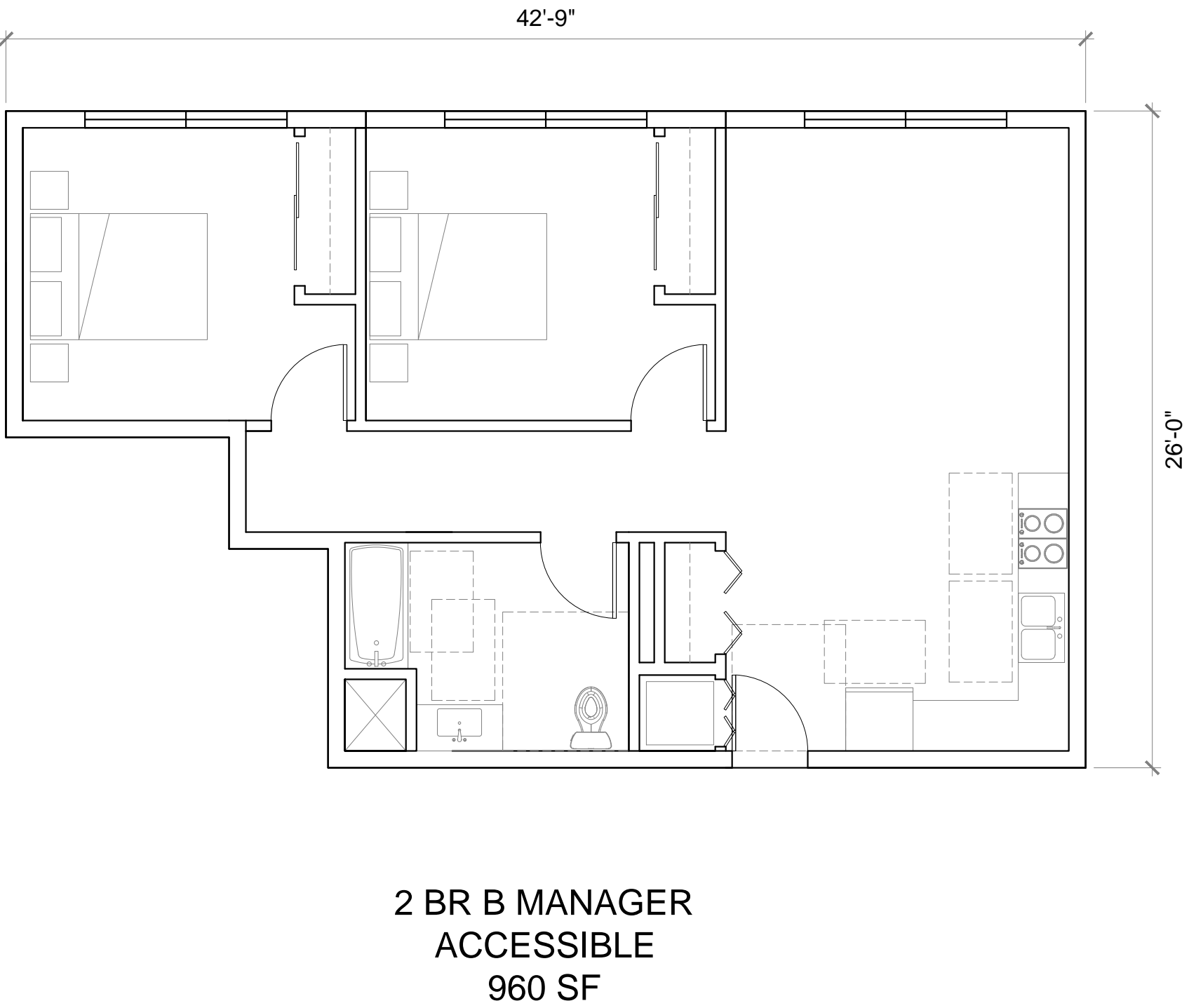
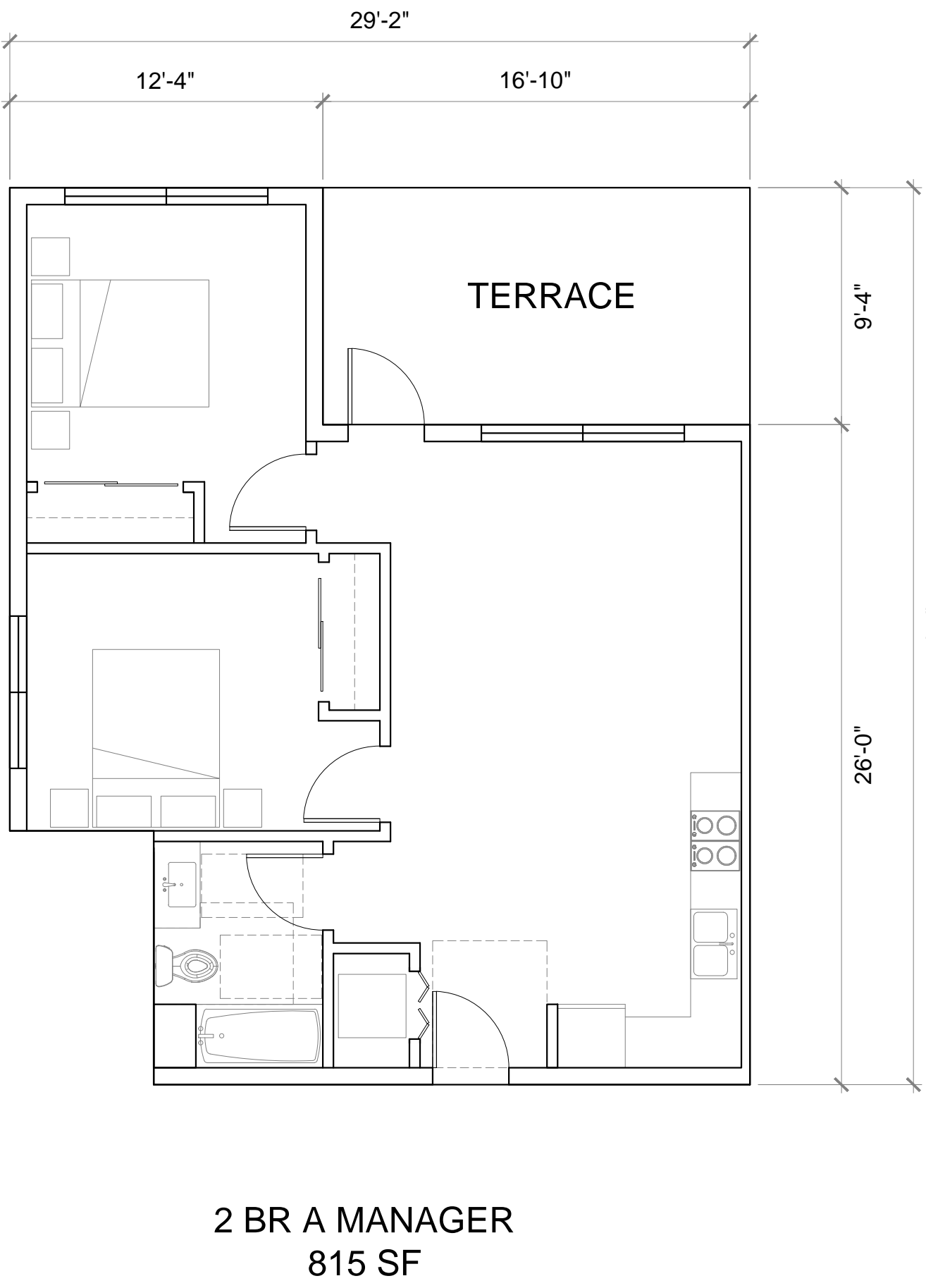
- PROPERTY LINE
- DEDICATION LINE

KEY MAP





UNIT MIX BY LEVEL							
LEVEL	STUDIO A	STUDIO B	STUDIO A ACC	STUDIO B ACC	2 BR A MNGR.	2 BR B MNGR.	TOTAL
L3	7	1	0	0	1	0	9
L4	15	3	0	1	1	0	20
L5	15	3	0	1	1	0	20
L6	14	2	2	1	0	0	19
L7	14	2	2	1	0	0	19
L8	15	3	2	1	0	0	21
L9	15	3	2	1	0	0	21
L10	15	3	2	1	0	0	21
L11	15	3	2	1	0	0	21
L12	15	3	2	1	0	0	21
L13	15	3	2	1	0	0	21
L14	14	2	2	1	0	0	19
L15	14	2	2	1	0	0	19
L16	15	3	2	1	0	0	21
L17	15	3	2	1	0	0	21
L18	4	2	2	0	0	1	9
TOTAL	217	41	26	14	3	1	302
PERCENTAGE	71.85%	13.58%	8.61%	4.64%	0.99%	0.33%	100.00%

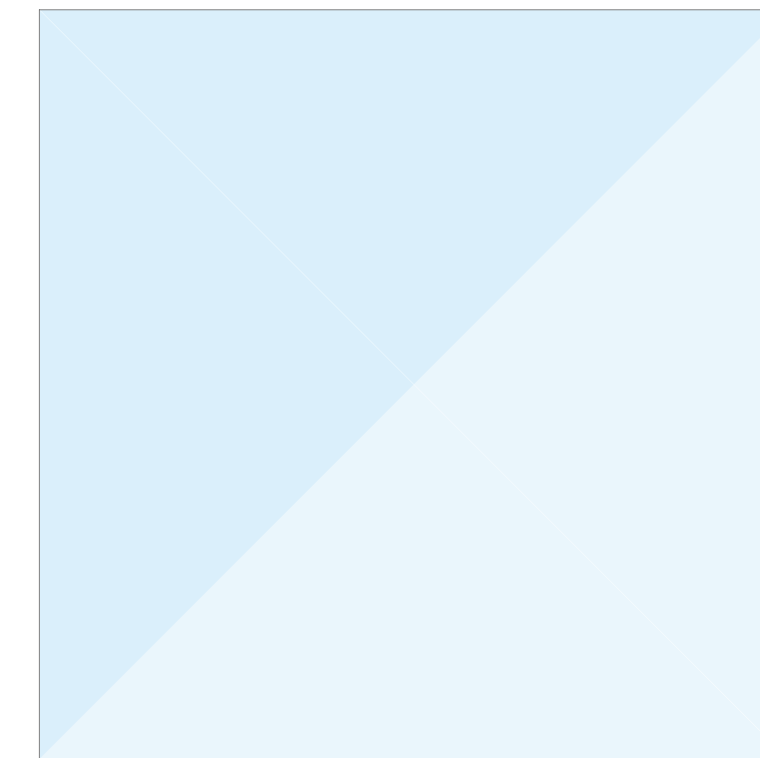


TOTAL UNIT COUNT AND LEASABLE AREA				
UNIT TYPE	# BEDROOMS	SIZE	TOTAL COUNT	NET AREA
STUDIO A	0	370	217	80,290
STUDIO B	1	370	41	15,170
STUDIO A ACC	1	445	26	11,570
STUDIO B ACC	2	460	14	6,440
2 BR A MANAGER	3	815	3	2,445
2 BR B MANAGER	1	960	1	960
TOTAL			302	116,875
AVG. SF				387.00









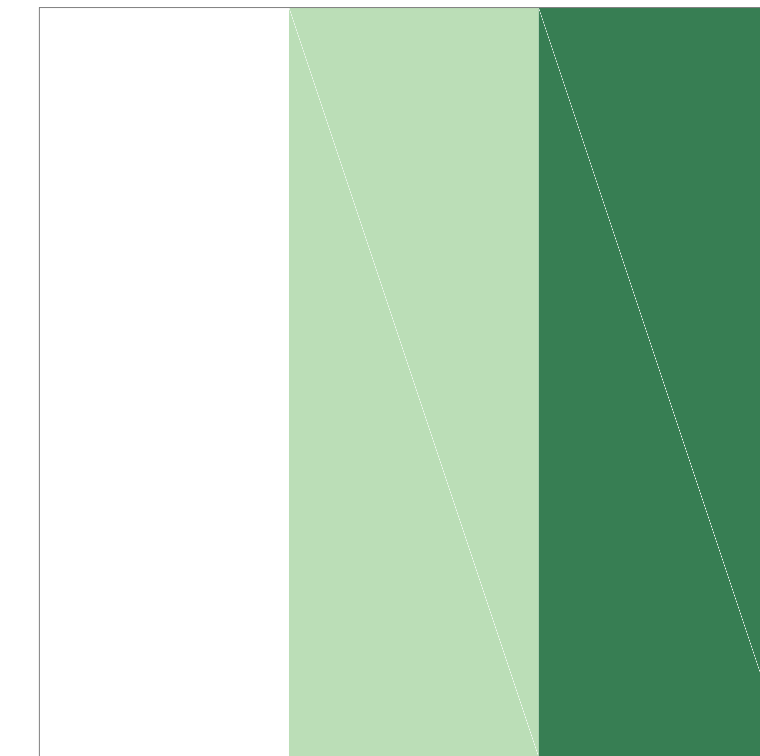
1 STOREFRONT SYSTEM



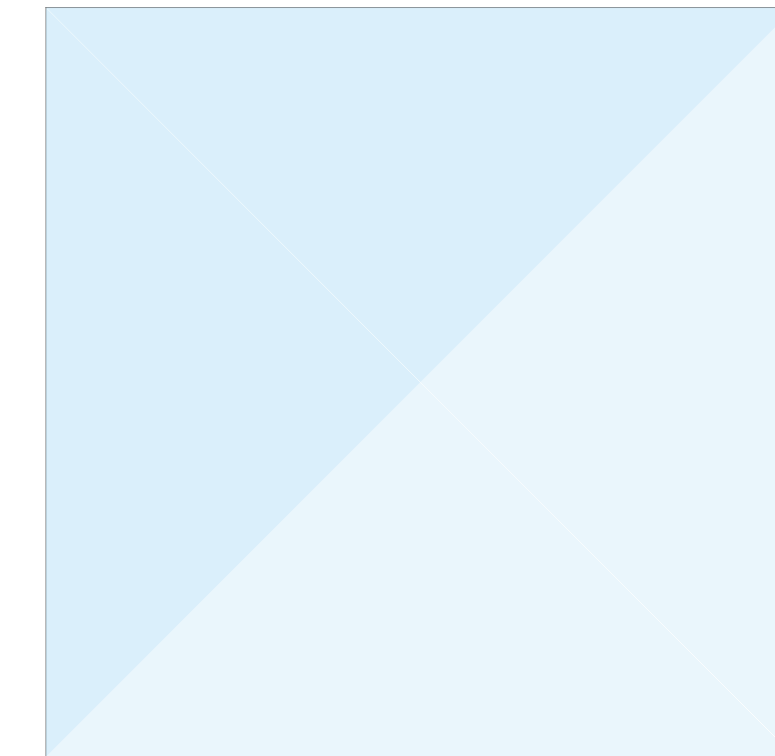
2 PRECAST CONCRETE PANELS



3 METAL TRELLIS/ TRIM/ FINS



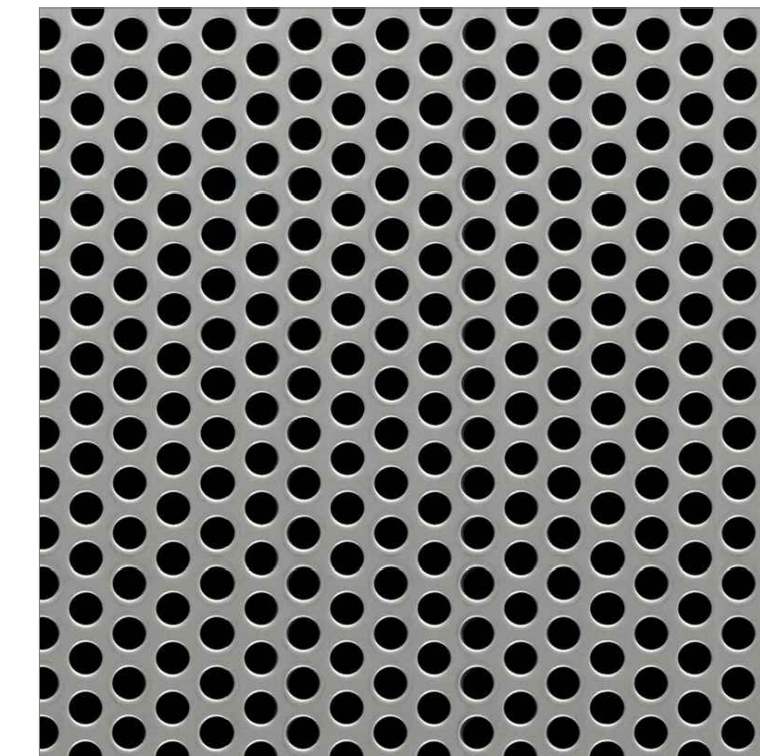
4 COMPOSITE METAL PANELS



5 GLASS GUARDRAIL



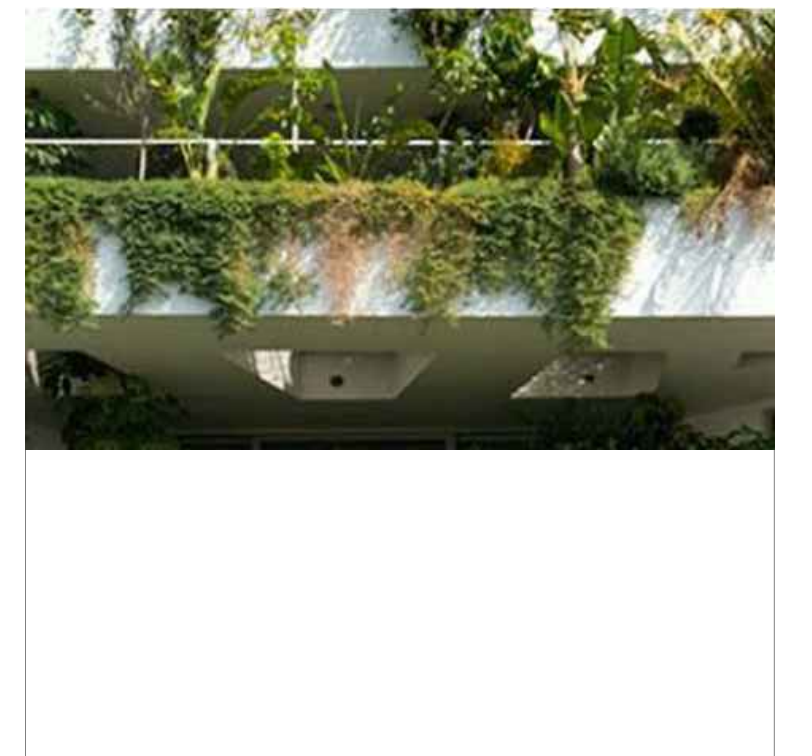
6 WINDOW WALL SYSTEM



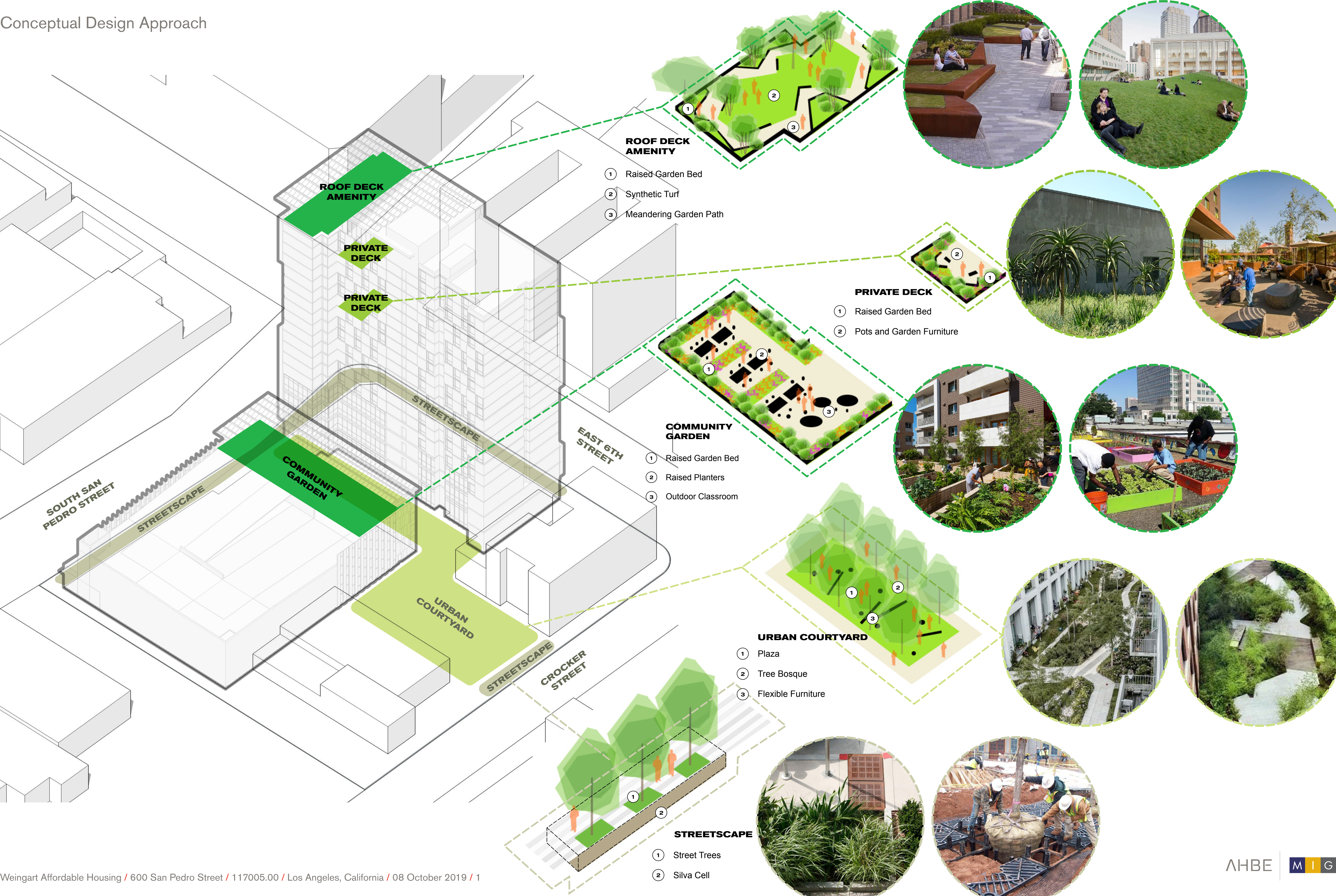
7 PERFORATED METAL

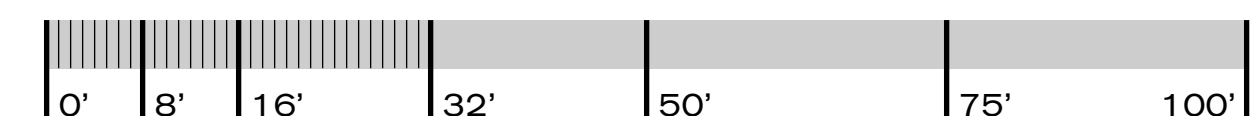


8 GREEN SCREEN W/
VEGETATION



9 PLANTER W/ VEGETATION





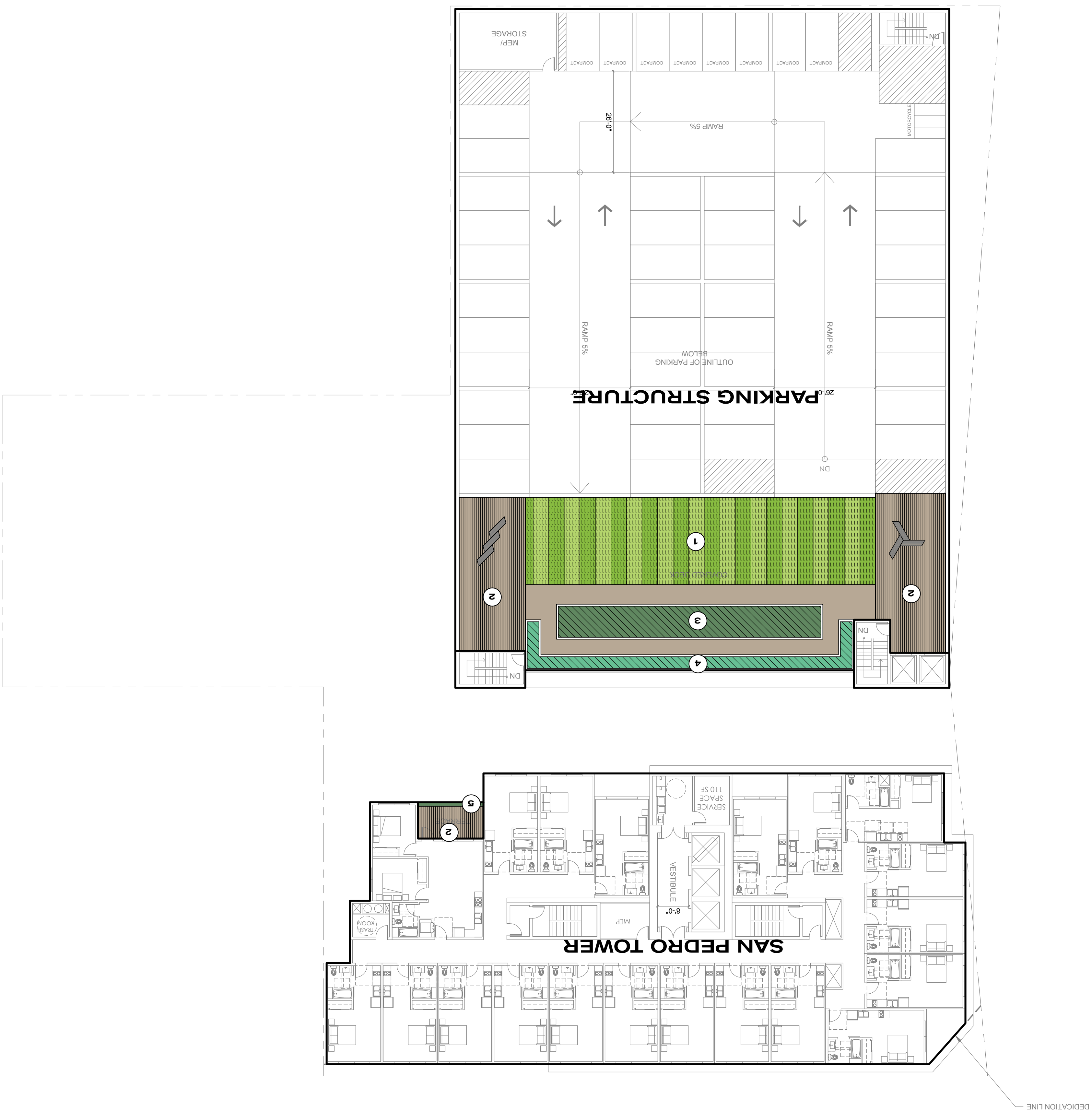


① Green Screen Vines on Parking Structure

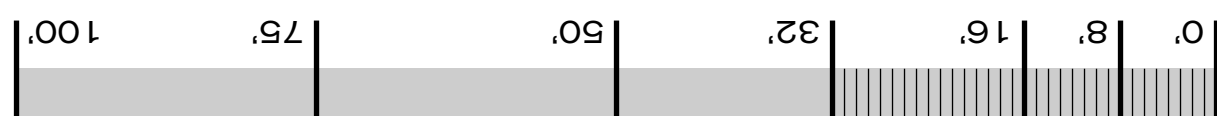


Conceptual Landscape Plan / Level 3 & 4

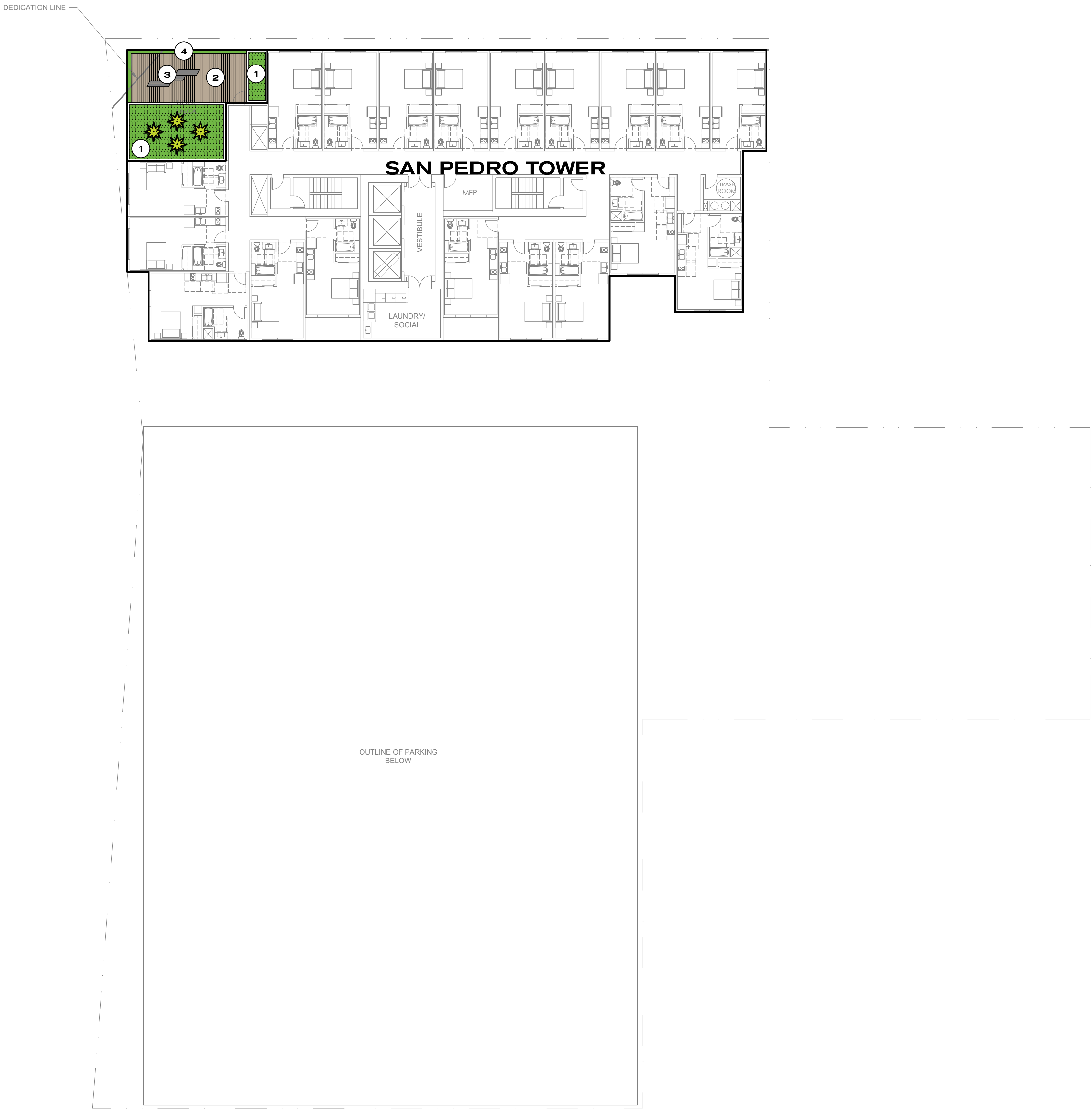




- 1) Vegetated Green Roof
- 2) Wood Decking on Pedestal System
- 3) Edible Garden Elevated Planters
- 4) Elevated Planters for Pollinators
- 5) 42" Tall Planter / Balcony Rail with Vines and Plants



Conceptual Landscape Plan / Levels 6 & 7



- ① Elevated Planting Area
- ② Wood Decking on Pedestal System
- ③ Modular Furniture
- ④ 42" Tall Planter / Balcony Rail with Vines and Plants



- ① Elevated Planting Area
- ② Wood Decking on Pedestal System
- ③ Modular Furniture
- ④ 42" Tall Planter / Balcony Rail with Vines and Plants





- ① Vegetated Green Roof
- ② Gaming Area
- ③ Wood Decking on Pedestal System
- ④ Modular Furniture
- ⑤ Modular Planter with Green Screen Trellis
- ⑥ Lounge Area
- ⑦ 42" Tall Planter / Balcony Rail with Vines and Plants

TREE LEGEND:					
SYMBOL	BOTANICAL NAME "COMMON NAME"	SIZE (HTxSPR)	QTY.	WUCOLS	COMMENTS
	ARBUTUS MENZIESII "PACIFIC MADRONE"	36" BOX	5	LOW	FROM LOS ANGELES COUNTY DROUGHT-TOLERANT PLANT LIST ("THE DROUGHT TOLERANT GARDEN")
	BRACHYCHITON POPULNEUS "BOTTLE TREE"	36" BOX	7	LOW	
	CERCIS OCCIDENTALIS "WESTERN REDBUD"	36" BOX	11	LOW	
	QUERCUS TOMENTELLA "ISLAND OAK"	36" BOX	3	LOW	
	BRACHYCHITON POPULNEUS "BOTTLE TREE"	36" BOX	5	LOW	
	ALOE BAINESII "TREE ALOE"	24" BOX	8	LOW	—

SHRUB, VINE & GROUNDCOVER LEGEND:				
SYMBOL	BOTANICAL NAME "COMMON NAME"	SIZE (HTxSPR)	WUCOLS	COMMENTS
	JUNCUS PATENS "COMMON RUSH"	1 GALLON	LOW	FROM LOS ANGELES COUNTY DROUGHT-TOLERANT PLANT LIST ("THE DROUGHT TOLERANT GARDEN")
	MUHLENBERGIA CAPILARIS "HAIRAWN MULHY"	1 GALLON	MODERATE	
	ARTEMISIA CALIFORNICA 'MONTARA' "CALIFORNIA SAGEBRUSH"	1 GALLON	VERY LOW	
	BACCHARIS PILULARIS 'PIGEON POINT' "DWARF COYOTE BUSH"	1 GALLON	LOW	
	CALENDULA OFFICINALIS "CALENDULA"	1 GALLON	MODERATE	
	DYMONDIA MARGARETAE "DYMONDIA"	1 GALLON	LOW	
	ARTEMISIA CALIFORNICA 'MONTARA' "CALIFORNIA SAGEBRUSH"	1 GALLON	VERY LOW	
	BACCHARIS PILULARIS 'PIGEON POINT' "DWARF COYOTE BUSH"	1 GALLON	LOW	
	DODONAEA VISCOSCA "HOPSEED BUSH"	#15	LOW	
	GAILLARDIA SP. "BLANKET FLOWERS"	1 GALLON	LOW	EDIBLE GARDEN
	GAURA SP. "BEEBLOSSOM"	1 GALLON	LOW	EDIBLE GARDEN
	RUDBECKIA SP. "BLACK-EYED-SUSANS"	1 GALLON	MODERATE	EDIBLE GARDEN
	CARYOPTERIS SP. "BLUEBEARD"	5 GALLON 14"x15"	MODERATE	EDIBLE GARDEN
	PEROVSKIA SP. "RUSSIAN SAGE"	5 GALLON 20" HT.	LOW	EDIBLE GARDEN
	ROSEMARINUS SP. "ROSEMARY"	1 GALLON	LOW	EDIBLE GARDEN
	TAGETES LEMMONII "LEMMON'S MARIGOLD"	1 GALLON	LOW	EDIBLE GARDEN
	SOLANUM LYCOPERSICUM "TOMATO"	1 GALLON	LOW	EDIBLE GARDEN
	PISUM SATIVUM VAR. MACROCARPON "SUGAR SNAP PEAS"	4" POT	—	EDIBLE GARDEN
	RUBUS SUBGENUS "BLACKBERRY"	1 GALLON 24" STAKED	LOW	EDIBLE GARDEN
	VITIS SP. "GRAPE VINE"	1 GALLON 24" STAKED	LOW	EDIBLE GARDEN

SHRUB, VINE & GROUNDCOVER LEGEND (CONT'D):				
SYMBOL	BOTANICAL NAME "COMMON NAME"	SIZE (HTxSPR)	WUCOLS	COMMENTS
	BETA VULGARIS "SWISS CHARD"	4" POT	—	EDIBLE GARDEN
	LACTUCA SATIVA "LETTUCE"	4" POT	—	EDIBLE GARDEN
	ORIGANUM VULGARE "OREGANO"	1 GALLON 6"x6"	—	EDIBLE GARDEN
	RAPHANUS RAPHANISTRUM SP. "RADISH"	4" POT	—	EDIBLE GARDEN
	DAUCUS CAROTA SP. "CARROT"	4" POT	—	EDIBLE GARDEN
	BRASSICA OLERACEA VAR. ITALICA "BROCCOLI"	4" POT	—	EDIBLE GARDEN
	AGAVE ATTENUATA "AGAVE"	1 GALLON	LOW	FROM LOS ANGELES COUNTY DROUGHT-TOLERANT PLANT LIST ("THE DROUGHT TOLERANT GARDEN")
	CORDYLINE BAUERI "BAUER'S DRACAENA PALM"	1 GALLON	MODERATE	
	KNIPHOFIA UVARIA "RED HOT POKER"	1 GALLON	LOW	
	ROMNEYA COULTERI "MATILJA POPPY"	1 GALLON	VERY LOW	
	RUSSELLIA EQUISETIFORMIS "CORAL FOUNTAIN"	1 GALLON	MODERATE	
	HARDENBERGIA COMPTONIANA "LILAC VINE"	1 GALLON	LOW	
	LONICERA SUBSPICATA DENUDATA "SAN DIEGO HONEYSUCKLE"	1 GALLON	LOW	
	PYROSTEGIA VENUSTA "FLAME VINE"	1 GALLON	MODERATE	
	VITIS CALIFORNICA 'ROGER'S RED' "CALIFORNIA WILD GRAPE"	1 GALLON	LOW	

ETERA GREEN ROOF CALIFORNIA BLEND:		
SYMBOL	BOTANICAL NAME "COMMON NAME"	WUCOLS
	DELOSPERMA COOPERI "ICE PLANT"	LOW
	SEDUM CONST CARPET	LOW
	SEDUM CORAL REEF "CORAL REEF "	LOW
	SEDUM ECO-MT EMEI	LOW
	SEDUM 'JOHN CRECCH'	LOW
	SEDUM MEXICANUM "MEXICAN STONECROP"	LOW
	SEDUM SPURIUM	LOW

Conceptual Landscape Plan / Hardscape Materials



Green Alley with Turf Block Paving



Green Alley with Turf Block Paving



Green Screen



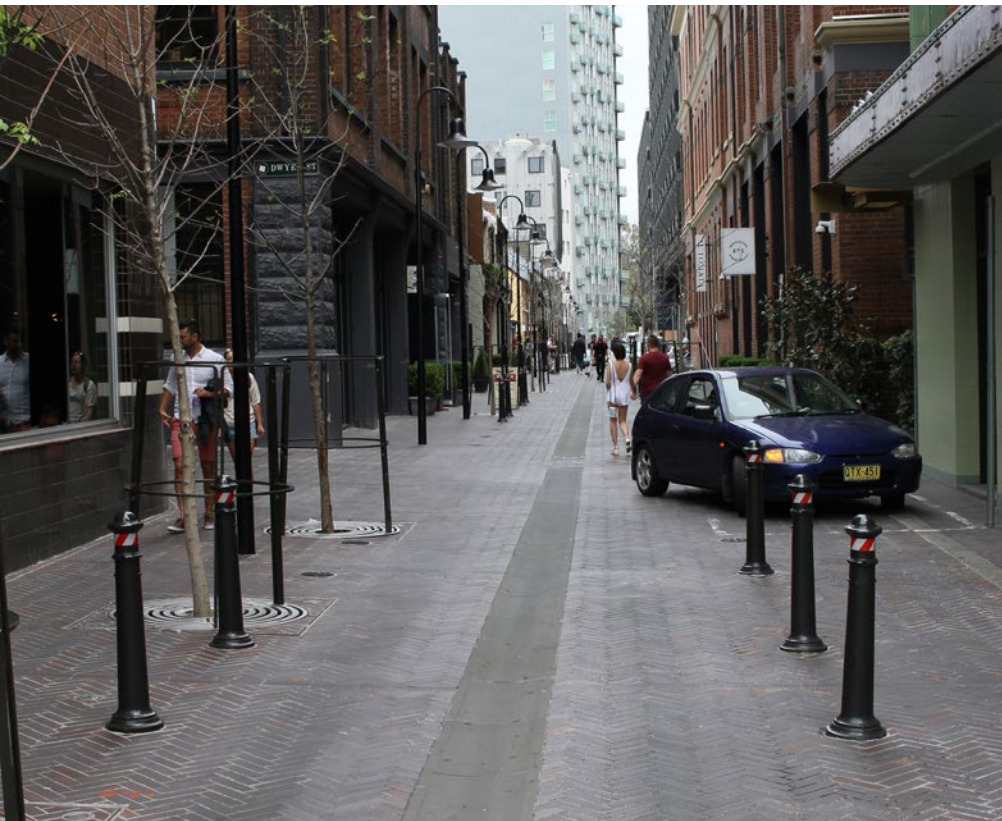
Plaza Tree within Unit Pavers



Stormwater Treatment along Streetscape



Structural Soil System (Silva Cell)



Hardscape Alley



Group Seating



Flexible Outdoor Space



Oak Woodland Garden Landscape



Nature meets Hardscape



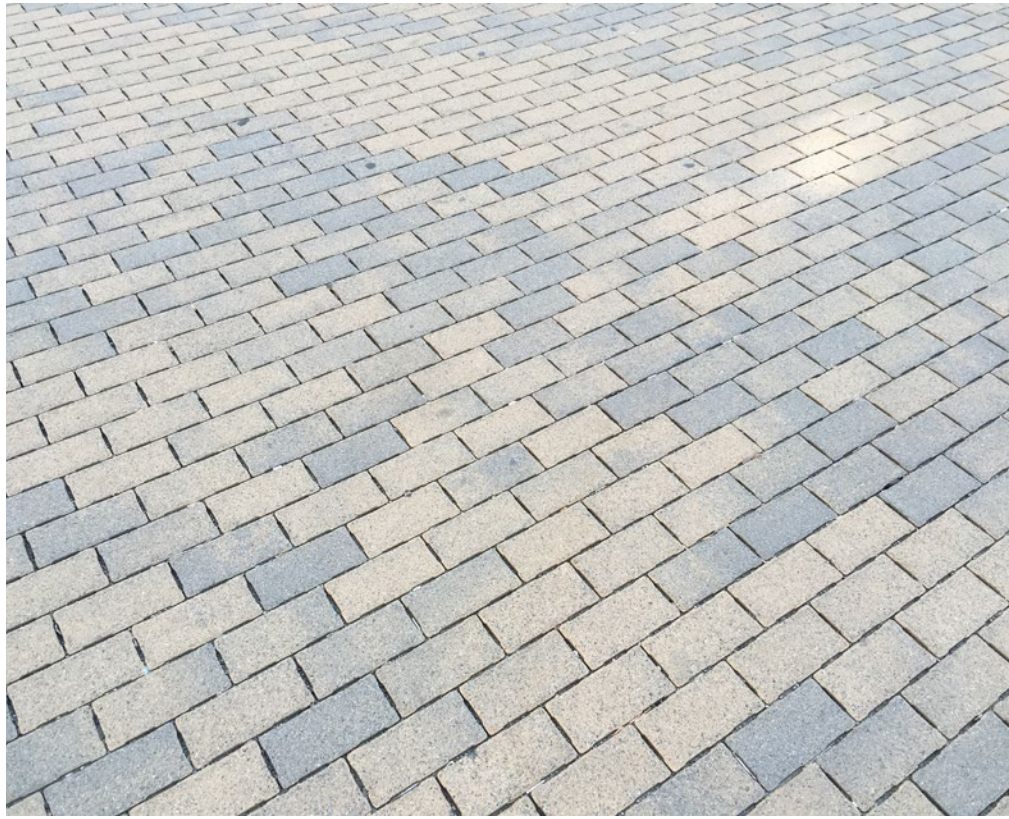
Exposed Aggregate Decorative Concrete



Unit Pavers



Decorate Concrete Pots



Permeable Paving



Plaza with Built-In Seating



Rooftop Community Gardening



Green Roof



Rooftop Gathering Space



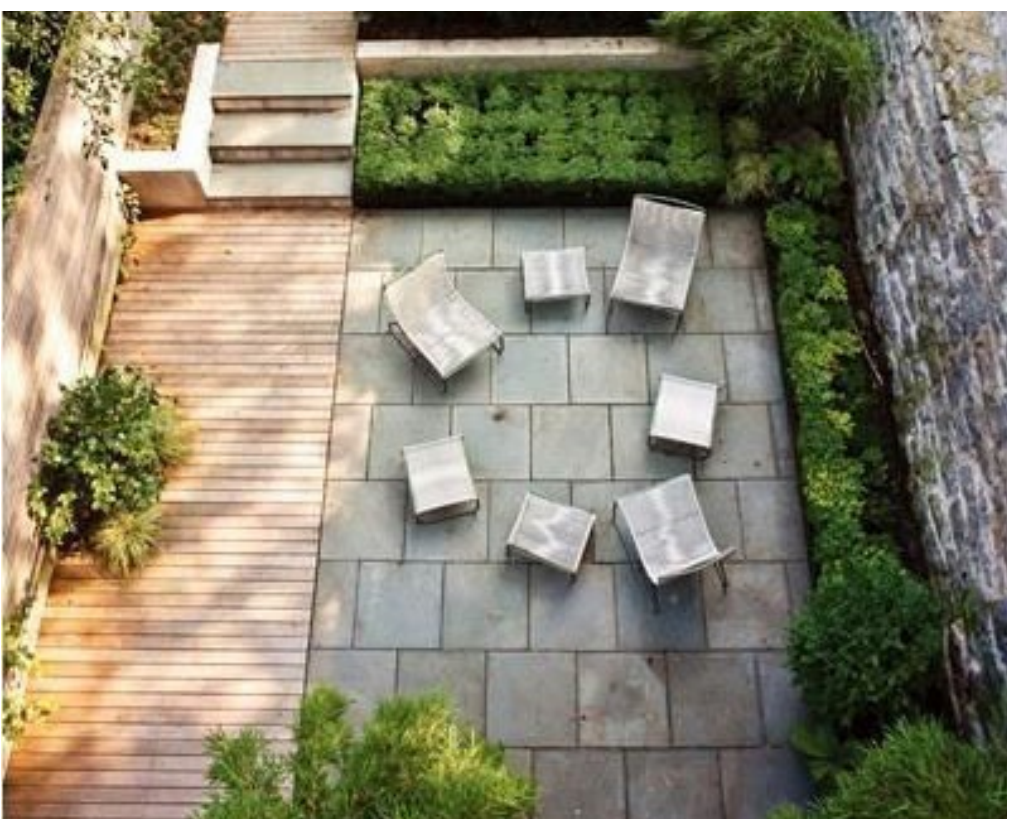
Synthetic Turf with Amenities



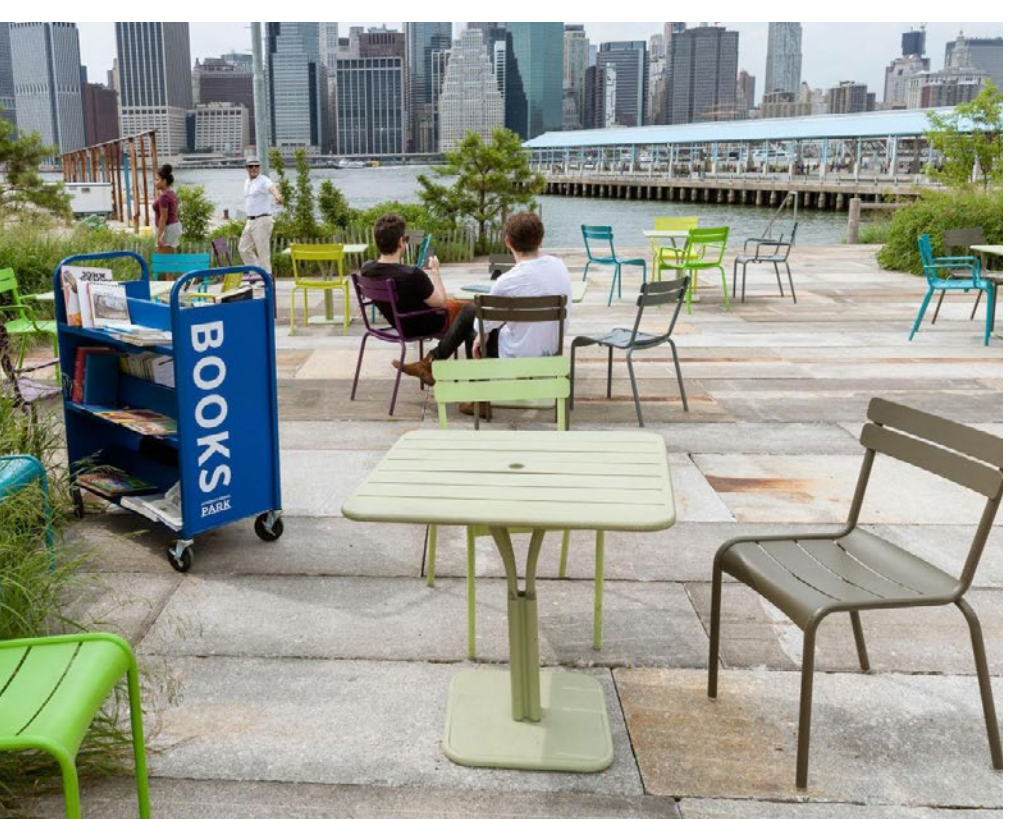
Healing Garden



Sculptural Furniture



Lounge Areas



Flexible Furniture

EXHIBIT B

CPC-2017-589-GPAJ-ZCJ-HD-SPR

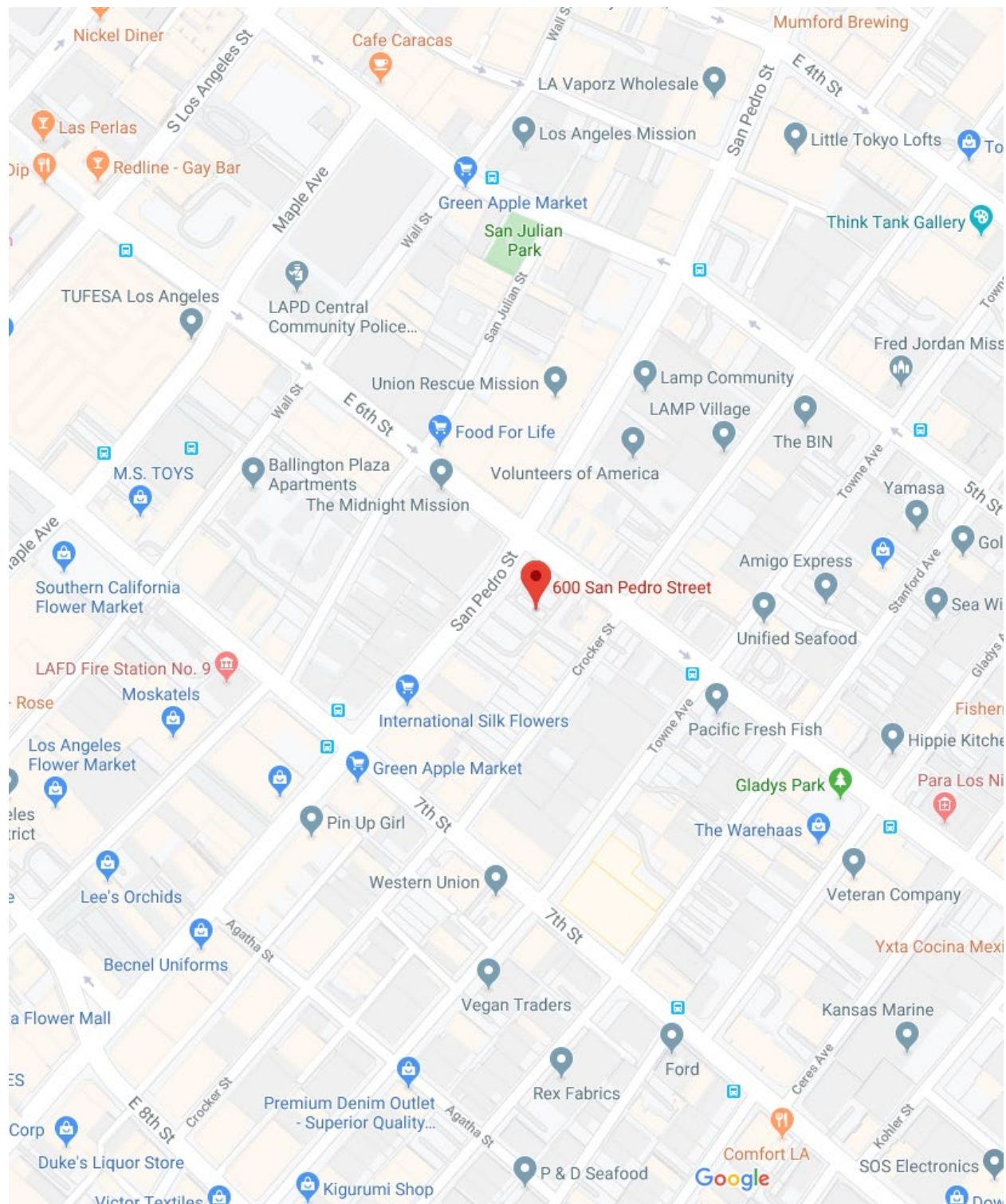


Exhibit B

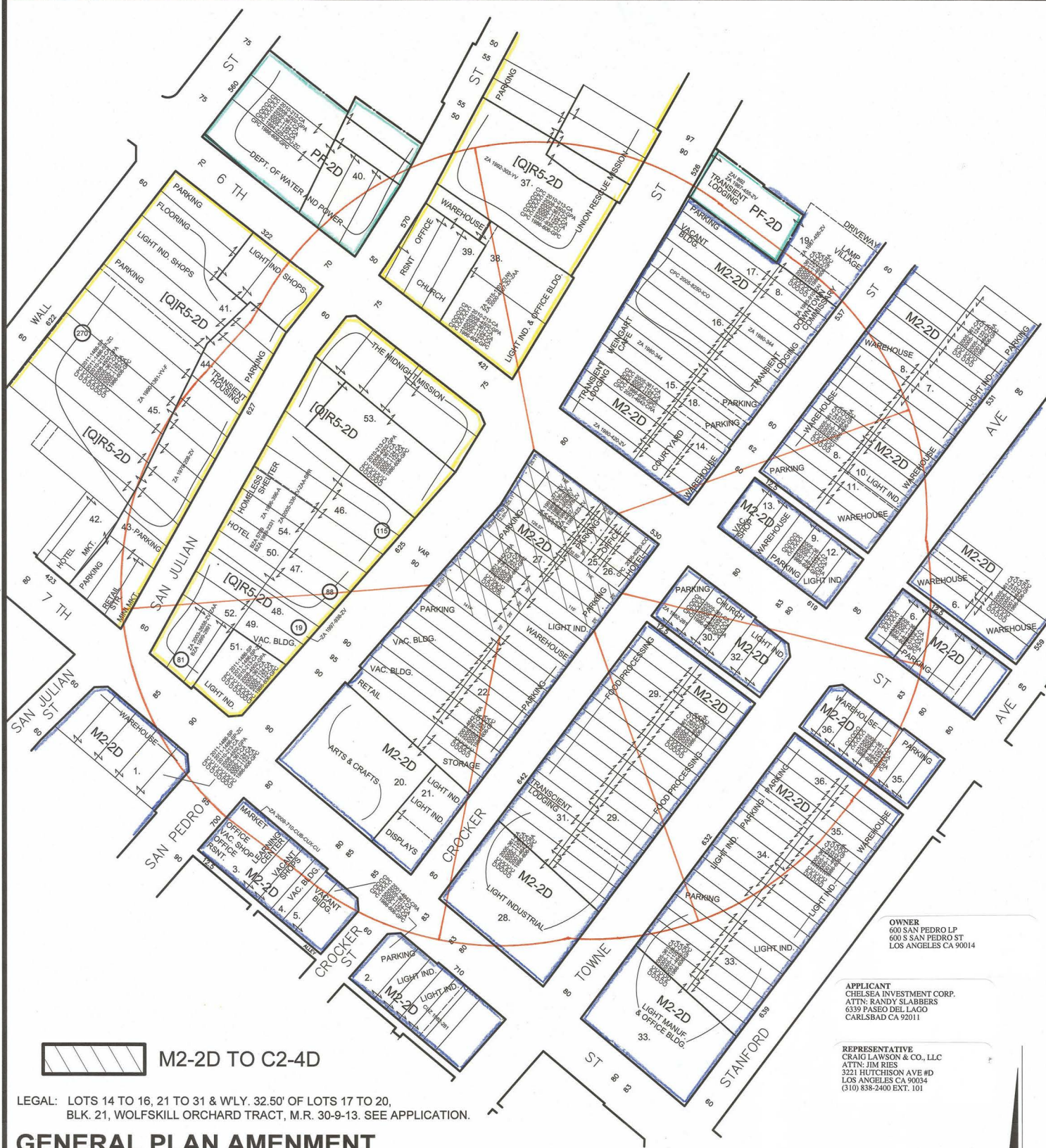


EXHIBIT C

CPC-2017-589-GPAJ-ZCJ-HD-SPR

MEMORANDUM

To: Mr. Ben Rosen
Weingart

Date: October 30, 2019

From: Clare M. Look-Jaeger, P.E.
K.C. Jaeger, LLG

LLG Ref: 1-18-4330-2

Subject: **Weingart Projects – Parking Needs Assessment for the 600 South San Pedro Street Site
City of Los Angeles, California**

This memorandum has been prepared by Linscott, Law & Greenspan, Engineers (LLG) to summarize the parking needs assessment for the 600 South San Pedro Street project site (“600 site”) of the proposed Weingart Projects located in the City of Los Angeles, California. The Weingart Projects include two distinct affordable housing projects, Weingart Towers (554-562 South San Pedro Street and 555-561 South Crocker Street) and the San Pedro Tower (600 South San Pedro Street), for permanent long-term housing with supportive services designed to enable homeless persons and individuals/families at risk of homelessness to ensure that they remain housed and live as independently as possible. Existing surface parking lots that presently serve the Weingart Foundation are located at 514 South San Pedro Street and 600 South San Pedro Street.

As you are aware, more than Code-required parking is being proposed at the 600 site (i.e., 198 spaces above the figure derived from the pure application of current City Code requirements) and this parking needs assessment serves as justification for those spaces. More specifically, this analysis evaluates current parking demands generated by the existing Weingart Foundation at the two surface parking lots that will not exist or be available in the future with the development of the Weingart Projects. Thus, the proposed additional parking is intended to serve as replacement parking for existing demand as well as to serve the commercial components of the 600 site should those uses be leased to outside third-party entities as the LADOT-approved traffic impact study assumes. The following sections provide a review of the following:

- A description of the existing site conditions, including a review of the existing parking supplies at the 514 South San Pedro Street lot and the 600 South San Pedro Street lot;
- Off-street parking requirements applicable to the proposed San Pedro Tower project at the 600 site pursuant to the City of Los Angeles Municipal Code;
- A summary of the existing weekday parking accumulation surveys conducted at the two existing surface parking lots that will not be available in the future with the development of the Weingart Projects;

LINSCOTT
LAW &
GREENSPAN
engineers

Engineers & Planners
Traffic
Transportation
Parking

Linscott, Law &
Greenspan, Engineers

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Exhibit C

- A forecast of the weekday peak parking demand for the 600 site with replacement parking, full occupancy of the two commercial uses, and the manager apartment dwelling unit demand with recognition of shared parking analysis methodologies (i.e., which account for the changes in parking demand that occur based on time of day and day of the week), and;
- A conclusion regarding adequacy of the parking supply to accommodate the forecast future peak parking demand.

Definition of Terms

The following parking-related definitions and explanations are provided in order to clarify the terms employed in this analysis.

Inventory refers to a field review of a parking facility or parking system to determine the number of spaces (i.e., supply of spaces) for each individual facility and on a campus-wide or total development basis. The field review includes an inventory of the number of marked stalls (i.e., striped parking spaces) and excludes informal parking spaces and unmarked parking areas used for valet park operations, if applicable. In this study, measurements were not taken to determine if the striped parking spaces meet local jurisdiction and federal government dimension requirements.

Occupancy refers to the number of parked vehicles observed in spaces compared to the number of available spaces for a parking facility or parking system. This information is obtained by verifying and validating entry and exit transaction data for each parking facility access point or by conducting parking accumulation counts of vehicles parked in each facility in the study area over a period of time. This information then is compared with the parking supply to determine parking adequacy.

Parking Accumulation refers to the number of parked vehicles in a study area (i.e., surface lot, parking structure, etc.) at any specified time.

Parking Adequacy refers to the difference between the parking supply and either the existing or estimated future parking demand. The calculation of a positive result indicates a parking surplus and a negative result indicates a parking deficit.

Parking Demand refers to the number of parking spaces needed to meet motorists' needs on a given day.

Parking Supply refers to the number of parking spaces in a parking facility or parking system obtained in the inventory.

Survey Day refers to the day that the parking accumulation surveys of the parking facility or parking system were conducted, or for which parking facility entry and exit transaction data was evaluated.

Project Setting and Parking Supply

The focus of this parking needs assessment relates to the site located at 600 South San Pedro Street in the City of Los Angeles, California. The project site is bounded by 6th Street to the north, commercial uses to the south, Crocker Street to the east, and San Pedro Street to the west. The site location and general vicinity are shown in the aerial photograph contained in *Figure 1*.

Based on information provided by Applicant team, the existing site contains a surface parking lot that is currently being used by the Weingart Foundation. An associated surface parking lot is also located at 514 South San Pedro Street. Both surface parking lots will not be available once the Weingart Projects are under construction. An independent inventory of the existing surface parking supply of the subject parking lots was conducted and documented in May, 2018, by LLG. Based on the existing parking inventory, a combined total of 158 parking spaces is provided within both lots (i.e., 136 parking spaces within the 600 site lot and 22 parking spaces within the 514 South San Pedro Street lot).

The proposed 600 site project consists of a building with a total of 302 dwelling units and approximately 10,230 square feet of commercial space, including 7,030 square feet of general office space and 3,200 square feet of other commercial space (i.e., retail space for purposes of this analysis). Please note that the residential component consists of 298 affordable housing dwelling units (149 permanent supportive housing affordable units and 149 family affordable units) and 4 manager apartment dwelling units. A total of 212 parking spaces is proposed as part of the proposed 600 site project.

City of Los Angeles Code Parking Requirements

The off-street parking requirements for various land uses are set forth in the City of Los Angeles' Municipal Code and affordable housing provisions. As noted on the 600 site plan, no parking spaces are required for the 298 affordable apartment housing units and one parking space is required for each manager apartment dwelling unit. As four (4) manager apartment dwelling units are proposed, a total of four parking spaces are required based on City Code. One space per 1,000 square feet is required for the combined commercial space of 10,230 square feet, resulting in a requirement of 10 spaces (i.e., $10,230 \text{ SF} \div 1.0 = 10 \text{ spaces}$). Thus, based on current City of Los Angeles requirements, a total of 14 parking spaces is required for the proposed 600 site project.

Direct application of City's current parking requirements to the 600 site at full occupancy would result in a theoretical parking surplus of 198 parking spaces (i.e., 212 on-site parking spaces less 14 required spaces = 198 spaces). It is important to note that the above Code parking requirement calculations do not reflect the need for replacement parking (i.e., due to the removal of both the 514 South San Pedro Street and 600 South San Pedro Street surface parking lots from future use). The following sections summarize the technical parking needs assessment.

Existing Weingart Foundation Parking Demand

Based on coordination with the project Applicant and Weingart Foundation staff, parking accumulation surveys were conducted at the two existing surface parking lots (i.e., both the 514 and 600 South San Pedro Street surface parking lots) which will no longer be available once the Weingart Projects are constructed. The weekday surveys were conducted by an independent traffic count subconsultant (The Traffic Solution) in hourly time increments from 8:00 AM to 6:00 PM in May 2018. All vehicles within these lots were accounted for in the surveys, including any vehicles that were circulating, pulling into or out of parking stalls, as well as any vehicles parked in areas which were not formally striped. A summary of the parking accumulation counts for the representative observation day is provided below:

- Thursday, May 10, 2018. As indicated in **Table A**, the peak demand for parking for the combined lots occurred at 11:00 AM when a total of 165 vehicles were parked (i.e., 104.4% occupancy given a combined parking supply of 158 spaces). In addition, at 2:00 PM a total of 159 vehicles were parked (i.e., 100.6% occupancy). As vehicles were observed to park outside of formal marked parking stalls, it can be concluded that the existing peak parking demand totals at least 165 spaces, which exceeds the formal marked parking supply of 158 parking spaces within both surface parking lots.

Based on input from the Applicant team, LLG also understands that the first tower of the proposed 554 South San Pedro Street project portion of the Weingart Projects (i.e., Tower 1A of the Weingart Towers) is planned to provide a surplus of five (5) parking spaces. Thus, as noted in more detail below, a total of five spaces of the observed existing surface parking lot demand is planned to be accommodated at the Tower 1A building site. As such, a demand of five spaces has been subtracted from the hourly existing demand totals for purposes of this needs assessment analysis.

Shared Parking Methodology

The concept of shared parking is widely recognized within the transportation planning industry and accounts for the changes in parking demand over time for different types of land uses within a project. As stated previously, accumulated experience in parking demand characteristics indicates that a mixing of land uses results in an overall parking need that is less than the sum of the individual peak requirements for each land use. Due to the existing hourly replacement parking demands and the proposed mixed-use characteristics of the 600 site, opportunities to share parking will be expected in the future. The objective of this shared parking analysis is to forecast the peak parking demand requirements for the site based on the combined demand patterns of the different tenancy types at the site combined with the existing hourly replacement parking demand.

Shared parking calculations recognize that different uses often experience individual peak parking demands at different times of day, and/or days of the week. When uses share common parking footprints, the total number of spaces needed to support the

collective whole is determined by adding parking profiles (by time of day), rather than individual peak ratios as represented in the City's Municipal Code. In that way, the shared parking approach starts from the City's own code ratios for the manager apartment dwelling units and commercial uses (i.e., which are then adjusted based on the hourly parking profiles) and adds the hourly replacement parking demands which result in the design level parking supply needs of a site or development. The analytical procedures for shared parking analyses are well documented in the current edition of the *Shared Parking*¹ manual.

Shared Parking Profiles

The hourly parking demand profile (expressed in percent of peak demand) utilized in this analysis and applied to the manager apartment dwelling units and commercial retail and commercial office tenant spaces are based in part on profiles developed by the ULI and published in the *Shared Parking* manual. The ULI publication presents hourly parking demand profiles for many different land use categories and these hourly profiles are developed from field studies of single developments in free-standing settings, where travel by private auto is maximized. These characteristics permit the means for calculating peak parking needs when land use types are combined. Further, the shared parking approach illustrates how, at other than peak parking demand times, an increasing surplus of spaces will service the overall needs of the development. These profiles of parking demand have been considered in this analysis.

Parking Needs Assessment

It has been determined that the most appropriate methodology for forecasting future peak parking demand at the site would be to first utilize the actual parking demands (i.e., through the conduct of parking accumulation surveys) for the two associated surface parking lots that will no longer be available after the Weingart Projects are constructed, then add the forecast demand for the planned commercial components and the manager apartment dwelling units reflecting the shared parking methodology based on time of day and day of week variations. **Table B** presents this approach for the peak weekday conditions.

Based on LLG's experience, the results presented in *Table B* represent the most pragmatic approach to forecast likely future parking conditions. These results also reflect a ten percent (10%) circulation factor applied to the existing parking demand so that the last vehicle entering the 600 site is not searching for the last available parking space. This is not overly conservative, in that typically circulation factors between 10 and 15 percent are common within the transportation planning industry. In addition, based on the parking demand surveys at the two existing surface lots more than 100% utilization has been observed indicating a possible higher need.

¹ Urban Land Institute *Shared Parking* manual, 2nd Edition, 2005.

As shown in *Table B*, the peak weekday shared parking demand for the 600 site is forecast to occur at 11:00 AM when 187 spaces are forecast to be needed, assuming full occupancy without the circulation factor. With the ten percent (10%) circulation factor applied to the existing parking demand, this figure would increase to 203 spaces. Thus, the existing site-wide parking supply of 212 spaces is essentially sufficient to meet the projected weekday site-wide parking demand.

Conclusions

The peak weekday shared parking demand for the 600 site is forecast to be 203 spaces assuming full occupancy of the proposed 600 site project and the existing parking demand generated by the Weingart Foundation. This figure also reflects incorporation of a ten percent (10%) circulation factor to the existing parking demand associated with the Weingart Foundation, which the 600 site will serve as replacement parking. Based on the above analyses, it can be concluded that the 600 South San Pedro Street site parking supply of 212 spaces is expected to be sufficient to meet the projected weekday peak parking demand.

We appreciate the opportunity to submit this analysis. Please call us at 626-796-2322 if you have any questions or comments.

Attachments

c: File



NOT TO SCALE

MAP SOURCE: GOOGLE EARTH



PROJECT SITES



EXISTING DRIVEWAY



INACTIVE DRIVEWAY

LINSCOTT, LAW & GREENSPAN, engineers

FIGURE 1
AERIAL PHOTOGRAPH OF
EXISTING PROJECT SITES
WEINGART PROJECTS

Table A
PARKING ACCUMULATION
DATE: Thursday, May 10, 2018

PARKING SPACES														
LOT NO.	PARKING LOCATION	PARKING SUPPLY	8:00 AM		9:00 AM		10:00 AM		11:00 AM		12:00 PM		1:00 PM	
			NO.	%	NO.	%	NO.	%	NO.	%	NO.	%	NO.	%
1	600 S. San Pedro Street (Surface Lot)	136	106	77.9%	116	85.3%	128	94.1%	137	100.7%	117	86.0%	118	86.8%
2	514 S. San Pedro Street (Surface Lot)	22	17	77.3%	22	100.0%	23	104.5%	28	127.3%	25	113.6%	21	95.5%
Total Parking		158	123	77.8%	138	87.3%	151	95.6%	165	104.4%	142	89.9%	139	88.0%

PARKING SPACES												
LOT NO.	PARKING LOCATION	PARKING SUPPLY	2:00 PM		3:00 PM		4:00 PM		5:00 PM		6:00 PM	
			NO.	%	NO.	%	NO.	%	NO.	%	NO.	%
1	600 S. San Pedro Street (Surface Lot)	136	137	100.7%	119	87.5%	84	61.8%	53	39.0%	39	28.7%
2	514 S. San Pedro Street (Surface Lot)	22	22	100.0%	22	100.0%	16	72.7%	12	54.5%	8	36.4%
Total Parking		158	159	100.6%	141	89.2%	100	63.3%	65	41.1%	47	29.7%

[1] Counts conducted by The Traffic Solution, May 2018.

[2] 514 South San Pedro Street Lot - partially closed due to construction.

Table B
WEEKDAY SHARED PARKING DEMAND ANALYSIS [1]
600 SOUTH SAN PEDRO STREET SITE

Land Use	514 & 600 S. San Pedro St. Demand	Retail	Residential (Manager DU)	Office	Shared Parking Demand	Shared Parking Demand With 10% Circulation Factor for Existing	Comparison w/ Parking Supply 212 Spaces
Size	N/A	3.2 KSF	4 DU	7.0 KSF			
Peak Pkg Rate[3]		4.0 /KSF	1.00 /DU	2.0 /KSF			
Gross Spaces	158 Spc. [5]	13 Spc.	4 Spc.	14 Spc.			
Adjusted Gross Spaces[4]	158 Spc.	13 Spc.	4 Spc.	12 Spc.	Shared Parking Demand	145	212 Spaces
Time of Day	Existing Parking Demand [2]	Number of Spaces	Number of Spaces	Number of Spaces			Surplus (Deficiency)
8:00 AM	118	3	4	8			67
9:00 AM	133	6	4	11			45
10:00 AM	146	10	4	12			25
11:00 AM	160	12	4	11			9
12:00 PM	137	13	4	10			34
1:00 PM	134	13	4	10			38
2:00 PM	154	13	4	12			14
3:00 PM	136	12	4	11			35
4:00 PM	95	12	4	10			82
5:00 PM	60	13	4	6			123
6:00 PM	42	13	4	3			146

Notes:

- [1] Source: ULI - Urban Land Institute "Shared Parking," Second Edition, 2005 (for the retail, residential manager, and office hourly parking profiles).
- [2] Parking demand shown reflects the combined weekday hourly parking demand less five spaces as that demand will be accommodated at the 544 S. San Pedro Street site.
- [3] Peak parking rates for all land uses based on the base parking ratios.
- [4] Gross spaces for the office adjusted to reflect parking demand reduction due to captive market, internal capture, transit, and/or walk-in reduction, as noted in the approved traffic study.
- [5] Per LLG's parking inventory, a total of 136 spaces is provided at the existing 600 S. San Pedro Street lot and a total of 22 spaces is provided at the 514 S. San Pedro Street lot.

EXHIBIT D.1

CPC-2017-589-GPAJ-ZCJ-HD-SPR



CITY OF LOS ANGELES
DEPARTMENT OF CITY PLANNING
CITY HALL 200 NORTH SPRING STREET LOS ANGELES CA 90012

Sustainable Communities Environmental Assessment
ADDENDUM

Weingart Projects - Modified Site 2 Project
Case Number: ENV-2017-615-SCEA-REC

Project Location: Site 1: 554-562 South San Pedro Street and 555-561 South Crocker Street; Site 2: 600-628 South San Pedro Street, 611-615 South Crocker Street, 518-522 East 6th Street, Los Angeles, CA 90013.

Community Plan Area: Central City Community Plan Area

Council District: 14 – José Huizar

Project Description: Since adoption of the Project SCEA and approval of the Site 1 Project entitlements, the Project Applicant has modified the size of the Original Site 2 Project addressed in the Project SCEA (herein referred to as the “Original Site 2 Project”), while the Site 1 Project remains unchanged. The modified Site 2 Project is referred to herein as the “Modified Site 2 Project,” and the unchanged Site 1 Project plus the Modified Site 2 Project are collectively herein referred to as the “Modified Project.” The location of the Modified Site 2 Project and the overall boundaries of the Modified Site 2 Project have not changed from the Original Site 2 Project analyzed in the Project SCEA. Also, as with the Original Site, the Modified Site 2 Project includes the same mix of land uses.

The primary differences between the Original Site 2 Project and the Modified Site 2 Project are listed below.

- The height of Building 1 is reduced by one story (from 19 to 18 stories) and by 8 feet, 2 inches (from 219 feet, 6 inches to 211 feet, 4 inches).
- Building 2 is increased in height from 57 feet to 62 feet (an increase of 5 feet) but without any increase in the number of parking spaces (212 spaces) or retail square footage 3,200 square feet.
- The total residential unit count is reduced by 1 manager unit, providing 298 restricted affordable and 4 manager’s units in Building 1.
- The total office use is reduced from 17,100 square feet to 7,030 square feet, a reduction of 10,070 square feet in Building 1.
- The amount of open space is reduced from 33,000 square feet to 30,080 square feet, a reduction of 2,920 square feet.
- The overall amount of development is increased from 214,907 square feet to 266,167 square feet, an increase of 51,260 square feet.
 - Building 1 is increased in size by 25,107 square feet. This increase is associated with refinement to the design of the building and increases in square footage to accommodate wider hallways and corridors, stairwell placement, and larger mechanical rooms.
 - Building 2 is increased in size by 26,153 square feet. This increase is associated with refinement to the design of the building and increases in square footage to accommodate wider drive aisles and parking spaces and structural columns.

The Building Construction and Finishing (Architectural Coating) phases of the construction schedule are increased by a collective total of 4 months to accommodate the increased construction square footage. The construction duration for the Original Project was 49 months. The construction duration under the Modified Project is 53 months.

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APPLICANT:

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Los Angeles, CA 90013

ADDENDUM

1. INTRODUCTION

The City Council of the City of Los Angeles (City) adopted a Sustainable Communities Environmental Assessment (SCEA) pursuant to California Public Resources Code Section 21155 on October 26, 2018 (ENV-2017-615-SCEA) and Errata, dated October 22, 2018 (collectively referred to herein as the “Project SCEA”). The Project described in the Project SCEA (Original Project) comprises development of two distinct affordable housing projects for permanent long-term housing with supportive services designed to accommodate homeless persons and individuals/families at risk of homelessness on two Project Sites (Site 1 and Site 2) within the Central City Community Plan Area of the City. Initially capitalized terms used but not defined in this Addendum have the meanings set forth in the Project SCEA.

A complete description of the Original Project and the entirety of the analysis and conclusions for the Original Project can be found in the published Project SCEA in the administrative record, Case No. ENV-2017-615-SCEA, or online at <http://planning.lacity.org/> under Development Services - Environmental Review – Published Documents – Sustainable Communities Environmental Assessment.¹ The administrative file is available for review at the City of Los Angeles, Department of City Planning, 221 North Figueroa Street, Suite 1450 Los Angeles, CA 90012.

The portion of the Project on Site 1 (Site 1 Project) has been fully entitled by the City, Case No. 2017-614-GPAJ-ZCJ-HD-SPR, and is not being modified and is not addressed in this Addendum. The portion of the Project to be developed on Site 2 (herein referred to as the “Site 2 Project”) is the subject of an entitlement application filed with the City and is currently under consideration. Modifications to the Site 2 Project are discussed below.

2. MODIFIED SITE 2 PROJECT

Since adoption of the Project SCEA and approval of the Site 1 Project entitlements, the Project Applicant has modified the size of the Original Site 2 Project addressed in the Project SCEA (herein referred to as the “Original Site 2 Project”), while the Site 1 Project remains unchanged. The modified Site 2 Project is referred to herein as the “Modified Site 2 Project,” and the unchanged Site 1 Project plus the Modified Site 2 Project are collectively herein referred to as the “Modified Project.” The location of the Modified Site 2 Project and the overall boundaries of the Modified Site 2 Project have not changed from the Original Site 2 Project analyzed in the Project SCEA. Also, as with the Original Site 2 Project, the Modified Site 2 Project includes the same mix of land uses, as shown on Table 1.

¹ <https://planning.lacity.org/development-services/environmental-review/scea/weingart-projects>.

Table 1
Site 2 Project Comparison

Site 2 Project Characteristics	Original Site 2 Project	Modified Site 2 Project	Change
MIXED-USE BUILDING (Building 1)			
Residential Dwelling Units (total)	303 du (total)	302 du (total)	-1 du
Efficiency Units	298 du	298 du	No change
Manager Units	5 du	4 du ¹	-1 du
Permanent Supportive Housing	149 du	149 du	No change
Family Affordable Housing	149 du	149 du	No change
Manager Units	5 du	4 du	-1 du
Residential Supportive Services	15,945 sf	15,945 sf	No change
Office	17,100 sf	7,030 sf	-10,070 sf
Open Space	33,000 sf	30,080 sf	-2,920 sf
Square Footage (total)	135,155 sf	160,262 sf	+25,107 sf
Building Height	219 feet, 6 inches	211 feet, 4 inches	-8 feet, 2inches
Stories	19 stories	18 stories	-1 story
Subterranean/Basement Levels	1 level	1 level	No change
PARKING BUILDING (Building 2)			
Vehicle Parking Spaces	212 spaces	212 spaces	No change
Retail	3,200 sf	3,200 sf	No change
Square Footage (total)	79,752 sf	105,905 sf	+26,153 sf
Building Height	57 feet	62 feet	+5 feet
Levels	4 Levels w/Roof Deck	4 Levels w/Roof Deck	No change
<i>du = dwelling unit sf = square feet</i>			
¹ <i>The Project SCEA assumed the manager units would be efficiency units. Under the Modified Site 2 Project, the manager units would be 2-bedroom units.</i>			

The primary differences between the Original Site 2 Project and the Modified Site 2 Project are listed below:

- The height of Building 1 is reduced by one story (from 19 to 18 stories) and by 8 feet, 2 inches (from 219 feet, 6 inches to 211 feet, 4 inches).
- Building 2 is increased in height from 57 feet to 62 feet (an increase of 5 feet) but without any increase in the number of parking spaces (212 spaces) or retail square footage 3,200 square feet).
- The total residential unit count is reduced by 1 manager unit, providing 298 restricted affordable and 4 manager's units in Building 1.
- The total office use is reduced from 17,100 square feet to 7,030 square feet, a reduction of 10,070 square feet in Building 1.
- The amount of open space is reduced from 33,000 square feet to 30,080 square feet, a reduction of 2,920 square feet.
- The overall amount of development is increased from 214,907 square feet to 266,167 square feet, an increase of 51,260 square feet.

- Building 1 is increased in size by 25,107 square feet, which is a result of increasing the width of certain portions of the building which were previously inset. Overall, the width and length of the building footprint remains the same as analyzed in the Project SCEA. This increase is associated with refinement to the design of the building and increases in square footage to accommodate wider hallways and corridors, stairwell placement, and larger mechanical rooms.
- Building 2 is increased in size by 26,153 square feet, which is a result of a minor increase in the overall footprint of the building and an increase in height which created new floor area. This increase is associated with refinement to the design of the building and increases in square footage to accommodate wider drive aisles and parking spaces and structural columns.
- The Building Construction and Finishing (Architectural Coating) phases of the construction schedule are increased by a collective total of 4 months to accommodate the increased construction square footage. The construction duration for the Original Project was 49 months. The construction duration under the Modified Project is 53 months. A comparison of construction schedules is shown on Table 2. The increase in the Building Construction and Finishing (Architectural Coating) phases was assumed to be directly proportional to the increase in floor area.

Characteristics that remain the same under the Modified Site 2 Project when compared to the Original Site 2 Project include the following:

- The number of efficiency units is still 298 dwelling units.
- The amount of Residential Supportive Services is still 15,945 square feet.
- Building 1 will still have one subterranean/basement level.
- The total number of parking spaces is still 212.
- The total amount of retail use is still 3,200 square feet.
- Building 2 will still have 4 levels with a roof deck.
- The maximum depth of excavation will still be approximately 17 feet below ground surface (bgs) and no additional grading will be required.
- The construction phases, amount of export, construction-related traffic, and haul route have not changed.

Table 2
Approximate Construction Schedule – Original and Modified Site 2 Comparison

Phase	Duration		Notes	
	Original Site 2 Project	Modified Site 2 Project	Original Site 2 Project	Modified Site 2 Project
Demolition	Approximately 1 month	No change	Demolition of approximately 20,244 cubic yards of material.	No change
Grading	Approximately 2 weeks	Approximately 2 weeks	10,200 cubic yards of export, hauled to off-site location within a 50-mile radius.	No change
Site Preparation	Approximately 2 months	Approximately 2 month	-	-
Building Construction	Approximately 1 year	Approximately 1 year, 2 months	No overlap with Grading or Site Preparation phase.	No overlap with Grading or Site Preparation phase.
Finishing (Architectural Coating)	Approximately 1 year	Approximately 1 year, 2 months	Some overlap with building construction phase.	Assumes the same 6-month phase offset as the Original Site 2 construction schedule.
<i>Note: The approximate construction schedule assumes a 5-day workweek.</i>				

3. ADDITIONAL REVIEW UNDER CEQA

CEQA does not expressly require further analysis of modifications to a project analyzed pursuant to a SCEA. Nonetheless, the City has determined that changes to a project for which a SCEA has been prepared may be analyzed pursuant to a technical report or addendum consistent with the approach outlined in Section 15164 of the CEQA Guidelines, as that section governs CEQA review for changes to projects following approval of the original CEQA document.

Section 15164 of the CEQA Guidelines provides the following:

- (a) The lead agency or a responsible agency shall prepare an addendum to a previously certified EIR if some changes or additions are necessary but none of the conditions described in Section 15162 calling for preparation of a subsequent EIR have occurred.*
- (b) An addendum to an adopted negative declaration may be prepared if only minor technical changes or additions are necessary or none of the conditions described in Section 15162 calling for the preparation of a subsequent EIR or negative declaration have occurred.*
- (c) An addendum need not be circulated for public review but can be included in or attached to the final EIR or adopted negative declaration.*
- (d) The decision-making body shall consider the addendum with the final EIR or adopted negative declaration prior to making a decision on the project.*
- (e) A brief explanation of the decision not to prepare a subsequent EIR pursuant to Section 15162 should be included in an addendum to an EIR, the lead agency's required findings on the project, or elsewhere in the record. The explanation must be supported by substantial evidence.*

As indicated in Section 15164 of the CEQA Guidelines, Section 15162 of the CEQA Guidelines provides the standard by which a lead agency determines whether an addendum or supplemental or subsequent analysis is appropriate for evaluation of changes to a project following that lead agency's adoption of a prior environmental document.²

² Section 15162 of the CEQA Guidelines describes the circumstances for when a subsequent EIR or negative declaration is required:

- (a) When an EIR has been certified or negative declaration adopted for a project, no subsequent shall be prepared for that project unless the lead agency determines, on the basis of substantial evidence in the light of the whole record, one or more of the following:*
 - (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant*

The environmental impacts associated with development of the Original Project were addressed in Section 6: Sustainable Communities Environmental Impact Analysis of the Project SCEA. For the reasons discussed below in Section 4 (Environmental Impact Discussion) of this Addendum, the Modified Site 2 Project, and accordingly, the Modified Project considered as a whole, would not result in any new significant impacts and would not increase the severity of the previously

environmental effects or a substantial increase in the severity of previously identified significant effects;

- (2) Substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or*
- (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any of the following:*
 - (A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;*
 - (B) Significant effects previously examined will be substantially more severe than shown in the previous EIR;*
 - (C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative; or*
 - (D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR would substantially reduce one or more is significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.*
- (b) If changes to a project or its circumstances occur or new information becomes available after adoption of a negative declaration, the lead agency shall prepare a subsequent EIR if required under subdivision (a). Otherwise the lead agency shall determine whether to prepare a subsequent negative declaration, an addendum, or no further documentation.*
- (c) Once a project has been approved, the lead agency's role in project approval is completed, unless further discretionary approval on that project is required. Information appearing after an approval does not require reopening of that approval. If after the project is approved, any of the conditions described in subdivision (a) occurs, a subsequent EIR or negative declaration shall only be prepared by the public agency which grants the next discretionary approval for the project, if any. In this situation no other responsible agency shall grant an approval for the project until the subsequent EIR has been certified or subsequent negative declaration adopted.*
- (d) A subsequent EIR or subsequent negative declaration shall be given the same notice and public review as required under Section 15087 or Section 15072. A subsequent EIR or negative declaration shall state where the previous document is available and can be reviewed.*

identified significant impacts. Thus, the proposed changes associated with the Modified Site 2 Project and with the Modified Project considered as a whole do not constitute “substantial changes” that would require “major revisions” to the Project SCEA due to new or increased impacts (refer to Section 15162 (a)(1)). Additionally, the “circumstances under which the project” would be undertaken are no different than described in the Project SCEA (refer to Section 15162(a)(2)). Further, the proposed changes associated with the Modified Site 2 Project and accordingly, the Modified Project considered as a whole, do not represent “new information of substantial importance” that would result in new or increased significant impacts not already identified in the Project SCEA.

Because the proposed changes associated with the Modified Site 2 Project do not meet the conditions described in Section 15162 of the CEQA Guidelines, the City determined that an addendum to the Project SCEA is the appropriate documentation to address the proposed changes.

4. ENVIRONMENTAL IMPACT DISCUSSION

As stated previously, the original Site 1 Project remains unchanged. The Modified Site 2 Project does not modify Site 1 or the Site 1 Project, nor does the Modified Site 2 Project modify the location, boundaries, or condition of Site 2 as presented in the Project SCEA; the conditions described for Site 2 in the Project SCEA are still valid.

Height and Floor Area/Massing

The environmental impact topics addressed in the Project SCEA that are affected by height and floor area/massing include aesthetics and historical resources. The Project SCEA did not identify any significant impacts or mitigation measures related to aesthetics or historical resources for the Original Site 2 Project or the Original Project.³

The overall development envelope for the Modified Site 2 Project is substantially similar to that described in the Project SCEA for the Original Site 2 Project. As part of the Modified Site 2 Project, Building 1 will be reduced from 19 stories to 18 stories, but will be increased in floor area/massing by 25,107 square feet. The height of Building 2 will be increased by five (5) feet and will be increased in floor area/massing by 26,153 square feet. The changes in height and floor area/massing under the Modified Site 2 Project do not represent meaningful or substantial changes to the overall development envelope for Site 2.

Therefore, the aesthetics and historical resources impacts for the Modified Site 2 Project and accordingly, the Modified Project considered as a whole, would be the same as the Project SCEA.

Site 2 Conditions and Site Boundaries

The environmental impact topics addressed in the Project SCEA that are affected by Site 2 conditions and boundaries include biological resources, other cultural resources (i.e.,

³ Pursuant to Senate Bill 743, because the Original Project and the Modified Project are Transit Priority Projects, impacts related to aesthetics are not considered significant.

archaeological, paleontological, human remains, and tribal), geology and soils, hazards and hazardous materials, and hydrology and water quality. The Project SCEA concluded that impacts related to biological resource, geology and soils, and hydrology and water quality would be less than significant. The Project SCEA identified potentially significant impacts related to unknown archaeological and paleontological and hazards and hazardous materials (i.e., removal of an underground storage tank [UST]), and Mitigation Measures CULT-MM-1, CULT-MM-2, CULT-MM-3, and HAZ-MM-1 were identified to ensure that impacts related to archaeological and paleontological resources and hazards and hazardous materials would be less than significant. All other impact topics noted here were identified as less than significant in the Project SCEA.

The conditions for Site 2 remain unchanged, and the Modified Site 2 Project has the same development boundaries and depth of excavation as described in the Project SCEA. Thus, impacts related to biological resources, other cultural resources (i.e., archaeological, paleontological, human remains, and tribal), geology and soils, hazards and hazardous materials, and hydrology and water quality would be the same under the Modified Site 2 Project and accordingly, the Modified Project considered as a whole as described in the Project SCEA. The Project Applicant will still be required to implement Mitigation Measures CULT-MM-1, CULT-MM-2, CULT-MM-3, and HAZ-MM-1 to ensure that impacts related to archaeological and paleontological resources and hazards and hazardous materials will be less than significant. All other impacts noted here would remain less than significant.

Since the adoption of the Project SCEA, Appendix G of the CEQA Guidelines was amended to include Wildfire as an impact topic. The location and boundaries of the Modified Site 2 Project remains the same as analyzed in the Project SCEA. Site 2 is not located in or near state responsibility areas or lands classified as very high fire hazard severity zones and thus, the Modified Site 2 project, and accordingly, the Modified Project, would result in no impact as it relates to Wildfire.

Therefore, impacts related to biological resources, other cultural resources (i.e., archaeological, paleontological, human remains, and tribal), geology and soils, hazards and hazardous materials, and hydrology and water quality under Modified Site 2 Project and accordingly, Modified Project considered as a whole, would be the same as the Project SCEA.

Construction Activities

The environmental impact topics addressed in the Project SCEA that are affected by construction activities include construction-related air quality, noise, and traffic. The Project SCEA concluded that construction-related air quality impacts would be less than significant. The Project SCEA identified potentially significant construction-related noise and traffic impacts, and Mitigation Measures NOISE-MM-1, NOISE-MM-2, and TRAFFIC-MM-1 were identified to ensure that construction-related noise and traffic impacts will be less than significant.

The overall amount of square footage to be developed has been increased from approximately 214,907 square feet to 266,167 square feet (an increase of 51,260 square feet), resulting in an increase of four (4) months for the construction schedule for the Modified Site 2 Project when compared to the Original Site 2 Project. Although the construction schedule would be increased by four (4) months, the construction phases, maximum construction-day scenario, approximate amount of export, maximum daily construction traffic, and haul route described in the Project

SCEA for the Original Site 2 Project would be substantially the same under the Modified Site 2 Project and accordingly, the Modified Project considered as a whole.⁴ The increase in time for the construction schedule is to ensure that the maximum daily construction-related air quality, noise, and traffic impacts identified in the Project SCEA for the Original Site 2 Project are measured based on maximum daily construction impacts, the impacts for each would be the same under the Modified Site 2 Project and accordingly, the Modified Project considered as a whole. The Project Applicant will still be required to implement Mitigation Measures NOISE-MM-1, NOISE-MM-2, and TRAFFIC-MM-1 to ensure that construction-related noise and traffic impacts will be less than significant, as noted in the Project SCEA. All other impacts noted here would remain less than significant.

Therefore, construction-related air quality, noise, and traffic impacts under Modified Site 2 Project and accordingly, Modified Project considered as a whole, would be the same as the Project SCEA.

Uses

The environmental impact topics addressed in the Project SCEA that are affected by the types of land uses to be developed include land use; operational air quality, greenhouse gas (GHG) emissions, noise, and traffic; and population and housing, public services (i.e., fire, police, schools, parks/recreation, and libraries), and utilities and service systems (i.e., wastewater, water, solid waste, and energy).⁵ The Project SCEA concluded that impacts related to operational air quality, GHG emissions, noise, and traffic; and population and housing, public services (i.e., fire, schools, parks/recreation, and libraries), and utilities and service systems (i.e., wastewater, water, solid waste, and energy) would be less than significant. The Project SCEA identified potentially significant impacts related to land use and public services – police, and Mitigation Measures MM-LU1(b) and POLICE-MM-1 were identified to ensure that impacts related to land use and public services – police would be less than significant.

The land uses for the Site 2 Project have not been modified. As with the Original Site 2 Project, the proposed uses for the Modified Site 2 Project are inconsistent with the current land use designation (Light Manufacturing) and zoning (M2-2D) for Site 2, a General Plan Amendment,

⁴ *The analyses of construction-related impacts associated with air quality, noise, and traffic assume a “maximum construction-day scenario,” which represents the maximum extent of construction activities and associated impacts – meaning when the most construction pollutant emissions would be generated, when the loudest construction noise levels would occur, and when the most construction traffic would be generated. The maximum construction-day scenario is the point during the construction phase when impacts would be the greatest. Any other day other than the maximum construction day would have less impacts. For air quality and noise, the most pollutant emissions and the loudest noise levels would occur during the demolition/grading phase, due to the mix of construction equipment that would be used. For traffic, the most AM peak-hour construction traffic trips would occur during the grading phase, and the most PM peak-hour construction traffic trips would occur during the building phase.*

⁵ *Since the adoption of the Project SCEA, Appendix G of the CEQA Guidelines was amended and Energy was identified as a separate impact topic. The Project SCEA analyzed the Original Project’s potential impacts related to energy under Utilities and Service Systems, Page Nos. 6-284 through 6-303, of the Project SCEA.*

Zone Change, and Height District Change were determined to be required. As discussed in the Project SCEA, the Southern California Association of Governments' (SCAG) 2016-2040 Regional Transportation Plan/Sustainable Communities Strategy (2016-2040 RTP/SCS) recognizes that land uses authorized under the 2016-2040 RTP/SCS may be inconsistent with existing land use plans, policies, and regulations of an agency with jurisdiction over a project and identified mitigation measure MM-LU-1(b) to address and avoid or reduce potential significant effects of such inconsistency to less than significant levels. This mitigation measure would continue to apply to the Modified Site 2 Project and to the Modified Project considered as a whole, to ensure that land use impacts would remain less than significant.

The Modified Site 2 Project includes the same mix of uses as the Original Site 2 Project, but with one less dwelling unit, 10,070 fewer square feet of office use, and the same amount of retail use (i.e., 3,200 square feet) and number of parking spaces (i.e., 212 spaces). Because impacts related to operational air quality, GHG emissions, noise, and traffic were determined by the number of dwelling units and office square footage, a reduction in overall office square footage and a decrease in one unit of housing would result in generation of less operational-related criteria pollutant emissions, GHG emissions, and noise and fewer daily/peak-hour traffic trips when compared to the Original Site 2 Project, and impacts related to these issues would remain less than significant.

Further, because the Modified Site 2 Project includes only one less dwelling unit but a more substantial reduction in overall office square footage, the number of residents would be approximately the same as under the Original Site 2 Project, but the number of employees would be decreased. The Project Applicant will still be required to implement Mitigation Measure POLICE-MM-1 to ensure that impacts to police services would be less than significant. All other impacts noted here would remain less than significant.

Additionally, as stated previously, the Modified Site 2 Project includes the same mix of uses as the Original Site 2 Project, but with one less dwelling unit, 10,070 less square feet of office use, and the same amount of retail use (i.e., 3,200 square feet). Thus, the Modified Site 2 Project would result in an overall reduction in the amount of energy and water consumption and wastewater and solid waste generation as compared with the Original Site 2 Project, and impacts related to these impacts would continue to be less than significant, as noted in the Project SCEA.

Conclusion

For the reasons discussed above, the Modified Site 2 Project will not create new or increased significant environmental impacts beyond those already identified in the Project SCEA for the Original Site 2 Project and accordingly, the Modified Project considered as a whole will not create new or increased significant environmental impacts beyond those already identified in the Project SCEA for the Original Project as a whole. The mitigation measures adopted as part of the Project SCEA will continue to apply and will continue to mitigate impacts of the Modified Site 2 Project and the Modified Project as a whole to a less-than-significant level.

EXHIBIT D.2


CPC-2017-589-GPAJ-ZCJ-HD-SPR

CITY OF LOS ANGELES
INTER-DEPARTMENTAL CORRESPONDENCE

554 & 600 S San Pedro St
DOT Case No. CEN 17-45655

Date: May 3, 2018

To: Luciralia Ibarra, City Planner
Department of City Planning

From: 
Wes Pringle, Transportation Engineer
Department of Transportation

Subject: **TRANSPORTATION IMPACT ASSESSMENT FOR THE PROPOSED WEINGART MIXED-USE/AFFORDABLE HOUSING PROJECTS LOCATED AT 554 AND AT 600 SOUTH SAN PEDRO STREET (ENV-2017-615-EAF/VTT-74852 AND ENV-2017-590-EAF/VTT-74864)**

The Department of Transportation (DOT) has reviewed the transportation impact study, dated March 13, 2018, prepared by Linscott, Law & Greenspan, Engineers, for the proposed Weingart Mixed-Use/Affordable Housing Projects located at 554 and at 600 South San Pedro Street. In order to evaluate the effects of the projects' traffic on the available transportation infrastructure, the significance of the projects' traffic impacts is measured in terms of change to the volume-to-capacity (V/C) ratio between the "future no project" and the "future with project" scenarios. This change in the V/C ratio is compared to established threshold standards to assess the project-related traffic impacts. Based on DOT's traffic impact criteria¹, the proposed development, as a whole or separately, is not expected to result in any significant traffic impacts at the seven studied signalized intersections identified for detailed analysis. The results of the traffic impact analysis, which accounted for other known development projects in evaluating potential cumulative impacts and adequately evaluated the projects' traffic impacts on the surrounding community, are summarized in **Attachment 1**.

DISCUSSION AND FINDINGS

A. Project Description

The Weingart projects include two distinct affordable housing projects: Weingart Towers (18-story building and 12-story building) and San Pedro Tower (19-story building), on the east side of San Pedro Street to the north and south of 6th Street. The Weingart Towers site, bounded by existing commercial development to the north and south, Crocker Street to the east, and San Pedro Street to the west, is currently occupied by a surface parking lot and the Weingart Café, which is a functional atypical restaurant serving the homeless. The San Pedro Tower site, bounded by 6th Street to the north, existing commercial development to the south, Crocker Street to the east, and San Pedro Street to the west, is currently occupied by a surface parking lot. The Weingart projects would remove the existing uses

¹ Per the DOT Traffic Study Policies and Procedures, a significant impact is identified as an increase in the Critical Movement Analysis (CMA) value, due to project related traffic, of 0.01 or more when the final ("with project") Level of Service (LOS) is LOS E or F; an increase of 0.020 or more when the final LOS is LOS D; or an increase of 0.040 or more when the final LOS is LOS C.

and construct a total of 676 affordable housing units (451 for permanent supportive housing and 225 for households with children), nine apartments, 5,450 square feet of commercial use, and 36,130 square feet of office. The specific details for each distinct affordable housing project are provided in the table below. Although each presently have different anticipated build-out years, the impact analysis evaluates the combined effects of the two projects assuming a build-out year of 2025.

Proposed Land Use	Vehicle Access	Build-Out Year
Weingart Towers (554 -562 S San Pedro St & 555-561 S Crocker St)		
18-Story Building (278 Dwelling Units) 12-Story Building (104 Dwelling Units) Total: 382 Dwelling Units 378 Affordable Housing 302 Permanent Supportive Housing (PSH) 76 Family 4 Manager Apartments 19,030 Square Feet (SF) Office 2,250 SF Commercial 11,463 SF Dining Room/Flex Space for Residents & Area Homeless	Full-access driveway on Crocker St	2025
San Pedro Tower (600-628 S San Pedro St, 611-615 S Crocker St, & 518-522 E 6th St)		
19-story Building Total: 303 Dwelling Units 298 Affordable Housing 149 PSH 149 Family 5 Manager Apartments 17,100 SF Office 3,200 SF Commercial	Right-in/right-out driveway on San Pedro St	2023

B. Trip Generation

The projects are estimated to generate a net increase of 2,038 daily trips, 229 trips in the a.m. peak hour, and 197 trips in the p.m. peak hour. The trip generation estimates are based on formulas published by the Institute of Transportation Engineers (ITE) Trip Generation, 9th Edition, 2012. A copy of the trip generation table can be found in **Attachment 2**.

C. Freeway Analysis

The traffic study included a freeway impact analysis that was prepared in accordance with the State-mandated Congestion Management Program (CMP) administered by the Los Angeles County Metropolitan Transportation Authority (MTA). According to this analysis, the project would not result in significant traffic impacts on any of the evaluated freeway mainline segments. To comply with the Freeway Impact Analysis Agreement executed between Caltrans and DOT in December 2015, the study also included a screening analysis to determine if additional evaluation of freeway mainline and ramp segments was necessary

beyond the CMP requirements. Exceeding one of the four screening criteria would require the applicant to work directly with Caltrans to prepare more detailed freeway analyses. However, the project did not meet or exceed any of the four thresholds defined in the agreement; therefore, no additional freeway analysis was required.

PROJECT REQUIREMENTS

A. Construction Impacts

DOT recommends that a construction work site traffic control plan be submitted to DOT's Citywide Temporary Traffic Control Section or Permit Plan Review Section for review and approval prior to the start of any construction work. Refer to <http://ladot.lacity.org/what-we-do/plan-review> to determine which section to coordinate review of the work site traffic control plan. The plan should show the location of any roadway or sidewalk closures, traffic detours, haul routes, hours of operation, protective devices, warning signs and access to abutting properties. DOT also recommends that all construction related traffic be restricted to off-peak hours.

B. Highway Dedication And Street Widening Requirements

On September 7, 2016, the City Council adopted the Mobility Plan 2035 which is the new Mobility Element of the General Plan. A key feature of the updated plan is to revise street standards in an effort to provide a more enhanced balance between traffic flow and other important street functions including transit routes and stops, pedestrian environments, bicycle routes, building design and site access, etc. The applicant should check with BOE's Land Development Group to determine if there are any other applicable highway dedication, street widening and/or sidewalk requirements for this project. Per the new Mobility Element, **San Pedro Street** and **6th Street**, both Avenue IIs, would require a 28-foot half-width roadway within a 43-foot half-width right-of-way and **Crocker Street**, a Collector Street, would require 20-foot half-width roadway within a 33-foot half-width right-of-way.

C. Parking Requirements

The project will provide the minimum code-required vehicle and bicycle parking spaces. The applicant should check with the Department of Building and Safety on the number of code-required parking spaces needed for the project.

D. Driveway Access and Circulation

The proposed site plans illustrated in **Attachment 3** are acceptable to DOT; however, review of the study does not constitute approval of the driveway dimensions and internal circulation schemes. Those require separate review and approval and should be coordinated with DOT's Citywide Planning Coordination Section (201 N. Figueroa Street, 5th Floor, Room 550, at 213-482-7024). In order to minimize potential building design changes, the applicant should contact DOT for driveway width and internal circulation requirements so that such traffic flow considerations are designed and incorporated early into the building and parking layout plans. All new driveways should be Case 2 driveways and any security gates should be a minimum 20 feet from the property line. All truck loading and unloading should take place on site with no vehicles backing into the project via any of the project driveways.

E. Development Review Fees

An ordinance adding Section 19.15 to the Los Angeles Municipal Code relative to application fees paid to DOT for permit issuance activities was adopted by the Los Angeles City Council in 2009 and updated in 2014. This ordinance identifies specific fees for traffic study review, condition clearance, and permit issuance. The applicant shall comply with any applicable fees per this ordinance.

If you have any questions, please contact Eileen Hunt of my staff at (213) 972-8481.

Attachments

K:\Letters\2018\CEN17-45655_554 & 600 S San Pedro St_MU_Weingart Projs.docx

c: Shawn Kuk, Council District No. 14
Carl Mills, BOE Development Services
Mehrdad Moshksar, Central District Office, DOT
Taimour Tanavoli, Case Management Office, DOT
Clare M. Look-Jaeger/KC Jaeger, Linscott, Law & Greenspan, Engineers

Table 9-1
SUMMARY OF VOLUME TO CAPACITY RATIOS
AND LEVELS OF SERVICE
WEEKDAY AM AND PM PEAK HOURS

NO.	INTERSECTION	PEAK HOUR	[1]		[2]				[3]		[4]			
			YEAR 2017 EXISTING V/C	LOS	YEAR 2017 EXISTING WITH PROJECT V/C	LOS	CHANGE V/C [(2)-(1)]	SIGNIF. IMPACT [a]	YEAR 2025 FUTURE W/O PROJECT V/C	LOS	YEAR 2025 FUTURE WITH PROJECT V/C	LOS	CHANGE V/C [(4)-(3)]	SIGNIF. IMPACT [a]
1	Los Angeles Street/ 6th Street	AM PM	0.342 0.403	A A	0.353 0.407	A A	0.011 0.004	No No	0.545 0.617	A B	0.556 0.625	A B	0.011 0.008	No No
2	San Pedro Street/ 4th Street	AM PM	0.208 0.505	A A	0.211 0.515	A A	0.003 0.010	No No	0.291 0.632	A B	0.293 0.641	A B	0.002 0.009	No No
3	San Pedro Street/ 5th Street	AM PM	0.255 0.214	A A	0.273 0.225	A A	0.018 0.011	No No	0.375 0.379	A A	0.392 0.389	A A	0.017 0.010	No No
4	San Pedro Street/ 6th Street	AM PM	0.138 0.311	A A	0.143 0.335	A A	0.005 0.024	No No	0.251 0.457	A A	0.287 0.482	A A	0.036 0.025	No No
5	San Pedro Street/ 7th Street	AM PM	0.450 0.542	A A	0.480 0.579	A A	0.030 0.037	No No	0.715 0.735	C C	0.753 0.769	C C	0.038 0.034	No No
6	San Pedro Street/ 8th Street	AM PM	0.359 0.397	A A	0.371 0.407	A A	0.012 0.010	No No	0.507 0.566	A A	0.519 0.576	A A	0.012 0.010	No No
7	Central Avenue/ 6th Street	AM PM	0.262 0.516	A A	0.277 0.529	A A	0.015 0.013	No No	0.492 0.797	A C	0.507 0.810	A D	0.015 0.013	No No

[a] According to LADOT's "Transportation Impact Study Guidelines," December 2016, a transportation impact on an intersection shall be deemed significant in accordance with the following table:

<u>Final v/c</u>	<u>LOS</u>	<u>Project Related Increase in v/c</u>
>0.701 - 0.800	C	equal to or greater than 0.040
>0.801 - 0.900	D	equal to or greater than 0.020
>0.901	E/F	equal to or greater than 0.010

Table 7-1
PROJECT TRIP GENERATION [1]

LAND USE	SIZE	DAILY TRIP ENDS [2] VOLUMES	AM PEAK HOUR VOLUMES [2]			PM PEAK HOUR VOLUMES [2]		
			IN	OUT	TOTAL	IN	OUT	TOTAL
<u>Weingart Towers - Phases 1 & 2 [3]</u>								
Affordable Housing - Supportive [4]	302 DU	384	16	20	36	21	15	36
Affordable Housing - Family [5]	76 DU	310	15	23	38	14	12	26
Manager Apartment [6]	4 DU	27	0	2	2	1	1	2
Commercial [7]	2,250 GLSF	96	1	1	2	4	4	8
- Less 50% Pass-by [8]		(48)	(1)	(1)	(2)	(2)	(2)	(4)
General Office [9]	19,030 GSF	210	26	4	30	5	23	28
- Less Transit Adjustment (5%) [10]		(11)	(1)	0	(1)	0	(1)	(1)
- Less Walk Adjustment (5%) [10]		(11)	(1)	0	(1)	0	(1)	(1)
- Less Internal Capture (5%) [10]		(11)	(1)	0	(1)	0	(1)	(1)
Dining Room/Flex Space [11]	11,463 GSF	80	10	1	11	1	10	11
Subtotal Weingart Towers Project		1,026	64	50	114	44	60	104
<u>San Pedro Tower [3]</u>								
Affordable Housing - Supportive [4]	149 DU	189	8	10	18	11	7	18
Affordable Housing - Family [5]	149 DU	608	30	45	75	28	23	51
Manager Apartment [6]	5 DU	33	1	2	3	2	1	3
Commercial [7]	3,200 GLSF	137	2	1	3	6	6	12
- Less 50% Pass-by [8]		(69)	(1)	(1)	(2)	(3)	(3)	(6)
General Office [9]	17,100 GSF	189	24	3	27	4	21	25
- Less Transit Adjustment (5%) [10]		(9)	(1)	0	(1)	0	(1)	(1)
- Less Walk Adjustment (5%) [10]		(9)	(1)	0	(1)	0	(1)	(1)
- Less Internal Capture (5%) [10]		(9)	(1)	0	(1)	0	(1)	(1)
Subtotal San Pedro Tower Project		1,060	61	60	121	48	52	100
Subtotal Weingart Projects		2,086	125	110	235	92	112	204
<u>Existing Weingart Towers Site</u>								
Weingart Cafe [12]	(7,000) GSF	(48)	(5)	(1)	(6)	(1)	(6)	(7)
Subtotal Existing Weingart Towers Site		(48)	(5)	(1)	(6)	(1)	(6)	(7)
NET INCREASE		2,038	120	109	229	91	106	197



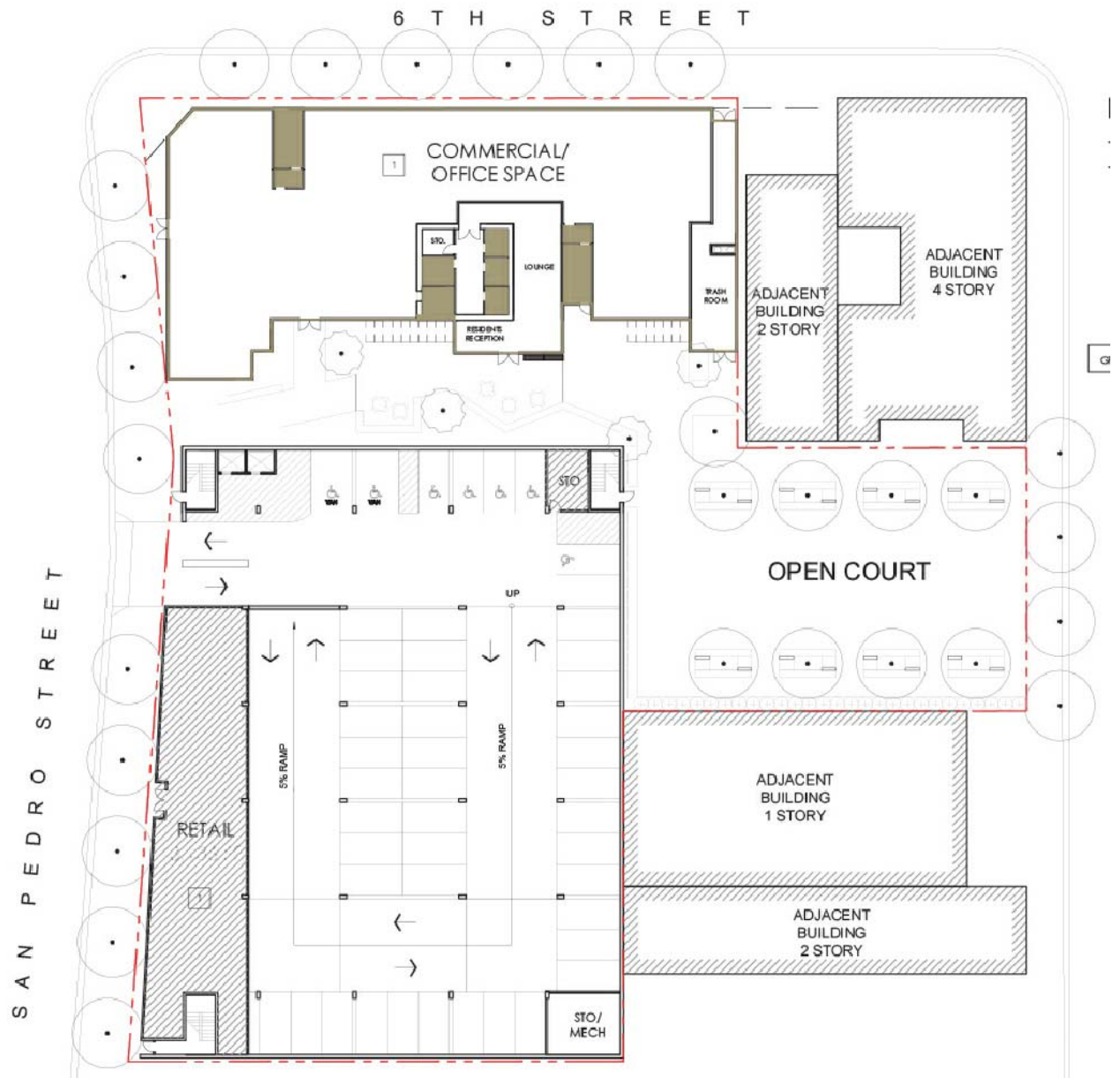
NOT TO SCALE

MAP SOURCE: JWDA ARCHITECTURE PLANNING INTERIOR DESIGN

LINSCOTT, LAW & GREENSPAN, engineers

FIGURE 2-3
GROUND FLOOR SITE PLAN
WEINGART TOWERS
WEINGART PROJECTS

o:\job_file\4241-2\dwg\2-4.dwg LDP 09:18:23 03/05/2018 rodriguez



NOT TO SCALE

MAP SOURCE: JWDA ARCHITECTURE PLANNING INTERIOR DESIGN

LINSCOTT, LAW & GREENSPAN, engineers

FIGURE 2-4
GROUND FLOOR SITE PLAN
SAN PEDRO TOWER
WEINGART PROJECTS

Subject: Re: The Weingart Projects

Date: Monday, July 23, 2018 at 2:46:42 PM Mountain Daylight Time

From: Wes Pringle

To: Clare Look-Jaeger

CC: K.C. Jaeger, Kerrie Nicholson

Hi Clare,

Yes, I concur with your analysis of the different build-out years and this should not change the results of the study.

Wes

On Mon, Jul 23, 2018 at 12:00 PM, Clare Look-Jaeger <look-jaeger@llgengineers.com> wrote:

Hi Wes:

For the Weingart Projects, May from Planning has asked us to reach out to you for one clarification. The environmental (SCEA) document calls out occupancy of The Weingart Towers (Site 1) by 2022 and the San Pedro Tower site (Site 2) by 2023. Your clearance letter attached (and the table within) shows a different occupancy year for the Weingart Towers. As your clearance letter indicates, for traffic analysis purposes, we assumed build-out by Year 2025 to be conservative just in case the project got delayed due to unforeseen reasons. May would like for you to acknowledge that the environmental documents reflect a different schedule for occupancy (sooner) than what we assumed for traffic analysis purposes. She understands that the discrepancy in the buildout schedule doesn't change the conclusions of the traffic study, because the study is based on full buildout of both sites and is not a phased project. However, she asked us to email you, explain the issue, and then get confirmation from you that you understand the discrepancy and that it doesn't affect the conclusions of the traffic study.

Can you email us back with this confirmation?

Many thanks,

Clare

Clare Look-Jaeger, P.E.

Principal

look-jaeger@llgengineers.com

Linscott, Law & Greenspan, Engineers

600 South Lake Avenue, Suite 500



Pasadena, CA 91106

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Wes Pringle. P.E.

Transportation Engineer
Metro Development Review

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<http://planning.lacity.org>

October 22, 2018

Weingart Center Association (O)(A)
566 South San Pedro Street
Los Angeles, CA 90013

Jim Ries (R)
Craig Lawson & Co., LLC
3221 Hutchison Avenue, Suite D
Los Angeles, CA 90034

Case No. ENV-2017-615-SCEA
Site 1 Incidental Cases: CPC-2017-614-GPAJ-ZCJ-HD-SPR and VTT-74852
Site 2 Incidental Cases: CPC-2017-589-GPAJ-ZCJ-HD-SPR and VTT-74864
Site 1 Addresses: 554-562 South San Pedro Street and 555-561 South Crocker Street
Site 2 Addresses: 600-628 South San Pedro Street, 611-615 South Crocker Street, and 518-522 East 6th Street
Community Plan: Central City
Council District: 14 - Huizar

RE: ERRATA FOR ENV-2017-615-SCEA

The City of Los Angeles (City) has prepared an Errata for the Sustainable Communities Environmental Assessment (SCEA) for the Weingart Projects to address minor corrections within the analysis of the proposed haul route and to clarify a requirement of an identified mitigation measure related to transportation and traffic. The Weingart Projects consists of the development of two project sites identified as Site 1 and Site 2 in the SCEA. Site 1 is proposed to be developed with 382 residential dwelling units, 2,250 square feet of commercial land uses, 25,493 square feet of philanthropic institution land uses, and 32 parking spaces. Of the 382 residential dwelling units, 378 units will be set aside as Restricted Affordable Units and four units designated as Manager Units. Site 2 is proposed to be developed with 303 residential dwelling units, 3,200 square feet of commercial land uses, 17,100 square feet of office land uses, and 212 parking spaces. Of the 303 residential dwelling units, 298 units will be set aside as Restricted Affordable Units and five units will be designated as Manager Units. No changes are proposed to the two Projects as part of this errata.

The original SCEA was released for public comment from September 13, 2018 to October 15, 2018. A joint public hearing held for the proposed Project at Site 1, Case No. CPC-2017-614-GPAJ-ZCJ-HD-SPR and VTT-74852, was held on October 10, 2018 before the Hearing Officer and Advisory Agency. Comments submitted regarding the SCEA have been included as part of the administrative record and addressed in the City's Response to Comments dated October 22, 2018.

REGULATORY FRAMEWORK

CEQA Guidelines Section 15088.5(a) provides guidelines that would require the Lead Agency to recirculate the environmental document when new information is added after public notice is given for availability for review. New information added is not considered "significant" unless the environmental document is changed in a way that deprives the public of a meaningful opportunity to comment upon a substantial adverse environmental effect of the project or a

feasible way to mitigate or avoid such an effect that the project's proponents. CEQA Guideline Section 15088.5(b) and (e) provides additional guidelines which states that recirculation is not required where the new information added merely clarifies or amplifies or makes insignificant modifications in an adequate environmental document and provided that the decision to not recirculate is supported by substantial evidence in the administrative record.

During the public comment period of the SCEA, comments were submitted from the general public and are addressed in the City's Response to Comments dated October 22, 2018. As demonstrated by the analysis herein, the clarifications and revisions do not represent significant new information as defined in CEQA Guideline Section 15088.5(a) and merely clarifies existing information and further amplifies a previously identified mitigation measure. As such, the errata does not require recirculation, consistent with CEQA Guideline Section 15088.5(b).

ENVIRONMENTAL ANALYSIS

The environmental analysis related to the clarification and revisions of the Errata are attached herein.

CONCLUSION

The Department of City Planning has determined that clarifications to the haul route information and revision to the mitigation measure identified as Traffic-MM-1 is not significant new information as defined in CEQA Guideline Section 15088.5(a) and does not require the recirculation of the SCEA prior to its adoption pursuant to CEQA Guideline Section 15088.5(b).

VINCENT P. BERTONI, AICP
Director of Planning



Jane J. Choi, AICP
Senior City Planner
JJC:MS

Attachment: Errata Environmental Analysis

WEINGART PROJECTS SCEA

ERRATA

Haul Route

A portion of the description of the Project's preliminary haul route in the Sustainable Communities Environmental Analysis (SCEA) inadvertently identified East 6th Street in the vicinity of the Project Sites as having westbound traffic flow ability. However, in the vicinity of the Project Sites, East 6th Street is an eastbound one-way street. Thus, the portion of the Project's haul route that included "westbound" East 6th Street requires revision to allow haul trucks to access the ultimate regional routes to recycling/landfill facilities. As such, the last sentence of the first paragraph on page 2-99 in Section 2: Project Description and the last sentence of the first full paragraph on page 6-257 in Section 6: Sustainable Communities Environmental Analysis of the SCEA have been revised, respectively, as follows (new text shown in underline, deleted text shown in ~~strike through~~):

Section 2: Project Description

Direct local access to these freeways and the anticipated local haul route(s) from the Project Sites would consist of ~~westbound~~eastbound East 6th Street, northbound Crocker Street, and westbound 5th Street to State Route 110/I-110 Freeway, and/or East 6th Street, southbound Crocker Street, westbound 7th Street, and southbound South San Pedro Street to the I-10 Freeway, ~~and eastbound East 6th Street to State Route 110/I-10 Freeway~~.

Section 6: Sustainable Communities Environmental Analysis

Direct local access to these freeways and the anticipated local haul route(s) from the Project Sites would consist of ~~westbound~~eastbound East 6th Street, northbound Crocker Street, and westbound 5th Street to State Route 110/I-110 Freeway, and/or East 6th Street, southbound Crocker Street, westbound 7th Street, and southbound South San Pedro Street to the I-10 Freeway, ~~and eastbound East 6th Street to State Route 110/I-10 Freeway~~.

The preliminary haul route described in the SCEA assumes use of only those local roadways in close proximity to the Project Sites that provide the most direct access to the regional routes to recycling/landfill facilities. The revisions to the Project's preliminary haul route outlined above do not change the assumptions made in the SCEA that the Project's haul trips would use local roadways in the vicinity of the Project Site. The revisions to the preliminary haul route would not result in changes to construction traffic impacts described in the SCEA, because the number of haul trips would not increase, haul trips would continue to occur outside of peak-hour traffic periods, and the hauling phases for Sites 1 and 2 would not increase and would be temporary. Thus, the revision to preliminary haul route do not constitute significant new information as defined in CEQA Guidelines subsection 15088.5, because the revisions do not substantially affect the Project's overall haul route and do not present a new or increased significant impact not already identified in the SCEA.

Construction Noise

The analysis of off-site construction-related noise impacts associated with haul truck activities in Section 6: Sustainable Communities Environmental Analysis on page 6-168 of the SCEA assumes 12 haul trips per hour per workday during the demolition and grading phases. However, the text of the analysis inadvertently omitted the words “per hour.” As such, the first and eighth sentences of the first full paragraph on page 6-168 of the SCEA has been revised (respectively) as follows (new text shown in underline):

With regard to off-site construction-related noise impacts, peak noise sources would result from haul truck activity during demolition and grading activities, which would require up to approximately 12 haul trips per hour per workday to export excavated soils and demolished materials from the Project Sites to a regional landfill.

Considering that the Project would generate up to approximately 12 haul trips per hour per workday, and that the noise impact of these haul trips would be acoustically equivalent to approximately 228 automobile trips per work day, the Project would not cause an equivalent doubling or tripling of traffic levels that would be associated with either a 3 dBA or 5 dBA noise increase, respectively.

This revision is consistent with the analysis and discussion pertaining to construction related trips on page 6-255 of the SCEA under Section 16. Transportation/Traffic and does not constitute significant new information as defined in CEQA Guidelines subsection 15088.5, because the revision simply clarifies assumptions already made in the construction noise analysis (i.e., 12 haul trips per hour per workday) and does not present a new or increased significant impact not already identified in the SCEA.

Construction Traffic

On October 10, 2018, a comment letter was received from Metro regarding the Project’s potential impacts on existing bus stops and bus routes. The comment letter identifies a bus stop located on the south side of East 6th Street, adjacent to Site 2’s northerly frontage along 6th Street. The SCEA identifies and discusses the proximity of Site 2 to the bus stop in the appropriate sections and determines that existing regulatory measures or mitigation measures would reduce impacts to a less than significant level. However, for purposes of clarifying an existing requirement regarding temporary relocation of a Metro bus stop during the Project’s construction phase, the mitigation measure, Traffic-MM-1, has been revised as follows (new text underline):

TRAFFIC-MM-1: Construction Staging and Traffic Management Plan

Prior to issuance of a demolition permit, in coordination with LADOT and the Department of Building and Safety, the Project Applicant shall prepare a detailed Construction Staging and Traffic Management Plan (CSTMP), including street closure

information, detour plans, haul routes, and staging plans. The CSTMP shall outline how construction would be carried out and identify specific actions that would be required to reduce effects on the surrounding community. The CSTMP shall be based on the nature and timing of specific construction activities and other projects in the vicinity, and shall include the following elements as appropriate:

- Coordinate with Metro regarding temporary relocation of the bus stop located on East 6th Street adjacent to Site 2 and other construction activities that could affect Metro service in the vicinity of the Project Sites;
- Provide for temporary traffic control during all construction activities within public rights-of-way to improve traffic flow on public roadways (e.g., flagmen);
- Schedule of construction activities to reduce the effect on traffic flow on surrounding arterial streets;
- Reroute construction trucks to reduce travel on congested streets to the extent feasible;
- Prohibit construction-related vehicles from parking on surrounding public streets;
- Provide safety precautions for pedestrians and bicyclists through such measures as alternate routing and protection barriers in compliance with LAMC Section 62.45;
- Accommodate all equipment on-site; and
- Prepare a haul truck route program for the Project that specifies the routes to and from the Project Sites.

Temporary relocation of the existing bus stop from a far-side location (i.e., on eastbound East 6th Street, east of South San Pedro Street in this instance) to a near-side location (i.e., west of South San Pedro Street) during the duration of Site 2 construction activities - an approximately 19 to 20 month duration - is not expected to result in any significant traffic impact. As shown on Table 6-65 on page 6-215 of the SCEA, the intersection of East 6th Street at South San Pedro Street is forecast to operate at level of service A during both the weekday AM and PM peak hours in all existing and future year 2025 conditions. In addition, these existing transit bus trips are already included in the baseline traffic counts and corresponding analyses. While some intermittent stoppages in the eastbound, exterior through travel lane may occur during bus patron boardings and alightings, the intersection operations would not be degraded to a point that would constitute a change in level of service. Although temporary bus stop relocation further east of the existing bus stop is unlikely, those potential impacts would be the same as/similar to

the current bus stop, as motorists traveling in the eastbound, exterior through travel lane presently experience similar intermittent delays during bus patron boardings and alightings.

Thus, the revision to Mitigation Measure TRAFFIC-MM-1 does not constitute significant new information as defined in CEQA Guidelines subsection 15088.5, because the revision simply clarifies an existing requirement and does not present a new or increased significant impact not already identified in the SCEA.



CITY OF LOS ANGELES
DEPARTMENT OF CITY PLANNING
CITY HALL 200 NORTH SPRING STREET LOS ANGELES CA 90017

SUSTAINABLE COMMUNITIES ENVIRONMENTAL ASSESSMENT

Weingart Projects

Case Number: ENV-2017-615-SCEA

Project Location: Site 1: 554-562 South San Pedro Street, 555-561 South Crocker Street, Los Angeles, CA 90013;
Site 2: 600-628 South San Pedro Street, 611-615 South Crocker Street, 518-522 East 6th Street, Los Angeles, CA 90013.

Community Plan Area: Central City Community Plan Area

Council District: 14 – José Huizar

Project Description:

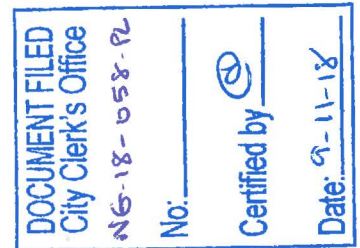
Site 1 Project

Site 1 Location: 554-562 South San Pedro Street and 555-5616 South Crocker Street

Site 1 Project Summary: Site 1 development generally includes the demolition and removal of an existing 7,000-square-foot food service building and surface parking area and construction of 222,574 square feet of mixed residential, philanthropic institution, and commercial land uses in two towers (Tower 1A and Tower 1B) and one level of subterranean parking garage with 32 parking spaces (27,300 square feet). The Site 1 Project would include a total of 382 residential dwelling units (194,831 square feet); a total of 25,493 square feet to be used for philanthropic institution land uses; 2,250 square feet to be used for commercial land uses; and approximately 26,060 square feet of common indoor and outdoor open space. Of the 382 residential dwelling units, 378 units would be set aside as Restricted Affordable Units with the remaining four units designated as Manager Units. Vehicular access to Site 1 would be provided via a single driveway on Crocker Street. In addition, the southern paseo would permit limited vehicular access from Crocker Street from an existing curb cut (not out to South San Pedro Street but in and out of Site 1, only). Limited vehicular access would be required per an existing easement to provide loading and unloading opportunities to the abutting Weingart Center Association building and the building located at the northwest corner of Crocker Street and 6th Street.

To allow for the proposed development of Site 1, the Project Applicant is requesting the following discretionary approvals:

- Pursuant to Los Angeles City Charter Section 555 and Los Angeles Municipal Code (LAMC) Section 11.5.6, a General Plan Amendment to the Central City Community Plan to amend the land use designation of Site 1 from Light Manufacturing to Regional Center Commercial and to amend Footnote No. 3 of the Community Plan to permit development on Site 1 to exceed the 6:1 floor area limitations;
- Pursuant to LAMC Section 12.32 F, a Zone and Height District Change from M2-2D to C2-4D and pursuant to LAMC Section 11.5.11(e) and California Government Code 65915(k) the following three Developer Incentives to permit:
 - 35 percent increase in FAR for a maximum 8.1:1 FAR, or 223,615 square feet, in lieu of the Development "D" Limitation of 6:1 FAR, or 165,641 square feet;
 - 26,060 square feet of open space and 48 trees (a 33 percent reduction in required open space and a 50 percent reduction in the number of required trees) in lieu of the 38,200 square feet of open space and 96 trees required pursuant to LAMC Section 12.21 G, and to permit up to 76 percent of the open space to be provided as interior common area (47 percent or 12,285 square feet) and covered outdoor areas (28 percent or 7,305 square feet) in lieu of LAMC Section 12.21 G's maximum 25 percent interior common open space limitation and its requirement that all open spaces be open to the sky ;
 - No parking spaces to be required for dwelling units set aside for households earning less than 50 percent of the Area Medium Income as determined by the Housing and Community Investment Department in lieu of the parking required pursuant to 12.21 A,4
- Pursuant to LAMC Section 16.05, Site Plan Review, for a project which proposes more than 50 residential dwelling units; and
- Pursuant to LAMC Sections 17.01 and 17.15, approval of Vesting Tentative Tract Map No. 74852, to allow the merger and re-subdivision of land for a phased tract map to permit one master ground lot and three air space lots, a haul route, and a modification of the dedication requirements along Crocker Street.



Site 2 Project

Site 2 Location: 600-628 South San Pedro Street, 611-615 South Crocker Street, and 518-522 East 6th Street

Site 2 Project Summary: Site 2 development generally includes the demolition and removal of an existing surface parking lot and development of the site with 164,875 square feet of mixed-use residential and commercial land uses in two buildings (Building 1 and Building 2). The Site 2 Project would include a total of 303 residential dwelling units (298 Very-Low-Income affordable units and 5 manager units, approximately 148,705 square feet); 3,200 square feet to be used for commercial land uses; 17,100 square feet to be used for office land uses; 33,000 square feet of open space; and 79,752 square feet to be used for parking land uses, providing 212 vehicle parking spaces. A 13,815-square-foot outdoor courtyard/urban park would separate the two buildings and provide pedestrian access to Site 2 from South San Pedro Street and Crocker Street. Vehicular access to Site 2 would be provided via a single driveway on San Pedro Street.

To allow for the proposed development of Site 2, the Project Applicant is requesting the following discretionary approvals:

- Pursuant to Los Angeles City Charter Section 555 and LAMC Section 11.5.6, a General Plan Amendment to the Central City Community Plan to amend the land use designation of Site 2 from Light Manufacturing to Regional Center Commercial;
- Pursuant to LAMC Section 12.32 F, a Zone and Height District Change from M2-2D to C2-4D and pursuant to LAMC Section 11.5.11(e) and California Government Code 65915(k) the following two Developer Incentives to permit:
 - 27 percent (9,145 square feet) of the common open space be provided in interior common areas, 30percent (or 10,040 square feet) of the provided open space to be covered by a structure or trellis and 38 trees, in lieu of LAMC Section 12.21 G that limits the interior common areas to 25 percent of required (or 7,574 square feet), mandates all exterior areas to be open to the sky and requires 96 trees. The Project provides 33,000 square feet of open space, or one percent (2,700 square feet) more than required (30,300 square feet) by the LAMC;
 - no parking spaces shall be required for dwelling units set aside for households that earn less than 50 percent of the Area Medium Income as determined by the Housing and Community Investment Department;
- Pursuant to LAMC Section 16.05, Site Plan Review for a project which proposes more than 50 residential dwelling units; and
- Pursuant to LAMC Sections 17.01 and 17.15, approval of Vesting Tentative Tract Map No. 74864to permit the merger and re-subdivision of the land and creation of one ground lot and four airspace lots.

PREPARED FOR:

City of Los Angeles
Department of City Planning

PREPARED BY:

CAJA Environmental Services
15350 Sherman Way, Suite 315
Van Nuys, CA 91406

APPLICANT:

Weingart Center Association
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September 2018

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1. INTRODUCTION

This Sustainable Communities Environmental Assessment (SCEA) has been prepared pursuant to Section 21155.2 of the California Public Resources Code.

PROJECT DESCRIPTION SUMMARY

The subject of this Sustainable Communities Environmental Assessment (SCEA) is the proposed Weingart Projects (Project), which include development of two distinct affordable housing projects for permanent long-term housing with supportive services designed to enable homeless persons and individuals/families at risk of homelessness to ensure that they remain housed and live as independently as possible. The two Project Sites are located in Downtown Los Angeles, within the Central City Community Plan Area, in the City of Los Angeles (City). A summary of the location of the Project Sites and a description of the Project is included below.

Site 1 Project

Site 1 Location: 554-562 South San Pedro Street and 555-561 South Crocker Street

Site 1 Project Summary: Site 1 development generally includes the demolition and removal of an existing 7,000-square-foot food service building and surface parking area and construction of 222,574 square feet of mixed residential, philanthropic institution, and commercial land uses in two towers (Tower 1A and Tower 1B) and one level of subterranean parking garage with 32 parking spaces (27,300 square feet). The Site 1 Project would include a total of 382 residential dwelling units (194,831 square feet); a total of 25,493 square feet to be used for philanthropic institution land uses; 2,250 square feet to be used for commercial land uses; and approximately 26,060 square feet of common indoor and outdoor open space. Of the 382 residential dwelling units, 378 units would be set aside as Restricted Affordable Units with the remaining four units designated as Manager Units. Vehicular access to Site 1 would be provided via a single driveway on Crocker Street. In addition, the southern paseo would permit limited vehicular access from Crocker Street from an existing curb cut (not out to South San Pedro Street but in and out of Site 1, only). Limited vehicular access would be required per an existing easement to provide loading and unloading opportunities to the abutting Weingart Center Association building and the building located at the northwest corner of Crocker Street and 6th Street.

To allow for the proposed development of Site 1, the Project Applicant is requesting the following discretionary approvals:

- Pursuant to Los Angeles City Charter Section 555 and Los Angeles Municipal Code (LAMC) Section 11.5.6, a General Plan Amendment to the Central City Community Plan to amend the land use designation of Site 1 from Light Manufacturing to Regional Center Commercial and to amend Footnote No. 3 of the Community Plan to permit development on Site 1 to exceed the 6:1 floor area limitations;

- Pursuant to LAMC Section 12.32 F, a Zone and Height District Change from M2-2D to C2-4D and pursuant to LAMC Section 11.5.11(e) and California Government Code 65915(k) the following three Developer Incentives to permit:
 - 35 percent increase in FAR for a maximum 8.1:1 FAR, or 223,615 square feet, in lieu of the Development “D” Limitation of 6:1 FAR, or 165,641 square feet;
 - 26,060 square feet of open space and 48 trees (a 33 percent reduction in required open space and a 50 percent reduction in the number of required trees) in lieu of the 38,200 square feet of open space and 96 trees required pursuant to LAMC Section 12.21 G, and to permit up to 76 percent of the open space to be provided as interior common area (47 percent or 12,285 square feet) and covered outdoor areas (28 percent or 7,305 square feet) in lieu of LAMC Section 12.21 G’s maximum 25 percent interior common open space limitation and its requirement that all open spaces be open to the sky ;
 - No parking spaces to be required for dwelling units set aside for households earning less than 50 percent of the Area Medium Income as determined by the Housing and Community Investment Department in lieu of the parking required pursuant to 12.21 A,4
- Pursuant to LAMC Section 16.05, Site Plan Review, for a project which proposes more than 50 residential dwelling units; and
- Pursuant to LAMC Sections 17.01 and 17.15, approval of Vesting Tentative Tract Map No. 74852, to allow the merger and re-subdivision of land for a phased tract map to permit one master ground lot and three air space lots, a haul route, and a modification of the dedication requirements along Crocker Street.

Site 2 Project

Site 2 Location: 600-628 South San Pedro Street, 611-615 South Crocker Street, and 518-522 East 6th Street

Site 2 Project Summary: Site 2 development generally includes the demolition and removal of an existing surface parking lot and development of the site with 164,875 square feet of mixed-use residential and commercial land uses in two buildings (Building 1 and Building 2). The Site 2 Project would include a total of 303 residential dwelling units (298 Very-Low-Income affordable units and 5 manager units, approximately 148,705 square feet); 3,200 square feet to be used for commercial land uses; 17,100 square feet to be used for office land uses; 33,000 square feet of open space; and 79,752 square feet to be used for parking land uses, providing 212 vehicle parking spaces. A 13,815-square-foot outdoor courtyard/urban park would separate the two buildings and provide pedestrian access to Site 2 from South San Pedro Street and Crocker Street. Vehicular access to Site 2 would be provided via a single driveway on San Pedro Street.

To allow for the proposed development of Site 2, the Project Applicant is requesting the following discretionary approvals:

- Pursuant to Los Angeles City Charter Section 555 and LAMC Section 11.5.6, a General Plan Amendment to the Central City Community Plan to amend the land use designation of Site 2 from Light Manufacturing to Regional Center Commercial;
- Pursuant to LAMC Section 12.32 F, a Zone and Height District Change from M2-2D to C2-4D and pursuant to LAMC Section 11.5.11(e) and California Government Code 65915(k) the following two Developer Incentives to permit:
 - 27 percent (9,145 square feet) of the common open space be provided in interior common areas, 30percent (or 10,040 square feet) of the provided open space to be covered by a structure or trellis and 38 trees, in lieu of LAMC Section 12.21 G that limits the interior common areas to 25 percent of required (or 7,574 square feet), mandates all exterior areas to be open to the sky and requires 96 trees. The Project provides 33,000 square feet of open space, or one percent (2,700 square feet) more than required (30,300 square feet) by the LAMC;
 - no parking spaces shall be required for dwelling units set aside for households that earn less than 50 percent of the Area Medium Income as determined by the Housing and Community Investment Department;
- Pursuant to LAMC Section 16.05, Site Plan Review for a project which proposes more than 50 residential dwelling units; and
- Pursuant to LAMC Sections 17.01 and 17.15, approval of Vesting Tentative Tract Map No. 74864to permit the merger and re-subdivision of the land and creation of one ground lot and four airspace lots

Lead Agency: City of Los Angeles Department of City Planning
200 North Spring Street, Room 621
Los Angeles, CA 90012

City Staff Contact: May Sirinopwongsagon, City Planner
213-978-1372

Project Applicant: Weingart Center Association
566 S. San Pedro Street
Los Angeles, CA 90013

BACKGROUND INFORMATION ON SENATE BILL 375 AND THE SCEA

The State of California adopted Senate Bill 375 (SB 375), also known as “The Sustainable Communities and Climate Protection Act of 2008,” which outlines growth strategies that better integrate regional land use and transportation planning and that help meet the State of California’s greenhouse gas (GHG) emissions reduction mandates. SB 375 requires the State’s 18 metropolitan planning organizations to incorporate a “sustainable communities strategy” (SCS) into the regional transportation plans to achieve their respective region’s greenhouse gas emission reduction targets set by CARB. Correspondingly, SB 375 provides various CEQA streamlining provisions for projects that are consistent with an adopted applicable SCS and meet certain objective criteria; one such CEQA streamlining tool is the SCEA.

The Southern California Association of Governments (SCAG) is the metropolitan planning organization for the County of Los Angeles (along with the Counties of Imperial, San Bernardino, Riverside, Orange, and Ventura). On April 7, 2016, SCAG’s Regional Council adopted the 2016-2040 Regional Transportation Plan/Sustainable Communities Strategy (2016-2040 RTP/SCS). For the SCAG region, CARB has set GHG emissions reduction targets at eight percent below 2005 per capita emissions levels by 2020, and 13 percent below 2005 per capita emissions levels by 2035. The 2016-2040 RTP/SCS outlines strategies to meet or exceed the targets set by CARB.¹ By Executive Order, approved June 28, 2016, CARB officially determined that the 2016-2040 RTP/SCS would achieve CARB’s 2020 and 2035 GHG emission reduction targets. (Refer to attached 6/28/2016 CARB Executive Order in Appendix A.)

SB 375 allows the City, acting as lead agency, to prepare a SCEA as the environmental CEQA Clearance for “transit priority projects” (as described below) that are consistent with SCAG’s 2016-2040 RTP/SCS.

TRANSIT PRIORITY PROJECT CRITERIA

SB 375 provides CEQA streamlining benefits to qualifying transit priority projects (TPPs). For purposes of projects in the SCAG region, a qualifying TPP is a project that meets the following four criteria (see Public Resources Code §21155 (a) and (b)):

1. Is consistent with the general use designation, density, building intensity, and applicable policies specified for the project area in the SCAG 2016-2040 RTP/SCS;
2. Contains at least 50 percent residential use, based on total building square footage and, if the project contains between 26 percent and 50 percent nonresidential uses, a floor area ratio of not less than 0.75;
3. Provides a minimum net density of at least 20 units per acre; and

¹ *Southern California Association of Governments, 2016-2040 Regional Transportation Plan/Sustainable Communities Strategy, Introduction, April 7, 2016. <http://scagrtpscsc.net/Pages/FINAL2016RTPSCS.aspx>*

4. Is within one-half mile of a major transit stop or high-quality transit corridor included in a regional transportation plan.

SCEA PROCESS AND STREAMLINING PROVISIONS

Qualifying TPPs that have incorporated all feasible mitigation measures and performance standards or criteria set forth in the prior applicable EIR (SCAG's 2016-2040 RTP/SCS Program EIR) and that are determined to not result in significant and unavoidable environmental impacts may be approved with a SCEA. The specific substantive and procedural requirements for the approval of a SCEA include the following:

1. An initial study shall be prepared for a SCEA to identify all significant impacts or potentially significant impacts, except for the following:
 - a. Growth-inducing impacts, and
 - b. Project-specific or cumulative impacts from cars and light trucks on global warming or the regional transportation network.²

Note: All relevant and applicable 2016-2040 RTP/SCS Program EIR mitigation measures shall be incorporated into the Project prior to conducting the initial study analysis.

2. The initial study shall identify any cumulative impacts that have been adequately addressed and mitigated in a prior applicable certified EIR. Where the lead agency determines the impact has been adequately addressed and mitigated, the impact shall not be cumulatively considerable.
3. The SCEA shall contain mitigation measures that either avoid or mitigate to a level of insignificance all potentially significant or significant effects of the project required to be identified in the initial study.
4. A draft of the SCEA shall be circulated for a public comment period not less than 30 days, and the lead agency shall consider all comments received prior to acting on the SCEA.
5. The SCEA may be approved by the lead agency after the lead agency's legislative body conducts a public hearing, reviews comments received, and finds the following:

² "Regional transportation network" means all existing and proposed transportation system improvements, including the state transportation system, that were included in the transportation and air quality conformity modeling, including congestion modeling, for the final regional transportation plan adopted by the metropolitan planning organization, but shall not include local streets and roads. Nothing in the foregoing relieves any project from a requirement to comply with any conditions, exactions, or fees for the mitigation of the project's impacts on the structure, safety, or operations of the regional transportation network or local streets and roads.

- a. All potentially significant or significant effects required to be identified in the initial study have been identified and analyzed, and
 - b. With respect to each significant effect on the environment required to be identified in the initial study, either of the following apply:
 - i. Changes or alternations have been required in or incorporated into the project that avoid or mitigate the significant effects to a level of insignificance.
 - ii. Those changes or alterations are within the responsibility and jurisdiction of another public agency and have been, or can and should be, adopted by that other agency.
6. The lead agency's decision to review and approve a TPP with a SCEA shall be reviewed under the substantial evidence standard.

REQUIRED FINDINGS

Based on the information contained in Section 2 (Project Description), Section 3 (SCEA Criteria and Transit Priority Project Consistency Analysis), Section 4 (2016-2040 RTP/SCS Project EIR Mitigation Measures), Section 5 (Initial Study Checklist), and Section 6 (Sustainable Communities Environmental Impact Analysis) of this document, the City finds that preparation of a SCEA in accordance with Public Resources Code Section 21155.2(b) is appropriate for the Project for the following reasons:

- The Project is consistent with the general use designations, density, building intensity, and applicable policies specified for the area of the Project Sites in the 2016-2040 RTP/SCS) prepared by SCAG, which is the metropolitan planning organization for the City.
- The State Air Resources Board, pursuant to subparagraph (H) of paragraph (2) of subdivision (b) of Section 65080 of the Government Code, has accepted SCAG's determination that the sustainable communities strategy adopted by SCAG in the 2016-2040 RTP/SCS would, if implemented, achieve the greenhouse gas emission reduction targets.
- The Project qualifies as a transit priority project pursuant to Public Resources Code Section 21155 in that the Project contains more than 50 percent residential use; provides a minimum net density greater than 20 units an acre; and is within one-half mile of a major transit stop or high-quality transit corridor included in a regional transportation plan;
- The Project is a residential or mixed-use project as defined by Public Resources Code Section 21159.28(d);
- The Project incorporates all feasible mitigation measures, performance standards, or criteria set forth in the prior environmental reports and adopted findings made pursuant to Public Resources

Code Section 21081, including the 2016-2040 RTP/SCS Program Environmental Impact Report (Program EIR);

- All potentially significant or significant effects required to be identified and analyzed pursuant to the California Environmental Quality Act (CEQA) in an initial study have been identified and analyzed in an initial study; and
- As outlined in detail in Section 5 (Initial Study Checklist) and Section 6 (Sustainable Communities Environmental Impact Analysis) changes or alterations have been required in or incorporated into the Project that avoid or mitigate the significant effects to a level of less than significant.

ORGANIZATION OF THE SCEA

Based on the information presented above, the SCEA for the Project is organized as follows:

Section 1. Introduction: This section provides introductory information about the Project and background information regarding SB 375, lists the TPP criteria, and describes the required content of the SCEA.

Section 2. Project Description: This section provides a detailed description of the environmental setting and the Project, including Project characteristics and environmental setting.

Section 3. SCEA Criteria and Transit Priority Project Consistency: This section includes a discussion of the Project's consistency with the TPP criteria listed above and demonstrates that the Project satisfies all necessary criteria for approval of a SCEA as set forth in California Public Resources Code Sections 21155 and 21155.2.

Section 4. 2016-2040 RTP/SCS Program EIR Mitigation Measures: This section identifies all of the mitigation measures contained in the Mitigation Monitoring and Reporting Program (MMRP) for SCAG's 2016-2040 RTP/SCS Program EIR and a discussion of the applicability of the mitigation measures to the Project.

Section 5. Initial Study Checklist: This section contains the completed Initial Study Checklist and assesses the significant level under each environmental impact category.

Section 6. Sustainable Communities Environmental Impact Analysis: Each environmental issue identified in the Initial Study Checklist contains an assessment and discussion of Project-specific and cumulative impacts associated with each subject area. Where the evaluation identifies potentially significant effects, as identified on the Checklist, mitigation measures are provided to reduce such impacts to less-than-significant levels.

Section 7. Preparers of the SCEA: This section identifies the parties involved in preparation of the SCEA.

Appendices: Includes various documents, technical reports, and information used in preparation of the SCEA and can be found in the case file for ENV-2017-615-SCEA at the Department of City Planning.

2. PROJECT DESCRIPTION

1. INTRODUCTION

The Project includes the redevelopment of two sites (“Site 1” and “Site 2”; collectively, the “Project Sites”) in Downtown Los Angeles, within the Central City Community Plan Area, in the City of Los Angeles (City) (refer to Figure 2-1). (Additional descriptions of the Project Sites are provided below.) As identified in the Central City Community Plan (CCCP), the Project Sites are located within the boundaries of the Central City East Neighborhood (CCE Neighborhood).¹ As described in the CCCP text on (p. I-10), the neighborhood is generally characterized with office, social service use, light industrial, wholesale and warehouse uses, as well as approximately 6,500 single-room-occupancy (SRO) hotel units. The CCE Neighborhood is a center for social services uses, which include alcohol treatment programs and physical and mental health services. The Project Applicant operates the abutting Weingart Center Association building (formally known as the El Rey Hotel building) located at 566 South San Pedro Street, which offers such services.²

The Project consists of developing Site 1 and Site 2 with a total of 685 dwelling units, with 676 of the units set aside as Restricted Affordable units. The remaining nine (9) units would serve as Manager’s Units. Additionally, the Project would include up to 25,493 square feet of floor area to be utilized for philanthropic institutional purposes, 17,100 square feet of office space, and 5,450 square feet of commercial/retail space.

2. ENVIRONMENTAL SETTING

The Project Sites are located within the fabric of the existing Downtown Los Angeles Community and are primarily urban infill or underutilized lots (with one existing single-story building) and in close proximity to nearby existing utilities infrastructure and freeways, as well as mass transit options. Site 1 is located at 554-562 South San Pedro Street and 555-561 South Crocker Street, bounded by San Pedro Street to the west and Crocker Street to the east. Site 2 is located at 600-628 South San Pedro Street, 611-615 South Crocker Street, and 518-522 East 6th Street, at the southeast corner of South San Pedro Street and East 6th Street. The site is bounded by San Pedro Street to the west, 6th Street to the north, and Crocker Street to the east. The Project Sites are located within a variety of planning and service jurisdictional areas, including the following:

- Greater Downtown Housing Incentive Area as defined in the Los Angeles Municipal Code (LAMC Section 12.22 A,29 and C,3)
- Community Redevelopment Agency Central Industrial Redevelopment Project Area

¹ *Central City Community Plan Update adopted on January 8, 2003; Council File NO. 99-0138.*

² *For the purposes of the SCEA, this building is considered an historical resource under the California Environmental Quality Act (CEQA).*

- Transit Priority Area pursuant to Senate Bill (SB) 743 (Properties located within one-half mile of a major transit stop that is existing or planned. Section 21064.3 of the Public Resources Code defines a “major transit stop” as a site containing an existing rail transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods.)
- High Quality Transit Area pursuant to Southern California Association of Governments (SCAG) (Areas considered to be generally walkable and are located within one half-mile of a well-serviced transit stop or a transit corridor with 15-minute or less service frequency during peak commute hours, consistent with a “major transit stop” as defined by Section 21064.3 of the Public Resources Code.)
- Los Angeles City Council District 14 (Councilmember Huizar)
- Los Angeles County Second Supervisorial District (Supervisor Ridley-Thomas)
- Downtown Los Angeles Neighborhood Council
- Los Angeles County Department of Public Health Service Planning Area

Regional vehicular access to the Project Sites is provided by the U.S. 101 (Hollywood) Freeway, located less than 1.0 mile to the north; the I-10 (Santa Monica) Freeway, located approximately 1.5 miles to the south; U.S. 101/I-10 Freeway, located approximately 1.0 mile to the east; and State Route 110/I-110 (Pasadena/Harbor) Freeway, located approximately 1.0 mile to the west.

Existing utilities are readily available at the Project Sites. Water and electricity are provided by the Los Angeles Department of Water and Power (LADWP). Telephone service is typically provided by AT&T. Cable television is typically provided by Spectrum (formerly Time Warner Cable). The Project Sites are further served by the City’s existing network of sewer and storm drain facilities. Gas is provided by Southern California Gas Company.

A map showing the Project Sites in a regional and local context is included as Figure 2-1. Additional details about the Project Sites are provided on Table 2-1, below.

Table 2-1
Details for the Project Sites

Project Sites	Addresses	APNs	Lot Size (Pre-Dedication)	Existing Land Use Designation	Existing Zoning
Site 1	554-562 South San Pedro Street 555-561 South Crocker Street	5147-024-004, -022, -024, -900, -901	27,606 sf (0.63 acre)	Light Manufacturing	M2-2D (Light Industrial Zone, Height District 2, Development Limitations) ²
Site 2	600-628 South San Pedro Street 611-615 South Crocker Street 518-522 East 6 th Street	5147-126-033	48,816 sf (1.12 acres)		
<i>sf = square feet</i> ¹ Pre-dedication lot area can be used for calculating floor area ratio per LAMC Section 17.05. ² Existing D Limitation imposes a 3:1 floor area ratio.					

Both sites have a land use designation of Light Manufacturing and are zoned M2-2D. Site 1 is subject to the Development “D” Limitations contained within Ordinance No. 164,307 Subarea 1295. Site 2 is subject to the “D” Limitations contained within Subarea 1580 of the same ordinance. The “D” Limitation restricts the total floor area that is contained in all buildings on a lot to not exceed three times the buildable area of the lot, except for projects approved under Section 415 (Rehabilitation and/or Remodeling of Existing Buildings) or Section 416 (Replacement of Existing Buildings) of the Redevelopment Plan for the Central Business District Redevelopment Project.³ Properties that are zoned M2 in Height District 2 are subject to a maximum height limitation. The M2 Zone permits light manufacturing and limited commercial uses. Residential developments are prohibited, except for a dwelling when constructed as an accessory use for a caretaker or watchman. As discussed in Section I. Introduction, the Project Applicant has requested a General Plan Amendment, Zone and Height District Change and associated incentives, Site Plan Review, and a Vesting Tentative Tract Map to implement the Project.

(a) Project Sites

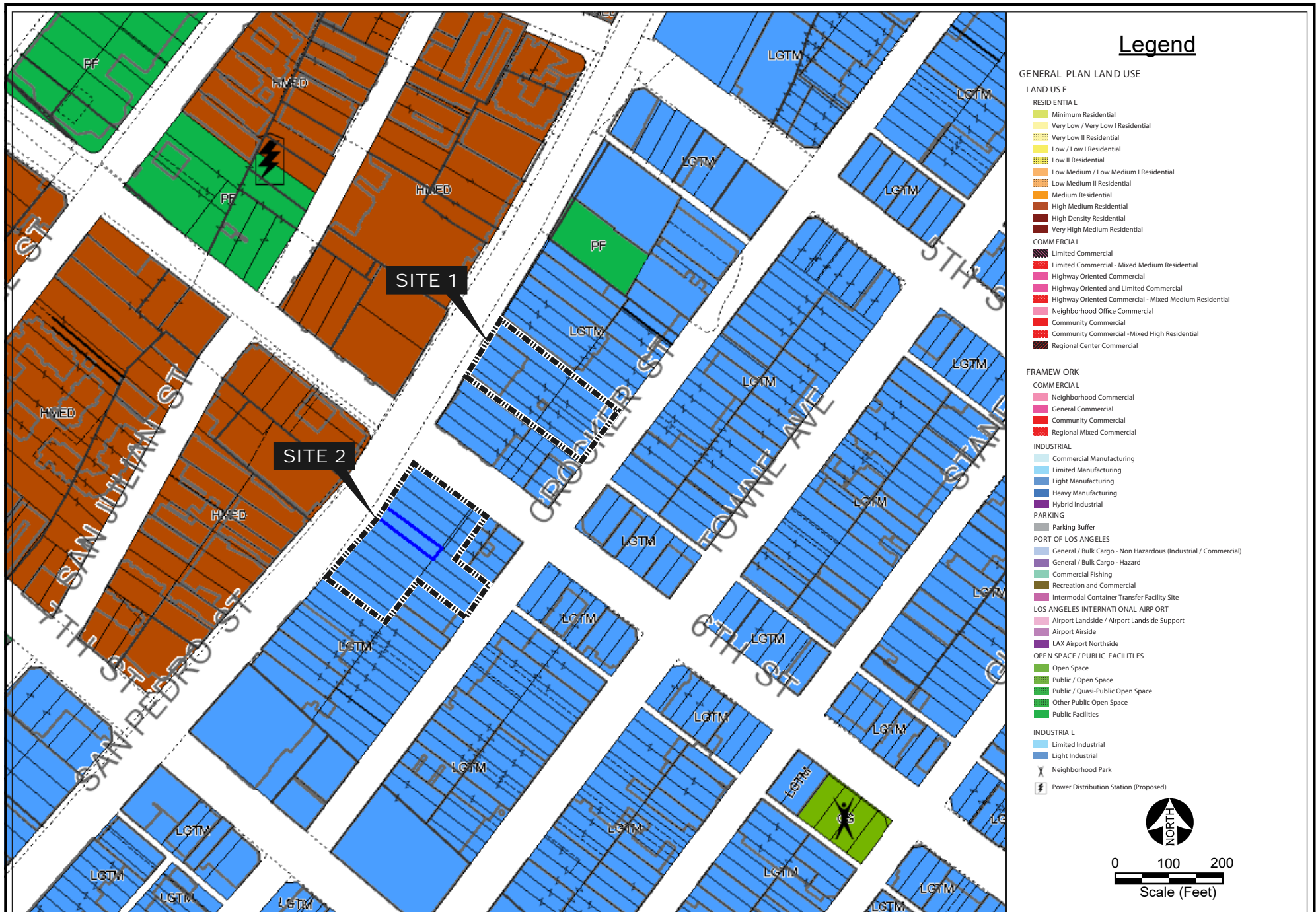
(1) Site 1

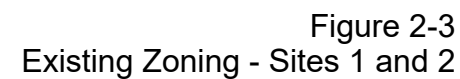
Site 1 is generally bound by South San Pedro Street to the west, the Hope Row Resource Center and Weingart Center Association building to the south, South Crocker Street to the east, and the Lamp Community and the Volunteer of America property to the north. Site 1 is approximately 27,606 square feet in area (0.63 acre) and comprises Assessor Parcel Numbers (APN) 5147-024-004, -022, -024, -900, and -901. Site 1 is a through-lot with frontage on the eastern side of South San Pedro Street and the western side of Crocker Street. It is located mid-block, and the larger block is bound by South San Pedro Street to the west, East 6th Street to the south, Crocker Street to the east, and East 5th Street to the north. Site 1 has a General Plan Land Use designation of Light Manufacturing (refer to Figure 2-2) and is zoned M2-2D (Light Industrial Zone, Height District 2, Development Limitations) (refer to Figure 2-3).

Site 1 is currently developed with a surface parking lot and a 7,000-square-foot food service building that was constructed in 1922.⁴ The food service building is operated by Weingart Center Association for the use by Weingart clients living in the adjacent Weingart Center Association building located at 566 South San Pedro Street. The Weingart Center Association is a non-profit social service provider, established as a 501(c)(3) non-profit organization in 1982, that provides a continuum of housing and support service programs for homeless individuals and families, including 623 beds of transitional housing, comprehensive employment preparation, vocational training, and employment placement, permanent housing placement, and integrated substance abuse and mental health treatment services. The surface parking lot has frontage on Crocker Street and the food service building has frontage on South San Pedro Street. Views of Site 1 are shown on Figure 2-4.

³ The term “floor area” is defined per LAMC Section 12.21.1 A,5 and 12.21.1 B,4.

⁴ City of Los Angeles, Department of Building and Safety, Permit #27664, August 15, 1922.





Source: Los Angeles City Planning Department: <http://zimas.lacity.org/>, accessed February 21, 2018.



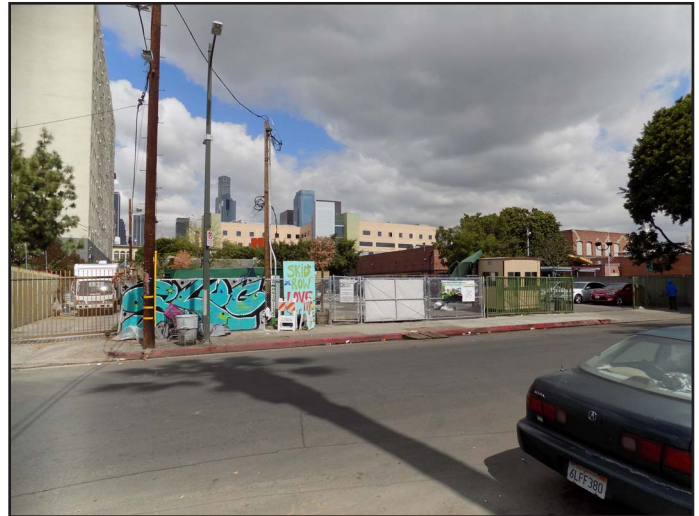
View 1: View looking northeast along San Pedro Street at Site 1.



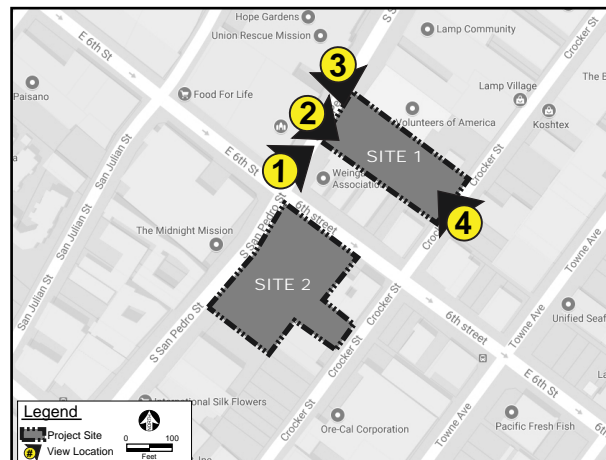
View 2: View looking southeast along San Pedro Street at Site 1.



View 3: View looking southeast along San Pedro Street at Site 1



View 4: View looking northwest along Crocker Street at Site 1.



View Location Map

Figure 2-4
Views of the Project Site - Site 1
Views 1-4

Adjacent properties are improved with a variety of uses, including homeless and residential support services, as well as warehouses. The properties located to the north, south, and east, across Crocker Street, have a land use designation of Light Manufacturing and are zoned M2-2D. The properties located to the west, across San Pedro Street, have a land use designation of High Medium Residential and are zoned [Q]R5-2D. As mentioned previously, the property to the south of Site 1 is improved with a 10-story building that houses the Weingart Center Association and the Hope Row Resources Center. The building provides housing and services, including advocacy and legal services for low-income residents. The property to the north of the site is developed with a one- to two-story building that is occupied by the Lamp Community and Volunteer of America. Lamp Community and Volunteer of America provides permanent housing and social services such as: medical and mental health care, substance abuse services, and life skills programs. The properties to the west, across San Pedro Street, are developed with three- to seven-story buildings. Located across from the site is the Central City Community Church and the Union Rescue Mission. The Central City Community Church is a nondenominational, community-based church for the homeless community in Skid Row. The Union Rescue Mission is a non-profit organization that provides transitional housing, a health care clinic, and a learning center. The property to the east, across Crocker Street, is a surface parking lot and a one-story building occupied by Sam Dae Enterprises, which is a wholesale distributor of clothing and accessories. Views of the land uses surrounding Site 1 are shown on Figure 2-5.

(2) Site 2

Site 2 is generally located at the southeast corner of South San Pedro Street and East 6th Street and is bound by South San Pedro Street to the west, East 6th Street to the north, the Skid Row Development Corporation building and South Crocker Street to the east, and commercial development to the south. Site 2 is approximately 48,816 square feet in area (1.12 acres) and comprises APN 5147-026-033. Site 2 has a General Plan Land Use designation of Light Manufacturing (refer to Figure 2-2) and is zoned M2-2D (Light Industrial Zone, Height District 2, Development Limitations) (refer to Figure 2-3). The site is currently developed with a 136-space surface parking lot. The existing surface parking lot has frontage on South San Pedro Street, South Crocker Street, and East 6th Street. Aerial views of Site 2 are shown on Figure 2-6.

The property the north of Site 2 is improved with the Hope Row Resource Center and the Weingart Center Association building, a 10-story facility with housing, clinical, and legal support services. The property to the west is improved with the Midnight Mission, a homeless services organization. The property to the south of is improved with a warehouse. The property to the east improved with a 4-story transitional housing facility. Views of the land uses surrounding Site 2 are shown on Figure 2-7.



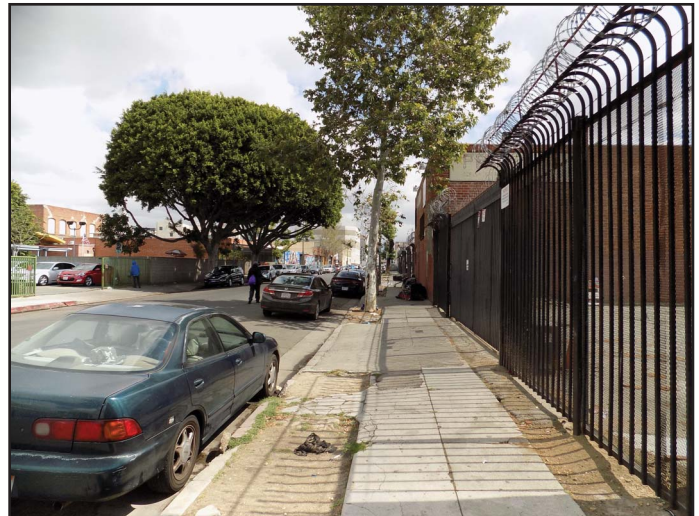
View 5: View looking northwest along San Pedro Street at mixed-use buildings across from Site 1.



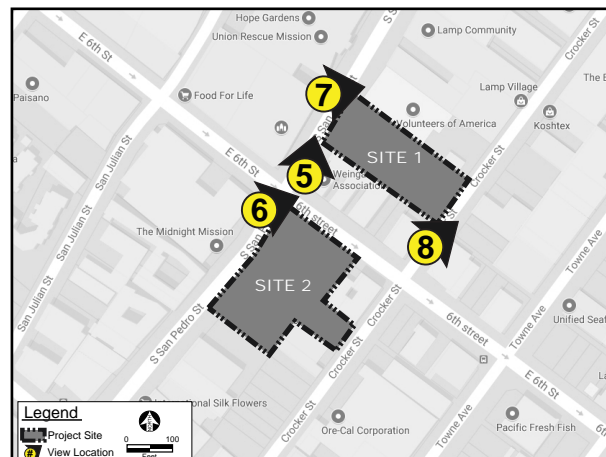
View 6: View looking northeast on the intersection of San Pedro Street and 6th Street at the Weingart Tower adjacent to Site 1.



View 7: View looking southeast along San Pedro Street at Volunteers of America building adjacent to Site 1.



View 8: View looking northeast along Crocker Street at Commercial/industrial buildings across from Site 1.



View Location Map

Figure 2-5
Views of Surrounding Land Uses - Site 1
Views 5-8



View 1: View looking southeast on the intersection of San Pedro Street and 6th Street at Site 2.



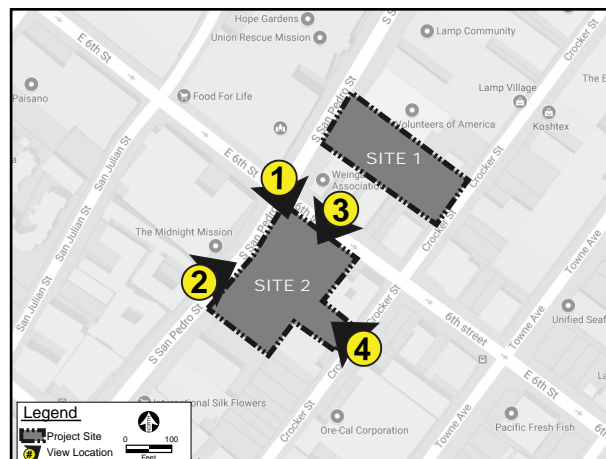
View 2: View looking northeast on San Pedro Street at Site 2.



View 3: View looking southwest on 6th Street at Site 2.



View 4: View looking northwest on Crocker Street at Site 2.



View Location Map

Figure 2-6
Views of the Project Site - Site 2
Views 1-4



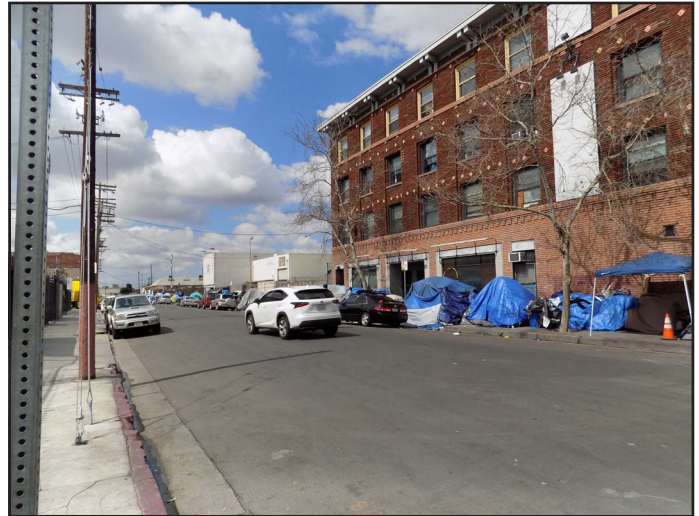
View 5: View looking southwest on the intersection of San Pedro Street and 6th Street at The Midnight Mission across from Site 2.



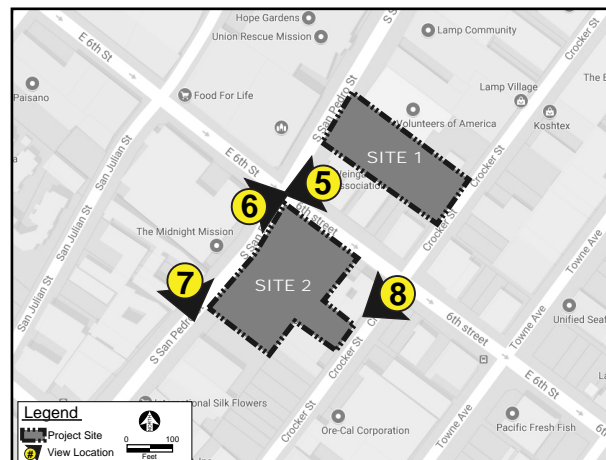
View 6: View looking northeast on the intersection of San Pedro Street and 6th Street at the Weingart Tower across from Site 2.



View 7: View looking northeast along San Pedro Street at the ABC Toys commercial building adjacent to Site 2.



View 8: View looking southwest along Crocker Street at apartment and commercial buildings adjacent and across from Site 2.



View Location Map

Figure 2-7
Views of Surrounding Land Uses - Site 2
Views 5-8

(b) Surrounding Transit Services

Extensive public bus and rail transit service is available within the area of the Project Sites and provides regular service intervals of 15 minutes during the peak hours. Public bus transit service in the immediate vicinity of the Project Sites is currently provided by Los Angeles County Metropolitan Transportation Authority (Metro), City of Gardena Transit, and City of Montebello bus lines. Additional public bus transit service in the Downtown Los Angeles area is provided by Foothill Transit, the Los Angeles Department of Transportation (LADOT) DASH Transit Service, Orange County Transportation Authority, and Torrance Transit Service.

The Metro Red and Gold rail lines also are provided in close proximity to the Project Sites. Metro's nearest Purple/Red line station is the Pershing Square station, which is located 0.7 miles northwest of the Project Sites, while the nearest Metro Gold Line Little Tokyo/Arts District station, is located 0.8 miles northeast of the Project Sites. Additionally, the Project Sites are located less than 1.0 mile from Metro's Regional Connector 1st Street portal, which is currently under construction and is expected to be completed by 2021.

3. RELATED PROJECTS

In this SCEA, cumulative impact analyses are provided for each environmental issue discussed in Section 5 (Environmental Impact Analysis) and can be found in each respective subsection of Section 5.⁵ Table 2-2 lists 161 reasonably foreseeable related projects within a 1.5-mile radius of the Project Sites that were considered in the cumulative impact analyses. This list was prepared based on information obtained from the City of Los Angeles Department of Transportation (LADOT) and the Department of City Planning. A map of these related projects is included as Figure 2-8.

⁵ Pursuant to Public Resources Code Section 21155.2(b)(1), the SCEA is required to identify all significant or potentially significant impacts of a TPP through the preparation of an initial study, other than growth inducing impacts or specific or cumulative impacts from cards and light-duty trucks trips consistent with Section 21159.28, based on substantial evidence in light of the whole record. The Initial Study Checklist for the Project is attached hereto in Section 4 of this SCEA. Additionally, the SCEA is required to identify any cumulative effects that have been adequately addressed and mitigated in prior applicable certified EIRs.

**Table 2-2
Related Projects**

Map No.	Project Status	Project Name/Number Address/Location	Land Use Data	
			Land Use	Size
1	Proposed	220 East Washington Boulevard	Specialty Retail Restaurant Apartment	7,750 GLSF 7,750 GSF 357 DU
2	Proposed	1500 South Figueroa Street	Apartment Retail	190 DU 12,432 GLSF
3	Under Construction	454 East Commercial Street	Bus Maintenance Facility	2 Acres
4	Proposed	Tenten Wilshire Expansion 1027 West Wilshire Boulevard	Condominium Retail Office	356 DU 5,000 GLSF 5,000 GSF
5	Proposed	233 West Washington Boulevard	Apartment Retail	160 DU 24,000 GLSF
6	Proposed	215 West 9th Street	Condominium Retail	210 DU 9,000 GLSF
7	Proposed	1400 South Figueroa Street	Apartment Retail	106 DU 4,834 GLSF
8	Under Construction	Amacon Project 1133 South Hope Street	Apartment Retail	208 DU 5,029 GLSF
9	Proposed	Megatoys 905 East 2nd Street	Condominium Retail	320 DU 18,712 GLSF
10	Under Construction	Park Fifth 427 West 5th Street 437 South Hill Street	Apartment Restaurant	600 DU 13,742 GSF
11	Proposed	1115 South Hill Street	Condominium Restaurant	172 DU 6,850 GSF
12	Proposed	1130 West Wilshire Boulevard	Office Day Care High-Turnover Restaurant Quality Restaurant	88,224 GSF 20 Students 248 GSF 5,375 GSF
13	Proposed	Embassy Tower 848 South Grand Avenue	Condominium Retail	420 DU 38,500 GLSF
14	Proposed	826 South Mateo Street	Condominium Retail Restaurant	90 DU 11,000 GLSF 5,600 GSF
15	Proposed	2030 East 7th Street	Office Retail	243,583 GSF 40,000 GLSF
16	Proposed	The Reef - LA Mart/SOLA Village 1900 South Broadway	Condominium Apartment Hotel Retail Office Gallery/Museum Gym	900 DU 550 DU 210 Rooms 143,100 GLSF 180,000 GSF 17,600 GSF 8,000 GSF
17	Proposed	Grand Avenue Project 225 South Grand Avenue 100 South Grand Avenue	Condominium Apartment Office Retail	1,432 DU 357 DU 681,000 GSF 449,000 GLSF
18	Under Construction	Metropolis Mixed-Use 899 South Francisco Street	Hotel Condominium Retail/Restaurant	480 Rooms 836 DU 46,000 GSF

**Table 2-2
Related Projects**

Map No.	Project Status	Project Name/Number Address/Location	Land Use Data	
			Land Use	Size
			Office	988,225 GSF
19	Proposed	LA Civic Center Office 150 North Los Angeles Street	Office Retail Child Care	712,500 GSF 35,000 GLSF 2,500 GSF
20	Proposed	1300 South Hope Street	Apartment Retail	419 DU 42,000 GLSF
21	Proposed	2130 East Violet Street	Office Retail	94,000 GSF 7,500 GLSF
22	Proposed	1329 West 7th Street	Apartment	87 DU
23	Under Construction	Topaz Mixed-Use 534-552 South Main Street 539-547 South Los Angeles Street	Apartment Retail Restaurant Fast-Food Restaurant	160 DU 18,000 GLSF 3,500 GSF 3,500 GSF
24	Under Construction	840 South Olive Street	Condominium Restaurant Retail	303 DU 9,680 GSF 1,500 GLSF
25	Under Construction	Santa Fe Freight Yard Redevelopment 950 East 3rd Street	Apartment Retail/Restaurant School	635 DU 30,062 GLSF 532 Students
26	Proposed	201 South Broadway	Office/Retail Restaurant	27,675 GSF
27	Proposed	The City Market 1057 South San Pedro Street ENV-2012-3003-EIR	Office Retail Cinema Apartment Hotel Condominium	549,141 GSF 224,862 GLSF 744 Seats 877 DU 210 Rooms 68 DU
28	Under Construction	400 South Broadway	Apartment Retail Bar	450 DU 6,904 GLSF 5,000 GSF
29	Proposed	Camden Arts Mixed-Use 1525 East Industrial Street	Apartment Retail Restaurant Office	328 DU 6,400 GLSF 5,700 GSF 27,300 GSF
30	Proposed	920 South Hill Street	Apartment Retail	239 DU 5,400 GLSF
31	Proposed	955 South Broadway	Apartment Retail	163 DU 6,406 GLSF
32	Under Construction	1212 South Flower Street	Condominium Retail	730 DU 7,873 GLSF
33	Under Construction	820 South Olive Street 825 South Hill Street	Apartment Retail	589 DU 4,500 GLSF
34	Proposed	1722 East 16th Street	Restaurant Retail	8,515 GSF 25,000 GLSF
35	Proposed	601 South Main Street	Condominium Retail	452 DU 25,000 GLSF
36	Proposed	2051 East 7th Street	Apartment Retail Restaurant	320 DU 15,000 GLSF 5,000 GSF
37	Under Construction	Herald Examiner 1111 South Broadway & 156 West 11th Street &	Apartment Retail Office	391 DU 49,000 GLSF 39,725 GSF

**Table 2-2
Related Projects**

Map No.	Project Status	Project Name/Number Address/Location	Land Use Data	
			Land Use	Size
		1201 South Main Street		
38	Under Construction	South Park Site 1 1120 South Grand Avenue	Apartment Retail	666 DU 20,690 GLSF
39	Under Construction	1247 South Grand Avenue	Apartment Retail	115 DU 4,610 GLSF
40	Proposed	1400 South Flower Street	Apartment Retail	147 DU 6,921 GLSF
41	Proposed	Variety Arts Mixed-Use 940 South Figueroa Street	Theater Restaurant Bar	1,942 Seats 10,056 GSF 5,119 GSF
42	Under Construction	La Plaza Cultura Village 527 North Spring Street	Apartment Retail Specialty Retail Restaurant	345 DU 23,000 GLSF 21,000 GLSF 11,000 GSF
43	Proposed	1036 South Grand Avenue	Restaurant	7,149 GSF
44	Proposed	Coca Cola 963 East 4th Street	Office Retail Restaurant	78,600 GSF 25,000 GLSF 20,000 GSF
45	Proposed	1248 South Figueroa Street	Hotel Restaurant	1,162 Rooms 13,145 GSF
46	Proposed	459 South Hartford Avenue	Apartment	101 DU
47	Proposed	Arts District Center 1129 East 5th Street	Retail Restaurant Hotel Apartment Art School/Convention Hall Art Gallery/Creative Office	23,000 GLSF 28,400 GSF 149 Rooms 228 DU 15,700 GSF 39,860 GSF
48	Proposed	1800 East 7th Street	Apartment Restaurant Retail	122 DU 4,605 GSF 3,245 GLSF
49	Proposed	1150 West Wilshire Boulevard	Apartment Restaurant	80 DU 4,589 GSF
50	Under Construction	737 South Spring Street	Apartment Pharmacy/Drug Store	320 DU 25,000 GSF
51	Proposed	520 South Mateo Street CPC-2016-3853	Apartment Office Retail Restaurant	600 DU 30,000 GSF 15,000 GLSF 15,000 GSF
52	Proposed	1218 West Ingraham Street	Apartment	80 DU
53	Proposed	Palmetto & Mateo 555 South Mateo Street	Retail	153,000 GLSF
54	Under Construction	732 South Spring Street	Apartment Pharmacy/Drug Store	400 DU 15,000 GSF
55	Proposed	340 South Hill Street	Apartment Restaurant	428 DU 2,894 GSF
56	Proposed	1145 West 7th Street ENV-2015-2800-MND	Condominium Retail	241 DU 7,291 GLSF
57	Proposed	540 South Santa Fe Avenue	Office	89,825 GSF
58	Proposed	360 South Alameda Street	Apartment Office Restaurant	55 DU 6,300 GSF 2,500 GSF
59	Proposed	118 South Astronaut	Apartment	77 DU

**Table 2-2
Related Projects**

Map No.	Project Status	Project Name/Number Address/Location	Land Use Data		
			Land Use	Size	
		Ellison S Onizuka Street			
60	Proposed	222 West 2nd Street	Office Apartment Retail	534,044 107 7,200	GSF DU GLSF
61	Proposed	Soho House 1000 South Santa Fe Avenue	Restaurant/Bar Private Club	8,447 48	GSF Rooms
62	Proposed	700 West Cesar Chavez Avenue	Apartment Retail	299 8,000	DU GLSF
63	Proposed	Clinic at 7th & Wall 649 South Wall Street	Medical Office Assisted Living	66 55	Empl. Beds
64	Proposed	Metro Emergency Security Operations Center 410 North Center Street	Office	110,000	GSF
65	Proposed	500 South Mateo Street	Restaurant	12,882	GSF
66	Proposed	Medallion Phase 2	Apartment	471	DU
		300 South Main Street	Retail/Restaurant	32,970	GLSF
67	Proposed	Alexan South Broadway 850 South Hill Street	Apartment Retail/Restaurant	300 7,000	DU GLSF
68	Proposed	Olympic & Hill Mixed-Use 1030 South Hill Street	Apartment Retail Restaurant	700 7,000 8,000	DU GLSF GSF
69	Proposed	Alameda Hotel 400 South Alameda Street	Hotel Restaurant Retail	66 2,130 840	Rooms GSF GLSF
70	Proposed	Apex II 700 West 9th Street	Apartment Retail	341 11,687	DU GLSF
71	Proposed	649 South Olive Street	Hotel	241	Rooms
72	Proposed	Sapphire Mixed-Use 1111 West 6th Street	Apartment Retail	362 25,805	DU GLSF
73	Proposed	Grand Residences 1233 South Grand Avenue	Condominium Restaurant	161 3,000	DU GSF
74	Proposed	675 South Bixel Street	Hotel Apartment Retail	126 422 4,874	Rooms DU GLSF
75	Proposed	740 South Hartford Avenue	Apartment	80	DU
76	Proposed	Lifan Tower 1235 West 7th Street	Condominium Retail	304 5,960	DU GLSF
77	Proposed	940 South Hill Street	Apartment Retail	232 14,000	DU GLSF
78	Proposed	361 South Spring Street	Hotel Meeting Rooms	315 2,000	Rooms GSF
79	Proposed	1340 South Olive Street	Apartment Retail Restaurant	156 5,000 10,000	DU GLSF GSF
80	Proposed	1334 South Flower Street	Apartment Retail/Restaurant	146 6,270	DU GLSF
81	Proposed	929 East 2nd Street	Retail Other	37,974 71,078	GLSF GSF
82	Proposed	633 South Spring Street	Hotel Restaurant Bar	176 8,430 5,290	Rooms GSF GSF
83	Proposed	Luxe Hotel	Hotel	300	Rooms

**Table 2-2
Related Projects**

Map No.	Project Status	Project Name/Number Address/Location	Land Use Data	
			Land Use	Size
		1020 South Figueroa Street	Condominium Retail	435 DU 58,959 GLSF
84	Under Construction	1200 South Figueroa Street	Residential Restaurant Retail	648 DU 20,000 GSF 28,000 GLSF
85	Proposed	701 South Hill Street	Apartment Retail	124 DU 8,500 GLSF
86	Proposed	525 South Spring Street	Apartment Retail	360 DU 9,400 GLSF
87	Proposed	Case Hotel 1106 South Broadway	Hotel	151 Rooms
88	Proposed	Freehand Hotel 416 West 8th Street	Hotel	200 Rooms
89	Proposed	656 South Stanford Avenue	Apartment	82 DU
90	Proposed	Olympic Tower 815 West Olympic Boulevard	Hotel Retail Condominiums Office Conference Center	373 Rooms 65,074 GLSF 374 DU 33,498 GSF 10,801 GSF
91	Proposed	LA Gateway Project 1025 Olympic Boulevard ENV-2016-4889-EIR	Apartment Restaurant Retail	1,367 DU 20,000 GSF 20,000 GLSF
92	Under Construction	Oceanwide Plaza 1101 South Flower Street	Condominiums Hotel Retail Restaurant	504 DU 183 Rooms 120,583 GLSF 46,000 GSF
93	Proposed	Los Angeles Sports and Entertainment District Figueroa Street & 11th Street DIR-2005-7453-SPP-M3	Office Convention Center	601,800 GSF 250,000 GSF
94	Proposed	708 North Hill Street	Apartment Retail	162 DU 5,000 GLSF
95	Proposed	130 South Beaudry Avenue	Apartment	230 DU
96	Proposed	Urban View Lots 495 South Hartford Avenue	Apartment	218 DU
97	Proposed	8th & Figueroa Mixed-Use 744 South Figueroa Street	Apartment Retail	438 DU 7,500 GLSF
98	Proposed	433 South Main Street	Condominium Mixed-Use	196 DU 6,200 GSF
99	Proposed	Downtown LA Hotel 926 West James M. Woods Boulevard	Hotel	247 Rooms
100	Proposed	JMF Tower 333 West 5th Street	Condominiums Hotel Retail	100 DU 200 Rooms 27,500 GLSF
101	Proposed	Times Mirror Square 202 West 1st Street	Apartments Office Supermarket Restaurant	1,127 DU 285,088 GSF 50,000 GSF 75,589 GSF
102	Under Construction	888 South Hope Street	Apartments	526 DU
103	Proposed	2117 East Violet Street CPC-2017-437-GPA	Apartments Retail	509 DU 288,230 GLSF

**Table 2-2
Related Projects**

Map No.	Project Status	Project Name/Number Address/Location	Land Use Data		
			Land Use	Size	
104	Proposed	Ferrante 1000 West Temple Street	Apartments Retail	1,500 30,000	DU GLSF
105	Proposed	6AM Project 640 South Alameda Street, 1206 East 6th Street ENV-2016-3758-EIR	Apartments Condominiums Hotel Office Retail School Art Space	1,305 431 412 253,514 127,609 29,316 22,429	DU DU Rooms GSF GLSF GSF GSF
106	Proposed	1300 South Figueroa Street CPC-2017-746-GPA	Hotel	1,024	Rooms
107	Proposed	Budokan of Los Angeles 237-249 South Los Angeles Street	Sports Center	63,000	GSF
108	Proposed	King's Arch 537 South Broadway	Office	45,000	GSF
109	Proposed	Title Insurance Building 433 South Spring Street	Office	320,000	GSF
110	Proposed	Subway Terminal Retail 417 South Hill Street	Retail/Office	130,000	GLSF
111	Proposed	401 South Hewitt Street COC-2017-469-GPA	Office Retail Restaurant	255,500 4,970 9,940	GSF GLSF GSF
112	Proposed	333 South Alameda Street CPC-2017-552-GPA	Apartments Retail	994 99,300	DU GLSF
113	Proposed	1000 South Hill Street ENV-2016-4711-EAF	Apartments Retail	498 8,707	DU GLSF
114	Proposed	1018 West Ingraham Street ENV-2017-979-EAF	Apartments Retail	37 1,890	DU GLSF
115	Proposed	1100 East 5th Street ENV-2016-3727-EIR, VTT-74549	Apartment Office Restaurant Retail	220 20,021 19,609 9,250	DU GSF GSF GLSF
116	Proposed	1100 South Main Street ENV-2016-3825-EAF	Apartments Retail	379 25,810	DU GLSF
117	Proposed	220 North Center Street 2017-CEN-46412	Apartment Retail	430 8,742	DU GLSF
118	Proposed	1219 South Hope Street ENV-2017-1701-EAF	Hotel Restaurant	75 7,700	Rooms GSF
119	Proposed	1307 West 7th Street DIR-2015-3777-SPP-DB-1A	Apartments Retail	76 6,035	DU GLSF
120	Proposed	1322 West Maryland Street DIR-2016-3116-DB-SPP	Apartments Retail	47 760	DU GLSF
121	Proposed	1323 South Grand Avenue	Apartments Retail/Restaurant	284 6,300	DU GLSF
122	Proposed	601 South Central Avenue 930 East 6th Street	Apartments Retail	236 12,000	DU GLSF
123	Proposed	640 South Santa Fe Avenue	Office Retail/Restaurant	91,185 15,980	GSF GLSF
124	Proposed	641 South Imperial Street ENV-2017-740-EAF	Apartments Office	140 14,749	DU GLSF
125	Proposed	643 North Spring Street	Apartments Hotel	281 142	DU Rooms

**Table 2-2
Related Projects**

Map No.	Project Status	Project Name/Number Address/Location	Land Use Data		
			Land Use	Size	
			Retail	17,003	GLSF
			Restaurant	2,532	GSF
126	Proposed	668 South Alameda Street VTT-74537	Apartment	475	DU
			Office	43,000	GSF
			Retail	9,000	GLSF
			Supermarket	15,000	GSF
			Restaurant	17,000	GSF
127	Proposed	676 South Mateo Street VTT-74550	Apartment	185	DU
			Mixed-Use	27,280	GLSF
128	Proposed	755 South Los Angeles Street ENV-2016-4963-EAF	Office	60,243	GSF
			Retail	16,694	GLSF
			Restaurant	26,959	GSF
129	Proposed	940 East 4th Street ENV-2017-611-EAF	Apartment	93	DU
			Retail	14,248	GLSF
			Office	6,000	GSF
130	Proposed	1410 South Flower Street ENV-2016-2477-MND	Apartments	152	DU
			Retail	1,184	GLSF
131	Proposed	845 South Olive Street ENV-2016-4864-MND	Apartment	208	DU
			Retail	810	GLSF
			Restaurant	1,620	GSF
132	Proposed	330 South Alameda Street ENV-2016-3335-EIR	Apartment	186	DU
			Office	10,415	GSF
			Retail	11,925	GLSF
133	Proposed	527 South Colyton Street ENV-2016-3400-EIR	Apartments	310	DU
			Retail	11,375	GLSF
			Office	11,736	GSF
134	Proposed	Fashion District Residences 212-230 East 7th Street 701-739 South Maple Avenue ENV-2016-3685-MND	Apartments	452	DU
			Retail	6,802	GLSF
			Restaurant	6,802	GSF
135	Proposed	755 South Wall Street ENV-2016-3991-EIR	Apartment	323	DU
			Retail	4,400	GLSF
			Event Space	125	Persons
			Office	53,200	GSF
			Restaurant	4,420	GSF
136	Proposed	1101 East 5th Street 445-457 South Colyton Street ENV-2016-4476-EIR	Live/Work	129	DU
			Retail	26,979	GLSF
			Restaurant	31,719	GSF
			Hotel	113	Rooms
			Art Uses	13,771	GSF
137	Proposed	1045 South Olive Street ENV-2017-3264-EIR	Apartments	794	DU
			Retail	12,504	GLSF
138	Proposed	Figueroa Centre 913 South Figueroa Street ENV-2017-174-EIR	Hotel	220	Rooms
			Condominiums	200	DU
			Retail	94,080	GLSF
139	Proposed	8th, Grand & Hope Tower 754 South Hope Street	Apartments	401	DU
			Retail	19,909	GLSF
140	Proposed	1340 South Hill Street ENV-2017-1213-EAF	Apartments	233	DU
141	Proposed	670 South Mesquite Street ENV-2017-249-EIR	Apartments	308	DU
			Hotel	236	Rooms
			Office	944,055	GSF

**Table 2-2
Related Projects**

Map No.	Project Status	Project Name/Number Address/Location	Land Use Data		
			Land Use	Size	
			Retail	79,240	GLSF
			Restaurant	89,576	GSF
			Event Space	93,617	GSF
			Gym	62,148	GSF
			Grocery	56,912	GSF
142	Under Construction	Alameda Square 777 South Alameda Street	Restaurant	117,400	GSF
143	Proposed	1600 South Figueroa Street CPC-2017-400-GPA	Retail	66,200	GLSF
			Apartments	336	DU
			Hotel	250	Rooms
144	Proposed	2159 East Bay Street CPC-2017-624-VZC	Office	203,670	GSF
			Retail	18,330	GLSF
145	Proposed	2110 Bay Street 2016-CEN-44566	Apartment	99	DU
			Affordable Housing	11	DU
			Office	113,350	GSF
			Retail	43,657	GLSF
146	Proposed	215 West 14th Street	Apartment	154	DU
			Retail	10,700	GLSF
147	Proposed	1745 East 7th Street	Apartment	57	DU
			Retail	6,000	GLSF
148	Under Construction	354 South Spring Street	Apartment	212	DU
			Restaurant	15,280	GSF
149	Proposed	Alameda District Plan	Residential	22	DU
			Office	7,443,200	GSF
			Retail	645,000	GLSF
			Hotel	750	Rooms
			Restaurant	20,000	GSF
			Museum	70,000	GSF
150	Proposed	775 South Figueroa Street 945 West 8th Street	Apartment	781	DU
			Retail	6,700	GLSF
151	Proposed	655 South San Pedro 513 East 7th Street DIR-2017-2333-SPR	Apartment	81	DU
152	Proposed	900 North Alameda Street 2017-CEN-46271	Data Center	179,900	GSF
153	Proposed	1005 South Mateo Street 2007-CEN-4582	Industrial Park	94,849	GSF
154	Proposed	1000-1024 South Mateo Street	Apartment	104	DU
			Office	101,983	GSF
			Restaurant	16,279	GSF
			Retail	5,830	GLSF
			Arts & Production	5,519	GSF
155	Proposed	LA County Consolidated Correctional Facility 441 East Bauchet Street	Jail	3,885	Beds
156	Proposed	2143 East Violet Street	Apartment	320	DU
			Office	224,292	GSF
			Retail	46,670	GLSF
157	Proposed	806 East 3rd Street	Restaurant	18,327	GSF
158	Proposed	Olympia Mixed-Use 1001 West Olympic Boulevard	Apartment	879	DU
			Restaurant	20,000	GSF
			Retail	20,000	GLSF

**Table 2-2
Related Projects**

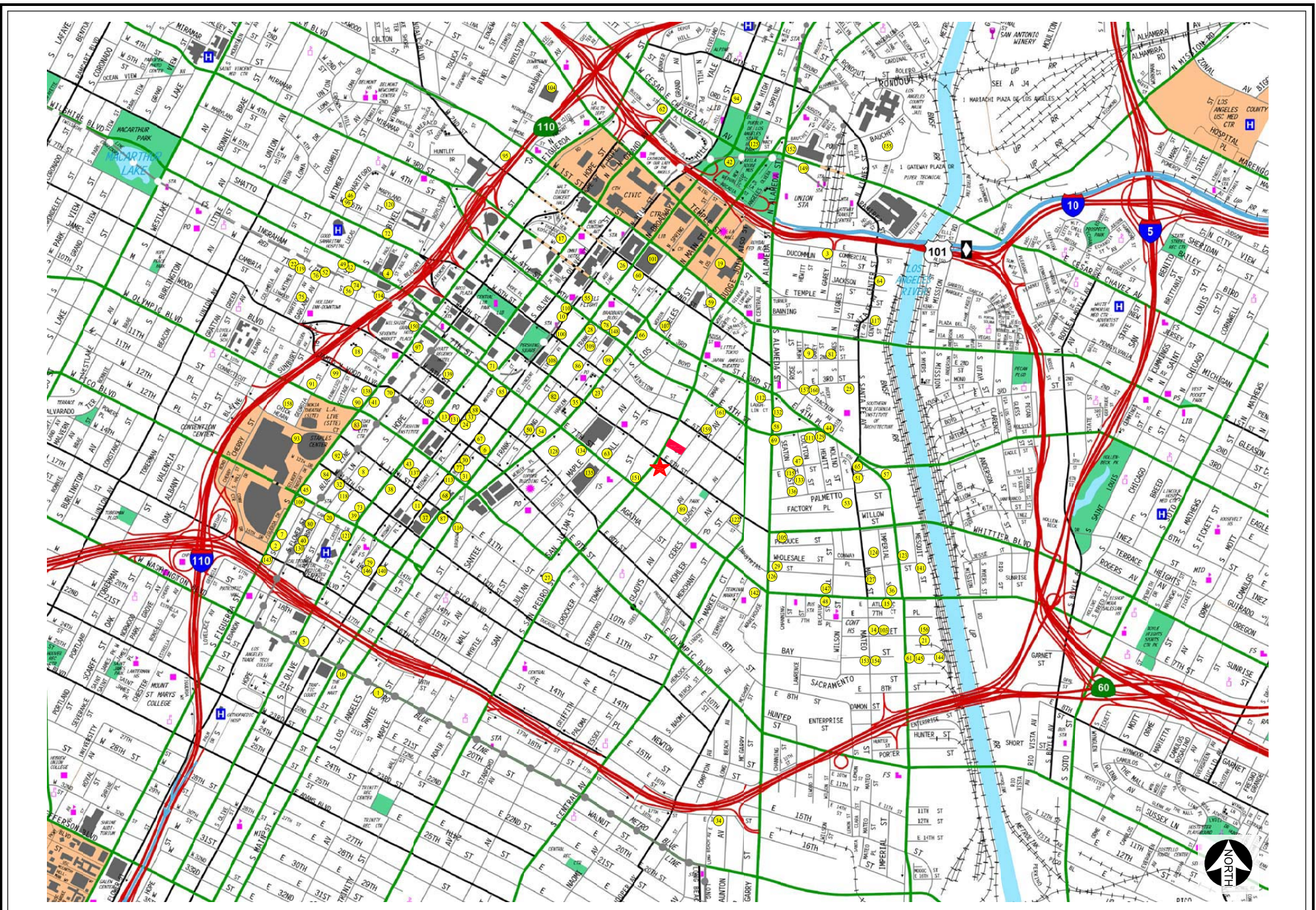
Map No.	Project Status	Project Name/Number Address/Location	Land Use Data	
			Land Use	Size
			Hotel	1,000 Rooms
159	Proposed	609 East 5th Street	Apartment	151 DU
160	Proposed	810 East 3rd Street	Apartment Restaurant Retail	4 DU 3,541 GSF 6,171 GLSF
161	Proposed	508 East 4th Street	Apartment	41 DU
GLSF = gross leasable square feet GSF = gross square feet DU = dwelling unit				
Source: LLG Engineers, March 2018.				

In addition to the 161 related projects listed on Table 2-2, DCP is currently updating the Central City Community Plan in conjunction with the Central City North Community Plan. The plan areas together make up the Downtown Los Angeles (sometimes referred to as DTLA), in a combined planning process commonly referred to as the “DTLA 2040 Plan.” The purpose of the DTLA 2040 Plan is to develop and implement a future vision for Downtown Los Angeles that supports and sustains ongoing revitalization, while thoughtfully accommodating projected future growth. Downtown Los Angeles has been a rapidly changing setting within the City, which supports a collection of economic opportunities and entrepreneurship, people, culture and distinct neighborhoods, and sits at the center of the regional transportation network.

According to DTLA 2040 Plan projections, an additional estimated 125,000 people, 70,000 housing units, and 55,000 jobs will be added to the Downtown area by the year 2040.⁶ In partnership with the Downtown community, the Department of City Planning is anticipated to incorporate growth trends into the DTLA 2040 Plan and other Downtown policies, plans, and programs. As such, the DTLA 2040 Plan will include development options, densities, and intensities and bring the 2003 Central City Community Plan up-to-date as an improved planning tool.⁷ Only the initial period of any such projected growth would overlap with the Project's future baseline forecast, as the Project is anticipated to be completed in 2025, well before the Community Plan Update's horizon year. Moreover, the Project's projected buildout and occupancy years are similar to those of many related projects identified above. Accordingly, it can be assumed that the projected growth reflected by the list of related projects, which itself is a conservative assumption, would account for any overlapping growth that may be assumed by the DTLA 2040 Plan upon its adoption.

⁶ Based on February 2018 growth projections as of February 2018, which may be subject to change as the DTLA 2040 Plan evolves. Source: Los Angeles Department of City Planning, DTLA 2040, Downtown Community Plan Strategies for DLANC, February 2018, available at www.dtl2040.org/draft-documents.html.

⁷ City of Los Angeles, DTLA 2040, About DTLA 2040, Welcome to the Downtown Community Plans, www.dtl2040.org/about.html, accessed June 6, 2018.



MAP SOURCE: RAND McNALLY & COMPANY

WEINGART TOWERS PROJECT

SAN PEDRO TOWER PROJECT

Source: Linscott, Law & Greenspan, Engineers, 2018.

Figure 2-8
Location of Related Projects

In addition, the City has received funding from Metro's Transit Oriented Development Planning Grant Program, which encourages cities to adopt and implement land use regulations that support transit ridership and vibrant neighborhoods around transit stations. As such, the DTLA 2040 Plan will focus on Metro's new Regional Connector and existing transit station areas to improve the walkability and transit orientation of neighborhoods in Downtown Los Angeles. The Regional Connector, currently under construction and anticipated to open in 2021, will be a 1.9-mile underground light-rail system extension that will connect the Metro Gold Line to the 7th Street/Metro Center Station. Specifically, the Regional Connector will allow for a direct connection between the cities of Azusa and Long Beach and between East Los Angeles and Santa Monica, and three new stations will be added at 1st Street/Central Avenue (Little Tokyo/Arts District Station), 2nd Street/Broadway (Historic Broadway Station), and 2nd Street/Hope Street (Grand Avenue Arts/Bunker Hill Station). The Regional Connector will also improve access to both local and regional destinations by providing connectors to other rail lines via the 7th Street/Metro Center Station. In addition to the proximity of the Project Sites to other rail stations described above, the Project Sites are located less than one mile from Metro's Regional Connector 1st Street/Central Avenue portal.

Furthermore, the Los Angeles Streetcar (Streetcar) is an anticipated project that will serve as a fixed-rail streetcar connecting to Downtown neighborhoods and regional transportation resources, including Metro's growing rail network. The Streetcar does not have a projected date of completion, as its engineering, scheduling, and funding continue to be discussed. The Streetcar's 4-mile route will run approximately 18 hours per day to connect riders with places such as South Park, the Financial District and Historic Broadway, Grand Park LA and the Civic Center, the Fashion District, the Convention Center, Staples Center, and LA Live. Specifically, the Streetcar will start at Hill Street, travel east along 1st Street, south along Broadway, west along 11th Street, north along Figueroa Street, east along 7th Street, and north along Hill back to 1st Street. As what will be the most frequent streetcar service in the entire country, with 7-minute headways during peak hours and frequencies of 10 to 15 minutes during off-hours, the Streetcar will serve as an alternative to driving between destinations for residents, workers and visitors. The Streetcar will also encourage additional commercial and residential development in the City's urban, transit-accessible core.

In addition to the Streetcar, the Figueroa Corridor Streetscape (MyFigueroa) Project is currently underway. MyFigueroa focuses on transforming the Figueroa Corridor (between 7th Street and Martin Luther King Boulevard) into a complete, multimodal street that serves the needs of pedestrians, bicyclists, transit riders, and drivers. MyFigueroa, managed by LADOT, includes the following components:

- Better signalization and signage, high-visibility crosswalks, transit platforms, more street trees, and public art.
- A three-mile bikeway which will build a transformative link between Downtown and South Los Angeles, expand the City's bicycle network and help to implement the City's Mobility Plan 2035.
- Protected bicycle lanes where bicycles will be separated from roadway traffic.

As part of its improvements, MyFigueroa will incorporate on-street protected bicycle lanes that connect to local and regional rail and bus systems along their entire length, with a large and expanding concentration of transit options toward the north end in Downtown Los Angeles at the 7th Street Metro Station.

4. PROJECT CHARACTERISTICS

The Project includes the development of two distinct affordable housing projects by the Weingart Center Association on the two Project Sites to provide affordable housing for tenants who qualify for income-restricted units at 50 percent of the Area Median Income or less. Collectively, the Project would provide 685 residential dwelling units, comprising 382 residential dwelling units on Site 1 and 303 residential dwelling units on Site 2. Of the 685 residential dwelling units, 676 dwelling units would be deed restricted affordable housing at 50 percent of the Area Median Income or less, with 378 deed restricted affordable units on Site 1 and 278 deed restricted affordable units on Site 2. The remaining 9 residential dwelling units would not be deed restricted affordable units and would be reserved for building managers, with 4 managers units on Site 1 and 5 managers units on Site 2.

All affordable units would be intended to provide permanent long-term deed restrictive housing without limitation of the tenancy duration. At Site 1, approximately 80 percent of the affordable units would be dedicated to permanent supportive housing units, and up to 20 percent would be dedicated to family affordable housing.⁸ At Site 2, approximately 60 percent of the affordable units would be dedicated to permanent supportive housing units, and up to 40 percent would be dedicated to family housing.⁹ Supportive services would be available to all residents. The permanent supportive housing dwelling units would be restricted to only formerly homeless individuals, whereas the family affordable units would be available to anyone who meets the income restriction.

At Site 1, the 4 managers units would comprise three 1-bedroom units and 1 efficiency unit; the family affordable units would comprise 47 1-bedroom units and 29 efficiency units; and the permanent supportive housing units would comprise 302 efficiency units. At Site 2, the 5 managers units would comprise 5 efficiency units; the family affordable units would comprise 119 efficiency units; and the permanent supportive housing units would comprise 179 efficiency units.

⁸ “Family affordable” signifies that these units would be made available to anyone who qualifies at the requisite income level of 50 percent below area median income (AMI). Tenants of these units would not be required to be formerly homeless. However, it is possible that they may be formerly homeless. It is not intended that children would live in the Project, though households with children that qualify for the units would not be turned away. “family affordable” differs from “permanent supportive housing” in that the tenants would not be required to be formerly homeless, whereas permanent supportive housing units would be reserved only for formerly homeless individuals.

⁹ The percentage breakdown at Site 2 for permanent supportive housing and family affordable units is meant to represent a maximum percentage of family affordable units at Site 2. This maximum percentage of family affordable units is included for the purpose of analyzing a conservative scenario for potential traffic impacts. It is possible that the percentage of family affordable units could decrease at Site 2, and the percentage of permanent supportive housing could increase in the future.

The maximum residential occupancy for the Project on the Project Sites collectively would be 1,420 persons as will be established by requirements set forth in the regulatory agreement between the Project Applicant and the California Health and Safety Code, the Los Angeles Housing + Community Investment Department (HCIDLA). Employment at the Project Sites would consist of approximately 74 future employees including 58 services staff and 16 management staff in addition to the 15 staff members employed at the currently operational café who will transition to the new facility built at Site 1.¹⁰

Descriptions of the proposed development of Sites 1 and 2 are included below.

(a) Site 1 Project

The portion of the Project to be constructed on Site 1 (Site 1 Project) includes the demolition and removal of the existing 7,000-square-foot food service building and surface parking area from Site 1, as well as two trees located within the public right-of-way on South San Pedro Street, and development of the site with 222,574 square feet of mixed residential, philanthropic institution, and commercial land uses in two towers (Tower 1A and Tower 1B) and one level of subterranean parking garage with 32 vehicle parking spaces, long-term bicycle parking, and storage.¹¹¹² The Site 1 Project would include a total of 382 residential dwelling units, a total of 25,493 square feet of philanthropic institution land uses, 2,250 square feet of commercial retail land uses, and approximately 26,060 square feet of common indoor and outdoor open space.¹³ Vehicular access to Site 1 would be provided via a single driveway on Crocker Street into the subterranean parking garage. An additional driveway along the southern edge of Site 1 would provide limited vehicular access, as required per an existing easement to provide loading and unloading opportunities to the abutting Weingart Center Association building and the building located at the northwest corner of Crocker Street and East 6th Street. The open space includes an approximately 4,060-square-foot ground-level open courtyard would separate the two towers. Site plans for the Site 1 Project are included on Figures 2-9 through 2-46. A breakdown of the proposed land uses for Site 1 development is shown on Table 2-3.

¹⁰ *Occupancy and employment figures provided by the Weingart Center Association.*

¹¹ *Street Tree removal subject to review and approval by the City's Urban Forestry Division.*

¹² *Unless otherwise indicated, building square footage comprises square footage of floor area as measured pursuant to the LAMC.*

¹³ *LAMC Section 12.03 defines a philanthropic institution as "a nonprofit, charitable institution devoted to the housing, training or care of children, or of aged, indigent, handicapped or underprivileged persons, but not including the following: office buildings, except as an accessory to and located on the same lot with an institutional activity, as listed above; hospitals, clinics or sanitariums, correctional institutions, institutions or homes for the insane or those of unsound mind; lodging houses or dormitories providing temporary quarters for transient unemployed persons; organizations devoted to collecting and salvaging new or used materials, or organizations devoted principally to distributing food, clothing or supplies on a charitable basis."*



Figure 2-9
Plot Plan - Site 1

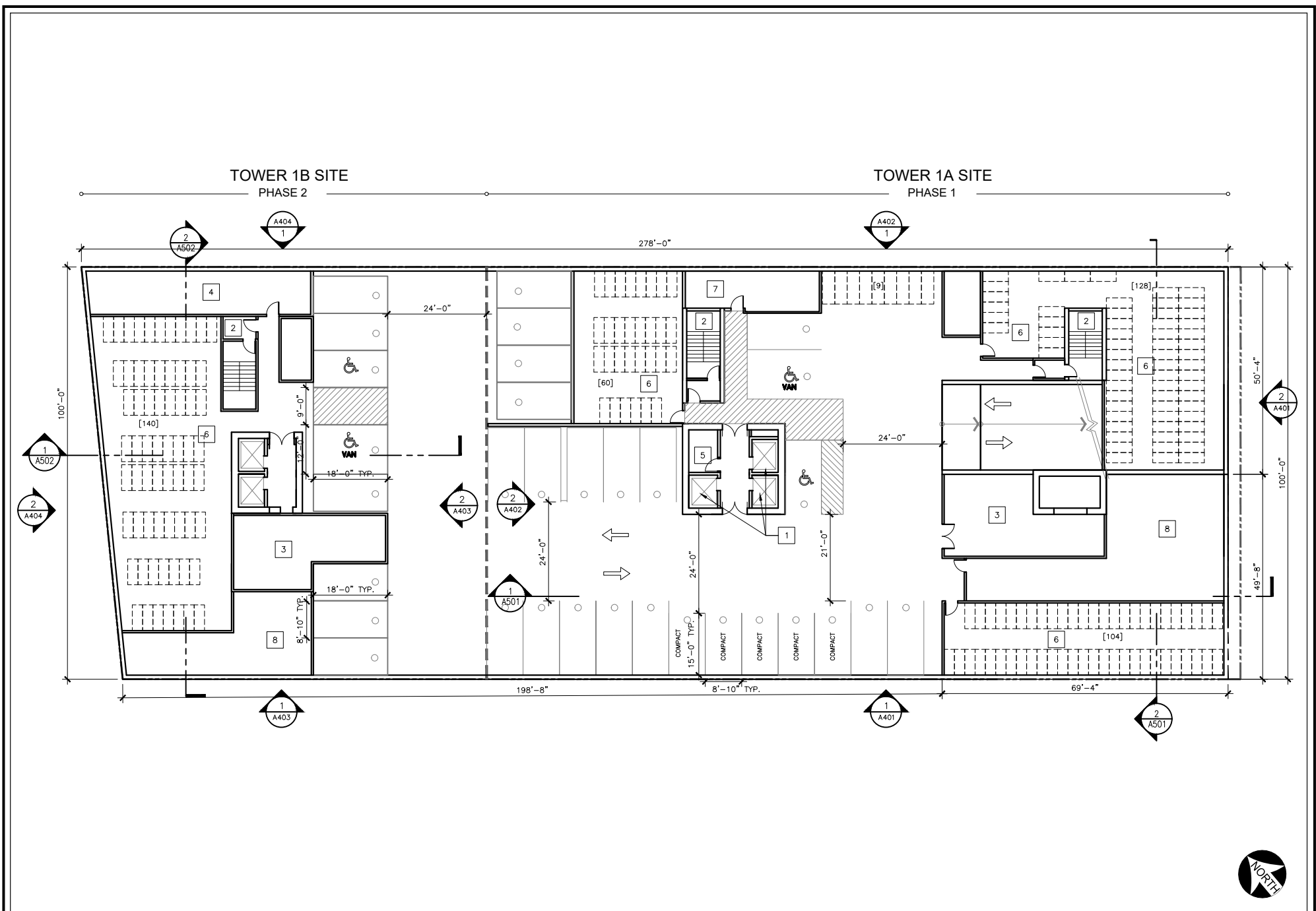


Figure 2-10
Basement Level Floor Plan - Site 1

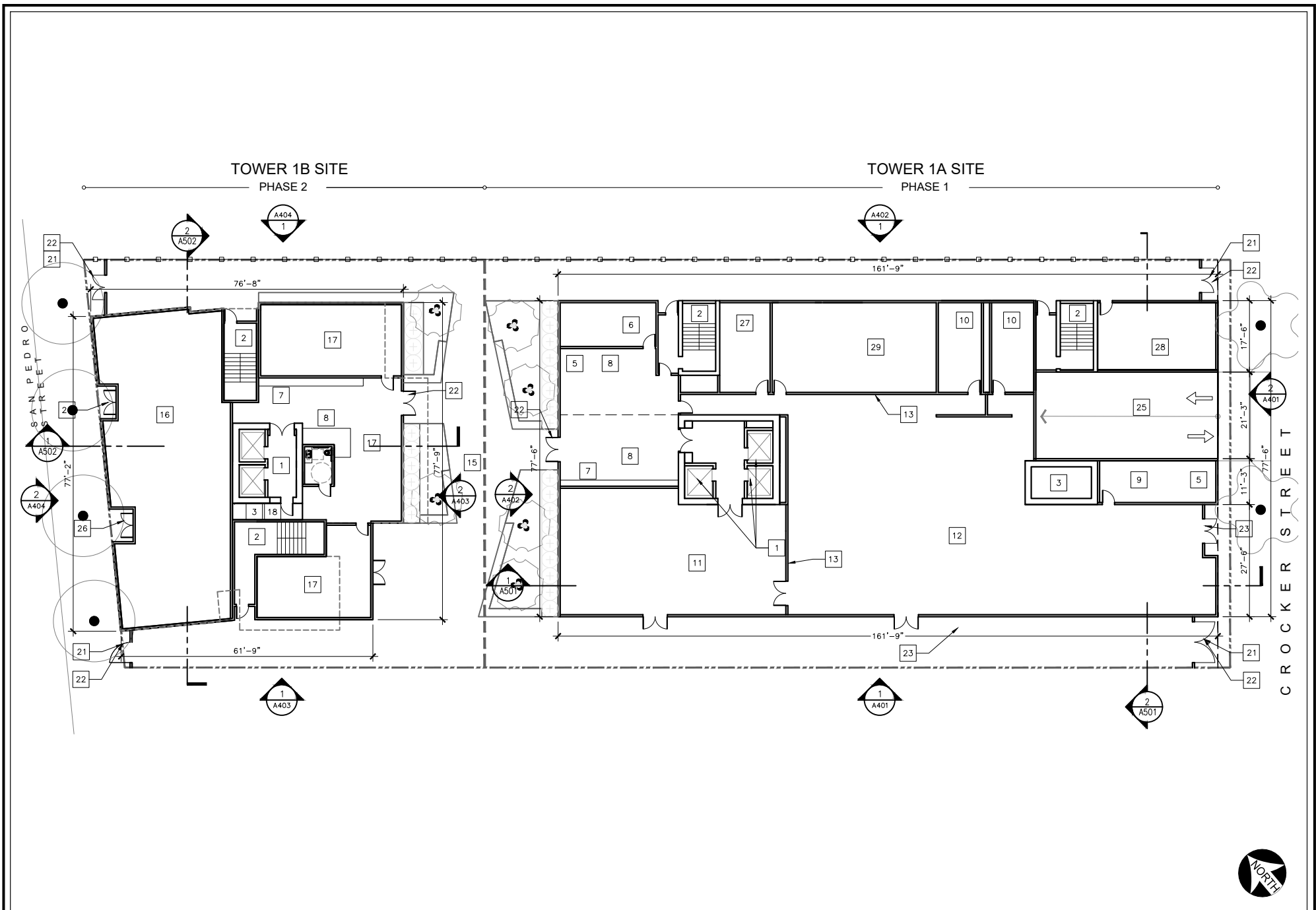


Figure 2-11
Level 1 Floor Plan - Site 1

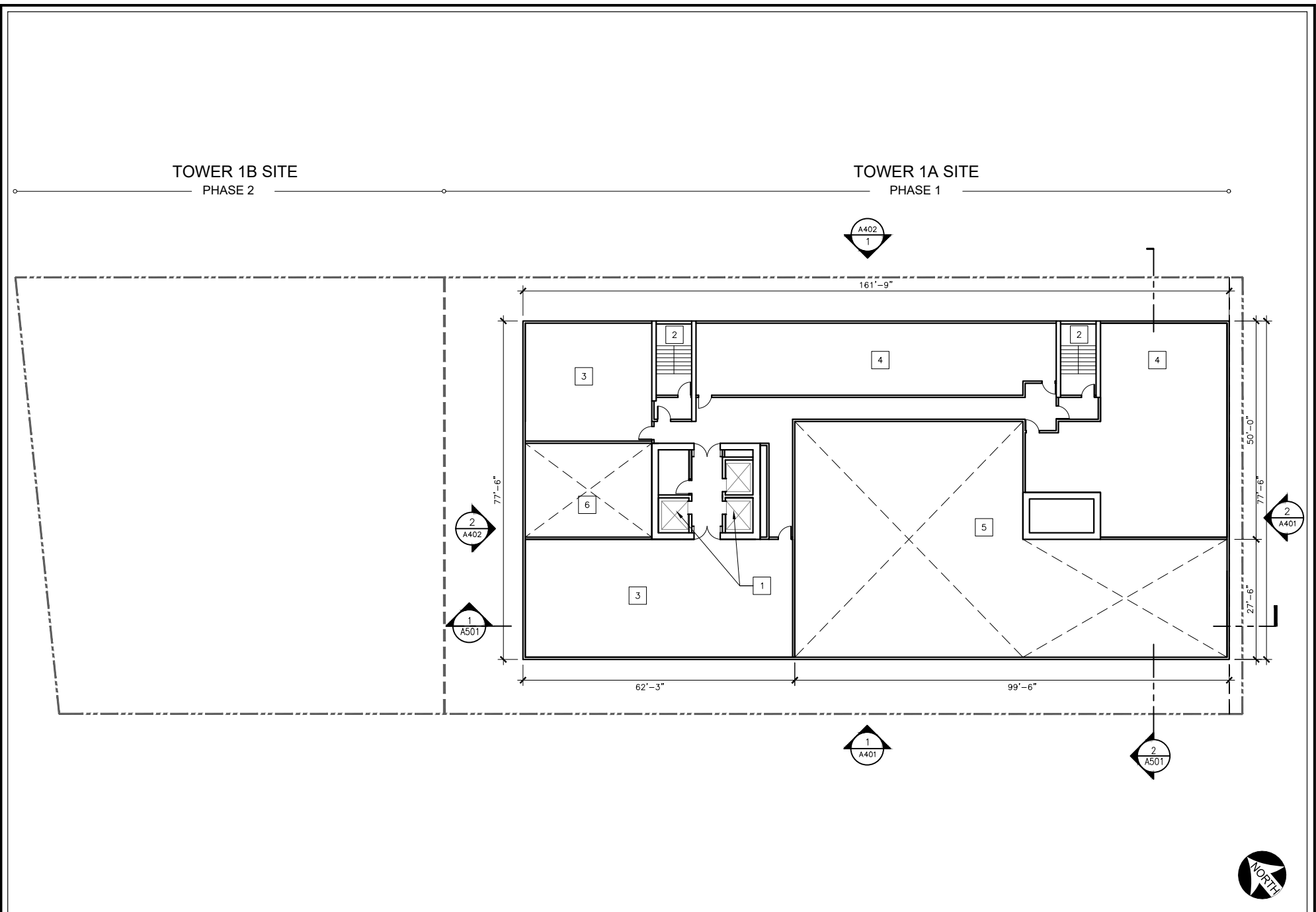
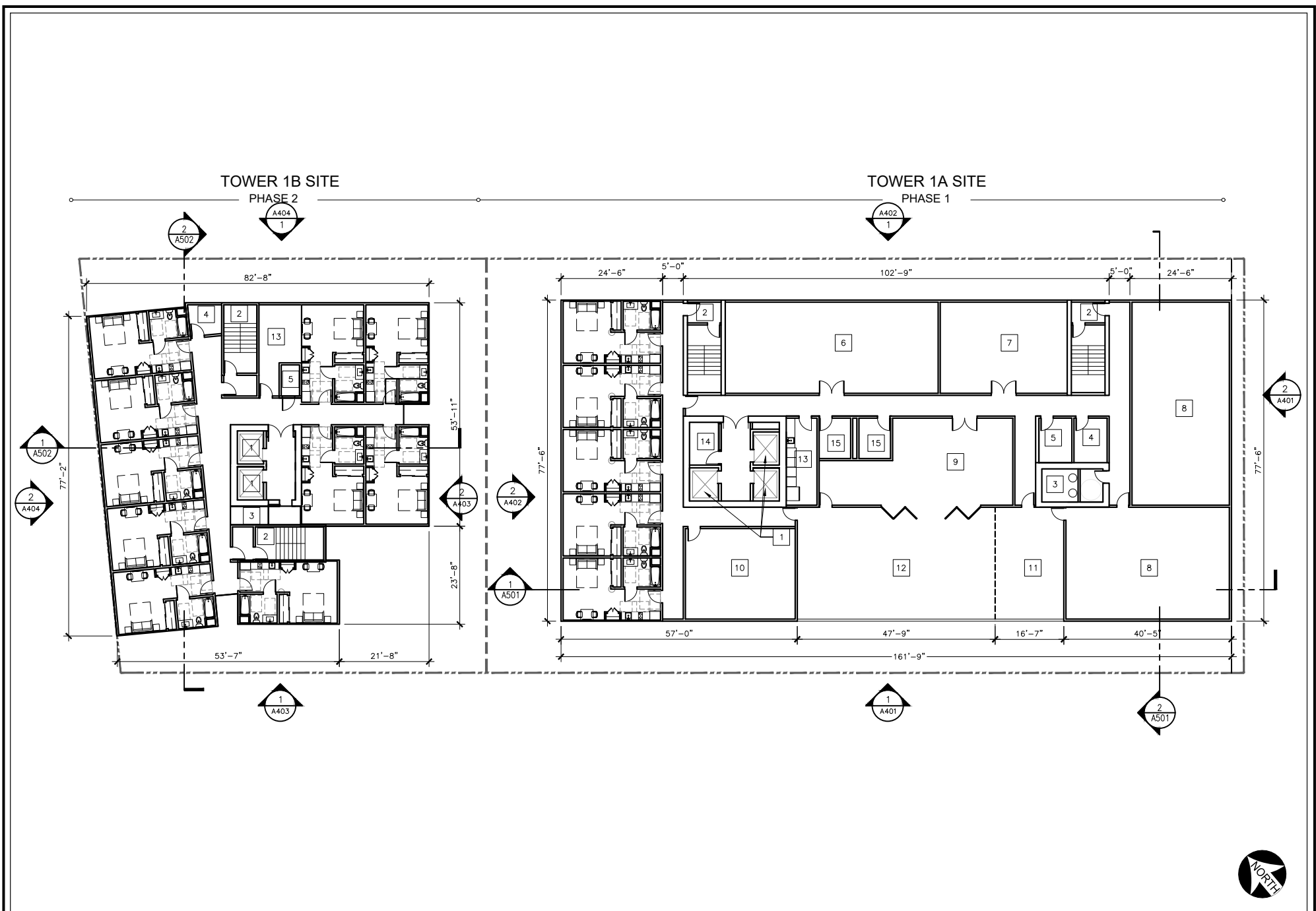


Figure 2-12
Mezzanine Floor Plan - Site 1



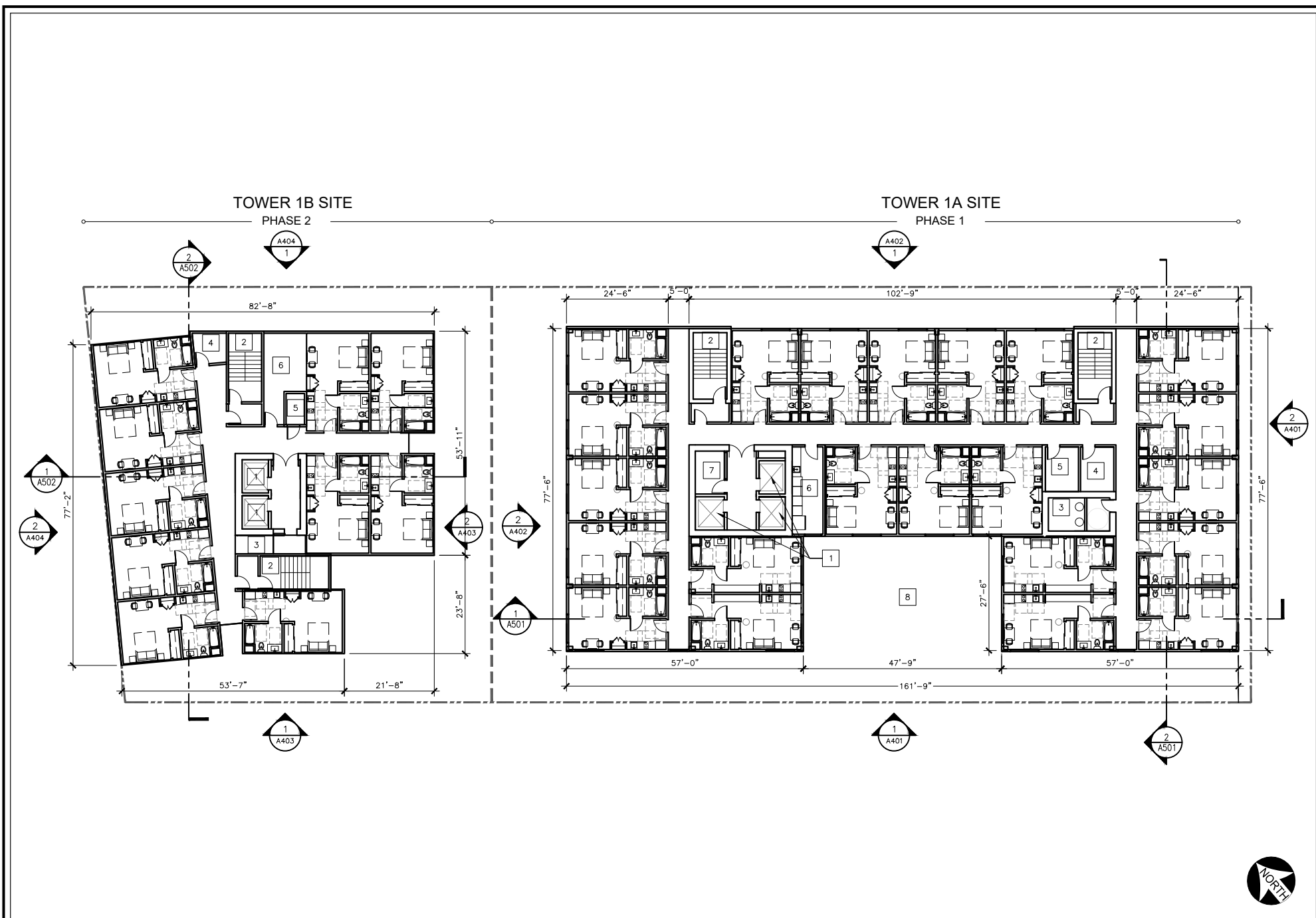


Figure 2-15
Level 4 Floor Plan - Site 1

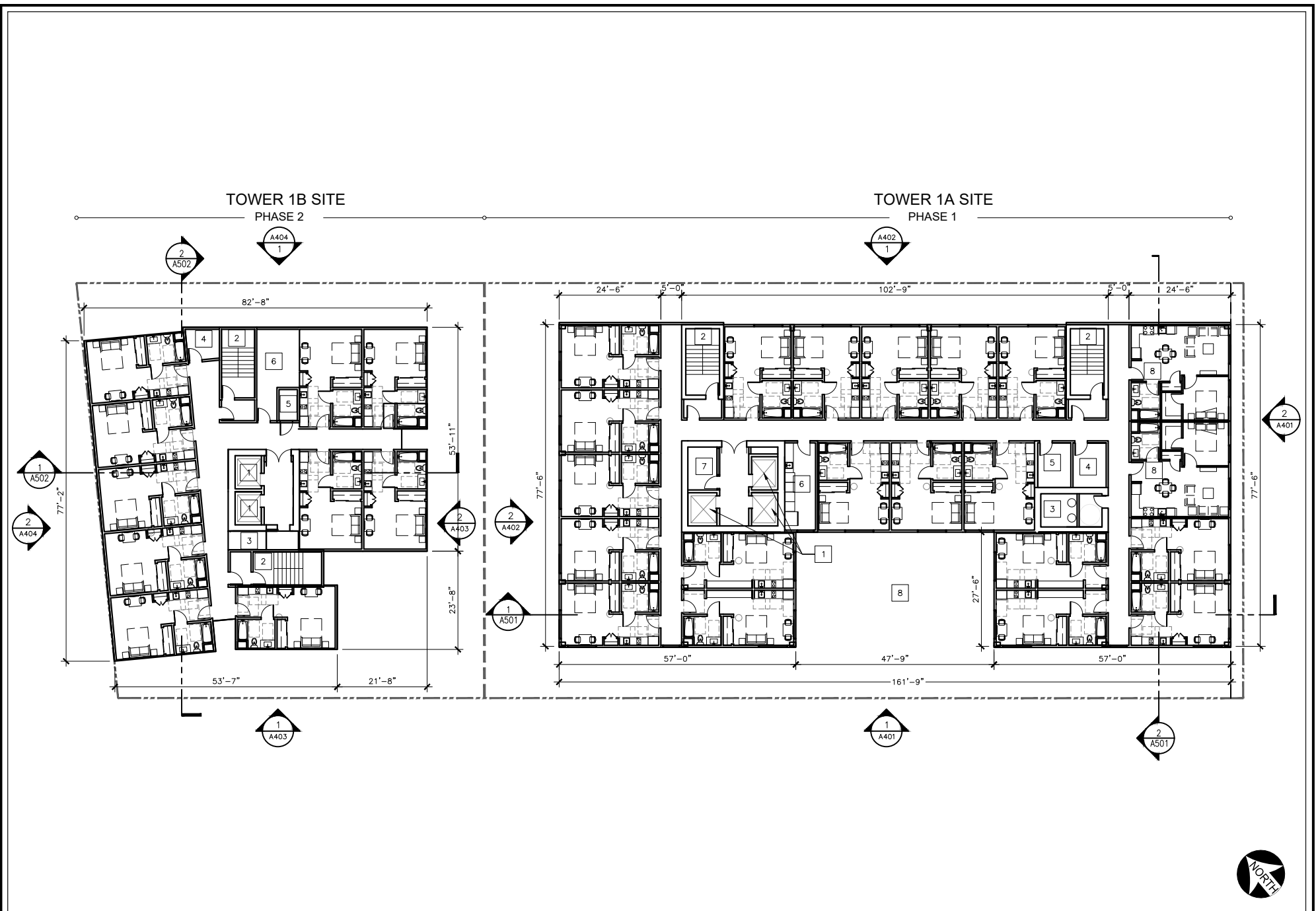


Figure 2-16
Level 5 Floor Plan - Site 1

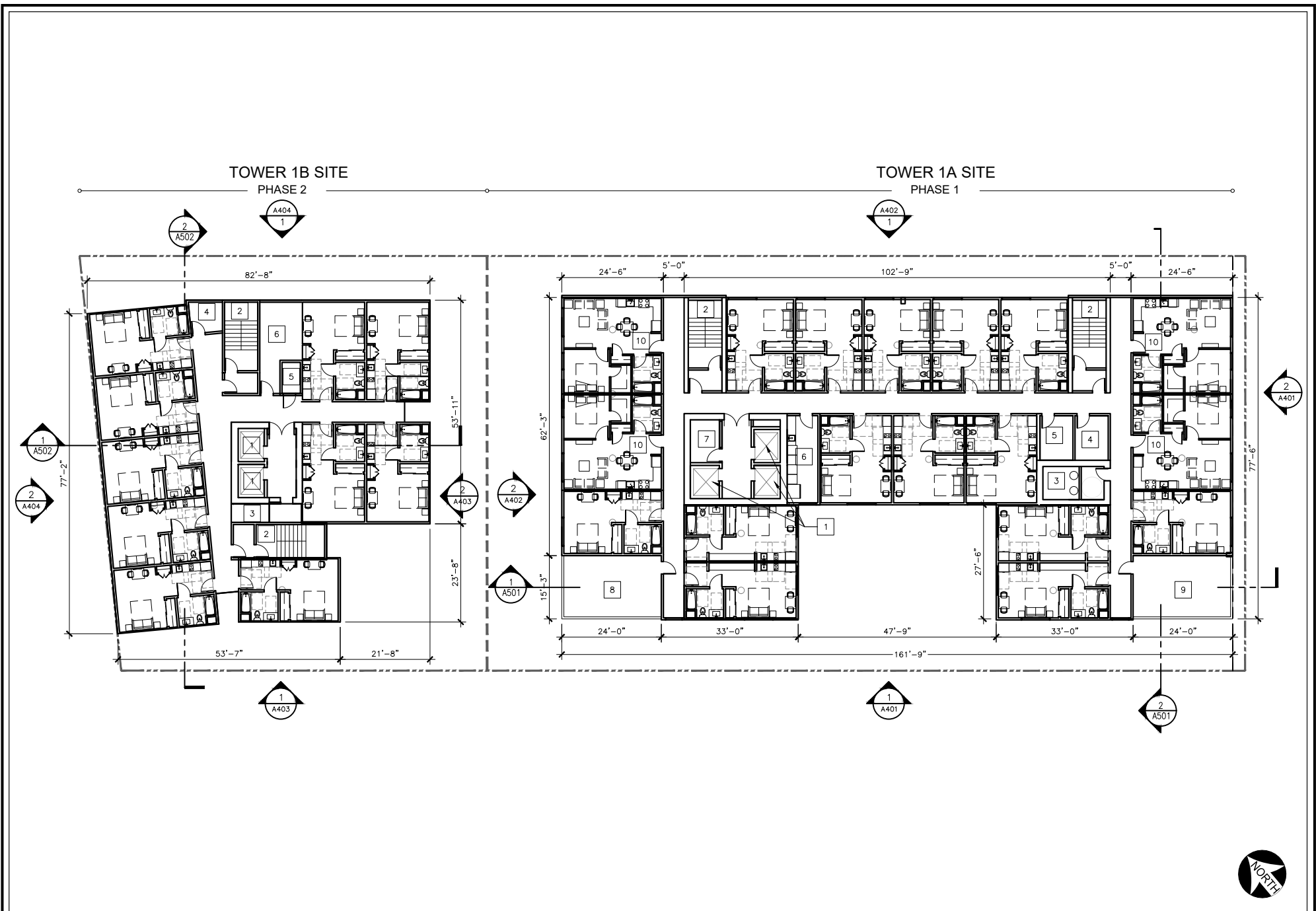
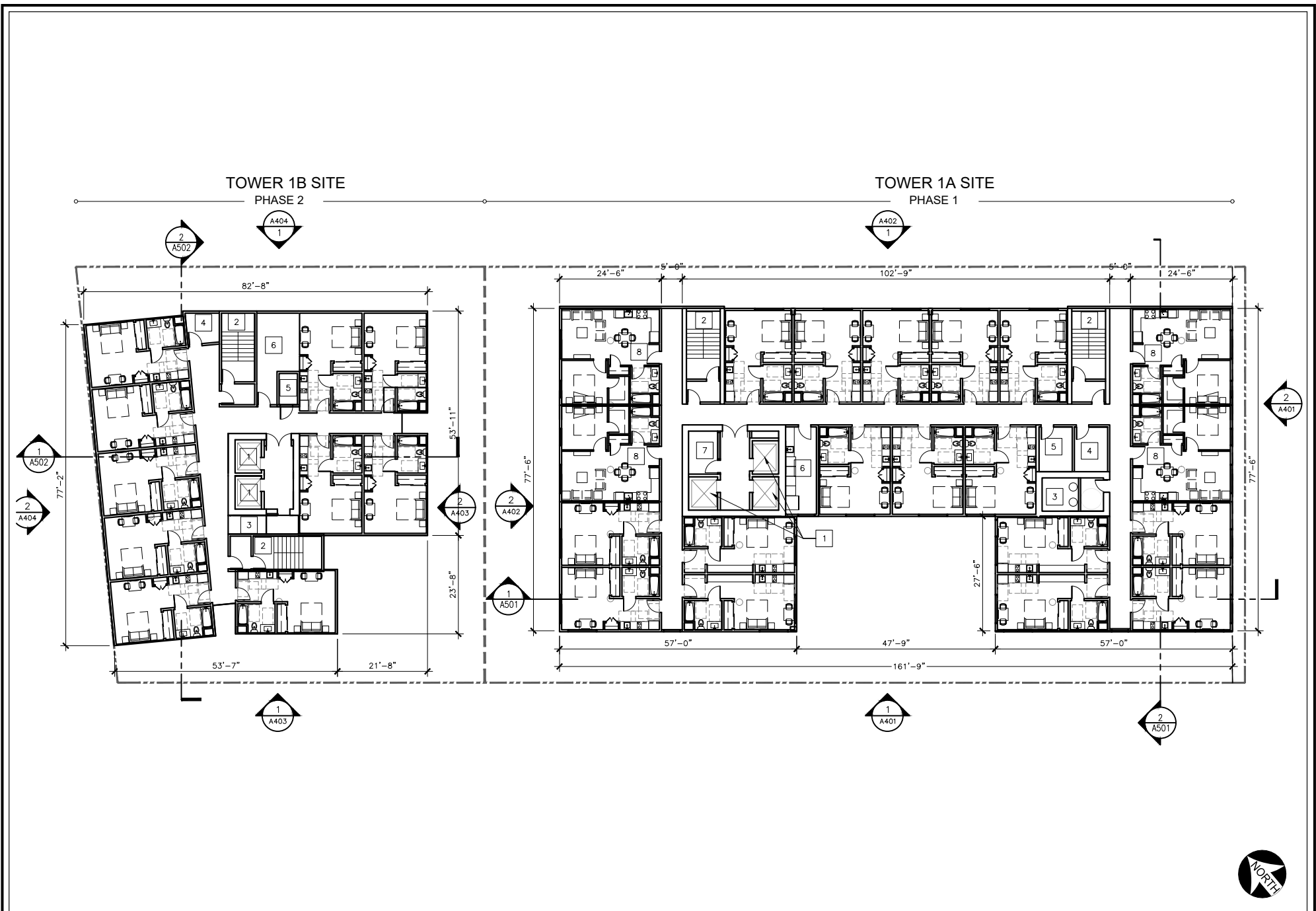
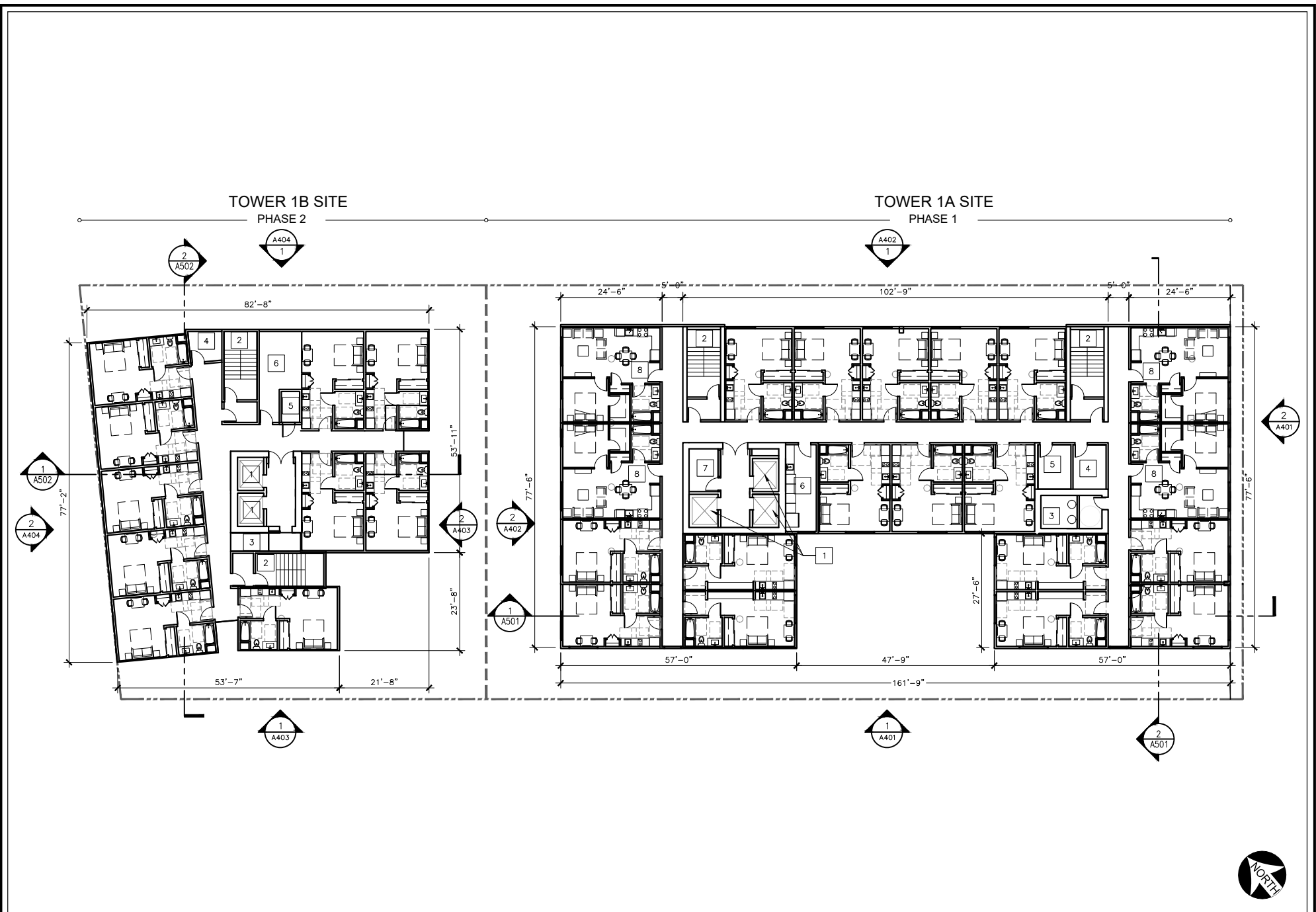


Figure 2-17
Level 6 and 7 Floor Plan - Site 1





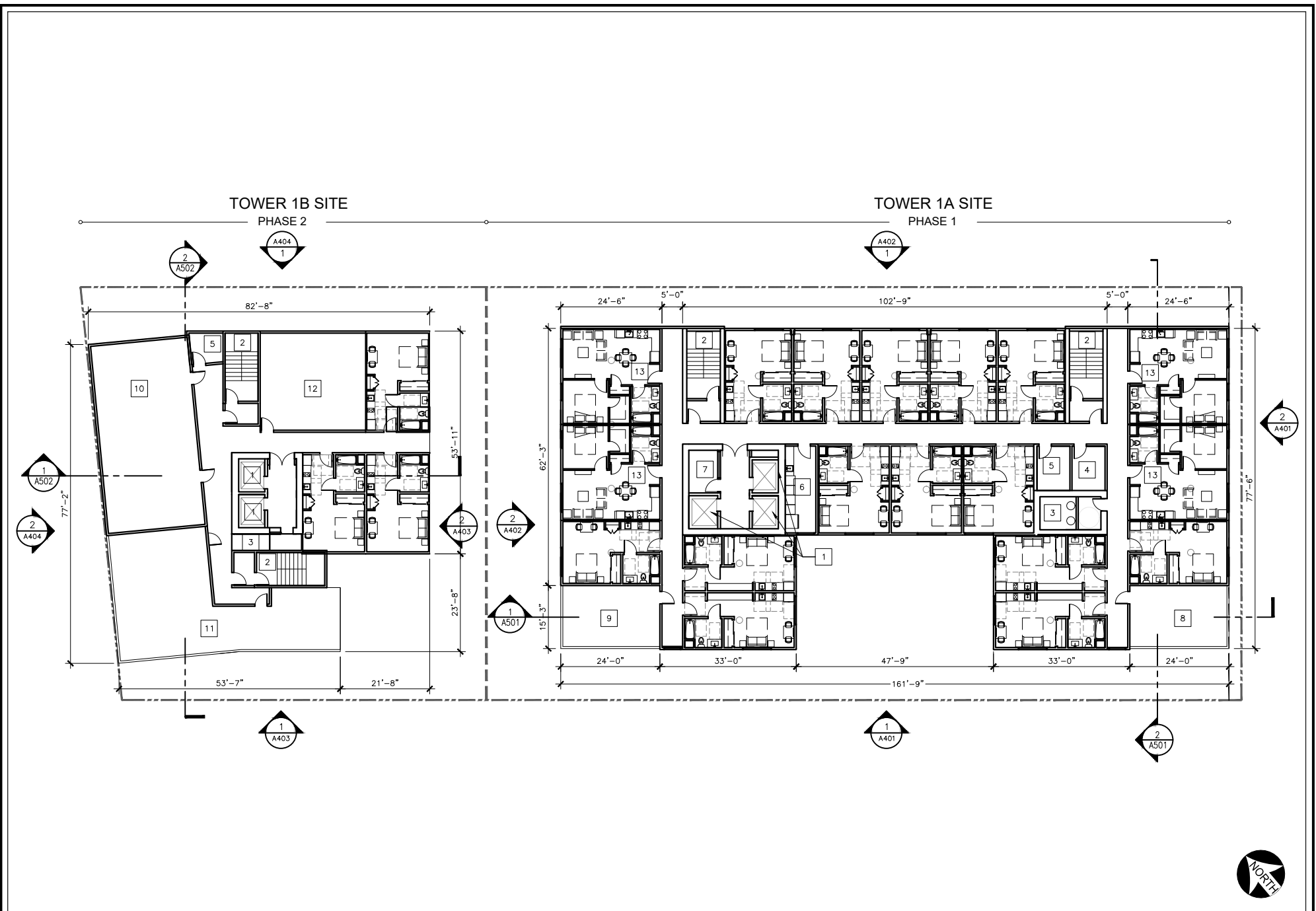


Figure 2-20
Level 12 Floor Plan - Site 1

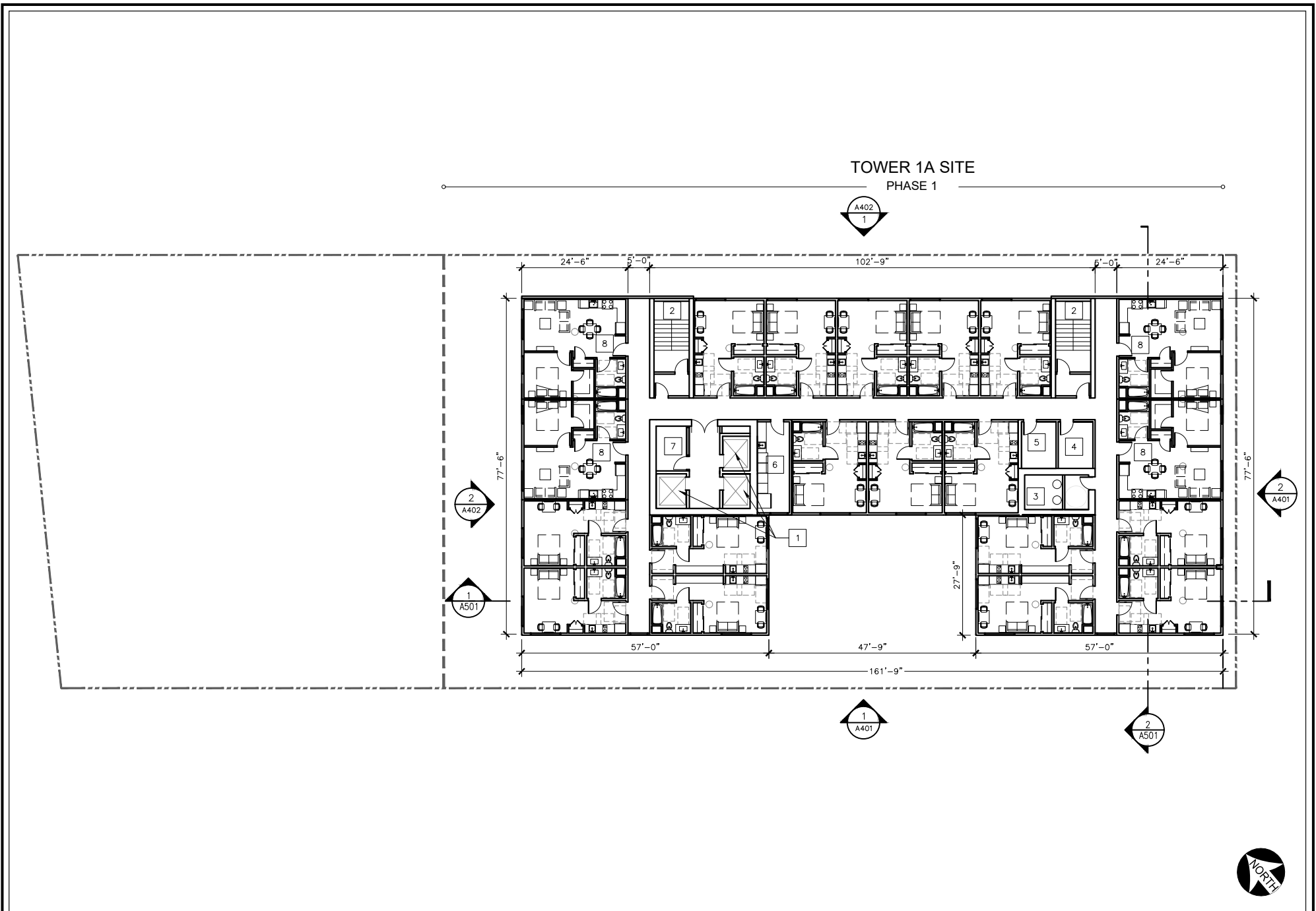


Figure 2-22
Level 14 and 15 Floor Plan - Site 1

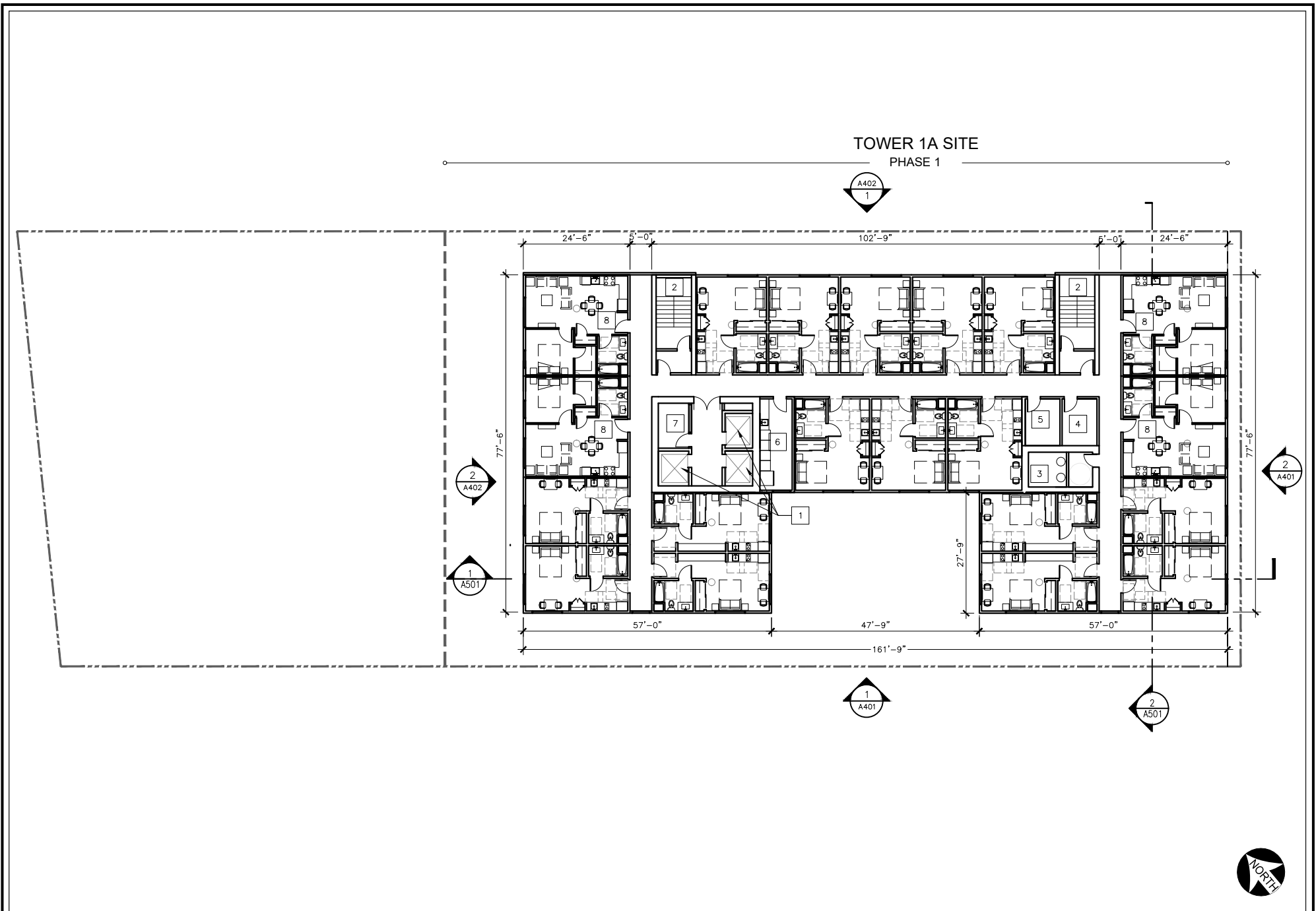


Figure 2-23
Level 16 and 17 Floor Plan - Site 1

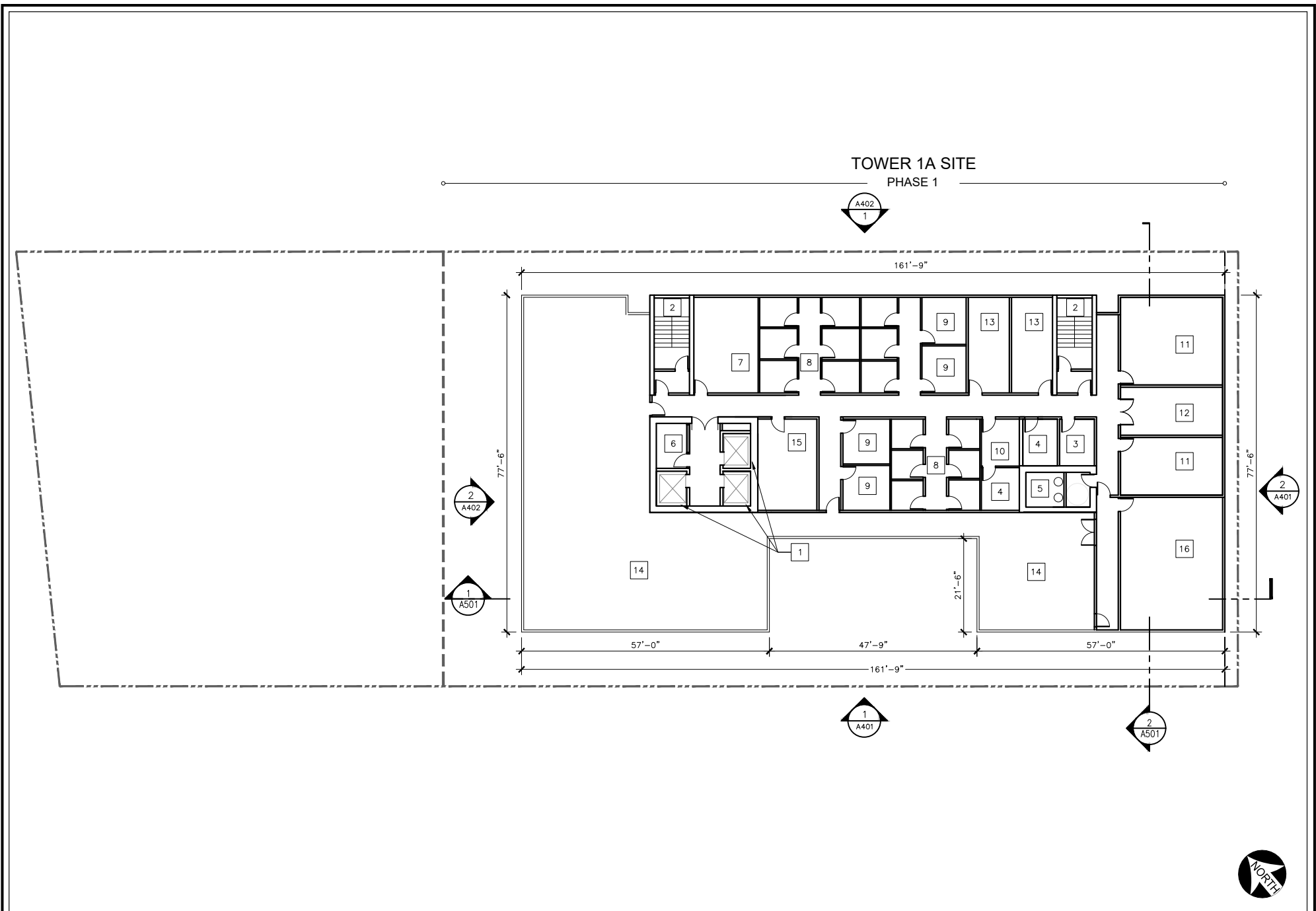


Figure 2-24
Level 18 Floor Plan - Site 1

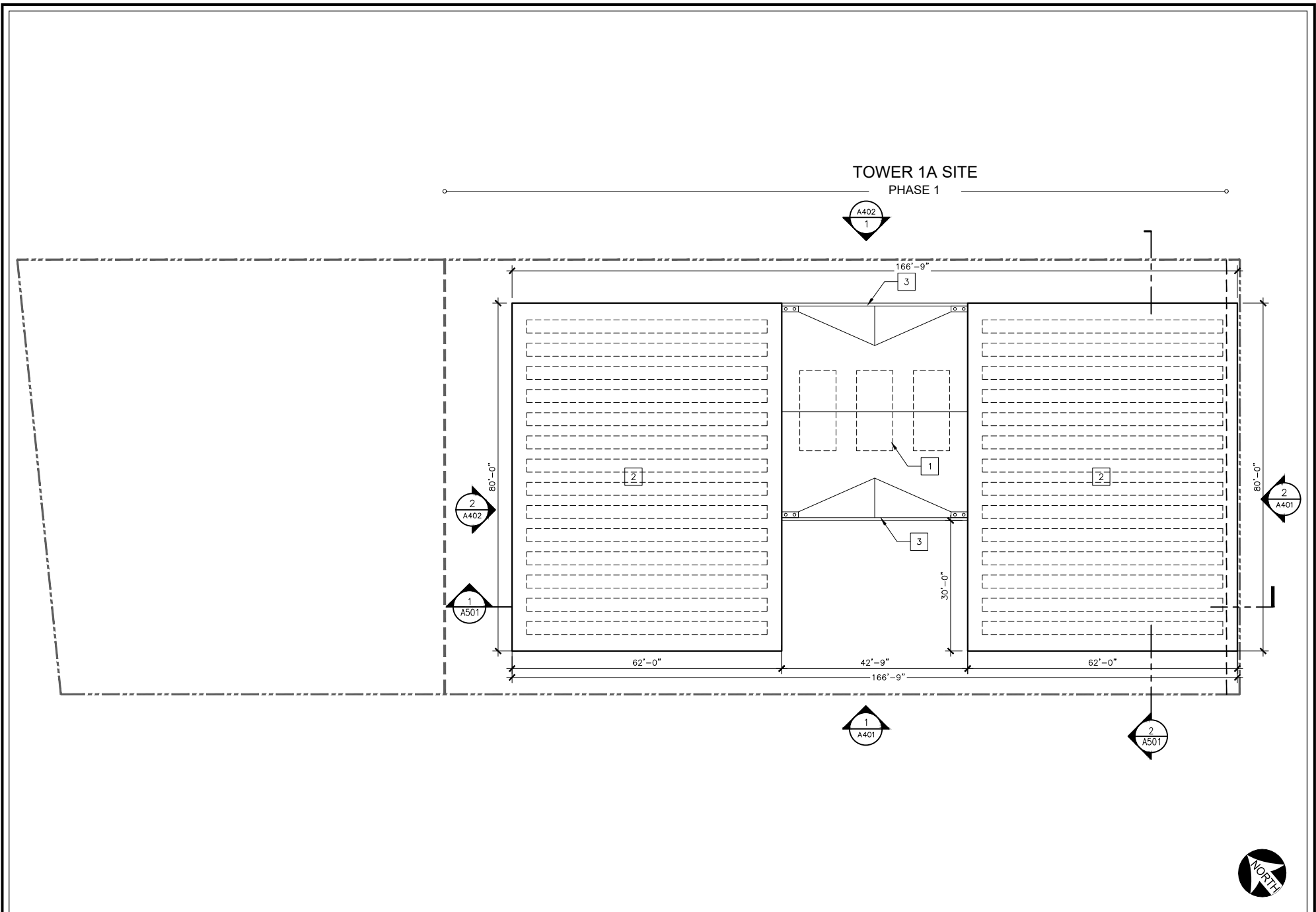


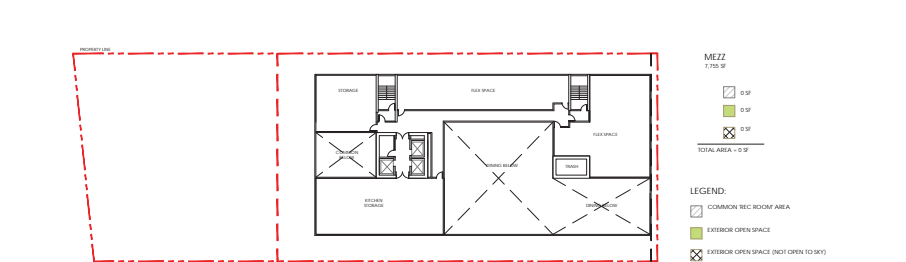
Figure 2-25
Roof Plan (Tower 1A) - Site 1



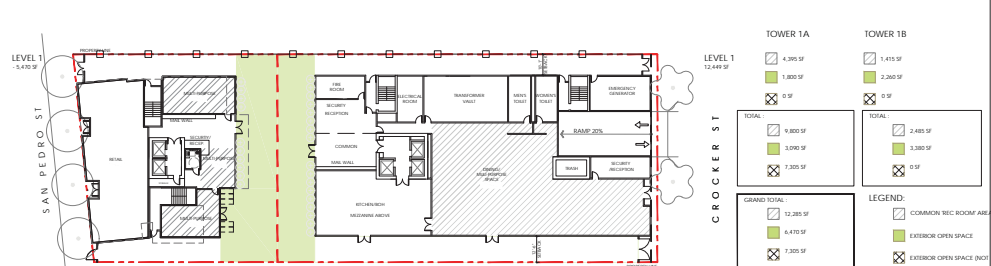
④ LEVEL 3



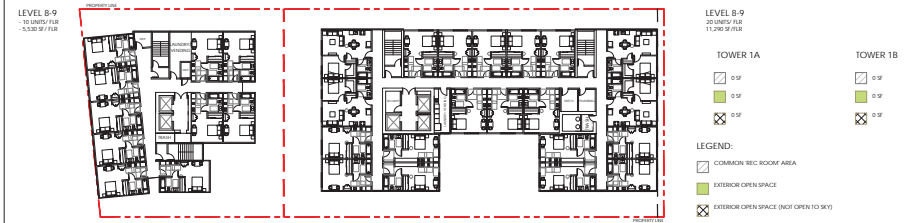
③ LEVEL 2



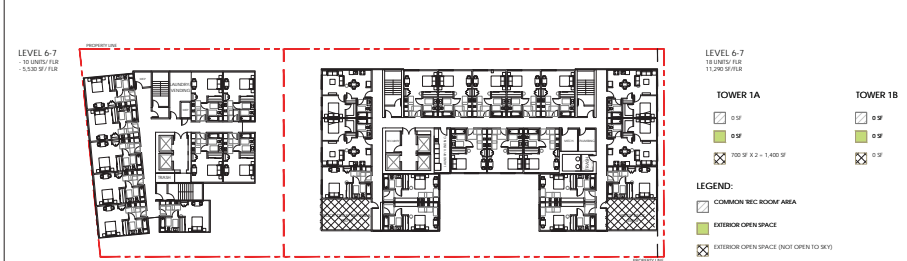
② MEZZANINE LEVEL



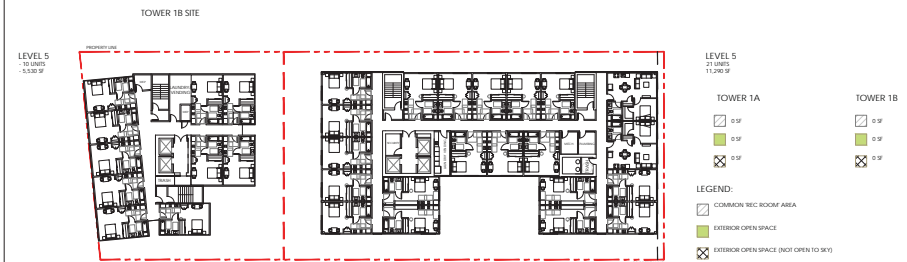
① LEVEL 1



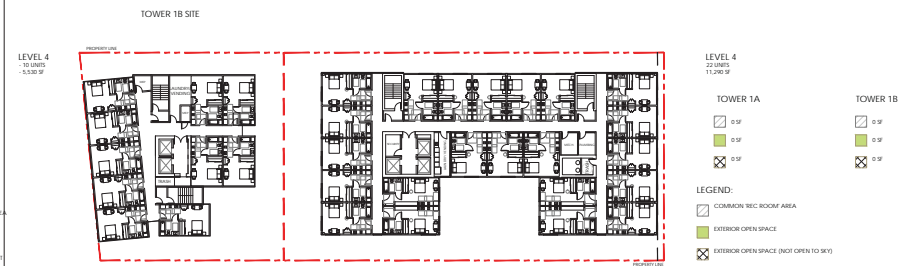
⑧ LEVEL 8-9



⑦ LEVEL 6-7

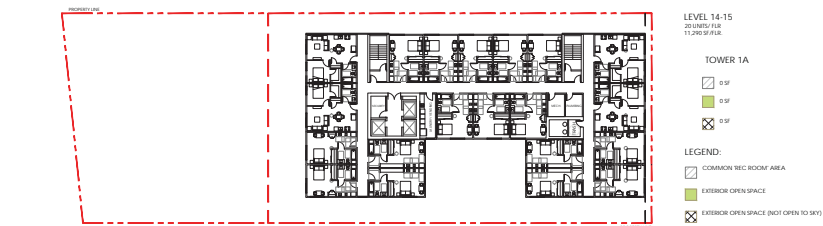


⑥ LEVEL 5

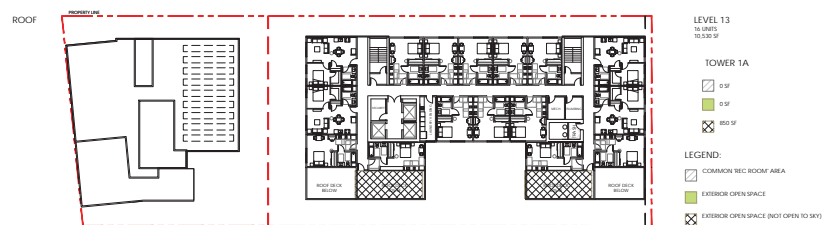


⑤ LEVEL 4

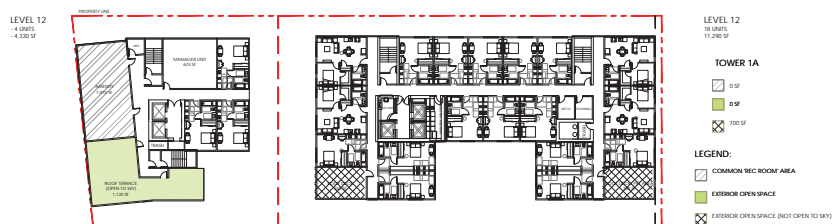
Figure 2-26
Open Space Calculation Diagrams - Site 1



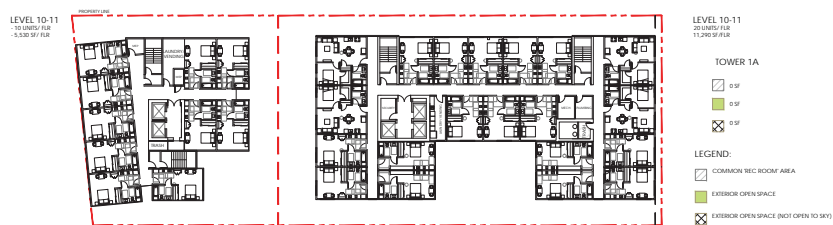
③ LEVEL 14-15



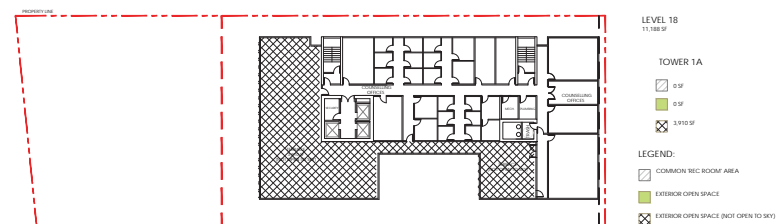
③ LEVEL 13



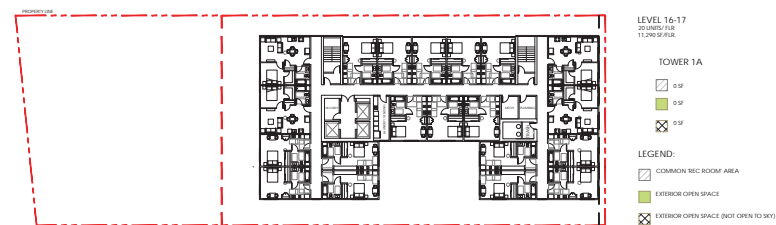
② LEVEL 12



① LEVEL 10-11



⑥ LEVEL 18



⑤ LEVEL 16-17

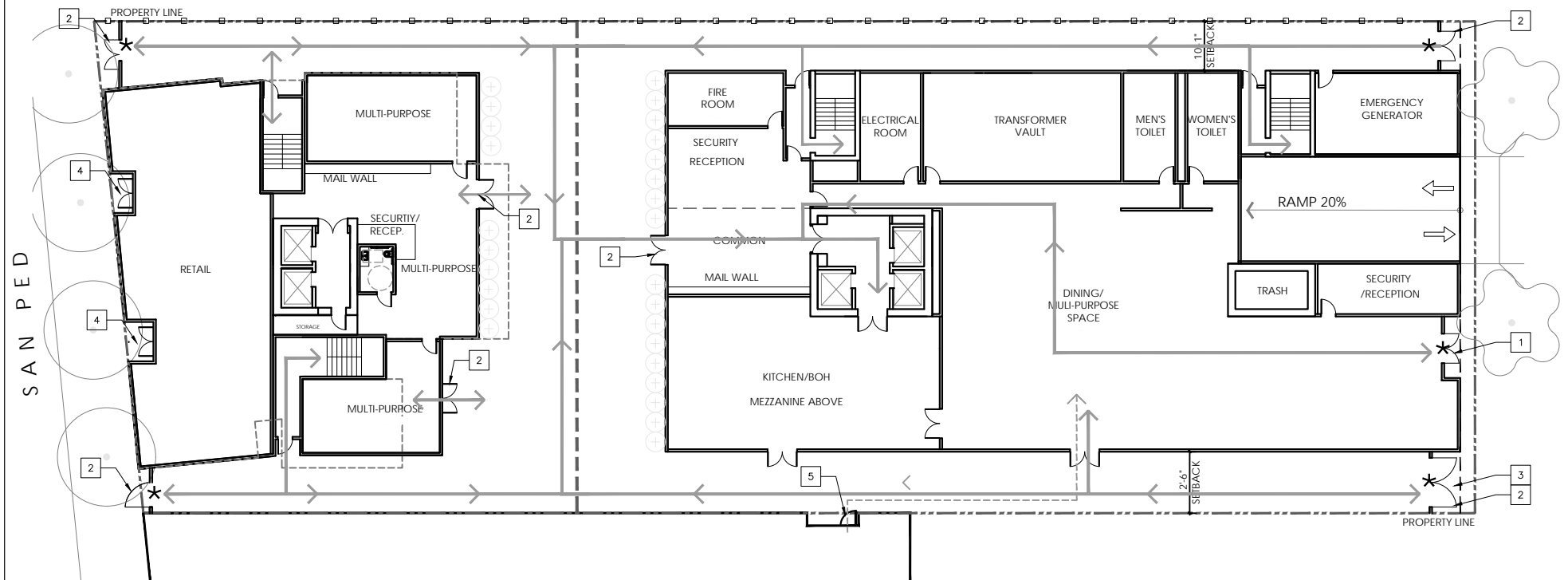


Figure 2-29
Access/Circulation Diagrams - Residents & Staff - Site 1

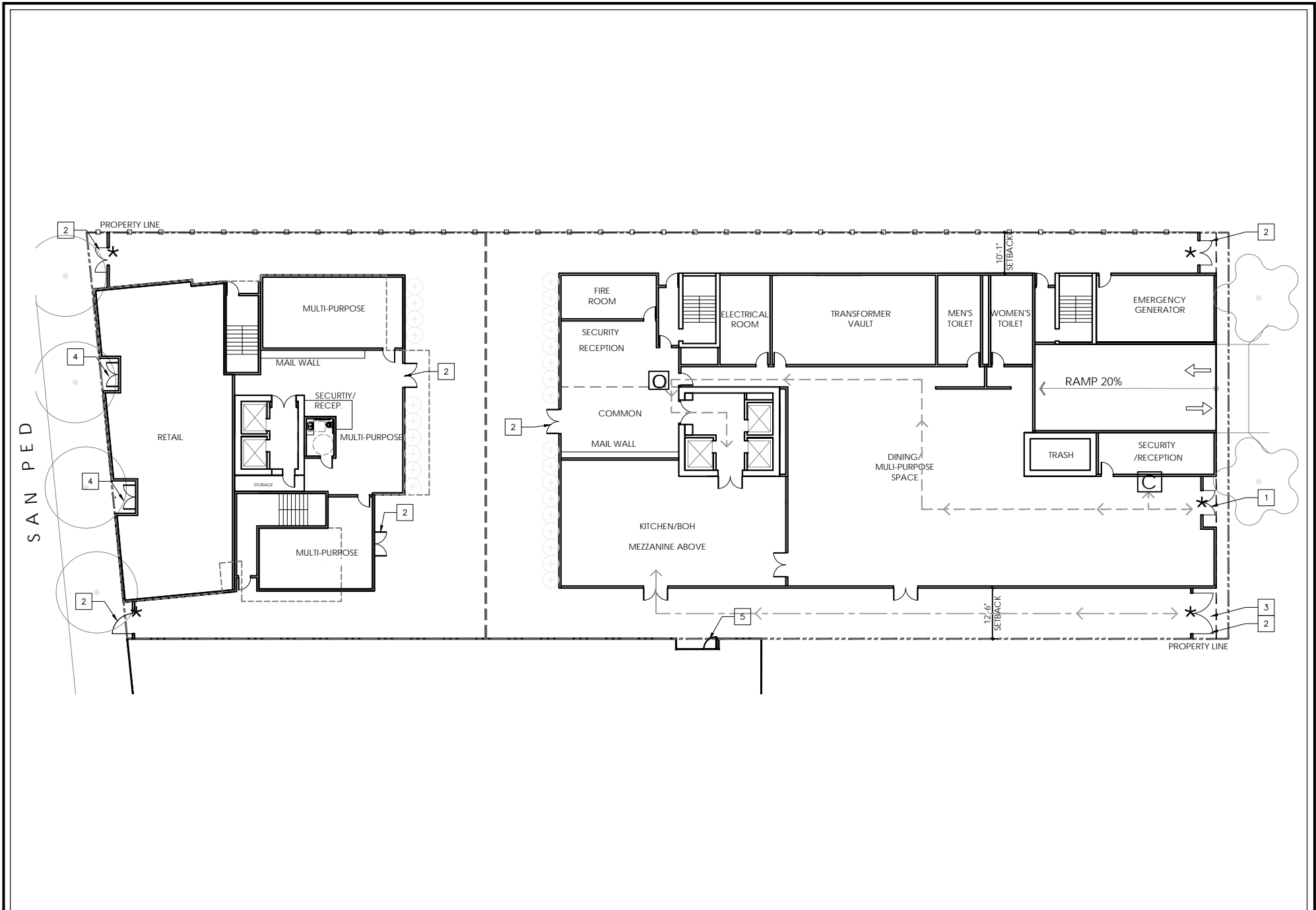


Figure 2-30
Access/Circulation Diagrams - Guest/Deliveries - Site 1

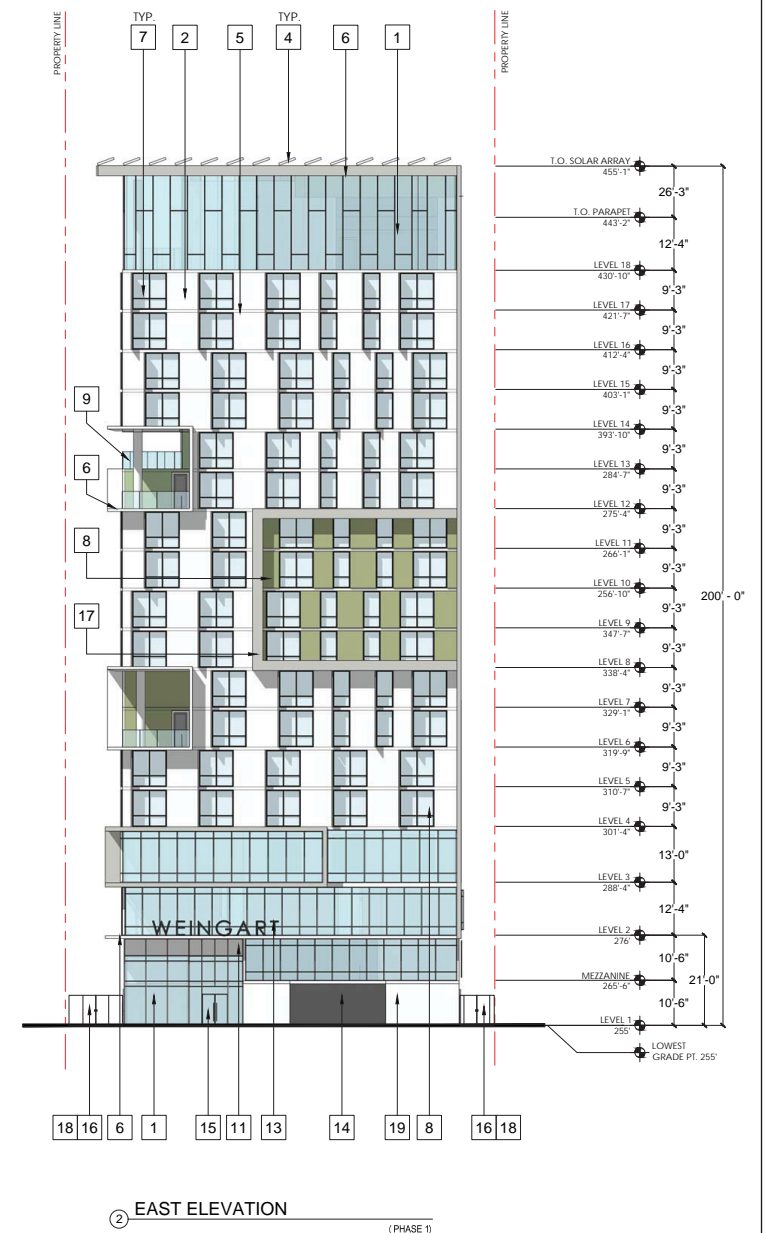
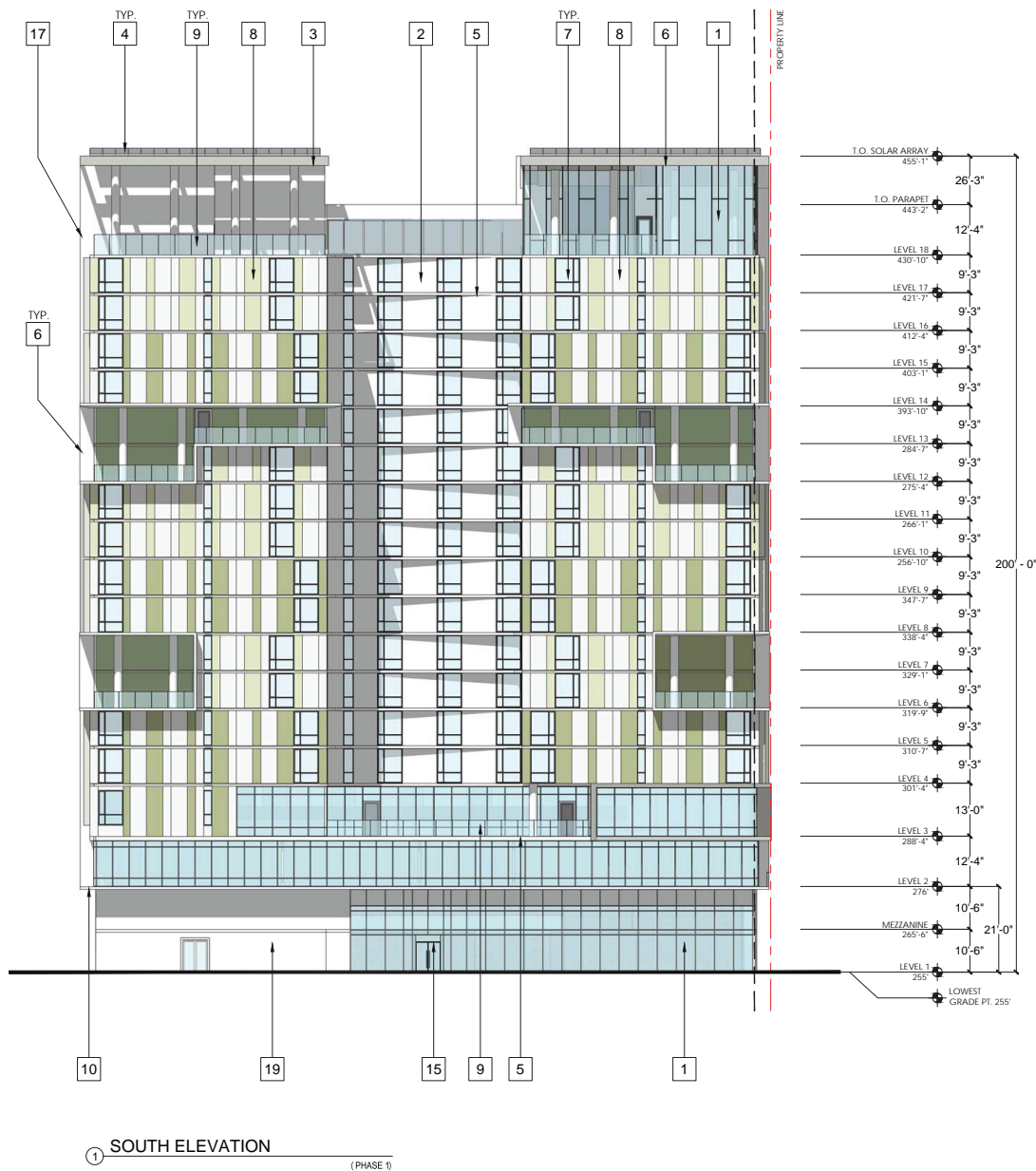
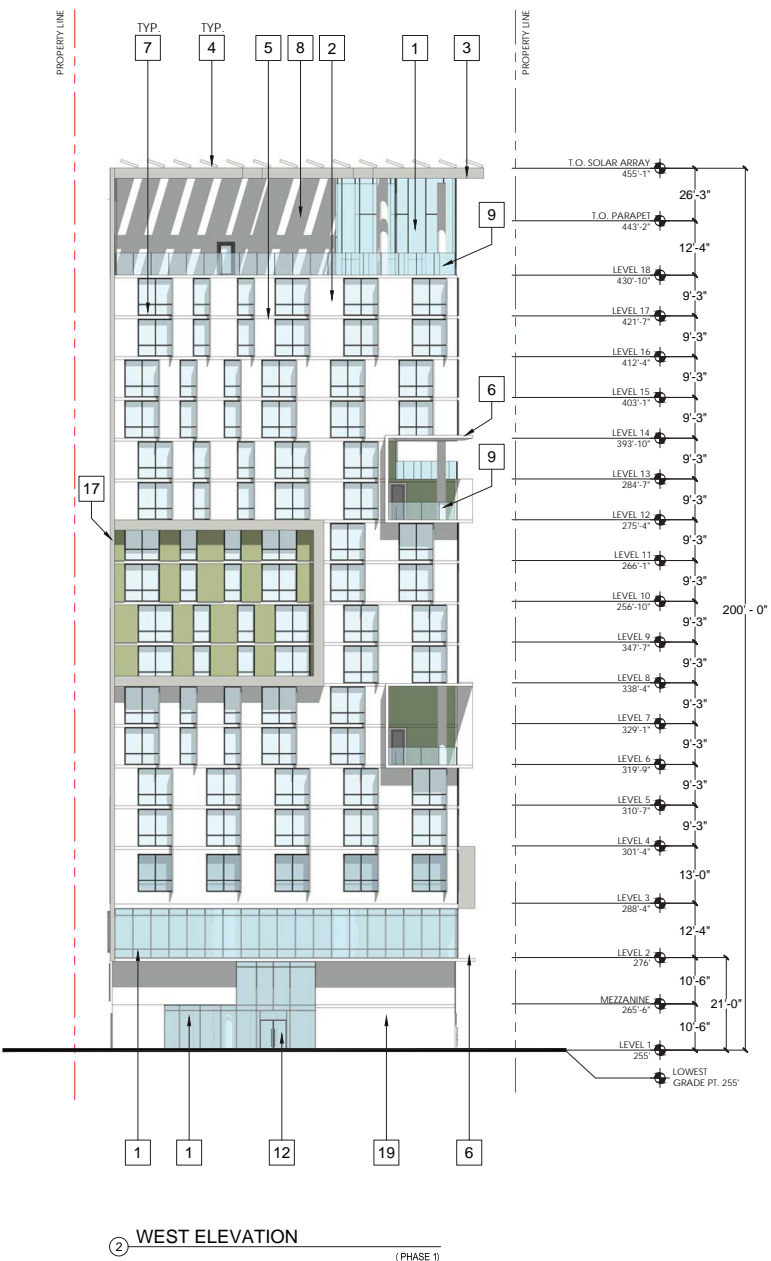


Figure 2-31
South and East Elevation (Phase 1) - Site 1



Source: JWDA Architecture, 2018.

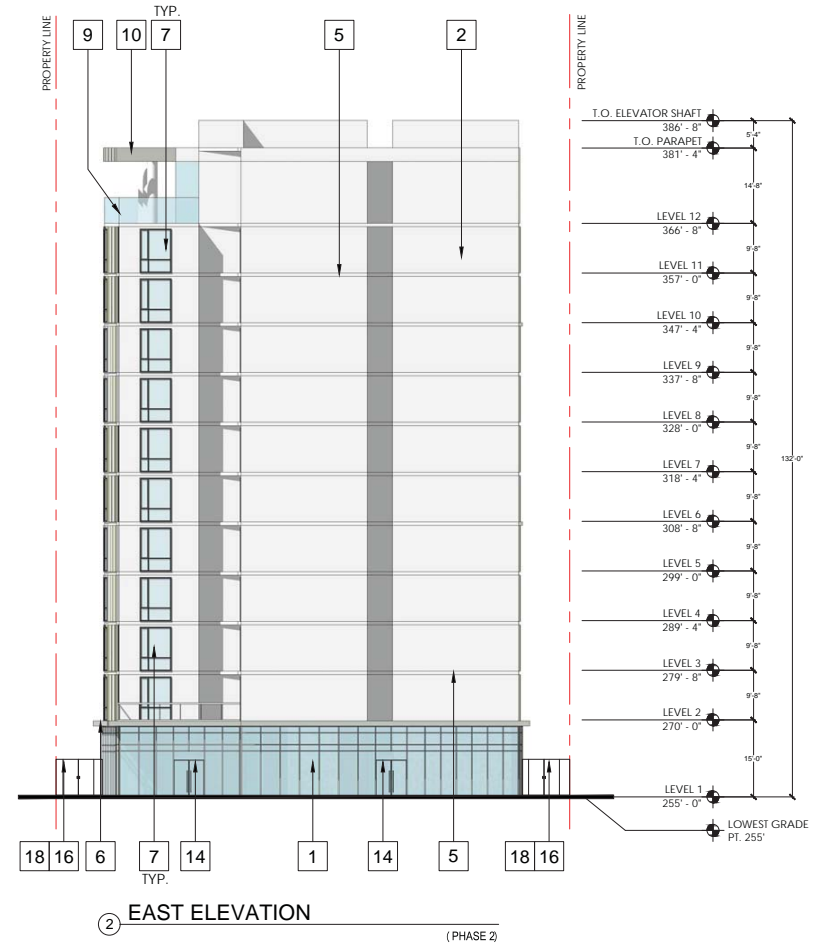


Figure 2-33
South and East Elevation (Phase 2) - Site 1

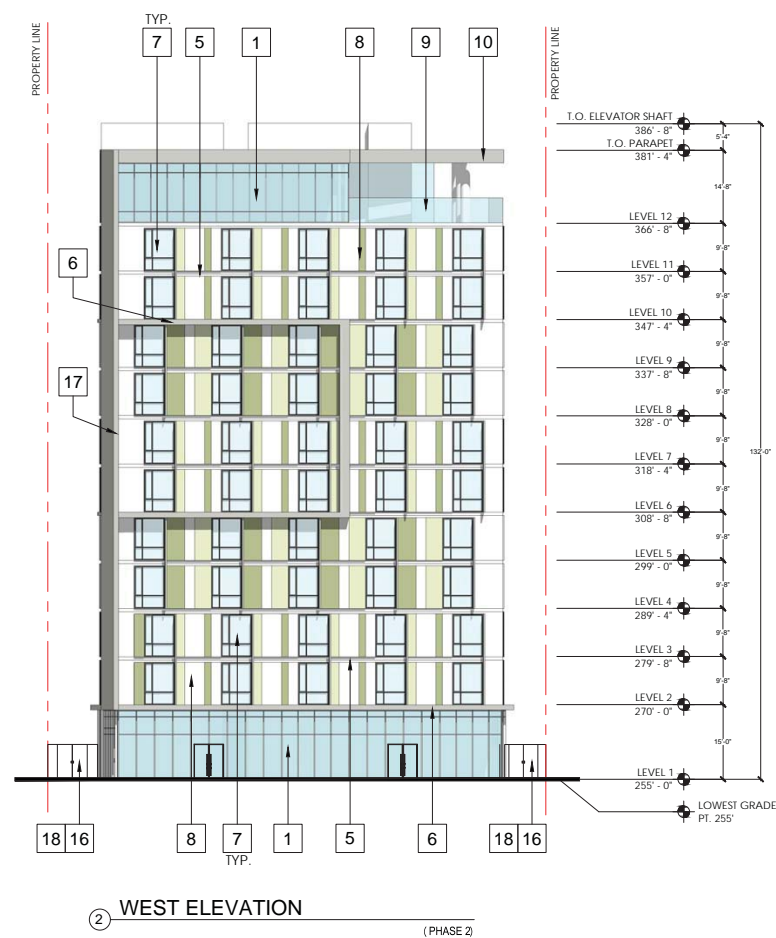
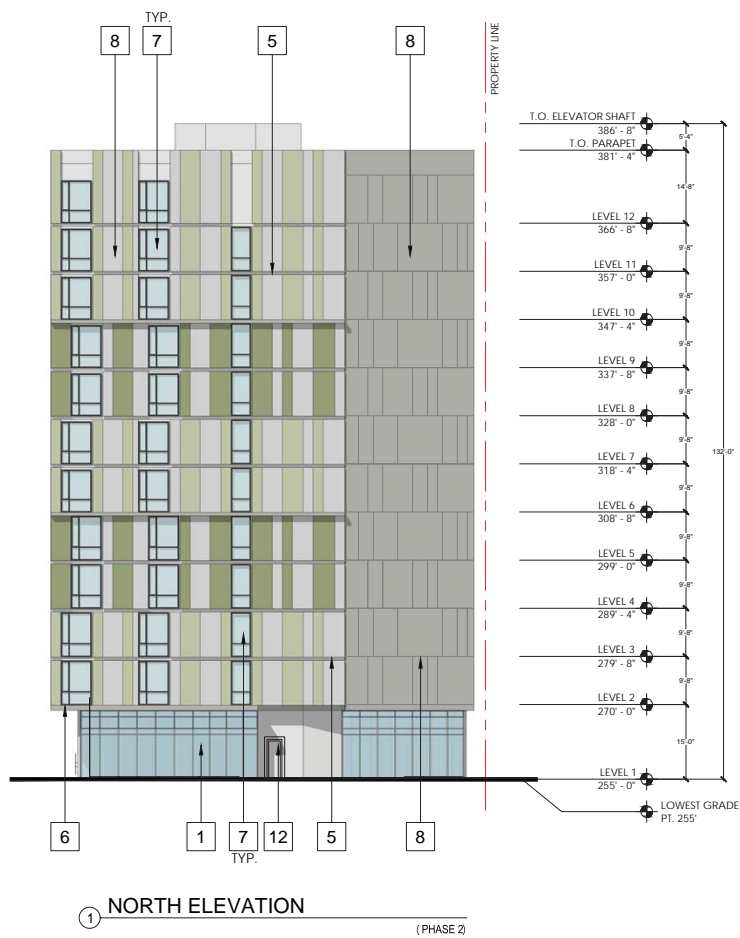


Figure 2-34
North and West Elevation (Phase 2) - Site 1

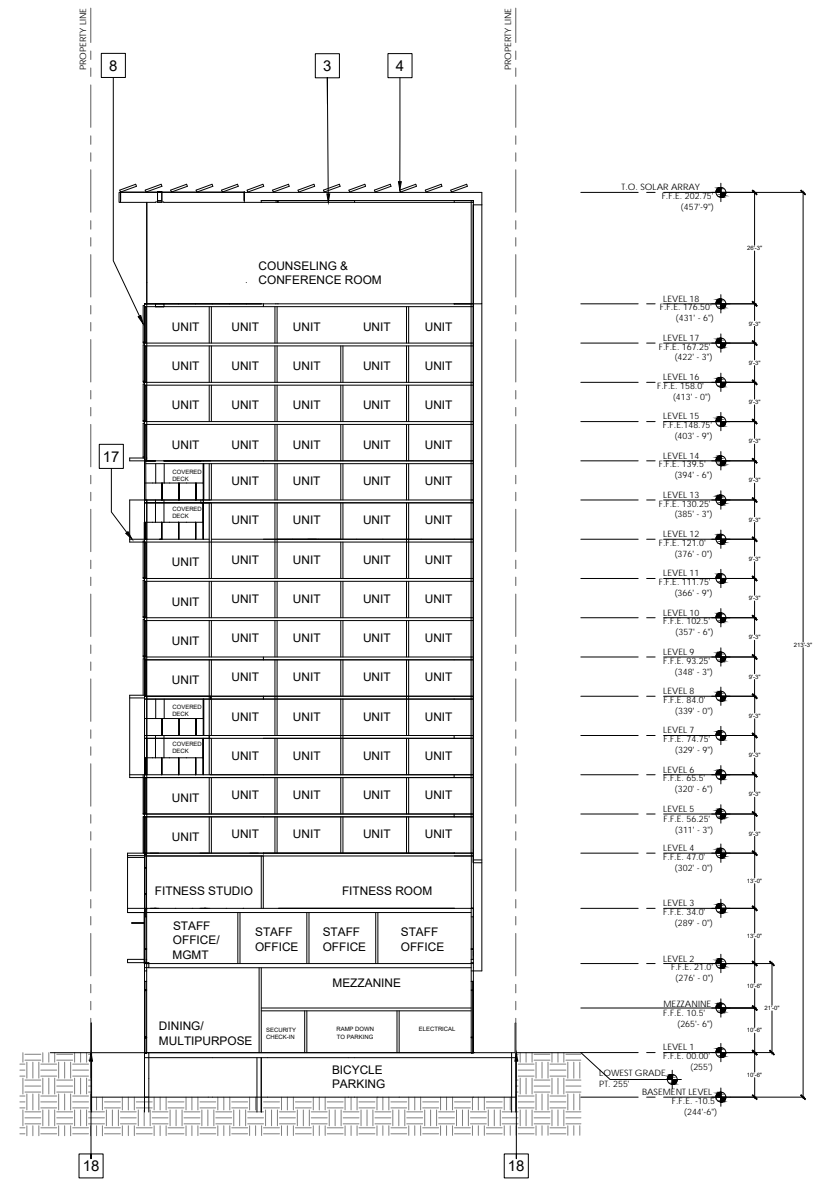
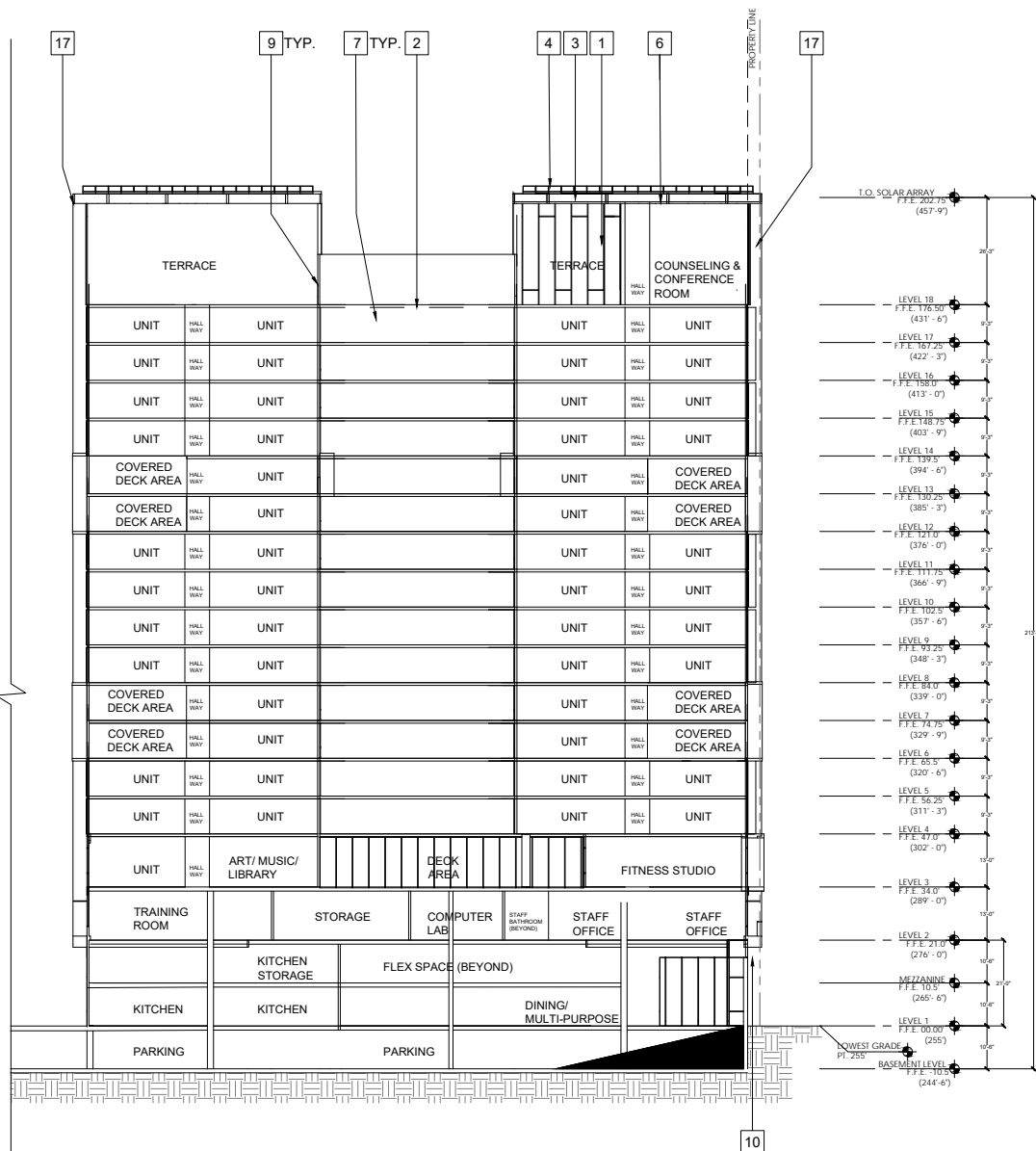
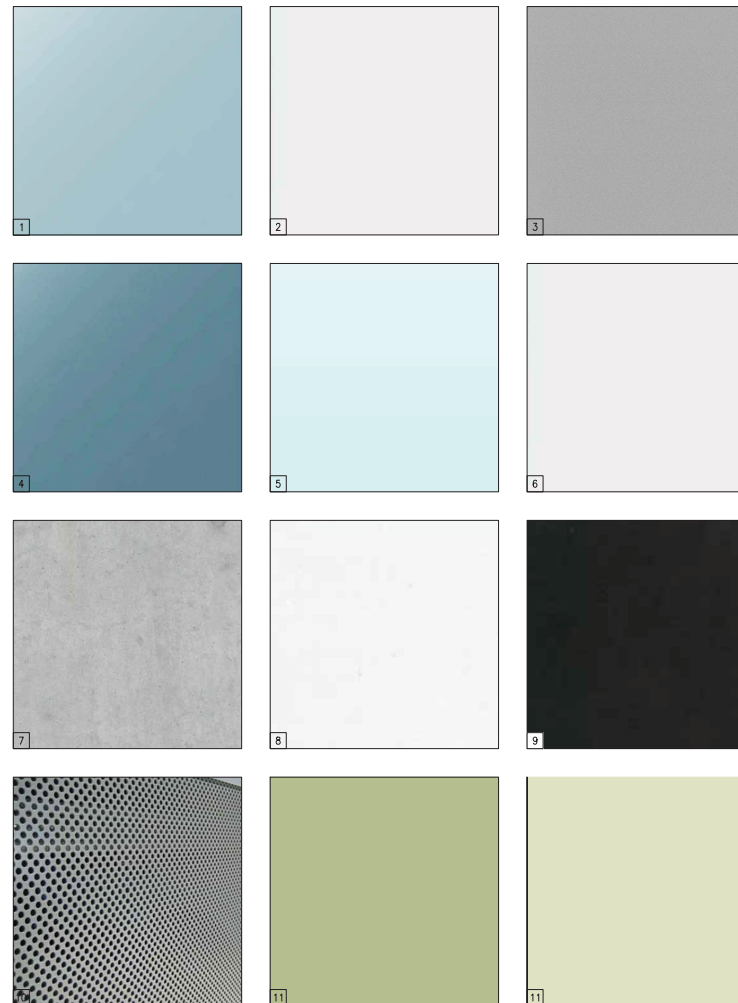


Figure 2-35
Section (Tower 1A) - Site 1



- BUILDING MATERIALS**
- 1 WINDOW WALL SYSTEM
 - 2 STOREFRONT GLAZING SYSTEM
 - 3 ALUMINUM MULLION
 - 4 SPANDREL GLASS
 - 5 GLASS BALCONY RAILING SYSTEM
 - 6 GLASS DOOR
 - 7 EXPOSED SLAB
 - 8 METAL COMPOSITE PANEL
 - 9 METAL CANOPY
 - 10 GARAGE DOOR
 - 11 ADDITIONAL PANEL COLORS

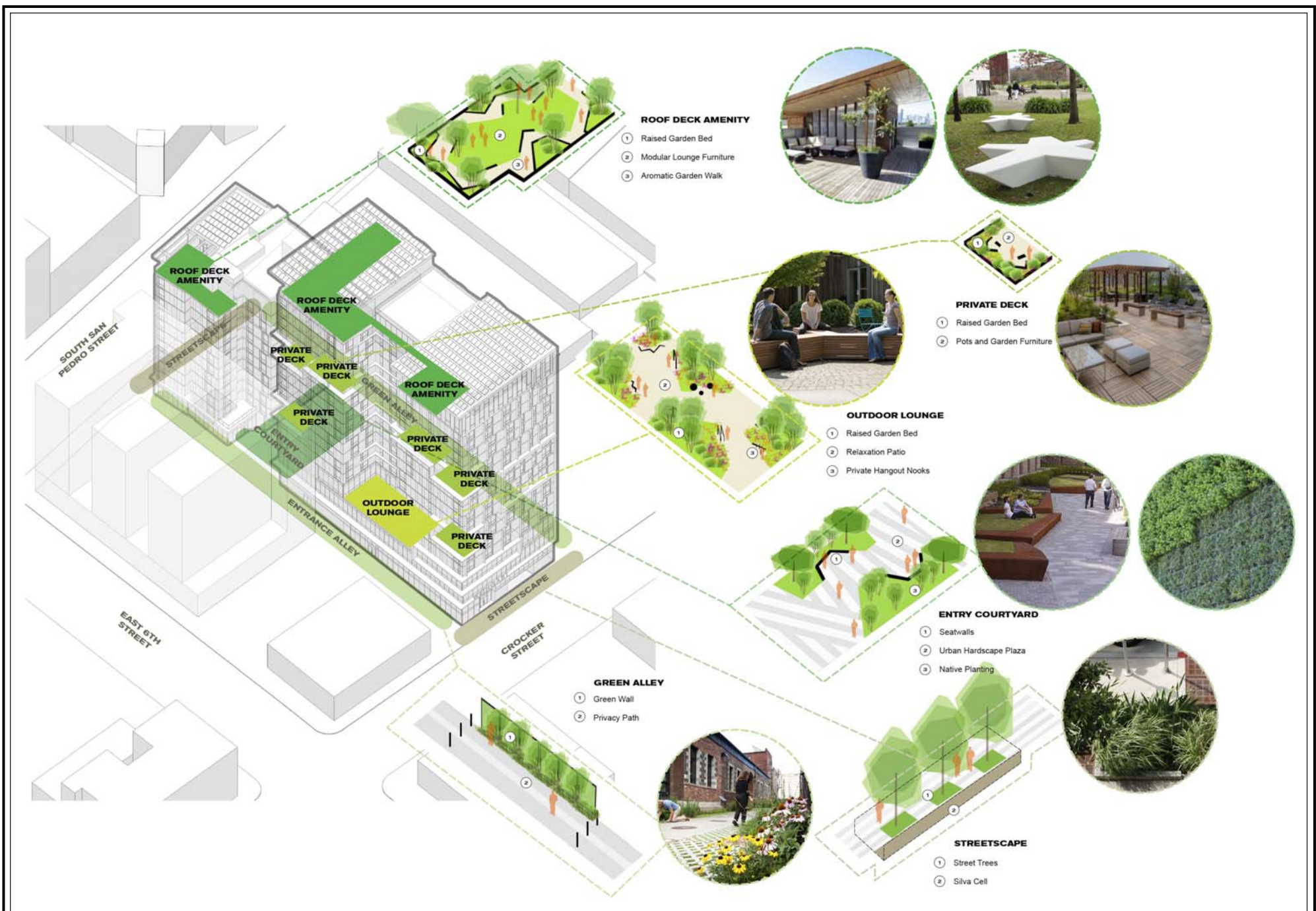
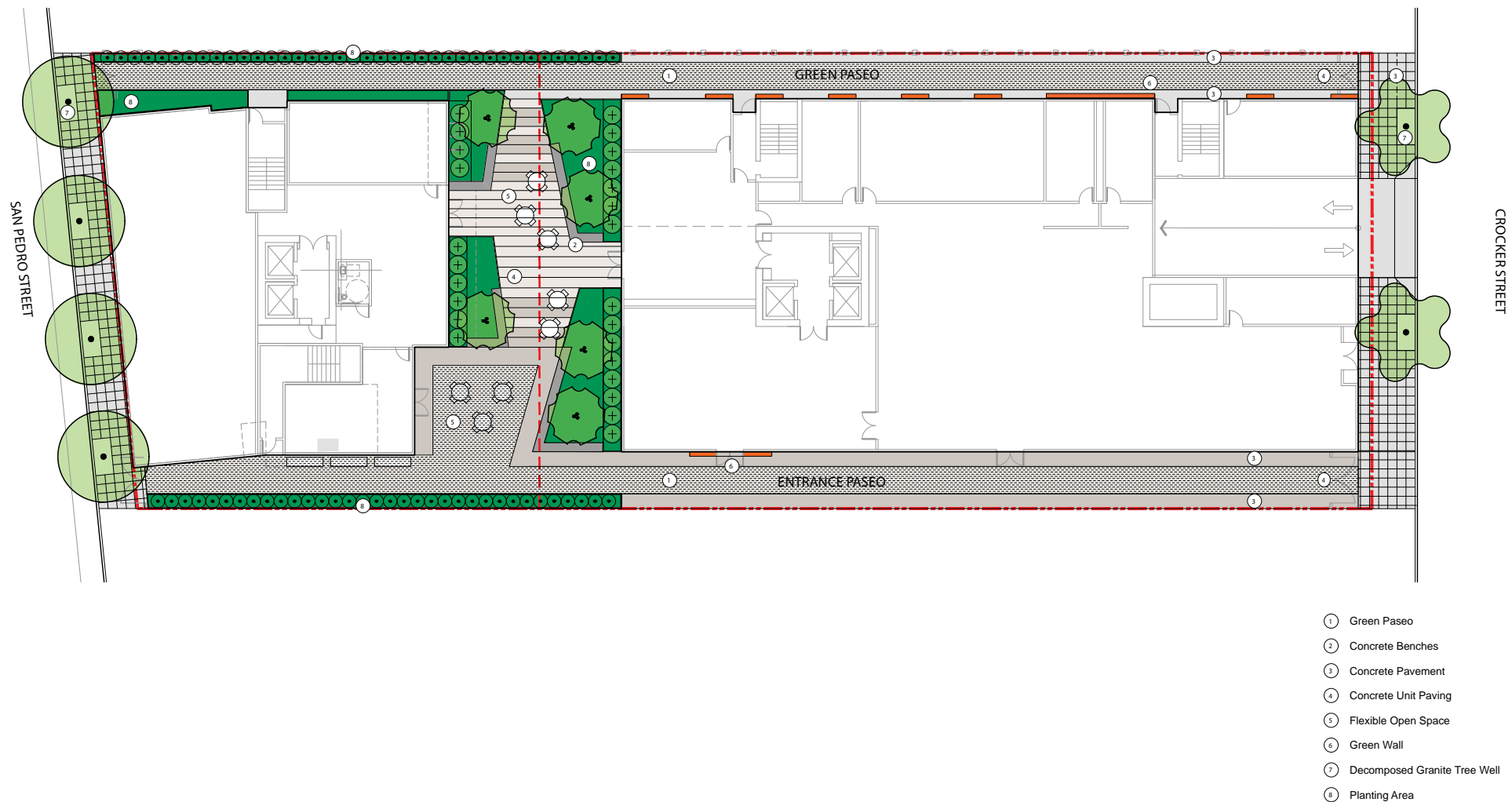
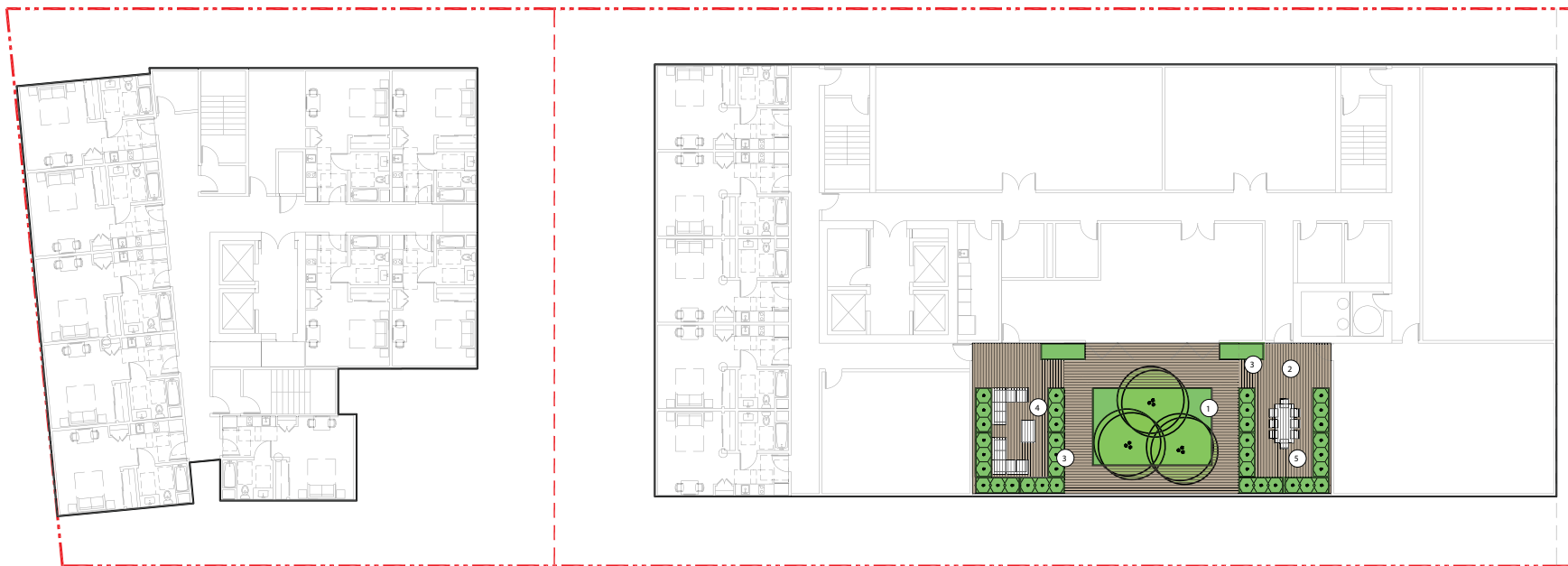


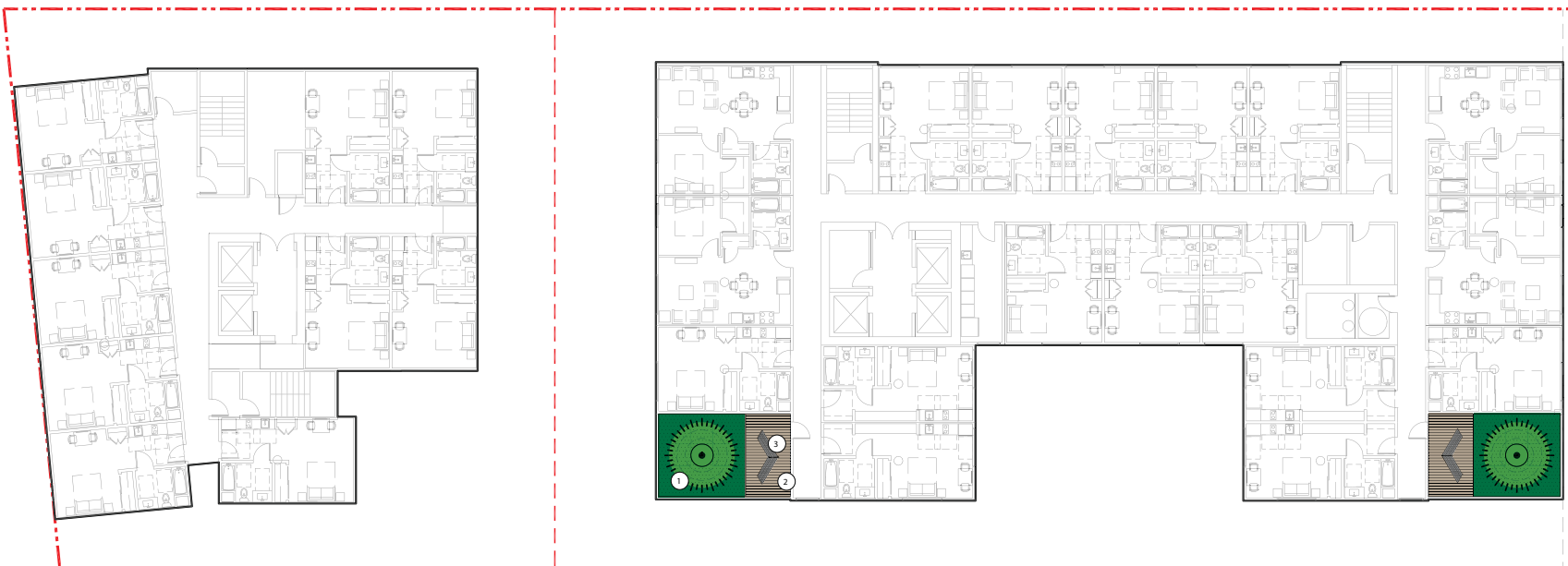
Figure 2-38
Conceptual Design Approach - Site 1





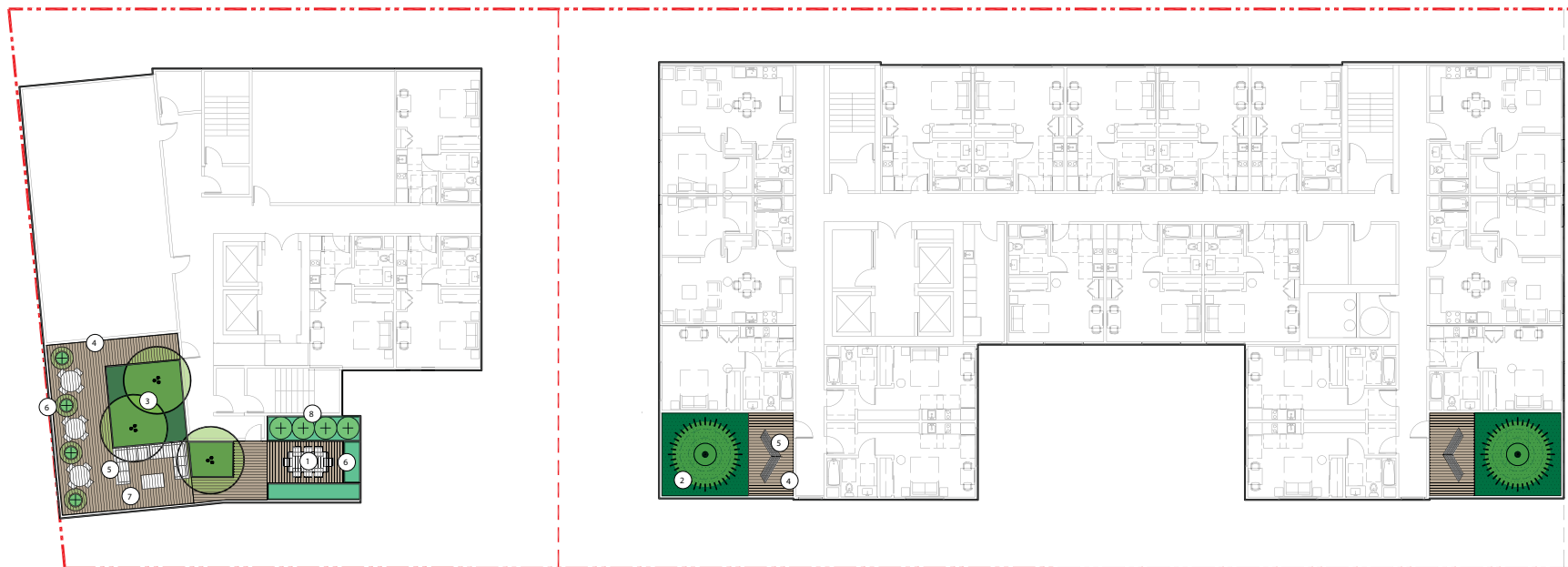
- ① Elevated Planting Area with Trees
- ② Wood Deck on Pedestal System
- ③ Modular Planter
- ④ Lounge Area
- ⑤ Communal Dining Area





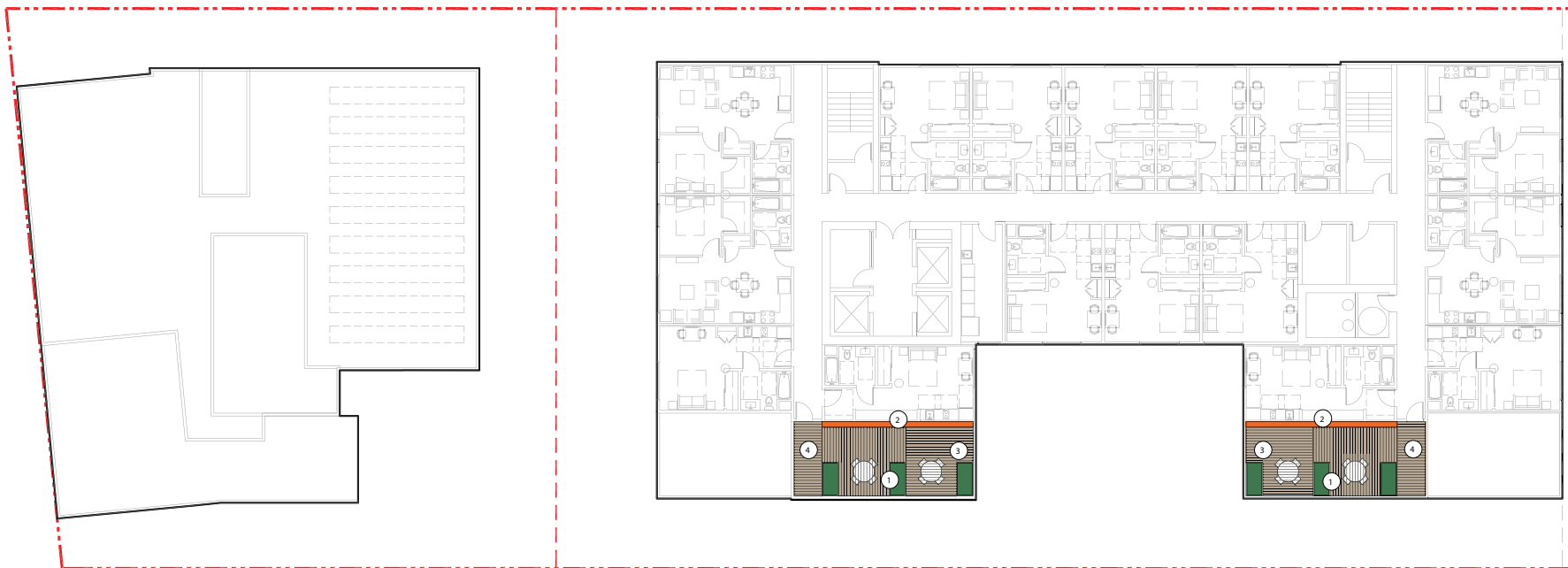
- ① Synthetic Turf Mound with 24\" Box Tree
- ② Wood Decking on Pedestal System
- ③ Modular Furniture





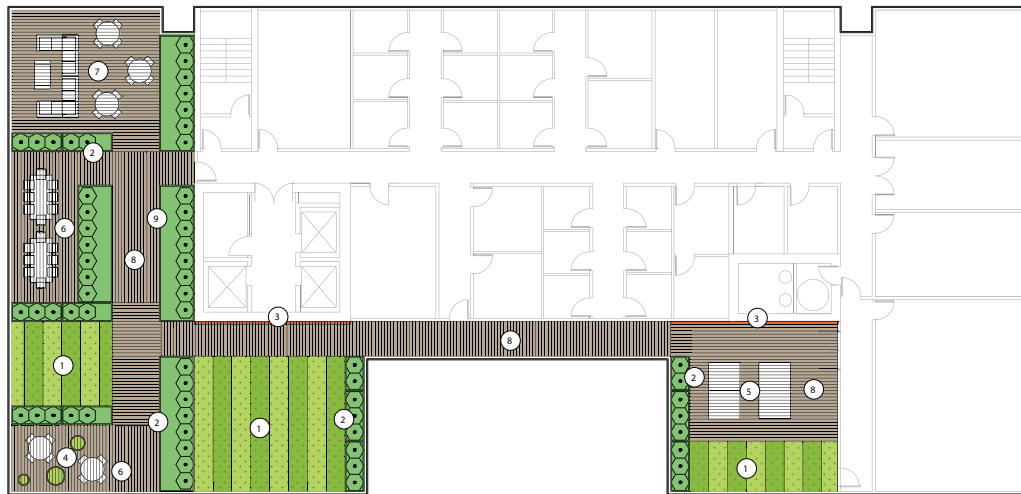
- ① Dining Area
- ② Synthetic Turf Mound with Tree
- ③ Elevated Planting Area
- ④ Wood Decking on Pedestal System
- ⑤ Modular Furniture
- ⑥ Modular Planter
- ⑦ Lounge Area
- ⑧ Hedge Row





- ① Modular Planters
- ② Green Wall
- ③ Lounge Area
- ④ Wood Decking on Pedestal





- ① Vegetated Green Roof
- ② Modular Planters
- ③ Green Wall
- ④ Planters
- ⑤ Gaming Area
- ⑥ Dining Area
- ⑦ Lounge Area
- ⑧ Wood Decking on Pedestals
- ⑨ Raised Planter

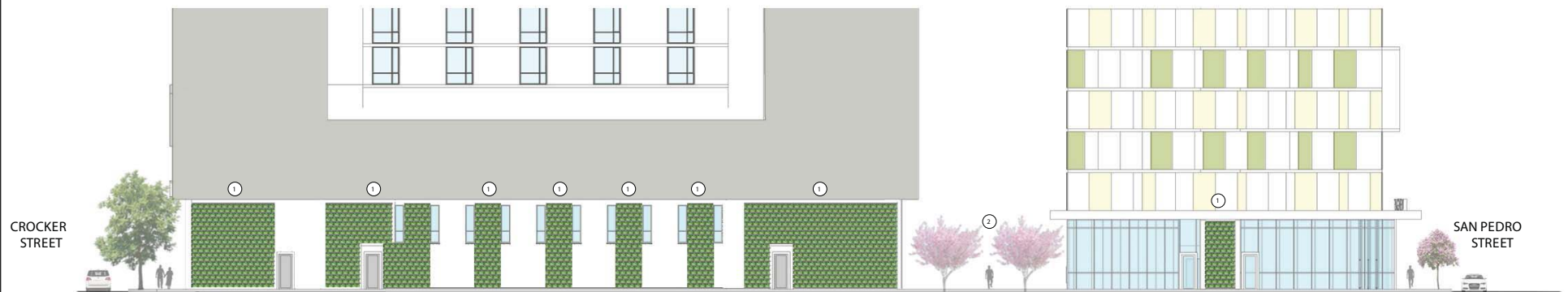


Figure 2-44
Conceptual Landscape Plan/Level 18 - Site 1

- ① STREET TREE
- ② HEDGE



- ① Green Wall
- ② Entry Courtyard



GREEN PASEO ELEVATION



ENTRANCE PASEO ELEVATION

**Table 2-3
Breakdown of Land Uses for Site 1
(Towers 1A and 1B Combined)**

Land Use	Size
Residential	
Efficiency Units	332 du
1-bedroom Units	50 du
<i>Total Residential</i>	<i>382 du (194,831 sf)</i>
Commercial Retail	2,250 sf
Philanthropic Institution ¹	25,493 sf
Open Space	26,060 sf ²
Parking Garage ³	27,700 sf
<i>du = dwelling unit(s) sf = square feet</i> ¹ <i>Some of the Philanthropic Institution square footage overlaps with Open Space footage. Refer to Appendix C.</i> ² <i>Note that this total amount of open space includes both indoor areas that are included in floor area calculations, and outdoor areas that are excluded. Refer to Table 2-5.</i> ³ <i>Parking areas are excluded from the City's definition of floor area.</i>	

(1) Tower 1A

Tower 1A would be 18 stories (200 feet in height) and would have a floor area of approximately 172,274 square feet. The tower would consist of a total of 278 dwelling units, with 275 units designated for Very-Low-Income households and 3 manager units.¹⁴ With the exception of the manager units, all units would Very-Low Income Households and would be set aside as affordable at 50 percent of the Area Median Income or less, based on affordability levels as set by the State of California Housing and Community Development Department. A maximum of 47 one-bedroom and 29 efficiency-sized units would be leased as affordable units. The three manager units would be one-bedroom in size. The remaining 213 efficiency units would be set aside for permanent supportive housing for formerly homeless residents. All units would be located on floors 3-17.

The building would provide three categories of amenity space: 1) philanthropic institution; 2) open space; and 3) resident serving community space. All of the philanthropic institution space (totaling 25,493 square feet) included as part of the Site 1 Project is located in Tower 1A and includes various support services located on the first, second, and third floors, as well as the mezzanine. The first floor includes 10,245 square feet of designated as a multi-purpose room, which will include a kitchen and may be used for dining.¹⁵ The mezzanine includes 5,440 square feet of multi-purpose space. The second floor includes

¹⁴ In accordance with LAMC Section 12.03, floor area is defined as “[t]he area in square feet confined within the exterior walls of a building, but not including the area of the following: exterior walls, stairways, shafts, rooms housing building-operating equipment or machinery, parking areas with associated driveways and ramps, space for the landing and storage of helicopters, and basement storage areas.”

¹⁵ The 10,245 square feet of philanthropic institution use on the first floor has been applied toward the open space requirements for Site 1.

approximately 8,180 square feet of support services, including counseling rooms, training rooms, offices, and common space (computer and multi-purpose rooms). The third level includes 5,850 square feet of supportive/common space that includes fitness rooms, a clubroom, a game room, a library/group space, and a covered terrace.

The open space provided in Tower 1A totals 20,195 square feet (of the total 26,060 square feet of open space provided for the Site 1 Project) and consists of (a) 9,800 square foot of recreational space, (b) exterior common open space of approximately 3,090 square feet, including an 1,800-square-foot courtyard on floor 1 and a 1,290-square-foot garden court on floor 3, and (c) covered decks, totaling approximately 7,305 square feet that would be provided on floors 3, 6-7, 12, 13, and 18.

Resident-serving community space is provided on Floor 18 and includes 4,815 square feet for offices (not included in philanthropic institution square footage), such as counseling rooms, staff training areas, and conference rooms.¹⁶

(2) Tower 1B

Tower 1B would be 12 stories (132 feet in height) and would have a floor area of approximately 50,300 square feet. The tower would consist of a total of 104 dwelling units with 103 units set aside for Very-Low-Income households and 1 manager unit. With the exception of the manager unit, all units would be Very-Low Income Households and would be set aside as affordable at 50 percent of the Area Median Income or less, based on affordability levels as set by the State of California Housing and Community Development Department. Of these units, a maximum of 14 efficiency-sized units would be leased as affordable family housing, and 103 efficiency units would be set aside for permanent supportive housing for formerly homeless residents. The manager's unit would be an efficiency unit. The ground floor level would include 2,250 square feet of commercial retail land uses, a 330-square-foot residential lobby, and a 1,415-square-foot multi-purpose room. Tower 1B would include approximately 3,380 square feet of exterior common open space, including a 2,260-square-foot courtyard on floor 1 and a 1,120-square-foot deck on floor 12. Floor 12 would also include a 1,070-square-foot resident-serving community space.

(3) Density and Floor Area

As discussed later in this section, the Project Applicant is requesting a General Plan Amendment to change the land use designation of Site 1 from Light Manufacturing to Regional Center Commercial and to amend Footnote No. 3 of the Community Plan. The Footnote limits the Floor Area Ratio (FAR) for Height Districts 3 and 4 to a 6:1 FAR unless a transfer of floor area is granted. In conjunction with the amendment, the Project Applicant is requesting a Zone and Height District Change from M2-2D (Light Industrial Zone, Height District 2, Development Limitation) to C2-4D (Commercial Zone, Height District 4, Development Limitation). These approvals would allow the proposed residential, commercial, and philanthropic institution uses to be developed at Site 1.

¹⁶ The resident-serving community space on Floor 18 is not included as part of the philanthropic institution uses, because the space will not be open to the residents of the Weingart Center. This space is accounted for as part of the residential floor area.

Site 1 is located within the boundaries of the Greater Downtown Housing Incentive Area. Pursuant to LAMC Section 12.22 C.3 (*Incentives to Produce Housing in Greater Downtown Housing Incentive Area*), projects located within the R4, RAS4, R5, CR, C2, C4, and C5 Zones are not subject to the lot area provisions of the zone. As such, if the requested zone change is approved, the residential density for the Project is unlimited in so much as it is not subject to the minimum lot area per dwelling unit calculations of the requested C2 Zone and would only be limited by the maximum floor area permitted on the site. Additionally, LAMC Section 12.22 C.3(b) permits buildable area to be the same as lot area. The requested General Plan Amendment to Regional Commercial and the Zone/Height District Change to C2-4D would establish a base FAR of 6:1 in accordance with Footnote 3 of the Central City Community Plan's land use map. In conjunction with the requested General Plan Amendment and Zone/Height District Change, and pursuant to LAMC Section 11.5.11 (e), an incentive pursuant to California Government Code 65915(k) is being requested to exceed the 6:1 FAR by 35 percent, thereby allowing for up to 223,608 square feet of floor area and an 8.1:1 FAR. The development of Site 1 would include 222,574 square feet of floor area at a FAR of 8.1:1 in accordance with the requested entitlements.

(4) Parking

Vehicle parking for both Towers 1A and 1B on Site 1 would be provided within a subterranean parking garage and would include 32 vehicle parking spaces. Of the 32 vehicular parking spaces, four spaces would be provided for the dwelling units designated as manager's units and 28 vehicular parking spaces would be designated for the philanthropic institution uses and two (2) spaces for the retail space. The number of parking spaces is consistent with the number of parking spaces required for affordable housing projects located within the Greater Downtown Housing Incentive Area. A discussion of the number of parking spaces required and provided for the Site 1 Project is provided below.

The Site 1 Project proposes to construct 382 residential dwelling units with less than three habitable rooms.¹⁷ Based on the parking requirements outlined in LAMC Section 12.21.A.4 (p), 382 parking spaces would typically be required for the residential component of the Site 1 Project. Affordable housing projects located within the Greater Downtown Housing Incentive Area that comply with the minimum Restricted Affordable set aside required per LAMC Section 12.22 A,29 are not required to provide parking spaces for dwelling units that are set aside for households that earn less than 50 percent of the area medium income (LAMC Section 12.22 A,29(c)(3)). Pursuant to LAMC Section 12.22 A,29(c)(4), no more than one parking space would be required for all other dwelling units. Pursuant to the LAMC Section 11.5.11(e) and California Government Code 65915(k), the Project Applicant is requesting that zero parking spaces be required for units set-aside for households that earn less than 50 percent of the Area Median Income as determined by the State of California Housing and Community Development

¹⁷ LAMC Section 12.03 defines a Room, Habitable, as an "enclosed subdivision in a residential building commonly used for living purposes, but not including any lobby, hall, closet, storage space, water closet, bath, toilet, slop sink, general utility room or service porch... For purposes of calculating automobile parking space requirements of this article, any kitchen as defined herein shall be considered a habitable room and, if it is a part of a room designed for other than food preparation or eating purposes, such remaining portion shall also be considered a habitable room."

Department and that no more than one parking space be required for all other dwelling units, consistent with the Greater Downtown Housing Incentive Area parking regulations pursuant to LAMC 12.22 A,29(c)(3) and (4). With the approval of the requested incentives, the Project would be required zero parking spaces for the 378 dwelling units proposed to be designated restricted affordable for Very Low Income Households and four parking spaces for the dwelling units designated as manager's units. Vehicle parking for the philanthropic institution portion of the Site 1 development is calculated pursuant to LAMC Section 12.21.A.4(i)(2) at a rate of one parking space per 1,000 square feet, for a total of approximately 26 vehicle parking spaces. Vehicle parking for the retail portion of the Site 1 development is required pursuant to LAMC Section 12.21.A.4(i), which requires parking at a rate of one parking space per 1,000 square feet of commercial uses having a floor area of 7,500 or more, for a total of 2 vehicle parking spaces.¹⁸

Additionally, in accordance with the updated Bicycle Parking Ordinance (Ordinance 185,480), the Site 1 Project would be required to provide 229 long-term and 29 short-term bicycle parking spaces for a total of 258 spaces (refer to Table 2-4).¹⁹ The Site 1 Project would meet the short-term bicycle parking requirements and would exceed the long-term bicycle parking requirements by 25 spaces.

Table 2-4
Bicycle Parking – Site 1

Use	Dwelling Units This Tier or sf	Rates	Short-Term Spaces	Long-Term Spaces	Total
Residential					
Tier 1-25	50 du	1 space/10 du (short-term) 1 space/1 du (long-term)	6	50	56
Tier 26-100	150 du	1 space/15 du (short-term) 1 space/1.5 du (long-term)	10	100	110
Tier 101-200	104 du	1 space/20 du (short-term) 1 space/2 du (long-term)	6	52	58
Tier 201+	78	1 space/40 du (short-term) 1 space/4 du (long-term)	2	20	22
<i>Total Residential Bicycle Parking Spaces</i>			<i>24</i>	<i>222</i>	<i>246</i>
Non-residential					
Philanthropic Institution	25,493 sf	1 space/10,000 sf (short-term) 1 space/5,000 sf (long-term)	3	5	8
Commercial Retail	2,250 sf	1 space/2,000 sf (short-term) 1 space/2,000 sf (long-term)	2	2	4
<i>Total Non-residential Bicycle Parking Spaces</i>			<i>5</i>	<i>7</i>	<i>12</i>
Total Required			29	229	258
Bicycle Parking Provided			29	262	291
<i>du = dwelling unit sf = square feet</i>					

¹⁸ For the purposes of calculating the cumulative total commercial floor area, philanthropic institution uses were conservatively counted towards the 7,500-square-foot threshold for commercial parking pursuant to LAMC Section 12.21.A.4(i)

¹⁹ The bicycle parking for the Project would be provided in accordance with the updated Bicycle Parking Ordinance (Ordinance No. 185,480).

(5) *Open Space and Landscaping*

As shown on Table 2-3, all 382 dwelling units would be efficiency or one-bedroom units, which have fewer than three habitable rooms, for which the LAMC Section 12.21 G (*Open Space Requirement for Six or More Residential Units*) would require 100 square feet of open space per dwelling unit.²⁰ Based on this standard, the Site 1 Project would be required to provide 38,200 square feet of open space and 96 on-site trees. Affordable housing projects located within the Greater Downtown Housing Incentive Area that comply with the minimum Restricted Affordable set aside required per LAMC Section 12.22 A,29, open space requirements are reduced by half that which would be required pursuant to LAMC Section 12.21 G. Pursuant to LAMC Section 11.5.11(e) and California Government Code 65915(k), the Project Applicant is requesting to provide 26,060 square feet of open space and to permit outdoor open space to be covered and interior common open space to exceed 25 percent of the total required usable open space, and 48 on-site trees. The requested reduction would be consistent with the regulations of the Greater Downtown Housing Incentive Area, pursuant to LAMC Section 12.22 A,29(c)(2). As proposed, Site 1 open space would include: 6,470 square feet of exterior common open space, 12,285 square feet of interior common area, and 7,305 square feet of covered (not open to the sky) exterior decks used as common area, as shown on Table 2-5.

Landscape design is an important feature of the open space for Site 1. The residential landscaped areas include the ground floor open space, courtyard spaces in Tower 1A on the 3rd, 6th, 7th, 12th, and 13th floors, as well as roof terraces on the 18th floor and the 12th floor of Tower 1B. The ground floor open space would be accessible through two paseos (refer to Figures 2-31 and 2-32) located along the northern and southern edge of Site 1. The northern paseo would function consistent with the vision of the pedestrian paseos discussed in the City's Downtown Design Guide in that it would only be for pedestrian access to the buildings and to provide pedestrian access from Crocker Street to South San Pedro Street. The southern paseo would be designed with enhanced hardscape and limited planting areas to accommodate pedestrian access and limited vehicular access. The upper level courtyard spaces would be accessible to residents via the shared building interior corridors. A portion of the roof terrace on the 18th floor of Tower 1A may contain green roof areas that would be inaccessible except for maintenance activities. Frontage along both South San Pedro and South Crocker Streets would be landscaped with street trees and associated planters.

²⁰ LAMC Section 12.03 defines a Room, Habitable, as an "enclosed subdivision in a residential building commonly used for living purposes, but not including any lobby, hall, closet, storage space, water closet, bath, toilet, slop sink, general utility room or service porch... For purposes of applying the open space requirements of Section 12.21 G., a kitchen as defined herein shall not be considered a habitable room."

**Table 2-5
Common Open Space Components for Site 1 Development**

Common Open Space Component	Size
<i>Tower 1A</i>	
<i>Exterior Open Space (Open to Sky)</i>	
Level 1 Courtyard	1,800 sf
Level 3 Garden Court	<u>1,290 sf</u>
<i>Subtotal</i>	<i>3,090 sf</i>
<i>Exterior Open Space (Not Open to Sky)</i>	
Level 3	445 sf
Levels 6 & 7	1,400 sf
Level 12	700 sf
Level 13	850 sf
Level 18	<u>3,910 sf</u>
<i>Subtotal</i>	<i>7,305 sf</i>
<i>Interior Recreation Room</i>	4,395 sf
Level 1	<u>5,405 sf</u>
Level 3	9,800 sf
<i>Subtotal</i>	
<i>Total Tower 1A</i>	<i>20,195 sf</i>
<i>Tower 1B</i>	
<i>Exterior Open Space (Open to Sky)</i>	
Level 1 Courtyard	2,260 sf
Level 12 Open Deck	<u>1,120 sf</u>
<i>Subtotal</i>	<i>3,380 sf</i>
<i>Interior Recreation Room</i>	
Level 1	1,415 sf
Level 12	<u>1,070 sf</u>
<i>Subtotal</i>	<i>2,485 sf</i>
<i>Total Tower 1B</i>	<i>5,865 sf</i>
Total	26,060 sf¹
<i>sf = square feet</i> ¹ <i>As noted previously, the City could require an additional 1-foot dedication along Crocker Street. This additional dedication would reduce the amount of open space provided on Site 1 by 100 square feet.</i>	

The landscaped areas would be designed for aesthetics, water conservation, and livability within the requirements and guidelines established by the City. The planting palette throughout the site would comprise vibrantly colored and aromatic plants – the majority of which would be drought tolerant. The plant selections and irrigation would be designed to meet all water efficient landscape requirements. A weather-based controller would regulate the automatic drip irrigation system in all of the planting areas within the site. The seating areas would include flexible furnishings that allow the spaces to comfortably seat groups of different sizes. All areas of open space and proposed trees within the site would be

designed to meet the City's Landscape Ordinance Guidelines, as well as applicable requirements of the City's Department of Building and Safety.

The ground floor would include flexible open space surrounded with planting areas. Seat walls and site furniture that meet the Americans with Disabilities Act (ADA) standards would be provided for communal gatherings of different sizes. Planters would be included with shade tolerant trees, shrubs, and ground cover. Landscaping also would be used as an inviting way-finding feature along the paseos and would include shade tolerant hedges as well as wall-mounted green wall modules lining the pedestrian accessible portions of the site. Paving throughout the site would be selected in accordance to the Los Angeles Green Building and Department of Building and Safety requirements.

Streetscape planting on South San Pedro Street and South Crocker Street would be designed to provide maximum tree shade coverage in coordination with and approval by the City's Bureau of Engineering and Urban Forestry Divisions.

The various courtyards in Tower 1A have each been designed to offer outdoor spaces that residents would find restful and inviting. The 3rd floor courtyard includes elevated planting areas and modular planters that define communal outdoor rooms for different activities. Seating would include a lounge area and dining area. The 6th, 7th, and 12th floor courtyards would include areas for communal seating and would include synthetic turf mounds for informal seating. The 13th floor courtyard would consist of modular planters separating smaller private lounge areas intended for smaller groups seeking privacy and as study room.

The 12th floor roof terrace on Tower 1B would have a communal deck space facing South San Pedro Street for residents to enjoy the expansive views of Downtown Los Angeles. Modular planters would separate communal spaces that would be furnished to accommodate outdoor dining and lounging.

The 18th floor roof terrace on Tower 1A provides spaces for outdoor gaming such as table tennis and may include a large area green roof planting to frame shared and private spaces of different sizes in combination with raised modular planters.

At a rate of 1 tree per 4 units, 96 trees would be required for the Site 1 Project pursuant to the open space provisions of LAMC Section 12.21 G. As noted above, pursuant to LAMC Section 11.5.11 (e) and California Government Code 65915(k), the Project Applicant is requesting an open space incentive to allow the provision of 48 trees for Site 1. In addition, the Project Applicant proposes to remove 2 street trees located on South San Pedro Street, adjacent to Site 1, in front of 554 South San Pedro Street. The removal of these two street trees would be replaced as required by the City with four 24-inch box size trees (species identified by the City's Urban Forestry Division) planted in public right-of-way adjacent to the site at a 2:1 ratio. These four street trees are not part of the 48 on-site trees triggered by the LAMC Open Space requirement but would offset the loss of the 2 street trees.

(6) *Architecture and Design*

The two towers on Site 1 are designed to integrate simplicity with a high-quality design to add to the urban fabric of the Skid Row area. Durable and high-quality concrete, metal, and glass are interwoven into the architecture of the building to create a relaxed modern elegance. The towers are segmented into

top, middle, and base portions to help break up the massing of the buildings. The bases of the buildings have been designed to have transparent ground floors with floor-to-ceiling storefront windows. The intent is to create a more activated street frontage, allowing for a better pedestrian experience. The higher ceiling heights and storefront window system creates a transition for an appropriate pedestrian scale. The entries to all buildings have been inset to create a break in the front building façade and add an element of interest. The middle portion of the buildings highlights the use of concrete and metal panels creating changes in the horizontal and vertical plane. Variations of green are introduced to create a complex pattern on the facades. Metal trim is used to add depth and to accentuate the cutout portions for the courtyards. The combination of the materials and their placement allows for interesting shadow lines to be produced. Lastly, the top portions of the buildings use a trellis system over the open space and a window wall system to create a lighter feel to the upper portion of the towers.

While no setbacks are required within the Greater Downtown Housing Incentive Area, apart from those required by the Downtown Design Guide, the floor plates of the towers on Site 1 have been set back from the neighboring property lines. The setback allows for pedestrian and limited vehicular access along the proposed paseos from Crocker Street from an existing curb cut and to minimize impacts on the adjacent neighbors. The setback breaks up the front façade on both South San Pedro and South Crocker Streets, giving a bit of relief to the neighboring buildings. As is permitted by the requested zoning change, the building would observe a zero-foot setback from the property line along South San Pedro Street and would also observe a zero-foot setback from the property line along South Crocker Street after a three-foot dedication to the City.²¹

(7) Transformer Relocation

There are two electrical transformers currently located on Site 1 that service the existing Weingart Center Association building to the south of Site 1 and the food service building on Site 1. To accommodate the construction of the Site 1 Project, the two transformers and related equipment would be relocated to the southwest corner of the Weingart Center Association building in a courtyard abutting 6th Street. Figure 2-47 depicts the proposed location of the two transformers. The other transformer would be temporarily installed in the courtyard to provide power for Site 1 construction and would be removed upon completion of the construction. The details for this installation would be determined by LADWP. In order to install the transformers, the existing, later addition block wall adjacent to East 6th Street would need to be removed. In addition, 27 trees are located in the courtyard, and some or all of the trees would be removed to allow for the transformer relocation. Any trees removed would be replaced on a 2:1 basis in accordance with the requirements of the Bureau of Street Services, Urban Forestry Division. Conduit lines would be installed below grade. Underground pull stations (UGPS) and pull boxes associated with the transformers have a small footprint and would be installed above grade adjacent to the existing building. A generator currently installed at the same location as the transformers on Site 1 would be relocated to the roof of the Weingart Center Association building.

²¹ *It is possible that the City could require an additional 1-foot dedication. Any additional dedication would reduce the overall amount of open space on Site 1 but would not change the overall development footprint analyzed in this SCEA, and no additional or increase environmental impacts would occur as a result.*

CONTRACTOR NOTES

1. CALL "UNDERGROUND SERVICE ALERT" AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION. EVEN THOUGH EXISTING FACILITIES ARE MARKED BY DRY UTILITY REPRESENTATIVES, CONTRACTOR IS RESPONSIBLE FOR EXPOSING AND PROTECTING-IN-PLACE THOSE FACILITIES.
2. PRE-TRENCH MEETING: CONTRACTOR IS TO COORDINATE WITH DRY UTILITY CONSULTANT NOTIFICATION TO UTILITY INSPECTORS A MINIMUM OF TWO (2) WEEKS PRIOR TO PRE-TRENCH MEETING. PRE-TRENCH MEETING SHALL NOT BE LESS THAN (2) DAYS BEFORE TRENCHING.
3. NOTIFY CITY INSPECTOR 48 HOURS PRIOR TO CONSTRUCTION.
4. CONTRACTOR IS TO REFER TO CIVIL DRAWINGS FOR ALL EXISTING & PROPOSED FACILITIES, (BOTH ABOVE GROUND AND BELOW GROUND).
5. THIS PLAN IS FOR BIDDING AND PERMITTING PURPOSES ONLY. ACTUAL CONSTRUCTION DOCUMENTS WILL BE PROVIDED BY EACH DRY UTILITY AGENCY UNLESS NOTED OTHERWISE HEREON. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF EACH DRY UTILITY SYSTEM IN ACCORDANCE WITH EACH DRY UTILITY AGENCY'S SPECIFICATIONS, POLICIES AND PRACTICES OF WHICH THE CONTRACTOR IS TO BE THOROUGHLY FAMILIAR.
6. WHEN GAS IS TO BE INSTALLED WITH OTHER DRY UTILITIES, CONTRACTOR WILL BE RESPONSIBLE FOR SAND SHADING AND PROPER SEPARATION FROM THE OTHER UTILITIES. CONTRACTOR SHOULD NOTE THAT THE GAS PIPELINE CHANGES DIRECTION AT SHARP ANGLES, NOT ON A RADIUS LIKE THE OTHER DRY UTILITIES. CONTRACTOR WILL BE RESPONSIBLE FOR THE EXCAVATION NECESSARY FOR GAS CO. TO ACCOMPLISH ITS INSTALLATION.
7. CONSTRUCTION SHALL FOLLOW W.A.T.C.H. MANUAL GUIDELINES.

CONSTRUCTION NOTES

1. CALL "UNDERGROUND SERVICE ALERT" AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION. EVEN THOUGH EXISTING FACILITIES ARE MARKED BY DRY UTILITY REPRESENTATIVES, CONTRACTOR IS RESPONSIBLE FOR EXPOSING AND PROTECTING-IN-PLACE THOSE FACILITIES.
2. MAINTAIN A MINIMUM COVER PER GOVERNING MUNICIPALITY BELOW FINISH SURFACE.
3. MANHOLE ALL CONDUITS.
 - a. CONTRACTOR TO MANHOLE AND INSTALL PULL ROPE FROM STRUCTURE TO STRUCTURE, OR FROM STRUCTURE TO CAP.
 - b. WHERE CONDUITS ARE PICKED-UP OR INTERCEPTED, CONTRACTOR TO MANHOLE AND INSTALL PULL ROPE FROM STRUCTURE TO EXISTING STRUCTURE. COORDINATE WITH RESPECTIVE UTILITY INSPECTOR.
5. "RECORD DRAWINGS": DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR.
 - a. SHALL REFLECT DUCT CONFIGURATION AND IDENTIFY EACH AS TO ITS DESTINATION, WHEN DIFFERENT FROM UTILITY PLANS.
 - b. SHALL REFLECT FINAL DUCT FOOTAGE, TRENCH AND VAULT TIES.
6. MINIMUM RADI (UNLESS NOTED OTHERWISE):
 - SCE=12"; TEL=25"; CATV=12 1/2".
7. TRENCHES SHALL AVOID TRAFFIC SIGNAL INSTALLATIONS AND MODIFICATIONS, FOR ALL EXISTING AND FUTURE LOCATIONS.
8. CONTRACTOR SHALL PLACE BURIED CONDUIT MARKER CLEARLY IDENTIFYING LOCATION FOR FUTURE EXTENSION.
9. PLACE PROTECTION BARRIERS AS REQUIRED BY UTILITY AGENCY.
10. COORDINATE CONDUIT CONNECTIONS TO EXISTING UTILITY STRUCTURE WITH RESPECTIVE INSPECTOR. ONE WEEK MINIMUM OF ADVANCED NOTICE TO INSPECTOR IS REQUIRED. CONTRACTOR IS RESPONSIBLE TO PROTECT EXISTING STRUCTURE.
11. PLEASE BE ADVISED THAT, AS OF JANUARY 1, 2017, SO CAL GAS REQUIRES THAT THE CONTRACTOR PERFORMING TRENCHING, BEDDING, SAND SHADING, AND BACKFILL OF A GAS TRENCH OR THAT PORTION OF THE GAS IN A JOINT-TRENCH BE CERTIFIED BY SOUTHERN CALIFORNIA GAS TO PERFORM THOSE OPERATIONS.

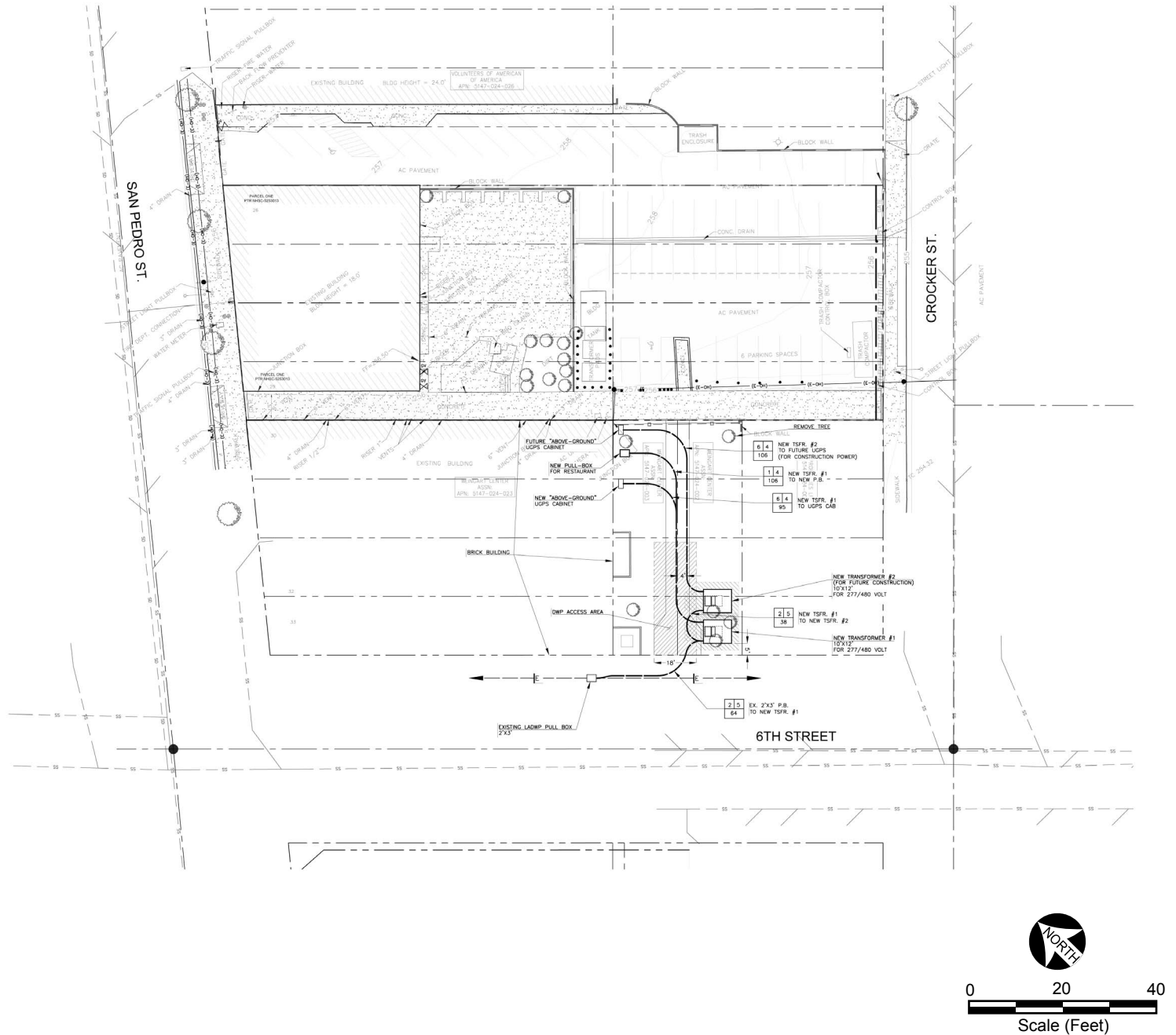
GAS TRENCH REQUIREMENTS

1. DIG THE TRENCH 36" DEEP. THEN ADD 6" OF WASHED SAND TO THE BOTTOM OF THE TRENCH FOR BEDDING.
2. PROVIDE ENOUGH WASHED SAND PILED NEXT TO THE TRENCH SO ALL THE PIPE IN THE TRENCH CAN BE SHADDED WITH 12" OF SAND. THE WASHED SAND WILL NEED TO BE NEXT TO THE TRENCH ON THE INSPECTION DATE.
3. ALL DIRT PILED NEXT TO THE TRENCH MUST BE A MINIMUM OF 24" AWAY FROM THE TRENCH.
4. ALL SCAFFOLDING MUST BE CLEARED AWAY AT LEAST 10' FROM TRENCH/WORK AREA.
5. ALL OF THE REQUIREMENTS MUST BE MET ON THE INSPECTION DATE. IF NOT, THE WORK WILL BE RESCHEDULED TO THE NEXT AVAILABLE DATE (WHICH COULD TAKE UP TO TWO WEEKS).
6. THE HOUSE LINE MUST BE PLUMBED TO THE NEW METER LOCATION WHEN THE TRENCH IS INSPECTED, UNLESS OTHER ARRANGEMENTS HAVE BEEN MADE.
7. IF INSTALLING A SLEEVE, IT MUST BE A YELLOW GAS ONLY CONDUIT.
8. "CAL DUCT" IN BLOOMINGTON (909) 877-0577 CARRIES GAS ONLY CONDUIT.
9. CALL DIG ALERT AT 811 BEFORE YOU DIG TO HAVE THE UNDERGROUND FACILITIES LOCATED
10. BACKFILLING TRENCH MAY ONLY BE PERFORMED BY A GAS COMPANY APPROVED CONTRACTOR OR BY GAS CREWS AT ADDED EXPENSE.

DRY UTILITY COMPOSITE PLAN/UTILITY PLAN COORDINATION

WHILE IT IS UNDERSTOOD THAT THE CONTRACTOR IS TO CONSTRUCT EACH OF THE DRY UTILITY SYSTEMS IN ACCORDANCE WITH THE RESPECTIVE DRY UTILITY COMPANY'S PLANS AND STANDARDS, IT IS ALSO POSSIBLE THAT THE PLANS PREPARED BY EACH DRY UTILITY COMPANY MAY NOT HAVE BEEN GENERATED HAVING THE LATEST CIVIL AND/OR LANDSCAPE BASE INFORMATION. THE DEVELOPER AND PROJECT TEAM HAVE SPENT CONSIDERABLE EFFORTS TO DEVELOP A DRY UTILITY COMPOSITE PLAN TO MAINTAIN THE CURRENT STATUS OF ALL THE FACILITIES TO BE CONSTRUCTED WITHIN THE PROJECT AREA AND, THE DRY UTILITY COMPOSITE PLAN SHOULD BE USED AS A REFERENCE FOR THE CONTRACTOR DURING THE PROJECT. THE CONTRACTOR SHALL COMBINE EACH OF THE FINAL DRY UTILITY PLANS WITH THE DRY UTILITY COMPOSITE PLAN PRIOR TO AND DURING CONSTRUCTION TO INSURE THAT ALL FACILITIES TO BE INSTALLED ARE CONSISTENT WITH THE DRY UTILITY COMPOSITE PLAN. IN THE EVENT THAT THE CONTRACTOR FINDS AN INSTANCE WHERE A DRY UTILITY COMPANY'S FINAL PLAN DOES NOT MATCH THE DRY UTILITY COMPOSITE PLAN, CONTRACTOR SHALL ISSUE AN "IT" (REQUEST FOR INFORMATION) TO OBTAIN A CLARIFICATION PRIOR TO THE CONTRACTOR INITIATING THE CONSTRUCTION OF THE ITEM OR ITEMS IN QUESTION.

NOTE TO DRY UTILITY CONTRACTOR AND PLUMBING CONTRACTOR: PRIOR TO TRENCHING FOR GAS SERVICE LINES, DRY UTILITY CONTRACTOR AND PLUMBING CONTRACTOR SHALL MEET WITH GAS CO. INSPECTOR TO CONFIRM HOUSE LINE LOCATIONS AND GAS CO. RISER LOCATION-ALL SITES ON PROJECT.



(b) Site 2 Project

The portion of the Project to be constructed on Site 2 (Site 2 Project) includes the demolition and removal of the existing surface parking lot, the potential removal of four street trees located along South San Pedro Street and development of the site with 164,875 square feet of mixed-use residential and commercial land uses in two buildings (Building 1 and Building 2).²² The Site 2 Project would include a total of 303 residential dwelling units (298 Very Low Income affordable units and 5 manager units), 3,200 square feet of commercial retail land uses, 17,100 square feet of office land uses, 33,000 square feet of open space, and 79,752 square feet of parking land uses, providing 212 vehicle parking spaces.²³ At Site 2, approximately 60 percent of the affordable units would be dedicated to permanent supportive housing units, and up to 40 percent would be dedicated to family housing.²⁴ All of the residential dwelling units would be efficiency units. A 13,815-square-foot outdoor courtyard/urban park would separate the two buildings and provide pedestrian access to Site 2 from South San Pedro Street and Crocker Street. Vehicular access to Site 2 would be provided via a single driveway on South San Pedro Street. A breakdown of the proposed land uses for Site 2 development is shown on Table 2-6. Site plans for the Site 2 Project are included on Figures 2-48 through 2-64.

Table 2-6
Breakdown of Land Uses for Site 2

Land Use	Size
Residential Efficiency Units	303 du
Commercial Retail	3,200 sf
Office	17,100 sf
Open Space	33,000 sf
Parking	79,752 sf
<i>du = dwelling unit(s) sf = square feet</i> ¹ Refer to Table 2-8.	

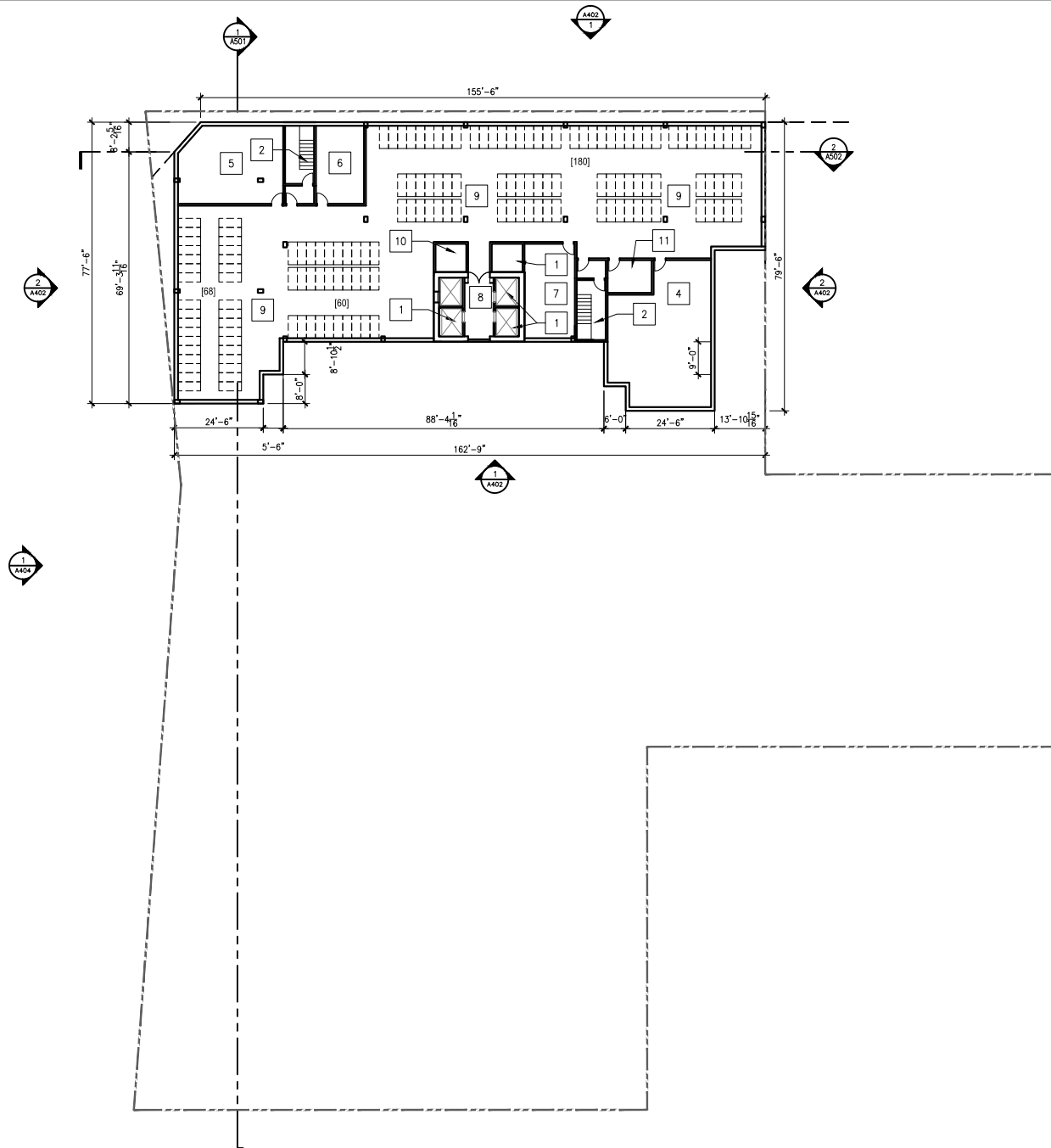
²² Subject to review and approval by Urban Forestry.

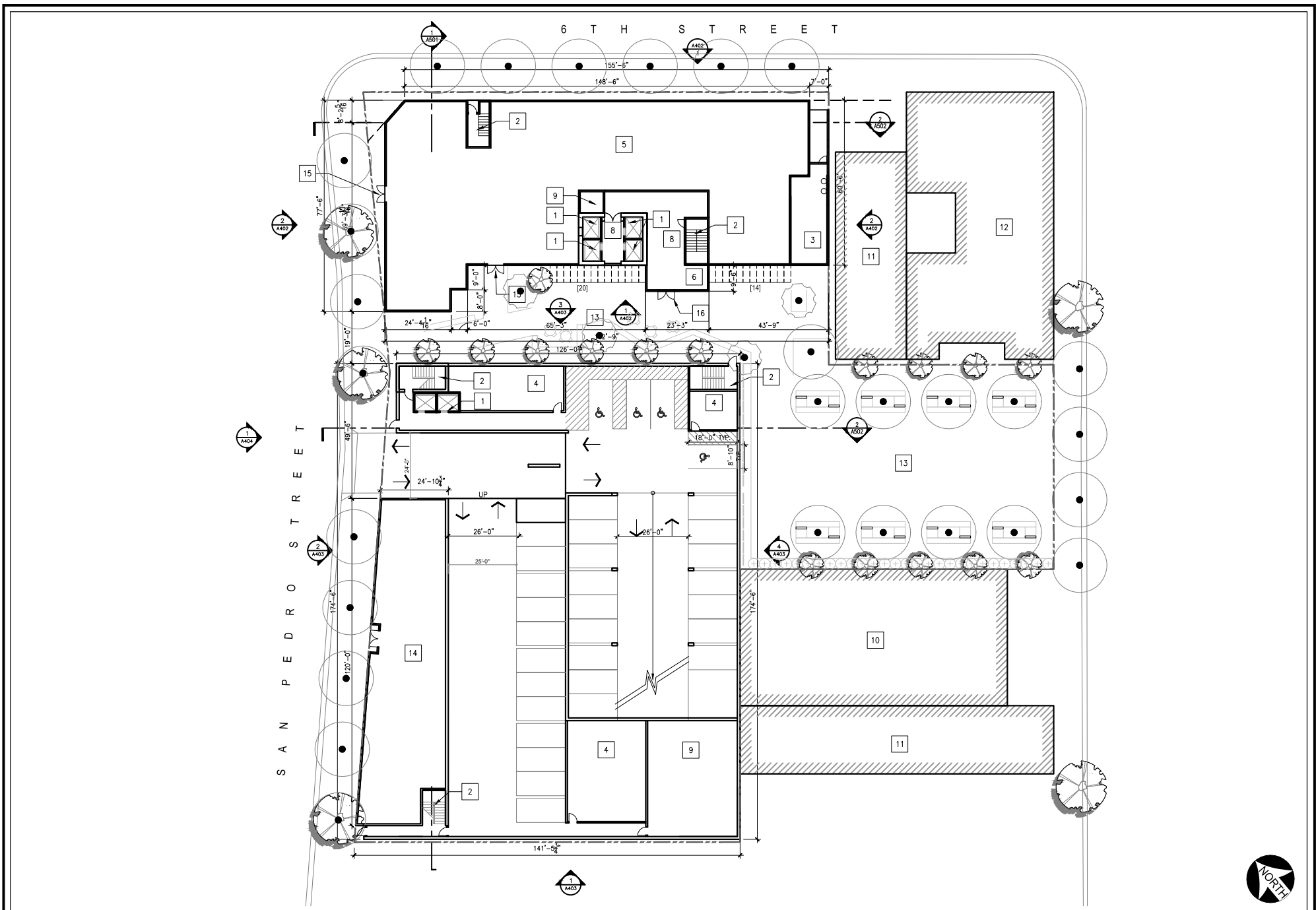
²³ The site plans for Site 2 show 12,100 square feet of office land uses. However, this SCEA conservatively assumes an additional 5,000 square feet of office land uses to allow for flexibility in the mix of non-residential land uses needed to accommodate the programming needs of the Project and to ensure that the potential environmental impacts associated with the change in mix of uses have been accounted for.

²⁴ The percentage breakdown at Site 2 for permanent supportive housing and family affordable units is meant to represent a maximum percentage of family affordable units at Site 2. This maximum percentage of family affordable units was included for the purpose of analyzing a conservative scenario for potential traffic impacts, because family affordable units generates more daily traffic trips than does permanent supportive housing units. It is possible that the percentage of family affordable units could decrease at Site 2, and the percentage of permanent supportive housing units could increase in the future.



Source: JWDA Architecture, 2018.







Source: JWDA Architecture, 2018.

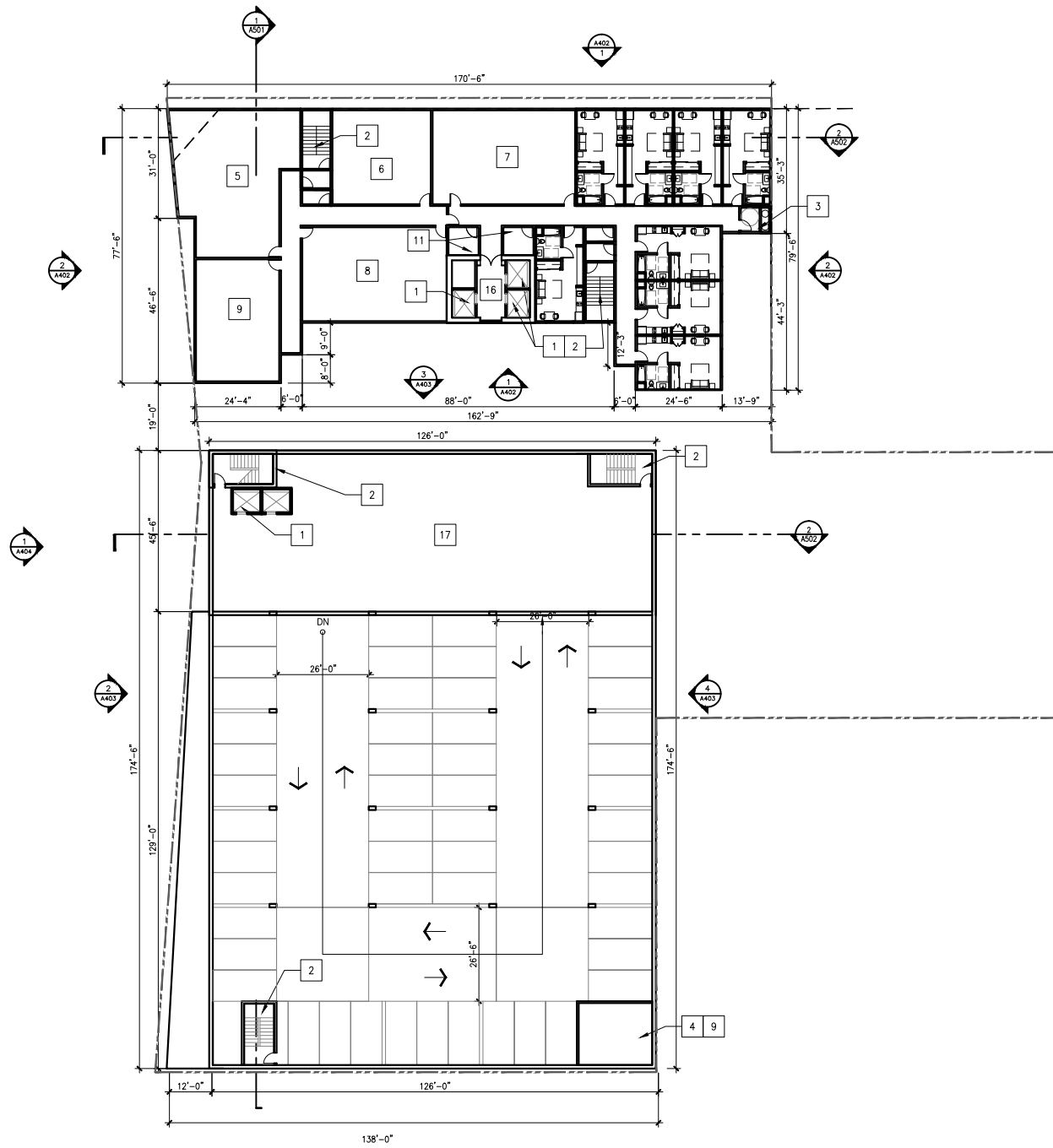
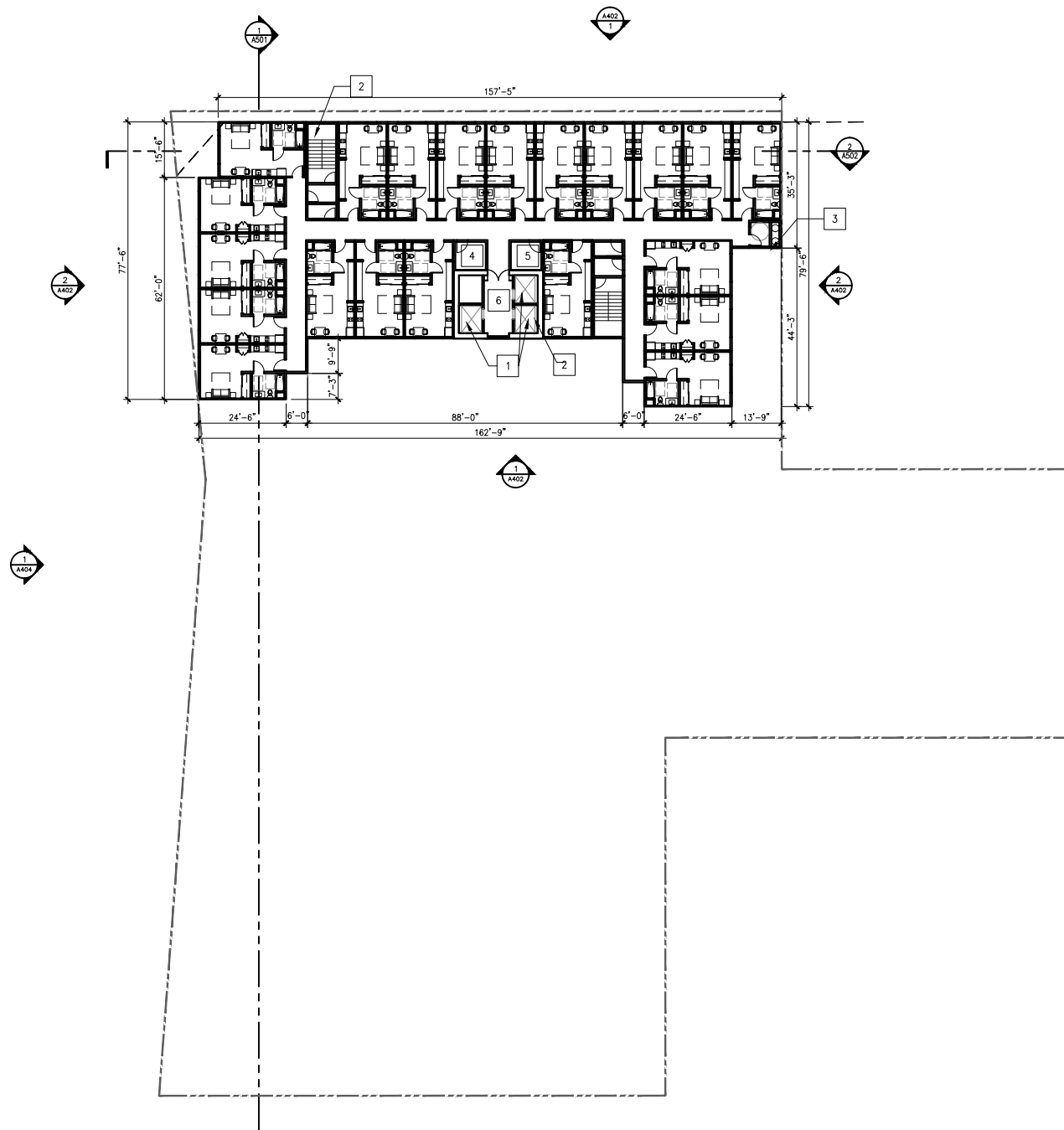
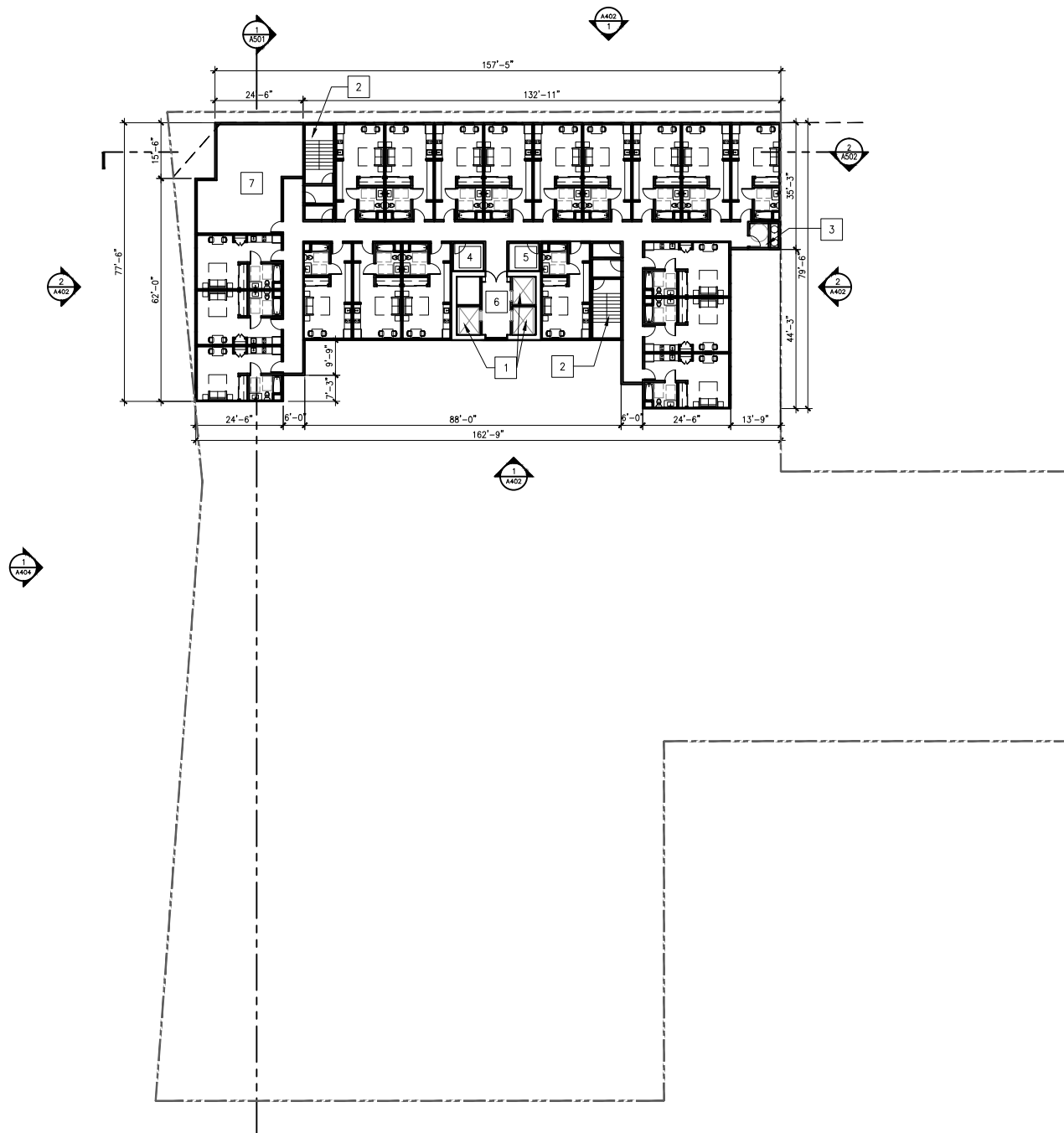


Figure 2-53
Level 4 Floor Plan - Site 2





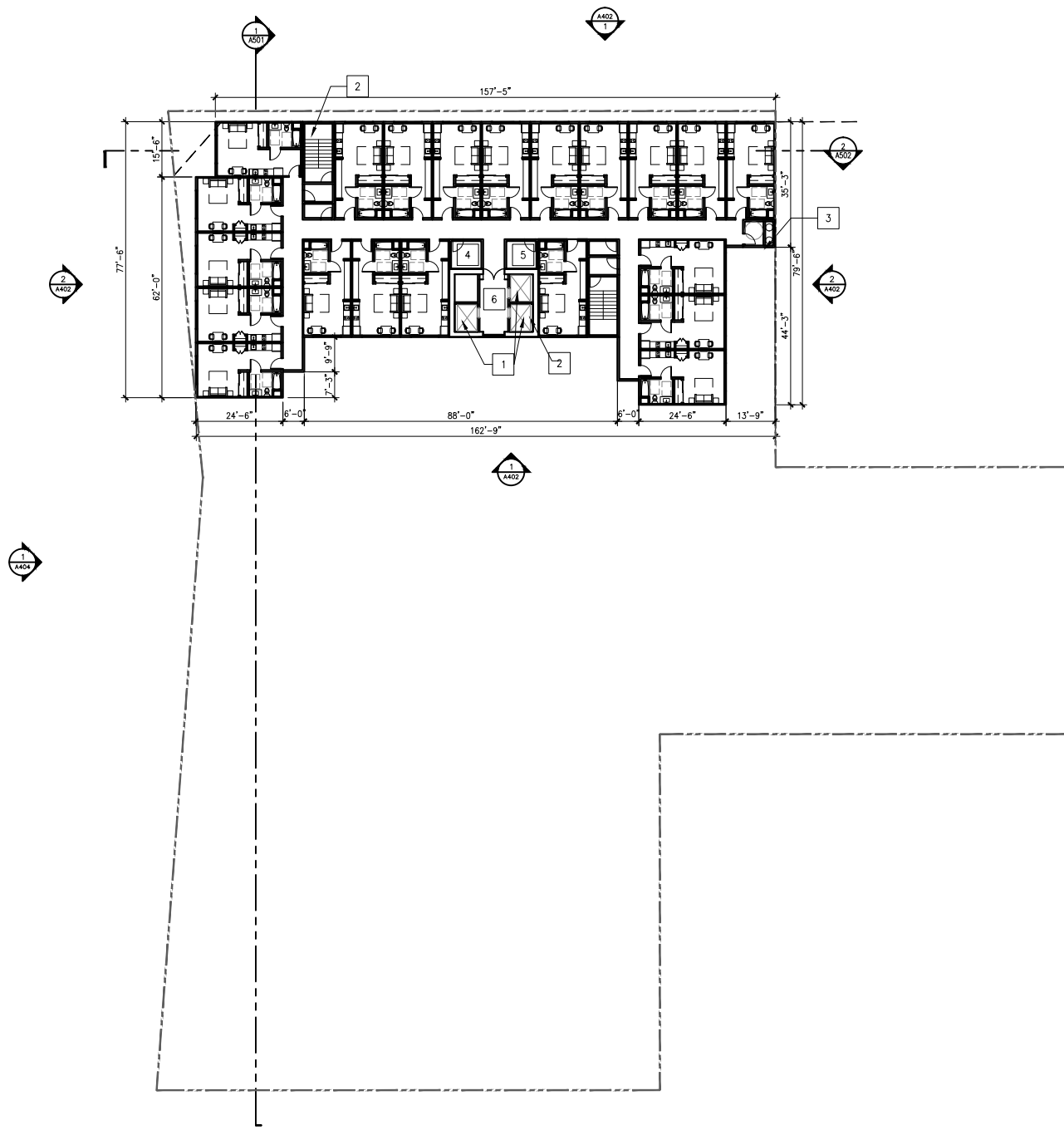
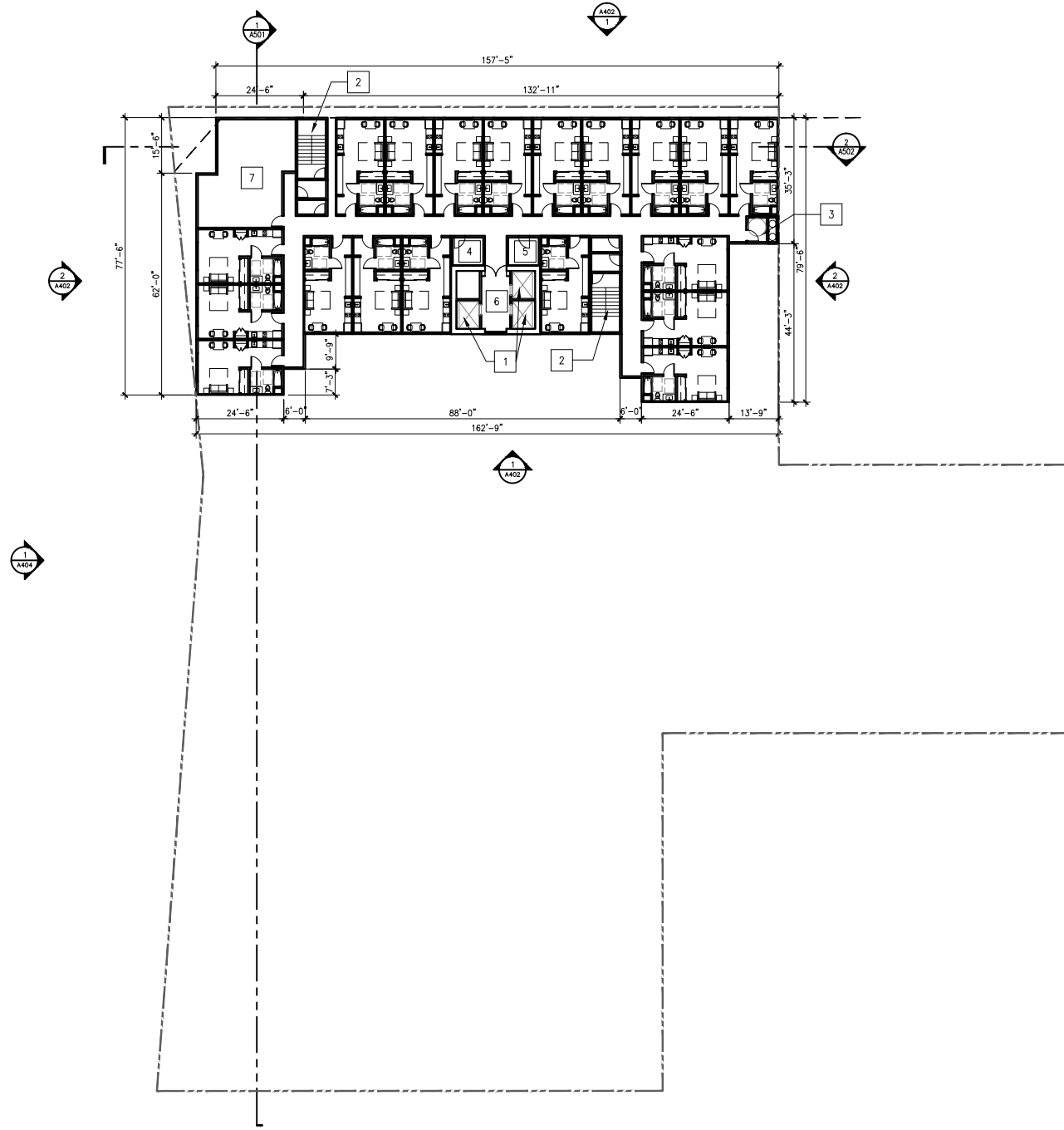
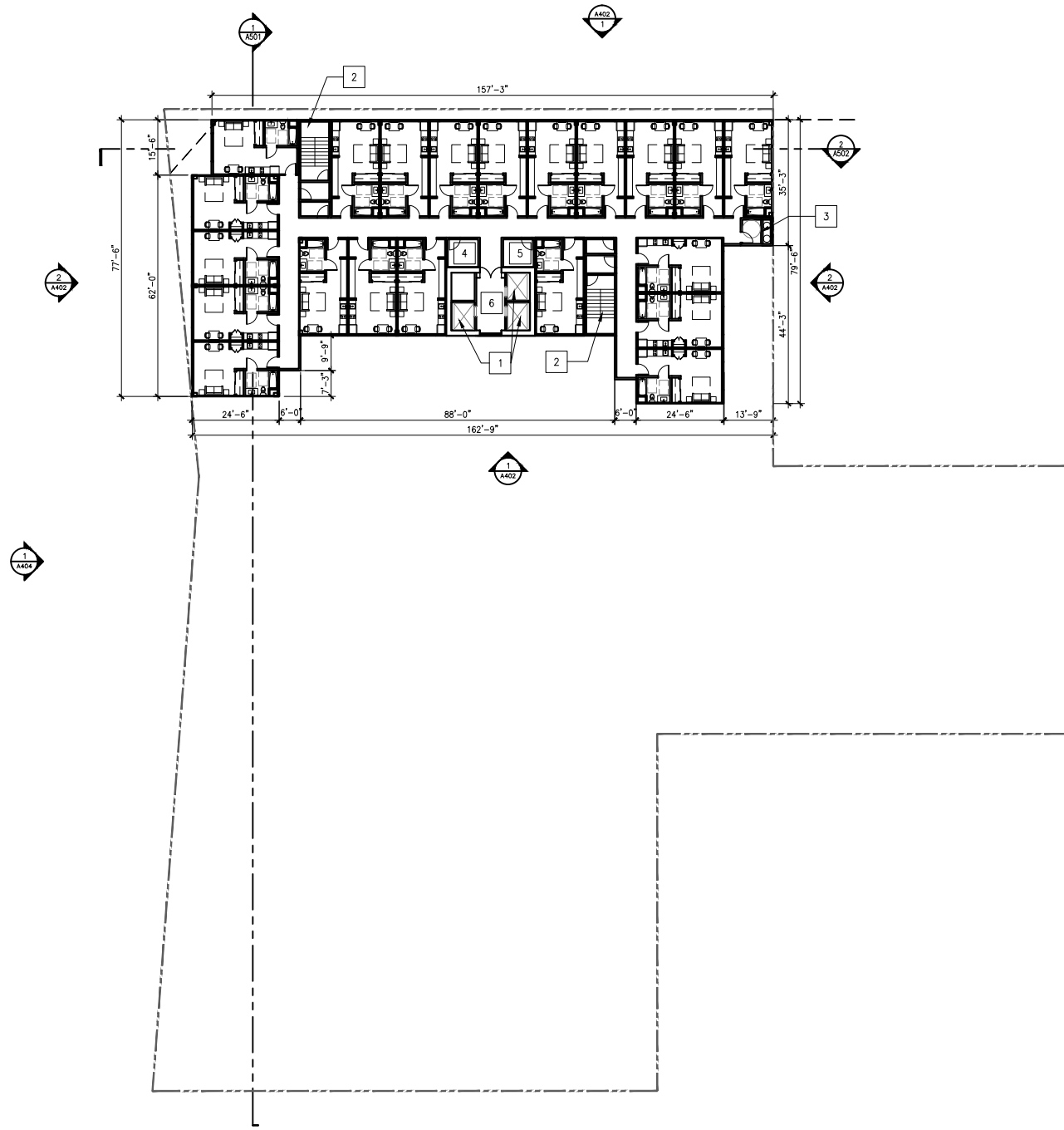


Figure 2-56
Level 9 and 14 Floor Plan - Site 2





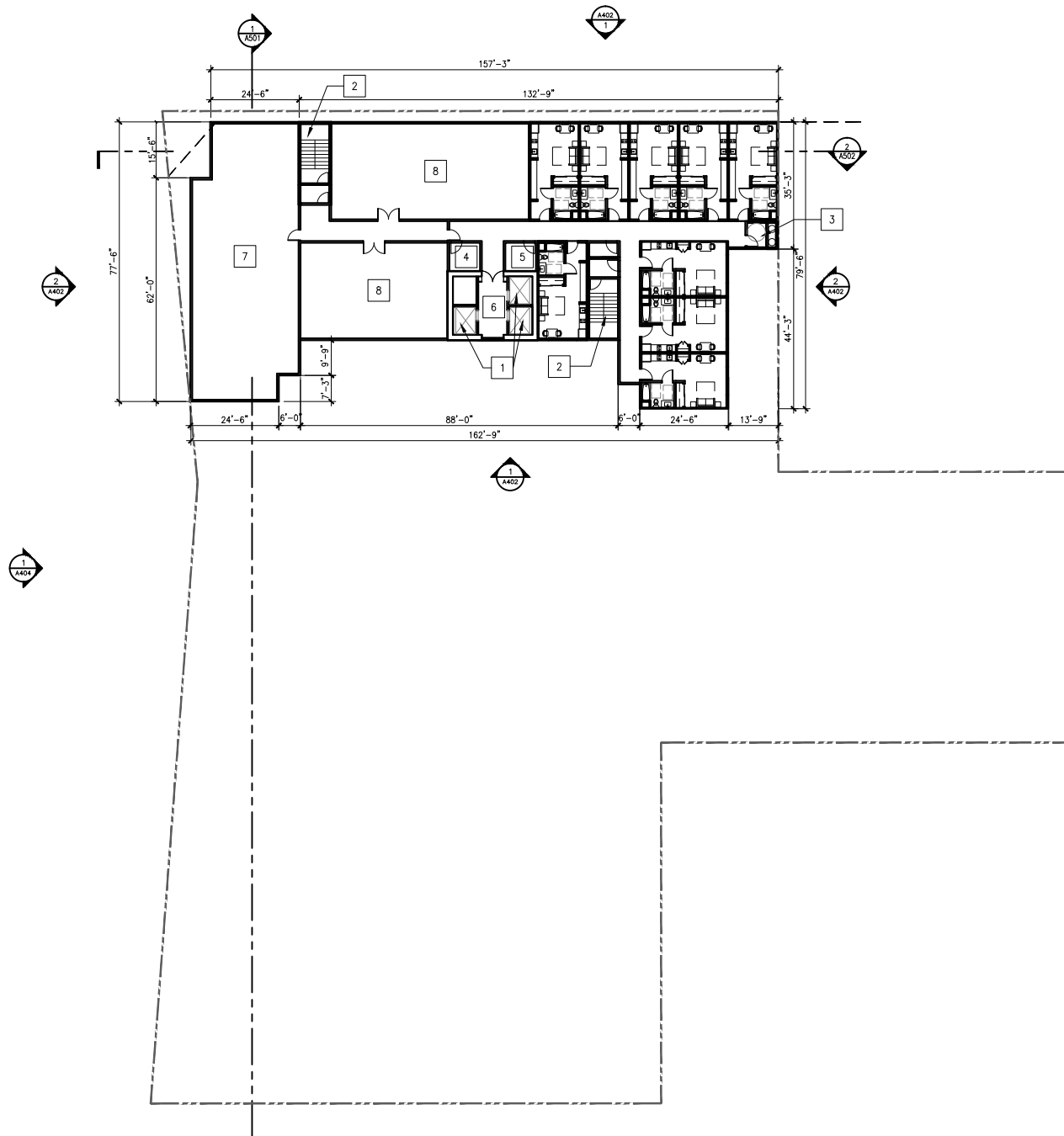


Figure 2-59
Level 19 Floor Plan - Site 2

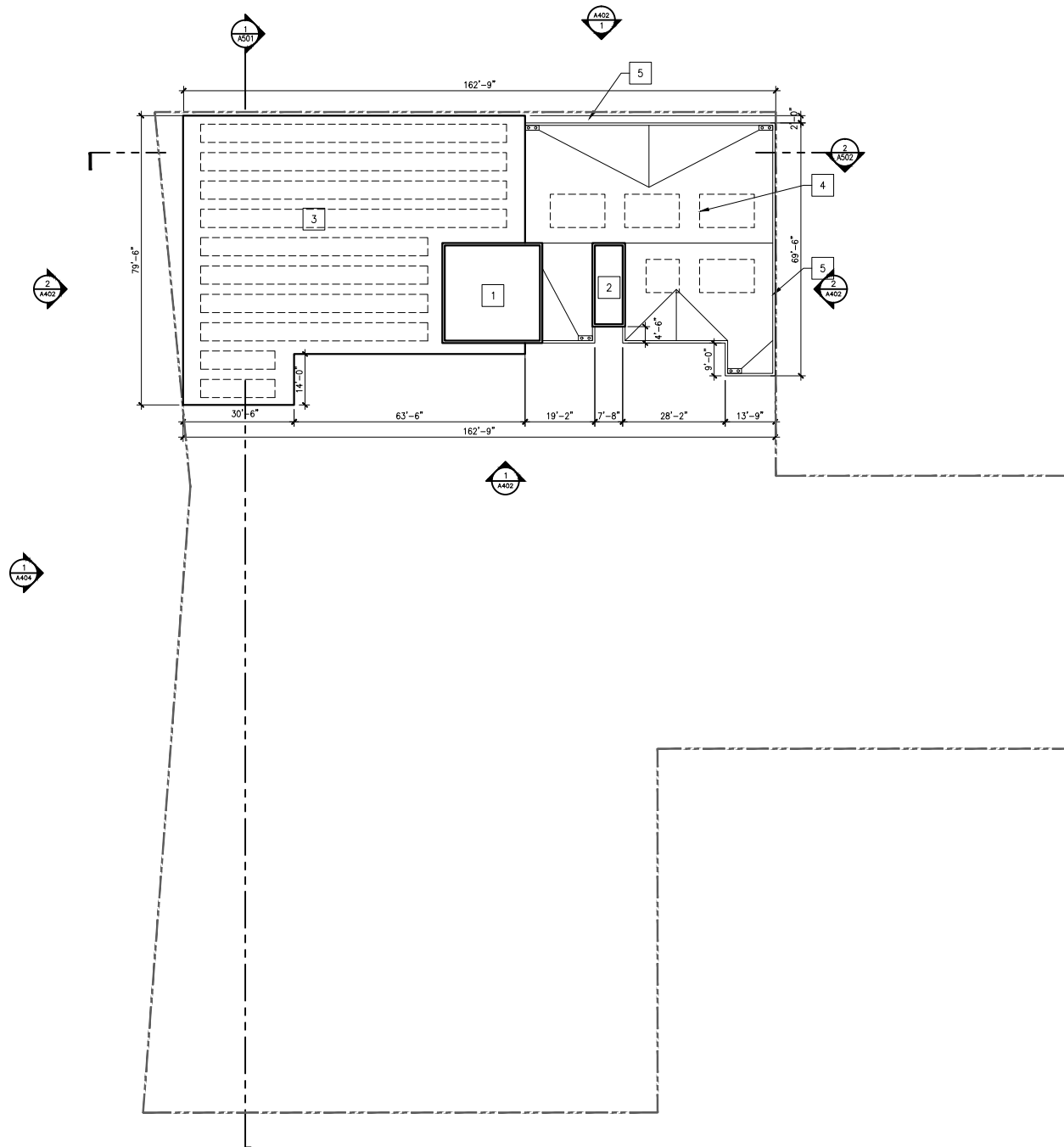
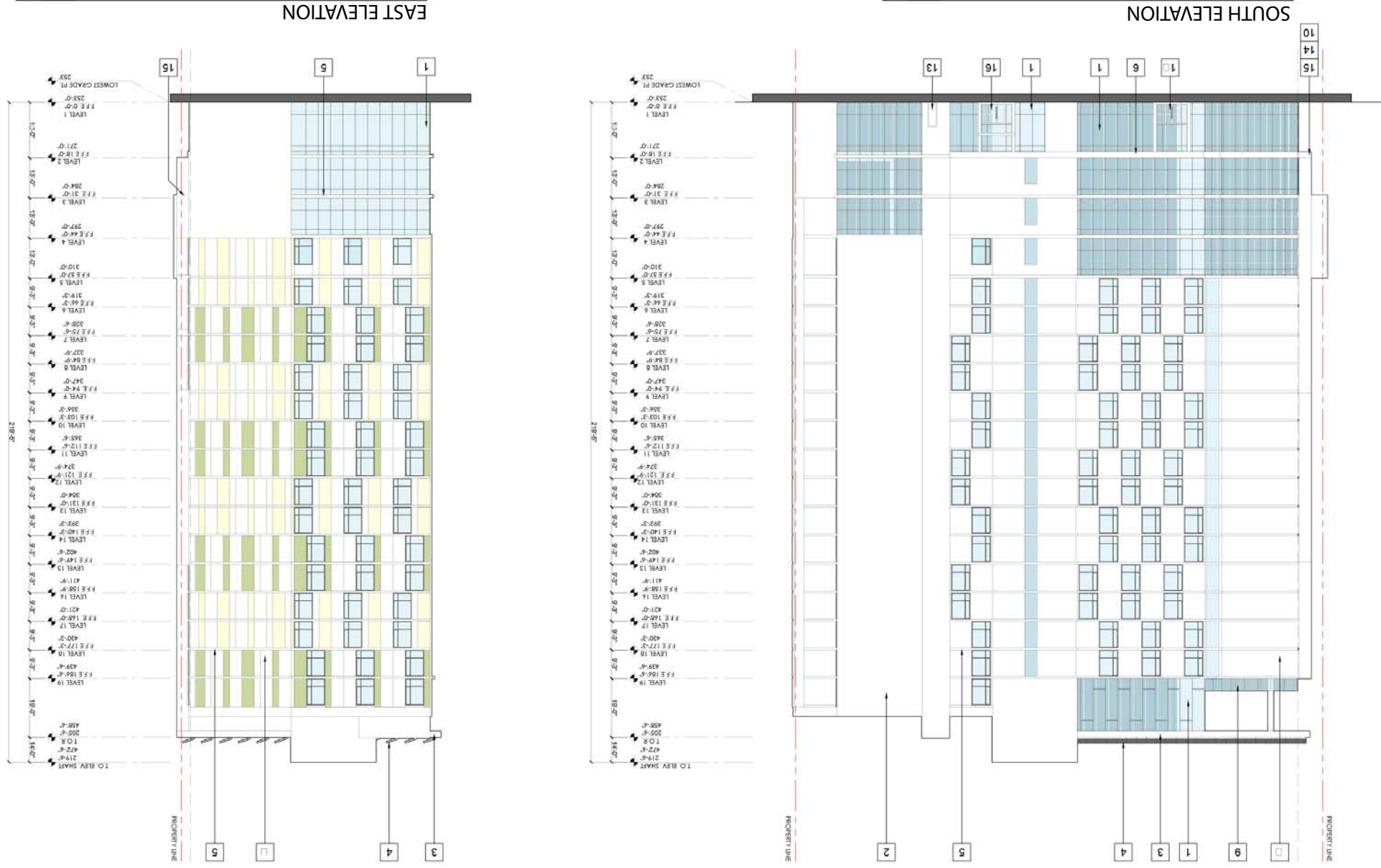
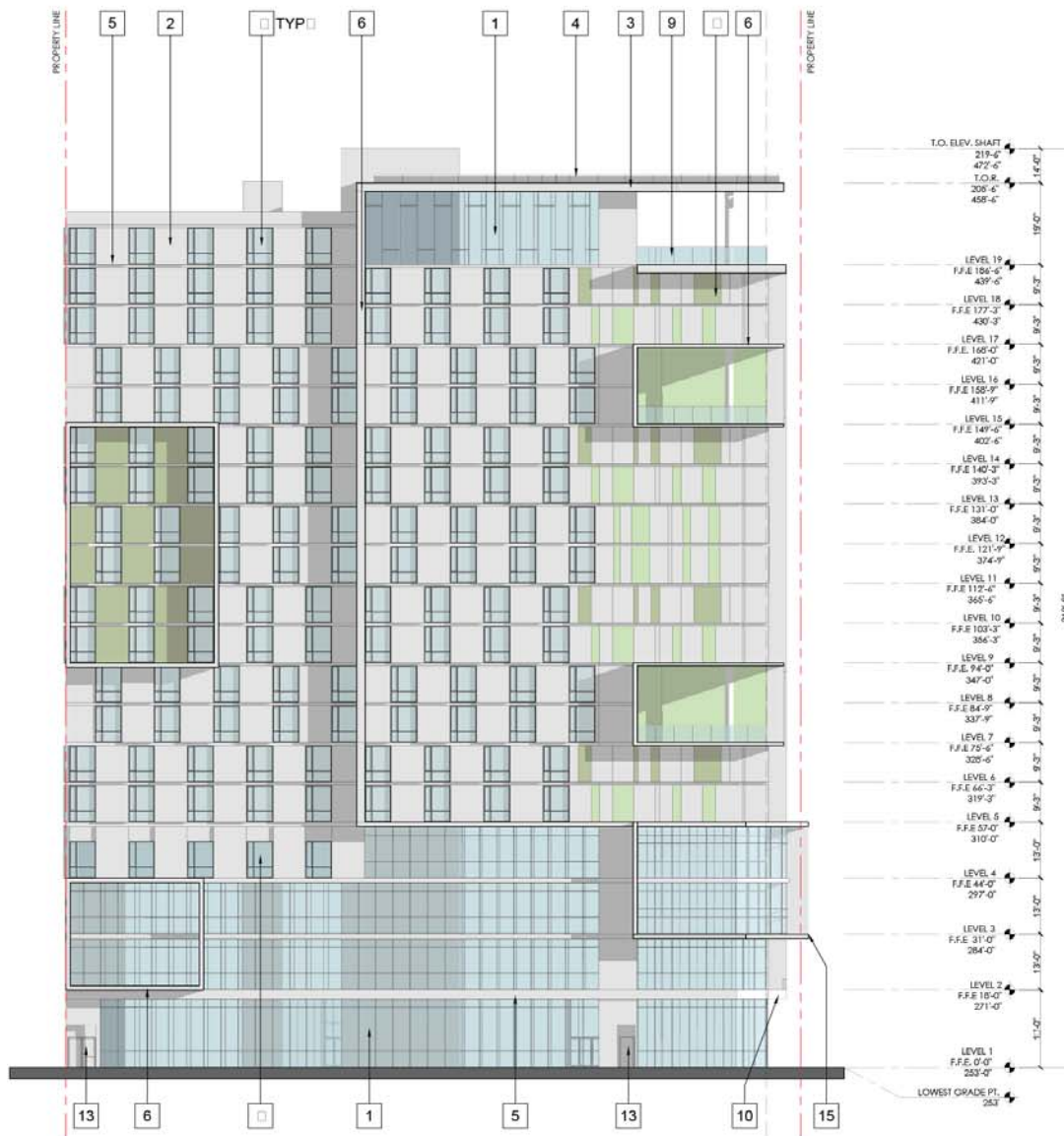


Figure 2-61
South and East Elevation - Site 2

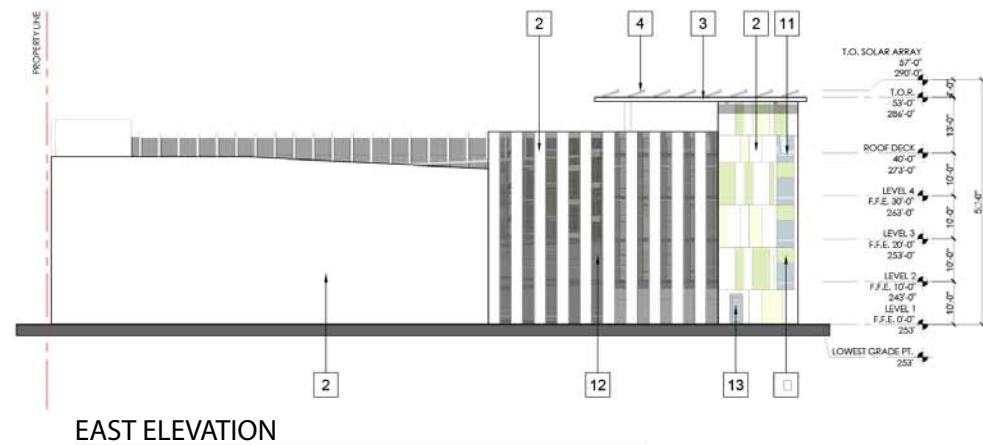
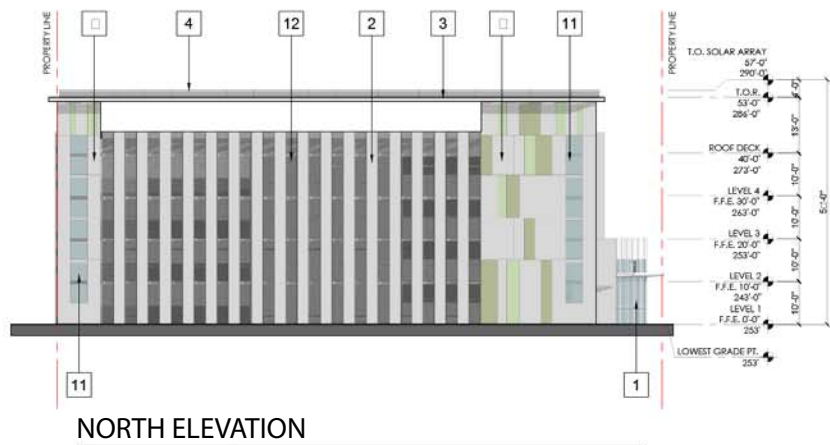
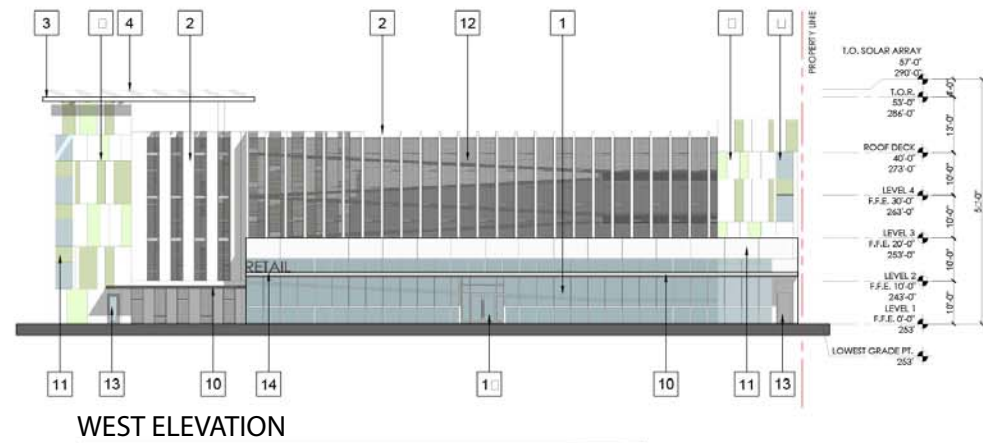
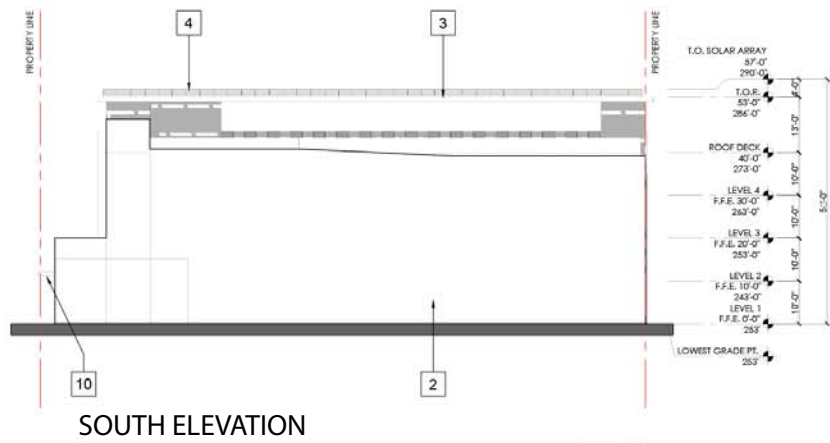




NORTH ELEVATION



WEST ELEVATION



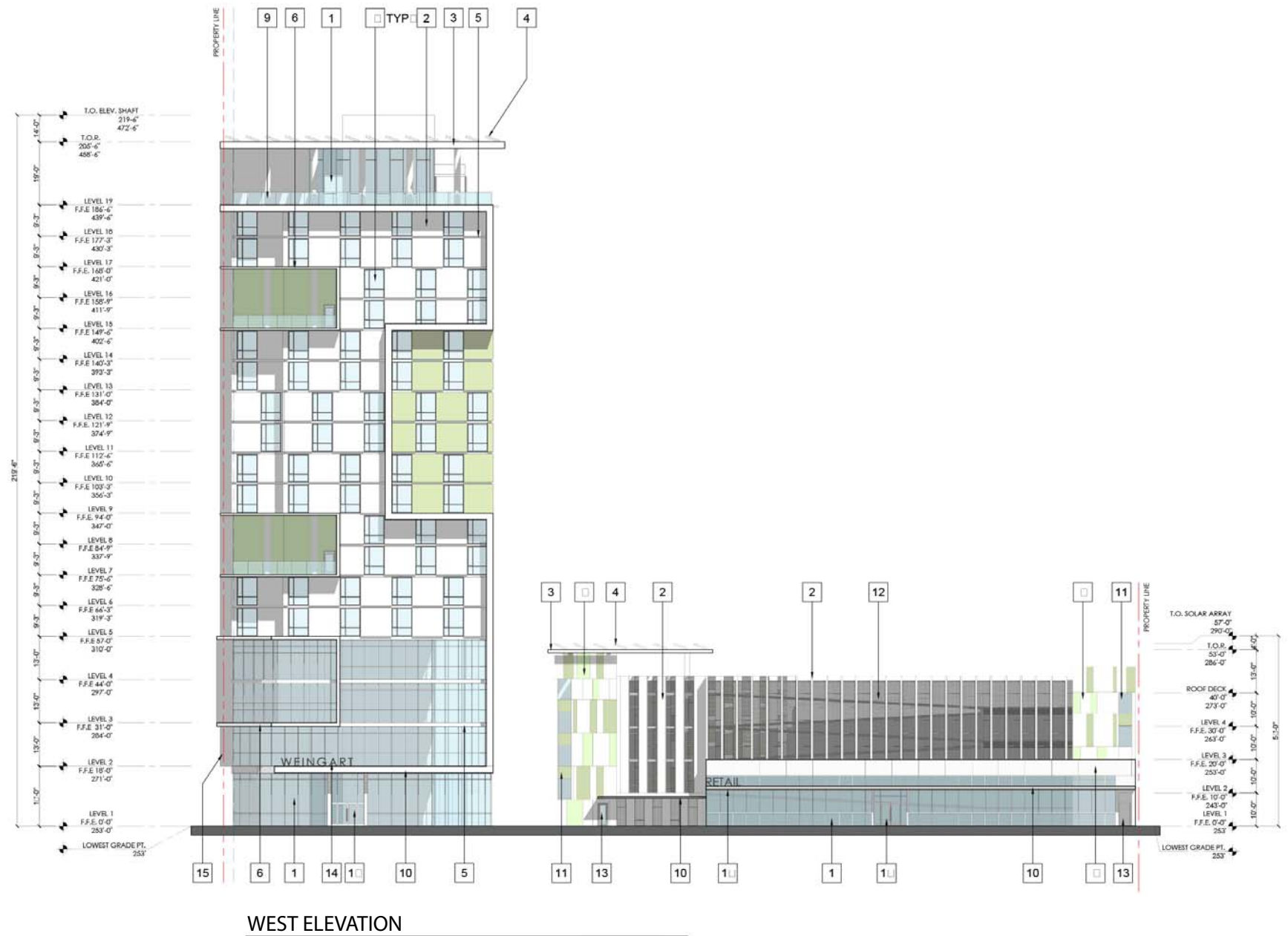


Figure 2-64
Exterior Elevations - S. San Pedro View - Site 2

(1) Building 1

Building 1 would be 19 stories (219 feet and 6 inches in height) and would contain 298 Very-Low-Income residential dwelling units and 5 manager units (for a total of 303 residential dwelling units), support services, and 17,100 square feet of office uses. The residential dwelling units would be located on floors 4-19. Floor 3 would accommodate a multi-purpose room, a training room, a counseling room, computer room, and staff offices, totaling approximately 8,040 square feet. Floor 4 would accommodate a fitness center, a game room, a TV lounge, a group space, and an art and music library room, totaling approximately 5,000 square feet of indoor common open space. Additional open space would be located on floors 7-8 and 15-16, where outdoor two-story patios would provide residents with access to covered outdoor open space. A rooftop recreation area with a deck, totaling approximately 4,675 square feet, is planned on floor 19.

(2) Building 2

Building 2 would be 4 stories (57 feet in height) and would contain approximately 3,200 square feet of ground floor retail, 4 levels of parking (212 parking spaces), and a 5,050-square-foot outdoor community garden on the rooftop.

(3) Density and Floor Area

As discussed later in this section, the Project Applicant is requesting a General Plan Amendment to change the land use designation of Site 2 from Light Manufacturing to Regional Center Commercial. Footnote #3 of the Central City Community Plan limits the FAR for Height Districts 3 and 4 to a 6:1 FAR unless a transfer of floor area is granted. In conjunction with the amendment, the Project Applicant is requesting a Zone and Height District Change from M2-2D (Light Industrial Zone, Height District 2, Development Limitation) to C2-4D (Commercial Zone, Height District 4, Development Limitation). The approval of these land use entitlements would allow the proposed residential and commercial uses to be developed at Site 2.

Site 2 is located within the boundaries of the Greater Downtown Housing Incentive Area. Pursuant to LAMC Section 12.22 C.3 (*Incentives to Produce Housing in Greater Downtown Housing Incentive Area*), projects located within the R4, RAS4, R5, CR, C2, C4, and C5 Zones are not subject to the lot area restrictions of the zone. As such, if the requested zone change is approved, the residential density for the Project becomes unlimited and would only be limited by the maximum floor area permitted on the site. Additionally, LAMC Section 12.22 C.3(b) permits buildable area to be the same as lot area. The requested General Plan Amendment to Regional Commercial and the Zone/Height District Change to C2-4D would establish a base FAR of 6:1 in accordance with Footnote 3 of the Central City Community Plan's land use map. At a 6:1 FAR, the total permitted floor area for Site 2 would be 292,896 square feet. The development of Site 2 would include 164,875 square feet of floor area at a FAR of 3.4:1.

(4) Parking

Site 2 Project includes 303 residential dwelling units with less than three habitable rooms. Parking for Site 2 would be provided in an aboveground parking structure. Based on the parking requirements

outlined in LAMC Section 12.21.A.4 (p), 303 parking spaces would be required for the residential component of the Site 2 Project. As discussed under Parking for Site 1, the Applicant has requested incentives in conjunction with the requested Zone Change to calculate the number of vehicular parking spaces consistent with the incentives permitted for affordable housing projects in the Greater Downtown Housing Incentive Area. As with the Site 1 Project, pursuant to LAMC Section 11.5.11 (e) and California Government Code 65915(k), the Project Applicant is requesting that no parking be required for units that are set-aside for households that earn less than 50 percent of the Area Median Income (based on affordability levels as set by the State of California Housing and Community Development Department), meaning that no parking would be provided for the 298 dwelling units designated restricted affordable for Very Low Income.²⁵ The Project Applicant is also requesting pursuant to LAMC Section 11.5.11 (e) and California Government Code 65915(k) that vehicle parking for the remaining 5 manager's units would be provided at no more than one parking space for all units that are not restricted to households earning less than 50 percent of the Area Median Income. Accordingly, a total of 5 parking spaces would be provided for the manager's units. Vehicle parking for the retail and office portions of the Site 2 development is required pursuant to LAMC Section 12.21.A.4(i), which requires parking at a rate of one parking space per 1,000 square feet of commercial uses having a floor area of 7,500 square feet or more, for a total of 20 vehicle parking spaces. The total vehicle parking spaces required for Site 2 is 25. However, Site 2 development would include a total of 212 vehicle parking spaces, with the additional 187 spaces beyond the 25 required spaces provided to replace the existing 133 surface parking spaces that would be removed as part of Site 2 development to accommodate other existing shared-parking agreements for surrounding land uses.

As discussed previously, the existing surface parking lot on Site 2 includes 136 vehicle parking spaces. As indicated in the Parking Needs Assessment (refer to Appendix C), this parking lot provides parking for the tenants of the Weingart Center Association located at 566 South San Pedro Street.²⁶ Excess parking provided on Site 2 would be made available to the public.

Additionally, in accordance with the updated Bicycle Parking Ordinance (Ordinance 185,480), the Site 2 Project would be required to provide 157 long-term and 20 short-term bicycle parking spaces for a total of 177 spaces (refer to Table 2-7).²⁷ The Site 2 Project would meet the short-term bicycle parking requirements and would exceed the long-term bicycle parking requirements by 33 spaces.

²⁵ LAMC Section 12.22 A 29 c (3) provides parking-related incentives that are consistent with this request. However, pursuant to LAMC Section 11.5.11(a), such incentives cannot be sought in conjunction with the Project's General Plan Amendment and Zone/Height District Change. Consequently, the proposed parking reduction is being requested pursuant to LAMC Section 11.5.11 (e) and California Government Code Section 65915(k).

²⁶ Weingart Projects – Parking Needs Assessment for the 600 South San Pedro Street Site, LLG Engineers, June 18, 2018. Refer to Appendix C.

²⁷ The bicycle parking for the Project would be provided in accordance with the updated Bicycle Parking Ordinance (Ordinance No. 185,480).

**Table 2-7
Bicycle Parking – Site 2**

Use	Dwelling Units This Tier or sf	Rates	Short-Term Spaces	Long-Term Spaces	Total
Residential					
Tier 1-25	25 du	1 space/10 du (short-term) 1 space/1 du (long-term)	3	25	28
Tier 26-100	75 du	1 space/15 du (short-term) 1 space/1.5 du (long-term)	5	50	55
Tier 101-200	100 du	1 space/20 du (short-term) 1 space/2 du (long-term)	5	50	55
Tier 201+	103	1 space/40 du (short-term) 1 space/4 du (long-term)	3	26	29
<i>Total Residential Bicycle Parking Spaces</i>			<i>16</i>	<i>151</i>	<i>167</i>
Non-residential					
Office	17,100 sf	1 space/10,000 sf (short-term) 1 space/5,000 sf (long-term)	2	4	6
Commercial Retail	2,250 sf	1 space/2,000 sf (short-term) 1 space/2,000 sf (long-term)	2	2	4
<i>Total Non-residential Bicycle Parking Spaces</i>			<i>4</i>	<i>6</i>	<i>10</i>
Total Required			20	157	177
Total Provided			20	182	202
<i>sf = square feet du = dwelling unit</i>					

(5) Open Space and Landscaping

As shown on Table 2-6, all 303 dwelling units would be efficiency or one-bedroom units, which have fewer than three habitable rooms, for which the LAMC's Section 12.21 G (*Open Space Requirement for Six or More Residential Units*) would require 100 square feet of open space per dwelling unit. Based on this standard, the Site 2 Project would be required to provide 30,300 square feet of open space. The breakdown of the common open space components proposed for Site 2 development shown on Table 2-8 shows that Site 2 development would include a total of 33,000 square feet of open space, exceeding the open space requirements for Site 2. The 33,000 square feet is made up of 13,815 square feet of open space exterior open-to-sky, 9,145 square feet of interior common area, and 10,040 square feet of covered exterior decks. Pursuant to LAMC Section 11.5.11(e) and California Government Code 65915(k), the Project Applicant is requesting approval to exceed the 25 percent limit on the qualifying amount of open space that may consist of interior recreation rooms, and, as further discussed below, the provision of 38 trees in lieu of providing 76 trees, as would otherwise be required by LAMC Section 12.21 G.

Table 2-8
Common Open Space Components for Site 2 Development

Common Open Space Component	Size
<i>Exterior Common Space</i>	
Level 1 Courtyard	13,815 sf
<i>Interior Recreation Room(s)</i>	
Level 3	1,600 sf
Level 4 - Tower	5,000 sf
Level 19	2,545 sf
<i>Total Interior</i>	9,145 sf
<i>Exterior Covered Decks</i>	
Level 4 – Parking Structure	5,050 sf
Levels 7 & 8	1,430 sf
Levels 15 & 16	1,430 sf
Level 19	2,130 sf
<i>Total Exterior Covered</i>	10,040 sf
Total	33,000 sf
<i>sf = square feet</i>	

Landscape design is an important feature of the open space for Site 2. The residential landscaped areas include the ground floor open space and large plaza; courtyard spaces on the 7th, 8th, 15th, and 16th floors; 19th floor roof terrace as well as a roof garden on the fourth floor of the parking structure. The public streetscape areas include the frontage along South San Pedro, East 6th and South Crocker Streets.

The ground floor open space is accessible through South San Pedro Street and adjoins a large plaza that is gated and can open to Crocker Street. The upper level courtyard spaces and roof terrace would be accessible to residents via the shared building interior corridors. The parking structure roof garden is accessible through the parking structure. Portions of the 19th floor roof terrace and 4th floor parking structure roof gardens may contain green roof areas that would be inaccessible except for maintenance activities.

The landscaped areas would be designed for aesthetics, water conservation, and livability within the requirements and guidelines established by the City. The planting palette throughout the site is composed of vibrant colored and aromatic plants – the majority of which would be drought tolerant. The plant selections and irrigation would be designed to meet all water-efficient landscape requirements. A weather-based controller would regulate the automatic drip irrigation system in all of the planting areas within site. The seating areas would include flexible furnishings that allow the spaces to comfortably seat groups of different sizes. All areas of open space and proposed trees within the site would be designed to meet the City's Landscape Ordinance Guidelines, as well as applicable requirements of the City's Department of Building and Safety.

The ground floor includes a large flexible open space surrounded by planting areas located between the residential building and parking structure, as well as a large plaza opening to South Crocker Street. The

open space would be defined by concrete seat walls and landscape planters with shade tolerant trees, shrubs and ground cover and would be equipped with communal seating places for multiple groups of people with furniture that meets ADA requirements. Bicycle parking would be provided in this area closest to the parking structure and building entrances. The plaza area would be framed by broad canopy trees providing green edges around the perimeter. Concrete benches would be provided near shade trees for comfort and to meet accessibility needs and requirements. Paving throughout the site would be selected in accordance with the Los Angeles Green Building and Department of Building and Safety requirements with attention to solar reflective materials in the urban plaza.

Streetscape planting on South San Pedro, East 6th, and South Crocker Streets would be designed to provide maximum tree shade coverage in coordination with and approval by the City's Bureau of Engineering and Urban Forestry Divisions.

The various courtyards have each been designed to offer outdoor spaces. The 7th, 8th, 15th, and 16th floor courtyards consist of deck areas for communal seating and raised planters framing the outdoor gathering area providing privacy for groups of different sizes. The 19th floor roof terrace is made up of a space for outdoor gaming such as table tennis and may contain an area of for green roof. The 4th floor parking structure roof garden consists of raised planters used for edible garden and pollinator plants with nearby seating for gardeners. The area may also be equipped with green roof elements. At a rate of 1 tree per 4 units, 76 trees would be required for the Site 2 Project pursuant to the open space provisions of LAMC Section 12.21 G. As noted above, pursuant to LAMC Section 11.5.11(e) and California Government Code 65915(k), the Project Applicant is requesting an open space incentive allow the provision of 38 on-site trees for Site 2.

The Project Applicant proposes to remove four street trees located on South San Pedro Street. These are the first four trees from the corner of East 6th Street toward the southern property line. The removal of these four street trees would be replaced as required by the City with eight 24-inch box size trees (species identified by the City's Urban Forestry Division) planted in City dedication adjacent to the site. These eight trees are not included in the proposed 38 on-site trees for Site 2's open space requirement.

(6) *Architecture and Design*

The tower and parking structure at Site 2 would be designed similarly to Site 1, but with enough contrast to clearly distinguish the buildings from one another. High-quality materials would be utilized, such as concrete, metal and glass. The materials would be varied in color, finish, and/or application. The design would echo the same segmentation demonstrated in the Site 1 Project into top, middle, and base portions to break up the mass. The base of the building would have transparent ground floor with floor-to-ceiling storefront windows. The retail lining the parking structure along South San Pedro Street would have the same treatment as on Site 1, allowing for maximum street activation. The tower entry would be inset in the front building façade. The top portion of the building also would include trellis and transparent window wall systems with a varied in application.

The floor plate of the tower on Site 2 would be at the East 6th Street and Crocker Street property lines, once the 3-foot dedications are taken. The tower and parking structure would be sited on the property line along South San Pedro Street. The east side of the site would include a ground level plaza that would

create new open space adjacent to the existing buildings and would distance the parking structure away from neighboring buildings on the east and southeast.

As discussed previously, the parking structure on Site 2 would provide required parking for the Project's residents and office workers and would also accommodate the existing parking demand as measured in the Project's parking demand study. The structure would be wrapped in metal paneling, similar to the adjacent residential tower with the addition of windows in the stairwells to bring in light. The paneling is designed to obstruct the view of vehicles parked on the four-story parking structure. A portion of the fourth level provides an additional open space area for the Site 2 Project, allowing for large group activities.

(d) Project Design Features

The following Project Design Features (PDFs) are included as part of the Project, at both Site 1 and Site 2:

PDF-1 Sustainability Measures

- The Project shall not include natural gas-fueled fireplaces in the proposed residential units.
- Twenty percent of the Project's provided vehicle parking spaces would be capable of accommodating electric vehicle (EV) charging stations, and an additional five percent would be wired as EV charging stations for immediate use.
- The Project would incorporate approximately 10,500 square feet of solar voltaic panes on building roof levels. Approximately 4,500 square feet would be included on Site 1, and approximately 6,000 square feet would be included on Site 2.
- Windows would be included in all living units and common spaces for natural daylight, reducing the need for overhead lighting impacting the need for electricity. High-performance dual-pane windows and exterior materials would be used in order to reduce the need for energy driven mechanical systems.
- Active energy conservation strategies would include implementing LED lighting with daylighting controls and dimming capabilities, installing motion detector controls for all circulation and auxiliary spaces, providing Energy Star appliances.
- Materials selection for the building would be made taking into consideration energy conservation, durability, reduction of air pollutants and recycling. For instance, the Project's use of concrete as a structural material allows for thermal mass to be captured to passively heat and cool the buildings reducing the dependency on mechanical systems. Products would be chosen for their resiliency and durability in order to help offset maintenance costs. Finish materials would have no or low volatile organic (VOC) compounds, in order to help reduce the introduction of

harmful chemicals into the building. Materials would be chosen for their pre/post-consumer content to reduce the amount of virgin material being used and reduce amount of waste.

- Plants and their substrate would act as a natural water filter reducing the contamination of water that leaves the site. Low-maintenance native and adapted plants would be chosen for landscaped areas and will take into consideration creating mini-ecosystems with habitats for birds and beneficial insects in order to increase the biodiversity at the site. The landscaped area could reduce the urban heat island effect and smog as the plants act as a natural air filter and absorb heat versus reflecting it. Pervious paving areas may also be used to reduce the amount of hardscape, decrease storm water run-off, and cool the microclimate of the building.
- High-efficiency toilets with a flush volume of 1.0 gallon per flush, or less.
- Showerheads with a flow rate of 1.5 gallons per minute (gpm) or less.
- Residential bathroom faucets equipped with aerators to reduce flow to 1.0 gpm or less.
- Drip/subsurface irrigation (micro-irrigation)
- Micro-spray
- Proper hydro-zoning/zoned irrigation (group plants with similar water requirements)
- Artificial turf
- Drought-tolerant plants – 50 percent of total landscaping

(e) Construction Phasing

The Project's construction phase would occur over an approximately 49-month period, and would include demolition, site preparation, grading and excavation, and building construction phases. The grading and excavation phase would require the export of approximately 25,244 cubic yards of material. The Project's construction phase would begin with development of Tower 1A on Site 1 that would occur over approximately 17 months. While finalizing the "building construction" phase for Tower 1A, the "finishing (architectural coating)" phase for Tower 1A would begin. After the "building construction" phase has been completed for Tower 1A and during the "finishing (architectural coating)" phase of Tower 1A, the construction phase for Tower 1B would begin and would occur over approximately 18 months. While finalizing the "building construction" phase for Tower 1B, the "finishing (architectural coating)" phase for Tower 1B would begin. After the "building construction" phase has been completed for Tower 1A and during the "finishing (architectural coating)" phase for Tower 1B, Tower 1A would become operational. The construction phase for Site 2 would occur over approximately 18 months, just after Tower 1B becomes operational and would take place in one phase. While finalizing the "building

construction” phase for Site 2, the “finishing (architectural coating)” phase for Site would begin. The approximate overall construction schedule for the Project is shown on Table 2-9.

**Table 2-9
Approximate Project Construction Schedule**

Phase	Duration	Notes
<i>Phase 1: Site 1 – Tower 1A</i>		
Demolition	Approximately 3 weeks	Demolition of approximately 18,360 square feet of asphalt parking lot
Grading	Approximately 2 week	10,244 cubic yards of export, hauled to off-site location within a 50-mile radius.
Site Preparation	Approximately 1.5 months	-
Building Construction	Approximately 1 year	No overlap with grading or site preparation phase.
Finishing (Architectural Coating)	Approximately 1 year	Some overlap with building construction phase.
<i>Phase 2: Site 1 – Tower 1B</i>		
Demolition	Approximately 1 month	Some overlap with the finishing (architectural coating) phase of Tower 1A. Demolition of approximately 4,870 cubic yards of material.
Grading	Approximately 2 weeks	4,800 cubic yards of export, hauled to off-site location within a 50-mile radius.
Site Preparation	Approximately 1.5 months	-
Building Construction	Approximately 1 year	No overlap with grading or site preparation phase.
Finishing (Architectural Coating)	Approximately 1 year	Some overlap with building construction phase. (Tower 1B becomes operational.)
<i>Site 2</i>		
Demolition	Approximately 1 month	Demolition of approximately 20,244 cubic yards of material.
Grading	Approximately 2 weeks	10,200 cubic yards of export, hauled to off-site location within a 50-mile radius.
Site Preparation	Approximately 2 months	-
Building Construction	Approximately 1 year	No overlap with grading or site preparation phase.
Finishing (Architectural Coating)	Approximately 1 year	Some overlap with building construction phase.
<i>Note: The approximate construction schedule assumes a 5-day workweek.</i>		

(f) Haul Route

The facility(ies) to receive the Project's export materials that would be generated during the Project's construction phase has not been identified at this time. However, several facilities are located within a 50-mile radius of the Project Site, including, but not limited to: Active Recycling MRF and Transfer Station, American Reclamation CDI Processing Facility, Downtown Diversion, and Manning Pit. The Project's haul route would be required to be approved by the City. Project haul trucks would use the most direct route to transport demolition and construction debris from the Project Sites to a designated recycling facility and/or landfill. Regional access to recycling facilities and/or landfills is available to the Project Sites via State Route 110/I-110 Freeway, located approximately 1.0 mile to the west; I-10 Freeway, located approximately 1.5 miles to the south; and State Route 110/I-10 Freeway located approximately 1.0 mile to the east. Direct local access to these freeways and the anticipated local haul route(s) from the Project Sites would consist of westbound East 6th Street to State Route 110/I-110 Freeway, southbound South San Pedro Street to the I-10 Freeway, and eastbound East 6th Street to State Route 110/I-10 Freeway.

5. REQUESTED DISCRETIONARY ACTIONS**(a) Site 1 Project**

In order to implement the proposed development of Site 1, the Project Applicant is requesting approval of the following discretionary actions from the City:

1. Pursuant to **LAMC Section 11.5.6**, as authorized by the Los Angeles Charter Section 555, the Project Applicant requests approval of a General Plan Amendment to amend the land use designation in the Central City Community Plan from Light Manufacturing to Regional Center Commercial to permit the construction of a new mixed use project containing a maximum of 382 residential dwelling units including 378 Restricted Affordable units at a Very Low Income level and 4 managers units, approximately 25,493 square feet of philanthropic uses that provide supportive services, and approximately 2,250 square feet of commercial space.²⁸
 - a. Amend Central City Community Plan Footnote 3 to permit:
 - i. The Project Site to exceed the 6:1 floor area.
2. Pursuant to **LAMC Section 12.32 F**, the Project Applicant requests approval of a Zone Change and Height District Change from M2-2D (Light Industrial Zone, Height District No. 2 with D Limitation) to C2-4D (Commercial Zone, Height District No. 4 with D Limitation) to permit the construction of a new mixed-use project containing a maximum of 382 residential dwelling units including 378 Restricted Affordable units at a Very Low Income level and 4 managers' units, approximately 25,493 square feet of philanthropic uses that

²⁸ Based on affordability levels defined by State of California Housing and Community Development standards.

provide supportive services and approximately 2,250 square feet of commercial space. The Project's proposed floor area ratio is equal to 8.1 to 1.

- a. Pursuant to **LAMC Section 11.5.11 (e) and California Government Code 65915(k)**, the Project Applicant is requesting the following incentives in connection with the proposed 100 percent affordable project:
 - i. A 35 percent floor area increase from the otherwise applicable 6:1 FAR to permit approximately 222,574 square feet of floor area;
 - ii. 26,060 square feet of open space and 48 trees (a 33 percent reduction in required open space and a 50 percent reduction in the number of required trees) in lieu of the 38,200 square feet of open space and 96 trees required pursuant to LAMC Section 12.21 G, and to permit up to 76 percent of the open space to be provided as interior common area (47 percent or 12,285 square feet) and covered outdoor areas (28 percent or 7,305 square feet) in lieu of LAMC Section 12.21 G's maximum 25 percent interior common open space limitation and its requirement that all open spaces be open to the sky;^{29,30}
 - iii. No parking space shall be required for dwelling units set aside for households earning less than 50 percent of the Area Medium Income as determined by the Housing and Community Investment Department.
3. Pursuant to **LAMC. Section 16.05**, the Project Applicant requests the approval of Site Plan Review findings for a project that proposes more than 49 new residential dwelling units.
4. Pursuant to **California Government Code Sections 66473.1 and 66474 (Subdivision Map Act) and LAMC Section 17.01 and 17.15**, the Project Applicant requests approval of a phased Vesting Airspace Tentative Tract Map to permit the merger and re-subdivision of the land and the creation of one master (ground) lot and three air space lots necessary to facilitate the development of a mixed-use project, as well as approval of a haul route. The Project Applicant also requests to record the Final Map in phases. Phase 1 shall include Lot 1, Lot 3 and Lot 4. Phase 2 shall include Lot 2.
 - i. Lot 1: Master Lot (Master Lot)
 - ii. Lot 2: 12-story building (Airspace)
 - iii. Lot 3: Portion of 18-story building (Airspace)

²⁹ LAMC Section 12.21 G.2(a)(4)(i) limits interior common open spaces to 25 percent of total exterior common area.

³⁰ LAMC Section 12.21 G.2(a)(1)(i) requires open spaces to be open to the sky, whereas the proposed exterior areas are covered by floors above or trellises.

- iv. Lot 4: Portion of 18-story building (Airspace)
- 5. Haul Route approval.
- 6. A waiver for a 3-foot dedication along Crocker Street, in lieu of a 2- to 4-foot dedication.

Pursuant to various sections of the LAMC, the Project Applicant will request approvals and permits from the Building and Safety Department (and other municipal agencies) for project construction actions including, but not limited to, the following: demolition including street trees, excavation, shoring, grading, foundation, and building and tenant improvements.

(b) Site 2 Project

In order to implement the proposed development of Site 2, the Project Applicant is requesting approval of the following discretionary actions from the City:

1. Pursuant to **LAMC Section 11.5.6**, as authorized by the Los Angeles Charter Section 555, the Project Applicant requests approval of a General Plan Amendment to amend the land use designation in the Central City Community Plan from Light Manufacturing to Regional Center Commercial to permit the construction of a new mixed-use project containing a maximum of 303 residential dwelling units with 298 units designated Restricted Affordable units at a Very Low Income level and 5 managers units, with approximately 20,300 square feet of commercial space.³¹
2. Pursuant to **LAMC Section 12.32 F**, the Project Applicant requests approval of a Zone Change and Height District Change from M2-2D (Light Industrial Zone, Height District No. 2 with D Limitation) to C2-4D (Commercial Zone, Height District No. 4 with D Limitation) to permit the construction of a new mixed-use project containing a maximum of 303 residential dwelling units with 298 units designated Restricted Affordable units at a Very Low Income level, with supportive services and approximately 20,300 square feet of commercial space. The Project's proposed floor area ratio is equal to 3.4 to 1.
 - a. Pursuant to **LAMC Section 11.5.11 (e) and California Government Code 65915(k)**, the Project Applicant is requesting the following incentives in connection with a 100 percent Restricted Affordable project:
 - i. To permit 27 percent (9,145 square feet) of the common open space be provided in interior common areas, 30 percent (or 10,040 square feet) of the provided open space to be covered by a structure or trellis and 38 trees in lieu of LAMC Section 12.21 G that limits the interior common areas to 25 percent of required (or 7,574 square feet), mandates all exterior areas to be open to the sky and requires 96

³¹ Based on affordability levels as set by State of California Housing and Community Development standards.

trees. The Project provides one percent (2,700 square feet) more (33,000 square feet) open space than required (30,300 square feet) by Code,³²³³

- ii. No parking space shall be required for dwelling units set aside for households earning less than 50 percent of the Area Medium Income as determined by the Housing and Community Investment Department.
3. Pursuant to **LAMC Section 16.05**, the Project Applicant requests the approval of Site Plan Review findings for a project that proposes more than 49 new residential dwelling units.
4. Pursuant to **California Government Code Sections 66473.1, 66474 (Subdivision Map Act) and LAMC Section 17.01 and 17.15**, the Project Applicant requests approval of a Vesting Airspace Tentative Tract Map to permit the merger and re-subdivision of the land and the creation of one master (ground) lot and four air space lots necessary to facilitate the development of a mixed-use project, as well as approval of a haul route.
 - i. Lot 1: Ground Lot
 - ii. Lot 2: Portion of 19-story Building (Airspace)
 - iii. Lot 3: Portion of 19-story building (Airspace)
 - iv. Lot 4: 4-story Parking Structure (Airspace)
 - v. Lot 5: Portion of 19-story building (Airspace)
5. Haul Route approval

Pursuant to various sections of the LAMC, the Applicant will request ministerial approvals and permits from the Building and Safety Department (and other municipal agencies) for project construction actions including, but not limited to, the following: demolition including the removal of street trees, excavation, shoring, grading, foundation, and building and tenant improvements.

³² LAMC Section 12.21 G.2(a)(4)(i) limits interior common open spaces to 25 percent of total, or 9,550 square feet.

³³ LAMC Section 12.21 G.2(a)(1)(i) requires open spaces to be open to the sky, whereas the proposed exterior areas are covered by floors above or trellises.

3. SCEA CRITERIA AND TRANSIT PRIORITY PROJECT CONSISTENCY ANALYSIS

Project Consistency with the Transit Priority Project Criteria

As discussed in Section 1 (Introduction), a Sustainable Communities Environmental Assessment (SCEA) may be prepared for a project that (a) is consistent with the general use designation, density, building intensity, and applicable policies specified for the project area in a sustainable communities strategy (see California Public Resources Code Section 21155(a) and (b) is a “transit priority project” (as defined in California Public Resources Code Section 21155(b)). As further described below, the Project meets these criteria and thus, is eligible for certain CEQA streamlining benefits by way of preparing a SCEA for purposes of clearance under the California Environmental Quality Act (CEQA).

1. Is consistent with the general use designation, density, building intensity, and applicable policies specified for the project area in either a sustainable communities strategy or an alternative planning strategy, for which the California Air Resources Board (CARB) has accepted a metropolitan planning organization’s determination that the sustainable communities strategy or the alternative planning strategy would, if implemented achieve the greenhouse gas emission reduction targets established by CARB;
2. Is a TPP in that the project meets the following criteria:
 - a. Contains at least 50 percent residential use, based on total building square footage and if the project contains between 26 percent and 50 percent nonresidential uses, a floor area ratio of not less than 0.75;
 - b. Provides a minimum net density of at least 20 units per acre; and
 - c. Is located within one-half mile of a major transit stop or high-quality transit corridor included in a regional transportation plan/sustainable communities strategy (RTP/SCS).

Consistency with Criterion #1 – The Project is consistent with the general use designation, density, and building intensity and applicable policies of specified for the project area in either a sustainable communities strategy or an alternative planning strategy.

The Southern California Association of Governments (SCAG) is the metropolitan planning organization for the Project area, and the applicable “sustainable communities strategy” is SCAG’s 2016-2040 Regional Transportation Plan/Sustainable Communities Strategy (2016-2040 RTP/SCS), adopted on April 7, 2016.

The Project is consistent with the General Use Designation, Density, and Building Intensity

The Project is consistent with the general land use designation, density, and building intensity in the SCAG 2016-2040 RTP/SCS. The 2016-2040 RTP/SCS balances Southern California’s regional future mobility and housing needs with economic, environmental and public health goals. For the SCAG region, CARB has set greenhouse gas reduction targets to eight percent below 2005 per capita emissions levels by 2020, and 13 percent below 2005 per capita emissions levels by 2035. On June 28, 2016, CARB accepted SCAG’s

quantification of GHG emission reductions from the 2016-2040 RTP/SCS and determined that the 2016-2040 RTP/SCS would, if implemented, achieve the 2020 and 2035 GHG emission reduction targets and thus, met the criteria to be a sustainable communities strategy.

Using data collected from local jurisdictions, including general plans, SCAG categorized existing land use into land use types, then combined the land use types into 35 Place Types, and then classified sub-regions into one of three land use development categories (LDCs): urban, compact, or standard. SCAG used each of these categories to describe the conditions that exist and/or are likely to exist within each specific area of the region. (2016-2040 RTP/SCS, pp. 20-21.)

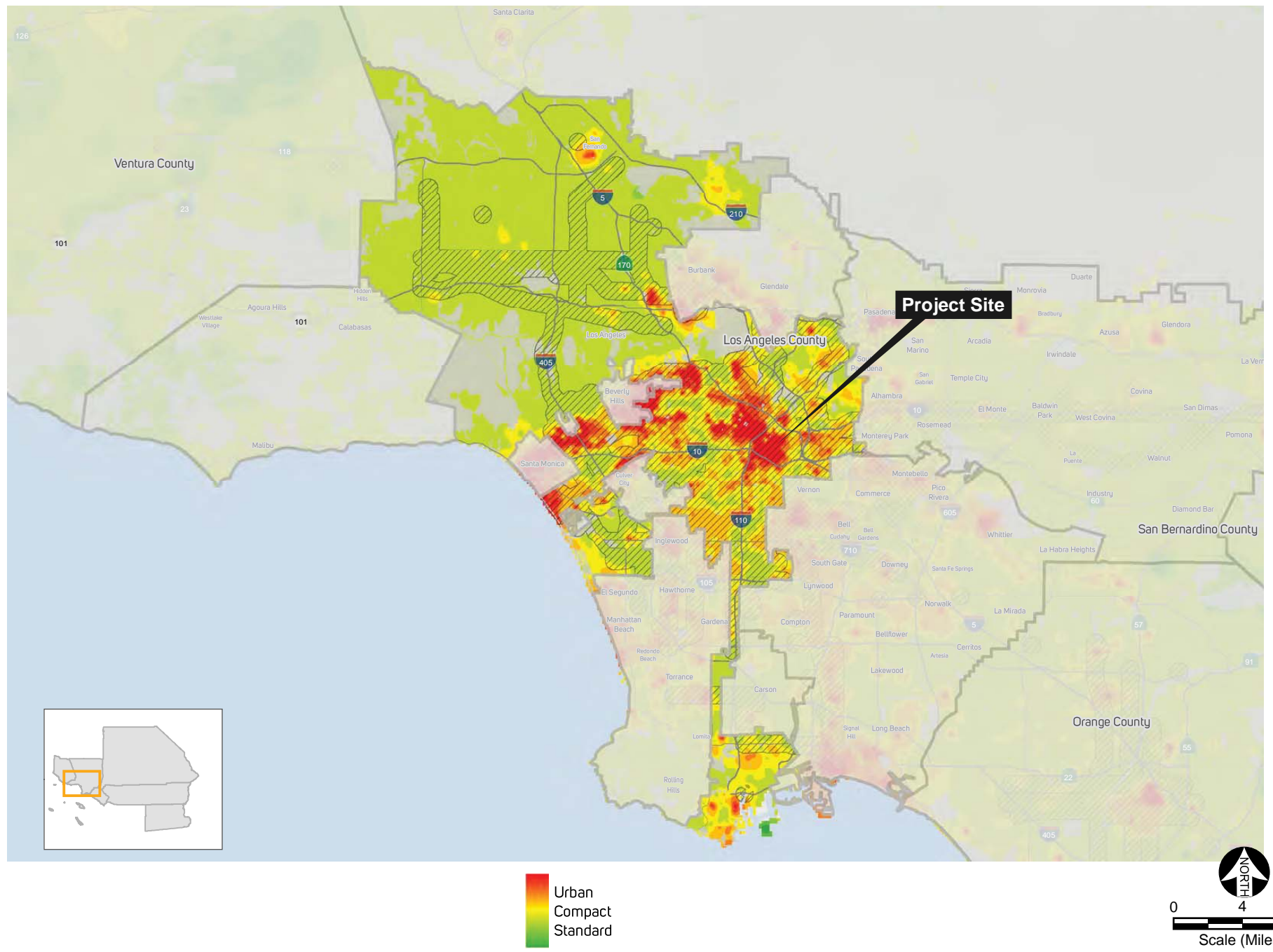
The Project Sites are located in an area that is within an “Urban” Land Development Category (LDC) – the highest density and most intense land development category assessed in the 2016-2040 RTP/SCS (refer to Figure 3-1 and Figure 3-2).

The 2016-2040 RTP/SCS describes the Urban LDC as follows:

These areas are often found within and directly adjacent to moderate and high density urban centers. Nearly all urban growth in these areas would be considered infill or redevelopment. The majority of housing is multifamily and attached single-family (townhome), which tend to consume less water and energy than the larger types found in greater proportion in less urban locations. These areas are supported by high levels of regional and local transit service. They have well-connected street networks, and the mix and intensity of uses result in a highly walkable environment. These areas offer enhanced access and connectivity for people who choose not to drive or do not have access to a vehicle.(page 20)

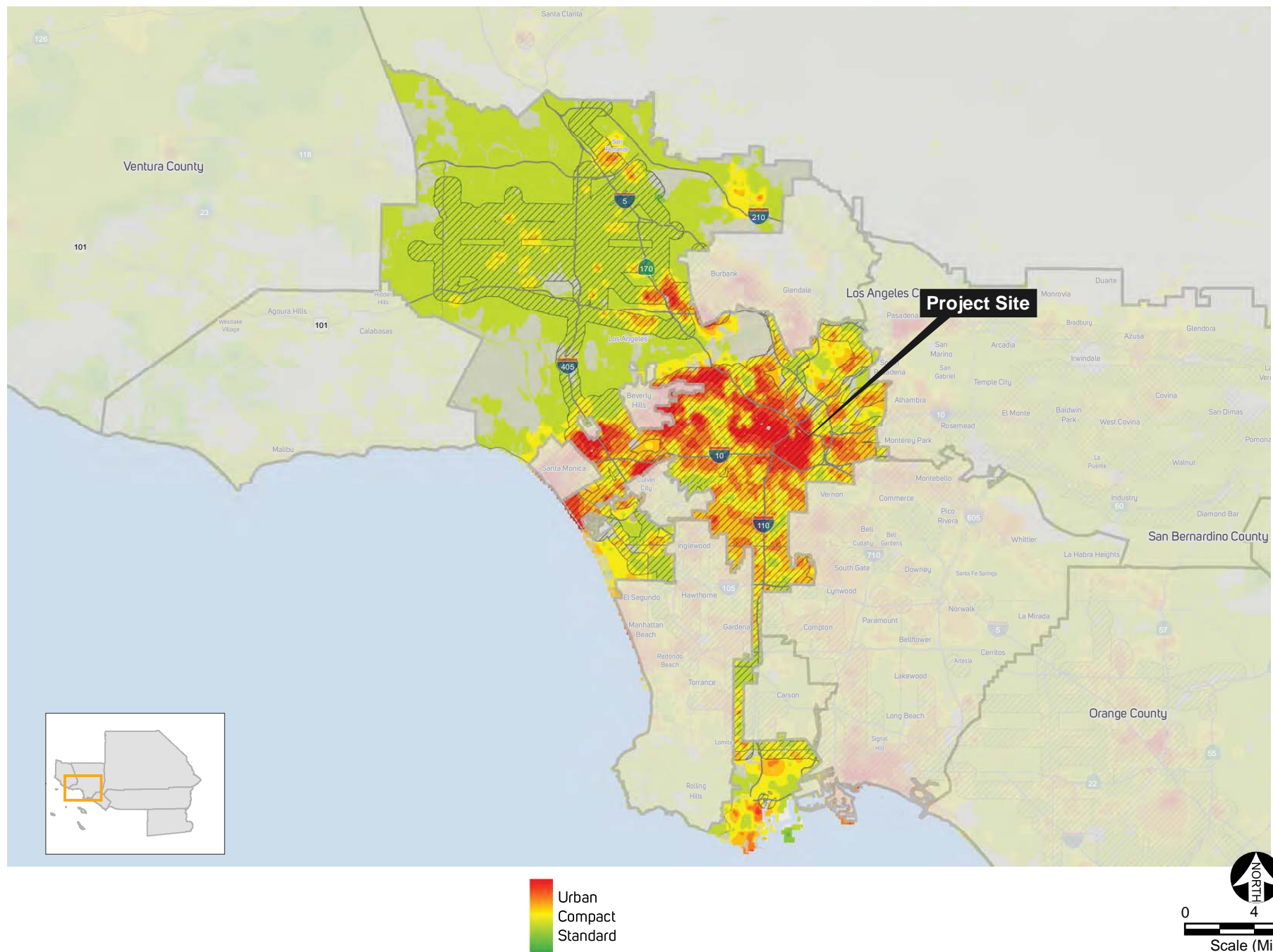
As the Project proposes to develop the Project Sites, located within the Central City Community Plan area, with multi-family dwelling units, the Project would be consistent with the Urban LDC. The Project is also located within a High Quality Transit Area (HQTA) as defined by SCAG and a Transit Priority Area as defined by SB 743, each of which support transit opportunities and promote a walkable environment.¹ Regional vehicular access to the Project Sites is provided by the U.S. 101 (Hollywood) Freeway. Additional freeways providing indirect access to the Project Sites include the I-10 (Santa Monica) Freeway and State Route 110/I-110 (Pasadena/Harbor) Freeway. Local access to the Project Sites is provided via South San Pedro Street and 6th Street, and Crocker Street. The Project Sites are also well served by public transit, including Metro Local Lines 17, 18, 51/52/352, 53, 60, 62, 720, and 760; Gardena Line 1X; and Montebello 40 and 90. Ridership information for public transit near the Project Sites is shown on Table 3-1.

¹ SCAG, *High Quality Transit Areas 2012 – SCAG Region*, http://gisdata-scag.opendata.arcgis.com/datasets/1f6204210fa9420b87bb2e6c147e85c3_0, accessed on June 14, 2018.



Source: SCAG, 2015.

Figure 3-1
Forecasted Regional Development Types
by Land Development Categories (2012) - Los Angeles City Subregion



Source: SCAG, 2015.

Figure 3-2
Forecasted Regional Development Types
by Land Development Categories (2040) - Los Angeles City Subregion

Table 3-1
Average Daily Public Transit Ridership Near the Project Sites

Local Lines	Weekday	Saturday	Sunday
16/17/316	21,072	14,684	12,293
18	17,976	13,941	10,085
51/52/352	23,301	18,529	13,738
53	12,698	8,572	5,674
60	14,830	11,455	9,575
62	4,266	2,727	1,991
720	26,864	16,701	13,531
760	4,286	1,819	- ¹
Gardena Line 1X	- ²	- ²	- ²
Montebello 40	- ²	- ²	- ²
Montebello 90	- ²	- ²	- ²
¹ No service on Sundays.			
² Information not available.			
Source: Metro, http://isotp.metro.net/MetroRidership/Index.aspx , April 19, 2018.			

The 2016-2040 RTP/SCS states that HQTAs may include high-density development, support pedestrian and bike infrastructure, reduce parking requirements, and retain affordable housing near transit. The Project, as described below, is a high-density mixed-use residential, commercial, and philanthropic institution project consisting primarily of restricted affordable dwelling units and proposes a significantly reduced number of parking spaces to encourage the use of alternative modes of transportation. Accordingly, the Project is fully consistent with the 2016-2040 RTP/SCS's characterization of HQTAs.

The 2016-2040 RTP/SCS includes various urban footprint place types, including mixed use, residential, commercial, office, R&D, industrial, civic, and open space.² More specifically, the Urban Mixed-Use and Urban Residential footprints are characterized as the following:

² SCAG 2016-2040 RTP/SCS Background Documentation, Urban Footprint Place Types, http://scagrtpscscs.net/documents/2016/supplemental/UrbanFootprint_PlaceTypesSummary.pdf. Refer to Appendix C; see also Place Types Categorized into Land Development Categories, available at: http://scagrtpscscs.net/Documents/2016/supplemental/LDC_PlaceType.pdf.

Urban Mixed-Use

Urban Mixed Use	
	Land Use Mix <i>Residential 18%</i> <i>Employment 16%</i> <i>Mixed Use 45%</i> <i>Open Space/Civic 21%</i>
	Residential Mix <i>SF Large Lot 0%</i> <i>SF Small Lot 0%</i> <i>Townhome 0%</i> <i>Multi-Family 100%</i>
	Built Environment <i>Intersections per mile 200</i> <i>Average Floors 23</i> <i>Floors Range 15 – 100</i> <i>Total Net FAR 9.0</i>
	Employment Mix <i>Office 80%</i> <i>Retail 20%</i> <i>Industrial 0%</i>
Gross Density Range (per acre) <i>Household 40-500+</i> <i>Employee 50-500+</i>	
Average Density (per acre) <i>Household 85</i> <i>Employee 266</i>	


Urban Mixed-Use districts are exemplified by a variety of intense uses and building types. Typical buildings are between 10 and 40+ stories tall, with offices and/or residential uses and ground-floor retail space. Parking is typically structured, below or above ground. Workers, residents, and visitors are well served by transit and can walk or bike for many of their transportation needs.

Source: SCAG, SCS Background Documentation Appendix, April 2016.

The land use mix for the Urban Mixed-Use place type is typically approximately 18 percent residential, 16 percent employment, 45 percent mixed use, and 21 percent open space/civic. The residential mix is 100 percent multifamily. The average total net floor area ratio is 9.0; floors range from 15 – 100 stories, and the gross density ranges from 50 – 500 employees per acre and 40 – 500+ households per acre.³

³ *Ibid.*

Urban Residential

Urban Residential		
	Land Use Mix <i>Residential</i> 64% <i>Employment</i> 4% <i>Mixed Use</i> 12% <i>Open Space/Civic</i> 21%	Residential Mix <i>SF Large Lot</i> 0% <i>SF Small Lot</i> 0% <i>Townhome</i> 0% <i>Multi-Family</i> 100%
	Built Environment <i>Intersections per mile</i> 200 <i>Average Floors</i> 18 <i>Floors Range</i> 5 – 60 <i>Total Net FAR</i> 9.0	Employment Mix <i>Office</i> 22% <i>Retail</i> 78% <i>Industrial</i> 0%
	Gross Density Range <i>(per acre)</i> <i>Household</i> 75-500+ <i>Employee</i> 0-50+	Average Density <i>(per acre)</i> <i>Household</i> 131 <i>Employee</i> 44

Urban Residential place types “are typically found within or adjacent to major downtowns. They include high- and mid-rise residential towers, with some ground-floor retail space. Parking [is] usually structured below or above ground. Residents are well served by transit, and can walk or bicycle for many of their daily needs.

Source: SCAG, SCS Background Documentation Appendix, April 2016.

The land use mix for the Urban Residential place type is typically approximately 64 percent residential, 4 percent employment, 12 percent mixed use and 21 percent open space/civic. The residential mix is 100 percent multifamily. The average total net FAR is 9.0; floors range from 15 – 100 stories; and the gross density ranges from 0 – 50 employees per acre and 75 – 500+ households per acre.⁴

The Project is a mixed-use development consisting of residential, commercial, and philanthropic institution land uses in a highly urbanized part of Downtown Los Angeles to serve an existing homeless population on sites that are already developed (Site 1 is developed with a food service building and surface parking, and Site 2 is developed with surface parking). Land uses within the area of the Project Sites include a mix of homeless services, office, commercial, restaurant, retail, industrial, and residential uses, primarily in low-rise buildings. Mid-rise buildings are interspersed throughout the area of the Project Sites, and the Weingart Center Association building located to the south of Site 1 is 10 stories.

The Project is approximately 88 percent residential, and the housing consists entirely of multi-family residential dwelling units. The area of the Project Sites is supported by high levels of regional and local

⁴ Ibid.

transit, including Metro Local Lines 17, 18, 51/52/352, 53, 60, 62, 720, and 760; Gardena Line 1X; and Montebello 40 and 90. Also, the Project Sites are located 0.7 miles southeast of Metro's Purple/Red line station at Pershing Square and 0.8 miles southwest of Metro's Gold line station at Little Tokyo/Arts District. Further, the Project Sites are located less than 1.0 mile from Metro's Regional Connector 1st Street portal, which is currently under construction.

The density of the Site 1 Project would be 602 residential dwelling units per acre, while the density of the Site 2 Project would be 270 residential dwelling units per acre. The combined density of the Site 1 and Site 2 Projects would be 391 residential dwelling units per acre.

More specifically, the Project consists of development of two sites: Site 1 and Site 2. The Site 1 Project consists of the demolition and removal of an existing food service building and surface parking lot and the construction of a two-building development, one 18-story building called Tower 1A and one 12-story building called Tower 1B, containing a maximum of 382 residential dwelling units, approximately 25,493 square feet of philanthropic uses that provide supportive services and approximately 2,250 square feet of commercial retail space.⁵ Of the 382 residential dwelling units, 378 residential dwelling units would be designated restricted affordable at the Very Low-Income level. Approximately 80 percent of the restricted affordable units would be set aside for permanent supportive housing of the homeless, and up to 20 percent of the restricted affordable units would be set aside for individuals and families. The remaining 4 residential dwelling units would be designated as manager's units. The total floor area of Site 1 would be 222,574 square feet, or an 8.1:1 FAR.

The Site 2 Project includes demolition and removal of the existing surface parking lot and development of the site with 164,875 square feet, 3.4:1 FAR, of mixed-use residential and commercial land uses in two buildings (Building 1 and Building 2). The Site 2 Project would include a total of 303 residential dwelling units (298 Very Low Income affordable units and 5 manager units), 3,200 square feet of commercial retail land uses, and 17,100 square feet of office uses. Of the 298 units set aside for very low-income households, not less than 60 percent of the units would be set aside for permanent supportive housing of the homeless, and up to 40 percent of the restricted affordable units would be set aside for individuals and families.

Accordingly, the Project is consistent with the general use designation, density, building intensity, and applicable policies specified for the area of the Project Sites in the SCAG 2016-2040 RTP/SCS.

The Project is consistent with the Applicable 2016-2040 RTP/SCS Policies Specified for the Project Area

The Project is consistent with SCAG's growth projections for the City, which supports the conclusion that the Project is consistent with SCAG policies. (Refer to Section 5, Environmental Impact Analysis, Checklist Topic 10, Population and Housing, for a discussion on the Project's consistency with SCAG's population and housing growth projections.) Additionally, as discussed below in Table 3-2, the Project would be consistent with applicable goals and policies of SCAG's 2016-2040 RTP/SCS.

⁵ The food service building is operated by Weingart Center Association for the use by Weingart clients living in the Weingart Center.

Table 3-2
Consistency with SCAG's 2016-2040 RTP/SCS

Goals and Policies	Consistency Assessment
2016-2040 RTP/SCS Goal 1 Align the plan investments and policies with improving regional economic development and competitiveness.	Not Applicable. This Goal is directed towards SCAG and the City of Los Angeles (City) and not does apply to the Project.
2016-2040 RTP/SCS Goal 2 Maximize mobility and accessibility for all people and goods in the region.	<p>Consistent. The Project Sites are located in a highly urbanized area in the City. The Project would develop 685 residential dwelling units plus approximately 25,493 square feet of philanthropic institutional land uses and approximately 22,500 square feet of commercial land uses within an HQT, as defined by SCAG, and a transit priority area as defined by SB 743 for the purpose of serving an existing homeless population that currently resides in Downtown Los Angeles. The Project Sites are in proximity to existing bus lines (including Metro Local Lines 17, 18, 51/52/352, 53, 60, 62, 720, and 760; Gardena Line 1X; and Montebello 40 and 90). Also, the Project Sites are located 0.7 mile southeast of Metro's Purple/Red line station at Pershing Square and 0.8 mile southwest of Metro's Gold line station at Little Tokyo/Arts District. Further, the Project Sites are located less than 1.0 mile from Metro's Regional Connector 1st Street portal, which is currently under construction.</p> <p>In addition, the Project would provide jobs training with the goal of enabling formerly homeless individuals to reenter the workforce. This would directly impact the economy positively by creating new workers who would in turn have increased spending power and thus, increase their economic consumption. The Project also would create over 22,000 square feet of new commercial retail, and office uses that would contribute to the economy by creating new businesses, jobs, and sales tax revenue.</p>
2016-2040 RTP/SCS Goal 3 Ensure travel safety and reliability for all people and goods in the region.	Not Applicable/Consistent. Though not necessarily applicable on a project-specific basis, the Project would ensure safe travel at and near the Project Sites by improving the public sidewalks adjacent to Project Sites. In addition, the Project would provide 493 secure bicycle spaces. Also, the Project would include street lighting and lighting of all pedestrian pathways adjacent to the Project Sites to allow for safe travel. Furthermore, the Project would be subject to the site plan review requirements of the City and would be required to coordinate with the Department of Building and Safety and the Los Angeles Fire Department to ensure that all access roads, driveways and parking areas would not create a design hazard to local roadways.

Table 3-2
Consistency with SCAG's 2016-2040 RTP/SCS

Goals and Policies	Consistency Assessment
<p>2016-2040 RTP/SCS Goal 4 Preserve and ensure a sustainable regional transportation system.</p>	<p>Not Applicable. This goal is directed towards SCAG transportation projects and does not apply to the Project. The 2016-2040 RTP states, “A transportation system is sustainable if it maintains its overall performance over time in an equitable manner with minimum damage to the environment, and at the same time does not compromise the ability of future generations to address their transportation needs. Sustainability, therefore, pertains to how our decisions today impact future generations. One of the measures used to evaluate system sustainability is the total inflation-adjusted cost per capita to maintain our overall multimodal transportation system performance at current conditions. The 2016-2040 RTP/SCS includes two additional new measures to support this outcome: State Highway System pavement condition and local roads pavement condition.”⁶</p> <p>Nevertheless, the Project would contribute to achieving this goal. As discussed in the Project’s Traffic Impact Study (located in Appendix M), the Project would not create a significant impact at any of the study intersections. Additionally, as discussed in the Traffic Impact Study, the Project did not meet or exceed any of the four thresholds defined in the Freeway Impact Analysis Agreement executed between Caltrans and Los Angeles Department of Transportation (LADOT) in December 2015. As indicated in the LADOT’s Transportation Impact Assessment for the Project dated May 3, 2018, the Project would not create a significant impact at any CMP monitoring location.</p> <p>The Project would minimize impacts on the existing roadway system by placing housing near jobs and transit and providing ample bicycle parking and bicycle and pedestrian infrastructure to disincentivize automobile use and encourage biking and walking. The Project also encourages transit use through the Project Sites’ location near existing transit, thereby contributing to ridership and sustainability of the multimodal transportation system in the region.</p>

⁶ SCAG, 2016-2040 RTP/SCS, April 2016 (page 164).

Table 3-2
Consistency with SCAG's 2016-2040 RTP/SCS

Goals and Policies	Consistency Assessment
<p>2016-2040 RTP/SCS Goal 5 Maximize the productivity of our transportation system.</p>	<p>Consistent. The Project includes 685 residential dwelling units plus approximately 25,493 square feet of philanthropic institutional land uses and approximately 22,500 square feet of commercial land uses for the purpose of serving an existing homeless population that currently resides in Downtown Los Angeles. Given the Project Sites' location close to transit, the Project would encourage the utilization of transit as a mode of transportation to and from the Project area. Thus, the Project would contribute to the productivity and use of the regional transportation system by providing housing and jobs near transit. Moreover, as discussed in the Project's Traffic Impact Study (located in Appendix M), the Project would not create a significant impact at any of the study intersections. Additionally, as discussed in the Traffic Impact Study, the Project would not create a significant impact at any CMP monitoring location.</p>
<p>2016-2040 RTP/SCS Goal 6 Protect the environment and health of our residents by improving air quality and encouraging active transportation (e.g., bicycling and walking).</p>	<p>Consistent. The Project would remove two large surface parking lots and construct dense affordable housing near jobs and transit. Removal of the parking lot would reduce urban runoff and the heat island effect while promoting smart growth by placing housing near jobs and transit, reducing vehicle trips and improving air quality. The Project has very little parking for the residential uses and instead focuses on providing ample bicycle parking and infrastructure to further dis-incentivize automobile use and encourage biking and walking. The Project would be built to the current building codes that require sustainability measures such as low flow fixtures and efficient energy systems. The Project would also incorporate approximately 10,500 square feet of solar voltaic panels on the roof levels. Additionally, the Project would incorporate approximately 34,000 square feet of outdoor open space in the form of landscaped courtyards, terraces and pet areas, as well as plant approximately 86 trees on-site in an area that is currently lacking green space and trees. These green areas and trees would further improve air quality and create much needed outdoor recreation amenities in Skid Row. The Project also would activate the sidewalks at the Project Sites by incorporating street-level retail and neighborhood serving uses, while simultaneously creating internal infrastructure for bike parking and encouraging walking, biking, and transit use.</p>
<p>2016-2040 RTP/SCS Goal 7 Actively encourage</p>	<p>Consistent. The Project would meet/exceed the</p>

Table 3-2
Consistency with SCAG's 2016-2040 RTP/SCS

Goals and Policies	Consistency Assessment
and create incentives for energy efficiency, where possible.	requirements of the City's Green Building Code and the California Green Building Code by including at least 20 percent of the Project's vehicle parking spaces to be capable of accommodating electric vehicle (EV) charging stations, and of that number, 5 percent would be wired as EV charging stations. Additionally, the Project would incorporate approximately 10,500 square feet of solar voltaic panels on the roof levels. Additionally, the Projects would include other features such as high-efficiency toilets with a flush volume of 1.0 gallon per flush, or less; showerheads with a flow rate of 1.5 gallons per minute, or less, and residential bathroom faucets equipped with aerators to reduce flow to 1.0 gallons per minute, or less.
2016-2040 RTP/SCS Goal 8 Encourage land use and growth patterns that facilitate transit and active transportation.	Consistent. The Project Sites are located in a highly urbanized area in the City within a HQTa and a TPA. The Project would develop 685 residential dwelling units plus approximately 25,493 square feet of philanthropic institutional land uses and approximately 22,500 square feet of commercial land uses within an HQTa, as defined by SCAG, and a transit priority area as defined by SB 743 for the purpose of serving an existing homeless population that currently resides in Downtown Los Angeles. The Project Sites are in proximity to existing bus lines (including Metro Local Lines 17, 18, 51/52/352, 53, 60, 62, 720, and 760; Gardena Line 1X; and Montebello 40 and 90). Also, the Project Sites are located 0.7 mile southeast of Metro's Purple/Red line station at Pershing Square and 0.8 mile southwest of Metro's Gold line station at Little Tokyo/Arts District. Further, the Project Sites are located less than 1.0 mile from Metro's Regional Connector 1 st Street portal, which is currently under construction. Moreover, the location of the Project Sites promotes the use of a variety of transportation options and access, which includes walking and the use of public transportation.
2016-2040 RTP/SCS Goal 9 Maximize the security of the regional transportation system through improved system monitoring, rapid recovery planning, and coordination with other security agencies.	Not Applicable. This goal is directed towards SCAG to ensure the safety and security of the regional transportation system. No further discussion is required.
2016-2040 RTP/SCS Guiding Policy 1 Transportation investments shall be based on SCAG's adopted regional Performance Indicators.	Not Applicable. This policy is directed towards SCAG in allocating transportation investments. This goal does not apply to the individual development projects and no further analysis is required.

Table 3-2
Consistency with SCAG's 2016-2040 RTP/SCS

Goals and Policies	Consistency Assessment
<p>2016-2040 RTP/SCS Guiding Policy 2 Ensuring safety, adequate maintenance and efficiency of operations on the existing multimodal transportation system should be the highest RTP/SCS priorities for any incremental funding in the region.</p>	<p>Not Applicable. This policy is directed towards SCAG in allocating transportation system funding. Nevertheless, the Project would contribute to a safe, well maintained, and efficient multimodal transportation system. The Project would provide landscaping along the public rights-of-way and active ground-floor uses, which promotes and supports pedestrian activity in the area. As discussed in the Project's Traffic Impact Study (located in Appendix M), the Project would not create a significant impact at any of the study intersections. Additionally, the Project would not create a significant impact at any CMP monitoring location.</p>
<p>2016-2040 RTP/SCS Guiding Policy 3 RTP/SCS land use and growth strategies in the RTP/SCS will respect local input and advance smart growth initiatives.</p>	<p>Not Applicable. This Goal is directed towards SCAG and the City and not does apply to the Project. Nevertheless, the Project Sites are located in a highly urbanized area in the City, and the Project would support this policy through its development of 685 residential dwelling units plus approximately 25,493 square feet of philanthropic institutional land uses and approximately 22,500 square feet of commercial land uses within an HQTAs, as defined by SCAG, and a transit priority area as defined by SB 743 for the purpose of serving an existing homeless population that currently resides in Downtown Los Angeles.</p> <p>Moreover, the location of the Project Sites promotes the use of a variety of transportation options, which includes walking and the use of public transportation.</p>
<p>2016-2040 RTP/SCS Guiding Policy 4 Transportation demand management (TDM) and active transportation will be focus areas, subject to Policy 1.</p>	<p>Not Applicable. This policy is directed towards transportation investment by SCAG. However, the Project would support active transportation (e.g. walking and bicycling) by providing landscaping along the public rights-of-way and active ground floor uses, which promotes and supports pedestrian activity in the area. Additionally, the Project Sites' location within an HQTAs promotes the use of public transit and pedestrian activity.</p>
<p>2016-2040 RTP/SCS Guiding Policy 5 HOV gap closures that significantly increase transit and rideshare usage will be supported and encouraged, subject to Policy 1.</p>	<p>Not Applicable. This policy is directed towards transportation investment by SCAG to support high occupancy vehicles (HOV), transit and rideshare. Although this policy is not applicable to the Project, the Project Sites' location in an HQTAs promotes the use of public transit and pedestrian activity.</p>
<p>2016-2040 RTP/SCS Guiding Policy 6 The RTP/SCS will support investments and strategies to reduce non-recurrent congestion and demand for single occupancy vehicle use, by leveraging</p>	<p>Not Applicable. This Guiding Policy relates to SCAG goals in supporting investments and strategies to reduce congestion and the use of single occupancy vehicles. Nevertheless, the Project Sites are located</p>

Table 3-2
Consistency with SCAG's 2016-2040 RTP/SCS

Goals and Policies	Consistency Assessment
advanced technologies.	within an HQTAs (as defined SCAG) and a transit priority area (as defined by SB 743). The Project would support public transportation and other alternative methods of transportation (e.g., walking and biking).
2016-2040 RTP/SCS Guiding Policy 7 The RTP/SCS will encourage transportation investments that result in cleaner air, a better environment, a more efficient transportation system and sustainable outcomes in the long run.	Not Applicable. This policy is directed towards SCAG transportation projects to encourage and support transportation investments.
2016-2040 RTP/SCS Guiding Policy 8 Monitoring progress on all aspects of the Plan, including the timely implementation of projects, programs, and strategies, will be an important and integral component of the Plan.	Not Applicable. This policy is directed towards SCAG and governmental agencies to encourage and support transportation investments, and not does apply to the Project.
2016-2040 RTP/SCS Land Use Policy 1 Identify regional strategic areas for infill and investment.	Not Applicable. This policy is directed towards SCAG to identify regional strategic areas. Nevertheless, the Project is an infill development in an HQTAs (defined by SCAG) and within a transit priority area (as defined by SB 743).
2016-2040 RTP/SCS Land Use Policy 2 Structure the plan on a three-tiered system of centers development. ⁷	Not Applicable. This Land Use Policy is directed towards SCAG and not does apply to the Project. Nevertheless, the Project is located in an “existing” center where existing transportation infrastructure exists to support the proposed density of the Project.
2016-2040 RTP/SCS Land Use Policy 3 Develop “Complete Communities.”	Consistent. SCAG describes the development of “complete communities” to provide areas that encourage households to be developed with a range of mobility options to complete short trips. The 2016-2040 RTP/SCS supports the creation of these districts through a concentration of activities with housing, employment, and a mix of retail and services, located in proximity to each other, where most daily needs can be met within a short distance of home, providing residents with the opportunity to patronize their local area and run daily errands by walking or cycling rather than traveling by automobile. ⁸

⁷ The 2016-2040 RTP/SCS reaffirms the 2008 Advisory Land Use Policies that were incorporated into the 2012-2035 RTP/SCS. The complete language from the original SCAG Advisory Land Use Policies is “Identify strategic centers based on a three-tiered system of existing, planned and potential relative to transportation infrastructure. This strategy more effectively integrates land use planning and transportation investment.” A more detailed description of these strategies and policies can be found on pages 90–92 of the SCAG 2008 Regional Transportation Plan, adopted in May 2008.

⁸ SCAG, 2016-2040 RTP/SCS, April 2016 (page 79).

Table 3-2
Consistency with SCAG's 2016-2040 RTP/SCS

Goals and Policies	Consistency Assessment
	<p>As stated above, the Project would place residential and commercial land uses in a transit-rich area. The Project Sites' location near mass transit and in proximity to services, retail stores, and employment opportunities promotes the use of a variety of transportation options, which includes walking, biking, and the use of public transportation. Thus, the Project would be consistent with this land use policy to reduce vehicles-per-miles traveled.</p>
<p>2016-2040 RTP/SCS Land Use Policy 4 Develop nodes on a corridor.</p>	<p>Not Applicable. The 2016-2040 RTP/SCS describes nodes as mixed-use development centers at key locations that meet most of residents' daily needs and that support livable corridors. This policy is directed towards SCAG and City goals to identify and develop locations that promote nodes. The Project is located within an HQTa and a transit priority area. The Project's mixed-use design and location encourages the use of alternative transportation and walking and bicycling opportunities.</p>
<p>2016-2040 RTP/SCS Land Use Policy 5 Plan for additional housing and jobs near transit.</p>	<p>Consistent. The Project Sites are located in a highly urbanized area in the City. The Project would develop 685 residential dwelling units plus approximately 25,493 square feet of philanthropic institutional land uses and approximately 22,500 square feet of commercial land uses within an HQTa, as defined by SCAG, and a transit priority area as defined by SB 743 for the purpose of serving an existing homeless population that currently resides in Downtown Los Angeles. The Project Sites are in proximity to existing bus lines (including Metro Local Lines 17, 18, 51/52/352, 53, 60, 62, 720, and 760; Gardena Line 1X; and Montebello 40 and 90). Also, the Project Sites are located 0.7 mile southeast of Metro's Purple/Red line station at Pershing Square and 0.8 mile southwest of Metro's Gold line station at Little Tokyo/Arts District. Further, the Project Sites are located less than 1.0 mile from Metro's Regional Connector 1st Street portal, which is currently under construction.</p> <p>In addition, the Project would provide jobs training with the goal of enabling formerly homeless individuals to reenter the workforce. This would directly impact the economy positively by creating new workers who would in turn have increased spending power and thus, increase their economic consumption. The Project also would create approximately 22,500 square feet of new</p>

Table 3-2
Consistency with SCAG's 2016-2040 RTP/SCS

Goals and Policies	Consistency Assessment
	commercial, retail, and office uses that would contribute to the economy by creating new businesses, jobs, and sales tax revenue.
2016-2040 RTP/SCS Land Use Policy 6 Plan for changing demand in types of housing.	<p>Consistent. Of the 382 residential dwelling units that would be developed on Site 1, 378 residential dwelling units would be restricted to be affordable at the Very Low-Income level. Approximately 80 percent of these units would be set aside for permanent supportive housing for the homeless, and up to 20 percent would be set aside for individuals and families.</p> <p>Of the 303 residential dwelling units that would be developed on Site 2, 298 residential dwelling units also would be restricted to be affordable at the Very Low-Income level. Approximately 60 percent of these units would be set aside for permanent supportive housing for the homeless, and up to 40 percent would be set aside for individuals and families.</p>
2016-2040 RTP/SCS Land Use Policy 7 Continue to protect stable, existing single-family areas.	Consistent. The Project Sites are not located on or near, and would not displace, any existing single-family residential neighborhoods. The Project provides housing in the City on an infill lot to serve an existing homeless population.
2016-2040 RTP/SCS Land Use Policy 8 Ensure adequate access to open space and preservation of habitat.	Consistent. The Project Sites are located within an urbanized area within the City. Development of the Project would not remove any existing open space areas or habitat, since the Project Sites are fully developed. The Project would provide approximately 59,060 square feet of open space.
2016-2040 RTP/SCS Land Use Policy 9 Incorporate local input and feedback on future growth.	Not Applicable/Consistent. This Land Use Policy is directed towards SCAG and does not necessarily apply to the proposed Project. Regardless, the purpose of the Project is to respond to the City's need to serve and accommodate an existing homeless population.
2016-2040 RTP/SCS Benefit 1: The RTP/SCS will promote the development of better places to live and work through measures that encourage more compact development in certain areas of the region, varied housing options, bicycle and pedestrian improvements, and efficient transportation infrastructure.	Consistent. The Project Sites are located in a highly urbanized area in the City. The Project would develop 685 affordable residential dwelling units plus approximately 25,493 square feet of philanthropic institutional land uses and approximately 22,500 square feet of commercial land uses within an HQT, as defined by SCAG, and a transit priority area as defined by SB 743 for the purpose of serving an existing homeless population that currently resides in Downtown Los Angeles. The Project Sites are in proximity to existing bus lines

Table 3-2
Consistency with SCAG's 2016-2040 RTP/SCS

Goals and Policies	Consistency Assessment
	<p>(including Metro Local Lines 17, 18, 51/52/352, 53, 60, 62, 720, and 760; Gardena Line 1X; and Montebello 40 and 90). Also, the Project Sites are located 0.7 mile southeast of Metro's Purple/Red line station at Pershing Square and 0.8 mile southwest of Metro's Gold line station at Little Tokyo/Arts District. Further, the Project Sites are located less than 1.0 mile from Metro's Regional Connector 1st Street portal, which is currently under construction. Additionally, the Project includes 493 secure bicycle parking spaces.</p> <p>Of the 382 residential dwelling units that would be developed on Site 1, 378 residential dwelling units would be restricted to be affordable at the Very Low-Income level. Approximately 80 percent of these units would be set aside for permanent supportive housing for the homeless, and up to 20 percent would be set aside for individuals and families.</p> <p>Of the 303 residential dwelling units that would be developed on Site 2, 298 residential dwelling units also would be restricted to be affordable at the Very Low-Income level. Approximately 60 percent of these units would be set aside for permanent supportive housing for the homeless, and up to 40 percent would be set aside for individuals and families.</p>
<p>2016 RTP/SCS Benefit 2: The RTP/SCS will encourage strategic transportation investments that add appropriate capacity and improve critical road conditions in the region, increase transit capacity and expand mobility options. Meanwhile, the Plan outlines strategies for developing land in coming decades that will place destinations closer together, thereby decreasing the time and cost of traveling between them.</p>	<p>Not Applicable. Benefit 2 is directed towards SCAG and not does apply to the Project. The Project is an infill, mixed-use project located within an HQT, thereby decreasing time and cost of traveling between places.</p>
<p>2016 RTP/SCS Benefit 3: The RTP/SCS is expected to result in less energy and water consumption across the region, as well as lower transportation costs for households.</p>	<p>Consistent. The Project would meet/exceed the requirements of the City's Green Building Code and the California Green Building Code by including at least 20 percent of the Project's vehicle parking spaces to be capable of accommodating EV charging stations, and of that number, 5 percent would be wired as EV charging stations. The Project also would incorporate approximately 10,500 square feet solar voltaic panels on the roof levels. Additionally, the Project includes 493 secure bicycle parking spaces. The Project's incorporation of bicycle-and pedestrian-friendly elements and location near</p>

Table 3-2
Consistency with SCAG's 2016-2040 RTP/SCS

Goals and Policies	Consistency Assessment
	various bus lines would provide future residents with various affordable transportation options. The Project is a high-density mixed-use development on an infill site, well served by existing utilities.
<p>2016 RTP/SCS Benefit 4: Improved placemaking and strategic transportation investments will help improve air quality; improve health as people have more opportunities to bicycle, walk and pursue other active alternatives to driving; and better protect natural lands as new growth is concentrated in existing urban and suburban areas.</p>	<p>Consistent. The Project would remove two large surface parking lots and construct dense affordable housing near jobs and transit. Removal of the parking lot would reduce urban runoff and the heat island effect while promoting smart growth by placing housing near jobs and transit, reducing vehicle trips and improving air quality. The Project has very little parking for the residential uses and instead focuses on providing ample bicycle parking and infrastructure to further dis-incentivize automobile use and encourage biking and walking. The Project would be built to the current building codes that require sustainability measures such as low flow fixtures and efficient energy systems. The Project would also incorporate approximately 10,500 square feet of solar voltaic panels on the roof levels. Additionally, the Project would incorporate approximately 34,000 square feet of outdoor open space in the form of landscaped courtyards, terraces and pet areas, as well as plant approximately 86 trees on-site in an area that is currently lacking green space and trees. These green areas and trees would further improve air quality and create much needed outdoor recreation amenities in Skid Row. The Project also would activate the sidewalks at the Project Sites by incorporating street-level retail and neighborhood serving uses, while simultaneously creating internal infrastructure for bike parking and encouraging walking, biking, and transit use. Also, the Project would include drought-tolerant landscaping.</p>
<p><i>Source: Southern California Association of Governments, 2016-2040 RTP/SCS, April 2016.</i></p>	

Consistency with TPP Criterion #2(a) – The Project contains at least 50 percent residential use.

The Project includes the construction of a total floor area of 387,449 square feet. The Project includes 685 residential dwelling units, encompassing approximately 339,406 square feet of residential floor area, and comprising approximately 88 percent of the total floor area. Site 1 includes 222,574 square feet of floor area, of which 220,324 square feet (or 99 percent) would be dedicated to residential uses, while 2,250

square feet would be dedicated to commercial uses.⁹ Site 2 includes 164,875 square feet of floor area, of which 144,575 square feet (or 88 percent) would be dedicated to residential units, while 20,300 square feet would be dedicated to commercial uses.¹⁰ As such, the Project would be consistent with this Criterion.

Consistency with TPP Criterion #2(b) – The Project includes a minimum net density of at least 20 units per acre.

The Project Sites total approximately 1.75 acres. The Project includes 685 residential dwelling units and as such, the Project provides approximately 391 dwelling units per acre. Site 1 is 0.63 acres in size and would be developed with 382 residential dwelling units, equating to 601 residential dwelling units per acre. Site 2 is 1.12 acres in size and would be developed with 303 residential dwelling units, equating to 261 residential dwelling units per acre. As such, the Project would be consistent with this Criterion.

Consistency with TPP Criterion #2(c) – The Project Site is located within one-half mile of a major transit stop or a high quality transit corridor included in the 2016-2040 RTP/SCS.

Public Resources Code (PRC) Section 21155 (b) defines a “high-quality transit corridor” as a corridor with fixed route bus service with service intervals no longer than 15 minutes during peak commute hours.

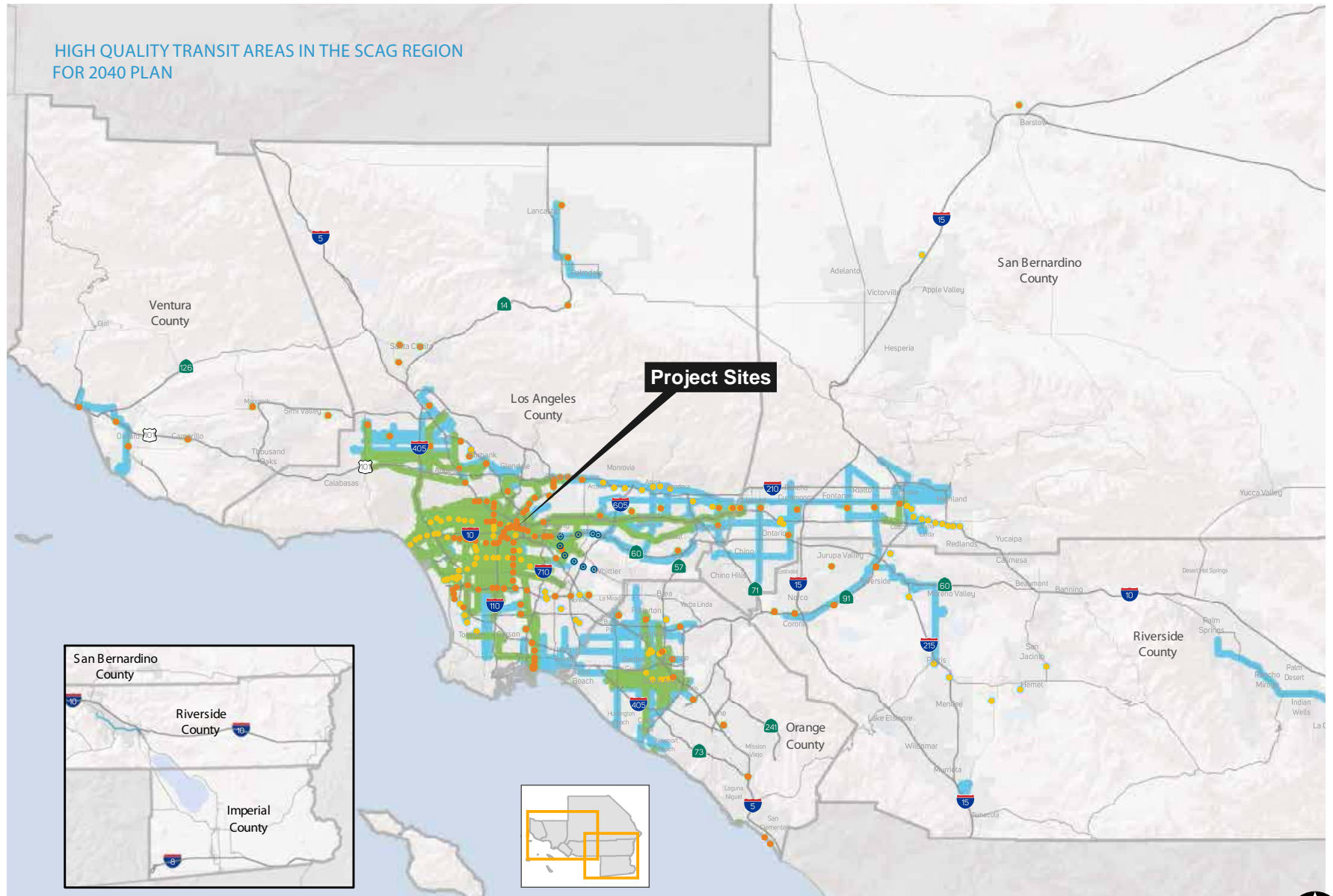
PRC Section 21064.3 defines “major transit stop” as “a site containing an existing rail transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods.” PRC Section 21155 (b) states that a “major transit stop” is defined in PRC Section 21064.3, except that, for purposes of Section 21155 (b), it also includes major transit stops that are included in the applicable regional transportation plan.

The Project Sites are located in an urban area served by multiple local bus lines that are adjacent to the sites and with service intervals of 15 minute or less during morning and afternoon peak commute periods, including Metro Local Lines 17, 18, 51/52/352, 53, 60, 62, 720, and 760; Gardena Line 1X; and Montebello 40 and 90 (refer to Table 3-1). Moreover, the Project Sites are located within a half-mile of a high-quality transit corridor (i.e., East 6th Street and South San Pedro Street) (refer to Figure 3-3). As such, the Project is consistent with this Criterion.

⁹ This number includes approximately 25,000 square feet of philanthropic uses. Refer to Section 2 (Project Description) for more detail regarding this use.

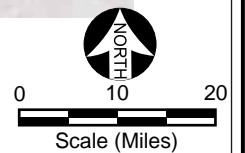
¹⁰ Ibid.

HIGH QUALITY TRANSIT AREAS IN THE SCAG REGION FOR 2040 PLAN



High Quality Transit Areas (including rail stations and qualifying bus corridors, see glossary for definition)

- 2012 Base Year
- 2040 Plan (Note: 2040 Plan Rail Station Alternatives shown as)



4. 2016-2040 RTP/SCS PROGRAM EIR MITIGATION MEASURES

Incorporation of Applicable Mitigation Measures from the 2016-2040 RTP/SCS Program EIR

Public Resources Code (PRC) Section 21151.2 requires that a Transit Priority Project (TPP) also incorporate all feasible mitigation measures, performance standards, or criteria from prior applicable EIR's, including the 2016-2040 RTP/SCS Program EIR for SCAG on December 2015.

The Mitigation Monitoring and Reporting Program for the 2016-2040 RTP/SCS Program EIR (SCAG MMRP) does not include project-level mitigation measures that are required of the Project. The SCAG MMRP does provide a list of mitigation measures that SCAG determined a lead agency can and should consider, as applicable and feasible, where the lead agency has identified that a project has the potential for significant effects.

To comply with PRC Section 21151.2, the City has reviewed all mitigation measures contained in the SCAG MMRP (shown on Table 4-1) and determined their applicability to the Project. For each such mitigation measure, the City considered whether to use the SCAG MMRP mitigation measure or an equally effective City mitigation measure or federal, state, regional, or City regulation. The City's applicability determination is found on Table 4-1. As indicated on Table 4-1, with the exception of SCAG mitigation measure MM-LU-1(b), the City has incorporated an equally or more effective City mitigation measure or federal, state, regional, or City regulation or has for other reasons determined that incorporation of the SCAG 2016-2040 RTP/SCS MMRP mitigations measures is not required.

Table 4-1
Applicability of Project-Level Mitigation Measures from the
2016-2040 RTP/SCS

Topic	Measure	Applicability to the Project
<p><u>Aesthetics</u> <i>Scenic Vista</i></p>	<p><u>Project-Level Mitigation Measure</u> MM-AES-1(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant effects of visual intrusions on scenic vistas, or National Scenic Byways that are in the jurisdiction and responsibility of Caltrans, other public agencies, and/or Lead Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures to ensure compliance with regulations for Caltrans scenic vistas and goals and policies within county and city general plans, as applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead Agency:</p> <ul style="list-style-type: none"> • Use a palette of colors, textures, building materials that are graffiti-resistant, and/or plant materials that complement the surrounding landscape and development. • Use contour grading to better match surrounding terrain. Contour edges of major cut-and-fill to provide a more natural looking finished profile. • Use alternating facades to “break up” large facades and provide visual interest. • Design new corridor landscaping to respect existing natural and man-made features and to complement the dominant landscaping of the surrounding areas. • Replace and renew landscaping along corridors with road widenings, interchange projects, and related improvements. • Retain or replace trees bordering highways, so that clear-cutting is not evident. 	<p>This mitigation measure is not incorporated, because PRC Section 21099, enacted by Senate Bill 743, provides that “aesthetic and parking impacts of a residential, mixed-use residential, or employment center project on an infill site within a transit priority area shall not be considered significant impacts on the environment.” Furthermore, for informational purposes only, the analysis of scenic impacts provided in Appendix D of this SCEA also demonstrated that there would be no impacts to scenic vistas.</p> <p>The Project includes development of two sites in Downtown Los Angeles. Site 1 development includes 222,574 square feet of mixed residential (382 dwelling units), philanthropic institution, and commercial land uses in two towers (Tower 1A and Tower 1B) and one level of subterranean parking garage with 32 vehicle parking spaces. Site 2 development includes 164,875 square feet of mixed-use residential (303 dwelling units) and commercial land uses in two buildings (Building 1 and Building 2) and 212 vehicle parking spaces in a parking garage. Extensive public bus and rail transit service is provided within the area of the Project Sites that provide regular service intervals of 15 minutes or less near the sites during the peak hours. Public bus transit service in the immediate Project study area is currently provided by Metro, City of Gardena Transit, and City of Montebello Bus Lines. Additional public bus transit service in the Downtown Los Angeles area is provided by Foothill Transit, LADOT DASH Transit Service, Orange County Transportation Authority, and Torrance Transit Service. The Metro Red and Gold lines also are provided in proximity to the Project Sites. The Project Sites are located 0.7 miles southeast of Metro’s Purple/Red line station at Pershing Square and 0.8 miles southwest of Metro’s Gold line station at Little Tokyo/Arts District. Further, the Project Sites are located less than 1.0 mile from Metro’s Regional Connector 1st Street portal, which is currently under construction.. Thus, the Project Sites are located in a transit priority area as defined in PRC</p>

Table 4-1
Applicability of Project-Level Mitigation Measures from the
2016-2040 RTP/SCS

Topic	Measure	Applicability to the Project
	<ul style="list-style-type: none"> Provide new corridor landscaping that respects and provides appropriate transition to existing natural and man-made features and is complementary to the dominant landscaping or native habitats of surrounding areas. Implement design guidelines, local policies, and programs aimed at protecting views of scenic corridors and avoiding visual intrusions in design of projects to minimize contrasts in scale and massing between the project and surrounding natural forms and developments. Avoid, if possible, large cuts and fills when the visual environment (natural or urban) would be substantially disrupted. Site or design of projects should minimize their intrusion into important viewsheds and use contour grading to better match surrounding terrain. 	Section 21099. Further, the Project Sites are located in an urban area and served multiple local bus lines. As such, the Project's aesthetic impacts shall not be considered significant impacts on the environment pursuant to PRC Section 21099.
<u>Aesthetics</u> <i>Visual Character/Quality</i>	<u>Project-Level Mitigation Measure</u> MM-AES-3(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant effects of degrading the existing public viewpoints, visual character, or quality of the site that are in the jurisdiction and responsibility of local jurisdictions and/or Lead Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures to ensure compliance with the goals and policies within county and city general plans, as applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead Agency: <ul style="list-style-type: none"> Minimize contrasts in scale and massing between the projects and surrounding natural forms and development, minimize their intrusion into 	This mitigation measure is not incorporated, because PRC Section 21099, enacted by Senate Bill 743, provides that "aesthetic and parking impacts of a residential, mixed-use residential, or employment center project on an infill site within a transit priority area shall not be considered significant impacts on the environment." Furthermore, for informational purposes only, the analysis of this topic in Appendix D of this SCEA demonstrates that the Project's impacts related to visual character would be less than significant.

Table 4-1
Applicability of Project-Level Mitigation Measures from the
2016-2040 RTP/SCS

Topic	Measure	Applicability to the Project
	<p>important viewsheds, and use contour grading to better match surrounding terrain in accordance with county and city hillside ordinances, where applicable.</p> <ul style="list-style-type: none"> • Design landscaping along highway corridors to add significant natural elements and visual interest to soften the hard-edged, linear transportation corridors. • Require development of design guidelines for projects that make elements of proposed buildings/facilities visually compatible, or minimize visibility of changes in visual quality or character through use of hardscape and softscape solutions. Specific measures to be addressed include setback buffers, landscaping, color, texture, signage, and lighting criteria. • Design projects consistent with design guidelines of applicable general plans. • Apply development standards and guidelines to maintain compatibility with surrounding natural areas, including site coverage, building height and massing, building materials and color, landscaping, site grading, and so forth in accordance with general plans and adopted design guidelines, where applicable. • Require that sites are kept in a blight/nuisance-free condition. Remove blight or nuisances that compromise visual character or visual quality of project areas including graffiti abatement, trash removal, landscape management, maintenance of signage and billboards in good condition, and replace compromised native vegetation and landscape. 	
<u>Aesthetics</u> <i>Light/Glare/Shade</i>	<u>Project-Level Mitigation Measure</u> MM-AES-4(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG	This mitigation measure is not incorporated, because PRC Section 21099, enacted by Senate Bill 743, provides that “aesthetic and parking impacts of a residential, mixed-use

Table 4-1
Applicability of Project-Level Mitigation Measures from the
2016-2040 RTP/SCS

Topic	Measure	Applicability to the Project
	<p>has identified mitigation measures capable of avoiding or minimizing the effects of light and glare on routes of travel for motorists, cyclists, and pedestrians, or on adjacent properties, and limit expanded areas of shade and shadow to areas that would not adversely affect open space or outdoor recreation areas that are in the jurisdiction and responsibility of local jurisdictions and/or Lead Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures to ensure compliance with the goals and policies within county and city general plans, as applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead Agency:</p> <ul style="list-style-type: none"> • Use lighting fixtures that are adequately shielded to a point below the light bulb and reflector and that prevent unnecessary glare onto adjacent properties. • Restrict the operation of outdoor lighting for construction and operation activities in accordance with local regulations. • Use high pressure sodium and/or cut-off fixtures instead of typical mercury-vapor fixtures for outdoor lighting. • Use unidirectional lighting to avoid light trespass onto adjacent properties. • Design exterior lighting to confine illumination to the project site, and/or to areas which do not include light-sensitive uses. • Provide structural and/or vegetative screening from light-sensitive uses. • Shield and direct all new street and pedestrian lighting away from light-sensitive off-site uses. 	<p>residential, or employment center project on an infill site within a transit priority area shall not be considered significant impacts on the environment.”</p>

Table 4-1
Applicability of Project-Level Mitigation Measures from the
2016-2040 RTP/SCS

Topic	Measure	Applicability to the Project
	<ul style="list-style-type: none"> • Use non-reflective glass or glass treated with a non-reflective coating for all exterior windows and glass used on building surfaces. • Architectural lighting shall be directed onto the building surfaces and have low reflectivity to minimize glare and limit light onto adjacent properties. 	
<u>Agriculture and Forestry</u> <i>Conversion of Farmland to Non-Ag Use, Conversion of Forest Land</i>	<u>Project-Level Mitigation Measure</u> MM-AF-1(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant effects from the conversion of Prime Farmland, Unique Farmland, or Farmland of Statewide Importance to non-agricultural uses that are within the jurisdiction and responsibility of the Natural Resources Conservation Service, the California Resources Agency, other public agencies, and/or Lead Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures to ensure compliance with the Farmland Protection Act and implementing regulations, and the goals and policies established within the applicable adopted county and city general plans to protect agricultural resources consistent with the Farmland Mapping and Monitoring Program of the California Resources Agency. Such measures may include the following, or other comparable measures identified by the Lead Agency taking into account project and site-specific considerations as applicable and feasible: <ul style="list-style-type: none"> • For projects that require approval or funding by the USDOT, comply with Section 4(f) U.S. Department of Transportation Act of 1966 (USDOT Act). 	This mitigation measure is not incorporated, because no farmland or agricultural activity exists on or in the vicinity of the Project Sites and no impacts related to this issue would occur.

Table 4-1
Applicability of Project-Level Mitigation Measures from the
2016-2040 RTP/SCS

Topic	Measure	Applicability to the Project
	<ul style="list-style-type: none"> • Project relocation or corridor realignment to avoid Prime Farmland, Unique Farmland, or Farmland of Local or Statewide Importance. • Maintain and expand agricultural land protections such as urban growth boundaries. <p>Support the acquisition or voluntary dedication of agriculture conservation easements and other programs that preserve agricultural lands, including the creation of farmland mitigation banks. Local governments would be responsible for encouraging the development of agriculture conservation easements or farmland mitigation banks, purchasing conservation agreements or farmland for mitigation, and ensuring that the terms of the conservation easement agreements are upheld. The California Department of Fish and Wildlife provides a definition for conservation or mitigation banks on their website (please see https://www.wildlife.ca.gov/Conservation/Planning/Banking)</p> <p>“A conservation or mitigation bank is privately or publicly owned land managed for its natural resource values. In exchange for permanently protecting, managing, and monitoring the land, the bank sponsor is allowed to sell or transfer habitat credits to permittees who need to satisfy legal requirements and compensate for the environmental impacts of developmental projects.</p> <p>A privately owned conservation or mitigation bank is a free-market enterprise that:</p> <ul style="list-style-type: none"> • Offers landowners economic incentives to protect natural resources; 	

Table 4-1
Applicability of Project-Level Mitigation Measures from the
2016-2040 RTP/SCS

Topic	Measure	Applicability to the Project
	<ul style="list-style-type: none"> • Saves permittees time and money by providing them with the certainty of pre-approved compensation lands; • Consolidates small, fragmented wetland mitigation projects into large contiguous sites that have much higher wildlife habitat values; • Provides for long-term protection and management of habitat. <p>A publicly owned conservation or mitigation bank:</p> <ul style="list-style-type: none"> • Offers the sponsoring public agency advance mitigation for large projects or multiple years of operations and maintenance.” <p>In 2013, the University of California published an article entitled “Reforms could boost conservation banking by landowners” that speaks specifically to the use of agricultural lands for in conjunction with conservation banking programs.</p> <ul style="list-style-type: none"> • Provide for mitigation fees to support a mitigation bank that invests in farmer education, agricultural infrastructure, water supply, marketing, etc., that enhance the commercial viability of retained agricultural lands. • Include underpasses and overpasses at reasonable intervals to maintain property access. • Use berms, buffer zones, setbacks, and fencing to reduce conflicts between new development and farming uses and protect the functions of farmland. • Ensure individual projects are consistent with federal, state, and local policies that preserve agricultural lands and support the economic 	

Table 4-1
Applicability of Project-Level Mitigation Measures from the
2016-2040 RTP/SCS

Topic	Measure	Applicability to the Project
	<p>viability of agricultural activities, as well as policies that provide compensation for property owners if preservation is not feasible.</p> <ul style="list-style-type: none"> • Contact the California Department of Conservation and each county's Agricultural Commissioner's office to identify the location of prime farmlands and lands that support crops considered valuable to the local or regional economy and evaluate potential impacts to such lands using the land evaluation and site assessment (LESA) analysis method (CEQA Guidelines §21095), as appropriate. Use conservation easements or the payment of in-lieu fees to offset impacts. 	
<p><u>Agriculture and Forestry</u> <i>Zoning for Ag Use, Williamson Act Contract</i></p>	<p><u>Project-Level Mitigation Measure</u> MM-AF-2(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant effects from conflict with existing zoning for agricultural use or a Williamson Act contract that are within the jurisdiction and responsibility of the California Department of Conservation, other public agencies, and Lead Agencies. Where the Lead Agency has identified that a project has potential for significant effects, the Lead Agency can and should consider mitigation measures to mitigate the significant effects of agriculture and forestry resources to ensure compliance with the goals and policies established within the applicable adopted county and city general plans to protect agricultural resources consistent with the California Land Conservation Act of 1965, the Farmland Security Zone Act, and county and city zoning codes, as applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead Agency,</p>	<p>This mitigation measure is not incorporated, because the Project Sites are not zoned for agricultural production, there is no farmland at the Project Sites, and there are no Williamson Act Contracts in effect for the Project Sites, and no impacts related to this issue would occur.</p>

Table 4-1
Applicability of Project-Level Mitigation Measures from the
2016-2040 RTP/SCS

Topic	Measure	Applicability to the Project
	<p>taking into account project and site-specific considerations as applicable and feasible:</p> <ul style="list-style-type: none"> • Project relocation or corridor realignment to avoid lands in Williamson Act contracts. • Establish conservation easements consistent with the recommendations of the Department of Conservation, or 20-year Farmland Security Zone contracts (Government Code Section 51296 et seq.), 10-year Williamson Act contracts (Government Code Section 51200 et seq.), or use of other conservation tools available from the California Department of Conservation Division of Land Resource Protection. • Prior to final approval of each project, encourage enrollments of agricultural lands for counties that have Williamson Act programs, where applicable. 	
<u>Air Quality</u> <i>Potential to Violate AQ Standard</i>	<p><u>Project-Level Mitigation Measure</u></p> <p>MM-AIR-2(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures that are within the jurisdiction and authority of the CARB, air quality management districts, and other regulatory agencies. Where the Lead Agency has identified that a project has the potential to violate an air quality standard or contribute substantially to an existing air quality violation, the Lead Agency can and should consider the measures that have been identified by CARB and air district(s) and other agencies as set forth below, or other comparable measures, to facilitate consistency with plans for attainment of the NAAQS and CAAQS, as applicable and feasible.</p> <p>CARB, South Coast AQMD, Antelope Valley AQMD, Imperial County APCD, Mojave Desert AQMD, Ventura County APCD, and Caltrans have</p>	<p>This mitigation measure is not incorporated, because the City has determined that the existing regulatory measures listed below would apply to the Project and are equal to or more effective than SCAG RTP/SCS Program EIR MM-AIR-2(b).</p> <p>Specifically, the applicable regulatory requirements are those identified by CARB and air district(s) and other agencies to facilitate consistency with plans for attainment of the NAAQS and CAAQS, as applicable and feasible, are set forth below.</p> <ul style="list-style-type: none"> • The Project shall comply with all applicable standards of the Southern California Air Quality Management District, including the following provisions of District Rule 403: <ul style="list-style-type: none"> ◦ All unpaved demolition and construction areas shall be wetted at least twice daily during excavation and construction, and temporary dust covers shall be used to reduce dust emissions and meet SCAQMD District Rule 403. Wetting could reduce fugitive dust by as much as 50 percent.

Table 4-1
Applicability of Project-Level Mitigation Measures from the
2016-2040 RTP/SCS

Topic	Measure	Applicability to the Project
	<p>identified project-level feasible measures to reduce construction emissions:</p> <ul style="list-style-type: none"> • Minimize land disturbance. • Use watering trucks to minimize dust; watering should be sufficient to confine dust plumes to the project work areas. • Suspend grading and earth moving when wind gusts exceed 25 miles per hour unless the soil is wet enough to prevent dust plumes. • Cover trucks when hauling dirt. • Stabilize the surface of dirt piles if not removed immediately. • Limit vehicular paths on unpaved surfaces and stabilize any temporary roads. • Minimize unnecessary vehicular and machinery activities. • Revegetate disturbed land, including vehicular paths created during construction to avoid future off-road vehicular activities. • On Caltrans projects, Caltrans Standard Specifications 10-Dust Control, 17-Watering, and 18-Dust Palliative shall be incorporated into project specifications. • Require contractors to assemble a comprehensive inventory list (i.e., make, model, engine year, horsepower, emission rates) of all heavy-duty off-road (portable and mobile) equipment (50 horsepower and greater) that could be used an aggregate of 40 or more hours for the construction project. Prepare a plan for approval by the applicable air district demonstrating achievement of the applicable percent reduction for a CARB-approved fleet. • Ensure that all construction equipment is properly tuned and maintained. 	<ul style="list-style-type: none"> ○ The construction area shall be kept sufficiently dampened to control dust caused by grading and hauling, and at all times provide reasonable control of dust caused by wind. ○ All clearing, earth moving, or excavation activities shall be discontinued during periods of high winds (i.e., greater than 15 mph), so as to prevent excessive amounts of dust. ○ All dirt/soil loads shall be secured by trimming, watering or other appropriate means to prevent spillage and dust. ○ All dirt/soil materials transported off-site shall be either sufficiently watered or securely covered to prevent excessive amount of dust. ○ General contractors shall maintain and operate construction equipment so as to minimize exhaust emissions. ○ Trucks having no current hauling activity shall not idle but be turned off. <ul style="list-style-type: none"> • The Project shall comply with South Coast Air Quality Management District Rule 1166 – Volatile Organic Compound Emissions from Decontamination of Soil, which sets requirements to control the emission of VOC from excavating, grading, handling and treating VOC-contaminated soil as a result of leakage from storage or transfer operations, accidental spillage, or other deposition. • The Project shall comply with South Coast Air Quality Management District Rule 1403 – Asbestos Emissions from Demolition/Renovation Activities, which specify work practice requirements to limit asbestos emissions from building demolition and renovation activities, including the removal and associated disturbance of asbestos-containing materials (ACM).

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Topic	Measure	Applicability to the Project
	<ul style="list-style-type: none"> • Provide an operational water truck on-site at all times. Use watering trucks to minimize dust; watering should be sufficient to confine dust plumes to the project work areas. Sweep paved streets at least once per day where there is evidence of dirt that has been carried on to the roadway. • Project sponsors should ensure to the extent possible that construction activities utilize grid-based electricity and/or onsite renewable electricity generation rather than diesel and/or gasoline powered generators. • Develop a traffic plan to minimize traffic flow interference from construction activities. The plan may include advance public notice of routing, use of public transportation, and satellite parking areas with a shuttle service. Schedule operations affecting traffic for off-peak hours. Minimize obstruction of through- traffic lanes. Provide a flag person to guide traffic properly and ensure safety at construction sites. • As appropriate, require that portable engines and portable engine-driven equipment units used at the project work site, with the exception of on-road and off-road motor vehicles, obtain CARB Portable Equipment Registration with the state or a local district permit. Arrange appropriate consultations with the CARB or the District to determine registration and permitting requirements prior to equipment operation at the site. • Implement EPA's National Clean Diesel Program. • Diesel- or gasoline-powered equipment shall be replaced by lowest emitting feasible for each piece of equipment from among these options: 	<ul style="list-style-type: none"> • In accordance with Sections 2485 in Title 13 of the California Code of Regulations, the idling of all diesel fueled commercial vehicles (weighing over 10,000 pounds) during construction shall be limited to five minutes at any location. • In accordance with Section 93115 in Title 17 of the California Code of Regulations, operation of any stationary, diesel-fueled, compression-ignition engines shall meet specified fuel and fuel additive requirements and emission standards. • The Project shall comply with South Coast Air Quality Management District Rule 1113 limiting the volatile organic compound content of architectural coatings. • The Project shall install odor-reducing equipment in accordance with South Coast Air Quality Management District Rule 1138. • New on-site facility nitrogen oxide emissions shall be minimized through the use of emission control measures (e.g., use of best available control technology for new combustion sources such as boilers and water heaters) as required by South Coast Air Quality Management District Regulation XIII, New Source Review.

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Topic	Measure	Applicability to the Project
	<p>electric equipment whenever feasible, gasoline-powered equipment if electric infeasible.</p> <ul style="list-style-type: none"> • On-site electricity shall be used in all construction areas that are demonstrated to be served by electricity. • If cranes are required for construction, they shall be rated at 200 hp or greater equipped with Tier 4 or equivalent engines. • Use alternative diesel fuels, such as Clean Fuels Technology (water emulsified diesel fuel) or O2 diesel ethanol-diesel fuel (O2 Diesel) in existing engines • Convert part of the construction truck fleet to natural gas. • Include “clean construction equipment fleet”, defined as a fleet mix cleaner than the state average, in all construction contracts • Fuel all off-road and portable diesel powered equipment with ARB-certified motor vehicle diesel fuel (non-taxed version suitable for use off-road) • Use electric fleet or alternative fueled vehicles where feasible including methanol, propane, and compressed natural gas • Use diesel construction equipment meeting ARB’s Tier 4 certified engines or cleaner offroad heavy-duty diesel engines and comply with State off-road regulation • Use on-road, heavy-duty trucks that meet the ARB’s 2007 or cleaner certification standard for on-road diesel engines, and comply with the State on-road regulation • Use idle reduction technology, defined as a device that is installed on the vehicle that automatically reduces main engine idling and/or 	

Table 4-1
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Topic	Measure	Applicability to the Project
	<p>is designed to provide services, e.g., heat, air conditioning, and/or electricity to the vehicle or equipment that would otherwise require the operation of the main drive engine while the vehicle or equipment is temporarily parked or is stationary</p> <ul style="list-style-type: none"> • Minimize idling time either by shutting off equipment when not in use or limit idling time to 3 minutes Signs shall be posted in the designated queuing areas and/or job sites to remind drivers and operators of the 3 minute idling limit. The construction contractor shall maintain a written idling policy and distribute it to all employees and subcontractors. The on-site construction manager shall enforce this limit. • Prohibit diesel idling within 1,000 feet of sensitive receptors. • Staging and queuing areas shall not be located within 1,000 feet of sensitive receptors. • The number of construction equipment operating simultaneously shall be minimized through efficient management practices to ensure that the smallest practical number is operating at any one time. • The engine size of construction equipment shall be the minimum practical size. • Catalytic converters shall be installed on gasoline-powered equipment. • Signs shall be posted in designated queuing areas and job sites to remind drivers and operators of the idling limit. • Construction worker trips shall be minimized by providing options for carpooling and by providing for lunch onsite. • Use new or rebuilt equipment. 	

Table 4-1
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Topic	Measure	Applicability to the Project
	<ul style="list-style-type: none"> • Maintain all construction equipment in proper working order, according to manufacturer's specifications. The equipment must be checked by an ASE-certified mechanic and determined to be running in proper condition before it is operated. • Use low rolling resistance tires on long haul class 8 tractor-trailers. • Suspend all construction activities that generate air pollutant emissions during air alerts. • Install a CARB-verified, Level 3 emission control device, e.g., diesel particulate filters, on all diesel engines. 	
<u>Air Quality</u> <i>Expose Sensitive Receptors to Pollutants</i>	<u>Project-Level Mitigation Measure</u> MM-AIR-4(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures that are within the jurisdiction and authority of the air quality management district(s) where proposed 2016 RTP/SCS transportation projects would be located. Where the Lead Agency has identified that a project has the potential to expose sensitive receptors to substantial pollutant concentrations and harm public health outcomes substantially, the Lead Agency can and should consider the measures that have been identified by CARB and air district(s), or other comparable measures, to reduce cancer risk pursuant to the Air Toxics "Hot Spots" Act of 1987 (AB2588), as applicable and feasible. Such measures include those adopted by CARB designed to reduce substantial pollutant concentrations, specifically diesel, from mobile sources and equipment. CARB's strategy includes the following elements: <ul style="list-style-type: none"> • Set technology forcing new engine standards. • Reduce emissions from the in-use fleet. • Require clean fuels, and reduce petroleum 	This mitigation measure is not incorporated, because the Project impacts related to exposure of sensitive receptors to substantial pollutant concentrations would be less than significant, and no mitigation measures are required.

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Topic	Measure	Applicability to the Project
	<p>dependency.</p> <ul style="list-style-type: none"> • Work with US EPA to reduce emissions from federal and state sources. • Pursue long-term advanced technology measures <p>Proposed new transportation-related SIP measures include:</p> <p>On-Road Sources</p> <ul style="list-style-type: none"> • Improvements and Enhancements to California's Smog Check Program • Expanded Passenger Vehicle Retirement • Modifications to Reformulated Gasoline Program • Cleaner In-Use Heavy-Duty Trucks • Ship Auxiliary Engine Cold Ironing and Other Clean Technology Cleaner Ship Main Engines and Fuel • Port Truck Modernization • Accelerated Introduction of Cleaner Line-Haul Locomotives • Clean Up Existing Commercial Harbor Craft • Limited idling of diesel-powered trucks • Consolidated truck trips and improve traffic flow • Late model engines, Low emission diesel products, engine retrofit technology • Alternative fuels for on-road vehicles <p>Off-Road Sources</p> <ul style="list-style-type: none"> • Cleaner Construction and Other Equipment • Cleaner In-Use Off-Road Equipment • Agricultural Equipment Fleet Modernization • New Emission Standards for Recreational Boats • Off-Road Recreational Vehicle Expanded 	

Table 4-1
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Topic	Measure	Applicability to the Project
	Emission Standards	
<u>Biological Resources</u> <i>Adverse Effect on Candidate, Sensitive, or Special Status Species, Adverse Effect on Riparian Habitat or Other Sensitive Natural Community, Adverse Effect on Wetlands, Interfere with the Movement of Species, Conflict with Local Policies or Ordinances Protecting Bio Resources, Conflict with Habitat Conservation Plan, Natural Community Conservation Plan, or Other Conservation Plan</i>	<u>Project-Level Mitigation Measure</u> MM-BIO-1(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant effects on threatened and endangered species and other special status species that are in the jurisdiction and responsibility of U.S. Fish and Wildlife Service (USFWS), National Marine Fisheries Service (NMFS), California Department of Fish and Wildlife (CDFW), other public agencies, and/or Lead Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures to ensure compliance with Sections 7, 9, and 10(a) of the federal Endangered Species Act; the California Endangered Species Act; the Native Plant Protection Act; the State Fish and Game Code; and the Desert Native Plant Act; and related applicable implementing regulations, as applicable and feasible. Additional compliance should adhere to applicable implementing regulations from the U.S. Fish and Wildlife Service, the National Marine Fisheries Service, and/or the California Department of Fish and Wildlife. Such measures may include the following, or other comparable measures identified by the Lead Agency: <ul style="list-style-type: none"> Require project design to avoid occupied habitat, potentially suitable habitat, and designated critical habitat, wherever practicable and feasible. Where avoidance is determined to be infeasible, provide conservation measures to fulfill the requirements of the applicable authorization for incidental take pursuant to Section 7 or 10(a) of 	<p>This mitigation measure is not incorporated, because of the following reasons:</p> <ul style="list-style-type: none"> Project impacts related to adverse affecting, either directly or through habitat modifications, any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulation, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service, would be less than significant. The Project Sites do not contain any critical habitat or support any species identified or designated as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service. The Project Sites are located in an urbanized area of the City. Site 1 is developed with a surface parking lot and a food service building; Site 2 is developed with a surface parking lot. Thus, none of the mitigation measures that pertain to compliance with Sections 7, 9, and 10(a) of the Federal Endangered Species Act; the California Endangered Species Act; the Native Plant Protection Act; the State Fish and Game Code; and the Desert Native Plant Act; and related applicable implementing regulations, are applicable to the Project. <p>Additionally, the City has determined that the existing regulatory requirements listed below would apply to the Project and are equal to or more effective than SCAG RTP/SCS Program EIR MM-BIO-12(b). Specifically, the Project Applicant would be required to comply with the Migratory</p>

Table 4-1
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Topic	Measure	Applicability to the Project
	<p>the federal Endangered Species Act or Section 2081 of the California Endangered Species Act to support issuance of an Incidental take permit. A wide variety of conservation strategies have been successfully used in the SCAG region to protect the survival and recovery in the wild of federally and state-listed endangered species including the bald eagle:</p> <ul style="list-style-type: none"> ○ Avoidance strategies ○ Contribution of in-lieu fees ○ Use of mitigation bank credits ○ Funding of research and recovery efforts ○ Habitat restoration ○ Conservation easements ○ Permanent dedication of habitat ○ Other comparable measures <ul style="list-style-type: none"> • Design projects to avoid desert native plants, salvage and relocate desert native plants, and/or pay in lieu fees to support off-site long-term conservation strategies. • Develop and implement a Worker Awareness Program (environmental education) to inform project workers of their responsibilities in regards to avoiding and minimizing impacts on sensitive biological resources. • Appoint an Environmental Inspector to monitor implementation of mitigation measures. • Schedule construction activities to avoid sensitive times for biological resources (e.g., steelhead spawning periods during the winter and spring, nesting bird season) and to avoid the rainy season when erosion and sediment transport is increased. • Conduct pre-construction monitoring to delineate occupied sensitive species' habitat to facilitate avoidance. 	<p>Bird Treaty Act (MBTA) (Title 33, United States Code, Section 703 et seq., see also Title 50, Code of Federal Regulation, Part 10) and Section 3503 of the California Department of Fish and Wildlife Code, which regulates vegetation removal during the nesting season (February 15 to August 15) to ensure that significant impacts to migratory birds associated with tree removal would not occur. Compliance with these existing regulations would ensure impacts related to nesting birds would be less than significant.</p>

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Topic	Measure	Applicability to the Project
	<ul style="list-style-type: none"> Where projects are determined to be within suitable habitat of listed or sensitive species that have specific field survey protocols or guidelines outlined by the USFWS, CDFW, or other local agency, conduct preconstruction surveys that follow applicable protocols and guidelines and are conducted by qualified and/or certified personnel. 	
<u>Biological Resources</u> <i>Adverse Effect on Riparian Habitat or Other Sensitive Natural Community, Adverse Effect on Wetlands, Interfere with the Movement of Species, Conflict with Local Policies or Ordinances Protecting Bio Resources, Conflict with Habitat Conservation Plan, Natural Community Conservation Plan, or Other Conservation Plan</i>	<p><u>Project-Level Mitigation Measure</u></p> <p>MM-BIO-2(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant impacts on state-designated sensitive habitats, including riparian habitats, that are in the jurisdiction and responsibility of U.S. Fish and Wildlife Service, the National Marine Fisheries Service, the California Department of Fish and Wildlife; and other public agencies, and/or Lead Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures to ensure compliance with Section 1600 of the State Fish and Game Code, USFS Land Management Plan for the four national forests in the six-county area: Angeles, Cleveland, Los Padres, and San Bernardino, implementing regulations for the U.S. Fish and Wildlife Service, the National Marine Fisheries Service, the California Department of Fish and Wildlife; and other related federal, state, and local regulations, as applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead Agency:</p> <ul style="list-style-type: none"> Consult with the USFWS and NMFS where such state-designated sensitive or riparian habitats 	<p>This mitigation measure is not incorporated, because the Project Sites do not contain any wetlands, riparian habitats, sensitive natural community or critical habitat or support any species identified or designated as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service, and no impacts related to this issue would occur. The Project Sites are located in an urbanized area of the City. Site 1 is developed with a surface parking lot and a food services building; Site 2 is developed with a surface parking lot.</p>

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Topic	Measure	Applicability to the Project
	<p>provide potential or occupied habitat for federally listed rare, threatened, and endangered species afforded protection pursuant to the federal Endangered Species Act.</p> <ul style="list-style-type: none"> • Consult with the USFS where such state-designated sensitive or riparian habitats provide potential or occupied habitat for federally listed rare, threatened, and endangered species afforded protection pursuant to the federal Endangered Species Act and any additional species afforded protection by an adopted Forest Land Management Plan or Resource Management Plan for the four national forests in the six-county area: Angeles, Cleveland, Los Padres, and San Bernardino. • Consult with the CDFW where such state-designated sensitive or riparian habitats provide potential or occupied habitat for state-listed rare, threatened, and endangered species afforded protection pursuant to the California Endangered Species Act, or Fully-Protected Species afforded protection pursuant to the State Fish and Game Code. • Consult with the CDFW pursuant to the provisions of Section 1600 of the State Fish and Game Code as they relate to lakes and streambeds. • Consult with the USFWS, USFS, CDFW, and counties and cities in the SCAG region, where state-designated sensitive or riparian habitats are occupied by birds afforded protection pursuant to the Migratory Bird Treaty Act during the breeding season. • Consult with the CDFW for state-designated sensitive or riparian habitats where fur-bearing mammals, afforded protection pursuant to the 	

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Topic	Measure	Applicability to the Project
	<p>provisions of the State Fish and Game Code for fur-beaming mammals, are actively using the areas in conjunction with breeding activities.</p> <ul style="list-style-type: none"> Utilize applicable and CDFW approved plant community classification resources during delineation of sensitive communities and invasive plants including, but not limited to, the <i>Manual of California Vegetation</i>, the California Invasive Plant Inventory Database, and the Orange County California Native Plant Society (OCCNPS) Emergent Invasive Plant Management Program, where appropriate. Encourage project design to avoid sensitive natural communities and riparian habitats, wherever practicable and feasible. Where avoidance is determined to be infeasible, develop sufficient conservation measures through coordination with local agencies and the regulatory agency (i.e., USFWS or CDFW) to protect sensitive natural communities and riparian habitats. Install fencing and/or mark sensitive habitat to be avoided during construction activities. Salvage and stockpile topsoil (the surface material from 6 to 12 inches deep) and perennial plants for use in restoring native vegetation to all areas of temporary disturbance within the project area. Revegetate with appropriate native vegetation following the completion of construction activities. Complete habitat enhancement (e.g., through removal of non-native invasive wetland species and replacement with more ecologically valuable native species). 	

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Topic	Measure	Applicability to the Project
	<ul style="list-style-type: none"> Use Best Management Practices (BMPs) at construction sites to minimize erosion and sediment transport from the area. BMPs include encouraging growth of vegetation in disturbed areas, using straw bales or other silt-catching devices, and using settling basins to minimize soil transport. 	
<u>Biological Resources</u> <i>Adverse Effect on Wetlands, Interfere with the Movement of Species, Conflict with Local Policies or Ordinances Protecting Bio Resources, Conflict with Habitat Conservation Plan, Natural Community Conservation Plan, or Other Conservation Plan</i>	<u>Project-Level Mitigation Measure</u> MM-BIO-3(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant impacts on protected wetlands that are in the jurisdiction and responsibility of the U.S. Army Corps of Engineers, public agencies and/or Lead Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures to ensure compliance with Section 404 of the Clean Water Act and regulations of the U.S. Army Corps of Engineers (USACOE), and other applicable federal, state and local regulations, as applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead Agency: <ul style="list-style-type: none"> Require project design to avoid federally protected wetlands consistent with the provisions of Section 404 of the Clean Water Act, wherever practicable and feasible. Where the Lead Agency has identified that a project, or other regionally significant project, has the potential to impact other wetlands or waters not protected under Section 404 of the Clean Water Act, seek comparable coverage for these wetlands and waters in consultation with the USACOE and applicable Regional Water Quality 	<p>This mitigation measure is not incorporated, because the Project Sites are not located on protected wetlands that are in the jurisdiction and responsibility of the U.S. Army Corps of Engineers, public agencies and/or Lead Agencies. Moreover, the Project Sites are infill sites in an urban setting in a region that is fully developed and would not affect species movement or policies or regulations protecting biological resources. Therefore, no impacts related to this issue would occur.</p>

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Topic	Measure	Applicability to the Project
	<p>Control Boards (RWQCB). Where avoidance is determined to be infeasible, develop sufficient conservation measures to fulfill the requirements of the applicable authorization for impacts to federally protected wetlands to support issuance of a permit under Section 404 of the Clean Water Act as administered by the USACOE. The use of an authorized Nationwide Permit or issuance of an individual permit requires the project applicant to demonstrate compliance with the USACOE's Final Compensatory Mitigation Rule. The USACOE reviews projects to ensure environmental impacts to aquatic resources are avoided or minimized as much as possible. Consistent with the administration's performance standard of "no net loss of wetlands" a USACOE permit may require a project proponent to restore, establish, enhance or preserve other aquatic resources in order to replace those affected by the Project. This compensatory mitigation process seeks to replace the loss of existing aquatic resource functions and area. Project proponents required to complete mitigation are encouraged to use a watershed approach and watershed planning information. The new rule establishes performance standards, sets timeframes for decision making, and to the extent possible, establishes equivalent requirements and standards for the three sources of compensatory mitigation:</p> <ul style="list-style-type: none"> ○ Permittee-responsible mitigation ○ Contribution of in-lieu fees ○ Use of mitigation bank credits • Require review of construction drawings by a certified wetland delineator as part of each project-specific environmental analysis to determine whether wetlands will be affected and, 	

Table 4-1
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Topic	Measure	Applicability to the Project
	if necessary, perform a formal wetland delineation.	
<u>Biological Resources</u> <i>Interfere with the Movement of Species, Conflict with Local Policies or Ordinances Protecting Bio Resources, Conflict with Habitat Conservation Plan, Natural Community Conservation Plan, or Other Conservation Plan</i>	<u>Project-Level Mitigation Measure</u> MM-BIO-4(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant impacts on migratory fish or wildlife species or within established native resident and/or migratory wildlife corridors, and native wildlife nursery sites that are in the jurisdiction and responsibility of U.S. Fish and Wildlife Service and the California Department of Fish and Wildlife, U.S. Forest Service, public agencies and/or Lead Agencies, as applicable and feasible. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures to ensure compliance with regulations of the USFWS, USFS, CDFW, and related regulations, goals and policies of counties and cities, as applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead Agency: <ul style="list-style-type: none"> Consult with the USFWS, USFS, CDFW, and counties and cities in the SCAG region, where impacts to birds afforded protection pursuant to the Migratory Bird Treaty Act during the breeding season may occur. Consult with the USFS where impacts to migratory wildlife corridors may occur in an area afforded protection by an adopted Forest Land Management Plan or Resource Management Plan for the four national forests in the six-County area: Angeles, Cleveland, Los Padres, and San Bernardino. 	<p>This mitigation measure is not incorporated, because the City has determined that the existing regulatory compliance requirements listed below would apply to the Project and are equal to or more effective than SCAG RTP/SCS Program EIR MM- BIO-4(b). The applicable regulatory requirements include the MBTA (Title 33, United States Code, Section 703 et seq., see also Title 50, Code of Federal Regulation, Part 10) and Section 3503 of the California Department of Fish and Wildlife Code, which regulates vegetation removal during the nesting season (February 15 to August 15) to ensure that significant impacts to migratory birds would not occur. Compliance with these existing regulations would ensure that any potential impacts would be less than significant.</p> <p>Additionally, the Project does not include removal of any City-designated protected trees. For the proposed removal of the 20-non-protected trees (including 6 street trees); however, the Project Applicant would be required to plant replacement trees at a minimum of a one-to-one ratio on or adjacent to the Project Sites in conformance with the City's Urban Forestry Division requirements for Project landscaping and street tree replacement and planting. For street trees that would be removed, the Project Applicant would be required to plant replacement street trees at a two-to-one ratio in accordance with the requirements of the City's Urban Forestry division.</p> <p>Finally, the City does not have any adopted Habitat Conservation Plans.</p>

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Topic	Measure	Applicability to the Project
	<ul style="list-style-type: none"> Consult with counties, cities, and other local organizations when impacts may occur to open space areas that have been designated as important for wildlife movement. Prohibit construction activities within 500 feet of occupied breeding areas for wildlife afforded protection pursuant to Title 14 § 460 of the California Code of Regulations protecting fur-bearing mammals, during the breeding season. Prohibit clearing of vegetation and construction within the peak avian breeding season (February 1st through September 1st), where feasible. Conduct weekly surveys to identify active raptor and other migratory nongame bird nests by a qualified biologist with experience in conducting breeding bird surveys within three days prior to the work in the area from February 1 through August 31. Prohibit construction activities with 300 feet (500 feet for raptors) of occupied nests of birds afforded protection pursuant to the Migratory Bird Treaty Act, during the breeding season. Delineate the non-disturbance buffer by temporary fencing and keep the buffer in place until construction is complete or the nest is no longer active. No construction shall occur within the fenced nest zone until the young have fledged, are no longer being fed by the parents, have left the nest, and will no longer be impacted by the project. Reductions or expansions in the nest buffer distance may be appropriate depending on the avian species involved, ambient levels of human activity, screening vegetation, or possibly other factors. Ensure that suitable nesting sites for migratory nongame native bird species protected under the 	

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Topic	Measure	Applicability to the Project
	<p>Migratory Bird Treaty Act and/or trees with unoccupied raptor nests should only be removed prior to February 1, or following the nesting season.</p> <ul style="list-style-type: none"> • Conduct site-specific analyses of opportunities to preserve or improve habitat linkages with areas on- and off-site. Analyze habitat linkages/wildlife movement corridors on a broader and cumulative impact analysis scale to avoid adverse impacts from linear projects that have potential for impacts on a broader scale or critical narrow choke points that could reduce function of recognized movement corridors on a larger scale. Require review of construction drawings and habitat connectivity mapping provided by the CDFW or CNDDDB by a qualified biologist to determine the risk of habitat fragmentation. • Pursue mitigation banking to preserve habitat linkages and corridors (opportunities to purchase, maintain, and/or restore offsite habitat). • Demonstrate that Projects would not adversely affect movement of any native resident or migratory fish or wildlife species, wildlife movement corridors, or wildlife nursery sites through the incorporation of avoidance strategies into project design, wherever practicable and feasible. • Evaluate the potential for overpasses, underpasses, and culverts in cases where a roadway or other transportation project may interrupt the flow of species through their habitat. Provide wildlife crossings in accordance with proven standards, such as FHWA's Critter Crossings or Ventura County Mitigation Guidelines and in consultation with wildlife corridor authorities with sufficient knowledge of 	

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Topic	Measure	Applicability to the Project
	<p>both regional and local wildlife corridors, and at locations useful and appropriate for the species of concern.</p> <ul style="list-style-type: none"> • Install wildlife fencing where appropriate to minimize the probability of wildlife injury due to direct interaction between wildlife and roads or construction. • Establish native vegetation and facilitate the enhancement and maintenance of biological diversity within existing habitat pockets in urban environments that provide connectivity to large-scale habitat areas. • Where avoidance is determined to be infeasible, design sufficient conservation measures through coordination with local agencies and the regulatory agency (i.e., USFWS or CDFW) and in accordance with the respective counties and cities general plans to establish plans to mitigate for the loss of fish and wildlife movement corridors and/or wildlife nursery sites. The consideration of conservation measures may include the following measures, in addition to the measures outlined in MM-BIO-1(b), where applicable: <ul style="list-style-type: none"> ○ Wildlife movement buffer zones ○ Corridor realignment ○ Appropriately spaced breaks in center barriers ○ Stream rerouting ○ Culverts ○ Creation of artificial movement corridors such as freeway under- or overpasses ○ Other comparable measures • Where the Lead Agency has identified that a RTP/SCS project, or other regionally significant 	

Table 4-1
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Topic	Measure	Applicability to the Project
	<p>project, has the potential to impact other open space or nursery site areas, seek comparable coverage for these areas in consultation with the USFWS, CDFW, NMFS, or other local jurisdictions.</p> <ul style="list-style-type: none"> • Project sponsors should emphasize that urban habitats and the plant and wildlife species they support are indeed valuable, despite the fact they are located in urbanized (previously disturbed) areas. Established habitat connectivity and wildlife corridors in these urban ecosystems will likely be impacted with further urbanization, as proposed in the Project. Appropriate mitigation measures should be proposed, developed, and implemented in these sensitive urban microhabitats to support or enhance the rich diversity of urban plant and wildlife species. • Establish native vegetation within habitat pockets or the “wildling of urbanized habitats” that facilitate the enhancement and maintenance of biological diversity in these areas. These habitat pockets, as the hopscotch across an urban environment, provide connectivity to large-scale habitat areas. 	
<p>Biological Resources <i>Conflict with Local Policies or Ordinances Protecting Bio Resources, Conflict with Habitat Conservation Plan, Natural Community Conservation Plan, or Other Conservation Plan</i></p>	<p>Project-Level Mitigation Measure MM-BIO-5(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant impacts related to conflicts with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance, that are in the jurisdiction and responsibility of local jurisdictions and/or Lead Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should</p>	<p>This mitigation measure is not incorporated, because the City has determined that compliance by the Project with existing City regulatory requirements that are equal to or more effective than SCAG RTP/SCS Program EIR MM-BIO-5(b). A total of 20 trees are located on Site 1 and Site 2 (including 6 street trees). These trees include the following:</p> <ul style="list-style-type: none"> • 7 Indian Laurel Fig (<i>Ficus nitida</i>) • 6 Tipu Tree (<i>Tipuanan tipu</i>) • 7 Apricot Tree (<i>Prunus armeniaca</i>) • 3 Weeping Fig (<i>Ficus benjamina</i>) • 1 Tree of Heaven (<i>Ailanthus altissima</i>)

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Topic	Measure	Applicability to the Project
	<p>consider mitigation measures to comply with county, city and local policies or ordinances, protecting biological resources, such as tree preservation policies or ordinances, as applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead Agency:</p> <ul style="list-style-type: none"> • Consult with the appropriate local agency responsible for the administration of the policy or ordinance protecting biological resources. • Prioritize retention of trees on-site consistent with local regulations. Provide adequate protection during the construction period for any trees that are to remain standing, as recommended by a certified arborist. • If specific project area trees are designated as “Protected Trees,” “Landmark Trees,” or “Heritage Trees,” obtain approval for encroachment or removals through the appropriate entity, and develop appropriate mitigation measures at that time, to ensure that the trees are replaced. Mitigation trees shall be locally collected native species. • Before the start of any clearing, excavation, construction or other work on the site, securely fence off every protected tree deemed to be potentially endangered by said site work. Keep such fences in place for duration of all such work. Clearly mark all trees to be removed. Establish a scheme for the removal and disposal of logs, brush, earth and other debris that will avoid injury to any protected tree. • Where proposed development or other site work could encroach upon the protected perimeter of any protected tree, incorporate special measures to allow the roots to breathe and obtain water and nutrients. Minimize any excavation, cutting, 	<ul style="list-style-type: none"> • 3 Canary Island Pine (<i>Pinus canariensis</i>) • 9 Redbud Tree (<i>Cercis Canadensis</i>) • 10 Australian Tea Tree (<i>Leptospermum laevigatum</i>) • 1 Crape Myrtle (<i>Lagerstroemia indica</i>) <p>None of these trees are protected species as defined above (refer to the Tree Reports in Appendix E). The 20 trees (including the 6 street trees) associated with Site 1 and Site 2 would be removed during construction of the Project. Also, it is possible that all 27 trees in the courtyard (the site of the proposed transformer relocation) would be removed, although it is anticipated that fewer trees would be removed. However, for those trees removed from the Project Sites, the Project Applicant would be required to plant replacement trees at a minimum of a one-to-one ratio on or adjacent to the Project Sites in conformance with the City’s Urban Forestry Division requirements for Project landscaping and street tree replacement and planting. For street trees that would be removed, the Project Applicant would be required to plant replacement street trees at a two-to-one ratio in accordance with the requirements of the City’s Urban Forestry Division. Prior to the removal of trees located within the public right-of-way, the Project Applicant would be required to obtain approval from the Board of Public Works for the removal and replacement of said trees. Street trees would be required to be removed and replaced as required by the Urban Forestry Division and the Board of Public Works. The landscape plans for the Project shall identify the all trees that would be removed. Compliance with the City’s requirements would ensure no significant impacts related to biological resources, in particular trees, would occur.</p>

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Topic	Measure	Applicability to the Project
	<p>filing, or compaction of the existing ground surface within the protected perimeter. Require that no change in existing ground level occur from the base of any protected tree at any time. Require that no burning or use of equipment with an open flame occur near or within the protected perimeter of any protected tree.</p> <ul style="list-style-type: none"> Require that no storage or dumping of oil, gas, chemicals, or other substances that may be harmful to trees occur from the base of any protected trees, or any other location on the site from which such substances might enter the protected perimeter. Require that no heavy construction equipment or construction materials be operated or stored within a distance from the base of any protected trees. Require that wires, ropes, or other devices not be attached to any protected tree, except as needed for support of the tree. Require that no sign, other than a tag showing the botanical classification, be attached to any protected tree. Thoroughly spray the leaves of protected trees with water periodically during construction to prevent buildup of dust and other pollution that would inhibit leaf transpiration. If any damage to a protected tree should occur during or as a result of work on the site, the appropriate local agency will be immediately notified of such damage. If, such tree cannot be preserved in a healthy state, require replacement of any tree removed with another tree or trees on the same site deemed adequate by the local agency to compensate for the loss of the tree that is removed. Remove all debris created as a result of any tree removal work from the property within two 	

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Topic	Measure	Applicability to the Project
	<p>weeks of debris creation, and such debris shall be properly disposed of in accordance with all applicable laws, ordinances, and regulations.</p> <ul style="list-style-type: none"> • Design projects to avoid conflicts with local policies and ordinances protecting biological resources. • Where avoidance is determined to be infeasible, sufficient conservation measures to fulfill the requirements of the applicable policy or ordinance shall be developed, such as to support issuance of a tree removal permit. The consideration of conservation measures may include: <ul style="list-style-type: none"> ○ Avoidance strategies ○ Contribution of in-lieu fees ○ Planting of replacement trees at a minimum ratio of 2:1 ○ Re-landscaping areas with native vegetation post-construction ○ Other comparable measures 	
<p><u>Biological Resources</u> <i>Conflict with Habitat Conservation Plan, Natural Community Conservation Plan, or Other Conservation Plan</i></p>	<p><u>Project-Level Mitigation Measure</u> MM-BIO-6(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant impacts on HCP and NCCPs that are in the jurisdiction and responsibility of public agencies and/or Lead Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures to ensure compliance with Section 7 or 10(a) of the federal Endangered Species Act or Section 2081 of the California Endangered Species Act; and implementing regulations, as applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead</p>	<p>This mitigation measure is not incorporated, because the City has no adopted Habitat Conservation Plans or Natural Community Conservation Plans. As such, no impacts related to this issue would occur.</p>

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Topic	Measure	Applicability to the Project
	<p>Agency:</p> <ul style="list-style-type: none"> Consult with the appropriate federal, state, and/or local agency responsible for the administration of HCPs, NCCPs or other conservation programs. Wherever practicable and feasible, the project shall be designed to avoid through project design lands preserved under the conditions of an HCP, NCCP, or other conservation program. Where avoidance is determined to be infeasible, sufficient conservation measures to fulfill the requirements of the HCP and/or NCCP or other conservation program, which would include but not be limited to applicable authorization for incidental take pursuant to Section 7 or 10(a) of the federal Endangered Species Act or Section 2081 of the California Endangered Species Act, shall be developed to support issuance of an Incidental take permit or any other permissions required for development within the HCP/NCCP boundaries. The consideration of additional conservation measures would include the measures outlined in MM-BIO-1(b), where applicable. 	
<p><u>Cultural Resources</u> <i>Potential to Destroy Unique Paleo Resources or Unique Geological Features</i></p>	<p><u>Project-Level Mitigation Measure</u> MM-CUL-1(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant effects on unique paleontological resources or sites and unique geologic features that are within the jurisdiction and responsibility of National Park Service, Office of Historic Preservation, and Native American Heritage Commission, other public agencies, and/or Lead Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation</p>	<p>This mitigation measure is not incorporated, because the City has determined that the following mitigation measure is imposed as being equal to or more effective than the SCAG RTP/SCS Program EIR MM-CUL-1(b):</p> <p>CUL-MM-3: Prior to Project construction, the prime contractor and any subcontractor(s) shall be advised of the legal and/or regulatory implications of knowingly destroying paleontological or unique geologic resources or sites from the Project Sites. In addition, in the event that paleontological resources or sites, or unique geologic features are</p>

Table 4-1
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Topic	Measure	Applicability to the Project
	<p>measures consistent with Section 15064.5 of the State CEQA Guidelines capable of avoiding or reducing significant impacts on unique paleontological resources or sites or unique geologic features. Ensure compliance with the National Historic Preservation Act, Section 5097.5 of the Public Resources Code (PRC), state programs pursuant to Sections 5024 and 5024.5 of the PRC, adopted county and city general plans, and other federal, state and local regulations, as applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead Agency:</p> <ul style="list-style-type: none"> • Obtain review by a qualified geologist or paleontologist to determine if the project has the potential to require excavation or blasting of parent material with a moderate to high potential to contain unique paleontological or resources, or to require the substantial alteration of a unique geologic feature. • Avoid exposure or displacement of parent material with a moderate to high potential to yield unique paleontological resources. • Where avoidance of parent material with a moderate to high potential to yield unique paleontological resources is not feasible: <ul style="list-style-type: none"> ○ All on-site construction personnel receive Worker Education and Awareness Program (WEAP) training to understand the regulatory framework that provides for protection of paleontological resources and become familiar with diagnostic characteristics of the materials with the potential to be encountered. 	<p>exposed during Project construction, Los Angeles Department of Building and Safety will be notified immediately, and work within 50 feet of the find shall stop until a qualified paleontologist, can identify and evaluate the significance of the discovery and develop recommendations for treatment. Construction activities could continue in other areas of the Project Sites. Recommendations could include a preparation of a Treatment Plan, which could require recordation, collection, and analysis of the discovery; preparation of a technical report; and curation of the collection and supporting documentation in an appropriate depository. Any paleontological resources or sites, or unique geologic features shall be treated in accordance with state law.</p>

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Topic	Measure	Applicability to the Project
	<ul style="list-style-type: none"> ○ Prepare a Paleontological Resource Management Plan (PRMP) to guide the salvage, documentation and repository of representative samples of unique paleontological resources encountered during construction. If unique paleontological resources are encountered during excavation or blasting, use a qualified paleontologist to oversee the implementation of the PRMP. ○ Monitor blasting and earth-moving activities in parent material, with a moderate to high potential to yield unique paleontological resources using a qualified paleontologist or archeologists cross-trained in paleontology to determine if unique paleontological resources are encountered during such activities, consistent with the specified or comparable protocols. ○ Identify where excavation and earthmoving activity is proposed in a geologic unit having a moderate or high potential for containing fossils and specify the need for a paleontological or archeological (cross-trained in paleontology) to be present during earth-moving activities or blasting in these areas. • Avoid routes and project designs that would permanently alter unique features with archaeological and/or paleontological significance. • Salvage and document adversely affected 	

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Topic	Measure	Applicability to the Project
	resources sufficient to support ongoing scientific research and education.	
<u>Cultural Resources</u> <i>Substantial Adverse Change in Significance of a Historical Resource, Substantial Adverse Change in the Significance of an Archaeological Resource</i>	<u>Project-Level Mitigation Measure</u> MM-CUL-2(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant effects of on historical resources within the jurisdiction and responsibility of the Office of Historical Preservation, Native American Heritage Commission, other public agencies, and/or Local Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures consistent with Section 15064.5 of the State CEQA Guidelines capable of avoiding or reducing significant impacts on historical resources, to ensure compliance with the National Historic Preservation Act, Section 5097.5 of the Public Resources Code (PRC), state programs pursuant to Sections 5024 and 5024.5 of the PRC, adopted county and city general plans and other federal, state and local regulations, as applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead Agency: <ul style="list-style-type: none"> Pursuant to CEQA Guidelines Section 15064.5, conduct a record search at the appropriate Information Center to determine whether the project area has been previously surveyed and whether historic resources were identified. Obtain a qualified architectural historian to conduct historic architectural surveys as recommended by the Information Center. In the event the records indicate that no previous survey has been conducted, the Information Center will 	<p>This mitigation measure is not incorporated, because the City has determined, based on historic resource memoranda for the Project dated May 25, 2018 and as revised on August 3, 2018 (refer to Appendix G) prepared by a qualified historian meeting the Secretary of the Interior's Professional Qualification Standards that the Project would not result in any significant impacts related to historical resources.</p> <p><i>Archaeological Resources</i></p> <p>This mitigation measure is not incorporated, because the City has determined that the following mitigation measures are imposed as being equal to or more effective than the SCAG RTP/SCS Program EIR MM-CUL-2(b):</p> <p>CUL-MM-1: Prior to Project construction, the prime contractor and any subcontractor(s) shall be advised of the legal and/or regulatory implications of knowingly destroying cultural resources or removing artifacts, human remains, bottles, and other cultural materials from the Project Sites. In addition, in the event that buried archaeological resources are exposed during Project construction, work within 50 feet of the find shall stop until a professional archaeologist, meeting the standards of the Secretary of the Interior, can identify and evaluate the significance of the discovery and develop recommendations for treatment. Construction activities could continue in other areas of the Project Sites. Recommendations could include preparation of a Treatment Plan, which could require recordation, collection and analysis of the</p>

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Topic	Measure	Applicability to the Project
	<p>make a recommendation on whether a survey is warranted based on the sensitivity of the project area for historical resources within 1,000 feet of the project.</p> <ul style="list-style-type: none"> • Comply with Section 106 of the National Historic Preservation Act including, but not limited to, projects for which federal funding or approval is required for the individual project. This law requires federal agencies to evaluate the impact of their actions on resources included in or eligible for listing in the National Register. Federal agencies must coordinate with the State Historic Preservation Officer in evaluating impacts and developing mitigation. These mitigation measures may include, but are not limited to the following: <ul style="list-style-type: none"> ○ Employ design measures to avoid historical resources and undertake adaptive reuse where appropriate and feasible. If resources are to be preserved, as feasible, carry out the maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction in a manner consistent with the Secretary of the Interior's Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings. If resources would be impacted, impacts should be minimized to the extent feasible. ○ Where feasible, noise buffers/walls and/or visual buffers/landscaping should be constructed to preserve the contextual setting of significant built resources. • Secure a qualified environmental agency and/or 	<p>discovery; preparation of a technical report; and curation of the collection and supporting documentation in an appropriate depository. Any Native American remains shall be treated in accordance with state law.</p> <p>CUL-MM-2 Before ground disturbance, field observations regarding the geo-archaeological setting shall be conducted by a qualified archaeologist to determine the presence of undisturbed sediments capable of preserving archaeological remains, and the depth at which these sediments would no longer be capable of containing archaeological material. An archaeological monitor shall be present during initial excavation activities. The duration and timing of the monitoring shall be determined by the qualified archaeologist in consultation with the Department of City Planning and the Project Applicant. The qualified archaeologist may designate an archaeologist to conduct the monitoring under their direction.</p>

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Topic	Measure	Applicability to the Project
	<p>architectural historian, or other such qualified person to document any significant historical resource(s), by way of historic narrative, photographs, and architectural drawings, as mitigation for the effects of demolition of a resource.</p> <ul style="list-style-type: none"> • Consult with the Native American Heritage Commission to determine whether known sacred sites are in the project area, and identify the Native American(s) to contact to obtain information about the project site. • Prior to construction activities, obtain a qualified archaeologist to conduct a record search at the appropriate Information Center of the California Archaeological Inventory to determine whether the project area has been previously surveyed and whether resources were identified. • Prior to construction activities, obtain a qualified archaeologist or architectural historian (depending on applicability) to conduct archaeological and/or historic architectural surveys as recommended by the Information Center. In the event the records indicate that no previous survey has been conducted, the Information Center will make a recommendation on whether a survey is warranted based on the sensitivity of the project area for archaeological resources. • If a record search indicates that the project is located in an area rich with cultural materials, retain a qualified archaeologist to monitor any subsurface operations, including but not limited to grading, excavation, trenching, or removal of existing features of the subject property. • Conduct construction activities and excavation to avoid cultural resources (if identified). If 	

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Topic	Measure	Applicability to the Project
	<p>avoidance is not feasible, further work may be needed to determine the importance of a resource. Retain a qualified archaeologist familiar with the local archaeology, and/or as appropriate, an architectural historian who should make recommendations regarding the work necessary to determine importance. If the cultural resource is determined to be important under state or federal guidelines, impacts on the cultural resource will need to be mitigated.</p> <ul style="list-style-type: none"> Stop construction activities and excavation in the area where cultural resources are found until a qualified archaeologist can determine the importance of these resources. 	
<p><u>Cultural Resources</u> <i>Disturb Human Remains</i></p>	<p><u>Project-Level Mitigation Measure</u> MM-CUL-4(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant effects to human remains that are within the jurisdiction and responsibility of the Native American Heritage Commission, other public agencies, and/or Local Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency should consider mitigation measures capable of avoiding or reducing significant impacts on human remains, to ensure compliance with the California Health and Safety Code, Section 7060 and Section 18950-18961 and Native American Heritage Commission, as applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead Agency:</p> <ul style="list-style-type: none"> In the event of discovery or recognition of any human remains during construction or excavation activities associated with the project, in any 	<p>This mitigation measure is not incorporated, because the City has determined that the existing regulatory requirements listed below regarding discovery of human remains would apply to the Project and are equal to or more effective than the SCAG RTP/SCS Program EIR MM-CUL-4(b).</p> <p>Specifically, in accordance with the State's Health and Safety Code Section 7050.5, in the event of discovery or recognition of any human remains at the Project site, no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains shall occur until the Los Angeles County Coroner has determined, in accordance with Chapter 10 (commencing with Section 27460) of Part 3 of Division 2 of Title 3 of the Government Code, that the remains are not subject to the provisions of Section 27491 of the Government Code or any other related provisions of law concerning investigation of the circumstances, manner, and cause of any death, and the recommendations concerning the treatment and disposition of the human remains have been made to the person responsible for the excavation, or to his or her authorized representative, in the manner provided in Section 5097.98 of the Public Resources Code. The coroner</p>

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Topic	Measure	Applicability to the Project
	<p>location other than a dedicated cemetery, cease further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains until the coroner of the county in which the remains are discovered has been informed and has determined that no investigation of the cause of death is required.</p> <ul style="list-style-type: none"> • If any discovered remains are of Native American origin: <ul style="list-style-type: none"> ○ Contact the County Coroner to contact the Native American Heritage Commission to ascertain the proper descendants from the deceased individual. The coroner should make a recommendation to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains and any associated grave goods. This may include obtaining a qualified archaeologist or team of archaeologists to properly excavate the human remains. ○ If the Native American Heritage Commission is unable to identify a descendant, or the descendant failed to make a recommendation within 24 hours after being notified by the commission, obtain a Native American monitor, and an archaeologist, if recommended by the Native American monitor, and rebury the Native American human remains and any associated grave 	<p>shall make his or her determination within two working days from the time the person responsible for the excavation, or his or her authorized representative, notifies the coroner of the discovery or recognition of the human remains. If the coroner determines that the remains are not subject to his or her authority and if the coroner recognizes the human remains to be those of a Native American, or has reason to believe that they are those of a Native American, he or she shall contact, by telephone within 24 hours, the Native American Heritage Commission. Through compliance with this regulation, potential Project impacts to human remains would be less than significant.</p>

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Topic	Measure	Applicability to the Project
	<p>goods, with appropriate dignity, on the property and in a location that is not subject to further subsurface disturbance where the following conditions occur:</p> <ul style="list-style-type: none"> ▪ The Native American Heritage Commission is unable to identify a descendent; ▪ The descendant identified fails to make a recommendation; or ▪ The landowner or their authorized representative rejects the recommendation of the descendant, and the mediation by the NAHC fails to provide measures acceptable to the landowner. 	
<p><u>Energy</u> <i>Increase Residential Energy Use,</i> <i>Increase Building Energy Use</i></p>	<p><u>Project-Level Mitigation Measure</u> MM-EN-2(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant effects of increased residential energy consumption that are in the jurisdiction and responsibility of public agencies and/or Lead Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures to ensure compliance with CALGreen, local building codes, and other applicable laws and regulations governing residential building standards, as applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead Agency:</p>	<p>This mitigation measure is not incorporated, because the City has determined the Project substantially conforms to this mitigation measure through the Project's project design features and compliance with existing City regulatory requirements. The Project would be constructed to meet or exceed energy standards outlined in the City's Green Building Code, which incorporates the requirements of CALGreen.</p>

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Topic	Measure	Applicability to the Project
	<ul style="list-style-type: none"> • Integrate green building measures consistent with CALGreen (California Building Code Title 24) into project design including: <ul style="list-style-type: none"> ○ Use energy efficient materials in building design, construction, rehabilitation, and retrofit. ○ Install energy-efficient lighting, heating, and cooling systems (cogeneration); water heaters; appliances; equipment; and control systems. ○ Reduce lighting, heating, and cooling needs by taking advantage of light colored roofs, trees for shade, and sunlight. ○ Incorporate passive environmental control systems that account for the characteristics of the natural environment. ○ Use high-efficiency lighting and cooking devices. ○ Incorporate passive solar design. ○ Use high-reflectivity building materials and multiple glazing. ○ Prohibit gas-powered landscape maintenance equipment. ○ Install electric vehicle charging stations. ○ Reduce wood burning stoves or fireplaces. ○ Provide bike lanes accessibility and parking at residential developments. 	
<u>Geology and Soils</u> <i>Adverse Effects due to Earthquake or Other Seismic Activity, Unstable</i>	<u>Project-Level Mitigation Measure</u> MM-GEO-1(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG	This mitigation measure is not incorporated, because the City has determined that the existing regulatory requirements listed below regarding soils and geology would apply to the Project

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Topic	Measure	Applicability to the Project
<i>Geologic Unit or Soil, Expansive Soil</i>	<p>has identified mitigation measures capable of avoiding or reducing the significant effects on the potential for projects to result in the exposure of people and infrastructure to the effects of earthquakes, seismic related ground-failure, liquefaction, and seismically induced landslides, that are in the jurisdiction and responsibility of public agencies, regulatory agencies, and/or Lead Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures to ensure compliance with County and City Public Works and Building and Safety Department Standards, the Uniform Building Code (UBC) and the California Building Code (CBC), and other applicable laws and regulations governing building standards, as applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead Agency:</p> <ul style="list-style-type: none"> Consistent with Section 4.7.2 of the Alquist-Priolo Earthquake Fault Zoning Act, conduct a geologic investigation to demonstrate that proposed buildings would not be constructed across active faults. An evaluation and written report of a specific site can and should be prepared by a licensed geologist. If an active fault is found and unfit for human occupancy over the fault, place a setback of 50 feet from the fault. Use site-specific fault identification investigations conducted by licensed geotechnical professionals in accordance with the requirements of the Alquist-Priolo Act, as well as any applicable Caltrans regulations that exceed or reasonably replace 	<p>and are equal to or more effective than the SCAG RTP/SCS Program EIR MM-GEO-1(b).</p> <p>Specifically, the Project would be required to comply with the existing building regulations associated with the City's Building Code, which incorporates the Uniform Building Code and the California Building Code. Furthermore, construction of the Project would not exacerbate existing physical conditions pertaining to seismic hazards. Moreover, the Project is subject to regulatory compliance measures, which avoid and/or reduce the significant effects on the potential for projects to result in the exposure of people and infrastructure to the effects of earthquakes, seismic related ground-failure, liquefaction, and seismically induced landslides.</p> <p>The Project Sites would also be submitted to the following regulatory compliance measures:</p> <ol style="list-style-type: none"> (1) Prior to the issuance of any permit, a geology/soils report shall be submitted to the Grading Division to provide design recommendations for the proposed grading/construction along with an evaluation by the project geologist to confirm that the proposed habitable structures are located within the shadow zone of the fault study exploration. (2) The report shall be reviewed and approved by the Los Angeles Department of Building and Safety, Grading Division for the Project (3) During construction, the project engineering geologist shall observe all excavations that expose the natural alluvial soils and bedrock to verify the conclusions of the fault investigation, and confirm that no Holocene faults or ground deformation are exposed. The project engineering geologist shall post a notice on the job site for the

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Topic	Measure	Applicability to the Project
	<p>the requirements of the Act to either determine that the anticipated risk to people and property is at or below acceptable levels or site-specific measures have been incorporated into the project design, consistent with the CBC and UBC.</p> <ul style="list-style-type: none"> • Ensure that projects located within or across Alquist-Priolo Zones comply with design requirements provided in Special Publication 117, published by the California Geological Survey, as well as relevant local, regional, state, and federal design criteria for construction in seismic areas. • Consistent with the CBC and local regulatory agencies with oversight of development associated with the Plan, ensure that projects are designed in accordance with county and city code requirements for seismic ground shaking. With respect to design, consider seismicity of the site, soil response at the site, and dynamic characteristics of the structure, in compliance with the appropriate California Building Code and State of California design standards for construction in or near fault zones, as well as all standard design, grading, and construction practices in order to avoid or reduce geologic hazards. • Consistent with the CBC and local regulatory agencies with oversight of development associated with the Plan, ensure that site-specific geotechnical investigations conducted by a qualified geotechnical expert be required prior to preparation of project designs. These investigations shall identify areas of potential expansive soils and recommend remedial geotechnical measures 	<p>City Inspector and the Contractor stating that the excavation (or portion thereof) has been observed, documented and meets the conditions of the report. No fill or lagging shall be placed until the LADBS Inspector has verified the documentation.</p> <p>(4) A supplemental report that summarizes the geologist's observations shall be submitted to the Grading Division of the Department upon completion of the excavations. If evidence of active faulting is observed, the Grading Division shall be notified immediately.</p>

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Topic	Measure	Applicability to the Project
	<p>to eliminate any problems. Recommended corrective measures, such as structural reinforcement and replacing soil with engineered fill, shall be implemented in project designs. Geotechnical investigations identify areas of potential failure and recommend remedial geotechnical measures to eliminate any problems.</p> <ul style="list-style-type: none"> • Adhere to design standards described in the CBC and all standard geotechnical investigation, design, grading, and construction practices to avoid or reduce impacts from earthquakes, ground shaking, ground failure, and landslides. • Consistent with the CBC and local regulatory agencies with oversight of development associated with the Plan, design projects to avoid geologic units or soils that are unstable, expansive soils and soils prone to lateral spreading, subsidence, liquefaction, or collapse wherever feasible. 	
<p><u>Geology and Soils</u> <i>Soil Erosion or Loss of Topsoil</i></p>	<p><u>Project-Level Mitigation Measure</u> MM-GEO-2(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant effects on the potential for projects to result in substantial soil erosion or the loss of topsoil, that are in the jurisdiction and responsibility of public agencies, regulatory agencies, and/or Lead Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures to ensure compliance with County and City Public Works and Building and Safety Department Standards, the Uniform Building Code (UBC) and the California</p>	<p>This mitigation measure is not incorporated, because the City has determined that the existing regulatory requirements listed below that require compliance with existing quality standards as governed by the Los Angeles Regional Water Quality Control Board (LARWQCB) would apply to the Project and are equal to or more effective than the SCAG RTP/SCS Program EIR MM-GEO-4(b).</p> <p>Specifically, the Project would be required to comply with the NPDES General Construction Permit including the preparation of a SWPPP and implementation of best management practices (BMPs), required to minimize soil erosion and sedimentation from entering the storm drains during the construction period. In addition, the Project would be subject to the City's Stormwater and Urban Runoff Pollution Control regulations</p>

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Topic	Measure	Applicability to the Project
	<p>Building Code (CBC), and other applicable laws and regulations governing building standards, as applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead Agency:</p> <ul style="list-style-type: none"> • Consistent with the CBC and local regulatory agencies with oversight of development associated with the Plan, ensure that site-specific geotechnical investigations conducted by a qualified geotechnical expert are conducted to ascertain soil types prior to preparation of project designs. These investigations can and should identify areas of potential failure and recommend remedial geotechnical measures to eliminate any problems. • Consistent with the requirements of the State Water Resources Control Board (SWRCB) for projects over one acre in size, obtain coverage under the General Construction Activity Storm Water Permit (General Construction Permit) issued by the SWRCB and conduct the following: <ul style="list-style-type: none"> ○ File a Notice of Intent (NOI) with the SWRCB. ○ Prepare a stormwater pollution prevention plan (SWPPP) and submit the plan for review and approval by the Regional Water Quality Control Board (RWQCB). At a minimum, the SWPPP should include a description of construction materials, practices, and equipment storage and maintenance; a list of pollutants likely to contact stormwater; site-specific erosion and sedimentation control practices; 	<p>(Ordinance No. 172,176 and No. 173,494) to ensure pollutant loads from the Project Sites would be minimized for downstream receiving waters. Compliance with the NPDES and implementation of the SWPPP and BMPs, as well as the City's discharge requirements would ensure that construction stormwater runoff would not violate water quality and/or discharge requirements. Also, during operation the Project would be required to comply with the City's Low Impact Development (LID) Ordinance. The LID Ordinance applies to all development and redevelopment in the City that requires a building permit. LID Plans are required to include a site design approach and BMPs that address runoff and pollution at the source. Further, to comply with LID Ordinance the Project would be required to capture and treat the first 3/4-inch of rainfall in accordance with established stormwater treatment priorities. Compliance with the LID Ordinance would reduce the amount of surface water runoff leaving the Project Sites as compared to the current conditions. Compliance with the LID Plan and Standard Urban Stormwater Mitigation Plan (SUSMP), including the implementation of BMPs, would ensure that operation of the Project would not cause soil erosion or the loss of topsoil.</p>

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Topic	Measure	Applicability to the Project
	<p>a list of provisions to eliminate or reduce discharge of materials to stormwater; best management practices (BMPs); and an inspection and monitoring program.</p> <ul style="list-style-type: none"> ○ Submit to the RWQCB a copy of the SWPPP and evidence of submittal of the NOI to the SWRCB. Implementation of the SWPPP should start with the commencement of construction and continue through the completion of the project. ○ After construction is completed, the project sponsor can and should submit a notice of termination to the SWRCB. <ul style="list-style-type: none"> • Consistent with the requirements of the SWRCB and local regulatory agencies with oversight of development associated with the Plan, ensure that project designs provide adequate slope drainage and appropriate landscaping to minimize the occurrence of slope instability and erosion. Design features should include measures to reduce erosion caused by storm water. Road cuts should be designed to maximize the potential for revegetation. • Consistent with the CBC and local regulatory agencies with oversight of development associated with the Plan, ensure that, prior to preparing project designs, new and abandoned wells are identified within construction areas to ensure the stability of nearby soils. 	
<u>Greenhouse Gases</u> <i>Cumulative Impacts</i>	<u>Project-Level Mitigation Measure</u> MM-GHG-3(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG	This mitigation measure is not incorporated, because the City has determined that the existing regulatory requirements and project design features listed below, including but not limited

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Topic	Measure	Applicability to the Project
	<p>has identified mitigation measures capable of avoiding or reducing the potential to conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emission of greenhouse gases that are within the jurisdiction and authority of California Air Resources Board, local air districts, and/or Lead Agencies. Where the Lead Agency has identified that a project has the potential to conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emission of greenhouse gases, the Lead Agency can and should consider mitigation measures to mitigate the significant effects of greenhouse gas impacts to ensure compliance with all applicable laws, regulations, governing CAPs, general plans, adopted policies and plans of local agencies, and standards set forth by responsible public agencies for the purpose of reducing emissions of greenhouse gases, as applicable and feasible. Consistent with Section 15126.4(c) of the State CEQA Guidelines, compliance can be achieved through adopting greenhouse gas mitigation measures that have been used for projects in the SCAG region as set forth below, or through comparable measures identified by Lead Agency:</p> <ul style="list-style-type: none"> • Measures in an adopted plan or mitigation program for the reduction of emissions that are required as part of the Lead Agency's decision. • Reduction in emissions resulting from a project through implementation of project features, project design, or other measures, such as those described in Appendix F of the State CEQA Guidelines. • Off-site measures to mitigate a project's emissions. • Measures that consider incorporation of Best 	<p>to the City's Green Building Code are applicable, and are equal to or more effective than the SCAG RTP/SCS Program EIR MM-GHG-3(b) in avoiding or reducing the potential to conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emission of greenhouse gases that are within the jurisdiction and authority of California Air Resources Board, local air districts, and/or Lead Agencies. Such features and regulatory requirements include the following:</p> <ul style="list-style-type: none"> • The Project must meet Title 24 2016 standards and include ENERGY STAR appliances. Energy Star-rated appliances would reduce the projects energy demand during the operational life of the 685 dwelling units. • The Project is subject to construction waste reduction of at least 50 percent. In addition, operations at the Project Sites are subject to AB 939 requirements to divert 50 percent of solid waste to landfills through source reduction, recycling, and composting. Finally, the Project is required by the California Solid Waste Reuse and Recycling Access Act of 1991 to provide adequate storage areas for collection and storage of recyclable waste materials. • As mandated by the LA Green Building Code, the Project would be required to provide a schedule of plumbing fixtures and fixture fittings that reduce potable water use within the development by at least 20 percent. It must also provide irrigation design and controllers that are weather- or soil moisture-based and automatically adjust in response to weather conditions and plants' needs. • The Project would use energy from the Los Angeles Department of Water and Power (LADWP), which has goals to diversify its portfolio of energy sources to increase the use of renewable energy. • The Project would use water-efficient landscaping including point-to-point irrigation and a smart controller drip system to reduce water use.

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Topic	Measure	Applicability to the Project
	<p>Available Control Technology (BACT) during design, construction and operation of projects to minimize GHG emissions, including but not limited to:</p> <ul style="list-style-type: none"> ○ Use energy and fuel efficient vehicles and equipment. Project proponents are encouraged to meet and exceed all EPA/NHTSA/CARB standards relating to fuel efficiency and emission reduction; ○ Use alternative (non-petroleum based) fuels; ○ Deployment of zero- and/or near zero emission technologies as defined by CARB; ○ Use lighting systems that are energy efficient, such as LED technology; ○ Use the minimum feasible amount of GHG-emitting construction materials that is feasible; ○ Use cement blended with the maximum feasible amount of fly ash or other materials that reduce GHG emissions from cement production; ○ Incorporate design measures to reduce GHG emissions from solid waste management through encouraging solid waste reduction, recycling, and reuse; ○ Incorporate passive solar and other design measures to reduce energy consumption and increase production and use of renewable energy; ○ Incorporate design measures like 	<ul style="list-style-type: none"> • The Project would include a minimum of ten percent of the total number of parking spaces to include Electric Vehicle (EV) Charging Stations. • The Project would be consistent with the following key GHG reduction strategies in SCAG's 2016-2040 RTP/SCS which are based on changing the region's land use and travel patterns: <ul style="list-style-type: none"> ○ Compact growth in areas accessible to transit; ○ More multi-family housing; ○ Jobs and housing closer to transit; ○ New housing and job growth focused in High Quality Transit Areas (HQTAs); and ○ Biking and walking infrastructure to improve active transportation options, transit access. <p>Additionally, the Project would incorporate the following project design features, which would further reduce the Project's GHG emissions:</p> <ul style="list-style-type: none"> • Solar voltaic panes on building roof levels. Approximately 4,500 square feet would be included on Site 1, and approximately 6,000 square feet would be included on Site 2. • Windows would be included in all living units and common spaces for natural daylight, reducing the need for overhead lighting impacting the need for electricity. High-performance dual-pane windows and exterior materials would be used in order to reduce the need for energy driven mechanical systems. • Active energy conservation strategies would include implementing LED lighting with daylighting controls and dimming capabilities, installing motion detector controls for all circulation and auxiliary spaces, providing Energy Star qualified appliances.

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Topic	Measure	Applicability to the Project
	<p>WaterSense fixtures and water capture to reduce water consumption;</p> <ul style="list-style-type: none"> ○ Use lighter-colored pavement where feasible; ○ Recycle construction debris to maximum extent feasible; ○ Protect and plant shade trees in or near construction projects where feasible; and ○ Solicit bids that include concepts listed above. <ul style="list-style-type: none"> • Measures that encourage transit use, carpooling, bike-share and car-share programs, active transportation, and parking strategies, including, but not limited to, transit-active transportation coordinated strategies, increased bicycle carrying capacity on transit and rail vehicles. • Incorporating bicycle and pedestrian facilities into project designs, maintaining these facilities, and providing amenities incentivizing their use; providing adequate bicycle parking and planning for and building local bicycle projects that connect with the regional network. • Improving transit access to rail and bus routes by incentives for construction of transit facilities within developments, and/or providing dedicated shuttle service to transit stations. • Adopting employer trip reduction measures to reduce employee trips such as vanpool and carpool programs, providing end-of-trip facilities, and telecommuting programs. • Designate a percentage of parking spaces for ride-sharing vehicles or high-occupancy vehicles, and provide adequate passenger loading and 	<ul style="list-style-type: none"> • Materials selection for the building would be made taking into consideration energy conservation, durability, reduction of air pollutants and recycling. Products would be chosen for their resiliency and durability in order to help offset maintenance costs. Finish materials would have no or low volatile organic (VOC) compounds, in order to help reduce the introduction of harmful chemicals into the building. Materials would be chosen for their pre/post-consumer content to reduce the amount of virgin material being used and reduce amount of waste. • Plants and their substrate would act as a natural water filter reducing the contamination of water that leaves the site. Low-maintenance native and adapted plants would be chosen for landscaped areas and will take into consideration creating create mini-ecosystems with habitats for birds and beneficial insects in order to increase the biodiversity at the site. The landscaped area could reduce the urban heat island effect and smog as the plants act as a natural air filter and absorb heat versus reflecting it. Pervious paving areas may also be used to reduce the amount of hardscape, decrease storm water run-off, and cool the microclimate of the building. • High-efficiency toilets with a flush volume of 1.0 gallon per flush, or less. • Showerheads with a flow rate of 1.5 gallons per minute (gpm) or less. • Residential bathroom faucets equipped with aerators to reduce flow to 1.0 gpm or less. • Drip/subsurface irrigation (micro-irrigation) • Micro-spray • Proper hydro-zoning/zoned irrigation (group plants with similar water requirements) • Artificial turf

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Topic	Measure	Applicability to the Project
	<ul style="list-style-type: none"> unloading for those vehicles. Land use siting and design measures that reduce GHG emissions, including: <ul style="list-style-type: none"> Developing on infill and brownfields sites; Building high density and mixed use developments near transit; Retaining on-site mature trees and vegetation, and planting new canopy trees; Measures that increase vehicle efficiency, encourage use of zero and low emissions vehicles, or reduce the carbon content of fuels, including constructing or encouraging construction of electric vehicle charging stations or neighborhood electric vehicle networks, or charging for electric bicycles; and Measures to reduce GHG emissions from solid waste management through encouraging solid waste recycling and reuse. 	<ul style="list-style-type: none"> Drought-tolerant plants – 50 percent of total landscaping <p>Moreover, the Project is consistent with state, regional, and City of Los Angeles GHG emission reduction goals and objectives, and thus would not conflict with any applicable plan, policy, or regulation of an agency adopted for purposes of reducing the emission of GHGs.</p> <p>And finally, pursuant to California Public Resources Code Sections 21155.2 and 21159.28, a SCEA prepared for a TPP that is consistent with the 2016-2040 RTP/SCS and its applicable mitigation measures does not need to prepare or discuss project specific or cumulative GHG emission impacts associated with car or light-duty truck trips.</p>
<p><u>Hazards and Hazardous Materials</u> <i>Significant Hazard due to Routine Transport, Use, or Disposal of Hazardous Materials, Reasonably Foreseeable Upset and Accident Conditions, Hazardous Emissions or Materials Near School</i></p>	<p><u>Project-Level Mitigation Measure</u> MM-HAZ-1(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant effects related to the routine transport, use or disposal of hazardous materials that are in the jurisdiction and responsibility of public agencies and/or Lead Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures to ensure compliance with the provisions of the Hazardous Waste Control Act, the Unified Hazardous Waste and Hazardous Materials Management Regulatory Program, the Hazardous Waste Source Reduction and Management Review Act of 1989, the California Vehicle Code, and other applicable laws and</p>	<p>This mitigation measure is not incorporated, because the City has determined that a Phase I ESA and a Phase II ESA have been prepared for the Project that did not identify any recognized environmental concerns (RECs) and that in the event that an underground storage tank is encountered during excavation of Site 1, the City's mitigation measures listed below would apply to the Project and are equal to or more effective than the SCAG RTP/SCS Program EIR MM-HAZ - 1(b).</p> <p>Specifically, the following mitigation measure has been imposed on the Project that would ensure any potential impacts related to an unknown underground storage tank would be less than significant:</p> <p>HAZ-MM-1: During excavation of Site 1 for the subterranean parking garage and prior to</p>

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Topic	Measure	Applicability to the Project
	<p>regulations, as applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead Agency:</p> <ul style="list-style-type: none"> • Where the construction or operation of projects involves the transport of hazardous material, provide a written plan of proposed routes of travel demonstrating use of roadways designated for the transport of such materials. • Where the construction or operation of projects involves the transport of hazardous materials, avoid transport of such materials within one-quarter mile of schools, when school is in session, wherever feasible. • Where it is not feasible to avoid transport of hazardous materials, within one-quarter mile of schools on local streets, provide notification of the anticipated schedule of transport of such materials. • Specify the need for interim storage and disposal of hazardous materials to be undertaken consistent with applicable federal, state, and local statutes and regulations in the plans and specifications of the transportation improvement project. • Submit a Hazardous Materials Business/Operations Plan for review and approval by the appropriate local agency. Once approved, keep the plan on file with the Lead Agency (or other appropriate government agency) and update, as applicable. The purpose of the Hazardous Materials Business/Operations Plan is to ensure that employees are adequately trained to handle the materials and provides information to the local fire protection agency should emergency response be required. The Hazardous Materials Business/Operations Plan 	<p>issuance of a Building Permit, if a UST is encountered, the Project Applicant shall procure a Division 5 Permit from the Los Angeles Fire Department for removal of a UST and shall comply with the requirements of the permit.</p>

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Topic	Measure	Applicability to the Project
	<p>should include the following:</p> <ul style="list-style-type: none"> ○ The types of hazardous materials or chemicals stored and/or used on-site, such as petroleum fuel products, lubricants, solvents, and cleaning fluids. ○ The location of such hazardous materials. ○ An emergency response plan including employee training information. ○ A plan that describes the manner in which these materials are handled, transported and disposed. <ul style="list-style-type: none"> • Specify the appropriate procedures for interim storage and disposal of hazardous materials, anticipated to be required in support of operations and maintenance activities, in conformance with applicable federal, state, and local statutes and regulations, in the Operations Manual for projects. • Follow manufacturer's recommendations on use, storage, and disposal of chemical products used in construction. • Avoid overtopping construction equipment fuel gas tanks. • During routine maintenance of construction equipment, properly contain and remove grease and oils. • Properly dispose of discarded containers of fuels and other chemicals. 	
<u>Hazards and Hazardous Materials</u> <i>Located on a Hazardous Materials</i> <i>Site Section 65962.5</i>	<u>Project-Level Mitigation Measure</u> MM-HAZ-4(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant effects related to	This mitigation measure is not incorporated, because the City has determined that the Project Sites are not included on any list compiled pursuant to Government Code Section 65962.5, and no impacts related to this issue would occur.

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Topic	Measure	Applicability to the Project
	<p>a project placed on a hazardous materials site, that are in the jurisdiction and responsibility of regulatory agencies, other public agencies and/or Lead Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures to ensure compliance with the provisions of the Government Code Section 65962.5, Occupational Safety and Health Code of 197; the Response Conservation, and Recovery Act; the Comprehensive Environmental Response, Compensation, and Liability Act; the Hazardous Materials Release and Clean-up Act, and the Uniform Building Code, and County and City building standards, and all applicable federal, state, and local laws and regulations governing hazardous waste sites, as applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead Agency:</p> <ul style="list-style-type: none"> • Complete a Phase I Environmental Site Assessment, including a review and consideration of data from all known databases of contaminated sites, during the process of planning, environmental clearance, and construction for projects. • Where warranted due to the known presence of contaminated materials, submit to the appropriate agency responsible for hazardous materials/wastes oversight a Phase II Environmental Site Assessment report if warranted by a Phase I report for the project site. The reports should make recommendations for remedial action, if appropriate, and be signed by a Registered Environmental Assessor, Professional Geologist, or Professional Engineer. 	

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Topic	Measure	Applicability to the Project
	<ul style="list-style-type: none"> • Implement the recommendations provided in the Phase II Environmental Site Assessment report, where such a report was determined to be necessary for the construction or operation of the project, for remedial action. • Submit a copy of all applicable documentation required by local, state, and federal environmental regulatory agencies, including but not limited to: permit applications, Phase I and II Environmental Site Assessments, human health and ecological risk assessments, remedial action plans, risk management plans, soil management plans, and groundwater management plans. • Conduct soil sampling and chemical analyses of samples, consistent with the protocols established by the U.S. EPA to determine the extent of potential contamination beneath all underground storage tanks (USTs), elevator shafts, clarifiers, and subsurface hydraulic lifts when on-site demolition or construction activities would potentially affect a particular development or building. • Consult with the appropriate local, state, and federal environmental regulatory agencies to ensure sufficient minimization of risk to human health and environmental resources, both during and after construction, posed by soil contamination, groundwater contamination, or other surface hazards including, but not limited to, underground storage tanks, fuel distribution lines, waste pits and sumps. • Obtain and submit written evidence of approval for any remedial action if required by a local, state, or federal environmental regulatory agency. • Cease work if soil, groundwater, or other environmental medium with suspected 	

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	<p>contamination is encountered unexpectedly during construction activities (e.g., identified by odor or visual staining, or if any underground storage tanks, abandoned drums, or other hazardous materials or wastes are encountered), in the vicinity of the suspect material. Secure the area as necessary and take all appropriate measures to protect human health and the environment, including but not limited to: notification of regulatory agencies and identification of the nature and extent of contamination. Stop work in the areas affected until the measures have been implemented consistent with the guidance of the appropriate regulatory oversight authority.</p> <ul style="list-style-type: none"> • Use best management practices (BMPs) regarding potential soil and groundwater hazards. • Soil generated by construction activities should be stockpiled on-site in a secure and safe manner. All contaminated soils determined to be hazardous or non-hazardous waste must be adequately profiled (sampled) prior to acceptable reuse or disposal at an appropriate off-site facility. Complete sampling and handling and transport procedures for reuse or disposal, in accordance with applicable local, state and federal laws and policies. • Groundwater pumped from the subsurface should be contained on-site in a secure and safe manner, prior to treatment and disposal, to ensure environmental and health issues are resolved pursuant to applicable laws and policies. Utilize engineering controls, which include impermeable barriers to prohibit groundwater and vapor intrusion into the building. • Prior to issuance of any demolition, grading, or 	

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Topic	Measure	Applicability to the Project
	<p>building permit, submit for review and approval by the Lead Agency (or other appropriate government agency) written verification that the appropriate federal, state and/or local oversight authorities, including but not limited to the Regional Water Quality Control Board (RWQCB), have granted all required clearances and confirmed that the all applicable standards, regulations, and conditions have been met for previous contamination at the site.</p> <ul style="list-style-type: none"> • Develop, train, and implement appropriate worker awareness and protective measures to assure that worker and public exposure is minimized to an acceptable level and to prevent any further environmental contamination as a result of construction. • If asbestos-containing materials (ACM) are found to be present in building materials to be removed, submit specifications signed by a certified asbestos consultant for the removal, encapsulation, or enclosure of the identified ACM in accordance with all applicable laws and regulations, including but not necessarily limited to: California Code of Regulations, Title 8; Business and Professions Code; Division 3; California Health and Safety Code Section 25915- 25919.7; and other local regulations. • Where projects include the demolitions or modification of buildings constructed prior to 1968, complete an assessment for the potential presence or lack thereof of ACM, lead-based paint, and any other building materials or stored materials classified as hazardous waste by state or federal law. • Where the remediation of lead-based paint has been determined to be required, provide 	

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Topic	Measure	Applicability to the Project
	<p>specifications to the appropriate agency, signed by a certified Lead Supervisor, Project Monitor, or Project Designer for the stabilization and/or removal of the identified lead paint in accordance with all applicable laws and regulations, including but not necessarily limited to: California Occupational Safety and Health Administration's (Cal OSHA's) Construction Lead Standard, Title 8 California Code of Regulations (CCR) Section 1532.1 and Department of Health Services (DHS) Regulation 17 CCR Sections 35001–36100, as may be amended. If other materials classified as hazardous waste by state or federal law are present, the project sponsor should submit written confirmation to the appropriate local agency that all state and federal laws and regulations should be followed when profiling, handling, treating, transporting, and/or disposing of such materials.</p> <ul style="list-style-type: none"> Where a project site is determined to contain materials classified as hazardous waste by state or federal law are present, submit written confirmation to appropriate agency that all state and federal laws and regulations should be followed when profiling, handling, treating, transporting, and/or disposing of such materials. 	
<u>Hazards and Hazardous Materials</u> <i>Wildland Fire Risk</i>	<u>Project-Level Mitigation Measure</u> MM-HAZ-8(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant effects from the potential exposure of people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands; that are in the jurisdiction and	<p>This mitigation measure is not incorporated, because the Project Sites are located in a fully urbanized area and there are no wildlands in the vicinity. Furthermore, the Project is subject to existing regulatory requirements, such as adherence to Fire Code requirements. Thus, no impacts related to these issues would occur.</p>

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	<p>responsibility of public agencies and/or Lead Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures to ensure compliance with local general plans, specific plans, and regulations provided by County and City fire departments, as applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead Agency:</p> <ul style="list-style-type: none"> • Adhere to fire code requirements, including ignition-resistant construction with exterior walls of noncombustible or ignition resistant material from the surface of the ground to the roof system. Other fire-resistant measures would be applied to eaves, vents, windows, and doors to avoid any gaps that would allow intrusion by flame or embers. • Adhere to the Multi-Jurisdictional Hazards Mitigation Plan, as well as local general plans, including policies and programs aimed at reducing the risk of wildland fires through land use compatibility, training, sustainable development, brush management, and public outreach. • Encourage the use of fire-resistant vegetation native to Southern California and/or to the local microclimate (e.g., vegetation that has high moisture content, low growth habits, ignition-resistant foliage, or evergreen growth), eliminate brush and chaparral, and discourage the use of fire-promoting species especially non-native, invasive species (e.g., pampas grass, fennel, mustard, or the giant reed) in the immediate vicinity of development in areas with high fire 	

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Topic	Measure	Applicability to the Project
	<p>threat.</p> <ul style="list-style-type: none"> • Encourage natural revegetation or seeding with local, native species after a fire and discourage reseeding of non-native, invasive species to promote healthy, natural ecosystem regrowth. Native vegetation is more likely to have deep root systems that prevent slope failure and erosion of burned areas than shallow-rooted non-natives. • Submit a fire safety plan (including phasing) to the Lead Agency and local fire agency for their review and approval. The fire safety plan shall include all of the fire safety features incorporated into the project and the schedule for implementation of the features. The local fire protection agency may require changes to the plan or may reject the plan if it does not adequately address fire hazards associated with the project as a whole or the individual phase. • Utilize Fire-wise Land Management by encouraging the use of fire-resistant vegetation and the elimination of brush and chaparral in the immediate vicinity of development in areas with high fire threat. • Promote Fire Management Planning that would help reduce fire threats in the region as part of the Compass Blueprint process and other ongoing regional planning efforts. • Encourage the use of fire-resistant materials when constructing projects in areas with high fire threat. 	
Hydrology and Water Quality <i>Violate Water Quality Standards or Waste Discharge Requirements, Alteration of Site Drainage Pattern, Runoff Exceeding Stormwater Drainage System</i>	<p>Project-Level Mitigation Measure</p> <p>MM-HYD-1(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the potential impacts on water quality on related waste discharge requirements that</p>	<p>This mitigation measure is not incorporated, because the City has determined that the existing regulatory requirements listed below as governed by the LARWQCB and the City regarding water quality would apply to the Project and are equal to or more effective than the SCAG RTP/SCS Program EIR MM-HYD-1(b).</p>

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<i>Capacity, Otherwise Degrade Water Quality</i>	<p>are within the jurisdiction and authority of the Regional Water Quality Control Boards and other regulatory agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures to ensure compliance with all applicable laws, regulations, and health and safety standards set forth by regulatory agencies responsible for regulating and enforcing water quality and waste discharge requirements in a manner that conforms to applicable water quality standards and/or waste discharge requirements, as applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead Agency:</p> <ul style="list-style-type: none"> • Complete, and have approved, a Stormwater Pollution Prevention Plan (SWPPP) prior to initiation of construction. • Implement Best Management Practices to reduce the peak stormwater runoff from the project site to the maximum extent practicable. • Comply with the Caltrans storm water discharge permit as applicable; and identify and implement Best Management Practices to manage site erosion, wash water runoff, and spill control. • Complete, and have approved, a Standard Urban Stormwater Management Plan, prior to occupancy of residential or commercial structures. • Ensure adequate capacity of the surrounding stormwater system to support stormwater runoff from new or rehabilitated structures or buildings. • Prior to construction within an area subject to Section 404 of the Clean Water Act, obtain all required permit approvals and certifications for 	<p>Specifically, the Project would be required to comply with the NPDES General Construction Permit including the preparation of a SWPPP and implementation of BMPs, required to minimize soil erosion and sedimentation from entering the storm drains during the construction period. In addition, the Project would be subject to the City's Stormwater and Urban Runoff Pollution Control regulations (Ordinance No. 172,176 and No. 173,494) to ensure pollutant loads from the Project Sites would be minimized for downstream receiving waters. Compliance with the NPDES and implementation of the SWPPP and BMPs, as well as the City's discharge requirements would ensure that construction stormwater runoff would not violate water quality and/or discharge requirements. Also, during operation the Project would be required to comply with the City's LID Ordinance. The LID Ordinance applies to all development and redevelopment in the City that requires a building permit. LID Plans are required to include a site design approach and BMPs that address runoff and pollution at the source. Further, to comply with LID Ordinance the Project would be required to capture and treat the first 3/4-inch of rainfall in accordance with established stormwater treatment priorities. Compliance with the LID Ordinance would reduce the amount of surface water runoff leaving the Project Sites as compared to the current conditions. Compliance with the LID Plan and SUSMP, including the implementation of BMPs, would ensure that operation of the Project would not violate water quality standard and discharge requirements or otherwise substantially degrade water quality.</p>

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Topic	Measure	Applicability to the Project
	<p>construction within the vicinity of a watercourse:</p> <ul style="list-style-type: none"> ○ U.S. Army Corps of Engineers (Corps): Section 404. Permit approval from the Corps should be obtained for the placement of dredge or fill material in Waters of the U.S., if any, within the interior of the project site, pursuant to Section 404 of the federal Clean Water Act. ○ Regional Water Quality Control Board (RWQCB): Section 401 Water Quality Certification. Certification that the project will not violate state water quality standards is required before the Corps can issue a 404 permit, above. ○ California Department of Fish and Wildlife (CDFW): Section 1602 Lake and Streambed Alteration Agreement. Work that will alter the bed or bank of a stream requires authorization from CDFW. <ul style="list-style-type: none"> • Where feasible, restore or expand riparian areas such that there is no net loss of impervious surface as a result of the project. • Install structural water quality control features, such as drainage channels, detention basins, oil and grease traps, filter systems, and vegetated buffers to prevent pollution of adjacent water resources by polluted runoff where required by applicable urban storm water runoff discharge permits, on new facilities. • Provide structural storm water runoff treatment consistent with the applicable urban storm water runoff permit. Where Caltrans is the operator, the statewide permit applies. • Provide operational best management practices 	

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Topic	Measure	Applicability to the Project
	<p>for street cleaning, litter control, and catch basin cleaning are implemented to prevent water quality degradation in compliance with applicable storm water runoff discharge permits; and ensure treatment controls are in place as early as possible, such as during the acquisition process for rights-of-way, not just later during the facilities design and construction phase.</p> <ul style="list-style-type: none"> • Comply with applicable municipal separate storm sewer system discharge permits as well as Caltrans' storm water discharge permit including long-term sediment control and drainage of roadway runoff. • Incorporate as appropriate treatment and control features such as detention basins, infiltration strips, and porous paving, other features to control surface runoff and facilitate groundwater recharge into the design of new transportation projects early on in the process to ensure that adequate acreage and elevation contours are provided during the right-of-way acquisition process. • Design projects to maintain volume of runoff, where any downstream receiving water body has not been designed and maintained to accommodate the increase in flow velocity, rate, and volume without impacting the water's beneficial uses. Pre-project flow velocities, rates, and volumes must not be exceeded. This applies not only to increases in storm water runoff from the project site, but also to hydrologic changes induced by flood plain encroachment. Projects should not cause or contribute to conditions that degrade the physical integrity or ecological function of any downstream receiving waters. • Provide culverts and facilities that do not increase 	

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Topic	Measure	Applicability to the Project
	<p>the flow velocity, rate, or volume and/or acquiring sufficient storm drain easements that accommodate an appropriately vegetated earthen drainage channel.</p> <ul style="list-style-type: none"> • Upgrade stormwater drainage facilities to accommodate any increased runoff volumes. These upgrades may include the construction of detention basins or structures that will delay peak flows and reduce flow velocities, including expansion and restoration of wetlands and riparian buffer areas. System designs shall be completed to eliminate increases in peak flow rates from current levels. • Encourage Low Impact Development (LID) and incorporation of natural spaces that reduce, treat, infiltrate and manage stormwater runoff flows in all new developments, where practical and feasible. • If a Project has the potential to create a major new stormwater discharge to a water body with an established Total Maximum Daily Load (TMDL), a quantitative analysis of the anticipated pollutant loads in the stormwater discharges to the receiving waters should be carried out. 	
<p><u>Hydrology and Water Quality</u> <i>Deplete Groundwater Supply or Interfere with Groundwater Recharge</i></p>	<p><u>Project-Level Mitigation Measure</u> MM-HYD-2(b): Consistent with the provisions of the Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the potential impacts to groundwater resources that are within the jurisdiction and authority of the State Water Resources Control Board, Regional Water Quality Control Boards, Water Districts, and other groundwater management agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the</p>	<p>This mitigation measure is not incorporated, because the Project site area is not a source of groundwater recharge. The Project site is already completely impervious and would continue in this condition after the Project is developed. Groundwater beneath the Project site is perched groundwater and is of poor quality. Only a small percentage of the City's water supply, which would be used by the Project, comes from groundwater supplies. As such there is no impact related to this issue.</p>

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Topic	Measure	Applicability to the Project
	<p>Lead Agency can and should consider mitigation measures to ensure compliance with applicable laws, regulations, and health and safety standards set forth by federal, state, regional, and local authorities that regulate groundwater management, consistent with the provisions of the Groundwater Management Act and implementing regulations, including recharge in a manner that conforms to federal, state, regional, and local standards for sustainable management of groundwater basins, as applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead Agency:</p> <ul style="list-style-type: none"> • For projects requiring continual dewatering facilities, implement monitoring systems and long-term administrative procedures to ensure proper water management that prevents degrading of surface water and minimizes, to the greatest extent possible, adverse impacts on groundwater for the life of the project, Construction designs shall comply with appropriate building codes and standard practices including the Uniform Building Code. • Maximize, where practical and feasible, permeable surface area in existing urbanized areas to protect water quality, reduce flooding, allow for groundwater recharge, and preserve wildlife habitat. Minimize to the greatest extent possible, new impervious surfaces, including the use of in-lieu fees and off-site mitigation. • Avoid designs that require continual dewatering where feasible. • Avoid construction and siting on groundwater recharge areas, to prevent conversion of those areas to impervious surface. • Reduce hardscape to the extent feasible to 	

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Topic	Measure	Applicability to the Project
	facilitate groundwater recharge as appropriate.	
<u>Hydrology and Water Quality</u> <i>Structures within a 100-Year Floodplain Hazard Area, Risk due to Levee or Dam Failure, Risks due to Seiche, Tsunami, or Mudflow</i>	<p><u>Project-Level Mitigation Measure</u></p> <p>MM-HYD-8(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the potential impacts of locating structures that would impede or redirect flood flows in a 100-year flood hazard area that are within the jurisdiction and authority of the Flood Control District, County Public Works Departments, local agencies, regulatory agencies, and/or Lead Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures to ensure compliance with all federal, state, and local floodplain regulations, consistent with the provisions of the National Flood Insurance Program, as applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead Agency:</p> <ul style="list-style-type: none"> • Comply with Executive Order 11988 on Floodplain Management, which requires avoidance of incompatible floodplain development, restoration and preservation of the natural and beneficial floodplain values, and maintenance of consistency with the standards and criteria of the National Flood Insurance Program. • Ensure that all roadbeds for new highway and rail facilities be elevated at least one foot above the 100-year base flood elevation. Since alluvial fan flooding is not often identified on FEMA flood maps, the risk of alluvial fan flooding should be evaluated and projects should be sited to avoid alluvial fan flooding. Delineation of floodplains 	<p>This mitigation measure is not incorporated, because the Project Sites are not, according to the Federal Emergency Management Agency (FEMA) flood insurance rate map, located within a designated flood zone. Also, the Project Sites are not located within an area potentially affected by seiche, tsunami, or mudflow.</p> <p>The Project Sites are not located within a designated 100-year flood plain. The Project Sites are identified in the Safety Element of the General Plan as being located in any area potentially susceptible to floods associated with a levee or dam. However, the result of the Baldwin Hills dam failure in 1963 and the near collapse of the Van Norman Dam during the 1971 San Fernando Earthquake resulted in strengthening of the federal, state, and local design standards and retrofitting of existing facilities. None of the 13 dams in the greater Los Angeles area was severely damaged during the 1994 Northridge Earthquake. This low damage level was due in part to completion of the retrofitting of dams and reservoirs pursuant to the 1972 State Dam Safety Act following the San Fernando earthquake.</p> <p>The LADWP maintains a Water System Reservoir Surveillance Program. Most of LADWP's dams and reservoirs are under the jurisdiction of the California Department of Water Resources, Division of Safety of Dams (DSOD). DSOD issues operating licenses for dams and reservoirs under its jurisdiction, and the owner must comply with certain operation, maintenance, and inspection procedures in order to retain the license to operate the facility. LADWP maintains an assertive dam safety program, consisting of a six-person Reservoir Surveillance Group dedicated to inspecting each in-City reservoir monthly and each of its Owens Valley reservoirs annually or semi-annually. Reservoir inspections include reading groundwater monitoring wells in and around the dams, reading flows at</p>

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	and alluvial fan boundaries should attempt to account for future hydrologic changes caused by global climate change.	seepage drains, and performing a thorough visual inspection. Many LADWP reservoirs have Movement and Settlement (M&S) survey points installed on, and near, the dams. These points are periodically measured using precision survey equipment. The M&S survey, groundwater, and seepage data are plotted on long-term charts to determine if there has been any significant change over time. LADWP conducts surveillance of the reservoirs as required by DSOD. Thus, the Hollywood Reservoir and Mulholland Dam, as with other dams in California, are continually monitored by various governmental agencies (such as the State of California Division of Safety and Dams and the U.S. Army Corps of Engineers) to guard against the threat of dam failure. Current design and construction practices and ongoing programs of review, modification, or total reconstruction of existing dams are intended to ensure that all dams are capable of withstanding the maximum credible earthquake for the sites. As such, the minimal risk of flooding from potential dam or levee failure would not be exacerbated by the Project. Therefore, impacts related to flooding would be less than significant.
<u>Land Use and Planning</u> <i>Conflict with Applicable Land Use Plan, Policy, or Regulation</i>	<u>Project-Level Mitigation Measure</u> MM-LU-1(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant effects regarding the potential to conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project that are within the jurisdiction and responsibility of local jurisdictions and Lead Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures to ensure compliance with the goals and policies established within the applicable adopted county and city general plans within the SCAG region to avoid conflicts with	Mitigation Measure MM-LU-1(b) is incorporated and identified in Section 6 (Sustainable Communities Environmental Impact Analysis) of this SCEA. The existing land use designation for the Project Sites is Light Manufacturing. The Project Applicant is requesting a General Plan Amendment to amend the land use designation of the sites to Regional Center Commercial to allow for development of the Project. The Project Sites are located within the Central City Community Plan area. More specifically, the sites are located within the Central City East Neighborhood, as described in the text of the plan. While the sites and surrounding areas have a land use designation Light Manufacturing, the area is developed with a mixture of manufacturing, commercial, and existing residential development. As described in the plan text,

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	<p>zoning and ordinance codes, general plans, land use plan, policy, or regulation of an agency with jurisdiction over the project, as applicable and feasible. Such measures may include the following, and/or other comparable measures identified by the Lead Agency:</p> <ul style="list-style-type: none"> Where an inconsistency with the adopted general plan is identified at the Project location, determine if the environmental, social, economic, and engineering benefits of the project warrant a variance from adopted zoning or an amendment to the general plan. 	<p>the area is developed with a number of Single-Room Occupancy (SRO) buildings. While the proposed use is not permitted in the existing land use designation and zone, the use is compatible with the surrounding uses in the area. The requested General Plan Amendment, Zone Change, and Height District Change would permit the development of the sites with affordable housing, social services, and commercial uses that are compatible with the existing built environment.</p> <ul style="list-style-type: none"> The City is currently facing a homelessness epidemic, with approximately 60,000 persons in Los Angeles County experiencing homelessness on any given night and the highest density of these individuals is in central Los Angeles, particularly within the area of the Project Sites (i.e., Skid Row). The Project includes development of 685 residential units (and associated supportive services) that would include a combination of restricted affordable units set aside for permanent supportive housing for the homeless and restricted affordable units set aside for seniors and veterans. The Project would assist the City's efforts to fight homelessness. The City is taking steps to create policy to address the homeless and housing crises. Voters recently approved Measure H and Proposition HHH to implement sales taxes that will help fund homeless services and homeless housing. Measure H aims to do several things to increase services for homeless, including but not limited to development of outreach teams comprised of case workers and health specialists, temporary bridge housing, a rapid rehousing program and the provision of supportive services like job training, substance abuse counseling, and mental health treatment. Proposition HHH will incur a new property tax which will fund the Proposition HHH Permanent Supportive Housing Loan Program which emphasizing reducing homelessness by providing funding to create safe and affordable housing units, and increasing

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		<p>accessibility to a variety of services and treatment programs within these permanent supportive housing projects.</p> <p>Therefore, the City imposes MM-LU-1(b) on the Project to ensure that the Project's potential conflicts related to land use designation for the Project Sites would be less than significant.</p>
<p><u>Land Use and Planning</u> <i>Physically Divide a Community</i></p>	<p><u>Project-Level Mitigation Measure</u> MM-LU-2(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant effects related to the physical division of an established community in a project area within the jurisdiction and responsibility of local jurisdictions and Lead Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures to ensure compliance with the goals and policies established within the applicable adopted county and city general plans within the SCAG region to avoid the creation of barriers that physically divide such communities, as applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead Agency:</p> <ul style="list-style-type: none"> • Consider alignments within or adjacent to existing public rights-of-way. • Consider designs to include sections above- or below-grade to maintain viable vehicular, cycling, and pedestrian connections between portions of communities where existing connections are disrupted by the transportation project. • Wherever feasible incorporate direct crossings, overcrossings, or undercrossings at regular 	<p>This mitigation measure is not incorporated, because the Project does not include the development of new roadway facilities and would not physically divide a community. There are no impacts related to this issue.</p>

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Topic	Measure	Applicability to the Project
	<p>intervals for multiple modes of travel (e.g., pedestrians, bicyclists, vehicles).</p> <ul style="list-style-type: none"> Consider realigning roadway or interchange improvements to avoid the affected area of residential communities or cohesive neighborhoods. Where it has been determined that it is infeasible to avoid creating a barrier in an established community, consider other measures to reduce impacts, including but not limited to: <ul style="list-style-type: none"> Alignment shifts to minimize the area affected. Reduction of the proposed right-of-way take to minimize the overall area of impact. Provisions for bicycle, pedestrian, and vehicle access across improved roadways. Design new transportation facilities that consider access to existing community facilities. Identify and consider during the design phase of the project, community amenities and facilities in the design of the project. Design roadway improvements that minimize barriers to pedestrians and bicyclists. Determine during the design phase, pedestrian and bicycle routes that permit connections to nearby community facilities. 	
Mineral Resources <i>Loss of Availability of a Known Mineral Resource</i>	Project-Level Mitigation Measure MM-MIN-1(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant effects on the loss of availability of a known mineral resource that would be of value to the region and the residents of the state or a locally important mineral resource recovery site	This mitigation measure is not incorporated, because the Project Sites are not located within the Los Angeles Downtown Oil Field, a Mineral Resource Zone 2 (MRZ-2) Area, an Oil Drilling/Surface Mining Supplemental Use District, or an Oil Field/Drilling Area. None of the suggested measures are applicable as there are no known aggregate and mineral sources or locally important mineral resource recovery sites on or adjacent to the Project Sites. Therefore, there are no impacts

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	<p>delineated on a local general plan, specific plan or other land use plan that are within the jurisdiction and responsibility of the California Department of Conservation, and/or Lead Agencies.</p> <p>Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures to ensure compliance with SMARA, California Department of Conservation regulations, local general plans, specific plans, and other laws and regulation governing mineral or aggregate resources, as applicable and feasible. Such measures may include the following, other comparable measures identified by the Lead Agency:</p> <ul style="list-style-type: none"> • Provide for the efficient use of known aggregate and mineral resources or locally important mineral resource recovery sites, by ensuring that the consumptive use of aggregate resources is minimized and that access to recoverable sources of aggregate is not precluded, as a result of construction, operation and maintenance of projects. • Where avoidance is infeasible, minimize impacts to the efficient and effective use of recoverable sources of aggregate through measures that have been identified in county and city general plans, or other comparable measures: <ul style="list-style-type: none"> ○ Recycle and reuse building materials resulting from demolition, particularly aggregate resources, to the maximum extent practicable. ○ Identify and use building materials, particularly aggregate materials, resulting from demolition at other 	<p>related to these issues.</p>

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Topic	Measure	Applicability to the Project
	<p>construction sites in the SCAG region, or within a reasonable hauling distance of the project site.</p> <ul style="list-style-type: none"> ○ Design transportation network improvements in a manner (such as buffer zones or the use of screening) that does not preclude adjacent or nearby extraction of known mineral and aggregate resources following completion of the improvement and during long-term operations. ○ Avoid or reduce impacts on known aggregate and mineral resources and mineral resource recovery sites through the evaluation and selection of Project Sites and design features (e.g., buffers) that minimize impacts on land suitable for aggregate and mineral resource extraction by maintaining portions of MRZ-2 areas in open space or other general plan land use categories and zoning that allow for mining of mineral resources. 	
<p><u>Noise</u> <i>Exposure of Persons to Noise in Excess of Local Standards, Excessive Groundborne Vibration or Noise Levels, Substantial Permanent Increase in Noise Level, Substantial Temporary Increase in Noise Levels</i></p>	<p><u>Project-Level Mitigation Measure</u> MM-NOISE-1(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant effects of noise impacts that are in the jurisdiction and responsibility of public agencies and/or Lead Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures to ensure consistency with the Federal Noise Control Act, California Government Code Section 65302, the</p>	<p>This mitigation measure is not incorporated, because the City has determined that the existing mitigation measures and regulatory compliance measures listed below regarding noise will apply to the Project and are equal to or more effective than the SCAG RTP/SCS Program EIR MM-NOISE-1(b):</p> <p>Specifically, the City's noise regulations, including LAMC Section 41.40 and 112.05. Additionally, the City imposes the following mitigation measures on the Project that are comparable and equally effective to MM-NOISE-1(b):</p> <p>NOISE-MM-1: All diesel-powered construction vehicles</p>

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	<p>Governor's Office of Planning and Research Noise Element Guidelines, and the noise ordinances and general plan noise elements for the counties or cities where projects are undertaken, Federal Highway Administration and Caltrans guidance documents and other health and safety standards set forth by federal, state, and local authorities that regulate noise levels, as applicable and feasible. Such measures may include the following or other comparable measures identified by the Lead Agency:</p> <ul style="list-style-type: none"> • Install temporary noise barriers during construction. • Include permanent noise barriers and sound-attenuating features as part of the project design. • Schedule construction activities consistent with the allowable hours pursuant to applicable general plan noise element or noise ordinance. Where construction activities are authorized outside the limits established by the noise element of the general plan or noise ordinance, notify affected sensitive noise receptors and all parties who will experience noise levels in excess of the allowable limits for the specified land use, of the level of exceedance and duration of exceedance; and provide a list of protective measures that can be undertaken by the individual, including temporary relocation or use of hearing protective devices. • Limit speed and/or hours of operation of rail and transit systems during the selected periods of time to reduce duration and frequency of conflict with adopted limits on noise levels. • Post procedures and phone numbers at the construction site for notifying the Lead Agency staff, local Police Department, and construction 	<p>shall be equipped with exhaust mufflers or other suitable noise reduction devices capable of achieving a sound attenuation of at least 3 dBA.</p> <p>NOISE-MM-2: Temporary sound barriers capable of achieving a sound attenuation of at least 10 dBA shall be erected along the Project's boundaries.</p>

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	<p>contractor (during regular construction hours and off-hours), along with permitted construction days and hours, complaint procedures, and who to notify in the event of a problem.</p> <ul style="list-style-type: none"> • Notify neighbors and occupants within 300 feet of the project construction area at least 30 days in advance of anticipated times when noise levels are expected to exceed limits established in the noise element of the general plan or noise ordinance. • Hold a preconstruction meeting with the job inspectors and the general contractor/on-site project manager to confirm that noise measures and practices (including construction hours, neighborhood notification, posted signs, etc.) are completed. • Designate an on-site construction complaint and enforcement manager for the project. • Ensure that construction equipment are properly maintained per manufacturers' specifications and fitted with the best available noise suppression devices (e.g., mufflers, silencers, wraps). All intake and exhaust ports on power equipment shall be muffled or shielded. • Ensure that impact tools (e.g., jack hammers, pavement breakers, and rock drills) used for project construction are hydraulically or electrically powered to avoid noise associated with compressed air exhaust from pneumatically powered tools. However, where use of pneumatic tools is unavoidable, an exhaust muffler on the compressed air exhaust can and should be used. External jackets on the tools themselves can and should be used, if such jackets are commercially available and this could achieve a reduction of 5 dBA. Quieter procedures can and should be used, 	

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	<p>such as drills rather than impact equipment, whenever such procedures are available and consistent with construction procedures.</p> <ul style="list-style-type: none"> • Ensure that construction equipment does not idle for an extended time in the vicinity of noise-sensitive receptors. • Locate fixed/stationary equipment (such as generators, compressors, rock crushers, and cement mixers) as far as possible from noise-sensitive receptors. • Locate new roadway lanes, roadways, rail lines, transit-related passenger station and related facilities, park-and-ride lots, and other new noise-generating facilities away from sensitive receptors to the maximum extent feasible. • Where feasible, eliminate noise-sensitive receptors by acquiring freeway and rail rights-of-way. • Use noise barriers to protect sensitive receptors from excessive noise levels during construction. • Construct sound-reducing barriers between noise sources and noise-sensitive receptors to minimize exposure to excessive noise during operation of transportation improvement projects, including but not limited to earth-berms or sound walls. • Where feasible, design projects so that they are depressed below the grade of the existing noise-sensitive receptor, creating an effective barrier between the roadway and sensitive receptors. • Where feasible, improve the acoustical insulation of dwelling units where setbacks and sound barriers do not provide sufficient noise reduction. • Monitor the effectiveness of noise reduction measures by taking noise measurements and installing adaptive mitigation measures to achieve 	

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	the standards for ambient noise levels established by the noise element of the general plan or noise ordinance.	
<u>Noise</u> <i>Exposure of Persons to Excessive Groundborne Vibration or Noise Levels</i>	<u>Project-Level Mitigation Measure</u> MM-NOISE-2(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant effects of vibration impacts that are in the jurisdiction and responsibility of public agencies and/or Lead Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures to ensure compliance with the Federal Transportation Authority and Caltrans guidance documents, county or city transportation commission, noise and vibration ordinances and general plan noise elements for the counties and cities where projects are undertaken and other health and safety regulations set forth by federal state, and local authorities that regulate vibration levels, as applicable and feasible. Such measures may include the following or other comparable measures identified by the Lead Agency: <ul style="list-style-type: none"> • For projects that require pile driving or other construction techniques that result in excessive vibration, such as blasting, determine the potential vibration impacts to the structural integrity of the adjacent buildings within 50 feet of pile driving locations. • For projects that require pile driving or other construction techniques that result in excessive vibration, such as blasting, determine the threshold levels of vibration and cracking that could damage adjacent historic or other structure, and design means and construction methods to 	This mitigation measure is not incorporated, because the Project would not generate groundborne vibration that would exceed established significance thresholds and as such, would not result in any significant impacts related to groundborne vibration.

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	<p>not exceed the thresholds.</p> <ul style="list-style-type: none"> For projects where pile driving would be necessary for construction due to geological conditions, utilize quiet pile driving techniques such as predrilling the piles to the maximum feasible depth, where feasible. Predrilling pile holes will reduce the number of blows required to completely seat the pile and will concentrate the pile driving activity closer to the ground where pile driving noise can be shielded more effectively by a noise barrier/curtain. For projects where pile driving would be necessary for construction due to geological conditions, utilize quiet pile driving techniques such as the use of more than one pile driver to shorten the total pile driving duration. 	
<u>Population and Housing</u> <i>Displacement of Housing,</i> <i>Requiring Replacement Housing</i> <i>Elsewhere</i>	<p><u>Project-Level Implementation Measures</u> MM-PHE-2(b). Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant effects related to displacement that are within the jurisdiction and responsibility of Lead Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures to minimize the displacement of existing housing and people and to ensure compliance with local jurisdiction's housing elements of their general plans, as applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead Agency:</p> <ul style="list-style-type: none"> Evaluate alternate route alignments and transportation facilities that minimize the displacement of homes and businesses. Use an 	<p>This mitigation measure is not incorporated, because the Project would consist of the development of new housing and commercial land uses on a sites that are currently developed with nonresidential uses. No displacement of existing housing would occur with the development of the Project and therefore, none of the suggested measures are applicable.</p>

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Topic	Measure	Applicability to the Project
	<p>iterative design and impact analysis where impacts to homes or businesses are involved to minimize the potential of impacts on housing and displacement of people.</p> <ul style="list-style-type: none"> • Prioritize the use existing ROWs, wherever feasible. • Develop a construction schedule that minimizes potential neighborhood deterioration from protracted waiting periods between right-of-way acquisition and construction. 	
<p><u>Public Services</u> <i>Adverse Impacts Associated with New or Physically Altered Governmental Facilities for Public Protective Fire and Emergency Services</i></p>	<p><u>Project-Level Mitigation Measure</u> MM-PS-1(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant effects from the need for new or physically altered governmental facilities in order to maintain acceptable response times for fire protection and emergency response services that are within the jurisdiction and responsibility of fire departments, law enforcement agencies, and local jurisdictions. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures consistent with the Community Facilities Act of 1982, the goals and policies established within the applicable adopted county and city general plans and the performance objectives established in the adopted county and city general plans, to provide sufficient structures and buildings to accommodate fire and emergency response, as applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead Agency, taking into account project and site-specific considerations as applicable and feasible:</p>	<p>This mitigation measure is not incorporated, because existing facilities are capable of providing acceptable response times for fire protection and emergency response services. Specifically, the Los Angeles Fire Department (LAFD) considers fire protection services for a project adequate if a project is within the maximum response distance (1.5 miles in this instance). The Project Sites are served by LAFD Station Nos. 4, 9, and 10, approximately 1.3, 0.2, and 1.6 miles (respectively) from the Project Sites. Additionally, the Project would be subject to the existing regulations in the City's Fire Code and LAMC related to emergency access. Thus, fire protection response with existing facilities is therefore considered adequate. Therefore, the Project would not require the need for new or physically altered governmental facilities.</p>

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Topic	Measure	Applicability to the Project
	<ul style="list-style-type: none"> Where the project has the potential to generate the need for expanded emergency response services which exceed the capacity of existing facilities, provide for the construction of new facilities directly as an element of the project or through dedicated fair share contributions toward infrastructure improvements. During project-level review of government facilities projects, require implementation of Mitigation Measures MM-AES-1(b), MM-AES-3(b), MM-AES-4(b), MM-AF-1(b), MM-AF-2(b), MM-BIO-1(b), MM-BIO-2(b), MM-BIO-3(b), MM-CUL-1(b), MM-CUL-2(b), MM-CUL-3(b), MM-CUL-4(b), MM-GEO-1(b), MM-GEO-1(b), MM-HYD-1(b), MM-USS-3(b), MM-USS-4(b), and MM-USS-6(b) to avoid or reduce significant environmental impacts associated with the construction or expansion of such facilities, through the imposition of conditions required to be followed to avoid or reduce impacts associated with air quality, noise, traffic, biological resources, greenhouse gas emissions, hydrology and water quality, and others that apply to specific construction or expansion of new or expanded public service facilities. 	
Public Services Facilities <i>Adverse Impacts Associated with New or Physically Altered Governmental Facilities for Public Protective Security Services</i>	Project-Level Mitigation Measure MM-PS-2(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant effects from the need for new or physically altered governmental facilities in order to maintain acceptable service ratios for police protection services that are within the jurisdiction and responsibility of law enforcement agencies and local jurisdictions. Where the Lead	This mitigation measure is not incorporated, because existing facilities are capable of providing acceptable response times for police protection, and the City-imposed mitigation measure discussed below is equally effective in mitigating any potential impacts to a less than significant level. The Project Sites are currently served by the Los Angeles Police Department's (LAPD). The Project would incorporate crime prevention features into the design of the buildings and public spaces, such as lighting of entryways and public areas. The Project would feature the following:

Table 4-1
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Topic	Measure	Applicability to the Project
	<p>Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures consistent with the Community Facilities Act of 1982, the goals and policies established within the applicable adopted county and city general plans and the standards established in the safety elements of county and city general plans to maintain police response performance objectives, as applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead Agency, taking in to account project and site-specific considerations as applicable and feasible, including:</p> <ul style="list-style-type: none"> • Coordinate with public security agencies to ensure that there are adequate governmental facilities to maintain acceptable service ratios, response times, or other performance objectives for public protective security services and that any required additional construction of buildings is incorporated into the project description. • Where current levels of services at the project site are found to be inadequate, provide fair share contributions towards infrastructure improvements and/or personnel. • During project-level review of government facilities projects, require implementation of Mitigation Measures MM-AES-1(b), MM-AES-3(b), MM-AES-4(b), MM-AF-1(b), MM-AF-2(b), MM-BIO-1(b), MM-BIO-2(b), MM-BIO-3(b), MM-CUL-1(b), MM-CUL-2(b), MM-CUL-3(b), MM-CUL-4(b), MM-GEO-1(b), MM-GEO-1(b), MM-HYD-1(b), MM-USS-3(b), MM-USS-4(b), and MM-USS-6(b) to avoid or reduce significant environmental impacts associated with the construction or 	<ul style="list-style-type: none"> • On-site security personnel; • Security cameras; • Perimeter lighting to supplement the street lighting and to provide increased visibility and security; • Parking structure access control; and • Residential units access control. <p>As outlined in Mitigation Measure POLICE-MM-1 (listed below), the Project would provide the LAPD with a diagram of each portion of the Project Sites, showing access routes and additional access information as requested by the LAPD, to facilitate police response. Emergency access to the Project Sites would be provided by the existing street system. The Project's direct minimal population increase and associated demand for police services, along with the provision of on-site security features, coordination with LAFD, and incorporation of crime prevention features, would not require the provision of new or physically altered police stations in order to maintain acceptable service ratios or other performance objectives for police protection. Thus, with mitigation, Project impacts related to police protection services would be less than significant. Therefore, the Project would not result in the need for new or physically altered facilities for public protective security services.</p> <p>POLICE-MM-1: Prior to issuance of a Certificate of Occupancy, the Project Applicant shall provide the Central Area Commanding Area Officer with diagrams of each portion of the Project Sites. The diagrams shall include access routes and additional information that might facilitate police response.</p>

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Topic	Measure	Applicability to the Project
	expansion of such facilities, through the imposition of conditions required to be followed to avoid or reduce impacts associated with air quality, noise, traffic, biological resources, greenhouse gas emissions, hydrology and water quality, and others that apply to specific construction or expansion of new or expanded public service facilities.	
<u>Public Services</u> <i>Adverse Impacts Associated with New or Physically Altered Governmental Facilities for School Services</i>	<u>Project-Level Mitigation Measure</u> MM-PS-3(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant effects from the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives that are within the jurisdiction and responsibility of school districts and local jurisdictions. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures consistent with Community Facilities Act of 1982, the California Education Code, and the goals and policies established within the applicable adopted county and city general plans to ensure that the appropriate school district fees are paid in accordance with state law, as applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead Agency, taking in to account project and site-specific considerations as applicable and feasible: <ul style="list-style-type: none"> Where construction or expansion of school facilities is required to meet public school service ratios, require school district fees, as applicable. 	<p>This mitigation measure is not incorporated, because the City has determined that the existing regulatory requirements listed below would apply to the Project and are equal to or more effective than the SCAG RTP/SCS Program EIR MM-PS-3(b).</p> <p>Specifically, the Project is subject to the following existing regulation that avoids or reduces the significant effects from the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives that are within the jurisdiction and responsibility of school districts and local jurisdictions:</p> <ul style="list-style-type: none"> The Applicant shall pay school fees to the Los Angeles Unified School District to offset the impact of additional student enrollment at schools serving the project area.

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Topic	Measure	Applicability to the Project
	<ul style="list-style-type: none"> During project-level review of government facilities projects, require implementation of Mitigation Measures MM-AES-1(b), MM-AES-3(b), MM-AES-4(b), MM-AF-1(b), MM-AF-2(b), MM-BIO-1(b), MM-BIO-2(b), MM-BIO-3(b), MM-CUL-1(b), MM-CUL-2(b), MM-CUL-3(b), MM-CUL-4(b), MM-GEO-1(b), MM-GEO-1(b), MM-HYD-1(b), MM-USS-3(b), MM-USS-4(b), and MM-USS-6(b) to avoid or reduce significant environmental impacts associated with the construction or expansion of such facilities, through the imposition of conditions required to be followed to avoid or reduce impacts associated with air quality, noise, traffic, biological resources, greenhouse gas emissions, hydrology and water quality, and others that apply to specific construction or expansion of new or expanded public service facilities. 	
<u>Recreation</u> <i>Increased Use or Physical Deterioration of Recreational Facilities</i>	<u>Project-Level Mitigation Measure</u> MM-REC-1(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant effects on the integrity of recreation facilities, particularly neighborhood parks in the vicinity of HQTAs and other applicable development projects, that are within the jurisdiction and responsibility of other public agencies and/or Lead Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures capable of avoiding or reducing significant impacts on the use of existing neighborhood and regional parks or other recreational facilities to ensure compliance with county and city general plans and the Quimby Act, as	This mitigation measure is not incorporated, because the Project Applicant would be required to pay park fees for the 9 manager's units in accordance with mandates set forth in Los Angeles Municipal Code Section 17.12 and 12.33.

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Topic	Measure	Applicability to the Project
	<p>applicable and feasible. Such measures may include the following, or other comparable measures identified by the Lead Agency:</p> <ul style="list-style-type: none"> • Prior to the issuance of permits, where projects require the construction or expansion of recreational facilities or the payment of equivalent Quimby fees, consider increasing the accessibility to natural areas and lands for outdoor recreation from the Project area, in coordination with local and regional open space planning and/or responsible management agencies. • Prior to the issuance of permits, where projects require the construction or expansion of recreational facilities or the payment of equivalent Quimby fees, encourage patterns of urban development and land use which reduce costs on infrastructure and make better use of existing facilities, using strategies such as: <ul style="list-style-type: none"> ○ Increasing the accessibility to natural areas for outdoor recreation. ○ Promoting infill development and redevelopment to revitalize existing communities. ○ Utilizing “green” development techniques. ○ Promoting water-efficient land use and development. ○ Encouraging multiple uses. ○ Including trail systems and trail segments in General Plan recreation standards. • Prior to the issuance of permits, where construction and operation of projects would require the acquisition or development of 	

Table 4-1
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Topic	Measure	Applicability to the Project
	<p>protected open space or recreation lands, demonstrate that existing neighborhood parks can be expanded or new neighborhood parks developed such that there is no net decrease in acres of neighborhood park area available per capita in the HQTAs.</p> <ul style="list-style-type: none"> Where construction or expansion of recreational facilities is included in the project or required to meet public park service ratios, require implementation of Mitigation Measures MM-AES-1(b), MM-AES-3(b), MM-AES-4(b), MM-AF-1(b), MM-AF-2(b), MM-BIO-1(b), MM-BIO-2(b), MM-BIO-3(b), MM-CUL-1(b), MM-CUL-2(b), MM-CUL-3(b), MM-CUL-4(b), MM-GEO-1(b), MM-GEO-2(b), MM-HYD-1(b), MM-USS-3(b), MM-USS-4(b), and MM-USS-6(b) to avoid or reduce significant environmental impacts associated with the construction or expansion of such facilities, through the imposition of conditions required to be followed to avoid or reduce impacts associated with air quality, noise, traffic, biological resources, greenhouse gas emissions, hydrology and water quality, and others that apply to specific construction or expansion of new or expanded public service facilities. 	
<p><u>Transportation/Traffic</u> <i>Conflict with Measures of Effectiveness For Performance of the Circulation System</i></p>	<p><u>Project-Level Mitigation Measure</u> MM-TRA-1(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the potential for conflicts with the established measures of effectiveness for the performance of the circulation system that are within the jurisdiction and responsibility of Lead Agencies. This measure need only be considered where it is found by the Lead Agency to be appropriate and</p>	<p>This mitigation measure is not incorporated, because the Project already substantially conforms to this mitigation measure, due to the Project's mixed-use nature and transit adjacency avoid or reduce the potential for conflicts with the established measures of effectiveness for the performance of the circulation system that are within the jurisdiction and responsibility of Lead Agencies:</p> <ul style="list-style-type: none"> As an infill mixed-use development in an urban area, the Project is expected to have a higher percentage of internal

Table 4-1
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Topic	Measure	Applicability to the Project
	<p>consistent with local transportation priorities. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures to ensure compliance with the adopted Congestion Management Plan, and other adopted local plans and policies, as applicable and feasible. Compliance can be achieved through adopting transportation mitigation measures as set forth below, or through other comparable measures identified by the Lead Agency:</p> <ul style="list-style-type: none"> • Institute teleconferencing, telecommute and/or flexible work hour programs to reduce unnecessary employee transportation. • Create a ride-sharing program by designating a certain percentage of parking spaces for ride sharing vehicles, designating adequate passenger loading and unloading for ride sharing vehicles, and providing a web site or message board for coordinating rides. • Provide a vanpool for employees. • Fund capital improvement projects to accommodate future traffic demand in the area. • Provide a Transportation Demand Management (TDM) plan containing strategies to reduce on-site parking demand and single occupancy vehicle travel. The TDM shall include strategies to increase bicycle, pedestrian, transit, and carpools/vanpool use, including: <ul style="list-style-type: none"> ○ Inclusion of additional bicycle parking, shower, and locker facilities that exceed the requirement ○ Construction of bike lanes per the prevailing Bicycle Master Plan (or other similar document) ○ Signage and striping onsite to encourage 	<p>and pass-by trips. Furthermore, because of its proximity to public transit, employment and entertainment destinations, a number of Project trips would be expected to be walk or transit trips rather than auto vehicle trips. Similarly, because the commercial components of the Project will be primarily locally serving to the Project and the surrounding area, some of the trips might be expected to be walk-ins either from the Project or the surrounding area.</p> <ul style="list-style-type: none"> • The Project would include 493 on-site bicycle parking spaces, which is pursuant to the standards and requirements of the City's Bicycle Ordinance (182386, effective March 13, 2013). Bicycle maintenance areas would also be provided.

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Topic	Measure	Applicability to the Project
	<p>bike safety</p> <ul style="list-style-type: none"> ○ Installation of pedestrian safety elements (such as cross walk striping, curb ramps, countdown signals, bulb outs, etc.) to encourage convenient crossing at arterials ○ Installation of amenities such as lighting, street trees, trash and any applicable streetscape plan. ○ Direct transit sales or subsidized transit passes ○ Guaranteed ride home program ○ Pre-tax commuter benefits (checks) ○ On-site car-sharing program (such as City Car Share, Zip Car, etc.) ○ On-site carpooling program ○ Distribution of information concerning alternative transportation options ○ Parking spaces sold/leased separately ○ Parking management strategies; including attendant/valet parking and shared parking spaces. <ul style="list-style-type: none"> • Promote ride sharing programs e.g., by designating a certain percentage of parking spaces for high-occupancy vehicles, providing larger parking spaces to accommodate vans used for ride-sharing, and designating adequate passenger loading and unloading and waiting areas. • Encourage bicycling to transit facilities by providing additional bicycle parking, locker facilities, and bike lane access to transit facilities when feasible. • Encourage the use of public transit systems by enhancing safety and cleanliness on vehicles and 	

Table 4-1
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Topic	Measure	Applicability to the Project
	<p>in and around stations, providing shuttle service to public transit, offering public transit incentives and providing public education and publicity about public transportation services.</p> <ul style="list-style-type: none"> • Encourage bicycling and walking by incorporating bicycle lanes into street systems in regional transportation plans, new subdivisions, and large developments, creating bicycle lanes and walking paths directed to the location of schools and other logical points of destination and provide adequate bicycle parking, and encouraging commercial projects to include facilities on-site to encourage employees to bicycle or walk to work. • Build or fund a major transit stop within or near transit development upon consultation with applicable CTCs. • Work with the school districts to improve pedestrian and bike access to schools and to restore or expand school bus service using lower-emitting vehicles. • Provide information on alternative transportation options for consumers, residents, tenants and employees to reduce transportation-related emissions. • Educate consumers, residents, tenants and the public about options for reducing motor vehicle-related greenhouse gas emissions. Include information on trip reduction; trip linking; vehicle performance and efficiency (e.g., keeping tires inflated); and low or zero-emission vehicles. • Purchase, or create incentives for purchasing, low or zero-emission vehicles. • Create local “light vehicle” networks, such as neighborhood electric vehicle systems. 	

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Topic	Measure	Applicability to the Project
	<ul style="list-style-type: none"> • Enforce and follow limits idling time for commercial vehicles, including delivery and construction vehicles. • Provide the necessary facilities and infrastructure to encourage the use of low or zero-emission vehicles. • Reduce VMT-related emissions by encouraging the use of public transit through adoption of new development standards that would require improvements to the transit system and infrastructure, increase safety and accessibility, and provide other incentives. • Project Selection: <ul style="list-style-type: none"> ○ Give priority to transportation projects that would contribute to a reduction in vehicle miles traveled per capita, while maintaining economic vitality and sustainability. ○ Separate sidewalks whenever possible, on both sides of all new street improvement projects, except where there are severe topographic or natural resource constraints. ○ Public Involvement: ○ Carry out a comprehensive public involvement and input process that provides information about transportation issues, projects, and processes to community members and other stakeholders, especially to those traditionally underserved by transportation services. ○ Transit and Multimodal Impact Fees: ○ Assess transit and multimodal impact fees for new developments to fund public transportation infrastructure, 	

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Topic	Measure	Applicability to the Project
	<p>bicycle infrastructure, pedestrian infrastructure and other multimodal accommodations.</p> <ul style="list-style-type: none"> ○ Implement traffic and roadway management strategies to improve mobility and efficiency, and reduce associated emissions. • System Monitoring: <ul style="list-style-type: none"> ○ Monitor traffic and congestion to determine when and where new transportation facilities are needed in order to increase access and efficiency. • Arterial Traffic Management: <ul style="list-style-type: none"> ○ Modify arterial roadways to allow more efficient bus operation, including bus lanes and signal priority/preemption where necessary. • Signal Synchronization: <ul style="list-style-type: none"> ○ Expand signal timing programs where emissions reduction benefits can be demonstrated, including maintenance of the synchronization system, and will coordinate with adjoining jurisdictions as needed to optimize transit operation while maintaining a free flow of traffic. • HOV Lanes: <ul style="list-style-type: none"> ○ Encourage the construction of high-occupancy vehicle (HOV) lanes or similar mechanisms whenever necessary to relieve congestion and reduce emissions. • Delivery Schedules: <ul style="list-style-type: none"> ○ Establish ordinances or land use permit conditions limiting the hours when deliveries can be made to off-peak hours in high traffic areas. 	

Table 4-1
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Topic	Measure	Applicability to the Project
	<ul style="list-style-type: none"> ○ Implement and supporting trip reduction programs. ○ Support bicycle use as a mode of transportation by enhancing infrastructure to accommodate bicycles and riders, and providing incentives. • Establish standards for new development and redevelopment projects to support bicycle use, including amending the Development Code to include standards for safe pedestrian and bicyclist accommodations, and require new development and redevelopment projects to include bicycle facilities. • Bicycle and Pedestrian Trails: <ul style="list-style-type: none"> ○ Establish a network of multi-use trails to facilitate safe and direct off-street bicycle and pedestrian travel, and will provide bike racks along these trails at secure, lighted locations. • Bicycle Safety Program: <ul style="list-style-type: none"> ○ Develop and implement a bicycle safety educational program to teach drivers and riders the laws, riding protocols, routes, safety tips, and emergency maneuvers. • Bicycle and Pedestrian Project Funding: Pursue and provide enhanced funding for bicycle and pedestrian facilities and access projects. • Bicycle Parking: <ul style="list-style-type: none"> ○ Adopt bicycle parking standards that ensure bicycle parking sufficient to accommodate 5 to 10 percent of projected use at all public and commercial facilities, and at a rate of at least one per residential unit in multiple-family developments (suggestion: check language with League of American 	

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Topic	Measure	Applicability to the Project
	<p align="center">Bicyclists).</p> <ul style="list-style-type: none"> • Adopt a comprehensive parking policy to discourage private vehicle use and encourage the use of alternative transportation by incorporating the following: <ul style="list-style-type: none"> ○ Reduce the available parking spaces for private vehicles while increasing parking spaces for shared vehicles, bicycles, and other alternative modes of transportation; ○ Eliminate or reduce minimum parking requirements for new buildings; ○ “Unbundle” parking (require that parking is paid for separately and is not included in the base rent for residential and commercial space); ○ Use parking pricing to discourage private vehicle use, especially at peak times; ○ Create parking benefit districts, which invest meter revenues in pedestrian infrastructure and other public amenities; ○ Establish performance pricing of street parking, so that it is expensive enough to promote frequent turnover and keep 15 percent of spaces empty at all times; ○ Encourage shared parking programs in mixed-use and transit-oriented development areas. • Establish policies and programs to reduce onsite parking demand and promote ride-sharing and public transit at large events, including: <ul style="list-style-type: none"> ○ Promote the use of peripheral parking by increasing on-site parking rates and offering reduced rates for peripheral 	

Table 4-1
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Topic	Measure	Applicability to the Project
	<ul style="list-style-type: none"> parking; <ul style="list-style-type: none"> ○ Encourage special event center operators to advertise and offer discounted transit passes with event tickets; ○ Encourage special event center operators to advertise and offer discount parking incentives to carpooling patrons, with four or more persons per vehicle for on-site parking ○ Promote the use of bicycles by providing space for the operation of valet bicycle parking service. • Parking “Cash-out” Program: <ul style="list-style-type: none"> ○ Require new office developments with more than 50 employees to offer a Parking “Cash-out” Program to discourage private vehicle use. • Pedestrian and Bicycle Promotion: <ul style="list-style-type: none"> ○ Work with local community groups and downtown business associations to organize and publicize walking tours and bicycle events, and to encourage pedestrian and bicycle modes of transportation. • Fleet Replacement: <ul style="list-style-type: none"> ○ Establish a replacement policy and schedule to replace fleet vehicles and equipment with the most fuel efficient vehicles practical, including gasoline hybrid and alternative fuel or electric models. 	
<u>Transportation/Traffic</u> <i>Conflict with Applicable</i> <i>Congestion Management Program</i>	<u>Project-Level Mitigation Measure</u> MM-TRA-2(b). Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding conflict with an applicable congestion	This mitigation measure is not incorporated, because it is not applicable to the Project. The Traffic Impact Analysis (TIA) guidelines of the 2010 CMP for Los Angeles County require analysis of all CMP arterial monitoring locations where a project could add a total of 50 or more trips during either peak

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Topic	Measure	Applicability to the Project
	<p>management program that are within the jurisdictions of the lead agencies, including, but not limited to, VMT, VHD and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways. This measure need only be considered where it is found by the Lead Agency to be appropriate and consistent with local transportation priorities. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures to ensure compliance with the adopted Congestion Management Plan, and other adopted local plans and policies, as applicable and feasible. Compliance can be achieved through adopting transportation mitigation measures such as those set forth below, or through other relevant and feasible comparable measures identified by the Lead Agency. Not all measures and/or options within each measure may apply to all jurisdictions:</p> <ul style="list-style-type: none"> • Encourage a comprehensive parking policy that prioritizes system management, increase rideshare, and telecommute opportunities, including investment in non-motorized transportation and discouragement against private vehicle use, and encouragement to maximize the use of alternative transportation: <ul style="list-style-type: none"> ○ Advocate for a regional, market-based system to price or charge for auto trips during peak hours. ○ Ensure that new developments incorporate both local and regional transit measures into the project design that promote the use of alternative modes of transportation. 	<p>hour. Additionally, all freeway monitoring locations where a project could add 150 or more trips in either direction during the peak hours are to be analyzed. The Project would not add a total of 50 or more peak-hour trips to any CMP arterial monitoring locations or 150 peak-hour trips to any CMP freeway monitoring locations. Thus, the Project would not result in any significant impacts related to CMP facilities, and no mitigation measures are required.</p>

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Topic	Measure	Applicability to the Project
	<ul style="list-style-type: none"> ○ Coordinate controlled intersections so that traffic passes more efficiently through congested areas. Where traffic signals or streetlights are installed, require the use of Light Emitting Diode (LED) technology or similar technology. ○ Encourage the use of car-sharing programs. Accommodations for such programs include providing parking spaces for the car-share vehicles at convenient locations accessible by public transportation. ○ Reduce VHDs, especially daily heavy-duty truck vehicle hours of delay, through goods movement capacity enhancements, system management, increasing rideshare and work-at-home opportunities to reduce demand on the transportation system, investments in non-motorized transportation, maximizing the benefits of the land use-transportation connection and key transportation investments targeted to reduce heavy-duty truck delay. • Determine traffic management strategies to reduce, to the maximum extent feasible, traffic congestion and the effects of parking demand by construction workers during construction of this project and other nearby projects that could be simultaneously under construction. Develop a construction management plan that include the following items and requirements, if determined feasible and applicable by the Lead Agency: <ul style="list-style-type: none"> ○ A set of comprehensive traffic control measures, including scheduling of major truck trips and deliveries to avoid peak 	

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Topic	Measure	Applicability to the Project
	<p>traffic hours, detour signs if required, lane closure procedures, signs, cones for drivers, and designated construction access routes.</p> <ul style="list-style-type: none"> ○ Notification procedures for adjacent property owners and public safety personnel regarding when major deliveries, detours, and lane closures will occur. ○ Location of construction staging areas for materials, equipment, and vehicles at an approved location. ○ A process for responding to, and tracking, complaints pertaining to construction activity, including identification of an onsite complaint manager. The manager shall determine the cause of the complaints and shall take prompt action to correct the problem. The Lead Agency shall be informed who the Manager is prior to the issuance of the first permit. ○ Provision for accommodation of pedestrian flow. ○ As necessary, provision for parking management and spaces for all construction workers to ensure that construction workers do not park in on street spaces. ○ Any damage to the street caused by heavy equipment, or as a result of this construction, shall be repaired, at the project sponsor's expense., within one week of the occurrence of the damage (or excessive wear), unless further damage/excessive wear may continue; in 	

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Topic	Measure	Applicability to the Project
	<p>such case, r Repair shall occur prior to issuance of a final inspection of the building permit. All damage that is a threat to public health or safety shall be repaired immediately. The street shall be restored to its condition prior to the new construction as established by the Lead Agency (or other appropriate government agency) and/or photo documentation, at the sponsor's expense, before the issuance of a Certificate of Occupancy.</p> <ul style="list-style-type: none"> ○ Any heavy equipment brought to the construction site shall be transported by truck, where feasible. ○ No materials or equipment shall be stored on the traveled roadway at any time. ○ Prior to construction, a portable toilet facility and a debris box shall be installed on the site, and properly maintained through project completion. ○ All equipment shall be equipped with mufflers. ○ Prior to the end of each work-day during construction, the contractor or contractors shall pick up and properly dispose of all litter resulting from or related to the project, whether located on the property, within the public rights-of-way, or properties of adjacent or nearby neighbors. ○ Promote “least polluting” ways to connect people and goods to their destinations. <ul style="list-style-type: none"> • Create an interconnected transportation system 	

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Topic	Measure	Applicability to the Project
	<p>that allows a shift in travel from private passenger vehicles to alternative modes, including public transit, ride sharing, car sharing, bicycling and walking, by incorporating the following, if determined feasible and applicable by the Lead Agency:</p> <ul style="list-style-type: none"> ○ Ensure transportation centers are multi-modal to allow transportation modes to intersect. ○ Provide adequate and affordable public transportation choices, including expanded bus routes and service, as well as other transit choices such as shuttles, light rail, and rail. ○ To the extent feasible, extend service and hours of operation to underserved arterials and population centers or destinations such as colleges. ○ Focus transit resources on high-volume corridors and high-boarding destinations such as colleges, employment centers and regional destinations. ○ Coordinate schedules and routes across service lines with neighboring transit authorities. ○ Support programs to provide “station cars” for short trips to and from transit nodes (e.g., neighborhood electric vehicles). ○ Study the feasibility of providing free transit to areas with residential densities of 15 dwelling units per acre or more, including options such as removing service from less dense, underutilized areas to do so. ○ Employ transit-preferential measures, 	

Table 4-1
Applicability of Project-Level Mitigation Measures from the
2016-2040 RTP/SCS

Topic	Measure	Applicability to the Project
	<p>such as signal priority and bypass lanes. Where compatible with adjacent land use designations, right-of-way acquisition or parking removal may occur to accommodate transit-preferential measures or improve access to transit. The use of access management shall be considered where needed to reduce conflicts between transit vehicles and other vehicles.</p> <ul style="list-style-type: none"> ○ Provide safe and convenient access for pedestrians and bicyclists to, across, and along major transit priority streets. ○ Use park-and-ride facilities to access transit stations only at ends of regional transit ways or where adequate feeder bus service is not feasible. • Upgrade and maintain transit system infrastructure to enhance public use, if determined feasible and applicable by the Lead Agency, including: <ul style="list-style-type: none"> ○ Ensure transit stops and bus lanes are safe, convenient, clean and efficient. ○ Ensure transit stops have clearly marked street-level designation, and are accessible. ○ Ensure transit stops are safe, sheltered, benches are clean, and lighting is adequate. ○ Place transit stations along transit corridors within mixed-use or transit-oriented development areas at intervals of three to four blocks, or no less than one-half mile. • Enhance customer service and system ease-of-use, if determined feasible and applicable by the 	

Table 4-1
Applicability of Project-Level Mitigation Measures from the
2016-2040 RTP/SCS

Topic	Measure	Applicability to the Project
	<p>Lead Agency, including:</p> <ul style="list-style-type: none"> ○ Develop a Regional Pass system to reduce the number of different passes and tickets required of system users. ○ Implement “Smart Bus” technology, using GPS and electronic displays at transit stops to provide customers with “real-time” arrival and departure time information (and to allow the system operator to respond more quickly and effectively to disruptions in service). ○ Investigate the feasibility of an on-line trip-planning program. <ul style="list-style-type: none"> • Prioritize transportation funding to support a shift from private passenger vehicles to transit and other modes of transportation, if determined feasible and applicable by the Lead Agency, including: <ul style="list-style-type: none"> ○ Give funding preference to improvements in public transit over other new infrastructure for private automobile traffic. ○ Before funding transportation improvements that increase roadway capacity and VMT, evaluate the feasibility and effectiveness of funding projects that support alternative modes of transportation and reduce VMT, including transit, and bicycle and pedestrian access. • Promote ride sharing programs, if determined feasible and applicable by the Lead Agency, including: <ul style="list-style-type: none"> ○ Designate a certain percentage of parking spaces for ride-sharing vehicles. ○ Designate adequate passenger loading, 	

Table 4-1
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2016-2040 RTP/SCS

Topic	Measure	Applicability to the Project
	<ul style="list-style-type: none"> unloading, and waiting areas for ride-sharing vehicles. ○ Provide a web site or message board for coordinating shared rides. ○ Encourage private, for-profit community car-sharing, including parking spaces for car share vehicles at convenient locations accessible by public transit. ○ Hire or designate a rideshare coordinator to develop and implement ridesharing programs. • Support voluntary, employer-based trip reduction programs, if determined feasible and applicable by the Lead Agency, including: <ul style="list-style-type: none"> ○ Provide assistance to regional and local ridesharing organizations. ○ Advocate for legislation to maintain and expand incentives for employer ridesharing programs. ○ Require the development of Transportation Management Associations for large employers and commercial/ industrial complexes. ○ Provide public recognition of effective programs through awards, top ten lists, and other mechanisms. • Implement a “guaranteed ride home” program for those who commute by public transit, ride-sharing, or other modes of transportation, and encourage employers to subscribe to or support the program. • Encourage and utilize shuttles to serve neighborhoods, employment centers and major destinations. • Create a free or low-cost local area shuttle system that includes a fixed route to popular tourist 	

Table 4-1
Applicability of Project-Level Mitigation Measures from the
2016-2040 RTP/SCS

Topic	Measure	Applicability to the Project
	<p>destinations or shopping and business centers.</p> <ul style="list-style-type: none"> • Work with existing shuttle service providers to coordinate their services. • Facilitate employment opportunities that minimize the need for private vehicle trips, including: <ul style="list-style-type: none"> ○ Amend zoning ordinances and the Development Code to include live/work sites and satellite work centers in appropriate locations. ○ Encourage telecommuting options with new and existing employers, through project review and incentives, as appropriate. • Enforce state idling laws for commercial vehicles, including delivery and construction vehicles. • Organize events and workshops to promote GHG-reducing activities. • Implement a Parking Management Program to discourage private vehicle use, including: <ul style="list-style-type: none"> ○ Encouraging carpools and vanpools with preferential parking and a reduced parking fee. ○ Institute a parking cash-out program. ○ Renegotiate employee contracts, where possible, to eliminate parking subsidies. ○ Install on-street parking meters with fee structures designed to discourage private vehicle use. ○ Establish a parking fee for all single-occupant vehicles. • Work with school districts to improve pedestrian and bicycle to schools and restore school bus service • Encourage the use of bicycles to transit facilities 	

Table 4-1
Applicability of Project-Level Mitigation Measures from the
2016-2040 RTP/SCS

Topic	Measure	Applicability to the Project
	<p>by providing bicycle parking lockers facilities and bike land access to transit facilities.</p> <ul style="list-style-type: none"> • Monitor traffic congestion to determine where and when new transportation facilities are needed to increase access and efficiency. • Develop and implement a bicycle and pedestrian safety educational program to teach drivers and riders the laws, riding protocols, safety tips, and emergency maneuvers. • Synchronize traffic signals to reduce congestion and air quality. • Work with community groups and business associations to organize and publicize walking tours and bicycle events. • Support legislative efforts to increase funding for local street repair. 	
<p><u>Transportation/Traffic</u> <i>Inadequate Emergency Access</i></p> <p><u>Hazards and Hazardous Materials</u> <i>Impair or Interfere with</i> <i>Emergency Response or</i> <i>Evacuation Plan</i></p>	<p>Project-Level Mitigation Measure MM-TRA-5(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing impacts to emergency access that are in the jurisdiction and responsibility of fire departments, local enforcement agencies, and/or Lead Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider improving emergency access and ensuring compliance with the provisions of the county and city general plan, Emergency Evacuation Plan, and other regional and local plans establishing access during emergencies, as applicable and feasible. Compliance can be achieved through adopting transportation mitigation measures as set forth below, or through other comparable measures identified by the Lead Agency:</p> <ul style="list-style-type: none"> • Prior to construction, project implementation 	<p>This mitigation measure is not incorporated, because the City has determined that the existing regulatory requirements listed below would apply to the Project and are equal to or more effective than the SCAG RTP/SCS Program EIR MM-TRA-5(b).</p> <p>Specifically, the Project would be subject to the City's existing regulations that require the Project to comply with the Fire Code and LAMC emergency access requirements. Additionally, the LAFD would require the Project Applicant to prepare an emergency response plan that would address the following: mapping of emergency exits, evacuation routes for vehicles and pedestrians, and locations of nearest hospitals and fire departments.</p>

Table 4-1
Applicability of Project-Level Mitigation Measures from the
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Topic	Measure	Applicability to the Project
	<p>agencies can and should ensure that all necessary local and state road and railroad encroachment permits are obtained. The project implementation agency can and should also comply with all applicable conditions of approval. As deemed necessary by the governing jurisdiction, the road encroachment permits may require the contractor to prepare a traffic control plan in accordance with professional engineering standards prior to construction. Traffic control plans can and should include the following requirements:</p> <ul style="list-style-type: none"> ○ Identification of all roadway locations where special construction techniques (e.g., directional drilling or night construction) would be used to minimize impacts to traffic flow. ○ Development of circulation and detour plans to minimize impacts to local street circulation. This may include the use of signing and flagging to guide vehicles through and/or around the construction zone. ○ Scheduling of truck trips outside of peak morning and evening commute hours. ○ Limiting of lane closures during peak hours to the extent possible. ○ Usage of haul routes minimizing truck traffic on local roadways to the extent possible. ○ Inclusion of detours for bicycles and pedestrians in all areas potentially affected by project construction. ○ Installation of traffic control devices as specified in the California Department of Transportation Manual of Traffic Controls for Construction and 	

Table 4-1
Applicability of Project-Level Mitigation Measures from the
2016-2040 RTP/SCS

Topic	Measure	Applicability to the Project
	<p>Maintenance Work Zones.</p> <ul style="list-style-type: none"> ○ Development and implementation of access plans for highly sensitive land uses such as police and fire stations, transit stations, hospitals, and schools. The access plans would be developed with the facility owner or administrator. To minimize disruption of emergency vehicle access, affected jurisdictions can and should be asked to identify detours for emergency vehicles, which will then be posted by the contractor. Notify in advance the facility owner or operator of the timing, location, and duration of construction activities and the locations of detours and lane closures. ○ Storage of construction materials only in designated areas. <ul style="list-style-type: none"> • Coordination with local transit agencies for temporary relocation of routes or bus stops in work zones, as necessary. Ensure the rapid repair of transportation infrastructure in the event of an emergency through cooperation among public agencies and by identifying critical infrastructure needs necessary for: a) emergency responders to enter the region, b) evacuation of affected facilities, and c) restoration of utilities. • Enhance emergency preparedness awareness among public agencies and with the public at large. • Provision for collaboration in planning, communication, and information sharing before, during, or after a regional emergency through the following: <ul style="list-style-type: none"> ○ Incorporate strategies and actions pertaining to response and prevention of 	

Table 4-1
Applicability of Project-Level Mitigation Measures from the
2016-2040 RTP/SCS

Topic	Measure	Applicability to the Project
	<p>security incidents and events as part of the on-going regional planning activities.</p> <ul style="list-style-type: none"> ○ Provide a regional repository of GIS data for use by local agencies in emergency planning, and response, in a standardized format. ○ Enter into mutual aid agreements with other local jurisdictions, in coordination with the California OES, in the event that an event disrupts the jurisdiction's ability to function. 	
<p><u>Utilities and Service Systems</u> <i>Require New Water or Wastewater Treatment Facilities</i></p>	<p><u>Project-Level Mitigation Measure</u> MM-USS-3(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant effects on utilities and service systems, particularly for construction of storm water drainage facilities including new transportation and land use projects that are within the responsibility of local jurisdictions including the Riverside, San Bernardino, Los Angeles, Ventura, and Orange Counties Flood Control District, and County of Imperial. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures, as applicable and feasible. These mitigation measures are within the responsibility of the Lead Agencies and Regional Water Quality Control Boards of (Regions 4, 6, 8, and 9) pursuant to the provisions of the National Flood Insurance Act, stormwater permitting requirements for stormwater discharges for new constructions, the flood control act, and Urban Waste Management Plan.</p> <p>Such mitigation measures, or other comparable measures, capable of avoiding or reducing significant</p>	<p>This mitigation measure is not incorporated, because it is not applicable to the Project, as the Project would not require the need for new or upgraded water or wastewater treatment facilities.</p>

Table 4-1
Applicability of Project-Level Mitigation Measures from the
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Topic	Measure	Applicability to the Project
	impacts on the use of existing storm water drainage facilities and can and should be adopted where Lead Agencies identify significant impacts on new storm water drainage facilities.	
<u>Utilities and Service Systems</u> <i>Require New or Expanded Entitlements for Water Supply</i>	<p><u>Project-Level Mitigation Measure</u></p> <p>MM-USS-4(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant effects on water supplies from existing entitlements requiring new or expanded services in the vicinity of HQTAs that are in the jurisdiction and responsibility of public agencies and/or Lead Agencies. Where the Lead Agency has identified that a project has the potential for significant effects, the Lead Agency can and should consider mitigation measures to ensure compliance with EO B-29-15, provisions of the Porter –Cologne Water Quality Control Act, California Domestic Water Supply Permit requirements, and applicable County, City or other Local provisions. Such measures may include the following or other comparable measures identified by the Lead Agency:</p> <ul style="list-style-type: none"> • Reduce exterior consumptive uses of water in public areas, and should promote reductions in private homes and businesses, by shifting to drought-tolerant native landscape plantings (xeriscaping), using weather-based irrigation systems, educating other public agencies about water use, and installing related water pricing incentives. • Promote the availability of drought-resistant landscaping options and provide information on where these can be purchased. Use of reclaimed water especially in median landscaping and 	<p>This mitigation measure is not incorporated, because the City has determined, in reliance on a water supply assessment prepared pursuant to SB 610 and SB 221 for the Project by LADWP (refer to Appendix P), that the projected water supply available during normal, single-dry water years as included in the 25-year projection contained in its adopted 2015 Urban Water Management Plan can be accommodate the projected water demand associated with the Project, in addition to the existing and planned future development. LADWP estimates that the Project would consume approximately 99,226 gallons of water per day. The Project Applicant has voluntarily committed to incorporate the water conservation measures listed below into the Project that are beyond those required by the City’s Green Building Code (refer to PDF-1, Sustainability Measures, in Section 2 [Project Description]).</p> <ul style="list-style-type: none"> • High-efficiency toilets with a flush volume of 1.0 gallon per flush, or less. • Showerheads with a flow rate of 1.5 gallons per minute (gpm) or less. • Residential bathroom faucets equipped with aerators to reduce flow to 1.0 gpm or less. • Drip/subsurface irrigation (micro-irrigation) • Micro-spray • Proper hydro-zoning/zoned irrigation (group plants with similar water requirements) • Artificial turf • Drought-tolerant plants – 50 percent of total landscaping

Table 4-1
Applicability of Project-Level Mitigation Measures from the
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Topic	Measure	Applicability to the Project
	<p>hillside landscaping can and should be implemented where feasible.</p> <ul style="list-style-type: none"> Implement water conservation best practices such as low-flow toilets, water-efficient clothes washers, water system audits, and leak detection and repair. Ensure that projects requiring continual dewatering facilities implement monitoring systems and long-term administrative procedures to ensure proper water management that prevents degrading of surface water and minimizes, to the greatest extent possible, adverse impacts on groundwater for the life of the project. Comply with appropriate building codes and standard practices including the Uniform Building Code. Maximize, where practical and feasible, permeable surface area in existing urbanized areas to protect water quality, reduce flooding, allow for groundwater recharge, and preserve wildlife habitat. Minimized new impervious surfaces to the greatest extent possible, including the use of in-lieu fees and off-site mitigation. Avoid designs that require continual dewatering where feasible. Where feasible, do not site transportation facilities in groundwater recharge areas, to prevent conversion of those areas to impervious surface. 	<p>LADWP's WSA finds adequate water supplies would be available to meet the total additional water demand of 99,226 gallons per day for the Project. LADWP anticipates the projected water demand from the Project could be met during normal, single-dry, and multiple-dry water years, in addition to the existing and planned future demands on LADWP. Therefore, Project impacts related to water supply would be less than significant.</p> <p>Additionally, the Project would be subject to the City's existing water conservation measures outlined in the City's Green Building Code – measures that are substantially similar to those listed in MM-USS-4(b).</p>
<p>Utilities and Service Systems</p> <p><i>Landfill with Sufficient Capacity</i></p>	<p>Project-Level Mitigation Measure</p> <p>MM-USS-6(b): Consistent with the provisions of Section 15091 of the State CEQA Guidelines, SCAG has identified mitigation measures capable of avoiding or reducing the significant effects to serve landfills with sufficient permitted capacity to accommodate solid waste disposal needs, in which 75 percent of the waste stream be recycled and waste reduction goal by 50 percent that are within the</p>	<p>This mitigation measure is not incorporated, because the City has determined that the City's existing regulatory requirements regarding recycling would apply to the Project and are similar to the waste reduction measures listed in MM-USS-6(b) and equal to or more effective than the SCAG RTP/SCS Program EIR MM-USS-6(b).</p>

Table 4-1
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Topic	Measure	Applicability to the Project
	<p>responsibility of public agencies and/or Lead Agencies. Where the Lead Agency has identified that a project that has the potential for significant effects, the Lead Agency can and should consider mitigation measures to ensure compliance pursuant to the provisions of the Solid Waste Diversion Goals and Integrated Waste Management Plan, as applicable and feasible. Such measures may include the following or other comparable measures identified by the Lead Agency:</p> <ul style="list-style-type: none"> • Integrate green building measures consistent with CALGreen (California Building Code Title 24) into project design including, but not limited to the following: <ul style="list-style-type: none"> ○ Reuse and minimization of construction and demolition (C&D) debris and diversion of C&D waste from landfills to recycling facilities. ○ Inclusion of a waste management plan that promotes maximum C&D diversion. ○ Source reduction through (1) use of materials that are more durable and easier to repair and maintain, (2) design to generate less scrap material through dimensional planning, (3) increased recycled content, (4) use of reclaimed materials, and (5) use of structural materials in a dual role as finish material (e.g., stained concrete flooring, unfinished ceilings, etc.). ○ Reuse of existing structure and shell in renovation projects. ○ Design for deconstruction without compromising safety. ○ Design for flexibility through the use of 	

Table 4-1
Applicability of Project-Level Mitigation Measures from the
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Topic	Measure	Applicability to the Project
	<p>moveable walls, raised floors, modular furniture, moveable task lighting and other reusable building components.</p> <ul style="list-style-type: none"> ○ Development of indoor recycling program and space. ○ Discourage the siting of new landfills unless all other waste reduction and prevention actions have been fully explored. If landfill siting or expansion is necessary, site landfills with an adequate landfill-owned, undeveloped land buffer to minimize the potential adverse impacts of the landfill in neighboring communities. ○ Locally generated waste should be disposed of regionally, considering distance to disposal site. Encourage disposal near where the waste originates as much as possible. Promote green technologies for long-distance transport of waste (e.g., clean engines and clean locomotives or electric rail for waste-by-rail disposal systems) and consistency with SCAQMD and 2016 RTP/SCS policies can and should be required. ○ Encourage waste reduction goals and practices and look for opportunities for voluntary actions to exceed the 50 percent waste diversion target. ○ Encourage the development of local markets for waste prevention, reduction, and recycling practices by supporting recycled content and green procurement policies, as well as other waste prevention, reduction and recycling practices. 	

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Topic	Measure	Applicability to the Project
	<ul style="list-style-type: none"> ○ Develop ordinances that promote waste prevention and recycling activities such as: requiring waste prevention and recycling efforts at all large events and venues; implementing recycled content procurement programs; and developing opportunities to divert food waste away from landfills and toward food banks and composting facilities. ○ Develop alternative waste management strategies such as composting, recycling, and conversion technologies. ○ Develop and site composting, recycling, and conversion technology facilities that have minimum environmental and health impacts. ○ Require the reuse and recycle construction and demolition waste (including, but not limited to, soil, vegetation, concrete, lumber, metal, and cardboard). ○ Integrate reuse and recycling into residential industrial, institutional and commercial projects. ○ Provide recycling opportunities for residents, the public, and tenant businesses. ○ Provide education and publicity about reducing waste and available recycling services. ○ Continue to adopt programs to comply with state solid waste diversion rate mandates and, where possible, encourage further recycling to exceed these rates. ○ Implement or expand city or county- 	

Table 4-1
Applicability of Project-Level Mitigation Measures from the
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Topic	Measure	Applicability to the Project
	wide recycling and composting programs for residents and businesses. This could include extending the types of recycling services offered (e.g., to include food and green waste recycling) and providing public education and publicity about recycling services.	
<i>Source: Southern California Association of Governments, Final 2016 2016-2040 RTP/SCS Program Environmental Impact Report, Mitigation Monitoring and Reporting Program, April 2016.</i>		

**CITY OF LOS ANGELES
OFFICE OF THE CITY CLERK
ROOM 395, CITY HALL
LOS ANGELES, CALIFORNIA 90012
CALIFORNIA ENVIRONMENTAL QUALITY ACT**

LEAD CITY AGENCY City of Los Angeles	COUNCIL DISTRICT 14 – Jose Huizar
PROJECT TITLE Weingart Projects	CASE NO. ENV-2017-615-SCEA Site 1: CPC-2017-614-GPAJ-ZCJ-HD-SPR Site 2: CPC-2017-589-GPAJ-ZCJ-HD-SPR

PROJECT LOCATION

Site 1: 554-562 South San Pedro Street, 555-561 South Crocker Street, Los Angeles, CA 90013;
Site 2: 600-628 South San Pedro Street, 611-615 South Crocker Street, 518-522 East 6th Street, Los Angeles, CA 90013.

PROJECT DESCRIPTION

The Project includes development of two distinct affordable housing projects that would provide permanent supportive housing (i.e., long term housing with supportive services) designed to enable homeless persons and individuals/families at risk of homelessness to ensure that they remain housed and live as independently as possible, as well as to provide affordable housing.

The Site 1 Project (to be developed on Site 1, as described in the Environmental Setting below) includes demolition and removal of the existing 7,000-square-foot food service building and surface parking area from Site 1 and development of the site with 222,574 square feet of mixed residential, philanthropic institution, and commercial retail land uses in two towers (Tower 1A and Tower 1B) and one level of subterranean parking garage with 32 vehicle parking spaces, long-term bicycle parking, and storage. The Site 1 Project would include a total of 382 residential dwelling units (378 Very Low Income affordable units and 4 manager units), a total of 25,493 square feet of philanthropic institution land uses, 2,250 square feet of commercial retail land uses, and approximately 26,060 square feet of common indoor and outdoor open space.

The Site 2 Project (to be developed on Site 2, as described in the Environmental Setting below) includes demolition and removal of the existing surface parking lot and development of the site with 164,875 square feet of mixed-use residential and commercial land uses in two buildings (Building 1 and Building 2). The Site 2 Project would include a total of 303 residential dwelling units (298 Very Low Income affordable units and 5 manager units), 3,200 square feet of commercial retail land uses, 17,100 square feet of office land uses, 33,000 square feet of open space, and 212 vehicle parking spaces.

NAME AND ADDRESS OF APPLICANT IF OTHER THAN CITY AGENCY

Weingart Tower, LP
6339 Paseo Del Lago
Carlsbad, CA 92011

FINDING:

The City Planning Department of the City of Los Angeles finds that the Project would NOT have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is NOT required.

SEE ATTACHED SHEET(S) FOR ANY MITIGATION MEASURES IMPOSED.

THE SUSTAINABLE COMMUNITIES ENVIRONMENTAL ASSESSMENT PREPARED FOR THIS PROJECT IS ATTACHED.

NAME OF PERSON PREPARING THIS FORM May Sirinopwongsagon	TITLE City Planner	TELEPHONE NUMBER 213-978-1372
ADDRESS 200 N. SPRING STREET, 6th FLOOR LOS ANGELES, CA. 90012	SIGNATURE (Official) 	DATE 10/15/18

MITIGATION MEASURES

Cultural Resources

- CULT-MM-1: Prior to Project construction, the prime contractor and any subcontractor(s) shall be advised of the legal and/or regulatory implications of knowingly destroying cultural resources or removing artifacts, human remains, bottles, and other cultural materials from the Project Sites. In addition, in the event that buried archaeological resources are exposed during Project construction, work within 50 feet of the find shall stop until a professional archaeologist, meeting the standards of the Secretary of the Interior, can identify and evaluate the significance of the discovery and develop recommendations for treatment. Construction activities could continue in other areas of the Project Sites. Recommendations could include preparation of a Treatment Plan, which could require recordation, collection and analysis of the discovery; preparation of a technical report; and curation of the collection and supporting documentation in an appropriate depository. Any Native American remains shall be treated in accordance with state law.
- CULT-MM-2: Before ground disturbance, field observations regarding the geo-archaeological setting shall be conducted by a qualified archaeologist to determine the presence of undisturbed sediments capable of preserving archaeological remains, and the depth at which these sediments would no longer be capable of containing archaeological material. An archaeological monitor shall be present during initial excavation activities. The duration and timing of the monitoring shall be determined by the qualified archaeologist in consultation with the Department of City Planning and the Project Applicant. The qualified archaeologist may designate an archaeologist to conduct the monitoring under their direction.
- CULT-MM-3: Prior to Project construction, the prime contractor and any subcontractor(s) shall be advised of the legal and/or regulatory implications of knowingly destroying paleontological or unique geologic resources or sites from the Project Sites. In addition, in the event that paleontological resources or sites, or unique geologic features are exposed during Project construction, work within 50 feet of the find shall stop until a qualified paleontologist, can identify and evaluate the significance of the discovery and develop recommendations for treatment. Construction activities could continue in other areas of the Project Sites. Recommendations could include a preparation of a Treatment Plan, which could require recordation, collection, and analysis of the discovery; preparation of a technical report; and curation of the collection and supporting documentation in an appropriate depository. Any paleontological resources or sites, or unique geologic features shall be treated in accordance with state law.

Hazards and Hazardous Materials

- HAZ-MM-1: During excavation of Site 1 for the subterranean parking garage and prior to issuance of a Building Permit, if a UST is encountered, the Project Applicant shall procure a Division 5 Permit from the Los Angeles Fire Department for removal of a UST and shall comply with the requirements of the permit.

Land Use and Planning

- MM-LU-1(b): Where an inconsistency with the adopted general plan is identified at the proposed Project location, determine if the environmental, social, economic, and engineering benefits of the Project warrant a variance from adopted zoning or an amendment to the general plan.

Noise

- NOISE-MM-1: All diesel-powered construction vehicles shall be equipped with exhaust mufflers or other suitable noise reduction devices capable of achieving a sound attenuation of at least 3 dBA.
- NOISE-MM-2: Temporary sound barriers capable of achieving a sound attenuation of at least 10 dBA shall be erected along the Project's boundaries.

Public Services – Police

POLICE-MM-1: Prior to issuance of a Certificate of Occupancy, the Project Applicant shall provide the Central Area Commanding Area Officer with diagrams of each portion of the Project Sites. The diagrams shall include access routes and additional information that might facilitate police response.

Transportation/Traffic

TRAFFIC-MM-1: Construction Staging and Traffic Management Plan

Prior to issuance of a demolition permit, in coordination with LADOT and the Department of Building and Safety, the Project Applicant shall prepare a detailed Construction Staging and Traffic Management Plan (CSTMP), including street closure information, detour plans, haul routes, and staging plans. The CSTMP shall outline how construction would be carried out and identify specific actions that would be required to reduce effects on the surrounding community. The CSTMP shall be based on the nature and timing of specific construction activities and other projects in the vicinity, and shall include the following elements as appropriate:

- Provide for temporary traffic control during all construction activities within public rights-of-way to improve traffic flow on public roadways (e.g., flagmen);
- Schedule of construction activities to reduce the effect on traffic flow on surrounding arterial streets;
- Reroute construction trucks to reduce travel on congested streets to the extent feasible;
- Prohibit construction-related vehicles from parking on surrounding public streets;
- Provide safety precautions for pedestrians and bicyclists through such measures as alternate routing and protection barriers in compliance with LAMC Section 62.45;
- Accommodate all equipment on-site; and
- Prepare a haul truck route program for the Project that specifies the routes to and from the Project Sites.

5. INITIAL STUDY CHECKLIST

LEAD AGENCY: City of Los Angeles		COUNCIL DISTRICT: CD 14-Jose Huizar		DATE: September 13, 2018	
RESPONSIBLE AGENCIES: City of Los Angeles					
PROJECT TITLE: Weingart Projects			CASE NO.: ENV-2017-615-SCEA Site 1: CPC-2017-614-GPAJ-ZCJ-HD-SPR Site 2: CPC-2017-589-GPAJ-ZCJ-HD-SPR		
<p>PROJECT DESCRIPTION: The Project includes development of two distinct affordable housing projects that would provide permanent supportive housing (i.e., long term housing with supportive services) designed to enable homeless persons and individuals/families at risk of homelessness to ensure that they remain housed and live as independently as possible, as well as to provide affordable housing.</p> <p>The Site 1 Project (to be developed on Site 1, as described in the Environmental Setting below) includes demolition and removal of the existing 7,000-square-foot food service building and surface parking area from Site 1 and development of the site with 222,574 square feet of mixed residential, philanthropic institution, and commercial retail land uses in two towers (Tower 1A and Tower 1B) and one level of subterranean parking garage with 32 vehicle parking spaces, long-term bicycle parking, and storage. The Site 1 Project would include a total of 382 residential dwelling units (378 Very Low Income affordable units and 4 manager units), a total of 25,493 square feet of philanthropic institution land uses, 2,250 square feet of commercial retail land uses, and approximately 26,060 square feet of common indoor and outdoor open space.</p> <p>The Site 2 Project (to be developed on Site 2, as described in the Environmental Setting below) includes demolition and removal of the existing surface parking lot and development of the site with 164,875 square feet of mixed-use residential and commercial land uses in two buildings (Building 1 and Building 2). The Site 2 Project would include a total of 303 residential dwelling units (298 Very Low Income affordable units and 5 manager units), 3,200 square feet of commercial retail land uses, 17,100 square feet of office land uses, 33,000 square feet of open space, and 212 vehicle parking spaces.</p> <p>ENVIRONMENTAL SETTING: Site 1 is generally bound by South San Pedro Street to the west, the Hope Row Resource Center and Weingart Center Association building to the south, Crocker Street to the east, and the Lamp Community and the Volunteer of America property to the north. Site 1 is approximately 27,606 square feet in area (0.63 acre) and comprises Assessor Parcel Numbers (APN) 5147-024-004, -022, -024, -900, and -901. The site is a through-lot with frontage on the eastern side of San Pedro Street and the western side of Crocker Street. It is located mid-block, and the larger block is bound by South San Pedro Street to the east, 6th Street to the south, Crocker Street to the east, and 5th Street to the north.</p> <p>Site 2 is generally located at the southeast corner of South San Pedro Street and 6th Street and is bound by South San Pedro Street to the west, 6th Street to the north, the Skid Row Development Corporation building and Crocker Street to the east, and commercial development to the south. Site 2 is approximately 48,816 square feet in area (1.12 acres) and comprises APN 5147-026-033.</p>					
PROJECT LOCATION: Site 1: 554-562 South San Pedro Street, 555-561 South Crocker Street, Los Angeles, CA 90013; Site 2: 600-628 South San Pedro Street, 611-615 South Crocker Street, 518-522 East 6 th Street, Los Angeles, CA 90013.					
COMMUNITY PLAN AREA: Central City			STATUS <input type="checkbox"/> PRELIMINARY <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> ADOPTED		
EXISTING ZONING: M2-2D Requested Zoning: C2-4D		MAX. DENSITY ZONING: Unlimited, under requested C2-4D zoning and Greater Downtown Housing Incentive Area (LAMC Section 12.22.C.3[c])		<input type="checkbox"/> DOES CONFORM TO PLAN <input checked="" type="checkbox"/> DOES NOT CONFORM TO PLAN <input type="checkbox"/> NO DISTRICT PLAN	
GENERAL PLAN LAND USE: Light Manufacturing Requested Land Use: Regional Center Commercial		MAX. DENSITY PLAN: Unlimited, under requested Regional Center Commercial designation and Greater Downtown Housing Incentive Area (LAMC Section 12.22.C.3[c])			
		PROJECT DENSITY: Site 1: 382 dwelling units; Site 2: 303 dwelling units			

DETERMINATION (To be completed by Lead Agency)**On the basis of this initial evaluation:**

I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.

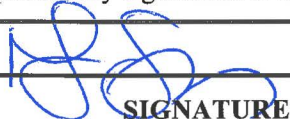
I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions on the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.

I find the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.

I find the proposed project MAY have a “potentially significant impact” or “Less Than Significant With mitigated” impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.

I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

- X I find that the Project is a qualified “transit priority project” that satisfies the requirements of Sections 21155 and 21155.2 of the Public Resources Code (PRC), and/or a qualified “residential or mixed use residential project” that satisfies the requirements of Section 21159.28(d) of the PRC, and although the project could have a potentially significant effect on the environment, there will not be a significant effect in this case, because the SUSTAINABLE COMMUNITIES ENVIRONMENTAL ASSESSMENT (SCEA) identifies measures that either avoid or mitigate to a level of insignificance all potentially significant or significant effects of the Project.



SIGNATURE

CITY PLANNER

TITLE

EVALUATION OF ENVIRONMENTAL IMPACTS:

1. A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants based on a project-specific screening analysis).

2. All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. “Potentially Significant Impact” is appropriate if there is substantial evidence that an effect may be significant. If there are one or more “Potentially Significant Impact” entries when the determination is made, an EIR is required.
4. “Negative Declaration: Less Than Significant With Mitigation Incorporated” applies where the incorporation of a mitigation measure has reduced an effect from “Potentially Significant Impact” to “Less Than Significant Impact.” The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from “Earlier Analysis,” as described in (5) below, may be cross referenced).
5. Earlier analysis must be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR, or negative declaration. Section 15063 (c)(3)(D). In this case, a brief discussion should identify the following:
 - A. Earlier Analysis Used. Identify and state where they are available for review.
 - B. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - C. Mitigation Measures. For effects that are “Less Than Significant With Mitigation Measures Incorporated,” describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
6. Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
7. Supporting Information Sources: A sources list should be attached, and other sources used or individuals contacted should be cited in the discussion.
8. This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a project’s environmental effects in whichever format is selected.
9. The explanation of each issue should identify:

- A. The significance criteria or threshold, if any, used to evaluate each question; and
- B. The mitigation measure identified, if any, to reduce the impact to less than significance.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below would be potentially affected by this project, involving at least an impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages:

- | | | |
|---|--|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Agricultural Resources | <input type="checkbox"/> Hydrology & Water Quality | <input type="checkbox"/> Transportation/Traffic |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use & Planning | <input type="checkbox"/> Tribal Cultural Resources |
| <input type="checkbox"/> Biological Resource | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Utilities & Service Systems |
| <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Noise | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Geology & Soils | <input type="checkbox"/> Population & Housing | |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Public Services | |

INITIAL STUDY CHECKLIST (to be completed by the Lead Agency)
BACKGROUND

PROPOSER NAME Weingart Tower, LP		PHONE NUMBER Tel: 760-795-5567
PROPOSER ADDRESS 6339 Paseo Del Lago, Carlsbad, CA 92011	PROPOSER REPRESENTATIVE Ron Brockhoff	
AGENCY REQUIRING CHECKLIST City of Los Angeles		DATE SUBMITTED September 13, 2018
PROPOSAL NAME (if applicable) Weingart Projects		

ENVIRONMENTAL IMPACTS

Explanations of all potentially and less than significant impacts are required to be attached on separate sheets)

1. Aesthetics. Would the project:

- a. Have a substantial adverse effect on a scenic vista?
- b. Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings, or other locally recognized desirable aesthetic natural feature within a city-designated scenic highway?
- c. Substantially degrade the existing visual character or quality of the site and its surroundings?
- d. Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
			✓
		✓	
		✓	
		✓	

2. Agriculture and Forestry Resources. In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:

- a. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?
- b. Conflict with existing zoning for agricultural use, or a Williamson Act contract?
- c. Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220[g]), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104 [g])?
- d. Result in the loss of forest land or conversion of forest land to non-forest use?
- e. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?

Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
			✓
			✓
			✓
			✓
			✓

3. **Air Quality.** The significance criteria established by the South Coast Air Quality Management District (SCAQMD) may be relied upon to make the following determinations. Would the project:

- Conflict with or obstruct implementation of the applicable air quality plan
- Violate any air quality standard or contribute substantially to an existing or projected air quality violation?
- Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?
- Expose sensitive receptors to substantial pollutant concentrations?
- Create objectionable odors affecting a substantial number of people?

Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
		✓	
		✓	
		✓	
		✓	
		✓	

4. **Biological Resources.** Would the project::

- Have a substantial adverse effect, either directly or through habitat modification, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?
- Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in the City or regional plans, policies, regulations by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?
- Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?
- Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?
- Conflict with any local policies or ordinances protecting biological resources, such as tree preservation policy or ordinance
- Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?

Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
		✓	
			✓
			✓
		✓	
		✓	
			✓

5. **Cultural Resources.** Would the project:

- Cause a substantial adverse change in the significance of a historical resource as defined in §15064.5?
- Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?
- Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?
- Disturb any human remains, including those interred outside of formal cemeteries?

Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
		✓	
	✓		
	✓		
		✓	

6. Geology & Soils. Would the project exacerbate existing conditions so as to:

- a. Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:
 - i. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.
 - ii. Strong seismic ground shaking?
 - iii. Seismic-related ground failure, including liquefaction?
 - iv. Landslides?
- b. Result in substantial soil erosion or the loss of topsoil?
- c. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?
- d. Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?
- e. Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?

Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
			✓
		✓	
		✓	
			✓
		✓	
		✓	
			✓
			✓

7. Greenhouse Gas Emissions. Would the project:

- a. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?
- b. Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
		✓	
		✓	

8. Hazards & Hazardous Materials. Would the project:

- a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?
- b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?
- c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?
- d. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?
- e. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?

Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
		✓	
	✓		
		✓	
			✓
			✓

- f. For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?
- g. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?
- h. Exacerbate existing environmental conditions so as to increase the potential to expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

			✓
		✓	
			✓

9. Hydrology & Water Quality. Would the project:

- a. Violate any water quality standards or waste discharge requirements?
- b. Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?
- c. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river in a manner which would result in substantial erosion or siltation on- or off-site?
- d. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on-or off-site?
- e. Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?
- f. Otherwise substantially degrade water quality?
- g. Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?
- h. Place within a 100-year flood hazard area structures which would impede or redirect flood flows?
- i. Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?
- j. Inundation by seiche, tsunami or mudflow?

Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
		✓	
			✓
		✓	
		✓	
		✓	
		✓	
			✓
			✓
		✓	
			✓

10. Land Use and Planning. Would the project:

- a. Physically divide an established community?
- b. Conflict with any applicable land use plan, policy or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?
- c. Conflict with any applicable habitat conservation plan or natural community conservation plan?

Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
			✓
	✓		
			✓

11. Mineral Resources. Would the project:

- a. Result in the loss or availability of a known mineral resource that would be of value to the region and the residents or the state?
- b. Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?

Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
			✓
			✓

12. Noise. Would the project result in:

- a. Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?
- b. Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?
- c. A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?
- d. A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?
- e. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?
- f. For a project within the vicinity of a private airstrip would the project expose people residing or working in the project area to excessive noise levels?

Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
	✓		
		✓	
		✓	
	✓		
			✓
			✓

13. Population and Housing. Would the project:

- a. Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?
- b. Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?
- c. Displace substantial numbers of people necessitating the construction of replacement housing elsewhere?

Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
		✓	
			✓
			✓

14. Public Services.

- a. Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other

Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact

14. Public Services.

performance objectives for any of the public services:

- i. Fire protection?
- ii. Police protection?
- iii. Schools?
- iv. Parks?
- v. Other public facilities?

Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
		✓	
	✓		
		✓	
		✓	
		✓	

15. Recreation.

- a. Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?
- b. Does the project include recreational facilities or require the construction or expansion on recreational facilities which might have an adverse physical effect on the environment?

Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
		✓	
		✓	

16. Transportation/Traffic. Would the project:

- a. Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?
- b. Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the count congestion management agency for designated roads or highways?
- c. Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?
- d. Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?
- e. Result in inadequate emergency access?
- f. Conflict with adopted policies, plans or programs supporting alternative transportation (e.g., bus turnouts, bicycle racks)?

Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
	✓		
		✓	
			✓
		✓	
		✓	
		✓	

17. Tribal Cultural Resources. Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of size and scope of the landscape, sacred place, or object with cultural value to a California Native tribe, and that is:

- a. Listed or eligible for listing in the California Register of Historical

Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
		✓	

- 17. Tribal Cultural Resources.** Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of size and scope of the landscape, sacred place, or object with cultural value to a California Native tribe, and that is:

Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k)?

- b. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe?

Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
		✓	

- 18. Utilities & Service Systems.** Would the project:

- a. Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?
- b. Require or result in the construction of a new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?
- c. Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?
- d. Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?
- e. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?
- f. Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?
- g. Comply with federal, state, and local statutes and regulations related to solid waste?

Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
			✓
		✓	
		✓	
		✓	
		✓	
		✓	
		✓	

- 19. Mandatory Findings of Significance.**

- a. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?
- b. Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects?)
- c. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?

Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
	✓		
		✓	
	✓		

6. SUSTAINABLE COMMUNITIES ENVIRONMENTAL IMPACT ANALYSIS

This section of the SCEA contains an assessment and discussion of impacts associated with the environmental issues and subject areas identified in the Initial Study Checklist (Appendix H to the State CEQA Guidelines, CCR Title 14, Chapter 3, 15000-15387) (refer to Section 5 [Initial Study Checklist]). The analytical methodology and thresholds of significance are based in part on the L.A. CEQA Thresholds Guide.

Pursuant to PRC Section 21155.2(b), the SCEA is required to identify all significant or potentially significant impacts of a transit priority project, other than those impacts that do not need to be reviewed pursuant to Section 21159.28, based on substantial evidence in light of the whole record. Additionally, the SCEA is required to identify any cumulative effects that have been adequately addressed and mitigated in prior applicable certified EIRs (refer to Section 4 [2016-2040 RTP/SCS Program EIR Mitigation Measures]).

1. AESTHETICS

In 2013, the State of California enacted Senate Bill 743 (SB 743), which made several changes to the California Environmental Quality Action (CEQA) for projects located in areas served by transit. Specifically, Public Resources Code Section 21099 provides that “aesthetic and parking impacts of a residential, mixed-use residential, or employment center project on an infill site within a transit priority area shall not be considered significant impacts on the environment.” Public Resources Code Section 21099 defines a “transit priority area” as an area within one-half mile of a major transit stop that is “existing or planned, if the planned stop is scheduled to be completed within the planning horizon included in a Transportation Improvement Program adopted pursuant to Section 450.216 or 450.322 of Title 23 of the Code of Federal Regulations.” Public Resources Code Section 21064.3 defines “major transit stop” as “a site containing an existing rail transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods.” Public Resources Code Section 21099 defines an infill site as a lot located within an urban area that has been previously developed, or on a vacant site where at least 75 percent of the perimeter of the site adjoins, or is separated only by an improved public right-of-way from, parcels that are developed with qualified urban uses. This state law supersedes the aesthetic impact thresholds set forth in the L.A. CEQA Thresholds Guide.

The Project includes the development of two sites in Downtown Los Angeles. Site 1 development includes 222,574 square feet of mixed residential (382 dwelling units), philanthropic institution, and commercial retail land uses in two towers (Tower 1A and Tower 1B) and one level of subterranean parking garage with 32 vehicle parking spaces. Site 2 development includes 164,875 square feet of mixed-use residential (303 dwelling units) and commercial retail land uses in two buildings (Building 1 and Building 2) and 212 vehicle parking spaces in a parking garage. Extensive public bus and rail transit service is provided within the area of the Project Sites that provide regular service intervals of 15 minutes or less near the sites during the peak hours. Public bus transit service in the immediate Project study area

is currently provided by Metro, City of Gardena Transit, and City of Montebello bus lines. Additional public bus transit service in the Downtown Los Angeles area is provided by Foothill Transit, LADOT DASH Transit Service, Orange County Transportation Authority, and Torrance Transit Service. The Metro Red and Gold rail lines also are provided in proximity to the Project Sites. Metro's nearest Purple/Red line station is the Pershing Square station, which is located approximately 0.7 miles northwest of the Project Sites, while the nearest Metro Gold Line station is situated approximately 0.8 miles northeast of the Project Sites at the Little Tokyo/Arts District station. Additionally, as noted in Section 2 (Project Description), the Project Sites are located less than 1.0 mile from Metro's Regional Connector 1st Street portal, which is currently under construction.

On February 10, 2016, the City issued Zoning Information File No. 2452 to clarify the locations of transit priority areas within the City, which restate that aesthetic impacts shall not be considered a significant impact on the environment under the provisions of SB 743 (refer to Appendix D). Specifically, Zoning Information File No. 2452 states that impacts to visual resources, aesthetic character, shade and shadow, light and glare, and scenic vistas or any other aesthetic impact, as defined in the City's L.A. CEQA Thresholds Guide, shall not be considered an impact for infill projects within transit priority areas pursuant to CEQA. A map of transit priority areas is attached to Zoning Information File No. 2452 in Appendix D. As shown on that map, and as confirmed by the City's Zone Information and Map Access System (ZIMAS) website, the Project Sites are located in a transit priority area.

Thus, the Project's aesthetic (and parking) impacts are not considered significant impacts on the environment pursuant to Public Resources Code Section 21099. Therefore, an assessment of the Project's potential aesthetics impacts is not required. However, an evaluation of aesthetics impacts is provided in Appendix D for **informational purposes only and not as an impact analysis**.

2. AGRICULTURE AND FORESTRY RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest Range and Assessment Project and Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board.

a) Would the project convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?

No Impact. The Extent of Important Farmland Map Coverage maintained by the Division of Land Resource Protection indicates that the Project Sites are not included in the Important Farmland category.¹ Therefore, the Project would not convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) to non-agricultural use, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency. No impacts would occur.

b) Would the project conflict with existing zoning for agricultural use, or a Williamson Act Contract?

No Impact. The Project Sites are zoned M2 (Light Industrial Zone) and located in the Central City Community Plan area. The General Plan land use designated for the Project Sites is Light Manufacturing. The Project Sites are not zoned for agricultural use, and the site is not under and is not eligible for enrollment under a Williamson Act Contract.² There are no Williamson Act Contracts in the City of Los Angeles. Therefore, the Project would not conflict with existing zoning for agricultural use, or a Williamson Act Contract, and no impacts would occur.

c) Would the project conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220[g]), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104 [g])?

No Impact. The Project Sites are located in an urbanized area of the City. Site 1 is developed with a surface parking lot and a food service building; Site 2 is developed with a surface parking lot. The Project Sites do not include any forest or timberland and are not zoned as forest land or timberland. Therefore, no impacts related to this issue would occur.

d) Would the project result in the loss of forest land or conversion of forest land to non-forest use?

No Impact. The Project Sites are located in a developed area of the City and do not contain any forest land. Additionally, forest land is defined as “land that can support 10 percent native tree cover of any species, including hardwoods, under natural conditions, and that allows for management of one or more forest resources, including timber, aesthetics, fish and wildlife, biodiversity, water quality, recreation, and other public benefits.”³ Timberland is defined as “land...which is available for, and capable of, growing a

¹ *State of California Department of Conservation, Division of Land Resource Protection, Farmland Mapping and Monitoring Program, Los Angeles County Important Farmland, 1998.*
<ftp://ftp.consrv.ca.gov/pub/dlrp/FMMP/pdf/2012/los12.pdf>.

² *Ibid.*

³ *California Public Resources Code Section 1222 [g].*

crop of trees of any commercial species used to produce lumber and other forest products, including Christmas trees.”⁴ There are a total of 20 trees located on the Project Sites (including 6 street trees). None of these trees or the level of tree coverage on the Project Sites are within the definitions of forest land or timberland. Therefore, no impacts related to this issue would occur.

e) Would the project involve other changes in the existing environment, which due to their location or nature, could result in conversion of Farmland, to non-agricultural use?

No Impact. The Project Sites and surrounding area are developed with urban land uses. Site 1 is developed with a surface parking lot and a food service building; Site 2 is developed with a surface parking lot. No agricultural uses are located on the Project Sites or within the area. Therefore, no impacts related to this issue would occur.

Cumulative Impacts

Neither the Project Sites nor any of the related projects’ sites are used or designated as agricultural land or forest land. Therefore, no cumulative impacts related to agricultural resources would occur.

3. AIR QUALITY

Introduction

The information and analysis in this section is based primarily on the following technical information, which is included in Appendix F:

- *Air Quality and Greenhouse Gas Emissions technical modeling results, DKA Planning April 2018.*

Pollutants and Effects

State and Federal Criteria Pollutants

Air quality is defined by ambient air concentrations of seven specific pollutants identified by the United States Environmental Protection Agency (USEPA) to be of concern with respect to health and welfare of the general public. These specific pollutants, known as “criteria air pollutants,” are defined as pollutants for which the federal and state governments have established ambient air quality standards, or criteria, for outdoor concentrations to protect public health. Criteria air pollutants include carbon monoxide (CO), ground-level ozone (O₃), nitrogen oxides (NO_x), sulfur oxides (SO_x), particulate matter ten microns or less in diameter (PM₁₀), particulate matter 2.5 microns or less in diameter (PM_{2.5}), and lead (P_b). The descriptions below of each criteria air pollutant and their health effects are based on information provided by the South Coast Air Quality Management District (SCAQMD).⁵

⁴ *California Public Resources Code Section 4526.*

⁵ *SCAQMD, Final Program Environmental Impact Report for the 2012 AQMP, December 7, 2012.*

Carbon Monoxide (CO). CO is primarily emitted from combustion processes and motor vehicles due to incomplete combustion of fuel. Elevated concentrations of CO weaken the heart's contractions and lower the amount of oxygen carried by the blood. It is especially dangerous for people with chronic heart disease. Inhalation of CO can cause nausea, dizziness, and headaches at moderate concentrations and can be fatal at high concentrations.

Ozone (O₃). O₃ is a gas that is formed when volatile organic compounds (VOCs) and nitrogen oxides (NO_x)—both byproducts of internal combustion engine exhaust—undergo slow photochemical reactions in the presence of sunlight. O₃ concentrations are generally highest during the summer months when direct sunlight, light wind, and warm temperature conditions are favorable. An elevated level of O₃ irritates the lungs and breathing passages, causing coughing and pain in the chest and throat, thereby increasing susceptibility to respiratory infections and reducing the ability to exercise. Effects are more severe in people with asthma and other respiratory ailments. Long-term exposure may lead to scarring of lung tissue and may lower lung efficiency.

Nitrogen Dioxide (NO₂). NO₂ is a byproduct of fuel combustion and major sources include power plants, large industrial facilities, and motor vehicles. The principal form of nitrogen oxide produced by combustion is nitric oxide (NO), which reacts quickly to form NO₂, creating the mixture of NO and NO₂ commonly called NO_x. NO₂ absorbs blue light and results in a brownish-red cast to the atmosphere and reduced visibility. NO₂ also contributes to the formation of PM₁₀. Nitrogen oxides irritate the nose and throat, and increase one's susceptibility to respiratory infections, especially in people with asthma. The principal concern of NO_x is as a precursor to the formation of ozone.

Sulfur Dioxide (SO₂). Sulfur oxides (SO_x) are compounds of sulfur and oxygen molecules. SO₂ is the pre-dominant form found in the lower atmosphere and is a product of burning sulfur or burning materials that contain sulfur. Major sources of SO₂ include power plants, large industrial facilities, diesel vehicles, and oil-burning residential heaters. Emissions of sulfur dioxide aggravate lung diseases, especially bronchitis. It also constricts the breathing passages, especially in asthmatics and people involved in moderate to heavy exercise. SO₂ potentially causes wheezing, shortness of breath, and coughing. High levels of particulates appear to worsen the effect of sulfur dioxide, and long-term exposures to both pollutants leads to higher rates of respiratory illness.

Particulate Matter (PM₁₀ and PM_{2.5}). The human body naturally prevents the entry of larger particles into the body. However, small particles, with an aerodynamic diameter equal to or less than 10 microns (PM₁₀), and even smaller particles with an aerodynamic diameter equal to or less than 2.5 microns (PM_{2.5}), can enter the body and become trapped in the nose, throat, and upper respiratory tract. These small particulates can potentially aggravate existing heart and lung diseases, change the body's defenses against inhaled materials, and damage lung tissue. The elderly, children, and those with chronic lung or heart disease are most sensitive to PM₁₀ and PM_{2.5}. Lung impairment can persist for two to three weeks after exposure to high levels of particulate matter. Some types of particulates can become toxic after inhalation due to the presence of certain chemicals and their reaction with internal body fluids.

Lead (P_b). Lead is emitted from industrial facilities and from the sanding or removal of old lead-based paint. Smelting or processing the metal is the primary source of lead emissions, which is primarily a

regional pollutant. Lead affects the brain and other parts of the body's nervous system. Exposure to lead in very young children impairs the development of the nervous system, kidneys, and blood forming processes in the body.

State-only Criteria Pollutants

Visibility-Reducing Particles. Deterioration of visibility is one of the most obvious manifestations of air pollution and plays a major role in the public's perception of air quality. Visibility reduction from air pollution is often due to the presence of sulfur and NO_x , as well as PM.

SO_x . Sulfates are the fully oxidized ionic form of sulfur. Sulfates occur in combination with metal and/or hydrogen ions. In California, emissions of sulfur compounds occur primarily from the combustion of petroleum-derived fuels (e.g., gasoline and diesel fuel) that contain sulfur. This sulfur is oxidized during the combustion process and subsequently converted to sulfate compounds in the atmosphere. Effects of sulfate exposure at levels above the standard include a decrease in ventilatory function, aggravation of asthmatic symptoms, and an increased risk of cardio-pulmonary disease. Sulfates are particularly effective in degrading visibility, and, due to fact that they are usually acidic, can harm ecosystems and damage materials and property.

Hydrogen Sulfide (H_2S). H_2S is a colorless gas with the odor of rotten eggs. It is formed during bacterial decomposition of sulfur-containing organic substances. Also, it can be present in sewer gas and some natural gas and can be emitted as the result of geothermal energy exploitation. Breathing H_2S at levels above the state standard could result in exposure to a very disagreeable odor.

Vinyl Chloride. Vinyl chloride is a colorless, flammable gas at ambient temperature and pressure. It is also highly toxic and is classified as a known carcinogen by the American Conference of Governmental Industrial Hygienists and the International Agency for Research on Cancer. At room temperature, vinyl chloride is a gas with a sickly-sweet odor that is easily condensed. However, it is stored at cooler temperatures as a liquid. Due to the hazardous nature of vinyl chloride to human health, there are no end products that use vinyl chloride in its monomer form. Vinyl chloride is a chemical intermediate, not a final product. It is an important industrial chemical chiefly used to produce polyvinyl chloride (PVC). The process involves vinyl chloride liquid fed to polymerization reactors where it is converted from a monomer to a polymer PVC. The final product of the polymerization process is PVC in either a flake or pellet form. Billions of pounds of PVC are sold on the global market each year. From its flake or pellet form, PVC is sold to companies that heat and mold the PVC into end products such as PVC pipe and bottles. Vinyl chloride emissions are historically associated primarily with landfills.

Toxic Air Contaminants

Toxic air contaminants (TACs) refer to a diverse group of "non-criteria" air pollutants that can affect human health but have not had ambient air quality standards established for them. This is not because they are fundamentally different from the pollutants discussed above but because their effects tend to be local rather than regional. TACs are classified as carcinogenic and noncarcinogenic, where carcinogenic TACs can cause cancer and noncarcinogenic TACs can cause acute and chronic impacts to different target organ systems (e.g., eyes, respiratory, reproductive, developmental, nervous, and cardiovascular).

The California Air Resources Board (CARB) and the Office of Environmental Health Hazard Assessment (OEHHA) determine if a substance should be formally identified (or “listed”) as a TAC in California. A complete list of these substances is maintained on CARB’s website.⁶

Diesel particulate matter (DPM), which is emitted in the exhaust from diesel engines, was listed by the state as a TAC in 1998. DPM has historically been used as a surrogate measure of exposure for all diesel exhaust emissions. DPM consists of fine particles (fine particles have a diameter less than 2.5 micrometer [µm]), including a subgroup of ultrafine particles (ultrafine particles have a diameter less than 0.1 µm). Collectively, these particles have a large surface area that makes them an excellent medium for absorbing organics. The visible emissions in diesel exhaust include carbon particles or “soot.” Diesel exhaust also contains a variety of harmful gases and cancer-causing substances.

Exposure to DPM may be a health hazard, particularly to children whose lungs are still developing and the elderly who may have other serious health problems. DPM levels and resultant potential health effects may be higher in close proximity to heavily traveled roadways with substantial truck traffic or near industrial facilities. According to CARB, DPM exposure may lead to the following adverse health effects: (1) aggravated asthma; (2) chronic bronchitis; (3) increased respiratory and cardiovascular hospitalizations; (4) decreased lung function in children; (5) lung cancer; and (6) premature deaths for people with heart or lung disease.^{7,8}

Volatile Organic Compounds

VOCs are typically formed from combustion of fuels and/or released through evaporation of organic liquids. Some VOCs are also classified by the state as toxic air contaminants. While there are no specific VOC ambient air quality standards, VOC is a prime component (along with NO_x) of the photochemical processes by which such criteria pollutants as ozone, nitrogen dioxide, and certain fine particles are formed. They are, thus, regulated as “precursors” to the formation of those criteria pollutants.

Regulatory Setting

Federal

Clean Air Act

The Federal Clean Air Act (CAA) was first enacted in 1955 and has been amended numerous times in subsequent years, with the most recent amendments in 1990. At the federal level, the USEPA is responsible for implementation of some portions of the CAA (e.g., certain mobile source and other

⁶ CARB, *Toxic Air Contaminant Identification List*, www.arb.ca.gov/toxics/id/taclist.htm, last reviewed by CARB July 18, 2011.

⁷ CARB, *Overview: Diesel Exhaust and Health*, www.arb.ca.gov/research/diesel/diesel-health.htm, last reviewed by CARB April 12, 2016.

⁸ CARB, *Fact Sheet: Diesel Particulate Matter Health Risk Assessment Study for the West Oakland Community: Preliminary Summary of Results*, March 2008.

requirements). Other portions of the CAA (e.g., stationary source requirements) are implemented by state and local agencies.

The 1990 amendments to the CAA identify specific emission reduction goals for areas not meeting the National Ambient Air Quality Standard (NAAQS). These amendments require both a demonstration of reasonable further progress toward attainment and incorporation of additional sanctions for failure to attain or to meet interim milestones. The sections of the CAA most applicable to the Project include Title I (Nonattainment Provisions) and Title II (Mobile Source Provisions). The NAAQS have been established for seven major air pollutants: CO, NO₂, O₃, PM_{2.5}, PM₁₀, SO₂, and Pb. These air pollutants are referred to as criteria pollutants. The CAA requires the USEPA to designate areas as attainment, nonattainment, or maintenance (previously nonattainment and currently attainment) for each criteria pollutant based on whether the NAAQS have been achieved. Title I provisions are implemented for the purpose of attaining NAAQS. The federal standards are summarized on Table 6-1.

CAA Title II pertains to mobile sources, such as cars, trucks, buses, and planes. Reformulated gasoline and automobile pollution control devices are examples of the mechanisms the USEPA uses to regulate mobile air emission sources. The provisions of Title II have resulted in tailpipe emission standards for vehicles, which have been strengthened in recent years to improve air quality. For example, the standards for NO_x emissions have been lowered substantially and the specification requirements for cleaner burning gasoline are more stringent.

The USEPA regulates emission sources that are under the exclusive authority of the federal government, such as aircraft, ships, and certain types of locomotives. The USEPA has jurisdiction over emission sources outside state waters (e.g., beyond the outer continental shelf) and establishes various emission standards, including those for vehicles sold in states other than California (automobiles sold in California must meet stricter emission standards established by CARB). The USEPA adopted multiple tiers of emission standards to reduce emissions from non-road diesel engines (e.g., diesel-powered construction equipment) by integrating engine and fuel controls as a system to gain the greatest emission reductions. The first federal standards (Tier 1) for new non-road (or off-road) diesel engines were adopted in 1994 for engines over 50 horsepower, to be phased-in from 1996 to 2000. On August 27, 1998, the USEPA introduced Tier 1 standards for equipment under 37 kilowatt (kW) (50 horsepower) and increasingly more stringent Tier 2 and Tier 3 standards for all equipment with phase-in schedules from 2000 to 2008. The Tier 1 through Tier 3 standards were met through advanced engine design, with no or only limited use of exhaust gas after-treatment (oxidation catalysts). Tier 3 standards for NO_x and hydrocarbon are similar in stringency to the 2004 standards for highway engines. However, Tier 3 standards for particulate matter were never adopted. On May 11, 2004, the USEPA signed the final rule introducing Tier 4 emission standards, which were phased-in between 2008 and 2015. The Tier 4 standards require that emissions of particulate matter and NO_x be further reduced by about 90 percent. Such emission reductions are achieved through the use of control technologies—including advanced exhaust gas after-treatment—similar to those required by the 2007 to 2010 standards for highway engines.

Table 6-1
State and National Ambient Air Quality Standards and
Attainment Status for the South Coast Air Basin

Pollutant	Averaging Period	California		Federal	
		Standards	Attainment Status	Standards	Attainment Status
Ozone (O ₃)	1-hour	0.09 ppm (180 µg/m ³)	Non-attainment	--	--
	8-hour	0.070 ppm (137 µg/m ³)	N/A ¹	0.070 ppm (137 µg/m ³)	Non-attainment
Respirable Particulate Matter (PM ₁₀)	24-hour	50 µg/m ³	Non-attainment	150 µg/m ³	Attainment
	Annual Arithmetic Mean	20 µg/m ³	Non-attainment	--	--
Fine Particulate Matter (PM _{2.5})	24-hour	--	--	35 µg/m ³	Non-attainment
	Annual Arithmetic Mean	12 µg/m ³	Non-attainment	12 µg/m ³	Non-attainment
Carbon Monoxide (CO)	8-hour	9.0 ppm (10 mg/m ³)	Attainment	9 ppm (10 mg/m ³)	Unclassified/ Attainment
	1-hour	20 ppm (23 mg/m ³)	Attainment	35 ppm (40 mg/m ³)	Unclassified/ Attainment
Nitrogen Dioxide (NO ₂)	Annual Arithmetic Mean	0.030 ppm (57 µg/m ³)	Attainment	53 ppb (100 µg/m ³)	Unclassified/ Attainment
	1-hour	0.18 ppm (338 µg/m ³)	Attainment	100 ppb (188 µg/m ³)	Unclassified/ Attainment
Sulfur Dioxide (SO ₂)	24-hour	0.04 ppm (105 µg/m ³)	Attainment	--	Attainment
	1-hour	0.25 ppm (655 µg/m ³)	Attainment	75 ppb (196 µg/m ³)	Attainment
Lead (Pb)	30-day average	1.5 µg/m ³	Attainment	--	--
	Calendar Quarter	--	--	0.15 µg/m ³	Non-attainment

¹N/A = CARB has not determined 8-hour O₃ attainment status
Source: CARB, Ambient Air Quality Standards, and attainment status, 2018. (www.arb.ca.gov/desig/adm/adm.htm).

State

California Clean Air Act

In addition to being subject to the requirements of the federal CAA, air quality in California is also governed by more stringent regulations under the California Clean Air Act (CCAA). In California, CCAA is administered by the California Air Resources Board (CARB) at the state level and by the air quality management districts and air pollution control districts at the regional and local levels. CARB, which became part of the California Environmental Protection Agency (Cal-EPA) in 1991, is responsible for meeting the state requirements of the CAA, administering the CCAA, and establishing the California Ambient Air Quality Standards (CAAQS). The CCAA, as amended in 1992, requires all air districts in the State to endeavor to achieve and maintain the CAAQS. The CAAQS are generally more stringent than

the corresponding federal standards and incorporate additional standards for sulfates, H₂S, vinyl chloride, and visibility-reducing particles.

CARB regulates mobile air pollution sources, such as motor vehicles. CARB is responsible for setting emission standards for vehicles sold in California and for other emission sources, such as consumer products and certain off-road equipment. CARB established passenger vehicle fuel specifications in March 1996. CARB oversees the functions of local air pollution control districts and air quality management districts, which, in turn, administer air quality activities at the regional and county levels. The state standards are summarized on Table 6-1.

The CCAA requires CARB to designate areas within California as either attainment or nonattainment for each criteria pollutant based on whether the CAAQS thresholds have been achieved. Under the CCAA, areas are designated as nonattainment for a pollutant if air quality data shows that a state standard for the pollutant was violated at least once during the previous three calendar years. Exceedances that are affected by highly irregular or infrequent events are not considered violations of a state standard and are not used as a basis for designating areas as nonattainment. Under the CCAA, the non-desert Los Angeles County portion of the South Coast Air Basin is designated as a nonattainment area for O₃, PM₁₀, and PM_{2.5}.

Toxic Air Contaminant Identification and Control Act

The public's exposure to TACs is a significant public health issue in California. CARB's statewide comprehensive air toxics program was established in the early 1980s. The Toxic Air Contaminant Identification and Control Act created California's program to reduce exposure to air toxics. Under the Toxic Air Contaminant Identification and Control Act, CARB is required to use certain criteria in the prioritization for the identification and control of air toxics. In selecting substances for review, CARB must consider criteria relating to "the risk of harm to public health, amount or potential amount of emissions, manner of, and exposure to, usage of the substance in California, persistence in the atmosphere, and ambient concentrations in the community" [Health and Safety Code Section 39666(f)].

The Toxic Air Contaminant Identification and Control Act also requires CARB to use available information gathered from the Air Toxics "Hot Spots" Information and Assessment Act program to include in the prioritization of compounds. CARB identified particulate emissions from diesel-fueled engines (i.e., DPM) TACs in August 1998. Following the identification process, CARB was required by law to determine if there is a need for further control, which led to the risk management phase of the program. For the risk management phase, CARB formed the Diesel Advisory Committee to assist in the development of a risk management guidance document and a risk reduction plan. With the assistance of the Diesel Advisory Committee and its subcommittees, CARB developed the Risk Reduction Plan to Reduce Particulate Matter Emissions from Diesel-Fueled Engines and Vehicles and the Risk Management Guidance for the Permitting of New Stationary Diesel-Fueled Engines. CARB approved these documents on September 28, 2000, paving the way for the next step in the regulatory process: the control measure phase. During the control measure phase, specific statewide regulations designed to further reduce DPM emissions from diesel-fueled engines and vehicles have and continue to be evaluated and developed. The goal of each regulation is to make diesel engines as clean as possible by establishing state-of-the-art

technology requirements or emission standards to reduce DPM emissions. Breathing H₂S at levels above the state standard could result in exposure to a disagreeable rotten eggs odor. The state does not regulate other odors.

California Air Toxics Program

The California Air Toxics Program was established in 1983, when the California Legislature adopted Assembly Bill (AB) 1807 to establish a two-step process of risk identification and risk management to address potential health effects from exposure to toxic substances in the air.⁹ In the risk identification step, as stated previously, CARB and OEHHA determine if a substance should be formally identified (or “listed”) as a TAC in California. Since inception of the program, a number of such substances have been listed, including benzene, chloroform, formaldehyde, and particulate emissions from diesel-fueled engines, among others.¹⁰ In 1993, the California Legislature amended the program to identify the 189 federal hazardous air pollutants as TACs.

In the risk management step, CARB reviews emission sources of an identified TAC to determine whether regulatory action is needed to reduce risk. Based on results of that review, CARB has promulgated a number of airborne toxic control measures (ATCMs), both for mobile and stationary sources. In 2004, CARB adopted an ATCM to limit heavy-duty diesel motor vehicle idling in order to reduce public exposure to DPM and other TACs. The measure applies to diesel-fueled commercial vehicles with gross vehicle weight ratings greater than 10,000 pounds that are licensed to operate on highways, regardless of where they are registered. This measure does not allow diesel-fueled commercial vehicles to idle for more than five minutes at any given time.

In addition to limiting exhaust from idling trucks, CARB adopted regulations on July 26, 2007 for off-road diesel construction equipment such as bulldozers, loaders, backhoes, and forklifts, as well as many other self-propelled off-road diesel vehicles to reduce emissions by installation of DPM filters and encouraging the replacement of older, dirtier engines with newer emission controlled models. Implementation is staggered based on fleet size, with the largest operators beginning compliance in 2014.¹¹

Assembly Bill 2588 Air Toxics “Hot Spots” Program

The AB 1807 program is supplemented by the AB 2588 Air Toxics “Hot Spots” program, which was established by the California Legislature in 1987. Under this program, facilities are required to report their air toxics emissions, assess health risks, and notify nearby residents and workers of significant risks if present. In 1992, the AB 2588 program was amended by Senate Bill (SB) 1731 to require facilities that

⁹ CARB, *California Air Toxics Program*, www.arb.ca.gov/toxics/toxics.htm, last reviewed by CARB September 24, 2015.

¹⁰ CARB, *Toxic Air Contaminant Identification List*, www.arb.ca.gov/toxics/id/taclist.htm, last reviewed by CARB July 18, 2011.

¹¹ CARB, *In-Use Off-Road Diesel-Fueled Fleets Regulation*, www.arb.ca.gov/msprog/ordiesel/ordiesel.htm, last reviewed by CARB July 28, 2016.

pose a significant health risk to the community to reduce their risk through implementation of a risk management plan.

Air Quality and Land Use Handbook: A Community Health Perspective

The *Air Quality and Land Use Handbook: A Community Health Perspective* provides important air quality information about certain types of facilities (e.g., freeways, refineries, rail yards, ports, etc.) that should be considered when siting sensitive land uses such as residences.¹² CARB provides recommended site distances from certain types of facilities when considering siting new sensitive land uses. The recommendations are advisory and should not be interpreted as defined “buffer zones.” If a project is within the siting distance, CARB recommends further analysis. Where possible, CARB recommends a minimum separation between new sensitive land uses and existing sources.

California Code of Regulations

The California Code of Regulations (CCR) is the official compilation and publication of regulations adopted, amended, or repealed by the state agencies pursuant to the Administrative Procedure Act. The CCR includes regulations that pertain to air quality emissions. Specifically, Section 2485 in CCR Title 13 states that the idling of all diesel-fueled commercial vehicles (weighing over 10,000 pounds) used during construction shall be limited to five minutes at any location. In addition, Section 93115 in CCR Title 17 states that operation of any stationary, diesel-fueled, compression-ignition engines shall meet specified fuel and fuel additive requirements and emission standards.

Regional

South Coast Air Quality Management District

The SCAQMD was created in 1977 to coordinate air quality planning efforts throughout Southern California. The SCAQMD is the agency principally responsible for comprehensive air pollution control in the region. Specifically, the SCAQMD is responsible for monitoring air quality, as well as planning, implementing, and enforcing programs designed to attain and maintain the NAAQS and the CAAQS in the district. The SCAQMD has jurisdiction over an area of 10,743 square miles consisting of Orange County; the non-desert portions of Los Angeles, Riverside, and San Bernardino counties; and the Riverside County portion of the Salton Sea Air Basin and Mojave Desert Air Basin. The South Coast Air Basin portion of SCAQMD’s jurisdiction covers an area of 6,745 square miles. The South Coast Air Basin includes all of Orange County and the non-desert portions of Los Angeles (including the Project Sites), Riverside, and San Bernardino counties. The South Coast Air Basin is bounded by the Pacific Ocean to the west; the San Gabriel, San Bernardino and San Jacinto Mountains to the north and east; and the San Diego County line to the south.

Programs that were developed by SCAQMD to attain and maintain the NAAQS and CAAQS include air quality rules and regulations that regulate stationary sources, area sources, point sources, and certain

¹² CARB, *Air Quality and Land Use Handbook, a Community Health Perspective*, April 2005.

mobile source emissions. The SCAQMD is also responsible for establishing stationary source permitting requirements and for ensuring that new, modified, or relocated stationary sources do not create net emission increases. All projects in the SCAQMD jurisdiction are subject to SCAQMD rules and regulations, including, but not limited to the following:

- Rule 401 Visible Emissions – This rule prohibits an air discharge that results in a plume that is as dark or darker than what is designated as No. 1 Ringelmann Chart by the United States Bureau of Mines for an aggregate of three minutes in any one hour.
- Rule 402 Nuisance – This rule prohibits the discharge of “such quantities of air contaminants or other material which cause injury, detriment, nuisance, or annoyance to any considerable number of people or the public, or which endanger the comfort, repose, health or safety of any such persons or the public, or which cause, or have a natural tendency to cause, injury or damage to business or property.”
- Rule 403 Fugitive Dust – This rule requires that future projects reduce the amount of particulate matter entrained in the ambient air as a result of fugitive dust sources by requiring actions to prevent, reduce, or mitigate fugitive dust emissions from any active operation, open storage pile, or disturbed surface area.

Air Quality Management Plan

SCAQMD’s 2016 Air Quality Management Plan (2016 AQMP) was adopted in April 2017 and represents the most updated regional blueprint for achieving federal air quality standards. The 2016 AQMP adapts previously conducted regional air quality analyses to account for the recent unexpected drought conditions and presents a revised approach to demonstrated attainment of the 2006 24-hour PM_{2.5} NAAQS for the South Coast Air Basin. Additionally, the 2016 AQMP relied upon a comprehensive analysis of emissions, meteorology, atmospheric chemistry, regional growth projections, and the impact of existing control measures to evaluate strategies for reducing NO_x emissions sufficiently to meet the upcoming ozone deadline standards.

Multiple Air Toxics Exposure Study IV

To date, the most comprehensive study on air toxics in the South Coast Air Basin is the Multiple Air Toxics Exposure Study IV (MATES-IV). The monitoring program measured more than 30 air pollutants, including both gases and particulates. The monitoring study was accompanied by a computer modeling study in which SCAQMD estimated the risk of cancer from breathing toxic air pollution throughout the region based on emissions and weather data. MATES-IV found that the cancer risk in the region from carcinogenic air pollutants ranges from about 320 to 480 in a million. About 90 percent of the risk is attributed to emissions associated with mobile sources, with the remainder attributed to toxics emitted from stationary sources, which include large industrial operations, such as refineries and metal processing facilities, as well as smaller businesses such as gas stations and chrome plating. The results indicate that DPM is the major contributor to air toxics risk, accounting on average for about 68 percent of the total risk.

Southern California Association of Governments

The Southern California Association of Governments (SCAG) is the regional planning agency for Los Angeles, Orange, Ventura, Riverside, San Bernardino, and Imperial Counties, and addresses regional issues relating to transportation, the economy, community development and the environment. SCAG coordinates with various air quality and transportation stakeholders in Southern California to ensure compliance with the federal and state air quality requirements, including the Transportation Conformity Rule and other applicable federal, state, and air district laws and regulations. As the federally designated Metropolitan Planning Organization (MPO) for the six-county Southern California region, SCAG is required by law to ensure that transportation activities “conform” to, and are supportive of, the goals of regional and state air quality plans to attain the NAAQS. In addition, SCAG is a co-producer with SCAQMD of the transportation strategy and transportation control measure sections of the AQMP for the South Coast Air Basin.

SCAG adopted the 2016–2040 Regional Transportation Plan/Sustainable Communities Strategy (2016–2040 RTP/SCS) on April 7, 2016.^{13 14} The 2016–2040 RTP/SCS reaffirms the land use policies that were incorporated into SCAG’s 2012–2035 RTP/SCS. These foundational policies, which guided the development of the plan’s land use strategies, include the following:

- Identify regional strategic areas for infill and investment;
- Structure the plan on a three-tiered system of centers development;¹⁵
- Develop “Complete Communities”;
- Develop nodes on a corridor;
- Plan for additional housing and jobs near transit;
- Plan for changing demand in types of housing;
- Continue to protect stable, existing single-family areas;
- Ensure adequate access to open space and preservation of habitat; and
- Incorporate local input and feedback on future growth.

¹³ SCAG, *Final 2016–2040 RTP/SCS*.

¹⁴ CARB, *Executive Order G-16-066, SCAG 2016 SCS ARB Acceptance of GHG Quantification Determination, June 2016*.

¹⁵ Complete language: “Identify strategic centers based on a three-tiered system of existing, planned and potential relative to transportation infrastructure. This strategy more effectively integrates land use planning and transportation investment.” A more detailed description of these strategies and policies can be found on pp. 90–92 of the SCAG 2008 Regional Transportation Plan, adopted in May 2008.

The 2016–2040 RTP/SCS recognizes that transportation investments and future land use patterns are inextricably linked, and continued recognition of this close relationship will help the region make choices that sustain existing resources and expand efficiency, mobility, and accessibility for people across the region. In particular, the 2016–2040 RTP/SCS draws a closer connection between where people live and work, and it offers a blueprint for how Southern California can grow more sustainably. The 2016–2040 RTP/SCS also includes strategies focused on compact infill development and economic growth by building the infrastructure the region needs to promote the smooth flow of goods and easier access to jobs, services, educational facilities, healthcare and more.

The 2016–2040 RTP/SCS states that the SCAG region was home to about 18.3 million people in 2012 and included approximately 5.9 million homes and 7.4 million jobs.¹⁶ By 2040, the integrated growth forecast projects these figures will increase by 3.8 million people, with nearly 1.5 million more homes and 2.4 million more jobs. High Quality Transit Areas (HQTAs) will account for 3 percent of regional total land but are projected to accommodate 46 percent and 55 percent of future household and employment growth respectively between 2012 and 2040.¹⁷ The 2016–2040 RTP/SCS overall land use pattern reinforces the trend of focusing new housing and employment in the region’s HQTAs. HQTAs are a cornerstone of land use planning best practice in the SCAG region because they concentrate roadway repair investments, leverage transit and active transportation investments, reduce regional life cycle infrastructure costs, improve accessibility, create local jobs, and have the potential to improve public health and housing affordability. As discussed further below, the Project Sites are located within an HQTA.

Local

City of Los Angeles General Plan Air Quality Element

The Air Quality Element of the City’s General Plan was adopted on November 24, 1992, and sets forth the goals, objectives, and policies, which guide the City in the implementation of its air quality improvement programs and strategies. The Air Quality Element acknowledges the interrelationships among transportation and land use planning in meeting the City’s mobility and air quality goals. The Air Quality Element includes the following six key goals:

Goal 1: Good air quality in an environment of continued population growth and healthy economic structure.

Goal 2: Less reliance on single-occupant vehicles with fewer commute and non-work trips.

¹⁶ *The SCAG 2016–2040 RTP/SCS is based on year 2012 demographic data with growth forecasts developed for 2020, 2035, and 2040.*

¹⁷ *Defined by the 2016–2040 RTP/SCS as generally walkable transit villages or corridors located within 0.5 mile of a well-served transit stop or a transit corridor with 15-minute or less service frequency during peak commute hours.*

Goal 3: Efficient management of transportation facilities and system infrastructure using cost-effective system management and innovative demand management techniques.

Goal 4: Minimize impacts of existing land use patterns and future land use development on air quality by addressing the relationship between land use, transportation, and air quality.

Goal 5: Energy efficiency through land use and transportation planning, the use of renewable resources and less-polluting fuels and the implementation of conservation measures including passive measures such as site orientation and tree planting.

Goal 6: Citizen awareness of the linkages between personal behavior and air pollution and participation in efforts to reduce air pollution.

Clean Up Green Up Ordinance

The City adopted a Clean Up Green Up Ordinance (Ordinance Number 184,245) on April 13, 2016, which among other provisions, includes provisions related to ventilation system filter efficiency in mechanically ventilated buildings. This ordinance added Sections 95.314.3 and 99.04.504.6 to the LAMC and amended Section 99.05.504.5.3 to implement building standards and requirements to address cumulative health impacts resulting from incompatible land use patterns.

Existing Conditions

South Coast Air Basin

The Project Sites are located within the South Coast Air Basin, named so because of its geographical formation is that of a basin, with the surrounding mountains trapping the air and its pollutants in the valleys or basins below. As noted above, the 6,745-square-mile South Coast Air Basin includes all of Orange County and the non-desert portions of Los Angeles, Riverside, and San Bernardino Counties. It is bounded by the Pacific Ocean to the west; the San Gabriel, San Bernardino and San Jacinto Mountains to the north and east; and the San Diego County line to the south. Ambient pollution concentrations recorded in Los Angeles County portion of the South Coast Air Basin are among the highest in the four counties comprising the South Coast Air Basin. USEPA has classified Los Angeles County as nonattainment areas for O₃, PM₁₀, PM_{2.5}, and Pb. This classification denotes that the South Coast Air Basin does not meet the NAAQS for these pollutants. In addition, under the CCAA, the Los Angeles County portion of the South Coast Air Basin is designated as a nonattainment area for O₃, PM₁₀, and PM_{2.5}. The air quality within the South Coast Air Basin is primarily influenced by a wide range of emissions sources, such as dense population centers, heavy vehicular traffic, industry, and meteorology.

Air pollutant emissions are generated in the local vicinity by stationary and area-wide sources, such as commercial activity, space and water heating, landscaping maintenance, consumer products, and mobile sources primarily consisting of automobile traffic.

Air Pollution Climatology¹⁸

The topography and climate of Southern California combine to make the South Coast Air Basin an area of high air pollution potential. During the summer months, a warm air mass frequently descends over the cool, moist marine layer produced by the interaction between the ocean's surface and the lowest layer of the atmosphere. The warm upper layer forms a cap over the cooler surface layer, which inhibits the pollutants from dispersing upward. Light winds during the summer further limit ventilation. Additionally, abundant sunlight triggers photochemical reactions, which produce O₃ and the majority of particulate matter.

Local Climate

The mountains and hills within the South Coast Air Basin contribute to the variation of rainfall, temperature, and winds throughout the region. Meteorological conditions at the Project Sites are best represented by meteorological data from the Los Angeles Downtown USC campus meteorological station, which is located 2.5 miles southwest of the Project Sites. The average wind speed in the vicinity of the Project Sites as recorded during the time period spanning 2012–2016 was 3.0 miles per hour. Wind direction in the vicinity of the Project Sites predominantly blows from the west and southwest.¹⁹

Climatological temperature and precipitation data spanning 1877 to 2016 is available from the Los Angeles Downtown USC Campus location. The averages represent a contemporary description of the climate in the region. According to the data, the annual mean temperature in the vicinity of the Project Sites was 64.9 degrees Fahrenheit (°F). The Project Sites and surrounding area experience a mean winter temperature of 58.0°F and a mean summer temperature of 71.5°F. Total precipitation at the Project Sites and in the surrounding area averages 14.8 inches annually. Precipitation occurs mostly during the winter and relatively infrequently during the summer. Precipitation averages 8.99 inches during the winter, 3.66 inches during the spring, 2.00 inches during the fall, and less than one inch during the summer.²⁰ These conditions are typical of temperate coastal climates.

Air Monitoring Data

The SCAQMD monitors air quality conditions at 38 source receptor areas (SRAs) throughout the South Coast Air Basin. The Project Sites are located in SCAQMD's Central Los Angeles receptor area (SRA 1). Historical data from the area was used to characterize existing conditions in the vicinity of the Project Sites. Table 6-2 shows pollutant levels, state, and federal standards, and the number of exceedances recorded in the area from 2014 through 2016. The one-hour State standard for O₃ was exceeded seven times during this three-year period, the daily State standard for PM₁₀ was exceeded 76 times, while the daily federal standard for PM_{2.5} was exceeded 15 times. CO and NO₂ levels did not exceed the CAAQS from 2014 to 2016.

¹⁸ AQMD, *Final Program Environmental Impact Report for the 2012 AQMP*, December 7, 2012.

¹⁹ SCAQMD, *Meteorological Data for AERMOD*, accessed March 25, 2018.

²⁰ Western Regional Climate Center, *local Climate Data Summaries for Western US*, accessed April 12, 2018.

Sensitive Receptors

Some land uses are considered more sensitive to changes in air quality than others, depending on the population groups and the activities involved. CARB has identified the following groups who are most likely to be affected by air pollution: children less than 14 years of age, the elderly over 65 years of age, athletes, and people with cardiovascular and chronic respiratory diseases. According to the SCAQMD, sensitive receptors include residences, schools, playgrounds, childcare centers, athletic facilities, long-term health care facilities, rehabilitation centers, convalescent centers, and retirement homes.

Table 6-2
2014-2016 Ambient Air Quality Data in the Vicinity of the Project Sites

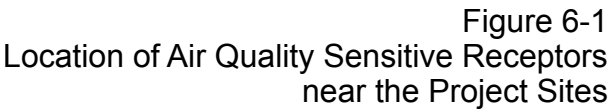
Pollutant	Pollutant Concentration & Standards	Central Los Angeles		
		2014	2015	2016
Ozone	Maximum 1-hour Concentration (ppm)	0.113	0.104	0.103
	Days > 0.09 ppm (State 1-hour standard)	3	2	2
	Days > 0.075 ppm (Federal 8-hour standard)	2	0	1
Carbon Monoxide	Maximum 1-hour Concentration (ppm)	3.0	3.2	1.9
	Days > 20 ppm (State 1-hour standard)	N/A	N/A	N/A
	Maximum 8-hour Concentration (ppm)	2.0	1.8	1.4
	Days > 9.0 ppm (State 8-hour standard)	0	0	0
Nitrogen Dioxide	Maximum 1-hour Concentration (ppm)	0.0821	0.0791	0.0647
	Days > 0.18 ppm (State 1-hour standard)	0	0	0
PM ₁₀	Maximum 24-hour Concentration (µg/m ³)	87	88	67
	Days > 50 µg/m ³ (State 24-hour standard)	32	26	18
PM _{2.5}	Maximum 24-hour Concentration (µg/m ³)	0	56.4	44.39
	Days > 35 µg/m ³ (Federal 24-hour standard)	6	7	2
Sulfur Dioxide	Maximum 24-hour Concentration (ppb)	5.4	12.6	13.4
	Days > 0.04 ppm (State 24-hour standard)	N/A	N/A	N/A
Source: SCAQMD annual monitoring data http://www.aqmd.gov/home/air-quality/air-quality-data-studies/historical-data-by-year , accessed April 12, 2018.				
N/A: Not available at this monitoring station.				

Given the Project Sites' location in Skid Row, there are a number of residential, transitional services, and health-related services that represent sensitive receptors, which include but are not limited to the following (refer to Figure 6-1):²¹

- 555 South San Pedro Street, apartments and the Central City Community Church, west of Site 1
- Weingart Center Association, 566 South San Pedro Street, apartments, directly south of and adjacent to Site 1.
- Union Rescue Mission; 545 South San Pedro Street, slightly northwest of Site 1.
- Emmanuel Baptist Rescue Mission; 530 East 5th Street, north of the Project Sites at the southwestern corner of East 5th Street and Crocker Street.
- Charles Cobb Apartments; 521 South San Pedro Street, northwest of Site 1.
- Midnight Mission; 601 South San Pedro Street, west of Site 2.
- 505 South San Pedro Street; Single Room Occupancy Housing Corporation, northwest of Site 1 at the southwest corner of 5th Street and South San Pedro Street.

The location of these sensitive receptors in relation to the Project Sites is shown on Figure 6-1.

²¹ The "Skid Row" area of Downtown Los Angeles was defined in a decision in *Jones v. City of Los Angeles* (104 Cal. App. 2d 212 [1951]) as the area east of Main Street, south of 3rd Street, west of Alameda Street, and north of 7th Street, and contains a large population of homeless people.



Source: CAJA Environmental Services, LLC, 2018.

Existing Emissions from the Project Sites

Site 1 includes a 7,000 square-foot food service building and a surface parking lot. Site 2 includes a 133-space surface parking lot. Because the parking lots themselves do not generate vehicle traffic or emissions, the sole source of anthropogenic emissions is the food service building. The estimated emissions associated with the food service building is shown on Table 6-3.

Table 6-3
Estimated Existing Daily Emissions

Emission Source	Pounds per Day					
	VOC	NO _x	CO	SO _x	PM ₁₀	PM _{2.5}
Area Sources	<1	<1	9	<1	<1	<1
Energy Sources	<1	1	<1	<1	<1	<1
Mobile Sources	<1	1	2	<1	<1	<1
Total Operations	<1	2	11	<1	<1	<1
<i>Source: DKA Planning, 2018. Based on CalEEMod 2016.3.2 model runs. Refer to Appendix F.</i>						

a) Would the project conflict with or obstruct implementation of the applicable air quality plan?

Less Than Significant Impact. The discussion below addresses the Project's consistency with applicable SCAQMD and SCAG policies, including the SCAQMD's 2016 AQMP and growth projections within the SCAG 2016–2040 RTP/SCS. In accordance with the procedures established in the SCAQMD's *CEQA Air Quality Handbook*, the following criteria are required to be addressed in order to determine the Project's consistency with applicable SCAQMD and SCAG policies:

- Would the project result in any of the following?
 - An increase in the frequency or severity of existing air quality violations; or
 - Cause or contribute to new air quality violations; or
 - Delay timely attainment of air quality standards or the interim emission reductions specified in the AQMP.
- Would the project exceed the assumptions utilized in preparing the AQMP?
 - Is the Project consistent with the population and employment growth projections upon which AQMP forecasted emission levels are based;
 - Does the Project include air quality mitigation measures; or
 - To what extent is Project development consistent with the AQMP land use policies?

With respect to the first criterion, as discussed below, localized concentrations of NO₂ as NO_x, CO, PM₁₀, and PM_{2.5} have been estimated for the Project. SO₂ emissions would be negligible during construction and

long-term operations and thus, would not have the potential to cause or affect a violation of the SO₂ ambient air quality standard. Since VOCs are not a criteria pollutant, there is no ambient standard or localized threshold for VOCs. Due to the role VOCs play in O₃ formation, VOCs are classified as a precursor pollutant, and only a regional emissions threshold has been established.

Particulate matter is the primary pollutant of concern during construction activities and thus, the Project's PM₁₀ and PM_{2.5} emissions during construction were estimated in order to: (1) ascertain potential effects on localized concentrations, and (2) determine if there is a potential for such emissions to cause or affect a violation of the ambient air quality standards for PM₁₀ and PM_{2.5}. As demonstrated in the discussion and accompanying Tables 6-6 and 6-7 later in this section, the Project's generation of PM₁₀ and PM_{2.5} emissions during construction would not exceed the SCAQMD significance thresholds at the location of the sensitive receptors in proximity to the Project Sites.

Additionally, the Project's maximum potential NO_x and CO daily emissions during construction were estimated to ascertain potential effects on localized concentrations and to determine if there is a potential for such emissions to cause or affect a violation of an applicable ambient air quality standard. As shown by Tables 6-6 and 6-7, the Project's generation of NO_x and CO emissions would not exceed the SCAQMD localized significance thresholds. Therefore, the Project's construction-related localized air quality impacts would be less than significant.

Because the Project would not introduce any substantial stationary sources of emissions (e.g., industrial-type equipment associated with TACs), CO is the preferred benchmark pollutant for assessing local area air quality impacts from post-construction motor vehicle operations.²² As indicated in response to Checklist Question 3(d) discussed later in this section, no intersections would require a CO hotspot analysis, and associated impacts would be less than significant. Thus, the Project would not increase the frequency or severity of an existing CO violation or cause or contribute to new CO violations.

As discussed below, an analysis of potential localized operational impacts from on-site activities was conducted. As demonstrated in the analysis below (refer to Table 6-10 later in this section), the Project's generation of localized NO₂ as NO_x, CO, PM₁₀, and PM_{2.5} operational emissions would not exceed the SCAQMD's significance thresholds. Thus, the Project would not increase the frequency or severity of an existing violation or cause or contribute to new violations for these pollutants. Because the Project would not exceed any of the state and federal standards, the Project also would not delay timely attainment of air quality standards or interim emission reductions specified in the AQMP.

With respect to the determination of consistency with the 2016 AQMP growth assumptions, the projections in the 2016 AQMP for achieving air quality goals are based on assumptions in SCAG's 2016–2040 RTP/SCS regarding population, housing, and employment growth trends. Determining whether or not a project exceeds the assumptions reflected in the AQMP involves the evaluation of three criteria: (1) consistency with applicable population, housing, and employment growth projections; (2) project

²² SCAQMD, *CEQA Air Quality Handbook, Chapter 12, Assessing Consistency with Applicable Regional Plans, 1993*.

mitigation measures; and (3) appropriate incorporation of AQMP land use planning strategies. The discussion below provides an analysis with respect to each of these three criteria.

- Is the project consistent with the population, housing, and employment growth projections upon which AQMP forecasted emission levels are based?

A project is consistent with the AQMP, in part, if the project is consistent with the population, housing, and employment assumptions that were used in the development of the AQMP. In the case of the 2016 AQMP, two sources of data form the basis for the projections of air pollutant emissions: the City of Los Angeles General Plan, which serves as a comprehensive long-term plan for future development of the City, and SCAG's 2016-2040 RTP/SCS.

The 2016–2040 RTP/SCS provides socioeconomic forecast projections of regional population growth. The population, housing, and employment forecasts, which are adopted by SCAG's Regional Council, are based on local plans and policies applicable to the specific area and are used by SCAG in all phases of implementation and review. Based on SCAG population projections in the 2016-2040 RTP/SCS, the City's projected 2017 population was 3,981,910.²³ In 2025 (Project buildout year), the City is anticipated to have a population of approximately 4,200,166 persons and in 2040, the City is anticipated to have a population of approximately 4,609,400 persons.²⁴

The Project includes the development of up to 685 new multi-family units, including 451 permanent supportive units, 225 individual/family units, and 9 manager units, and up to a maximum of 5,450 square feet of retail, 25,493 square feet of philanthropic, and 17,100 square feet of office uses. The maximum residential occupancy for the Project would be 1,420, limited by requirements set forth in the regulatory agreement between the Project Applicant and the HCIDLA. Approximately 95 percent of the future residents of the 451 permanent supportive units would be previously homeless people from within the City.²⁵ Accordingly, assuming an approximately 2.07 persons-per-unit rate, approximately 887 of the Project's future residents already reside in the City.²⁶ It is probable that the remaining 533 future Project residents already live in the City, as well, as discussed in more detail below. However, for purposes of a conservative analysis, it is assumed that the Project could add 533 new residents to the City. In addition, according to the Project Applicant the Project would generate approximately 74 employees. The Project's new residential population of 533 people would represent approximately 0.24 percent of the population growth forecasted by SCAG in the City between 2017 and 2025, and approximately 0.08 percent of the population growth forecasted by SCAG in the City between 2017 and 2040.

²³ The "baseline" year for the Project is 2017. The 2016-2040 RTP/SCS included a 2012 population for the City of approximately 3,845,500, with a projected 2040 population of approximately 4,609,400, for a straight-line average growth of approximately 27,282 people per year. Based on this, the estimated 2017 population for the City is 3,981,910.

²⁴ SCAG, 2016-2040 RTP/SCS.

²⁵ The People Concern/OPCC & Lamp Community United, Hazel Lopez, Director of CES and Community Engagement, May 21, 2018.

²⁶ $1,420 \text{ maximum residents} / 685 \text{ units} = 2.07 \text{ persons per unit}$.

The Project includes development of a combined total of 685 dwelling units at Sites 1 and 2. Based on the 2016–2040 RTP/SCS, the City had approximately 1,390,645 dwelling units in 2017. In 2025, the City is anticipated to have approximately 1,494,877 dwelling units, and in 2040, the City is anticipated to have approximately 1,690,300 dwelling units. Thus, the Project’s 685 dwelling units would constitute approximately 0.66 percent of the housing growth forecasted between 2017 and 2025 for the City, and constitute approximately 0.23 percent of the housing growth forecasted between 2017 and 2040 for the City.

Implementation of the Project also would result in approximately 74 employment positions on-site.²⁷ Based on the 2016–2040 RTP/SCS, the City employed 1,780,810 workers in 2017. In 2025, the City is anticipated to have approximately 1,915,866 employees, and in 2040, the City is anticipated to have approximately 1,915,866 workers. Thus, the Project’s estimated 74 employees would constitute approximately 0.06 percent of the employment growth forecasted between 2017 and 2025 for the City, and approximately 0.02 percent of the employment growth forecasted between 2017 and 2040 for the City.

Because the Project’s resulting residential, housing, and employment growth would fall well within the growth forecasts for the City and similar projections form the basis of the 2016 AQMP, the Project would be consistent with the projections in the AQMP. As such, the Project meets this AQMP consistency criterion.

- Does the project implement feasible air quality mitigation measures?

As discussed below in response to Checklist Questions 3(b), 3(c), and 3(d), the Project would not result in any significant air quality impacts, and no mitigation measures would be required. In addition, the Project would comply with all applicable regulatory standards as required by SCAQMD and the City, such as SCAQMD’s Rule 403, which includes measures to reduce the amount of fugitive PM₁₀ and PM_{2.5} emissions created by construction activities. As such, the Project meets this AQMP consistency criterion.

- To what extent is project development consistent with the land use policies set forth in the AQMP?

With regard to land use developments such as the Project, the AQMP’s air quality policies focus on the reduction of vehicle trips and vehicle miles traveled (VMT). The Project would be designed and constructed to support and promote environmental sustainability. The Project represents an infill development within an existing urbanized area that would concentrate new residential, office, and retail commercial uses within a transit priority area and an HQTa that is well served by multiple existing bus lines, and is proximate to existing rail service.

²⁷ *Employment number provided by Project Applicant. Includes approximately 58 service staff and 16 management staff.*

“Green” principles are incorporated throughout the Project to comply with the City of Los Angeles Green Building Code and the California Green Building Standards Code (CALGreen) through energy conservation, water conservation, and waste reduction features.

As stated previously, the AQMP applicable to the Project is the 2016 AQMP, which is the SCAQMD’s plan for improving regional air quality in the South Coast Air Basin. The 2016 AQMP is the current management plan for continued progression toward clean air and compliance with state and federal requirements. It includes a comprehensive strategy aimed at controlling pollution from all sources, including stationary sources, on- and off-road mobile sources and area sources. The 2016 AQMP also incorporates current scientific information and meteorological air quality models and updates the federally approved 8-hour O₃ control plan with new commitments for short-term NO_x and VOC emissions reductions.

The 2016 AQMP includes short-term control measures related to facility modernization, energy efficiency, good management practices, market incentives, and emissions growth management.

As demonstrated in the analysis below, the Project would not result generate regional emissions in excess of SCAQMD’s significance thresholds. The 2016 AQMP adapts previously conducted regional air quality analyses to account for the recent unexpected drought conditions and presents a revised approach to demonstrated attainment of the 2006 24-hour PM_{2.5} NAAQS for the South Coast Air Basin. Directly applicable to the Project, the 2016 AQMP proposes robust NO_x reductions from commercial cooking and residential and commercial appliances, as well as commercial space heating. The Project would be required to comply with all new and existing regulatory measures set forth by the SCAQMD. Implementation of the Project would not interfere with air pollution control measures listed in the 2016 AQMP.

The Project implements the City and SCAQMD’s objectives of reducing VMT and related vehicular air emissions, as well as implementing various sustainability measures intended to further reduce Project-related emissions. Therefore, Project impacts related to consistency with the 2016 AQMP’s land use policies would be less than significant.

City of Los Angeles Policies

In addition to the Project’s consistency with the 2016 AQMP, as shown on Table 6-4, the Project would be consistent with the applicable policies of the City’s General Plan Air Quality Element. The Project would provide 444 long-term bicycle parking spaces and 49 short-term bicycle parking spaces and would offer convenient access to public transit and opportunities for walking and biking, thereby facilitating a reduction in VMT. In addition, the Project would be consistent with the existing land use pattern in the vicinity of the Project Sites that concentrates urban density along major arterials and near transit options. The Project also includes primary entrances for pedestrians and bicyclists that would be safe, easily accessible, and a short distance from transit stops. Therefore, Project impacts related to consistency with the City’s General Plan Air Quality Element would be less than significant.

As shown on Table 6-4, the Project would be consistent with applicable policies of the General Plan's Air Quality Element. The Project would implement sustainability features that would reduce vehicular trips, reduce VMT, and encourage use of alternative modes of transportation.

Table 6-4
Project Consistency with the City's General Plan Air Quality Element

Policies	Project Consistency
Policy 1.3.1. Minimize particulate emissions from construction sites.	Consistent. As discussed later in this section, the Project would not generate construction-related regional or localized PM ₁₀ or PM _{2.5} emissions in excess of the SCAQMD's significance thresholds, and the Project's construction-related air quality impacts would be less than significant. Additionally, during the Project's construction phase, the Project Development would be required by the City to minimize particulate emissions during construction through application of best practices required under SCAQMD Rule 403 (Fugitive Dust).
Policy 1.3.2. Minimize particulate emissions from unpaved roads and parking lots associated with vehicular traffic.	Consistent. Roads and parking facilities within the Project Site area are paved. Additionally, during the Project's construction phase, the Project would be required by the City to minimize particulate emissions during construction through application of best practices required under SCAQMD Rule 403 (Fugitive Dust).
Policy 2.1.1. Utilize compressed work weeks and flextime, telecommuting, carpooling, vanpooling, public transit, and improve walking/bicycling related facilities in order to reduce vehicle trips and/or VMT as an employer and encourage the private sector to do the same to reduce work trips and traffic congestion.	Consistent. The Project would be located in Downtown Los Angeles, an urban area with significant infrastructure to provide alternative transportation modes, including proximity to Metro bus routes and Metro Rail stations. Additionally, the provision of a total of 49 short-term and 44 long-term bicycle parking spaces on the Project Sites would reduce the need for employees to drive a vehicle to the Project Sites.
Policy 2.2.1. Discourage single-occupant vehicle use through a variety of measures such as market incentive strategies, mode-shift incentives, trip reduction plans and ridesharing subsidies.	Consistent. The provision of a total of 49 short-term and 444 long-term bicycle parking spaces on the Project Sites would reduce the need for employees to drive a vehicle to the Project Sites. Additionally, the Project's location in a dense urban downtown area and the nature of Project as primarily serving the homeless population, who generally do not have vehicles, would further minimize single-occupancy driving.
Policy 2.2.2. Encourage multi-occupant vehicle travel and discourage single-occupant vehicle travel by instituting parking management practices.	Consistent. The provision of a total of 49 short-term and 444 long-term bicycle parking spaces on the Project Sites could reduce demand for auto parking. Additionally, the Project's location in a dense urban downtown area and the nature of Project as primarily serving the homeless population, who generally do not have vehicles, would further minimize single-occupancy driving.
Policy 4.1.1. Coordinate with all appropriate regional agencies on the implementation of strategies for the	Consistent. The Project is being entitled through the City, which coordinates with SCAG, Metro, and other

Table 6-4
Project Consistency with the City's General Plan Air Quality Element

Policies	Project Consistency
integration of land use, transportation, and air quality policies.	regional agencies on the coordination of land use, air quality, and transportation policies.
Policy 4.1.2. Ensure that project level review and approval of land use development remains at the local level.	Consistent. The City is the lead agency for the Project and has prepared this SCEA as part of the Project's review process.
Policy 4.2.2. Improve accessibility for the City's residents to places of employment, shopping centers and other establishments.	Consistent. The Project is an infill development that would provide housing and services to a homeless population currently living on the streets, thereby facilitating greater access to places of employment for the Project's residents.
Policy 4.2.3. Ensure that new development is compatible with pedestrians, bicycles, transit, and alternative fuel vehicles.	Consistent. The Project would be located in an urban area with significant infrastructure to facilitate alternative transportation modes, including close proximity to bus routes and local rail service operated by Metro. Additionally, the Project would include a total of 49 short-term bicycle parking spaces and 444 long-term bicycle parking spaces.
Policy 4.2.4. Require that air quality impacts be a consideration in the review and approval of all discretionary projects.	Consistent. The Project's air quality impacts will be analyzed and minimized through the environmental review process.
Policy 4.2.5. Emphasize trip reduction, alternative transit and congestion management measures for discretionary projects.	Consistent. The Project would be located in an urban area with significant infrastructure to facilities alternative transportation modes, including close proximity to bus routes and rail services operating by Metro. Additionally, the Project would include a total of 49 short-term bicycle parking spaces and 444 long-term bicycle parking spaces.
<i>Source: DKA Planning, 2018.</i>	

b) Would the project violate any air quality standard or contribute substantially to an existing or projected air quality violation?

Less Than Significant Impact. The Project's grading and construction would result in short-term air pollutant emissions associated with construction worker vehicle trips, haul truck trips, stationary source emissions, and site grading. In addition, operational activities associated with the Project would generate long-term air pollutant emissions.

Construction

Construction-related emissions for the Project were estimated using SCAQMD's CalEEMod 2016.3.2 model using assumptions from the Project's developer. The Project would be constructed over three phases, as shown on Table 6-5.

Table 6-5
Approximate Project Construction Schedule

Phase	Duration	Notes
<i>Phase 1: Site 1 – Tower 1A</i>		
Demolition	Approximately 3 weeks	Demolition of approximately 18,360 square feet of asphalt parking lot
Grading	Approximately 2 week	10,244 cubic yards of export, hauled to off-site location within a 50-mile radius.
Site Preparation	Approximately 1.5 months	-
Building Construction	Approximately 1 year	No overlap with grading or site preparation phase.
Finishing (Architectural Coating)	Approximately 1 year	Some overlap with building construction phase.
<i>Phase 2: Site 1 – Tower 1B</i>		
Demolition	Approximately 1 month	Some overlap with the finishing (architectural coating) phase of Tower 1A. Demolition of approximately 4,870 cubic yards of material.
Grading	Approximately 2 weeks	4,800 cubic yards of export, hauled to off-site location within a 50-mile radius.
Site Preparation	Approximately 1.5 months	-
Building Construction	Approximately 1 year	No overlap with grading or site preparation phase.
Finishing (Architectural Coating)	Approximately 1 year	Some overlap with building construction phase. (Tower 1B becomes operational.)
<i>Site 2</i>		
Demolition	Approximately 1 month	Demolition of approximately 20,244 cubic yards of material.
Grading	Approximately 2 weeks	10,200 cubic yards of export, hauled to off-site location within a 50-mile radius.
Site Preparation	Approximately 2 months	-
Building Construction	Approximately 1 year	No overlap with grading or site preparation phase.
Finishing (Architectural Coating)	Approximately 1 year	Some overlap with building construction phase.
<i>Note: The approximate construction schedule assumes a 5-day workweek.</i>		

The Project would be required by the City to comply with the following regulations:

- SCAQMD Rule 403, reduces the amount of particulate matter entrained in ambient air as a result of anthropogenic fugitive dust sources by requiring actions to prevent, reduce, or mitigate fugitive dust emissions.

- SCAQMD Rule 1113, limits the VOC content of architectural coatings.
- SCAQMD Rule 402, states that a person shall not discharge from any source whatsoever such quantities of air contaminants or other materials which cause injury, detriment, nuisance, or annoyance to any considerable number of persons or to the public, or which endanger the comfort, repose, health, or safety of any such persons or the public, or which cause, or have a natural tendency to cause, injury or damage to business or property.
- In accordance with Section 2485 in Title 13 of the CCR, the idling of all diesel-fueled commercial vehicles (with gross vehicle weight over 10,000 pounds) during construction would be limited to five minutes at any location.
- In accordance with Section 93115 in Title 17 of the CCR, operation of any stationary, diesel-fueled, compression-ignition engines would meet specific fuel and fuel additive requirements and emissions standards.

Regional Emissions

Construction activity has the potential to create air quality impacts through the use of heavy-duty construction equipment and through vehicle trips generated by construction workers traveling to and from the Project Sites. Fugitive dust emissions would primarily result from grading activities. NO_x emissions would primarily result from the use of construction equipment and truck trips. During the building finishing phase, paving and the application of architectural coatings (e.g., paints) would potentially release VOCs (regulated by SCAQMD Rule 1113). The assessment of construction air quality impacts considers each of these potential sources. Construction emissions can vary substantially from day to day, depending on the level of activity, the specific type of operation and, for dust, and prevailing weather conditions.

As stated previously, it is mandatory for all construction projects in the South Coast Air Basin to comply with SCAQMD Rule 403 for Fugitive Dust. Rule 403 control requirements include measures to prevent the generation of visible dust plumes. Measures include, but are not limited to, applying water and/or soil binders to uncovered areas, reestablishing ground cover as quickly as possible, utilizing a wheel washing system or other control measures to remove bulk material from tires and vehicle undercarriages before vehicles exit the Project Sites, and maintaining effective cover over exposed areas. Compliance with Rule 403 reduces regional PM_{2.5} and PM₁₀ emissions associated with construction activities by approximately 61 percent.²⁸

As shown on Table 6-6, the construction of Site 1 would not produce VOC, NO_x, CO, SO_x, PM₁₀ and PM_{2.5} emissions in excess of the SCAQMD's regional thresholds. It should be noted that these emissions conservatively assume the development of Towers 1A and 1B to include overlap of the initial stages of Tower 1B as construction of Tower 1A is finishing. Construction of Site 1 of the Project would not contribute substantially to an existing violation of air quality standards for regional pollutants (e.g.,

²⁸ SCAQMD, *Mitigation Measure Examples: Fugitive Dust from Construction and Demolition*, 2006.

ozone). Therefore, the Project's construction-related regional emissions impacts associated with development of Site 1 would be less than significant.

Table 6-6
Estimated Daily Construction Emissions – Site 1

Construction Phase Year	Pounds Per Day					
	VOC	NO _x	CO	SO _x	PM ₁₀	PM _{2.5}
2019	4	79	27	<1	7	3
2020	12	71	43	<1	9	4
2021	9	21	25	<1	3	2
2022	6	1	3	<1	<1	<1
Maximum Regional Total	12	79	43	<1	9	4
Regional Significance Threshold	75	100	550	150	150	55
Exceed Threshold?	No	No	No	No	No	No
Maximum Localized Total	9	18	16	<1	1	1
Localized Significance Threshold	--	74	680	--	5	3
Exceed Threshold?	N/A	No	No	N/A	No	No
<i>Source: DKA Planning, 2018, based on CalEEMod 2016.3.2 model runs. LST analyses based on 1-acre site with 25-meter distances to receptors in Central LA source receptor area. Refer to Appendix F.</i>						

As shown on Table 6-7, the subsequent construction of Site 2 would not produce VOC, NO_x, CO, SO_x, PM₁₀, and PM_{2.5} emissions in excess of the SCAQMD's regional thresholds. It should be noted that construction of this site would begin after construction of Site 1 is complete. Construction of Site 2 would not contribute substantially to an existing violation of air quality standards for regional pollutants (e.g., ozone). Therefore, the Project's construction-related regional emissions impacts associated with development of Site 2 would be less than significant.

Table 6-7
Estimated Daily Construction Emissions – Site 2

Construction Phase Year	Pounds Per Day					
	VOC	NO _x	CO	SO _x	PM ₁₀	PM _{2.5}
2022	8	83	79	<1	13	5
2023	7	18	23	<1	3	1
Maximum Regional Total	8	83	79	<1	13	5
Regional Significance Threshold	75	100	550	150	150	55
Exceed Threshold?	No	No	No	No	No	No
Maximum Localized Total	8	17	14	<1	3	1
Localized Significance Threshold	--	74	680	--	5	3
Exceed Threshold?	N/A	No	No	N/A	No	No
<i>Source: DKA Planning, 2018, based on CalEEMod 2016.3.2 model runs. LST analyses based on 1-acre site with 25-meter distances to receptors in Central LA source receptor area. Refer to Appendix F.</i>						

Localized Emissions

In addition to maximum daily regional emissions, maximum localized (on-site) emissions were quantified for each construction activity. The localized construction air quality analysis was conducted using the methodology promulgated by the SCAQMD. Look-up tables provided by the SCAQMD were used to determine localized construction emissions thresholds for the Project.²⁹ SCAQMD's Localized Thresholds (LSTs) represent the maximum emissions from a project that are not expected to cause or contribute to an exceedance of the most stringent applicable federal or state ambient air quality standard and are based on the most recent background ambient air quality monitoring data (2014–2016) for the Project area.

Maximum on-site daily localized construction emissions for NO_x, CO, PM₁₀, and PM_{2.5} were calculated for the Project using CalEEMod and were compared to the applicable SCAQMD LSTs for the Central LA SRA based on construction site acreage that is less than or equal to one acre. Potential impacts were evaluated at the closest off-site sensitive receptor, which is the Weingart Association building, directly south of Site 1. The closest receptor distance on the SCAQMD mass rate LSTs look-up tables is 25 meters, which per SCAQMD guidance, is to be used for receptors located within 0 meters to 25 meters of the construction activities.

As shown on Tables 6-6 and 6-7, the Project would not produce emissions in excess of the SCAQMD's recommended localized standards of significance for NO₂ and CO at any part of the 49-month construction phase. Similarly, construction activities would not produce PM₁₀ and PM_{2.5} emissions that exceed localized thresholds recommended by the SCAQMD.

These estimates assume the use of Best Available Control Measures (BACM) that address fugitive dust emissions of PM₁₀ and PM_{2.5} through SCAQMD Rule 403, as required by the City. This would include watering portions of the sites that are disturbed during grading activities and minimizing tracking of dirt onto local streets. Therefore, the Project's construction-related localized emissions impacts would be less than significant.

Operation

The Project would produce long-term emissions, primarily from motor vehicles associated with the Project. The Project could add up to approximately 2,038 net daily vehicle trips to and from the Project Sites on a weekday at the start of full operation of the Project in 2025.³⁰ The air quality analysis conservatively accounts for all daily trips as new emissions. As shown on Table 6-8, the Project's Site 1 operational emissions would not exceed SCAQMD's regional or localized significance thresholds.

²⁹ SCAQMD, *LST Methodology Appendix D-Mass Rate LST Look-up Table*, revised October 2009.

³⁰ Linscott, Law & Greenspan Engineers, *Traffic Impact Study – Weingart Projects*, March 2018.

Table 6-8
Estimated Daily Project Operations Emissions – Site 1

Emission Source	Pounds per Day					
	VOC	NO _x	CO	SO _x	PM ₁₀	PM _{2.5}
Area Sources	6	<1	32	<1	<1	<1
Energy Sources	<1	1	<1	<1	<1	<1
Mobile Sources	2	9	25	<1	7	2
Total Operations	8	10	57	<1	8	2
Less Existing Operations	-<1	-1	-2	-<1	-<1	-<1
Net Regional Total	8	9	55	<1	8	2
Regional Significance Threshold	55	55	550	150	150	55
Exceed Threshold?	No	No	No	No	No	No
Net Localized Total	6	<1	32	<1	<1	<1
Localized Significance Threshold	--	74	680	--	4	1
Exceed Threshold?	N/A	No	No	N/A	No	No

Source: DKA Planning, 2018, based on CalEEMod 2016.3.2 model runs. LST analysis based on 1-acre site with 25-meter distances to receptors in Central LA source receptor area. Refer to Appendix F.

Similarly, as shown on Table 6-9, the Project's development of Site 2 would not produce pollutant emissions in excess of the SCAQMD's regional or localized significance thresholds.

Table 6-9
Estimated Daily Project Operations Emissions – Site 2

Emission Source	Pounds per Day					
	VOC	NO _x	CO	SO _x	PM ₁₀	PM _{2.5}
Area Sources	5	<1	32	<1	<1	<1
Energy Sources	<1	1	<1	<1	<1	<1
Mobile Sources	2	6	20	<1	7	2
Total Operations	7	8	52	<1	7	2
Regional Significance Threshold	55	55	550	150	150	55
Exceed Threshold?	No	No	No	No	No	No
Net Localized Total	5	1	32	<1	<1	<1
Localized Significance Threshold	--	74	680	--	4	1
Exceed Threshold?	N/A	No	No	N/A	No	No

Source: DKA Planning, 2018, based on CalEEMod 2016.3.2 model runs. LST analysis based on 1-acre site with 25-meter distances to receptors in Central LA source receptor area. Refer to Appendix F.

As shown on Table 6-10, the aggregate pollutant emissions of the development of both Sites 1 and 2 would not exceed the SCAQMD's recommended thresholds of significance.

Table 6-10
Estimated Daily Project Operations Emissions – Sites 1 and 2

Emission Source	Pounds per Day					
	VOC	NO _x	CO	SO _x	PM ₁₀	PM _{2.5}
Area Sources	11	<1	64	<1	<1	<1
Energy Sources	<1	2	<1	<1	<1	<1
Mobile Sources	4	15	45	<1	14	4
Total Operations	15	18	109	<1	15	7
Less Existing Operations	-<1	-1	-2	-<1	-<1	-<1
Net Regional Total	15	17	107	<1	15	7
Regional Significance Threshold	55	55	550	150	150	55
Exceed Threshold?	No	No	No	No	No	No
Net Localized Total	11	2	64	<1	<1	<1
Localized Significance Threshold	--	74	680	--	4	1
Exceed Threshold?	N/A	No	No	N/A	No	No
<i>Source: DKA Planning, 2018, based on CalEEMod 2016.3.2 model runs. LST analysis based on 1-acre site with 25-meter distances to receptors in Central LA source receptor area. Refer to Appendix F.</i>						

For these reasons, the Project's operation-related regional and localized air quality impacts would be less than significant.

c) Would the project result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions, which exceed quantitative threshold for ozone precursors)?

Less Than Significant Impact. SCAQMD recommends that any construction-related emissions and operational emissions from individual development projects that exceed the project-specific mass daily emissions thresholds identified above also be considered cumulatively considerable.³¹ Individual projects that do not generate emissions in excess of SCAQMD's significance thresholds would not contribute considerably to any potential cumulative impact. The SCAQMD neither recommends quantified analyses of the emissions generated by a set of cumulative development projects nor provides thresholds of significance to be used to assess the impacts associated with these emissions.

As shown on Tables 6-6 and 6-7, the Project's daily construction emissions would not exceed any of the SCAQMD's regional or localized thresholds. Therefore, the Project's contribution to cumulative construction-related regional or localized emissions impacts would not be cumulatively considerable.

As shown on Tables 6-8, 6-9, and 6-10, the Project's daily operational emissions would not exceed any of the SCAQMD's regional or localized thresholds. Because the Project's pollutant emissions would not exceed the SCAQMD's operational thresholds of significance, the Project's contribution to cumulative operation-related regional or localized emissions would not be cumulatively considerable.

³¹ *White Paper on Regulatory Options for Addressing Cumulative Impacts from Air Pollution Emissions, SCAQMD Board Meeting, September 5, 2003, Agenda No. 29, Appendix E, p. D-3.*

d) Would the project expose sensitive receptors to substantial pollutant concentrations?

Less Than Significant Impact. As discussed previously, sensitive receptors in the vicinity of the Project Sites include the following:

- 555 South San Pedro Street, apartments and the Central City Community Church, west of Site 1
- Weingart Center Association, 566 South San Pedro Street, apartments, directly south of and adjacent to Site 1.
- Union Rescue Mission; 545 South San Pedro Street, slightly northwest of Site 1.
- Emmanuel Baptist Rescue Mission; 530 East 5th Street, north of the Project Sites at the southwestern corner of East 5th Street and Crocker Street.
- Charles Cobb Apartments; 521 South San Pedro Street, northwest of Site 1.
- Midnight Mission; 601 South San Pedro Street, west of Site 2.
- 505 South San Pedro Street; Single Room Occupancy Housing Corporation, northwest of Site 1 at the southwest corner of 5th Street and South San Pedro Street.

Construction

Construction of a project could expose sensitive receptors to substantial pollutant concentrations, if a project's maximum daily emissions of regulated pollutants generated by sources located on and/or near a project site exceeded the applicable LSTs values presented in Tables 6-6 and 6-7, or if construction activities generated significant emissions of TACs that could result in carcinogenic risks or non-carcinogenic hazards exceeding the SCAQMD Air Quality Significance Thresholds of 10 excess cancers per million or non-carcinogenic Hazard Index greater than 1.0, respectively. The LSTs values were derived by the SCAQMD for the criteria pollutants NO_x, CO, PM₁₀, and PM_{2.5} to prevent the occurrence of concentrations exceeding the air quality standards at sensitive receptor locations based on proximity and construction site size.

As shown on Tables 6-6 and 6-7, during construction of the Project, maximum localized daily emissions of NO₂, CO, PM₁₀, and PM_{2.5} from sources on the Project Sites would not exceed any of the respective LST values. Thus, based on SCAQMD guidance, the Project's localized emissions of criteria pollutants would not have the potential to expose sensitive receptors to substantial concentrations that would present a public health concern.

The primary TAC that would be generated by the Project's construction activities is diesel PM, which would be released from the exhaust stacks of construction equipment. The construction emissions modeling conservatively assumed that all equipment present on the Project Sites would be operating simultaneously and continuously throughout most of the day, while in all likelihood this would rarely be the case. Average daily emissions of diesel PM would be less than one pound per day throughout the

course of Project construction. Thus, the magnitude of daily diesel PM emissions, would not be sufficient to result in substantial pollutant concentrations at off-site residential locations nearby.

Furthermore, according to SCAQMD methodology, health risks from carcinogenic air toxics are usually described in terms of individual cancer risk. “Individual Cancer Risk” is the likelihood that a person exposed to concentrations of TACs over a 30-year lifetime will contract cancer based on the use of standard risk-assessment methodology. The entire duration of construction activities associated with implementation of the Project is anticipated to be approximately 49 months, far shorter than a 30-year exposure timeframe and as discussed above, the magnitude of daily diesel PM emissions would not be sufficient to result in substantial pollutant concentrations. Accordingly, no residual emissions and corresponding individual cancer risk are anticipated after construction. Because there is such a short-term exposure period, the Project’s construction-related impact on sensitive receptors would be less than significant.

Operation

As noted above, the Project would not produce operational pollutant emissions in excess of SCAQMD’s significance thresholds. In addition, the Project Sites would be developed with land uses that are not typically associated with TAC emissions. Typical sources of acutely and chronically hazardous TACs include industrial manufacturing processes (e.g., chrome plating, electrical manufacturing, petroleum refinery). The Project would not include these types of potential industrial manufacturing process sources. It is expected that quantities of hazardous TACs occurring on-site (e.g., those resulting from typical use of cleaning solvents, paints, landscape pesticides, etc.) for the types of proposed land uses would be below thresholds warranting further study under the California Accidental Release Program.

The primary sources of potential air toxics associated with Project operations include diesel PM from delivery trucks (e.g., truck traffic on local streets and idling on adjacent streets) and to a lesser extent, facility operations (e.g., natural gas fired boilers). However, these activities and the land uses associated with the Project are not considered land uses that generate substantial TAC emissions. It should be noted that the SCAQMD recommends that a health risk assessment (HRA) be conducted for substantial individual sources of diesel PM (e.g., truck stops and warehouse distribution facilities that generate more than 100 trucks per day or more than 40 trucks with operating transport refrigeration units) and has provided guidance for analyzing such types of mobile source diesel emissions.³² Based on this guidance, the Project would not include these types of land uses and is not considered to be a substantial source of diesel PM warranting a HRA since daily truck trips to the Project Sites would not exceed 100 trucks per day or more than 40 trucks with operating transport refrigeration units. In addition, the CARB-mandated ATCM limits diesel-fueled commercial vehicles (delivery trucks) to idle for no more than 5 minutes at any given time, which would further limit diesel particulate emissions.

³² SCAQMD, *Health Risk Assessment Guidance for Analyzing Cancer Risks from Mobile Source Diesel Idling Emissions for CEQA Air Quality Analysis*, 2002.

Because the Project would not contain substantial sources of TACs and is consistent with the CARB and SCAQMD guidelines, the Project would not result in the exposure of off-site sensitive receptors to carcinogenic or TACs that exceed the maximum incremental cancer risk of 10 in one million or an acute or chronic hazard index of 1.0.

The Project would generate long-term emissions on-site from area and energy sources that would generate negligible pollutant concentrations of CO, NO₂, PM_{2.5}, or PM₁₀ at nearby sensitive receptors. While long-term operations of the Project would generate traffic that produces off-site emissions, the Project's traffic-related emissions would not result in exceedances of CO air quality standards at roadways in the area due to three key factors. First, CO hotspots are extremely rare and only occur in the presence of unusual atmospheric conditions and extremely cold conditions, neither of which applies to area of the Project Sites. Second, auto-related emissions of CO continue to decline because of advances in fuel combustion technology in the vehicle fleet. Finally, as discussed in response to Checklist Question 16(a), the Project would not result in any significant traffic impacts at any study intersection and thus, would not contribute to the levels of traffic congestion that would be needed to produce the amount of emissions needed to trigger a potential CO hotspot.³³ For these reasons, the Project's operational-related air quality impacts on sensitive receptors would be less than significant.

e) Would the project create objectionable odors affecting a substantial number of people?

Less Than Significant Impact. Potential sources that may emit odors during construction activities include equipment exhaust and architectural coatings. Odors from these sources would be localized and generally confined to the immediate area surrounding the Project Sites. The Project would utilize typical construction techniques, and the odors would be typical of most construction sites and temporary in nature. Construction of the Project would not cause an odor nuisance.

According to the SCAQMD CEQA Air Quality Handbook, land uses and industrial operations that are associated with odor complaints include agricultural uses, wastewater treatment plants, food processing plants, chemical plants, composting, refineries, landfills, dairies and fiberglass molding. The Project's proposed land uses would not result in activities that create objectionable odors. Therefore, Project impacts related to odors would be less than significant.

Cumulative Impacts

Cumulative air quality impacts are discussed in response to Checklist Question 3(c). As discussed there, SCAQMD recommends that any construction-related emissions and operational emissions from individual development projects that exceed the project-specific mass daily emissions thresholds identified above also would be considered cumulatively considerable. Individual projects that generate emissions below SCAQMD's significance thresholds would not contribute considerably to any potential cumulative impact. As the Project's emissions during construction and operation would not exceed any applicable significance threshold, the Project's contribution to any cumulative air quality impacts would not be considerable, and cumulative impacts related to air quality would be less than significant.

³³ Caltrans, *Transportation Project-Level Carbon Monoxide Protocol*, updated October 13, 2010.

4. BIOLOGICAL RESOURCES

a) Would the project have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulation, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?

Less Than Significant Impact. The Project Sites are located in an urbanized and developed area of the City. Site 1 is developed with a surface parking lot and a food service building; Site 2 is developed with a surface parking lot. However, there are 20 trees located on Site 1 and Site 2 (including 6 street trees), all of which are non-protected trees per the City's Tree Ordinance, would be removed as part of the Project (refer to the Tree Reports included in Appendix E). Additionally, 27 trees are located within the courtyard associated with the Weingart Association Center building to the south of Site 1, the site of the proposed transformer relocation. These trees could potentially provide nesting sites for migratory birds. Thus, the Project would be required to comply with the Migratory Bird Treaty Act (MBTA) (Title 33, United States Code, Section 703 et seq., see also Title 50, Code of Federal Regulation, Part 10) and Section 3503 of the California Department of Fish and Wildlife Code, which regulates vegetation removal during the nesting season (February 15 to August 15) to ensure that significant impacts to migratory birds would not occur. Compliance with these existing regulations would ensure impacts related to nesting birds would be less than significant.

b) Would the project have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?

No Impact. The Project Sites are located in an urbanized area of the City. Site 1 is developed with a surface parking lot and a food service building; Site 2 is developed with a surface parking lot. Neither site contains any riparian habitat or sensitive natural community. Development of the Project would not have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Wildlife or the U.S. Fish and Wildlife Service. Therefore, no impacts related to this issue would occur.

c) Would the project have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?

No Impact. The Project Sites are located in an urbanized area of the City. Site 1 is developed with a surface parking lot and a food service building; Site 2 is developed with a surface parking lot. Neither site contains wetlands or other areas subject to the jurisdiction of the US Army Corps of Engineers, California Department of Fish and Wildlife, or State Water Resources Control Board under the Clean Water Act. Therefore, no impacts related to this issue would occur.

d) Would the project interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

Less Than Significant Impact. The Project Sites are located in an urbanized area of the City and are surrounded by existing development. Site 1 is developed with a surface parking lot and a food service building; Site 2 is developed with a surface parking lot. Neither site is part of a significant wildlife corridor. Additionally, there are no waterways located in the vicinity of the Project Sites that are used by migratory fish, and there are no wildlife nursery sites in the area. Also, as discussed previously, the Project would be required to comply with the MBTA, to reduce potential impacts to migratory bird species that could potentially nest in trees that would be removed as part of the Project. Thus, the Project would not interfere substantially with the movement of any native resident or migratory fish, wildlife species, or with established native resident or migratory wildlife corridors, and/or impede the use of native wildlife nursery sites. Therefore, Project impacts related to this issue would be less than significant.

e) Would the project conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?

Less Than Significant Impact. In accordance with the LAMC Section 17.02 protected trees are defined as follows:

Any of the following Southern California native tree or shrub species:

- Oak tree including Valley Oak (*Quercus lobata*) and California Live Oak (*Quercus agrifolia*), or any other tree of the oak genus indigenous to California but excluding the Scrub Oak (*Quercus dumosa*)
- Southern California Black Walnut (*Juglans californica* var. *californica*)
- Western Sycamore (*Platanus racemosa*)
- California Bay (*Umbellularia californica*)
- Mexican Elderberry (*Sambucus Mexicana*)
- Toyon (*Heteromeles arbutifolia*)

As stated previously, a total of 20 trees are located on the Site 1 and Site 2 (including 6 street trees). Additionally, 27 trees are located within the courtyard associated with the Weingart Association Center building to the south of Site 1, the site of the proposed transformer relocation. These trees include the following:

- 7 Indian Laurel Fig (*Ficus nitida*)³⁴
- 6 Tipu Tree (*Tipuanan tipu*)
- 7 Apricot Tree (*Prunus armeniaca*)
- 3 Weeping Fig (*Ficus benjamina*)

³⁴ Six of these trees are street trees.

- 1 Tree of Heaven (*Ailanthus altissima*)
- 3 Canary Island Pine (*Pinus canariensis*)
- 9 Redbud Tree (*Cercis Canadensis*)
- 10 Australian Tea Tree (*Leptospermum laevigatum*)
- 1 Crape Myrtle (*Lagerstroemia indica*)

None of these trees are protected species as defined above (refer to the Tree Reports in Appendix E). The 20 trees (including the 6 street trees) associated with Site 1 and Site 2 would be removed during construction of the Project. Also, it is possible that all 27 trees in the courtyard (the site of the proposed transformer relocation) would be removed, although it is anticipated that fewer trees would be removed. However, for those trees removed from the Project Sites, the Project Applicant would be required to plant replacement trees at a minimum of a one-to-one ratio on or adjacent to the Project Sites in conformance with the City's Urban Forestry Division requirements for Project landscaping and street tree replacement and planting. For street trees that would be removed, the Project Applicant would be required to plant replacement street trees at a two-to-one ratio in accordance with the requirements of the City's Urban Forestry Division.

Prior to the removal of trees located within the public right-of-way, the Project Applicant would be required to obtain approval from the Board of Public Works for the removal and replacement of said trees. Street trees would be required to be removed and replaced as required by the Urban Forestry Division and the Board of Public Works. The landscape plans for the Project shall identify the all trees that would be removed. Compliance with the City's requirements would ensure no significant impacts related to biological resources, in particular trees, would occur.

f) Would the project conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?

No Impact. The Project Sites are located in an urbanized area of the City. There are no identified Significant Ecological Areas (SEAs) within the vicinity of the Project Sites, and neither site is subject to a Habitat Conservation Plan, a Natural Community Conservation Plan, or other such plan.³⁵ There are no adopted conservation plans in the City. Therefore, the Project would not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan or other approved local, regional, or state habitat conservation plan.

Cumulative Impacts

As discussed, 20 non-protected trees are located on the Project Sites (including 6 street trees); no other significant biological resources are located on the Project Sites. The Project Applicant would be required to plant replacement trees at and adjacent to the Project Sites in conformance with the City's Urban Forestry Division requirements for Project landscaping and street tree replacement and planting. All of the related projects listed on Table 2-2 in Section 2 (Project Description) are located in highly urban areas

³⁵ City of Los Angeles General Plan Conservation Element, Exhibit B2.

and likely do not contain significant biological resources, such as candidate, sensitive or special status species, riparian habitat, sensitive natural communities, and wetlands, and are not part of a wildlife corridor or SEA or subject to a Habitat Conservation Plan, a Natural Community Conservation Plan, or other such plan. All related projects with existing trees would be required to comply with the requirements of the MBTA. Because the Project would not result in any impacts related to biological resources, the Project does not have the potential to contribute to any cumulative biological resources impacts. Therefore, cumulative impacts related to biological resources would be less than significant.

5. CULTURAL RESOURCES

a) Would the project cause a substantial adverse change in the significance of a historical resource as defined in §15064.5?

Less Than Significant Impact. The information and analysis of the Project’s potential impacts to historical resources is based primarily on the following (refer to Appendix G):

- *Historical Resources Memo, 554-562 South San Pedro Street, Los Angeles, CA, Jenna Snow, May 25, 2018 (revised August 3, 2018).*

No structures are currently located on Site 2, and no significant historical structures are located adjacent to Site 2. As such, this analysis focuses on potential impacts associated with Site 1 development.

Site 1 is currently developed with a 7,000-square-foot food service building and surface parking lot, which was constructed in 1922.³⁶ The building on Site 1 has not been previously surveyed; it was not included in the City’s citywide survey (SurveyLA), nor is it included in the Historic Property Data File for Los Angeles County, updated to 2011. Based on a site visit, review of building and alteration permits, and available information on the building’s history, the building on Site 1 has not been listed nor does it appear eligible for listing in the National Register of Historic Places (National Register), the California Register of Historical Resources (California Register), or as a local City of Los Angeles Historic Cultural Monument (HCM).

Site 1 is located adjacent to 511 East 6th Street, the former El Rey Hotel, which was identified in SurveyLA as appearing eligible for listing in the National and California Registers, and as a local HCM as “an excellent example of a 1920s hotel in Downtown Los Angeles, exhibiting essential characteristics of the property type; reflects early patterns of commercial development to the east of Los Angeles’ central business district.” The El Rey Hotel is considered for the purposes of this analysis a historical resource under the California Environmental Quality Act (CEQA). As discussed in more detail below, Site 1 is located adjacent to the northern elevation, which is not the primary, street-facing elevation, of the El Rey Hotel, it does not appear that the Project would result in any direct or indirect impacts on the historical resource.

³⁶ *City of Los Angeles, Department of Building and Safety, Permit #27664, August 15, 1922.*

Historical Assessment of Site 1

Eligibility criteria for the National Register, California Register and local HCM generally align. Properties are eligible for designation if they meet one or more of the four criteria. The discussion below focuses on those aspects of the criteria relevant to evaluation of Site 1.

Criterion A/1/1: Are associated with events that have made a significant contribution to the broad patterns of our history.

The Site 1 is located in what is described as “Central City East” in SurveyLA. The area has been known as “Skid Row” since the late nineteenth century. The following description of the area is excerpted from SurveyLA:³⁷

Central City East is generally located to the east of the Historic Core and to the south of Little Tokyo. Spanning a diverse area that encompasses Skid Row, the Toy District, and adjacent industrial zones, the neighborhood contains a mix of industrial and institutional uses. Notably, it contains many Single-Room Occupancy (SRO) hotels, social service facilities, and warehousing sites that are associated with food processing. Development in this area is of a notably lower scale than in other parts of the [Community Plan Area]

Homelessness and other social problems were even more rampant in the area located to the east of Main Street and the Historic Core, which had become known as Los Angeles’ “Skid Row.” Since the late nineteenth century, this area had been the domain of an indigent population because of its abundance of residential hotels adjacent to early rail terminals. These hotels provided cheap, short-term accommodations and were accompanied by several missions that had long operated nearby to provide “a sermon and a cup of soup for the population of hard-drinking single men.” The area’s reputation as a bastion of urban disorder was solidified by a “policy of containment” that was adopted by the city in 1975, which sought to concentrate social service agencies and homeless individuals in an area bounded by 3rd, 7th, and Main Streets and Central Avenue. Despite the best efforts of social service organizations and not-for-profit agencies such as the Skid Row Housing Trust, which has converted thousands of dilapidated Single-Room Occupancy (SRO) hotel rooms in the area into affordable housing units, Skid Row continues to house one of the largest stable populations of homeless individuals in the United States.

The pattern of development described above of generally low-scale buildings that combine residential with industrial uses is evident in historic Sanborn Fire Insurance maps of the area.

As stated previously, the existing food service building on Site 1 was constructed in 1922. Since 1937, Site 1 has been owned by Ben Weingart; corporations controlled by Ben Weingart; one of his favorite

³⁷ Architectural Resources Group, “Historic Resources Survey Report; Central City Community Plan Area,” prepared for the City of Los Angeles Department of City Planning, Office of Historic Resources, September 2016, 4 & 28-29.

charities, Volunteers of America; or a foundation that bears his name, successively.³⁸ Table 6-11 shows a history of ownership.

Table 6-11
History of Ownership

Year	Owner
1922	Francesca W. Shepherd
1924	Security Trust & Savings Bank
1926	Title Insurance and Trust Company
1929	Citizens Trust and Savings Bank
1930	William H. Anderson
1936	Mortgage Guarantee Co.
1937	Consolidated Hotels, Inc.
1948	Ben Weingart
1957	Tragniew Inc
1980	Volunteers of America of Los Angeles
1984	Weingart Center Association
<i>Source: Jenna Snow, May 2018.</i>	

The building was divided into at least four spaces that were leased to different tenants. For a period of at least four years, the building was divided into five spaces. Table 6-12 lists tenants between 1925 and 1987.

Based on Table 6-12, most tenants were agents selling a variety of industrial products. However, it does not appear any of the products were produced at Site 1.

As a low-scale, one-story building housing a variety of agents selling industrial products, the food service building appears as a typical property type in the area, and it does not appear to have made any significant contributions to the broad patterns of development of the area. Thus, the building on Site 1 is not eligible for designation under criterion A/1/1.

Criterion B: Are associated with the lives of significant persons in our past.

Site 1, purchased by Ben Weingart in 1937, was one of many properties in his portfolio. Ben Weingart was a real estate developer who co-founded the community of Lakewood, as well as a major stockholder in the Fedmart discount department stores. Ben Weingart arrived in Los Angeles in 1911, initially delivered laundry on Skid Row and, soon thereafter, started purchasing boarding houses on Skid Row. Beginning in 1949, Weingart, in partnership with Louis Boyer and Mark Taper, purchased 3,500 acres south of Los Angeles, and built 17,000 new homes, along with the Lakewood Shopping Center.

³⁸ John Farrell, *Ben Weingart & Weingart Foundation, (Los Angeles, CA: Weingart Foundation, 2002), 137.*

Lakewood became the largest planned city in the United States.³⁹ The Weingart Foundation was founded in 1951 and has focused on “serv[ing] the underserved,” since that date.⁴⁰

Table 6-12
Tenants Between 1925 and 1987

Date	554 S. San Pedro	556 S. San Pedro	558 S. San Pedro	560 S. San Pedro	562 S. San Pedro
1925	William A. Winsboro Mfrs agent, h 1466 W 47th (1923 directory: Air Compressor & Equipment Co, 504 S San Pedro)	Don Lincoln, printer h 773 Cahuenga Ave		Stewart Electric Co. (Emmett A. Stewart) Jobbers and Distributors of Electrical Supplies	Lake View Creamery Co., W. F. Sperry, v-pres and mgr (1923 directory: 805 E 8th St
	JJ McBride				
1930	Murry Jacobs, HC Kimes dist mgr mfrs agts Jacobs Murray Co, manufacturing agents	Merco Nordstrom Valve Co		Edwin G Nelson (electrical equipment, manufacturers agent)	William Wahl Co (William and William Wahl Jr), wholesale beverages
1935	Bassett-Lundstrom Co (AB Bassett & JT Lundstrom), belting dealer	Clinton H Smart (blue point supplies) h3522 Linda Vista ter	Far West Distributing Co, Charles Love manager new dealers	Cutler-Hammer, Inc (Electrical Equipment and supplies – Dealers)	JC Millett Co (winery supplies), Frank Kissling manager
	Robert L Whitham manufacturers agent (metals)				
1940	Bassett-Lundstrom Co (AB Bassett & JT Lundstrom), belting dealer	Clinton H Smart (Olive C) CS [Christian Science practitioner] 610 S Bway R324 and engraves supplies and blue prints h914 S Kingsley dr	Abrasive Products Co A E MacAfee manager	Strickland & Davis (JM Strickland and JS Davis) manufacturers agents	Frank Kissling (Liquor Distributors)
	Robert L Whitham manufacturers agent (metals)				
1942	Bassett-Lundstrom Co (AB Bassett & JT Lundstrom), belting dealer (Chicago Belting Co.)	Clinton H Smart (Olive C) CS pract 610 S Bway R324 and engravers supplies and blue prints Pasadenta		Strickland & Davis (JM Strickland and JS Davis) wholesale auto parts	Samuel Zane (candles)
1956		Smart Clinton H, Smart Supply Co		J.W. Lewis Co., Max Elsner	Carroll Machry
1960	Leseco Metals and Supply	CC Lithograph Co		J.W. Lewis Co., Max Elsner	Carroll Machry
1965	RA Schmitz	Midway Tool Supply		JJ Optics	Carroll Machinery

³⁹ Ted O. Thackery and Anne LaRiviere, “Ben Weingardt, 92, Philanthropist, Financier, Dies,” *Los Angeles Times*, December 23, 1980, A1.

⁴⁰ Weingart Foundation, “About Us: Foundation Overview,” www.weingartfnd.org/Foundation-Overview.

Table 6-12
Tenants Between 1925 and 1987

Date	554 S. San Pedro	556 S. San Pedro	558 S. San Pedro	560 S. San Pedro	562 S. San Pedro
1973	No Listings				
1987	Morrison's Management Service				
<i>Source: Jenna Snow, 2018.</i>					

None of the tenants have had an especially long tenure. The longest tenant was Clinton H. Smart, who provided blueprint and engraver supplies between 1935 and 1956. Clinton H. Smart was also listed in the directory as a Christian Science practitioner. His obituary notes that he was “president of a Los Angeles art supply company...a member of the Balboa Yacht Club and a director of the Christian Science Visiting Nurse Service.”⁴¹ While Clinton Smart appears to have been an upstanding citizen, he does not appear to be a significant person in our past.

In contrast, Frank Kissling does not appear to have been an upstanding citizen. Frank Kissling, who leased a space for liquor distribution in the late 1930s-1940, was arrested for smuggling alcohol from Mexico. In addition, he was accused of cutting the alcohol. In an article appearing the *Los Angeles Times*, “officials disclosed that the breaking of the smuggling case-biggest of its kind since prohibition days-had resulted in receipt of information that much of the smuggled alcohol was distributed in the Skid Row area here in refilled liquor bottles bearing fake labels. The original supply was ‘cut’ drastically in alcoholic content and sold as domestic bourbon with the aid of synthetic flavoring, it was reported.”⁴² Frank Kissling was later acquitted.⁴³

Established in 1914, J.W. Lewis Co. mostly sold and leased industrial spaces. With its main office located at the Security Building, at 510 South Spring Street, Site 1 was a satellite office for the company.⁴⁴ The company sold properties in the vicinity of Site 1, including the El Rey Hotel, located adjacent to Site 1, as well as a property on the southeast corner of 5th and South San Pedro Streets.⁴⁵ Max Elsner worked at J.W. Lewis Co. from as early as 1922.

Although Site 1 can be associated with several individuals, specifically Ben Weingart, Clinton Smart, Frank Kissling, and Max Elsner, Site 1 does not appear eligible under criterion B/2/2 for its association with the lives of significant persons in our past. While Ben Weingart was a significant person in Southern

⁴¹ “Obituary,” *Los Angeles Times*, October 18, 1957, B2.

⁴² “Inquiry Turns to Skid Row,” *Los Angeles Times*, July 28, 1939, A1.

⁴³ “Five Acquitted in Alcohol Case,” *Los Angeles Times*, November 4, 1939, A16.

⁴⁴ *California State Real Estate Division, Directory of Brokers and Salesmen, Volumes 3-4, (Sacramento: California State Printing Office, 1922).*

⁴⁵ “Sales in Wholesale Area,” *Los Angeles Times*, February 17, 1924, D8; “Classified Ad,” *Los Angeles Times*, May 7, 1950, A9.

California, Site 1 was one of his many property holdings and is not most closely associated with his important work. Neither Clinton Smart, Frank Kissling, nor Max Elsner appears to have been significant persons in our past.

Criterion C: Embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.

Located on the east side of South San Pedro Street, Site 1 is bounded on the north by East 5th Street and the south by East 6th Street in the Skid Row area of Central City Community Plan Area of Los Angeles. The site contains one building that occupies approximately half of the parcel. A driveway at the north elevation separates the building from the parcel to the north, while a narrow walkway separates the building from the El Rey Hotel, which is located on the adjacent parcel to the south.

A one-story masonry building with no discernable architectural style, the one building on Site 1 has a flat roof with visible through-bolts at the parapet. The west façade, facing east toward South San Pedro Street, is five bays wide. Brick piers separate each bay. The main entrance is located in the second bay from the north, articulated by a contemporary canvas awning. The entrance is slightly inset at an angle and consists of a single, contemporary glass and metal door with a glass transom above. Three, tall, fixed sash windows are located adjacent to the main entrance above a low bulkhead. The center bay contains three, fixed, metal sash windows above a low bulkhead, flush with the infilled stucco. Three of the bays have been infilled with smooth stucco. The southern-most bay contains a contemporary tile mural and a secondary entrance. The secondary entrance is a contemporary, solid metal door. North and south side elevations are unarticulated and unadorned. The rear, east elevation has two entrances, a pair of metal doors toward the south side of the elevation and a single glass and metal door toward the north side of the elevation. The glass door is sided by a tall, fixed sash sidelight that is covered by a metal screen. A glass transom spans across the door and sidelight. It is also covered by a metal screen. A contemporary canvas awning spans the entrance and sidelight above the transom. A single window, covered by a metal screen, is located adjacent to the door. A number of additional openings along the elevation have been infilled.

The interior of the building functions as a café. The south half of the interior consists of one, large open space roughly divided by thin metal posts. A skylight is located toward the center of the space. The north half consists of a large commercial kitchen. All finishes on the interior, including floor tiles and suspended ceiling are contemporary.

Constructed in 1922, the one building on Site 1 has undergone substantial alterations. Table 6-13 lists all available alterations permits.

Figure 3 on page 7 of the Historical Resource Memo (refer to Appendix G) shows a historic image of the subject property from the 1940s. The building appears as an unremarkable one-story building with glass storefronts along the west façade. The first notable alteration occurred in 1952 with a “parapet correction.” It is difficult to determine in the historic image if the building ever had a decorative parapet. It is possible bays on the west façade were infilled in 1981, when the building changed use from stores to a café. Through bolts were likely installed as part of the Division 88 work, completed in 1988, which

required seismic stabilization of unreinforced masonry buildings. Finally, in 1995, substantial work was completed on the interior and most, if not all, interior features appear to date from this time.

As noted on Table 6-13, the building on Site 1 was designed by John Cooper. Born in Ohio, John Montgomery Cooper (1884-1950) graduated from Yale University and worked on the Panama Canal as an engineer. He arrived in Los Angeles in 1910. John Cooper was a noted southern California architect who was responsible for the design of the Hollywood Knickerbocker Hotel (1714 Ivar Avenue, 1929, contributing resource to a National Register-listed historic district), Grether & Grether Building (730 South Los Angeles Street, 1924, listed in the National Register), Roxie Theater (815 South Broadway, 1931, listed in the National Register), and NuWilshire Theater (1314 Wilshire Boulevard, Santa Monica, 1931, Santa Monica Landmark).

The building on Site 1 does not embody the distinctive characteristics of a type, period, or method of construction, nor does it possess high artistic values. The building has no discernible architectural style, nor does it appear that it ever was a high-style building. With the parapet removed and three of the five bays infilled, the building appears as a shell of how it originally looked. While the building was designed by John Cooper, a notable architect, this is not among his important work. Thus, Site 1 does not appear eligible for designation under criterion C/3/3.

Criterion D: Have yielded or may be likely to yield, information important in history or prehistory.

Site 1 cannot be reasonably expected to yield information important in prehistory or history. Thus, Site 1 is not eligible under Criterion D/4.

Site 1 is located adjacent to the former El Rey Hotel, which was identified in SurveyLA as appearing eligible for listing in the National and California Registers, as well as a local HCM. The survey found 511 East 6th Street eligible as “an excellent example of a 1920s hotel in Downtown Los Angeles, exhibiting essential characteristics of the property type; reflects early patterns of commercial development to the east of Los Angeles’ central business district.” 566 South San Pedro Street is considered to be a historical resource under CEQA for purposes of this analysis.

Table 6-13
Alterations Permits

Date	Permit No.	Work	Owner	Architect/Builder	Valuation
8/15/1922	27664	New building	B*** H. Jones & Francis H. Green	John M. Cooper	\$15,000
1/31/1923	4641	Located at 554 So San Pedro. No alterations. Wish to install “wood” fixtures + office partitions of wood boards and sidings 8” high. Building is cement floor + walls brick.” Building used for manufacturing + Jobing	J. W. Lewis Co., 518-519 Security Bldg	\$175	1/31/1923
4/16/1923	16774	“Put in partition above ice box- of wood and glass – ¼ glass”	Lakeview Creamery Co	Lake View Creamery Co, 562 S. San Pedro St	\$40
3/30/1937	9766	“1 Rope Pull Up Awning Complete”	Smart Supply Company, 556 S. San Pedro St.	A. Hoegee & Sons, Inc.	\$25
2/27/1940	6995	“To build open joist construction mezzanine for storage purposes only” (556 So. San Pedro Street)	Consolidated Hotels, El Rey Hotel 6th & San Pedro Sts	Arthur C. Munson	\$200
7/16/1942	8684	“one Rope awning complete”	The Smart Shop, 558 S. San Pedro St	D** of Soft Awning Co, 3103 So. Main St	\$35
4/25/1945	5683	Not legible. Bottom line: “to store blueprint paper”	Clinton Smart, 556 S. San Pedro	\$900	4/25/1945
8/13/1951	12905	“Recover existing awnings. Rope pull-up (retractable) (canvas covered)	Smart Supply Co., 556 So. San Pedro	\$104	8/13/1951
12/9/1952	48778	“parapet wall correction along S. San Pedro & alley” – 554-62 S. San Pedro, used as a store for 20 years	Consolidated Hotels, 1301 Wilshire	Lopez & Crecghton, 1257 E. 25 St	\$1100
1/11/1957	61747	“Enlarge Doors”- 562 S. San Pedro. Used as a machine shop	Consolidated Hotels, 1301 Wilshire Blvd	Kenneth Thompson	\$700
11/10/1964	81828	“Toilet rm add (interior)” – 554 S. San Pedro St. used as stores	Tragneiw Inc. 1301 Wilshire Blvd	\$800	11/10/1964
1/27/1981	35664	“1 story 34’x76’ portion of existing 88’x84’ office/warehouse converted to a kitchen (no assembly use)	Volunteers of America, 1501 Wilshire Blvd		
4/8/1983	61612	“Generator Cover Bldg” with chain link exterior walls, metal roof, concrete floor. 554-562 S. San Pedro	Volunteers of America, 1501 Wilshire Blvd	Stuart E. Greenfield, 2300 Westwood Blvd/	\$2500
7/26/1988	5144	“Division 88 Full Compliance,” 554-62 S. San Pedro St., used as a kitchen & Dining room	Weingart Center Assn, 511 E. 6th St, LA, CA	Engineer – Wheeler & Gray, 7462 North Figueroa St	\$48,000
2/10/1995	3118	“interior modifications for café. Change of use to dining room & deli”	Weingart Center	Terry Downing, 31220 la Baga Dr., Ste 235, Westlake Village	\$85,000

Source: Jenna Snow, 2018.

The El Rey Hotel was constructed in 1925, designed by Charles F. Whittlesey with elements of Beaux Arts style.⁴⁶ Charles Frederick Whittlesey (1867-1941) started his professional career in Chicago, working as a draftsman for Louis Sullivan prior to opening his own practice. Around the turn of the twentieth century, Charles Whittlesey became chief architect for the Atchison Topeka and Santa Fe Railroad Company, working with noted architect Mary Colter. During that time, he designed the El Tovar Hotel at Grand Canyon National Park (1905) and Alvarado Hotel in Albuquerque, New Mexico (1904). Around the same time as he designed the El Rey Hotel, Charles Whittlesey was also responsible for the design of the Padre Hotel (1955 North Cahuenga Boulevard, 1925) and the Mayflower Hotel (now the Hilton Checkers Hotel, 535 South Grand Avenue, 1927).⁴⁷

When the hotel opened in 1927, it was operated by Stillwell Hotel Company and advertised for its “strictly fireproof” construction. Its 620 rooms were available for \$1.00 a day or \$5.00 to \$10.00 a week.⁴⁸ The hotel appears to have been one of the inexpensive, short-term accommodations common in this area. It appears in several newspaper articles as the site of tragic suicides.⁴⁹

The El Rey was one of the first hotels purchased by Ben Weingart in 1937, through a holding company named Consolidated Hotels Corporation.⁵⁰ The building transferred to the Weingart Foundation by 1980. When the Weingart Center opened in 1983, it was one of the first, and was the nation’s largest facility at the time providing housing and services for alcoholics on Skid Row. A one-million-dollar remodeling effort was completed prior to opening as a rehabilitation center.⁵¹ A new garden on the parcel east of the El Rey was dedicated in 2010 on the site of a formerly vacant lot.⁵² The garden is enclosed along East 6th Street by a contemporary concrete block wall and fence and consists of concrete and brick walkways, raised concrete planters, a central fountain, and a variety of seating.

While the exterior of the El Rey looks very similar to how it appeared historically in 1927, there is little historic fabric remaining on the interior apart from the circulation system. SurveyLA identified the subject property as appearing eligible under criterion A/1/1 as a 1920s hotel, as well as for its architecture under criterion C/3/3. Character-defining features of the exterior include the following:

⁴⁶ *City of Los Angeles, Department of Building and Safety, Permit #43928, December 31, 1925.*

⁴⁷ *Pacific Coast Architecture Database, “Charles Frederick Whittlesey,” PCAD id: 102, pcad.lib.washington.edu/person/102/; Los Angeles Conservancy, “Hilton Checkers,” www.laconservancy.org/locations/hilton-checkers.*

⁴⁸ *“Display Ad,” Los Angeles Times, June 12, 1927, 6.*

⁴⁹ *“Mystery Girl Takes Poison, Cuts Wrists,” Los Angeles Times, December 29, 1927, A12; “Photo,” Harold Examiner, USC Digital Library, 1951; “Man Threatens 12-Story Leap; Foiled by Police,” Los Angeles Times, April 9, 1964, 2.*

⁵⁰ *County of Los Angeles, Deed Books, Instrument No. 15323, Page 198.*

⁵¹ *“Alcoholism Center Gets New Owner, \$2-Million Grant,” Los Angeles Times, November 30, 1984, D1.*

⁵² *“Dedication of the Weingart Center Garden Project,” Press Release July 8, 2010, Congresswoman Lucille Roybal-Allard, <https://roybal-allard.house.gov/news/documentsingle.aspx?DocumentID=19800>.*

- Beaux Arts composition of a clearly delineated base-shaft-capitol composition
- Articulated corner column
- Arched bays at the ground floor
- Regularly spaced fenestration along the shaft
- Classical cornice details

The Project includes development of Site 1, adjacent to the north elevation of the El Rey Hotel. Specifically, the Project includes construction of two towers, designed in a contemporary style: one 12-stories facing South San Pedro Street and the other 18-stories high to the east. New mechanical equipment, including two new electrical transformers, is proposed to be located within the garden east of the El Rey Hotel and service the two new buildings as well as the El Rey Hotel. As the building on Site 1 does not meet any of the four criteria for listing in the National or California Registers or for local designation, it is not a historical resource under CEQA. Therefore, its demolition would not be a significant impact.

As the Project consists of new construction immediately adjacent to a historical resource, the El Rey Hotel, there is the potential for indirect impacts to the setting of the historical resources. In general, CEQA describes an *indirect* impact as one that results from the "...alteration of the resource or *its immediate surroundings* such that the significance of an historical resource would be materially impaired" (emphasis added - CEQA Guidelines §15064.5[b][1]). While the setting of the El Rey Hotel, including the garden to the east and its associated features, is not a character-defining feature and does not contribute to its significance, the proposed project nevertheless does not appear to impact its setting. The proposed project is located adjacent to the north elevation, a secondary elevation. The tower adjacent to the El Rey Hotel is proposed to be 12-stories tall, which is only two stories higher than the El Rey Hotel. It is interesting to note that at one time, a four-story building may have been contemplated for the subject property (refer to Figure 6 on page 9 of the Historical Resource Memo in Appendix G). Although the second tower would be almost twice as tall as the El Rey Hotel, it is not located immediately adjacent to it. Thus, the Project would not alter the setting of the El Rey Hotel, including the garden to the east that was dedicated in 2010, in such a manner that it would be materially impaired.

Based on this analysis, Project impacts related to historical resources would be less than significant.

b) Would the project cause a substantial adverse change in the significance of an archaeological resource pursuant to 15064.5?

Less Than Significant With Mitigation Incorporated. Section 15064.5(a)(3)(D) of the CEQA Guidelines generally defines archaeological resources as any resource that "has yielded, or may be likely to yield, information important in prehistory or history." Archaeological resources are features, such as tools, utensils, carvings, fabric, building foundations, etc., that document evidence of past human endeavors and that may be historically or culturally important to a significant earlier community.

The Project Sites are located within an urbanized area of Downtown Los Angeles and have been subject to grading and development in the past. Based on a records search conducted by the South Central Coast Information Center (SCCIC), 4 archaeological sites have been recorded within a 0.5-mile radius of the

Project Sites. No archaeological sites and/or resources have been recorded at the Project Sites (refer to Appendix G). However, unknown buried remains of the Zanja Madre (a historical water conveyance system) could potentially fall within the boundaries of the Project Sites.⁵³ As such, it is possible that unknown archaeological resources could exist at the Project Sites. Although the Project Sites have been subject to grading and development in the past, the Project would require excavations at a depth of approximately 17 feet below ground surface, and unknown archaeological resources could potentially be encountered during grading and excavation activities associated with development of the Project. Nonetheless, the Project Applicant would be required to implement Mitigation Measures CULT-MM-1 and CULT-MM-2, which would ensure that Project impacts related to unknown archaeological resources would be less than significant.

c) Would the project directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

Less Than Significant With Mitigation Incorporated. Paleontological resources are the fossilized remains of organisms that have lived in a region in the geologic past and whose remains are found in the accompanying geologic strata. This type of fossil record represents the primary source of information on ancient life forms, since the majority of species that have existed on earth from this era are extinct. Section 5097.5 of the California Public Resources Code specifies that any unauthorized removal of paleontological remains is a misdemeanor. Furthermore, California Penal Code Section 622.5 includes penalties for damage or removal of paleontological resources.

A records search was conducted with the Los Angeles County Natural History Museum to determine the likelihood for unique paleontological resources to occur at the Project Sites (refer to Appendix G). The records search revealed that no vertebrate fossil localities have been identified at the Project Sites. However, fossils have been found in the sedimentary deposits that exist within the Project Sites' area and at the Project Sites. Although the Project Sites have been subject to grading and development in the past, the Project would require excavations at a depth of approximately 17 feet below ground surface. As such, there is a possibility for unknown paleontological resources to be encountered within the underlying alluvium during grading and excavation activities associated with development of the Project. Nonetheless, the Project Applicant would be required to implement Mitigation Measure 6-3, which would ensure that Project impacts related to unknown paleontological resources would be less than significant.

d) Would the project disturb any human remains, including those interred outside of formal cemeteries?

Less Than Significant Impact. Site 1 is developed with a surface parking lot and a food service building; Site 2 is developed with a surface parking lot. Although the Project Sites have been subject to grading and development in the past, the Project would require excavations at a depth of approximately 17 feet below ground surface. A significant adverse effect could occur if grading or excavation activities associated with a project could disturb human remains. However, no human remains are known to exist

⁵³ *Record Search Results for the Weingart Project, South Central Coast Information Center, December 4, 2017. Refer to Appendix G.*

at the Project Sites. In accordance with the State's Health and Safety Code Section 7050.5, in the event of discovery or recognition of any human remains at the Project Sites, no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains shall occur until the Los Angeles County Coroner has determined, in accordance with Chapter 10 (commencing with Section 27460) of Part 3 of Division 2 of Title 3 of the Government Code, that the remains are not subject to the provisions of Section 27491 of the Government Code or any other related provisions of law concerning investigation of the circumstances, manner, and cause of any death, and the recommendations concerning the treatment and disposition of the human remains have been made to the person responsible for the excavation, or to his or her authorized representative, in the manner provided in Section 5097.98 of the Public Resources Code. The coroner shall make his or her determination within two working days from the time the person responsible for the excavation, or his or her authorized representative, notifies the coroner of the discovery or recognition of the human remains. If the coroner determines that the remains are not subject to his or her authority and if the coroner recognizes the human remains to be those of a Native American, or has reason to believe that they are those of a Native American, he or she shall contact, by telephone within 24 hours, the Native American Heritage Commission. Through compliance with the regulatory standards described above, potential Project impacts to human remains would be less than significant.

Mitigation Measures (Cultural Resources)

- CULT-MM-1: Prior to Project construction, the prime contractor and any subcontractor(s) shall be advised of the legal and/or regulatory implications of knowingly destroying cultural resources or removing artifacts, human remains, bottles, and other cultural materials from the Project Sites. In addition, in the event that buried archaeological resources are exposed during Project construction, work within 50 feet of the find shall stop until a professional archaeologist, meeting the standards of the Secretary of the Interior, can identify and evaluate the significance of the discovery and develop recommendations for treatment. Construction activities could continue in other areas of the Project Sites. Recommendations could include preparation of a Treatment Plan, which could require recordation, collection and analysis of the discovery; preparation of a technical report; and curation of the collection and supporting documentation in an appropriate depository. Any Native American remains shall be treated in accordance with state law.
- CULT-MM-2: Before ground disturbance, field observations regarding the geo-archaeological setting shall be conducted by a qualified archaeologist to determine the presence of undisturbed sediments capable of preserving archaeological remains, and the depth at which these sediments would no longer be capable of containing archaeological material. An archaeological monitor shall be present during initial excavation activities. The duration and timing of the monitoring shall be determined by the qualified archaeologist in consultation with the Department of City Planning and the Project Applicant. The qualified archaeologist may designate an archaeologist to conduct the monitoring under their direction.

CULT-MM-3: Prior to Project construction, the prime contractor and any subcontractor(s) shall be advised of the legal and/or regulatory implications of knowingly destroying paleontological or unique geologic resources or sites from the Project Sites. In addition, in the event that paleontological resources or sites, or unique geologic features are exposed during Project construction, work within 50 feet of the find shall stop until a qualified paleontologist, can identify and evaluate the significance of the discovery and develop recommendations for treatment. Construction activities could continue in other areas of the Project Sites. Recommendations could include a preparation of a Treatment Plan, which could require recordation, collection, and analysis of the discovery; preparation of a technical report; and curation of the collection and supporting documentation in an appropriate depository. Any paleontological resources or sites, or unique geologic features shall be treated in accordance with state law.

Cumulative Impacts

As discussed above, the Project would not result in indirect or direct impacts to any significant historical resource. Thus, the Project would not have the potential to contribute toward any significant cumulative impacts related to historical resources. Impacts related to archaeological and paleontological resources and human remains are site-specific and are assessed on a site-by-site basis. All development in the City (including the proposed Project and the related projects) that involves ground-disturbing activities is required to implement standard City conditions of approval and/or mitigation similar to Mitigation Measures CULT-MM-1 through CULT-MM-3 related to the discovery of archaeological resources, as well as existing state and City regulations related to discovery of paleontological resources and human remains. For these reasons, cumulative impacts related to archaeological and paleontological resources and human remains would not be cumulatively considerable and less than significant.

6. GEOLOGY AND SOILS

In 2015, the California Supreme Court in the California Building Industry Association v. Bay Area Air Quality Management District (62 Cal.4th 369 [Case No. S213478]) (CBIA v. BAAQMD), held that CEQA generally does not require a lead agency to consider the impacts of the existing environment on the future residents or users of the project. The City's revised thresholds are intended to comply with this decision. Specifically, the decision held that an impact from the existing environment to the project, including future users and/or residents, is not an impact for purposes of CEQA. However, if the project physically exacerbates existing conditions that already exist, that impact must be assessed, including how it might affect future users and/or residents of the project. Thus, in accordance with Appendix H of the State CEQA Guidelines and the CBIA v. BAAQMD decision, the Project would have a significant impact related to geology and soils if it would result in any of the following impacts to future residents or users in the Central City Community Plan Area.

a) **Would the project exacerbate existing conditions so as to expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:**

(i) **Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault, caused in whole or in part by the project's exacerbation of the existing environmental conditions? Refer to Division of Mines and Geology Special Publication 42.**

No Impact. Fault rupture occurs when movement on a fault deep within the earth breaks through to the surface. Based on criteria established by the California Geological Survey (CGS), faults can be classified as active, potentially active, or inactive. Active faults are those having historically produced earthquakes or shown evidence of movement within the past 11,000 years (during the Holocene Epoch). Potentially active faults have demonstrated displacement within the last 1.6 million years (during the Pleistocene Epoch) while not displacing Holocene Strata. Inactive faults do not exhibit displacement more recently than 1.6 million years before the present. In addition, there are buried thrust faults, which are faults with no surface exposure. Due to their buried nature, the existence of buried thrust faults is usually not known until they produce an earthquake.

The CGS establishes regulatory zones around active faults, called Alquist-Priolo Earthquake Fault Zones (previously called Special Study Zones). These zones, which extend from 200 to 500 feet on each side of the known fault, identify areas where a potential surface fault rupture could prove hazardous for buildings used for human occupancy. Development projects located within an Alquist-Priolo Earthquake Fault Zone are required to prepare special geotechnical studies to characterize hazards from any potential surface ruptures. In addition, the City designates Fault Rupture Study Areas along the sides of active and potentially active faults to establish areas of potential hazard due to fault rupture.

According to the Geotechnical Investigations prepared for Sites 1 and 2, neither Project site is located within an Alquist-Priolo Earthquake Fault Zone, and no known faults exist on the Project Sites.⁵⁴ The Hollywood Fault, located approximately 5.0 miles from the sites, is the closest fault with the potential for surface rupture. Thus, the Project would not expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault on the Project Sites. Furthermore, given that no active or potentially active faults with the potential for surface fault rupture are known to pass directly beneath the Project Sites, the Project would not exacerbate existing fault rupture conditions. Construction of the Project would be subject to the compliance with the existing state and local regulations, including the 2016 California Building Code and the Los Angeles Building Code (LABC) and with the recommendations contained in the Final Geotechnical Reports prepared for the Project by a licensed engineer and approved by the City of Los Angeles Department of Building and Safety's

⁵⁴ *Geotechnical Investigation (554-562 South San Pedro Street and 555-561 South Crocker Street), GEOCON West, Inc., May 24, 2017. Geotechnical Investigation (600 South San Pedro Street), GEOCON West, Inc., March 7, 2018. Both investigations are included in Appendix H.*

(LADBS) and the conditions contained within the LADBS Geology and Soils Approval Letters (Log Nos. 102203 and 102409), which would ensure the Project would be consistent with applicable seismic design criteria and with existing seismic safety regulations and would minimize potential impacts associated with rupture of a known fault or groundshaking.⁵⁵ Further, the LABC, with which the Project would be required to comply, contains construction requirements to ensure that structures are built to a level such that they can withstand acceptable seismic risk. Therefore, the Project would not expose people or structures to substantial adverse effects associated with fault rupture, and would not cause or exacerbate seismic conditions on the Project Sites. No impacts with respect to fault rupture would occur.

(ii) Strong seismic ground shaking caused in whole or in part by the project's exacerbation of the existing environmental conditions?

Less Than Significant Impact. The Project Sites are located in a seismically active Southern California region. Known regional active faults that could produce significant ground shaking at the Project Sites include the Puente Hills Blind Thrust Fault, Hollywood Fault, the Raymond Fault, the Newport-Inglewood Fault Zone, the Verdugo Fault and the Whittier Fault located approximately 0.7, 5.0, 5.5, 6.4, 7.3 and 9.1 miles from the closest of the Project Sites, respectively. A partial list of moderate to major earthquakes that have occurred in Southern California in the last 100 years is shown on Table 6-14. The closest potentially active faults include the MacArthur Park Fault, the Coyote Pass Fault, the Overland Fault, and the Charnock Fault, located approximately 0.4, 2.4, 8.6, and 9.4 miles from the closest of the Project Sites, respectively. The Puente Hills Blind Thrust underlies the Project Sites, at a depth of approximately 0.7 miles.

Given the Project Sites' location in a seismically active region, the Project Sites could experience seismic groundshaking in the event of an earthquake. However, as with any new development in the State of California, building design and construction for the Project would be required to conform to the current seismic design provisions of the California Building Code. The 2016 California Building Code incorporates the latest seismic design standards for structural loads and materials as well as provisions from the National Earthquake Hazards Reduction Program to mitigate losses from an earthquake and provide for the latest in earthquake safety. Additionally, construction of the Project would be required to adhere to the seismic safety requirements contained in the LABC, as well as the applicable recommendations provided in the geotechnical investigations required by the City to minimize seismic-related hazards. In addition, the Project would not exacerbate existing environmental conditions with regard to seismic ground shaking. Adherence to current building codes and engineering practices would ensure that the Project would not expose people, property or infrastructure to seismically induced ground shaking hazards that are greater than the average risk associated with locations in the Southern California region, and would minimize the potential to expose people or structures to substantial risk, loss, or injury. Based on the above, development of the Project would not exacerbate seismic conditions on the Project Sites. With compliance with regulatory requirements, Project impacts associated with seismic ground shaking would be less than significant.

⁵⁵ *The Geotechnical Investigations for the Projects have been reviewed by the Los Angeles Department of Building and Safety, which concurred with the conclusions and recommendations of the report. Refer to the LADBS approval letters in Appendix H.*

Table 6-14
List of Historic Earthquakes

Earthquake (Oldest to Youngest)	Date of Earthquake	Magnitude	Distance to Epicenter (Miles)	Direction to Epicenter
San Jacinto-Hemet area	April 21, 1918	6.8	74	ESE
Near Redlands	July 23, 1923	6.3	57	E
Long Beach	March 10, 1933	6.4	33	SE
Tehachapi	July 21, 1952	7.5	79	NW
San Fernando	February 9, 1971	6.6	27	NNW
Whittier Narrows	October 1, 1987	5.9	10	E
Sierra Madre	June 28, 1991	5.8	21	NE
Landers	June 28, 1992	7.3	104	E
Big Bear	June 28, 1992	6.4	82	E
Northridge	January 17, 1994	6.7	20	NW
Hector Mine	October 16, 1999	7.1	119	ENE
<i>Source: Geotechnical Investigation, GEOCON West, Inc., March 2018.</i>				

(iii) Seismic-related ground failure, including liquefaction caused in whole or in part by the project's exacerbation of the existing environmental conditions?

Less Than Significant Impact. Liquefaction is a form of earthquake-induced ground failure that occurs primarily in relatively shallow, loose, granular, water-saturated soils. Liquefaction can occur when these types of soils lose their shear strength due to excess water pressure that builds up during repeated seismic shaking. A shallow groundwater table, the presence of loose to medium dense sand and silty sand, and a long duration and high acceleration of seismic shaking are factors that contribute to the potential for liquefaction. Liquefaction usually results in horizontal and vertical movements from lateral spreading of liquefied materials.

As discussed in the Geotechnical Investigations prepared for the Project Sites (refer to Appendix H), the State of California Seismic Hazard Zone Map for the Los Angeles Quadrangle (California Department of Mines and Geology [CDMG], 1999; CGS, 2016) indicates that the Project Sites are not located in an area designated as having a potential for liquefaction. In addition, a review of the County of Los Angeles Safety Element (Leighton, 1990) indicates that the sites are not located within an area identified as having a potential for liquefaction. The historic high groundwater level in the vicinity of the Project Sites is reported to be at a depth of approximately 85 feet beneath the existing ground surface for Site 1 and 90 to 95 feet beneath the existing ground surface for Site 2 (CDMG, 1998). Based on these considerations, the potential for liquefaction and associated ground deformations beneath the Project Sites is very low.

Construction of the Project would be subject to the City's current Building Code requirements, recommendations included in the Final Geotechnical Reports, and the conditions contained within the LADBS Geology and Soils Approval Letters (Log Nos. 102203 and 102409), which would minimize all potential impacts associated with liquefaction. As such and as stated previously, liquefaction potential for the Project Sites is considered low. Based on the above, development of the Project would not cause or

exacerbate geologic hazards, including liquefaction. Therefore, Project impacts related to liquefaction would be less than significant.

(iv) Landslides caused in whole or in part by the project's exacerbation of the existing environmental condition?

No Impact. Landslide potential is generally the greatest for areas with steep and/or high slopes, low sheer strength, and increased water pressure. The Project Sites and adjacent properties are flat and do not contain any slopes or hillside areas.⁵⁶ The Project Sites are not located within a City of Los Angeles Hillside Grading Area or a Hillside Ordinance Area (City of Los Angeles, 2017). The City of Los Angeles Safety Element indicates the site is not within an area identified as having a potential for slope instability or landslides. Thus, the Project would not result in any impacts related to landslides. Based on the above, development of the Project would not cause or exacerbate geologic hazards, including landslides.

b) Would the project result in substantial soil erosion or the loss of topsoil?

Less Than Significant Impact. The Project Sites are currently completely developed with impervious surfaces and do not contain any topsoil. During the Project's construction phase, activities such as excavation to depths of up to approximately 17 feet below ground surface (bgs), grading, and site preparation could leave soils at the Project Sites susceptible to soil erosion. The Project Applicant would be required to comply with SCAQMD Rule 403 – Fugitive Dust to minimize wind and water-borne erosion at the site, as well as prepare and implement a Stormwater Pollution Prevention Plan (SWPPP), in accordance with the National Pollutant Discharge Elimination System (NPDES) General Permit for Discharges of Storm Water Associated with Construction Activity and Land Disturbance Activities. The site-specific SWPPP would be prepared prior to earthwork activities and would be implemented during Project construction. The SWPPP would include best management practices (BMPs) and erosion control measures to prevent pollution in storm water discharge. Typical BMPs that could be used during construction include good-housekeeping practices (e.g., street sweeping, proper waste disposal, vehicle and equipment maintenance, concrete washout area, materials storage, minimization of hazardous materials, proper handling and storage of hazardous materials, etc.) and erosion/sediment control measures (e.g., silt fences, fiber rolls, gravel bags, storm water inlet protection, and soil stabilization measures, etc.). The SWPPP would be subject to review and approval by the City for compliance with the City's Development Best Management Practices Handbook, Part A, Construction Activities. Additionally, all Project construction activities would comply with the City's grading permit regulations, which require the implementation of grading and dust control measures, including a wet weather erosion control plan if construction occurs during rainy season, as well as inspections to ensure that sedimentation and erosion is minimized. Through compliance with these existing regulations, the Project would not result in any significant impacts related to soil erosion during the construction phase. Additionally, during the Project's operational phase, most of the Project Sites would be developed with impervious surfaces,

⁵⁶ *Geotechnical Investigation (554-562 South San Pedro Street and 555-561 South Crocker Street), GEOCON West, Inc., May 24, 2017. Geotechnical Investigation (600 South San Pedro Street), GEOCON West, Inc., March 7, 2018. Both investigations are included in Appendix H.*

and all stormwater flows would be directed to storm drainage features and would not come into contact with bare soil surfaces. Therefore, with compliance with applicable regulatory requirements, development of the Project would not cause or exacerbate soil erosion or loss of topsoil, and impacts regarding soil erosion or the loss of topsoil would be less than significant.

c) Would the project be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?

Less Than Significant Impact. As discussed previously, liquefaction potential at the Project Sites is considered low. Subsidence occurs when a large portion of land is displaced vertically, usually due to the withdrawal of groundwater, oil, or natural gas. Soils that are particularly subject to subsidence include those with high silt or clay content. The Project Sites are not located within an area of known ground subsidence. No large-scale extraction of groundwater, gas, oil, or geothermal energy is occurring or planned at the Project Sites or in the general site vicinity. Thus, the potential for subsidence due to withdrawal of fluids or gases to adversely impact the sites is considered low.⁵⁷ The Geotechnical Investigations prepared for the Project (refer to Appendix H) include lateral earth pressure estimates to be considered in the design of the retaining structures that would be part of the Project building.⁵⁸ The Project Applicant would be required by the LADBS, as part of the permitting process, to prepare (or have prepared) a Final Geotechnical Investigation that would address the building standards and recommendations that shall be followed in order to construct the proposed structure in accordance with building standards that apply to building within the types of soils found at the site, including areas prone to geologic or soil instability. Through compliance with the LABC, recommendations included in the Final Geotechnical Reports, and the conditions contained within the LADBS's Geology and Soils Approval Letters (Log Nos. 102203 and 102409), impacts related to geologic and soil instability would be less than significant. Based on the above, development of the Project would not cause or exacerbate geologic hazards.

d) Would the project be located on expansive soil, as identified on Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?

No Impact. Expansive soils are typically associated with fine-grained clayey soils that have the potential to shrink and swell with repeated cycles of wetting and drying. According to the Geotechnical Investigation prepared for Site 1, based on depth of the proposed subterranean level and granular nature of the site soils, the proposed structure would not be prone to the effects of expansive soils.⁵⁹ According to the Geotechnical Investigation prepared for Site 2, the upper 5 feet of existing site soils encountered as

⁵⁷ *Ibid.*

⁵⁸ *The Geotechnical Investigations for the Projects have been reviewed by the Los Angeles Department of Building and Safety, which concurred with the conclusions and recommendations of the report. Refer to the LADBS approval letters in Appendix H.*

⁵⁹ *Geotechnical Investigation (554-562 South San Pedro Street and 555-561 South Crocker Street), GEOCON West, Inc., May 24, 2017. Refer to Appendix H.*

part of the investigation are considered to have a “low” expansive potential (EI = 0) and are classified as “non-expansive” based on the 2016 California Building Code Section 1803.5.3. Based on the depth of the proposed subterranean level on Site 1 (approximately 15 feet below ground surface) and granular nature of the site soils, the proposed building would not be prone to the effects of expansive soil. In addition, the Project would be designed and constructed in conformance with current LABC requirements. Thus, the Project would not be constructed on expansive soil and would not create a substantial risk to individuals and/or property. Based on the above, development of the Project would not cause or exacerbate geologic hazards. Therefore, no impacts related to expansive soils would occur as a result of the Project.

e) Would the project have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?

No Impact. The Project Sites are located within a community served by existing sewage infrastructure. The Project would connect to the City’s existing sewer system and would not require the use of septic tanks or alternative wastewater disposal systems. Thus, the Project would not result in any impacts related to soils that are incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater. Therefore, no impacts related to this issue would occur.

Cumulative Impacts

Geotechnical impacts related to future development in the City involve hazards related to site-specific soil conditions, erosion, and ground-shaking during earthquakes. The impacts on each site are specific to that site and its users and would not be in common or contribute to (or shared with, in an additive sense) the impacts on other sites. In addition, development on each site is subject to uniform site development and construction standards that are designed to protect public safety. Therefore, Project cumulative geotechnical impacts related would be less than significant.

7. GREENHOUSE GAS EMISSIONS

a) Would the project generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

Less Than Significant Impact. The information and analysis in this section is primarily based on the following (refer to Appendix F):

- *Air Quality and Greenhouse Gas Emissions technical modeling results, DKA Planning April 2018.*

Environmental Setting

Greenhouse gas (GHG) emissions refer to a group of emissions that are generally believed to affect global climate conditions. The greenhouse effect compares the Earth and the atmosphere surrounding it to a greenhouse with glass panes. The glass panes in a greenhouse let heat from sunlight in and reduce the

amount of heat that escapes. GHGs, such as carbon dioxide (CO₂), methane (CH₄), and nitrous oxide (N₂O), keep the average surface temperature of the Earth close to 60°F. Without the natural greenhouse effect, the Earth's surface would be about 61°F cooler.⁶⁰

In addition to CO₂, CH₄, and N₂O, GHG emissions include hydrofluorocarbons (HFCs), perfluorocarbons (PFCs), sulfur hexafluoride (SF₆), black carbon, and water vapor.⁶¹ CO₂ is the most abundant pollutant that contributes to climate change through fossil fuel combustion. The other GHG emissions are less abundant but have higher global warming potential than CO₂. To account for this higher potential, emissions of other GHG emissions are frequently expressed in the equivalent of CO₂, denoted as CO₂e. CO₂e is a measurement used to account for the fact that different GHG emissions have different potential to retain infrared radiation in the atmosphere and contribute to the greenhouse effect. This potential, known as the global warming potential (GWP) of a GHG, is dependent on the lifetime, or persistence, of the gas molecule in the atmosphere.

Table 6-15 presents the most common GHGs with their atmospheric residence times and associated GWP values.

Table 6-15
Global Warming Potentials for Selected Greenhouse Gases

Greenhouse Gas	Global Warming Potential Factor (100-Year)
Carbon Dioxide (CO ₂)	1
Methane (CH ₄)	28
Nitrous Oxide (N ₂ O)	265
Perfluorocarbons (PFCs)	7,390-12,200
Hydrofluorocarbon (HFCs)	124-14,800
Sulfur Hexafluoride (SF ₆)	22,800
<i>Note: Global warming potential measures how much heat a GHG traps in the atmosphere, in this case, over a 100-year period.</i>	
<i>Source: SCAG, Draft Program EIR for 2016 RTP/SCS.</i>	

GHG emissions are the result of both natural and human-influenced activities. Volcanic activity, forest fires, decomposition, industrial processes, landfills, consumption of fossil fuels for power generation, transportation, heating, and cooling are the primary sources of GHG emissions. Without human activity, the Earth would maintain an approximate, but varied, balance between the GHG emissions into the atmosphere and the storage of GHG emissions in oceans and terrestrial ecosystems. Increased combustion of fossil fuels (e.g., gasoline, diesel, coal, etc.) has contributed to a rapid increase in atmospheric levels of GHG emissions over the last 150 years. The primary effect of rising global concentrations of atmospheric GHG levels is a rise in the average global temperature of approximately 0.2 degrees Celsius per decade, determined from meteorological measurements worldwide between 1990 and 2005. Climate change

⁶⁰ California Environmental Protection Agency Climate Action Team, *Climate Action Report to Governor Schwarzenegger and the California Legislator*, March 2006.

⁶¹ Black carbon is the most strongly light-absorbing component of particulate matter emitted from burning fuels such as coal, diesel, and biomass.

modeling using 2000 emission rates shows that further warming is likely to occur given the expected rise in global atmospheric GHG emissions concentrations from innumerable sources of GHG emissions worldwide (including from economically developed and developing countries and deforestation), which would induce further changes in the global climate system during the current century.⁶²

Adverse impacts from global climate change worldwide and in California include the following:

- Declining sea ice and mountain snowpack levels, thereby increasing sea levels and sea surface evaporation rates with a corresponding increase in atmospheric water vapor due to the atmosphere's ability to hold more water vapor at higher temperatures;⁶³
- Rising average global sea levels primarily due to thermal expansion and the melting of glaciers, ice caps, and the Greenland and Antarctic ice sheets;⁶⁴
- Changing weather patterns, including changes to precipitation, ocean salinity, and wind patterns, and more energetic aspects of extreme weather including droughts, heavy precipitation, heat waves, extreme cold, and the intensity of tropical cyclones;⁶⁵
- Declining Sierra Mountains snowpack levels, which account for approximately half of the surface water storage in California, by 70 percent to as much as 90 percent over the next 100 years;⁶⁶
- Increasing the number of days conducive to ozone formation (e.g., clear days with intense sun light) by 25 percent to 85 percent (depending on the future temperature scenario) in high ozone areas located in the Southern California area and the San Joaquin Valley by the end of the 21st Century;⁶⁷ and
- Increasing the potential for erosion of California's coastlines and seawater intrusion into the Sacramento Delta and associated levee systems due to the rise in sea level.⁶⁸

Scientific understanding of the fundamental processes responsible for global climate change improved over the past decade. However, there remain significant scientific uncertainties; for example, in

⁶² USEPA, *Draft Endangerment Finding*, 74 Fed. Reg. 18886, 18904, April 24, 2009.

⁶³ *Ibid.*

⁶⁴ Intergovernmental Panel on Climate Change, *Climate Change 2013: The Physical Science Basis, Fifth Assessment Report*, ISBN 978 1 107 05799-1 Hardback; 978 1 66182-0 Paperback. 2013.

⁶⁵ Intergovernmental Panel on Climate Change, *Climate Change 2013: The Physical Science Basis, Fifth Assessment Report*, ISBN 978 1 107 05799-1 Hardback; 978 1 66182-0 Paperback. 2013.

⁶⁶ California Environmental Protection Agency Climate Action Team, *Climate Action Report to Governor Schwarzenegger and the California Legislator*, March 2006.

⁶⁷ *Ibid.*

⁶⁸ *Ibid.*

predictions of local effects of climate change, occurrence of extreme weather events, and effects of aerosols, changes in clouds, shifts in the intensity and distribution of precipitation, volcanic activity, and changes in oceanic circulation. Due to the complexity of the climate system, the uncertainty surrounding the implications of climate change may never be completely eliminated. Because of these uncertainties, there continues to be significant debate as to the extent to which increased concentrations of GHG emissions have caused or will cause climate change, and with respect to the appropriate actions to limit and/or respond to climate change. Given the scale over which climate change occurs, as well as the uncertainties described above, it is not possible to link specific development projects to future specific climate change impacts; though estimating project-specific emissions is possible.

CARB has prepared a statewide emissions inventory covering 2000 to 2014, which demonstrates that GHG emissions have decreased by 7.9 percent over that period.⁶⁹ Emissions in 2014 from the transportation sector, which represents California's largest source of GHG emissions and contributed 37 percent of total annual emissions, declined marginally relative to 2011 while the economy and population continued to grow over that three year time period.⁷⁰ The long-term direction of transportation-related GHG emissions is another clear trend, with a 13 percent drop over the past ten years.

Table 6-16 shows GHG emissions from 2010 to 2014 in California. As noted, the majority of the statewide emissions are transportation related. Other direct sources of emissions include electricity generation, industrial uses, and to a lesser extent, solid waste decomposition, haul trucks, and the use of refrigerant compounds.

Table 6-16
California Greenhouse Gas Emissions Inventory

Sector	Annual CO ₂ e Emissions (million metric tons)				
	2010	2011	2012	2013	2014
Transportation	163	159	159	158	160
Industrial	91	91	91	93	93
Electric Power	90	88	95	90	88
Commercial and Residential	45	45	43	43	38
Agriculture	35	36	37	35	36
High Global Warming Potential	12	14	15	16	17
Recycling and Waste	9	9	9	9	9
Emissions Total	445	442	449	444	441
<i>Source: CARB, California Greenhouse Gas Inventory 2000-2014, October 18, 2016.</i>					

⁶⁹ CARB, *California Greenhouse Gas Inventory 2000-2014, March 30, 2016.*

⁷⁰ *Ibid.*

Regulatory Framework

International

U.S.–China Climate Agreement

In November 2014, the United States (U.S.) and China made a joint announcement to cooperate on combating climate change and promoting clean energy. In the U.S., President Barack Obama announced a climate target to reduce GHG emissions by 26 to 28 percent below 2005 levels by 2025. In China, President Xi Jinping announced a climate target to reduce peak CO₂ emissions by 2030 and to increase the renewable energy share across all sectors to 20 percent by 2030. China will need to build an additional 800 to 1,000 gigawatts of nuclear, wind, solar, and other zero emission generation capacity by 2030 to reach this target. Together, the U.S. and China have agreed to: expand joint clean energy research and development at the U.S.-China Clean Energy Research Center (CERC); advance major carbon capture; use and storage demonstrations; enhance cooperation on HFCs; launch a climate-smart/low-carbon cities initiative; promote trade in green goods; and demonstrate clean energy on the ground.⁷¹

Paris United Nations Framework Convention on Climate Change

A new international climate change agreement was adopted at the Paris United Nations Framework Convention on Climate Change climate conference in December 2015. The last two climate conferences in Warsaw (2013) and Lima (2014) decided that countries were to submit their proposed emissions reduction targets for the 2015 conference as “intended nationally determined contributions” prior to the Paris conference. The European Union has committed to an economy-wide, domestic GHG reduction target of 40 percent below 1990 levels by 2030. The U.S. has set its intended nationally determined contribution to reduce its GHG emissions by 26 to 28 percent below its 2005 level in 2025 and to make best efforts to reduce its emissions by 28 percent. These targets are set with the goal of limiting global temperature rise to well below 2.0 degrees Celsius and getting to the 80 percent emission reduction by 2050.

North American Climate, Clean Energy, and Environment Partnership Action Plan

The North American Climate, Clean Energy, and Environment Partnership Action Plan was announced by Prime Minister Justin Trudeau, President Barack Obama, and President Enrique Peña Nieto on June 29, 2016, at the North American Leaders Summit in Ottawa, Canada.⁷² This action plan identifies the deliverables to be achieved and activities to be pursued by the three countries as part of this enduring Partnership. The three leaders declared their common vision in a historic North American Climate, Clean Energy, and Environment Partnership, described in a Leaders’ Statement and Action Plan that details the actions our leaders will pursue. These actions include the following:

⁷¹ *The White House, Fact Sheet: U.S.-China Joint Announcement on Climate Change and Clean Energy Cooperation, November 11, 2014.*

⁷² *The White House, Fact Sheet: United States Key Deliverables for the 2016 North American Leaders’ Summit, June 29, 2016.*

- Setting a target to increase clean power to 50 percent of the electricity generated across North America by 2025.
- Reducing methane emissions from the oil and gas sector by 40 to 45 percent by 2025.
- Strengthening standards for energy efficiency and vehicle emissions, including aligning energy efficiency standards that will amount to over \$4 billion per year in annual savings for United States businesses and consumers by 2025.
- Strengthening vehicle efficiency, improving fuel quality, and reducing tailpipe pollutants.
- Affirming their support for joining and implementing the Paris Agreement this year and committing to work together to address climate issues through the Montreal Protocol, International Civil Aviation Organization, G-20, and other forums.
- Celebrating our strong environmental cooperation, including expanding cooperation on early warning systems for natural disasters, supporting habitat for migratory species including Monarchs and birds, and developing action plans to combat wildlife trafficking.

Federal

Supreme Court Ruling

The U.S. Supreme Court ruled in *Massachusetts v. Environmental Protection Agency*, 127 S. Ct. 1438 (2007), that CO₂ and other GHG emissions are pollutants under the Clean Air Act (CAA), which the United States Environmental Protection Agency (USEPA) must regulate if it determines they pose an endangerment to public health or welfare. On December 7, 2009, the USEPA Administrator made two distinct findings: 1) the current and projected concentrations of the six key GHG emissions in the atmosphere (i.e., CO₂, CH₄, N₂O, HFCs, PFCs, and SF₆) threaten the public health and welfare of current and future generations; and 2) the combined emissions of these GHG emissions from motor vehicle engines contribute to GHG emissions pollution, which threatens public health and welfare.

On June 23, 2014, the U.S. Supreme Court ruled in *Utility Air Regulatory Group v. EPA* that the USEPA exceeded its statutory authority under the CAA when it determined that stationary source emissions of GHGs would trigger permitting obligations under the Prevention of Significant Deterioration (PSD) program and Title V of the CAA. However, the court upheld those portions of USEPA's rulemaking that require a source to apply best available control technology (BACT) to GHG emissions where the source would otherwise trigger PSD permitting on account of its emissions of other pollutants. The Supreme Court's decision was limited to USEPA's regulation of GHG emissions under the PSD and Title V provisions of the CAA, and it left unanswered other questions regarding USEPA's permitting and BACT authority under the PSD program, and the USEPA's efforts to regulate GHG emissions from stationary sources.

Energy Independence and Security Act

The Energy Independence and Security Act of 2007 includes several key provisions that will increase energy efficiency and the availability of renewable energy, which will reduce GHG emissions as a result. First, this act sets a Renewable Fuel Standard that requires fuel producers to use at least 36 billion gallons of biofuel by 2022.⁷³ Second, this act increases Corporate Average Fuel Economy Standards to require a minimum average fuel economy of 35 miles per gallon for the combined fleet of cars and light trucks by 2020. Third, this act includes a variety of new standards for lighting and for residential and commercial appliance equipment. The equipment includes residential refrigerators, freezers, refrigerator-freezers, metal halide lamps, and commercial walk-in coolers and freezers.

National Fuel Efficiency Policy

On May 19, 2009, President Barack Obama announced a new National Fuel Efficiency Policy aimed at increasing fuel economy and reducing GHG emissions pollution.⁷⁴ This policy is expected to increase fuel economy by more than five percent by requiring a fleetwide average of 35.5 miles per gallon by 2016 starting with model year 2012. On September 15, 2009, the USEPA and the Department of Transportation's (DOT) National Highway Traffic Safety Administration (NHTSA) issued a joint proposal to establish a national program consisting of new standards for model year 2012 through 2016 light-duty vehicles that will reduce GHG emissions and improve fuel economy. The proposed standards were phased in and required passenger cars and light-duty trucks to comply with a declining emissions standard. By 2016, vehicles were to meet an average standard of 250 grams of CO₂ per mile and 35.5 miles per gallon.⁷⁵ The final standards were adopted by the USEPA and the DOT on April 1, 2010. On December 7, 2009, the USEPA Administrator signed the following two distinct findings regarding GHG emissions under Section 202(a) of the CAA (42 United States Code Section 7521):

- **Endangerment Finding:** The Administrator finds that the current and projected concentrations of the six key well-mixed GHG emissions (CO₂, CH₄, N₂O, HFCs, PFCs, and SF₆) in the atmosphere threaten the public health and welfare of current and future generations.
- **Cause or Contribute Finding:** The Administrator finds that the combined emissions of these well-mixed GHG emissions from new motor vehicles and new motor vehicle engines contribute to the GHG emissions pollution that threatens public health and welfare.

While these findings do not impose additional requirements on industry or other entities, this action is a prerequisite to finalizing the USEPA's proposed GHG emissions standards for light-duty vehicles, which were jointly proposed by the USEPA and the NHTSA.

⁷³ According to the United States Energy Information Administration, 36 billion gallons of fuel represents approximately 26 percent of current gasoline consumption.

⁷⁴ The White House, Office of the Press Secretary, http://www.whitehouse.gov/the_press_office/President-Obama-Announces-National-Fuel-Efficiency-Policy/, May 19, 2009.

⁷⁵ USEPA, EPA and NHTSA Propose Historic Nation Program, 2009.

Executive Order 13693

Published in June 10, 2015, the goal of Executive Order (E.O.) 13693, Planning for Federal Sustainability in the Next Decade, is to maintain federal leadership in sustainability and GHG emissions reductions. The E.O. outlines forward-looking goals for federal agencies in the area of energy, climate change, water use, vehicle fleets, construction, and acquisition. Federal agencies shall implement the following, where life-cycle cost-effective, beginning in 2016:

- Reduce agency building energy intensity as measured in British Thermal Units (BTUs) per square foot by 2.5 percent annually through 2025;
- Improve data center energy efficiency at agency buildings;
- Ensure a minimum percentage of total building electric and thermal energy shall be from clean energy sources;
- Improve agency water use efficiency and management (including storm water management); and
- Improve agency fleet and vehicle efficiency and management by achieving minimum percentage GHG emissions reductions.

*State**California's Energy Efficiency Standards for Residential and Nonresidential Buildings*

Located in Title 24, Part 6, of the California Code of Regulations (CCR) and commonly referred to as "Title 24," these energy efficiency standards were established in 1978 in response to a legislative mandate to reduce California's energy consumption. The standards are updated periodically to allow consideration and possible incorporation of new energy efficiency technologies and methods.⁷⁶ The California Energy Commission adopted the 2008 changes to the Building Energy Efficiency Standards to respond to the mandates of Assembly Bill (AB) 32 and to pursue California energy policy that energy efficiency is the resource of first choice for meeting California's energy needs. The most recent update to Title 24 is the 2016 Building Energy Efficiency Standards, which improve on the 2013 Building Energy Efficiency Standards for new construction of and additions and alterations to residential and nonresidential buildings. The 2016 Building Energy Efficiency Standards went into effect on July 1, 2017.

Assembly Bill 1493 (Pavley I)

AB 1493 (referred to as Pavley I), adopted in 2002, required CARB to develop and adopt standards for vehicle manufacturers to reduce GHG emissions coming from passenger vehicles and light-duty trucks at a "maximum feasible and cost effective reduction" by January 1, 2005. Pavley I took effect for model years starting in 2009 and extending to 2016, and CARB's Low Emission Vehicle (LEV) III Program will

⁷⁶ *California Energy Commission, California's Energy Efficiency Standards for Residential and Nonresidential Buildings, Title 24, Part 6, of the California Code of Regulations.*

cover 2017 to 2025. It is estimated that these standards will reduce climate change emissions from the vehicle fleet by 30 percent in 2016 compared to the emissions in the same year without the standards.⁷⁷

Senate Bill 1078, Senate Bill 107, and E.O. S-14-08 (Renewables Portfolio Standard)

Signed on September 12, 2002, State Bill (SB) 1078 required California to generate 20 percent of its electricity from renewable energy by 2017. SB 107, signed on September 26, 2006 changed the due date for this goal from 2017 to 2010, and was achieved by the State. On November 17, 2008, E.O. S-14-08 established a Renewables Portfolio Standard target for California requiring that all retail sellers of electricity serve 33 percent of their load with renewable energy by 2020. Increased use of renewable energy sources will decrease California's reliance on fossil fuels, reducing GHG emissions from the energy sector.

E.O. S-3-05

On June 1, 2005, Governor Schwarzenegger issued E.O. S-3-05, which set the following GHG emissions reduction targets:

- By 2010, reduce GHG emissions to 2000 levels;
- By 2020, reduce GHG emissions to 1990 levels; and
- By 2050, reduce GHG emissions to 80 percent below 1990 levels.

E.O. S-3-05 calls for the Secretary of California Environmental Protection Agency (Cal-EPA) to be responsible for coordination of state agencies and progress reporting. A recent California Energy Commission report concludes, however, that the primary strategies to achieve this target should be major “decarbonization” of electricity supplies and fuels, and major improvements in energy efficiency.⁷⁸

In response to the E.O. S-3-05, the Secretary of the Cal-EPA created the Climate Action Team (CAT). California's CAT originated as a coordinating council and included the Secretaries of the Natural Resources Agency, and the Department of Food and Agriculture, and the Chairs of CARB, Energy Commission, and the California Public Utilities Commission (CPUC). The original council was an informal collaboration between the agencies to develop potential mechanisms for reductions in GHG emissions in California. The original mandate for the CAT was to develop proposed measures to meet the emission reduction targets set forth in E.O. S-3-05. The CAT expanded and has members from 18 state agencies and departments. The CAT also has ten working groups that coordinate policies among their members. The working groups and their major areas of focus are as follows:

- Agriculture: Focusing on opportunities for agriculture to reduce GHG emissions through efficiency improvements and alternative energy projects, while adapting agricultural systems to climate change;

⁷⁷ CARB, *Clean Air Standards - Pavley, Assembly Bill 1493, May 6, 2013.*

⁷⁸ California Energy Commission, *California's Energy Future – The View to 2050, May 2011.*

- Biodiversity: Designing policies to protect species and natural habitats from the effects of climate change;
- Energy: Reducing GHG emissions through extensive energy efficiency policies and renewable energy generation;
- Forestry: Coupling GHG emissions reduction mitigation efforts with climate change adaptation related to forest preservation and resilience, waste to energy programs and forest offset protocols;
- Land Use and Infrastructure: Linking land use and infrastructure planning to efforts to reduce GHG emissions from vehicles and adaptation to changing climatic conditions;
- Oceans and Coastal: Evaluating the effects of sea level rise and changes in coastal storm patterns on human and natural systems in California;
- Public Health: Evaluating the effects of GHG emissions reduction mitigation policies on public health and adapting public health systems to cope with changing climatic conditions;
- Research: Coordinating research concerning impacts of and responses to climate change in California;
- State Government: Evaluating and implementing strategies to reduce GHG emissions resulting from state government operations; and
- Water: Reducing GHG emissions impacts associated with the state's water systems and exploring strategies to protect water distribution and flood protection infrastructure.

The CAT is responsible for preparing reports that summarize the state's progress in reducing GHG emissions. The most recent CAT Report was published in December 2010. The CAT Report discusses mitigation and adaptation strategies, state research programs, policy development, and future efforts.

SB 1 and SB 1017 (Million Solar Roofs Program)

SB 1 and SB 1017, enacted in August 2006, set a goal to install 3,000 megawatts of new solar capacity by 2017 - moving the state toward a cleaner energy future and helping lower the cost of solar systems for consumers. The Million Solar Roofs Program is a ratepayer-financed incentive program aimed at transforming the market for rooftop solar systems by driving down costs over time. It provides up to \$3.3 billion in financial incentives that decline over time.

AB 32

In September 2006, the California Global Warming Solutions Act of 2006, also known as AB 32, was signed into law. AB 32 focuses on reducing GHG emissions in California, and requires CARB to adopt rules and regulations that would achieve GHG emissions equivalent to statewide levels in 1990 by 2020. CARB initially determined that the total statewide aggregated 1990 GHG emissions level and 2020

emissions limit was 427 million metric tons of carbon dioxide equivalent (CO₂e). The 2020 target reduction was estimated to be 174 million metric tons of CO₂e. To achieve the goal, AB 32 mandates that CARB establish a quantified emissions cap, institute a schedule to meet the cap, implement regulations to reduce statewide GHG emissions from stationary sources, and develop tracking, reporting, and enforcement mechanisms to ensure that reductions are achieved. Because the intent of AB 32 is to limit 2020 emissions to the equivalent of 1990, it is expected that the regulations would affect many existing sources of GHG emissions and not just new general development projects. SB 1368, a companion bill to AB 32, requires the CPUC and the California Energy Commission to establish GHG emission performance standards for the generation of electricity. These standards will also apply to power that is generated outside of California and imported into the state.

AB 32 charges CARB with the responsibility to monitor and regulate sources of GHG emissions in order to reduce those emissions. On June 1, 2007, CARB adopted three discrete early action measures to reduce GHG emissions. These measures involved complying with a low carbon fuel standard, reducing refrigerant loss from motor vehicle air conditioning maintenance, and increasing methane capture from landfills.⁷⁹ On October 25, 2007, CARB tripled the set of previously approved early action measures. The approved measures include improving truck efficiency (i.e., reducing aerodynamic drag), electrifying port equipment, reducing PFCs emissions from the semiconductor industry, reducing propellants in consumer products, promoting proper tire inflation in vehicles, and reducing SF₆ emissions from the non-electricity sector.

CARB'S AB 32 Scoping Plan (Scoping Plan) contains the main strategies to achieve the 2020 emissions cap. The Scoping Plan was developed by CARB with input from the CAT and proposes a comprehensive set of actions designed to reduce overall carbon emissions in California, improve the environment, reduce oil dependency, diversify energy sources, and enhance public health while creating new jobs and improving the state economy. The GHG emissions reduction strategies contained in the Scoping Plan include direct regulations, alternative compliance mechanisms, monetary and non-monetary incentives, voluntary actions, and market-based mechanisms such as a cap-and-trade system.

Key approaches for reducing GHG emissions to 1990 levels by 2020 include the following:

- Expanding and strengthening existing energy efficiency programs as well as building and appliance standards;
- Achieving a statewide renewable electricity standard of 33 percent;
- Developing a California cap-and-trade program that links with other Western Climate Initiative partner programs to create a regional market system;
- Establishing targets for transportation-related GHG emissions for regions throughout the state, and pursuing policies and incentives to achieve those targets; and

⁷⁹ CARB, *Proposed Early Action Measures to Mitigate Climate Change in California*, April 20, 2007.

- Adopting and implementing measures to reduce transportation sector emissions.

CARB adopted the First Update to the AB 32 Scoping Plan in 2014.⁸⁰ The First Update identified next steps for California's leadership on climate change. It describes progress made to meet the near-term objectives of AB 32 and defines California's climate change priorities and activities for the next several years. It also frames activities and issues facing the state as it develops an integrated framework for achieving both air quality and climate goals in California beyond 2020. Specifically, the First Update covers a range of topics, including the following:

- An update of the latest scientific findings related to climate change and its impacts, including short-lived climate pollutants.
- A review of progress-to-date, including an update of Scoping Plan measures and other state, federal, and local efforts to reduce GHG emissions in California.
- Potential technologically feasible and cost-effective actions to further reduce GHG emissions by 2020.
- Recommendations for establishing a mid-term emissions limit that aligns with the state's long-term goal of an emissions limit 80 percent below 1990 levels by 2050.
- Sector-specific discussions covering issues, technologies, needs, and ongoing state activities to significantly reduce emissions throughout California's economy through 2050.

The First Update found that California is on track to meet the 2020 emissions reduction mandate established by AB 32 and noted that California could reduce emissions further by 2030 to levels in line with those needed to stay on track to reduce emissions to 80 percent below 1990 levels by 2050 if the state realizes the expected benefits of existing policy goals.⁸¹

SB 1368

SB 1368, adopted September 19, 2006, directs the California Energy Commission and the CPUC to adopt a performance standard for GHG emissions for the future electricity used in California, regardless of whether it is generated in-state or purchased from other states.

E.O. S-1-07, the Low Carbon Fuel Standard

On January 18, 2007, E.O. S-1-07 was issued requiring a reduction of at least ten percent in the carbon intensity of California's transportation fuels by 2020. Regulatory proceedings and implementation of the Low Carbon Fuel Standard are CARB's responsibility. The Low Carbon Fuel Standard has been identified by CARB as a discrete early action item in CARB's Scoping Plan. CARB expects the Low

⁸⁰ CARB, *First Update to the Climate Change Scoping Plan*, May 2014.

⁸¹ *Ibid.*, p. 34.

Carbon Fuel Standard to achieve the minimum ten percent reduction goal. However, many of the early action items outlined in the Scoping Plan work in tandem with one another. To avoid the potential for double-counting emission reductions associated with AB 1493 (see previous discussion), the Scoping Plan has modified the aggregate reduction expected from the Low Carbon Fuel Standard to 9.1 percent.

AB 811

AB 811, enacted July 21, 2008, authorizes California cities and counties to designate districts within which willing property owners may enter into contractual assessments to finance the installation of renewable energy generation and energy efficiency improvements that are permanently fixed to the property.

SB 375

SB 375, adopted in September 30, 2008, provides a means for achieving AB 32 goals through the reduction in emissions by cars and light trucks. SB 375 requires Regional Transportation Plans (RTPs) prepared by Metropolitan Planning Organizations (MPOs) to include Sustainable Communities Strategies (SCSs). In adopting SB 375, the Legislature found that improved coordination between land use planning and transportation planning is needed in order to achieve the GHG emissions reduction target of AB 32. Further, the staff analysis for the bill prepared for the Senate Transportation and Housing Committee's August 29, 2008 hearing on SB 375 began with the following statement: "According to the author, this bill will help implement AB 32 by aligning planning for housing, land use, transportation and greenhouse gas emissions for the 17 MPOs in the state." Under the Sustainable Communities Act, CARB sets regional targets for GHG emissions reductions from passenger vehicle use. CARB has set the following reduction targets for SCAG: reduce per capita 8 percent of GHG emissions below 2005 levels by 2020 and 13 percent below 2005 levels by 2035.

E.O. S-13-08

On November 14, 2008, E.O. S-13-08 was signed to direct California to develop methods for adapting to climate change impacts through preparation of a statewide plan. In response to this order, the California Natural Resources Agency coordinated with ten state agencies, multiple scientists, a consulting team, and stakeholders to develop the first statewide, multi-sector adaptation strategy in the country. The resulting report, 2009 California Climate Adaptation Strategy, summarizes the best-known science to assess the vulnerability of the state to climate change impacts, and outlines possible solutions that can be implemented within and across state agencies to promote resiliency. This strategy is the first step in an evolving process to reduce California's vulnerability to climate change impacts.

Adaptation refers to efforts that prepare the state to respond to the impacts of climate change – adjustments in natural or human systems to actual or expected climate changes to minimize harm or take advantage of beneficial opportunities. California's ability to manage its climate risks through adaptation depends on a number of critical factors. These include its baseline and projected economic resources, technology, infrastructure, institutional support and effective governance, public awareness, access to the best available scientific information, sustainably-managed natural resources, and equity in access to these resources.

State CEQA Guidelines Section 15064.4

State CEQA Guidelines Section 15064.4 requires that, in performing environmental review under CEQA, an agency should make a good-faith effort, based to the extent possible on scientific and factual data, to describe, calculate, or estimate the amount of GHG emissions resulting from a project. The lead agency has discretion to determine whether to use a model or methodology to quantify GHG emissions, and which model or methodology to use, or rely on a qualitative analysis or performance-based standards. The lead agency should consider the following factors, among others, when assessing the significance of impacts from GHG emissions on the environment:

- The extent to which a project may increase or reduce GHG emissions as compared to the existing environmental setting.
- Whether a project's GHG emissions exceed a threshold of significance that the lead agency determines applies to the project.
- The extent to which a project complies with regulations or requirements adopted to implement a statewide, regional, or local plan for the reduction or mitigation of GHG emissions.
- Such requirements must be adopted by the relevant public agency through a public review process and must reduce or mitigate the project's incremental contribution of GHG emissions. If there is substantial evidence that the possible effects of a particular project are still cumulatively considerable notwithstanding compliance with the adopted regulations or requirements, an EIR must be prepared for the project.

SB 743

SB 743, adopted September 27, 2013, encourages land use and transportation planning decisions and investments that reduce VMT, which contribute to GHG emissions, as required by AB 32. Key provisions of SB 743 include reforming aesthetics and parking CEQA analysis for certain urban infill projects and eliminating the measurement of auto delay, including level of service (LOS), as a metric that can be used for measuring traffic impacts in transit priority areas. SB 743 requires the Governor's Office of Planning and Research (OPR) to develop revisions to the CEQA Guidelines establishing criteria for determining the significance of transportation impacts of projects within transit priority areas that promote the "...reduction of greenhouse gas emissions, the development of multimodal transportation networks, and a diversity of land uses." It also allows OPR to develop alternative metrics outside of transit priority areas.

CalGreen

CalGreen is the first statewide Green Building Code. It was developed to provide a consistent approach for green building within California and took effect January 2011. CalGreen lays out minimum requirements for newly constructed buildings in California, which will reduce GHG emissions through improved efficiency and process improvements. It requires builders to install plumbing that cuts indoor water use by as much as 20 percent, to divert 50 percent of construction waste from landfills to recycling, and to use low-pollutant paints, carpets, and floors. CalGreen is updated every three years.

SBs 1078/107/X 1-2, Renewables Portfolio Standard and Renewable Energy Resources Act

SB 1078 and 107, California's Renewables Portfolio Standard, obligated investor-owned energy service providers and Community Choice Aggregations to procure an additional 1 percent of retail sales per year from eligible renewable sources until 20 percent was reached (by 2010). The CPUC and California Energy Commission are jointly responsible for implementing the program. SB X 1-2, called the California Renewable Energy Resources Act, obligates all California electricity providers to obtain at least 33 percent of their energy from renewable resources by 2020.

E.O. S-01-07

This E.O. S-01-07 established a Low-Carbon Fuel Standard and directed the Secretary of Cal-EPA to develop and propose protocols for measuring the life-cycle carbon intensity of transportation fuels.

E.O. B-30-15

On April 29, 2015, Governor Brown issued E.O. B-30-15, stating a new statewide policy goal to reduce GHG emissions 40 percent below their 1990 levels by 2030. The E.O. establishes GHG emissions reduction targets to reduce emissions to 80 percent below 1990 levels by 2050 and sets an interim target of emissions reductions for 2030 as being necessary to guide regulatory policy and investments in California and put California on the most cost-effective path for long-term emissions reductions. The EO orders "all state agencies with jurisdiction over sources of [GHG] emissions [to] ... implement measures, pursuant to statutory authority, to achieve reductions of [GHG] emissions to meet the 2030 and 2050 [GHG] emissions reductions targets." It directs CARB to "update the Climate Change Scoping Plan to express the 2030 target in terms of million metric tons of carbon dioxide equivalent." It directs the Natural Resources Agency to update "Safeguarding California" (the state's climate adaptation strategy) every three years, as specified; directs state agencies to "take climate change into account in their planning and investment decisions, and employ full life-cycle cost accounting to evaluate and compare infrastructure investments and alternatives;" and orders the "State's Five-Year Infrastructure Plan [to] take current and future climate change impacts into account in all infrastructure projects." Among its other directives, the EO provides that "State agencies' planning and investment shall be guided by the ... principle that priority should be given to actions that both build climate preparedness and reduce GHG emissions."

SB 32

On September 8, 2016, California signed into law SB 32, which adds Section 38566 to the Health and Safety Code and requires a commitment to reducing statewide GHG emissions by 2020 to 1990 levels and by 2030 to 40 percent less than 1990 levels. SB 32 was passed with companion legislation AB 197, which provides additional direction for developing the Scoping Plan.

In December 2017, CARB adopted a second update to the Scoping Plan to reflect the 2030 targets set by Executive Order B-30-15 and codified by SB 32. This update calls for strategies that cap the state's GHG emissions at 260 MMTCO₂e by 2030, and would represent a 40 percent reduction from 1990 levels. This includes several key elements, including the following:

- Relying on California’s previously-codified statutory commitment to generate at least half of its electricity from renewable resources by 2030;
- Making more stringent CARB’s pioneering Low Carbon Fuel Standard;
- Depending on the California Energy Commission to strengthen dramatically the state’s already-stringent building and appliance efficiency standards;
- Enforcing strong new rules to reduce state methane and other short-lived climate pollutants that are especially pernicious;
- Supporting and preserving California’s natural and working landscapes in order to enhance carbon sequestration;
- Devising transformative changes to California’s public and private transportation sectors, including a ramped-up conversion of private vehicles from carbon-based to alternative fuels, increased public transit opportunities and progressive land use policies that allow Californians to live closer to their workplaces, thus reducing individual and statewide vehicle miles traveled; and
- Continuing the state’s cap-and-trade program.

As shown on Table 6-17, these reductions are to come from a variety of sectors, including energy, transportation, electric power, waste, and the State’s cap-and-trade emissions program. Nearly all reductions are to come from sources that are controlled at the statewide level by State agencies, including CARB, the CPUC, High Speed Rail Authority, and California Energy Commission. The few actions that are directly or indirectly associated with local government control are in the Transportation sector, which is charged with reducing 4.5 percent of baseline 2020 emissions. Of these actions, only one (GHG emissions reductions through coordinated planning) specifically identifies local governments as the responsible agency.

Center for Biological Diversity v. California Department of Fish and Wildlife

On November 30, 2015, the California Supreme Court issued an opinion on GHG emissions significance thresholds for CEQA in the case *Center for Biological Diversity et al. vs. California Department of Fish and Wildlife* (commonly referred to as the Newhall decision) (224 Cal.App.4th 1105) reviewed the methodology used to analyze GHG emissions in an EIR prepared for a project that proposed 20,885 dwelling units with 58,000 residents on 12,000 acres of undeveloped land in a rural area of the County of Los Angeles (unincorporated). That EIR used a “business as usual” (BAU) approach to determine whether the project would impede the state’s compliance with statutory emissions reduction mandate established by the Scoping Plan.

Table 6-17
Examples Of Emission Reductions Needed To Meet Climate Change Scoping Plan Objectives In 2030

Sector	1990 Inventory (Million Metric Tons of CO₂e)	Percent Change from 1990 (MMTCO₂e)	Summary of Recommended Actions
Electric Power	108	-8	Reduce state's electric and energy utility emissions, reduce emissions from large industrial facilities, control fugitive emissions from oil and gas production, reduce leaks from industrial facilities
Transportation	152	-32	Phase 2 heavy-duty truck GHG emissions standards, zero-emission vehicles (ZEV) action plan for trucks, construct High Speed rail system from San Francisco to Los Angeles, coordinated land use planning, Sustainable Freight Strategy
Industrial	98	-15	Reduce use of high-global-warming-potential compounds from refrigeration, air conditioning, aerosols
Waste	7	-29	Eliminate disposal of organic materials at landfills, in-state infrastructure development, address challenges with composting and anaerobic digestion, additional methane control and landfills
<i>Source: Cal EPA, California's 2017 Climate Change Scoping Plan, Nov. 2017</i>			

While the Supreme Court held that establishing a significance criterion based on consistency with AB 32's reduction goals was appropriate, the Court found that there was no substantial evidence supporting the conclusion of the EIR at issue in that case that the project would be consistent with AB 32's reduction goals. As noted above, AB 32 requires statewide GHG emissions to return to 1990 levels by 2020. In the AB 32 Scoping Plan, CARB determined that meeting this statewide GHG reduction goal would require a 29 percent reduction in statewide emissions from a business-as-usual approach (i.e., an approach with no conservation or regulatory efforts beyond what was in place when the forecast was made). Based on this, the EIR had concluded the project would not result in a significant climate change impact, because the project was designed to reduce GHG emissions by 31 percent over a BAU approach. The Supreme Court found that there was no substantial evidence that the project-level reduction of 31 percent in comparison to BAU is consistent with AB 32's statewide goal of a 29 percent reduction from BAU. The court reasoned that the Scoping Plan nowhere related its statewide level of reduction efforts to the percentage of reduction that would or should be required from individual projects, and nothing in the administrative record indicated that the required percentage reduction from business as usual is the same for an individual project as for the entire state population and economy. The Court suggested, however, that an appropriate threshold could assess whether a project would comply with regulatory programs designed to reduce emissions from particular activities. The Court recognized that to the extent a project's design features comply with or exceed the regulations outlined in the Scoping Plan, and adopted by CARB or other state agencies, a lead agency could appropriately rely on their use as showing compliance with performance-based standards adopted to fulfill a statewide plan for the reduction or mitigation of GHG emissions. This approach is consistent with CEQA Guidelines Section 15064, which provides that a

determination that an impact is not cumulatively considerable may rest on compliance with previously adopted plans or regulations, including plans or regulations for the reduction of GHG emissions.

Regional

SCAG's 2016-2040 RTP/SCS

The California Legislature passed SB 375 to connect regional transportation planning to land use decisions made at a local level. SB 375 requires MPOs to prepare an SCS in their RTPs to achieve the per capita GHG emissions reduction targets. For the SCAG region, the SCS is contained in the 2016-2040 RTP/SCS. The RTP/SCS focuses the majority of new housing and job growth in high-quality transit areas and other opportunity areas on existing main streets, in downtowns, and commercial corridors, resulting in an improved jobs-housing balance and more opportunity for transit-oriented development. At the regional level, the 2016-2040 RTP/SCS represents the region's Climate Action Plan that defines strategies for reducing GHG emissions.

While Southern California is a leader in reducing emissions, and ambient levels of air pollutants are improving, the SCAG region continues to have the worst air quality in the nation. SCAG is the MPO for the six-county region that includes Los Angeles, Orange, Riverside, Ventura, San Bernardino and Imperial counties. The 2016–2040 RTP/SCS includes commitments to reduce emissions from transportation sources to comply with SB 375. Goals and policies included in the 2016–2040 RTP/SCS to reduce air pollution consist of adding density in proximity to transit stations, mixed-use development and encouraging active transportation (i.e., non-motorized transportation such as bicycling). SCAG promotes the following policies and actions related to active transportation to help the region confront congestion and mobility issues and consequently improve air quality:

- Implement Transportation Demand Management (TDM) strategies including integrating bicycling through folding bikes on buses programs, triple racks on buses, and dedicated racks on light and heavy rail vehicles;
- Encourage and support local jurisdictions to develop "Active Transportation Plans" for their jurisdiction if they do not already have one;
- Expand Compass Blueprint program to support member cities in the development of bicycle plans;
- Expand the Toolbox Tuesday's program to encourage local jurisdictions to direct enforcement agencies to focus on bicycling and walking safety to reduce multimodal conflicts;
- Support local advocacy groups and bicycle-related businesses to provide bicycle-safety curricula to the general public;
- Encourage children, including those with disabilities, to walk and bicycle to school;

- Encourage local jurisdictions to adopt and implement the proposed SCAG Regional Bikeway Network; and
- Support local jurisdictions to connect all of the cities within the SCAG region via bicycle facilities.

SB 375 requires CARB to develop regional CO₂ emission reduction targets, compared to 2005 emissions, for cars and light trucks only for 2020 and 2035 for each MPO. Each MPO is to prepare an SCS as part of the RTP in order to reduce CO₂ by better aligning transportation, land use, and housing. For SCAG, the targets are to reduce per capita emissions 8 percent below 2005 levels by 2020 and 13 percent below 2005 levels by 2035.⁸² The 2016–2040 RTP/SCS states that the region will meet or exceed the SB 375 per capita targets, lowering regional per capita GHG emissions (below 2005 levels) by eight percent by 2020 and 18 percent by 2035. The 2016–2040 RTP/SCS also states that regional 2040 per capita emissions would be reduced by 22 percent, although CARB has not established a 2040 per capita emissions target.

SCAQMD

The SCAQMD adopted a Policy on Global Warming and Stratospheric Ozone Depletion on April 6, 1990. The policy commits the SCAQMD to consider global impacts in rulemaking and in drafting revisions to the AQMP. In March 1992, the SCAQMD Governing Board reaffirmed this policy and adopted amendments to the policy. SCAQMD released draft guidance regarding interim CEQA GHG emissions significance thresholds. SCAQMD proposed the use of a percent emission reduction target (e.g., 30 percent) to determine significance for commercial/residential projects that emit greater than 3,000 metric tons of CO₂e per year. On December 5, 2008, the SCAQMD Governing Board adopted the staff proposal for an interim GHG emissions significance threshold of 10,000 metric tons of CO₂e for stationary source/industrial projects where the SCAQMD is the lead agency.

However, the SCAQMD has yet to adopt GHG emissions significance thresholds for land use development or transportation projects and has formed a GHG CEQA Significance Threshold Working Group to further evaluate potential GHG emissions significance thresholds. The GHG CEQA Significance Threshold Working Group is tasked with providing guidance to local lead agencies on determining significance for GHG emissions in their CEQA documents. Members of the working group included government agencies implementing CEQA and representatives from various stakeholder groups that will provide input to the SCAQMD staff on developing CEQA GHG emissions significance thresholds. The working group discussed multiple methodologies for determining Project significance. These methodologies included categorical exemptions, consistency with regional GHG emissions budgets in approved plans, a numerical threshold, performance standards, and emissions offsets. The GHG CEQA Significance Threshold Working Group has not convened since 2008.

⁸² SCAG, *2016–2040 Regional Transportation Plan/Sustainable Communities Strategy*, 2016.

Local

GreenLA Climate Action Plan

The City has issued guidance promoting sustainable development to reduce GHG emissions citywide in the form of a Climate Action Plan (CAP). The objective of GreenLA is to reduce GHG emissions 35 percent below 1990 levels by 2030.⁸³ GreenLA identifies goals and actions designed to make the City a leader in confronting global climate change. The measures would reduce emissions directly from municipal facilities and operations, and create a framework to address citywide GHG emissions. GreenLA lists various focus areas in which to implement GHG emissions reduction strategies. Focus areas include energy, water, transportation, land use, waste, port, airport, and ensuring that changes to the local climate are incorporated into planning and building decisions. City goals for each focus area are identified as follows:

- Energy
 - Increase the generation of renewable energy;
 - Encourage the use of mass transit;
 - Develop sustainable construction guidelines;
 - Increase citywide energy efficiency; and
 - Promote energy conservation.
- Water
 - Decrease per capita water use to reduce electricity demand associated with water pumping and treatment.
- Transportation
 - Power the city vehicle fleet with alternative fuels; and
 - Promote alternative transportation (e.g., mass transit and rideshare).
- Other Goals
 - Create a more livable City through land use regulations;
 - Increase recycling;

⁸³ *City of Los Angeles, GreenLA: An Action Plan to Lead the Nation in Fighting Global Warming, May 2007.*

- Reduce emissions generated by activity associated with the Port of Los Angeles and regional airports;
- Create more city parks, promoting the environmental economic sector; and
- Adapt planning and building policies to incorporate climate change policy.

In order to provide detailed information on action items discussed in GreenLA, the City published an implementation document titled ClimateLA.⁸⁴ ClimateLA presents the existing GHG emissions inventory for the City, describes enforceable GHG emissions reduction requirements, provides mechanisms to monitor and evaluate progress, and includes mechanisms that allow the plan to be revised in order to meet targets. By 2030, the plan aims to reduce GHG emissions by 35 percent from 1990 levels, which were estimated to be approximately 54.1 million metric tons.

Thus, the City will need to lower annual GHG emissions to approximately 35.1 million metric tons per year by 2030. To achieve these reductions the City has developed strategies that focus on energy, water use, transportation, land use, waste, open space and greening, and economic factors. To reduce emissions from energy usage, ClimateLA proposes the following goals: increase the amount of renewable energy provided by the Los Angeles Department of Water and Power (LADWP); present a comprehensive set of green building policies to guide and support private sector development; reduce energy consumed by City facilities and utilize solar heating where applicable; and help citizens to use less energy. With regard to waste, ClimateLA sets the goal of reducing or recycling 70 percent of trash by 2015. With regard to open space and greening, ClimateLA includes the following goals: create 35 new parks; revitalize the Los Angeles River to create open space opportunities; plant one million trees throughout the City; identify opportunities to “daylight” streams; identify promising locations for stormwater infiltration to recharge groundwater aquifers; and collaborate with schools to create more parks in neighborhoods.

Sustainable City pLAn

In addition to GreenLA, Mayor Eric Garcetti released Los Angeles’s first-ever Sustainable City pLAn (pLAn) on April 8, 2015.⁸⁵ The pLAn is a roadmap to achieving short-term results, and sets a path to strengthen and transform the City in future decades. Recognizing the risks posed by climate change, Mayor Garcetti set time-bound outcomes on climate action, most notably to reduce GHG emissions by 45 percent by 2025, 60 percent by 2035, and 80 percent by 2050, all against a 1990 baseline. Through the completion and verification of the GHG inventory update, the City concluded the following:

- The City accounted for approximately 36.2 million metric tons of CO₂e in 1990;
- The City's most recent inventory shows that emissions fell to 26.7 million metric tons of CO₂e in 2016; and

⁸⁴ *City of Los Angeles, CLIMATELA Municipal Program Implementing the GreenLA Climate Action Plan, 2008.*

⁸⁵ *City of Los Angeles, Los Angeles Climate Action Report: Updated 1990 Baseline and 2013 Emissions Inventory Summary, 2015.*

- L.A.'s emissions are 26 percent below the 1990 baseline as of 2016, putting the City more than halfway to the 2025 pLAN reduction target of 45 percent. In addition, the 20 percent reduction exceeds the 15 percent statewide goal listed in the First Update to the AB 32 Scoping Plan.

Green Building Program

The purpose of the City's Green Building Program is to reduce the use of natural resources, create healthier living environments and minimize the negative impacts of development on local, regional, and global ecosystems. The program consists of a Standard of Sustainability and Standard of Sustainable Excellence. The program addresses the following five key areas:

- Project Sites: location, site planning, landscaping, storm water management, construction and demolition recycling;
- Water Efficiency: efficient fixtures, wastewater reuse, and efficient irrigation;
- Energy & Atmosphere: energy efficiency, and clean/renewable energy;
- Materials & Resources: materials reuse, efficient building systems, and use of recycled and rapidly renewable materials; and
- Indoor Environmental Quality: improved indoor air quality, increased natural lighting, and improved thermal comfort/control.

The Standard of Sustainability establishes a requirement for non-residential projects at or above 50,000 square feet of floor area, high-rise residential (above six stories) projects at or above 50,000 square feet of floor area, or low-rise residential (six stories or less) of 50 or more dwelling units within buildings of at least 50,000 square feet of floor area to meet the intent of the U.S. Green Building Council's Leadership in Energy and Environmental Design (LEED) Certified level. The Standard also applies to existing buildings that meet the minimum thresholds described above when redevelopment construction costs exceed a valuation of 50 percent of the existing building's replacement cost. The voluntary Standard of Sustainable Excellence establishes an incentive program for projects that register with the LEED program, contract with a certified LEED professional, and can demonstrate how the Project will achieve LEED certification at a Silver or higher level.

Los Angeles Green Building Code

The City has adopted the Green Building Code to reduce the City's carbon footprint. The Green Building Code is applicable to new buildings and alterations with building valuations over \$200,000 (residential and non-residential). The Green Building Code is based on the 2010 California Green Building Standards Code, commonly known as CalGreen that was developed and mandated by the State to attain consistency among the various jurisdictions within the State; reduce the building's energy and water use; and reduce waste (see discussion of CalGreen, above).

Existing Emissions from the Project Sites

To characterize existing conditions on the Project Sites, an emissions model is prepared using the California Emission Estimator Model (CalEEMod version 2016.3.2) to estimate the magnitude of annual GHG emissions associated with the existing uses.

Site 1 is currently developed with a 7,000 square-foot food service building and a surface parking lot. Site 2 is currently developed with a 133-space surface parking lot. Because the parking lots themselves do not generate vehicle traffic or emissions, the sole source of existing anthropogenic GHG emissions is the food service building. As shown on Table 6-18, the bulk of GHG emissions from this facility are generated from mobile sources that travel to and from the facility.

Table 6-18
Existing Daily Operations Emissions

Emissions Source	Daily Emissions (Pounds Per Day)			
	CO ₂	CH ₄	N ₂ O	CO ₂ e
Area Sources	<1	0	0	<1
Energy Sources	23	<1	<1	24
Mobile Sources	499	<1	0	500
Total	523	<1	<1	524

Source: DKA Planning, 2018, based on CalEEMod 2016.3.2 model runs. Refer to Appendix F.

Impact Analysis

Methodology

The methodology utilized for this analysis is based on a Technical Advisory released by the Governor's OPR on June 19, 2008 titled *CEQA and Climate Change: Addressing Climate Change Through California Environmental Quality Act (CEQA) Review*.

The California Climate Action Registry (Climate Registry) General Reporting Protocol provides basic procedures and guidelines for calculating and reporting GHG emissions from a number of general and industry-specific activities.⁸⁶ The General Reporting Protocol is based on the "Greenhouse Gas Protocol: A Corporate Accounting and Reporting Standard" developed by the World Business Council for Sustainable Development and the World Resources Institute through "a multi-stakeholder effort to develop a standardized approach to the voluntary reporting of GHG emissions."⁸⁷ The General Reporting Protocol provides a basic framework for calculating and reporting GHG emissions from the Project. The information provided in this analysis is consistent with the General Reporting Protocol's reporting requirements.

⁸⁶ California Climate Action Registry, *General Reporting Protocol Version 3.1, January 2009*, www.sfenvironment.org/sites/default/files/fliers/files/ccar_grp_3-1_january2009_sfe-web.pdf, accessed April 7, 2018.

⁸⁷ *Ibid.*

The General Reporting Protocol recommends the separation of GHG emissions into three categories that reflect different aspects of ownership or control over emissions. They include the following:

- Scope 1: Direct, on-site combustion of fossil fuels (e.g., natural gas, propane, gasoline, and diesel).
- Scope 2: Indirect, off-site emissions associated with purchased electricity or purchased steam.
- Scope 3: Indirect emissions associated with other emissions sources, such as third-party vehicles and embodied energy (e.g., energy used to convey, treat, and distribute water and wastewater).⁸⁸

The General Reporting Protocol provides a range of basic calculations methods. However, the General Reporting Protocol calculations are typically designed for existing buildings or facilities. These retrospective calculation methods are not directly applicable to planning and development situations where buildings do not yet exist.

CARB recommends consideration of indirect emissions to provide a more complete picture of the GHG emissions footprint of a facility. Annually reported indirect energy usage aids the conservation awareness of a facility and provides information to CARB to be considered for future strategies.⁸⁹ For example, CARB has proposed requiring the calculation of direct and indirect GHG emissions as part of the AB 32 reporting requirements. Additionally, the OPR has noted that lead agencies “should make a good-faith effort, based on available information, to calculate, model, or estimate... GHG emissions from a project, including the emissions associated with vehicular traffic, energy consumption, water usage and construction activities.”⁹⁰ Therefore, direct and indirect emissions have been calculated for the Project.

GHG emissions were quantified from construction and operation of the Project using SCAQMD’s CalEEMod, version 2016.3.2. CalEEMod is a statewide land use emissions computer model designed to provide a uniform platform for government agencies, land use planners, and environmental professionals to quantify potential criteria pollutant and GHG emissions associated with both construction and operations from a variety of land use projects. The model is considered by the SCAQMD to be an accurate and comprehensive tool for quantifying air quality and GHG impacts from land use projects throughout California.⁹¹

Both one-time emissions and indirect emissions are expected to occur each year after build-out of the Project. One-time emissions from construction and vegetation removal were amortized over a 30-year

⁸⁸ *Embodied energy is a scientific term that refers to the quantity of energy required to manufacture and supply to the point of use a product, material, or service.*

⁸⁹ *California Air Resources Board, Initial Statement of Reasons for Rulemaking, Proposed Regulation for Mandatory Reporting of Greenhouse Gas Emissions Pursuant to the California Global Warming Solutions Act of 2006 (AB 32), Planning and Technical Support Division Emission Inventory Branch, October 19, 2007, www.arb.ca.gov/regact/2007/ghg2007/isor.pdf, accessed April 7, 2018.*

⁹⁰ *OPR Technical Advisory, p. 5.*

⁹¹ *See www.caleemod.com.*

period in accordance with SCAQMD guidance, in order to provide an annual construction emissions estimate comparable to operational emissions. Operational emissions include both direct and indirect sources including mobile sources, water use, solid waste, area sources, natural gas, and electricity use emissions. The Project emission reductions are results of the Project's commitments and regulatory changes, which include the implementation of the Renewables Portfolio Standard of 33 percent, the Pavley regulation and Advanced Clean Cars program mandating higher fuel efficiency standards for light-duty vehicles, and the Low Carbon Fuel Standard.

Thresholds of Significance

In accordance with Appendix H of the State CEQA Guidelines (CEQA Guidelines), a project would have a significant impact related to GHG emissions if the project would do the following:

- (a): Generate GHG emissions, either directly or indirectly, that may have a significant impact on the environment;**
- (b): Conflict with any applicable plan, policy or regulation of an agency adopted for the purpose of reducing the emissions of GHGs.**

Section 15064.4 of the CEQA Guidelines was adopted to assist lead agencies in determining the significance of the impacts of GHGs, and recommends that lead agencies quantify GHG emissions of projects where possible and includes language necessary to avoid an implication that a "life-cycle" analysis is required. In addition to quantification, Section 15064.4 recommends consideration of several other qualitative factors that may be used in the determination of significance (i.e., extent to which a project may increase or reduce GHG emissions; whether a project exceeds an applicable significance threshold; and the extent to which a project complies with regulations or requirements adopted to implement a reduction or mitigation of GHG emissions).

Section 15064.4 does not establish a threshold of significance. Lead agencies are called on to establish significance thresholds for their respective jurisdictions in which a lead agency may appropriately look to thresholds developed by other public agencies, or suggested by other experts, such as the California Air Pollution Control Officers Association (CAPCOA), as long as any threshold chosen is supported by substantial evidence (see CEQA Guidelines Section 15064.7[c]). The CEQA Guidelines amendments also clarify that the effects of GHG emissions are cumulative, and should be analyzed in the context of CEQA's requirements for cumulative impact analysis (see CEQA Guidelines Section 15130[f]).⁹²

Although GHG emissions can be quantified, CARB, the SCAQMD and the City have yet to adopt project-level significance thresholds for GHG emissions that would be applicable to the Project.⁹³

⁹² See, generally, Section 15130(f); see also Letter from Cynthia Bryant, Director of the Office of Planning and Research to Mike Chrisman, Secretary for Natural Resources, dated April 13, 2009.

⁹³ The South Coast Air Quality Management District has formed a GHG Significance Threshold Working Group. More information on this Working Group is available at www.aqmd.gov/home/regulations/ceqa/air-quality-analysis-handbook/ghg-significance-thresholds/page/2, accessed April 7, 2018.

As indicated above, the CEQA Guidelines were amended in response to SB 97. In particular, the CEQA Guidelines were amended to specify that compliance with a GHG emissions reduction plan renders a cumulative impact insignificant.

Per CEQA Guidelines Section 15064(h)(3), a project's incremental contribution to a cumulative impact can be found not cumulatively considerable if the project would comply with an approved plan or mitigation program that provides specific requirements that would avoid or substantially lessen the cumulative problem within the geographic area of the project.⁹⁴ To qualify, such a plan or program must be specified in law or adopted by the public agency with jurisdiction over the affected resources through a public review process to implement, interpret, or make specific the law enforced or administered by the public agency.⁹⁵ Examples of such programs include a "water quality control plan, air quality attainment or maintenance plan, integrated waste management plan, habitat conservation plan, natural community conservation plans [and] plans or regulations for the reduction of greenhouse gas emissions."⁹⁶ Put another way, CEQA Guidelines Section 15064(h)(3) allows a lead agency to make a finding of less than significant for GHG emissions if a project complies with program and/or other regulatory schemes to reduce GHG emissions.⁹⁷

Accordingly, and in conformance with the California Supreme Court's decision in the *Center for Biological Diversity et al. vs. California Department of Fish and Wildlife* case, in the absence of any adopted, quantitative threshold, the significance of the Project's GHG emissions is evaluated consistent with CEQA Guidelines Section 15064.4(b)(2) by considering whether the Project complies with applicable plans, policies, regulations and requirements adopted to implement a statewide, regional, or local plan for the reduction or mitigation of greenhouse gas emissions. For this Project, as a land use development project, the most directly applicable adopted regulatory plan to reduce GHG emissions is the 2016-2040 RTP/SCS, which is designed to achieve regional GHG reductions from the land use and transportation sectors as required by SB 375 and the State's long-term climate goals. This analysis also considers consistency with regulations or requirements adopted by the AB 32 Climate Change Scoping

⁹⁴ 14 CCR § 15064(h)(3).

⁹⁵ *Ibid.*

⁹⁶ *Ibid.*

⁹⁷ See, for example, *San Joaquin Valley Air Pollution Control District, CEQA Determinations of Significance for Projects Subject to ARB's GHG Cap-and-Trade Regulation, APR—2030 (June 25, 2014)*, in which the SJVAPCD "determined that GHG emissions increases that are covered under ARB's Cap-and-Trade regulation cannot constitute significant increases under CEQA..." Further, the SCAQMD has taken this position in CEQA documents it has produced as a lead agency. The SCAQMD has prepared three Negative Declarations and one Draft Environmental Impact Report that demonstrate the SCAQMD has applied its 10,000 MTCO₂e/yr. significance threshold in such a way that GHG emissions covered by the Cap-and-Trade Program do not constitute emissions that must be measured against the threshold. See: SCAQMD, *Final Negative Declaration for: Ultramar Inc. Wilmington Refinery Cogeneration Project*, SCH No. 2012041014 (October 2014); SCAQMD, *Final Negative Declaration for Phillips 66 Los Angeles Refinery Carson Plant—Crude Oil Storage Capacity Project*, SCH No. 2013091029 (December 2014); *Final Mitigated Negative Declaration for Toxic Air Contaminant Reduction for Compliance with SCAQMD Rules 1420.1 and 1402 at the Exide Technologies Facility in Vernon, CA*, SCH No. 2014101040 (December 2014); and *Draft Environmental Impact Report for the Breitburn Santa Fe Springs Blocks 400/700 Upgrade Project*, SCH No. 2014121014 (April 2014).

Plan, the City of Los Angeles' LA Green Plan, and the Sustainable City pLAn. As discussed above, OPR has noted that lead agencies should make a good-faith effort to calculate or estimate GHG emissions from a project. Project GHG emissions are therefore quantified below, consistent with OPR guidelines.

Project Design Features

The following measures are included as part of the Project and would reduce GHG emissions:

- The Project shall not include natural gas-fueled fireplaces in the proposed residential units.
- Twenty percent of the Project's provided vehicle parking spaces would be capable of accommodating electric vehicle (EV) charging stations, and an additional five percent would be wired as EV charging stations for immediate use.
- The Project would incorporate approximately 10,500 square feet of solar voltaic panes on building roof levels. Approximately 4,500 square feet would be included on Site 1, and approximately 6,000 square feet would be included on Site 2.
- Windows would be included in all living units and common spaces for natural daylight, reducing the need for overhead lighting impacting the need for electricity. High-performance dual-pane windows and exterior materials would be used in order to reduce the need for energy driven mechanical systems.
- Active energy conservation strategies would include implementing LED lighting with daylighting controls and dimming capabilities, installing motion detector controls for all circulation and auxiliary spaces, providing Energy Star qualified appliances.
- Materials selection for the building would be made taking into consideration energy conservation, durability, reduction of air pollutants and recycling. Products would be chosen for their resiliency and durability in order to help offset maintenance costs. Finish materials would have no or low volatile organic (VOC) compounds, in order to help reduce the introduction of harmful chemicals into the building. Materials would be chosen for their pre/post-consumer content to reduce the amount of virgin material being used and reduce amount of waste.
- Plants and their substrate would act as a natural water filter reducing the contamination of water that leaves the site. Low-maintenance native and adapted plants would be chosen for landscaped areas and will take into consideration creating create mini-ecosystems with habitats for birds and beneficial insects in order to increase the biodiversity at the site. The landscaped area could reduce the urban heat island effect and smog as the plants act as a natural air filter and absorb heat versus reflecting it. Pervious paving areas may also be used to reduce the amount of hardscape, decrease storm water run-off, and cool the microclimate of the building.
- High-efficiency toilets with a flush volume of 1.0 gallon per flush, or less.
- Showerheads with a flow rate of 1.5 gallons per minute (gpm) or less.

- Residential bathroom faucets equipped with aerators to reduce flow to 1.0 gpm or less.
- Drip/subsurface irrigation (micro-irrigation)
- Micro-spray
- Proper hydro-zoning/zoned irrigation (group plants with similar water requirements)
- Artificial turf
- Drought-tolerant plants – 50 percent of total landscaping

Project Impacts

Construction Emissions

Construction of the Project would generate GHG emissions through the combustion of fossil fuels by heavy-duty construction equipment and through vehicle trips generated by construction workers and vendors traveling to and from the Project Sites. These emissions would vary day to day over the 49-month duration of construction activities. As shown on Table 6-19, construction emissions of CO₂e would peak in 2020, when up to 13,742 pounds of CO₂e per day are anticipated. These emissions are further incorporated in the assessment of long-term operational impacts by amortizing the total of all construction emissions over a 30-year period, pursuant to guidance from the State and SCAQMD.

Table 6-19
Estimated Construction Emissions –
Unmitigated (Pounds per Day)

Construction Year	CO₂	CH₄	N₂O	CO₂e
2019 (Site 1)	24,392	2	0	24,433
2020 (Site 1)	21,323	2	0	21,370
2021 (Site 1)	6,017	1	0	6,038
2022 (Site 1)	501	<1	0	502
2022 (Site 2)*	30,126	2	0	30,181
2023 (Site 2)*	6,010	<1	0	6,023
Total (Annualized Emissions MTCO₂e)	2,213	<1	0	2,219
<i>Pounds per Day</i>				
<i>* Site 2 construction would commence after completion of Site 1 work.</i>				
<i>Source: DKA Planning, 2018, based on CalEEMod 2016.3.2. Refer to Appendix F.</i>				

Operational Emissions

Area Source Emissions

Area source emissions were calculated using the CalEEMod emissions inventory model, which includes hearths and landscape maintenance equipment. This includes the Project's prohibition of natural gas-

fueled fireplaces in the development. As shown on Table 6-20, the Project is expected to result in a total of approximately 13 MTCO₂e of GHG emissions per year from area sources.

Table 6-20
Estimated Annual CO₂e Greenhouse Gas Emissions

Source	Annual Emissions
Area Sources	13
Energy Sources	2,746
Mobile Sources	2,616
Waste Sources	200
Water Sources	723
Construction	74
Total Emissions	6,372
<i>metric tons per year</i>	
<i>Daily construction emissions amortized over 30-year period pursuant to SCAQMD guidance. Annual construction emissions derived by taking total emissions over duration of activities and dividing by construction period.</i>	
<i>Source: DKA Planning, 2018.</i>	

Energy Source Emissions

Electricity and natural gas emissions were calculated using the CalEEMod emissions inventory model, which multiplies an estimate of the energy usage by applicable emissions factors chosen by the utility company. As shown on Table 6-20, Project GHG emissions from electricity and natural gas usage would result in a total of approximately 2,746 MTCO₂e per year. This accounts for a 42 percent reduction in energy source emissions with implementation of several statewide energy conservation programs, including reducing energy production emissions from the state's renewables portfolio standard (33 percent), natural gas extraction efficiency measures (1.6 percent), and natural gas transmission and distribution efficiency measures (7.4 percent). In addition, the Project includes design features, such as the incorporation of approximately a total of 10,500 square feet of solar voltaic panels on all roof levels that would reduce energy demand from the Project.

Mobile Source Emissions

Mobile-source emissions were calculated using the SCAQMD-recommended CalEEMod emissions inventory model. CalEEMod calculates the emissions associated with on-road mobile sources associated with residents, employees, visitors, and delivery vehicles visiting the Project Sites based on the number of daily trips generated and VMT.

Mobile source operational GHG emissions were calculated using CalEEMod and are based on the Project trip-generation estimates provided by Linscott Law & Greenspan in the Project's traffic study. As shown in Table 6-20, the Project GHG emissions from mobile sources would result in a total of 2,616 MTCO₂e per year.

As shown on Table 6-21, the Project's profile as an urban infill, mixed-use development with proximity to substantial public transit would produce substantial reductions over land uses that are located in a more typical community that has not coordinated its land use and transportation planning. The anticipated reductions in vehicle trips and VMT would range from 0-50 percent in reductions from pass-by trips, five percent from internal capture of trips, and up to ten percent reductions from the substantial mode share from public transit and pedestrian modes. These reductions are attributable to the Project characteristics as being an infill project near transit that supports multi-modal transportation options.

Table 6-21
Daily Vehicle Travel Reductions Associated with the Project

Land Use	Reduction from Internal Capture	Reduction from Pass-By Trips	Reduction from Transit/Walk-In Trips
Commercial	0%	50%	0%
Office	5%	0%	10%

Source: Linscott Law & Greenspan, Traffic Impact Study Weingart Projects, March 2018.

The measures listed previously under "Project Design Features" would further reduce the Project's mobile source emissions

Solid Waste Generation Emissions

Emissions related to solid waste were calculated using the CalEEMod emissions inventory model, which multiplies an estimate of the waste generated by applicable emissions factors provided in Section 2.4 of USEPA's AP-42, Compilation of Air Pollutant Emission Factors. CalEEMod solid waste generation rates for each applicable land use were selected for this analysis. As shown on Table 6-20, the Project scenario would result in a total of approximately 200 MTCO₂e of emissions per year from solid waste management, accounting for a 50-percent recycling/diversion rate.

Water Usage and Wastewater Generation Emissions

GHG emissions are related to the energy used to convey, treat, distribute water, and treat wastewater. Thus, these emissions are generally indirect emissions from the production of electricity to power these systems. Emissions related to water usage and wastewater generation were calculated using the CalEEMod emissions inventory model, which multiplies an estimate of the water usage by the applicable energy intensity factor. As shown on Table 6-20, Project GHG emissions from water/wastewater usage would result in a total of 723 MTCO₂e per year. This includes a 20-percent reduction in water/wastewater emissions consistent with building code requirements as compared to the Project without sustainability features related to water conservation that alone result in a reduction of approximately 180 MTCO₂e of emissions per year. Specifically, without the City's sustainability initiatives, the Project would emit about 904 MTCO₂e per year from water-related activities.

Amortized Construction Emissions and Total Operational Emissions

As shown on Table 6-20, when taking into consideration implementation of the requirements set forth in the City of Los Angeles Green Building Code and the full implementation of current state mandates, the

GHG emissions for the Project at buildout in 2025 would equal 74 MTCO₂e per year (amortized over 30 years) during construction and 6,298 MTCO₂e per year during operation of the Project with a combined total of 6,372 MTCO₂e per year.

It should be noted that each source category of GHG emissions from the Project is subject to a number of regulations that indirectly reduce climate change-related emissions, including those listed below. These and other reductions from statewide initiatives are reflected in the Project's estimated GHG emissions.

- Stationary and area sources. Emissions from small on-site sources are subject to specific emission reduction mandates and/or are included in the State's Cap and Trade program.
- Transportation. Both construction and operational activities from the Project Sites would generate transportation-related emissions from combustion of fossil fuels that are covered in the State's Cap-and-Trade program.
- Energy Use. Both construction and operational activities from the Project Sites would generate energy-related emissions that are covered by the state's renewable portfolio mandates, including SB 350, which requires that at least 50 percent of electricity generated and sold to retail customers from renewable energy sources by December 31, 2030.
- Building structures. Operational efficiencies would be built into the Project that reduce energy use and waste, as mandated by CALGreen building codes.
- Water and wastewater use. The Project would be subject to drought-related water conservation emergency orders and related State Water Quality Control Board restrictions.
- Major appliances. The Project would include major appliances that are regulated by California Energy Commission requirements for energy efficiency.
- Solid waste management. The Project would be subject to solid waste diversion policies administered by CalRecycle that reduce GHG emissions.

b) Would the project conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

Less Than Significant Impact.

Consistency with Applicable Plans

As described above, compliance with a GHG emissions reduction plan renders a less-than-significant impact. Below is a discussion of the Project's consistency with relevant plans and policies that govern climate change, including the following:

- Executive Orders S-3-05 and B-30-15;
- AB 32 Scoping Plan;

- SCAG's 2016-2040 RTP/SCS;
- Sustainable City pLAN;
- Los Angeles Green Building ordinance; and
- City of Los Angeles ClimateLA implementation plan.

As discussed in detail below, the Project would be consistent with all applicable plans, policies, and regulations adopted for the purpose of reducing GHG emissions, and Project impacts would be less than significant.

Consistency with E.O. S-03-05 and E.O. B-30-15

As discussed below, the Project would be consistent with the state's Executive Orders S-3-05 and B-30-15, which are orders from the State's Executive Branch for the purpose of reducing GHG emissions, and which were subsequently codified by AB 32 and SB 32. These strategies call for developing more efficient land-use patterns to match population increases, workforce, and socioeconomic needs for the full spectrum of the population. The Project includes elements of smart land use planning consistent with these Executive Orders, because the Project is a mixed-used development located in an urban infill area well-served by transportation infrastructure that includes robust public transit provided by Metro and would serve an existing homeless population.

Consistency with the AB 32 Scoping Plan

The Scoping Plan outlines a series of technologically feasible and cost-effective measures to reduce statewide GHG emissions, including expanding energy efficiency programs, increasing electricity production from renewable resources (at least 33 percent of the Statewide electricity mix), and increasing automobile efficiency, implementing the Low-Carbon Fuel Standard, and developing a cap-and-trade program. These measures are designed to be implemented by state agencies. As discussed below, the Project would not interfere with implementation of the AB 32 measures.

Table 6-22 provides an overview of the Project's consistency with the GHG emission reduction strategies outlined by Scoping Plan measures. Based on this evaluation, this analysis finds the Project would be consistent with all feasible and applicable strategies recommended in the Scoping Plan.

Table 6-22
Project Consistency With Scoping Plan GHG Reduction Strategies

Strategy	Project Consistency
SCAQMD Rule 445 (Wood Burning Devices): Requires use of natural gas to power all cooking stoves and fireplaces.	Consistent. All cooking stoves would either be electric or natural gas. The Project shall prohibit natural gas-fueled fireplaces in the proposed residential units.
California Renewables Portfolio Standard (RPS) program: Senate Bill 2X modified California's RPS program to require that both public and investor-owned utilities in California receive at least 33 percent of their electricity from renewable sources by the year 2020. California Senate Bill 2X also requires regulated sellers of electricity to meet an interim milestone of procuring 25 percent of their energy supply from certified renewable resources by 2016.	Consistent. LADWP's commitment to achieve 35 percent renewables by 2020 would exceed the requirement under the RPS program of 33 percent renewables by 2020. In 2017, LADWP indicated that 29 percent of its electricity came from renewable resources in Year 2016. ¹ As LADWP would provide electricity service to the Project Sites, the Project would use electricity that is produced consistent with this performance-based standard. Electricity GHG emissions estimates assume that LADWP will receive at least 33 percent of their electricity from renewable sources by 2020.
Senate Bill 350 (SB 350): The Clean Energy and Pollution Reduction Act of 2015 increases the standards of the California RPS program by requiring that the amount of electricity generated and sold to retail customers per year from eligible renewable energy resources be increased to 50 percent by 2030 and also requires the State Energy Resources Conservation and Development Commission to double the energy efficiency savings in electricity and natural gas final end uses of retail customers through energy efficiency and conservation. ²	<p>Consistent. LADWP would be required to generate electricity that would increase renewable energy resources to 50 percent by 2030. As LADWP would provide electricity service to the Project Sites, the Project by 2030 would use electricity consistent with the requirements of SB 350. Project buildout would occur in 2025 and thus, the estimated GHG emissions from electricity usage provided above conservatively do not include implementation of SB 350 with a compliance date of 2030. Electricity GHG emissions estimates would be further reduced by 17 percent by 2030 as the electricity provided to the Project Sites would meet the requirements under SB 350.</p> <p>As required under SB 350, doubling of the energy efficiency savings from final end uses of retail customers by 2030 would primarily rely on the existing suite of building energy efficiency standards under CCR, Title 24, Part 6 (consistency with this regulation is discussed below) and utility-sponsored programs such as rebates for high-efficiency appliances, heating ventilation and air conditioning (HVAC) systems and insulation. The Project would support this action/strategy because it includes compliance with specific requirements of the Los Angeles Green Code (consistency with this regulation is discussed below).</p>
Senate Bill 1368 (SB 1368): GHG Emissions Standard for Baseload Generation prohibits any retail seller of electricity in California from entering into a long-term financial commitment for baseload generation if the GHG emissions are higher than those from a combined-cycle natural gas power plant.	Consistent. LADWP meets the requirements of SB 1368. As LADWP would provide electricity service to the Project Sites, the Project would use electricity that meets the requirements under SB 1368.
California Code of Regulations (CCR), Title	Consistent. The Appliance Efficiency Regulations apply

Table 6-22
Project Consistency With Scoping Plan GHG Reduction Strategies

Strategy	Project Consistency
<p>20: The 2012 Appliance Efficiency Regulations, adopted by the California Energy Commission (CEC), include standards for new appliances (e.g., refrigerators) and lighting, if they are sold or offered for sale in California.</p>	<p>to new appliances and lighting that are sold or offered for sale in California. The Project would include new appliances and lighting that comply with this energy efficiency standard.</p>
<p>CCR, Title 24, Building Standards Code: The 2016 Building Energy Efficiency Standards contained in Title 24, Part 6 (also known as the California Energy Code), requires the design of building shells and building components to conserve energy. The standards are updated periodically to allow for consideration and possible incorporation of new energy efficiency technologies and methods.</p> <p>The California Green Building Standards Code (Part 11, Title 24) established mandatory and voluntary standards on planning and design for sustainable site development, energy efficiency (extensive update of the California Energy Code), water conservation, material conservation, and internal air contaminants.</p>	<p>Consistent. Consistent with regulatory requirements, the Project shall comply with applicable provisions of the 2016 Los Angeles Green Code that in turn requires compliance with mandatory standards included in the California Green Building Standards. The 2016 Title 24 standards are 28 percent more efficient (for electricity) than residential construction built to the 2013 Title 24 standards and 5 percent more efficient (for electricity) for non-residential construction built to 2013 Title 24 standards.³ The 2016 Title 24 standards are more efficient than the 2020 Projected Emissions under Business-as-Usual in CARB's <i>Climate Action Scoping Plan</i>. The standards promote the use of better windows, insulation, lighting, ventilation systems and other features that reduce energy consumption in homes and businesses. Thus, the Project has incorporated energy efficiency standards that are substantially more effective than the measures identified in the <i>Climate Action Scoping Plan</i> to reduce GHG emissions.</p>
<p>Energy Independence and Security Act of 2007 (EISA): EISA requires manufacturing for sale within the United States to phase out incandescent light bulbs between 2012 and 2014 resulting in approximately 25 percent greater efficiency for light bulbs and requires approximately 200 percent greater efficiency for light bulbs, or similar energy savings, by 2020.</p>	<p>Consistent. EISA would serve to reduce the use of incandescent light bulbs for the Project and, thus, reduce energy usage associated with lighting. Electricity GHG emissions estimates account for a 25-percent reduction in lighting electricity consumption with implementation of this regulation.</p>
<p>Assembly Bill 1109 (AB 1109): The Lighting Efficiency and Toxic Reduction Act prohibits a person from manufacturing for sale in the state specified general purpose lights that contain levels of hazardous substances, as it requires the establishment of minimum energy efficiency standards for all general purpose lights. The standards are structured to reduce average statewide electrical energy consumption by not less than 50 percent from the 2007 levels for indoor residential lighting and not less than 25 percent from the 2007 levels for indoor commercial and outdoor lighting by 2018.⁴</p>	<p>Consistent. As with the EISA, the Project would meet the requirements under AB 1109, because it incorporates energy efficient lighting and electricity consumption that complies with local and state green building programs.</p>
<p>Cap-and-Trade Program: The program</p>	<p>Consistent. As required by AB 32 and the Climate</p>

Table 6-22
Project Consistency With Scoping Plan GHG Reduction Strategies

Strategy	Project Consistency
establishes an overall limit on GHG emissions from capped sectors (e.g., electricity generation, petroleum refining, and cement production). Facilities subject to the cap are able to trade permits to emit GHGs within the overall limit.	Change Scoping Plan, the Cap-and-Trade Program covers the GHG emissions associated with electricity consumed in California, whether generated in-state or imported. Accordingly, GHG emissions associated with CEQA projects' electricity usage are covered by the Cap-and-Trade Program. Therefore, GHG emissions associated with the Project's electricity usage would be covered by the Cap-and-Trade Program (as LADWP would be a covered entity) and would be consistent with AB 32 and the Climate Change Scoping Plan.
Assembly Bill 1493 (AB 1493) "Pavley Standards": AB 1493 requires the development and adoption of regulations to achieve "the maximum feasible reduction of greenhouse gases" emitted by noncommercial passenger vehicles, light-duty trucks, and other vehicles used primarily for personal transportation in the State. In compliance with AB 1493, CARB adopted regulations to reduce GHG emissions from non-commercial passenger vehicles and light duty trucks of model year 2009 through 2016. Model years 2017 through 2025 are addressed by California's Advanced Clean Cars program (discussed below).	Consistent. The Pavley regulations reduced GHG emissions from California passenger vehicles by about 22 percent in 2012 and are expected to reduce GHG emissions by about 30 percent in 2016, all while improving fuel efficiency. GHG emissions related to vehicular travel by the Project would benefit from this regulation because vehicle trips associated with the Project would be affected by AB 1493. Mobile source emissions generated by the Project would be reduced with implementation of AB 1493 consistent with reduction of GHG emissions under AB 32. Mobile source GHG emissions estimates were calculated using CalEEMod that includes implementation of AB 1493 into mobile source emission factors.
Executive Order S-01-07: The Low Carbon Fuel Standard (LCFS) requires a 10-percent or greater reduction by 2020 in the average fuel carbon intensity for transportation fuels in California regulated by CARB. CARB identified the LCFS as a Discrete Early Action item under AB 32, and the final resolution (09-31) was issued on April 23, 2009 (CARB 2009). ^{5,6}	Consistent. GHG emissions related to vehicular travel by the Project would benefit from this regulation because fuel used by Project-related vehicles would be compliant with LCFS. Mobile source GHG emissions estimates were calculated using CalEEMod that includes implementation of the LCFS into mobile source emission factors.
Advanced Clean Cars Program: In 2012, CARB approved the Advanced Clean Cars Program, a new emissions-control program for model year 2017 through 2025. The program combines the control of smog, soot, and GHGs with requirements for greater numbers of zero-emission vehicles. By 2025, when the rules will be fully implemented, the new automobiles will emit 34 percent fewer global warming gases and 75 percent fewer smog-forming emissions.	Not applicable. Although this is not applicable to the Project since it is a statewide program, standards under the Advanced Clean Cars Program will apply to all passenger and light duty trucks used by customers, employees, and deliveries to the Project. GHG emissions related to vehicular travel by the Project would benefit from this regulation and mobile source emissions generated by the Project would be reduced with implementation of standards under the Advanced Clean Cars Program consistent with reduction of GHG emissions under AB 32. Mobile source GHG emissions conservatively do not include this additional 34-percent reduction in mobile source emissions as the CalEEMod model does not yet account for this regulation. The

Table 6-22
Project Consistency With Scoping Plan GHG Reduction Strategies

Strategy	Project Consistency
	Project would further support this regulation since the Project would provide at least 20 percent of the total code-required parking spaces for the Project to be capable of supporting future EV charging stations, and the Project would provide at least 5 percent of the total code-required parking spaces with EV charging stations for immediate use.
Senate Bill (SB) 375: SB 375 requires integration of planning processes for transportation, land-use and housing. Under SB 375, each Metropolitan Planning Organization would be required to adopt a Sustainable Community Strategy (SCS) to encourage compact development that reduces passenger vehicle miles traveled and trips so that the region will meet a target, created by CARB, for reducing GHG emissions.	Consistent. SB 375 requires SCAG to direct the development of the SCS for the region. The Project represents an infill development within an existing urbanized area that would concentrate new residential and commercial retail and restaurant uses within an HQT. Thus, the Project would be consistent with SCAG's 2016–2040 RTP/SCS as it would be located within an HQT.
California Integrated Waste Management Act of 1989 and Assembly Bill 341: The California Integrated Waste Management Act of 1989 requires each jurisdiction's source reduction and recycling element to include an implementation schedule that shows: (1) diversion of 25 percent of all solid waste by January 1, 1995, through source reduction, recycling, and composting activities; and (2) diversion of 50 percent of all solid waste on and after January 1, 2000, through source reduction, recycling, and composting facilities.	Consistent. GHG emissions related to solid waste generation from the Project would benefit from this regulation, as it would decrease the overall amount of solid waste disposed of at landfills. The decrease in solid waste would decrease the amount of methane released from the decomposing solid waste. Project-related GHG emissions estimates from solid waste generation includes a 50-percent reduction in solid waste generation source emissions per goals of the City. The Project Applicant shall only contract for waste disposal services with a company that recycles solid waste in compliance with AB 341. In addition, the Project would provide recycling bins at appropriate locations to promote recycling of paper, metal, glass and other recyclable material.
CCR, Title 24, Building Standards Code: The California Green Building Standards Code (Part 11, Title 24) includes water efficiency requirements for new residential and non-residential uses, in which buildings shall demonstrate a 20-percent overall water use reduction.	Consistent. Water usage rates were calculated consistent with the requirements under City Ordinance No. 184,248, 2013 California Plumbing Code, 2016 California Green Building Code (CALGreen), 2014 Los Angeles Plumbing Code, and 2016 Los Angeles Green Building Code and reflects approximately a 20 percent reduction in water usage as compared to the base demand. Project-related GHG emissions from water related sources accounts for compliance with water efficiency requirements. Water conservation measures include: residential bathroom faucets with a maximum flow rate of 1.0 gallons per minute, kitchen faucets with a maximum flow rate of 1.5 gallons per minute, Energy Star-certified and high efficiency clothes washers and dishwashers, non-residential kitchen faucets (except restaurant kitchens) with a maximum flow rate of 1.5 gallons per minute, and installation of tankless and on- demand water heaters in

Table 6-22
Project Consistency With Scoping Plan GHG Reduction Strategies

Strategy	Project Consistency
	commercial kitchens and restrooms, when appropriate, among others. The Project would have an overall water use reduction of 20 percent and would meet the requirements of the California Green Building Standards.
Senate Bill X7-7: The Water Conservation Act of 2009 sets an overall goal of reducing per-capita urban water use by 20 percent by December 31, 2020. The state is required to make incremental progress toward this goal by reducing per-capita water use by at least 10 percent by December 31, 2015. This is an implementing measure of the Water Sector of the AB 32 Scoping Plan. Reduction in water consumption directly reduces the energy necessary and the associated emissions to convey, treat, and distribute the water; it also reduces emissions from wastewater treatment.	Consistent. As discussed above under Title 24, the Project would meet this performance-based standard. Water conservation measures consistent with Green Building Code requirements include: residential bathroom faucets with a maximum flow rate of 1.0 gallons per minute, kitchen faucets with a maximum flow rate of 1.5 gallons per minute, Energy Star-certified and high efficiency clothes washers and dishwashers, non-residential kitchen faucets (except restaurant kitchens) with a maximum flow rate of 1.5 gallons per minute, and installation of tankless and on-demand water heaters in commercial kitchens and restrooms, when appropriate, among others. The Project thereby includes measures consistent with the GHG reductions sought by SB X7-7 related to water conservation and related GHG emissions.
CARB In-Use Off-Road Regulation: CARB's in-use off-road diesel vehicle regulation ("Off-Road Diesel Fleet Regulation") requires the owners of off-road diesel equipment fleets to meet fleet average emissions standards pursuant to an established compliance schedule.	Consistent. The Project would use construction contractors that would comply with this regulation.
CARB In-Use On-Road Regulation: CARB's in-use on-road heavy-duty vehicle regulation ("Truck and Bus Regulation") applies to nearly all privately and federally owned diesel fueled trucks and buses and to privately and publicly owned school buses with a gross vehicle weight rating greater than 14,000 pounds.	Consistent. The Project would use construction contractors that would comply with this regulation.
¹ California Energy Commission, <i>Utility Annual Power Content Labels for 2016</i> , www.energy.ca.gov/pcl/labels/ . ² Senate Bill 350 (2015–2016 Reg. Session) Stats 2015, Ch. 547. ³ CEC, <i>Adoption Hearing, 2016 Building Energy Efficiency Standards</i> . ⁴ 2007b. Assembly Bill 1109 (2007–2008 Reg. Session) Stats. 2007, Ch. 534. ⁵ CARB, <i>Initial Statement of Reason for Proposed Regulation for The Management of High Global Warming Potential Refrigerant for Stationary Sources</i> , October 23, 2009. ⁶ Carbon intensity is a measure of the GHG emissions associated with the various production, distribution, and use steps in the "lifecycle" of a transportation fuel.	
<i>Source: DKA Planning, 2018.</i>	

The 2017 Update identifies additional GHG reduction measures necessary to achieve the 2030 target. These measures build upon those identified in the Climate Change Scoping Plan and First Update, as shown on Table 6-22. A summary of these policies and measures are provided in Table 6-22. Although a

number of these measures are currently established as policies and measures, some measures have not yet been formally proposed or adopted. It is expected that these measures or similar actions to reduce GHG emissions will be adopted as required to achieve statewide GHG emissions targets.

As such, based on the analysis above, the Project would be consistent with the GHG reduction-related actions and strategies in the Climate Change Scoping Plan.

Consistency with SCAG's 2016-2040 RTP/SCS

In order to assess the Project's consistency with the 2016-2040 RTP/SCS, this section considers the Project's land use profile for consistency with that in the 2016-2040 RTP/SCS. Generally, projects are considered consistent with the provisions and general policies of applicable City and regional land use plans and regulations, such as SCAG's 2016-2040 RTP/SCS, if projects are compatible with the general intent of the plans and would not preclude the attainment of their primary goals.

The Project is an infill development that is also consistent with the 2016 RTP/SCS and its focus on integrated land use planning. Specifically, the Project Sites' location near substantial local transit bus services places it in an HQTAs. The 2016-2040 RTP/SCS projects that these areas, while comprising only three percent of land area in the region, make up 46 percent of future household growth and 55 percent of future job growth. Further, the vertical integration of land uses on the Project Sites would produce substantial reductions in auto-mode share to and from the sites that would help the region accommodate growth and promote public transit ridership that minimizes GHG emission increases and reduces per capita emissions consistent with the 2016-2040 RTP/SCS.

Table 6-23 demonstrates the Project's consistency with the Actions and Strategies set forth in the 2016-2040 RTP/SCS. The Project also would be consistent with the applicable goals and principles set forth in the 2016-2040 RTP/SCS. (Additional consistency discussion is included in the SCEA's consistency analysis of Section 3 [SCEA Criteria and Transit Priority Project Consistency Analysis]). Therefore, the Project would be consistent with the GHG emissions reduction related actions and strategies contained in the 2016-2040 RTP/SCS.

Table 6-23
Project Consistency With SCAG's 2016-2040 RTP/SCS

Actions and Strategies	Responsible Party(ies)	Consistency Analysis
Land Use Strategies		
Reflect the changing population and demands, including combating gentrification and displacement, by increasing housing supply at a variety of affordability levels.	Local jurisdictions	Consistent. The Project would include 685 dwelling units to serve an existing homeless population that would add to the supply of housing in metropolitan Los Angeles County. Also, the Project would not contribute to any displacement of affordable housing, as the Projects Sites are currently developed non-residential uses.
Focus new growth around transit.	Local Jurisdictions	Consistent. The Project is an infill development that would be consistent with the 2016-2040 RTP/SCS focus on increasing development near transit facilities. The Project is also located within a High Quality Transit Area (HQTa) as defined by SCAG and a Transit Priority Area as defined by SB 743, each of which support transit opportunities and promote a walkable environment. ⁹⁸ The Project Sites are also well served by public transit, including Metro Local Lines 17, 18, 51/52/352, 53, 60, 62, 720, and 760; Gardena Line 1X; and Montebello 40 and 90. Also, the Project Sites are located 0.7 miles southeast of Metro's Purple/Red line station at Pershing Square and 0.8 miles southwest of Metro's Gold line station at Little Tokyo/Arts District. Further, the Project Sites are located less than 1.0 mile from Metro's Regional Connector 1 st Street portal, which is currently under construction.
Plan for growth around livable corridors, including growth on the Livable Corridors network.	SCAG, Local Jurisdictions	Consistent. The Project is an infill development that would be consistent with the 2016 RTP/SCS focus on focusing growth along the 2,980 miles of Livable Corridors in the region. It would provide needed low-income and transitional housing in Skid Row. Also, the Project Sites are located 0.7 miles southeast of Metro's Purple/Red line station at Pershing Square and 0.8 miles southwest of Metro's Gold line station at Little Tokyo/Arts District. Further, the Project Sites are located less than 1.0 mile from Metro's Regional Connector 1 st Street portal, which is currently under construction.
Provide more options for short trips through Neighborhood Mobility Areas and Complete Communities.	SCAG, Local Jurisdictions	Consistent. The Project generally would be consistent with the Complete Communities initiative that focuses on creation of mixed-use districts in growth areas. Project would provide needed low-income and transitional housing in Skid Row. Specifically, the Project Sites are also well served by public transit, including Metro Local Lines 17, 18, 51/52/352, 53, 60, 62, 720, and 760; Gardena Line 1X; and Montebello 40 and 90. Also, the Project Sites are located 0.7 miles southeast of Metro's Purple/Red line station at Pershing Square and 0.8 miles southwest of Metro's Gold line station at Little Tokyo/Arts District. Further, the Project Sites are located less

⁹⁸ SCAG, *High Quality Transit Areas 2012* – SCAG Region, http://gisdata-scag.opendata.arcgis.com/datasets/1f6204210fa9420b87bb2e6c147e85c3_0, accessed on June 14, 2018.

Table 6-23
Project Consistency With SCAG's 2016-2040 RTP/SCS

Actions and Strategies	Responsible Party(ies)	Consistency Analysis
		than 1.0 mile from Metro's Regional Connector 1 st Street portal, which is currently under construction.
Support local sustainability planning, including developing sustainable planning and design policies, sustainable zoning codes, and Climate Action Plans.	Local Jurisdictions	Not Applicable. While this strategy calls on local governments to adopt General Plan updates, zoning codes, and Climate Action Plans to further sustainable communities, the Project would not interfere with such policymaking and would be consistent with those policy objectives.
Protect natural and farm lands, including developing conservation strategies.	SCAG Local Jurisdictions	Not Applicable. The Project is an infill development and does not include development of any natural or farm lands.
Transportation Strategies		
Preserve our existing transportation system.	SCAG County Transportation Commissions Local Jurisdictions	Not Applicable. While this strategy calls on investing in the maintenance of our existing transportation system, the Project would not interfere with such policymaking.
Manage congestion through programs like the Congestion Management Program, Transportation Demand Management, and Transportation Systems Management strategies.	County Transportation Commissions Local Jurisdictions	Consistent. The Project is an infill development that would minimize congestion impacts on the region because of its proximity to public transit, Complete Communities, and general density of population and jobs. The Project would provide needed housing to serve a homeless population. The Project Sites are also well served by public transit, including Metro Local Lines 17, 18, 51/52/352, 53, 60, 62, 720, and 760; Gardena Line 1X; and Montebello 40 and 90. Also, the Project Sites are located 0.7 miles southeast of Metro's Purple/Red line station at Pershing Square and 0.8 miles southwest of Metro's Gold line station at Little Tokyo/Arts District. Further, the Project Sites are located less than 1.0 mile from Metro's Regional Connector 1 st Street portal, which is currently under construction.
Promote safety and security in the transportation system.	SCAG County Transportation Commissions Local Jurisdictions	Not Applicable. While this strategy aims to improve the safety of the transportation system and protect users from security threats, the Project would not interfere with such policymaking.
Complete our transit, passenger rail, active transportation, highways and arterials, regional express lanes, goods movement, and airport ground transportation systems.	SCAG County Transportation Commissions Local Jurisdictions	Not Applicable. This strategy calls for transportation planning partners to implement major capital and operational projects that are designed to address regional growth. The Project would not interfere with this larger goal of investing in the transportation system.
Technological Innovation and 21st Century Transportation		
Promote zero-emissions	SCAG	Consistent. While this action/strategy is not applicable on a

Table 6-23
Project Consistency With SCAG's 2016-2040 RTP/SCS

Actions and Strategies	Responsible Party(ies)	Consistency Analysis
vehicles.	Local Jurisdictions	project-specific basis, because the action/strategy involves the development and implementation of jurisdiction-level policies, the Project would include EV charging infrastructure that supports the penetration of zero-emission vehicles.
Promote neighborhood electric vehicles.	SCAG Local Jurisdictions	Consistent. While this action/strategy is not applicable on a project-specific basis, because the action/strategy involves the development and implementation of jurisdiction-level policies, the Project would include EV charging infrastructure that supports the penetration of zero-emission vehicles.
Implement shared mobility programs.	SCAG Local Jurisdictions	Not Applicable. While this strategy is designed to integrate new technologies for last-mile and alternative transportation programs, the Project would not interfere with these emerging programs.
<i>Source: SCAG, 2016–2040 RTP/SCS, Chapter 5: The Road to Greater Mobility and Sustainable Growth, April 2016.</i>		

Consistency with City of Los Angeles' Sustainable City pLAn

The Sustainable City pLAn includes both short-term and long-term aspirations through the year 2035 in various topic areas, including: water, solar power, energy-efficient buildings, carbon and climate leadership, waste and landfills, housing and development, mobility and transit, and air quality, among others. The Sustainable City pLAn provides information as to what the City will do with buildings and infrastructure under its control. Specific targets related to housing and development and mobility and transit include the decrease of vehicle miles traveled per capita by 5 percent by 2025, and increasing trips made by walking, biking or transit by at least 35 percent by 2025.

The Project would generally comply with these aspirations, as the Project is an infill development consisting of residential and commercial uses on Project Sites located near substantial bus and rail transit services. Furthermore, the Project would comply with CALGreen, implement various project design features to reduce energy usage, water conservation measures, and would comply with the City of Los Angeles Solid Waste Management Policy Plan, the RENEW LA Plan, and the Exclusive Franchise System Ordinance (Ordinance No. 182,986) in furtherance of the aspirations included in the Sustainable City pLAn with regard to energy-efficient buildings and waste and landfills. The Project would also provide secure short- and long-term bicycle storage areas for Project residents and guests.

To reduce emissions from energy usage, the Project would be consistent with the Sustainable City pLAn and its focus on increasing the amount of renewable energy provided by LADWP; presenting a comprehensive set of green building policies to guide and support private sector development; and helping citizens to use less energy. Both construction and operational activities at the Project Sites would generate energy-related emissions that would be reduced by the State's renewable portfolio mandates, including SB 350, which requires that at least 50 percent of electricity generated and sold to retail customers come from renewable energy sources by December 31, 2030. A list of specific energy

efficiency and renewable energy measures can be found in Section 2 (Project Description), under the heading “Project Design Features.”

With regard to water, the Project would be consistent with reducing water from growth through water conservation and recycling; reducing per capita water consumption by 20 percent; and implementing the City’s water and wastewater integrated resources plan that will increase conservation and maximize the capture and reuse of storm water. Specifically, the Project would be subject to drought-related water conservation emergency orders and related State Water Quality Control Board restrictions, as well as CALGreen and City Green Building Code that call for water-conserving fixtures and processes. These elements of the Project would be consistent with goals set forth in the Sustainable City pLAn.”

With regard to waste, the Project would be consistent with the Sustainable City pLAn goal of increasing landfill diversion rate to at least 90 percent by 2025 and 95 percent by 2035. Operational efficiencies would be built into the Project to reduce energy use and waste, as mandated by the City’s Green Building Code and CALGreen building code. With regard to ongoing operations, the Project would be subject to solid waste diversion policies administered by CalRecycle that reduce GHG emissions.

With regard to open space and greening, the Project would not interfere with the Sustainable City pLAn and its focus on ensuring proportion of Angelenos living within 0.5 miles of a park or open space is at least 65 percent by 2025; revitalizing the Los Angeles River to create open space opportunities; and identifying promising locations for stormwater infiltration to recharge groundwater aquifers. Therefore, the Project would be consistent with the Sustainable City pLAn.

Consistency with Los Angeles Green Building Ordinance

Mandatory measures under the Green Building Ordinance that would help reduce GHG emissions include short- and long-term bicycle parking measures; designated parking measure; and electric vehicle supply wiring. The Project would comply with these mandatory measures, as the Project would provide on-site bicycle parking spaces. Furthermore, the Green Building Ordinance includes measures that would increase energy efficiency on the Project Sites, including installing Energy Star rated appliances and installation of water-conserving fixtures. The Project would comply with these measures.

The Project would comply with the Los Angeles Green Building Ordinance standards that are consistent with the AB 32 Scoping Plan’s recommendation for communities to adopt building codes that go beyond the state’s codes. Under the Los Angeles Green Building Code, the Project must incorporate several measures and design elements that reduce the carbon footprint of the development.

The Project would include design, construction, maintenance, and operation at the Leadership in Energy & Environmental Design (LEED) certified level. Projects that are LEED certified generally exceed Title 24 (2013) standards by at least 10 percent.⁹⁹ As such, it would incorporate several design elements and programs that will reduce the carbon footprint of the development, including:

⁹⁹ U.S. Green Building Council. “Interpretation 10396” accessed at <http://www.usgbc.org/leed-interpretations?keys=10396> February 26, 2015.

1. **GHG Emissions Associated with Planning and Design.** The Project must have measures to reduce storm water pollution, provide designated parking for bicycles and low-emission vehicles, have wiring for electric vehicles, reduce light pollution, and design grading and paving to keep surface water from entering buildings. This would include but not be limited to:
 - Electrical conduits and hardware for future installation of EV charging technology.
2. **GHG Emissions Associated with Energy Demand.** The Project must meet Title 24 2016 standards and include Energy Star appliances, have pre-wiring for future solar facilities, and off-grid pre-wiring for future solar facilities. This includes:
 - Use of low-emitting paints, adhesives, carpets, coating, and other materials.
 - Equipment and fixtures will comply with the following where applicable:
 - Installed gas-fired space heating equipment will have an Annual Fuel Utilization Ratio of .78 or higher.
 - Installed electric heat pumps will have a Heating Seasonal Performance Factor of 7.7 or higher.
 - Installed cooling equipment will have a Seasonal Energy Efficiency Ratio higher than 10.0 and an Energy Efficiency Ratio of at least 11.6, depending on size category.
 - Installed tank type water heaters will have an Energy Factor higher than .6.
 - Installed tankless water heaters will have an Energy Factor higher than .80.
 - Perform duct leakage testing to verify a total leakage rate of less than 6 percent of the total fan flow.
 - Building lighting in the kitchen and bathrooms within the dwelling units will consist of at least 90 percent ENERGY STAR qualified hard-wired fixtures (luminaires).
 - An electrical conduit will be provided from the electrical service equipment to an accessible location in the attic or other location suitable for connection to a solar energy system with panels to be placed on the rooftops of the proposed buildings. The conduit shall be adequately sized by the designer but shall not be less than one inch. The conduit shall be labeled as per the Los Angeles Fire Department requirements. The electrical panel shall be sized to accommodate the installation of an electrical solar energy system.
 - A minimum of 250 square feet of contiguous unobstructed roof area will be provided for the installation of future photovoltaic or other electrical solar panels. The location shall be suitable for installing future solar panels as determined by the designer.

- Appliances will meet ENERGY STAR if an ENERGY STAR designation is applicable for that appliance.
3. **GHG Emissions Associated with Water Use.** The Project would be required to provide a schedule of plumbing fixtures and fixture fittings that reduce potable water use within the development by at least 20 percent. It must also provide irrigation design and controllers that are weather- or soil moisture-based and automatically adjust in response to weather conditions and plants' needs. Wastewater reduction measures must be included that help reduce outdoor potable water use. This would include:
- A schedule of plumbing fixtures and fixture fittings that will reduce the overall use of potable water within the building by at least 20 percent shall be provided. The reduction shall be based on the maximum allowable water use per plumbing fixture and fitting as required by the California Building Standards Code. The 20 percent reduction in potable water use shall be demonstrated by one of the following methods:
 - Each plumbing fixture and fitting shall meet reduced flow rates specified on Table 4.303.2; or
 - A calculation demonstrating a 20 percent reduction in the building "water use" baseline will be provided.
 - When single shower fixtures are served by more than one showerhead, the combined flow rate of all the showerheads will not exceed specified flow rates.
 - When automatic irrigation system controllers for landscaping are provided and installed at the time of final inspection, the controllers shall comply with the following:
 - Controllers shall be weather- or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change;
 - Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor that connects or communicates with the controller(s).
4. **GHG Emissions Associated with Solid Waste Generation.** The Project is subject to construction waste reduction of at least 50 percent. Solid waste from the Project's operations would contribute toward the City's AB 939 requirements to divert 50 percent of solid waste to landfills through source reduction, recycling, and composting. The Project is required by the California Solid Waste Reuse and Recycling Access Act of 1991 to provide adequate storage areas for collection and storage of recyclable waste materials.
5. **GHG Emissions Associated with Environmental Quality.** The Project must meet strict standards for any fireplaces and woodstoves, covering of duct openings and protection of

mechanical equipment during constructions, and meet other requirements for reducing emissions from flooring systems, any CFC and halon use, and other project amenities. This would include:

- Openings in the building envelope separating conditioned space from unconditioned space needed to accommodate gas, plumbing, electrical lines and other necessary penetrations must be sealed in compliance with the California Energy Code.
- Provide flashing details on the building plans which comply with accepted industry standards or manufacturer's instructions around windows and doors, roof valley, and chimneys to roof intersections.

Consistency with ClimateLA

Construction of the Project would be consistent with ClimateLA's goal to reduce and recycle trash (including construction waste). The Project would promote this goal by complying with waste reduction measures mandated by CALGreen and City's Green Building Code, as well as solid waste diversion policies administered by CalRecycle that in turn reduce GHG emissions.

Long-term operation of the Project also would be consistent with ClimateLA's focus on transportation, energy, water use, land use, waste, open space and greening, and economic factors to achieve emissions reductions.

With regard to transportation, the Project would be consistent ClimateLA's focus on reducing emissions from private vehicle use. Specifically, the Project Sites' infill locations with immediate access to significant public transit and pedestrian and bicycle facilities would result in a transit-oriented development that would reduce auto dependence. Further, the mixed-use nature of the Project would be consistent with ClimateLA's land use policies that promote high density near transportation, transit-oriented development, and making underutilized land available for housing and mixed-use development, especially when near transit.

To reduce emissions from energy usage, the Project would be consistent with ClimateLA's focus on increasing the amount of renewable energy provided by the LADWP; presenting a comprehensive set of green building policies to guide and support private sector development; and helping citizens to use less energy. Both construction and operational activities from the Project Sites would generate energy-related emissions that are reduced by the state's renewable portfolio mandates, including SB 350, which requires that at least 50 percent of electricity generated and sold to retail customers come from renewable energy sources by December 31, 2030.

With regard to water, the Project would be consistent with reducing water from growth through water conservation and recycling; reducing per capita water consumption by 20 percent; and implementing the City's water and wastewater integrated resources plan that would increase conservation, and maximize the capture and reuse of storm water. Specifically, the Project would be subject to drought-related water conservation emergency orders and related State Water Quality Control Board restrictions, as well as CALGreen and City's Green Building Code that call for water-conserving fixtures and processes. As part of the Water Supply Assessment (WSA) prepared for the Project (refer to Response to Checklist Question

18[b] [Water Supply]), several water conservation features have been incorporated into the Project. These elements of the Project would be consistent with goals set forth in ClimateLA.

The Project Applicant has committed to implement the following water conservation measures that are in addition to those required by the City's Green Building Code for the entire Project:

- High-efficiency toilets with a flush volume of 1.0 gallon per flush, or less.
- Showerheads with a flow rate of 1.5 gallons per minute (gpm) or less.
- Residential bathroom faucets equipped with aerators to reduce flow to 1.0 gpm or less.
- Drip/subsurface irrigation (micro-irrigation)
- Micro-spray
- Proper hydro-zoning/zoned irrigation (group plants with similar water requirements)
- Artificial turf
- Drought-tolerant plants – 50 percent of total landscaping

With regard to waste, the Project would be consistent with the ClimateLA Plan's goal of reducing and of trash. Operational efficiencies will be built into the Project that reduce energy use and waste, as mandated by the City's Green Building Code and CALGreen building code. With regard to ongoing operations, the Project would be subject to solid waste diversion policies administered by CalRecycle that reduce GHG emissions.

With regard to open space and greening, the Project would not interfere with ClimateLA's focus on creating 35 new parks; revitalizing the Los Angeles River to create open space opportunities; planting one million trees throughout the City; identifying opportunities to "daylight" streams; identifying promising locations for stormwater infiltration to recharge groundwater aquifers; and collaborating with schools to create more parks in neighborhoods.

For these reasons, the Project would be consistent with ClimateLA.

Conclusion Regarding Project Consistency

In summary, the plan consistency analysis provided above demonstrates that the Project complies with or exceeds the plans, policies, regulations and GHG reduction actions/strategies outlined in the Climate Change Scoping Plan, the 2016-2040 RTP/SCS, and the ClimateLA plan. In addition, consistency with the above plans, policies, regulations and GHG reduction actions/strategies would serve to reduce GHG emissions for the Project. Thus, the Project would not conflict with any applicable plan, policy, or regulation of an agency adopted for the purpose of reducing emissions of GHGs. Furthermore, because the Project is consistent and does not conflict with these plans, policies, and regulations, the Project's incremental increase in GHG emissions as described above would not result in a significant impact on the

environment. Therefore, Project-specific impacts with regard to climate change would be less than significant.

Cumulative Impacts

The emission of GHGs by a single project into the atmosphere is not itself necessarily an adverse environmental effect. Rather, it is the increased accumulation of GHG emissions from more than one project and many sources in the atmosphere that may result in global climate change. The consequences of that climate change can cause adverse environmental effects. A project's GHG emissions typically would be very small in comparison to state or global GHG emissions and, consequently, they would, in isolation, have no significant direct impact on climate change. The state has mandated a goal of reducing statewide emissions to 1990 levels by 2020, even though statewide population and commerce is predicted to continue to expand. In order to achieve this goal, CARB is in the process of establishing and implementing regulations to reduce statewide GHG emissions. At a minimum, most project-related emissions, such as energy, mobile, and construction, would be covered by the Cap-and-Trade Program.

The Project would be consistent with the approach outlined in CARB's Scoping Plan, particularly its emphasis on the identification of emission reduction opportunities that promote economic growth while achieving greater energy efficiency and accelerating the transition to a low-carbon economy. In addition, as recommended by CARB's Scoping Plan, the Project would be designed to achieve the standards of CALGreen.

Currently, there are no applicable CARB, SCAQMD, or City significance thresholds or specific reduction targets, and no approved policy or guidance to assist in determining significance at the project or cumulative levels. Additionally, there is currently no generally accepted methodology to determine whether GHG emissions associated with a specific project represent new emissions or existing, displaced emissions. Therefore, consistent with CEQA Guideline Section 15064h(3), the City as Lead Agency has determined that the Project's contribution to cumulative GHG emissions and global climate change would be less than significant if the Project is consistent with the applicable regulatory plans and policies to reduce GHG emission, including E.O. S-3-05, E.O. B-30-15, the Scoping Plan, SCAG's 2016-2040 RTP/SCS, and ClimateLA.

As discussed above, the Project is consistent with these applicable GHG reduction plans and policies. As such, the Project would not conflict with any applicable plan, policy, or regulation of an agency adopted for the purpose of reducing the emissions of GHGs. In the absence of adopted standards and established significance thresholds, and given this consistency, it is concluded that the Project's impacts are not cumulatively considerable.

8. HAZARDS AND HAZARDOUS MATERIALS

a) Would the project create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?

Less Than Significant Impact. The types of hazardous materials that would be used during construction of the Project would be typical of those hazardous materials necessary for construction of a mixed-use

development (e.g., paints, solvents, fuel for construction equipment, building materials, etc.). Although construction of the Project would require the routine transport, use, and disposal of hazardous waste, construction activities associated with Project would be required to comply with all applicable federal, state, and local regulations governing such activities. The existing 7,000-square-foot food service building on Site 1 was built in 1922, prior to the current asbestos and lead regulations, and thus could contain asbestos-containing materials (ACMs) and lead-based paint (LBP). (No buildings are located on Site 2.)

Pursuant to SCAQMD Rule 1403, prior to the issuance of any demolition and/or alteration permits, the Project Applicant shall provide a letter to the LADBS from a qualified asbestos abatement consultant indicating that no ACMs are present on Site 1. If ACMs are discovered on site, during demolition or construction proper abatement regulations shall be followed. Because the Project would be required to comply with the SCAQMD Rule 1403, which regulates the removal of ACMs to ensure that asbestos fibers are not released into the air during demolition and/or renovation activities, as well as other applicable state and federal regulations, impacts from ACMs would be less than significant. Additionally, demolition and removal of the existing buildings would be required to comply with CCR Title 8, Section 1532 et seq., which requires that all LBP be abated and removed by a licensed lead contractor. Standard handling and disposal practice shall be implemented pursuant to California Department of Industrial Relations (Cal-OSHA) regulations. Prior to issuance of a demolition permit, a LBP survey shall be performed and approved by the LADBS. Thus, construction of the Project would not result in a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials. Impacts would be less than significant.

The Project includes the development of 685 residential dwelling units and approximately 48,043 square feet of commercial (i.e., philanthropic, retail, and office) land uses. The types of hazardous materials that would be found on the Project Sites during the Project's operational phase would be typically associated with residential and commercial land uses – paints, cleaning supplies, small amounts of petroleum products. The Project would not require routine transport, use, or disposal of hazardous materials that would create a significant hazard to the public or the environment. To the extent there would be any such transport, use, or disposal, compliance with existing local, state, and federal regulations would ensure the transport, storage, and use of these materials would not pose a significant hazard to the public or the environment. Project impacts related to this issue would be less than significant. Therefore, impacts related to this issue would be less than significant.

b) Would the project create significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?

Less Than Significant With Mitigation Incorporated. The information and analysis below is based primarily on the following documents, which are included in Appendix I:

- *Phase I Environmental Site Assessment, 552 S. San Pedro Street and 557 Crocker Street Los Angeles, CA 90013, Advantage Environmental Consultants, LLC, March 14, 2018.*

- *Phase I Environmental Site Assessment, 600-628 S. San Pedro Street and 611-615 Crocker Street Los Angeles, CA 90021, Advantage Environmental Consultants, LLC, April 2, 2018.*
- *Phase II Environmental Site Assessment, 600-628 S. San Pedro Street and 611-615 Crocker Street Los Angeles, CA 90021, Advantage Environmental Consultants, LLC, March 28, 2018.*

Advantage Environmental Consultants, LLC (AEC) prepared the Phase I Environmental Site Assessments (Phase I ESAs) for the Project Sites in conformance with the scope and limitations of the American Society for Testing and Materials (ASTM) Practice E1527-13, 40 Code of Federal Regulations (F) Part 312.

The following tasks were conducted as part of the Phase I ESAs:

- A search for environmental liens and other potential environmental related encumbrances to title of the Project Sites.
- An evaluation of standard environmental record sources contained within federal, state, and local environmental databases within specific search distances.
- An evaluation of additional environmental record sources obtained from regulatory departments/agencies.
- A qualitative evaluation of the physical characteristics of the Project Sites through a review of published topographic, geologic, and hydrogeologic maps; published groundwater data; and area observations to characterize surface water flow in vicinity of the Project Sites.
- An evaluation of past use of the Project Sites and adjacent/nearby property uses through a review of historical resources including topographic maps, aerial photographs, and City directories.
- A physical inspection of the Project Sites to search for conditions indicative of potential environmental concerns including underground storage tanks (USTs), aboveground storage tanks (ASTs), associated tank piping; stained soil or pavement; equipment that may contain or have historically contained polychlorinated biphenyls (PCBs); and other potential environmental concerns as defined in the ASTM E 1527-13 standard.
- A physical assessment of indications of past uses and visual observations of adjacent and surrounding properties (from curbside or public spaces) to assess potential impacts to the Project Sites.
- Interviews completed with the Project Applicant, owners of the Project Sites, and a local regulatory agency representative.
- Preparation of the Phase I ESAs, which includes the findings of the assessment and AEC's professional opinion regarding the level of significance of the findings. Conclusions were drawn based on the significance levels of the findings with subsequent recommendations provided.

In addition, concurrent with preparation of the Phase I ESA prepared for Site 2, AEC also prepared a Phase II ESA for Site 2. The results of these studies for each of the sites are discussed below.

Site 1

Standard Environmental Record Sources

The federal databases shown on Table 6-24 related to potential on-site and off-site sources of contamination were reviewed and interpreted by AEC.

Table 6-24
Federal Database Search (Sites 1 and 2)

Federal Databases	Search Distance From Sites
National Priorities List (NPL)	One mile
Delisted NPL	One mile
Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS)	One-half mile
CERCLIS No Further Remedial Action Planned (NFRAP)	One-half mile
Resource Conservation and Recovery Act (RCRA) CORRACTS Hazardous Waste Treatment, Storage and Disposal (TSD) Facilities	One mile
RCRA non-CORRACTS Hazardous Waste TSD Facilities	One-half mile
RCRA Hazardous Waste Generators (RCRA GEN)	One-eighth mile
Emergency Response Notification System (ERNS)	One-eighth mile
Federal Institutional/Engineering Control Registries (IC/EC)	One-half mile
<i>Source: Advantage Environmental Consultants, LLC. April 2018. Refer to Appendix I.</i>	

The state and local databases related to potential on-site and off-site sources of contamination were also searched and reviewed by AEC (refer to Table 6-25).

Table 6-25
State and Local Database Search (Sites 1 and 2)

State/Local Databases	Search Distance From Sites
State-equivalent NPL and CERCLIS (RESPONSE and ENVIROSTOR)	One mile
State Voluntary Cleanup Sites (VCP)	One-half mile
State Landfill and/or Solid Waste Disposal Sites (SWF/LF)	One-half mile
State Leaking Storage Tank (LUST, SLIC, SAM)	One-half mile
State Registered Storage Tank (UST, AST)	One-eighth mile
<i>Source: Advantage Environmental Consultants, LLC. April 2018. Refer to Appendix I.</i>	

Subject Sites

Site 1 was listed on the underground storage tank (UST) databases (CA SWEEPS UST and CA FID UST) as Weingart Center Associates Inc., at 554 S San Pedro Street. A single UST is referenced for the site on

the database. No further details are provided, and Site 1 does not appear on other databases that indicate unauthorized releases of hazardous substances or petroleum products to the subsurface.

Site 2 was listed on UST databases (CA SWEEPS UST and CA FID UST) as Community Redevelopment Agency at 600 S San Pedro Street. No further details are provided, and Site 2 does not appear on other databases that indicate unauthorized releases of hazardous substances or petroleum products to the subsurface have occurred.

Adjoining and Nearby Properties

Several listings were mapped in the standard regulatory databases within 1/4-mile of Sites 1 and 2. Table 6-26 presents a summary of the listed facilities and an opinion regarding their potential impact to Site 1. Table 6-27 presents a summary of the listed facilities and an opinion regarding their potential impact to Site 2.

The properties listed on the tables are not considered to be significant environmental concerns to the Project Sites. In addition, several properties mapped between one-quarter to one-mile from the sites also appear on various regulatory databases. These properties are also not considered to be significant environmental concerns to the Project Sites. These conclusions are based on several factors, including the nature of the regulatory database listings, distance of the off-site listed properties from the Project Sites, orientation of the listed properties relative to the sites, interpreted direction of groundwater flow, and/or regulatory case status information for the various properties as described in the database.

Non-ASTM Database Reviews

Below is a list of non-ASTM databases reviewed by AEC during the preparation of the Phase I ESAs. The descriptions of each database and their data release frequency are included in the Phase I ESAs in Appendix I to this SCEA.

Local Brownfield Lists

US BROWNFIELDS - A Listing of Brownfields Sites

Local Lists of Landfill / Solid Waste Disposal Sites

DEBRIS REGION 9 - Torres Martinez Reservation Illegal Dump Site Locations

ODI - Open Dump Inventory

WMUDS/SWAT - Waste Management Unit Database

SWRCY - Recycler Database

HAULERS - Registered Waste Tire Haulers Listing

Table 6-26
Adjoining and Nearby Properties – Site 1

Listed Property and Address	Database(s)	Mapped Distance and Direction From Site	Details	Significant Concern To Site?
Weingart Center 515 E 6 th Street	UST	0.006-mile S	Referenced on the UST database with no indications of violations or a release.	No
Union Rescue Mission 547 S San Pedro Street	UST	0.023-mile NNW	Referenced on the UST database with no indications of violations or a release.	No
Mission Energy Offset Plate Co 421 E 6 th Street	RCRA-GEN	0.030-mile SW	Referenced as a small quantity generator with no reported violations.	No
C and J Circe Screen, UNK 532 S Crocker Street	RCRA-GEN	0.039-mile E	Referenced as a small quantity generator with no reported violations. Referenced on the UST database with no indications of violations or a release.	No
LA Electronics Bldg 526 S San Pedro Street	RCRA GEN	0.047-mile NNE	Referenced as a small quantity generator with no reported violations.	No
UNK 526 S Crocker Street	UST	0.052-mile E	Referenced on the UST database with no indications of violations or a release.	No
Community Redevelopment Agency 600 S San Pedro Street	UST	0.060-mile SW	Referenced on the UST database with no indications of violations or a release.	No
Skid Row Housing Trust 521 S San Pedro Street	RCRA-GEN	0.062-mile N	Referenced as a small quantity generator with no reported violations.	No
City Sea Foods Inc. 531 Towne Avenue	UST	0.068-mile E	Referenced on the UST database with no indications of violations or a release.	No
Precision Metal Tech 534 Towne Avenue	RCRA-GEN	0.081-mile ESE	Referenced as a small quantity generator with no reported violations.	No
GTE 505 S San Pedro Street	UST	0.088-mile N	Referenced on the UST database with no indications of violations or a release.	No
Marks Engineering 501 E 5 th Street	UST	0.122-mile NNE	Referenced on the UST database with no indications of violations or a release.	No
Central Facility Garage 519 Wall Street	LUST	0.154-mile NNW	Referenced with a “Completed Case Closed” regulatory case status as of 7/2015.	No
Former Ace Plating 719 Towne Avenue	Envirostor SLIC	0.240-mile SSW	Referenced with an “Inactive-Needs Evaluation” case status on the Envirostor database. Referenced with an open case status as of 6/2013 on the SLIC database due to contamination from plating operations.	No

Source: Advantage Environmental Consultants, LLC. April 2018. Refer to Appendix I.

Table 6-27
Adjoining and Nearby Properties – Site 2

Listed Property and Address	Database(s)	Mapped Distance and Direction From Site	Details	Significant Concern To Site?
Weingart Center 515 E 6 th Street	UST	0.029-mile NE	Referenced on the UST database with no indications of violations or a release.	No
Mission Energy Offset Plate Co 421 E 6 th Street	RCRA-GEN	0.037-mile NNW	Referenced as a small quantity generator with no reported violations.	No
Latt Greene, Sheary Fran Knitin 611 E 7 th Street	UST	0.065-mile SW	Referenced on the UST database with no indications of violations or a release.	No
Union Rescue Mission 547 S San Pedro Street	UST	0.069-mile N	Referenced on the UST database with no indications of violations or a release.	No
The Salvation Army 660 Towne Avenue	UST	0.090-mile SW	Referenced on the UST database with no indications of violations or a release.	No
C and J Circe Screen 532 S Crocker Street	RCRA-GEN	0.038-mile E	Referenced as a small quantity generator with no reported violations.	No
LA Electronics Bldg, UNK 526 S Crocker Street	RCRA-GEN UST	0.100-mile NNE	Referenced on the UST database with no indications of violations or a release. Referenced as a small quantity generator with no reported violations.	No
Skid Row Housing Trust 521 S San Pedro Street	RCRA-GEN	0.113-mile NNE	Referenced as a small quantity generator with no reported violations.	No
Image Laboratories, Inc. 721 S San Pedro Street	UST	0.117-mile SW	Referenced on the UST database with no indications of violations or a release.	No
City Foods Inc. 531 Towne Avenue	UST	0.119-mile ENE	Referenced on the UST database with no indications of violations or a release.	No

Source: Advantage Environmental Consultants, LLC. April 2018. Refer to Appendix I.

Local Lists of Hazardous Waste / Contaminated Sites

US CDL - Clandestine Drug Labs
 HIST Cal-Sites - Historical Calsites Database
 SCH - School Property Evaluation Program
 Toxic Pits - Toxic Pits Cleanup Act Sites
 CDL - Clandestine Drug Labs
 US HIST CDL - National Clandestine Laboratory Register

Local Lists of Registered Storage Tanks

SWEEPS UST – SWEEPS UST Listing
 HIST UST – Hazardous Substance Storage Container Database
 CA FID UST – Facility Inventory Database

Local Land Records

LIENS 2 - CERCLA Lien Information

LIENS - Environmental Liens Listing

DEED - Deed Restriction Listing

Records of Emergency Release Reports

HMIRS - Hazardous Materials Information Reporting System

CHMIRS - California Hazardous Material Incident Report System

LDS - Land Disposal Sites Listing

MCS - Military Cleanup Sites Listing

SPILLS 90 – SPILLS 90 data from FirstSearch

Other Ascertainable Records

RCRA-NonGen - RCRA - Non Generators

DOT OPS - Incident and Accident Data

DOD - Department of Defense Sites

FUDS - Formerly Used Defense Sites

CONSENT - Superfund (CERCLA) Consent Decrees

ROD - Records Of Decision

UMTRA - Uranium Mill Tailings Sites

MINES - Mines Master Index File

TRIS - Toxic Chemical Release Inventory System

TSCA - Toxic Substances Control Act

FTTS – FIFRA/TSCA Tracking System – FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

HIST FTTS - FIFRA/TSCA Tracking System Administrative Case Listing

SSTS - Section 7 Tracking Systems

ICIS - Integrated Compliance Information System

PADS - PCB Activity Database System

MLTS - Material Licensing Tracking System

RADINFO - Radiation Information Database

FINDS - Facility Index System/Facility Registry System

RAATS - RCRA Administrative Action Tracking System

RMP - Risk Management Plans

CA BOND EXP. PLAN - Bond Expenditure Plan

UIC - UIC Listing

NPDES - NPDES Permits Listing

Cortese - "Cortese" Hazardous Waste & Substances Sites List

HIST CORTESE - Hazardous Waste & Substance Site List

CUPA Listings - CUPA Resources List

Notify 65 - Proposition 65 Records

DRYCLEANERS - Cleaner Facilities
 WIP - Well Investigation Program Case List
 ENF - Enforcement Action List
 HAZNET - Facility and Manifest Data
 EMI - Emissions Inventory Data
 INDIAN RESERV - Indian Reservations
 SCR DRYCLEANERS - State Coalition for Remediation of Drycleaners Listing
 MWMP - Medical Waste Management Program Listing
 COAL ASDH DOE – Sleam Electric Plan Operation Data Listing
 COAL ASH EPA – Coal Combustion Residues Surface Impoundments List
 HWT - Registered Hazardous Waste Transporter Database
 HWP - Envirostor Permitted Facilities List
 FINANCIAL ASSURANCE - Financial Assurance Information Listing
 LEAD SMELTERS - Lead Smelter Sites
 2020 COR ACTION - 2020 Corrective Action Program List
 US AIRS - Aerometric Information Retrieval System Facility Subsystem
 PRP - Potentially Responsible Parties
 WDS - Waste Discharge System
 EPA WATCH LIST - EPA WATCH LIST
 US FIN ASSUR - Financial Assurance Information
 PCB TRANSFORMER - PCB Transformer Registration Database
 PROC - Certified Processors Database
 FUSRAP - Formerly Utilized Sites Remedial Action Program
 US MINES – Mines Master Index File
 PEST LIC – Pesticide Regulation Licenses Listing
 WASTEWATER PITS – Oil Wastewater Pits Listing
 ECHO – Enforcement and Compliance History Information
 FUELS PROGRAM – EPA Fuels Program Registered Listing
 Los Angeles Co. HMS – County of Los Angeles
 LA Co. Site Mitigation – County of Los Angeles

Non-ASTM Database Listings

There are no non-ASTM database listings mapped on the Project Sites. There are multiple off-site properties (two US Brownfields, one CA HIST Cal-Sites, two Los Angeles Co. HMS, one NY Manifest, and one LA Co. Site Mitigation) listed on the non-ASTM databases in the searched vicinity of Site 1. These properties are not considered to be significant environmental concerns to Site 1. There are multiple off-Site properties (three US Brownfields, two CA HIST Cal-Sites, one CHMIRS, two Los Angeles Co. HMS, one NY Manifest, and one LA Co. Site Mitigation) listed on the non-ASTM databases in the searched vicinity of Site 2. These properties are not considered to be significant environmental concerns to Site 2. These conclusions are based on several factors, including distance of the off-site listed properties from the sites, orientation of the listed properties relative to the sites, interpreted direction of groundwater flow, and/or regulatory case status information (i.e. “closed case”) for the various properties as described in the database report.

Additional Environmental Record Sources

LAFD – UST Request

Site 1: AEC conducted a records search with the LAFD for Site 1, No files were identified for the site, except for a single record identified for 554 South San Pedro Street. A “Fire Permit Application for Underground Storage Tanks or Atmospheric Systems” was provided to AEC by the LAFD. The permit was for the installation of a single UST, was signed and dated by a representative of the Weingart Center Association on October 24, 1988 and was dated by the Los Angeles City Clerk on November 8, 1988. No additional information regarding USTs at Site 1 was found in LAFD files, including documentation that the UST in question was actually installed. During the preparation of this assessment, Weingart Center representatives were interviewed regarding the potential presence of a tank at the property, and no such representatives were aware of a tank being present.

Site 2: AEC conducted a records search with the LAFD for Site 2. Several files were identified for the site regarding installation and removal of eleven USTs 1935 and 1990. All USTs appear to have been removed from Site 2 by 1990. Reports were provided in the records search documenting the discovery of petroleum hydrocarbon impacted soil at the bottom of a former tank pit during the removal of a 1,000-gallon tank in June 1990. The pit was lined with plastic and backfilled with the excavated material. Subsurface work in 1991 included drilling in the area around the excavation to delineate the contaminated area. The material in the pit was subsequently excavated and removed from the site as non-hazardous waste. A no further action letter from the City was issued on January 27, 1992.

Los Angeles Department of Building and Safety

Site 1: AEC searched for building records pertaining to Site 1 on the LADBS website. Records included various construction, alteration, demolition, and general structural related permits for the Site. There were no references in the permits to USTs, hazardous wastes/materials or other potential environmental concerns.

Site 2: AEC searched for building records pertaining to Site 2 on the LADBS website. Records included an “Application for the Erection of a Building” dated December 11, 1935 for a gasoline filling station for General Petroleum Corp. A grading permit application for the removal of contaminated soil for tank removal dated October 28, 1991. A figure accompanying the permit application shows the excavation location near the central area of the site. Other permits noted during the records search included various construction, alteration, demolition, and general structural related permits for Site 2.

State Water Resources Control Board

AEC searched the California State Water Resources Control Board (SWRCB) maintained Geotracker database for information regarding past or present environmental regulatory cases and/or hazardous material releases in connection with the Project Sites or its adjacent and nearby properties. No environmental regulatory or release cases for the Project Sites were identified in the Geotracker database search. Off-site properties identified on the Geotracker database search are not considered to be a concern to the Project Sites.

Historical Use Information

Historical sources were reviewed to develop a history of the previous uses of the Project Sites and adjacent/nearby properties to help identify the likelihood of past uses having led to RECs in connection with the sites.

Fire Insurance Maps

Sanborn fire insurance maps were reviewed for the years of 1888, 1894, 1906, 1920, 1950, 1953, 1954, 1959, 1960, 1967, and 1970 with respect to the Project Sites. The results of the map review for Site 1 are summarized on Table 6-28. The results of the map review for Site 2 are summarized on Table 6-29.

Table 6-28
Sanborn Maps Review Results – Site 1

Year	Observations
1888	SITE: The site is vacant. SURROUNDING AREA: Residential dwellings are partially depicted on the northwestern adjacent property beyond S San Pedro Street. Other adjacent properties are vacant. Surrounding streets and roadways are depicted similar to their current configurations.
1894	SITE: The site is vacant. SURROUNDING AREA: A dwelling is depicted on the northern and southwestern adjacent properties. Other dwellings are scattered in the surrounding area.
1906, 1920	SITE: Lodgings and ancillary structures and a dwelling are depicted in the eastern portion of the site addressed as 555 and 557 Crocker Street. The remainder of the site is vacant. SURROUNDING AREA: The surrounding area consists of residential and commercial buildings.
1950, 1953, 1954	SITE: The eastern portion of the site is similar to the 1920 map. A commercial building is depicted on the western portion of the site with multiple storefronts. SURROUNDING AREA: A mixed-use structure with a hotel depicted on the southwestern adjacent property is similar to its current configuration. The western adjacent property beyond S San Pedro Street is depicted as a mixed-use structure. A two-story structure is depicted on the southeastern adjacent property (northwestern corner of E 6 th Street and Crocker Street) with “Gas & oil” labeled on the corner of the property in 1950. The corner is labeled as parking in 1953 and 1954.
1959, 1960	SITE: The eastern portion of the site consists of a single building labeled as “lodging.” A commercial building is depicted on the western portion of the site with multiple storefronts. SURROUNDING AREA: The surrounding area consists of residential and commercial buildings and parking lots.
1967, 1970	SITE: The eastern portion of the site is vacant. A commercial building is depicted on the western portion of the site with multiple storefronts. SURROUNDING AREA: The surrounding area consists of residential and commercial buildings and parking lots.
<i>Source: Advantage Environmental Consultants, LLC. April 2018. Refer to Appendix I.</i>	

Table 6-29
Sanborn Maps Review Results – Site 2

Year	Observations
1888	<p>SITE: A stable and a shed are depicted on the site.</p> <p>SURROUNDING AREA: Three residential dwellings are depicted on the northwestern adjacent property beyond S San Pedro Street. Other adjacent properties are vacant. Surrounding streets and roadways are depicted similar to their current configurations.</p>
1894	<p>SITE: A single dwelling is depicted on the eastern side of the site along Crocker Street.</p> <p>SURROUNDING AREA: A dwelling is depicted on the northern and southeastern adjacent properties.</p>
1906, 1920	<p>SITE: A commercial structure identified as “Meek’s Bakery” is depicted in the northern portion of the site. The structure is labeled with lodgings, a bakery, storage, offices, stores, and a wagon house. Residential flats and an apartment building are depicted to the south of Meek’s Bakery along S San Pedro Street. Two dwellings are depicted on the eastern side of the site along Crocker Street.</p> <p>SURROUNDING AREA: The surrounding area consists of residential dwellings and flats. A glassworks facility and residential properties are depicted to the northwest of the site across S San Pedro Street. Lodgings and residential properties are depicted to the north of the site across E 6th Street.</p>
1950, 1953, 1954, 1959, 1960, 1967, and 1970	<p>SITE: A rectangular gasoline service station is depicted in the northern area of the site. A glass cutting shop and a store are depicted to the south of the service station along S San Pedro Street. The remaining portions of the site are vacant or labeled as auto parking.</p> <p>SURROUNDING AREA: A service station is depicted on the corner of the intersection to the northwest across S San Pedro Street. Also across S San Pedro Street is a vacant lot labeled as “Earth Fill” and a printing facility. A mixed-use structure with a hotel is depicted on the northern adjacent property across E 6th Street is similar to its current configuration. A vacant lot then a mixed-use structure with a hotel is depicted on the southeastern adjacent property. An apartment building and residential properties are depicted on the southern adjacent properties.</p>
<i>Source: Advantage Environmental Consultants, LLC. April 2018. Refer to Appendix I.</i>	

City Directories

AEC reviewed City directories for the Project Sites and adjacent properties dating back to 1920. The results of the City directory search are provided for Site 1 and Site 2 on Table 6-30 and 6-31, respectively.

Table 6-30
City Directory Listings Review Results – Site 1

Year	Businesses/Owners/Land Uses
562 S San Pedro Street	
1962	1962 Lewis J W Co
1958	Carroll Machry
1942	Zane Saml Belle
1937	Kissling Frank J
1929	Millet J C Co Wm Wahl
1924	Lake View Creamery Co W F Sperry
560 S San Pedro Street	
1981	El Rey Mkt
1962	Tilery & Cutter Addressing Mach Co
1962-1958	Lewis J W Co RL
1942	Strickland & Davis Co J M Strickland J S Davis
1933	Cutler Hammer Inc W F Price
1924	Stewart Electric Co
558 S San Pedro Street	
1937	O'Neil Leland P Emmeline
1929	Ball Judson A Elsie
1924	Millwork Quantity Survey Bureau JLL
556 S San Pedro Street	
1967	Midway Tool & Supply Co
1958	Diesel Mach Shop Serv
1937	Samrt Clinton H CS
1933	Grinnell Bert Janet cook, Brookman Jos A Sarah
1929	Harmon Edw D
1924	Lincoln Don
554 S San Pedro Street	
1990	Morrison Management Service
1967	Schmitz Paper Punching
1962	Dots Ofc Supply
1958-1937	Chicago Belting Co
1933	Fisher Ray
1929	Murray Jacobs Co H G Kimes Dist Mgr
1924	McGuire Elmer E
552 S San Pedro Street	
1929	Guarra Ameba
557 Crocker Street	
	No listings
<i>Source: Advantage Environmental Consultants, LLC. April 2018. Refer to Appendix I.</i>	

Table 6-31
City Directory Listings Review Results – Site 2

Year	Businesses/Owners/Land Uses
600 S San Pedro Street	
1958-1976	Gould Car Service
1951	S San Pedro General Petroleum Corp 6 th & San Pedro Stn, S San Pedro Gould Carl Serv, S San Pedro Olympia Serv Stn
1937	General Petroleum Corp gas stations
610 S San Pedro Street	
1924	Residential (personal names)
612 S San Pedro Street	
1924-1942	Los Angeles Cut Glass Co Bert and Mark Williams
616 S San Pedro Street	
1937	Residential
620 S San Pedro Street	
1924-1933	Residential
622 S San Pedro Street	
1924-1933	Residential
624 S San Pedro Street	
1933	Residential
626 S San Pedro Street	
1951	S San Pedro Associated Distrs
1924-1942	Residential
613 Crocker Street	
1924-1937	Residential
611 Crocker Street	
1924-1937	Residential
<i>Source: Advantage Environmental Consultants, LLC. April 2018. Refer to Appendix I.</i>	

With the exception of the service station listed at 600 S San Pedro Street, listings for the Project Sites are associated with residential and general commercial/retail purposes and are not considered to be significant environmental concerns to the sites. Listings for adjacent properties are associated with residential or general commercial uses and are also not considered to be significant environmental concerns to the site.

Aerial Photographs

AEC reviewed aerial photographs dated 1948, 1952, 1964, 1972, 1980, 1994, 2003, 2005, 2004, 2005, 2009, 2010, and 2012 provided by online resources. The results of the aerial photograph reviews for Site 1 are summarized on Table 6-32. The results of the aerial photograph reviews for Site 2 are summarized on Table 6-33.

Table 6-32
Aerial Photograph Review Results – Site 1

Year	Observations
1948, 1952	<p>SITE: The site appears to be developed with two residential structures on the southern half of the site and a commercial structure on the northern half of the site similar to the current configuration.</p> <p>SURROUNDING AREA: A commercial structure is depicted on the southwestern adjacent property similar to current its configuration. A smaller structure appears adjacent to the south of the large structure. Commercial structures are similar to their current configurations to the west beyond S San Pedro Street, and to the north of the site. Dwellings are depicted adjacent to the south across Crocker Street. Nearby streets and roadways appear similar to their current configurations.</p>
1964-2012	<p>SITE: The southern half of the site appears as a parking lot. The site appears similar to its current configuration.</p> <p>SURROUNDING AREA: Adjacent properties appear similar to their current configurations as residential and commercial buildings and parking lots.</p>
<i>Source: Advantage Environmental Consultants, LLC. April 2018. Refer to Appendix I.</i>	

Table 6-33
Aerial Photograph Review Results – Site 2

Year	Observations
1948-1972	<p>SITE: The site appears to be developed with a rectangular structure in the northern portion the site (gasoline service station). Two structures are depicted along S San Pedro south of the service station area. The structures appearing on-site are similar to what is described in the Sanborn Map review from similar time frames.</p> <p>SURROUNDING AREA: A commercial structure is depicted on the northern adjacent property similar to current its configuration. A service station appears on the northwestern adjacent property beyond S San Pedro Street. A parking lot then a commercial structure appears to the south of the service station. Two residential structures appear to the south of the site along Crocker Street. A structure appears on the southeast adjacent property is similar to its current configuration as a hotel. Nearby streets and roadways appear similar to their current configurations.</p>
1980	<p>SITE: The site appears similar to prior photographs.</p> <p>SURROUNDING AREA: The northwestern adjacent property (former service station) appears to be developed with a large commercial structure.</p>
1994	<p>SITE: The site appears in its current configuration as a parking lot.</p> <p>SURROUNDING AREA: The surrounding area appears in their current configurations.</p>
<i>Source: Advantage Environmental Consultants, LLC. April 2018. Refer to Appendix I.</i>	

State of California Division of Oil and Gas Records

According to online resources provided by the California Department of Conservation, Division of Oil, Gas and Geothermal Resources, there are no oil, gas or geothermal wells located on the Project Sites or adjacent properties.

Site Reconnaissance

A reconnaissance of the Project Sites was conducted on March 8, 2018 by Mr. Dan Weis of AEC's Western Regional office. Mr. Weis was accompanied by Weingart Center Association personnel during the site reconnaissance. The objective of the reconnaissance was to obtain information indicating the likelihood of RECs in connection with the Project Sites.

Methodology and Limiting Conditions

The reconnaissance consisted of walking the Project Sites and along public sidewalks (for viewing of adjacent/nearby properties). Full access to the Site was provided. However, it should be noted that the entire surface area of the parking lots at both Sites 1 and 2 was not visible due to the presence of parked vehicles throughout.

General Site Setting

Site 1: The site is currently used as a café and parking lot by the Weingart Center Association. The site and its adjacent/nearby properties are situated within an area of Downtown Los Angeles comprised of residential and commercial properties. The current use of the site and adjoining properties are not ones that are indicative of the use, treatment, storage, disposal or generation of significant quantities of hazardous substances or petroleum products that have adversely impacted the subsurface of the site.

Site 2: The site is developed with a paved asphalt parking lot surrounded by chain link fencing. A security guard booth is located at the main access gate on E 6th Street. The site and its adjacent/nearby properties are situated within an area of Downtown Los Angeles comprised of residential and commercial properties. The current use of the site and adjoining properties are not ones that are indicative of the use, treatment, storage, disposal or generation of significant quantities of hazardous substances or petroleum products that have adversely impacted the subsurface of the site.

Site Observations

AEC examined Sites 1 and 2 for evidence of the potential RECs shown on Table 6-34 and Table 6-35, respectively. The items noted on the tables are discussed below.

Table 6-34
Site Observation Results – Site 1

Conditions	Not Observed or Noted	Observed or Noted	Significant Environmental Concern?
Hazardous Substances/Petroleum Products	--	X	No
Waste Generation/Storage/Disposal	--	X	No
ASTs	--	X	No
USTs	X	--	--
PCB Containing Equipment	--	X	No
Chemical/Petroleum Odors	X	--	--
Pools of Liquid	X	--	--
Floor Drains/Sumps/Wells	--	X	No
Drums	X	--	--
Stains or Corrosion	X	--	--
Unidentified Substance Containers	X	--	
Stained Soil or Pavement	X	--	--
Stressed Vegetation	X	--	--
Pits, Ponds or Lagoons	X	--	--
Wastewater Discharges/Disposal Systems	X	--	--
Septic Systems/Cesspools	X	--	--
Non-Hazardous Solid Waste Disposal Areas	--	X	No
Drinking Water Systems/Water Wells	X	--	--
Other Wells	X	--	--
<i>Source: Advantage Environmental Consultants, LLC. April 2018. Refer to Appendix I.</i>			

Table 6-35
Site Observation Results – Site 2

Conditions	Not Observed or Noted	Observed or Noted	Significant Environmental Concern?
Hazardous Substances/Petroleum Products	X	--	--
Waste Generation/Storage/Disposal	X	--	--
ASTs	X	--	--
USTs	X	--	--
PCB Containing Equipment	X	--	--
Chemical/Petroleum Odors	X	--	--
Pools of Liquid	X	--	--
Floor Drains/Sumps/Wells	X	--	--
Drums	X	--	--
Stains or Corrosion	X	--	--
Unidentified Substance Containers	X	--	--
Stained Soil or Pavement	X	--	--
Stressed Vegetation	X	--	--
Pits, Ponds or Lagoons	X	--	--
Wastewater Discharges/Disposal Systems	X	--	--
Septic Systems/Cesspools	X	--	--
Non-Hazardous Solid Waste Disposal Areas	X	--	--
Drinking Water Systems/Water Wells	X	--	--
Other Wells	X	--	--
<i>Source: Advantage Environmental Consultants, LLC. April 2018. Refer to Appendix I.</i>			

Hazardous Substances/Petroleum Products – Aboveground Storage Tanks - Waste Generation/Storage/Disposal

A 250-gallon aboveground storage tank (AST) containing diesel fuel was noted in the parking lot area at Site 1. The AST stores fuel for an emergency generator. The AST is staged on a concrete pad with curbs providing secondary containment. No suspect conditions (i.e. spills, stains or odors) were noted in the vicinity of the AST. An approximate 20-gallon red metal container containing waste kitchen grease was noted at the south side of the café building. The container appeared to be in good condition with no suspect conditions (i.e. spills, stains or odors) noted in the vicinity of the container. Retail sized containers of janitorial supplies were noted inside of the café building. The containers were properly labeled. No suspect conditions (i.e. spills, stains or odors) were noted in the vicinity of the containers.

Floor Drains/Sumps/Wells

Floor drains were noted within the restrooms and kitchen of the café building on Site 1. No suspect conditions (i.e. stains or odors) were noted in the vicinity of the floor drains.

PCB Containing Equipment

Two pad mounted electrical transformers were noted in the parking lot at Site 1. The transformers are utility owned (LADWP) and are not labeled with respect to PCB content. No suspect conditions were noted in the vicinity of the transformers.

Non-Hazardous Solid Waste Disposal Areas

AEC observed a compactor in the southwest corner of the parking lot at Site 1. No staining or other suspect conditions were noted in the area of the compactor.

Additional Services

Site 1: On July 8, 2017, Southwest Geophysics, Inc., a subcontractor to AEC, completed a geophysical survey at Site 1. The included studies of a concrete patio area and parking lot located on the site. The results of the survey of the patio area did not reveal the presence of a UST or possible excavation. However, variations to the subsurface features noted during the completion of this geophysical survey may exist. Uncertainties of subsurface conditions can be reduced through additional subsurface surveying and/or exploration. It should also be noted that geophysical surveys are limited by a variety of factors including soil type, cultural interferences and surface metal mass. It should be noted that while the conclusions of the Phase I ESA are in part based on the findings of the geophysical survey, the survey and AEC's report are not guarantees that a tank or tanks do not exist at the site. No additional services were completed by AEC as part of preparation of the Phase I ESA for Site 1. AEC concluded that the Phase I ESA revealed no evidence of RECs in connection with Site 1, and additional assessment of Site 1 was not determined to be warranted. To ensure that no significant impacts related to the potential UST, the Project Applicant would be required to implement Mitigation Measure HAZ-MM-1, which states that during excavation of Site 1 for the subterranean parking garage and prior to issuance of a Building Permit, if a UST is encountered, the Project Applicant shall procure a Division 5 Permit from the Los Angeles Fire Department for removal of a UST and shall comply with the requirements of the permit.

Site 2: As stated previously, a Phase II ESA was completed concurrently with the Phase I ESA for Site 2. The subsurface evaluation was recommended due to the potential presence of lead impacted artificial fill material at the site and to further evaluate the extent of potential petroleum hydrocarbon and VOCs impacts at the site. The Phase II ESA included the completion of a geophysical survey in the northern portion of the site (former gasoline station area) using ground penetrating radar, electromagnetic technologies and other methods. The assessment also included the drilling of 10 soil borings to maximum depths of 20 feet below the surface and sampling of soil for total and soluble lead, petroleum hydrocarbons, and VOCs. In addition, soil gas probes were installed and soil gas samples were also analyzed for VOCs. In summary, the Phase II ESA concluded the following:

- The geophysical survey did not conclusively reveal the presence of USTs at the site.
- No significant soil impacts were identified during the assessment. However, the soil data gathered during the completion of the Phase II ESA will be utilized by the selected

grading/excavation contractor for development of Site 2 in evaluating disposal locations that may receive exported fill/soil from the site during future construction activities.

- Petroleum hydrocarbons and VOCs were not detected in any soil or soil gas samples analyzed during the Phase II ESA. As such, vapor intrusion is not an exposure pathway of significant concern at the site.
- All data obtained during the subsurface investigation was considered to be valid and useful for decision-making purposes. In addition, no upset conditions occurred during the sampling events or completion of the laboratory analysis that may have adversely influenced the results of the investigation.
- Additional assessment at Site 2 is not considered warranted.

Conclusion

Based on the information presented above, the Project would not create significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment. Therefore, Project impacts related to this issue would be less than significant.

c) Would the project emit hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?

No Impact. No existing or proposed schools are located within one-quarter mile of the Project Sites. The closest school is the Para Los Niños Charter Middle School, located approximately 0.5 miles southeast of the Project Sites. Thus, the Project would not emit hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school. As the Project would comply with all federal, state, and local standards and regulations, it is not anticipated to emit any hazardous emissions during construction or operation. Therefore, the Project would not adversely affect the Para Los Niños Charter Middle School. Therefore, impacts would be less than significant, and no further analysis is required.

d) Would the project be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would create a significant hazard to the public or the environment caused in whole or in part from the project's exacerbation of existing environmental conditions?

In 2015, the California Supreme Court in *CBIA v. BAAQMD*, held that CEQA generally does not require a lead agency to consider the impacts of the existing environment on the future residents or users of the project. The revised thresholds are intended to comply with this decision. Specifically, the decision held that an impact from the existing environment to the project, including future users and/or residents, exacerbates existing conditions that already exist, that impact must be assessed, including how it might affect future users and/or residents of the project. For example, if construction of the project on a

hazardous waste site will cause the potential dispersion of hazardous waste in the environment, the EIR should assess the impacts of that dispersion to the environment, including to the project's residents.

Thus, in accordance with Appendix H of the State CEQA Guidelines and the CBIA v. BAAQMD decision, the analysis associated with existing hazardous conditions below focuses on whether the Project would exacerbate these environmental conditions so as to increase the potential to expose people to impacts.

No Impact. California Government Code Section 65962.5 requires various state agencies, including but not limited to, the Department of Toxic Substances Control (DTSC) and the State Water Resources Control Board (SWRCB), to compile lists of hazardous waste disposal facilities, unauthorized releases from underground storage tanks, contaminated drinking water wells and solid waste facilities where there is known migration of hazardous waste and submit such information to the Secretary for Environmental Protection on at least an annual basis. Neither of the Project Sites is included on any list compiled pursuant to Government Code Section 65962.5.¹⁰⁰ As discussed in detail above in response to Checklist Question 8(b), the construction and operation of the Project would not create a significant hazard to the public or the environment, as a result of being on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5. Based on this, development of the Project would not cause or exacerbate a significant hazard to the public or the environment. Therefore, no impacts related to this issue would occur.

e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?

No Impact. The Project Sites are not located within two miles of a public airport. The closest airport is the Hollywood Burbank Airport located approximately 16.9 miles northwest of the sites. Thus, implementation of the Project would not have the potential to exacerbate current environmental conditions as to result in a safety hazard for people residing or working in the area of the Project Sites. Therefore, no impacts related to this issue would occur.

f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?

No Impact. The Project Sites are not located within the vicinity of a private airstrip. The closest airport is the Hollywood Burbank Airport located approximately 16.9 miles northwest of the sites. Thus, implementation of the Project would not have the potential to exacerbate current environmental conditions as to result in a safety hazard for people residing or working in the area of the Project Sites. Therefore, no impacts related to this issue would occur.

¹⁰⁰ Department of Toxic Substances Control, Envirostor, https://www.envirostor.dtsc.ca.gov/public/map/?global_id=60001142, April 16, 2018.

g) Would the project impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?

Less Than Significant Impact. The City's General Plan Safety Element addresses public protection from unreasonable risks associated with natural disasters (e.g., fires, floods, earthquakes) and sets forth guidance for emergency response. Specifically, the Safety Element includes Exhibit H, Critical Facilities and Lifeline Systems, that identifies emergency evacuation routes, along with the location of selected emergency facilities. According to the Safety Element of the General Plan, the Project Sites are located along a designated disaster route (i.e., San Pedro Street).¹⁰¹

While it is expected that the majority of construction activities for the Project would be confined to the Project Sites, temporary and limited off-site construction activities may occur in adjacent street rights-of-way during certain periods of the day, which could potentially affect emergency access adjacent to the Project Sites. Access to the Project Sites and surrounding area during construction of the Project would be maintained in accordance with standard construction management plans that would be implemented to ensure adequate circulation and emergency access. Furthermore, prior to the issuance of a building permit, the Project Applicant would be required by the LAFD and the LADBS to develop an emergency response plan for the Project in consultation with the LAFD. The emergency response plan shall include but not be limited to the following: mapping of emergency exits, evacuation routes for vehicles and pedestrians, location of nearest hospitals, and fire departments. Preparation and implementation of the Project-specific emergency response plan would ensure that Project impacts related to emergency response would be less than significant.

h) Would the project exacerbate existing environmental conditions so as to increase the potential to expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

No Impact. The Project Sites are located in a highly urbanized area of the City that is not subject to wildland fires. Therefore, the Project would not expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands. Implementation of the Project would not have the potential to exacerbate existing environmental conditions so as to increase the potential to expose people or structures to significant risk of loss, injury or death involving wildland fires, and no impacts would occur as a result of the Project.

Mitigation Measures (Hazards and Hazardous Materials)

HAZ-MM-1: During excavation of Site 1 for the subterranean parking garage and prior to issuance of a Building Permit, if a UST is encountered, the Project Applicant shall procure a

¹⁰¹ *City of Los Angeles Department of Planning General Plan Safety Element, November 26, 1996, Exhibit H, Critical Facilities and Lifeline Systems.*

Division 5 Permit from the Los Angeles Fire Department for removal of a UST and shall comply with the requirements of the permit.

Cumulative Impacts

The geographic extent of the Project's environmental impacts is limited to the Project Sites and would not contribute to any other potential environmental impact that may occur beyond the boundaries of the Project Sites. All related projects would be subject to discretionary or ministerial review by their respective jurisdictions, which would be responsible for assessing potential hazards risks associated with those related projects, and if necessary, the applicants of those projects would be required to implement measures appropriate for the type and extent of hazardous materials present and the land use proposed to reduce the risk associated with the hazardous materials to an acceptable level. As stated previously, with mitigation, the Project would not result in any significant impacts related to hazards and hazardous materials. Therefore, no significant Project cumulative impacts related to hazards and hazardous materials would occur.

9. HYDROLOGY AND WATER QUALITY

a) Would the project violate any water quality standards or waste discharge requirements?

Less Than Significant Impact. During construction of the Project, particularly during the grading and excavation phases, stormwater runoff from precipitation events could cause exposed and stockpiled soils to be subject to erosion and convey sediments into municipal storm drain systems. In addition, on-site watering activities to reduce airborne dust could contribute to pollutant loading in runoff. Pollutant discharges relating to the storage, handling, use and disposal of chemicals, adhesives, coatings, lubricants, and fuel could also occur. Thus, a significant impact could occur if the Project discharges water that does not meet the quality standards of agencies that regulate surface water quality and water discharge into storm water drainage systems, or would not comply with all applicable regulations as governed by the Los Angeles Regional Water Quality Control Board (LARWQCB).

The Project would be required to comply with the National Pollutant Discharge Elimination System (NPDES) General Construction Permit including the preparation of a Stormwater Pollution Prevention Plan (SWPPP) and implementation of best management practices (BMPs), required to minimize soil erosion and sedimentation from entering the storm drains during the construction period. In addition, the Project would be subject to the City's Stormwater and Urban Runoff Pollution Control regulations (Ordinance No. 172,176 and No. 173,494) to ensure pollutant loads from the Project Sites would be minimized for downstream receiving waters. Compliance with the NPDES and implementation of the SWPPP and BMPs, as well as the City's discharge requirements would ensure that construction stormwater runoff would not violate water quality and/or discharge requirements.

Stormwater runoff generated during operation of the Project has the potential to introduce small amounts of pollutants typically associated with mixed-use developments (e.g., household cleaners, landscaping pesticides, and vehicle petroleum products) into the stormwater system. Stormwater runoff from precipitation events could carry urban pollutants into municipal storm drains, however during operation the Project would be required to comply with the City's Low Impact Development (LID) Ordinance. The

LID Ordinance applies to all development and redevelopment in the City that requires a building permit. LID plans are required to include a site design approach and BMPs that address runoff and pollution at the source. Further, to comply with LID Ordinance the Project would be required to capture and treat the first 3/4-inch of rainfall in accordance with established stormwater treatment priorities. Compliance with the LID Ordinance would reduce the amount of surface water runoff leaving the Project Sites as compared to the current conditions. Compliance with the LID Plan and Standard Urban Stormwater Mitigation Plan (SUSMP), including the implementation of BMPs, would ensure that operation of the Project would not violate water quality standard and discharge requirements or otherwise substantially degrade water quality.

Conformance with these regulations would ensure construction and operational activities would result in less-than-significant impacts and would not violate water quality standards, waste discharge requirements, or otherwise substantially degrade water quality.

b) Would the project substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?

No Impact. The Project Sites are located in an urbanized area of the City. Site 1 is developed with a surface parking lot and a 7,000-square-foot food service building; Site 2 is developed with a surface parking lot. There are no permeable surfaces on the Project Sites. During a storm event stormwater runoff flows to the adjacent roadways where it is directed into the City's storm drain system. As such, the Project Sites are not a source of groundwater recharge. Following redevelopment of the Project Sites, groundwater recharge would remain negligible, similar to existing conditions.

Based on the geotechnical investigations conducted for the Project Sites (refer to Appendix H1 and H2), and as discussed in in response to Checklist Question 6(a)(iii), the historically highest groundwater level in the area ranges from between approximately 85 feet and 95 feet beneath the ground surface. Groundwater was not encountered in borings drilled to a maximum depth of 50½ feet below the existing ground surface for Site 1 and 40 feet below the existing ground surface for Site 2. Based on the historic high groundwater levels in the site vicinity, the lack of groundwater in the borings, and the depth of proposed construction, groundwater is neither expected to be encountered during construction, nor have a detrimental effect on the Project. However, it is possible for groundwater levels to vary seasonally or for groundwater seepage conditions to develop where none previously existed, especially in impermeable fine-grained soils which are heavily irrigated or after seasonal rainfall. In addition, recent requirements for stormwater infiltration could result in shallower seepage conditions in the immediate site vicinity. Should shallower or perched groundwater be encountered during Project construction, it would be pumped and discharged in accordance with all applicable LAWRQCB requirements, resulting in no impacts to groundwater supplies or water quality standards. Additionally, all water consumption associated with the Project would be supplied by LADWP and not from groundwater beneath the Project Sites. Thus, no impacts related to groundwater would occur as a result of the Project.

c) Would the project substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner, which would result in substantial erosion or siltation on- or off-site?

Less Than Significant Impact. A significant impact could occur if the Project substantially altered the drainage pattern of the Project Sites or an existing stream or river, so that substantial erosion or siltation would result on- or off-site. The Project Sites are located in a highly urbanized area of the City. There are no natural watercourses on the Project Sites or in the vicinity of the sites. As discussed above, the Project Sites are developed with buildings and/or paved surfaces and are considered 100 percent impervious. Current stormwater runoff flows to the local storm drain system.

Under the post-Project condition, the Project Sites also would be considered 100 percent impervious, and drainage patterns would be much the same as under the existing condition. The Project Applicant would be required to prepare a SWPPP and implement BMPs to reduce runoff and preserve water quality during construction of the Project. While grading and construction activities may temporarily alter the existing drainage patterns of the site, BMPs would be implemented to minimize soil erosion impacts during Project grading and construction activities.

In addition, the Project would be required to implement a LID Plan (during operation), which would reduce the amount of surface water runoff leaving the Project Sites after a storm event. Specifically, the LID Plan would require the implementation of stormwater BMPs to retain or treat the runoff from a storm event producing 3/4-inch of rainfall in a 24-hour period. Therefore, the Project would not result in substantial erosion or siltation on- or off-site, and impacts would be less than significant.

d) Would the project substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?

Less Than Significant Impact. A significant impact could occur if the Project resulted in increased surface water runoff volumes during construction, or if operation of the Project would result in flooding conditions affecting the Project Sites or nearby properties. Grading and construction activities on the Project Sites may temporarily alter the existing drainage patterns and reduce off-site flows. However, construction and operation of the Project would not result in a significant increase in site runoff or any changes in the local drainage patterns that would result in flooding on- or off-site. The Project would be required to prepare a SWPPP and implement BMPs to reduce runoff and preserve water quality during construction of the Project. Compliance with the LID Ordinance would also reduce the amount of surface water runoff leaving the Project Sites as compared to the current conditions. Impacts would therefore be less than significant.

e) Would the project create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?

Less Than Significant Impact. A significant impact could occur if the Project would increase the volume of stormwater runoff to a level that exceeds the capacity of the storm drain system serving the

Project Sites, or if the Project would introduce substantial new sources of polluted runoff. Runoff from the Project Sites currently is and would continue to be collected on the sites and directed towards existing storm drains in the vicinity of the Project Sites, which include catch basins at the corners of South San Pedro Street and East 6th Street and Crocker Street and East 6th Street.

Construction-Related Project Impacts

Three general sources of potential short-term construction-related stormwater pollution associated with the Project are: 1) the handling, storage, and disposal of construction materials containing pollutants; 2) the maintenance and operation of construction equipment; and 3) earth moving activities which, when not controlled, may generate soil erosion and transportation, via storm runoff or mechanical equipment. Generally, routine safety precautions for handling and storing construction materials may effectively mitigate the potential pollution of stormwater by these materials. These same types of common sense, "good housekeeping" procedures, or BMPs, can be extended to non-hazardous stormwater pollutants such as sawdust and other solid wastes.

Poorly maintained vehicles and heavy equipment leaking fuel, oil, antifreeze, or other fluids on the construction site are also common sources of stormwater pollution and soil contamination. Grading activities can greatly increase erosion processes. Two general strategies are recommended to prevent construction silt from entering local storm drains. First, erosion control procedures should be implemented for those areas that must be exposed. Secondly, the area should be secured to control off-site migration of pollutants. During construction, the Applicant shall be required to implement all applicable and mandatory BMPs in accordance with the approved LID Plan and the SWPPP. These "good-housekeeping" practices would ensure that short-term construction-related impacts would be less than significant.

Operation-Related Project Impacts

Pursuant to City policy, stormwater retention would be required as part of the LID/SUSMP implementation features (despite no increase of imperviousness surfaces on the site). Any contaminants gathered during routine cleaning of construction equipment would be disposed of in compliance with applicable stormwater pollution prevention permits. Further, pollutants resulting from Project operation, including petroleum products associated with the Project's parking and circulation areas, would be subject to the requirements and regulations of the NPDES and applicable LID Ordinance requirements. Accordingly, the Project would be required to demonstrate compliance with LID Ordinance standards and retain or treat the first three-quarters inch of rainfall in a 24-hour period. Thus, the Project would not create or contribute surface runoff that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff. Therefore, Project impacts related to storm drain capacity and water quality would be less than significant.

Activities associated with operation of the Project could generate substances that could degrade the quality of water runoff. The deposition of certain chemicals by cars in the parking garage could have the potential to contribute metals, oil and grease, solvents, phosphates, hydrocarbons, and suspended solids to the storm drain system. However, impacts to water quality would be reduced since the Project must

comply with water quality standards and wastewater discharge BMPs set forth by the City, the SWRCB, and the Project's approved LID Plan. Through compliance with existing regulations and the approved LID Plan, the Project would not create or contribute surface runoff that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff. Therefore, Project impacts related to storm drain capacity and water quality would be less than significant.

f) Would the project otherwise substantially degrade water quality?

Less Than Significant Impact. As discussed previously, the Project would be required to comply with the NPDES General Construction Permit including the preparation of a SWPPP and implementation of BMPs that would require the Project to minimize soil erosion and sedimentation from entering the storm drains during the construction period. In addition, the Project would be subject to the City's Stormwater and Urban Runoff Pollution Control regulations (Ordinance No. 172,176 and No. 173,494) to ensure pollutant loads from the Project Sites would be minimized for downstream receiving waters. Compliance with the NPDES and implementation of the SWPPP and BMPs, as well as the City's discharge requirements, would ensure that construction stormwater runoff would not violate water quality and/or discharge requirements. Construction related impacts would be less than significant.

Stormwater runoff generated during operation of the Project has the potential to introduce small amounts of pollutants typically associated with mixed-use developments (e.g., household cleaners, landscaping pesticides, and vehicle petroleum products) into the stormwater system. Stormwater runoff from precipitation events could carry urban pollutants into municipal storm drains; however, during operation the Project would be required to comply with the City's LID Ordinance. The LID Ordinance applies to all development and redevelopment in the City that requires a building permit. LID Plans are required to include a site design approach and BMPs that address runoff and pollution at the source. Further, to comply with LID Ordinance the Project would be required to capture and treat the first 3/4-inch of rainfall in accordance with established stormwater treatment priorities. Compliance with the LID Ordinance would reduce the amount of surface water runoff leaving the Project Sites as compared to the current conditions. Compliance with the LID Plan and SUSMP, including the implementation of BMPs, would ensure that operation of the Project would not violate water quality standard and discharge requirements or otherwise substantially degrade water quality. Impacts would be less than significant.

g) Would the project place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?

No Impact. The Project Sites are not located within a 100-year zone, as mapped by the Federal Emergency Management Agency (FEMA).¹⁰² Thus, the Project would not place housing within a 100-

¹⁰² FEMA, <https://msc.fema.gov/portal/search?AddressQuery=350%20Hill%20street%2C%20los%20angeles%2C%20ca#searchresultsanchor>, effective on 9-26-2008; and City of Los Angeles General Plan Safety Element, Exhibit F.

year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map. Therefore, no impacts related to this issue would occur.

h) Would the project place within a 100-year flood hazard area structures which would impede or redirect flood flows?

No Impact. As discussed above, the Project Sites are not located within a 100-year flood hazard area.¹⁰³ Thus, the Project would not place housing within a 100-year flood hazard area and structures would not impede or redirect flood flows. Therefore, no impacts related to this issue would occur.

i) Would the project expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?

Less Than Significant Impact. As discussed above, the Project Sites are not located within a designated 100-year flood plain. However, the Project Sites are identified in the Safety Element of the General Plan as being located in an area potentially susceptible to floods associated with a dam associated with the Hollywood Reservoir/Mulholland Dam.¹⁰⁴ However, the Baldwin Hills dam failure in 1963 and the near collapse of the Van Norman Dam during the 1971 San Fernando Earthquake resulted in strengthening of the federal, state, and local design standards and retrofitting of existing dam facilities. None of the 13 dams in the greater Los Angeles area was severely damaged during the 1994 Northridge Earthquake. This low damage level was due in part to completion of the retrofitting of dams and reservoirs pursuant to the 1972 State Dam Safety Act following the San Fernando earthquake.¹⁰⁵

To further ensure against dam failure, the LADWP maintains a Water System Reservoir Surveillance Program. Most of LADWP's dams and reservoirs are under the jurisdiction of the California Department of Water Resources, Division of Safety of Dams (DSOD). DSOD issues operating licenses for dams and reservoirs under its jurisdiction, and the owner must comply with certain operation, maintenance, and inspection procedures in order to retain the license to operate the facility. LADWP maintains an assertive dam safety program, consisting of a six-person Reservoir Surveillance Group dedicated to inspecting each in-City reservoir monthly and each of its Owens Valley reservoirs annually or semi-annually. Reservoir inspections include reading groundwater monitoring wells in and around the dams, reading flows at seepage drains, and performing a thorough visual inspection. Many LADWP reservoirs have Movement and Settlement (M&S) survey points installed on, and near, the dams. These points are periodically measured using precision survey equipment. The M&S survey, groundwater, and seepage data are plotted on long-term charts to determine if there has been any significant change over time. LADWP conducts surveillance of the reservoirs as required by DSOD.¹⁰⁶ Thus, the Hollywood Reservoir/Mulholland Dam,

¹⁰³ *Ibid.*

¹⁰⁴ *Los Angeles General Plan Safety Element, Exhibit G, Inundation and Tsunami Hazard Areas.*

¹⁰⁵ *Los Angeles General Plan Safety Element, Page II-16.*

¹⁰⁶ *Los Angeles Department of Water and Power, Water Infrastructure Plan 2016, http://ezweb.ladwp.com/UserFiles/Rates%20Documents/2016/Water_Infra_Plan_2016.pdf, accessed on April 17, 2018.*

as with other dams in California, is continually monitored by various governmental agencies (such as the State of California Division of Safety and Dams and the U.S. Army Corps of Engineers) to guard against the threat of dam failure. Current design and construction practices and ongoing programs of review, modification, or total reconstruction of existing dams are intended to ensure that all dams are capable of withstanding the maximum credible earthquake for the site. As such, the minimal risk of flooding from potential dam or levee failure would not be exacerbated by the Project. Therefore, impacts related to flooding would be less than significant.

j) Would the project expose people or structures to a significant risk of loss, injury or death involving inundation by seiche, tsunami, or mudflow?

No Impact. A seiche is an oscillation of a body of water in an enclosed or semi-enclosed basin, such as a reservoir, harbor, lake, or storage tank. A tsunami is a great sea wave, commonly referred to as a tidal wave, produced by a significant disturbance undersea, such as a tectonic displacement of sea floor associated with large, shallow earthquakes. Mudflows occur as a result of downslope movement of soil and/or rock under the influence of gravity. The Project Sites are located approximately 14 miles east of the Pacific Ocean. In addition, the Safety Element of the General Plan does not map the Project Sites as being located within an area potentially affected by a tsunami.¹⁰⁷ Therefore, the Project would not expose people or structures to a significant risk of loss, injury, or death involving inundation by seiche, tsunami, or mudflow.

Cumulative Impacts

The sites of the proposed Project and the related projects are located in an urbanized area where most of the surrounding properties are already developed. The existing storm drainage system serving this area has been designed to accommodate runoff from an urban built-out environment. When new construction occurs it generally does not lead to substantial additional runoff, since new developments is required to control the amount and quality of stormwater runoff coming from their respective sites. Additionally, all new development in the City is required to comply with the City's LID Ordinance and incorporate appropriate stormwater pollution control measures into the design plans to ensure that water quality impacts are minimized. Therefore, Project cumulative impacts related to hydrology and water quality would be less than significant.

10. LAND USE AND PLANNING

a) Would the project physically divide an established community?

No Impact. The Project Sites are located in a fully urbanized area of Los Angeles, in the Central City Community Plan Area. Site 1 is developed with a surface parking lot and a 7,000-square-foot food service building; Site 2 is developed with a surface parking lot. Specific uses surrounding the Project Sites include social services, warehouse, parking, and transitional housing land uses. A fully developed street network is located adjacent to the Project Sites and within the vicinity of the sites, along with all basic

¹⁰⁷ *Ibid.*

urban infrastructure systems. The Project would not create a physical barrier causing an impediment to travel or access the area surrounding the Project Sites. Rather, the Project includes removal of the existing land uses from the Project Sites and development of the sites with residential and commercial land uses. There would be no impact involving a physical separation of or other disruption to the physical structure of adjacent properties or the surrounding community, as development of the Project would occur within the boundaries of the existing Project Sites. Thus, the Project would not physically divide, disrupt, or isolate an established community. Therefore, no impacts related to this issue would occur.

b) Would the project conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?

Less Than Significant With Mitigation Incorporated. As discussed below, with mitigation, the Project would be substantially consistent with all of the applicable plans, policies, and regulations adopted for the purpose of avoiding or mitigating an environmental effect associated with development of the Project Sites. Therefore, Project impacts related to land use and planning would be less than significant.

Regional

Southern California Association of Governments

SCAG is the Metropolitan Planning Organization (MPO) for six counties: Los Angeles, Orange, San Bernardino, Riverside, Ventura, and Imperial. The SCAG region encompasses a population exceeding 18 million persons in an area of more than 38,000 square miles. As the federally-designated Metropolitan Planning Organization, SCAG is mandated to research and create plans for transportation, growth management, hazardous waste management, and air quality. Applicable SCAG publications are discussed below.

SCAG Regional Comprehensive Plan

SCAG has prepared the 2008 Regional Comprehensive Plan (2008 RCP) in response to SCAG's Regional Council directive in its 2002 Strategic Plan to define solutions to interrelated housing, traffic, water, air quality, and other regional challenges.¹⁰⁸ The 2008 RCP is an advisory document that describes future conditions if current trends continue, defines a vision for a healthier region, and recommends an Action Plan with a target year of 2035. The 2008 RCP may be voluntarily used by local jurisdictions in developing local plans and addressing local issues of regional significance. The plan includes nine chapters addressing land use and housing, transportation, air quality, energy, open space, water, solid waste, economy, and security and emergency preparedness. The action plans contained therein provide a series of recommended near-term policies that developers and key stakeholders should consider for implementation, as well as potential policies for consideration by local jurisdictions and agencies when conducting project review.

¹⁰⁸ 2008 Regional Comprehensive Plan, SCAG, <http://www.scag.ca.gov/rcp/pdf/finalrcp/f2008RCP>.

The 2008 RCP replaced the Regional Comprehensive Plan and Guide (RCPG) for use in SCAG's Intergovernmental Review (IGR) process. SCAG's Community, Economic and Human Development Committee and the Regional Council took action to accept the 2008 RCP, which now serves as an advisory document for local governments in the SCAG region for their information and voluntary use in developing local plans and addressing local issues of regional significance. However, as indicated by SCAG, because of its advisory nature, the 2008 RCP is not used in SCAG's IGR process. Rather, SCAG reviews new projects based on consistency with the 2016-2040 RTP/SCS (discussed below),

SCAG 2016-2040 RTP/SCS

On September 30, 2008, SB 375 was passed to help achieve AB 32 goals related to the reduction of greenhouse gases through regulation of cars and light trucks. SB 375 aligns three policy areas of importance to local government: (1) regional long-range transportation plans and investments; (2) regional allocation of the obligation for cities and counties to zone for housing; and (3) a process to achieve GHG emissions reductions targets for the transportation sector.¹⁰⁹ It establishes a process for CARB to develop GHG emissions reductions targets for each region (as opposed to individual local governments or households). SB 375 also requires MPOs to prepare an SCS within the RTP that guides growth while taking into account the transportation, housing, environmental, and economic needs of the region. SB 375 uses CEQA streamlining as an incentive to encourage residential projects, which help achieve AB 32 goals to reduce GHG emissions.

On September 23, 2010, CARB adopted regional targets for the reduction of GHG emissions applying to the years 2020 and 2035. For the area under SCAG jurisdiction, including the Project area, CARB adopted Regional Targets for reduction of GHG emissions by eight percent for 2020 and by 13 percent for 2035. On February 15, 2011, CARB's Executive Officer approved the final targets.¹¹⁰

On April 7, 2016, the Regional Council of SCAG adopted the 2016-2040 RTP/SCS. For the past three decades, SCAG has prepared RTPs with the primary goal of increasing mobility for the region's residents and visitors. Through the 2016-2040 RTP/SCS SCAG continues to emphasize sustainability and integrated planning, whose vision encompasses three principles that collectively work as the key to the region's future: mobility, economy, and sustainability.

The 2016-2040 RTP/SCS includes a strong commitment to reduce emissions from transportation sources to comply with SB 375, improve public health, and meet the NAAQS as set forth by the Federal Clean Air Act. As such, the 2016-2040 RTP/SCS contains a regional commitment for the broad deployment of zero- and near-zero-emission transportation technologies in the 2016-2040 time frame and clear steps to move toward this objective. This is especially critical for the goods movement system. The development of a world-class, zero- or near-zero-emission freight transportation system is necessary to maintain economic growth in the region, to sustain quality of life, and to meet federal air quality requirements. The

¹⁰⁹ AB 32 was signed into law in 2006 and focuses on achieving GHG emissions equivalent to statewide levels in 1990 by 2020.

¹¹⁰ CARB, Executive Order No. G-11-024, Relating to Adoption of Regional Greenhouse Gas Emission Reduction Targets for Automobiles and Light Trucks Pursuant to Senate Bill 375.

2016-2040 RTP/SCS puts forth an aggressive strategy for technology development and deployment to achieve this objective. This strategy will have many co-benefits, including energy security, cost certainty, increased public support for infrastructure, GHG emissions reduction, and economic development.

The 2016-2040 RTP/SCS includes a significant consideration of the economic impacts and opportunities provided by the transportation infrastructure plan set forth in the 2016-2040 RTP/SCS, considering not only the economic and job creation impacts of the direct investment in transportation infrastructure, but also the efficiency gains in terms of worker and business economic productivity and goods movement. The 2016-2040 RTP/SCS outlines a transportation infrastructure investment strategy that will benefit Southern California, the State, and the nation in terms of economic development, competitive advantage, and overall competitiveness in the global economy in terms of attracting and retaining employers in the Southern California region.

The 2016-2040 RTP/SCS provides a blueprint for improving quality of life for residents by providing more choices for where they will live, work, and play, and how they will move around. It is designed to promote safe, secure, and efficient transportation systems to provide improved access to opportunities, such as jobs, education, and healthcare. Its emphasis on transit and active transportation is designed to allow residents to lead a healthier, more active lifestyle. Its goal is to create jobs, ensure the region's economic competitiveness through strategic investments in the goods movement system, and improve environmental and health outcomes for its residents by 2040. More importantly, the 2016-2040 RTP/SCS is also designed to preserve what makes the region special, including stable and successful neighborhoods and array of open spaces for future generations.

The 2016-2040 RTP/SCS also includes examples of measures that could reduce impacts from planning, development, and transportation. It notes, however, that the example measures are not intended to serve as any kind of checklist to be used on a project-specific basis. Since every project and project setting is different, project-specific analysis is needed to identify applicable and feasible mitigation. These mitigation measures are particularly important where streamlining mechanisms under SB 375 are utilized.

Project Consistency Discussion

A detailed discussion of the Project's consistency with the 2016-2040 RTP/SCS is included in Section 3 (SCEA Criteria and Transit Priority Project Consistency Analysis). As discussed there, the Project would be substantially consistent with the applicable 2016-2040 RTP/SCS policies and with the general use designation, density, and building intensity identified in the 2016-2040 RTP/SCS for the area in which the Project Sites are located.

While the Project is consistent with the SCAG 2016-2040 RTP/SCS, the Project is not consistent with the City's current land use and zoning designations for the Project Sites. As such, a General Plan Amendment, Zone Change, and Height District Change are required. The SCAG 2016-2040 RTP/SCS recognizes that land uses authorized under the 2016-2040 RTP/SCS may be inconsistent with existing land use plans, policies, and regulations of an agency with jurisdiction over a project and identified mitigation measure MM-LU-1(b) (listed below) to address and avoid or reduce potential significant effects of such inconsistency to less than significant levels.

- MM-LU-1(b): Where an inconsistency with the adopted general plan is identified at the proposed Project location, determine if the environmental, social, economic, and engineering benefits of the Project warrant a variance from adopted zoning or an amendment to the general plan.

This mitigation measure permits a local agency to resolve the inconsistency between the general use designations under the SCAG 2016-2040 RTP/SCS and the adopted general plan with an amendment to the general plan and related zoning where the local agency finds that the environmental, social, economic, and engineering benefits of a project warrant a variance from the City's adopted general plan and zoning designations. Implementation of MM-LU-1(b) and approval by the City of a general plan amendment and zone change would allow the Project to proceed in a manner consistent with both the 2016-2040 RTP/SCS and the City's General Plan land use designation and zoning for the Project Sites. The discussion regarding implementation of this mitigation measure and the environmental, social, economic, and engineering benefits of the Project is provided, below.

Site Context

The Project Sites are located within the Skid Row area of Downtown Los Angeles within the Central City Community Plan area of the City's General Plan Land Use element. Skid Row, a former industrial manufacturing center, has over the last half-century experienced an exodus of heavy, medium and light industry from the area. Industry in Los Angeles County has decentralized, moving to places like Commerce and further east into San Bernardino County. Skid Row has seen a spillover of neighboring residential and commercial neighborhoods including the Historic Core and Little Tokyo, where the borders between these neighborhoods have been blurred. In addition, the neighborhood has seen an increase in homelessness and homeless services, including shelters, clinics, transitional and permanent supportive housing, and provision of social services such as rehabilitation and jobs training.

Homelessness is not specific to Skid Row. Los Angeles is facing a homelessness epidemic, with approximately 60,000 persons in Los Angeles County experiencing homelessness on any given night and the highest density of these individuals is in central Los Angeles.¹¹¹ Homelessness in Los Angeles County has increased nearly 25 percent since 2016.¹¹² The homelessness problem is compounded by the housing crisis, which Los Angeles is also experiencing. In Los Angeles County, approximately 600,000 people are considered severely rent burdened, meaning they spend half of their income on rent. Furthermore, more than 8,000 people became homeless in Los Angeles for the first-time last year.¹¹³ The County of Los Angeles is woefully short on affordable housing, needing an overwhelming 551,807 new units of affordable housing to satisfy demand from very low and extremely low-income individuals.¹¹⁴

¹¹¹ *The Greater Los Angeles Homeless County, Homeless Count 2017 Los Angeles County Fact Sheet, Los Angeles Homeless Services Authority, <https://www.lahsa.org/homeless-count/>, accessed May 2018.*

¹¹² *Ibid.*

¹¹³ *Ibid.*

¹¹⁴ *Los Angeles County Renters in Crisis: A Call for Action, California Housing Partnership, May 2017.*

City Policies to Address Homelessness and to Create Affordable Housing

The City is creating policies to address the homeless and housing crises. Voters recently approved Measure H (a County-wide ballot measure) and Proposition HHH (a City ballot measure) to implement sales taxes that will help fund homeless services and homeless housing. Measure H aims to do several things to increase services for homeless, including but not limited to development of outreach teams comprised of case workers and health specialists, temporary bridge housing, a rapid rehousing program and the provision of supportive services like job training, substance abuse counseling, and mental health treatment.¹¹⁵ Proposition HHH will incur a new property tax that will fund the Proposition HHH Permanent Supportive Housing Loan Program which emphasizing reducing homelessness by providing funding to create safe and affordable housing units, and increasing accessibility to a variety of services and treatment programs within these permanent supportive housing Projects.¹¹⁶

In addition to these homelessness initiatives, there are several other City initiatives aimed at the creation of affordable housing that have been recently adopted or are in process. Mayor Eric Garcetti issued Executive Directive 13: Support for Affordable Housing, which aims to issue permits for 100,000 new housing units in the City by 2021, ensuring that at least 15,000 of those units are set aside as affordable units for low-income households. The City Council recently adopted the Affordable Housing Linkage Fee. The linkage fee is based on the nexus between the development of nonresidential and market rate Projects and the increased need to provide affordable housing. The linkage fee will be charged to project applicants commensurate with the characteristics of each project. Proceeds will be used to preserve existing affordable housing covenants and develop new affordable housing Projects.¹¹⁷ In addition, each Councilmember has pledged to back the approval of at least 222 units of supportive housing in their district before July 1, 2020. Furthermore, the City recently implemented the Transit Oriented Communities Guidelines, which create incentives to produce housing near transit in return for incorporation of affordable housing in these Projects.

The Department of City Planning is also undertaking DTLA 2040, which involves an update of the Central City and Central City North Community Plans and would modify the land use designations and zoning for Downtown Los Angeles. DTLA 2040 began in 2014 and is currently in the environmental review process. The Department of City Planning expects publication of the Draft Environmental Impact Report by Summer 2018. Once the project completes environmental review, the adoption process for DTLA 2040 will begin. As part of the Community Plan Update process, the City is evaluating the re-designation of land that is currently designated for manufacturing and heavy industrial uses to different designations that could accommodate housing, general commercial uses, and other new industries.

¹¹⁵ *Los Angeles County Homeless Initiative –FY 2018-19 Draft Measure H Funding Recommendations.*

¹¹⁶ *Supportive Housing (Prop HHH), Los Angeles Housing and Community Investment Department*

¹¹⁷ *City of Los Angeles Ordinance No. 185,342*

Incompatibility of Project Area and Project Sites with existing Manufacturing Land Use and Zoning Designations

The Project Sites are not a viable location for manufacturing uses. As Skid Row exists today, there is already a high density of housing and social services provided in industrially zoned land which is incompatible with the area's manufacturing land use designation and zoning. In general, much of this area is incompatible with the manufacturing land use designation. Industry has changed over the past decades and no longer aligns with the land use characteristics of heavy manufacturing of the first half of the 20th century. Industry in Los Angeles is no longer focused on manufacturing of products to be used in mass production, but instead focused on providing services and creating content such as film production, music studios, fashion industries, etc. Additionally, the developable sites in the Skid Row area are not suitable for industrial development from a size and cost perspective. The majority of the land parcels in the area are small, less than an acre. Many land parcels would need to be assembled in order to create a viable manufacturing development site, in an area where land costs are very high. In addition, the infrastructure in the area is not adequate for industrial uses. Roads are narrow, old, and congested and cannot accommodate typically large delivery trucks. Utilities have also not been updated in nearly a century and cannot support the utility demands of modern day manufacturing uses without adding significant redevelopment costs. Industry instead has moved to places like San Bernardino County where land is readily available and inexpensive compared to the central core of Los Angeles and where utilities can be easily installed to accommodate manufacturing.

The Project Sites could not support the development of a factory or other manufacturing center as it is not large enough to accommodate factory buildings and truck loading and the utility systems would require significant upgrades for modern industrial uses.

In addition, the Department of City Planning issued *Downtown Industrial Core: Data and Recommendations*, which are intended to maintain industrial and manufacturing uses in areas zoned for such uses in the City. However, that policy contains an exception for affordable housing, by recommending to “Reinforce Community Plan objectives and policies to allow permanent supportive housing and assure no net loss of affordable housing” near the Project Sites.¹¹⁸

In light of the incompatibility of the Project Sites for industrial and manufacturing uses, the Project Sites are likely to remain in its current, underutilized condition in the absence of general plan amendment and zone change. The requested General Plan Amendment to Regional Center Commercial and Zone and Height District Change to C2-4D in a manner consistent with the Urban Land Development Category in the 2016-2040 RTP/SCS and the designation of the area as a High Quality Transit Area (HQTa) and consistent with the *Downtown Industrial Core: Data and Recommendations adopted as guidelines by the City Planning Commission*. While that policy was never adopted by the City Council, the Project is nevertheless consistent with the policy, which contained an exception for affordable housing, by recommending reinforcing Community Plan objectives and policies to allow permanent supportive housing and assure no net loss of affordable housing in the area of the Project Sites. In addition, the City Planning Commission previously approved an industrial land use policy that was intended to maintain

¹¹⁸ Department of City Planning, *Downtown Industrial Core: Data and Recommendations*

industrial and manufacturing uses in areas zoned for such uses in the City, including the area of Downtown Los Angeles encompassing the Project Sites.¹¹⁹ The proposed high-density mixed-use Project would also be consistent with the numerous City ordinances, plans and policies enumerated above, by addressing homelessness and providing new, much needed permanent supportive and affordable housing for homeless (including individuals and families) and including social service components, consistent with Measure HHH, to support future residents.

Environmental Benefits of Project

The Project would benefit the environment in several ways that support the City's and the 2016-2040 RTP/SCS sustainability goals and warrant a variance from the existing General Plan and zoning designations for the Project Sites. Importantly, the Project would remove two large surface parking lots and construct dense affordable housing near jobs and transit. Removal of the parking lot would reduce urban runoff and the heat island effect while promoting smart growth by placing housing near jobs and transit, reducing vehicle trips and improving air quality. The Project has very little parking for the residential uses and instead focuses on providing ample bicycle parking and infrastructure to further disincentivize automobile use and encourage biking and walking. The Project would be built to the current building codes that require sustainability measures such as low flow fixtures and efficient energy systems. The Project would also incorporate approximately 10,500 square feet of solar voltaic panels on the roof levels. Additionally, the Project would incorporate approximately 34,000 square feet of outdoor open space in the form of landscaped courtyards, terraces and pet areas, as well as plant approximately 86 trees on-site in an area that is currently lacking green space and trees. These green areas and trees would further improve air quality and create much needed outdoor recreation amenities in Skid Row. The Project also would activate the sidewalks at the Project Sites by incorporating street-level retail and neighborhood serving uses, while simultaneously creating internal infrastructure for bike parking and encouraging walking, biking and transit use.

These positive environmental impacts of the Project are in alignment with the City's *Plan for a Healthy LA*, which is a recently adopted element of the General Plan. Main tenets of the *Plan for a Healthy LA* include access to affordable, healthy, and safe housing for residents of all ages and income levels as well as access to healthy and sustainable environments with clean air, soil, and water, ample green and open space, including a robust tree canopy in all neighborhoods.¹²⁰ For these reasons, the requested General Plan Amendment and rezoning are warranted due to the environmental benefits the Project would bring to the area and the City.

Social Benefits of the Project

The Project also would create many social benefits to the City that support the 2016-2040 RTP/SCS goals and warrant a variance from the General Plan and land use designations for the Project Sites. Los Angeles is experiencing a housing and homelessness crisis with tens of thousands of homeless living on the streets

¹¹⁹ *City of Los Angeles, Downtown Industrial Core: Data and Recommendations, December 2006.*

¹²⁰ *Plan for a Healthy LA, Department of City Planning, March 2015.*

and hundreds of thousands of affordable units needed to alleviate the problem. The Project would provide 676 affordable housing units set aside for very low-income individuals, with over 450 of those units allocated for permanent supportive housing of the homeless. The Project would directly address the homelessness and housing crisis by taking people off the streets and providing permanent affordable housing and much needed housing stability. The *Plan for a Healthy LA* also sets out to create education resources and workforce development that prepares residents for the jobs of the future at every stage of their lives.¹²¹ The Project would include approximately 26,000 square feet of philanthropic institution uses that provide supportive services including jobs training, counseling and computer and Internet access. The goal of these supportive services is to provide formerly homeless individuals with the life and jobs skills needed to reenter the workforce. This goal is in alignment with the *Plan for a Healthy LA*, along with Measure H which aims to rehabilitate homeless individuals so that they may rejoin society. This would be a direct social benefit. For these reasons, the requested General Plan Amendment and rezoning are warranted due to the social benefits the Project would bring to the area and the City.

Economic Benefits of the Project

The Project would create economic benefits that support the 2016-2040 RTP/SCS goals and warrant a variance from the General Plan and land use designations for the Project Sites. The Project would provide jobs training with the goal of enabling formerly homeless individuals to reenter the workforce. This would directly impact the economy creating new workers who would in turn have increased spending power and therefore increase their economic consumption. The Project would also create approximately 22,500 square feet of new commercial, retail and office uses that would contribute to the economy by creating new businesses, jobs and sales tax revenue. Additionally, the Project would create a well-built and attractive buildings in the Skid Row area akin to a market-rate apartment development that would increase the aesthetic appeal of the area and in turn increase the attractiveness for new economic development in the area. For these reasons, the requested General Plan Amendment and rezoning are warranted due to the economic benefits the Project would bring to the area and the City.

Engineering Benefits of the Project

The Project would create engineering benefits, which support the 2016-2040 RTP/SCS goals and warrant a variance from the General Plan and land use designations for the Project Sites. The Project would be built to the most current building codes that would assist in protecting residents from earthquake and other geologic impacts and would require sustainability measures such as low flow fixtures and energy efficient building systems. The Project would also incorporate approximately 10,500 square feet of solar voltaic panels that would capture solar energy to create electricity for the Project. Accordingly, the Project would create engineering benefits that merit a Zone Change and General Plan Amendment. For these reasons, the requested General Plan Amendment and rezoning are warranted due to the engineering benefits the Project would bring to the area and the City.

Overall, the Project's environmental, social, economic and engineering benefits would create engineering benefits which support the 2016-2040 RTP/SCS goals and warrant a variance from the General Plan and

¹²¹ *Ibid.*

land use designations for the Project Sites as stated above. In light of the environmental, social, economic and engineering benefits of the Project, existing City plans and policies, and draft plans and policies for Downtown Los Angeles and the Project Sites, a variance from the adopted general plan and zoning for the Project Sites is warranted and with implementation of MM-LU-1(b) of 2016-2040 RTP/SCS, the Project is consistent with the 2016-2040 RTP/SCS.

Local

City of Los Angeles General Plan

The City of Los Angeles General Plan (General Plan), adopted December 1996 and re-adopted August 2001, provides general guidance on land use issues for the entire City. The General Plan consists of a Framework Element, a Land Use Element (comprising 35 community plans prepared for distinct geographic areas of the City), and 10 citywide elements.

City of Los Angeles Framework Element

The City's General Plan Framework Element, adopted in December 1996 and readopted in August 2001, contains goals, policies, and objectives that address land use and serves as a guide for updating the community plans and the citywide elements. The Framework Element provides a base relationship between land use and transportation, and provides guidance for future updates to the various elements of the General Plan, but does not supersede the more detailed community and specific plans. The Land Use chapter of the Framework Element contains Long Range Land Use Diagrams that depict the generalized distribution of centers, districts, and mixed-use boulevards throughout the City, while the community plans determine the specific land use designations of individual parcels.

Project Consistency Discussion

The Project's consistency with the General Plan Framework Element land use policies is provided in Table 6-36. As shown therein, the Project would be substantially consistent with the applicable policies and therefore, no significant impacts regarding consistency with this plan would occur. Although the Project is consistent with the SCAG 2016-2040 RTP/SCS and the City's General Plan and zoning, MM-LU-1(b) is nonetheless incorporated in order to address any potential inconsistencies between the 2016-2040 RTP/SCP and the adopted general plan land use designation and zoning for the Project Sites.

Table 6-36
Project Consistency with Applicable Policies of the Framework Element

Objective	Project Consistency
Framework Element: Land Use Chapter	
<p>3.1.1 Identify areas on the Long-Range Land Use Diagram and in the community plans sufficient for the development of a diversity of uses that serve the needs of existing and future residents (housing, employment, retail, entertainment, cultural/institutional, educational, health, services, recreation, and similar uses), provide job opportunities, and support visitors and tourism.</p>	<p>Consistent. The Project Sites are located in a highly urbanized area in the City. The Project would develop 685 residential dwelling units and approximately 48,043 square feet of commercial land uses within an HQTa, as defined by SCAG, and a transit priority area as defined by SB 743 for the purpose of serving an existing homeless population that currently resides in Downtown Los Angeles.</p> <p>In addition, the Project would provide jobs training with the goal of enabling formerly homeless individuals to reenter the workforce. This would directly impact the economy positively by creating new workers who would in turn have increased spending power and thus, increase their economic consumption. The Project also would create 22,500 square feet of new commercial, retail, and office uses that would contribute to the economy by creating new businesses, jobs, and sales tax revenue.</p>
<p>3.2.2 Establish, through the Framework Long-Range Land Use Diagram, community plans, and other implementing tools, patterns and types of development that improve the integration of housing with commercial uses and the integration of public services and various densities of residential development within neighborhoods at appropriate locations.</p>	<p>Consistent. The Project Sites are located in a highly urbanized area in the City. The Project would develop 685 residential dwelling units and approximately 48,043 square feet of commercial land uses within an HQTa, as defined by SCAG, and a transit priority area as defined by SB 743 for the purpose of serving an existing homeless population that currently resides in Downtown Los Angeles. The Project Sites are in proximity to existing bus lines (including Metro Local Lines 17, 18, 51/52/352, 53, 60, 62, 720, and 760; Gardena Line 1X; and Montebello 40 and 90). Also, Metro's nearest Purple/Red line station is the Pershing Square station, which is located approximately 0.7 miles northwest of the Project Sites, while the nearest Metro Gold Line station is situated approximately 0.8 miles northeast of the Project Sites at the Little Tokyo/Arts District station. Additionally, as noted in Section 2 (Project Description), the Project Sites are located less than 1.0 mile from Metro's Regional Connector 1st Street portal, which is currently under construction. Additionally, the Project includes 493 secure bicycle parking spaces.</p> <p>In addition, the Project would provide jobs training with the goal of enabling formerly homeless individuals to reenter the workforce. This would directly impact the economy positively by creating new workers who would in turn have increased spending power and thus, increase their economic consumption. The Project also would create 22,500 square feet of new commercial, retail, and office uses that would contribute to the economy by creating new businesses, jobs, and sales tax revenue.</p>

Table 6-36
Project Consistency with Applicable Policies of the Framework Element

Objective	Project Consistency
<p>3.2.3 Provide for the development of land use patterns that emphasize pedestrian/bicycle access and use in appropriate locations.</p>	<p>Consistent. The area of the Project Sites experiences a high level of pedestrian activity, particularly along the key corridors, such as South San Pedro Street and 6th Street near the Project Sites. Based on the existing level of pedestrian activity in the area and the proximity of transit and sources of employment and retail opportunities, it is anticipated that there would continue to be a high level of pedestrian activity in the area as well as to and from the Project Sites.</p> <p>The Project would be designed to encourage pedestrian activity and walking and cycling as a transportation mode. The Project would be designed to provide connections to the adjacent public sidewalks and would include site enhancements to promote walkability. The Project Sites would be accessible from nearby public bus and rail transit stops as well as other amenities along nearby major corridors. The majority of pedestrian access to the Project Sites would occur via the existing public sidewalks provided along every street in the Downtown Los Angeles area.</p> <p>Use of bicycles as a transportation mode to and from the Project Sites would be encouraged as part of the Project by the provision of ample and safe parking. The type of spaces and dimensions would be provided based on LAMC Sections 12.21 A.16 and 12.21 A.4(c), as well as to meet the needs of a variety of bicycles. The bicycle spaces would be provided in a readily accessible location(s). Appropriate lighting would be provided to increase safety and provide theft protection during nighttime parking. The short-term and long-term bicycle parking requirements of the LAMC would be satisfied both for the residential and commercial land use components of the Project.</p>
<p>3.4.1 Conserve existing stable residential neighborhoods and lower-intensity commercial districts and encourage the majority of new commercial and mixed-use (integrated commercial and residential) development to be located (a) in a network of neighborhood districts, community, regional, and downtown centers, (b) in proximity to rail and bus transit stations and corridors, and (c) along the City's major boulevards, referred to as districts, centers, and mixed-use boulevards, in accordance with the Framework Long-Range Land Use Diagram.</p>	<p>Consistent. The Project Sites are located in a highly urbanized area in the City. The Project would develop 685 residential dwelling units and approximately 48,043 square feet of commercial land uses within an HQT, as defined by SCAG, and a transit priority area as defined by SB 743 for the purpose of serving an existing homeless population that currently resides in Downtown Los Angeles. The Project Sites are in proximity to existing bus lines (including Metro Local Lines 17, 18, 51/52/352, 53, 60, 62, 720, and 760; Gardena Line 1X; and Montebello 40 and 90). Also, Metro's nearest Purple/Red line station is the Pershing Square station, which is located approximately 0.7 miles northwest of the Project Sites, while the nearest Metro Gold Line station is situated approximately 0.8 miles northeast of the Project Sites at the Little Tokyo/Arts District station. Additionally, as noted in Section 2 (Project Description), the Project</p>

Table 6-36
Project Consistency with Applicable Policies of the Framework Element

Objective	Project Consistency
	<p>Sites are located less than 1.0 mile from Metro's Regional Connector 1st Street portal, which is currently under construction. Additionally, the Project includes 493 secure bicycle parking spaces.</p> <p>In addition, the Project would provide jobs training with the goal of enabling formerly homeless individuals to reenter the workforce. This would directly impact the economy positively by creating new workers who would in turn have increased spending power and thus, increase their economic consumption. The Project also would create 22,500 square feet of new commercial, retail, and office uses that would contribute to the economy by creating new businesses, jobs, and sales tax revenue.</p>
Source: City of Los Angeles General Plan.	

City of Los Angeles Health and Wellness Element

The Plan for a Healthy Los Angeles (Plan) lays the foundation to create healthier communities for all residents of the City. As an element of the General Plan, it provides high-level policy vision, along with measurable objectives and implementation programs, to elevate health as a priority for the City's future growth and development. Through a new focus on public health from the perspective of the built environment and City services, the City seeks to achieve better health and social equity through its programs, policies, plans, budgeting, and community engagement.

With a focus on public health and safety, the Plan provides a roadmap for addressing the most basic and essential quality-of-life issues: safe neighborhoods, a clean environment, access to health services, affordable housing, healthy and sustainably produced food, and the opportunity to thrive.

The Plan accomplishes two policy objectives: it elevates existing health-oriented policies in the General Plan and, where policy gaps exist, creates new policies to reinforce the City's goal of creating healthy, vibrant communities. The Plan acknowledges the relationship between public health and issues such as transportation, housing, environmental justice, and open space, among others, by reviewing the relevant policies in the General Plan and identifying where further policy direction is needed to achieve the goal of creating a healthy and sustainable City.¹²²

¹²² *Implementation of the Plan is addressed through programs, ordinances, and Community Plans, among other planning policy documents, which allow for the flexibility needed to address the specific needs of the City's diverse communities. References to neighborhoods usually reflect the Community Plan Area boundaries used by the Department of City Planning, but the City recognizes the fluidity and diversity of the City's neighborhoods.*

Project Consistency Discussion

The Project's consistency with the General Plan Health and Wellness Element land use policies is discussed on Table 6-37. As shown therein, the Project would be substantially consistent with the applicable policies and therefore, no significant impacts with respect to consistency with this plan would occur.

Table 6-37
Project Consistency with Applicable Policies of the Health and Wellness Element

Policy	Project Consistency
<p>1.3 Promote healthy communities by focusing on prevention, interventions, and by addressing the root causes of health disparities and inequities in Los Angeles.</p>	<p>Consistent. The Project Sites are located in a highly urbanized area in the City. The Project would develop 685 residential dwelling units and approximately 48,043 square feet of commercial land uses within an HQT, as defined by SCAG, and a transit priority area as defined by SB 743 for the purpose of serving an existing homeless population that currently resides in Downtown Los Angeles. The Project Sites are in proximity to existing bus lines (including Metro Local Lines 17, 18, 51/52/352, 53, 60, 62, 720, and 760; Gardena Line 1X; and Montebello 40 and 90). Also, Metro's nearest Purple/Red line station is the Pershing Square station, which is located approximately 0.7 miles northwest of the Project Sites, while the nearest Metro Gold Line station is situated approximately 0.8 miles northeast of the Project Sites at the Little Tokyo/Arts District station. Additionally, as noted in Section 2 (Project Description), the Project Sites are located less than 1.0 mile from Metro's Regional Connector 1st Street portal, which is currently under construction.</p> <p>The Project would be designed to encourage pedestrian activity and walking as a transportation mode. The Project would be designed to provide connections to the adjacent public sidewalks and would include site enhancements to promote walkability. The Project Sites would be accessible from nearby public bus and rail transit stops as well as other amenities along nearby major corridors. The majority of pedestrian access to the Project Sites would occur via the existing public sidewalks provided along every street in the Downtown Los Angeles area.</p> <p>Use of bicycles as a transportation mode to and from the Project Sites would be encouraged as part of the Project by the provision of ample and safe parking (493 spaces). The type of spaces and dimensions would be provided based on LAMC Sections 12.21 A.16 and 12.21 A.4(c), as well as to meet the needs of a variety of bicycles. The bicycle spaces would be provided in a readily accessible location(s). Appropriate lighting would be provided to increase safety and provide theft protection during nighttime parking. The short-term and long-term bicycle parking</p>

Table 6-37
Project Consistency with Applicable Policies of the Health and Wellness Element

Policy	Project Consistency
	requirements of the LAMC would be satisfied both for the residential and commercial land use components of the Project.
<p>1.5 Improve Angelenos' health and well-being by incorporating a health perspective into land use, design, policy, and zoning decisions through existing tools, practices, and programs.</p>	<p>Consistent. The Project would benefit the health and well-being of City residents in several ways. The Project would remove two large surface parking lots and construct dense affordable housing near jobs and transit. Removal of the parking lot would reduce urban runoff and the heat island effect while promoting smart growth by placing housing near jobs and transit, reducing vehicle trips and improving air quality. The Project would provide a reduced amount of parking for the residential uses and instead focuses on providing ample bicycle parking (493 spaces) and infrastructure to further dis-incentivize automobile use and encourage biking and walking. The Project would be built to the current building codes that require sustainability measures such as low-flow fixtures and efficient energy systems. The Project would also incorporate solar voltaic panels on the roof levels. Additionally, the Project would incorporate more than 13,000 square feet of outdoor open space in the form of landscaped courtyards, terraces and pet areas, as well as plant 86 trees on-site in an area that is currently lacking green space and trees. These green areas and trees would further improve air quality and create much needed outdoor recreation amenities in Skid Row. The Project also would activate the sidewalks at the Project Sites by incorporating street-level retail and neighborhood serving uses, while simultaneously creating internal infrastructure for bike parking and encouraging walking, biking and transit use.</p> <p>These positive environmental effects of the Project are in alignment with the Health and Wellness Element. Main tenets of the element include access to affordable, healthy, and safe housing for residents of all ages and income levels as well as access to healthy and sustainable environments with clean air, soil, and water, ample green and open space, including a robust tree canopy in all neighborhoods.</p> <p>The Project also would create many social benefits to the City. As mentioned previously, the City is experiencing a housing and homelessness crisis with tens of thousands of homeless living on the streets and hundreds of thousands of affordable units needed to alleviate the problem. The Project would provide 676 affordable housing units set aside for very low-income individuals, with over 450 of those units allocated for permanent supportive housing of the homeless. The Project would directly address the homelessness and housing crisis by taking people off the streets and</p>

Table 6-37
Project Consistency with Applicable Policies of the Health and Wellness Element

Policy	Project Consistency
	<p>providing permanent affordable housing and much needed housing stability. The City has set out to create education resources and workforce development that prepares residents for the jobs of the future at every stage of their lives. The Project would include approximately 25,493 square feet of philanthropic institution uses that provide supportive services including jobs training, counseling and computer and internet access. The goal of these supportive services is to provide formerly homeless individuals with the life and jobs skills needed to reenter the workforce. This would be a direct social benefit.</p>
<p>2.1 Enhance opportunities for improved health and well-being for all Angelenos by increasing the availability of and access to affordable goods and services that promote health and healthy environments, with a priority on low-income neighborhoods.</p>	<p>Consistent. The Project would create many social benefits to the City. As mentioned previously, the City is experiencing a housing and homelessness crisis with tens of thousands of homeless living on the streets and hundreds of thousands of affordable units needed to alleviate the problem. The Project would provide 676 affordable housing units set aside for very low-income individuals, with over 450 of those units allocated for permanent supportive housing of the homeless. The Project would directly address the homelessness and housing crisis by taking people off the streets and providing permanent affordable housing and much needed housing stability. The City has set out to create education resources and workforce development that prepares residents for the jobs of the future at every stage of their lives. The Project would include approximately 25,493 square feet of philanthropic institution uses that provide supportive services including jobs training, counseling and computer and internet access. The goal of these supportive services is to provide formerly homeless individuals with the life and jobs skills needed to reenter the workforce. This would be a direct social benefit.</p>
<p>2.2 Promote a healthy built environment by encouraging the design and rehabilitation of buildings and sites for healthy living and working conditions, including promoting enhanced pedestrian-oriented circulation, lighting, attractive and open stairs, healthy building materials and universal accessibility using existing tools, practices, and programs.</p>	<p>Consistent. The Project would benefit the health and well-being of City residents in several ways. Project would remove two large surface parking lots and construct dense affordable housing near jobs and transit. Removal of the parking lot would reduce urban runoff and the heat island effect while promoting smart growth by placing housing near jobs and transit, reducing vehicle trips and improving air quality. The Project would provide a reduced amount of parking for the residential uses and instead focuses on providing ample bicycle parking (493 spaces) and infrastructure to further dis-incentivize automobile use and encourage biking and walking. The Project would be built to the current building codes that require sustainability measures such as low-flow fixtures and efficient energy systems. The Project would also incorporate solar voltaic panels on the roof levels. Additionally, the Project would incorporate more than</p>

Table 6-37
Project Consistency with Applicable Policies of the Health and Wellness Element

Policy	Project Consistency
	<p>13,000 square feet of outdoor open space in the form of landscaped courtyards, terraces and pet areas, as well as plant 86 trees on-site in an area that is currently lacking green space and trees. These green areas and trees would further improve air quality and create much needed outdoor recreation amenities in Skid Row. The Project also would activate the sidewalks at the Project Sites by incorporating street-level retail and neighborhood serving uses, while simultaneously creating internal infrastructure for bike parking and encouraging walking, biking and transit use.</p> <p>These positive environmental effects of the Project are in alignment with the Health and Wellness Element. Main tenets of the element include access to affordable, healthy, and safe housing for residents of all ages and income levels as well as access to healthy and sustainable environments with clean air, soil, and water, ample green and open space, including a robust tree canopy in all neighborhoods.</p> <p>The Project also would create many social benefits to the City. As mentioned previously, the City is experiencing a housing and homelessness crisis with tens of thousands of homeless living on the streets and hundreds of thousands of affordable units needed to alleviate the problem. The Project would provide 676 affordable housing units set aside for very low-income individuals, with over 450 of those units allocated for permanent supportive housing of the homeless. The Project would directly address the homelessness and housing crisis by taking people off the streets and providing permanent affordable housing and much needed housing stability. The City has set out to create education resources and workforce development that prepares residents for the jobs of the future at every stage of their lives. The Project would include approximately 25,493 square feet of philanthropic institution uses that provide supportive services including jobs training, counseling and computer and internet access. The goal of these supportive services is to provide formerly homeless individuals with the life and jobs skills needed to reenter the workforce. This would be a direct social benefit.</p>
<p>2.3 Strive to eliminate barriers for individuals with permanent and temporary disabilities to access health care and health resources.</p>	<p>Consistent. Design of the Project would comply with all existing federal, state, and local regulations including the Americans with Disabilities Act.</p>
<p>2.11 Lay the foundation for healthy communities and healthy living by promoting infrastructure improvements that support active transportation with safe, attractive, and comfortable facilities that meet community needs; prioritize implementation in communities with the greatest infrastructure</p>	<p>Consistent. The Project would benefit the health and well-being of City residents in several ways. Project would remove two large surface parking lots and construct dense affordable housing near jobs and transit. Removal of the parking lot would reduce urban runoff and the heat island effect while promoting smart</p>

Table 6-37
Project Consistency with Applicable Policies of the Health and Wellness Element

Policy	Project Consistency
<p>deficiencies that threaten the health, safety, and well-being of the most vulnerable users.</p>	<p>growth by placing housing near jobs and transit, reducing vehicle trips and improving air quality. The Project would provide a reduced amount of parking for the residential uses and instead focuses on providing ample bicycle parking (493 spaces) and infrastructure to further dis-incentivize automobile use and encourage biking and walking. The Project would be built to the current building codes that require sustainability measures such as low -low fixtures and efficient energy systems. The Project would also incorporate solar voltaic panels on the roof levels. Additionally, the Project would incorporate more than 13,000 square feet of outdoor open space in the form of landscaped courtyards, terraces and pet areas, as well as plant 86 trees on-site in an area that is currently lacking green space and trees. These green areas and trees would further improve air quality and create much needed outdoor recreation amenities in Skid Row. The Project also would activate the sidewalks at the Project Sites by incorporating street-level retail and neighborhood serving uses, while simultaneously creating internal infrastructure for bike parking and encouraging walking, biking and transit use.</p> <p>These positive environmental effects of the Project are in alignment with the Health and Wellness Element. Main tenets of the element include access to affordable, healthy, and safe housing for residents of all ages and income levels as well as access to healthy and sustainable environments with clean air, soil, and water, ample green and open space, including a robust tree canopy in all neighborhoods.</p> <p>The Project also would create many social benefits to the City. As mentioned previously, the City is experiencing a housing and homelessness crisis with tens of thousands of homeless living on the streets and hundreds of thousands of affordable units needed to alleviate the problem. The Project would provide 676 affordable housing units set aside for very low-income individuals, with over 450 of those units allocated for permanent supportive housing of the homeless. The Project would directly address the homelessness and housing crisis by taking people off the streets and providing permanent affordable housing and much needed housing stability. The City has set out to create education resources and workforce development that prepares residents for the jobs of the future at every stage of their lives. The Project would include approximately 25,493 square feet of philanthropic institution uses that provide supportive services including jobs training, counseling and computer and internet access. The goal of these supportive services is</p>

Table 6-37
Project Consistency with Applicable Policies of the Health and Wellness Element

Policy	Project Consistency
<p>3.8 Support public, private, and nonprofit partners in the ongoing development of new and innovative active spaces and strategies to increase the number of Angelenos who engage in physical activity across ages and level of abilities.</p>	<p>to provide formerly homeless individuals with the life and jobs skills needed to reenter the workforce. This would be a direct social benefit.</p> <p>Consistent. The Project would benefit the health and well-being of City residents in several ways. Project would remove two large surface parking lots and construct dense affordable housing near jobs and transit. Removal of the parking lot would reduce urban runoff and the heat island effect while promoting smart growth by placing housing near jobs and transit, reducing vehicle trips and improving air quality. The Project would provide a reduced amount of parking for the residential uses and instead focuses on providing ample bicycle parking (493 spaces) and infrastructure to further dis-incentivize automobile use and encourage biking and walking. The Project would be built to the current building codes that require sustainability measures such as low-flow fixtures and efficient energy systems. The Project would also incorporate solar voltaic panels on the roof levels. Additionally, the Project would incorporate more than 13,000 square feet of outdoor open space in the form of landscaped courtyards, terraces and pet areas, as well as plant 86 trees on-site in an area that is currently lacking green space and trees. These green areas and trees would further improve air quality and create much needed outdoor recreation amenities in Skid Row. The Project also would activate the sidewalks at the Project Sites by incorporating street-level retail and neighborhood serving uses, while simultaneously creating internal infrastructure for bike parking and encouraging walking, biking and transit use.</p> <p>These positive environmental effects of the Project are in alignment with the Health and Wellness Element. Main tenets of the element include access to affordable, healthy, and safe housing for residents of all ages and income levels as well as access to healthy and sustainable environments with clean air, soil, and water, ample green and open space, including a robust tree canopy in all neighborhoods.</p> <p>The Project also would create many social benefits to the City. As mentioned previously, the City is experiencing a housing and homelessness crisis with tens of thousands of homeless living on the streets and hundreds of thousands of affordable units needed to alleviate the problem. The Project would provide 676 affordable housing units set aside for very low-income individuals, with over 450 of those units allocated for permanent supportive housing of the homeless. The Project would directly address the homelessness and housing crisis by taking people off the streets and</p>

Table 6-37
Project Consistency with Applicable Policies of the Health and Wellness Element

Policy	Project Consistency
	<p>providing permanent affordable housing and much needed housing stability. The City has set out to create education resources and workforce development that prepares residents for the jobs of the future at every stage of their lives. The Project would include approximately 25,493 square feet of philanthropic institution uses that provide supportive services including jobs training, counseling and computer and internet access. The goal of these supportive services is to provide formerly homeless individuals with the life and jobs skills needed to reenter the workforce. This would be a direct social benefit.</p>
<p>5.1 Reduce air pollution from stationary and mobile sources; protect human health and welfare and promote improved respiratory health.</p>	<p>Consistent. The Project is an infill development that includes redevelopment of the Project Sites in Downtown Los Angeles with a mixed-use development, including residential housing and commercial land uses to serve an existing homeless population. The Project would reduce dependence on car travel and air pollutants generated by car traffic through the Project Sites' proximity to existing bus lines (including Metro Local Lines 2, 4, 10, 28, 30, 35, 40, 45, 81, 83, 90, 91, 94, 330, 728, 745, and 794; LADOT Community Express Line 419; and Metro Red and Purple lines). Also, Metro's nearest Purple/Red line station is the Pershing Square station, which is located approximately 0.7 miles northwest of the Project Sites, while the nearest Metro Gold Line station is situated approximately 0.8 miles northeast of the Project Sites at the Little Tokyo/Arts District station. Additionally, as noted in Section 2 (Project Description), the Project Sites are located less than 1.0 mile from Metro's Regional Connector 1st Street portal, which is currently under construction. In addition, the Project would be located near commercial uses and employment areas in Downtown Los Angeles. Finally, the Project would encourage bicycling with the inclusion of 493 bicycle parking spaces and a bicycle repair station.</p>
<p>5.3 Reduce exposure to second-hand smoke by promoting smoke-free environments and market and support public, private, and nonprofit cessation programs and services.</p>	<p>Consistent. The Project would reduce exposure to second-hand smoke in accordance with applicable law.</p>
<p>5.4 Protect communities' health and well-being from exposure to noxious activities (for example, oil and gas extraction) that emit odors, noise, toxic, hazardous, or contaminant substances, materials, vapors, and others.</p>	<p>Consistent. As discussed in response to Checklist Question 3(d), the Project would not expose sensitive receptors to pollutant emissions in excess of SCAQMD's significance thresholds.</p> <p>Also, the Project's commercial uses would not include hazardous materials, such as a dry cleaner.</p> <p>As discussed in response to Checklist Question 3(e), the Project would not result in any impacts related to odors.</p>

Table 6-37
Project Consistency with Applicable Policies of the Health and Wellness Element

Policy	Project Consistency
5.7 Promote land use policies that reduce per capita greenhouse gas emissions, result in improved air quality and decreased air pollution, especially for children, seniors and others susceptible to respiratory diseases.	Consistent. As discussed in response to Checklist Question 7(a), the mixed-use nature of the Project, its proximity to transit, and compliance with the City's Green Building Code would reduce the Project's GHG emissions profile and the Project would be consistent with applicable GHG reduction plans and strategies. As discussed in in detail there, Project impacts related to GHG emissions would be less than significant.
7.2 Continue to promote the development and implementation of comprehensive strategies that foster safe passages in neighborhoods with high crime and gang activity to ensure that all Angelenos can travel with confidence and without fear.	Consistent. The Project would include adequate lighting provided (in accordance with LAMC requirements, including LAMC Section 91.8607) to ensure safe lighting for pedestrian paths. Numerous windows would be located on the streets surrounding the Project Sites, as well as along the Project's internal circulation, placing "eyes on the street." Additionally, prior to issuance of a building permit, the Project Applicant would be required to coordinate with the Los Angeles Police Department (LAPD) and incorporate all safety features into the design of the Project to maximize safety at the Project Sites.
<i>Source: City of Los Angeles, Health and Wellness Element of the General Plan, March 2015.</i>	

Central City Community Plan

The Central City Community Plan (Community Plan) area is located south of Sunset Boulevard/Cesar Chavez Avenue, north of the Santa Monica Freeway (Interstate 10), east of the Harbor Freeway (Interstate 110) and west of Alameda Street. It is bordered by the community plan areas of Central City North, Silver Lake-Echo Park-Elysian Valley, Westlake, Southeast Los Angeles, and South Los Angeles. Central City is the City's second smallest community plan area, representing less than one percent of the land in the City (approximately 2,161 acres or 3.38 square miles). Since this area is the governmental, financial, and the industrial hub of Los Angeles, land has primarily been dedicated to these uses. Consequently, this area has a smaller residential population in comparison with the rest of the City, though dwelling units and resident population are growing as people find a renewed interest in urban living and existing vacant and often historic commercial and industrial buildings are being converted to residential uses.

The Community Plan promotes an arrangement of land use, infrastructure, and services intended to enhance the economic, social, and physical health, safety, welfare, and convenience of the people who live, work and invest in the community. By serving to guide development, the Community Plan encourages progress and change within the community to meet anticipated needs and circumstances, promotes balanced growth, builds on economic strengths and opportunities while protecting the physical, economic, and social investments in the community to the extent reasonable and feasible.

The current land use designation for the Project Sites in the Community Plan is Light Manufacturing (refer to Figure 2-2 in Section 2 [Project Description]).

Project Consistency Discussion

As discussed on Table 6-38 and below, the Project would be substantially consistent with the applicable policies and therefore, no significant impacts regarding consistency with this plan would occur.

Table 6-38
Project Consistency with the Community Plan

Guideline	Consistency Discussion
<i>Residential</i>	
<p>1-1.1 Maintain zoning standards that clearly promote housing and limit ancillary commercial to that which meets the needs of neighborhood residents or is compatible with residential uses.</p>	<p>Consistent. The Project Sites are located in a highly urbanized area in the City. The Project would develop 685 residential dwelling units and approximately 48,043 square feet of commercial land uses within an HQT, as defined by SCAG, and a transit priority area as defined by SB 743 for the purpose of serving an existing homeless population that currently resides in Downtown Los Angeles.</p> <p>The Project includes neighborhood-serving, ground floor retail, similar to other retail land uses provided in the vicinity of the Project Sites. Additionally, consistent with other services provided near the Project Sites, the Project includes office and philanthropic uses to support the Project's residential population. Philanthropic uses include: game rooms, gyms, group space, counseling, computer rooms, classrooms, and kitchen and dining.</p> <p>Of the 382 residential dwelling units proposed on Site 1, 378 residential dwelling units would be designated restricted affordable at the Very Low-Income level. Approximately 80 percent of these units would be set aside for permanent supportive housing for the homeless, and up to 20 percent would be set aside for individuals and families.</p> <p>Of the 303 residential dwelling units proposed on Site 2, 303 residential dwelling units would be designated restricted affordable at the Very Low-Income level. Approximately 60 percent of these units would be set aside for permanent supportive housing for the homeless, and up to 40 percent would be set aside for individuals and families.</p> <p>The Project would be compatible with other high-rise mixed-use/residential building in the vicinity of the Project Sites.</p>
<p>1-5.1 Monitor the supply of low-income housing stock to guard against loss of units through demolition, conversion, and deterioration of units.</p>	<p>Consistent. No housing is located on the Project Sites. Thus, the Project would not cause the loss of any affordable housing. Instead, 378 of the proposed 382 residential dwelling units developed on Site 1 would be designated restricted affordable at the Very Low-Income level. Approximately 80 percent of these units would be set aside for permanent supportive housing for the homeless, and up to 20</p>

Table 6-38
Project Consistency with the Community Plan

Guideline	Consistency Discussion
	percent would be set aside for individuals and families. Of the 303 residential dwelling units developed on Site 2, 298 residential dwelling units would also be designated restricted affordable at the Very Low-Income level. Approximately 60 percent of these units would be set aside for permanent supportive housing for the homeless, and up to 40 percent would be set aside for individuals and families.
Commercial	
2-1.2 To maintain a safe, clean, attractive, and lively environment.	Consistent. The Project includes infill development of new multi-family residential and commercial land uses that are needed in the area of the Project Sites. The Project would include on-site maintenance and security systems. The Project would be designed and constructed to meet the City's design and landscaping standards.
2-2.1 Focus on attracting businesses and retail uses that build on existing strengths of the area in terms of both the labor force, and businesses.	Consistent. The Project includes neighborhood-serving retail that would support the proposed residential land uses and would provide employment.
2-2.3 Support the growth of neighborhoods with small, local retail services.	Consistent. The Project includes neighborhood-serving retail that would support the proposed residential land uses, as well as existing residents in the area of the Project Sites.
Police Protection	
5-1.1 Consult with the Police Department as part of the review of significant development projects and General Plan amendments affecting land use to determine the impact on law enforcement service demands.	Consistent. The LAPD was consulted in preparation of this SCEA (refer to Appendix L). As discussed in response to Checklist Question 14(a)(ii), Project impacts related to LAPD services would be less than significant.
5-2.1 Promote the safety and security of personal property through proper design and effective use of the built environment which can lead to a reduction in the incidence and fear of crime, reduction in calls for police service, and to an increase in the quality of life.	Consistent. The Project would include standard security measures such as adequate security lighting, controlled residential access, and secure parking facilities. These measures for the Project shall be approved by the LAPD prior to the issuance of building permits.
Fire Protection	
6-1.1 Coordinate with the City of Los Angeles Fire Department during the review of significant development projects and General Plan amendments affecting land use to determine the impacts on service demands.	Consistent. The LAFD was consulted in preparation of this SCEA (refer to Appendix L). As discussed in response to Checklist Question 14(a)(i), Project impacts related to LAFD services would be less than significant.
<i>Source: City Central Community Plan.</i>	

The Project Applicant is requesting General Plan Amendments for both Site 1 and Site 2 to amend the land use designation in the Community Plan from Light Manufacturing (corresponding to the M2 Zone) to the Regional Center Commercial (corresponding to the C2 Zone) and to amend Footnote 3 of the Community Plan to permit the Project to exceed the 6:1 FAR limitation. (As part of the discretionary requests for the Projects, the Project Applicant is also requesting Zone Changes/Height District Changes

from the M2-2D Zone to the C2-4D Zone for both sites. The findings for the requested Zone and Height District Changes are addressed below.)

The requested General Plan Amendments from Light Manufacturing to Regional Center Commercial and amendment to Footnote 3 would create development sites that are compatible with the Community Plan's description of the Central City East neighborhood as the location for approximately 6,500 single-room occupancy (SRO) hotel units that are "the primary source of housing for the area." In addition the Project Applicant's request to amend Footnote 3 of the Central City Community plan would allow the Project to exceed a 6:1 Floor Area Ratio without utilizing a Transfer of Development Rights, consistent with Government Code 65915(k) to allow a 35 percent increase in the FAR to 8.1:1. The Community Plan notes that in an effort to "foster the development of a residential neighborhood, Central City East has been targeted as a priority intervention area for the rehabilitation of the area's SRO hotels."¹²³ The Community Plan also observes that the area of the Project Sites is a center of social services including alcohol treatment programs and mental health services, and that the area includes such programs as job training, transitional housing, and homeless outreach.

The Projects would help to foster the development of a residential neighborhood by demolishing an aging food service building and surface parking lot at Site 1 and a surface parking lot at Site 2 to construct a mixed-use development with supportive services for the residents. The new modern residential units, which would remain deed restricted, would ensure the primary source of housing in the area is maintained well into the future. In fact, the Projects would increase the unit count in the area by 685 residential units. The Projects proposes to be a well-designed building with attractive architectural features that would provide permanent affordable housing for Very Low Income and homeless persons in a maximum of 676 Restricted Affordable Efficiency Dwelling Units. Site 1's frontage on South San Pedro Street and Crocker Street would be enhanced with large, transparent windows that create an inviting pedestrian experience to activate the streets.

Downtown Design Guide: Design for a Livable Downtown

The Downtown Design Guide: Design for a Livable Downtown (Downtown Design Guide) is an interdepartmental project among Department of City Planning, Community Redevelopment Agency, LADOT, and Public Works. Together with urban design, transportation and environmental consultants, the Urban Design Studio, City developed the Downtown Design Guide to advance new context-sensitive street standards which emphasize walkability, sustainability and transit options; and simple but critical urban design standards to reinforce the community character of Downtown Los Angeles' many neighborhoods and districts. The purpose of the Downtown Design Guide is to coordinate and orchestrate the overall development of the City core, so that projects help each other succeed and result in a better, livable downtown. The Downtown Design Guide is intended to provide guidance for creating a livable downtown.

¹²³ Central City Community Plan, page I-10.

Project Consistency Discussion

As part of the Project's Application, the Project Applicant was required to complete a copy of the Downtown Design Guide Checklist, which includes all of the design guidelines from the Downtown Design Guide and an indication (checkmark) of whether the Project complies or does not comply with each design guideline or whether the design guideline is not applicable to the Project. The Project Applicant must provide a written justification for any instances where the Project does not comply with a particular design guideline or where the design guideline is not applicable. Planning staff has reviewed the Downtown Design Guide Checklist in light of the design and architecture of the Project (refer to Appendix J) and has determined that the Project does comply with the Downtown Design Guide.

City of Los Angeles General Provisions and Zoning Code

All development activity on the Project Sites is subject to the LAMC, particularly Chapter 1, General Provisions and Zoning, also known as the City of Los Angeles Planning and Zoning Code (Zoning Code). The Zoning Code includes development standards for the various districts in the City. As shown on Figure 2-3 in Section 2 (Project Description), the Project Sites are currently zoned M2-2D (Light Industrial Zone, Height District 2, Development Limitation). Footnote 2 in the Community Plan indicates that the Project Sites "correspond to Height District No. 2-D for commercial, industrial, and public facilities zones; D Limitation to 3:1 floor area ratio (FAR), except for transfer of floor area of up to 6:1 FAR.

Project Consistency Discussion

The Project Applicant is requesting Zone and Height District changes from the M2-2D to the C2-4D Zone for Sites 1 and 2, in conjunction with the requested General Plan Amendments from Light Manufacturing to Regional Center Commercial. As shown on the Land Use Map of the Community Plan, the C2 Zone is one of the corresponding zones of the Regional Center Commercial land use designation.

The existing M2 Zone permits existing industrial and commercial buildings, subject to regulations, to be adaptively reused to contain residential dwelling units. The zone does not permit the construction of residential dwelling units in new, ground-up developments. The requested C2 Zone would permit the development of the Project Sites with newly constructed buildings to house up to 685 residential dwelling units, of which 676 would be set aside as Restricted Affordable Housing. The proposed development of the Project Sites would be consistent with the existing development of the Central City East district, as described in the Community Plan text, which is developed primarily with SRO units and supportive services.

In conjunction with the requested zone change, the Project Applicant is requesting a Height District Change to change the existing Height District from 2D to 4D. The Project Sites are subject to the Development "D" Limitations contained within Ordinance No. 164,307, Subarea 1295, which restricts the maximum FAR for the site to 3:1, in lieu of the maximum permitted 6:1 FAR allowed in Height District No. 2. The requested Height District would change existing Height District to Height District No. 4, with consideration of a D Limitation restricting the FAR limitations to that of the two Projects. The Project on Site 1 would have a maximum 8.1:1 FAR, while the Project on Site 2 would have a maximum 3.5:1 FAR.

Although the Project is consistent with the SCAG 2016-2040 RTP/SCS and the City's General Plan and zoning, MM-LU-1(b) is nonetheless incorporated in order to address any potential inconsistencies between the 2016-2040 RTP/SCP and the adopted general plan land use designation and zoning for the Project Sites.

c) Would the project conflict with any applicable habitat conservation plan or natural community conservation plan?

No Impact. The Project Sites are located in an urbanized area of the City. Site 1 is developed with a surface parking lot and a 7,000-square-foot food service building; Site 2 is developed with a surface parking lot. There are no significant ecological areas (SEAs) and/or other biological resources on and/or near the Project Sites.¹²⁴ Thus, development of the Project Sites would not subject to any applicable habitat conservation plan or natural community conservation plan. Thus, the Project would not conflict with any applicable habitat conservation plan or natural community conservation plan, and no impacts related to this issue would occur.

Mitigation Measures (Land Use and Planning)

To ensure that the Project impacts related to land use and planning would be less than significant, implementation of the following mitigation measure is required:

MM-LU-1(b): Where an inconsistency with the adopted general plan is identified at the proposed Project location, determine if the environmental, social, economic, and engineering benefits of the Project warrant a variance from adopted zoning or an amendment to the general plan.

Cumulative Impacts

As discussed previously, the Project would not result in any inconsistencies with any of the applicable plans, policies, or regulations associated with development of the Project Sites. The City would assess the consistency of the related projects with all applicable plans, policies, and regulations associated with those sites, individually. Regardless of any potentially inconsistencies the related projects may result in, because the Project would not result in any inconsistencies, the Project would not have the potential to contribute to any cumulative inconsistency impacts.

11. MINERAL RESOURCES

a) Would the project result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?

No Impact. The Project Sites are located in an urbanized area of the City. There are no known mineral resources on the Project Sites or in the vicinity.¹²⁵ The project sites are currently zoned M2-2D and the

¹²⁴ *City of Los Angeles General Plan Conservation Element, Exhibit B2.*

¹²⁵ *City of Los Angeles General Plan, Conservation Element, Exhibit A.*

applicant has requested an amendment to the land use designation and requested a zone change to C2-4D. Thus, the project sites would not be zoned for oil extraction and drilling, or mining of mineral resources, and there are no such sites at the Project Sites. Further, the Project Sites are not located in an identified Mineral Resource Zone in the City of Los Angeles General Plan Conservation Element.¹²⁶ Thus, the Project would not result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state. Therefore, no impacts related to issue would occur.

b) Would the project result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?

No Impact. The Project Sites are located in an urbanized area of the City. The Project Sites are not identified as a mineral resource recovery site.¹²⁷ Thus, the Project would not result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan. Therefore, no impacts related to issue would occur.

Cumulative Impacts

As discussed previously, the Project would not result in any impacts related to mineral resources. Regardless to what degree the related projects could result in impacts related to mineral resources, because the Project would not result in any impacts related to mineral resources, the Project would not have the potential to contribute to any cumulative impacts.

12. NOISE

The information and analysis presented in this section is based primarily on the following (refer to Appendix K):

- *Noise Modeling Results, Weingart Projects, DKA Planning, March 2018.*

Introduction to Noise

Sound can be described in terms of its loudness (amplitude) and frequency (pitch). The standard unit of measurement for sound is the decibel, abbreviated dB. Because the human ear is not equally sensitive to sound at all frequencies, the A-weighted scale (dBA) is used to reflect the normal hearing sensitivity range of the human ear. On this scale, the range of human hearing extends from approximately 3 to 140 dBA. Table 6-39 provides examples of A-weighted noise levels from common sources.

¹²⁶ City of Los Angeles, Conservation Element Exhibit A Mineral Resources Map, <http://planning.lacity.org/cwd/gnlpln/consvelt.pdf>

¹²⁷ *Ibid.*

Table 6-39
A-Weighted Decibel Scale

Typical A-Weighted Sound Levels	Sound Level (dBA, L_{eq})
Near Jet Engine	130
Rock and Roll Band	110
Jet flyover at 1,000 feet	100
Power Motor	90
Food Blender	80
Living Room Music	70
Human Voice at 3 feet	60
Residential Air Conditioner at 50 feet	50
Bird Calls	40
Quiet Living Room	30
Average Whisper	20
Rustling Leaves	10
<i>Note: The noise levels presented on this table are approximations intended for general reference and informational use. They do not meet the standard required for detailed noise analysis, but are provided for the reader to gain a rudimentary concept of various noise levels.</i>	
<i>Source: Cowan, James P., Handbook of Environmental Acoustics, 1993.</i>	

Noise Definitions

This noise analysis discusses sound levels in terms of Equivalent Noise Level (L_{eq}) and Community Noise Equivalent Level (CNEL).

Equivalent Noise Level: L_{eq} represents the average noise level on an energy basis for a specific time period. Average noise level is based on the energy content (acoustic energy) of sound. For example, the L_{eq} for one hour is the energy average noise level during that hour. L_{eq} can be thought of as a continuous noise level of a certain period equivalent in energy content to a fluctuating noise level of that same period. L_{eq} is expressed in units of dBA.

Community Noise Equivalent Level: CNEL is an adjusted noise measurement scale of average sound level during a 24-hour period. Due to increased noise sensitivities during evening and night hours, human reaction to sound between 7:00 P.M. and 10:00 P.M. is as if it were actually 5 dBA higher than had it occurred between 7:00 A.M. and 7:00 P.M. From 10:00 P.M. to 7:00 A.M., humans perceive sound as if it were 10 dBA higher. To account for these sensitivities, CNEL figures are obtained by adding an additional 5 dBA to evening noise levels between 7:00 P.M. and 10:00 P.M. and 10 dBA to nighttime noise levels between 10:00 P.M. and 7:00 A.M. Because of this, 24-hour CNEL figures are always higher than their corresponding actual 24-hour averages.

Regarding construction noise emissions, it should be noted that maximum noise levels (L_{max}) only occur when equipment is operating under full power conditions. However, construction equipment rarely operates at full power and intensity for extended durations. Because of this, the average (hourly L_{eq}) noise levels of equipment are generally utilized to more accurately characterize the effect of construction noise, as the L_{eq} metric accounts for typical usage patterns and other factors. For example, though an auger drill

rig may produce a maximum, peak noise level of 84.4 dBA L_{max} , an auger drill would not be operated continuously and at full power over the course of any hour of work. Instead, it would operate intermittently before moving to drill a new location. Therefore, an hourly average L_{eq} would better account for this equipment's pattern of use.

The CNEL metric is utilized almost exclusively to characterize 24-hour noise impacts from operations, including traffic noise levels. Construction activities generally do not occur during the evening, nighttime, and early morning periods when CNEL adjusts for increased human noise sensitivity.

Effects of Noise

The degree to which noise can impact an environment ranges from levels that interfere with speech and sleep to levels that can cause adverse health effects. Most human response to noise is subjective. Factors that influence individual responses include the intensity, frequency, and pattern of noise; the amount of background noise present; and the nature of work or human activity exposed to intruding noise.

According to the National Institute of Health (NIH), extended or repeated exposure to sounds at or above 85 dB can cause hearing loss. Sounds of 75 dBA or less, even after continuous exposure, are unlikely to cause hearing loss.¹²⁸ The World Health Organization (WHO) reports that adults should not be exposed to sudden “impulse” noise events of 140 dB or greater. For children, this limit is 120 dB.¹²⁹

Exposure to elevated nighttime noise levels can disrupt sleep, leading to increased levels of fatigue and decreased work or school performance. For the preservation of healthy sleeping environments, the WHO recommends that continuous interior noise levels not exceed 30 dBA L_{eq} , and that individual noise events of 45 dBA or higher be limited.¹³⁰ Assuming a conservative exterior to interior sound reduction of 15 dBA, continuous exterior noise levels should therefore not exceed 45 dBA L_{eq} . Individual exterior events of 60 dBA or higher should also be limited.

Some epidemiological studies have shown a weak association between long-term exposure to noise levels of 65-70 dBA L_{eq} and cardiovascular effects including ischaemic heart disease and hypertension. However, at this time, the relationship is largely inconclusive.

People with normal hearing sensitivity can recognize small perceptible changes in sound levels of approximately 3 dBA. Changes of at least 5 dBA can be readily noticeable and may cause community reactions. Sound level increases of 10 dBA or greater are perceived as a doubling in loudness and can

¹²⁸ *National Institute on Deafness and Other Communication Disorders*, www.nidcd.nih.gov/health/noise-induced-hearing-loss.

¹²⁹ *World Health Organization, Guidelines for Community Noise, 1999.*

¹³⁰ *Ibid.*

provoke a community response.¹³¹ However, few people are highly annoyed at noise levels below 55 dBA L_{eq} .¹³²

Noise Attenuation

Noise levels decrease as the distance from noise sources to receivers increases. For each doubling of distance, noise from stationary sources, commonly referred to as “point sources,” can decrease by approximately 6 dBA over hard surfaces (i.e., reflective surfaces such as parking lots) and 7.5 dBA over soft surfaces (i.e., absorptive surfaces such as soft dirt and grass). For example, if a point source produces a noise level of 89 dBA at a reference distance of 50 feet and over an asphalt surface, its noise level would be approximately 83 dBA at a distance of 100 feet, 77 dBA at 200 feet, etc. Noises generated by mobile sources decrease by approximately 3 dBA over hard surfaces and 4.5 dBA over soft surfaces for each doubling of distance.

Noise is most audible when traveling by direct line of sight, an unobstructed visual path between noise source and receptor. Barriers that break line of sight between sources and receivers, such as walls and buildings, can greatly reduce source noise levels allowing noise to reach receivers by diffraction only. As a result, sound barriers can reduce source noise levels by up to 20 dBA.¹³³ However, the effectiveness of barriers can be greatly reduced when they are not high or long enough to completely break line of sight from sources to receivers.

Regulatory Framework

Federal

Currently, no federal noise standards regulate environmental noise associated with short-term construction activities or the long-term operations of development projects. As such, temporary and long-term noise impacts produced by the Project would be largely regulated by and evaluated with respect to state and City standards designed to protect public well-being and health.

State

The State’s 2017 General Plan Guidelines establish county and city standards for acceptable exterior noise levels based on land use. These standards are incorporated into land use planning processes to prevent or reduce noise and land use incompatibilities. Table 6-40 illustrates State compatibility considerations between various land uses and exterior noise levels.

¹³¹ Federal Transit Administration, *Transit Noise and Vibration Impact Assessment*, 2006.

¹³² World Health Organization, *Guidelines for Community Noise*, 1999.

¹³³ California Department of Transportation, *Technical Noise Supplement to the Traffic Noise Analysis Protocol*, September 2013.

Table 6-40
State of California Noise/Land Use Compatibility Matrix

Land Use	Normally Acceptable^a	Conditionally Acceptable^b	Normally Unacceptable^c	Clearly Unacceptable^d
Single-family, Duplex, Mobile Homes	50 - 60	55 - 70	70 - 75	above 75
Multi-Family Homes	50 - 65	60 - 70	70 - 75	above 75
Schools, Libraries, Churches, Hospitals, Nursing Homes	50 - 70	60 - 70	70 - 80	above 80
Transient Lodging – Motels, Hotels	50 - 65	60 - 70	70 - 80	above 75
Auditoriums, Concert Halls, Amphitheaters	---	50 - 70	---	above 70
Sports Arena, Outdoor Spectator Sports	---	50 - 75	---	above 75
Playgrounds, Neighborhood Parks	50 - 70	---	67 - 75	above 75
Golf Courses, Riding Stables, Water Recreation, Cemeteries	50 - 75	---	70 - 80	above 80
Office Buildings, Business and Professional Commercial	50 - 70	67 - 77	above 75	---
Industrial, Manufacturing, Utilities, Agriculture	50 - 75	70 - 80	above 75	---
^a <i>Normally Acceptable:</i> Specified land use is satisfactory, based upon the assumption that any buildings involved are of normal conventional construction without any special noise insulation requirements. ^b <i>Conditionally Acceptable:</i> New construction or development should be undertaken only after a detailed analysis of the noise reduction requirements is made and needed noise insulation features included in the design. Conventional construction, but with closed windows and fresh air supply systems or air conditioning will normally suffice. ^c <i>Normally Unacceptable:</i> New construction or development should generally be discouraged. If new construction or development does proceed, a detailed analysis of the noise reduction requirements must be made and needed noise insulation features included in the design. ^d <i>Clearly Unacceptable:</i> New construction or development should generally not be undertaken.				
Source: California Office of Planning and Research, General Plan Guidelines – Noise Element Guidelines (Appendix E), Figure 2, 2017.				

City

Los Angeles General Plan Noise Element

The City's General Plan includes a Noise Element that identifies policies and standard to guide for the control of noise to protect residents, workers, and visitors. Its primary goal is to regulate long-term noise impacts that preserve acceptable noise environments for all types of land uses. However, the Noise Element contains no quantitative or other thresholds of significance for evaluating a proposed project's noise impacts. Instead, it adopts the State's guidance on noise and land use compatibility, shown on Table 6-40, "to help guide determination of appropriate land use and mitigation measures vis-à-vis existing or anticipated ambient noise levels."

Los Angeles Municipal Code

The LAMC contains a number of regulations that would apply to the Project's temporary construction activities and long-term operations. Section 41.40(a) would prohibit Project construction activities from occurring between the hours of 9:00 P.M. and 7:00 A.M., Monday through Friday. Subdivision (c), below, would further prohibit such activities from occurring before 8:00 A.M. or after 6:00 P.M. on any Saturday, or on any Sunday or national holiday.

SEC.41.40. NOISE DUE TO CONSTRUCTION, EXCAVATION WORK—WHEN PROHIBITED.

- (a) No person shall, between the hours of 9:00 P.M. and 7:00 A.M. of the following day, perform any construction or repair work of any kind upon, or any excavating for, any building or structure, where any of the foregoing entails the use of any power drive drill, riveting machine excavator or any other machine, tool, device or equipment which makes loud noises to the disturbance of persons occupying sleeping quarters in any dwelling hotel or apartment or other place of residence. In addition, the operation, repair or servicing of construction equipment and the job-site delivering of construction materials in such areas shall be prohibited during the hours herein specified. Any person who knowingly and willfully violates the foregoing provision shall be deemed guilty of a misdemeanor punishable as elsewhere provided in this Code.*
- (c) No person, other than an individual homeowner engaged in the repair or construction of his single-family dwelling shall perform any construction or repair work of any kind upon, or any earth grading for, any building or structure located on land developed with residential buildings under the provisions of Chapter I of this Code, or perform such work within 500 feet of land so occupied, before 8:00 A.M. or after 6:00 P.M. on any Saturday or national holiday nor at any time on any Sunday. In addition, the operation, repair, or servicing of construction equipment and the job-site delivering of construction materials in such areas shall be prohibited on Saturdays and on Sundays during the hours herein specific...*

Section 112.01 of the LAMC would prohibit any amplified noises, especially those from outdoor sources (e.g., outdoor speakers, stereo systems, etc.) from exceeding the ambient noise levels of adjacent properties by more than 5 dBA.

SEC.112.01. RADIOS, TELEVISION SETS, AND SIMILAR DEVICES

- (a) It shall be unlawful for any person within any zone of the City to use or operate any radio, musical instrument, phonograph, television receiver, or other machine or device for the producing, reproducing or amplification of the human voice, music, or any other sound, in such a manner, as to disturb the peace, quiet, and comfort of neighbor occupants or any reasonable person residing or working in the area.*
- (b) Any noise level caused by such use or operation which is audible to the human ear at a distance in excess of 150 feet from the property line of the noise source, within any*

residential zone of the City or within 500 feet thereof, shall be a violation of the provisions of this section.

- (c) Any noise level caused by such use or operation which exceeds the ambient noise level on the premises of any other occupied property, or if a condominium, apartment house, duplex, or attached business, within any adjoining unit, by more than five (5) decibels shall be a violation of the provisions of this section.*

Section 112.02(a), below, would prevent Project heating, ventilation, and air conditioning (HVAC) systems and other mechanical equipment from elevating ambient noise levels at neighboring residences by more than 5 dBA.

SEC. 112.02. AIR CONDITIONING, REFRIGERATION, HEATING, PLUMBING, FILTERING EQUIPMENT

- (a) It shall be unlawful for any person, within any zone of the city, to operate any air conditioning, refrigeration or heating equipment for any residence or other structure or to operate any pumping, filtering or heating equipment for any pool or reservoir in such manner as to create any noise which would cause the noise level on the premises of any other occupied property ... to exceed the ambient noise level by more than five decibels.*

Los Angeles CEQA Thresholds Guide

The City's 2006 L.A. CEQA Thresholds Guide (Threshold Guide) provides guidance for the determination of significance for construction and operational noise impacts. It should be noted that the Threshold Guide is "intended to be available as a voluntary tool" that serves as "a guidance document that draws together practical information" to "streamline and enhance the City's permit and development processes." The Threshold Guide further explains that "[i]t recognizes that the impacts resulting from a particular action depend on the project setting, design, and operational components and that the determination of significance and the appropriate criteria for evaluation are the responsibility of the lead agency." According to the Threshold Guide, a project would, under normal circumstances, have a significant impact from construction noise sources if the following occurred:

- *Construction activities lasting more than one day would exceed existing ambient exterior noise levels by 10 dBA or more at a noise sensitive use;*
- *Construction activities lasting more than 10 days in a three month period would exceed existing ambient exterior noise levels by 5 dBA or more at a noise sensitive use; or*
- *Construction activities would exceed the ambient noise level by 5 dBA at a noise sensitive use between the hours of 9:00 P.M. and 7:00 A.M. Monday through Friday, before 8:00 A.M. or after 6:00 P.M. on Saturday, or at any time on Sunday.*

Construction of the Project is anticipated to require approximately 49 months to complete. Thus, the significance criteria used in the construction noise analysis presented below is the increase in the ambient exterior noise levels of 5 dBA (hourly L_{eq}) or more at a noise-sensitive use.

For operational noise sources, a Project would have a significant impact if it were to cause:

- *The ambient noise level measured at the property line of affected uses to increase by 3 dBA in CNEL to or within the “normally unacceptable” or “clearly unacceptable” category...*
- *Any 5 dBA or greater increase.*

These “normally unacceptable” and “clearly unacceptable” categories refer to those outlined by the State’s noise and land-use compatibility chart, shown on Table 6-40.

Existing Conditions

According to the Thresholds Guide, land uses sensitive to noise include residences, transient lodgings, schools, libraries, churches, hospitals, nursing homes, auditoriums, concert halls, amphitheaters, playgrounds, and parks. The following receptors were chosen specifically for detailed construction noise impact analysis given their potential sensitivities to noise and their proximity to the Project Sites:

Charles Cobb Apartments – 521 S. San Pedro Street

This residential land use is located approximately 260 feet north of Site 1 and approximately 560 feet north of Site 2.

Union Rescue Mission – 545 S. San Pedro Street

This receptor consists of a homeless shelter and related uses that would be considered sensitive to noise (e.g. homeless temporary/supportive housing). It is located approximately 105 feet northwest of Site 1 and approximately 320 feet northwest of Site 2.

Volunteers of America – 543 Crocker Street

This receptor also consists of homeless support uses that may be sensitive to noise. It is located approximately 30 feet north of Site 1 and approximately 310 feet north of Site 2.

Weingart Center Association – 566 S. San Pedro Street

This receptor contains housing elements that would be considered sensitive to noise. It is located approximately 10 feet south of Site 1 and 80 feet north of Site 2.

The Midnight Mission – 601 S. San Pedro Street

This receptor also contains housing elements that would be considered sensitive to noise. It is located approximately 215 feet southwest of Site 1 and approximately 100 feet west of Site 2.

Abbey Apartments – 625 S. San Pedro Street

This residential land use is located approximately 400 feet southwest of Site 1 and approximately 85 feet west of Site 2.

Hotel Norbo – 526 E. 6th Street

This residential land use is located approximately 190 feet south of Site 1 and approximately 30 feet east of Site 2.

Central City Community Church – 419 E. 6th Street

This church is located approximately 85 feet west of Site 1 and approximately 130 feet northwest of Site 2.

To help determine these receptors' ambient noise conditions, DKA Planning took a noise measurement at a representative location near the Project along Wall Street.¹³⁴ A daytime ambient noise level of 68.0 dBA L_{eq} was measured, and field observations confirmed that this noise level is reasonably representative for the Project's receptors.¹³⁵ At the time of the noise measurement, vehicle traffic was comparable along north-south streets near 7th Street in the vicinity of the Project Sites. Land uses along these roadways are also fairly consistent. Most noise in the area of the Project Sites is due to vehicle traffic.

a) Would the project result in exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?

Less Than Significant With Mitigation Incorporated.

Construction Noise

Noise from demolition and grading activities is typically the foremost concern when evaluating a project's construction noise impacts, as these activities often require the use of heavy-duty, diesel-powered earthmoving equipment.

As noted above, consistent with the Thresholds Guide, the Project would result in a significant impact if construction activities lasting more than 10 days in a three-month period would exceed existing ambient exterior noise levels by 5 dBA or more at such a use. Construction activities would not occur between 9:00 P.M. and 7:00 A.M. Monday through Friday, before 8:00 A.M. or after 6:00 P.M. on Saturday, or at all on Sunday or during a national holiday.

For this Project, construction noise impacts were modeled using the noise reference levels of excavators and front-end loaders utilized to demolish, excavate, and grade for the Project. Excavators can produce

¹³⁴ The noise measurement was taken using a Quest Technologies SoundPro DL Sound Level Meter. The SoundPro meter complies with the American National Standards Institute (ANSI) and International Electrotechnical Commission (IEC) for general environmental measurement instrumentation. The meter was equipped with an omni-directional microphone, calibrated before the day's measurement, and set at approximately 5 feet above the ground.

¹³⁵ It should be noted that recording ambient noise levels at each receptor location is infeasible due to the present conditions of the area of the Project Sites. However, the ambient noise level measured near the Project Sites' area along Wall Street was determined to be reasonably representative of the area.

average peak noise levels of 80.7 dBA at a reference distance of 50 feet; front-end loaders, 79.1 dBA.¹³⁶ Compounding their noise impacts is the fact that these vehicles commonly operate in tandem. Excavators remove soils and debris, and front-end loaders transport this matter to on-site stockpiles or haul trucks for off-site export. As a result, the simultaneous use of excavators and front-end loaders typically has the greatest potential to cause sustained and significant noise impacts at nearby receptors. The estimated noise levels from the proposed uses of excavators and front-end loaders are shown on Table 6-41. When modeling the noise levels shown below, the impact analysis assumed the simultaneous operation of excavators and front-end loaders on both Project Sites, as it is possible that Site 1 and Site 2 demolition and grading phase activities (respectively) could be concurrent.

Table 6-41
Construction Noise Levels Without Mitigation

Receptor	Distance (ft.) Site 1/Site 2	Construction Noise Level (dBA L _{eq})	Existing Ambient (dBA L _{eq})	New Ambient (dBA L _{eq})	Increase
Residential/Transitional Housing/Shelter					
Charles Cobb Apartments	260/560	65.5	68.0	69.9	1.9
Union Rescue Mission	105/320	73.0	68.0	74.2	6.2
Volunteers of America	30/310	79.0	68.0	79.3	11.3
Weingart Center Association	10/80	80.4	68.0	80.7	12.7
The Midnight Mission	215/100	73.0	68.0	74.4	6.4
Abbey Apartments	400/85	74.4	68.0	75.3	7.3
Hotel Norbo	190/30	79.1	68.0	79.4	11.4
Church					
Central City Community Church	85/130	75.9	68.0	76.6	8.6
<i>Source: DKA Planning 2018. Refer to Appendix K.</i>					

As shown above, Union Rescue Mission, Volunteers of America, Weingart Center Association, The Midnight Mission, Abbey Apartments, Hotel Norbo, and Central City Community Church could all experience impacts in excess of 5 dBA as a result of the Project's demolition and grading construction activities. This would exceed the 5 dBA noise increase threshold considered to be a significant impact by the Thresholds Guide for construction activities lasting more than ten days in a three month period.

Mitigation Measures NOISE-MM-1 and NOISE-MM-2, described in detail below, would reduce the Project's construction noise impact at Union Rescue Mission, Volunteers of America, Weingart Center Association, The Midnight Mission, Abbey Apartments, Hotel Norbo, and Central City Community

¹³⁶ Reference noise levels obtained from the Federal Highway Administration's Roadway Construction Noise Model.

Church to below the Thresholds Guide's recommended 5 dBA threshold of significance. Applicable mitigation measures would require the use of sound mufflers for equipment and the erection of a sound barrier wall. These mitigation measures would also reduce on-site construction source noise levels to below LAMC Section 112.05's 75 dBA limit at 50 feet for powered construction equipment operating in or within 500 feet of residential zones. Therefore, the Project's construction-related noise impacts would be less than significant.

With regard to off-site construction-related noise impacts, peak noise sources would result from haul truck activity during demolition and grading activities, which would require up to approximately 12 haul trips per workday to export excavated soils and demolished materials from the Project Sites to a regional landfill. Such activity can increase ambient noise levels at roadside sensitive receptors along the designated haul route. A 3 dBA increase in traffic-related noise levels is associated with a doubling of traffic, assuming that travel speeds and fleet mix remain constant. A 5 dBA increase in noise levels would require an approximate tripling of traffic. Though the addition of haul trucks would alter the fleet mix of haul route roadways, this effect can be accounted for by the concept of equivalent vehicles, which equates the noise levels from heavy trucks to an acoustically equivalent number of automobiles. According to Federal Highway Administration (FHWA) Reference Energy Mean Emission Levels (REMELs) for its TNM noise prediction software, one heavy truck traveling at 35 mph produces as much noise as approximately 19 automobiles traveling at the same speed. This relationship can be used to determine whether the addition of Project haul trucks would result in an equivalent doubling or tripling of traffic volumes along nearby roadways, and thus whether or not they would be capable of producing a significant impact at any roadside sensitive receptors. Considering that the Project would generate up to approximately 12 haul trips per workday, and that the noise impact of these haul trips would be acoustically equivalent to approximately 228 automobile trips per work day, the Project would not cause an equivalent doubling or tripling of traffic levels that would be associated with either a 3 dBA or 5 dBA noise increase, respectively. The Project is located in a dense urban environment with high traffic levels. Roadways in the vicinity of the Project experience hundreds of automobile trips per hour, even during off-peak hours of travel. On average, Project haul trucks would not contribute more than 50 equivalent automobile trips per work hour on nearby roadways. As a result, the Project's hauling activities would not substantially increase ambient noise levels at sensitive receptors located along haul route roadways. The Project's off-site construction-related noise impact associated with haul trips would be less than significant.

Operational Noise

On-Site Noise Sources

During operations, the Project would produce noise from both on- and off-site sources. For the reasons discussed below, the Project would not result in exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies, and on-site operational noise impacts would be less than significant.

Mechanical Equipment

The Project buildings would include HVAC equipment, which would produce on-site noise. However, regulatory compliance with LAMC Section 112.02, referenced above, would ultimately ensure that noises from sources such as heating, air conditioning, and ventilation systems not increase ambient noise levels at neighboring occupied properties by more than 5 dBA. Compliance with this regulation would prevent the Project from unreasonably increasing noise levels at off-site uses as a result of its mechanical noises. Additionally, HVAC systems are relatively quiet in operation and are not likely to contribute to noticeable increases in noise levels at off-site uses. Further, HVAC units would be rooftop mounted in central clusters, setback from rooftop edges. Other mechanical and utility rooms would be internally located and would not be audible off-site.

Residential Land Uses

Noise from recurrent activities (e.g., conversation, consumer electronics, dog barking) and non-recurrent activities (e.g., social gatherings) would elevate ambient noise levels to different degrees. The City's noise ordinance would provide a means to address nuisances related to intrusive residential noises. It should be noted that voice noise levels generally increase proportionally to background ambient noise levels, but only from approximately 55 dBA to 67 dBA at a reference distance of one meter.¹³⁷ Any such noises from the Project's open community areas would therefore be proportional to existing ambient noise levels and would rapidly attenuate by distance. It is unlikely that conversational noises would be substantially audible, if audible at all, at nearby sensitive receptors. These noise levels would have a nominal effect on ambient noise levels in the vicinity of the Project.

Commercial Land Uses

The ground floor of the Project's Tower 1B would include 2,250 square feet of retail area on Site 1, and Building 2 would include an additional 3,200 square feet of ground floor retail area on Site 2. Most noises from the operation of the Project's commercial uses would be internal and inaudible at off-site receptors, especially given the relatively elevated noise levels in the area of the Project Sites, as the sites are located in a transitional neighborhood with a mix of residential, light manufacturing, warehouse, and commercial uses. The addition of the Project's commercial land uses would be consistent with the noise profile of the existing environment and would not result in a noticeable increase in ambient noise levels near the Project Sites. The Project would not include any outdoor amplified music systems.

Auto-Related Activities

Vehicle parking on Site 1 would be provided by a 32-space subterranean parking garage. Auto-related noises would likely be inaudible, or at least considerably attenuated, at off-site locations as a result of the subterranean aspect of the parking garage. Site 2 would contain 221 vehicle parking spaces in a four-level garage, which would replace an existing 133-space surface parking lot. The net increase of 88 parking spaces would have a marginal effect on surrounding noise levels, as according to the Federal Transit

¹³⁷ USEPA, *Speech Levels in Various Noise Environments*, May 1977.

Administration (FTA) calculations for parking garage noise, a parking garage with an hourly vehicle activity equal to the garage's 221-vehicle capacity would only produce a noise level of approximately 50 dBA L_{eq} .¹³⁸ Considering that the existing ambient noise levels in the area of the Project Sites are typically greater than 60 dBA L_{eq} , any noise increase would be negligible and below thresholds of perceptibility.

Off-Site Noise Sources

The majority of the Project's operational noise impacts would be from off-site mobile sources associated with net new daily trips. On a typical weekday, the Project would generate an estimated 2,038 net new daily trips, including 229 during the AM peak hour and 197 during the PM peak hour.¹³⁹ The noise levels of these vehicle trips were modeled using the Federal Highway Administration's (FHWA) Traffic Noise Model 2.5 (TNM 2.5). This noise prediction software uses traffic volumes, vehicle mix, average speeds, roadway geometry, and other inputs to calculate average noise levels in dBA along roadway segments. For this analysis, the "existing year (2017) no Project" scenario was compared to the "existing year (2017) with Project" scenario, as well as comparison of the "future year (2025) no Project" scenario to the "future year (2025) with Project" scenario. Tables 6-42 through 6-45 show the Project's projected contributions to peak-hour ambient noise level increases along modeled roadway segments. As shown, Project traffic would not result in a noticeable increase in noise levels. The overall effect on 24-hour noise levels would be far below the Thresholds Guide's minimum 3 dBA CNEL noise increase threshold for operational noise sources. Therefore, Project impacts related to traffic noise would be less than significant.

Table 6-42
Estimated AM Peak-Hour Mobile Source Noise Levels (2017)

Roadway Segment	Estimated dBA, CNEL			
	No Project (2017)	With Project (2017)	Project Change	Significant Impact?
N/B Los Angeles St., N of 6 th St.	69.7	69.8	0.1	No
S/B Los Angeles St., N of 6 th St.	67.6	67.7	0.1	No
E/B 6 th St., E of San Pedro St.	63.3	63.3	< 0.1	No
N/B San Pedro St., N of 6 th St.	64.5	64.6	0.1	No
S/B San Pedro St., N of 6 th St.	65.0	65.1	0.1	No

Source: DKA Planning, 2018. Refer to Appendix K.

¹³⁸ FTA, *Transit Noise and Vibration Impact Assessment*, May 2006.

¹³⁹ Linscott Law & Greenspan Engineers, *Weingart Projects Traffic Impact Study*, March 2018.

Table 6-43
Estimated PM Peak-Hour Mobile Source Noise Levels (2017)

Roadway Segment	Estimated dBA, CNEL			
	No Project (2017)	With Project (2017)	Project Change	Significant Impact?
N/B Los Angeles St., N of 6 th St.	70.0	70.0	< 0.1	No
S/B Los Angeles St., N of 6 th St.	69.0	69.0	< 0.1	No
E/B 6 th St., E of San Pedro St.	67.2	67.4	0.2	No
N/B San Pedro St., N of 6 th St.	66.4	66.4	< 0.1	No
S/B San Pedro St., N of 6 th St.	65.9	65.9	< 0.1	No

Source: DKA Planning, 2018. Refer to Appendix K.

Table 6-44
Estimated AM Peak-Hour Mobile Source Noise Levels (2025)

Roadway Segment	Estimated dBA, CNEL			
	No Project (2025)	With Project (2025)	Project Change	Significant Impact?
N/B Los Angeles St., N of 6 th St.	71.0	71.0	< 0.1	No
S/B Los Angeles St., N of 6 th St.	69.2	69.2	< 0.1	No
E/B 6 th St., E of San Pedro St.	66.7	67.0	0.3	No
N/B San Pedro St., N of 6 th St.	65.8	65.9	0.1	No
S/B San Pedro St., N of 6 th St.	66.2	66.2	< 0.1	No

Source: DKA Planning, 2018. Refer to Appendix K.

Table 6-45
Estimated PM Peak-Hour Mobile Source Noise Levels (2025)

Roadway Segment	Estimated dBA, CNEL			
	No Project (2025)	With Project (2025)	Project Change	Significant Impact?
N/B Los Angeles St., N of 6 th St.	71.5	71.6	0.1	No
S/B Los Angeles St., N of 6 th St.	70.4	70.4	< 0.1	No
E/B 6 th St., E of San Pedro St.	69.3	69.4	0.1	No
N/B San Pedro St., N of 6 th St.	67.6	67.6	< 0.1	No
S/B San Pedro St., N of 6 th St.	67.1	67.2	0.1	No

Source: DKA Planning, 2018. Refer to Appendix K.

b) Would the project result in exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?

Less Than Significant Impact. The information and analysis in this section is based on the noise modeling results prepared by DKA Planning (refer to Appendix K).

Introduction to Vibration

Characteristics of Vibration

Vibration is an oscillatory motion through a solid medium in which the motion's amplitude can be described in terms of displacement, velocity, and acceleration. Unlike noise, vibration is not a common environmental problem, as it is unusual for vibration from vehicle sources to be perceptible. Common sources of vibration include trains, construction activities, and certain industrial operations.

Vibration Definitions

This noise analysis discusses vibration in terms of Peak Particle Velocity (PPV). PPV is commonly used to describe and quantify vibration impacts to buildings and other structures. PPV levels represent the maximum instantaneous peak of a vibration signal and are usually measured in inches per second.¹⁴⁰

Perceptible Vibration Changes

Unlike noise, ground-borne vibration is not an environmental issue that most people experience every day. Background vibration levels in residential areas are usually well below the threshold of perception for humans, approximately 0.01 inches per second.¹⁴¹ Perceptible indoor vibrations are most often caused by sources within buildings themselves, such as slamming doors or heavy footsteps. Common outdoor sources of ground-borne vibration include construction equipment, trains, and traffic on rough or unpaved roads. Traffic vibration from smooth and well-maintained roads is typically not perceptible.

Regulatory Framework

Federal Transit Administration

For the evaluation of construction-related vibration impacts, state standards set by the FTA are used given the absence of federal, county, and city standards specific to construction activities. In 2006, the FTA published the Transit Noise and Vibration Impact Assessment manual to aid in the estimation and analysis of vibration impacts. Typically, potential building and structural damages are the foremost concern when evaluating the impacts of construction-related vibrations. Table 6-46 summarizes the FTA's vibration guidelines for building and structural damage.

¹⁴⁰ *California Department of Transportation, Transportation and Construction Vibration Guidance Manual, September 2013.*

¹⁴¹ *Ibid.*

Table 6-46
FTA Vibration Damage Potential Threshold Criteria

Building Category	Construction Damage Vibration Criteria (PPV, in/sec)
I. Reinforced-concrete, steel or timber (no plaster)	0.5
II. Engineered concrete and masonry (no plaster)	0.3
III. Non-engineered timber and masonry buildings	0.2
IV. Buildings extremely susceptible to vibration damage	0.12
<i>Source: FTA, 2006.</i>	

Project Impacts

Construction Vibration

As discussed earlier, construction of the Project would require heavy-duty earthmoving vehicles such as excavators and front-end loaders. These types of vehicles can produce peak vibration velocities of up to 0.089 inches per second PPV at a distance of 25 feet.¹⁴² Auger drilling rigs for shoring activities can produce similar vibration levels. Table 6-47 shows the Project's estimated construction vibration levels at the nearest off-site structures. No building would experience potentially damaging levels of groundborne vibration from the Project's construction activities. Other buildings are located at greater distances from the Project and would experience reduced vibrations. Therefore, the Project's construction-related vibration impacts would be less than significant.

Operational Vibration

During Project operations, there would be no significant stationary sources of ground-borne vibration, such as heavy equipment or industrial operations. Operational ground-borne vibration in the Project's vicinity would be generated by its related vehicle travel on local roadways. However as previously discussed, road vehicles rarely create vibration levels perceptible to humans unless road surfaces are poorly maintained and have potholes or bumps. As a result, the Project's long-term vibration impacts would be less than significant.

¹⁴² *Ibid.*

Table 6-47
Potential Building Damage Vibration Levels At Off-Site Structures – Unmitigated

Building/Structure	Distance from Project Sites (ft.)	Condition	Significance Threshold PPV (in/sec)	Impact PPV (in/sec)	Significant?
Volunteers of America 543 Crocker St.	30	Engineered concrete and masonry (no plaster)	0.3	0.073	No
Weingart Center Association 556 S. San Pedro St.	10	Engineered concrete and masonry (no plaster)	0.3	0.244	No
Hotel Norbo 526 E. 6 th St.	30 ¹	Engineered concrete and masonry (no plaster)	0.3	0.073	No
Weingart Association Center Corporate Offices 522 E. 6 th St.	10	Engineered concrete and masonry (no plaster)	0.3	0.244	No
¹ A portion of Site 2 is located approximately 10 feet from this receptor. However, there would be no major building construction at this site location. A courtyard is proposed for the eastern portion of Site 2 nearest to Hotel Norbo. Construction of this courtyard would not require the use of any significant vibration-generating equipment. Source: DKA Planning 2018. Refer to Appendix K.					

c) Would the project result in a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?

Less Than Significant Impact. As discussed in response to Checklist Question 12(a), operation of the Project would not generate a substantial permanent increase in noise in excess of City noise standards. Therefore, Project impacts related to permanent noise increase would be less than significant.

d) Would the project result in a substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?

Less Than Significant With Mitigation Incorporated. As discussed in response to Checklist Question 12(a), without mitigation, the Project's construction activities could generate noise in excess of the Thresholds Guide's 5 dBA construction noise impact threshold. However, implementation of Mitigation Measures NOISE-MM-1 and NOISE-MM-2, as described below, would reduce the construction noise levels to below these thresholds (refer to Table 6-45). Thus, the Project would not result in a substantial temporary or periodic increase in ambient noise levels in excess of the relevant noise standards. Therefore, Project impacts related to temporary or periodic noise increase would be less than significant.

e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?

No Impact. The Project Sites are not located within an airport land use plan or within two miles of a public airport or public use airport. The closest airport to the Project Sites is the Hollywood Burbank

Airport located approximately 15.4 miles northwest of the site. Based on the above the Project would not exacerbate the existing airport noise conditions so as to expose people residing or working in the Project area to excessive noise levels. Therefore, the Project would not expose people residing or working in the Project area to excessive noise levels and no impact would occur.

f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

No Impact. The Project Sites are not located in the vicinity of a private airstrip. Thus, the Project would not exacerbate the existing airport noise conditions so as to expose people residing or working in the Project area to excessive noise levels.

Mitigation Measures (Construction Noise)

Implementation of the following mitigation measures would ensure that the Project's construction-related noise impacts would be less than significant:

NOISE-MM-1: All diesel-powered construction vehicles shall be equipped with exhaust mufflers or other suitable noise reduction devices capable of achieving a sound attenuation of at least 3 dBA.

NOISE-MM-2: Temporary sound barriers capable of achieving a sound attenuation of at least 10 dBA shall be erected along the Project's boundaries.

As shown on Table 6-48, the implementation of Mitigation Measures NOISE-MM-1 and NOISE-MM-2 would reduce the Project's construction-related ambient noise level increases at Union Rescue Mission, Volunteers of America, Weingart Center Association, The Midnight Mission, Abbey Apartments, Hotel Norbo, and Central City Community Church to below the L.A. CEQA Thresholds Guide's 5 dBA threshold of significance. With regard to Mitigation Measure NOISE-MM-1, exhaust mufflers and engine compartment damping systems would reduce the maximum noise levels of powered construction equipment by at least 3 dBA, conservatively. Regarding Mitigation Measure NOISE-MM-2, temporary noise barriers with a transmission loss value of at least 20 dBA would be capable of reducing construction noise levels by at least 10 dBA. Barriers constructed of 22-gage steel or 0.0625-inch-thick aluminum sheeting could achieve this standard. One-half-inch plywood barriers also would be acceptable. With these measures in place, the Project's construction noise impact would be less than significant.

Table 6-48
Construction Noise Levels With Mitigation

Receptor	Distance (ft.) Site 1/Site 2	Construction Noise Level (dBA L _{eq})	Existing Ambient (dBA L _{eq})	New Ambient (dBA L _{eq})	Increase
Residential/Transitional Housing/Shelter					
Charles Cobb Apartments	260/560	52.5	68.0	68.1	0.1
Union Rescue Mission	105/320	60.0	68.0	68.6	0.6
Volunteers of America	30/310	66.0	68.0	70.1	2.1
Weingart Center Association	10/80	67.4	68.0	70.7	2.7
The Midnight Mission	215/100	60.3	38.0	68.7	0.7
Abbey Apartments	400/85	61.4	68.0	68.9	0.9
Hotel Norbo	190/30	66.1	68.0	70.2	2.2
Church					
Central City Community Church	85/130	62.9	68.0	69.2	1.2
<i>Source: DKA Planning 2018. Refer to Appendix K.</i>					

Cumulative Impacts

Construction Noise

As discussed previously, construction activities would temporarily increase ambient noise levels at nearby receptors. Any other future developments that are built concurrently with the Project could further contribute to these temporary increases in ambient noise levels. The related projects closest to the Project Sites include the following (refer to Figure 2-8 in Section 2 [Project Description]):

#63, located at 649 South Wall Street, approximately 881 feet southwest of Site 2, includes development of a 66,000-square-foot medical office and assisted living facility

#89, located at 656 South Stanford Avenue, approximately 858 feet southeast of Site 2, includes development of 82 dwelling units

#151, located at 655 South San Pedro/513 East 7th Street, approximately 230 feet southwest of Site 2, includes development of 84 dwelling units

#159, located at 609 East 5th Street, approximately 747 feet northeast of Site 1, includes development of 151 dwelling units.

As shown, only one related project (#151) is located within 500 feet of the Project, the screening distance recommended by the Thresholds Guide to identify potential construction impacts. This related project, a

modest residential development located at 655 South San Pedro Street/513 East 7th Street, is approximately 230 feet southwest of the Site 2. This related project is located approximately 160 feet southwest of Abbey Apartments and 275 feet southwest of The Midnight Mission. The Project Sites are located 85 feet east and 100 feet east of these receptors, respectively. With mitigation, the Project's construction noise impact at Abbey Apartments would be only 0.9 dBA. At The Midnight Mission, its noise impact would be just 0.6 dBA. Given the related project's extra distance from these two sensitive receptors, it stands to reason that construction of the related project would result in noise impacts that are less than the Project's own impacts, assuming that the related project incorporates a similar set of project design features or mitigation measures that represent industry "best practices" for controlling the construction noise of urban infill projects in compliance with the City's noise regulations. Combined, simultaneous construction noises from both projects would not increase ambient noise levels at Abbey Apartments and The Midnight Mission by greater than 5 dBA. With the identified mitigation, the Project would have a minimal and less than significant impact at these receptors, and its potential to contribute to cumulative construction noise levels at these receptors would be less than significant.

Operational Noise

The majority of the Project's long-term noise would come from traffic traveling to and from the Project Sites. This addition of future traffic from any new developments in the vicinity of the Project Sites and overall ambient traffic growth would elevate ambient noise levels surrounding local roadways. However, the Project's individual contribution to permanent off-site ambient noise level increases would be minimal. As shown on Tables 6-44 and 6-45, with or without the addition of Project traffic, future roadside ambient noise levels would not increase by 3 dBA to or within their respective "Normally Unacceptable" or "Clearly Unacceptable" noise categories, or by 5 dBA or greater overall. Therefore, the Project's cumulative operational noise impact would be less than significant.

13. POPULATION AND HOUSING

a) Would the project induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?

Less Than Significant Impact. A significant impact could occur if the Project would locate new development such as homes, businesses, and/or infrastructure, with the effect of substantially inducing growth in the proposed area that would otherwise not have occurred as rapidly or in as great a magnitude. Based on the L.A. CEQA Thresholds Guide the determination of whether a project results in a significant impact on population and housing growth considers (a) the degree to which a project would cause growth (i.e., new housing or employment generators) or accelerate development in an undeveloped area that exceeds projected/planned levels for the year of project occupancy, and would result in an adverse physical change in the environment; (b) whether the project would introduce unplanned infrastructure that was not previously evaluated in the adopted Community Plan or General Plan; and (c) the extent to which growth would occur without implementation of the Project.

Existing Conditions

The Project Sites are located within SCAG's jurisdiction. SCAG's mandated responsibilities include development plans and policies with respect to the region's population growth, transportation programs, air quality, housing, and economic development. The 2016–2040 RTP/SCS includes the following proposed growth forecast for population, households, and employment for the City 2040.¹⁴³

- Population: 3,845,500 persons in 2012 and 4,609,400 in 2040;
- Households: 1,325,500 households in 2012 and 1,690,300 in 2040; and
- Employment: 1,696,400 jobs in 2012 and 2,169,100 in 2040.

According to analysis by the State's Housing and Community Development Department, prior to the recent economic downturn and foreclosure crisis, California had experienced decades of undersupply of housing, contributing to significant price escalation and the affordability crisis.¹⁴⁴ The factors contributing to California's continuing housing supply and affordability problems include a chronic mismatch between the existing housing stock and the demand for housing by type and location; lack of sufficient housing construction to meet demand; and persistently high housing costs relative to household incomes, even with the effects of the recent national recession.

Almost all future California population and household growth will occur in metropolitan areas, and most of that will occur in southern California. According to SCAG's 2008 growth forecast, the six-county region is projected to add about 4.6 million people and about 1.6 million households between 2010 and 2035. In Los Angeles County (County) alone, the forecast envisions about 1.7 million people and about 646,000 households between 2010 and 2035. As the largest city in the County, the City will receive most of the County's future growth.

Table 6-49 lists SCAG's forecasts for population, housing employment, and persons-per-household rate for the City, as well as the number and percent change.¹⁴⁵

¹⁴³ SCAG, 2016-2040 Regional Transportation Plan/Sustainable Communities Strategy, Current Demographics and Forecast, Table 11, page 24: http://scagrtpscsc.net/Documents/2016/draft/d2016RTPSCS_DemographicsGrowthForecast.pdf.

¹⁴⁴ State of California – Business, Transportation and Housing Agency, *The State of Housing in California 2012: Affordability Worsens, Supply Problems Remain*, 2012.

¹⁴⁵ Employment information is provided for informational purposes only.

Table 6-49
Population, Housing, Employment,
and Persons-Per-Household Forecasts for the City

Year	Population	Households	Employment¹	Person/Households
2017 ²	3,981,910	1,390,645	1,780,810	2.86
2020 ³	3,991,700	1,455,700	1,817,700	2.74
2025 ²	4,200,166	1,494,844	1,915,866	2.81
2035 ³	4,320,600	1,626,600	1,906,800	2.66
2040 ⁴	4,609,400	1,690,300	2,169,100	2.72
Change 2017 to 2025⁵				
Number Changed	+218,256	+104,232	+135,056	-0.05
Percent Changed	+5.48%	+7.50%	+7.58%	-1.87%
Change 2020 to 2035				
Number Changed	+328,900	+170,900	+89,100	-0.08
Percent Changed	+8.2%	+11.7%	+4.9%	-2.9%
Change 2020 to 2040				
Number Changed	+617,700	+234,900	+351,400	-0.02
Percent Changed	+15.4%	+16.1%	+19.3%	0.72%
¹ Employment information is provided for informational purposes only. ² Population, housing and employment rate data for years 2017 (baseline year) and 2025 (anticipated buildout year of the Project) were calculated based on a linear interpolation of the 2012 to 2040 projections in SCAG's adopted 2016-2040 RTP/SCS. ³ 2020 and 2035: Based on SCAG's adopted 2012-2035 RTP/SCS, page 32. ⁴ 2040: Based on SCAG's adopted 2016-2040 RTP/SCS, Appendix, page 24. ⁵ Represents a comparison of baseline year to Project buildout year.				

Existing Uses

The Project Sites are located in Downtown Los Angeles, a highly urbanized area of the City. Site 1 is developed with a surface parking lot and a 7,000-square-foot food service building; Site 2 is developed with a surface parking lot. According to the Project Applicant, approximately 15 people are employed at Site 1.

Project Impacts

Construction

The construction activities associated with the Project would create temporary construction-related jobs. Nevertheless the work requirements of most construction activities are highly specialized, so that

construction workers remain at a job site only for the time in which their specific skills are needed to complete a particular phase of the construction process. Thus, construction workers would not be anticipated to relocate their residence to the Project area and would not induce substantial population growth and/or require permanent housing. Therefore, the Project's indirect population growth impacts related to construction activities would be less than significant.

Operation

The Project includes the development of up to 685 new residential dwelling units, including approximately 451 permanent supportive units, up to 225 affordable housing units, and 9 manager units, and up to a maximum of 5,450 square feet of retail, 25,493 square feet of philanthropic, and 17,100 square feet of office uses. The maximum residential occupancy for the Project would be 1,420, limited by requirements set forth in the regulatory agreement between the Project Applicant and the HCIDLA. Approximately 95 percent of the future residents of the 451 permanent supportive units would be previously homeless people from within the City.¹⁴⁶ Assuming approximately 2.07 persons-per-unit rate, approximately 887 of the Project's future residents already reside in the City.¹⁴⁷ It is likely that the remaining 533 future residents already live in the City, as well, as discussed in more detail below. However, for purposes of a conservative analysis, it is assumed that the Project could add 533 new residents to the City. In addition, according to the Project Applicant the Project would generate approximately 74 employees.

Population: As shown on Table 6-50, compared to the anticipated population growth in the City between the 2017 baseline year and the Project's anticipated buildout year of the 2025, the Project's residential population would represent 0.24 percent of the total forecasted City population growth during that period. The Project's residential population would represent 0.16 percent of the forecasted growth between 2020 and 2035 in the City and 0.08 percent of the forecasted population growth between 2020 and 2040.

¹⁴⁶ *The People Concern/OPCC & Lamp Community United, Hazel Lopez, Director of CES and Community Engagement, May 21, 2018.*

¹⁴⁷ *1,420 maximum residents/685 units = 2.07 persons per unit.*

Table 6-50
Project Growth Comparison to Growth Forecasts

Net Project Population, Housing, and Employment Growth	Forecast Citywide Growth¹	Project % of Forecast Citywide Growth
As compared to SCAG Growth Forecast from 2017 to 2025 (Interpolated)		
533 residents	+218,256	0.24
685 units	+104,232	0.66
74 employees	+135,056	0.06
As compared to SCAG Growth Forecast from 2020 to 2035¹		
533 residents	+328,900	0.16
685 units	+170,900	0.40
74 employees	+89,100	0.08
As compared to SCAG Growth Forecast from 2020 to 2040		
533 residents	+617,700	0.08
685 units	+234,900	0.29
74 employees	+351,400	0.02
¹ Refer to Table 6-49.		

Housing: As shown on Table 6-50, compared to the anticipated housing growth in the City between the 2017 baseline year and the Project’s anticipated buildout year of the 2025, the Project’s residential housing would represent 0.66 percent of the forecasted City housing growth. The Project’s housing units would represent approximately 0.40 percent of forecasted growth between 2020 and 2035 in the City and 0.29 percent between 2020 and 2040.

Employment: As shown on Table 6-50, compared to the anticipated employment growth in the City between the 2017 baseline year and the Project’s anticipated buildout year of the 2025, the Project’s employment would represent 0.06 percent of the forecasted City employment growth. The Project’s employment would represent approximately 0.08 percent of forecasted growth between 2020 and 2035 in the City and 0.02 percent between 2020 and 2040.

The Project Sites are located in the “Skid Row” area of Downtown Los Angeles that is defined as the area east of Main Street, south of 3rd Street, west of Alameda Street, and north of 7th Street, and contains a large population of homeless people. According to the 2017 Greater Los Angeles Homeless Count, there are approximately 7,386 homeless persons living within Council District 14 (the Council District in which the Project Sites are located), with approximately 57 percent living unsheltered.¹⁴⁸ The purpose of the

¹⁴⁸ 2017 Greater Los Angeles Homeless Count, Los Angeles Homeless Services Authority, 2018. <https://www.lahsa.org/homeless-count/>, access on April 28, 2018

Project is to provide permanent supportive and affordable housing and services to help meet the needs of an existing homeless population.

Approximately 66 percent of the housing provided as part of the Project would be restricted to house only persons who were previously homeless, representing approximately 937 people.¹⁴⁹ The remaining 483 future Project residents would occupy affordable housing units and could comprise individuals and families and in each case, could also be previously homeless people, as well.¹⁵⁰ As stated previously, approximately 95 percent of the future residents of the 451 permanent supportive units would be previously homeless people from within the City, equating to approximately 887 people. Given the number of homeless people living in the City (including the relatively large homeless population living near the Project Sites), it is anticipated that some or all of the 937 Project (previously-homeless) residents already live in the City and as such, it is likely that as much as 66 percent of the Project's population growth (up to 937 people) would not represent new growth in the City. Of course, it is also possible that the remaining Project residents already live in the City, as well. Assuming this, none of the Project's population growth would represent new growth in the City. However, for a conservative analysis, the comparison of the Project's potential growth as compared to growth forecasts for the City presented on Table 6-50 assumes that all of the Project's residents would be relocated to the City. As shown on the table, the Project's population, housing, and employment growth falls within SCAG's growth projections for the City.

Additionally, the Project Sites are already served by an existing roadway network and utility and public services infrastructure. The Project does not include the development of any new or extended roadways or other infrastructure. For the reasons discussed above, the Project would not indirectly or directly induce substantial population growth. Therefore, Project impacts related to population growth would be less than significant.

b) Would the project displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?

No Impact. No housing currently exists on the Project Sites. Site 1 is developed with a surface parking lot and a food service building; Site 2 is developed with a surface parking lot. The Project would not displace any existing housing, necessitating the construction of replacement housing elsewhere. The Project would provide up to 685 new dwelling units to accommodate an existing homeless population. Thus, no impact would occur.

c) Would the project displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?

No Impact. No housing currently exists on the Project Sites, and no people live on the Project Sites. Site 1 is developed with a surface parking lot and a food service building; Site 2 is developed with a surface

¹⁴⁹ As stated previously, the Project would have a maximum occupancy of 1,420 people. $1,420 \text{ people} \times 66\% = 937 \text{ people}$.

¹⁵⁰ $1,420 \text{ people} - 937 \text{ people} = 483 \text{ people}$.

parking lot. The Project Sites are not currently used as housing by the homeless population and thus, construction of the Project would not displace any existing housing, necessitating the construction of replacement housing elsewhere. The Project would provide 685 new dwelling units to accommodate an existing homeless population. Thus, no impact would occur.

Cumulative Impacts

The related projects listed on Table 2-2 in Section 2 (Project Description) include development of approximately 114,595 dwelling units. It is possible that some of the sites of these related projects already include residential land uses that would be removed with implementation of the related projects and as such, the total net number of dwelling units that would be created would be fewer than what has been estimated, and it is likely, as a result of natural growth, that many of the units will be occupied by people already residing in the City. Much of the growth in the City is targeted in transit-rich areas such as Downtown Los Angeles. The related project list includes applications and plans under consideration and some or all may not be constructed or may be constructed at lower unit counts than shown. In addition, the City is currently experiencing a strong market environment, and it is anticipated that growth will even out over time. Thus, cumulative growth is assessed over the 2020-2040 year time frame established in the SCAG housing growth forecast. However, for a conservative analysis, it is assumed that all estimated dwelling units would be net new units and all residents would be net new residents. The housing units associated with the related project would generate approximately 278,466 cumulative residents.¹⁵¹

As shown on Table 6-51, cumulative residential population would represent approximately 45.16 percent of the population growth forecast between 2020 and 2040 for the City, and cumulative housing units would represent approximately 49.08 of the housing growth forecast between 2020 and 2040 for the City. As stated previously, approximately 66 percent of the housing provided as part of the Project would be restricted to supportive housing, designed to house only persons who were previously homeless, representing approximately 937 people. (The remaining Project residents would occupy affordable units and could also be previously homeless people.) Approximately 95 percent of the future residents of the 451 permanent supportive units would be previously homeless people from within the City, equating to approximately 887 people. Given the number of homeless people living in the City (including the relatively large homeless population living near the Project Sites), it is anticipated that some or all of the 937 Project (previously-homeless) residents already live in the City and as such, it is likely that as much as 66 percent of the Project's population growth (approximately 937 people) would not represent new growth in the City. Of course, it is also possible that the remaining approximately 483 future Project residents already live in the City, as well. Assuming this, none of the Project's population growth would represent new growth in the City. However, for a conservative analysis, the comparison of the Project's potential growth as compared to growth forecasts for the City presented on Table 6-48 assumes that all of the Project's residents would relocate to the City. As shown on the table, the Project's population, housing, and employment growth falls within SCAG's growth projections for the City. Thus, the Project would not directly contribute to cumulative population growth. Therefore, the Project's contribution to cumulative population growth in the City would not be considerable.

¹⁵¹ The number of cumulative residents is based on the American Community Survey, 5-year (2013-2016) Average Estimates rate of 2.43 persons per household for the City.

Table 6-51
Cumulative Comparison to Growth Forecasts (2020-2040)

Cumulative Population and Housing Growth	Forecast Citywide Growth¹	Cumulative % of Forecast Citywide Growth
278,999 residents	+617,700	45.16
115,280 units	+234,900	49.08
¹ Refer to Table 6-49.		
² This conservatively assumes that all of the cumulative projects would have the same buildout year as the Project.		

14. PUBLIC SERVICES

a) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objective for any of the following public services:

(i) **Fire protection?**

Less Than Significant Impact. The LAFD provides fire and emergency medical protection services to the Project Sites. The Project Sites are located in an urbanized area of the City that is currently served by existing LAFD services. Fire stations that serve the Project Sites are shown on Table 6-52.

Table 6-52
Fire Stations Serving the Project Sites

No.	Address	Distance from Project Sites (miles)
9	430 7 th Street	0.2
4	450 East Temple Street	1.3
10	1335 South Olive Street	1.6
<i>Source: LAFD, https://www.lafd.org/fire-stations/station-results, access August 1, 2018.</i>		

Construction

Construction activities associated with the Project may temporarily increase demand for fire protection and emergency medical services. Construction activities may also cause the occasional exposure of combustible materials, such as wood, plastics, sawdust, coverings and coatings, to heat sources from machinery and equipment sparking, exposed electrical lines, welding activities, and chemical reactions in combustible materials and coatings.

To comply with California Department of Industrial Relations (Cal-OSHA) and state and City Fire and Building Code requirements, construction managers and personnel would be trained in fire prevention and emergency response, and fire suppression equipment specific to construction would be maintained on-site.¹⁵² Project construction would comply with all applicable codes and ordinances related to the maintenance of mechanical equipment, handling and storage of flammable materials, and cleanup of spills of flammable materials. Thus, in light of City and state regulations and code requirements that would, in part, require personnel to be trained in fire prevention and emergency response, maintenance of fire suppression equipment, and implementation of proper procedures for storage and handling of flammable materials, construction impacts on fire protection and emergency medical services would be less than significant.

Construction activities also have the potential to affect fire protection services, such as emergency vehicle response, by adding construction traffic to the street network and by necessitating partial lane closures during street improvements and utility installations. These impacts, while potentially adverse, are considered to be less than significant for the following reasons:

- Construction activities are temporary in nature and do not create continuing risks;
- General “good housekeeping” procedures employed by the construction contractors and the work crews (e.g., maintaining mechanical equipment, proper storage of flammable materials, cleanup of spills of flammable liquid) would minimize these hazards; and
- Partial lane closures would not significantly affect emergency vehicles, the drivers of which normally have a variety of options for dealing with traffic, such as using their sirens to clear a path of travel or driving in the lanes of opposing traffic. Additionally, if there are partial closures to streets surrounding the Project Sites, flagmen would be used to facilitate the traffic flow until such temporary street closures are complete.

Impacts on traffic that could potentially affect emergency response are addressed through a Construction Staging and Traffic Management Plan (CSTMP) (refer to Mitigation Measure TRAFFIC-MM-1), which includes traffic management strategies for Project construction. The CSTMP would outline and dictate how construction operations would be carried out, and would identify specific actions to reduce effects on the surrounding community. The CSTMP would be based on the nature and timing of specific construction activities and other projects in the vicinity.

In addition to traffic, there are a number of factors that influence emergency response, including alarm transfer time, alarm answering and processing time, mobilization time, risk appraisal, geography, distance, traffic signals, and roadway characteristics. While even with the CSTMP, it is acknowledged that the Project would incrementally increase traffic, which could potentially delay emergency response times, the Project's potential impacts are minimal given these other factors.

¹⁵² <https://www.dir.ca.gov/title8/1920.html>

Overall, construction is not considered to be a high-risk activity, and the LAFD is equipped and prepared to deal with construction-related traffic and fires should they occur. Due to the limited duration of construction activities and compliance with applicable codes, Project construction would not be expected to adversely impact firefighting and emergency services to the extent that there would be a need for new or expanded fire facilities in order to maintain acceptable service ratios, response times, or other performance objectives of the LAFD. Moreover, consistent with *City of Hayward v. Trustees of California State University* (2015) 242 Cal.App.4th 833, significant impacts under CEQA consist of adverse changes in any of the physical conditions within the area of a project, and potential impacts on public safety services are not an environmental impact that CEQA requires a project applicant to mitigate. Therefore, impacts associated with construction of the Project would be less than significant.

Operation

As stated previously, the Project would increase the amount of developed square footage on the Project Sites, which in turn, would generate new residents, visitors, and employees at the Project Sites, and could increase the need for fire protection services at the sites. It should be noted that the purpose of the Project is to house and provide services to the existing homeless population already living within the vicinity of the Project Sites. The maximum residential occupancy for the Project would be 1,420, limited by requirements set forth in the regulatory agreement between the Project Applicant and the HCIDLA. Approximately 95 percent of the future residents of the 451 permanent supportive units would be previously homeless people from within the City.¹⁵³ Assuming approximately 2.07 persons-per-unit rate, approximately 887 of the Project's future residents already reside in the City.¹⁵⁴ It is likely that the remaining 533 future residents already live in the City, as well, as discussed in more detail below. However, for purposes of a conservative analysis, it is assumed that the Project could add 533 new residents to the City. In addition, according to the Project Applicant the Project would generate approximately 74 employees.

The paragraphs below discuss the criteria for determining the Project's impacts to fire protection services, including fire flow and response distance.

Fire Flow

Prior to construction of the Project, the Water Operations Division of LADWP would perform a detailed fire-flow study at the time of permit review (plan check) in order to ascertain whether further water system or site-specific improvements would be necessary. In addition, the LAFD would review the plans for compliance with applicable City Fire Code, California Fire Code, City of Los Angeles Building Code, and National Fire Protection Association standards, thereby ensuring that the Project would not create any undue fire hazard. Thus, fire flow to the Project Sites would be adequate, and the associated impact would be less than significant.

¹⁵³ *The People Concern/OPCC & Lamp Community United, Hazel Lopez, Director of CES and Community Engagement, May 21, 2018.*

¹⁵⁴ $1,420 \text{ maximum residents} / 685 \text{ units} = 2.07 \text{ persons per unit.}$

Response Distance

The nearest fire station with an engine and truck company is Station No. 9, approximately 0.2 miles from the Project Sites. Additional fire stations within 2.0 miles include Station Nos. 4 and 10. LAFD's ability to provide adequate fire protection and emergency response services to a site is determined by the response distance and the degree to which emergency response vehicles can successfully navigate the given access ways and adjunct circulation system, which is largely dependent on roadway congestion and intersection level of service (LOS) along the response route. If the response distance standard cannot be achieved for a specific location, then fire sprinkler systems are required. Nonetheless, a fire sprinkler system would be included in the mixed-use buildings for all proposed land uses as part of the Project. Additionally, as stated previously, the Project would be required to comply with applicable City Fire Code, California Fire Code, City of Los Angeles Building Code, and National Fire Protection Association standards, and would be required to include features such as an emergency and standby power system, a fire command center, established emergency procedures, emergency stairways, appropriately-sized exterior graphics, automatic fire-extinguishing system, automatic smoke detection system, emergency voice/alarm communication system, manual alarm fire boxes, etc. Given the close proximity of the closest fire station with an engine and the fire protection systems that would be incorporated into the proposed building, Project impacts related to response distance and time would be less than significant.

Emergency Access

The LAFD would review the Project plans for compliance with the Los Angeles Fire Code, California Fire Code, City of Los Angeles Building Code, and National Fire Protection Association standards, thereby ensuring that the Project would not create any undue fire hazard. The Project would include an emergency response plan that would address the following: mapping of emergency exits, evacuation routes for vehicles and pedestrians, and locations of nearest hospitals and fire departments. Through compliance with applicable provisions of the Fire Code, Project impacts related to emergency access would be less than significant.

Cumulative Impacts

Implementation of the related projects on Table 2-2 in Section 2 (Project Description) could result in a net increase in the number of residents and employees in the Project area and could further increase the demand for fire protection services. Cumulative development requires the LAFD to continually evaluate the need for new or physically altered facilities in order to maintain adequate service ratios. Similar to the proposed Project, the related projects would be subject to the Fire Code and other applicable regulations of the LAMC including, but not limited to, automatic fire sprinkler systems for high-rise buildings and/or residential projects located farther than 1.5 miles from the nearest LAFD Engine or Truck Company to compensate for additional response time, and other recommendations made by the LAFD to ensure fire protection safety. Through the process of compliance, the ability of the LAFD to provide adequate facilities to accommodate future growth and maintain acceptable levels of service would be ensured. Furthermore, the increased demands for additional LAFD staffing, equipment, and facilities would be funded via existing mechanisms (e.g., property taxes and government funding) to which the Project and

related projects would contribute. Therefore, cumulative impacts related to fire protection services would be less than significant.

(ii) Police protection?

Less Than Significant With Mitigation Incorporated. The LAPD provides police protection services to the Project Sites. As discussed above, the Project would increase the number of residents and employees at the Project Sites. Implementation of the Project could result in an increase in calls for police protection.

A significant impact may occur if the LAPD could not adequately serve a project, necessitating a new or physically altered station. The determination of whether a project could result in a significant impact on police protection shall be made considering the following factors: (a) the population increase resulting from the Project, based on the net increase of residential units or square footage of non-residential floor area; (b) the demand for police services anticipated at the time of project buildout compared to the expected level of service available; and (c) whether the project includes security and/or design features that would reduce the demand for police services.

Construction

Although there is the potential for Project construction to create an increase in demand for police protection services, the Project would provide security on the Project Sites as needed and appropriate during the construction process. This security includes perimeter fencing, lighting, and security guards, thereby reducing the demand for LAPD services. The specific type and combination of construction site security features would depend on the phase of construction. The Project Applicant would install temporary construction fencing to secure the Project Sites during the construction phase to ensure that valuable materials (e.g., building supplies and metals such as copper wiring), as well as construction equipment are not easily stolen or abused.

During construction, emergency response vehicles can use a variety of options for dealing with traffic, such as using their sirens to clear a path of travel or driving in the lanes of opposing traffic. Lights and other identifying noises compel traffic to pull to the side where available to provide access through traffic. Although minor traffic delays due to potential lane closures could occur during construction, particularly during the construction of utilities and street improvements, impacts to police response times are considered to be less than significant for the following reasons:

- (1) Emergency access would be maintained to the Project Sites during construction through marked emergency access points approved by the LAPD;
- (2) Construction impacts are temporary in nature and do not cause lasting effects; and
- (3) Partial lane closures, if determined to be necessary, would not significantly affect emergency vehicles, the drivers of which normally have a variety of options for avoiding traffic, such as using their sirens to clear a path of travel or driving in the lanes of opposing traffic. Additionally, if there are partial closures to streets surrounding the

Project Sites, flagmen would be used to facilitate the traffic flow until such temporary street closures are complete.

Construction of the Project would not affect the LAPD's ability to respond to emergencies to the extent that there is no need for any additional new or expanded police facilities, in order to maintain acceptable service ratios, response times, or other performance objectives of the LAPD. Moreover, consistent with *City of Hayward v. Trustees of California State University* (2015) 242 Cal.App.4th 833, significant impacts under CEQA consist of adverse changes in any of the physical conditions within the area of a project, and potential impacts on public safety services are not an environmental impact that CEQA requires a project applicant to mitigate. For these reasons, Project construction impacts on police services would be less than significant.

Operation

The purpose of the Project is to house and provide services to the existing homeless population already living within the vicinity of the Project Sites. The maximum residential occupancy for the Project would be 1,420 individuals, subject to the requirements set forth in the regulatory agreement between the Project Applicant and the HCIDLA. Approximately 95 percent of the future residents of the 451 permanent supportive units would be previously homeless people from within the City.¹⁵⁵ Assuming approximately 2.07 persons-per-unit rate, approximately 887 of the Project's future residents already reside in the City.¹⁵⁶ It is likely that the remaining 533 future residents already live in the City, as well, as discussed in more detail below. However, for purposes of a conservative analysis, it is assumed that the Project could add 533 new residents to the City. In addition, according to the Project Applicant the Project would generate approximately 74 employees.

Additionally, the Project would include project design features, namely include security features within the parking facilities and exterior building areas such as appropriate lighting and gated access. The Project would include defensible spaces designed to reduce opportunity crimes and ensure safety and security. In addition, the lighting and landscaping design would ensure high visibility and the Project would provide for on-site security measures and controlled access systems for residents and tenants to minimize the demand for police protection services. The Project would incorporate crime prevention features into the design of the buildings and public spaces, such as lighting of entryways and public areas. The Project would feature the following:

- On-site security personnel;
- Security cameras;
- Perimeter lighting to supplement the street lighting and to provide increased visibility and security;

¹⁵⁵ *The People Concern/OPCC & Lamp Community United, Hazel Lopez, Director of CES and Community Engagement, May 21, 2018.*

¹⁵⁶ *1,420 maximum residents/685 units = 2.07 persons per unit.*

- Parking structure access control; and
- Residential units access control.

As outlined in Mitigation Measure POLICE-MM-1, the Project would provide the LAPD with a diagram of each portion of the Project Sites, showing access routes and additional access information as requested by the LAPD, to facilitate police response. Emergency access to the Project Sites would be provided by the existing street system. The Project's direct minimal population increase and associated demand for police services, along with the provision of on-site security features, coordination with LAFD, and incorporation of crime prevention features, would not require the provision of new or physically altered police stations in order to maintain acceptable service ratios or other performance objectives for police protection. Additionally, the Project would also contribute to the General Fund, a portion of which is allocated to the LAPD and other public services. Therefore, with mitigation, Project impacts related to police protection services would be less than significant.

Mitigation Measure (Public Services – Police Services)

POLICE-MM-1: Prior to issuance of a Certificate of Occupancy, the Project Applicant shall provide the Central Area Commanding Area Officer with diagrams of each portion of the Project Sites. The diagrams shall include access routes and additional information that might facilitate police response.

Cumulative Impacts

Implementation of the related projects listed on Table 2-2 in Section 2 (Project Description) could result in a net increase in the number of residents and employees in the area of the Project Sites and could further increase the demand for police protection services. Cumulative development requires the LAPD to continually evaluate the need for new or physically altered facilities in order to maintain adequate service ratios. Similar to the proposed Project, the related projects would be subject to the site plan review and approval requirements, recommendations of the LAPD related to crime prevention features, and other applicable regulations of the LAMC. Through the process of compliance, the ability of the LAPD to provide adequate facilities to accommodate future growth and maintain acceptable levels of service would be ensured. Furthermore, the increased demands for additional LAPD staffing, equipment, and facilities would be funded via existing mechanisms (e.g., property taxes and government funding) to which the Project and related projects would contribute. Therefore, cumulative impacts related to police protection services would be less than significant.

(iii) Schools?

Less Than Significant Impact. Los Angeles Unified School District (LAUSD) provided a list of LAUSD schools that serve the Project Sites and area are shown on Table 6-53. As shown on Table 6-54, the Project would generate a total of approximately 311 students, including 1555 elementary students, 42 middle school students, and 114 high school students. The elementary and middle schools and the Belmont High School Zone serving the Project Sites are currently operating over capacity, whereas the Jefferson High School Zone serving the Project Sites is operating under capacity. However, pursuant to

the California Government Code Section 65995, the Project's required payment of the school fees established by the LAUSD in accordance with existing rules and regulations regarding the calculation and payment of such fees would, by law, provide full and complete mitigation for any potential direct and indirect impacts to schools as a result of the Project. Therefore, Project impacts to school services would be less than significant.

Table 6-53
LAUSD School's Serving the Area of the Project Sites
Student Capacity and Enrollment

School Type (Grade)	School Name	Location	Capacity (students)	Actual Enrollment (students)	(-)Under / (+)Over Capacity (students)
Elementary School	9 th Street Elementary School	835 Stanford Avenue	360	342	+73
Middle School	Hollenbeck Middle School	2510 East 6 th Street	1,453	1,073	+83
High School	Belmont High School Zone	Various	7,041	5,331	+109
High School	Jefferson High School Zone	Various	5,706	4,466	-2,195

Source: LAUSD, Rena Perez, Director, November 16, 2017 (refer to Appendix L).

Table 6-54
Estimated Project Student Generation

Land Use	Size	School Type	Student Generation Rate ¹	Total Students Generated ²
Residential	685 du	Elementary (K-6)	0.2269/du	155
		Middle (7-8)	0.0611/du	42
		High (9-12)	0.1296/du	114
Total				311

du = dwelling unit

¹ Los Angeles Unified School District, Student Generation Rate Calculation, Table 3, March 2017.

According to the 2017 Greater Los Angeles Homeless Count, approximately 6.0 percent of the homeless population in Council District 14 (the Council District in which the Project Sites are located) is school-aged children. As such, the total number of students estimated for the Project is conservative.

Cumulative Impacts

The related projects listed on Table 2-2 in Section 2 (Project Description) could result in an increase in the number students in the Project area. However, similar to the applicant of the proposed Project, the applicants of all the related projects would be required to pay the applicable school fees to the LAUSD to

ensure that no significant impacts to school services would occur. Therefore, cumulative impacts to school services would be less than significant.

(iv) Parks?

Less Than Significant Impact. The Los Angeles Department of Recreation and Parks (LADRP) operates and maintains park and recreational services and facilities in the area of the Project Sites. Parks and recreational facilities that serve the Project Sites and area are shown on Table 6-55.

**Table 6-55
Parks and Recreation Facilities**

Park/Recreation Facility Name	Address
Neighborhood Parks within 2.0-mile radius	
6 th and Gladys Street Park	824 E 6 th Street
Arts District Park	501 S Hewitt Street
Grand Hope Park	900 S. Hope Street
Hope and Peace Park	843 Bonnie Brae Street
Orthopedic Hospital Universal Access Playground	2400 S. Flower Street
Patton Street Pocket Park	317-327 Patton Street
Prospect Park	612 N. Echandia Street
Rockwood Community Park	1571 Rockwood Street
San Julian Park	312 E. 5th Street
Spring Street Park	428 S. Spring Street
Unidad Park	1644-48 Beverly Boulevard
Community Parks within 5.0-mile radius	
Aliso-Pico Recreation Center	370 S. Clarence Street
Alpine Recreation Center	817 Yale Street
Augustus F. Hawkins Natural Park	5790 Compton Avenue
Bellevue Recreation Center	826 Lucille Avenue
Boyle Heights Sports Center	933 S. Mott Street
Carlin G. Smith Recreation Center	511 W. Avenue 46
Central Recreation Center	1357 E. 22nd Street
Cypress Recreation Center	2630 Pepper Avenue
Denker Recreation Center	1550 W. 35th Place
Downey Pool	1775 N. Spring Street
Downey Recreation Center	1772 N. Spring Street
Echo Park	751 Echo Park Boulevard
Echo Park Boys and Girls	303 Patton Street
Echo Park Deep Pool	1419 Colton Street
El Sereno Recreation Center	4721 Klamath Street
El Sereno Senior Citizens Center	4818 Klamath Place
Elysian Valley Recreation Center	1811 Ripple Street
Evergreen Recreation Center	2839 E. 4th Street
EXPO Center	3980 S. Menlo Avenue
Fred Roberts Recreation Center	4700 Honduras Street
Gilbert W. Lindsay Community Center	429 E. 42nd Place
Hazard Park	2230 Norfolk Street
Hollenbeck Park	415 S. St. Louis Street
Hostetter Park	3141 E. Olympic Boulevard
James Slauson Recreation Center	5306 S. Compton Avenue

Table 6-55
Parks and Recreation Facilities

Park/Recreation Facility Name	Address
Lafayette Park	2830 W. 6th Street
Lake Street Park	227 N. Lake Street
Lemon Grove Recreation Center	4959 Lemon Grove Avenue
Lincoln Heights Recreation Center	2303 Workman Avenue
Lincoln Heights Youth Center	2500 Griffin Avenue.
Lincoln Park	3501 Valley Boulevard
Loren Miller Recreation Center	2717 Halldale Avenue
MacArthur Park	2230 W. 6th Street
Martin Luther King Jr. Park	3934 S. Western Avenue
Miguel Contreras Learning Center Pool	322 S. Lucas Avenue
Montecito Heights Recreation Center	4545 Homer Street
Msg. Ramon D. Garcia Recreation Center	1016 S. Fresno Avenue
Normandie Recreation Center	1550 S. Normandie Avenue
Parkview Photo Center,	2332 W. 4th Street
Pecan Recreation Center	127 S. Pecan Street
Pershing Square	525 S. Olive Street
Pueblo del Rio Recreation Center	5350 Alba Street
Queen Anne Recreation Center	1240 West Boulevard
Ramona Gardens Park	2830 Lancaster Avenue
Ramona Gardens Recreation Center	2830 Lancaster Avenue
Ramona Hall Community Center	4580 N. Figueroa Street
Rio de Los Angeles State Park	1900 N. San Fernando Road
Roosevelt High School Pool	456 S. Mathews Street
Rose Hill Park	3606 Boundary Avenue
Rose Hill Recreation Center	4530 Mercury Avenue
Seoul International Park	3250 San Marino Street
Shatto Recreation Center	3191 W. 4th Street
Silverlake Recreation Center and Dog Park	1850 W. Silverlake Boulevard
South Los Angeles Sports Activity Center	7020 S. Figueroa Street
South Park Recreation Center	345 E. 51st Street
South Seas House Park	2301 W. 24th Street
State Street Recreation Center	716 N. State Street
Sycamore Grove Park	4702 N. Figueroa Street
Toberman Recreation Center	1725 Toberman Street
Trinity Recreation Center	2415 Trinity Street
Vista Hermosa Soccer Field	1301 W. 1st Street
Wabash Recreation Center	2765 Wabash Avenue
Regional Parks within 10.0-mile radius	
Arroyo Seco Park	5568 Via Marisol
Ascot Hills Park	4371 Multnomah Street
Barnsdall Park	4800 Hollywood Boulevard
Cahuenga Peak Phase I	3698 W. Wonderview Road (in Griffith Park)
Cahuenga Peak Phase II	3698 W. Wonderview Road (in Griffith Park)
Campo de Cahuenga	3919 Lankershim Boulevard
Charles F. Lummis Home	200 E. Avenue 43
Cheviot Hills Park	2551 Motor Avenue
Elysian Park	929 Academy Road
Ernest E. Debs Regional Park	4235 Monterey Road
Exposition Park Rose Garden	701 State Drive

Table 6-55
Parks and Recreation Facilities

Park/Recreation Facility Name	Address
Griffith Park	4730 Crystal Springs Drive
Griffith Park Boys Camp	4730 Crystal Springs Drive (in Griffith Park)
Harding Golf Course	4730 Crystal Springs Drive (in Griffith Park)
Heritage Square	3800 Homer Street
Hollywoodland Girl's Camp	3200 Canyon Drive (in Griffith Park)
L.A. Equestrian Center	500 Riverside Drive (in Griffith Park)
L.A. Live Steamers	5202 Zoo Drive (in Griffith Park)
Los Feliz Golf Course	3207 Los Feliz Boulevard
Rancho Park Golf Course	10460 Pica Boulevard
Roosevelt Golf Course	2650 N. Vermont Avenue (in Griffith Park)
Runyon Canyon Park	2000 N. Fuller Avenue
Rustic Canyon Park	SW of Sullivan Fire Road
South L.A. Wetlands Park	5413 S. Avalon Boulevard
Travel Town Museum	Griffith Park Drive near Zoo Drive (in Griffith Park)
Wattles Garden Park	1824 N. Curson Avenue
White Point Park Nature Preserve	1600 S. Paseo del Mar
Wilson Golf Course	4730 Crystal Springs Drive (in Griffith Park)
¹ <i>Written correspondence from Darryl Ford, Senior Management Analyst I, Los Angeles Department of Recreation and Parks, November 17, 2016. Refer to Appendix L.</i>	

A breakdown of common open space components for Site 1 and 2 are shown on Tables 6-56 and 6-57, respectively. All of the Project's proposed 685 dwelling units would have fewer than three habitable rooms, for which LAMC Section 12.21 G requires 100 square feet of open space per dwelling unit. Based on this standard, the Project would be required to provide 59,500 square feet of open space. Pursuant to LAMC Section 11.5.11(e) and California Government Code 65915(k), the Project Applicant is requesting approval to reduce the required open space square footage on Site 1 by 33 percent. For Site 2, the Project Applicant is requesting an incentive to permit 27 percent (9,145 square feet) of the common open space be provided in interior common areas and 30 percent (or 10,040 square feet) of the provided open space to be covered by a structure or trellis in lieu of the requirements of LAMC Section 12.21 G that limits the interior common areas to 25 percent of required (or 7,574 square feet) and mandates all exterior areas to be open to the sky.

To encourage the development of affordable housing, the City's Greater Downtown Housing Incentive Area Ordinance allows for a 50 percent reduction of open space – a reduction that is larger reduction than the reductions requested by the Project Applicant. Even with the requested reductions, the Project would provide 59,060 square feet of open space, specifically tailored to formerly homeless individuals. The open spaces would include exterior and interior areas, providing passive enjoyment as well as allowing for an extensive array for social services for each resident. A portion of the open space areas is exterior spaces covered by building structure or trellis/solar arrays. Technically, these areas would not count toward the Project's LAMC-required open space requirements, but they would be an important amenity to high-density affordable housing.

Table 6-56
Common Open Space Components for Site 1 Development

Common Open Space Component	Size
<i>Tower 1A</i>	
<i>Exterior Open Space (Open to Sky)</i>	
Level 1 Courtyard	1,800 sf
Level 3 Garden Court	<u>1,290 sf</u>
<i>Subtotal</i>	<u>3,090 sf</u>
<i>Exterior Open Space (Not Open to Sky)</i>	
Level 3	445 sf
Levels 6 & 7	1,400 sf
Level 12	700 sf
Level 13	850 sf
Level 18	<u>3,910 sf</u>
<i>Subtotal</i>	<u>7,305 sf</u>
<i>Interior Recreation Room</i>	4,395 sf
Level 1	<u>5,405 sf</u>
Level 3	9,800 sf
<i>Subtotal</i>	
<i>Total Tower 1A</i>	<i>20,195 sf</i>
<i>Tower 1B</i>	
<i>Exterior Open Space (Open to Sky)</i>	
Level 1 Courtyard	2,260 sf
Level 12 Open Deck	<u>1,120 sf</u>
<i>Subtotal</i>	<u>3,380 sf</u>
<i>Interior Recreation Room</i>	
Level 1	1,415 sf
Level 12	<u>1,070 sf</u>
<i>Subtotal</i>	<u>2,485 sf</u>
<i>Total Tower 1B</i>	<i>5,865 sf</i>
Total	26,060 sf
<i>sf = square feet</i>	

Table 6-57
Common Open Space Components for Site 2 Development

Common Open Space Component	Size
<i>Exterior Common Space</i>	
Level 1 Courtyard	13,815 sf
<i>Interior Recreation Room(s)</i>	
Level 3	1,600 sf
Level 4 – Tower	5,000 sf
Level 19	<u>2,545 sf</u>
	9,145 sf
<i>Exterior Covered Decks</i>	
Level 4 – Parking Structure	5,050 sf
Levels 7 & 8	1,430 sf
Levels 15 & 16	1,430 sf
Level 19	<u>2,130 sf</u>
<i>Total Interior</i>	10,040 sf
Total	33,000 sf
<i>sf = square feet</i>	

Section 12.33 of the LAMC requires applicants of new residential projects to pay applicable park fees based on the number of residential units to be developed. However, in accordance with Section 12.33 C.3 of the LAMC, affordable housing units are exempt from the park fees payment requirements. Of the 685 proposed residential units, 676 units would be affordable units, and 9 units would be market-rate manager's units. Thus, the Project Applicant would be required to pay park fees for the 9 manager's units.

As discussed, the Project would meet LAMC open space requirements with the requested reductions, which are consistent with the Greater Downtown Housing Incentives, and would be required to pay applicable park fees. Through compliance with the LAMC, Project impacts related to parks and recreational facilities would be less than significant.

Cumulative Impacts

The related projects listed on Table 2-2 in Section 2 (Project Description) could result in an increase demand for parks and recreational services. The extent to which the related residential projects include parks/recreational amenities is unknown. However, the applicants of these projects would be required to meet LAMC open space requirements and would be subject to the park fees pursuant to LAMC Section 12.33, ensuring that any potential impacts to parks and recreational facilities would be less than significant. As stated previously, the Project would not result in any significant impacts related to parks and recreational facilities. Therefore, cumulative impacts to park and recreational facilities would be less than significant.

(v) Other public facilities?**Libraries**

Less Than Significant Impact. The libraries that serve the Project area include those shown on Table 6-58. On February 8, 2007, the Board of the Library Commissioners approved a new Branch Facilities Plan, which includes criteria for developing new libraries and recommends new size standards for the provision of Los Angeles Public Library (LAPL) facilities, including the following:¹⁵⁷

- A 12,500 square-foot facility for a community with less than 45,000 population.
- A 14,500 square-foot facility for a community with more than 45,000 population and up to a 20,000 square-foot for a Regional Branch.
- An additional Branch Library should be developed for a population equal to or in excess of 90,000 persons.

Table 6-58
Libraries Serving the Project Area

Library	Size (sf)	Collection Size/ Circulation	Staffing Levels	Service Population
Richard J. Riordan Central Library 630 5 th Street	538,000	Volumes - 2.6 million Circulation – 1.2 million	390 staff	3,792,622 39,818,605
Chinatown Branch Library 639 N. Hill Street	14,500	Volumes - 74,709 Circulation – 193,627	13.5 staff	11,225
Echo Park Branch Library 1410 W. Temple Street	17,543	Volumes – 43,689 Circulation – 93,418	9.5 staff	52,842
Little Tokyo Branch Library 203 S. Los Angeles St.	12,500	Volumes – 66,634 Circulation – 142,247	10 staff	45,796
Benjamin Franklin Branch Library 2200 E. 1 st Street	9,656	Volumes – 35,545 Circulation – 98,218	11 staff	40,319
<i>sf = square feet</i>				
<i>Source: Los Angeles Public Library, Thomas Jung, Management Analyst II, May 11, 2018. (Refer to Appendix L.)</i>				

¹⁵⁷ Los Angeles Public Library, Thomas Jung, Management Analyst II, May 11, 2018. (Refer to Appendix L.)

The purpose of the Project is to house and provide services to the existing homeless population already living within the vicinity of the Project Sites. The Project includes the development of up to 685 new residential dwelling units, including 451 permanent supportive units, an additional 225 units that would be affordable rental units, and 9 manager units, and up to a maximum of 5,450 square feet of retail, 25,493 square feet of philanthropic, and 17,100 square feet of office uses. The maximum residential occupancy for the Project would be 1,420 individuals, subject to the requirements set forth in the regulatory agreement between the Project Applicant and the HCIDLA. Approximately 95 percent of the future residents of the 451 permanent supportive units would be previously homeless people from within the City.¹⁵⁸ Assuming approximately 2.07 persons-per-unit rate, approximately 887 of the Project's future residents already reside in the City.¹⁵⁹ It is likely that the remaining 533 future residents already live in the City. However, for purposes of a conservative analysis, it is assumed that the Project could add 533 new residents to the City.

Moreover, the Project would provide on-site computers, Internet access, and on-site library facilities, including an art and music library space, reference books, and other books for loan to Project residents. It is anticipated that most, if not all, of the demand for library services created by the Project would be accommodated by the Project. For these reasons, the Project would not create the need for new or expanded library facilities. Therefore, Project impacts related to library services would be less than significant.

Cumulative Impacts

Implementation of the related projects listed on Table 2-2 in Section 2 (Project Description) could increase the demand for library services in the Project area. The related residential projects would be subject to the standards to determine demand for library facilities used by the City, and would likely be required to implement mitigation where applicable. As such, the demand for library services created by these residential projects could be accommodated, and impacts would be less than significant. As stated previously, the Project would not result in any significant impacts related to library services. Therefore, cumulative impacts to library services would be less than significant.

15. RECREATION

a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?

Less Than Significant Impact. Refer to the response to Checklist Question 14(a)(iv) (Public Services - Parks). A breakdown of common open space components for Site's 1 and 2 are shown on Tables 6-57 and 6-58, respectively. All of the Project's proposed 685 dwelling units would have fewer than three habitable rooms, for which LAMC Section 12.21 G requires 100 square feet of open space per dwelling unit.

¹⁵⁸ *The People Concern/OPCC & Lamp Community United, Hazel Lopez, Director of CES and Community Engagement, May 21, 2018.*

¹⁵⁹ $1,420 \text{ maximum residents} / 685 \text{ units} = 2.07 \text{ persons per unit.}$

Based on this standard, the Project would be required to provide 68,500 square feet of open space. Pursuant to LAMC Section 11.5.11(e) and California Government Code 65915(k), the Project Applicant is requesting to reduce the required open space square footage on Site 1 by 33 percent and increase the allowable square footage of interior and covered open space that can be counted toward the total open space requirement by 200 percent. For Site 2, the Project Applicant is requesting approval to increase the allowable square footage of interior and covered open space that can be counted toward the total open space requirement by 250 percent.

To encourage the development of affordable housing, the City's Greater Downtown Housing Incentive Area Ordinance allows for a 50 percent reduction of open space – a reduction that is larger reduction than the reductions requested by the Project Applicant. Even with the requested reductions, the Project would provide 59,060 square feet of open space, specifically tailored to formerly homeless individuals. The open spaces would include exterior and interior areas, providing passive enjoyment as well as allowing for an extensive array for social services for each resident. A portion of the open space areas is exterior spaces covered by building structure or trellis/solar arrays. Technically, these areas would not count toward the Project's LAMC-required open space requirements, but they would be an important amenity to high-density affordable housing.

Section 12.33 of the LAMC requires applicants of new residential projects to pay applicable park fees based on the number of residential units to be developed. However, in accordance with Section 12.33 C.3 of the LAMC, affordable housing units are exempt from the park fees payment requirements. Of the 685 proposed residential units, 676 units would be affordable units, and 9 units would be market-rate manager's units. Thus, the Project Applicant would be required to pay park fees for the 9 manager's units. As discussed, the Project would meet LAMC open space requirements and would be required to pay applicable park fees. Through compliance with the LAMC, Project impacts related to parks and recreational facilities would be less than significant.

b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

Less Than Significant Impact. The Project includes development of private and public open space areas that are inclusive of the mixed-use development and are required to meet the City's open space requirement. The assessment of impacts associated with development of these open space facilities is inclusive of the assessment of impacts associated with the Project in its entirety. No direct significant impacts would occur as a result of development of the open space facilities.

Cumulative Impacts

Refer to discussion of cumulative impacts related to parks and recreational facilities under response to Checklist Question 14(a)(iv) (Public Services – Parks).

16. TRANSPORTATION/TRAFFIC

a) Would the project conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all

modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?

Less Than Significant With Mitigation Incorporated. The analysis in this section is based on the following (refer to Appendix M):

- *Weingart Projects Traffic Impact Study, Linscott, Law & Greenspan Engineers, March 13, 2018.*
- *Transportation Impact Assessment for the Proposed Weingart Mixed-Use/Affordable Housing Projects, Clearance Letter, LADOT, May 3, 2018.*
- *Weingart Projects Construction Traffic Analysis, Linscott, Law & Greenspan Engineers, May 4, 2018.*

The Traffic Impact Study was approved by LADOT on May 3, 2018 (refer to Appendix M). Under SB 375, when going forward with an SCEA (such as this document), project-specific and cumulative impacts associated with cars and light trucks on the regional transportation network are not required to be assessed, pursuant to PRC 21155.2(b) and 21159.28(a). To the extent that these impacts are included herein is done so for informational purposes, only.

Study Intersections

Through coordination between Linscott, Law & Greenspan Engineers (LLG) and LADOT staff, seven study intersections were identified for evaluation during the weekday morning and afternoon peak hours. The study intersections provide both regional and local access to the study area and define the extent of the boundaries for this traffic impact analysis.

The traffic analysis study area generally comprises those locations that have the greatest potential to experience significant traffic impacts due to the Project, as defined by the City as Lead Agency under CEQA. In The traffic engineering practice, the study area generally includes those intersections that meeting the following criteria:

- a. Immediately adjacent or in close proximity to the project site;
- b. In the vicinity of the project site that are documented to have current or projected future adverse operational issues; and
- c. In the vicinity of the project site that are forecast to experience a relatively greater percentage of project-related vehicular turning movements (e.g., at freeway ramp intersections).

The study intersections selected for analysis were based on the above criteria, the Projects' calculated peak-hour vehicle trip generation, the anticipated distribution of Project vehicular trips, and existing intersection/corridor operations. LADOT confirmed the appropriateness of the seven study intersections when it entered into a traffic study Memorandum of Understanding (MOU) for the Project (refer to

Appendix M). The list of study intersections is presented on Table 6-59, and the study locations are shown on Figure 6-2.

Table 6-59
List of Study Intersections

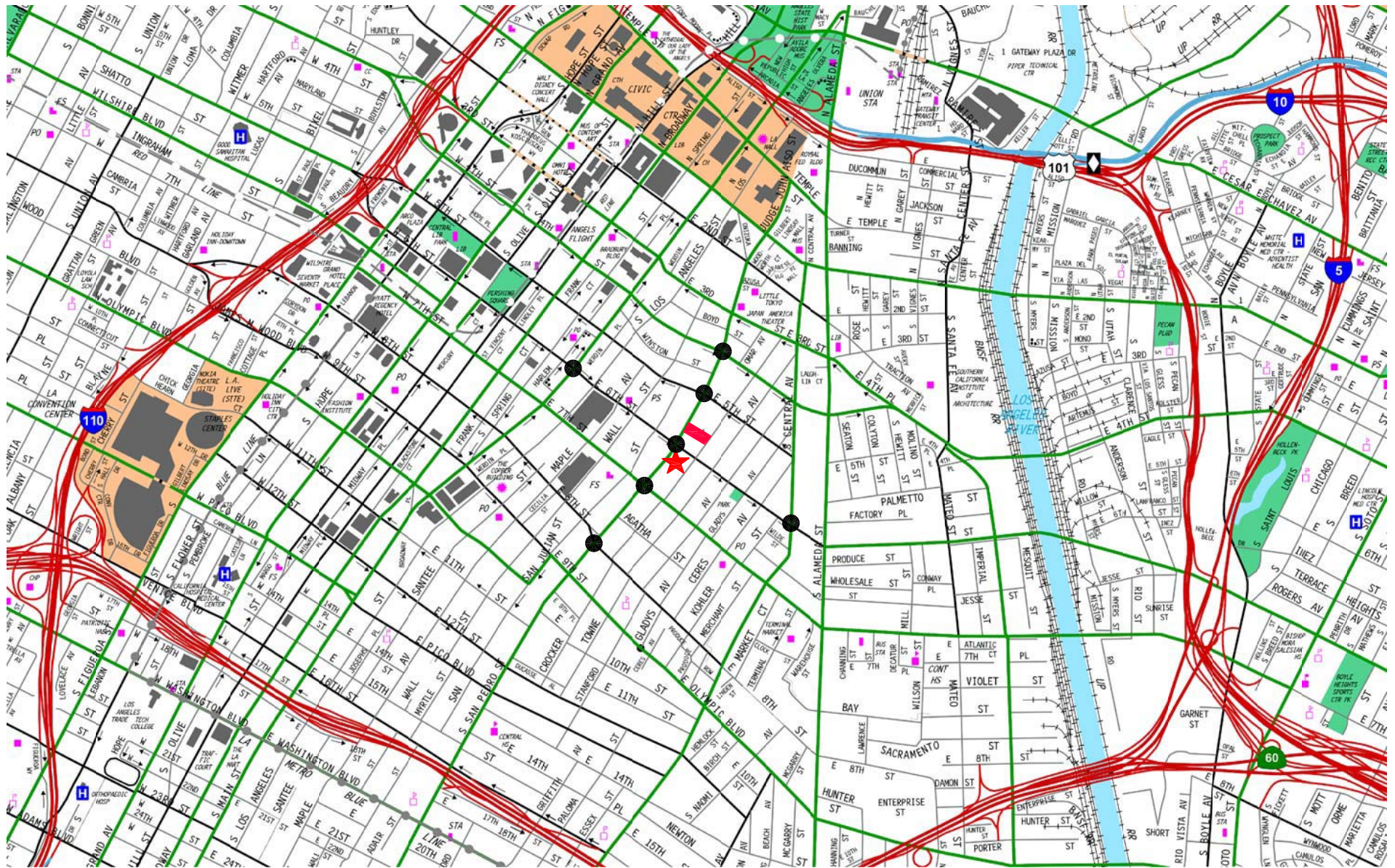
No.	Intersection	Traffic Control	Jurisdiction(s)
1	Los Angeles Street/6th Street	Signalized	City of Los Angeles
2	San Pedro Street/4th Street	Signalized	City of Los Angeles
3	San Pedro Street/5th Street	Signalized	City of Los Angeles
4	San Pedro Street/6th Street	Signalized	City of Los Angeles
5	San Pedro Street/7th Street	Signalized	City of Los Angeles
6	San Pedro Street/8th Street	Signalized	City of Los Angeles
7	Central Avenue/6th Street	Signalized	City of Los Angeles
<i>Source: Linscott, Law & Greenspan Engineers, 2018. Refer to Appendix M.</i>			

Methodologies

Based on LADOT’s Transportation Impact Study Guidelines (December 2016), this study uses the Critical Movement Analysis (CMA) methodology for the analysis and evaluation of traffic operations at signalized intersections under the City’s jurisdiction, as detailed in Circular Number 212 published by the Transportation Research Board (TRB).¹⁶⁰ This analysis technique describes the operating characteristics of an intersection in terms of the “Level of Service” (LOS) based on intersection traffic volume and other variables such as number and type of signal phasing, lane geometries, and other factors which determine both the quantity of traffic that can move through an intersection (Capacity) and the quality of that traffic flow (LOS).

“Capacity” represents the maximum total hourly volume of vehicles in the critical lanes that has a reasonable expectation of passing through an intersection under prevailing roadway and traffic conditions. Critical lanes are defined generally as those intersection movements or groups of movements which exhibit the highest “per lane” volumes, thus defining the maximum amount of vehicles attempting to travel through the intersection during a specific time period. The capacity of an intersection also varies based on the number of signal phases for the location; more signal phases generally result in more “lost” or “startup” time, as drivers exhibit slight reaction delays when signal indications change from “red” to “green.” For the CMA analysis methodology, the intersection capacities associated with the various levels of service are therefore based on the number of traffic signal phases, as shown on Table 6-60.

¹⁶⁰ *Interim Materials on Highway Capacity, Circular Number 212, Transportation Research Board, Washington, D.C., 1980.*



MAP SOURCE: RAND MCNALLY & COMPANY

- WEINGART TOWERS PROJECT
- ★ SAN PEDRO TOWER PROJECT
- STUDY INTERSECTION



Figure 6-2
Study Area

Source: Linscott, Law & Greenspan, Engineers, 2018.

Table 6-60
CMA Volume Ranges per LOS*

LOS	Maximum Sum of Critical Volumes (VPH) vs. Number of Signal Phases		
	Two Phases	Three Phases	For or More Phases
A	900	855	825
B	1,050	1,000	965
C	1,200	1,140	1,100
D	1,350	1,275	1,225
E	1,500	1,425	1,375
F	NA	NA	NA
* For planning applications only. Not appropriate for operations/design applications.			

For the intersection evaluation and transportation planning purposes of this traffic study, LADOT policy requires that the maximum “baseline” capacity of an intersection equate to the value associated with LOS E shown on Table 6-60. This value represents the highest volume of traffic that can be adequately accommodated through urban area intersections without a breakdown in operations, resulting in unstable traffic flows, high levels of congestion, and long delays.

The “Critical Movement” indices at an intersection are determined by first identifying the sum of the critical lane traffic volumes at the intersection. This total traffic *volume* value, which represents the most critical intersection demand, is then divided by the appropriate intersection *capacity* value for the type of signal control at the intersection, to determine the “CMA value” for the intersection that is roughly equivalent to its volume-to-capacity ratio.

LOS describes the quality of traffic flow through the intersection. LOS A through LOS C exhibit good traffic flow characteristics, with little congestion. LOS D is typically the level for which metropolitan area street systems are designated, and represents the highest level of acceptable congestion and delay. LOS E defines conditions at or near the capacity of an intersection, and is characterized by short-duration stoppages and unstable traffic flows at its upper range. LOS F occurs when a facility is overloaded, and is characterized by stop-and-go traffic with long duration delays. Note that the LOS definitions do not represent a single operating condition, but rather correspond to a range of CMA values, as shown on Table 6-61.

Table 6-61
LOS Definitions for Signalized Intersections (CMA Method)

LOS	Intersection Capacity Utilization	Definition
A	0.000 - 0.600	EXCELLENT. No vehicle waits longer than one red light and no approach phase is fully used.
B	0.601 - 0.700	VERY GOOD. An occasional approach phase is fully utilized; many drivers begin to feel somewhat restricted within groups of vehicles.
C	0.701 - 0.800	GOOD. Occasionally drivers may have to wait through more than one red light; backups may develop behind turning vehicles.
D	0.801 - 0.900	FAIR. Delays may be substantial during portions of the rush hours, but enough lower volume periods occur to permit clearing of developing lines, preventing excessive backups.
E	0.901 - 1.000	POOR. Represents the most vehicles intersection approaches can accommodate; may be long lines of waiting vehicles through several cycles.
F	> 1.000	FAILURE. Backups from nearby locations or on cross streets may restrict or prevent movement of vehicles out of the intersection approaches. Tremendous delays with continuously increasing queue lengths.
<i>Source: Transportation Research Board, Transportation Research Circular No. 212, Interim Materials on Highway Capacity, 1980.</i>		

Existing Conditions

Existing Street System

Regional Highway System

Regional vehicular access to the Project Sites is provided by the U.S. 101 (Hollywood) Freeway. Additional freeways providing indirect access to the Project Sites include the I-10 (Santa Monica) Freeway and State Route 110/I-110 (Pasadena/Harbor) Freeway. Brief descriptions of the Hollywood Freeway, Pasadena/Harbor Freeway and Santa Monica Freeway are provided in the following paragraphs.

U.S. 101 (Hollywood) Freeway is generally a north-south oriented freeway connecting Downtown Los Angeles to the San Fernando Valley within the Los Angeles region. In the vicinity of the Project Sites, the U.S. 101 Freeway alignment runs in a northwest to southeast direction. Four mainline travel lanes are provided in each direction on the U.S. 101 Freeway. Within the general area of the Project Sites, on and/or off-ramps are provided at Broadway-Aliso Street, Spring Street, Los Angeles Street, and Alameda Street.

SR-110/I-110 (Pasadena/Harbor) Freeway is a major north-south oriented freeway connecting Pasadena to the north with the San Pedro area to the south. The SR-110/I-110 Freeway generally contains four mainline freeway lanes in each direction in the vicinity of the Project Sites. The Harbor Freeway Transitway located south of the Project Sites and Downtown Los Angeles, includes two elevated express

lanes in each direction (which requires the use of a FasTrak Flex transponder). Within the general area of the Project Sites, on and/or off-ramps are provided at 3rd Street, 4th Street, 5th Street, and 6th Street.

I-10 (Santa Monica) Freeway is a major east-west oriented freeway connecting Santa Monica to the west to the Inland Empire to the east. The I-10 Freeway generally contains four mainline freeway lanes in each direction along with auxiliary lanes in the Downtown area. Within the general area of the Project Sites, in the eastbound direction on the I-10 Freeway, off-ramps are provided at Grand Avenue and Maple Street. In the westbound direction on the I-10 Freeway, off-ramps are provided at Los Angeles Street and Hoover Street/20th Street.

Roadway Classifications

The City utilizes the roadway categories recognized by regional, state, and federal transportation agencies. There are four categories in the roadway hierarchy, ranging from freeways with the highest capacity to two-lane undivided roadways with the lowest capacity. The roadway categories are summarized as follows:

Freeways are limited-access and high speed travel ways included in the state and federal highway systems. Their purpose is to carry regional through-traffic. Access is provided by interchanges with typical spacing of one mile or greater. No local access is provided to adjacent land uses.

Arterial roadways are major streets (e.g., Boulevard and Avenue designations) that primarily serve through-traffic and provide access to abutting properties as a secondary function. Arterials are generally designed with two to six travel lanes and their major intersections are signalized. This roadway type is divided into two categories: principal and minor arterials. Principal arterials are typically four-or-more lane roadways and serve both local and regional through-traffic. Minor arterials are typically two-to-four lane streets that service local and commute traffic.

Collector roadways are streets that provide access and traffic circulation within residential and non-residential (e.g., commercial and industrial) areas. Collector roadways connect local streets to arterials and are typically designed with two through travel lanes (i.e., one through travel lane in each direction) that may accommodate on-street parking. They may also provide access to abutting properties.

Local roadways distribute traffic within a neighborhood, or similar adjacent neighborhoods, and are not intended for use as a through-street or a link between higher capacity facilities such as collector or arterial roadways. Local streets are fronted by residential uses and do not typically serve commercial uses.

Alleys are common throughout the Downtown area as well as throughout the City. Alleys parallel to major and secondary highways provide an essential service function, enable limitations on curb cuts, and assist traffic flow on arterial streets.

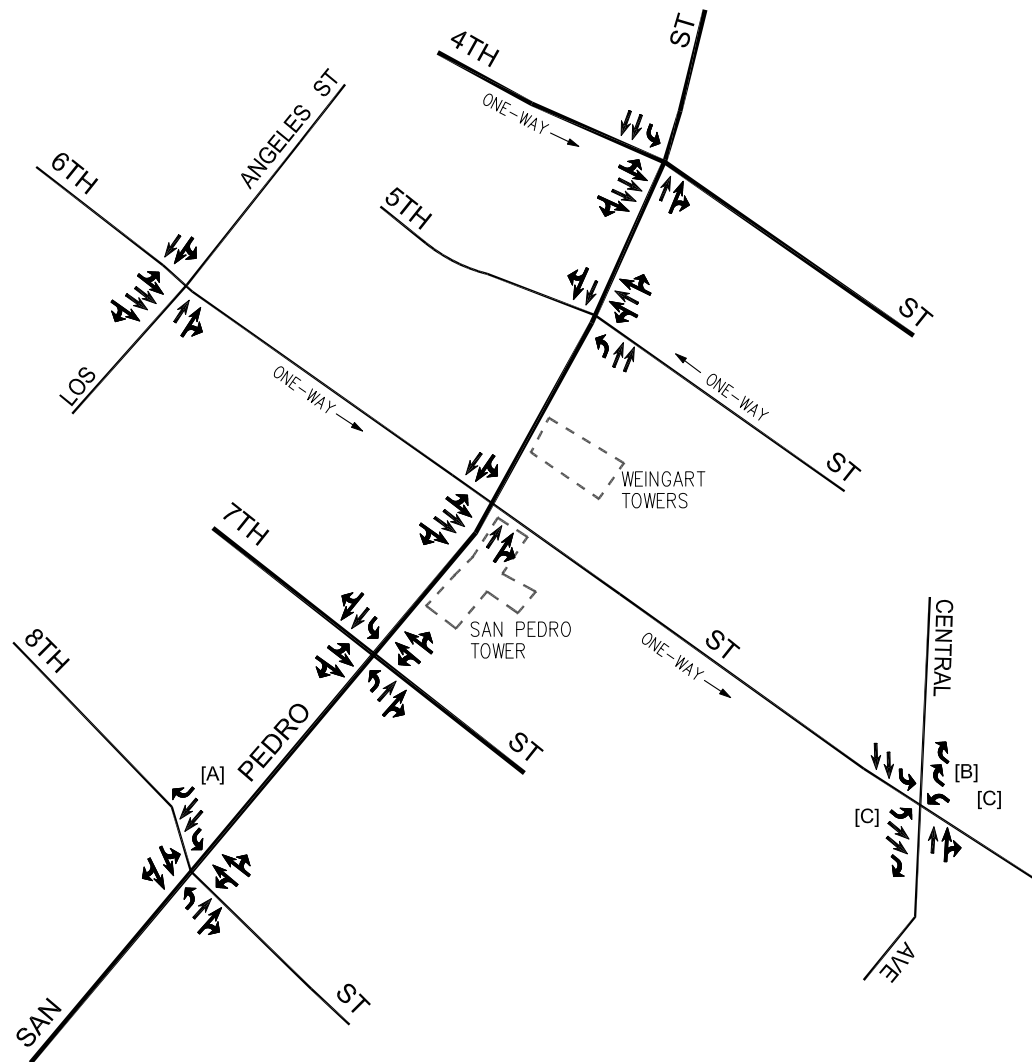
Local Street System

All seven study intersections are currently controlled by traffic signals. The existing roadway configurations and intersection controls at the study intersections are displayed on Figure 6-3, and descriptions of the existing roadways (e.g., number of travel lanes, median type, and speed limit) are provided on Table 6-62.

Transit Services

Extensive public bus and rail transit service is provided within the Project study area. Public bus transit service in the immediate Project study area is currently provided by Metro, City of Gardena Transit, and City of Montebello Bus Lines. Additional public bus transit service in the Downtown Los Angeles area is provided by Foothill Transit, LADOT DASH Transit Service, Orange County Transportation Authority, and Torrance Transit Service. The Metro Red and Gold lines also are provided in proximity to the Project Sites. Metro's nearest Purple/Red line station is the Pershing Square station, which is located 0.7 miles northwest of the Project Sites, while the nearest Metro Gold Line station is situated approximately 0.8 miles northeast of the Project Sites at the Little Tokyo/Arts District station. Additionally, as noted previously, the Project Sites are located less than 1.0 mile from Metro's Regional Connector 1st Street portal, which is currently under construction. Walk Score calculates a transit score based on the number and proximity of bus and rail routes, which generates a transit score of approximately 95 (Rider's Paradise) out of 100 for the Project Sites.¹⁶¹ A summary of the existing transit service, including the transit route, destinations and peak-hour headways is presented on Table 6-63. The existing public transit routes in the vicinity of the Project Sites are illustrated on Figure 6-4.

¹⁶¹ Refer to <http://www.walkscore.com/>, which generates the transit score for the project site. Walk Score calculates the transit score of an address by locating nearby bus/rail transit routes and stops. Walk Score measures how easy it is to live a car-lite lifestyle—not how pretty the area is for using transit service.



- [] PROJECT SITES
- [A] NOT PART OF SIGNAL
- [B] NO RIGHT-TURN ON RED
- [C] SPLIT PHASE OPERATION



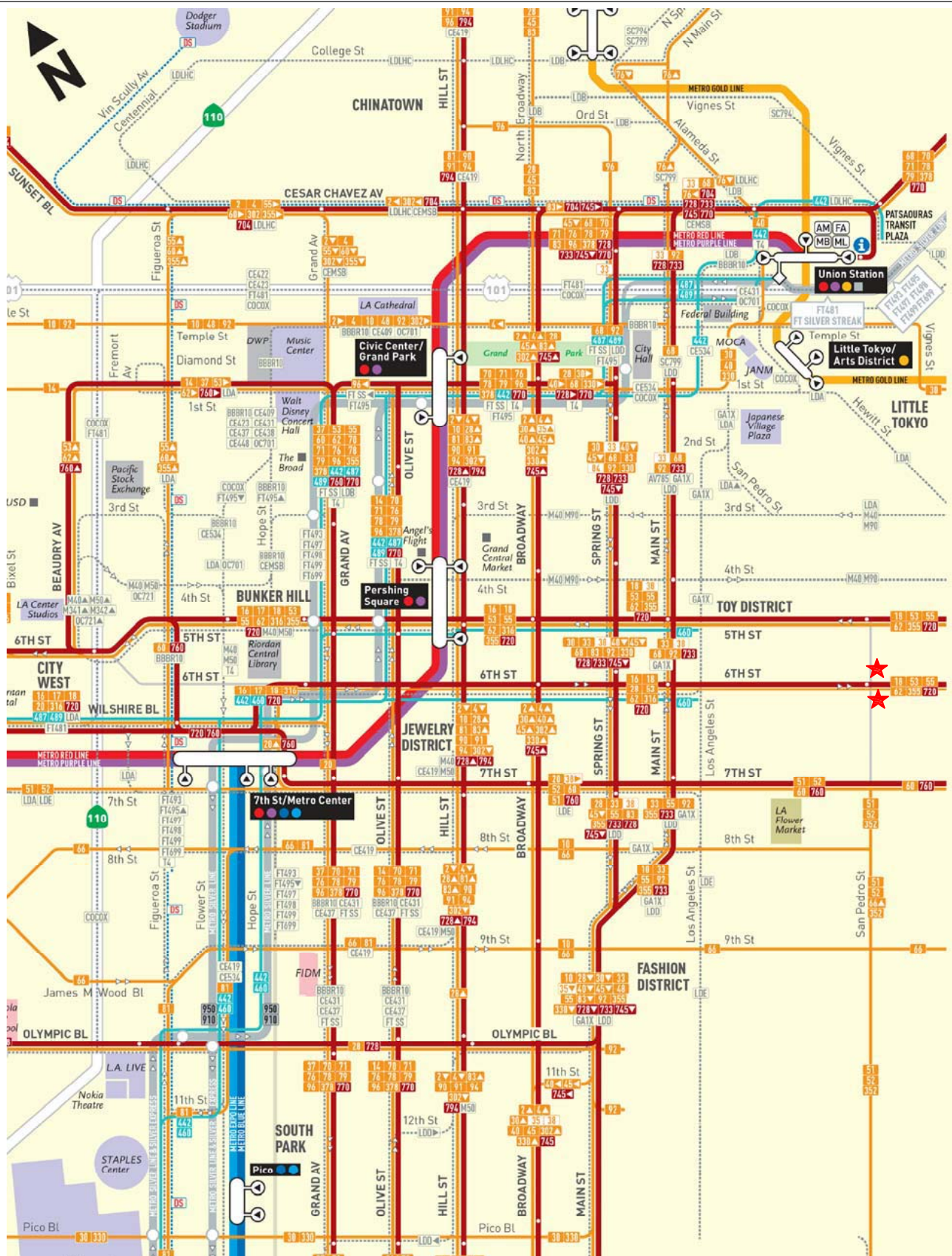
Figure 6-3
Existing Lane Configurations

Table 6-62
Existing Roadway Descriptions

Roadway	Classification [1]	Travel Lanes		Median Types [4]
		Direction [2]	No. Lanes [3]	
Los Angeles Street	Avenue II	N-S	4	N/A
San Pedro Street (East of Los Angeles Street)	Avenue II	N-S	4	N/A
Central Avenue (9 th St to 2 nd St)	Avenue I	N-S	4	2WLT/NA
4 th Street (Broadway to San Pedro St)	Avenue III	E	4	N/A
4 th Street (San Pedro St to Alameda St)	Avenue II	E	4	N/A
5 th Street (Broadway to Los Angeles St)	Avenue III	W	4	N/A
5 th Street (Los Angeles St to Alameda St)	Avenue II	W	4	N/A
6 th Street (Flower St to Los Angeles St)	Avenue III	E	4	N/A
6 th Street (Los Angeles St to Central Ave)	Avenue II	E	4	N/A
6 th Street (Central Ave to Mateo St)	Avenue II	E-W	4	N/A
7 th Street	Avenue II	E-W	4	N/A
8 th Street (Olive St to Main St)	Avenue III	E-W	4	N/A
8 th Street (Main St to Central Ave)	Avenue II	E-W	4	N/A
<p><i>Notes:</i></p> <p>[1] Roadway classifications obtained from the City of Los Angeles Mobility Plan 2035, Adopted January 20, 2016.</p> <p>[2] Direction of roadways in the project area: NB-SB – northbound and southbound; and EB-WB – eastbound and westbound.</p> <p>[3] Number of lanes in both directions of the roadway.</p> <p>[4] Median type of the road RMI – Raised Median Island; 2 WLT – 2-Way Left-Turn Lane; and N/A – Not Applicable.</p> <p>Source: Linscott, Law & Greenspan Engineers, 2018. Refer to Appendix M.</p>				

Table 6-63
Existing Transit Routes [1]

Route	Destinations	Roadway(s) Near the Project Sites	No. of Buses/Trains During Peak Hour		
			DIR	AM	PM
Metro 17	Century City to Downtown Los Angeles via Culver City, West Hollywood, Beverly Grove, Hancock Park and Los Angeles	Los Angeles Street, 6th Street	EB WB	2 2	2 2
Metro 18	Wilshire Center to Montebello via Downtown Los Angeles, Boyle Heights and East Los Angeles	Los Angeles Street, San Pedro Street, Central Avenue, 5th Street, 6th Street	EB WB	6 6	8 11
Metro 51/52/352	Wilshire Center to Compton via Westlake, Downtown Los Angeles, Los Angeles and Harbor Gateway	San Pedro Street, 7th Street, 8th Street	NB SB	15 14	14 13
Metro 53	Carson to Downtown Los Angeles via Compton and Los Angeles	Los Angeles Street, San Pedro Street, Central Avenue, 5th Street, 6th Street	NB SB	11 5	5 8
Metro 60	Downtown Los Angeles to Compton via Vernon, Southgate and Lynwood	San Pedro Street, 7th Street	NB SB	8 9	9 10
Metro 62	Downtown Los Angeles to Hawaiian Gardens via Boyle Heights, Commerce, Downey, Norwalk and Cerritos	Los Angeles Street, San Pedro Street, Central Avenue, 5th Street, 6th Street,	EB WB	3 3	3 3
Metro 720	Santa Monica to Commerce via Westwood and Los Angeles	San Pedro Street, Central Avenue, 5th Street, 6th Street	EB WB	6 19	18 8
Metro 760	Lynwood to Downtown Los Angeles via South Gate and Huntington Park	San Pedro Street, 7th Street	NB SB	5 4	5 5
Gardena Line 1X	Redondo Beach to Downtown Los Angeles via Torrance and Gardena	Los Angeles Street, 6th Street	NB SB	2 2	2 2
Montebello 40	Whittier to Downtown Los Angeles via Pico Rivera, Montebello and East Los Angeles	San Pedro Street, 4th Street	EB WB	6 6	6 6
Montebello 90	Whittier to Downtown Los Angeles via Pico Rivera, Montebello and East Los Angeles	San Pedro Street, 4th Street	EB WB	2 3	3 2
TOTAL				139	145
[1] Sources: Los Angeles County Metropolitan Transportation Authority (Metro), City of Gardena Transit and City of Montebello Bus Lines, websites, 2018.					



MAP SOURCE: METROPOLITAN TRANSPORTATION AUTHORITY (METRO) WEBSITE NOVEMBER 2017

★ PROJECT SITES

Figure 6-4
Existing Public Transit Routes

Traffic Counts

Manual counts of vehicular turning movements were conducted at each of the study intersections listed on Table 6-59 during the weekday morning (AM) and afternoon (PM) commute periods to determine the peak-hour traffic volumes. The manual counts were conducted by an independent traffic count subconsultant (The Traffic Solution) at the study intersections from 7:00 to 10:00 AM to determine the weekday AM peak commute hour, and from 3:00 to 6:00 PM to determine the weekday PM peak commute hour. In conjunction with the manual turning movement vehicle counts, a count of bicycle and pedestrian volumes were also collected during the peak periods. It is noted that all of the traffic counts were conducted when local schools were in session. Traffic volumes at the study intersections show the typical peak periods between 7:00 to 10:00 AM and 3:00 to 6:00 PM generally associated with metropolitan Los Angeles weekday peak commute hours.

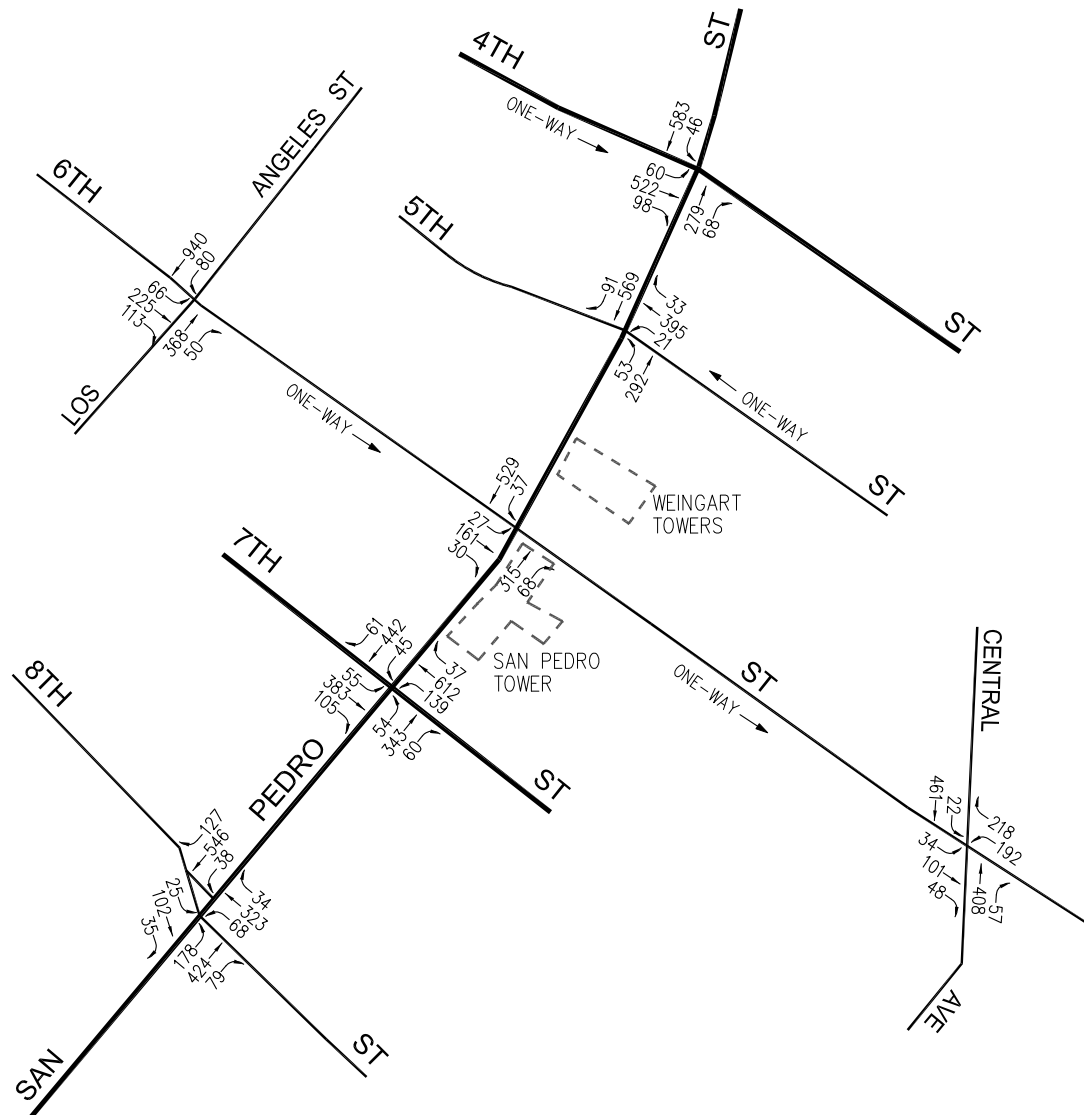
The weekday and weekend peak-hour manual counts of vehicle movements at the study intersections are summarized on Table 6-64. The existing traffic volumes at the study intersections during the weekday AM and PM peak hours are shown on Figures 6-5 and 6-6, respectively.

Existing LOS

As indicated in column [1] of Table 6-65, all seven study intersections are currently operating at LOS A during the weekday AM and PM peak hours under existing conditions. These operating conditions at the study intersections reflect the one-way travel patterns of the east-west oriented roadways (i.e., 4th Street, 5th Street, 6th Street) that reduce the number of conflicts for critical movements.

Table 6-64
Existing Traffic Volumes – Weekday AM and PM Peak Hours

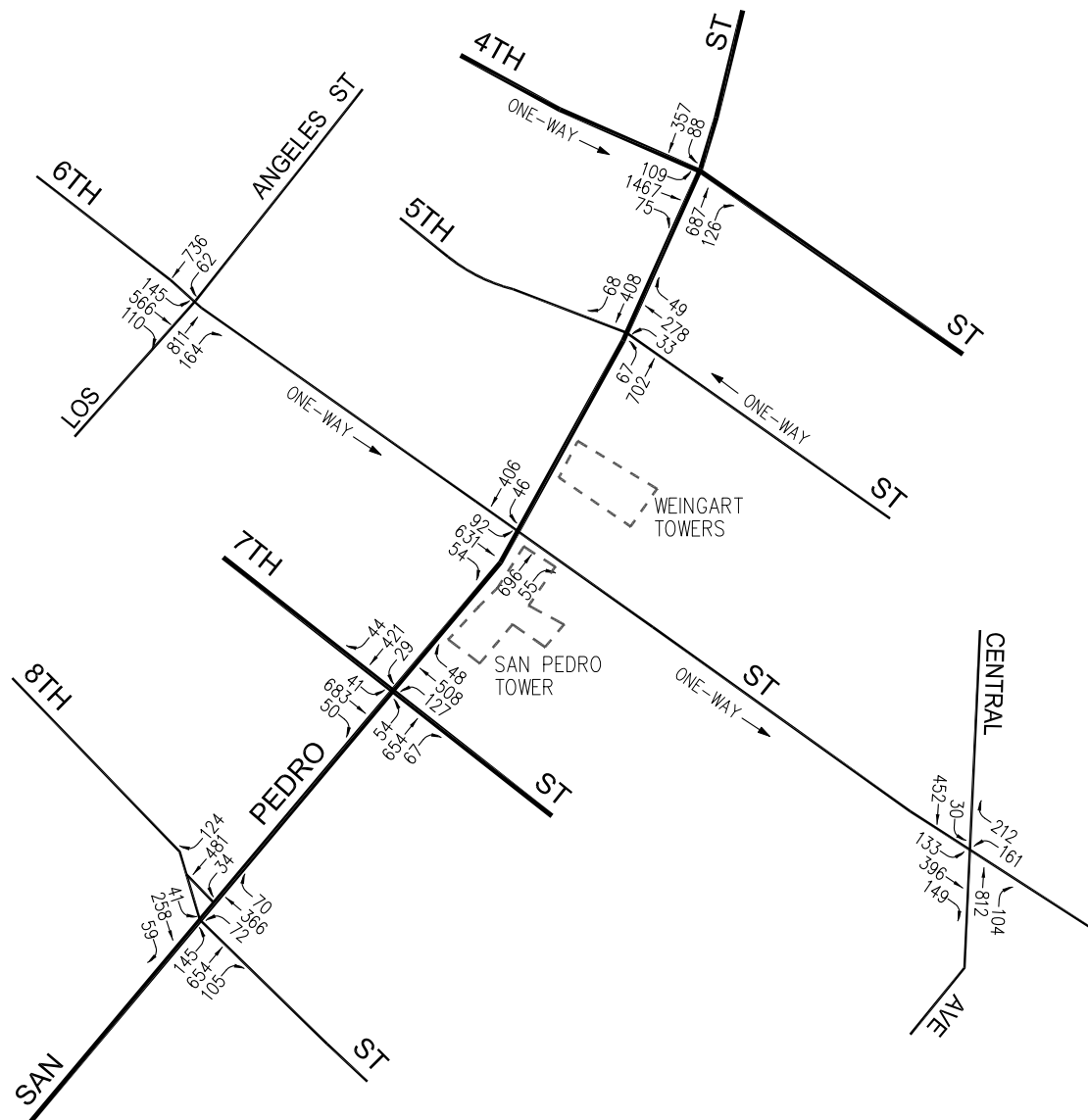
No.		Date	DIR	AM Peak Hour		PM Peak Hour	
				Began	Volume	Began	Volume
1	Los Angeles Street/ 6th Street	10/12/2017	NB SB EB WB	7:15	418 1,020 404 0	5:00	975 798 821 0
2	San Pedro Street/ 4th Street	10/12/2017	NB SB EB WB	7:15	347 629 680 0	5:00	813 445 1,651 0
3	San Pedro Street/ 5th Street	10/12/2017	NB SB EB WB	7:15	345 660 0 449	5:00	769 476 0 360
4	San Pedro Street/ 6th Street	10/12/2017	NB SB EB WB	7:15	383 566 218 0	5:00	751 452 777 0
5	San Pedro Street/ 7th Street	10/12/2017	NB SB EB WB	7:15	457 548 543 788	5:00	775 494 774 683
6	San Pedro Street/ 8th Street	10/12/2017	NB SB EB WB	7:15	681 711 162 425	5:00	904 639 358 508
7	Central Avenue/ 6th Street	10/12/2017	NB SB EB WB	7:15	465 483 183 410	5:00	916 482 678 373
Source: Linscott, Law & Greenspan Engineers, 2018. Refer to Appendix M.							



[- - -] PROJECT SITES



Figure 6-5
Existing Traffic Volumes
Weekday AM Peak Hour



[- - -] PROJECT SITES



Figure 6-6
Existing Traffic Volumes
Weekday PM Peak Hour

Table 6-65
Summary of Volume to Capacity Ratios and Levels of Service
Weekday AM and PM Peak Hours

No	Study Intersection	Peak Hour	[1]		[2]				[3]		[4]			
			Year 2017 Existing		Year 2017 Existing With Project		Change V/C	Signif Impact	Year 2025 Future W/O Project		Year 2025 Future with Project		Change V/C	Signif Impact
			V/C	LOS	V/C	LOS	[(2)-(1)]	[a]	V/C	LOS	V/C	LOS	[(4)-(3)]	[a]
1	Los Angeles Street/ 6th Street	AM	0.342	A	0.353	A	0.011	No	0.545	A	0.556	A	0.011	No
		PM	0.403	A	0.407	A	0.004	No	0.617	B	0.625	B	0.008	No
2	San Pedro Street/ 4th Street	AM	0.208	A	0.211	A	0.003	No	0.291	A	0.293	A	0.002	No
		PM	0.505	A	0.515	A	0.010	No	0.632	B	0.641	B	0.009	No
3	San Pedro Street/ 5th Street	AM	0.255	A	0.273	A	0.018	No	0.375	A	0.392	A	0.017	No
		PM	0.214	A	0.225	A	0.011	No	0.379	A	0.389	A	0.010	No
4	San Pedro Street/ 6th Street	AM	0.138	A	0.143	A	0.005	No	0.251	A	0.287	A	0.036	No
		PM	0.311	A	0.335	A	0.024	No	0.457	A	0.482	A	0.025	No
5	San Pedro Street/ 7th Street	AM	0.450	A	0.480	A	0.030	No	0.715	C	0.753	C	0.038	No
		PM	0.542	A	0.579	A	0.037	No	0.735	C	0.769	C	0.034	No
6	San Pedro Street/ 8th Street	AM	0.359	A	0.371	A	0.012	No	0.507	A	0.519	A	0.012	No
		PM	0.397	A	0.407	A	0.010	No	0.566	A	0.576	A	0.010	No
7	Central Avenue/ 6th Street	AM	0.262	A	0.277	A	0.015	No	0.492	A	0.507	A	0.015	No
		PM	0.516	A	0.529	A	0.013	No	0.797	C	0.810	D	0.013	No

[a] According to LADOT's "Transportation Impact Study Guidelines," December 2016, a transportation impact on an intersection shall be deemed significant in accordance with the following table:

Final v/c	LOS	Project Related Increase in V/C
>0.701 – 0.800	C	equal to or greater than 00.040
>0.801 – 0.900	D	equal to or greater than 0.020
>0.901	E/F	equal to or greater than 0.010

Source: Linscott, Law & Greenspan, 2018. Refer to Appendix M.

Threshold of Significance

LADOT's significance criteria for determining intersection LOS impacts are shown on Table 6-66.

Table 6-66
LADOT Intersection Significance Thresholds

Intersection Conditions with Project Traffic		Project-related Increase in V/C Ratio
LOS	V/C	
C	0.701 - 0.800	Equal to or greater than 0.04
D	0.801 - 0.900	Equal to or greater than 0.02
E, F	> 0.900	Equal to or greater than 0.01
<i>Source: LADOT.</i>		

Project Impacts – Intersection LOS

Trip Generation

Traffic generation is expressed in vehicle trip ends, defined as one-way vehicular movements, either entering or exiting the generating land use. Traffic volumes to be generated by the Project were forecast for the weekday AM and PM peak hours, over a 24-hour period. Generation rates provided in the ITE *Trip Generation Manual* were utilized to forecast traffic generation for the Project. Traffic volumes expected to be generated by the Project's general office and commercial (i.e., retail) land use components were based upon the following ITE trip generation average rates:

- ITE Land Use Code 710: General Office Building
- ITE Land Use Code 820: Shopping Center

The kitchen/dining room and flex space planned for the Project would provide meals for residents and area homeless during breakfast, lunch and dinner. At other times this space may be used for other activities. It was deemed appropriate to estimate trips for this space only for service and delivery by selecting an ITE land use category (ITE 110, General Light Industrial) that could approximate these trips.

As the ITE publication does not provide trip rates for a land use such as the Project's specific residential land use component, it was deemed appropriate to forecast the trips expected to be generated by the affordable housing land use component using trip rates recently published by LADOT that are directly applicable to the Project. LADOT trip generation rates for affordable housing projects were published in November 2016, and developed based on vehicle trip count data collected at affordable housing sites in the City during year 2016. The LADOT affordable housing trip rates include three different housing type categories: affordable family housing, and affordable special needs and supportive housing. In this instance, the affordable family and affordable special needs and supportive housing category are directly applicable to the proposed Project, which would provide housing for permanent long-term tenants with supportive services designed to enable homeless persons and individuals/families at risk of homelessness

to ensure that they remain housed and live as independently as possible. LADOT's affordable family and affordable special needs and supportive housing category trip rates are summarized below.

Affordable Family Housing

- Average Daily Trip Rate: 4.08 trips per dwelling unit
- Average AM Peak-Hour Trip Rate: 0.50 trips per dwelling unit; 40 percent inbound and 60 percent outbound
- Average PM Peak-Hour Trip Rate: 0.34 trips per dwelling unit; 55 percent inbound and 45 percent outbound

Affordable Special Needs and Supportive Housing

- Average Daily Trip Rate: 1.27 trips per dwelling unit
- Average AM Peak-Hour Trip Rate: 0.12 trips per dwelling unit; 44 percent inbound and 56 percent outbound
- Average PM Peak-Hour Trip Rate: 0.12 trips per dwelling unit; 59 percent inbound and 41 percent outbound

The ITE manual contains trip rates for a variety of land uses (including office buildings, shopping centers, condominiums, etc.), which have been derived based on traffic counts conducted at existing sites. However, the traffic count data submitted to ITE is for free-standing sites generally located in suburban locations, which likely do not reflect the trip generation characteristics for projects located in urban areas such as the City of Los Angeles's transit oriented district (TOD) areas. Thus, the trip rates provided in the ITE *Trip Generation Manual* (derived from traffic counts at suburban projects) overstate the trip generation potential of projects located within the Downtown Los Angeles area, including the Project.

For the Project, it is reasonable to conclude that its primary land use component (i.e., affordable housing), location in Downtown Los Angeles near multimodal corridors, and proximity to rail lines would result in a significant reduction in vehicle trips as compared to the trip forecasts that would otherwise be calculated using the applicable and unadjusted ITE trip rates in a passively managed traffic management condition. An actively managed site could be expected to yield additional trip reductions. Thus, based on criteria contained in Section 3.3B of LADOT's Transportation Impact Study Guidelines and recent Downtown Los Angeles project experience, conservative adjustments were made to the Project's general office land use component trip generation forecasts to account for transit usage, walkability and internal capture as follows:

- 5 percent transit adjustment
- 5 percent walk adjustment

- 5 percent internal capture adjustment

For the Project's commercial (i.e., retail) land use components, a forecast was made of likely pass-by trips that could be anticipated at the sites. Pass-by trips are intermediate stops on the way from an origin to a primary trip destination without a route diversion. Pass-by trips are attracted from traffic passing a site on an adjacent street or roadway that offers direct access to the site. The pass-by traffic forecast has been estimated based on existing traffic volumes in the vicinity of the Project Sites and the *LADOT Policy on Pass-by Trips*. Pass-by adjustments have been applied to the weekday AM and PM peak-hour traffic volume forecasts, as well as to the daily traffic volume forecasts, for the Project's commercial land use components.

In addition to the Project trip generation forecasts, forecasts also were made for the existing land uses at the Project Sites. Although the existing site use (Weingart Café) on Site 1 is a functional restaurant, it serves the homeless and does not function as a typical restaurant. As such, it was determined appropriate to estimate existing site trips only for service and delivery trips by selecting an ITE land use category (i.e., ITE Code 110, General Light Industrial) that could approximate these trips.

The trip generation rates and forecast of the vehicular trips anticipated to be generated by the Project are presented on Table 6-67. As summarized on the table, the Project would generate a net increase of 229 trips (120 inbound trips and 109 outbound trips) during the weekday AM peak hour. During the weekday PM peak hour, the Project would generate a net increase of 197 trips (91 inbound trips and 106 outbound trips). Over a 24-hour period, the Project would generate a net increase of 2,038 trips (1,019 inbound trips and 1,019 outbound trips) during a typical weekday.

Table 6-67
Project Trip Generation [1]

Land Use	Size		Daily Trip Ends [2] Volumes	AM Peak Hour Volumes [2]			PM Peak Hour Volumes [2]		
				In	Out	Total	In	Out	Total
Site 1 [3]									
Affordable Housing - Supportive [4]	302	DU	384	16	20	36	21	15	36
Affordable Housing - Family [5]	76	DU	310	15	23	38	14	12	26
Manager Apartment [6]	4	DU	27	0	2	2	1	1	2
Commercial [7]	2,250	GLSF	96	1	1	2	4	4	8
- Less 50% Pass-by [8]			(48)	(1)	(1)	(2)	(2)	(2)	(4)
General Office [9]	19,030	GSF	210	26	4	30	5	23	28
- Less Transit Adjustment (5%) [10]			(11)	(1)	0	(1)	0	(1)	(1)
- Less Walk Adjustment (5%) [10]			(11)	(1)	0	(1)	0	(1)	(1)
- Less Internal Capture (5%) [10]			(11)	(1)	0	(1)	0	(1)	(1)
Dining Room/Flex Space [11]	11,463	GSF	80	10	1	11	1	10	11
Site 1 Subtotal			1,026	64	50	114	44	60	104
Site 2 [3]									
Affordable Housing - Supportive [4]	149	DU	189	8	10	18	11	7	18
Affordable Housing - Family [5]	149	DU	608	30	45	75	28	23	51
Manager Apartment [6]	5	DU	33	1	2	3	2	1	3
Commercial [7]	3,200	GLSF	137	2	1	3	6	6	12
- Less 50% Pass-by [8]			(69)	(1)	(1)	(2)	(3)	(3)	(6)
General Office [9]	17,100	GSF	189	24	3	27	4	21	25
- Less Transit Adjustment (5%) [10]			(9)	(1)	0	(1)	0	(1)	(1)
- Less Walk Adjustment (5%) [10]			(9)	(1)	0	(1)	0	(1)	(1)
- Less Internal Capture (5%) [10]			(9)	(1)	0	(1)	0	(1)	(1)
Site 2 Subtotal			1,060	61	60	121	48	52	100
Sits 1 & 2 Subtotal			2,086	125	110	235	92	112	204
Less Existing Site 1 Development									
Weingart Cafe [12]	(7,000)	GSF	(48)	(5)	(1)	(6)	(1)	(6)	(7)
TOTAL			2,038	120	109	229	91	106	197
[1] Source: City of Los Angeles Department of Transportation (LADOT), November 2016; and ITE "Trip Generation Manual," 9 th Edition, 2012.									
[2] Trips are one-way traffic movements, entering or leaving.									
[3] Refer to Section 2 (Project Description) for a description of the specific proposed land uses.									
[4]LADOT trip generation average rates for affordable housing type Special Needs & Supportive Housing.									
- Daily Trip Rate: 1.27 trips/dwelling unit; 50% inbound/50% outbound									
- AM Peak Hour Trip Rate: 0.12 trips/dwelling unit; 44% inbound/56% outbound									
- PM Peak Hour Trip Rate: 0.12 trips/dwelling unit; 59% inbound/41% outbound									
[5] LADOT trip generation average rates for affordable housing type Family.									
- Daily Trip Rate: 4.08 trips/dwelling unit; 50% inbound/50% outbound									
- AM Peak Hour Trip Rate: 0.50 trips/dwelling unit; 40% inbound/60% outbound									
- PM Peak Hour Trip Rate: 0.34 trips/dwelling unit; 55% inbound/45% outbound									
[6] ITE Land Use Code 220 (Apartment) trip generation average rates.									
- Daily Trip Rate: 6.65 trips/dwelling unit; 50% inbound/50% outbound									
- AM Peak Hour Trip Rate: 0.51 trips/dwelling units; 20% inbound/80% outbound									
- PM Peak Hour Trip Rate: 0.62 trips/dwelling units; 65% inbound/35% outbound									
[7] ITE Land Use Code 820 (Shopping Center) trip generation average rates.									
- Daily Trip Rate: 42.7 trips/1,000 SF of floor area; 50% inbound/50% outbound									
- AM Peak Hour Trip Rate: 0.96 trips/1,000 SF of floor area; 62% inbound/38% outbound									
- PM Peak Hour Trip Rate: 3.71 trips/1,000 SF of floor area; 48% inbound/52% outbound									
[8] Source: LADOT policy on pass-by trip adjustments. Pass-by trips are made as intermediate stops on the way from an origin to a primary trip destination without a route diversion. Pass-by trips are attracted from the traffic passing the site on an adjacent street or									

Table 6-67
Project Trip Generation [1]

Land Use	Size	Daily Trip Ends [2] Volumes	AM Peak Hour Volumes [2]			PM Peak Hour Volumes [2]		
			In	Out	Total	In	Out	Total
<p>roadway that offers direct access to the site.</p> <p>[9] ITE Land Use Code 710 (General Office Building) trip generation average rates.</p> <ul style="list-style-type: none"> - Daily Trip Rate: 11.03 trips/1,000 SF of floor area; 50% inbound/50% outbound - AM Peak Hour Trip Rate: 1.56 trips/1,000 SF of floor area; 88% inbound/12% outbound - PM Peak Hour Trip Rate: 1.49 trips/1,000 SF of floor area; 17% inbound/83% outbound <p>The Project plans for Site 2 show 12,100 square feet of office land uses. However, this SCEA assumes an additional 5,000 square feet of office land uses to allow for flexibility in the mix of non-residential land uses needed to accommodate the programming needs of the Project and to ensure that the potential environmental impacts associated with the change in mix of uses have been accounted for.</p> <p>[10] Transit, walk and Downtown Los Angeles trip adjustments are based on site's proximity to Metro rail and bus transit opportunities and the two project site locations.</p> <p>[11] The planned kitchen/dining room/flex space will provide meals for residents and area homeless during breakfast, lunch and dinner. At other times this space may be used for other activities. It was deemed appropriate to estimate trips for this space only for service and delivery by selecting an ITE land use category (ITE 110, General Light Industrial) that could approximate these trips.</p> <p>ITE Land Use Code 110 (General Light Industrial) trip generation average rates.</p> <ul style="list-style-type: none"> - Daily Trip Rate: 6.97 trips/1,000 SF of floor area; 50% inbound/50% outbound - AM Peak Hour Trip Rate: 0.92 trips/1,000 SF of floor area; 88% inbound/12% outbound - PM Peak Hour Trip Rate: 0.97 trips/1,000 SF of floor area; 12% inbound/88% outbound <p>[12] Although the existing site use (Weingart Café) for Site 1 is a functional restaurant, it serves the homeless and does not operate as a typical restaurant. It was determined appropriate to estimate existing site trips only for service and delivery trips by selecting an ITE land use category (ITE Code 110, General Light Industrial) that could approximate these trips.</p> <p>ITE Land Use Code 110 (General Light Industrial) trip generation average rates.</p> <ul style="list-style-type: none"> - Daily Trip Rate: 6.97 trips/1,000 SF of floor area; 50% inbound/50% outbound - AM Peak Hour Trip Rate: 0.92 trips/1,000 SF of floor area; 88% inbound/12% outbound - PM Peak Hour Trip Rate: 0.97 trips/1,000 SF of floor area; 12% inbound/88% outbound <p>Source: Linscott, Law & Greenspan Engineers, 2018. Refer to Appendix M.</p>								

Project Traffic Distribution and Assignment

Project traffic volumes both entering and exiting the Project Sites have been distributed and assigned to the adjacent street system based on the following considerations:

- The sites' proximity to major traffic corridors (i.e., Los Angeles Street, San Pedro Street, Central Avenue, 4th Street, 5th Street, 6th Street, etc.);
- Expected localized traffic flow patterns based on adjacent roadway channelization and presence of traffic signals;
- Existing intersection traffic volumes;
- Ingress/egress scheme planned for the Project, including the restricted right-turn ingress/egress access scheme for Site 2;
- Nearby population and employment centers; and
- Input from LADOT staff.

The general, directional traffic distribution pattern for the Project are presented on Figures 6-7 through 6-10.

The forecast weekday AM and PM peak-hour traffic volumes at the study intersections associated with the Project are presented on Figures 6-11 and 6-12, respectively. The traffic volume assignments presented on these figures reflect the traffic distribution characteristics shown on Figures 6-7 through 6-10 and the Project traffic generation forecasts presented on Table 6-67. It is noted that the commercial component trip distribution pattern for Site 1 (i.e., refer to Figure 6-5) has been utilized for the existing use on Site 1.

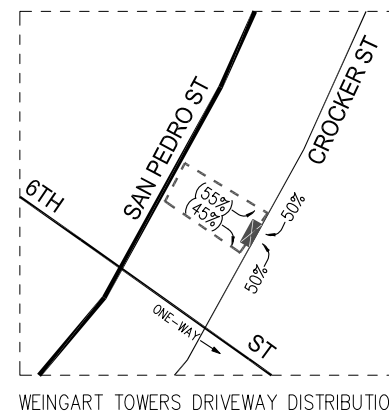
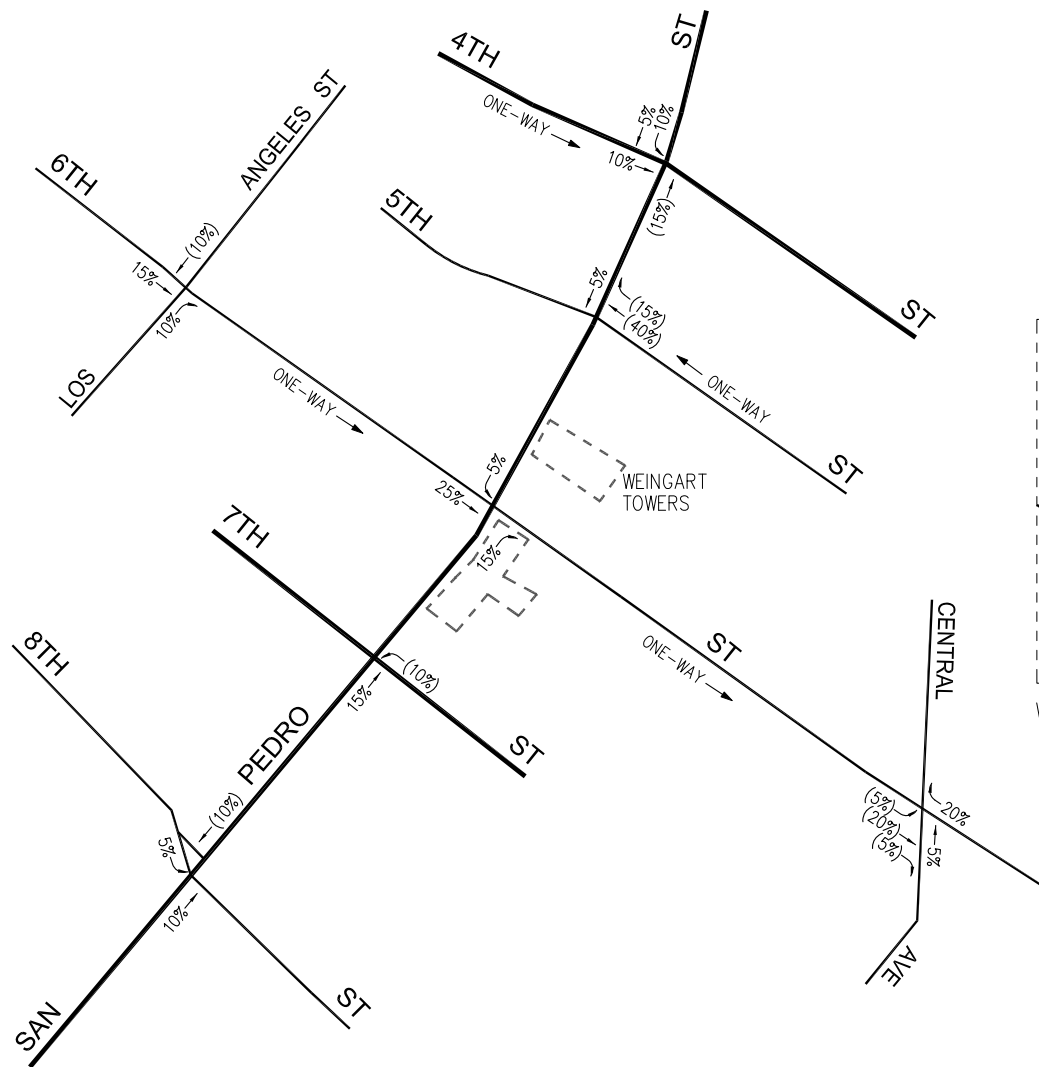
Existing (2017) With Project Intersection LOS Impacts

The existing with Project traffic volumes at the study intersections during the weekday AM and PM peak hours are illustrated on Figures 6-13 and 6-14, respectively. As shown in column [2] on Table 6-65, application of the City's threshold criteria to the "Existing With Project" scenario indicates that the Project would not result in significant impacts at any of the seven study intersections. Therefore, Project impacts related to intersection LOS would be less than significant.

Future (2025) Intersection LOS Impacts

Related Projects

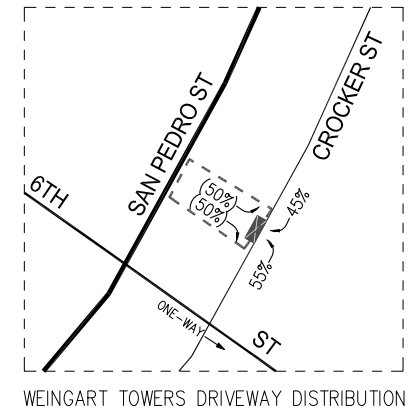
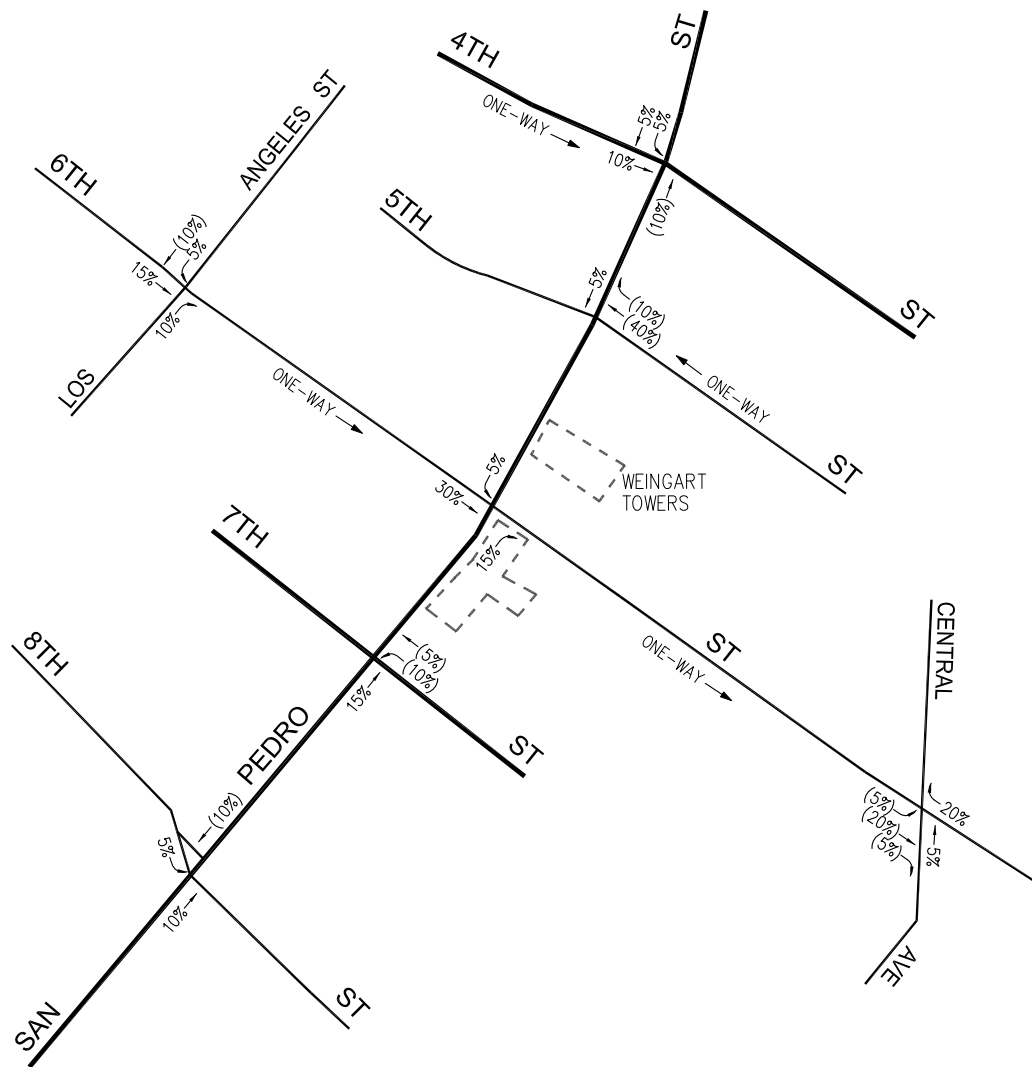
A forecast of on-street traffic conditions prior to occupancy of the Project was prepared by incorporating the potential trips associated with other known development projects (related projects) in the area (i.e., within an approximate 1.5-mile radius from the Project Sites, which is the range that LADOT uses when assessing cumulative impacts). With this information, the potential impact of the Project was evaluated within the context of the cumulative impacts of all ongoing development. The related projects research was based on information on file with both LADOT and LADCP. For LADOT, a list of related projects was obtained from LADOT at the time of preparation of the MOU for the approximately 1.5-mile radius from the Project Sites. For LADCP, the research included, but was not limited to, a review of proposed development projects within the Central City and Central City North community plan areas, proposed development projects within an approximate 1.5-mile radius from the Projects Sites for which EIRs are being or have been prepared (as shown on the Major Projects section of LADCP's website), and LADCP's bi-weekly case filing reports. In addition, related projects lists from recently approved traffic study MOU and traffic studies in the vicinity of the Project Sites also were reviewed. The list of related projects is presented on Table 6-68. The location of the related projects is shown on Figure 2-1 in Section 2 (Project Description).



[] PROJECT SITES
 XX = INBOUND PERCENTAGE
 (XX) = OUTBOUND PERCENTAGE



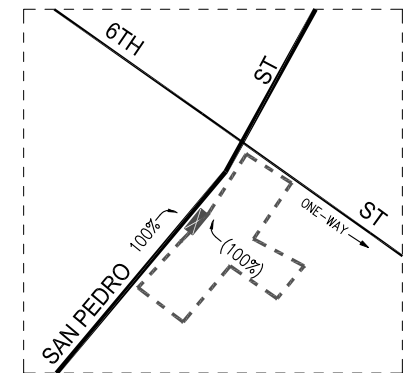
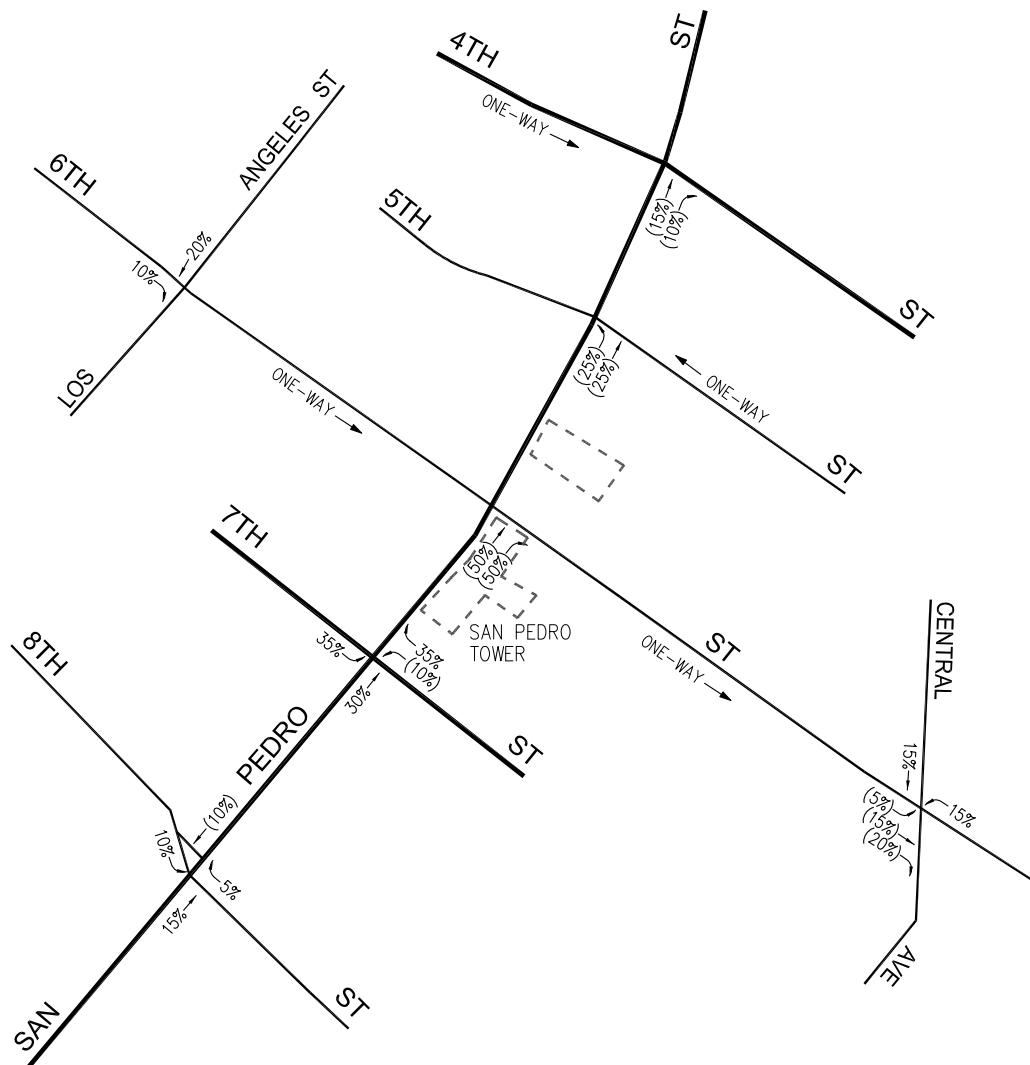
Figure 6-7
 Project Trip Distribution - Site 1
 Residential Component



[] PROJECT SITES
 XX = INBOUND PERCENTAGE
 (XX) = OUTBOUND PERCENTAGE



Figure 6-8
 Project Trip Distribution - Site 1
 Commercial Component



[] PROJECT SITES
 XX = INBOUND PERCENTAGE
 (XX) = OUTBOUND PERCENTAGE



Figure 6-9
 Project Trip Distribution - Site 2
 Residential Component

Table 6-68
Related Projects List and Trip Generation [1]

Map No.	Project Status	Project Name/Number Address/Location	Land Use Data			Project Data Source	Daily Trip Ends [2] Volumes	AM Peak Hour Volumes [2]			PM Peak Hour Volumes [2]		
			Land-Use	Size				In	Out	Total	In	Out	Total
1	Proposed	220 East Washington Boulevard	Specialty Retail Restaurant Apartment	7,750 7,750 357	GLSF GSF DU	[1]	2,113	38	118	156	125	53	178
2	Proposed	1500 South Figueroa Street	Apartment Retail	190 12,432	DU GLSF	[1]	1,199	18	67	85	71	40	111
3	Under Construction	454 East Commercial Street	Bus Maintenance Facility	2	Acres	[1]	300	22	8	30	9	1	10
4	Proposed	Tenten Wilshire Expansion 1027 West Wilshire Boulevard	Condominium Retail	356 5,000	DU GLSF	[3]	5,457	113	248	361	286	217	503
5	Proposed	233 West Washington Boulevard	Apartment Retail	160 24,000	DU GLSF	[1]	1,764	25	56	81	89	71	160
6	Proposed	215 West 9th Street	Condominium Retail	210 9,000	DU GLSF	[1]	1,140	14	56	70	64	38	102
7	Proposed	1400 South Figueroa Street	Apartment Retail	106 4,834	DU GLSF	[1]	647	10	38	48	39	22	61
8	Under Construction	Amacon Project 1133 South Hope Street	Apartment Retail	208 5,029	DU GLSF	[1]	1,543	20	74	94	91	50	141
9	Proposed	Magatoys 905 East 2nd Street	Condominium Retail	320 18,712	DU GLSF	[1]	1,207	(6)	70	64	69	23	92
10	Under Construction	Park Fifth 427 West 5th Street, 437 South Hill Street	Apartment Restaurant	600 13,742	DU GSF	[3]	4,707	71	273	344	279	158	437
11	Proposed	1115 South Hill Street	Condominium Restaurant	172 6,850	DU GSF	[1]	543	(45)	40	(5)	50	(7)	43
12	Proposed	1130 West Wilshire Boulevard	Office Day Care	88,224 20	GSF Students	[1]	964	92	12	104	28	61	89

Table 6-68
Related Projects List and Trip Generation [1]

Map No.	Project Status	Project Name/Number Address/Location	Land Use Data			Project Data Source	Daily Trip Ends [2] Volumes	AM Peak Hour Volumes [2]			PM Peak Hour Volumes [2]		
			Land-Use	Size				In	Out	Total	In	Out	Total
			High-Turnover Restaurant Quality Restaurant	248 5,375	GSF GSF								
13	Proposed	Embassy Tower 848 South Grand Avenue	Condominium Retail	420 38,500	DU GLSF	[1]	3,882	66	144	210	212	165	377
14	Proposed	826 South Mateo Street	Condominium Retail Restaurant	90 11,000 5,600	DU GLSF GSF	[1]	1,267	11	34	45	62	39	101
15	Proposed	2030 East 7th Street	Office Retail	243,583 40,000	GSF GLSF	[1]	2,306	274	34	308	69	249	318
16	Proposed	The Reef - LA Mart/SOLA Village 1900 South Broadway	Condominium Apartment Hotel Retail Office Gallery/Museum Gym	900 550 210 143,100 180,000 17,600 8,000	DU DU Rooms GLSF GSF GSF GSF	[1]	5,985	390	552	942	637	566	1,203
17	Proposed	Grand Avenue Project 225 South Grand Avenue 100 South Grand Avenue	Condominium Apartment Office Retail	1,432 357 681,000 449,000	DU DU GSF GLSF	[1] [4]	21,631	929	611	1,540	1,067	1,348	2,415
18	Under Construction	Metropolis Mixed-Use 899 South Francisco Street	Hotel Condominium Retail/Restaurant Office	480 836 46,000 988,225	Rooms DU GSF GSF	[3] [5]	8,010	307	318	625	387	512	899
19	Proposed	LA Civic Center Office 150 North Los Angeles Street	Office Retail Child Care	712,500 35,000 2,500	GSF GLSF GSF	[1]	13,534	930	118	1,048	435	942	1,377
20	Proposed	1300 South Hope Street	Apartment Retail	419 42,000	DU GLSF	[1]	4,280	88	105	193	136	102	238
21	Proposed	2130 East Violet Street	Office	94,000	GSF	[1]	1,351	137	30	167	39	122	161

Table 6-68
Related Projects List and Trip Generation [1]

Map No.	Project Status	Project Name/Number Address/Location	Land Use Data			Project Data Source	Daily Trip Ends [2] Volumes	AM Peak Hour Volumes [2]			PM Peak Hour Volumes [2]		
			Land-Use	Size				In	Out	Total	In	Out	Total
			Retail	7,500	GLSF								
22	Proposed	1329 West 7th Street	Apartment	87	DU	[1]	662	16	37	53	39	22	61
23	Under Construction	Topaz Mixed-Use 534-552 South Main Street 539-547 South Los Angeles Street	Apartment	160	DU	[1]	2,213	52	75	127	87	58	145
Retail			18,000	GLSF									
Restaurant			3,500	GSF									
Fast-Food Restaurant			3,500	GSF									
24	Under Construction	840 South Olive Street	Condominium	303	DU	[1]	3,071	81	166	247	174	96	270
			Restaurant	9,680	GSF								
			Retail	1,500	GLSF								
25	Under Construction	Santa Fe Freight Yard Redevelopment 950 East 3rd Street	Apartment	635	DU	[1]	6,372	162	177	339	245	213	458
			Retail/Restaurant	30,062	GLSF								
			School	532	Students								
26	Proposed	201 South Broadway	Office/Retail	27,675	GSF	[1]	1,638	(40)	(41)	(81)	53	17	70
			Restaurant										
27	Proposed	The City Market 1057 South San Pedro Street ENV-2012-3003-EIR	Office	549,141	GSF	[6]	15,890	837	434	1,271	632	957	1,589
			Retail	224,862	GLSF								
			Cinema	744	Seats								
			Apartment	877	DU								
			Hotel	210	Rooms								
			Condominium	68	DU								
28	Under Construction	400 South Broadway	Apartment	450	DU	[3]	3,292	50	187	237	193	112	305
			Retail	6,904	GLSF								
			Bar	5,000	GSF								
29	Proposed	Camden Arts Mixed-Use 1525 East Industrial Street	Apartment	328	DU	[1]	2,288	58	73	131	86	69	155
			Retail	6,400	GLSF								
			Restaurant	5,700	GSF								
			Office	27,300	GSF								
30	Proposed	920 South Hill Street	Apartment	239	DU	[1]	1,476	23	84	107	87	50	137
			Retail	5,400	GLSF								

Table 6-68
Related Projects List and Trip Generation [1]

Map No.	Project Status	Project Name/Number Address/Location	Land Use Data			Project Data Source	Daily Trip Ends [2] Volumes	AM Peak Hour Volumes [2]			PM Peak Hour Volumes [2]		
			Land-Use	Size				In	Out	Total	In	Out	Total
31	Proposed	955 South Broadway	Apartment Retail	163 6,406	DU GLSF	[1]	1,275	21	72	93	74	43	117
32	Under Construction	1212 South Flower Street	Condominium Retail	730 7,873	DU GLSF	[1]	3,956	78	233	311	229	121	350
33	Under Construction	820 South Olive Street 825 South Hill Street	Apartment Retail	589 4,500	DU GLSF	[1]	3,309	63	202	265	195	106	301
34	Proposed	1722 East 16th Street	Restaurant	8,515	GSF	[1]	592	(4)	2	(2)	36	11	47
35	Proposed	601 South Main Street	Condominium Retail	452 25,000	DU GLSF	[1]	2,686	36	144	180	152	87	239
36	Proposed	2051 East 7th Street	Apartment Retail Restaurant	320 15,000 5,000	DU GLSF GSF	[3]	2,310	17	127	144	145	64	209
37	Under Construction	Herald Examiner 1111 South Broadway & 156 West 11th Street & 1201 South Main Street	Apartment Retail Office	391 49,000 39,725	DU GLSF GSF	[8]	5,198	144	176	320	258	274	532
38	Under Construction	South Park Site 1 1120 South Grand Avenue	Apartment Retail	666 20,690	DU GLSF	[1]	2,730	42	127	169	136	93	229
39	Under Construction	1247 South Grand Avenue	Apartment Retail	115 4,610	DU GLSF	[9]	763	10	41	51	42	25	67
40	Proposed	1400 South Flower Street	Apartment Retail	147 6,921	DU GLSF	[1]	798	(1)	49	48	51	16	67
41	Proposed	Variety Arts Mixed-Use 940 South Figueroa Street	Theater Restaurant Bar	1,942 10,056 5,119	Seats GSF GSF	[1]	2,237	5	4	9	99	35	134
42	Under Construction	La Plaza Cultura Village 527 North Spring Street	Apartment Retail Specialty Retail Restaurant	345 23,000 21,000 11,000	DU GLSF GLSF GSF	[1]	3,585	49	118	167	189	131	320
43	Proposed	1036 South Grand	Restaurant	7,149	GSF	[1]	492	2	3	5	27	14	41

Table 6-68
Related Projects List and Trip Generation [1]

Map No.	Project Status	Project Name/Number Address/Location	Land Use Data			Project Data Source	Daily Trip Ends [2] Volumes	AM Peak Hour Volumes [2]			PM Peak Hour Volumes [2]		
			Land-Use	Size				In	Out	Total	In	Out	Total
		Avenue											
44	Proposed	Coca Cola 963 East 4th Street	Office Retail Restaurant	78,600 25,000 20,000	GSF GLSF GSF	[1]	2,512	106	22	128	113	138	251
45	Proposed	1248 South Figueroa Street	Hotel Restaurant	1,162 13,145	Rooms GSF	[3]	5,720	192	125	317	203	212	415
46	Proposed	459 South Hartford Avenue	Apartment	101	DU	[1]	361	15	15	30	22	22	44
47	Proposed	Arts District Center 1129 East 5th Street	Retail Restaurant Hotel Apartment Art School/Convention Hall Art Gallery/Creative Office	23,000 28,400 149 228 15,700 39,860	GLSF GSF Rooms DU GSF GSF	[1]	4,674	130	140	270	157	69	226
48	Proposed	1800 East 7th Street	Apartment Restaurant Retail	122 4,605 3,245	DU GSF GLSF	[3]	1,536	42	74	116	74	46	120
49	Proposed	1150 West Wilshire Boulevard	Apartment Restaurant	80 4,589	DU GSF	[1]	511	(22)	26	4	39	(5)	34
50	Under Construction	737 South Spring Street	Apartment Pharmacy/Drug Store	320 25,000	DU GSF	[1]	3,942	72	141	213	167	116	283
51	Proposed	520 South Mateo Street CPC-2016-3853	Apartment Office Retail Restaurant	600 30,000 15,000 15,000	DU GSF GLSF GSF	[3]	4,995	157	220	377	274	223	497
52	Proposed	1218 West Ingraham Street	Apartment	80	DU	[1]	532	8	33	41	33	17	50
53	Proposed	Palmetto & Mateo 555 South Mateo Street	Retail	153,000	GLSF	[1]	4,300	5	30	35	220	205	425

Table 6-68
Related Projects List and Trip Generation [1]

Map No.	Project Status	Project Name/Number Address/Location	Land Use Data			Project Data Source	Daily Trip Ends [2] Volumes	AM Peak Hour Volumes [2]			PM Peak Hour Volumes [2]		
			Land-Use	Size				In	Out	Total	In	Out	Total
54	Under Construction	732 South Spring Street	Apartment Pharmacy/Drug Store	400 15,000	DU GSF	[1]	3,359	59	152	211	164	104	268
55	Proposed	340 South Hill Street	Apartment Restaurant	428 2,894	DU GSF	[3]	2,253	36	129	165	133	75	208
56	Proposed	1145 West 7th Street ENV-2015-2800-MND	Condominium Retail	241 7,291	DU GLSF	[1]	1,084	4	66	70	67	35	102
57	Proposed	540 South Santa Fe Avenue	Office	89,825	GSF	[1]	726	90	12	102	17	81	98
58	Proposed	360 South Alameda Street	Apartment Office Restaurant	55 6,300 2,500	DU GSF GSF	[1]	670	25	33	58	35	26	61
59	Proposed	118 South Astronaut Ellison S Onizuka Street	Apartment	77	DU	[1]	97	(1)	20	19	19	6	25
60	Proposed	222 West 2nd Street	Office Apartment Retail	534,044 107 7,200	GSF DU GLSF	[10]	4,006	467	93	560	118	423	541
61	Proposed	Soho House 1000 South Santa Fe Avenue	Restaurant/Bar Private Club	8,447 48	GSF Rooms	[3]	966	36	38	74	49	20	69
62	Proposed	700 West Cesar Chavez Avenue	Apartment Retail	299 8,000	DU GLSF	[1]	1,511	7	89	96	99	54	153
63	Proposed	Clinic at 7th & Wall 649 South Wall Street	Medical Office Assisted Living	66 55	Empl. Beds	[1]	104	24	5	29	3	24	27
64	Proposed	Metro Emergency Security Operations Center 410 North Center Street	Office	110,000	GSF	[1]	1,165	87	0	87	0	79	79
65	Proposed	500 South Mateo Street	Restaurant	12,882	GSF	[1]	1,052	48	41	89	50	31	81
66	Proposed	Medallion Phase 2 300 South Main Street	Apartment Retail/Restaurant	471 32,970	DU GLSF	[1]	4,691	143	243	386	257	153	410
67	Proposed	Alexan South Broadway	Apartment	300	DU	[1]	1,998	29	108	137	117	67	184

Table 6-68
Related Projects List and Trip Generation [1]

Map No.	Project Status	Project Name/Number Address/Location	Land Use Data			Project Data Source	Daily Trip Ends [2] Volumes	AM Peak Hour Volumes [2]			PM Peak Hour Volumes [2]		
			Land-Use	Size				In	Out	Total	In	Out	Total
		850 South Hill Street	Retail/Restaurant	7,000	GLSF								
68	Proposed	Olympic & Hill Mixed-Use 1030 South Hill Street	Apartment Retail Restaurant	700 7,000 8,000	DU GLSF GSF	[1]	3,392	49	193	242	181	104	285
69	Proposed	Alameda Hotel 400 South Alameda Street	Hotel Restaurant Retail	66 2,130 840	Rooms GSF GLSF	[1]	512	20	18	38	23	14	37
70	Proposed	Apex II 700 West 9th Street	Apartment Retail	341 11,687	DU GLSF	[3]	2,624	37	146	183	143	95	238
71	Proposed	649 South Olive Street	Hotel	241	Rooms	[1]	1,674	65	44	109	63	60	123
72	Proposed	Sapphire Mixed-Use 1111 West 6th Street	Apartment Retail	362 25,805	DU GLSF	[1]	587	(71)	117	46	104	(51)	53
73	Proposed	Grand Residences 1233 South Grand Avenue	Condominium Restaurant	161 3,000	DU GSF	[11]	1,116	23	62	85	62	33	95
74	Proposed	675 South Bixel Street	Hotel Apartment Retail	126 422 4,874	Rooms DU GLSF	[1]	3,461	74	173	247	184	116	300
75	Proposed	740 South Hartford Avenue	Apartment	80	DU	[1]	479	7	30	37	29	15	44
76	Proposed	Lifan Tower 1235 West 7th Street	Condominium Retail	304 5,960	DU GLSF	[1]	1,959	30	108	138	114	66	180
77	Proposed	940 South Hill Street	Apartment Retail	232 14,000	DU GLSF	[1]	1,881	20	80	100	115	53	168
78	Proposed	361 South Spring Street	Hotel Meeting Rooms	315 2,000	Rooms GSF	[1]	2,273	91	59	150	84	85	169
79	Proposed	1340 South Olive Street	Apartment Retail Restaurant	156 5,000 10,000	DU GLSF GSF	[1]	1,700	51	82	133	89	57	146
80	Proposed	1334 South Flower Street	Apartment Retail/Restaurant	146 6,270	DU GLSF	[1]	796	(1)	49	48	51	16	67

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Related Projects List and Trip Generation [1]

Map No.	Project Status	Project Name/Number Address/Location	Land Use Data			Project Data Source	Daily Trip Ends [2] Volumes	AM Peak Hour Volumes [2]			PM Peak Hour Volumes [2]		
			Land-Use	Size				In	Out	Total	In	Out	Total
81	Proposed	929 East 2nd Street	Retail Other	37,974 71,078	GLSF GSF	[3]	2,153	68	12	80	105	96	201
82	Proposed	633 South Spring Street	Hotel Restaurant Bar	176 8,430 5,290	Rooms GSF GSF	[1]	2,045	83	33	116	97	99	196
83	Proposed	Luxe Hotel 1020 South Figueroa Street	Hotel Condominium Retail	300 435 58,959	Rooms DU GLSF	[1]	6,583	204	274	478	312	27	339
84	Under Construction	1200 South Figueroa Street	Residential Restaurant Retail	648 20,000 28,000	DU GSF GLSF	[12]	5,717	79	158	237	170	113	283
85	Proposed	701 South Hill Street	Apartment Retail	124 8,500	DU GLSF	[13] [14]	825 363	13 5	50 3	63 8	50 15	27 17	77 32
86	Proposed	525 South Spring Street	Apartment Retail	360 9,400	DU GLSF	[13] [14]	2,394 401	37 6	147 3	184 9	145 17	78 18	223 35
87	Proposed	Case Hotel 1106 South Broadway	Hotel	151	Rooms	[15]	1,234	47	33	80	46	45	91
88	Proposed	Freehand Hotel 416 West 8th Street	Hotel	200	Rooms	[15]	1,634	63	43	106	61	59	120
89	Proposed	656 South Stanford Avenue	Apartment	82	DU	[1]	1,463	8	34	42	33	18	51
90	Proposed	Olympic Tower 815 West Olympic Boulevard	Hotel Retail Condominiums Office Conference Center	373 65,074 374 33,498 10,801	Rooms GLSF DU GSF GSF	[16]	4,423	166	170	336	189	185	374
91	Proposed	LA Gateway Project 1025 Olympic Boulevard ENV-2016-4889-EIR	Apartment Restaurant Retail	1,367 20,000 20,000	DU GSF GLSF	[3]	5,216	86	297	383	283	115	398
92	Under Construction	Oceanwide Plaza 1101 South Flower Street	Condominiums Hotel	504 183	DU Rooms	[17] [18] [15] [18]	2,928 1,495	38 57	184 40	222 97	176 56	86 54	262 110

Table 6-68
Related Projects List and Trip Generation [1]

Map No.	Project Status	Project Name/Number Address/Location	Land Use Data			Project Data Source	Daily Trip Ends [2] Volumes	AM Peak Hour Volumes [2]			PM Peak Hour Volumes [2]		
			Land-Use	Size				In	Out	Total	In	Out	Total
			Retail Restaurant	120,583 46,000	GLSF GSF	[14] [18] [19] [18]	5,149 5,849	72 273	44 224	116 497	215 272	232 181	447 453
93	Proposed	Los Angeles Sports and Entertainment District Figueroa Street & 11th Street DIR-2005-7453-SPP-M3	Office Convention Center	601,800	GSF	[4] [18] [20]	5,136	708	96	804	129	631	760
				250,000	GSF	[4] [18]	2,050	Nom.	Nom.	Nom.	51	154	205
94	Proposed	708 North Hill Street	Apartment Retail	162 5,000	DU GLSF	[1]	980	16	57	73	57	33	90
95	Proposed	130 South Beaudry Avenue	Apartment	230	DU	[1]	1,159	8	76	84	76	29	105
96	Proposed	Urban View Lots 495 South Hartford Avenue	Apartment	218	DU	[1]	1,033	16	63	79	62	34	96
97	Proposed	8th & Figueroa Mixed-Use 744 South Figueroa Street	Apartment	438	DU	[1]	2,972	38	148	186	176	94	270
			Retail	7,500	GLSF								
98	Proposed	433 South Main Street	Condominium Mixed-Use	196 6,200	DU GSF	[1]	1,450	32	72	104	61	37	98
99	Proposed	Downtown LA Hotel 926 West James M. Woods Boulevard	Hotel	247	Rooms	[1]	1,562	59	42	101	59	56	115
100	Proposed	JMF Tower 333 West 5th Street	Condominiums Hotel Retail	100 200 27,500	DU Rooms GLSF	[1]	3,358	64	72	136	201	129	330
101	Proposed	Times Mirror Square 202 West 1st Street	Apartments Office Supermarket Restaurant	1,127 285,088 50,000 75,589	DU GSF GSF GSF	[21]	8,535	94	341	435	294	38	332
102	Under Construction	888 South Hope Street	Apartments	526	DU	[13]	3,498	54	214	268	212	114	326
103	Proposed	2117 East Violet Street CPC-2017-437-GPA	Apartments Retail	509	DU	[13]	3,385	52	208	260	205	111	316
				288,230	GLSF	[14]	12,307	172	105	277	513	556	1,069

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Related Projects List and Trip Generation [1]

Map No.	Project Status	Project Name/Number Address/Location	Land Use Data			Project Data Source	Daily Trip Ends [2] Volumes	AM Peak Hour Volumes [2]			PM Peak Hour Volumes [2]		
			Land-Use	Size				In	Out	Total	In	Out	Total
104	Proposed	Ferrante 1000 West Temple Street	Apartments Retail	1,500 30,000	DU GLSF	[13] [14]	9,975 1,281	153 18	612 11	765 29	605 53	325 58	930 111
105	Proposed	6AM Project	Apartments	1,305	DU	[1]	14,258	437	585	1,022	710	642	1,352
		640 South Alameda Street, 1206 East 6th Street ENV-2016-3758-EIR	Condominiums Hotel Office Retail School Art Space	431 412 253,514 127,609 29,316 22,429	DU Rooms GSF GLSF GSF GSF								
106	Proposed	1300 South Figueroa Street CPC-2017-746-GPA	Hotel	1,024	Rooms	[15]	9,134	398	288	686	351	366	717
107	Proposed	Budokan of Los Angeles 237-249 South Los Angeles Street	Sports Center	63,000	GSF	[1]	1,869	79	50	129	161	98	259
108	Proposed	King's Arch 537 South Broadway	Office	45,000	GSF	[23]	496	62	8	70	11	56	67
109	Proposed	Title Insurance Building 433 South Spring Street	Office	320,000	GSF	[23]	3,178	427	58	485	74	363	437
110	Proposed	Subway Terminal Retail 417 South Hill Street	Retail/Office	130,000	GLSF	[14]	5,551	78	47	125	231	251	482
111	Proposed	401 South Hewitt Street COC-2017-469-GPA	Office Retail Restaurant	255,500 4,970 9,940	GSF GLSF GSF	[1]	3,493	365	76	441	100	324	424
112	Proposed	333 South Alameda Street CPC-2017-552-GPA	Apartments Retail	994 99,300	DU GLSF	[3]	8,445	134	260	394	390	329	719
113	Proposed	1000 South Hill Street ENV-2016-4711-EAF	Apartments Retail	498 8,707	DU GLSF	[13] [14]	3,312 372	51 5	203 3	254 8	201 15	108 17	309 32
114	Proposed	1018 West Ingraham Street ENV-2017-979-EAF	Apartments Retail	37 1,890	DU GLSF	[1]	327	5	16	21	18	12	30
115	Proposed	1100 East 5th Street	Apartment	220	DU	[3]	2,583	79	119	198	133	74	207

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Map No.	Project Status	Project Name/Number Address/Location	Land Use Data			Project Data Source	Daily Trip Ends [2] Volumes	AM Peak Hour Volumes [2]			PM Peak Hour Volumes [2]		
			Land-Use	Size				In	Out	Total	In	Out	Total
		ENV-2016-3727-EIR, VTT-74549	Office	20,021	GSF								
			Restaurant	19,609	GSF								
			Retail	9,250	GLSF								
116	Proposed	1100 South Main Street ENV-2016-3825-EAF	Apartments	379	DU	[3]	385	9	103	112	78	14	92
			Retail	25,810	GLSF								
117	Proposed	220 North Center Street 2017-CEN-46412	Apartment	430	DU	[3]	2,166	33	119	152	121	79	200
			Retail	8,742	GLSF								
118	Proposed	1219 South Hope Street ENV-2017-1701-EAF	Hotel	75	Rooms	[1]	613	24	16	40	23	22	45
			Restaurant	7,700	GSF								
119	Proposed	1307 West 7th Street DIR-2015-3777-SPP-DB-1A	Apartments	76	DU	[13]	505	8	31	39	31	16	47
			Retail	6,035	GLSF	[14]	258	4	2	6	11	11	22
120	Proposed	1322 West Maryland Street DIR-2016-3116-DB-SPP	Apartments	47	DU	[13]	313	5	19	24	19	10	29
			Retail	760	GLSF	[14]	32	1	0	1	1	2	3
121	Proposed	1323 South Grand Avenue	Apartments	284	DU	[1]	2,158	33	118	151	125	74	199
			Retail/Restaurant	6,300	GLSF								
122	Proposed	601 South Central Avenue	Apartments	236	DU	[1]	1,074	17	79	96	70	32	102
		930 East 6th Street	Retail	12,000	GLSF								
123	Proposed	640 South Santa Fe Avenue	Office	91,185	GSF	[1]	1,330	90	8	98	43	114	157
			Retail/Restaurant	15,980	GLSF								
124	Proposed	641 South Imperial Street	Apartments	140	DU	[3] [13]	931	14	57	71	57	30	87
		ENV-2017-740-EAF	Office	14,749	GLSF	[3] [23]	163	20	3	23	4	18	22
125	Proposed	643 North Spring Street	Apartments	281	DU	[1]	2,723	61	122	183	138	91	229
			Hotel	142	Rooms								
			Retail	17,003	GLSF								
			Restaurant	2,532	GSF								
126	Proposed	668 South Alameda Street	Apartment	475	DU	[3]	4,002	107	182	289	216	145	361

Table 6-68
Related Projects List and Trip Generation [1]

Map No.	Project Status	Project Name/Number Address/Location	Land Use Data			Project Data Source	Daily Trip Ends [2] Volumes	AM Peak Hour Volumes [2]			PM Peak Hour Volumes [2]		
			Land-Use	Size				In	Out	Total	In	Out	Total
		VTT-74537	Office	43,000	GSF								
			Retail	9,000	GLSF								
			Supermarket	15,000	GSF								
			Restaurant	17,000	GSF								
127	Proposed	676 South Mateo Street VTT-74550	Apartment	185	DU	[1]	1,990	50	95	145	106	51	157
			Mixed-Use	27,280	GLSF								
128	Proposed	755 South Los Angeles Street ENV-2016-4963-EAF	Office	60,243	GSF	[3]	2,482	110	57	167	105	100	205
			Retail	16,694	GLSF								
			Restaurant	26,959	GSF								
129	Proposed	940 East 4th Street ENV-2017-611-EAF	Apartment	93	DU	[3]	788	14	37	51	44	31	75
			Retail	14,248	GLSF								
			Office	6,000	GSF								
130	Proposed	1410 South Flower Street ENV-2016-2477-MND	Apartments	152	DU	[13]	1,011	16	62	78	61	33	94
			Retail	1,184	GLSF	[14]	51	1	0	1	2	2	4
131	Proposed	845 South Olive Street ENV-2016-4864-MND	Apartment	208	DU	[3]	1,305	25	76	101	77	42	119
			Retail	810	GLSF								
			Restaurant	1,620	GSF								
132	Proposed	330 South Alameda Street ENV-2016-3335-EIR	Apartment	186	DU	[3]	1,662	36	76	112	91	65	156
			Office	10,415	GSF								
			Retail	11,925	GLSF								
133	Proposed	527 South Colyton Street ENV-2016-3400-EIR	Apartments	310	DU	[1]	2,095	36	116	152	121	74	195
			Retail	11,375	GLSF								
			Office	11,736	GSF								
134	Proposed	Fashion District Residences 212-230 East 7th Street, 701-739 South Maple Avenue ENV-2016-3685-MND	Apartments	452	DU	[1]	3,199	67	179	246	185	105	290
			Retail	6,802	GLSF								
			Restaurant	6,802	GSF								
135	Proposed	755 South Wall Street ENV-2016-3991-EIR	Apartment	323	DU	[3]	2,499	122	79	201	164	141	305
			Retail	4,400	GLSF								
			Event Space	125	Persons								

Table 6-68
Related Projects List and Trip Generation [1]

Map No.	Project Status	Project Name/Number Address/Location	Land Use Data			Project Data Source	Daily Trip Ends [2] Volumes	AM Peak Hour Volumes [2]			PM Peak Hour Volumes [2]		
			Land-Use	Size				In	Out	Total	In	Out	Total
			Office Restaurant	53,200 4,420	GSF GSF								
136	Proposed	1101 East 5th Street, 445-457 South Colyton Street ENV-2016-4476-EIR	Live/Work Retail Restaurant Hotel Art Uses	129 26,979 31,719 113 13,771	DU GLSF GSF Rooms GSF	[3]	4,674	130	140	270	157	69	226
137	Proposed	1045 South Olive Street ENV-2017-3264-EIR	Apartments Retail	794 12,504	DU GLSF	[1]	2,227	39	157	196	138	62	200
138	Proposed	Figueroa Centre 913 South Figueroa Street ENV-2017-174-EIR	Hotel Condominiums Retail	220 200 94,080	Rooms DU GLSF	[3]	7,145	143	162	305	315	290	605
139	Proposed	8th, Grand & Hope Tower 754 South Hope Street	Apartments Retail	401 19,909	DU GLSF	[1]	2,315	35	137	172	137	78	215
140	Proposed	1340 South Hill Street ENV-2017-1213-EAF	Apartments	233	DU	[3]	1,755	11	103	114	108	30	138
141	Proposed	670 South Mesquite Street ENV-2017-249-EIR	Apartments Hotel Office Retail Restaurant Event Space Gym Grocery	308 236 944,055 79,240 89,576 93,617 62,148 56,912	DU Rooms GSF GLSF GSF GSF GSF GSF	[1]	22,845	1,258	321	1,579	640	1,195	1,835
142	Under Construction	Alameda Square 777 South Alameda Street	Restaurant Retail	117,400 66,200	GSF GLSF	[1]	916	(134)	(172)	(306)	(157)	35	(122)
143	Proposed	1600 South Figueroa Street	Apartments	336	DU	[13]	2,234	34	137	171	135	73	208

Table 6-68
Related Projects List and Trip Generation [1]

Map No.	Project Status	Project Name/Number Address/Location	Land Use Data			Project Data Source	Daily Trip Ends [2] Volumes	AM Peak Hour Volumes [2]			PM Peak Hour Volumes [2]		
			Land-Use	Size				In	Out	Total	In	Out	Total
		CPC-2017-400-GPA	Hotel	250	Rooms	[15]	2,230	97	71	168	86	89	175
144	Proposed	2159 East Bay Street CPC-2017-624-VZC	Office Retail	203,670 18,330	GSF GLSF	[1]	2,029	194	30	224	57	192	249
145	Proposed	2110 Bay Street 2016-CEN-44566	Apartment Affordable Housing Office Retail	99 11 113,350 43,657	DU DU GSF GLSF	[3]	2,394	180	63	243	89	192	281
146	Proposed	215 West 14th Street	Apartment Retail	154 10,700	DU GLSF	[3]	1,481	22	67	89	81	54	135
147	Proposed	1745 East 7th Street	Apartment Retail	57 6,000	DU GLSF	[3]	635	10	25	35	34	23	57
148	Under Construction	354 South Spring Street	Apartment Restaurant	212 15,280	DU GSF	[13]	1,410	22	86	108	85	46	131
149	Proposed	Alameda District Plan	Residential Office Retail Hotel Restaurant	22 7,443,200 645,000 750 20,000	DU GSF GLSF Rooms GSF	[3]	25,312	862	527	1,389	734	1,042	1,776
150	Proposed	775 South Figueroa Street 945 West 8th Street	Apartment Retail	781 6,700	DU GLSF	[1]	2,869	63	146	209	144	91	235
151	Proposed	655 South San Pedro 513 East 7th Street DIR-2017-2333-SPR	Apartment	81	DU	[3]	539	8	33	41	33	17	50
152	Proposed	900 North Alameda Street 2017-CEN-46271	Data Center	179,900	GSF	[3]	178	8	8	16	3	13	16
153	Proposed	1005 South Mateo Street 2007-CEN-4582	Industrial Park	94,849	GSF	[3]	426	40	9	49	10	39	49
154	Proposed	1000-1024 South Mateo Street	Apartment Office Restaurant Retail	104 101,983 16,279 5,830	DU GSF GSF GLSF	[3]	2,238	153	83	236	90	131	221

Table 6-68
Related Projects List and Trip Generation [1]

Map No.	Project Status	Project Name/Number Address/Location	Land Use Data			Project Data Source	Daily Trip Ends [2] Volumes	AM Peak Hour Volumes [2]			PM Peak Hour Volumes [2]		
			Land-Use	Size				In	Out	Total	In	Out	Total
			Arts & Production	5,519	GSF								
155	Proposed	LA County Consolidated Correctional Facility 441 East Bauchet Street	Jail	3,885	Beds	[1]	242	0	9	9	0	9	9
156	Proposed	2143 East Violet Street	Apartment Office Retail	320 224,292 46,670	DU GSF GLSF	[1]	4,477	329	122	451	130	330	460
157	Proposed	806 East 3rd Street	Restaurant	18,327	GSF	[1]	253	1	(1)	0	13	7	20
158	Proposed	Olympia Mixed-Use 1001 West Olympic Boulevard	Apartment Restaurant Retail Hotel	879 20,000 20,000 1,000	DU GSF GLSF Rooms	[1]	10,418	320	388	708	455	309	764
159	Proposed	609 East 5th Street	Apartment	151	DU	[1]	1,004	15	62	77	61	33	94
160	Proposed	810 East 3rd Street	Apartment Restaurant Retail	4 3,541 6,171	DU GSF GLSF	[1]	1,487	37	32	69	87	48	135
161	Proposed	508 East 4th Street	Apartment	41	DU	[1]	167	8	12	20	8	6	14

[1] Source: City of Los Angeles Department of Transportation (LADOT) and Department of City Planning (LADCP), except as noted below. The peak hour traffic volumes were forecast based on trip data provided by LADOT and by applying trip rates as provided in the ITE "Trip Generation Manual," 9th Edition, 2012.

[2] Trips are one-way traffic movements, entering or leaving.

[3] Project description and trip generation forecasts obtained from third party research.

[4] Description listed constitutes the remaining allowable development under this project.

[5] Source: "Metropolis Master Plan Project – Traffic Analysis Update Phase 2" from Tomas Carranza, Senior Transportation Engineer, to Blake Lamb, City Planner, May 9, 2014.

[6] Source: "Traffic Assessment for the Proposed Development Project Located at 1057 South San Pedro Street," from Tomas Carranza, Senior Transportation Engineer, to Karen Hoo, City Planner, November 6, 2013.

[7] Daily trip volumes are not provided. PM peak hour volume was estimated to represent 10% of the daily totals.

[8] Source: "Updated Traffic Assessment for the South Park Residential Sites and Herald Examiner Building Renovation Project", from Tomas Carranza, Senior Transportation Engineer, to Karen Hoo, City Planner, January 24, 2014.

[9] Source: "Grand Avenue/Pico Boulevard Project Traffic Impact Analysis", prepared by Kunzman Associates, Inc., January 27, 2014.

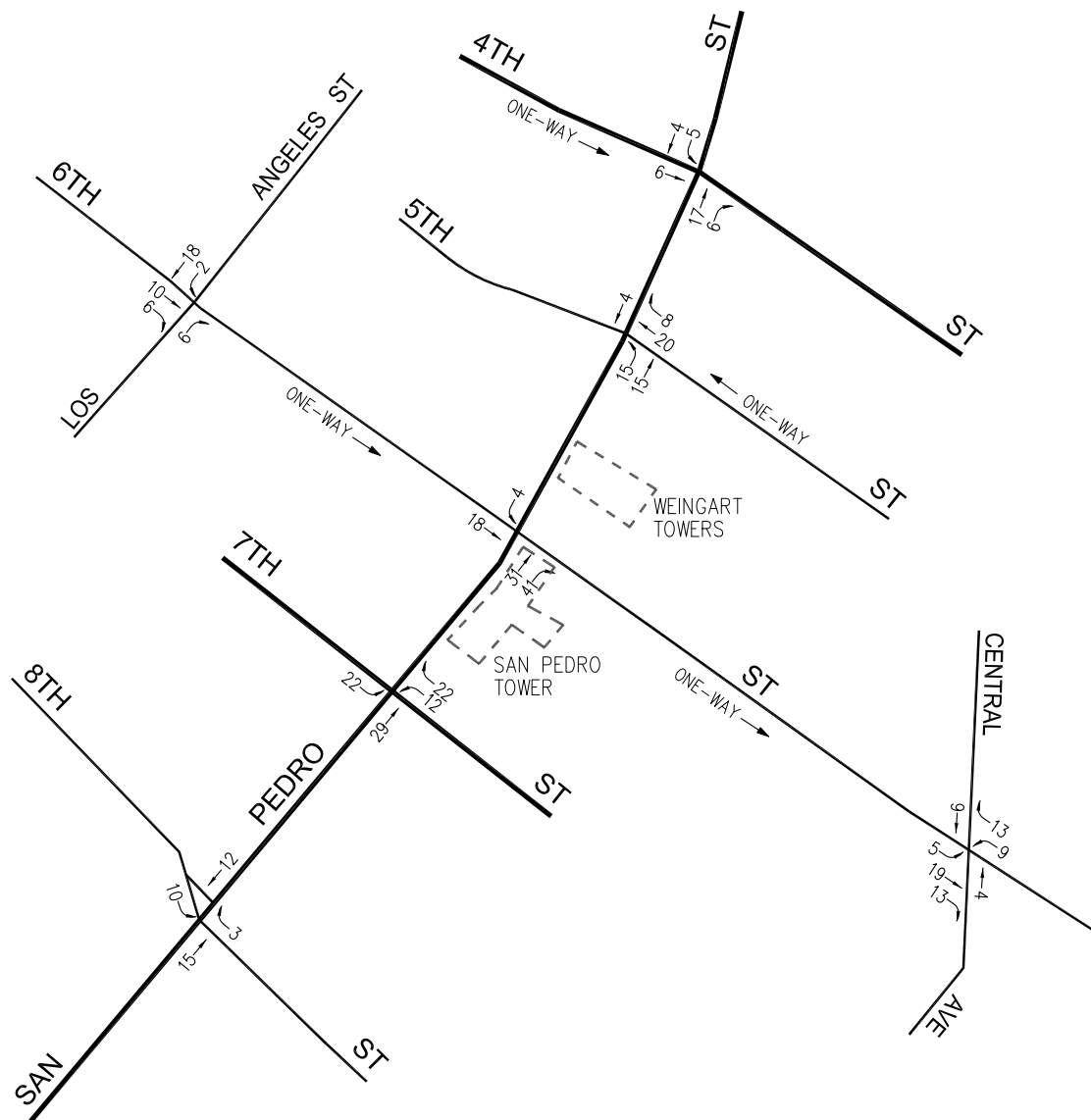
[10] Source: "222 West 2nd Project Traffic Study MOU," prepared by LLG Engineers, Dated January 18, 2016.

[11] Source: "Grand Residences Draft Traffic Impact Study", prepared by LLG Engineers, February 4, 2016.

[12] Sources: "Los Angeles Sports and Entertainment District Specific Plan Determination and Findings", Michael J. LoGrande, Director of Planning, November 12, 2014; "L.A. Entertainment District EIR Traffic Study", prepared by The Mobility Group with Kaku Associates, January 2001. Daily and AM Peak Hour trips were forecast using the following ITE trip generation average rates; Land Use Code 222 (High-Rise Apartment), Land Use Code 931 (Quality Restaurant), and Land Use Code 820 (Shopping Center).

Table 6-68
Related Projects List and Trip Generation [1]

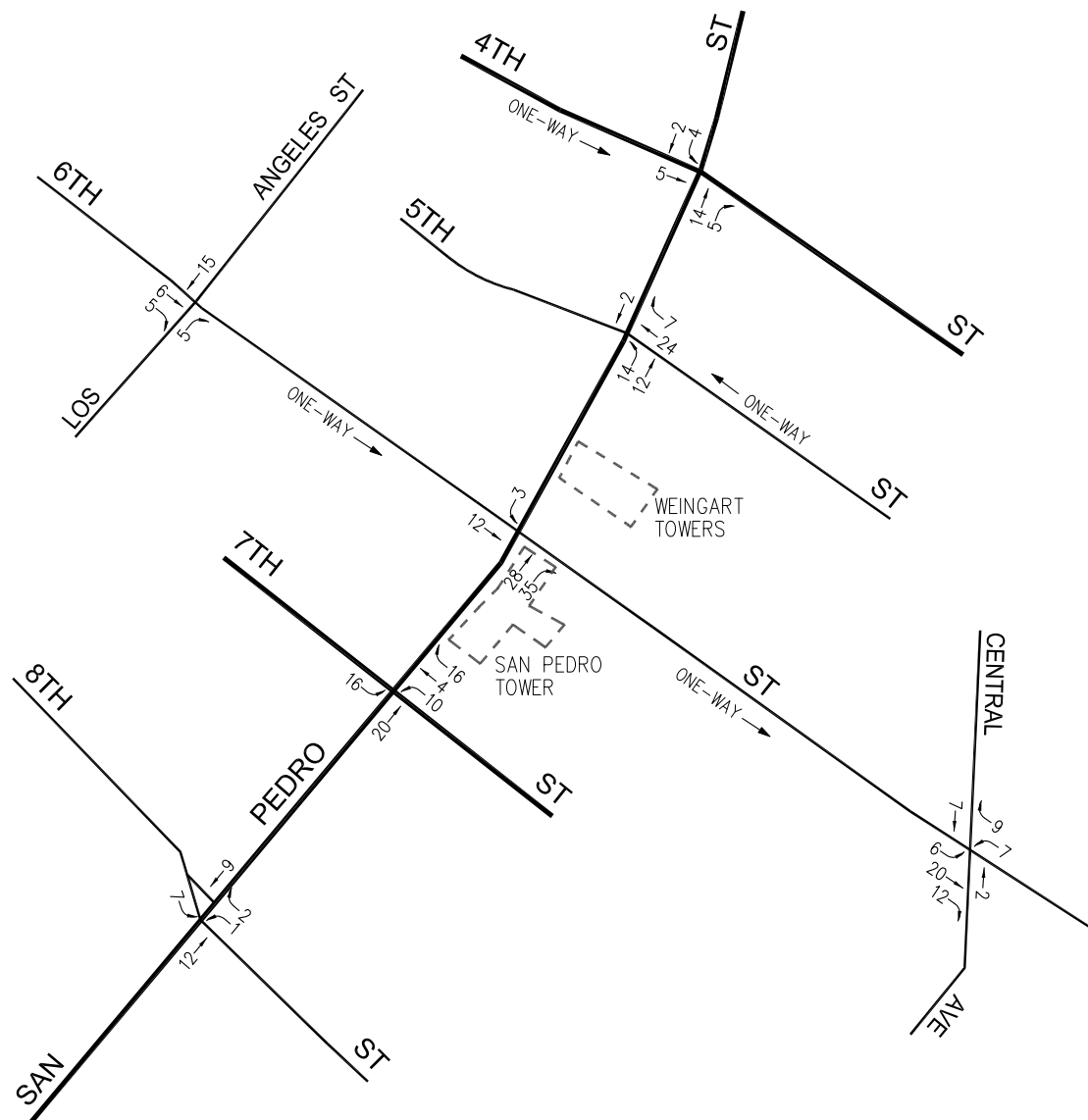
Map No.	Project Status	Project Name/Number Address/Location	Land Use Data		Project Data Source	Daily Trip Ends [2] Volumes	AM Peak Hour Volumes [2]			PM Peak Hour Volumes [2]		
			Land-Use	Size			In	Out	Total	In	Out	Total
<p>[13] ITE Land Use Code 220 (Apartment) trip generation average rates.</p> <p>[14] ITE Land Use Code 820 (Shopping Center) trip generation average rates.</p> <p>[15] ITE Land Use Code 310 (Hotel) trip generation average rates.</p> <p>[16] Source: "Olympic Tower Project Traffic Impact Study", prepared by LLG Engineers, October 27, 2016.</p> <p>[17] ITE Land use Code 232 (High-Rise Condo/Townhouse) trip generation rates.</p> <p>[18] Source: "Los Angeles Sports and Entertainment District Specific Plan", DIR-2005-7453-SPP-M3, January 2015.</p> <p>[19] ITE Land Use Code 932 (High-turnover [Sit-Down] Restaurant) trip generation average rates.</p> <p>[20] ITE Land Use Code 710 (General Office Building) trip generation equation rates.</p> <p>[21] Source: "Times Mirror Square", LADOT Transportation Impact Study Memorandum of Understanding, dated March 30, 2017.</p> <p>[22] ITE Land Use Code 495 (Recreational Community Center) trip generation average rates.</p> <p>[23] ITE Land Use Code 710 (General Office Building) trip generation average rates.</p> <p>Source: Linscott, Law & Greenspan Engineers, 2018. Refer to Appendix M.</p>												



[] PROJECT SITES



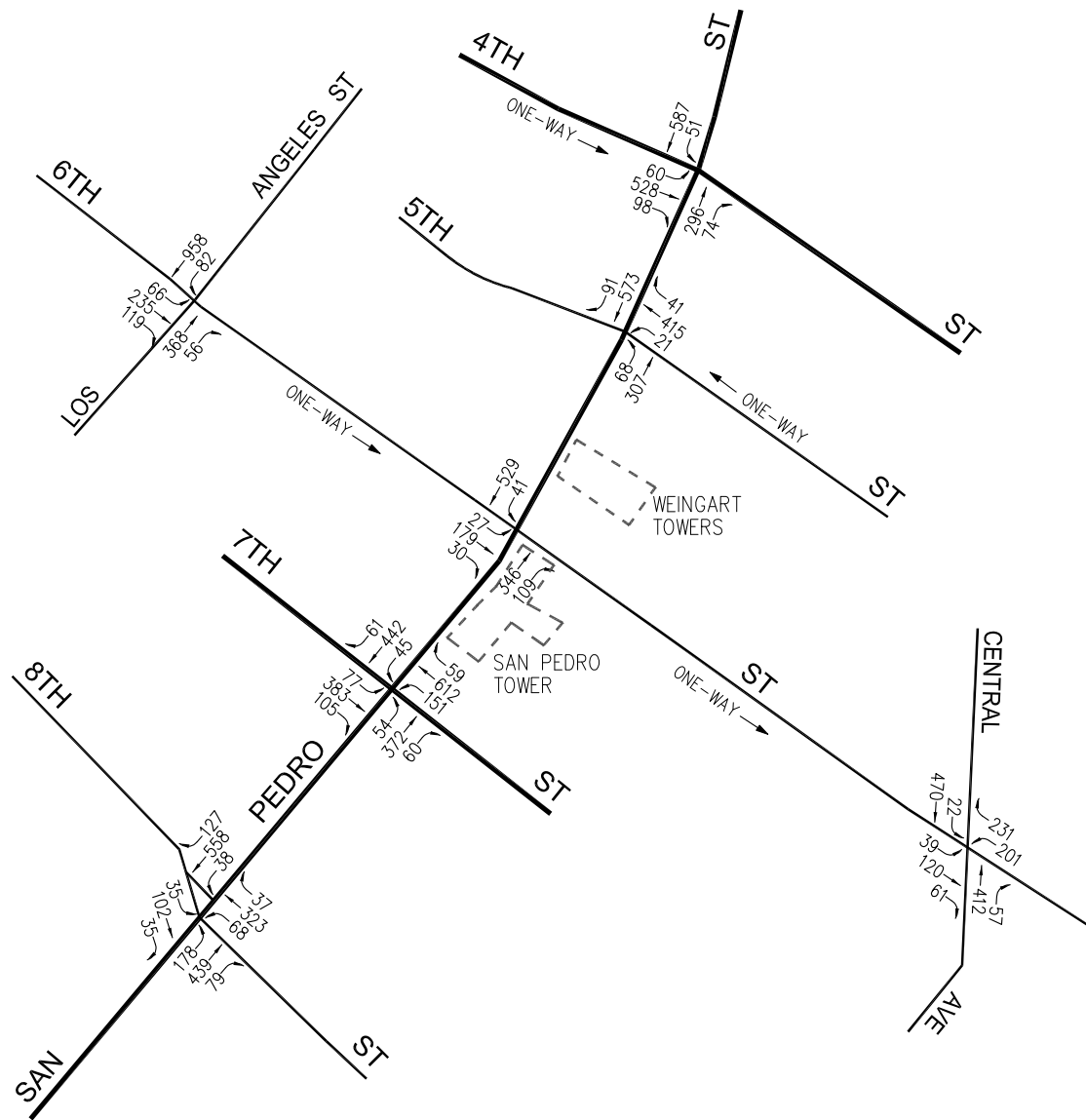
Figure 6-11
Project Traffic Volumes
Weekday AM Peak Hour



[- - -] PROJECT SITES



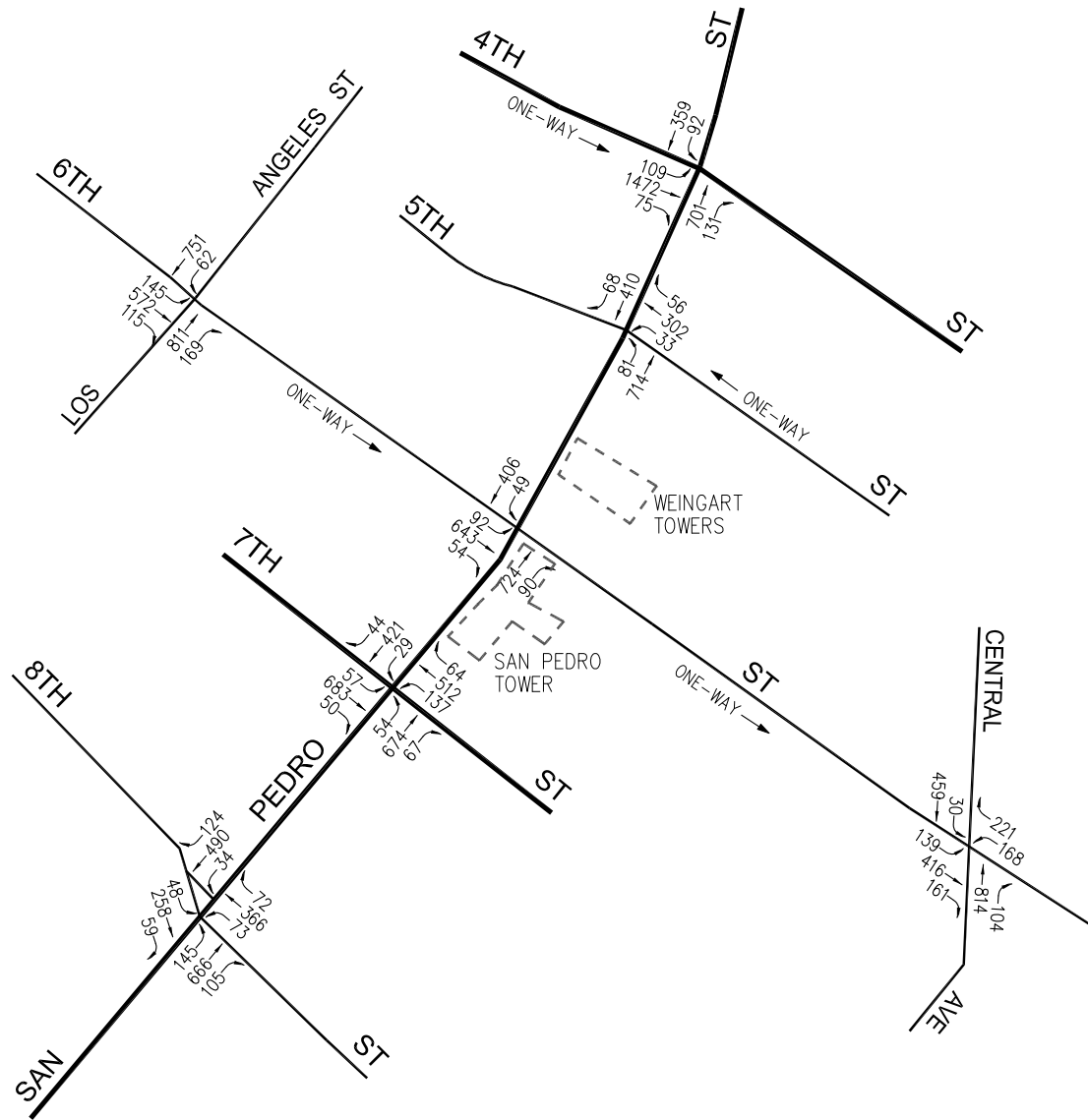
Figure 6-12
Project Traffic Volumes
Weekday PM Peak Hour



[- - -] PROJECT SITES



Figure 6-13
Existing With Project Traffic Volumes
Weekday AM Peak Hour



[- - -] PROJECT SITES



Figure Î -14
Existing With Project Traffic Volumes
Weekday PM Peak Hour

Traffic volumes expected to be generated by the related projects were calculated using rates provided in the ITE Trip Generation Manual or were obtained from other traffic studies recently approved by the City. The related projects' respective traffic generation for the weekday AM and PM peak hours, as well as on a daily basis for a typical weekday, is summarized on Table 6-68. The related projects traffic volumes were distributed and assigned to the street system based on the location of the related projects in relation to the study intersections, their proximity to major traffic corridors, proposed land uses, nearby population and employment centers, etc. The distribution of the related projects traffic volumes to the study intersections during the weekday AM and PM peak hours are displayed on Figures 6-15 and 6-16, respectively.

Downtown Transit/Infrastructure Projects

Several transit and/or infrastructure projects are proposed or under construction within the greater Downtown Los Angeles area. While the projects discussed below and others like them could be expected to result in greater trip reductions than what occur today, no trip reductions have been assumed in this traffic analysis for existing uses so as to provide a conservative review of potential traffic impacts. Some of the relevant projects are as follows:

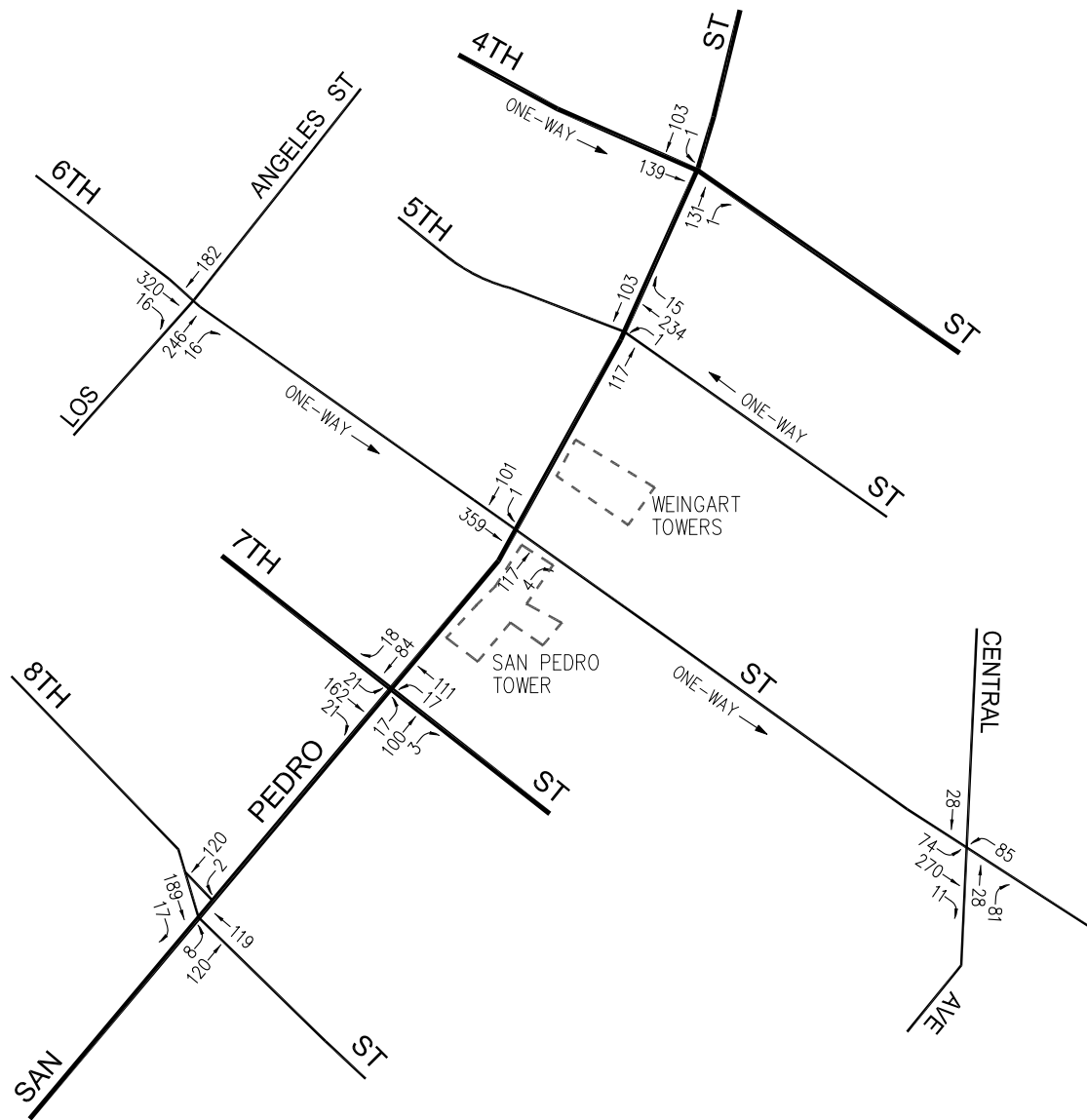
Regional Connector Transit Project

As summarized on the Metro website, the Regional Connector project will extend from Metro's Little Tokyo/Arts District Station to the 7th Street/Metro Center in Downtown Los Angeles. This will allow transit passengers to access the Gold, Blue, Expo, Red, and Purple lines. The addition will extend 1.9 miles and will serve Little Tokyo, the Arts District, Civic Center, the Historic Core, Broadway, Grand Avenue, Bunker Hill, and Flower Street, as well as the Financial District.

This new extension will provide a one-seat ride for travel across Los Angeles County by allowing passengers to travel between Azusa and Long Beach and between East Los Angeles and Santa Monica without having to transfer lines. The forecast opening year of the Regional Connector Transit project is currently 2021.

Downtown Los Angeles Historic Streetcar Project

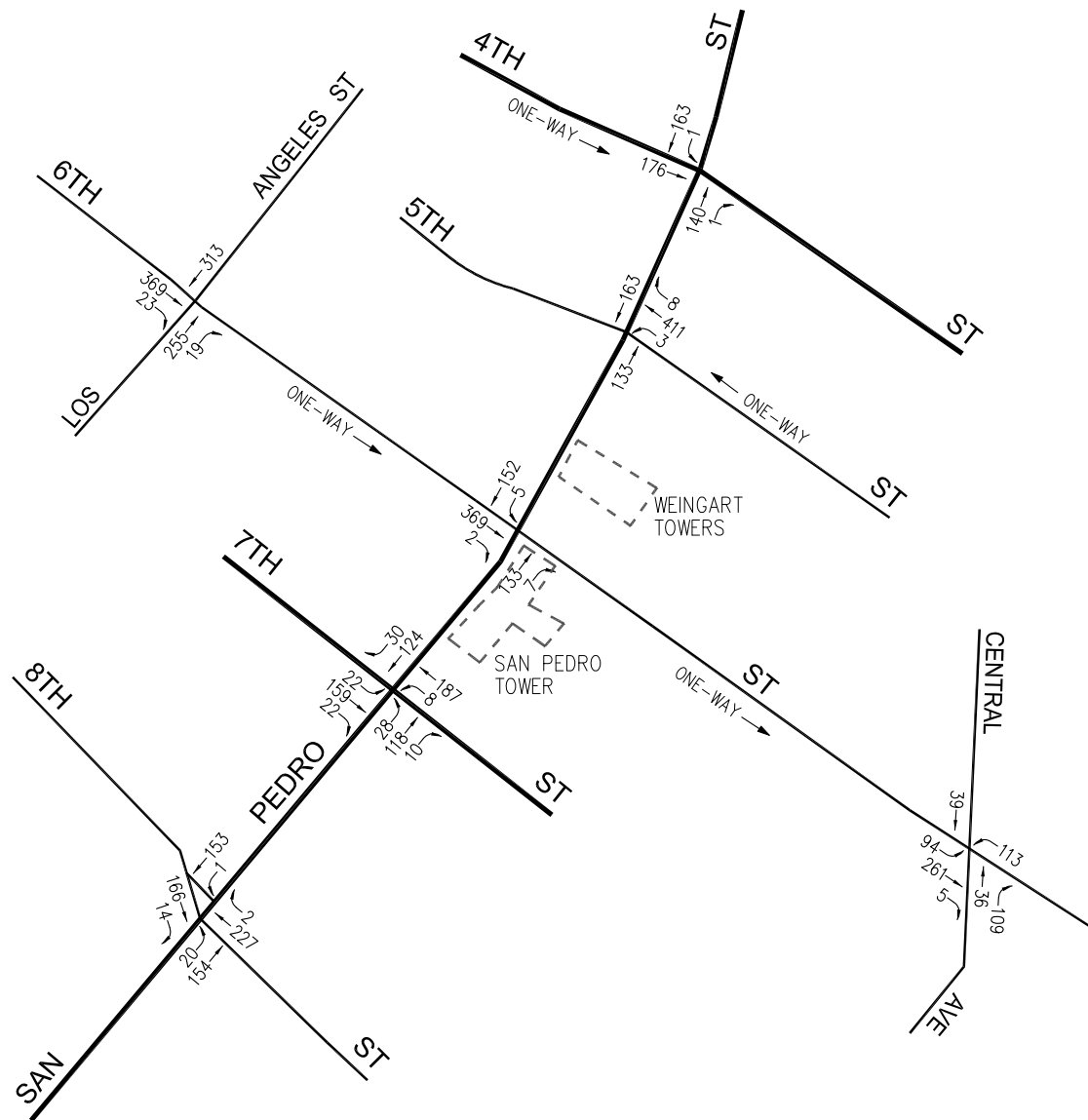
The restoration of the Historic Streetcar Service in Downtown Los Angeles is expected to revive a service that previously spanned over 600 miles of the Los Angeles area during the first half of the 1900's. The approved alignments closely follow the early alignments that traversed the historic Downtown core. The service would increase mobility and improve connectivity by linking residential and employment hubs, shopping districts, civic resources, cultural institutions, landmarks and entertainment venues for those who live, work, and visit Downtown. The Historic Streetcar project is also intended to connect patrons to a regional network of transit options including local and regional bus lines, and Metro Rail lines including the Regional Connector Transit project. Based on information contained in the Historic Streetcar project's Environmental Impact Report (SCH No. 2013011001), which has been certified by the Los Angeles City Council, assuming that the necessary funding is obtained, this project may be completed by 2020.



[- - -] PROJECT SITES



Figure Î -15
Related Projects Traffic Volumes
Weekday AM Peak Hour



[] PROJECT SITES



Figure 6-16
Related Projects Traffic Volumes
Weekday PM Peak Hour

Ambient Traffic Growth Factor

Horizon year background traffic growth estimates have been calculated using an ambient traffic growth factor. In addition to accounting for traffic generated by related projects, an ambient traffic growth factor is intended to include unknown related projects in the study area as well as account for typical growth in traffic volumes due to the development of projects outside the study area. Ambient traffic growth in the Downtown Los Angeles area (i.e., included in Regional Statistical Area 23 [RSA 23] that includes Downtown LA), which is presented in the *2010 Congestion Management Program*, indicates existing traffic volumes are expected to increase at an annual rate of approximately 0.20 percent per year between years 2010 and 2025. An annual growth rate of 1.0 percent until the year 2025 (i.e., the anticipated Project build-out year) was selected for this analysis in consultation with LADOT during the scoping process. Thus, application of this 1.0 percent ambient growth factor in addition to the forecast traffic generated by the related projects allows for a conservative forecast of future traffic volumes in the Project study area as incorporation of both (i.e., an ambient traffic growth rate and a detailed list of related projects) overstates potential future traffic volumes. The related projects should already be incorporated as part of the growth rate projection per the adopted, local and regional planning documents (i.e., which account for the future population, housing, and employment [socio-economic data] projections).

Future (2025) Without Project

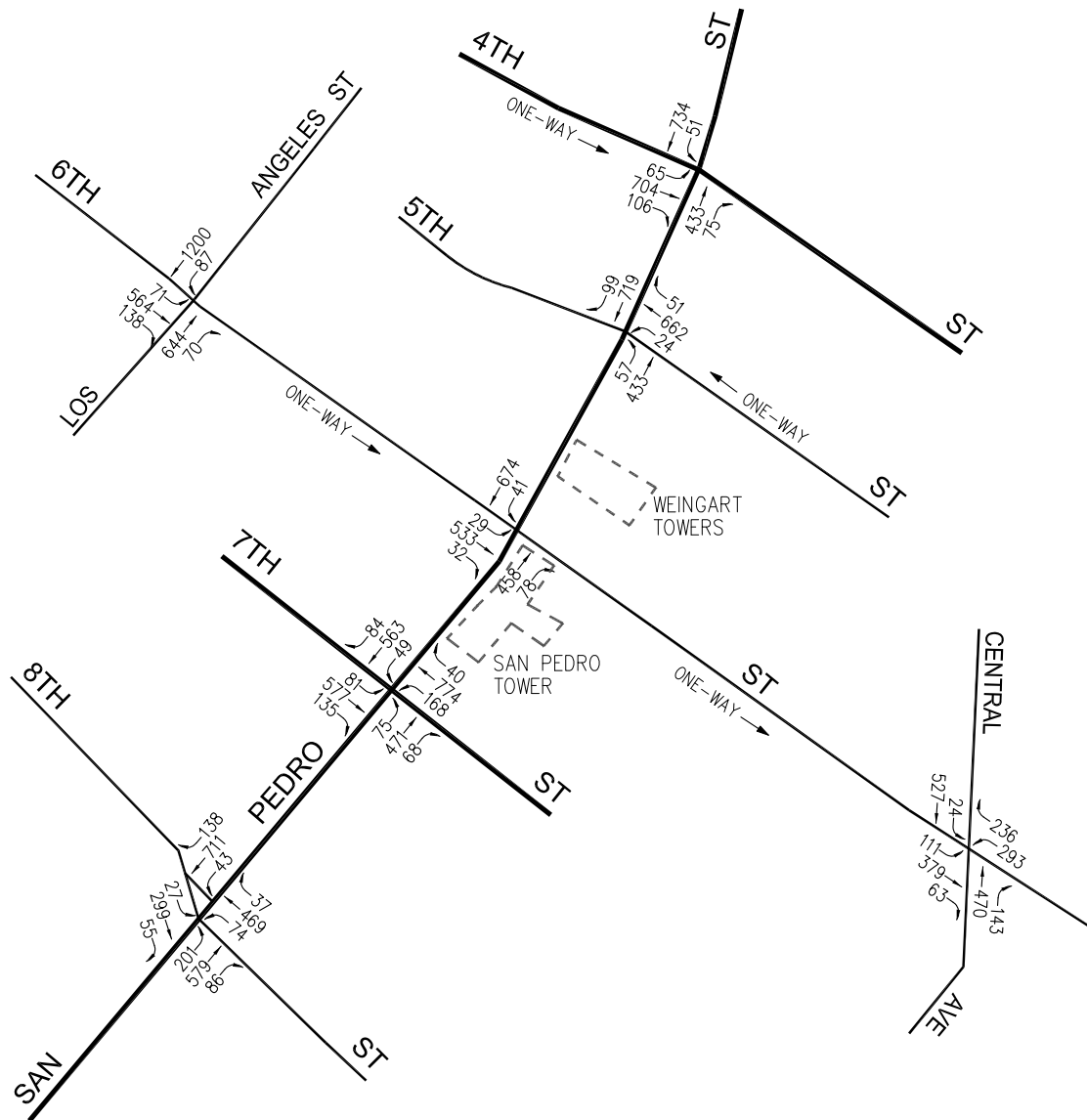
The future without Project (existing, ambient growth, and related projects) traffic volumes at the study intersections during the weekday AM and PM peak hours are presented on Figures 6-17 and 6-18, respectively. The future cumulative baseline conditions were forecast based on the addition of traffic generated by the completion and occupancy of the related projects, as well as the growth in traffic due to the combined effects of continuing development, intensification of existing developments and other factors (i.e., ambient growth). The v/c ratios at all of the study intersections are incrementally increased with the addition of ambient traffic and traffic generated by the related projects listed on Table 6-68. As presented in column [3] on Table 6-65, all seven study intersections are expected to operate at LOS C or better during the weekday AM and PM peak hours with the addition of growth in ambient traffic and related projects traffic under the future without Project conditions.

Future (2025) With Project Impacts

The future with Project (existing, ambient growth, related projects, and Project) traffic volumes at the study intersections during the weekday AM and PM peak hours are provided on Figures 6-19 and 6-20, respectively. As shown in column [4] on Table 6-65, application of the City's threshold criteria to the future with Project scenario indicates that the Project would not create significant impacts at any of the seven study intersections. Therefore, cumulative intersection LOS impacts would be less than significant

Construction Traffic Impacts

The Project would be constructed over three phases, as shown on Table 6-5 (refer to response to Checklist Question 3[b], Air Quality – Construction Emissions).



[- - -] PROJECT SITES

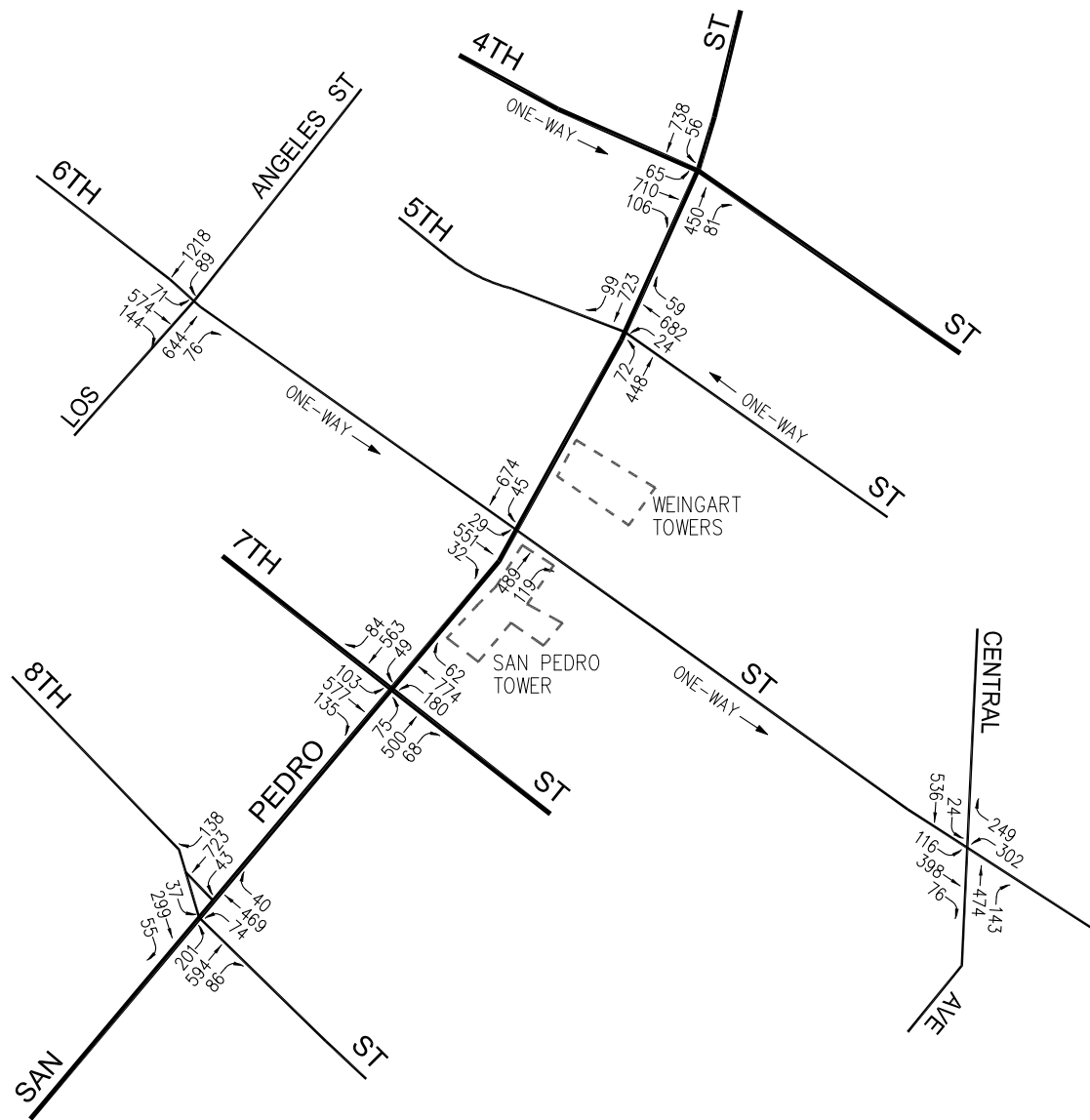


Figure 6-17
Future Without Project Traffic Volumes
Weekday AM Peak Hour



Figure 6-18
Future Without Project Traffic Volumes
Weekday PM Peak Hour

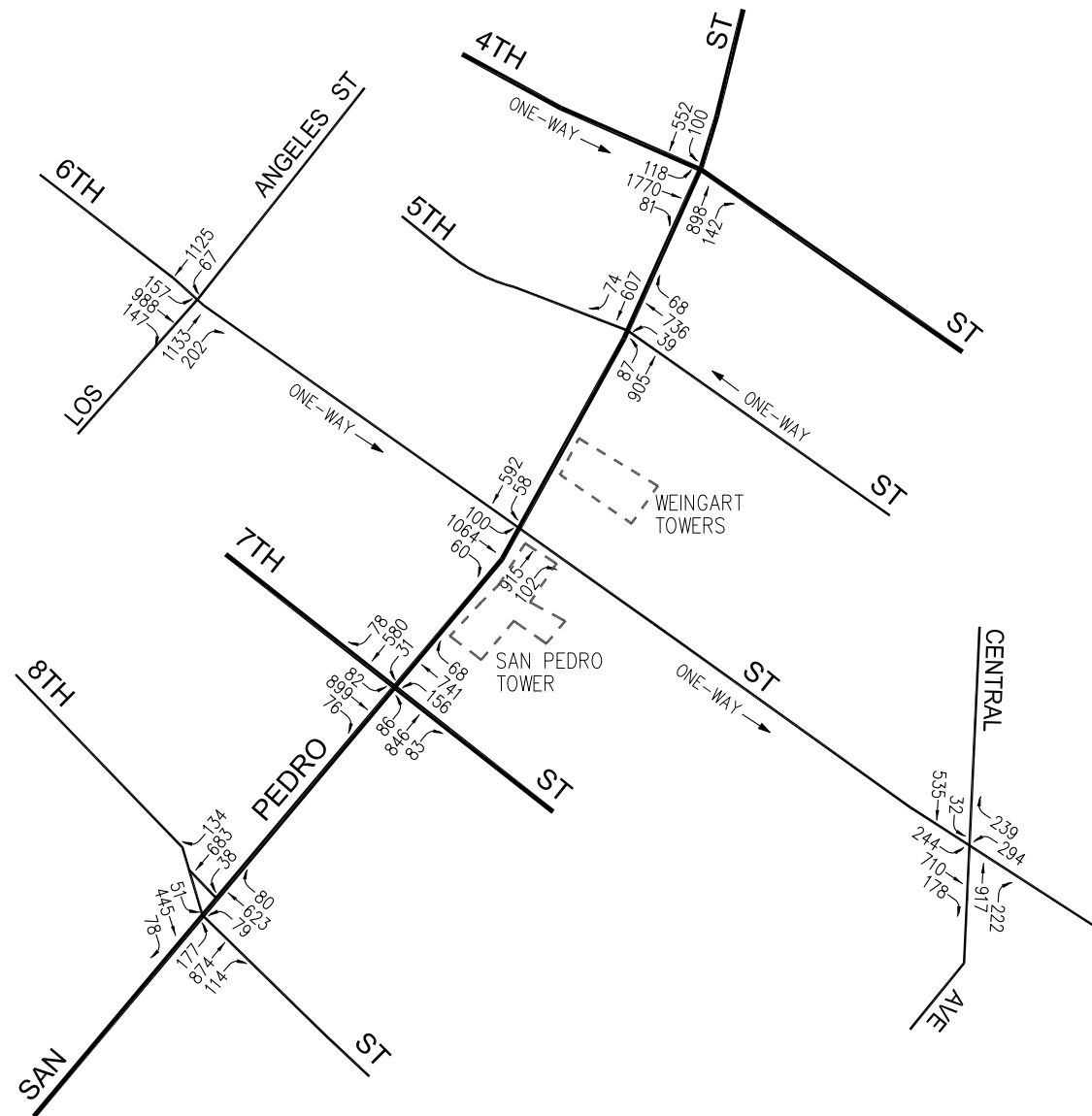
Source: Linscott, Law & Greenspan, Engineers, 2018.



[- - -] PROJECT SITES



Figure 6-19
Future With Project Traffic Volumes
Weekday AM Peak Hour



[- - -] PROJECT SITES



Figure 6-20
Future With Project Traffic Volumes
Weekday PM Peak Hour

The Project's construction phase would begin with development of Tower 1A on Site 1 that would occur over approximately 17 months. During the finishing and architectural coating phase of Tower 1A, the construction phase for Tower 1B would begin and would occur over approximately 18 months. During the building construction phase for Tower 1B, Tower 1A would become operational. The construction phase for Site 2 would occur over approximately 18 months, just after Tower 1B also becomes operational.

The most intensive period of overall traffic generation during any phase of Project construction would occur during the overlap of the construction of Site 2, after Towers 1A and 1B become operational and is estimated to occur over a period of approximately 1 month. For the weekday AM peak hour, the peak construction traffic generation would occur during the Grading and Excavation activities of Site 2 overlapping with the operational traffic associated with Towers 1A and 1B. For the weekday PM peak hour, the peak construction traffic generation would occur during the building construction activities at Site 2 overlapping with the operational traffic associated with Towers 1A and 1B. At this time, it is not known if any temporary lane closures would be necessary through the course of the Project construction. However, any such lane closures likely would occur outside of the weekday AM and PM commute peak hours, so as to maintain roadway capacity when the street system is typically most heavily constrained.

Construction Assumptions

It is assumed that demolition and site preparation would occur on each site as described above. The excavation activities would require the total removal of approximately 25,244 cubic yards of material with the following totals for each building: 10,244 cubic yards for Tower 1A, 4,800 cubic yards for Tower 1B, and 10,200 cubic yards for Site 2. It is assumed that the equipment staging area during the initial phases of construction grading would occur on or within the boundaries of the Project Sites. However, it is possible that equipment staging could occur adjacent to the Project Sites within public rights of way. Construction worker parking also could occur on-site during certain times. However, during the building construction activities, workers would likely be required to park at an adjacent lot or at other nearby public parking lots so as to avoid any construction workers parking on adjacent roadways.

The City's Noise Ordinance currently limits construction hours Monday through Friday to no earlier than 7:00 AM and no later than 9:00 PM, and to no earlier than 8:00 AM and no later than 6:00 PM on Saturdays. It is important to note that workers are expected to arrive at the construction sites by 6:30 AM and end their workday by 3:30 PM Monday through Friday. For purposes of this analysis, no Saturday construction activities are assumed and while workers would generally depart the site by 3:30 PM, some worker departures are assumed to overlap with the weekday PM peak hour (i.e., 25 percent) in order to account for supervisors' later departures as well as some overtime when it is necessary to maintain the construction schedule.

Peak Construction Traffic Trip Generation (Weekday AM Peak Hour) – Grading/Excavation Activities Associated With Site 2 Overlapping With Site 1 (Towers 1A and Tower 1B) Operational Traffic

It is assumed that heavy construction equipment would be located on-site during grading activities and would not travel to and from the Project Sites on a daily basis. However, truck trips would be generated

during the grading and corresponding export activities in order to remove material from the Project Sites. Trucks are expected to carry the export material to a receptor site(s).

It is anticipated that construction vehicles related to the export activities would have a capacity of 10 cubic yards per truck. It has also been assumed for analysis purposes that all hauling activities would be limited to no earlier than 7:00 AM and end no later than 3:30 PM (i.e., prior to the weekday PM peak hour). Thus, the analysis is conservative in that the excavation and hauling activities are assumed to overlap with the weekday AM peak hour. The export period associated with Site 2 has been estimated to require approximately 11 workdays. During this period, up to 12 truckloads per hour (i.e., 12 inbound trucks and 12 outbound trucks) are anticipated. When accounting for the application of a passenger-car equivalent (PCE) factor of 2.5 to account for the heavier weight and larger size haul trucks, a total of 30 inbound truck PCE trips and 30 outbound truck PCE trips could potentially occur during the weekday AM peak hour. In addition, the operational traffic associated with Site 1 (i.e., Towers 1A and 1B) are forecast to generate 64 inbound and 50 outbound vehicle trips during the weekday AM peak hour. Miscellaneous trucks would travel to and from the sites to account for deliveries and has been estimated at no more than one truck per hour (i.e., no more than three inbound PCE trips and three outbound PCE trips during the weekday AM peak hour). Taken together, a total of 180 trips are forecast to occur during the weekday AM peak hour during this period (i.e., 97 inbound and 83 outbound trips). In addition, it is noted that the proposed haul route would require review and approval by the City.

Given that buildout of the Project would generate approximately 229 net new vehicle trips (i.e., 120 inbound and 109 outbound net new trips) during the weekday AM peak hour (refer to Table 6-67) and no significant traffic impacts are expected (refer to Table 6-65), it can also be concluded based on a comparative review of trip generation that no significant traffic impacts are anticipated to occur during this peak construction activity of Site 2 (i.e., which overlaps with operational traffic from Site 1). The discussion below provides the forecast of the peak weekday PM peak-hour trip generation during any phase of construction/building operation.

Peak Construction Traffic Trip Generation (Weekday PM Peak Hour) – Building Construction Activities Associated With Site 2 Overlapping With Site 1 (Towers 1A and Tower 1B) Operational Traffic

As described above, the peak construction traffic generation during the weekday PM peak hour would occur during the building construction/architectural coatings construction work of Site 2 overlapping with the operational traffic of Site 1 (i.e., Towers 1A and 1B). Activities related to this phase are expected to generate the highest number of construction worker vehicle trips as compared to the other construction activities and expected to occur over a period of approximately 1 month. Based on information provided by the Project Applicant, the maximum number of construction workers during this phase is expected to total 95 workers. Construction workers are expected to arrive to the Project Sites by 6:30 AM. Assuming the typical workday ends at 3:30 PM, fifty percent of the workers are assumed to leave the sites between 3:30 PM and 4:00 PM, twenty-five percent between 4:00 PM and 4:30 PM, and the remaining twenty-five percent after 4:30 PM (including supervisors). Thus, while these construction worker trips would generally occur outside of the weekday commute peak hours of adjacent street traffic, twenty-five percent of the work force (i.e., 24 workers) have been assumed to overlap with the weekday commute PM peak

hour (i.e., between 5:00 PM and 6:00 PM) in order to provide a conservative forecast of construction traffic generation.

It is anticipated that construction workers would primarily remain on-site throughout the day. The number of construction worker vehicles is estimated using an average vehicle ridership of 1.135 persons per vehicle (as provided in the SCAQMD's CEQA Air Quality Handbook). Thus, it is estimated that approximately 168 vehicle trips (84 inbound trips and 84 outbound trips) on a daily basis would be generated to and from the sites by the construction workers during this peak building construction phase. With 25 percent of the workers conservatively assumed to overlap with the weekday PM peak hour, this would result in 21 outbound construction worker vehicle trips. It is generally anticipated that construction worker-related traffic would be largely freeway oriented. Construction workers would likely arrive and depart via the on- and off-ramps serving the I-10 Freeway, I-110 Freeway, and U.S. 101 Freeway. The most commonly used freeway ramps would be nearest the Project Sites. The construction work force would likely be generated from all parts of the Los Angeles region and are, thereby, assumed to arrive from all directions.

Operational traffic associated with Site 1 (i.e., Towers 1A and 1B) is expected to overlap with this phase of Site 2 construction activities. Site 1 operations are forecast to generate 44 inbound and 60 outbound vehicle trips during the weekday PM peak hour. Miscellaneous trucks would travel to and from the sites to account for site deliveries and has been estimated at no more than one truck per hour (i.e., no more than three inbound PCE trips and three outbound PCE trips during the weekday PM peak hour). Taken together, a total of 131 trips are forecast to occur during the weekday PM peak hour during this period (i.e., 47 inbound and 84 outbound trips).

Given that buildout of the Project would generate approximately 197 net new vehicle trips (i.e., 91 inbound and 106 outbound net new trips) during the weekday PM peak hour (refer to Table 6-67) and no significant traffic impacts are expected (refer to Table 6-65), it can also be concluded based on a comparative review of trip generation that no significant traffic impacts are anticipated to occur during this peak Site 2 construction activity (i.e., which overlaps with operational traffic from Site 1).

Construction Management and Haul Route Approval

Approvals required by the City and Caltrans for implementation of the Project include a Truck Haul Route program approved by the City and an encroachment permit obtained from Caltrans for truck hauling activities on state highway facilities. With regard to other construction traffic-related issues, construction equipment would be stored within the perimeter fence of the construction site.

As a general contractor has not yet been selected, the exact extent of the construction work-site boundary cannot be determined at this time. However, during certain portions of the construction schedule it is possible that some frontage sidewalks may need to be temporarily closed. Should that be determined to be necessary, appropriate pedestrian detours would be required to be established along with the appropriate advance warning signage directing pedestrians to other available sidewalks and crosswalks/crossings. Should any such pedestrian detours or temporary travel lane closures be proposed, traffic control and management plans will be prepared for the required review and approval by the

LADOT and the Department of Public Works, Bureau of Street Services. However, the Project Applicant would be required to implement Mitigation Measure TRAFFIC-MM-1 and would be required to prepare and implement a Construction Staging and Traffic Management Plan (CSTMP).

The facility(ies) to receive the Project's export materials that would be generated during the Project's construction phase has not been identified at this time. However, several facilities are located within a 50-mile radius of the Project Site, including, but not limited to: Active Recycling MRF and Transfer Station, American Reclamation CDI Processing Facility, Downtown Diversion, and Manning Pit. The Project's haul route would be required to be approved by the City. Project haul trucks would use the most direct route to transport demolition and construction debris from the Project Sites to a designated recycling facility and/or landfill. Regional access to recycling facilities and/or landfills is available to the Project Sites via State Route 110/I-110 Freeway, located approximately 1.0 mile to the west; I-10 Freeway, located approximately 1.5 miles to the south; and State Route 110/I-10 Freeway located approximately 1.0 mile to the east. Direct local access to these freeways and the likely local haul route(s) from the Project Sites could include westbound East 6th Street to State Route 110/I-110 Freeway, southbound South San Pedro Street to the I-10 Freeway, and eastbound East 6th Street to State Route 110/I-10 Freeway.

b) Would the project conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the count congestion management agency for designated roads or highways?

Less Than Significant Impact. The Traffic Impact Analysis (TIA) Guidelines of the 2010 Congestion Management Program (CMP) for Los Angeles County require analysis of all CMP arterial monitoring locations where a project could add a total of 50 or more trips during either peak hour. Additionally, all freeway monitoring locations where a project could add 150 or more trips in either direction during the peak hours are to be analyzed.

Under SB 375, when proceeding with a SCEA, project-specific and cumulative impacts associated with cars and light trucks on the regional transportation network are not required to be assessed, pursuant to PRC 21155.2(b) and 21159.28(a). To the extent that these impacts are included herein is done so for informational purposes only.

Arterial Monitoring Locations

The following CMP arterial monitoring locations are the closest to the Project Sites:

- No. 43: Alameda Street/Washington Boulevard
- No. 44: Alvarado Street/Sunset Boulevard

The Project would not add 50 or more trips during either the AM or PM weekday peak hours (i.e., of adjacent street traffic) at the CMP arterial monitoring locations listed above based on Traffic Impact Study dated March 13, 2018 (Appendix M1). Thus, no further review of potential impacts to intersection monitoring locations that are part of the CMP highway system is necessary. Therefore, Project impacts related to CMP arterial monitoring locations would be less than significant.

Freeway Monitoring Locations

The following CMP freeway monitoring locations are closest to the Project Sites:

- No. 1036: US Route 101, north of Vignes Street
- No. 1048: Interstate 110, south of US Route 101
- No. 1049: SR-110 Freeway at Alpine Street

Based on Traffic Impact Study dated March 13, 2018 (Appendix M1) and as determined by LADOT (Appendix M2), the Project would not add 150 or more trips (in either direction) during either the AM or PM weekday peak hours to CMP freeway monitoring locations listed above. Thus, no further review of potential impacts to freeway monitoring locations that are part of the CMP highway system is necessary. Therefore, Project impacts related to CMP freeway monitoring locations would be less than significant.

c) Would the project result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?

No Impact. The maximum building height on Site 1 would be approximately 200 feet. On Site 2, the maximum building height would be approximately 219 feet. The Project's building heights would be similar to that of existing buildings located in the Downtown area. The Project Sites are not located near any airports; the nearest airport is Hollywood Burbank Airport, 16.9 miles away and thus, the proposed building would not encroach into any air traffic space. Due to the height of the proposed building, the City would be required to file a Form 7460 with the FAA, and would be required to obtain a Determination of No Hazard to Air Navigation from the FAA that would be required to be submitted to the Department of Building and Safety prior to issuance of any building permits. Thus, the Project would not result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks. Therefore, no impacts related to this issue would occur.

d) Would the project substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?

Less Than Significant Impact. The Project does not include development of any new roadways or intersections. Site 1 currently has a total of three driveways (one driveway on San Pedro Street and two driveways on Crocker Street), although it appears that only the northerly driveway on Crocker Street is currently used for vehicular access. Site 2 currently has a total of three driveways (two driveways on 6th Street and one driveway on Crocker Street), although it appears that only the easterly driveway on 6th Street and the Crocker Street driveway are currently used for vehicular access.

Vehicular movements into and out of the Site 1 would be provided via a single driveway on Crocker Street, while vehicular access into and out of Site 2 would be provided via a single driveway on San Pedro Street. Descriptions of the proposed project vehicular site access driveways are provided below.

Site 1 – Crocker Street Driveway: The Site 1 driveway would be located at the northeast corner of the site along Crocker Street (i.e., along the easterly property frontage). This driveway would be located in essentially the same location as an existing site driveway that is currently inactive. One inbound lane and

one outbound lane would be provided at this location with gate control equipment located such that no vehicle queuing would extend back out onto the public right-of-way. This driveway is planned to accommodate full access (i.e., left-turn and right-turn ingress and egress turning movements) for motorists accessing Site 1. The Crocker Street driveway would be constructed to City design standards.

Site 2 – San Pedro Street Driveway: The Site 2 driveway would be located at approximately 118 feet south of the East 6th Street along South San Pedro Street (i.e., along the westerly property frontage). One inbound lane and one outbound lane would be provided at this location with gate control equipment located such that no vehicle queuing would extend back out onto the public right-of-way. Based on preliminary comments received from LADOT staff, this driveway would be restricted to right-turn ingress and egress turning movements for motorists accessing Site 2. The driveway would be constructed to City design standards.

All ingress/egress points associated with the Project would be designed and constructed in accordance with the requirements of the LADBS, the City's Department of Public Works, and LADOT. Therefore, Project impacts related to roadway hazards would be less than significant.

e) Would the project result in inadequate emergency access?

Less Than Significant Impact. Prior to issuance of a building permit, the Project Applicant would be required to submit parking and driveway plans to the Bureau of Engineering, LAFD, and LADOT for approval to ensure that the Project complies with code-required emergency access. Through compliance with existing City regulations, the Project would not result in any significant impacts related to emergency access.

f) Would the project conflict with adopted policies, plans, or programs supporting alternative transportation (e.g., bus turnouts, bicycle racks)?

Less Than Significant Impact. During the Project's construction phase, sidewalks adjacent to the Project Sites could be impeded. However, the Project Applicant would be required to comply with LAMC Section 62.45 and provide safety precautions for pedestrians and bicyclists through such measures as alternate routing and protection barriers.

As required by the *2010 Congestion Management Program*, a review has been made of the potential impacts of the Project on transit service. As discussed previously, existing transit service is provided in the vicinity of the Project Sites.

Project trip generation shown on Table 6-66 was adjusted by values set forth in the CMP (i.e., person trips equal 1.4 times vehicle trips, and transit trips equal 3.5 percent of the total person trips) to estimate transit trip generation. Pursuant to the CMP guidelines, the proposed project is forecast to generate demand for 11 and 10 transit trips during the weekday AM and PM peak hours, respectively. Over a 24-hour period, the would generate demand for approximately 100 daily transit trips. The calculations are as follows:

- Weekday AM Peak Hour = $229 \times 1.4 \times 0.035 = 11$ Transit Trips

- Weekday PM Peak Hour = $197 \times 1.4 \times 0.035 = 10$ Transit Trips
- Weekday Daily Trips = $2,038 \times 1.4 \times 0.035 = 100$ Transit Trips

As shown on Table 6-62, 11 bus transit lines and routes are provided in close proximity to the Project Sites. As outlined on the table under the “No. of Buses During Peak Hour” column, these 11 transit lines provide services for an average of (i.e., average of the directional number of buses/trains during the peak hours) roughly 139 and 145 buses during the weekday AM and PM peak hours, respectively. Thus, based on the above calculated weekday AM and PM peak-hour trips, this would correspond to less than one additional transit rider per bus. It is anticipated that the existing transit service in the area of the Project Sites would adequately accommodate the increase of Project-generated transit trips. Thus, given the number of Project-generated transit trips per bus, no project impacts on existing or future transit services in the area of the Project Sites would occur as a result of the Project.

Mitigation Measures (Construction Traffic)

To ensure that Project impacts related to construction traffic would be less than significant, the following mitigation measure is required:

TRAFFIC-MM-1: Construction Staging and Traffic Management Plan

Prior to issuance of a demolition permit, in coordination with LADOT and the Department of Building and Safety, the Project Applicant shall prepare a detailed Construction Staging and Traffic Management Plan (CSTMP), including street closure information, detour plans, haul routes, and staging plans. The CSTMP shall outline how construction would be carried out and identify specific actions that would be required to reduce effects on the surrounding community. The CSTMP shall be based on the nature and timing of specific construction activities and other projects in the vicinity, and shall include the following elements as appropriate:

- Provide for temporary traffic control during all construction activities within public rights-of-way to improve traffic flow on public roadways (e.g., flagmen);
- Schedule of construction activities to reduce the effect on traffic flow on surrounding arterial streets;
- Reroute construction trucks to reduce travel on congested streets to the extent feasible;
- Prohibit construction-related vehicles from parking on surrounding public streets;
- Provide safety precautions for pedestrians and bicyclists through such measures as alternate routing and protection barriers in compliance with LAMC Section 62.45;
- Accommodate all equipment on-site; and

- Prepare a haul truck route program for the Project that specifies the routes to and from the Project Sites.

Cumulative Impacts

Cumulative intersection LOS impacts were addressed previously under “Future (2025) With Project Impacts.” As shown on Table 6-65, no significant cumulative intersection LOS impacts would occur.

As noted previously, while there are 161 related projects that fall within a 1.5-mile radius of the Project, only a few of the related projects are located within about a four-block radius of the Project. Two related projects (Nos. 105 and 122) are located on or near eastbound East 6th Street; one related project (No. 35) is located on or near westbound East 6th Street; and two related projects (Nos. 27 and 151) are located on or near southbound South San Pedro Street. It is possible that the construction of some of these related projects could overlap with the Project’s construction phase. However, similar to the Project, those projects would be required to prepare and implement a CSTMP (refer to Mitigation Measure TRAFFIC-MM-1) should any temporary lane closures or re-routing of vehicle and bicycle traffic, sidewalk closures and pedestrian re-routing be anticipated.

While the exact duration of any cumulative construction activities is unknown at this time, no other related projects are located in the immediate vicinity on San Pedro Street, 6th Street, or Crocker Street. As stated previously, the Project’s construction phase is estimated to occur over approximately 49 months. Thus, the cumulative impacts during concurrent construction activities are forecast to be less than significant. Also, as discussed previously, the Project’s peak-hour construction traffic generation would be much less than the Project’s overall peak hour operational traffic generation, and would not be result in any significant intersection LOS impacts.

17. TRIBAL CULTURAL RESOURCES

a) Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of size and scope of the landscape, sacred place, or object with cultural value to a California Native tribe, and that is:

- i) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or**

Less Than Significant Impact. The Project Sites are located in an urbanized area of the City. Site 1 is developed with a surface parking lot and a food service building; Site 2 is developed with a surface parking lot. As discussed in response to Checklist Question 5(a), the Project Sites do not contain any resources that are listed or eligible for listing in the California Register, National Register, or any other local register or historical resources. No significant tribal cultural resources are known to exist at the Project Sites. Specifically, as discussed in response to Checklist Question 5(b), based on a records search conducted by the South Central Coast Information Center, 4 archaeological sites have been recorded within a 0.5-mile radius of the Project Sites, and no sites have been recorded at the Project Sites (refer to

Appendix G). However, unknown buried remains of the Zanja Madre (a historical water conveyance system) could potentially fall within the boundaries of the Project Sites.¹⁶² As such, it is possible that unknown tribal cultural resources could exist at the Project Sites and could be encountered during grading and excavation activities. To prevent such potential impacts, the Project Applicant would be required to implement Mitigation Measures CULT-MM-1 through CULT-MM-3, which would ensure that Project impacts related to unknown archaeological resources would be less than significant. Additionally, the Project Applicant would be required to implement the City's standard condition of approval related to the inadvertent discovery of tribal cultural resources that requires that in the event that objects or artifacts that may be tribal cultural resources are encountered during the course of any ground disturbance activities, all such activities shall temporarily cease on the project site until the potential tribal cultural resources are properly assessed and addressed pursuant to the process set forth below.¹⁶³

- Upon a discovery of a potential tribal cultural resource, the Project Permittee shall immediately stop all ground disturbance activities and contact the following: (1) all California Native American tribes that have informed the City they are traditionally and culturally affiliated with the geographic area of the proposed project; (2) and the Department of City Planning at (213) 473-9723.
- If the City determines, pursuant to Public Resources Code Section 21074 (a)(2), that the object or artifact appears to be tribal cultural resource, the City shall provide any effected tribe a reasonable period of time, not less than 14 days, to conduct a site visit and make recommendations to the Project Permittee and the City regarding the monitoring of future ground disturbance activities, as well as the treatment and disposition of any discovered tribal cultural resources.
- The Project Permittee shall implement the tribe's recommendations if a qualified archaeologist, retained by the City and paid for by the project Permittee, reasonably concludes that the tribe's recommendations are reasonable and feasible.
- The Project Permittee shall submit a tribal cultural resource monitoring plan to the City that includes all recommendations from the City and any effected tribes that have been reviewed and determined by the qualified archaeologist to be reasonable and feasible. The Project Permittee shall not be allowed to recommence ground disturbance activities until this plan is approved by the City.
- If the Project Permittee does not accept a particular recommendation determined to be reasonable and feasible by the qualified archaeologist, the project Permittee may request mediation by a mediator agreed to by the Permittee and the City who has the requisite professional qualifications

¹⁶² *Record Search Results for the Weingart Project, South Central Coast Information Center, December 4, 2017. Refer to Appendix G.*

¹⁶³ *Ground disturbance activities shall include the following: excavating, digging, trenching, plowing, drilling, tunneling, quarrying, grading, leveling, removing peat, clearing, pounding posts, augering, backfilling, blasting, stripping topsoil or a similar activity*

and experience to mediate such a dispute. The Project Permittee shall pay any costs associated with the mediation.

- The Project Permittee may recommence ground disturbance activities outside of a specified radius of the discovery site, so long as this radius has been reviewed by the qualified archaeologist and determined to be reasonable and appropriate.
- Copies of any subsequent prehistoric archaeological study, tribal cultural resources study or report, detailing the nature of any significant tribal cultural resources, remedial actions taken, and disposition of any significant tribal cultural resources shall be submitted to the SCCIC at California State University, Fullerton.
- Notwithstanding the above, any information determined to be confidential in nature, by the City Attorney's office, shall be excluded from submission to the SCCIC or the general public under the applicable provisions of the California Public Records Act, California Public Resources Code, and shall comply with the City's AB 52 Confidentiality Protocols.

Compliance with this standard City condition of approval would ensure that Project impacts related to unknown tribal cultural resources would be less than significant.

ii) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe?

Less Than Significant Impact. Approved by Governor Brown on September 25, 2014, Assembly Bill 52 (AB 52) establishes a formal consultation process for California Native American Tribes to identify potential significant impacts to Tribal Cultural Resources, as defined in Public Resources Code Section 21074, as part of CEQA. Effective July 1, 2015, AB 52 applies to projects that file a Notice of Preparation or Notice of Negative Declaration/Mitigated Negative Declaration (or other similar CEQA document) on or after July 1, 2015. As specified in AB 52, lead agencies must provide notice to tribes that are traditionally and culturally affiliated with the geographic area of a proposed project if the tribe has submitted a written request to be notified. The tribe must respond to the lead agency within 30 days of receipt of the notification if it wishes to engage in consultation on the project, and the lead agency must begin the consultation process within 30 days of receiving the request for consultation.

Pursuant to AB 52, the Department of City Planning notified Native American tribes as to the Project with a 30-day consultation period on March 29, 2017. The City conducted consultation with the Gabrielino Tribe on May 17, 2017 (refer to Appendix N). In addition to the verbal information provided during the consultation, the representative of the Gabrielino Tribe stated that additional evidence would be provided to the City. Subsequent to the consultation the Gabrielino Tribe did not provide any evidence that tribal cultural resources are located on the Project Sites. As a result, the City closed consultation. Nonetheless, it is possible that unknown archaeological resources could exist at the Project Sites that could be encountered within the underlying alluvium, given the relative sensitivity of the Project region.

Nonetheless, the Project Applicant would be required to implement the City's standard condition of approval related to the inadvertent discovery of tribal cultural resources outlined above, which would ensure that Project impacts related to unknown tribal cultural resources would be less than significant.

Cumulative Impacts

Impacts related to tribal cultural resources tend to be site-specific and are assessed on a site-by-site basis. The City would require the applicants of each of the related projects to assess, determine, and mitigate any potential impacts related to tribal cultural resources that could occur as a result of development, as necessary. As discussed previously, through compliance with existing laws and the City's conditions of approval, Project impacts associated with historic, archaeological, and paleontological resources would be less than significant. However, the occurrence of these impacts would be limited to the Project Sites and would not contribute to any potentially significant cultural resources impacts that could occur at the sites of the related projects. As such, the proposed Project would not contribute to any potential cumulative impacts related to cultural resources. Therefore, cumulative impacts related to cultural resources would be less than significant.

18. UTILITIES AND SERVICE SYSTEMS

a) Would the project exceed wastewater treatment requirements of the applicable regional water quality control board?

No Impact. The Project Sites are located within the service area of the Hyperion Water Reclamation Plant (HWRP), which treats sewage and some stormwater from the Los Angeles area. The Project would generate approximately 99,226 gallons of wastewater per day (or 0.09 mgd) that is typically associated with residential/office/retail land uses and would not generate any wastewater, such as that from industrial and some commercial uses, which would require pre-treatment.¹⁶⁴ Thus, the Project would not exceed wastewater treatment requirements of the applicable regional water quality control board. Therefore, no impacts related to this issue would occur as a result of the Project.

Cumulative Impacts

Implementation of the related projects listed on Table 2-2 in Section 2 (Project Description) could increase the need for wastewater treatment. Most of the related projects would generate wastewater that would not require any special pre-treatment. Related projects that would require special wastewater treatment would be required to comply with the treatment requirements of the relevant wastewater treatment plant. For these reasons, cumulative impacts related to wastewater treatment would be less than significant.

¹⁶⁴ This assumes that wastewater generation equal water consumption.

b) Would the project require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?

Less Than Significant Impact. LADWP owns and operates the Los Angeles Aqueduct Filtration Plant (LAAFP) located in the Sylmar community of the City. The LAAFP treats City water prior to distribution throughout LADWP's Central Water Service Area. The designated treatment capacity of the LAAFP is 600 million gallons per day (mgd), with an average plant flow of 550 mgd during the summer months and 450 mgd during the remaining months of the year. Thus, the facility has between 50 to 150 mgd of remaining capacity, depending on the season. As shown on Table 6-69, the Project would consume approximately 99,226 gallons of water per day (or 0.09 mgd). (Corresponding water conservation calculations for the Project are shown on Table 6-70.) With the remaining capacity of approximately 50 to 150 mgd, the LAAFP would have adequate capacity to serve the Project. Therefore, Project impacts related to water treatment would be less than significant.

**Table 6-69
Estimated Project Water Demand**

Existing Water Uses to be Removed						
Existing Use¹	Size			(gpd)	(af/y)	
Food Services Center	7,000 sf			957		
Surface Parking	N/A			0		
Existing to be Removed Total²				957	1.07	
Estimated Project Water Demand						
Proposed Uses¹	Size	Water Use Factor³ (gpd/unit)	Base Demand (gpd)	Required ordinances Water Savings⁴ (gpd)	(gpd)	(af/y)
Residential Efficiency ⁵	332 du	150	49,800			
Residential: Apt. 1 bd ⁶	50 du	180	9,000			
Base Demand Adj. (Residential Units) ⁷			5,898			
Site 1 Residential Units Total	382 du		64,698	10,645	54,053	60.55
Cafeteria	271 seat	30	8,130			
Office	7,683 sf	0.12	922			
Community ⁸	6,347 sf	0.12	762			
Retail	2,250 sf	0.025	56			
Base Demand Adjustment (Other) ⁷			90			
Site 1 Other Total			9,960	1,750	8,210	9.20
Residential: Efficiency ⁶	303 du	150	45,450			
Base Demand Adjustment (Residential Units) ⁷			4,391			
Site 2 Residential	303 du		49,841	7,850	41,991	47.04

Table 6-69
Estimated Project Water Demand

Units Total						
Office	17,100 sf	0.12	2,052			
Retail	3,200 sf	0.025	80			
Base Demand			138			
Adjustment (Other) ⁷						
	Site 2 Other Total		2,270	1,048	1,222	1.37
Landscaping ⁹	13,254 sf		1,238	557	681	0.76
Parking Structure ¹⁰	107,335 sf	0.02	71	0	71	0.08
	Subtotal		128,078	21,850	106,226	119.00
	<i>Less Existing to be Removed Total</i>				-957	-1.07
	<i>Less Additional Conservation¹¹</i>				-6,045	-6.77
	Net Total Water Demand				99,226	111.16
¹ Provided by City of Los Angeles Department of City Planning in the Request for Water Supply Assessment letter and Scope Confirmation e-mail. See Appendix A of the WSA. ² The existing water demand is based on the LADWP billing data (annual average from 2010 to 2017). ³ Proposed indoor water uses are based on 2012 City of Los Angeles Department of Public Works, Bureau of Sanitation Sewer. Generation Rates table available at https://www.lacitysan.org/fmd/pdf/sfcfeerates.pdf . ⁴ The proposed development land uses will conform to City of Los Angeles Ordinance No. 184248, 2016 California Plumbing Code, 2016 California Green Building Code (CALGreen), 2017 Los Angeles Plumbing Code, and 2017 Los Angeles Green Building Code. ⁵ Water Use Factor for Efficiency Units is based on 2 persons occupancy. ⁶ Water Use Factor for 1 bedroom Units is based on 3 persons occupancy. ⁷ Base Demand Adjustment is the estimated savings due to Ordinance No. 180822 accounted for in the current version of Bureau of Sanitation Sewer Generation Rates. ⁸ Community water use is assumed to be similar to counseling center. ⁹ Landscaping water use is estimated per California Code of Regulations Title 23, Division 2, Chapter 2.7. Modal Water Efficient Landscape Ordinance. ¹⁰ Auto parking water uses are based on City of Los Angeles Department of Public Works, Bureau of Sanitation Sewer Generation Rates table, and 12 times/year cleaning assumption. ¹¹ Water Conservation due to additional conservation commitments agreed to by the Applicant. See Table 6-70. Abbreviations: bd-bedroom du-dwelling unit sf-square feet gpd-gallons per day af/y-acre feet per year Source: LADWP, WSA, 2018.Refer to Appendix O.						

Table 6-70
Estimated Additional Water Conservation

Conservation Measures¹	Quantity Units	Water Saving Factor² (gpd/unit)	Water Saved (gpd) (af/y)	
Total – Residential: Efficiency	635 du	3.08	1,956	2.19
Toilet – Residential: 1 Bd	50 du	4.62	231	0.26
Bathroom Faucet – Residential: Efficiency	635 du	1.62	1,029	1.15
Bathroom Faucet – Residential: 1 Bd	50 du	2.43	122	0.14
Showerhead – Residential: Efficiency	635 du	3.18	2,019	2.26
Showerhead – Residential: 1 Bd	50 du	4.77	239	0.27
<i>Residential Unit Conservation Total</i>			<i>5,596</i>	<i>6.27</i>
Toilet	20 ea	6.09	122	0.14
<i>Residential Common Conservation Total</i>			<i>122</i>	<i>0.14</i>
Toilet	5 ea	6.09	30	0.03
<i>Cafeteria Conservation Total</i>			<i>30</i>	<i>0.003</i>
Toilet	4 ea	6.09	24	0.03
<i>Retail Conservation Total</i>			<i>24</i>	<i>0.03</i>
Toilet	12 ea	6.09	73	0.06
<i>Office Conservation Total</i>			<i>73</i>	<i>0.06</i>
<i>Landscaping Conservation Total³</i>			<i>200</i>	<i>0.22</i>
Total Additional Water Conserved			6,045	6.77
¹ Water conservation measures agreed to by the Applicant. See Appendix B.				
² Based on LADWP estimates.				
³ Landscaping water conservation is estimated per California Code of Regulations Title 23, Division 2, Chapter 2.7. Model Water Efficient Landscape Ordinance.				
Abbreviations: du-dwelling unit gpd-gallons per day af/y-acre feet per year ea-each				
Source: LADWP, WSA, 2018. Refer to Appendix O.				

As discussed in response to Checklist Question 18(a), the Project Sites are located within the service area of the HWRP, which has been designed to treat approximately 450 million gallons per day of wastewater for full secondary treatment and currently treats approximately 275 million gallons per day.¹⁶⁵ Full secondary treatment prevents virtually all particles suspended in the effluent from being discharged into the Pacific Ocean and is consistent with the Los Angeles Regional Water Quality Control Board (LARWQCB) discharge policies for the Santa Monica Bay. The HWRP currently treats an average daily flow of approximately 240 mgd and thus, is operating below its design capacity.¹⁶⁶ Conservatively assuming that wastewater generation equals water consumption, the Project would generate approximately 99,226 gallons of wastewater per day (or 0.09 mgd). With a remaining daily capacity of 210 mgd, the HWRP would have adequate capacity to serve the Project. Additionally, detailed gauging and evaluation of the existing sewer system adjacent to the Project Sites would be required as part of the

¹⁶⁵ City of Los Angeles https://www.lacitysan.org/san/faces/home/portal/s-lsh-wwd/s-lsh-wwd-cw/s-lsh-wwd-cw-p/s-lsh-wwd-cw-p-hwrp?_adf.ctrl-state=xv7pssoaw_4&_afLoop=2072052347671516#!, April 2018.

¹⁶⁶ City of Los Angeles, Sewer System Management Plan, Hyperion Sanitary Sewer System, February 2017, Overview, <https://www.lacitysan.org/cs/groups/public/documents/document/y250/mdey/~edisp/cnt012544.pdf>, accessed June 26, 2017.

permitting process to identify a specific sewer connection point as is standard City practice. If necessary, the Project Applicant would be required to build improvements to convey wastewater to a point in the sewer system with sufficient capacity. A final approval for sewer capacity and connection permit from the City would be made at that time. Therefore, Project impacts related to wastewater treatment would be less than significant.

Cumulative Impacts

Implementation of the related projects listed on Table 2-2 in Section 2 (Project Description) increase the need for water treatment. The remaining treatment capacity of the LAAFP (50 to 150 mgd) would accommodate the wastewater treatment requirements of the related projects. As discussed previously, the Project would create the need for a fraction of one percent (approximately 0.19 to 0.07 percent) of the remaining capacity of the LAAFP, and would not result in any significant impacts related to water treatment. Further, the remaining treatment capacity of the HWRP (210 mgd) would accommodate the wastewater treatment requirements of the related projects. As discussed previously, the Project would create the need for a fraction of one percent (approximately 0.09) of the remaining capacity of the HWRP, and would not result in any significant impacts related to sewer treatment. No new or upgraded treatment facilities would be required. As such, the Project's incremental effect on cumulative impacts to water treatment capacity would not be cumulatively considerable, and cumulative wastewater impacts would be less than significant.

c) Would the project require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?

Less Than Significant Impact. As discussed in response to Checklist Question 9(e), Project impacts related to storm water drainage would be less than significant.

Cumulative Impacts

Refer to the discussion of cumulative impacts under response to Checklist Topic 9.

d) Would the project have significant water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?

Less Than Significant Impact.

Pursuant to SB 610 and SB 221, a Water Supply Assessment (WSA) was prepared for the Project by LADWP (refer to Appendix O). As shown on Table 6-69, LADWP estimates that the Project would consume approximately 99,226 gallons of water per day. The Project Applicant has voluntarily committed to incorporate the water conservation measures listed below into the Project that are beyond those required by the City's Green Building Code (refer to PDF-1, Sustainability Measures, in Section 2 [Project Description]). The estimated additional water conservation calculations associated with this measures outlined on Table 6-70.

- High-efficiency toilets with a flush volume of 1.0 gallon per flush, or less.
- Showerheads with a flow rate of 1.5 gallons per minute (gpm) or less.
- Residential bathroom faucets equipped with aerators to reduce flow to 1.0 gpm or less.
- Drip/subsurface irrigation (micro-irrigation)
- Micro-spray
- Proper hydro-zoning/zoned irrigation (group plants with similar water requirements)
- Artificial turf
- Drought-tolerant plants – 50 percent of total landscaping

LADWP's WSA finds adequate water supplies would be available to meet the total additional water demand of 99,226 gallons per day for the Project. LADWP anticipates the projected water demand from the Project could be met during normal, single-dry, and multiple-dry water years, in addition to the existing and planned future demands on LADWP.

The basis for approving the WSA for the Project is LADWP's most recently adopted 2015 Urban Water Management Plan (2015 UWMP). LADWP's water demand forecast, as contained in the 2015 UWMP, uses long-term demographic projections for population, housing, and employment. The California Urban Water Management Planning Act requires water suppliers to develop a UWMP every five years to identify short-term and long-term water resources management measures to meet growing water demands during normal, single-dry, and multiple-dry years. If the projected water demand associated with the Project was not accounted for in the most recently adopted UWMP, WSA must include a discussion with regard to whether LADWP's total projected water supplies available during normal, single-dry, and multiple-dry water years during a 20-year projection would meet the projected water demand associated with the Project, in addition to LADWP's existing and planned future uses.

The City's water demand projection in the 2015 UWMP was developed based on the 2012 Regional Transportation Plan (RTP) demographic projection by SCAG using the 2010 U.S. Census for the City. The 2015 UWMP concluded there are adequate water supplies to meet projected water demands through 2040. Thus, the City's water supply projections in the 2015 UWMP are sufficient to meet the City's water demand projections based on the 2012 RTP.

The Planning Department has determined that a General Plan Amendment is required for the Project to change the Central City Community Plan land use designation from Light Manufacturing to Regional Center Commercial. Furthermore, the Planning Department has determined that the Project is consistent with the demographic projections for the City from both the 2012 and 2016 RTPs. Based on the information provided by Planning Department, anticipated water demand for the Project fall within the 2015 UWMP's projected water supplies for normal, single-dry, and multiple-dry years through the year 2040 and is within the 2015 UWMP's 25-year water demand growth projection.

Additionally, the 2015 UWMP contains a water shortage contingency plan for multi-year dry hydrological periods. This water shortage contingency plan was implemented on June 1, 2009, when the Board of Water and Power Commissioners (Board) adopted Shortage Year Rates, and the City Council implemented the landscape irrigation and prohibited use restrictions contained in the City's Water Conservation Ordinance. The City's Water Rate Ordinance, adopted in June 1995, was last amended by the Board, effective April 15, 2016. The revised rate ordinance restructured the rates to help further promote conservation. For example, single-family rates switched to a four-tier system that sends a strong price signal to deter against wasteful water use. The Board finds that the price signals contained in the Water Rate Ordinance encourage conservation and support further reduction in citywide demand. Past and current implementation of water rate price signals and higher ordinance phases have resulted in reducing the total customer water usage, on average, by approximately 20.2 percent over the time period from June 2009 to March 2018.

Cumulative Impacts

Implementation of the Project in conjunction with the related projects identified on Table 2-2 in Section 2 (Project Description) would increase demand for water services provided by the City's water supply system. Through its UWMP, LADWP (through its UWMP) anticipates its projected water supplies will meet demand through the year 2035. In terms of the City's overall water supply condition, any related project that is consistent with the City's General Plan has been taken into account in the planned growth of the water system. In addition, any related project that conforms to the demographic projections from SCAG's RTP and is located in the service area is considered to have been included in LADWP's water supply planning efforts so that projected water supplies would meet projected demands.

For projects that meet the requirements established pursuant to SB 610, SB 221, and Sections 10910-10915 of the State Water Code, a water supply assessment demonstrating sufficient water availability is required on a project-by-project basis. Similar to the Project, each related project would be required to comply with City and State water code and conservation programs for both water supply and infrastructure.

Related projects that propose changing the zoning or other characteristics beyond what is within the General Plan would be required to evaluate the change under CEQA necessary approval. The CEQA analysis would compare the existing to the proposed uses and the ability of LADWP supplies and infrastructure to provide a sufficient level of water service. Future development projects within the service area of LADWP would be subject to the locally mandated water conservation programs, and citywide water conservation efforts would also be expected to partially offset the cumulative demand for water. LADWP undertakes expansion or modification of water service infrastructure to serve future growth in the City as required in the normal process of providing water service. Additionally, as stated previously, in the WSA prepared for the Project, LADWP concluded that the Project's demand for water supply has been accounted for in the most recent UWMP, and Project-specific impacts related to water supply would be less than significant. For these reasons, cumulative impacts related to water service would be less than significant.

The WSA has demonstrated that the Project's demand for water supply can be accommodated by existing sources, and the Project would not require the need for new or expanded sources of water supply. Therefore, Project impacts related to water supply would be less than significant.

e) Would the project result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?

Less Than Significant Impact. As discussed in response to Checklist Question 18(a), with a remaining daily capacity of 210 mgd, the HWRP would have adequate capacity to serve the Project. Therefore, Project impacts related to wastewater treatment would be less than significant.

f) Would the project be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?

Less Than Significant Impact. Landfills that serve the Los Angeles area are shown on Table 6-71. As shown, the landfills serving Los Angeles have a remaining daily intake capacity of 14,920 tons per day.

**Table 6-71
Landfill Capacity**

Landfill Facility	Estimated Remaining Life (years)	Estimated Remaining Disposal Capacity (million tons)	Permitted Intake (tons/day)	Daily Disposal (tons/day)	Available Daily Intake (tons/day)
Sunshine Canyon	21	62.1	12,100	7,496	4,604
Chiquita Canyon Proposed Expansion	-	-	12,000	-	-
Azusa	30	56.33	6,500	1,183	5,317
Lancaster	25	10.44	3,000	550	2,450
Calabasas	20	5.95	3,500	951	2,549
Total					14,920
<i>Source: County of Los Angeles, Countywide Integrated Waste Management Plan, 2016 Annual Report, December 2017.</i>					

As shown on Table 6-72, the Project would generate approximately 1.49 tons of solid waste per day. With a remaining daily capacity of 14,920 tons per day (tpd), the existing landfill capacity in the Los Angeles area would be adequate to accommodate the Project's solid waste generation. Further, pursuant to AB 939, each city and county in the state must divert 50 percent of its solid waste from landfill disposal through source reduction, recycling, and composting. As of fiscal year 2013, the City achieved a waste diversion rate of 76.4 percent, exceeding the required 50 percent diversion rate required by AB 939. The

City is on track toward its goal to achieve a 90 percent diversion by 2025.¹⁶⁷ Thus, the Project would not require new or expanded landfill capacity. Therefore, Project impacts related to solid waste would be less than significant.

Table 6-72
Estimated Solid Waste Generation

Land Use	Size	Generation Rate ^a	Total (tpd)
Multi-Family Residential	685 du	4 lbs/day	1.37
Commercial	48,043 sf	0.005 lbs/day	0.12
Total			1.49
<i>du=dwelling unit sf=square feet lbs=pounds tpd= tons per day</i> ^a Source: CalRecyclewebsite: http://www.calrecycle.ca.gov/WasteChar/WasteGenRates/default.htm , 2014 Note: Waste generation includes all materials discarded, whether or not they are later recycled or disposed of in a landfill.			

Cumulative Impacts

Implementation of the related projects listed on Table 2-2 in Section 2 (Project Description) could increase the need for landfill capacity. However, all development in the City is required to comply with the City's Curbside Recycling Program and the Construction and Demolition Waste Recycling Ordinance to minimize the amount of solid waste generated by the development and the need for landfill capacity. As discussed previously, the landfills serving the Project area have available capacity. The Project would create a demand for less than a fraction of one percent of the remaining landfill capacity serving the Project area and would not result in any significant impacts. Therefore, cumulative impacts related to landfill capacity would be less than significant.

g) **Would the project comply with federal, state, and local statutes and regulations related to solid waste?**

No Impact. As stated previously, State regulation AB 939 required every city and county to divert 50 percent of its waste from landfills by the year 2000 through such means as recycling, source reduction, and composting. In addition, AB 939 requires each county to prepare a countywide siting element for a 15-year period, specifying areas for transformation or disposal sites to provide capacity for solid waste generated in the county that cannot be reduced or recycled. Further, AB 1327, the California Solid Waste Reuse and Recycling Access Act of 1991, requires local agencies to adopt ordinances mandating the use of recyclable materials in development projects.

The Project would be required to comply with all applicable federal, state, and local statutes and regulations, including the City's Construction and Demolition Waste Recycling Ordinance and the Curbside Recycling Program, and there would be no impacts related to this issue.

¹⁶⁷ City of Los Angeles, Solid Waste Integrated Resources Plan (Zero Waste Plan), https://www.lacitysan.org/san/faces/home/portal/s-lsh-wwd/s-lsh-wwd-s/s-lsh-wwd-s-zwswirp?_adf.ctrl-state=wna7nj39o_74&_afLoop=2044262225404954#!, accessed on April 30, 2018.

Cumulative Impacts

All development in the City, including the proposed Project and the related projects listed on Table 2-2 in Section 2 (Project Description) is required to comply with the City’s recycling programs. No cumulative impacts related to this issue would occur.

ENERGY CONSERVATION

Regulatory Setting

Federal

First established by the U.S. Congress in 1975, the Corporate Average Fuel Economy (CAFE) standards reduce energy consumption by increasing the fuel economy of cars and light trucks. The National Highway Traffic Safety Administration (NHTSA) and U.S. Environmental Protection Agency (USEPA) jointly administer the CAFE standards. The U.S. Congress has specified that CAFE standards must be set at the “maximum feasible level” with consideration given for: (1) technological feasibility; (2) economic practicality; (3) effect of other standards on fuel economy; and (4) need for the nation to conserve energy.¹⁶⁸

State

Building Energy Efficiency Standards

The Building Energy Efficiency Standards for Residential and Nonresidential Buildings (CCR, Title 24, Part 6) were first adopted in 1976 and have been updated periodically since then as directed by statute. The Building Energy Efficiency Standards contain energy and water efficiency requirements (and indoor air quality requirements) for newly constructed buildings, additions to existing buildings, and alterations to existing buildings. Public Resources Code Sections 25402 subdivisions (a)-(b) and 25402.1 emphasize the importance of building design and construction flexibility by requiring the California Energy Commission (CEC) to establish performance standards, in the form of an “energy budget” in terms of the energy consumption per square foot of floor space. For this reason, the Building Energy Efficiency Standards include both a prescriptive option, allowing builders to comply by using methods known to be efficient, and a performance option, allowing builders complete freedom in their designs provided the building achieves the same overall efficiency as an equivalent building using the prescriptive option. Reference Appendices are adopted along with the Building Energy Efficiency Standards that contain data and other information that helps builders comply with the Building Energy Efficiency Standards.

The 2016 update to the Building Energy Efficiency Standards focuses on several key areas to improve the energy efficiency of newly constructed buildings and additions and alterations to existing buildings. The most significant efficiency improvements to the residential Building Energy Efficiency Standards include improvements for attics, walls, water heating, and lighting, as well as alignment with the American

¹⁶⁸ United States Department of Transportation, CAFE standards, www.nhtsa.gov/fuel-economy, accessed on May 7, 2018

Society of Heating, Refrigerating and Air-conditioning Engineers (ASHRAE) 90.1 2013 national standards. New efficiency requirements for elevators and direct digital controls are included in the nonresidential Building Energy Efficiency Standards. The 2016 Building Energy Efficiency Standards also include changes made throughout all of its sections to improve the clarity, consistency, and readability of the regulatory language. The Building Energy Efficiency Standards are enforced through the local building or individual agency permit and approval processes.¹⁶⁹

California Green Building Standards Code

Part 11 of the Title 24 California Building Standards Code is referred to as the California Green Building Standards Code (CalGreen). The purpose of CalGreen is to “improve public health, safety and general welfare by enhancing the design and construction of buildings through the use of building concepts having a positive environmental impact and encouraging sustainable construction practices in the following categories: (1) Planning and design; (2) Energy efficiency; (3) Water efficiency and conservation; (4) Material conservation and resource efficiency; and (5) Environmental air quality.” As of January 1, 2011, compliance with CalGreen is mandatory for all new buildings constructed in the state. CalGreen establishes mandatory measures for new residential and non-residential buildings, including energy efficiency, water conservation, material conservation, planning and design and overall environmental quality. CalGreen was most recently updated in 2016 (2016 CalGreen Code) to reflect regulatory changes that were made to Title 24 and to include Verification Guidelines for use by local building departments, builders, and designers, that is intended to highlight and clarify both mandatory and voluntary nonresidential. The updated 2016 CalGreen Code took effect on January 1, 2017. The Project would be required to comply with the lighting power requirements in the California Energy Code, CCR, Title 24, Part 6.

California Renewable Portfolio Standard

First established in 2002 under Senate Bill (SB) 1078, California’s Renewable Portfolio Standards (RPS) requires retail sellers of electric services to increase procurement from eligible renewable energy resources to 33 percent of total retail sales by 2020.¹⁷⁰ The California Public Utilities Commission (CPUC) and the CEC jointly implement the RPS program. The CPUC’s responsibilities include: (1) determining annual procurement targets and enforcing compliance; (2) reviewing and approving each investor-owned utility’s renewable energy procurement plan; (3) reviewing contracts for RPS-eligible energy; and (4) establishing the standard terms and conditions used in contracts for eligible renewable energy. The CEC is responsible for the certification of electrical generation facilities as eligible renewable energy resources, and adopting regulations for the enforcement of RPS procurement requirements of public-owned utilities.

¹⁶⁹ CEC, *2016 Building Energy Efficiency Standards for Residential and Nonresidential Buildings*, June 2015.

¹⁷⁰ CPUC, *California Renewables Portfolio Standard (RPS)*, www.cpuc.ca.gov/RPS_Homepage/, accessed May 7, 2018.

Senate Bill 50

Senate Bill (SB) 350, signed October 7, 2015, is the Clean Energy and Pollution Reduction Act of 2015. The objectives of SB 350 are: (1) to increase the procurement of electricity from renewable sources from 33 percent to 50 percent by 2030, and (2) to double the energy efficiency savings in electricity and natural gas final end uses of retail customers through energy efficiency and conservation.¹⁷¹

Assembly Bill 32

Assembly Bill (AB) 32 (Health and Safety Code Sections 38500–38599), also known as the California Global Warming Solutions Act of 2006, commits the State to achieving year 2000 GHG emission levels by 2010 and year 1990 levels by 2020. To achieve these goals, AB 32 tasked the CPUC and the CEC with providing information, analysis, and recommendations to the California Air Resources Board (CARB) regarding ways to reduce GHG emissions in the electricity and natural gas utility sectors.¹⁷²

Assembly Bill 1493/Pavley Regulations

AB 1493 (commonly referred to as CARB’s Pavley regulations) was the first legislation to regulate GHG emissions from new passenger vehicles. Under this legislation, CARB adopted regulations to reduce GHG emissions from non-commercial passenger vehicles (cars and light-duty trucks) for model years 2009–2016. The Pavley regulations are expected to reduce GHG emissions from California’s passenger vehicles by about 30 percent in 2016, all while improving fuel efficiency and reducing motorists’ costs.¹⁷³

Low Carbon Fuel Standard

The Low Carbon Fuel Standard (LCFS), established in 2007 through Executive Order S-1-07 and administered by CARB, requires producers of petroleum-based fuels to reduce the carbon intensity of their products, starting with 0.25 percent in 2011 and culminating in a 10-percent total reduction in 2020. Petroleum importers, refiners and wholesalers can either develop their own low carbon fuel products, or buy LCFS credits from other companies that develop and sell low carbon alternative fuels, such as biofuels, electricity, natural gas, and hydrogen.¹⁷⁴

CARB’s Advanced Clean Cars Regulation

Closely associated with the Pavley regulations, the Advanced Clean Car Standards emissions-control program (ACC program) was approved by CARB in 2012. The program combines the control of smog, soot, and GHG emissions with requirements for greater numbers of zero-emission vehicles for model

¹⁷¹ *Senate Bill 350 (2015–2016 Reg, Session) Stats 2015, ch. 547.*

¹⁷² *Ibid.*

¹⁷³ *Clean Car Standards - Pavley, Assembly Bill 1943, www.energy.ca.gov/low_carbon_fuel_standard/*

¹⁷⁴ *Low Carbon Fuel Standard: Fuels and Transportation Division Emerging Fuels and Technologies Office, www.energy.ca.gov/low_carbon_fuel_standard/*

years 2017-2025. The components of the ACC program include the Low-Emission Vehicle (LEV) regulations that reduce criteria pollutants and GHG emissions from light- and medium-duty vehicles, and the Zero-Emission Vehicle (ZEV) regulation, which requires manufacturers to produce an increasing number of pure ZEVs (meaning battery electric and fuel cell electric vehicles), with provisions to also produce plug-in hybrid electric vehicles (PHEV) in the 2018 through 2025 model years.¹⁷⁵

Airborne Toxic Control Measure to Limit Diesel-Fueled Commercial Motor Vehicle Idling

The Airborne Toxic Control Measure to Limit Diesel-Fueled Commercial Motor Vehicle Idling (Title 13, California Code of Regulations, Division 3, Chapter 10, Section 2435) was adopted to reduce public exposure to diesel particulate matter and other air contaminants by limiting the idling of diesel-fueled commercial motor vehicles. This section applies to diesel-fueled commercial motor vehicles with gross vehicular weight ratings of greater than 10,000 pounds that are or must be licensed for operation on highways. Reducing idling of diesel-fueled commercial motor vehicles reduces the amount of petroleum-based fuel used by the vehicle.

Senate Bill 375, Sustainable Communities Strategy

The Sustainable Communities and Climate Protection Act of 2008, or Senate Bill 375 (SB 375), coordinates land use planning, regional transportation plans, and funding priorities to help California meet the GHG emissions reduction mandates established in AB 32. SB 375 specifically requires the Metropolitan Planning Organization (MPO) to prepare a “sustainable communities strategy” (SCS) as a part of its Regional Transportation Plan (RTP) that will achieve GHG emission reduction targets set by CARB for the years 2020 and 2035 by reducing vehicle miles traveled (VMT) from light-duty vehicles through the development of more compact, complete, and efficient communities.¹⁷⁶

SCAG is the MPO for the area in which the Project Sites are located. SCAG’s first-ever SCS is included in the 2012–2035 Regional Transportation Plan/Sustainable Communities Strategy (2012–2035 RTP/SCS), which was adopted by SCAG in April 2012. The goals and policies of the SCS that reduce VMT (and result in corresponding decreases in transportation-related fuel consumption) focus on transportation and land use planning that include building infill projects, locating residents closer to where they work and play, and designing communities so there is access to high quality transit service. In 2016, SCAG adopted the 2016–2040 Regional Transportation Plan/Sustainable Communities Strategy (2016-2040 RTP/SCS).¹⁷⁷ The goals and policies of the 2016-2040 RTP/SCS are the same as those in the 2012–2035 RTP/SCS.

¹⁷⁵ CARB, *California’s Advanced Clean Cars Program*, www.arb.ca.gov/msprog/acc/acc.htm, last reviewed by CARB January 18, 2017.

¹⁷⁶ *Sustainable Communities*, www.arb.ca.gov/cc/sb375/sb375.htm

¹⁷⁷ SCAG, *2016 RTP/SCS*, dated April 2016.

Senate Bill 1389

SB 1389 (Public Resources Code Sections 25300–25323) requires the development of an integrated plan for electricity, natural gas, and transportation fuels. The CEC must adopt and transmit to the Governor and Legislature an Integrated Energy Policy Report every two years. The most recently completed report, the 2016 Integrated Energy Policy Report, addresses a variety of issues including the environmental performance of the electricity generation system, landscaped-scale planning, the response to the gas leak at the Aliso Canyon natural gas storage facility, transportation fuel supply reliability issues, update on the Southern California electricity reliability, methane leakage, climate adaptation activities for the energy sector, climate and sea level rise scenarios, and includes the *California Energy Demand Forecast*.¹⁷⁸

California Environmental Quality Act

In accordance with the California Environmental Quality Act (CEQA) and Appendix G, Energy Conservation, of the CEQA Guidelines, in order to assure that energy implications are considered in project decisions, EIRs are required to include a discussion of the potentially significant energy impacts of proposed projects, with particular emphasis on avoiding or reducing inefficient, wasteful, and unnecessary consumption of energy. Appendix G of the CEQA Guidelines provides a list of energy-related topics that should be analyzed in the EIR. In addition, while not described or required as significance thresholds for determining the significance of impacts related to energy, Appendix G provides the following topics that the lead agency may consider in the discussion of energy use in an EIR, where topics are applicable or relevant to the project:

- The project's energy requirements and its energy use efficiencies by amount and fuel type for each stage of the project including construction, operation, maintenance, and/or removal. If appropriate, the energy intensiveness of materials may be discussed;
- The effects of the project on local and regional energy supplies and on requirements for additional capacity;
- The effects of the project on peak and base period demands for electricity and other forms of energy;
- The degree to which the project complies with existing energy standards;
- The effects of the project on energy resources;
- The project's projected transportation energy use requirements and its overall use of efficient transportation alternatives.

¹⁷⁸ CEC, 2016 Integrated Energy Policy Report, docketed January 18, 2017.

Regional

SCAG's 2016-2040 RTP/SCS presents a long-term transportation vision through the year 2040 for the six-county region of Imperial, Los Angeles, Orange, Riverside, San Bernardino, and Ventura Counties. On April 7, 2016, the SCAG Regional Council adopted the 2016-2040 RTP/SCS, the mission of which is "leadership, vision and progress which promote economic growth, personal well-being, and livable communities for all Southern Californians."¹⁷⁹ The 2016-2040 RTP/SCS includes land use strategies that focus on urban infill growth and walkable, mixed-use communities in existing urbanized and opportunity areas. More mixed-use, walkable, and urban infill development would be expected to accommodate a higher proportion of growth in more energy-efficient housing types like townhomes, apartments, and smaller single-family homes, as well as more compact commercial building types. Furthermore, the 2016-2040 RTP/SCS includes transportation investments and land use strategies that encourage carpooling, increase transit use, active transportation opportunities, and promoting more walkable and mixed-use communities, which would potentially help to reduce VMT.

The 2016-2040 RTP/SCS also establishes High-Quality Transit Areas (HQTAs), which are described as generally walkable transit villages or corridors that are within 0.5 mile of a well-serviced transit stop or a transit corridor with 15-minute or less service frequency during peak commute hours.¹⁸⁰ Local jurisdictions are encouraged to focus housing and employment growth within HQTAs to reduce VMT. The Project Sites are located within an HQTA as designated by the 2016-2040 RTP/SCS.¹⁸¹

Local

Green LA: An Action Plan to Lead the Nation in Fighting Global Warming and ClimateLA

Green LA is the City's climate action plan. The plan, released in May 2007, sets forth a goal of reducing the City's GHG emissions to 35 percent below 1990 levels by the year 2030.¹⁸² ClimateLA is the implementation program that provides detailed information about each action item discussed in the Green LA framework. ClimateLA includes focus areas addressing environmental issues including but not limited to energy, water, transportation, and waste.¹⁸³ The energy focus area includes action items with measures that aim to increase the use of renewable energy to 35 percent by 2020, reduce the use of coal-fired power plants, and present a comprehensive set of green building policies to guide and support private sector development.¹⁸⁴

¹⁷⁹ SCAG, 2016–2040 Regional Transportation Plan/Sustainable Communities Strategy, dated April 2016.

¹⁸⁰ SCAG, 2016–2040 RTP/SCS, p. 8.

¹⁸¹ SCAG, 2016–2040 RTP/SCS; Exhibit 5.1: High Quality Transit Areas in the SCAG Region for 2040 Plan, p. 77.

¹⁸² City of Los Angeles, *Green LA: An Action Plan to Lead the Nation In Fighting Global Warming*, May 2007.

¹⁸³ City of Los Angeles, *Climate LA: Municipal Program Implementing the GreenLA Climate Action Plan*, 2008.

¹⁸⁴ *Ibid.*

City of Los Angeles Green Building Code

The City's Green Building Code is based on CalGreen (discussed above), which was developed and mandated by the state to attain consistency among the various jurisdictions within the state with the specific goals to reduce a building's energy and water use, reduce waste, and reduce the carbon footprint. The following types of projects are subject to the City's Green Building Code:

- All new buildings (residential and non-residential)
- All additions (residential and nonresidential)
- Alterations with building valuations over \$200,000 (residential and non-residential)

Specific measures that may be incorporated into the Project could include, but are not limited to:

- Recycling of asphalt, concrete, metal, wood and cardboard waste generated during demolition and construction;
- Installation of a "cool roof" that reflects the sun's heat and reduces urban heat island effect;
- Use of recycled construction materials, including recycled steel framing, crushed concrete
- Use of sub-base in parking lots, fly ash-based concrete and recycled content in joists and joist girders when feasible;
- Use of locally (within 500 miles) manufactured construction materials, where possible;
- Use of energy efficient lighting;
- Use of Energy Star appliances in residential units;
- Use of high energy efficiency rooftop heating and conditioning systems;
- 15 percent of the roof area set aside for future solar panels;
- Use of ultra-low-flow toilets and low-flow metered hand-wash faucets in public facilities;
- Use of smart irrigation systems to avoid over-watering of landscape;
- Use of indigenous and/or water-appropriate plants in landscaping;
- Use of low-impact development measures using innovative design to filter and infiltrate stormwater runoff and reduce water sent to storm drain systems; and
- Provision of EV charging stations in the parking structure.

On December 20, 2016, the Los Angeles City Council approved Ordinance No. 184,692, which amended Chapter IX (Green Building Code) of the LAMC, by amending certain provisions of Article 9 to reflect local administrative changes and incorporating by reference portions of the 2016 CalGreen Code. Projects filed on or after January 1, 2017, must comply with the provisions of the City's Green Building Code. Specific mandatory requirements and elective measures are provided for three categories: (1) low-rise residential buildings; (2) nonresidential and high-rise residential buildings; and (3) additions and alterations to nonresidential and high-rise residential buildings. Article 9, Division 5 includes mandatory measures for newly constructed nonresidential and high-rise residential buildings.

City of Los Angeles Solid Waste Programs and Ordinances

The recycling of solid waste materials also contributes to reduced energy consumption. Specifically, when products are manufactured using recycled materials, the amount of energy that would have otherwise been consumed to extract and process virgin source materials is reduced. For example, in 2015, 3.61 million tons of aluminum was produced by recycling in the United States, saving enough energy to provide electricity to 7.5 million homes.¹⁸⁵ In 1989, California enacted AB 939, the California Integrated Waste Management Act, which establishes a hierarchy for waste management practices such as source reduction, recycling, and environmentally safe land disposal.¹⁸⁶ The City includes programs and ordinances related to solid waste. They include: (1) the City of Los Angeles Solid Waste Management Policy Plan, which was adopted in 1993 and is a long-range policy plan promoting source reduction for recycling for a minimum of 50 percent of the City's waste by 2000 and 70 percent of the waste by 2020; (2) the RENEW LA Plan, which is a Resource Management Blueprint with the aim to achieve a zero waste goal through reducing, reusing, recycling, or converting the resources now going to disposal so as to achieve an overall diversion level of 90 percent or more by 2025; (3) the Waste Hauler Permit Program (Ordinance 181,519), which requires all private waste haulers collecting solid waste, including construction and demolition waste, to obtain AB 939 Compliance Permits and to transport construction and demolition waste to City certified construction and demolition processing facilities; and (4) the Exclusive Franchise System Ordinance (Ordinance No. 182,986), which, among other requirements, sets maximum annual disposal levels and specific diversion requirements for franchised waste haulers in the City to promote solid waste diversion from landfills in an effort to meet the City's zero waste goals. These solid waste reduction programs and ordinances help to reduce the number of trips to haul solid waste, therefore reducing the amount of petroleum-based fuel, and also help to reduce the energy used to process solid waste.

2017 Power Strategic Long-Term Resource Plan

The 2017 Power Strategic Long-Term Resource Plan (2017 SLTRP) document serves as a comprehensive 20-year roadmap that guides LADWP's Power System in its efforts to supply reliable electricity in an environmentally responsible and cost effective manner. The 2017 SLTRP re-examines and expands its

¹⁸⁵ American Geosciences Institute, *How Does Recycling Save Energy?*, www.americangeosciences.org/critical-issues/faq/how-does-recycling-save-energy, accessed May 7, 2018.

¹⁸⁶ CalRecycle, *History of California Solid Waste Law, 1985–1989*, www.calrecycle.ca.gov/laws/legislation/calhist/1985to1989.htm, accessed May 7, 2018.

analysis on the 2016 Final Power Integrated Resource Plan resource cases with updates in line with latest regulatory framework, and updates to case scenario assumptions that include a 65 percent RPS, advanced energy efficiency, and higher levels of local solar, energy storage, and transportation electrification.

Recent updates include an updated 2016/17 Energy Efficiency Potential Study results with a target of 15 percent energy efficiency from 2017 through 2027, revised energy storage procurement targets, and completion of a distributed energy resources study titled, “Distributed Energy Resources Implementation Study (DERIS).” The 2017 SLTRP also includes numerous updates including new renewable projects, associated transmission upgrade cost and fuel cost assumptions, along with a host of other updates. The 2017 SLTRP uses system modeling tools to analyze and determine the long-term economic, environmental, and operational impact of alternative resource portfolios by simulating the integration of new resource alternatives within the existing mix of assets and providing the analytic results to inform the selection of a recommended case that is cost effective in reducing greenhouse gas emissions and maintains superior system reliability.

Early coal replacement and energy efficiency continue to be key strategies to reduce greenhouse gas emissions. Increasing the RPS to 55 percent by 2030 and 65 percent by 2036, including increased amounts of energy efficiency, local solar and energy storage, are other key initiatives to reduce greenhouse gas emissions. The 2017 SLTRP analyzed electrification of the transportation sector as a strategy to further reduce overall greenhouse gas emissions and to significantly reduce local emissions such as VOC, NO_x, CO, and PM_{2.5} that would result from electrifying local transportation and therefore recommends expanding existing programs to promote increased workplace and residential electric vehicle charging stations to support greater electric vehicle adoption while collaborating with regulatory agencies to develop mutually beneficial policies.

The 2017 SLTRP also includes a general assessment of the revenue requirements and rate impacts that support the recommended resource plan through 2037. While this assessment will not be as detailed and extensive as the financial analysis that was completed for 2015-16 fiscal year rate action, it clearly outlines the general requirements. As a long-term planning process, the 2017 SLTRP examines a 20-year horizon in order to secure adequate supplies of electricity.

Existing Conditions

Electricity

Electricity, a consumptive utility, is a man-made resource. The production of electricity requires the consumption or conversion of energy resources, including water, wind, oil, gas, coal, solar, geothermal, and nuclear resources, into energy. The delivery of electricity involves a number of system components, including substations and transformers that lower transmission line power (voltage) to a level appropriate for on-site distribution and use. The electricity generated is distributed through a network of transmission and distribution lines commonly called a power grid. Conveyance of electricity through transmission lines is typically responsive to market demands.

Energy capacity, or electrical power, is generally measured in watts (W), while energy use is measured in watt-hours (Wh). For example, if a light bulb has a capacity rating of 100 W, the energy required to keep

the bulb on for 1 hour would be 100 Wh. If ten 100-W bulbs were on for 1 hour, the energy required would be 1,000 Wh or 1 kilowatt-hour (kWh). On a utility scale, a generator's capacity is typically rated in megawatts (MW), which is one million W, while energy usage is measured in megawatt-hours (MWh) or gigawatt-hours (GWh), which is one billion Wh.

LADWP provides electrical service throughout the City and many areas of the Owens Valley, serving approximately 4.0 million people within a service area of approximately 465 square miles, excluding the Owens Valley. Electrical service provided by the LADWP is divided into two planning districts: Valley and Metropolitan. The Valley Planning District includes LADWP's service area north of Mulholland Drive, and the Metropolitan Planning District includes LADWP's service area south of Mulholland Drive. The Project Sites are located within LADWP's Metropolitan Planning District. LADWP generates power from a variety of energy sources, including hydropower, coal, gas, nuclear sources, and renewable resources, such as wind, solar, and geothermal sources. According to LADWP's 2016 IRP, LADWP has a net dependable generation capacity greater than 7,531 MW.¹⁸⁷ In 2017, LADWP's power system experienced an instantaneous peak demand of 6,432 MW.¹⁸⁸ Approximately 29 percent of LADWP's 2016 electricity purchases were from renewable sources, which is similar to the 25 percent statewide percentage of electricity purchases from renewable sources.¹⁸⁹

LADWP supplies electrical power to the Project Sites from electrical service lines located in the Project Sites' vicinity. Electricity is provided to the Project Sites through a network of utility poles that are operated and maintained by LADWP. Overhead electrical lines run north-south on South San Pedro Street and Crocker Street and east-west on East 6th Street adjacent to the Project Sites.

Existing Electricity Consumption at the Project Sites

Electricity is provided to the Project Sites through a network of utility poles that are operated and maintained by the LADWP. Site 1 is developed with a surface parking lot and a 7,000-square-foot food service building; Site 2 is developed with a surface parking lot. The existing parking lot uses do not consume any electricity. Based on CalEEMod calculations for the existing uses, the existing food service building consumes approximately 90,930 kilowatt-hours (kw-h) per year.¹⁹⁰

Natural Gas

Natural gas is a combustible mixture of simple hydrocarbon compounds (primarily methane) that is used as a fuel source. Natural gas consumed in California is obtained from naturally occurring reservoirs, mainly located outside the state, and delivered through high-pressure transmission pipelines. The natural gas transportation system is a nationwide network and thus, resource availability is typically not an issue.

¹⁸⁷ LADWP, 2016 Final Power Integrated Resource Plan.

¹⁸⁸ LADWP, 2017 Retail Electric Sales and Demand Forecast, p. 6.

¹⁸⁹ CEC, Utility Annual Power Content Labels for 2016, www.energy.ca.gov/pcl/labels/, accessed on May 7, 2018.

¹⁹⁰ Refer to Appendix F.

Natural gas provides almost one-third of the state's total energy requirements and is used in electricity generation, space heating, cooking, water heating, industrial processes, and as a transportation fuel.

Natural gas is provided to the Project Sites by the Southern California Gas Company (SCG). SCG is the principal distributor of natural gas in Southern California, serving residential, commercial, and industrial markets. SCG serves approximately 21.6 million customers in more than 500 communities encompassing approximately 20,000 square miles throughout Central and Southern California, from the City of Visalia to the Mexican border.

SCG receives gas supplies from several sedimentary basins in the western United States and Canada, including supply basins located in New Mexico (San Juan Basin), West Texas (Permian Basin), the Rocky Mountains, and Western Canada as well as local California supplies. The traditional, southwestern United States sources of natural gas will continue to supply most of SCG's natural gas demand. The Rocky Mountain supply is available but is used as an alternative supplementary supply source, and the use of Canadian sources provides only a small share of SCG supplies due to the high cost of transport. Gas supply available to SCG from California sources averaged 122 million cf per day in 2015 (the most recent year for which data are available).¹⁹¹

SCG supplies natural gas to the Project Sites from natural gas service lines located in the Project Sites' vicinity. Natural gas is provided to the Project Sites through a network of underground pipelines that are operated and maintained by SCG.

Existing Natural Gas Consumption at the Project Sites

Natural gas is provided to the Project Sites through a network of underground pipelines that are operated and maintained by the Southern California Gas Company (SCG). The existing parking lot uses do not consume any natural gas. Based on CalEEMod calculations for the existing uses, the existing food service building consumes approximately 72,870 thousand British thermal units (kBtu) per year.¹⁹²

Transportation Energy

According to the CEC, transportation accounts for nearly 37 percent of California's total energy consumption in 2014.¹⁹³ In 2015, California consumed 15.1 billion gallons of gasoline and 2.82 billion gallons of diesel fuel.¹⁹⁴ Petroleum-based fuels currently account for 90 percent of California's transportation energy sources.¹⁹⁵ However, the state is now working on developing flexible strategies to

¹⁹¹ Southern California Gas Company, 2016 California Gas Report, July 2016.

¹⁹² Refer to Appendix F.

¹⁹³ CEC, 2016 Integrated Energy Policy Report, docketed January 18, 2017, p. 4.

¹⁹⁴ California Board of Equalization, Net Taxable Gasoline Gallons 10-Year Report.

¹⁹⁵ CEC, 2016–2017 Investment Plan Update for the Alternative and Renewable Fuel and Vehicle Technology Program, March 2016.

reduce petroleum use. Over the last decade, California has implemented several policies, rules, and regulations to improve vehicle efficiency, increase the development and use of alternative fuels, reduce air pollutants and GHG emissions from the transportation sector, and reduce VMT. Accordingly, gasoline consumption in California has declined. The CEC predicts that the demand for gasoline will continue to decline over the next 10 years, and there will be an increase in the use of alternative fuels.¹⁹⁶ According to CARB's EMFAC Web Database, Los Angeles County on-road transportation sources consumed 4.42 billion gallons of gasoline and 0.69 billion gallons of diesel fuel in 2015.¹⁹⁷

The existing food service building on Site 1 currently generates a demand for transportation-related fuel use as a result of vehicle trips to and from the site. The estimate of annual VMT associated with this use is 135,930 per year.¹⁹⁸ A study by Caltrans found that the statewide average fuel economy for all vehicle types (automobiles, trucks, and motorcycles) is approximately 20.4 miles per gallon (mpg) of gasoline and approximately 5.71 mpg of diesel.¹⁹⁹ Thus, the existing VMT associated with existing conditions of the Project Sites translates to the consumption of approximately 6,064 gallons of gasoline and approximately 2,143 gallons of diesel for transportation per year.²⁰⁰

Environmental Impacts

Thresholds of Significance

Appendix G of the State CEQA Guidelines

Appendix G of the CEQA Guidelines was prepared in response to the requirement in Public Resources Code Section 21100(b)(3), which states that an EIR shall include a detailed statement setting forth "[m]itigation measures proposed to minimize significant effects of the environment, including, but not limited to, measures to reduce the wasteful, inefficient, and unnecessary consumption of energy."

In addition, with regard to potential impacts to energy, the *L.A. CEQA Thresholds Guide* (Thresholds Guide) states that a determination of significance shall be made on a case-by case basis, considering the following factors:

- The extent to which the project would require new (off-site) energy supply facilities and distribution infrastructure; or capacity-enhancing alterations to existing facilities;
- Whether and when the needed infrastructure was anticipated by adopted plans; and

¹⁹⁶ CEC, 2015 Integrated Energy Policy Report, docketed June 29, 2016, p. 113.

¹⁹⁷ CARB, EMFAC2014 Web Database, www.arb.ca.gov/emfac/2014/

¹⁹⁸ Refer to the CalEEMod calculations in Appendix D that include existing VMT.

¹⁹⁹ Caltrans, 2007 California Motor Vehicle Stock, Travel and Fuel Forecast, Table 7, <http://www.energy.ca.gov/2008publications/CALTRANS-1000-2008-036/CALTRANS-1000-2008-036.PDF>, accessed February 21, 2017.

²⁰⁰ Refer to Appendix F for detailed calculations.

- The degree to which the project design and/or operations incorporate energy- conservation measures, particularly those that go beyond City requirements.

Significance Threshold No. 1—With regard to energy use and consumption, a Project would result in significant impacts, if it would result in wasteful, inefficient, or unnecessary consumption of energy based on the evaluation of the following criteria:

1. The project's energy requirements and its energy use efficiencies by amount and fuel type for each stage of the project including construction, operation, maintenance, and/or removal. If appropriate, the energy intensiveness of materials may be discussed;
2. The effects of the project on local and regional energy supplies and on requirements for additional capacity;
3. The effects of the project on peak and base period demands for electricity and other forms of energy;
4. The degree to which the project complies with existing energy standards;
5. The effects of the project on energy resources;
6. The project's projected transportation energy use requirements and its overall use of efficient transportation alternatives.
7. The degree to which the project design and/or operations incorporate energy-conservation measures, particularly those that go beyond City requirements.
8. Whether the Project conflicts with adopted energy conservation plans.

Significance Threshold No. 2—With regard to energy infrastructure, the Project would result in significant impacts if it would result in an increase in demand for electricity or natural gas that exceeds available supply or distribution infrastructure capabilities that could result in the construction of new energy facilities or expansion of existing facilities, the construction of which could cause significant environmental effects.

Project Design Features

The following measures are included as part of the Project to reduce energy consumption:

- The Project shall not include natural gas-fueled fireplaces in the proposed residential units.
- Twenty percent of the Project's provided vehicle parking spaces would be capable of accommodating EV charging stations, and an additional five percent would be wired as EV charging stations for immediate use.

- The Project would incorporate approximately 10,500 square feet of solar voltaic panes on building roof levels. Approximately 4,500 square feet would be included on Site 1, and approximately 6,000 square feet would be included on Site 2.
- Windows would be included in all living units and common spaces for natural daylight, reducing the need for overhead lighting impacting the need for electricity. High-performance dual-pane windows and exterior materials would be used in order to reduce the need for energy driven mechanical systems.
- Active energy conservation strategies would include implementing LED lighting with daylighting controls and dimming capabilities, installing motion detector controls for all circulation and auxiliary spaces, providing Energy Star qualified appliances.
- Materials selection for the building would be made taking into consideration energy conservation, durability, reduction of air pollutants and recycling. Products would be chosen for their resiliency and durability in order to help offset maintenance costs. Finish materials would have no or low-VOC compounds, in order to help reduce the introduction of harmful chemicals into the building. Materials would be chosen for their pre/post-consumer content to reduce the amount of virgin material being used and reduce amount of waste.
- Plants and their substrate would act as a natural water filter reducing the contamination of water that leaves the site. Low-maintenance native and adapted plants would be chosen for landscaped areas and will take into consideration creating mini-ecosystems with habitats for birds and beneficial insects in order to increase the biodiversity at the site. The landscaped area could reduce the urban heat island effect and smog as the plants act as a natural air filter and absorb heat versus reflecting it. Pervious paving areas may also be used to reduce the amount of hardscape, decrease storm water run-off, and cool the microclimate of the building.
- High-efficiency toilets with a flush volume of 1.0 gallon per flush, or less.
- Showerheads with a flow rate of 1.5 gpm or less.
- Residential bathroom faucets equipped with aerators to reduce flow to 1.0 gpm or less.
- Drip/subsurface irrigation (micro-irrigation)
- Micro-spray
- Proper hydro-zoning/zoned irrigation (group plants with similar water requirements)
- Artificial turf

- Drought-tolerant plants – 50 percent of total landscaping

Analysis of Project Impacts

Significance Threshold No. 1: Would the Project result in wasteful, inefficient, or unnecessary use of energy based on the stated criteria?

The analysis below considers the eight criteria identified in the Thresholds of Significance subsection above to determine whether this significance threshold would be exceeded.

- 1) *The project's energy requirements and its energy use efficiencies by amount and fuel type for each stage of the project including construction, operation, maintenance, and/or removal. If appropriate, the energy intensiveness of materials may be discussed.*

The Project would consume energy during construction and operational activities. Sources of energy for these activities would include electricity usage, natural gas consumption, and transportation fuels such as diesel and gasoline. The analysis below includes the Project's energy requirements and energy use efficiencies by fuel type for each stage of the Project (construction, operations, maintenance and removal activities).

For purposes of this analysis, Project maintenance would include activities such as repair of structures, landscaping, and architectural coatings. Energy usage related to Project maintenance activities are assumed to be included as part of Project operations. Project removal activities would include demolition or abandonment of the site. However, it is not known when the Project would be removed. Therefore, analysis of energy usage related to Project removal activities would be speculative. For this reason, energy usage related to Project removal was not analyzed.

Construction

During Project construction, energy would be consumed in the form of electricity associated with the conveyance of water used for dust control and, on a limited basis, powering lights, electronic equipment, or other construction activities necessitating electrical power. As discussed below, construction activities, including the construction of new buildings and facilities, typically do not involve the consumption of natural gas. Project construction would also consume energy in the form of petroleum-based fuels associated with the use of off-road construction vehicles and equipment on the Project Sites, construction worker travel to and from the Project Sites, and delivery and haul truck trips (e.g., hauling of demolition material to off-site reuse and disposal facilities).

As shown on Table 6-73 and as discussed further below, Project construction would consume approximately a total of 1,182 kWh of electricity, 330,664 gallons of gasoline, and 32,892 gallons of diesel. Project construction is expected to be completed by 2025.

Table 6-73
Summary of Energy Use During Project Construction

Fuel Type	Quantity
Electricity	
Water Consumption	1,182 kWh
Lighting, electronic equipment, and other construction activities necessitating electrical power	N/A
Total Electricity	1,182 kWh
Gasoline	
On-Road Construction Equipment	330,664 gallons
Off-Road Construction Equipment	0 gallons
Total Gasoline	330,664 gallons
Diesel	
On-Road Construction Equipment	22,286 gallons
Off-Road Construction Equipment	10,606 gallons
Total Diesel	32,892 gallons
Total Petroleum-Based Fuel	363,556 gallons
<i>kWh = kilowatt-hours</i>	
<i>Detailed calculations are included in Appendix P.</i>	

Electricity

During construction of the Project, electricity would be consumed to supply and convey water for dust control and, on a limited basis, may be used to power lighting, electronic equipment, and other construction activities necessitating electrical power. Electricity would be supplied to the Project Sites by LADWP and would be obtained from the existing electrical lines that connect to the Project Sites. This would be consistent with suggested measures in the Threshold Guide to use electricity from power poles rather than temporary gasoline or diesel-powered generators.

As shown on Table 6-73, a total of approximately 1,182 kWh of electricity is anticipated to be consumed during Project construction. The electricity demand at any given time would vary throughout the construction period based on the construction activities being performed, and would cease upon completion of construction. When not in use, electric equipment would be powered off so as to avoid unnecessary energy consumption.

The estimated construction electricity usage represents approximately 0.05 percent of the estimated net annual operational demand, which is discussed below, would be within the supply and infrastructure service capabilities of LADWP. Moreover, construction electricity usage would replace the existing electricity usage at the Project Sites during construction.

Natural Gas

Construction activities, including the construction of new buildings and facilities, typically do not involve the consumption of natural gas. Accordingly, natural gas would not be supplied to support Project construction activities; thus there would be no demand generated by construction.

Transportation Energy

The petroleum-based fuel use summary provided above on Table 6-73 represents the amount of transportation energy that could potentially be consumed during Project construction based on a conservative set of assumptions outlined in Appendix P of this SCEA. As shown, on- and off-road vehicles would consume an estimated 330,664 gallons of gasoline and approximately 32,892 gallons of diesel fuel throughout the Project's construction. For comparison purposes, the fuel usage during Project construction would represent approximately 0.007 percent of the 2017 annual on-road gasoline-related energy consumption and 0.005 percent of the 2017 annual diesel fuel-related energy consumption in Los Angeles County, as shown in Appendix P of this SCEA.

Operation

During operation of the Project, energy would be consumed for multiple purposes, including, but not limited to HVAC; refrigeration; lighting; and the use of electronics, equipment, and machinery. Energy would also be consumed during Project operations related to water usage, solid waste disposal, and vehicle trips. As shown on Table 6-74, the Project's net demand for electricity would be approximately 2,238,713 kWh per year. As shown on Table 6-75, the Project's net demand for natural gas would be 3,361,259 kBtu per year. As shown on Table 6-76, the Project's net demand for gasoline and diesel would be 192,464 and 68,006 gallons per year, respectively.

Table 6-74
Project Estimated Electricity Demand

Land Use	Size	Total (kw-h/yr)¹
Residential	685 du	1,512,700
Commercial	48,043 sf	265,329
Enclosed Parking	93,452 sf	467,347
Project Total		2,245,376
Less Existing		6,663
Net Total		2,238,713
<i>du = dwelling unit sf = square feet kw-h = kilowatt-hour yr = year</i> ¹ Calculated via CalEEMod. Refer to Appendix D. Note: LADWP does not provide or comment on generation rates to provide an estimate of demand.		

Table 6-75
Project Estimated Natural Gas Demand

Land Use	Size	Total (kBTU/yr)¹
Residential	685 du	3,520,870
Commercial	48,043 sf	183,259
Enclosed Parking	93,452 sf	0
Project Total		3,704,129
Less Existing		72,870
Net Total		3,631,259
<i>du = dwelling unit sf = square feet kBTU = 1,000 British Thermal Units yr = year</i> ¹ Calculated via CalEEMod. Refer to Appendix D. Note: SCG does not provide or comment on generation rates to provide an estimate of demand.		

Table 6-76
Estimated Project Transportation Petroleum-Based Fuel

Fuel Type	Gallons Per Year
Gasoline	
Project	198,528
<i>Less Existing</i>	<i>6,064</i>
Net Total Gasoline	192,464
Diesel	
Project	70,148
<i>Less Existing</i>	<i>2,142</i>
Net Total Diesel	68,006
Total Fuel	260,470
<i>Detailed calculations are included in Appendix P.</i>	

Electricity

With compliance with 2016 Title 24 standards and applicable requirements of the City's Green Building Code, buildout of the Project would result in a projected net increase in the on-site demand for electricity totaling approximately 2,238,713 kWh per year (refer to Table 6-75). In addition, LADWP is required to procure at least 33 percent of their energy portfolio from renewable sources by 2020. The current sources procured by LADWP include wind, solar, and geothermal sources. These sources account for 29 percent of LADWP's overall energy mix in 2016, the most recent year for which data are available.²⁰¹ This represents the available off-site renewable sources of energy that would meet the Project's energy demand. Furthermore, the Project would incorporate approximately a total of 10,500 square feet of solar voltaic panes on building roof levels and other active energy conservation strategies, such as LED lighting with day-lighting controls and dimming capabilities, and Energy Star light bulbs.

²⁰¹ CEC, *Utility Annual Power Content Labels for 2016*, www.energy.ca.gov/pcl/labels/.

Based on LADWP's 2017 STLRP, LADWP forecasts that its total energy sales in the 2024-2025 fiscal year (the Project's buildout year) will be 23,286 GWh of electricity.²⁰² As such, the Project-related net increase in annual electricity consumption of 2,238,713 kWh per year would represent approximately 0.009 percent of LADWP's projected sales in 2024-2025.

Natural Gas

With compliance with 2016 Title 24 standards and applicable requirements of the City's Green Building Code, buildout of the Project is projected to generate a net increase in the on-site demand for natural gas totaling approximately 3,631,259 kBTU per year, or approximately 9,949 kBTU per day (9,753 cf per day).²⁰³ Based on the 2016 California Gas Report, the California Energy and Electric Utilities estimates natural gas consumption within SCG's planning area will be approximately 2,526 million cf per day in 2021 (the year of the California Gas Report that is closest to Project's buildout year). The Project would account for approximately 0.0003 percent of the forecasted 2021 consumption in SCG's planning area. In addition, the Project would incorporate a variety of energy conservation measures as required under the City's Green Building Code to reduce energy usage and those included as PDF-1.

Transportation Energy

During operation, Project-related traffic would result in the consumption of petroleum-based fuels related to vehicular travel to and from the Project Sites. As noted previously, the Project Sites are located in an HQTAs designated by SCAG that indicates that the Project Sites are an appropriate site for increased density and employment opportunities from a "smart growth" regional planning perspective. As discussed in response to Checklist Question 16(a) (Transportation/Traffic) of this SCEA, extensive public bus and rail transit service is provided within the Project study area. Public bus transit service in the immediate Project study area is currently provided by Metro, City of Gardena Transit, and City of Montebello Bus Lines. Additional public bus transit service in the Downtown Los Angeles area is provided by Foothill Transit, LADOT DASH Transit Service, Orange County Transportation Authority, and Torrance Transit Service. The Metro Red and Gold lines also are provided in proximity to the Project Sites. Metro's nearest Purple/Red line station is the Pershing Square station, which is located approximately 0.7 miles northwest of the Project Sites, while the nearest Metro Gold Line station is situated approximately 0.8 miles northeast of the Project Sites at the Little Tokyo/Arts District station. Additionally, as noted previously, the Project Sites are located less than 1.0 mile from Metro's Regional Connector 1st Street portal, which is currently under construction. Walk Score calculates a transit score based on the number and proximity of bus and rail routes, which generates a transit score of approximately 95 (Rider's Paradise) out of 100 for the Project Sites.²⁰⁴ The existing transit services in the vicinity of the Project

²⁰² 2017 Power Strategic Long-Term Resource Plan, December 2017, LADWP, Appendix A.

²⁰³ kBTU = 1,000 BTU. One BTU equals 1,020 cubic feet. $3,631,259 \times 1,000 = 3,631,259,000$ BTU. $13,190,078,000$ BTU/1,020 cf = 3,560,057 cf. $3,560,057/365$ days = 9,753 cf/day.

²⁰⁴ Refer to <http://www.walkscore.com/>, which generates the transit score for the project site. Walk Score calculates the transit score of an address by locating nearby bus/rail transit routes and stops. Walk Score measures how easy it is to live a car-lite lifestyle—not how pretty the area is for using transit service.

Sites would provide Project employees, residents, and guests with various public transportation opportunities in lieu of driving. Additionally, the Project would provide bicycle storage areas for Project residents and guests. The Project would also incorporate characteristics that would reduce trips and VMT as compared to standard ITE trip generation rates. The Project characteristics listed below are consistent with the CAPCOA guidance document, *Quantifying Greenhouse Gas Mitigation Measures*, which provides emission reduction values for recommended mitigation measures, and would reduce vehicle trips to the Project Sites and VMT to the Project Sites. These Project characteristics would result in a corresponding reduction in VMT and associated transportation energy consumption and reduce the potential for inefficient, wasteful, and unnecessary use of energy. Qualifying measures applicable to the Project include the following:

- **Increase Density (LUT-1):** Increased density, measured in terms of persons, jobs, or dwelling units per unit area, reduces emissions associated with transportation as it reduces the distance people travel for work or services and provides a foundation for the implementation of other strategies, such as enhanced transit services. On Site 1, the Project would increase the density from a 7,000-square-foot food service building and surface parking to 382 dwelling units, 25,493 square feet of philanthropic institution, and 2,250 square feet of commercial retail use. On Site 2, the Project would increase the density from a surface parking lot to 303 dwelling units, 17,100 square feet uses. Both sites are in an area rich in transit services.
- **Increase Diversity of Urban and Suburban Developments (Mixed-Uses) (LUT-3):** The Project would introduce new residential and commercial uses on the Project Sites. The Project would co-locate complementary commercial and residential land uses in proximity to other existing off-site commercial and residential uses. The increases in land use diversity and mix of uses on the Project Sites would reduce vehicle trips and VMT by encouraging non-automotive forms of transportation (i.e. walking and biking), which would result in corresponding reductions in transportation-related emissions.
- **Increase Destination Accessibility (LUT-4):** The Project Sites are located in an area that offers access to multiple nearby retail and entertainment destinations. In addition, the Project Sites are located in Downtown Los Angeles, a primary job center, also easily accessible by public transportation. The access to multiple destinations in proximity to the Project Sites would reduce vehicle trips and VMT and would encourage walking and non-automotive forms of transportation, and would result in corresponding reductions in transportation-related emissions.
- **Increase Transit Accessibility (LUT-5):** The Metro Red and Gold rail lines also are provided in proximity to the Project Sites. Metro's nearest Purple/Red line station is the Pershing Square station, which is located approximately 0.7 miles northwest of the Project Sites, while the nearest Metro Gold Line station is situated approximately 0.8 miles northeast of the Project Sites at the Little Tokyo/Arts District station. Additionally, the Project Sites are located less than 1.0 mile from Metro's Regional Connector 1st Street portal, which is currently under construction. The Project would also provide adequate bicycle parking spaces for residential and commercial uses to encourage utilization of alternative modes of transportation.

- **Improve Design of Development (LUT-9):** The Project would include improved design elements including developing ground floor retail, open space, and improved streetscape which would enhance walkability in the Project Sites' vicinity. The Project would also locate a development in an area with a high level of street accessibility and connectivity.
- **Provide Pedestrian Network Improvements (SDT-1):** Providing links and minimizing barriers to the Project Sites with existing or planned external streets would encourage people to walk instead of drive. The Project would link to the existing off-site pedestrian network, including existing off-site sidewalks, to encourage and increase pedestrian activities in the area that would further reduce VMT and associated transportation-related emissions. Furthermore, the Project would result in an improved and aesthetically appealing streetscape that would promote pedestrian activity, particularly between the 0.7 miles from the Purple/Red line station at Pershing Square to the Project Sites.
- **Traffic Calming Measures (SDT-2):** Providing traffic calming measures encourages people to walk or bike instead of using a vehicle. This mode shift results in a decrease in VMT. Streets within a half mile of the Project Sites are equipped with sidewalks, and approximately many of the intersections include marked crosswalks and/or count-down signal timers that calm traffic.

When accounting for the measures that would be implemented to reduce VMT, the Project's estimated petroleum-based fuel usage would be approximately 198,528 gallons of gasoline and 70,148 gallons of diesel per year, or a total of 260,470 gallons of petroleum-based fuels annually.

Summary of Energy Requirements and Energy Use Efficiencies

Appendix G of the CEQA Guidelines recommends quantification of a project's energy requirements and its energy use efficiencies by amount and fuel type for each stage of the project's life cycle including construction, operation, maintenance, and/or removal. If appropriate, the energy intensiveness of materials may be discussed. The Project's energy requirements were calculated based on the methodology contained in CalEEMod for electricity and natural gas usage. Project VMT data was calculated based on CAPCOA guidelines. The calculations also took into account energy efficiency measures such as Title 24, CalGreen and vehicle fuel economy standards. Tables 6-75 through 6-77 provide a summary of Project construction and operational energy usage. During Project construction activities, a total of 1,182 kWh of electricity would be consumed along with approximately 363,556 gallons of transportation fuel (gasoline and diesel). During Project operations, a total of 2,238,713 kWh of electricity, 3,631,259,150 kBTU of natural gas, and 260,470 gallons of transportation fuel would be consumed on an annual basis.

- 2) *The effects of the project on local and regional energy supplies and on requirements for additional capacity.*

Construction

As discussed above, electricity would be intermittently consumed during the conveyance of the water used to control fugitive dust, as well as to provide electricity for temporary lighting and other general construction activities. The electricity demand at any given time would vary throughout the construction

period based on the construction activities being performed and would cease upon completion of construction. When not in use, electric equipment would be powered off so as to avoid unnecessary energy consumption. The estimated construction electricity usage represents approximately 0.05 percent of the estimated net annual operational demand and would be within the supply and infrastructure service capabilities of LADWP. Furthermore, the electricity demand during construction would be somewhat offset with the removal of the existing on-site uses which currently generate a demand for electricity. Construction activities, including the construction of new buildings and facilities, typically do not involve the consumption of natural gas. Accordingly, natural gas would not be supplied to support Project construction activities; thus there would be no demand generated by construction, resulting in a net decrease when compared to existing operations. Transportation fuel usage during Project construction activities would represent approximately 0.007 percent of gasoline usage and 0.005 percent of diesel usage within Los Angeles County, respectively.²⁰⁵ As energy consumption during Project construction activities would be relatively negligible, the Project would not likely affect regional energy consumption in years during the construction period.

Operation

As stated previously, based on LADWP's 2017 STRLP, LADWP forecasts that its total energy sales in the 2021–2022 fiscal year (the Project's buildout year) will be 26,835 GWh of electricity. LADWP forecasts that its total energy sales in the 2024–2025 fiscal year (the Project's buildout year) will be 23,286 GWh of electricity. As such, the Project-related net increase in annual electricity consumption of 2,238,713 kWh per year would represent approximately 0.009 percent of LADWP's projected sales in 2024–2025.

As stated above, the Project's estimated net increase in demand for natural gas is 3,631,259 kBTU per year (3,560,057 cf per year), or approximately 9,949 kBTU per day (9,753 cf per day). Based on the 2016 California Gas Report, the California Energy and Electric Utilities estimates natural gas consumption within SCG's planning area will be approximately 2,526 million cf per day in 2021 (the year of the California Gas Report that is closest to Project's buildout year). The Project would account for approximately 0.0003 percent of the forecasted 2021 consumption in SCG's planning area.

At buildout, the Project would consume a net total of 192,454 gallons of gasoline and 68,006 gallons of diesel per year, or a net total of 260,470 gallons of petroleum-based fuels per year. For comparison purposes, the transportation-related fuel usage for the Project would represent approximately 0.005 percent of the 2017 annual on-road gasoline- and diesel-related energy consumption in Los Angeles County, as shown in Appendix P of this SCEA.

In sum, energy consumption during Project operations would be relatively negligible, and energy requirements would be within LADWP's and SCG's service provision.

²⁰⁵ *Refer to County fuel calculations in Appendix P.*

3) *The effects of the project on peak and base period demands for electricity and other forms of energy.*

As discussed above, electricity demand during construction and operation of the Project would have a negligible effect on the overall capacity of LADWP's power grid and base load conditions. With regard to peak load conditions, LADWP's power system experienced an all time high peak of 6,432 MW on August 31, 2017.²⁰⁶ LADWP also estimates a peak load based on two years of data known as base case peak demand to account for typical peak conditions. Based on LADWP estimates for 2017, the base case peak demand for the power grid is 5,854 MW.²⁰⁷ Under peak conditions, the Project would consume 4,538,308 kWh on an annual basis, equivalent to 255 kW. In comparison to the LADWP power grid base peak load of 5,854 MW in 2017, the Project would represent approximately 0.002 percent of the LADWP base peak load conditions. In addition, LADWP's annual growth projection in peak demand of the electrical power grid of 0.4 percent would be sufficient to account for future electrical demand by the Project.²⁰⁸ Therefore, Project electricity consumption during operational activities would have a negligible effect on peak load conditions of the power grid.

4) *The degree to which the project complies with existing energy standards.*

Although Title 24 requirements typically apply to energy usage for buildings, construction equipment would also comply with Title 24 requirements where applicable. Electricity and natural gas usage during Project operations presented on Tables 6-74 through 6-76 would comply with 2016 Title 24 standards and applicable 2016 CalGreen Code requirements and the City's Green Building Code. Therefore, Project construction and operational activities would comply with existing energy standards with regards to electricity and natural gas usage.

With regard to transportation fuels, trucks and equipment used during proposed construction activities, the Project would comply with CARB's anti-idling regulations as well as the In-Use Off-Road Diesel-Fueled Fleets regulation. Although these regulations are intended to reduce criteria pollutant emissions, compliance with the anti-idling and emissions regulations would also result in efficient use of construction-related energy. During Project operations, vehicles travelling to and from the Project Sites are assumed to comply with CAFE fuel economy standards. Project-related vehicle trips would also comply with Pavley and Low Carbon Fuel Standards, which are designed to reduce vehicle GHG emissions but would also result in fuel savings in addition to CAFE standards. Therefore, Project construction and operational activities would comply with existing energy standards with regards to transportation fuel consumption.

²⁰⁶ LADWP, 2017 Retail Electric Sales and Demand Forecast. p. 6.

²⁰⁷ Ibid.

²⁰⁸ Ibid.

5) *Effects of the Project on Energy Resources*

As discussed above, LADWP's electricity generation is derived from a mix of non-renewable and renewable sources such as coal, natural gas, solar, geothermal, wind, and hydropower. LADWP's 2017 STLRP identifies adequate resources (natural gas, coal) to support future generation capacity.

Natural gas supplied to the Southern California is mainly sourced from out of state with a small portion originating in California. Sources of natural gas for the Southern California region are obtained from locations throughout the western United States as well as Canada.²⁰⁹ According to the U.S. Energy Information Administration (EIA), the United States currently has over 80 years of natural gas reserves based on 2015 consumption.²¹⁰ Compliance with energy standards is expected to result in more efficient use of natural gas (lower consumption) in future years. Therefore, Project construction and operation activities would have a negligible effect on natural gas supply.

Transportation fuels (gasoline and diesel) are produced from crude oil, which is imported from various regions around the world. Based on current proven reserves, crude oil production would be sufficient to meet over 50 years of consumption.²¹¹ The Project would also comply with CAFE fuel economy standards, which would result in more efficient use of transportation fuels (lower consumption). Project-related vehicle trips would also comply with Pavley and Low Carbon Fuel Standards, which are designed to reduce vehicle GHG emissions but would also result in fuel savings in addition to CAFE standards. Therefore, Project construction and operation activities would have a negligible effect on the transportation fuel supply.

As discussed above in the Regulatory Framework, one of the objectives of SB 350 is to increase procurement of California's electricity from renewable sources from 33 percent to 50 percent by 2030. Accordingly, LADWP is required to procure at least 50 percent of their energy portfolio from renewable sources by 2030. The current sources of renewable energy procured by LADWP include wind, solar, and geothermal sources. These sources account for 29 percent of LADWP's overall energy mix in 2016, the most recent year for which data are available.²¹² This represents the available off-site renewable sources of energy that would meet the Project's energy demand.

With regard to on-site renewable energy sources, as required under the City's Green Building Code, the Project would include the provision of conduit that is appropriate for future photovoltaic and solar thermal collectors. However, due to the Project Sites' location, other on-site renewable energy sources would not be feasible to install on-site as there are no local sources of energy from the following sources: biodiesel, biomass hydroelectric and small hydroelectric, digester gas, fuel cells, landfill gas, municipal

²⁰⁹ *California Gas and Electric Utilities, 2016 California Gas Report, 2016.*

²¹⁰ *U.S. Energy Information Administration, Frequently Asked Questions, www.eia.gov/tools/faqs/faq.php?id=58&t=8, accessed May 7, 2018.*

²¹¹ *BP Global, Oil reserves, <https://www.bp.com/en/global/corporate/energy-economics/statistical-review-of-world-energy/oil/oil-reserves.html>, accessed May 7, 2018.*

²¹² *CEC, Utility Annual Power Content Labels for 2016, www.energy.ca.gov/pcl/labels/.*

solid waste, ocean thermal, ocean wave, and tidal current technologies, or multi-fuel facilities using renewable fuels. Furthermore, while methane is a renewable derived biogas and was found beneath the Project Sites, it is not available on the Project Sites in commercially viable quantities or form, and its extraction and treatment for energy purposes would result in secondary impacts. Additionally, wind-powered energy is not viable on the Project Sites due to the lack of sufficient wind in the Los Angeles basin.

Specifically, based on a map of California's wind resource potential, the Project Sites are not identified as an area with wind resource potential.²¹³

- 6) *The project's projected transportation energy use requirements and its overall use of efficient transportation alternatives.*

The Project's high-density design and proximity to job centers and retail uses would allow for more residents to live closer to work and shopping areas, reducing associated VMT. The design of the Project, which includes dedicated bicycle parking facilities and an improved streetscape with pedestrian amenities, also would encourage non-automotive forms of transportation such as walking or biking to destinations. In addition, extensive public bus and rail transit service is provided within the area of the Project Sites and provide regular service intervals of 15 minutes during the peak hours. Public bus transit service in the immediate Project study area is currently provided by Metro, City of Gardena Transit, and City of Montebello bus lines. Additional public bus transit service in the Downtown Los Angeles area is provided by Foothill Transit, LADOT DASH Transit Service, Orange County Transportation Authority, and Torrance Transit Service. The Metro Red and Gold rail lines also are provided in proximity to the Project Sites. Metro's nearest Purple/Red line station is the Pershing Square station, which is located approximately 0.7 miles northwest of the Project Sites, while the nearest Metro Gold Line station is situated approximately 0.8 miles northeast of the Project Sites at the Little Tokyo/Arts District station. Additionally, the Project Sites are located less than 1.0 mile from Metro's Regional Connector 1st Street portal, which is currently under construction. As shown previously on Table 6-67 (refer to Response to Checklist Question 16[a] [Transportation/Traffic]), due to the Project's mixed-use nature, the Project would result in a reduction of approximately 177 daily trips, resulting in an associated reduction of VMT. Therefore, the Project would encourage the use of efficient transportation alternatives.

- 7) *The degree to which the project design and/or operations incorporate energy-conservation measures, particularly those that go beyond City requirements*

The City's current Green Building Code requires compliance with the CalGreen Code and California's Building Energy Efficiency Standards (Title 24). The Project would be required to comply with the City's Green Building Code.

²¹³ CEC, National Renewable Energy Laboratory (NREL) Wind Prospector, <https://maps.nrel.gov/wind-prospector/#/?aL=kM6jR-%255Bv%255D%3Dt%26qCw3hR%255Bv%255D%3Dt%26qCw3hR%255Bd%255D%3DI&bL=groad&cE=0&lR=0&mC=36.416862115300304%2C-120.421142578125&zL=8>, accessed May 7, 2018.

The City has also adopted several plans and regulations to promote the reduction, reuse, recycling, and conversion of solid waste going to disposal systems. These regulations include the City of Los Angeles Solid Waste Management Policy Plan, the RENEW LA Plan, and the Exclusive Franchise System Ordinance (Ordinance No. 182,986). These solid waste reduction programs and ordinances help to reduce the number of trips associated with hauling solid waste, thereby reducing the amount of petroleum-based fuel consumed. Furthermore, recycling efforts indirectly reduce the energy necessary to create new products made of raw material, which is an energy-intensive process. Thus, through compliance with the City's construction-related solid waste recycling programs, the Project would contribute to reduced fuel-related energy consumption.

8) *Whether the Project conflicts with adopted energy conservation plans.*

The Project would comply with applicable regulatory requirements for the design of new buildings, including the provisions set forth in the 2016 CalGreen Code and California's Building Energy Efficiency Standards, which have been incorporated into the City's Green Building Code.

With regard to transportation uses, the Project design would reduce the VMT throughout the region and encourage use of alternative modes of transportation. The Project would be consistent with regional planning strategies that address energy conservation. As discussed in Section 3 (SCEA Criteria and Transit Priority Project Consistency Analysis), SCAG's 2016-2040 RTP/SCS focuses on creating livable communities with an emphasis on sustainability and integrated planning, and identifies mobility, economy, and sustainability as the three principles most critical to the future of the region. As part of the approach, the 2016-2040 RTP/SCS focuses on reducing fossil fuel use by decreasing VMT, reducing building energy use, and increasing use of renewable sources. The Project would be consistent with the energy efficiency policies emphasized in the 2016-2040 RTP/SCS. Most notably, the Project would be a mixed-use development consisting of 685 dwelling units, 25,493 square feet of philanthropic institution uses, 5,450 square feet of retail uses, and 17,100 square feet of office uses, located in "Skid Row," which is characterized by a high degree of pedestrian activity. The Project would provide greater proximity to neighborhood services, jobs, and residences and would be well served by existing public transportation, including Metro bus lines and rail lines. This is evidenced by the Project Sites' location within a designated HQT. The introduction of new housing and job opportunities within an HQT, as proposed by the Project, is consistent with numerous policies in the 2016-2040 RTP/SCS related to locating new housing and jobs near transit. The 2016-2040 RTP/SCS would result in an estimated 8 percent decrease in VMT by 2020, an 18 percent decrease in VMT by 2035, and a 21 percent decrease in VMT by 2040. By meeting and exceeding the SB 375 targets for 2020 and 2035, as well as achieving an approximately 21 percent decrease in VMT by 2040 (an additional 3 percent reduction in the 5 years between 2035 [18 percent] and 2040 [21 percent]), the 2016-2040 RTP/SCS is expected to fulfill and exceed its portion of SB 375 compliance with respect to meeting the state's GHG emission reduction goals. Thus, consistent with the 2016-2040 RTP/SCS, the Project would reduce VMT and associated petroleum-based fuel. As such, based on the above, the Project would be consistent with adopted energy conservation plans.

Conclusion Regarding Significance Threshold No. 1

As demonstrated in the analysis of the eight criteria discussed above, the Project would not result in any wasteful, inefficient, or unnecessary consumption of energy during construction or operation. The Project's energy requirements would not significantly affect local and regional supplies or capacity. The Project's energy usage during peak and base periods would also be consistent with electricity and natural gas future projections for the region. Electricity generation capacity and supplies of natural gas and transportation fuels would also be sufficient to meet the needs of Project-related construction and operations. During operations, the Project would comply with the City's existing energy efficiency requirements under the City's Green Building Code. In summary, the Project's energy demands would not significantly affect available energy supplies and would comply with existing energy efficiency standards. Therefore, Project impacts related to energy use under Significance Threshold No. 1 would be less than significant during construction and operation.

Significance Threshold No. 2: Would the Project result in an increase in demand for electricity or natural gas that exceeds available supply or distribution infrastructure capabilities that could result in the construction of new energy facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?

Construction***Electricity***

As discussed above, construction activities at the Project Sites would require minor quantities of electricity for lighting, power tools, and other support equipment. Heavy construction equipment would be powered with diesel fuel.

During Project construction activities, electricity usage represents 0.05 percent of the estimated net annual Project operational demand, which as described below, LADWP's existing electrical infrastructure currently has enough capacity to provide service for. Moreover, construction electricity usage would replace the existing electricity usage at the Project Sites during construction since the existing on-site uses, which currently generate a demand for electricity would be removed. As existing power lines are located in the vicinity of the Project Sites, temporary power poles may be installed to provide electricity during Project construction. Existing off-site infrastructure would not have to be expanded or newly developed to provide electrical service to the project during construction or demolition. Therefore, the Project would not result in an increase in demand for electricity or natural gas that exceeds available supply or distribution infrastructure capabilities that could result in the construction of new energy facilities or expansion of existing facilities, the construction of which could cause significant environmental effects.

With regard to existing electrical distribution lines, the Project Applicant would be required to coordinate electrical infrastructure removals or relocations with LADWP and comply with site-specific requirements set forth by LADWP, which would ensure that service disruptions and potential impacts associated with grading, construction, and development within LADWP easements are minimized. Project contractors would notify and coordinate with SCG to identify the locations and depth of all existing gas lines and

avoid disruption of gas service to other properties. As such, construction of the Project is not anticipated to adversely affect the electrical infrastructure serving the surrounding uses or utility system capacity.

Natural Gas

Construction activities, including the construction of new buildings and facilities, typically do not involve the consumption of natural gas. Accordingly, natural gas would not be supplied to support Project construction activities; thus there would be no demand generated by construction. However, the Project would involve installation of new natural gas connections to serve the Project Sites. Since the Project Sites are located in an area already served by existing natural gas infrastructure, it is anticipated that the Project would not require extensive off-site infrastructure improvements to serve the Project Sites. Construction impacts associated with the installation of natural gas connections would be confined to trenching in order to place the lines below surface. In addition, prior to ground disturbance, Project contractors would notify and coordinate with SCG to identify the locations and depth of all existing gas lines and avoid disruption of gas service to other properties. Therefore, construction of the Project would not result in an increase in demand for natural gas to affect available supply or distribution infrastructure capabilities and would not result in the construction of new energy facilities or expansion of existing facilities, the construction of which could cause significant environmental effects.

Operation

Electricity

As shown on Table 6-74, the Project's operational electricity usage would be 2,238,713 kWh per year, which is approximately 0.009 percent of LADWP's projected sales in 2024-2025. In addition, during peak conditions, the Project would represent approximately 0.008 percent of the LADWP estimated peak load. LADWP has confirmed that the Project's electricity demand can be served by the facilities in the Project area. Therefore, during Project operations, it is anticipated that LADWP's existing and planned electricity capacity and electricity supplies would be sufficient to support the Project's electricity demand.

Natural Gas

As stated above, the Project's estimated net increase in demand for natural gas is 3,631,259 kBTU per year (3,560,057 cf per year), or approximately 9,949 kBTU per day (9,753 cf per day). Based on the 2016 California Gas Report, the California Energy and Electric Utilities estimates natural gas consumption within SCG's planning area will be approximately 2,526 million cf per day in 2021 (the year of the California Gas Report that is closest to Project's buildout year). The Project would account for approximately 0.0003 percent of the forecasted 2021 consumption in SCG's planning area. Therefore, it is anticipated that SCG's existing and planned natural gas supplies would be sufficient to support the Project's net increase in demand for natural gas.

Conclusion Regarding Significance Threshold No. 2

As demonstrated in the analysis above, construction and operation of the Project would not result in an increase in demand for electricity or natural gas that exceeds available supply or distribution

infrastructure capabilities that could result in the construction of new energy facilities or expansion of existing facilities, the construction of which could cause significant environmental effects. Therefore, Project impacts related to energy infrastructure capacity would be less than significant during construction and operation.

Cumulative Impacts

Significance Threshold No. 1 (Use and Consumption of Energy)

Cumulative impacts occur when impacts that are significant or less than significant from a proposed project combine with similar impacts from other past, present, or reasonably foreseeable projects in a similar geographic area. Based on the information presented in on Table 2-2 in Section 2 (Project Description), there are 161 related projects located within the vicinity of the Project Sites. The geographic context for the cumulative analysis of electricity is LADWP's service area and the geographic context for the cumulative analysis of natural gas is SCG's service area. While the geographic context for transportation-related energy use is more difficult to define, it is meaningful to consider the Project in the context of countywide consumption. Growth within these geographies is anticipated to increase the demand for electricity, natural gas, and transportation energy, as well as the need for energy infrastructure, such as new or expanded energy facilities.

Electricity

Buildout of the Project, related projects, and additional forecasted growth in LADWP's service area would cumulatively increase the demand for electricity supplies and infrastructure capacity. As stated previously, LADWP forecasts that its total energy sales for the 2024-2025 fiscal year (the Project buildout year) will be 23,286 GWh of electricity. Based on the Project's estimated net new electrical consumption of 2,238,713 kWh per year, the Project would account for approximately 0.009 percent of LADWP's total projected sales for the Project's buildout year. Thus, although Project development would result in the use of renewable and non-renewable electricity resources during construction and operation, which could limit future availability, the use of such resources would be on a relatively small scale, would be reduced by measures making the Project more energy-efficient, and would be consistent with growth expectations for LADWP's service area. Furthermore, as with the Project, during construction and operation, other future development projects would be expected to incorporate energy conservation features, comply with applicable regulations including CalGreen and state energy standards under Title 24, and incorporate mitigation measures, as necessary. As such, the Project's contribution to cumulative impacts related to wasteful, inefficient and unnecessary use of electricity would not be cumulatively considerable and thus, would be less than significant.

Natural Gas

Buildout of the Project, related projects, and additional forecasted growth in SCG's service area would cumulatively increase the demand for natural gas supplies and infrastructure capacity. As stated previously, based on the 2016 California Gas Report, the CEC estimates natural gas consumption within SCG's planning area will be approximately 2,526 million cf per day in 2021 (the year of the California Gas Report that is closest to Project's buildout year). The Project would account for approximately

0.0003 percent of the forecasted 2021 consumption in SCG's planning area. SCG's forecasts take into account projected population growth and development based on local and regional plans. Although Project development would result in the use of natural gas resources, which could limit future availability, the use of such resources would be on a relatively small scale, would be reduced by measures rendering the Project more energy-efficient, and would be consistent with regional and local growth expectations for SCG's service area. Furthermore, future development projects would be expected to incorporate energy conservation features, comply with applicable regulations including CalGreen and state energy standards under Title 24, and incorporate mitigation measures, as necessary. As such, the Project's contribution to cumulative impacts related to wasteful, inefficient and unnecessary use of natural gas would not be cumulatively considerable and thus, would be less than significant.

Transportation Energy

Buildout of the Project, related projects, and additional forecasted growth would cumulatively increase the demand for transportation-related fuel in the state and region. As described above, at buildout, the Project would consume a net total of 192,454 gallons of gasoline and 68,006 gallons of diesel per year, or a total of 260,470 gallons of petroleum-based fuels per year. For comparison purposes, the transportation-related fuel usage for the Project would represent approximately 0.005 percent of the 2017 annual on-road gasoline- and diesel-related energy consumption in Los Angeles County, as shown in Appendix P of this SCEA.

Additionally, as described above, petroleum currently accounts for 90 percent of California's transportation energy sources; however, over the last decade the state has implemented several policies, rules, and regulations to improve vehicle efficiency, increase the development and use of alternative fuels, reduce air pollutants and GHG emissions from the transportation sector, and reduce VMT, which would reduce reliance on petroleum fuels. According to the CEC, gasoline consumption has declined by 6 percent since 2008, and the CEC predicts that the demand for gasoline will continue to decline over the next 10 years and that there will be an increase in the use of alternative fuels, such as natural gas, biofuels, and electricity. As with the Project, other future development projects would be expected to reduce VMT by encouraging the use of alternative modes of transportation and other design features that promote VMT reductions.

Furthermore, as discussed previously, the Project would be consistent with the energy efficiency policies emphasized by the 2016-2040 RTP/SCS. Specifically, the Project would be a mixed-use development consisting of 685 dwelling units, 25,483 square feet of philanthropic institution uses, 5,450 square feet of retail uses, and 17,100 square feet of office uses, located in "Skid Row," which is characterized by a high degree of pedestrian activity. The Project would provide greater proximity to neighborhood services, jobs, and residences and would be well served by existing public transportation, including Metro bus lines and rail line. The Project also would introduce new housing and job opportunities within an HQTAs, which is consistent with numerous policies in the 2016-2040 RTP/SCS related to locating new jobs near transit. These features would serve to reduce VMT and associated transportation fuel consumption. By its very nature, the 2016-2040 RTP/SCS is a regional planning tool that addresses cumulative growth and resulting environmental effects. Since the Project is consistent with the 2016-2040 RTP/SCS, its

contribution to cumulative impacts related to wasteful, inefficient and unnecessary use of transportation fuel would not be cumulatively considerable and thus, would be less than significant.

Significance Threshold No. 2 (Infrastructure Capacity Analysis)

Electricity

Electricity infrastructure is typically expanded in response to increasing demand, and system expansion and improvements by LADWP are ongoing. As described in LADWP's 2017 STLRP, LADWP would continue to expand delivery capacity as needed to meet demand increases within its service area at the lowest cost and risk consistent with LADWP's environmental priorities and reliability standards. The 2017 STLRP takes into account future energy demand, advances in renewable energy resources and technology, energy efficiency, conservation, and forecast changes in regulatory requirements. Development projects within the LADWP service area would also be anticipated to incorporate site-specific infrastructure improvements, as necessary. Each of the related projects would be reviewed by LADWP to identify necessary power facilities and service connections to meet the needs of their respective projects. Project applicants would be required to provide for the needs of their individual projects, thereby contributing to the electrical infrastructure in the area of the Project Sites. As such, the Project's contribution to cumulative impacts with respect to electricity infrastructure would not be cumulatively considerable and thus, would be less than significant.

Natural Gas

Natural gas infrastructure is typically expanded in response to increasing demand and system expansion and improvements by SCG occur as needed. It is expected that SCG would continue to expand delivery capacity if necessary to meet demand increases within its service area. Development projects within its service area, including the Project and related projects also served by the existing SCG infrastructure, would also be anticipated to incorporate site-specific infrastructure improvements, as appropriate. As such, the Project's contribution to cumulative impacts with respect to natural gas infrastructure would not be cumulatively considerable and thus, would be less than significant.

19. MANDATORY FINDINGS OF SIGNIFICANCE

a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?

Less Than Significant With Mitigation Incorporated. As discussed under Checklist Topic 4 (Biological Resources), with implementation of mitigation, the Project would not have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal. As discussed under Checklist Topics 5 (Cultural Resources), with implementation of mitigation, the Project would not

eliminate important examples of the major periods of California history or prehistory. Therefore, with implementation of the mitigation measures outlined in Section 6 (Sustainable Communities Environmental Impact Analysis) of the SCEA, Project impacts related to these issues would be less than significant.

b) Does the project have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?

Less Than Significant Impact. Cumulative impacts for each checklist topic listed in Section 6 (Sustainable Communities Environmental Analysis) of the SCEA have been addressed. As discussed in this section, the Project would not contribute a cumulatively considerable impact to any cumulative impacts outlined in this section. Therefore, cumulative impacts would be less than significant

c) Does the project have environmental effects, which will cause substantial adverse effects on human beings, either directly or indirectly?

Less Than Significant With Mitigation Incorporated. As discussed in response to Checklist Topic 3 (Air Quality), Checklist Question Topic 8 (Hazards and Hazardous Materials), Checklist Topic 10 (Land Use and Planning), Checklist Topic 12 (Noise), and Checklist Question 16 (Transportation/Traffic), with implementation of mitigation, the Project’s construction-related noise impacts would be less than significant. All other potential impacts are less than significant without mitigation. Therefore, with implementation of the mitigation measures outlined in Section 6 (Sustainable Communities Environmental Analysis) of the SCEA, the Project would not have environmental effects, which would cause substantial adverse effects on human beings, either directly or indirectly.

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MITIGATION MONITORING PROGRAM

Section 21081.6 of the Public Resources Code requires a Lead Agency to adopt a “reporting or monitoring program for the changes made to the project or conditions of project approval, adopted in order to mitigate or avoid significant effects on the environment” (Mitigation Monitoring Program, Section 15097 of the *CEQA Guidelines* provides additional direction on mitigation monitoring or reporting). This Mitigation Monitoring Program (MMP) has been prepared in compliance with the requirements of CEQA, Public Resources Code Section 21081.6, and Section 15097 of the CEQA Guidelines. The City of Los Angeles is the Lead Agency for this project.

A Sustainable Communities Environmental Assessment (SCEA) has been prepared to address the potential environmental impacts of the Project. Where appropriate, this environmental document identified mitigation measures to avoid or to reduce potentially significant environmental impacts of the Project. This MMP is designed to monitor implementation of the mitigation measures identified for the Project.

The MMP is subject to review and approval by the City of Los Angeles as the Lead Agency as part of the approval process of the Project, and adoption of project conditions. The required mitigation measures are listed and categorized by impact area, as identified in the SCEA.

The Project Applicant shall be responsible for implementing all mitigation measures, unless otherwise noted, and shall be obligated to provide documentation concerning implementation of the listed mitigation measures to the appropriate monitoring agency and the appropriate enforcement agency as provided for herein. All departments listed below are within the City of Los Angeles unless otherwise noted. The entity responsible for the implementation of all mitigation measures shall be the Project Applicant unless otherwise noted.

As shown on the following pages, each required mitigation measure for the proposed Project is listed and categorized by impact area, with accompanying discussion of:

Enforcement Agency – the agency with the power to enforce the Mitigation Measure.

Monitoring Agency – the agency to which reports involving feasibility, compliance, implementation and development are made, or whom physically monitors the project for compliance with mitigation measures.

Monitoring Phase – the phase of the Project during which the Mitigation Measure shall be monitored.

- Pre-Construction, including the design phase
- Construction
- Pre-Operation
- Operation (Post-construction)

Monitoring Frequency – the frequency of which the Mitigation Measure shall be monitored.

Action Indicating Compliance – the action of which the Enforcement or Monitoring Agency indicates that compliance with the required Mitigation Measure has been implemented.

The MMP performance shall be monitored annually to determine the effectiveness of the measures implemented in any given year and reevaluate the mitigation needs for the upcoming year.

It is the intent of this MMP to:

Verify compliance of the required mitigation measures of the SCEA;

Provide a methodology to document implementation of required mitigation;

Provide a record and status of mitigation requirements;

Identify monitoring and enforcement agencies;

Establish and clarify administrative procedures for the clearance of mitigation measures;

Establish the frequency and duration of monitoring and reporting; and

Utilize the existing agency review processes' wherever feasible.

This MMP shall be in place throughout all phases of the proposed Project. The entity responsible for implementing each mitigation measure is set forth within the text of the mitigation measure. The entity responsible for implementing the mitigation shall also be obligated to provide certification, as identified below, to the appropriate monitoring agency and the appropriate enforcement agency that compliance with the required mitigation measure has been implemented.

After review and approval of the final MMP by the Lead Agency, minor changes and modifications to the MMP are permitted, but can only be made by the Applicant or its successor subject to the approval by the City of Los Angeles through a public hearing. The Lead Agency, in conjunction with any appropriate agencies or departments, will determine the adequacy of any proposed change or modification. The flexibility is necessary in light of the proto-typical nature of the MMP, and the need to protect the environment with a workable program. No changes will be permitted unless the MMP continues to satisfy the requirements of CEQA, as determined by the Lead Agency.

MITIGATION MONITORING PROGRAM

Cultural Resources

CULT-MM-1: Prior to Project construction, the prime contractor and any subcontractor(s) shall be advised of the legal and/or regulatory implications of knowingly destroying cultural resources or removing artifacts, human remains, bottles, and other cultural materials from the Project Sites. In addition, in the event that buried archaeological resources are exposed during Project construction, work within 50 feet of the find shall stop until a professional archaeologist, meeting the standards of the Secretary of the Interior, can identify and evaluate the significance of the discovery and develop recommendations for treatment. Construction activities could continue in other areas of the Project Sites. Recommendations could include preparation of a Treatment Plan, which could require recordation, collection and analysis of the discovery; preparation of a technical report; and curation of the collection and supporting documentation in an appropriate depository. Any Native American remains shall be treated in accordance with state law.

Enforcement Agency: Los Angeles Department of Building and Safety

Monitoring Agency: Los Angeles Department of Building and Safety

Monitoring Phase: Construction

Monitoring Frequency: As needed, prior to issuance of Grading Permit

Action Indicating Compliance: Issuance of certificate of Building Permit

CULT-MM-2: Before ground disturbance, field observations regarding the geo-archaeological setting shall be conducted by a qualified archaeologist to determine the presence of undisturbed sediments capable of preserving archaeological remains, and the depth at which these sediments would no longer be capable of containing archaeological material. An archaeological monitor shall be present during initial excavation activities. The duration and timing of the monitoring shall be determined by the qualified archaeologist in consultation with the Department of City Planning and the Project Applicant. The qualified archaeologist may designate an archaeologist to conduct the monitoring under their direction.

Enforcement Agency: Department of City Planning

Monitoring Agency: Department of City Planning, Department of Building and Safety

Monitoring Phase: Construction

Monitoring Frequency: As needed, prior to issuance of Building Permit

Action Indicating Compliance: Issuance of Building Permit

CULT-MM-3: Prior to Project construction, the prime contractor and any subcontractor(s) shall be advised of the legal and/or regulatory implications of knowingly destroying paleontological or unique geologic resources or sites from the Project Sites. In addition, in the event that paleontological resources or sites, or unique geologic features are exposed during Project construction, work within 50 feet of the find shall stop until a qualified paleontologist, can identify and evaluate the significance of the discovery and develop recommendations for treatment. Construction activities could continue in other areas of the Project Sites. Recommendations could include a preparation of a Treatment Plan, which could require recordation, collection, and analysis of the discovery; preparation of a technical report; and curation of the collection and supporting documentation in an appropriate depository. Any paleontological resources or sites, or unique geologic features shall be treated in accordance with state law.

Enforcement Agency: Los Angeles Department of Building and Safety

Monitoring Agency: Los Angeles Department of Building and Safety

Monitoring Phase: Construction

Monitoring Frequency: As needed, prior to issuance of Building Permit

Action Indicating Compliance: Issuance of Building Permit

Hazards and Hazardous Materials

HAZ-MM-1: During excavation of Site 1 for the subterranean parking garage and prior to issuance of a Building Permit, if a UST is encountered, the Project Applicant shall procure a Division 5 Permit from the Los Angeles Fire Department for removal of a UST and shall comply with the requirements of the permit.

Enforcement Agency: Los Angeles Fire Department; Los Angeles Department of Building and Safety

Monitoring Agency: Los Angeles Fire Department; Los Angeles Department of Building and Safety

Monitoring Phase: Construction

Monitoring Frequency: Once, prior to issuance of a Building Permit

Action Indicating Compliance: Issuance of a Building Permit

Land Use

MM-LU-1(b): Where an inconsistency with the adopted general plan is identified at the proposed Project location, determine if the environmental, social, economic, and engineering benefits of the Project warrant a variance from adopted zoning or an amendment to the general plan.

Enforcement Agency: Department of City Planning

Monitoring Agency: Department of City Planning

Monitoring Phase: CEQA process

Monitoring Frequency: Once, during CEQA process

Action Indicating Compliance: Certification of the SCEA

Noise

NOISE-MM-1: All diesel-powered construction vehicles shall be equipped with exhaust mufflers or other suitable noise reduction devices capable of achieving a sound attenuation of at least 3 dBA.

Enforcement Agency: Los Angeles Department of Building and Safety

Monitoring Agency: Los Angeles Department of Building and Safety

Monitoring Phase: Construction

Monitoring Frequency: Ongoing, during field inspection

Action Indicating Compliance: Issuance of Certificate of Occupancy or Use of Land

NOISE-MM-2: Temporary sound barriers capable of achieving a sound attenuation of at least 10 dBA shall be erected along the Project's boundaries.

Enforcement Agency: Los Angeles Department of Building and Safety

Monitoring Agency: Los Angeles Department of Building and Safety

Monitoring Phase: Construction

Monitoring Frequency: Ongoing during field inspection

Action Indicating Compliance: Issuance of Certificate of Occupancy or Use of Land

Public Services - Police

POLICE-MM-1: Prior to issuance of a Certificate of Occupancy, the Project Applicant shall provide the Central Area Commanding Area Officer with diagrams of each portion of the Project Sites. The diagrams shall include access routes and additional information that might facilitate police response.

Enforcement Agency: Los Angeles Department of Building and Safety

Monitoring Agency: Los Angeles Department of Building and Safety

Monitoring Phase: Construction

Monitoring Frequency: Once, prior to issuance of a Certificate of Occupancy or Use of Land

Action Indicating Compliance: Issuance of Certificate of Occupancy or Use of Land

Transportation and Traffic

TRAFFIC-MM-1: Construction Staging and Traffic Management Plan

Prior to issuance of a demolition permit, in coordination with LADOT and the Department of Building and Safety, the Project Applicant shall prepare a detailed Construction Staging and Traffic Management Plan (CSTMP), including street closure information, detour plans, haul routes, and staging plans. The CSTMP shall outline how construction would be carried out and identify specific actions that would be required to reduce effects on the surrounding community. The CSTMP shall be based on the nature and timing of specific construction activities and other projects in the vicinity, and shall include the following elements as appropriate:

- Coordinate with Metro regarding temporary relocation of the bus stop located on East 6th Street adjacent to Site 2 and other construction activities that could affect Metro service in the vicinity of the Project Sites;
- Provide for temporary traffic control during all construction activities within public rights-of-way to improve traffic flow on public roadways (e.g., flagmen);
- Schedule of construction activities to reduce the effect on traffic flow on surrounding arterial streets;
- Reroute construction trucks to reduce travel on congested streets to the extent feasible;
- Prohibit construction-related vehicles from parking on surrounding public streets;

- Provide safety precautions for pedestrians and bicyclists through such measures as alternate routing and protection barriers in compliance with LAMC Section 62.45;
- Accommodate all equipment on-site; and
- Prepare a haul truck route program for the Project that specifies the routes to and from the Project Sites.

Enforcement Agency: Los Angeles Department of Transportation, Los Angeles Department of Building and Safety

Monitoring Agency: Los Angeles Department of Transportation, Los Angeles Department of Building and Safety

Monitoring Phase: Pre-construction, Construction

Monitoring Frequency: Ongoing, during construction

Action Indicating Compliance: Issuance of construction-related permits and building permits

EXHIBIT D.3

CPC-2017-589-GPAJ-ZCJ-HD-SPR

HOLLY L. WOLCOTT
CITY CLERK

SHANNON D. HOPPE
EXECUTIVE OFFICER

City of Los Angeles
CALIFORNIA



ERIC GARCETTI
MAYOR

OFFICE OF THE
CITY CLERK

Council and Public Services Division
200 N. SPRING STREET, ROOM 395
LOS ANGELES, CA 90012
GENERAL INFORMATION - (213) 978-1133
FAX: (213) 978-1040

PATRICE Y. LATTIMORE
ACTING DIVISION MANAGER

CLERK.LACITY.ORG

When making inquiries relative to
this matter, please refer to the
Council File No.: [18-0889](#)

OFFICIAL ACTION OF THE LOS ANGELES CITY COUNCIL

October 30, 2018

Council File No.: [18-0889](#)

Council Meeting Date: October 26, 2018

Agenda Item No.: 2

Agenda Description: Sustainable Communities Environmental Assessment, Errata, Mitigation Measures, Mitigation Monitoring Program and Planning and Land Use Management Committee Report relative to a proposed project at the property located at 554-562 South San Pedro Street, 555-561 South Crocker Street, 600-628 South San Pedro Street, 611-615 South Crocker Street, and 518-522 East 6th Street.

Council Action: PLANNING AND LAND USE MANAGEMENT COMMITTEE REPORT - ADOPTED

Council Vote:	YES	BOB BLUMENFIELD
	YES	MIKE BONIN
	ABSENT	JOE BUSCAINO
	YES	GILBERT A. CEDILLO
	ABSENT	MITCHELL ENGLANDER
	ABSENT	MARQUEECE HARRIS-DAWSON
	ABSENT	JOSE HUIZAR
	YES	PAUL KORETZ
	YES	PAUL KREKORIAN
	YES	NURY MARTINEZ
	YES	MITCH O'FARRELL
	YES	CURREN D. PRICE
	YES	MONICA RODRIGUEZ
	YES	DAVID RYU
	YES	HERB WESSON

HOLLY L. WOLCOTT
CITY CLERK

Exhibit D.3

Adopted Report(s)

Title

Report from Planning and Land Use Management Committee

Date

10/23/2018

SUSTAINABLE COMMUNITIES ENVIRONMENTAL ASSESSMENT (SCEA), ERRATA, MITIGATION MEASURES, MITIGATION MONITORING PROGRAM (MMP), and PLANNING AND LAND USE MANAGEMENT (PLUM) COMMITTEE REPORT relative to a proposed project at the property located at 554-562 South San Pedro Street, 555-561 South Crocker Street, 600-628 South San Pedro Street, 611-615 South Crocker Street, and 518-522 East 6th Street.

Recommendations for Council action:

1. FIND, upon a review of the entire administrative record, including SCEA No. ENV-2017-615-SCEA, Errata, and all comments received, that:
 - a. The proposed project qualifies as a transit priority project pursuant to Public Resources Code (PRC) Section 21155.
 - b. The proposed project is consistent with the general use designations, density, building intensity, and applicable policies specified for the project area in the Regional Transportation Plan/Sustainable Communities Strategy (RTP/SCS) prepared by the Southern California Association of Governments (SCAG).
 - c. The proposed project contains more than 50 percent residential; provides a minimum net density greater than 20 units an acre; and, is within one half mile of a major transit stop or high-quality transit corridor included in the RTP/SCS.
 - d. The proposed project is a residential or mixed-use project as defined by PRC Section 21159.28(d).
 - e. The proposed project incorporates all feasible mitigation measures, performance standards, or criteria set forth in the prior environmental reports, including SCAG's 2016-2040 RTP/SCS Program Environmental Impact Report.
 - f. All potentially significant or significant effects required to be identified and analyzed pursuant to the California Environmental Quality Act (CEQA) in an initial study have been identified and analyzed in an initial study.
 - g. With respect to each significant effect on the environment required to be identified in the initial study, changes or alterations have been required in or incorporated into the project that avoids or mitigates the significant effects to a level of insignificance.
 - h. Mitigation measures will be made enforceable conditions on the project.
2. FIND that the proposed project complies with the requirements of CEQA for using a SCEA as authorized pursuant to PRC Section 21155.2(b).

3. ADOPT the SCEA and the MMP prepared for the SCEA.

Applicant: Weingart Center Association

Representative: Jim Ries, Craig Lawson and Co., LLC

Case Nos. CPC-2017-614-GPAJ-ZCJ-HD-SPR, VTT-74852, CPC-2017-589-GPAJ-ZCJ-HD-SPR, VTT-74864

Environmental No. ENV-2017-615-SCEA

Fiscal Impact Statement: None submitted by the Department of City Planning. Neither the City Administrative Officer nor the Chief Legislative Analyst has completed a financial analysis of this report.

Community Impact Statement: None submitted.

Summary:

At a regular meeting held on October 23, 2018, the PLUM Committee considered a SCEA for the property located at 554-562 South San Pedro Street, 555-561 South Crocker Street, 600-628 South San Pedro Street, 611-615 South Crocker Street, and 518-522 East 6th Street. After an opportunity for public comment, the Committee recommended to adopt the SCEA for the project. This matter is now submitted to the Council for consideration.

Respectfully Submitted,

PLANNING AND LAND USE MANAGEMENT COMMITTEE

<u>MEMBER:</u>	<u>VOTE:</u>
HUIZAR	ABSENT
HARRIS-DAWSON	YES
ENGLANDER	YES
BLUMENFIELD	YES
PRICE	YES

ZHC
18-0889_rpt_plum_10-23-18

-NOT OFFICIAL UNTIL COUNCIL ACTS-

EXHIBIT E

CPC-2017-589-GPAJ-ZCJ-HD-SPR

DEPARTMENT OF
CITY PLANNING
COMMISSION OFFICE
(213) 978-1300

CITY PLANNING COMMISSION

SAMANTHA MILLMAN
PRESIDENT

VAHID KHORSAND
VICE-PRESIDENT

DAVID H. J. AMBROZ
CAROLINE CHOE

HELEN LEUNG

KAREN MACK

MARC MITCHELL

VERONICA PADILLA-CAMPOS
DANA M. PERLMAN

CITY OF LOS ANGELES
CALIFORNIA



ERIC GARCETTI
MAYOR

EXECUTIVE OFFICES
200 N. SPRING STREET, ROOM 525
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VINCENT P. BERTONI, AICP
DIRECTOR

KEVIN J. KELLER, AICP
EXECUTIVE OFFICER

SHANA M.M. BONSTIN
DEPUTY DIRECTOR

TRICIA KEANE
DEPUTY DIRECTOR

ARTHI L. VARMA, AICP
DEPUTY DIRECTOR

LISA M. WEBBER, AICP
DEPUTY DIRECTOR

Decision Date: November 8, 2019

Appeal Date: November 18, 2019

Weingart Center Association (O)(A)
566 South San Pedro Street
Los Angeles, CA 90013

Jim Ries (R)
Craig Lawson & Co, LLC
3221 Hutchison Avenue, Suite D
Los Angeles, CA 90034

Andrew Willrodt, PE No. C49881 (E)
Fusco Engineering
600 Wilshire Blvd, Suite 1470
Los Angeles, CA 90017

Re: Vesting Tentative Tract Map No. 74864
Related Case: CPC-2017-589-GPAJ-ZCJ-
HD-SPR
Address: 600 South San Pedro Street (600-
628 S. San Pedro St, 611-615 S. Crocker
St, 518-522 E. 6th St.
Central City Community Planning Area
Zone: M2-2D
District Map: 127-5A213
Council District: 14 - Huizar
CEQA No.: ENV-2017-615-SCEA and
Addendum
Legal Description: Lots 14-16 and 21-31,
Block 21, Wolfskill Orchard Tract

In accordance with the provisions of Public Resource Code (PRC) Section 21155.2, the Advisory Agency finds based on the independent judgement of the decision-maker, after consideration of the whole of the administrative record, the project was assessed in the Sustainable Communities Environmental Assessment (SCEA), Case No. ENV-2017-615-SCEA, dated September 2018, and Errata, dated October 22, 2018, adopted by the City Council on October 26, 2018 (CF 18-0889), and pursuant to California Environmental Quality Act (CEQA) Guidelines 15162 and 15164, as supported by the Addendum dated November 2019, no major revisions are required to the SCEA and no subsequent SCEA is required for approval of the Project. In accordance with provisions of Section 17.01 and 17.15 of the Los Angeles Municipal Code (LAMC), the Advisory Agency approved Vesting Tentative Tract No. 74864 for the merger and re-subdivision of the site into **one (1) master ground lot and up to 15 commercial condominiums** located at 600 South San Pedro Street for a maximum of 302 residential dwelling units and 10,230 square feet of commercial floor area, as shown on the map stamp-dated July 5, 2019, in the Central City Community Plan. This unit density is based on the requested C2 Zone. (The subdivider is hereby advised that the LAMC may not permit this maximum approved density. Therefore, verification should be obtained from the Department of Building and Safety which will legally interpret the Zoning Code as it applies to this particular property.) The Advisory Agency's approval is subject to the following conditions:

NOTE on clearing conditions: When two or more **agencies** must clear a condition, subdivider should follow the sequence indicated in the condition. For the benefit of the applicant, subdivider shall maintain record of all conditions cleared, including all material supporting clearances and be prepared to present copies of the clearances to each reviewing agency as may be required by its staff at the time of its review.

Exhibit E

BUREAU OF ENGINEERING - SPECIFIC CONDITIONS

Any questions regarding this report should be directed to Mr. Georgic Avanesian of the Land Development Section, located at 201 North Figueroa Street, Suite 290, or by calling (213) 808-8588.

1. That a 3-foot wide strip of land be dedicated along 6th Street adjoining the subdivision to complete a 43-foot wide half public street right-of-way in accordance with **Avenue II Standards of LA MOBILITY PLAN** including a 15-foot by 15-foot property line cut corner or a 20-foot radius property line return at the intersection with San Pedro Street. In the event the Community Plan Update covering this site has been approved by the City Council prior to the final map recordation of this tentative map then the applicant has the option to comply with the modified street designations or area zoning proposed under the new Community Plan.
2. That a 4-foot wide strip of land be dedicated along Crocker Street adjoining the subdivision to complete a 34-foot wide half public street right-of-way in accordance with **Industrial Collector Street Standards of LA Mobility Plan**. In the event the Community Plan Update covering this site has been approved by the City Council prior to the final map recordation of this tentative map then the applicant has the option to comply with the modified street designations or area zoning proposed under the new Community Plan.

DEPARTMENT OF BUILDING AND SAFETY, GRADING DIVISION

Grading Division approvals are conducted at 221 North Figueroa Street, 12th Floor suite 1200. The approval of this Tract Map shall not be construed as having been based upon a geological investigation such as will authorize the issuance of the building permit of the subject property. Such permits will be issued only at such time as the Department of Building and Safety has received such topographic maps and geological reports as it deems necessary to justify the issuance of such building permits.

3. Comply with any requirements with the Department of Building and Safety, Grading Division for recordation of the final map and issuance of any permit.

DEPARTMENT OF BUILDING AND SAFETY, ZONING DIVISION

An appointment is required for the issuance of a clearance letter from the Department of Building and Safety. The applicant is asked to contact Eric Wong at (213) 482-6876 to schedule an appointment.

4. That prior to recordation of the final map, the Department of Building and Safety, Zoning Division shall certify that no Building or Zoning Code violations exist on the subject site. In addition, the following items shall be satisfied:
 - a. Provide a copy of CPC case CPC-2017-589-GPAJ-VZCJ-HD-MS-SPR. Show compliance with all the conditions/ requirements of the CPC case as applicable.
 - b. Zone Change must be recorded prior to obtaining Zoning clearance.
 - c. Show all street dedication(s) as required by Bureau of Engineering and provide net lot area after all dedication. "Area" requirements shall be re-checked as per net lot area after street dedication. Front and side yard requirements shall be required to comply with current code as measured from new property lines after dedication(s). In the Greater Downtown Housing Incentive Area, the area used for computing the allowable floor area of a residential (including Apartment Hotel or mixed-use) building shall be the lot area including any land to be set aside for street purposes (LAMC Sec. 17.05 C).

Notes:

The existing or proposed building plans have not been checked for and shall comply with

Building and Zoning Code requirements. With the exception of revised health or safety standards, the subdivider shall have a vested right to proceed with the proposed development in substantial compliance with the ordinances, policies, and standards in effect at the time the subdivision application was deemed complete. Plan check will be required before any construction, occupancy or change of use.

If the proposed development does not comply with the current Zoning Code, all zoning violations shall be indicated on the Map.

DEPARTMENT OF TRANSPORTATION

5. That the project be subject to any recommendations from the Department of Transportation.

FIRE DEPARTMENT

The applicant is further advised that all subsequent contact regarding these conditions must be with the Hydrant and Access Unit. This would include clarification, verification of condition compliance and plans or building permit applications, etc., and shall be accomplished BY APPOINTMENT ONLY, in order to assure that you receive service with a minimum amount of waiting please call (213) 482-6504. You should advise any consultant representing you of this requirement as well.

6. That prior to the recordation of the final map, a suitable arrangement shall be made satisfactory to the Fire Department, binding the subdivider and all successors to the following:
 - a. Submittal of plot plans for Fire Department review and approval prior to recordation of Tract Map Action.
 - b. Access for Fire Department apparatus and personnel to and into all structures shall be required.
 - c. One or more Knox Boxes will be required to be installed for LAFD access to project location and number to be determined by LAFD Field Inspector (Refer to FPB Req #75).
 - d. 505.1 Address identification. New and existing buildings shall have approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property.
 - e. The entrance to a Residential lobby must be within 50 feet of the desired street address curb face.
 - f. Where above ground floors are used for residential purposes, the access requirement shall be interpreted as being the horizontal travel distance from the street, driveway, alley, or designated fire lane to the main entrance of individual units.
 - g. No building or portion of a building shall be constructed more than 150 feet from the edge of a roadway of an improved street, access road, or designated fire lane.
 - h. The entrance or exit of all ground dwelling units shall not be more than 150 feet from the edge of a roadway of an improved street, access road, or designated fire lane.
 - i. The Fire Department may require additional vehicular access where buildings exceed 28 feet in height.

- j. 2014 CITY OF LOS ANGELES FIRE CODE, SECTION 503.1.4 (EXCEPTION)
 - (1) When this exception is applied to a fully fire sprinklered residential building equipped with a wet standpipe outlet inside an exit stairway with at least a 2 hour rating the distance from the wet standpipe outlet in the stairway to the entry door of any dwelling unit or guest room shall not exceed 150 feet of horizontal travel AND the distance from the edge of the roadway of an improved street or approved fire lane to the door into the same exit stairway directly from outside the building shall not exceed 150 feet of horizontal travel.
 - (2) It is the intent of this policy that in no case will the maximum travel distance exceed 150 feet inside the structure and 150 feet outside the structure. The term "horizontal travel" refers to the actual path of travel to be taken by a person responding to an emergency in the building.
 - (3) This policy does not apply to single-family dwellings or to non-residential buildings.
- k. Building designs for multi-storied residential buildings shall incorporate at least one access stairwell off the main lobby of the building; but in no case greater than 150 feet horizontal travel distance from the edge of the public street, private street or Fire Lane. This stairwell shall extend onto the roof.
- l. Entrance to the main lobby shall be located off the address side of the building.
- m. Any required Fire Annunciator panel or Fire Control Room shall be located within 20 feet visual line of site of the main entrance stairwell or to the satisfaction of the Fire Department.
- n. The width of private roadways for general access use and fire lanes shall not be less than 20 feet and the fire lane must be clear to the sky.
- o. Fire lanes, where required and dead ending streets shall terminate in a cul-de-sac or other approved turning area. No dead ending street or fire lane shall be greater than 700 feet in length or secondary access shall be required.
- p. Submit plot plans indicating access road and turning area for Fire Department approval.
- q. Adequate off-site public and on-site private fire hydrants may be required. Their number and location to be determined after the Fire Department's review of the plot plan.
- r. The Fire Department may require additional roof access via parapet access roof ladders where buildings exceed 28 feet in height, and when overhead wires or other obstructions block aerial ladder access.
- s. All parking restrictions for fire lanes shall be posted and/or painted prior to any Temporary Certificate of Occupancy being issued.
- t. Plans showing areas to be posted and/or painted, "FIRE LANE NO PARKING" shall be submitted and approved by the Fire Department prior to building permit application sign-off.

- u. Electric Gates approved by the Fire Department shall be tested by the Fire Department prior to Building and Safety granting a Certificate of Occupancy.
- v. 5101.1 Emergency responder radio coverage in new buildings. All new buildings shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communication systems of the jurisdiction at the exterior of the building. This section shall not require improvement of the existing public safety communication systems.
- w. Recently, the Los Angeles Fire Department (LAFD) modified Fire Prevention Bureau (FPB) Requirement 10. Helicopter landing pads are still required on all High-Rise buildings in the City. However, FPB's Requirement 10 has been revised to provide two new alternatives to a full FAA-approved helicopter landing pad.
- x. Each standpipe in a new high-rise building shall be provided with two remotely FDC's for each zone in compliance with NFPA 14-2013, Section 7.12.2.
- y. During demolition, the Fire Department access will remain clear and unobstructed.

DEPARTMENT OF WATER AND POWER

- 7. Satisfactory arrangements shall be made with the Los Angeles Department of Water and Power (LADWP) for compliance with LADWP's Water System Rules and requirements. Upon compliance with these conditions and requirements, LADWP's Water Services Organization will forward the necessary clearances to the Bureau of Engineering. (This condition shall be deemed cleared at the time the City Engineer clears Condition No. S-1.(c).)

BUREAU OF STREET LIGHTING – SPECIFIC CONDITIONS

Street Lighting clearance for this Street Light Maintenance Assessment District condition is conducted at 1149 S. Broadway Suite 200. Street Lighting improvement condition clearance will be conducted at the Bureau of Engineering District office, see condition S-3. (c).

- 8. Prior to the recordation of the final map or issuance of the Certificate of Occupancy (C of O), street lighting improvement plans shall be submitted for review and the owners shall provide a good faith effort via a ballot process for the formation of annexation of the property within the boundary of the development into a Street Lighting Maintenance Assessment District.

BUREAU OF SANITATION

- 9. Wastewater Collection Systems Division of the Bureau of Sanitation has inspected the sewer/storm drain lines serving the subject tract and found no potential problems to their structure or potential maintenance problem, as stated in the memo dated August 1, 2019. Upon compliance with its conditions and requirements, the Bureau of Sanitation, Wastewater Collection Systems Division will forward the necessary clearances to the Bureau of Engineering. (This condition shall be deemed cleared at the time the City Engineer clears Condition No. S-1. (d).)

INFORMATION TECHNOLOGY AGENCY

- 10. To assure that cable television facilities will be installed in the same manner as other required improvements, please email cabletv.ita@lacity.org that provides an automated response with the instructions on how to obtain the Cable TV clearance. The automated

response also provides the email address of three people in case the applicant/owner has any additional questions.

DEPARTMENT OF RECREATION AND PARKS

11. That the Park Fee paid to the Department of Recreation and Parks be calculated as a Subdivision (Quimby in-lieu) fee.

URBAN FORESTRY DIVISION AND THE DEPARTMENT OF CITY PLANNING

12. Plant street trees and remove any existing trees within dedicated streets or proposed dedicated streets as required by the Urban Forestry Division of the Bureau of Street Services. Parkway tree removals shall be replanted at a 2:1 ratio. All street tree plantings shall be brought up to current standards. When the City has previously been paid for tree planting, the subdivider or contractor shall notify the Urban Forestry Division (213-847-3077) upon completion of construction to expedite tree planting.

Note: Removal of planting of any tree in the public right-of-way requires approval of the Board of Public Works. All protected tree removals must be approved by the Board of Public Works. Contact Urban Forestry Division at: 213-847-3077 for permit information. CEQA document must address parkway tree removal.

DEPARTMENT OF CITY PLANNING - SITE SPECIFIC CONDITIONS

Clearances may be conducted at the Figueroa, Valley, or West Los Angeles Development Services Centers. To clear conditions, an appointment is required, and can be requested at planning.lacity.org.

13. Prior to the recordation of the final map, the subdivider shall prepare and execute a Covenant and Agreement (Planning Department General Form CP-6770) in a manner satisfactory to the Planning Department, binding the subdivider and all successors to the following:
 - a. Limit the proposed development to a maximum of 302 residential dwelling units and 10,230 square feet of commercial floor area.
 - b. Residential and Commercial parking shall be provided as required by LAMC Section 12.21 A,4. In the event that Case No. CPC-2017-589-GPA-ZCJ-HD-SPR is approved with the requested incentives to reduce parking, parking may then be provided in conformance with the approval of the incentive.
 - d. That prior to issuance of a certificate of occupancy, a minimum 6-foot-high slumpstone or decorative masonry wall shall be constructed adjacent to neighboring residences, if no such wall already exists, except in required front yard.
 - e. That a solar access report shall be submitted to the satisfaction of the Advisory Agency prior to obtaining a grading permit.
 - f. That the subdivider consider the use of natural gas and/or solar energy and consult with the Department of Water and Power and Southern California Gas Company regarding feasible energy conservation measures.
 - g. INDEMNIFICATION AND REIMBURSEMENT OF LITIGATION COSTS.

Applicant shall do all of the following:

- (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held

under alternative dispute resolution procedures), claims, or lawsuits. Action includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

14. That prior to the issuance of the building permit or the recordation of the final map, a copy of the Case No. CPC-2017-589-GPAJ-ZCJ-HD-SPR shall be submitted to the satisfaction of the Advisory Agency. In the event that Case No. CPC-2017-589-GPAJ-ZCJ-HD-SPR is not approved, the subdivider shall submit a tract modification.
15. Prior to the issuance of a grading permit, the subdivider shall record and execute a Covenant and Agreement (Planning Department General Form CP-6770), binding the subdivider to the following haul route conditions:
 - a. Streets to be used are limited to East 6th Street, South Crocker Street, East 5th Street, State Route 110/I-110 Freeway, East 7th Street, South San Pedro Street, I-10 Freeway.
 - b. Hours of operation shall be from 7:00 a.m. to 6:00 p.m.
 - c. Days of the week shall be Monday to Saturday.
 - d. Total trips per day shall be 120.
 - e. Duration of project shall be 8 days
 - f. Trucks shall be restricted to 10-wheel dump trucks or smaller for streets with a width of 25 feet or less. Eighteen-wheel dump trucks are permitted on streets with a width greater than 25 feet. **There shall be no staging or parking of construction vehicles, including vehicles to transport workers on any of the streets.**
 - g. The Emergency Operations Division, Specialized Enforcement Section of the Los Angeles Police Department shall be notified prior to the start of hauling (213) 486-0777.
 - h. Streets shall be cleaned of spilled materials at the termination of each work day.
 - i. The final approved haul routes and all the conditions of approval shall be available on the job site at all times.
 - j. The owner or contractor shall keep the construction area sufficiently dampened to control dust caused by grading and hauling, and at all times provide reasonable control of dust caused by wind.
 - k. Hauling and grading equipment shall be kept in good operating condition and muffled as required by law.
 - l. All loads shall be secured by trimming, watering or other appropriate means to prevent spillage and dust.
 - m. All trucks are to be watered at the job site to prevent excessive blowing dirt.

- n. All trucks are to be cleaned of loose earth at the job site to prevent spilling. Any material spilled on the public street shall be removed by the contractor.
- o. The applicant shall be in conformance with the State of California, Department of Transportation, policy regarding movements of reducible loads.
- p. All regulations set forth in the State of California Department of Motor Vehicles pertaining to the hauling of earth shall be complied with.
- q. A Truck Crossing warning sign shall be placed 300 feet in advance of the exit in each direction.
- r. One flag person(s) shall be required at the job and dump sites to assist the trucks in and out of the project area. Flag person(s) and warning signs shall be in compliance with Part II of the 1985 Edition of Work Area Traffic Control Handbook.
- s. The City of Los Angeles, Department of Transportation, telephone (213) 485-2298, shall be notified 72 hours prior to beginning operations in order to have temporary No Parking signs posted along the route.
- t. Any desire to change the prescribed routes must be approved by the concerned governmental agencies by contacting Street Services Investigation and Enforcement Division at (213) 847-6000 before the change takes place.
- u. The permittee shall notify Street Services Investigation and Enforcement Division, (213) 847-6000, at least 72 hours prior to the beginning of hauling operations and shall also notify the Division immediately upon completion of hauling operations.
- v. A surety or cash bond shall be posted in an amount satisfactory to the City Engineer for maintenance of haul route streets. The forms for the bond will be issued by the Central Los Angeles District Engineering Office, 201 N. Figueroa Street, Land Development Section, Suite 1150, Los Angeles, CA 90012. Further information regarding the bond may be obtained by calling (213) 202-3495.

OR

A surety or cash bond shall be posted in an amount satisfactory to the City Engineer for maintenance of haul route streets. The forms for the bond will be issued by the Valley District Engineering Office, 6262 Van Nuys Blvd, Suite 251, Van Nuys CA, 91401. Further information regarding the bond may be obtained by calling (818) 374-5082.

- 16. Prior to the recordation of the final map, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing and Community Investment Department (HCIDLA) to make 298 units of the development available for rental or sale solely to very low- income households, at a rental or sales price determined to be affordable to very low- or moderate- income households by HCIDLA, for a period of 55 years. Said units shall be comparable in size, number of bedrooms, distribution, and amenities to the non-income-restricted units in the development.

DEPARTMENT OF CITY PLANNING-ENVIRONMENTAL MITIGATION MEASURES

- 17. That prior to recordation of the final map, the subdivider shall prepare and execute a

Covenant and Agreement (Planning Department General Form CP-6770 and Exhibit CP-6770. M) in a manner satisfactory to the Planning Department requiring the subdivider to identify (a) mitigation monitor(s) who shall provide periodic status reports on the implementation of mitigation items required by Mitigation Condition No(s). 18 and 19 of the Tract's approval satisfactory to the Advisory Agency. The mitigation monitor(s) shall be identified as to their areas of responsibility, and phase of intervention (pre-construction, construction, postconstruction/maintenance) to ensure continued implementation of the above mentioned mitigation items.

18. Prior to the recordation of the final map, the subdivider will prepare and execute a Covenant and Agreement (Planning Department General Form CP-6770) in a manner satisfactory to the Planning Department, binding the subdivider and all successors to the following:

MM-1 Where an inconsistency with the adopted general plan is identified at the proposed Project location, determine if the environmental, social, economic, and engineering benefits of the Project warrant a variance from adopted zoning or an amendment to the general plan.

19. **Construction Mitigation Conditions** - Prior to the issuance of a grading or building permit, or the recordation of the final map, the subdivider shall prepare and execute a Covenant and Agreement (Planning Department General Form CP-6770) in a manner satisfactory to the Planning Department, binding the subdivider and all successors to the following:

CM-1 That a sign be required on site clearly stating a contact/complaint telephone number that provides contact to a live voice, not a recording or voice mail, during all hours of construction, the construction site address, and the tract map number. YOU ARE REQUIRED TO POST THE SIGN 7 DAYS BEFORE CONSTRUCTION IS TO BEGIN.

- Locate the sign in a conspicuous place on the subject site or structure (if developed) so that it can be easily read by the public. The sign must be sturdily attached to a wooden post if it will be free-standing.
- Regardless of who posts the site, it is always the responsibility of the applicant to assure that the notice is firmly attached, legible, and remains in that condition throughout the entire construction period.
- If the case involves more than one street frontage, post a sign on each street frontage involved. If a site exceeds five (5) acres in size, a separate notice of posting will be required for each five (5) acres or portion thereof. Each sign must be posted in a prominent location.

CM-2 Prior to Project construction, the prime contractor and any subcontractor(s) shall be advised of the legal and/or regulatory implications of knowingly destroying cultural resources or removing artifacts, human remains, bottles, and other cultural materials from the Project Sites. In addition, in the event that buried archaeological resources are exposed during Project construction, work within 50 feet of the find shall stop until a professional archaeologist, meeting the standards of the Secretary of the Interior, can identify and evaluate the significance of the discovery and develop recommendations for treatment. Construction activities could continue in other areas of the Project Sites. Recommendations could include preparation of a Treatment Plan, which could require recordation, collection and

analysis of the discovery; preparation of a technical report; and curation of the collection and supporting documentation in an appropriate depository. Any Native American remains shall be treated in accordance with state law.

- CM-3 Before ground disturbance, field observations regarding the geo-archaeological setting shall be conducted by a qualified archaeologist to determine the presence of undisturbed sediments capable of preserving archaeological remains, and the depth at which these sediments would no longer be capable of containing archaeological material. An archaeological monitor shall be present during initial excavation activities. The duration and timing of the monitoring shall be determined by the qualified archaeologist in consultation with the Department of City Planning and the Project Applicant. The qualified archaeologist may designate an archaeologist to conduct the monitoring under their direction.
- CM-4 Prior to Project construction, the prime contractor and any subcontractor(s) shall be advised of the legal and/or regulatory implications of knowingly destroying paleontological or unique geologic resources or sites from the Project Sites. In addition, in the event that paleontological resources or sites, or unique geologic features are exposed during Project construction, work within 50 feet of the find shall stop until a qualified paleontologist, can identify and evaluate the significance of the discovery and develop recommendations for treatment. Construction activities could continue in other areas of the Project Sites. Recommendations could include a preparation of a Treatment Plan, which could require recordation, collection, and analysis of the discovery; preparation of a technical report; and curation of the collection and supporting documentation in an appropriate depository. Any paleontological resources or sites, or unique geologic features shall be treated in accordance with state law.
- CM-5 During excavation of Site 1 for the subterranean parking garage and prior to issuance of a Building Permit, if a UST is encountered, the Project Applicant shall procure a Division 5 Permit from the Los Angeles Fire Department for removal of a UST and shall comply with the requirements of the permit.
- CM-6 All diesel-powered construction vehicles shall be equipped with exhaust mufflers or other suitable noise reduction devices capable of achieving a sound attenuation of at least 3 dBA.
- CM-7 Temporary sound barriers capable of achieving a sound attenuation of at least 10 dBA shall be erected along the Project's boundaries.
- CM-8 Prior to issuance of a Certificate of Occupancy, the Project Applicant shall provide the Central Area Commanding Area Officer with diagrams of each portion of the Project Sites. The diagrams shall include access routes and additional information that might facilitate police response.

DEPARTMENT OF CITY PLANNING - STANDARD CONDOMINIUM CONDITIONS

- C-1 That approval of this tract constitutes approval of model home uses, including a sales office and off-street parking. Where the existing zoning is (T) or (Q) for multiple residential use, no construction or use shall be permitted until the final map has recorded or the proper zone has been effectuated. If models are constructed under this tract approval, the following conditions shall apply:
1. Prior to recordation of the final map, the subdivider shall submit a plot plan for

approval by the Development Services Section of the Department of City Planning showing the location of the model dwellings, sales office and off-street parking. The sales office must be within one of the model buildings.

2. All other conditions applying to Model Dwellings under Section 12.22A, 10 and 11 and Section 17.05 O of the Code shall be fully complied with satisfactory to the Department of Building and Safety.
- C-2 Prior to the recordation of the final map, the subdivider shall pay or guarantee the payment of a park and recreation fee based on the latest fee rate schedule applicable. The amount of said fee to be established by the Advisory Agency in accordance with Section 17.12 of the Los Angeles Municipal Code and to be paid and deposited in the trust accounts of the Park and Recreation Fund.
- C-3 That a landscape plan, prepared by a licensed landscape architect, be submitted to and approved by the Advisory Agency in accordance with CP-6730 prior to obtaining any permit. The landscape plan shall identify tree replacement on a 1:1 basis by a minimum of 24-inch box trees for the unavoidable loss of desirable trees on the site. Failure to comply with this condition as written shall require the filing of a modification to this tract map in order to clear the condition.
- In the event the subdivider decides not to request a permit before the recordation of the final map, a covenant and agreement satisfactory to the Advisory Agency guaranteeing the submission of such plan before obtaining any permit shall be recorded.
- C-4 In order to expedite the development, the applicant may apply for a building permit for an apartment/commercial building. However, prior to issuance of a building permit for apartments/commercial building, the registered civil engineer, architect or licensed land surveyor shall certify in a letter to the Advisory Agency that all applicable tract conditions affecting the physical design of the building and/or site, have been included into the building plans. Such letter is sufficient to clear this condition. In addition, all of the applicable tract conditions shall be stated in full on the building plans and a copy of the plans shall be reviewed and approved by the Advisory Agency prior to submittal to the Department of Building and Safety for a building permit.

OR

If a building permit for apartments will not be requested, the project civil engineer, architect or licensed land surveyor must certify in a letter to the Advisory Agency that the applicant will not request a permit for apartments and intends to acquire a building permit for a condominium building(s). Such letter is sufficient to clear this condition.

BUREAU OF ENGINEERING - STANDARD CONDITIONS

- S-1. (a) That the sewerage facilities charge be deposited prior to recordation of the final map over all of the tract in conformance with Section 64.11.2 of the Los Angeles Municipal Code (LAMC).
- (b) That survey boundary monuments be established in the field in a manner satisfactory to the City Engineer and located within the California Coordinate System prior to recordation of the final map. Any alternative measure approved by the City Engineer would require prior submission of complete field notes in support of the boundary survey.

- (c) That satisfactory arrangements be made with both the Water System and the Power System of the Department of Water and Power with respect to water mains, fire hydrants, service connections and public utility easements.
 - (d) That any necessary sewer, street, drainage and street lighting easements be dedicated. In the event it is necessary to obtain off-site easements by separate instruments, records of the Bureau of Right-of-Way and Land shall verify that such easements have been obtained. The above requirements do not apply to easements of off-site sewers to be provided by the City.
 - (e) That drainage matters be taken care of satisfactory to the City Engineer.
 - (f) That satisfactory street, sewer and drainage plans and profiles as required, together with a lot grading plan of the tract and any necessary topography of adjoining areas be submitted to the City Engineer.
 - (g) That any required slope easements be dedicated by the final map.
 - (h) That each lot in the tract complies with the width and area requirements of the Zoning Ordinance.
 - (i) That 1-foot future streets and/or alleys be shown along the outside of incomplete public dedications and across the termini of all dedications abutting unsubdivided property. The 1-foot dedications on the map shall include a restriction against their use of access purposes until such time as they are accepted for public use.
 - (j) That any 1-foot future street and/or alley adjoining the tract be dedicated for public use by the tract, or that a suitable resolution of acceptance be transmitted to the City Council with the final map.
 - (k) That no public street grade exceeds 15%.
 - (l) That any necessary additional street dedications be provided to comply with the Americans with Disabilities Act (ADA) of 1990.
- S-2. That the following provisions be accomplished in conformity with the improvements constructed herein:
- (a) Survey monuments shall be placed and permanently referenced to the satisfaction of the City Engineer. A set of approved field notes shall be furnished, or such work shall be suitably guaranteed, except where the setting of boundary monuments requires that other procedures be followed.
 - (b) Make satisfactory arrangements with the Department of Traffic with respect to street name, warning, regulatory and guide signs.
 - (c) All grading done on private property outside the tract boundaries in connection with public improvements shall be performed within dedicated slope easements or by grants of satisfactory rights of entry by the affected property owners.
 - (d) All improvements within public streets, private streets, alleys and easements shall be constructed under permit in conformity with plans and specifications approved by the Bureau of Engineering.

- (e) Any required bonded sewer fees shall be paid prior to recordation of the final map.
- S-3. That the following improvements are either constructed prior to recordation of the final map or that the construction is suitably guaranteed:
- (a) Construct on-site sewers to serve the tract as determined by the City Engineer.
 - (b) Construct any necessary drainage facilities.
 - (c) Construct new pedestrian lights: five (5) on San Pedro Street, four (4) on 6th Street, and two (2) on Crocker Street. If no street widening per BOE improvement conditions, relocate and upgrade street lights: two (2) on San Pedro Street and two (2) on 6th Street.

Notes:

The quantity of street lights identified may be modified slightly during the plan check process based on illumination calculations and equipment selection.

Conditions set: 1) in compliance with a Specific Plan, 2) by LADOT, or 3) by other legal instrument excluding the Bureau of Engineering condition S-3 (i), requiring an improvement that will change the geometrics of the public roadway or driveway apron may require additional or the reconstruction of street lighting improvements as part of that condition.

- (d) Plant street trees and remove any existing trees within dedicated streets or proposed dedicated streets as required by the Street Tree Division of the Bureau of Street Maintenance. All street tree plantings shall be brought up to current standards. When the City has previously been paid for tree planting, the subdivider or contractor shall notify the Urban Forestry Division ((213) 847-3077) upon completion of construction to expedite tree planting.
- (e) Repair or replace any off-grade or broken curb, gutter and sidewalk satisfactory to the City Engineer.
- (f) Construct access ramps for the handicapped as required by the City Engineer.
- (g) Close any unused driveways satisfactory to the City Engineer.
- (h) Construct any necessary additional street improvements to comply with the 1990 Americans with Disabilities Act (ADA) Standards for Accessible Design.
- (i) That the following improvements are either constructed prior to recordation of the final map or that the construction is suitably guaranteed:
 - (1) Improve Crocker Street being dedicated and adjoining the subdivision by the construction of the following:
 - a. A concrete curb, a concrete gutter, and a 10-foot full width concrete sidewalk with tree well.
 - b. Suitable surfacing to join the existing pavements and to complete a 24-foot half roadway in accordance with Industrial Collector Standards of LA Mobility Plan.

- c. Any necessary removal and reconstruction of existing improvements.
 - d. The necessary transitions to join the existing improvements.
 - e. In the event the Community Plan Update covering this site has been approved by the City Council prior to the final map recordation of this tentative map then the applicant has the option to comply with the modified street designations or area zoning proposed under the new Community Plan.
- (2) Improve 6th Street being dedicated and adjoining the subdivision by the construction of a new full-width concrete sidewalk with tree wells including any necessary removal and reconstruction of existing improvements. In the event the Community Plan Update covering this site has been approved by the City Council prior to the final map recordation of this tentative map then the applicant has the option to comply with the modified street designations or area zoning proposed under the new Community Plan.

NOTES:

The Advisory Agency approval is the maximum number of units permitted under the tract action. However the existing or proposed zoning may not permit this number of units. This vesting map does not constitute approval of any variations from the Municipal Code, unless approved specifically for this project under separate conditions.

Any removal of the existing street trees shall require Board of Public Works approval.

Satisfactory arrangements shall be made with the Los Angeles Department of Water and Power, Power System, to pay for removal, relocation, replacement or adjustment of power facilities due to this development. The subdivider must make arrangements for the underground installation of all new utility lines in conformance with Section 17.05-N of the Los Angeles Municipal Code (LAMC).

The final map must be recorded within 36 months of this approval, unless a time extension is granted before the end of such period.

The Advisory Agency hereby finds that this tract conforms to the California Water Code, as required by the Subdivision Map Act.

The subdivider should consult the Department of Water and Power to obtain energy saving design features which can be incorporated into the final building plans for the subject development. As part of the Total Energy Management Program of the Department of Water and Power, this no-cost consultation service will be provided to the subdivider upon his request.

FINDINGS OF FACT (CEQA)

The City of Los Angeles, as the Lead Agency, prepared a Sustainable Communities Environmental Assessment (SCEA), Case No. ENV-2017-615-SCEA, for the proposed Projects consisting of the development of Site 1 located at 554-562 South San Pedro Street and 555-561 South Crocker Street with 382 residential dwelling units, 2,250 square feet of commercial floor area, 32 vehicular parking spaces, and associated ancillary philanthropic institutional uses and open space and the development of Site 2 located at 600-628 South San Pedro Street, 611-615 South Crocker Street, and 518-522 East 6th Street with 303 residential dwelling units, 3,200 square feet of commercial floor area, 17,100 square feet of office, 212 vehicular parking spaces,

and 33,000 square feet of open space. Of the total proposed 685 residential dwelling units on Sites 1 and 2, 676 dwelling units will be set aside for Very-Low Income Households and nine as manager's units. At its meeting on October 26, 2018 (CF 18-0889), after conducting a public hearing on October 23, 2018 and consideration of all comments received regarding the SCEA and the Project, the City Council adopted the SCEA and Errata dated October 22, 2018, pursuant to Public Resources Code (PRC) Section 21155.2(b)(6) finding that the Projects are a "transit priority project" as defined by PRC Section 21155 and that the SCEA incorporates all feasible mitigation measures, performance standards, or criteria set forth in prior EIR(s), including SCAG 2016-2040 RTP/SCS EIR SCH No. 20150311035; finding that all potentially significant effects required to be identified in the initial study have been identified and analyzed in the SCEA; finding that with respect to each significant effect on the environment required to be identified in the initial study for the SCEA, changes or alterations have been required in or incorporated into the Project that avoid or mitigate the significant effects to a level of insignificance or those changes or alterations are within the responsibility and jurisdiction of another public agency and have been, or can and should be, adopted by that other agency.

Subsequent to the adoption of the SCEA, the applicant submitted a revised project for Site 2, which includes the reduction of the residential dwelling units from 303 to 302 and the reduction of office space from 17,100 square feet to 7,030 square feet. Pursuant to CEQA Guidelines Section 15162 and 15164, an Addendum, dated November 2019, was prepared to analyze the proposed changes and found that the changes to the project were not substantial and that no major revisions are required to the SCEA and no subsequent SCSEA is required.

Pursuant to CEQA and the CEQA Guidelines, the Advisory Agency has considered the previously adopted SCEA, the Errata, the Addendum dated November 2019, and all comments on the SCEA and the Project received during and after the public review process and responses thereto, including after the City Council's adoption of the SCEA, and other pertinent evidence in the record, and in its independent judgment, finds that the SCEA properly identifies all potential impacts of the Projects, including all potential construction and operational noise impacts of the Projects on adjacent noise sensitive uses consistent with the City's CEQA Thresholds Guide and that those impacts have been mitigated, that the Project Sites are located within a Transit Priority Area as defined by Public Resource Code (PRC) Section 21099(a)(7) and that pursuant to PRC Section 21099(d)(1) "parking impacts of a residential, mixed-use residential, or employment center project on an infill site within a transit priority area shall not be considered significant impacts on the environment", and properly identifies all potential construction and operational traffic- and access-related impacts of the Project and that those impacts have been mitigated; find that the mitigation measures have been incorporated as enforceable conditions of the Project, and the previously adopted Mitigation Monitoring Program, to mitigate or avoid significant effects of the proposed Project on the environment and to ensure compliance during Project implementation; and find that none of the information submitted after the City Council's adoption of the SCEA, including but not limited to testimony at the public hearings on the Project, constitutes significant new information and that any such information or testimony does not constitute substantial evidence of a significant impact, or a feasible mitigation measure not already included in the previously adopted SCEA.

The Advisory Agency finds, based on substantial evidence found in the administrative record of the SCEA, Case No. ENV-2017-615-SCEA, and the Errata, dated October 22, 2018, including but not limited to oral and written testimony at the public hearings, that the SCEA previously adopted by the City Council is adequate under CEQA and that pursuant to CEQA Guidelines Section 15162 and 15164 and as supported by the Addendum dated November 2019, no major revisions are required to the SCEA and no subsequent SCEA is required for the Advisory Agency to approve the requested discretionary actions, Case No. VTT-74864, for the Project; and incorporates the CEQA Findings made pursuant to PRC Section 21081 and Mitigation Monitoring Program adopted by the City Council on October 26, 2018 by reference. Consistent with the PRC

Section 21081.6(a)(2), the records upon which this decision is based are located in the Department of City Planning offices at 200 North Spring Street, Room 621, Los Angeles, California 90012.

FINDINGS OF FACT (SUBDIVISION MAP ACT)

In connection with the approval of Vesting Tentative Tract No. 74864 the Advisory Agency of the City of Los Angeles, pursuant to Sections 66473.1, 66474.60, .61 and .63 of the State of California Government Code (the Subdivision Map Act), makes the prescribed findings as follows:

- (a) THE PROPOSED MAP WILL BE/IS CONSISTENT WITH APPLICABLE GENERAL AND SPECIFIC PLANS.

The Land Use Element of the General Plan consists of the 35 Community Plans within the City of Los Angeles. The Community Plans establish goals, objectives, and policies for future developments at a neighborhood level. Additionally, through the Land Use Map, the Community Plan designates parcels with a land use designation and zone. The Land Use Element is further implemented through the Los Angeles Municipal Code (LAMC). The zoning regulations contained within the LAMC regulates, but is not limited to, the maximum permitted density, height, parking, and the subdivision of land.

The subdivision of land is regulated pursuant to Article 7 of the LAMC. Specifically, Section 17.05 C requires that the vesting tentative tract map be designed in compliance with the zoning regulations applicable to the project site. The project site is located within the Central City Community Plan, which designates the site with a Light Manufacturing land use designation. The land use designation lists the MR2 and M2 Zones as the corresponding zones. The Project Site is zoned M2-2D, which is consistent with the land use designation. The site is subject to Development "D" Limitations contained within Ordinance No. 164,307 Subarea 1580, which limits the development to a maximum of three times the buildable area of the lot. Additional floor area may be permitted subject to certain regulations as identified in the ordinance. As the tract map is to merge and re-subdivide the lot for the purposes of construction residential dwelling units, the applicant has requested an incidental amendment, Case No. CPC-2017-589-GPAJ-ZCJ-HD-SPR, to the General Plan Land Use Designation and a Zone and Height District Change from M2-2D to C2-4D. Approval of the General Plan Amendment and Zone Change would permit the development of the site with the proposed 302 residential dwelling units. Approval of the requested Height District Change would permit a maximum Floor Area Ratio of 4.45:1. The tract map is approved contingent upon the approval and adoption of the General Plan Amendment and the Zone and Height District Change. In the event that the incidental case is disapproved or modified, the applicant would be required to submit a revised tract map that is consistent with the determination of Case No. CPC-2017-589-GPA-ZCJ-HD-SPR.

In addition to LAMC Section 17.05 C, LAMC Section 17.06 B requires that the tract map be prepared by or under the direction of a licensed surveyor or registered civil engineer. The tract map was prepared by Andrew Jefferson Willrodt, No. C49881, and contains information regarding the boundaries of the project site, as well as the abutting public rights-of-way, existing and proposed dedication, and improvements of the tract map. The tract map indicates the tract number, notes, legal description, contact information for the owner, applicant, and engineer, as well as other pertinent information as required by LAMC Section 17.06 B. Therefore, the proposed map demonstrates compliance with LAMC Sections 17.05 C, 17.06 B, and is consistent with the applicable General Plan.

- (b) THE DESIGN OR IMPROVEMENT OF THE PROPOSED SUBDIVISION IS

CONSISTENT WITH APPLICABLE GENERAL AND SPECIFIC PLANS.

For purposes of a subdivision, design and improvement is defined by Section 66418 and 66419 of the Subdivision Map Act and LAMC Section 17.02. Design refers to the configuration and layout of the proposed lots in addition to the proposed site plan layout. Pursuant to Section 66427(a) of the Subdivision Map Act, the location of the buildings is not considered as part of the approval or disapproval of the map by the Advisory Agency. Easements and/or access and "improvements" refers to the infrastructure facilities serving the subdivision. LAMC Section 17.05 enumerates the design standards for a tract map and requires that each map be designed in conformance with the Street Design Standards and in conformance with the General Plan. As indicated in Finding (a), LAMC Section 17.05 C requires that the tract map be designed in conformance with the zoning regulations of the project site. As the site's existing Light Manufacturing land use designation and M2-2D Zone would not permit the construction of the proposed 302 residential dwelling units and 10,230 square feet of commercial floor area, the applicant has requested a General Plan Amendment and Zone and Height District Change, Case No. CPC-2017-589-GPAJ-ZCJ-HD-SPR, in conjunction with the requested tract map. The requested General Plan Amendment would amend the land use designation from Light Manufacturing to Regional Center Commercial. The requested Zone and Height District Change would change the existing M2-2D Zone to C2-4D. As discussed in Finding No. (a), the tract map is approved with the condition that the map is in compliance with the approvals of Case No. CPC-2017-589-GPAJ-ZCJ-HD-SPR. As such, the proposed density and uses would be consistent with the proposed land use designation, zone, and height district.

The tract map was distributed to and reviewed by the various city agencies of the Subdivision Committee that have the authority to make dedication, and/or improvement recommendations. The Bureau of Engineering reviewed the tract map for compliance with the Street Design Standards. The Bureau of Engineering has recommended dedication and/or improvements to the public right-of-way along 6th Street and Crocker Street, consistent with the standards of the Mobility Element. During the public hearing, the representative requested that the dedication and improvement conditions be modified to acknowledge the potential redesignation of the streets pending the ongoing Community Plan Update. The representative from the Bureau of Engineering stated that he understands the Department of City Planning is going through a Community Plan Update for the area which may change the land use designation and zoning to permit residential and commercial uses by right. As such, he revised the recommended language to include additional language stating that if the Community Plan Update is approved prior to the recordation of the final map the applicant would have the option to provide the dedication and improvements that are consistent with the surrounding area. The additional language has been added to Condition No. 1 and 2 and S-3(i)(1) and (2) of the Conditions of Approval. In addition, the Bureau of Engineering has recommended the construction of the necessary on-site mainline sewers and all necessary street improvements will be made to comply with the Americans with Disabilities Act (ADA) of 1990. The Bureau of Street Lighting has not required any new street lights; however, would require the relocation and upgrading of existing lights if widening is requiring by BOE. As conditioned, the design and improvements of the proposed subdivision are consistent with the applicable General Plan.

(c) THE SITE IS PHYSICALLY SUITABLE FOR THE TYPE OF DEVELOPMENT.

The project site is an irregularly shaped site that is comprised of approximately 48,816 square feet of lot area. The site is developed with a surface parking lot which will be demolished for the construction of 302 residential dwelling units and approximately 10,230

square feet of commercial floor area. The project site is located within the 1.1 km (0.7 miles) from the Puente Hills Blind Thrust Fault, but is not located within the Alquist-Priolo Fault Zone. The site is not located within a designated hillside area or within the BOE Special Grading Area. The site is not located within a flood zone, landslide, liquefaction, methane, or tsunami inundation zone. The site is located within Fire District No. 1 and will be required to comply with all applicable regulations as it pertains to development within the fire district. Prior to the issuance of any permits, the project would be required to be reviewed and approved by the Department of Building and Safety and the Fire Department. The site is not identified as having hazardous waste or past remediation. The site is within Flood Zone Type C, which denotes areas minimal flooding. The site is not subject to the Specific Plan for the Management of Flood Hazards (floodways, floodplains, mud prone areas, coastal high-hazard and flood-related erosion hazard areas).

The tract has been approved contingent upon the satisfaction of the Department of Building and Safety, Grading Division prior to the recordation of the map and issuance of any permits. Therefore, the site will be physically suitable for the proposed type of development.

(d) THE SITE IS PHYSICALLY SUITABLE FOR THE PROPOSED DENSITY OF DEVELOPMENT.

The Project Site and properties to north, east, and south have a land use designation of Light Manufacturing and are zoned M2-2D. To the west, across San Pedro Street, properties have a land use designation of High Medium Residential and are zoned [Q]R5-2D. The surrounding properties are improved with a variety of uses, which include homeless and residential support services, as well as commercial or warehouse uses. The property to the north, across East 6th Street, is developed with an existing 10-story residential building operated by the Weingart Center Association and Hope Row Resources Center. The property located at the southwest corner of the site is developed with a four (4) story building operated by the Skid Row Development Corporation. To the east, across Crocker Street, and to the south, the properties are developed with one- to two-story commercial/warehouse uses. To the west, across South San Pedro Street, the properties are developed with the Midnight Mission, a homeless services organization, and a five (5) story residential building with 115 affordable housing units. The Project Site is presently developed with a surface parking lot. In conjunction with the requested tract map, the applicant has requested a General Plan Amendment and Zone and Height District Change to permit the construction of 302 residential dwelling units and 10,230 square feet of commercial floor area. As the site and surrounding areas are located within the boundaries of the Greater Downtown Housing Incentive Area, the site would not be subject to a minimum lot area per dwelling unit calculation. As such the density would be limited by the maximum floor area permitted for the site. During the public hearing, the representative requested clarification regarding Condition No. 4 (c) under the Department of Building and Safety as the Site is located within the Greater Downtown Housing Incentive Area. Pursuant to Section 17.05 C, residential floor area may be calculated based off the pre-dedication lot area. The Deputy Advisory Agency held the case under advisement pending consultation with the Department of Building and Safety. On November 7, 2019, the Department of Building and Safety submitted a corrected recommendation letter with the additional language contained within Section 17.05 C. As proposed, the Project would have a maximum FAR of 4.45:1, which would be consistent with the requested Height District Change from 2-D to 4-D. The Project would be comprised of two (2) buildings, with one building having a height of 211 feet 4 inches and the second building having a height of 62 feet. As Height District No. 4 does not have a maximum height limitation, the proposed height would be consistent with the requested Height District Change as well. The tract has been approved contingent upon the

satisfaction of the Department of Building and Safety, Grading Division prior to the recordation of the map and issuance of any permits.

- (e) THE DESIGN OF THE SUBDIVISION OR THE PROPOSED IMPROVEMENTS ARE NOT LIKELY TO CAUSE SUBSTANTIAL ENVIRONMENTAL DAMAGE OR SUBSTANTIALLY AND AVOIDABLY INJURE FISH OR WILDLIFE OR THEIR HABITAT.

The project site is currently developed with a surface parking lot, while there are no trees located on the site, there are four (4) trees located within the public right-of-way adjacent to the site which may be removed as part of the project. The tract map is conditioned to require the approval of the Board of Public Works prior to the issuance of any permits for the removal of the trees. The surrounding area is presently developed with structures. Neither the project site nor the surrounding area provides a natural habitat for fish or wildlife. On September 13, 2018, the City Planning Department issued Sustainable Communities Environmental Assessment (SCEA) Case No. ENV-2017-615-SCEA, which determined that the project would not result in significant impacts relating to biological resources. As such, the proposed project will not cause substantial environmental damage or injury to wildlife or their habitat.

- (f) THE DESIGN OF THE SUBDIVISION OR TYPE OF IMPROVEMENTS IS NOT LIKELY TO CAUSE SERIOUS PUBLIC HEALTH PROBLEMS.

There appears to be no potential public health problems caused by the design or improvement of the proposed subdivision.

The development is required to be connected to the City's sanitary sewer system, where the sewage will be directed to the LA Hyperion Treatment Plant, which has been upgraded to meet Statewide ocean discharge standards. The Bureau of Engineering has reported that the proposed subdivision does not violate the existing California Water Code because the subdivision will be connected to the public sewer system and will have only a minor incremental impact on the quality of the effluent from the Hyperion Treatment Plant.

- (g) THE DESIGN OF THE SUBDIVISION OR THE TYPE OF IMPROVEMENTS WILL NOT CONFLICT WITH EASEMENTS, ACQUIRED BY THE PUBLIC AT LARGE, FOR ACCESS THROUGH OR USE OF PROPERTY WITHIN THE PROPOSED SUBDIVISION.

As required by LAMC Section 12.03, the project site has a minimum of 20 feet of frontage along South San Pedro Street, East 6th Street, and Crocker Street, which are public streets. The project site consists of a parcel identified as Lot Nos. 14-16 and 21-31, Block 21 of Wolfskill Orchard Tract and is identified by the Assessor Parcel Map No. 5147-026-033. There are no known easements acquired by the public at large for access through or use of the property within the proposed subdivision, as identified on the tract map. Necessary easements for utilities will be acquired by the City prior to the recordation of the proposed parcel map.

Therefore, the design of the subdivision and the proposed improvements would not conflict with easements acquired by the public at large for access through or use of the property within the proposed subdivision.

- (h) THE DESIGN OF THE PROPOSED SUBDIVISION SHALL PROVIDE, TO THE EXTENT FEASIBLE, FOR FUTURE PASSIVE OR NATURAL HEATING OR COOLING OPPORTUNITIES IN THE SUBDIVISION. (REF. SECTION 66473.1)

In assessing the feasibility of passive or natural heating or cooling opportunities in the proposed subdivision design, the applicant has prepared and submitted materials which consider the local climate, contours, configuration of the parcel(s) to be subdivided and other design and improvement requirements.

Providing for passive or natural heating or cooling opportunities will not result in reducing allowable densities or the percentage of a lot which may be occupied by a building or structure under applicable planning and zoning in effect at the time the tentative map was filed.

The lot layout of the subdivision has taken into consideration the maximizing of the north/south orientation.

The topography of the site has been considered in the maximization of passive or natural heating and cooling opportunities.

In addition, prior to obtaining a building permit, the subdivider shall consider building construction techniques, such as overhanging eaves, location of windows, insulation, exhaust fans; planting of trees for shade purposes and the height of the buildings on the site in relation to adjacent development.

These findings shall apply to both the tentative and final maps for Tract No. 74864.

VINCENT P. BERTONI, AICP
Advisory Agency



Kevin Golden
Deputy Advisory Agency



Jane J. Choi
Senior City Planner

KG:JJC:MS

Note: If you wish to file an appeal, it must be filed within 10 calendar days from the decision date as noted in this letter. For an appeal to be valid to the City Planning Commission, it must be accepted as complete by the City Planning Department and appeal fees paid, prior to expiration of the above 10-day time limit. Such appeal must be submitted on Master Appeal Form No. CP-7769 at the Department's Public Offices, located at:

Figueroa Plaza

201 North Figueroa Street
4th Floor
Los Angeles, CA 90012
(213) 482-7077

Marvin Braude San Fernando

Valley Constituent Service Center
6262 Van Nuys Boulevard, Room 251
Van Nuys, CA 91401
(818) 374-5050

West Los Angeles

1828 Sawtelle Boulevard
2nd Floor
Los Angeles, CA 90025
(310) 231-2901

Forms are also available on-line at <http://planning.lacity.org/>

The time in which a party may seek judicial review of this determination is governed by California Code of Civil Procedure Section 1094.6. Under that provision, a petitioner may seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, only if the petition for writ of mandate pursuant to that section is filed no later than the 90th day following the date on which the City's decision becomes final.

EXHIBIT F

CPC-2017-589-GPAJ-ZCJ-HD-SPR



www.dlanc.org
P.O. Box #13096
Los Angeles, CA 90013-0096

October 7, 2019

Los Angeles Department of City Planning
Office of Zoning Administration, 7th Floor
200 North Spring Street
Los Angeles, California 90012

RE: Planning Case No: CPC-2017-589-GPAJ-VZCJ-HD-SPR; VTT-74864; ENV-2017-615-SCEA

Project Address: 600-628 s. San Pedro St; 611-615 s. Crocker St; 518-522 e. 6th St
Applicant: Weingart Center

Project Description: A mixed-use project consisting of a 22-story tower and 6-story retail and parking building including 302 residential dwelling units (298 designated Restricted Affordable) and 53,905 SF of commercial uses, requiring the following approvals: General Plan Amendment, Zone Change, Height District Change, Measure JJJ Developer Incentives, Site Plan Review, and Vesting Tentative Tract Map.

Dear Zoning Administrator:

At our regularly held public meeting on October 7, 2019, the Board of Directors of the Downtown Los Angeles Neighborhood Council ("DLANC") voted to support the below request, pursuant to the motion passed on September 17, 2019, by DLANC's Planning & Land Use Committee ("PLUC").

DLANC supports the Applicant's requests in Case Nos. CPC-2017-589-GPAJ-VZCJ-HD-SPR; VTT-74864; ENV-2017-615-SCEA. DLANC support is conditioned on Applicant agreeing to the following stipulations below for this project.

In DLANC's view, the information presented provides adequate justification for granting Applicant's requests. *Subject to the condition set forth below* and any additional conditions recommended by the LAPD or City Council, DLANC encourages the Los Angeles Department of City Planning to approve the Applicant's project.

CONDITION 1: Applicant will maintain pedestrian access if the sidewalk is temporarily closed during construction;

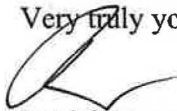
CONDITION 2: Applicant will ensure any temporary walkways covered due to construction (e.g., scaffolding) are well-lit at all times;

CONDITION 3: providing housing for the existing homeless residents in DTLA is prioritized to the greatest extent feasible;

- CONDITION 4: all services will be strictly provided to residents of the building and no services will be provided to non-residents;
CONDITION 5: services will not be located within ground-floor, street-facing spaces;
CONDITION 6: all ground floor street-facing spaces shall retain transparency at all times to allow for eyes on the street and pedestrian safety;
CONDITION 7: the property will not become a transitional shelter; and
CONDITION 8: security will be provided for alleyway and parking lot.

If possible, please provide a digital copy of your decision letter by mail to planning@dlanc.com instead of sending a hard copy. Thank you in advance for your consideration of the comments presented in this Letter.

Very truly yours,



Patricia Berman
DLANC President

Very truly yours,

Beverly Christiansen
DLANC Planning & Land Use Committee Chair

CC: Shawn Kuk (Council District 14) (via email)
Sgt. John Strasner (Los Angeles Police Department) (via email)

September 6, 2019

To whom it may concern,

I support the development of the Weingart Center Association's proposed Permanent Supportive Housing development, 600 San Pedro. 600 San Pedro is a mixed-use residential and commercial 22-story tower that will provide more than 200 homes to individuals currently living on the streets. The development will include:

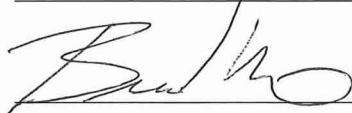
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- Ground floor retail designed to change the existing Skid Row streetscape
- Roof top terraces with an open landscape design that will offer uncompromising views of downtown Los Angeles for private and public events
- Office space

Skid Row is in dire need of change! With more than 6,000 people sleeping on the streets nightly, the current housing supply and services available to this neighborhood are inadequate. As Downtown continues its historic growth; quality, innovative, inclusive, and state of the art design is needed to meet the demands of Downtown's growing population.

600 San Pedro is more than just a roof over one's head; it will stand as a beacon of possibility that will inspire individuals, transform the Skid Row streetscape, and make the City of Los Angeles proud.

Sincerely,

BRADLEY NITZ



Address:

300 S SANTA FE AVE. APT 3-552

LOS ANGELES, CA 90013

September 6, 2019

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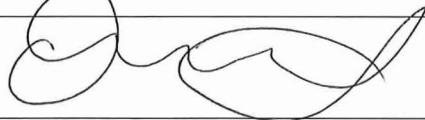
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Sincerely,

Emmanuel Sentena



Address:

610 S. Main St # PH224

Los Angeles CA 90014

September 6, 2019

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Sincerely,



Address:

610 S. MAIN ST, PH 224

LA, CA 90014



WEINGART

Weingart Center
www.weingart.org
566 S. San Pedro Street
Los Angeles, CA 90013
(213) 627-9000

September 6, 2019

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Sincerely,

Address:



WEINGART

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566 S. San Pedro Street
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(213) 627-9000

September 6, 2019

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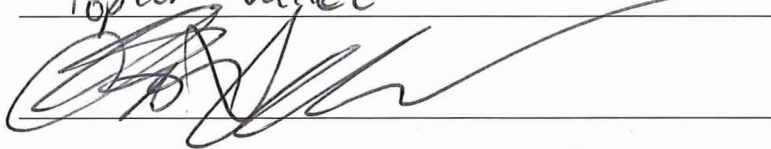
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Sincerely,

Topher Valler


Address:

11004 Blix st, North Hollywood, CA
91602



WEINGART

Weingart Center
www.weingart.org
566 S. San Pedro Street
Los Angeles, CA 90013
(213) 627-9000

September 6, 2019

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Sincerely,

Charles P Brown

Charles P Brown

Address:

622 Wall ST-A235

LA, CA 90014



WEINGART

Weingart Center
www.weingart.org
566 S. San Pedro Street
Los Angeles, CA 90013
(213) 627-9000

September 6, 2019

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Sincerely,

MARTIN VASQUEZ

626 South SPRING ST

Address:

Los Angeles CA, 90019

September 6, 2019

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Sincerely,

LILLIAN J. RIVERA

Address:

626 S. SPRING ST. #603

LOS ANGELES, CA, 90014



WEINGART

Weingart Center
www.weingart.org
566 S. San Pedro Street
Los Angeles, CA 90013
(213) 627-9000

September 6, 2019

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Sincerely,

TONY GOWER
CLAYTON'S PUBLIC HOUSE
541 #134-137
SPRING ST

Address:

September 6, 2019

To whom it may concern,

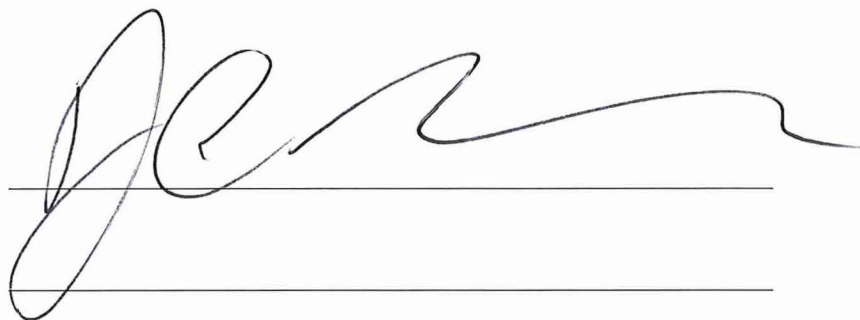
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Sincerely,



Address:

875 New York Dr
Altadena CA, 91001

September 6, 2019

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Sincerely,

PAUL JENKE

Address:

610 S. Main St # Ph 215
LA, CA. 90014.



WEINGART

Weingart Center
www.weingart.org
566 S. San Pedro Street
Los Angeles, CA 90013
(213) 627-9000

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Sincerely,

Nancy Nguyen

Address:

610 S. MAIN ST. #PH215

LA, CA. 90014

September 6, 2019

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Sincerely,

LAUREN SWAIM

Address:

626 S. SPRING ST. #603

LOS ANGELES, CA 90014

September 6, 2019

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Sincerely,

Oliver Alpuche

Business Owner & Resident

Address:

121 E 6th St M107

Los Angeles CA 90014



WEINGART

Weingart Center
www.weingart.org
566 S. San Pedro Street
Los Angeles, CA 90013
(213) 627-9000

September 6, 2019

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Sincerely,

COREY GREEN

Address:

1828 E DENWALL DR

CARSON CA 90746

September 6, 2019

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Sincerely,

Joseph Hayes

Address:

560 S. Main st. #8W
L.A. CA. 90013

September 6, 2019

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Sincerely,



Address:

610 S. Main St #644 CA CA 90014



WEINGART

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566 S. San Pedro Street
Los Angeles, CA 90013
(213) 627-9000

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Sincerely,

Address:

621 S. Spring St. 90014



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Los Angeles, CA 90013
(213) 627-9000

September 6, 2019

To whom it may concern,

I support the development of the Weingart Center Association's proposed Permanent Supportive Housing development, 600 San Pedro. 600 San Pedro is a mixed-use residential and commercial 22-story tower that will provide more than 200 homes to individuals currently living on the streets. The development will include:

- Flexible space for social enterprise programs that provide education, employment, and life skills training
- Ground floor retail designed to change the existing Skid Row streetscape
- Roof top terraces with an open landscape design that will offer uncompromising views of downtown Los Angeles for private and public events
- Office space

Skid Row is in dire need of change! With more than 6,000 people sleeping on the streets nightly, the current housing supply and services available to this neighborhood are inadequate. As Downtown continues its historic growth; quality, innovative, inclusive, and state of the art design is needed to meet the demands of Downtown's growing population.

600 San Pedro is more than just a roof over one's head; it will stand as a beacon of possibility that will inspire individuals, transform the Skid Row streetscape, and make the City of Los Angeles proud.

Sincerely,

Joshua E. Muller

Address:

626 S. Spring St.
LA, CA 90014



WEINGART

Weingart Center
www.weingart.org
566 S. San Pedro Street
Los Angeles, CA 90013
(213) 627-9000

September 6, 2019

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Sincerely,

Vanessa Alatorre

Address:

626 S. Spring St. #601
LA, CA 90014



WEINGART

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www.weingart.org
566 S. San Pedro Street
Los Angeles, CA 90013
(213) 627-9000

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Sincerely,

Cole Rapkin


Address:

121 E 6th Street Los Angeles
90014



WEINGART

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Los Angeles, CA 90013
(213) 627-9000

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Sincerely,



Nathan Belush

Address:

710 W. 27th Street

Los Angeles, CA 90007



WEINGART

Weingart Center
www.weingart.org
566 S. San Pedro Street
Los Angeles, CA 90013
(213) 627-9000

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Sincerely,

JESSICA ZHERMAN

Address:

755 S. Spring St #1105
LA CA 90014



WEINGART

Weingart Center
www.weingart.org
566 S. San Pedro Street
Los Angeles, CA 90013
(213) 627-9000

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Sincerely,

TRACIE WAGNER

Address:

626 S. SPRING ST. #607
LA 90014



Weingart Center
www.weingart.org
566 S. San Pedro Street
Los Angeles, CA 90013
(213) 627-9000

WEINGART

September 6, 2019

To whom it may concern,

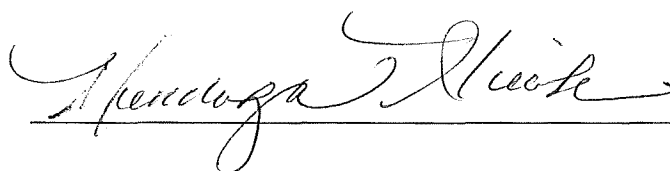
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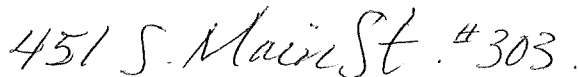
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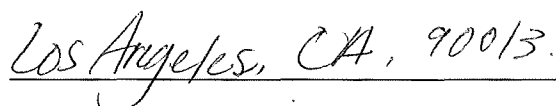
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Address:







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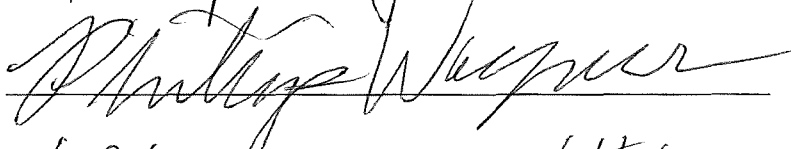
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Sincerely,

Phillip Wagner

Address: 626 S. Spring St #607
Los Angeles CA 90014



WEINGART

Weingart Center
www.weingart.org
566 S. San Pedro Street
Los Angeles, CA 90013
(213) 627-9000

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Sincerely,

Derrick Faria

[Signature]

Address:

620 S Kenmore Ave.

#209 Los Angeles, CA
90005

September 6, 2019

To whom it may concern,

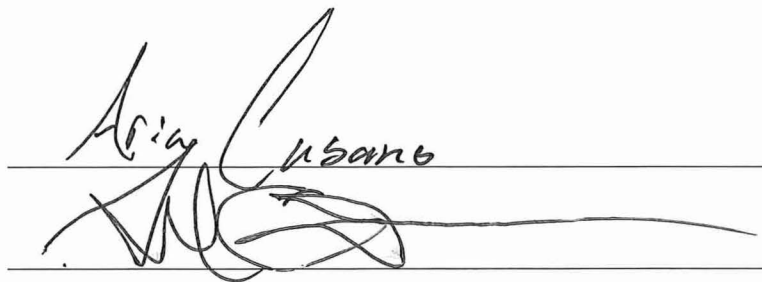
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Sincerely,



Address:

Home
1616 N. Formosa Dr #15
W. Hollywood CA 90046
work 217 W. 7th St
Los Angeles CA 90017

September 6, 2019

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Sincerely,

Grzegorz Kostrowa


Address:

548 S. Spring St Los Angeles CA
#203

September 6, 2019

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Sincerely,

Ian Wright

Address:

600 S. Spring St.

Los Angeles, CA 90014

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Sincerely,

 AMIR JOHNSON

Address:

600 S. SPRING. ST. #506
L.A. CA 90014

September 6, 2019

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Sincerely,

Lyndon Jordan

Address:

10603 Cimarron St Los Angeles
CA 90047

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Sincerely,

Jessica Faulner

Jessica Faulner

Address:

111 W 7th St #PH11

Los Angeles, CA 90014

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Sincerely,



Address:

1200 S Grand Ave
Los Angeles, CA 90015

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Sincerely,

Parsa Saghaei

Address:

5933 Colgate Ave.
LA - CA.

September 6, 2019

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Sincerely,

Cory Crabb

Address:

846 S - Broadway Apt 601
Los Angeles CA, 90014

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Sincerely,



Address:

1360 S. Figueroa St. #201
LA, CA 90015

September 6, 2019

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Sincerely,

Michael Sauve

Address:

333 La Colina Dr.

Inglewood CA 90302



Weingart Cen
www.weingart.c
566 S. San Pedro Str
Los Angeles, CA 900
(213) 627-99

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Sincerely,

Address:

451 S. MAIN ST #605
LOS ANGELES, CA 90013



Weingart Center
www.weingart.org
566 S. San Pedro St
Los Angeles, CA 900
(213) 627-9000

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Sincerely,

Jowell Daughly

Address:

123 S. Figueroa St Apt 1203

Los Angeles CA 90012



WEINGART

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Los Angeles, CA 90013
(213) 627-9000

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Sincerely,

Michelle Marini

Address:

628A S. Spring St.

L.A., Calif. 90014



WEINGART

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566 S. San Pedro Street
Los Angeles, CA 90013
(213) 627-9000

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Sincerely,

Address:

ARTHUR CAPONE
626 SOUTH SPRING STREET
LOS ANGELES, CA 90014



WEINGART

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www.weingart.org
566 S. San Pedro Street
Los Angeles, CA 90013
(213) 627-9000

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To whom it may concern,

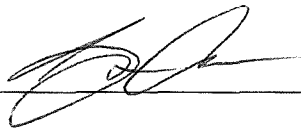
I support the development of the Weingart Center Association's proposed Permanent Supportive Housing development, 600 San Pedro. 600 San Pedro is a mixed-use residential and commercial 22-story tower that will provide more than 200 homes to individuals currently living on the streets. The development will include:

- Flexible space for social enterprise programs that provide education, employment, and life skills training
- Ground floor retail designed to change the existing Skid Row streetscape
- Roof top terraces with an open landscape design that will offer uncompromising views of downtown Los Angeles for private and public events
- Office space

Skid Row is in dire need of change! With more than 6,000 people sleeping on the streets nightly, the current housing supply and services available to this neighborhood are inadequate. As Downtown continues its historic growth; quality, innovative, inclusive, and state of the art design is needed to meet the demands of Downtown's growing population.

600 San Pedro is more than just a roof over one's head; it will stand as a beacon of possibility that will inspire individuals, transform the Skid Row streetscape, and make the City of Los Angeles proud.

Sincerely,



Address:

Spry St. Ber



WEINGART

Weingart Center
www.weingart.org
566 S. San Pedro Street
Los Angeles, CA 90013
(213) 627-9000

September 6, 2019

To whom it may concern,

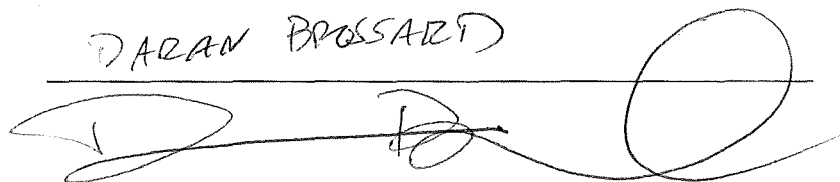
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Sincerely,

DARAN BROSSARD


Address:

510 S. SPRING ST
LOS ANGELES CA. 90013



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Sincerely,

BRIANA ROMERO

Address:

626 S. SPRING ST
90014



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(213) 627-9000

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Sincerely,

Oliver Culshaw

Address:

108 W. 2nd Street
Los Angeles, CA 90012



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www.weingart.org
566 S. San Pedro Street
Los Angeles, CA 90013
(213) 627-9000

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Sincerely,

 Dee Bee Pair

Address:

621 S. Spring St. 90014