

ARTICLE 3. **FRONTAGE**

[FORM - **FRONTAGE** - STANDARDS] [USE - DENSITY]

Part 3A. **Introduction**

Part 3B. **Frontage Districts**

Part 3C. **General Frontage Rules**

Part 3D. **Character Frontage Rules**

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PART 3A. INTRODUCTION

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DIV. 3A.1. INTRODUCTION

SEC. 3A.1.1. PURPOSE

The purpose of this Article is to regulate the portions of a lot and exterior building facades that impact the public realm. Frontage Districts help ensure that projects respond to the public realm in a contextually appropriate manner. Districts range from minimal standards for Warehouse Frontages to a robust set of standards for Shopfront Frontages which require projects to support a high-quality public realm that is active, comfortable, safe and visually interesting, with strong connections between the public realm and uses inside buildings.

SEC. 3A.1.2. FRONTAGE APPLICABILITY

A. Project Applicability

All projects filed after the effective date of this Chapter must comply with the Frontage District standards and rules in this Article, as further specified below.

1. Project Activities

- a. Frontage Districts apply to project activities as shown in the table below. More than one project activity may apply to a project (for example, a facade alteration project may also include a site alteration).
- b. Where a rule is listed as generally applicable in the table below, the project activity shall meet the frontage rules within that Division. This general applicability may be further specified for each standard in the applicability provisions in *Part 3C. (Frontage Rules)*. Project applicability may also be modified by *Article 12. (Nonconformities)*. Where a Division of the frontage rules is listed as not applicable in the table below, the Division does not apply to the project activity.

GENERAL FRONTAGE DISTRICT RULE		PROJECT ACTIVITIES											
		Subdivision	New Construction	Addition	Facade Alteration	Site Alteration	Relocation	Major Renovation	Minor Renovation	Change/Expansion of Use	Temporary Use	Ordinary Maintenance and Repair	Demolition
<i>Div. 3C.1</i>	Build-To	○	●	●	○	○	●	○	○	○	○	○	●
<i>Div. 3C.2</i>	Parking	○	●	●	○	●	●	○	○	○	○	○	○
<i>Div. 3C.3</i>	Landscaping	○	●	●	○	●	●	○	○	○	○	○	○
<i>Div. 3C.4</i>	Transparency	○	●	●	●	○	●	○	○	○	○	○	●
<i>Div. 3C.5</i>	Entrances	○	●	●	●	○	●	○	○	○	○	○	●
<i>Div. 3C.6</i>	Ground Story	○	●	●	○	○	●	●	○	○	○	○	○

● = Rule generally applies to this project activity

○ = Rule is not applicable

c. Character Frontage Districts apply to project activities as shown in the table below:

CHARACTER FRONTAGE DISTRICT RULE	PROJECT ACTIVITIES											
	Subdivision	New Construction	Addition	Facade Alteration	Site Alteration	Relocation	Major Renovation	Minor Renovation	Change/Expansion of Use	Temporary Use	Ordinary Maintenance and Repair	Demolition
<i>Div. 3D.1</i> Build-To	○	●	●	○	○	●	○	○	○	○	○	●
<i>Div. 3D.2</i> Parking	○	●	●	○	●	●	●	○	○	○	○	○
<i>Div. 3D.3</i> Landscaping	○	●	●	○	●	●	●	○	○	○	○	○
<i>Div. 3D.4</i> Ground Floor Elevation	○	●	●	●	○	●	●	○	○	○	○	○
<i>Div. 3D.5</i> Story Height	○	●	●	●	○	●	●	○	○	○	○	○
<i>Div. 3D.6</i> Articulation	○	●	●	●	○	●	●	○	○	○	○	●
<i>Div. 3D.7</i> Features	○	●	●	●	○	●	●	○	○	○	○	○
<i>Div. 3D.8</i> Entrances	○	●	●	●	○	●	●	○	○	○	○	●
<i>Div. 3D.9</i> Transparency	○	●	●	●	○	●	●	○	○	○	○	●
<i>Div. 3D.10</i> Exterior Materials	○	●	●	●	○	●	●	○	○	○	○	●
<i>Div. 3D.11</i> Roof Design	○	●	●	●	○	●	●	○	○	○	○	●

● = Rule generally applies to this project activity

○ = Rule is not applicable

d. Project activities are defined in Sec. 14.1.17. (*Project Activities*).

2. **Nonconformity**

For nonconforming lots, structures, or uses, no project activity may decrease conformance with any Frontage District standard unless otherwise specified by *Division 12.3. (Frontage)* or *Division 12.4. (Character Frontage)*. Consider the following examples:

- a. Closing an existing window opening: Where the proposed facade alteration reduces transparency below that required by the applicable Frontage District, the facade alteration is not allowed.
- b. An addition or new detached structure to the side of a building: Where the applicable facades on the existing structure do not meet the Frontage District transparency standard, all applicable facades of the addition or new detached structure have to meet the transparency standard, but no alteration of existing facades is required.

B. **Applicable Components of Lots, Buildings, and Structures**

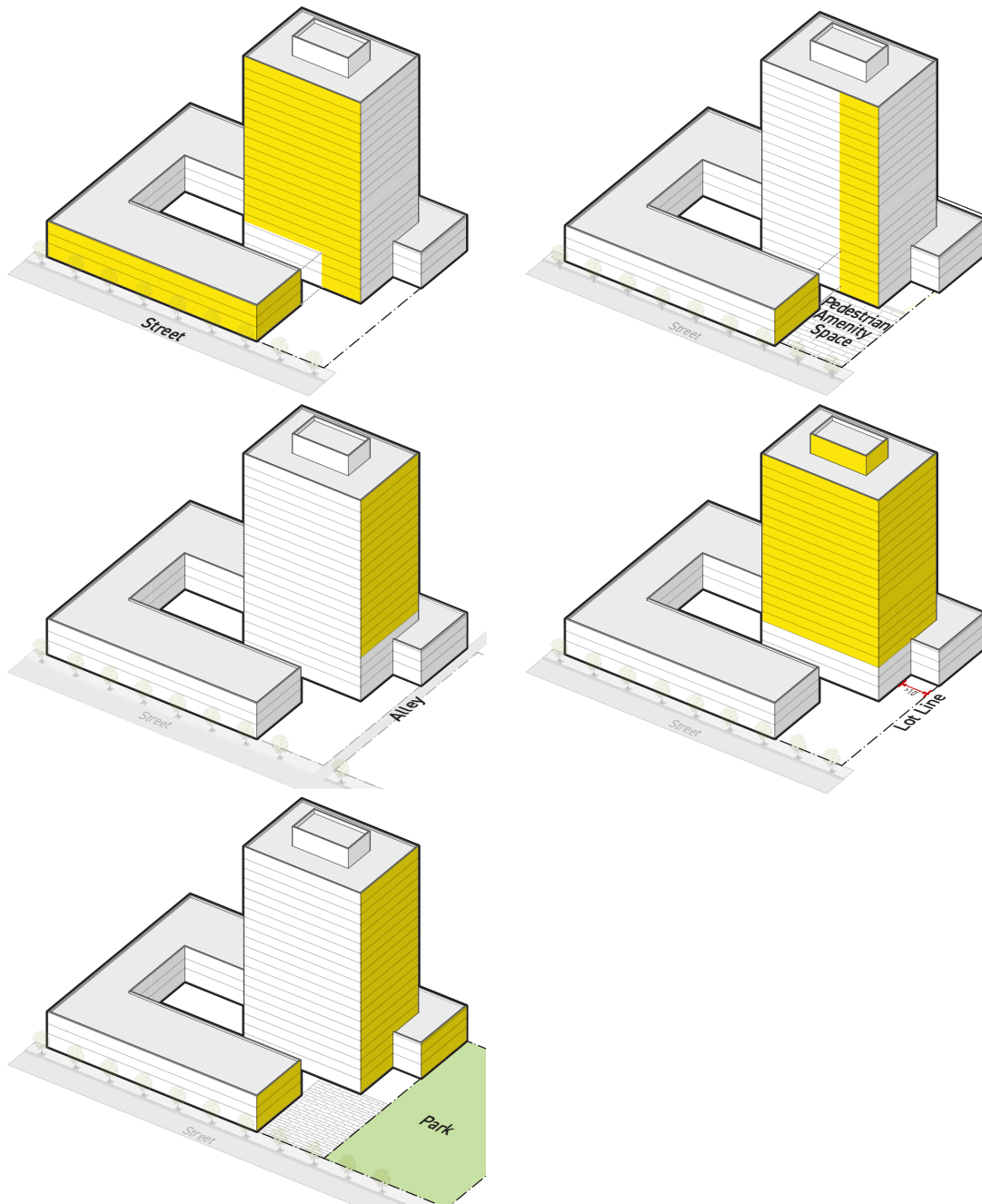
1. **General**

Frontage standards apply only to the applicable facades, applicable portions of a lot and applicable building depth as specified below. Specific Frontage District standards or rules may further limit which components of buildings and lots are required to comply with the standard within *Part 3C. (Frontage Rules)* and *Part 3D. (Character Frontage Rules)*.

2. Applicable Facades

Frontage District standards may apply to the following facades:

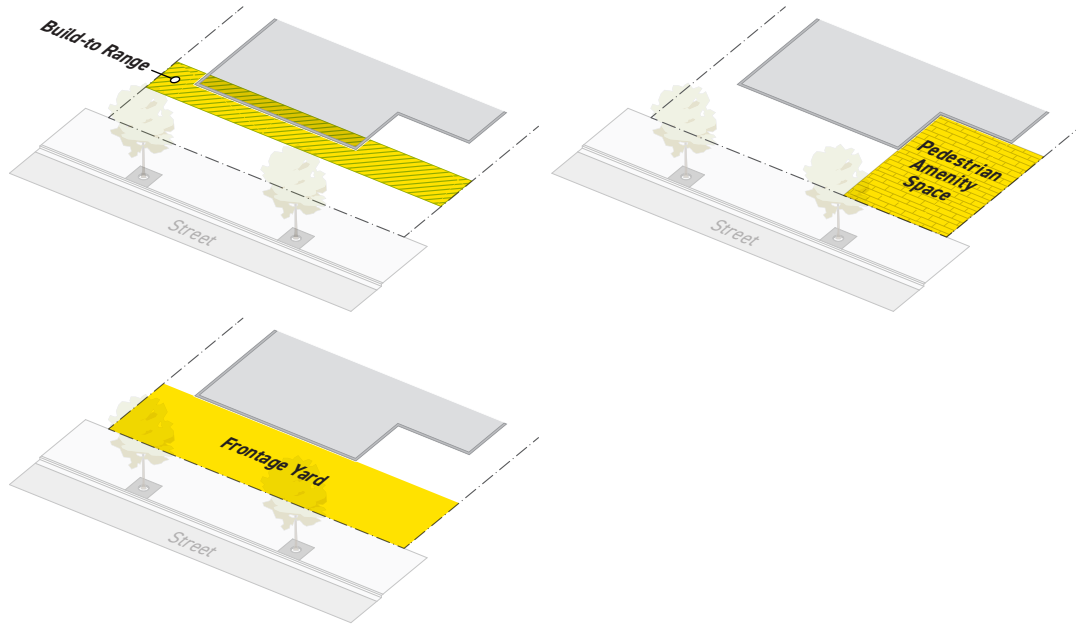
- a. All street-facing facades, see *Sec. 14.1.18. (Street-Facing)*.
- b. All pedestrian amenity space-facing facades, see *Sec. 14.1.16. (Pedestrian Amenity-Facing Facade)*.
- c. All alley lot line-facing facades above 4 stories, see *Sec. 14.1.13. (Lot Line-Facing)*.
- d. All lot line-facing facades located 10 feet or more from the lot line above 3 stories, see *Sec. 14.1.13. (Lot Line-Facing)*.
- e. All special lot line-facing facades, see *Sec. 14.1.13. (Lot Line-Facing)*.



3. **Applicable Portions of a Lot**

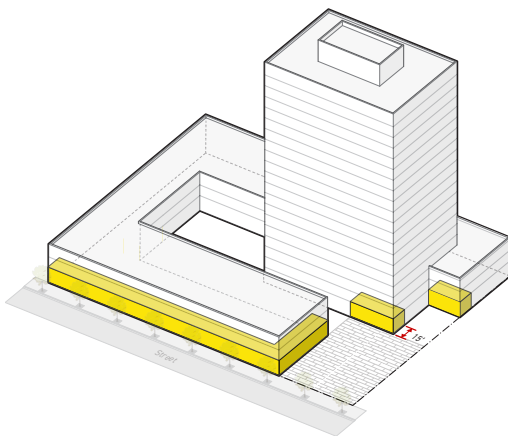
Frontage District standards apply to the following portions of a lot:

- a. Frontage yards, see *Sec. 14.1.20.G. (Yard Designation)*.
- b. Pedestrian amenity spaces.
- c. Build-to zones.



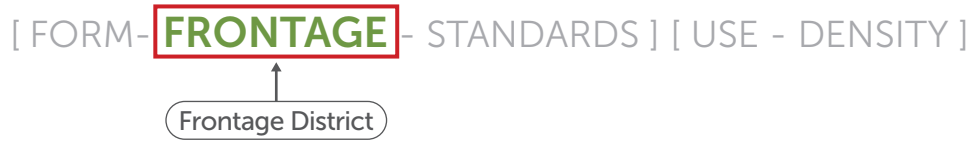
4. **Applicable Building Depth**

Frontage District standards apply to portions of a building interior located on ground story and within 15 feet of a frontage applicable facade.



SEC. 3A.1.3. **RELATIONSHIP TO ZONE STRING**

A zone is comprised of the following districts:



The Frontage District is a separate and independent component of each zone.

SEC. 3A.1.4. **HOW TO USE THIS ARTICLE**

A. **Identify the Frontage District**

The second component in a zone string identifies the Frontage District for a property.

B. **Frontage District Standards**

Frontage District standards are outlined in *Part 3B. (Frontage Districts)*. Each Frontage District page identifies the standards specific to that Frontage District.

C. **Interpreting Frontage District Standards**

Each standard on a Frontage District page in *Part 3B. (Frontage Districts)* provides a reference to *Part 3C. (General Frontage Rules)* or *Part 3D. (Character Frontage Rules)*, where the standard is explained in detail. *Part 3D. (Character Frontage Rules)* may reference *Part 3C. (General Frontage Rules)* for standards that are common to both Character Frontages and General Frontages.

Frontage District Example:

Zone String

[LLM2-**MU2**-5] [RG1-FA]

Find Your Frontage District

Part 3B (Frontage Districts)

SEC. 3B.2.3. **MULTI-UNIT 2 (MU2)**

A. Lot

Name of Standard: BUILD-TO

Specification for Standard: Div. 3C.1

	Primary	Side
Applicable stories (min)	1	1
Build-to range (min/max)	0'/10'	0'/15'
Build-to width (min)	70%	40%
Pedestrian amenity allowance (max)	n/a	n/a

PARKING: Div. 3C.2

LANDSCAPING: Div. 3C.3

Planting area (min): 30%

Frontage yard fence & wall type allowed: A2

Standard Does Not Apply

B. Facade

Frontage Lot Line

	Primary	Side
Ground story (min)	30%	30%
Upper stories (min)	20%	20%
Dead wall width (max)	35'	45'

ENTRANCES: Div. 3C.5

	Primary	Side
Street-facing entrance	Required	n/a
Entrance spacing (max)	50'	100'
Required entry feature	No	No

GROUND STORY: Div. 3C.6

	Primary	Side
Ground story height (min)		
Residential (min)	10'	10'
Nonresidential (min)	10'	10'
Ground floor elevation (min/max)		
Residential (min)	-2'/5'	-2'/5'
Nonresidential (min)	-2'/2'	-2'/2'

Link to Rules

Part 3C (General Frontage Rules)

Learn More About Your Rules

DIV. 3C.6. GROUND STORY

SEC. 3C.6.1. GROUND STORY HEIGHT

The floor-to-floor height of the story of a building having its finished floor elevation nearest to the finished ground surface.

A. Intent

To promote active uses that are directly connected to the public realm, and ensure high-quality ground-story spaces that are adaptable and appropriate to their context.

B. Applicability

Ground story height standards apply to all portions of the ground story of a structure located within the first 15 feet of a frontage applicable facade, measured inward and perpendicular to the facade.

C. Standards

All occupiable space on the ground story shall have floor-to-floor height of no less than the ground story height minimum.

D. Measurement

- Ground story height is measured vertically from the top of the finished ground floor to the top of the finished floor above.
- Where no story exists above, ground story height is the shortest vertically distance from the top of the finished ground floor to the top of the ceiling or roof structure above.
- For determining the ground story, see Sec. 14.1.1.10. (*Ground Story Determination*).

E. Relief

- A reduction in required ground story height of 1 foot or less may be requested in accordance with Sec. 13.7.2 (*Adjustments*).
- Deviation from ground story height standards may be requested as a variance in accordance with Sec. 13.7.2 (*Adjustments*).

Character Frontage District Example:

Zone String

[LLM1-**CDF1**-5] [IH2-FA]

Find Your Frontage District

Part 3B (Frontage Districts)

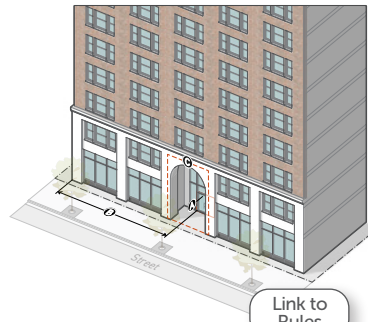
SEC. 38.9.2. HISTORIC CORE CHARACTERISTICS

A. Intent
The Historic Core Character Frontage provides standards intended to reinforce the prevailing architectural characteristics of Downtown's Historic Core. With an architectural character established in the late 19th and early 20th centuries, key architectural characteristics of the Historic Core include grand entrances adorned with pillars and archways, highly decorative facades that clearly articulate the base, middle, and top layers of a building, deeply recessed windows, and flat roofs with prominent cornices. Buildings in the Historic Core adhere to a well-defined street wall with high ground floor activation. The Historic Core Character Frontage ensures new development contributes to the established architectural character of Downtown's Historic Core.

B. Lot

	Primary	Side
BUILD-TO		
Applicable stories (min)	12	12
● Built-to range (min/max)	0/5	0/10/20
● Built-to width (min)	90%	70%
● Pedestrian amenity allowance (max)	15%	10%
PARKING		
● Frontage setback (min)	20'	5'
LANDSCAPING		
Planting area (min)	0%	0%
Frontage yard fence & wall type allowed:	A1	A1

E. Doors



F. Windows



- Frontage Lot Line
- Label on Graphic
- No Label on Graphic

	Primary	Side
ENTRANCES		
Div. 3D.8.		
● Street-facing entrance	Required	Required
● Entrance spacing (max)	50'	50'
● Entry feature	Required	Required
Options	<ul style="list-style-type: none"> Recessed entry At-grade entry Storefront bay 	
● Focal entry feature	1	0

	Primary	Side
TRANSPARENCY		
Div. 3D.9.		
● Ground story (min/max)	50%/70%	50%/70%
Dead wall width (max)	20'	20'
Window recession (min)	12"	12"
Bulkhead	Required	Required
Symmetrical lite pattern	Required	Required
Horizontal sliding windows	Prohibited	Prohibited
Vinyl windows	Prohibited	Prohibited
● Upper stories (min/max)	30%/60%	30%/60%
Window recession (min)	6"	6"
Symmetrical lite pattern	Required	Required
Sill	Required	Required
Horizontal sliding windows	Prohibited	Prohibited
Vinyl windows	Prohibited	Prohibited

Part 3D (Character Frontage Rules)

Learn More About Your Rules

DIV. 3D.4. TRANSPARENCY

SEC. 3D.4.1. TRANSPARENT AREA
The amount of transparent area on a building facade.

A. Intent
To provide visual interest along the public realm and promote natural surveillance by enclosing visual connections between the public realm and the interior of a building.

B. Applicability
Transparency standards apply to all portions of a building or structure where frontage standards apply (Sec. 3A.1.2.B) with the exception of parking structure facades.

C. Standards

- Each applicable facade shall provide no less than the minimum transparency listed in a Frontage district.
- Window and door openings meeting the following requirements count toward transparent area:
 - Interior walls, furniture and other interior visual obstructions shall not be located within 5 feet of any facade area counting toward transparent area. Distance from transparent area is measured perpendicular to the exterior face of the transparent area. Visual obstructions may be located five feet or greater from facade area counting toward transparent area.

References to Part 3C

DIV. 3D.9. TRANSPARENCY

SEC. 3D.9.1. GROUND STORY

A. Intent
To ensure projects are designed with ground story windows that reflect contributing buildings within their Survey LA Planning District or Historic District.

B. Applicability
Ground story transparency standards apply to all ground story frontage applicable facades (Sec. 3A.1.2.B.2) with the exception of parking structure facades.

C. Standards

- Transparent Area
See Sec. 3C.4.1 (Transparent Area)
- Blank wall Width
See Sec. 3C.4.2 (Blank wall Width)
- Window Recession
 - Standards
All windows provided on applicable facades shall be recessed no less than the minimum depth specified in the Frontage District.
 - Measurement
Window recession depth is measured inward from the immediately surrounding facade surface, exclusive of trim or accessory projecting architectural details, to the outermost element of the window assembly.
- Bulkhead
A wall located beneath a display window on the ground story facade that serves to elevate a window above the exterior finished grade and the interior finished floor surface.

SEC. 3A.1.5. **FRONTAGE DISTRICT NAMING CONVENTION**

All Frontage District names are composed of two components: frontage category and variation number.

A. **Frontage Category**

The first component of each Frontage District is a frontage category. Frontage categories group all districts with similar characteristics. Frontage categories are organized as follows:

1. Drive
2. Multi-Unit
3. General
4. Shopfront
5. Market
6. Large Format
7. Warehouse
8. Dual
9. Character

B. **Variation Number**

The last component of each Frontage District is a variation number. All Frontage Districts are numbered in the order they fall within this Article.

PART 3B. FRONTAGE DISTRICTS

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DIV. 3B.1. **DRIVE FRONTAGES**

Drive Frontages control the location of vehicular access, require planted front yards and provide flexible provisions for privacy through a combination of setbacks and frontage yard fences and wall standards.

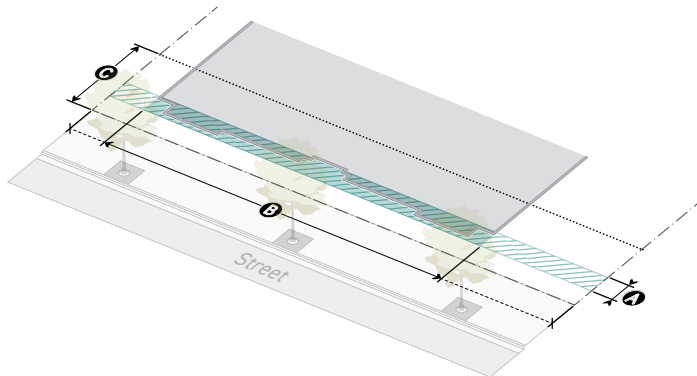
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DIV. 3B.2. **MULTI-UNIT FRONTAGES**

Multi-Unit Frontages require higher ground floor elevations, relatively low transparency, and frequent entrance spacing. This allows for greater privacy for ground floor tenants retaining an interplay between the private and public realms. Frequent entrances activate the public realm with pedestrian activity and visual interest.

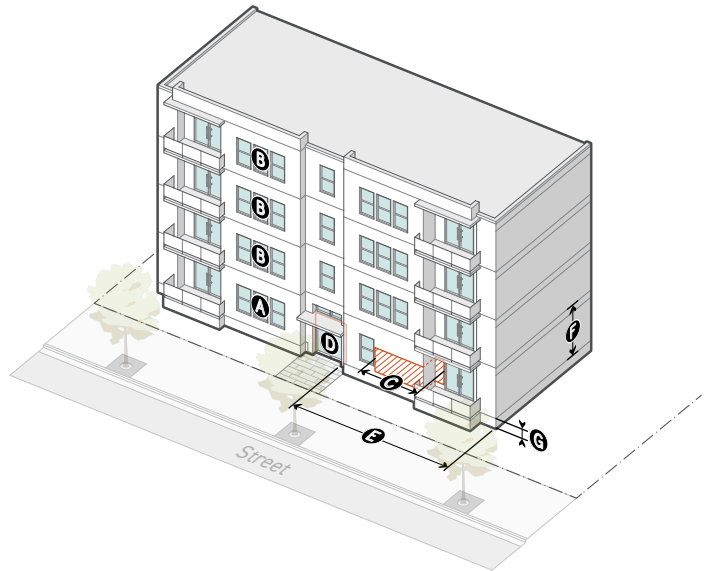
SEC. 3B.2.1. MULTI-UNIT 1 (MU1)

A. Lot



	Primary	Side
BUILD-TO	<i>Div. 3C.1.</i>	
Applicable stories (min)	1	1
A Build-to depth (max)	5'	5'
B Build-to width (min)	70%	40%
Pedestrian amenity allowance (max)	n/a	n/a
PARKING	<i>Div. 3C.2.</i>	
C Frontage setback (min)	20'	5'
LANDSCAPING	<i>Div. 3C.3.</i>	
Planting area (min)	30%	30%
Frontage yard fence & wall type allowed:	A2	A2

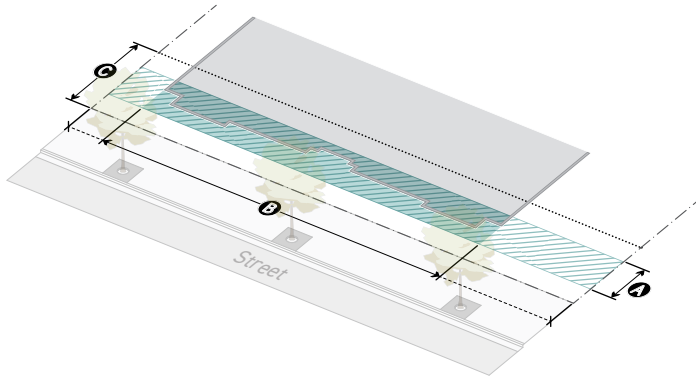
B. Facade



	Primary	Side
TRANSPARENCY	<i>Div. 3C.4.</i>	
A Ground story (min)	30%	30%
B Upper stories (min)	20%	20%
C Active wall spacing (max)	35'	45'
ENTRANCES	<i>Div. 3C.5.</i>	
D Street-facing entrance	Required	n/a
E Entrance spacing (max)	50'	100'
Required entry feature	No	No
GROUND STORY	<i>Div. 3C.6.</i>	
F Ground story height (min)		
Residential	10'	10'
Nonresidential	10'	10'
G Ground floor elevation (min/max)		
Residential	-2'/5'	-2'/5'
Nonresidential	-2'/2'	-2'/2'

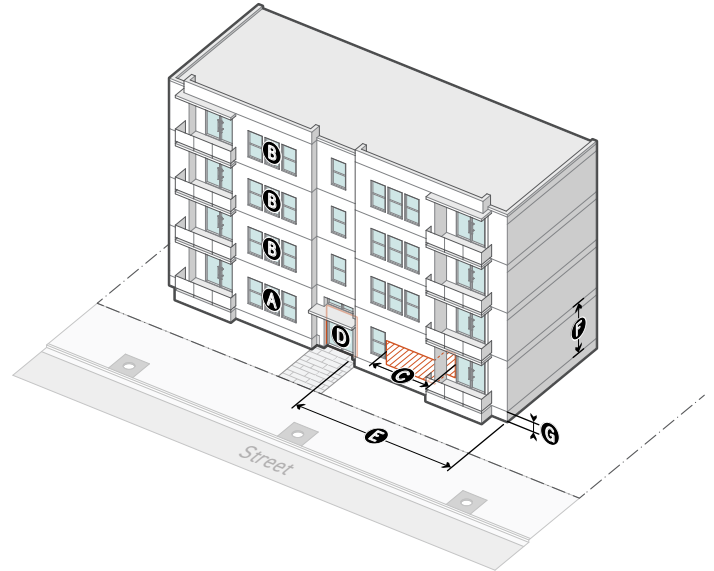
SEC. 3B.2.2. MULTI-UNIT 2 (MU2)

A. Lot



	Primary	Side
BUILD-TO	<i>Div. 3C.1.</i>	
Applicable stories (min)	1	1
A Build-to depth (max)	10'	15'
B Build-to width (min)	70%	40%
Pedestrian amenity allowance (max)	n/a	n/a
PARKING	<i>Div. 3C.2.</i>	
C Frontage setback (min)	20'	5'
LANDSCAPING	<i>Div. 3C.3.</i>	
Planting area (min)	30%	30%
Frontage yard fence & wall type allowed:	A2	A2

B. Facade



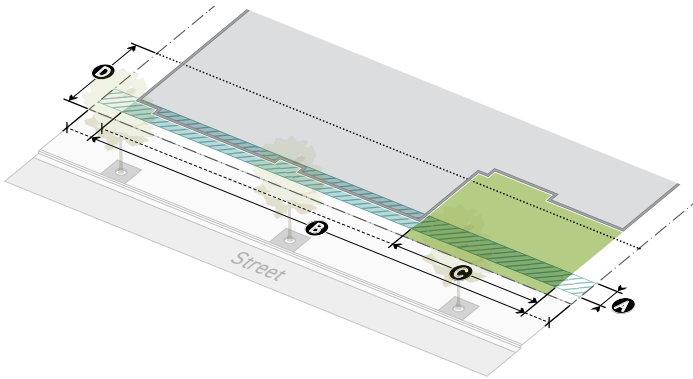
	Primary	Side
TRANSPARENCY	<i>Div. 3C.4.</i>	
A Ground story (min)	30%	30%
B Upper stories (min)	20%	20%
C Active wall spacing (max)	35'	45'
ENTRANCES	<i>Div. 3C.5.</i>	
D Street-facing entrance	Required	n/a
E Entrance spacing (max)	50'	100'
Required entry feature	No	No
GROUND STORY	<i>Div. 3C.6.</i>	
F Ground story height (min)		
Residential	10'	10'
Nonresidential	10'	10'
G Ground floor elevation (min/max)		
Residential	-2'/5'	-2'/5'
Nonresidential	-2'/2'	-2'/2'

DIV. 3B.3. **GENERAL FRONTAGES**

General Frontages require moderate to high build-to widths while allowing a wide range of modifications for pedestrian amenity spaces. These Frontage Districts have a moderate transparency requirement with flexible entrance spacing standards while ensuring a high-quality pedestrian environment and providing flexibly for a variety of ground story tenants.

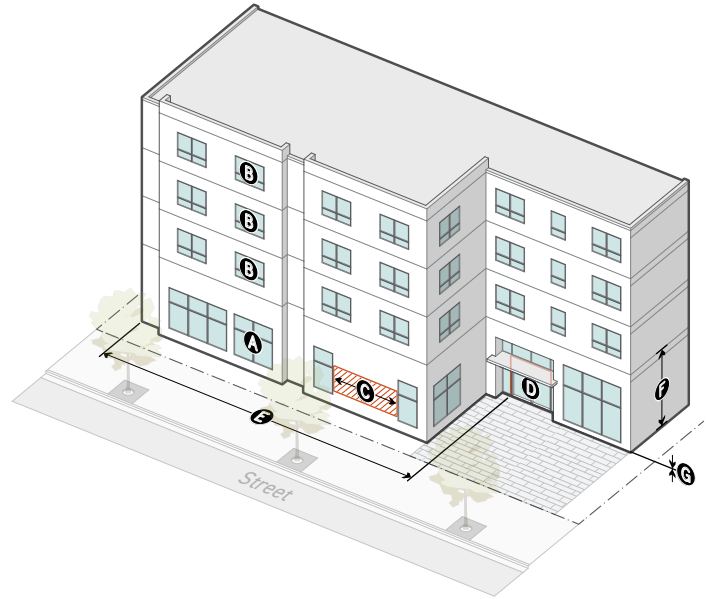
SEC. 3B.3.1. **GENERAL 1 (G1)**

A. Lot



	Primary St.	Side St.
BUILD-TO	<i>Div. 3C.1.</i>	
Applicable stories (min)	5	5
A Build-to depth (max)	10'	15'
B Build-to width (min)	90%	70%
C Pedestrian amenity allowance (max)	30%	20%
PARKING	<i>Div. 3C.2.</i>	
D Frontage setback (min)	15'	5'
LANDSCAPING	<i>Div. 3C.3.</i>	
Planting area (min)	30%	30%
Frontage yard fence & wall type allowed:	A2	A2

B. Facade



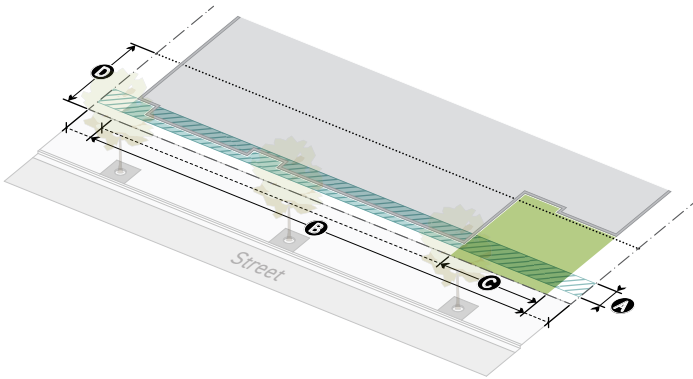
	Primary St.	Side St.
TRANSPARENCY	<i>Div. 3C.4.</i>	
A Ground story (min)	50%	40%
B Upper stories (min)	30%	30%
C Active wall spacing (max)	30'	30'
ENTRANCES	<i>Div. 3C.5.</i>	
D Street-facing entrance	Required	Required
E Entrance spacing (max)	75'	100'
Required entry feature	No	No
GROUND STORY	<i>Div. 3C.6.</i>	
F Ground story height (min)		
Residential	10'	10'
Nonresidential	16'	16'
G Ground floor elevation (min/max)		
Residential	-2'/5'	-2'/5'
Nonresidential	-2'/5'	-2'/5'

DIV. 3B.4. **SHOPFRONT FRONTAGES**

Shopfront Frontages require high build-to widths, high levels of transparency, frequent entrance spacing and ground floor elevations at or near sidewalk grade. This promotes a legible street wall and activates the public realm with pedestrian activity and visual interest. The at-grade ground floor elevation allows for an increased connection between the interior uses and the pedestrian space.

SEC. 3B.4.1. **SHOPFRONT 1 (SH1)**

A. Lot



	Primary St.	Side St.
BUILD-TO	<i>Div. 3C.1.</i>	
Applicable stories (min)	5	5
A Build-to depth (max)	5'	10'
B Build-to width (min)	90%	70%
C Pedestrian amenity allowance (max)	20%	10%
PARKING	<i>Div. 3C.2.</i>	
D Frontage setback (min)	20'	5'
LANDSCAPING	<i>Div. 3C.3.</i>	
Planting area (min)	30%	30%
Frontage yard fence & wall type allowed:	A2	A2

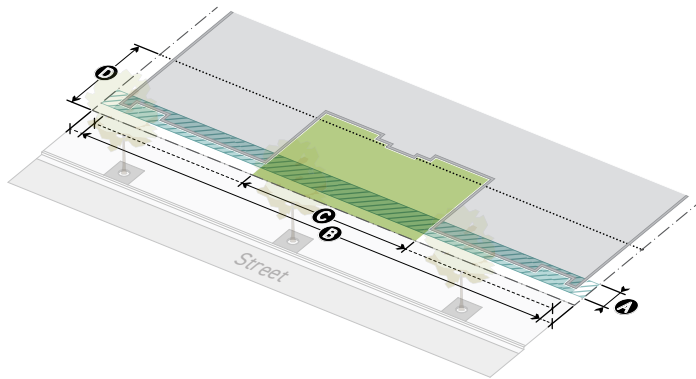
B. Facade



	Primary St.	Side St.
TRANSPARENCY	<i>Div. 3C.4.</i>	
A Ground story (min)	70%	50%
B Upper stories (min)	30%	30%
C Active wall spacing (max)	20'	30'
ENTRANCES	<i>Div. 3C.5.</i>	
D Street-facing entrance	Required	Required
E Entrance spacing (max)	50'	75'
Required entry feature	No	No
GROUND STORY	<i>Div. 3C.6.</i>	
F Ground story height (min)		
Residential	16'	16'
Nonresidential	16'	16'
G Ground floor elevation (min/max)		
Residential	-2'/2'	-2'/2'
Nonresidential	-2'/2'	-2'/2'

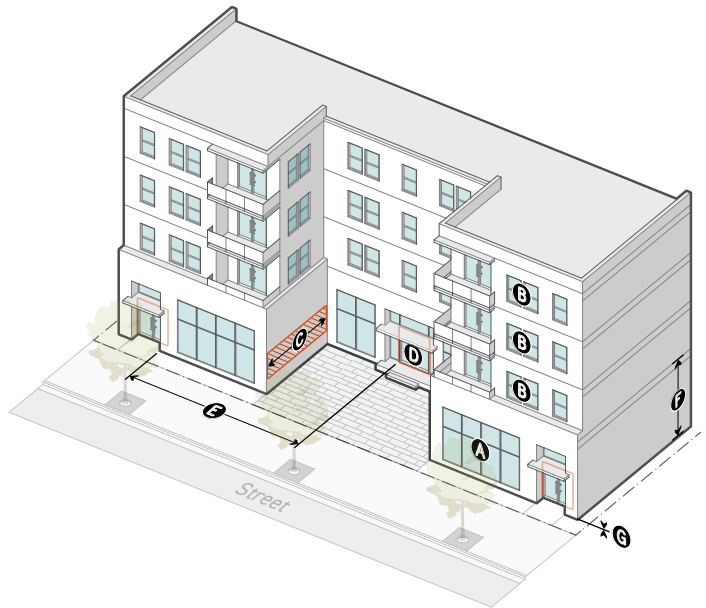
SEC. 3B.4.2. SHOPFRONT 2 (SH2)

A. Lot



	Primary St.	Side St.
BUILD-TO	<i>Div. 3C.1.</i>	
Applicable stories (min)	5	5
A Build-to depth (max)	5'	10'
B Build-to width (min)	95%	70%
C Pedestrian amenity allowance (max)	35%	10%
PARKING	<i>Div. 3C.2.</i>	
D Frontage setback (min)	20'	5'
LANDSCAPING	<i>Div. 3C.3.</i>	
Planting area (min)	30%	30%
Frontage yard fence & wall type allowed:	A2	A2

B. Facade



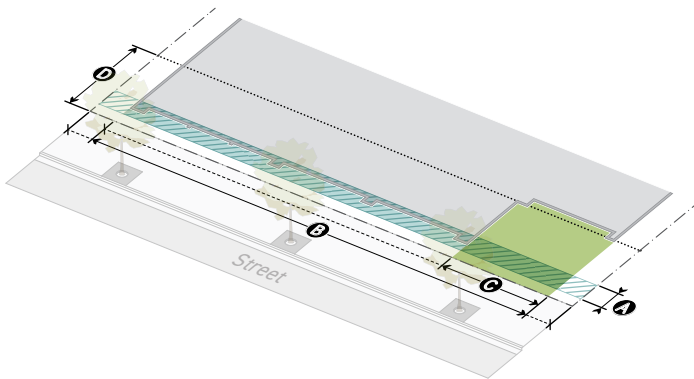
	Primary St.	Side St.
TRANSPARENCY	<i>Div. 3C.4.</i>	
A Ground story (min)	60%	40%
B Upper stories (min)	30%	30%
C Active wall spacing (max)	20'	30'
ENTRANCES	<i>Div. 3C.5.</i>	
D Street-facing entrance	Required	Required
E Entrance spacing (max)	50'	75'
Required entry feature	No	No
GROUND STORY	<i>Div. 3C.6.</i>	
F Ground story height (min)		
Residential	16'	16'
Nonresidential	16'	16'
G Ground floor elevation (min/max)		
Residential	-2'/2'	-2'/2'
Nonresidential	-2'/2'	-2'/2'

DIV. 3B.5. **MARKET FRONTAGES**

Market Frontages require high build-to widths and frequent entrances integrated as market stalls and shopfront bays. These entry feature options, paired with frequent entry spacing, activates the public realm with pedestrian activity and visual interest in areas where market stalls are the dominant pattern.

SEC. 3B.5.1. **MARKET 1 (MK1)**

A. Lot



	Primary St.	Side St.
BUILD-TO	<i>Div. 3C.1.</i>	
Applicable stories (min)	5	5
A Build-to depth (max)	5'	10'
B Build-to width (min)	90%	70%
C Pedestrian amenity allowance (max)	20%	10%
PARKING	<i>Div. 3C.2.</i>	
D Street/alley setback (min)	20'	5'
LANDSCAPING	<i>Div. 3C.3.</i>	
Planting area (min)	30%	30%
Frontage yard fence & wall type allowed:	A2	A2

B. Facade



	Primary St.	Side St.
TRANSPARENCY	<i>Div. 3C.4.</i>	
A Ground story (min)	60%	40%
B Upper stories (min)	20%	20%
C Active wall spacing (max)	20'	35'
ENTRANCES	<i>Div. 3C.5.</i>	
D Street-facing entrance	Required	Required
E Entrance spacing (max)	25'	50'
Entry feature	Required	Required
Options	<ul style="list-style-type: none"> • Market Stall • Shopfront Bay 	
GROUND STORY	<i>Div. 3C.6.</i>	
F Ground story height (min)		
Residential	16'	16'
Nonresidential	16'	16'
G Ground floor elevation (min/max)		
Residential	n/a	n/a
Nonresidential	-2'/2'	-2'/2'

DIV. 3B.6. **LARGE FORMAT FRONTAGES**

Large Format Frontages require moderate build-to widths and infrequent entrance spacing. These Frontage Districts are designed to accommodate large tenants and controlled access in a manner that promotes a walkable street edge.

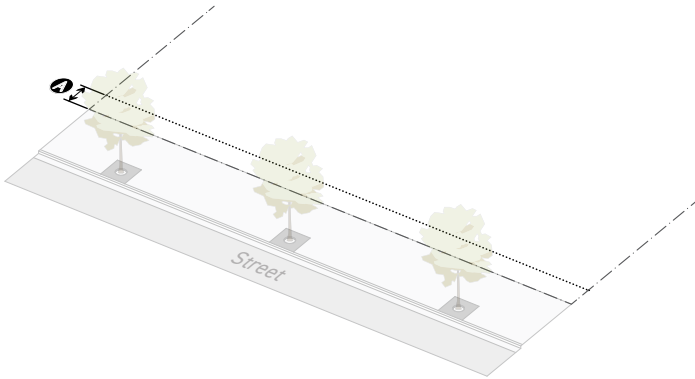
[Reserved]

DIV. 3B.7. **WAREHOUSE FRONTAGES**

The Warehouse Frontages have few standards and allow for a high level of flexibility. These Frontage Districts are designed for freight service. Warehouse Frontages are intended for areas where pedestrian-friendly environments are not a priority.

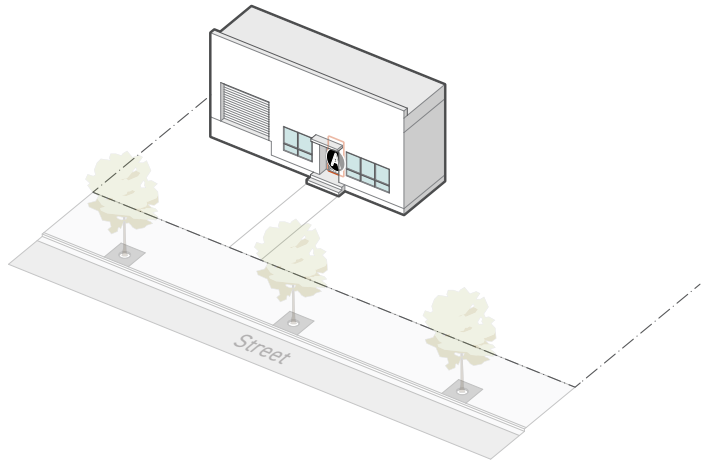
SEC. 3B.7.1. **WAREHOUSE 1 (WH1)**

A. Lot



	Primary St.	Side St.
BUILD-TO	<i>Div. 3C.1.</i>	
Applicable stories (min)	2	1
Build-to depth (min/max)	n/a	n/a
Build-to width (min)	n/a	n/a
Pedestrian amenity allowance (max)	n/a	n/a
PARKING	<i>Div. 3C.2.</i>	
A Frontage setback (min)	5'	5'
LANDSCAPING	<i>Div. 3C.3.</i>	
Planting area (min)	30%	30%
Frontage yard fence & wall type allowed:	A4	A4

B. Facade



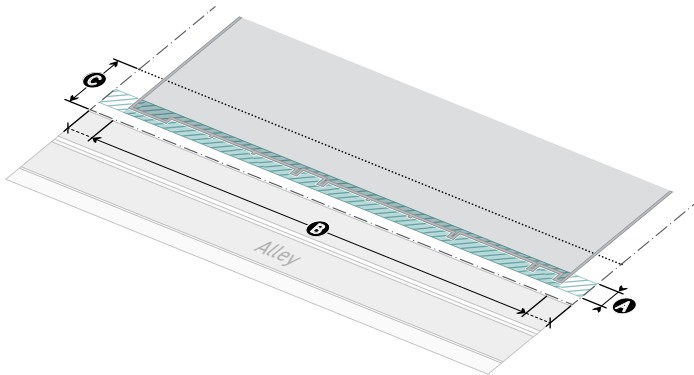
	Primary St.	Side St.
TRANSPARENCY	<i>Div. 3C.4.</i>	
Ground story (min)	n/a	n/a
Active wall spacing (max)	n/a	n/a
Upper stories (min)	n/a	n/a
ENTRANCES	<i>Div. 3C.5.</i>	
A Street-facing entrance	Required	n/a
Entrance spacing (max)	n/a	n/a
Required entry feature	No	No
GROUND STORY	<i>Div. 3C.6.</i>	
Ground story height (min)		
Residential	n/a	n/a
Nonresidential	n/a	n/a
Ground floor elevation (min/max)	n/a	n/a

DIV. 3B.8. **DUAL FRONTAGES**

The Dual Frontages are required to address primary, side and special frontage lot lines. This allows for activation of the frontage lot line with increased standards.

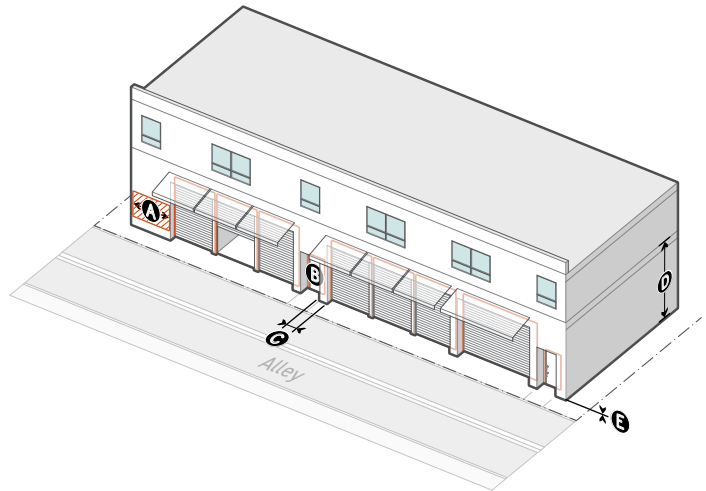
SEC. 3B.8.1. **ALLEY MARKET (AL1)**

A. Lot



	Special	Primary	Side
BUILD-TO	<i>Div. 3C.1.</i>		
Applicable stories (min)	5	5	5
A Build-to depth (max)	10'	5'	10'
B Build-to width (min)	90%	90%	70%
Pedestrian amenity allowance (max)	10%	20%	10%
PARKING	<i>Div. 3C.2.</i>		
C Setback (min)	15'	20'	5'
LANDSCAPING	<i>Div. 3C.3.</i>		
Planting area (min)	10%	20%	30%
Frontage yard fence & wall type allowed:	A1	A2	A2

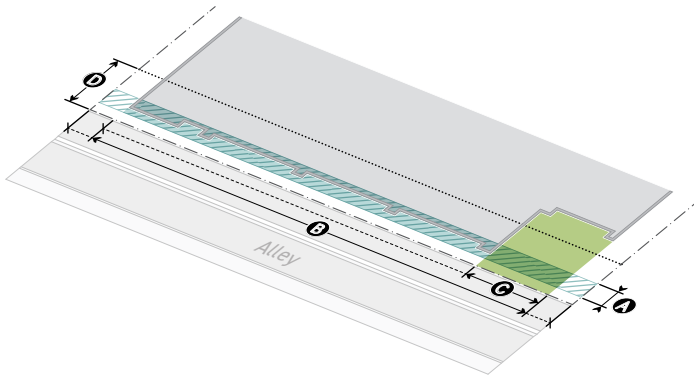
B. Facade



	Special	Primary	Side
TRANSPARENCY	<i>Div. 3C.4.</i>		
Ground story (min)	n/a	60%	40%
Upper stories (min)	n/a	20%	20%
A Active wall spacing (max)	30'	20'	35'
ENTRANCES	<i>Div. 3C.5.</i>		
B Street-facing entrance	Required	Required	Required
C Entrance spacing (max)	25'	25'	50'
Entry feature	Required	Required	Required
Options	<ul style="list-style-type: none"> • Shopfront bay • Market stall 		
GROUND STORY	<i>Div. 3C.6.</i>		
D Ground story height			
Residential (min)	16'	16'	n/a
Nonresidential (min)	16'	16'	16'
E Ground floor elevation (min/max)	-1/1'	-2/2'	-2/2'

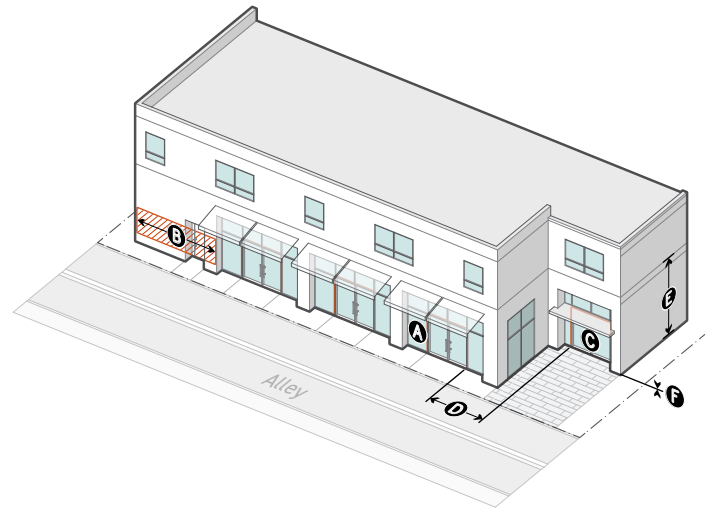
SEC. 3B.8.2. ALLEY SHOPFRONT (AL2)

A. Lot



	Special	Primary	Side
BUILD-TO	<i>Div. 3C.2.</i>		
Applicable stories (min)	5	5	5
A Build-to depth (max)	10'	5'	10'
B Build-to width (min)	70%	95%	70%
C Pedestrian amenity allowance (max)	15%	35%	10%
PARKING	<i>Div. 3C.2.</i>		
D Setback (min)	15'	20'	5'
LANDSCAPING	<i>Div. 3C.3.</i>		
Planting area (min)	10%	20%	30%
Frontage yard fence & wall type allowed:	A1	A2	A2

B. Facade



	Special	Primary	Side
TRANSPARENCY	<i>Div. 3C.4.</i>		
A Ground story (min)	60%	60%	40%
Upper stories (min)	n/a	30%	30%
B Active wall spacing (max)	30'	20'	30'
ENTRANCES	<i>Div. 3C.5.</i>		
C Street-facing entrance	Required	Required	Required
D Entrance spacing (max)	25'	50'	75'
Entry feature	Required	n/a	n/a
Options	• Storefront bay		
GROUND STORY	<i>Div. 3C.6.</i>		
E Ground story height			
Residential (min)	16'	16'	16'
Nonresidential (min)	16'	16'	16'
F Ground floor elevation (min/max)	-1/1'	-2/2'	-2/2'

DIV. 3B.9. **CHARACTER FRONTAGES**

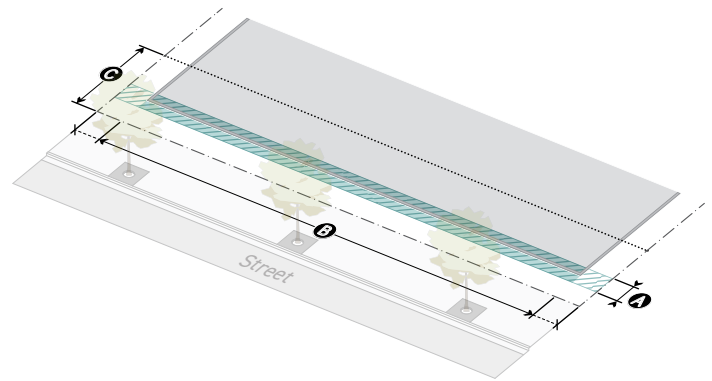
Character Frontages provide standards for facade articulation, entry features, window design, siding materials, and roof form, in order to reinforce the prevailing architectural characteristics of the city's historically and culturally significant neighborhoods and districts.

SEC. 3B.9.1. HISTORIC CORE (CHC1)

A. Intent

The Historic Core Character Frontage provides standards intended to reinforce the prevailing architectural characteristics of Downtown’s Historic Core. With an architectural character established in the late 19th and early 20th centuries, key architectural characteristics of the Historic Core include grand entrances adorned with pillars and archways, highly decorative facades that clearly articulate the base, middle, and top layers of a building, deeply recessed windows, and flat roofs with prominent cornices. Buildings in the Historic Core adhere to a well-defined street wall with high ground floor activation. The Historic Core Character Frontage ensures new development contributes to the established architectural character of Downtown’s Historic Core.

B. Lot

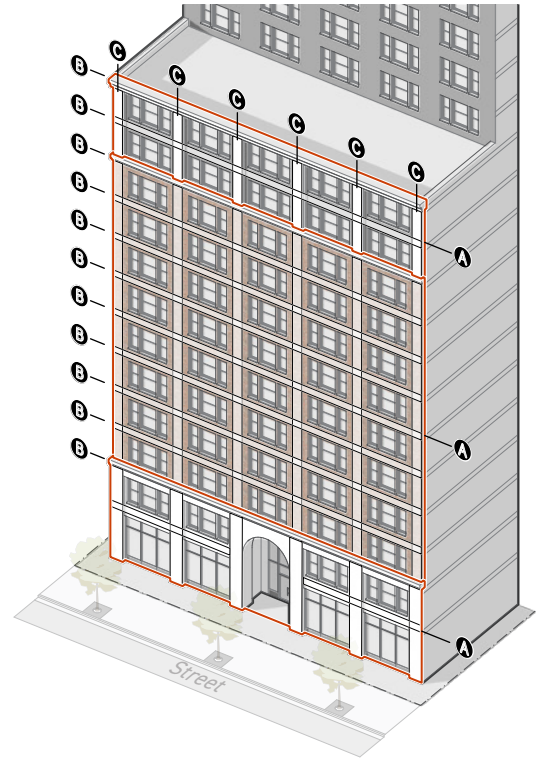


	Primary	Side
BUILD-TO	<i>Div. 3D.1.</i>	
Applicable stories (min)	12	12
A Build-to depth (max)	5'	10'
B Build-to width (min)	90%	70%
Pedestrian amenity allowance (max)	15%	10%
PARKING	<i>Div. 3D.2.</i>	
C Frontage setback (min)	20'	5'
LANDSCAPING	<i>Div. 3D.3.</i>	
Planting area (min)	0%	0%
Frontage yard fence & wall type allowed:	A2	A2

C. Stories



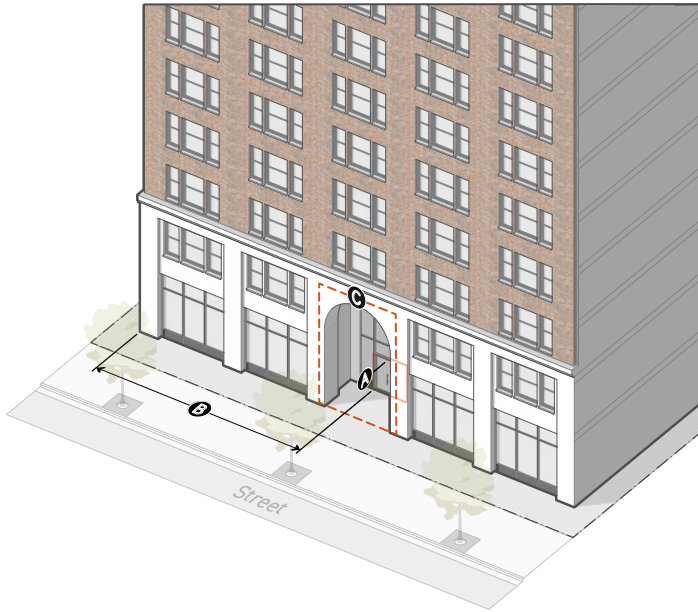
D. Facade



	Primary	Side
GROUND FLOOR ELEVATION	<i>Div. 3D.4.</i>	
A Ground floor elevation (min/max)	-2'2'	-2'2'
STORY HEIGHT	<i>Div. 3D.5.</i>	
B Ground story height (min)	16'	16'

	Primary	Side
ARTICULATION	<i>Div. 3D.6.</i>	
A Base-middle-top	Required	Required
B Horizontal bands	Required	Required
Options	<ul style="list-style-type: none"> Projecting band Material band 	
C Vertical bands	Required	Required
Spacing (min/max)	15'/25'	15'/25'
FEATURES	<i>Div. 3D.7.</i>	
Prohibited Features	<ul style="list-style-type: none"> Balconies 	

E. Doors



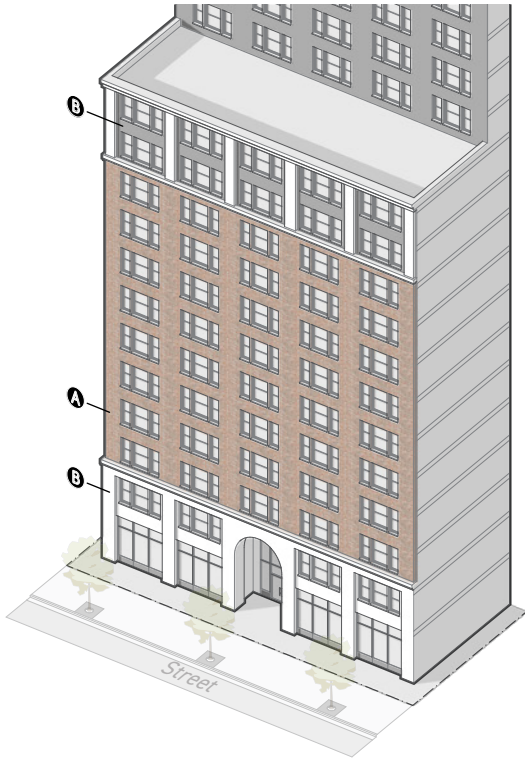
	Primary	Side
ENTRANCES	<i>Div. 3D.8.</i>	
A Street-facing entrance	Required	Required
B Entrance spacing (max)	50'	50'
Entry feature	Required	Required
Options	<ul style="list-style-type: none"> • Recessed entry • At-grade entry • Storefront bay 	
C Focal entry feature	1	0

F. Windows



	Primary	Side
TRANSPARENCY	<i>Div. 3D.9.</i>	
A Ground story (min/max)	50%/70%	50%/70%
Active wall spacing (max)	20'	20'
Window recession (min)	12"	12"
Bulkhead	Required	Required
Symmetrical lite pattern	Required	Required
Horizontal sliding windows	Prohibited	Prohibited
Vinyl windows	Prohibited	Prohibited
B Upper stories (min/max)	30%/60%	30%/60%
Window recession (min)	6"	6"
Symmetrical lite pattern	Required	Required
Sill	Required	Required
Horizontal sliding windows	Prohibited	Prohibited
Vinyl windows	Prohibited	Prohibited

G. Cladding



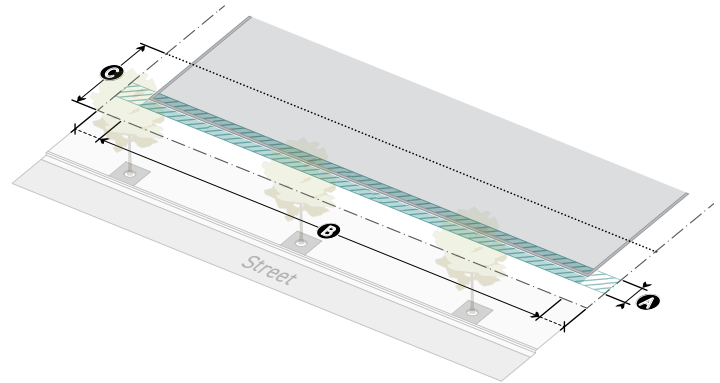
EXTERIOR MATERIALS		<i>Div. 3D.10.</i>
A Principal materials (min)		70%
Options		<ul style="list-style-type: none"> • Brick • Solid stone • Concrete • Metal • Glazed tile
B Accessory materials (max)		30%
Options		<ul style="list-style-type: none"> • Brick • Solid stone • Concrete • Metal • Wood • Glazed tile
Number of accessory materials (max)		2

SEC. 3B.9.2. DAYLIGHT FACTORY (CDF1)

A. Intent

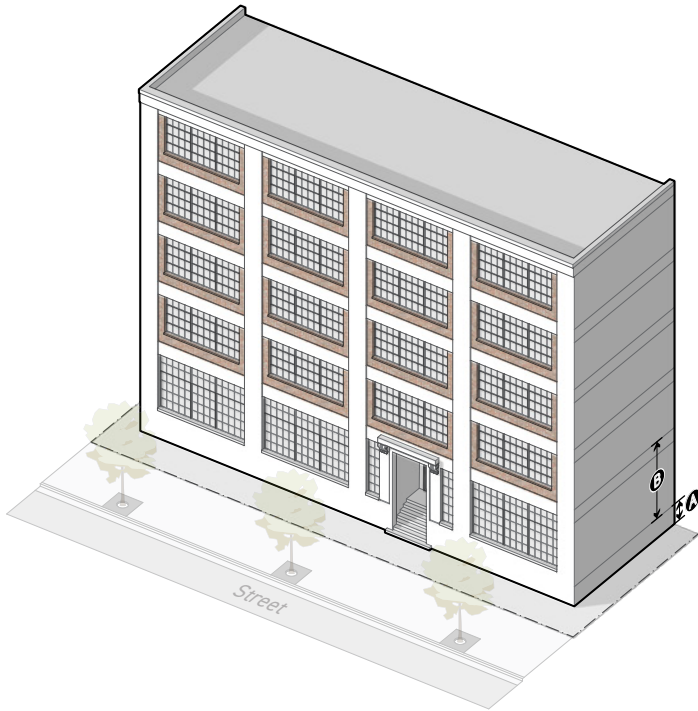
The Daylight Factory Character Frontage provides standards intended to reinforce the prevailing architectural characteristics of the industrial districts established in the early 20th century. Warehouse and factory buildings in these industrial districts are characterized by large, symmetrical windows that extend nearly a full story in height, high ceilings on each story, brick and masonry facade materials, and flat roofs with parapets. Facades are articulated to establish uniformity through horizontal repetition. The Daylight Factory Character Frontage ensures new development contributes to the established architectural character of the city's early 20th century industrial districts.

B. Lot



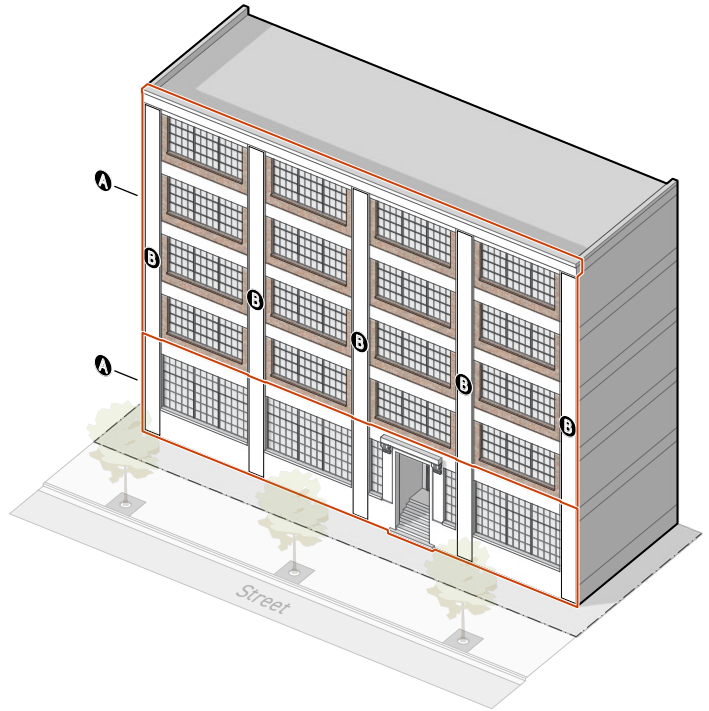
	Primary	Side
BUILD-TO	<i>Div. 3D.1.</i>	
Applicable stories (min)	5	5
A Build-to depth (max)	5'	10'
B Build-to width (min)	90%	70%
Pedestrian amenity allowance (max)	30%	30%
PARKING	<i>Div. 3D.2.</i>	
C Frontage setback (min)	20'	5'
LANDSCAPING	<i>Div. 3D.3.</i>	
Planting area (min)	30%	30%
Frontage yard fence & wall type allowed:	A2	A2

C. Stories



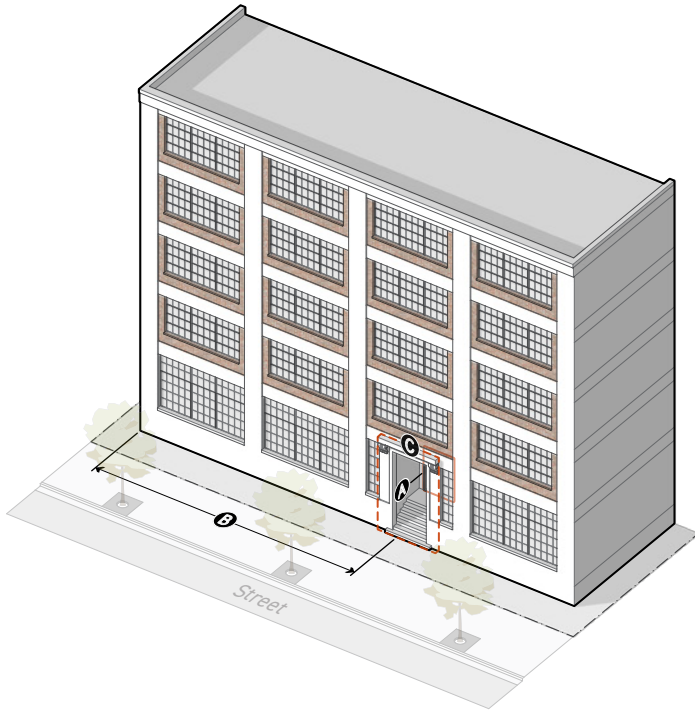
	Primary	Side
GROUND FLOOR ELEVATION	<i>Div. 3D.4.</i>	
A Ground floor elevation (min/max)	-2'5'	-2'5'
STORY HEIGHT	<i>Div. 3D.5.</i>	
B Ground story height (min)	22'	22'

D. Facade



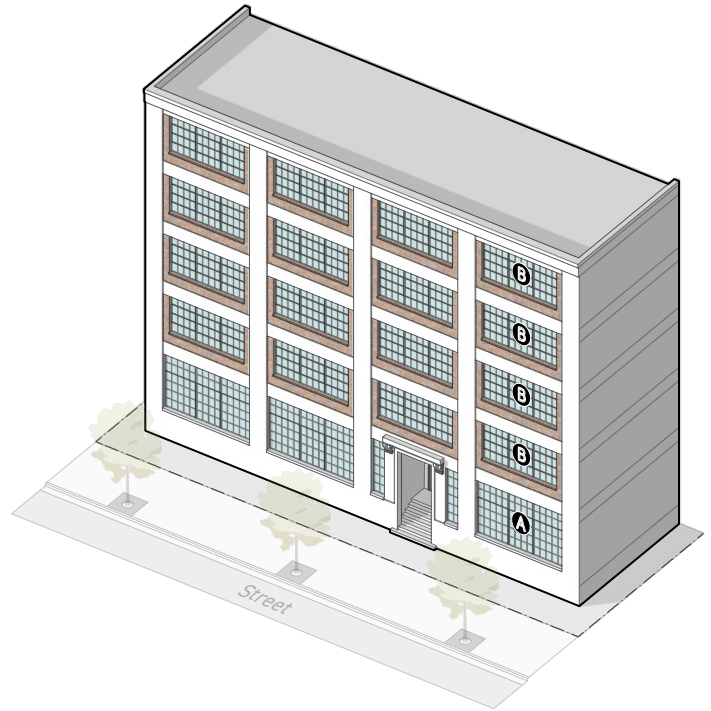
	Primary	Side
ARTICULATION	<i>Div. 3D.6.</i>	
A Base-top	Required	Required
B Vertical bands	Required	Required
Spacing (min/max)	20'/30'	20'/30'
FEATURES	<i>Div. 3D.7.</i>	
Prohibited Features	n/a	n/a

E. Doors



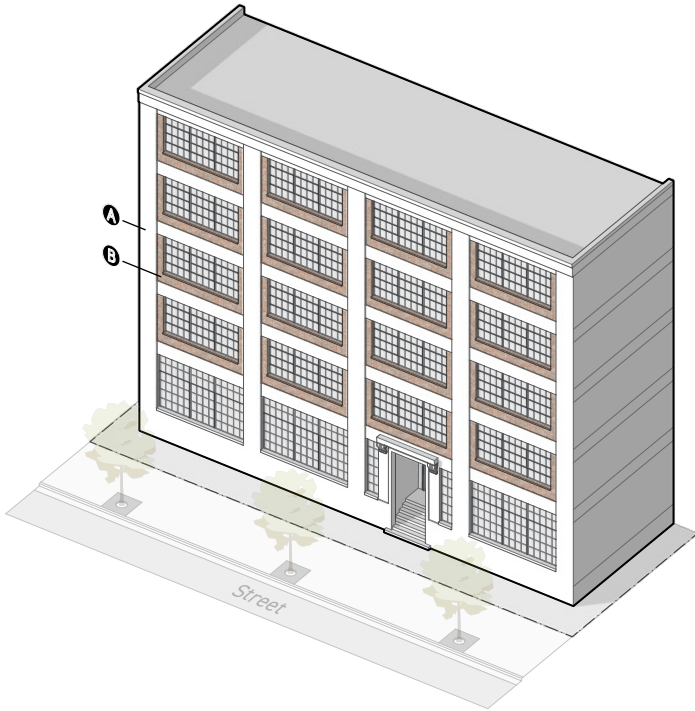
	Primary	Side
ENTRANCES	<i>Div. 3D.8.</i>	
A Street-facing entrance	Required	Required
B Entrance spacing (max)	100'	100'
Entry feature	Required	Required
Options	<ul style="list-style-type: none"> • Recessed entry • At-grade entry • Storefront bay 	
C Focal entry feature	1	1

F. Windows



	Primary	Side
TRANSPARENCY	<i>Div. 3D.9.</i>	
A Ground story (min/max)	50%/80%	50%/80%
Active wall spacing (max)	20'	30'
Window recession (min)	9"	9"
Horizontal sliding windows	Prohibited	Prohibited
Vinyl windows	Prohibited	Prohibited
B Upper stories (min/max)	40%/70%	30%/70%
Window recession (min)	6"	6"
Sill	Required	Required
Horizontal sliding windows	Prohibited	Prohibited
Vinyl windows	Prohibited	Prohibited

G. Cladding



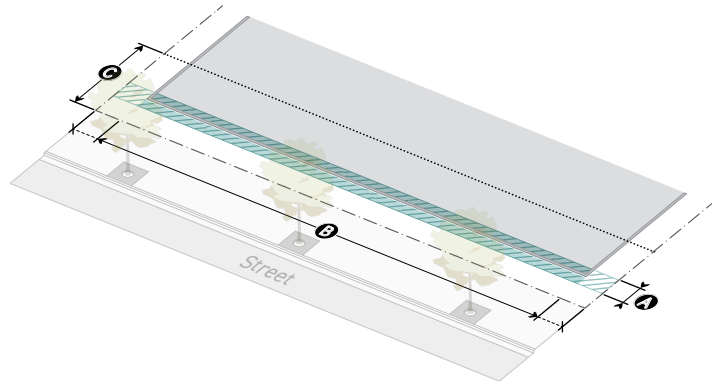
EXTERIOR MATERIALS		Div. 3D.10.
A Principal materials (min)		70%
Options		<ul style="list-style-type: none"> • Brick • Solid stone • Concrete • Metal • Wood
B Accessory materials (max)		30%
Options		<ul style="list-style-type: none"> • Brick • Solid stone • Concrete • Metal • Wood
Number of accessory materials (max)		3

SEC. 3B.9.3. **DAYLIGHT FACTORY / RIVER (CDR1)**

A. Intent

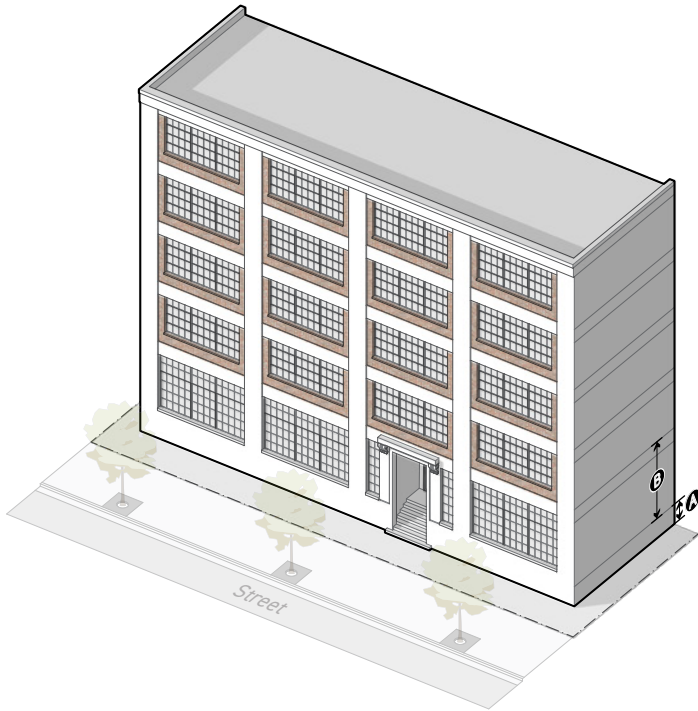
The Daylight Factory / River Character Frontage provides standards intended to support the activation of the Los Angeles River as a public amenity while reinforcing the prevailing architectural characteristics of the industrial districts established in the early 20th century along the River. Warehouse and factory buildings in these riverside industrial districts are characterized by large, symmetrical windows that extend nearly a full story in height, high ceilings on each story, brick and masonry facade materials, and flat roofs with parapets. Facades are articulated to establish uniformity through horizontal repetition. The Daylight Factory Character Frontage ensures new development contributes to the established architectural character of the city’s early 20th century riverside industrial districts, while providing a strong and active presence along the Los Angeles River.

B. Lot



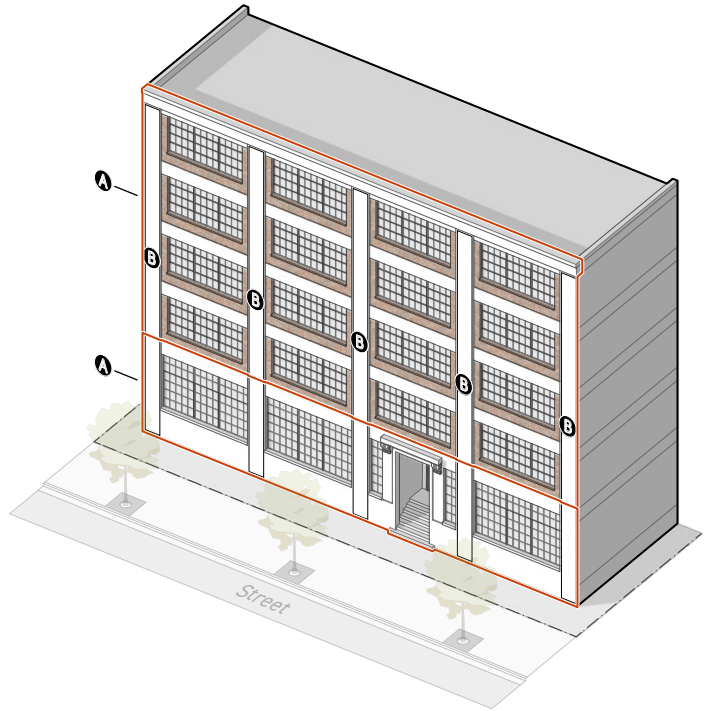
	Primary	Side	River
BUILD-TO	<i>Div. 3D.1.</i>		
Applicable stories (min)	5	5	5
A Build-to depth (max)	5'	10'	20'
B Build-to width (min)	90%	70%	70%
Pedestrian amenity allowance (max)	30%	30%	40%
PARKING	<i>Div. 3D.2.</i>		
C Frontage setback (min)	20'	5'	20'
LANDSCAPING	<i>Div. 3D.3.</i>		
Planting area (min)	5%	5%	75%
Frontage yard fence & wall type allowed:	A2	A2	A3

C. Stories



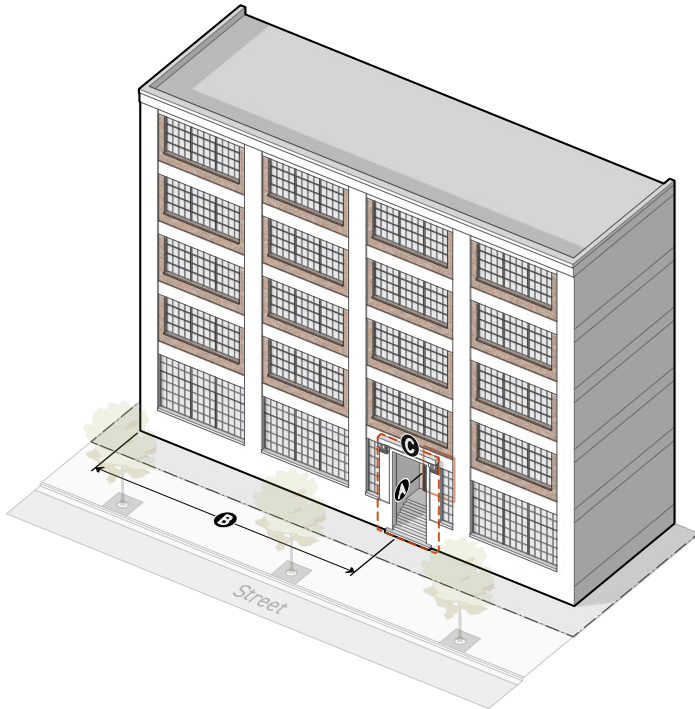
	Primary	Side	River
GROUND FLOOR ELEVATION	<i>Div. 3D.4.</i>		
A Ground floor elevation (min/max)	-2'/5'	-2'/5'	-2'/5'
STORY HEIGHT	<i>Div. 3D.5.</i>		
B Ground story height (min)	16'	16'	16'

D. Facade



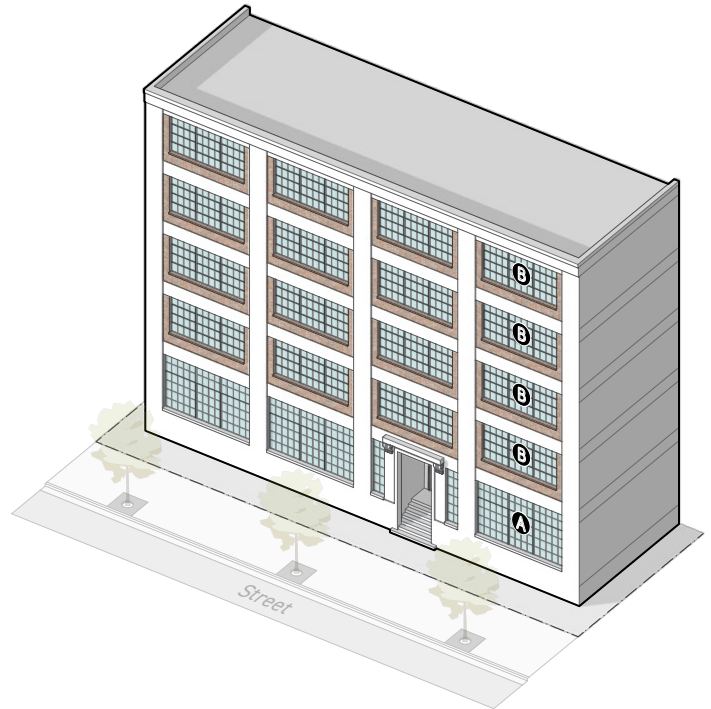
	Primary	Side	River
ARTICULATION	<i>Div. 3D.6.</i>		
A Base-top	Required	Required	Required
B Vertical bands	Required	Required	Required
Spacing (min/max)	20'/30'	20'/30'	20'/30'
FEATURES	<i>Div. 3D.7.</i>		
Prohibited Features	n/a	n/a	n/a

E. Doors



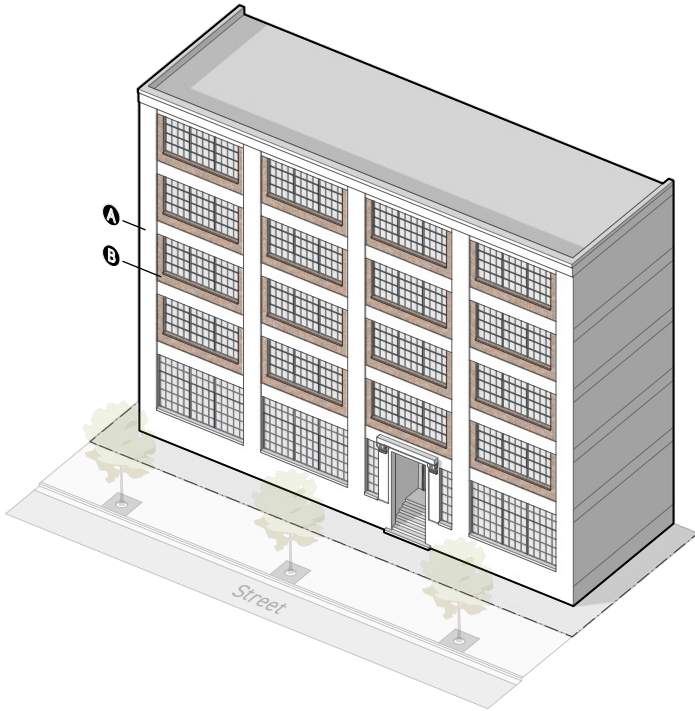
	Primary	Side	River
ENTRANCES	<i>Div. 3D.8.</i>		
A Street-facing entrance	Required	Required	Required
B Entrance spacing (max)	100'	100'	100'
Entry feature	Required	Required	n/a
Options	<ul style="list-style-type: none"> • Recessed entry • At-grade entry • Storefront bay 		
C Focal entry feature	1	1	n/a

F. Windows



	Primary	Side	River
TRANSPARENCY	<i>Div. 3D.9.</i>		
A Ground story (min/max)	50%/80%	50%/80%	30%/80%
Active wall spacing (max)	20'	30'	30'
Window recession (min)	9"	9"	9"
Horizontal sliding windows	Prohibited	Prohibited	Prohibited
Vinyl windows	Prohibited	Prohibited	Prohibited
B Upper stories (min/max)	40%/70%	30%/70%	30%/70%
Window recession (min)	6"	6"	6"
Sill	Required	Required	Required
Horizontal sliding windows	Prohibited	Prohibited	Prohibited
Vinyl windows	Prohibited	Prohibited	Prohibited

G. Cladding



EXTERIOR MATERIALS		Div. 3D.10.
A Principal materials (min)		70%
Options		<ul style="list-style-type: none"> • Brick • Solid stone • Concrete • Metal • Wood
B Accessory materials (max)		30%
Options		<ul style="list-style-type: none"> • Brick • Solid stone • Concrete • Metal • Wood
Number of accessory materials (max)		3

PART 3C. GENERAL FRONTAGE RULES

Div. 3C.1. Build-To	3-46
Sec. 3C.1.1. Applicable Stories	3-46
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DIV. 3C.1. **BUILD-TO**

SEC. 3C.1.1. **APPLICABLE STORIES**

The number of stories that are required to meet build-to standards.

A. **Intent**

To ensure that multi-story buildings locate both ground floor and a contextually appropriate number of upper stories along the street.

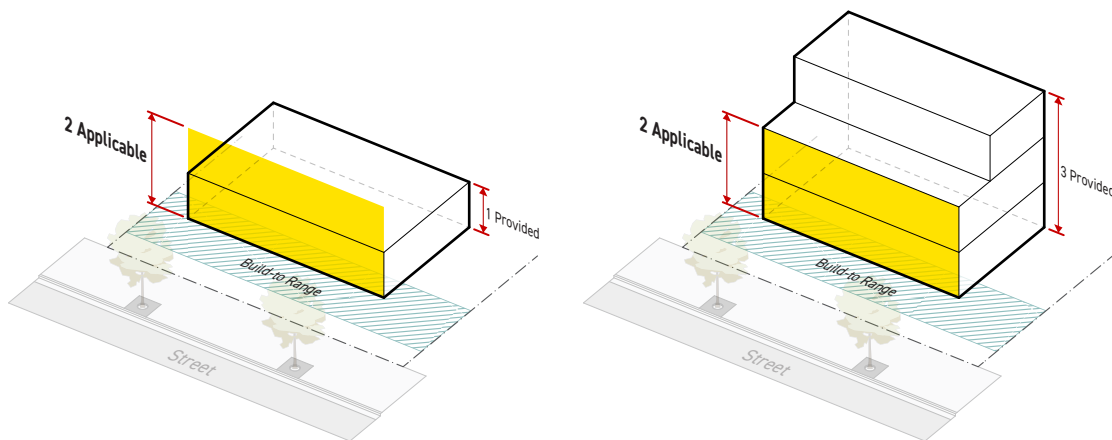
B. **Applicability**

Build-to applicable stories standards apply to:

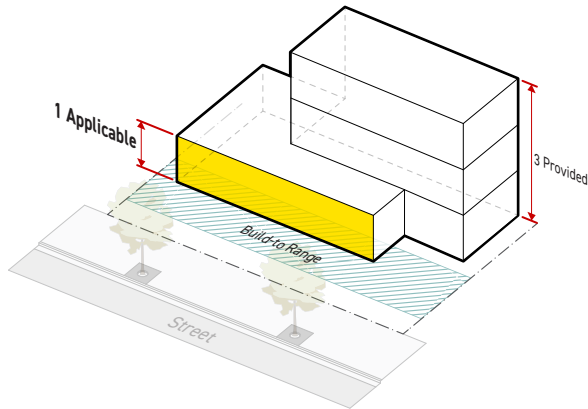
1. All portions of buildings and structures required to satisfy a minimum build-to width requirement.
2. All structures on a lot with floor area located above the ground story.

C. **Standards**

1. Where minimum applicable stories are required, build-to standards apply to the ground story and any additional story provided on a lot, up to and including the minimum build-to applicable stories.



2. When no build-to height applicability is specified, build-to standards apply only to the ground story of a building.



D. Measurement

For measuring height in stories, see *Div. 14A.1. (General Rules)*.

E. Relief

1. A reduction in number of applicable stories of 1 story may be requested in accordance with *Sec. 13B.5.2. (Adjustments)*.
2. A reduction in number of applicable stories may be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*.

SEC. 3C.1.2. BUILD-TO DEPTH

Build-to depth is the depth of the build-to zone. The build-to zone is the area on a lot starting behind the minimum frontage lot line building setback and continuing inward for the maximum build-to depth for the full width of the lot. A building is required to occupy the build-to zone for the required minimum build-to width.

A. Intent

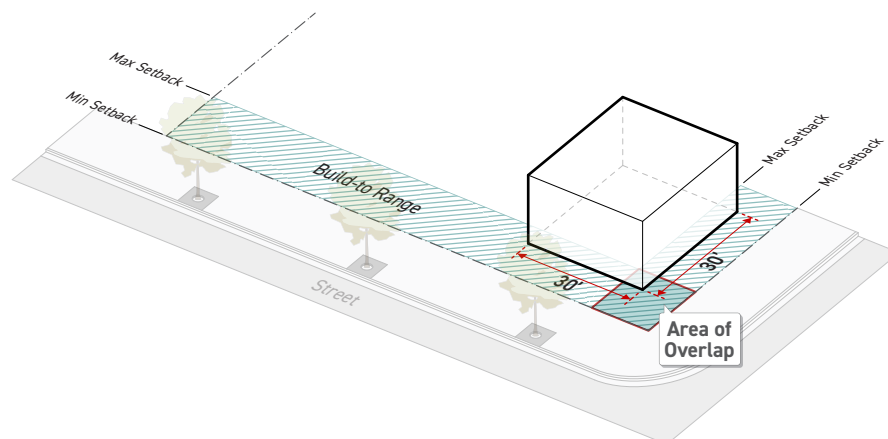
To regulate the placement of buildings along the public realm such that buildings frame the public realm with a consistent street wall.

B. Applicability

Build-to depth standards apply to all portions of buildings and structures required to satisfy a minimum build-to width and applicable stories standards.

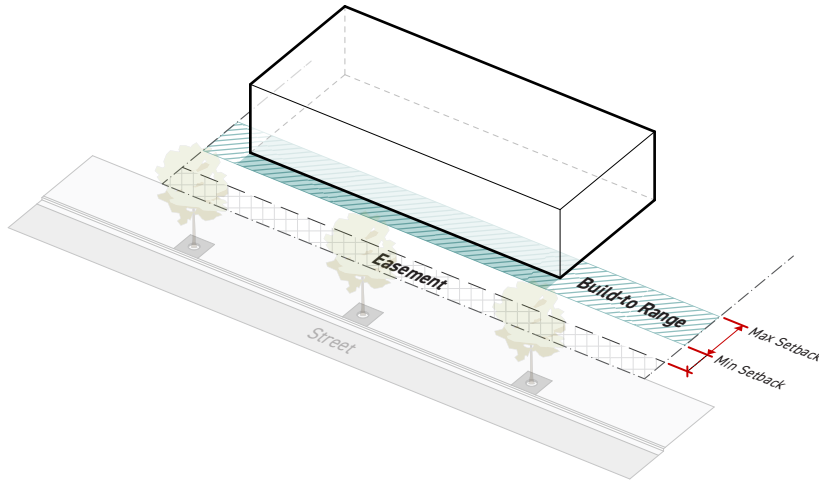
C. Standards

1. The build-to zone shall be no deeper than the maximum build-to depth specified by the applicable Frontage District in *Part 3B. (Frontage District)*.
2. Buildings shall occupy the build-to zone for at least the minimum required build-to width.
3. Once the minimum build-to width standard has been satisfied, buildings and structures may occupy the area behind the build-to zone.
4. On a corner lot where intersecting frontage lot lines have build-to requirements, a building shall occupy the portion of the lot area where the build-to zones of the two intersecting frontage lot lines overlap, as described below:
 - a. The building shall occupy the build-to zones for both frontage lot lines for a minimum of 30 feet from the corner. Distance is measured away from the corner, starting at the edge of the building occupying the area of overlap, parallel to the frontage lot line.
 - b. This standard does not apply when a pedestrian amenity space occupies some portion of the area of overlap and is being used as a pedestrian amenity allowance. See *Sec. 3C.2.4. (Pedestrian Amenity Allowance)*.



D. Measurement

1. The build-to depth is measured perpendicular to the frontage lot line starting from the minimum frontage lot line setback and continuing inward away from the frontage lot line.
2. Where a lot includes an easement that abuts the frontage lot line and the easement is deeper than the minimum frontage lot line setback, the applicant may choose to measure the required build-to depth from the interior edge of the easement rather than the lot line, in which case the applicant shall show the easement on any site plan.

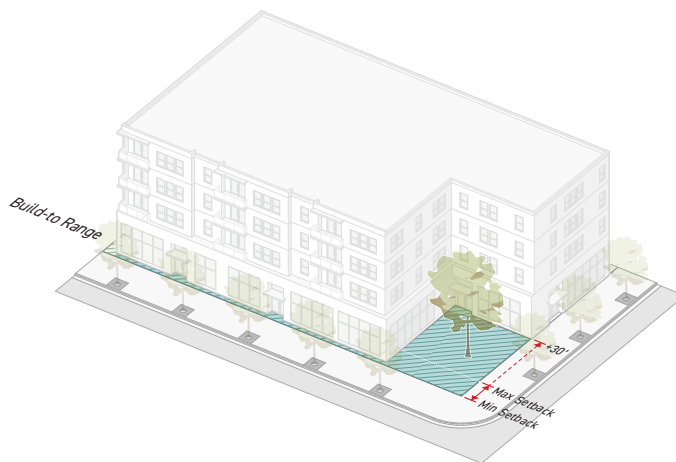


E. Exceptions

See Sec 3C.1.4. (Pedestrian Amenity Allowance).

F. Relief

1. To preserve existing trees, the Zoning Administrator may grant relief from the maximum build-to depth, increasing the build-to depth a maximum of 30 feet for the minimum width necessary to protect the tree, pursuant to *Section 13B.5.2. (Adjustment)*.



2. An increase in build-to depth of 20% may be requested in accordance with *Sec. 13B.5.2. (Adjustments)*.
3. A deviation from maximum build-to depth may be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*.

SEC. 3C.1.3. **BUILD-TO WIDTH**

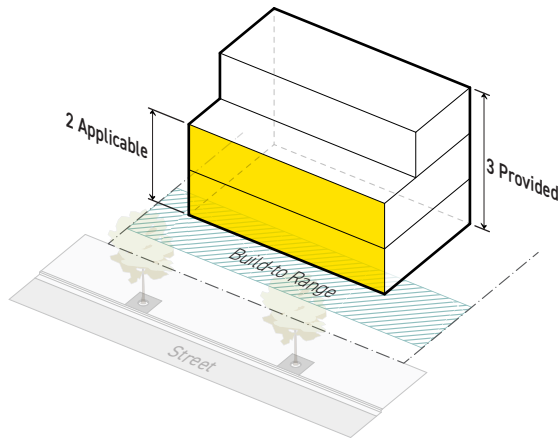
The minimum cumulative building width that shall occupy the build-to zone, relative to the width of the lot at the frontage lot line.

A. **Intent**

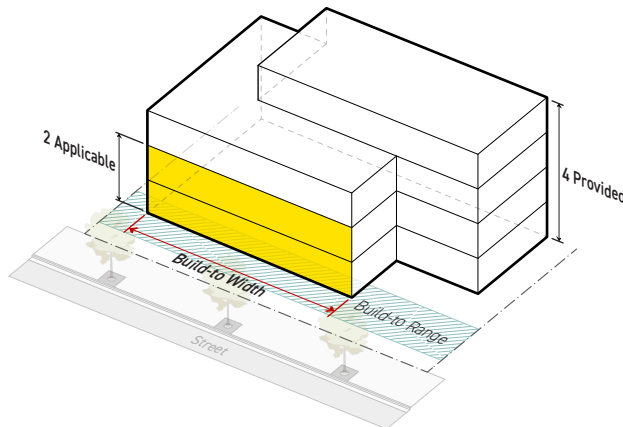
To ensure that buildings enclose the public realm with a legible and consistent street wall, spatially defining an outdoor room and promoting a strong visual and physical connection between uses inside buildings and the public realm.

B. **Applicability**

1. Build-to width standards apply to the following:
 - a. Where a minimum height is required in the applicable Form District, build-to width applies to all stories located above-grade up to the minimum height standard.



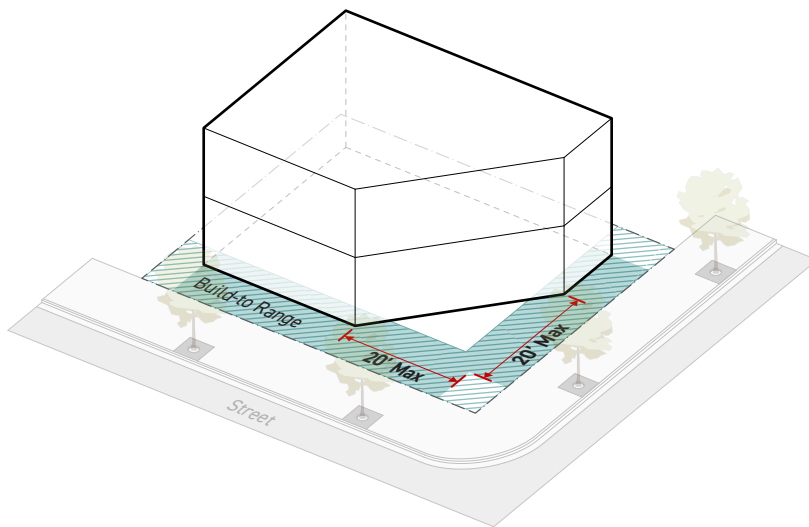
- b. Where an applicable stories standard exists, build-to width applies to all stories located above-grade up to the applicable stories.



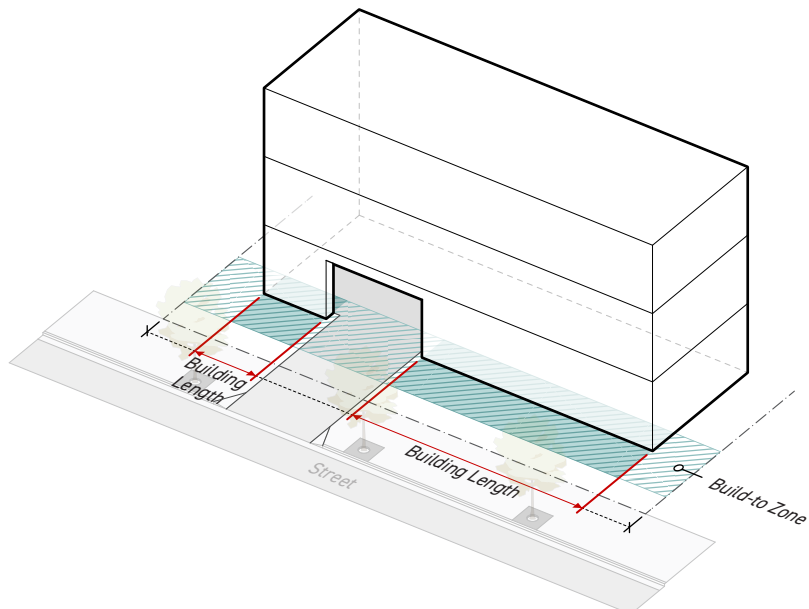
- c. Where both an applicable stories standard and a minimum height are specified, build-to width applies to whichever standard requires the greatest number of stories located in the build-to zone.
- d. Where no applicable stories standard is specified in the applicable Frontage District and no minimum height standard is required in the applicable Form District, build-to width applies only to the ground story.

C. Standards

1. A chamfered corner no more than 20 feet in width located on the ground story of a building and extending outside of the build-to zone qualifies as building width in the build-to zone. Chamfered corner width is measured parallel to the frontage lot line.

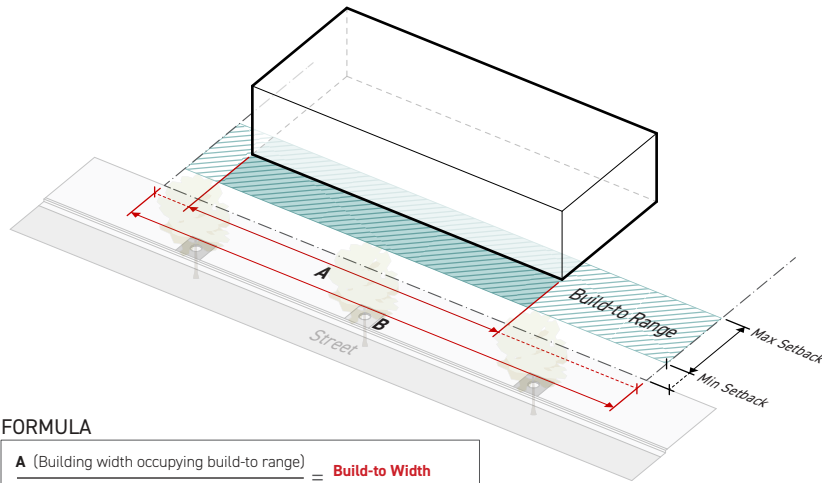


2. Portions of building width providing motor vehicle access to a motor vehicle use area through the ground story of a building do not qualify as building width in the build-to zone.



D. Measurement

The build-to width is a percentage measured as the sum of all applicable building widths occupying the build-to zone divided by the total lot width.



FORMULA

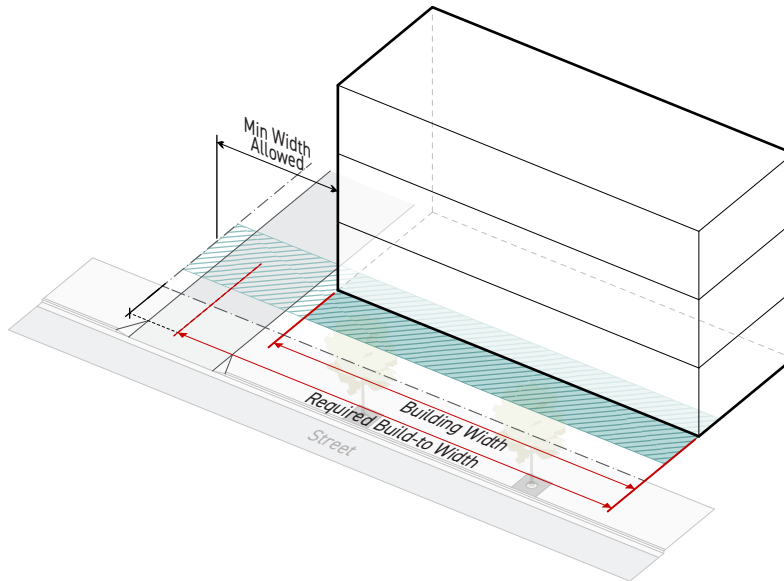
$$\frac{\text{A (Building width occupying build-to range)}}{\text{B (Total Lot Width)}} = \text{Build-to Width}$$

1. Building width is measured parallel to the frontage lot line. For measuring building width on a complex lot, see Sec. 14A.1.15. (Parallel or Perpendicular to Street).
2. Lot width is measured along the frontage lot line. For measuring width of a complex lot, see Sec. 14A.1.15. (Parallel or Perpendicular to Street).

E. Exceptions

1. Where allowed by the applicable Frontage District, pedestrian amenity spaces may substitute for a portion of the required build-to width according to Sec. 3C.1.4. (Pedestrian Amenity Allowance).

2. Where vehicle access is permitted to be taken through the frontage lot line based on the vehicle access package in *Sec. 4C.2.1. (Vehicle Access Package)* specified by the applicable Development Standards District and providing access prevents a building from achieving the required build-to width, a reduced build-to width may be allowed, provided the following:
 - a. The exempted portion of the build-to width is no wider than the minimum required drive aisle width plus an additional 4-feet of building width for clearance. See *Div. 4C.1. (Access)*.
 - b. The building conforms to the applicable build-to width standard to the greatest extent possible.



F. Relief

1. A reduced minimum build-to width of 10% or less may be requested in accordance with *Sec. 13B.5.2. (Adjustments)*.
2. A reduced minimum build-to width may be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*.

SEC. 3C.1.4. **PEDESTRIAN AMENITY ALLOWANCE**

The width of pedestrian amenity space in the build-to zone that is allowed to count toward the build-to width requirement.

A. **Intent**

To promote the creation of active, human-scale outdoor spaces as an extension of the sidewalk, providing, visual interest and vitality to the amenity space as well as the public realm. The pedestrian amenity allowance provides flexibility to building and site design while maintaining standards essential for ensuring all projects contribute to defining a consistent and legible street wall.

B. **Applicability**

Pedestrian amenity build-to modification standards apply to the following:

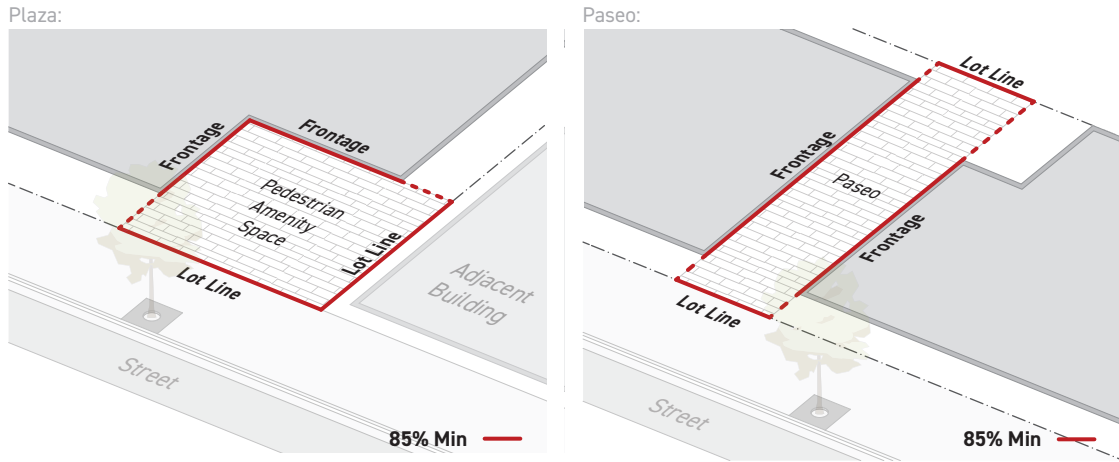
1. Portions of buildings or structures required to meet the build-to width standard in *Sec. 3C.1.3. (Build-To Width)*, including upper stories where applicable;
2. Pedestrian amenity space facing facades in *Sec. 14.1.14 (Pedestrian Amenity Space Facing Facades)*; and
3. Portions of the lot between front building facade and the frontage lot line for the width of the pedestrian amenity allowance provided.

C. **Standards**

Where allowed, pedestrian amenity spaces may substitute for the required build-to width for the maximum percentage of the lot width allowed by the applicable Frontage District provided they meet the following standards:

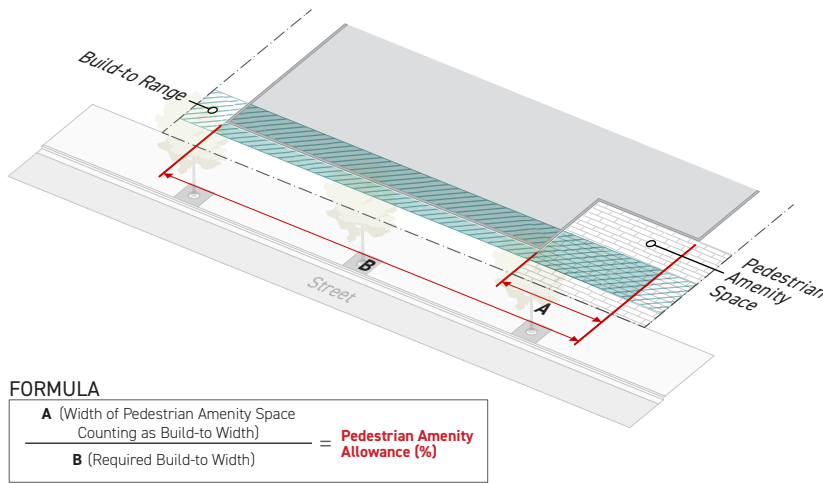
1. Meets the standards of *Sec. 2C.3.3.C. (Pedestrian Amenity Space)*.
2. Pedestrian amenity spaces may be wider than the maximum allowed pedestrian amenity allowance, however, any part of the pedestrian amenity space width that exceeds the allowed pedestrian amenity allowance does not count toward the required building width in the build-to zone.

3. A minimum of 85% of the pedestrian amenity space perimeter shall abut either a lot line or building facades meeting the applicable Frontage District standards.



D. Measurement

Pedestrian amenity allowance is measured as the cumulative width of pedestrian amenity spaces occupying the build-to zone provided as a substitute for required building width in the build-to zone, divided by the required build-to width.



1. Pedestrian amenity space width is measured parallel to the frontage lot line. For measuring width of a complex pedestrian amenity space, see Sec. 14A.1.15. (*Parallel or Perpendicular to Street*).
2. For measuring the required build-to width, see Sec. 3C.2.3. (*Build-To Width*).

E. Relief

1. A deviation from any pedestrian amenity allowance dimensional standard of 10% or less may be requested in accordance with Sec. 13B.5.2. (*Adjustments*).
2. A reduced minimum build-to width may be requested as a variance in accordance with Sec. 13B.5.3. (*Variance*).

DIV. 3C.2. **PARKING**

SEC. 3C.2.1. **FRONTAGE SETBACK**

An area on a lot where motor vehicle use areas are prohibited, including primary street parking setbacks, side street parking setbacks and special lot line parking setbacks.

A. **Intent**

To minimize the impact of motor vehicle dominated areas on the public realm and to promote a comfortable, safe, engaging and attractive streetscape with active uses and landscaping along the public realm.

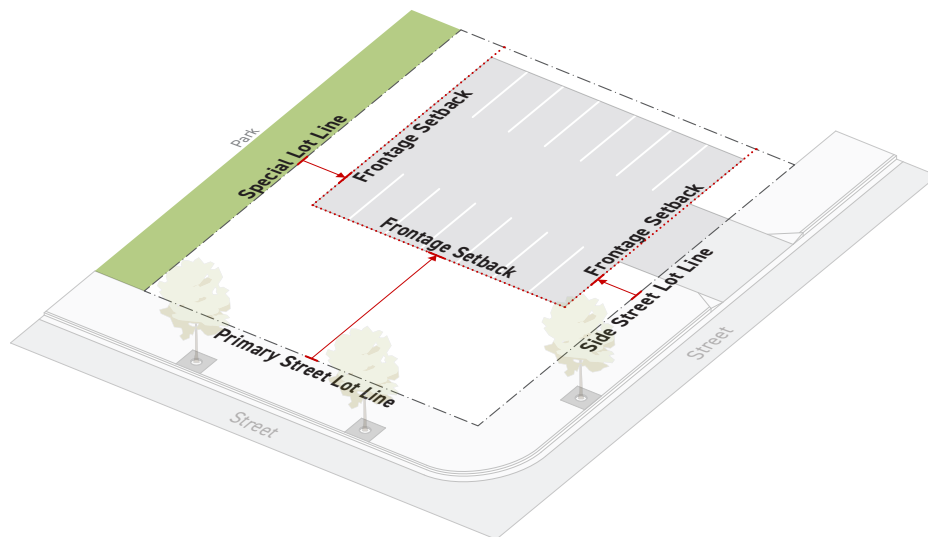
B. **Applicability**

Frontage setback requirements apply to the ground story portions of structures and portions of lots designed or designated for motor vehicle uses; including but not limited to parking structures, parking stalls, drive lanes, loading, vehicular circulation areas, and drive-thru facilities.

C. **Standards**

All applicable areas designated for motor vehicle use shall be located at or behind the required parking setback unless specifically stated as an exception below.

D. **Measurement**



All frontage setbacks are measured perpendicular to the frontage lot line.

1. A primary street frontage setback is measured from the primary street lot line.
2. A side street frontage setback is measured from the side street lot line.
3. An alley frontage setback is measured from the alley lot line associated with a dual frontage.

4. A special frontage setback is measured from the lot line associated with a special lot line in a Dual Frontage or Character Frontage. Special lot lines include but are not limited to "River", "Park" and "Alley."

E. **Exceptions**

A driveway providing access through a frontage setback may be allowed provided the following:

1. Motor vehicle access to the lot is required by DOT to be taken from the primary or side street.
2. The driveway is no wider than the minimum required width. See *Div. 4C.1. (Access)*.

F. **Relief**

1. A reduction in required frontage setback of 20% or less may be requested in accordance with *Sec. 13B.5.2. (Adjustments)*.
2. A reduction in required frontage setback may be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*.

DIV. 3C.3. **LANDSCAPING**

SEC. 3C.3.1. **PLANTING AREA**

The area on a lot designated and designed for plants.

A. **Intent**

To support a comfortable, attractive and contextually appropriate streetscape along the public realm, while promoting infiltration, slowing stormwater runoff and offsetting urban heat island effect.

B. **Applicability**

1. Planting area standards apply to frontage yards see *Sec. 14.1.1.21. (Yard Designation)*.
2. Where there is less than 3 feet between the building and the frontage lot line, planting area standards are not applicable.

C. **Standards**

1. Each Frontage yard shall provide a cumulative area of no less than the planting area required by *Part 3B. (Frontage District)*.
2. All required planting area shall meet *Sec. 4C.6.4.C.2. (Planting Area)*.

D. **Measurement**

1. Planting area is measured as a percentage calculated as the cumulative planting area located in a frontage yard or the abutting parkway divided by the total frontage yard area.
2. For frontage yard designation see *Sec. 14A.1.21. (Yard Designation)*.

E. **Relief**

1. Planting area standards may be met through alternative compliance in accordance with *Sec. 13B.5.1. (Alternative Compliance)*.
2. A reduction in required planting area of 20% or less may be requested in accordance with *Sec. 13B.5.2. (Adjustments)*.
3. A reduction in required planting area may be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*.

SEC. 3C.3.2. **FRONTAGE YARD FENCE & WALL TYPE**

Fences, walls and hedges allowed in a frontage yard.

A. **Intent**

To provide visual interest along the public realm and ensure compatibility with the surrounding context by restricting the barriers between the public realm and the interior of a building.

B. **Applicability**

Allowed frontage yard fence and wall type standards apply to structures and hedges located in a frontage yard.

C. **Standards**

1. Allowed frontage yard fence and wall types are hierarchical. Where a frontage yard fence and wall type with a higher number designator is allowed, all frontage yard fence and wall types having a lower number designator are also allowed.
2. No frontage yard fence and wall type with a greater number designator than the maximum allowed frontage yard fence and wall type may be located in the frontage yard.
3. For frontage yard fence and wall type standards specific to each frontage yard fence and wall type see *Sec. 4C.7.1.C.2. (Fence and Wall Types)*.

D. **Measurement**

1. For the measurement of fences and walls in the frontage yard, see *Sec. 4C.7.1.D. (Measurement)*.
2. For the designation of the frontage yard, see *Sec. 14.1.1.21. (Yard Designation)*.

E. **Exceptions**

Where required by the California Department of Alcohol and Beverage Control, a barrier of up to 45 inches in height is allowed regardless of the allowed frontage yard fence and wall type listed in a Frontage District.

F. **Relief**

1. A deviation from any allowed frontage yard fence and wall type dimensional standard of 15% or less may be requested in accordance with *Sec. 13B.5.2. (Adjustments)*.
2. A deviation from any allowed frontage yard fence and wall type standard may be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*.

DIV. 3C.4. **TRANSPARENCY**

SEC. 3C.4.1. **TRANSPARENT AREA**

The amount of transparent area on a building facade.

A. **Intent**

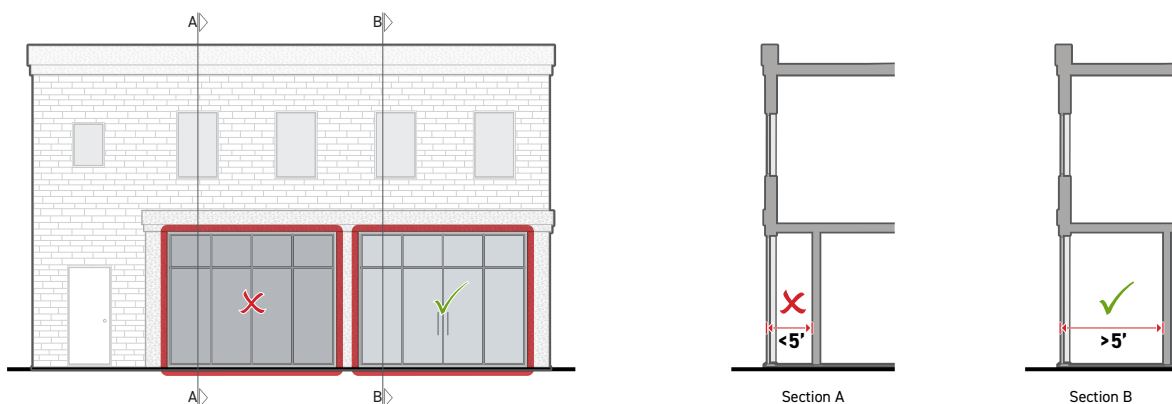
To provide visual interest along the public realm by encouraging visual connections between the public realm and the interior of a building.

B. **Applicability**

1. Transparency standards apply to all portions of a building or structure where frontage standards apply. See Sec. 3A.1.2.B. (*Applicable Components of Lots, Buildings, and Structures*).
2. Parking structure facades are not applicable except where required to be wrapped by the applicable Development Standards District.

C. **Standards**

1. Each applicable facade shall provide no less than the minimum transparency listed in a Frontage District.
2. Window and door openings meeting the following requirements count toward transparent area:
 - a. Interior walls, furniture and other interior visual obstructions shall not be located within 5 feet of any facade area counting toward transparent area. Distance from transparent area is measured perpendicular to the exterior face of the transparent area. Visual obstructions may be located five feet or greater from facade area counting toward transparent area.



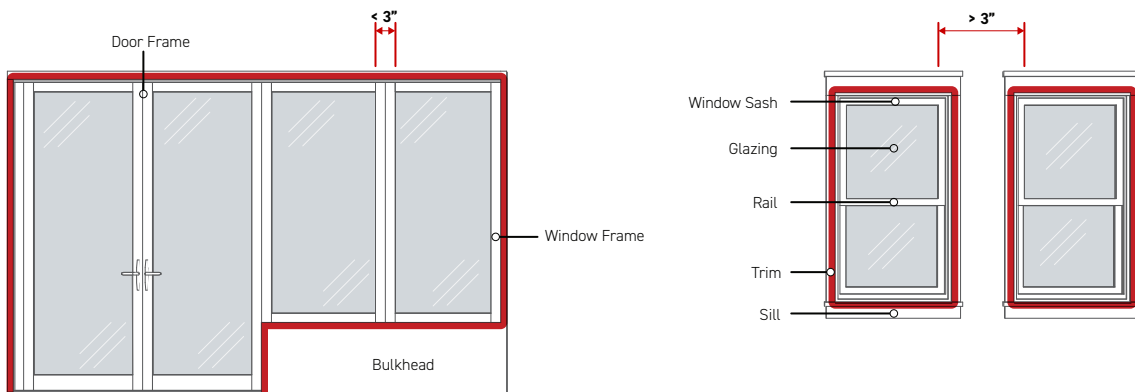
- b. The following visual obstructions may be located less than 5 feet from facade area counting toward transparent area:
 - i. Windows obscured by interior security gates and window displays may count toward transparent area provided a maximum of 25% of window area is visually obstructed for any individual window counting toward transparent area. For measuring visual obstruction, see *Sec 14.1.14. (Opacity)*.



- ii. Transparent area covered by window signs may count toward transparent area provided they are permitted by Development Standard District.
 - iii. Areas of transparency may be made temporarily opaque by window treatments such as operable sunscreen devices within the conditioned space during peak hours when the sun hits the applicable facade.
- c. To be considered transparent, window and door glazing shall meet the following requirements:

TRANSPARENT AREA STANDARDS		
	Visible Light Transmittance	External Reflectance
Ground story	More than 60%	Less than 20%
Upper stories	More than 30%	Less than 40%

- d. In addition to glazing, muntins, mullions, window sashes, window frames and door frames no more than 3 inches wide may be considered transparent area when integral to a window or door assembly with glazing meeting the requirements above.



D. Measurement

1. Ground Story

- a. Ground story transparency is measured as a percentage, calculated as the sum of all ground story facade area meeting the standards for transparent area divided by the total ground story facade area.
- b. For the purpose of calculating ground story transparency, ground story facade area is measured in the following ways:
 - i. Ground story facade area is measured as the above-grade facade area between 0 and 12 feet above the top of the finished floor of the ground story.

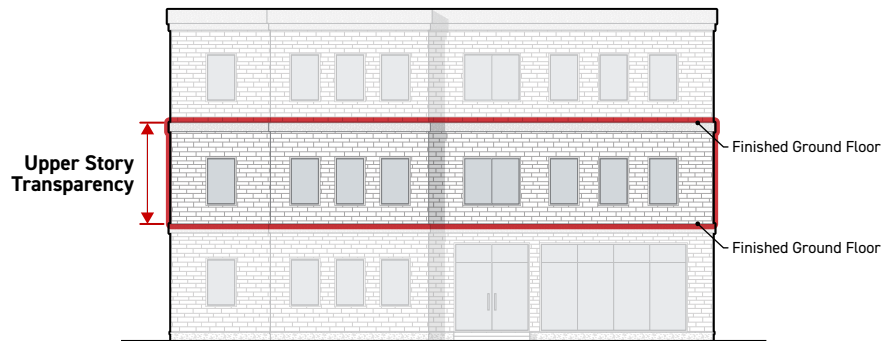


- ii. If the ground story height is less than 12 feet, the ground story facade area is measured as the total above-grade portion of a facade between the top of the finished floor of the ground story and the top of the finished floor above. When there is no story above, ground story height is measured to the top of the wall plate.
- iii. No portion of a ground story located below finished grade is included in ground story facade area.



2. Upper Stories

- a. Each upper story facade shall meet the required transparency standard independently.
- b. Upper story transparency is measured as a percentage, calculated as the sum of all facade area meeting the standards for transparency divided by the total applicable facade area.
- c. For the purpose of calculating upper story transparency, upper story facade area is measured the portion of a facade area between from the top of the finished floor for that story to the top of the finished floor above. When there is no story above, it is measured to the top of the wall plate.



E. Relief

1. A deviation from required transparency of 10% or less may be requested in accordance with *Sec. 13B.5.2. (Adjustments)*.
2. A deviation from required transparency standards may be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*.

SEC. 3C.4.2. **ACTIVE WALL SPACING**

The maximum ground story facade and foundation wall width between any windows or door openings.

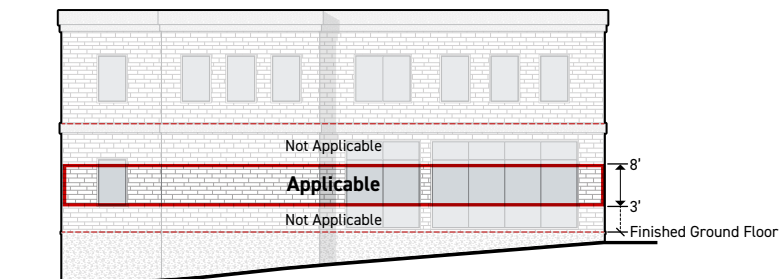
A. **Intent**

To provide visual interest along the public realm by limiting the area without visual or physical connections between the public realm and the interior of a building.

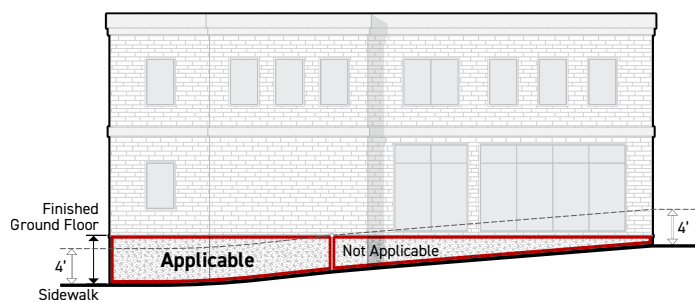
B. **Applicability**

Active wall spacing standards apply to the following portions of a building or structure:

1. Portions of ground story facades that meet all of the following conditions:
 - a. Are required to meet frontage standards. See *Sec. 3A.1.2.B. (Applicable Components of Lots, Buildings, and Structures)*.
 - b. Portions located between 3 feet and 8 feet from the finished ground floor elevation measured vertically.



2. All portions of foundation walls that are required to meet frontage standards in *Sec. 3A.1.2.B. (Applicable Components of Lots, Buildings, and Structures)* and are exposed 4 feet in height or greater above sidewalk grade are applicable. If foundation walls are set back more than 10 feet from a sidewalk, exposed height is measured from the lowest elevation of finished grade within 5 feet, measured from and perpendicular to the foundation wall.



3. Active wall spacing standards do not apply to upper story facades.
4. Active wall spacing standards do not apply to parking structure facades except for wrapped parking structures.

C. Standards

1. Active Wall Spacing on Ground Story Facade

Window and door openings meeting *Sec. 3C.4.1. (Transparent Area)* on ground story facades shall be separated a distance no greater than the maximum active wall spacing unless an inactive ground story wall treatment is applied. See *Sec. 3C.4.2.E.2. (Ground Story Inactive Wall Treatment Options)*.

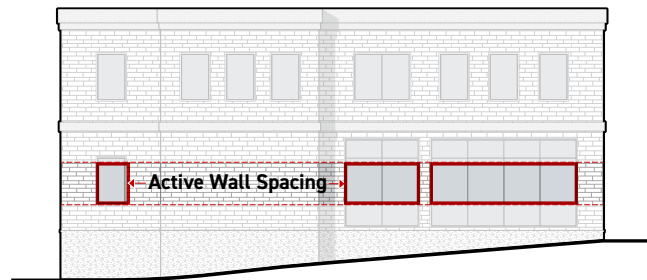
2. Active Wall Spacing on Foundation Wall

Applicable portions of foundation walls shall be no wider than the maximum active wall spacing unless treated with an inactive foundation wall treatment. See *Sec. 3C.4.2.E.3. (Ground Story Inactive Wall Treatment Options)*.

D. Measurement

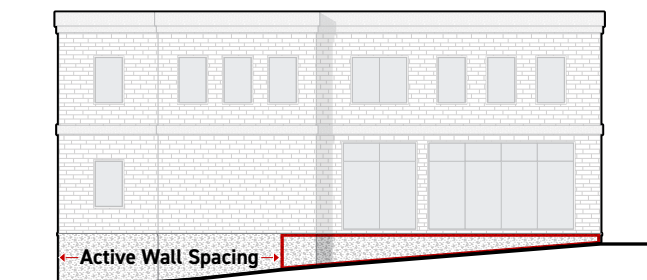
1. Active Wall Spacing on Ground Story Facade

Active wall spacing is measured horizontally and parallel to the frontage lot line from edge of transparent area to edge of transparent area and edge of transparent area to edge of ground floor facade.



2. Active Wall Spacing on Foundation Wall

Active wall spacing is measured horizontally for any individual width of applicable foundation wall that does not include transparent area. See *Sec. 3C.5.1. (General)*.



E. Exceptions

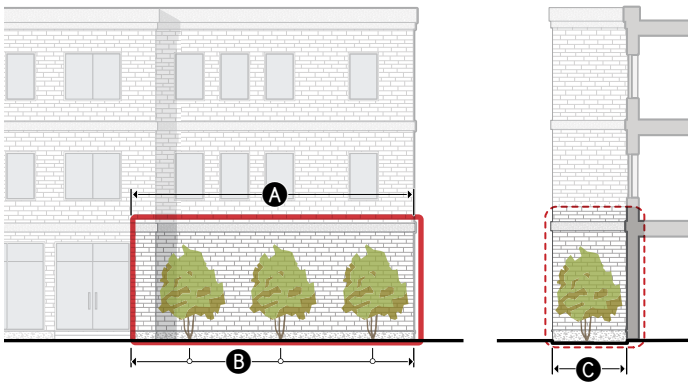
1. General

- a. Ground story facades that exceed the maximum allowed active wall spacing may apply one or more ground story inactive wall treatment options to the facade area between active walls and increase the active wall spacing by 50%. See *Sec.3C.4.2.E.2. (Ground Story Inactive Wall Treatment Options)*.
- b. Facades designed with foundation walls that exceed the maximum allowed active wall spacing may apply one or more inactive foundation wall treatments to the facade area between active foundation walls and double the allowed active wall spacing. See *Sec.3C.4.2.E.3. (Foundation Inactive Wall Treatment Options)*.
- c. All required plants shall meet the requirements in the following tables and also comply with *Div. 4C.6. (Plants)*.

2. Ground Story Inactive Wall Treatment Options

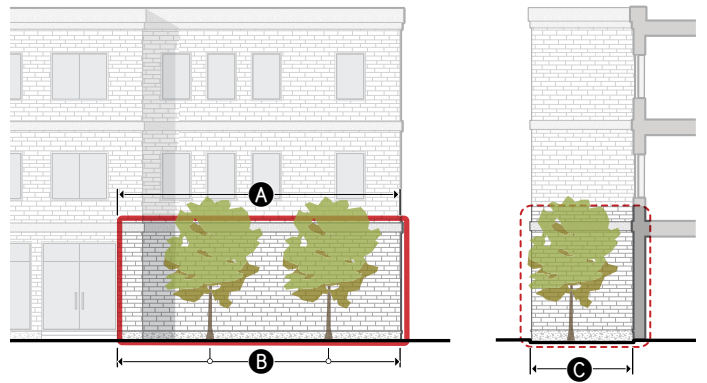
a. Small Trees

Small trees planted between the inactive wall and the public realm.



b. Large Trees

Large trees planted between the inactive wall and the public realm.



DIMENSIONAL STANDARDS

A Treatment width (min portion of inactive wall)	100%
Tree type	Small species
B Planting frequency (min avg.)	5 per 100'
C Planting area depth (min)	7'

*See Div. 4C.6. (Plants) for additional standards

DIMENSIONAL STANDARDS

A Treatment width (min portion of inactive wall)	100%
Tree type	Large species
B Planting frequency (min avg.)	3 per 100'
C Planting area depth (min)	15'

*See Div. 4C.6. (Plants) for additional standards

c. Living Wall

A permanently fixed assembly located between the inactive wall and the public realm that supports plants, their growing medium and irrigation.

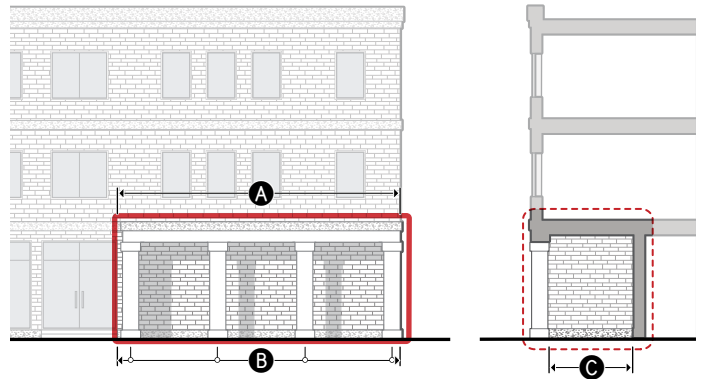


DIMENSIONAL STANDARDS	
A Treatment area (min % of ground story facade with inactive walls)	75%
Planting area depth (min)	n/a

*See Div. 4C.6. (Plants) for additional standards

d. Colonnade

A sequence of columns located between the inactive wall and the public realm, providing an exterior occupiable space along the inactive wall.



DIMENSIONAL STANDARDS	
A Treatment width (min portion of inactive wall)	100%
B Column frequency (min avg.)	1 per 20'
C Clear depth (min)	6'
Enclosure (max)	60%

3. Foundation Inactive Wall Treatment Options

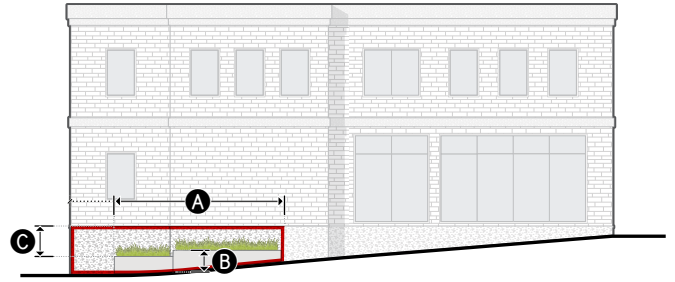
a. Foundation Planting

Large shrubs planted along the inactive foundation wall.



b. Planter

Permanent structure containing plants and their growing medium.



DIMENSIONAL STANDARDS	
A Treatment width (min portion of inactive wall)	75%
Plant type	Screening Plant
Planting frequency (min avg.)	3 per 10'
Planting area depth (min)	3'

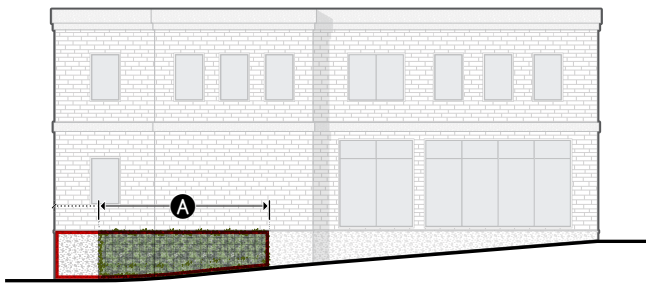
*See Div. 4C.6. (Plants) for additional standards

DIMENSIONAL STANDARDS	
A Treatment width (min)	75%
Plant coverage (min)	75%
Planting area depth (min)	2.5'
B Height above sidewalk (max)	4'
C Foundation wall reveal (max)	2'

*See Div. 4C.6. (Plants) for additional standards

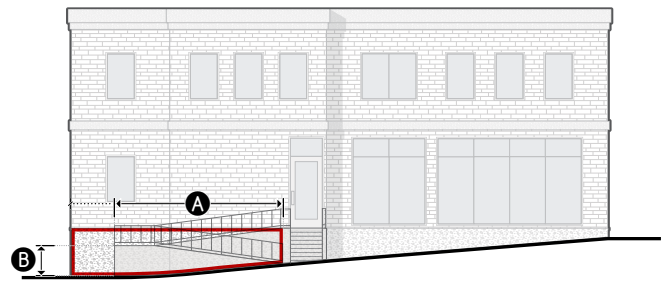
c. Green wall

A structure permanently attached to the inactive foundation wall supporting climbing plants.



d. Pedestrian Access

Stairs or ramps providing pedestrian access to a street-facing entrance.



DIMENSIONAL STANDARDS

A Treatment area (min)	75%
Planting area depth (min)	1.5'

*See Div. 4C.6. (Plants) for additional standards

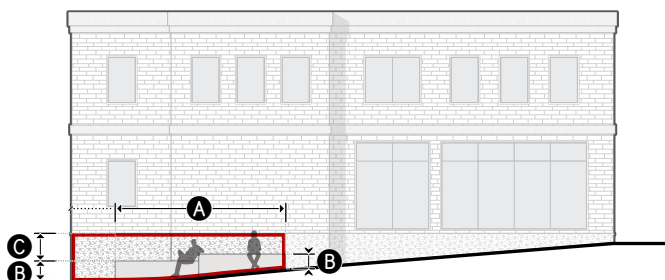
DIMENSIONAL STANDARDS

A Treatment width (min)	75%
B Height above sidewalk (max)	4'
Additional access standards	See Div. 4C.1.

*See Div. 4C.1. (Access) for additional standards

e. Seating

A permanent structure designed and intended for public seating.



DIMENSIONAL STANDARDS	
A Treatment width (min)	75%
B Height above sidewalk (min/max)	1.5'/3'
C Foundation wall reveal (max)	3'
Seat depth (min)	2'

4. **Inactive Wall Treatment Measurement**

a. **Treatment width**

Minimum treatment width is measured as a percentage, calculated as the cumulative width of inactive wall treatments applied to an inactive wall divided by the total width of the inactive wall.

b. **Treatment Area**

Minimum treatment area is measured as a percentage, calculated as the cumulative area of inactive wall treatments applied to an inactive wall divided by the total area of the inactive wall.

c. **Tree type**

Tree type is measured as small species or large species according to *Sec. 4C.6.4.C.3.a.i. (Tree Types)*.

d. **Plant type**

Plant type is measured as screening plants, groundcover and turf plants, hedges, living walls or climbing plants according to *Sec. 4C.6.4. (Plant Design & Installation)*.

e. **Plant Coverage**

Minimum plant coverage is measured according to *Sec. 4C.6.4.D.2. (Plant Coverage)*.

f. **Planting Frequency**

Planting frequency is measured as a ratio of the minimum number of plants required over a specified width of treated inactive wall. A minimum of one plant of the required plant type shall be provided regardless of the width of inactive wall treatment.

g. **Column Frequency**

Minimum column frequency is measured as a ratio of the minimum number of columns required over a specified width of treated inactive wall treatment. A minimum of two columns shall be provided regardless of the inactive wall treatment width.

h. **Planting Area Depth**

Minimum planting area depth is measured as the horizontal dimension of growing medium at the narrowest point, measured perpendicular to the applicable street lot line. The planting area shall be open to the sky for at least the required planting area depth.

i. **Clear Depth**

Minimum clear depth is measured as the horizontal dimension of the occupiable portion of an architectural element at the narrowest point.

j. **Height Above Sidewalk**

- i. Height above sidewalk is measured vertically from adjacent sidewalk grade to the topmost point of the inactive wall treatment along the entire treated portion of an inactive foundation wall.
- ii. For foundation walls located more than 10 feet from a sidewalk, maximum height above sidewalk is measured from the lowest elevation of finished grade within 5 feet, measured from and perpendicular to the foundation wall, to the topmost point of the inactive wall treatment along the entire treated portion of an inactive foundation wall.

k. **Foundation Wall Reveal**

Foundation wall reveal is measured vertically from the top of an inactive wall treatment to the finished ground floor elevation along the entire treated portion of an inactive foundation wall.

l. **Seat Depth**

Minimum seat depth is measured as the narrowest horizontal dimension of the area designed for public seating.

m. **Enclosure**

Maximum enclosure is measured according to *Sec. 14.1.4. (Enclosure)*.

F. **Relief**

1. Deviation from inactive wall treatment standards may be requested in accordance with *Sec. 13B.5.1. (Alternative Compliance)*.
2. An increase in allowed active wall spacing of 20% or less may be requested in accordance with *Sec. 13B.5.2. (Adjustments)*.
3. An increase in allowed active wall spacing and inactive wall treatment standards may be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*.

DIV. 3C.5. **ENTRANCES**

SEC. 3C.5.1. **STREET-FACING ENTRANCE**

A door providing access and from the public realm to the interior of a building.

A. **Intent**

To provide visual interest along the public realm, orient buildings to the public realm and promote greater use and activation of the public sidewalk by limiting the width of frontage without physical connections between the public realm and the interior of a building.

B. **Applicability**

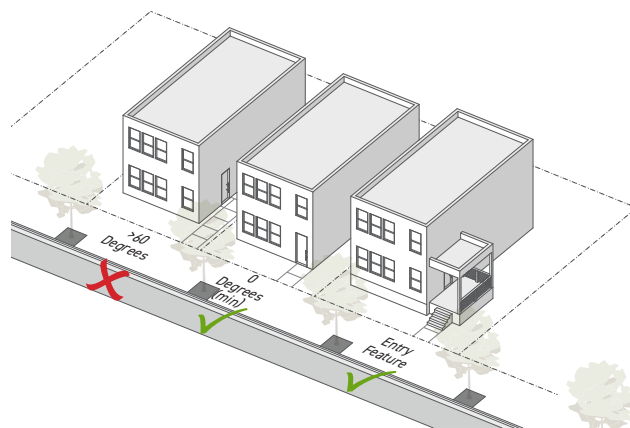
Street-facing entrance standards apply to all portions of buildings and structures where frontage standards apply. See *Sec. 3A.1.2.B. (Applicable Components of Lots, Buildings, and Structures)*.

C. **Standards**

1. **General**

To qualify as a street-facing entrance, building entrances shall meet the following standards:

- a. Located on the ground story facade.
- b. Provide both ingress and egress pedestrian access to the ground story of the building.
- c. Remain operable at all times. Access may be controlled and limited to residents, or tenants.
- d. Shall not provide access directly to motor vehicle use areas, utility areas or fire stairs.
- e. Angled between 0 to 60 degrees, measured parallel to the frontage lot line.



- f. On a corner lot, an entrance located adjacent to the street intersection and angled between 30 to 60 degrees, measured parallel to each street lot lines, may be used to meet the requirement for a street-facing entrance along both street frontages.



- g. Non-required entrances are allowed in addition to required entrances.

2. Entrance Spacing

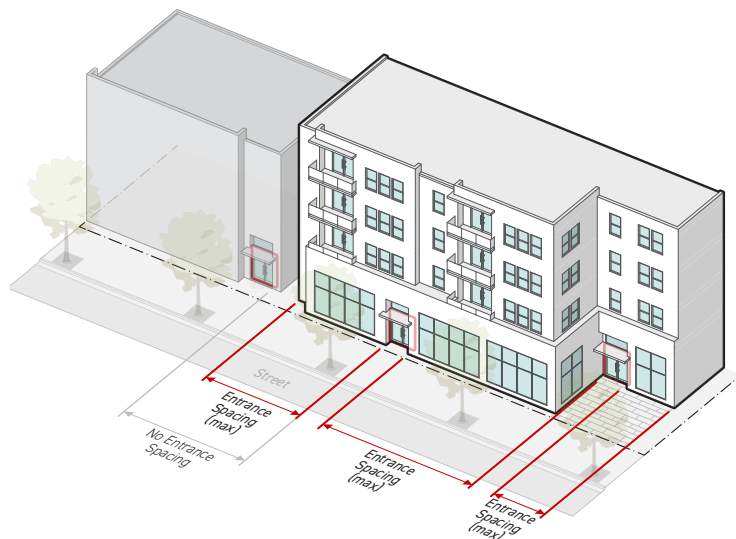
The distance between required street-facing entrances.

a. Measurement

Maximum entrance spacing is the greatest horizontal distance from edge of door to edge of door and edge of door to edge of building, measured parallel to the frontage lot line.

b. Standards

- i. Street-facing entrances shall not be separated by a distance greater than the maximum allowed entrance spacing.
- ii. The maximum entrance spacing requirements shall be met for each building, but are not applicable to adjacent or abutting buildings.



D. **Measurement**

Street-facing entrance is measured as provided or not provided based on the presence of entrances meeting *Sec.3C.5.1.C. (Standards)*.

E. **Exceptions**

Entrances that do not face a frontage lot line may count as a street-facing entrance provided they are directly accessed from a street-facing entry feature meeting the standards of *Sec. 3C.5.2. (Entry Feature)*.

F. **Relief**

1. Deviation from street facing entrance standards may be requested in accordance with *Sec. 13B.5.1. (Alternative Compliance)*.
2. An increase in entrance spacing of 20% or less may be requested in accordance with *Sec. 13B.5.2. (Adjustments)*.
3. Deviation from street-facing entrance and entrance spacing standards may be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*.

SEC. 3C.5.2. **ENTRY FEATURE**

Improved design standards applied to each entrance along the public realm.

A. **Intent**

To provide architectural embellishment of entrances to promote inconspicuous wayfinding in the public realm, provide greater shelter and comfort to users, promote visual interest along the public realm and highlight the connection between the public and private realm to improve walkability.

B. **Applicability**

Entry feature standards apply to all required street-facing entrances where entry features are required by Frontage District.

C. **Standards**

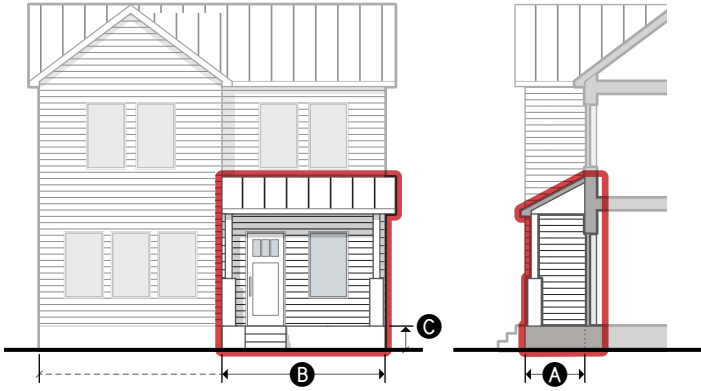
1. **General**

- a. Each required street-facing entrance shall include an entry feature meeting the standards for one of the entry features options allowed by Frontage District.
- b. Required entry features shall abut and provide direct access to a street-facing entrance.
- c. Required entry features shall be directly accessible from the public realm associated with the frontage lot line.
- d. For street setback encroachment regulations, see *Sec. 2C.2.2.E. (Exceptions)*.
- e. For encroachments into the public right-of-way, see *LAMC Ch. IX, Art. 1, Div. 32 (Encroachments into the Public Right-of-Way)*.

2. Entry Feature Options

a. Porch

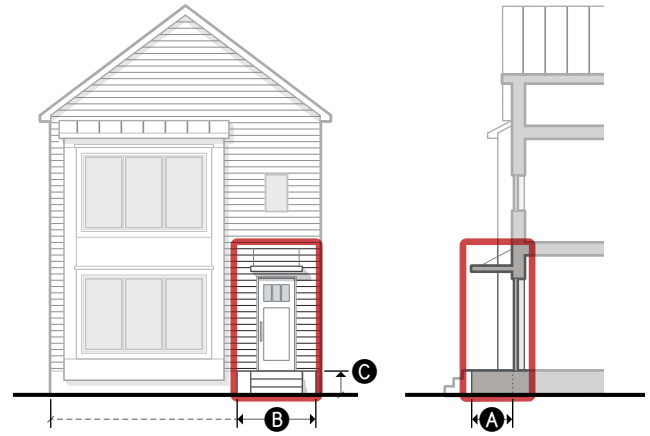
A wide, raised platform, projecting in front of a street-facing entrance, that is entirely covered but not enclosed.



DIMENSIONAL STANDARDS		Sec. 3.C.5.2.D
Ⓐ Depth (min)		4.5'
Ⓑ Width (min)		30%
Covered entrance		n/a
Covered area (min)		100%
Ⓓ Finished floor elevation (min/max)		2'/5'
Transparency (min)		n/a
Enclosure (max)		50%

b. Raised Entry

A raised platform accessed from an exterior staircase, providing covered access to a street-facing entrance.



DIMENSIONAL STANDARDS		Sec. 3.C.5.2.D
Ⓐ Depth (min)		3'
Ⓑ Width (min)		4'
Covered entrance		Required
Covered area (min)		n/a
Ⓓ Finished floor elevation (min/max)		2'/5'
Transparency (min)		n/a
Enclosure (max)		50%

c. Forecourt

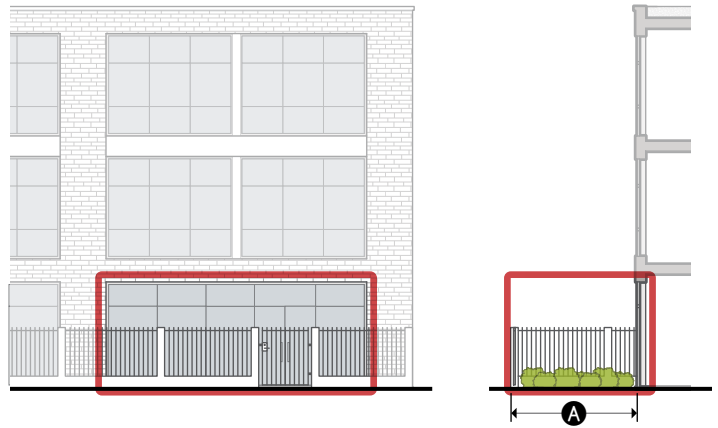
A yard screened with a short wall, fence or hedge that provides significant privacy for ground story tenants located near sidewalk grade.



DIMENSIONAL STANDARDS		Sec. 3.C.5.2.D
A	Depth (min)	8'
B	Width (min)	10'
	Covered entrance	Required
	Covered area (min)	n/a
C	Finished floor elevation (min/max)	-2'/5'
	Transparency (min)	n/a
	Fence or wall height (min/max)	2.5'/4'

d. River Yard

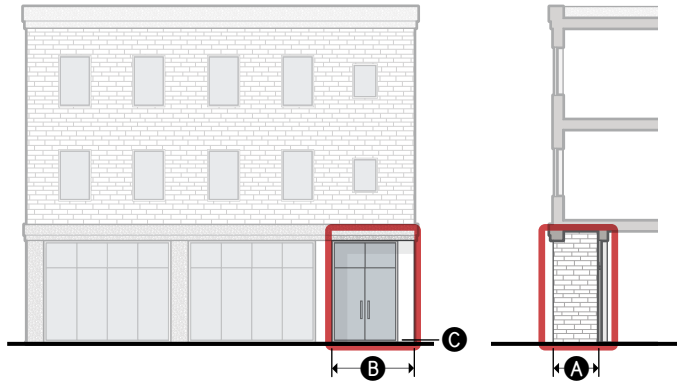
A yard located between a building and a river trail with direct pedestrian access from inside the building to the river trail.



DIMENSIONAL STANDARDS		Sec. 3.C.5.2.D
A	Depth (min)	15'
	Width (min)	15'
B	Covered entrance	Not required
	Covered area (min)	n/a
	Finished floor elevation (min/max)	n/a
	Transparency (min)	n/a
	Fence or wall height (max)	6'

e. Recessed Entry

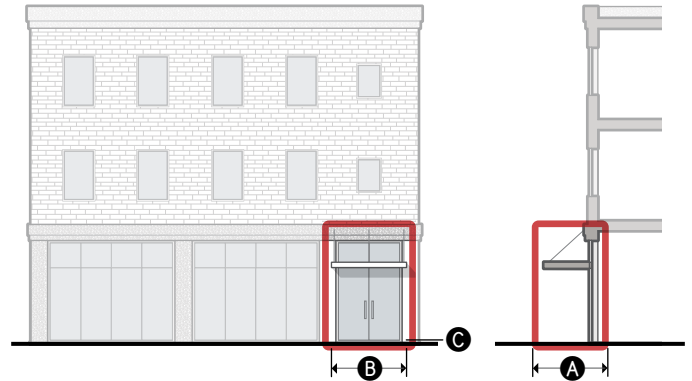
A space set behind the primary facade plane providing sheltered access to a street-facing entrance.



DIMENSIONAL STANDARDS		Sec. 3.C.5.2.D
Ⓐ	Depth (min/max)	3'/15'
Ⓑ	Width (min)	5'
	Covered entrance	Required
	Covered area (min)	100%
Ⓒ	Finished floor elevation (min/max)	-2'/5'
	Transparency (min)	n/a
	Enclosure (max)	75%

f. Covered Entry

A space that provides sheltered access to an at-grade street-facing entrance with an overhead projecting structure.

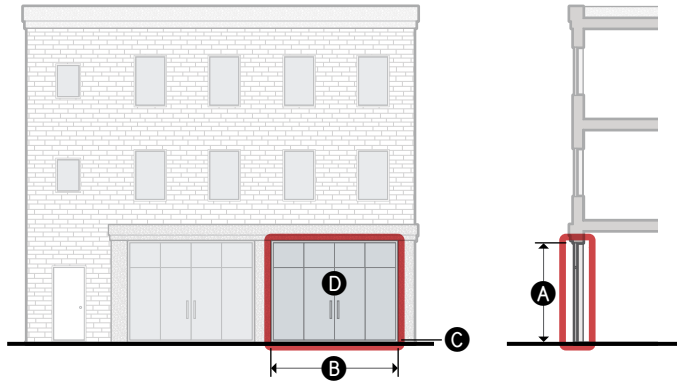


DIMENSIONAL STANDARDS		Sec. 3.C.5.2.D
	Depth (min)	n/a
	Width (min)	n/a
	Covered entrance	Required
	Covered area (min)	n/a
Ⓒ	Finished floor elevation (min/max)	-2'/2'
	Transparency (min)	n/a
	Enclosure (max)	50%

*For encroachments into the public right-of-way, see LAMC Ch. IX, Art. 1, Div. 32 (Encroachments into the Public Right-of-Way).

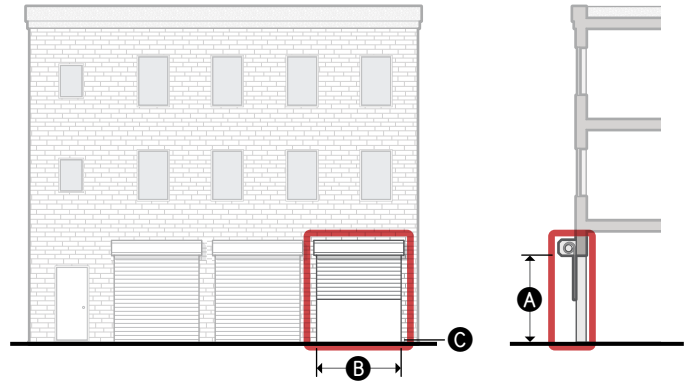
g. Storefront Bay

A facade area with a high level of contiguous transparency accentuating an at-grade street-facing entrance.



h. Market Stall

A facade area equipped with an overhead door or operable facade that is open to the public realm during hours of operation.



DIMENSIONAL STANDARDS		Sec. 3.C.5.2.D
A	Height (min)	9'
B	Width (min)	8'
	Covered entrance	Not required
	Covered area (min)	n/a
C	Finished floor elevation (min/max)	-2'/2'
D	Transparency (min)	90%
	Fence or wall height (max)	0'

DIMENSIONAL STANDARDS		Sec. 3.C.5.2.D
A	Height (min)	7'
B	Width (min)	6'
	Covered entrance	Not required
	Covered area (min)	n/a
C	Finished floor elevation (min/max)	-2'/5'
C	Transparency (min)*	n/a
	Fence or wall height (max)	0'

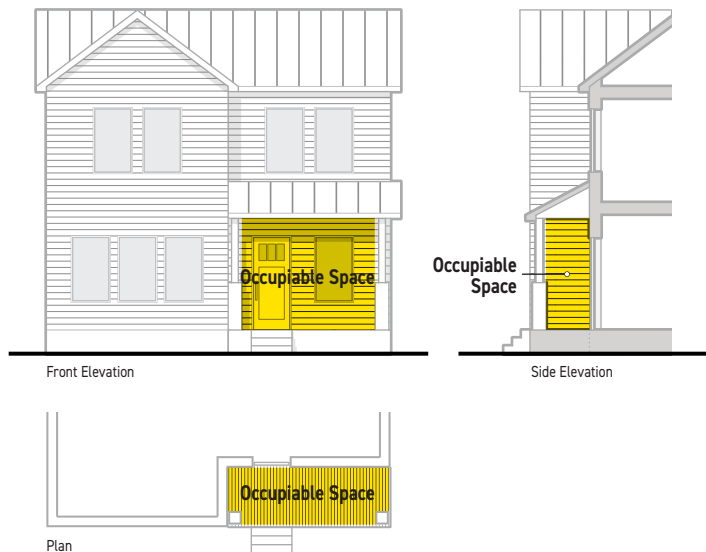
* A fence or wall a maximum of 42" in height is allowed only where required by the California Department of Alcohol and Beverage Control.

*A market stall does not count toward transparency unless it meets the standards for transparency area when shut.

D. Measurement

1. General

- a. Entry feature is measured as provided or not provided for each required street-facing entrance based on whether the design of a street-facing entrance meets the standards of an allowed entry feature for the applicable Frontage District.
- b. Entry feature standards are measured for the occupiable portion of an entry feature. Stairs and ramps used to access the entry feature are not considered occupiable space for the purpose of meeting entry feature standards.



2. Depth

Minimum depth is measured as the horizontal dimension at the narrowest point of an entry feature, measured perpendicular to the applicable street lot line.

3. Width

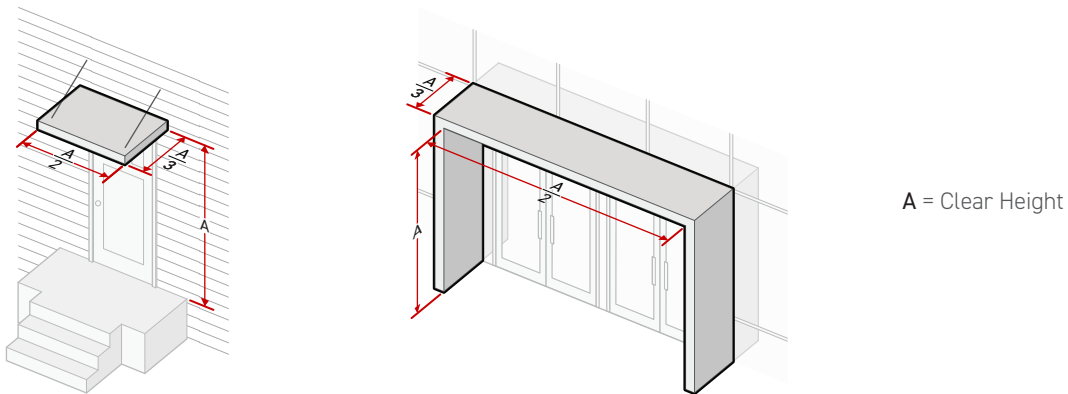
- a. When specified in feet, width is measured as the total width of an entry feature or portion of a facade meeting the applicable entry feature standards, measured parallel to the applicable street lot line.
- b. When specified as a percentage, width is measured as the total width of the entry feature divided by the total width of the building that the entry provides access to, measured parallel to the applicable street lot line. For measuring facade width, see Sec. 2C.6.2. (*Facade Width*).
- c. Where a minimum width and height are specified, the entry feature standards shall be met for a rectangular portion of a facade having a width no less than the minimum width and a height no less than the minimum height.

4. Height

- a. Height is measured vertically from the finished floor to the top of the facade area meeting the applicable entry feature standards.
- b. Where a minimum width and height are specified, the entry feature standards shall be met for a rectangular portion of a facade having a width no less than the minimum width and a height no less than the minimum height.

5. Covered Entrance

- a. When required as a part of an entry feature; a canopy, roof or other sheltering structure shall cover the exterior area immediately abutting the associated street-facing entrance.
- b. The minimum depth of the covered area shall be the clear height of the covered area divided by 3.
- c. The minimum width of the covered area shall be the clear height of the covered area divided by 2.



6. Covered Area

Covered area is measured as the portion of an entry feature area that is covered by a canopy, roof or other sheltering structure, divided by the total entry feature area. For the measurement of covered area, see *Sec. 14.1.1.1. (Covered Area (%))*.

7. Finished Floor Elevation

Finished floor elevation is measured from the average sidewalk grade along the adjacent sidewalk to the top of the finished floor surface or ground surface of the entry feature. Where no sidewalk exists within 10 feet of the entry feature, finished floor elevation is measured from the average finished grade within 5 feet of the entry feature, measured perpendicular to the entry feature area.

8. **Transparency**

Transparency is measured as a percentage calculated as ground story transparency only for the portion of ground story facade area abutting the entry feature. For the measurement of ground story transparency, see *Div. 3C.4.1.C.1. (Ground Story)*.

9. **Enclosure**

For the measurement of enclosure, see *Sec. 14.1.1.4. (Enclosure)*.

10. **Fence or Wall Height**

Fence or wall height is measured according to *Sec. 4C.7.1.D. (Measurement)*.

E. **Relief**

1. Deviation from entry feature option standards may be requested in accordance with *Sec. 13B.5.1. (Alternative Compliance)*.
2. A deviation from entry feature dimensional standard of 15% or less may be requested in accordance with *Sec. 13B.5.2. (Adjustments)*.
3. Deviation from any entry feature standard may be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*.

DIV. 3C.6. **GROUND STORY**

SEC. 3C.6.1. **GROUND STORY HEIGHT**

The floor-to-floor height of the story of a building having its finished floor elevation nearest to the finished ground surface.

A. **Intent**

To promote active uses that are directly connected the public realm, and ensure high-quality ground-story spaces that are adaptable and appropriate to their context.

B. **Applicability**

Ground story height standards apply to all portions of the ground story of a structure located within the first 15 feet of a frontage applicable facade, measured inward and perpendicular to the facade.

C. **Standards**

All occupiable space located in applicable portions of the ground story shall have floor-to-floor height of no less than the ground story height minimum.

D. **Measurement**

1. Ground story height is measured vertically from the top of the finished ground floor to the top of the finished floor above.
2. Where no story exists above, ground story height is the shortest vertically distance from the top of the finished ground floor to the top of the ceiling or roof structure above.
3. For determining the ground story, see *Sec. 14.1.1.10. (Ground Story Determination)*.

E. **Relief**

1. A reduction in required ground story height of 1 foot or less may be requested in accordance with *Sec. 13B.5.2. (Adjustments)*.
2. Deviation from ground story height standards may be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*.

SEC. 3C.6.2. **GROUND FLOOR ELEVATION**

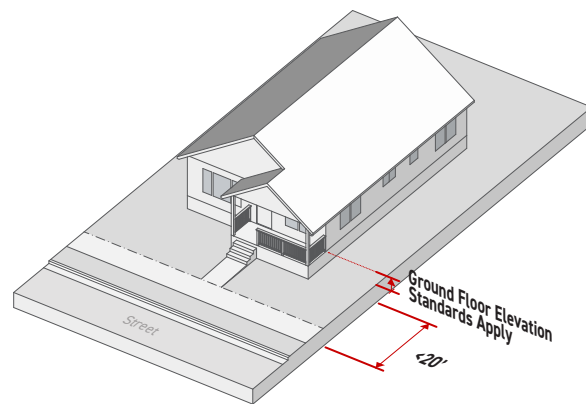
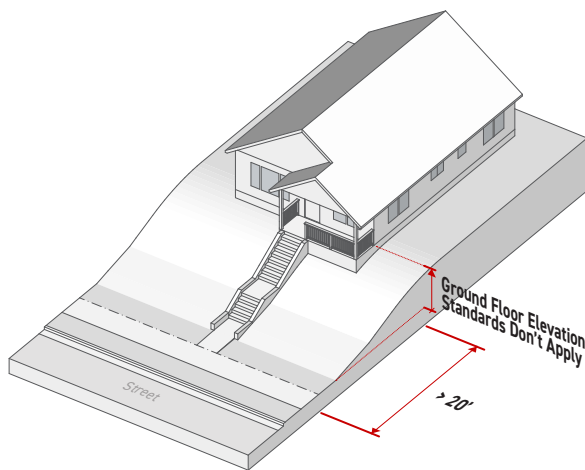
The finished floor height associated with the story of a building having its finished floor elevation nearest to the finished ground surface.

A. **Intent**

To promote active uses that are directly connected the public realm, and ensure high-quality ground-story spaces that are adaptable and appropriate to their context.

B. **Applicability**

1. For structures located less than 20 feet from the frontage lot line, all portions of the ground story located within the first 15 feet of a frontage applicable facade, measured inward and perpendicular to the frontage lot line, shall comply with ground floor elevation standards.
2. Ground floor elevation standards do not apply to structures located 20 feet or greater from the frontage lot line.



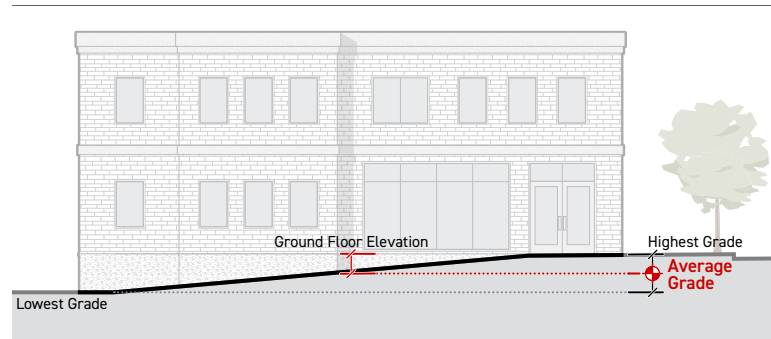
C. **Standards**

1. All occupiable space located in applicable portions of the ground floor shall be located at an elevation no higher than the maximum ground floor elevation.
2. All occupiable space located in applicable portions of the ground floor shall be located at an elevation no lower than the minimum ground floor elevation.

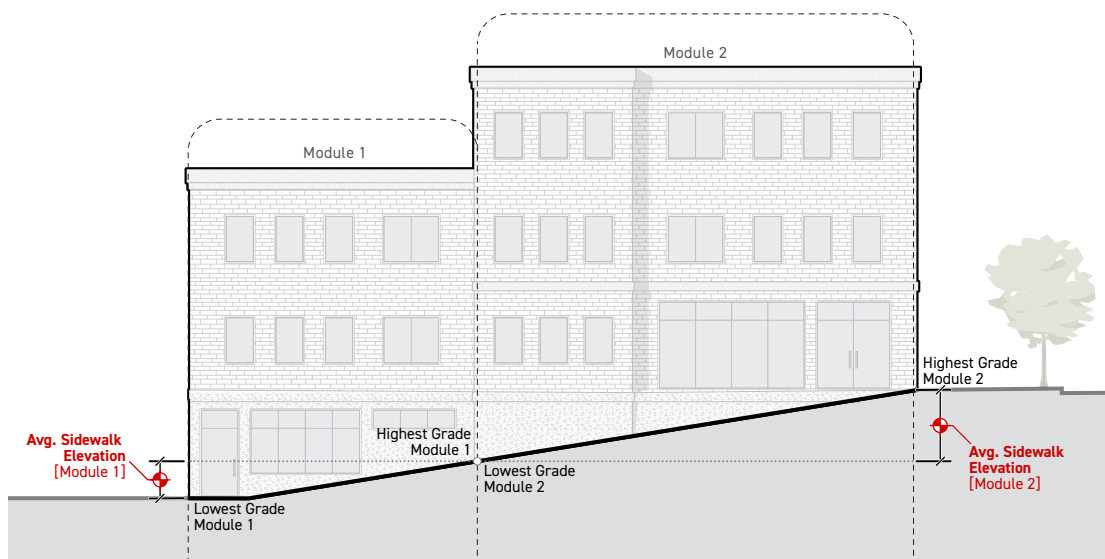
D. Measurement

Ground floor elevation is measured vertically from the average elevation along the sidewalk to the top of the finished ground floor.

1. Average elevation along the sidewalk is measured as the average of the highest and lowest sidewalk elevation for the portion of the sidewalk located in front of the building.



2. For sloped lots, average elevation along the sidewalk may be measured individually for each module and calculated as the average of the highest and lowest sidewalk elevation for the portion of the sidewalk located in front of the building module.



E. Relief

1. A deviation in minimum or maximum ground floor elevation of 10% or less may be requested in accordance with *Sec. 13B.5.2. (Adjustments)*.
2. Deviation from ground story height standards may be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*.

PART 3D. CHARACTER FRONTAGE RULES

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DIV. 3D.1. **BUILD-TO**

See Sec. 3C.1.

DIV. 3D.2. **PARKING**

See Sec. 3C.2.

DIV. 3D.3. **LANDSCAPING**

See Sec. 3C.3.

DIV. 3D.4. **GROUND FLOOR ELEVATION**

See Sec. 3C.6.2.

DIV. 3D.5. **STORY HEIGHT**

SEC. 3D.5.1. **GROUND STORY HEIGHT**

See Sec. 3C.6.1.

SEC. 3D.5.2. **UPPER STORY HEIGHT**

The floor-to-floor height of any story of a building located above the ground story.

A. **Intent**

To ensure upper story spaces and their associated facades are scaled and proportioned to contribute to the established architectural character of surrounding neighborhoods or districts.

B. **Applicability**

1. Upper story height standards apply to each story located above the ground story and all build-to applicable stories specified by the applicable Frontage District.
2. Only portions of upper stories located within the first 15 feet of a frontage applicable facade, measured inward and perpendicular to the facade, shall meet upper story height standards.

C. **Standards**

All occupiable space located in applicable portions of upper stories shall have floor-to-floor height of no less than the upper story height minimum.

D. **Measurement**

1. Upper story height is measured vertically from the top of the finished floor to the top of the finished floor above.
2. Where no story exists above, upper story height is the shortest vertical distance from the top of the finished floor to the top of the ceiling or roof structure above.

E. **Relief**

1. A reduction in required upper story height of 1 foot or less may be requested in accordance with Sec. 13B.5.2. (*Adjustments*).
2. Deviation from upper story height standards may be requested as a variance in accordance with Sec. 13B.5.3. (*Variance*).

DIV. 3D.6. **ARTICULATION**

SEC. 3D.6.1. **BASE, MIDDLE & TOP**

The base, middle top articulation requirement is composed of three separate and coordinated articulating elements designed to visually break a building facade up into three separately legible layers.

A. **Intent**

To visually break a building facade up into three separately legible building layers.

B. **Applicability**

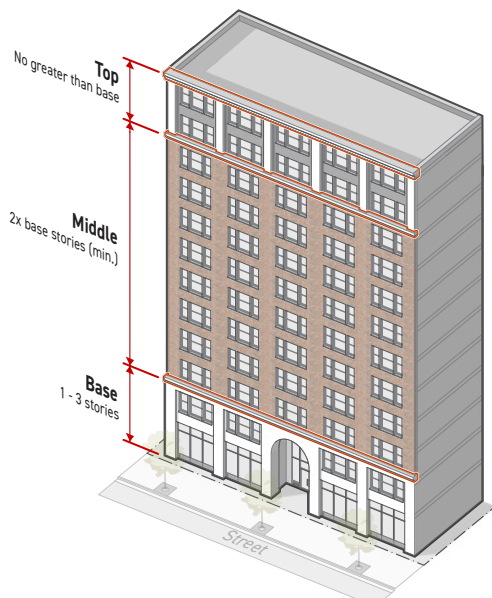
1. When required by Character Frontage District, base, middle and top articulation standards apply to frontage applicable facades located on all build-to applicable stories specified by the applicable Frontage District. See *Sec. 3A.1.2.B.2. (Frontage Applicable Facades)*
2. Where the applicable Character Frontage District requires base, middle and top articulation, and a proposed building is less than 5 stories, the building shall meet the standards of *Sec. 3D.6.2. (Base-Top Articulation)*.

C. **Standards**

1. **General**

One articulating element option shall be provided for each building layer in accordance with the building layer standards below. See *Sec. 3D.6.5. (Articulating Elements)*.

2. **Building Layers**



a. **Base**

- i. The base building layer shall include between 1 and 3 contiguous stories starting with the ground story and continuing upward.
- ii. At least one of the following articulating elements shall be applied along the top of the base layer, creating a transition between the base and middle layers:
 - a) *Sec. 3D.6.5.C.1. (Material Change);*
 - b) *Sec. 3D.6.5.C.2. (Belt Course);* or
 - c) *Sec. 3D.6.5.C.3. (Shopfront Cornice).*
- iii. The articulating element shall extend for the full width of the facade and be located no higher than the top of the uppermost story included in the layer.

b. **Middle**

- i. The middle building layer shall include at least twice as many contiguous stories than the base building layer, starting at the top of the base layer and continuing upward.
- ii. At least one of the following articulating elements shall be applied along the top of the middle layer, creating a transition between the middle and top layers:
 - a) *Sec. 3D.6.5.C.1. (Material Change);*or
 - b) *Sec. 3D.6.5.C.2. (Belt Course).*
- iii. The articulating element shall extend for the full width of the facade and be located no higher than the top of the uppermost story included in the layer.

c. **Top**

- i. The top building layer shall include at least 1 story and no more stories than the base building layer.
- ii. All stories located in the top building layer shall be contiguous and include all stories between the top of the middle layer and the top of the topmost story in a building.
- iii. A roofline cornice articulating element shall be applied to the top building layer. See *Sec. 3D.6.5.C.4 (Roofline Cornice).*
- iv. The roofline cornice shall extend for the full width of the facade and be located along the top of the topmost story included in the building layer.

D. **Measurement**

For measurement of stories see *Sec. 2C.4.3. (Height in Stories).*

E. **Exceptions**

Where the Form District requires a street stepback depth of 10 feet or greater, the top building layer may terminate at the topmost story below the street stepback. No articulating element is required above the top building layer.

F. **Relief**

1. A deviation from number of stories in building layers of 1 story may be requested in accordance with *Sec. 13B.5.2. (Adjustments)*.
2. Deviation from any base, middle and top standard may be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*.

SEC. 3D.6.2. **BASE-TOP**

The base-top articulation requirement is composed of two separate and coordinated articulating elements designed to visually break a building facade up into two separately legible layers.

A. **Intent**

To visually break a building facade up into two separately legible building layers.

B. **Applicability**

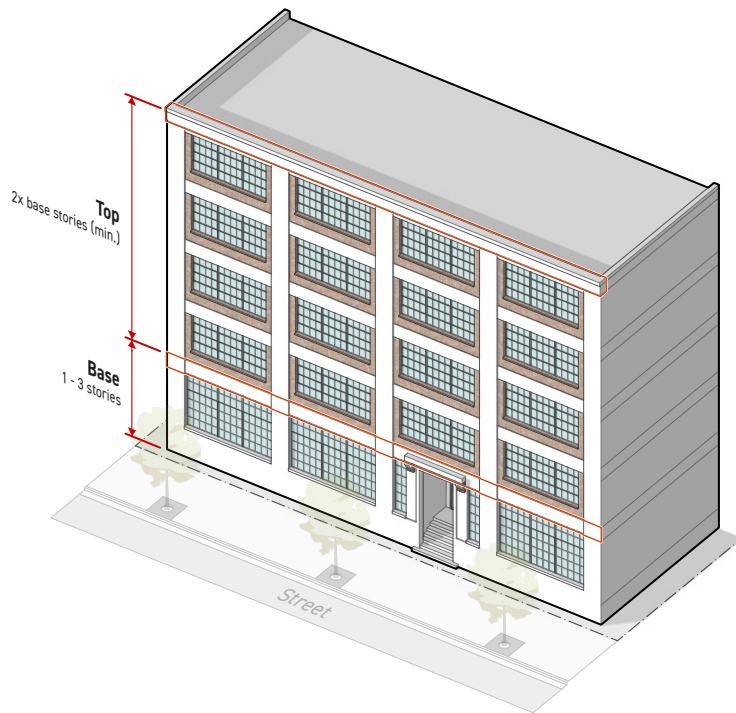
Base-top standards apply to all frontage applicable facades located on all build-to applicable stories specified by the applicable Frontage District. See *Sec. 3A.1.2.B.2. (Frontage Applicable Facades)*.

C. **Standards**

1. **General**

One articulating element option shall be provided for each building layer in accordance with the building layer standards below. See *Sec. 3D.6.5. (Articulating Elements)*.

2. Building Layers



a. Base

- i. The base building layer shall include between 1 and 3 contiguous stories starting with the ground story and continuing upward.
- ii. At least one of the following articulating elements shall be applied along the top of the base layer, creating a transition between the base and top layers:
 - a) *Sec. 3D.6.5.C.1. (Material Change);*
 - b) *Sec. 3D.6.5.C.2. (Belt Course);* or
 - c) *Sec. 3D.6.5.C.3. (Shopfront Cornice).*
- iii. The articulating element shall extend for the full width of the facade and be located no higher than the top of the uppermost story included in the layer.

b. Top

- i. The top building layer shall include at least twice as many stories as the base building layer and include all remaining above-grade stories not included in the base building layer.
- ii. A roofline cornice articulating element shall be applied to the top building layer. See *Sec. 3D.6.5.C.4. (Roofline Cornice).*
- iii. The roofline cornice shall extend for the full width of the facade and be located along the top of the topmost story included in the building layer.

D. **Measurement**

For measurement of stories see *Sec. 2C.4.3. (Height in Stories)*.

E. **Exceptions**

Where the Form District requires a street setback depth of 10 feet or greater, the top building layer may terminate at the topmost story below the street setback. No articulating element is required above the top building layer.

F. **Relief**

1. A deviation from number of stories in building layers of 1 story may be requested in accordance with *Sec. 13B.5.2. (Adjustments)*.
2. Deviation from any base-top standard may be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*.

SEC. 3D.6.3. **HORIZONTAL BANDS**

A continuous band of material running horizontally across a facade.

A. **Intent**

To separate and align windows on a building facade in a way that contributes to the established architectural character of surrounding neighborhoods or districts.

B. **Applicability**

Horizontal band standards apply to all frontage applicable facades located on all build-to-applicable stories specified by the applicable Frontage District. See *Sec. 3A.1.2.B.2. (Frontage Applicable Facades)*.

C. **Standards**

Horizontal bands shall meet the following standards:

1. Shall be no less than 8 inches and no greater than 72 inches in height,
2. Shall project no more than 12 inches from the immediately surrounding facade,
3. Shall extend uninterrupted for the full width of the facade, and
4. Shall be located at the top of all stories that do not have an articulating element applied. See *Sec. 3D.6.5. (Articulating Elements)*.

D. **Measurement**

1. Horizontal band height is measured vertically from the lowest point to the highest point of a horizontal band meeting the standards above.
2. Horizontal band projection is measured horizontally from and perpendicular to the immediately surrounding facade to the outermost point of a horizontal band meeting the standards above.

E. **Relief**

1. A deviation from horizontal band dimensional standards of 10% or less may be requested in accordance with *Sec. 13B.5.2. (Adjustments)*.
2. Deviation from any horizontal band standard may be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*.

SEC. 3D.6.4. **VERTICAL BANDS**

A continuous band of material running vertically up a facade.

A. **Intent**

To separate and align windows on a building facade in a way that contributes to the established architectural character of surrounding neighborhoods or districts.

B. **Applicability**

Vertical band standards apply to all frontage applicable facades located on all build-to applicable stories specified by the applicable Frontage District. See *Sec. 3A.1.2.B.2. (Frontage Applicable Facades)*.

C. **Standards**

Vertical bands shall meet the following standards:

1. Shall be no less than 8 inches and no greater than 36 inches in width,
2. Shall project no more than 36 inches from the immediately surrounding facade,
3. Shall extend the full height of the facade, only interrupted by horizontal bands or articulating elements. See *Sec. 3D.6.5. (Articulating Elements)*.

D. **Spacing**

1. Vertical bands shall be applied across the full width of a facade separated by no more than the maximum spacing and no less than the minimum spacing listed in Frontage District.
2. Vertical bands shall also be located at each corner of a building facade.

E. **Measurement**

1. Vertical band width is measured parallel to the applicable facade and horizontally from one end of a vertical band meeting the standards above to the opposite end.
2. Vertical band projection is measured horizontally from the immediately surrounding facade to the outermost point of a vertical band meeting the standards above.
3. Vertical band spacing is measured horizontally and perpendicular to the applicable building facade from edge of vertical band to edge of vertical band.

F. **Relief**

1. A deviation from vertical band dimensional standards of 10% or less may be requested in accordance with *Sec. 13B.5.2. (Adjustments)*.
2. Deviation from any vertical band standard may be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*.

SEC. 3D.6.5. **ARTICULATING ELEMENTS**

Permanent architectural details used to embellish a facade design in order to accentuate an articulation technique or facade composition.

A. **Intent**

To provide visual interest to the public realm and break a building facade up with visually separate building layers in a way that contributes to the established architectural character of surrounding neighborhoods or districts.

B. **Applicability**

Articulating element standards apply to any architectural element used to meet an articulation standard required by Character Frontage District.

C. **Articulating Element Options**

1. **Material Change**

a. **Standards**

- i. The principal exterior material applied to the building layer shall be different from the principal siding treatment applied to the abutting building layers.
- ii. The principal exterior material shall be limited to those allowed by Frontage District.
- iii. One of the following architectural details must be provided between building layers applying the material change articulating element:
 - a) A *belt course* located at the transition from one principal exterior material to the next. See *Sec. 3D.6.5.C.2 (Roofline Cornice)*; or
 - b) The building layer applying a material change articulating element shall be recessed or project from the abutting building layers at least 6 inches.

b. **Measurement**

- i. For the purpose of measuring material change, principal exterior materials are considered different if they are entirely different materials, products having the same base material where the unit size or finish surface texture is visibly contrasting.
- ii. Recessed building layers are measured horizontally from and perpendicular to the immediately surrounding facade to the outermost point of the recessed building layer facade.
- iii. Projecting building layers are measured horizontally and perpendicular from the immediately surrounding facade to the innermost point of the projecting building layer facade.

2. **Belt Course**

A horizontal course projecting beyond the face of the surrounding building facade often shaped to mark a division in the facade wall.

a. **Standards**

A belt course shall meet the following standards:

- i. Extend the full building width uninterrupted except by bisecting vertical bands.
- ii. Have a consistent profile across the width of the building,
- iii. Project a minimum of 2 inches from the immediately surrounding facade for some portion of the top 2 inches and the bottom 2 inches of the belt course profile,
- iv. Have a height of no less than 12 inches if located on the first story. An additional 2 inches in height are required for each story that the belt course is located about the first story. The greatest required minimum height is 48 inches.

b. **Measurement**

- i. Belt course height is measured vertically from the lowest point to the highest point of the belt course profile meeting the standards above.
- ii. Projection is measured perpendicularly from the immediately surrounding facade to the outermost point of a belt course meeting the standards above.

3. **Shopfront Cornice**

A continuous molded projection located above a series of display windows on the ground story facade.

a. **Standards**

A shopfront cornice shall meet the following standards:

- i. Extend uninterrupted for the full building width.
- ii. Project a minimum of 4 inches from the immediately surrounding facade for some portion of the top 4 inches and the bottom 4 inches of the cornice profile,
- iii. Have a height of no less than 12 inches.

b. **Measurement**

- i. Shopfront cornice height is measured vertically from the lowest point to the highest point of the cornice profile meeting the standards above.
- ii. Projection is measured perpendicularly from the immediately surrounding facade horizontally to the outermost point of a shopfront cornice meeting the standards above.

4. **Roofline Cornice**

A continuous molded projection that crowns a wall, often as part of a parapet.

a. **Standards**

A roofline cornice shall meet the following standards:

- i. Extend uninterrupted for the full building width.
- ii. Project a minimum of 4-inches from the immediately surrounding facade for some portion of the top 4 inches of the cornice profile if located on the first, second or third stories. An additional 2 inches of projection are required for each story the roofline cornice is located above the third story. The greatest required minimum projection is 36 inches.
- iii. Have a height of no less than 12 inches if located on the first, second or third story. An additional 2 inches in height are required for each story the roofline cornice is located above the third story. The greatest required minimum height is 48 inches.

b. **Measurement**

- i. Roofline cornice height is measured vertically from the lowest point to the highest point of the cornice profile meeting the standards above.
- ii. Projection is measured perpendicularly from the immediately surrounding facade horizontally to the outermost point of a roofline cornice meeting the standards above.

D. **Measurement**

Articulating elements are measured as provided or not provided based on whether the applicable building layer facade applies an articulating element meeting the standards above.

E. **Relief**

1. A deviation from articulating elements dimensional standards of 10% or less may be requested in accordance with *Sec. 13B.5.2. (Adjustments)*.
2. Deviation from any articulating elements standard may be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*.

DIV. 3D.7. **FEATURES**

SEC. 3D.7.1. **PROHIBITED FEATURES**

A. **Intent**

To ensure facades are built in a way that contributes to the established architectural character of surrounding neighborhoods or districts by limiting the use of architectural features that are inappropriate to the historic or desired context.

B. **Applicability**

Prohibited features standards apply to frontage applicable facades located on all build-to applicable stories specified by the applicable Frontage District. See *Sec. 3A.1.2.B.2. (Frontage Applicable Facades)*. Above the build-to applicable stories, prohibited features listed in an applicable Character Frontage are allowed.

C. **Standards**

1. Where a Frontage District lists a feature as "prohibited", no applicable facade located on a build-to applicable story specified by the applicable Frontage District may include any variety of listed feature.
2. Where a Frontage District lists a feature as "allowed" or does not list a feature at all, no prohibited features standards limiting the use of the listed feature.

D. **Balcony**

An exterior occupiable platform elevated above the ground enclosed by railings, parapet or other protective barrier.

1. **Standards**

Where a Frontage District lists balcony as "prohibited":

- a. No feature meeting the definition for balcony above may be included on an applicable facade.
- b. Roof terraces that meet the definition of balcony may be allowed provided they are uncovered and do not project beyond the story immediately below.

2. **Measurement**

Balconies are identified as present or absent based on whether an applicable facade includes a balcony as described above.

E. **Measurement**

Prohibited features are measured as present or absent based on whether a prohibited feature is identified on an applicable facade.

F. **Relief**

Deviation from any prohibited features standards may be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*.

DIV. 3D.8. **ENTRANCES**

SEC. 3D.8.1. **STREET-FACING ENTRANCE**

See *Sec. 3C.5.1. (Street-Facing Entrance)*.

SEC. 3D.8.2. **ENTRY FEATURE**

See *Sec. 3C.5.2. (Entry Feature)*.

SEC. 3D.8.3. **FOCAL ENTRY FEATURE**

Improved design standards applied to the primary entrance along the public realm.

A. **Intent**

To establish a hierarchy of entrances on a building facade where a focal entry feature is the visually dominant entrance supported by secondary entrances designed with entry features.

B. **Applicability**

Where required by a Frontage District, Focal Entry standards apply to ground story, frontage lot line-facing facades.

C. **Standards**

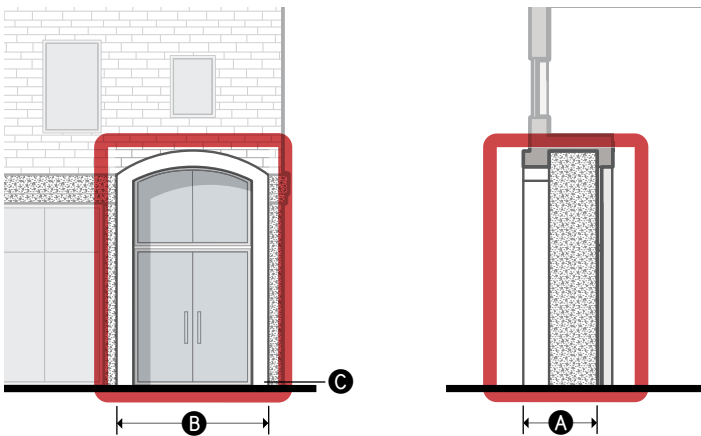
1. **General**

- a. No fewer focal entrances than required by Frontage District shall be provided for each provided building length.
- b. Each required focal entry feature shall meet the standards for one of the focal entry feature options. See *Sec. 4D.7.3.C.2. (Focal Entry Feature Options)*.
- c. Required focal entry features shall abut and provide direct access to a street-facing entrance.
- d. Required focal entry features shall be directly accessible from the public realm associated with the frontage lot line.
- e. For street setback encroachment regulations, see *Sec. 2C.2.2.E. (Exceptions)*.
- f. For encroachments into the public right-of-way, see *LAMC Ch. IX, Art. 1, Div. 32 (Encroachments into the Public Right-of-Way)*.

2. Focal Entry Feature Options

a. Archway

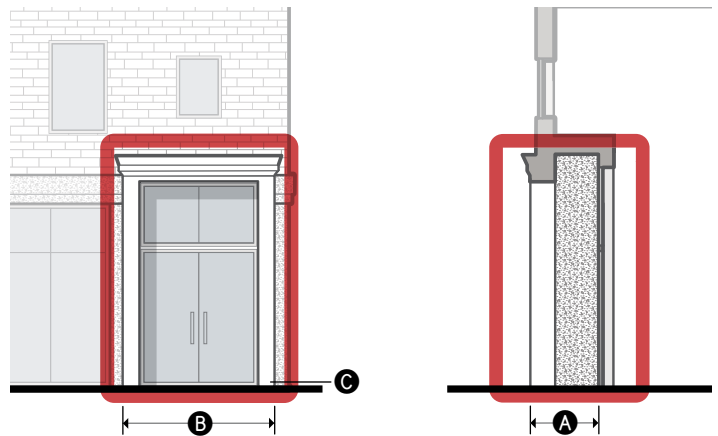
A curved symmetrical architectural detail spanning an opening to an exterior space set behind the primary facade plane providing sheltered access to a street-facing entrance.



DIMENSIONAL STANDARDS	
Ⓐ Depth (min)	3'
Ⓑ Width (min)	8'
Height (min)	9'
Covered entrance	Required
Covered area (min)	100%
Ⓒ Finished floor elevation (min/max)	-2'/5'
Transparency (min)	80%
Enclosure (max)	75%

b. Architrave

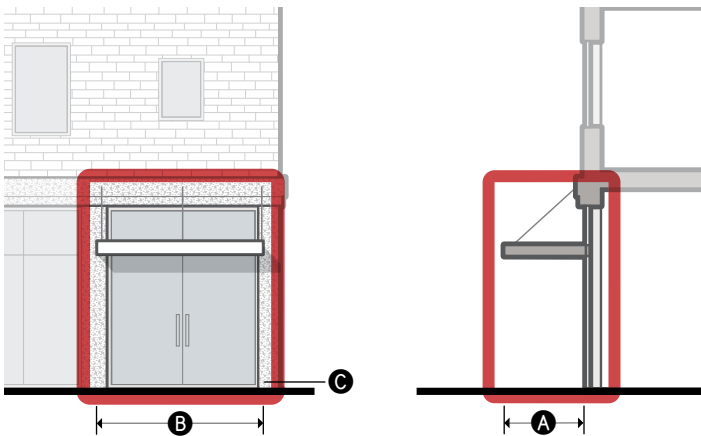
A decorative horizontal band above and connected to vertical bands framing an opening to an exterior space set behind the primary facade plane providing sheltered access to a street-facing entrance.



DIMENSIONAL STANDARDS	
Ⓐ Depth (min)	3'
Ⓑ Width (min)	8'
Height (min)	9'
Covered entrance	Required
Covered area (min)	100%
Ⓒ Finished floor elevation (min/max)	-2'/5'
Transparency (min)	80%
Enclosure (max)	75%

c. Canopy

A space that provides sheltered access to an at-grade street-facing entrance with an overhead projecting structure.



DIMENSIONAL STANDARDS

Depth (min)	4'
Width (min)	8'
Height (min)	9'
Covered entrance	Required
Covered area (min)	n/a
Ⓒ Finished floor elevation (min/max)	-2'/2'
Transparency (min)	n/a
Enclosure (max)	50%

*For encroachments into the public right-of-way, see LAMC Ch. IX, Art. 1, Div. 32 (Encroachments into the Public Right-of-Way).

D. **Measurement**

See Sec. 3C.5.2.D. (*Entry Feature Measurement*).

E. **Relief**

1. Deviation from focal entry feature option standards may be requested in accordance with Sec. 13B.5.1. (*Alternative Compliance*).
2. A deviation from focal entry feature dimensional standard of 15% or less may be requested in accordance with Sec. 13B.5.2. (*Adjustments*).
3. Deviation from any entry feature standard may be requested as a variance in accordance with Sec. 13B.5.3. (*Variance*).

DIV. 3D.9. **TRANSPARENCY**

SEC. 3D.9.1. **GROUND STORY**

A. **Intent**

To ensure projects are designed with ground story windows that contribute to the established architectural character of surrounding neighborhoods or district.

B. **Applicability**

1. Ground story transparency standards apply to frontage applicable facades located on the ground story and all windows located on the ground story facade. See *Sec. 3A.1.2.B.2. (Frontage Applicable Facades)*.
2. Parking structure facades are not applicable, except where required to be wrapped by the applicable Development Standards District.

C. **Standards**

1. **General**

a. **Standards**

- i. Applicable ground story facades shall provide no less than the minimum transparency listed in the applicable Character Frontage District.
- ii. Applicable ground story facades shall provide no more than the maximum transparency listed in the applicable Character Frontage District.
- iii. All transparent area shall meet the standards of *Sec. 3C.4.1.C. (Transparent Area Standards)*.

b. **Measurement**

See *Sec. 3C.4.1.D. (Measurement)*.

2. **Active Wall Spacing**

See *Sec. 3C.4.2. (Active Wall Spacing)*.

3. **Window Recession**

The depth that a window is set back from the surrounding facade.

a. **Standards**

All windows provided on applicable facades shall be recessed no less than the minimum depth specified in the Frontage District.

b. Measurement

Window recession depth is measured inward from the immediately surrounding facade surface, exclusive of trim or accessory projecting architectural details, to the outermost element of the window assembly.

4. Bulkhead

A wall located beneath a display window on the ground story facade that serves to elevate a window above the exterior finished grade and the interior finished floor surface.

a. Standards

- i. Where required by Frontage District, all ground story window openings located on applicable facades shall be elevated above the finished ground floor by no less than 18 inches and no more than 30 inches.
- ii. Ground story window openings located entirely above another ground story window may be located greater than 30 inches from the ground story finished floor provided that no portion of the opening extends beyond the width of the lower window opening.



b. Measurement

Bulkheads are measured as provided or not provided based on the compliance of all applicable windows with the standards above.

5. Symmetrical Lite Pattern

Window panes that are arranged or design so that the left-side of the window composition is a mirror image of the right-side of the window composition.

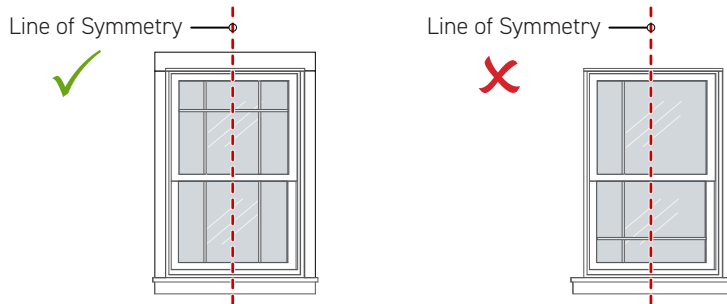
a. Standards

All windows provided on applicable facades shall meet the following standards:

- i. Divided-lite and simulated divided-lite windows shall have a composition of muntins or grills that display reflective symmetry.
- ii. Operable windows shall have sashes that are generally reflectively symmetrical.
- iii. Window assemblies sharing a window opening shall be composed in a way that reflective symmetry is displayed over entirety of the window opening.

b. **Measurement**

For the purpose of meeting symmetrical lite pattern standards, if a vertical line can be drawn through the window opening and the pattern and shape on both sides of the line appear approximately identical, the window or windows are considered in compliance with the symmetrical lite pattern standard.



6. **Horizontal Sliding Windows**

a. **Standards**

When prohibited by Frontage District, windows provided on applicable facades shall not include sashes that operate left to right or right to left.

b. **Measurement**

Horizontal sliding windows are measured as either present or absent.

7. **Vinyl Windows**

a. **Standards**

- i. When prohibited by a Frontage District, windows assemblies provided on applicable facades shall not contain frames, sashes, rails, styles, muntins, mullions, or grills with a vinyl exterior finish.
- ii. Other accessory window assembly components may be finished with vinyl products.

b. **Measurement**

Vinyl windows are measured as either present or absent.

D. **Relief**

- 1. A deviation from ground story transparency dimensional standard of 15% or less may be requested in accordance with *Sec. 13B.5.2. (Adjustments)*.
- 2. Deviation from any ground story transparency standard may be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*.

SEC. 3D.9.2. **UPPER STORIES**

A. **Intent**

To ensure projects are designed with upper story windows that contribute to the established architectural character of surrounding neighborhoods or district.

B. **Applicability**

1. Upper story minimum transparency standards apply to frontage applicable facades located on upper stories. See Sec. 3A.1.2.B.2. (*Frontage Applicable Facades*).
2. All other upper story transparency standards, including maximum transparency standards, apply to frontage applicable facades located on all build-to applicable stories specified by the applicable Frontage District excluding the ground story. See Sec. 3A.1.2.B.2. (*Frontage Applicable Facades*).
3. Parking structure facades are not applicable except where required to be wrapped by the applicable Development Standards District.

C. **Standards**

1. **General**

a. **Standards**

- i. Applicable ground story facades shall provide no less than the minimum transparency listed in the applicable Character Frontage District.
- ii. Applicable ground story facades shall provide no more than the maximum transparency listed in the applicable Character Frontage District.
- iii. All transparent area shall meet the standards of Sec. 3C.4.1.C. (*Transparent Area Standards*).

b. **Measurement**

See Sec. 3C.4.1.D.2. (*Transparent Area, Upper Story, Measurement*).

2. **Window Recession**

See Sec. 3D.8.1.E. (*Window Recession, Ground Story Transparency*).

3. **Symmetrical Lite Pattern**

See Sec. 3D.8.1.G. (*Symmetrical Lite Pattern, Ground Story Transparency*).

4. **Sill**

The bottommost horizontal exterior surface of a window opening including a ledge or other architectural detail that projects from the surrounding building facade.

- Transparency -

a. **Standards**

- i. When required by Frontage District, all windows provided on applicable facades shall include a sill, ledge or comparable architectural detail located at the bottommost exterior surface of a window opening.
- ii. Required sills shall project a minimum of 1 inch beyond the immediately surrounding building facade.
- iii. Required sills shall have a width of no less than the window opening.

b. **Measurement**

Sills are measured as provided or not provided based on the compliance of all applicable windows with the standards above.

5. **Horizontal Sliding Windows**

See Sec. 3D.8.1.H. (*Horizontal Sliding Windows, Ground Story Transparency*).

6. **Vinyl Windows**

See Sec. 3D.8.1.I. (*Vinyl Windows, Ground Story Transparency*).

D. **Relief**

1. A deviation from upper story transparency dimensional standard of 15% or less may be requested in accordance with Sec. 13B.5.2. (*Adjustments*).
2. Deviation from any upper story transparency standard may be requested as a variance in accordance with Sec. 13B.5.3. (*Variance*).

DIV. 3D.10. **EXTERIOR MATERIALS**

SEC. 3D.10.1. **PRINCIPAL MATERIALS**

The building product used as the exterior wall finish material for the great majority of the exterior building facade.

A. **Intent**

To visually unify the facade with a dominant material and ensure that building facades are finished with materials that contribute to the established architectural character of surrounding neighborhoods or districts.

B. **Applicability**

Frontage applicable facades located on all build-to applicable stories specified by the applicable Frontage District shall comply with principal material standards. See *Sec. 3A.1.2.B.2. (Frontage Applicable Facades)*.

C. **Standards**

1. **General**

Applicable facades shall be finished in one of the principal material options listed in Frontage District for a minimum of 70% of the total applicable facade area.

2. **Principal Material Options**

a. **Brick**

A rectangular unit made of hardened clay ranging from 1.5 to 8 inches in height and 3.5 to 16 inches in width, laid with mortar exposed between courses and brick units. Examples include solid brick construction, brick veneer and thin brick veneer. Other products required for installation that are visually subordinate to the brick are also allowed.

b. **Solid Stone**

Rock quarried and worked into a specific size and shape for use as a building material. Solid stone includes required mortar and other products required for installation that are visually subordinate to the stone product. Examples include solid stone construction, stone veneer and thin stone veneer. Solid stone excludes heavy aggregate concrete, terrazzo, engineered stone products and comparable materials.

c. **Concrete**

A cement based product either poured-in-place or pre-cast in a form or mold. Concrete includes engineered masonry products set in resin or cement. Other products required for installation that are visually subordinate to the concrete product are also allowed. Concrete Excludes fiber cement products.

d. **Metal**

Metal products design for architectural purposes. Examples include exposed structural steel, architectural metal panels and decorative metal products. Other products required for installation that are visually subordinate to the metal product are also allowed.

e. **Wood**

Tree-based products shaped into a particular shape and size for use as a building material. Examples include exterior plywood panels and solid wood products such as exposed structural lumber, panels, lap siding, vertical plank siding, horizontal plank siding and shingles. Other products required for installation that are visually subordinate to the wood product are also allowed. Wood excludes faux-wood products such as vinyl, aluminum and fiber cement products.

f. **Glazed Tile**

Ceramic tile having porcelain or natural clay body, glazed for surfacing walls, typically attached to an exterior wall with mortar and finished by filling joints between tiles with a cement or resin based grout product. Examples include small or large format tile and structural facing tile. Other products required for installation that are visually subordinate to the tile product are also allowed. Glazed tile excludes terracotta and other non-ceramic tile products.

D. **Measurement**

1. Principal material coverage is calculated for each building width separately.
2. Principal material coverage is a percentage calculated by dividing the facade area covered in the principal material product divided by the total applicable facade area minus the facade area composed of window and door openings.
3. The principal material is measured as compliant or non-compliant based on whether it meets the standards and definition of one of the principal material options allowed by Frontage District.

E. **Relief**

1. A deviation from the minimum principal material coverage standard of 10% or less may be requested in accordance with *Sec. 13B.5.2. (Adjustments)*.
2. Deviation from any principal material standard may be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*.

SEC. 3D.10.2. **ACCESSORY MATERIALS**

Building products used as an exterior wall finish material to accent or support the principal material.

A. **Intent**

To visually unify the facade with a consistent material palette and ensure that building facades are finished with materials that contribute to the established architectural character of surrounding neighborhoods or districts.

B. **Applicability**

All frontage applicable facades located on all build-to applicable stories specified by the applicable Frontage District shall comply with accessory material standards. See *Sec. 3A.1.2.B.2. (Frontage Applicable Facades)*.

C. **Standards**

1. **General**

- a. Applicable facades shall be finished in one or more of the accessory material options listed in Frontage District cumulatively covering no more than 30% of the total applicable facade area.
- b. All materials cumulatively covering more than 5% of the total applicable facade area are considered an accessory material.

2. **Accessory Material Options**

a. **Brick**

A rectangular unit made of hardened clay ranging from 1.5 to 8 inches in height and 3.5 to 16 inches in width, laid with mortar exposed between courses and brick units. Examples include solid brick construction, brick veneer and thin brick veneer. Other products required for installation that are visually subordinate to the brick are also allowed.

b. **Solid Stone**

Rock quarried and worked into a specific size and shape for use as a building material. Solid stone includes required mortar and other products required for installation that are visually subordinate to the stone product. Examples include solid stone construction, stone veneer and thin stone veneer. Solid stone excludes heavy aggregate concrete, terrazzo, engineered stone products and comparable materials.

c. **Concrete**

A cement based product either poured-in-place or pre-cast in a form or mold. Concrete includes engineered masonry products set in resin or cement. Other products required

for installation that are visually subordinate to the concrete product are also allowed. Concrete Excludes fiber cement products.

d. **Metal**

Metal products design for architectural purposes. Examples include exposed structural steel, architectural metal panels and decorative metal products. Other products required for installation that are visually subordinate to the metal product are also allowed.

e. **Wood**

Tree-based products shaped into a particular shape and size for use as a building material. Examples include exterior plywood panels and solid wood products such as exposed structural lumber, panels, lap siding, vertical plank siding, horizontal plank siding and shingles. Other products required for installation that are visually subordinate to the wood product are also allowed. Wood excludes faux-wood products such as vinyl, aluminum and fiber cement products.

f. **Glazed Tile**

Ceramic tile having porcelain or natural clay body, glazed for surfacing walls, typically attached to an exterior wall with mortar and finished by filling joints between tiles with a cement or resin based grout product. Examples include small or large format tile and structural facing tile. Other products required for installation that are visually subordinate to the tile product are also allowed. Glazed tile excludes terracotta and other non-ceramic tile products.

3. **Number of Accessory Materials**

No more finishing materials than the maximum number of accessory materials listed in a Frontage District may be provided with the exception of trim, sills and other architectural details cumulatively covering no more than 5% of the total applicable facade area.

D. **Measurement**

1. Accessory material coverage is calculated for each building width separately.
2. Accessory material coverage is a percentage calculated by dividing the facade area covered in the accessory material product divided by the total applicable facade area minus the facade area composed of window and door openings.
3. The accessory material is measured as compliant or non-compliant based on whether it meets the standards and definition of one of the accessory material options allowed by Frontage District.

E. **Relief**

1. A deviation from the minimum accessory material coverage standard of 10% or less may be requested in accordance with *Sec. 13B.5.2. (Adjustments)*.

2. Deviation from any accessory material standard may be requested as a variance in accordance with Sec. 13B.5.3. (*Variance*).

DIV. 3D.11. **ROOF DESIGN**

SEC. 3D.11.1. **ROOF FORM**

The shape of the external upper covering of a building, including the frame for supporting the roofing.

A. **Intent**

To ensure that building forms contribute to the established architectural character of surrounding neighborhoods or districts.

B. **Applicability**

Where specified by Frontage District, roof form standards apply to the primary roof forms of all frontage lot line facing buildings and structures on a lot.

C. **Standards**

1. **General**

All building and structure shall have a roof form listed as a roof form option in the applicable Frontage District.

2. **Roof Form Options**

a. **Flat**

A roof with a maximum pitch of 2:12 (2 inch of vertical rise for every 12 inches of horizontal span) or less. Flat roof forms include roofs with parapets up to 6 feet in height.

D. **Measurement**

1. Roof pitch is measured by calculating a roof's vertical rise in inches divided by a foot of its horizontal span and is represented as a ratio.
2. Roof form is measured as compliant or non-compliant based on whether it meets the standards and definition of one of the roof form options allowed by Frontage District.

E. **Exceptions**

Roof form standards do not apply to accessory roof forms.

F. **Relief**

1. A deviation from roof form dimensional standard of 10% or less may be requested in accordance with *Sec. 13B.5.2. (Adjustments)*.
2. Deviation from any roof form standard may be requested as a variance in accordance with *Sec. 13B.5.3. (Variance)*.

SEC. 3D.11.2. **ROOF MATERIALS**

A. **Intent**

To ensure that a building's roof finishing materials contribute to the established architectural character of surrounding neighborhoods or districts.

B. **Applicability**

Where specified by Frontage District, roof materials standards apply to the primary roof forms of all frontage lot line facing buildings and structures on a lot.

C. **Standards**

No prohibited roof materials listed by Frontage District shall be used to finish a roof.

D. **Measurement**

Roof materials are measured as compliant or non-compliant based on whether all applicable roofs meet the roof materials standards.

E. **Exceptions**

Roof material standards do not apply to accessory roof forms.

F. **Relief**

Deviation from roof materials standards may be requested as a variance in accordance with Sec. 13B.5.3. (*Variance*).

