



MARIPOSA APTS

ENTITLEMENT SET // 8.25.2023

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OWNER // 1412 N. MARIPOSA PARTNERS LLC

ARCHITECT // JEFF ZBIKOWSKI ARCHITECTURE

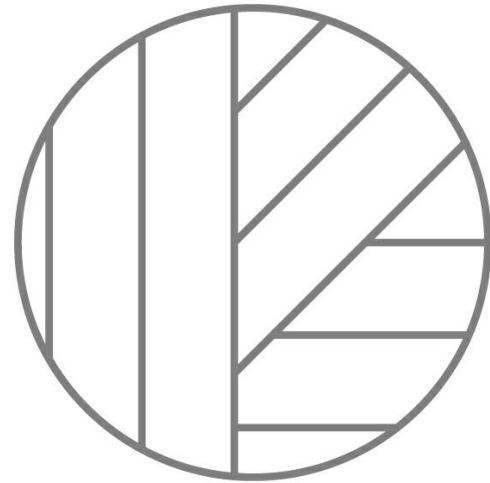
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LAND USE CONSULTANT // ALCHEMY PLANNING + LAND USE

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LANDSCAPE ARCHITECT // SAVAGE LAND DESIGN

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SEAL:



REVISIONS

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CLIENT NAME:

1412. N MARIPOSA PARTNERS
LLC

PROJECT NAME:

MARIPOSA APTS

NOT FOR CONSTRUCTION

PROJECT ADDRESS:

1412 N MARIPOSA AVE
LOS ANGELES, CA

JOB NUMBER:

2213

DATE:

8.25.2023

SHEET TITLE:

COVER SHEET

SHEET NUMBER

G000

DRAWING SET TITLE:

ENTITLEMENT SET

8/25/2023 11:20:40 AM

ARCHITECTURAL ABBREVIATIONS

@ Ø	AT DIAMETER	FLR FMC FOC FOF FOM FOS FR FS	FLOOR FLOOR MATERIAL CHANGE FACE OF CONCRETE FACE OF FINISH FACE OF MASONRY FACE OF STUD FIRE RESISTIVE FINISH SURFACE	PL PIP PLAM PT PTD	PROPERTY LINE PROTECT IN PLACE PLASTIC LAMINATE PAINT PAINTED
AB A/C ACT ADA	ANCHOR BOLT AIR CONDITIONING ACOUSTIC CEILING TILE AMERICANS WITH DISABILITIES ACT			QTY	QUANTITY
ADJ AFF ALT ALUM APPROX ARCH	ADJACENT ABOVE FINISH FLOOR ALTERNATE ALUMINUM APPROXIMATELY ARCHITECT	GA GALV GB GC GYP BD	GAGE GALVANIZED GRAB BAR GENERAL CONTRACTOR GYPSUM BOARD	R RCP RD REF REQ'D REV RM ROW RRM	RADIUS or RISER REFLECTED CEILING PLAN ROOF DRAIN REFRIGERATOR REQUIRED REVISION or REVISED ROOM RIGHT OF WAY RESTROOM
BD BF BLK BM BTWN	BOARD BRACE FRAME BLOCK BEAM BETWEEN	HB HC HCW HDR HM HR HT	HOSE BIBB HOLLOW CORE HOLLOW CORE WOOD HEADER HOLLOW METAL HANDRAIL HEIGHT	SC SCW SF SHT SHTG SIM SL ST STL STL STRUCT	SOLID CORE SOLID CORE WOOD SQUARE FEET SHEET SHEATHING SIMILAR SLOPE STAINLESS STEEL STEEL STRUCTURAL
CL CLG CLR CMU COL CONC CONT CONTR CPT CRS CT	CABINET CENTER LINE CLOSET CEILING CLEAR CONCRETE MASONRY UNIT COLUMN CONCRETE CONTINUOUS CONTRACTOR CARPET COURSES CERAMIC TILE	INS INT JST LAM LAV LIN	INSULATION INTERIOR JOIST LAMINATE LAVATORY LINOLEUM	T TBD TH THK TJ TO TOC TOP TOS TOSHTG TOW TYP	TREAD TO BE DETERMINED THRESHOLD THICK TRUSS JOIST TOP OF TOP OF CONCRETE TOP OF PLATE TOP OF SLAB TOP OF SHEATHING TOP OF WALL TYPICAL
(D) DAS DBL DIA DIM DN DS DWG	DEMOLISH DISABLED ACCESS DOUBLE DIAMETER DIMENSION DOWN DOWNSPOUT DRAWING	MAX MECH MFR MIN MISC MO MTD MTL	MAXIMUM MECHANICAL MANUFACTURER MINIMUM MISCELLANEOUS MASONRY OPENING MOUNTED METAL	UNO	UNLESS NOTED OTHERWISE
(E) ELECT ELEV EOS EQ EXT	EXISTING ELECTRICAL ELEVATOR EDGE OF SLAB EQUAL EXTERIOR	N (N) NIC NTS	NOTE NEW NOT IN CONTRACT NOT TO SCALE	VCT VERT VIF	VINYL COMPOSITION TILE VERTICAL VERIFY IN FIELD
FE FF FIN FJ	FIRE EXTINGUISHER FINISH FLOOR FINISH FLOOR JOIST	OC OFCI OFOI OFVI OH OPNG	ON CENTER OWNER FURNISHED- CONTRACTOR INSTALLED OWNER FURNISHED- OWNER INSTALLED OWNER FURNISHED- VENDOR INSTALLED OVERHEAD OPENING	W/ WC WD WH WP WPT	WITH WATER CLOSET WOOD WATER HEATER WATERPROOF WORK POINT

ARCHITECTURAL SYMBOLS

	DETAIL		WINDOW MARK		ALIGN FINISHES
	BUILDING SECTION		DOOR MARK		SMOKE DETECTOR
	WALL SECTION		WALL TYPE		FIRE EXTINGUISHER
	INTERIOR ELEVATION		WORK POINT		AREA DRAIN
	EXTERIOR ELEVATION		NOTE		FLOOR DRAIN
	ELEVATION MARK		ACCESSIBLE PATH OF TRAVEL		FLOOR MATERIAL TRANSITION
			FENCE		SECURITY OPENING
			EXIT SIGN		

OPEN SPACE CALCULATIONS

TOTAL OPEN SPACE REQUIREMENTS PER LAMC 12.21.G:				
<3 HABITABLE ROOMS = 100 SF / UNIT (STUDIOS & 1BR UNITS)				
≈3 HABITABLE ROOMS = 125 SF / UNIT (2BR UNITS)				
>3 HABITABLE ROOMS = 175 SF / UNIT (3BR+ UNITS)				
OPEN SPACE REQUIRED				
NAME	NUMBER OF BEDROOMS	NUMBER OF HABITABLE ROOMS	COUNT	REQUIRED OPEN SPACE
1 BR	1	2	4	400 SF
STUDIO	0	1	68	6,800 SF
Grand total: 72			72	7,200 SF
PROJECT SEEKS AN OFF-MENU REQUEST TO ALLOW FOR ZERO REQUIRED OPEN SPACE				
PROJECT SEEKS AN OFF-MENU REQUEST TO ALLOW FOR ZERO TREE PLANTING REQUIREMENTS				

OCCUPANCY AREA CALCULATIONS

ZONING CODE AREA CALCULATIONS

BUILDABLE AREA DEFINITION PER LAMC 12.03: PRE-HIGHWAY DEDICATION LOT AREA MINUS SETBACKS FOR A 1-STORY BUILDING	
FLOOR AREA DEFINITION PER LAMC 12.03: AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF A BUILDING, BUT NOT INCLUDING THE AREA OF THE FOLLOWING: EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS HOUSING BUILDING EQUIPMENT OR MACHINERY, PARKING AREAS WITH ASSOCIATED DRIVEWAYS AND RAMPS, SPACE FOR THE LANDING OR STORAGE OF HELICOPTERS, AND BASEMENT STORAGE AREAS.	
BASE ALLOWABLE FAR PER LAMC 12.21.1:	3:1 PER LA RD2-1XL ZONE
BASE ALLOWABLE FAR PER LAMC 12.22.A.25:	4.05:1 PER DENSITY BONUS
TOTAL ALLOWABLE FLOOR AREA:	4,234 SF X 3.0 = 12,702 SF PER LAMC 12.21.1 4,234 SF X 4.05 = 17,147 SF PER LAMC 12.22.A.25
FLOOR AREA RATIO (FAR) DEFINITION PER LAMC 12.03: A RATIO ESTABLISHING RELATIONSHIP BETWEEN A PROPERTY AND THE AMOUNT OF DEVELOPMENT PERMITTED FOR THAT PROPERTY, AND IS EXPRESSED AS A PERCENTAGE OR A RATIO OF THE BUILDABLE AREA OR LOT SIZE (EXAMPLE: "3 TIMES THE BUILDABLE AREA" OR "3:1").	
TOTAL PROVIDED FLOOR AREA:	19,757 SF SEE G011 FOR FLOOR AREA CALCULATIONS PROJECT SEEKS A WAIVER OF FAR REQUIREMENTS

UNIT SCHEDULE & AFFORDABILITY

UNIT SCHEDULE					
NAME	NUMBER OF BEDROOMS	COUNT	REQUIRED OPEN SPACE	REQUIRED PARKING	AREA
1 BR	1	4	400 SF	6	1,577 SF
STUDIO	0	68	6,800 SF	102	13,425 SF
Grand total: 72		72	7,200 SF	108	15,002 SF
100% OF UNITS SHALL BE AFFORDABLE, EXCLUSIVE OF (80% HUD LOW, 20% HCD MODERATE)					

BICYCLE PARKING

BICYCLE PARKING REQUIRED PER LAMC 12.21.A.16:	
LONG TERM PARKING:	UNITS 1-25: 1 STALL PER UNIT UNITS 26-72: 1 STALL PER 1.5 UNITS TOTAL REQUIRED = 56 STALLS TOTAL PROVIDED = 0 STALLS, (PROJECT SEEKS OFF-MENU REDUCTION)
SHORT TERM PERKING:	UNITS 1-25: 1 STALL PER 10 UNITS UNITS 26-72: 1 STALL PER 15 UNITS TOTAL REQUIRED = 6 STALLS TOTAL PROVIDED = 0 STALLS, (PROJECT SEEKS OFF-MENU REDUCTION)

DEFERRED SUBMITTALS

FIRE ALARM SYSTEM	ELEVATOR
FIRE-SPRINKLER SYSTEM	TWO WAY COMMUNICATION SYSTEM
MECHANICAL	BLOCK WALL
ELECTRICAL	
PLUMBING	

BUILDING CODES USED

2023 LOS ANGELES MUNICIPAL CODE (LAMC)	2023 LOS ANGELES FIRE CODE (LAFIC)
2023 LOS ANGELES BUILDING CODE (LABC)	2023 LOS ANGELES RESIDENTIAL CODE (LARC)
2023 LOS ANGELES ELECTRICAL CODE (LAEC)	2023 LOS ANGELES GREEN BUILDING CODE (LAGBC)
2023 LOS ANGELES MECHANICAL CODE (LAMC)	
2023 LOS ANGELES PLUMBING CODE (LAPC)	

PROJECT INFORMATION

PROJECT NAME:	MARIPOSA APARTMENTS
ADDRESS:	1412 N MARIPOSA AVE LOS ANGELES, CA 90027
OWNER:	1412 N. MARIPOSA PARTNERS LLC
PROJECT DESCRIPTION:	NEW CONSTRUCTION 5-STORY, 72-UNIT AND 1-ADU, 100% AFFORDABLE HOUSING DEVELOPMENT SEEKING OFF-MENU INCENTIVES AND WAIVERS PER LAMC 12.22.A.25, AB2345, & AB2334
PROJECT FUNDING:	100% PRIVATELY FUNDED THIS IS NOT A PUBLIC HOUSING FACILITY OWNED AND/OR OPERATED BY, FOR OR ON BEHALF OF A PUBLIC ENTITY AND NO TAX CREDIT SHALL BE RECEIVED FROM STATE OR FEDERAL GOVERNMENTS. NOT A TCAC FACILITY AND NOT A SOCIAL SERVICE CENTER.
CONSTRUCTION TYPE:	TYPE-III(A (1ST-5TH FLOORS) 2-HR EXT WALLS PER LABC TABLE 601
OCCUPANCY TYPE:	R-2, A-2, S-2, B
SPRINKLERED:	NFPA-13 PER LAFIC 903.2
FIRE ALARM:	MANUAL ALARM
ACCESSIBILITY:	NON-ELEVATOR BUILDING, CBC 11A APPLIES TO 1ST FLOOR ONLY

ZONING INFORMATION

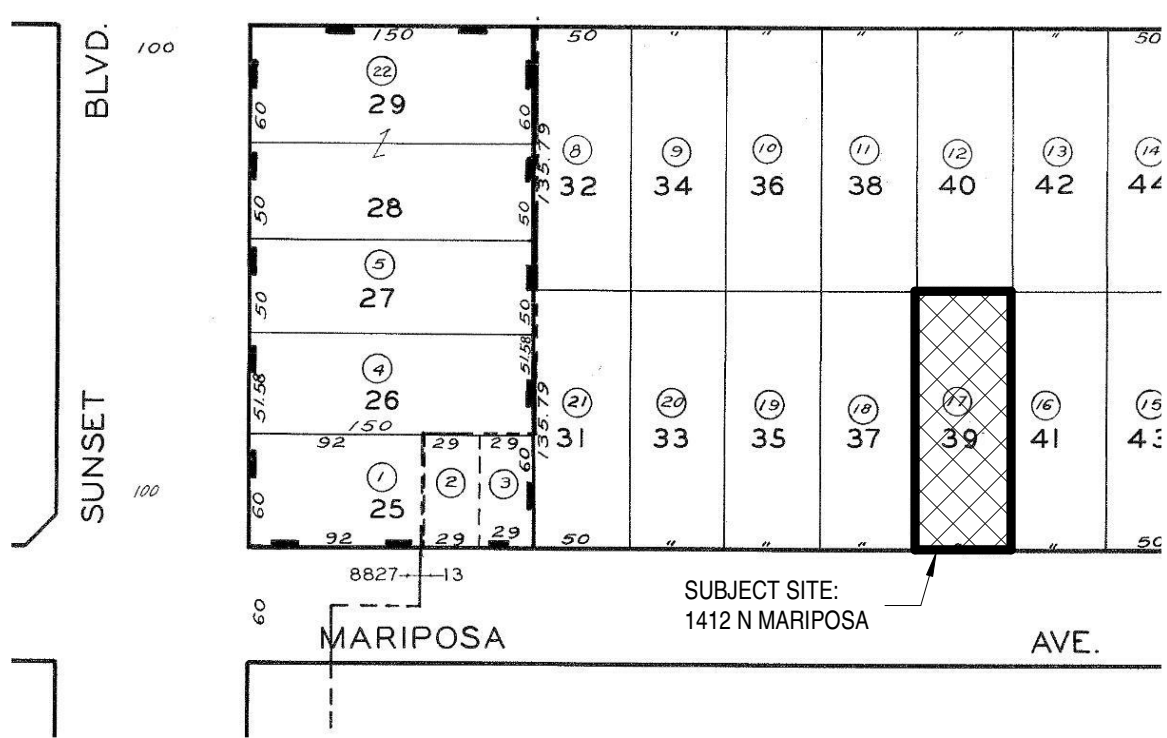
ZONE:	RD2-1XL
ZONING INFORMATION:	ZI-2452 TRANSIT PRIORITY AREA IN THE CITY OF LOS ANGELES ZI-2374 STATE ENTERPRISE ZONE: LOS ANGELES ZI-2512 HOUSING ELEMENT INVENTORY OF SITES
GENERAL PLAN LAND USE:	LOW MEDIUM II RESIDENTIAL (RD)1.5 DENSITY ALLOWED BY HOLLYWOOD COMMUNITY PLAN, AB2334)
ASSESSOR PARCEL NUMBER:	5543-024-017
TRACT:	WISENDANGER'S PROSPECT PARK ADDITION
BLOCK:	NONE
LOT:	39
FLOOD ZONE:	OUTSIDE FLOOD ZONE
METHANE ZONE:	NONE
SITE AREA:	6,789.4 SF PER ZIMAS
REQUIRED SETBACKS:	FRONT: 15'-0" SIDE: 8'-0" (5'-0" + 1' EVERY STORY OVER 2) REAR: 15'-0"
PROVIDED SETBACKS	FRONT: 7'-4" (OFF-MENU REDUCTION) SIDE: 4'-6" (PROJECT SEEKS TWO WAIVERS) REAR: 5'-6" (PROJECT SEEKS WAIVER)
ALLOWABLE HEIGHT:	30'-0" PER LAMC 12.21.1.A 63'-0" PER AB1763
PROVIDED HEIGHT PER LAMC:	64'-0", SEE SURVEY & ELEVATIONS (PROJECT SEEKS WAIVER)
ALLOWABLE HEIGHT PER LABC:	85'-0" PER LABC TABLE 504.3
PROVIDED HEIGHT PER LABC:	_____, SEE ELEVATIONS & SITE PLAN FOR GRADE PLANE CALCS.
ALLOWABLE FLOOR AREA:	12,726 SF (3.0 FAR PER RD2-1XL, 4.05 FAR PER LAMC 12.22.A.25)
PROVIDED FLOOR AREA:	19,757 SF PROJECT SEEKS WAIVER OF FAR
ALLOWABLE DENSITY PER LAMC:	PER AB2334, SITE MAY UTILIZE GENERAL PLAN DENSITY = RD1.5 6,789 / 1,500 SF DU = 4.52 (ROUND UP) 6 UNITS = BASE DENSITY PER AB2334, SITE QUALIFIES FOR UNLIMITED DENSITY
PROVIDED DENSITY:	72 UNITS (80% HUD LOW, 20% HCD MODERATE)
REQUIRED PARKING:	ZERO PARKING FOR 100% AFFORDABLE HOUSING DEVELOPMENT WITHIN 1/2 MILE OF MAJOR TRANSIT STOP.
PROVIDED PARKING:	ZERO

INCENTIVES REQUESTED

BASE INCENTIVES (2): UNLIMITED DENSITY ZERO PARKING WITHIN 1/2 MILE OF MAJOR TRANSIT STOP	WAIVERS OF DEVELOPMENT STANDARDS (5): WAIVER OF FAR REQUIREMENT TO ALLOW 19,757 SF WAIVER TO ALLOW 43.75% SIDE YARD REDUCTION WAIVER TO ALLOW 43.75% SIDE YARD REDUCTION WAIVER TO ALLOW 63.3% REAR YARD REDUCTION WAIVER TO ALLOW TOTAL HEIGHT OF 64'-0"
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OFF-MENU INCENTIVES (4): 100% REDUCTION IN REQUIRED OPEN SPACE. 100% REDUCTION IN ON-SITE TREE PLANTING 100% REDUCTION IN SHORT AND LONG-TERM BICYCLE PARKING 51.1% REDUCTION IN REQUIRED FRONT YARD & BUILDING LINE
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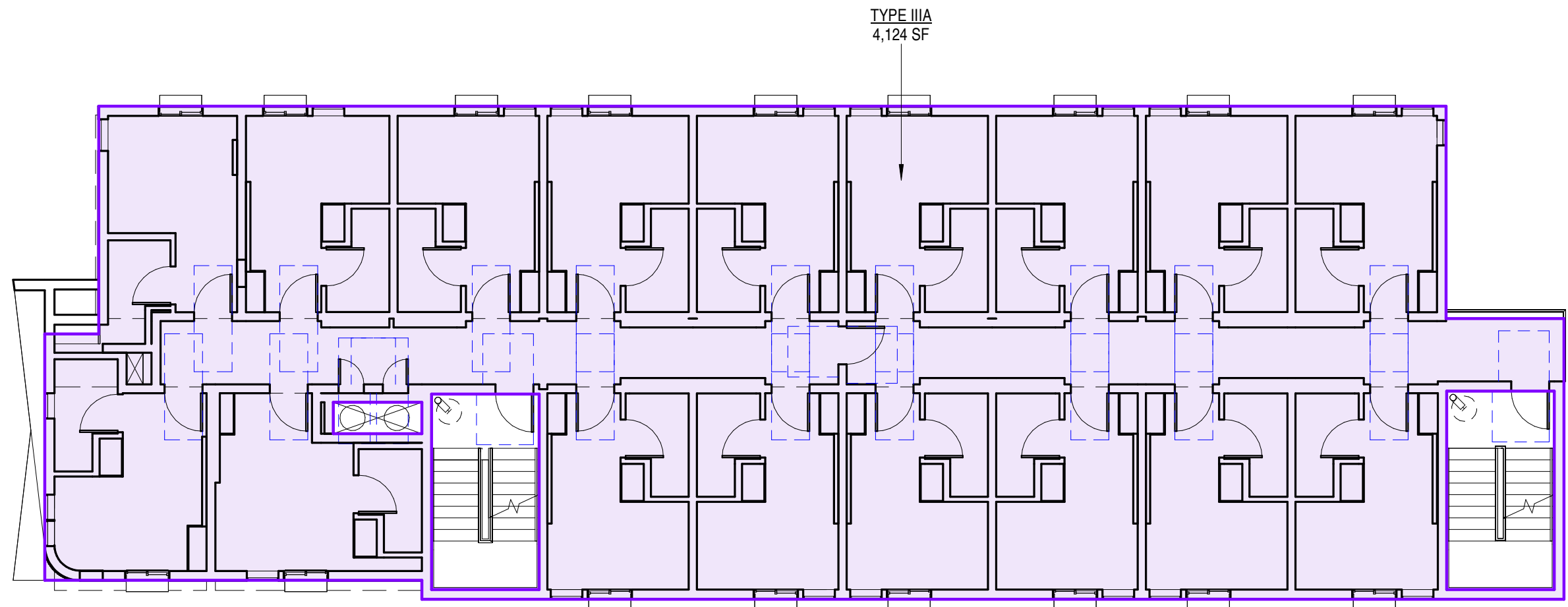
VICINITY MAP



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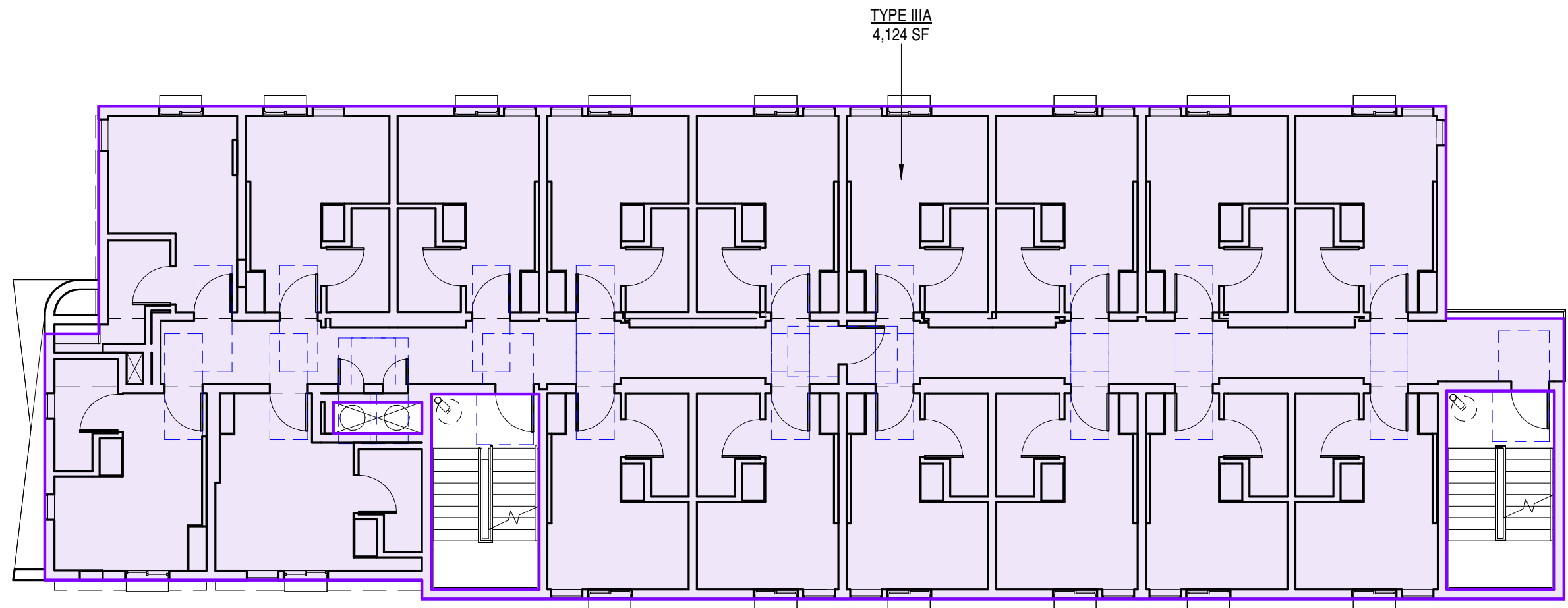
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PROJECT NAME: MARIPOSA APTS
NOT FOR CONSTRUCTION
PROJECT ADDRESS: 1412 N MARIPOSA AVE LOS ANGELES, CA
JOB NUMBER: 2213
DATE: 8.25.2023
SHEET TITLE: PROJECT INFORMATION
SHEET NUMBER: G001
DRAWING SET TITLE: ENTITLEMENT SET



4TH FLOOR BUILDING CODE AREA DIAGRAM

1" = 10'-0"

4

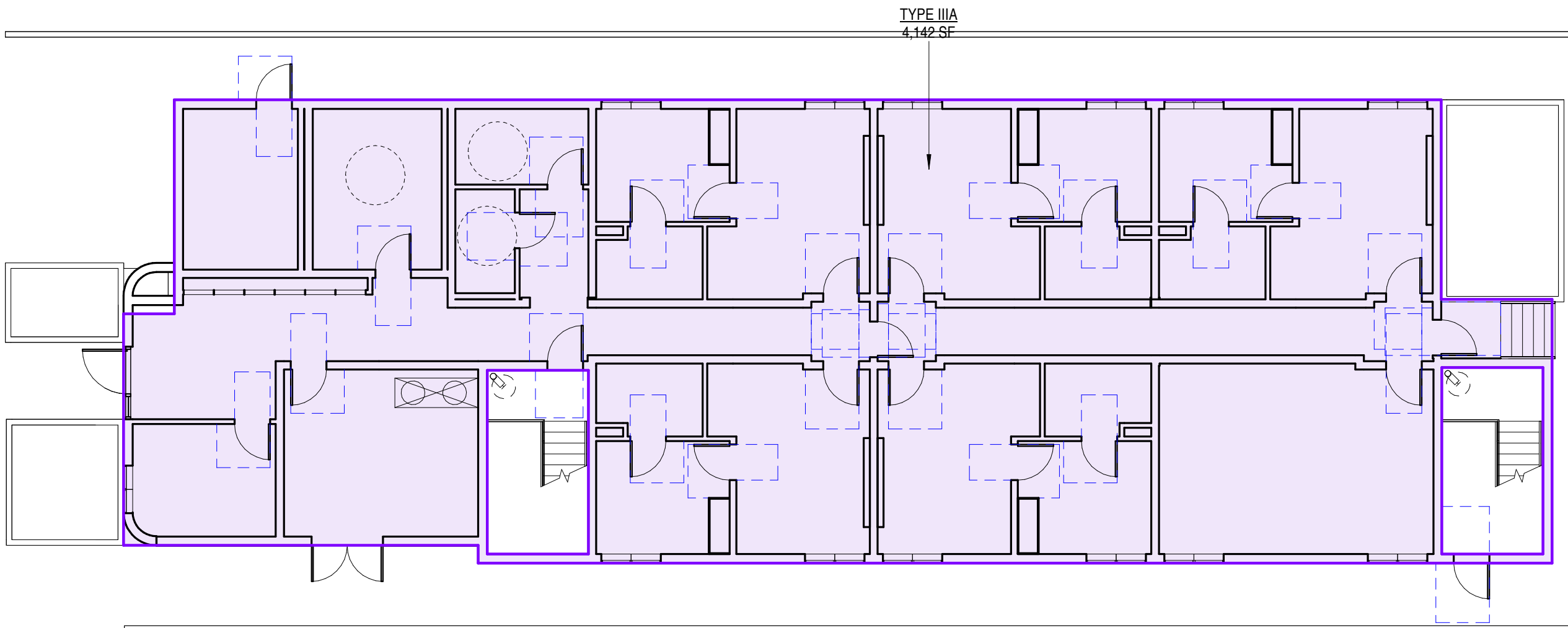


5TH FLOOR BUILDING CODE AREA DIAGRAM

1" = 10'-0"

5

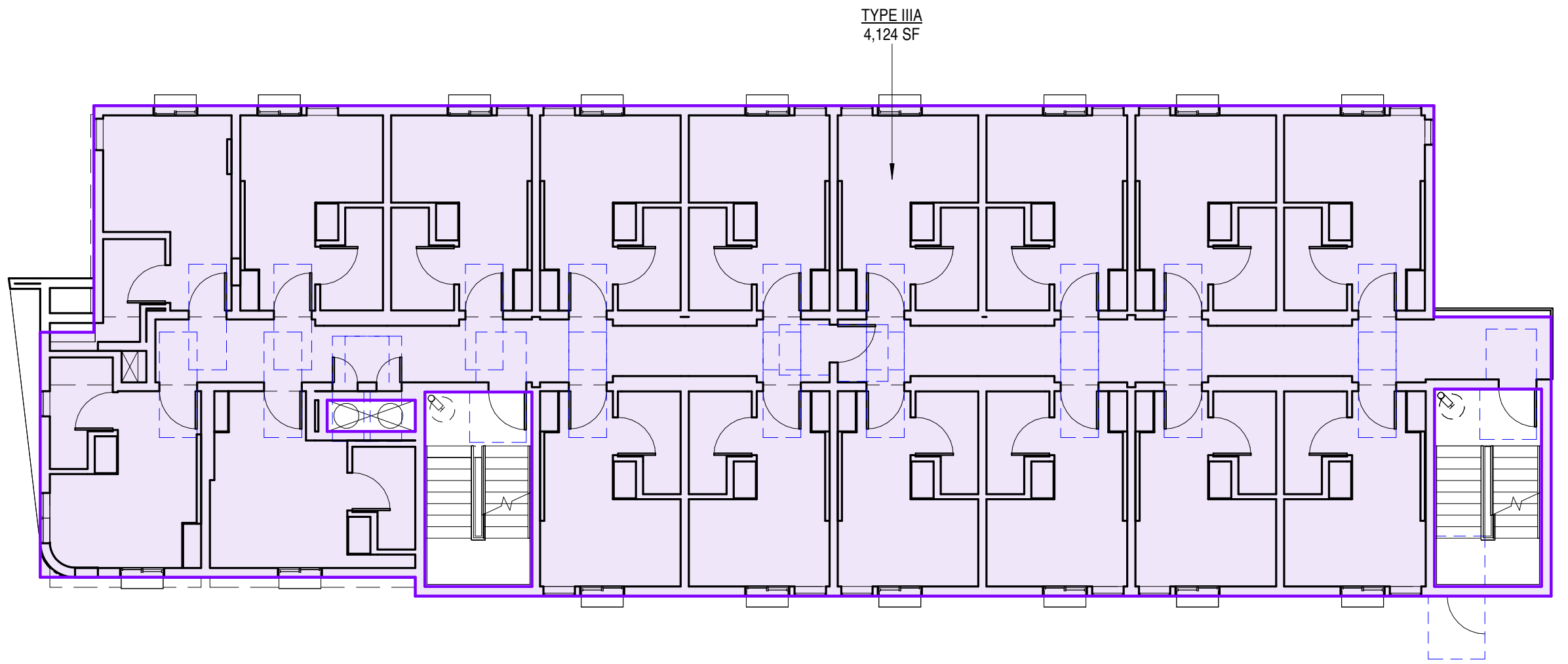
AREA SCHEDULE (BUILDING AREA)			
TYPE	LEVEL	AREA	TYPE OF CONSTRUCTION
TYPE IIIA	1ST FL FFE	4,124 SF	
TYPE IIIA	2ND FL FFE	4,124 SF	
TYPE IIIA	3RD FL FFE	4,124 SF	
TYPE IIIA	4TH FL FFE	4,124 SF	
TYPE IIIA	5TH FL FFE	4,124 SF	
GRAND TOTAL		20,640 SF	



1ST FLOOR BUILDING CODE AREA DIAGRAM

1" = 10'-0"

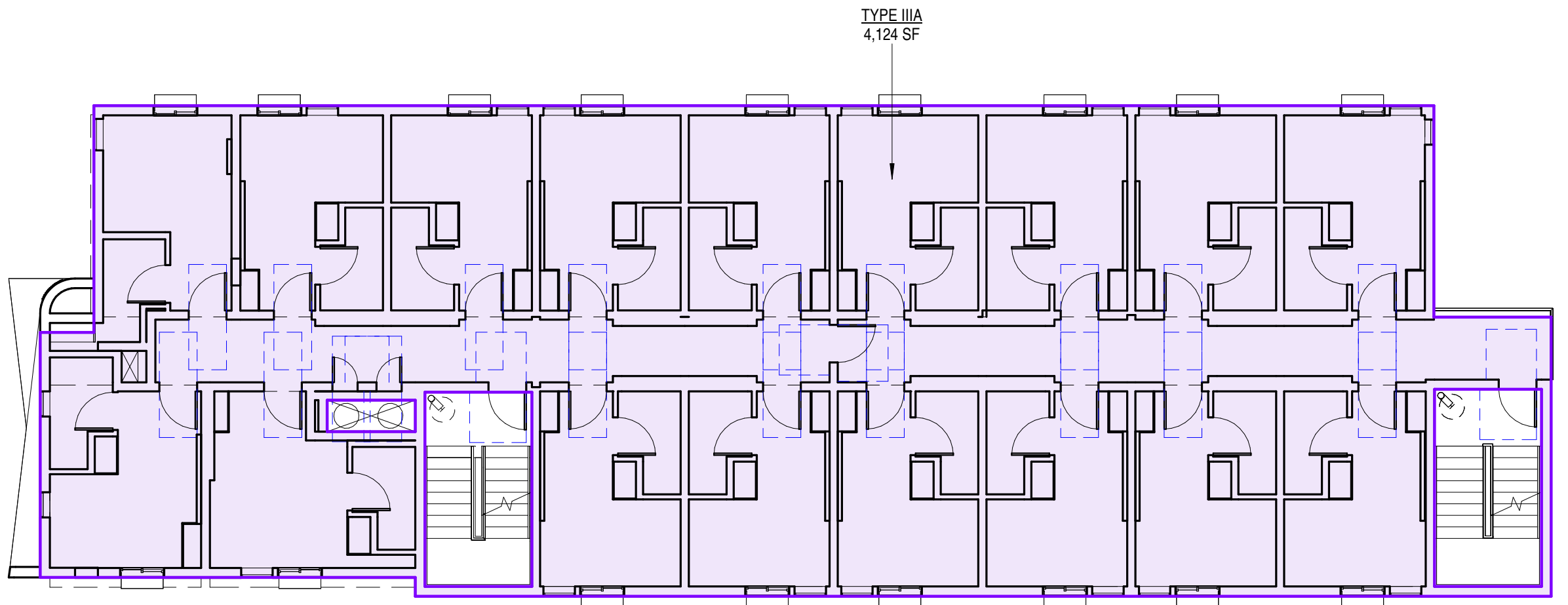
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2ND FLOOR BUILDING CODE AREA DIAGRAM

1" = 10'-0"

2



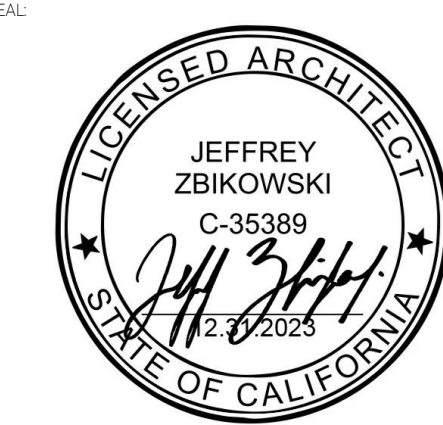
3RD FLOOR BUILDING CODE AREA DIAGRAM

1" = 10'-0"

3



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PROJECT NAME:
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NOT FOR CONSTRUCTION
PROJECT ADDRESS:
**1412 N MARIPOSA AVE
LOS ANGELES, CA**

JOB NUMBER:
2213

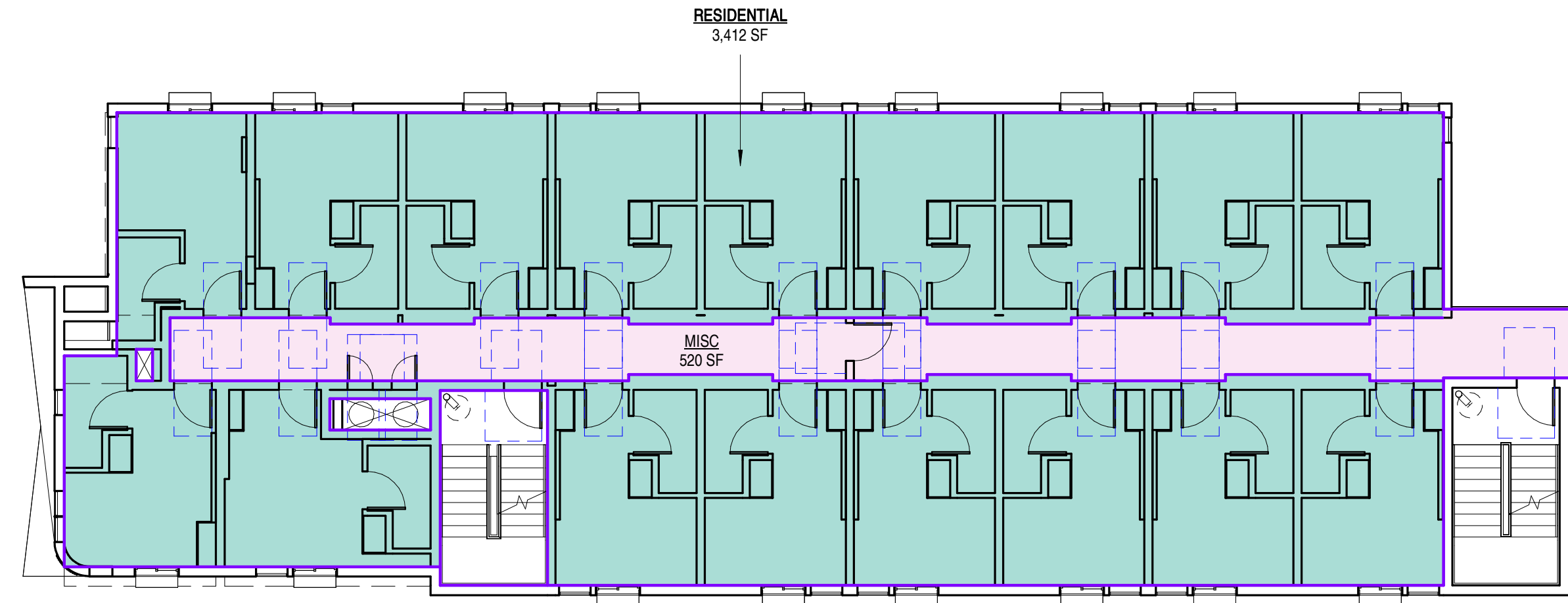
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8.25.2023

SHEET TITLE:
GROSS BUILDING AREA

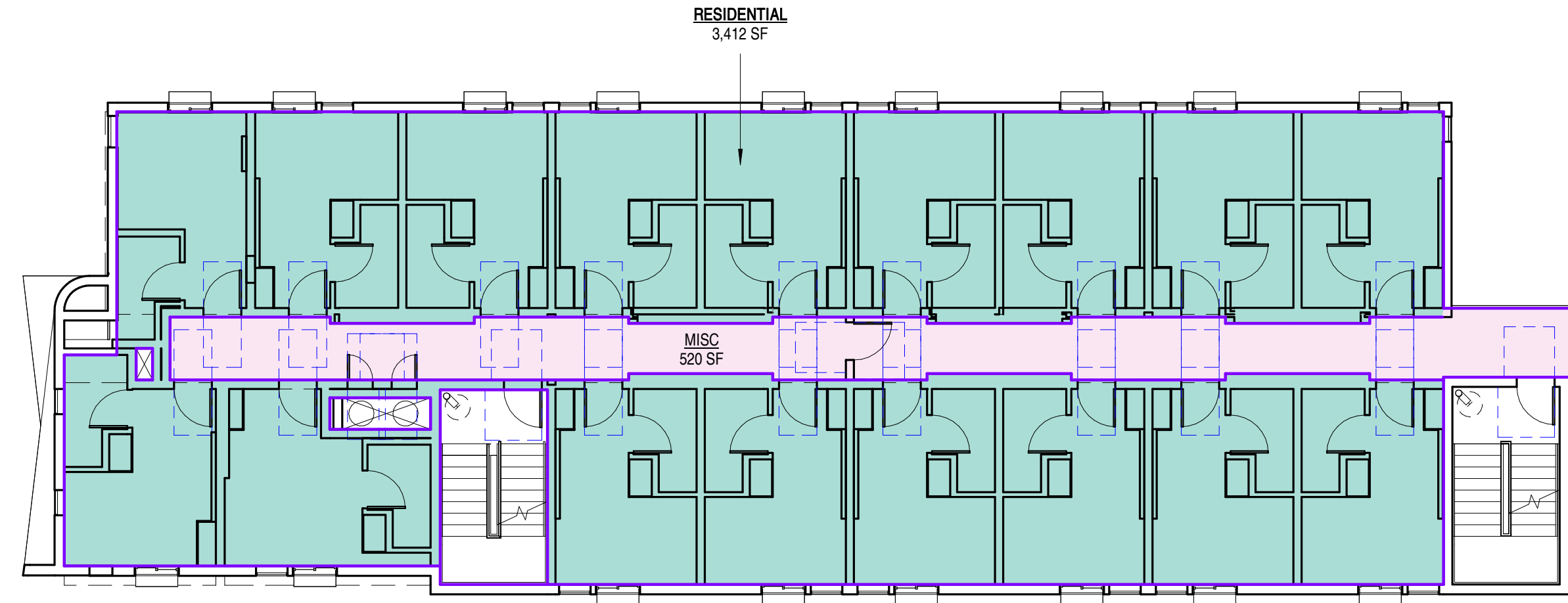
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G010

DRAWING SET TITLE:
ENTITLEMENT SET

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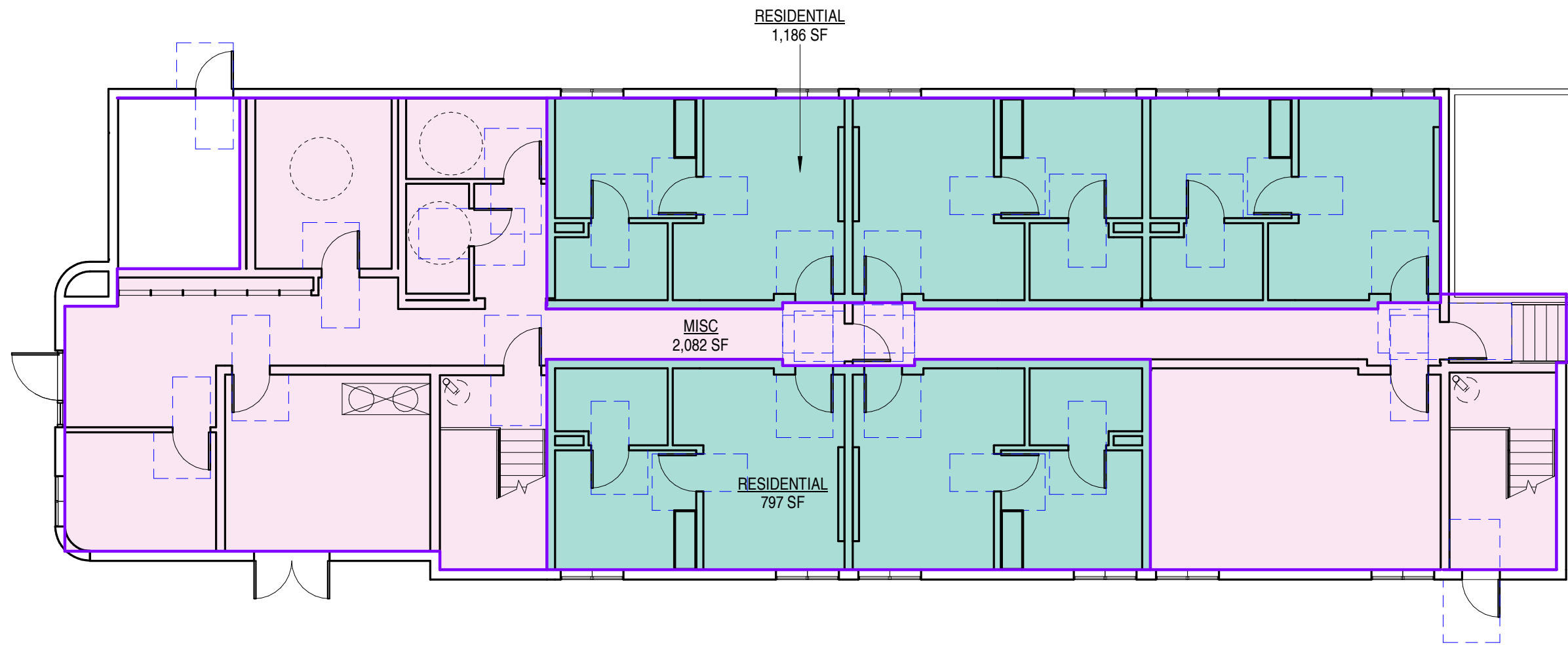


4TH FLOOR FAR DIAGRAM 1" = 10'-0" 5

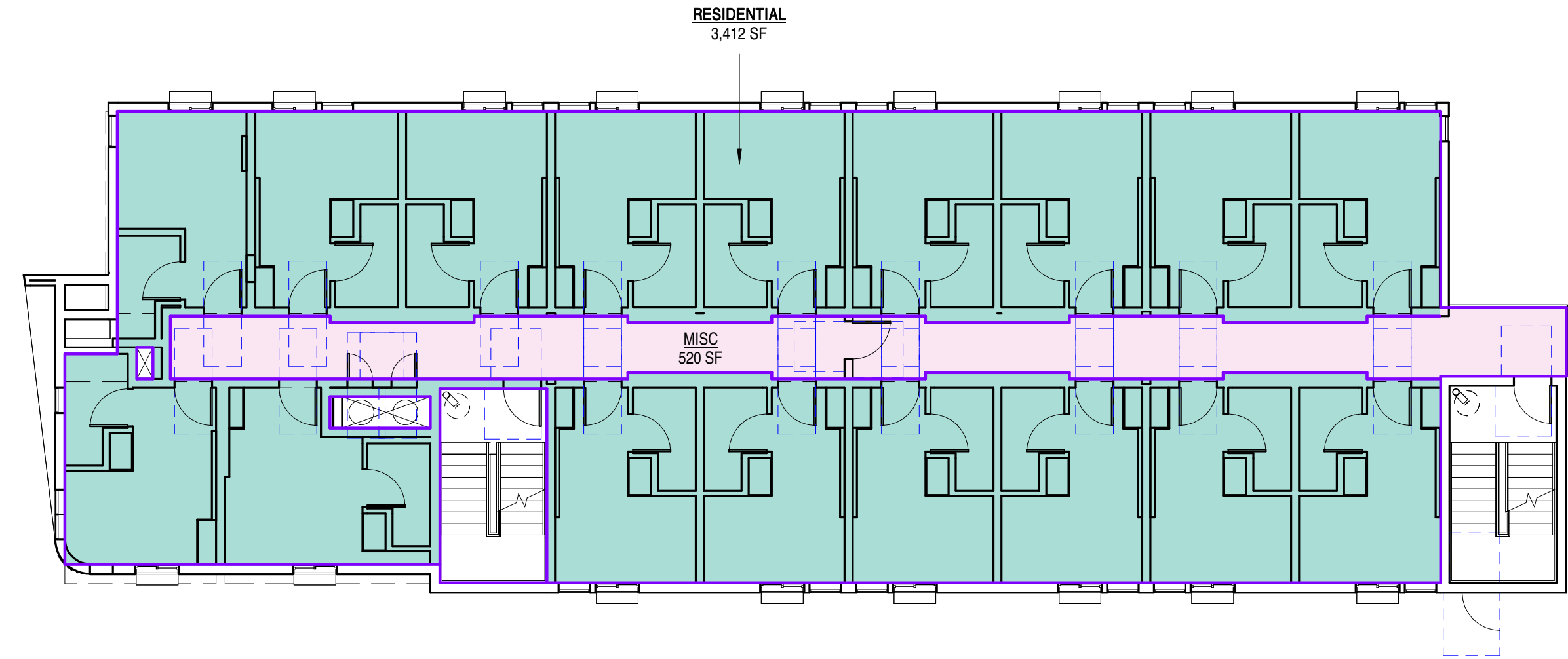


5TH FLOOR FAR DIAGRAM 1" = 10'-0" 1

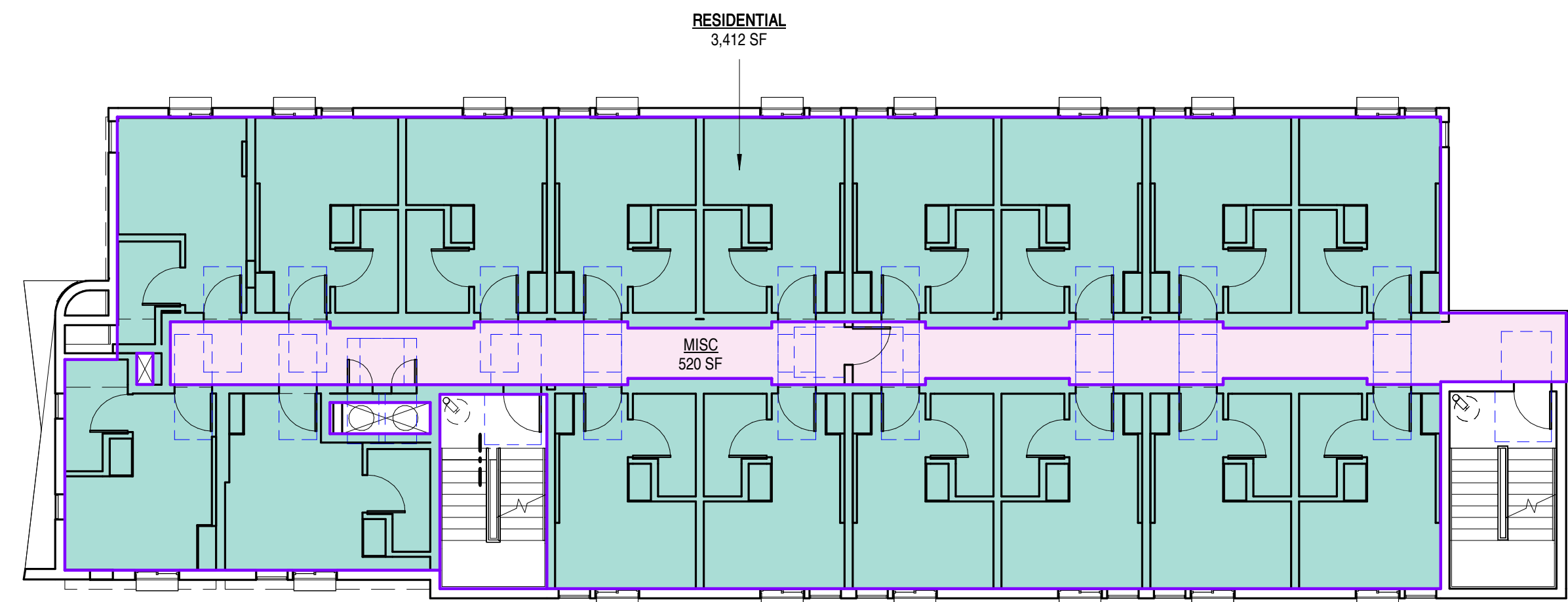
AREA SCHEDULE (FLOOR AREA)		
LEVEL	FAR	AREA
1ST FL FFE	MISC	2,082 SF
2ND FL FFE	MISC	520 SF
3RD FL FFE	MISC	520 SF
4TH FL FFE	MISC	520 SF
5TH FL FFE	MISC	520 SF
MISC		4,160 SF
1ST FL FFE	RESIDENTIAL	1,983 SF
2ND FL FFE	RESIDENTIAL	3,403 SF
3RD FL FFE	RESIDENTIAL	3,403 SF
4TH FL FFE	RESIDENTIAL	3,403 SF
5TH FL FFE	RESIDENTIAL	3,403 SF
RESIDENTIAL		15,597 SF
GRAND TOTAL		19,757 SF



1ST FLOOR FAR DIAGRAM 1" = 10'-0" 2



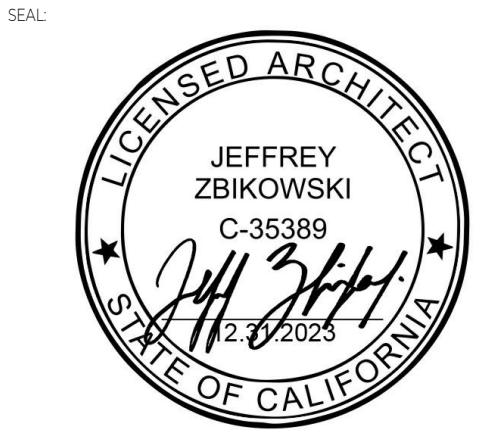
2ND FLOOR FAR DIAGRAM 1" = 10'-0" 3



3RD FLOOR FAR DIAGRAM 1" = 10'-0" 4



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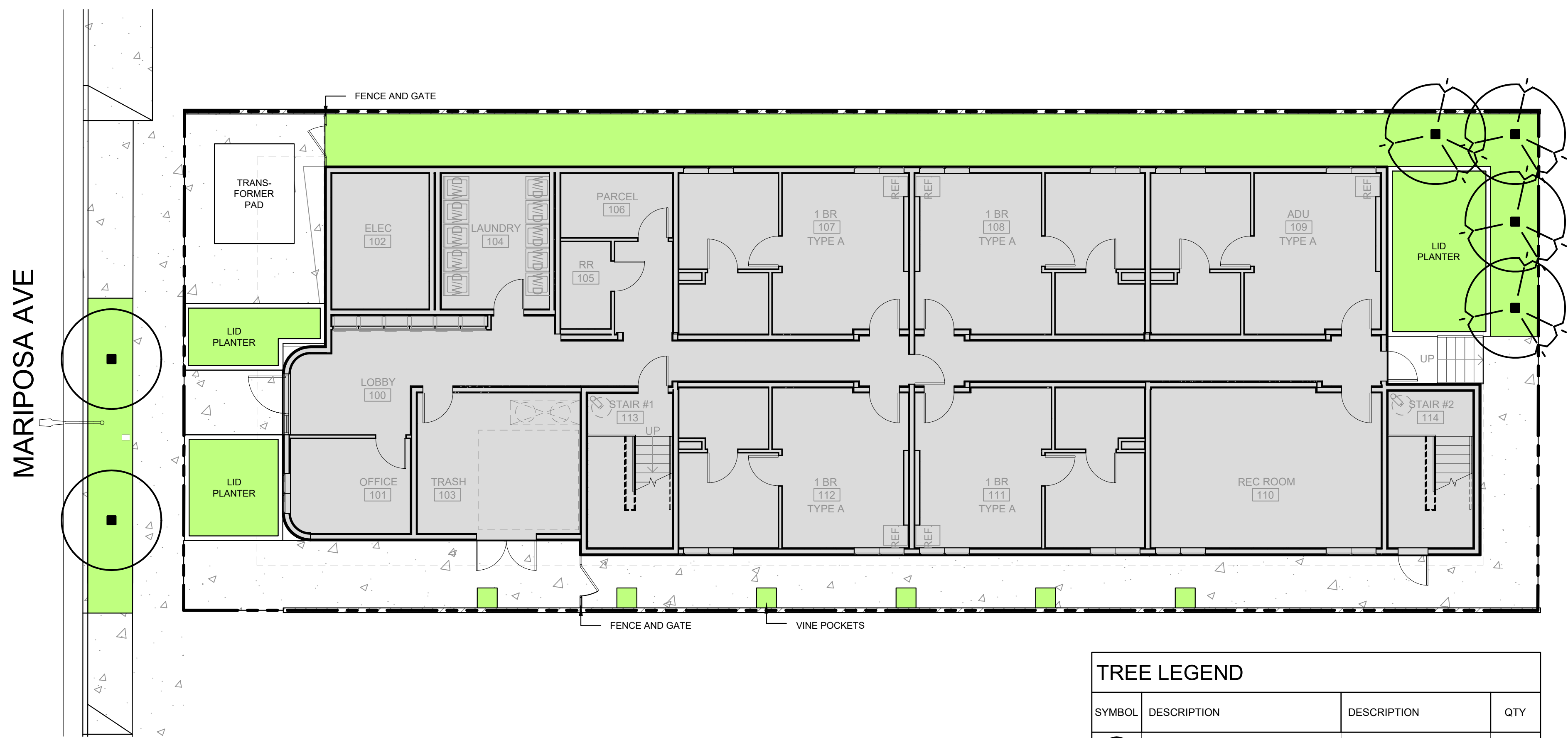
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MARIPOSA APTS

NOT FOR CONSTRUCTION
PROJECT ADDRESS:
1412 N MARIPOSA AVE
LOS ANGELES, CA

JOB NUMBER:
2213
DATE:
8.25.2023

SHEET TITLE:
FLOOR AREA CALCULATIONS

SHEET NUMBER:
G011
DRAWING SET TITLE:
ENTITLEMENT SET



TREE LEGEND			
SYMBOL	DESCRIPTION		QTY
	GEIJERA PARVIFLORA	AUSTRALIAN WILLOW	2
	LOPHOSTEMON CONFERTUS	BRISBANE BOX	4

TREE CALCULATIONS

(1) 24" BOX TREE PER 4 DWELLING UNITS
NUMBER OF DWELLING UNITS: 73 UNITS

TREES REQUIRED: 19 TREES
TREES PROVIDED: 6 TREES
GROUND LEVEL: 4 TREES
STREET: 2 TREES

TOTAL LANDSCAPE AREA
(GROUND LEVEL + PARKWAY): 1,190 SF



BLUE SEDGE



PETER PAN LILY OF THE NILE



YELLOW WAVE NEW ZEALAND FLAX



GREEN CARPET NATAL PLUM



OBSESSION HEAVENLY BAMBOO



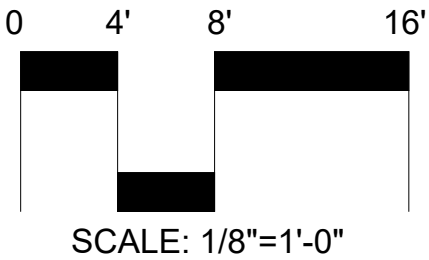
AUSTRALIAN WILLOW



BRISBANE BOX



STAR JASMINE





SAVAGE LAND DESIGN
Landscape Architecture • Land Planning • Design

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MARIPOSA APTS

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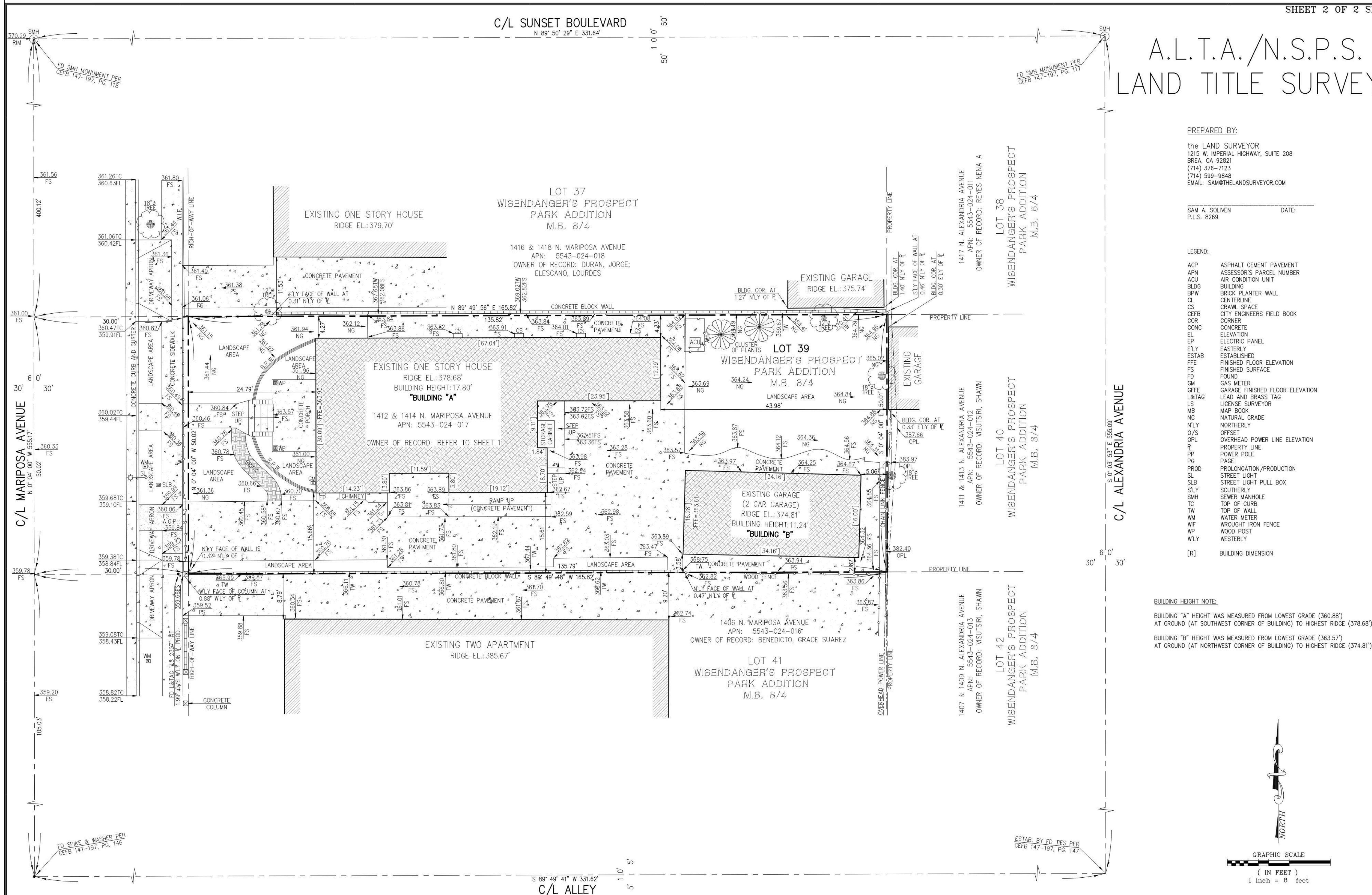
LOS ANGELES, CA 90027

No.	Revision / Issue	Date



PRELIMINARY
LANDSCAPE
PLAN

Date	08-25-23	Sheet	
Scale	1/8"=1'-0"		
Sheet	1	of 1	



the LAND SURVEYOR
1215 W. IMPERIAL HIGHWAY, SUITE 208
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(714) 599-9848
EMAIL: SAM@THELANDSURVEYOR.COM

SAM A. SOLIVEN
P.L.S. 8269

ACP	ASPHALT CEMENT PAVEMENT
ADN	ASSESSOR'S PARCEL NUMBER
ACU	AIR CONDITION UNIT
BLDG	BUILDING
BPW	BRICK PLANTER WALL
CL	CENTERLINE
CR	CRAWL SPACE
CEFB	CITY ENGINEERS' FIELD BOOK
COR	CORNER
CONC	CONCRETE
EL	ELEVATION
EP	ELECTRIC PANEL
E	EASTERLY
ESTAB	ESTABLISHED
FFE	FINISHED FLOOR ELEVATION
FS	FINISHED SURFACE
FD	FOUND
FM	GAS METER
OFFE	CARGO FINISHED FLOOR ELEVATION
L&TAG	LEAD AND BRASS TAG
LS	LICENSE SURVEYOR
MB	MAP BOOK
NG	NATURAL GRADE
NLY	NORTHERLY
O/S	OFFSET
OPL	OVERHEAD POWER LINE ELEVATION
R	PROPERTY LINE
PP	POWER POLE
PG	PAGE
PROD	PROLONGATION/PRODUCTION
SLB	STREET LIGHT
SLB	STREET LIGHT PULL BOX
SLY	SOUTHERLY
SMH	SEWER MANHOLE
TC	TOP OF CURB
TW	TOP OF WALL
WM	WATER METER
WF	WROUGHT IRON FENCE
WP	WOOD POST
WLY	WESTERLY

[R] BUILDING DIMENSION

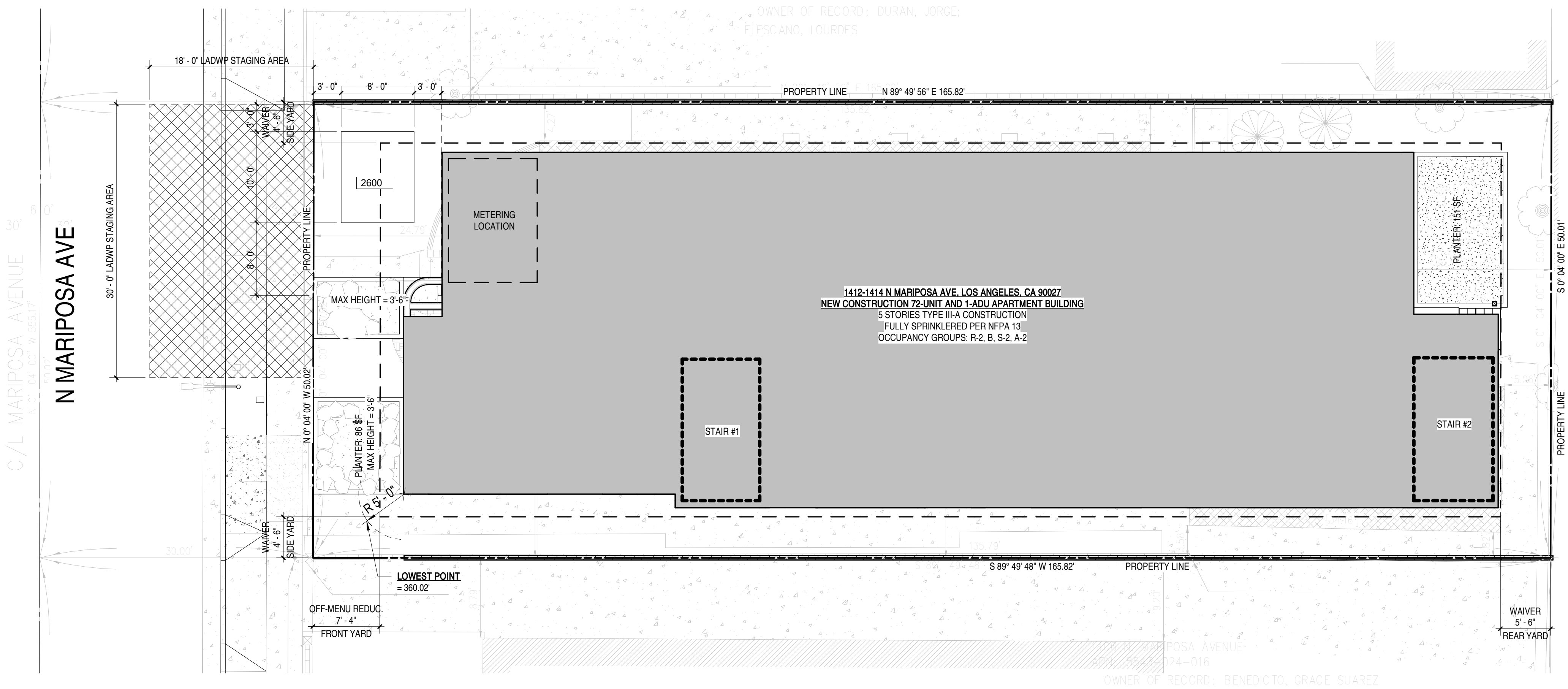
BUILDING HEIGHT NOTE:

BUILDING "A" HEIGHT WAS MEASURED FROM LOWEST GRADE (360.88')
AT GROUND (AT SOUTHWEST CORNER OF BUILDING) TO HIGHEST RIDGE (378.68')

BUILDING "B" HEIGHT WAS MEASURED FROM LOWEST GRADE (363.57')
AT GROUND (AT NORTHWEST CORNER OF BUILDING) TO HIGHEST RIDGE (374.81')



GRAPHIC SCALE
(IN FEET)
1 inch = 8 feet

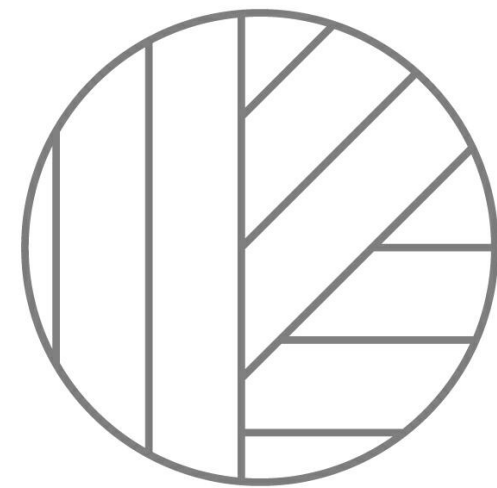


KEYNOTES

2600 TRANSFORMER AND PAD PER LADWP REQUIREMENTS. SEE ELEC DWGS.

SHEET NOTES

- ALL INTERIOR WALLS TO BE TYPE 1A, UNO
- ALL DIMENSIONS ARE TO CLR UNO.
- ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS
- GRADE AWAY FROM FOOTINGS, 1% MIN
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL GREEN 4.21.14, ENERGY CODE 10.10.14.14.14 REQUIREMENT NO. 96.
- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
- FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R502.11.
- EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FASOIA
- ROOFING MATERIAL TO BE MALARKY ROOFING, ECOASIS SOL PREMIUM - MESQUITE, CLASS-A ROOF COVERING.
- ROOF TO HAVE A 5-YEAR AGED SRV VALUE OF AT LEAST 18 OR BOTH A 5-YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.80 AND A THERMAL EMITTANCE OF AT LEAST 0.75. ESR #145.
- IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R502.11.
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER 902.12.
- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER R010.1.
- PROTECTION OF WOOD AND WOOD-AGED PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R017.1 BY
- THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
- PROVIDE ANTI-GRAFFITI FINISH WITHIN FIRST 9 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.
- BUILDINGS WITH RAISED FLOOR CONSTRUCTION UNDERFLOOR VENTILATION OPENINGS IN THE UNDERFLOOR AREA SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - THE TOP OF THE OPENING SHALL BE LOCATED NOT MORE THAN 12 INCHES BELOW THE BOTTOM OF THE FLOOR JOIST.
 - THE OPENINGS SHALL BE DISTRIBUTED APPROXIMATELY EQUALLY AND LOCATED TO PROVIDE CROSS VENTILATION. FOR EXAMPLE, BY LOCATING THE OPENING ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES OF THE BUILDING.
 - THE OPENINGS SHALL BE THE LARGER OF: 1.5 SQUARE FEET FOR EACH 25 LINEAR FEET OR FRACTION OF EXTERIOR WALL; OR OPENINGS SHALL BE EQUAL TO 1% OF UNDERFLOOR AREA.
 - THE OPENINGS MAY BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH MESH OPENINGS OF GREATER THAN 1/4 INCH AND LESS THAN 2 INCH IN DIMENSION. 91.7104.3.2



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SEAL:



REVISIONS

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CLIENT NAME:

1412, N MARIPOSA PARTNERS
LLC

PROJECT NAME:

MARIPOSA APTS

NOT FOR CONSTRUCTION

PROJECT ADDRESS:

1412 N MARIPOSA AVE
LOS ANGELES, CA

JOB NUMBER:

2213

DATE:

8.25.2023

SHEET TITLE:

SITE PLAN

SHEET NUMBER

A000

DRAWING SET TITLE:

ENTITLEMENT SET

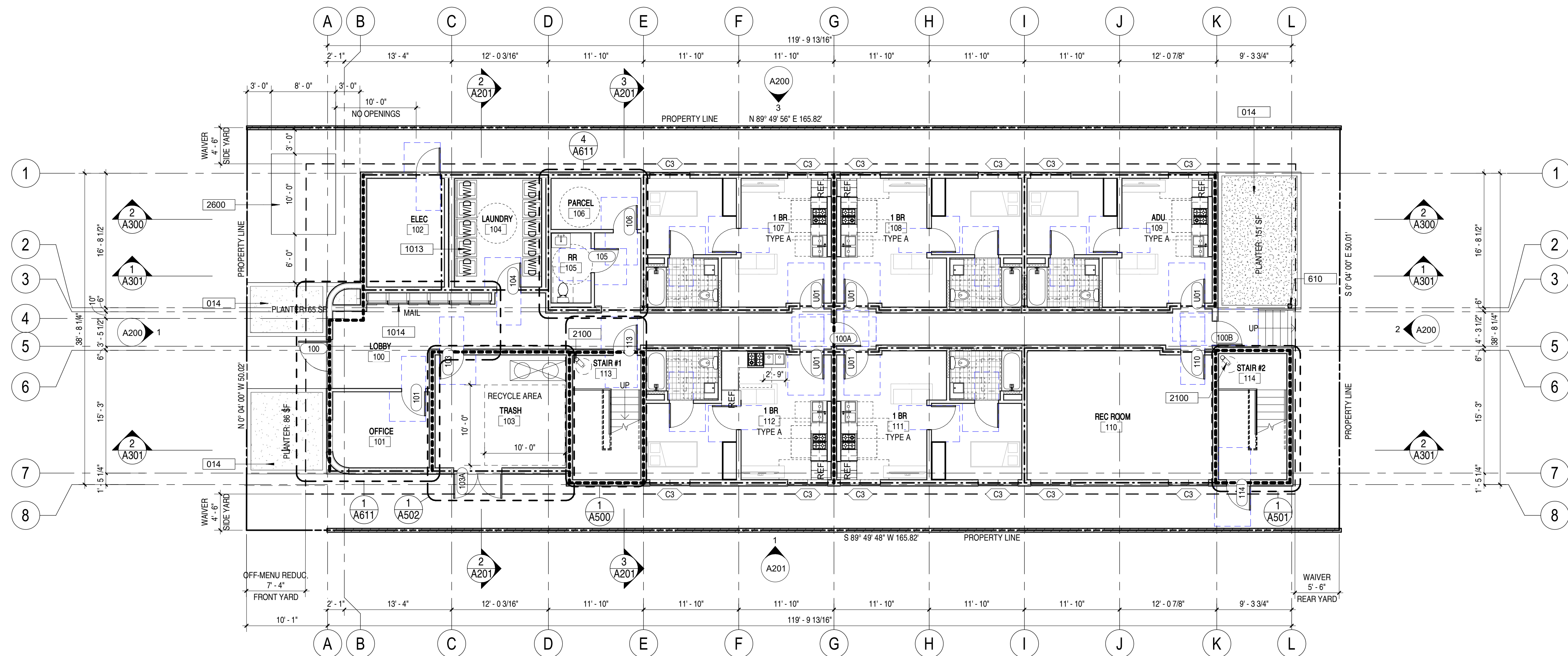
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SITE PLAN

1/8" = 1'-0"

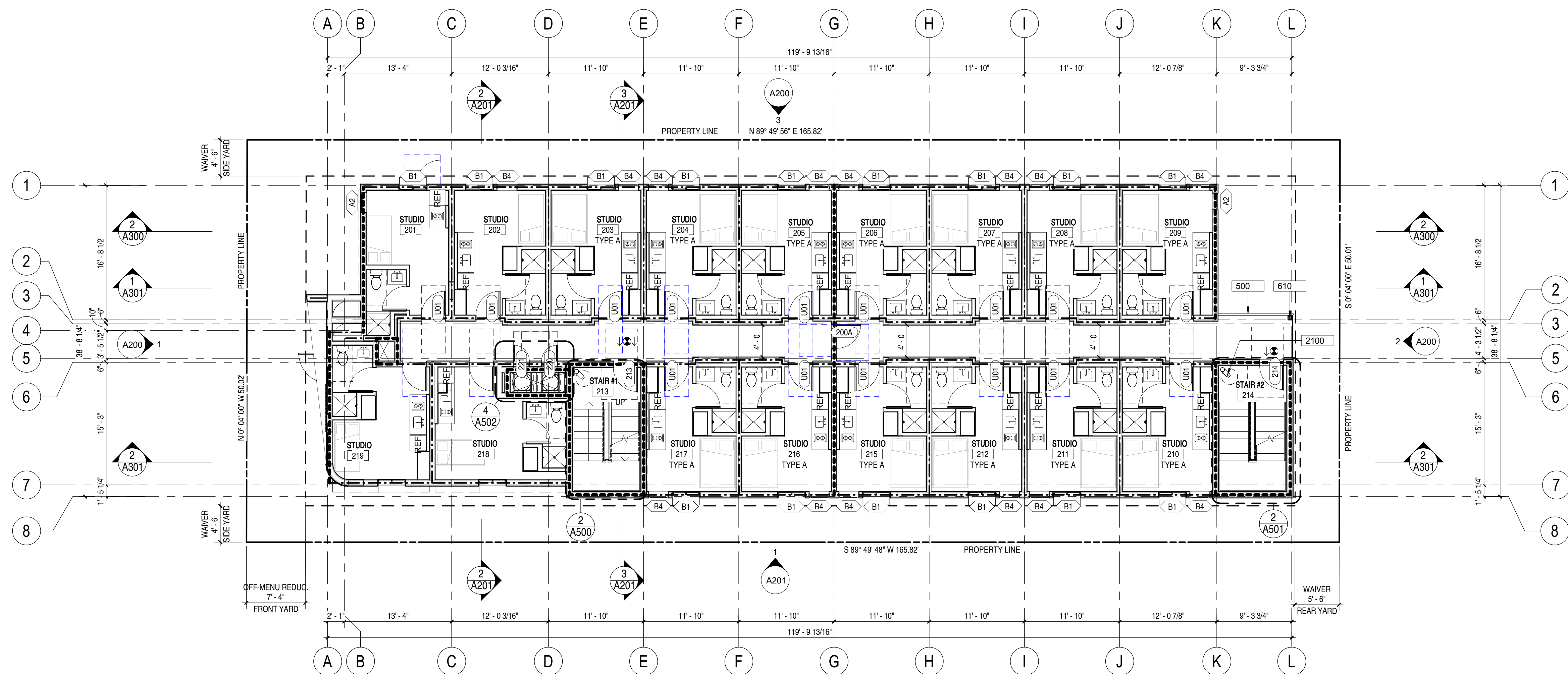
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1ST FLOOR PLAN	1/8" = 1'-0"	1
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$$1/8'' = 1'-0''$$

1



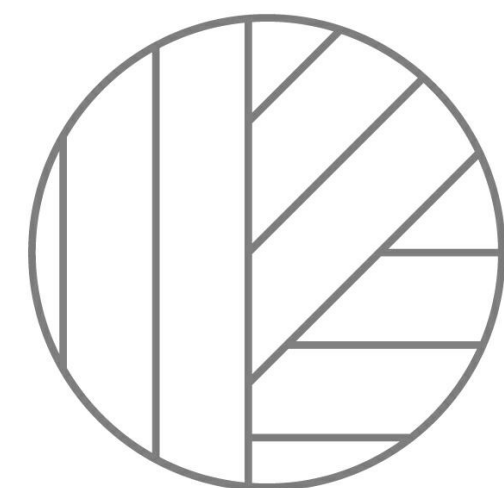
2ND FLOOR PLAN	1/8" = 1'-0"	2
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$$1/8'' = 1'-0''$$

2

KEYNOTES

- | | |
|------|---|
| 014 | LANDSCAPE. SEE LANDSCAPE DWGS. |
| 500 | STEEL COLUMN. SEE STRUCT DWGS. |
| 610 | WD POST. SEE STRUCT DWGS |
| 1013 | BICYCLE RACK. FLOOR MOUNTED. DOUBLE DECKER. LONG TERM COMMERCIAL. |
| 1014 | MAILBOX UNIT. 4C COMPLIANT, 100% OF BOXES IN DA REACHABLE RANGE. FLORANCE 4CADD-10, SEE SPEC. |
| 2100 | COMBINED STANDPIPE, CLASS I. SEE FIRE PROTECTION DWGS. |
| 2600 | TRANSFORMER AND PAD PER LADWP REQUIREMENTS. SEE ELEC DWGS. |



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SEAL



REVISIONS

SHEET NOTES

- [illegible]

LEGEND

- | | |
|--|--|
| | 1-HOUR FIRE PARTITION. SEE A900 FOR WALL TYPES |
| | 2-HOUR FIRE BARRIER. SEE A900 FOR WALL TYPES |
| | NON-RATED INTERIOR PARTITION. SEE A900 |
| | SHEAR WALL PER STRUCT DWGS |
| | WOOD POST PER STRUCT DWGS |
| | WALL TAG. SEE A900 FOR WALL TYPE |
| | DOOR TAG. SEE A900 FOR DOOR TYPE |
| | WINDOW TAG. SEE A900 FOR WINDOW TYPE |
| | SMOKE DETECTOR |
| | CARBON MONOXIDE DETECTOR |
| | BATHROOM EXHAUST FAN |

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CLIENT NAME

1412. N MARIPOSA PARTNERS
LLC

PROJECT NAME:

MARIPOSA APTS

NOT FOR CONSTRUCTION

PROJECT ADDRESS

1412 N MARIPOSA AVE
LOS ANGELES, CA

JOB NU

2213

DATE _____

8.25.2023

SHEET TITLE

1ST & 2ND FLOOR PLAN

SHEET NUMBER:

A110

DRAWING SET TITLE:

ENTITLEMENT SET

8/25/2023 11:19:03 AM

500	STEEL COLUMN. SEE STRUCT DWGS
610	WD POST. SEE STRUCT DWGS



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AL:



VISIONS:

A. ALL INTERIOR WALLS TO BE TYPE 1 UNO

B. ALL DIMENSIONS ARE TO CL&UO

C. ALL DIMENSIONS INDICATED AS "CL&F ARE FROM FINISH TO FINISH

D. WALL BASE TO BE 4" REINBAL BASE MOLDS/MS AT ALL WALLS

E. GRADE AWAY FROM FOOTINGS 1% MIN

F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR FUTURE ELECTRICAL LOADS. THE ELECTRICAL SERVICE SHALL BE REARDED FOR THE ELECTRICAL INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE MAIN ELECTRICAL SERVICE PANEL. THE RESERVED SPACE SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC"; CAL GREEN 4.21.4, ENERGY CODE 110.10, LAUREL REQUIREMENT NO. 46.

G. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT 18" HEIGHT ABOVE THE FLOOR AND 12" FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.

H. FIRE BLOOMBS SHALL BE PROVIDED TO CUT OFF ALL THE CONCEALED DRAFT OPENINGS BOTH ABOVE AND BELOW THE CEILING LINE. THE FIRE BLOOMBS SHALL BE INSTALLED BETWEEN THE FIRST AND A TOP STORY AND THE ROOF SPACE PER R00.17.

J. EDEE FLASHING TO BE 16 GA GALVANIZED SHEET METAL. PANTED TO MATCH FASDBA

K. ROOFING MATERIAL TO BE 16 GA GALVANIZED STEEL, PLANKED, TREATED, MANSUITE, CLASS A ROOF COVERING.

L. ROOF TO HAVE A YEAR AHEAD SRI VALUE OF AT LEAST 18 OR BOTH A YEAR AHEAD SOLAR REFLECTANCE OF AT LEAST 0.20 AND A THERMAL EMITTANCE OF AT LEAST 0.75. SRI 445.

M. IN COMBUSTIBLE CONSTRUCTION, FIRE-BLOOMBS SHALL BE PROVIDED TO CUT OFF ALL THE CONCEALED DRAFT OPENINGS BOTH ABOVE AND BELOW THE CEILING LINE AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN THE FIRST AND A TOP STORY AND THE ROOF SPACE PER R00.17.

N. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOORING AND CEILING, DRAFTSTOP SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQ. FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY 100 SQ. FT. AREAS.

O. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER S19.1.

P. PROTECTION OF WOODS AND WOODC ADDED PRODUCTS SHALL BE PROVIDED IN THE MANNER DESCRIBED PER S19.1.

Q. THE USE OF NATURAL DURABLE WOOD OR WOODS THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWWA/F1 FOR SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVE SHALL BE LISTED IN SECTION 4 OF AWWA/F1.

R. PROVIDE ANT-GRAFFITI FINISH WITHIN FIRST 5' FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.

S. BUILDINGS WITH BASED FLOOR CONSTRUCTION, UNDERFLOOR VENTILATION OPENINGS IN THE UNDERLOOR AREA SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:

A. THE TOP OF THE OPENING SHALL BE LOCATED NOT MORE THAN 12 INCHES BELOW THE BOTTOM OF THE FLOOR JOIST.

B. THE OPENING SHALL BE DISTRIBUTED APPROXIMATELY EQUALLY AND LOCATED TO PROVIDE CROSS VENTILATION. FOR EXAMPLE, BY LOCATING THE OPENING ALONG THE SAME END OF TWO OPPOSITE SIDES OF THE FLOOR.

C. THE OPENINGS SHALL BE THE LENGTH OF 1.5 SQUARE FEET FOR EACH 50 SQ. FEET FLOOR AREA. EXTERIOR WALLS SHALL BE LOCATED AT LEAST 12 INCHES FROM THE OPENING.

D. THE OPENINGS MAY BE COVERED WITH CORROSION RESISTANT MESH WITHIN 1/8" MESH OPENINGS.

E. THE OPENINGS SHALL BE COVERED WITH 1/4 INCH AND LESS THAN 2 INCH IN DIMENSION. 9.1703.42

	1-HOUR FIRE PARTITION. SEE A900 FOR WALL TYPES
	2-HOUR FIRE BARRIER. SEE A900 FOR WALL TYPES
	NON-RATED INTERIOR PARTITION. SEE A900
	SHEAR WALL PER STRUCT DWGS
	WALL POST PER STRUCT DWGS
	WALL TAG. SEE A900 FOR WALL TYPE
	DOOR TAG. SEE A900 FOR DOOR TYPE
	WINDOW TAG. SEE A900 FOR WINDOW TYPE
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	BATHROOM EXHAUST FAN

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IENT NAME:

412. N MARIPOSA PARTNERS
LC

PROJECT NAME:

MARIPOSA APTS

NOT FOR CONSTRUCTION

OBJECT ADDRESS:

412 N MARIPOSA AVE
LOS ANGELES, CA

B NUMBER

213

ATE:

25.2023

MEET TITLE:

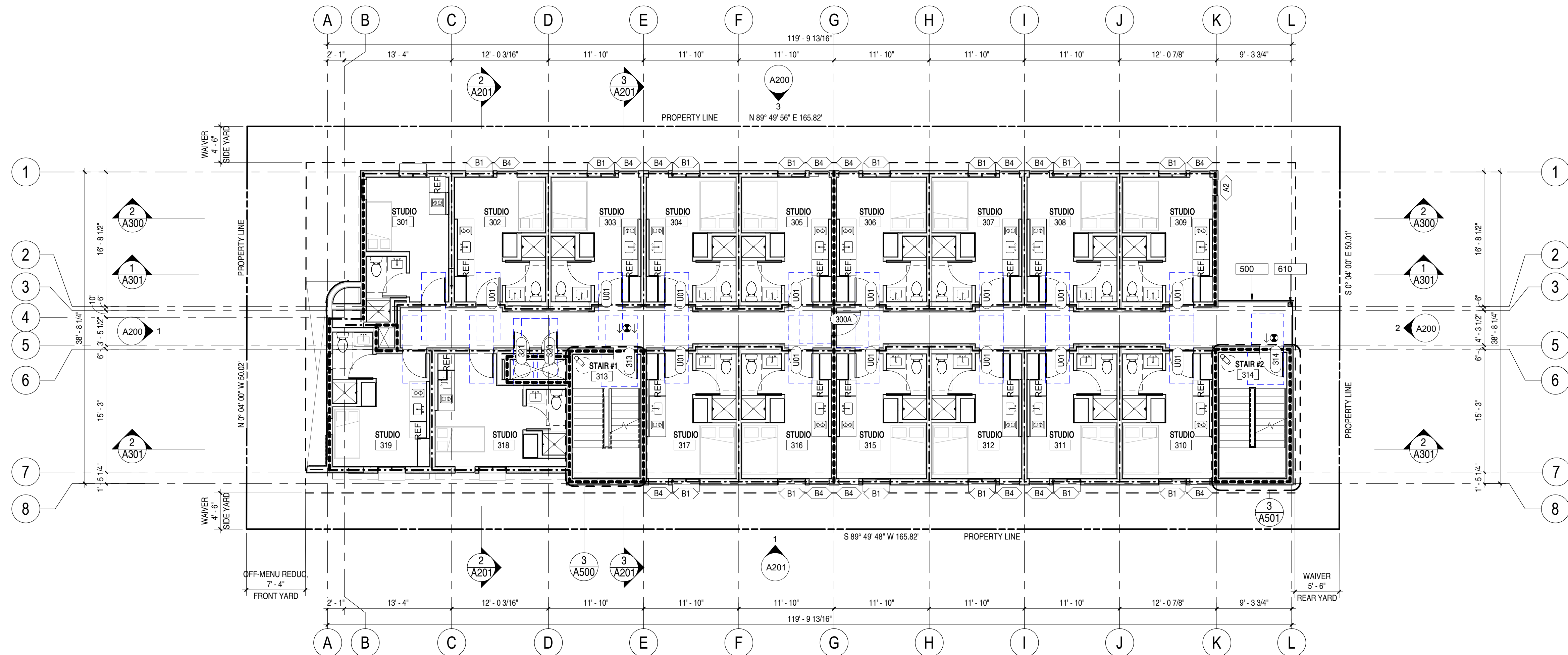
3RD & 4TH FLOOR PLAN

SHEET NUMBER:

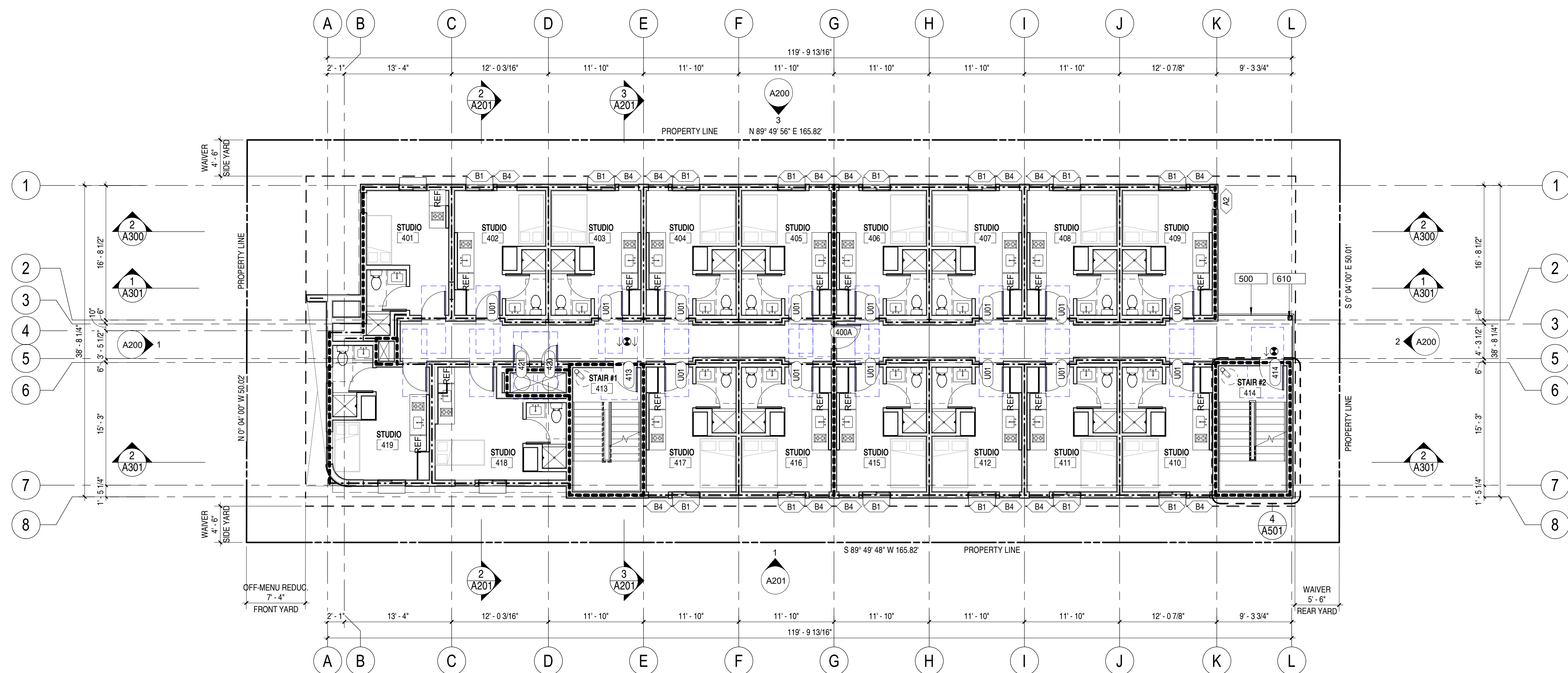
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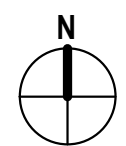
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3RD FLOOR PLAN	1/8" = 1'-0"	1
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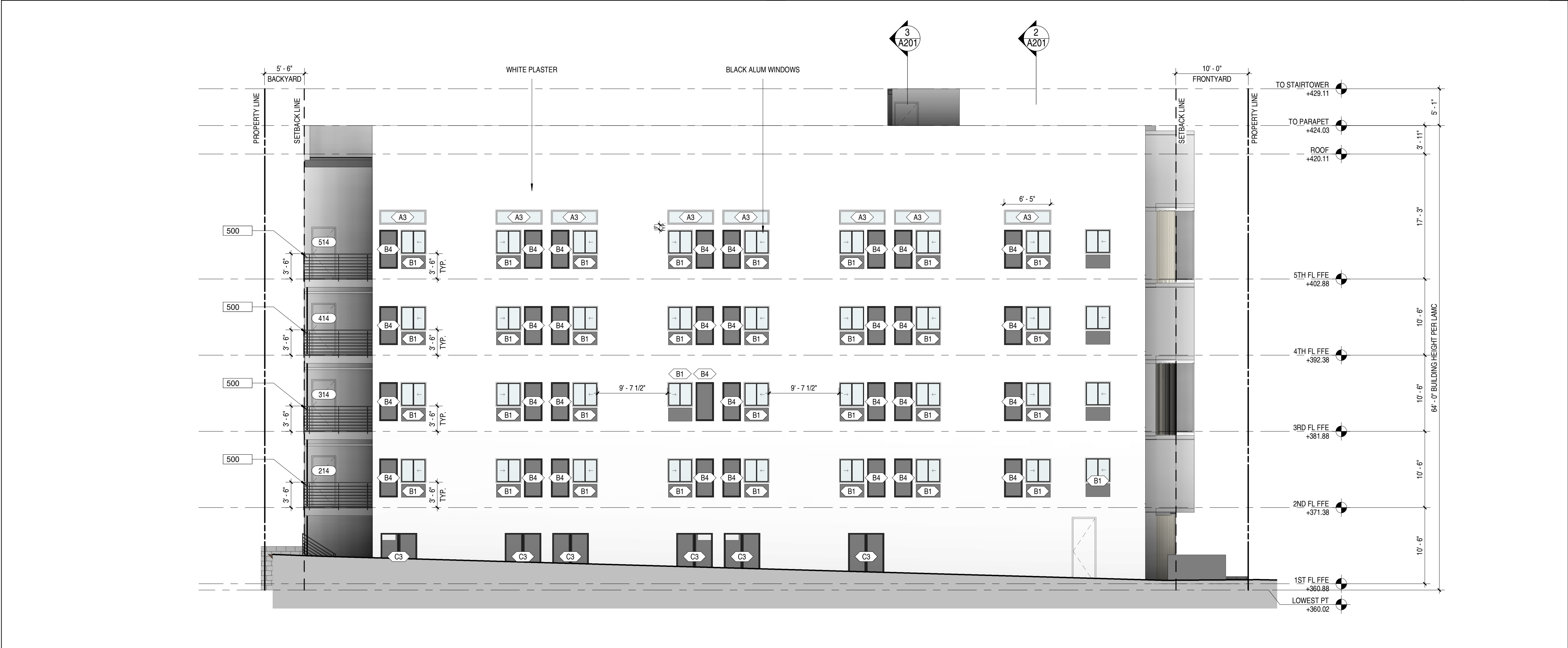
4TH FLOOR PLAN	1/8" = 1'-0"	2
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EAST ELEVATION 1/8" = 1'-0" 2

WEST ELEVATION 1/8" = 1'-0" 1



NORTH ELEVATION 1/8" = 1'-0" 3

KEYNOTES

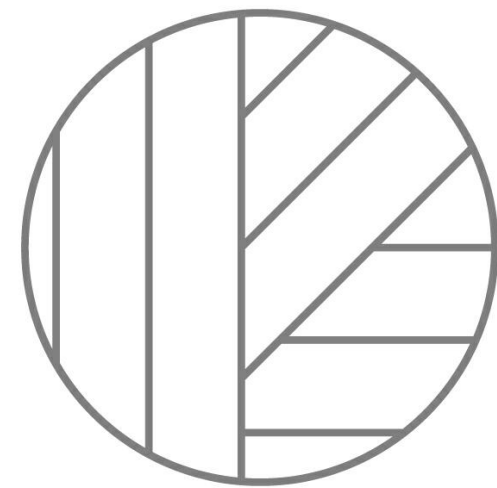
- 500 STEEL COLUMN. SEE STRUCT DWGS.
2600 TRANSFORMER AND PAD PER LADWP REQUIREMENTS. SEE ELEC DWGS.

SHEET NOTES

- A. ALL INTERIOR WALLS TO BE TYPE 1A, UNO
B. ALL DIMENSIONS ARE TO CLR UNO.
C. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
D. WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS
E. GRADE AWAY FROM FOOTINGS, 1% MIN
F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC". CAL GREEN 4211.4, ENERGY CODE 10.10 LAFS REQUIREMENT NO. 96.
G. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE
H. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R302.11
J. EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FASCIA
K. ROOFING MATERIAL TO BE MALARKY ROOFING, ECOASIS SOL PREMIUM - MESQUITE, CLASS-A ROOF COVERING
L. ROOF TO HAVE A 3-YEAR AGED SHI VALUE OF AT LEAST 18 OR BOTH A 3-YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.80 AND A THERMAL EMITTANCE OF AT LEAST 0.75, ESR #145.
M. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R302.11.
N. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER 302.12.
P. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER R010.1.
Q. PROTECTION OF WOOD AND WOOD AGED PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R017.1 BY
R. THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
S. PROVIDE ANTI-GRAFFITI FINISH WITHIN FIRST 9 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.
T. BUILDINGS WITH RAISED FLOOR CONSTRUCTION UNDERFLOOR VENTILATION OPENINGS IN THE UNDERFLOOR AREA SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
A. THE TOP OF THE OPENING SHALL BE LOCATED NOT MORE THAN 12 INCHES BELOW THE BOTTOM OF THE FLOOR JOIST.
B. THE OPENINGS SHALL BE DISTRIBUTED APPROXIMATELY EQUALLY AND LOCATED TO PROVIDE CROSS VENTILATION. FOR EXAMPLE, BY LOCATING THE OPENING ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES OF THE BUILDING.
C. THE OPENINGS SHALL BE THE LARGER OF 1.5 SQUARE FEET FOR EACH 25 LINEAR FEET OR FRACTION OF EXTERIOR WALL, OR OPENINGS SHALL BE EQUAL TO 1% OF UNDERFLOOR AREA.
D. THE OPENINGS MAY BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH MESH OPENINGS OF GREATER THAN 1/4 INCH AND LESS THAN 2 INCH IN DIMENSION. 91.7104.3.2

LEGEND

- 1-HOUR FIRE PARTITION, SEE A900 FOR WALL TYPES
2-HOUR FIRE BARRIER, SEE A900 FOR WALL TYPES
NON-RATED INTERIOR PARTITION, SEE A900
SHEAR WALL PER STRUCT DWGS
WOOD POST PER STRUCT DWGS
WALL TAG. SEE A900 FOR WALL TYPE
DOOR TAG. SEE A900 FOR DOOR TYPE
WINDOW TAG. SEE A900 FOR WINDOW TYPE
SMOKE DETECTOR
CARBON MONOXIDE DETECTOR
BATHROOM EXHAUST FAN



JZA
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SEAL:



REVISIONS

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CLIENT NAME:

1412 N MARIPOSA PARTNERS
LLC

PROJECT NAME:

MARIPOSA APTS

NOT FOR CONSTRUCTION

PROJECT ADDRESS:

1412 N MARIPOSA AVE
LOS ANGELES, CA

JOB NUMBER:

2213

DATE:

8.25.2023

SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

A200

DRAWING SET TITLE:

ENTITLEMENT SET

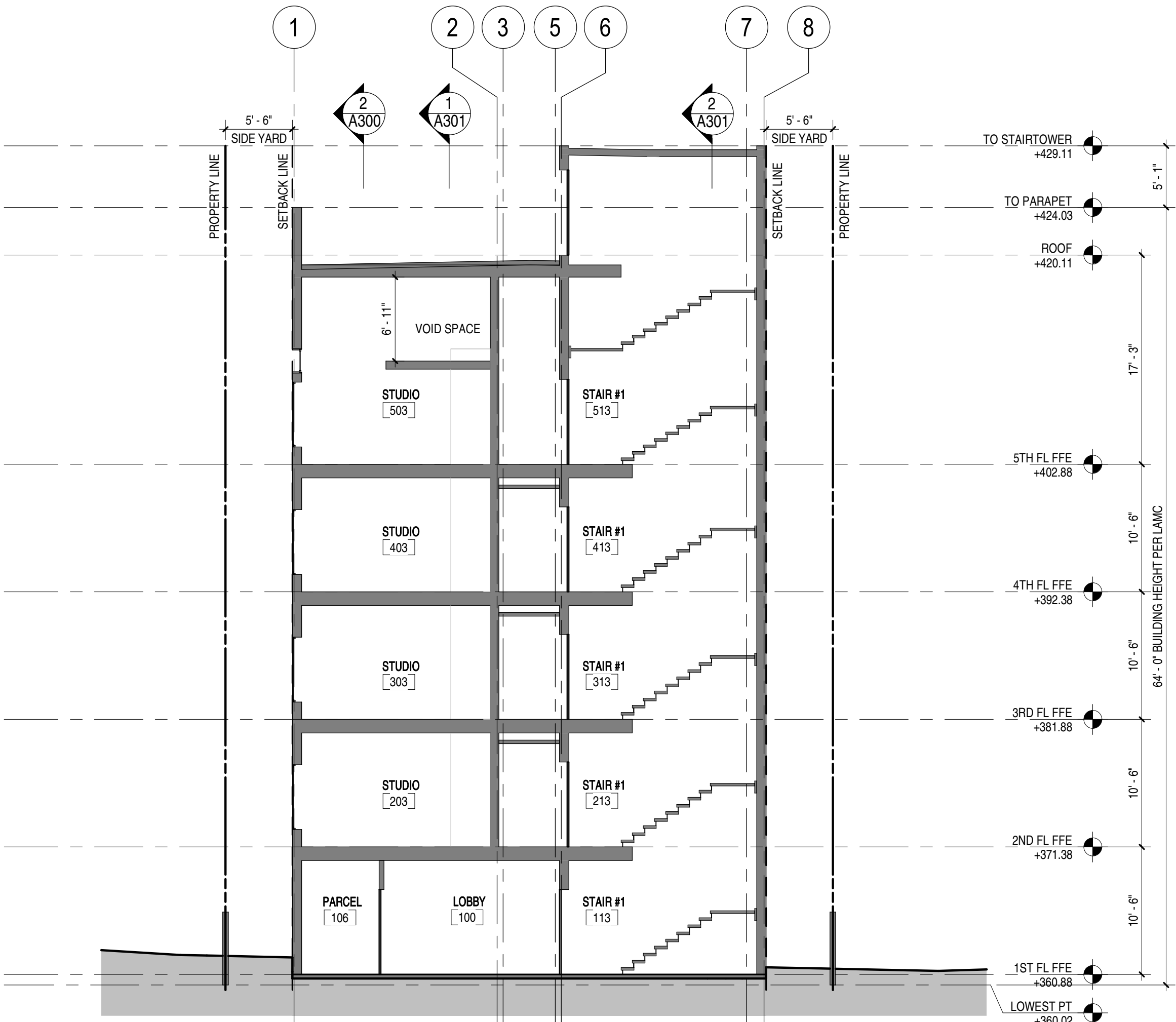
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SOUTH ELEVATION

1/8" = 1'-0"

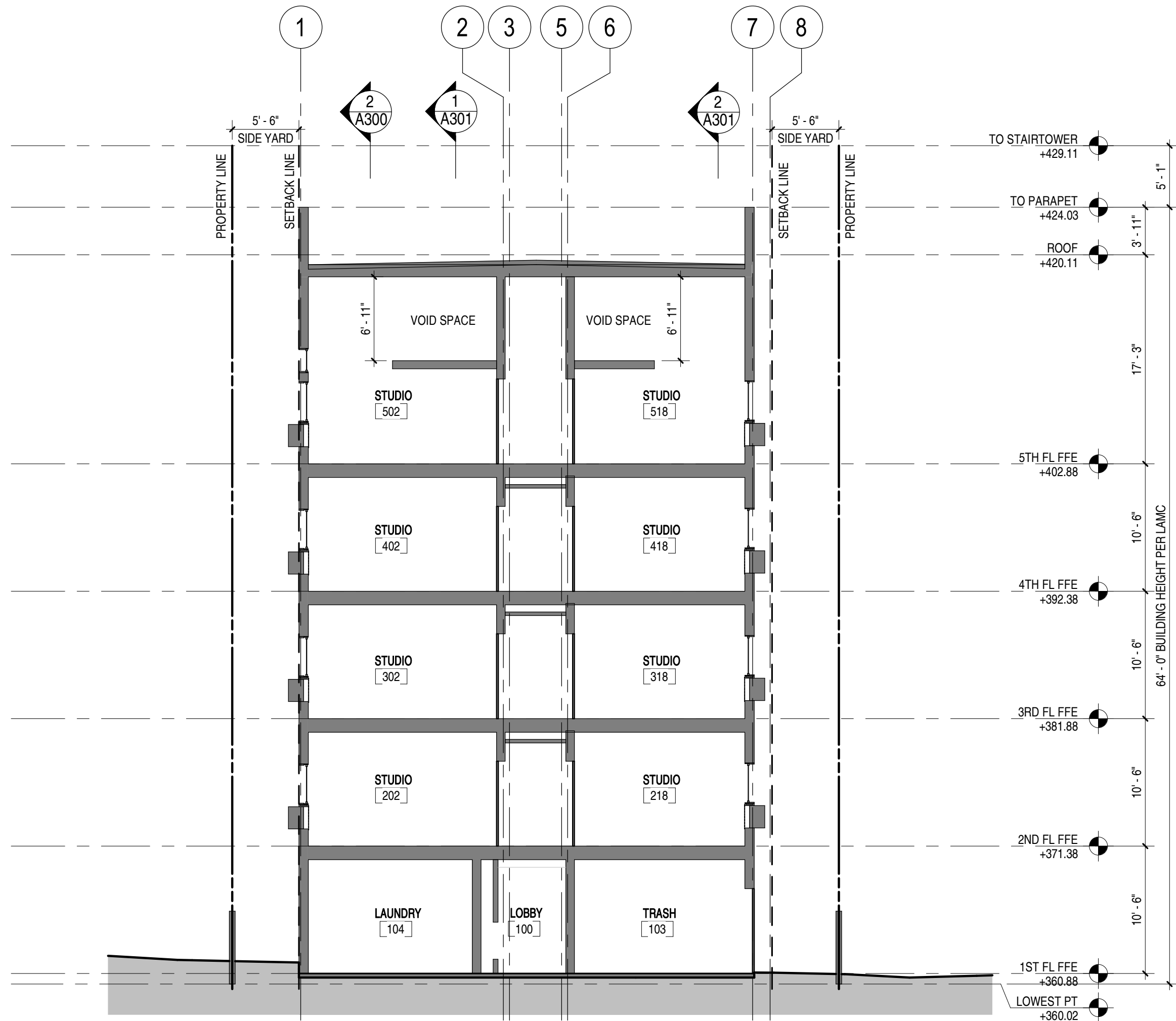
1



NS SECTION 2

1/8" = 1'-0"

3



NS SECTION 1

1/8" = 1'-0"

2

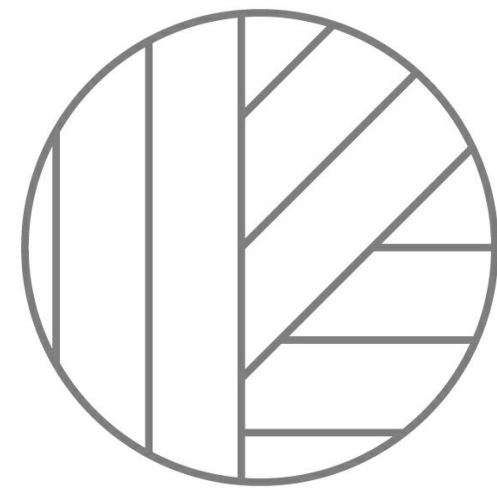
KEYNOTES

SHEET NOTES

- ALL INTERIOR WALLS TO BE TYPE 1A, UNO.
- ALL DIMENSIONS ARE TO CLR UNO.
- ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS.
- GRADE AWAY FROM FOOTINGS, 1% MIN.
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC". CAL GREEN 4211.4, ENERGY CODE 10.10.14 (LIFE REQUIREMENT NO. 96).
- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
- TYPE BLOODING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R502.11.
- EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FASCIA.
- ROOFING MATERIAL TO BE MALARKY ROOFING, ECOASIS SOL PREMIUM - MESQUITE, CLASS-A ROOF COVERING.
- ROOF TO HAVE A 5-YEAR AGED SHI VALUE OF AT LEAST 18 OR BOTH A 5-YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.80 AND A THERMAL EMITTANCE OF AT LEAST 0.75. ESR #145.
- IN COMBUSTIBLE CONSTRUCTION, FIREBLOODING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R502.11.
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOORCEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER R502.12.
- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER R501.1.
- PROTECTION OF WOOD AND WOOD AGED PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R507.1 BY:
 - THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
 - PROVIDE ANTI-GRAFFITI FINISH WITHIN FIRST 9 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.
- BUILDINGS WITH RAISED FLOOR CONSTRUCTION UNDERFLOOR VENTILATION OPENINGS IN THE UNDERFLOOR AREA SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - A. THE TOP OF THE OPENING SHALL BE LOCATED NOT MORE THAN 12 INCHES BELOW THE BOTTOM OF THE FLOOR JOIST.
 - B. THE OPENINGS SHALL BE DISTRIBUTED APPROXIMATELY EQUALLY AND LOCATED TO PROVIDE CROSS VENTILATION. FOR EXAMPLE, BY LOCATING THE OPENING ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES OF THE BUILDING.
 - C. THE OPENINGS SHALL BE THE LARGER OF: 1.5 SQUARE FEET FOR EACH 25 LINEAR FEET OR FRACTION OF EXTERIOR WALL, OR OPENINGS SHALL BE EQUAL TO 1% OF UNDERFLOOR AREA.
 - D. THE OPENINGS MAY BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH MESH OPENINGS OF GREATER THAN 1/4 INCH AND LESS THAN 2 INCH IN DIMENSION. 91.7104.3.2

LEGEND

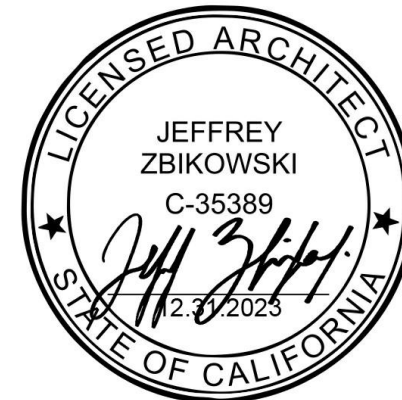
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|--|--|
| | 1-HOUR FIRE PARTITION, SEE A900 FOR WALL TYPES |
| | 2-HOUR FIRE BARRIER, SEE A900 FOR WALL TYPES |
| | NON-RATED INTERIOR PARTITION, SEE A900 |
| | SHEAR WALL PER STRUCT DWGS |
| | WOOD POST PER STRUCT DWGS |
| | WALL TAG, SEE A900 FOR WALL TYPE |
| | DOOR TAG, SEE A900 FOR DOOR TYPE |
| | WINDOW TAG, SEE A900 FOR WINDOW TYPE |
| | SMOKE DETECTOR |
| | CARBON MONOXIDE DETECTOR |
| | BATHROOM EXHAUST FAN |



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2213

DATE:

8.25.2023

SHEET TITLE:

ELEVATIONS &
SECTIONS

SHEET NUMBER:

A201

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ENTITLEMENT SET

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