



Echo Park

Community Design Overlay District

A Part of the General Plan -
City of Los Angeles
www.lacity.org/pln
(General Plans)

Ordinance No. 180,880
Effective Date: October 27, 2009

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SECTION 1 INTRODUCTION

Plan Overview

The Echo Park Community Design Overlay District (CDO) Plan provides guidelines and standards for public and private development projects within the District. The intent of the CDO District is to provide guidance and direction in the design of new buildings and the rehabilitation and repair of existing homes and buildings that contribute to an attractive community with a walkable and desirable residential neighborhood. In addition, the CDO would protect the culturally and architecturally significant architecture of the area, including the historic development pattern of the community as a streetcar suburb. These Guidelines and Standards bring about an overall pedestrian orientation and neighborhood beautification for the Echo Park Neighborhood.

District Goals

The purpose of the Echo Park Community Design Overlay District is to retain the neighborhood character and foster pride in the community by bolstering the District's strength as a livable residential neighborhood and to reinforce its designation in the General Plan as a Community Center while preserving architectural and cultural resources, the original, pedestrian-oriented streetcar suburb development pattern and its unique neighborhood character. The CDO seeks to create a walkable community that takes advantage of the unique characteristics of the area: historic homes, scenic hillsides, winding roads, all nestled between a lush park and lake that provides respite from the urban core and opportunities for greater physical health and well-being.

The Echo Park Neighborhood exhibits several important attributes, among them: substantial pedestrian traffic, a central location, monumental and historic architecture that provides a sense of uniqueness to the area, a diverse population, a lake amenity within a lush park and a pedestrian-oriented development pattern.

The goal of the CDO is to build upon these unique physical strengths to enhance this community.

The specific goals of the Echo Park CDO District are as follows:

1. To promote design for residential projects which invite pedestrian interest and activity and to bolster Echo Park Lake as a functional amenity of the community;
2. To provide direction for site planning that facilitates ease of pedestrian movement, maintains pedestrian stairways which connect residential areas to the lake and minimizes automobile and pedestrian conflicts;
3. To reemphasize the underlying pedestrian scale that existed within the existing Echo Park neighborhood as an initial streetcar suburb;
4. To provide direction for residential rehabilitation and guide new infill development that is consistent with the neighborhood character;
5. To preserve architecturally significant buildings in the neighborhood and to ensure that further incompatible alterations do not occur, and to encourage new development that is compatible with the surrounding neighborhood context.

Design Principles

The Design Guidelines and Standards for Echo Park are based on a set of principles found in vibrant, walkable and attractive communities. Essential to community life is the physical environment created by the arrangement and design of buildings, streets, parking lots and open spaces. Echo Park possesses many architectural assets that are vital to a vibrant community. The Echo Park CDO provides site planning,

architectural and design standards for projects which are based on the following six principles:

1. **Activity.** Sidewalk activity defines a vibrant district; development in the District should promote an active street life. The most important feature of Echo Park is the opportunity to provide much needed open and green space along the existing park that readily connects with the adjacent neighborhoods.
2. **Pedestrian Friendly.** Pedestrian friendly refers to the perceived size or bulk of a building with respect to the size of the human body as well as the reduction of vehicular/pedestrian conflict. A pedestrian friendly neighborhood can be achieved through the reduction of blank surfaces, building articulation, color, texture, ornamentation, massing, landscaping, curb cut reductions and limiting the size of driveways and garages.
3. **Individuality.** Just as a sign might show the name of a business or the nature of goods and services sold, the physical appearance of a building provides important information about the content of the neighborhood. A residential building should express clarity and distinctiveness within the context of the overall design guidelines.
4. **Contribution.** Residential design should contribute to the existing architectural character of the District as a whole. A building design can achieve the principle of contribution by using materials and architectural features that are representative of the District as a whole while at the same time fostering a sense of individuality and creativity. Buildings can achieve the principle of contribution through appropriate massing, site planning and use of materials and architectural features that take into account the physical realities of the surrounding context and not just the individual site.
5. **Relationship to the Lake.** Residential buildings abutting the lake shall emphasize the lake's importance as an amenity for passive recreation and exercise. Structures may relate to the lake through the use of paved walkways, decorative architectural features on the front façade entry way, native landscaping, and a subordinate massing.

SECTION 3 ADMINISTRATION

A. CDO Projects

All projects within the Echo Park Community Design Overlay will be reviewed for compliance with the Design and/or Rehabilitation Guidelines and Standards prior to being issued a building permit. No person shall perform any construction work on a project until a Design Overlay Plan has been submitted and approved. No building permit shall be issued for any project, and no person shall do any construction work on a project except in conformance with the approved Design Overlay Plan.

Project Definition: The erection, construction, addition to, or exterior structural alteration of any building or structure, including demolition. A project includes all residential and commercial buildings in the project area. A project does not include construction that consists solely of (1) interior remodeling, interior rehabilitation or repair work; (2) alterations of, including structural repairs, or additions to any existing building or structure in which the aggregate value of the work, in any one 24-month period, is less than 50 percent of the building or structure's replacement value before the alterations or additions, as determined by the Department of Building and Safety, unless the alterations or additions are to any building façade facing a public street.

Procedures for Major Projects: The procedures for processing a case are provided in Section 13.08 E2 of the LAMC.

Application Requirements: The materials that are required to apply for review of a project are provided in 13.08 of the LAMC, section C1.

Procedures for Minor Projects: Notwithstanding the procedures established in Section 13.08 of the LAMC regarding Design Overlay Plan Approvals for all other projects, the Director of Planning may issue a Building Permit clearance for the following

minor projects that comply fully with the Design Guidelines and Development Standards.

1. The installation of mechanical equipment that complies fully with the Design Guidelines.
2. Requests for repairs and/or modifications to the exterior of a residential property shall be made through the completion of the Echo Park CDO Residential Checklist found in Appendix C of this CDO. Modifications to the exterior of residential properties that are determined through the checklist not to constitute a substantial change to the appearance of the home as viewed from the public right-of-way and that comply fully with the provisions of the CDO shall be issued a building permit clearance sign off.

Exemptions from CDO:

1. Signs on Sunset Boulevard.
2. Historic Cultural Monuments within the Echo Park CDO.

Project & Procedure Reference Charts. The following project reference charts specifies the section of the CDO that provides the Guidelines and/or standards based on type of project. The Procedure Summary Chart provides an overview of the process based on whether the project is a major or minor project.

Project Reference Chart

Type of Project	Section of CDO
Residential new addition and infill projects.	New Construction Guidelines & Standards (p.9)
Residential rehabilitation/repair work.	Rehabilitation of Residential Properties Guidelines (p.19)
Commercial Repair work and/or additions.	Commercial Properties Rehabilitation Guidelines & Standards (p.16)
Commercial Infill projects.	Commercial Properties Infill Guidelines & Standards (p.17)
Demolition of residential and commercial properties.	Demolition Guidelines (p.18)

Procedure Summary Chart

Type of Project	Section of CDO
Major Project	Design Overlay Plan Approval filed, fee paid & Director's Determination issued.
Minor Project	Over the counter review based on CDO Checklist. Director approved sign-off on building permits.
Exemptions	Not subject to CDO approval.
Demolition	Design Overlay Plan Approval filed, fee paid & Director's Determination issued.

B. Relationship to Other Plans and Other Provisions of the LAMC.

Wherever the provisions of the CDO conflict with provisions of the LAMC and any ordinance therein, the LAMC shall supersede the CDO unless an ordinance, such as a Qualifying Condition has been adopted to support the provision of the CDO.

SECTION 4 DEFINITIONS

Site Planning

Site Planning refers to how buildings and uses are placed on the site.

Building Design

Building Design refers to the configuration of massing, height, lot coverage and openings on individual buildings. Building Design also addresses issues such as fenestration, roof configuration and façade articulation.

Architectural Features

Architectural features are individual adornments and specific details that begin to define the character and appearance of a building. Whereas Building Design would relate to the number and pattern of window openings, Architectural Features will address the type of window used, the surrounding sills and frames, etc.

Addition

An addition is any new construction to a residential or commercial property. An addition includes porches, decks and verandas.

Mechanical Features

Mechanical Features are any mechanical apparatus related to the functioning of a building or site. This would include large items such as HVAC equipment loading docks and wireless communication facilities. Mechanical Features also include security equipment such as retractable security grills, window bars and other anti-theft devices. Lastly, Mechanical Features include items such as trash and recycling enclosures, irrigation/potable water backflow preventers and transformers.

Architectural Resources

Structures that represent Period Architecture and contribute to neighborhood character identified in Appendix D.

Articulation

The term articulation refers to a variation in a wall, façade or roofline. Such a variation can be accomplished through the

changing of a plane, variations in materials, coloration or the introduction of architectural features.

Partial Demolition

Partial demolition includes the removal of a portion of an exterior wall visible from the public right-of-way.

Finished Grade

Final grade of the site after excavating or filling which conforms to the approved final grading plan.

Original feature

Pertains to the original architectural features that were present at the time the property was developed.

Pedestrian Entrance

A Pedestrian Entrance is the primary entrance that serves a building or individual business on a building façade facing the sidewalk. A Pedestrian entrance is demarcated by architectural features such as columns, canopies or steps and helps promote use of the building.

Stucco

A smooth plaster composed of Portland or masonry cement, sand and hydrated lime, mixed with water and applied in a plastic state to form a hard covering for exterior walls

Usable Outdoor Public Space

Usable outdoor public space refers to outdoor areas that facilitate pedestrian activity and act as a focal point to community activity. Usable public spaces can be implemented into site design through the use of plazas, courtyards, outdoor dining areas and other such outdoor spaces.

Visible from the Public Right-Of-Way

Includes anything that is visible on a human scale from the adjacent sidewalk.

SECTION 5 NEW CONSTRUCTION RESIDENTIAL INFILL GUIDELINES & STANDARDS

1. Setbacks

Guideline 1: Encourage an inviting pedestrian environment and provide for streetwall continuity by locating buildings with a consistent setback, orienting buildings to the street and providing pedestrian amenities along the front of buildings.

Design Standard 1a.

New construction shall match existing setbacks on adjacent properties to the greatest extent possible allowed by zoning code.

Design Standard 1b.

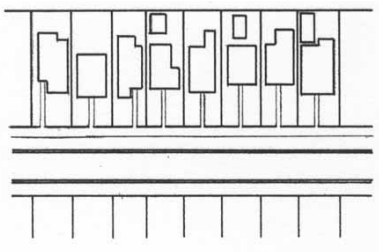
If adjacent properties have different setbacks, new setback should be an average of the two, to the greatest extent possible allowed by zoning code.

Design Standard 1c.

Low Medium Residential properties designated as Hillside Viewshed Protection Areas (see Appendix B) are exempt from matching existing setbacks and/or averaging of setbacks.



Standard 1a example. Historic setbacks in project area.



Standard 1a example. Setbacks are consistent in this diagram.

2. Front Yards

Guideline 2: Front yards should encourage an inviting pedestrian environment and provide for transition between the



Standard 2a-2b example. Inviting pedestrian entrance with landscaping.

public right of way and the residential building. Front yard areas should remain open and used for landscaping and passive recreation space.

Design Standard 2a.

A pedestrian entrance shall be provided on the façade of structures fronting the street.

Design Standard 2b.

The entrance shall be emphasized by employing one of the following paving treatments:

- Brick or tile
- Precast pavers
- Stamped concrete

Design Standard 2c.

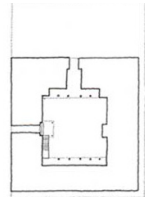
Where projects have multiple residential units at ground level, individual entrances are encouraged.

3. Open Space & Landscaping

Guideline 3: Encourage the use of open space, landscaping and recreation areas. In addition to aesthetic benefits, landscaping provides shade, reduces glare and minimizes surface runoff during rainy periods. Projects should provide landscaping that complements existing architecture, provides shade to pedestrian areas and that provides a high level of surface permeability. Front yard and outdoor spaces such as common and private open space should be developed to an extent that encourages use and enhances the livability of residential structures.

Design Standard 3a.

All multi-family residential developments with six units or more are encouraged to be designed around a landscaped focal point or courtyard open to the street, when appropriate.



Standard 3a example. Central courtyard layout.

Design Standard 3b.

Landscaping which includes grouping of plant materials, consisting of small trees, shrubs, planter boxes or tubs of flowers shall be placed at entrances to courtyards and along walkways.



Standard 3a-5c example. Multi-family development with central courtyard

Design Standard 3c.

At least 50% of front yard open space should be landscaped, excluding driveways.



Standard 3a example. Central courtyard with lush landscaping.

Design Standard 3d.

Drought tolerant plant species shall be utilized within required open space areas to the greatest extent possible.



Standard 3c example. Drought-tolerant chaparral.

Design Standard 3e.

Concrete block walls, concrete block pilasters, masonry walls, and chain link fences shall not be used for front yard fences or any fences along a public street, unless the fence is a retaining wall.

Design Standard 3f.

Design projects to conform to



Standard 3f example. Bromus Tectorum, a California Invasive Plant.

the natural topography to the extent feasible.

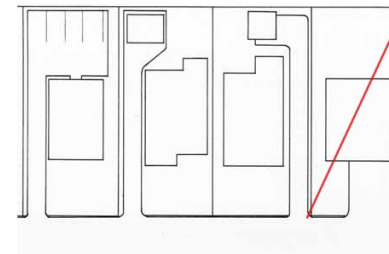
Design Standard 3g.

California Invasive plants classified as moderate or above are discouraged in projects facing the lake (California Invasive Plant Council).

4. Parking Areas

Guideline 4: Parking areas and the driveways that accompany them can contribute to a cluttered appearance and can diminish the pedestrian liveliness of a street. Such areas

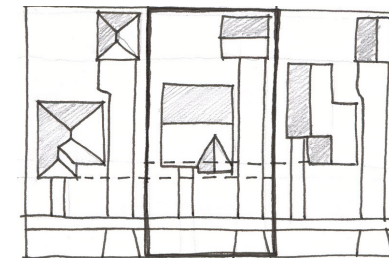
should be kept out of view from the public street to the greatest extent possible.



Standard 4a example. Parking areas are located to the rear of property.

Design Standard 4a.

Parking areas shall be located underground, at the rear of properties or at other suitable locations that are not visible from the public street, unless topography makes it infeasible.



Standard 4a example. Parking garage is located to the rear of property.

Design Standard 4b.

Driveways within the front yard area shall be no wider than 12 feet unless required by Building and Safety and/or the Department of Transportation.

Design Standard 4c.

Multiple garage bays for buildings with subterranean parking along the front of a building should be avoided. Surface parking areas and driveway “back-up” space between a structure and the public street (regardless of setback requirements) are prohibited.

Design Standard 4d.

Garage Bays into subterranean parking shall be no wider than 12 feet, unless required by Building & Safety or the Department of Transportation.

Design Standard 4e.

Garage bays/Driveway entryways into subterranean parking along the front of the building shall be partially submerged below ground floor level, if feasible.

Design Standard 4f.

Single-car garage doors are preferred. When a double car garage door is necessary, the door shall be designed so as to give the appearance of a single-car garage door. A landscaped



Standard 4d-4e example. Example of a 12 foot wide garage entryway.



Standard 4f example. Single-car garage doors.

strip of at least 6 inches should divide the driveway into two halves.

Design Standard 4g.

Any portion of a parking level, which exceeds finished grade, shall be screened from the view of the public right-of-way by landscape features including trees, shrubbery, planter boxes or berms at least three (3) feet in height. The exterior design of the structure should include variations in color, materials and/or texture to create pedestrian interest and scale.

- i. Parking Structure Openings exceeding finished grade should be occupied by decorative wrought-iron, horizontal louvers, intricate latticework or the appearance of windows or other decorative architectural feature. It is preferred that openings be covered with vines.
- ii. Parking Structure Openings should be minimized.

Design Standard 4h.

If an alleyway is present, parking areas shall be provided to the rear of a property. If an alleyway is present, additional curb cuts are prohibited. Properties are exempt if there is a substandard alleyway and/or topographic issues are present.

5. Buildings Fronting the Lake

Guideline 5: Buildings fronting the lake should include walkways, paseos or other features relating it to the lake. Properties fronting the lake act as a gateway to the community, providing scenic views of the hillsides and displaying the architectural history of the area. Properties fronting the lake should provide a seamless transition between the public and private realm, with lush landscaping that transition into Echo Park and architecture that does not detract from the area’s character. The following standards apply only to properties fronting the lake.

Design Standard 5a.

Orient primary entrances toward the street nearest the lake. Emphasize entrances through architectural features such as front porches, awnings, columns and/or prominent walkways.



Standard 5a example. Prominent Walkway.

Design Standard 5b.

Paving surfaces shall be provided for driveways.



Standard 5d example. Private Walkway leading to the lake.

Design Standard 5c.

For buildings with 6 units or more on properties fronting the lake and occupying a parcel at least 100 feet in width, as part of the open space requirement, a courtyard and/or paseo is preferred and encouraged to be visible to the street and to the lake. Paseos shall be paved.

- i. At least 50% of the required open space shall be landscaped.

Design Standard 5d.

Walkways on private property leading from the structure's primary entrance to the lake are encouraged and should be paved.

Design Standard 5e.

Multi-family buildings with 6 units or more shall contract with a licensed landscape architect, a landscape or garden designer to design and install a landscape of native plants arranged into naturalized patterns.

Design Standard 5f.

Use hardscape materials (pervious encouraged) on no more than 50% of the site area of any street-facing yard. The balance of the area shall be planted with native and/or drought tolerant species.



Standard 6a example. Well-articulated Facade.



Standard 6a-7a example. Complimentary Infill.



Standard 6a-7a example. Example of well-articulated new construction.

6. Articulation

Guideline 6: Buildings should have fenestration that establishes a clear pattern on the façade (with special attention paid to facades that are visible from the street) and that provides depth and additional articulation. The design of all buildings should be of a quality and character that improves community appearance and should be representative of an overall architectural theme. Buildings should be composed of a variety of forms, contrasting shapes and should employ attractive and complimentary building materials and architectural features.

Design Standard 6a.

All exterior building walls shall provide a break in the plane, or a change in material, at least every 10 feet in horizontal length and every 15 feet in vertical length, created by an

articulation or architectural detail, such as:

- A change in plane of at least 18 inches.
- Windows that are recessed at least six inches, when appropriate to architectural style.
- Incorporation of varied window treatments such as multiplane, octagonal, circular, or bay windows.
- Perforations on the surface of the building plane.
- Building overhangs, porticoes, or projections.
- Terraces, balconies, porches or cantilevered designs.
- Wood accents and wood trim for windows and doors.
- Varying roof forms and heights.
- Other architectural features or building materials that create a visual break.

7. Massing and Scale

Guideline 7: The overall scale, massing, roof form, materials and architectural style of new structures shall be consistent with the surrounding neighborhood context and provide a variety of forms, depth and texture. Encourage a cohesive neighborhood character by building new structures and additions at a scale that is appropriate to the street and the surrounding neighborhood context. The visual impact of large structures may be fashioned by creating a cluster of smaller buildings or the appearance of a series of smaller buildings. Building massing should include a variation in wall planes and height as well as roof forms to reduce the perceived scale of the building. Hillside properties fronting the lake should preserve hillside viewsheds from the lake by creating a massing that contours the hillside through terracing.

Design Standard 7a.

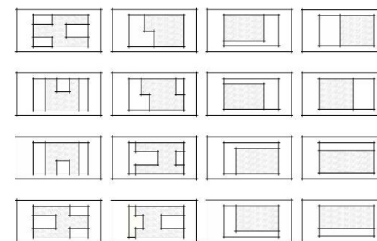
All building fixtures shall complement and be architecturally integrated to the design of the building and should be compatible and complimentary with the immediate area's architecture.



Standard 7e example. Example of stepbacks in the area.



Standard 7f example. The third floor of this home does not occupy more than 75% of the second floor.



Standard 7f example. Examples of different roof forms not occupying more than 75% of 2nd Floor footprint.

Design Standard 7b.

For Low Medium Residential properties a new separate massing shall occur approximately after 100 feet of horizontal building plane facing the public right-of-way.

Design Standard 7c.

For Medium Residential properties there shall be a building modulation at least every 100 feet of horizontal building plane, with a building indentation of approximately 15 feet in depth and 20 feet in width. Indentation may occur in a stepwise fashion.

Design Standard 7d.

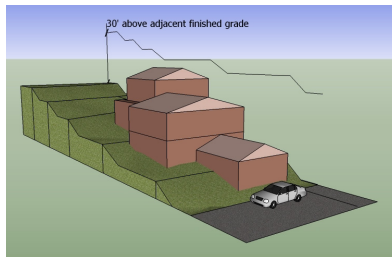
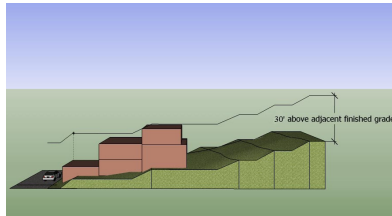
For Medium Residential properties a new separate massing shall occur after approximately 190 linear feet of horizontal building plane facing the public right-of-way.

Design Standard 7e.

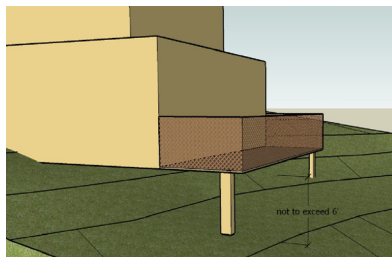
For Low Medium Residential hillside properties designated as Hillside Viewshed Protection Areas Fronting the Lake (see Appendix B), buildings or structures shall not substantially exceed 30 feet in height from adjacent finished grade, measured as the vertical

distance from the adjacent finished grade of the site to an imaginary plane located above and parallel to the finished grade.

- i. The finished floor elevation directly above an exposed underfloor area shall be limited to 6 feet above finished grade.
- ii. Attached decks shall be limited such that no portion of the walking surface of a deck with visible underpinnings shall exceed a height of 6' above grade and decks shall be integrated into the architecture of the house, and not appear as an add-on to the primary building mass.



Standard 7f example. Height does not exceed 30 feet at any finished grade with a pitched or flat roof.



Standard 7f-ii example. Deck underpinnings do not exceed 6 feet.

Design Standard 7f.

For Low Medium Residential properties the third floor of a building shall occupy approximately 75% of the 2nd floor footprint.

- i. The stepbacks may be occupied by a sloped roof. The roofline from the second to third-floor may incorporate dormers or other ancillary architectural features.
- ii. The majority of the third-floor square footage should be concentrated towards the rear.
- iii. Buildings that are designed around a centralized courtyard are exempt from this requirement.

- iv. Low Medium Residential properties designated as Hillside Viewshed Protection Areas Fronting the Lake are exempt from this requirement.

Design Standard 7g.

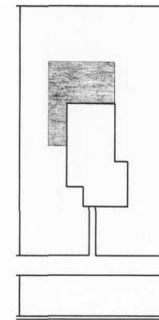
For Medium Residential properties, an 8 foot stepback is required after approximately 30 feet of building height on the front façade in a manner that diminishes massing and provides for varied articulation.

8. Additions

Guideline 8: Encourage architectural compatibility by designing additions to have compatible architectural features and forms.

Design Standard 8a.

Locate additions to the rear of existing structures away from the front façade of an existing building where possible.



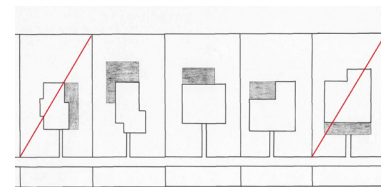
Standard 8a example. Addition is situated to the rear and appropriate in size.

Design Standard 8b.

Significant architectural features such as porches, pitched roof, bay windows, decorative roof brackets etc. should be repeated on addition.

Design Standard 8c.

Second-story additions to one-story buildings should repeat the original pitched roof of the original structure.



Standard 8a example. Appropriate and appropriately sited additions.

Design Standard 8d.

Additions should use similar finish

materials and fenestration patterns as the original structure. A stucco addition to a wood clapboard house, for example, would be inappropriate.

Design Standard 8e.

Additions shall be compatible in size, and scale with the original structure.

Design Standard 8f.

Addition roofing forms and materials should echo those of the original structure.

Design Standard 8g.

Second floor additions to garages or carriage houses should not be larger than the length and width of a standard three-car garage.

9. Trash Enclosures

Guideline 9: Trash enclosures should be designed so that trash and recycle bins are not visible to the general public.

Design Standard 9a.

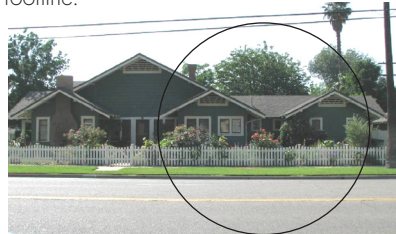
For buildings with 6 units or more, all trash collection areas should be enclosed with a minimum six-foot high decorative wall or fence.

Design Standard 9b.

For buildings with 6 units or more, it is recommended that a



Standard 8e-8f example. 2nd floor addition is not to scale with the original structure and does not repeat original roofline.



Standard 8e-8f example. Addition is compatible with repeated architectural features and forms.



Standard 8g example. Two-story carriage house.



Standard 9a-9b example. Decorative fence enclosing trash collection area.

separate enclosure area for recyclable materials be provided for each trash enclosure.

10. Wireless Telecommunications Facilities

Guideline 10: Wireless telecommunication facilities

should be designed so as to appear compatible with or complementary to surrounding architecture and structures.

Design Standard 10a.

Where possible, wireless telecommunication facilities shall be incorporated into existing buildings and other structures and shall appear unobtrusive.

Design Standard 10b.

Where possible, rooftop wireless facilities shall be located so as to be least disruptive to the primary visible façade of the building and shall be screened by materials that are simple and do not compete with or attempt to replicate the architectural features of the existing building.

SECTION 6 COMMERCIAL PROPERTIES REHABILITATION GUIDELINES & STANDARDS

Guideline 1: Commercial properties in Echo Park were built as neighborhood commercial in the early 20th century at a pedestrian scale served by the streetcar in an effort to allow easy access and walkability. As such, the period architecture is characterized by generous transparency and articulation to promote visual interest.

Projects identified as Architectural Resources in Appendix D are subject to the Secretary of the Interior's Standards for Rehabilitation of Historic Buildings, using the following standards:

Design Standard 1a

The original appearance of publicly visible facades shall be preserved. The removal of original materials or alteration of features and spaces that characterize a property shall be avoided.

Design Standard 1b

Deteriorated original features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials.

Design Standard 1c

Replacement elements shall match the original materials, design and finish as closely as possible.

Design Standard 1d

Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Design Standard 1e

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Design Standard 1f

New additions shall be designed to be compatible with the massing, size, scale and architectural features of a structure or site, while clearly reflecting the modern origin of the addition. Additions shall be designed to preserve the significant original fabric of structures or sites.

Design Standard 1g

Chemical or physical treatments, such as sandblasting, that cause damage to materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

SECTION 7 COMMERCIAL PROPERTIES INFILL GUIDELINES & STANDARDS

Guideline 1: Consider the design character of the nearby historic properties.

Design Standard 1a

Do not imitate historic architectural styles; a modern interpretation may be appropriate if architectural features are borrowed and replicated to a simpler form.

Guideline 2: Maintain the setbacks and form of buildings in the surrounding context.

Design Standard 2a

New construction shall be built to the property line.

Design Standard 2b

Other outlines, such as those seen from similar eave heights, porch heights and the relative alignment of window and door moldings, shall be complimentary in scale and size.

Design Standard 2c

Building may be set back an additional 15 feet if a paved courtyard is provided with a pedestrian amenity (water feature, benches, shade trees, landscaping).

Guideline 3: Relate to the scale of nearby architecturally significant buildings. Buildings along Sunset are characterized by a pedestrian scale and interest, which add variety to the surrounding commercial district. A new building should relate to the general size, shape and proportions of those buildings seen on Sunset.

Design Standard 3a

Minimize the visual impact of large monolithic structures by creating a cluster of smaller buildings or the appearance of a series of smaller buildings in line with the horizontal building divisions seen along Sunset.

Design Standard 3b

Building frontage on the floor(s) immediately above the ground floor shall be differentiated from the ground floor by recessed windows, balconies, offset planes or other architectural details.

Design Standard 3c

All exterior building walls shall provide a break in the plane, or a change in material, at least every 10 feet in horizontal length and every 15 feet in vertical length, created by an articulation or architectural detail, such as:

- A change in plane of at least 18 inches.
- Windows that are recessed at least six inches, when appropriate to architectural style.
- Incorporation of varied window treatments such as multiplane, octagonal, circular, greenhouse or bay windows.
- Perforations on the surface of the building plane
- Building overhangs, porticoes, or projections
- Terraces, balconies, porches or cantilevered designs
- Wood accents and wood trim for windows and doors, when appropriate to architectural style.
- Varying roof forms and heights.
- Other architectural features or building materials that create a visual break.

Design Standard 3d

At least 50 percent of the building frontage between 2 and 8 feet of the ground floor of a building shall be devoted to:

- entrances for pedestrians
- display windows
- windows affording views into retail, office or lobby space

Design Standard 3e

Every building establishment must have a pedestrian entrance fronting the main commercial street.

Guideline 4: It is equally important for a new building to use similar primary building materials, at least in appearance.

Design Standard 4a

Employ materials that relate to the established architectural vocabulary of the neighboring buildings and district.

SECTION 8 DEMOLITION GUIDELINES

Buildings that are listed as Architectural Resources in the Echo Park CDO Index are subject to CEQA. Demolition projects shall conform to the following Guidelines. These Guidelines only apply to main structures and not secondary structures found in the Echo Park CDO Appendix.

1. The replacement project shall confer substantial benefits consistent with the residential goals and objectives of the Echo Park-Elysian Valley Community Plan, including, but not limited to, preserving neighborhood character.
2. The replacement project shall have a positive impact on neighborhood character, and that impact shall be so substantial as to offset the Silverlake-Echo Park-Elysian Valley Community Plan's policy of preserving period architecture.
3. The replacement project shall meet the design guidelines in the Echo Park CDO.

And/or

4. The continuance and non-demolition of the building will deprive the owner of the right to exit the rental market or cause a substantial denial of all economically viable use or economic return of the property. In the latter case, the applicant shall supply to the Planning Department with the following information:
 - a. The amount paid for the property, the date of purchase and the party from whom purchased (including in the description the relationship, if any, between the owner and the person from whom the property was purchased).
 - b. Photographs of existing conditions.
 - c. Engineer's report or other report on the condition of the structure.
 - d. Estimate by Engineer of cost of repairing structure, if applicable.

And/or

5. The demolition is required as a correction of Emergency or Hazardous Conditions where the Department of Building and Safety, Housing Department, or other enforcement agency has determined that emergency or hazardous conditions currently exist and the emergency or hazardous conditions must be corrected in the interest of the public health, safety and welfare. When feasible, the Department of Building and Safety, Housing Department, or other enforcement agency should consult with the Director on how to correct the hazardous condition, consistent with the goals of the Community Design Overlay. However, any other work shall comply with the provisions of this section.

SECTION 9 REHABILITATION OF RESIDENTIAL PROPERTIES GUIDELINES

General Rule: The Rehabilitation guidelines apply to structures identified as Architectural Resources in Appendix D of the Echo Park CDO. The Appendix shall serve as a reference for determining the presence of original features on a property. Existing features not original to the home are not subject to these guidelines. These guidelines shall apply to the portions of the residential structures visible at the public right-of-way.

1. Pedestrian Orientation

Guideline 1: Architecturally significant structures traditionally were sited on their lots in a way that emphasized a progression of public to private spaces and contribute to a sense of pedestrian orientation. Preserve and retain original landscaping, fences, walks, and open space to the extent feasible.

Design Standard 1a.

Mature trees and hedges should be retained whenever possible. If replacement is necessary, in-kind plant materials are recommended.

Design Standard 1b.

Historic topographic features shall be preserved whenever possible. Leveling or terracing a lot that was traditionally characterized by a steep hillside or raised lawn shall be avoided when possible.



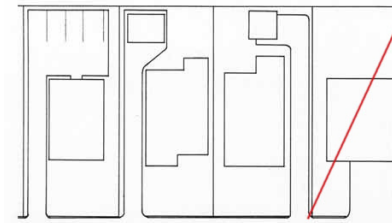
Standard 1a example. Mature trees should be retained.

Design Standard 1c.

Original walkways and other hardscape features in the front yard should be preserved. If these elements are replaced, they should be replaced with materials similar to those historically present in the area.



Standard 1d example. Historic retaining wall.



Standard 1g example. Parking areas shall be located to the rear of the property.

Design Standard 1f.

The traditional character of residential front and side yards should be preserved. These areas should be reserved for planting materials and lawn, and non-porous ground coverings should be minimized.

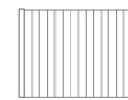
Design Standard 1g.

Parking areas and carports shall be located to the rear of a

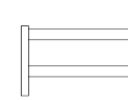
Wood



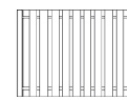
Picket Fence



Stockade Fence



Split Rail Fence



Board on Board Fence

Standard 1e example. Appropriate wooden fences.

Design Standard 1d.

New or replacement retaining walls shall be constructed in a style and with materials that harmonize with the house and with other existing historic retaining walls in the area.

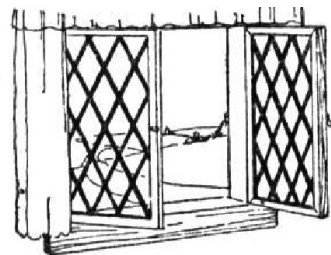
Design Standard 1e.

A simple semi-transparent wrought iron fence painted in dark green, dark brown, or black is appropriate. In some cases, wooden fencing (including material that looks like wood) may be appropriate, including picket, split rail, board on board and stockade styles. All other fences are prohibited.

structure, and driveways to the side or rear, whenever possible. Paving the front yard is inappropriate.

Design Standard 1h.

Widening a driveway is inappropriate. "Hollywood" driveways, in which the tracks for the car are separated by a planted strip, are appropriate.



Casement

Standard 2c example. Preserve original pattern of fenestration and openings to the extent feasible.

2. Fenestration

Guideline 2: Preserve original pattern of fenestration and openings to the extent feasible.

Design Standard 2a.

Repair original windows or doors whenever possible instead of replacing them.



Standard 2c example. The original windows to this home contribute to the home's character.

Design Standard 2b.

When the replacement of windows/doors on street visible facades is necessary, replacement shall match the original windows/doors in size, shape, arrangement of panes, materials, hardware, method of construction, and profile. True divided light windows shall be replaced with true divided light windows, and wood windows with wood windows.



Standard 2c example. This home had its original windows removed and inappropriate window openings added.



Standard 2e example. Interior burglar bars do not match the muntin and mullion patterns of the window.

Design Standard 2c.

The original pattern, location, size and proportions of windows/doors onto a façade shall be maintained. Filling in or altering the size of original windows/doors is inappropriate.

Design Standard 2d.

Adding new windows/doors to building facades is inappropriate.

Design Standard 2e.

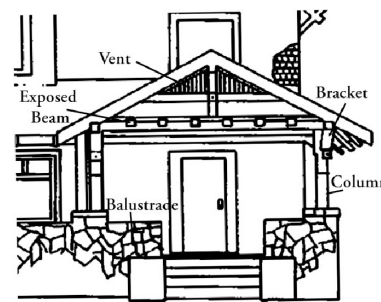
Burglar or safety bars should only be installed on secondary facades (not visible from the public right of way). Bars should match the muntin and mullion patterns of the window on which they are mounted as closely as possible, and should be painted to match the predominant window trim. However with respect to significant security concerns, any necessary bars on the front façade should be installed on the interior of a window or opening, match the muntin and mullion patterns of the window on which they are mounted, and be painted to match the predominant window trim.

Design Standard 2f.

Decorative bars or grillwork that is original to the structure shall be retained.

3. Porches

Guideline 3: Porches are one of the most important character defining features of historic structures and original porches and features should be preserved to the extent feasible.



Standard 3b example. Craftsman Style porch.

Design Standard 3a.

Original porches shall be preserved in place.

Design Standard 3b.

Decorative details that help to define an original porch should be preserved. These include balusters, balustrades, columns, and brackets.



Standard 3d-3e example. Enclosed porch fitted with windows.

Design Standard 3c.

If elements of the porch, such as decorative brackets or columns, must be replaced, replacement materials shall match or appear to match the originals in design and materials.

Design Standard 3d.

Additional porch elements should not be added if they did not exist originally.

Design Standard 3e.

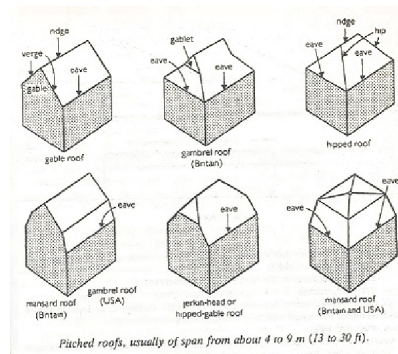
Enclosure of part or all of a street visible porch is inappropriate.

Design Standard 3f.

Addition of a handrail on the front steps of a house for safety or handicapped access reasons may be appropriate, if the handrail is very simple in design.

4. Roofs

Guideline 4: Varied roof forms add to the neighborhood character. Original roof forms shall be preserved to the extent feasible.



Standard 4a example. Various roof forms.

Design Standard 4a.

Original roof forms should be preserved. For instance, a complex roof plan with many gables should not be simplified.

Design Standard 4b.

Original Roof and eave details, such as rafter tails, vents, corbels, dormers, built in gutters, chimneys and other architectural features and/or materials shall be preserved. If these elements are deteriorated, they shall be repaired if possible.



Standard 4b example. Original rafter tails should be preserved.

Design Standard 4c.

Replacement roof materials shall be substantially similar in appearance to those used originally, particularly when viewed at a distance from the public sidewalk, and shall convey a scale, texture, and color similar to those used originally.

5. Architectural Details

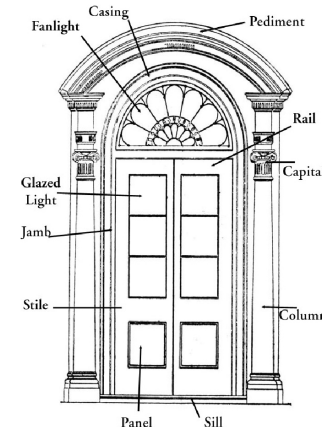
Guideline 5: Architectural details showcase design and add visual interest. Such features shall be preserved to the extent feasible.

Design Standard 5a.

Original architectural details or features shall be preserved and maintained.

Design Standard 5b.

Deteriorated materials or features shall be repaired in place, if possible.



Standard 5a example. Elements of a door.

Design Standard 5c.

When it is necessary to replace original materials or features due to deterioration, replacement shall be or appear to be in kind, matching materials, texture and design.



Standard 5a example. Architectural elements of a Craftsman home.

Design Standard 5d.

Original building materials and details shall not be covered with non-original materials.

Design Standard 5e.

Architectural details and features that are not appropriate to the architectural style of a building or structure shall not be added.



Standard 5a example. Original terracotta detailing should be preserved.

6. Original Building Materials & Finishes

Guideline 6: Original building materials and finishes shall be preserved to the extent feasible.

Design Standard 6a.

Original building materials shall be preserved whenever possible.

Design Standard 6b.

Repairs through consolidation or “patching in” are preferred to replacement.

Design Standard 6c.

If replacement is necessary, replacement materials shall match or appear to match the original in material, scale, finish, details, profile, and texture.

Design Standard 6d.

Original building materials shall not be covered with vinyl, stucco, or other finishes.

Design Standard 6e.

If resurfacing of a stucco surface is necessary, the surface applied should match the original in texture and finish.

7. Mechanical Features

Guideline 7: The presence of mechanical features can detract from neighborhood character. Screen mechanical equipment when feasible.

Design Standard 7a.

Satellite television dishes and other mechanical appurtenances (including electrical masts, headers and fuse boxes) shall be placed in a location that is not visible from the public way whenever possible and that does not damage significant architectural features.

Design Standard 7b.

Mechanical apparatus not mounted on the structure shall not be located on street visible facades, whenever possible. In addition, consider placing such apparatus out of sight and sound of neighboring homes.

Design Standard 7c.

Mechanical apparatus that must be placed in a street visible location shall be obscured from view whenever possible, including the use of landscape screening and the use of paint colors to match the surrounding environment.

SECTION 10 APPENDIX A

Echo Park Overview¹

Echo Park developed around Echo Park Lake, which traces its origins to the earliest remnants of the City of Los Angeles water system. The Echo Park area is located in one of the earliest suburbs that developed around downtown Los Angeles. Echo Park Lake was a reservoir that was created in 1870 as a part of the City's original water system, and Echo Park, one of the City's earliest municipal parks, was established in the 1890s. The CDO area is generally bounded by Sunset Boulevard on the north, Hollywood (U.S. 101) Freeway on the south, Bonnie Brae Street on the west, and Echo Park Avenue on the east. These boundaries are not entirely consistent with the extent of development within historic tract boundaries. On the western edge of Echo Park, Glendale Boulevard abuts a steeply ascending hillside terrain, and several municipal staircases link the hilltop neighborhood. Echo Park Lake is nestled between two hills: the hill to the west in the Echo Park CDO and to the east in the Angelino Heights HPOZ.

First established as Reservoir No. 4 by the Canal & Reservoir Company in 1870, Echo Park Lake was essentially a basin that



served to capture runoff from the “upper flows” of the Los Angeles River. Water from the reservoir powered the City's first woolen mills. In 1872 the Canal & Reservoir Company sold the property to a group of investors, including Thomas Kelley, which began years of legal wrangling with the city over water rights. Despite uncertain ownership, Kelley and his associates platted the Montana Tract in 1887 to capitalize on the real estate boom occurring during the 1880s. After years of litigation with the City of Los Angeles, Kelley and his associates abandoned their water-rights claim, and donated one-third of the land to create a city park.

In 1903, developers Hoge & Gaylord and Moses Wicks subdivided the Echo Park Tract and the Lake Side Tract for residential purposes in the western portion of the project area. A 1906 Sanborn map indicates a smattering of residential development along Bonnie Brae Street, Montrose, Kent, Lake Shore Avenue, and Sunset Boulevard, with the majority of parcels vacant.

Craftsman style houses began to appear in Echo Park after the turn of the century. Derived from the Arts and Crafts movement in California, architects and contractor-builders of the Craftsman style produced bungalows and mid-size middle class homes. Typically wood frame, sheathed in clapboard or shingles, these homes made extensive use of local Arroyo stone or brick for garden walls, foundations, chimneys, and porch supports. Low-pitched gable roofs, projecting rafters, and numerous porches defined the style. Extant Craftsman single-family homes in the project area can be

found on Clinton Street and Burlington Avenue, for example, though some have been altered.

Other architectural styles which predominated in the twentieth century single-family residential subdivisions of the Echo Park CDO area included the Classical or Colonial Revival style bungalows, and the Mediterranean or Spanish

Colonial Revival style homes which still stand in many neighborhoods throughout Echo Park. Set back from the street, low in scale, the Classical or Colonial Revival style houses were detailed with classical columns and pediments. The Spanish Colonial Revival houses were ornamented with tile roofs and shutters. These small structures, in either style, expressed the desire for home ownership and growth of community through residential development.

Early Modern styles began to appear in Los Angeles during the 1930s and fine examples of modern styles exist in the survey area, some with significant historic associations.

Echo Park was developed as a streetcar suburb, which was designed with an eye toward neighborhood walkability and the convenient use of public transportation. Echo Park was characterized by carriage houses in the rear, which often included parking garages accessible through a rear alleyway, driveways and built-in garages were less common. Local community shops such as groceries, bakeries and drug stores were usually built near the intersection of streetcar lines or directly along more heavily traveled routes, such as Sunset Boulevard. These shops would sometimes be multi-story buildings (Jensen's Recreation Center is the prominent commercial building in the immediate area), with



Glendale Blvd. by Sunset Blvd., 1904.

apartments on the upper floors. These provided convenient shopping for household supplies for the surrounding neighborhoods that could potentially be visited on ones way to or from work.

The CDO project area was primarily developed by three different developers, beginning in 1887 when Thomas Kelley and his associates platted the Montana Tract. The Montana Tract includes parcels located on Park Avenue to Sunset Boulevard and Montana Street. The Echo Park Tract, stretching from the west side of Glendale Boulevard at Kent Street on the south to Sunset Boulevard on the north, was subdivided by Hoge & Gaylord in 1903. Due west, remaining parcels in the survey area are located within the boundaries of the Lake Side Tract, platted by Moses L. Wicks and Stephens Investment Company in 1903. A few miscellaneous parcels in the CDO are not included within these tract boundaries.

The majority of development ended by the 1930's. Modern style houses were built in the 1940's and 1950's. While the majority of the area was developed by this point, the construction of the Hollywood (101) Freeway in 1953 marked a physical barrier to the nature of the neighborhood, separating the lake area from other residential communities. Also in 1953 two major buildings were constructed for the Church of the Foursquare Gospel, a National Historic Landmark.

Also within the CDO project area along Sunset Boulevard is a 1920s-era commercial district, distinguished by the Beaux-Arts style Jensen's Recreation Center, built in 1924. The strip, modest in scale, has historically serviced the survey area and adjacent neighborhoods, and it remains one of the few commercial districts from its era that retains an integrity of feeling and association in the City. The modest commercial centers in the area were part of the neighborhood-serving, street-car integrated layout of the district, where walkability and ease of access were paramount. In addition, this portion of Sunset Boulevard, between Figueroa Street and Santa Monica Boulevard, was originally Route 66,

and the commercial buildings along Sunset Boulevard retain their associations with this historic road. The CDO provides Interim Design Guidelines until permanent regulations are adopted for Sunset Boulevard.

Angelus Temple

The Angelus Temple remains one of the most significant structures in Echo Park, and the presence of the Church of the Foursquare Gospel may have influenced development patterns in the area. In 1923 Aimee Semple McPherson established the Angelus Temple on Glendale Boulevard to house her International Church of the Foursquare Gospel. The Foursquare Gospel, based on Pentecostal teachings, such as baptism and the Second Coming, eventually sprouted 240 churches in Southern California, and 200 across the country.



¹ Adapted from the Echo Park Historic Resources Survey, by Jones & Stokes; December, 2007.

SECTION 10 APPENDIX B

Map of Hillside Viewshed Protection Areas Fronting the Lake



■ Hillside Viewshed Protection Areas
□ Echo Park CDO Boundary

SECTION 10 APPENDIX C

Residential Rehabilitation Checklist

Projects that do not involve a “Yes” answer to all questions and/or that are not visible from the public right-of-way may be found in substantial conformance with the provisions of the Echo Park Design Guidelines and Development Standards and may be issued a Building Permit Clearance Sign-off. Projects that do involve a “yes” answer to any of the following questions must submit a formal application to the Department of City Planning for Community Design Overlay Plan Approval subject to the provisions of LAMC 13.08.



Applicant Name: _____ Application Signature _____

Property Address: _____

Phone: (___) _____

Planning Case No: _____ Building Permit No: _____

Architectural Resources Listed in the Echo Park Appendix

1. Yes No Does the project involve repair work, which does not include in-kind replacement and does involve a change in the original design and/or materials?

Site Planning

- 2. Yes No Does the project involve the removal or relocation of a primary entrance?
- 3. Yes No Does the project involve the relocation of a parking area to an area on the site that is not the side or rear yard?
- 4. Yes No Does the project involve demolition? Or partial demolition?

Building Design

- 5. Yes No Does the project involve the enclosure of, removal or alteration of a front porch?
- 6. Yes No Does the project involve the modification of window or door openings?
- 7. Yes No If the project involves an addition, does the addition protrude from the existing roof line as viewed from the sidewalk?
Does the addition contain a building façade facing a public street?

Architectural Features

8. Yes No Does the project involve a change in original building material (such as wood cladding to stucco)?
9. Yes No Does the project involve the removal of an original door?
10. Yes No Does the project involve the removal of an original window?
11. Yes No Does the project involve the removal of decorative features such as corbels, brackets, railings, or other architectural features that are original to the house?

Landscaping

12. Yes No Will the project result in a percentage of non-permeable surfaces in the front yard that exceeds 50%?
13. Yes No Does the project involve a new chain link fence?
14. Yes No Does the project involve the removal of mature trees?
15. Yes No Does the project involve the installation/repair of hardscape materials located in the front yard?
16. Yes No Does the project involve grading that equals or exceeds 500 cubic yards and site development visible from the street or sidewalk?
17. Yes No Does the project involve the construction/repair of decks, with part of the deck visible from the street or sidewalk?
18. Yes No Does the project involve the Installation/Repair of swimming pools, where part of the swimming pool or pool equipment is visible from the street or sidewalk?

Properties Not Listed in the Echo Park Appendix

1. Yes No Does the project involve an addition; does the addition protrude from the existing roof line as viewed from the sidewalk?
Does the addition contain a building façade facing a public street?
2. Yes No Does the project involve demolition or partial demolition on a façade facing a public street?

The project does not necessitate a “Yes” answer to any of the above, therefore I find that the project substantially complies with the adopted Community Design Overlay Guidelines and Standards and is within the scope of Minor Project Review as defined by Section 3 of the Echo Park CDO. I further find that the project, and any applicable structure, site plan and landscaping are compatible in scale and design with existing development and any cultural scenic or environmental resources adjacent to the site and vicinity.

Staff Name

Staff Signature

Title

Date

SECTION 10 APPENDIX D

Architectural Resources



1706 Bellevue Ave.



1712 Bellevue Ave.



1717-1719 Bellevue Ave.



1727 Bellevue Ave.



1800-1804 Bellevue Ave.



1811 Bellevue Ave.



1816-1822 Bellevue Ave.



1821 Bellevue Ave.



1839 Bellevue Ave.



1900 Bellevue Ave.



1902 Bellevue Ave.



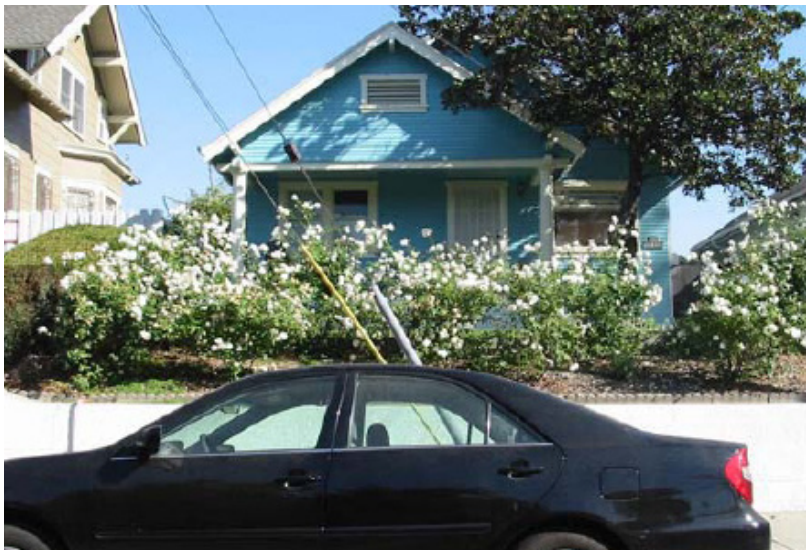
1908 Bellevue Ave.



500 Belmont Ave.



501 Belmont Ave.



504 Belmont Ave.



505 Belmont Ave.



508 Belmont Ave.



600 Belmont Ave.



601 Belmont Ave.



607 Belmont Ave.



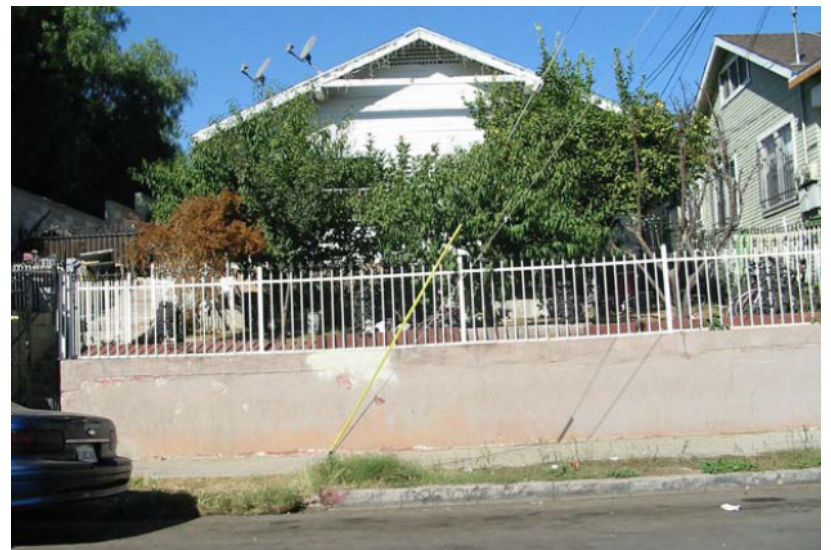
611 Belmont Ave.



629 Belmont Ave.



522 N. Bonnie Brae St.



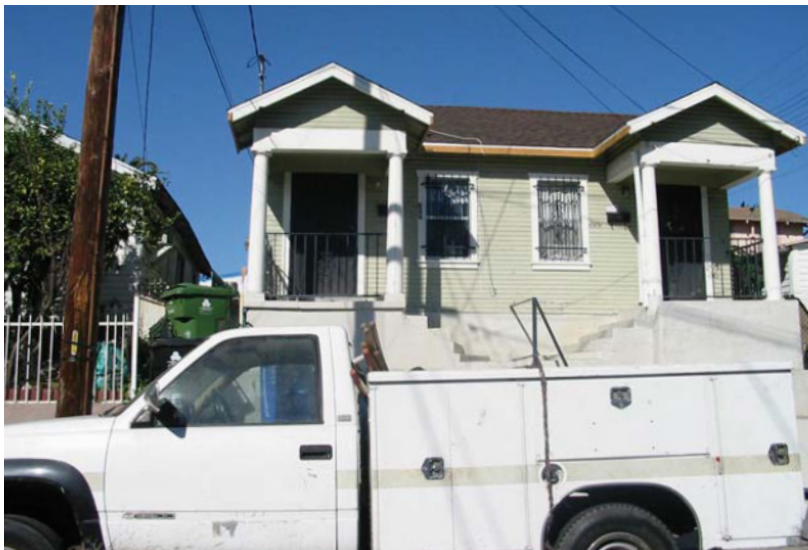
523 N. Bonnie Brae St.



526 N. Bonnie Brae St.



532 Bonnie Brae St.



555-557 N. Bonnie Brae St.



612 N. Bonnie Brae St.



712 N. Bonnie Brae St.



810 N. Bonnie Brae St.



904 N. Bonnie Brae St.



916 N. Bonnie Brae St.



1020 N. Bonnie Brae St.



1036 N. Bonnie Brae St.



1038 N. Bonnie Brae St.



1044 N. Bonnie Brae St.



1054 N. Bonnie Brae St.



500 N. Burlington Ave.



501 N. Burlington Ave.



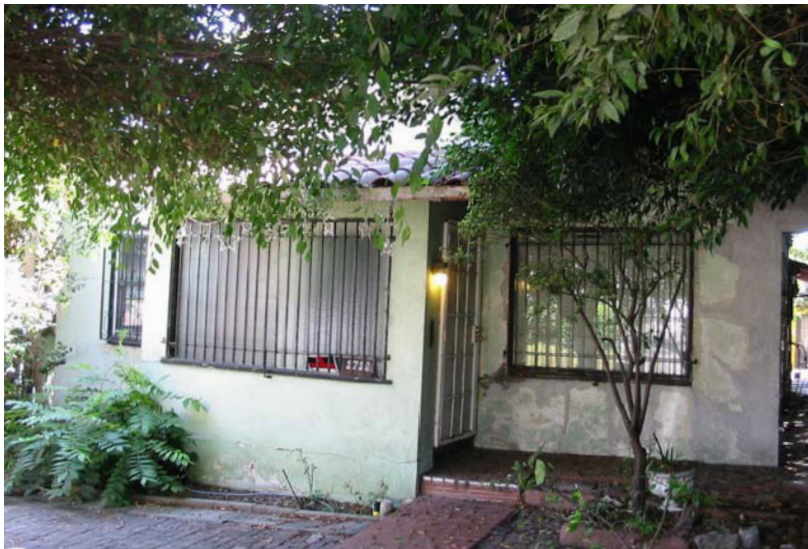
504 N. Burlington Ave.



508 N. Burlington Ave.



516 N. Burlington Ave.



1712 Clinton St.



1718 Clinton St.



1720 Clinton St.



1724 Clinton St.



1728 Clinton St.



1729 Clinton St.



1732 Clinton St.



1733 Clinton St.



1737 Clinton St.



1738-1746 Clinton St.



1743 Clinton St.



1747 Clinton St.



1748 Clinton St.



1749 Clinton St.



1751 Clinton St.



1752 Clinton St.



1755 Clinton St.



1756 Clinton St.



1760 Clinton St.



1763-1765 N. Clinton St.



751 Echo Park Ave.



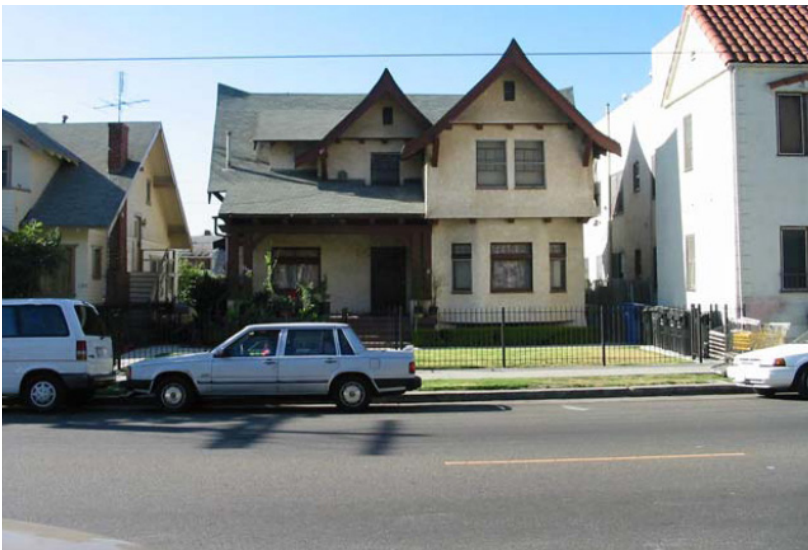
1121 Echo Park Ave



1127 Echo Park Ave.



1131 Echo Park Ave.



1135 Echo Park Ave.



1141 Echo Park Ave.



1157 Echo Park Ave.



581, 585 Glendale Blvd.



817 Glendale Blvd.



823 Glendale Blvd.



837 Glendale Blvd.



903 Glendale Blvd.



907 Glendale Blvd.



913 Glendale Blvd.



1015 Glendale Blvd.



1100 Glendale Blvd.



1132 Glendale Blvd.



1136 Glendale Blvd.



1715 Kent St.



1723 Kent St.



1725 Kent St.



1726 Kent St.



1728 Kent St.



1732 Kent St.



1741 Kent St.



1742 Kent St.



1746 Kent St.



1747 Kent St.



1748-1750 Kent St.



1751 Kent St.



1121 Lemoyne St.



1121 Lemoyne St.



1121-1125 Lemoyne St.



1122 Lemoyne St.



1126 Lemoyne St.



1127 Lemoyne St.



1133 Lemoyne St.



1140 Lemoyne St.



1143 Lemoyne St.



1304 Lemoyne St.



1123 Logan St.



1128-1130 Logan St.



1129 Logan St.



1132 Logan St.



1135 Logan St.



1136 Logan St.



1137 Logan St.



1156 Logan St.



1703 Logan St.



1819 Montrose St.



1824 Montrose St.



1839 Montrose St.



1621 Park Ave.



1629 Park Ave.



1703 Park Ave.



1707 Park Ave.



1910 Park Ave.



1950 Park Ave.



1816 Santa Ynez St.



1818 Santa Ynez St.



1821 Santa Ynez St.



1827 Santa Ynez St.



1828 Santa Ynez St.



1831 Santa Ynez St.



1834 Santa Ynez St.



1839 Santa Ynez St.



1840 Santa Ynez St.



1843 Santa Ynez St.



1844 Santa Ynez St.



1612 W. Sunset Blvd.



1700 W. Sunset Blvd.



1715 W. Sunset Blvd.



1720 W. Sunset Blvd.



1721 W. Sunset Blvd.



1724 W. Sunset Blvd.



1801 W. Sunset Blvd.



1807 W. Sunset Blvd.



1827 W. Sunset Blvd.



1841 W. Sunset Blvd.



1918 W. Sunset Blvd.

Echo Park Architectural Resources

Address	Description of Resource	*NRHP Status Code	Changes/Significance
1706 Bellevue Ave	Built 1924. The property contains a 1-story duplex, which was originally constructed as a residential duplex. It was designed in the Colonial Revival style. The original owner of the property was Neighbors, P. A.	5D	No alterations. Historically relevant to time period.
1712 Bellevue Ave	Built 1908. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style.	5D	No alterations. Historically relevant to time period.
1717-1719 Bellevue Ave	Built 1912. The property contains a 1-story duplex, which was originally constructed as a single family residence. It was designed in the Spanish Colonial Revival style. The original owner of the property was Goldarner, H.	5D	Security bars have been added. Structure historically relevant to time period.
1727 Bellevue Ave	Built 1917. The property contains a 2-story apartment building, which was originally constructed as a multiple family residential court. It was designed in the Craftsman style.	5D	Windows and exterior wall cladding have been altered. Structure historically relevant to time period.
1800-1804 Bellevue Ave	Built 1921. The property contains a 1-story apartment building, which was originally constructed as a multiple family apartment building. It was designed in the Colonial Revival style. The original owner of the property was Hedge, Sherman J. There are five identical buildings on the parcel.	5D	Windows and doors have been altered. Structure historically relevant to time period.
1811 Bellevue Ave	Built 1915. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style. The original owner of the property was Macarco, Antonio & Aida. The resource was relocated to the current site in 1948.	5D	Windows, doors, and exterior wall cladding have been altered. Security bars have been added. Contributes to the historical significance of the area.

1816-1822 Bellevue Ave	Built 1922. The property contains a 1-story apartment building, which was originally constructed as a residential duplex. It was designed in the Colonial Revival style. Two identical duplexes are located on the parcel.	5D	Security bars have been added. Structure historically relevant to time period.
1821 Bellevue Ave	Built 1906. The property contains a 1 and a half-story single family residence, which was originally constructed as a single family residence. It was designed in the Transitional Arts and Crafts style. Gambel, Newman is recorded as having built the resource. The original owner of the property was Thomas & Spratt.	5D	Doors have been altered. Structure historically relevant to time period.
1839 Bellevue Ave	Built 1908. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style. Morrison, Kent is recorded as having built the resource. The architectural design is attributed to Clark. The original owner of the property was Clark, H. A.	5D	Windows and exterior wall cladding have been altered. Landscaping includes historically irrelevant iron fence. Overall, structure is historically relevant to time period.
1900 Bellevue Ave	Built 1913. The property contains a 1-story duplex, which was originally constructed as a single family residence. It was designed in the Craftsman style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 6U.	5D, 6U	Windows have been altered and security bars have been added. Historically relevant to time period.
1902 Bellevue Ave	Built 1916. The property contains a 2-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style.	5D	Exterior wall cladding has been altered. Overall structure is historically relevant to time period.
1908 Bellevue Ave	Built 1912. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style.	5D	Exterior wall cladding has been altered. Overall structure is historically relevant to time period.

500 Belmont Ave	Built 1928. The property contains a 1-story triplex, which was originally constructed as a single family residence. It was designed in the Craftsman style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2. A second structure is located on the parcel behind this property.	5D, 5S2	Windows and porch have been altered. Structure historically relevant to time period.
501 Belmont Ave	Built 1911. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Transitional Arts and Crafts style.	5D	Windows, doors, and exterior wall cladding have been altered. Overall structure is historically relevant to time period.
504 Belmont Ave	Built 1921. The property contains a 1-story triplex, which was originally constructed as a single family residence. It was designed in the Colonial Revival style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D, 5S2	Doors have been altered. Structure historically relevant to time period.
505 Belmont Ave	Built 1908. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D, 5S2	Historically relevant to time period.
508 Belmont Ave	Built 1905. The property contains a 1 and a half-story duplex, which was originally constructed as a single family residence. It was designed in the Transitional Arts and Crafts style.	5D	Exterior wall cladding has been altered. Historically relevant to time period.
600 Belmont Ave	Built 1904. The property contains a 1-story quadruplex, which was originally constructed as a single family residence. It was designed in the Hipped Roof Cottage style. A second structure is located on the parcel behind this property.	5D	Historically relevant to time period.

601 Belmont Ave	Built 1895. The property contains a 1 and a half-story quadruplex, which was originally constructed as a multiple family apartment building. It was designed in the Transitional Arts and Crafts style. Marlow, Ges L. is recorded as having built the resource. The original owner of the property was Hausots, Mrs..	5D	Windows and doors have been altered. Addition (s) have been made. Landscape elements have changed. Structure historically relevant to time period.
607 Belmont Ave	Built 1924. The property contains a 2-story apartment building, which was originally constructed as a multiple family apartment building. It was designed in the Mission Revival style. Leburn, Arthur is recorded as having built the resource. The architectural design is attributed to Leburn, Arthur. The original owner of the property was Familier, G. A..	5D	Windows, doors, and exterior cladding have been altered. Overall, structure is historically relevant to time period.
611 Belmont Ave	Built 1925. The property contains a 1-story duplex, which was originally constructed as a single family residence. It was designed in the Craftsman style. The original owner of the property was Kennedy, Philip.	5D	Windows, exterior cladding, and door and window openings have been altered. Overall, structure is historically relevant to time period.
629 Belmont Ave	Built 1897. The property contains a 1-story duplex, which was originally constructed as a single family residence. It was designed in the Queen Anne style. The original owner of the property was Thomberry, G. C..	5D	Historically relevant to time period.
522 N Bonnie Brae St	Built 1911. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style. Donald, Gas L. is recorded as having built the resource. The original owner of the property was Arnold, Geo L..	5D	Windows, doors, exterior wall cladding, and door and window openings have been altered. Overall, structure is historically relevant to time period.
523 N Bonnie Brae St	Built 1904. The property contains a 1-story duplex, which was originally constructed as a single family residence. It was designed in the Craftsman style. Saum(?) is recorded as having built the resource. The original owner of the property was Mckneeley, E.	5D	Windows have been altered. Overall, structure is historically relevant to time period.

526 N Bonnie Brae St	Built 1911. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style. P. Y. Leaves & Co. is recorded as having built the resource. The original owner of the property was Sherman & Hidy.	5D	Historically relevant to time period.
532 N Bonnie Brae St	Built 1906. The property contains a 1-story apartment building, which was originally constructed as a single family residence. It was designed in the Craftsman style. The resource is a secondary structure on the property.	5D	Doors have been altered. Structure historically relevant to time period.
555-557 N Bonnie Brae St	Built 1924. The property contains a 1-story duplex, which was originally constructed as a residential duplex. It was designed in the Colonial Revival style. Leiland, Mr. is recorded as having built the resource. The architectural design is attributed to Matson, Girett. The original owner of the property was Matson, Girett.	5D	Windows and doors have been altered. Security bars have been added. Historically relevant to time period.
612 N Bonnie Brae St	Built 1908. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Hipped Roof Cottage style. Seawright, W. T. is recorded as having built the resource. The architectural design is attributed to Seawright, W. T.. The original owner of the property was Seawright, W. T.	5D	Concrete block wall added to yard. Structure historically relevant to time period.
712 N Bonnie Brae St	Built 1925. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Spanish Colonial Revival style. Wallace, S. L. is recorded as having built the resource. The original owner of the property was Lemon, Howard.	5D	Exterior wall cladding has been altered. Structure historically relevant to time period.

810 N Bonnie Brae St	Built 1911. The property contains a 2-story apartment building, which was originally constructed as a single family residence. It was designed in the Craftsman style. Wood, H. W. is recorded as having built the resource. The architectural design is attributed to Wood, H. W.. The original owner of the property was Brooks, M..	5D	Security bars have been added. Structure historically relevant to time period.
904 N Bonnie Brae St	Built 1922. The property contains a 2-story single family residence, which was originally constructed as a single family residence. It was designed in the Colonial Revival style.	5D	Doors and exterior wall cladding have been altered. Landscape includes mature tree. Structure historically relevant to time period.
916 N Bonnie Brae St	Built 1903. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Colonial Revival style. Walter, A. O. is recorded as having built the resource. The original owner of the property was Holley, Mrs. S. S.	5D	Historically relevant to time period.
1020 N Bonnie Brae St	Built 1910. The property contains a 1-story triplex, which was originally constructed as a single family residence. It was designed in the Craftsman style. Bicker, H. D. is recorded as having built the resource. The architectural design is attributed to Quintin, Scott. The original owner of the property was Kirby, Mrs. J. W.	5D	Historically relevant to time period.
1036 N Bonnie Brae St	Built 1909. The property contains a 2-story transient lodging, which was originally constructed as a multiple family residence. It was designed in the Craftsman style. Parsons, H. is recorded as having built the resource. The original owner of the property was Seabolt, M. M.	5D	Doors and exterior wall cladding have been altered. Overall, structure historically relevant to time period.
1038 N Bonnie Brae St	Built 1910. The property contains a 1-story triplex, which was originally constructed as a single family residence. It was designed in the Craftsman style. The original owner of the property was Corbles, E. A.	5D	Windows, exterior wall cladding, and porch have been altered. Overall, structure historically relevant to time period.

1044 N Bonnie Brae St	Built 1928. The property contains a 1-story apartment building, which was originally constructed as a multiple family residence. It was designed in the Beaux Arts style. Newton, C. E. is recorded as having built the resource. The architectural design is attributed to Stephane & Schleffy. The original owner of the property was Newton, W.	5D	Historically relevant to time period.
1054 N Bonnie Brae St	Built 1922. The property contains a 1-story duplex, which was originally constructed as a single family residence. It was designed in the Spanish Colonial Revival style.	5D	Windows, and door and window openings have been altered. Concrete block fence addition in yard. Overall, structure is historically relevant to time period.
500 N Burlington Ave	Built 1923. The property contains a 1-story triplex, which was originally constructed as a multiple family residence. It was designed in the Craftsman style.	5D	Exterior wall cladding has been altered. Structure historically relevant to time period.
501 N Burlington Ave	Built 1921. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style.	5D	Windows and porch have been altered. Security bars have been added. Overall, structure historically relevant to time period.
504 N Burlington Ave	Built 1908. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Transitional Arts and Crafts style.	5D	Security bars and cement block fence in yard have been added. Structure historically relevant to time period.
508 N Burlington Ave	Built 1908. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style.	5D	Security bars have been added. Structure historically relevant to time period.
516 N Burlington Ave	Built 1921. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style.	5D	Windows and doors have been altered. Concrete block fence added to yard. Structure historically relevant to time period.

1712 Clinton St	Built 1923. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Spanish Colonial Revival style. Messhall Builders is recorded as having built the resource. The original owner of the property was Buehner.	5D	Doors have been altered. Security bars added. Structure historically relevant to time period.
1718 Clinton St	Built 1904. The property contains a 1-story triplex, which was originally constructed as a single family residence. It was designed in the Queen Anne style.	5D	Windows, doors, and exterior wall cladding have been altered. Overall, structure historically relevant to time period.
1720 Clinton St	Built 1900. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Transitional Arts and Crafts style. Southwest Permits Control is recorded as having built the resource. The original owner of the property was Rodes, Roy W.. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D, 5S2	Security bars added. Structure historically relevant to time period.
1724 Clinton St	Built 1906. The property contains a 2 and a half-story single family residence, which was originally constructed as a single family residence. It was designed in the Transitional Arts and Crafts style.	5D	Windows and exterior wall cladding have been altered. Mature tree in front yard. Structure historically relevant to time period.
1728 Clinton St	Built 1913. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D, 5S2	Historically relevant to time period.
1729 Clinton St	Built 1909. The property contains a 1-story triplex, which was originally constructed as a single family residence. It was designed in the Craftsman style. The original owner of the property was Dipanerazio, Emidio & Anna.	5D	Porch altered. Structure historically relevant to time period.

1732 Clinton St	Built 1922. The property contains a 2-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D, 5S2	Historically relevant to time period.
1733 Clinton St	Built 1900. The property contains a 1 and a half-story single family residence, which was originally constructed as a single family residence. It was designed in the Queen Anne style. The original owner of the property was Ellis, E. P.	5D	Historically relevant to time period.
1737 Clinton St	Built 1935. The property contains a 1-story duplex, which was originally constructed as a residential duplex. It was designed in the Spanish Colonial Revival style.	5D	Windows have been altered. Security bars added. Structure historically relevant to time period.
1738-1746 Clinton St	Built 1913. The property contains a 2-story apartment building, which was originally constructed as a multiple family apartment building. It was designed in the Craftsman style.	5D	Windows and doors altered. Overall, structure historically relevant to time.
1743 Clinton St	Built 1938. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Colonial Revival style. The original owner of the property was Peterson, Fred & Henry.	5D	Windows and exterior wall cladding have been altered. Overall, structure historically relevant to time.
1747 Clinton St	Built 1895. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Queen Anne style. The original owner of the property was Carlsson, B. G.. Two parcels make up this property: 5404-012-017 and 5404-009-018.	5D	Windows and doors have been altered. Addition (s) have been made. Overall, structure historically relevant to time period.
1748 Clinton St	Built 1904. The property contains a 1-story duplex, which was originally constructed as a single family residence. It was designed in the Hipped Roof Cottage style. The original owner of the property was Smith, Andrew J.	5D	Doors have been altered. Structure historically relevant to time period.

1749 Clinton St	Built 1921. The property contains a 2 and a half-story single family residence, which was originally constructed as a single family residence. It was designed in the Colonial Revival style.	5D	Windows, doors, and exterior wall cladding have been altered. Structure contributes to the historical influence on the area.
1751 Clinton St	Built 1885. The property contains a 2-story quadruplex, which was originally constructed as a single family residence. It was designed in the Queen Anne style. The original owner of the property was Dahlin, Archie E.	5D	Windows have been altered. Overall, structure is historically relevant to time period.
1752 Clinton St	Built 1912. The property contains a 1-story duplex, which was originally constructed as a single family residence. It was designed in the Craftsman style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D	Historically relevant to time period.
1755 Clinton St	Built 1755. The property contains a 2-story duplex, which was originally constructed as a single family residence. It was designed in the Craftsman, Transitional style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D, 5S2	Windows altered and security bars added. Overall, structure historically relevant to time period.
1756 Clinton St	Built 1913. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D, 5S2	Some changes and alterations made. Structure historically relevant to time period.
1760 Clinton St	Built 1913. The property contains a 1-story triplex, which was originally constructed as a single family residence. It was designed in the Transitional Arts and Crafts style.	5D	Windows and porch have been altered. Overall, structure historically relevant to time period.
1763-1765 Clinton St	Built 1922. The property contains a 2-story triplex, which was originally constructed as a residential duplex. It was designed in the Dutch Colonial Revival style.	5D	Historically relevant to time period.

751 Echo Park Ave	Built 1892. The property contains a municipal property, which was originally constructed as a park. The resource is designated as a local landmark, Historic-Cultural Monument #836.	5B, 5S1	Historically relevant to time period.
1127 Echo Park Ave	Built 1917. The property contains a 2-story apartment building, which was originally constructed as a multiple family apartment building. It was designed in the Craftsman style. The original owner of the property was Melew, Ashes P.	5D	Doors have been altered. Structure historically relevant to time period.
1131 Echo Park Ave	Built 1911. The property contains a 2-story duplex, which was originally constructed as a single family residence. It was designed in the Craftsman style.	5D	Exterior wall cladding has been altered. Structure historically relevant to time period.
1135 Echo Park Ave	Built 1907. The property contains a 2-story quadruplex, which was originally constructed as a single family residence. It was designed in the Transitional Arts and Crafts style. Glalerg, S. E. is recorded as having built the resource. The original owner of the property was Gilmore, H. B.	5D	Exterior wall cladding altered. Structure contributes to the historical significance of the area.
1141 Echo Park Ave	Built 1928. The property contains a 2-story apartment building, which was originally constructed as a multiple family apartment building. It was designed in the Spanish Colonial Revival style. The original owner of the property was Vozzalin, Angelo.	5D	Historically relevant to time period.
1157 Echo Park Ave	Built 1924. The property contains a 3-story store & residential building, which was originally constructed as a stores & multiple family apartment building. It was designed in the Renaissance Revival style.	5D	Windows and storefronts have been altered. Structure contributes to the historical significance of the area.
581 Glendale Blvd 585 Glendale Blvd	Built 1918. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Colonial Revival style. The parcel contains four separate structures - an industrial building in front of three single family residences.	5D	Windows and exterior wall cladding have been altered. Structure contributes to the historical significance of the area.

817 Glendale Blvd	Built 1937. The property contains a 2 and a half-story single family residence, which was originally constructed as a single family residence. It was designed in the Spanish Colonial Revival style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2. City Monument #257, declared 11/5/1982.	5B, 5S1	Historically relevant to time period.
823 Glendale Blvd	Built 1924. The property contains a 2-story duplex, which was originally constructed as a residential duplex. Putz, Clarence is recorded as having built the resource. The architectural design is attributed to Putz, Clarence. The original owner of the property was Putz, Clarence. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D, 5S2	Windows and porch have been altered. Addition (s) made. Represents an established feature of the neighborhood, community, or city.
837 Glendale Blvd	Built 1940. The property contains a 1-story triplex, which was originally constructed as a multiple family residence. It was designed in the Minimal Traditional style. The original owner of the property was Borough, Mrs.. A second structure is located on the parcel behind this property.	5D	Security bars added. Structure historically relevant to time period.
903 Glendale Blvd	Built 1925. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman, Transitional style. Wolf, J. is recorded as having built the resource. The original owner of the property was Frainors, Mrs.	5D	Historically relevant to time period.
907 Glendale Blvd	Built 1923. The property contains a 2-story apartment building, which was originally constructed as a multiple family residence. It was designed in the Spanish Colonial Revival style.	5D	Historically relevant to time period.
913 Glendale Blvd	Built 1952. The property contains a 2-story single family residence, which was originally constructed as a residential duplex. It was designed in the Modern style.	5D	Security bars added. Structure historically relevant to time period.

1005 Glendale Blvd	Built 1922. The property contains a 2-story quadruplex, which was originally constructed as a multiple family apartment building. It was designed in the Spanish Colonial Revival style.	5D	Windows have been altered. Overall, structure is historically relevant to time period.
1015 Glendale Blvd	Built 1912. The property contains a 2-story apartment building, which was originally constructed as a multiple family apartment building. It was designed in the Craftsman style.	5D	Doors have been altered. Historically relevant to the time period.
1100 Glendale Blvd	Built 1923. The property contains a 4-story religious building, which was originally constructed as a church. It was designed in the Classical Revival style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 1S. The resource was previously evaluated as part of a National Historic Landmark and listed on the National Register #92001875.	1S, 5B	Historically relevant to time period.
1132 Glendale Blvd	Built 1949. The property contains a 3-story religious building, which was originally constructed as a multiple family apartment building. It was designed in the Modernist style. Significant features of the property include: original steel casement windows.	5D	Historically relevant to time period.
1136 Glendale Blvd	Built 1923. The property contains a 1-story apartment building, which was originally constructed as a multiple family apartment building. It was designed in the Spanish Colonial Revival style.	5D	Windows altered and security bars added. Overall, structure historically relevant to time period.
1715 Kent St	Built 1924. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Spanish Colonial Revival style.	5D	Historically relevant to time period.
1723 Kent St	Built 1938. The property contains a 1-story triplex, which was originally constructed as a multiple family residence. It was designed in the Spanish Colonial Revival style. The original owner of the property was Franel, L. E. A.	5D	Exterior wall cladding altered. Security bars added. Overall, structure is historically relevant to the time period.

1725 Kent St	Built 1924. The property contains a 1-story triplex, which was originally constructed as a residential duplex. It was designed in the Craftsman style.	5D	Windows and doors have been altered. Overall, structure is historically relevant to the time period.
1726 Kent St	Built 1935. The property contains a 2-story duplex, which was originally constructed as a single family residence. It was designed in the Spanish Colonial Revival style. Phillipson, Bessie is recorded as having built the resource. The original owner of the property was Phillipson, Bessie.	5D	Windows, exterior wall cladding, and garage have been altered. Structure contributes to the historical significance of the area.
1728 Kent St	Built 1937. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Spanish Colonial Revival style. Basing, Gas M. is recorded as having built the resource. The original owner of the property was Gawr, W. Forst.	5D	Historically relevant to time period.
1732 Kent St	Built 1923. The property contains a 1-story apartment building, which was originally constructed as a single family residence. It was designed in the Craftsman style.	5D	Windows and exterior wall cladding have been altered. Structure contributes to the historical significance of the area.
1741 Kent St	Built 1913. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style.	5D	Windows have been altered. Overall, structure is historically relevant to time period.
1742 Kent St	Built 1933. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Spanish Colonial Revival style. Tomason, L. C. is recorded as having built the resource. The original owner of the property was Tomason, L. C.	5D	Historically relevant to time period.
1746 Kent St	Built 1948. The property contains a 1-story multiple family residence, which was originally constructed as a single family residence. It was designed in the Modernist style. The original owner of the property was Murder, Robert.	5D	Historically relevant to time period.

1747 Kent St	Built 1921. The property contains a 1-story quadruplex, which was originally constructed as a single family residence. It was designed in the Colonial Revival style. Cunningham, C. C. is recorded as having built the resource. The original owner of the property was Farass, Mrs. Frances.	5D	Windows and exterior wall cladding have been altered. Structure contributes to the historical significance of the area.
1748-1750 Kent St	Built 1953. The property contains a 1-story duplex, which was originally constructed as a single family residence. It was designed in the Minimal Traditional style. Goudge, Harisson is recorded as having built the resource. The architectural design is attributed to General Engineering. The original owner of the property was Goudge, Harisson.	5D	Windows and exterior wall cladding have been altered. Structure contributes to the historical significance of the area.
1751 Kent St	Built 1920. The property contains a 1-story apartment building, which was originally constructed as a multiple family residence. It was designed in the Colonial Revival style. The architectural design is attributed to Jankvis, M. C.. The original owner of the property was Jankvis, M. C.. Five identical bungalows are located on the parcel.	5D	Windows and exterior wall cladding have been altered. Addition(s) have been added. Structure contributes to the historical significance of the area.
1121 Lemoyne St	Built 1926. The property contains a 2-story religious building, which was originally constructed as a church. It was designed in the Renaissance Revival style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 1S. The resource was previously evaluated as part of a National Historic Landmark and listed on the National Register #92001875. The parcel contains three structures.	5D	Historically relevant to time period.

1121 Lemoyne St (2nd structure)	Built 1926. The property contains a 4-story religious building, which was originally constructed as a church. It was designed in the Renaissance Revival style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 1S. The resource was previously evaluated as part of a National Historic Landmark and is listed on the National Register #92001875. The parcel contains three separate structures.	1S	Historically relevant to time period.
1121-1125 Lemoyne St	Built 1920. The property contains a 2-story religious building, which was originally constructed as a multiple family residence. It was designed in the Craftsman style. Mckemma, D. W. is recorded as having built the resource. The original owner of the property was Mckemma, D. W.	5D	Windows and doors have been altered. Overall, structure is historically relevant to the time period.
1122 Lemoyne St	Built 1910. The property contains a 1 and a half-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style. The architectural design is attributed to Ye Planary. The original owner of the property was Brann, Alice.	5D	Windows, doors, and exterior wall cladding have been altered. Security bars added. Structure contributes to the historical significance of the area.
1126 Lemoyne St	Built 1923. The property contains a 1-story triplex, which was originally constructed as a multiple family residential court. It was designed in the Spanish Colonial Revival style. Significant features of the property include: courtyard.	5D	Windows and exterior wall cladding have been altered. Overall, structure is historically relevant to time period.
1127 Lemoyne St	Built 1923. The property contains a 2-story apartment building, which was originally constructed as a multiple family residence. It was designed in the Spanish Colonial Revival style.	5D	Windows, and door and window openings have been altered. Security bars added. Overall, structure is historically relevant to time period.

1133 Lemoyne St	Built 1947. The property contains a 2-story religious building, which was originally constructed as a multiple family residence. It was designed in the Modernist style. The architectural design is attributed to Denman, Clifford. The original owner of the property was International Church Of The Foursquare Gospel.	5D	Security bars added. Structure historically relevant to time period.
1140 Lemoyne St	Built 1915. The property contains a 2-story quadruplex, which was originally constructed as a multiple family residence. It was designed in the Craftsman style.	5D	Security bars added. Structure historically relevant to time period.
1143 Lemoyne St	Built 1921. The property contains a 1-story triplex, which was originally constructed as a residential duplex. It was designed in the Colonial Revival style. Peaman is recorded as having built the resource. The architectural design is attributed to Peaman.	5D	Doors have been altered. Structure historically relevant to time period.
1304 Lemoyne St	Built 1948. The property contains a 2-story apartment building, which was originally constructed as a multiple family apartment building. It was designed in the Renaissance Revival style.	5D	Windows, exterior wall cladding, and storefronts have been altered.
1123 Logan St	Built 1910. The property contains a 1 and a half-story duplex, which was originally constructed as a single family residence. It was designed in the Transitional Arts and Crafts style. Brazeltor, W. L. is recorded as having built the resource. The architectural design is attributed to Ye Planary. The original owner of the property was Brazeltor, W. L.	5D	Windows and exterior wall cladding have been altered. Structure contributes to the historical significance of the area.
1128-1130 Logan St	Built 1910. The property contains a 1 and a half-story multiple family residence, which was originally constructed as a single family residence. It was designed in the Transitional Arts and Crafts style. Brazeltor, W. L. is recorded as having built the resource. The original owner of the property was Branard, E. R.. Subject building is in the rear of the lot.	5D	Windows and porch have been altered. Overall, structure historically relevant to time period.

1129 Logan St	Built 1910. The property contains a 1 and a half-story single family residence, which was originally constructed as a single family residence. It was designed in the Transitional Arts and Crafts style. Brazeltor, W. L. is recorded as having built the resource. The architectural design is attributed to Ye Planary. The original owner of the property was Brazeltor, W. L.	5D	Doors and exterior wall cladding have been altered. Overall, structure is historically relevant to the time period.
1132 Logan St	The property contains a 2-story quadruplex, which was originally constructed as a multiple family residence. It was designed in the Craftsman style. William & Wiess is recorded as having built the resource. The original owner of the property was Ralcher, Mrs. Genard.	5D	No significant alterations have occurred.
1135 Logan St	Built 1928. The property contains a 1-story apartment building, which was originally constructed as a multiple family apartment building. It was designed in the Craftsman style. James Stiuny & Sons is recorded as having built the resource. The architectural design is attributed to Stiuny, James. The original owner of the property was Carter, Julie.	5D	Windows and porch have been altered. Overall, structure historically relevant to time period.
1136 Logan St	Built 1925. The property contains a 1-story apartment building, which was originally constructed as a multiple family residential court. It was designed in the Spanish Colonial Revival style. Significant features of the property include: courtyard.	5D	Historically relevant to time period.
1137 Logan St	Built 1914. The property contains a 2-story quadruplex, which was originally constructed as a multiple family apartment building. It was designed in the Craftsman style. Bohgnan, James is recorded as having built the resource. The architectural design is attributed to Bohgnan, James. The original owner of the property was Bradford, E.	5D	Windows and porch have been altered. Overall, structure historically relevant to time period.

1156 Logan St	Built 1919. The property contains a 1-story store & office building, which was originally constructed as a commercial retail building. It was designed in the Art Deco style.	5D	Storefronts have been altered. Structure contributes to the historical significance of the area.
1703 Logan St	Built 1924. The property contains a 2-story apartment building, which was originally constructed as a apartments. It was designed in the Spanish Colonial Revival style. The resource is a secondary structure on the property.	5D	Windows, as well as door and window openings, have been altered. Overall, structure historically relevant to time period.
1819 Montrose St	Built 1913. The property contains a 1-story duplex, which was originally constructed as a single family residence. It was designed in the Craftsman style.	5D	Windows have been altered. Overall, structure is historically relevant to time period.
1824 Montrose St	Built 1912. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style. The architectural design is attributed to Chanes, Clyde. The original owner of the property was Gould, Clyde.	5D	Windows, doors, and exterior wall cladding have been altered. Structure contributes to the historical significance of the area.
1839 Montrose St	Built 1919. The property contains a 2-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style. Bies, F. W. is recorded as having built the resource. The original owner of the property was Hearrey, G. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S3. The new front yard fence does not contribute as a landscape element, but the main building retains integrity.	5D, 5S3	Doors have been altered. Security bars and front yard fence have been added. Overall, structure is historically relevant to time period.
1621 Park Ave	Built 1949. The property contains a 2-story apartment building, which was originally constructed as a multiple family apartment building. It was designed in the Minimal Traditional style.	5D	Historically relevant to time period.

1629 Park Ave	Built 1910. The property contains a 2-story single family residence, which was originally constructed as a single family residence. It was designed in the Transitional Arts and Crafts style. Brazeltor, W. L. is recorded as having built the resource. The original owner of the property was Branard, E. R.	5D	Doors have been altered and security bars have been added. Overall, structure is historically relevant to time period.
1703 Park Ave	Built 1924. The property contains a 1 and a half-story apartment building, which was originally constructed as a residential duplex. It was designed in the Craftsman style. Bies, F. W. is recorded as having built the resource. The original owner of the property was Latham, A. H.. A second structure is located on the parcel behind this property.	5D	Historically relevant to time period.
1707 Park Ave	Built 1923. The property contains a 2-story apartment building, which was originally constructed as a multiple family apartment building. It was designed in the Spanish Colonial Revival style.	5D	Windows and doors have been altered. Overall, structure is historically relevant to the time period.
1910 Park Ave	Built 1924. The property contains a 2-story duplex, which was originally constructed as a residential duplex. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D, 5S2	Façade has been altered. Overall, structure is historically relevant to time period.
1950 Park Ave	Built 1953. The property contains a 1-story office building, which was originally constructed as a commercial office building. It was designed in the Modern style.	5D	Structure historically relevant to modern time period.
1816 Santa Ynez St	Built 1927. The property contains a 2-story quadruplex, which was originally constructed as a multiple family residence. It was designed in the Craftsman style. Argell, Harry is recorded as having built the resource. The original owner of the property was Kinsey, Alfred.	5D	Exterior wall cladding has been altered. Security bars have been added. Overall, structure is historically relevant to time period.

1818 Santa Ynez St	Built 1927. The property contains a 2-story quadruplex, which was originally constructed as a multiple family residence. It was designed in the Craftsman style. Argell, Harry is recorded as having built the resource. The original owner of the property was Kinsey, Alfred.	5D	Windows, doors, exterior wall cladding, and porch have been altered. Structure contributes to the historical significance of the area.
1821 Santa Ynez St	Built 1908. The property contains a 1-story triplex, which was originally constructed as a single family residence. It was designed in the Craftsman style.	5D	Windows and porch have been altered. Addition (s) have been made. Mature tree in front yard. Structure contributes to the historical significance of the area.
1827 Santa Ynez St	Built 1919. The property contains a 2-story quadruplex, which was originally constructed as a single family residence. It was designed in the Dutch Colonial Revival style.	5D	Windows and doors have been altered. Addition (s) have been made. Overall, structure is historically relevant to time period.
1828 Santa Ynez St	Built 1928. The property contains a 3-story apartment building, which was originally constructed as a multiple family apartment building. It was designed in the Renaissance Revival style.	5D	Windows have been altered. Structure historically relevant to time period.
1831 Santa Ynez St	Built 1923. The property contains a 2-story quadruplex, which was originally constructed as a multiple family residence. It was designed in the Spanish Colonial Revival style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D, 5S2	Doors have been altered. Structure historically relevant to time period.
1834 Santa Ynez St	Built 1910. The property contains a 1 and a half-story duplex, which was originally constructed as a single family residence. It was designed in the Craftsman, Transitional style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D, 5S2	Historically relevant to time period.
1839 Santa Ynez St	Built 1908. The property contains a 1 and a half-story triplex, which was originally constructed as a single family residence. It was designed in the Craftsman style.	5D	Windows, doors, and porch have been altered. Overall, structure historically relevant to time period.

1840 Santa Ynez St	Built 1906. The property contains a 1 and a half-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman, Transitional style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D, 5S2	Windows and porch have been altered. Overall, structure historically relevant to time period.
1843 Santa Ynez St	Built 1922. The property contains a 2-story single family residence, which was originally constructed as a single family residence. It was designed in the Colonial Revival style.	5D	Exterior wall cladding has been altered. Mature tree in yard. Overall, structure historically relevant to time period.
1844 Santa Ynez St	Built 1908. The property contains a 2-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman, Transitional style. Significant features of the property include: bay window. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D	Windows and exterior wall cladding have been altered. Non-historical concrete block wall. Structure contributes to the historical significance of the area.
1612-1614 W Sunset Blvd	Built 1913. The property contains a 2-story store & residential building, which was originally constructed as a commercial retail building. It was designed in the Renaissance Revival style.	5D	Windows and storefronts have been altered. Structure contributes to the historical significance of the area.
1700 W Sunset Blvd	Built 1924. The property contains a 3-story store & residential building, which was originally constructed as a recreation center. It was designed in the Renaissance Revival style. Jensen, H. C. is recorded as having built the resource. The architectural design is attributed to Memardus, G. E. B.. The original owner of the property was Jensen, H. C.. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 6Y. The resource is designated as a local landmark, Historic-Cultural elements.	3S, 5B, 5S1	Storefronts have been altered. Structure historically relevant to time period.

1715 W Sunset Blvd	Built 1949. The property contains a 1-story store building, which was originally constructed as a commercial retail building. Emerson, Florence L. is recorded as having built the resource. The original owner of the property was Emerson, Florence L.	5D	Storefronts have been altered. Structure historically relevant to time period.
1720 W Sunset Blvd	Built 1937. The property contains a 1-story store building, which was originally constructed as a commercial retail building. It was designed in the Art Deco style. Garry & W. N.(?) is recorded as having built the resource. The architectural design is attributed to Norstrom And Anderson. The original owner of the property was Stroud, Ben K. & Gladys L.	5D	Windows, façade, and storefronts have been altered. Structure contributes to the historical significance of the area.
1721 W Sunset Blvd	Built 1947. The property contains a 1-story restaurant building, which was originally constructed as a commercial retail building.	5D	Windows have been altered. Overall, structure historically relevant to time period.
1724 W Sunset Blvd	Built 1936. The property contains a 1-story store building, which was originally constructed as a commercial retail building. It was designed in the Art Deco style. Knaues, H. J. is recorded as having built the resource. The architectural design is attributed to Knaues, H. J.. The original owner of the property was King, John R.	5D	Windows, doors, and storefronts have been altered. Structure contributes to the historical significance of the area.
1801 W Sunset Blvd	Built 1922. The property contains a 2-story store & office building, which was originally constructed as a commercial retail building. It was designed in the Renaissance Revival style.	5D	Windows and storefronts have been altered. Overall, structure is historically relevant to time period.
1807 W Sunset Blvd	Built 1912. The property contains a 2-story store & residential building, which was originally constructed as a commercial retail building/single family residence. It was designed in the Craftsman style. Rice, F. W. is recorded as having built the resource. The original owner of the property was Franck, G. L.	5D	Windows and doors have been altered. One story addition made to front of existing 2 story residence. Structure contributes to the historical significance of the area.

1827 W Sunset Blvd	Built 1912. The property contains a 2-story store & residential building, which was originally constructed as a commercial retail building. It was designed in the Streamline Moderne style.	5D	Storefronts altered. Security bars added. Structure is historically relevant to time period.
1841 W Sunset Blvd	Built 1922. The property contains a 4-story store & residential building, which was originally constructed as a multiple family apartment building. It was designed in the Renaissance Revival style. Pacific Outdoor Advertising is recorded as having built the resource. The original owner of the property was Pacific Outdoor Advertising.	5D	Windows have been altered. Overall, structure historically relevant to time period.
1918 W Sunset Blvd	Built 1949. The property contains a 1-story office building, which was originally constructed as a restaurant. It was designed in the Commercial style. Rasreys, C. E. is recorded as having built the resource. 1900 Sunset Blvd., which contains the 1965 Cal Fed Building, is on the same parcel.	5D	Historically relevant to time period.

* National Register of Historic Places