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REVISIONS:

LABBS STAMP:

PARK PLAYA

PLANNING REVIEW SET // 1.30.2026

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CLIENT NAME:

PROJECT NAME:
PARK PLAYA

NOT FOR CONSTRUCTION

PROJECT ADDRESS:
6985 S CENTINELA AVE
LOS ANGELES, CA 90045

JOB NUMBER:
2527

DATE:
1.30.2026

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
E01

DRAWING SET TITLE:
**PLANNING
REVIEW SET**

2/2/2026 11:34:41 AM

ARCHITECTURAL

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- E90 MISCELLANEOUS DETAILS

OWNER // KILLEFER DEVELOPMENT

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ARCHITECTURAL ABBREVIATIONS

Ø	AT DIAMETER	FLR	FLOOR	R	PROPERTY LINE
AB	ANCHOR BOLT	FMC	FLOOR MATERIAL CHANGE	PIP	PROTECT IN PLACE
A/C	AIR CONDITIONING	FOC	FACE OF CONCRETE	PLAM	PLASTIC LAMINATE
ACT	ACOUSTIC CEILING TILE	FOF	FACE OF FINISH	PT	PAINT
ADA	AMERICANS WITH DISABILITIES ACT	FOM	FACE OF MASONRY	PTD	PAINTED
ADJ	ADJACENT	FOS	FACE OF STUD	QTY	QUANTITY
AFF	ABOVE FINISH FLOOR	FR	FIRE RESISTIVE	R	RADIUS or RISER
ALT	ALTERNATE	FS	FINISH SURFACE	RCP	REFLECTED CEILING PLAN
ALUM	ALUMINUM	GA	GAGE	RD	ROOF DRAIN
APPROX	APPROXIMATELY	GALV	GALVANIZED	REF	REFRIGERATOR
ARCH	ARCHITECT	GB	GRAB BAR	REQ'D	REQUIRED
BD	BOARD	GC	GENERAL CONTRACTOR	REV	REVISION or REVISED
BF	BRACE FRAME	GYP BD	GYPSON BOARD	RM	ROOM
BLK	BLOCK	HB	HOSE BIBB	ROW	RIGHT OF WAY
BM	BEAM	HC	HOLLOW CORE	RRM	RESTROOM
BTWN	BETWEEN	HCW	HOLLOW CORE WOOD	SC	SOLID CORE
⊕ B	CABINET CENTER LINE	HDR	HEADER	SCW	SOLID CORE WOOD
CL	CLOSET	HM	HOLLOW METAL	SF	SQUARE FEET
CLG	CEILING	HR	HANDRAIL	SHT	SHEET
CLR	CLEAR	HT	HEIGHT	SHTG	SHEATHING
CMU	CONCRETE MASONRY UNIT	INS	INSULATION	SIM	SIMILAR
COL	COLUMN	INT	INTERIOR	SL	SLOPE
CONC	CONCRETE	JST	JOIST	ST STL	STAINLESS STEEL
CONT	CONTINUOUS	LAM	LAMINATE	STL	STEEL
CONTR	CONTRACTOR	LAV	LAVATORY	STRUCT	STRUCTURAL
CPT	CARPET	LIN	LINOLEUM	T	TREAD
CRS	COURSES	MAX	MAXIMUM	TBD	TO BE DETERMINED
CT	CERAMIC TILE	MECH	MECHANICAL	TH	THRESHOLD
(D)	DEMOLISH	MFR	MANUFACTURER	THK	THICK
DAS	DISABLED ACCESS	MIN	MINIMUM	TJ	TRUSS JOIST
DBL	DOUBLE	MISC	MISCELLANEOUS	TO	TOP OF
DIA	DIAMETER	MO	MASONRY OPENING	TOC	TOP OF CONCRETE
DIM	DIMENSION	MTD	MOUNTED	TOP	TOP OF PLATE
DN	DOWN	MTL	METAL	TOS	TOP OF SLAB
DS	DOWNSPOUT	N	NOTE	TOSHTG	TOP OF SHEATHING
DWG	DRAWING	(N)	NEW	TOW	TOP OF WALL
(E)	EXISTING	NIC	NOT IN CONTRACT	TYP	TYPICAL
ELECT	ELECTRICAL	NTS	NOT TO SCALE	UNO	UNLESS NOTED OTHERWISE
ELEV	ELEVATOR	OC	ON CENTER	VCT	VINYL COMPOSITION TILE
EOS	EDGE OF SLAB	OFCI	OWNER FURNISHED-CONTRACTOR INSTALLED	VERT	VERTICAL
EQ	EQUAL	OFOI	OWNER FURNISHED-OWNER INSTALLED	VIF	VERIFY IN FIELD
EXT	EXTERIOR	OFVI	OWNER FURNISHED-VENDOR INSTALLED	W/	WITH
FE	FIRE EXTINGUISHER	OH	OVERHEAD	WC	WATER CLOSET
FF	FINISH FLOOR	OPNG	OPENING	WD	WOOD
FIN	FINISH			WH	WATER HEATER
FJ	FLOOR JOIST			WP	WORKPOINT
				WPT	WORK POINT

ARCHITECTURAL SYMBOLS

	DETAIL		WINDOW MARK		ALIGN FINISHES
	BUILDING SECTION		DOOR MARK		SMOKE DETECTOR
	WALL SECTION		WALL TYPE		FIRE EXTINGUISHER
	INTERIOR ELEVATION		WORK POINT		AREA DRAIN
	EXTERIOR ELEVATION		NOTE		FLOOR DRAIN
	ELEVATION MARK		ACCESSIBLE PATH OF TRAVEL		FLOOR MATERIAL TRANSITION
			FENCE		SECURITY OPENING
			EXIT SIGN		

OPEN SPACE CALCULATIONS

TOTAL OPEN SPACE REQUIREMENTS PER LAMC 12.21.G:

R1 LOTS:
 <3 HABITABLE ROOMS = 100 SF / UNIT (STUDIOS & 1BR UNITS)
 >3 HABITABLE ROOMS = 125 SF / UNIT (2BR UNITS)
 >3 HABITABLE ROOMS = 175 SF / UNIT (3BR+ UNITS)

OPEN SPACE REQUIRED			
UNIT TYPE	HABITABLE ROOMS	# OF UNITS	REQ'D OPEN SPACE
STUDIO	1	15	1,500 SF
1 BR	2	106	10,600 SF
3 BR	4	15	2,625 SF
GRAND TOTAL		136	14,725 SF

PROJECT SEEKS A 76% REDUCTION PER LAMC 12.22.A.39
REQUIRED OPEN SPACE = 21,650 SF X 24% = 3,681 SF

COMMON OPEN SPACE REQUIREMENT: 50% OF OPEN SPACE PROVIDED SHALL BE COMMON PER LAMC 12.21.G
 3,681 SF X 50% = 1,841 SF

PLANTED AREA REQUIREMENTS: 25% OF COMMON OPEN SPACE SHALL BE PLANTED PER LAMC 12.21.G
 3,681 SF X 0.25 = 921 SF PLANTED OPEN SPACE

TOTAL OPEN SPACE PROVIDED: 3,681 SF

PLANTED OPEN SPACE PROVIDED:

TREE REQUIREMENTS: (1) 24' BOX TREE PER 4 UNITS = 51 TREES
 (1) 24' BOX TREE / 500 SF OF FRONT YARD LANDSCAPE

NOTES:

- A KITCHEN IS NOT CONSIDERED A HABITABLE ROOM FOR THE PURPOSES OF CALCULATING OPEN SPACE
- PER LAMC 12.21.G.2(a)(1)(iii) COMMON OPEN SPACE MUST HAVE MINIMUM AREA OF 400 SF WITH NO HORIZONTAL DIMENSIONS LESS THAN 15' WHEN MEASURED PERPENDICULAR FROM ANY POINT ON EACH OF THE BOUNDARIES.

OPEN SPACE PROVIDED			
NAME	LEVEL	QTY	AREA
COMMON OPEN SPACE	2ND FL FFE	3	2,731 SF
COMMON OPEN SPACE			2,731 SF
PRIVATE BALCONY	2ND FL FFE	7	350 SF
PRIVATE BALCONY	3RD FL FFE	3	150 SF
PRIVATE BALCONY	4TH FL FFE	3	150 SF
PRIVATE BALCONY	5TH FL FFE	3	150 SF
PRIVATE BALCONY	6TH FL FFE	3	150 SF
PRIVATE BALCONY			950 SF
GRAND TOTAL			3,681 SF

UNIT SCHEDULE & AFFORDABILITY

UNIT COUNT						
LEVEL	UNIT TYPE	COUNT	BEDROOM COUNT	REQ'D OPEN SPACE	REQ'D PARKING	NET AREA
1ST FL FFE	1 BR	1	1	100 SF	1.5	460 SF
2ND FL FFE	1 BR	21	21	2,100 SF	31.5	9,520 SF
3RD FL FFE	1 BR	21	21	2,100 SF	31.5	9,512 SF
4TH FL FFE	1 BR	21	21	2,100 SF	31.5	9,520 SF
5TH FL FFE	1 BR	21	21	2,100 SF	31.5	9,520 SF
6TH FL FFE	1 BR	21	21	2,100 SF	31.5	9,520 SF
1 BR		106	106	10,600 SF	159	48,052 SF
2ND FL FFE	3 BR	3	9	525 SF	6	2,146 SF
3RD FL FFE	3 BR	3	9	525 SF	6	2,146 SF
4TH FL FFE	3 BR	3	9	525 SF	6	2,146 SF
5TH FL FFE	3 BR	3	9	525 SF	6	2,146 SF
6TH FL FFE	3 BR	3	9	525 SF	6	2,146 SF
3 BR		15	45	2,625 SF	30	10,729 SF
2ND FL FFE	STUDIO	3	0	300 SF	3	1,054 SF
3RD FL FFE	STUDIO	3	0	300 SF	3	1,054 SF
4TH FL FFE	STUDIO	3	0	300 SF	3	1,054 SF
5TH FL FFE	STUDIO	3	0	300 SF	3	1,054 SF
6TH FL FFE	STUDIO	3	0	300 SF	3	1,054 SF
STUDIO		15	0	1,500 SF	15	5,269 SF
Grand total		136	151	14,725 SF	204	64,050 SF

AUTOMOBILE PARKING

RESIDENTIAL PARKING REQUIRED AB2345 & AB1763

100% AFFORDABLE HOUSING PROJECT WITHIN 1/2 MILE OF MAJOR TRANSIT STOP IS NOT REQUIRED TO PROVIDE PARKING PER AB2097

PARKING SCHEDULE (STALL SIZE)			
1ST FL FFE	(3) ACCESSIBLE	RESIDENTIAL GUEST	1
1ST FL FFE	COMPACT	RESIDENTIAL	44
1ST FL FFE			45
Grand total			45

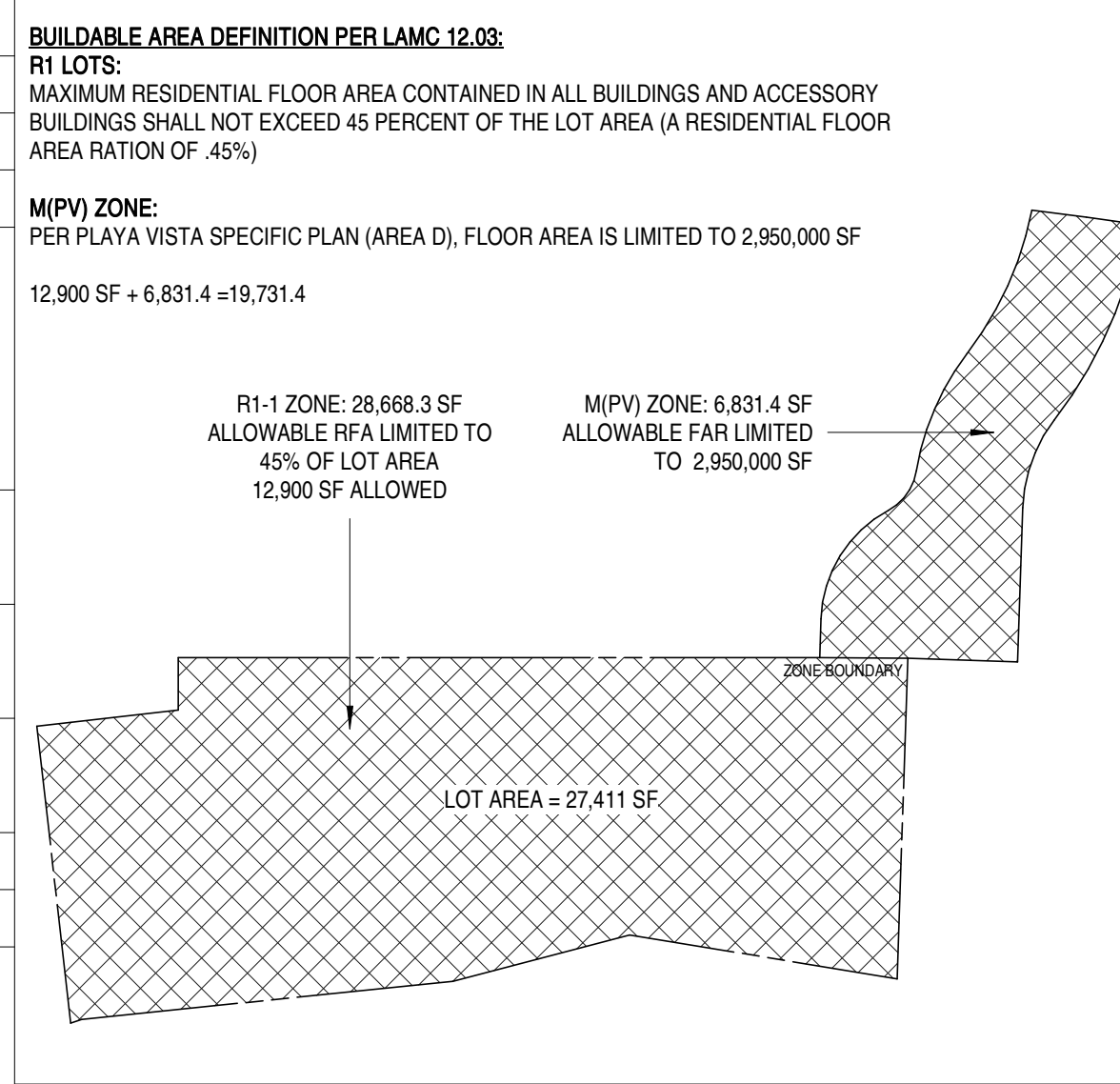
BUILDING CODES USED

2022 LOS ANGELES MUNICIPAL CODE (LAMC)	2020 LOS ANGELES FIRE CODE (L AFC)
2020 LOS ANGELES BUILDING CODE (L ABC)	2020 LOS ANGELES RESIDENTIAL CODE (L ARC)
2020 LOS ANGELES ELECTRICAL CODE (L AEC)	2020 LOS ANGELES GREEN BUILDING CODE (L AGBC)
2020 LOS ANGELES MECHANICAL CODE (L AMC)	
2020 LOS ANGELES PLUMBING CODE (L APC)	

SEPARATE PERMITS

MECHANICAL	FIRE SPRINKLER SYSTEM
ELECTRICAL	BLOCK WALL
PLUMBING	
FIRE ALARM SYSTEM	

ZONING CODE AREA CALCULATIONS



FLOOR AREA DEFINITION PER LAMC 12.03:

AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF A BUILDING, BUT NOT INCLUDING THE AREA OF THE FOLLOWING: EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS HOUSING BUILDING EQUIPMENT OR MACHINERY, PARKING AREAS WITH ASSOCIATED DRIVEWAYS AND RAMPS, SPACE FOR THE LANDING OR STORAGE OF HELICOPTERS, AND BASEMENT STORAGE AREAS.

TOTAL ALLOWABLE FLOOR AREA: 2,962,900 = 84.65:1 FAR

FLOOR AREA RATIO (FAR) DEFINITION PER LAMC 12.03:

A RATIO ESTABLISHING RELATIONSHIP BETWEEN A PROPERTY AND THE AMOUNT OF DEVELOPMENT PERMITTED FOR THAT PROPERTY, AND IS EXPRESSED AS A PERCENTAGE OR A RATIO OF THE BUILDABLE AREA OR LOT SIZE (EXAMPLE: "3 TIMES THE BUILDABLE AREA" OR "3:1").

AREA SCHEDULE (FAR)		
LEVEL	FAR	AREA
1ST FL FFE	MISC	17,829 SF
2ND FL FFE	MISC	2,130 SF
3RD FL FFE	MISC	2,130 SF
4TH FL FFE	MISC	2,130 SF
5TH FL FFE	MISC	2,130 SF
6TH FL FFE	MISC	2,130 SF
MISC		28,481 SF
1ST FL FFE	RESIDENTIAL	448 SF
2ND FL FFE	RESIDENTIAL	12,836 SF
3RD FL FFE	RESIDENTIAL	12,836 SF
4TH FL FFE	RESIDENTIAL	12,836 SF
5TH FL FFE	RESIDENTIAL	12,836 SF
6TH FL FFE	RESIDENTIAL	12,836 SF
RESIDENTIAL		64,629 SF
GRAND TOTAL		93,110 SF

TOTAL PROPOSED FLOOR AREA: 93,110 SF = 4.72:1 FAR
 SEE E02 FOR FLOOR AREA CALCULATIONS

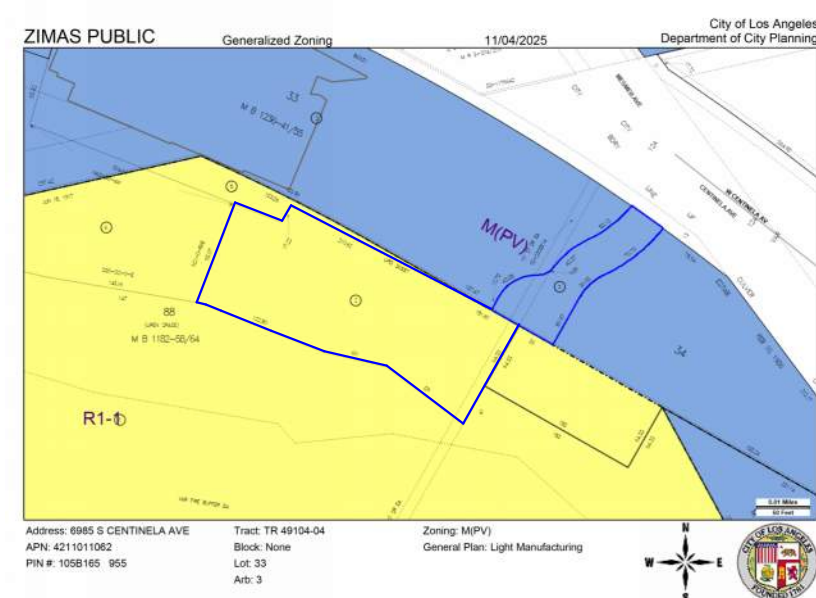
BICYCLE PARKING

BICYCLE PARKING REQUIRED PER LAMC 12.21.A.16:

LONG TERM PARKING:
 UNITS 1 - 25 = 25/1 = 25 STALLS
 UNITS 26-100 = 75 UNITS/1.5 = 50 STALLS
 UNITS 101-136 = 36 UNITS/2 = 18 STALLS
93 STALLS REQUIRED
93 STALLS PROVIDED

SHORT TERM PARKING:
 UNITS 1 - 25 = 25/10 = 2.5 STALLS
 UNITS 26-100 = 75 UNITS/15 = 5 STALLS
 UNITS 101-200 = 36 UNITS/20 = 1.8 STALLS
10 STALLS REQUIRED
10 STALLS PROVIDED

VICINITY MAP



PROJECT INFORMATION

PROJECT NAME:	CENTINELA APARTMENTS
ADDRESS:	6985 S CENTINELA AVE LOS ANGELES, CA 90045
ENTITLEMENTS:	NOT YET FILED
OWNER:	
PROJECT DESCRIPTION:	NEW CONSTRUCTION, 6-STORY, 136-UNIT, 100% AFFORDABLE HOUSING DEVELOPMENT SEEKING ON- & OFF MENU INCENTIVES & WAIVERS PER LAMC 12.22.A.39
PROJECT FUNDING:	100% PRIVATELY FUNDED THIS IS NOT A PUBLIC HOUSING FACILITY OWNED AND/OR OPERATED BY, FOR OR ON BEHALF OF A PUBLIC ENTITY AND NO TAX CREDIT SHALL BE RECEIVED FROM STATE OR FEDERAL GOVERNMENTS, NOT A TCAC FACILITY AND NOT A SOCIAL SERVICE CENTER.
CONSTRUCTION TYPE:	TYPE-IA (1ST FLOOR) TYPE-III A (2ND-6TH FLOORS)
OCCUPANCY TYPE:	R-2, A-2, S-2, B
SPRINKLERED:	NFPA-13 PER LAFC 903.2
FIRE ALARM:	MANUAL ALARM
ACCESSIBILITY:	CBC 11A

ZONING INFORMATION

ZONE:	R1-1, M(PV)
ZONING INFORMATION:	ZI-2517 AL FRESCO ORDINANCE WITHIN PLANNING OVERLAY AND/OR THE COASTAL ZONE (ORDINANCE 168073) ZI-2452 TRANSIT PRIORITY AREA IN THE CITY OF LOS ANGELES ZI-1874 SPECIFIC PLAN: LOS ANGELES COASTAL TRANSPORTATION CORRIDOR ZI-2427 FREEWAY ADJACENT ADVISORY NOTICE FOR SENSITIVE USES ZI-1300 SPECIFIC PLAN: PLAYA VISTA (AREA D) ZI-2498 LOCAL EMERGENCY TEMPORARY REGULATIONS - TIME LIMITS AND PARKING RELIEF - LAMC 16.02.1
GENERAL PLAN LAND USE:	LOW RESIDENTIAL, LIGHT MANUFACTURING
ASSESSOR PARCEL NUMBER:	4211-011-062
TRACT:	P(MV) ZONE: TR 49104-04, R1-1 ZONE: TR 43416
BLOCK:	NONE
LOT:	P(MV) ZONE: 33 ARB 3, R1-1 ZONE: 88 ARB 2
FLOOD ZONE:	OUTSIDE FLOOD ZONE
METHANE ZONE:	YES
SITE AREA:	35,499.7 SF PER ZIMAS
REQUIRED SETBACKS:	FRONT M(PV) ZONE: 0'-0" SIDE M(PV) ZONE: 5' + 1' EVERY STORY OVER 2 = 9'-0" SIDE R1 ZONE: 5' + 1' EVERY STORY OVER 2 = 9'-0" REAR R1 ZONE: 15'-0"
PROVIDED SETBACKS:	FRONT: 0'-0" SIDE: 5'-0" (45% OFF-MENU REDUCTION) SIDE: 9'-0" REAR: 5'-0" (67% OFF-MENU REDUCTION)
ALLOWABLE HEIGHT PER LAMC:	28'-0" PER LAMC 12.21.1.A 61'-0" PER LAMC 12.22.A.39 83'-0" PER LAMC 12.22.A.39 W/ PUBLIC BENEFIT OPTION
PROVIDED HEIGHT PER LAMC:	77'-0", SEE ELEVATIONS & SURVEY FOR LOWEST ADJ. GRADE
ALLOWABLE HEIGHT PER LABC:	45'-0" PER LABC TABLE 504.3
PROVIDED HEIGHT PER LABC:	58'-6", SEE ELEVATIONS & SITE PLAN FOR GRADE PLANE CALCS.
ALLOWABLE FLOOR AREA:	179,454 SF
PROVIDED FLOOR AREA:	93,110 SF = 4.72:1 FAR
ALLOWABLE DENSITY PER LAMC 12.22.A.39:	UNLIMITED
PROVIDED DENSITY:	136 UNITS
REQUIRED PARKING:	NONE WHEN WITHIN 1/2 MILE OF MAJOR TRANSIT STOP
PROVIDED PARKING:	45 STALLS

INCENTIVES REQUESTED

BASE INCENTIVES (3):
 UNLIMITED DENSITY PER 12.22.A.39
 33' OR THREE ADDITIONAL STORIES PER 12.22.A.39
 ZERO PARKING PER AB2097

OFF-MENU INCENTIVES (6):
 AVERAGING OF ZONING STANDARDS
 REDUCTION IN OPEN SPACE TO PERMIT 3,681 SF IN LIEU OF 14,725 SF (76%)
 SIDE YARD (NORTH) REDUCTION TO PERMIT 5' IN LIEU OF 9' (45%)
 REAR YARD REDUCTION TO PERMIT 5' IN LIEU OF 15' (67%)
 100% REDUCTION OF SIDE YARD PLANE BREAKS AS REQUIRED PER 12.08.C.2(a)

WAIVERS OF DEVELOPMENT STANDARDS (1):
 SIDE YARD ENCROACHMENT PLANES AS REQUIRED PER 12.08.C.5(a)

PUBLIC BENEFIT INCENTIVES (1):
 2 ADDITIONAL STORIES IN EXCHANGE FOR 10% OF THE TOTAL UNITS TO BE THREE-BEDROOMS



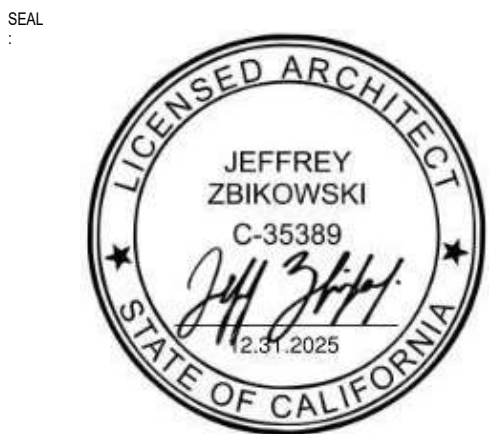
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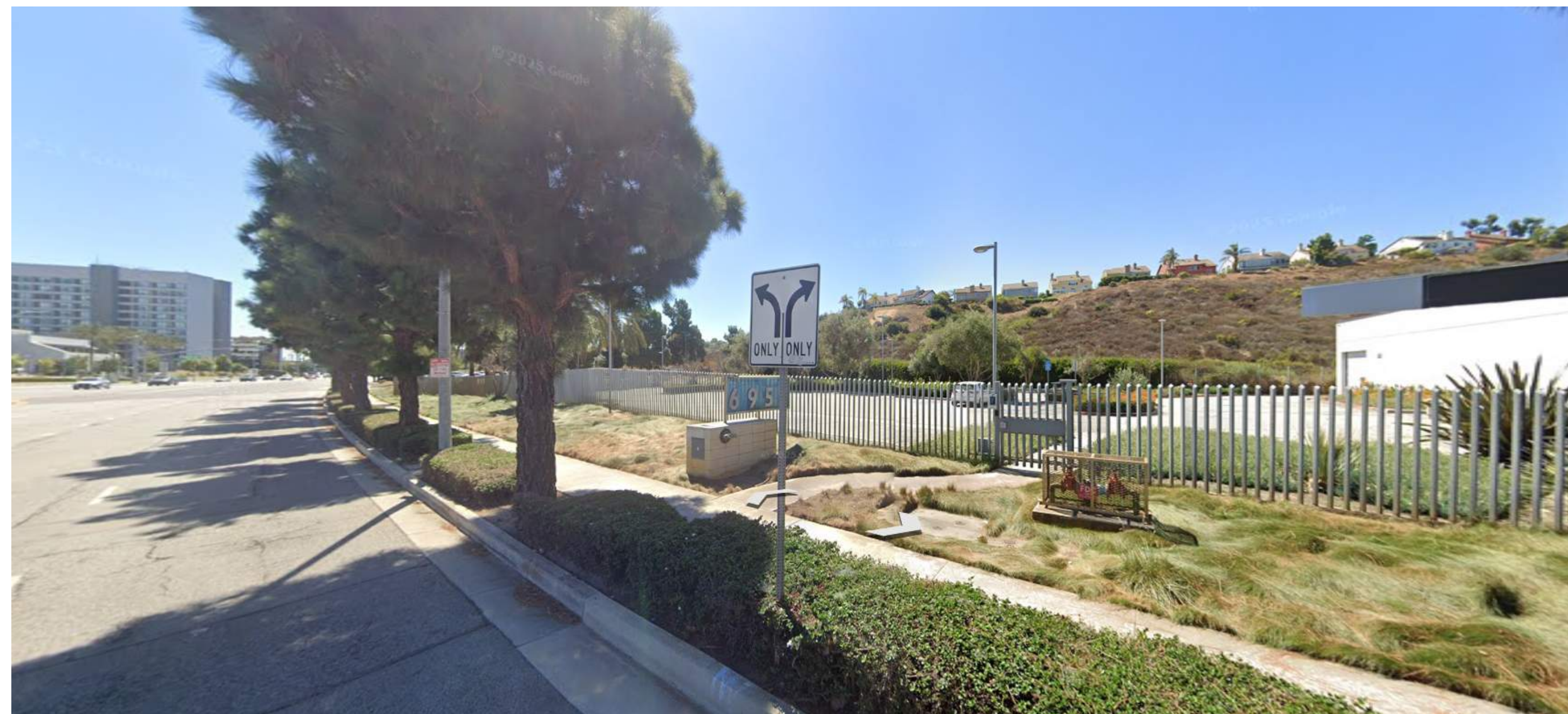
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STREET VIEW FROM CENTINELA AVENUE | N.T.S | 1

CLIENT NAME:

PROJECT NAME:
PARK PLAYA

NOT FOR CONSTRUCTION

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6985 S CENTINELA AVE
LOS ANGELES, CA 90045

JOB NUMBER:
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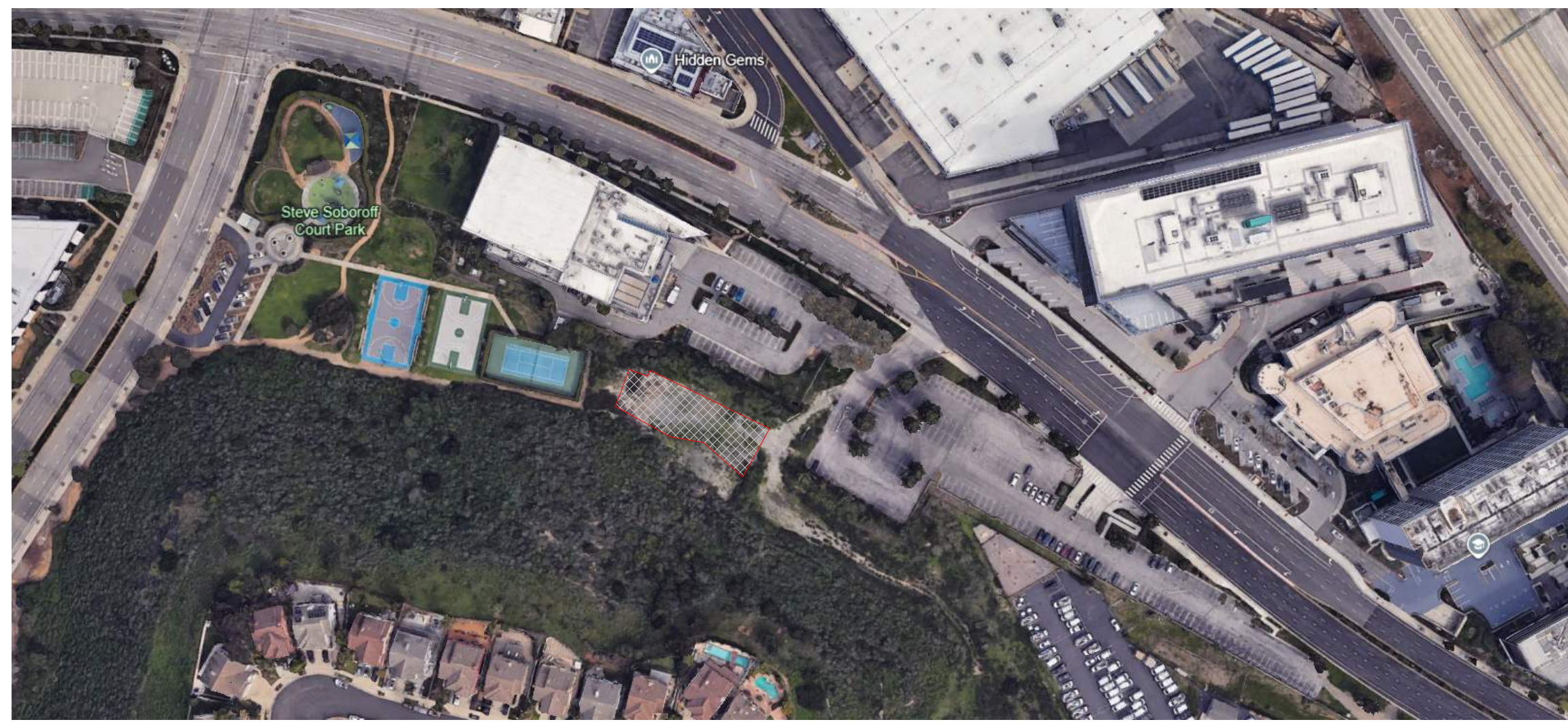
DATE:
1.30.2026

SHEET TITLE:
**SITE PHOTOS &
EXISTING CONDITIONS**

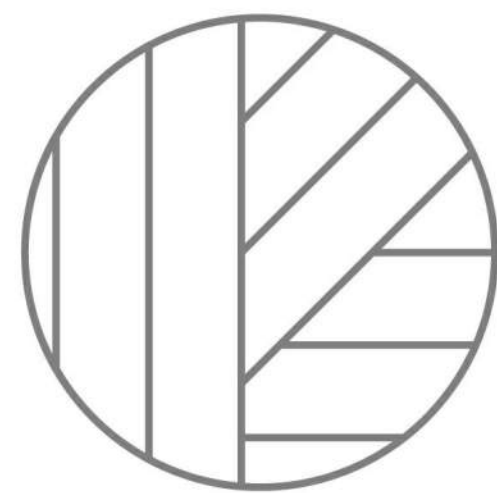
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E03

DRAWING SET TITLE:
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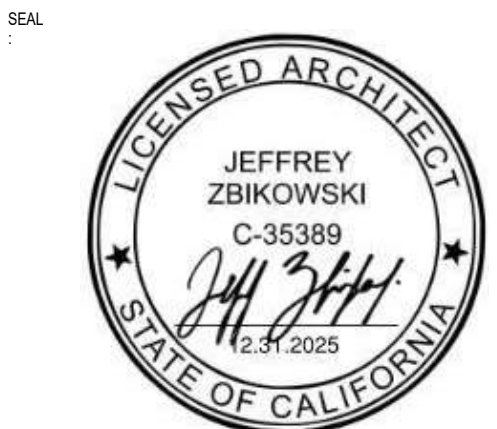


AERIAL VIEW | N.T.S | 1



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LOS ANGELES, CA 90045

JOB NUMBER:
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DATE:
1.30.2026

SHEET TITLE:
**OPEN SPACE
CALCULATIONS**

SHEET NUMBER:
E04

DRAWING SET TITLE:
**PLANNING
REVIEW SET**

3/5/2026 2:44:13 PM



5TH FLOOR OPEN SPACE DIAGRAM 1" = 20'-0" 4



2ND FLOOR OPEN SPACE DIAGRAM 1" = 20'-0" 1



6TH FLOOR OPEN SPACE DIAGRAM 1" = 20'-0" 5



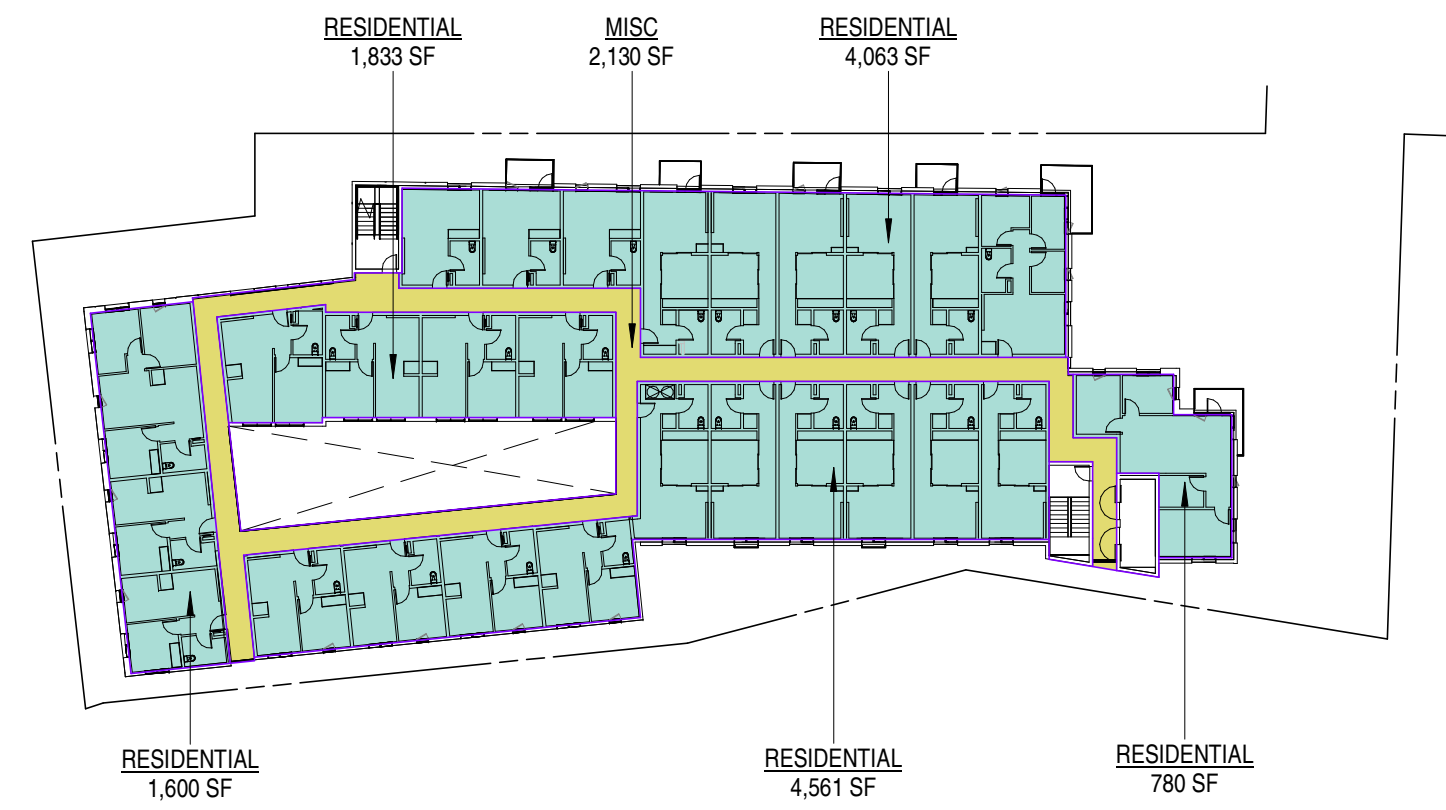
3RD FLOOR OPEN SPACE DIAGRAM 1" = 20'-0" 2



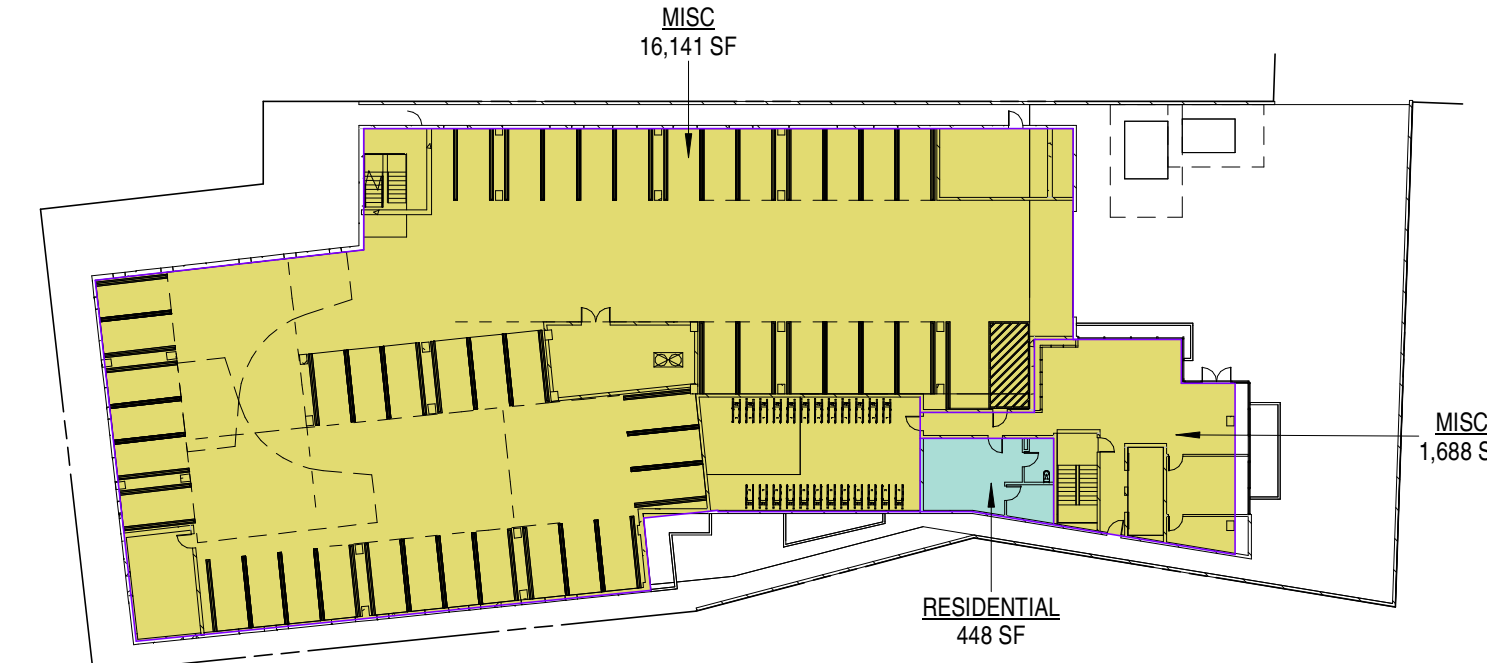
4TH FLOOR OPEN SPACE DIAGRAM 1" = 20'-0" 3

OPEN SPACE REQUIRED				
UNIT TYPE	HABITABLE ROOMS	# OF UNITS		REQD OPEN SPACE
STUDIO	1	15		1,500 SF
1 BR	2	106		10,600 SF
3 BR	4	15		2,625 SF
GRAND TOTAL		136		14,725 SF

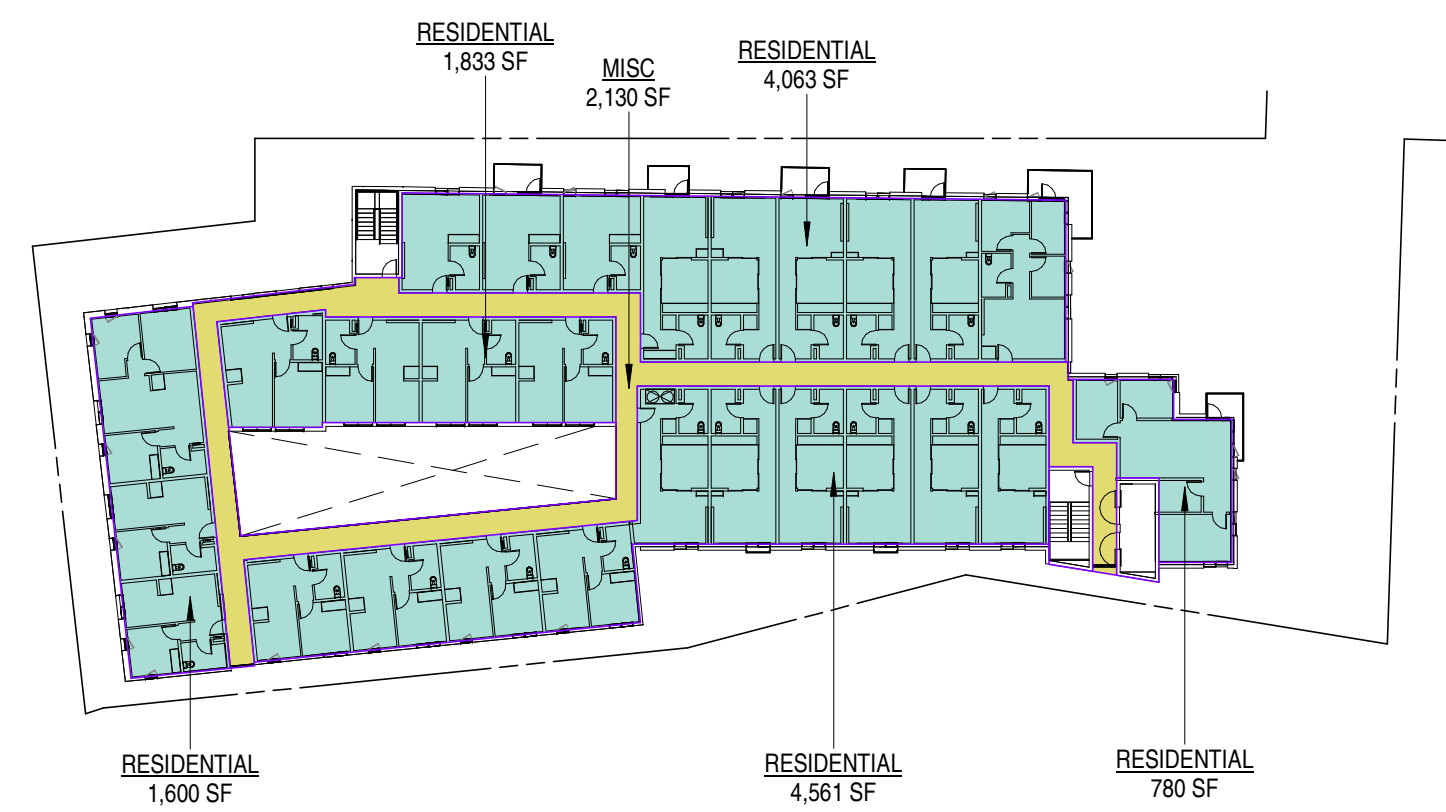
OPEN SPACE PROVIDED				
NAME	LEVEL	QTY		AREA
COMMON OPEN SPACE	2ND FL FFE	3		2,731 SF
COMMON OPEN SPACE				2,731 SF
PRIVATE BALCONY	2ND FL FFE	7		350 SF
PRIVATE BALCONY	3RD FL FFE	3		150 SF
PRIVATE BALCONY	4TH FL FFE	3		150 SF
PRIVATE BALCONY	5TH FL FFE	3		150 SF
PRIVATE BALCONY	6TH FL FFE	3		150 SF
PRIVATE BALCONY				950 SF
GRAND TOTAL				3,681 SF



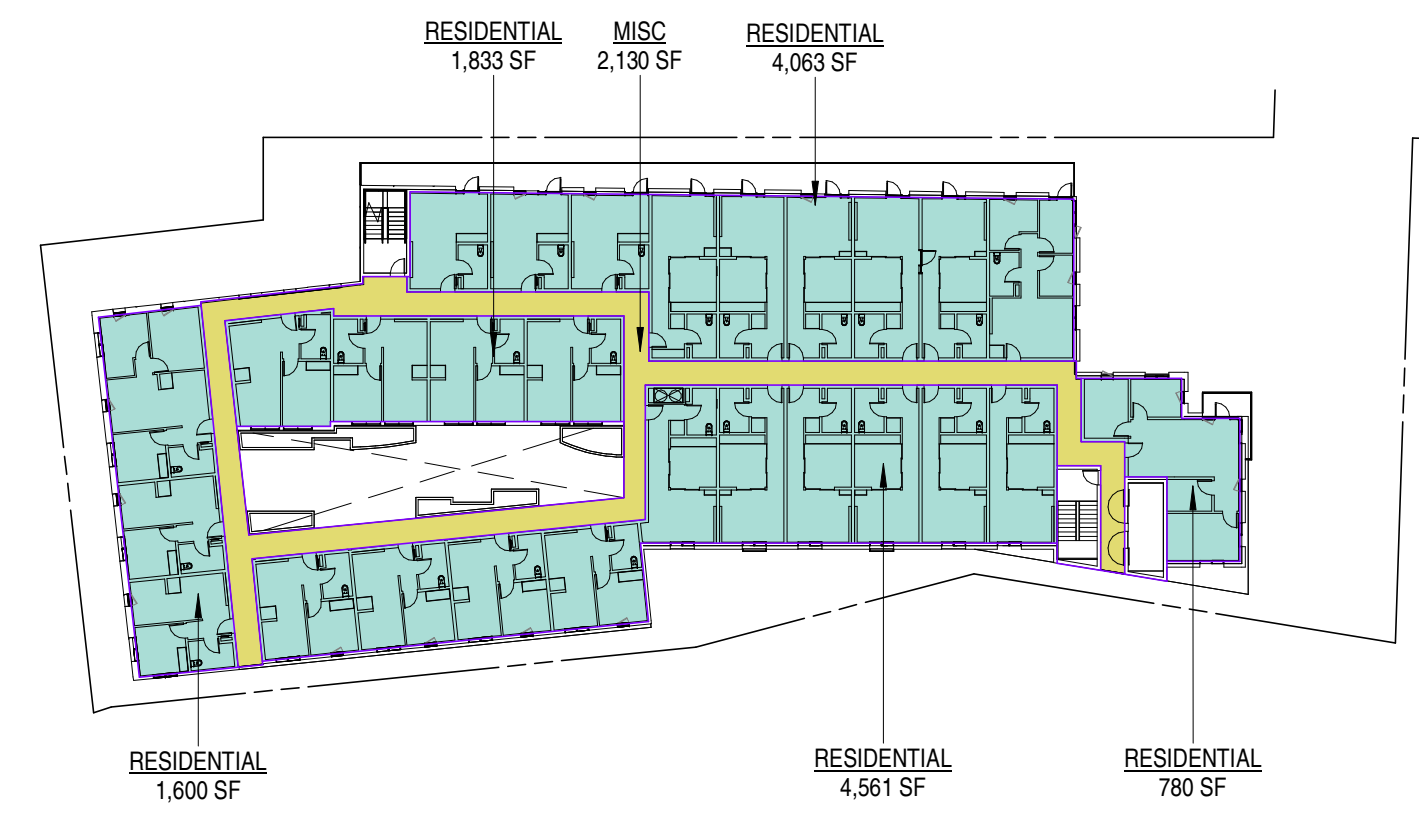
5TH FLOOR FAR DIAGRAM 1" = 40'-0" 6



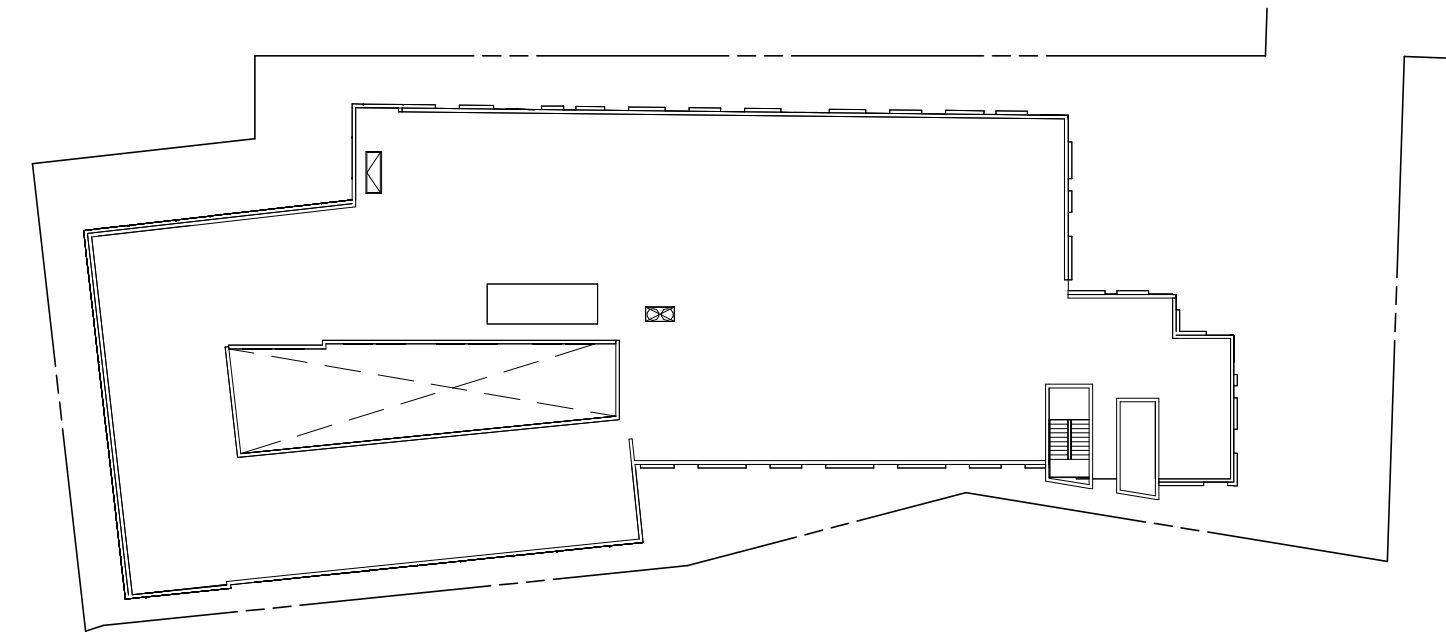
1ST FLOOR FAR DIAGRAM 1" = 40'-0" 1



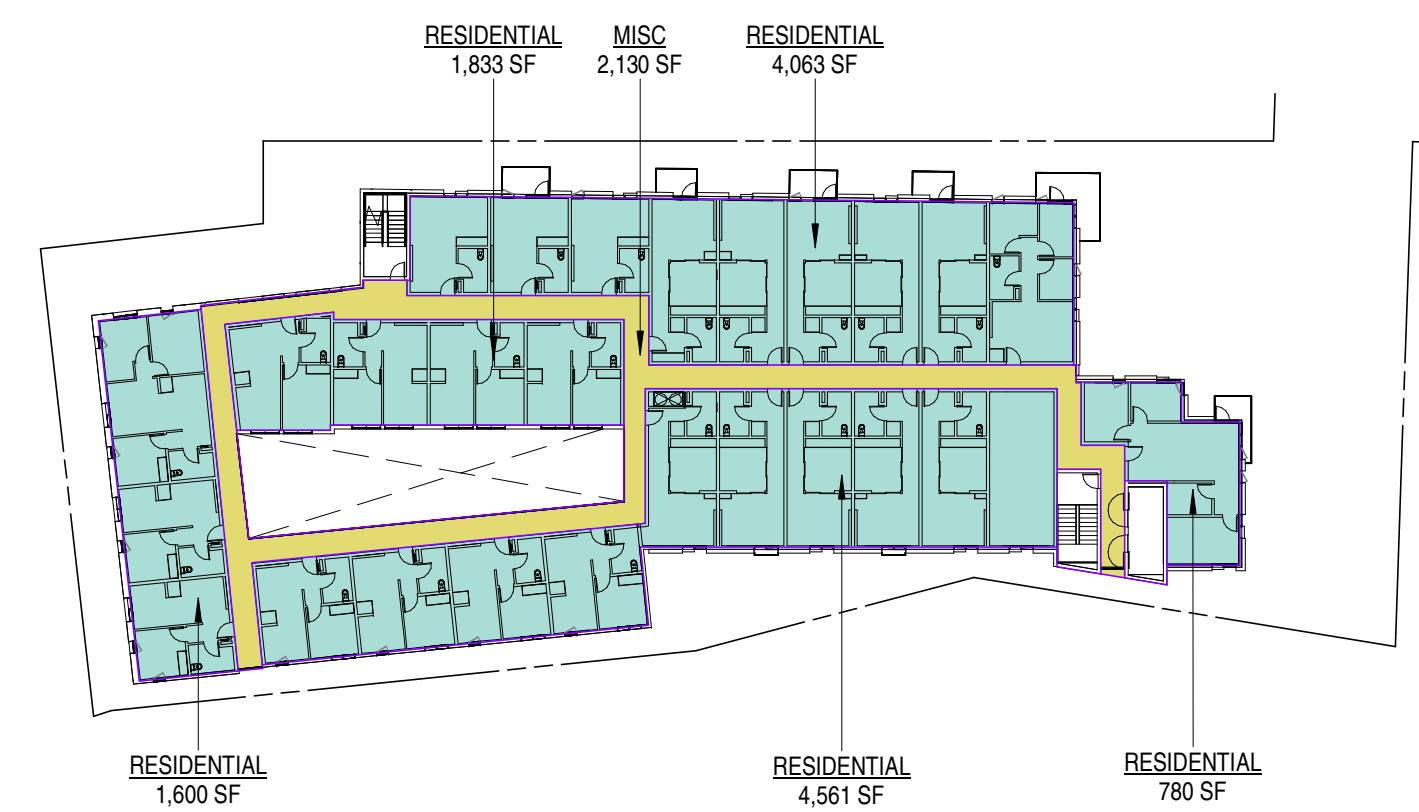
6TH FLOOR FAR DIAGRAM 1" = 40'-0" 7



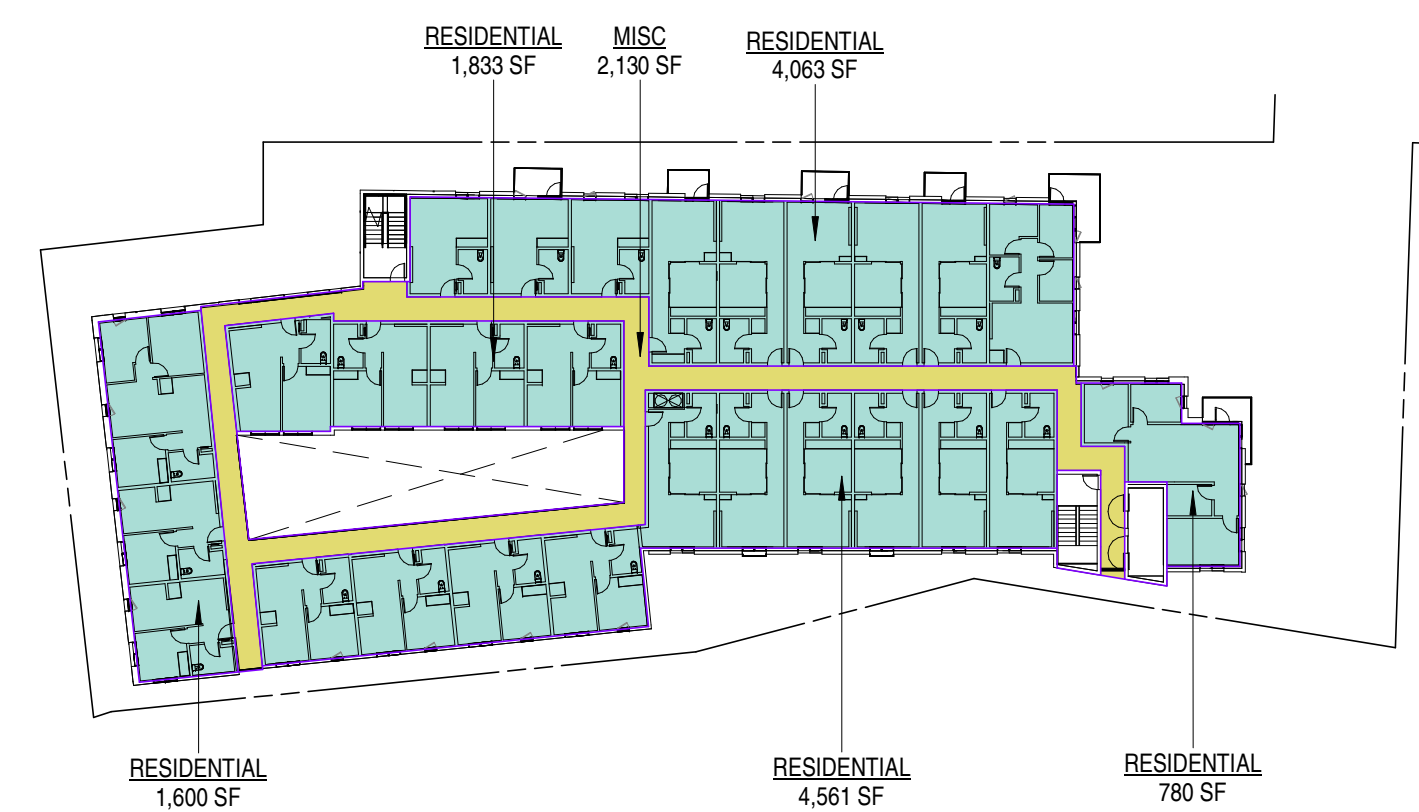
2ND FLOOR FAR DIAGRAM 1" = 40'-0" 3



ROOF FAR DIAGRAM 1" = 40'-0" 4



3RD FLOOR FAR DIAGRAM 1" = 40'-0" 2



4TH FLOOR FAR DIAGRAM 1" = 40'-0" 5

FLOOR AREA RATIO

FAR MEASUREMENT PER LAMC 12.03: AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF A BUILDING, BUT NOT INCLUDING THE AREA OF THE FOLLOWING: EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS HOUSING BUILDING EQUIPMENT OR MACHINERY, PARKING AREAS WITH ASSOCIATED DRIVEWAYS AND RAMP, SPACE FOR THE LANDING AND STORAGE OF HELICOPTERS AND BASEMENT STORAGE AREAS.

PROPOSED FLOOR AREA:

AREA SCHEDULE (FAR)		
LEVEL	FAR	AREA
1ST FL FFE	MISC	17,829 SF
2ND FL FFE	MISC	2,130 SF
3RD FL FFE	MISC	2,130 SF
4TH FL FFE	MISC	2,130 SF
5TH FL FFE	MISC	2,130 SF
6TH FL FFE	MISC	2,130 SF
MISC		28,481 SF
1ST FL FFE	RESIDENTIAL	448 SF
2ND FL FFE	RESIDENTIAL	12,836 SF
3RD FL FFE	RESIDENTIAL	12,836 SF
4TH FL FFE	RESIDENTIAL	12,836 SF
5TH FL FFE	RESIDENTIAL	12,836 SF
6TH FL FFE	RESIDENTIAL	12,836 SF
RESIDENTIAL		64,629 SF
GRAND TOTAL		93,110 SF



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CLIENT NAME:

PROJECT NAME:

PARK PLAYA

NOT FOR CONSTRUCTION

PROJECT ADDRESS:
6985 S CENTINELA AVE
LOS ANGELES, CA 90045

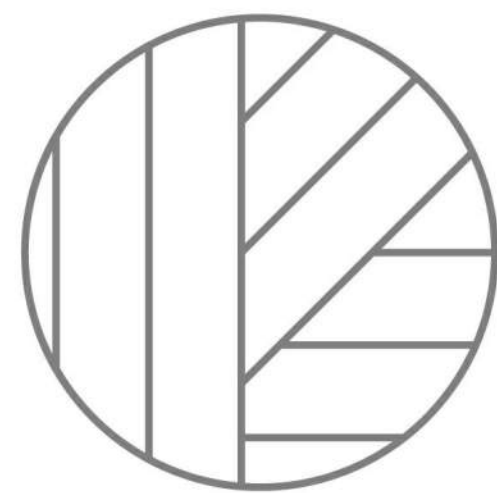
JOB NUMBER:
2527

DATE:
1.30.2026

SHEET TITLE:
ZONING CODE AREA
CALCULATIONS

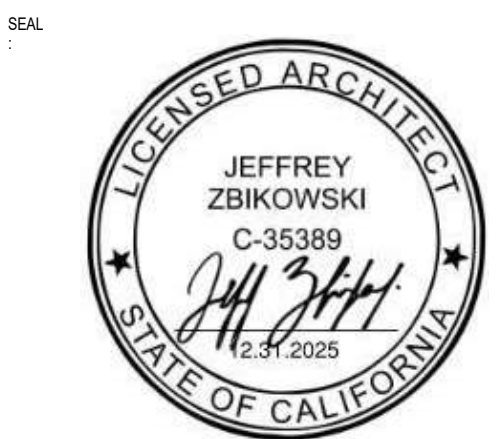
SHEET NUMBER:
E06

DRAWING SET TITLE:
PLANNING
REVIEW SET



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PROJECT ADDRESS:
6985 S CENTINELA AVE
LOS ANGELES, CA 90045

JOB NUMBER:
2527

DATE:
1.30.2026

SHEET
1ST FLOOR OVERALL PLAN

SHEET NUMBER:

E11

DRAWING SET TITLE:
PLANNING REVIEW SET

2/2/2026 11:35:15 AM



OVERALL 1ST FLOOR PLAN 3/32" = 1'-0" 1

SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOS, FOC, FOM OR CENTERLINE OF COLUMN, UNDO.
- B. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- C. SEE M13-M14 FOR KITCHEN AND BATHROOM PLANS AND ELEVATIONS.
- D. VERIFY CLEARANCES ARE ADEQUATE FOR PROPER OPERATION OF APPLIANCES AND FIXTURES, AND THAT ROUGH OPENINGS ARE COMPLETELY CONCEALED.
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- H. SEE SHTS 040-042 FOR TYP ACCESSIBILITY REQUIREMENTS.
- J. DWELLINGS SHALL BE SEPARATED WITH 1-HOUR FIRE RESISTIVE CONSTRUCTION AT WALLS & FLOORS.
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- S. ALL ROOF RUNOFF TO DRAIN TO DRYWELL. SEE PLUMBING AND CIVIL DRAWINGS.

LEGEND

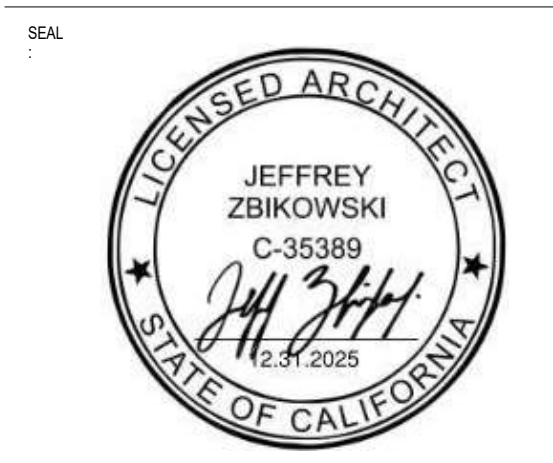
- 2-HR FIRE BARRIER
- 1-HR RATED FIRE PARTITION
- CONCRETE WALL AND FLOOR, 3HR
- CONCRETE BLOCK WALL, 3 HR IF BEARING, SEE STRUCTURAL DRAWINGS
- CONCRETE COLUMN, 3HR
- 8'-2" MIN HEAD HEIGHT FOR ACCESSIBILITY
- WALL TAG. SEE A900 FOR WALL TYPE
- STANDPIPE
- FLOOR DRAIN
- EMERGENCY DRAIN, SLOPE TO DRAIN
- WALL MOUNTED EV CHARGER, SEE 20/A920
- EV STALL, PER 11B - 812.8
- ACCESSIBLE STALL - MAINTAIN 8'-2" CLR.
- 36" WIDE RECESSED DETECTABLE WARNING SURFACE

KEYNOTES

- 030 TURNING RADIUS PER LADBS BULLETIN P/ZC 2002-001



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 6985 S CENTINELA AVE
 LOS ANGELES, CA 90045

JOB NUMBER:
 2527

DATE:
 1.30.2026

SHEET TITLE:
2ND FLOOR OVERALL PLAN

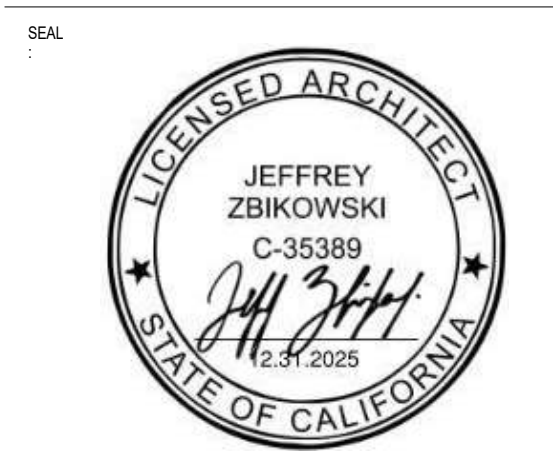
SHEET NUMBER:
E12
 DRAWING SET TITLE:
PLANNING REVIEW SET

2/2/2026 11:35:17 AM

SHEET NOTES		LEGEND	KEYNOTES
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PROJECT ADDRESS:
 6985 S CENTINELA AVE
 LOS ANGELES, CA 90045

JOB NUMBER:
 2527

DATE:
 1.30.2026

SHEET TITLE:
3RD FLOOR OVERALL PLAN

SHEET NUMBER:
E13
 DRAWING SET TITLE:
PLANNING REVIEW SET

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SHEET NOTES

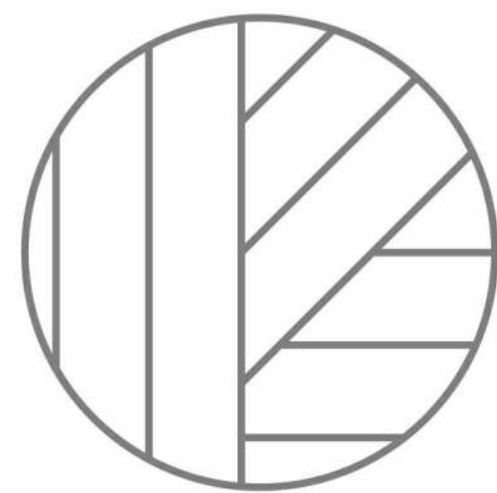
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LEGEND

- 1 E20
- 2 E20
- 1 E30
- 2 E30
- 1 E31
- 2 E31
- 1 E32
- 1 E22
- 1 E30

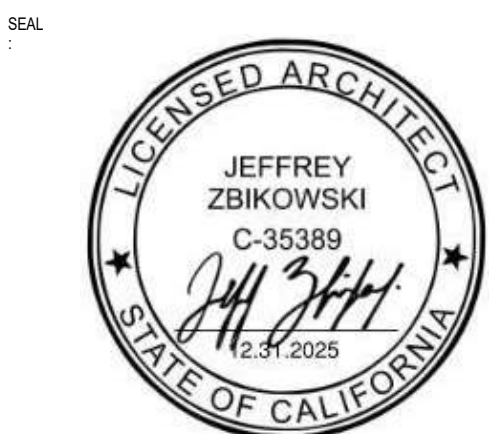
KEYNOTES

- 1



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PARK PLAYA

NOT FOR CONSTRUCTION

PROJECT ADDRESS:
6985 S CENTINELA AVE
LOS ANGELES, CA 90045

JOB NUMBER:
2527

DATE:
1.30.2026

SHEET TITLE:
4TH FLOOR OVERALL PLAN

SHEET NUMBER:
E14

DRAWING SET TITLE:
PLANNING REVIEW SET

2/2/2026 11:35:20 AM



OVERALL 4TH FLOOR PLAN 3/32" = 1'-0" 1

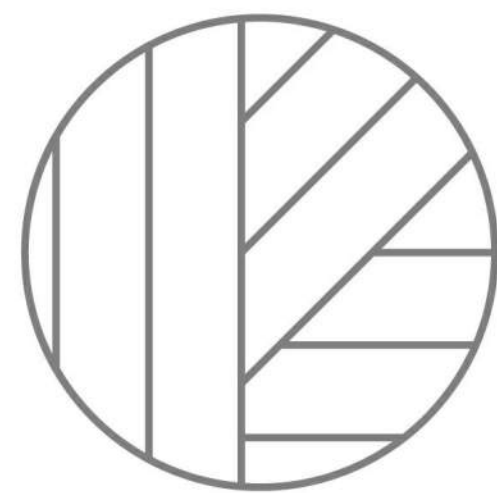
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LEGEND

KEYNOTES



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LOS ANGELES, CA 90045

JOB NUMBER:
2527

DATE:
1.30.2026

SHEET TITLE:
5TH FLOOR OVERALL PLAN

SHEET NUMBER:

E15

DRAWING SET TITLE:
PLANNING REVIEW SET

2/2/2026 11:35:22 AM



OVERALL 5TH FLOOR PLAN 3/32" = 1'-0" 1

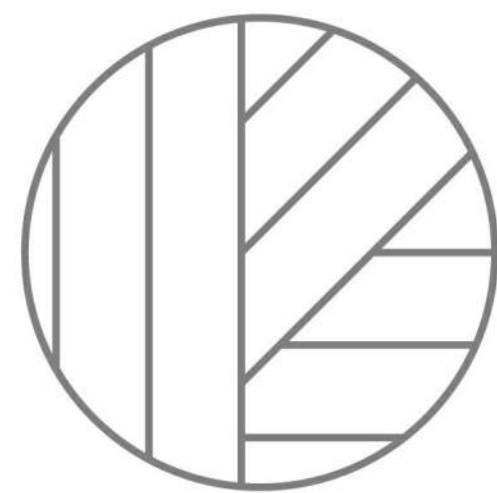
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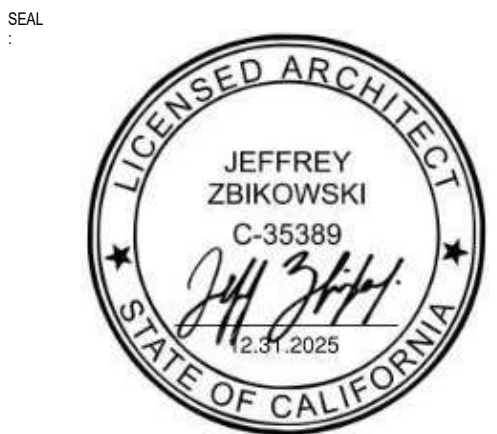
LEGEND

KEYNOTES



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6985 S CENTINELA AVE
LOS ANGELES, CA 90045

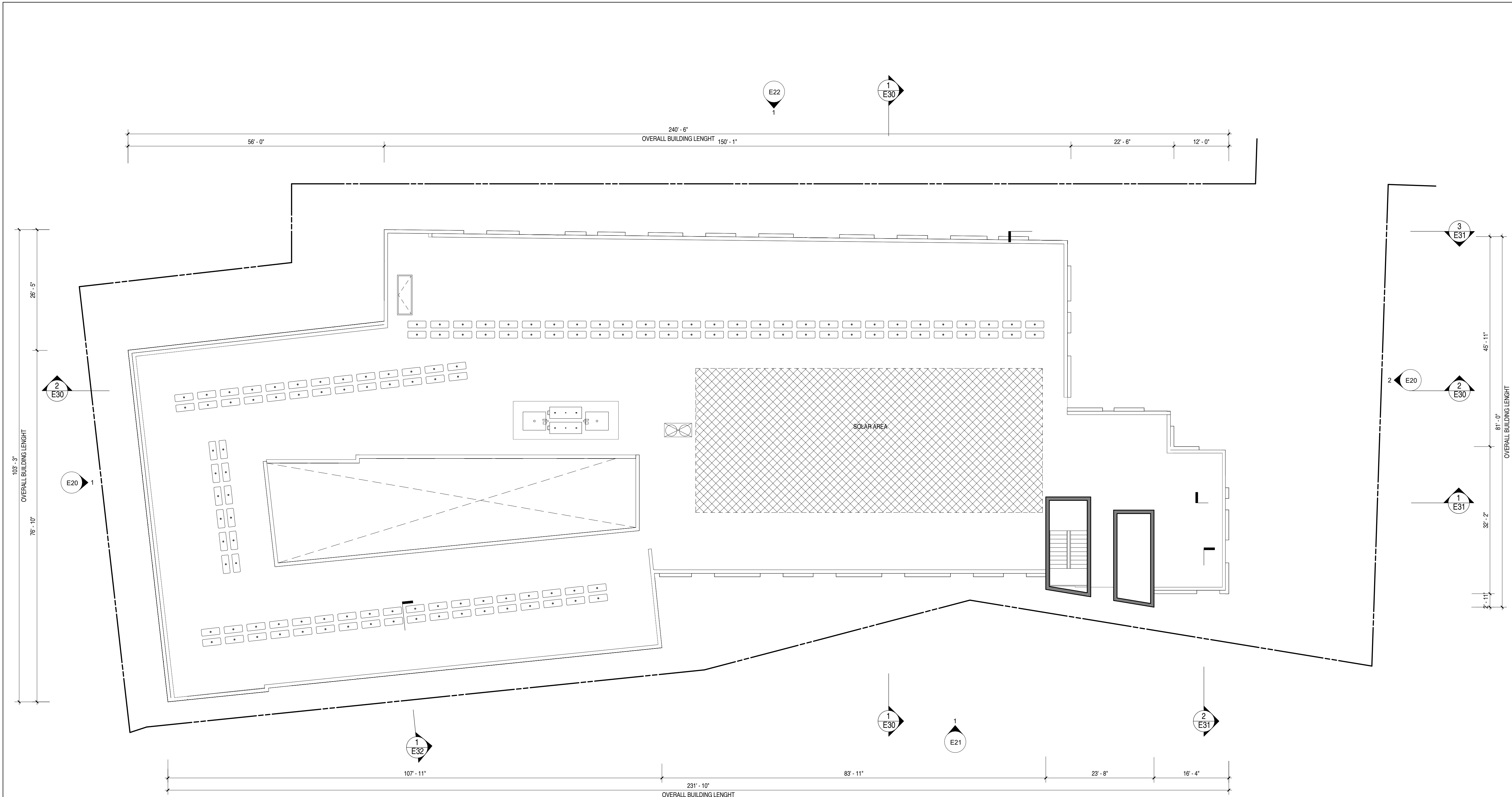
JOB NUMBER:
2527

DATE:
1.30.2026

SHEET TITLE:
ROOF PLAN

SHEET NUMBER:
E17
DRAWING SET TITLE:
**PLANNING
REVIEW SET**

2/2/2026 11:35:24 AM



ROOF PLAN 3/32" = 1'-0" 1

SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOS, FOC, FOM OR CENTERLINE OF COLUMN, UNO.
- B. ALL DIMENSIONS INDICATED AS 'CLR' ARE FROM FINISH TO FINISH.
- C. SEE M13-M14 FOR KITCHEN AND BATHROOM PLANS AND ELEVATIONS.
- D. VERIFY CLEARANCES ARE ADEQUATE FOR PROPER OPERATION OF APPLIANCES AND FIXTURES, AND THAT ROUGH OPENINGS ARE COMPLETELY CONCEALED.
- E. VERIFY ALL SHEAR WALL LOCATIONS, SEE STRUCT DWGS.
- F. SEE FINISH SCHEDULE E FOR ADDITIONAL INFORMATION.
- G. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT.
- H. SEE SH1TS G040-G042 FOR TYP ACCESSIBILITY REQUIREMENTS.
- J. DWELLINGS SHALL BE SEPARATED WITH 1-HOUR FIRE RESISTIVE CONSTRUCTION AT WALLS & FLOORS.
- K. DAMPERS ARE REQUIRED IF CEILING IS PENETRATED FOR BATHROOM EXHAUST, KITCHEN HOOD, OR FAU DUCTS.
- L. SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. (LAFD 907.2.11.5.6)
- M. CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. REQUIRED CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. (LAFD 914.4.2)
- N. BUILDING TO BE EQUIPPED WITH FIRE ALARM SYSTEM AND SMOKE ALARM IN COMPLIANCE WITH SECTION 907.2.9 AND CARBON MONOXIDE ALARM PER SECTION 915.
- O. CLOSET SHELVES TO BE MDF WITH WOOD POLES.
- P. ALL ACCESS PANELS TO BE FACTORY PAINTED WHITE.
- Q. SMOKE AND COMBINATION SMOKE/ CARBON MONOXIDE DETECTORS TO BE PHOTOELECTRIC AND LOCATED MINIMUM 10'-0" FROM PERMANENTLY INSTALLED COOKING APPLIANCES PER 907.2.11.3.
- R. SMOKE AND COMBINATION SMOKE/ CARBON MONOXIDE DETECTORS SHALL BE LOCKED MINIMUM 5'-0" FROM DOORS THAT LEAD TO A BATHROOM WITH SHOWER OR TUB PER 907.2.11.4.
- S. ALL ROOF RUNOFF TO DRAIN TO DRYWELL. SEE PLUMBING AND CIVIL DRAWINGS.

LEGEND

KEYNOTES



WEST ELEVATION OVERALL PRODUCTION 3/32" = 1'-0" 1



EAST ELEVATION PRODUCTION 3/32" = 1'-0" 2

KEYNOTES

A. ALL DIMENSIONS ARE TO FOS, FOL, FOM OR CENTERLINE OF COLUMN, UNLESS NOTED OTHERWISE.
 B. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
 C. SEE A613-A614 FOR KITCHEN AND BATHROOM PLANS AND ELEVATIONS.
 D. VERIFY CLEARANCES ARE ADEQUATE FOR PROPER OPERATION OF APPLIANCES AND FIXTURES, AND THAT ROUGH OPENINGS ARE COMPLETELY CONCEALED.
 E. VERIFY ALL SHEAR WALL LOCATIONS, SEE STRUCT DWGS.
 F. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
 G. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT.
 H. SEE SPTS 0600-0602 FOR TYP ACCESSIBILITY REQUIREMENTS.
 J. DWELLINGS SHALL BE SEPARATED WITH 1-HOUR FIRE RESISTIVE CONSTRUCTION AT WALLS & FLOORS.
 K. DAMPERS ARE REQUIRED IF CEILING IS PENETRATED FOR BATHROOM EXHAUST, KITCHEN HOOD, OR FAU DUCTS.
 L. SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. (LAFD 907.2.11.5.4)
 M. CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. REQUIRED CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. (LAFD 915.4.2.4)
 N. BUILDING TO BE EQUIPPED WITH FIRE ALARM SYSTEM AND SMOKE ALARM IN COMPLIANCE WITH SECTION 907.2.9 AND CARBON MONOXIDE ALARM PER SECTION 915.
 O. CLOSET SHELVES TO BE MDF WITH WOOD POLES.
 P. ALL ACCESS PANELS TO BE FACTORY PAINTED WHITE.
 Q. SMOKE AND COMBINATION SMOKE/ CARBON MONOXIDE DETECTORS TO BE PHOTOELECTRIC AND LOCATED MINIMUM 10'-0" FROM PERMANENTLY INSTALLED COOKING APPLIANCES PER 907.2.11.3.
 R. SMOKE AND COMBINATION SMOKE/ CARBON MONOXIDE DETECTORS SHALL BE LOCATED MINIMUM 3'-0" FROM DOORS THAT LEAD TO A BATHROOM WITH SHOWER OR TUB PER 907.2.11.4.
 S. ALL ROOF RUNOFF TO DRAIN TO DRYWELL. SEE PLUMBING AND CIVIL DRAWINGS.

SHEET NOTES

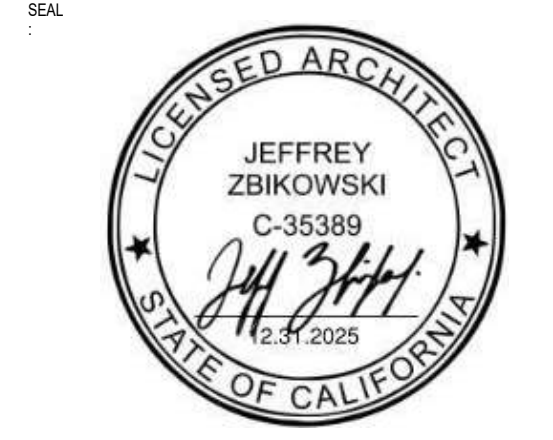
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MATERIALS

- EXTERIOR LIGHT GRAY PLASTER AND LATH
- EXTERIOR LIGHT GRAY PLASTER AND LATH
- EXTERIOR DARK GRAY PLASTER AND LATH
- EXTERIOR SMOOTH WHITE PLASTER AND LATH
- STOREFRONT SYSTEM
- VINYL WINDOW



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CLIENT NAME:

PROJECT NAME:

PARK PLAYA

NOT FOR CONSTRUCTION

PROJECT ADDRESS:
 6985 S CENTINELA AVE
 LOS ANGELES, CA 90045

JOB NUMBER:
 2527

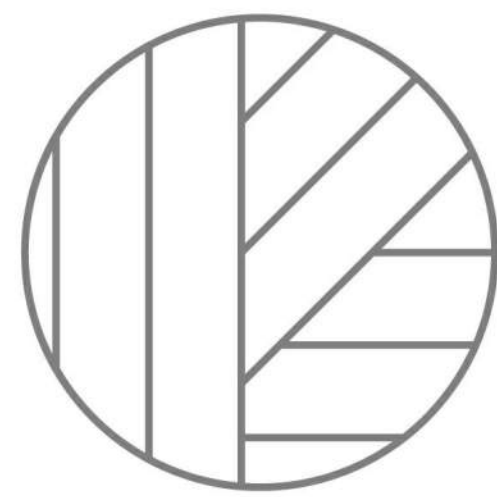
DATE:
 1.30.2026

SHEET TITLE:
ELEVATIONS

SHEET NUMBER:

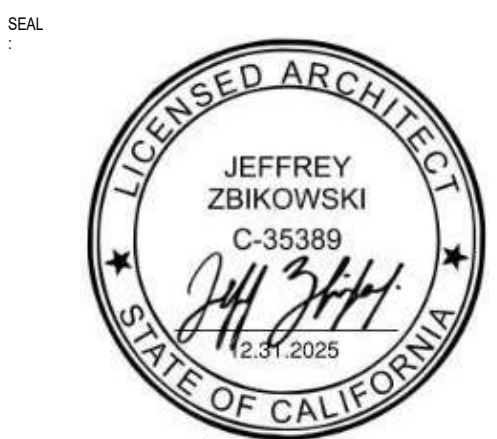
E20

DRAWING SET TITLE:
PLANNING REVIEW SET



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PARK PLAYA

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LOS ANGELES, CA 90045

JOB NUMBER:
2527

DATE:
1.30.2026

SHEET TITLE:
ELEVATIONS

SHEET NUMBER:
E21







DRAWING SET TITLE:
**PLANNING
REVIEW SET**

2/2/2026 11:36:36 AM



SOUTH ELEVATION 3/32" = 1'-0" 1

MATERIALS

-  EXTERIOR LIGHT GRAY PLASTER AND LATH
-  EXTERIOR LIGHT GRAY PLASTER AND LATH
-  EXTERIOR DARK GRAY PLASTER AND LATH
-  EXTERIOR SMOOTH WHITE PLASTER AND LATH
-  STOREFRONT SYSTEM
-  VINYL WINDOW

SHEET NOTES

LEGEND

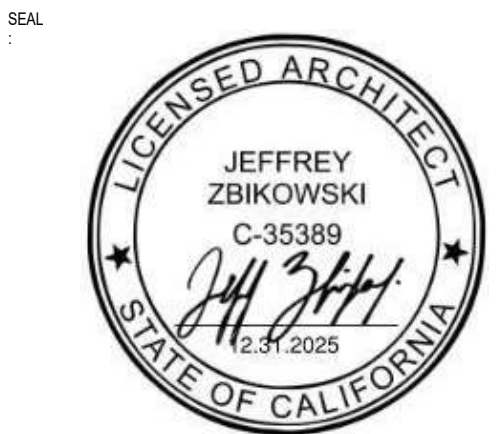
KEYNOTES

2/2/2026 11:36:36 AM



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PROJECT NAME:
PARK PLAYA

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PROJECT ADDRESS:
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JOB NUMBER:
2527

DATE:
1.30.2026

SHEET TITLE:
ELEVATIONS

SHEET NUMBER:
E22

DRAWING SET TITLE:
**PLANNING
REVIEW SET**

2/2/2026 11:37:14 AM



NORTH ELEVATION 3/32" = 1'-0" 1

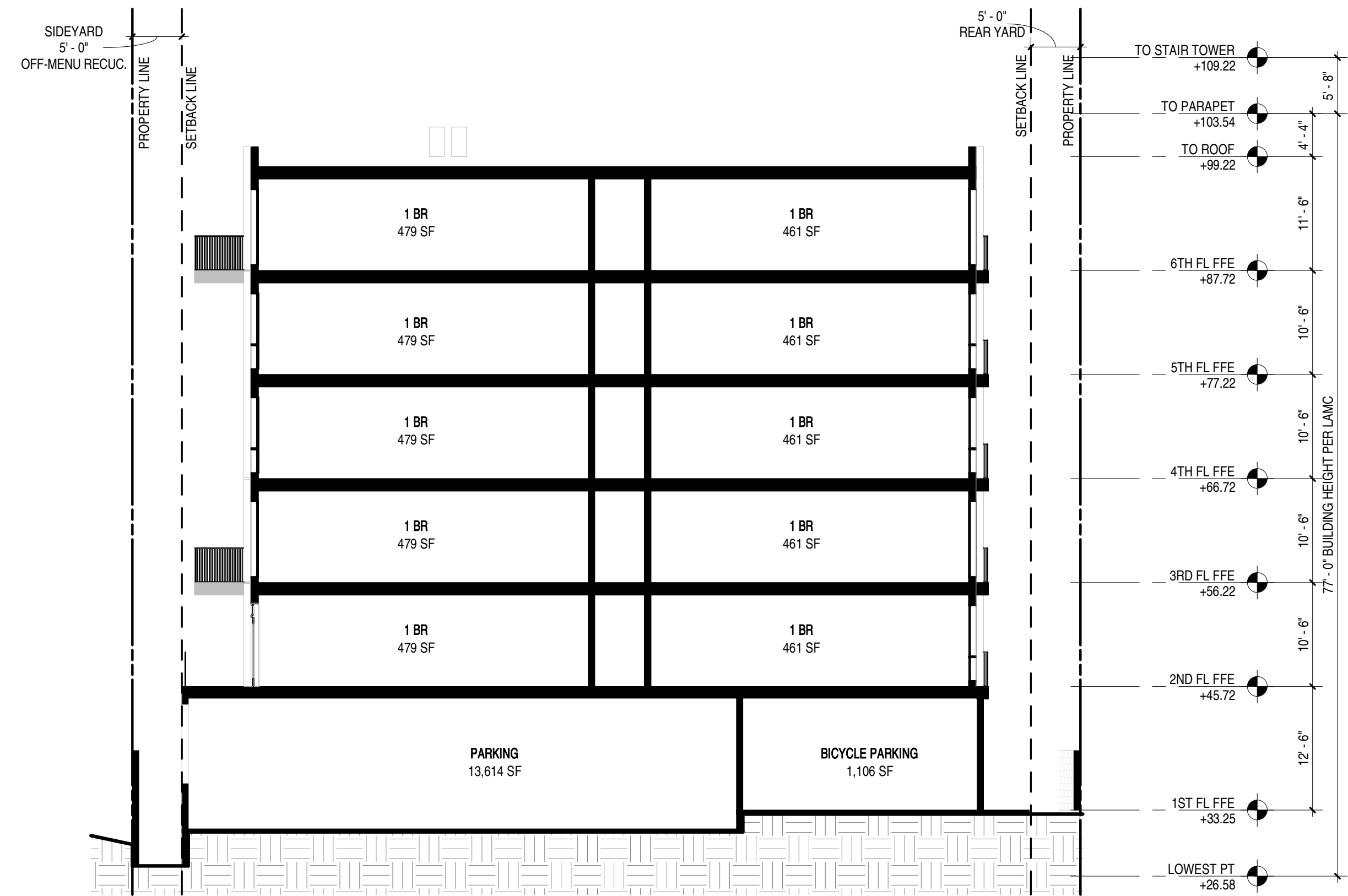
MATERIALS

	EXTERIOR LIGHT GRAY PLASTER AND LATH		EXTERIOR SMOOTH WHITE PLASTER AND LATH
	EXTERIOR DARK GRAY PLASTER AND LATH		STOREFRONT SYSTEM
	VINYL WINDOW		

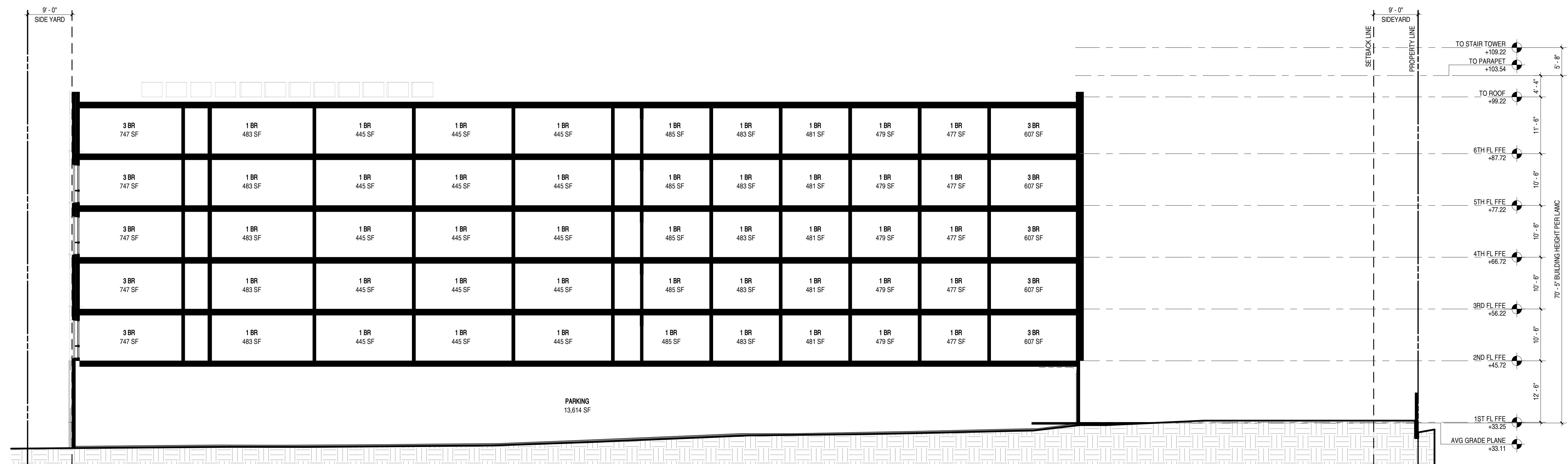
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LEGEND

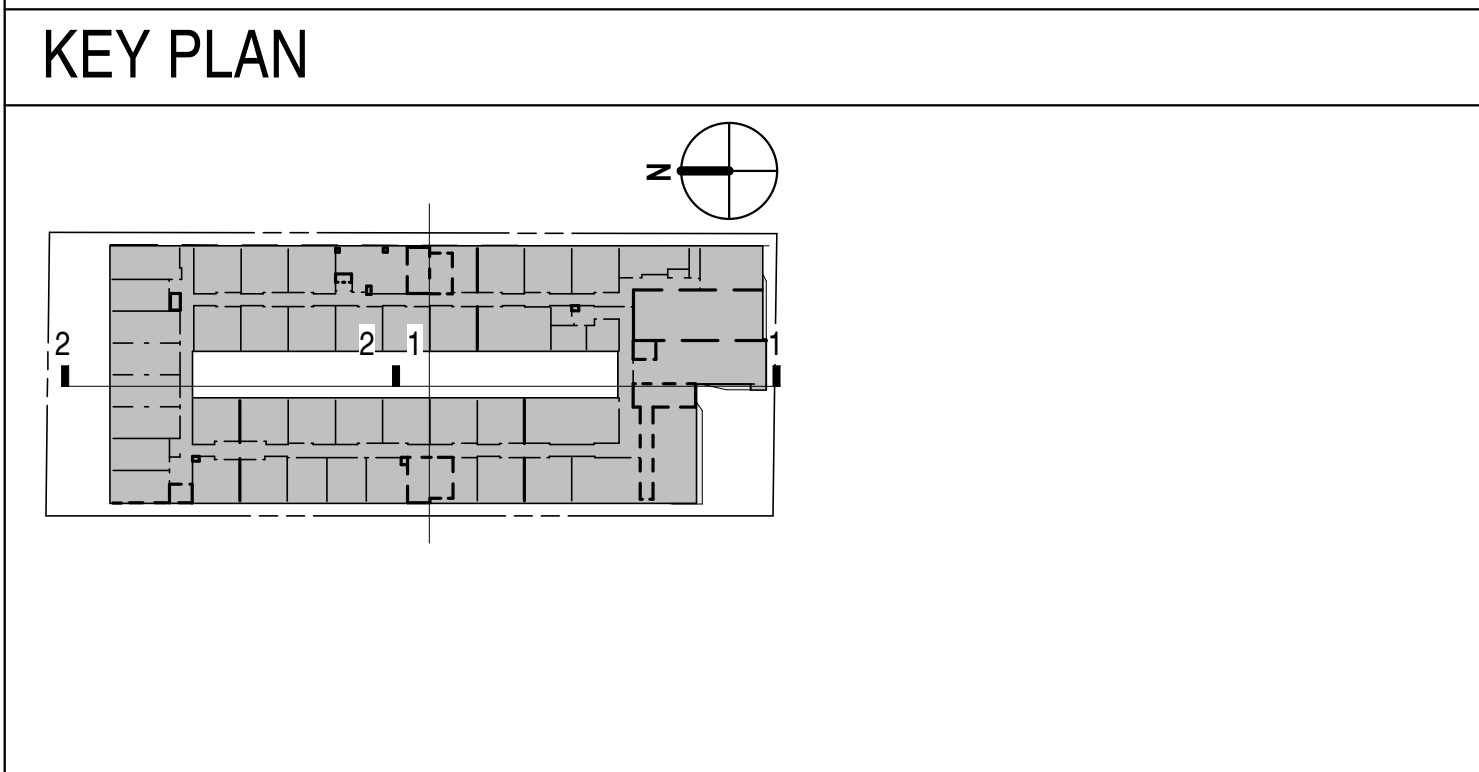
KEYNOTES



SECTION - N/S 3/32" = 1'-0" 1



SECTION - E/W 3/32" = 1'-0" 2



SHEET NOTES

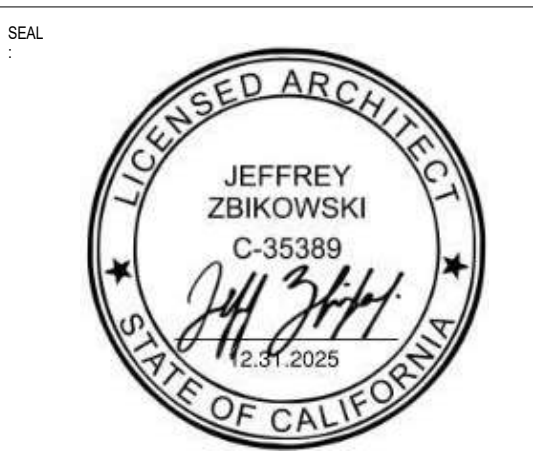
LEGEND

	CONCRETE BLOCK WALL
	CONCRETE WALL
	1 HR RATED FIRE PARTITION
	2 HR RATED FIRE BARRIER
	3 HR RATED FIRE BARRIER
	NEW WALL, SEE A900 FOR WALL TYPES

KEYNOTES



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PROJECT NAME:
PARK PLAYA

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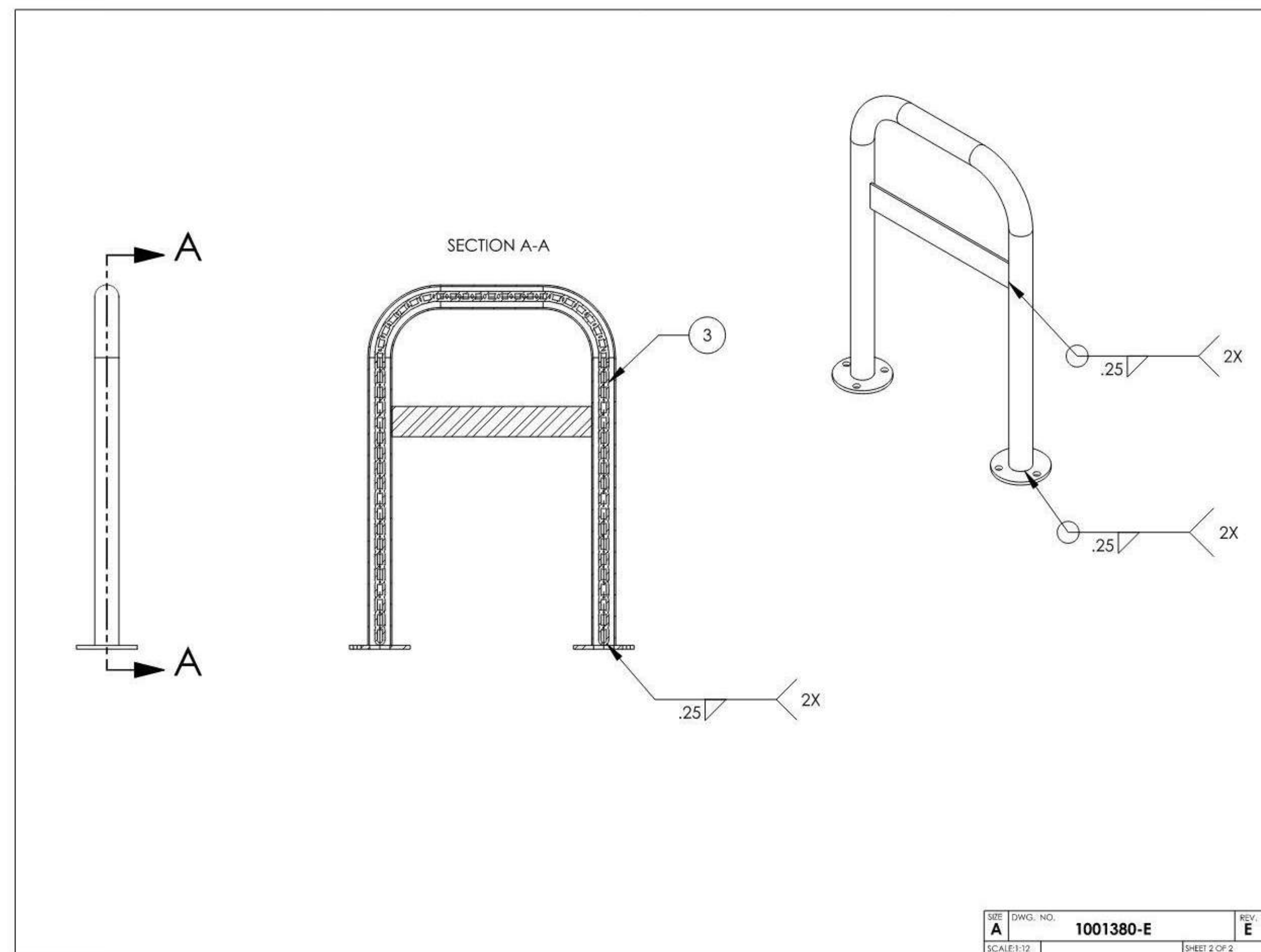
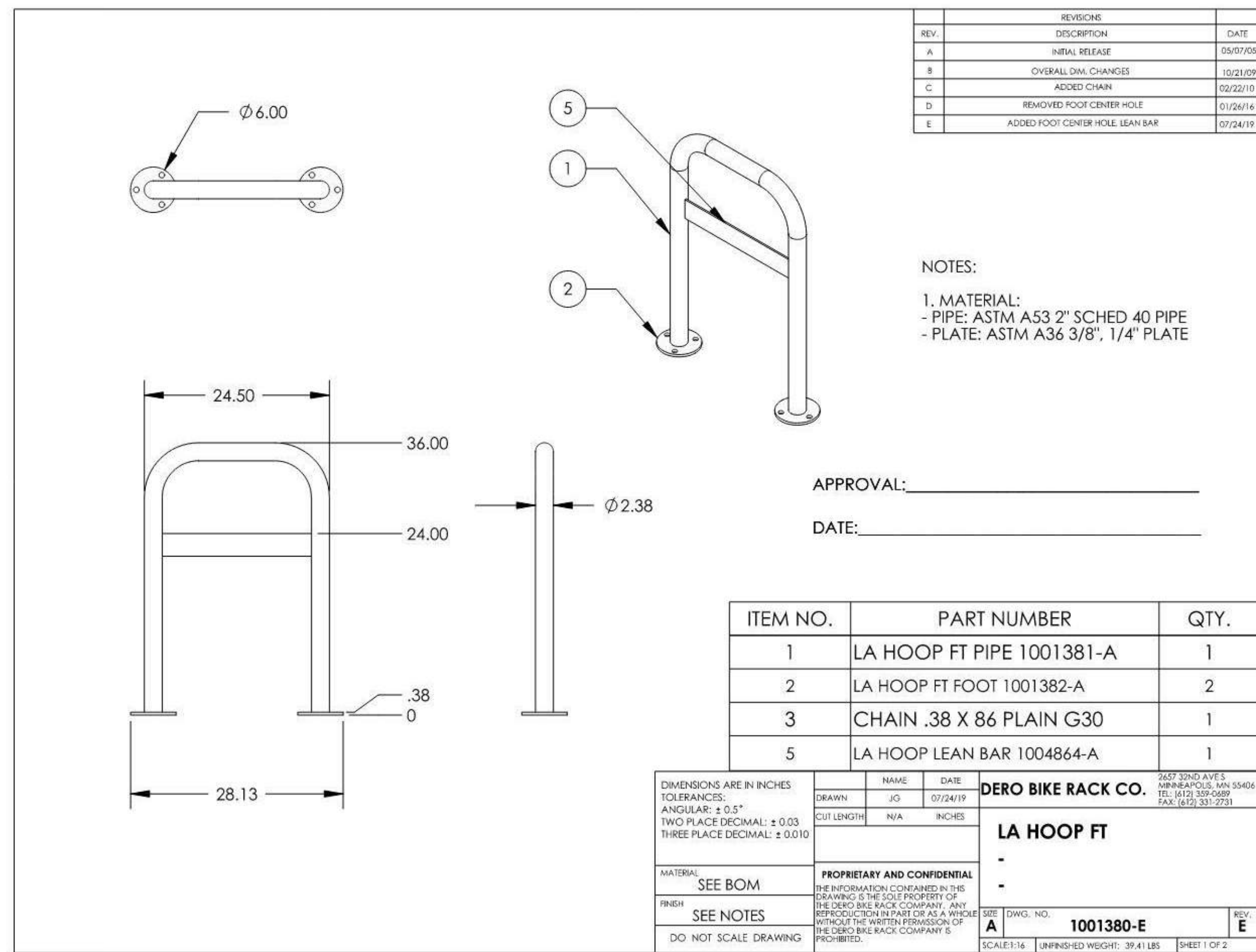
JOB NUMBER:
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DATE:
 1.30.2026

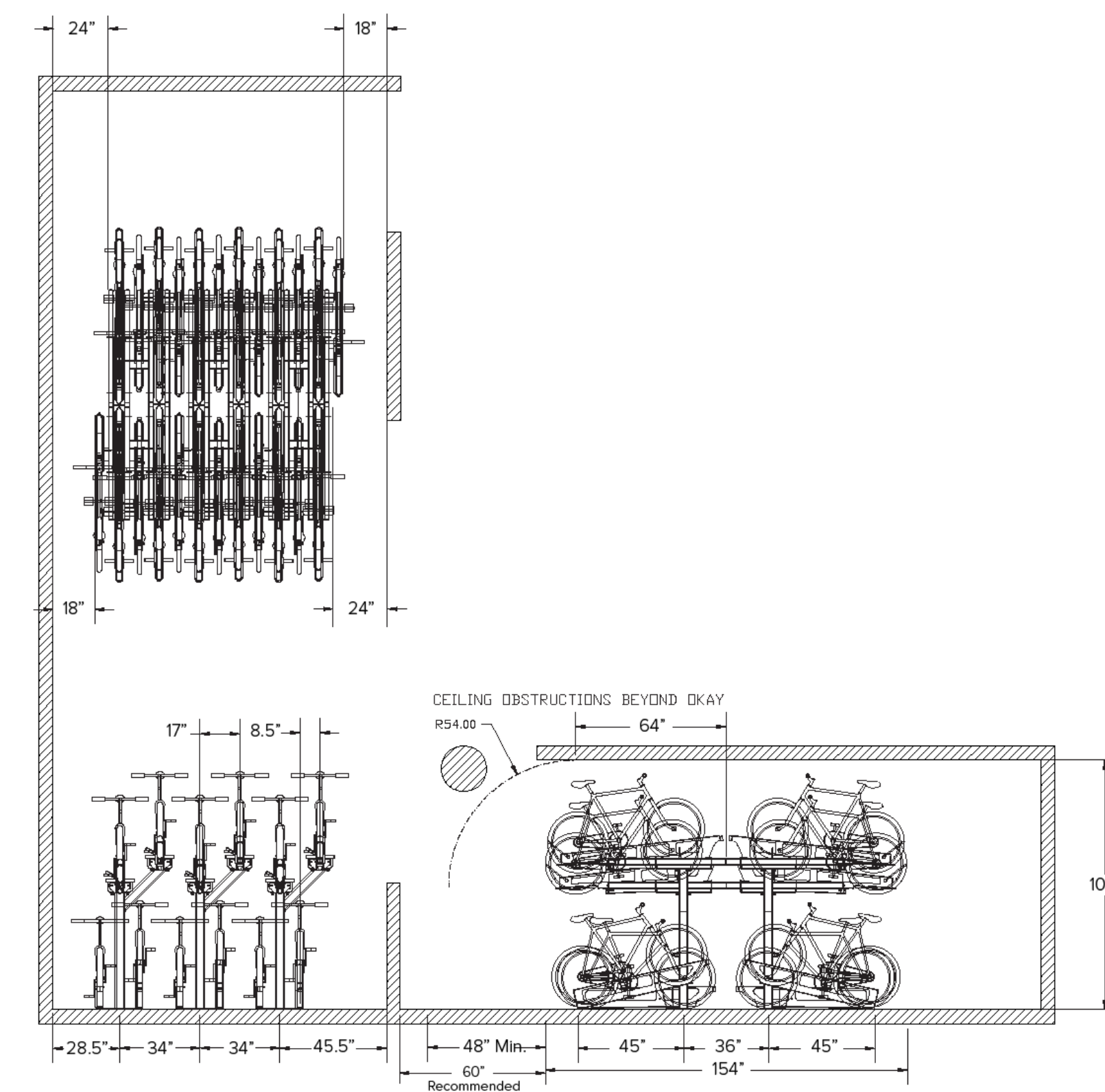
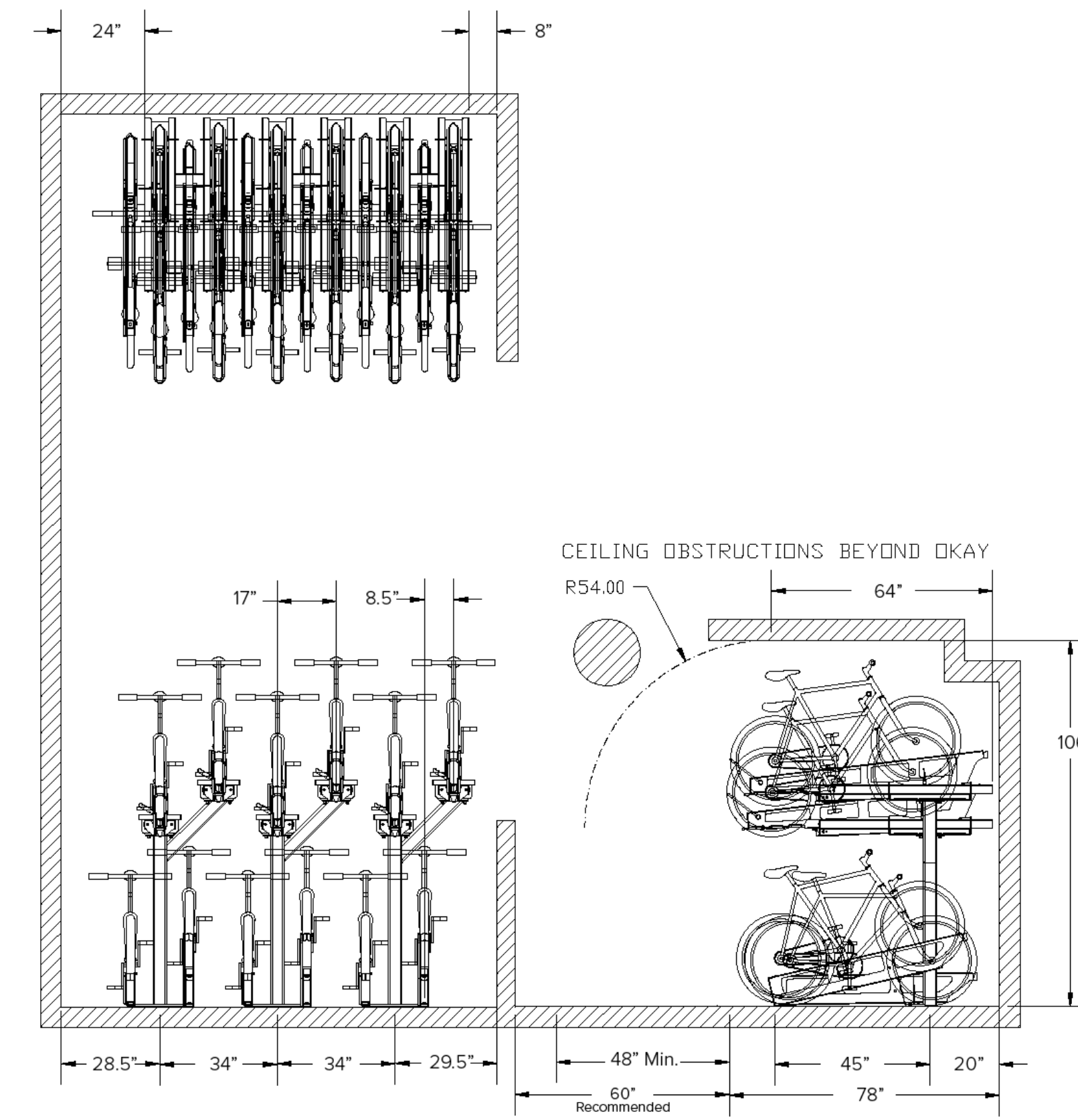
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BUILDING SECTIONS

SHEET NUMBER:
E30

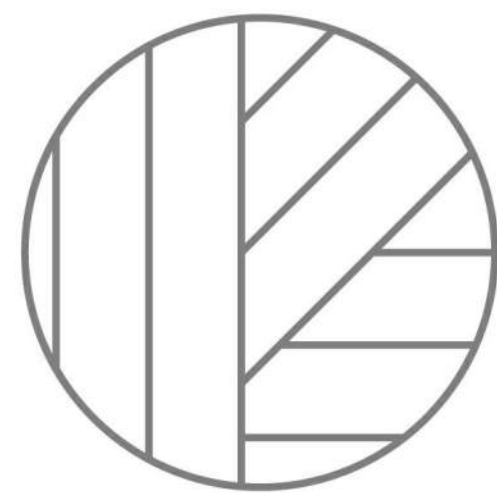
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BIKE RACK - EXTERIOR N.T.S. 2

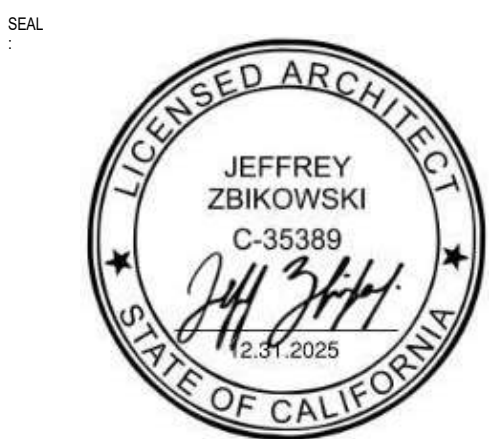


BIKE RACK - INTERIOR N.T.S. 1



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CLIENT NAME:

PROJECT NAME:
PARK PLAYA

NOT FOR CONSTRUCTION

PROJECT ADDRESS:
 6985 S CENTINELA AVE
 LOS ANGELES, CA 90045

JOB NUMBER:
 2527

DATE:
 1.30.2026

SHEET TITLE:
**MISCELLANEOUS
 DETAILS**

SHEET NUMBER:
E90

DRAWING SET TITLE:
**PLANNING
 REVIEW SET**