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April 4, 2014

Richard Heyman (A)(O)
6417 Selma Hotel, LLC
Los Angeles, CA 90028

Michael Gonzales (R)
Gonzales Law Group, APC
555 South Flower Street, Suite 650
Los Angeles, CA 90071

CASE NO. ZA 2013-3504(ZV)
ZONE VARIANCE
6417 Selma Avenue
Hollywood
Zone: (T)(Q)C4-2D
D.M.: 1485a187
C.D.: 13
CEQA: ENV-2007-3932-MND
Legal Description: Lot 11, SACKETT
TRACT

Pursuant to Los Angeles City Charter Section 562 and Los Angeles Municipal Code Section 12.27-B, I hereby APPROVE:

a Variance from "Q" Condition No. 1 of Ordinance No. 180,381 to allow 182 hotel rooms in lieu of 120 hotel rooms; 79,376 square feet of floor area in lieu of 73,814 square feet; and 4,581 square feet of commercial space in lieu of 17,045 square feet;

a Variance from "Q" Condition No. 3 of Ordinance No. 180,381 to allow a height of ten stories or 125 feet in lieu of nine stories or 125 feet;

a Variance from "Q" Condition No. 4 of Ordinance No. 180,381 to allow a maximum FAR of 5.8:1 in lieu of FAR of 5.3:1;

a Variance from "Q" Condition No. 7 of Ordinance No. 180,381 to introduce bicycle parking per Ordinance 182,386 in conjunction with a reduction in the number of required parking spaces;

a Variance from Section 12.26-E,5 to allow off-site parking by lease in lieu of a recorded covenant; and

a Variance from applicable design guidelines for the design of parking facilities per Los Angeles Municipal Code Section 12.21-A,5 and the Los Angeles Department of

Building and Safety's Information Bulletin No. P/ZC 2002-001 to permit a driveway between the points of curvature on a curb return having a radius of less than 20 feet.

upon the following additional terms and conditions:

1. All other use, height and area regulations of the Municipal Code and all other applicable government/regulatory agencies shall be strictly complied with in the development and use of the property, except as such regulations are herein specifically varied or required.
2. The use and development of the property shall be in substantial conformance with the plot plan submitted with the application and marked Exhibit "A", except as may be revised as a result of this action.
3. The authorized use shall be conducted at all times with due regard for the character of the surrounding district, and the right is reserved to the Zoning Administrator to impose additional corrective Conditions, if, in the Administrator's opinion, such Conditions are proven necessary for the protection of persons in the neighborhood or occupants of adjacent property.
4. All graffiti on the site shall be removed or painted over to match the color of the surface to which it is applied within 24 hours of its occurrence.
5. A copy of the first page of this grant and all Conditions and/or any subsequent appeal of this grant and its resultant Conditions and/or letters of clarification shall be printed on the building plans submitted to the Zoning Administrator and the Department of Building and Safety for purposes of having a building permit issued.
6. The applicant shall defend, indemnify and hold harmless the City, its agents, officers, or employees from any claim, action, or proceeding against the City or its agents, officers, or employees relating to or to attack, set aside, void or annul this approval which action is brought within the applicable limitation period. The City shall promptly notify the applicant of any claim, action, or proceeding and the City shall cooperate fully in the defense. If the City fails to promptly notify the applicant of any claim action or proceeding, or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City.
7. Approved herein is the construction, use, and maintenance of a ten-story hotel with 79,376 square feet of floor area on a 13,923 square-foot lot, with a FAR of no more than 5.8:1 and a height of 125 feet in ten stories. There will be 182 hotel rooms, 77 on-site parking spaces, 14 off-site parking spaces by lease, a first floor lobby, a tenth floor rooftop deck with a swimming pool, landscaping (via planters), cabanas, a roof-top covered deck, and a restaurant with indoor and outdoor seating.

8. All off-site parking shall be in place including evidence of completed and signed leases prior to issuance of any building permits or other utilization of Zoning entitlements made herein.
9. Prior to the clearance of any conditions, the applicant shall show proof that all fees have been paid to the Department of City Planning, Expedited Processing Section.
10. Within 30 days of the effective date of this grant, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard master covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Zoning Administrator for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Zoning Administrator for attachment to the subject case file.

OBSERVANCE OF CONDITIONS - TIME LIMIT - LAPSE OF PRIVILEGES

All terms and conditions of the approval shall be fulfilled before the use may be established. The instant authorization is further conditional upon the privileges being utilized within three years after the effective date of approval and, if such privileges are not utilized or substantial physical construction work is not begun within said time and carried on diligently to completion, the authorization shall terminate and become void.

TRANSFERABILITY

This authorization runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant.

VIOLATIONS OF THESE CONDITIONS, A MISDEMEANOR

Section 12.29 of the Los Angeles Municipal Code provides:

"A variance, conditional use, adjustment, public benefit or other quasi-judicial approval, or any conditional approval granted by the Director, pursuant to the authority of this chapter shall become effective upon utilization of any portion of the privilege, and the owner and applicant shall immediately comply with its Conditions. The violation of any valid Condition imposed by the Director, Zoning Administrator, Area Planning Commission, City Planning Commission or City Council in connection with the granting of any action taken pursuant to the authority of this chapter shall constitute a violation of this chapter and shall be subject to the same penalties as any other violation of this Code."

Every violation of this determination is punishable as a misdemeanor and shall be punishable by a fine of not more than \$2,500 or by imprisonment in the county jail for a period of not more than six months, or by both such fine and imprisonment.

APPEAL PERIOD - EFFECTIVE DATE

The applicant's attention is called to the fact that this variance is not a permit or license and that any permits and licenses required by law must be obtained from the proper public agency. Furthermore, if any Condition of this grant is violated or not complied with, then this variance shall be subject to revocation as provided in Section 12.27 of the Municipal Code. The Zoning Administrator's determination in this matter will become effective after April 21, 2014, unless an appeal there from is filed with the City Planning Department. It is strongly advised that appeals be filed early during the appeal period and in person so that imperfections/incompleteness may be corrected before the appeal period expires. Any appeal must be filed on the prescribed forms, accompanied by the required fee, a copy of the Zoning Administrator's action, and received and receipted at a public office of the Department of City Planning on or before the above date or the appeal will not be accepted. **Forms are also available on-line at <http://cityplanning.lacity.org>**. Public offices are located at:

Figueroa Plaza
201 North Figueroa Street,
4th Floor
Los Angeles, CA 90012
(213) 482-7077

Marvin Braude San Fernando
Valley Constituent Service Center
6262 Van Nuys Boulevard, Room 251
Van Nuys, CA 91401
(818) 374-5050

If you seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, the petition for writ of mandate pursuant to that section must be filed no later than the 90th day following the date on which the City's decision became final pursuant to California Code of Civil Procedure Section 1094.6. There may be other time limits, which also affect your ability to seek judicial review.

NOTICE

The applicant is further advised that all subsequent contact with this office regarding this determination must be with the Zoning Administrator who acted on the case. This would include clarification, verification of condition compliance and plans or building permit applications, etc., and shall be accomplished **BY APPOINTMENT ONLY**, in order to assure that you receive service with a minimum amount of waiting. You should advise any consultant representing you of this requirement as well.

FINDINGS OF FACT

After thorough consideration of the statements contained in the application, the plans submitted therewith, the report by the Department of City Planning Staff thereon, and

the statements made at the public hearing on February 19, 2014, all of which are by reference made a part hereof, as well as knowledge of the property and surrounding district, I find that the five requirements and prerequisites for granting a variance as enumerated in Section 562 of the City Charter and Section 12.27-B,1 of the Municipal Code have been established by the following facts:

BACKGROUND

On September 17, 2008, the Planning Commission approved Case No. CPC 2007-3931-ZC-HD-CUB-ZV-SPR for a Zone and Height District Change; a Conditional Use to permit the on-site sale and consumption of a full line of alcoholic beverages with live entertainment and patron dancing; a Variance to permit food and alcohol consumption on the rooftop lounge; a Variance to permit deviations from Section 12.21-A,5; and a Site Plan Review all in conjunction with a nine-story 120-unit hotel to include a restaurant, banquet facility, and two bars, with rooftop uses. Subsequently on November 23, 2010, under Case No. DIR-2010-2962-CLQ, the request for Clarification of "Q" Conditions A1, A2, A6, and A7 of Ordinance 180,831 were approved. Due to changes in the scope of the subject project, the applicant is requesting a Variance from certain "Q" Conditions of Ordinance 180,831 imposed through Case No. 2007-3931-ZC-HD-CUB-ZV-SPR, as well as a variance for off-site parking by lease in lieu of the required recorded covenant.

The applicant is requesting Zone Variances for relief from "Q" Conditions and to allow off-site parking by lease in lieu of a recorded covenant in conjunction with the construction, use, and maintenance of a ten-story, 182-room hotel with 77 on-site parking spaces and 14 off-site parking spaces in the (T)(Q)C4-2D Zone, within the Hollywood Community Plan area. The proposed project will be comprised of 74,795 square feet of hotel uses and 4,581 square feet for commercial uses. The 4,581 square feet of commercial space is split between two locations: the roof top deck contains 2,674 square feet of covered commercial space, while the ground floor lobby contains 1,907 square feet of floor area. The project site is comprised of four parcels (approximately 13,923 square feet of lot area) within a city block bounded by Selma Avenue to the south, Cahuenga Boulevard to the east, Wilcox Avenue to the west, and Hollywood Boulevard to the North and is currently developed with a two-story parking garage. The property fronts Selma Avenue at its southern border, and lies next to existing developed properties to the north and west. The subject site has access to an alley on its eastern border.

Properties to the north and south are zoned [Q]C4-2D-SN and C4-2D are improved with one- and two-story commercial uses. Properties to the east are zoned [Q]C4-2D-SN and [Q]C4-2D and are improved with one-, two-, and three-story buildings including commercial, retail, and housing uses with surface parking lots. Properties to the west are zoned C4-2D and are improved with one- and two-story commercial uses and surface parking lots.

The Hollywood Community Plan Map designates the property for Regional Center Commercial. The Property is located approximately 500 feet from Hollywood Boulevard, a major transit corridor that is served by the Red Line (Metro Hollywood/Vine Train Station) and several MTA and LADOT bus lines.

Selma Avenue is a designated Local Street dedicated to a variable width of 70 feet at the project's frontage and is improved with curbs, gutters, and sidewalks.

Cahuenga Boulevard is a designated Modified Secondary Highway dedicated to a variable width of 75 feet at the project's frontage and is improved with curbs, gutters, and sidewalks.

The alley is dedicated to a 20-foot width and is fully paved.

Relevant Previous Cases, Affidavits, Permits, and Orders on the Subject Property

Permit No. 13019-10000-03019 – On January 06, 2014, the Department of Building and Safety issued a building permit for the demolition of a two-story parking garage.

Case No. ZA 2012-039-CUB – On June 13, 2012, the Zoning Administrator approved a Conditional Use to permit the sale of a full line of alcoholic beverages for on-site consumption in conjunction with a 3,220 square-foot restaurant bar/lounge accommodating 120 seats.

Case No. DIR-2010-2962-CLQ – On November 23, 2010, the Director of Planning approved the requested Clarification of "Q" Conditions A1, A3, A6, and A7 of Ordinance 180381.

Case No. CPC-2007-3931-ZC-HD-CUB-ZV-SPR – On July 24, 2008, the City Planning Commission Approved and Recommended that the City Council adopt a Zone and Height Change from C4-2-D-SN to (T)(Q)C4-2-SN to remove a "D" limitation of 2:1 and allow a FAR of 5.3:1; a Conditional Use to permit the on-site sale and consumption of a full line of alcoholic beverages with live entertainment; approved a variance to permit outdoor dining and alcohol consumption on the eighth floor, and a variance to permit an increase in the number of compact parking spaces, reduced driveways and drive aisles, reduced parking stall width and clearance, and reduced internal turning radius.

Previous Relevant Cases, Affidavits, Permits, and Orders on Surrounding Properties

ZA 2004-1700-CUX-ZV – On July 16, 2004, the Zoning Administrator approved the request for a full-line of alcoholic beverages for on-site consumption with a variance to permit off-site parking through a lease agreement in lieu of the required recorded covenant and agreement, located at 1602 North Cahuenga Boulevard.

Public Hearing

A public hearing on the case was held before the Zoning Administrator on February 19, 2014 at Los Angeles City Hall. The hearing was attended by the representative for the hotel and two members from the public. The following points were made by the speakers:

Michael Gonzalez, representative for the applicant:

- The project site was originally entitled with a zone change in 2008 with a different project.
- Previous project is no longer responsive to current needs.
- Current proposal better fits the need in Hollywood for boutique hotels, no demand for previous ballroom space.
- More guest rooms on additional floor but the height remains the same with same building envelope.
- Mezzanine floor is added to square footage.
- Current proposal is for 77 on-site parking spaces and 14 spaces to be leased off-site.
- The R5 Zone does not restrict the number of guest rooms.

David Carrera, area resident:

- Not necessarily opposed to the application.
- Current project does make for a better project.
- Mostly concerned with changes to the project that changes the entitled conditional use grant for the sale of alcoholic beverages.
- The change in project warrants a new conditional use approval.
- Requested changes to the operating conditions granted as part of the original conditional use for selling of alcoholic beverages.
- Findings for the variance cannot be made as there is nothing physically constraining on the site.
- Applicant should file for a new zone change.

Andrew Christopher, represents adjacent office building:

- Opposed to the increase in floor area.
- Off-site parking will add to already bad traffic congestion in the area.
- Applicant should secure off-site parking.

Correspondence

On February 13, 2014, Staff received a letter from David Carreera, Land Use Representative for the Central Hollywood Neighborhood Council - acting independently of the Neighborhood Council, submitted a letter to the file which outlines several

concerns including: rooftop uses, hours of operations, and with regard to the overconcentration of alcohol licenses in the Hollywood area.

On February 5, 2014, Staff received a letter from nearby business owner, Lucinda Cowell, expressing concern with the subject's off-site parking request. Ms. Cowell stated that she and her colleagues currently have a monthly parking lease at the existing parking garage on site.

MANDATED FINDINGS

In order for a variance to be granted, all five of the legally mandated findings delineated in City Charter Section 562 must be made in the affirmative. Following (highlighted) is a delineation of the findings and the application of the relevant facts of the case to same:

1. **The strict application of the provisions of the Zoning Ordinance would result in practical difficulties or unnecessary hardships inconsistent with the general purpose and intent of the zoning regulations.**

The project site is located on the northern side of Selma Avenue, one block west of Cahuenga Boulevard in the (T)(Q)C4-2D-SN Zone. The subject property is improved with a two-story parking garage which will be demolished as part of the proposed hotel project.

The proposed project is for a ten-story hotel with 79,376 square feet of floor area on a 13,923 square-foot lot, with an FAR of no more than 5.8:1 and a height of 125 feet. There will be 182 hotel rooms, 77 on-site parking spaces, 14 off-site parking spaces, a first floor lobby, a tenth floor rooftop deck with a swimming pool, landscaping (via planters), cabanas, a roof-top covered deck, and a restaurant with indoor and outdoor seating. The revised project retains the same height as previously approved but contains an additional story and increases the square footage and FAR by less than 10% of what was originally approved. The project significantly reduces the proposed amount of commercial space from 17,045 square feet to 4,581 square feet.

"Q" Conditions

The strict application of the "Q" Conditions contained in Ordinance 180,381 would not be consistent with the current project. The original "Q" Conditions placed by the zone change ordinance were adopted to implement the previous project. However, the "Q" Conditions unnecessarily restrict the uses on the site by specifying room count, specific sub-use floor areas (i.e. ballroom, courtyard, and bar space), the specific location of such uses, and other items that gives very little opportunity to deviate if a project changes. Such specificity renders the project unable to respond to market needs. These market needs are especially relevant today as the city recovers from the economic recession and the current revitalization of Hollywood are creating different demands. The "Q" Conditions applied to the project are overly restrictive and require the developer to build a

project no longer desired in the current market. The additional number of rooms is permitted by the zone but adding the additional rooms creates additional floor area. The reduction of floor area for commercial use is necessary to build a project that is marketable without leaving empty or unused commercial floor area. The past five years has seen a significant increase in commercial and residential growth in Hollywood and there are many more commercial options for the hotel visitors.

LAMC Section 12.32.G.2(b) defines the purpose of a "Q" Classification as a necessary action in order to (1) protect the best interest of and assure a development with the surrounding properties or neighborhood; (2) secure an appropriate development in harmony with the General Plan; and (3) prevent or mitigate potential adverse environmental effects of the zone change. Modifying the existing "Q" Conditions to conform to the current project will not prevent the project from complying with the purposes of the "Q" Conditions as originally intended by the zone change ordinance. Except for the conditions herein varied, or from the previously approved "Q" Clarification, all other conditions of Ordinance 180,381 are to be complied with.

Parking Variance

Strict adherence to LAMC Section 12.21.A.5, as interpreted by Document P/ZC 2002-001 (the "LADBS Bulletin"), requires on-site parking to be designed in a manner considered safe for cars and pedestrians. However, two sections within the LADBS Bulletin present practical difficulties that cannot feasibly be rectified: Section N, which requires additional width for end stalls, and Section P, which requires a 20-foot driveway radius for two-way traffic in garages with greater than 25 automobiles. Given the property's width at 61.8 feet, the parking garage's second floor is wide enough to be utilized for parking, but too narrow for LADBS Bulletin requirements.

Parking design guidelines such as the LADBS Bulletin are intended to minimize the risk of automotive collisions and the necessary interaction between automobiles and pedestrians. The LADBS Bulletin notes that the minimum space to safely turn a car is higher when more cars are within a garage. This concept identifies the primary safety hazard as the disorganization and uncertainty coming from too many cars within a narrow space. To mitigate these concerns, the project will utilize trained valet parking attendants. Valet attendants will be more experienced at handling the parking structure's layout and are therefore will be more capable of safely parking cars, even in smaller spaces.

As proposed, the hotel will provide 77 on-site parking spaces with many of these through a mechanical lift. With regard to off-site parking, the applicant proposes to procure 14 off-site parking via a lease agreement in lieu of a recorded covenant. Strict adherence to LAMC Section 12.26.E.5 requires a covenant for off-site parking and these covenants are recorded against the properties. Most parking lot and garage owners are no longer willing to burden their properties

with parking covenants that run in perpetuity because it reduces the underlying lands' development potential. Off-site parking is still required but will be provided by a lease agreement instead of a covenant.

2. **There are special circumstances applicable to the subject property such as size, shape, topography, location or surroundings that do not apply generally to other property in the same zone and vicinity.**

"Q" Conditions

The special circumstances for this location are the "Q" Conditions from the zone change ordinance are overly restricted to a previous project that is no longer proposed and gives very little opportunity for a revised project to meet a changed market. Condition A.1 of Ordinance 180,381 limits the number of hotel rooms to 120 although there is no limitation on the number of rooms typically permitted in the C4-2D Zone. Additionally the total square footage is limited to 73,814 square feet although a higher square footage is permitted as limited by the floor area ratio (FAR) designation. The "Q" Condition is also very definite in requiring very specific uses and size for the kitchen, lounges and bar, ballrooms, lobbies, and courtyard. Such types of limitations do not occur on other surrounding properties.

Parking Variance

The special circumstances that make providing parking in conformance with LAMC Section 12.21.A.5, as interpreted by the LADBS Bulletin Sections N and P (requiring larger end stall width and larger turning radii for garages having more than 25 cars, respectively) is the property's narrow width. The subject site is 61.8 foot width allows for limited freedom of movement whereas other properties have more design flexibility. The project must locate the driveway ramp at a 90 degree angle to the access aisle. The ramp is 40 feet long; if it were shorter, the slope would be considered too steep for safe movement. This leaves a limited, but not an unsafe amount of space for a car's entry into the garage. To ensure safety, the hotel will employ valet parking attendants to further minimize any danger to pedestrians or cars.

Similarly, while the project can accommodate compact spaces throughout the second parking level, the property does not have the width to accommodate the additional space for end stalls as described in LADBS Bulletin Section N. This section requires one of three additional spacing mechanisms for compact end stalls: (1) increased compact stall width, (2) increased access aisle width, or (3) additional space in the access aisle beyond the end stall. The first option is infeasible because extra width is impeded by a structural column. Given the project's slender dimensions, there are limited options for column placement. The second and third options are infeasible because the project will be built to the property's lot lines. Any increase in access aisle length or width would require the entire structure to intrude into adjoining properties.

The applicant proposes to provide off-site parking by lease agreement because providing off-site parking by covenant at other locations in the vicinity of the property is infeasible. Most of the neighboring properties are already built out to their perspective lot lines or have development potential that property owners would not want to encumber with a covenant which runs for perpetuity. Owners of lots developed as surface parking or parking garages are unwilling to provide parking covenants because those lots also hold future development potential. Therefore a lease agreement is the only feasible mechanism for providing off-site parking. The project can provide 77 on-site parking spaces leaving the balance or 14 spaces for off-site.

3. **Such variance is necessary for the preservation and enjoyment of a substantial property right or use generally possessed by other property in the same zone and vicinity but which, because of such special circumstances and practical difficulties or unnecessary hardships, is denied the property in question.**

The applicant is merely seeking to utilize the site in a manner that reflects generally what the original "Q" conditions permit. Other similarly zoned properties in the vicinity are not restricted by "Q" conditions and by an Ordinance with tailored conditions to a development. It is important to note that the overall project is adhering to the "Q" Conditions which were adopted six years ago and as such is in compliance with the corresponding Ordinance. The request resolves more an issue of overly specific condition language rather than an issue which seeks to override any of the existing "Q" Conditions.

The instant grant does not result in a reduction of the required parking spaces, it merely allows them to be provided elsewhere under an administratively different option from a covenant. As conditioned, the grant should result in the provision of required parking and add to the parking options available to patrons. Due to development in the area, other landowners are reluctant to provide parking through a covenant which impairs the ability to develop property in the future. Thus, a variance to provide parking off-site by lease would be the likely scenario for any use of the building. No reduction of the required parking is proposed. Citywide and in the Hollywood area, similarly zoned properties have been granted variances to allow parking to be provided off-site by lease and in this instance the applicant seeks to be on par with such properties and to continue to enjoy a property right which was approved previously by a similar variance grant.

4. **The granting of such variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the same zone or vicinity in which the property is located.**

The surrounding properties are primarily zoned C4-2D-SN and are characterized by commercial, retail, and entertainment uses on flat topography. Properties to the north and south are zoned [Q]C4-2D-SN and C4-2D are improved with one- and two-story commercial uses. Properties to the east are zoned [Q]C4-2D-SN

and [Q]C4-2D and are improved with one-, two-, and three-story buildings including commercial, retail, and housing uses with surface parking lots. Properties to the west are zoned C4-2D and are improved with one- and two-story commercial uses and surface parking lots.

The existing "Q" Conditions are very specific to a prior project approved in 2008. There were 41 "Q" Conditions approved when the zone change ordinance was adopted. A majority of these conditions are mitigation measures contained in ENV-2007-3932-MND which are not being varied by this action. The four "Q" Conditions being modified reflect changes in the number of hotel guestrooms, the square footage of the project, the number of stories, and inclusion of bicycle parking. These changes do not create a situation where the approved project is not in compliance with the LAMC or the Hollywood Community Plan.

A comment was made at the public hearing by an area resident who had concerns about the proposed project changes and its effect on the existing conditional use approval to serve a full line of alcoholic beverages. The application before the Zoning Administrator was only for variances from the "Q" Conditions and there were no requests to deviate from the existing conditions of approval pertaining to the alcohol conditional use approval. The applicant is aware that any modification that may be necessary to the prior conditional use approval is not considered as part of this action. Also at the public hearing, a representative of an abutting office building testified that parking in the area is impacted and granting the variance is not appropriate. The applicant in this case is not reducing the required parking but providing some of the parking by lease instead of a covenant. Whether by lease or covenant the end result is that parking is provided. Additionally, there will be 77 parking spaces on-site and required bicycle parking. The site is located in transit rich neighborhood and since the request is for a hotel, it is anticipated that not all of the guests will drive cars to stay at the hotel.

5. The granting of the variance will not adversely affect any element of the General Plan.

There are eleven elements of the General Plan. Each of these Elements establishes policies that provide for the regulatory environment in managing the City and for addressing environmental concerns and problems. The majority of the policies derived from these Elements are in the form of Code Requirements of Los Angeles Municipal Code. Except for those entitlements described herein, the project does not propose to deviate from any of the requirements of the Los Angeles Municipal Code.

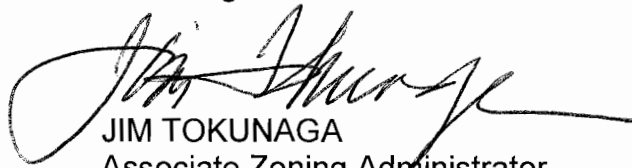
The property is located within the Hollywood Plan, a component of the Land Use Element of the General Plan. The Hollywood Plan Map designates the property for Regional Center commercial land uses. The (T)(Q)C4-2D Zone classification of the property is consistent with that land use designation. The Plan Text does not discuss specifically the issue of variances of "Q" Conditions or parking by

lease in lieu of by covenant as the Plan is more general than the specificity of the instant request. The Plan is predicated upon all projects complying with the land use designation and that there are conditions when necessary by the decision maker when discretionary approval is sought. The Zoning Administrator has determined that the requested variances from the existing "Q" Conditions as well as for permitting some of the required parking by lease agreement and to allow for deviations from the parking facility design guidelines will not adversely affect any element of the General Plan.

The site is located the Hollywood Entertainment District with a high concentration of retail uses, a broad range of restaurant, bars, theatres, dance clubs, and entertainment and live performance venues. The Plan text states that this center area shall function as the commercial center for Hollywood and the surrounding communities and as an entertainment center for the entire region. The General Plan promotes the provision of services throughout the city in locations that are convenient to the public yet do not impact nearby properties. As conditioned, the use will operate in harmony with the various elements and objectives of the General Plan. Thus, the granting of the request will not adversely affect or conflict with any element of the General Plan.

ADDITIONAL MANDATORY FINDINGS

6. The National Flood Insurance Program rate maps, which are a part of the Flood Hazard Management Specific Plan adopted by the City Council by Ordinance No. 172,081, have been reviewed and it has been determined that this project is located in Zone C, areas of minimal flooding.
7. On April 2, 2008, a Mitigated Negative Declaration (ENV-2007-3932-MND) was prepared for the proposed project. On January 16, 2014, the Department of City Planning issued an Addendum (ENV-2007-3932-MND-REC1) to the previously adopted Mitigated Negative Declaration. On the basis of the whole of the record before the lead agency including any comments received, the lead agency finds that there is no substantial evidence that the proposed project will have a significant effect on the environment.



JIM TOKUNAGA
Associate Zoning Administrator
Direct Telephone No. (213) 978-1307

JT:HB:jq

cc: Councilmember Mitch O'Farrell
Thirteenth District
Adjacent Property Owners



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Dream Hollywood Hotel

6417 SELMA AVENUE
 LOS ANGELES, CA

1405 SOUTH BOULEVARD
 SANTA MONICA, CA 90404
 310.316.1111
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13010
 131029

COVER SHEET

6000

[illegible]

ON SITE PARKING	
	COUNT
(1) STANDARD	2
(2) COMPACT	34
(3) ACCESSIBLE	3
(4) TOTAL	2
Grand Total	45

ARCHITECTURAL SYMBOLS	
	DETAIL
	BALANCING SECTION
	WALL SECTION
	INVERSION ELEVATION
	EXTERNAL ELEVATION
	E ELEVATION MARK
	WINDOW MARK
	DOOR MARK
	WALL TYPE
	MATERIAL MARK
	NOTE
	ACCESSORIES AND/OR OF SYMBOL
	FENCE
	ARCHITRAVES
	SMOKE DETECTOR
	FIRE EXTINGUISHER
	ASSEMBLY
	ELEVATION MARK
	FLOOR MATERIAL TRANSITION
	SECURITY ORDERING

ARCHITECTURAL ABBREVIATIONS

Q	Q1	Q2	Q3	Q4	Q5	Q6	Q7	Q8	Q9	Q10	Q11	Q12	Q13	Q14	Q15	Q16	Q17	Q18	Q19	Q20	Q21	Q22	Q23	Q24	Q25	Q26	Q27	Q28	Q29	Q30	Q31	Q32	Q33	Q34	Q35	Q36	Q37	Q38	Q39	Q40	Q41	Q42	Q43	Q44	Q45	Q46	Q47	Q48	Q49	Q50	Q51	Q52	Q53	Q54	Q55	Q56	Q57	Q58	Q59	Q60	Q61	Q62	Q63	Q64	Q65	Q66	Q67	Q68	Q69	Q70	Q71	Q72	Q73	Q74	Q75	Q76	Q77	Q78	Q79	Q80	Q81	Q82	Q83	Q84	Q85	Q86	Q87	Q88	Q89	Q90	Q91	Q92	Q93	Q94	Q95	Q96	Q97	Q98	Q99	Q100	Q101	Q102	Q103	Q104	Q105	Q106	Q107	Q108	Q109	Q110	Q111	Q112	Q113	Q114	Q115	Q116	Q117	Q118	Q119	Q120	Q121	Q122	Q123	Q124	Q125	Q126	Q127	Q128	Q129	Q130	Q131	Q132	Q133	Q134	Q135	Q136	Q137	Q138	Q139	Q140	Q141	Q142	Q143	Q144	Q145	Q146	Q147	Q148	Q149	Q150	Q151	Q152	Q153	Q154	Q155	Q156	Q157	Q158	Q159	Q160	Q161	Q162	Q163	Q164	Q165	Q166	Q167	Q168	Q169	Q170	Q171	Q172	Q173	Q174	Q175	Q176	Q177	Q178	Q179	Q180	Q181	Q182	Q183	Q184	Q185	Q186	Q187	Q188	Q189	Q190	Q191	Q192	Q193	Q194	Q195	Q196	Q197	Q198	Q199	Q200	Q201	Q202	Q203	Q204	Q205	Q206	Q207	Q208	Q209	Q210	Q211	Q212	Q213	Q214	Q215	Q216	Q217	Q218	Q219	Q220	Q221	Q222	Q223	Q224	Q225	Q226	Q227	Q228	Q229	Q230	Q231	Q232	Q233	Q234	Q235	Q236	Q237	Q238	Q239	Q240	Q241	Q242	Q243	Q244	Q245	Q246	Q247	Q248	Q249	Q250	Q251	Q252	Q253	Q254	Q255	Q256	Q257	Q258	Q259	Q260	Q261	Q262	Q263	Q264	Q265	Q266	Q267	Q268	Q269	Q270	Q271	Q272	Q273	Q274	Q275	Q276	Q277	Q278	Q279	Q280	Q281	Q282	Q283	Q284	Q285	Q286	Q287	Q288	Q289	Q290	Q291	Q292	Q293	Q294	Q295	Q296	Q297	Q298	Q299	Q300	Q301	Q302	Q303	Q304	Q305	Q306	Q307	Q308	Q309	Q310	Q311	Q312	Q313	Q314	Q315	Q316	Q317	Q318	Q319	Q320	Q321	Q322	Q323	Q324	Q325	Q326	Q327	Q328	Q329	Q330	Q331	Q332	Q333	Q334	Q335	Q336	Q337	Q338	Q339	Q340	Q341	Q342	Q343	Q344	Q345	Q346	Q347	Q348	Q349	Q350	Q351	Q352	Q353	Q354	Q355	Q356	Q357	Q358	Q359	Q360	Q361	Q362	Q363	Q364	Q365	Q366	Q367	Q368	Q369	Q370	Q371	Q372	Q373	Q374	Q375	Q376	Q377	Q378	Q379	Q380	Q381	Q382	Q383	Q384	Q385	Q386	Q387	Q388	Q389	Q390	Q391	Q392	Q393	Q394	Q395	Q396	Q397	Q398	Q399	Q400	Q401	Q402	Q403	Q404	Q405	Q406	Q407	Q408	Q409	Q410	Q411	Q412	Q413	Q414	Q415	Q416	Q417	Q418	Q419	Q420	Q421	Q422	Q423	Q424	Q425	Q426	Q427	Q428	Q429	Q430	Q431	Q432	Q433	Q434	Q435	Q436	Q437	Q438	Q439	Q440	Q441	Q442	Q443	Q444	Q445	Q446	Q447	Q448	Q449	Q450	Q451	Q452	Q453	Q454	Q455	Q456	Q457	Q458	Q459	Q460	Q461	Q462	Q463	Q464	Q465	Q466	Q467	Q468	Q469	Q470	Q471	Q472	Q473	Q474	Q475	Q476	Q477	Q478	Q479	Q480	Q481	Q482	Q483	Q484	Q485	Q486	Q487	Q488	Q489	Q490	Q491	Q492	Q493	Q494	Q495	Q496	Q497	Q498	Q499	Q500	Q501	Q502	Q503	Q504	Q505	Q506	Q507	Q508	Q509	Q510	Q511	Q512	Q513	Q514	Q515	Q516	Q517	Q518	Q519	Q520	Q521	Q522	Q523	Q524	Q525	Q526	Q527	Q528	Q529	Q530	Q531	Q532	Q533	Q534	Q535	Q536	Q537	Q538	Q539	Q540	Q541	Q542	Q543	Q544	Q545	Q546	Q547	Q548	Q549	Q550	Q551	Q552	Q553	Q554	Q555	Q556	Q557	Q558	Q559	Q560	Q561	Q562	Q563	Q564	Q565	Q566	Q567	Q568	Q569	Q570	Q571	Q572	Q573	Q574	Q575	Q576	Q577	Q578	Q579	Q580	Q581	Q582	Q583	Q584	Q585	Q586	Q587	Q588	Q589	Q590	Q591	Q592	Q593	Q594	Q595	Q596	Q597	Q598	Q599	Q600	Q601	Q602	Q603	Q604	Q605	Q606	Q607	Q608	Q609	Q610	Q611	Q612	Q613	Q614	Q615	Q616	Q617	Q618	Q619	Q620	Q621	Q622	Q623	Q624	Q625	Q626	Q627	Q628	Q629	Q630	Q631	Q632	Q633	Q634	Q635	Q636	Q637	Q638	Q639	Q640	Q641	Q642	Q643	Q644	Q645	Q646	Q647	Q648	Q649	Q650	Q651	Q652	Q653	Q654	Q655	Q656	Q657	Q658	Q659	Q660	Q661	Q662	Q663	Q664	Q665	Q666	Q667	Q668	Q669	Q670	Q671	Q672	Q673	Q674	Q675	Q676	Q677	Q678	Q679	Q680	Q681	Q682	Q683	Q684	Q685	Q686	Q687	Q688	Q689	Q690	Q691	Q692	Q693	Q694	Q695	Q696	Q697	Q698	Q699	Q700	Q701	Q702	Q703	Q704	Q705	Q706	Q707	Q708	Q709	Q710	Q711	Q712	Q713	Q714	Q715	Q716	Q717	Q718	Q719	Q720	Q721	Q722	Q723	Q724	Q725	Q726	Q727	Q728	Q729	Q730	Q731	Q732	Q733	Q734	Q735	Q736	Q737	Q738	Q739	Q740	Q741	Q742	Q743	Q744	Q745	Q746	Q747	Q748	Q749	Q750	Q751	Q752	Q753	Q754	Q755	Q756	Q757	Q758	Q759	Q760	Q761	Q762	Q763	Q764	Q765	Q766	Q767	Q768	Q769	Q770	Q771	Q772	Q773	Q774	Q775	Q776	Q777	Q778	Q779	Q780	Q781	Q782	Q783	Q784	Q785	Q786	Q787	Q788	Q789	Q790	Q791	Q792	Q793	Q794	Q795	Q796	Q797	Q798	Q799	Q800	Q801	Q802	Q803	Q804	Q805	Q806	Q807	Q808	Q809	Q810	Q811	Q812	Q813	Q814	Q815	Q816	Q817	Q818	Q819	Q820	Q821	Q822	Q823	Q824	Q825	Q826	Q827	Q828	Q829	Q830	Q831	Q832	Q833	Q834	Q835	Q836	Q837	Q838	Q839	Q840	Q841	Q842	Q843	Q844	Q845	Q846	Q847	Q848	Q849	Q850	Q851	Q852	Q853	Q854	Q855	Q856	Q857	Q858	Q859	Q860	Q861	Q862	Q863	Q864	Q865	Q866	Q867	Q868	Q869	Q870	Q871	Q872	Q873	Q874	Q875	Q876	Q877	Q878	Q879	Q880	Q881	Q882	Q883	Q884	Q885	Q886	Q887	Q888	Q889	Q890	Q891	Q892	Q893	Q894	Q895	Q896	Q897	Q898	Q899	Q900	Q901	Q902	Q903	Q904	Q905	Q906	Q907	Q908	Q909	Q910	Q911	Q912	Q913	Q914	Q915	Q916	Q917	Q918	Q919	Q920	Q921	Q922	Q923	Q924	Q925	Q926	Q927	Q928	Q929	Q930	Q931	Q932	Q933	Q934	Q935	Q936	Q937	Q938	Q939	Q940	Q941	Q942	Q943	Q944	Q945	Q946	Q947	Q948	Q949	Q950	Q951	Q952	Q953	Q954	Q955	Q956	Q957	Q958	Q959	Q960	Q961	Q962	Q963	Q964	Q965	Q966	Q967	Q968	Q969	Q970	Q971	Q972	Q973	Q974	Q975	Q976	Q977	Q978	Q979	Q980	Q981	Q982	Q983	Q984	Q985	Q986	Q987	Q988	Q989	Q990	Q991	Q992	Q993	Q994	Q995	Q996	Q997	Q998	Q999	Q1000
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DAS ROOM SCHEDULE

ROOM #	ROOM TYPE	SOLAR SCREEN	HEATING	14
501	QUEEN + QUEEN	YES	YES	
502	QUEEN + QUEEN	YES	YES	
503	QUEEN + QUEEN	YES	YES	
504	QUEEN + QUEEN	YES	YES	
505	QUEEN + QUEEN	YES	YES	
506	QUEEN + QUEEN	YES	YES	
507	QUEEN + QUEEN	YES	YES	
508	QUEEN + QUEEN	YES	YES	
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761	QUEEN + QUEEN	YES	YES	
762	QUEEN + QUEEN	YES	YES	
763	QUEEN + QUEEN	YES	YES	
764	QUEEN + QUEEN	YES	YES	
765	QUEEN + QUEEN	YES	YES	
766	QUEEN + QUEEN	YES	YES	
767	QUEEN + QUEEN	YES	YES	
768	QUEEN + QUEEN	YES	YES	
769	QUEEN + QUEEN	YES	YES	
770	QUEEN + QUEEN	YES	YES	
771	QUEEN + QUEEN	YES	YES	
772	QUEEN + QUEEN	YES	YES	
773	QUEEN + QUEEN	YES	YES	
774	QUEEN + QUEEN	YES	YES	
775	QUEEN + QUEEN	YES	YES	
776	QUEEN + QUEEN	YES	YES	
777	QUEEN + QUEEN	YES	YES	
778	QUEEN + QUEEN	YES	YES	
779	QUEEN + QUEEN	YES	YES	
780	QUEEN + QUEEN	YES	YES	
781	QUEEN + QUEEN	YES	YES	
782	QUEEN + QUEEN	YES	YES	
783	QUEEN + QUEEN	YES	YES	
784	QUEEN + QUEEN	YES	YES	
785	QUEEN + QUEEN	YES	YES	
786	QUEEN + QUEEN	YES	YES	
787	QUEEN + QUEEN	YES	YES	
788	QUEEN + QUEEN	YES	YES	
789	QUEEN + QUEEN	YES	YES	
790	QUEEN + QUEEN	YES	YES	
791	QUEEN + QUEEN	YES	YES	
792	QUEEN + QUEEN	YES	YES	
793	QUEEN + QUEEN	YES	YES	
794	QUEEN + QUEEN	YES	YES	
795	QUEEN + QUEEN	YES	YES	
796	QUEEN + QUEEN	YES	YES	
797	QUEEN + QUEEN	YES	YES	
798	QUEEN + QUEEN	YES	YES	
799	QUEEN + QUEEN	YES	YES	
800	QUEEN + QUEEN	YES	YES	
801	QUEEN + QUEEN	YES	YES	
802	QUEEN + QUEEN	YES	YES	
803	QUEEN + QUEEN	YES	YES	
804	QUEEN + QUEEN	YES	YES	
805	QUEEN + QUEEN	YES	YES	
806	QUEEN + QUEEN	YES	YES	
807	QUEEN + QUEEN	YES	YES	
808	QUEEN + QUEEN	YES	YES	
809	QUEEN + QUEEN	YES	YES	
810	QUEEN + QUEEN	YES	YES	
811	QUEEN + QUEEN	YES	YES	
812	QUEEN + QUEEN	YES	YES	
813	QUEEN + QUEEN	YES	YES	
814	QUEEN + QUEEN	YES	YES	
815	QUEEN + QUEEN	YES	YES	
816	QUEEN + QUEEN	YES	YES	
817	QUEEN + QUEEN	YES	YES	
818	QUEEN + QUEEN	YES	YES	
819	QUEEN + QUEEN	YES	YES	
820	QUEEN + QUEEN	YES	YES	
821	QUEEN + QUEEN	YES	YES	
822	QUEEN + QUEEN	YES	YES	
823	QUEEN + QUEEN	YES	YES	
824	QUEEN + QUEEN	YES	YES	
825	QUEEN + QUEEN	YES	YES</	

FLOOR AREA SCHEDULED[illegible]

DEFERRED APPROVALS

2. FIVE PERSONS SITTING
3. FIVE ALARM SOUNDS
4. SNUFFLE
5. GRINDING WOOD
6. WORKING POLICE HORN
7. SHEDDING
8. WITH FLOOR, REFRIGERATOR, KITCHEN
9. WITH FLOOR, CLOAKS, HALL, HALL LIFT
10. WITH LOCK-UP
11. CLASS ROOMS

FIRE RATING REQUIREMENTS

[illegible]

NOTES	
NOTES	

HOTEL	1801.56
51th FIE	
HOTEL	1361.56
120th FIE	
77th FIE	1493.56
HOTEL	1493.56
51th FIE	
HOTEL	1304.56
120th FIE	
HOTEL	1154.56
120th FIE	
OPEN TO SKY	512.56
COMMON	192.56
COMMON	422.56
COMMON	1726.56

PROJECT TEAM

OWNER
PINE COUNTY DEVELOPMENT
1050 CHATELAIN AVE.
ST. PAUL, MN 55105
312.221.1045

ARCHITECT
KLEINFELDER ASSOCIATES
2000 W. 10TH AVE.
SANTA MONICA, CA 90404
310.339.5775

ARCHITECTURAL ENGINEER
200 W. 10TH AVE.
SANTA MONICA, CA 90404
310.339.5775

GENERAL NOTES

[illegible]

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143 ALABAMA STREET
LOS ANGELES, CA 90012
TEL: 213.481.1111
WWW.KFA.COM

Dream Hollywood Hotel

6417 SELMA AVENUE
LOS ANGELES, CA

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NOTES

1. (B) OPEN & CLOSING
2. (B) OPENING & MAX. CROSS SECT. SHALL NOT EXCEED 14"
3. (B) WATER METERS TO BE RELOCATED
4. (B) POWER CABLES TO BE RELOCATED
5. NOT SHOWN
6. (B) OPENING TO BE REMOVED - RELOCATE NEW OPENING TO MATCH EXISTING
7. NAME REPAIRMAN CONNECTION
8. PARKING SIGN
9. PARKING SIGN
10. LAKEVIEW TRANSPORTER
11. NOT SHOWN
12. OVERLAP - MAX. 1/4" MAX. 1/4" MAX. 1/4"
13. DRIVEWAY ACCESS AREA - 8' X 9' 0"

SHEET NOTES

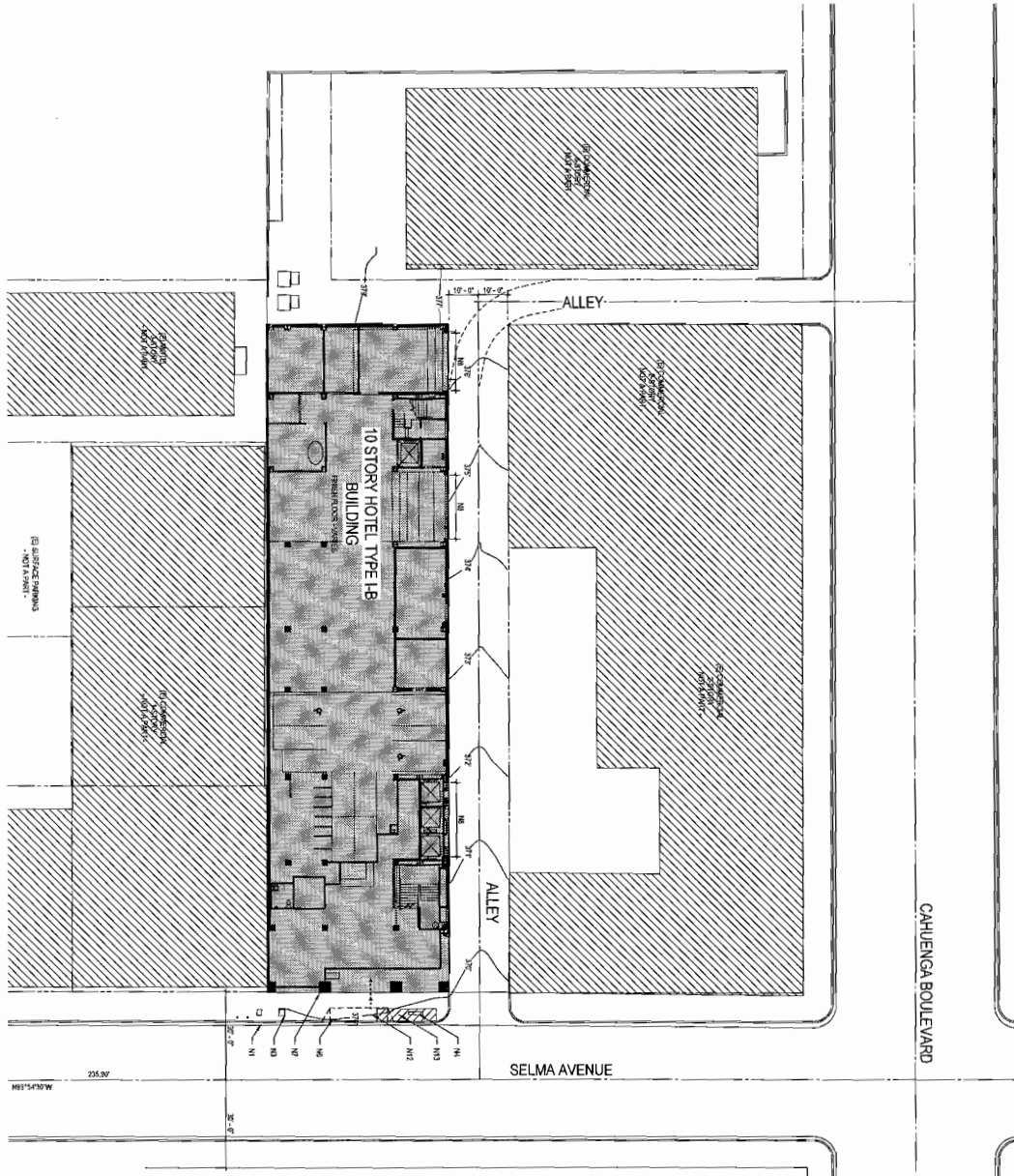
- A. ALL DIMENSIONS ARE TO FACE UNLESS NOTED
- B. ALL DIMENSIONS ARE TO FACE UNLESS NOTED
- C. FINISH EXTERIOR PORTALS & ALL PORTALS OF CONCRETE SHALL BE 3/4" AND VERTICAL SURFACES
- D. SEE PLANS FOR ALL FINISHES AND PORTALS OF CONCRETE SHALL BE 3/4" AND VERTICAL SURFACES

LEGEND

... ACCESSIBLE PATH OF TRAVEL

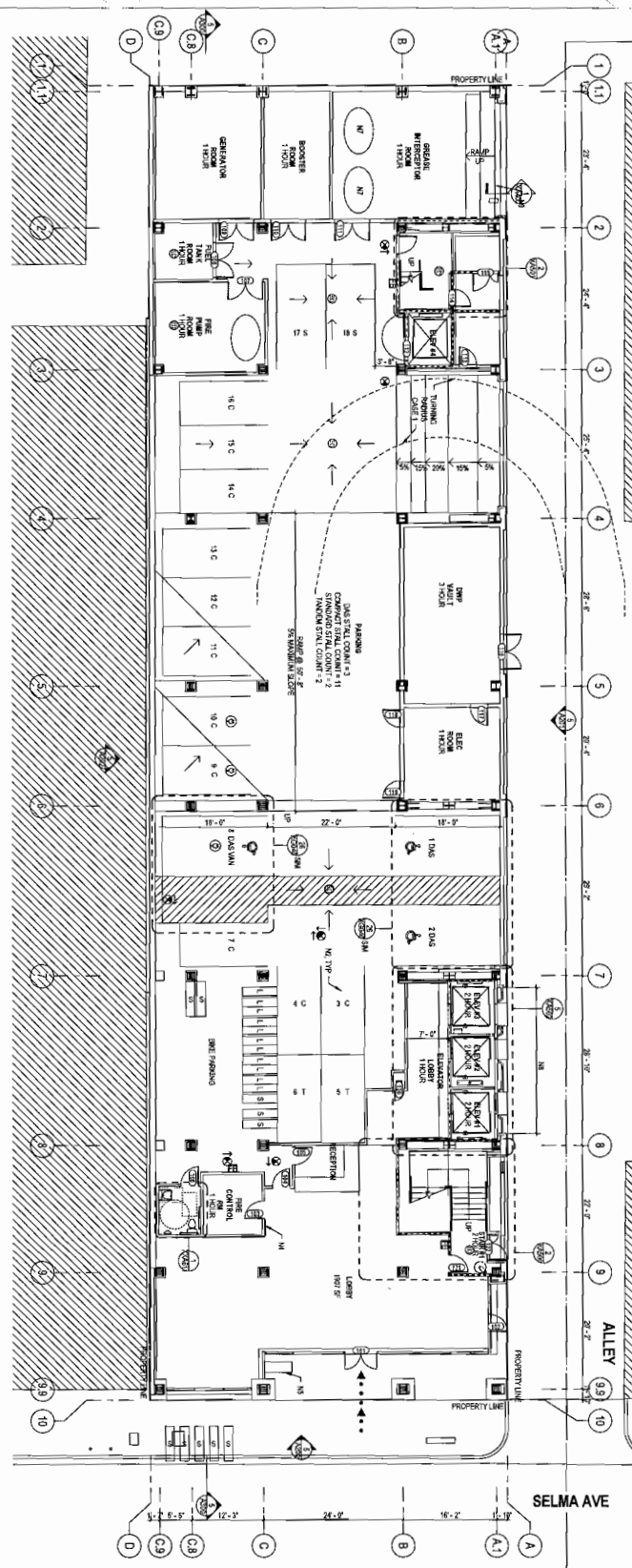
SITE PLAN

A001



SITE PLAN





SHEET NOTES

- [illegible]

LEGEND

- | | |
|--|--|
| | CLASS 1 STAMP TYPE |
| | INK - 2 HOUR |
| | SIGNI TERNI B&E PARKING STALL |
| | LONG TERM B&E PARKING STALL |
| | REPLACED AT OUTLET FOR POLICE
USE ONLY - NO SIGN
STATIONS, SIGNALS OR ANY |
| | ACCESSIBLE |
| | W/ W/ FOOT & ONE HAND |

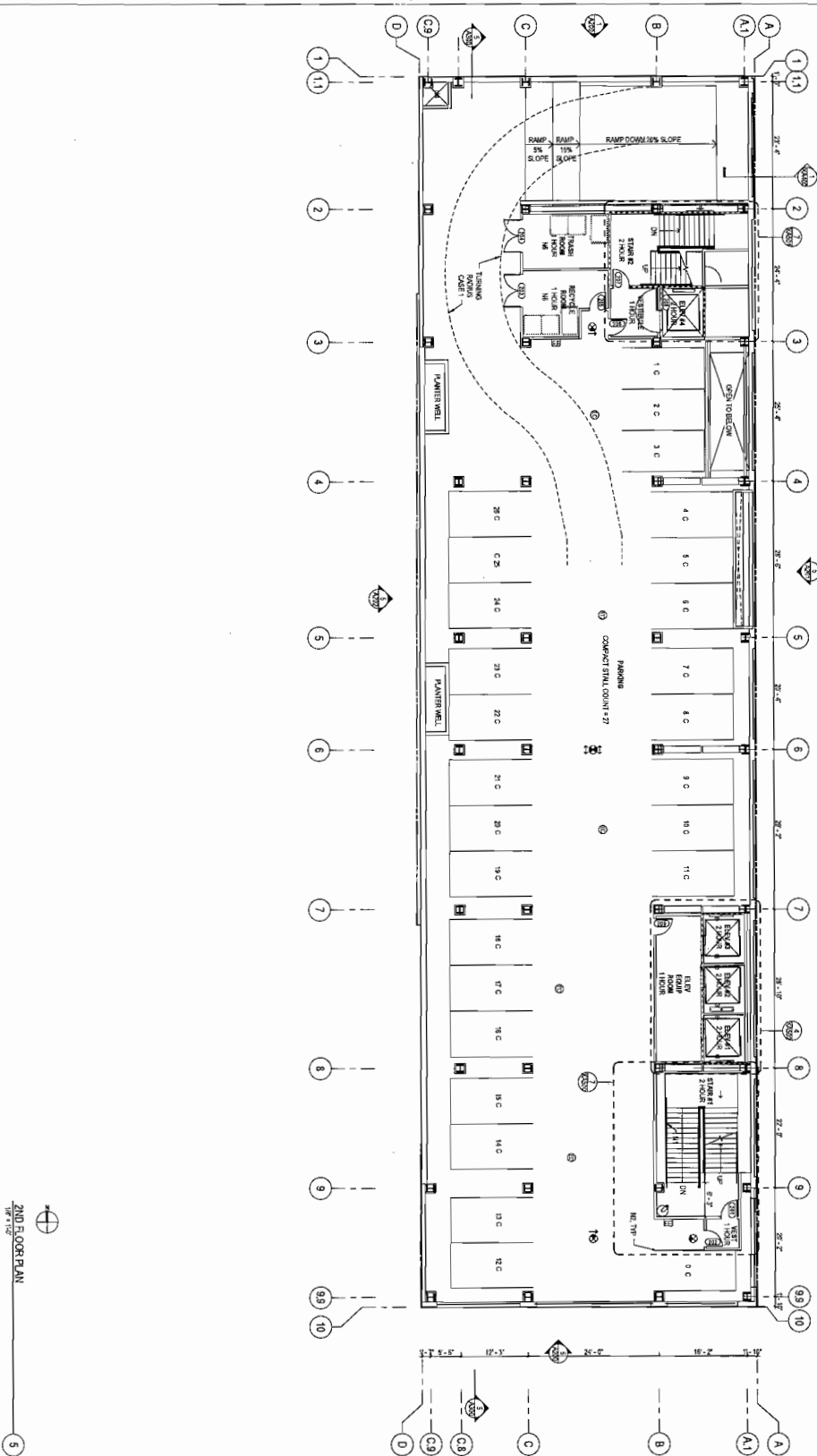
NOTES
1. CLASS

1. CLASS 1 SHEDDING AND HORIZONTAL
TRANSFER FROM ROOM ABOVE
2. PERMANENT SHEDDING
3. REDUCING ORATION FROM DOORS
4. ANNUATION PANEL
5. FIRE SERVICE CONNECTION
6. DOWNCAST VALVE
7. GROUND IN CONNECTION BELOW SLAB
8. DISCONTINUATION WOOD PANEL AS ELEVATION
PANEL
9. FUEL LINE
10. RECAPTURED FURNACE ROOM FOR PAVING
AS WITH LEST TWO STALLS
11. LINE OF FLOOR ABOVE
12. RECAPTURED INTERIOR FLOOR AND WALL
FINISHES WITH A LIGHT TWO-STEP ASSEMBLY
AND RECAPTURED TO DOWN

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2ND FLOOR PLAN
1/8" = 1'-0"

5

- LEGEND**
- CLASSIFICATION
 - WALL - 2'-0" X 2'-0"
 - WALL - CONCRETE
 - WALL - FOOTING - 2'-0" X 2'-0"

SHEET NOTES

- A. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- B. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- C. SEE SHEET 100-1 FOR TYPICAL ACCESSIBILITY REQUIREMENTS.
- D. ROOMS SHALL BE AS SHOWN ON THIS FLOOR PLAN. ROOMS SHALL HAVE A MINIMUM OF 100 SQ. FT. OF FLOOR AREA.
- E. PROVIDE FIRE EXITS AT ALL CORNERS OF ALL ROOMS.
- F. ALL ROOMS SHALL BE TO THE BOTTOM OF THE FLOOR SLAB.
- G. PROVIDE FIRE EXITS AT ALL CORNERS OF ALL ROOMS.
- H. PROVIDE FIRE EXITS AT ALL CORNERS OF ALL ROOMS.

NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. PROVIDE FIRE EXITS AT ALL CORNERS OF ALL ROOMS.
3. PROVIDE FIRE EXITS AT ALL CORNERS OF ALL ROOMS.
4. PROVIDE FIRE EXITS AT ALL CORNERS OF ALL ROOMS.
5. PROVIDE FIRE EXITS AT ALL CORNERS OF ALL ROOMS.
6. PROVIDE FIRE EXITS AT ALL CORNERS OF ALL ROOMS.
7. PROVIDE FIRE EXITS AT ALL CORNERS OF ALL ROOMS.
8. PROVIDE FIRE EXITS AT ALL CORNERS OF ALL ROOMS.
9. PROVIDE FIRE EXITS AT ALL CORNERS OF ALL ROOMS.
10. PROVIDE FIRE EXITS AT ALL CORNERS OF ALL ROOMS.

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NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. PROVIDE FIRE EXITS AT ALL CORNERS OF ALL ROOMS.
3. PROVIDE FIRE EXITS AT ALL CORNERS OF ALL ROOMS.
4. PROVIDE FIRE EXITS AT ALL CORNERS OF ALL ROOMS.
5. PROVIDE FIRE EXITS AT ALL CORNERS OF ALL ROOMS.
6. PROVIDE FIRE EXITS AT ALL CORNERS OF ALL ROOMS.
7. PROVIDE FIRE EXITS AT ALL CORNERS OF ALL ROOMS.
8. PROVIDE FIRE EXITS AT ALL CORNERS OF ALL ROOMS.
9. PROVIDE FIRE EXITS AT ALL CORNERS OF ALL ROOMS.
10. PROVIDE FIRE EXITS AT ALL CORNERS OF ALL ROOMS.

A102

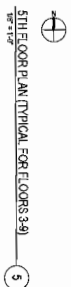
2ND FLOOR PLAN

Dream Hollywood Hotel

6417 SELMA AVENUE
LOS ANGELES, CA

1011 N. WILSON AVENUE
LOS ANGELES, CA 90015
310.231.3710
WWW.DREAMHOTEL.COM



[illegible]

GUEST ROOM SCHEDULE

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NOIES

1625 OLYMPIC BOULEVARD
SANTA MONICA, CA 90404
310.392.7875
KFAH@SANDELES.COM



Dream Hollywood Hotel

6417 SELMA AVENUE
LOS ANGELES, CA

6417 SELMA HOTEL, LLC
1605 CALIFORNIA BLVD., SUITE 200
LOS ANGELES, CALIFORNIA 90022

SHEET NOTES

- [illegible]

LEGEND

- CLASS 1 SINKOFFE
1/4" PER FOOT SLOPE UNO
2-DOOR BATH
6" DIA. CLEAR
36" x 48" CLEAR FLOOR SPACE
ACCESSIBLE GUEST ROOM
HEARING IMPAIRED GUEST ROOM
SHOWER TYPE
5.5' WAXY TYPE
1.5' WAXY TYPE
WHEEL CHAIR

5TH FLOOR PLAN
(FLOORS 3-9 TYP)

A105



EXHIBIT A
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SHEET NOTETS

- A. ALL DIMENSIONS ARE TO FOS INNO.
- B. ALL DIMENSIONS INDICATED AS CLIP ARE FROM FINISH TO FINISH.
- C. SEE SITS' GUIDANCE FOR TYPICAL ACCESSORY FIT REQUIREMENTS.
- D. ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE FIRE WALL, FLOOR & CEILING ASSEMBLY.
- E. PROVIDE WALL-TO-FLOOR DRY CHEMICAL TYPE FIRE EXTINGUISHERS WITH A MAXIMUM RATION OF 2A:90BC. EXTINGUISHERS SHALL BE LOCATED AT THE END OF EACH CORRIDOR OR BUILDING NOT TO EXCEED 75 FEET.
- F. LOCATION AND QUANTITY OF EXIT SIGNS IS SUBJECT TO THE DEPARTMENT FIELD INSPECTOR'S DISCRETION.

13010
131029

LEGEND

- CLASS 1 STRAPTYPE
2-HOUR ASSEMBLY
FIXED DRAFT SOCKET
THE DOWN ANCHOR - FLUSH MOUNT
THE BACK ANCHOR
DOUBLE THE BACK ANCHOR
HOSE REEL
+H6
PLANTER

10TH FLOOR PLAN

A110

Dream Hollywood Hotel

6417 SELMA AVENUE
LOS ANGELES, CA



1525 JEFFERSON AVENUE
LOS ANGELES, CA 90017
TEL: 213.777.1111
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Dream Hollywood Hotel

6417 SELMA AVENUE
LOS ANGELES, CA

4417 SELMA AVENUE
LOS ANGELES, CA 90017
TEL: 213.777.1111
WWW.KINARCHITECT.COM

NOTES

1. BUILDING ROOFING: CLASIA
2. MECHANICAL: PLATON
3. MECHANICAL: EQUIPMENT

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SHEET NOTES

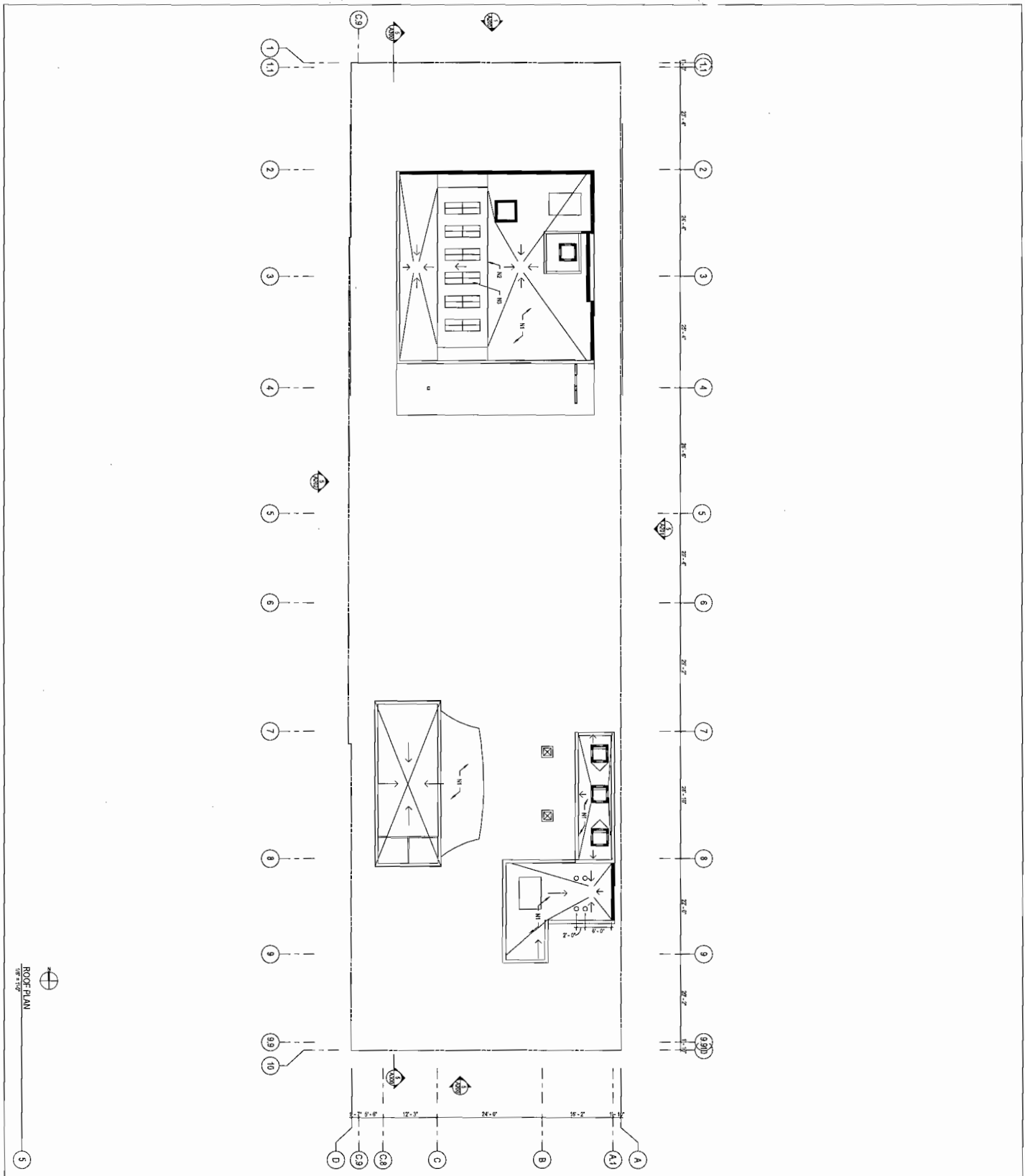
- A. OVERLAPPING SHALL BE THE EQUAL JOINT.
B. OVERLAPPING SHALL BE THE EQUAL JOINT.
C. OVERLAPPING SHALL BE THE EQUAL JOINT.
D. OVERLAPPING SHALL BE THE EQUAL JOINT.

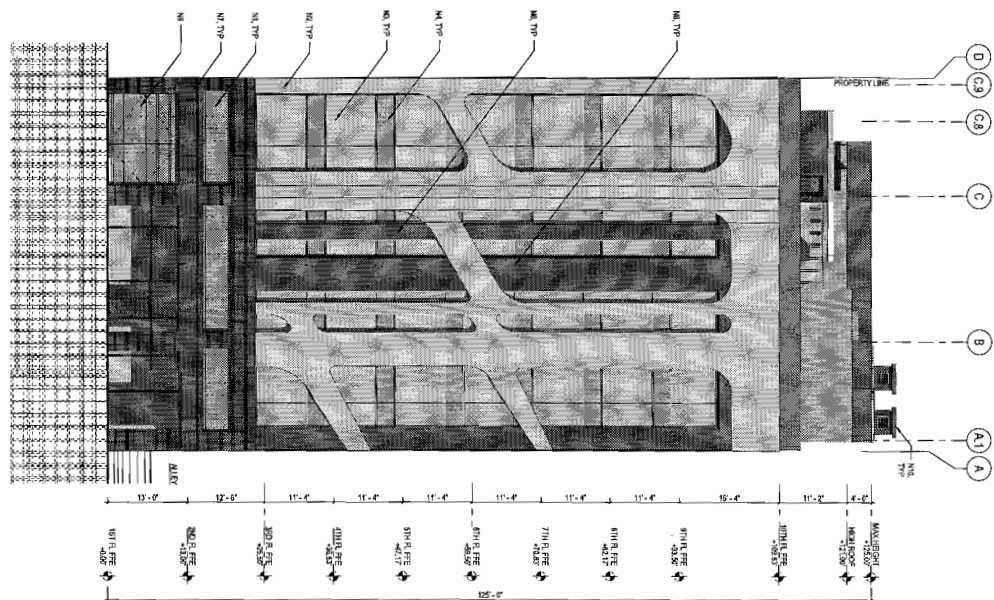
LEGEND

- CLASIA STRUCTURE
- UPPER ROOF SLOPE AND
- DOWNER ROOF SLOPE AND
- ROOF DRAIN AND OVERFLOW
- THE BRICK ANCHOR

ROOF PLAN

A111





SOUTH ELEVATION
25° = 14°

5

1. DECORATIVE IRON GRILL
2. METAL PANEL
3. BUTT-JOINED CURTAIN WALL SYSTEM
4. SPANDREL GLAZING
5. EXHAUST LOUVER/DECORATIVE GRILL
6. EXTERIOR PLASTER
7. BRICK VENEER
8. LOUVERS
9. DECORATIVE IRON GATE
10. MECHANICAL DOG HOUSE

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3. OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND INSTALLED TO COMPLY WITH THE FOLLOWING:
 1. THE MINIMUM REQUIREMENTS IN CALIFORNIA ENERGY CODE FOR LIGHTING ZONES 1-4.
 2. MINIMUM LIGHT AND CLARE (GLASS) RATINGS AS DERIVED IN IESNA TM-5-11.
 3. ALLOWED FLUX RATINGS NOT EXCEEDING THOSE SHOWN IN CALIFORNIA TABLE 5.10.6.A.

EXTENSION WALL PANELS

- GLAZED
- PLASTER
- BRICK
- FREE DEPARTMENT CONNECTION

NORTH AND SOUTH ELEVATIONS

A200

Dream Hollywood Hotel

6417 SELMA AVENUE
LOS ANGELES, CA



11225 OLYMPIA BOULEVARD
SANTA MONICA, CA 90404
310.398.7879
REPLACEMENTS.COM





5

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A. ALL FLOORS TO BE A MINIMUM OF 2-HOUR FIRE RATING. SEE SHEET 0915 FOR ALL ASSEMBLY PATTERNS.

	MASONRY WALL
	CONCRETE WALL

2-HOUR WALL
STRUCTURAL BEAM
W/ FIREPROOFING - SEE STRUCT

BUILDING SECTION

A300

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