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April 22, 2026

**Applicant / Owner**

Shaul Kuba  
300 N. La Brea (LA) Owner, LLC  
7007 Romaine Street, Suite 101  
Los Angeles, CA 90038

**Representative**

Gary Benjamin  
Alchemy Planning + Land Use  
1110 North Virgil Avenue, #187  
Los Angeles, CA 90029

**Case No.** EAR-2026-350-AH-PHP-VHCA

**Related Case:** N/A

**CEQA:** N/A

**Location:** 300-306 North La Brea Avenue

**Council District:** 5 - Katy Young Yaroslavsky

**Community Plan Area:** Wilshire

**Land Use Designation:** General Commercial

**Zone:** C2-1VL

**Legal Description:** Lots 29-31; Tract TR 8498

**LETTER OF COMPLIANCE – CITYWIDE HOUSING INCENTIVE PROGRAM (AFFORDABLE HOUSING INCENTIVE PROGRAM)**

Pursuant to California Government Code Section 65915 and Los Angeles Municipal Code (LAMC) Ch. 1 Section 12.22.A 39 and Chapter 1A Section 13B.3.2, I have reviewed the proposed project and as the designee of the Director of Planning, I hereby:

**1. Approve** the following five (5) incentives and one (1) waiver requested by the applicant, in addition to base incentives, for a project totaling 99 dwelling units, reserving 78 units for Low Income household occupancy and 20 units for Moderate Income household occupancy for a period of 99 years, and one (1) Market Rate Manager’s Unit:

**1. Open Space (Not on the Menu Incentive).** An up to 90 percent reduction to permit 1,023.3 square feet of open space in lieu of the 10,150 square feet, as otherwise required per LAMC 12.21 G.2.

**2. Tree Planting (Not on the Menu Incentive).** An up to 100 percent reduction to permit zero (0) trees in lieu of the 25 trees, as otherwise required per LAMC 12.21.G.2.(a)(3).

3. **Loading Zone (Not on the Menu Incentive).** An up to 100 percent reduction to permit zero (0) square feet of loading space in lieu of the 600 square feet, as otherwise required per LAMC 12.21.C.6.(d).
  4. **Long-Term Bicycle Parking (Not on the Menu Incentive).** An up to 100 percent reduction to permit zero (0) spaces in lieu of 75 spaces, as otherwise required per LAMC 12.21.A.16.(a)(1).
  5. **Yards (Not on the Menu Incentive).** An up to 100 percent reduction of the Rear Yard to permit a zero (0)-foot north rear yard in lieu of the 19 feet, as otherwise required per LAMC 12.14.C.2.
  6. **Building Stories (Waiver).** A four (4)-story height increase to permit seven (7) stories in lieu of three (3) stories, as otherwise permitted per LAMC 12.21.1.A.1.
2. **Adopt** the attached Findings.

## CONDITIONS OF APPROVAL

Pursuant to Los Angeles Municipal Code (LAMC) Chapter 1, Section 12.22.A.39 and LAMC Chapter 1A, Section 13B.3.2, the following conditions are hereby imposed upon the use of the subject property.

1. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the Applicant, stamped "Exhibit A" and attached to the subject case file. Subsequent modifications are reviewed pursuant to 13B.3.2 H (Modification Procedures) and may be permitted where they are equal to or less than 10% of what was initially approved and do not require additional incentives, subject to review by the Department of City Planning. Modifications greater than 10% or that require additional incentives shall necessitate a new case filing. Minor deviations may be allowed in order to comply with the provisions of the LAMC or the project conditions. Each change shall be identified and justified in writing.
2. **Residential Density.** The project shall be limited to a maximum density of 99 residential units, per Exhibit "A", inclusive of on-site Restricted Affordable and non restricted units.
3. **On-Site Restricted Affordable Units.** The project shall set aside the number and type of Restricted Affordable Units, 78 Low Income units and 20 Moderate Income units in accordance with the Affordable Housing Incentive Program (LAMC Ch. 1 Section 12.22.A 39), to the satisfaction of the Los Angeles Housing Department.
4. **Affordability Covenant for Incentive Program.** Prior to issuance of a building permit, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing Department (LAHD) to make 78 units available to Low Income Households and 20 units available to Moderate Income Households, or equal to 100 percent of the project's total proposed residential density. The covenant shall include terms for sale or rental as determined to be affordable to such households by LAHD for a period of 99 years, or a term of no less than [55 (for rent) 45 (if for sale)] years if required by state or federal law, consistent with LAMC Ch 1 16.61 A. Unless otherwise required by state or federal law, and consistent with 25 CCR § 42, the project shall provide an onsite building manager's unit, which the owner shall designate in the covenant. The Owner may not use an affordable restricted unit for the manager's unit.
5. **Housing Crisis Act and Resident Protections**
  - a. **No Net Loss.** The project shall comply with LAMC Section LAMC Ch 1 16.60 A.5. A Housing Development Project shall include at least as many residential dwelling units as the greatest number of residential dwelling units that existed on the project site within the last five years (i.e., "no net loss"). Projects subject to the Resident Protections Ordinance that result in a net loss of housing are prohibited. The applicant has submitted a No Net Loss Declaration dated January 22, 2026.
  - b. **Occupant Protections.** Additionally, the applicant shall comply with all applicable Occupant Protections required by LAMC Ch 1 16.60 A.3(b), including the Right to Remain up to 6 months prior to construction, Right to Return if Demolition does not proceed, and for qualifying tenants the Right to Return to an Affordable unit in the new project, and the Right to Relocation.

## 6. Base Incentives

- a. **Density.** The project shall be limited to a density of 99 dwelling units in lieu of 42 dwelling units, as shown in Exhibit "A".
- b. **Floor Area Ratio.** The project shall be limited to a total floor area of 67,408.6 square feet and a maximum FAR of 4.47:1 in lieu of 1.5:1, as shown in Exhibit "A".
- c. **Height.** The project shall be limited to an overall height of 78 feet in lieu of 45 feet, as shown in Exhibit "A".
- d. **Automobile Parking.** Automobile parking shall be provided consistent with LAMC 12.22.A 39. A greater number than the minimum required may be provided at the applicant's discretion. The project is providing 47 spaces, which exceeds the amount required by the program.

## 7. Additional Incentives

- a. **Open Space (Not on the Menu Incentive).** The project shall provide a minimum of 1,023.3 square feet of open space, as shown in Exhibit "A".
- b. **Tree Planting (Not on the Menu Incentive).** The project shall provide a minimum of zero (0) trees, as shown in Exhibit "A".
- c. **Loading Zone (Not on the Menu Incentive).** The project shall provide a minimum of zero (0) square feet of loading space, as shown in Exhibit "A".
- d. **Long-Term Bicycle Parking (Not on the Menu Incentive).** The project shall provide a minimum of zero (0) spaces, as shown in Exhibit "A".
- e. **Rear Yard Setback (Not on the Menu Incentive).** The project shall provide a minimum northerly rear yard setback of zero (0) feet, as shown in Exhibit "A".

## 8. Waivers of Development Standards

- a. **Building Stories.** The project shall be limited to seven (7) stories, in lieu of three (3) stories, as shown in Exhibit "A".

## 9. Landscaping.

All open areas not used for buildings, driveways, parking areas, or walkways shall be attractively landscaped and maintained in accordance with a landscape plan and an automatic irrigation plan, prepared by a licensed Landscape Architect and to the satisfaction of the Department of City Planning.

- a. **Street Trees.** Street trees shall be provided to the satisfaction of the Urban Forestry Division. Street trees may be used to satisfy on-site tree requirements pursuant to LAMC Ch. 1 Section 12.21.G (Chapter 1, Open Space Requirement for Six or More Residential Units).

## 10. Landscape Plans

The landscape plan shall indicate landscape points for the project equivalent to 10% more than otherwise required per LAMC 12.40 and Landscape Ordinance Guidelines "O". All open areas not used for buildings, driveways, parking areas, recreational

facilities or walks shall be attractively landscaped and maintained in accordance with a landscape plan, including an automatic irrigation plan, prepared by a licensed landscape architect pursuant to Appendix D of the Specific Plan, and submitted for approval to the Department of City Planning.

### **Administrative Conditions**

- 11. Covenant.** Prior to the issuance of any permits relative to this matter, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent property owners, heirs or assigns. The agreement must be submitted to the Development Services Center for approval before being recorded. After recordation, a copy bearing the Recorder's number and date shall be provided to the Development Services Center for attachment to the file.
- 12. Rent Stabilization Ordinance Notification.** New construction completed within 5 years of the Ellis Act withdrawal date of the original RSO units will be subject to the RSO. However, some new construction may qualify for an RSO exemption with Replacement Affordable Units in compliance with Ordinance No. 184,873. In order for all the new units to be exempt from the Rent Stabilization Ordinance, the applicant will need to either replace all withdrawn RSO units with affordable units on a one-for-one basis or provide at least 20 percent of the total number of newly constructed rental units as affordable, whichever results in the greater number. The executed and recorded covenant and agreement, an exemption application and an application fee shall be submitted to LAHD for review.
- 13. Fair Housing Requirements for Affordable Housing.** The project shall comply with the Fair Housing Requirements for Affordable Housing (Los Angeles Municipal Code Chapter 1 Section 16.61 B, and Chapter 1A Section 4C.15.3) adopted by the City Council and with any occupancy monitoring requirements and applicable monitoring fees established by the LAHD. Enforcement of the requirements shall be the responsibility of LAHD.
- 14. Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building & Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building & Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building & Safety shall be stamped by Department of City Planning staff "Final Plans". A copy of the Final Plans, supplied by the applicant, shall be retained in the subject case file.
- 15. Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application, shall include all of the Conditions of Approval herein attached as a cover sheet, and shall include any modifications or notations required herein.
- 16. Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.

**17. Code Compliance.** Use, area, height, open space, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.

**18. Department of Building and Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the LAMC, Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.

**19. Department of Water and Power.** Satisfactory arrangements shall be made with the Los Angeles Department of Water and Power (LADWP) for compliance with LADWP's Rules Governing Water and Electric Service. Any corrections and/or modifications to plans made subsequent to this determination in order to accommodate changes to the project due to the under-grounding of utility lines, that are outside of substantial compliance or that affect any part of the exterior design or appearance of the project as approved by the Director, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.

**20. Enforcement.** Compliance with and the intent of these conditions shall be to the satisfaction of the Department of City Planning.

**21. Expiration.** In the event that this grant is not utilized and/or effectuated within three years of its effective date (the day following the last day that an appeal may be filed), the grant shall be considered null and void. Issuance of a building permit, and the initiation of, and diligent continuation of, construction activity shall constitute utilization for the purposes of this grant.

**22. Indemnification and Reimbursement of Litigation Costs.**

Applicant shall do all of the following:

- i. Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- ii. Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, of the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- iii. Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the

nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).

- iv. Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- v. If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

## PROJECT BACKGROUND

The project site consists of three (3) lots encompassing a total of approximately 16,528.5 (including half of the alley) net square feet of lot area (approximately 0.38 acres) with a Maximum Allowable Residential Density of 42 units in the Highest Opportunity Area eligibility subarea of the Affordable Housing Incentive Program. The subject property fronts North La Brea Avenue to the west with a street frontage of approximately 144 feet, and Beverly Boulevard to the south with a street frontage of approximately 104 feet.

The subject property is currently developed with a retail shopping center. The proposed project involves the demolition of the existing uses and the construction, use, and maintenance of a new seven (7) story, 67,408.6 square-foot residential building with 99 residential units, including 78 units set aside for Low Income households, 20 units set aside for Moderate Income households, and one (1) Market Rate Manager's Unit. The project will provide 47 vehicular parking spaces located on the ground level and second level of the proposed building.

The subject site is located within the Wilshire Community Plan, one of the 34 Community Plans that collectively form the land use element of the General Plan. The Community Plan designates the site for General Commercial land uses corresponding to the C1.5, C2, CR, C4, and RAS3 Zones. The subject property is zoned C2-1VL and is consistent with the existing land use designation.

The surrounding area is located in an established and heavily developed residential area of Wilshire with flat topography located southeast of La Brea Avenue and Beverly Boulevard. The surrounding area is developed with a variety of residential and commercial buildings. The abutting property to the north is zoned C2-1VL and is improved with a commercial building. The property to the south across Beverly Boulevard is zoned C2-1VL and is improved with a gas station. The abutting property to the east is zoned [Q]R3-1 and is improved with a multi-family building. The property to the west across La Brea Avenue is zoned C2-1LD and is improved with a commercial building.

## HOUSING REPLACEMENT

**No Net Loss Declaration.** Pursuant to LAMC Ch 1 16.60 A.5, a Housing Development Project must include at least as many residential dwelling units as the greatest number of residential dwelling units that existed on the project site within the last five years (i.e., "no net loss"). Projects subject to the Resident Protections Ordinance that result in a net loss of housing are prohibited. The applicant has submitted a No Net Loss Declaration dated January 22, 2026.

## CITYWIDE HOUSING INCENTIVE PROGRAM ON-MENU INCENTIVES ELIGIBILITY CRITERIA

Pursuant to LAMC Ch. 1 Section 12.22.A 39(f)(1)(ii), in order to be eligible for any on-menu incentives, a project shall comply with the following criteria:

- a. *The project shall not be located in a Very High Fire Hazard Severity Zone, Sea Level Rise Area, or the Coastal Zone.*

The project is not located in a Very High Fire Hazard Severity Zone, Sea Level Rise Area, or the Coastal Zone.

- b. *The project would not require the Demolition, as Demolition is defined in Section 13B.8.1.C of Chapter 1A of this Code, of i.) a Designated Historic Resource, or ii.) any Surveyed Historic Resource, eligible or architectural historic resource identified for any historic protection or special consideration or review by an applicable overlay or Specific Plan including sites located in the South Los Angeles Community Plan Implementation Overlay (CPIO) Section 1- 6.C.5.b; the Southeast Los Angeles CPIO Section 1-6.C.5.b; the West Adams CPIO Ch.1, Section 6.C.5.b; the San Pedro CPIO Ch.1, Section 7.C.5.b; Westwood Village Specific Plan; Echo Park Community Design Overlay (CDO) District; or the North University Park Specific Plan.*

The project does not require the Demolition, as Demolition is defined in Section 13B.8.1.C of Chapter 1A of this Code, of i.) a Designated Historic Resource, or ii.) any Surveyed Historic Resource, eligible or architectural historic resource identified for any historic protection or special consideration or review by an applicable overlay or Specific Plan including sites located in the South Los Angeles Community Plan Implementation Overlay (CPIO) Section 1- 6.C.5.b; the Southeast Los Angeles CPIO Section 1-6.C.5.b; the West Adams CPIO Ch.1, Section 6.C.5.b; the San Pedro CPIO Ch.1, Section 7.C.5.b; Westwood Village Specific Plan; Echo Park Community Design Overlay (CDO) District; or the North University Park Specific Plan.

- c. *The project shall not include any lots located in a manufacturing zone that does not allow multiple family residential uses (M1, M2, M3) or lots located in a hybrid industrial zone (CM, MR1, MR2) with residential use restrictions from an applicable planning overlay, except for Public Land Projects.*

The project does not include any lots located in a manufacturing zone or lots located in a hybrid industrial zone.

### **Density Bonus Incentives**

LAMC Section 12.22.A 39 and State Density Bonus Law (Government Code Section 65915) outline types of relief that minimize development restrictions on the project. In exchange for meeting the minimum set-aside requirements, the project may receive a set of incentives, concessions, and waivers to deviate from development standards in order to facilitate the provision of affordable housing at the site. California Government Code Section 65915(k) specifies that incentives result in “identifiable and actual cost reductions” to provide for affordable housing costs and rents as specified in the subdivision. The requested incentives allow the developer to expand the building envelope so the additional affordable units can be constructed, provide for design efficiencies, and allow the overall space dedicated to residential uses to be increased. In addition to the density, height and parking relief allowed through Government Code Section 65915, the applicant is granted the following incentives:

- 1. Open Space (Not on the Menu Incentive).** An up to 90 percent reduction to permit 1,023.3 square feet of open space in lieu of the 10,150 square feet, as otherwise required per LAMC 12.21 G.2.
- 2. Tree Planting (Not on the Menu Incentive).** An up to 100 percent reduction to permit zero (0) trees in lieu of the 25 trees, as otherwise required per LAMC 12.21.G.2.(a)(3).

3. **Loading Zone (Not on the Menu Incentive).** An up to 100 percent reduction to permit zero (0) square feet of loading space in lieu of the 600 square feet, as otherwise required per LAMC 12.21.C.6.(d).
4. **Long-Term Bicycle Parking (Not on the Menu Incentive).** An up to 100 percent reduction to permit zero (0) spaces in lieu of 75 spaces, as otherwise required per LAMC 12.21.A.16.(a)(1).
5. **Yards (Not on the Menu Incentive).** An up to 100 percent reduction of the Rear Yard to permit a zero (0)-foot north rear yard in lieu of the 19 feet, as otherwise required per LAMC 12.14.C.2.

The incentives lead to identifiable and actual cost reductions to provide for affordable housing costs by their nature, because they increase the scale of the project and thus facilitate the provision of affordable housing units. The project includes five (5) Incentives Not on the Menu, which further expand the building envelope and allow for cost reductions in providing for the affordable units.

The applicant is approved for the incentives listed above related to Open Space reductions, Tree Planting requirements, Loading Zone requirements, Bicycle Parking requirements, and Yard requirements. There is no evidence in the record that the proposed incentives would have a specific adverse impact. A “specific adverse impact” is defined in California Government Code Section 65589.5(d)(2) as “a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete.” Inconsistency with the zoning ordinance or General Plan land use designation shall not constitute a specific adverse impact on public health or safety.

The record does not contain substantial evidence that would allow the decision maker to make a finding that the requested incentives do not result in identifiable and actual cost reduction to provide for affordable housing costs per California Government Code Section 65915(k), to provide for affordable housing costs and rents as specified in California Government Code Section 65915(c) and by the applicable local density bonus program 12.22.A 39.

The Density Bonus Incentives result in identifiable and actual cost reductions and the application was deemed complete per LAMC Section 12.22.A 39. The project does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical-Cultural Monuments per the Office of Historic Resources email dated March 24, 2026.

There is no evidence in the record which identifies a written objective health and safety standard that has been exceeded or violated. Based on the above, there is no basis to deny the requested incentives.

**Pursuant to Section 12.22 A 39(f)(1)(i) of Ch. 1 of the LAMC and Section 65915(e) of the California Government Code, the Director of Planning shall approve a density bonus and requested incentive(s) unless they find that:**

- a. *The Incentive does not result in identifiable and actual cost reductions, consistent with California Government Code Section 65915(k), to provide for affordable housing costs as defined in California Health and Safety Code Section 50052.5, or for rents for the targeted units to be set as specified in California Government Code Section 65915(c).*

- b. *The Incentive will have a Specific Adverse Impact upon public health and safety or on any real property that is listed in the California Register of Historical Resources and for which there is no feasible method to satisfactorily mitigate or avoid the Specific Adverse Impact without rendering the development unaffordable to low- income and moderate-income households. Inconsistency with the zoning ordinance or General Plan land use designation shall not constitute a Specific Adverse Impact upon the public health or safety.*
- c. *The Incentives are contrary to state or federal law.*

## **CITYWIDE HOUSING INCENTIVE PROGRAM — WAIVER COMPLIANCE FINDINGS**

LAMC Section 12.22.A 39 and State Density Bonus Law (Government Code Section 65915) outline types of relief that minimize development restrictions on the project. In exchange for meeting the minimum set-aside requirements, the project may receive a set of incentives, concessions, and waivers to deviate from development standards in order to facilitate the provision of affordable housing at the site. California Government Code Section 65915(e) specifies that a local government may in no case apply a development standard “physically precluding” the construction of a development at the densities permitted through the program. The requested waivers are for reductions in Development Standards that would have the effect of physically precluding the construction of the project pursuant to 12.22.A 39.

- a. **Building Stories (Waiver of Development Standard).** A four (4)-story height increase to permit seven (7) stories in lieu of three (3) stories, as otherwise permitted per LAMC 12.21.1.A.1.

Without these waivers the project would be physically precluded because it could not reach the building envelope required for the number of units (99) and affordable units (78 Low Income units and 20 Moderate Income units) proposed.

The applicant is approved for the waiver listed above related to Building Stories requirements. There is no evidence in the record that the proposed incentives and waivers would have a specific adverse impact. A “specific adverse impact” is defined in California Government Code Section 65589.5(d)(2) as “a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete.” Inconsistency with the zoning ordinance or General Plan land use designation shall not constitute a Specific Adverse Impact on public health or safety.

The project does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical-Cultural Monuments per the Office of Historic Resources email dated March 24, 2026.

There is no evidence in the record which identifies a written objective health and safety standard that has been exceeded or violated. Based on the above, there is no basis to deny the requested waivers.

**Pursuant to Section 12.22 A 39(d)(5) of Ch. 1 of the LAMC and Section 65915(e) of the California Government Code, the Director of Planning shall approve requested waiver (s) unless they find that:**

- a. *The Development Standard associated with a request for Waiver will not have the effect of*

*physically precluding the construction of a development meeting the eligibility criteria of the program at the densities or with the Base Incentives and Additional Incentives permitted under the applicable subdivision.*

- b. The Waiver would have a Specific Adverse Impact, as defined in California Government Code Section 65589.5(d)(2), upon public health and safety and for which there is no feasible method to satisfactorily mitigate or avoid the Specific Adverse Impact. Inconsistency with the zoning ordinance or General Plan land use designation shall not constitute a Specific Adverse Impact upon the public health or safety.*
- c. The Waiver would have an adverse impact on any real property that is listed in the California Register of Historical Resources.*
- d. The Waiver would be contrary to state or federal law.*

### **NO NET LOSS OF HOUSING ELEMENT SITES – COMPLIANCE FINDING**

California Government Code Section (GCS) 65863 generally prohibits local jurisdictions from approving development projects that result in fewer units by income category than were projected for any parcel(s) identified in the 2021-2029 Housing Element, unless a finding can be made that the Housing Element's remaining sites have sufficient capacity to meet the jurisdiction's unmet Regional Housing Need Allocation (RHNA) for each income category.

The project site is located on parcel(s) identified to accommodate 0.08 Lower Income units in the City's 2021-2029 Housing Element. The proposed development includes a total of 99 dwelling units, including 78 Low Income Units, 20 Moderate Income Units, and one (1) Manager's Unit. As such, the proposed project will exceed the number of Lower Income units the project site was identified to accommodate in the City's 2021-2029 Housing Element.

### **ADDITIONAL MANDATORY FINDINGS**

The National Flood Insurance Program rate maps, which are a part of the Flood Hazard Management Specific Plan adopted by the City Council by Ordinance No. 172,081, have been reviewed and it has been determined that this project is located **outside a flood zone**.

### **TIME LIMIT – OBSERVANCE OF CONDITIONS**

All terms and conditions of the Expanded Administrative Review Letter of Compliance shall be fulfilled before the use may be established. The instant authorization is further conditioned upon the privileges being utilized within **three years** after the effective date of this determination and, if such privileges are not utilized, building permits are not issued, or substantial physical construction work is not begun within said time and carried on diligently so that building permits do not lapse, the authorization shall terminate and become void.

Verification of condition compliance with building plans and/or building permit applications are done at the Development Services Center of the Department of City Planning at either Figueroa Plaza in Downtown Los Angeles, West Los Angeles Development Services Center, South LA Development Services Center, or the Marvin Braude Constituent Service Center in the Valley. In order to assure that you receive service with a minimum amount of waiting, applicants are encouraged to schedule an appointment with the Development Services Center either by calling (213) 482-7077, (310) 231-2901, (818) 374-5050, or through the Department of City Planning

website at <http://cityplanning.lacity.org>. The applicant is further advised to notify any consultant representing you of this requirement as well.

Section 11.00 of Ch. 1 of the LAMC states in part (m): "It shall be unlawful for any person to violate any provision or fail to comply with any of the requirements of this Code. Any person violating any of the provisions or failing to comply with any of the mandatory requirements of this Code shall be guilty of a misdemeanor unless that violation or failure is declared in that section to be an infraction. An infraction shall be tried and be punishable as provided in Section 19.6 of the Penal Code and the provisions of this section. Any violation of this Code that is designated as a misdemeanor may be charged by the City Attorney as either a misdemeanor or an infraction. Every violation of this determination is punishable as a misdemeanor unless provision is otherwise made, and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the County Jail for a period of not more than six months, or by both a fine and imprisonment."

### TRANSFERABILITY

This determination runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant. If any portion of this approval is utilized, then all other conditions and requirements set forth herein become immediately operative and must be strictly observed.

**Effective Date/Appeals:** The Department decision finding the Project consistent and subject to a ministerial Planning Department action is effective upon the mailing of this letter and is not appealable.

VINCENT P. BERTONI, AICP  
Director of Planning

Reviewed by:

*Deborah Kahen*

Deborah Kahen, AICP  
Senior City Planner

Reviewed by:

*Chi Dang*

Chi Dang, City Planner

Prepared by:

*Nashya Sadono-Jensen*

Nashya Sadono-Jensen, City Planning Associate  
nashya.sadono-jensen@lacity.org



H+ARCH  
HARCHINC.COM



APPROVAL STAMP

# 300 N LA BREA

100% AFFORDABLE HOUSING (PRIVATELY FUNDED)

300 N. LA BREA AVE  
LOS ANGELES, CA

300 NORTH LA BREA (LA) OWNER, LLC  
4700 WILSHIRE BLVD  
LOS ANGELES, CA 90010

ARCHITECT SEAL: THE DRAWING AND THE INFORMATION CONTAINED HEREIN ARE THE COPYRIGHTED WORK OF H+ARCH ARCHITECTURE INC. H+ARCH AND H+ARCH ARE REGISTERED TRADEMARKS OF H+ARCH ARCHITECTURE INC. WRITTEN PERMISSION IS REQUIRED FOR REPRODUCTION.

REVISIONS

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- G101 EXISTING PHOTOS & INFORMATION
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- G205 AREA ANALYSIS - VESTING PURSUANT TO THE HOUSING CRISIS ACT
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- A111 FLOOR PLAN - LEVEL 1
- A112 FLOOR PLAN - LEVEL 2
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**EXHIBIT "A"**  
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JOB NUMBER:  
251022

DATE:  
01.22.2026

ISSUE:  
PZA SET

SHEET TITLE:  
COVER

**G000**

## ARCHITECTURAL SYMBOLS

	CALL OUT / DETAIL		WORK POINT		CENTERLINE
	BUILDING SECTION		WINDOW TAG		PROPERTY LINE
	WALL SECTION		STOREFRONT TAG		BREAKLINE
	EXTERIOR ELEVATION		DOOR TAG		ALIGN
	INTERIOR ELEVATION		MATERIAL TAG		
	ELEVATION MARK		WALL TYPE		
			KEYNOTE		

## ARCHITECTURAL ABBREVIATIONS

@	DIAMETER	GA	GALVANIZED	R	RADIUS OF RISER
%	PERCENT	GB	GRAB BAR	RCP	REFLECTED CEILING PLAN
	PROPERTY LINE AND CENTER LINE	GC	GENERAL CONTRACTOR	RD	ROOF DRAIN OR ROAD
AB	ANCHOR BOLT	GYP	GYP/SUM BOARD	REC	RECESSED
ACCUS	AIR CONDITIONING	GYB	GYP/SUM BOARD	REF	REFERENCE or REFRIGERATOR REQUIRED
ACT	ACOUSTIC CEILING TILE	HB	HOSE BIBB	REV	REVISION or REVISED
ADA	AMERICANS WITH DISABILITIES ACT	HC	HOLLOW CORE	RM	ROOM
ADJ	ADJUNCT	HCW	HOLLOW CORE WOOD	RO	ROUGH OPENING
ADJT	ADJUSTABLE	HDR	HEADER	ROW	RIGHT OF WAY
AFF	ABOVE FINISH FLOOR	HM	HOLLOW METAL	RRM	RESTROOM
ALT	ALTERNATE	HORIZ	HORIZONTAL	RUB	RUBBER
ALUM	ALUMINUM	HR	HANDRAIL	SCW	SOLID CORE WOOD
APPROX	APPROXIMATELY	HT	HEIGHT	SCWF	SQUARE FEET
ASPH	ASPHALT	INS	INSULATION	SF	SQUARE FEET
ASTM	AMERICAN SOCIETY OF TESTING MATERIALS	INT	INTERIOR	SHT	SHEET
ARCH	ARCHITECT	INT	INTERIOR	SHTG	SHEATHING
		JST	JOIST	SIM	SIMILAR
BD	BOARD	JT	JOINT	SL	SLOPE
BF	BRACE FRAME	LAM	LAMINATE	SPFCS	SPECIFICATIONS
BLK	BLOCK	LAV	LAVATORY	SPRKL	SPRINKLER
BLKG	BLOCKING	LIN	LINOLEUM	STL	STEEL
BM	BEAM	LT	LIGHT	STOR	STORAGE
BOT	BOTTOM	LVR	LOUVER	STRUCT	STRUCTURAL
BTWN	BETWEEN	LVR	LOUVER	SUSP	SUSPENDED
		MAX	MAXIMUM	T	TREAD
CAB	CABINET	MECH	MECHANICAL	TL	TILE
CEM	CEMENT	MEMB	MEMBRANE	TL	TO BE DETERMINED
CLO	CLOSET	MFR	MANUFACTURER	TEL	TELEPHONE
CLS	CEILING	MIN	MINIMUM	THK	THICK
CLR	CLEAR	MIR	MIRROR	THRESH	THRESHOLD
CMU	CONCRETE MASONRY UNIT	MISC	MISCELLANEOUS	TJ	TRUSS JOIST
COL	COLUMN	MO	MASONRY OPENING	TO	TOP OF
CONC	CONCRETE	MTD	MOUNTED	TOC	TOP OF CONCRETE
CONT	CONTINUOUS	MTL	METAL	TOP	TOP OF PLATE
CONTR	CONTRACTOR	N	NOTE	TOS	TOP OF SLAB
CPT	CARPET	N	NOTE	TOSG	TOP OF SHEATHING
CRS	COURSES	(N)	NEW	TOW	TOP OF WALL
CT	CERAMIC TILE	NC	NOT IN CONTRACT	TYP	TYPICAL
CTSK	COUNTERSINK	NO	NUMBER	UNO	UNLESS NOTED OTHERWISE UNFINISHED
		NT	NOT TO SCALE	UNFIN	UNFINISHED
(D)	DEMOLISH	O	OVER	VCT	VINYL COMPOSITION TILE
SAS	DISABLED ACCESS	OC	ON CENTER	VERT	VERTICAL
DBL	DOUBLE	OC	ON CENTER	VIF	VERIFY IN FIELD
DIA	DIAMETER	OFI	OWNER FURNISHED- CONTRACTOR INSTALLED	W	WITH
DIM	DIMENSION	OFI	OWNER FURNISHED- CONTRACTOR INSTALLED	WC	WATER CLOSET
DN	DOWN	OFI	OWNER FURNISHED- CONTRACTOR INSTALLED	WD	WOOD
DR	DOWNSPOUT	OFI	OWNER FURNISHED- CONTRACTOR INSTALLED	WH	WATER HEATER
DU	DWELLING UNIT	OP	OPPOSITE	WP	WATERPROOF WORK POINT
DW	DISHWASHER	OPG	OVERHEAD OPENING	WPT	WORK POINT
DWG	DRAWING	OPNG	OPENING	WS	WEATHERSTRIPPING
		OPNG	OPENING	YD	YARD
(E)	EXISTING	PAN	PANTRY		
EA	EACH	PB	PUSH BUTTON		
ELEC	ELECTRICAL	PC	PULL CHAIN		
ELEV	ELEVATOR	PIP	PROTECT IN PLACE		
ENCL	ENCLOSURE	PL	PLATE		
EOS	EDGE OF SLAB	PLAM	PLASTIC LAMINATE		
EQ	EQUAL	PLAST	PLASTER		
EQUIP	EQUIPMENT	PLYWD	PLYWOOD		
EXPN	EXPANSION	PNL	PANEL		
EXP	EXPOSED	PR	PAIR		
EXT	EXTERIOR	PRCST	PRECAST		
		PREFAB	PREFABRICATED		
FE	FIRE EXTINGUISHER	PT	PAINT		
FF	FINISH FLOOR	PTD	PAINTED		
FIN	FINISH	QRY	QUARRY		
FKT	FIXTURE	QTY	QUANTITY		
FJ	FLOOR JOIST				
FLR	FLOOR				
FMC	FLOOR MATERIAL CHANGE				
FOC	FACE OF CONCRETE				
FOF	FACE OF FINISH				
FOM	FACE OF MASONRY				
FOS	FACE OF STUD				
FR	FIRE RESISTIVE				
FS	FINISH SURFACE				
FTG	FOOTING				

## PARKING ANALYSIS

REQUIRED AUTOMOBILE PARKING	PROVIDED TOTAL AUTOMOBILE PARKING	QUANTITY
COMMERCIAL NONE PER AB 2097	ACCESSIBLE - VAN	1
RESIDENTIAL NONE PER AB 2097	COMPACT	25
	STANDARD	3
EV PARKING - UNASSIGNED PARKING (DWELLING UNITS - PARKING)	STANDARD (EVCS)	11
	TANDEM	5
	VAN (EVCS)	1
100% OF THE PARKING TO BE EV READY PARKING SPACES WITH RECEPTACLES (LEVEL 2 EV CHARGING RECEPTACLES)	RESIDENTIAL STANDARD TOTAL	47
25% OF UNASSIGNED PARKING TO BE EQUIPPED WITH LEVEL 2 EV CHARGERS		
TOTAL: 12 STALLS (EV PARKING WITH CHARGER - EVCS)		

## BICYCLE PARKING ANALYSIS

REQUIRED BIKE PARKING	PROVIDED TOTAL BIKE PARKING	QUANTITY
COMMERCIAL: SHORT TERM: 2 STALLS LONG TERM: 2 STALLS	COMMERCIAL: SHORT TERM: 2 STALLS LONG TERM: 2 STALLS	4
RESIDENTIAL: SHORT TERM: 7 STALLS LONG TERM: 75 STALLS	RESIDENTIAL: SHORT TERM: 8 STALLS LONG TERM: 0 STALLS	8
	OFF-MENU INCENTIVE TO REMOVE 100% OF RESIDENTIAL LONG TERM BICYCLE PARKING	0

DESIGNATION	TYPE	LEVEL	QUANTITY	PARKING MIX %
COMMERCIAL	LONG-TERM	LEVEL 1	2	20%
COMMERCIAL	SHORT-TERM	LEVEL 1	2	20%
COMMERCIAL	SHORT-TERM	LEVEL 1	4	40%
RESIDENTIAL	SHORT-TERM	LEVEL 1	6	60%
RESIDENTIAL	SHORT-TERM	LEVEL 1	6	60%
Grand total			10	100%

## UNIT MIX & COUNT

TOTAL NUMBER OF UNITS	TOTAL NUMBER OF UNITS PER TYPE	BEDS	COUNT
STUDIO = 30 UNITS (31%)	STUDIO	30	
1 BR = 59 UNITS (59%)	1BR	59	
2 BR = 10 UNITS (10%)	2BR	10	
	Grand total:	99	

UNIT MIX PER FLOOR:	3RD FLOOR	STUDIO = 6 UNITS	1 BR = 11 UNITS	2 BR = 2 UNITS
UNIT MIX PER FLOOR:	4TH FLOOR	STUDIO = 6 UNITS	1 BR = 12 UNITS	2 BR = 2 UNITS

## SUMMARY OF INCENTIVES (AHP)

**BASE INCENTIVE - 100% AFFORDABLE**

- BASE INCENTIVE FOR A 135.7% DENSITY INCREASE, TO PERMIT 99 DWELLING UNITS, IN LIEU OF 42 DWELLING UNITS, AS OTHERWISE PERMITTED BY LAMC 12.14 C.3.
- BASE INCENTIVE TO PERMIT 4.47 FAR, IN LIEU OF 1.5 FAR, AS OTHERWISE PERMITTED BY 12.21.1.A.1.
- BASE INCENTIVE FOR A 33' HEIGHT INCREASE, TO PERMIT 78', IN LIEU OF 45', AS OTHERWISE PERMITTED BY LAMC 12.21.1.A.1.

**OFF-MENU INCENTIVES**

- OFF-MENU INCENTIVE FOR A 90% OPEN SPACE REDUCTION, TO PERMIT 1,023.3 SF, IN LIEU OF 10,150 SF, AS OTHERWISE REQUIRED BY LAMC 12.21-G.2.
- OFF-MENU INCENTIVE FOR A 100% TREE PLANTING REDUCTION, TO PERMIT 0 TREES, IN LIEU OF 25 TREES, AS OTHERWISE REQUIRED BY LAMC 12.21-G.2(A)(3).
- OFF-MENU INCENTIVE FOR RELIEF FROM THE LAMC 12.21-C.6(D) LOADING ZONE REQUIREMENT.
- OFF-MENU INCENTIVE FOR A 100% RESIDENTIAL LONG-TERM BICYCLE PARKING REDUCTION, TO PERMIT 0 SPACES, IN LIEU OF 75 SPACES, AS OTHERWISE REQUIRED BY LAMC 12.21-1A.16(A)(1).
- OFF-MENU INCENTIVE TO PERMIT A 0' NORTH REAR YARD, IN LIEU OF 19', AS OTHERWISE REQUIRED BY LAMC 12.14-C.2.

**WAIVER OF DEVELOPMENT STANDARD**

1. WAIVER OF DEVELOPMENT STANDARD FOR A FOUR-STORY HEIGHT INCREASE, TO PERMIT SEVEN STORIES, IN LIEU OF THREE STORIES, AS OTHERWISE PERMITTED BY LAMC 12.21.1.A.1.

## ZONING INFORMATION

<b>ZONING / HEIGHT DISTRICT:</b>	C2-1VL
<b>ZONING INFORMATION:</b>	ZI-2452 TRANSIT PRIORITY AREA IN THE CITY OF LOS ANGELES ZI-2534 LOWER INCOME REZONING HOUSING ELEMENT SITES - MINISTRIAL, APPROVAL AND MINIMUM DENSITY ZI-2488 LOCAL EMERGENCY TEMPORARY REGULATIONS - TIME LIMITS AND PARKING RELIEF - LAMC 16.02.1 ZI-2535 PRIOR HOUSING ELEMENT SITES - MINISTRIAL APPROVAL ZI-2512 HOUSING ELEMENT SITES
<b>AB2334: LOW VEHICLE TRAVEL AREA:</b>	YES
<b>AB2097 WITHIN A 1/2 MILE OF MAJOR TRANSIT STOP:</b>	YES
<b>TRANSIT ORIENTED INCENTIVE AREA (TOIC):</b>	T-2
<b>OPPORTUNITY CORRIDORS INCENTIVE AREA:</b>	OC-3
<b>FLOOD ZONE:</b>	OUTSIDE FLOOD ZONE
<b>VERY HIGH FIRE HAZARD SEVERITY ZONE:</b>	NO
<b>METHANE HAZARD SITE:</b>	METHANE ZONE
<b>TCAC OPPORTUNITY AREA:</b>	HIGHEST

## ZONING ANALYSIS - DENSITY

<b>LOT AREA:</b>	15,083.7 SQ FT
<b>12' OF ALLEY:</b>	1,444.9 SQ FT
<b>LOT AREA INCLUDING 12' OF ALLEY:</b>	16,528.5 SF
<b>ALLOWED DENSITY:</b>	16,528.5 / 400 = 41.3 OR 42 UNITS LIMITED BY FLOOR AREA
<b>BY RIGHT:</b>	99 UNITS
<b>BASE INCENTIVE (AHP):</b>	
<b>PROPOSED DENSITY:</b>	99 UNITS

## ZONING ANALYSIS - HEIGHT

<b>ALLOWED ZONING HEIGHT:</b>	45'-0"
<b>BY RIGHT:</b>	33'-0" INCREASE
<b>BASE INCENTIVE (AHP) WITH WAIVER OF DEV. STANDARD:</b>	MAX 7 STORIES
<b>PROPOSED ZONING HEIGHT:</b>	78'-0"

## ZONING ANALYSIS - SETBACK

<b>REQ'D SET BACKS BY RIGHT:</b>	
<b>FRONT:</b>	0'-0"
<b>SIDE:</b>	0'-0" PER LAMC 12.22.A.18(c)
<b>REAR:</b>	0'-0" FOR COMMERCIAL 15'-0" FOR RESIDENTIAL
<b>PROVIDED SET BACKS:</b>	
<b>FRONT:</b>	0'-0" PER LAMC 12.22.A.18(c) (BEVERLY BLVD)
<b>SIDE 1:</b>	0'-0" PER LAMC 12.22.A.18(c) (LA BREA AVE)
<b>SIDE 2:</b>	0'-0" PER LAMC 12.22.A.18(c) (ALLEY)
<b>REAR:</b>	0'-0" PER OFF-MENU INCENTIVE (INTERIOR LOT)

## ZONING ANALYSIS - FAR

**MEASUREMENT PER LAMC 12.03:**  
AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF A BUILDING, BUT NOT INCLUDING THE AREA OF THE FOLLOWING: EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS HOUSING BUILDING EQUIPMENT OR MACHINERY, PARKING AREAS WITH ASSOCIATED DRIVEWAYS AND RAMPS, SPACE FOR THE LANDING AND STORAGE OF HELICOPTERS, AND BASEMENT STORAGE AREAS.

<b>LOT AREA:</b>	15,083.7 SF
<b>BUILDABLE AREA:</b>	SAME AS THE LOT AREA PER LAMC 12.03
<b>MAX ALLOWABLE FAR:</b>	15,083.7 X 4.65 = 70,139.2 SF
<b>PROPOSED FAR:</b>	4.47 FAR OR 67,488.5 SF

Level	Name	Area
LEVEL 1	FAR	313.9 SF
LEVEL 1	FAR	4330.5 SF
LEVEL 2	FAR	1726.8 SF
LEVEL 3	FAR	12207.5 SF
LEVEL 4	FAR	12207.5 SF
LEVEL 5	FAR	12207.5 SF
LEVEL 6	FAR	12207.5 SF
LEVEL 7	FAR	12207.5 SF
Grand total		67406.6 SF

## ZONING ANALYSIS - OPEN SPACE

**OPEN SPACE REQUIREMENTS PER LAMC 12.21 G.2:**

100 SF/UNIT < 3 HABITABLE ROOMS (STUDIO & 1 BR UNITS)  
125 SF/UNIT = 3 HABITABLE ROOMS (2 BR UNITS)  
175 SF/UNIT > 3 HABITABLE ROOMS (3 BR UNITS)

**REQUIRED OPEN SPACE PER LAMC 12.21 G.2**

STUDIO	30 X 100	= 3,000 SF
1 BR	59 X 100	= 5,900 SF
2 BR	10 X 125	= 1,250 SF
TOTAL REQ'D OPEN SPACE		= 10,150 SF
REQ'D TREE COUNTS (1 TREE PER 4 UNITS)		994 = 24.8 OR 25 TREES
TOTAL REQ'D OPEN SPACE WITH OFF-MENU INCENTIVE		1,023.3 SF
TOTAL REQ'D TREE WITH OFF-MENU INCENTIVE		0 TREES

**PROPOSED OPEN SPACE**

LEVEL	NAME	AREA
LEVEL 3	COMMON OPEN SPACE: EXTERIOR	1023.3 SF
Grand total		1023.3 SF



## PROJECT INFORMATION

<b>PROJECT NAME:</b>	LA BREA APARTMENT
<b>ADDRESS:</b>	300 N LA BREA LOS ANGELES, CA
<b>OWNER:</b>	300 NORTH LA BREA (LA) OWNER, LLC 4700 WILSHIRE BLVD LOS ANGELES, CA 90010
<b>PROJECT DESCRIPTION:</b>	AHP PROJECT 100% AFFORDABLE HOUSING PROJECT NEW CONSTRUCTION OF A 67,488.5 SQUARE FOOT (4.47 FAR), SEVEN-STORY, 78-FOOT, 100% AFFORDABLE HOUSING DEVELOPMENT WITH 99 DWELLING UNITS, INCLUDING 30 STUDIO UNITS, 59 ONE-BEDROOM UNITS, AND TEN TWO-BEDROOM UNITS, WITH 78 LOW INCOME UNITS, 20 MODERATE INCOME UNITS, AND ONE MARKET-RATE MANAGER'S UNIT, AS WELL AS 3,200 SQUARE FEET OF RETAIL SPACE.
<b>FUNDING:</b>	100% PRIVATELY FUNDED THIS IS NOT A PUBLIC HOUSING AND STUDENT HOUSING FACILITY OWNED AND/OR OPERATED BY, FOR OR ON BEHALF OF A PUBLIC ENTITY AND NO TAX CREDIT RECEIVED FROM STATE OR FEDERAL. NOT TCAC FACILITY, AND NOT A SOCIAL SERVICE CENTER.
<b>SCHOOL DISTRICT ASSESSABLE AREA:</b>	LAUSD 64289.3 SF

## LEGAL DESCRIPTION

THE LAND REFERRED TO IS SITUATED IN THE COUNTY OF LOS ANGELES, CITY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOTS 28, 30 AND 31 OF TRACT NO. 8489, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 95, PAGE(S) 53 TO 55 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 5525-032-028

THE PROPERTY SURVEYED IS THE SAME PROPERTY AS DESCRIBED ABOVE AND AS SHOWN IN THE TITLE COMMITMENT PREPARED BY OLD REPUBLIC TITLE COMPANY FOR ORDER NUMBER 2676030984-48, BEARING AN EFFECTIVE DATE OF OCTOBER 14, 2025.

## APPLICABLE CODE USED

2023 CITY OF LOS ANGELES BUILDING CODE  
2023 CITY OF LOS ANGELES PLUMBING CODE  
2023 CITY OF LOS ANGELES FIRE CODE  
2023 CITY OF LOS ANGELES MECHANICAL CODE  
2023 CITY OF LOS ANGELES ELECTRICAL CODE  
2023 CITY OF LOS ANGELES GREEN BUILDING CODE

**RELATED CODES AND STANDARDS:**

CITY OF LOS ANGELES MUNICIPAL CODE  
CITY OF LOS ANGELES PLANNING AND ZONING CODE  
CALIFORNIA BUILDING STANDARDS CODE, PARTS 2, 7, 8, 10, 11  
ADA STANDARDS  
NFPA 13, 2016 EDITION WITH CITY AMENDMENTS  
NFPA 72, 2016 EDITION WITH CITY AMENDMENTS  
NFPA 14, 2016 EDITION WITH CITY AMENDMENTS  
NFPA 24, 2016 EDITION

## ARCHITECT OF RECORD

HWANGBO ARCHITECTURE (H+ARCH) IS THE DESIGNATED ARCHITECT OF RECORD AS REQUIRED BY THE STATE OF CALIFORNIA. THE ARCHITECT OF RECORD SHALL REVIEW SUBMITTALS AND COORDINATE SUBMITTALS AND DEFERRED SUBMITTALS THROUGH THE CITY. DEFERRED SUBMITTALS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

REVIEW AND COMMENTS ON SUBMITTALS AND DEFERRED SUBMITTALS SHALL NOT RELIEVE THE AUTHOR OF THE DOCUMENTS OR THE CONTRACTOR FROM COMPLIANCE WITH ALL APPLICABLE CODES AND THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS. THE REVIEW IS ONLY FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPT OF THE PROJECT AND GENERAL COMPLIANCE WITH INFORMATION GIVEN IN THE CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS, SELECTION FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION, COORDINATING HIS WORK WITH THAT OF OTHER TRADES AND PERFORMING HIS WORK IN SAFE AND SATISFACTORY MANNER.

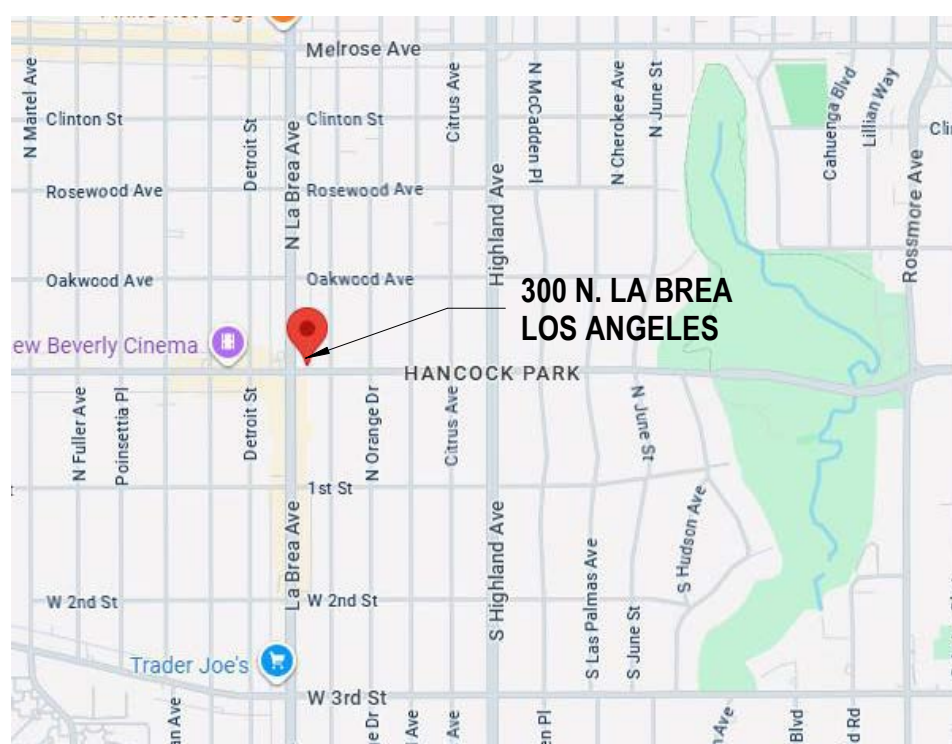
## DEFERRED PERMIT

THE FOLLOWING ITEMS ARE DESIGN BUILD SYSTEMS AND WILL BE A DEFERRED SUBMITTAL BY THE CONTRACTOR AT A LATER DATE. DEFERRED SUBMITTAL DOCUMENTS SHALL BE STAMPED AND SIGNED BY A LICENSED ENGINEER IN THE STATE OF CA. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTALS SHALL BE FIRST SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD, WHO WILL REVIEW THEM FOR GENERAL CONFORMANCE WITH THE DESIGN INTENT OF THE BUILDING. UPON THIS REVIEW, THE CONTRACTOR WILL SUBMIT AND PROCESS THE DEFERRED APPROVAL TO THE LOCAL BUILDING OFFICIAL FOR REVIEW AND APPROVAL. THE SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

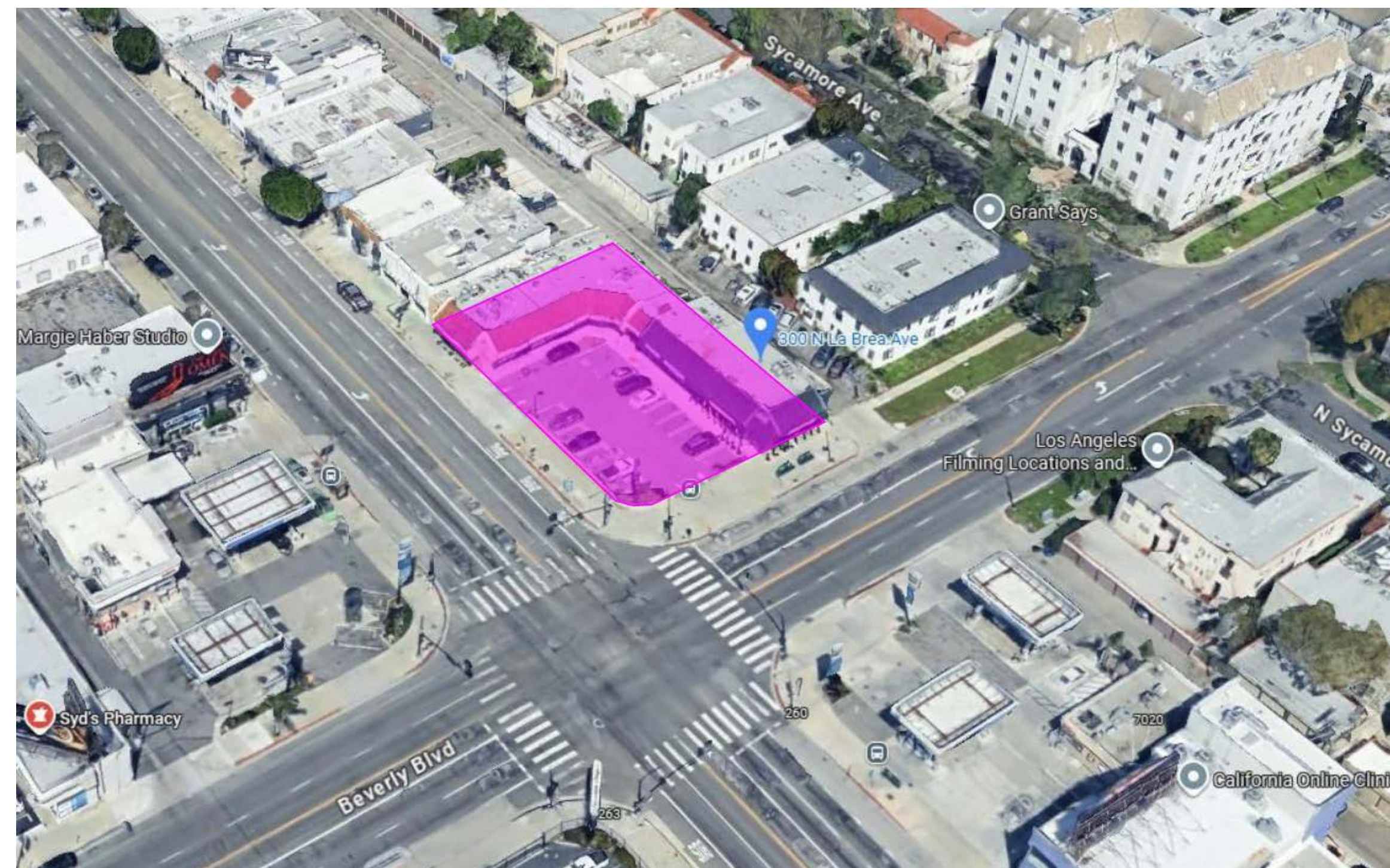
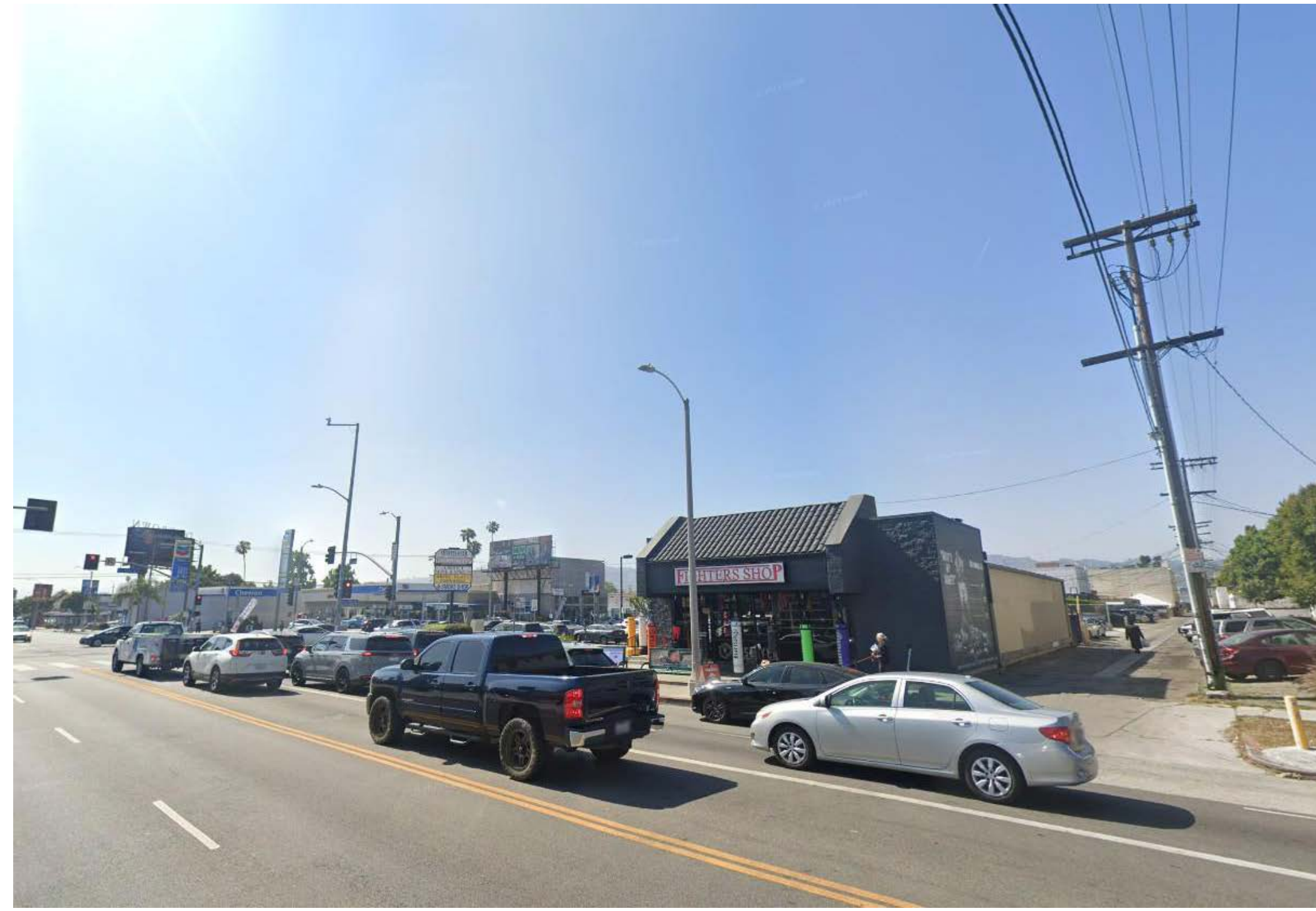
- MECHANICAL, ELECTRICAL & PLUMBING
- SHORING
- AUTOMATIC FIRE SPRINKLER SYSTEM
- FIRE ALARM SYSTEM
- ELEVATOR SYSTEM
- GLAZED ALUM. EXTERIOR STOREFRONT / CURTAIN WALL SYSTEM
- BUILDING MAINTENANCE EQUIPMENT, WINDOW WASHING & FALL PROTECTION SYSTEM (REAR ACCESS)
- STEEL STAIR
- LOAD BEARING METAL STUD FRAMING SYSTEM
- GLASS BALCONY RAILING SYSTEM
- ALUMINUM AND GLASS BALCONY RAILING SYSTEM
- SIGNAGE & GRAPHICS

**EXHIBIT "A"**  
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Case No. EAR-2026-350-AH-PHP-VHCA

## VICINITY MAP



EXISTING SITE



H+ARCH  
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APPROVAL SHEET

300 N LA BREA  
100% AFFORDABLE HOUSING (PRIVATELY FUNDED)

300 N. LA BREA AVE  
LOS ANGELES, CA

PARCEL REPORT

City of Los Angeles Department of City Planning	
<b>12/2/2025 PARCEL PROFILE REPORT</b>	
<b>PROPERTY ADDRESSES</b>	<b>Address Legal Information</b>
300 N LA BREA AVE	Parcel Number: 138B181 419
<b>ZIP CODES</b>	Lot/Parcel Area (Calculated): 5,164.2 (sq ft)
90036	PAGE 023 - GRID D1
<b>RECENT ACTIVITY</b>	Thomas Brothers Gnd
None	PAGE 993 - GRID D7
<b>CASE NUMBERS</b>	Assessor Parcel No. (APN): 5252032028
CPC 1800-30618	Tax: 176,608
ORD 184897	Map Reference: M 8 95-5355
ORD 198651	Block: None
ZA 2010-1748-CLB	Lot: 371
ENV 2010-1749-MND	AB (Lot Cut Reference): None
ND 03-180-HD	Map Sheet: 138B181
<b>Additional Information</b>	Community Plan Area: Wilshire
Area Planning Commission: Central APC	Neighborhood Council: Greater Wilshire
Council District: CD 5 - Katy Young Yaroshvsky	Census Tract 1: 2141.0000000
Local Ordinance: LA 2025 District Office	LA 2025 District Office: Los Angeles Metro
<b>Permitting and Zoning Compliance Information</b>	Administrative Review: None
Administrative Review: None	<b>Planning and Zoning Information</b>
Special Notes: None	Special Notes: None
Zoning: C2-1VL	Zoning Information (2):
Zoning Information (2):	Z1-2452 Transit Priority Areas in the City of Los Angeles
	Z1-2512 Housing Element Sites
	Z1-2514 Lower Income Recurring Housing Element Sites - Ministerial Approval, and Minimum Density
	Z1-2588 Local Emergency Temporary Regulations - Time Limits and Parking Relief - LA 2025
<b>General Plan Land Use</b>	General Plan Land Use: General Commercial
General Plan (Map):	Minimum Density Requirement: Yes (Rezoning Site)
Hillside Area Zoning Code: None	Specific Plan Area: Subarea
Specific Plan Area: Subarea	Special Land Use / Zoning: None
Historic Preservation Review: No	Historic Preservation Review: No
HistoricPlacesLA: No	Historic Preservation Overlay Zone: None
Other Historic Designation: None	MHA Ad Contract: None
CCO: Community Design Overlay: None	CPO: Community Plan Use, Overlay: None
Subarea: None	CPO: Historic Preservation Review: No
CPO: Historic Preservation Review: No	CPO: Clean & Green Use: None

HCR: Hillside Construction Regulation	No	NCO: Neighborhood Stabilization Overlay	No
PCC: Piedmont Oriented Districts	None	RBP: Restaurant Beverage Program Eligible Area	General (RBPA)
ASP: Alcohol Sales Program	None	RFA: Residential Floor Area District	None
RIO: River Implementation Overlay	No	SN: Sign District	No
AB 2024 Low Vehicle Travel Area	Yes	AB 2097: Within a half mile of a Major Transit Stop	Yes
Streetscape	No	Fire District No. 1	No
Adaptive Reuse Incentive Area	None	Flood Zone	Outside Flood Zone
Allowable Housing Unitage Fee	Medium-High	Watercourse	None
Residential Market Area	High	Methane Hazard Site	Methane Zone
Non-Residential Market Area	High	High Wind Velocity Areas	None
Inducement Housing	No	Special Grading Area (BCE Basic Grid Map A-1327)	None
Local Affordable Housing Incentive	No	Sea Level Rise Area	None
Targeted Planning	No	Oil Well Adjacency	None
Special Lot Line	Yes	Santa Monica Mountain Zone	No
Transit Oriented Communities (TOC)	Tier 3	Biological Resource Potential	None
Mixed Income Incentive Programs	2	Mountain Lion Potential	None
Transit Oriented Incentive Area (TOIA)	CC-3	Monarch Butterfly Potential	None
Opportunity Corridors Incentive Area	Not Eligible	300 Foot Habitat Buffer	None
Condonor Transition Incentive Area	Highly Eligible	County Designated SEAs and CRAs	None
TCAD Opportunity Area	Yes	USFWS-designated CHAs	None
High Quality Transit Corridor (within 1/2 mile)	Eligible Site	Wildland Urban Interface (WUI)	None
ED - Eligibility	Eligible Site	Criterion 1 Protected Areas for Wildlife (PAWs)	None
RPA: Redevelopment Project Area	None	<b>Seismic Hazards</b>	
Central City Parking	None	Active Fault Near Source Zone	None
Downtown Parking	None	Nearest Fault (Distance in km)	3.0675072
Building Line	None	Nearest Fault (Name)	Transverse Ranges and Los Angeles Basin
500 Ft. School Zone	None	Riparian	None
500 Ft. Park Zone	None	Fault Type	None
Zona System - Table Buffer	None	Slip Geometry	Left Lateral - Reverse - Oblique
None	None	Slip Type	Poofly Compressed
<b>Assessor Information</b>		Down Dip Width (km)	14.2000000
Assessor Parcel No. (APN): 5252032028		Rupture Top	0.0000000
APN Area (City Public Works): Yes		Rupture Bottom	13.0000000
Use Code: 1000 - Commercial - Shopping Center (Neighborhood Community)		Dip Angle (degrees)	70.0000000
Assessed Land Val: \$4,819,850		Maximum Magnitude	6.4000000
Assessed Improvement Val: \$1,250,378		Alquist Priority Fault Zone	None
Last Change Charge: 0.0000000		Landslide	None
Last Saw Amount: \$5,300,000		Liquefaction	None
Tax Rate Area: 67		Preliminary Fault Rupture Study Area	None
Abcd Ref No. (City Clerk): 994627		Tsunami Hazard Area	None
<b>Building 1</b>		<b>Special Development Areas</b>	
Year Built: 1984		Housing Improvement District	None
Building Class: C6D		Habzone	None
Number of Units: 0			
Number of Bedrooms: 0			
Number of Bathrooms: 0			
Building Square Footage: 7,224.0 (sq ft)			
<b>Building 2</b>			
Year Built: None			
Building Class: C6D			
Number of Units: 0			
Number of Bedrooms: 0			
Number of Bathrooms: 0			
Building Square Footage: 7,224.0 (sq ft)			

Building 3	No data for building 3	Jobs and Economic Development Incentive	None
Building 4	No data for building 4	Zone (JED)	None
Building 5	No data for building 5	Opportunity Zone	None
Plant Stabilization Ordinance (PSO)	No data for building 5	Promote Zone	None
None (APN: 5252032028)		State Emergency Zone	None
<b>Additional Information</b>		<b>Housing</b>	
Airport Hazard	None	Rent Stabilization Ordinance (RSO)	No (APN: 5252032028)
Coastal Zone	None	File Act Property	No
County Bluff Potential	None	Just Cause For Eviction Ordinance (JCO)	No
Canyons Bluff Potential	None	Housing Crisis Act and Resident Protections Ordinance Requirement Review	Yes
Farmland	Area Not Mapped	Housing Element Sites	None
Urban Agriculture Incentive Zone	Yes	HC Replacement Required	Yes
Very High Fire Hazard Severity Zone	None	SB 156 Units	Appendix 4.1 0.07
Fire District No. 1	None	Rezoning Sites: 11	None
Outside Flood Zone	None	Housing Use within Prior 5 Years	No
Watercourse	None	<b>Public Safety</b>	
Methane Hazard Site	Methane Zone	Police Information	West
High Wind Velocity Areas	None	Bureau	Wilshire
Special Grading Area (BCE Basic Grid Map A-1327)	None	Division / Station	717
Sea Level Rise Area	None	Reporting District	South
Oil Well Adjacency	None	Battalion	18
Santa Monica Mountain Zone	None	District / Fire Station	61
Biological Resource Potential	None	Red Flag Restricted Parking	No
Mountain Lion Potential	None		
Monarch Butterfly Potential	None		
300 Foot Habitat Buffer	None		
County Designated SEAs and CRAs	None		
USFWS-designated CHAs	None		
Wildland Urban Interface (WUI)	None		
Criterion 1 Protected Areas for Wildlife (PAWs)	None		

Assessor Parcel No. (APN): 5252032028		Assessor Parcel No. (APN): 5252032028	
APN Area (City Public Works): Yes		APN Area (City Public Works): Yes	
Use Code: 1000 - Commercial - Shopping Center (Neighborhood Community)		Use Code: 1000 - Commercial - Shopping Center (Neighborhood Community)	
Assessed Land Val: \$4,819,850		Assessed Land Val: \$4,819,850	
Assessed Improvement Val: \$1,250,378		Assessed Improvement Val: \$1,250,378	
Last Change Charge: 0.0000000		Last Change Charge: 0.0000000	
Last Saw Amount: \$5,300,000		Last Saw Amount: \$5,300,000	
Tax Rate Area: 67		Tax Rate Area: 67	
Abcd Ref No. (City Clerk): 994627		Abcd Ref No. (City Clerk): 994627	
<b>Building 1</b>		<b>Building 1</b>	
Year Built: 1984		Year Built: 1984	
Building Class: C6D		Building Class: C6D	
Number of Units: 0		Number of Units: 0	
Number of Bedrooms: 0		Number of Bedrooms: 0	
Number of Bathrooms: 0		Number of Bathrooms: 0	
Building Square Footage: 7,224.0 (sq ft)		Building Square Footage: 7,224.0 (sq ft)	
<b>Building 2</b>		<b>Building 2</b>	
Year Built: None		Year Built: None	
Building Class: C6D		Building Class: C6D	
Number of Units: 0		Number of Units: 0	
Number of Bedrooms: 0		Number of Bedrooms: 0	
Number of Bathrooms: 0		Number of Bathrooms: 0	
Building Square Footage: 7,224.0 (sq ft)		Building Square Footage: 7,224.0 (sq ft)	

**EXHIBIT "A"**  
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300 NORTH LA BREA (LA) OWNER, LLC  
4700 WILSHIRE BLVD  
LOS ANGELES, CA 90010

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REVISIONS:

JOB NUMBER: 251022

DATE: 01.22.2026

DATE:

PZA SET

SHEET TITLE: EXISTING PHOTOS & INFORMATION

G101



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**300 N LA BREA**  
100% AFFORDABLE HOUSING (PRIVATELY FUNDED)

300 N. LA BREA AVE  
LOS ANGELES, CA

300 NORTH LA BREA (LA) OWNER, LLC  
4700 WILSHIRE BLVD  
LOS ANGELES, CA 90010

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REVISIONS: \_\_\_\_\_

JOB NUMBER:  
251022  
DATE:  
01.22.2026  
SHEET:  
PZA SET

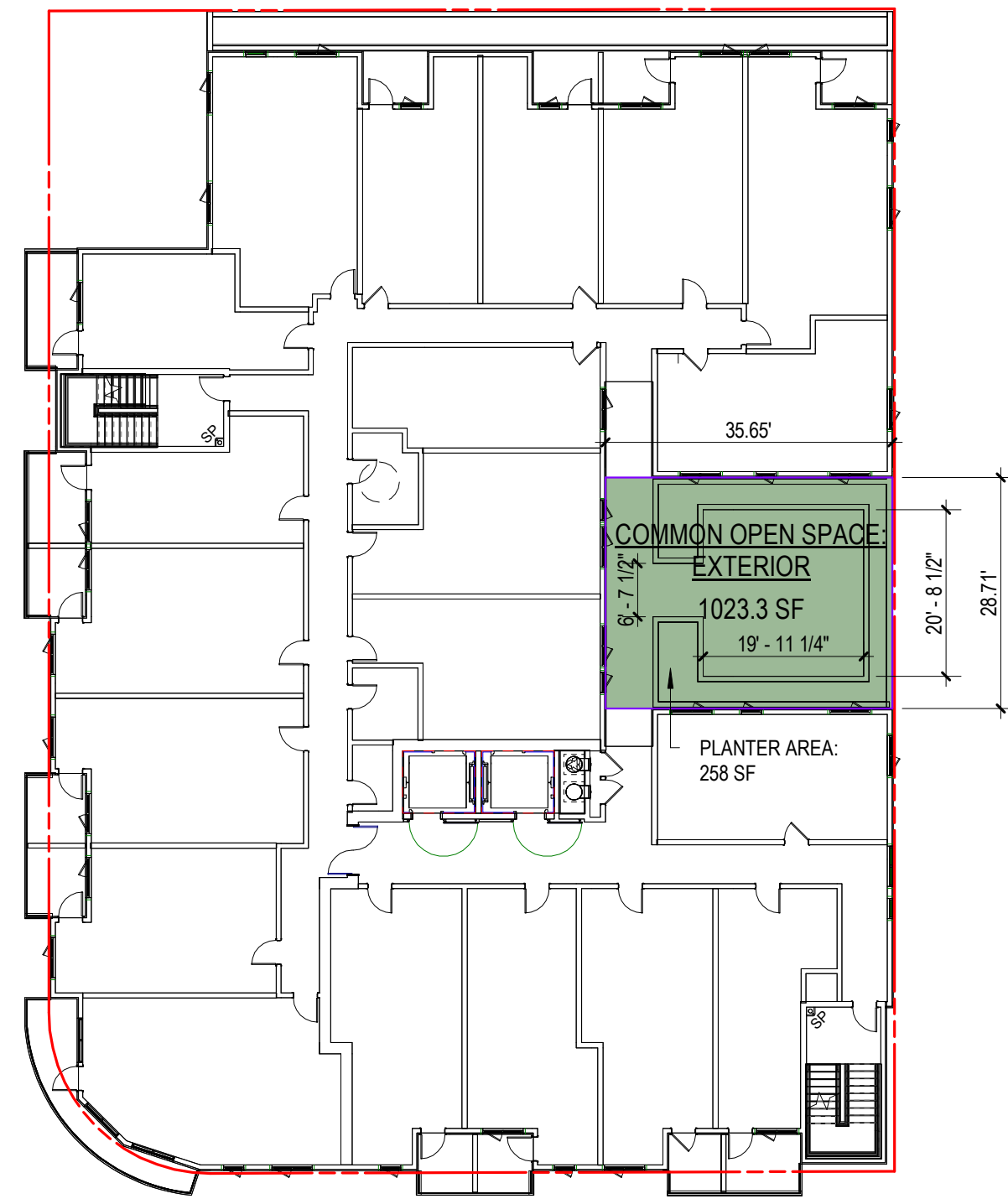
SHEET TITLE:  
**PERSPECTIVE**

**EXHIBIT "A"**  
Page No. 4 of 27  
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**G110**



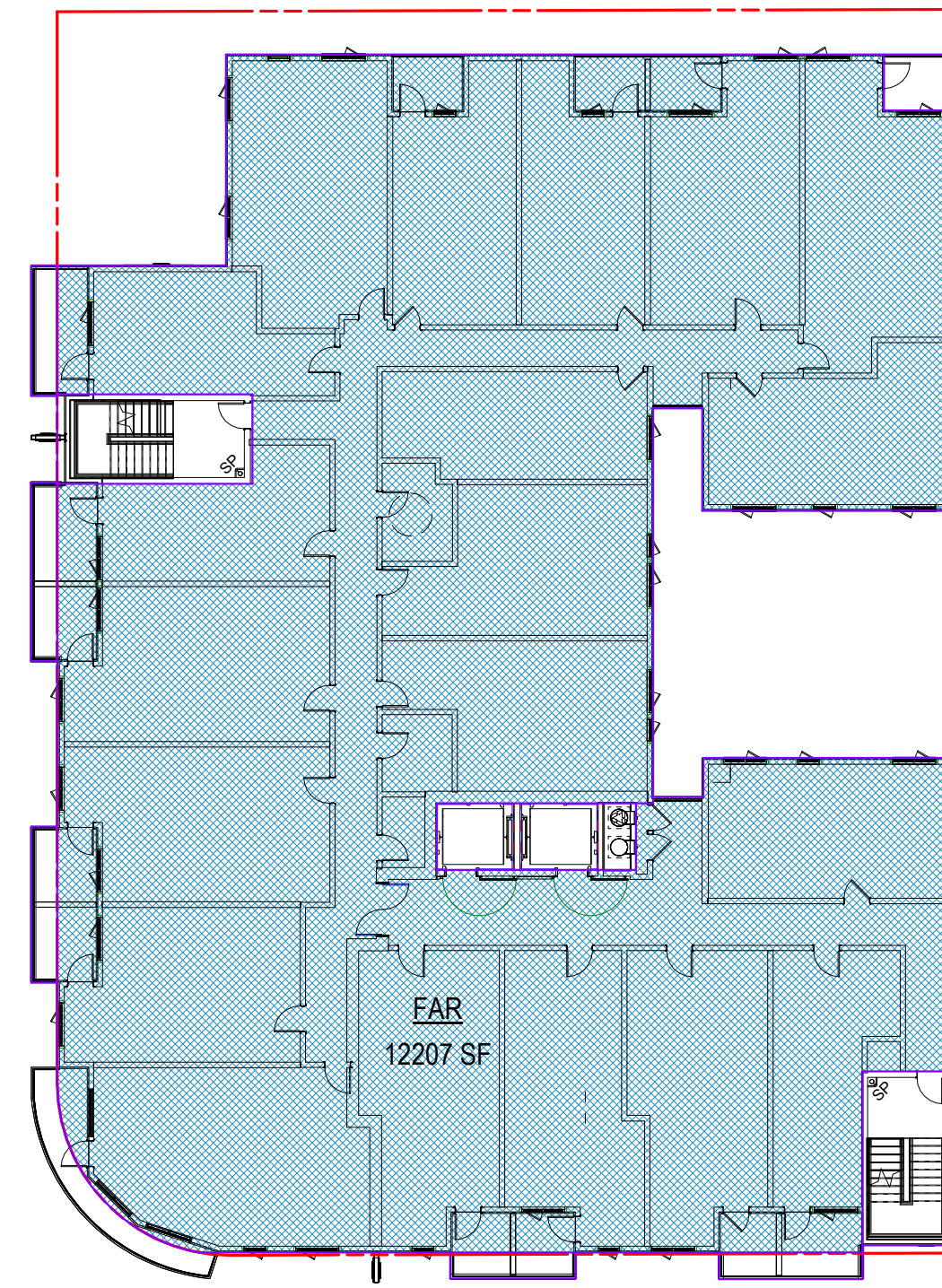
H+ARCH  
HARCHINC.COM



LEVEL	NAME	AREA
LEVEL 3	COMMON OPEN SPACE: EXTERIOR	1023.3 SF
Grand total		1023.3 SF

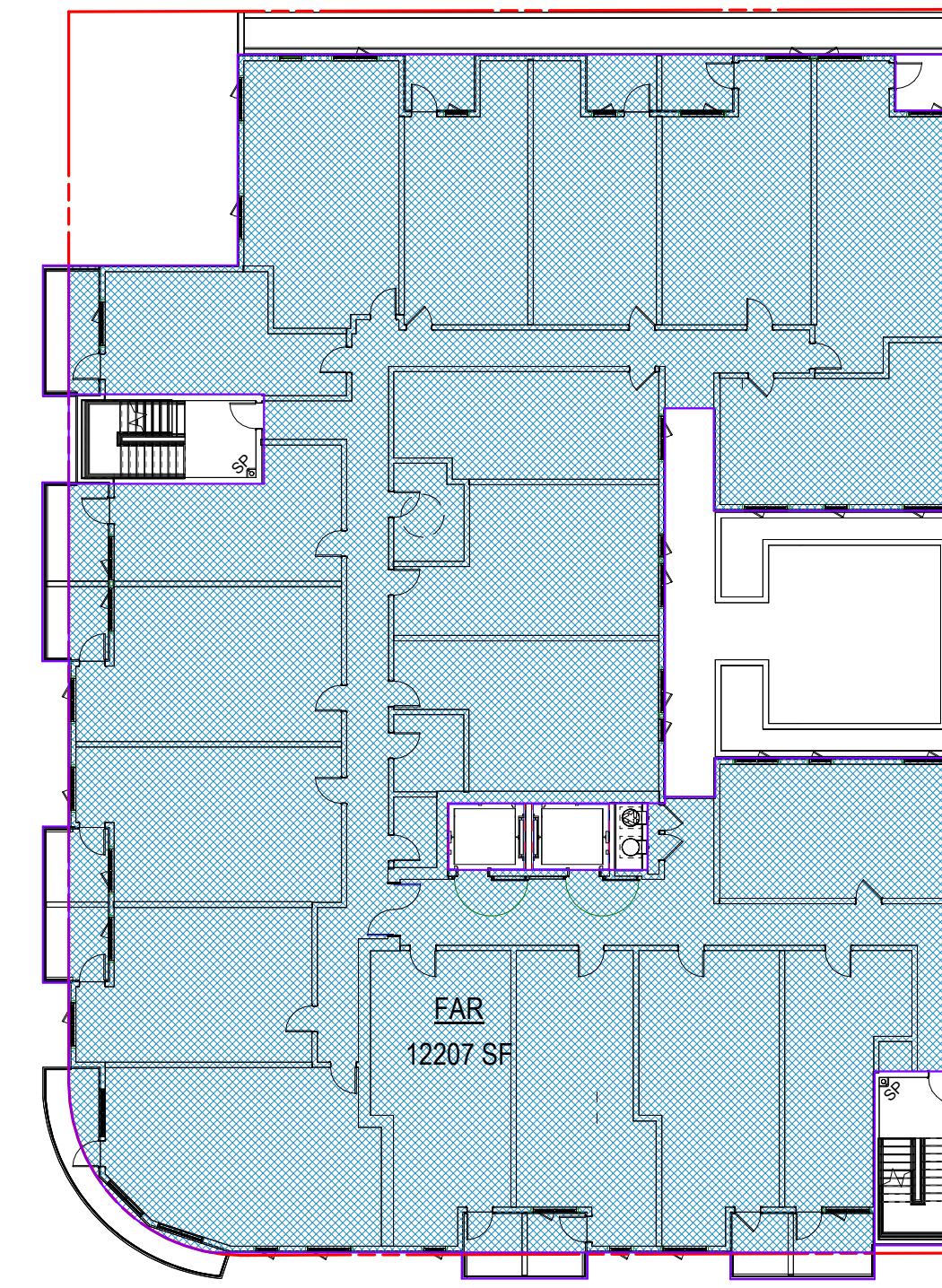
OPEN SPACE - LEVEL 3  
1" = 20'-0"

9



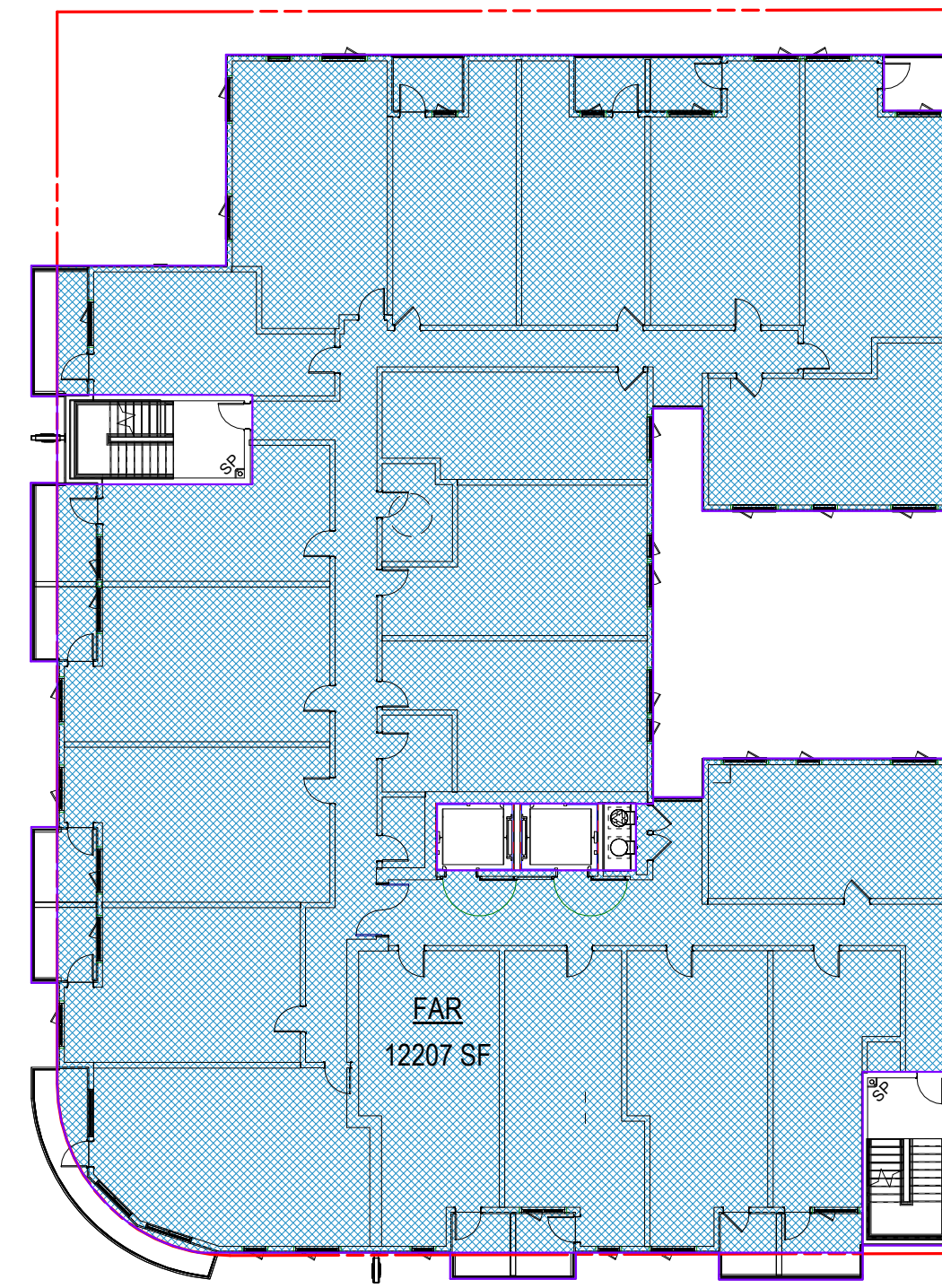
LEVEL 6  
1" = 20'-0"

6



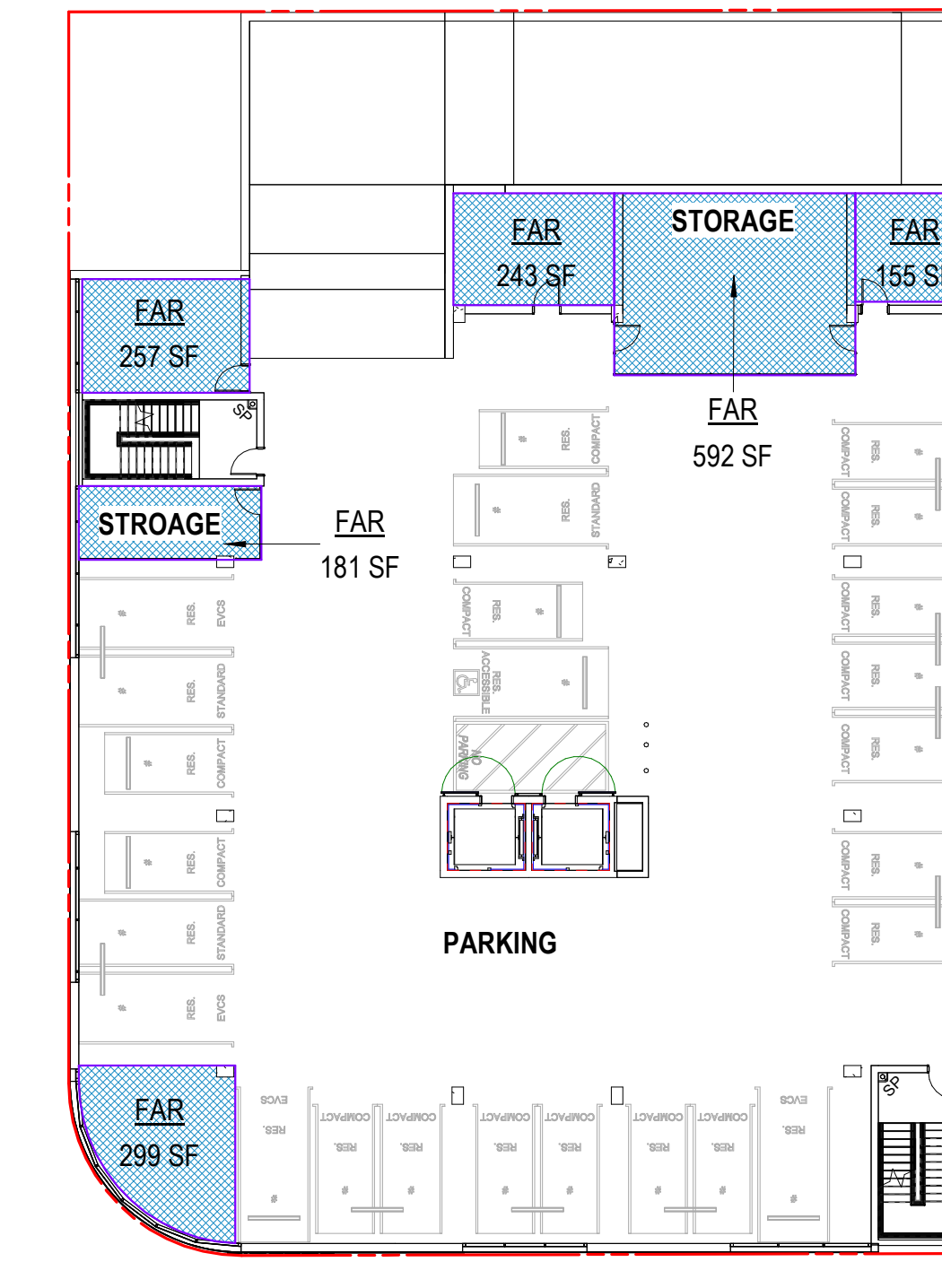
LEVEL 3  
1" = 20'-0"

3



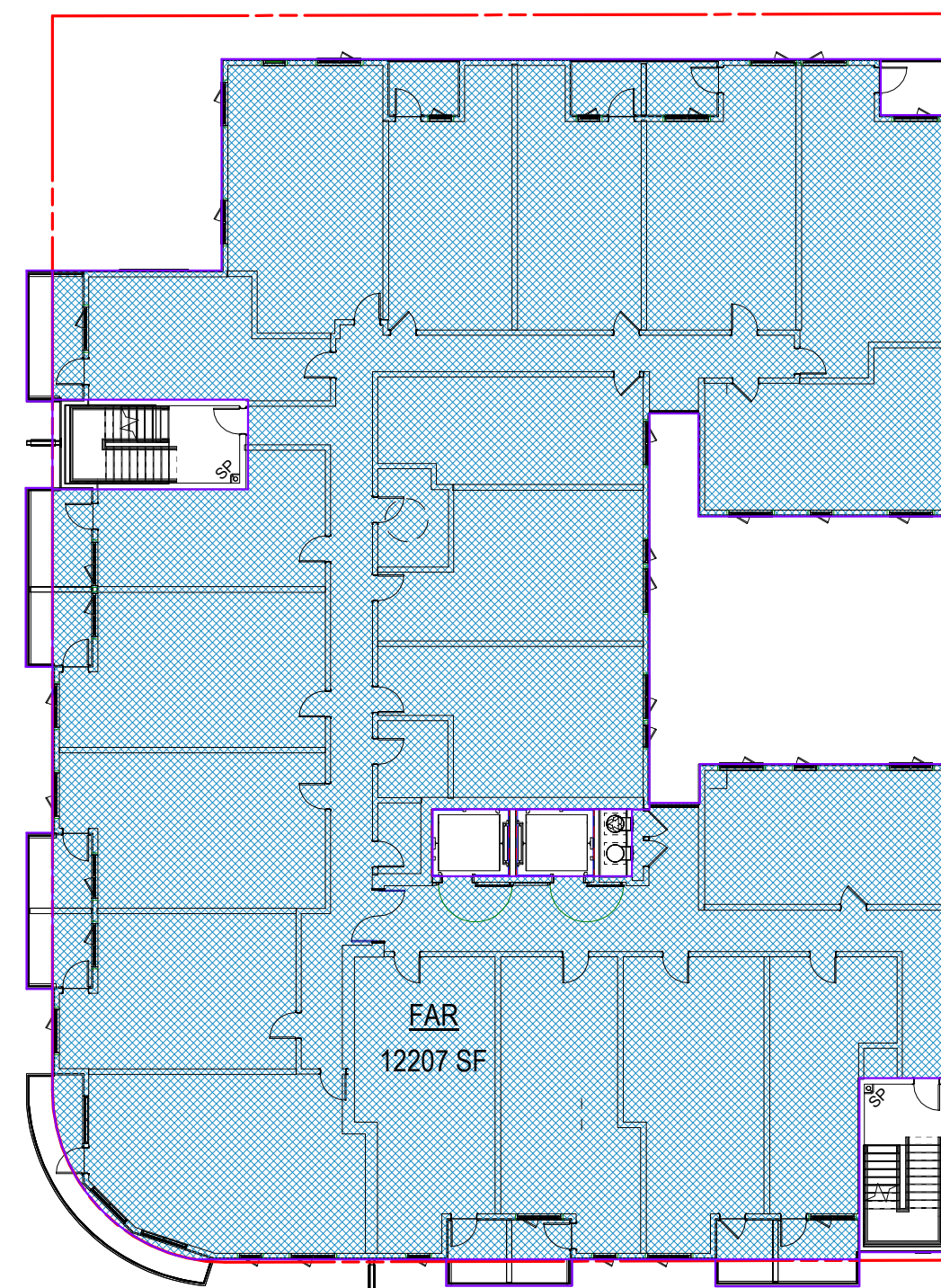
LEVEL 5  
1" = 20'-0"

5



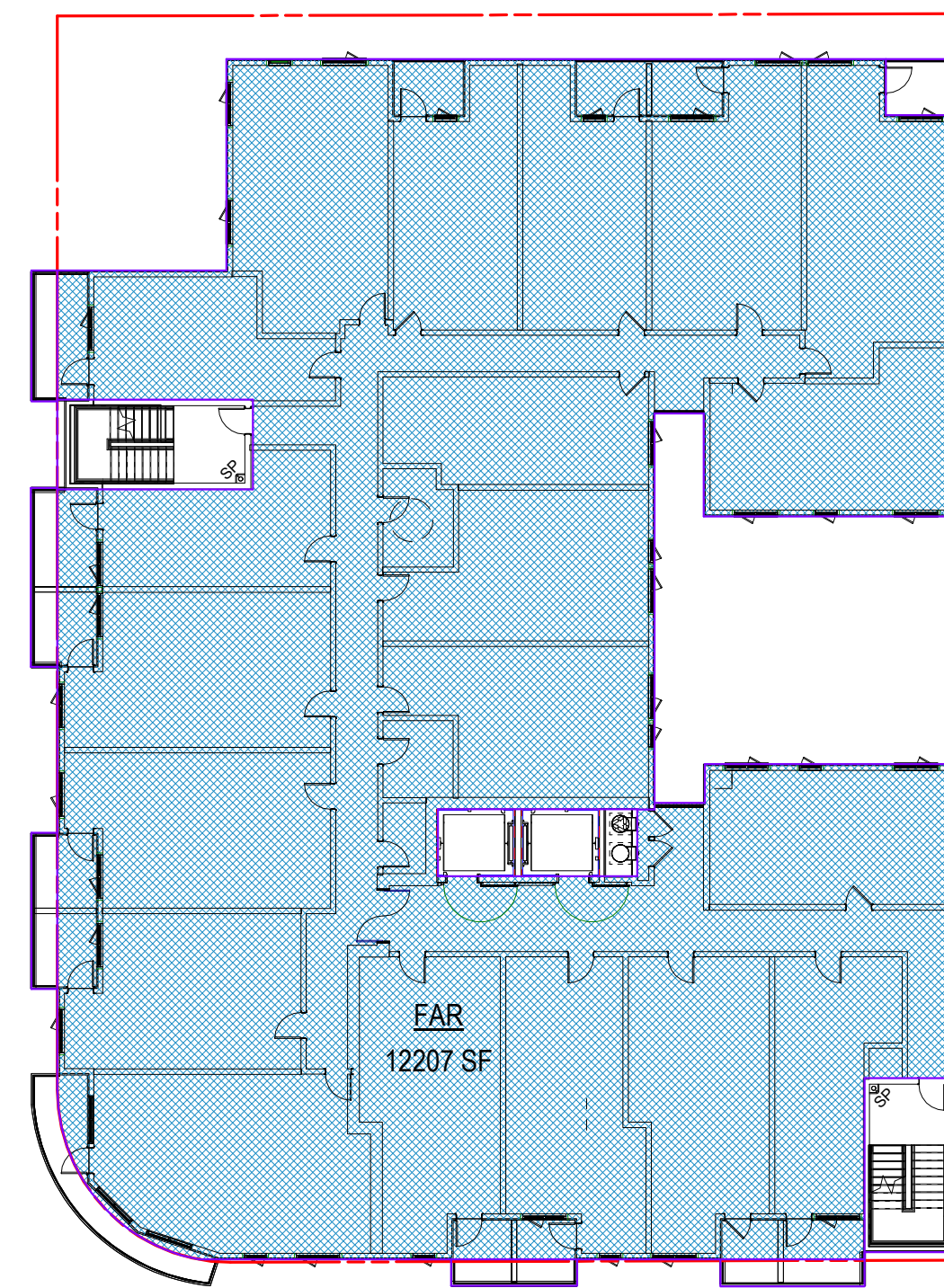
LEVEL 2  
1" = 20'-0"

2



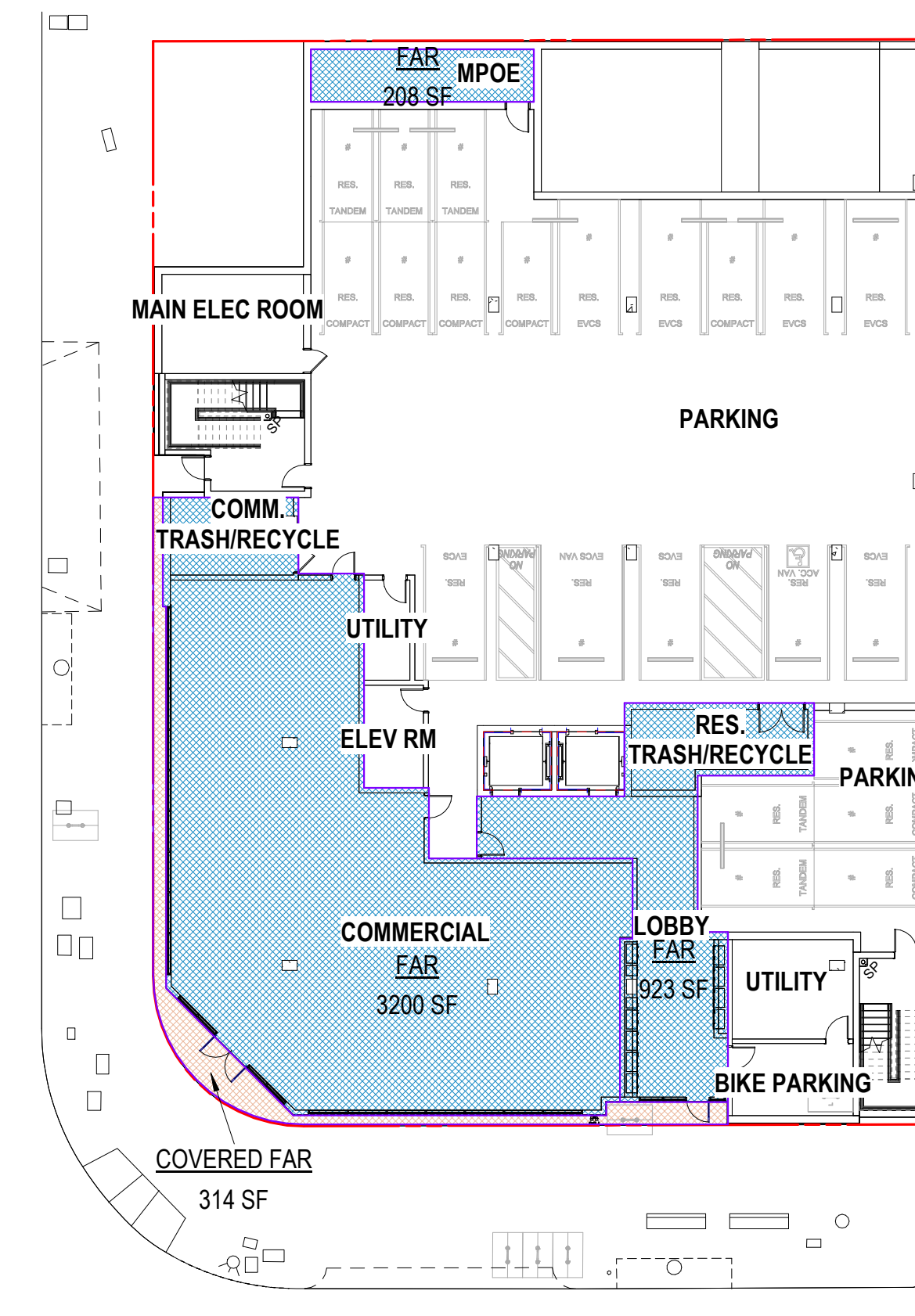
LEVEL 7  
1" = 20'-0"

7



LEVEL 4  
1" = 20'-0"

4



LEVEL 1  
1" = 20'-0"

1

**EXHIBIT "A"**  
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Level	Name	Area
LEVEL 1	COVERED FAR	313.9 SF
LEVEL 1	FAR	4330.5 SF
LEVEL 2	FAR	1726.8 SF
LEVEL 3	FAR	12207.5 SF
LEVEL 4	FAR	12207.5 SF
LEVEL 5	FAR	12207.5 SF
LEVEL 6	FAR	12207.5 SF
LEVEL 7	FAR	12207.5 SF
Grand total		67408.6 SF

APPROVAL STAMP

# 300 N LA BREA

100% AFFORDABLE HOUSING (PRIVATELY FUNDED)

300 N. LA BREA AVE  
LOS ANGELES, CA

300 NORTH LA BREA (LA) OWNER, LLC  
4700 WILSHIRE BLVD  
LOS ANGELES, CA 90010

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REVISIONS

JOB NUMBER

251022

DATE

01.22.2026

SCALE

PZA SET

SHEET TITLE

ZONING ANALYSIS - FAR & OPEN SPACE

G200



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**EXHIBIT "A"**  
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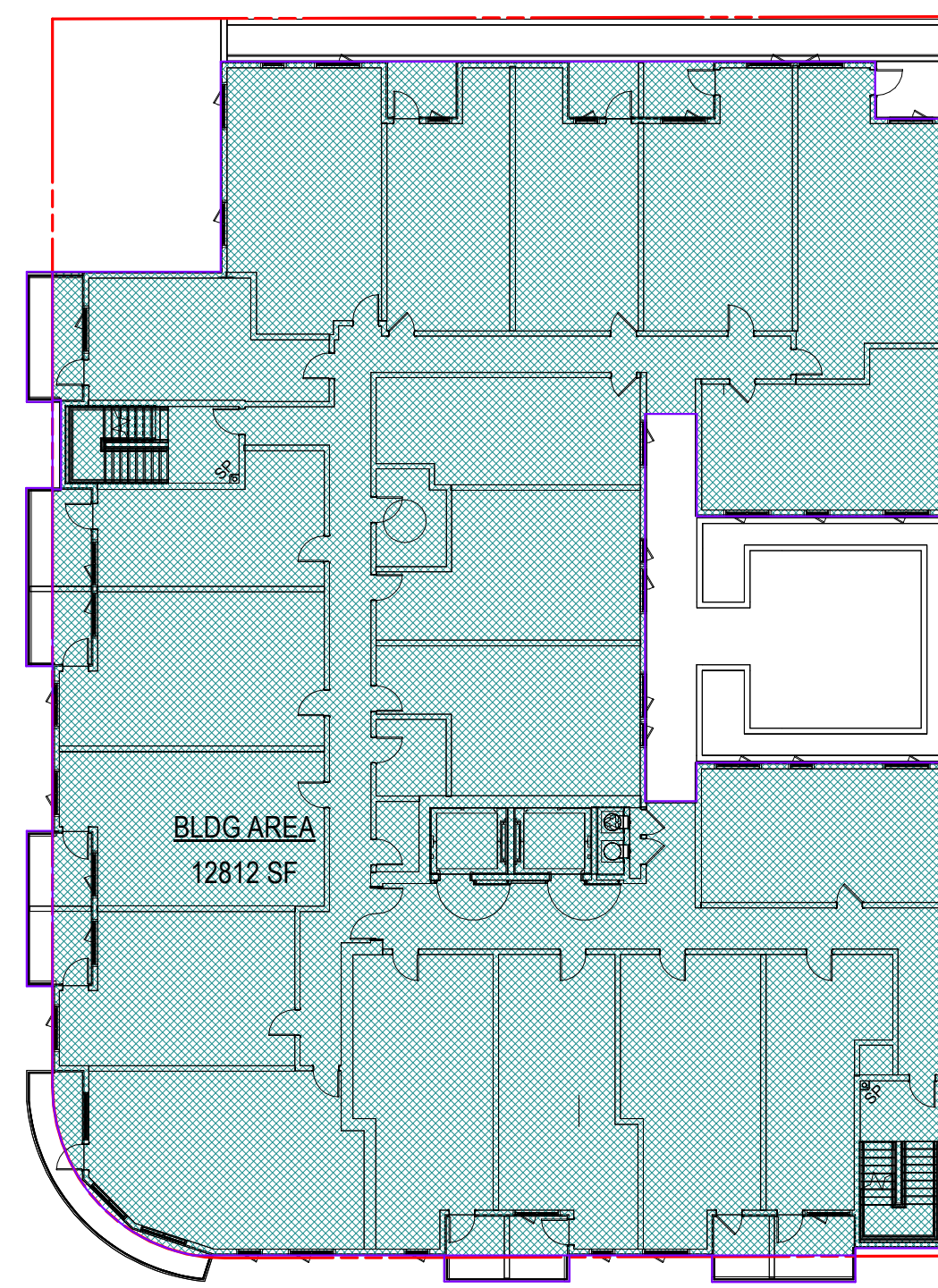
JOB NUMBER  
251022

DATE  
01.22.2026

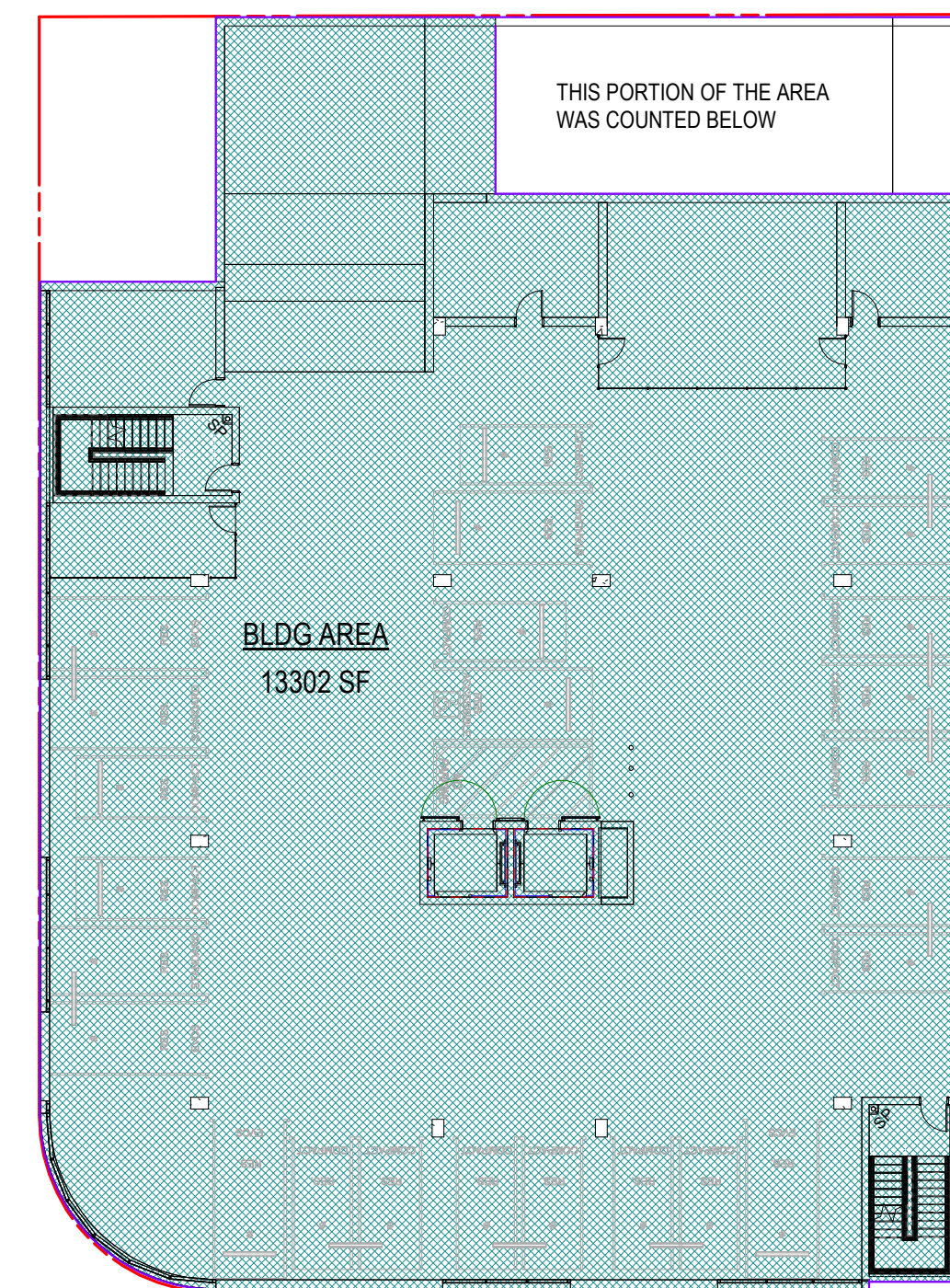
ISSUE  
PZA SET

SHEET TITLE  
**AREA ANALYSIS - VESTING  
PURSUANT TO THE HOUSING  
CRISIS ACT**

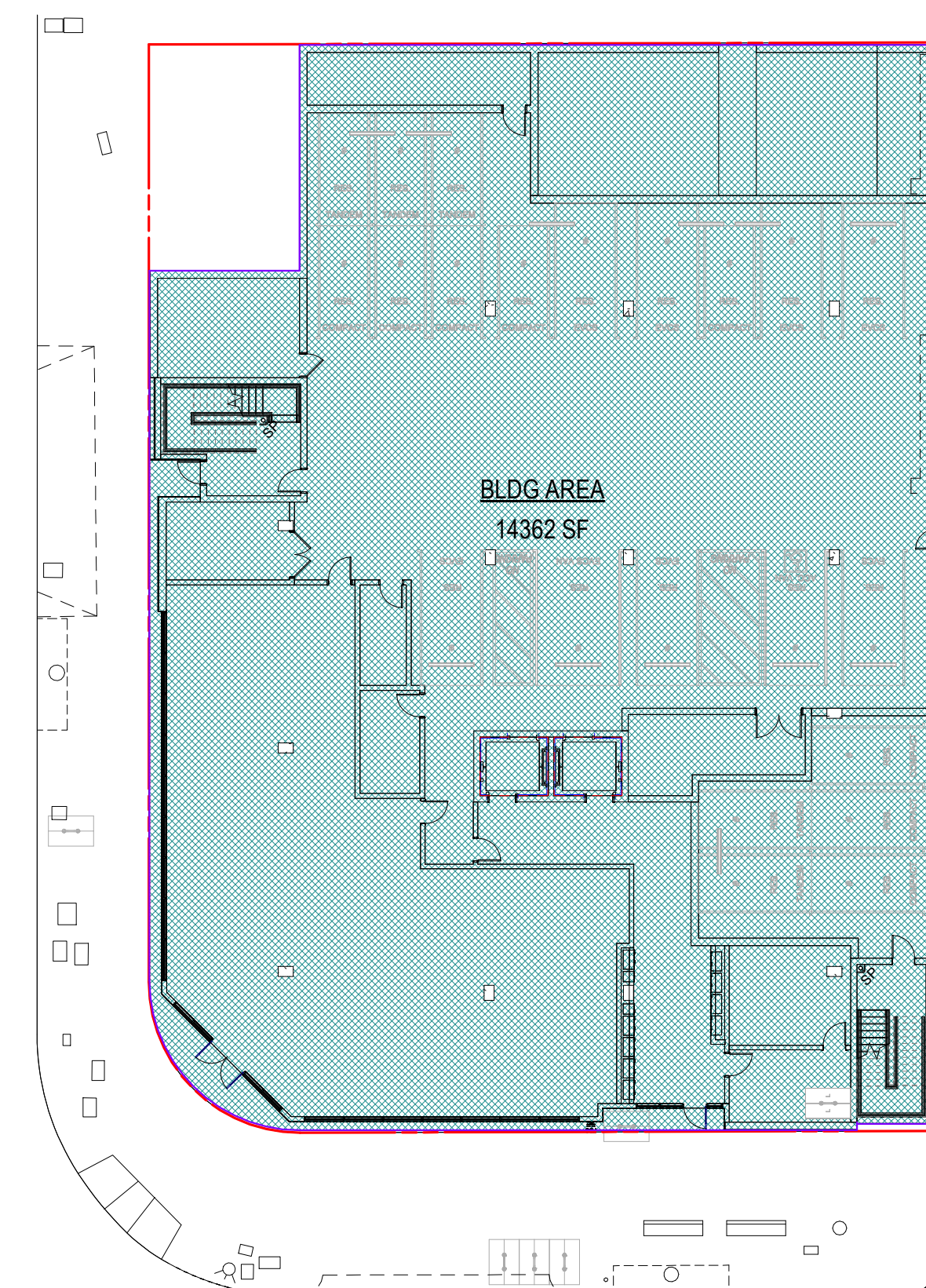
**G206**



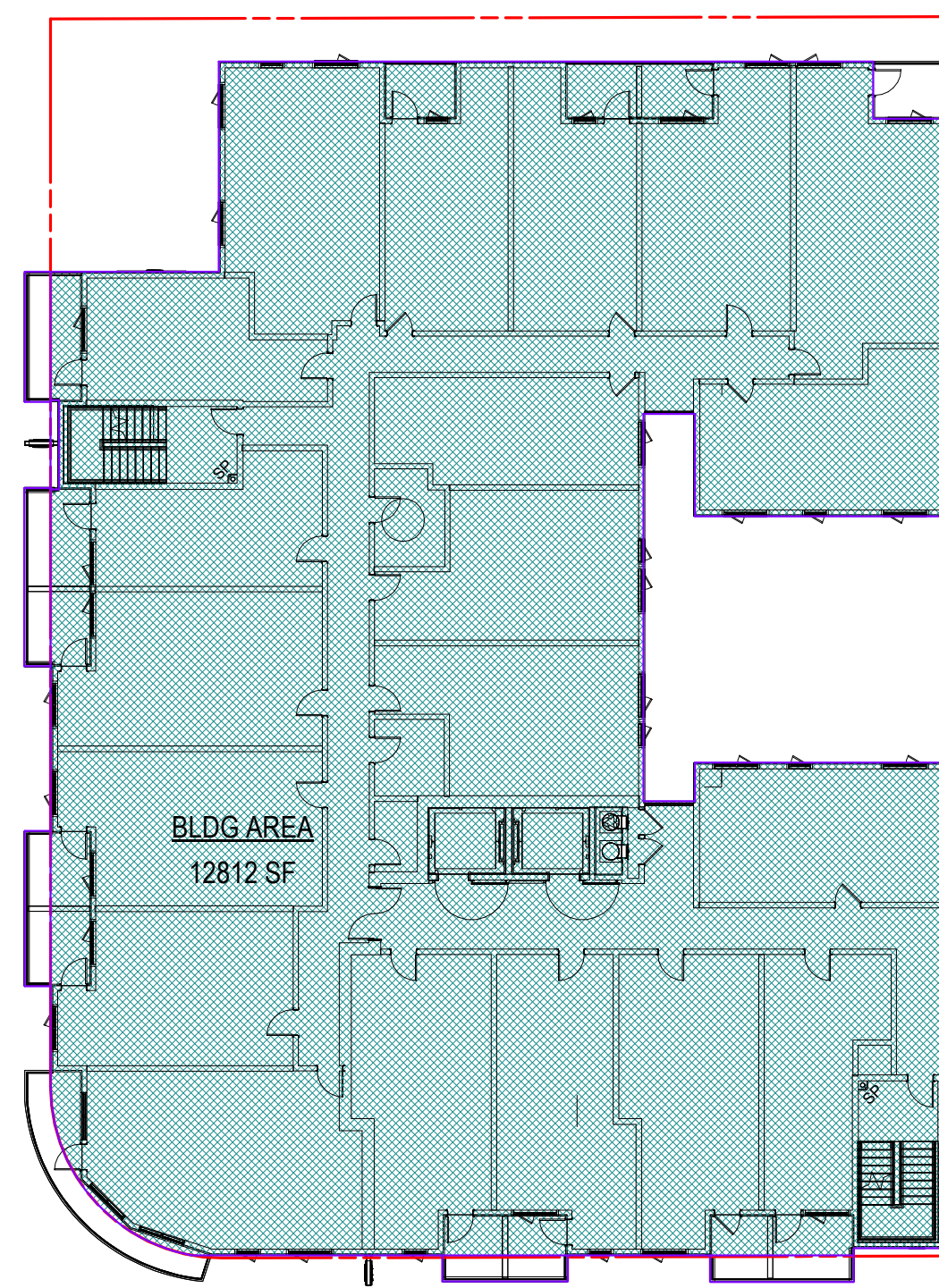
LEVEL 3  
1" = 20'-0"



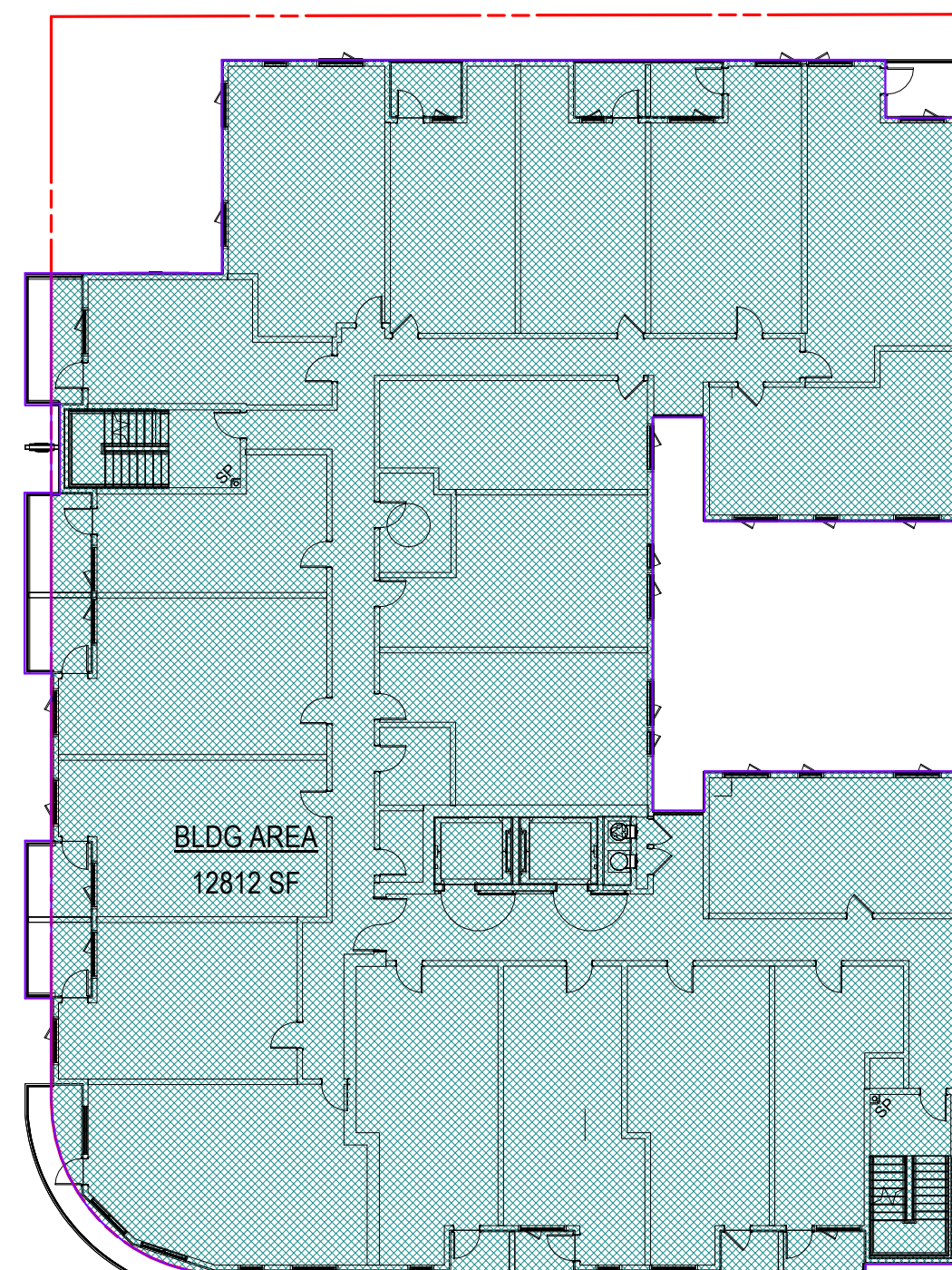
LEVEL 2  
1" = 20'-0"



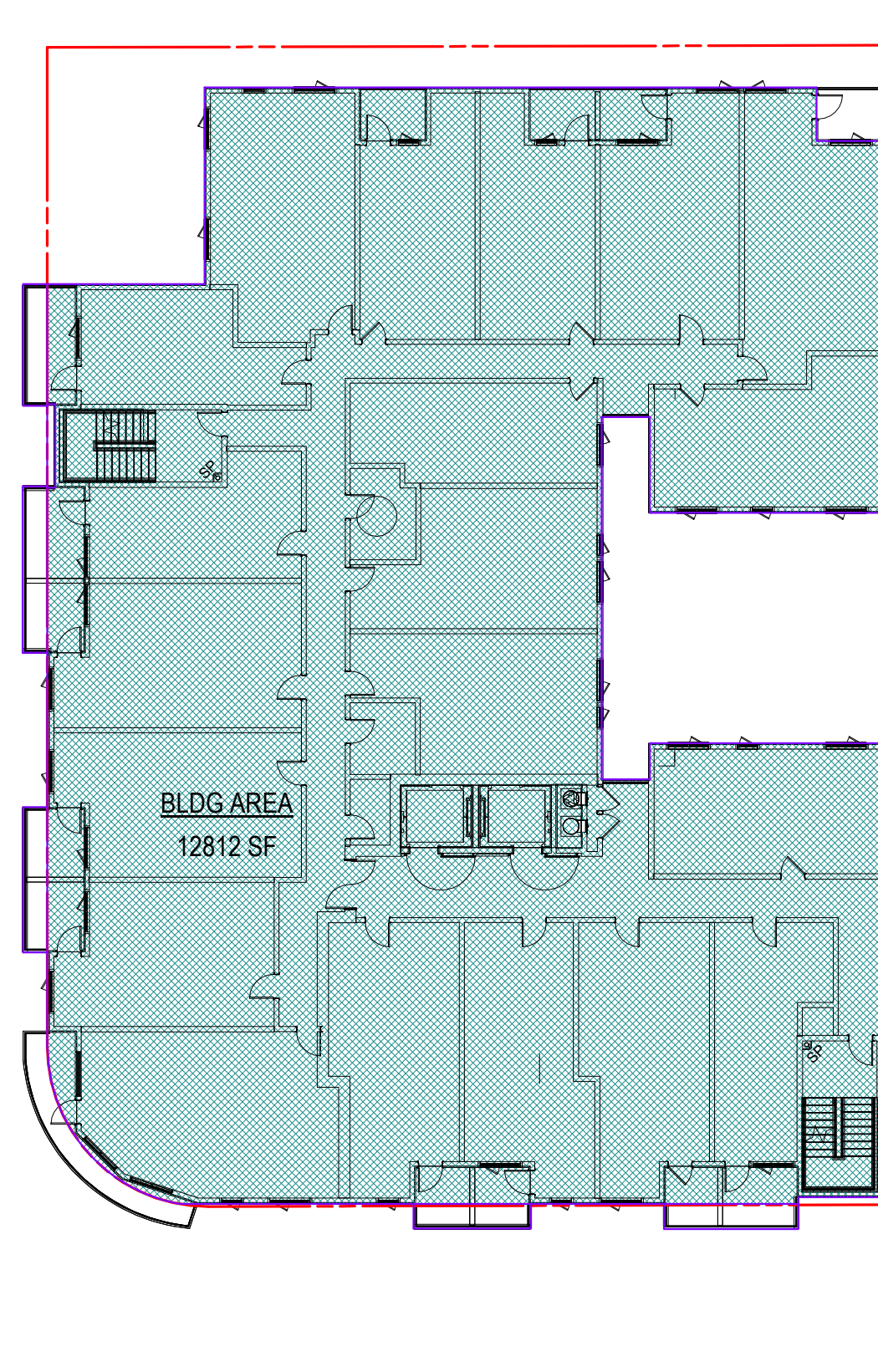
LEVEL 1  
1" = 20'-0"



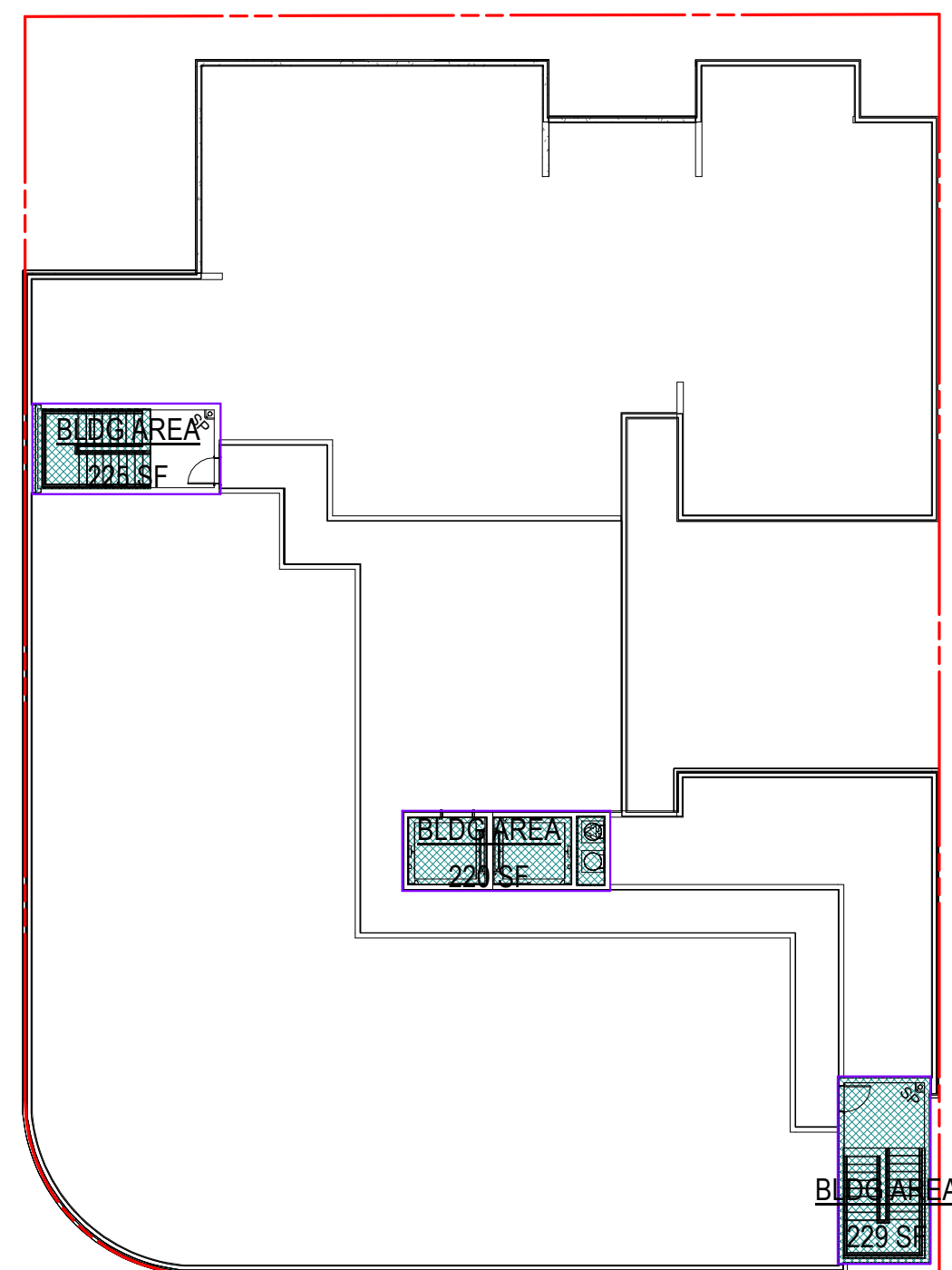
LEVEL 6  
1" = 20'-0"



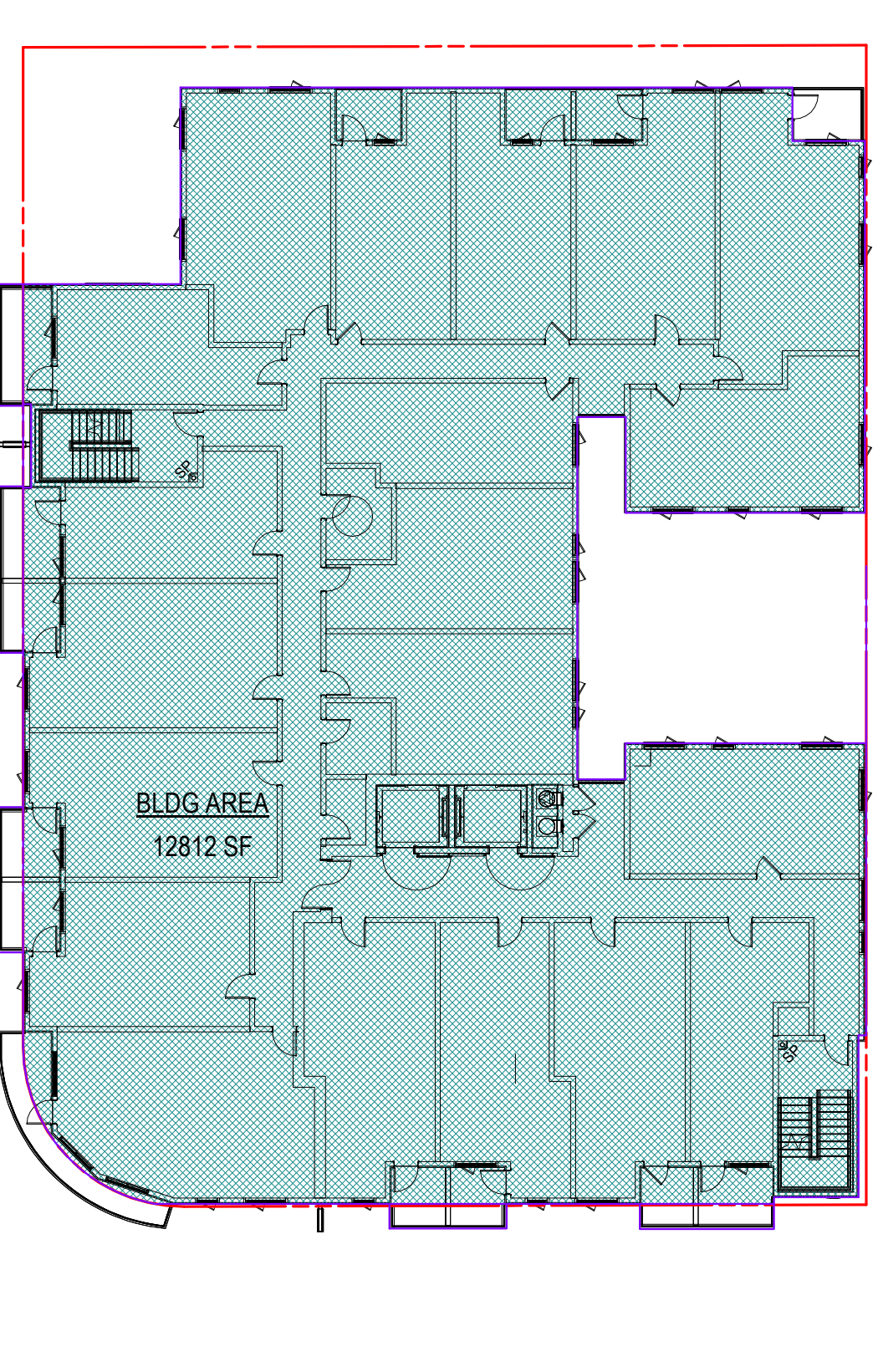
LEVEL 5  
1" = 20'-0"



LEVEL 4  
1" = 20'-0"



LEVEL ROOF  
1" = 20'-0"



LEVEL 7  
1" = 20'-0"

Level	Name	Area
LEVEL 1	BLDG AREA	14362.04 SF
LEVEL 2	BLDG AREA	13302.04 SF
LEVEL 3	BLDG AREA	12812.19 SF
LEVEL 4	BLDG AREA	12812.19 SF
LEVEL 5	BLDG AREA	12812.19 SF
LEVEL 6	BLDG AREA	12812.19 SF
LEVEL 7	BLDG AREA	12812.19 SF
LEVEL ROOF	BLDG AREA	674.46 SF
Grand total		92399.46 SF

# ALTA/NSPS LAND TITLE SURVEY

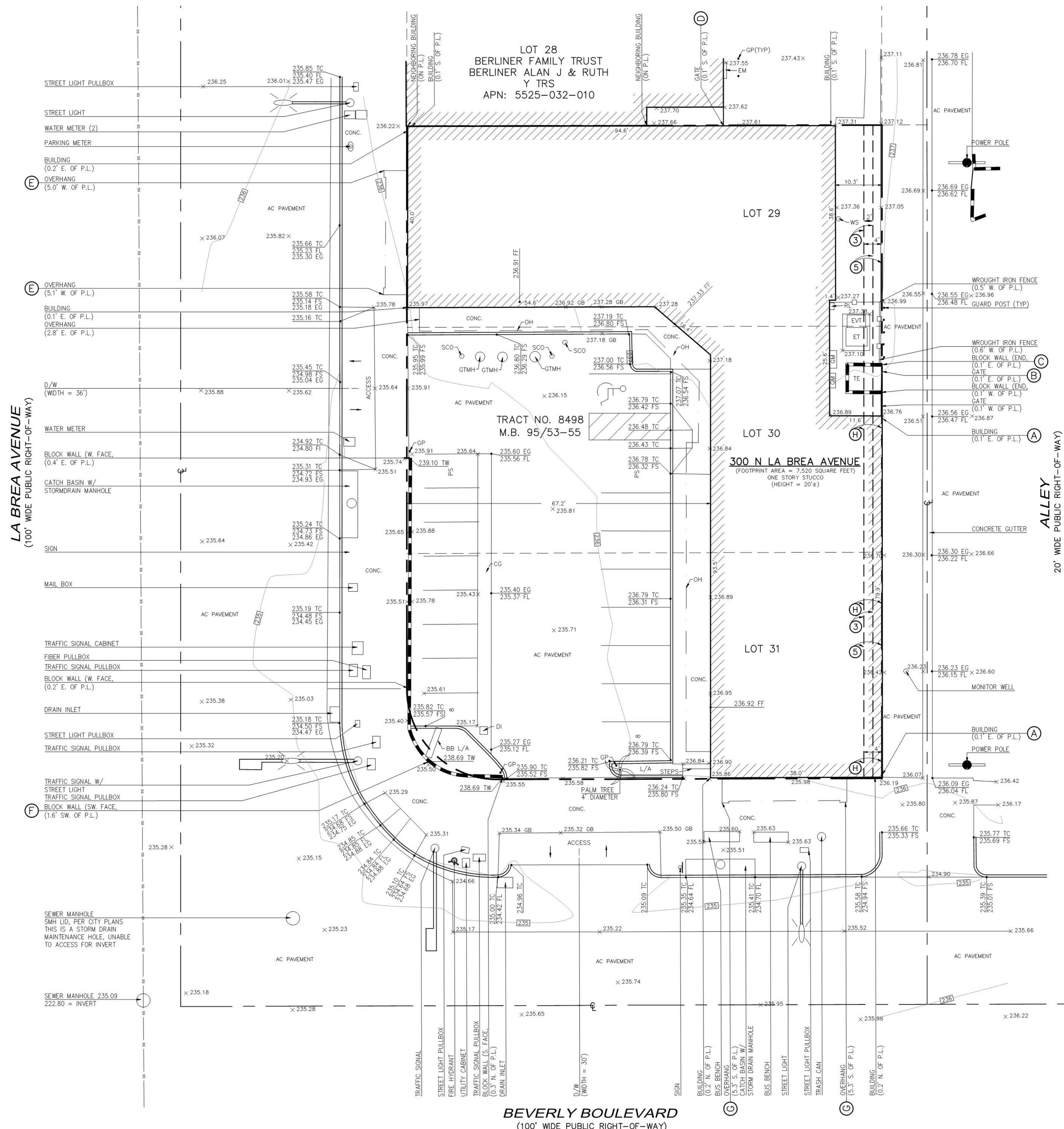
300 N LA BREA AVENUE,  
LOS ANGELES, CA 90036

## TOPOGRAPHIC SURVEY

LOT 28  
BERLINER FAMILY TRUST  
BERLINER ALAN J & RUTH  
Y TRS  
APN: 5525-032-010

TRACT NO. 8498  
M.B. 95/53-55

LOT 30  
300 N LA BREA AVENUE  
(FOOTPRINT AREA = 7,520 SQUARE FEET)  
ONE STORY STUCCO  
(HEIGHT = 20'±)



**BENCHMARK:**  
CITY OF LOS ANGELES BENCHMARK NO. 13-03391  
DESCRIPTION: WIRE SPK IN E CURB LA BREA AVE; 40.3FT N/O BC RET  
N/O BEVERLY BLVD; S END CB  
ELEVATION: 235.262 FEET  
DATUM: NAVD88

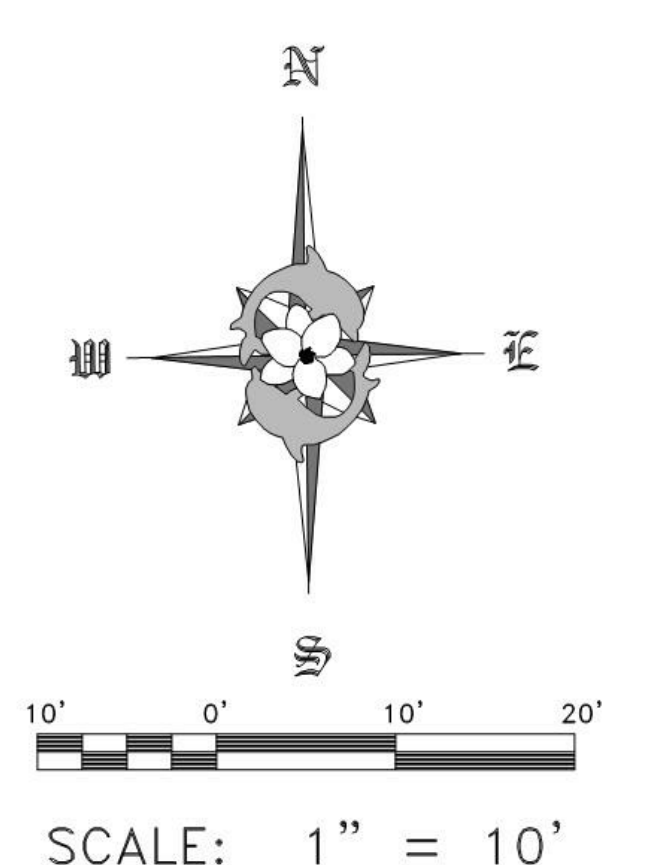
**SEWER INVERT NOTE:**  
AT THE TIME OF SURVEY A DILIGENT ATTEMPT WAS MADE TO ACCESS THE SEWER MANHOLES IN LA BREA AVENUE TO ACQUIRE MEASURED INVERT ELEVATIONS, BOTH MANHOLES LIE WITHIN HIGH TRAFFIC DRIVE ISLES AND WERE NOT ACCESSIBLE. INVERT ELEVATIONS SHOW HEREON HAVE BEEN CALCULATED BY ADDING THE CONVERSION FROM NAVD89 DATUM TO NAVD88 DATUM OF 2.395 FEET, AS SHOWN ON THE BENCHMARK DATA SHEET FOR BM 13-03391, TO THE INVERT ELEVATIONS LISTED FOR UPSTREAM AND DOWN STREAM SEWER MANHOLES ON NAVGATELA.CITY.ORG.

**UTILITY NOTE:**  
THE UNDERGROUND UTILITY LINES ARE APPROXIMATELY SHOWN HEREON PER AVAILABLE MAPS AT THE TIME OF SURVEY. CONTRACTORS SHOULD VERIFY LOCATIONS PRIOR TO DIGGING.  
**THE UTILITY COMPANIES THAT SERVICE THIS PROPERTY (GAS, ELECTRIC, WATER, TELEPHONE, SEWER AND STORM DRAIN) WERE CONTACTED AT THE TIME OF THIS SURVEY. SUB SURFACE INFORMATION PROVIDED, IF ANY, HAS BEEN SHOWN ON THIS SURVEY. NO REPRESENTATION IS MADE AS TO THE ACCURACY, CURRENCY OR COMPLETENESS OF SAID INFORMATION. ABOVE GROUND UTILITIES HAVE BEEN LOCATED HEREON.**

**FLOOD NOTE:**  
ZONE - "X" PER FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 06037C 1605 F EFFECTIVE DATE 9/26/2008.  
ZONE "X" DENOTES AREAS SUBJECT TO MINIMAL FLOODING  
THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THIS SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING.

PARKING SPACE TABLE	
TYPE OF SPACE	TOTAL EXISTING
STANDARD	16
HANDICAP	1
TOTAL	17

**SIGNIFICANT OBSERVATIONS:**  
NOTE: THE FOLLOWING IS A LISTING OF OBSERVED IMPROVEMENTS THAT CROSS PROPERTY LINES, STATEMENT OF OWNERSHIP OR POSSESSION IS NEITHER IMPLIED NOR THE INTENT OF THIS LISTING.  
(A) BUILDING LIES 0.1' EAST OF THE PROPERTY LINE.  
(B) GATE LIES 0.1' EAST OF THE PROPERTY LINE.  
(C) BLOCK WALL LIES 0.1' EAST OF THE PROPERTY LINE.  
(D) GATE LIES 0.1' SOUTH OF THE PROPERTY LINE.  
(E) OVERHANG LIES 5.0' - 5.1' WEST OF THE PROPERTY LINE.  
(F) BLOCK WALL LIES 1.6' SOUTHWEST OF THE PROPERTY LINE.  
(G) OVERHANG LIES 5.3' SOUTH OF THE PROPERTY LINE.  
(H) BUILDING LIES 4' OVER SCHEDULE "B" ITEMS 3 AND 5.



- LEGEND:**
- AC ASPHALT CONCRETE
  - BB BILLBOARD
  - CG CONCRETE GUTTER
  - C.L. CENTER LINE
  - DI DRAIN INLET
  - D/W DRIVEWAY
  - DIST DISTANCE
  - E EAST
  - EG EDGE OF GUTTER
  - EM ELECTRIC METER
  - EST. ESTABLISHED
  - ET ELECTRIC TRANSFORMER
  - EVT ELECTRIC VAULT
  - FD FOUND
  - FF FINISHED FLOOR
  - FL FLOW LINE
  - FS FINISHED SURFACE
  - GB GRADE BREAK
  - GM GAS METER
  - GP GUARD POST
  - GTMH GT MANHOLE
  - INST INSTRUMENT
  - L/A LANDSCAPED AREA
  - N NORTH
  - NE NORTHWEST
  - NW NORTHWEST
  - OH OVERHANG
  - P.L. PROPERTY LINE
  - PS PARKING SPACE
  - REC RECORD
  - RL ROOF LADDER
  - S SOUTH
  - SCO SEWER CLEAN OUT
  - SE SE
  - SE. SOUTHEAST
  - SF SQUARE FEET
  - SW. SOUTHWEST
  - TC TOP OF CURB
  - TE TRASH ENCLOSURE
  - TW TOP OF WALL
  - TYP TYPICAL
  - W WEST
  - W/ WITH
  - WS WATER SERVICE
  - CENTER LINE
  - EASEMENTS
  - OVERHANG
  - LOT/PARCEL LINES
  - BOUNDARY LINE
  - BLOCK WALLS
  - WROUGHT IRON FENCE/GATE
  - BUILDING LINE
  - CONCRETE CURB
  - CONCRETE CURB W/ GUTTER
  - SS SEWER LINE

REVISIONS

**JRN CIVIL ENGINEERS**

PHONE (949) 248-4685  
FAX (949) 248-4687  
PROJECT COORDINATOR: CHRIS FREY (CFREY@JRN.CIVIL.COM)

**ALTA/NSPS LAND TITLE SURVEY**

300 N LA BREA AVENUE,  
LOS ANGELES, CA 90036  
ADDRESS:  
CLIENT: CIM GROUP

SHEET 2 OF 2  
DATE: 11/25/2025  
DRAWN BY: C/JF  
CHKD. BY: JRN

FILE NO. 23612  
JOB NUMBER: 251022  
DATE: 01.22.2026  
DATE: PZA SET  
SHEET TITLE: SURVEY



APPROVAL STAMP

**300 N LA BREA**  
100% AFFORDABLE HOUSING (PRIVATELY FUNDED)

300 N LA BREA AVE  
LOS ANGELES, CA

300 NORTH LA BREA (LA) OWNER, LLC  
4700 WILSHIRE BLVD  
LOS ANGELES, CA 90010

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REFERENCE ONLY

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Case No. EAR-2026-350-AH-PHP-VHCA

G900



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APPROVAL STAMP

# 300 N LA BREA

## 100% AFFORDABLE HOUSING (PRIVATELY FUNDED)

300 N. LA BREA AVE  
LOS ANGELES, CA

300 NORTH LA BREA (LA) OWNER, LLC  
4700 WILSHIRE BLVD  
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REVISIONS:

JOB NUMBER:  
251022

DATE:  
01.22.2026

PROJECT:  
PZA SET

SHEET TITLE:  
SITE PLAN

# A000

### KEYNOTES

1.8	(E) STREET LIGHT. SEE SURVEY DWGS
1.9	(E) POWER POLE. SEE SURVEY DWGS
1.10	(E) STREET CURB. SEE SURVEY DWGS
1.11	(E) WATER METER. SEE SURVEY DWGS
1.29	PROPERTY LINE. SEE SURVEY DWGS
2.9	WALL MOUNTED FIRE DEPARTMENT CONNECTION. SEE CIVIL/PLUMBING DWGS
2.10	FIRE HYDRANT. SEE CIVIL DWGS
2.14	TRANSFORMER YARD. SEE APPROVED DWP DWGS
2.30	RESIDENTIAL SHORT TERM BIKE RACK. SEE SHEET A897
2.32	COMMERCIAL SHORT TERM BIKE RACK. SEE SHEET A897
2.33	COMMERCIAL LONG TERM BIKE RACK. SEE SHEET A897
2.35	MAIN ENTRANCE INTERCOM / CARD READER. SEE SECURITY CONSULTANT DWG.

### SITE NOTES

- REFER TO SHEET G050 & G100 FOR GRAPHIC SYMBOLS, ABBREVIATIONS, AND GENERAL NOTES.
- REFER TO CIVIL DEMOLITION PLAN FOR ADDITIONAL INFORMATION AND SCOPE OF SITE DEMOLITION.
- ALL CIVIL, (GRADES) AND LANDSCAPE INFORMATION SHOWN ON THIS SHEET IS FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE DRAWINGS: PUBLIC SIDEWALK AND SITE HARDSCAPE DESIGN, GRADES, PUBLIC SIDEWALKS, SITE WALKWAYS, EXIT DOOR EXTERIOR LANDINGS, EXIT PATHS, CURB RAMP, DRIVEWAY APRONS, ETC. TO COMPLY WITH GOVERNING CODE REQUIREMENTS.
- REFER TO LANDSCAPE DRAWINGS FOR SITE FURNISHINGS. SITE FURNISHINGS SHALL NOT BE LOCATED IN THE EXIT PATHWAYS AND SHALL NOT BLOCK EXIT DOORS. SITE FURNISHINGS SHALL NOT BLOCK FIRE DEPARTMENT ACCESS.
- REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR LOCATIONS OF STREET LIGHTS, PARKING METERS, UTILITY VAULTS, STREET PLANTERS, ETC. LOCATED IN THE PUBLIC WAY. LOCATIONS TO ALLOW FOR DISABLED ACCESS WITHIN THE PUBLIC WAY AND SHALL COMPLY WITH GOVERNING CODE REQUIREMENTS.
- REFER TO LANDSCAPE DRAWINGS FOR COLORS, FINISHES, THICKNESS, REINFORCING, AND CONTROL/EXPANSION JOINTS OF WALKS AND HARDSCAPE AREA.
- THE MEANS OF EGRESS AND EXIT DISCHARGE SHALL BE ILLUMINATED AT ANY TIME THE BUILDING IS OCCUPIED WITH A LIGHT INTENSITY OF NO LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE LEVEL PER GOVERNING CODE REQUIREMENTS.
- ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO BEGINNING WORK.
- APPROVED SET OF PLANS FOR BUILDING, FIRE SPRINKLER, FIRE ALARM, ETC. SHALL BE ON THE JOB SITE DURING CONSTRUCTION AND NO INSPECTIONS WILL BE MADE WITHOUT COMPLIANCE WITH THE ABOVE PROVISION.
- REFER TO LADWP DOCUMENTS FOR SITE WORK, INCLUDING LOCATION AND SIZES OF THE TRANSFORMERS.
- FIRE DEPARTMENT VEHICULAR ACCESS TO BE PROVIDED AT ALL SIDES OF THE BUILDINGS OR WITHIN 150 FEET ACCESS FROM AN ACCESSIBLE ROAD.
- DUMPSTER AND CONTAINERS WITH INDIVIDUAL CAPACITY OF 1.5 CUBIC YARDS OR MORE SHALL NOT BE SORTED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS, COMBUSTIBLE ROOF EAVES UNLESS AREAS CONTAINING DUMPSTER OR CONTAINERS ARE PROTECTED BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM PER THE FIRE CODE SECTION 906.
- APPROVED BUILDING ADDRESS NUMBER TO BE PROVIDED AND MAINTAINED AS TO BE VISIBLE FROM THE STREET FRONTING THE PROPERTY.

### SITE LEGEND

	PROPERTY LINE		TREE
	PROPERTY SET BACK LINE		FIRE ACCESS TO BUILDING
	ACCESSIBLE PATH OF TRAVEL		FIRE HYDRANT
	EXISTING BLDG		FIRE DEPARTMENT CONNECTION
	PROPOSED GROUND FLOOR FOOTPRINT		FIRE APPARATUS ACCESS ROAD
	PROPOSED UPPER FLOORS FOOTPRINT		FIRE APPARATUS 'HAMMERHEAD' TURN @ DEAD END
	LANDSCAPE AREA		



**EXHIBIT "A"**  
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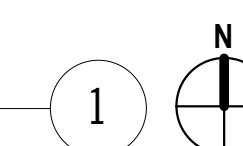
#### PRIMARY PATH OF TRAVEL

I CERTIFY THAT THE PRIMARY PATH OF TRAVEL TO THE AREA OF ALTERATION FROM THE PUBLIC WAY AND ACCESSIBLE PARKING SPACE AS INDICATED ON THE PLANS DOES NOT INCLUDE STEPS OR A SLOPE EXCEEDING 1:20 EXCEPT WHERE ACCESS IS PROVIDED BY A RAMP WITH A 1:12 MAXIMUM SLOPE OR A DISABLED ACCESSIBLE ELEVATOR. I UNDERSTAND THAT IF THE PRIMARY PATH OF TRAVEL IS FOUND NOT TO BE AS INDICATED SIGNIFICANT DELAYS MAY RESULT.

SIGNATURE: \_\_\_\_\_ POSITION: \_\_\_\_\_  
 PRINT NAME: \_\_\_\_\_ DATE: \_\_\_\_\_

(NOTE: TO BE COMPLETED AND SIGNED TO CERTIFY BY ARCHITECT, ENGINEER OR CONTRACTOR ON RECORD, OWNER OR AGENT)

FLOOR PLAN - SITE  
 1/8" = 1'-0"

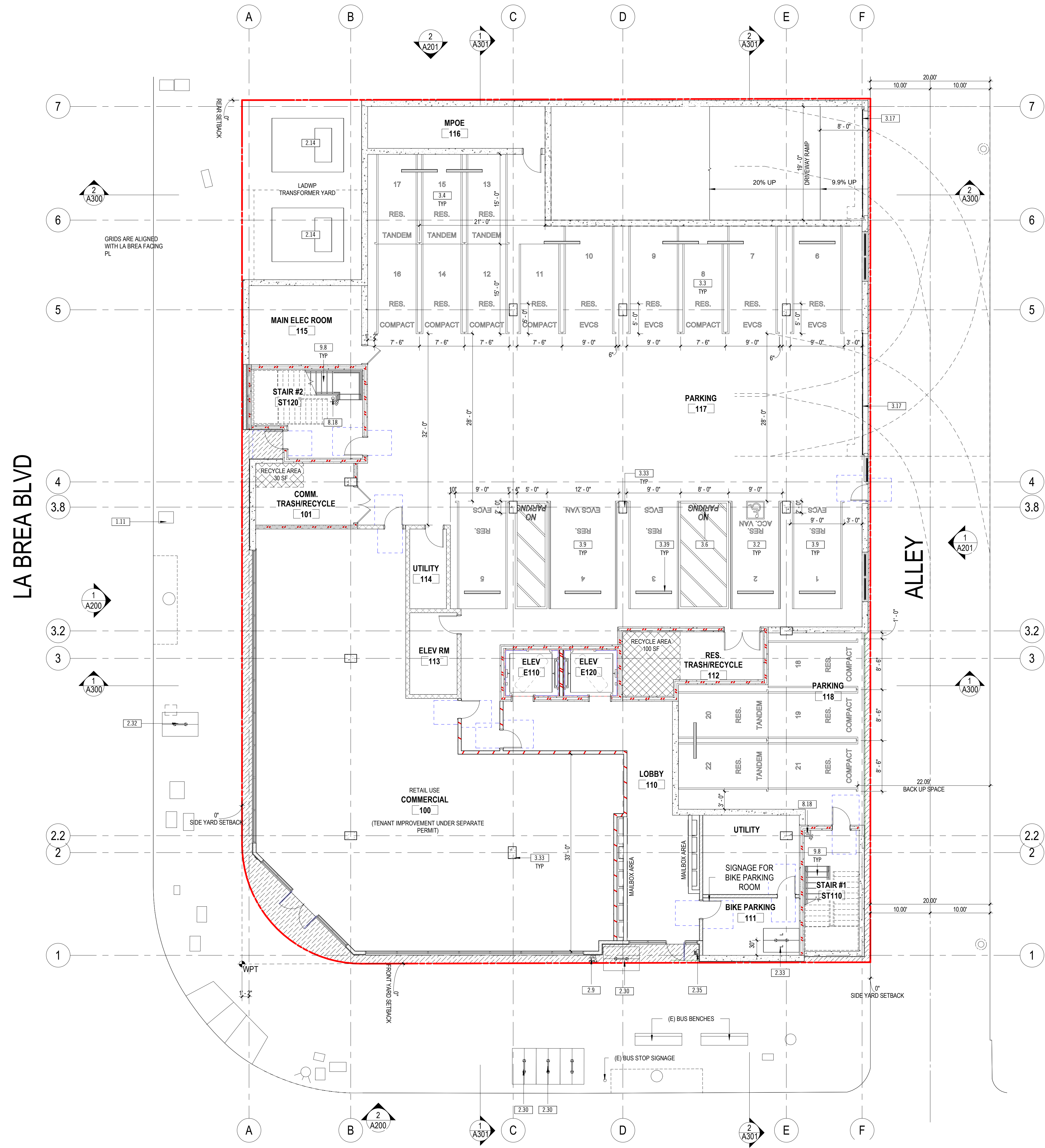




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### KEYNOTES

1.11	(E) WATER METER. SEE SURVEY DWGS
2.9	WALL MOUNTED FIRE DEPARTMENT CONNECTION. SEE CIVIL/PLUMBING DWGS
2.14	TRANSFORMER YARD. SEE APPROVED DWP DWGS
2.30	RESIDENTIAL SHORT TERM BIKE RACK. SEE SHEET A897
2.32	COMMERCIAL SHORT TERM BIKE RACK. SEE SHEET A897
2.33	COMMERCIAL LONG TERM BIKE RACK. SEE SHEET A897
2.35	MAIN ENTRANCE INTERCOM / CARD READER. SEE SECURITY CONSULTANT DWG.
3.2	ACCESSIBLE PARKING STALL. SEE DETAIL 10290
3.3	COMPACT PARKING STALL. SEE DETAIL 2/A901
3.4	TANDEM PARKING STALL
3.6	NO PARKING ZONE STRIPING. SEE DETAIL 16/A901
3.9	DESIGNATED EV CHARGING PARKING SPACE MARK AS "EVCS"
3.17	OVERHEAD HIGH SPEED VEHICULAR ROLL UP GRILLE. SEE DETAIL 8/A902
3.33	CONC COLUMN. SEE STRUCTURAL DWGS. SEE DETAIL 7/A901
3.39	PARKING WHEEL STOP. SEE DETAIL 3/A901
8.18	PUBLIC DECK. 2X FRAMING RIPPED TO SLOPE AT 1.9% MIN. WITH WATERPROOF MEMBRANE UNDER PEDESTAL PAVERS. SEE DETAIL 12/A930. LARRR26198. BISON SCREW JACK PED SYSTEM. WESTILE CONCRETE PAVERS
9.8	PRECAST TREAD WITH CLOSED RISER. MIN 11" TREAD AND MAXIMUM 7" RISER. STAIR TO BE MINIMUM 44" WIDE WITH MINIMUM 80" HEAD CLEARANCE. SEE DETAILS 1, 13, 14, 15, 16/A985



### GARAGE NOTES

- REFER TO SHEET G050 & G100 FOR GRAPHIC SYMBOLS, ABBREVIATIONS, AND GENERAL NOTES
- REFER TO SHEET A905-A916 FOR WALL TYPE DETAILS
- REFER TO SHEETS "EGRESS AND OCCUPANCY PLANS" FOR EGRESS, CODE ANALYSIS, AND FIRE-RATED ASSEMBLY INFORMATION
- REFER TO SHEETS "SLAB PLANS" FOR GRADES AND DRAINAGE
- REFER TO SHEET "INTERIOR FINISH SCHEDULE" AND "UNIT FINISH SCHEDULE" FOR ALL FINISHES
- REFER TO SHEET "WINDOW / STOREFRONT SCHEDULE AND TYPES" FOR WINDOW AND STOREFRONT TYPES AND GLAZING INFORMATION
- REFER TO SHEET "DOOR SCHEDULE AND TYPES" FOR DOOR SIZES AND TYPES
- REFER TO LANDSCAPE DRAWINGS FOR COLORS, FINISHES, THICKNESS, REINFORCING, AND CONTROL/EXPANSION JOINTS OF WALKS AND HARDSCAPE AREA
- PROVIDE FURRED WALLS AS REQUIRED FOR ALL UTILITY AND DRAINLINES THAT EXTEND UP THE INTERIOR WALL SURFACES
- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5
- THIS BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM, COMPLYING WITH (NFPA-13 / NFPA-13R). THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION
- ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH
- PROVIDE SLIP RESISTANT FLOOR FINISH
- NON-ABSORBENT INTERIOR FLOOR AND WALL FINISHES SHALL BE USED WITHIN AT LEAST 2 FEET AROUND AND PERPENDICULAR TO EXTERIOR ENTRIES AND/OR SUBJECT TO FOOT TRAFFIC
- ACCESSIBLE PARKING AND ACCESSIBLE EVCS CANNOT EXCEED 1:48 SLOPE THROUGHOUT PARKING AND LOADING / UNLOADING AISLE
- PROVIDE AT LEAST ONE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2A OR 2-A10BC WITH A MAXIMUM TRAVEL DISTANCE OF 75 FEET TO ALL OCCUPIED PORTIONS OF BUILDING. SEE DETAIL 2 & 3/A984
- PROVIDE ROOM IDENTIFICATION SIGNAGE PER SHEET G094
- A MINIMUM UNOBSTRUCTED HEADROOM CLEARANCE OF 8'-2" WHEN ACCESS FOR DISABLED VEHICLES IS REQUIRED ABOVE FINISH FLOOR SHALL BE CLEAR OF ANY CEILING, BEAMS, PIPES, OR SIMILAR OBSTRUCTIONS AT ALL LOCATIONS IN PARKING GARAGE STRUCTURES
- PROVIDE PIPE GUARDS AT ALL EXPOSED PIPES PER 1/A902
- SEE SHT A935-A937 FOR TYP. FIRESTOPPING DETAILS
- PROVIDE COLUMN CORNER GUARDS FOR ALL CORNERS FACING TRAFFIC PER 8/A901
- AT CORRIDOR WALL LOCATION, ADD ADDITIONAL LAYER OF GYPSUM BOARD WHERE REQUIRED TO MAINTAIN FLUSH INTERIOR WALL CONDITION
- DUCTS AND AIR TRANSFER OPENINGS THROUGH FIRE WALLS SHOULD BE AVOIDED. IF ALLOWED, DUCT AND AIR TRANSFER OPENING PENETRATIONS SHALL BE PROTECTED AS REQUIRED BY SECTIONS 714 AND 717. DAMPERS WITH A 3 HOUR RATING ARE REQUIRED.
- TWO-WAY RADIO COMMUNICATION SYSTEM TO BE PROVIDED PER LAFD 510 AT AREA OF REFUGE (1009.6.5) AND ELEVATOR. SEE DETAIL 11 & 15/G092

### GARAGE / SITE LEGEND

	EXISTING WALL		SHORT-TERM BICYCLE PARKING SEE SHEET A897
	2 HOUR RATED		LONG TERM BICYCLE PARKING SEE SHEET A897
	CONCRETE WALL		ACCESSIBLE PATH OF TRAVEL
	CMU WALL		8'-2" MIN. HEAD CLEARANCE AT DRIVE AISLES AND REQUIRED PARKING SPACES.
	METAL STUD WALL		ELECTRICAL VEHICLE CHARGING STATION
	SEE SHEET A905-912 FOR WALL TYPES (0= RATE, MAA = WALL TYPE, 1= SIZE)		DECK DRAIN, SLOPE TO DRAIN AT 2% MAX, 1% MIN IN VALLEYS.
	STANDPIPE (CLASS I)		OVERFLOW DRAIN, SLOPE TO DRAIN AT 2% MAX, 1% MIN IN VALLEYS.
	EXIT SIGN		FLOOR DRAIN, SLOPE TO DRAIN AT 2% MAX, 1% MIN IN VALLEYS.
	FIRE EXTINGUISHER		PLANTER DRAIN, SLOPE TO DRAIN AT 2% MAX, 1% MIN IN VALLEYS.
	DOWNSPOUT		
	ELECTRICAL PANEL, REFER TO ELEC DWGS		
	EMERGENCY DRAIN, SLOPE TO DRAIN AT 2% MAX, 1% MIN IN VALLEYS.		
	PLANTER DRAIN, SLOPE TO DRAIN AT 2% MAX, 1% MIN IN VALLEYS.		

300 N LA BREA  
100% AFFORDABLE HOUSING (PRIVATELY FUNDED)

300 N. LA BREA AVE  
LOS ANGELES, CA

300 NORTH LA BREA (LA) OWNER, LLC  
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REVISIONS:

JOB NUMBER:  
251022

DATE:  
01.22.2026

SCALE:  
PZA SET

SHEET TITLE:

FLOOR PLAN - LEVEL 1

A111

**EXHIBIT "A"**  
Page No. 9 of 27  
Case No. EAR-2026-350-AH-PHP-VHCA

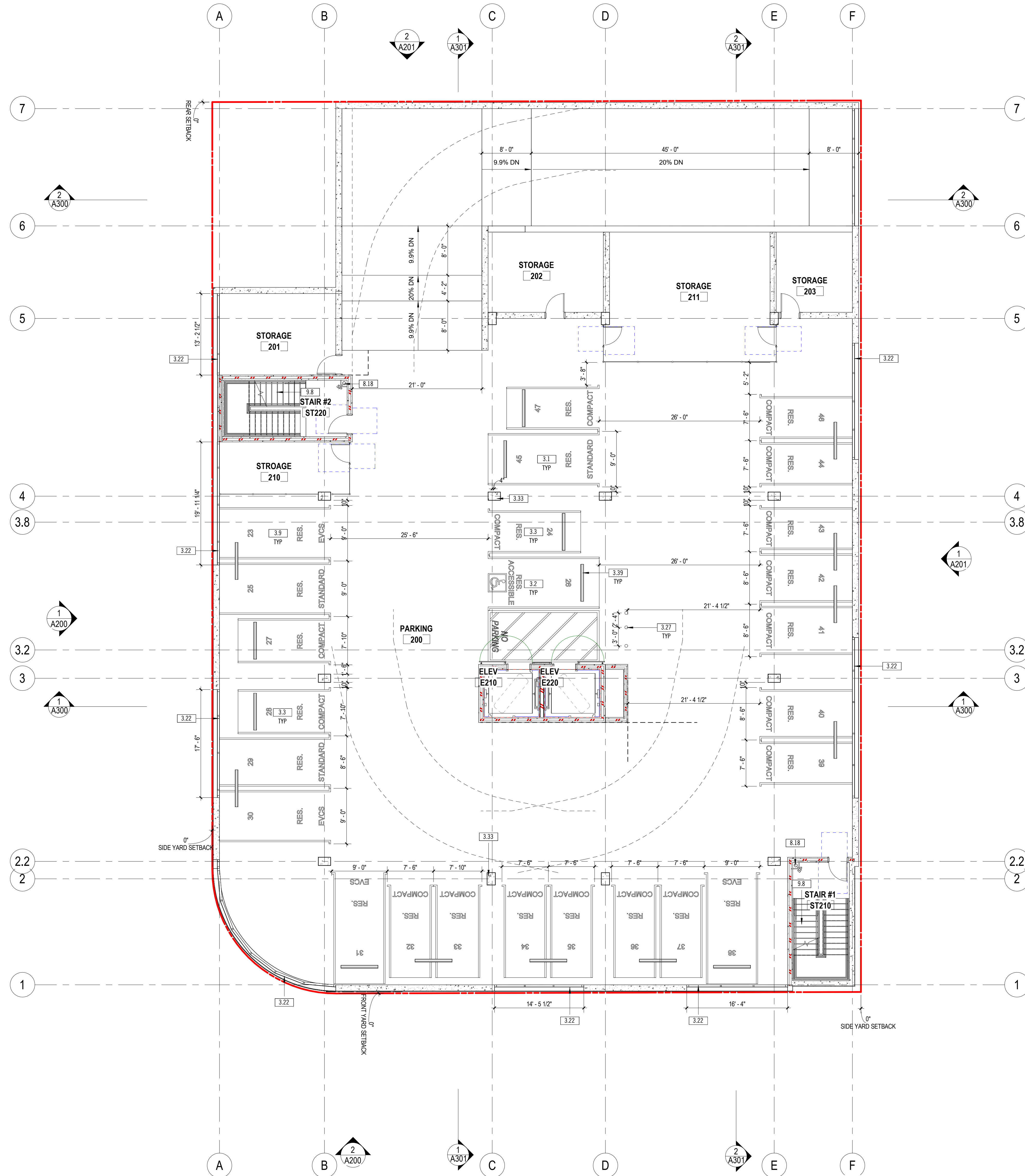
FLOOR PLAN - LEVEL 1  
1/8" = 1'-0"

1





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**EXHIBIT "A"**  
Page No. 10 of 27  
Case No. EAR-2026-350-AH-PHP-VHCA

FLOOR PLAN - LEVEL 2  
1/8" = 1'-0"

### KEYNOTES

3.1	STANDARD PARKING STALL. SEE DETAIL 1/A901
3.2	ACCESSIBLE PARKING STALL. SEE DETAIL 1/G900
3.3	COMPACT PARKING STALL. SEE DETAIL 2/A901
3.9	DESIGNATED EV CHARGING PARKING SPACE MARK AS "EVCS"
3.22	METAL FENCE WITH PERFORATED SHEET METAL
3.27	BOLLARD. SEE DETAIL 4/A901
3.33	CONC COLUMN. SEE STRUCTURAL DWGS. SEE DETAIL 7/A901
3.39	PARKING WHEEL STOP. SEE DETAIL 3/A901
8.18	PUBLIC DECK. 2X FRAMING RIPPED TO SLOPE AT 1.9% MIN. WITH WATERPROOF MEMBRANE UNDER PEDESTAL PAVERS. SEE DETAIL 12/A930. LARR#20198. BISON SCREWDRIVER SYSTEM, WESTLE CONCRETE PAVERS
9.8	PRECAST TREAD WITH CLOSED RISER. MIN 11" TREAD AND MAXIMUM 7" RISER. STAIR TO BE MINIMUM 44" WIDE WITH MINIMUM 80" HEAD CLEARANCE. SEE DETAILS 1, 13, 14, 15, 16/A985

### GARAGE NOTES

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- PROVIDE AT LEAST ONE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITH A MAXIMUM TRAVEL DISTANCE OF 75 FEET TO ALL OCCUPIED PORTIONS OF BUILDING. SEE DETAIL 3 & 3/A984
- PROVIDE ROOM IDENTIFICATION SIGNAGE PER SHEET G094
- A MINIMUM UNOBSTRUCTED HEADROOM CLEARANCE OF 8'-2" WHEN ACCESS FOR DISABLED VEHICLES IS REQUIRED ABOVE FINISH FLOOR SHALL BE CLEAR OF ANY CEILINGS, BEAMS, PIPES, OR SIMILAR OBSTRUCTIONS AT ALL LOCATIONS IN PARKING GARAGE STRUCTURES
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- TWO-WAY RADIO COMMUNICATION SYSTEM TO BE PROVIDED PER LAFD 510 AT AREA OF REFUGE (1009.6.5) AND ELEVATOR. SEE DETAIL 11 & 15/G092

### GARAGE / SITE LEGEND

	EXISTING WALL		SHORT-TERM BICYCLE PARKING SEE SHEET A897
	2 HOUR RATED		LONG TERM BICYCLE PARKING SEE SHEET A897
	CONCRETE WALL		ACCESSIBLE PATH OF TRAVEL
	CMU WALL		8'-2" MIN. HEAD CLEARANCE AT DRIVE AISLES AND REQUIRED PARKING SPACES.
	METAL STUD WALL		ELECTRICAL VEHICLE CHARGING STATION
	SEE SHEET A905-912 FOR WALL TYPES (0% RATE, MAA = WALL TYPE, 1% = SIZE)		DECK DRAIN, SLOPE TO DRAIN AT 2% MAX, 1% MIN IN VALLEYS.
	STANDPIPE (CLASS I)		OVERFLOW DRAIN, SLOPE TO DRAIN AT 2% MAX, 1% MIN IN VALLEYS.
	EXIT SIGN		FLOOR DRAIN, SLOPE TO DRAIN AT 2% MAX, 1% MIN IN VALLEYS.
	FIRE EXTINGUISHER		PLANTER DRAIN, SLOPE TO DRAIN AT 2% MAX, 1% MIN IN VALLEYS.
	DOWNSPOUT		
	ELECTRICAL PANEL, REFER TO ELEC DWGS		
	EMERGENCY DRAIN, SLOPE TO DRAIN AT 2% MAX, 1% MIN IN VALLEYS.		
	PLANTER DRAIN, SLOPE TO DRAIN AT 2% MAX, 1% MIN IN VALLEYS.		

APPROVAL STAMP

**300 N LA BREA**  
100% AFFORDABLE HOUSING (PRIVATELY FUNDED)

300 N. LA BREA AVE  
LOS ANGELES, CA

300 NORTH LA BREA (LA) OWNER, LLC  
4700 WILSHIRE BLVD  
LOS ANGELES, CA 90010

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JOB NUMBER:  
251022

DATE:  
01.22.2026

SCALE:  
PZA SET

SHEET TITLE:  
**FLOOR PLAN - LEVEL 2**

**A112**





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JOB NUMBER:  
251022

DATE:  
01.22.2026

DATE:

PZA SET

SHEET TITLE:

FLOOR PLAN - LEVEL 4

A114

## KEYNOTES

4.9	HORIZONTAL EXIT: 2 HOUR FIRE BARRIER WITH 2 HOUR PROTECTED OPENING PER DETAIL. PROVIDE STANDPIPE ON EACH SIDE OF THE HORIZONTAL EXIT DOOR OPENINGS OR USE THE EXCEPTION TO USE INTERIOR STAIR STANDPIPE WITHIN 100'. INTEGRATED CROSS CORRIDOR DOOR
4.10	MIN 42" HIGH METAL GUARDRAIL. SEE SHEET 4/A975
4.11	MIN 42" HIGH LOW WALL. SEE DETAIL 4/A981
4.27	1 HOUR RATED WALL BETWEEN UNITS, AND ALSO BETWEEN UNITS AND PUBLIC CORRIDORS SEE DETAIL 4/A915
7.10	FLUSH VINYL WINDOW. SEE SHEET A/965
8.13	UNIT FLOOR: 2X FRAMING WITH 1" GYPCRETE FLOOR TOPPING OVER ACOUSTICAL UNDERLAYMENT AT HARD SURFACE FINISH FLOORS. SEE DETAIL 5/A930
8.14	INTERIOR CORRIDOR FLOOR: 2X FRAMING WITH 1 1/4" GYPCRETE TOPPING. SEE DETAIL 9/A930
8.17	EXTERIOR PRIVATE BALCONY FLOOR: MIN. 2X FRAMING RIPPED TO SLOPE AT 1.9% WITH DECK COATING. SEE DETAIL 10/A930
8.18	PUBLIC DECK: 2X FRAMING RIPPED TO SLOPE AT 1.9% MIN. WITH WATERPROOF MEMBRANE UNDER PEDESTAL PAVERS. SEE DETAIL 12/A930. LARRK20198. BISON SCREW/BACK PED SYSTEM, WESTLE CONCRETE PAVERS
8.20	1 HOUR INTERIOR CORRIDOR W/ ALL RESIDENTIAL DOORS TO BE 20 MIN. RATED. SEE DETAIL 17/A945 & 950
8.27	TYPE IIIA CONSTRUCTION WITH FIRE RETARDANT TREATED LUMBER IN EXTERIOR WALLS. SEE DETAIL 9, 10, 11, 17/A918
9.14	WOOD STRINGERS AND PLYWOOD 1-1/8" TREADS AND RISERS. SEE DETAILS 9, 10, & 11/A986

## TYP FLOOR NOTES

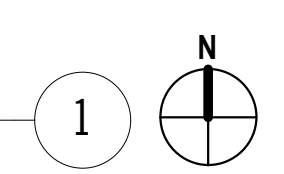
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- PROVIDE AT LEAST ONE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITH A MAXIMUM TRAVEL DISTANCE OF 75 FEET TO ALL OCCUPIED PORTIONS OF BUILDING. SEE DETAIL 2 & 3/A994
- AT CORRIDOR WALL LOCATION, ADD ADDITIONAL LAYER OF GYPSUM BOARD WHERE REQUIRED TO MAINTAIN FLUSH INTERIOR WALL CONDITION
- AT LOCATIONS WHERE THIS WALL ASSEMBLY NO LONGER REQUIRES A SHEAR PANEL ON STRUCTURAL PLANS, MAINTAIN ASSEMBLY THICKNESS & ACOUSTIC VALUE BY CONTINUOUS WOOD SHEATHING OR A BASE LAYER OF GYPSUM BOARD CAN REPLACE A LAYER OF WOOD SHEATHING OF SIMILAR THICKNESS
- FLOOR FINISHES TO BE SLIP RESISTANT
- DUCTS AND AIR TRANSFER OPENINGS THROUGH FIRE WALLS SHOULD BE AVOIDED. IF ALLOWED, DUCT AND AIR TRANSFER OPENING PENETRATIONS SHALL BE PROTECTED AS REQUIRED BY SECTIONS 714 AND 717. DAMPERS WITH A 3 HOUR RATING ARE REQUIRED
- ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH
- PROVIDE ROOM IDENTIFICATION SIGNAGE PER SHEET G094
- TWO-WAY RADIO COMMUNICATION SYSTEM TO BE PROVIDED PER LAFC 510 AT AREA OF REFUGE (1009.6.5) AND ELEVATOR. SEE DETAIL 11 & 15/G992

## TYP FLOOR PLAN LEGEND

	EXISTING WALL		SHORT-TERM BICYCLE PARKING SEE SHEET A/897
	2 HOUR RATED		LONG TERM BICYCLE PARKING SEE SHEET A/897
	CONCRETE WALL		ACCESSIBLE PATH OF TRAVEL
	CMU WALL		8'-2" MIN. HEAD CLEARANCE AT DRIVE AISLES AND REQUIRED PARKING SPACES
	METAL STUD WALL		ELECTRICAL VEHICLE CHARGING STATION
	SEE SHEET A905-912 FOR WALL TYPES (0= RATE, MAA = WALL TYPE, 1= SIZE)		DECK DRAIN, SLOPE TO DRAIN AT 2% MAX, 1% MIN IN VALLEYS
	STANDPIPE (CLASS I)		OVERFLOW DRAIN, SLOPE TO DRAIN AT 2% MAX, 1% MIN IN VALLEYS
	EXIT SIGN		FLOOR DRAIN, SLOPE TO DRAIN AT 2% MAX, 1% MIN IN VALLEYS
	FIRE EXTINGUISHER		EMERGENCY DRAIN, SLOPE TO DRAIN AT 2% MAX, 1% MIN IN VALLEYS
	DOWNSPOUT		PLANTER DRAIN, SLOPE TO DRAIN AT 2% MAX, 1% MIN IN VALLEYS
	ELECTRICAL PANEL, REFER TO ELEC DWGS		
	30" X 48" CLEAR SPACE (ADA)		
	60" TURNING RADIUS (ADA)		
	T-SHAPE CLEAR SPACE (ADA)		

**EXHIBIT "A"**  
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Case No. EAR-2026-350-AH-PHP-VHCA

FLOOR PLAN - LEVEL 4  
1/8" = 1'-0"





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APPROVAL STAMP

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REVISIONS

JOB NUMBER

251022

DATE

01.22.2026

DATE

PZA SET

SHEET TITLE

FLOOR PLAN - LEVEL 5

A115

## KEYNOTES

4.9	HORIZONTAL EXIT: 2 HOUR FIRE BARRIER WITH 2 HOUR PROTECTED OPENING PER DETAIL. PROVIDE STANDPIPE ON EACH SIDE OF THE HORIZONTAL EXIT DOOR OPENINGS OR USE THE EXCEPTION TO USE INTERIOR STAIR STANDPIPE WITHIN 100'. INTEGRATED CROSS CORRIDOR DOOR
4.10	MIN 42" HIGH METAL GUARDRAIL. SEE SHEET 4/A975
4.11	MIN 42" HIGH LOW WALL. SEE DETAIL 4/A981
4.27	1 HOUR RATED WALL BETWEEN UNITS, AND ALSO BETWEEN UNITS AND PUBLIC CORRIDORS SEE DETAIL 4/A915
7.10	FLUSH VINYL WINDOW. SEE SHEET A/965
8.13	UNIT FLOOR: 2X FRAMING WITH 1" GYPCRETE FLOOR TOPPING OVER ACOUSTICAL UNDERLAYMENT AT HARD SURFACE FINISH FLOORS. SEE DETAIL 5/A930
8.14	INTERIOR CORRIDOR FLOOR: 2X FRAMING WITH 1 1/4" GYPCRETE TOPPING. SEE DETAIL 9/A930
8.17	EXTERIOR PRIVATE BALCONY FLOOR: MIN. 2X FRAMING RIPPED TO SLOPE AT 1.9% WITH DECK COATING. SEE DETAIL 10/A930
8.18	PUBLIC DECK: 2X FRAMING RIPPED TO SLOPE AT 1.9% MIN. WITH WATERPROOF MEMBRANE UNDER PEDESTAL PAVERS. SEE DETAIL 12/A930. LARRK20198. BISON SCREWWACK PED SYSTEM, WESTLE CONCRETE PAVERS
8.20	1 HOUR INTERIOR CORRIDOR W/ ALL RESIDENTIAL DOORS TO BE 20 MIN. RATED. SEE DETAIL 17/A945 & 950
8.27	TYPE IIIA CONSTRUCTION WITH FIRE RETARDANT TREATED LUMBER IN EXTERIOR WALLS. SEE DETAIL 9, 10, 11, 17/A918
9.14	WOOD STRINGERS AND PLYWOOD 1-1/8" TREADS AND RISERS. SEE DETAILS 9, 10, & 11/A986



## TYP FLOOR NOTES

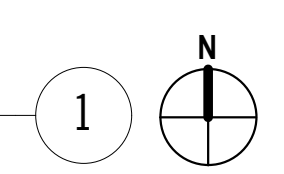
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- REFER TO LANDSCAPE DRAWINGS FOR COLORS, FINISHES, THICKNESS, REINFORCING, AND CONTROL/EXPANSION JOINTS OF WALKS AND HARDSCAPE AREA
- PROVIDE AT LEAST ONE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITH A MAXIMUM TRAVEL DISTANCE OF 75 FEET TO ALL OCCUPIED PORTIONS OF BUILDING. SEE DETAIL 2 & 3/A994
- AT CORRIDOR WALL LOCATION, ADD ADDITIONAL LAYER OF GYPSUM BOARD WHERE REQUIRED TO MAINTAIN FLUSH INTERIOR WALL CONDITION
- AT LOCATIONS WHERE THIS WALL ASSEMBLY NO LONGER REQUIRES A SHEAR PANEL ON STRUCTURAL PLANS, MAINTAIN ASSEMBLY THICKNESS & ACOUSTIC VALUE BY CONTINUOUS WOOD SHEATHING OR A BASE LAYER OF GYPSUM BOARD CAN REPLACE A LAYER OF WOOD SHEATHING OF SIMILAR THICKNESS
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- ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH
- PROVIDE ROOM IDENTIFICATION SIGNAGE PER SHEET G094
- TWO-WAY RADIO COMMUNICATION SYSTEM TO BE PROVIDED PER LAFD 510 AT AREA OF REFUGE (1009.6.5) AND ELEVATOR. SEE DETAIL 11 & 15/G992

## TYP FLOOR PLAN LEGEND

	EXISTING WALL		SHORT-TERM BICYCLE PARKING SEE SHEET A/897
	2 HOUR RATED		LONG TERM BICYCLE PARKING SEE SHEET A/897
	CONCRETE WALL		ACCESSIBLE PATH OF TRAVEL
	CMU WALL		8'-2" MIN. HEAD CLEARANCE AT DRIVE AISLES AND REQUIRED PARKING SPACES
	METAL STUD WALL		ELECTRICAL VEHICLE CHARGING STATION
	SEE SHEET A905-912 FOR WALL TYPES (0= RATE, MAA = WALL TYPE, 1= SIZE)		DECK DRAIN, SLOPE TO DRAIN AT 2% MAX, 1% MIN IN VALLEYS
	STANDPIPE (CLASS I)		OVERFLOW DRAIN, SLOPE TO DRAIN AT 2% MAX, 1% MIN IN VALLEYS
	EXIT SIGN		FLOOR DRAIN, SLOPE TO DRAIN AT 2% MAX, 1% MIN IN VALLEYS
	FIRE EXTINGUISHER		EMERGENCY DRAIN, SLOPE TO DRAIN AT 2% MAX, 1% MIN IN VALLEYS
	DOWNSPOUT		PLANTER DRAIN, SLOPE TO DRAIN AT 2% MAX, 1% MIN IN VALLEYS
	ELECTRICAL PANEL, REFER TO ELEC DWGS		
	30" X 48" CLEAR SPACE (ADA)		
	60" TURNING RADIUS (ADA)		
	T-SHAPE CLEAR SPACE (ADA)		

**EXHIBIT "A"**  
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 Case No. EAR-2026-350-AH-PHP-VHCA

FLOOR PLAN - LEVEL 5  
1/8" = 1'-0"





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APPROVAL STAMP

300 N LA BREA  
100% AFFORDABLE HOUSING (PRIVATELY FUNDED)

300 N. LA BREA AVE  
LOS ANGELES, CA

300 NORTH LA BREA (LA) OWNER, LLC  
4700 WILSHIRE BLVD  
LOS ANGELES, CA 90010

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JOB NUMBER

251022

DATE

01.22.2026

DATE

PZA SET

SHEET TITLE

FLOOR PLAN - LEVEL 6

A116

### KEYNOTES

4.9	HORIZONTAL EXIT: 2 HOUR FIRE BARRIER WITH 2 HOUR PROTECTED OPENING PER DETAIL. PROVIDE STANDPIPE ON EACH SIDE OF THE HORIZONTAL EXIT DOOR OPENINGS OR USE THE EXCEPTION TO USE INTERIOR STAIR STANDPIPE WITHIN 100'. INTEGRATED CROSS CORRIDOR DOOR
4.10	MIN 4" HIGH METAL GUARDRAIL. SEE SHEET 4/A975
4.11	MIN 4" HIGH LOW WALL. SEE DETAIL 4/A981
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### TYP FLOOR NOTES

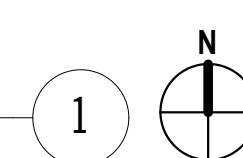
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### TYP FLOOR PLAN LEGEND

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**EXHIBIT "A"**  
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 Case No. EAR-2026-350-AH-PHP-VHCA

FLOOR PLAN - LEVEL 6  
1/8" = 1'-0"





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APPROVAL STAMP

**300 N LA BREA**  
100% AFFORDABLE HOUSING (PRIVATELY FUNDED)

300 N. LA BREA AVE  
LOS ANGELES, CA

300 NORTH LA BREA (LA) OWNER, LLC  
4700 WILSHIRE BLVD  
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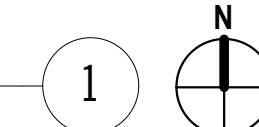
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### TYP FLOOR PLAN LEGEND

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	2 HOUR RATED		LONG TERM BICYCLE PARKING SEE SHEET A/897
	CONCRETE WALL		ACCESSIBLE PATH OF TRAVEL
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	30" X 48" CLEAR SPACE (ADA)		
	60" TURNING RADIUS (ADA)		
	T-SHAPE CLEAR SPACE (ADA)		

**EXHIBIT "A"**  
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Case No. EAR-2026-350-AH-PHP-VHCA

FLOOR PLAN - LEVEL 7  
1/8" = 1'-0"



**A117**



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APPROVAL STAMP

# 300 N LA BREA

100% AFFORDABLE HOUSING (PRIVATELY FUNDED)

300 N. LA BREA AVE  
LOS ANGELES, CA

300 NORTH LA BREA (LA) OWNER, LLC  
4700 WILSHIRE BLVD  
LOS ANGELES, CA 90010

ARCHITECT SEAL

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REVISIONS

## KEYNOTES

- 6.1 SINGLE PLY TPO ROOFING W/ LIGHT COLOR REFLECTIVE SURFACE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS WITH 3/8" PER FOOT MINIMUM SLOPE. SEE SHEET A886 & A885 (MIN CLASS B ROOF COVERING) PROVIDE 1/2" COVER BOARD AND 1" RIGID INSULATION AS REQUIRED BY THE MANUFACTURER'S RECOMMENDATIONS.
- 8.18 PUBLIC DECK 2X FRAMING RIPPED TO SLOPE AT 1.5% MIN. WITH WATERPROOF MEMBRANE UNDER PEDESTAL PAVERS. SEE DETAIL 12A330. LARRIERE/198. BISON SCREW/JACK PEG SYSTEM, WESTILE CONCRETE PAVERS

## ROOF NOTES

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- REFER TO SHEET A905-A916 FOR WALL TYPE DETAILS
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- REFER TO SHEET "DOOR SCHEDULE AND TYPES" FOR DOOR SIZES AND TYPES
- REFER TO SHEET A955-A956 "ROOF DETAIL" FOR GENERAL ROOF DETAILS.
- PVC SINGLE PLY ROOFING: CLASS A, UL APPROVED ROOFING SYSTEM
- ALL ROOF ELEVATIONS ARE GIVEN FROM REFERENCE DATUM
- ALL ROOF SLOPES SHALL BE MIN 1/4" / FOOT, INCLUDING SLOPES AT VALLEYS.
- ROOFING CONTRACTOR SHALL CONFIRM THAT ALL AREAS OF THE ROOF ARE PROVIDED WITH POSITIVE DRAINAGE.
- WHERE ROOF STRIPPING VOIDS EXCEED 6" FILL VOIDS W/ THERMAL INSULATION.
- ROOF VENTS SHALL BE LOCATED 10 FEET O.C. MIN TO 20 FEET O.C. MAX TYP., U.N.O. ONE S.F. OF NET FREE VENTILATION AREA IS PROVIDED FOR EVERY 150 S.F. OF ATTIC SPACE.
- ALL ROOF PEN. FOR PLUMB. VENTS ELEC. CONDUIT, ETC. SHALL BE FLASHED (WATERTIGHT) PER SPEC. AND STANDARD DETAILS. PLUMB. VENTS SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTAL OR 1 FEET ABOVE OUTSIDE AIR INTAKE OF THE A.C. UNIT OR MAKE-UP AIR UNIT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF SIZE AND LOCATION OF THE ROOF OPENINGS, VENTS, DUCTS, PLATFORMS, PREFABRICATED CURBS, ETC. COORDINATE SIZE OF MECHANICAL EQUIPMENT AND DUCT OPENINGS SHOWN AND SPECIFIED ON MECHANICAL PLANS AND COORDINATE THE LOCATION OF THE POWER.
- SECURITY BARRIERS, VISUAL SCREEN BARRIERS, OR OTHER OBSTRUCTIONS SHALL NOT BE INSTALLED ON THE ROOF OF ANY BUILDING IN SUCH A MANNER AS TO OBSTRUCT FIREFIGHTER ACCESS OR EGRESS IN THE EVENT OF FIRE OR EMERGENCY. PARAPETS SHALL NOT EXCEED THE HEIGHT REQUIRED FROM THE TOP OF THE PARAPET TO THE ROOF SURFACE ON MORE THAN TWO SIDE PER GOVERNING CODE REQUIREMENTS.
- SIZE THE ROOF DRAINS AND OVERFLOW DRAINS ACCORDING TO CH. 11 OF THE LAPC.
- THE ROOF DRAIN AND OVERFLOW DRAIN MUST BE INDEPENDENT LINES TO A YARD BOX
- ROOF DRAINAGE IS NOT PERMITTED TO FLOW OVER PUBLIC PROPERTY
- OVERFLOW SCUPPER SHALL BE DESIGNED IN ACCORDANCE TO TABLE 11-1 OF THE LAPC
- A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTION 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT.
- WHERE ROOF STRIPPING VOIDS EXCEED 6" FILL VOIDS W/ THERMAL INSULATION.
- THE CONDUIT FOR THE FUTURE ELECTRICAL SOLAR SYSTEM SHALL BE LABELED AS PER THE L.A. FIRE DEPARTMENT REQUIREMENTS.
- TWO-WAY RADIO COMMUNICATION SYSTEM TO BE PROVIDED PER LAPC 510 AT AREA OF REFUGE (1009.6.5) AND ELEVATOR. SEE DETAIL 11 & 15/G092

## ROOF LEGEND

	2 HOUR FIRE RATED		FIRE WALL, NO PENETRATIONS THROUGH THE ROOF IN THIS AREA
	ROOF TIE BACK ANCHOR, SEE EBM DRAWINGS		ROOF DRAIN WITH OVER FLOW DRAIN 2" ABOVE ROOF DRAIN
	VENTS, THROUGH ROOF		ROOF HATCH DOOR
	DOWNSPOUT		PARAPET KICKER
	INDICATES ROOF SLOPE DIRECTION. ALL ROOF SLOPES TO HAVE A 2% SLOPE MIN UNO		SARA (FUTURE SOLAR AREA)
	3'-0" WIDE WALKING PAD		ROOF LADDER

JOB NUMBER

251022

DATE

01.22.2026

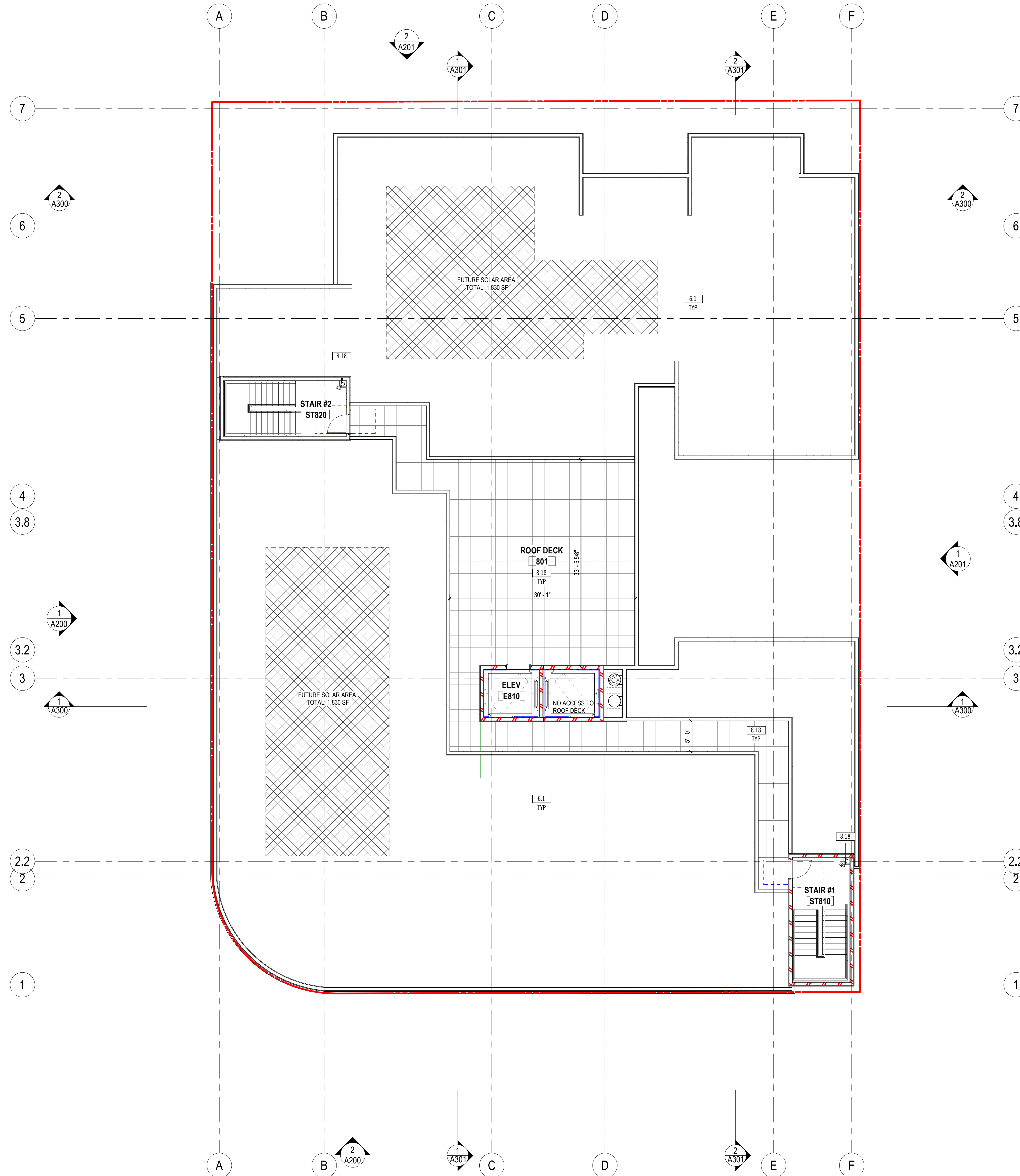
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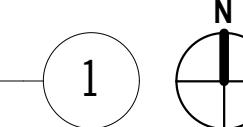
FLOOR PLAN - LEVEL ROOF

A118



**EXHIBIT "A"**  
 Page No. 16 of 27  
 Case No. EAR-2026-350-AH-PHP-VHCA

FLOOR PLAN - LEVEL ROOF  
1/8" = 1'-0"





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### KEYNOTES

2.9	WALL MOUNTED FIRE DEPARTMENT CONNECTION, SEE CIVIL/PLUMBING DWGS
2.30	RESIDENTIAL SHORT TERM BIKE RACK, SEE SHEET AB87
2.32	COMMERCIAL SHORT TERM BIKE RACK, SEE SHEET AB87
3.22	METAL FENCE WITH PERFORATED SHEET METAL
4.10	MIN 42" HIGH METAL GUARDRAIL, SEE SHEET 4A975
4.11	MIN 42" HIGH LOW WALL, SEE DETAIL 4A981
6.6	ROOF PARAPET, SEE PLAN FOR HEIGHT, WITH STUCCO ON BACKSIDE OF PARAPET MINIMUM 42" HIGH ABOVE ROOF SURFACE OR AS CALLED OUT ON PLANS, SEE DETAILS 3 & 4 /A955
7.10	FLUSH VINYL WINDOW, SEE SHEET A865
7.18	SIGNAGE UNDERS SEPARATE PERMIT



EXT BLDG ELEVATION - BEVERLY BLVD  
1/8" = 1'-0"

2

### ELEVATION NOTES

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- REFER TO SHEET "DOOR SCHEDULE AND TYPES" FOR DOOR SIZES AND TYPES.
- REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHT FIXTURES AND OTHER ELECTRICAL DEVICES.
- THE FIRST 9'-0" MEASURED FROM GRADE, OF EXTERIOR WALLS AND DOORS SHALL BE MAINTAINED WITH A GRAFFITI-RESISTANT FINISH (PRODUCT: PROSOLO, SURE KLEAN WEATHER SEAL, BLOK-GUARD & GRAFFITI CONTROL II WATER REPELLENT), LARGES 25079
- ALL SURFACES NOT ELEVATED OR CALLED OUT SHALL MATCH ADJACENT SURFACES.
- SHOP DRAWINGS FOR ARCHITECTURAL METAL SHALL SHOW DIMENSIONS, WEIGHT, AND CONNECTIONS REQUIRED TO ACCOMMODATE THE GALVANIZING AND SPECIAL PAINTING PROCESSES. SHOP DRAWINGS SHALL INCLUDE OVERALL DIAGRAM FOR CONNECTIONS AND DETAILS OF THOSE CONNECTIONS. ALL CONNECTIONS SHALL BE WELDED, GRIND, SMOOTH, AND SHOP PRIMED AND PAINTED.
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- PAIN EXPOSED CONDUIT TO MATCH ADJACENT SURFACE, UNLESS NOTED OTHERWISE.
- ALL AREAS WHERE SMOOTH PLASTER OCCURS, CONTRACTOR TO PROVIDE BASE COAT AND MESH-CRACK ISOLATION SYSTEM, REFER TO SPECIFICATION.
- GLASS DOOR, ADJACENT PANELS, AND ALL GAZED OPENING WITHIN 18" OF THE ADJACENT FLOOR SHALL BE OF SAFETY GLAZING, REFER TO SPECIFICATION, REFER TO "T" NOTATION ON EXTERIOR ELEVATIONS.
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- CONTRACTOR TO PROVIDE CONTROL JOINTS PER PLANS OR TO CREATE PANELS NO LARGER THAN 144 SF, WITH NO DIMENSION EXCEEDING 18'-0" OR A LENGTH TO WIDTH RATIO OF 2.5 TO 1
- OUTSIDE AIR WALL LOUVERS TO BE 10'-0" AWAY FROM ALL EXHAUSTS.
- EXHAUST LOUVERS TO BE 3'-0" FROM OUTSIDE AIR INLET / WINDOW

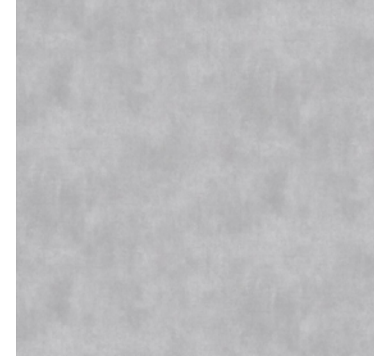


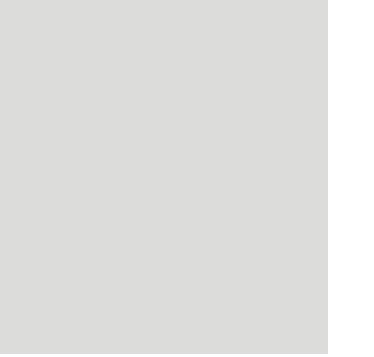

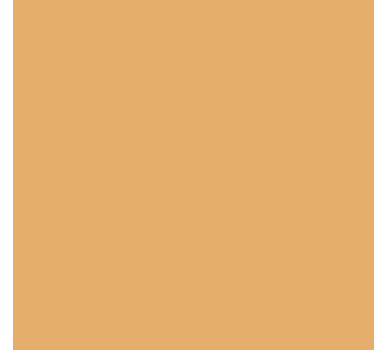






APPROVAL STAMP



EXT BLDG ELEVATION - LA BREA AVE  
1/8" = 1'-0"

1

### MATERIALS - EXTERIOR BUILDING

 <b>C-01</b> CONCRETE SMOOTH FINISH	 <b>M-01</b> CONCRETE MASONRY UNIT NATURAL GRAY PRECISION	 <b>PS-01</b> PLASTER 20/30 SAND FLOAT FINISH SHERWIN-WILLIAMS WHITE (WHITE SNOW) SW9541	 <b>PS-02</b> PLASTER 20/30 SAND FLOAT FINISH SHERWIN-WILLIAMS LIGHT GRAY (AUTONOMOUS) SW9557	 <b>PS-03</b> PLASTER 20/30 SAND FLOAT FINISH SHERWIN-WILLIAMS DARK GRAY (NIGHT OUT) SW 9560
 <b>PS-04</b> PLASTER 20/30 SAND FLOAT FINISH SHERWIN-WILLIAMS CUSTOM COLOR (AUTONOMOUS) SW9557	 <b>T-01</b> EXTERIOR PORCELAIN TILE 20/30 SAND FLOAT FINISH PORCELANOSA AVENUE BEIGE	 <b>MT-05</b> EXTERIOR PORCELAIN TILE 20/30 SAND FLOAT FINISH PORCELANOSA AVENUE BEIGE	 <b>MT-06</b> METAL RAILING WHITE FINISH	
 <b>MT-07</b> METAL COPING DARK GRAY OR DARK BRONZE FINISH	 <b>MT-10</b> STOREFRONT DARK GRAY OR DARK BRONZE FINISH	 <b>VN-02</b> VINYL WINDOW DARK GRAY OR DARK BRONZE FINISH		

**EXHIBIT "A"**  
Page No. 17 of 27  
Case No. EAR-2026-350-AH-PHP-VHCA

**300 N LA BREA**  
100% AFFORDABLE HOUSING (PRIVATELY FUNDED)

300 N. LA BREA AVE  
LOS ANGELES, CA

300 NORTH LA BREA (LA) OWNER, LLC  
4700 WILSHIRE BLVD  
LOS ANGELES, CA 90010

ARCHITECT FIRM:

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REVISIONS:

JOB NUMBER:

251022

DATE:

01.22.2026

PZA SET

SHEET TITLE:

**EXTERIOR BUILDING ELEVATIONS**

**A200**



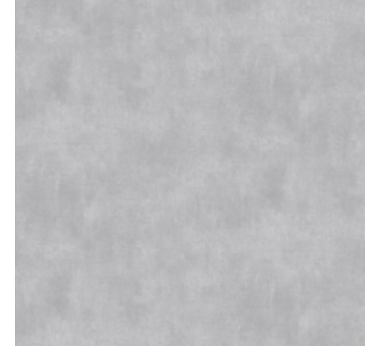

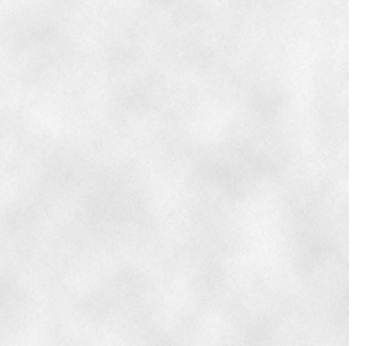
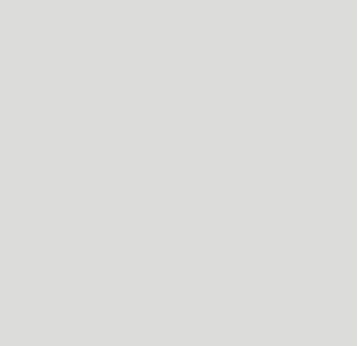
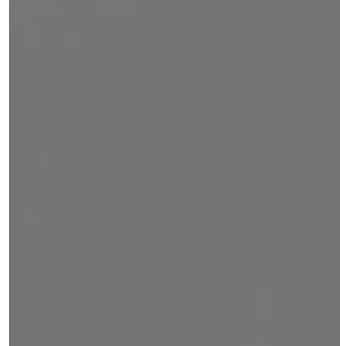


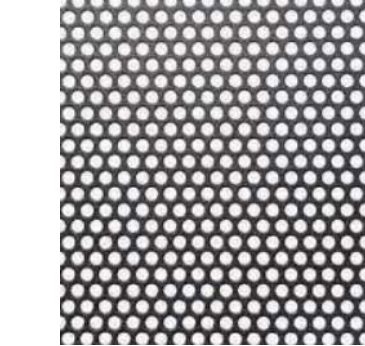




**KEYNOTES**

3.17	OVERHEAD HIGH SPEED VEHICULAR ROLL-UP GRILLE. SEE DETAIL 8/A902
3.22	METAL FENCE WITH PERFORATED SHEET METAL
7.10	FLUSH VINYL WINDOW. SEE SHEET A965
7.18	SIGNAGE UNDERS SEPARATE PERMIT

**ELEVATION NOTES**

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**EXHIBIT "A"**  
Page No. 18 of 27  
Case No. EAR-2026-350-AH-PHP-VHCA



H+ARCH  
HARCHINC.COM

**300 N LA BREA**  
100% AFFORDABLE HOUSING (PRIVATELY FUNDED)

300 N. LA BREA AVE  
LOS ANGELES, CA

300 NORTH LA BREA (LA) OWNER, LLC  
4700 WILSHIRE BLVD  
LOS ANGELES, CA 90010

ARCHITECT FIRM: H+ARCH  
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REVISIONS:

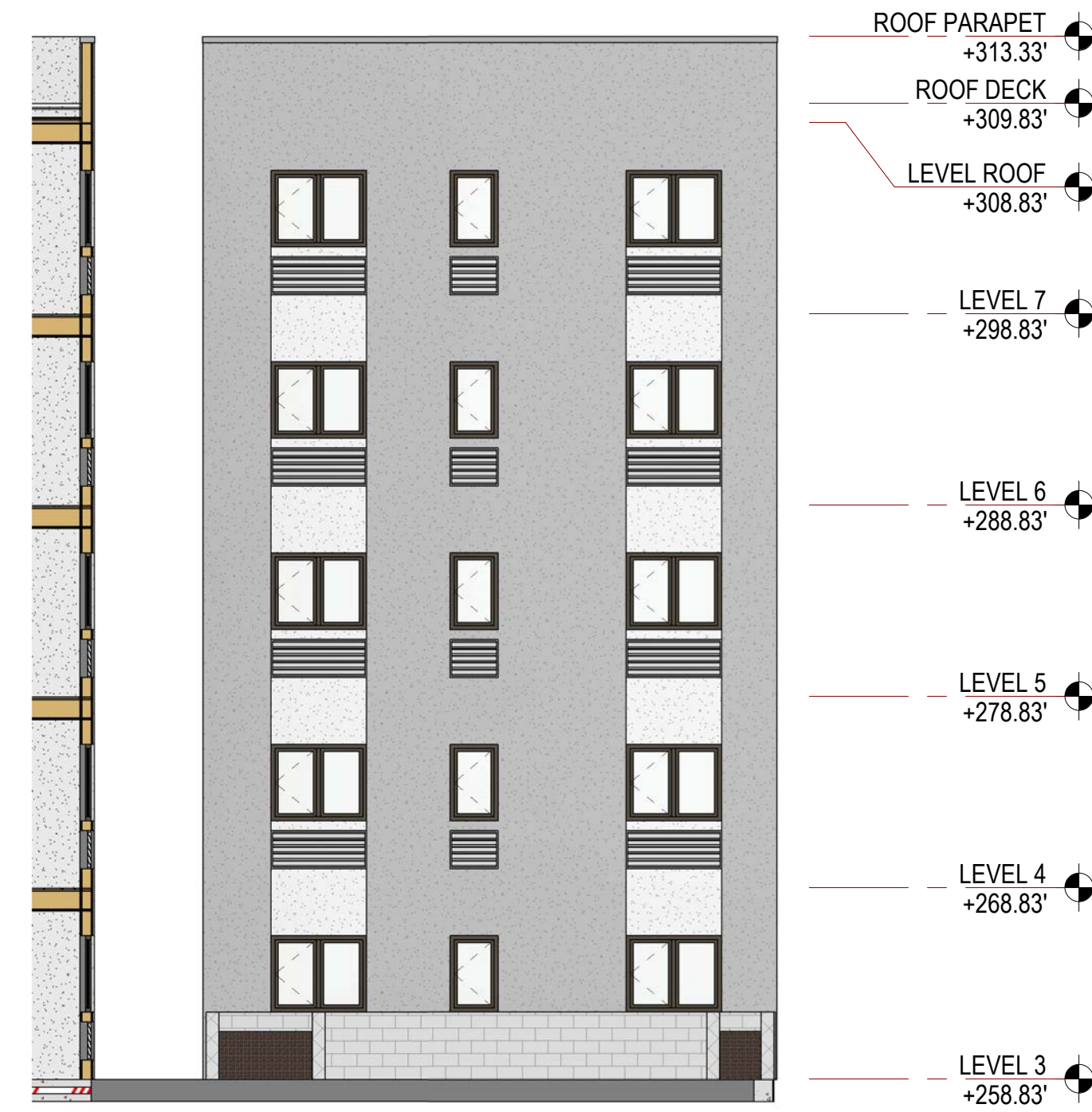
JOB NUMBER:  
251022

DATE:  
01.22.2026

PROJECT:  
PZA SET

SHEET TITLE:  
**EXTERIOR BUILDING  
ELEVATIONS**

**A201**



COURTYARD ELEVATION - C  
1/8" = 1'-0"

3



COURTYARD ELEVATION - B  
1/8" = 1'-0"

2



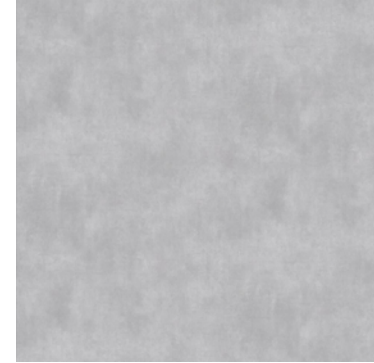

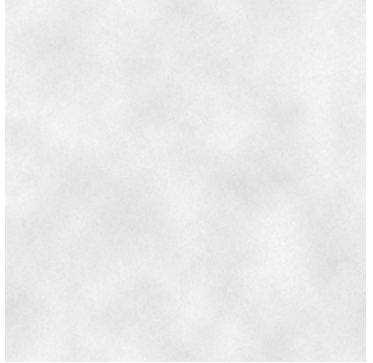
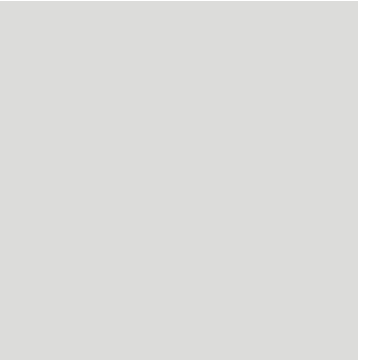



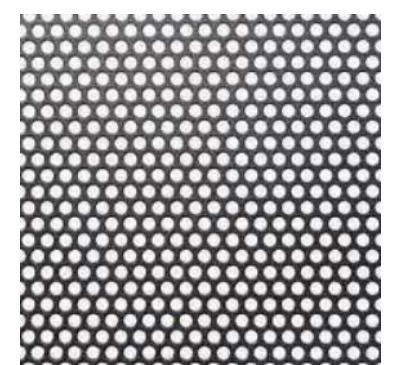




COURTYARD ELEVATION - A  
1/8" = 1'-0"

1

ELEVATION NOTES

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MATERIALS - EXTERIOR BUILDING

				
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**EXHIBIT "A"**  
Page No. 19 of 27  
Case No. EAR-2026-350-AH-PHP-VHCA

300 N LA BREA  
100% AFFORDABLE HOUSING (PRIVATELY FUNDED)

300 N. LA BREA AVE  
LOS ANGELES, CA

300 NORTH LA BREA (LA) OWNER, LLC  
4700 WILSHIRE BLVD  
LOS ANGELES, CA 90010

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REVISIONS:

JOB NUMBER:  
251022

DATE:  
01.22.2026

SCALE:

PZA SET

SHEET TITLE:  
COURTYARD ELEVATIONS

A250



H+ARCH  
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APPROVAL STAMP

**300 N LA BREA**  
100% AFFORDABLE HOUSING (PRIVATELY FUNDED)

300 N. LA BREA AVE  
LOS ANGELES, CA

300 NORTH LA BREA (LA) OWNER, LLC  
4700 WILSHIRE BLVD  
LOS ANGELES, CA 90010

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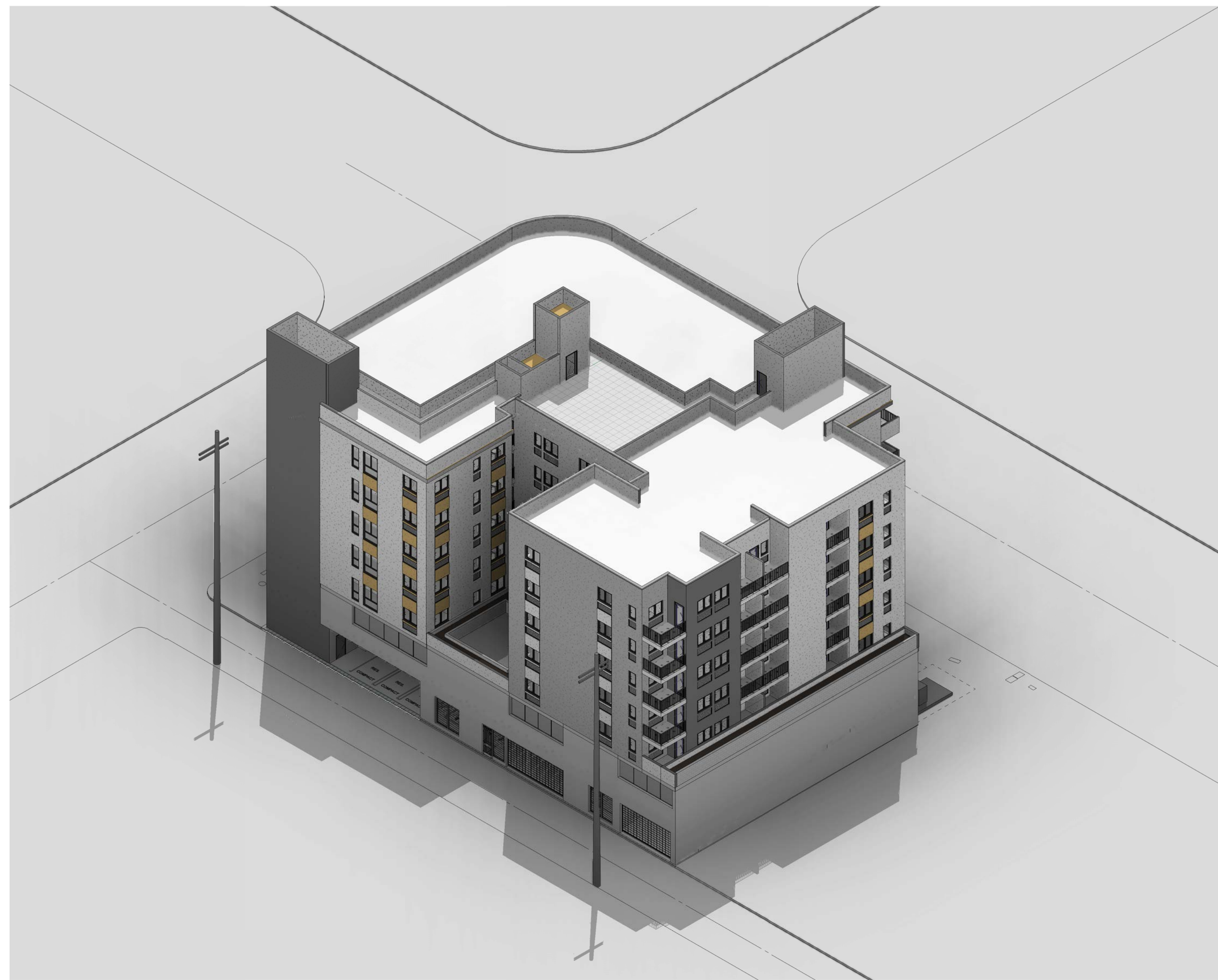
REVISIONS:

JOB NUMBER:  
251022

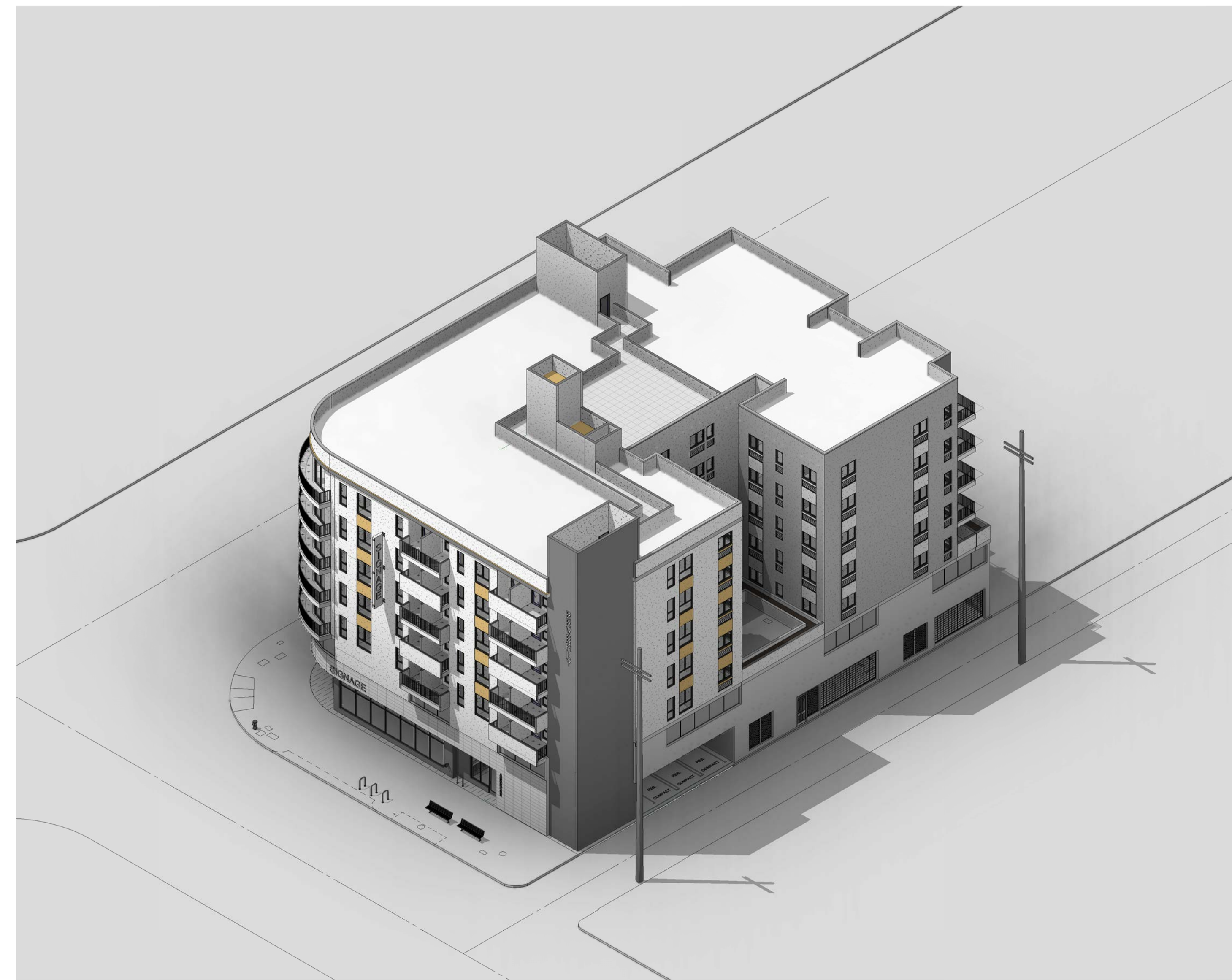
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01.22.2026

ISSUE:  
PZA SET

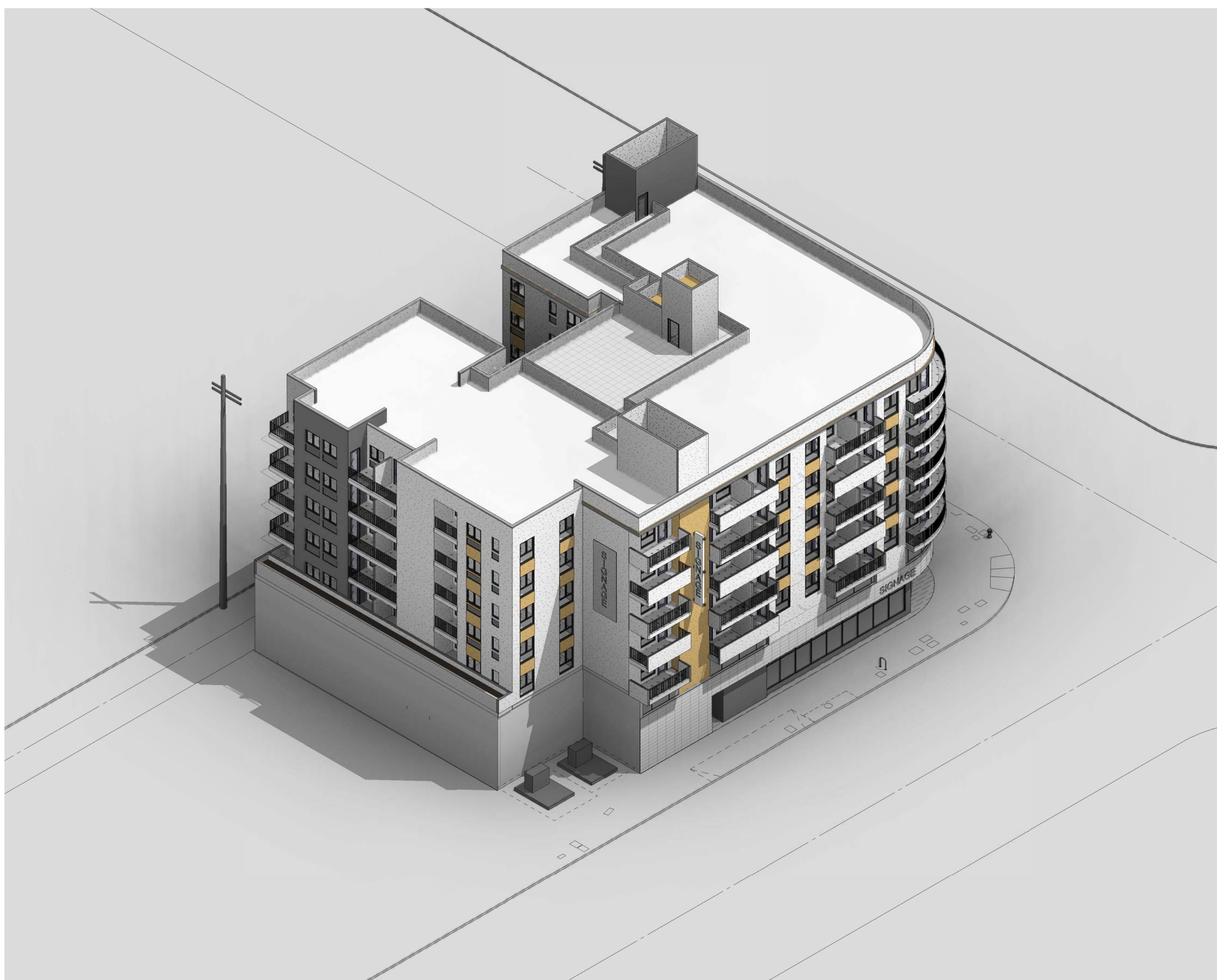
SHEET TITLE:  
AXON



AXON 3



AXON 2



AXON 4



AXON 1

**EXHIBIT "A"**  
Page No. 20 of 27  
Case No. EAR-2026-350-AH-PHP-VHCA



H+ARCH  
HARCHINC.COM

APPROVAL STAMP

# 300 N LA BREA

100% AFFORDABLE HOUSING (PRIVATELY FUNDED)

300 N. LA BREA AVE  
LOS ANGELES, CA

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LOS ANGELES, CA 90010

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REVISIONS

JOB NUMBER:  
251022

DATE:  
01.22.2026

SCALE:  
PZA SET

SHEET TITLE:

**BUILDING SECTIONS**

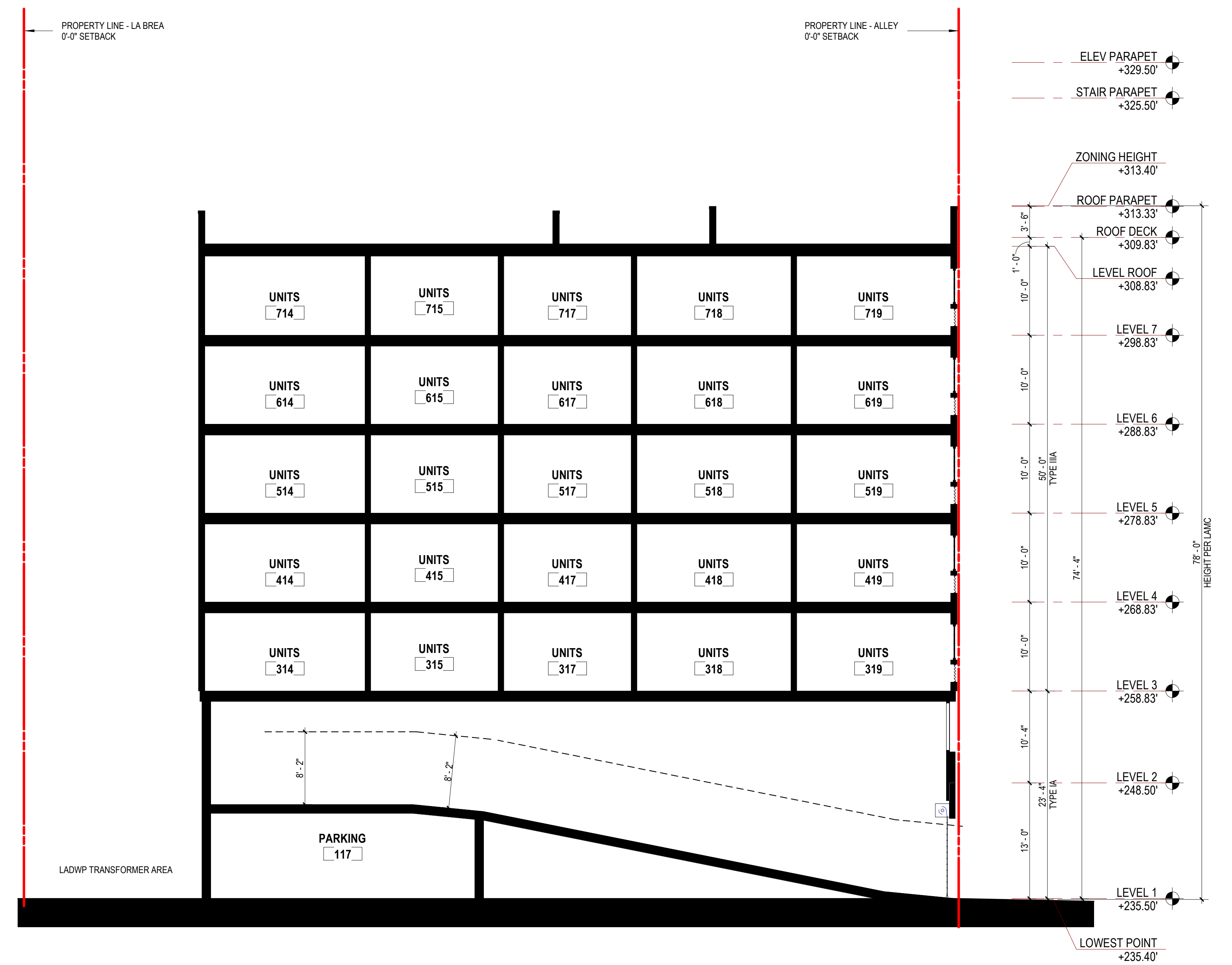
**A300**

## KEYNOTES

## SECTION NOTES

- REFER TO SHEET G550 & G100 FOR GRAPHIC SYMBOLS, ABBREVIATIONS, AND GENERAL NOTES
- REFER TO SHEETS " EXTERIOR ELEVATIONS", "INTERIOR ELEVATIONS", "REFLECTED CEILING PLANS", AND "INTERIOR FINISH SCHEDULES" FOR FINISHES.
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- BUILDING TO BE PROTECTED WITH SPRINKLER SYSTEM PER CURRENT NFPA STANDARDS. PROVIDE SPRINKLERS WITHIN ROOF, FLOOR, AND CEILING ASSEMBLIES.
- PROVIDE CONTINUOUS PERIMETER FOOTING DRAIN PER CIVIL & PLUMBING DRAWINGS.
- EXTERIOR WALL FRAMING IN TYPE IIIA PORTION TO BE FIRE RETARDANT TREATED.

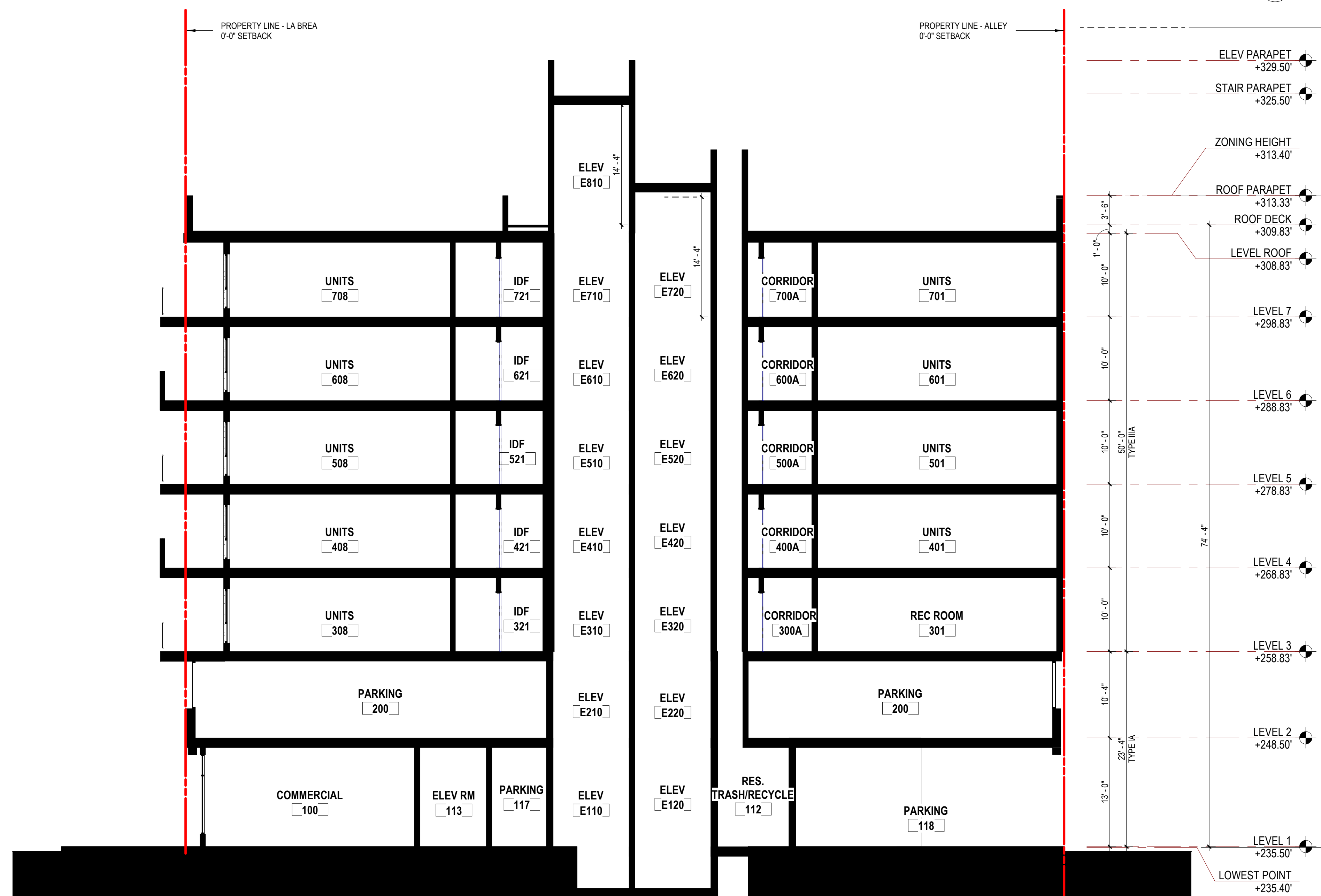
**EXHIBIT "A"**  
 Page No. 21 of 27  
 Case No. EAR-2026-350-AH-PHP-VHCA



BLDG SECTION - 2

1/8" = 1'-0"

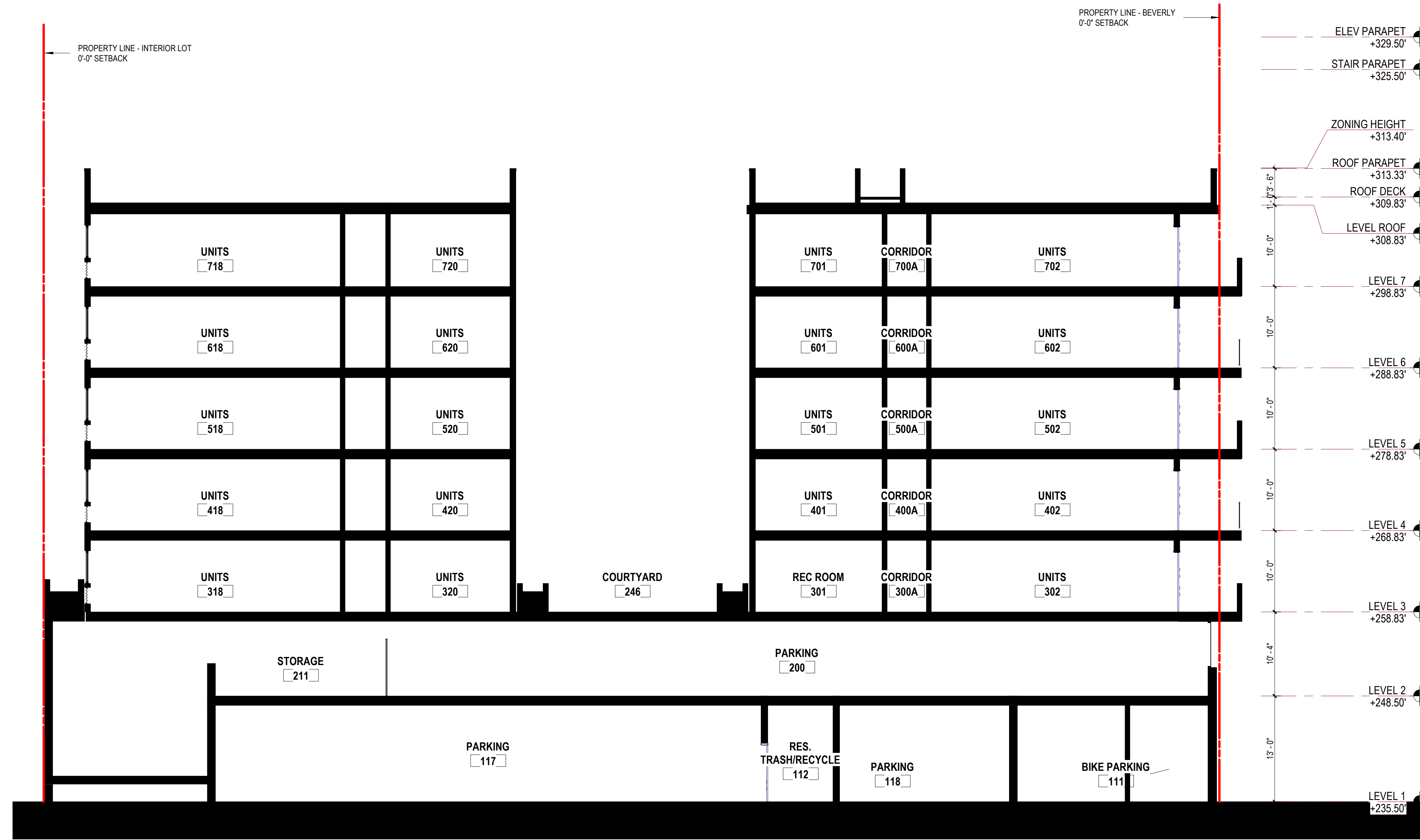
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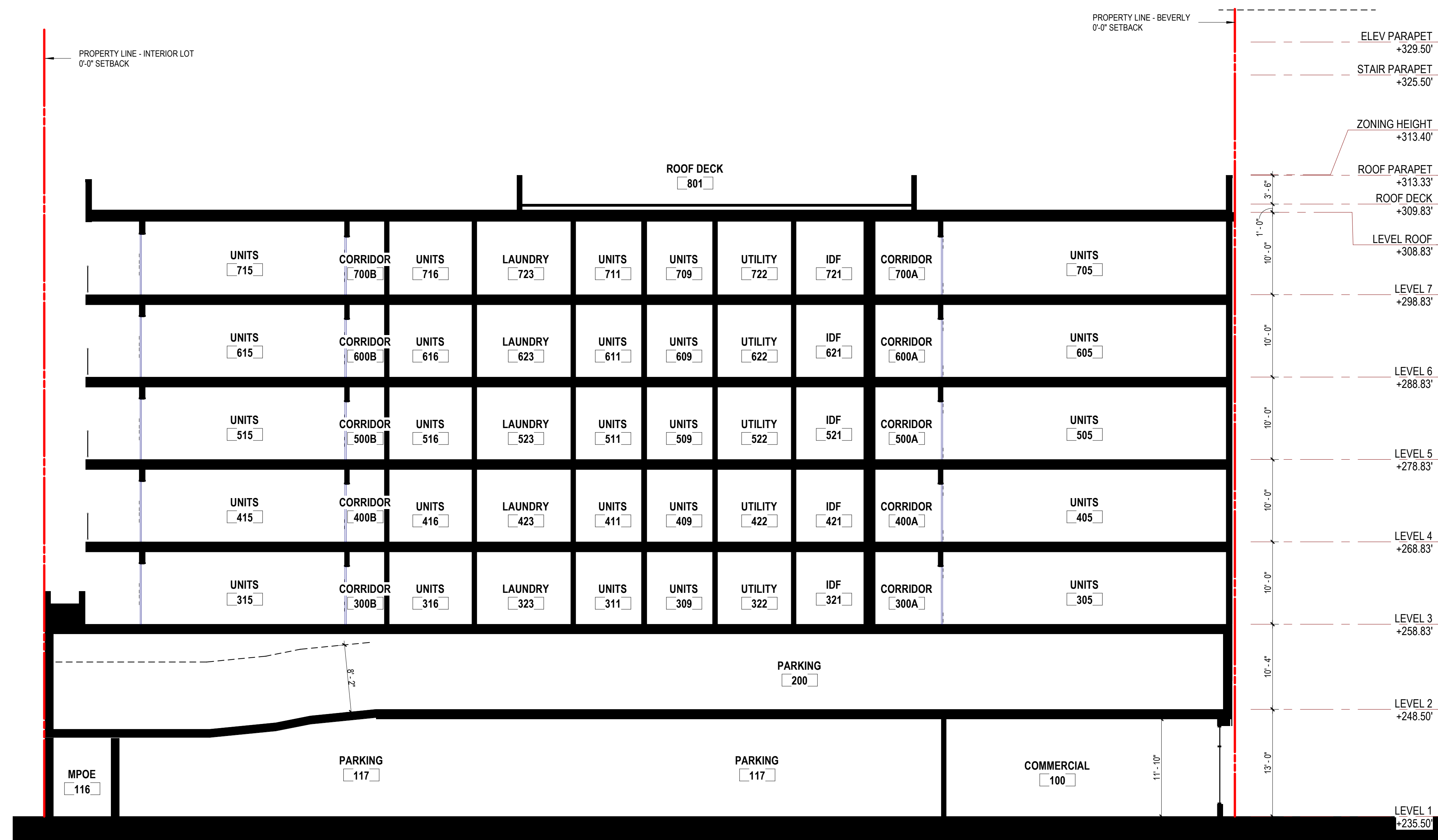
BLDG SECTION - 1

1/8" = 1'-0"

1



BLDG SECTION - B  
1/8" = 1'-0" 2



BLDG SECTION - A  
1/8" = 1'-0" 1

KEYNOTES



H+ARCH  
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APPROVAL STAMP

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SHEET NUMBER: 251022

DATE: 01.22.2026

PROJECT: PZA SET

SHEET TITLE: BUILDING SECTIONS

**EXHIBIT "A"**  
Page No. 22 of 27  
Case No. EAR-2026-350-AH-PHP-VHCA

A301



H+ARCH  
HARCHINC.COM



Landscape Architecture  
Site Planning Urban Design  
PO Box 704 Montrose CA 91021  
Tel 818 797 5914 Web www.tgpinc.net

APPROVAL STAMP

# 300 N LA BREA STATUS

CLIENT NAME

ARCHITECT SEAL

4700 WILSHIRE BLVD  
LOS ANGELES, CA 90010

REGISTERED

JOB NUMBER

DATE: 11.14.2025

TYPE: PZA SET

LANDSCAPE PLAN  
LVL - 01

L1

OUTDOOR COMMON OPEN SPACE	
TOTAL OUTDOOR COMMON OPEN SPACE PROVIDED	= 1023 S.F.
MINIMUM (25%) REQUIRED LANDSCAPE AREA	= 256 S.F.
LANDSCAPE AREA PROVIDED:	= 258 S.F.

### TREE REQUIREMENT:

TOTAL TREES REQUIRED = 0

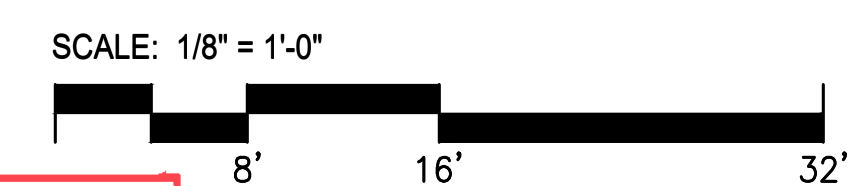
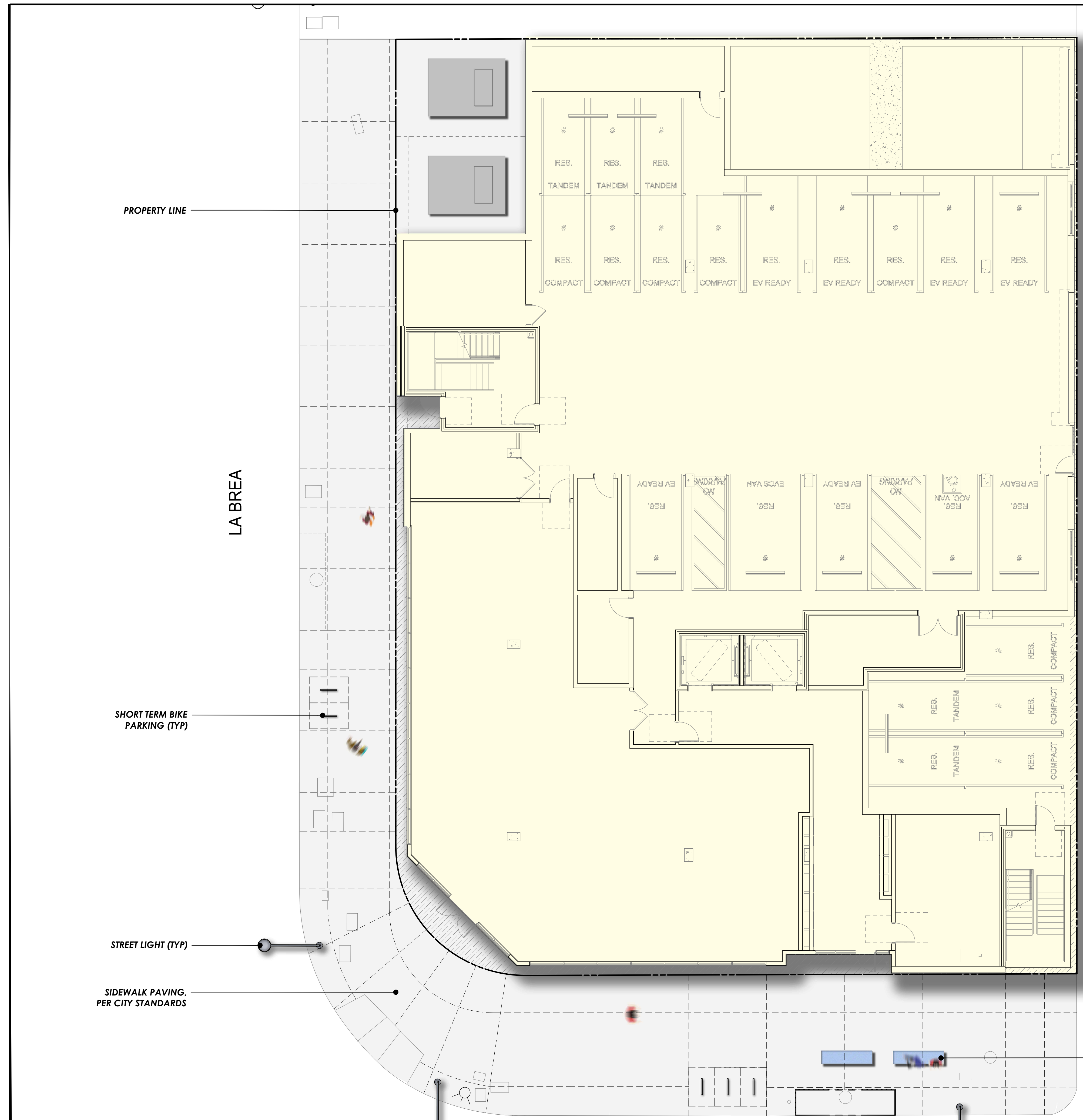
OFF-MENU INCENTIVE FOR A 100% TREE PLANTING REDUCTION, TO PERMIT 0 TREES, IN LIEU OF 25 TREES, AS OTHERWISE REQUIRED BY LAMC 12.21-G,2(A)(3)

### GENERAL NOTES:

1. ALL LANDSCAPE AREAS WILL BE IRRIGATED W/ A HIGH EFFICIENCY IRRIGATION W/ SMART IRRIGATION CONTROLS.
2. ALL PLANTING & IRRIGATION SHALL COMPLY WITH CITY OF LOS ANGELES REQUIREMENTS.
3. IRRIGATION DESIGN WILL INCORPORATE EPA WATERSENSE SPECIFICATIONS
4. STREET TREES SHALL BE SELECTED AND INSTALLED PER CITY OF LOS ANGELES DEPARTMENT OF URBAN FORESTRY.
5. ALL NEW PLANTED AREAS TO BE HEAVILY MULCHED FOR WATER CONSERVATION.
6. THERE ARE NO SIGNIFICANT TREES TO BE REMOVED ON THE SITE.
7. THERE ARE NO PROTECTED TREES ON THE SITE.

### WATER CONSERVATION STATEMENT:

ALL LANDSCAPE WILL BE SPECIFIED, PLANTED & IRRIGATED ACCORDING TO XERISCAPE DESIGN PRINCIPLES WHICH INCLUDE: THE PREDOMINANT USE OF DROUGHT TOLERANT PLANT MATERIALS; THE PRACTICE OF HYDROZONING OR GROUPING PLANTS WITH SIMILAR WATER REQUIREMENTS TOGETHER; MINIMIZING TURF AREAS AND THE EFFICIENT APPLICATION OF WATER BY USING MATCH PRECIPITATION HEADS, DRIP LINE, SEPARATE VALVES FOR TURF AND GROUND COVER AREAS AND RAIN SHUT OFF DEVICES. THIS PROJECT WILL COMPLY WITH THE STATE WATER CONSERVATION ORDINANCE EFFECTIVE JANUARY 1, 2010.



**EXHIBIT "A"**  
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P:\2025\2520 CIM 300 La Brea - Entitlement\Drawings\L1-LANDSCAPE PLAN - LVL - 01.dwg, 12/17/2025 10:59:02 AM, Caroline Najarian, \_DWG to PDF.p3



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Site Planning Urban Design  
PO Box 704 Monterey CA 91021  
Tel 818 797 5914 Web www.tgpinc.net

APPROVAL STAMP

300 N LA BREA  
STATUS

CLIENT NAME

ARCHITECT SEAL:

4700 WILSHIRE BLVD  
LOS ANGELES, CA 90010

REGISTERED:

JOB NUMBER:

DATE:  
11.14.2025

ISSUE:  
PZA SET

SHEET TITLE:  
LANDSCAPE PLAN  
LVL - 03

L2

### PLANT LEGEND

LEVEL 3

SYMBOL	BOTANICAL NAME "COMMON NAME"
	CALANDRINIA GRANDIFLORA "ROCK PURSLANE"
	CISTUS SPECIES "ROCKROSE"
	DIETES BICOLOR "FORTNIGHT LILY"
	HESPERALOE SPECIES "YUCCA"
	GREVILLEA NOELLI "NOEL'S GREVILLEA"
	LIMONIUM PEREZII "SEA LAVANDER"
	MUHLENBERGIA SPECIES "MUHLY"
	PROTEA COMPACTA "PRINCE PROTEA"
	ROSEMARY SPECIES "ROSEMARY"
	SALVIA SPECIES "SAGE"
	SEDUM SPECIES "STONE CROP"
	WESTRINGIA SPECIES "COAST ROSEMARY"



RAISED LID PLANTER

PASSIVE DECK WITH  
LOUNGE  
SEATING AND CAFE  
STYLE SEATING

CONCRETE PAVERS

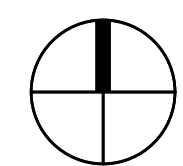
RAISED LID PLANTER

ALLEY

LA BREA

BEVERLY BLVD.

SCALE: 1/8" = 1'-0"



**EXHIBIT "A"**  
 Page No. 24 of 27  
 Case No. EAR-2026-350-AH-PHP-VHCA



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APPROVAL STAMP

300 N LA BREA  
STATUS

CLIENT NAME

ARCHITECT SEAL:

4700 WILSHIRE BLVD  
LOS ANGELES, CA 90010

REGISTERED:

JOB NUMBER:

DATE:

11.14.2025

TYPE:

PZA SET

SHEET TITLE:

LANDSCAPE PLAN

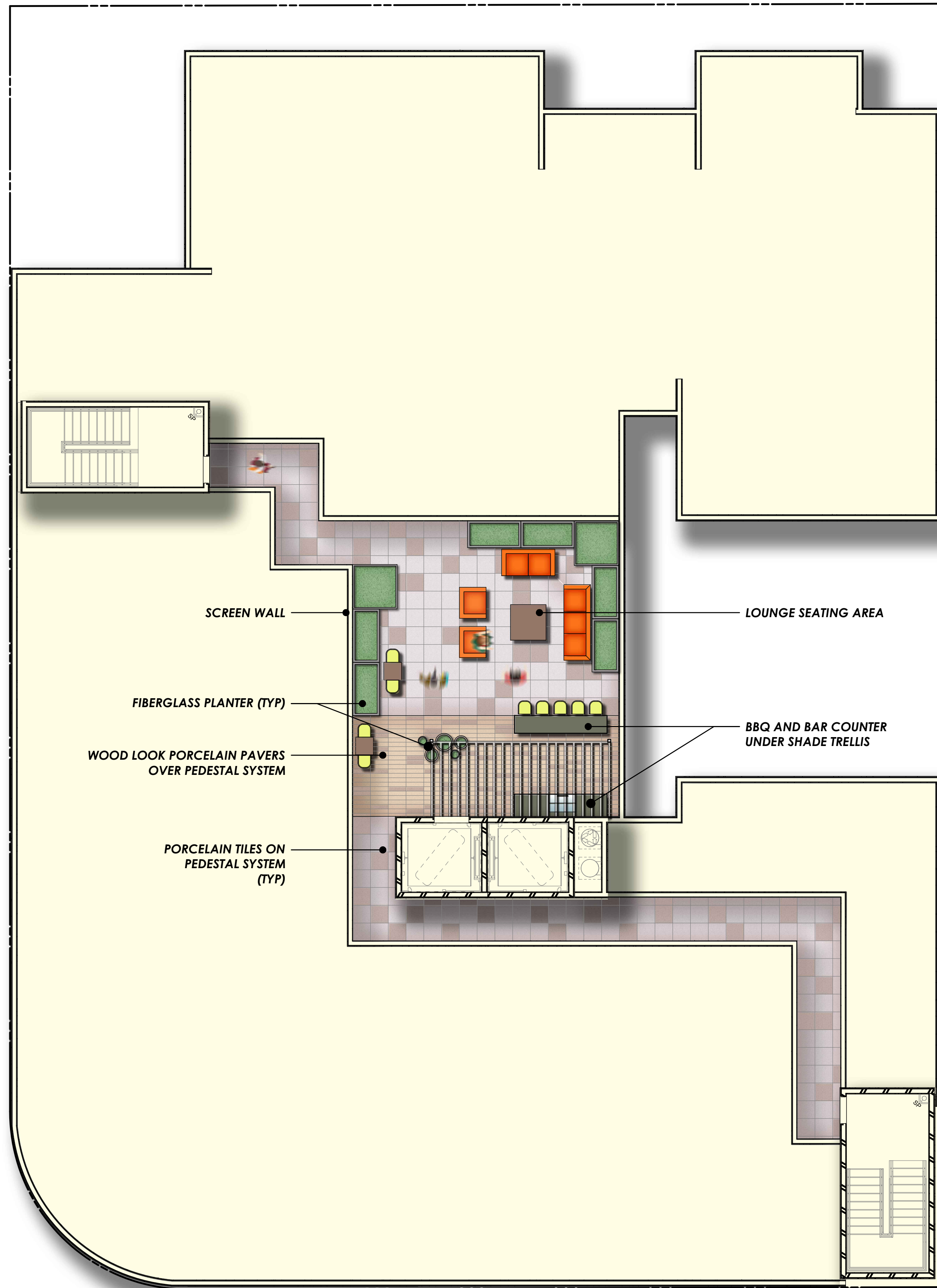
ROOF LVL

L3

### PLANT LEGEND

#### ROOF LEVEL

SYMBOL	BOTANICAL NAME "COMMON NAME"
	CALANDRINIA GRANDIFLORA "ROCK PURSLANE"
	CISTUS SPECIES "ROCKROSE"
	DIETES BICOLOR "FORTNIGHT LILY"
	HESPERALOE SPECIES "YUCCA"
	GREVILLEA NOELLI "NOEL'S GREVILLEA"
	LIMONIUM PEREZII "SEA LAVANDER"
	MUHLENBERGIA SPECIES "MUHLY"
	PROTEA COMPACTA "PRINCE PROTEA"
	ROSEMARY SPECIES "ROSEMARY"
	SALVIA SPECIES "SAGE"
	SEDUM SPECIES "STONE CROP"
	WESTRINGIA SPECIES "COAST ROSEMARY"

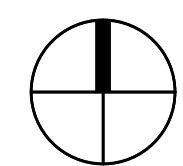


LA BREA

ALLEY

BEVERLY BLVD.

SCALE: 1/8" = 1'-0"



**EXHIBIT "A"**

Page No. 25 of 27

Case No. EAR-2026-350-AH-PHP-VHCA



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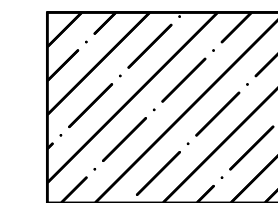
Landscape Architecture  
Site Planning Urban Design  
PO Box 704 Monterey CA 91021  
Tel 818 797 5914 Web www.tgpinc.net

**Water Efficient Landscape Worksheet**

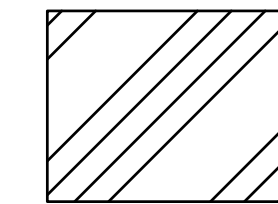
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Answer is shown in this color

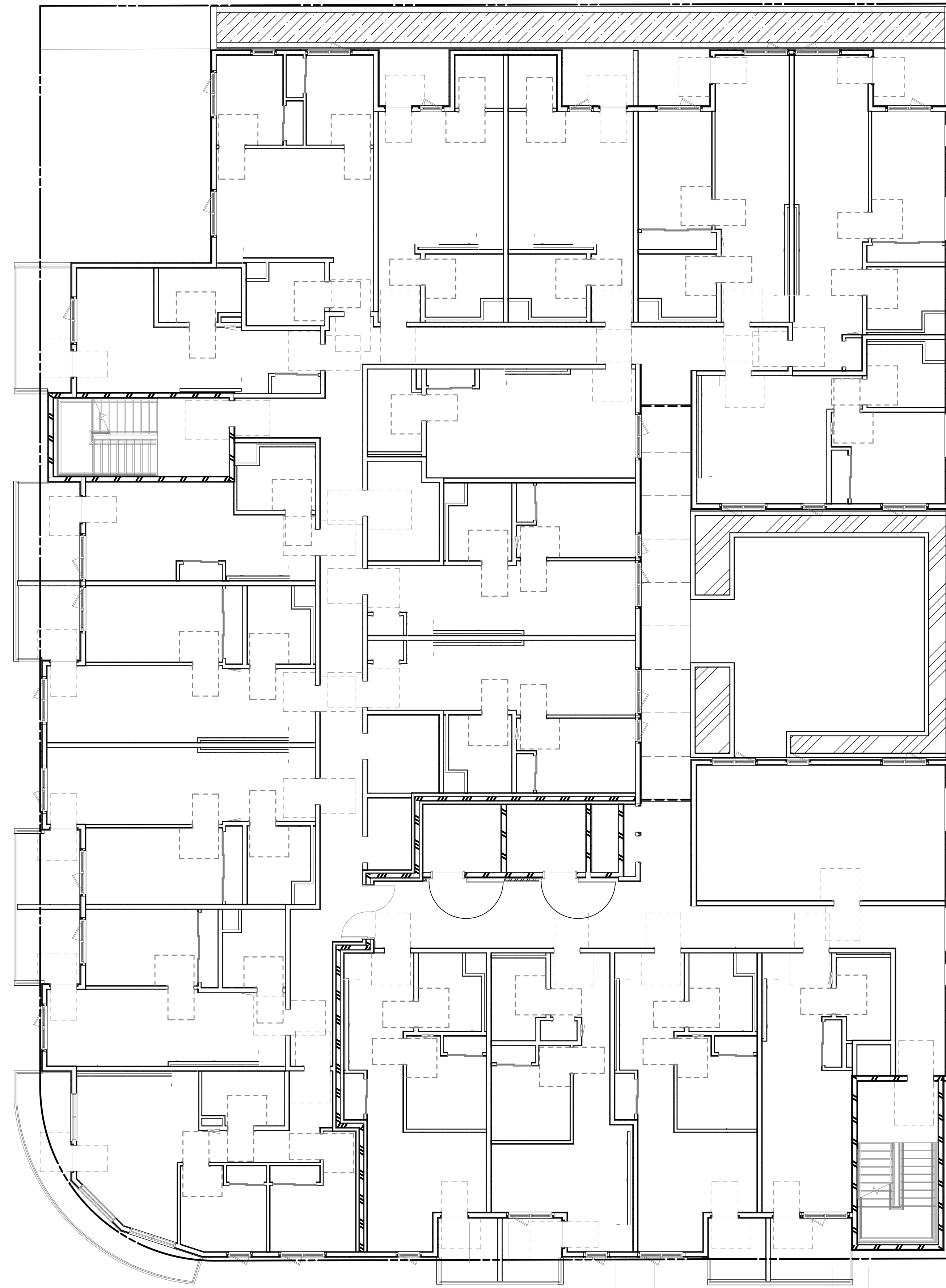
Reference Evapotranspiration (E <sub>t</sub> )	50.1 LOS ANGELES		ETWU requirement	MAWA requirement	ETWU requirement	Estimated Total Water Use (ETWU)	
	ETWU requirement	ETWU requirement					
Hydrozone/Planting Description (PF)	Plant Factor	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (LA) (sq. ft.)	ETAF x Area	
<b>Regular Landscape Areas</b>							
1) low water use plants	0.3	Drip	0.81	0.370	448	165.93	
2) medium water use plants	0.5	Drip	0.81	0.617	169	104.32	
3) High water use plants (Pool)	1	Overhead Spray	0.75	1.333	0	0.00	
gravel mulch	0				0	0	
				Totals	617	270.25	
<b>Special Landscape Areas (SLA): Recycled Water</b>							
1) gravel mulch					0	0	
				Totals	0	0	
						<b>Estimated Total Water Use (ETWU)</b>	<b>8,394</b>
						<b>Maximum Allowed Water Allowance (MAWA)</b>	<b>8,624</b>



LOW WATER USE



MEDIUM WATER USE

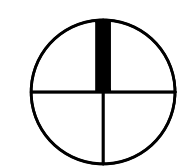


LA BREA

ALLEY

BEVERLY BLVD.

SCALE: 1/8" = 1'-0"



22/11/2025

**EXHIBIT "A"**

Page No. 26 of 27

Case No. EAR-2026-350-AH-PHP-VHCA

CLIENT NAME

ARCHITECT SEAL:

4700 WILSHIRE BLVD  
LOS ANGELES, CA 90010

ISSUES:

JOB NUMBER:

DATE: 11.14.2025

ISSUE: PZA SET

SHEET TITLE:

IRRIGATION PLAN  
LVL - 03

L4



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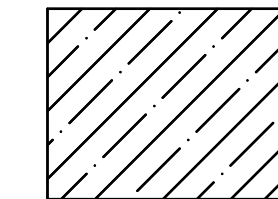
**Water Efficient Landscape Worksheet**

**Instructions:**

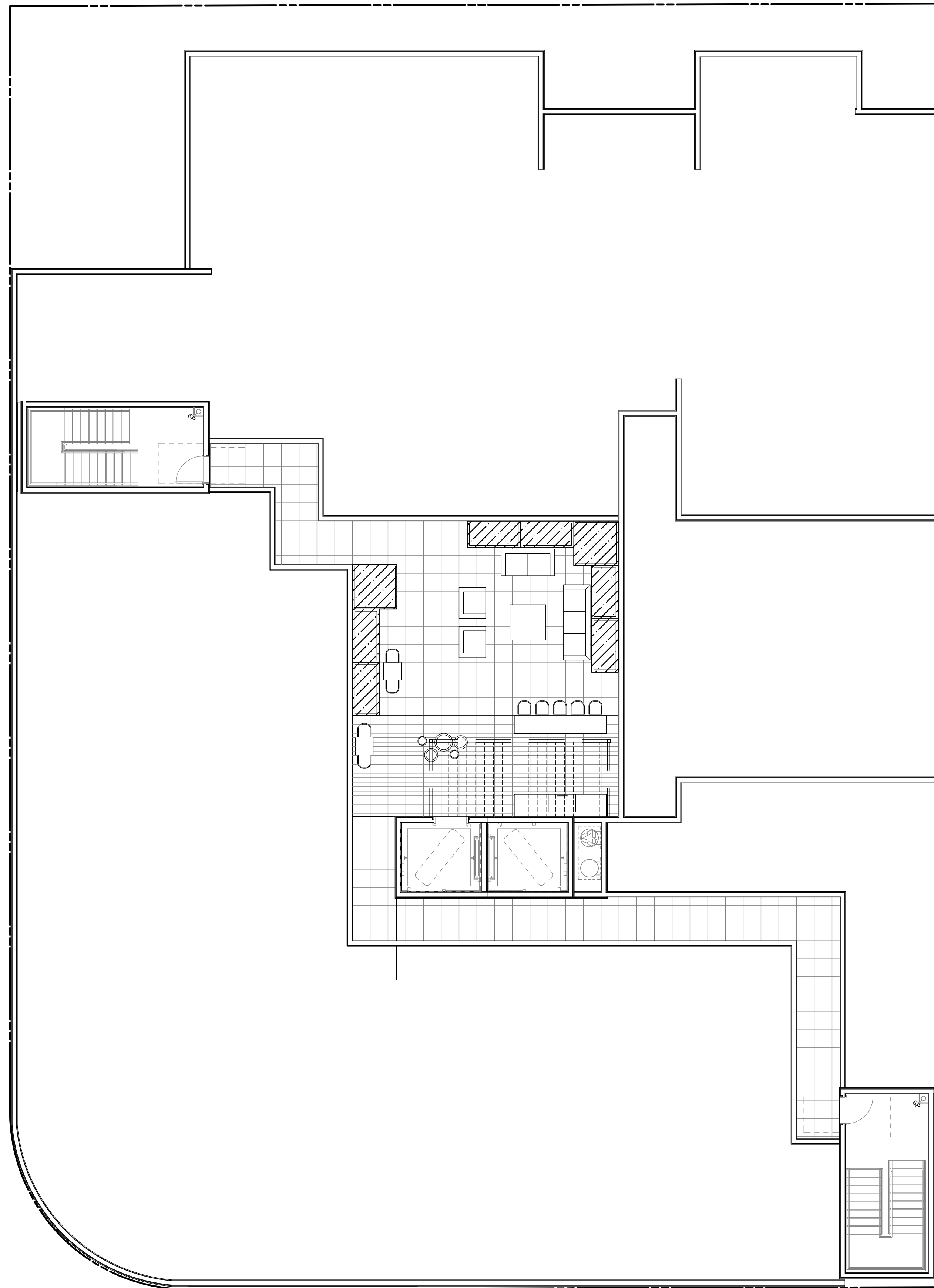
Fill in all items in this color

Answer is shown in this color

Reference Evapotranspiration (Eto)		50.1 LOS ANGELES		ETWU requirement		MAWA requirement		ETWU requirement	
Hydrozone/Planting Description (PF)	Plant Factor	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (LA) (sq. ft.)	ETAF x Area	ETWU requirement	ETWU requirement	Estimated Total Water Use (ETWU)
<b>Regular Landscape Areas</b>									
1) low water use plants	0.3	Drip	0.81	0.370	448	165.93			5,154
2) medium water use plants	0.5	Drip	0.81	0.617	169	104.32			3,240
3) High water use plants (Pool)	1	Overhead Spray	0.75	1.333	0	0.00			0
gravel mulch	0			1	0	0			0
				Totals	617	270.25			8,394
<b>Special Landscape Areas (SLA): Recycled Water</b>									
1) gravel mulch					0	0			0
				Totals	0	0			0
								Estimated Total Water Use (ETWU)	8,394
								Maximum Allowed Water Allowance (MAWA)	8,624



LOW WATER USE

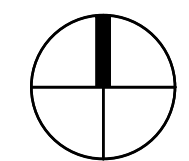


ALLEY

LA BREA

BEVERLY BLVD.

SCALE: 1/8" = 1'-0"



**EXHIBIT "A"**  
Page No. 27 of 27  
Case No. EAR-2026-350-AH-PHP-VHCA

CLIENT NAME

ARCHITECT SEAL:

4700 WILSHIRE BLVD  
LOS ANGELES, CA 90010

REGISTER:

JOB NUMBER:

DATE:

11.14.2025

ISSUE:

PZA SET

SHEET TITLE:

IRRIGATION PLAN

ROOF LVL

L5