

Window/Door Schedule Examples (1 of 4)

CODE INFORMATION

SITE ADDRESS
ZIP CODE
PIN NUMBER
LOT/PARCEL AREA (CALCULATED)
THOMAS BROTHERS GRID PAGE 593 -
ASSESSOR PARCEL NO. (APN)
TRACT
MAP REFERENCE
BLOCK
LOT
ARB (LOT CUT REFERENCE)
MAP SHEET

150A193 598
2,637.0 (SQ FT)
GRID H3
5587020005
TR 3164
M B 32-86
NONE
5
2
150A193

GENERAL PLAN LAND USE
ZONING
OCCUPANCY GROUP:
CONSTRUCTION TYPE:

LOW II RESIDENTIAL
RI-ID-HPOZ
R-3
TYPE VB

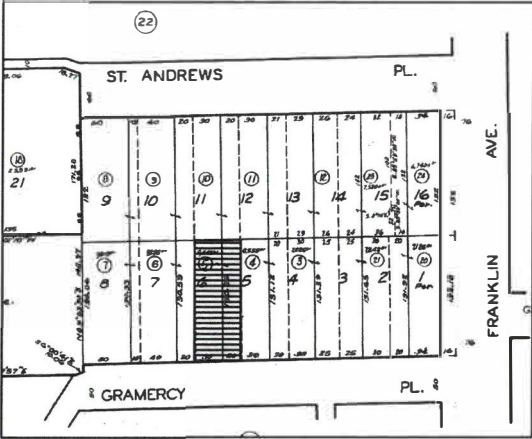
SCOPE OF WORK

1. (N) REAR ACCORDION DOORS.
2. REMOVE AND REPLACE EXISTING ASPHALT ROOF SHINGLES.
3. CLOSE OFF NORTH SIDE WINDOW.
4. RE-PAINT EXISTING WOOD WORK.

VICINITY MAP



ASSESSOR'S MAP



CONSULTANTS



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GRAMERCY PHASE II.

SYMBOL LEGEND

- ⊙ CARBON MONOXIDE DETECTOR (SEE A0.1/73)
- ⊙ SMOKE DETECTOR (SEE A0.1/72)
- ⊙ GAS METER
- ⊙ ELECTRICAL SERVICE PANEL
- ⊙ EXHAUST FAN (SEE A0.1/54)
- ⊙ KEYNOTE ON SAME SHEET
- ⊙ GENERAL NOTE ON A0.1
- ⊙ DOOR TAG (SEE SCHD. A6.0)
- ⊙ WINDOW TAG (SEE SCHD. A6.0)
- ### ELEVATION MARK
- # SLOPE
- BRAKE LINE
- STEP
- OUTLET
- DOWN SPOT
- CURB DRAIN
- ## SECTION NUMBER
SECTION SYMBOL
SHEET
- ## DETAIL NUMBER
DETAIL SYMBOL
SHEET

WALL LEGEND

- DEMOLISH
- PROJECT OF WALL ABOVE/BELOW
- EXISTING TO REMAIN
- NEW STUD
- INFILL OPENING
- IHR FIRE RATED WALL
- IHR FIRE RATED WALL 50 STC
- CMU (EXISTING / NEW)
- CONCRETE (EXISTING / NEW)



CERTAINTEED LANDMARK SOLARIS CRYSTAL.

- (E) ROOFING FORM TO REMAIN.
- (E) SHINGLES TO BE REMOVED AND REPLACED W/ CERTAINTEED LANDMARK SOLARIS CRYSTAL.

CODE INFORMATION

THESE PLANS SHALL COMPLY WITH THE FOLLOWING CODES:

2017 CALIFORNIA RESIDENTIAL CODE
2017 CALIFORNIA BUILDING CODE
2017 CALIFORNIA PLUMBING CODE
2017 CALIFORNIA MECHANICAL CODE
2017 CALIFORNIA ELECTRICAL CODE
2017 CALIFORNIA ENERGY CODE
2017 CALIFORNIA FIRE CODE

-WITH 2017 L.A. CITY AMENDMENTS

KEYNOTES:

1. MINIMUM 7/8" STUCCO.
2. (N) STUCCO TO BE PATCHED AROUND (N) OPENING(S) TO MATCH EXISTING.
3. (E) ROOFING FORM TO REMAIN. (E) SHINGLES TO BE REMOVED AND REPLACED W/certaiteed landmark solaris crystal.

SHEET LEGEND

- A00 TITLE PAGE & PROJECT INFO.
- A0.1 GENERAL NOTES
- A0.2 GENERAL NOTES
- A0.3 GREEN BUILDING NOTES
- A0.4 DOOR AND WINDOW IMAGES
- A1.0 SITE PLAN
- A1.1 EXISTING AND PROPOSED PLANS
- A2.1 EXISTING AND PROPOSED ELEVATIONS
- A5.1 FLASHING DETAILS
- S.2 FOUNDATION AND ROOF PLAN
- D.1 DETAILS

REV.	DESCRIPTION	DATE

08/16/2018

SHEET

A0.0

- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEARANCE AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
2. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).
3. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
4. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
5. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
6. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
7. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)
8. WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC) SEE INFORMATION BULLETIN P/PC 2011-003 HOW TO BRACE YOUR WATER HEATER FOR DETAILS.
9. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)
10. FOR EXISTING POOL ON SITE, PROVIDE ANTI ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B)
11. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)
12. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)
13. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R303.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2)
14. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
15. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE
16. OBTAIN PERMITS FROM PUBLIC WORKS PRIOR TO CONSTRUCTION FOR:
 - A. TEMPORARY PEDESTRIAN PROTECTION AS REQUIRED BY LABC SECTION 306.
 - B. FOR ANY CONSTRUCTION NEAR ANY STREET OR PUBLIC AREA.
17. OUTLETS ALONG WALL COUNTER SPACE, ISLAND AND PENINSULA COUNTER SPACE IN KITCHENS SHALL HAVE A MAXIMUM SPACING OF 48". (210-52 NEC)
18. THE FIRST LIGHT IN THE NEW AND REMODELED BATHROOMS AND KITCHEN SHALL BE AN ENERGY EFFICIENT LIGHT MEETING A MINIMUM OF 40 LUMENS PER WATT (E.G. FLUORESCENT LAMP). (T-24, SEC. 130(B) & 150(K))
19. A MINIMUM OF 50 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE SHALL BE RECYCLE AND/OR SALVAGE FOR REUSE IN ACCORDANCE WITH CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4 DIVISION 4.6. (R324)
20. FINISH MATERIALS INCLUDING ADHESIVES, SEALANTS, CAULKS, PAINTS AND COATING, AEROSOL PAINTS AND SYSTEMS AND COMPOSITE WOOD PRODUCTS SHALL MEET THE VOLATILE ORGANIC COMPOUND (VOC) EMISSION LIMITS IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4 DIVISION 4.5. (R330)
21. WHEN A VAPOR RETARDER IS REQUIRED, A CAPILLARY BREAK SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING

3. ANNULAR SPACE AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN BOTTOM/POLE PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4, DIVISION 4.4. (R602.3.4.1)
23. ALL SHOWER ENCLOSURES, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR AREA OF NOT LESS THAN 102 $\frac{1}{2}$ SQUARE INCHES (0.66 M²) AND SHALL BE CAPABLE OF ENCOMPASSING A 30 INCH DIAMETER (0.76 M) CIRCLE. THE MINIMUM AREA AND DIMENSIONS SHALL BE MAINTAINED TO A POINT 70 INCHES (1.8 M) ABOVE THE SHOWER DRAIN OUTLET. (PLUMBING CODE SECTION 410.4)
24. A MIN 12" SQ. ACCESS PANEL TO THE BATHTUB TRAP SLIP JOINT CONNECTION IS REQUIRED. (PLUMBING CODE SECTION 405.2)
25. CLOTHES DRYER(S) LOCATED IN AN AREA THAT IS HABITABLE OR CONTAINING FUEL BURNING APPLIANCES SHALL BE EXHAUSTED TO THE OUTSIDE OR TO AN AREA WHICH IS NOT HABITABLE AND DOES NOT CONTAIN OTHER FUEL BURNING APPLIANCES (BUT NOT BENEATH THE BUILDING OR IN THE ATTIC AREA). (M.C. 504.3.1)
26. A 4" CLOTHES DRYER MOISTURE EXHAUST DUCT IS LIMITED TO A 14 FEET LENGTH WITH TWO ELBOWS FROM THE CLOTHES DRYER TO THE POINT OF TERMINATION. REDUCE THIS LENGTH BY 2 FEET FOR EVERY ELBOW IN EXCESS OF 2. (M.C. 504.3.2, M.C. 908)
27. PROVIDE 32" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOMS WITHIN A DWELLING UNIT. (LARC SECTION R311.2, LABC SECTION 6304.1)
28. PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS. MIN.- 24" CLEAR HT, 20" CLEAR WIDTH, 5.7 SQ.FT. MIN. AREA. (LARC SECTION R310, LABC SECTION 1029)
29. OCCUPIED ROOFS SHALL BE PROVIDED WITH EXITS AS REQUIRED FOR STORIES.
30. A/C UNITS AND WATER HEATERS ARE NOT ALLOWED IN THE REQUIRED SIDE YARDS AND FRONT YARD UNLESS SPECIFICALLY ALLOWED BY EXCEPTION PER INFORMATION BULLETIN P/ZC 2002-006.
31. THE PROJECT CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT ADJACENT PROPERTIES, WORKERS, AND THE OTHER PERSONS DURING THE EXCAVATION AND SITE PREPARATION OPERATIONS.
32. PROVIDE ELECTRICAL SERVICE AND METERS, LOCATION TO BE COORDINATED & APPROVED BY SERVICE PROVIDER. NOTE: A NEW OR RELOCATED ELECTRICAL SERVICE SHALL BE PROVIDED W/ A GROUNDING ELECTRODE.
33. IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, A SOILS INVESTIGATION REPORT MAY BE REQUIRED.
34. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319)
35. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
36. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306)
37. FENCES, PLANTERS, AND RETAINING WALLS SHALL NOT EXCEED A HEIGHT OF 3'-6" ABOVE THE NATURAL GROUND LEVEL IN THE REQUIRED FRONT YARD & 6'-0" ON THE READ AND SIDE YARDS. PARKING AND TURNING AREAS WITHIN 15' OF PROPERTY LINE MUST BE ENCLOSED BY 5'-9" HIGH SOLID WALL.
38. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. (R303.7)
39. FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 OF 2014 LABC. A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4 INCH. (2407)
40. ALL STAIRWAYS SHALL COMPLY WITH THE MINIMUM REQUIREMENTS:
 - A. 7.75" MAXIMUM RISE & MINIMUM 10" RUN. (R311.7.5)
 - B. MINIMUM 6'-8" HEADROOM CLEARANCE. (R311.7.2)
 - C. MINIMUM 36" CLEAR WIDTH. (R311.7.1)
 - D. HANDRAILS 34" TO 38" HIGH ABOVE TREAD NOSING (R311.7.8.1)
 - E. HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1.25" AND NO MORE THAN 2" CROSS-SECTIONAL DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS. (R311.7.7.3)
 - F. MAXIMUM 4" CLEAR SPACING OPENING BETWEEN RAILS. (R312.1.3)
 - G. WINDER TREADS SHALL COMPLY WITH SECTION R311.7.5.2.1.
 - H. SPIRAL STAIRS SHALL COMPLY WITH SECTION R311.7.10.1.
 - I. LANDING AT A DOOR SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NO LESS THAN 36". (R311.3)
 - J. A LANDING SHALL BE PROVIDED AT THE TOP AND BOTTOM OF STAIRWAYS. (R311.7.6)
41. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD. (R302.7)
42. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9)
43. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION

4. DAMPPROOFING, WHERE REQUIRED, SHALL BE INSTALLED WITH MATERIALS AND AS REQUIRED IN SECTION R606.1.
45. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK. (R302.5.1)
46. AT LEAST ONE DOOR SHALL BE 36" WIDE BY 80" HIGH (R311.2)
47. THE ENTRY/EXIT DOOR MUST OPEN OVER A LANDING NOT MORE THAN 15" BELOW THE THRESHOLD. EXCEPTION: PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING. LANDING SHALL BE NOT MORE THAN 7.75" BELOW THE THRESHOLD. STORM AND SCREEN DOORS ARE PERMITTED TO SWING OVER ALL EXTERIOR STAIRS AND LANDINGS. (R311.3.1)
48. HABITABLE ROOMS, EXCEPT KITCHENS, SHALL NOT BE LESS THAN 7 FEET IN ANY HORIZONTAL DIMENSION (R304.3).
49. THE MINIMUM CEILING HEIGHT FOR HABITABLE SPACE, HALLWAYS, BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND PORTIONS OF BASEMENTS CONTAINING THESE SPACES SHALL BE NOT LESS THAN 7 FEET (R305.1).
50. PROVIDE UNDER FLOOR ACCESS OPENING. IT SHALL BE A
MINIMUM 16" X 24" WHEN THE OPENING IS THROUGH A PERIMETER WALL OR A
MINIMUM 18" X 24" WHEN THE OPENING IS THROUGH A FLOOR. (R608.4)
51. ATTIC AREA HAVING CLEAR HEADROOM OF 30" MUST HAVE AN ACCESS OPENING (22" X 30" MINIMUM). ACCESS SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. IT IS NOT ALLOWED WITHIN A SMALL CLOSET SPACE. (R807.1)
52. PROVIDE 15" MINIMUM BETWEEN THE CENTER OF WATER CLOSET TO ANY SIDE WALL. (CALIF. PLUMB. CODE 407.6)
53. PROVIDE 24" CLEAR SPACE IN FRONT OF ANY WATER CLOSET. (CALIF. PLUMB. CODE 407.6)
54. BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH MECHANICAL VENTILATION CAPABLE OF 50 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE (R303.3) SEE A0.3/GRN14 #25826 FOR ADDITIONAL REQ.
55. SKYLIGHTS AND SLOPED GLAZING SHALL COMPLY WITH SECTION R308.6.
56. VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R612.4.

57. IF REQUIRED BY THE LOCAL CODES, THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D. (R313, I2.2IA17(D))
58. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
59. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. (R314)
60. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)

6. GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED. (LARC R308, LAB SECTION 24.06.4.) FIXED OR OPERABLE PANELS IN SWINGING, SLIDING AND BIFOLD DOORS AND FIXED OR OPERABLE PANELS ADJACENT TO DOORS; FIXED OR OPERABLE WINDOW PANELS WITH PANES LARGER THAN 9 SQUARE FEET AND ARE LESS THAN 18 INCHES ABOVE THE FLOOR, HAVE A TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR AND HAVE ONE OR MORE WALKING SURFACES WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING. GLAZING IN GUARDS AND RAILINGS, ADJACENT TO WET SURFACES, ADJACENT TO STAIRS AND RAMPS, AND ADJACENT TO BOTTOM STAIR LANDINGS.

69. GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):

- A. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOOR ASSEMBLIES.
- B. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
- C. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - 1) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
 - 2) BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
 - 3) TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
 - 4) ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.
- D. GLAZING IN RAILINGS.
- E. GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
- F. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE AND WITHIN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER'S EDGE.
- G. GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS.
- H. GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD.

70. EACH LIGHT OF SAFETY GLAZING MATERIAL INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A PERMANENT LABEL THAT SPECIFIES THE LABELER, AND STATES THAT SAFETY GLAZING MATERIAL HAS BEEN UTILIZED IN SUCH INSTALLATIONS.

71. PRE-FAB FIREPLACES ARE REQUIRED TO HAVE MANUFACTURER, MODEL, AND UNDERWRITER LABORATORIES CERTIFICATION (OR ICC).

72. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B)

73. 50 PERCENT OF NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE SHALL BE RECYCLED AND/OR SALVAGED FOR REUSE IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING CODE, CHAPTER 4, DIVISION 4.4. (R324)



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SHEET

A0.1

AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (SUBCONTRACTOR). SUCH VERIFICATION SHALL BE MADE BEFORE ORDERING MATERIALS, PREFABRICATED ITEMS, AND COMMENCING ANY PORTION OF THE WORK. THESE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, DETAILS AND FINAL ARRANGEMENTS REPRESENTED HERE WITH IN ARE AND SHALL REMAIN THE PROPERTY OF STUDIO BY DESIGN INC.

NOTES TO CONTRACTOR:

1. THESE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, DETAILS AND FINAL ARRANGEMENTS REPRESENTED HERE WITH IN ARE AND SHALL REMAIN THE PROPERTY OF STUDIO BY DESIGN INC.. NO PART OF THIS DOCUMENTATION SHALL BE COPIED, REPRODUCED, ADAPTED, MODIFIED, DISTRIBUTED, SOLD, PUBLISHED OR USED WITHOUT THE WRITTEN CONSENT AND APPROPRIATE COMPENSATION TO STUDIO BY DESIGN INC.. VISUAL CONTACT WITH THESE DESIGNS, DRAWINGS AND DOCUMENTATION SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE LIMITATIONS AND RESTRICTIONS.

2. DO NOT SCALE THE DRAWINGS, DIMENSIONS TAKE PRECEDENCE.

3. ALL EXISTING CONDITIONS TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION. ALL FINDINGS TO BE PROVIDED TO THE DESIGNER, IN WRITING, FOR REVIEW PRIOR TO COMMENCEMENT OF CONSTRUCTION.

4. GENERAL CONTRACTOR TO VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK

5. GENERAL CONTRACTOR TO VERIFY DIMENSIONS AND CONFIGURATION OF EXTERIOR AND INTERIOR WALLS, WINDOWS & DOORS.

6. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY WATER PROOFING.

7. FLOOR ELEVATIONS ARE BASED ON CONTRACTORS OR LICENSED SURVEYOR'S FIELD MEASUREMENTS AND MAY VARY FROM PLANS.

8. THE DESIGNER DOES NOT GUARANTY THAT THE EXISTING CONDITIONS ARE ACCURATE ON THE PLAN.

9. THE CONSTRUCTION DOCUMENTS, PLANS, CALCULATIONS, AND REPORTS ARE COMPLEMENTARY; WHAT IS REQUIRED BY ONE IS AS BINDING AS IF REQUIRED BY ALL. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS. NOTIFY THE DESIGNER FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.

10. UNLESS OTHERWISE INDICATED, PLAN DIMENSIONS ARE TO COLUMN GRID ON CENTERLINES, NOMINAL SURFACE OF MASONRY, FACE OF STUDS AND FACE OF CONCRETE WALLS.

11. "FLOOR LINE" REFERS TO TOP OF CONCRETE SLABS. FINISH FLOORING IS INSTALLED ABOVE THE FLOOR LINE. FOR DEPRESSED FLOORS AND CURBS, SEE STRUCTURAL DRAWINGS.

12. REPETITIVE FEATURES ARE NOT DRAWN IN THEIR ENTIRETY AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.

13. WHERE A DOOR IS LOCATED NEAR CORNER OF ROOM OR PERPENDICULAR TO WALL AND IS NOT LOCATED BY DIMENSION ON PLAN OR DETAILS, DIMENSION SHALL BE 4" FROM FACE OF STUD (WALL) TO FACE OF ROUGH OPENING. DIMENSION SHALL BE 6" FROM FACE OF WALL TO EDGE OF ROUGH OPENING AT CONCRETE WALLS.

14. AT SECURITY WALLS, FULL HEIGHT PARTITIONS SHALL BE SEALED BOTH SIDES WITH ACOUSTIC SEALANT, TOP, BOTTOM, INTERSECTION, DOOR FRAMES, GLAZED OPENING FRAMES, AND ALL OTHER PENETRATIONS.

15. LINE OF EXISTING GRADES, AS SHOWN ON THE BUILDING ELEVATIONS AND SECTIONS ARE APPROXIMATE.

16. VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT PROVIDED IN THIS CONTRACT, OR BY OTHERS.

17. REFER TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND OTHER CATEGORIES OR DRAWINGS FOR ADDITIONAL NOTES.

18. VERIFY SIZE/LOCATION/FINISH/FIRE-RATING, ETC. AND PROVIDE ALL REQUIRED OPENINGS THROUGH FLOORS, WALLS, ACCESS DOORS, FURRING, CURBS, ANCHORS AND INSERTS. PROVIDE ALL BASES AND BLOCKING REQUIRED FOR ACCESSORIES, MECHANICAL, ELECTRICAL AND OTHER EQUIPMENT.

19. ALL FIRE RATED, SOUNDS RATED, AND OTHER SPECIFIED WALL TYPES SHALL BE CONSTRUCTED PER CITY AND/OR STATE REQUIREMENT IN ADDITION TO THAT REQUIRED BY THE DESIGNER, ENGINEER, OR OTHER CONSULTANTS.

20. ALL PENETRATIONS AND OPENINGS SHALL MEET WALL ASSEMBLY FIRE RATINGS AND STC RATINGS.

21. BOXES LOCATED ON OPPOSITE SIDE OF FIRE RATED WALLS & SECURITY WALLS SHALL BE SEPARATED BY A MIN. HORIZONTAL DISTANCE OF 24".

22. SEE STRUCTURAL GENERAL NOTES FOR MINIMUM STUD DEPTH, THICKNESS, FLANGE WIDTH AND SPACING.

23. THE PROJECT CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT ADJACENT PROPERTIES, WORKERS, AND THE OTHER PERSONS DURING THE EXCAVATION AND SITE PREPARATION OPERATIONS.

24. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE

25. ALL WINDOW AND DOOR OPENING DIMENSIONS ARE MEASURED TO FRAMING MEMBERS. WINDOWS AND DOORS SHALL BE ORDERED TO ACCOMMODATE THE PROVIDED OPENINGS.
26. BY SUBMITTING A BID, THE BIDDER AGREES AND WARRANTS THAT HE HAS EXAMINED THE DRAWINGS AND FOUND THAT THEY ARE ADEQUATE FOR PROPER COMPLETION OF THE PROJECT.

27. THE CONTRACTOR SHALL PROCURE AND PAY FOR ALL NECESSARY PERMITS OR CERTIFICATES REQUIRED TO COMPLETE THE WORK SPECIFIED. THE CONTRACTOR SHALL MAKE ANY AND ALL REQUIRED NOTIFICATIONS AND COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL ORDINANCES.

28. ALL TRADES SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS AND PERFORM ALL WORK NECESSARY, INDICATED, REASONABLY INFERRED, OR REQUIRED BY ANY CODE WITH JURISDICTION TO COMPLETE THEIR SCOPE OF WORK FOR A COMPLETE AND PROPERLY FINISHED JOB.

29. IT IS DIRECTLY STIPULATED THAT THE CONTRACTOR SHALL REPAIR AND MAKE GOOD ANY DAMAGE TO ADJOINING PROPERTIES OR IMPROVEMENTS CAUSED BY HIS OPERATIONS.

30. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES, CORRELATING THE ARCHITECTURAL DRAWINGS WITH ANY AND ALL CONSTRUCTION DOCUMENTS OR DRAWINGS.

31. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (SUBCONTRACTOR). SUCH VERIFICATION SHALL BE MADE BEFORE ORDERING MATERIALS, PREFABRICATED ITEMS, AND COMMENCING ANY PORTION OF THE WORK.

32. ALL FRAMING CONDITIONS, NOT SPECIFICALLY COVERED IN THE DRAWINGS SHALL BE IN CONFORMANCE WITH THE GENERAL CONSTRUCTION REQUIREMENTS AND CONVENTIONAL CONSTRUCTION PROVISIONS OF THE LATEST U.B.C. IN ADDITION TO LOCAL CODE REQUIREMENTS.

33. ALL CONDITIONS NOT SPECIFICALLY SHOWN OR DETAILED SHALL BE SUBMITTED TO STUDIO BY DESIGN INC. FOR REVIEW BEFORE THE COMMENCEMENT OF ANY PORTION OF WORK.

34. ANY MATERIALS SUBSTITUTION SHALL BE PERMITTED ONLY UPON THE CONTRACTOR OR SUPPLIER RECEIVING A WRITTEN CONSENT FROM STUDIO BY DESIGN INC..

35. ALL MATERIAL REMOVED UNDER THIS CONTRACT, WHICH IS NOT TO BE SALVAGED, REUSED, OR TURNED OVER TO THE OWNER, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM SITE PRIOR COMPLETION OF PROJECT.
36. STUDIO BY DESIGN INC. DOES NOT TAKE ANY RESPONSIBILITY FOR THE QUALITY OF THE FINISHED CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE THE OWNER WITH A WARRANTY THAT ABIDES BY LOCAL LAWS IF REQUIRED.

37. ANY DEVIATION FROM THESE PLANS WITHOUT THE CONSENT OF STUDIO BY DESIGN INC., SHALL VOID STUDIO BY DESIGN INC. OF ALL RESPONSIBILITY TO PROVIDE ADDITIONAL DRAWINGS OR OTHER CONSTRUCTION DOCUMENTS.

38. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY STUDIO BY DESIGN INC. IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES.

39. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE ALL THE NECESSARY ARRANGEMENTS TO KEEP THE CITY APPROVED PLANS IN LEGIBLE CONDITION.

40. IT IS NOT THE RESPONSIBILITY OF STUDIO BY DESIGN INC. TO PROVIDE THE CONTRACTOR OR THE OWNER ON THIS CONTRACTED PROJECT WITH REPLACEMENT SETS OF DRAWINGS, ADDITIONAL BID SETS, OR ANY OTHER PRINTING OF THESE PLANS.

SECURITY REQUIREMENTS:

1. ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW PORTS IN THE DOOR OR ADJOINING WALL. (6706)

2. SCREENS, BARRICADES, OR FENCES MADE OF A MATERIAL WHICH WOULD PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF, BALCONY, OR SIMILAR SURFACE WHICH IS WITHIN 8 FT. OF THE UTILITY POLE OR SIMILAR STRUCTURES. (6707)

3. WOOD FLUSH-TYPE DOORS SHALL BE 1-3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. 91.6709.1 - DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBIT TO THE JAMB. (6709.4)

4. EVERY DOOR IN A SECURITY OPENING FOR AN APARTMENT HOUSE SHALL BE PROVIDED WITH A LIGHT BULB (60 WATT MIN.) AT A MAXIMUM HEIGHT OF 8 FEET ON THE EXTERIOR. (6708)

5. ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WITH 1/4" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG. (6709.5, 6709.7)

6. PROVIDE DEAD BOLTS WITH HARDENED INSERTS: DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR. DOORS MUST BE OPERABLE FROM THE INSIDE WITHOUT A KEY, SPECIAL KNOWLEDGE, OR SPECIAL EFFORT (LATCH NOT REQUIRED IN B, F, AND S OCCUPANCIES). (6709.2)

7. STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND A HOOK-SHAPED OR AN EXPANDING-LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4". (6709.2)

8. WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16 IN. THICK WITH SHAPED PORTIONS NOT LESS THAN 1/4 IN. THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN. IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 18 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES. STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1-3/8 INCHES AND 3 INCHES IN WIDTH. (91.6709.1 ITEM 2)

9. SLIDING DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL FROM TRACK WHILE IN THE CLOSED POSITION. (6710)

10. SLIDING GLASS DOORS PANELS SHALL BE CLOSED AND LOCKED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. 6717.1

11. METAL OR WOODEN OVERHEAD OR SLIDING DOORS SHALL BE SECURED WITH A CYLINDER LOCK, PADLOCK WITH A MIN. 9/32" DIAMETER HARDENED STEEL SHACKLE AND BOLTED, HARDENED STEEL HASPS, METAL SLIDE BOARD, BOLT OR EQUIVALENT DEVICE UNLESS SECURED ELECTRICALLY OPERATED. (6711)

12. PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL ACCORDION GRATE OR GRILLE-TYPE DOORS AND CYLINDER LOCKS OR PADLOCKS. CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS. (6712)

13. IN GROUP B, F, M, AND S OCCUPANCIES, PANES OF GLAZING WITH AT LEAST ONE DIMENSION GREATER THAN 5 IN. BUT LESS THAN 48 IN. SHALL BE CONSTRUCTED OF TEMPERED OR APPROVED BURGLARY-RESISTANT MATERIAL OR PROTECTED WITH METAL BARS OR GRILLES (6714)

14. GLAZED OPENINGS WITHIN 40" OF THE REQUIRED LOCKING DEVICE OF THE DOOR, WHEN THE DOOR IS IN THE CLOSED AND LOCKED POSITION AND WHEN THE DOOR IS OPENABLE FROM THE INSIDE WITHOUT USE OF KEY, SHALL BE FULLY TEMPERED GLASS PER SECTION 2406, OR APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OF 2". THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO SLIDE GLASS DOORS WHICH CONFORM TO THE PROVISIONS OF SECTION 6710 OR TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN THEIR GREATEST DIMENSIONS. (6713)

15. LOUVERED WINDOWS SHALL BE PROTECTED BY METAL BARS OR GRILLS WITH OPENINGS THAT HAVE AT LEAST ONE DIMENSION OF 6" OR LESS, WHICH ARE CONSTRUCTED TO PRECLUDE HUMAN ENTRY. (6715.3)PC/STR/CORR.LST.103 (REV. 1/1/14) WWW.LADBS.ORG PAGE 2 OF 2

16. OTHER OPENABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. IN GROUP B, F, M AND S OCCUPANCIES, SUCH DEVICES SHALL BE GLIDE BARS, BOLTS, CROSS-BARS, AND/OR PADLOCKS WITH MINIMUM 9/32" HARDENED STEEL SHACKLES AND BOLTED, HARDENED STEEL HASPS. (6715.2)

17. SLIDING WINDOWS SHALL BE PROVIDED WITH LOCKING DEVICES. A DEVICE SHALL BE INSTALLED IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION. 6715.1

18. SLIDING GLASS WINDOWS SASH SHALL BE CLOSED AND LOCKED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. 6717.2.

19. ANY RELEASE FOR METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRECLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24 INCHES FROM THE CLOSEST OPENING THROUGH SUCH METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES THAT EXCEEDS TWO INCHES IN ANY DIMENSION. (6715.4)
20. ALL OTHER OPENINGS OTHER THAN DOORS OR GLAZED OPENINGS MUST BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS OF NOT LESS THAN 6 INCHES IN ONE DIMENSION. (6716.6)

VHFHSZ NOTES:

- A. CLASS A ROOF COVERING IS REQUIRED FOR ALL BUILDINGS. WOOD SHAKES AND SHINGLES ARE NOT PERMITTED. (7207.4, 1505)

B. VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH (0.48 MM) (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH-WIDE (914MM) UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY (704A.1.3)

C. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER (704A.1.5)

D. (ROOF) (ATTIC)(EXTERIOR WALL) VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH 1/4" INCH (6 MM) OPENINGS OR ITS EQUIVALENT. VENTS SHALL NOT BE INSTALLED IN EAVES AND CORNICES (704A.2.1, 704A3.2.1, 704A.2.2, 7207.3)

E. EAVES AND SOFFITS SHALL MEET THE REQUIREMENTS OF SFM 12-7A-3 OR SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE (704A.2.3)

F. EXTERIOR WALLS SHALL BE APPROVED NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL, HEAVY TIMBER, OR LOG WALL CONSTRUCTION OR SHALL PROVIDE PROTECTION FROM THE INTRUSION OF FLAMES AND EMBERS IN ACCORDANCE WITH STANDARD SFM 12-7A-1 (704A.3.1)

G. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF FOUNDATION TO THE ROOF, AND TERMINATE AT 2-INCH (50.8 MM) NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE (704A.3.2)

H. EXTERIOR WINDOWS, WINDOW WALLS, GLAZE DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING- GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR HAVE A FIRE- RESISTANCE RATING OF NOT LESS THAN 20 MINUTES, WHEN TESTED ACCORDING TO ASTM E 2010, OR CONFORM TO THE PERFORMANCE REQUIREMENTS OF SFM 12-7A-2 (704A.3.2.2)

I. EXTERIOR DOOR ASSEMBLIES SHALL CONFORM TO THE PERFORMANCE REQUIREMENTS OF STANDARD SFM 12-7A-1 OR SHALL BE APPROVED NONCOMBUSTIBLE CONSTRUCTION, OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1 3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1 1/4 INCHES THICK, OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO ASTM E 2074. (EXCEPTION: NONCOMBUSTIBLE OR EXTERIOR FIRE-RETARDANT TREATED WOOD VEHICLE ACCESS DOORS) (704A.3.2.3)

J. DECKING, SURFACES, STAIR TREADS, RISERS, AND LANDINGS OF DECKS, PORCHES, AND BALCONIES WHERE ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET (3048 MM) OF THE PRIMARY STRUCTURE SHALL BE CONSTRUCTED OF HEAVY TIMBER, NON COMBUSTIBLE OR OTHER APPROVED MATERIALS PER SEC.704A.4.1

K. THE UNDERSIDE OF CANTILEVERED AND OVERHANGING APPENDAGES AND FLOOR PROJECTIONS SHALL MAINTAIN THE IGNITION- RESISTANT INTEGRITY OF EXTERIOR WALLS, OR THE PROJECTION SHALL BE ENCLOSED TO THE GRADE (704A.4.2.1)

L. BUILDINGS SHALL HAVE ALL UNDERFLOOR AREAS COMPLETELY ENCLOSED TO THE GRADE WITH CONSTRUCTION AS REQUIRED FOR EXTERIOR WALLS (704A.4.2.2, 7207.1)

M. ALL UTILITIES, PIPES, FURNANCES, WATER HEATERS OR OTHER MECHANICAL DEVICES LOCATED IN AN EXPOSED UNDER-FLOOR AREA OF A RESIDENTIAL BUILDING SHALL BE ENCLOSED WITH MATERIALS AS REQUIRED FOR 1-HOUR FIRE-RESISTIVE CONSTRUCTION.(7207.2)

N. THE SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS AND BE FIRE STOPPED PER 704A.1.2.

O. NO TRELIS IS PERMITTED WITHIN 10 FEET OF THE PRIMARY STRUCTURE.

P. TRELLIS MORE THAN 10 FEET FROM THE PRIMARY STRUCTURE SHALL BE CONSTRUCTED OF HEAVY TIMBER OR NON COMBUSTIBLE MATERIALS. MINIMUM OF 4 INCHES SPACING IS REQUIRED BETWEEN THE MEMBERS. (INFORMATION BULLETIN NO. P/BC 2008-023).



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ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (SUBCONTRACTOR). SUCH VERIFICATION SHALL BE MADE BEFORE ORDERING MATERIALS, PREFABRICATED ITEMS, AND COMMENCING ANY PORTION OF THE WORK. THESE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, DETAILS AND FINAL ARRANGEMENTS REPRESENTED HERE WITH IN ARE AND SHALL REMAIN THE PROPERTY OF STUDIO BY DESIGN INC.

REV.	DESCRIPTION	DATE

08/16/2018

SHEET

A0.2



STORM WATER POLLUTION CONTROL
(2017 Los Angeles Green Building Code)

FORM
GRN 1

Storm Water Pollution Control Requirements for Construction Activities
Minimum Water Quality Protection Requirements for All Construction Projects

The following notes shall be incorporated in the approved set of construction/grading plans and represents the minimum standards of good housekeeping which must be implemented on all construction projects.

Construction means constructing, clearing, grading or excavation that result in soil disturbance. Construction includes structure teardown (demolition). It does not include routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of facility; emergency construction activities required to immediately protect public health and safety; interior remodeling with no outside exposure of construction material or construction waste to storm water; mechanical permit work; or sign permit work. (Order No. 01-182, NPDES Permit No. CA5004001 – Part 5: Definitions)

- Eroded sediments and pollutants shall be retained on site and shall not be transported from the site via sheet flow, swales, area drains, natural drainage or wind.
- Stockpiles of earth and other construction-related materials shall be covered and/or protected from being transported from the site by wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and shall not contaminate the soil nor the surface waters. All approved toxic storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of properly and shall not be washed into the drainage system.
- Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained on the project site.
- Excess or waste concrete may not be washed into the public way or any drainage system. Provisions shall be made to retain concrete waste on-site until it can be appropriately disposed of or recycled.
- Trash and construction-related solid wastes must be deposited into a covered receptacle to prevent contamination of storm water and dispersal by wind.
- Sediments and other materials shall not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the street/public ways. Accidental depositions must be swept up immediately and may not be washed down by rain or by any other means.
- Retention basins of sufficient size shall be provided to retain storm water runoff on-site and shall be properly located to collect all tributary site runoff.
- Where retention of storm water runoff on-site is not feasible due to site constraints, runoff may be conveyed to the street and the storm drain system provided that an approved filtering system is installed and maintained on-site during the construction duration.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

(Rev. 01/17/17)

Page 1 of 1

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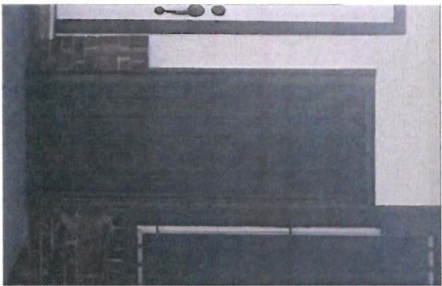
VOC AND FORMALDEHYDE LIMITS
2017 Los Angeles Green Building Code
(incorporate this form into the plans)

FORM
GRN 11

The tables below are taken from the 2017 Los Angeles Green Building Code
Tables 4.504.1, 4.504.2, 4.504.3, 4.504.4, 4.504.5, 4.504.6, 4.504.7, 4.504.8, 4.504.9, 4.504.10, 4.504.11, 4.504.12, 4.504.13, 4.504.14, 4.504.15, 4.504.16, 4.504.17, 4.504.18, 4.504.19, 4.504.20, 4.504.21, 4.504.22, 4.504.23, 4.504.24, 4.504.25, 4.504.26, 4.504.27, 4.504.28, 4.504.29, 4.504.30, 4.504.31, 4.504.32, 4.504.33, 4.504.34, 4.504.35, 4.504.36, 4.504.37, 4.504.38, 4.504.39, 4.504.40, 4.504.41, 4.504.42, 4.504.43, 4.504.44, 4.504.45, 4.504.46, 4.504.47, 4.504.48, 4.504.49, 4.504.50, 4.504.51, 4.504.52, 4.504.53, 4.504.54, 4.504.55, 4.504.56, 4.504.57, 4.504.58, 4.504.59, 4.504.60, 4.504.61, 4.504.62, 4.504.63, 4.504.64, 4.504.65, 4.504.66, 4.504.67, 4.504.68, 4.504.69, 4.504.70, 4.504.71, 4.504.72, 4.504.73, 4.504.74, 4.504.75, 4.504.76, 4.504.77, 4.504.78, 4.504.79, 4.504.80, 4.504.81, 4.504.82, 4.504.83, 4.504.84, 4.504.85, 4.504.86, 4.504.87, 4.504.88, 4.504.89, 4.504.90, 4.504.91, 4.504.92, 4.504.93, 4.504.94, 4.504.95, 4.504.96, 4.504.97, 4.504.98, 4.504.99, 4.505.1, 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Door 150.jpg



Door 151.jpg



Door 152.jpg



Door 153.jpg



Window 101.jpg



Window 102.jpg



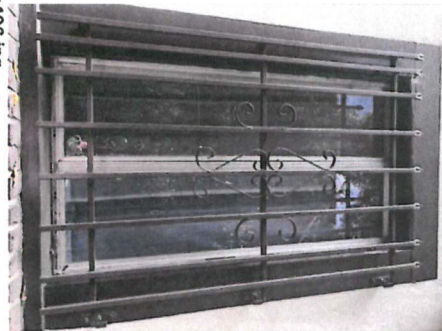
Window 103.jpg



Window 104.jpg



Window 105.jpg



Window 106.jpg



Window 107.jpg



Window 108.jpg



Window 109.jpg



Window 110.jpg



Window 111.jpg



Window 112.jpg



Window 113.jpg

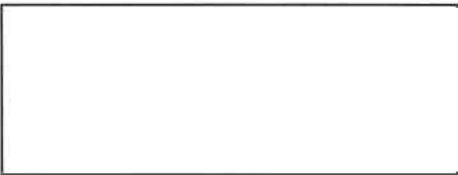


Window 114.jpg



Window 115.jpg

REV.	DESCRIPTION	DATE



STUDIO BY DESIGN INC.

10935 CAMARILLO STREET
TOLUCA LAKE, CA 91602

P: 818-506-6671
F: 818-506-6673
E: CONTACT@STUDIOBYDESIGN.ORG

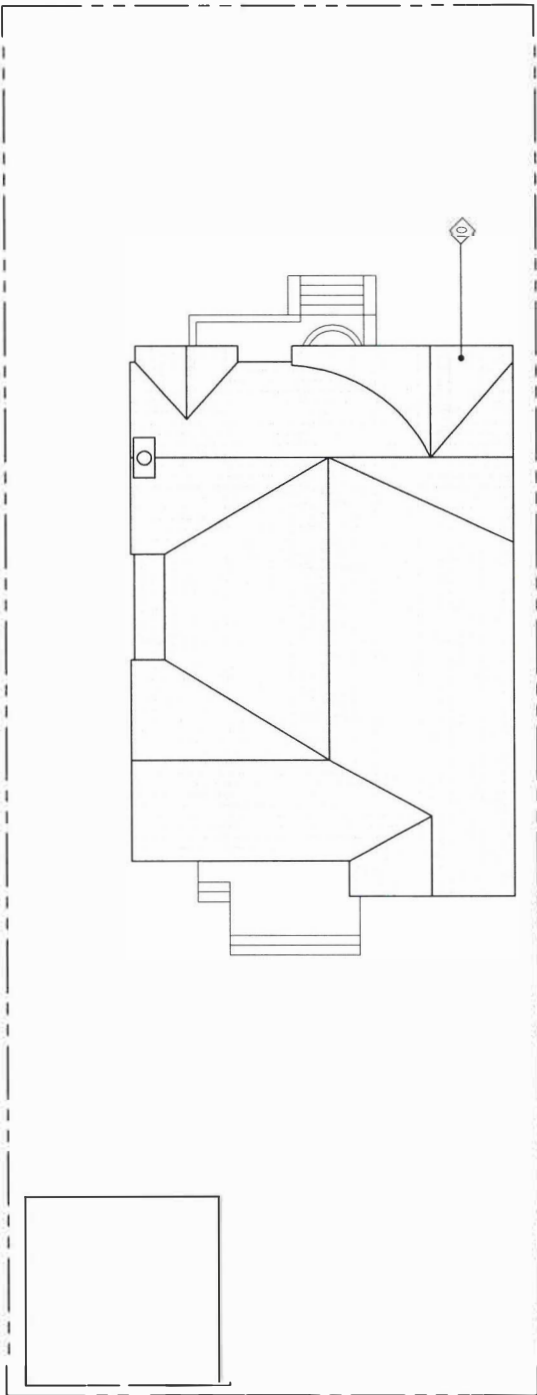
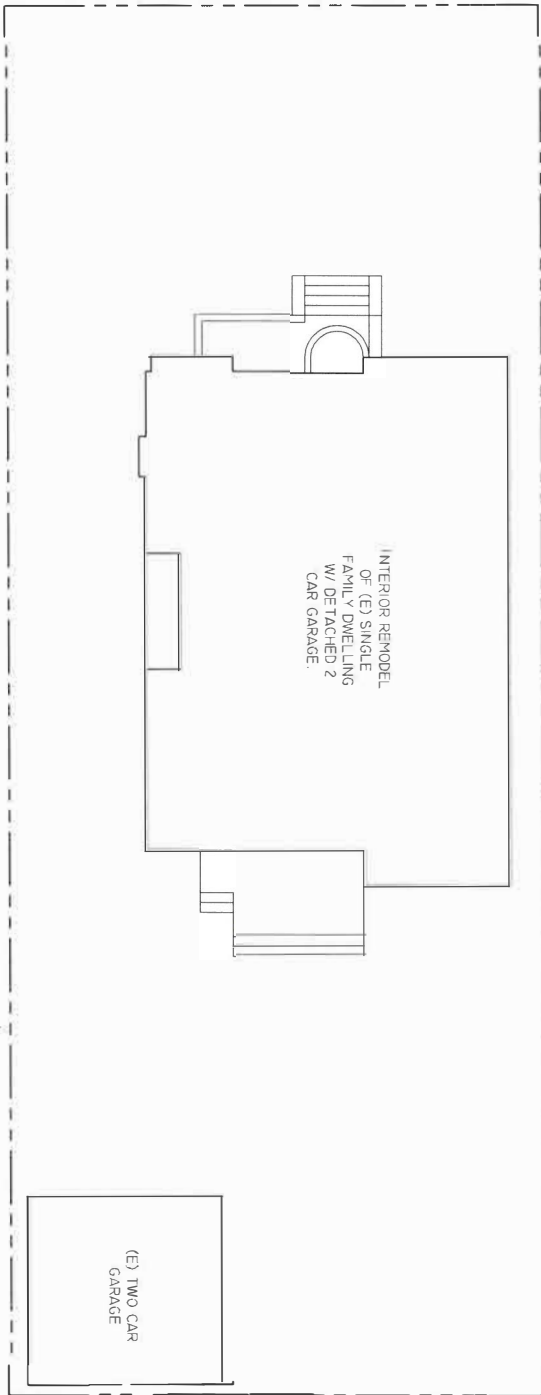


ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (SUBCONTRACTOR). SUCH VERIFICATION SHALL BE MADE BEFORE ORDERING MATERIALS, PREFABRICATED ITEMS, AND COMMENCING ANY PORTION OF THE WORK. THESE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, DETAILS AND FINAL ARRANGEMENTS REPRESENTED HERE WITH IN ARE AND SHALL REMAIN THE PROPERTY OF STUDIO BY DESIGN INC.

08/16/2018
SHEET
A0.4

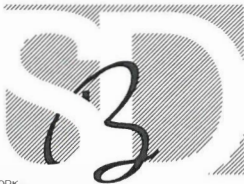
ARCH. KEYNOTES:

◊ (E) ROOFING FORM TO REMAIN. (E) SHINGLES TO BE REMOVED AND REPLACED W/ CERTAINTED LANDMARK SOLARS CRYSTAL.



RFA AREA TABULATION

REV.	DESCRIPTION	DATE
1	EXISTING PER ASSESSOR	1/6/29
2	EXISTING S.F.D.	0
3	EXISTING S.F.D.	1/6/29



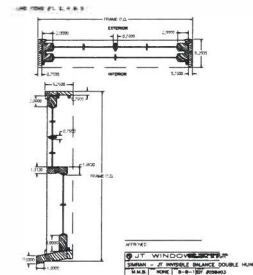
STUDIO BY DESIGN INC.

10935 CAMARILLO STREET
TOLUCA LAKE, CA 91602

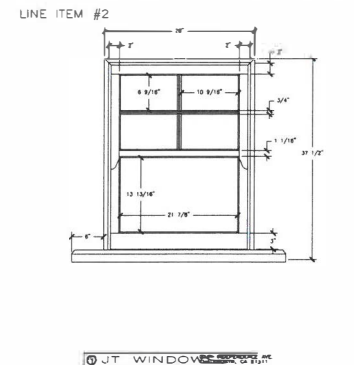
P: 818-506-6671
F: 818-506-6673
E: CONTACT@STUDIOBYDESIGN.ORG

ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (SUBCONTRACTOR). SUCH VERIFICATION SHALL BE MADE BEFORE ORDERING MATERIALS, PREFABRICATED ITEMS, AND COMMENCING ANY PORTION OF THE WORK. THESE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, DETAILS AND FINAL ARRANGEMENTS REPRESENTED HERE WITH IN ARE AND SHALL REMAIN THE PROPERTY OF STUDIO BY DESIGN INC.

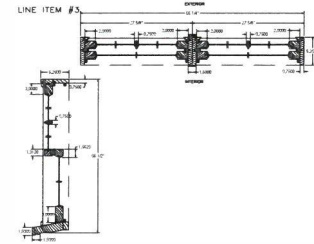
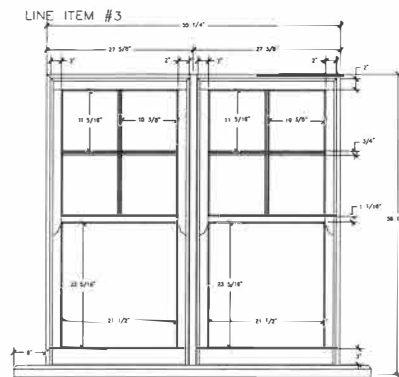
WINDOW #106.



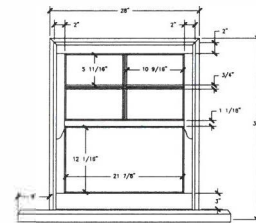
WINDOW #107



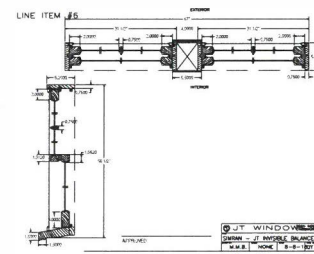
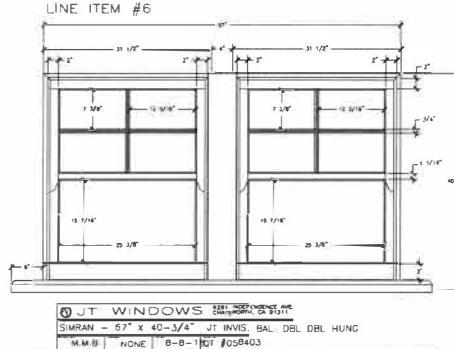
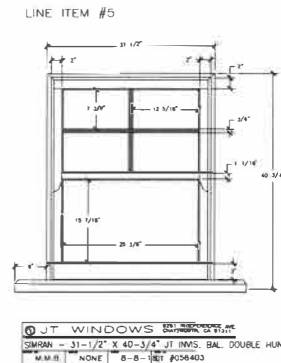
WINDOW #109 & III



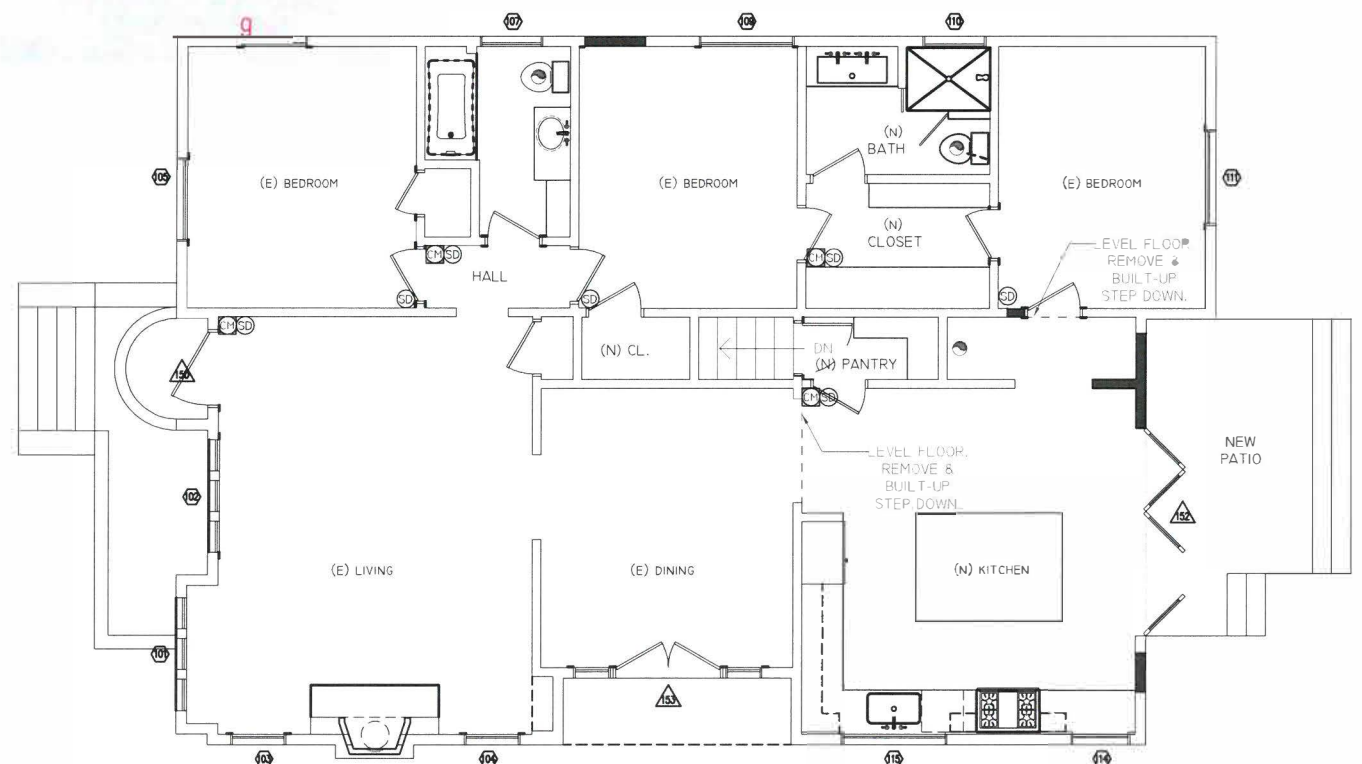
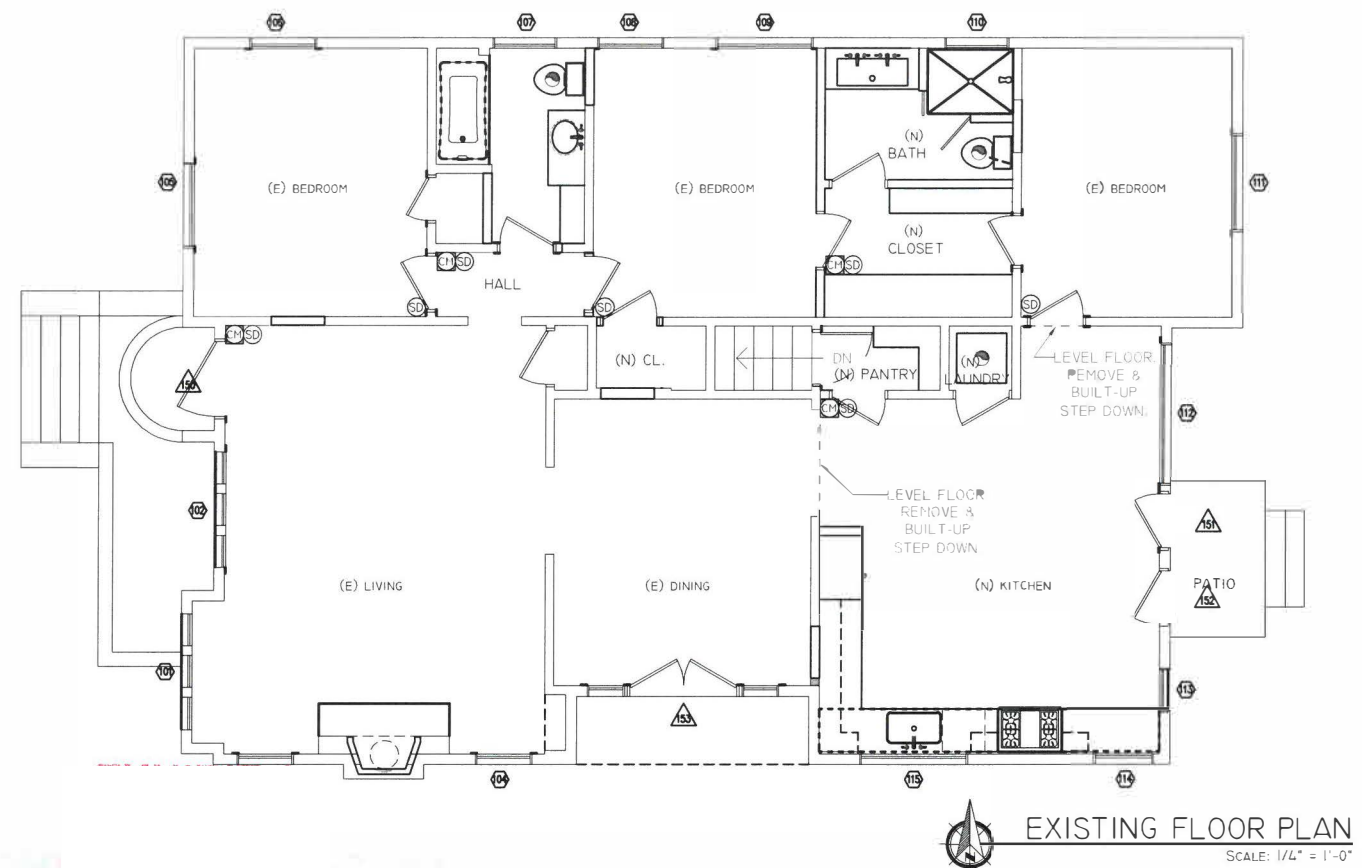
WINDOW #110







WINDOW #114 WINDOW #115




#	Window Type		Size (w x h)		Frame Material		Sash Materials		Glazing		Lites Per Pane		Notes
	Existing	Proposed	Existing	Proposed	Existing	Proposed	Existing	Proposed	Existing	Proposed	Existing	Proposed	
101.	Casement	To Remain	64x57	To Remain	Wood	To Remain	Wood	To Remain	Single	To Remain	8	To Remain	NO CHANGE
102	Casement	To Remain	66x57	To Remain	Wood	To Remain	Wood	To Remain	Single	To Remain	8	To Remain	NO CHANGE
103	Casement	To Remain	30 x25	To Remain	Wood	To Remain	Wood	To Remain	Single	To Remain	4	To Remain	NO CHANGE
104	Casement	To Remain	30 x25	To Remain	Wood	To Remain	Wood	To Remain	Single	To Remain	4	To Remain	NO CHANGE
105	Casement	To Remain	72x57	To Remain	Wood	To Remain	Wood	To Remain	Single	To Remain	8	To Remain	NO CHANGE
106	Sliding	Double Hung	30x57	SAME	Wood	To Remain	Aluminum	Wood	Single	Single	1 4 top and 1		
107	Sliding	Double Hung	28x37	SAME	Wood	Wood	Aluminum	Wood	Single	Single	1 4 top and 1		
108	Sliding	Remove and Infill	36x24	N/A	Wood	N/A	Aluminum	N/A	Single	N/A	N/A		infill
109	Sliding	Double Double Hung	55x56	SAME	Wood	To Remain	Aluminum	Wood	Single	Single	1 2x 4 top and		
110	Sliding	Double Hung	28x34	SAME	Wood	Wood	Aluminum	Wood	Single	Single	1 2x 4 top and 1		
111	Sliding	Double Double Hung	55x56	SAME	Wood	To Remain	Aluminum	Wood	Single	Single	1 2x 4 top and 1		
112	Sliding	Remove and Infill	79x68	N/A	Wood	N/A	Wood	N/A	Single	N/A	1	N/A	infill
113	Sliding	Remove and Infill	24x66	N/A	Wood	N/A	Aluminum	N/A	Single	N/A	1	N/A	infill
114	Double Hung	To Remain	31x41	SAME	Wood	Wood	Wood	Wood	Single	Single	4 top and 1	4 top and 1	
115	Sliding	Double Double Hung	67x41	SAME	Wood	Wood	Aluminum	Wood	Single	Single	1 2x 4 top and		
#	Door Type		Size		Door Materials		Panels		Number of Lites		Side Lites		Notes
	Existing	Proposed	Existing	Proposed	Existing	Proposed	Existing	Proposed	Existing	Proposed	Existing	Proposed	
150	Panel	To Remain	42x84	To Remain	Wood	To Remain	1	To Remain	0	To Remain	0	To Remain	
151	Panel with g	Remove	30x84	N/A	Wood	N/A	1	N/A	10	N/A	0	N/A	
152	Panel with g	Folding	30x84	124" x 93"	Wood	Steel	1		10	4 per	0	0	
153	French	To Remain	107x84	To Remain	Wood	To Remain	2	To Remain	10 per	To Remain	2	To Remain	



 DEMOLISH
 PROJECT OF WALL ABOVE/BELOW
 EXISTING TO REMAIN
 NEW WALL

PROPOSED FLOOR PLAN



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TOLUCA LAKE, CA 91602

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PHOTOS AND COMPENSING ARE A PORTION OF THE
GROSS INCOME.

[illegible]

08/16/2018

SHEET

Al.I

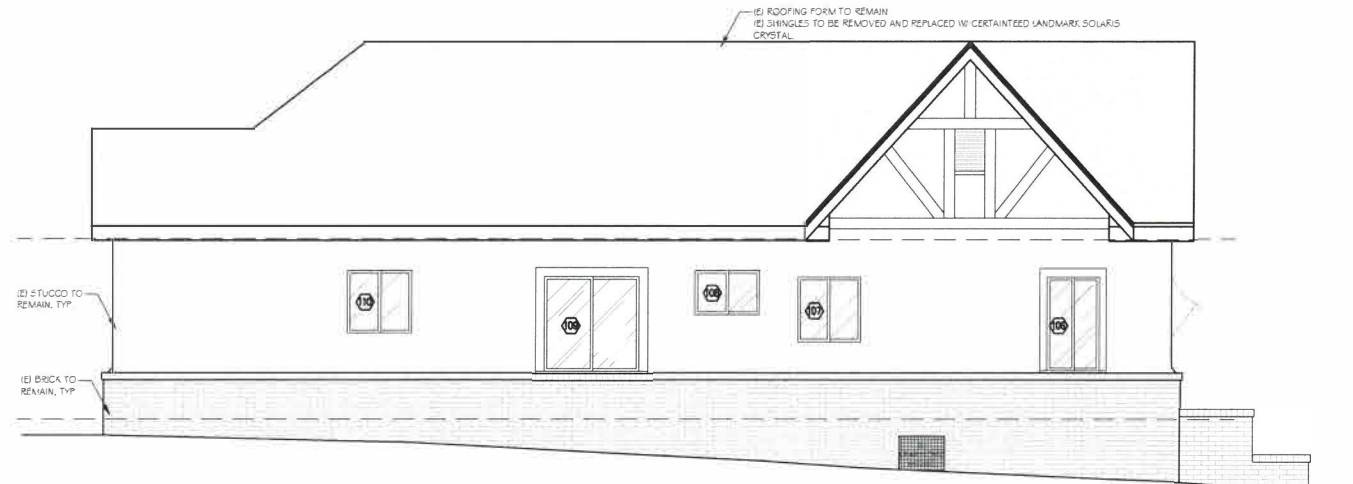
ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (SUBCONTRACTOR). SUCH VERIFICATION SHALL BE MADE BEFORE ORDERING MATERIALS, PREFABRICATED ITEMS, AND COMMENCING ANY PORTION OF THE WORK. THESE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, DETAILS AND FINAL ARRANGEMENTS REPRESENTED HERE WITH IN ARE AND SHALL REMAIN THE PROPERTY OF STUDIO BY DESIGN INC.

KEYNOTES:

1. MINIMUM 7/8" STUCCO.
2. (N) STUCCO TO BE PATCHED AROUND (N) OPENING(S) TO MATCH EXISTING.
3. (E) ROOFING FORM TO REMAIN. (E) SHINGLES TO BE REMOVED AND REPLACED W/ CERTAINTED LANDMARK SOLARIS CRYSTAL GREY ASPHALT SHINGLES.



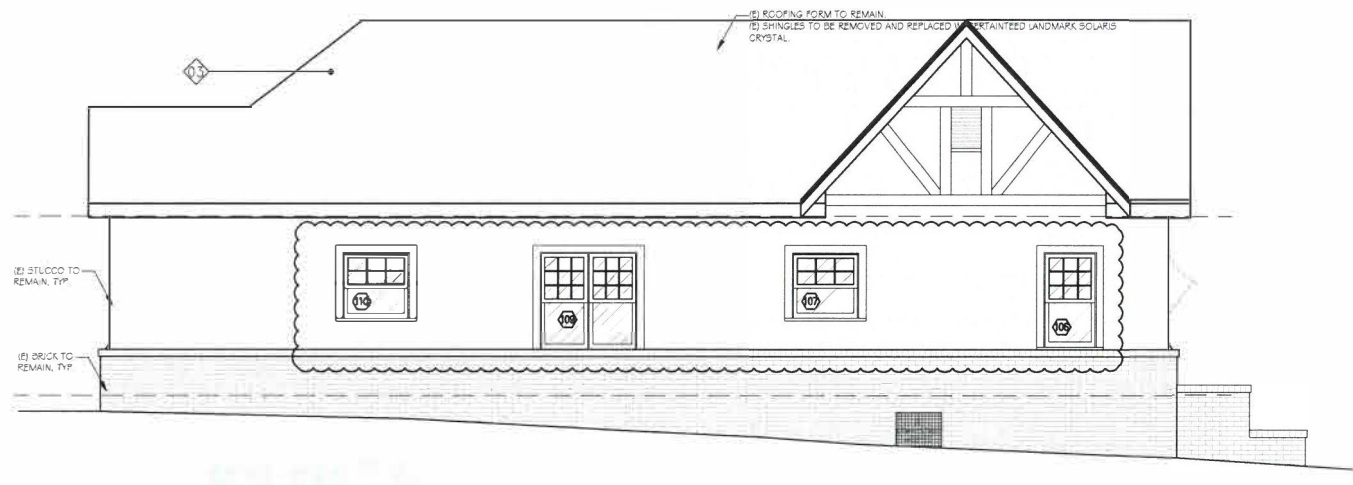
1 EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



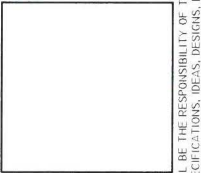
1 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



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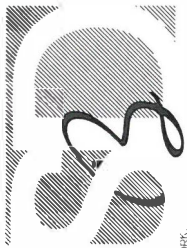
REV.	DESCRIPTION	DATE

08/16/2018
SHEET
A2.1

ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (SUBCONTRACTOR). SUCH VERIFICATION SHALL BE MADE BEFORE ORDERING MATERIALS, PREFABRICATED ITEMS, AND CORRECTING ANY PORTION OF THE WORK. THESE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, DETAILS AND FINAL ARRANGEMENTS REPRESENTED HERE WITHIN ARE AND SHALL REMAIN THE PROPERTY OF STUDIO BY DESIGN INC.

KEYNOTES:

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REV	DESCRIPTION	DATE

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A2.2

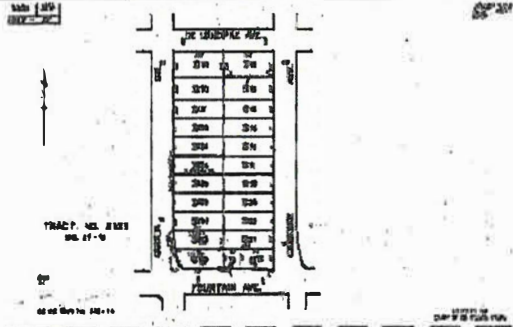
ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (SUBCONTRACTOR). SUCH VERIFICATION SHALL BE MADE BEFORE ORDERING MATERIALS, PREFABRICATED ITEMS, AND COMMENCING ANY PORTION OF THE WORK. THESE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, DETAILS AND FINAL ARRANGEMENTS REPRESENTED HERE WITHIN ARE AND SHALL REMAIN THE PROPERTY OF STUDIO BY DESIGN INC.

Window/Door Schedule Examples (2 of 4)

VICINITY MAP



BLOCK MAP



DRAWING LIST

- T-1 TITLE BLOCK
- A-1 SITE & LANDSCAPE PLAN
- A-2 EXISTING, DEMO & NEW PLAN
- A-3 WINDOW SCHEDULE
- A-4 WINDOW DETAILS
- A-4.1 INSTALLED WINDOWS PICTURES
- A-5 EXISTING ELEVATIONS
- A-6 EXISTING ELEVATIONS
- A-7 PROPOSED ELEVATIONS
- A-8 PROPOSED ELEVATIONS
- A-9 PROJECT MATERIALS
- A-9.1 PROPOSED FRONT PORCH
- A-10 HOUSE PICTURES
- A-11 NEIGHBORHOOD PICTURES

SCOPE OF WORK

- 1. ADD 388 sq.ft. TO SINGLE FAMILY DWELLING
- 2. REMOVE AND REPLACE (E) WINDOWS

LEGAL DESCRIPTION

PROJECT DESCRIPTION

TOTAL LOT AREA	6,757 sq.ft.
EXISTING LIVING AREA	1,610 sq.ft.
NEW ADDITION AREA	388 sq.ft.
TOTAL LIVING AREA	1,998 sq.ft.
(E) DETACHED 2-CAR GARAGE	Yes
ZONE	R1-1-HPOZ
# OF STORIES	1
BUILDING HEIGHT	



TITLE

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

T-1

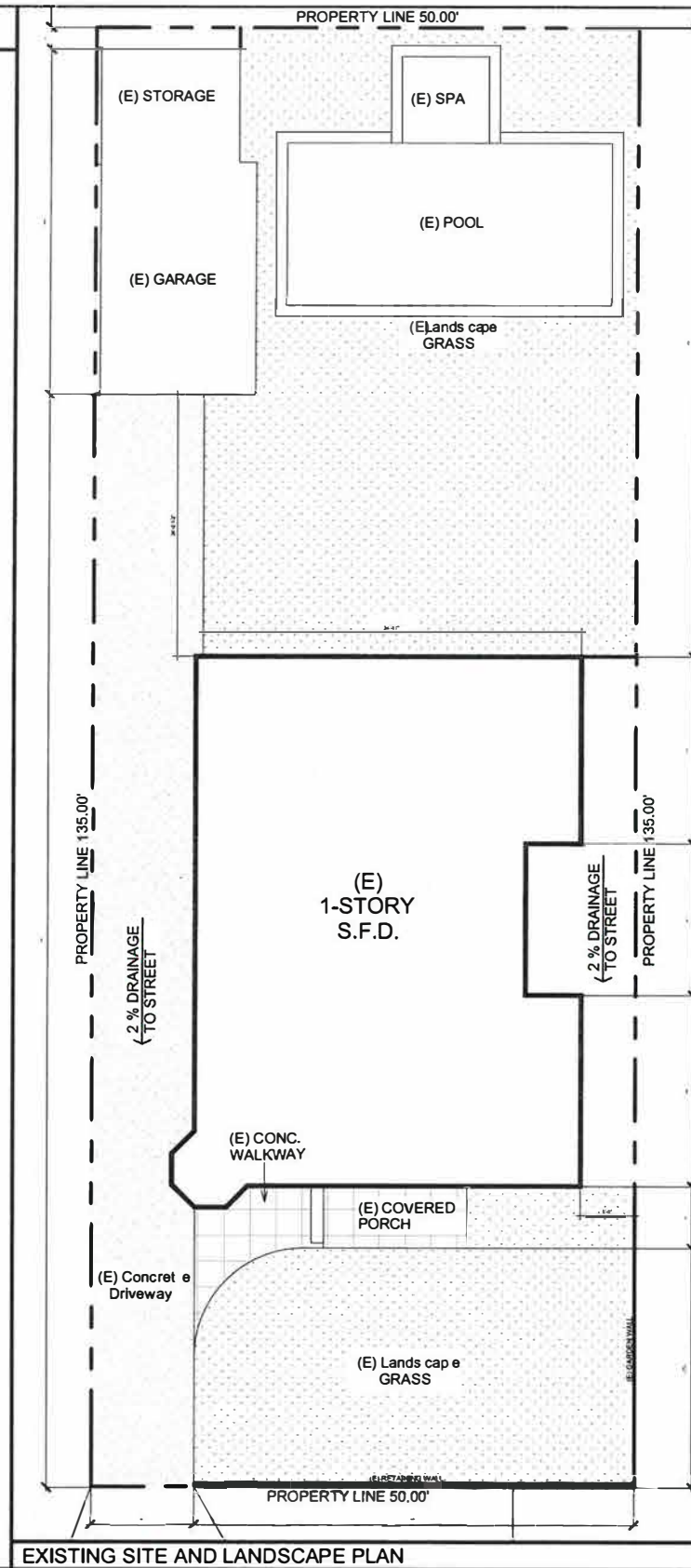
SCALE

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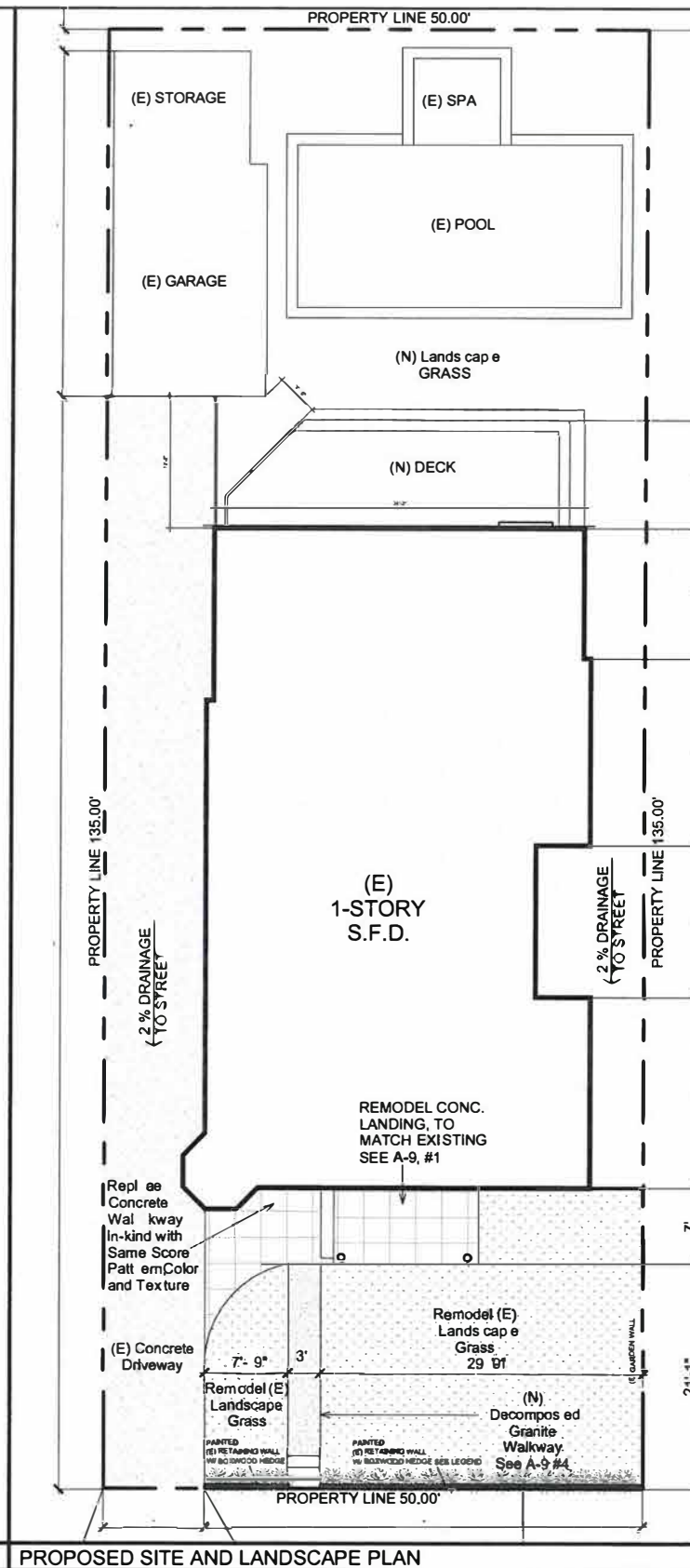


LEGEND

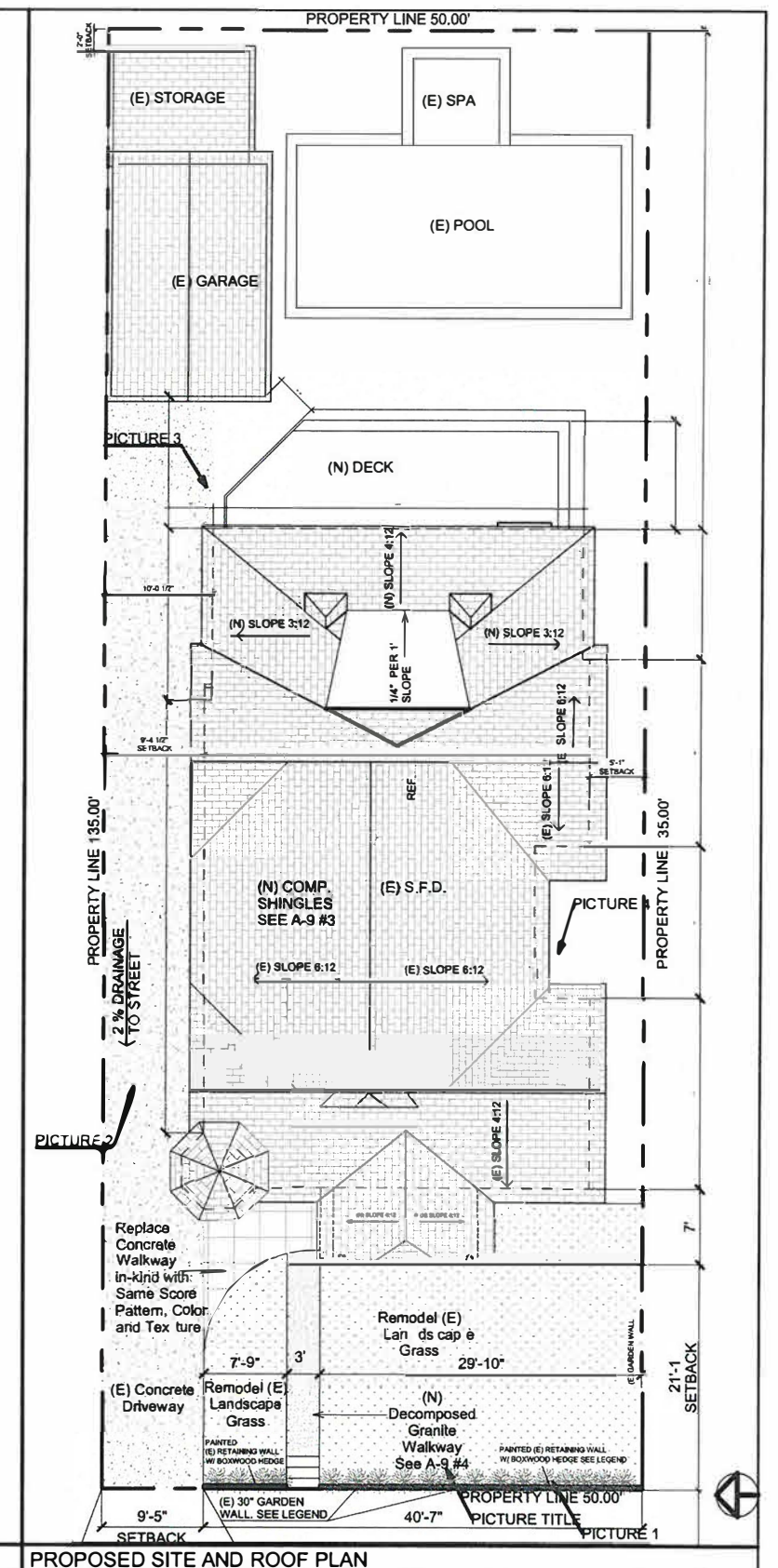
-  ROOF
-  18"x18" SCORED CONCRETE TO BE RESTORED
-  GRASS
-  CONCRETE
-  DECOMPOSED GRANITE
-  RETAINING WALL - Existing front wall assumed to be grandfathered based on original photo, proposing new stucco to be applied to existing wall. Stucco concrete cinder block retaining wall at the front property line to be painted same color as the body of the house.



EXISTING SITE AND LANDSCAPE PLAN



PROPOSED SITE AND LANDSCAPE PLAN



PROPOSED SITE AND ROOF PLAN

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SITE PLAN & LANDSCAPE PLAN

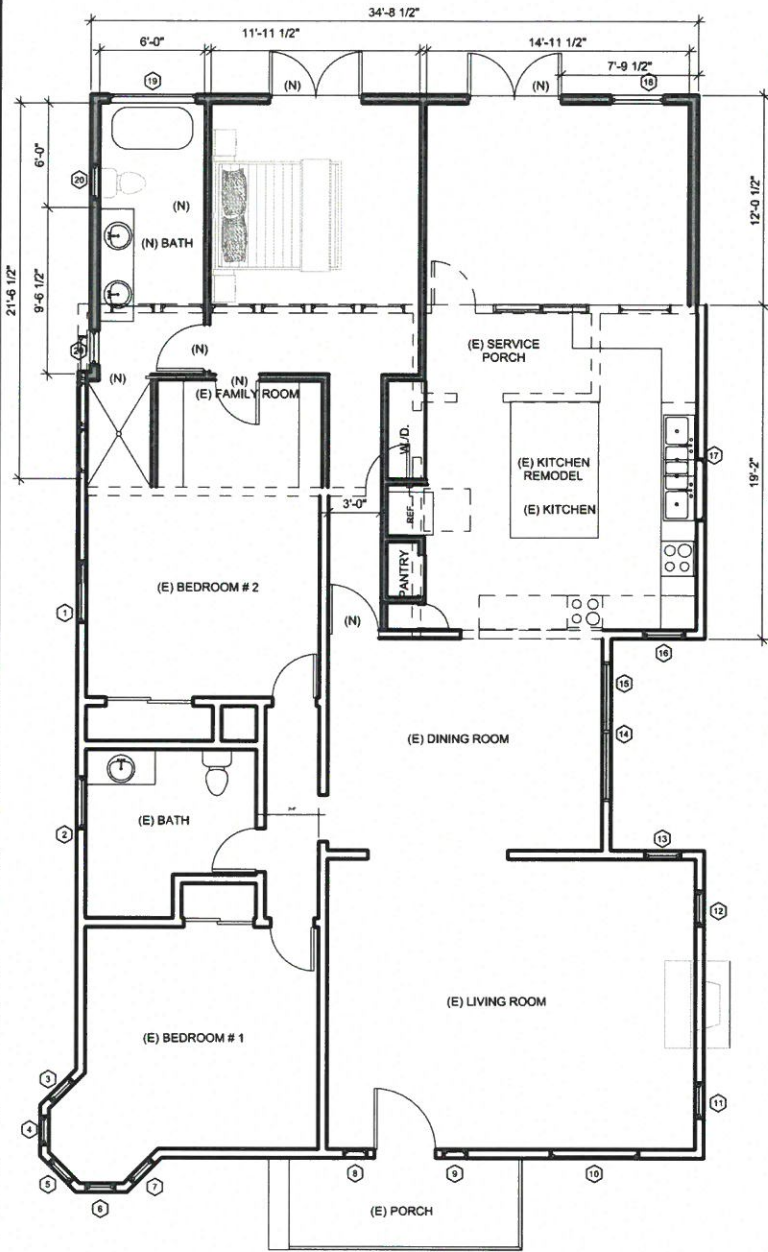
PROJECT NUMBER 250
DATE 01/15/2018
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A-1

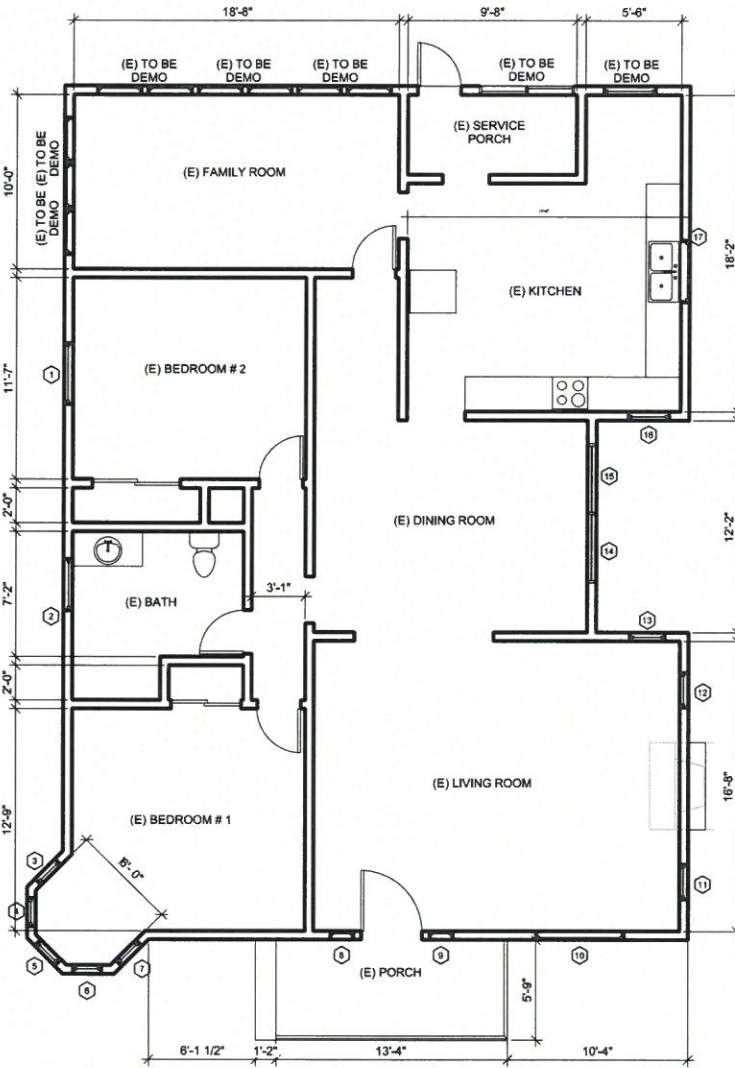
SCALE 1/16" = 1'-0"

WALL LEGEND

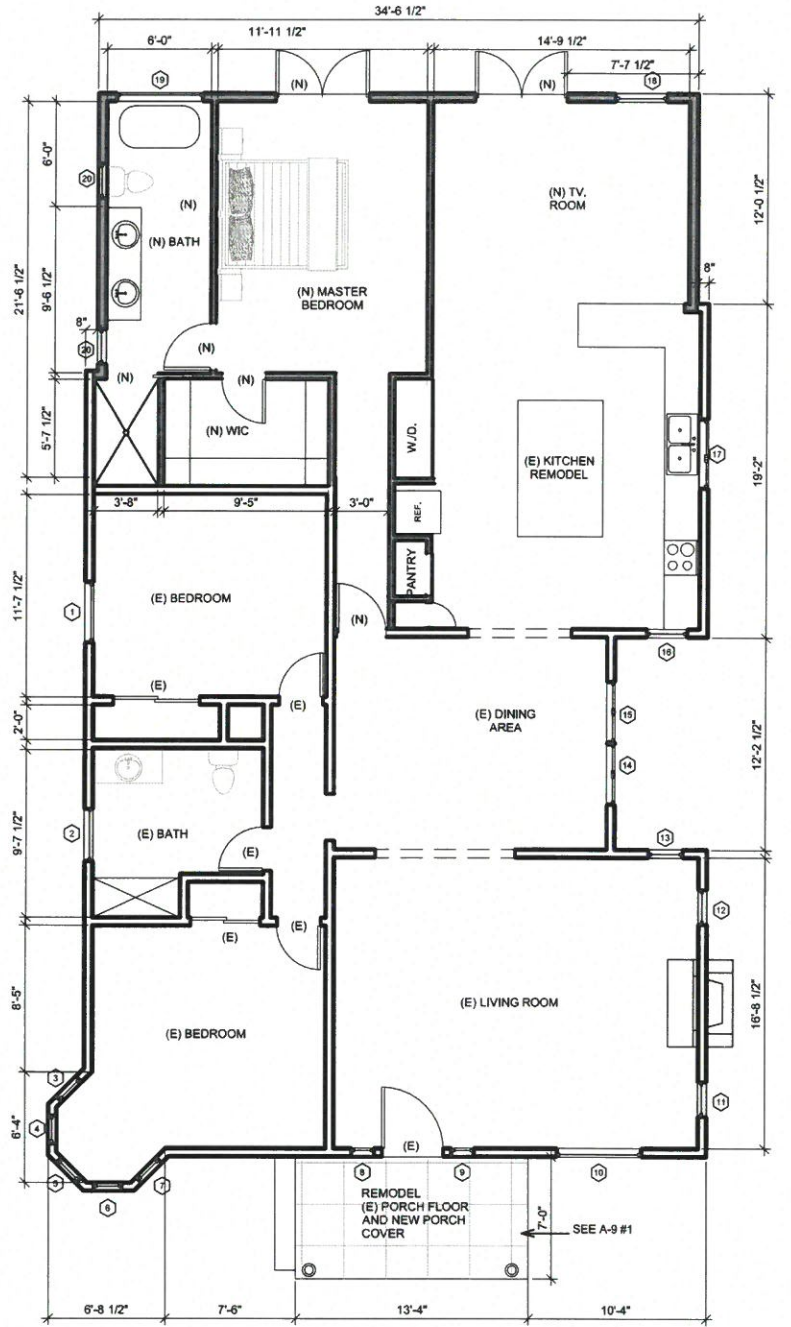
- NEW WALL
- EXISTING WALL
- DEMO WALL



DEMO PLAN



EXISTING PLAN



PROPOSED PLAN

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EXISTING, DEMO &
PROPOSED PLAN

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A-2

SCALE 3/32" = 1'-0"

#	WINDOW TYPE		SIZE		WINDOW CASING			MATERIALS SASH		GLAZING		LITES PER PANE		MANUFACTURER
	Existing	Proposed	Existing	Proposed	Existing	To remain	Color	Existing	Proposed	Existing	Proposed	Existing	Proposed w/ .9" wide mullion	Proposed
①	Dbl louver	Dbl Casemt	46" x 33"	46" x 33"	Wood	Wood	White	2 inch	2 inch	Glass blade	Single	N/A	N/A	Paramount Windows
②	Sngl louver	Awning	33 1/2" x 27"	33 1/2" x 27"	Wood	N/A	White	2 inch	2 inch	Glass blade	N/A	N/A	N/A	Paramount Windows
③	Sngl louver	Full casemt	18" x 59"	18" x 59"	Wood	Wood	White	2 inch	2 inch	Glass blade	Single	N/A	9	Paramount Windows
④	Sngl louver	Full casemt	18" x 59"	18" x 59"	Wood	Wood	White	2 inch	2 inch	Glass blade	Single	N/A	9	Paramount Windows
⑤	Sngl louver	Full casemt	18" x 59"	18" x 59"	Wood	Wood	White	2 inch	2 inch	Glass blade	Single	N/A	9	Paramount Windows
⑥	Sngl louver	Full casemt	18" x 59"	18" x 59"	Wood	Wood	White	2 inch	2 inch	Glass blade	Single	N/A	9	Paramount Windows
⑦	Sngl louver	Full casemt	18" x 59"	18" x 59"	Wood	Wood	White	2 inch	2 inch	Glass blade	Single	N/A	9	Paramount Windows
* ⑧	Fixed	Fixed	14" x 75 1/2"	14" x 75 1/2"	Wood	Wood	White	2 inch	2 inch	Textured & Colored	Single	N/A	N/A	Paramount Windows
* ⑨	Fixed	Fixed	14" x 75 1/2"	14" x 75 1/2"	Wood	Wood	White	2 inch	2 inch		Single	N/A	N/A	Paramount Windows
⑩	Fixed	To remain	57 1/2" x 51 1/2"	57 1/2" x 51 1/2"	Wood	Wood	White	2 inch	2 inch	Single	To remain	N/A	9	Paramount Windows
⑪	Sngl louver	Btm: Fixed Top: Casemt	22 1/2" x 69 1/2"	22 1/2" x 69 1/2"	Wood	Wood	White	2 inch	2 inch	Glass blade	Single	N/A	(2) 9	Paramount Windows
⑫	Sngl louver	Btm: Fixed Top: Casemt	22 1/2" x 69 1/2"	22 1/2" x 69 1/2"	Wood	Wood	White	2 inch	2 inch	Glass blade	Single	N/A	(2) 9	Paramount Windows
⑬	Sngl louver	Dbl Casemt	28" x 44"	28" x 44"	Wood	Wood	White	2 inch	2 inch	Glass blade	Single	N/A	N/A	Paramount Windows
⑭	(2) Sngl louvers	(2) Dbl Casemts	44" x 44"	44" x 44"	Wood	Wood	White	2 inch	2 inch	Glass blade	Single	N/A	N/A	Paramount Windows
⑮	(2) Sngl louvers	(2) Dbl Casemts	44" x 44"	44" x 44"	Wood	Wood	White	2 inch	2 inch	Glass blade	Single	N/A	N/A	Paramount Windows
⑯	Dbl hung	Casement	26" x 30"	2'-4" x 2'-8"	Wood	Wood	White	2 inch	2 inch	Single	Single	N/A	N/A	Paramount Windows
⑰	Sngl louver	Dbl Casemt	3'-6 1/2" x 2'-11 1/2"	3' -6 1/2" x 2' -11 1/2"	Wood	Wood	White	2 inch	2 inch	Glass blade	Single	N/A	N/A	Paramount Windows
* ⑱	N/A	Dbl Casemt	N/A	40" x 32 1/2"	N/A	Wood	White	N/A	2 inch	N/A	Single	N/A	N/A	Paramount Windows
* ⑲	N/A	Fixed	N/A	3'-0" x 4'-0"	N/A	Wood	White	N/A	2 inch	N/A	Single	N/A	N/A	Paramount Windows
* ⑳	N/A	Casement	N/A	2'-0" x 3'-0"	N/A	Wood	White	N/A	2 inch	N/A	Single	N/A	N/A	Paramount Windows

* Proposed windows were not Installed prior to submitting application

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WINDOW SCHEDULE

note:
At time of application submittal, Existing
windows were removed and Proposed windows
have been Installed

PROJECT NUMBER 250
DATE 01/15/2018
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CHECKED BY

A-3

SCALE

EXISTING	WINDOWS 3,4,5,6,7	WINDOWS 11,12	WINDOWS 14,15	WINDOWS 2	WINDOWS 17,18	WINDOWS 10,19	WINDOWS 13	WINDOWS 16,20	WINDOWS 1	
PROPOSED										
DETAILS	<p>PUSH-OUT CASEMENTS</p> <p>EXTERIOR INTERIOR</p> <p>TYPICAL CASEMENT DETAIL</p>	<p>ACME DOUBLE HUNG</p> <p>EXTERIOR INTERIOR</p> <p>TYPICAL DOUBLE HUNG DETAIL</p>	<p>Weather-Stripped Fixed</p> <p>Blind Stoppered Fixed</p> <p>EXTERIOR INTERIOR EXTERIOR INTERIOR</p> <p>TYPICAL FIXED DETAIL</p>	<p>RAIL GLAZING BEAD 1/8" SG 3/8" STICKING 1" BAR</p> <p>TYPICAL MUNTIN DETAIL</p>	<p>King Stud</p> <p>Blocking (per local code)</p> <p>Rough Opening</p> <p>Top Plates</p> <p>Header Double 2x12 with Plywood Spacer</p> <p>Trimmer Stud</p> <p>Sill</p> <p>Sill Trimmer (Optional)</p> <p>Sole Plate Sub-Floor</p> <p>Jack Studs</p> <p>Floor Joist</p> <p>TYPICAL WINDOW WOOD FRAMING DETAIL</p>	EXISTING		WINDOWS 8 & 9	PROPOSED	

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WINDOW DETAILS

PROJECT NUMBER	250	A-4
DATE	01/15/2018	
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CHECKED BY		
SCALE		1/8" = 1'-0"

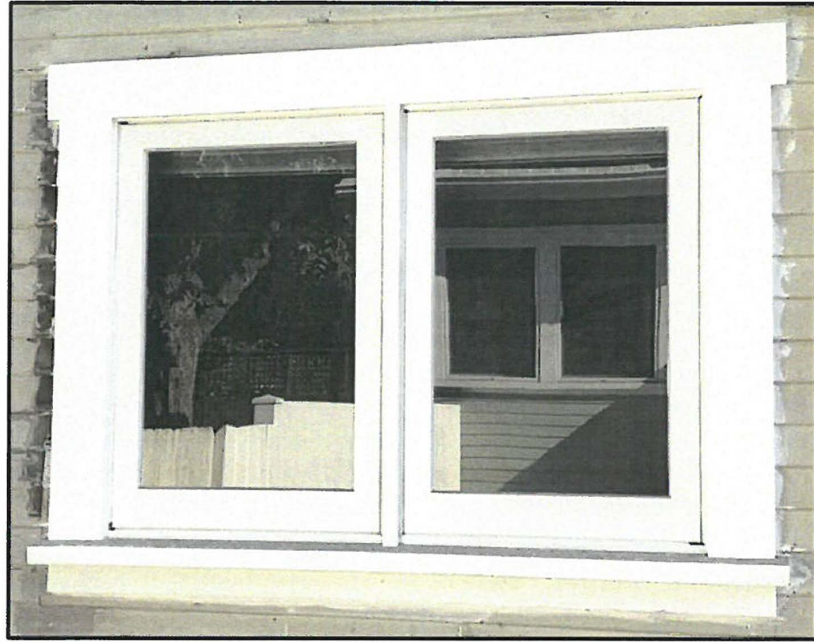
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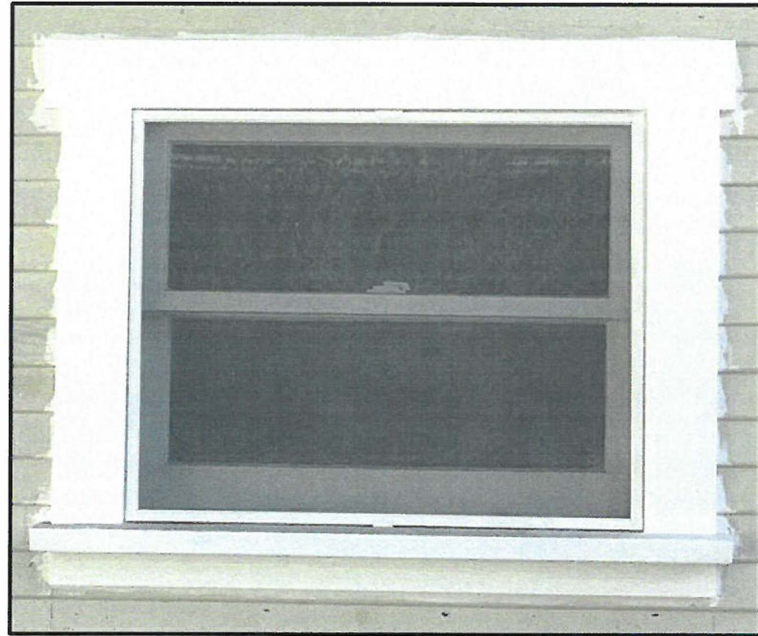
WINDOW DETAILS

PROJECT NUMBER 250
DATE 01/15/2018
DRAWN BY
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A-4
SCALE 1/8" = 1'-0"



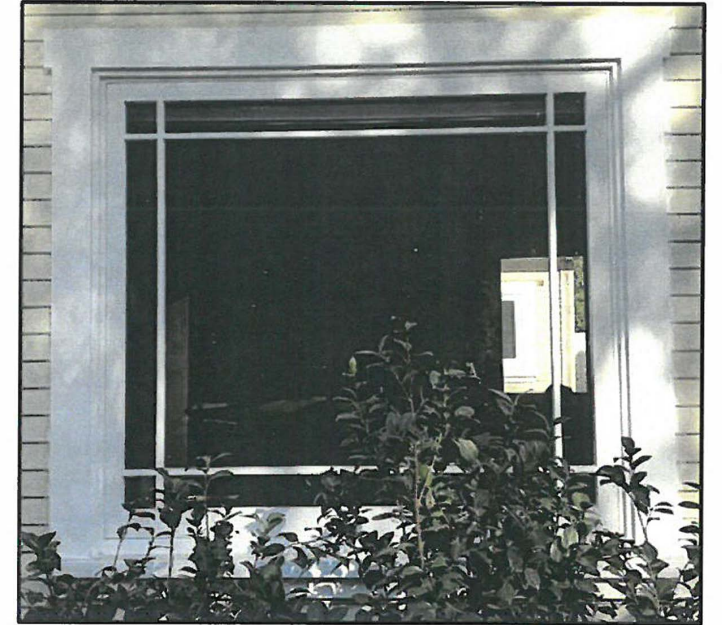
Window #1



Window #2



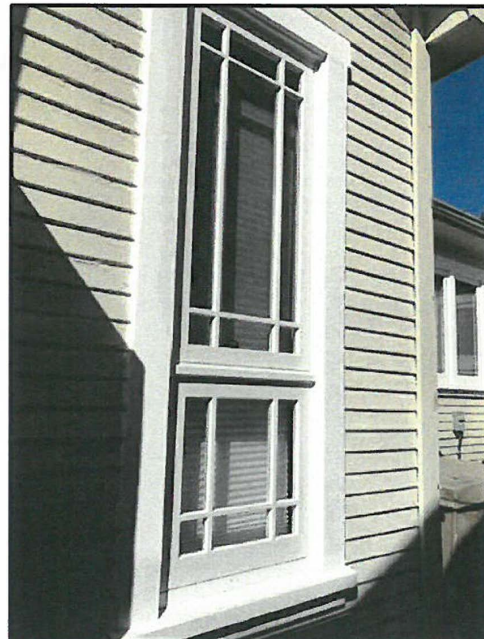
Windows #3-7



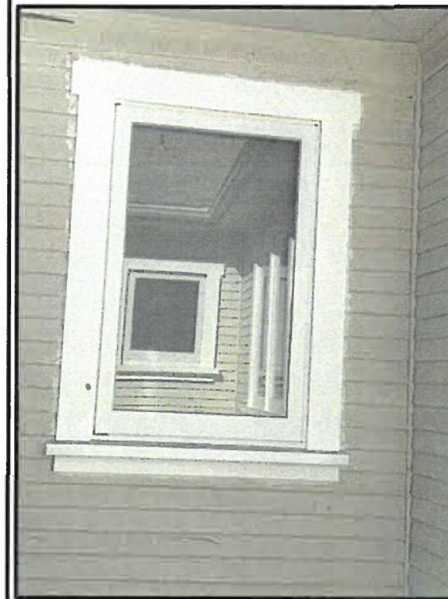
Window #10



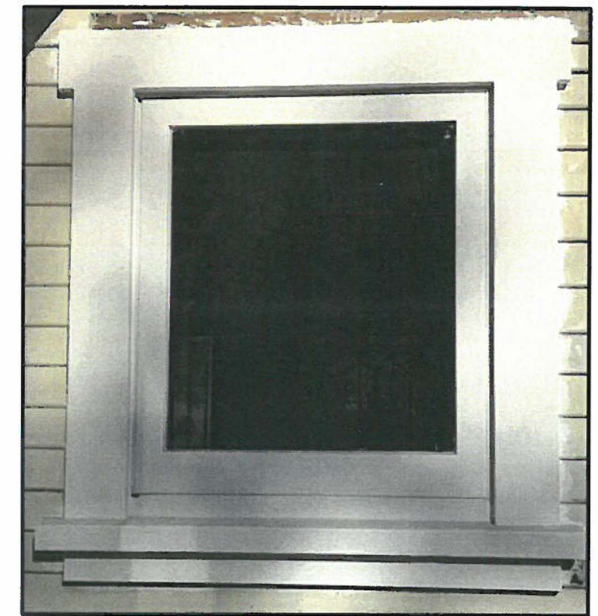
Windows # 11&12



Windows # 14-15



Windows # 13



Window #16

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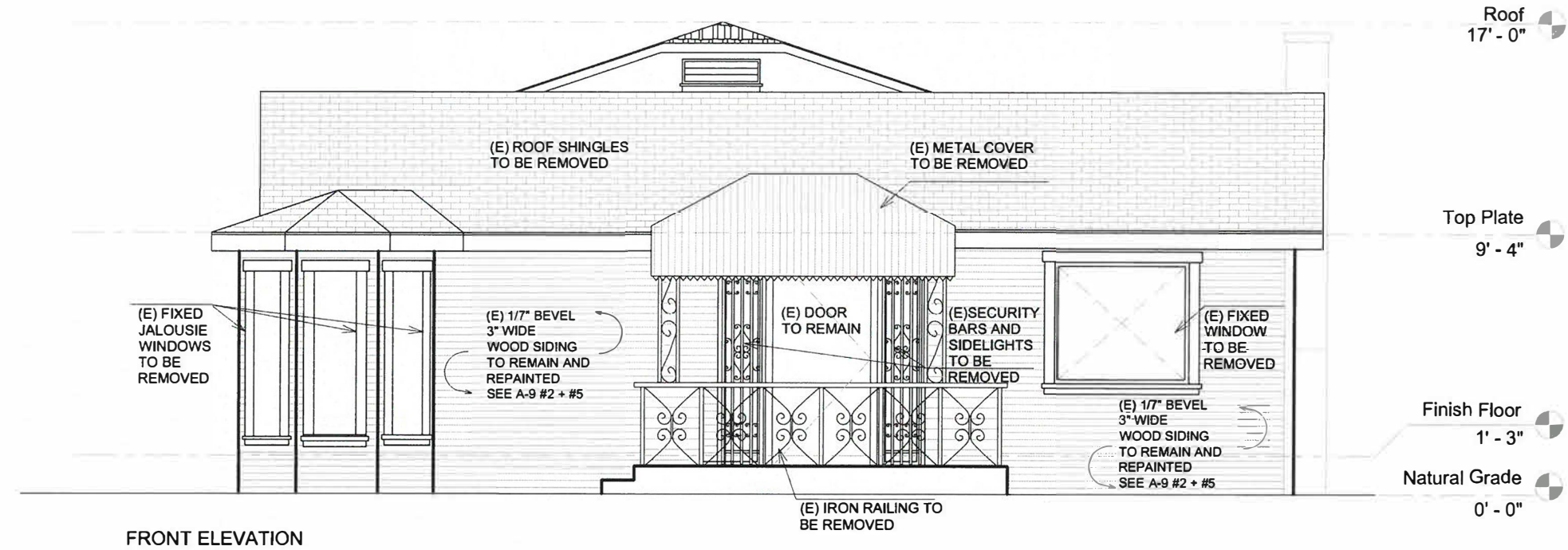


legalization of installed windows

PROJECT NUMBER	250
DATE	01/15/2018
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A-4.1

SCALE 1/8" = 1'-0"



EXISTING ELEVATIONS

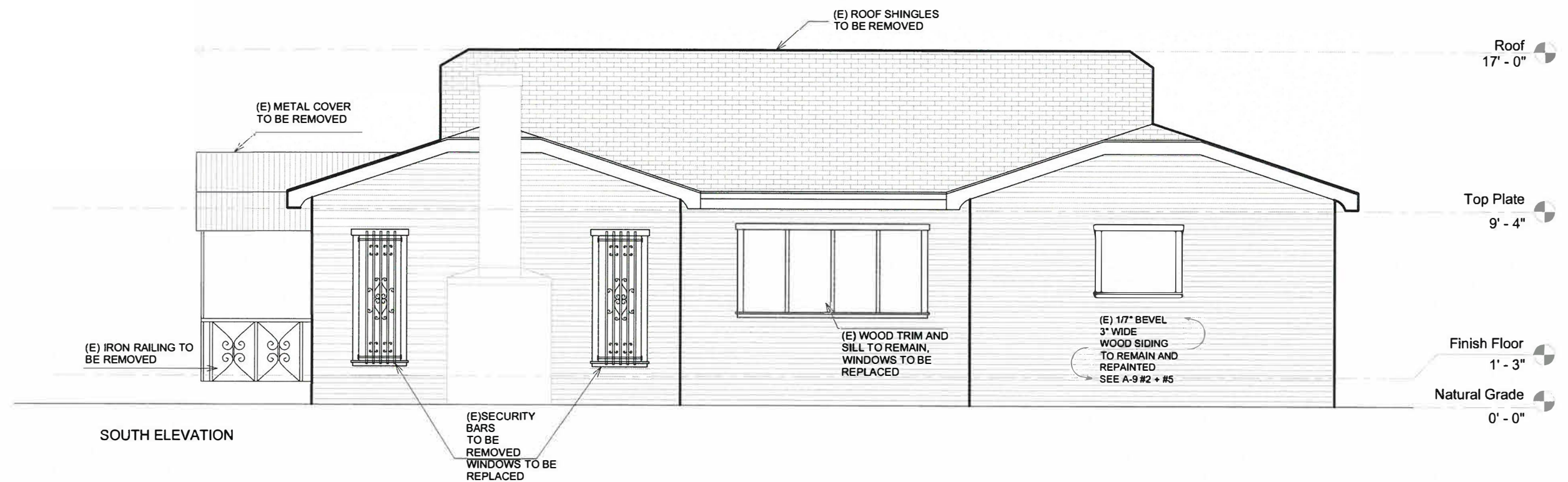
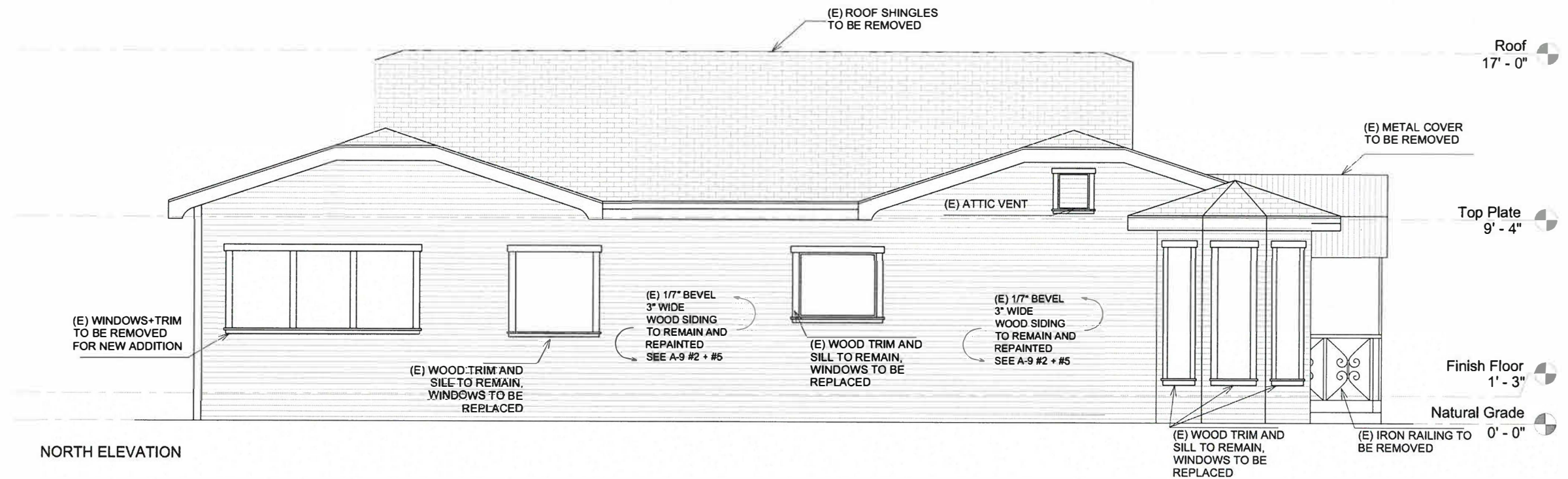
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A-5

SCALE 3/16" = 1'-0"



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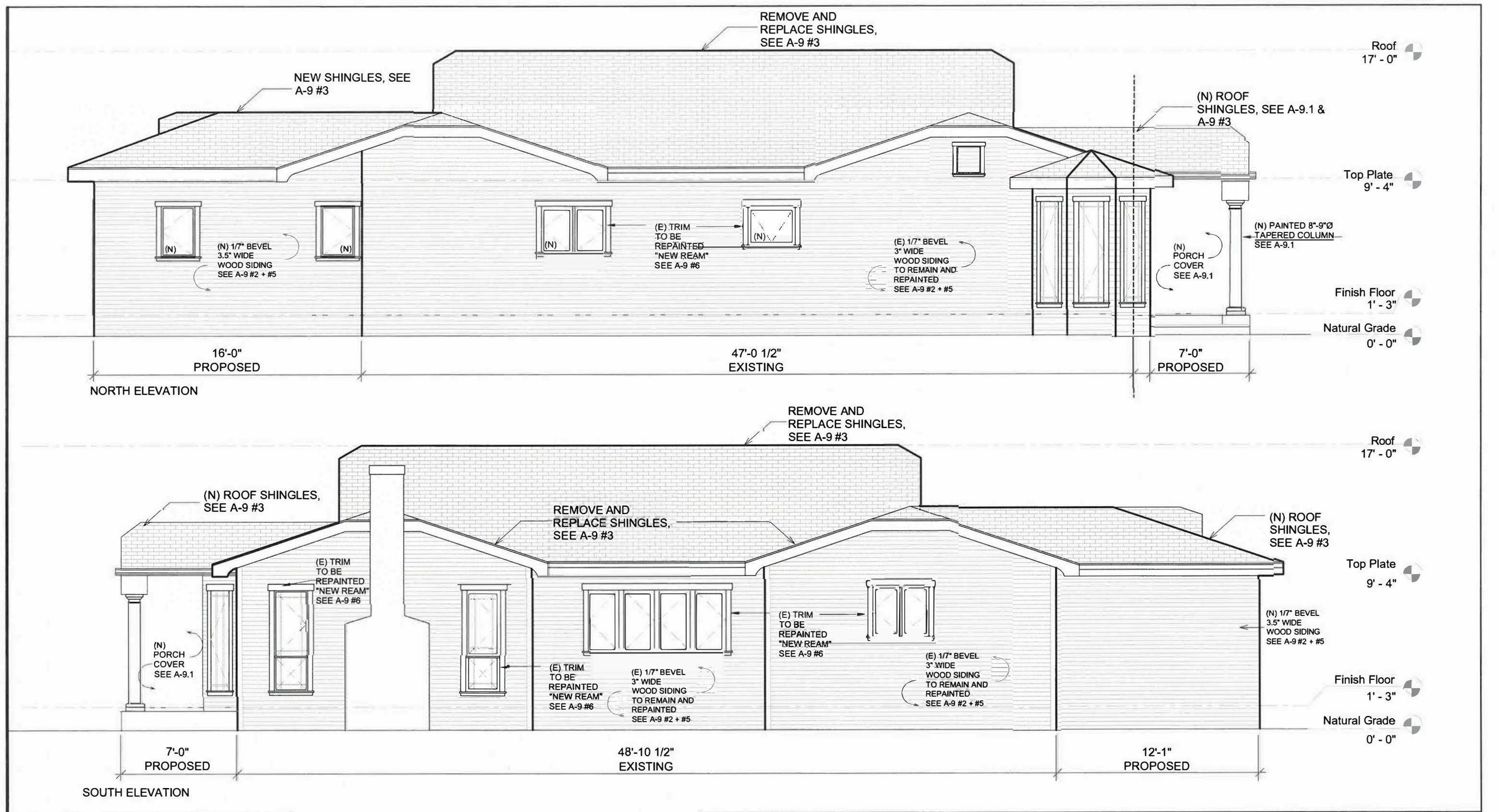


EXISTING ELEVATIONS

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A-6

SCALE 3/16" = 1'-0"



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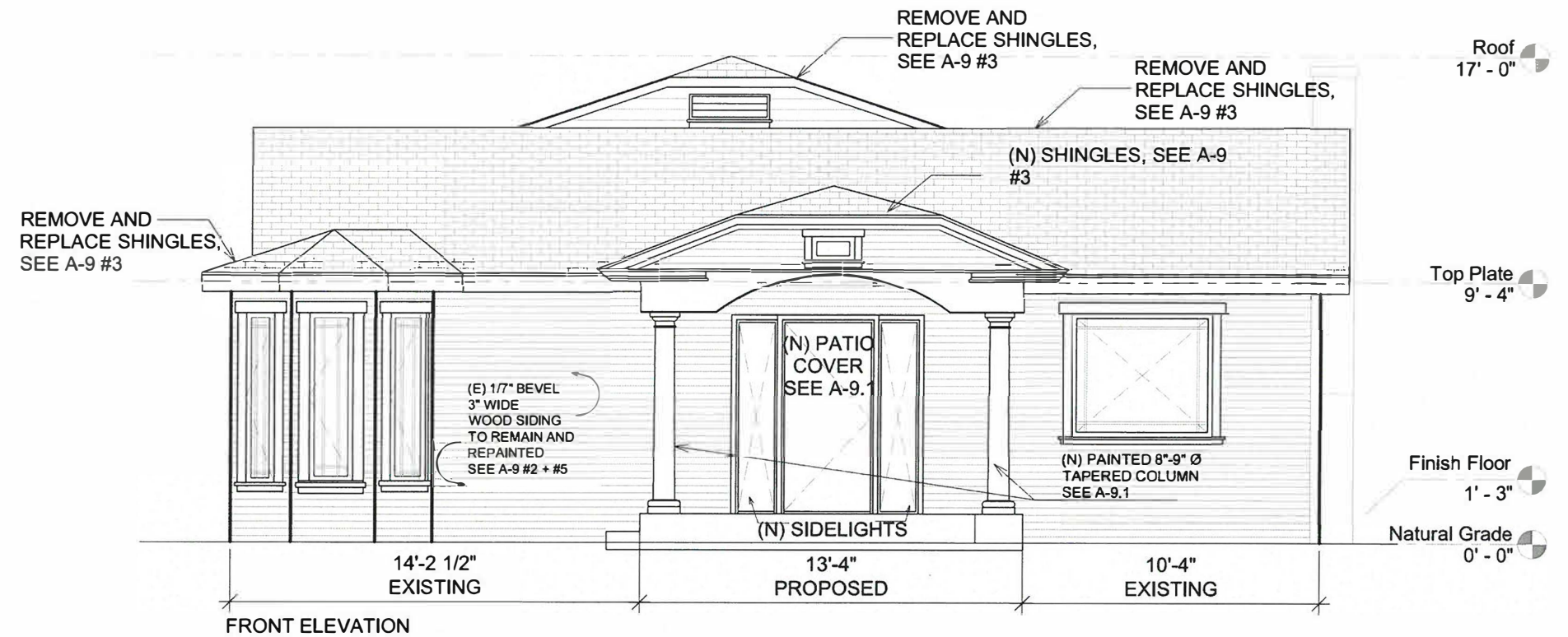


PROPOSED ELEVATIONS

PROJECT NUMBER	250
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A-7

SCALE 3/16" = 1'-0"



PROPOSED ELEVATIONS

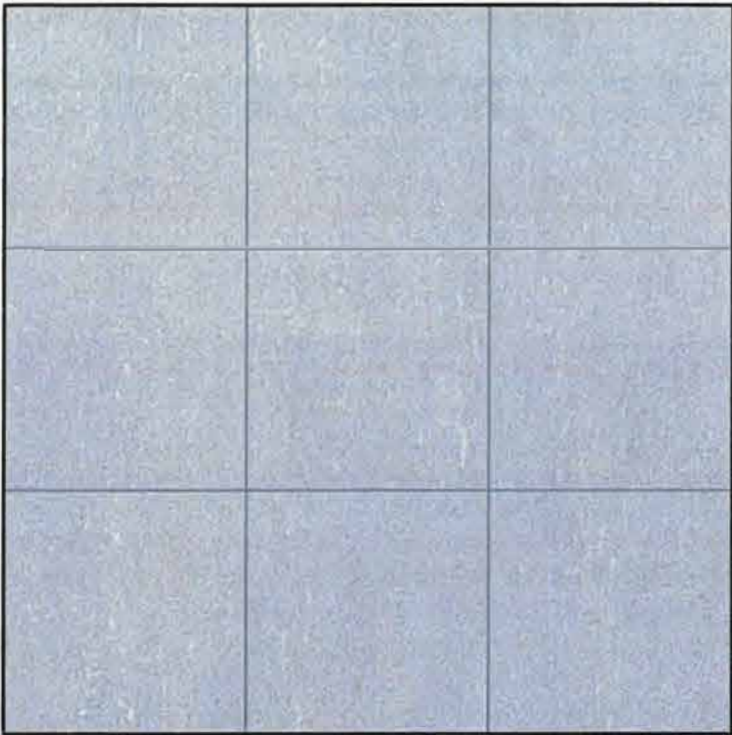

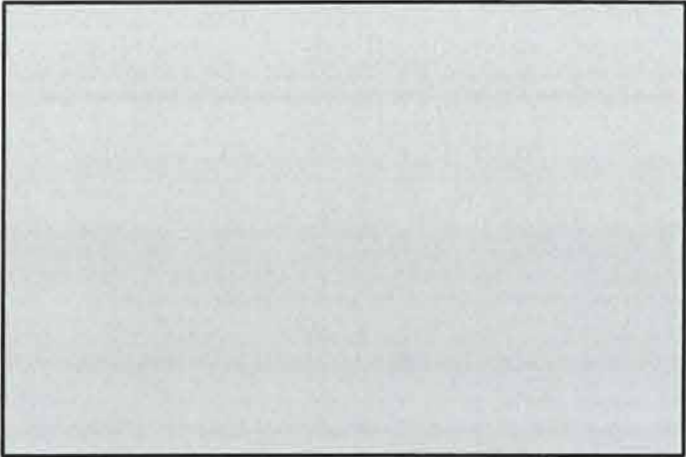


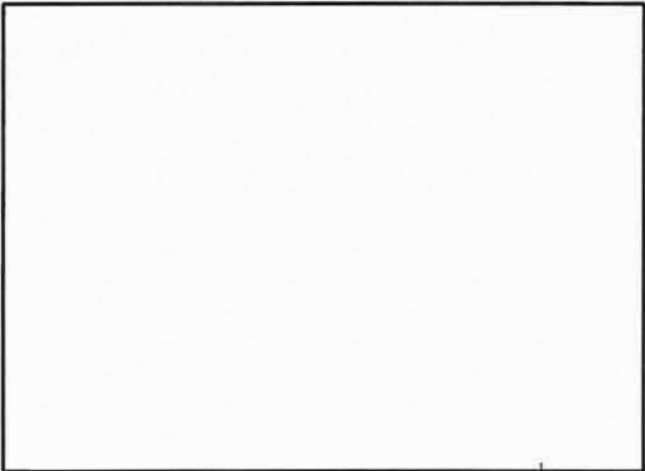

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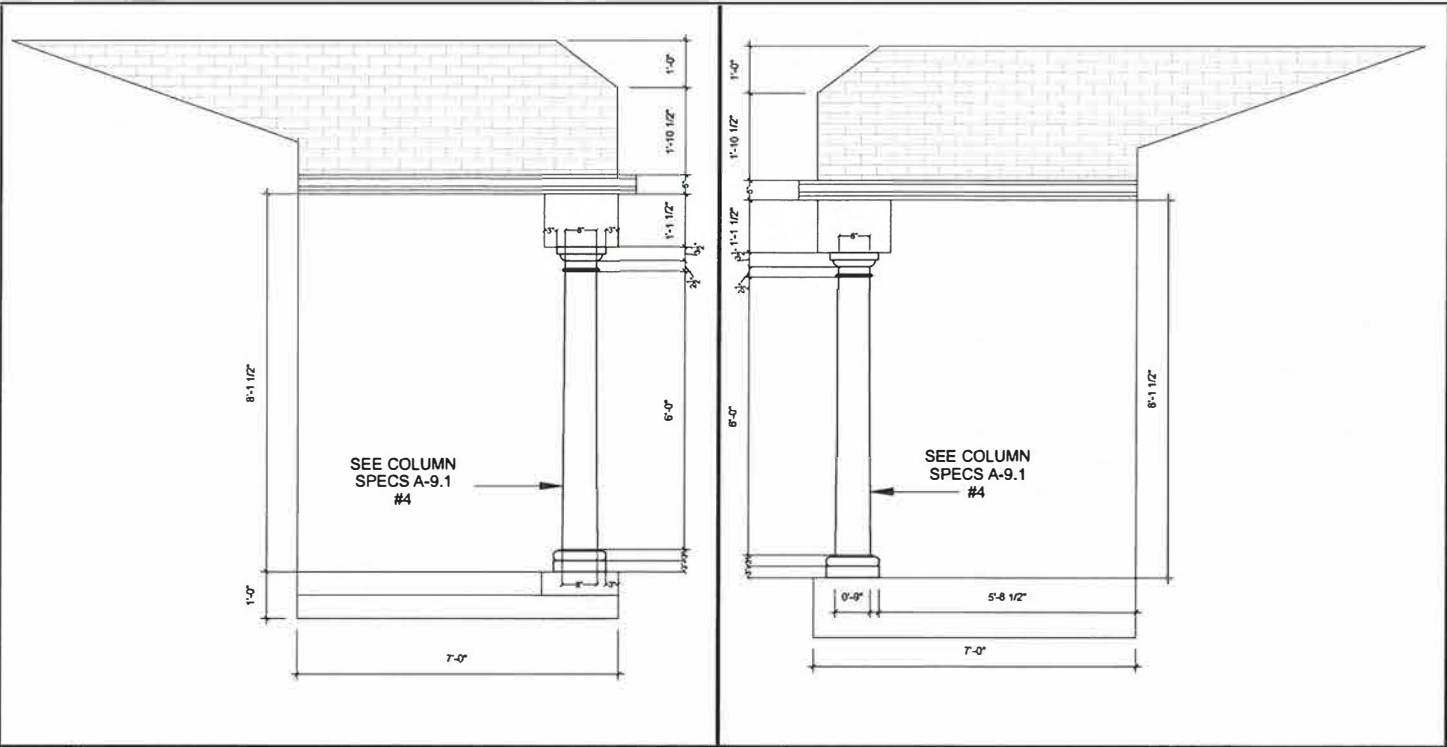


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A-8

SCALE 3/16" = 1'-0"

		
<div>1</div> <div>18"X18" CONCRETE SCORING</div>	<div>3</div> <div>DIMENSIONAL ROOF SHINGLES-COLOR: ESTATE GRAY, MAKE: OWENS CORNING, MODEL: SUPREME</div>	<div>5</div> <div>SIDING COLOR: STEAMPUNK GRAY 137-3</div>
		
<div>2</div> <div>WOOD SIDING-COLOR:"STEAMPUNK" GRAY V137-3,</div>	<div>4</div> <div>DECOMPOSED GRANITE WALKWAY</div>	<div>6</div> <div>WINDOW TRIM COLOR: NEW REAM V148</div>
<div> <div>ELIAD DORFMAN DESIGN</div> <div>LOS ANGELES</div> <div>P 818-987-7863</div> <div>DORFMANELIAD@GMAIL.COM</div> <div>  </div> <div>liad Dorfman Design</div> </div>	<div>PROJECT MATERIALS</div>	<div> <div> <div>PROJECT NUMBER</div> <div>250</div> </div> <div> <div>DATE</div> <div>01/15/2018</div> </div> <div> <div>DRAWN BY</div> <div></div> </div> <div> <div>CHECKED BY</div> <div></div> </div> <div> <div>SCALE</div> <div></div> </div> <div>A-9</div> </div>



1 FRONT PORCH SIDE VIEW

2 FRONT PORCH SIDE VIEW

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

PROPOSED COLUMN

PERMACAST® Plain No-Taper column with Poly Tuscan cap and base

Round No-Taper PERMACast® Columns

ROUND NO-TAPER PERMACAST® COLUMN DIMENSIONS (IN INCHES)

Col. Size	A	B	C	D	E	F	G	H	I	J	K	L	Length Avail. (ft.)
8"-9"	7 1/4"	8 5/8"	10 1/2"	1 1/8"	1 3/4"	3/16"	3/4"	1 1/4"	1 1/2"	10 5/8"			6, 8, 9, 10
10"	9 1/4"	10 5/8"	12 1/4"	2 1/8"	2 3/4"	3/16"	3/4"	1 1/4"	1 3/4"	12 3/8"			6, 8, 9, 10, 12
12"	11 1/4"	12 5/8"	14 1/4"	2 3/8"	3 1/4"	3/16"	3/4"	1 1/4"	1 3/4"	14 3/8"			6, 8, 9, 10, 12
14"	13 1/4"	14 5/8"	16 1/4"	3 1/8"	4 1/4"	3/16"	3/4"	1 1/4"	1 3/4"	16 3/8"			6, 8, 9, 10, 12, 14
16"	15 1/4"	16 5/8"	18 1/4"	4"	5 1/4"	3/16"	3/4"	1 1/4"	1 3/4"	18 3/8"			6, 8, 9, 10, 12, 14, 16, 18, 20
18"	17 1/4"	18 5/8"	20 1/4"	4 3/8"	6 1/4"	3/16"	3/4"	1 1/4"	1 3/4"	20 3/8"			6, 8, 9, 10, 12, 14, 16, 18, 20
24"	24"	24"	26 1/4"	5 1/4"	8 1/4"	3/16"	3/4"	1 1/4"	1 3/4"	26 3/8"			8, 10, 12, 14, 16, 18, 20, 24

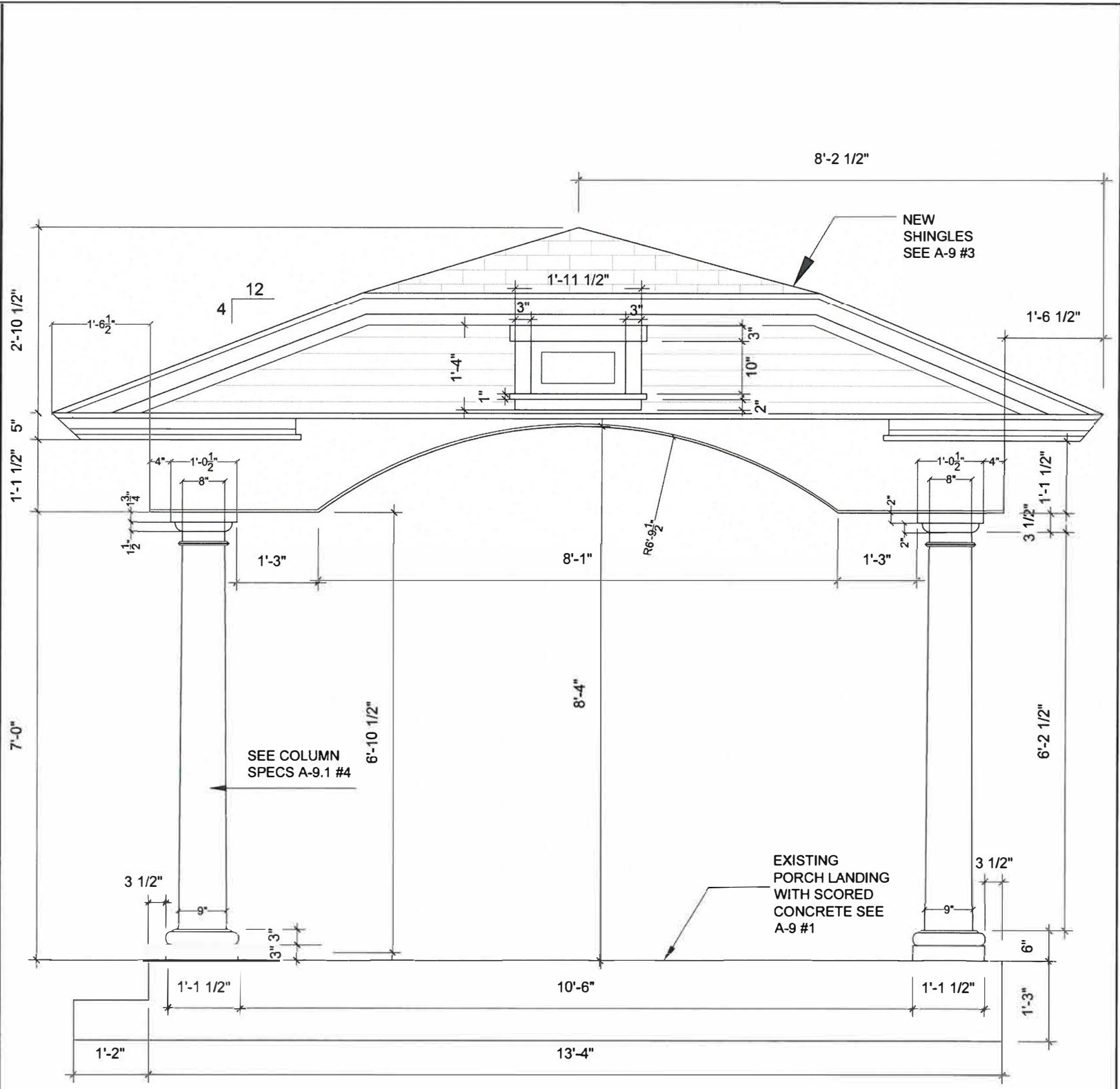
Neck mould not included.
Flashing and Installation Kit not available with No-Taper Tuscan cap and base sets.

NECK MOULD FOR NO-TAPER COLUMN - SOLD SEPARATELY

4 NEW COLUMN DETAIL AND SPECS

3 FRONT PORCH FRONT VIEW

SCALE: 1/2" = 1'-0"



4 NEW COLUMN DETAIL AND SPECS

3 FRONT PORCH FRONT VIEW

SCALE: 1/2" = 1'-0"

ELIAD DORFMAN DESIGN
LOS ANGELES
P 818-987-7863
DORFMANELIAD@GMAIL.COM

PROPOSED FRONT PORCH

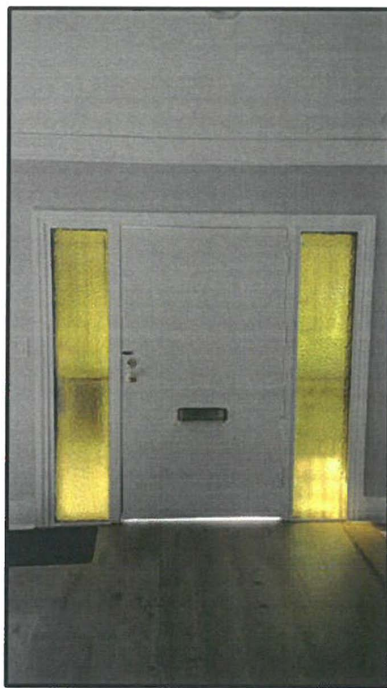
PROJECT NUMBER	250	<h1>A-9.1</h1>
DATE	01/15/2018	
DRAWN BY		
CHECKED BY		
SCALE		



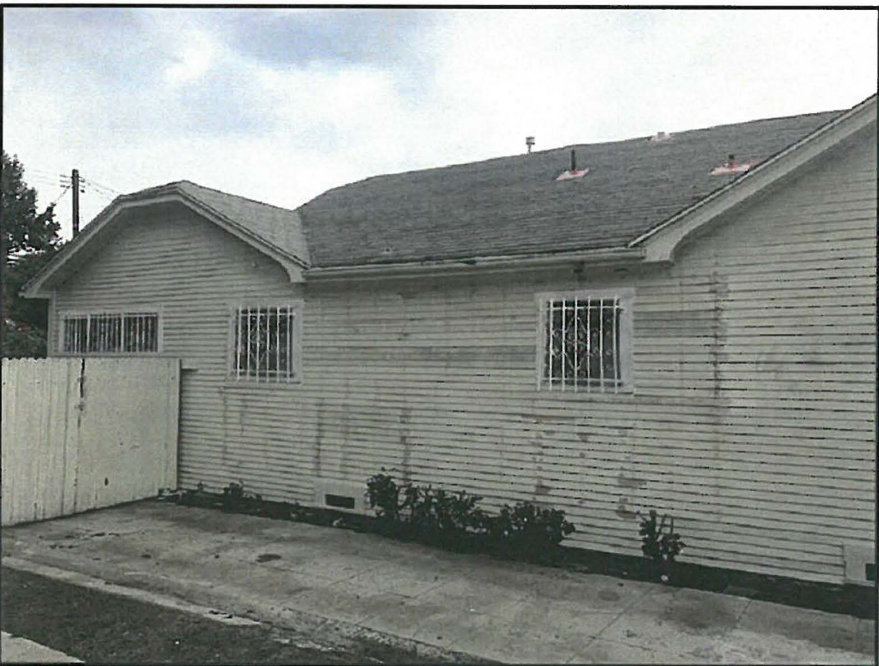
PICTURE 3



PICTURE 4



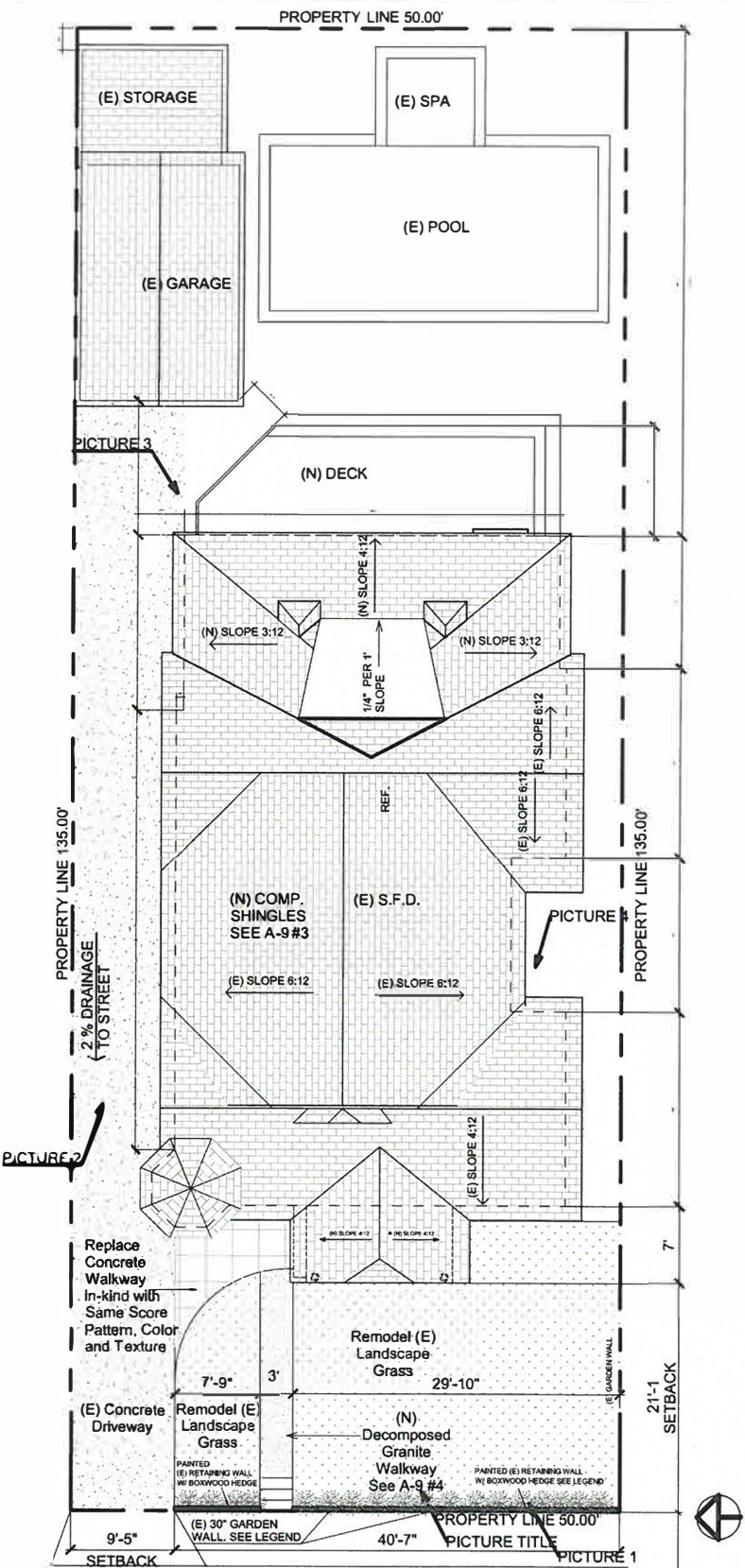
ENTRY SIDE LIGHTS



PICTURE 2



PICTURE 1



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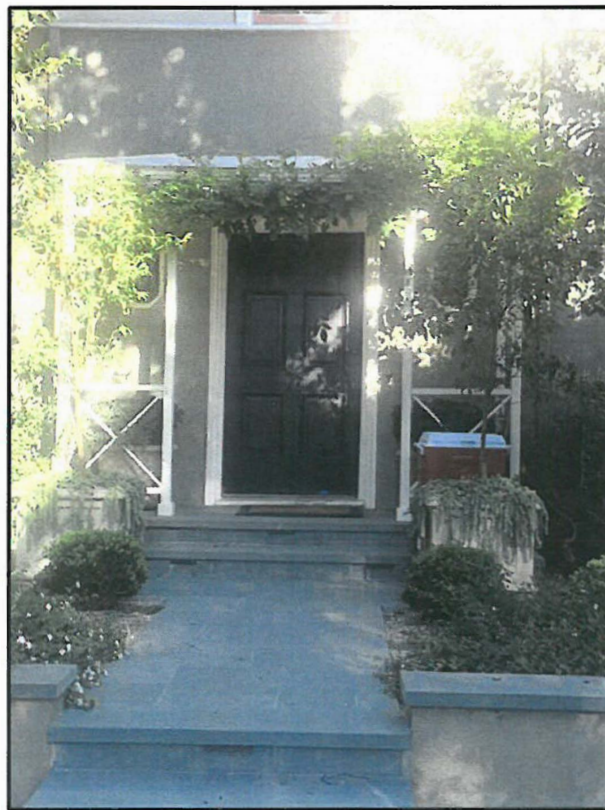


HOUSE PICTURES

PROJECT NUMBER 250
DATE 01/15/2018
DRAWN BY
CHECKED BY

A-10

SCALE 1/16" = 1'-0"



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Existing Precedent windows on Ogden Drive

PROJECT NUMBER 250
DATE 01/15/2018
DRAWN BY
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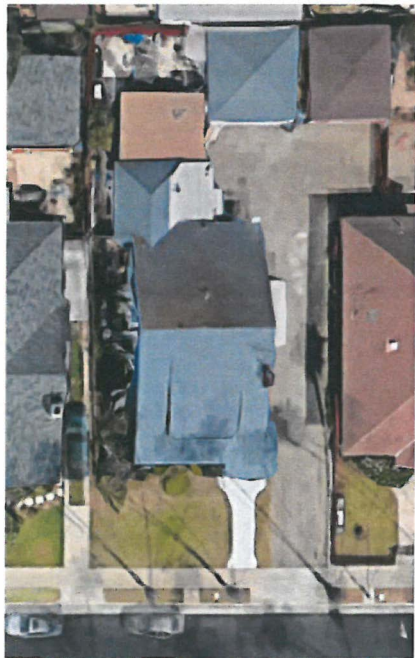
A-11

SCALE 1/16" = 1'-0"

Window/Door Schedule Examples (3 of 4)



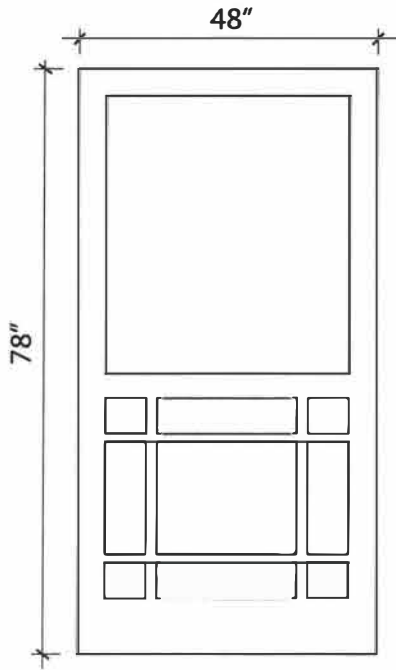
HOUSE LOCATION



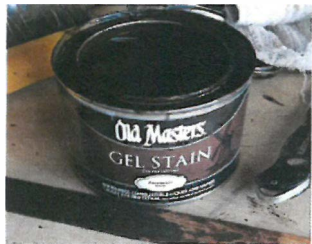
PROJECT SITE



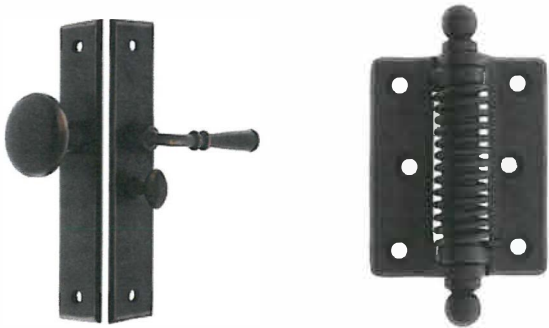
CURRENT CONDITION



PROPOSED SCREEN DOOR

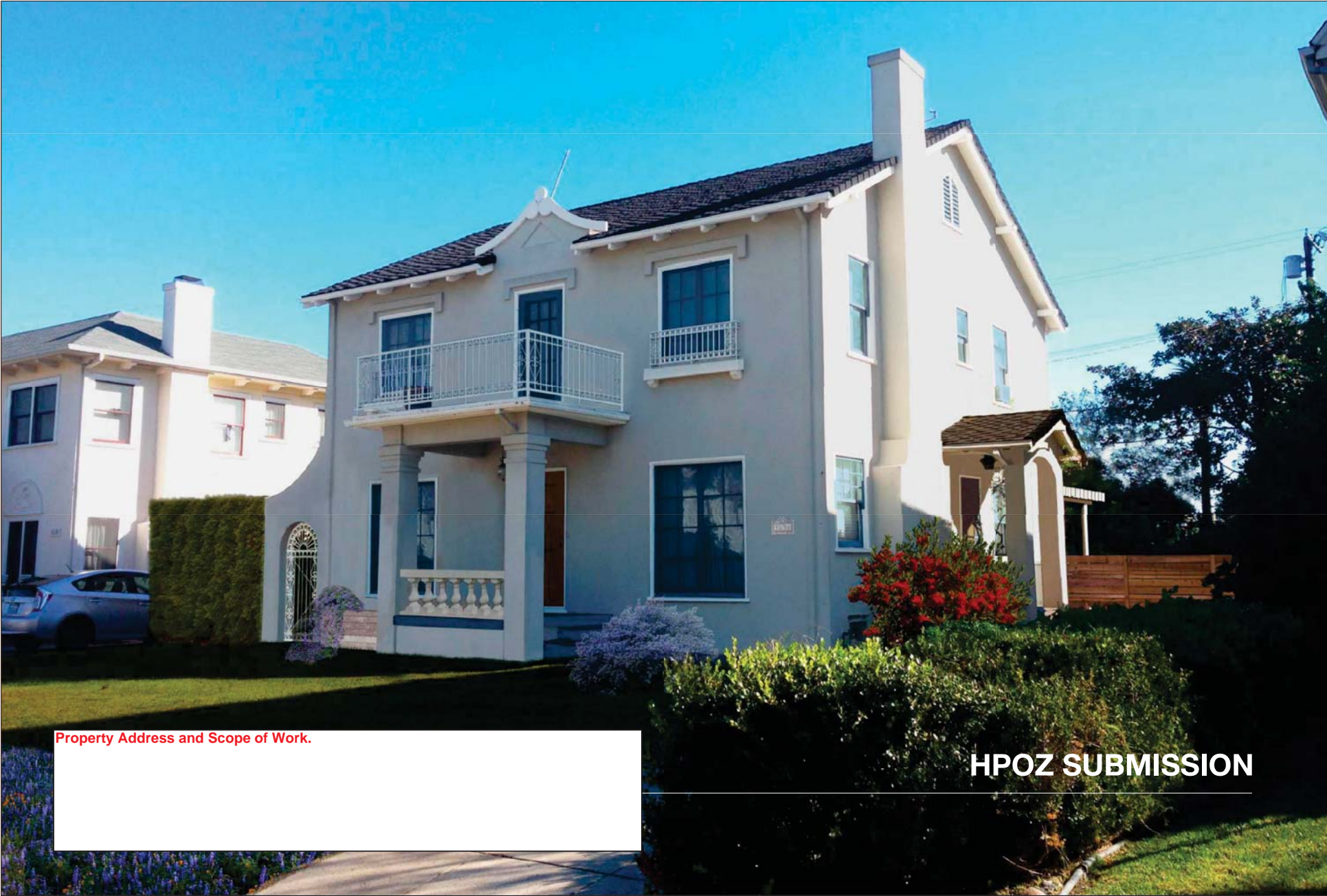


-SCREEN DOOR-
MANUFACTURER: COPPA WOODWORKING INC
MODEL: 360-P-T
MATERIAL: 3/4" DOUGLAS FIR
SCREEN MATERIAL: CHARCOAL FIBREGLASS
WOOD STAIN: OLD MASTERS - PROVENCIAL



-HARDWARE-
HINGE: HOUSE OF ANTIQUE HARDWARE
CLASSIC SURFACE MOUNTED SCREEN DOOR
HINGE WITH BALL TIPS - OIL-RUBBED BRONZE FINISH
HANDLE: HOUSE OF ANTIQUE HARDWARE
ARTS & CRAFTS NEW YORK SCREEN DOOR LOCK SET -
OIL-RUBBED BRONZE FINISH

Window/Door Schedule Examples (4 of 4)



Property Address and Scope of Work.

HPOZ SUBMISSION

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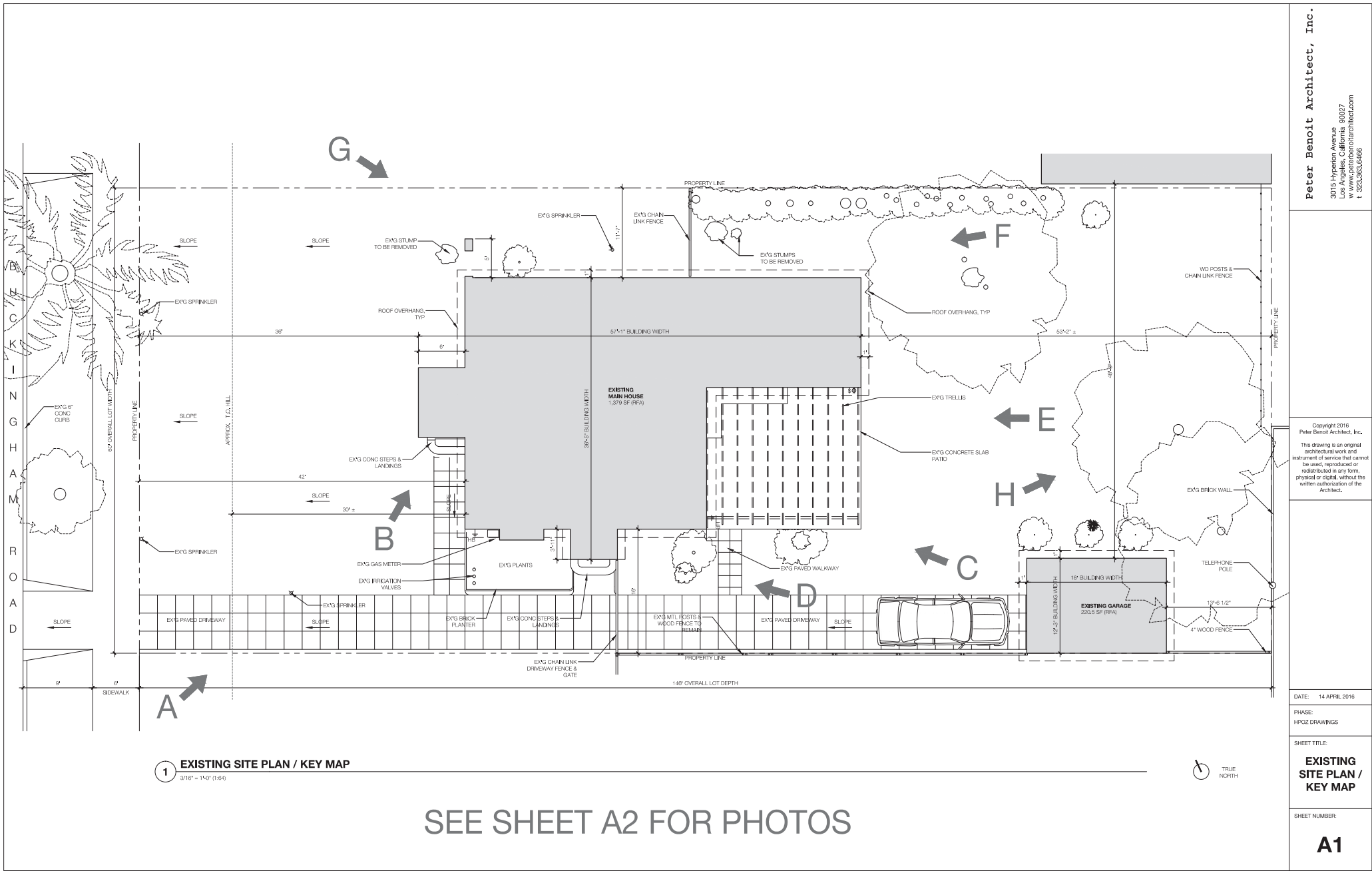
PHASE:
HPOZ DRAWINGS

SHEET TITLE:

COVER
SHEET

SHEET NUMBER:

A0





H REAR YARD
N.T.S.



G SIDE YARD FROM NORTHWEST CORNER
N.T.S.



F SIDE YARD (NORTH)
N.T.S.



E BACK OF HOUSE (EAST FACING)
N.T.S.



D SIDE YARD (SOUTH)
N.T.S.



C BACK OF HOUSE FROM SOUTHEAST CORNER
N.T.S.



B FRONT ENTRY PORCH
N.T.S.



A FRONT FACADE & YARD (WEST FACING)
N.T.S.

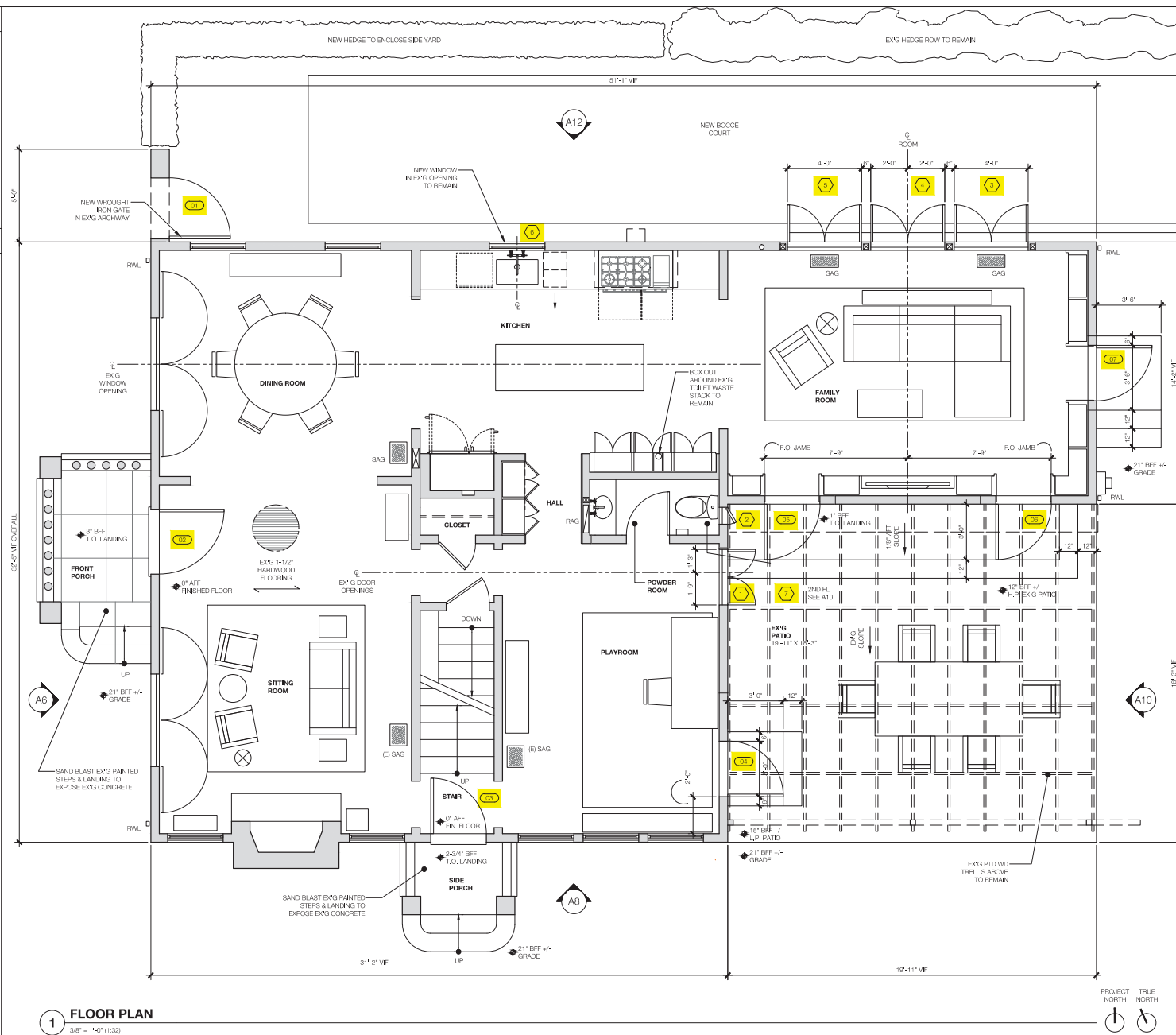
LEGEND

 EXISTING WALLS AND PARTITIONS TO REMAIN

RWL	0	EX'G RAINWATER LEADER TO REMAIN, TYP
		NEW DOOR TAG: SEE DOOR SCHEDULE ON A13
		NEW WINDOW TAG: SEE WINDOW SCHEDULE ON A13

GENERAL NOTES

1. DIMENSIONS ARE FROM F.O. FINISH TO F.O. FINISH, UON
2. ALL NEW OR REPLACEMENT DOORS & WINDOWS IN EXTERIOR WALLS SHALL BE APPROVED BY HPOZ



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PHASE:
HPOZ DRAWINGS

SHEET TITLE

**FLOOR
PLAN**

SHEET NUMBER:

A4



EL. 28'-6 1/4" VF
T.O. ROOF

EL. 0'-0" VF
FINISHED FIRST FLOOR

EL. -1'-0" VF
GRADE

NON-HISTORIC
FRONT DOOR

CHAIN LINK
DRIVEWAY
FENCE & GATE

1 WEST EXTERIOR ELEVATION - EXISTING
1/2" = 1'-0" (1/24)

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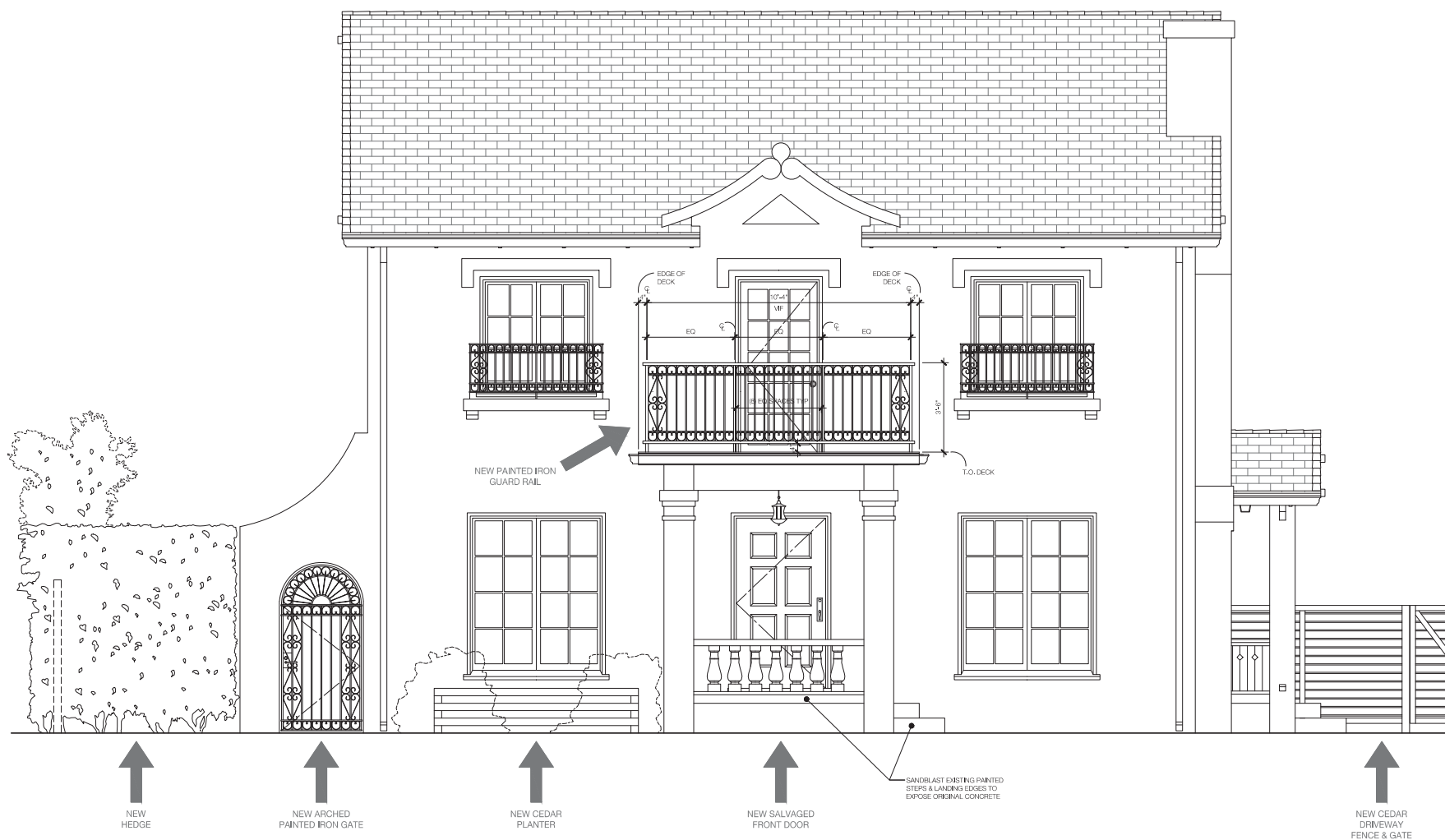
PHASE:
HPOZ DRAWINGS

SHEET TITLE:

**EXISTING
EXTERIOR
ELEVATIONS**

SHEET NUMBER:

A5



1 WEST EXTERIOR ELEVATION - PROPOSED
1/2" = 1'-0" (1/24)

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SHEET TITLE:
**PROPOSED
EXTERIOR
ELEVATIONS**
SHEET NUMBER:

A6



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SHEET TITLE:
**EXISTING
EXTERIOR
ELEVATIONS**

SHEET NUMBER:

A7



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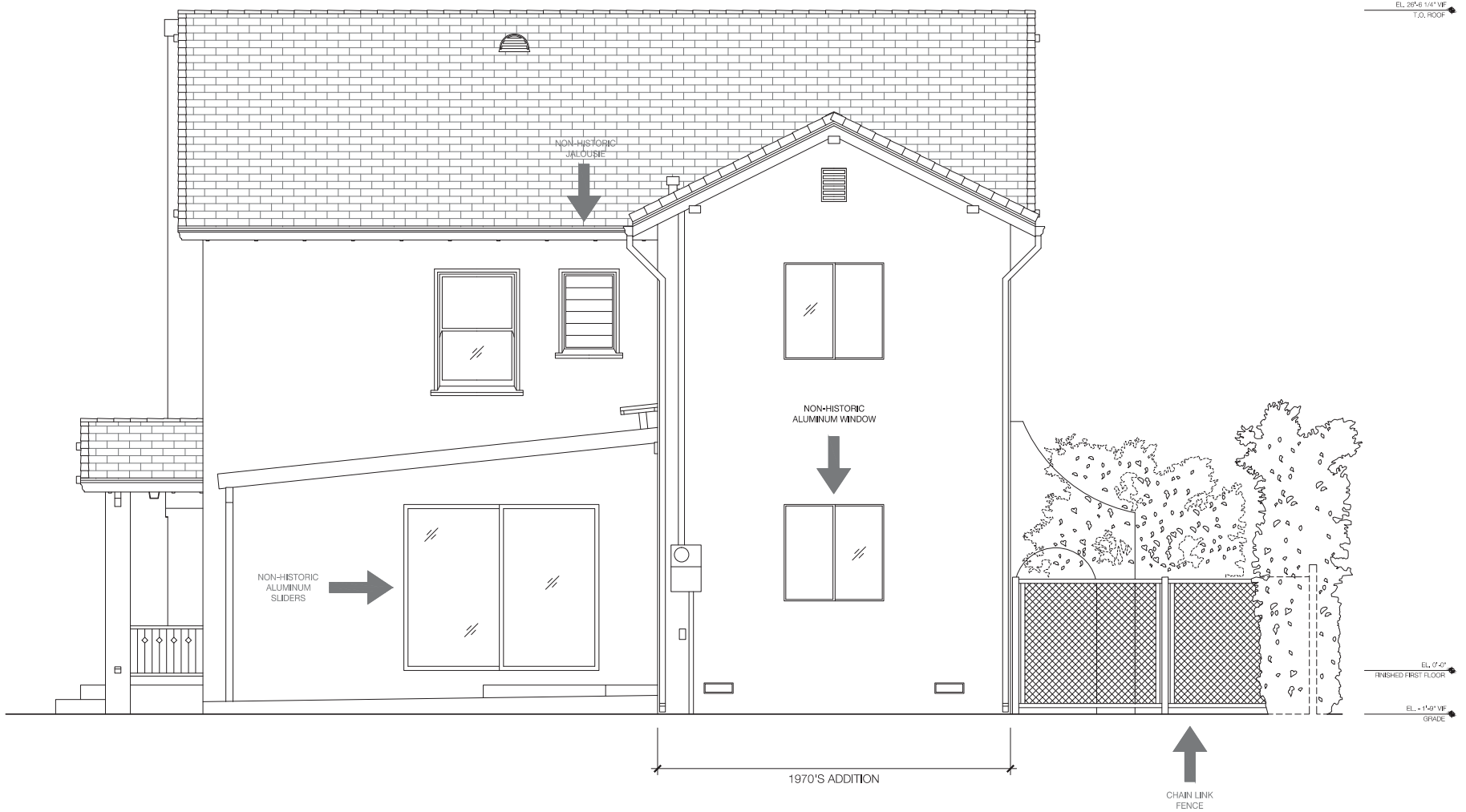
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SHEET TITLE:
**PROPOSED
EXTERIOR
ELEVATIONS**

SHEET NUMBER:

A8



1 EAST EXTERIOR ELEVATION - EXISTING
1/2" = 1'-0" (1:24)

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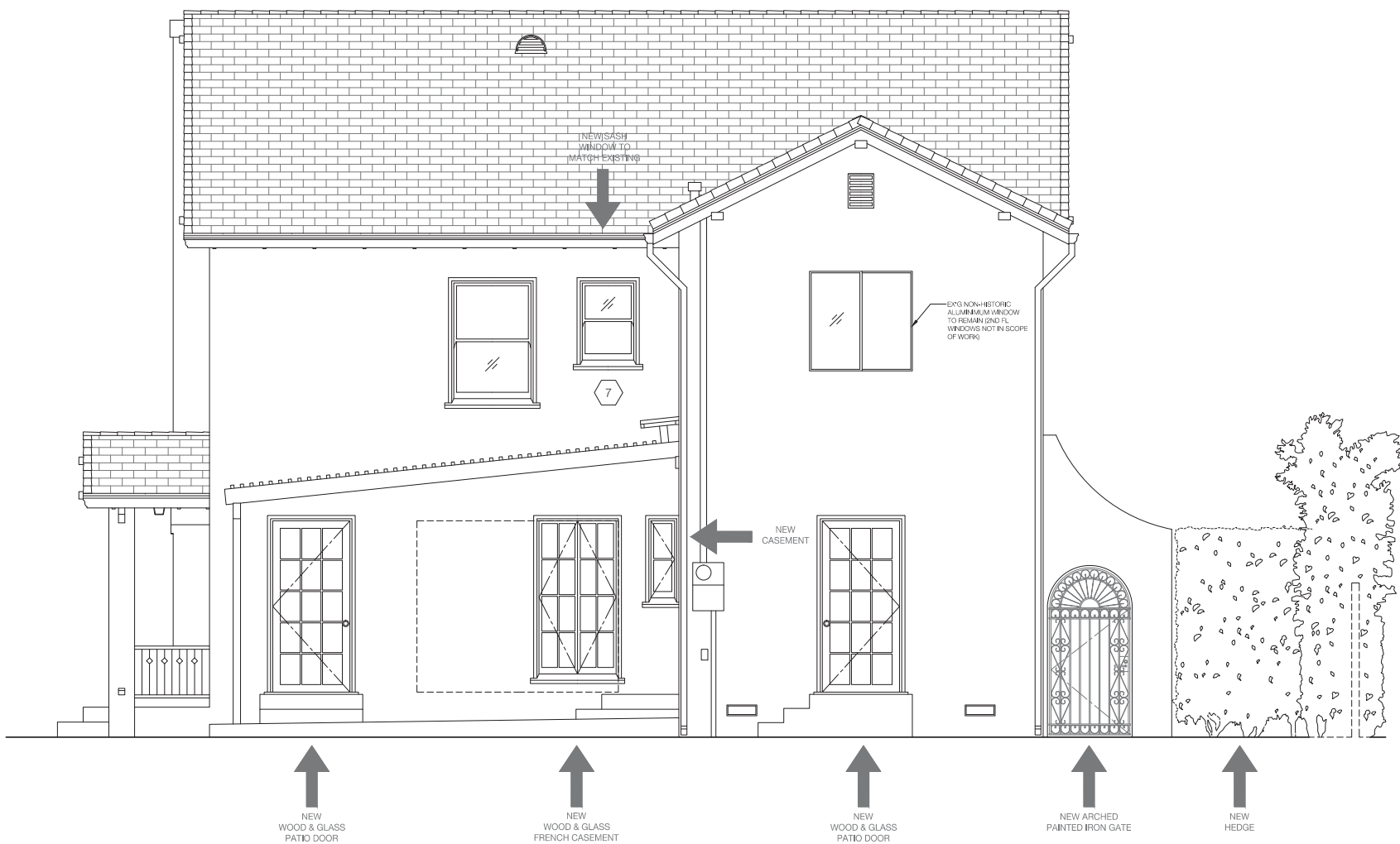
PHASE:
HPOZ DRAWINGS

SHEET TITLE:

EXISTING
EXTERIOR
ELEVATIONS

SHEET NUMBER:

A9



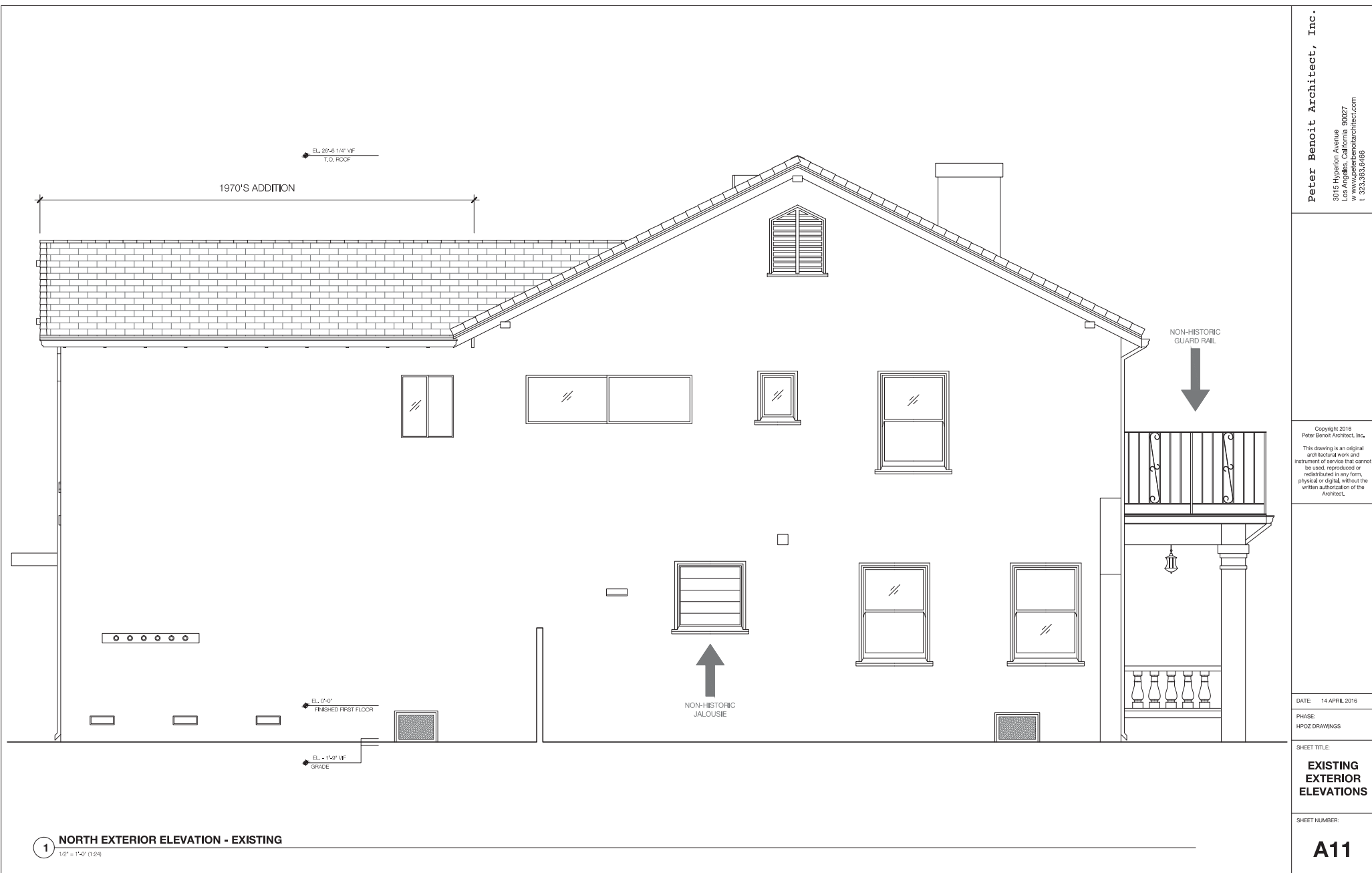
1 EAST EXTERIOR ELEVATION - PROPOSED
1/2" = 1'-0" (1:24)

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SHEET TITLE:
**PROPOSED
EXTERIOR
ELEVATIONS**
SHEET NUMBER:

A10



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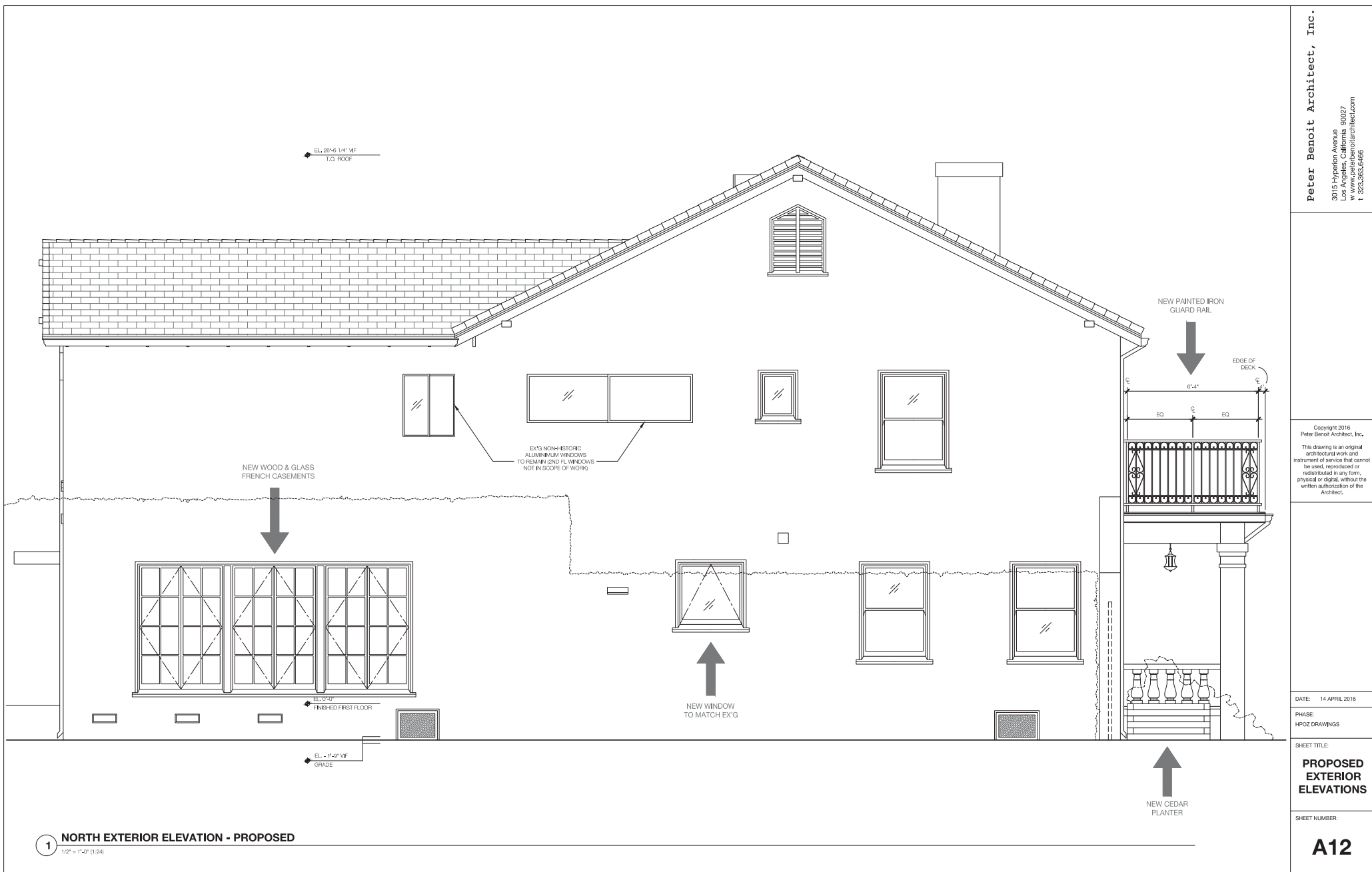
DATE: 14 APRIL 2016

PHASE:
HPOZ DRAWINGS

SHEET TITLE:
**EXISTING
EXTERIOR
ELEVATIONS**

SHEET NUMBER:

A11



1 NORTH EXTERIOR ELEVATION - PROPOSED
1/2" = 1'-0" (1:24)

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SHEET TITLE:
**PROPOSED
EXTERIOR
ELEVATIONS**

SHEET NUMBER:

A12


PAINT SCHEME



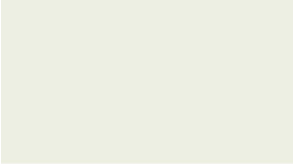
STUCCO

TRIM


WINDOWS & DOORS



BENJAMIN MOORE
HC-169
"COVENTRY GRAY", FLAT FINISH
-STUCCO & DOWNSPOUTS




BENJAMIN MOORE
PM-19
"WHITE DOVE", SATIN FINISH
-WINDOW & DOOR WOOD FRAMES & TRIMS
-RAILINGS, BALUSTRADE
-UNDERSIDE OF EAVES, RAFTER TAILS & GUTTERS




BENJAMIN MOORE
HC-156
"VAN DEUSEN BLUE", SEMI-GLOSS FINISH
-WINDOW & FRENCH DOOR SASHES

EX'G WINDOWS TO MATCH



TYPICAL
SASH

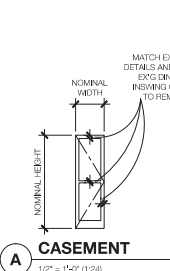


DINNING ROOM
FRENCH CASEMENT

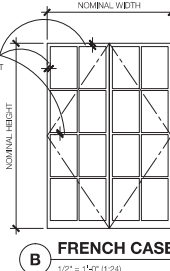
WINDOW SCHEDULE

TAG	WINDOW TYPE		SIZE		FRAME MATERIALS		SASH MATERIALS		GLAZING		LITES PER PANE	
	EXISTING	PROPOSED	H	W	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
1	NONE	B FRENCH CASEMENT	3'-0"	5'-11 1/2"	NONE	WOOD	NONE	WOOD	NONE	SINGLE	0	8
2	JALOUSIE	A CASEMENT	0'-5 11"	3'-0"	NONE	WOOD	ALUMINUM	WOOD	SINGLE	SINGLE	1	8
3	NONE	B FRENCH CASEMENT	4'-0"	5'-11 1/2"	NONE	WOOD	NONE	WOOD	NONE	SINGLE	0	8
4	NONE	B FRENCH CASEMENT	4'-0"	0'-11 1/2"	NONE	WOOD	NONE	WOOD	NONE	SINGLE	0	8
5	NONE	B FRENCH CASEMENT	4'-0"	5'-11 1/2"	NONE	WOOD	NONE	WOOD	NONE	SINGLE	0	8
6	JALOUSIE	D AWNING	3'-0"	2'-11"	WOOD	WOOD	ALUMINUM	WOOD	SINGLE	SINGLE	1	2
7	JALOUSIE	C SASH	2'-0"	3'-0"	WOOD	WOOD	ALUMINUM	WOOD	SINGLE	SINGLE	1	1

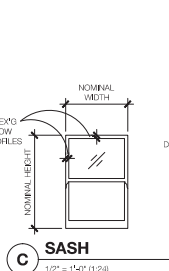
WINDOW TYPES



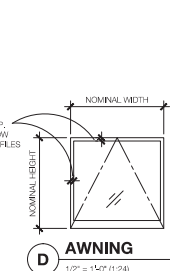
A CASEMENT
1/2" = 1'-0" (1:24)



B FRENCH CASEMENT
1/2" = 1'-0" (1:24)



C SASH
1/2" = 1'-0" (1:24)




D AWNING
1/2" = 1'-0" (1:24)


DOOR SCHEDULE

TAG	DOOR TYPE		DOOR MATERIALS		PANELS		NUMBER OF LITES		SIDE LITES	
	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
01	NONE	D SWING	NONE	IRON	0	0	0	0	0	0
02	MULTIPLE LITES	A paneled	WOOD & GLASS	WOOD & GLASS	0	12	4	0	0	0
03	SOLID	B PATIO	WOOD	WOOD & GLASS	0	0	0	12	0	0
04	SLIDING	C PATIO	ALUMINUM	WOOD & GLASS	0	0	1	15	0	0
05	SLIDING	C PATIO	ALUMINUM	WOOD & GLASS	0	0	1	15	0	0
06	SLIDING	C PATIO	ALUMINUM	WOOD & GLASS	0	0	1	15	0	0
07	NONE	C PATIO	ALUMINUM	WOOD & GLASS	0	0	0	15	0	0


DOOR TYPES



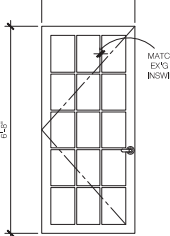
OPTION 1



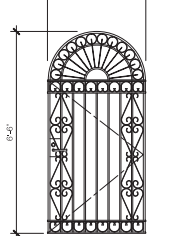
OPTION 2



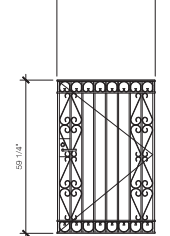
NEW SALVAGE



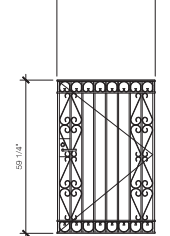
OPTION 1



OPTION 2




OPTION 1




OPTION 2


DETAILS




B SIDE DOOR
N.T.S.



A FRONT DOOR
1/2" = 1'-0" (1:24)



C PATIO DOOR
1/2" = 1'-0" (1:24)



D ARCHWAY GATE
1/2" = 1'-0" (1:24)

A13

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