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**DIRECTOR'S DETERMINATION
TRANSFER OF FLOOR AREA AND SITE PLAN REVIEW**

January 23, 2024

Owner/Applicant

Elliot Tishbi
Tishbee's LLC
1323 S. Flower Street
Los Angeles, CA 90015

Representative

R. (Rudy) Nicolas Brown, AICP
Seat at the Table (SATT)
P.O. Box 800429
Valencia, CA 91380

Case No. DIR-2019-1492-TDR-SPR

CEQA: ENV-2019-1493-CE

Location: 1323 S. Flower Street

Council District: 14 - de León

Neighborhood Council: Downtown Los Angeles

Community Plan Area: Central City

Land Use Designation: Community Commercial

Zone: C2-2D-O

Legal Description: Lots FR 7, 8, 9; Block A;
Cameron Tract

Last Day to File an Appeal: February 7, 2024

Pursuant to the Los Angeles Municipal Code (LAMC) Sections 14.5.7 and 16.05, I have reviewed the proposed project and as the designee of the Director of Planning, I hereby:

DETERMINE based on the whole of the administrative record, that the Project is exempt from CEQA pursuant to CEQA Guidelines, Section 15332, Class 32, and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies; and

APPROVE a Floor Area Deviation to allow a Transfer of Floor Area of less than 50,000 square feet to permit an increase in floor area of approximately 49,991 square feet for a total floor area of 117,794 square feet or a 5.22:1 Floor Area Ratio (FAR) in lieu of a maximum of 3.0:1 FAR as otherwise permitted; and

APPROVE a Site Plan Review for the development project which creates 50 or more guest rooms; and

ADOPT the attached Findings and Conditions of Approval.

REQUEST that within six months of the receipt of the Public Benefits Payment by the Public Benefit Trust Fund, the Chief Legislative Analyst convene the Public

Benefit Trust Fund Committee, pursuant to Section 14.5.12 of the LAMC.

Pursuant to LAMC Sections 14.5.7 and 16.05, the following conditions are hereby imposed upon the use of the subject property:

CONDITIONS OF APPROVAL

1. **Site Plan.** The use and development of the subject property shall be in substantial conformance with the site plan and elevations labeled Exhibit "A" included in the subject case file. Minor deviations may be allowed in order to comply with provisions of the Municipal Code, the subject conditions, and the intent of the subject permit authorization.
2. **Use.** The project shall consist of the construction, use and maintenance of an 11-story mixed-use building containing, including 100 hotel guest rooms, and 48 market-rate residential units, 9,585 square feet of indoor restaurant space, and 3,091 square feet of outdoor terrace restaurant space.
3. **Floor Area.** The development shall not exceed a maximum Floor Area Ratio (FAR) of 5.22:1 and a total floor area of 117,794 square feet.
4. **Building Height:** The height of the building shall not exceed 138 feet, 9 ¼ inches from grade to the top of the roof. Any structures on the roof, such as air condition units and other equipment, shall be fully screened of view from any public right-of-way.

Transfer of Floor Area Rights Conditions:

5. **Public Benefit Payment.** The project is subject to and shall pay a Public Benefit Payment in conformance with Section 14.5.9 of the Code.
 - a. The Applicant shall provide a Public Benefit Payment consistent with LAMC Section 14.5.9 in the amount of \$2,064,434 through the Office of Chief Legislative Analyst. Proof of payment shall be provided in the form of a receipt from the City Clerk's Office.
 - b. The applicant shall pay the required Public Benefit Payment in cash to the Public Benefit Trust Fund, pursuant to the terms of Transfer of Floor Area Rights Ordinance No. 181,574, Article 4.5 of the LAMC. The Public Benefit Payment proof of cash payment to the Public Benefit Payment Trust Fund is required upon the earliest occurrence of either:
 - i. The issuance of the building permit for the project; or
 - ii. Twenty-four months after the final approval of the Transfer and expiration of any appeals or appeal period. Should the Applicant not make the required payments within the specified time, the subject approval shall expire, unless extended by the Director of Planning in writing.
 - c. The TFAR Public Benefit Payment shall be pro-rated to the amount of TFAR being acquired in the event the maximum amount of TFAR is not required. The lot area used to calculate the base floor area permitted shall be 22,601 square feet with a 3:1 FAR.

Changes to the project that result in a 20-percent decrease in floor area, or more, shall require new entitlements.

Site Plan Review Conditions:

6. **Parking.** On-site parking shall be provided in compliance with the commercial and residential parking requirements of the LAMC.
7. **Bicycle Parking.** On-site bicycle parking shall be provided in compliance with the commercial and residential parking requirements of the LAMC.
8. **Landscape Plan.** All open areas not used for buildings, driveways, parking areas, recreational facilities or pedestrian pathways shall be attractively landscaped, including an automatic irrigation system, and maintained in accordance with a landscape plan prepared by a licensed landscape architect or architect and submitted for approval to the Department of City Planning, Development Services Center.
9. **Required Trees.** As conditioned herein, a final submitted landscape plan shall be reviewed to be in substantial conformance with Exhibit "A". There shall be a minimum of 12 (twelve) 24-inch box, or larger, trees onsite pursuant to LAMC Section 12.21 G.2. Any required trees pursuant to LAMC Section 12.21 G.2 shown in the public right-of-way in Exhibit "A" shall be preliminarily reviewed and approved by the Urban Forestry Division prior to building permit issuance. In-lieu fees pursuant to LAMC Section 62.177 shall be paid if placement of required trees in the public right-of-way is proven to be infeasible due to City-determined physical constraints.
10. **Street Trees.** Street trees shall be provided to the satisfaction of the Urban Forestry Division. Street trees may be used to satisfy on-site tree requirements pursuant to LAMC Section 12.21 G.3 (Chapter 1, Open Space Requirement for Six or More Residential Units).
11. **Materials.** A variety of high-quality exterior building materials, consistent with the approved Exhibit "A" shall be used. Substitutes of an equal quality may be permitted to the satisfaction of the Department of City Planning.
12. **Parking Screening.** With the exception of vehicle and pedestrian entrances, façades of all above-grade vehicle parking structures shall be enclosed and screened to minimize visual impacts on the public realm in substantial conformance with Exhibit "A".
13. **Electric Vehicle Parking.** All electric vehicle charging spaces (EV Spaces) and electric vehicle charging stations (EVCS) shall comply with the regulations outlined in Sections 99.04.106 and 99.05.106 of Article 9, Chapter IX of the LAMC, to the satisfaction of the Department of Building and Safety.
14. **Solar Panels.** The project shall comply with the Los Angeles Municipal Green Building Code, Section 99.05.211, to the satisfaction of the Department of Building and Safety.
15. **Solar and Electric Generator.** Generators used during the construction process shall be electric or solar powered. Solar generator and electric generator equipment shall be located as far away from sensitive uses as feasible.

16. **Trash Storage.** Trash storage and collection shall be enclosed in the parking garage and not visible from the public right-of-way. Trash collection shall occur within the enclosed parking garage, and shall not interfere with traffic on any public street.
17. **Mechanical Equipment.** All mechanical equipment on the roof shall be screened from view. All surface or ground mounted mechanical equipment shall be screened from public view and treated to match the materials and colors of the building which they serve.
18. **Lighting.** All outdoor and parking lighting shall be shielded and down-cast within the site in a manner that prevents the illumination of adjacent public rights-of-way, adjacent properties and the night sky unless otherwise required by the Federal Aviation Administration (FAA) or for other public safety purposes.
19. **Graffiti.** All graffiti on the site shall be removed or painted over to match the color of the surface to which it is applied within 24 hours of its occurrence.
20. **Maintenance.** The project site (including all trash storage areas, associated parking facilities, sidewalks, yard areas, parkways, and exterior walls along the property lines) shall be maintained in an attractive condition and shall be kept free of trash and debris.
21. **Signage.** Any signage shall comply with the Municipal Code or other applicable laws. No sign rights are granted with this case. There shall be no off-site signage on construction fencing during construction.

Downtown Design Guide Conditions

22. **Sidewalk Easement.** The project shall provide an average sidewalk easement of three feet along Flower Street. The building is limited to a five-foot horizontal projection over the required sidewalk easement at a minimum height of 40 feet.
23. **Massing and Street Wall.**
 - a. The project shall maintain an identifiable break between the building's ground floor commercial uses, parking levels, and the residential floors. This break may consist of a change in material, change in fenestration, or similar means.
24. **Open Space.**
 - a. The Roof Terrace open space area shall be a minimum of 400 square feet with a depth of no less than 15 feet, have at least 1 seat per 50 square feet of space, and be least 25% planted landscaping.
25. **Architectural Detail.**
 - a. The project shall provide well-marked entrances to cue access and use.
 - b. Main building entrances should read differently from retail storefronts, restaurants, and commercial entrances.

- c. Different architectural treatment on the ground floor façade than on the upper floors shall be required and feature high quality materials that add scale, texture, and variety at the pedestrian level.
- d. Exterior lighting shall be shielded to reduce glare and eliminate light being cast into the night sky.

26. Ground Floor Treatment.

- a. Wall openings on the ground floor, including storefront windows and doors, shall comprise at least 50 percent of a building's street level façade along Flower Street.
- b. The building's primary entrance shall be located on a public street.
- c. At least one building entrance shall be provided along each street frontage.
- d. The treatment of primary building entrances or lobbies for mixed-use buildings shall be accentuated and differentiated from other building uses at the street front through changes in building massing, material, treatment and/or articulation.
- e. The project shall provide clear glass for all wall openings along Flower Street. Dark tinted, reflective, or opaque glazing is not permitted for any required wall opening along both street level façades.
- f. Ground-floor window and door glazing shall be transparent and non-reflective.
- g. Awnings and canopies shall be constructed of woven fabric, glass, metal or other permanent material compatible with the building architecture.
- h. The project's electrical transformers, mechanical equipment, and other equipment shall not be located along the project's ground floor along Flower Street, unless as required by Department of Water and Power (DWP) or other City agencies.
- i. Electrical transformers, mechanical equipment, other equipment, enclosed stairs, storage spaces, blank walls and other elements that are not pedestrian-oriented shall not be located within 100 feet of the corner on north-south streets and within 50 feet of the corner on east-west streets.
- j. At least 75 percent of the ground floor street frontages along Flower Street shall be designed to accommodate active uses as defined in Section 4.B.1 of the Downtown Design Guide.

27. Parking and Access.

- a. Except for the ground level frontage required for access, no parking or loading shall be visible on the ground floor of any building façade that faces Flower Street.
- b. Drop-off activities for residential and commercial uses shall be provided within the off-street parking facilities using the parking access.
- c. Parking and loading access shall be located a minimum of 25 feet from a primary building entrance, pedestrian paseo, or public outdoor gathering area.

- d. Where a vehicular exit from a parking structure is located within 5 feet of the back of the sidewalk, a visual/audible alarm shall be installed to warn pedestrians and cyclists of exiting vehicles.
28. **Signage.** The applicant shall submit a final sign plan for the entire project to the Department of City Planning, Central Project Planning Division for review and approval prior to obtaining any sign permits. The final sign plan shall identify all sign types that can be viewed from the street, sidewalk or public right-of-way.
29. **Streetscape Improvements.**
- a. Street trees shall be spaced not more than an average of 30 feet on center and shall comply with Downtown Design Guide Section 9.H, to the satisfaction of the Bureau of Street Services, Urban Forestry Division and Metro. At least 50 percent of the provided trees shall be canopy trees in conformance with Downtown Design Guide Section 7, unless otherwise prohibited by Metro.
 - b. The developer shall install streetlights to the satisfaction of the Bureau of Street Lighting.
 - c. The applicant shall execute a Maintenance Agreement with the City by which the developer or Lead Public Agency agrees to maintain the streetscape improvements and accepts liability for them.

Administrative Conditions

30. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building & Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building & Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building & Safety shall be stamped by Department of City Planning staff "Final Plans". A copy of the Final Plans, supplied by the applicant, shall be retained in the subject case file.
31. **Covenant.** Prior to the issuance of any permits relative to this matter, a covenant acknowledging and agreeing to comply with all terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Development Services Center for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Development Services Center at the time of Condition Clearance for attachment to the subject case file.
32. **Notations on Plans.** Plans submitted to the Department of Building & Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet, and shall include any modifications or notations required herein.
33. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.

34. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
35. **Department of Building & Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building & Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building & Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
36. **Department of Water and Power.** Satisfactory arrangements shall be made with the Los Angeles Department of Water and Power (LADWP) for compliance with LADWP's Rules Governing Water and Electric Service. Any corrections and/or modifications to plans made subsequent to this determination in order to accommodate changes to the project due to the under-grounding of utility lines, that are outside of substantial compliance or that affect any part of the exterior design or appearance of the project as approved by the Director, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
37. **Enforcement.** Compliance with and the intent of these conditions shall be to the satisfaction of the Department of City Planning.
38. **Expiration.** In the event that this grant is not utilized within three years of its effective date (the day following the last day that an appeal may be filed), the grant shall be considered null and void. Issuance of a building permit, and the initiation of, and diligent continuation of, construction activity shall constitute utilization for the purposes of this grant.
39. **Indemnification and Reimbursement of Litigation Costs.**

Applicant shall do all of the following:

- (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, of the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion,

based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).

- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the applicant otherwise created by this condition.

PROJECT BACKGROUND

The subject property is a 22,601 square-foot, level site consisting of three (3) regularly shaped lots. It is located at the southwest corner of the Flower Street and Cameron Lane intersection and has approximately 150 feet of frontage along the west side of Flower Street and 150 feet of frontage along the south side of Cameron Lane. The property is currently improved with a two-story light manufacturing building used for parking.

The project site is zoned C2-2D-O and designated for Community Commercial land uses by the Central City Community Plan. Additionally, it is located within the City of Los Angeles Transit Priority Area, Greater Downtown Housing Incentive Area, Los Angeles State Enterprise Zone, City Center Redevelopment Project Area, MTA Right-of-Way Project Area, South Los Angeles Transit Empowerment Zone, Urban Agriculture Incentive Zone and Methane Zone.

The proposed project includes the demolition of the existing 31,000 square-foot light manufacturing building currently used for parking, and the construction, use and maintenance of an 11-story mixed-use building containing 117,794 square feet of floor area, including 100 hotel guest rooms, and 48 market-rate residential units, 9,585 square feet of indoor restaurant space and 3,091 square feet of outdoor terrace restaurant space, with a floor area ratio (FAR) of 5.22:1. The building will have a height of 138 feet, 9 ¼ inches, as measured from the grade to the top of the roof parapet. There will be 158 total parking spaces in two subterranean parking garage levels and one small at-grade garage used for accessible parking. The project will also provide 76 bicycle parking spaces, including 20 short-term and 56 long-term. There will be a total of 5,941 square feet of usable open space, consisting of 4,925 square feet of outdoor open space and a 1,016 square-foot indoor recreation room. The project proposes providing a solar zone area no less than 15 percent of the total roof area of the building, excluding any skylight area, per Los Angeles Municipal Green Building Code, Section 99.05.211. There are no existing trees onsite. There is one street tree in the right-of-way which will be retained. Additionally, the applicant proposes to plant eleven (11) 24-inch box trees on-site and/or in the public right-of-way per LAMC Section 12.21 G, bringing the total number of trees to 12. The project will export 24,472 cubic yards of soil.

The surrounding properties are developed with urban uses. The area is characterized by level topography, improved streets, and a mix of residential, commercial, and industrial development. Two properties directly north, across Cameron Lane (20-foot alley), are zoned C2-2D-O-SN and developed with an approximately 42,136 square-foot apartment building with commercial on the ground floor (Tiny Art Gallery, Urban Elegance 23) and an approximately 92,849 square-foot apartment building with swimming pool (City Lights on Figueroa Apartments). Two properties directly east, across Flower Street, are zoned C2-2D-O and developed with an approximately 7,500 square-foot building used for parking and an approximately 6,890 square-foot one-story light manufacturing building (Architects Corner, Grid Alternatives Greater Los Angeles). The property to the south is zoned C2-2D-O and developed with an approximately 7,025 square-foot, one-story warehouse building. Two properties directly west, across Lebanon Street (20-foot alley), are zoned C2-2D-O and developed with an approximately 0.356-acre surface parking.

On February 15, 2022, the Urban Design Studio (UDS) hosted a Professional Volunteer Panel (PVP) project review for the project. The PVP evaluates planning projects with respect to UDS' three design approaches—Pedestrian First Design, 360 Degree Design, and Climate Adaptive Design—regarding site planning, open space, landscaping, building massing, and materials. At the meeting, PVP had comments related to parking access, entrance prominence, adequate safe and shaded pedestrian-transit connections, architectural treatment of the building, building design (windows, colors), solar orientation, balconies, and landscaping.

Based on the PVP meeting, the project team updated their plans to address most comments to the extent feasible. Project drawings were revised to add connection from the main stairwell to the elevator lobby. Accessible route and path of travel indications were added to parking drawings. The main entrance to the lobby and restaurant were recessed from the main building frontage. A painted parking sign was removed along Cameron Lane. The color of the slab extension on the façade was revised but the use of multiple accent colors was retained. Renderings were updated to accurately reflect the proposed design. Usable balconies and

landscaping details were added to the plans. Landscaping was considered along Cameron Lane. The project team's full response to the PVP's comments is included in the case file.

Requested Entitlements

Transfer of Floor Area Rights

Existing "D" Development Limitations limits development of the site to a maximum FAR of 3:1, which allows a maximum floor area of 67,803 square feet for a project site with a lot area of 22,601 square feet, pre-dedication. Pursuant to LAMC Section 14.5.7, the Applicant requests a Transfer of Floor Area Rights (TFAR) of less than 50,000 square feet to allow an increase of 49,991 square feet of floor area for a total of 117,794 square feet with a maximum FAR of 5:22:1.

Table 1: Description of the existing and proposed floor area for the project.

Project Site Buildable Lot Area (Square Feet)	Permitted		Requested		Transfer
	Floor Area Ratio	Floor Area (Square Feet)	Floor Area Ratio	Floor Area (Square Feet)	Maximum Floor Area Rights Transferred (Square Feet)
22,601*	3:1	67,803	5.22:1	117,794	49,991
*Lot Area used for the Transfer of Floor Area calculation is defined as the total horizontal area within the lot lines of a lot prior to any dedication pursuant to LAMC Section 14.5.3.					

Pursuant to LAMC Section 14.5.7 A.3(b)(1), the TFAR shall provide public benefits equivalent in value to the dollar amount otherwise required for a Public Benefit Payment, in conformance with LAMC Section 14.5.9. The Public Benefit Payment is calculated based on the sale price of the receiver site, if it has been purchased within 18 months of the date of submission of the request for approval of the transfer, or an appraisal, if it has not. The project site consists of three lots (Lots FR 7, FR 8, and FR 9 of Cameron Tract). The lots were purchased more than 18 months before the TFAR application submission date of March 12, 2019, with an appraised value of \$14,000,000 per the Appraisal Report prepared by AmKor Appraisals on December 3, 2018 (and revised on March 6, 2023). Based on the formula set forth in LAMC Section 14.5.9 C the applicant is required to provide a Public Benefit Payment of \$2,064,434.

LAMC Section 14.5.9 states that a Public Benefit Payment shall be provided as part of an approved Transfer Plan and shall serve a public purpose, including providing for affordable housing. LAMC Section 14.5.9 further stipulates that a Public Benefit Payment may be provided by any combination of the payment of monies to the TFAR Public Benefit Payment Trust Fund or by the direct provision of Public Benefits by the applicant, provided that without City Council approval, at least 50 percent of the Public Benefit Payment must consist of cash payment by the applicant to the Public Benefit Payment Trust Fund. The applicant proposes to allocate 100 percent of the \$2,064,434 Public Benefit Payment towards the TFAR Public Benefit Payment Trust Fund.

LAMC Section 14.5.5 states that for Receiver Sites within the City Center Redevelopment Project Area, Agency staff shall concurrently consult with the Department of City Planning, the Mayor's Office, the City Council Office for the City Council District in which the Receiver Site is located, and the Chief Legislative Analyst at the earliest reasonable point in the design and development of any Project involving a Transfer. This consultant is known as an Early Consultation Session, which is used to identify any development issues regarding project approval, including but not limited to: parking and transportation requirements, transfers, and public benefits.

For the proposed project, an Early Consultation Session was held on December 15, 2021, with the management of the Department of City Planning, Mayor's Office, City Council Offices 9 and 14, and the Office of Chief Legislative Analyst. The group was supportive of the applicant's proposal for the Public Benefit Payment.

Site Plan Review

The applicant requests a Site Plan Review for a development project which creates, or results in an increase of, 50 or more guest rooms, pursuant to LAMC Section 16.05.

FLOOR AREA TRANSFER FINDINGS

In order for the transfer of floor area to be granted, all six of the legally mandated findings delineated in Section 14.5.7 A.3 of the Los Angeles Municipal Code must be made in the affirmative:

1. **That the project is proper in relation to the adjacent uses or the development of the community.**

The project site is located in the South Park neighborhood of the Central City Community Plan area surrounded by dense urban development comprised of a mix of residential, commercial, light industrial, office, and surface parking land uses. The property is zoned C2-2D-O and has a land use designation of Community Commercial. It is located within Height District 2, which permits a maximum Floor Area Ratio (FAR) of 3:1, except with an approved TFAR which may increase the maximum FAR to 6:1. The adjoining properties to the north, across Cameron Lane, are designated for Community Commercial land uses, zoned C2-2D-O-SN, and developed with an approximately 42,136 square-foot apartment building with ground floor commercial uses and an approximately 92,849 square-foot apartment building with a swimming pool. Two properties directly east, across Flower Street, are zoned C2-2D-O and developed with an approximately 7,500 square-foot building used for parking and an approximately 6,890 square-foot light one-story manufacturing building. The adjoining property to the south is zoned C2-2D-O and developed with an approximately 7,025 square-foot, one-story warehouse building. Two properties directly west, across Lebanon Street (a 20-foot alley), are zoned C2-2D-O and developed with an approximately 0.356-acre surface parking lot.

The proposed project involves the demolition of the existing two-story light manufacturing building and the construction, use, and maintenance of a 117,794 square-foot mixed-use development containing 9,585 square feet of indoor restaurant space, 3,091 square feet of outdoor terrace restaurant space, 100 hotel rooms, and 48 market-rate residential units. The proposed building will be 11 stories, or 138 feet and 9 ¼ inches, as measured from the lowest grade to the top of the roof. The project will provide a total of 158 automobile parking spaces, 76 bicycle parking spaces, and 5,941 square feet of usable open space.

Access to the parking garage will be provided via two driveways located on Lebanon Street on the west side of the project, and one driveway located on Cameron Lane on the north side of the project. The southerly Lebanon Street driveway will provide vehicular ingress and egress for the subterranean parking levels of the parking garage. The Cameron Lane and northerly Lebanon Street driveways will provide ingress and egress, respectively, to the ground floor parking level of the parking garage.

The project site has a “D” Development Limitation that limits the Floor Area Ratio (FAR) to a maximum of 3:1, which allows a maximum floor area of 67,803 square feet for a lot area of 22,601 square feet, pre-dedication. Pursuant to LAMC Section 14.5.7, the Applicant requests a Transfer of Floor Area Rights (TFAR) of less than 50,000 square feet to allow an increase of 49,991 square feet of floor area. This would result in a total of 117,794 square feet with a maximum FAR of 5:22:1 in lieu of 3:1 as otherwise permitted. As discussed, Height District 2 permits an increase in maximum FAR up to 6:1 with an approved TFAR. The additional floor area provided by the TFAR is consistent with the density, intensity and massing envisioned for the general South Park neighborhood of Downtown Los Angeles, as well as goals and vision Community Commercial land use designation per the General Plan’s Framework Element. The proposed design minimizes the appearance of bulk through architectural elements along the building’s façades that create depth, variation, and articulation.

Per the C2-2D-O Zone, there is no maximum height limit for buildings on this site, and per Greater Downtown Housing Incentive Ordinance, there is no maximum density limit since the project’s total floor area utilized by guest rooms does not exceed the total floor area utilized by dwelling units (LAMC 12.22 C.3.(c) . The project will be 11 stories, or 138 feet, 9 ¼ inches as measured from the lowest grade to the top of the roof parapet. Downtown Los Angeles is planned for greater height and density development than the rest of the City. Existing buildings on the surrounding properties range in height from one to seven stories. While the mass and scale of the proposed project are greater than that of directly abutting properties, several of these properties are underutilized and do not reflect the potential and future mass and scale of the built environment. Further, the one block radius around the site includes several high-rises and large developments such as the Los Angeles Convention Center and Crypto.com Arena. Therefore, the proposed project is proper in relation to adjacent uses and development of the community.

2. The project will not be materially detrimental to the character of development in the immediate neighborhoods.

The site is designated and zoned for high density and intensity development. The C2-2D-O Zone does not have any height limitations and the Greater Downtown Housing Incentive Ordinance does not limit the maximum density permitted on-site or restrict setbacks. The South Park community has support services such as neighborhood-supporting retail, services, and amenities for area residents, workers, and visitors. The development of community-servicing, mixed-use commercial projects is encouraged to create a linkage between jobs and housing.

The proposed project will improve the immediate neighborhood and the greater South Park District by providing a net increase of 48 dwelling units, 100 hotel guest rooms, and 12,676 square feet of restaurant space on a site that is currently underutilized with a low-rise light manufacturing building used for parking. The project will provide a total 5,941 square feet of open space, including an outdoor 4,925 square-foot terrace on the second floor, an and a 1,016 square-foot recreation room on the second floor. Approximately 1,280 square feet of the outdoor open space will be planted with landscaping. Vehicular

traffic will be able to access and exit the building from two 20-foot alleyways, Lebanon Street and Cameron Lane, reducing conflicts and respects other modes of transportation on Flower Street, including pedestrians and cyclists.

Additionally, the proposed building has been designed in conformance with the Downtown Design Guide, as it provides commercial uses at the street level and incorporates pedestrian-oriented scale with building articulation, street level entrances, and a high level of glazing. The proposed project will provide a restaurant use along Flower Street, activating it with pedestrian activity. Building entrances will be provided from all street frontages. Parking facilities will be screened from view, and loading and back-of-the-house uses are located along the alleys to facilitate deliveries and maintenance away from Flower Street. The project will provide an average sidewalk easement of three feet along Flower Street per the Downtown Street Standards and provide an 8-foot wide minimum sidewalk along Cameron Lane. Therefore, the proposed project is consistent with the character of the immediate neighborhood and Downtown as a whole and will not have detrimental impacts on the community.

3. **The project will be in harmony with the various elements and objectives of the General Plan.**

The General Plan is the City's roadmap for future growth and development. The General Plan Elements establish goals, policies, purposes, and programs that provide for the regulatory environment in managing the City, and for addressing environmental concerns and problems. The majority of the policies derived from these elements are implemented in the form of Municipal Code requirements. The General Plan is comprised of the Framework Element, seven state-mandated elements, and four additional elements.

The proposed project aligns with the goals and objectives of the following General Plan Elements: Framework, Housing, and Land Use. It is not subject to any specific plans.

Framework Element

The Framework Element is a strategy for long-term growth which sets a citywide context to guide the update of the Community Plan and Citywide Elements. The Framework Element is a comprehensive, long range document containing purposes, policies and programs for the development of the City of Los Angeles. It defines policies related to growth and includes policies for land use, housing, urban form/neighborhood design, open space/conservation, economic development, transportation, and infrastructure/public services.

The Framework Element stipulates that Community Centers are intended to contain a diversity of uses, such as small retail and offices, entertainment, public facilities, and neighborhood-oriented uses. In many areas, an emphasis is placed on the development of projects that integrate housing with the commercial uses.

The project is consistent with the following General Plan Framework Goals and Policies:

Goal 3A A physically balanced distribution of land uses that contributes towards and facilitates the City's long-term fiscal and economic viability, revitalization of economically depressed areas, conservation of existing residential neighborhoods, equitable distribution of public resources, conservation of natural resources, provision of adequate infrastructure and public services, reduction of

traffic congestion and improvement of air quality, enhancement of recreation and open space opportunities, assurance of environmental justice and a healthful living environment, and achievement of the vision for a more liveable city.

Objective 3.1 *Accommodate a diversity of uses that support the needs of the City's existing and future residents, businesses, and visitors.*

Objective 3.2 *Provide for the spatial distribution of development that promotes an improved quality of life by facilitating a reduction of vehicular trips, vehicle miles traveled, and air pollution.*

Objective 3.4 *Encourage new multi-family residential, retail commercial, and office development in the City's neighborhood districts, community, regional, and downtown centers as well as along primary transit corridors/boulevards, while at the same time conserving existing neighborhoods and related districts.*

Goal 3C *Multi-family neighborhoods that enhance the quality of life for the City's existing and future residents.*

Objective 3.7 *Provide for the stability and enhancement of multi-family residential neighborhoods and allow for growth in areas where there is sufficient public infrastructure and services and the residents' quality of life can be maintained or improved.*

GOAL 3E *Pedestrian-oriented, high activity, multi- and mixed-use centers that support and provide identity for Los Angeles' communities.*

Objective 3.9 *Reinforce existing and encourage new community centers, which accommodate a broad range of uses that serve the needs of adjacent residents, promote neighborhood and community activity, are compatible with adjacent neighborhoods, and are developed to be desirable places in which to live, work, and visit, both in daytime and nighttime.*

Policy 3.9.1 *Accommodate the development of community-serving commercial uses and services and residential dwelling units in areas designated as "Community Center" in accordance with Tables 3-1 and 3-5. The range and densities/intensities of uses permitted in any area shall be identified in the community plans.*

GOAL 3G *A Downtown Center as the primary economic, governmental and social focal point of the region with an enhanced residential community.*

Objective 3.11 *Provide for the continuation and expansion of government, business, cultural, entertainment, visitor-serving, housing, industries, transportation, supporting uses, and similar functions at a scale and intensity that distinguishes and uniquely identifies the Downtown Center.*

The proposed project involves the demolition of an existing low-rise light manufacturing building currently being used for parking, and the construction, use, and maintenance of a 117,794 square-foot mixed-use building with 48 dwelling units, 100 hotel guest rooms, and 12,676 square feet of restaurant space. The project is consistent with the Framework

Element goals, objectives, and policies as it will redevelop an underutilized site with new housing, visitor-serving guest rooms, and ground floor commercial that will provide jobs and entertainment for the community. The proposed project will contribute to maintaining the Downtown Center as the primary economic and social focal point of the region with its ground floor restaurant use and 100 hotel guest rooms. It will enhance the residential community with a net increase of 48 dwelling units. Overall, the increase in maximum floor area will help the project expand housing and supporting commercial uses at a scale and intensity that supports the Downtown Center.

Housing Element

The City's Housing Element for 2021-2029 was adopted by City Council on November 24, 2021. It identifies the City's housing conditions and needs, establishes the goals, objectives, and policies that are the foundation of the City's housing and growth strategy, and provides an array of programs the City intends to implement to create sustainable, mixed-income neighborhoods across the City. The Housing Element aims to provide affordable housing and amenity-rich, sustainable neighborhoods for its residents, answering the variety of housing needs of its growing population. The project is consistent with the following Housing Element goals, objectives, and policies:

Goal 1: *A City where housing production results in an ample supply of housing to create more equitable and affordable options that meet existing and projected needs.*

Objective 1.2: *Facilitate the production of housing, especially projects that include Affordable Housing and/or meet Citywide Housing Priorities.*

Goal 2: *A City that preserves and enhances the quality of housing and provides greater housing stability for households of all income levels.*

Objective 2.2: *Promote more affordable ownership opportunities and ownership retention strategies, with an emphasis on stability and wealth building for underserved communities.*

Goal 3: *A City in which housing creates healthy, livable, sustainable, and resilient communities that improve the lives of all Angelenos.*

Objective 3.1: *Use design to create a sense of place, promote health, foster community belonging, and promote racially and socially inclusive neighborhoods.*

Policy 3.1.3: *Develop and implement design standards that promote quality residential development.*

Policy 3.1.7: *Promote complete neighborhoods by planning for housing that includes open space, and other amenities.*

Objective 3.2: *Promote environmentally sustainable buildings and land use patterns that support a mix of uses, housing for various income levels and provide access to jobs, amenities, services and transportation options.*

Policy 3.2.1: *Promote the integration of housing with other compatible land uses at both the building and neighborhood level.*

Policy 3.3.2: Promote new multi-family housing, particularly Affordable and mixed-income housing, in areas near transit, jobs and Higher Opportunity Areas, in order to facilitate a better jobs-housing balance, help shorten commutes, and reduce greenhouse gas emissions.

Policy 3.3.9: Consider accommodating new residential uses, including live/work and mixed-use, in less-productive industrial, office, and commercial areas when the site can accommodate housing in keeping with citywide industrial land, jobs-housing and jobs preservation priorities, and when sites have been appropriately tested and remediated, if necessary.

The proposed project will expand housing opportunities within the downtown area by redeveloping an underutilized site with a parking structure to a mixed-use development with 48 new dwelling units, 100 new hotel guest rooms, and 12,676 square feet of restaurant space. The 48 dwelling units will consist of a unit mix that offers different housing options and sizes including 2 studios, 39 one-bedroom units, and 7 two-bedroom units. The requested TFAR of 49,991 square feet will expand opportunities for more housing units on site. As part of the TFAR approval, the applicant is required to make substantial contributions toward funding the development of future affordable dwellings, consistent with Objectives 1.2 and 2.2. The proposed building is conditioned to provide solar panels in compliance with the Los Angeles Municipal Green Building Code Section 99.05.211 and is located in a mixed-use area with several transit options, consistent with Objective 3.2. The project is designed with a high level of glazing, articulation, and changes in material that contribute to creating a lively environment for residents as well as visitors, consistent with Objective 3.1. As such, the proposed project substantially conforms to the purpose of the Housing Element of the General Plan.

Mobility Plan 2035

The Mobility Plan 2035 includes goals that define the City's high-level mobility priorities. It sets forth objectives and policies to establish a citywide strategy to achieve long-term mobility and accessibility. Among other objectives and policies, the Mobility Plan aims to support ways to reduce vehicle miles traveled (VMT) per capita by increasing the availability of affordable housing options with proximity to transit stations and major bus stops, offering more non-vehicle alternatives including transit, walking, and bicycling. The project is consistent with the following Mobility Plan goal and policies.

Policy 3.3: Land Use Access and Mix: Promote equitable land use decisions that result in fewer vehicle trips by providing greater proximity and access to jobs, destinations, and other neighborhood services.

Policy 3.4: Transit Services: Provide all residents, workers and visitors with affordable, efficient, convenient, and attractive transit services.

Policy 3.8: Bicycle Parking: Provide bicyclists with convenient, secure and well-maintained bicycle parking facilities.

Policy 5.2: Vehicle Miles Traveled (VMT): Support ways to reduce vehicle miles traveled (VMT) per capita.

The project is served by multiple transit operators, including Los Angeles County Metropolitan Transportation Authority (Metro), Los Angeles Department of Transportation (LADOT), Santa Monica Big Blue Bus (BBB), Torrance Transit, and Foothill Transit. The site's proximity to the Pico Station (approximately .1 mile to the north), Grand/LATTC Station (approximately .5 mile to the south), LATTC/Ortho Institute Station (approximately .7 mile to the south), and the 7th Street/Metro Center Station (approximately 0.9 miles north), provide access to Metro's rail network as well as transfer opportunities to other services such as Amtrak and Metrolink. The bus routes that have stops within an approximately one-quarter mile radius of the project include Metro 14, 30, 33, 70, 76, 78, 81, 460, and 910 (Metro J/Silver Line); LADOT DASH F; LADOT Commuter Express 419, 422, 423, 431, 431B, 437A, 437B, 438, 438B, 439, and 448; BBB R10; Torrance Transit 4X; and Foothill Transit Silver Streak. The project's proximity to several transit options makes it easily accessible and highly connected to the greater Los Angeles area's public transportation system.

The project will provide convenient, secure, and well-maintained bicycle facilities in the public right-of-way as well as within the building, including 20 short-term parking spaces, 56 long-term parking spaces, and a 100-square-foot bicycle service area on the ground floor.

According to the Traffic Impact Analysis prepared by Linscott, Law, & Greenspan, Engineers dated May 31, 2018 (revised in an Addendum Traffic Analysis dated May 14, 2021), and as reviewed by LADOT, the residential, hotel, and retail components of the project are anticipated to have less-than-significant vehicle miles traveled (VMT) impacts. As such, the proposed project substantially conforms to the Mobility Plan of the General Plan.

Land Use Element – Central City Community Plan

The Land Use Element of the City's General Plan divides the City into 35 Community Plans. The subject property is located within the Central City Community Plan area. The Central City Community Plan was adopted by the City Council in 2003 and promotes an arrangement of land use, infrastructure, and services intended to enhance the economic, social, and physical health, safety, welfare, and convenience of the people who live, work, and invest in the community.

The Plan was developed in the context of promoting the Central City area as a community that: provides housing opportunities with compatible new housing; improves the function, design and economic vitality of the commercial districts; preserves and enhances the positive characteristics of existing uses which provide the foundation for community identity, such as scale, height, bulk, setbacks and appearance; maximizes the development opportunities of the future rail transit system while minimizing adverse impacts; and plans the remaining commercial and industrial development opportunity.

The Community Plan Area Map designates the project site for Community Commercial land uses, with corresponding zones of CR, C2, C4, RAS3, and RAS4. The Land Use Designations and corresponding zones in the Community Plan are implemented through zoning regulations in the Los Angeles Municipal Code (LAMC) including applicable ordinances that are codified in the LAMC. The property is zoned C2-2D-O. The property's zoning is thus consistent with the General Plan's land use designation for the site.

The project site is located within the South Park District within the Central City Community Plan, which houses a mix of residential, medical, commercial, and retail uses. The project is consistent with the following goals, objectives, and policies of the Community Plan.

Objective 1-1: *To promote development of residential units in South Park.*

Objective 1-2: *To increase the range of housing choices available to Downtown employees and residents.*

Objective 2-3: *To promote land uses in Central City that will address the needs of all the visitors to Downtown for business, conventions, trade shows, and tourism.*

Objective 2-4: *To encourage a mix of uses which create an active, 24-hour downtown environment for current residents and which would also foster increased tourism.*

The project is consistent with the Community Plan's vision of South Park as a mixed-use community with a concentration of residential and commercial uses, as it proposes 48 new dwelling units, 100 hotel guest rooms, and 12,676 square feet of restaurant space in proximity to other auxiliary support services such as retail, commercial, and office uses.

The Community Plan also anticipates job growth in South Park to attract large commercial projects that combine commercial and residential development and take advantage of the benefits of the unique downtown location, such as proximity to jobs, housing, and transit options. The mixed-use nature of the project, convenience to transit, and design elements such as the high levels of glazing on the ground floor restaurant space will help maintain an attractive and lively environment that will encourage pedestrian activity on the street. As such, the project conforms to the Central City Community Plan.

4. The project is consistent with any applicable adopted Redevelopment Plan.

The project site is located within the City Center Redevelopment Plan, which was adopted by the Community Redevelopment Agency of Los Angeles (CRA/LA) in May 2002. On November 11, 2019, Ordinance No. 186,325 became effective, transferring the land use authority of the CRA/LA to the City of Los Angeles. The City Center Redevelopment Plan has the primary objective of eliminating and preventing blight in the Redevelopment Project Area. The project is consistent with the following objectives contained in Section 105 of the Redevelopment Plan.

Objective 1. *To eliminate and prevent the spread of blight and deterioration and to rehabilitate and redevelop the Project Area in accordance with this Plan.*

Objective 4. *To promote the development and rehabilitation of economic enterprises including retail, commercial, services, sports and entertainment, manufacturing, industrial and hospitality uses that are intended to provide employment and improve the Project Area's tax base.*

Objective 5. *To guide growth and development, reinforce viable functions, and facilitate the redevelopment, revitalization or rehabilitation of deteriorated and underutilized areas.*

Objective 6. *To create a modern, efficient and balanced urban environment for people, including a full range of around-the-clock activities and uses, such as recreation, sports, entertainment and housing.*

The proposed development furthers the development of Downtown as a major center of the Los Angeles metropolitan region by providing high density housing in conjunction with commercial uses. The Redevelopment Plan sets limits on floor area ratios, but states that they may exceed the maximum through a request for a transfer of floor area providing the resulting higher-density development is appropriate in location, compatible with other existing and proposed development, and consistent with the purposes of the Redevelopment Plan. The project includes the redevelopment of an underutilized site that produces a net increase of 48 new dwelling units, 100 new hotel guest rooms, and 12,676 square feet of restaurant space within walking distance of employment opportunities and attractions such as the Convention Center. This proximity and the project's mixed-use nature will encourage a balanced urban environment, including a range of around-the-clock activities and uses. The greater density will allow for improvements such as ground-floor restaurant space that will help eliminate and prevent blight and deterioration and redevelop the project area according to the Redevelopment Plan. As such, the project is substantially consistent with the Redevelopment Plan.

5. **The Transfer serves the public interest by providing public benefits in accordance with Subparagraph (b)(1) of this subdivision.**

LAMC Section 14.5.7 A.3(b)(1) states that the Transfer shall provide public benefits equivalent in value to the dollar amount otherwise required for a Public Benefit Payment, in conformance with Section 14.5.9 of the Code. Pursuant to LAMC Section 14.5.9, the Public Benefit Payment under any Transfer Plan shall equal: (1) the sale price of the Receiver Site, if it has been purchased through an unrelated third-party transaction within 18 months of the date of submission of the request for approval of the Transfer, or an Appraisal, if it has not; (2) divided by the Lot Area (prior to any dedications) of the Receiver Site; (3) further divided by the High-Density Floor Area Ratio Factor; (4) multiplied by 40 percent; and (5) further multiplied by the number of square feet of Floor Area Rights to be transferred to the Receiver Site.

The project site consists of three lots (Lots FR 7, 8, 9; Block A; Cameron Tract). The subject property was purchased more than 18 months before the TFAR application submission date with an appraised value of \$14,000,000, per the Appraisal Report prepared by AmKor Appraisals dated December 3, 2018, and transmitted March 6, 2023. Based on the formula set forth in LAMC Section 14.5.9 C, the applicant is required to provide a Public Benefit Payment of \$2,064,434.

A Public Benefit Payment may be provided by any combination of the payment of monies to the Transfer of Floor Area Rights Public Benefit Payment Trust Fund or by the direct provision of Public Benefits by the Applicant, provided that at least 50 percent of the Public Benefit Payment must consist of cash payment by the Applicant to the Public Benefit Payment Trust Fund. The Public Benefit Payment must serve a public purpose, such as: providing for affordable housing; public open space; historic preservation; recreational; cultural; community and public facilities; job training and outreach programs; affordable childcare; streetscape improvements; public arts programs; homeless services programs; or public transportation improvements.

The applicant proposes to allocate 100 percent of the \$2,064,434 Public Benefit Payment towards the TFAR Public Benefit Payment Trust Fund. The project approval has been conditioned to require compliance with the Transfer of Floor Area Ordinance including the payment of appropriate fees.

6. **The project incorporates feasible mitigation measures, monitoring measures when necessary or alternatives identified in the environmental review which would substantially lessen the significant environmental effects of the project, and any additional findings as may be required by CEQA.**

The proposed project will not have a significant effect on the environment. A "significant effect on the environment" is defined as "a substantial, or potentially substantial, adverse change in the environment" (CEQA Guidelines, Public Resources Code Section 21068). The proposed project and potential impacts were analyzed in accordance with the California Environmental Quality Act (CEQA) Guidelines which establish guidelines and thresholds of significant impact and provide the methods for determining whether the impacts of a proposed project reach or exceed those thresholds. Analysis of the project determined that it is Categorically Exempt from environmental review pursuant to Article 19, Section 15332 of the CEQA Guidelines and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

The project includes conditions of approval and compliance with regulatory compliance measures that are designed to lessen environmental effects of the project on the environment. As such, the subject project has been issued a Notice of Exemption for a Class 32 Categorical Exemption.

SITE PLAN REVIEW FINDINGS

The following is a delineation of the findings related to the applicant's request for Site Plan Review for a proposed project resulting in an increase of 50 or more guest rooms pursuant to Section 16.05 of the Los Angeles Municipal Code.

7. **That the project is in substantial conformance with the purposes, intent and provisions of the General Plan, applicable community plan and any applicable specific plan.**

The General Plan sets forth goals, objectives, and programs that serve as the foundation for all land use decisions. The City of Los Angeles' General Plan consists of the Framework Element, seven State-mandated Elements including, Land Use, Mobility, Housing, Conservation, Noise Safety, and Open Space, and optional elements including Air Quality and Service Systems. The Land Use Element is comprised of 35 community plans that establish parameters for land use decision within those subareas of the City,

The General Plan designates the subject site for Community Commercial land uses corresponding to the C2-2D-O Zone. The proposed project involves the demolition of the existing two-story light manufacturing building and the construction, use, and maintenance of a 117,794 square-foot mixed-use development containing 9,585 square feet of indoor restaurant space, 3,091 square feet of outdoor terrace restaurant space, 100 hotel rooms, and 48 market-rate residential units. The proposed building will be 11 stories, with a height of 138 feet and 9 ¼ inches, as measured from the lowest grade to the top of the roof, and a Floor Area Ratio (FAR) of 5.22:1.

As detailed in Finding 3, the project's uses align with the goals and objectives of the General Plan Elements: Framework Element, Housing Element, Mobility Element, and the Land Use Element – Central City Community Plan.

While the project is not within any specific plan, it is subject to the standards and guidelines of the Downtown Design Guide, which was adopted June 8, 2017. The purpose of the Design Guide is to encourage more livable and sustainable development in Downtown Los Angeles by addressing a project's relationship with its sidewalks, setbacks, ground floor treatment, parking, access, massing, street walls, on-site open space, landscaping, architectural detail, streetscape improvements, signage, public art, and connectivity to civic and cultural life. The project will integrate a variety of high-quality building materials, a cohesive color palette, balanced articulation, and landscaping, to create an inviting and comfortable residence for its users while also the recognizing and respecting the surrounding community. Thus, the project as proposed and conditioned meets the intent of the Downtown Design Guide.

8. **The project consists of an arrangement of buildings and structures (including height, bulk and setbacks), off-street parking facilities, loading areas, lighting, landscaping, trash collection, and other such pertinent improvements, that is or will be compatible with existing and future development on adjacent properties and neighboring properties.**

The project site is a corner lot that consists of three (3) regularly shaped lots with a total lot size of 22,601 square feet. The project site is located at the southwest corner of the Flower Street and Cameron Lane intersection and has approximately 150 feet of frontage along the west side of Flower Street and 150 feet of frontage along the south side of Cameron Lane. The project site is zoned C2-2D-O and designated for Community Commercial land uses by the Central City Community Plan. The project site is improved with a two-story light manufacturing building used for parking.

The surrounding properties are developed with urban uses. The area is characterized by level topography, improved streets, and a mix of residential, commercial, and industrial development. Two properties directly north, across Cameron Lane (20-foot alley), are zoned C2-2D-O-SN and developed with an approximately 42,136 square-foot apartment building with commercial on the ground floor (Tiny Art Gallery, Urban Elegance 23) and an approximately 92,849 square-foot apartment building with swimming pool (City Lights on Figueroa Apartments). Two properties directly east, across Flower Street, are zoned C2-2D-O and developed with an approximately 7,500 square-foot building used for parking and an approximately 6,890 square-foot light one-story manufacturing building (Architects Corner, Grid Alternatives Greater Los Angeles). The property to the south is zoned C2-2D-O and developed with an approximately 7,025 square-foot, one-story warehouse building. Two properties directly west, across Lebanon Street (20-foot alley), are zoned C2-2D-O and developed with an approximately 0.356-acre surface parking.

The proposed project includes the demolition of all existing buildings and the construction, use and maintenance of an 11-story mixed-use building containing 117,794 square feet of floor area, including 9,585 square feet of indoor restaurant space and 3,091 square feet of outdoor terrace restaurant space, with a maximum floor area ratio (FAR) of 5.22:1. The project proposes 100 hotel guest rooms, 48 residential dwelling units, 12,676 square feet of restaurant space, and 5,941 square feet of usable open space.

Building Arrangement

Per the C2-2D-O Zone, there is no maximum height limit for buildings on this site. The project will be 11 stories, or 138 feet, 9 ¼ inches as measured from the lowest grade to the top of the roof parapet. Downtown Los Angeles is planned for greater height and

density development than the rest of the City. Existing buildings on the surrounding properties range in height from one to seven stories. While the mass and scale of the proposed project are greater than that of directly abutting properties, several of these properties are underutilized and do not reflect the potential and future mass and scale of the built environment. Further, the one block radius around the site includes several high-rises and large developments such as the Los Angeles Convention Center and Crypto.com Arena.

The project site has a “D” Development Limitation that limits the Floor Area Ratio (FAR) to a maximum of 3:1, which allows a maximum floor area of 67,803 square feet for a lot area of 22,601 square feet, pre-dedication. Pursuant to LAMC Section 14.5.7, the Applicant requests a Transfer of Floor Area Rights (TFAR) of less than 50,000 square feet to allow an increase of 49,991 square feet of floor area. This would result in a total of 117,794 square feet with a maximum FAR of 5:22:1 in lieu of 3:1 as otherwise permitted. The additional floor area provided by the TFAR is consistent with the density, intensity and massing envisioned for the general South Park neighborhood of Downtown Los Angeles, as well as goals and vision Community Commercial land use designation per the General Plan’s Framework Element. Further, the property is located within Height District 2. The Community Commercial land use references Footnote No. 2 on the Central City Community Plan Land Use Map, which states that Height District 2 would allow an FAR up to 6:1 with an approved TFAR.

The building design employs a different architectural treatment on the ground floor façade than on the upper floors, and features materials that add scale, texture, and variety at the pedestrian level. Varying colors and materials provide an identifiable break between building uses. Balconies create a pattern of projection and recess in the façade, providing visual relief to the street wall. The upper floor hotel use is highlighted by different materials, textures, and features such as slab edge band. Surrounding buildings have similar methods of articulation, including edge bands, vertical variation in color, and different treatments by level and land use.

The proposed building is subject to a 0- to 5-foot setback from Flower Street, which is designated as a retail street in the Downtown Design Guide. The project will have setbacks between 1-3/4” and 5 feet with an average setback of 2’-2 3/4”, and will be landscaped along the street frontage wrapping around the north façade along Cameron Lane. The façade along Flower Street above the ground floor will not project over the required sidewalk easement. The project is not proposing more setbacks than permitted and is in keeping with the minimal setback pattern set by the surrounding buildings. As such, it is consistent with existing development.

Off-Street Parking Facilities and Loading Areas

Access to the parking garage will be provided via two driveways located off the east side of Lebanon Street and one driveway located off the south side of Cameron Lane. The southerly Lebanon Street driveway, which is located approximately 209 feet away from the main pedestrian entrance to the building on Flower Street, will provide full access to the subterranean parking levels of the parking garage. The Cameron Lane (approximately 160 feet away from the main pedestrian entrance) and northerly Lebanon Street (approximately 260 feet away) driveways will provide ingress and egress, respectively, to the ground floor parking level of the parking garage.

The ground floor parking garage will be screened with perforated metal paneling and green screen plantings, which reduce the visibility of parking spaces and automobile lights from the public right-of-way. The project proposes a 400-foot loading space within the parking garage that is accessible via the northerly Lebanon Street driveway.

Per LAMC Section 12.21 A.4, the project would be required to provide 85 parking spaces including 50 spaces for residential units, 25 for hotel guest rooms, and 10 for commercial space. The project will provide a total of 158 parking spaces, which is greater than the 85 spaces required. However, due to the proximity of the project to the Convention Center and Crypto.com Arena, excess parking above the Municipal Code will be made available for event public use. The project is also required to provide a minimum of 20 short-term and 56 long-term bicycle parking spaces. The project will provide the minimum required bicycle parking spaces.

Lighting

The project will incorporate security lighting into the architectural and landscape lighting system and will provide lighting on exterior areas to illuminate the building entrances, walkways, the sidewalk, and adjacent alleyways consistent with the LAMC requirements and the Downtown Design Guide. As conditioned, all outdoor lighting provided on-site will be shielded to prevent excessive illumination and spillage onto adjacent public rights-of-way, adjacent properties, and the night sky. Therefore, the project's lighting will be compatible with the existing and future developments in the neighborhood.

On-site Landscaping

The project will provide landscaping in the form of the landscaped street frontage, open-air terraces, and on-site trees. The landscaping on the ground floor will consist of five Brisbane box trees and one Indian laurel fig tree, in addition to shrubs and ground cover. The courtyard and pool area on the second floor will be landscaped with six Dark Peppermint trees and various decorative vegetation such as bamboo, agave, flax, and bottlebrush. There will be decorative plantings on Level 11, including variegated flax lily and pink kangaroo paw. Additionally, the drive aisles along Cameron Lane and Lebanon Lane will be enhanced with bamboo, Carolina cherry, and variegated flax lily.

The project is conditioned to landscape all open areas not used for buildings, driveways, parking areas, recreational facilities, or pedestrian pathways, including an automatic irrigation system, and maintained in accordance with a landscape plan prepared by a licensed landscape architect or architect and submitted for approval to the Department of City Planning, Development Services Center.

Trash Collection

Trash storage is proposed to be enclosed within the ground floor of the parking garage near the northerly Lebanon Lane driveway and will not be visible from public view. Trash collection will take place along Lebanon Street and therefore will not interfere with daily operations and parking along the project's main entrance along Flower Street.

Building Materials

The building façades consist of different colored glass, metal panels, and precast panels. The façade treatment wraps around the building to all sides, excluding an expanse on the

south-facing mid-block façade. The variety of building materials and articulation as shown on the stamped "Exhibit A" is substantially consistent with the Citywide Design Guidelines, Downtown Design Guide.

9. **Any residential project provides recreation and service amenities to improve habitability for its residents and minimizes the impacts on neighborhood properties.**

The project will provide a total of 5,941 square feet of usable open space for its residents, including a 1,016 square-foot indoor recreation room at the second level and a 4,925 square-foot outdoor open space at the second level. The hotel component will provide customary hospitality amenities, including a central lobby and lounge, outdoor terraces, water features, and private balconies. The residential component will have amenities such as a swimming pool and outdoor terrace. As such, the project will provide recreation and service amenities to improve habitability for its residents and minimize the impacts on neighborhood properties.

ENVIRONMENTAL FINDINGS

The Director of Planning determined that based on the whole of the administrative record as supported by *Justification for Categorical Exemption Case No. ENV-2019-1493-CE* in the case file, the project is exempt from CEQA pursuant to CEQA Guidelines, Section 15332 Class 32, and there is no substantial evidence demonstrating that any exceptions contained in Section 15300.2 of the CEQA Guidelines, regarding cumulative impacts, significant effects or unusual circumstances, scenic highways, hazardous waste sites or historical resources applies.

TIME LIMIT – OBSERVANCE OF CONDITIONS

All terms and conditions of the Director's Determination shall be fulfilled before the use may be established. Pursuant to LAMC Section 12.25 A.2, the instant authorization is further conditional upon the privileges being utilized within **three years** after the effective date of this determination and, if such privileges are not utilized, building permits are not issued, or substantial physical construction work is not begun within said time and carried on diligently so that building permits do not lapse, the authorization shall terminate and become void.

TRANSFERABILITY

This determination runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant. If any portion of this approval is utilized, then all other conditions and requirements set forth herein become immediately operative and must be strictly observed.

VIOLATIONS OF THESE CONDITIONS, A MISDEMEANOR

The applicant's attention is called to the fact that this grant is not a permit or license and that any permits and licenses required by law must be obtained from the proper public agency. Furthermore, if any condition of this grant is violated or not complied with, then the applicant or his successor in interest may be prosecuted for violating these conditions the same as for any violation of the requirements contained in the Municipal Code, or the approval may be revoked.

Section 11.00 of the LAMC states in part (m): "It shall be unlawful for any person to violate any

provision or fail to comply with any of the requirements of this Code. Any person violating any of the provisions or failing to comply with any of the mandatory requirements of this Code shall be guilty of a misdemeanor unless that violation or failure is declared in that section to be an infraction. An infraction shall be tried and be punishable as provided in Section 19.6 of the Penal Code and the provisions of this section. Any violation of this Code that is designated as a misdemeanor may be charged by the City Attorney as either a misdemeanor or an infraction.

Every violation of this determination is punishable as a misdemeanor unless provision is otherwise made, and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the County Jail for a period of not more than six months, or by both a fine and imprisonment.”

APPEAL PERIOD - EFFECTIVE DATE

This grant is not a permit or license and any permits and/or licenses required by law must be obtained from the proper public agency. If any Condition of this grant is violated or not complied with, then the applicant or their successor in interest may be prosecuted for violating these Conditions the same as for any violation of the requirements contained in the Los Angeles Municipal Code (LAMC).

This determination will become effective after the end of appeal period date on the first page of this document, unless an appeal is filed with the Department of City Planning. An appeal application must be submitted and paid for before 4:30 PM (PST) on the final day to appeal the determination. Should the final day fall on a weekend or legal City holiday, the time for filing an appeal shall be extended to 4:30 PM (PST) on the next succeeding working day. Appeals should be filed early to ensure the Development Services Center (DSC) staff has adequate time to review and accept the documents, and to allow appellants time to submit payment.

An appeal may be filed utilizing the following options:

Online Application System (OAS): The OAS (<https://planning.lacity.org/oas>) allows entitlement appeals to be submitted entirely electronically by allowing an appellant to fill out and submit an appeal application online directly to City Planning’s DSC, and submit fee payment by credit card or e-check.

Drop off at DSC. Appeals of this determination can be submitted in-person at the Metro or Van Nuys DSC locations, and payment can be made by credit card or check. City Planning has established drop-off areas at the DSCs with physical boxes where appellants can drop off appeal applications; alternatively, appeal applications can be filed with staff at DSC public counters. Appeal applications must be on the prescribed forms, and accompanied by the required fee and a copy of the determination letter. Appeal applications shall be received by the DSC public counter and paid for on or before the above date or the appeal will not be accepted.

Forms are available online at <http://planning.lacity.org/development-services/forms>. Public offices are located at:

Metro DSC
(213) 482-7077
201 N. Figueroa Street
Los Angeles, CA 90012
planning.figcounter@lacity.org

Van Nuys DSC
(818) 374-5050
6262 Van Nuys Boulevard
Van Nuys, CA 91401
planning.mbc2@lacity.org

West Los Angeles DSC
(CURRENTLY CLOSED)
(310) 231-2901
1828 Sawtelle Boulevard
West Los Angeles, CA 90025
planning.westla@lacity.org

City Planning staff may follow up with the appellant via email and/or phone if there are any questions or missing materials in the appeal submission, to ensure that the appeal package is complete and meets the applicable LAMC provisions.

If you seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, the petition for writ of mandate pursuant to that section must be filed no later than the 90th day following the date on which the City's decision became final pursuant to California Code of Civil Procedure Section 1094.6. There may be other time limits which also affect your ability to seek judicial review.

Verification of condition compliance with building plans and/or building permit applications are done at the City Planning Metro or Valley DSC locations. An in-person or virtual appointment for Condition Clearance can be made through the City's [BuildLA](#) portal (appointments.lacity.org). The applicant is further advised to notify any consultant representing you of this requirement as well.



QR Code to
Online Appeal
Filing



QR Code to Forms for In-
Person Appeal Filing



QR Code to BuildLA Appointment Portal
for Condition Clearance

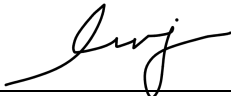
VINCENT P. BERTONI, AICP
Director of Planning

Approved by:



Vanessa Soto, AICP, Senior City Planner

Reviewed by:



Yi Lu, AICP, City Planner

Prepared by:



Eleanor Hunts, City Planning Associate
eleanor.hunts@lacity.org

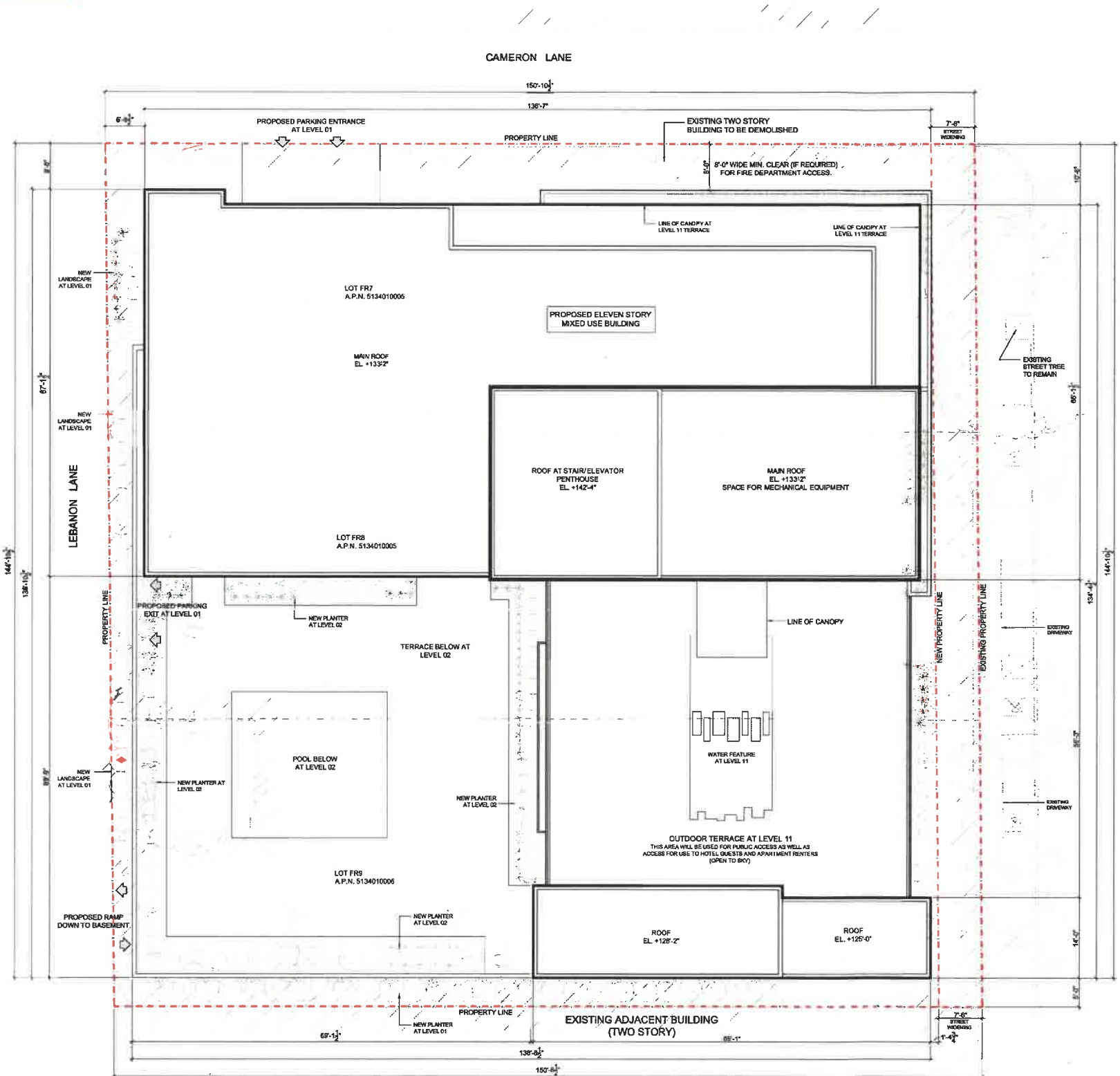
EXHIBIT "A"

Page No. 1 of 37

Case No. DIR-2019-1492-TDR-SPR

ING ADJACENT BUILDING
(FIVE STORY)

EXISTING ADJACENT BUILDING
(FOUR STORY)



TOTAL FLOOR AREA FOR APARTMENTS	54,553 SF
TOTAL FLOOR AREA FOR GUESTROOMS	53,656 SF

PROJECT ADDRESS:	1323 SOUTH FLOWER, LOS ANGELES CA. 90015 1327 SOUTH FLOWER, LOS ANGELES CA. 90015 1331 SOUTH FLOWER, LOS ANGELES CA. 90015
ASSESSOR PARCEL NUMBER:	5134010005, 5134010006
TRACT:	CAMERON TRACT
BLOCK:	A
LOTS:	FR 7, FR 8, FR 9
ARB (LOT CUT REFERENCE):	NONE
MAP SHEET:	126A205
GROSS PARCEL AREA:	0.52 ACRES (22,601 SQ FT)
LEGAL DESCRIPTION:	LOTS 7, 8 & 9 IN CAMERON TRACT, IN CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATES OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 7, PAGE 21, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
ZONING:	C2-2D-O
GENERAL PLAN LAND USE:	COMMUNITY COMMERCIAL

PROPOSED USE:	NEW MIXED USE PROJECT INCLUDES- HOTEL, APARTMENTS, COMMERCIAL
BUILDING HEIGHT:	TOP OF ROOF PARAPET = 136'-11" (FROM LEVEL 01) TOP OF ROOF PARAPET = 138'-9 1/4" (LOWEST GRADE) TOP OF STAIR/ELEVATOR HOUSING = 147'- 1/4"
NUMBER OF STORIES:	11 STORIES (ABOVE GRADE) 2 SUBTERRANEAN LEVELS- PARKING
NO. OF GUESTROOMS:	100 GUESTROOMS
NO. OF APARTMENTS:	48 APARTMENTS
RESTAURANT SPACES:	9,585 SQUARE FEET (LEVEL 01 AND LEVEL 11)
NUMBER OF PARKING:	158 AUTOMOBILE PARKING SPACES PROVIDED 20 SHORT TERM / 56 LONG TERM BICYCLE PARKING
TOTAL BUILDING AREA:	117,794 SQUARE FEET
TOTAL PARKING AREA:	38,866 SQUARE FEET (INCLUDES DRIVEWAYS & RAMPS)

TOTAL AREA:	117,794 SQUARE FEET
TOTAL LOT AREA:	22,601 SQUARE FEET
ALLOWABLE FLOOR AREA RATIO = 3	67,803 (ALLOWED BY RIGHT)
AREA INCREASE WITH TFAR (<50,000 SF)	49,991.00
PROPOSED AREA (MAX. ALLOWED UP TO F.A.R. 6.0)	117,794 / 22,601 = 5.22 (<6.0)
PROPOSED F.A.R. OF PROJECT = 5.22 (< 6.0)	
BASEMENT SQUARE FOOTAGE NOT INCLUDED IN F.A.R. CALCULATIONS	
BASEMENT LEVEL B1 FOOTPRINT	19,433
BASEMENT LEVEL B2 FOOTPRINT	19,433

	UNITS / FLOOR AREA	PARKING RATIO	REQUIRED PARKING
HOTEL- GUESTROOMS	100	1ST 20 = 0.5/ RM, NEXT 20 = 0.25/ RM, FOR REST = 1/4 / RM	25 SPACES
APARTMENTS (48 TOTAL)			
STUDIOS (2 HABITABLE ROOMS)	2	1 / UNIT	2 SPACES
1-BEDROOM UNITS (3-HABITABLE ROOMS)	39	1 / UNIT	39 SPACES
2-BEDROOM UNITS (4 HABITABLE ROOMS)	7	1.25 / UNIT	9 SPACES
SUB-TOTAL (APARTMENTS)	48		50 SPACES
COMMERCIAL (INDOOR/ COVERED)			
LEVEL 01- RESTAURANT	3,109 SF	1/1000 SF	3 SPACES
LEVEL 11- RESTAURANT/ TERRACE	6,476 SF	12.21 A.4(i)	7 SPACES
SUB-TOTAL (COMMERCIAL- INDOOR)	9,585 SF		10 SPACES
OUTDOOR TERRACE (OPEN TO SKY) (ACCESS FOR PUBLIC, HOTEL & APARTMENTS)	3,091 SF	IF NOT COVERED, NO PARKING REQUIRED	
SUB-TOTAL (NON-RESIDENTIAL)	12,676 SF		10 SPACES
GRAND TOTAL (PARKING REQUIRED)			85 SPACES

COMPACT SPACES (VERTICAL STACKERS)	62 SPACES	39 %
STANDARD SPACES (VERTICAL STACKERS)	86 SPACES	54 %
STANDARD SPACES (8'-6" x 18'-0")	4 SPACES	3 %
ACCESSIBLE SPACES	6 SPACES	4 %
TOTAL AUTOMOBILE PARKING PROVIDED	158 SPACES	100 %

	SHORT TERM		LONG TERM	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
GUESTROOMS (100 TOTAL)	10	10	10	10
APARTMENTS (48 TOTAL)	4	4	40	40
RESTAURANTS (12,676 SF TOTAL)	6	6	6	6
TOTAL (CODE REQUIRED)	20	20	56	56

* 20 SHORT TERM AND 56 LONG TERM BICYCLE PARKING SPACES PROVIDED

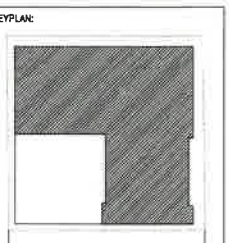
THE ELEMENT

1323 S. FLOWER STREET,
LOS ANGELES, CA

APPLICANT:	TISHBEE'S LLC 1323 S. FLOWER STREET, LOS ANGELES, CA 90015 TEL: 213.746.1100
ARCHITECT:	MCLOSURES INC. ARCHITECTS 15586 C ROCKFIELD BLVD., #500 IRVINE, CA 92618 TEL: 323.369.7334
INTERIOR DESIGN:	MCLOSURES INC. ARCHITECTS 15586 C ROCKFIELD BLVD., #500 IRVINE, CA 92618 TEL: 323.369.7334
LAND USE:	SEAT AT THE TABLE (SATT) P.O. BOX 800429 VALLEJO, CA 94580 TEL: 925.753.9891
SITE SURVEY:	JC SURVEY P.O. BOX 99 ACTON, CA 92610 TEL: 951.292.2177
FIRE LIFE SAFETY CODE CONSULTING:	TERP CONSULTING 225 ANAHEIM SUITE 302 RESONDO BEACH, CA 92677 TEL: 909.636.9827
STRUCTURAL:	JOHN LABR & ASSOCIATES 318 MAIN STREET, EL SEGUIN, CA 92426 TEL: 213.229.9703
TRAFFIC:	LINSCOTT, LAW & GREENSPRIN, ENGINEERS 20851 BURBANK BLVD., SUITE C WOODLAND HILLS, CA 91367 TEL: 818.838.8648
AIR/NOISE:	CAIA ENVIRONMENTAL SERVICES, LLC 13332 SHERMAN WAY, SUITE 115 VAN NUYS, CA 91406 TEL: 310.486.8720
LANDSCAPE:	CHARLES TROWBRIDGE & ASSOCIATES 17901 ROMELLE AVENUE, SANTA ANA, CA 92705 TEL: 714.532.3953



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PROJECT NUMBER:	16.014	
NO.	DATE	DESCRIPTION
1	03/11/2019	PLANNING SUBMITTAL
2	06/29/2020	CRA SUBMITTAL
3	12/01/2020	PLANNING RESUBMITTAL
4	10/15/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	08/01/2022	PLANNING RESUBMITTAL
7	XXXXXX/2023	PLANNING RESUBMITTAL

SCALE: AS NOTED

SHEET NO. **A00**

PROPOSED PLOT PLAN

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EXHIBIT "A"

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Case No. DIR-2019-1492-TDR-SPR



APPLICANT / OWNER: TISHBEE'S, LLC

1323 SOUTH FLOWER STREET,
LOS ANGELES, CA 90015
TEL: 213.746.1100

ARCHITECT:

nKLOSURES, INC. ARCHITECTS

15560-C ROCKFIELD BLVD., SUITE 200
IRVINE, CA 92618
TEL: 323.309.7334
www.nKLOSURES.com

THE ELEMENT

1323 SOUTH FLOWER STREET
PLANNING RE-SUBMITTAL

APRIL 28, 2023

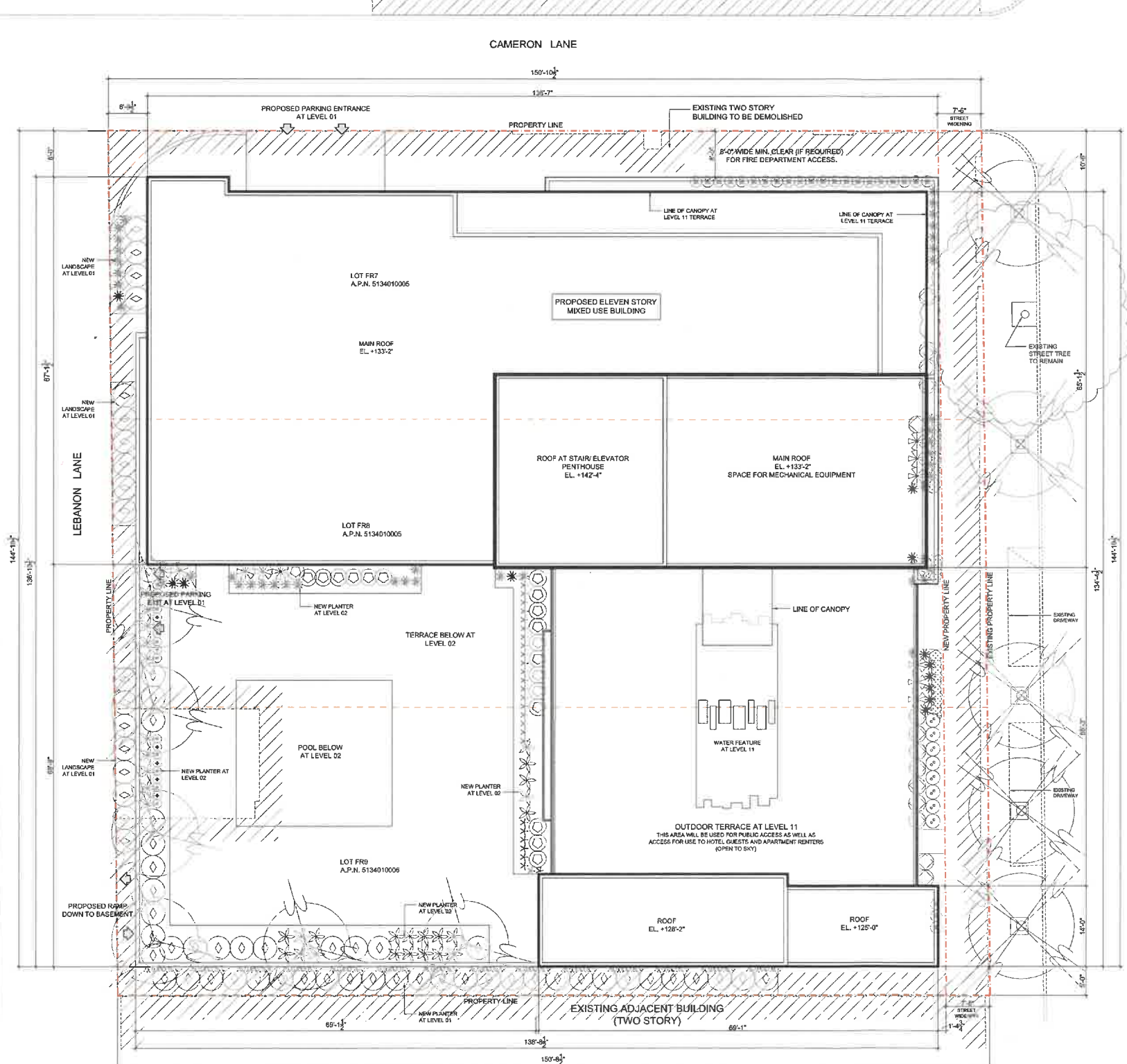
EXHIBIT "A"

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Case No. DIR-2019-1492-TDR-SPR

EXISTING ADJACENT BUILDING (FIVE STORY)

EXISTING ADJACENT BUILDING (FOUR STORY)



SITE INFORMATION

PROJECT ADDRESS:	1323 SOUTH FLOWER, LOS ANGELES CA. 90015 1327 SOUTH FLOWER, LOS ANGELES CA. 90015 1331 SOUTH FLOWER, LOS ANGELES CA. 90015
ASSESSOR PARCEL NUMBER:	5134010005, 5134010006
TRACT:	CAMERON TRACT
BLOCK:	A
LOTS:	FR 7, FR 8, FR 9
ARB (LOT CUT REFERENCE):	NONE
MAP SHEET:	128A205
GROSS PARCEL AREA:	0.52 ACRES (22,601 SQ FT)
LEGAL DESCRIPTION:	LOTS 7, 8 & 9 IN CAMERON TRACT, IN CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATES OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 7, PAGE 21, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
ZONING:	C2-2D-O
GENERAL PLAN LAND USE:	COMMUNITY COMMERCIAL

PROPOSED PROJECT INFORMATION

PROPOSED USE :	NEW MIXED USE PROJECT INCLUDES- HOTEL, APARTMENTS, COMMERCIAL
BUILDING HEIGHT :	TOP OF ROOF PARAPET = 136'-11" (FROM LEVEL 01) TOP OF ROOF PARAPET = 138'-9 1/4" (LOWEST GRADE) TOP OF STAIR/ELEVATOR HOUSING = 147'- 1/4"
NUMBER OF STORIES :	11 STORIES (ABOVE GRADE) 2 SUBTERRANEAN LEVELS- PARKING
NO. OF GUESTROOMS :	100 GUESTROOMS
NO. OF APARTMENTS :	48 APARTMENTS
RESTAURANT SPACES :	9,585 SQUARE FEET (LEVEL 01 AND LEVEL 11) 3,091 OUTDOOR TERRACE (LEVEL 11)
NUMBER OF PARKING :	158 AUTOMOBILE PARKING SPACES PROVIDED 20 SHORT TERM / 56 LONG TERM BICYCLE PARKING
TOTAL BUILDING AREA :	117,794 SQUARE FEET
TOTAL PARKING AREA :	38,866 SQUARE FEET (INCLUDES DRIVEWAYS & RAMPS)

FLOOR AREA CALCULATIONS (ZONING CODE)

TOTAL AREA:	117,794 SQUARE FEET
TOTAL LOT AREA:	22,601 SQUARE FEET
ALLOWABLE FLOOR AREA RATIO = 3	67,803 (ALLOWED BY RIGHT)
AREA INCREASE WITH TFAR (<50,000 SF)	49,991.00
PROPOSED AREA (MAX. ALLOWED UP TO F.A.R. 6.0)	117,794 / 22,601 = 5.22 (<6.0)
PROPOSED F.A.R. OF PROJECT = 5.22 (< 6.0)	
BASEMENT SQUARE FOOTAGE NOT INCLUDED IN F.A.R. CALCULATIONS	
BASEMENT LEVEL B1 FOOTPRINT	19,433
BASEMENT LEVEL B2 FOOTPRINT	19,433

PARKING (CODE REQUIRED) - PER 12.21 A.4 (p)

	UNITS / FLOOR AREA	PARKING RATIO	REQUIRED PARKING
HOTEL- GUESTROOMS	100	1ST 20 = 0.5/ RM NEXT 20 = 0.25/ RM FOR REST = 1/ RM	25 SPACES
APARTMENTS (48 TOTAL)			
STUDIOS (2 HABITABLE ROOMS)	2	1 / UNIT	2 SPACES
1-BEDROOM UNITS (3-HABITABLE ROOMS)	39	1 / UNIT	39 SPACES
2-BEDROOM UNITS (4 HABITABLE ROOMS)	7	1.25 / UNIT	9 SPACES
SUB-TOTAL (APARTMENTS)	48		50 SPACES
COMMERCIAL (INDOOR/ COVERED)			
LEVEL 01- RESTAURANT	3,109 SF	1/1000 SF	3 SPACES
LEVEL 11- RESTAURANT/ TERRACE	6,476 SF	12.21 A.4(f)	7 SPACES
SUB-TOTAL (COMMERCIAL- INDOOR)	9,585 SF		10 SPACES
OUTDOOR TERRACE (OPEN TO SKY) (ACCESS FOR PUBLIC, HOTEL & APARTMENTS)	3,091 SF	IF NOT COVERED, NO PARKING REQUIRED	
SUB-TOTAL (NON-RESIDENTIAL)	12,676 SF		10 SPACES
GRAND TOTAL (PARKING REQUIRED)			85 SPACES

TOTAL PARKING (PROVIDED IN PROJECT)

COMPACT SPACES (VERTICAL STACKERS)	62 SPACES	39 %
STANDARD SPACES (VERTICAL STACKERS)	86 SPACES	54 %
STANDARD SPACES (8'-8" x 18'-0")	4 SPACES	3 %
ACCESSIBLE SPACES	6 SPACES	4 %
TOTAL AUTOMOBILE PARKING PROVIDED	158 SPACES	100 %

BICYCLE PARKING (CODE REQUIRED) PER 12.21.A.16

	SHORT TERM		LONG TERM	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
GUESTROOMS (100 TOTAL)	10	10	10	10
APARTMENTS (48 TOTAL)	4	4	40	40
RESTAURANTS (12,676 SF TOTAL)	6	6	6	6
TOTAL (CODE REQUIRED)	20	20	56	56

* 20 SHORT TERM AND 56 LONG TERM BICYCLE PARKING SPACES PROVIDED

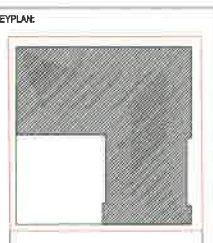
THE ELEMENT

1323 S. FLOWER STREET,
LOS ANGELES, CA

APPLICANT:	TISHBEE'S LLC 1323 S. FLOWER STREET, LOS ANGELES, CA 90015 TEL: 213.746.1100
ARCHITECT:	NKLOSURES INC. ARCHITECTS 15560-C ROCKFIELD BLVD., 4000 IRVINE, CA 92618 TEL: 323.309.7334
INTERIOR DESIGN:	NKLOSURES INC. ARCHITECTS 15560-C ROCKFIELD BLVD., 4000 IRVINE, CA 92618 TEL: 323.309.7334
LAND USE:	SEAT AT THE TABLE (SATT) PLANNING RECORD 0009 VALENCIA, CA 91380 TEL: 661.753.8661
SITE SURVEY:	JC SURVEY P.O. BOX 96 ACTON, CA 95919 TEL: 530.292.2177
FIRE LIFE SAFETY CODE CONSULTING:	TERP CONSULTING 225 AVENUE L SUITE 202 REDDO BEACH, CA 92277 TEL: 909.636.9827
STRUCTURAL:	JOHN LABBE + ASSOCIATES 319 MAIN STREET, EL SEGUINDO, CA 92426 TEL: 714.239.9100
TRAFFIC:	LINSCOTT, LAW & GREENSPAN, ENGINEERS 20951 BURBANK BLVD., SUITE C WOODLAND HILLS, CA 91367 TEL: 818.833.8649
AIR NOISE:	CAIA ENVIRONMENTAL SERVICES, LLC 13333 SHERMAN WAY, SUITE 315 VAN NUYS, CA 91406 TEL: 310.468.8700
LANDSCAPE:	CHARLES TROWBRODGE & ASSOCIATES 17901 PROMISE AVENUE, SANTA ANA, CA 92705 TEL: 714.532.3653



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SUBMITTAL INFORMATION

PROJECT NUMBER:	16.014	
NO.	DATE	DESCRIPTION
1	03/11/2019	PLANNING SUBMITTAL
2	08/28/2020	CRA SUBMITTAL
3	12/01/2020	PLANNING RESUBMITTAL
4	10/15/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	08/01/2022	PLANNING RESUBMITTAL
7	XXXX/XXXX	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

SHEET NAME:
PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

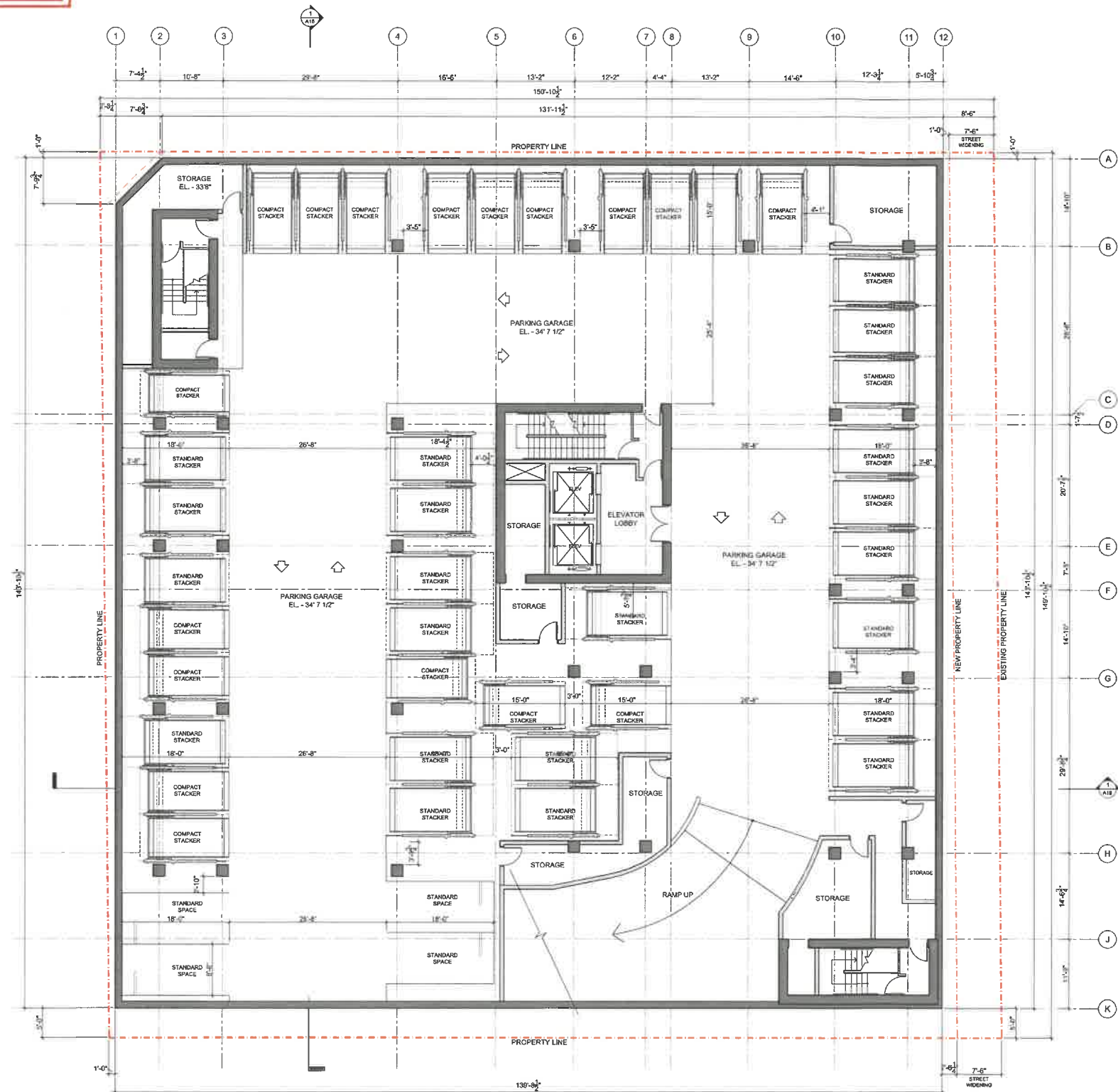
SHEET NO.:
A1

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EXHIBIT "A"

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Case No. DIR-2019-1492-TDR-SPR



SITE INFORMATION	
PROJECT ADDRESS:	1323 SOUTH FLOWER, LOS ANGELES CA. 90015 1327 SOUTH FLOWER, LOS ANGELES CA. 90015 1331 SOUTH FLOWER, LOS ANGELES CA. 90015
ASSESSOR PARCEL NUMBER:	5134010005, 5134010006
TRACT:	CAMERON TRACT
BLOCK:	A
LOTS:	FR 7, FR 8, FR 9
ARB (LOT CUT REFERENCE):	NONE
MAP SHEET:	126A205
GROSS PARCEL AREA:	0.52 ACRES (22,601 SQ FT)
LEGAL DESCRIPTION:	LOTS 7, 8 & 9 IN CAMERON TRACT, IN CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATES OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 7, PAGE 21, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
ZONING:	C2-2D-O
GENERAL PLAN LAND USE:	COMMUNITY COMMERCIAL
COMMUNITY PLAN AREA:	CENTRAL CITY
COUNCIL DISTRICT:	CD-14 (JOSE HUIZAR)

PARKING (CODE REQUIRED) - PER 12.21 A.4 (p)			
	UNITS / FLOOR AREA	PARKING RATIO	REQUIRED PARKING
HOTEL-GUESTROOMS	100	1ST 20 = 0.5/ RM, NEXT 20 = 0.25/ RM, FOR REST = 1/ RM	25 SPACES
APARTMENTS (48 TOTAL)			
STUDIOS (2 HABITABLE ROOMS)	2	1 / UNIT	2 SPACES
1-BEDROOM UNITS (3-HABITABLE ROOMS)	39	1 / UNIT	39 SPACES
2-BEDROOM UNITS (4 HABITABLE ROOMS)	7	1.25 / UNIT	9 SPACES
SUB-TOTAL (APARTMENTS)	48		50 SPACES
COMMERCIAL (INDOOR/ COVERED)			
LEVEL 01- RESTAURANT	3,109 SF	1/1000 SF	3 SPACES
LEVEL 11- RESTAURANT/ TERRACE	6,476 SF	12.21 A.4(i)	7 SPACES
SUB-TOTAL (COMMERCIAL-INDOOR)	9,585 SF		10 SPACES
OUTDOOR TERRACE (OPEN TO SKY) (ACCESS FOR PUBLIC, HOTEL & APARTMENTS)	3,091 SF		IF NOT COVERED, NO PARKING REQUIRED
SUB-TOTAL (NON-RESIDENTIAL)	12,676 SF		10 SPACES
GRAND TOTAL (PARKING REQUIRED)			85 SPACES

PARKING (REQUIRED AND PROVIDED PER USE)		
	REQUIRED PER LAMC	PROVIDED
GUESTROOMS (100 TOTAL)	25 SPACES	25 SPACES
APARTMENTS (48 TOTAL)	50 SPACES	50 SPACES
COMMERCIAL-INDOOR	10 SPACES	10 SPACES
TOTAL PARKING (REQUIRED & PROVIDED)	85 SPACES	85 SPACES

TOTAL PARKING (PROVIDED IN PROJECT)		
COMPACT SPACES (VERTICAL STACKERS)	62 SPACES	39 %
STANDARD SPACES (VERTICAL STACKERS)	86 SPACES	54 %
STANDARD SPACES (8'-8" x 18'-0")	4 SPACES	3 %
ACCESSIBLE SPACES	6 SPACES	4 %
TOTAL AUTOMOBILE PARKING PROVIDED	158 SPACES	100 %

PARKING PROVIDED PER FLOOR				
	STACKER (STANDARD)	STACKER (COMPACT)	ACCESSIBLE PARKING	STANDARD SPACES
GROUND (LEVEL 01)			4	
BASEMENT (LEVEL B1)	42	26	2	
BASEMENT (LEVEL B2)	44	36		4
GRAND TOTAL (ALL FLOORS)	86	62	6	4

* TOTAL PARKING SPACES PROVIDED (ALL FLOORS) = 158 SPACES

BICYCLE PARKING (CODE REQUIRED) PER 12.21.A.16				
	SHORT TERM		LONG TERM	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
GUESTROOMS (100 TOTAL)	10	10	10	10
APARTMENTS (48 TOTAL)	4	4	40	40
RESTAURANTS (12,676 SF TOTAL)	6	6	6	6
TOTAL (CODE REQUIRED)	20	20	56	56

* 20 SHORT TERM AND 56 LONG TERM BICYCLE PARKING SPACES PROVIDED

THE ELEMENT

1323 S. FLOWER STREET,
LOS ANGELES, CA

APPLICANT: TISHBEE'S LLC
1323 S. FLOWER STREET,
LOS ANGELES, CA 90015
TEL: 213.745.1100

ARCHITECT: NKLOSURES INC. ARCHITECTS
1500-C ROCKFIELD BLVD., #200
IRVINE, CA 92618
TEL: 323.306.7334

INTERIOR DESIGN: NKLOSURES INC. ARCHITECTS
1500-C ROCKFIELD BLVD., #200
IRVINE, CA 92618
TEL: 323.306.7334

LAND USE: SEAT AT THE TABLE (SATT)
P.O. BOX 80049
VALENCIA, CA 91380
TEL: 661.753.9861

SITE SURVEY: JC SURVEY
P.O. BOX 36
ACTON, CA 92610
TEL: 661.299.2177

FIRE LIFE SAFETY CODE CONSULTING: TERP CONSULTING
225 AVENUE L, SUITE 222
REDWOOD BEACH, CA 92277
TEL: 909.638.9927

STRUCTURAL: JOHN LABBE & ASSOCIATES
319 MAIN STREET,
EL SEGUNDO, CA 90245
TEL: 213.230.9733

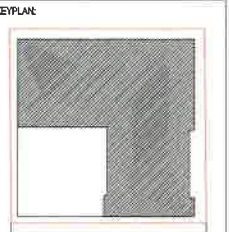
TRAFFIC: LINSKOTT, LAW & GREENSPAN,
ENGINEERS
2381 BURNHAM BLVD., SUITE C
WOODLAND HILLS, CA 91367
TEL: 818.525.9648

ARI NOISE: CAJA ENVIRONMENTAL
SERVICES, LLC
15330 SHERMAN WAY, SUITE 315
VAN NUYS, CA 91405
TEL: 310.486.6790

LANDSCAPE: CHARLES TROWBRIDGE &
ASSOCIATES
17901 ROMELLE AVENUE,
SANTA ANA, CA 92705
TEL: 714.532.3693



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SUBMITTAL INFORMATION

PROJECT NUMBER: 16.014

NO.	DATE	DESCRIPTION
1	03/11/2019	PLANNING SUBMITTAL
2	05/28/2020	CRA SUBMITTAL
3	12/01/2020	PLANNING RESUBMITTAL
4	10/15/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	09/01/2022	PLANNING RESUBMITTAL
7	XXXX/XXXX	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

SHEET NAME:

**PROPOSED
BASEMENT-LEVEL B2
FLOOR PLAN**

SCALE: 1/8" = 1'-0"

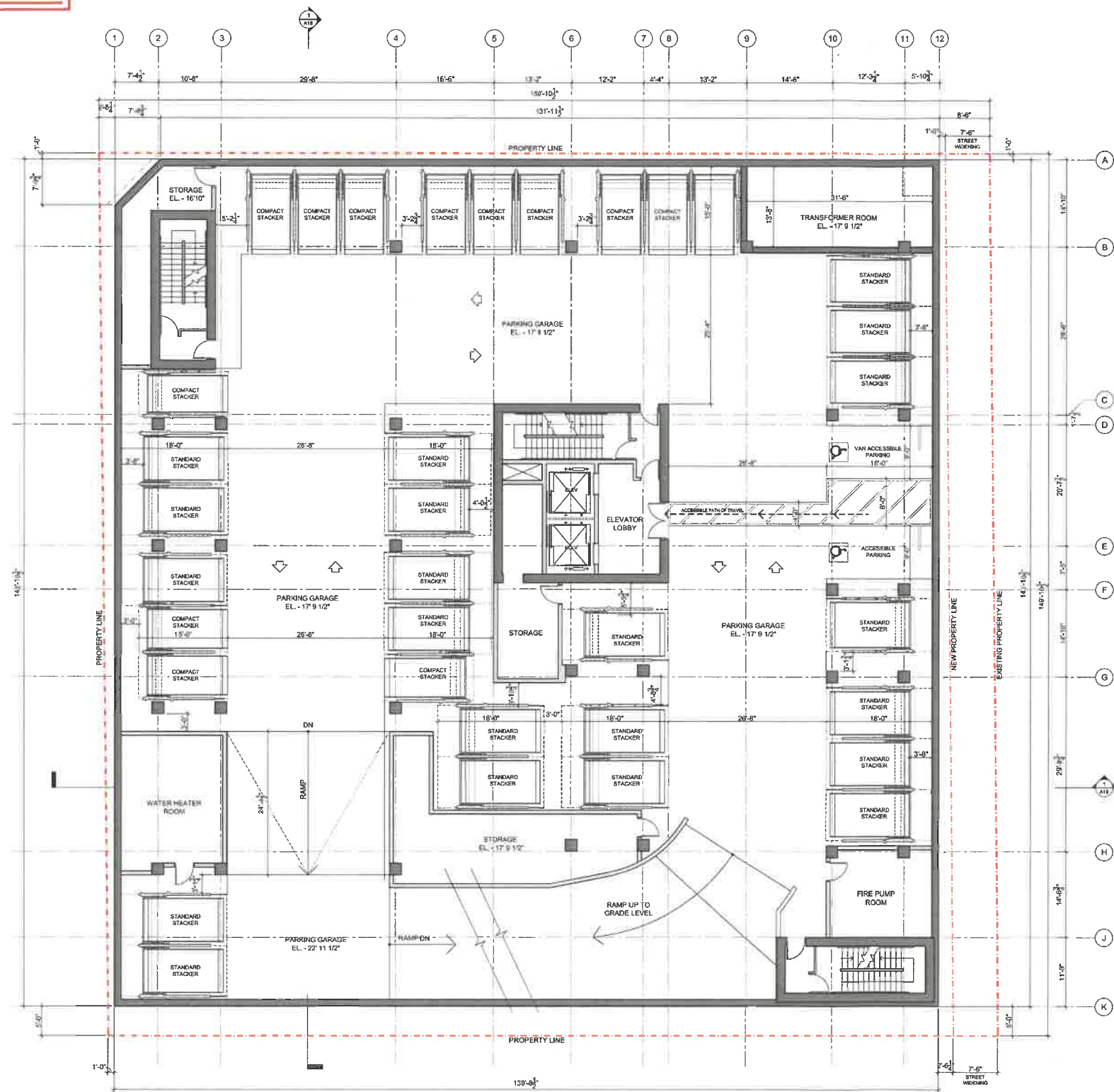
SHEET NO:

A2

EXHIBIT "A"

Page No. 6 of 37

Case No. DIR-2019-1492-TDR-SPR



SITE INFORMATION	
PROJECT ADDRESS:	1323 SOUTH FLOWER, LOS ANGELES CA, 90015 1327 SOUTH FLOWER, LOS ANGELES CA, 90015 1331 SOUTH FLOWER, LOS ANGELES CA, 90015
ASSESSOR PARCEL NUMBER:	5134010005, 5134010006
TRACT:	CAMERON TRACT
BLOCK:	A
LOTS:	FR 7, FR 8, FR 9
ARB (LOT CUT REFERENCE):	NONE
MAP SHEET:	126A205
GROSS PARCEL AREA:	0.52 ACRES (22,601 SQ FT)
LEGAL DESCRIPTION:	LOTS 7, 8 & 9 IN CAMERON TRACT, IN CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATES OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 7, PAGE 21, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
ZONING:	C2-2D-O
GENERAL PLAN LAND USE:	COMMUNITY COMMERCIAL
COMMUNITY PLAN AREA:	CENTRAL CITY
COUNCIL DISTRICT:	CD-14 (JOSE HUIZAR)

PARKING (CODE REQUIRED) - PER 12.21 A.4 (p)			
	UNITS / FLOOR AREA	PARKING RATIO	REQUIRED PARKING
HOTEL - GUESTROOMS	100	1ST 20 = 0.5/ RM, NEXT 20 = 0.25/ RM, FOR REST = 1/ RM	25 SPACES
APARTMENTS (48 TOTAL)			
STUDIOS (2 HABITABLE ROOMS)	2	1 / UNIT	2 SPACES
1-BEDROOM UNITS (3-HABITABLE ROOMS)	39	1 / UNIT	39 SPACES
2-BEDROOM UNITS (4 HABITABLE ROOMS)	7	1.25 / UNIT	9 SPACES
SUB-TOTAL (APARTMENTS)	48		50 SPACES
COMMERCIAL (INDOOR/ COVERED)			
LEVEL 01- RESTAURANT	3,109 SF	1/1000 SF	3 SPACES
LEVEL 11- RESTAURANT/ TERRACE	6,476 SF	12.21 A.4(f)	7 SPACES
SUB-TOTAL (COMMERCIAL - INDOOR)	9,585 SF		10 SPACES
OUTDOOR TERRACE (OPEN TO SKY) (ACCESS FOR PUBLIC, HOTEL & APARTMENTS)	3,091 SF	IF NOT COVERED, NO PARKING REQUIRED	
SUB-TOTAL (NON-RESIDENTIAL)	12,676 SF		10 SPACES
GRAND TOTAL (PARKING REQUIRED)			85 SPACES

PARKING (REQUIRED AND PROVIDED PER USE)		
	REQUIRED PER LAMC	PROVIDED
GUESTROOMS (100 TOTAL)	25 SPACES	25 SPACES
APARTMENTS (48 TOTAL)	50 SPACES	50 SPACES
COMMERCIAL - INDOOR	10 SPACES	10 SPACES
TOTAL PARKING (REQUIRED & PROVIDED)	85 SPACES	85 SPACES

TOTAL PARKING (PROVIDED IN PROJECT)		
COMPACT SPACES (VERTICAL STACKERS)	62 SPACES	39 %
STANDARD SPACES (VERTICAL STACKERS)	86 SPACES	54 %
STANDARD SPACES (8'-8" x 18'-0")	4 SPACES	3 %
ACCESSIBLE SPACES	6 SPACES	4 %
TOTAL AUTOMOBILE PARKING PROVIDED	158 SPACES	100 %

PARKING PROVIDED PER FLOOR				
	STACKER (STANDARD)	STACKER (COMPACT)	ACCESSIBLE PARKING	STANDARD SPACES
GROUND (LEVEL 01)			4	
BASEMENT (LEVEL B1)	42	26	2	
BASEMENT (LEVEL B2)	44	36		4
GRAND TOTAL (ALL FLOORS)	86	62	6	4

* TOTAL PARKING SPACES PROVIDED (ALL FLOORS) = 158 SPACES

BICYCLE PARKING (CODE REQUIRED) PER 12.21.A.16				
	SHORT TERM		LONG TERM	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
GUESTROOMS (100 TOTAL)	10	10	10	10
APARTMENTS (48 TOTAL)	4	4	40	40
RESTAURANTS (12,676 SF TOTAL)	6	6	6	6
TOTAL (CODE REQUIRED)	20	20	56	56

* 20 SHORT TERM AND 56 LONG TERM BICYCLE PARKING SPACES PROVIDED

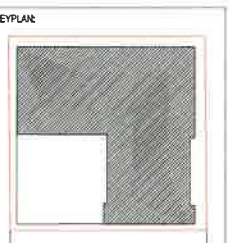
THE ELEMENT

1323 S. FLOWER STREET,
LOS ANGELES, CA

APPLICANT:	TISHBEE'S LLC 1323 S. FLOWER STREET, LOS ANGELES, CA 90015 TEL: 213.746.1100
ARCHITECT:	NKLOSURES INC. ARCHITECTS 1550-C ROCKFIELD BLVD. #200 IRVINE, CA 92618 TEL: 323.309.7334
INTERIOR DESIGNER:	NKLOSURES INC. ARCHITECTS 1550-C ROCKFIELD BLVD. #200 IRVINE, CA 92618 TEL: 323.309.7334
LAND USE:	SEAT AT THE TABLE (SATT) P.O. BOX 800429 VALENCIA, CA 91380 TEL: 661.753.9591
SITE SURVEY:	JC SURVEY P.O. BOX 86 ACTON, CA 92610 TEL: 951.282.2177
FIRE LIFE SAFETY CODE CONSULTING:	TERP CONSULTING 225 AVENUE L, SUITE 202 REDONDO BEACH, CA 90277 TEL: 909.638.9227
STRUCTURAL:	JOHN LAUB & ASSOCIATES 319 MAIN STREET, EL SEGUINDO, CA 90245 TEL: 213.288.9793
TRAFFIC:	LINSCOTT, LAW & GREENSPAN, ENGINEERS 29811 BURBANK BLVD., SUITE C WOODLAND HILLS, CA 91367 TEL: 818.336.8648
AIR/ NOISE:	CAJA ENVIRONMENTAL SERVICES, LLC 1535 SHERMANWAY, SUITE 315 VAN NUYS, CA 91406 TEL: 310.488.6720
LANDSCAPE:	CHARLES TROWBRIDGE & ASSOCIATES 17601 ROMELLE AVENUE, SANTA ANA, CA 92705 TEL: 714.532.3653



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SUBMITTAL INFORMATION		
PROJECT NUMBER: 16.014		
NO.	DATE	DESCRIPTION
1	03/11/2019	PLANNING SUBMITTAL
2	05/28/2020	CRA SUBMITTAL
3	12/01/2020	PLANNING RESUBMITTAL
4	10/15/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	06/10/2022	PLANNING RESUBMITTAL
7	XX/XX/2023	PLANNING RESUBMITTAL

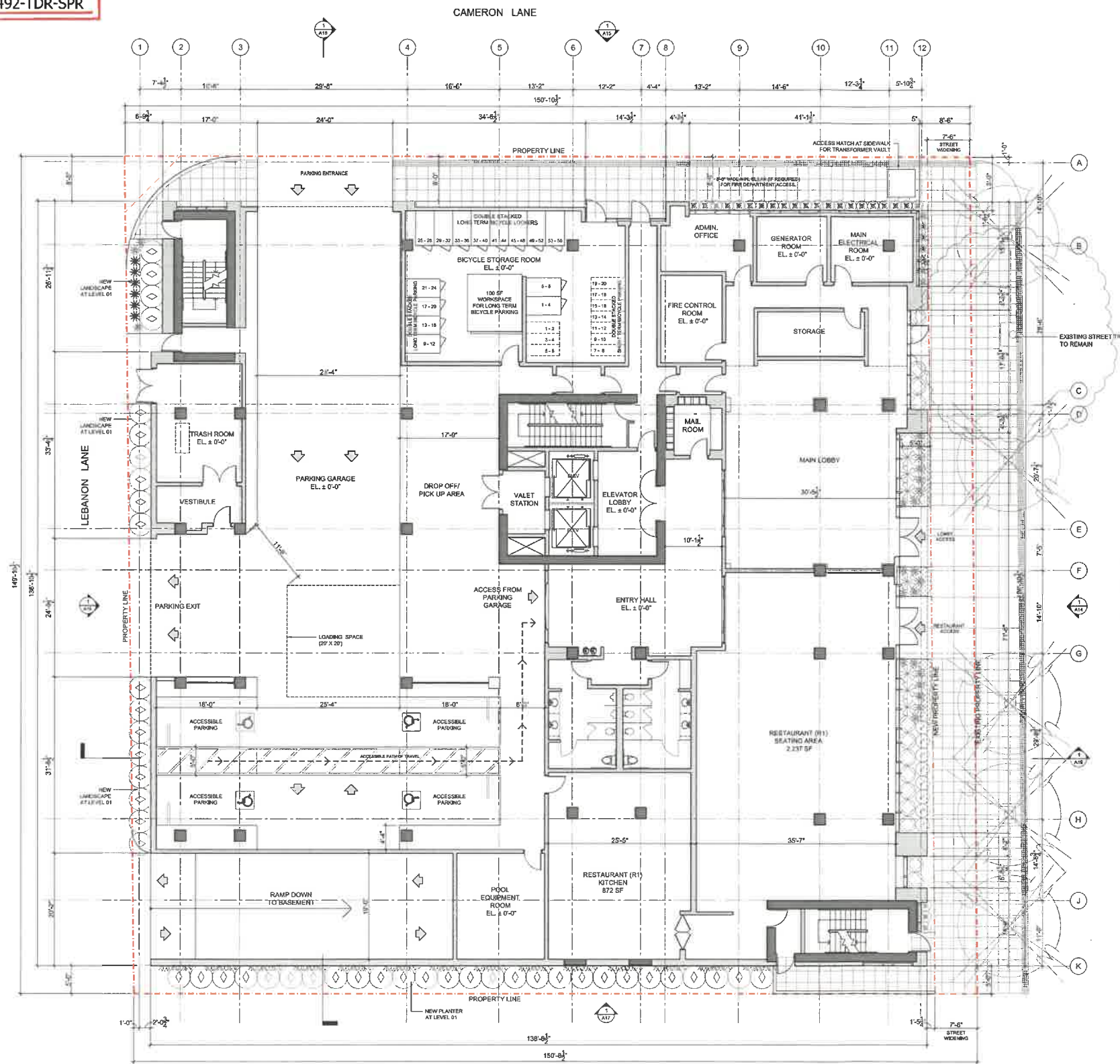
FULL SIZE PRINT: 30" x 42"
SHEET NAME:

PROPOSED
BASEMENT - LEVEL B1
FLOOR PLAN
SCALE: 1/8" = 1'-0"
SHEET NO.:
A3
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EXHIBIT "A"

Page No. 7 of 37

Case No. DIR-2019-1492-TDR-SPR



TREE COUNT:

- 1 TREE FOR EVERY 4 DWELLING UNITS REQUIRED PER LAMC 12.21 G.2
- PROPOSED 48 DWELLING UNITS = TOTAL OF 12 TREES PROVIDED
- 1 EXISTING TREE TO REMAIN, 11 NEW TREES PROPOSED
- (6 TREES AT LEVEL 01- STREET FRONT, 6 TREES AT LEVEL 02- TERRACE)

SITE INFORMATION

PROJECT ADDRESS:	1323 SOUTH FLOWER, LOS ANGELES CA. 90015 1327 SOUTH FLOWER, LOS ANGELES CA. 90015 1331 SOUTH FLOWER, LOS ANGELES CA. 90015
ASSESSOR PARCEL NUMBER:	5134010005, 5134010006
TRACT:	CAMERON TRACT
BLOCK:	A
LOTS:	FR 7, FR 8, FR 9
ARB (LOT CUT REFERENCE):	NONE
MAP SHEET:	126A205
GROSS PARCEL AREA:	0.52 ACRES (22,601 SQ FT)
LEGAL DESCRIPTION:	LOTS 7, 8 & 9 IN CAMERON TRACT, IN CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATES OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 7, PAGE 21, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
ZONING:	C2-2D-0
GENERAL PLAN LAND USE:	COMMUNITY COMMERCIAL
COMMUNITY PLAN AREA:	CENTRAL CITY
COUNCIL DISTRICT:	CD-14 (JOSE HUIZAR)

DENSITY/ YARD/ OPEN SPACE REQUIREMENTS

PER ZI NO. 2385 (GREATER DOWNTOWN HOUSING INCENTIVE AREA) -

DENSITY-	THE MAXIMUM NUMBER OF DWELLING UNITS OR GUEST ROOMS PERMITTED SHALL NOT BE LIMITED BY THE LOT AREA PROVISIONS OF THIS CHAPTER SO LONG AS THE TOTAL FLOOR AREA UTILIZED BY GUEST ROOMS DOES NOT EXCEED THE TOTAL FLOOR AREA UTILIZED BY DWELLING UNITS
YARD -	ALL YARD REQUIREMENTS WERE ELIMINATED
OPEN SPACE-	THE PERCENTAGES OF PRIVATE AND COMMON OPEN SPACES WERE ELIMINATED; HOWEVER, THE TOTAL PER UNIT OPEN SPACE REQUIREMENT SHALL STILL BE PROVIDED

GENERAL NOTES:
 SEE SHEET A-20 FOR OPEN SPACE/ LANDSCAPE CALCULATIONS
 SEE SHEET A-21 FOR ZONING AREA CALCULATIONS
 SEE SHEET A-22 FOR CONCEPTUAL SIGNAGE LOCATIONS AND SIZES

PARKING (CODE REQUIRED) - PER 12.21 A.4 (p)

	UNITS / FLOOR AREA	PARKING RATIO	REQUIRED PARKING
HOTEL- GUESTROOMS	100	1ST 20 = 0.5/ RM, NEXT 20 = 0.25/ RM, FOR REST= 1/ RM	25 SPACES
APARTMENTS (48 TOTAL)			
STUDIOS (2 HABITABLE ROOMS)	2	1 / UNIT	2 SPACES
1-BEDROOM UNITS (3-HABITABLE ROOMS)	39	1 / UNIT	39 SPACES
2-BEDROOM UNITS (4 HABITABLE ROOMS)	7	1.25 / UNIT	9 SPACES
SUB-TOTAL (APARTMENTS)	48		50 SPACES
COMMERCIAL (INDOOR/ COVERED)			
LEVEL 01- RESTAURANT	3,109 SF	1/1000 SF	3 SPACES
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SUB-TOTAL (COMMERCIAL- INDOOR)	9,585 SF		10 SPACES
OUTDOOR TERRACE (OPEN TO SKY) (ACCESS FOR PUBLIC, HOTEL & APARTMENTS)			
	3,091 SF	IF NOT COVERED, NO PARKING REQUIRED	
SUB-TOTAL (NON-RESIDENTIAL)	12,676 SF		10 SPACES
GRAND TOTAL (PARKING REQUIRED)			85 SPACES

TOTAL PARKING (PROVIDED IN PROJECT)

	SPACES	%
COMPACT SPACES (VERTICAL STACKERS)	62 SPACES	39 %
STANDARD SPACES (VERTICAL STACKERS)	86 SPACES	54 %
STANDARD SPACES (8'-8" x 18'-0")	4 SPACES	3 %
ACCESSIBLE SPACES	6 SPACES	4 %
TOTAL AUTOMOBILE PARKING PROVIDED	158 SPACES	100 %

BICYCLE PARKING (CODE REQUIRED) PER 12.21.A.16

	SHORT TERM		LONG TERM	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
GUESTROOMS (100 TOTAL)	10	10	10	10
APARTMENTS (48 TOTAL)	4	4	40	40
RESTAURANTS (12,676 SF TOTAL)	6	6	6	6
TOTAL (CODE REQUIRED)	20	20	56	56

* 20 SHORT TERM AND 56 LONG TERM BICYCLE PARKING SPACES PROVIDED

THE ELEMENT

1323 S. FLOWER STREET,
LOS ANGELES, CA

APPLICANT: TISHBEE'S LLC
 1323 S. FLOWER STREET,
 LOS ANGELES, CA 90015
 TEL: 213.746.1100

ARCHITECT: NKLOSURES INC. ARCHITECTS
 1550-C ROOFPELD BLVD., #200
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 TEL: 323.309.7334

INTERIOR DESIGN: NKLOSURES INC. ARCHITECTS
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 IRVINE, CA 92618
 TEL: 323.309.7334

LAND USE: SEAT AT THE TABLE (SATT)
 P.O. BOX 80429
 VALENCIA, CA 91380
 TEL: 961.753.9861

SITE SURVEY: JC SURVEY
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FIRE LIFE SAFETY CODE CONSULTING: TERP CONSULTING
 225 AVENUE I, SUITE 202
 REDWOOD BEACH, CA 92377
 TEL: 909.638.9627

STRUCTURAL: JOHN LABIS & ASSOCIATES
 319 MAIN STREET,
 EL SEQUOYO, CA 90045
 TEL: 213.298.8703

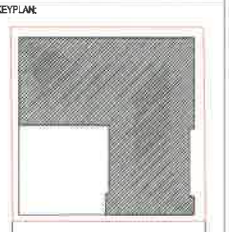
TRAFFIC: LINSKOTT, LAW & GREENSPAN,
 ENGINEERS
 20851 BURBANK BLVD., SUITE C
 WOODLAND HILLS, CA 91367
 TEL: 818.833.8548

AVY NOISE: CAM ENVIRONMENTAL SERVICES, LLC
 15330 SHEPHERD WAY, SUITE 215
 VAN NUYS, CA 91410
 TEL: 310.469.8700

LANDSCAPE: CHARLES TROWBRIDGE & ASSOCIATES
 17801 FRODELLE AVENUE,
 SANTA ANA, CA 92706
 TEL: 714.532.3663

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SUBMITTAL INFORMATION

PROJECT NUMBER: 16.014

NO.	DATE	DESCRIPTION
1	03/11/2019	PLANNING SUBMITTAL
2	09/28/2020	CRA SUBMITTAL
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5	02/04/2022	UNIT LAYOUTS
6	09/01/2022	PLANNING RESUBMITTAL
7	XX/XX/2023	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

SHEET NAME:

PROPOSED
LEVEL 01
FLOOR PLAN

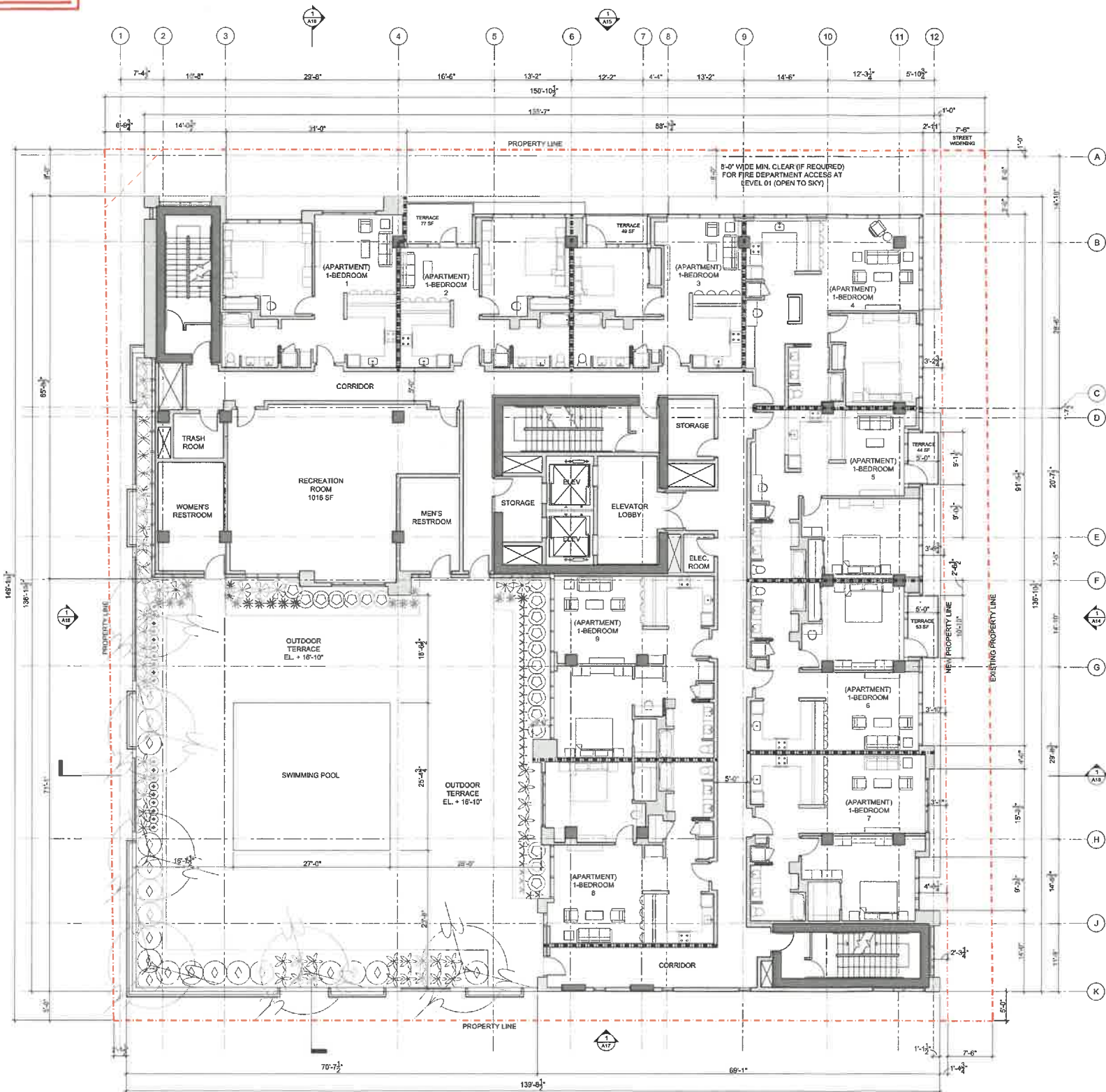
SCALE: 1/8" = 1'-0"

SHEET NO: **A4**

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EXHIBIT "A"

Page No. 8 of 37
Case No. DIR-2019-1492-TDR-SPR



TREE COUNT:

1 TREE FOR EVERY 4 DWELLING UNITS REQUIRED PER LAMC 12.21 G.2
PROPOSED 48 DWELLING UNITS = TOTAL OF 12 TREES PROVIDED
1 EXISTING TREE TO REMAIN, 11 NEW TREES PROPOSED
(6 TREES AT LEVEL 01- STREET FRONT, 6 TREES AT LEVEL 02- TERRACE)

SITE INFORMATION

PROJECT ADDRESS:	1323 SOUTH FLOWER, LOS ANGELES CA, 90015 1327 SOUTH FLOWER, LOS ANGELES CA, 90015 1331 SOUTH FLOWER, LOS ANGELES CA, 90015
ASSESSOR PARCEL NUMBER:	5134010005, 5134010006
TRACT:	CAMERON TRACT
BLOCK:	A
LOTS:	FR 7, FR 8, FR 9
ARB (LOT CUT REFERENCE):	NONE
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DENSITY/ YARD/ OPEN SPACE REQUIREMENTS

PER ZI NO. 2385 (GREATER DOWNTOWN HOUSING INCENTIVE AREA) -

DENSITY-	THE MAXIMUM NUMBER OF DWELLING UNITS OR GUEST ROOMS PERMITTED SHALL NOT BE LIMITED BY THE LOT AREA PROVISIONS OF THIS CHAPTER SO LONG AS THE TOTAL FLOOR AREA UTILIZED BY GUEST ROOMS DOES NOT EXCEED THE TOTAL FLOOR AREA UTILIZED BY DWELLING UNITS
YARD -	ALL YARD REQUIREMENTS WERE ELIMINATED
OPEN SPACE-	THE PERCENTAGES OF PRIVATE AND COMMON OPEN SPACES WERE ELIMINATED; HOWEVER, THE TOTAL PER UNIT OPEN SPACE REQUIREMENT SHALL STILL BE PROVIDED

GENERAL NOTES:
SEE SHEET A-20 FOR OPEN SPACE/ LANDSCAPE CALCULATIONS
SEE SHEET A-21 FOR ZONING AREA CALCULATIONS
SEE SHEET A-22 FOR CONCEPTUAL SIGNAGE LOCATIONS AND SIZES

OPEN SPACE REQUIREMENT (CODE REQUIRED LAMC 12.21.G.2)

	TOTAL UNITS	OPEN SPACE	TOTAL AREA
STUDIO	2	100 SF/ UNIT	200 SF
1-BEDROOMS	39	100 SF/ UNIT	3,900 SF
2-BEDROOMS	7	125 SF/ UNIT	875 SF
TOTAL	48 UNITS		4,975 SF
TOTAL OPEN SPACE REQUIRED			4,975 SF
MIN. 25% PLANTED OPEN SPACE REQUIRED			1,244 SF

OPEN SPACE PROPOSED

OUTDOOR OPEN SPACE PROVIDED (LEVEL 02)	4,925 SF
INDOOR RECREATION ROOM PROVIDED (LEVEL 02)	1,016 SF
TOTAL OPEN SPACE PROVIDED	5,941 SF
RECREATION ROOM AS % OF REQUIRED OPEN SPACE	20 %
PLANTED AREA AT OPEN SPACE PROVIDED (LEVEL 02)	1,280 SF
PLANTED AREA AS % OF REQUIRED OPEN SPACE	26 %

* 1 TREE PER EVERY 4 DWELLING UNITS REQUIRED PER LAMC 12.21 G.2
48 DWELLING UNITS = TOTAL 12 TREES PROVIDED

APARTMENT MIX- COUNT

	2-BED	1-BED	STUDIO	TOTAL
LEVEL 02	0	9	0	9
LEVEL 03	2	8	1	11
LEVEL 04	2	8	1	11
LEVEL 05	3	7	0	10
LEVEL 06	0	7	0	7
TOTAL	7	39	2	48

FLOOR AREA CALCULATIONS- APARTMENTS / GUESTROOMS

TOTAL FLOOR AREA FOR APARTMENTS	54,553 SF
TOTAL FLOOR AREA FOR GUESTROOMS	53,656 SF

THE ELEMENT

1323 S. FLOWER STREET,
LOS ANGELES, CA

APPLICANT: TISHBEE'S LLC
1323 S. FLOWER STREET,
LOS ANGELES, CA 90015
TEL: 213.745.1100

ARCHITECT: NKLOSURES INC. ARCHITECTS
1556-C ROCKFIELD BLVD, #200
IRVINE, CA 92618
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TEL: 661.753.9861

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REDONDO BEACH, CA 90577
TEL: 909.836.9527

STRUCTURAL: JOHN LABB + ASSOCIATES
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EL GUNDO, CA 90245
TEL: 213.239.9783

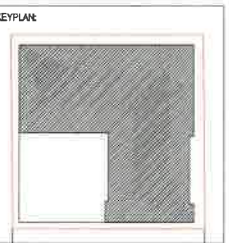
TRAFFIC: LINGSCOTT, LAW & GREYSPAN,
ENGINEERS
20831 BURBANK BLVD, SUITE C
WOODLAND HILLS, CA 91367
TEL: 818.835.8648

APR/ NOISE: CAAM ENVIRONMENTAL
SERVICES, LLC
15252 SHERBANK HWY, SUITE 315
VAN NUYS, CA 91406
TEL: 310.488.6700

LANDSCAPE: CHARLES TROYBRODGE &
ASSOCIATES
17861 HOMELLE AVENUE,
SANTA ANA, CA 92705
TEL: 714.532.5653

NKLOSURES INC. ARCHITECTS
1556-C ROCKFIELD BLVD,
SUITE 200
IRVINE, CA 92618
TEL: 323.309.7324
Email: info@nklosures.com
www.nklosures.com

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SUBMITTAL INFORMATION:

PROJECT NUMBER: 16.014

NO.	DATE	DESCRIPTION
1	05/11/2019	PLANNING SUBMITTAL
2	06/29/2020	CRA SUBMITTAL
3	12/01/2020	PLANNING RESUBMITTAL
4	10/15/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	08/01/2022	PLANNING RESUBMITTAL
7	XX/XX/2023	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

SHEET NAME:
**PROPOSED
LEVEL 02
FLOOR PLAN**

SCALE: 1/8" = 1'-0"

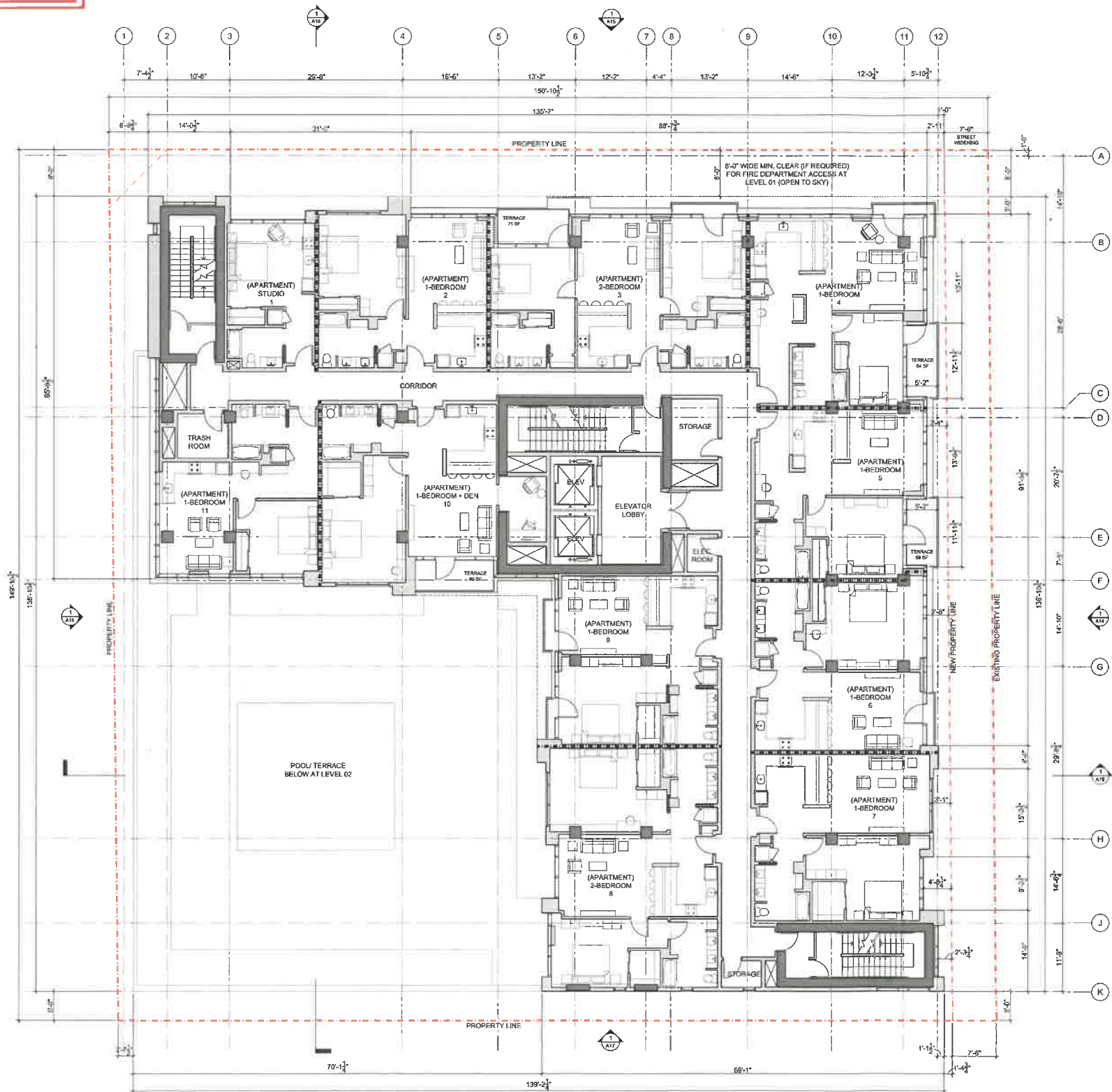
SHEET NO.:
A5

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EXHIBIT "A"

Page No. 9 of 37

Case No. DIR-2019-1492-TDR-SPR



SITE INFORMATION	
PROJECT ADDRESS:	1323 SOUTH FLOWER, LOS ANGELES CA. 90015 1327 SOUTH FLOWER, LOS ANGELES CA. 90015 1331 SOUTH FLOWER, LOS ANGELES CA. 90015
ASSESSOR PARCEL NUMBER:	5134010005, 5134010006
TRACT:	CAMERON TRACT
BLOCK:	A
LOTS:	FR 7, FR 8, FR 9
ARB (LOT CUT REFERENCE):	NONE
MAP SHEET:	126A205
GROSS PARCEL AREA:	0.52 ACRES (22,601 SQ FT)
LEGAL DESCRIPTION:	LOTS 7, 8 & 9 IN CAMERON TRACT, IN CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATES OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 7, PAGE 21, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
ZONING:	C2-2D-O
GENERAL PLAN LAND USE:	COMMUNITY COMMERCIAL
COMMUNITY PLAN AREA:	CENTRAL CITY
COUNCIL DISTRICT:	CD-14 (JOSE HUIZAR)

GENERAL NOTES:
 SEE SHEET A-20 FOR OPEN SPACE/ LANDSCAPE CALCULATIONS
 SEE SHEET A-21 FOR ZONING AREA CALCULATIONS
 SEE SHEET A-22 FOR CONCEPTUAL SIGNAGE LOCATIONS AND SIZES

APARTMENT MIX- COUNT				
	2-BED	1-BED	STUDIO	TOTAL
LEVEL 02	0	9	0	9
LEVEL 03	2	8	1	11
LEVEL 04	2	8	1	11
LEVEL 05	3	7	0	10
LEVEL 06	0	7	0	7
TOTAL	7	39	2	48

FLOOR AREA CALCULATIONS- APARTMENTS / GUESTROOMS	
TOTAL FLOOR AREA FOR APARTMENTS	54,553 SF
TOTAL FLOOR AREA FOR GUESTROOMS	53,656 SF

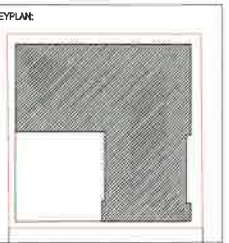
THE ELEMENT

1323 S. FLOWER STREET,
LOS ANGELES, CA

APPLICANT:	TISHBEE'S LLC 1323 S. FLOWER STREET, LOS ANGELES, CA 90015 TEL: 213.746.1100
ARCHITECT:	NKLOSURES INC. ARCHITECTS 1560-C ROCKFIELD BLVD., #200 IRVINE, CA 92618 TEL: 949.263.7334
INTERIOR DESIGN:	NKLOSURES INC. ARCHITECTS 1560-C ROCKFIELD BLVD., #200 IRVINE, CA 92618 TEL: 949.263.7334
LAND USE:	SEAT AT THE TABLE (SATT) P.O. BOX 800429 VALLEJO, CA 94580 TEL: 657.753.9861
SITE SURVEY:	JC SURVEY P.O. BOX 96 ACTON, CA 95919 TEL: 657.263.2177
FIRE LIFE SAFETY CODE CONSULTING:	TEPP CONSULTING 225 AVENUE L, SUITE 202 REDONDO BEACH, CA 90277 TEL: 562.836.9827
STRUCTURAL:	JOHN LABB + ASSOCIATES 319 MAIN STREET, EL SEGUNDO, CA 90245 TEL: 310.529.8103
TRAFFIC:	LINSOOTT, LAW & GREENSPAN, ENGINEERS 20531 BURBANK BLVD., SUITE C WOODLAND HILLS, CA 91367 TEL: 818.835.8646
AIR/NOISE:	CAJA ENVIRONMENTAL SERVICES, LLC 13353 SHERMAN WAY, SUITE 315 VAN NUYS, CA 91406 TEL: 310.483.8700
LANDSCAPE:	CHARLES TROWBRIDGE & ASSOCIATES 17921 ROMULE AVENUE, SANTA ANA, CA 92705 TEL: 714.532.3663



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SUBMITTAL INFORMATION:		
NO.	DATE	DESCRIPTION
1	03/11/2019	PLANNING SUBMITTAL
2	09/28/2020	CRA SUBMITTAL
3	12/01/2020	PLANNING RESUBMITTAL
4	10/15/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	09/01/2022	PLANNING RESUBMITTAL
7	XXXXXX/2023	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

SHEET NAME:
**PROPOSED
 LEVEL 03
 FLOOR PLAN**

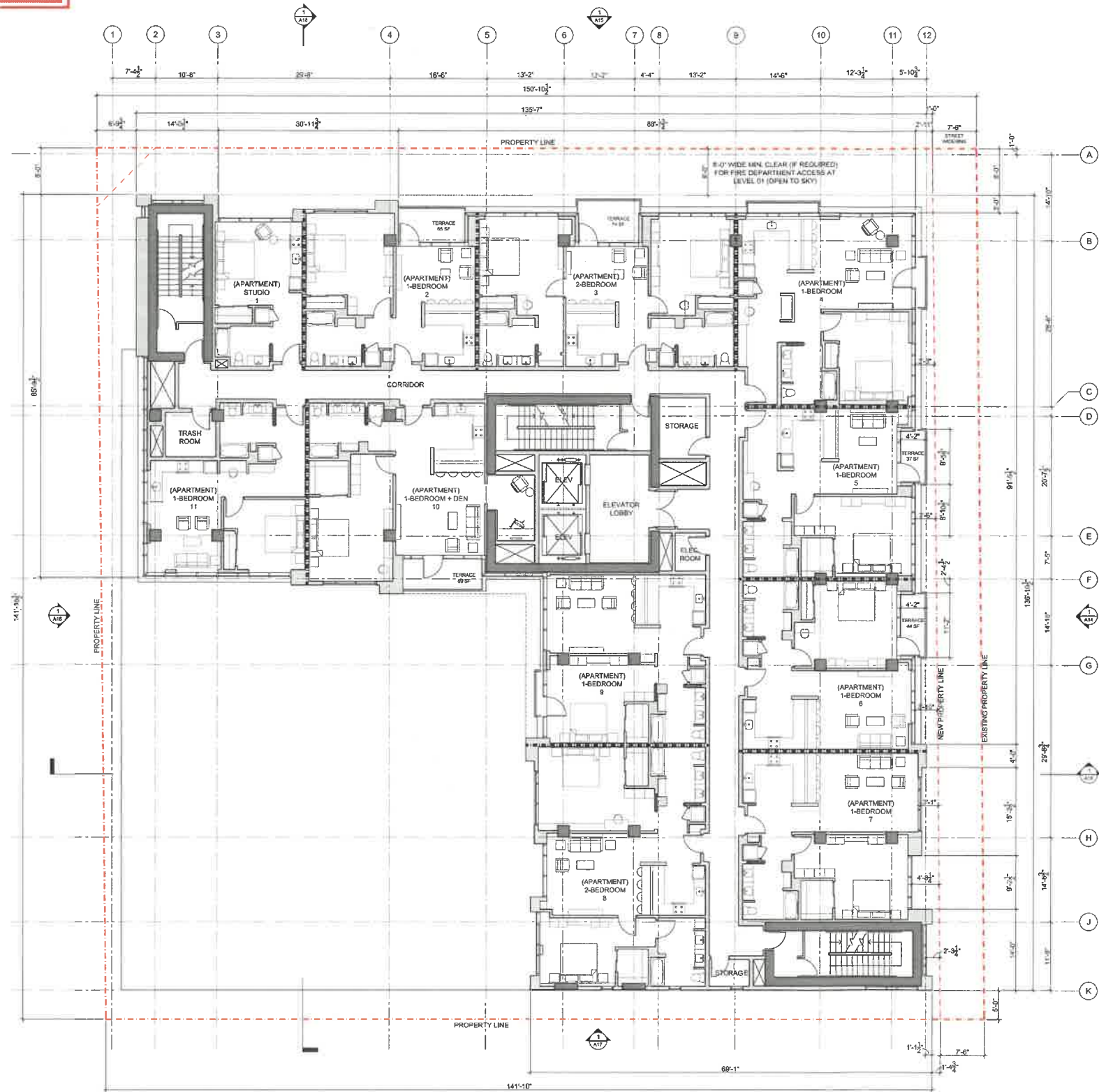
SCALE: 1/8" = 1'-0"

SHEET NO.:
A6

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EXHIBIT "A"

Page No. 10 of 37
Case No. DIR-2019-1492-TDR-SPR



SITE INFORMATION	
PROJECT ADDRESS:	1323 SOUTH FLOWER, LOS ANGELES CA. 90015 1327 SOUTH FLOWER, LOS ANGELES CA. 90015 1331 SOUTH FLOWER, LOS ANGELES CA. 90015
ASSESSOR PARCEL NUMBER:	5134010005, 5134010006
TRACT:	CAMERON TRACT
BLOCK:	A
LOTS:	FR 7, FR 8, FR 9
ARB (LOT CUT REFERENCE):	NONE
MAP SHEET:	126A205
GROSS PARCEL AREA:	0.52 ACRES (22,601 SQ FT)
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ZONING:	C2-2D-O
GENERAL PLAN LAND USE:	COMMUNITY COMMERCIAL
COMMUNITY PLAN AREA:	CENTRAL CITY
COUNCIL DISTRICT:	CD-14 (JOSE HUIZAR)

GENERAL NOTES:
SEE SHEET A-20 FOR OPEN SPACE/ LANDSCAPE CALCULATIONS
SEE SHEET A-21 FOR ZONING AREA CALCULATIONS
SEE SHEET A-22 FOR CONCEPTUAL SIGNAGE LOCATIONS AND SIZES

APARTMENT MIX- COUNT				
	2-BED	1-BED	STUDIO	TOTAL
LEVEL 02	0	9	0	9
LEVEL 03	2	8	1	11
LEVEL 04	2	8	1	11
LEVEL 05	3	7	0	10
LEVEL 06	0	7	0	7
TOTAL	7	39	2	48

FLOOR AREA CALCULATIONS- APARTMENTS / GUESTROOMS	
TOTAL FLOOR AREA FOR APARTMENTS	54,553 SF
TOTAL FLOOR AREA FOR GUESTROOMS	53,656 SF

THE ELEMENT

1323 S. FLOWER STREET,
LOS ANGELES, CA

APPLICANT: TISHBEE'S LLC
1323 S. FLOWER STREET,
LOS ANGELES, CA 90015
TEL: 213.746.1139

ARCHITECT: NKLOSURES INC. ARCHITECTS
1596C ROCKFIELD BLVD., #200
IRVINE, CA 92618
TEL: 323.368.7334

INTERIOR DESIGN: NKLOSURES INC. ARCHITECTS
1596C ROCKFIELD BLVD., #200
IRVINE, CA 92618
TEL: 323.368.7334

LAND USE: SEAT AT THE TABLE (SATT)
P.O. BOX 800429
VALENSIA, CA 91380
TEL: 661.753.9961

SITE SURVEY: JC SURVEY
P.O. BOX 88
ACTON, CA 93510
TEL: 661.289.2177

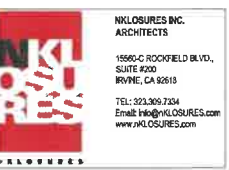
FIRE LIFE SAFETY/ CODE CONSULTING: TERP CONSULTING
225 AVENUE I, SUITE 202
REDWOOD BEACH, CA 90277
TEL: 909.634.9627

STRUCTURAL: JOHN LABIB - ASSOCIATES
318 MAIN STREET,
EL SECONDO, CA 90245
TEL: 213.259.9703

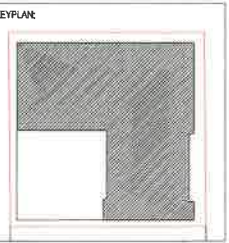
TRAFFIC: LINSOTT, LAW & GREENSPAN,
ENGINEERS
20931 BURBANK BLVD., SUITE C
WOODLAND HILLS, CA 91367
TEL: 618.632.8648

AIR/ NOISE: CAJA ENVIRONMENTAL
SERVICES, LLC
15350 SHERMAN WAY, SUITE 315
VAN NUYS, CA 91406
TEL: 312.469.8700

LANDSCAPE: CHARLES TROWBRIDGE &
ASSOCIATES
1761 ROMELLE AVENUE,
SANTA ANA, CA 92705
TEL: 714.832.3663



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SUBMITTAL INFORMATION:

PROJECT NUMBER: 16.014

NO.	DATE	DESCRIPTION
1	03/11/2019	PLANNING SUBMITTAL
2	09/29/2020	CRA SUBMITTAL
3	12/01/2020	PLANNING RESUBMITTAL
4	10/15/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	09/01/2022	PLANNING RESUBMITTAL
7	XXXX/2023	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

SHEET NAME:
**PROPOSED
LEVEL 04
FLOOR PLAN**

SCALE: 1/8" = 1'-0"

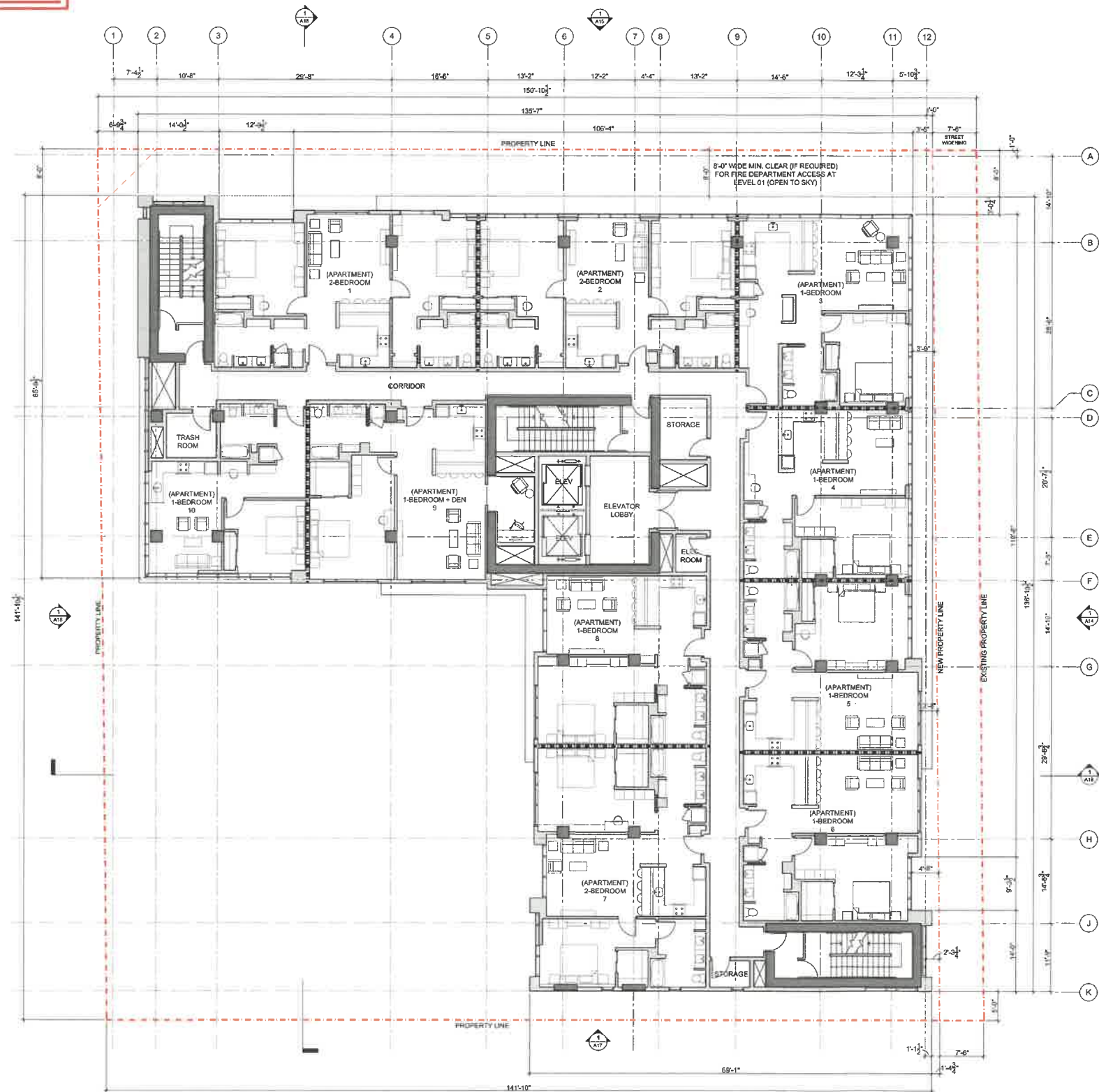
SHEET NO.:
A7

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EXHIBIT "A"

Page No. 11 of 37

Case No. DIR-2019-1492-TDR-SPR



SITE INFORMATION	
PROJECT ADDRESS:	1323 SOUTH FLOWER, LOS ANGELES CA. 90015 1327 SOUTH FLOWER, LOS ANGELES CA. 90015 1331 SOUTH FLOWER, LOS ANGELES CA. 90015
ASSESSOR PARCEL NUMBER:	5134010005, 5134010006
TRACT:	CAMERON TRACT
BLOCK:	A
LOTS:	FR 7, FR 8, FR 9
ARB (LOT CUT REFERENCE):	NONE
MAP SHEET:	126A205
GROSS PARCEL AREA:	0.52 ACRES (22,601 SQ FT)
LEGAL DESCRIPTION:	LOTS 7, 8 & 9 IN CAMERON TRACT, IN CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATES OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 7, PAGE 21, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
ZONING:	C2-2D-O
GENERAL PLAN LAND USE:	COMMUNITY COMMERCIAL
COMMUNITY PLAN AREA:	CENTRAL CITY
COUNCIL DISTRICT:	CD-14 (JOSE HUIZAR)

GENERAL NOTES:
 SEE SHEET A-20 FOR OPEN SPACE/ LANDSCAPE CALCULATIONS
 SEE SHEET A-21 FOR ZONING AREA CALCULATIONS
 SEE SHEET A-22 FOR CONCEPTUAL SIGNAGE LOCATIONS AND SIZES

APARTMENT MIX- COUNT				
	2-BED	1-BED	STUDIO	TOTAL
LEVEL 02	0	9	0	9
LEVEL 03	2	8	1	11
LEVEL 04	2	8	1	11
LEVEL 05	3	7	0	10
LEVEL 06	0	7	0	7
TOTAL	7	39	2	48

FLOOR AREA CALCULATIONS- APARTMENTS / GUESTROOMS	
TOTAL FLOOR AREA FOR APARTMENTS	54,553 SF
TOTAL FLOOR AREA FOR GUESTROOMS	53,656 SF

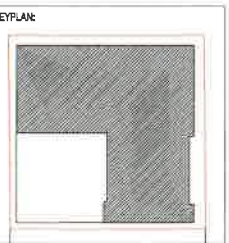
THE ELEMENT

1323 S. FLOWER STREET,
LOS ANGELES, CA

APPLICANT:	TISHBEE'S LLC 1323 S. FLOWER STREET, LOS ANGELES, CA 90015 TEL: 213.745.1100
ARCHITECT:	NKLOSURES INC. ARCHITECTS 1550C ROCKFIELD BLVD., #200 IRVINE, CA 92618 TEL: 323.308.7334
INTERIOR DESIGN:	NKLOSURES INC. ARCHITECTS 1550C ROCKFIELD BLVD., #200 IRVINE, CA 92618 TEL: 323.308.7334
LAND USE:	SEAT AT THE TABLE (SATT) P.O. BOX 800429 VALENCIA, CA 91380 TEL: 951.755.9861
SITE SURVEY:	JC SURVEY P.O. BOX 98 ACTON, CA 92510 TEL: 951.289.2177
FIRE LIFE SAFETY/ CODE CONSULTING:	TEEP CONSULTING 725 AVENUE L, SUITE 202 REDWOOD BEACH, CA 92277 TEL: 955.636.9527
STRUCTURAL:	JOHN LABIB + ASSOCIATES 319 MAIN STREET, EL SEQUOIO, CA 91045 TEL: 213.226.9793
TRAFFIC:	LINSCOTT, LAW & GREENSPAN, ENGINEERS 2201 BURBANK BLVD., SUITE C WOODLAND HILLS, CA 91367 TEL: 818.830.8648
AIR NOISE:	CAJA ENVIRONMENTAL SERVICES, LLC 1550 SHERMAN HWY, SUITE 345 VAN NUYS, CA 91406 TEL: 310.488.6730
LANDSCAPE:	CHARLES TROWBRIDGE & ASSOCIATES 17601 POMELLE AVENUE, SANTA ANA, CA 92705 TEL: 714.532.3653



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SUBMITTAL INFORMATION:		
PROJECT NUMBER: 16.014		
NO.	DATE	DESCRIPTION
1	03/11/2019	PLANNING SUBMITTAL
2	09/28/2020	CRA SUBMITTAL
3	12/01/2020	PLANNING RESUBMITTAL
4	10/15/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	06/01/2022	PLANNING RESUBMITTAL
7	XX/XX/2023	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

SHEET NAME:
**PROPOSED
 LEVEL 05
 FLOOR PLAN**

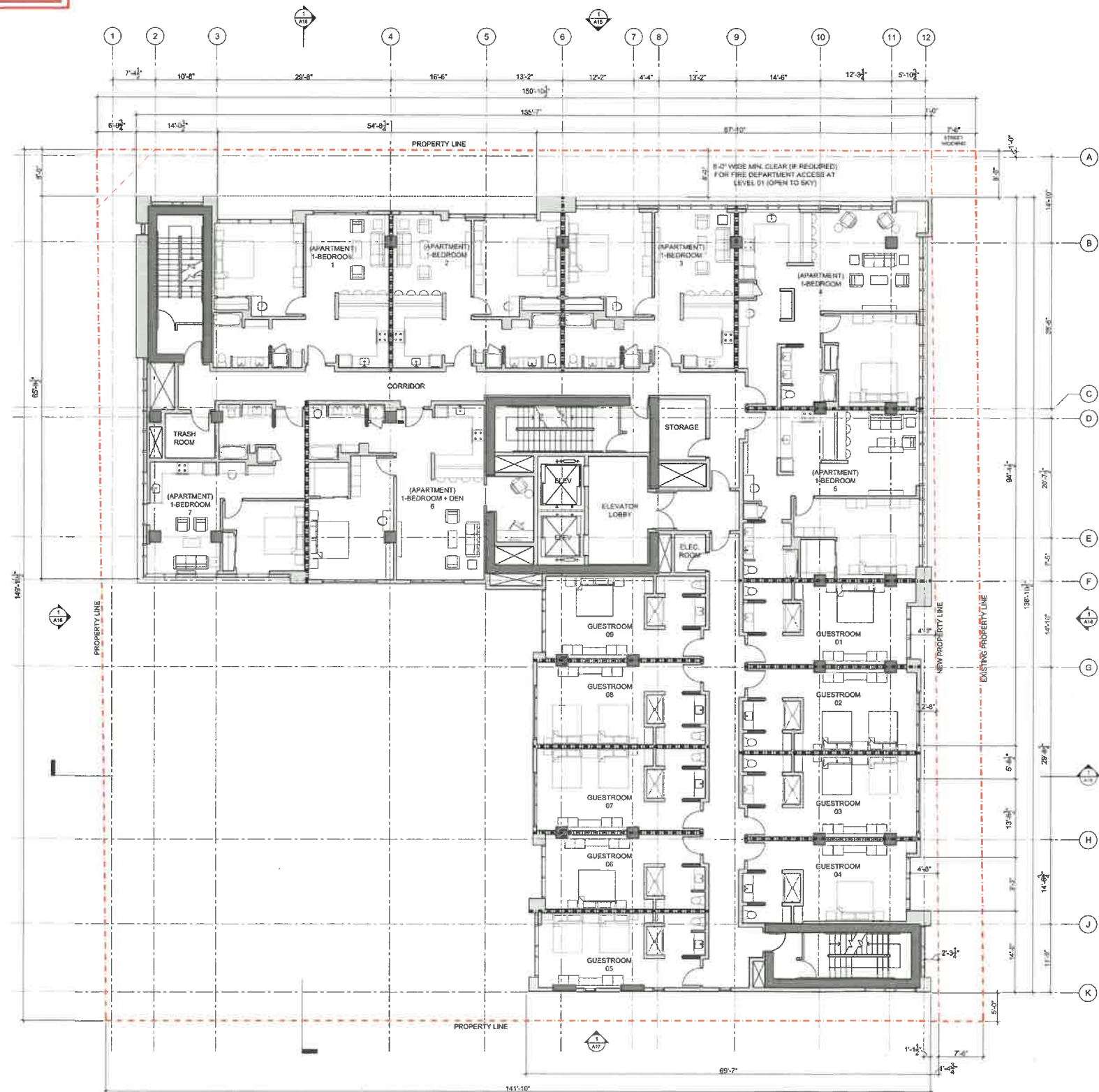
SCALE: 1/8" = 1'-0"

SHEET NO.:
A8

EXHIBIT "A"

Page No. 12 of 37

Case No. DIR-2019-1492-TDR-SPR



SITE INFORMATION	
PROJECT ADDRESS:	1323 SOUTH FLOWER, LOS ANGELES CA. 90015 1327 SOUTH FLOWER, LOS ANGELES CA. 90015 1331 SOUTH FLOWER, LOS ANGELES CA. 90015
ASSESSOR PARCEL NUMBER:	5134010005, 5134010006
TRACT:	CAMERON TRACT
BLOCK:	A
LOTS:	FR 7, FR 8, FR 9
ARB (LOT CUT REFERENCE):	NONE
MAP SHEET:	126A205
GROSS PARCEL AREA:	0.52 ACRES (22,601 SQ FT)
LEGAL DESCRIPTION:	LOTS 7, 8 & 9 IN CAMERON TRACT, IN CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATES OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 7, PAGE 21, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
ZONING:	C2-2D-O
GENERAL PLAN LAND USE:	COMMUNITY COMMERCIAL
COMMUNITY PLAN AREA:	CENTRAL CITY
COUNCIL DISTRICT:	CD-14 (JOSE HUIZAR)

GENERAL NOTES:
 SEE SHEET A-20 FOR OPEN SPACE/ LANDSCAPE CALCULATIONS
 SEE SHEET A-21 FOR ZONING AREA CALCULATIONS
 SEE SHEET A-22 FOR CONCEPTUAL SIGNAGE LOCATIONS AND SIZES

APARTMENT MIX- COUNT				
	2-BED	1-BED	STUDIO	TOTAL
LEVEL 02	0	9	0	9
LEVEL 03	2	8	1	11
LEVEL 04	2	8	1	11
LEVEL 05	3	7	0	10
LEVEL 06	0	7	0	7
TOTAL	7	39	2	48

GUESTROOM-COUNT	
	TOTAL
LEVEL 06	9
LEVEL 07	23
LEVEL 08	23
LEVEL 09	23
LEVEL 10	22
TOTAL	100

FLOOR AREA CALCULATIONS- APARTMENTS / GUESTROOMS	
TOTAL FLOOR AREA FOR APARTMENTS	54,553 SF
TOTAL FLOOR AREA FOR GUESTROOMS	53,656 SF

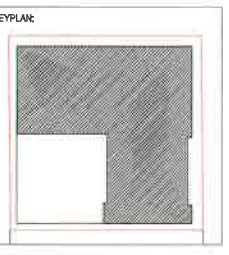
THE ELEMENT

1323 S. FLOWER STREET,
LOS ANGELES, CA

APPLICANT:	TISHBEE'S LLC 1323 S. FLOWER STREET, LOS ANGELES, CA 90015 TEL: 213.748.1190
ARCHITECT:	NKLOSURES INC. ARCHITECTS 1586-C ROCKFIELD BLVD., #200 IRVINE, CA 92618 TEL: 949.268.7334
INTERIOR DESIGN:	NKLOSURES INC. ARCHITECTS 1586-C ROCKFIELD BLVD., #200 IRVINE, CA 92618 TEL: 949.268.7334
LAND USE:	SEAT AT THE TABLE (SATT) P.O. BOX 80428 VALENCIA, CA 91380 TEL: 661.753.9851
SITE SURVEY:	JC SURVEY P.O. BOX 88 ACTON, CA 92610 TEL: 951.298.2177
FIRE LIFE SAFETY CODE CONSULTING:	TERP CONSULTING 228 AVENUE L, SUITE 202 REDONDO BEACH, CA 90277 TEL: 909.638.9827
STRUCTURAL:	JOHN LABIB & ASSOCIATES 318 MAIN STREET, EL SEGUNDO, CA 90245 TEL: 713.299.8703
TRAFFIC:	LINSCOTT, LAW & GREENSPAN, ENGINEERS 22851 BURBANK BLVD., SUITE C WOODLAND HILLS, CA 91367 TEL: 818.833.8648
AIR NOISE:	CAJA ENVIRONMENTAL SERVICES, LLC 1333 GERMANY WAY, SUITE 315 VAN NUYS, CA 91406 TEL: 310.469.8700
LANDSCAPE:	CHARLES TROWBRIDGE & ASSOCIATES 17901 ROMELLE AVENUE, SANTA ANA, CA 92705 TEL: 714.532.9663



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SUBMITTAL INFORMATION:		
PROJECT NUMBER: 16,014		
NO.	DATE	DESCRIPTION
1	03/12/2019	PLANNING SUBMITTAL
2	09/29/2020	CRA SUBMITTAL
3	12/01/2020	PLANNING RESUBMITTAL
4	10/15/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	05/01/2022	PLANNING RESUBMITTAL
7	XXXX/2023	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

SHEET NAME:
**PROPOSED
 LEVEL 06
 FLOOR PLAN**
 SCALE: 1/8" = 1'-0"

SHEET NO.:
A9

EXHIBIT "A"

Page No. 13 of 37

Case No. DIR-2019-1492-TDR-SPR



SITE INFORMATION	
PROJECT ADDRESS:	1323 SOUTH FLOWER, LOS ANGELES CA. 90015 1327 SOUTH FLOWER, LOS ANGELES CA. 90015 1331 SOUTH FLOWER, LOS ANGELES CA. 90015
ASSESSOR PARCEL NUMBER:	5134010005, 5134010006
TRACT:	CAMERON TRACT
BLOCK:	A
LOTS:	FR 7, FR 8, FR 9
ARB (LOT CUT REFERENCE):	NONE
MAP SHEET:	126A205
GROSS PARCEL AREA:	0.52 ACRES (22,601 SQ FT)
LEGAL DESCRIPTION:	LOTS 7, 8 & 9 IN CAMERON TRACT, IN CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATES OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 7, PAGE 21, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
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GENERAL PLAN LAND USE:	COMMUNITY COMMERCIAL
COMMUNITY PLAN AREA:	CENTRAL CITY
COUNCIL DISTRICT:	CD-14 (JOSE HUIZAR)

GENERAL NOTES:
 SEE SHEET A-20 FOR OPEN SPACE/LANDSCAPE CALCULATIONS
 SEE SHEET A-21 FOR ZONING AREA CALCULATIONS
 SEE SHEET A-22 FOR CONCEPTUAL SIGNAGE LOCATIONS AND SIZES

GUESTROOM-COUNT	
LEVEL	TOTAL
LEVEL 06	9
LEVEL 07	23
LEVEL 08	23
LEVEL 09	23
LEVEL 10	22
TOTAL	100

FLOOR AREA CALCULATIONS- APARTMENTS / GUESTROOMS	
TOTAL FLOOR AREA FOR APARTMENTS	54,553 SF
TOTAL FLOOR AREA FOR GUESTROOMS	53,656 SF

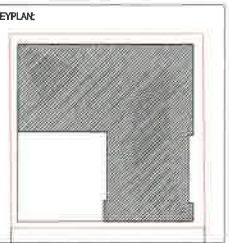
THE ELEMENT

1323 S. FLOWER STREET,
LOS ANGELES, CA

APPLICANT:	TISHBEE'S LLC 1323 S. FLOWER STREET, LOS ANGELES, CA 90015 TEL: 213.748.1100
ARCHITECT:	NKLOURES INC. ARCHITECTS 1560-C ROCKFELD BLVD., #200 IRVINE, CA 92618 TEL: 323.308.7334
INTERIOR DESIGN:	NKLOURES INC. ARCHITECTS 1560-C ROCKFELD BLVD., #200 IRVINE, CA 92618 TEL: 323.308.7334
LAND USE:	SEAT AT THE TABLE (SATT) P.O. BOX 800429 VALENCIA, CA 91380 TEL: 661.733.9987
SITE SURVEY:	JC SURVEY P.O. BOX 86 ACTON, CA 92610 TEL: 661.298.2177
FIRE LIFE SAFETY CODE CONSULTING:	TERP CONSULTING 225 AVE. N. & SUITE 200 REDONDO BEACH, CA 90277 TEL: 909.636.9227
STRUCTURAL:	JOHN LABBE + ASSOCIATES 319 MAIN STREET, EL SEGUNDO, CA 90245 TEL: 714.239.9733
TRAFFIC:	LENSCOTT, LAW & GREENSPAN, ENGINEERS 20831 BURBANK BLVD., SUITE C WOODLAND HILLS, CA 91367 TEL: 818.835.8643
AIR/NOISE:	CAJA ENVIRONMENTAL SERVICES, LLC 15350 CHEVYMAN WAY, SUITE 315 VAN NUYS, CA 91406 TEL: 310.468.8700
LANDSCAPE:	CHARLES TROWBRIDGE & ASSOCIATES 17021 ROMULE AVENUE, SANTA ANA, CA 92705 TEL: 714.532.3663

NKLOURES INC. ARCHITECTS
 1560-C ROCKFELD BLVD.,
 SUITE 200
 IRVINE, CA 92618
 TEL: 323.308.7334
 Email: info@nkloures.com
 www.nkloures.com

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SUBMITTAL INFORMATION		
PROJECT NUMBER: 16.014		
NO.	DATE	DESCRIPTION
1	03/11/2019	PLANNING SUBMITTAL
2	09/28/2020	CRA SUBMITTAL
3	12/01/2020	PLANNING RESUBMITTAL
4	10/15/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	09/01/2022	PLANNING RESUBMITTAL
7	XX/XX/2023	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

SHEET NAME:
**PROPOSED
 LEVEL 07 FLOOR PLAN
 (LEVELS 08-09 SIMILAR)**
 SCALE: 1/8" = 1'-0"

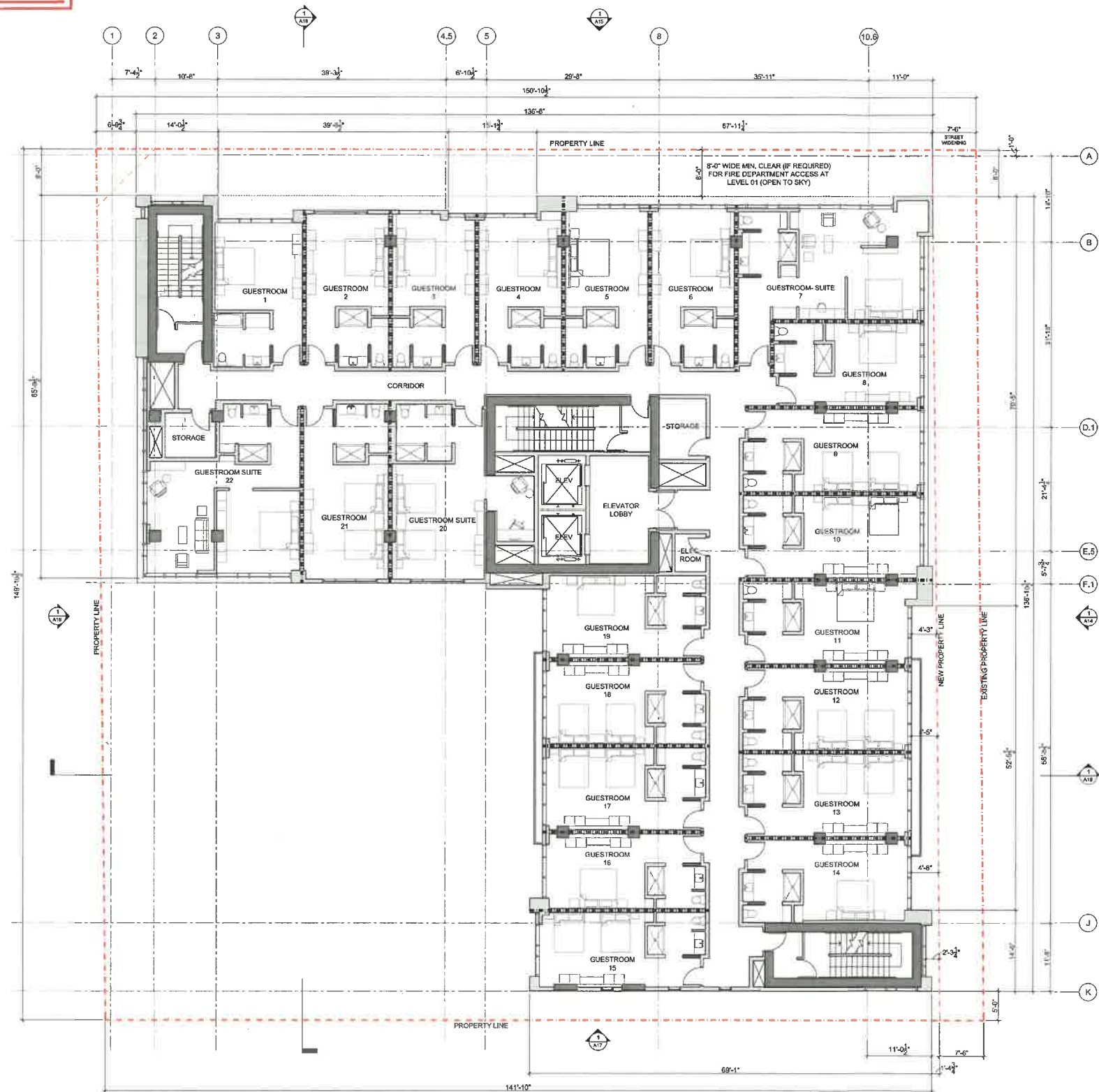
SHEET NO.:
A10

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EXHIBIT "A"

Page No. 14 of 37

Case No. DIR-2019-1492-TDR-SPR



SITE INFORMATION	
PROJECT ADDRESS:	1323 SOUTH FLOWER, LOS ANGELES CA, 90015 1327 SOUTH FLOWER, LOS ANGELES CA, 90015 1331 SOUTH FLOWER, LOS ANGELES CA, 90015
ASSESSOR PARCEL NUMBER:	5134010005, 5134010006
TRACT:	CAMERON TRACT
BLOCK:	A
LOTS:	FR 7, FR 8, FR 9
ARB (LOT CUT REFERENCE):	NONE
MAP SHEET:	126A205
GROSS PARCEL AREA:	0.52 ACRES (22,601 SQ FT)
LEGAL DESCRIPTION:	LOTS 7, 8 & 9 IN CAMERON TRACT, IN CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATES OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 7, PAGE 21, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
ZONING:	C2-2D-O
GENERAL PLAN LAND USE:	COMMUNITY COMMERCIAL
COMMUNITY PLAN AREA:	CENTRAL CITY
COUNCIL DISTRICT:	CD-14 (JOSE HUIZAR)

GENERAL NOTES:
 SEE SHEET A-20 FOR OPEN SPACE/ LANDSCAPE CALCULATIONS
 SEE SHEET A-21 FOR ZONING AREA CALCULATIONS
 SEE SHEET A-22 FOR CONCEPTUAL SIGNAGE LOCATIONS AND SIZES

GUESTROOM- COUNT	
LEVEL	TOTAL
LEVEL 06	9
LEVEL 07	23
LEVEL 08	23
LEVEL 09	23
LEVEL 10	22
TOTAL	100

FLOOR AREA CALCULATIONS- APARTMENTS / GUESTROOMS	
TOTAL FLOOR AREA FOR APARTMENTS	54,553 SF
TOTAL FLOOR AREA FOR GUESTROOMS	53,656 SF

THE ELEMENT

1323 S. FLOWER STREET,
LOS ANGELES, CA

APPLICANT: TISHBEE'S LLC
1323 S. FLOWER STREET, LOS ANGELES, CA 90015
TEL: 213.746.1100

ARCHITECT: NKLOSURES INC. ARCHITECTS
1556-C ROCKFIELD BLVD. #200
IRVINE, CA 92618
TEL: 949.262.7334

INTERIOR DESIGN: NKLOSURES INC. ARCHITECTS
1556-C ROCKFIELD BLVD. #200
IRVINE, CA 92618
TEL: 949.262.7334

LAND USE: SEAT AT THE TABLE (SAT)
P.O. BOX 80029
VALENCIA, CA 91380
TEL: 661.753.9861

SITE SURVEY: JC SURVEY
P.O. BOX 86
ACTON, CA 92510
TEL: 661.265.2177

FIRE LIFE SAFETY/ CODE CONSULTING: TERP CONSULTING
225 AVENUE L, SUITE 202
REDONDO BEACH, CA 90577
TEL: 909.836.9827

STRUCTURAL: JOHN LABB & ASSOCIATES
319 MAIN STREET,
EL SEGUNDO, CA 90245
TEL: 213.226.9720

TRAFFIC: LINGSCOTT, LAW & GREENSPAN,
ENGINEERS
20031 BURBANK BLVD, SUITE C
WOODLAND HILLS, CA 91367
TEL: 818.838.8648

AIR NOISE: CAJA ENVIRONMENTAL
SERVICES, LLC
13261 SHERMAN WAY, SUITE 315
VAN NUYS, CA 91405
TEL: 310.458.6700

LANDSCAPE: CHARLES TROWBRIDGE &
ASSOCIATES
17921 ROMELLE AVENUE,
SANTA ANA, CA 92705
TEL: 714.532.3653



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SUBMITTAL INFORMATION:

NO.	DATE	DESCRIPTION
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4	10/15/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	09/01/2022	PLANNING RESUBMITTAL
7	XXXXXX/2023	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

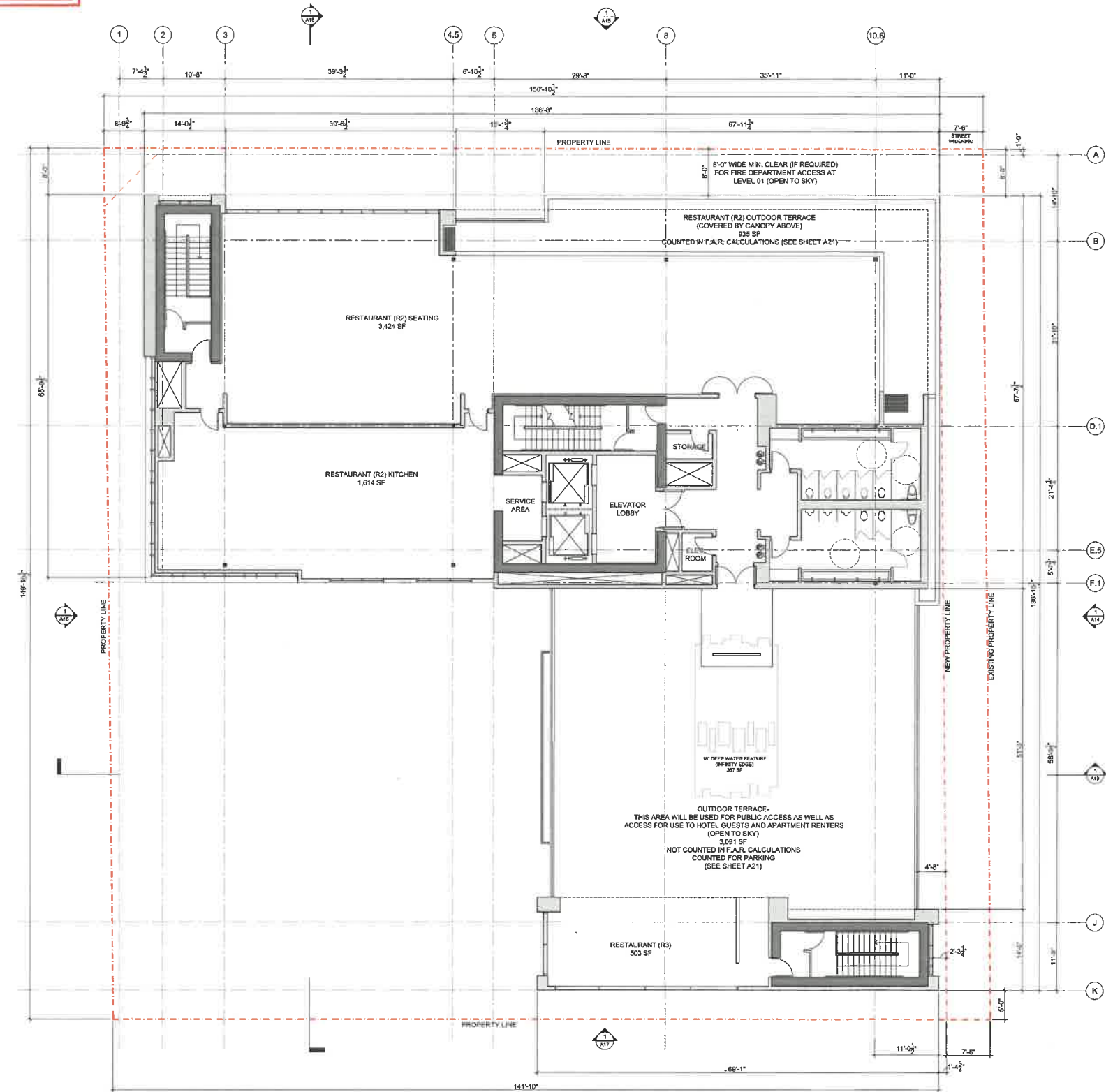
PROPOSED LEVEL 10 FLOOR PLAN

SCALE: 1/8" = 1'-0"

SHEET NO: **A11**

EXHIBIT "A"

Page No. 15 of 37
Case No. DIR-2019-1492-TDR-SPR



SITE INFORMATION	
PROJECT ADDRESS:	1323 SOUTH FLOWER, LOS ANGELES CA, 90015 1327 SOUTH FLOWER, LOS ANGELES CA, 90015 1331 SOUTH FLOWER, LOS ANGELES CA, 90015
ASSESSOR PARCEL NUMBER:	5134010005, 5134010006
TRACT:	CAMERON TRACT
BLOCK:	A
LOTS:	FR 7, FR 8, FR 9
ARB (LOT CUT REFERENCE):	NONE
MAP SHEET:	126A205
GROSS PARCEL AREA:	0.52 ACRES (22,601 SQ FT)
LEGAL DESCRIPTION:	LOTS 7, 8 & 9 IN CAMERON TRACT, IN CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATES OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 7, PAGE 21, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
ZONING:	C2-2D-O
GENERAL PLAN LAND USE:	COMMUNITY COMMERCIAL
COMMUNITY PLAN AREA:	CENTRAL CITY
COUNCIL DISTRICT:	CD-14 (JOSE HUIZAR)

GENERAL NOTES:
SEE SHEET A-20 FOR OPEN SPACE/ LANDSCAPE CALCULATIONS
SEE SHEET A-21 FOR ZONING AREA CALCULATIONS
SEE SHEET A-22 FOR CONCEPTUAL SIGNAGE LOCATIONS AND SIZES

RESTAURANT AREA CALCULATIONS (LEVEL 11)	
RESTAURANT (R2)	
RESTAURANT (R2) SEATING AREA	3,424 SF
RESTAURANT (R2) KITCHEN AREA	1,614 SF
RESTAURANT (R2) OUTDOOR TERRACE (COVERED)	935 SF
RESTAURANT (R2)- TOTAL AREA	5,973 SF
RESTAURANT (R3)- AREA	503 SF
RESTAURANT (R2 + R3)- TOTAL AREA	6,476 SF
OUTDOOR TERRACE- OPEN TO SKY (PUBLIC ACCESS) (ACCESS FOR USE OF HOTEL GUESTS/ APARTMENTS)	3,091 SF

THE ELEMENT	
1323 S. FLOWER STREET, LOS ANGELES, CA	
APPLICANT:	TISHBEE'S LLC 1323 S. FLOWER STREET, LOS ANGELES, CA 90015 TEL: 213.748.1100
ARCHITECT:	NKLOSURES INC. ARCHITECTS 1550C ROCKFIELD BLVD., #200 IRVINE, CA 92618 TEL: 323.309.7334
INTERIOR DESIGN:	NK3 OSURES INC. ARCHITECTS 1550C ROCKFIELD BLVD., #200 IRVINE, CA 92618 TEL: 323.309.7334
LAND USE:	SEAT AT THE TABLE (SATT) P.O. BOX 60429 VALENCEIA, CA 91080 TEL: 661.753.0661
SITE SURVEY:	JG SURVEY P.O. BOX 88 ACTON, CA 93510 TEL: 661.268.2177
FIRE LIFE SAFETY/ CODE CONSULTING:	TERP CONSULTING 225 AVENUE L, SUITE 202 REDONDO BEACH, CA 90277 TEL: 909.836.9827
STRUCTURAL:	JOHN LABR - ASSOCIATES 319 MAIN STREET, EL SEGUNDO, CA 90245 TEL: 213.230.9703
TRAFFIC:	LINSCOTT, LAW & GREENSPAN, ENGINEERS 20631 BURBANK BLVD., SUITE C WOODLAND HILLS, CA 91367 TEL: 818.833.8648
AIR/ NOISE:	CAJA ENVIRONMENTAL SERVICES, LLC 15360 SHERMAN WAY, SUITE 315 VAN NUYS, CA 91406 TEL: 310.460.6700
LANDSCAPE:	CHARLES TROWBRODGE & ASSOCIATES 17811 ROMELLE AVENUE, SANTA ANA, CA 92705 TEL: 714.532.3663

NKLOSURES INC. ARCHITECTS
1550C ROCKFIELD BLVD., SUITE #200
IRVINE, CA 92618
TEL: 323.309.7334
Email: NK@NKLOSURES.COM
www.NKLOSURES.COM

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SUBMITTAL INFORMATION

NO.	DATE	DESCRIPTION
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2	09/23/2020	CRA SUBMITTAL
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4	10/15/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	09/01/2022	PLANNING RESUBMITTAL
7	XX/XX/2023	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

SHEET NAME:
**PROPOSED
LEVEL 11
FLOOR PLAN**

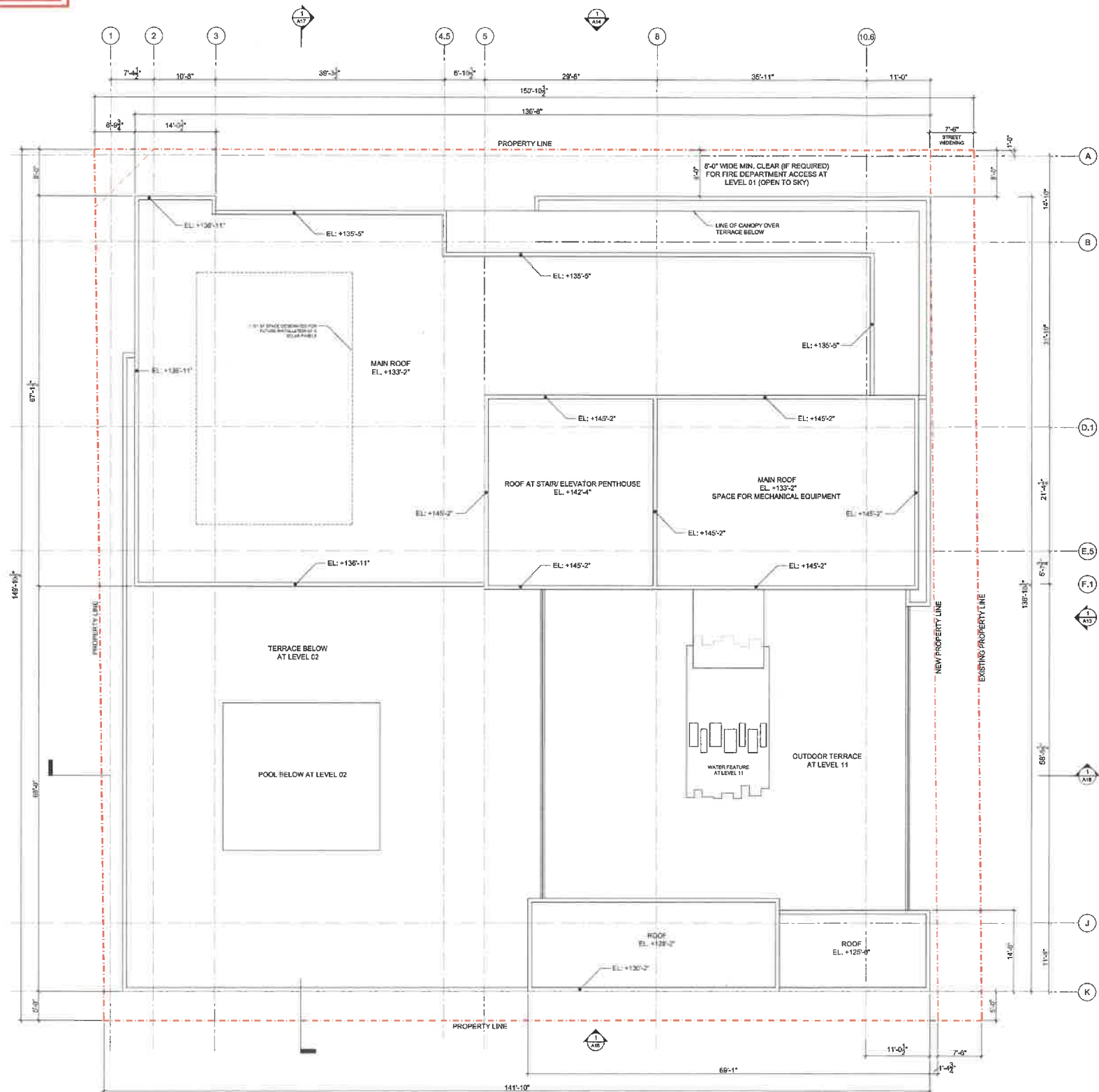
SCALE: 1/8" = 1'-0"

SHEET NO.:
A12

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EXHIBIT "A"

Page No. 16 of 37
Case No. DIR-2019-1492-TDR-SPR



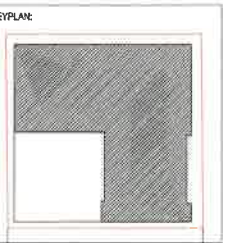
SITE INFORMATION	
PROJECT ADDRESS:	1323 SOUTH FLOWER, LOS ANGELES CA. 90015 1327 SOUTH FLOWER, LOS ANGELES CA. 90015 1331 SOUTH FLOWER, LOS ANGELES CA. 90015
ASSESSOR PARCEL NUMBER:	5134010005, 5134010006
TRACT:	CAMERON TRACT
BLOCK:	A
LOTS:	FR 7, FR 8, FR 9
ARB (LOT CUT REFERENCE):	NONE
MAP SHEET:	126A205
GROSS PARCEL AREA:	0.52 ACRES (22,601 SQ FT)
LEGAL DESCRIPTION:	LOTS 7, 8 & 9 IN CAMERON TRACT, IN CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATES OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 7, PAGE 21, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
ZONING:	C2-2D-O
GENERAL PLAN LAND USE:	COMMUNITY COMMERCIAL
COMMUNITY PLAN AREA:	CENTRAL CITY
COUNCIL DISTRICT:	CD-14 (JOSE HUIZAR)

GENERAL NOTES:
SEE SHEET A-20 FOR OPEN SPACE/ LANDSCAPE CALCULATIONS
SEE SHEET A-21 FOR ZONING AREA CALCULATIONS
SEE SHEET A-22 FOR CONCEPTUAL SIGNAGE LOCATIONS AND SIZES

THE ELEMENT	
1323 S. FLOWER STREET, LOS ANGELES, CA	
APPLICANT:	TISHBEE'S LLC 1323 S. FLOWER STREET, LOS ANGELES, CA 90015 TEL: 213.746.1100
ARCHITECT:	NYLOSURES INC. ARCHITECTS 1560-C ROCKFIELD BLVD., #200 IRVINE, CA 92618 TEL: 949.239.7334
INTERIOR DESIGN:	NYLOSURES INC. ARCHITECTS 1560-C ROCKFIELD BLVD., #200 IRVINE, CA 92618 TEL: 949.239.7334
LAND USE:	SEAT AT THE TABLE (SATT) P.O. BOX 80029 VALENKIA, CA 91780 TEL: 661.753.9661
SITE SURVEY:	JC SURVEY P.O. BOX 96 ACTON, CA 94910 TEL: 661.269.2177
FIRE LIFE SAFETY CODE CONSULTING:	TERP CONSULTING 225 AVENUE L, SUITE 202 REDONDO BEACH, CA 90277 TEL: 909.836.9877
STRUCTURAL:	JOHN LABB + ASSOCIATES 315 MAIN STREET, EL SEGUNDO, CA 90245 TEL: 213.229.9100
TRAFFIC:	LINSOOTT, LAW & GREENSPAN, ENGINEERS 26531 BURBANK BLVD., SUITE C WOODLAND HILLS, CA 91367 TEL: 818.855.8648
AIR NOISE:	CAJA ENVIRONMENTAL SERVICES, LLC 12300 SIEDEMAN WAY, SUITE 315 VAN NUYS, CA 91406 TEL: 310.469.8700
LANDSCAPE:	CHARLES TROWBRIDGE & ASSOCIATES 17981 ROMELLE AVENUE, SANTA ANA, CA 92706 TEL: 714.532.3663



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SUBMITTAL INFORMATION:		
PROJECT NUMBER: 16.014		
NO.	DATE	DESCRIPTION
1	03/11/2019	PLANNING SUBMITTAL
2	09/28/2020	CRA SUBMITTAL
3	12/01/2020	PLANNING RESUBMITTAL
4	10/15/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	09/01/2022	PLANNING RESUBMITTAL
7	00/00/2023	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

SHEET NAME:
**PROPOSED
OVERALL ROOF PLAN**

SCALE: 1/8" = 1'-0"

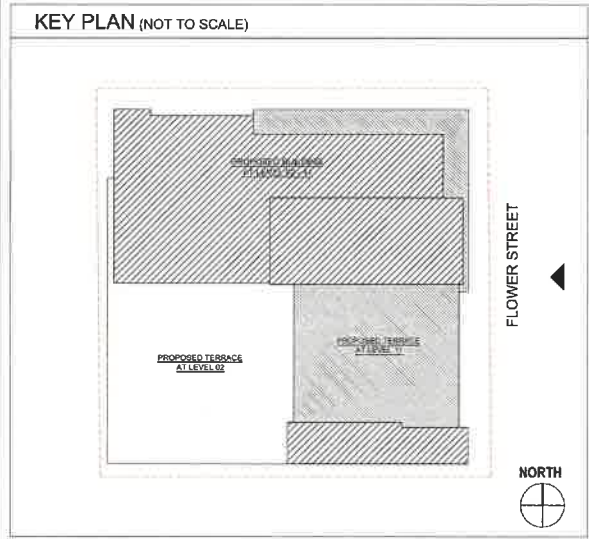
SHEET NO.:
A13

EXHIBIT "A"

Page No. 17 of 37
Case No. DIR-2019-1492-TDR-SPR



SITE INFORMATION	
PROJECT ADDRESS:	1323 SOUTH FLOWER, LOS ANGELES CA. 90015 1327 SOUTH FLOWER, LOS ANGELES CA. 90015 1331 SOUTH FLOWER, LOS ANGELES CA. 90015
ASSESSOR PARCEL NUMBER:	5134010005, 5134010006
TRACT:	CAMERON TRACT
BLOCK:	A
LOTS:	FR 7, FR 8, FR 9
ARB (LOT CUT REFERENCE):	NONE
MAP SHEET:	126A205
GROSS PARCEL AREA:	0.52 ACRES (22,601 SQ FT)
LEGAL DESCRIPTION:	LOTS 7, 8 & 9 IN CAMERON TRACT, IN CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATES OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 7, PAGE 21, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
ZONING:	C2-2D-O
GENERAL PLAN LAND USE:	COMMUNITY COMMERCIAL
COMMUNITY PLAN AREA:	CENTRAL CITY
COUNCIL DISTRICT:	CD-14 (JOSE HUIZAR)



GENERAL NOTES:
SEE SHEET A-19 FOR CONCEPTUAL SIGNAGE LOCATIONS AND SIZES

BUILDING HEIGHT :	TOP OF ROOF PARAPET = 136'-11" (FROM LEVEL 01) TOP OF ROOF PARAPET = 138'-9 1/4" (LOWEST GRADE) TOP OF STAIR/ELEVATOR HOUSING = 147'- 1/4"
-------------------	--

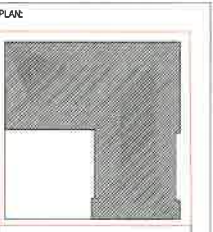
THE ELEMENT

1323 S. FLOWER STREET,
LOS ANGELES, CA

APPLICANT:	TISHBEE'S LLC 1323 S. FLOWER STREET, LOS ANGELES, CA 90015 TEL: 213.746.1100
ARCHITECT:	MLOSURES INC. ARCHITECTS 15500-C ROCKFIELD BLVD. #200 IRVINE, CA 92618 TEL: 923.309.7334
INTERIOR DESIGN:	MLOSURES INC. ARCHITECTS 15500-C ROCKFIELD BLVD. #200 IRVINE, CA 92618 TEL: 923.309.7334
LAND USE:	SEAT AT THE TABLE (SATT) P.O. BOX 80029 VALENCIA, CA 91380 TEL: 861.753.8861
SITE SURVEY:	JC SURVEY P.O. BOX 86 ACTON, CA 95010 TEL: 925.259.2177
FIRE LIFE SAFETY/ CODE CONSULTING:	TEMP CONSULTING 225 AVENUE L SUITE 202 REDWOOD BEACH, CA 90277 TEL: 909.638.9827
STRUCTURAL:	JOHN LABBE + ASSOCIATES 319 MAIN STREET, EL SEGUINDO, CA 90545 TEL: 213.239.9703
TRAFFIC:	LINSCOTT, LAW & GREENSPAN, ENGINEERS 20021 BURBANK BLVD., SUITE C WOODLAND HILLS, CA 91367 TEL: 818.833.8648
AIR/NOISE:	CAJA ENVIRONMENTAL SERVICES, LLC 15350 SHERMAN WAY, SUITE 315 VAN NUYS, CA 91410 TEL: 310.469.8700
LANDSCAPE:	CHARLES TROWBRIDGE & ASSOCIATES 1701 ROMELLE AVENUE, SANTA ANA, CA 92706 TEL: 714.532.3665



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7	XX/XX/2023	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

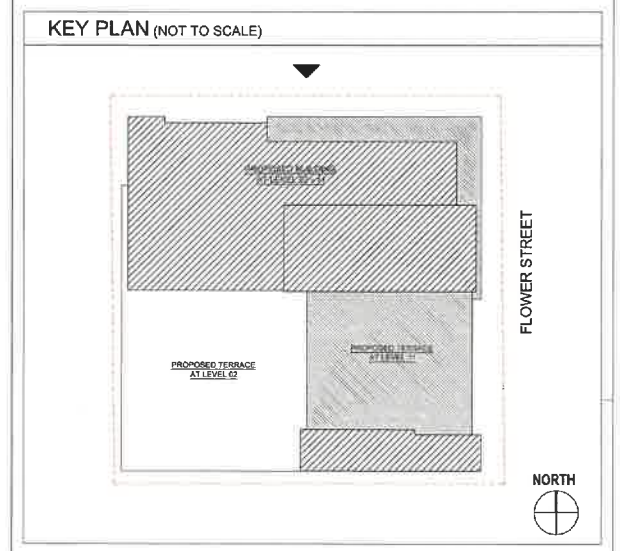
SHEET NAME:
**PROPOSED
EAST ELEVATION
FLOWER STREET
(FRONT)**

SCALE:
1/8" = 1'-0"

SHEET NO.:
A14



SITE INFORMATION	
PROJECT ADDRESS:	1323 SOUTH FLOWER, LOS ANGELES CA. 90015 1327 SOUTH FLOWER, LOS ANGELES CA. 90015 1331 SOUTH FLOWER, LOS ANGELES CA. 90015
ASSESSOR PARCEL NUMBER:	5134010005, 5134010006
TRACT:	CAMERON TRACT
BLOCK:	A
LOTS:	FR 7, FR 8, FR 9
ARB (LOT CUT REFERENCE):	NONE
MAP SHEET:	126A205
GROSS PARCEL AREA:	0.52 ACRES (22,601 SQ FT)
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ZONING:	C2-2D-O
GENERAL PLAN LAND USE:	COMMUNITY COMMERCIAL
COMMUNITY PLAN AREA:	CENTRAL CITY
COUNCIL DISTRICT:	CD-14 (JOSE HUIZAR)



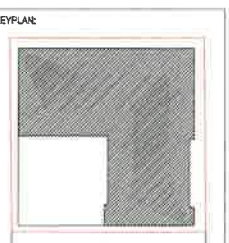
GENERAL NOTES:
 SEE SHEET A-19 FOR CONCEPTUAL SIGNAGE LOCATIONS AND SIZES

BUILDING HEIGHT :	TOP OF ROOF PARAPET = 136'-11" (FROM LEVEL 01)
	TOP OF ROOF PARAPET = 138'-9 1/4" (LOWEST GRADE)
	TOP OF STAIR/ELEVATOR HOUSING = 147'- 1/4"

THE ELEMENT	
1323 S. FLOWER STREET, LOS ANGELES, CA	
APPLICANT:	TISHBEE'S LLC 1323 S. FLOWER STREET, LOS ANGELES, CA 90015 TEL: 213.746.1100
ARCHITECT:	NKLOSURES INC. ARCHITECTS 1580-C ROCKFIELD BLVD., #200 IRVINE, CA 92618 TEL: 323.308.7334
INTERIOR DESIGN:	NKLOSURES INC. ARCHITECTS 1580-C ROCKFIELD BLVD., #200 IRVINE, CA 92618 TEL: 323.308.7334
LAND USE:	SEAT AT THE TABLE (SATT) P.O. BOX 800429 VALENCIA, CA 91380 TEL: 661.753.9961
SITE SURVEY:	JC SURVEY P.O. BOX 96 ACTON, CA 95920 TEL: 651.269.2177
FIRE LIFE SAFETY CODE CONSULTING:	TEPP CONSULTING 225 AVENUE L, SUITE 202 REDONDO BEACH, CA 90277 TEL: 909.836.9827
STRUCTURAL:	JOHN LABIB + ASSOCIATES 318 MAIN STREET, EL SEGUNDO, CA 92425 TEL: 213.228.9730
TRAFFIC:	LINSCOTT, LAW & GREENSPAN, ENGINEERS 20331 BURBANK BLVD., SUITE C WOODLAND HILLS, CA 91367 TEL: 818.826.6648
AV/NOISE:	CAJA ENVIRONMENTAL SERVICES, LLC 15250 SHERMAN WAY, SUITE 345 VAN NUYS, CA 91411 TEL: 310.468.8730
LANDSCAPE:	CHARLES TROWBRIDGE & ASSOCIATES 17801 ROMELLE AVENUE, SANTA ANA, CA 92705 TEL: 714.532.9693



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SUBMITTAL INFORMATION		
PROJECT NUMBER: 16.014		
NO.	DATE	DESCRIPTION
1	03/11/2019	PLANNING SUBMITTAL
2	09/28/2020	CRA SUBMITTAL
3	12/01/2020	PLANNING RESUBMITTAL
4	10/15/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	09/10/2022	PLANNING RESUBMITTAL
7	XX/XX/2023	PLANNING RESUBMITTAL

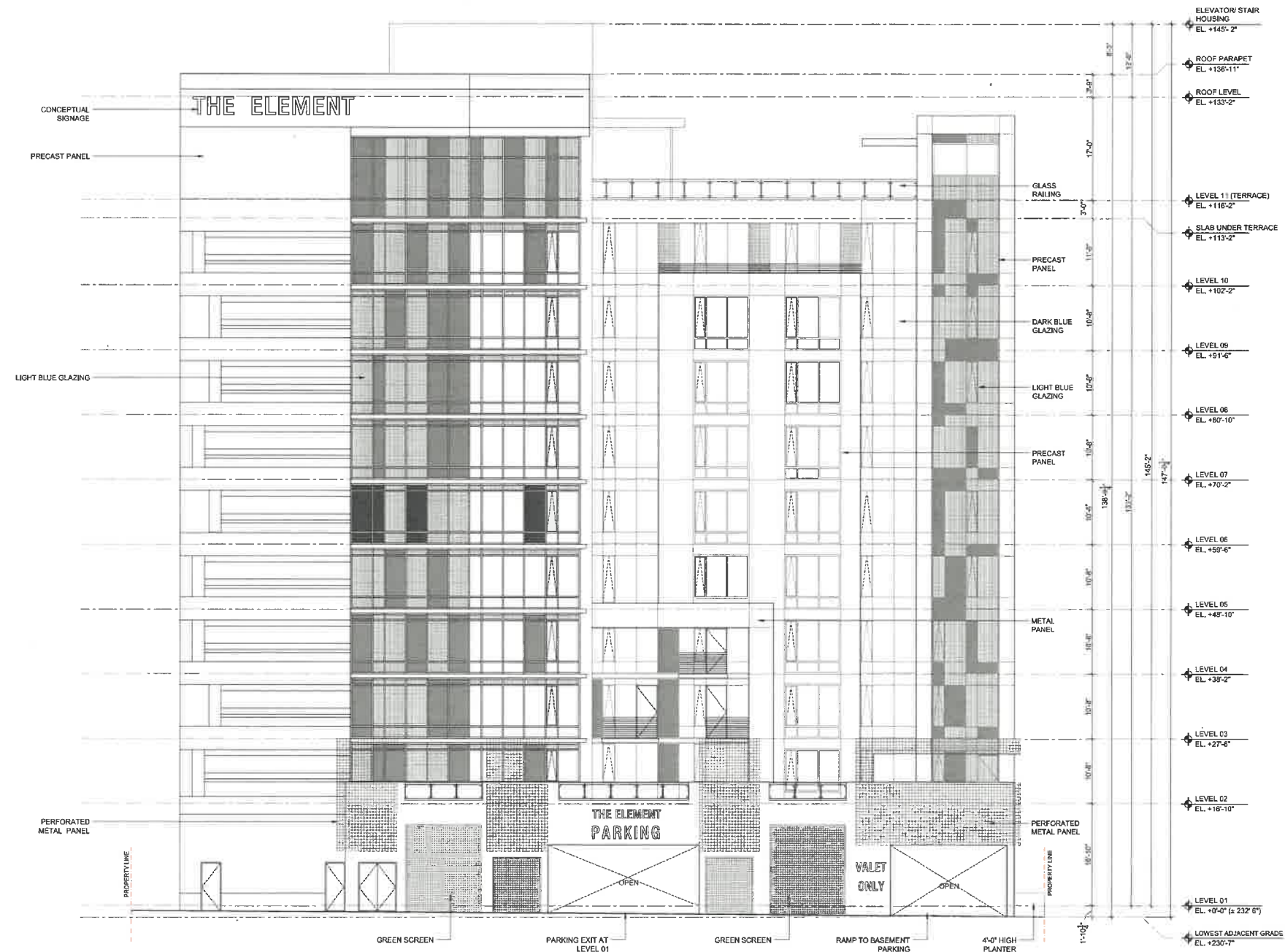
FULL SIZE PRINT: 30" x 42"
 SHEET NAME:
**PROPOSED
 NORTH ELEVATION
 CAMERON LANE
 (SIDE)**
 SCALE:
 1/8" = 1'-0"

SHEET NO.:
A15

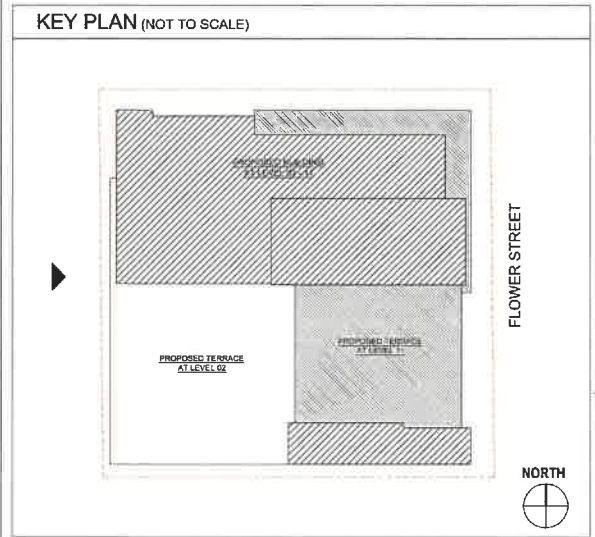
EXHIBIT "A"

Page No. 19 of 37

Case No. DIR-2019-1492-TDR-SPR



SITE INFORMATION	
PROJECT ADDRESS:	1323 SOUTH FLOWER, LOS ANGELES CA. 90015 1327 SOUTH FLOWER, LOS ANGELES CA. 90015 1331 SOUTH FLOWER, LOS ANGELES CA. 90015
ASSESSOR PARCEL NUMBER:	5134010005, 5134010006
TRACT:	CAMERON TRACT
BLOCK:	A
LOTS:	FR 7, FR 8, FR 9
ARB (LOT CUT REFERENCE):	NONE
MAP SHEET:	126A205
GROSS PARCEL AREA:	0.52 ACRES (22,601 SQ FT)
LEGAL DESCRIPTION:	LOTS 7, 8 & 9 IN CAMERON TRACT, IN CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATES OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 7, PAGE 21, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
ZONING:	C2-2D-O
GENERAL PLAN LAND USE:	COMMUNITY COMMERCIAL
COMMUNITY PLAN AREA:	CENTRAL CITY
COUNCIL DISTRICT:	CD-14 (JOSE HUIZAR)



GENERAL NOTES:
SEE SHEET A-19 FOR CONCEPTUAL SIGNAGE LOCATIONS AND SIZES

BUILDING HEIGHT :	TOP OF ROOF PARAPET = 136'-11" (FROM LEVEL 01) TOP OF ROOF PARAPET = 136'-9 1/4" (LOWEST GRADE) TOP OF STAIR/ELEVATOR HOUSING = 147'- 1/4"
-------------------	--

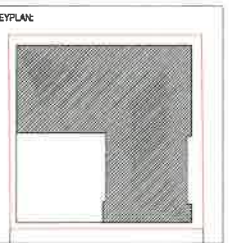
THE ELEMENT

1323 S. FLOWER STREET,
LOS ANGELES, CA

APPLICANT:	TISHBEE'S LLC 1323 S. FLOWER STREET, LOS ANGELES, CA 90015 TEL: 213.746.1100
ARCHITECT:	NKLOSURES INC. ARCHITECTS 15508-C ROCKFIELD BLVD., #200 IRVINE, CA 92618 TEL: 949.309.7334
INTERIOR DESIGN:	NKLOSURES INC. ARCHITECTS 15508-C ROCKFIELD BLVD., #200 IRVINE, CA 92618 TEL: 949.309.7334
LAND USE:	SEAT AT THE TABLE (SATT) P.O. BOX 90029 VALENCIA, CA 91380 TEL: 861.753.9887
SITE SURVEY:	JC SURVEY P.O. BOX 86 ACTON, CA 92510 TEL: 951.298.2177
FIRE LIFE SAFETY/ CODE CONSULTING:	TERP CONSULTING 225 AVENUE L SUITE 202 REDDO BEACH, CA 90777 TEL: 909.636.9827
STRUCTURAL:	JOHN LABBE + ASSOCIATES 319 MAIN STREET, EL SEGUNDO, CA 90245 TEL: 213.239.9703
TRAFFIC:	LINSCOTT, LAW & GREENSPAN, ENGINEERS 20031 BURBANK BLVD., SUITE C WOODLAND HILLS, CA 91367 TEL: 818.835.8648
AIR NOISE:	CAJA ENVIRONMENTAL SERVICES, LLC 13305 SHIRMAN WAY, SUITE 318 VAN NUYS, CA 91405 TEL: 310.488.8700
LANDSCAPE:	CHARLES TROWBRIDGE & ASSOCIATES 1701 ROMELLE AVENUE, SANTA ANA, CA 92705 TEL: 714.532.3663



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SUBMITTAL INFORMATION		
NO.	DATE	DESCRIPTION
1	03/11/2019	PLANNING SUBMITTAL
2	03/29/2020	CRA SUBMITTAL
3	12/01/2020	PLANNING RESUBMITTAL
4	10/15/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	08/01/2022	PLANNING RESUBMITTAL
7	XX/XX/2023	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

SHEET NAME:
**PROPOSED
WEST ELEVATION
LEBANON LANE
(REAR)**

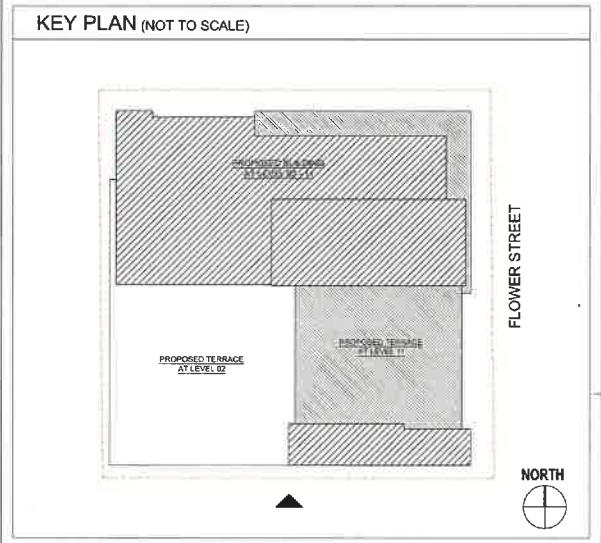
SCALE:
1/8" = 1'-0"

SHEET NO.:
A16

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SITE INFORMATION	
PROJECT ADDRESS:	1323 SOUTH FLOWER, LOS ANGELES CA. 90015 1327 SOUTH FLOWER, LOS ANGELES CA. 90015 1331 SOUTH FLOWER, LOS ANGELES CA. 90015
ASSESSOR PARCEL NUMBER:	5134010005, 5134010006
TRACT:	CAMERON TRACT
BLOCK:	A
LOTS:	FR 7, FR 8, FR 9
ARB (LOT CUT REFERENCE):	NONE
MAP SHEET:	126A205
GROSS PARCEL AREA:	0.52 ACRES (22,601 SQ FT)
LEGAL DESCRIPTION:	LOTS 7, 8 & 9 IN CAMERON TRACT, IN CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATES OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 7, PAGE 21, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
ZONING:	C2-2D-O
GENERAL PLAN LAND USE:	COMMUNITY COMMERCIAL
COMMUNITY PLAN AREA:	CENTRAL CITY
COUNCIL DISTRICT:	CD-14 (JOSE HUIZAR)



GENERAL NOTES:
 SEE SHEET A-19 FOR CONCEPTUAL SIGNAGE LOCATIONS AND SIZES

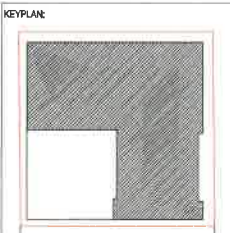
BUILDING HEIGHT :	TOP OF ROOF PARAPET = 136'-11" (FROM LEVEL 01)
	TOP OF ROOF PARAPET = 138'-9 1/4" (LOWEST GRADE)
	TOP OF STAIR/ELEVATOR HOUSING = 147'- 1/4"

THE ELEMENT
 1323 S. FLOWER STREET,
 LOS ANGELES, CA

APPLICANT:	TISHBEE'S LLC 1323 S. FLOWER STREET, LOS ANGELES, CA 90015 TEL: 213.746.1100
ARCHITECT:	NKLOSURES INC. ARCHITECTS 1586-C ROCKFELD BLVD., #200 IRVINE, CA 92618 TEL: 323.399.7334
INTERIOR DESIGN:	NKLOSURES INC. ARCHITECTS 1586-C ROCKFELD BLVD., #200 IRVINE, CA 92618 TEL: 323.399.7334
LAND USE:	SEAT AT THE TABLE (SAT) P.O. BOX 80409 VALENCIA, CA 91380 TEL: 661.753.8661
SITE SURVEY:	JC SURVEY P.O. BOX 86 ACTON, CA 93420 TEL: 651.269.2177
FIRE LIFE SAFETY CODE CONSULTING:	TEPP CONSULTING 226 KYLE BLVD., SUITE 202 REDONDO BEACH, CA 90277 TEL: 909.636.9827
STRUCTURAL:	JOHN LAIRD + ASSOCIATES 318 MAIN STREET, EL SEGUNDO, CA 90245 TEL: 213.229.8903
TRAFFIC:	LINSCOTT, LAW & GREENSPAN, ENGINEERS 20891 BURBANK BLVD., SUITE C WOODLAND HILLS, CA 91367 TEL: 818.833.8643
AIR NOISE:	CAJA ENVIRONMENTAL SERVICES, LLC 1535 SHERMAN WAY, SUITE 315 VAN NUYS, CA 91406 TEL: 310.463.8700
LANDSCAPE:	CHARLES TROWBRIDGE & ASSOCIATES 17601 ROMELLE AVENUE, SANTA ANA, CA 92705 TEL: 714.532.9663

NKLOSURES INC. ARCHITECTS
 1586-C ROCKFELD BLVD.,
 SUITE 200
 IRVINE, CA 92618
 TEL: 323.399.7334
 Email: info@nklosures.com
 www.nklosures.com

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SUBMITTAL INFORMATION

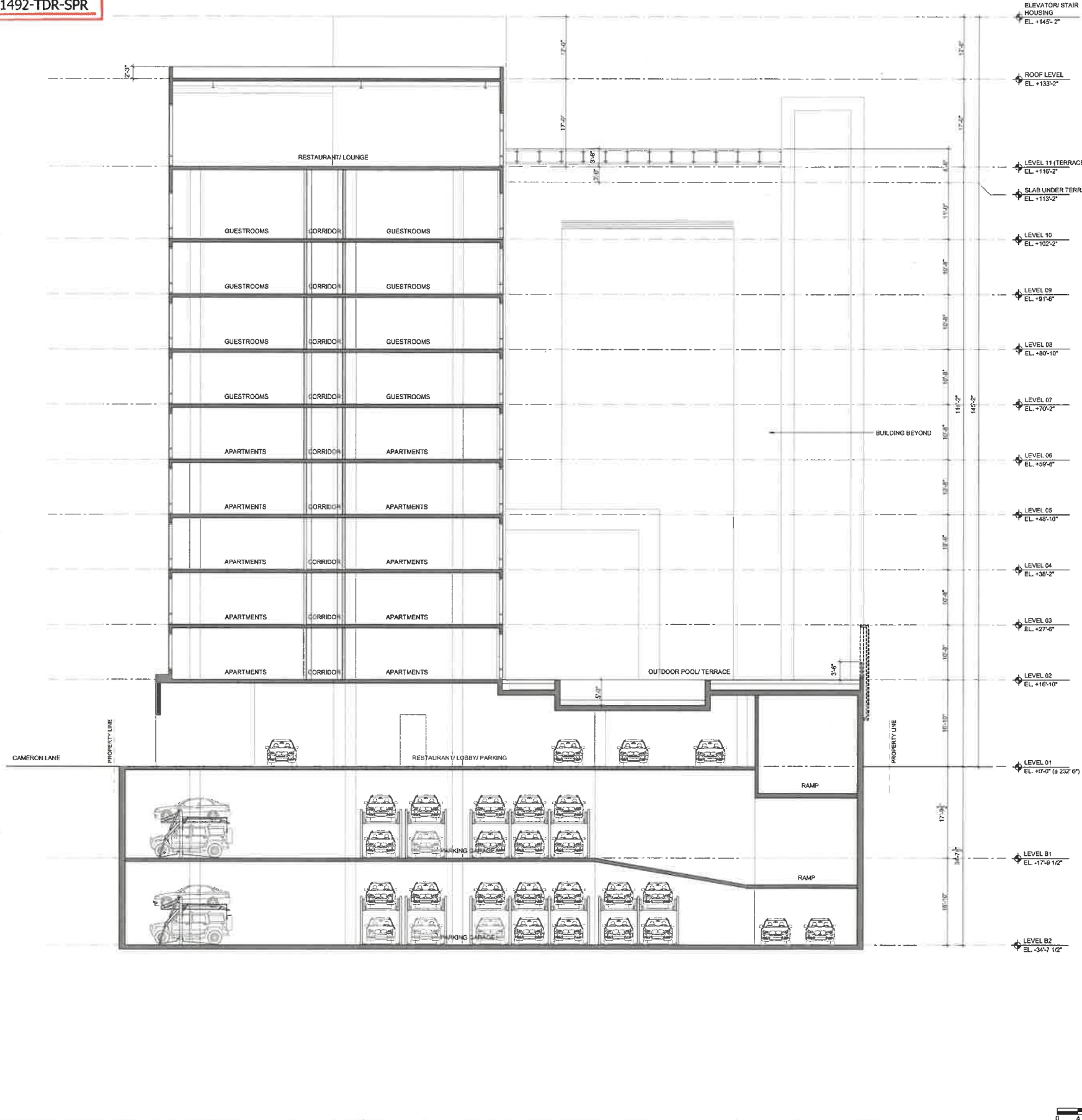
NO.	DATE	DESCRIPTION
1	03/11/2019	PLANNING SUBMITTAL
2	09/28/2020	CRA SUBMITTAL
3	12/01/2020	PLANNING RESUBMITTAL
4	10/15/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	09/01/2022	PLANNING RESUBMITTAL
7	XX/XX/2023	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"
 SHEET NAME:
PROPOSED SOUTH ELEVATION MIBLOCK (SIDE)
 SCALE: 1/8" = 1'-0"

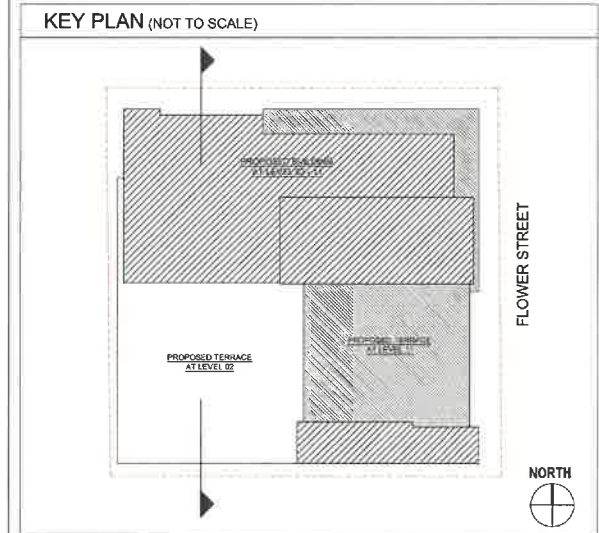
SHEET NO.:
A17
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EXHIBIT "A"

Page No. 21 of 37
Case No. DIR-2019-1492-TDR-SPR



SITE INFORMATION	
PROJECT ADDRESS:	1323 SOUTH FLOWER, LOS ANGELES CA. 90015 1327 SOUTH FLOWER, LOS ANGELES CA. 90015 1331 SOUTH FLOWER, LOS ANGELES CA. 90015
ASSESSOR PARCEL NUMBER:	5134010005, 5134010006
TRACT:	CAMERON TRACT
BLOCK:	A
LOTS:	FR 7, FR 8, FR 9
ARB (LOT CUT REFERENCE):	NONE
MAP SHEET:	126A205
GROSS PARCEL AREA:	0.52 ACRES (22,601 SQ FT)
LEGAL DESCRIPTION:	LOTS 7, 8 & 9 IN CAMERON TRACT, IN CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATES OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 7, PAGE 21, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
ZONING:	C2-2D-O
GENERAL PLAN LAND USE:	COMMUNITY COMMERCIAL
COMMUNITY PLAN AREA:	CENTRAL CITY
COUNCIL DISTRICT:	CD-14 (JOSE HUIZAR)



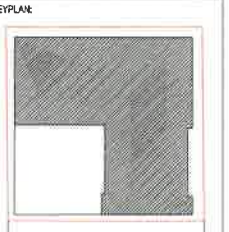
THE ELEMENT

1323 S. FLOWER STREET,
LOS ANGELES, CA

APPLICANT:	TISHBEE'S LLC 1323 S. FLOWER STREET, LOS ANGELES, CA 90015 TEL: 213.746.1130
ARCHITECT:	NKLOSURES INC. ARCHITECTS 15540-C ROCKFIELD BLVD., #200 IRVINE, CA 92618 TEL: 949.259.2177
INTERIOR DESIGNER:	NKLOSURES INC. ARCHITECTS 15540-C ROCKFIELD BLVD., #200 IRVINE, CA 92618 TEL: 949.259.2177
LAND USE:	SEAT AT THE TABLE (SATT) P.O. BOX 80428 VALEN西亚, CA 91380 TEL: 651.153.8651
SITE SURVEY:	JC SURVEY P.O. BOX 96 AGTON, CA 92510 TEL: 951.299.2177
FIRE LIFE SAFETY/ CODE CONSULTING:	TEPP CONSULTING 225 AVENUE I, SUITE 302 REDONDO BEACH, CA 90277 TEL: 909.638.9827
STRUCTURAL:	JOHN LABIE + ASSOCIATES 318 MAIN STREET, EL SEGUNDO, CA 90245 TEL: 213.239.9703
TRAFFIC:	LINSOFT, LAW & GREENSPAN, ENGINEERS 20531 BURBANK BLVD., SUITE C WOODLAND HILLS, CA 91367 TEL: 818.833.8646
AVR/ NOISE:	CAJA ENVIRONMENTAL SERVICES, LLC 13330 SHERMAN WAY, SUITE 310 VAN NUYS, CA 91410 TEL: 310.469.8700
LANDSCAPE:	CHARLES TROWBRIDGE & ASSOCIATES 1791 PROMENADE AVENUE, SANTA ANA, CA 92705 TEL: 714.532.3663



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SUBMITTAL INFORMATION:		
PROJECT NUMBER: 16,014		
NO.	DATE	DESCRIPTION
1	03/11/2019	PLANNING SUBMITTAL
2	09/29/2020	CRA SUBMITTAL
3	12/01/2020	PLANNING RESUBMITTAL
4	10/15/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	09/10/2022	PLANNING RESUBMITTAL
7	XX/XX/2023	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

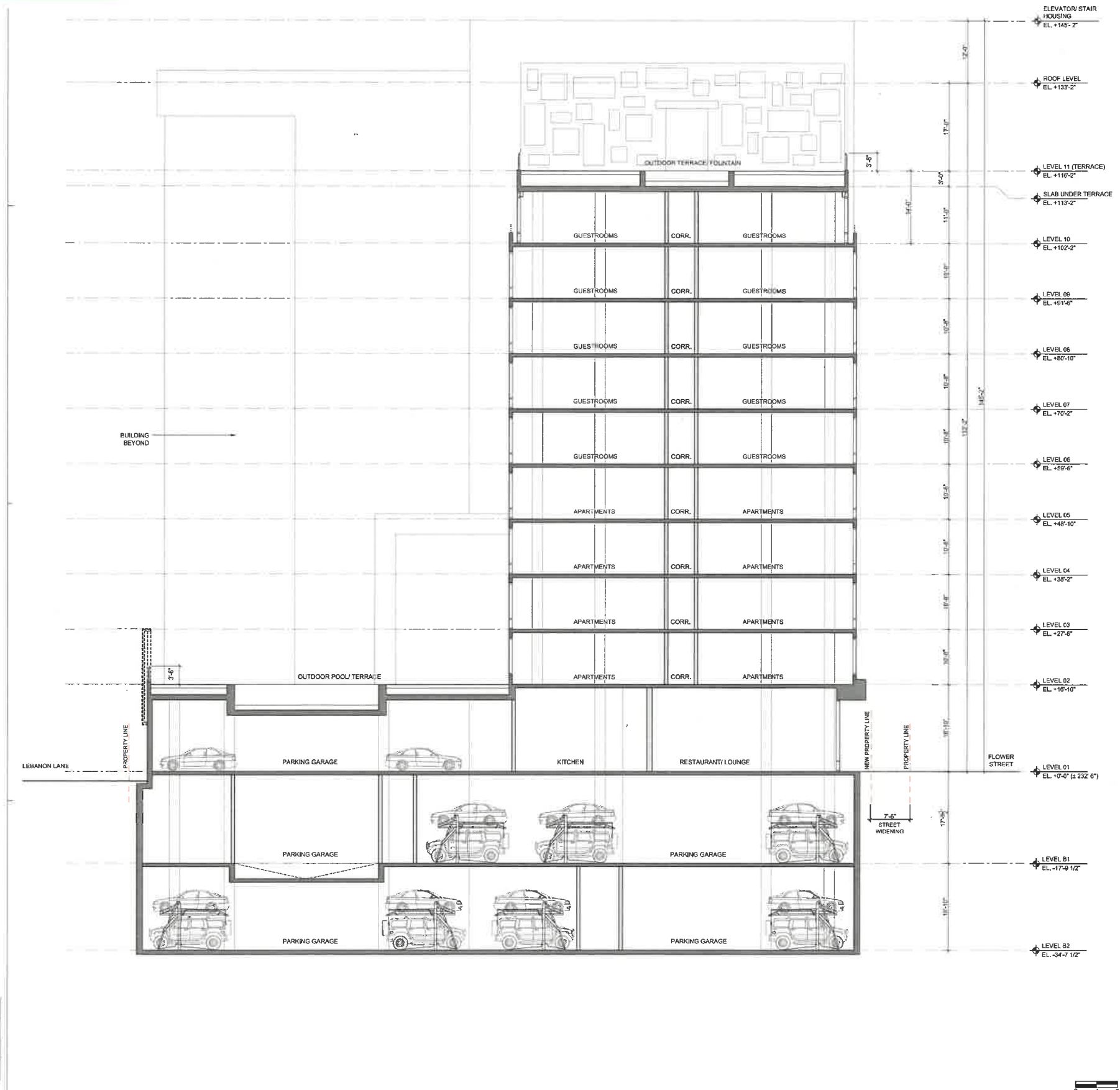
SHEET NAME:
**PROPOSED
BUILDING SECTION**

SCALE: 1/8" = 1'-0"

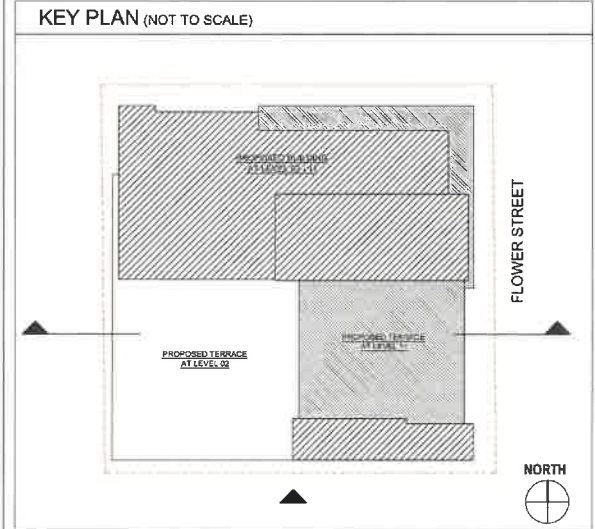
SHEET NO.:
A18

EXHIBIT "A"

Page No. 22 of 37
Case No. DIR-2019-1492-TDR-SPR



SITE INFORMATION	
PROJECT ADDRESS:	1323 SOUTH FLOWER, LOS ANGELES CA, 90015 1327 SOUTH FLOWER, LOS ANGELES CA, 90015 1331 SOUTH FLOWER, LOS ANGELES CA, 90015
ASSESSOR PARCEL NUMBER:	5134010005, 5134010006
TRACT:	CAMERON TRACT
BLOCK:	A
LOTS:	FR 7, FR 8, FR 9
ARB (LOT CUT REFERENCE):	NONE
MAP SHEET:	126A205
GROSS PARCEL AREA:	0.52 ACRES (22,601 SQ FT)
LEGAL DESCRIPTION:	LOTS 7, 8 & 9 IN CAMERON TRACT, IN CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATES OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 7, PAGE 21, OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
ZONING:	C2-2D-O
GENERAL PLAN LAND USE:	COMMUNITY COMMERCIAL
COMMUNITY PLAN AREA:	CENTRAL CITY
COUNCIL DISTRICT:	CD-14 (JOSE HUIZAR)



THE ELEMENT

1323 S. FLOWER STREET,
LOS ANGELES, CA

APPLICANT:	TISHBEE'S LLC 1323 S. FLOWER STREET, LOS ANGELES, CA 90015 TEL: 213.746.1100
ARCHITECT:	NKLOSURES INC. ARCHITECTS 1550-C ROCKFIELD BLVD., #200 IRVINE, CA 92618 TEL: 323.309.7334
INTERIOR DESIGNER:	NKLOSURES INC. ARCHITECTS 1550-C ROCKFIELD BLVD., #200 IRVINE, CA 92618 TEL: 323.309.7334
LAND USE:	SEAT AT THE TABLE (SATT) P.O. BOX 80429 VALENCIA, CA 91380 TEL: 661.753.9861
SITE SURVEY:	JC SURVEY P.O. BOX 86 ACTON, CA 95919 TEL: 916.269.2177
FIRE LIFE SAFETY/ CODE CONSULTING:	TEPP CONSULTING 225 AVENUE L, SUITE 203 REDWOOD BEACH, CA 92377 TEL: 909.636.9627
STRUCTURAL:	JOHN LABIS + ASSOCIATES 319 MAIN STREET, EL SEGUINO, CA 95025 TEL: 213.239.9703
TRAFFIC:	LINSOOTT, LAW & GREENSPAN, ENGINEERS 2801 BURBANK BLVD., SUITE C WOODLAND HILLS, CA 91367 TEL: 818.835.8648
ARV NOISE:	CAJA ENVIRONMENTAL SERVICES, LLC 1530 SHEPHERD WAY, SUITE 315 VAN NUYS, CA 91410 TEL: 818.468.6700
LANDSCAPE:	CHARLES THROWSBRIDGE & ASSOCIATES 17861 ROMELLE AVENUE, SANTA ANA, CA 92705 TEL: 714.532.3663



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SUBMITTAL INFORMATION:

NO.	DATE	DESCRIPTION
1	03/11/2019	PLANNING SUBMITTAL
2	09/28/2020	CFA SUBMITTAL
3	12/01/2020	PLANNING RESUBMITTAL
4	10/15/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	08/01/2022	PLANNING RESUBMITTAL
7	10/07/2023	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

SHEET NAME:
**PROPOSED
BUILDING SECTION**

SCALE: 1/8" = 1'-0"

SHEET NO.:
A19

EXHIBIT "A"

Page No. 23 of 37
Case No. DIR-2019-1492-TDR-SPR

THE ELEMENT

1323 S. FLOWER STREET,
LOS ANGELES, CA

APPLICANT: TISHBEE'S LLC
1323 S. FLOWER STREET,
LOS ANGELES, CA 90015
TEL: 213.746.1100

ARCHITECT: NKLOSURES INC. ARCHITECTS
15660-C ROCKFIELD BLVD., #200
IRVINE, CA 92618
TEL: 323.309.7334

INTERIOR DESIGN: NKLOSURES INC. ARCHITECTS
15660-C ROCKFIELD BLVD., #200
IRVINE, CA 92618
TEL: 323.309.7334

LAND USE: SEAT AT THE TABLE (SATT)
P.O. BOX 800429
VALENCIA, CA 91380
TEL: 861.753.9861

SITE SURVEY: JC SURVEY
P.O. BOX 48
ACTON, CA 92610
TEL: 861.289.2177

FIRE LIFE SAFETY CODE CONSULTING: TERP CONSULTING
225 AVENUE L, SUITE 202
REDONDO BEACH, CA 92277
TEL: 909.636.8627

STRUCTURAL: JOHN LABIB + ASSOCIATES
319 MAIN STREET,
EL SEQUOIO, CA 92645
TEL: 213.259.9703

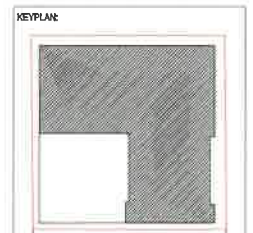
TRAFFIC: LANSFORD, LAW & GREENSPAN,
ENGINEERS
20011 BURBANK BLVD., SUITE C
WOODLAND HILLS, CA 91367
TEL: 818.635.8648

AIR NOISE: CAIA ENVIRONMENTAL
SERVICES, LLC
13338 SHERMAN WAY, SUITE 315
VAN NUYS, CA 91406
TEL: 310.469.6700

LANDSCAPE: CHARLES TROWBRIDGE &
ASSOCIATES
17011 ROMELLE AVENUE,
SANTA ANA, CA 92705
TEL: 714.522.2663



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SUBMITTAL INFORMATION:

PROJECT NUMBER: 16.014

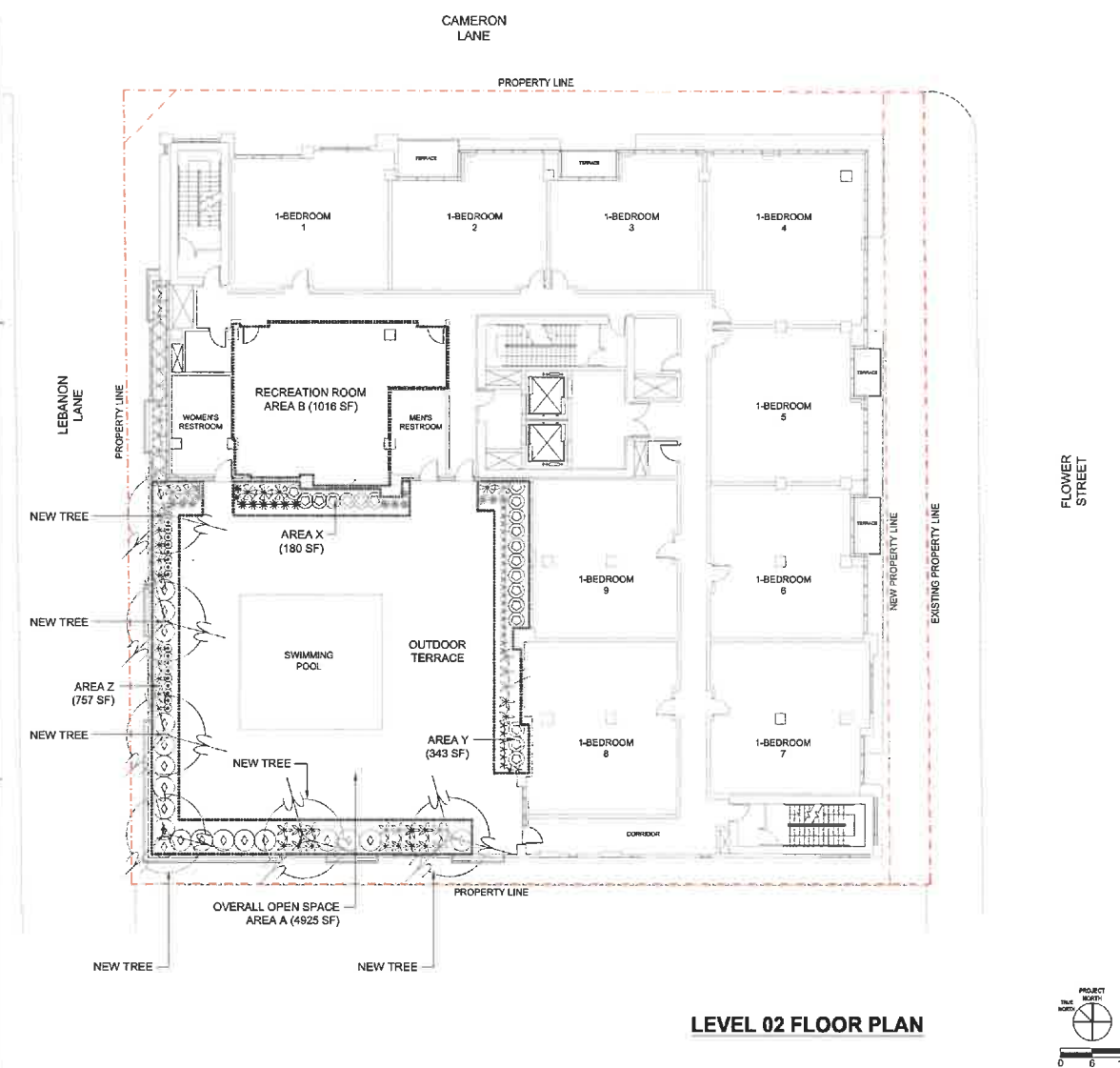
NO.	DATE	DESCRIPTION
1	03/11/2019	PLANNING SUBMITTAL
2	09/28/2020	GRA SUBMITTAL
3	12/01/2020	PLANNING RESUBMITTAL
4	10/15/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	05/01/2022	PLANNING RESUBMITTAL
7	10/02/2023	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

SHEET NAME:
PROPOSED OPEN SPACE CALCULATIONS
SCALE: 1/12" = 1'-0"

SHEET NO.:
A20

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LANDSCAPE AT OPEN SPACE (LEVEL 02)

DESIGNATION	LANDSCAPE
PLANTING (AREA X)	180
PLANTING (AREA Y)	343
PLANTING (AREA Z)	757
TOTAL LANDSCAPE	1,280

1 TREE PER EVERY 4 DWELLING UNITS REQUIRED PER LAMC 12.21 G.2
**PROPOSED 48 DWELLING UNITS
TOTAL OF 12 TREES PROVIDED**

6 TREES AT LEVEL 01- ALONG STREET FRONT (5 NEW TREES + 1 EXISTING STREET TREE)
(1 EXISTING STREET TREE WILL BE RETAINED AND PROTECTED IN PLACE)

6 NEW TREES AT LEVEL 02- OUTDOOR TERRACE

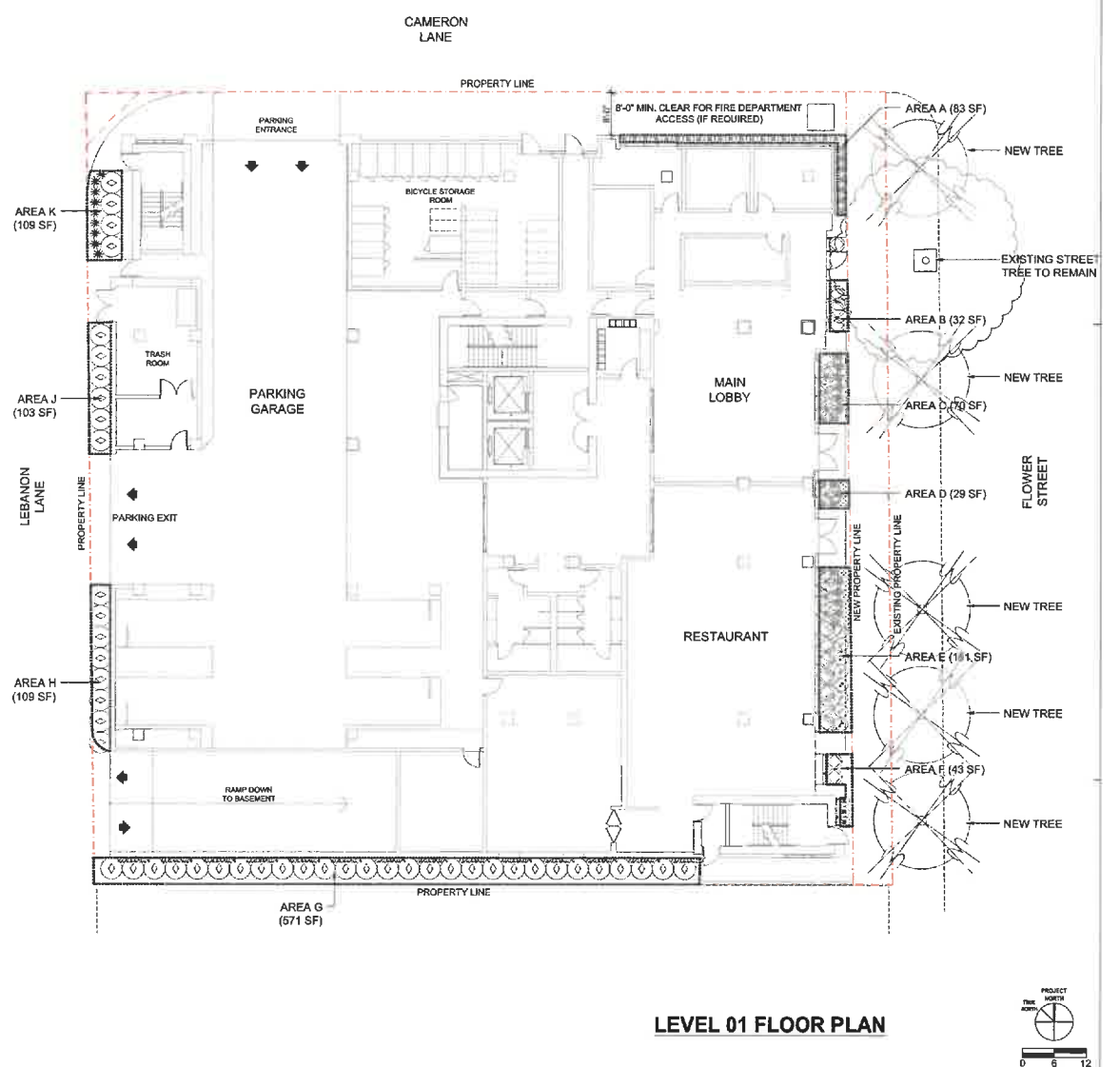
OPEN SPACE REQUIREMENT (CODE REQUIRED LAMC 12.21.G.2)

DESCRIPTION	TOTAL UNITS	OPEN SPACE	TOTAL AREA
STUDIO	2	100 SF/ UNIT	200 SF
1-BEDROOMS	39	100 SF/ UNIT	3,900 SF
2-BEDROOMS	7	125 SF/ UNIT	875 SF
TOTAL	48 UNITS		4,975 SF
TOTAL OPEN SPACE REQUIRED			4,975 SF
MIN. 25% PLANTED OPEN SPACE REQUIRED			1,244 SF

PROPOSED OPEN SPACE (LEVEL 02)

DESCRIPTION	DESIGNATION	TOTAL (SF)
OUTDOOR OPEN SPACE (LEVEL 02)	AREA A	4,925
INDOOR RECREATION ROOM (LEVEL 02)	AREA B	1,016
TOTAL OPEN SPACE PROPOSED		5,941

DESCRIPTION	DESIGNATION	TOTAL (SF)
INDOOR RECREATION ROOM (LEVEL 02)	AREA B	1,016
PERCENTAGE OF REQUIRED OPEN SPACE PROVIDED	AREA B	20 %
PLANTING PROVIDED AT OPEN SPACE (LEVEL 02)	AREAS (X+Y+Z)	1,280
PERCENTAGE OF REQUIRED OPEN SPACE PROVIDED		26 %



1 TREE PER EVERY 4 DWELLING UNITS REQUIRED PER LAMC 12.21 G.2
PROPOSED 48 DWELLING UNITS, TOTAL OF 12 NEW TREES PROVIDED

PRIVATE TERRACES PROVIDED FOR SOME APARTMENTS ARE NOT COUNTED IN PROPOSED OPEN SPACE CALCULATIONS -
TOTAL AT LEVEL 02 = 223 SF
TOTAL AT LEVEL 03 = 263 SF
TOTAL AT LEVEL 04 = 289 SF
TOTAL AREA OF PRIVATE TERRACES PROVIDED = 775 SF

LANDSCAPE PROPOSED AT LEVEL 01 AND PRIVATE TERRACES PROVIDED AT SOME APARTMENTS ARE NOT COUNTED TOWARDS OPEN SPACE CALCULATION.

PROPOSED LANDSCAPE (LEVEL 01)

DESIGNATION	LANDSCAPE
AREA A	83
AREA B	32
AREA C	70
AREA D	29
AREA E	181
AREA F	43
AREA G	571
AREA H	109
AREA J	103
AREA K	109
TOTAL	1,330

EXHIBIT "A"

Page No. 24 of 37

Case No. DIR-2019-1492-TDR-SPR

THE ELEMENT

1323 S. FLOWER STREET,
LOS ANGELES, CA

APPLICANT: TISHBEE'S LLC
1323 S. FLOWER STREET,
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TEL: 213.746.1100

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INTERIOR DESIGNER: NKLOSURES INC. ARCHITECTS
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TEL: 661.793.9961

SITE SURVEY: JC SURVEY
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ACTON, CA 92610
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PRELIFE SAFETY/ CORE CONSULTING: TERP CONSULTING
225 AVENUE L, SUITE 203
REDWOOD BEACH, CA 90777
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STRUCTURAL: JOHN LABBE + ASSOCIATES
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EL SEGUINDO, CA 90546
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AIR NOISE: CAJA ENVIRONMENTAL
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LANDSCAPE: CHARLES TROWBRODGE &
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SUBMITTAL INFORMATION:

NO.	DATE	DESCRIPTION
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2	09/28/2020	CRA SUBMITTAL
3	12/01/2020	PLANNING RESUBMITTAL
4	10/15/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	06/01/2022	PLANNING RESUBMITTAL
7	XX/XX/2023	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

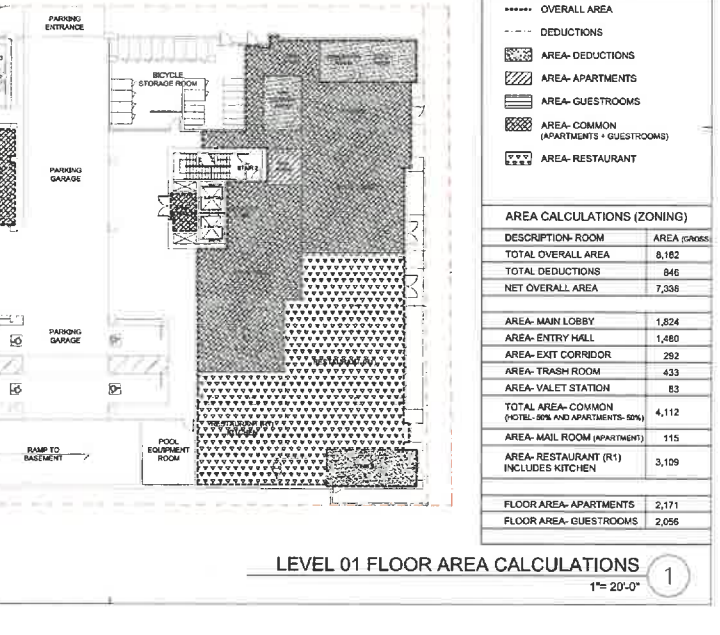
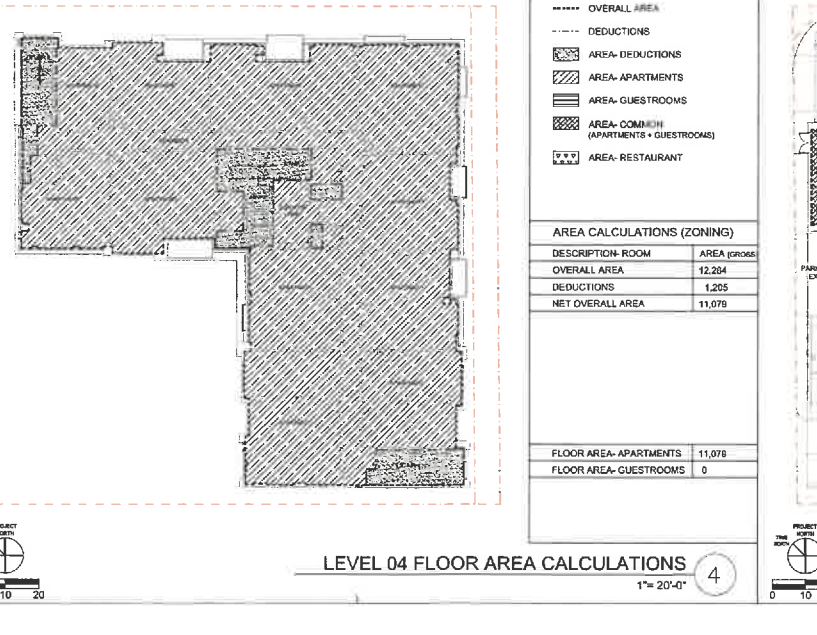
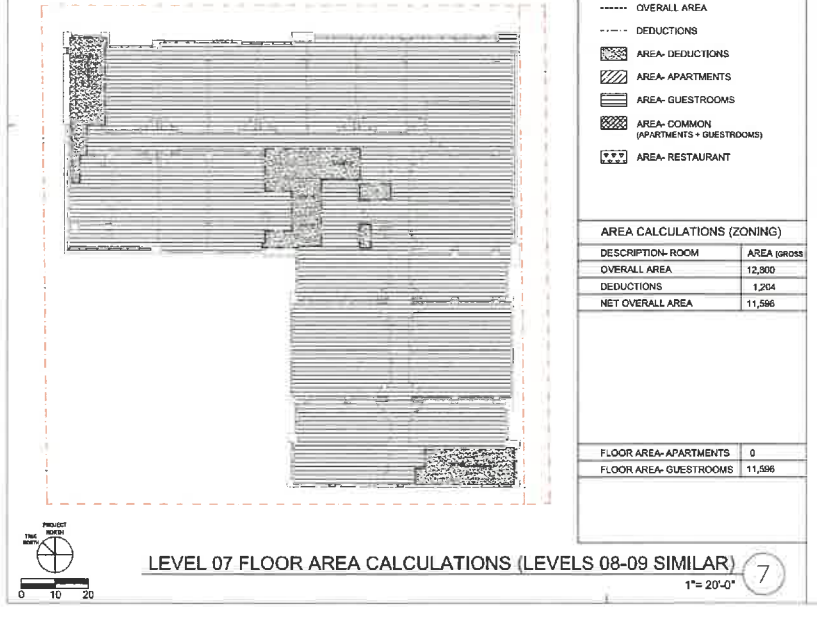
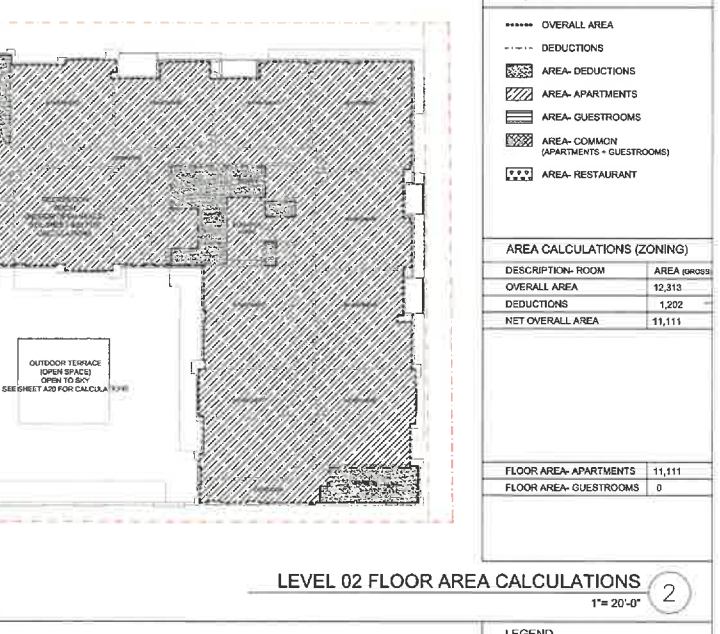
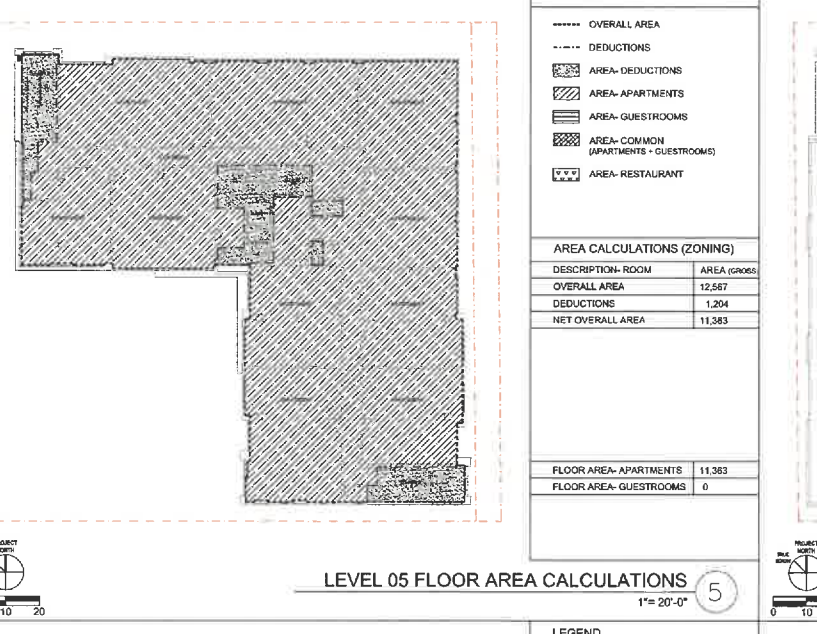
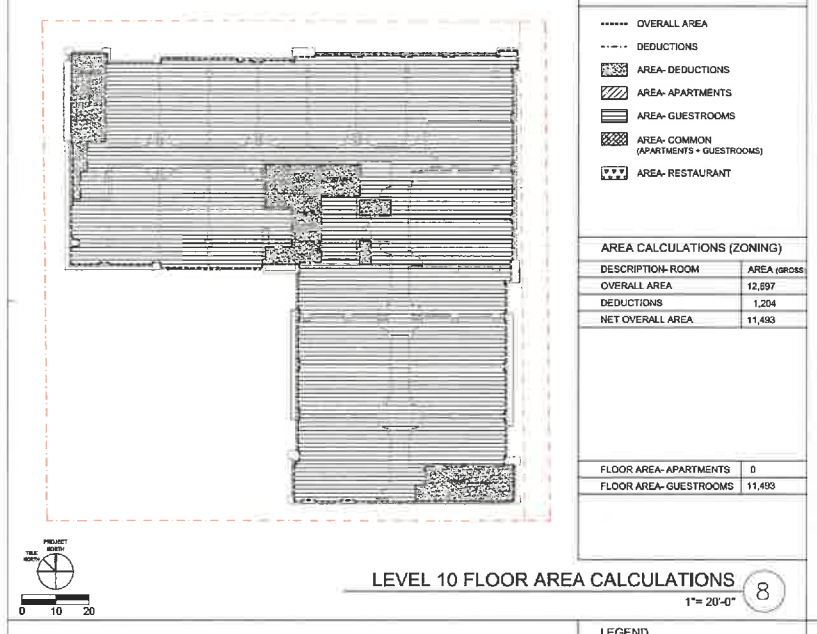
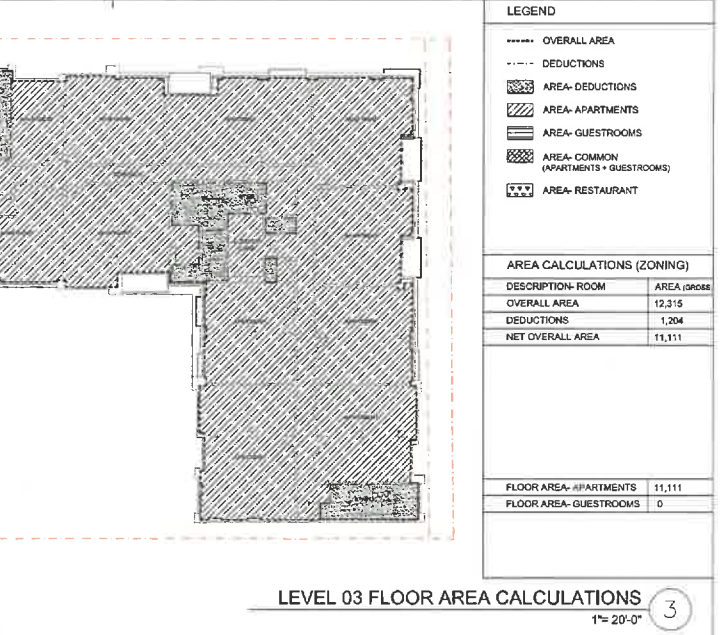
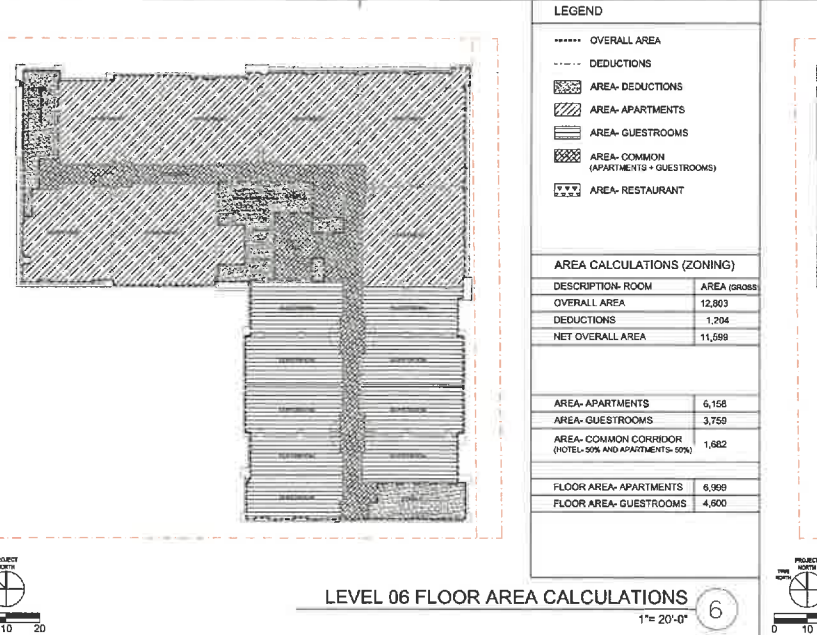
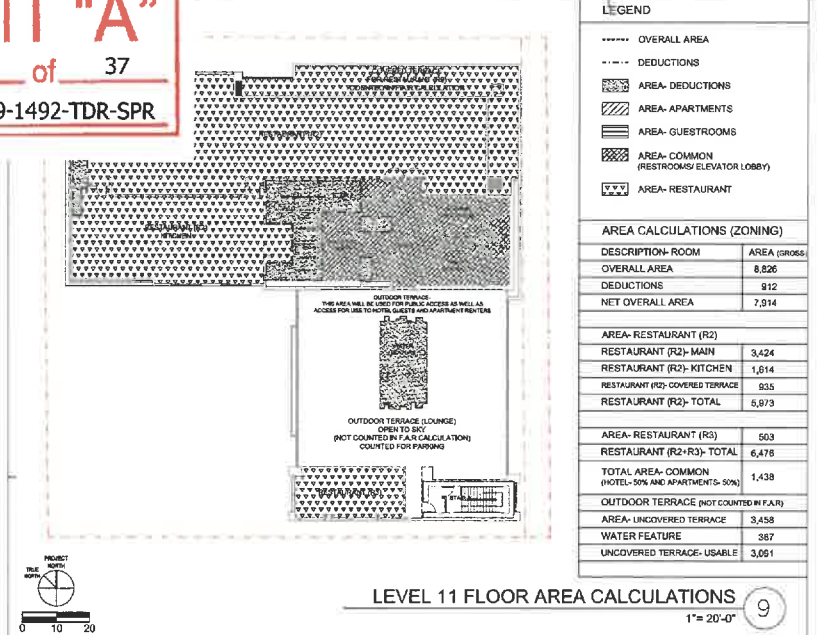
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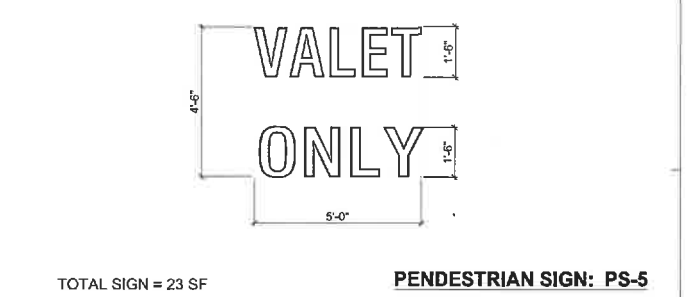
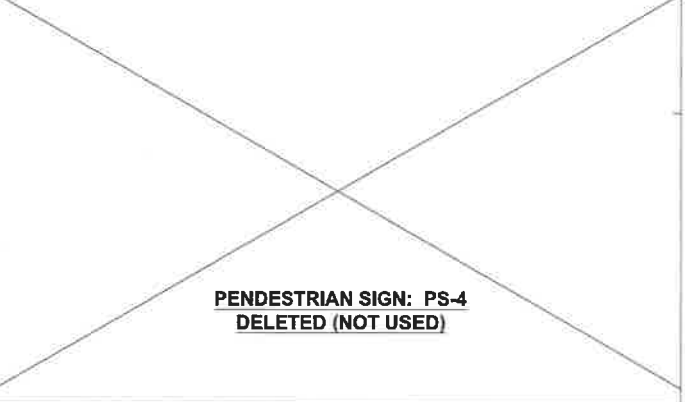
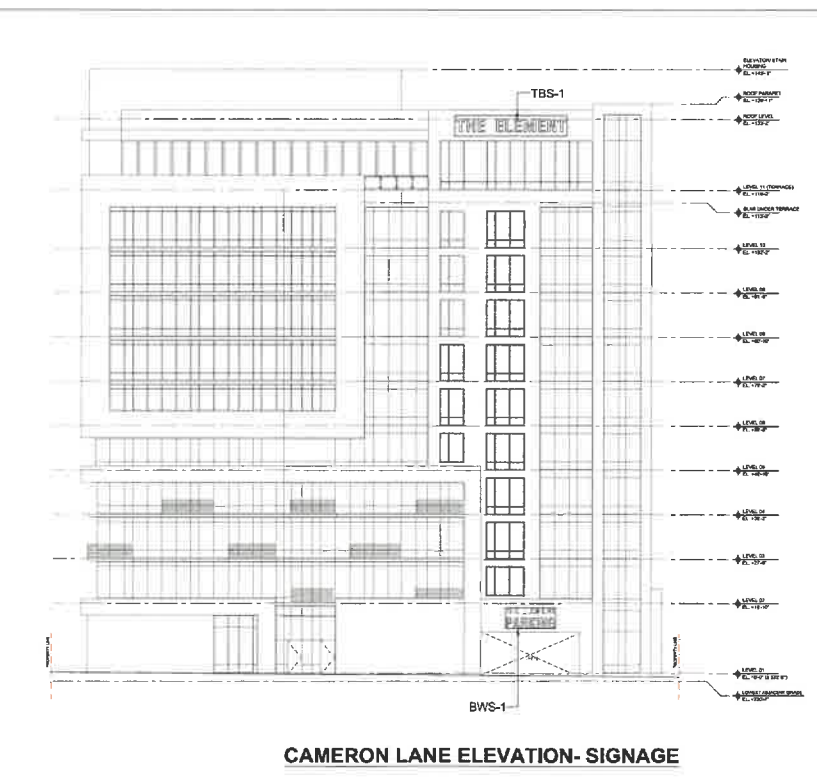
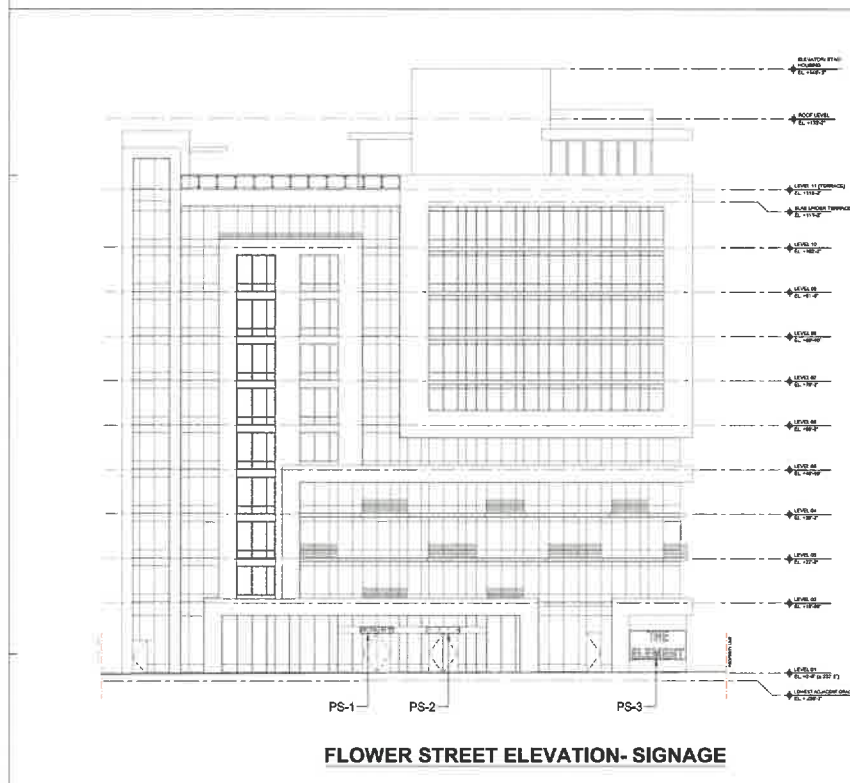
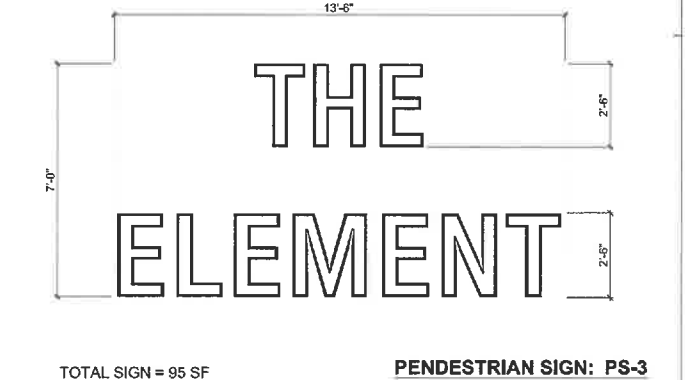
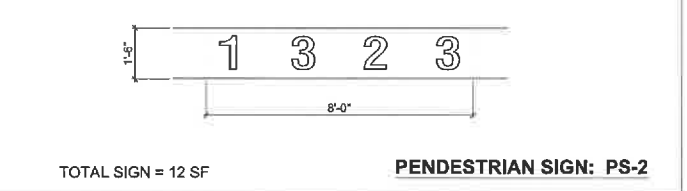
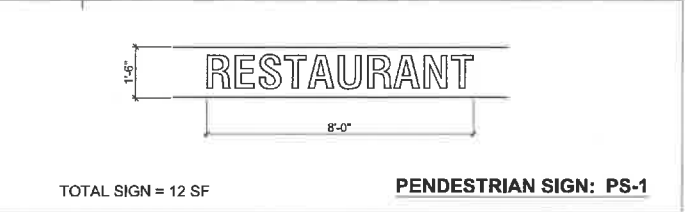
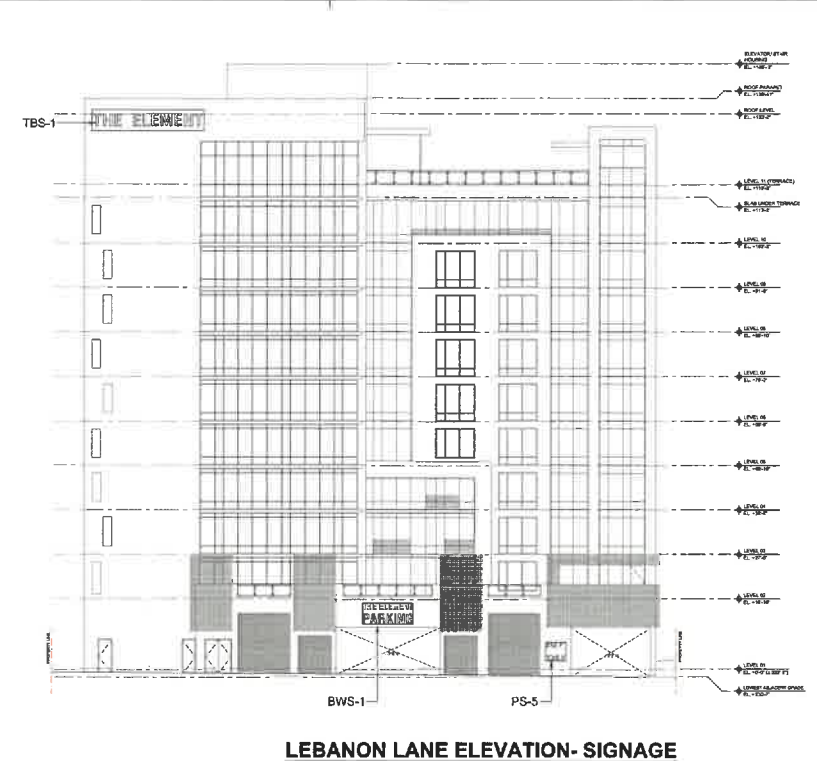
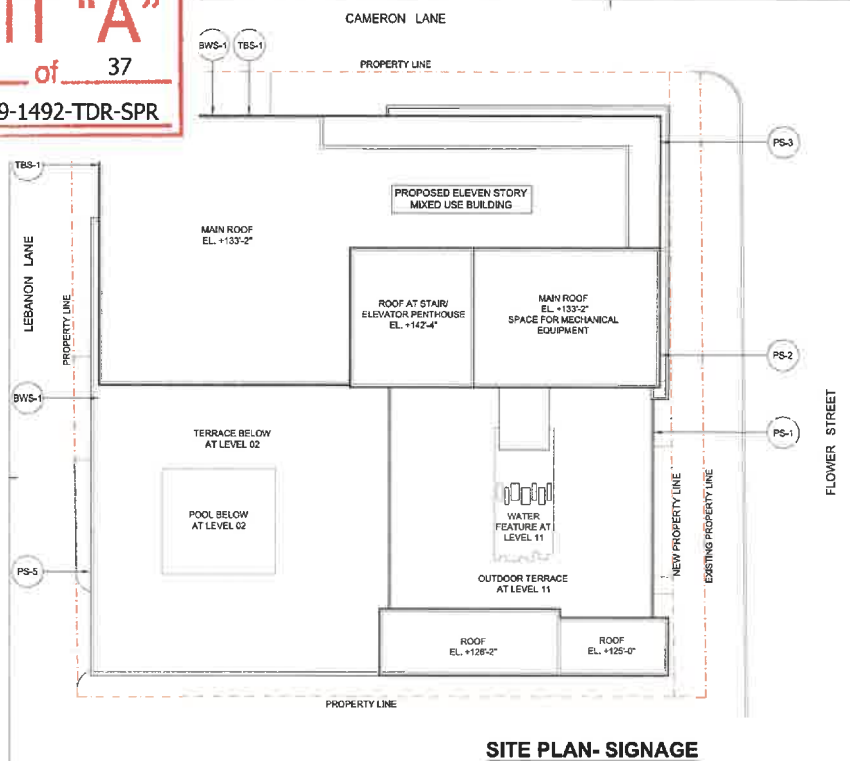
PROPOSED (ZONING) FLOOR AREA CALCULATIONS

SCALE: 1" = 20'-0"

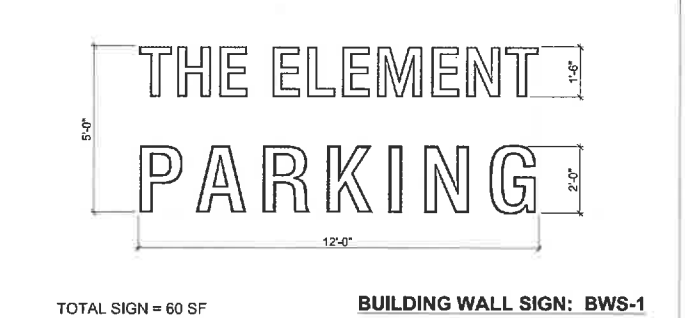
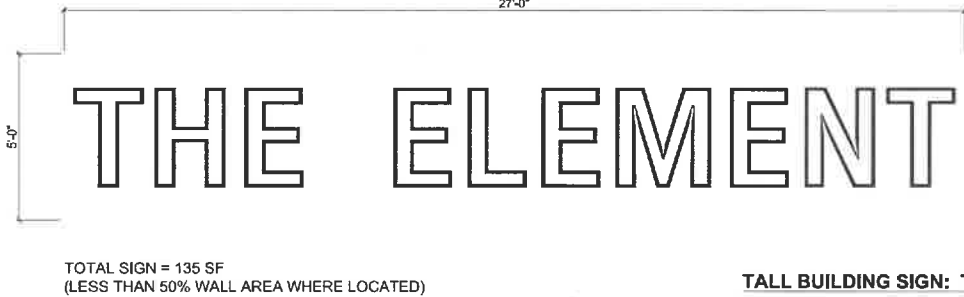
SHEET NO.: **A21**

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- GENERAL NOTES:**
1. CONCEPTUAL SIGNAGE PER DOWNTOWN DESIGN GUIDE SECTION 10
 2. ALL SIGNAGE INDICATED ON THIS SHEET ARE CONCEPTUAL SIGNAGE
 3. ACTUAL SIGNAGE TO BE DETERMINED AND WILL BE UNDER SEPARATE PERMIT



THE ELEMENT
 1323 S. FLOWER STREET,
 LOS ANGELES, CA

APPLICANT: TISHBEE'S LLC
 1323 S. FLOWER STREET,
 LOS ANGELES, CA 90015
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ARCHITECT: NKLOSURES INC. ARCHITECTS
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 IRVINE, CA 92618
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INTERIOR DESIGNER: NKLOSURES INC. ARCHITECTS
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 TEL: 818.288.2177

FIRE LIFE SAFETY/ CODE CONSULTING: TEMP CONSULTING
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 REDONDO BEACH, CA 90277
 TEL: 805.636.9627

STRUCTURAL: JOHN LABBE + ASSOCIATES
 319 MAIN STREET,
 EL SEGUINDO, CA 90245
 TEL: 714.239.9703

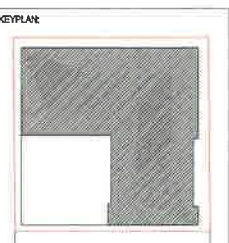
TRAFFIC: I. INSCOTT, LAW & GREENSPAN,
 ENGINEERS
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SUBMITTAL INFORMATION:

PROJECT NUMBER: 16,014

NO.	DATE	DESCRIPTION
1	03/11/2019	PLANNING SUBMITTAL
2	09/28/2020	CRA SUBMITTAL
3	12/01/2020	PLANNING RESUBMITTAL
4	10/15/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	08/01/2022	PLANNING RESUBMITTAL
7	2022/02/2023	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

SHEET NAME:
PROPOSED CONCEPTUAL SIGN PLAN

SCALE:
 1/16" = 1'-0"

SHEET NO.:
A22

EXHIBIT "A"

Page No. 26 of 37

Case No. DIR-2019-1492-TDR-SPR



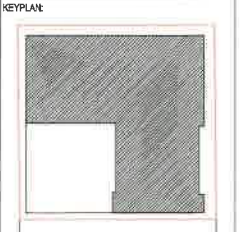
THE ELEMENT

1323 S. FLOWER STREET,
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APPLICANT:	TISHBEE'S LLC 1323 S. FLOWER STREET, LOS ANGELES, CA 90015 TEL: 213.746.1100
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INTERIOR DESIGN:	MKLOSURES INC. ARCHITECTS 15500-C ROCKFIELD BLVD., #200 IRVINE, CA 92618 TEL: 949.339.7334
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SITE SURVEY:	JC SURVEY P.O. BOX 88 ASTON, CA 92533 TEL: 951.289.2177
PRELIFT SAFETY CODE CONSULTING:	TERP CONSULTING 225 AVENUE L, SUITE 203 REDONDO BEACH, CA 90277 TEL: 909.536.9827
STRUCTURAL:	JOHN LABBO + ASSOCIATES 319 MAIN STREET, EL SEGUNDO, CA 90245 TEL: 213.239.9703
TRAFFIC:	LINKSCOTT, LAW & GREENSPAN, ENGINEERS 20911 BURBANK BLVD., SUITE C WOODLAND HILLS, CA 91367 TEL: 818.835.8648
AIR NOISE:	CAJA ENVIRONMENTAL SERVICES, LLC 15326 SIEMEN WAY, SUITE 315 VAN NUYS, CA 91406 TEL: 310.489.6700
LANDSCAPE:	CHARLES TROWBRIDGE & ASSOCIATES 17801 POMELLE AVENUE, SANTA ANA, CA 92705 TEL: 714.532.3663

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SUBMITTAL INFORMATION

PROJECT NUMBER: 18,014

NO.	DATE	DESCRIPTION
1	03/11/2016	PLANNING SUBMITTAL
2	09/28/2020	CRA SUBMITTAL
3	12/01/2020	PLANNING RESUBMITTAL
4	10/15/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	09/01/2022	PLANNING RESUBMITTAL
7	04/28/2023	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

SHEET NAME:
**EXTERIOR VIEW
AT STREET CORNER
(FLOWER/CAMERON)**

SCALE: 1/8" = 1'-0"

SHEET NO.:
A23

Z:\00-PROJECTS\18014_1323-FLOWER\DRAWINGS\01-CONTRACT\1323_FLOWER_01-CONTRACT-REVISED.dwg (14-18-23 3:09:24PM) Plotted by: TISHBEE

EXHIBIT "A"

Page No. 27 of 37

Case No. DIR-2019-1492-TDR-SPR



THE ELEMENT

1323 S. FLOWER STREET,
LOS ANGELES, CA

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AVI NOISE:	CAJA ENVIRONMENTAL SERVICES, LLC 15350 SHEPHERD WAY, SUITE 315 VAN NUYS, CA 91406 TEL: 310.469.8700
LANDSCAPE:	CHARLES TROWBRIDGE & ASSOCIATES 17801 FOMELLE AVENUE, SANTA ANA, CA 92705 TEL: 714.532.3663



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KEY PLAN



SUBMITTAL INFORMATION

PROJECT NUMBER: 16,014		
NO.	DATE	DESCRIPTION
1	03/11/2019	PLANNING SUBMITTAL
2	09/29/2020	CRA SUBMITTAL
3	12/01/2020	PLANNING RESUBMITTAL
4	10/15/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	05/01/2022	PLANNING RESUBMITTAL
7	04/28/2023	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

SHEET NAME:

EXTERIOR VIEW
AT STREET FRONT
(LOOKING NORTH)

SCALE: 1/8" = 1'-0"

SHEET NO.:

A24

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EXHIBIT "A"

Page No. 28 of 37

Case No. DIR-2019-1492-TDR-SPR



THE ELEMENT

1323 S. FLOWER STREET,
LOS ANGELES, CA

APPLICANT:	TISHBEE'S LLC 1323 S. FLOWER STREET, LOS ANGELES, CA 90015 TEL: 213.746.1100
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INTERIOR DESIGN:	MKLOSURES INC. ARCHITECTS 15566-C ROCKFIELD BLVD, #200 IRVINE, CA 92618 TEL: 923.309.7334
LAND USE:	BEAT AT THE TABLE (BATT) P.O. BOX 800429 VAN ENCKA, CA 91380 TEL: 661.753.9887
SITE SURVEY:	JC SURVEY P.O. BOX 86 ACTON, CA 92510 TEL: 661.266.2177
FIRE LIFE SAFETY/COOD CONSULTING:	TRSP CONSULTING 225 AVILA E. L. SUITE 200 REDONDO BEACH, CA 90277 TEL: 909.836.9827
STRUCTURAL:	JOHN LABR + ASSOCIATES 319 MAIN STREET, EL SEGUNDO, CA 90245 TEL: 213.226.9720
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AIR NOISE:	CAJA ENVIRONMENTAL SERVICES, LLC 15355 SHEPHERD WAY, SUITE 315 VAN NUYS, CA 91405 TEL: 310.486.8700
LANDSCAPE:	CHARLES TROWBRIDGE & ASSOCIATES 17821 ROMELLE AVENUE, SANTA ANA, CA 92705 TEL: 714.532.5663



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SUBMITTAL INFORMATION

PROJECT NUMBER: 16.014

NO.	DATE	DESCRIPTION
1	03/11/2019	PLANNING SUBMITTAL
2	06/28/2020	CRA SUBMITTAL
3	12/01/2020	PLANNING RESUBMITTAL
4	10/15/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	06/01/2022	PLANNING RESUBMITTAL
7	04/28/2023	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

SHEET NAME:
**AERIAL VIEW ALONG
FLOWER STREET**

SCALE: 1/8" = 1'-0"

SHEET NO.:
A25

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EXHIBIT "A"

Page No. 29 of 37

Case No. DIR-2019-1492-TDR-SPR

THE ELEMENT

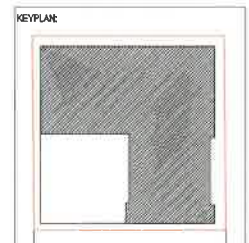
1323 S. FLOWER STREET,
LOS ANGELES, CA



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LANDSCAPE:	CHARLES TROWBRIDGE & ASSOCIATES 17801 ROMELLE AVENUE, SANTA ANA, CA 92705 TEL: 714.532.3653

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SUBMITTAL INFORMATION

PROJECT NUMBER: 16,014

NO.	DATE	DESCRIPTION
1	03/11/2019	PLANNING SUBMITTAL
2	05/28/2020	CRA SUBMITTAL
3	12/01/2020	PLANNING RESUBMITTAL
4	10/15/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	09/01/2022	PLANNING RESUBMITTAL
7	04/28/2023	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

SHEET NAME:
**SEMI-AERIAL VIEW
OF LEVEL 02
POOL TERRACE**

SCALE: 1/8" = 1'-0"

SHEET NO.:
A26

Z:\WP-PROJECTS\16,014_1323-FLOWER-STREET-TDR-SPR\1323-FLOWER-STREET-TDR-SPR-16,014-23-31-11-19-20.dwg (14-28-23 31-11-19-20) Plotted by: Todd Komet

EXHIBIT "A"

Page No. 30 of 37

Case No. DIR-2019-1492-TDR-SPR



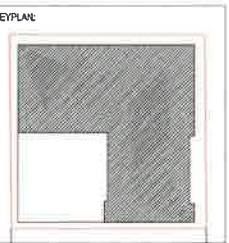
THE ELEMENT

1323 S. FLOWER STREET,
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APPLICANT:	TISHBEE'S LLC 1323 S. FLOWER STREET, LOS ANGELES, CA 90015 TEL: 213.746.1100
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PROJECT NUMBER: 18.014

NO.	DATE	DESCRIPTION
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2	09/28/2020	CRA SUBMITTAL
3	12/01/2020	PLANNING RESUBMITTAL
4	10/19/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	09/01/2022	PLANNING RESUBMITTAL
7	04/28/2023	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

SHEET NAME:

VIEW OF OUTDOOR
TERRACE AT LEVEL 11

SCALE: 1/8" = 1'-0"

SHEET NO.:

A27

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2:\10-PROJECTS\18.014_1323-S-FLOWER-STREET-TDR-SPR\DWG\11-LEVEL-11-TERRACE-OUTDOOR-VIEW.dwg (6/18/23 2:11:42PM) Printed by: bhsh@korn

EXHIBIT "A"

Page No. 31 of 37

Case No. DIR-2019-1492-TDR-SPR



LEBANON LANE ELEVATION (G)



STREET VIEW OF LEBANON LN. AND CAMERON LN. (F)



STREET VIEW OF FLOWER ST. AND CAMERON LN. (E)



CAMERON LANE ELEVATION (D)



AERIAL VIEW OF LEBANON LN. AND MID BLOCK (H)



AERIAL VIEW FLOWER ST. AND CAMERON LN. (C)



STREET VIEW OF LEBANON LN. AND MID BLOCK (J)



STREET VIEW OF MID BLOCK AND FLOWER ST. (B)



MID BLOCK ELEVATION (K)



STREET VIEW OF FLOWER ST. AND MID BLOCK (L)



STREET VIEW OF FLOWER ST. AND CAMERON LN. (M)



FLOWER STREET ELEVATION (A)

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6	05/01/2022	PLANNING RESUBMITTAL
7	04/28/2023	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

SHEET NAME:

PHOTOGRAPHS OF
PHYSICAL MODEL

SCALE: 1/8" = 1'-0"

SHEET NO.:

A28

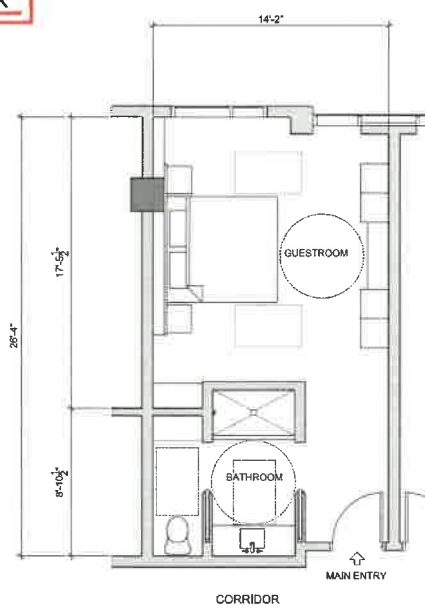
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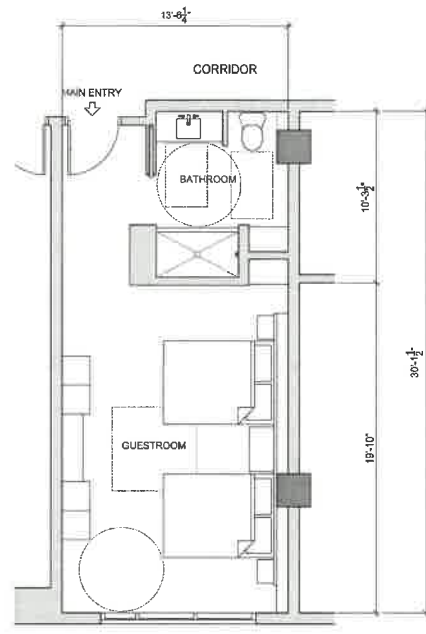
Page No. 32 of 37

Case No. DIR-2019-1492-TDR-SPR



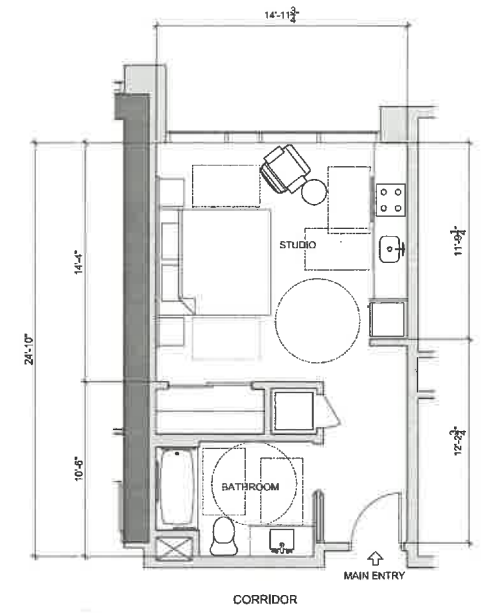
UNIT NET AREA = 363 SF

TYPICAL PLAN- GUESTROOM (KING BED) 5
1/4" = 1'-0"



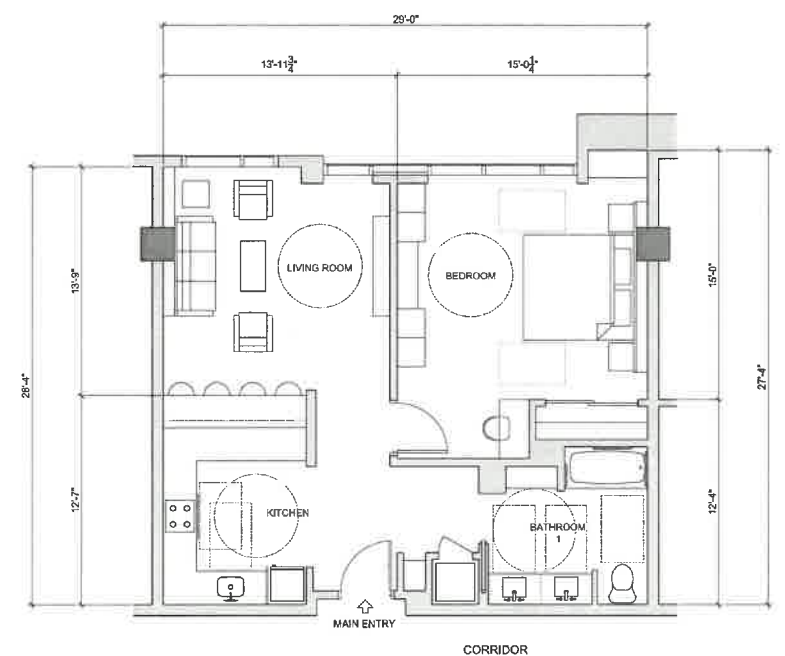
UNIT NET AREA = 400 SF

TYPICAL PLAN- GUESTROOM (DOUBLE QUEEN BED) 4
1/4" = 1'-0"



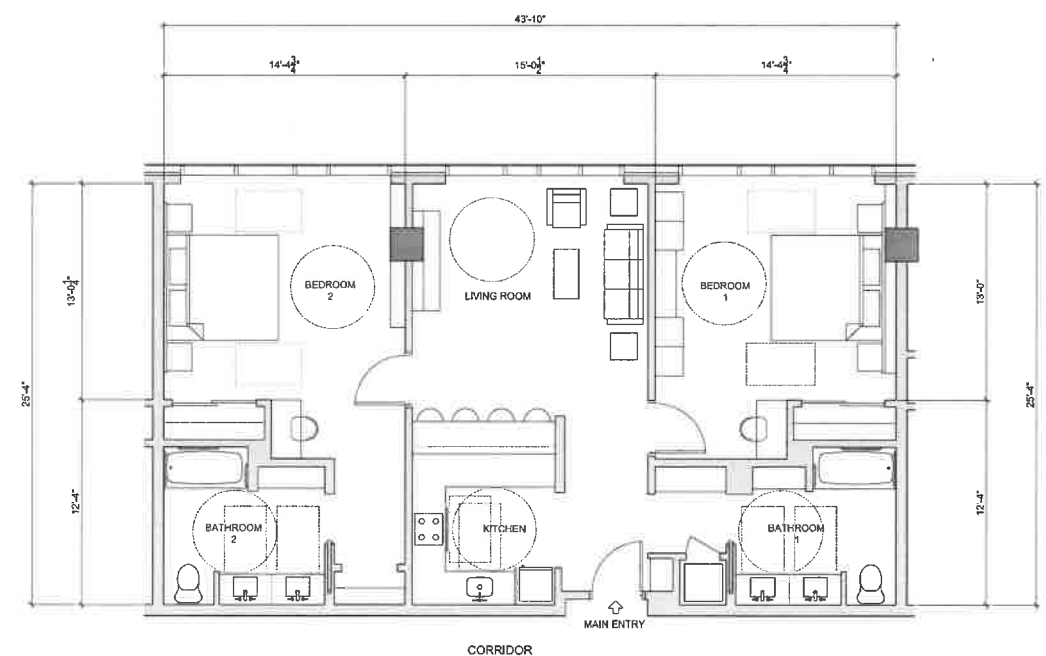
UNIT NET AREA = 364 SF

TYPICAL PLAN- APARTMENT (STUDIO) 2
1/4" = 1'-0"



UNIT NET AREA = 747 SF

TYPICAL PLAN- APARTMENT (1-BEDROOM) 3
1/4" = 1'-0"



UNIT NET AREA = 1,120 SF

TYPICAL PLAN- APARTMENT (2-BEDROOM) 1
1/4" = 1'-0"

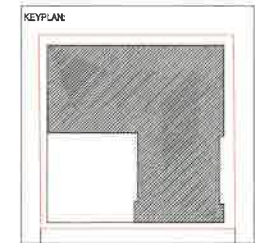
THE ELEMENT

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6	09/01/2022	PLANNING RESUBMITTAL
7	XX/XX/2023	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

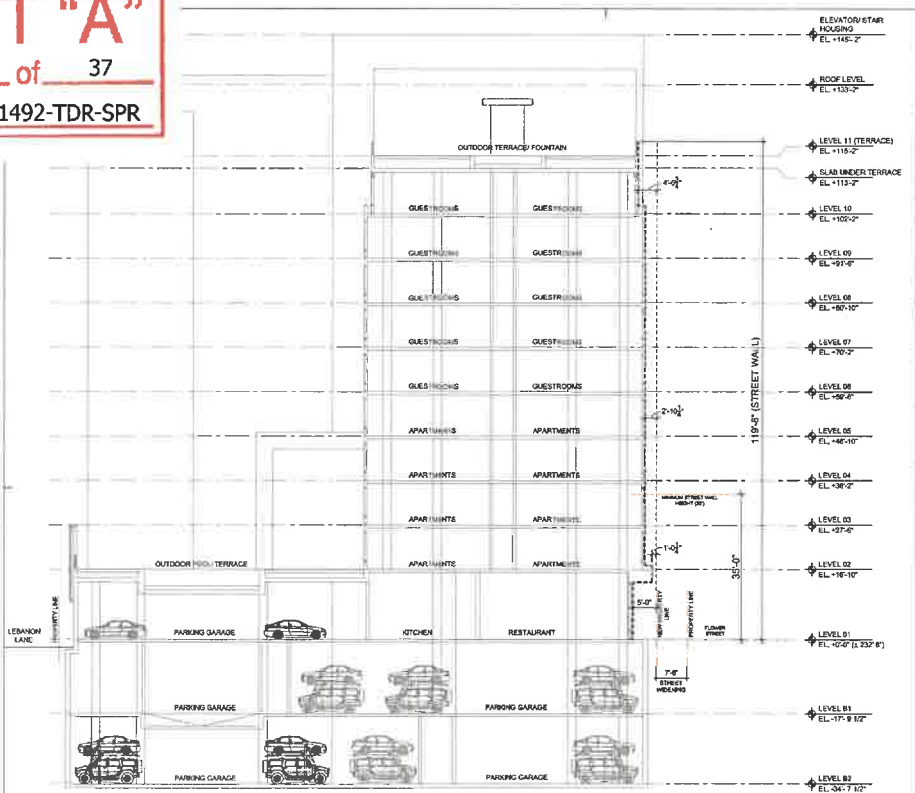
SHEET NAME:

TYPICAL FLOOR PLANS

SCALE: 1/4" = 1'-0"

SHEET NO.:

A29



FLOWER STREET ELEVATION (FRONT)



MASSING AND STREET WALL

PER SECTION 6.B.1
 STREET WALLS SHALL BE LOCATED IN RELATIONSHIP TO THE BACK OF SIDEWALK AS SPECIFIED IN TABLE 3-1. SEE DETAIL 1-STREET WALL SETBACK DIMENSIONS FOR PERCENTAGE CALCULATIONS

PER SECTION 6.B.2
 STREET WALLS SHALL HAVE THE MINIMUM HEIGHT SPECIFIED IN TABLE 6-1. WALLS ABOVE THE GROUND FLOOR THAT STEP BACK LESS THAN 15 FEET FROM THE GROUND FLOOR STREET WALL ARE CONSIDERED TO BE PART OF THE STREET WALL.

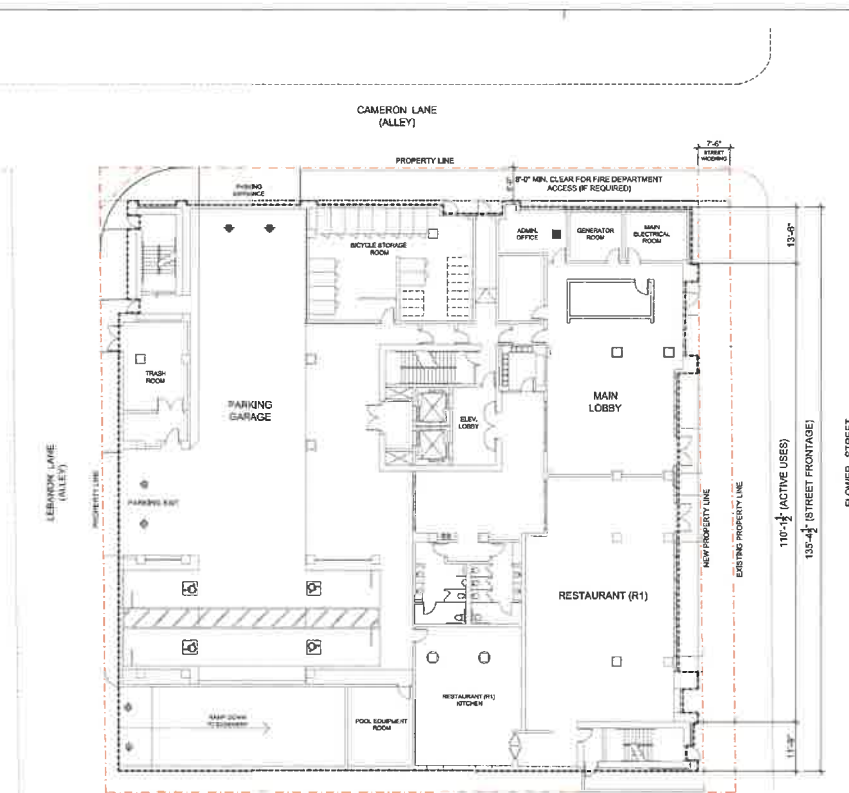
PER TABLE 6-1
BUILDING STREET WALL CHARACTERISTICS

DISTRICT/NEIGHBORHOOD	STORIES ²
SOUTH PARK (SOUTH OF PICO)	35 (3)

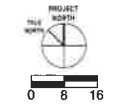
2 THE REQUIREMENT IS HEIGHT MEASURED IN FEET. STORIES ARE INCLUDED FOR INFORMATION ONLY.

WALLS ABOVE THE GROUND FLOOR THAT STEP BACK LESS THAN 15 FEET FROM THE GROUND FLOOR STREET WALL ARE CONSIDERED TO BE PART OF THE STREET WALL.

MASSING AND STREET WALL 1"= 16'-0" 4



LEVEL 01 FLOOR PLAN



GROUND FLOOR TREATMENT

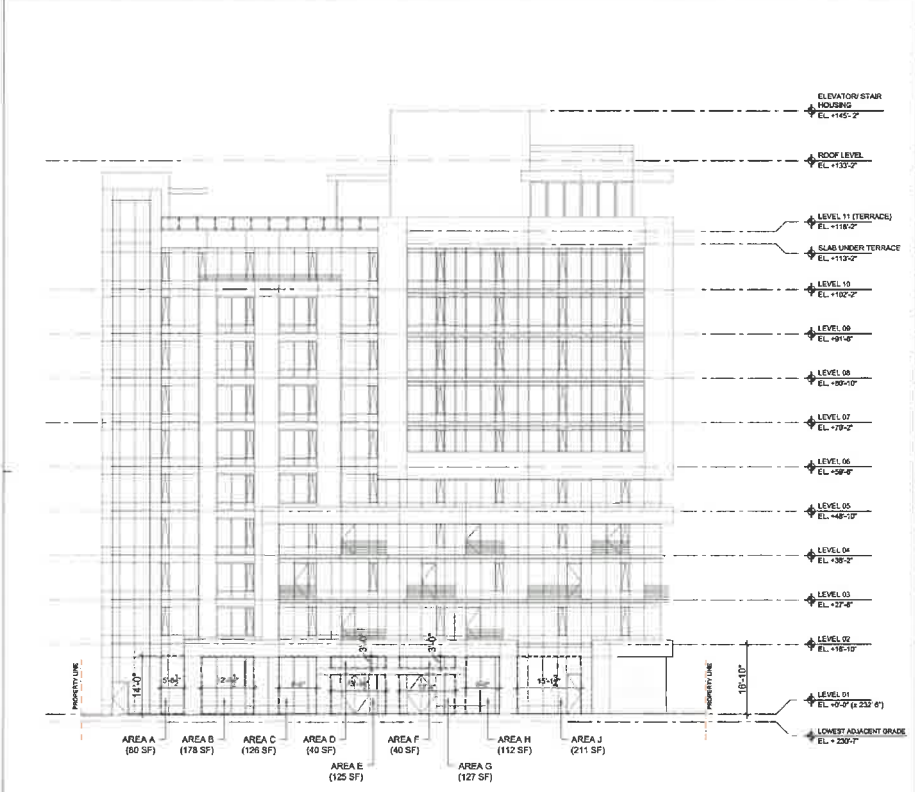
PER SECTION 4.C.1
 ALONG OTHER STREETS, AT LEAST 75% OF THE GROUND FLOOR STREET FRONTAGE SHALL BE DESIGNED TO ACCOMMODATE ACTIVE USES

FRONTAGE % CALCULATIONS

DESCRIPTION (FRONTAGE)	LENGTH (FEET)
PROJECT FRONTAGE	135' 4-1/2"
ACTIVE USES (FRONTAGE)	110' 1-1/2"
PERCENTAGE (ACTIVE USES)	81.35 %

PER DOWNTOWN DESIGN GUIDE- PROPOSED PROJECT COMPLIES WITH SECTION 4.C.1 (ACTIVE USES STREET FRONTAGE)

GROUND FLOOR STREET FRONTAGE 1"= 16'-0" 2



FLOWER STREET ELEVATION (FRONT)



STREET FACADE- WALL OPENINGS

PER SECTION 4.C.2
 THE GROUND FLOOR TREATMENT OF ACTIVE USES SHOULD BE SIMILAR TO THAT OF RETAIL SPACE, EXCEPT THAT WALL OPENINGS SHALL COMPREHEND AT LEAST 50% OF THE STREET LEVEL FACADE.

LEVEL 01 FLOOR TO CEILING HEIGHT = 15'-10"

WALL OPENING CALCULATIONS

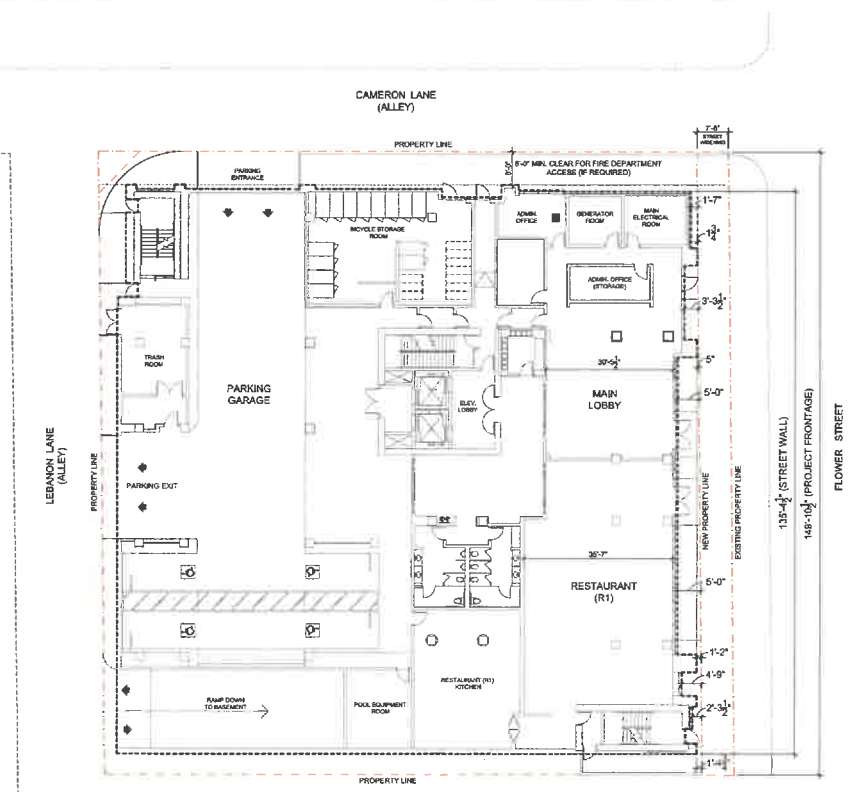
DESIGNATION (OPENING)	AREA (SQ. FEET)
AREA A	80
AREA B	178
AREA C	126
AREA D	40
AREA E	125
AREA F	40
AREA G	127
AREA H	112
AREA J	211
TOTAL	1,039

WALL OPENING % CALCULATIONS

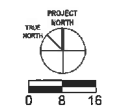
DESCRIPTION (FRONTAGE)	AREA (SQ. FEET)
STREET LEVEL FACADE	1,895
ACTIVE USES (OPENINGS)	1,039
PERCENTAGE (WALL OPENING)	54.83 %

PER DOWNTOWN DESIGN GUIDE- PROPOSED PROJECT COMPLIES WITH SECTION 4.C.2 (WALL OPENINGS)

STREET LEVEL WALL OPENINGS 1"= 16'-0" 3



LEVEL 01 FLOOR PLAN



STREET WALL SETBACK

PER TABLE 3-2
 PERMITTED STREET WALL SETBACK FROM BACK OF REQUIRED SIDEWALK

DISTRICT/NEIGHBORHOOD	RETAIL ²
SOUTH PARK	0 / 0-5

MINIMUM AVERAGE/ MIN- MAX. RANGE

2. NO SETBACK IS REQUIRED ADJACENT TO GROUND-FLOOR RETAIL; HOWEVER, A PROJECT MAY SET BACK WITHIN THE SPECIFIED RANGE.

FOR PROPOSED PROJECT-
 MINIMUM SETBACK PROVIDED = 1-3/4"
 MAXIMUM SETBACK PROVIDED = 5'-0"
 AVREAGE SETBACK PROVIDED = 2'-2.75"

PER DOWNTOWN DESIGN GUIDE- PROPOSED PROJECT COMPLIES WITH SECTION 3.B.1 AND TABLE 3-2 (STREET WALL SETBACK DIMENSIONS)

PER TABLE 6-1
BUILDING STREET WALL CHARACTERISTICS

DISTRICT/NEIGHBORHOOD	OTHER STREETS
SOUTH PARK (SOUTH OF PICO)	70 %

MINIMUM PERCENT OF PROJECT FRONTAGE TO BE LINED WITH BUILDING STREET WALL AT BACK OF SETBACK

STREET WALL % CALCULATIONS

DESCRIPTION (FRONTAGE)	LENGTH (FEET)
PROJECT FRONTAGE	149' 10-1/2"
STREET WALL (FACADE)	135' 4-1/2"
PERCENTAGE (STREET WALL)	90.32 %

PER DOWNTOWN DESIGN GUIDE- PROPOSED PROJECT COMPLIES WITH SECTION 6.B.1 (STREET WALL DIMENSIONS)

STREET WALL SETBACK DIMENSIONS 1"= 16'-0" 1

THE ELEMENT
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FIRE LIFE SAFETY CODE CONSULTING: TERP CONSULTING
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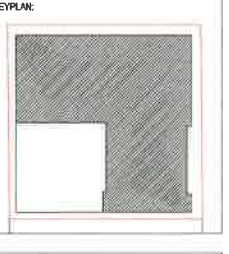
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SUBMITTAL INFORMATION:

NO.	DATE	DESCRIPTION
1	03/11/2019	PLANNING SUBMITTAL
2	06/28/2020	CRA SUBMITTAL
3	12/01/2020	PLANNING RESUBMITTAL
4	10/15/2021	PLANNING RESUBMITTAL
5	02/04/2022	UNIT LAYOUTS
6	09/01/2022	PLANNING RESUBMITTAL
7	XX/XX/2023	PLANNING RESUBMITTAL

FULL SIZE PRINT: 30" x 42"

SHEET NAME:
PROJECT COMPLIANCE WITH DOWNTOWN DESIGN GUIDE

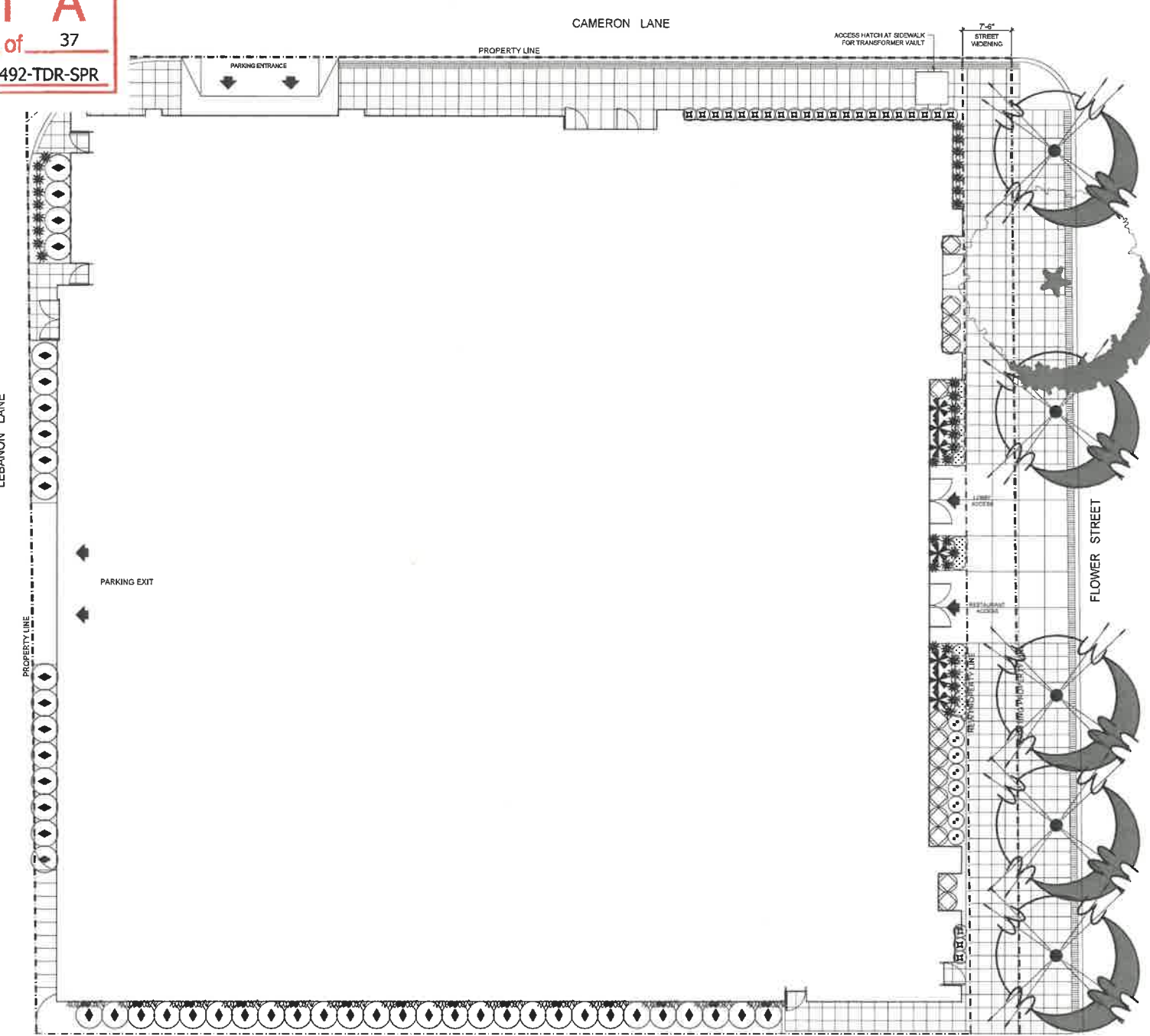
SCALE: 1/16" = 1'-0"

SHEET NO.:
A30

EXHIBIT "A"

Page No. 34 of 37

Case No. DIR-2019-1492-TDR-SPR



PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QNTY	PLANT FACTOR
TREES					
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	24" BOX	5	LOW
	PLICUS MICROCARPA NITIDA	INDIAN LAUREL FIG	EXISTING	1	MOD
	AGONIS JERVIS BAY AFTER DARK	DARK PEPPERMINT TREE	24" BOX	6	LOW
SHRUBS					
	NANDINA DOMESTICA 'GULF STREAM'	DWARF HEAVENLY BAMBOO	5 GAL	24	LOW
	DIANELLA TASMANICA 'VARIEGATA'	VARIEGATED FLAX LILY	5 GAL	36	LOW
	AGAVE ATTENUATA	AGAVE	15 GAL	7	LOW
	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH	5 GAL	14	LOW
	PRUNUS CAROLINIANA BRIGHT N TIGHT	CAROLINA CHERRY	5 GAL	45	LOW
VINES					
	HARDENBERGIA 'HAPPY WANDERER'	PURPLE LILAC VINE	5 GAL	14	LOW
	DOUGAINVILLEA 'SAN DIEGO RED'	RED DOUGAINVILLEA	5 GAL	14	LOW
GROUND COVER					
	CARISSA MAC. 'EMERALD CARPET'	NATAL PLUM	1 GAL @ 2'-0" O.C.	42	LOW

TREE REQUIREMENT CALCULATIONS
 1 TREE PER EVERY 4 DWELLING UNITS REQUIRED PER LAMC 12.21 G.2
 445 DWELLING UNITS = 112 TREES REQUIRED
 TOTAL OF 12 TREES PROVIDED
 G TREES AT LEVEL 01 - AT STREET FRONT (INCLUDES 1 EXIST STREET TREE)
 G TREES AT LEVEL 02 - AT OUTDOOR TERRACE



LOPHOSTEMON CONFERTUS



AGONIS JERVIS BAY AFTER DARK



NANDINA DOMESTICA 'GULF STREAM'



DIANELLA TASMANICA 'VARIEGATA'



AGAVE ATTENUATA



CALLISTEMON 'LITTLE JOHN'



PRUNUS CAROLINIANA BRIGHT N TIGHT



ANIGOZANTHUS F. 'DUSH PEARL'



PHORMIUM 'BRONZE BABY'



LANTANA MONTEVIDENSIS



RHIPIDOLYS UMBELLATA 'MINOR'



HARDENBERGIA 'HAPPY WANDERER'



DOUGAINVILLEA 'SAN DIEGO RED'



CARISSA MAC 'EMERALD CARPET'

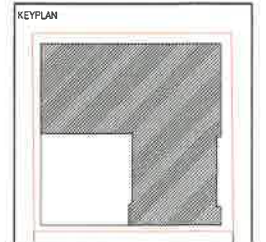
THE ELEMENT

1323 S. FLOWER STREET,
LOS ANGELES, CA

APPLICANT:	TISHBEE'S LLC 1323 S. FLOWER STREET, LOS ANGELES, CA 90015 TEL: 213.746.1100
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AIR NOISE:	CAJA ENVIRONMENTAL SERVICES, LLC 15250 SHERMAN WAY, SUITE 315 VAN NUYS, CA 91410 TEL: 310.489.6700
LANDSCAPE:	CHARLES TROWBRIDGE & ASSOCIATES 17611 ROMELLE AVENUE, SANTA ANA, CA 92705 TEL: 714.552.3863



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SHEET INFORMATION

PROJECT NO. 16.014

NO.	DATE	DESCRIPTION

FULL SIZE PRINT: 30" x 42"

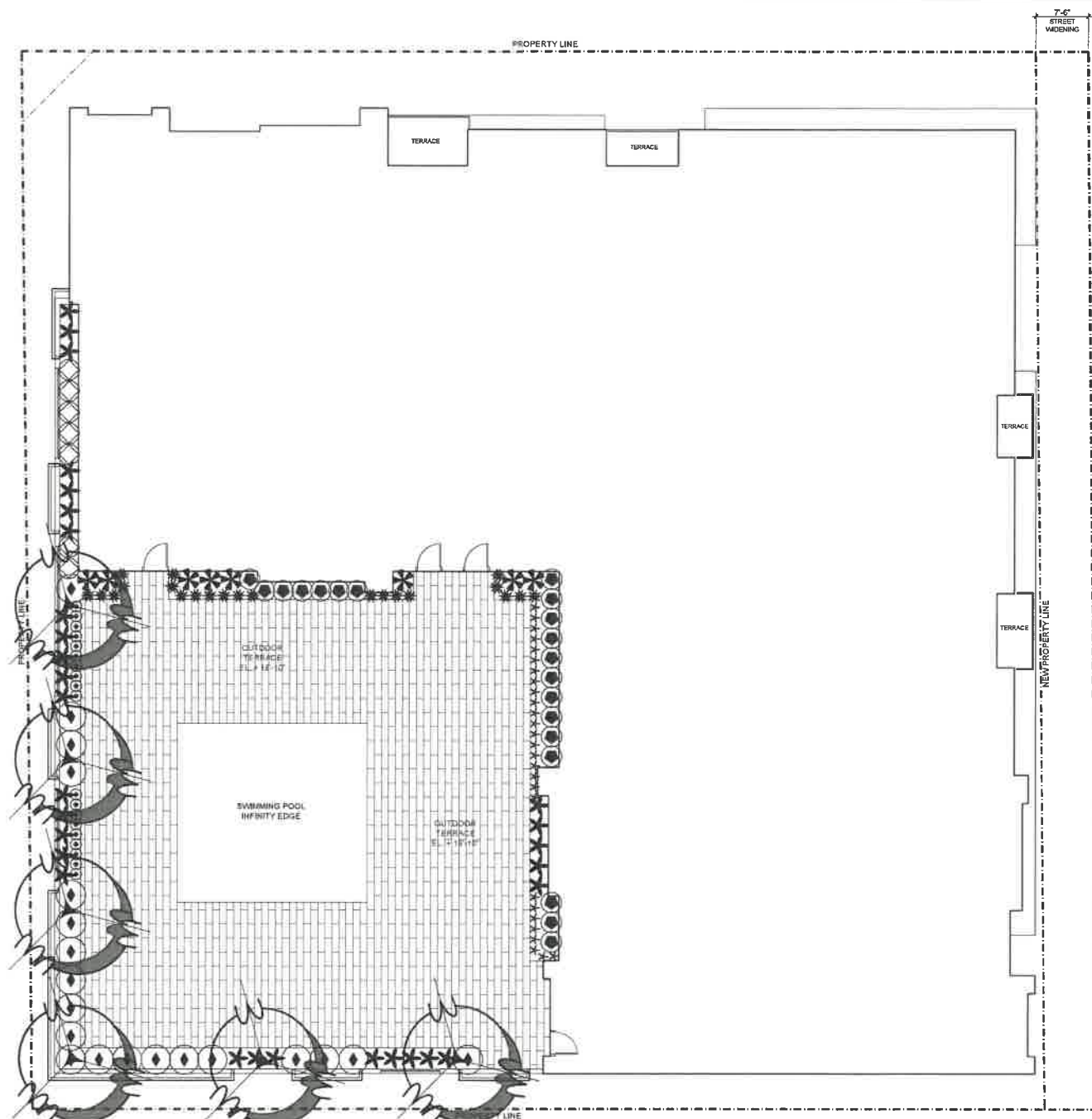
SHEET NAME:
**PROPOSED
 LEVEL-01
 CONCEPTUAL
 LANDSCAPE-PLAN**

SCALE: 1/8"=1'-0"

SHEET NO.
LP-1

EXHIBIT "A"

Page No. 35 of 37
Case No. DIR-2019-1492-TDR-SPR



PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QNTY	PLANT FACTOR
TREES					
	AGONIS JERVIS BAY AFTER DARK	DARK PEPPERMINT TREE	24" BOX	6	LOW
SHRUBS					
	NANDINA DOMESTICA 'GULF STREAM'	DWARF HEAVENLY BAMBOO	5 GAL	24	LOW
	DIANELLA TASMANICA VARIEGATA	VARIEGATED FLAX LILY	5 GAL	22	LOW
	AGAVE ATTENUATA	AGAVE	15 GAL	6	LOW
	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH	5 GAL	7	LOW
	PRINUS CAROLINIANA BRIGHT N TIGHT	CARDUNA CHERRY	5 GAL	20	LOW
	PHORMIUM 'BRONZE BABY'	DWARF BRONZE FLAX	5 GAL	30	LOW
	LANTANA MONTEVIDENSIS	TRAILING LANTANA	5 GAL	20	LOW
	RHAPHIOLIPS UMBELLATA 'MINOR'	YEDDOW HAWTHORN	5 GAL	20	LOW

TREE REQUIREMENT CALCULATIONS
1 TREE PER EVERY 4 DWELLING UNITS REQUIRED PER LAMC 12.21 G.2
40 DWELLING UNITS = 12 TREES REQUIRED
TOTAL OF 12 TREES PROVIDED
6 TREES AT LEVEL 01 - AT STREET FRONT (INCLUDES 1 EXIST STREET TREE)
6 TREES AT LEVEL 02 - AT OUTDOOR TERRACE



LOPHOSTEMON CONFERTUS



AGONIS JERVIS BAY AFTER DARK



NANDINA DOMESTICA 'GULF STREAM'



DIANELLA TASMANICA VARIEGATA



AGAVE ATTENUATA



CALLISTEMON 'LITTLE JOHN'



PRINUS CAROLINIANA BRIGHT N TIGHT



ANIGOZANTHUS F. 'DUSH PEARL'



PHORMIUM 'BRONZE BABY'



LANTANA MONTEVIDENSIS



RHAPHIOLIPS UMBELLATA 'MINOR'



HARDENERGIA 'HAPPY WANDERER'



DOUGANVILLEA 'SAN DIEGO RED'



CARISSA MAC 'EMERALD CARPET'

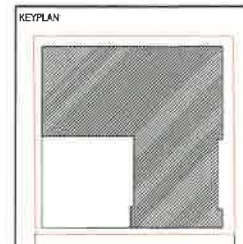
THE ELEMENT

1323 S. FLOWER STREET,
LOS ANGELES, CA

APPLICANT:	TISHBEE'S LLC 1323 S. FLOWER STREET, LOS ANGELES, CA 90015 TEL: 213.746.1100
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SITE SURVEY:	JC SURVEY P.O. BOX 85 ACTON, CA 95010 TEL: 961.269.2177
FIRE LIFE SAFETY/ CODE CONSULTING:	TERP CONSULTING 225 AVENUE I, SUITE 202 REDONDO BEACH, CA 90277 TEL: 909.636.9027
STRUCTURAL:	JOHN LABIE - ASSOCIATES 319 MAIN STREET, EL SEGRADO, CA 92645 TEL: 213.238.8700
TRAFFIC:	UNSCOTT, LAW & GREENSPAN ENGINEERS 2033 BURBANK BLVD., SUITE C WOODLAND HILLS, CA 91367 TEL: 818.635.8640
AIR/NOISE:	CAJA ENVIRONMENTAL SERVICES, LLC 1520 SHERMAN WAY, SUITE 315 VAN NUYS, CA 91406 TEL: 310.489.6700
LANDSCAPE:	CHARLES TROMBRODGE & ASSOCIATES 1781 ROMELLE AVENUE, SANTA ANA, CA 92705 TEL: 714.532.3630



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SHEET INFORMATION

PROJECT NO.	16.014	
NO.	DATE	DESCRIPTION

FULL SIZE PRINT: 30" x 42"
SHEET NAME:
**PROPOSED
LEVEL-02
CONCEPTUAL
LANDSCAPE-PLAN**
SCALE: 1/8"=1'-0"

SHEET NO:
LP-2

EXHIBIT "A"

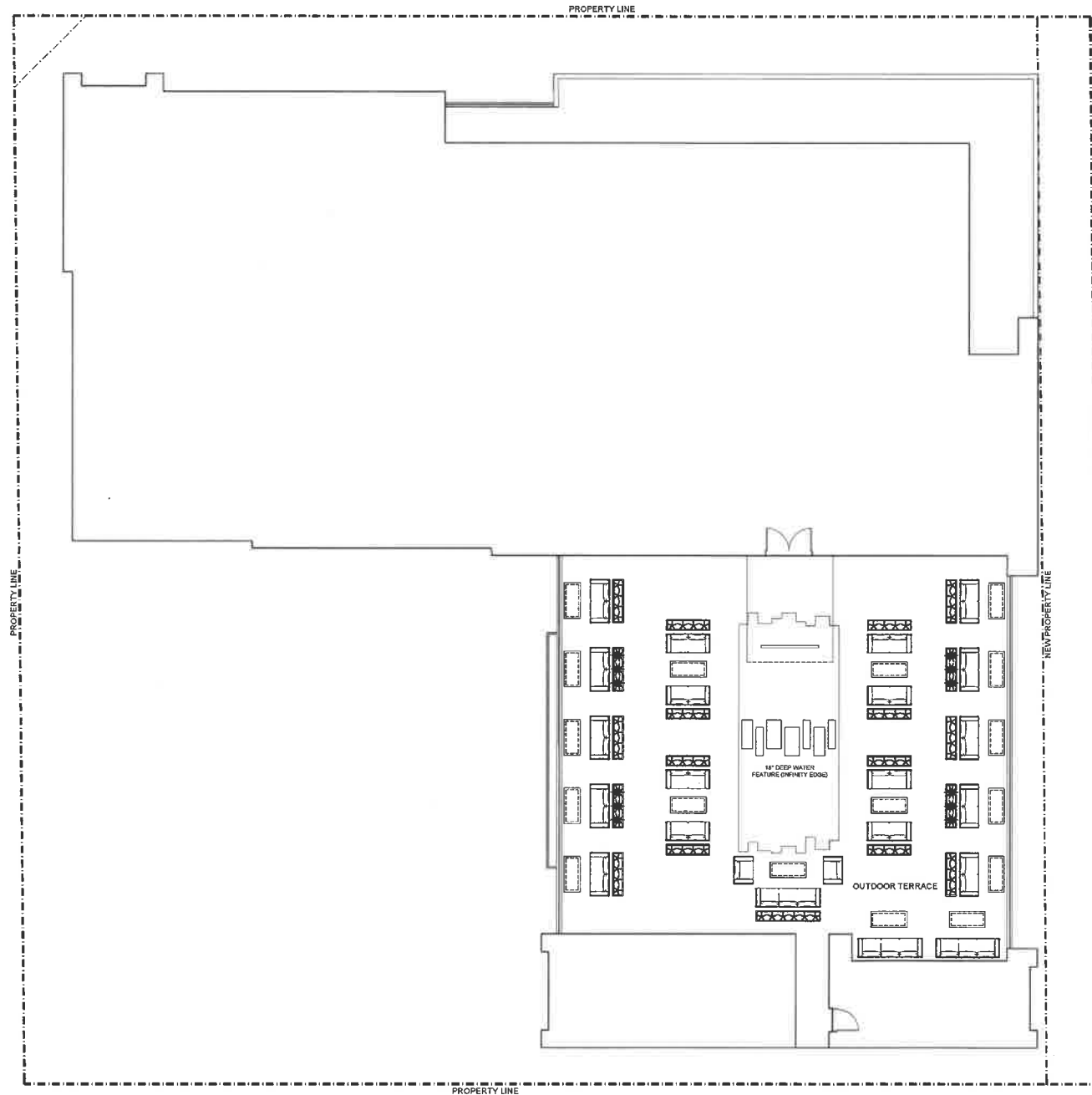
Page No. 36 of 37

Case No. DIR-2019-1492-TDR-SPR

THE ELEMENT

1323 S. FLOWER STREET,
LOS ANGELES, CA

APPLICANT:	TISHBEE'S LLC 1323 S. FLOWER STREET, LOS ANGELES, CA 90015 TEL: 213.746.1100
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SITE SURVEY:	JC SURVEY P.O. BOX 86 ACTON, CA 95910 TEL: 661.269.2177
FIRE LIFE SAFETY CODE CONSULTING:	TERP CONSULTING 225 AVENUE I, SUITE 202 REDONDO BEACH, CA 90277 TEL: 909.636.9827
STRUCTURAL:	JOHN LABIB + ASSOCIATES 315 MAIN STREET, EL SEGUNDO, CA 90245 TEL: 213.239.9700
TRAFFIC:	LINSCOTT, LAW & GREENSPAN, ENGINEERS 2023 BURBANK BLVD., SUITE C WOODLAND HILLS, CA 91367 TEL: 818.836.8648
AIR/NOISE:	CAJAN ENVIRONMENTAL SERVICES, LLC 13260 SHERMAN WAY, SUITE 315 VAN NUYS, CA 91406 TEL: 310.459.6700
LANDSCAPE:	CHARLES TROWBRIDGE & ASSOCIATES 17001 ROMELLE AVENUE, SANTA ANA, CA 92705 TEL: 714.532.3660



PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QNTY	PLANT FACTOR
SHRUBS					
	DIANELLA TASMANICA 'VAREGATA' NOTE: INSTALL IN DECORATIVE LIGHT WEIGHT, MOVEABLE PLANTERS	VAREGATED FLAX LILY	1 GAL	12	LOW
	ANIGOZANTHUS F. 'BUSH PEARL' NOTE: INSTALL IN DECORATIVE LIGHT WEIGHT, MOVEABLE PLANTERS	PINK KANGAROO PAW	1 GAL	76	LOW



DIANELLA TASMANICA 'VAREGATA'

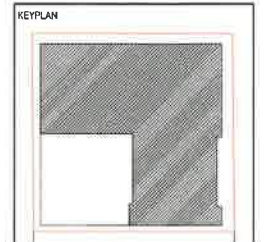


ANIGOZANTHUS F. 'BUSH PEARL'

NOTE:
PLANTING INDICATED ON THIS LEVEL IS
FOR DECORATIVE PURPOSES ONLY



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SHEET INFORMATION

PROJECT NO. 16.014

NO.	DATE	DESCRIPTION

FULL SIZE PRINT: 30" x 42"

SHEET NAME
**PROPOSED
LEVEL-11
CONCEPTUAL
LANDSCAPE-PLAN**

SCALE: 1/8"=1'-0"

SHEET NO.
LP-3



EXHIBIT "A"

Page No. 37 of 37

Case No. DIR-2019-1492-TDR-SPR

Architectural Survey



Scale: 1" = 10'

Legend:

- bs = bottom of step(s)
- bw = bottom of wall
- cab = cable
- cf = curb face
- conc = concrete
- fdc = fire department connection
- ff = finished floor
- fl = flange
- fs = finished surface
- gf = garage floor
- qm = gas meter
- qv = gas valve
- mh = manhole
- rdo = roof drain outlet
- slb = street light box
- smh = sewer manhole
- tc = top of curb
- tmh = top of manhole
- ts = top of step
- tsb = traffic signal box
- tv = top of vertical
- tup = typical
- w.i. = wrought iron
- wm = water meter

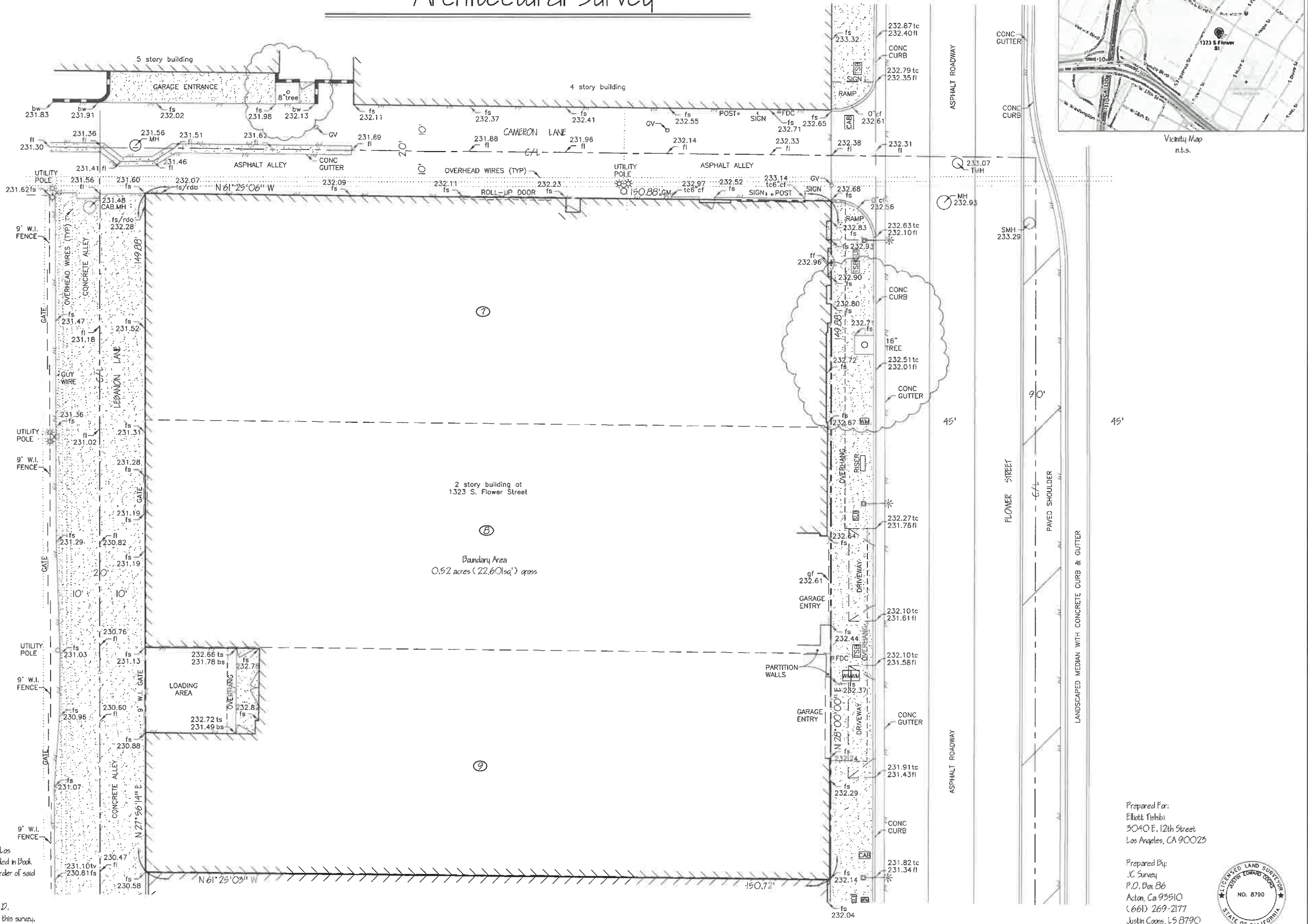
- = CONCRETE AREA
- = EDGE OF ASPHALT PAVEMENT
- = WALL
- = TREE CANOPY/DRIPLINE
- = DOOR/GATE
- = DOUBLE DOOR
- = STREET LIGHT
- = LIGHT

Date of Survey: August 5, 2016

Site Address: 1323 S. Flower Street, Los Angeles, CA, APN's 5134-010-005 & 006

Legal Description: Lots 7, 8 & 9 in the Cameron Tract, in the City of Los Angeles, County of Los Angeles, State of California, as per map recorded in Book 7, Page 21, of Miscellaneous Records, in the office of the County Recorder of said County.

Benchmark: The elevation of 233.29 held on sewer manhole structure 1D, 51610220, on file in the City of Los Angeles, was used as datum for this survey.



Prepared For:
Elliott Tehbi
3040 E. 12th Street
Los Angeles, CA 90025

Prepared By:
J.C. Survey
P.O. Box 86
Acton, Ca 95510
(661) 269-2177
Justin Coons, LS 8790

