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**DIRECTOR'S DETERMINATION  
TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM**

December 7, 2023

**Applicant**

George Apostol  
Fox Hills Development Group LLC  
1000 North Sepulveda Boulevard,  
Unit 180  
Manhattan Beach, CA 90266

**Owner**

1814 Fox Hills Drive LLC  
124 14<sup>th</sup> Street  
Manhattan Beach, CA 90266

**Representative**

Susan Steinberg  
Howard Robinson and Associates  
660 South Figueroa Street, Unit 1780  
Los Angeles, CA 90017

**Case No.** DIR-2023-208-TOC-HCA

**Related Case:** N/A

**CEQA:** ENV-2023-209-CE

**Location:** 10285 West Missouri Avenue,  
1814-1820 South Fox Hills Drive

**Council District:** 5 - Yaroslavsky

**Community Plan Area:** West Los Angeles

**Specific Plan:** West Los Angeles

Transportation Improvement and  
Mitigation

**Land Use Designation:** Medium Residential

**Zone:** R3-1-O

**Legal Description:** Lot 4, Block 34, Tract 7260

**Last Day to File an Appeal:** December 21, 2023

**DETERMINATION - Transit Oriented Communities Affordable Housing Incentive Program**

Pursuant to the Los Angeles Municipal Code ("LAMC") Section 12.22 A.31, I have reviewed the proposed project and as the designee of the Director of Planning, I hereby:

**DETERMINE**, based on the whole of the administrative record, that the Project is exempt from the California Environmental Quality Act ("CEQA") pursuant to CEQA Guidelines, Article 19, Section 15332 (Class 32), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

**APPROVE** the following project consistent with the provisions of the Transit Oriented Communities (TOC) Affordable Housing Incentive Program Tier 3, to permit a project consisting of 20 residential units by reserving 2 dwelling units, equal to 10% of the total units, for Extremely Low Income Household Occupancy for a period of 55 years, with Base Incentives permitted pursuant to LAMC 12.22 A.31, in addition to the following Additional Incentives:

1. Height. An up to 22-foot increase in the height requirement, allowing up to 67 feet in height in lieu of the permitted 45 feet per the R3-1-O Zone.
2. Yards. An up to 30% reduction in the required side yard setback, for minimum side yards of 6 feet 3  $\frac{5}{8}$  inches in lieu of 9 feet.

The project approval is based upon the attached Findings, and subject to the attached Conditions of Approval:

## CONDITIONS OF APPROVAL

1. **Site Development.** The project shall be in substantial conformance with the plans and materials submitted by the Applicant, including the proposed building design elements and materials, stamped Exhibit "A," with a date of July 31, 2023, attached to the subject case file. No change to the plans shall be made without prior review by the Department of City Planning, Project Planning Bureau, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the LAMC or the project conditions.
2. **Residential Density.** The project shall be limited to a maximum density of 20 multi-family residential dwelling units, including On-Site Restricted Affordable Units
3. **On-Site Restricted Affordable Units.** The project shall provide a minimum of two (2) On-Site Restricted Affordable units, consisting of two (2) units for Extremely Low Income Households, as defined in the California Health and Safety Code to the satisfaction of the Los Angeles Housing Department (LAHD). In the event the SB 8 Replacement Unit condition requires additional affordable units or more restrictive affordability levels, the most restrictive requirements shall prevail.
4. **Changes in On-Site Restricted Units.** Deviations that increase the number of restricted affordable units or that change the composition of units or change parking numbers shall be consistent with LAMC Section 12.22 A.31 or 12.22 A.25.
5. **Housing Requirements.** Prior to issuance of a building permit, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing Department (LAHD) to make two (2) units available to Extremely Low Income Households or equal to 10% percent of the project's total proposed residential density allowed, for sale or rental as determined to be affordable to such households by LAHD for a period of 55 years. In the event the applicant reduces the proposed density of the project, the number of required reserved on-site Restricted Units may be adjusted, consistent with LAMC Section 12.22 A.31, to the satisfaction of LAHD, and in consideration of the project's Replacement Unit Determination. Enforcement of the terms of said covenant shall be the responsibility of LAHD. The applicant shall submit a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the Guidelines for the Affordable Housing Incentives Program adopted by the City Planning Commission and with any monitoring requirements established by the LAHD.
6. **Floor Area.** The project total Floor Area shall be limited to 27,185 square feet and a 4.5:1 FAR.
7. **Height.** The project shall be limited to a maximum height of 56 feet (72 feet 4 inches measured to the elevator roof).
8. **Setbacks.** The project shall have minimum 6 foot 3 5/8 inch side yard setbacks.
9. **Parking Per AB 2097.** Pursuant to California Government Code Section 65915(p)(3) and AB 2097, the project shall be allowed to provide a minimum of zero parking spaces. 15 parking spaces are provided.

10. **Bicycle Parking.** Bicycle parking shall be provided consistent with LAMC Section 12.21 A.16.
11. **SB 8 Replacement Units.** The project shall be required to comply with the Replacement Unit Determination (RUD) letter, dated January 18, 2023, to the satisfaction of LAHD. The most restrictive affordability levels shall be followed in the covenant. In the event the On-site Restricted Affordable Units condition requires additional affordable units or more restrictive affordability levels, the most restrictive requirements shall prevail.
12. **Landscape Plan.** The landscape plan shall indicate landscape points for the project equivalent to **10% more than otherwise required** by LAMC 12.40 and Landscape Ordinance Guidelines "O". All open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be attractively landscaped, including an automatic irrigation system, and maintained in accordance with a landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning.
13. **Street Trees.** Street trees shall be provided to the satisfaction of the Urban Forestry Division. Street trees may be used to satisfy on-site tree requirements pursuant to LAMC Section 12.21 G (Chapter 1, Open Space Requirement for Six or More Residential Units).
14. **Required Trees per 12.21 G.2.** As conditioned herein, a final submitted landscape plan shall be reviewed to be in substantial conformance with Exhibit "A". There shall be a minimum of five (5) 24-inch box, or larger, trees onsite pursuant to LAMC Section 12.21 G.2. Any required trees pursuant to LAMC Section 12.21 G.2 shown in the public right-of-way in Exhibit "A" shall be preliminarily reviewed and approved by the Urban Forestry Division prior to building permit issuance. In-lieu fees pursuant to LAMC Section 62.177 shall be paid if placement of required trees in the public right-of-way is proven to be infeasible due to City-determined physical constraints.

### **Administrative Conditions**

15. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building and Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall be stamped by Department of City Planning staff "Plans Approved". A copy of the Plans Approved, supplied by the applicant, shall be retained in the subject case file.
16. **Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet and shall include any modifications or notations required herein.
17. **Approval, Verification and Submittals.** Copies of any approvals guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
18. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.

19. **Department of Building and Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
20. **Recording Covenant.** Prior to the issuance of any permits relative to this matter, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard master covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Development Services Center for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Development Services Center at the time of Condition Clearance for attachment to the subject case file.
21. **Indemnification and Reimbursement of Litigation Costs.** Applicant shall do all of the following:
- (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
  - (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
  - (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
  - (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
  - (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

“City” shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

“Action” shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

## PROJECT BACKGROUND

### Subject Property

The project site is located in the West Los Angeles Community Plan at the corner of Missouri Avenue and Fox Hills Drive. The site is comprised of one (1) regular-shaped lot that is approximately 8,471 square feet in lot area (9,123 square feet including the half-alley) or approximately 0.2 acres in the R3-1-O Zone. The site has a street frontage of approximately 65 feet along the northeast side of Missouri Avenue, 130 feet along the east side of Fox Hills Drive, with a 20-foot-wide alley to the north. The project site is located within 0.04 kilometers (0.02 miles) from the Santa Monica Fault, and is within the Alquist-Priolo Fault Zone, BOE Special Grading Area, and methane zone, however it is not located within a designated hillside area, liquefaction zone, very high fire hazard severity zone, flood zone, landslide, or tsunami inundation zone.

The project site is currently improved with one (1) two-story multi-family residential building totaling six (6) dwelling units, which will be demolished for the project. A Tree Report, prepared by Harmony Gardens, Inc., dated February 17, 2023, indicated that there are no protected tree or shrub species on the property or off-site. There are 13 existing non-protected trees on the subject site which will be removed. There are no (0) existing protected or non-protected trees along the public right-of-way. There are no known designated historic resources or cultural monuments on the subject site.

Missouri Avenue is designated Local Street - Standard. The Mobility Plan 2035 designates a right-of-way width of 60 feet and a designated roadway width of 36 feet, and the street is dedicated to an approximately 60-foot right-of-way and improved to an approximately 30-foot roadway, with sidewalk, curb, and gutter.

Fox Hills Drive is designated Local Street - Standard. The Mobility Plan 2035 designates a right-of-way width of 60 feet and a designated roadway width of 36 feet, and the street is dedicated to an approximately 60-foot right-of-way and improved to an approximately 35-foot roadway, with sidewalk, curb, and gutter.

Alley, to the north, is 20 feet in width.

### Zoning and Land Use Designation

The West Los Angeles Community Plan Map designates the site for Medium Residential land use with corresponding zones of R3. The site is zoned R3-1-O which is consistent with the land use designation. The R3-1-O Zone and designation allow for a base density of one dwelling unit per 800 square feet of lot area. Community Plan Map Footnote No. 1 restricts the site to Height District 1, and the site is subject to Height District No. 1 in the R3-1-O Zone which allows for a maximum building height of 45 feet. The site is located within the West Los Angeles Transportation Improvement and Mitigation Specific Plan ("WLA TIMP"). Projects within a Preliminary Fault Study Rupture Area and/or the Alquist-Priolo Earthquake Fault Zone are required to comply with the fault investigation requirements of the Alquist-Priolo Earthquake Fault Zoning Act (ZI File No. 2441). The project is subject to Department of Transportation clearance of the WLA TIMP prior to the issuance of building permits. The property is also located in the Transit Oriented Communities ("TOC") Tier 3 Affordable Housing Incentive Area, and the applicant has requested a TOC Compliance Review using Tier 3 TOC Incentives.

### Surrounding Uses

The site is within one-half mile of the Century City / Constellation Station of the Los Angeles County Metropolitan Transportation Authority (“Metro”) Purple (“D”) line. The surrounding area is developed with a combination of single-family residential, multi-family residential, and commercial uses. The abutting property to the east is improved with a 3-story apartment building. Properties to the west across Fox Hills Drive are zoned R3-1-O and improved with single-family residential. Properties to the east across Century Park are zoned C2-1VL-O and improved with the Westfield Century City shopping center. Properties to the north across the alley are zoned C2-1VL-O and improved with a 10-story commercial office building. Properties to the south are zoned R2-1-O and are improved with two-story multi-family residential buildings. Properties further south are zoned R1-1-O and are improved with single-family residential.

### Project Description

The project proposes the construction of a six-story 56-foot-tall (72 foot 4 inches tall as measured to the elevator roof) residential apartment building comprised of 20 residential dwelling units (including two (2) units for Extremely Low Income Households). The project will have a proposed Floor Area Ratio (“FAR”) of approximately 4.5:1 with approximately 27,185 square feet of floor area. The project proposes 15 parking spaces with vehicular access from the alley, as provided in Exhibit “A”. The project will also provide bicycle parking in accordance with LAMC Section 12.21 A.16. The project will demolish six (6) dwelling units and remove 13 non-protected on-site trees; no (0) protected trees or street trees will be removed. The project will require a haul route for the export of approximately 3,900 cubic yards of soil.

### **TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM BACKGROUND**

The project qualifies for the Transit Oriented Communities (“TOC”) Affordable Housing Incentive Program, which allows a variety of incentives for increased density, height, and floor area, among others, for Eligible Housing Projects. Measure JJJ was adopted by the Los Angeles City Council and established the TOC Affordable Housing Incentive Program. The measure required that the Department adopt a set of TOC Guidelines, which establishes incentives for residential and mixed-use projects located within ½ mile of a major transit stop, as defined under existing State law.

The TOC Guidelines, adopted on September 22, 2017, and amended on February 26, 2018, established a tier-based system with varying development bonuses and incentives based on a project’s distance from different types of transit. The largest bonuses are reserved for those areas in the closest proximity to significant rail stops or the intersection of major bus rapid transit lines. Required affordability levels are increased incrementally in each higher tier. The incentives provided in the TOC Guidelines describe the range of bonuses from particular zoning standards that applicants may select.

The site is within one-half mile of the Century City / Constellation Station of the Los Angeles County Metropolitan Transportation Authority (“Metro”) Purple (“D”) line, which constitutes as a Major Transit Stop. As such, the site qualifies as a Tier 3 TOC Affordable Housing Incentive Area, as indicated on the TOC Referral Form dated December 12, 2022.

Tier 3 Base Incentives require On-Site Restricted Affordable Units at the rate of 10 percent for Extremely Low Income, 14 percent for Very Low Income, or 23 percent for Lower Income, of the total number of units. Two Additional Incentives may be granted for projects that include at least 7 percent of the base units for Extremely Low Income Households. The applicant is proposing two (2) Extremely Low Income units, consistent with Base Incentive requirements, and which



make the project eligible for 2 Additional Incentives.

The project is eligible for the following Tier 3 Base Incentives, which are granted by-right for eligible TOC projects:

- a. **Density.** Increase the maximum allowable number of dwelling units permitted by up to 70 percent.

The site is zoned R3-1-O which allows for a maximum residential density of one dwelling per 800 square feet of lot area. The lot is approximately 8,471 square feet (9,123 square feet including the half-alley), for a maximum base density of 12 units. The TOC Guidelines round base density up to the next whole number. The maximum allowed density for the subject site under the Tier 3 Additional Incentive for density is 21 units. The project is proposing 20 units, which is consistent with the allowable density under the TOC Guidelines.

- b. **Floor Area Ratio.** A maximum percentage increase of 50 percent, or an FAR increase resulting in at least 3.75:1 FAR in commercial zones, whichever is greater.

The R3 Zone in Height District No. 1 allows a maximum FAR of 3:1. The buildable area for the subject site is approximately 6,041 square feet for a by-right floor area of approximately 18,123 square feet. The Additional Incentive for FAR allows for a maximum FAR percentage increase up to 50 percent, for a maximum 4.5:1 FAR or floor area of approximately 27,185 square feet. The project is proposing 27,185 square feet and approximately 4.5:1 FAR, which is consistent with the allowable FAR under the TOC Guidelines.

- c. **Parking.** Parking for all residential units in an Eligible Housing Development for a Tier 3 project shall not be required to exceed one-half space per unit.

The project proposes 20 dwelling units, and is therefore required to provide a minimum of 10 parking spaces. However, pursuant to California Government Code Section 65915(p)(3) and AB 2097, the project shall be allowed to provide a minimum of zero parking spaces. The project proposes 15 residential parking spaces, which meets the residential parking requirement under the TOC Guidelines.

Pursuant to the TOC Guidelines, the project is eligible for, and has been granted two (2) Tier 3 Additional Incentives to construct the proposed project:

- a. **Height.** A 22-foot and two-story increase in the building height, except that projects located on lots with a height limit of 45 feet or less, or located within a Specific Plan or overlay district that regulates height, shall require any height increases over 11 feet to be stepped-back at least 15 feet from the exterior face of the Ground Floor of the building located along any street frontage.

The R3 Zone and Height District No. 1 allows a maximum building height of 45 feet and unlimited stories. The applicant has requested an Additional Incentive to allow an 11-foot increase in building height, for the proposed 56 feet (72 feet 4 inches measured to the elevator roof). The Additional Incentive allows up to 22 feet, which would allow a 67-foot-tall building in lieu of the 45 feet otherwise allowed by the R3-1-O Zone. Therefore, the proposed 56-foot building height is consistent with the allowable height under the TOC Guidelines.

- b. **Yard/Setback.** A maximum 30 percent decrease in the required width or depth of two individual yards or setbacks for a Tier 3 project, except that yard reductions may not be applied along any property line that abuts an R1 or more restrictive residential zoned property.

The R3-1-O Zone requires side setbacks of at least 5 feet; for a building more than two stories in height, one foot shall be added for each additional story above the second story. The proposed project is 6 stories and is therefore required to provide 9-foot side setbacks. The applicant has requested a 30 percent decrease to provide 6 feet 3 5/8 inches in lieu of the otherwise required 9-foot side setbacks, which is consistent with the TOC Guidelines.

Incentives	Otherwise Allowed/Required	TOC Guidelines	Proposed
Density	12 units	21 units	20 units
FAR	3:1	4.5:1	4.5:1
Parking Spaces	10	10	15
Height	45 feet	67 feet	56 feet
Side Yard/Setback	9 feet	6 feet 3 5/8 inches	6 feet 3 5/8 inches

**HOUSING REPLACEMENT BACKGROUND**

Pursuant to LAMC Section 12.22-A,31(b)(1), a Housing Development located within a Transit Oriented Communities (TOC) Affordable Housing Incentive Area shall be eligible for TOC Incentives if it meets any applicable replacement requirements of California Government Code Section 65915(c)(3) (California State Density Bonus Law).

Assembly Bill 2222 (AB 2222) amended the State Density Bonus Law to require applicants of density bonus projects filed as of January 1, 2015 to demonstrate compliance with the housing replacement provisions which require replacement of rental dwelling units that either exist at the time of application of a Density Bonus project, or have been vacated or demolished in the five year period preceding the application of the project. This applies to all pre-existing units that have been subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower or very low income; subject to any other form of rent or price control; or occupied by Low or Very Low Income Households.

On September 28, 2016, Governor Brown signed Assembly Bill 2556 (AB 2556) which further amended the State Density Bonus Law. The amendments took effect on January 1, 2017. AB 2556 clarifies the implementation of the required replacement of affordable units in Density Bonus projects, first introduced by AB 2222. AB 2556 further defines "equivalent size" to mean that as a whole, the new units must contain at least the same total number of bedrooms as the units being replaced.

In addition to the requirements of California State Density Bonus Law, on October 9, 2019, the Governor signed into law the Housing Crisis Act of 2019 (SB 330), SB 330 creates new state laws regarding the production, preservation and planning or housing, and establishes a statewide housing emergency until January 1, 2025. During the duration of the statewide housing emergency, SB 330, among other things, creates new housing replacement requirements for Housing Development Projects by prohibiting the approval of any proposed housing development project on a site that will require the demolition of existing residential dwelling units or occupied

or vacant “Protected Units” unless the proposed housing development project replaces those units. The Los Angeles Housing Department (“LAHD”) has determined, per the Housing Crisis Act of 2019 (SB 8) Replacement Unit Determination, dated January 18, 2023, that all of the units were vacant for the entire five-year lookback period, therefore no (0) SB 8 affordable replacement units are required.

## **TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM ELIGIBILITY REQUIREMENTS**

To be an eligible TOC Housing Development, a project must meet the Eligibility criteria set forth in Section IV of the TOC Guidelines. A Housing Development located within a TOC Affordable Housing Incentive Area shall be eligible for TOC Incentives if it meets all of the following requirements, which it does:

1. ***On-Site Restricted Affordable Units.*** *In each Tier, a Housing Development shall provide On-Site Restricted Affordable Units at a rate of at least the minimum percentages described below. The minimum number of On-Site Restricted Affordable Units shall be calculated based upon the total number of units in the final project.*
  - a. *Tier 1 - 8% of the total number of dwelling units shall be affordable to Extremely Low Income (ELI) Households, 11% of the total number of dwelling units shall be affordable to Very Low (VL) Income Households, or 20% of the total number of dwelling units shall be affordable to Lower Income Households.*
  - b. *Tier 2 - 9% ELI, 12% VL or 21% Lower.*
  - c. *Tier 3 - 10% ELI, 14% VL or 23% Lower.*
  - d. *Tier 4 - 11% ELI, 15% VL or 25% Lower.*

The project site qualifies as a Tier 3 Affordable Housing Incentive Area. Tier 3 requires at least 10% to be set aside for Extremely Low Income Households. The project reserves 2 units for Extremely Low Income Households, and, as such, the project meets the eligibility requirements for On-Site Restricted Affordable Units.

2. ***Major Transit Stop.*** *A Housing Development shall be located on a lot, any portion of which must be located within 2,640 feet of a Major Transit Stop, as defined in Section II and according to the procedures in Section III.2 of the TOC Guidelines.*

As defined in the TOC Guidelines, a Major Transit Stop is a site containing a rail station or the intersection of two or more bus routes with a service interval of 15 minutes or less during the morning and afternoon peak commute periods. The site is within one-half mile of the Century City / Constellation Station of the Los Angeles County Metropolitan Transportation Authority (“Metro”) Purple (“D”) line, which constitutes as a Major Transit Stop. As such, the site qualifies as a Tier 3 TOC Affordable Housing Incentive Area, as indicated on the TOC Referral Form dated December 12, 2022.

3. ***Housing Replacement.*** *A Housing Development must meet any applicable housing replacement requirements of California Government Code Section 65915(c)(3), as verified by the Department of Housing and Community Investment (HCIDLA) prior to the issuance of any building permit. Replacement housing units required per this section may also count towards other On-Site Restricted Affordable Units requirements.*

The Los Angeles Housing Department (“LAHD”) has determined, per the Housing Crisis Act of 2019 (SB 8) Replacement Unit Determination, dated January 18, 2023, that all of

the units were vacant for the entire five-year lookback period, therefore no (0) SB 8 affordable replacement units are required.

4. ***Other Density or Development Bonus Provisions.*** *A Housing Development shall not seek and receive a density or development bonus under the provisions of California Government Code Section 65915 (State Density Bonus law) or any other State or local program that provides development bonuses. This includes any development bonus or other incentive granting additional residential units or floor area provided through a General Plan Amendment, Zone Change, Height District Change, or any affordable housing development bonus in a Transit Neighborhood Plan, Community Plan Implementation Overlay (CPIO), Specific Plan, or overlay district.*

The project does not seek any additional density or development bonuses under the provisions of the State Density Bonus Law or any other State or local program that provides development bonuses, including, but not limited to a General Plan Amendment, Zone Change, Height District Change, or any affordable housing development bonus in a Transit Neighborhood Plan, Community Implementation Overlay (CPIO), Specific Plan, or overlay district. As such, the project meets this eligibility requirement.

5. ***Base Incentives and Additional Incentives.*** *All Eligible Housing Developments are eligible to receive the Base Incentives listed in Section VI of the TOC Guidelines. Up to three Additional Incentives listed in Section VII of the TOC Guidelines may be granted based upon the affordability requirements described below. For the purposes of this section below, “base units” refers to the maximum allowable density allowed by the zoning, prior to any density increase provided through these Guidelines. The affordable housing units required per this section may also count towards the On-Site Restricted Affordable Units requirement in the Eligibility Requirement No. 1 above (except Moderate Income units).*
  - a. *One Additional Incentive may be granted for projects that include at least 4% of the base units for Extremely Low Income Households, at least 5% of the base units for Very Low Income Households, at least 10% of the base units for Lower Income Households, or at least 10% of the base units for persons and families of Moderate Income in a common interest development.*
  - b. *Two Additional Incentives may be granted for projects that include at least 7% of the base units for Extremely Low Income Households, at least 10% of the base units for Very Low Income Households, at least 20% of the base units for Lower Income Households, or at least 20% of the base units for persons and families of Moderate Income in a common interest development.*
  - c. *Three Additional Incentives may be granted for projects that include at least 11% of the base units for Extremely Low Income Households, at least 15% of the base units for Very Low Income Households, at least 30% of the base units for Lower Income Households, or at least 30% of the base units for persons and families of Moderate Income in a common interest development.*

As an Eligible Housing Development, the project is eligible to receive the Base Incentives listed in the TOC Guidelines. The project is also seeking two (2) Additional Incentives for increased height and reduced side yard setbacks. The project may be granted two (2) Additional Incentives for reserving at least 7 percent, or 1 unit, of the 12 base units, to be set aside for Extremely Low income Households. The project proposes to set aside at least 2 dwelling units for Extremely Low Income Households, which is over 7 percent of the base units. As such, the project meets the eligibility requirement for two (2) Additional Incentives.

6. **Projects Adhering to Labor Standards.** *Projects that adhere to the labor standards required in LAMC 11.5.11 may be granted two Additional Incentives from the menu in Section VII of these Guidelines (for a total of up to five Additional Incentives).*

The project is not seeking Additional Incentives beyond those permitted in exchange for reserving 2 dwelling units for Extremely Low Income Households. As such, the project need not adhere to the labor standards required in LAMC Section 11.5.11, and this eligibility requirement does not apply.

7. **Multiple Lots.** *A building that crosses one or more lots may request the TOC Incentives that correspond to the lot with the highest Tier permitted by Section III above.*

The project site consists of one (1) lot. As such, this eligibility requirement does not apply.

8. **Request for a Lower Tier.** *Even though an applicant may be eligible for a certain Tier, they may choose to select a Lower Tier by providing the percentage of On-Site Restricted Affordable Housing units required for any lower Tier and be limited to the Incentives available for the lower Tier.*

The site qualifies as a Tier 3 TOC Affordable Housing Incentive Area. The Applicant has not elected to utilize a Lower Tier. As such, this eligibility requirement does not apply.

9. **100% Affordable Housing Projects.** *Buildings that are Eligible Housing Developments that consist of 100% On-Site Restricted Affordable units, exclusive of a building manager's unit or units shall, for purposes of these Guidelines, be eligible for one increase in Tier than otherwise would be provided.*

The project is not a 100% Affordable Housing Project. As such, this eligibility requirement does not apply.

## FINDINGS

### TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM / AFFORDABLE HOUSING INCENTIVES COMPLIANCE FINDINGS

Pursuant to Section 12.22 A.31(e) of the LAMC, the Director shall review a Transit Oriented Communities Affordable Housing Incentive Program project application in accordance with the procedures outlined in LAMC Section 12.22 A.25(g).

1. **Pursuant to Section 12.22 A.25(g) of the LAMC, the Director shall approve a density bonus and requested incentive(s) unless the director finds that:**

- a. ***The incentives are not required to provide for affordable housing costs as defined in California Health and Safety Code Section 50052.5 or Section 50053 for rents for the affordable units for the affordable units.***

The record does not contain substantial evidence that would allow the Director to make a finding that the requested incentives are not necessary to provide for affordable housing costs per State Law. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed a predetermined percentage of income based on area median income thresholds dependent on affordability levels.

The list of on-menu incentives in the TOC Guidelines were pre-evaluated at the time the Transit Oriented Communities Affordable Housing Incentive Program Ordinance was adopted to include types of relief that minimize restrictions on the size of the project. As such, the Director will always arrive at the conclusion that the on-menu incentives are required to provide for affordable housing costs because the incentives by their nature increase the scale of the project.

*Increased Height:* The requested increase in building height is expressed in the Menu of Incentives in the TOC Guidelines. The applicant has requested an increase of 11 feet in height to allow for 56 feet in building height, in lieu of the otherwise permitted 45-foot building height in the R3-1-O Zone. Per the TOC Guidelines, the proposed project qualifies for the 22-foot height increase to a maximum building height of 67 feet. The limitation on the height could limit the ability to construct the residential dwelling units permitted by-right and the Restricted Affordable Units which are of a sufficient size. The building as proposed would have a maximum height of approximately 56 feet (72 feet 4 inches measured to the elevator roof), and would have a total of six (6) stories. As proposed, the additional height would allow for the construction of the affordable residential units.

*Reduced Yards/Setbacks:* The requested reduction in the side yards is expressed in the Menu of Incentives in the TOC Guidelines. The Additional Incentive would allow a 30 percent decrease in the required width or depth of two individual yards or setbacks to provide 6 feet 3 <sup>5</sup>/<sub>8</sub> inches in lieu of the otherwise required 9-foot side yard setbacks. The requested incentive will allow the developer to reduce setback requirements so the area reserved for affordable housing can be constructed and the overall space dedicated to residential uses is increased. This incentive will result in a building design that provides for affordable housing costs and supports the applicant's decision to set aside 2 dwelling units for Extremely Low Income Households.

- b. ***The Incentive will have a specific adverse impact upon public health and safety or on any real property that is listed in the California Register of Historical Resources***

***and for which there are no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the development unaffordable to Very Low, Low and Moderate Income households. Inconsistency with the zoning ordinance or the general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety.***

There is no evidence in the record that the proposed incentive will have a specific adverse impact. A “specific adverse impact” is defined as, “a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete” (LAMC Section 12.22.A.25(b)). The project does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical-Cultural Monuments. The project is not located on a substandard street in a Hillside area or a Very High Fire Hazard Severity Zone. There is no evidence in the record which identifies a written objective health and safety standard that has been exceeded or violated. Based on the above, there is no basis to deny the requested incentives. Therefore, there is no substantial evidence that the project’s proposed incentives will have a specific adverse impact on public health and safety, or on property listed in the California Register of Historic Resources.

## **CEQA FINDINGS**

As the designee of the Director of Planning, I have determined, based on the whole of the administrative record, that the Project is exempt from the California Environmental Quality Act (“CEQA”) pursuant to CEQA Guidelines, Article 19, Section 15332 (Class 32), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

The project is the construction of a six-story 56-foot-tall (72 foot 4 inches tall as measured to the elevator roof) residential apartment building comprised of 20 residential dwelling units (including two (2) units for Extremely Low Income Households). The project will have a proposed Floor Area Ratio (“FAR”) of approximately 4.5:1 with approximately 27,185 square feet of floor area. The project proposes 15 parking spaces with vehicular access from the alley, as provided in Exhibit “A”. The project will also provide bicycle parking in accordance with LAMC Section 12.21 A.16. The project will demolish six (6) dwelling units and remove 13 non-protected on-site trees; no (0) protected trees or street trees will be removed. The project will require the export of approximately 3,900 cubic yards of soil.

As a residential apartment building, and a project which is characterized as in-fill development, the project qualifies for the Class 32 Categorical Exemption.

### **CEQA Determination – Class 32 Categorical Exemption Applies**

A project qualifies for a Class 32 Categorical Exemption if it is developed on an infill site and meets the following criteria:

- (a) **The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations.**

The project site is located in the West Los Angeles Community Plan, and is designated

for Medium Residential land uses, with corresponding zones of R3. The site is zoned R3-1-O, and is consistent with the land use designation. The West Los Angeles Community Plan designation, in combination with Height District No. 1 in the R3-1-O Zone, allows a maximum building height of 45 feet with unlimited stories and a FAR of 3:1 on the subject site. The proposed project will have a FAR of 4.5:1 and a height of 56 feet (72 feet 4 inches measured to the elevator roof) and six (6) stories in accordance with the TOC Guidelines in exchange for providing two (2) units of rent-restricted units for Extremely Low Income Households for 55 years. As demonstrated in the case file, the project is consistent with the General Plan, the applicable West Los Angeles Community Plan designation and policies, and all applicable zoning designations and regulations as permitted by the TOC Guidelines.

- (b) **The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.**

The subject site is wholly within the City of Los Angeles, on a site that is approximately 0.19 acres (8,471 square feet) and is surrounded by urban uses. Lots adjacent to the subject site are developed with the following urban uses: single family dwellings, multi-family dwellings, and commercial structures. The subject site is located less than a half mile from the intersection of Century Park East and Constellation Boulevard, which includes a Major Transit Stop served by the Los Angeles County Metropolitan Transit Authority (“Metro”) Purple (“D”) line. There are bus stops within 500 feet from the subject site.

- (c) **The project site has no value as habitat for endangered, rare or threatened species.**

The site is previously disturbed and surrounded by development and therefore is not, and has no value as, a habitat for endangered, rare or threatened species. The site is currently improved with a two-story multi-family residential building. There are no (0) protected trees on the subject site or public right-of-way according to the survey prepared by Harmony Gardens, Inc., dated February 17, 2023. There are 13 non-protected trees on the subject site that will be removed. Furthermore, the project site does not adjoin any open space or wetlands that could support habitat for endangered, rare or threatened species. Therefore, the site does not contain or have value as habitat for endangered, rare or threatened species and is not located adjacent to any habitat for endangered, rare or threatened species. As such, the proposed project meets this criterion.

- (d) **Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.**

Regulatory Compliance Measures – The project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance, pollutant discharge, dewatering, stormwater mitigations; and Best Management Practices for stormwater runoff. These RCMs will ensure the project will not have significant impacts on noise and water.

Geotechnical - The applicant has submitted a Geotechnical Investigation Report prepared by LGC Valley, Inc. dated July 6, 2023. RCMs also include the submittal of the Geology and Soils Report to the Department of Building and Safety (“DBS”), and compliance with a Soils Report Approval Letter (Log No. 126230-01, dated July 14, 2023) which details conditions of approval that must be followed. In addition, the RCMs require that design and construction of the building must conform to the California Building Code,



and grading on site shall comply with the City's Landform Grading Manual, as approved by the Department of Building and Safety Grading Division.

Traffic - The project does not exceed the threshold criteria established by the Los Angeles Department of Transportation (LADOT) for preparing a traffic study. The LADOT Referral Form dated September 20, 2023, indicates that the project would generate 81 daily vehicle trips, which is less than the threshold of 250 daily trips that would otherwise require a Vehicle Miles Traveled (VMT) analysis. Therefore, the project will not have any significant impacts to traffic.

Noise - The Project must comply with the adopted City of Los Angeles Noise Ordinances No. 144,331 and 161,574 and LAMC Section 41.40, LAMC Section 112.05, as well as any subsequent Ordinances, which prohibit the emission or creation of noise beyond certain levels. These Ordinances cover both operational noise levels (i.e., post-construction), and any construction noise impacts. As a result of this mandatory compliance, the proposed Project will not result in any significant noise impacts.

Air Quality - Interim thresholds were developed by DCP staff based on California Emissions Estimator Model (CalEEMod) runs relying on reasonable assumptions, consulting with Southern California Air Quality Management District ("SCAQMD") staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established SCAQMD construction and operational thresholds.

**(e) The site can be adequately served by all required utilities and public services.**

The project site will be adequately served by all public utilities and services given that the construction of a multi-family residential building will be on a site which has been previously developed and is consistent with the General Plan. Therefore, the project meets all of the Criteria for the Class 32 Categorical Exemption.

CEQA Section 15300.2: Exceptions to the Use of Categorical Exemptions

There are five (5) Exceptions which must be considered in order to find a project exempt under Class 32:

- (a) **Cumulative Impacts.** *All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.*

Staff has identified one (1) comparable project that was granted approval for land use entitlements within a 500-foot radius of the subject site:

- Case No. DIR-2018-5480-TOC – construction of a new 6-story 104-unit apartment building, located at 10306-10330 West Santa Monica Boulevard.

While there could potentially be two (2) projects of a similar type in the same place, all projects would be subject to the citywide Regulatory Compliance Measures as noted above. Furthermore, the project will result in less than significant impacts related to traffic, noise, and air quality, as shown above. The LADOT Referral Form dated September 20, 2023, indicates that the project would generate 81 daily vehicle trips, which is less than the threshold of 250 daily trips that would otherwise require a Vehicle Miles Traveled (VMT) analysis. There is no evidence to conclude that significant impacts will occur based

on past project approvals or that the proposed Project's impacts are cumulatively considerable when evaluating any cumulative impacts associated with construction noise and transportation/traffic in the surrounding area.

According to Navigate LA, there are two (2) other haul route applications that cross within 500 feet of the subject site, including:

- 10306-10330 West Santa Monica Boulevard – issued for a start date of 5/25/2021 and end date of 11/25/2023
- 1661 South Comstock Avenue – issued for a start date of 4/5/2022 and end date of 10/5/2024

In light of the increase in construction activity in Special Grading Areas and the increase in associated truck traffic related to the import and export of soil, a haul route monitoring program is being implemented by the Department of Building and Safety for Council Districts 4 and 5 for added enforcement to ensure safety and to protect the quality of life of area residents. As part of this program, a haul route monitor is assigned to a geographic area to monitor haul routes and keep track of daily activities in order to minimize impacts to neighboring residents. Haul routes are tracked via a Map for each district to identify the locations of construction sites for which a haul route was required. The haul route approval will include RCMs and recommended conditions prepared by the Los Angeles Department of Transportation (LADOT) to be considered by the Board of Building and Safety Commissioners to reduce the impacts of construction related hauling activity, monitor the traffic effects of hauling, and reduce haul trips in response to congestion. Furthermore, LADBS staggers the haul route schedules so as to ensure that all of the haul routes do not occur simultaneously.

Therefore, in conjunction with citywide RCMs and compliance with other applicable regulations, no foreseeable cumulative impacts are expected.

- (b) **Significant Effect Due to Unusual Circumstances.** *A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.*

The project proposes a residential multi-family building in an area zoned and designated for such development. All adjacent lots are developed with single-family and multi-family residential buildings and commercial uses, and the subject site is of a similar size and slope to nearby properties. The project proposes a Floor Area Ratio ("FAR") of 4.5:1 on a site that is permitted to have an FAR of 4.5:1 through the TOC Guidelines. The project size and height are not unusual for the vicinity of the subject site and is similar in scope to other existing buildings and proposed future projects in the area. Thus, there are no unusual circumstances which may lead to a significant effect on the environment.

- (c) **Scenic Highways.** *A categorical exemption shall not be used for a project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway.*

The only State Scenic Highway within the City of Los Angeles is the Topanga Canyon State Scenic Highway, State Route 27, which travels through a portion of Topanga State Park. The State Route 27 is approximately 9 miles west of the subject site. Therefore, the subject site will not create any impacts within a designated as a state scenic highway.

- (d) **Hazardous Waste Sites.** *A categorical exemption shall not be used for a project located on a site which is included on any list compiled pursuant to Section 65962.5 of the Government Code*

According to Envirostor, the State of California's database of Hazardous Waste Sites, neither the subject site, nor any site in the vicinity, is identified as a hazardous waste site.

- (e) **Historical Resources.** *A categorical exemption shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource.*

The project site has not been identified as a historic resource by local or state agencies, and the project site has not been determined to be eligible for listing in the National Register of Historic Places, California Register of Historical Resources, the Los Angeles Historic-Cultural Monuments Register, and/or any local register; and was not found to be a potential historic resource based on the City's HistoricPlacesLA website or SurveyLA, the citywide survey of Los Angeles. Finally, the City does not choose to treat the site as a historic resource. Based on this, the project will not result in a substantial adverse change to the significance of a historic resource and this exception does not apply.

## **OBSERVANCE OF CONDITIONS - TIME LIMIT - LAPSE OF PRIVILEGES**

All terms and conditions of the Director's Determination shall be fulfilled before the use may be established. The instant authorization is further conditioned upon the privileges being utilized within three years after the effective date of this determination and, if such privileges are not utilized, building permits are not issued, or substantial physical construction work is not begun within said time and carried on diligently so that building permits do not lapse, the authorization shall terminate and become void.

## **TRANSFERABILITY**

This determination runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant. If any portion of this approval is utilized, then all other conditions and requirements set forth herein become immediately operative and must be strictly observed.

## **VIOLATIONS OF THESE CONDITIONS, A MISDEMEANOR**

The Applicant's attention is called to the fact that this grant is not a permit or license and that any permits and licenses required by law must be obtained from the proper public agency. Furthermore, if any condition of this grant is violated or not complied with, then the Applicant or his successor in interest may be prosecuted for violating these conditions the same as for any violation of the requirements contained in the Municipal Code, or the approval may be revoked.

Section 11.00 of the LAMC states in part (m): "It shall be unlawful for any person to violate any provision or fail to comply with any of the requirements of this Code. Any person violating any of the provisions or failing to comply with any of the mandatory requirements of this Code shall be guilty of a misdemeanor unless that violation or failure is declared in that section to be an infraction. An infraction shall be tried and be punishable as provided in Section 19.6 of the Penal Code and the provisions of this section. Any violation of this Code that is designated as a misdemeanor may be charged by the City Attorney as either a misdemeanor or an infraction.

Every violation of this determination is punishable as a misdemeanor unless provision is otherwise made, and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the County Jail for a period of not more than six months, or by both a fine and imprisonment.

## **APPEAL PERIOD - EFFECTIVE DATE**

This grant is not a permit or license and any permits and/or licenses required by law must be obtained from the proper public agency. If any Condition of this grant is violated or not complied with, then the applicant or their successor in interest may be prosecuted for violating these Conditions the same as for any violation of the requirements contained in the Los Angeles Municipal Code (LAMC).

This determination will become effective after the end of appeal period date on the first page of this document, unless an appeal is filed with the Department of City Planning. An appeal application must be submitted and paid for before 4:30 PM (PST) on the final day to appeal the determination. Should the final day fall on a weekend or legal City holiday, the time for filing an appeal shall be extended to 4:30 PM (PST) on the next succeeding working day. Appeals should be filed early to ensure the Development Services Center (DSC) staff has adequate time to review and accept the documents, and to allow appellants time to submit payment.

An appeal may be filed utilizing the following options:

**Online Application System (OAS):** The OAS (<https://planning.lacity.org/oas>) allows entitlement appeals to be submitted entirely electronically by allowing an appellant to fill out and submit an appeal application online directly to City Planning's DSC, and submit fee payment by credit card or e-check.

**Drop off at DSC.** Appeals of this determination can be submitted in-person at the Metro or Van Nuys DSC locations, and payment can be made by credit card or check. City Planning has established drop-off areas at the DSCs with physical boxes where appellants can drop off appeal applications; alternatively, appeal applications can be filed with staff at DSC public counters. Appeal applications must be on the prescribed forms, and accompanied by the required fee and a copy of the determination letter. Appeal applications shall be received by the DSC public counter and paid for on or before the above date or the appeal will not be accepted.

Forms are available online at <http://planning.lacity.org/development-services/forms>. Public offices are located at:

Metro DSC (213) 482-7077 201 N. Figueroa Street Los Angeles, CA 90012 planning.figcounter@lacity.org	Van Nuys DSC (818) 374-5050 6262 Van Nuys Boulevard Van Nuys, CA 91401 planning.mbc2@lacity.org	West Los Angeles DSC (CURRENTLY CLOSED) (310) 231-2901 1828 Sawtelle Boulevard West Los Angeles, CA 90025 planning.westla@lacity.org
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City Planning staff may follow up with the appellant via email and/or phone if there are any questions or missing materials in the appeal submission, to ensure that the appeal package is complete and meets the applicable LAMC provisions.

If you seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, the petition for writ of mandate pursuant to that section must be filed no later than

the 90th day following the date on which the City's decision became final pursuant to California Code of Civil Procedure Section 1094.6. There may be other time limits which also affect your ability to seek judicial review.

Verification of condition compliance with building plans and/or building permit applications are done at the City Planning Metro or Valley DSC locations. An in-person or virtual appointment for Condition Clearance can be made through the City's BuildLA portal ([appointments.lacity.org](https://appointments.lacity.org)). The applicant is further advised to notify any consultant representing you of this requirement as well.



QR Code to  
Online Appeal  
Filing



QR Code to Forms for In-  
Person Appeal Filing



QR Code to BuildLA Appointment Portal  
for Condition Clearance

**Only an applicant or any owner or tenant of a property abutting, across the street or alley from, or having a common corner with the subject property can appeal the Transit Oriented Communities/Density Bonus Compliance Review Determination.** Per the Density Bonus Provision of State Law (Government Code Section 65915), the Density Bonus increase in units above the base density limits per the underlying zone(s) and the appurtenant parking reductions are not a discretionary action and therefore cannot be appealed. Only the requested incentives are appealable. Per LAMC Sections 12.22 A.25 and 12.22 A.31, appeals of Density Bonus Compliance Review and Transit Oriented Communities cases with the Director of Planning or Zoning Administrator as the initial decision maker are heard by the City Planning Commission.

VINCENT P. BERTONI, AICP  
Director of Planning

Reviewed by:

*Michelle Singh*

Michelle Singh, Senior City Planner

Reviewed by:

*Michelle Singh*

Connie Chauv, City Planner  
Connie.chauv@lacity.org

Prepared by:

*Monica Taimoori*

Monica Taimoori, Planning Assistant  
Monica.taimoori@lacity.org



Apartments  
 10285 W Missouri Avenue  
 Los Angeles, CA 90025

COVER SHEET

REVISION	NO
TOC 4/15/21	
TOC 10/12/22	

Date: 09/14/20  
 Scale:  
 By: Author  
 Project No:  
 2019  
 Page No:  
**T-0.00**  
 OF

**10285 W. MISSOURI AVE APARTMENTS**  
 10285 WEST MISSOURI AVENUE  
 LOS ANGELES, CA 90025  
 TOC SUBMITTAL SET  
 APRIL, 2021

ABBREVIATIONS			
A/C	AIR CONDITIONING	MTL	METAL
A.C.	ASPHALTIC CONCRETE PAVING	N	NORTH
A.D.	AREA DRAIN	(N)	NORTH
A.F.F.	ABOVE FINISH FLOOR	N.I.C.	NOT IN CONTRACT
ALUM.	ALUMINUM	NO.	NUMBER
BD.	BOARD	N.T.S.	NOT TO SCALE
BLDG.	BUILDING	O.C.	ON CENTER
BLKG.	BLOCKING	OPNG.	OPENING
BOT.	BOTTOM	OPP.	OPPOSITE
CL.	CENTER LINE	P.A.	PLANTING AREA
CL.G.	CEILING	P.C.	PRE-CAST CONCRETE
CL.R.	CLEAR	P.P.	POWER POLE
C.M.U.	CONCRETE MASONRY UNIT	PL.	PLATE
COL.	COLUMN	P.L.	PROPERTY LINE
CONC.	CONCRETE	PLYWD.	PLYWOOD
CONC. BLK.	CONCRETE BLOCK	PLMB.	PLUMBING
CONST.	CONSTRUCTION	PR.	PAINT
CONT.	CONTINUOUS	PT.	PAINT
C.O.W.	CENTER LINE OF WALL	R.	RISER
DIA.	DIAMETER	R.A.	RETURN AIR
DIM.	DIMENSION	RAD.	RADIUS
DN.	DOWN	R.D.	ROOF DRAIN
D.S.	DOWN SPOUT	RECP.	RECEPTACLE
DTL.	DETAIL	REF.	REFRIGERATOR
DWG.	DRAWING	REINF.	REINFORCED
(E)	EXISTING	REQD.	REQUIRED
ELEC.	ELECTRIC	REV.	REVISION
E.V.	ELECTRIC VEHICLE	RF.	ROOF
ELEV.	ELEVATION	RM.	ROOM
EQ.	EQUAL	R.O.	ROUGH OPENING
EQUIP.	EQUIPMENT	S.A.	SUPPLY AIR
EXIST.	EXISTING	S.C.	SOLID CORE
EXT.	EXTERIOR	S.D.	STORM DRAIN
F.F.	FINISH FLOOR	S.F.	SQUARE FEET
F.G.	FINISH GRADE	SHTG.	SHEATHING
FIN.	FINISH	SHT. MTL.	SHEET METAL
FLR.	FLOOR	SIM.	SIMILAR
F.O.C.	FACE OF CONCRETE	SIS	STAINLESS STEEL
F.O.M.	FACE OF MASONRY	STL.	STEEL
F.O.S.	FACE OF STUD	STR.	STRUCTURAL
FR.	FIREPLACE	SUBFLR.	SUB-FLOOR
FT.	FEET	SUSP.	SUSPENDED
FTG.	FOOTING	T.	TREAD
G.	GAS	T & G	TONGUE AND GROOVE
GA.	GALVANIZE	THK.	THICK
GALV.	GALVANIZED	T.O.	TOP OF
GL.	GLASS	T.O.W.	TOP OF WALL
GYP.	GYPSONUM	TYP.	TYPICAL
H.B.	HOSE BIBB	U.G.	UNDERGROUND
H.C.	HOLLOW CORE	U.O.N.	UNLESS OTHERWISE NOTED
HD.	HEAD	U.N.O.	UNLESS NOTED OTHERWISE
HT.	HEIGHT	UNF.	UNFINISHED
H.V.A.C.	HEATING, VENTILATING & AIR CONDITIONING	W.	WATER
H.W.	HOT WATER	W/	WITH
INT.	INTERIOR	W.C.	WATER CLOSET
LAV.	LAVATORY	WD.	WOOD
LT.	LIGHT	W.H.	WATER HEATER
MAX.	MAXIMUM	W.I.	WROUGHT IRON
M/C	MEDICINE CABINET	W/O	WITHOUT
MECH.	MECHANICAL	W.O.	WHERE OCCURS
MFR.	MANUFACTURER	W.P.	WATER PROOF
MIN.	MINIMUM	W.W.M.	WELDED WIRE MESH

SYMBOLS LEGEND	
( )	EXISTING CONDITION
+461.0' T.O.P.	NEW OR REQUIRED POINT ELEVATION LOCATION
(+461.0') T.O.P.	EXISTING POINT ELEVATION LOCATION
-268	EXISTING CONTOUR LINE
268	NEW CONTOUR LINE
	MATCH LINE, SHADED PORTION SIDE SHOWN
	LEVEL LINE, CONTROL POINT OR DATUM
	PROPERTY LINE, BOUNDARY LINES
	CENTER LINE, EXTERIOR ELEVATION LINES
	OUTLINE OF OBJECTS ABOVE, FIXTURES N.I.C.
	OUTLINE OF HIDDEN OBJECTS BELOW
	EXISTING CONSTRUCTION TO BE REMOVED
	BUILDING SECTION REFERENCE DRAWING NUMBER
	DETAIL NUMBER REFERENCE DRAWING NUMBER
	WALL SECTION OR ELEVATION NUMBER REFERENCE DRAWING NUMBER
(11)	DOOR NUMBER
(W1)	WALL REFERENCE
(A)	WINDOW NUMBER
(A)	MATERIAL REFERENCE COLOR REFERENCE
12	EQUIPMENT NUMBER
	REVISION
	PROJECT NORTH (MAGNETIC NORTH ARROW ON PLOT SITE PLAN ONLY)
(0)	REFERENCE GRIDS
	DIMENSION TO FACE OF FINISH/CLEAR/MINIMUM
	DIMENSION TO FACE OF STUD, CL. OF CONCRETE, CMU U.N.O.

PROJECT DIRECTORY			
<b>OWNER:</b> Fox Hills Development Group, LLC 1000 N. Sepulveda Blvd. #180 Manhattan Beach, CA 90266 (310) 466-4841 Attn: George Apostol	<b>ARCHITECT:</b> DFH Architects, LLP 1544 20th Street Santa Monica, CA 90404 (310)394-4045 Attn: Tracy Lavamway Attn: John Whitcomb	<b>STRUCTURAL/SHORING, CIVIL:</b> Labib Funk + Associates 319 Main Street El Segundo, CA 90245 (213) 239-9700 Attn: (Structure) Attn: (Shoring) Attn: (Civil)	<b>LANDSCAPE ARCHITECT:</b> KSA Inc. Landscape Architecture and Planning 4212 1/2 Glencoe Avenue Marina Del Rey, CA 90292 (310) 574-4460 Attn: Jake Patton
<b>METHANE:</b> Terra-Petra 700 S. Flower St., Suite 2580 Santa Monica, CA 90404 (213) 458-0494 Attn: Justin Conaway	<b>M.E.P.:</b> Alliance Energy Partners 5847 Wilbur Ave. Tarzana, CA 91356 (818) 921-4757 Attn: Kevin Shamim	<b>LAND USE CONSULTANT:</b> Howard Robinson & Associates 660 S. Figueroa St., Suite 1780 Los Angeles, CA 90017 (310) 838-0180 Attn: Sue Steinberg	<b>SOILS:</b> Geosystems, Inc. 1545 Victory Blvd. 2ND Flr. Glendale, CA 91201-9240 (818) 500-9533 Attn: Sean Chi-Hsin Lin

CODES AND AGENCIES	
THIS PROJECT SHALL COMPLY WITH THE FOLLOWING:	
PART 1: 2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, TITLE 24 CALIFORNIA CODE OF REGULATIONS (C.C.R.)	
PART 2: 2022 LOS ANGELES BUILDING CODE (CBC), TITLE 24 C.C.R. (2019 INTERNATIONAL BUILDING CODE, VOLUMES 1-2 OF THE INTERNATIONAL CODE COUNCIL WITH CALIFORNIA AMENDMENTS)	
PART 3: 2022 CALIFORNIA ELECTRICAL CODE (CEC), TITLE 24 C.C.R. (2017 NATIONAL ELECTRICAL CODE OF THE NATIONAL FIRE PROTECTION ASSOCIATION, NFPA)	
PART 4: 2022 CALIFORNIA MECHANICAL CODE (CMC), TITLE 24 C.C.R. (2018 UNIFORM MECHANICAL CODE OF THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO)	
PART 5: 2022 CALIFORNIA PLUMBING CODE (CPC), TITLE 24 C.C.R. (2018 UNIFORM PLUMBING CODE OF THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO)	
PART 6: 2022 CALIFORNIA ENERGY CODE, TITLE 24 C.C.R.	
PART 7: 2022 CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE, TITLE 24 C.C.R.	
PART 9: 2022 CALIFORNIA FIRE CODE, TITLE 24 C.C.R. (2018 INTERNATIONAL FIRE CODE, IFC)	
PART 11: 2022 LOS ANGELES GREEN BUILDING STANDARDS CODE, TITLE 24 C.C.R. (CALGREEN)	
PART 12: 2022 CALIFORNIA REFERENCE STANDARDS CODE, TITLE 24 C.C.R.	
NFPA 13: 2022 STANDARDS FOR THE INSTALLATION OF SPRINKLER SYSTEMS	
NFPA 24: 2022 STANDARDS FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTANCES	
NFPA 72: 2022 NATIONAL FIRE ALARM AND SIGNALING CODE	
FAIR HOUSING ACT DESIGN MANUAL 1998 (FHADM) WITH ANSI A111=7.1-2003," FAIR HOUSING ACT SAFE HARBOR"	
ALL WORK SHALL COMPLY WITH THE FOLLOWING CITY OF LOS ANGELES REGULATIONS, CODES AND AUTHORITIES:	
A. BUILDING & SAFETY DEPARTMENT	B. PLANNING & ZONING DEPARTMENT
C. FIRE DEPARTMENT	D. PUBLIC WORKS DEPARTMENT
E. ENGINEERING DEPARTMENT	F. RECREATION & PARKS DEPARTMENT

CONTRACTOR'S RESPONSIBILITY	
01. THE CONTRACTOR SHALL EXAMINE THE DRAWINGS AND SPECIFICATIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FOUND BEFORE PROCEEDING WITH WORK.	
02. THE CONTRACTOR SHALL VERIFY CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK.	
03. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BELOW GRADE AND RELATED SERVICE CONNECTIONS WITH THE RESPECTIVE UTILITY COMPANIES.	
04. THE CONTRACTOR SHALL COORDINATE THE REMOVAL, ABANDONMENT AND/OR RELOCATION OF EXISTING UTILITIES ABOVE OR BELOW GRADE WITH THE RESPECTIVE UTILITY COMPANIES.	
05. THE CONTRACTOR SHALL PERFORM ALL WORK WITHIN PUBLIC RIGHT-OF-WAY ACCORDING TO THE CITY OF LOS ANGELES STANDARD PLANS AND SPECIFICATIONS.	
06. THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACES, SHORE AND GUYS REQUIRED TO SUPPORT ALL LOADS TO WHICH THE BUILDING STRUCTURE AND COMPONENTS, ADJACENT SOILS AND STRUCTURES, UTILITIES AND RIGHT-OF-WAY MAY BE SUBJECTED DURING CONSTRUCTION.	
07. THE CONTRACTOR SHALL PROVIDE PEDESTRIAN PROTECTION DURING CONSTRUCTION.	
08. THE CONTRACTOR SHALL PROVIDE SANITARY FACILITIES FOR WORKER'S USE.	
09. THE CONTRACTOR SHALL OBTAIN OSHA PERMITS FOR ANY VERTICAL EXCAVATIONS OVER 5'-0" DEEP INTO WHICH PERSONS MUST DESCEND.	
10. THE CONTRACTOR SHALL COORDINATE WITH REPRESENTATIVES OF WATER, ELECTRICAL, GAS, TELEPHONE, AND TELEVISION COMPANIES TO VERIFY AVAILABLE FACILITIES AND, IF APPLICABLE, TO ESTABLISH TEMPORARY FACILITIES.	
11. THE SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AND FEES REQUIRED, NOT NORMALLY COVERED BY THE BUILDING PERMITS.	
12. THE CONTRACTOR SHALL OBTAIN PERMIT FROM CITY ENGINEER PRIOR TO DOING ANY SIDEWALK AND CURB WORK.	

VICINITY MAP	LOCATION MAP

PROJECT SUMMARY	
<b>PROJECT ADDRESS:</b> 10285 WEST MISSOURI AVENUE, LOS ANGELES, CA 90025	
*NOTE: THIS PROJECT IS 100% PRIVATELY FUNDED.	
APN: 4319-009-051, PIN: 132B 157 499	
<b>LEGAL DESCRIPTION:</b> BLOCK 34, LOT 4 OF TRACT 7260, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS FOUND IN MB 79-98/99 OF LOS ANGELES COUNTY RECORDS.	
<b>PROPOSED PROJECT:</b> 6-STORY APARTMENT BUILDING WITH 5 FLOORS OF TYPE III-A RESIDENTIAL APARTMENTS OVER 1-STORY TYPE I-A RESIDENTIAL APARTMENTS OVER 1-LEVEL TYPE I-A SUBTERRANEAN GARAGE.	
TOC TIER 3: WITH 10% ELI UNITS (2), WITH BASIC INCENTIVES: 1. DENSITY, 2. FAR & 3. PRKING, AND ADDITIONAL INCENTIVES FOR HEIGHT (22') AND (2) SIDE YARD REDUCTIONS (30% OF 9-FEET).	
ZONING:	R3-1-0
HEIGHT DISTRICT:	1
OCCUPANCY CLASSIFICATION:	R-2 RESIDENTIAL (CBC SECTION 310.3) S-2 PARKING GARAGE (CBC SECTION 311.3)
HEIGHT (ZONING ALLOWED):	HEIGHT DISTRICT 1 IS 45 FT. PLUS TOC TIER 3 HEIGHT INCENTIVE 22 FT. = 67 FT. TOTAL BUILDING HEIGHT ALLOWED (ZONING ALLOWED + 10-FT.) = 77 FT.
HEIGHT (ZONING PROPOSED):	HEIGHT DISTRICT 1 IS 45 FT. PLUS 11 FT. OF TOC TIER 3 ALLOWED 22 FT. = 56' FT. TOTAL BUILDING HEIGHT (FROM L.A.G. TO T.O. ELEVATOR ROOF) = 72'-4"
UNIT COUNT:	1-BEDROOM - 08 (1 ELI), 2-BEDROOM - 12, (ELI), TOTAL BEDROOMS - 32

DENSITY/F.A.R. (SEE T-1.03 FOR MORE INFORMATION)	
<b>ALLOWABLE DENSITY:</b>	
FOR R3 ZONE, BASE DWELLING UNIT COUNT IS SITE AREA PLUS HALF ALLEY / 800 SF/ UNIT	
LOT AREA IS 8,471.9 SF. FOR BASE DWELLING UNITS ALLOWED LOT AREA PLUS HALF ALLEY = 9123.4 SF.	
BASE DWELLING UNITS = 9123.4 SF / 800 SF/UNIT = 11.40 WHICH ROUNDS UP TO 12 BASE DWELLING UNITS. WITH TOC TIER 3 BONUS OF 70% = 12 X 1.70 = 20.4 WHICH ROUNDS TO 21 DWELLING UNITS.	
<b>PERMITTED FLOOR AREA RATIO (FAR):</b>	
LOT AREA LESS YARDS X 3 = 6,041 SF X 3 = 18,123 SF WITH TOC TIER 3 BONUS 50% = 18,123 SF X 1.50 = 27,185 SF NEW BUILDING FLOOR AREA = 27,185 SF	
PROVIDED FAR = FLOOR AREA / BULDABLE AREA: 27,185 / 6041 = <b>4.50</b>	

OPEN SPACE	
<b>REQUIRED:</b>	
< 3 HABITABLE ROOMS = 100 SF/UNIT	08 UNITS x 100 SF/UNIT = 800 SF
= 3 HABITABLE ROOMS = 125 SF/UNIT	12 UNITS x 125 SF/UNIT = 1,500 SF
> 3 HABITABLE ROOMS = 175 SF/UNIT	00 UNITS x 175 SF/UNIT = 0 SF
TOTAL REQUIRED SQUARE FEET:	= 2,300 SF
<b>PROVIDED:</b>	
COMMON OPEN SPACE = ROOFTOP TERRACE	= 1,300 SF
COMMON AMENITY SPACE = RECREATION ROOM	= 575 SF
PRIVATE DECK = (10) x 50 SF/UNIT	= 500 SF
TOTAL SQUARE FEET PROVIDED:	= 2,375SF

SETBACKS	
<b>SETBACKS REQUIRED/PROVIDED PER ZONE R3-1 AND TOC TIER 3:</b>	
<b>REQUIRED:</b>	
FRONT YARD = 15 FEET	
REAR YARD = 15 FEET FROM CENTERLINE OF ALLEY	
SIDE YARD = 5 FEET + 1 FOOT EACH STORY OVER 2 = 9 FEET LESS TOC TIER 3 INCENTIVE 30% = 6'-3 5/8"	
<b>PROVIDED:</b>	
FRONT YARD = 15 FEET	
REAR YARD = 15 FEET FROM CENTERLINE OF ALLEY	
SIDE YARD = MINIMUM 6'-3 5/8"	

PARKING - RESIDENTIAL AUTO/BIKE	
<b>RESIDENTIAL PARKING SPACES REQUIRED PER TOC TIER 3:</b>	
TOTAL AUTO PARKING SPACES REQUIRED =	NONE
<b>RESIDENTIAL PARKING SPACES PROVIDED:</b>	
ACCESSIBLE VAN (2% OF 15) =	1 SPACES
EV VAN SPACE =	1 SPACES
EVCS SPACES (10% OF 15) =	1 SPACES
EVSE SPACES (30% OF 15) =	3 SPACES
STANDARD SPACES =	4 SPACES
COMPACT SPACES =	0 SPACES
COMPACT TANDEM SPACES =	5 SPACES
TOTAL SPACES PROVIDED =	15 SPACES
<b>BICYCLE PARKING REQUIRED / PROVIDED</b>	
LONG TERM UNITS 1-20 @ 1 SPACE PER UNIT =	20 SPACES REQUIRED, 20 SPACES PROVIDED
SHORT TERM UNITS 1-20 @ 1 SPACE PER 10 UNITS =	2 SPACES REQUIRED, 2 SPACES PROVIDED
<b>EV SPACES REQUIRED:</b>	
10% INSTALLED (EVCS)	
20% DESIGNATED (EVSE)	
<b>EV PROVIDED:</b>	
EVCS VAN	01
EVCS STANDARD	01
EVSE DESIGNATED	03
TOTAL EV	05
10% OF 15 = 15 x .1 = 1.5 > 2	
30% OF 15 = 15 x .3 = 4.5 > 5	
EVCS INSTALLED = 2, OKAY	
EVSE DESIGNATED = 3, OKAY	

SHEET INDEX	
T-0.00	COVER SHEET
T-1.01	PROJECT DATA - ZONING
T-1.04	ZONING F.A.R. CALCS
T-1.05	OPEN SPACE CALCULATIONS
T-1.06	GROSS BUILDING AREA PLANS
T-1.07	RENTABLE AREA PLANS
A-1.01	EXISTING SITE PLAN
A-1.02	PROPOSED SITE PLAN
A-2.01	GARAGE LEVEL PLAN
A-2.02	1ST FLOOR PLAN
A-2.03	2ND FLOOR PLAN
A-2.04	3RD FLOOR PLAN
A-2.05	4TH FLOOR PLAN
A-2.06	5TH FLOOR PLAN
A-2.07	6TH FLOOR PLAN
A-2.08	ROOF PLAN
A-3.01	BUILDING SECTIONS
A-3.02	BUILDING SECTIONS
A-3.03	DRIVE RAMP SECTION
A-4.01	EXTERIOR ELEVATIONS
A-4.02	EXTERIOR ELEVATIONS



Apartments  
 10285 W Missouri Avenue  
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PROJECT DATA - ZONING

REVISION	NO
TOC 4/15/21	
TOC 10/12/22	
TOC 3/21/23	

Date: 10/03/18  
 Scale: 12" = 1'-0"  
 By: SOB  
 Project No: 2019  
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### STRUCTURAL OBSERVATION

PER 2019 CBC SECTION 1704B.C **STRUCTURAL OBSERVATIONS**

THE OWNER SHALL EMPLOY A REGISTERED DESIGN PROFESSIONAL TO PERFORM STRUCTURAL OBSERVATIONS. STRUCTURAL OBSERVATION DOES NOT INCLUDE OR WAIVE THE RESPONSIBILITY FOR THE INSPECTIONS IN SECTION 110A OR THE SPECIAL INSPECTIONS IN SECTION 1705A OR OTHER SECTIONS OF THIS CODE.

PRIOR TO COMMENCEMENT OF OBSERVATIONS, THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT IDENTIFYING THE FREQUENCY AND EXTENT OF STRUCTURAL OBSERVATIONS.

AT THE CONCLUSION OF THE WORK INCLUDED IN THE PERMIT, THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THAT THE SITE VISITS HAVE BEEN MADE AND IDENTIFY ANY REPORTED DEFICIENCIES THAT, TO THE BEST OF THE STRUCTURAL OBSERVER'S KNOWLEDGE, HAVE NOT BEEN RESOLVED.

### SEPARATE PERMITS

- A. FIRE ALARM SYSTEM & MONITORING
- B. EMERGENCY RESPONDER RADIO COVERAGE
- C. SOLAR PHOTOVOLTAIC SYSTEMS
- D. FIRE SPRINKLER SYSTEM
- E. MECHANICAL, ELECTRICAL, PLUMBING
- F. GUARDS (METAL AND GLASS) AT DECKS; LANDINGS; BALCONIES AND WALKWAYS





**OPEN SPACE REQUIREMENTS / PROVIDED**

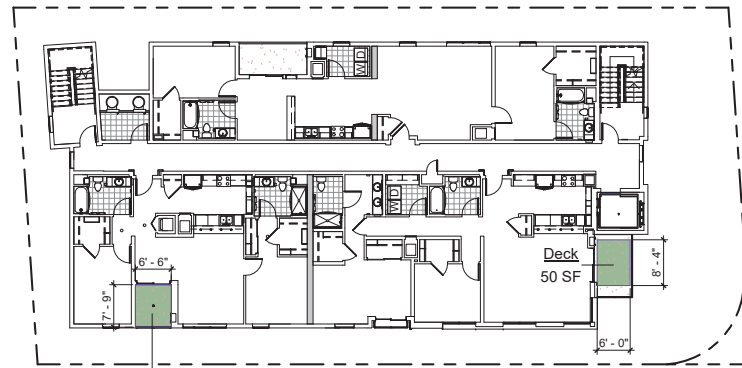
REQUIRED OPEN SPACE:  
 <3 HABITABLE ROOMS = 100 SF  
 =3 HABITABLE ROOMS = 125 SF  
 >3 HABITABLE ROOMS = 175 SF  
 COMMON OPEN SPACE: MIN. 15' x 15' AND 400 SF, MIN. 50% OF REQ'D.  
 PRIVATE OPEN SPACE: MIN. 6' x 6', MAX. 50 SF/UNIT  
 AMENITY SPACE: MIN. 15' x 15' AND 600 SF

OPEN SPACE REQ'D.  
 PER LAMC 12.21 G:  
 <3 HABITABLE ROOMS (08) 1-BEDROOM UNITS x 100 SF = 800 SF  
 =3 HABITABLE ROOMS (12) 2-BEDROOM UNITS x 125 SF = 1500 SF  
**TOTAL 2300 SF**

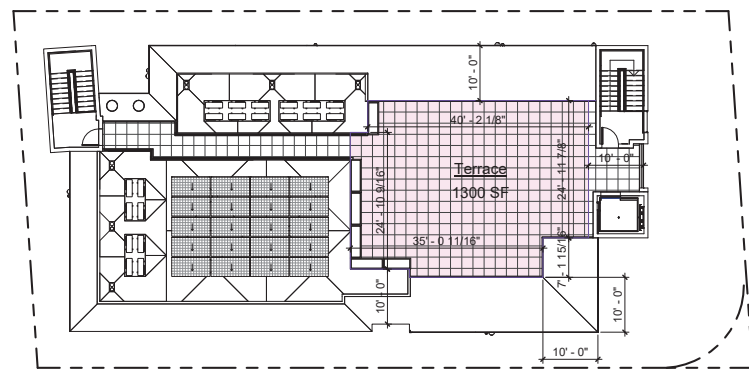
OPEN SPACE PROVIDED:  
 COMMON OPEN SPACE: ROOF TERRACE = 1300 SF  
 PRIVATE OPEN SPACE: DECK (10 x 50 SF) = 500 SF  
 AMENITY SPACE: RECREATION ROOM = 575 SF  
**TOTAL 2375 SF**

- OPEN SPACE AMENITIES:
1. BARBEQUE WITH OUTDOOR DINING TABLE AND CHAIRS
  2. ROOFTOP BAR WITH STOOLS
  3. OUTDOOR LOUNGE SEATING WITH FIREPIT

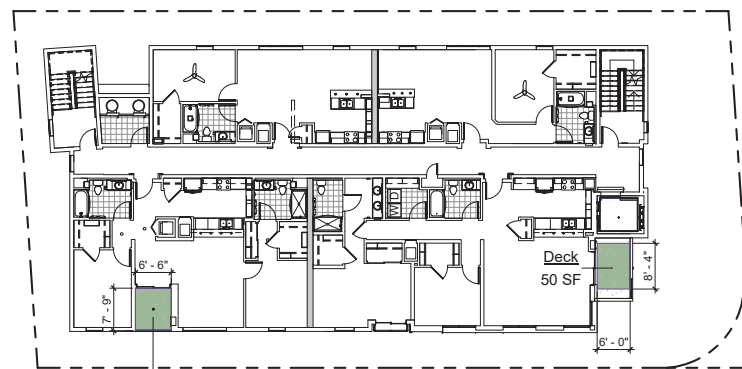
Open Space Schedule	
Name	Area
Deck	500 SF
RECREATION ROOM	575 SF
Terrace	1300 SF
<b>TOTAL</b>	<b>2375 SF</b>



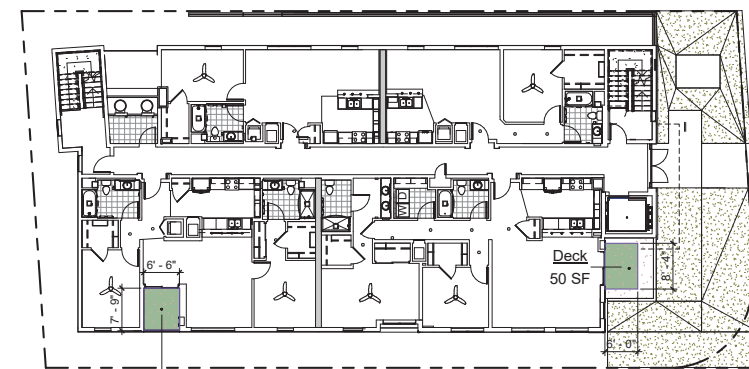
5TH FLR SCALE: 1/16" = 1'-0" 5



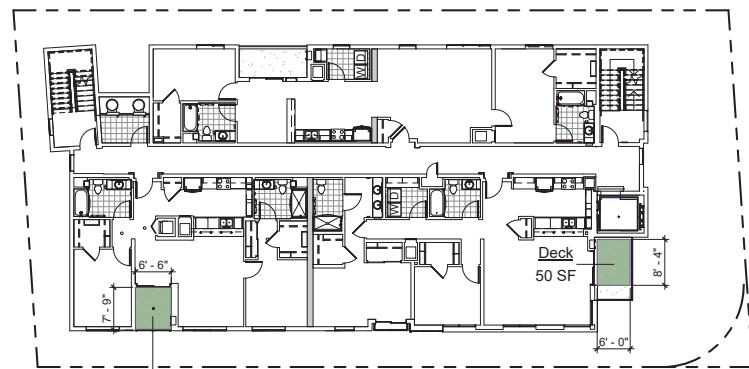
ROOF SCALE: 1/16" = 1'-0" 7



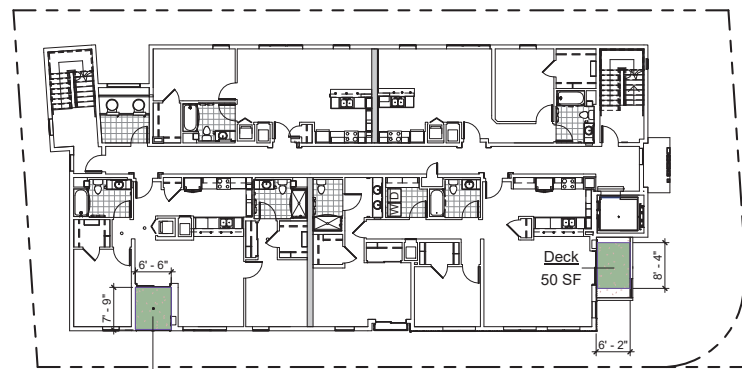
4TH FLR SCALE: 1/16" = 1'-0" 4



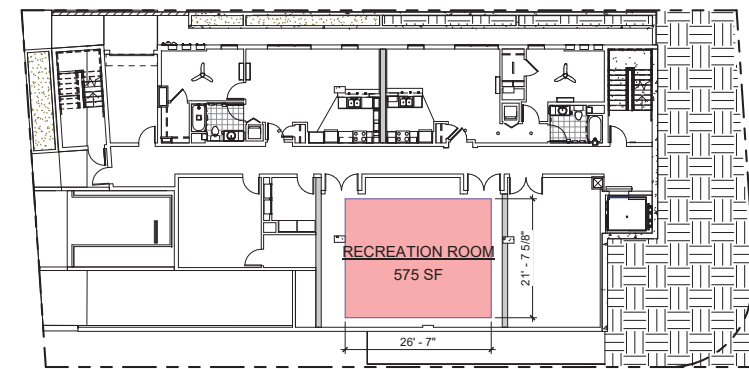
2ND FLR SCALE: 1/16" = 1'-0" 2



6TH FLR SCALE: 1/16" = 1'-0" 6



3RD FLR SCALE: 1/16" = 1'-0" 3



1ST FLR SCALE: 1/16" = 1'-0" 1



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**OPEN SPACE CALCULATIONS**

REVISION	NO
TOC 4/15/21	
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Date: 10/03/18  
 Scale: 1/16" = 1'-0"  
 By: SOB  
 Project No: 2019

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## GENERAL NOTES

01. GARAGE LEVEL AND 1ST FLOOR ARE TYPE I-A CONSTRUCTION. ALL BEARING AND NON-BEARING PARTITIONS TO BE CONSTRUCTED WITH NON-COMBUSTIBLE MATERIALS.
02. UNIT EXTERIOR WALLS MAY VARY BY FLOOR. COORDINATE WITH BUILDING PLAN SHEETS A-2.02 TO A-2.08, EXTERIOR ELEVATION SHEETS A-4.01 & A-4.02, AND BUILDING SECTION SHEETS, A-3.01 THRU A-3.03.
03. SEE SHEET A-6.01 FOR DOOR SCHEDULE AND SHEET A-6.02 FOR WINDOW SCHEDULE FOR MORE INFORMATION.
04. SEE SHEETS A-6.03 TO A-6.05 FOR WALL AND FLOOR TYPE ASSEMBLIES.
05. SEE ENLARGED PLAN SHEETS A-5.01 TO A-5.08 FOR MORE INFORMATION.
06. ALL ROOFS, COMMON & DWELLING UNIT DECKS TO BE SLOPED TO DRAIN AT 1/4" PER LINEAR FOOT.
07. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE/CMU OR CENTERLINE OF COLUMNS AND DEMISING WALLS U.N.O.
08. FOR EXTERIOR WATERPROOFING DETAILS SEE SHEETS A-10.01 TO A-10.06.
09. BUILDING TO BE EQUIPPED WITH NFPA 13 AUTOMATIC SPRINKLER SYSTEM THROUGHOUT.
10. ALL EXTERIOR EXIT DOORS TO BE 1-HR FIRE RATED ASSEMBLIES U.N.O.
11. PROVIDE PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 10BC FOR KITCHEN, ELECTRICAL ROOM, MECHANICAL ROOM, AND PARKING GARAGE.
12. SEE FLOOR PLANS SHEETS A-2.01 TO A-2.08 FOR WALL TYPES.
13. FLOOR SLOPES AT ACCESSIBLE PARKING NOT TO EXCEED 2% U.N.O.
14. LOCATE ALL DOORS 4" OFF ADJACENT WALL U.N.O.
15. ALL WASHING MACHINES AND CLOTHES DRYERS TO COMPLY WITH 1135A, CBC.
16. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBBS.
17. FOR SITES WITH OVER 500 SF OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM CLOTHES WASHERS, BATHTUBS, SHOWERS AND BATHROOM/RESTROOM WASH BASINS TO BE USED FOR A FUTURE GRAYWATER IRRIGATION SYSTEM.
18. WATER USED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY RECYCLE WATER IF AVAILABLE FOR USE WITHIN 300 FEET OF THE PROPERTY LINE.
19. WHERE GROUND WATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR ON SITE RE-USE OF THE GROUNDWATER SHALL BE DEVELOPED AND CONSTRUCTED SO GROUNDWATER WILL NOT BE DISCHARGED TO THE SEWER.
20. AUTOMATIC LANDSCAPE IRRIGATORS SHALL BE INSTALLED IN SUCH A WAY THAT IT DOES NOT SPRAY ONTO THE BUILDING.
21. NO OBSTRUCTIONS PERMITTED WITHIN THE 90 DEGREE TURN DIAGRAMS.
22. PROVIDE 27'-4" OF BACKUP/ACCESS ASILE FOR A 8'-6" WIDE PARKING STALL.
23. PROVIDE PARKING STRIPING THROUGHOUT THE PARKING LOT PER 12.21A(5)(L).
24. DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5.
25. ALL LONG TERM BIKE STORAGE IS IN THE PARKING GARAGE.

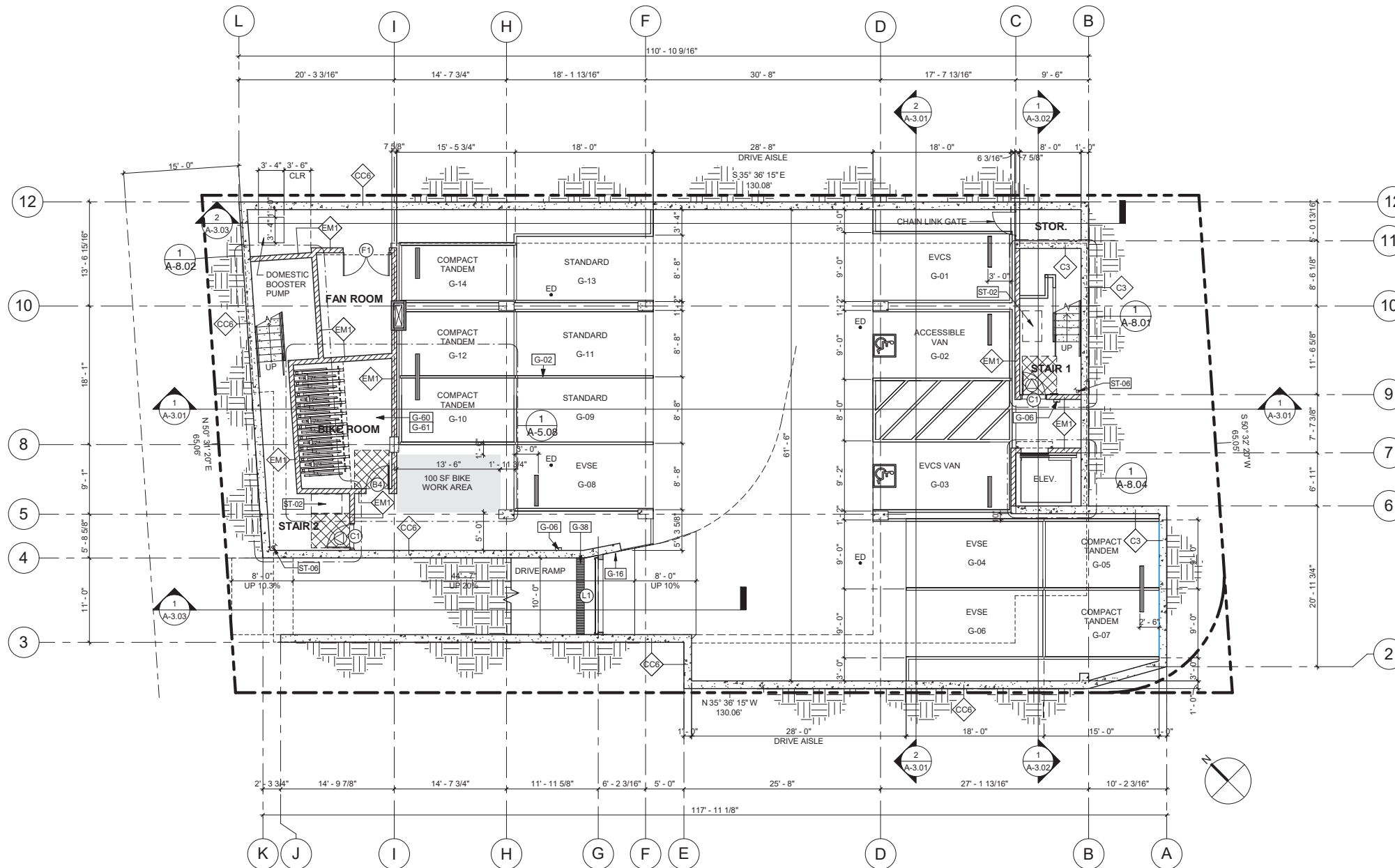
## KEYNOTES

G-02	DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21 A5 CHART No. 5
G-06	FIRE EXTINGUISHER CABINET AT 40°F. F.F. TO OPERABLE LATCH. VERIFY LOCATIONS WITH FIRE INSPECTOR. SEE GENERAL EGRESS NOTES. SEE DETAIL 13/A-9.05.
G-16	KEYPAD FOR RESIDENTIAL ACCESS TO GATE
G-38	TRENCH DRAIN. SEE PLUMBING DRAWINGS
G-60	PROVIDE ADEQUATE LIGHTING TO ENSURE SAFE ACCESS TO BICYCLE PARKING FACILITIES.
G-61	WHERE BICYCLE PARKING IS NOT CLEARLY VISIBLE FROM STREET, LEGIBLE REFLECTORIZED SIGNS SHALL BE PERMANENTLY POSTED AT THE STREET ENTRANCES TO EACH SITE INDICATING THE AVAILABILITY AND LOCATION OF BICYCLE PARKING WITHIN THE SITE IN SECTION 12.21A.16(e)(4).
ST-02	AREA OF REFUGE PER CBC 1009.3.3 WITH TWO-WAY COMMUNICATION SYSTEM PER CBC 1009.6.5.
ST-06	COMBINATION CLASS I STANDPIPE 150FT MAX TO EVERY UNIT DOOR. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION

## LEGEND

	MECHANICAL OUTSIDE AIR VENT		SLOPE TO DRAIN @ 1/4" PLF, MIN.
	MECHANICAL EXHAUST VENT		DIRECTION OF TRAVEL
	5' DIAMETER WHEELCHAIR MANEUVERING SPACE		CM CARBON MONOXIDE DETECTOR/ALARM
	ILLUMINATED EXIT SIGN		PROVIDE DOOR PANIC HARDWARE ON PUSH SIDE IN DIRECTION OF TRAVEL
	ELECTRICAL VEHICLE CHARGER		KF KEY FOB
	ACCESSIBLE PATH OF TRAVEL. CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE A SLOPED SURFACE NOT GREATER THAN 1/20 (5%) OR CURB RAMP, RAMP, ELEVATOR, OR PLATFORM LIFT, AND MAINTAIN A CROSS SLOPE OF LESS THAN 2%.		
	NON-RATED WALLS, DOOR ASSEMBLIES		
	CORRIDOR WALLS 1-HR FIRE RATED SEPARATION WALL PER CBC TABLE 1018.1. 20 MIN. RATED DOOR ASSEMBLY PER CBC TABLE 716.5		
	1-HR FIRE RATED DWELLING UNIT SEPARATION WALL ASSEMBLY PER CBC 420, 709		
	2-HR FIRE RATED ASSEMBLY PER CBC 708. 90 MIN. RATED DOOR ASSEMBLY PER CBC TABLE 716.5		
	2-HR FIRE RATED EXTERIOR WALL ASSEMBLY WITH FIRE TREATED WOOD PER CBC TABLE 601. 90 MIN. RATED DOOR ASSEMBLY PER CBC TABLE 716.5		
	2-HR FIRE BARRIER ASSEMBLY PER CBC SEC. 707		
	3-HR FIRE RATED N.C. WALL ASSEMBLY PER CBC TABLE 508.4. 60 MIN. RATED DOOR ASSEMBLY PER CBC TABLE 716.5		

GARAGE SCALE: 1/8" = 1'-0" 1



dfh architecture interiors entitlements

Apartments  
10285 W Missouri Avenue  
Los Angeles, CA 90025

GARAGE LEVEL PLAN

REVISION	NO
TOC 4/15/21	
TOC 10/12/22	

Date: 10/02/18  
Scale: As indicated  
By: SOB  
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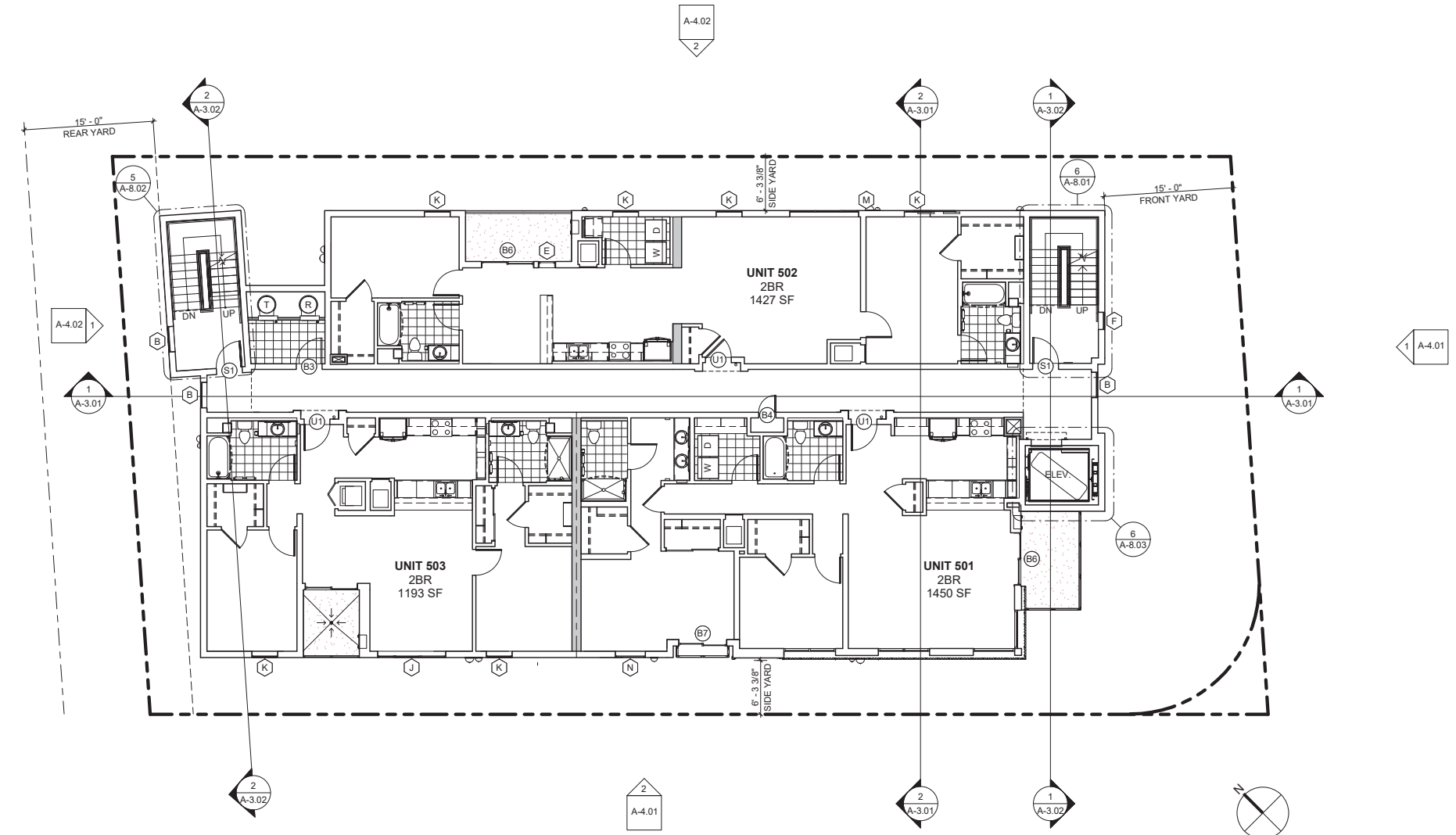


**GENERAL NOTES**

01. GARAGE LEVEL AND 1ST FLOOR ARE TYPE I-A CONSTRUCTION. ALL BEARING AND NON-BEARING PARTITIONS TO BE CONSTRUCTED WITH NON-COMBUSTIBLE MATERIALS.
02. UNIT EXTERIOR WALLS MAY VARY BY FLOOR. COORDINATE WITH BUILDING PLANS SHEETS A-2.02 TO A-2.08, & EXTERIOR ELEVATIONS SHEETS A-4.01 & A-4.04.
03. SEE SHEET A-6.01 FOR DOOR SCHEDULE AND SHEET A-6.02 FOR WINDOW SCHEDULE FOR MORE INFORMATION.
04. SEE SHEETS A-6.03 TO A-6.05 FOR WALL AND FLOOR TYPE ASSEMBLIES.
05. SEE ENLARGED PLAN SHEETS A-5.01 TO A-5.08 FOR MORE INFORMATION.
06. ALL ROOFS, COMMON & DWELLING UNIT DECKS TO BE SLOPED TO DRAIN AT 1/4" PER LINEAR FOOT.
07. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE/MASONRY OR CENTERLINE OF COLUMNS OR DEMISING WALLS.
08. FOR EXTERIOR WATERPROOFING DETAILS SEE SHEETS A-10.01 TO A-10.06.
09. BUILDING TO BE EQUIPPED WITH NFPA 13 AUTOMATIC SPRINKLER SYSTEM THROUGHOUT.
10. ALL EXTERIOR EXIT DOORS TO BE 1-HR FIRE RATED ASSEMBLIES U.N.O.
11. PROVIDE PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 10BC FOR KITCHEN, ELECTRICAL ROOM, MECHANICAL ROOM, AND PARKING GARAGE.
12. SEE FLOOR PLANS SHEETS A-2.01 TO A-2.08 FOR WALL TYPES.
13. FLOOR SLOPES AT ACCESSIBLE PARKING NOT TO EXCEED 2% U.N.O.
14. LOCATE ALL DOORS 3-1/2" OFF ADJACENT WALL U.N.O.
15. ALL WASHING MACHINES AND CLOTHES DRYERS TO COMPLY WITH 1135A, CBC.
16. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBBS.
17. FOR SITES WITH OVER 500 SF OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM CLOTHES WASHERS, BATHTUBS, SHOWERS AND BATHROOM/RESTROOM WASH BASINS TO BE USED FOR A FUTURE GRAYWATER IRRIGATION SYSTEM.
18. WATER USED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY RECYCLE WATER IF AVAILABLE FOR USE WITHIN 300 FEET OF THE PROPERTY LINE.
19. WHERE GROUND WATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR THE GROUNDWATER WILL NOT BE DISCHARGED TO THE SEWER.
20. AUTOMATIC LANDSCAPE IRRIGATORS SHALL BE INSTALLED IN SUCH A WAY THAT IT DOES NOT SPRAY ONTO THE BUILDING.
21. NO OBSTRUCTIONS PERMITTED WITHIN THE 90 DEGREE TURN DIAGRAMS.
22. PROVIDE 27"-4" OF BACKUP/ACCESS ASILE FOR A 8'-6" WIDE PARKING STALL.
23. PROVIDE PARKING STRIPING THROUGHOUT THE PARKING LOT PER 12.21A5(L).
24. DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5.
25. ALL LONG TERM BIKE STORAGE IS IN THE PARKING GARAGE.

**KEYNOTES**

**LEGEND**



Apartment  
 10285 W Missouri Avenue  
 Los Angeles, CA 90025

5TH FLOOR PLAN

REVISION	NO
TOC 4/15/21	
TOC 10/12/22	
TOC 3/21/23	

Date: 06/02/21  
 Scale: 1/8" = 1'-0"  
 By: SOB  
 Project No: 2019  
 Page No: A-2.06  
 OF

3/21/2025 12:00:01 PM



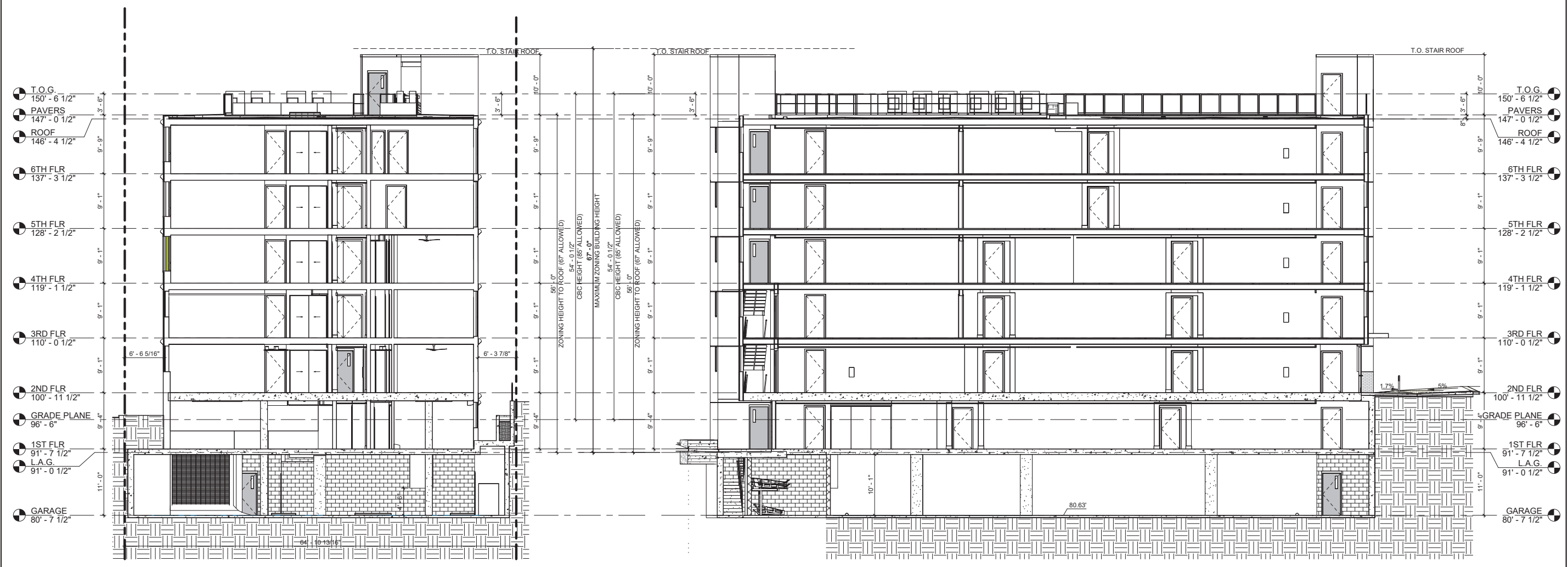




**BUILDING SECTIONS**

REVISION	NO
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TOC 10/12/22	

Date: 10/04/18  
 Scale: 1/8" = 1'-0"  
 By: SOB  
 Project No: 2019  
 Page No: A-3.01  
 OF



BLDG SECTION 2 SCALE: 1/8" = 1'-0" 2

BLDG SECTION 1 SCALE: 1/8" = 1'-0" 1

6/19/2023 8:09:31 AM



KEYNOTES

**EXHIBIT "A"**  
 Page No. 16 of 26  
 Case No. DIR-2023-208-TOC-HCA

344 20th Street 5th Fl. CA  
 +1310.394.4045  
 info@dfh.com  
 www.dfh.com



Apartments  
 10285 W Missouri Avenue  
 Los Angeles, CA 90025

DRIVE RAMP SECTION

REVISION	NO
TOC 4/15/21	
TOC 10/12/22	

Date: 05/20/21

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By: SOB

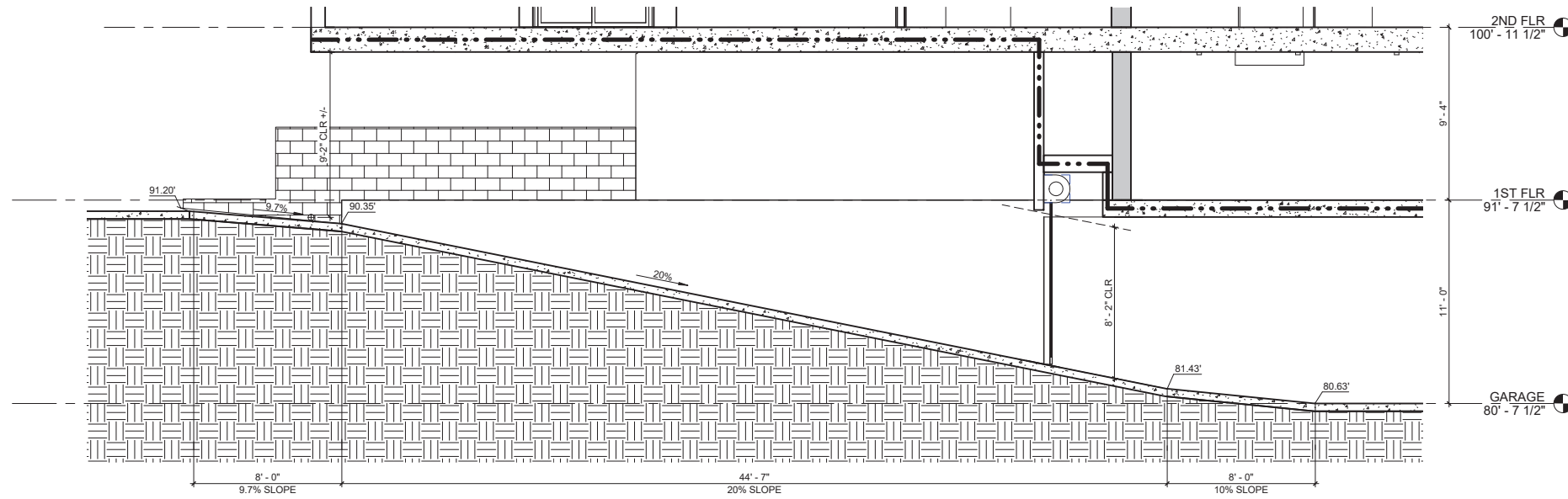
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2019

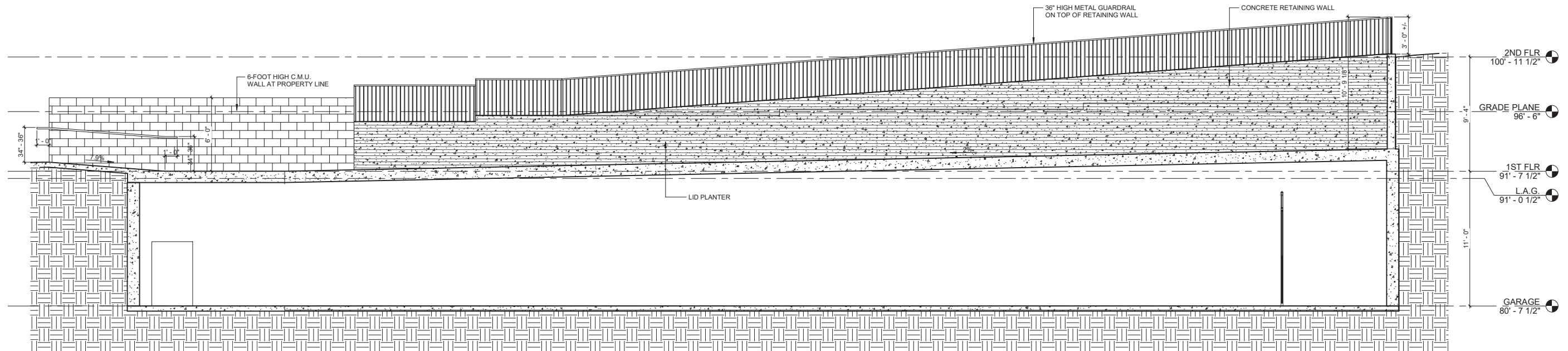
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A-3.03

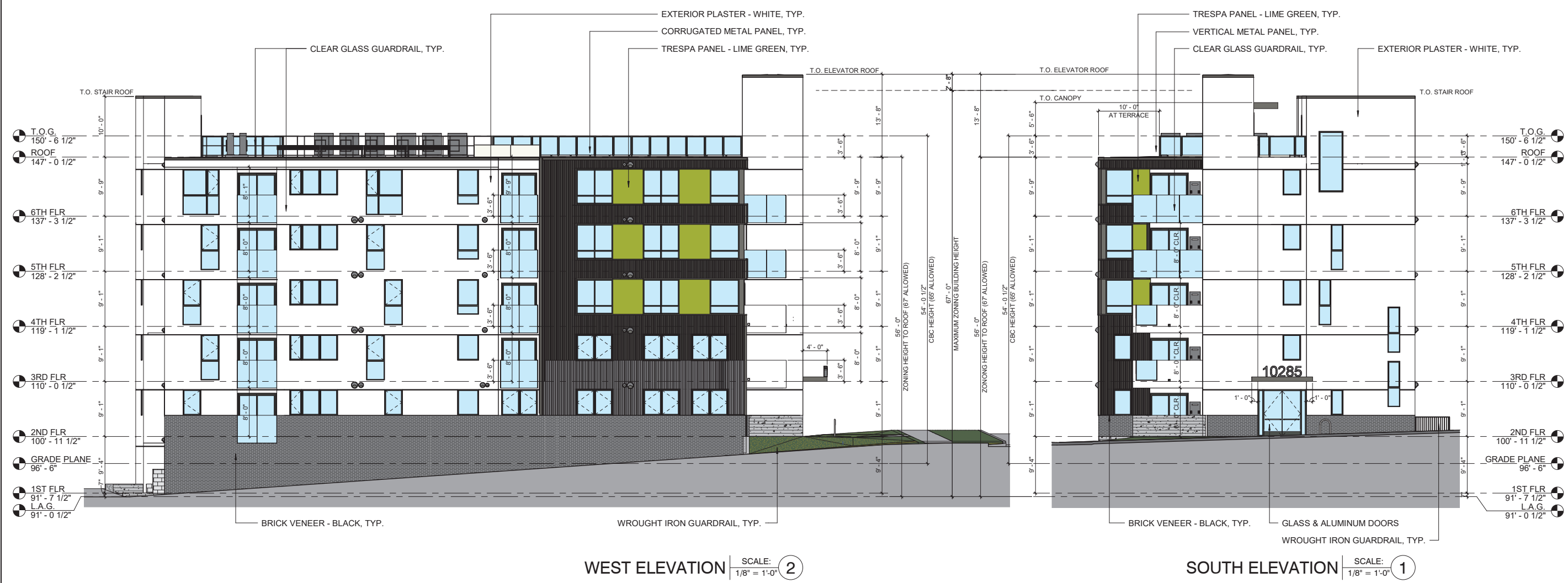
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DRIVE RAMP SECTION SCALE: 1/4" = 1'-0" 1



SECTION AT RETAINING WALL SCALE: 1/4" = 1'-0" 2



STEEL TROWEL EXT. PLASTER - WHITE

TRESPA PANEL - LIME GREEN

BRICK VENEER - BLACK  
 ENDICOTT - THIN BRICK  
 DARK IRONSPOT

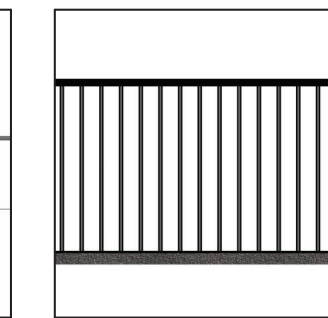
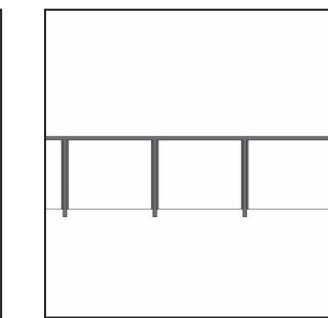
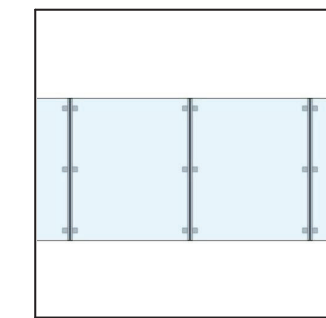
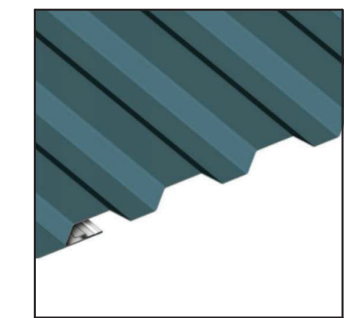
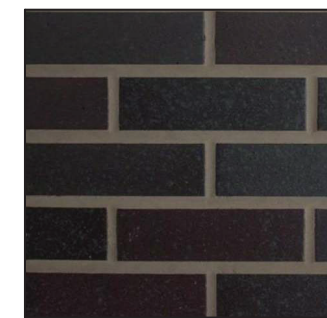
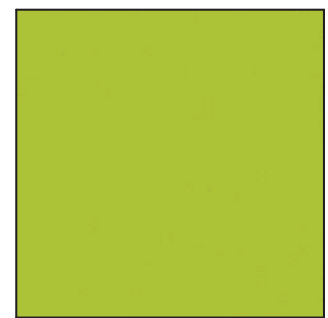
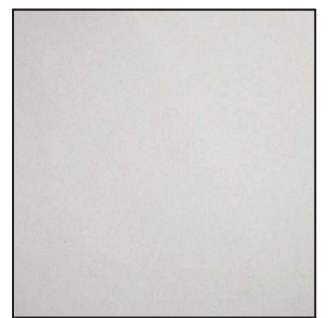
VERTICAL METAL PANEL - GRAY  
 ATAS INTERNATIONAL - RIGID WALL  
 CHARCOAL GREY

BOARD FORMED CONCRETE

CLEAR GLASS GUARDRAIL

WHITE FROSTED GLASS GUARDRAIL

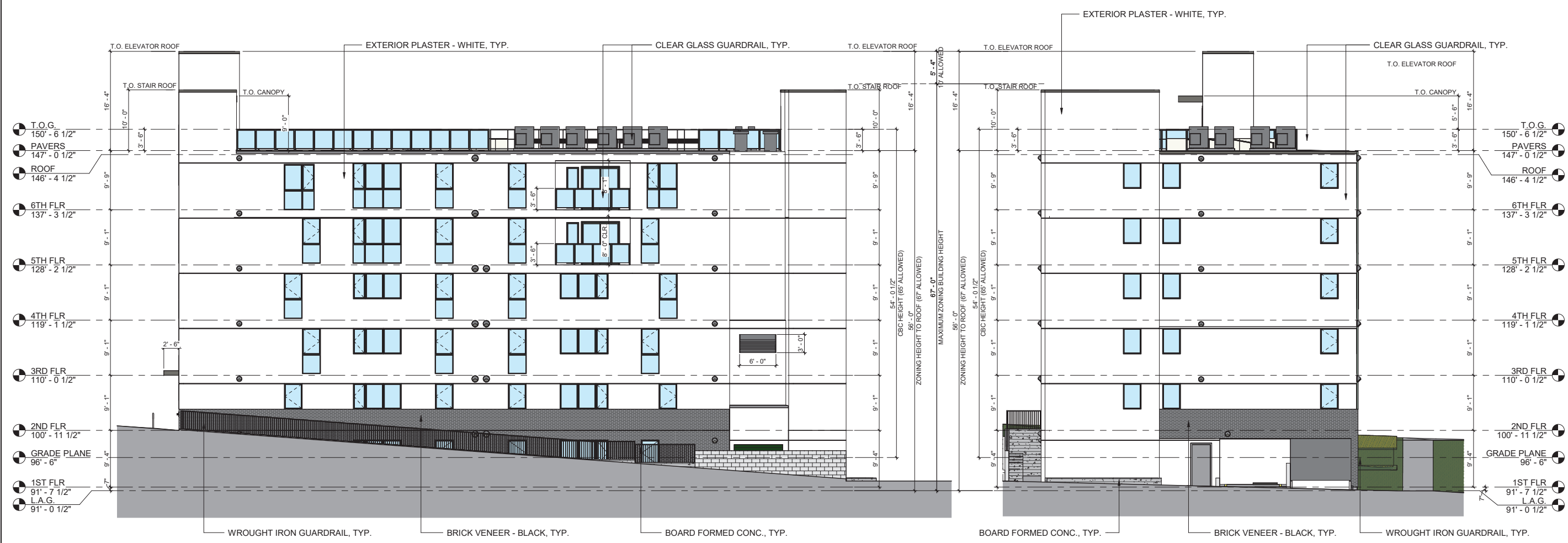
WROUGHT IRON GUARDRAIL



REVISION	NO
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TOC 10/12/22	

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 By: SOB  
 Project No: 2019  
 Page No: A-4.01  
 OF

REVISION	NO
TOC 4/15/21	
TOC 10/12/22	



**EAST ELEVATION** SCALE: 1/8" = 1'-0" ②

**NORTH ELEVATION** SCALE: 1/8" = 1'-0" ①



# 10285 MISSOURI

10285 W MISSOURI AVENUE, LOS ANGELES, CA 90025

LANDSCAPE CONSTRUCTION SUBMITTAL 100%

**EXHIBIT "A"**  
 Page No. 19 of 26  
 Case No. DIR-2023-208-TOC-HCA

KSA Inc.  
 Landscape Studio  
 P: 310 574 4460  
 F: 310 574 4462  
 4150 Wilshire Boulevard  
 Culver City, CA 90232

dfh  
 architecture  
 interiors  
 entitlements

Apartments  
 10285 W Missouri Avenue  
 Los Angeles, CA 90025

COVER SHEET

CD 50%

Date: 04/20/2023

Scale:

By:

Project No:

Page No:

L-0.0  
 OF

### DESCRIPTION OF SCOPE OF WORK:

- 1 NEW SIDEWALK ON FOX HILL DRIVE & MISSOURI AVENUE WITH (6) PROPOSED STREET TREES
- 2 NEW LANDSCAPING AT THE ALLEY AND CORRIDOR
- 3 NEW LANDSCAPE ON GROUND LEVEL WITH BIKE RACK AND (4) NEW TREES
- 4 NEW LANDSCAPE ON ROOF LEVEL WITH LOUNGE AREA AND (4) NEW TREES

### LEGAL DESCRIPTION

**PROJECT ADDRESS**  
 10285 WEST MISSOURI AVENUE, LOS ANGELES, CA 90025

\*NOTE: THIS PROJECT IS 100% PRIVATELY FUNDED

### LEGAL DESCRIPTION

BLOCK: 34  
 LOT: 4  
 MAP: MB 79-98/99 OF LOS ANGELES COUNTY RECORDS  
 TRACT: 7260  
 APN: 4319-009-051  
 PIN: 132B 157 499  
 LOT AREA: 8,471.9 SQ. FT.  
 ZONING: R3-1-0

### PROJECT DESCRIPTION

6-STORY APARTMENT BUILDING WITH 5 FLOORS OF TYPE III-A RESIDENTIAL APARTMENTS OVER 1-STORY TYPE I-A RESIDENTIAL APARTMENTS OVER 1-LEVEL TYPE I-A SUBTERRANEAN GARAGE.

### OWNER:

Fox Hills Development Group, LLC  
 1000 N. Sepulveda Blvd. #180  
 Manhattan Beach, CA 90266  
 (310) 466-4841  
 Attn: George Apostol

### ARCHITECT:

DFH Architects, LLP  
 1544 20th Street  
 Santa Monica, CA 90404  
 (310)394-4045  
 Attn: Tracy Lovarway  
 Attn: John Whitcomb

### METHANE:

Terra-Petra  
 700 S. Flower St., Suite 2580  
 Santa Monica, CA 90404  
 (213) 458-0494  
 Attn: Justin Conaway

### STRUCTURAL:

Labib Funk + Associates  
 319 Main Street  
 El Segundo, CA 90245  
 (213) 239-9700  
 Attn: (Structure)  
 Attn: (Shoring)  
 Attn: (Civil)

### LANDSCAPE ARCHITECT:

KSA Inc. Landscape Architecture and Planning  
 4212 1/2 Glencoe Avenue  
 Marina Del Rey, CA 90292  
 (310) 574-4460  
 Attn: Jake Patton

### MECHANICAL/ELECTRICAL/PLUMBING:

Alliance Energy Partners  
 5847 Wilbur Ave.  
 Tarzana, CA 91356  
 (818) 921-4757  
 Attn: Kevin Shamim

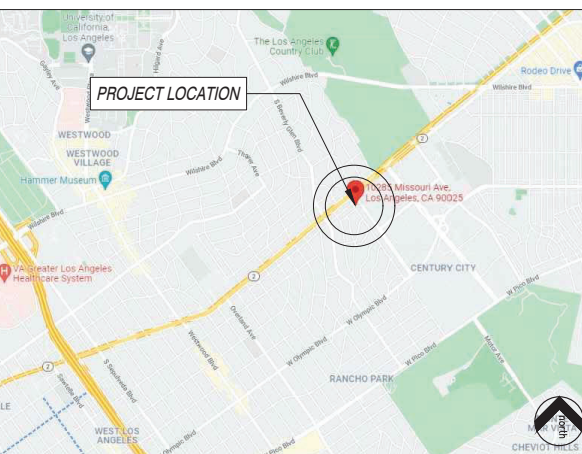
### SOILS:

Geosystems, Inc.  
 1545 Victory Blvd. 2ND Flr.  
 Glendale, CA 91201-9240  
 (818) 500-9533  
 Attn: Sean Chi-Hsin Lin

### LAND USE CONSULTANT:

Howard Robinson & Associates  
 680 S. Figueroa St., Suite 1780  
 Los Angeles, CA 90017  
 (310) 838-0180  
 Attn: Sue Steinberg

SCALE: 1/64" = 1'-0"



VICINITY MAP

N.T.S.

PROJECT INFORMATION

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND LANDSCAPE REGULATIONS AND HEREBY SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

*J.P.* 09-14-21  
 SIGNATURE DATE

SHEET INDEX

ABBREVIATIONS

DRAWING SYMBOLS

ROOF LEVEL

GROUND LEVEL

SITE PLAN

KEYNOTE CALLOUT

WORK POINT OR DATUM POINT

MATCH LINE

DETAIL CALLOUT

ENLARGED PLAN CALLOUT

NEW TREE BOX SIZE

TREE TYPE REFERENCE SEE PLANTING SCHEDULE

TREE CANOPY

GRID LINES

SECTION CALLOUT

BREAK LINE

REVISION CLOUD

LIMIT OF WORK

EXPANSION JOINT

GROUND COVER TYPE SEE PLANTING SCHEDULE

ALTERNATE ITEM (BIDDING ONLY)

SYMBOL DESCRIPTION

AGG. AGGREGATE

ALT. ALTERNATE

A.B. ANCHOR BOLT & ANGLE

APP. APPROXIMATE

A.D. AREA DRAIN

ASPH. ASPHALT

@ BEGINNING OF CURVE

BC BEAM

BLK. BLOCK

BOT. BOTTOM

B.O.W. BOTTOM OF WALL

BLDNG. BUILDING

C.B. CATCH BASIN

CENT. CENTER

CER. TILE CERAMIC TILE

CLR. CLEAR

COL. COLUMN

CONC. CONCRETE

CONST. CONSTRUCTION

CONT. CONTINUOUS

C.J. CONTROL JOINT

DET. DETAIL

DIA. DIAMETER

DN. DOWN

DRWG. DRAWING

E. EAST

(E) EXISTING

EA. EACH

EC. END OF CURVE

EL. ELEVATION

ELEC. ELECTRICAL

ENCL. ENCLOSURE

ENG. ENGINEER

EQ. EQUAL

EQUIP. EQUIPMENT

EXPAN. EXPANSION

E.J. EXPANSION JOINT

EXT. EXTERIOR

FT. FEET

F.J. FLOOR JOIST

F.F. FINISH FLOOR

FTG. FOOTING

GALV. GALVANIZED

GA. GAUGE

GR. GRADE

GRND. GROUND

HRDWRE. HARDWARE

HT. HEIGHT

H.P. HIGH POINT

HOR. HORIZONTAL

H.B. HOSE BIBB

I.D. INCH

IN. INSIDE DIAMETER

INT. INTERIOR

INV. INVERT

JNT. JOINT

L.P. LOW POINT

LT. LIGHT

MH. MANHOLE

MC. MID POINT OF CURVE

MAN. MANUFACTURER

M.O. MASONRY OPENING

MAT. MATERIAL

MAX. MAXIMUM

MECH. MECHANICAL

MEMB. MEMBRANE

MTL. METAL

MIN. MINIMUM

MISC. MISCELLANEOUS

MTD. MOUNTED

N/A N/A

(N) NEW

NOM. NOMINAL

N.I.C. NOT IN CONTRACT

N.T.S. NOT TO SCALE

NO. NUMBER

O.C. ON CENTER

O.D. OUTSIDE DIAMETER

OVER. OVER

OPEN. OPENING

OPP. OPPOSITE

PC. POINT ALONG CURVE

PR. PAIR

PNTD. PAINTED

PL. PLATE

PLYWD. PLYWOOD

PT. PRESSURE TREATED

P.I.P. POURED IN PLACE

QNTY. QUANTITY

Q.T. QUARRY TILE

R. RADIUS

REF. REFERENCE

REINF. REINFORCED

REQ. REQUIRED

RISER RISER

ROOM ROOM

R.O. ROUGH OPENING

SHT. SHEET

SIM. SIMILAR

SPEC. SPECIFICATION

SO. SQUARE

S.F. SQUARE FEET

STAND. STANDARD

STA. STATION

ST. STEEL

STRUCT. STRUCTURAL

SYM. SYMMETRICAL

T&B TOP AND BOTTOM

THK. THICK

T.O.CONC. TOP OF CONCRETE

T.O.C. TOP OF CURB

T.O.P. TOP OF PAVEMENT

T.O.W. TOP OF WALL

TREAD TREAD

TYP. TYPICAL

UNFIN. UNFINISHED

V.L.F. VERIFY IN FIELD

VERT. VERTICAL

W.I. WROUGHT IRON

W/ WITH

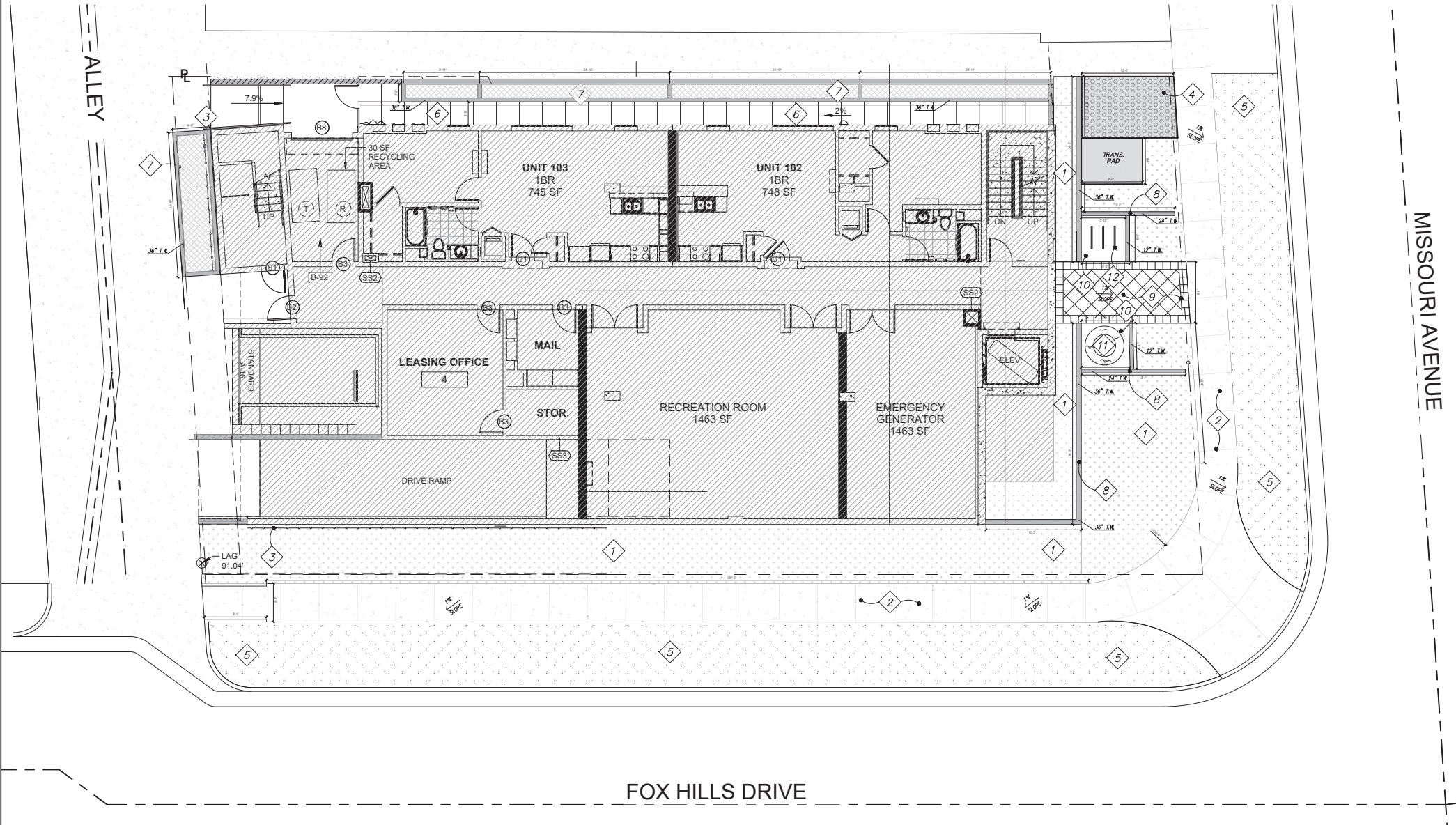
WD. WOOD

WTRPRF. WATERPROOF

WT. WEIGHT

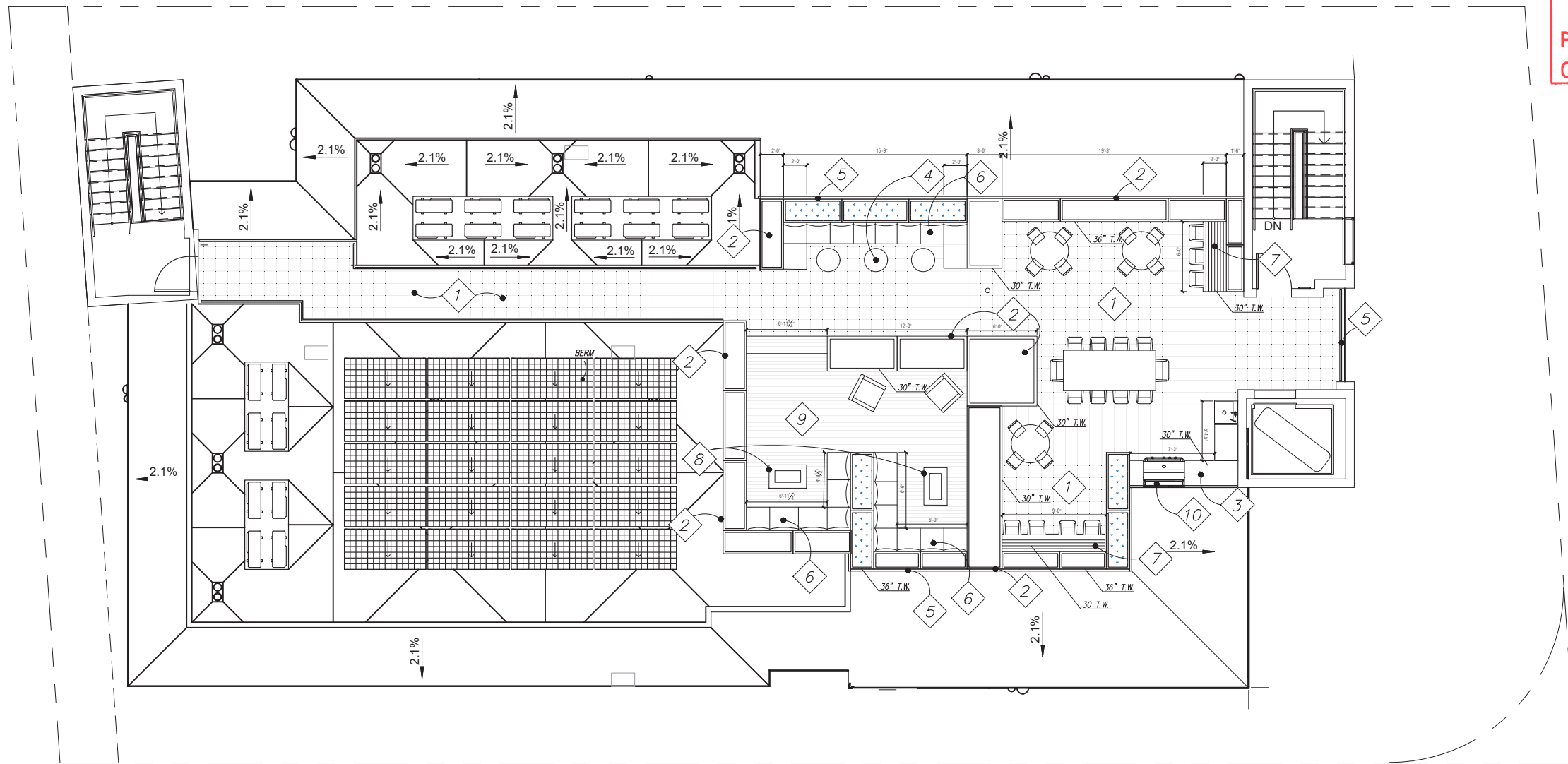
YD. YARD





*HARDSCAPE FINISH SCHEDULE*

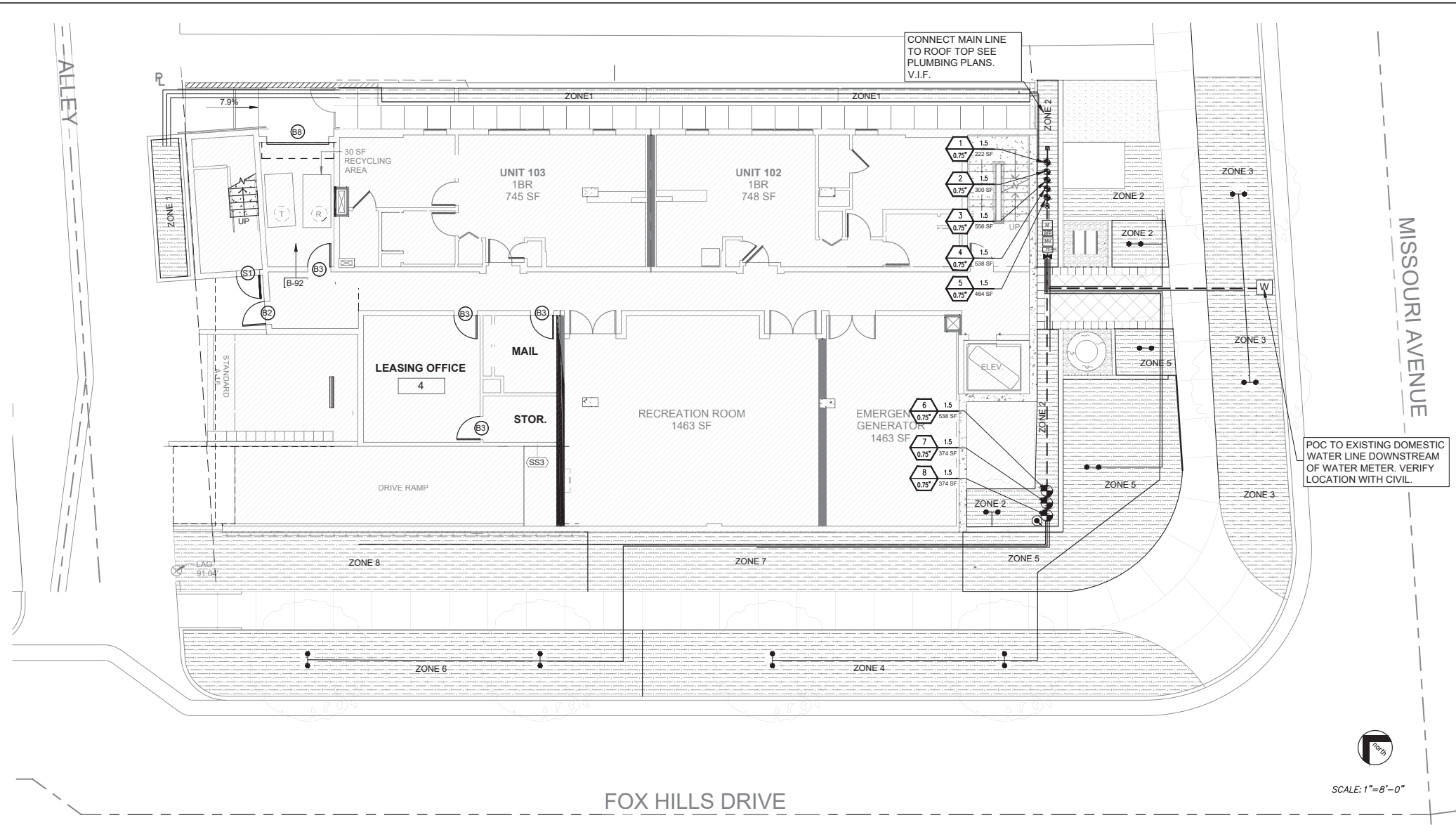
KEYNOTE	DESCRIPTION	SYMBOL	REMARK	DETAIL
1	PLANTING AREA. SEE PLANTING PLAN.		VERIFY SOIL DEPTH MIN. 18"	
2	SIDEWALK PAVING PER COMPLETE STREETS DESIGN GUIDE			
3	S.S. WIRE ROPE VINE TRAINING SYSTEM MFR: JAKOBS MODEL: F4 (WIRE AND ROD)		SIZE: TOP 48"50 / BOTTOM 40.5"50 / HT 36" / RW 4"	
4	TURF BLOCK MFR: ACKERSTONE MODEL: CHECKER BLOCK SIZE 24"x24"			
5	PROPOSED PARKWAY PLANTING AREA.		SEE PLANTING PLAN FOR DETAIL	
6	TILE PAVERS ON PEDESTAL SYSTEM MFR: ECO OUTDOOR SIZE: 36"x36"x1.5" COLOR: BLUESTONE			
7	ON STRUCTURE L.I.D. PLANTER 6" POURED IN PLACE CONC. WALLS - FINISH PER ARCH INTERIOR WATERPROOFED W/ FLUID APPLIED W.P.		CONC. FINISH PER ARCHITECT	
8	CMU BLOCK GARDEN WALL - HEIGHTS VAR.		SEE PLANTING PLAN FOR DETAIL	
9	P.I.P. CONCRETE SLAB W/ MORTAR SET NATURAL STONE FINISH: ECDOO/DOOR BLUESTONE 12" X 12" X 1"		SEE HARDSCAPE PLAN FOR DETAIL	
10	ROCK COBBLE MFR: SUNBURST DECORATIVE ROCK SIZE: 1/2" TO 3/4", COLOR: SALT & PEPPER			
11	CUSTOM BUILT-IN WATER FEATURE P.I.P. CONC. BASIN W/ DECORATIVE BUBBLER. SEE DETAIL			
12	BICYCLE RACK MFR: RELIANCE FOUNDRY, SERIES: R-8224-FL-SS SIZE: 35.5" DIA. FINISH: STAINLESS STEEL		MOUNT: DROP-IN ANCHOR, TAMPER PROOF INSTALL PER MFR. SPACING 24"-30"	



SCALE: 3/16" = 1'-0"

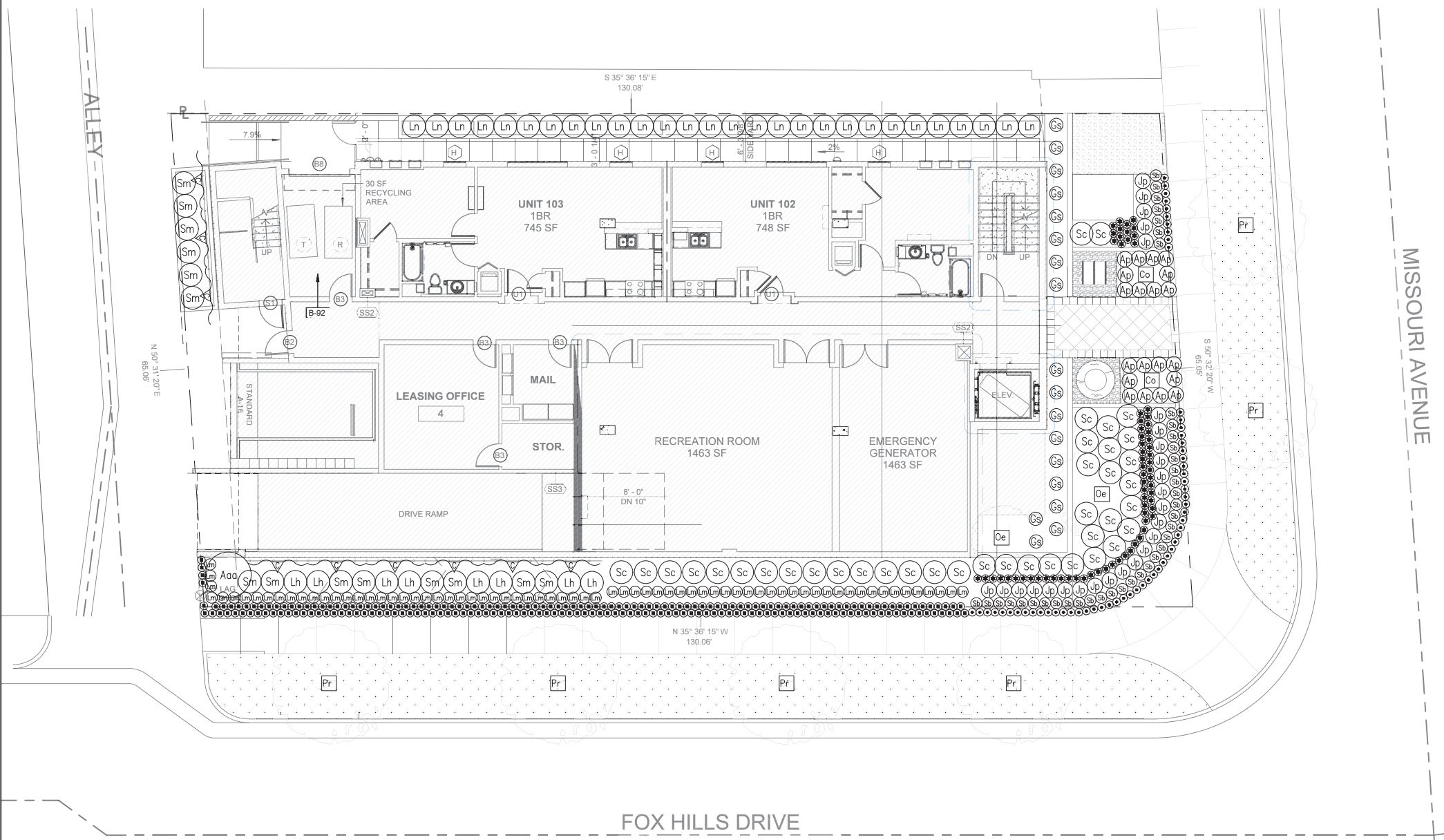
HARDSCAPE FINISH SCHEDULE

KEYNOTE	DESCRIPTION	SYMBOL	REMARK	DETAIL
1	TILE PAVERS ON PEDESTAL SYSTEM MFR: ECO OUTDOOR SIZE: 18" X 18" X 1.5" COLOR: BLUESTONE			
2	PREFABRICATED ULTRALIGHT PLANTERS, TYPICAL SYMBOL MFR: TOURNESOL MODEL: WILSHIRE SIZE: VARIOUS PER PLAN			
3	COOK CENTER AREA SEE ADDITIONAL DRAWINGS FOR INFORMATION			
4	CIRCULAR COFFEE TABLE MANF: TBD			
5	GLASS RAILING			
6	BUILT IN LOUNGE SET CMU CONSTRUCTION W/ CUSTOM CUSHIONS		TO BE DEVELOPED - SEE DETAILS	
7	CONCRETE COUNTER TOP NATURAL GREY FINISH, CLEAR SEALANT		SEE PLANTING PLAN FOR DETAIL	
8	PREFABRICATED FIRE-PIT CONCRETE - MAN: TBD			
9	WOOD DECKING ON PEDESTAL SYSTEM MFR: ECO OUTDOOR SIZE: 5 1/2" COLOR: MOUNTAIN ASH			
10	OUTDOOR GRILL			



SYMBOL	MANUFACTURER	MODEL NO. / DESCRIPTION	SYMBOL	MANUFACTURER	MODEL NO. / DESCRIPTION														
	RAIN BIRD	MASTER VALVE RAIN BIRD 1 1/2" BRASS VALVE		N/A	120 VOLT ELECTRICAL POWER FOR CONTROLLER, PROVIDED BY ELECTRICIAN, VERIFY ACTUAL LOCATION IN FIELD														
	RAIN BIRD	FLOW SENSOR RAIN BIRD FS150B 1 1/2" BRASS TEE FLOW SENSOR		LASCO	ALL FITTINGS USED WITH SOLVENT WELD MAINLINE PIPE SHALL BE SCH. 80 PVC FITTINGS, GRAY IN COLOR, AND SIZED TO MATCH THE THR MAINLINE PIPE. ALL FITTINGS USED WITH SOLVENT WELD LATERAL LINE PIPE SHALL BE SCH. 40 PVC, WRITE IN COLOR, AND SIZED TO MATCH THE LATERAL LINE PIPE. ALL THREADED PVC NIPPLES SHALL BE SCH. 80 PVC PIPE, DARK GRAY IN COLOR, WITH MOLDED THREADS.														
	NIBCO	T-113 CLASS 125, BRONZE GATE VALVE WITH HAND WHEEL (UP TO 2" SIZE) AND T-113-K CLASS 125, BRONZE GATE VALVE WITH BRONZE CROSS HANDLE (2 1/2" AND LARGER SIZES). FOR MAINLINE ISOLATION, LINE SIZE PER MAINLINE. INSTALL INSIDE A STANDARD RECTANGULAR VALVE BOX.		CHRISTY'S	ALL SOLVENT WELD CONNECTIONS FOR BOTH MAINLINE AND LATERAL LINE SHALL BE MADE USING THE TWO-STEP PROCESS OF PRIMER AND SOLVENT CEMENT. PRIMER SHALL BE LOW VOC "PURPLE PRIMER". MAINLINE SOLVENT CEMENT SHALL BE LOW VOC "GRAY HEAVY BODY" CEMENT. LATERAL LINE SOLVENT CEMENT SHALL BE LOW VOC "RED HOT BLUE GULF" CEMENT. USE DIABERS SIZED AT LEAST ONE-HALF THE SIZE OF THE LARGEST PIPE BEING JOINED. ALL SOLVENT CEMENTED JOINTS SHALL BE MADE PER THE PIPE AND FITTING MANUFACTURER'S RECOMMENDATIONS.														
	RAIN BIRD	44LRC 1" QUICK COUPLER VALVE WITH LOCKING VINYL COVER AND A LASCO G13S-218 SWING JOINT. INSTALL INSIDE A 10" ROUND VALVE BOX.		AS APPROVED	1 1/4" SCH. 40 PVC, GRAY ELECTRICAL CONDUIT FOR FLOW SENSOR WIRES AND CONTROL WIRES. PROVIDE PULL BOX AT A MAXIMUM OF 200 FEET ON CENTER FOR A 3 FOOT WIRE LOOP OR ANY SPLICES. INSTALL INSIDE A STANDARD RECTANGULAR VALVE BOX.														
	RAIN BIRD	ESP8XME - 8-STATION MODULAR IRRIGATION CONTROLLER CONNECTED TO RAINBIRD WR2RFC-48-WR2 ESP-SMT6 SMART CONTROL SYSTEM W/ LXMPED - NEW METAL PEDESTAL CABINET ESP-LX SERIES.		RAIN BIRD	P7072D DIRECT BURIAL IRRIGATION CONTROL CABLE (TWO-WIRE PATH) WITH TWO, PARALLEL, PVC INSULATED, SOLID COPPER CONDUCTOR IRRIGATION CONTROL WIRES, #14F SIZE, WITH A IMPREGNATED POLYETHYLENE, COLOR CODED JACKET. JACKET COLOR SHALL BE RED AND THE CONDUCTORS INSULATION SHALL BE RED AND BLACK. WHERE MULTIPLE CONTROLLERS ARE USED ON THE PROJECT, EACH CONTROLLER SHALL HAVE A CONTROL CABLE OF A DIFFERENT COLOR. THE CONTRACTOR SHALL ROUTE THE CONTROL CABLE FROM THE CONTROLLER ALONG THE MAINLINE IN ALL DIRECTIONS AWAY FROM THE CONTROLLER. LOOP THE CONTROL CABLE UP AND INTO EACH VALVE BOX ALONG THE MAINLINE, PROVIDING A 3 FOOT MINIMUM LOOP IN EACH VALVE BOX.														
	LOCAL AGENCY	NEW WATER METER DEDICATED TO THE NEW IRRIGATION SYSTEM AS SPECIFIED ON PLAN.		DBRY-6 DIRECT BURIAL (I.L. APPROVED) WATER-PROOF WIRE CONNECTORS FOR USE ON ALL WIRE SPLICES AND CONNECTIONS															
	RAIN BIRD	WR2RFC-48-WR2 WIRELESS RAINFREEZE SENSOR, AS PART OF CONTROLLER ASSEMBLY. MOUNT WIRELESS RECEIVER IN ENCLOSURE ON THE SIDE OF THE CONTROLLER, WIRE TO THE CONTROLLER.		NDS (K.B.I.)	KSC-XXX-S SWING CHECK VALVE, LATERAL LINE SIZE. INSTALL ONE (1) ON THE DOWNSTREAM SIDE OF EACH RCV WHEN THE RCV IS LOWER THAN THE SPRINKLERS, BUBBLERS OR DRIP EMITTERS. INSTALL WITHIN SPRINKLER / BUBBLER / DRIP ZONES AS REQUIRED TO PREVENT LOW HEAD DRAINAGE.														
	RAIN BIRD	HIGH FLOW COMMERCIAL CONTROL ZONE KITS W/ 2 PRESSURE REGULATING, BASKET FILTERS		NDS (K.B.I.)	KC-XXX-S SPRING CHECK VALVE, LATERAL LINE SIZE. INSTALL ONE (1) ON THE DOWNSTREAM SIDE OF EACH RCV WHEN THE RCV IS HIGHER THAN THE SPRINKLERS, BUBBLERS OR DRIP EMITTERS. INSTALL WITHIN SPRINKLER / BUBBLER / DRIP ZONES AS REQUIRED TO PREVENT LOW HEAD DRAINAGE.														
	RAIN BIRD	RAINBIRD X22-150-978-COM FLOW, 15-40 gpm		RAIN BIRD	ALL VALVE BOXES SHALL BE VB SERIES, PLASTIC TYPE WITH OVERLAPPING LIDS. COVERS FOR BOXES IN TURF AREAS SHALL BE GREEN AND COVERS FOR VALVE BOXES IN SHRUB AREAS SHALL BE BLACK. ALL BOXES SHALL BE SECURED WITH A RAIN BIRD VB-LOCK-P PENTA HEAD BOLT, WASHER AND CLIP. BOXES SHALL BE AS SHOWN BELOW:														
	FEBCO	REDUCED PRESSURE BACKFLOW FEBCO 825-Y 2"	<table border="1"> <thead> <tr> <th>DESCRIPTION</th> <th>TURF AREAS (GREEN)</th> <th>SHRUB AREAS (BLACK)</th> </tr> </thead> <tbody> <tr> <td>7" ROUND BOXES</td> <td>VB-7RND</td> <td>VB-7RNDK</td> </tr> <tr> <td>10" ROUND BOXES</td> <td>VB-10RND</td> <td>VB-10RND-B BODY AND VB-10RNDK-LID</td> </tr> <tr> <td>STANDARD RECTANGULAR BOXES</td> <td>VB-STD</td> <td>VB-STD-B BODY AND VB-STDK-LID</td> </tr> <tr> <td>JUMBO RECTANGULAR BOXES</td> <td>VB-JMB</td> <td>VB-JMB-B BODY AND VB-JMBK-LID</td> </tr> </tbody> </table>	DESCRIPTION	TURF AREAS (GREEN)	SHRUB AREAS (BLACK)	7" ROUND BOXES	VB-7RND	VB-7RNDK	10" ROUND BOXES	VB-10RND	VB-10RND-B BODY AND VB-10RNDK-LID	STANDARD RECTANGULAR BOXES	VB-STD	VB-STD-B BODY AND VB-STDK-LID	JUMBO RECTANGULAR BOXES	VB-JMB	VB-JMB-B BODY AND VB-JMBK-LID	
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JUMBO RECTANGULAR BOXES	VB-JMB	VB-JMB-B BODY AND VB-JMBK-LID																	
	AS APPROVED	MAIN LINE - PVC PIPE 1" - 1 1/2" SCH. 40, SOLVENT WELD WITH SCH. 40 PVC FITTINGS, INSTALLED 12" BELOW FINISHED GRADE		VALVE SEQUENCE															
	AS APPROVED	LATERAL LINE - PVC PIPE 1" - 1 1/2" SCH. 40, SOLVENT WELD WITH SCH. 40 PVC FITTINGS, AS LATERAL LINES INSTALLED 8 MIN" BELOW FINISHED GRADE PVC SUPPLY AND DISCHARGE HEADERS SHALL BE PVC LATERAL LINE PIPE, 1 1/4" MINIMUM SIZE WITH SCH. 40 PVC FITTINGS		VALVE SIZE															
	AS APPROVED	PVC PIPE SCH. 40 AS SLEEVING, 2.5 TIMES THE DIAMETER OF PIPE OR WIRE BUNDLE CARRIED (2" MINIMUM SIZE) INSTALL ALL PIPE AND WIRE UNDER PAVING, HARDSCAPE, ETC. (OR AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE) INSIDE SLEEVES. SLEEVES UNDER PEDESTRIAN PAVING SHALL BE INSTALLED 24" BELOW FINISHED GRADE. SLEEVES UNDER VEHICULAR PAVING SHALL BE INSTALLED 36" BELOW FINISHED GRADE.																	
	RAIN BIRD	PCT7 - PRESSURE COMPENSATING THREADED LOW-FLOW BUBBLER 7.0 GPH, TWO BUBBLERS PER TREE.																	
	RAIN BIRD	PCT7 - PRESSURE COMPENSATING THREADED LOW-FLOW BUBBLER 7.0 GPH, ONE BUBBLER PER VINE.																	
	RAIN BIRD	LANDSCAPE DRIP XFS-06-18 SUBSURFACE TUBING																	
	RAIN BIRD	LANDSCAPE DRIP XFS-06-12 SUBSURFACE TUBING WITH COPPER SHIELD, SPACING SHALL BE 8 INCHES WITH DRIP HOLES ALTERNATING AT CENTER (8 INCHES) FROM ADJACENT TUBING.																	
	RAIN BIRD	LANDSCAPE DRIP XFS-06-12 SUBSURFACE TUBING WITH COPPER SHIELD, SPACING SHALL BE 8 INCHES WITH DRIP HOLES ALTERNATING AT CENTER (8 INCHES) FROM ADJACENT TUBING.																	
	RAIN BIRD	XF SERIES 17mm BARBED FITTINGS FOR ALL CONNECTIONS BETWEEN DRIP TUBING (TUBING-TO-TUBING ONLY). ALL BARBED DRIP TUBING FITTINGS SHALL BE INSTALLED USING A FITTING TOOL FOR PROPER INSERTION OF THE FITTING INTO THE TUBING. NO HEATING OF TUBING SHALL BE ALLOWED.																	
	RAIN MASTER	THE CONTROLLER SHALL BE GROUNDED USING A #182000 5/8" X 10 FOOT COPPER CLAD GROUND ROD, A #182005 CAST BRONZE ROD CLAMP AND THE REQUIRED LENGTH OF #6AWG BARE, SINGLE STRAND COPPER GROUND WIRE. INSTALL INSIDE A 10" ROUND VALVE BOX.																	
	RAIN MASTER	LSP-4-TURF LINE SURGE PROTECTION DEVICES SHALL BE INSTALLED ALONG THE TWO-WIRE PATH AT AN 80' CENTER SPACING NOT TO EXCEED 500 FEET. INSTALL THE LSP DEVICE AND GROUND ROD IN A STANDARD RECTANGULAR VALVE BOX. INSTALL ONE LSP DEVICE WITHIN 10 FEET OF THE IRRIGATION																	





**TREES**

SYMBOL	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS/ALTERNATES	WUCOLS	SPACING
Oe	5	24"	OLEA EUROPAEA 'WILSONII'	WILSON FRUITLESS OLIVE	STANDARD	LOW	PER PLAN
Co	2	24"	CERCIS OCCIDENTALIS	WESTERN REDBUD	STANDARD	LOW	PER PLAN
Ct	0	24"	CHITALPA TASHKENTENSIS 'PINK DAWN'	PINK DAWN CHITALPA	MULTI-TRUNK	MEDIUM	PER PLAN
Pr	6	24"	PLATANUS RACEMOSA	WESTERN SYCAMORE	STANDARD	MEDIUM	PER PLAN

**SHRUBS**

SYMBOL	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS/ALTERNATES	WUCOLS	SPACING
Aaa	1	1/5 GAL	AGAVE ATTENUATA 'RAY OF LIGHT'	RAY OF LIGHT FOX TAIL AGAVE		LOW	72" O.C.
Ln	36	1/5 GAL	LAURUS NOBILIS	BAY LAUREL	EVERGREEN HEDGE TRIM TO 6' HIGH WHEN MAINTAINING	LOW	36" O.C.
		5 GAL	MUHLENBERGIA RIGENS	DEERGRASS		LOW	36" O.C.
Sc	40	5 GAL	SALVIA CLEVELANDII	CLEVELAND SAGE	CALIFORNIA NATIVE PLANT	LOW	36" O.C.
Co	19	1 GAL	GERANIUM SANGUINEUM	BLOODY CRANESBILL		MEDIUM	36" O.C.
Sm	14	5 GAL	SALVIA MICROPHYLLA 'HOT LIPS'	HOT LIPS SAGE		LOW	36" O.C.
Lh	8	5 GAL	LOMANDRA HYBRIDA 'LIMLOW'	LIME TUFF MAT RUSH		LOW	36" O.C.
Ap	29	5 GAL	ARTEMISIA 'POWIS CASTLE'	WORMWOOD	CALIFORNIA NATIVE PLANT	MEDIUM	24" O.C.
Jp	27	5 GAL	JUNCLUS PATENS	CALIFORNIA GRAY RUSH	CALIFORNIA NATIVE PLANT	LOW	24" O.C.
Sc	63	1 GAL	SISYRINCHIUM BELLUM	BLUE EYED GRASS	CALIFORNIA NATIVE PLANT	LOW	18" O.C.
Ln	70	1 GAL	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF		LOW	18" O.C.
	70	1 GAL	ACHILLEA MILLEFOOLIUM	COMMON YARROW	CALIFORNIA NATIVE PLANT	LOW	12" O.C.
	60	1 GAL	ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	CALIFORNIA NATIVE PLANT	LOW	12" O.C.
	205	1 GAL	FESTUCA GLAUCA 'ELIJAH BLUE'	ELIJAH BLUE FESCUE		LOW	12" O.C.

**GROUND COVER / VINE**

SYMBOL	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS/ALTERNATES	WUCOLS	SPACING
	31 SF	1 GAL	SENECIO SERPENS	BLUE CHALKSTICKS		LOW	12" O.C.
	207 SF	1 GAL	CAREX PANSA	SAND DUNE SEDGE		LOW	12" O.C.
	1657 SF	1 GAL	CAREX DIVULSA	EUROPEAN GREY SEDGE		LOW	12" O.C.
	24	5 GAL	MACPADIENA LINGUIS-CATI	CATS CLAW TRUMPET VINE		LOW	18" O.C.
	10	15 GAL	CLYTOSTOMA CALLISTEGOIDES	LAVENDER TRUMPET VINE		MEDIUM	90" O.C.

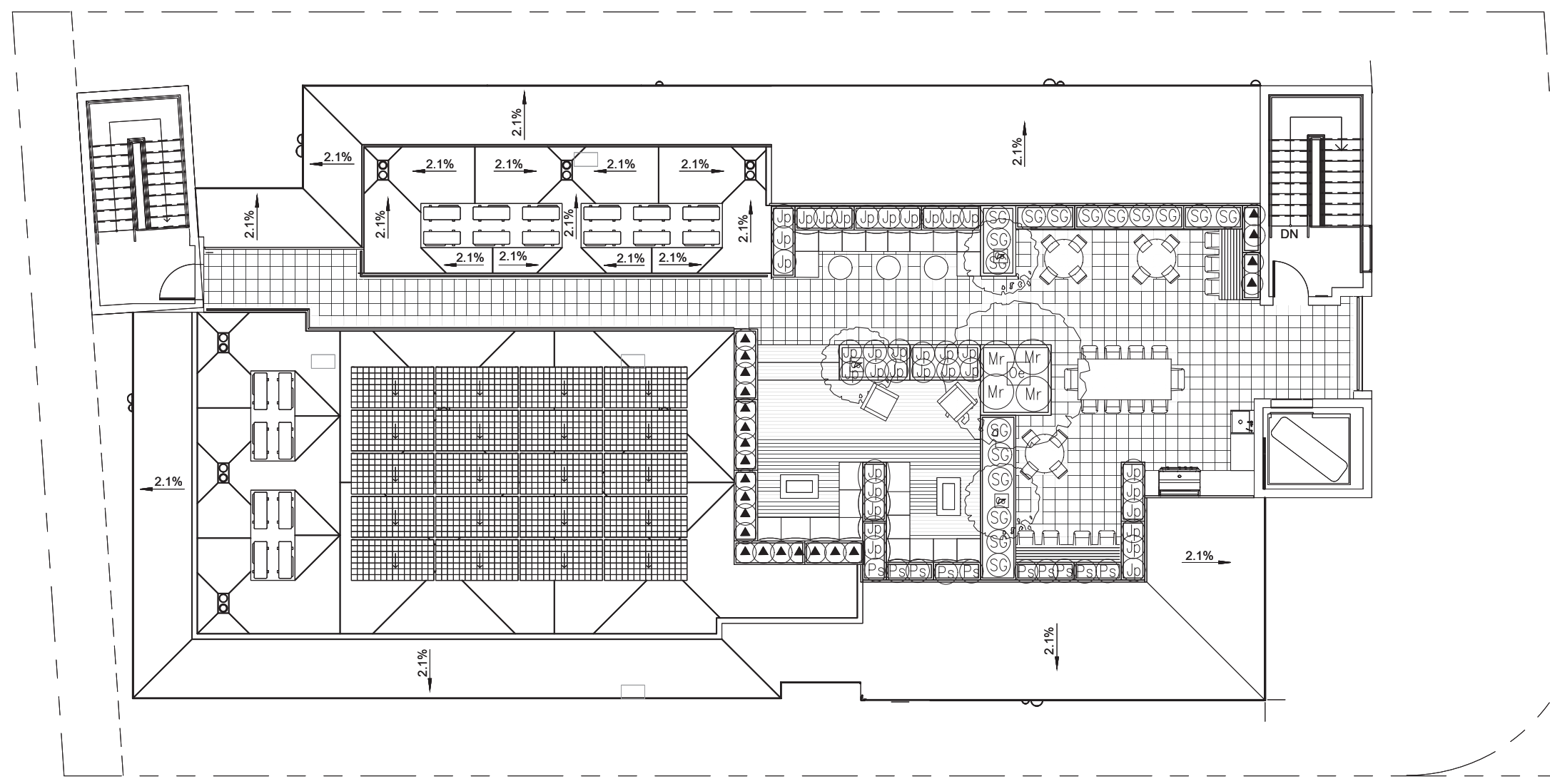
CONFIRM ALL PLANT QUANTITIES AND MATERIALS WITH LANDSCAPE ARCHITECT BEFORE PLACING ORDER.

OPEN SPACE LANDSCAPE PERCENTAGE	TREE REQUIREMENT
TOTAL COMMON SPACE: 2,100.00 SQFT TOTAL PLANTED LANDSCAPE AREA: 615.00 SQFT TOTAL PERCENT LANDSCAPE: 29.2%	TOTAL NUMBER OF UNITS: 20 REQUIRED NUMBER OF TREES: 5 PROVIDED NUMBER OF TREES: 17

OPEN SPACE LANDSCAPE PERCENTAGE	
REQUIRED: < 3 HABITABLE ROOMS = 100SF/UNIT 3 HABITABLE ROOMS = 120SF/UNIT > 3 HABITABLE ROOMS = 175SF/UNIT TOTAL REQUIRED SQUARE FEET = 2,300 SF	PROVIDED: COMMON OPEN SPACE = ROOFTOP TERRACE = 2,100 SF COMMON AMENITY SPACE = RECREATION ROOM = 575 SF PRIVATE DECK = 625 SF TOTAL SQUARE FEET PROVIDED = 3,175 SF

**ON STRUCTURE PLANTERS**

ROOFTOP TERRACE  
 (1) 5'-0" W X 24" D X 30" T FIBERGLASS PLANTER  
 (1) 15' - 6" X 12' - 6" X 30" TALL CONCRETE PLANTING BED  
 (1) 8'-0" X 12' - 6" X 30" TALL CONCRETE PLANTING BED  
 (1) 18'-4" X 3' - 3" X 30" TALL CONCRETE PLANTING BED  
 (1) 7'-2" X 6' - 0" X 30" TALL CONCRETE PLANTING BED



SCALE: 3/16" = 1'-0"

ROOFTOP PLANTING SCHEDULE

TREES							
SYMBOL	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS/ALTERNATES	WUCOLS	SPACING
De	1	24"	OLEA EUROPAEA WILSONII	WILSON FRUITLESS OLIVE	STANDARD	LOW	PER PLAN
Co	3	24"	CERCIS OCCIDENTALIS	WESTERN REDBUD	STANDARD	LOW	PER PLAN

SHRUBS							
SYMBOL	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS/ALTERNATES	WUCOLS	SPACING
Mr	4	5 GAL	MUHLENBERGIA RIGENS	DEERGRASS		LOW	36" O.C.
SG	17	5 GAL	SENECIO GREYII	DAISY BUSH		LOW	36" O.C.
Jp	35	5 GAL	JUNCLUS REPENS	CALIFORNIA GRAY RUSH	CALIFORNIA NATIVE PLANT	LOW	24" O.C.
▲	24	5 GAL	CALAMAGROSTIS 'KARL FOERSTER'	FEATHER REED GRASS		LOW	24" O.C.
Ps	10	5 GAL	PENNISETUM SETACEUM 'FIREWORKS'	FIREWORKS FOUNTAIN GRASS		LOW	24" O.C.

CONFIRM ALL PLANT QUANTITIES AND MATERIALS WITH LANDSCAPE ARCHITECT BEFORE PLACING ORDER.

OPEN SPACE LANDSCAPE PERCENTAGE

TOTAL COMMON SPACE: 1,300.00 SQFT  
 TOTAL PLANTED LANDSCAPE AREA: 349.00 SQFT  
 TOTAL PERCENT LANDSCAPE: 26.8%

TREE REQUIREMENT

TOTAL NUMBER OF UNITS: 20  
 REQUIRED NUMBER OF TREES: 5  
 PROVIDED NUMBER OF TREES: 17  
 GROUND FLOOR: 13  
 ROOFTOP: 4

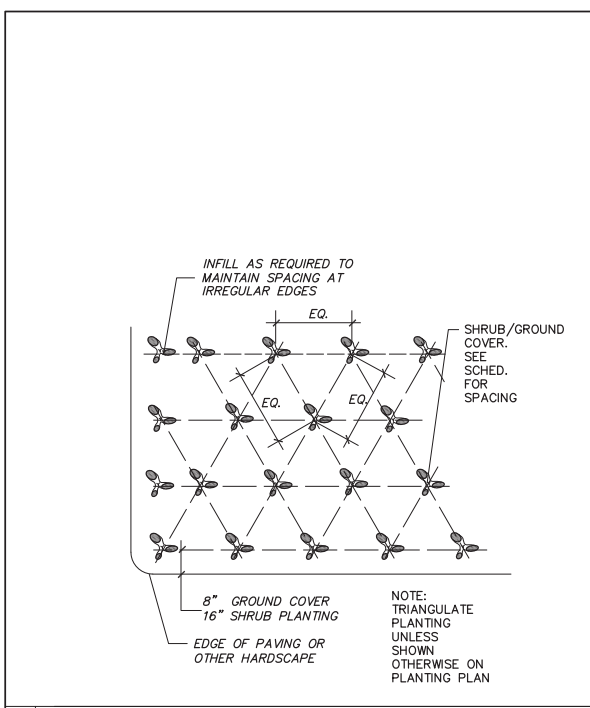
ON STRUCTURE PLANTERS

ROOFTOP TERRACE  
 (15) 5'-0" W X 24" D X 36" T FIBERGLASS PLANTER  
 (6) 4'-0" L X 18" W X 30" T FIBERGLASS PLANTER  
 (1) 14'-0" L X 3'-0" W X 30" T FIBERGLASS PLANTER  
 (1) 6'-0" L X 6'-0" W X 30" T FIBERGLASS PLANTER  
 (3) 6'-0" L X 3'-0" W X 30" T FIBERGLASS PLANTER

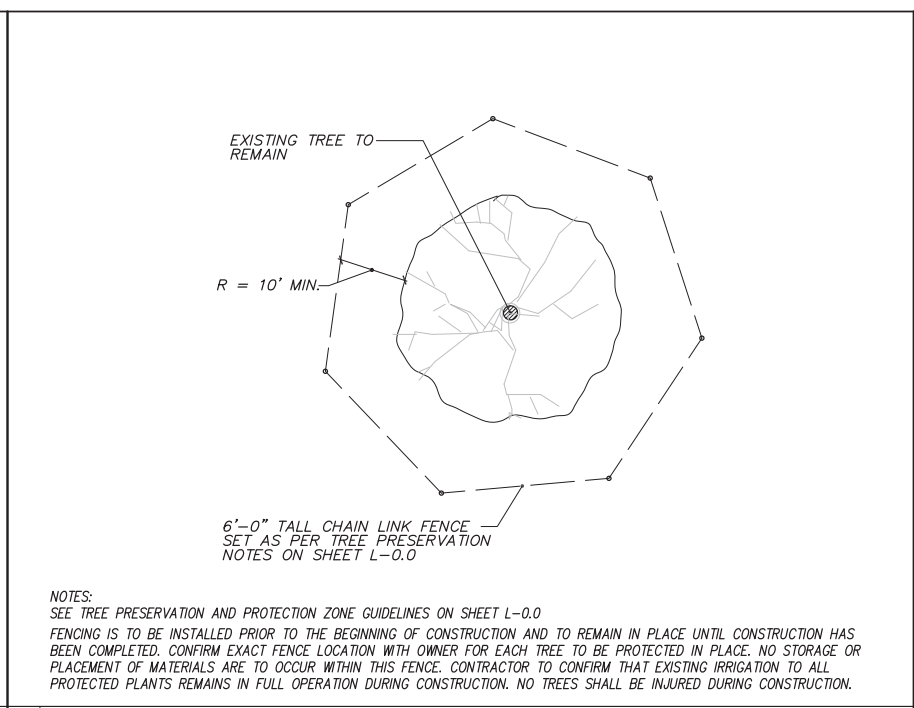
OPEN SPACE LANDSCAPE PERCENTAGE

REQUIRED:  
 < 3 HABITABLE ROOMS = 1,005 SF/UNIT  
 3 HABITABLE ROOMS = 1,255 SF/UNIT  
 > 3 HABITABLE ROOMS = 1,755 SF/UNIT  
 TOTAL REQUIRED SQUARE FEET = 2,300 SF

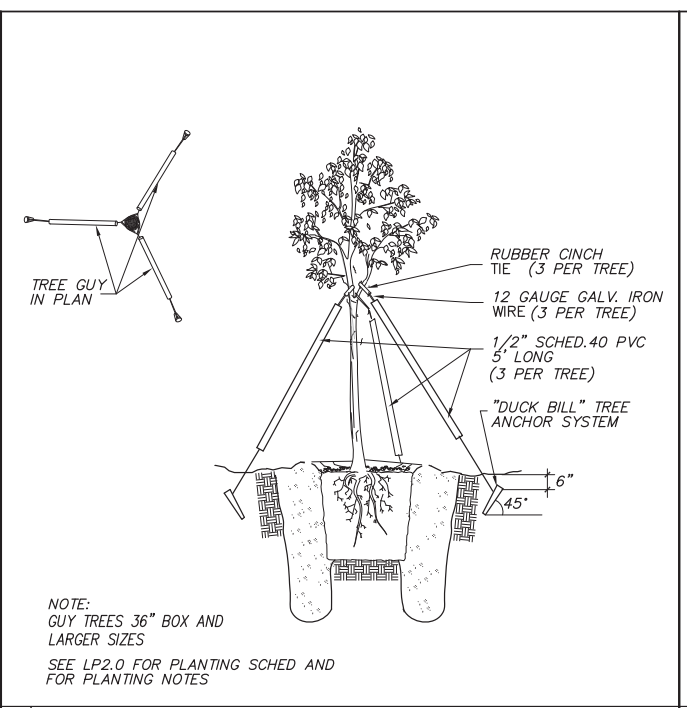
PROVIDED:  
 COMMON OPEN SPACE = ROOFTOP TERRACE = 1,300 SF  
 COMMON AMENITY SPACE = RECREATION ROOM = 575 SF  
 PRIVATE DECK = (10) X 50 SF / UNIT = 500 SF  
 TOTAL SQUARE FEET PROVIDED: = 2,375 SF



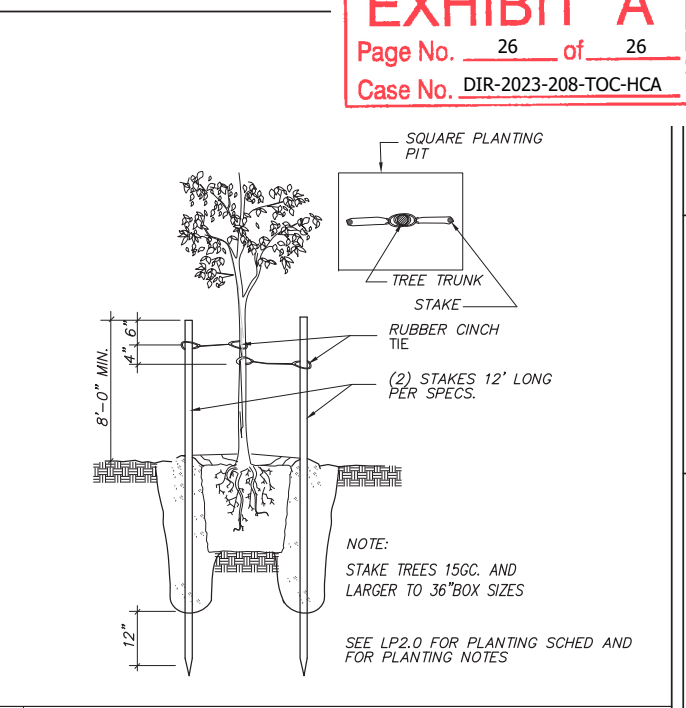
8 PLANTING LAYOUT TRIANGULAR SCALE: N.T.S.



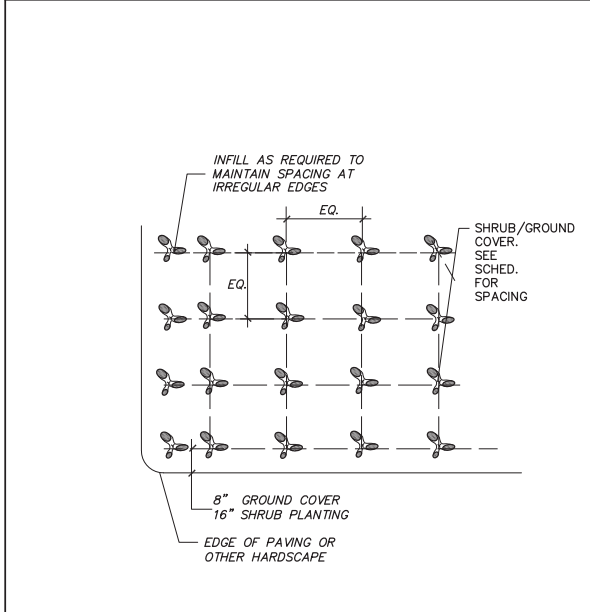
6 TREE PROTECTING AND FENCING SCALE: N.T.S.



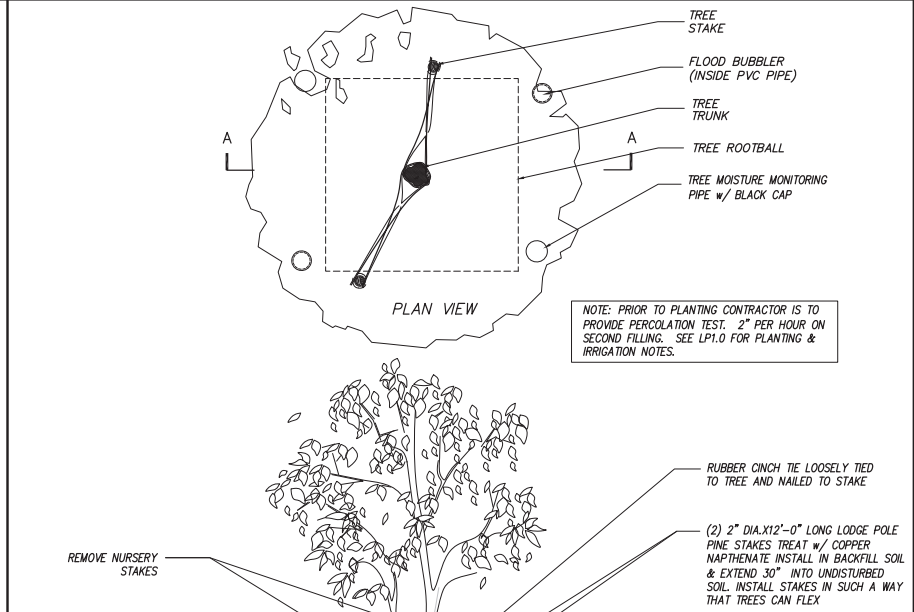
4 TREE GUYING DETAIL SCALE: N.T.S.



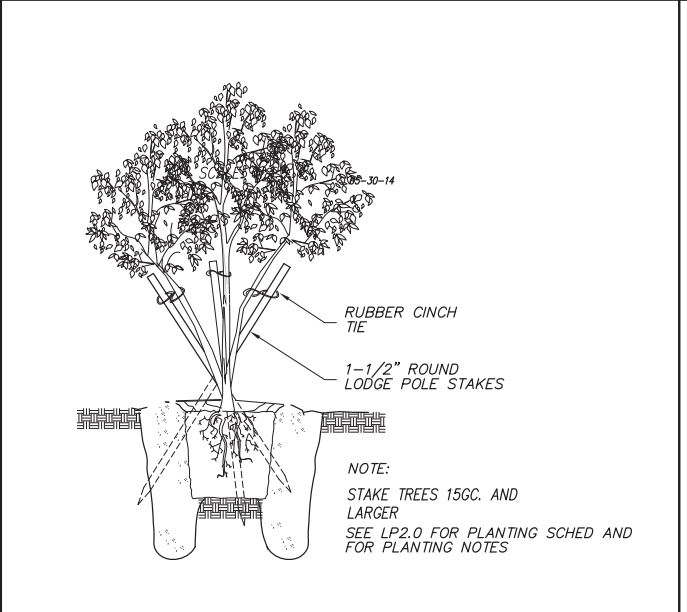
1 TREE STAKING DETAIL SCALE: N.T.S.



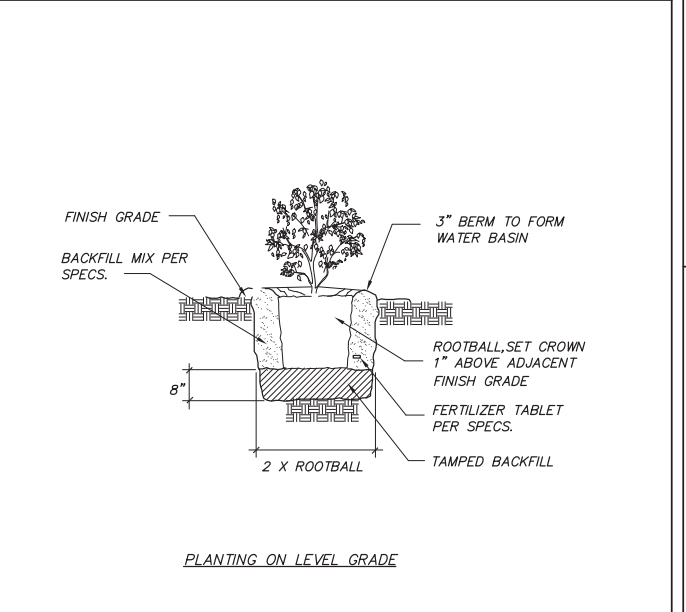
9 PLANTING LAYOUT SCALE: N.T.S.



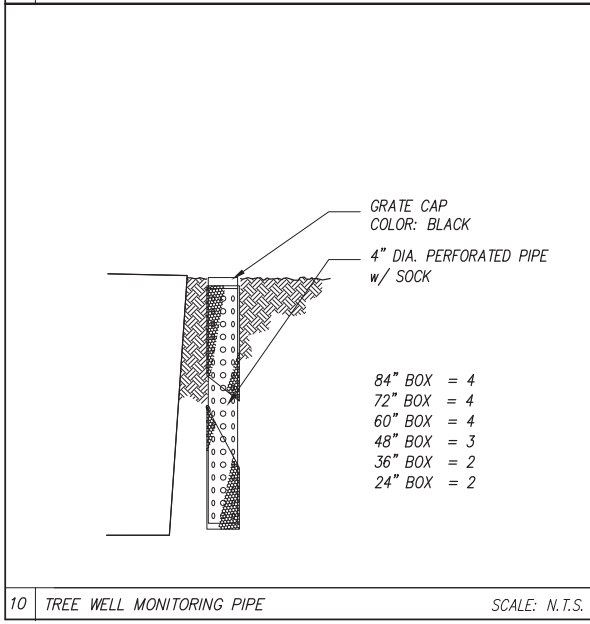
5 MULTI TRUNK TREE STAKING DETAIL SCALE: N.T.S.



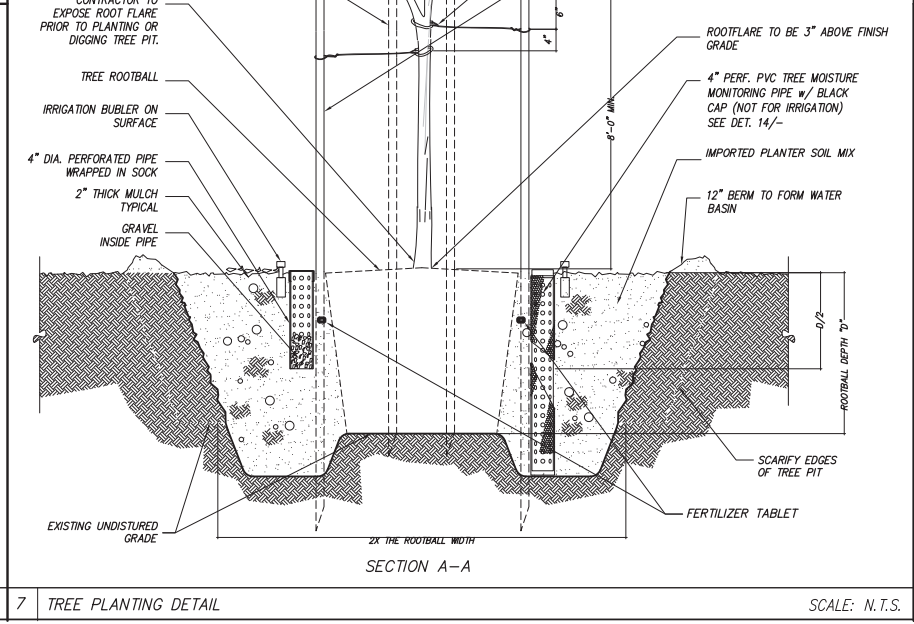
2 SHRUB PLANTING SCALE: N.T.S.



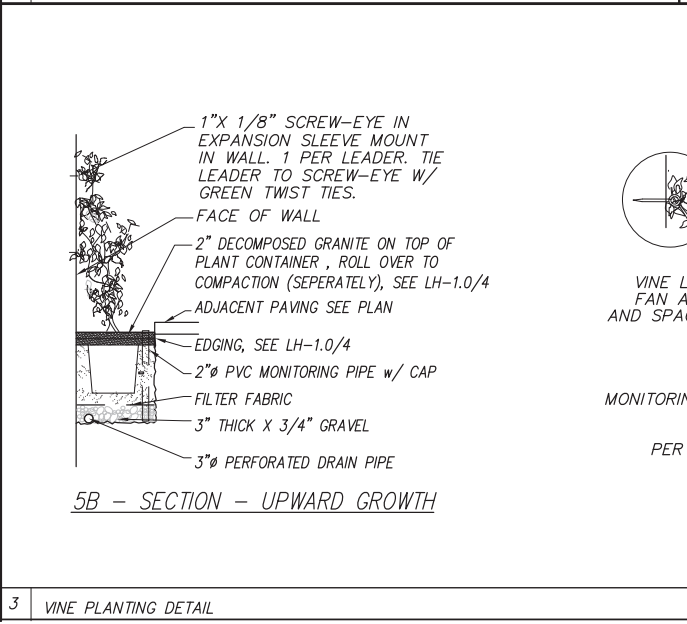
7 TREE PLANTING DETAIL SCALE: N.T.S.



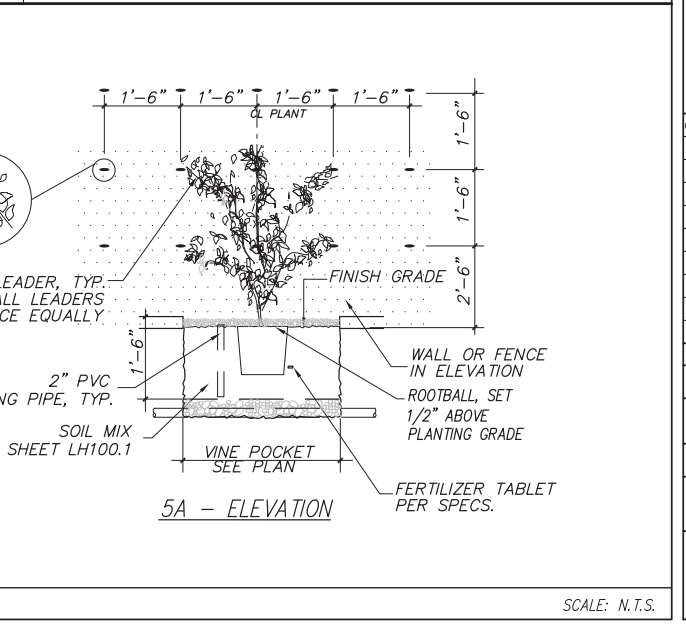
10 TREE WELL MONITORING PIPE SCALE: N.T.S.



3 VINE PLANTING DETAIL SCALE: N.T.S.



5B - SECTION - UPWARD GROWTH



5A - ELEVATION