

MONIQUE LAWSHE  
PRESIDENT

CAROLINE CHOE  
VICE-PRESIDENT

PRISCILLA CHAVEZ  
MARTINA DIAZ  
SARAH JOHNSON  
PHYLLIS KLEIN  
BRIAN ROSENSTEIN  
JACOB SAIMAN  
ELIZABETH ZAMORA



KAREN BASS  
MAYOR

VINCENT P. BERTONI, AICP  
DIRECTOR

KEVIN J. KELLER, AICP  
EXECUTIVE OFFICER

SHANA M.M. BONSTIN  
DEPUTY DIRECTOR

HAYDEE URITA-LOPEZ  
DEPUTY DIRECTOR

ARTHI L. VARMA, AICP  
DEPUTY DIRECTOR

LISA M. WEBBER, AICP  
DEPUTY DIRECTOR

CRAIG R. WEBER  
DEPUTY DIRECTOR

**DIRECTOR'S DETERMINATION  
TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM  
VERMONT/WESTERN SNAP PROJECT COMPLIANCE REVIEW**

June 16, 2026

**Applicant / Owner**

David Bolour  
1767 North Vermont Associates, LLC  
2720 South La Cienega Boulevard  
Unit A  
Los Angeles, CA 90034

**Representative**

Urban Design Specialists  
c/o Ron Mandalian  
4719 Admiralty Way  
Unit A  
Marina del Rey, CA 90292

**Case No.** DIR-2025-1040-TOC-SPPC-HCA

**CEQA:** ENV-2025-1041-CE

**Specific Plan Subarea:** B – Mixed Use Boulevards

**Location:** 1767 North Vermont Avenue  
(1765 – 1767 North Vermont Avenue)

**Council District:** 4 – Raman

**Neighborhood Council:** Los Feliz

**Community Plan Area:** Hollywood

**Land Use Designation:** Neighborhood Commercial

**Zone:** [Q]C4-2D

**Legal Description:** Lot 28, Amended Map of  
Glen View Tract

**Last Day to File an Appeal:** July 1, 2026

**DETERMINATION**

Pursuant to the Los Angeles Municipal Code (LAMC) Chapter 1, Section 12.22 A.31, I have reviewed the proposed project and as the designee of the Director of Planning, I hereby:

**Determine** that based on the whole of the administrative record as supported by the justification prepared and found in the environmental case file, the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Section 15332 (Class 32 - In-Fill Development Project), and there is no substantial evidence demonstrating that any exceptions contained in Section 15300.2 of the State CEQA Guidelines regarding location, cumulative impacts, significant effects or unusual circumstances, scenic highways, or hazardous waste sites, or historical resources applies.

**Approve with Conditions** a project consistent with the provisions of the Transit Oriented Communities (TOC) Affordable Housing Incentive Program Tier 3 to permit a project consisting of 24 residential units by reserving four (4) dwelling units, equal to 14% of the total units, for Very-Low Income Household Occupancy for a period of 55 years, with Base Incentives permitted pursuant to LAMC 12.21 A.31, in addition to the following Additional Incentives:

**a. Height.**

- (i) An up to 44% increase in the height requirement, allowing up to 72 foot of maximum building height in lieu of the maximum 50 feet per SNAP Subarea B;

- (ii) Transitional height per TOC, Tier 3, in lieu of the otherwise required SNAP transitional height requirement for a lot that abuts a parcel within the SNAP Subarea A;
- (iii) A one (1)-story increase in the height allowance of the portion of the building located within 10 feet of the property line, allowing up to three (3) stories in lieu of the maximum two (2)-stories within 10 feet of the property line along Vermont Avenue per SNAP Subarea B.

**b. Open Space.** An up to 25 percent reduction to permit a minimum total open space of 2,082 square feet in lieu of the minimum 2,775 square feet otherwise required;

Pursuant to the Los Angeles Municipal Code (LAMC) Chapter 1A, Section 13B.4.2, and the Vermont/Western Station Neighborhood Area (SNAP) Specific Plan Ordinance No. 188,457, I have reviewed the proposed project and as the designee of the Director of Planning, I hereby:

**Approve with Conditions** a Project Permit Compliance Review for the demolition of an existing commercial building and the construction, use, and maintenance of a seven (7)-story, 31,896 square-foot mixed-use building, consisting of 24 dwelling units and 698 square feet of retail floor area within Subarea B (Mixed Use Boulevards) of the Vermont/Western Station Neighborhood Area Plan (SNAP) Specific Plan.

The project approval is based upon the attached Findings, and is subject to the attached Conditions of Approval:

## CONDITIONS OF APPROVAL

### TOC Affordable Housing Incentive Program Grant Clause and Conditions

1. **Residential Density.** The project shall be limited to a maximum density of 24 residential dwelling units, including On-Site Restricted Affordable Units.
2. **On-Site Restricted Affordable Units.** The project shall provide a minimum of four (4) On-Site Restricted Affordable units, consisting of four (4) Very Low-Income Household Occupancy, as defined in the California Health and Safety Code to the satisfaction of the Los Angeles Housing Department (LAHD). In the event the SB 8 Replacement Unit condition requires additional affordable units or more restrictive affordability levels, the most restrictive requirements shall prevail.
3. **SB 8 No Net Loss Declaration.** Pursuant to California Government Code Section 66300, as amended by Senate Bill (SB) 8 (2021), a Housing Development Project outside the Very High Fire Hazard Severity Zone must include at least as many residential dwelling units as the greatest number of residential dwelling units that existed on the project site within the last five years (i.e., "no net loss"). Projects subject to the Housing Crisis Act of 2019 (HCA) that result in a net loss of housing are prohibited. The applicant has submitted a No Net Loss Declaration dated January 28, 2025.
4. **Changes in On-Site Restricted Units.** Deviations that increase the number of restricted affordable units or that change the composition of units or change parking numbers shall be consistent with LAMC Section 12.22 A.31.
5. **Housing Requirements.** Prior to issuance of a building permit, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing Department (LAHD) to make four (4) units available to Very Low-Income Households or equal to 14 percent of the project's total proposed residential density allowed, for sale or rental as determined to be affordable to such households by LAHD for a period of 55 years. In the event the applicant reduces the proposed density of the project, the number of required reserved on-site Restricted Units may be adjusted, consistent with LAMC Section 12.22 A.31, to the satisfaction of LAHD, and in consideration of the project's Replacement Unit Determination. Unless otherwise required by state or federal law, the project shall provide an onsite building manager's unit, which the owner shall designate in the covenant. The Owner may not use an affordable restricted unit for the manager's unit.
6. **Rent Stabilization Ordinance (RSO).** Prior to the issuance of a Certificate of Occupancy, the owner shall obtain approval from LAHD regarding replacement of affordable units, provision of RSO Units, and qualification for the Exemption from the Rent Stabilization Ordinance with Replacement Affordable Units in compliance with Ordinance No. 184,873. In order for all the new units to be exempt from the Rent Stabilization Ordinance, the applicant will need to either replace all withdrawn RSO units with affordable units on a one-for-one basis or provide at least 20 percent of the total number of newly constructed rental units as affordable, whichever results in the greater number. The executed and recorded covenant and agreement submitted and approved by LAHD shall be provided.
7. **Automobile Parking.** Automobile parking shall be provided consistent with Assembly Bill (AB) 2097, which permits no minimum automobile parking spaces for a mixed-use project located within half a mile of a major transit stop, and no more than two (2) commercial parking spaces, 41 residential parking spaces and 12 guest parking space per the SNAP.

8. **Height.** The project shall be limited to a maximum building height of 72 feet, as measured from grade to the highest point of the structure. Architectural rooftop features as identified in LAMC Section 12.21.1 B.3 may be erected up to 10 feet above the height limit, if the structures and features are set back a minimum of 10 feet from the roof perimeter and screened from view at street level.
9. **Building Stepback.** The project shall set the third floor back from the first-floor frontage by a minimum of 10 feet. The project shall be limited to 30 feet in height for the portion of the building located within 15 feet from the front property line along Vermont Avenue.
10. **Transitional Height.** Within 25 feet of the property line abutting the SNAP Subarea A (Neighborhood Conservation) lot, the building height limit shall be stepped-back at a 45-degree angle as measured from a horizontal plane originating 25 feet above grade at the property line of the adjoining lot in Subarea A.
11. **Open Space.** The project shall provide a minimum of 2,082 square feet of usable open space, of which 1,041 square feet must be located at grade level or first habitable room level. The common open space shall be open to the sky, must be at least 600 square feet in size, and have a minimum dimension of 20 feet when measured perpendicular from any point on each of the boundaries of the open space area. Balconies shall have a minimum dimension of six feet and patios shall have a minimum dimension of 10 feet. Common open space areas, balconies, and patios not meeting the minimum dimension requirements when measured perpendicular from any point on each of the boundaries of the open space area cannot be counted towards the square-footage allocated towards meeting the overall usable open space requirement.
12. **Required Trees per 12.21 G.2.** As conditioned herein, a final submitted landscape plan shall be reviewed to be in substantial conformance with Exhibit "A". There shall be a minimum of six (6) 24-inch box, or larger, trees onsite pursuant to LAMC Section 12.21 G.2. Any required trees pursuant to LAMC Section 12.21 G.2 shown in the public right-of-way in Exhibit "A" shall be preliminarily reviewed and approved by the Urban Forestry Division prior to building permit issuance. In-lieu fees pursuant to LAMC Section 62.177 shall be paid if placement of required trees in the public right-of-way is proven to be infeasible due to City-determined physical constraints.
13. **Landscaping.** The landscape plan shall indicate landscape points for the project equivalent to 10% more than otherwise required by LAMC 12.40 and Landscape Ordinance Guidelines "O". All open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be attractively landscaped, including an automatic irrigation system, and maintained in accordance with a landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning.

## **SNAP Conditions**

14. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the applicant, stamped "Exhibit A," and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning, Central Project Planning Division, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Municipal Code, the project conditions, or the project permit authorization.
15. **Parks First.** Prior to the issuance of a Certificate of Occupancy, the applicant shall complete the following:

- a. Make a payment to the Department of Recreation and Parks (RAP) for the required Park Fee pursuant to LAMC Section 17.12. Contact RAP staff by email at [rap.parkfees@lacity.org](mailto:rap.parkfees@lacity.org), by phone at (213) 202-2682 or in person at the public counter at 221 N. Figueroa St., Suite 400 (4<sup>th</sup> Floor), Los Angeles, CA 90012 to arrange for payment.
  - b. Make a payment of \$103,200 to the Parks First Trust Fund for the net increase of 24 residential dwelling units. The calculation of a Parks First Trust Fund Fee to be paid pursuant to the Vermont/Western SNAP shall be off-set by the Park Fee paid pursuant to LAMC Section 17.12 as a result of the project.
  - c. The applicant shall provide proof of payment for the Park Fee to the Department of City Planning (DCP), Central Project Planning Division staff to determine the resulting amount of Parks First Trust Fund Fee to be paid. DCP staff shall sign off on the Certificate of Occupancy in the event there are no resulting Parks First Trust Fund Fee to be paid.
  - d. In the event there are remaining Parks First Trust Fund Fees to be paid, the applicant shall make a payment to the Office of the City Administrative Officer (CAO), Parks First Trust Fund. Contact Melinda Gejer and Kristine Harutyunyan of the CAO to arrange for payment. Melinda Gejer may be reached at (213) 473-9758 or [Melinda.Gejer@lacity.org](mailto:Melinda.Gejer@lacity.org). Kristine Harutyunyan may be reached at (213) 473-7573 or [Kristine.Harutyunyan@lacity.org](mailto:Kristine.Harutyunyan@lacity.org). The applicant shall submit proof of payment for the Parks First Trust Fund Fee to DCP staff, who will then sign off on the Certificate of Occupancy.
  - e. All residential units in a project containing units set aside as affordable for Very Low or Low Income Households that are subsidized with public funds and/or Federal or State Tax Credits with affordability covenants of at least 30 years are exempt from the Parks First Trust Fund.
16. **Use.** The proposed residential use shall be permitted on the subject property. The vacant commercial space shall be occupied by a use that is allowed in the C1.5 zone. Any new change of use thereafter shall be required to obtain a Specific Plan Project Compliance approval before any permit clearance is given to ensure the proposed use is consistent with the SNAP. Commercial Uses shall be limited to the ground floor of the building.
  17. **Bicycle Parking.** The project shall provide a minimum of 12 residential bicycle parking spaces and a minimum of one (1) commercial bicycle spaces on site, as shown in Exhibit "A."
  18. **Setback.** No front, side, or rear yard setbacks shall be required.
  19. **Streetscape Elements.**
    - a. **Street Trees.** Street trees must be installed and maintained prior to issuance of the building permit or suitably guaranteed through a bond and all improvements must be completed prior to the issuance of a Certificate of Occupancy.
      - i. Two (2), 36-inch box shade trees shall be provided in the public right-of-way along Vermont Avenue, subject to the Bureau of Street Services, Urban Forestry Division requirements.

- ii. The project site currently includes existing trees within the frontages along the project site. Whether the street tree should remain or should be replaced is subject to the Bureau of Street Services, Urban Forestry Division.
- iii. A tree well cover shall be provided for each new and existing tree in the public right-of-way adjacent to the subject property to the satisfaction of the Bureau of Street Services.
- iv. The applicant shall be responsible for new street tree planting and pay fees for clerical, inspection, and maintenance per the Los Angeles Municipal Code Section 62.176 for each tree.
- v. An automatic irrigation system shall be provided.

Note: Contact the Urban Forestry Division, Subdivision staff, at (213) 847-3088 for site inspection prior to any street tree work.

- b. **Bike Racks.** Two (2) simple black-painted bike racks shall be provided in the public right-of-way along Vermont Avenue. Bike racks shall be installed three (3) feet from the curb edge or per the City of Los Angeles Department of Transportation requirements.
  - c. **Trash Receptacles.** One (1) trash receptacle painted black shall be provided, maintained, and emptied by the project owner, and placed in the public right-of-way along Vermont Avenue subject to the requirements of the Department of Public Works.
  - d. **Public Benches.** One (1) public bench painted black with a backrest, three armrests, and intermediate frame shall be provided and maintained in the public right-of-way along Vermont Avenue subject to the requirements of the Department of Public Works.
20. **Curb Cuts.** Only one curb cut that is 20 feet in width for every 150 feet of street frontage is allowed when a project takes its access from a Major or Secondary Highway, unless otherwise required by the Departments of Public Works, Transportation, or Building and Safety. Approval by the Departments of Public Works, Transportation, or Building and Safety for a curb cut exceeding 20 feet in width must be provided to the Department of City Planning once received.
21. **Utilities.** All new utility lines which directly service the lot or lots shall be installed underground. If underground service is not currently available, then provisions shall be made by the applicant for future underground service.
22. **Floor Area Ratio (FAR).** The maximum FAR shall be limited to 2.9:1, or 31,896 square feet. At no point shall the commercial FAR equate to more than 0.063:1 FAR or 698 square feet of the overall 2.9:1 FAR, or 31,896 square feet allowed. For purposes of this grant, the buildable area is considered the entire parcel's square footage.
23. **Transparent Elements.** At least 270.38 square feet of the ground floor façade shall be constructed with transparent building materials along Vermont Avenue, consistent with Exhibit A, Sheets A4-1.
24. **Façade Relief.** As illustrated in 'Exhibit A', all exterior elevations shall provide a break in the plane every 20 feet in horizontal length and every 15 feet in vertical length.

25. **Roof Lines.** As illustrated in 'Exhibit A', all roof lines greater than 40 feet in length shall be broken up with the use of gables, formers, plant-ons, cutouts, or other appropriate means.
26. **Surface Mechanical Equipment.** All surface or ground-mounted mechanical equipment, including transformers, terminal boxes, pull boxes, air conditioner condensers, gas meters and electric meter cabinets, shall be screened from public view and treated to match the materials and colors of the building which they serve.
27. **Rooftop Appurtenances.** All rooftop equipment and building appurtenances shall be screened from any street, public right-of-way, or adjacent property with enclosures or parapet walls constructed of materials complimentary to the materials and design of the main structure.
28. **Trash, Service Equipment and Satellite Dishes.** Trash, service equipment and satellite dishes, including transformer areas, shall be located away from streets and enclosed or screened by landscaping, fencing or other architectural means. The trash area shall be enclosed by a minimum six-foot high decorative masonry wall. Each trash enclosure shall have a separate area for recyclables. Any transformer area within the front yard shall be enclosed or screened.
29. **Freestanding Walls.** Any freestanding wall shall be articulated with an architectural element at intervals of 20 feet or less.
30. **Design of Entrance.** The applicant shall submit detailed elevations of the ground floor illustrating that all pedestrian entrances, including entries to the commercial store, residential lobby area, and the pedestrian throughways, are accented with architectural elements such as columns, overhanging roofs, or awnings. The location of Entrances shall be in the center of the façade or symmetrically spaced if there are more than one.
31. **Landscape Plan.** The applicant shall submit a final landscape plan prepared by a licensed landscape architect showing enhanced paving such as stamped concrete, permeable paved surfaces, tile and/or brick within paved areas in front, side and rear yards.
32. **Irrigation Plan.** A final irrigation plan shall be prepared and included.
33. **Lighting.** The applicant shall comply with the following standards:
  - a. **On-Site Lighting.** The applicant shall install on-site lighting along all vehicular access ways and pedestrian walkways. Parking areas shall have a minimum of  $\frac{3}{4}$  foot-candle of flood lighting measured at the pavement. All on-site lighting shall be directed away from adjacent properties. This condition shall not preclude the installation of low-level security lighting.
  - b. **Lighting Shielded.** Sources of illumination shall be shielded from casting light higher than 15 degrees below the horizontal plane as measured from the light source. They shall not cast light directly into adjacent residential windows.
  - c. **Light Mounting Height.** A maximum mounting height of light sources for ground level illumination shall be 14 feet, measured from the finished grade of the area to be lit.
  - d. **Lamp Color.** Color corrected ("white") high pressure sodium (HPS), color corrected fluorescent (2,700-3,000 degrees K), metal halide, or incandescent lamps shall be used for ground level illumination. Standard "peach" high pressure sodium, low

pressure sodium, standard mercury vapor, and cool white fluorescent shall not be used for ground floor illumination.

34. **Security Devices.** If at any time during the life of the project the property owner wishes to install security devices such as window grilles and/or gates, such security devices shall be designed so as to be fully concealed from public view. The applicant shall be required to acquire approval from the Department of City Planning, Central Project Planning Division for the installation of any security devices on the exterior or the structure through a building permit clearance sign off.
35. **Hours of Operation.** All trash collection and deliveries and other similar parking maintenance activities shall take place between the hours of 7:00 a.m. to 8:00 p.m., Monday through Friday and 10:00 a.m. to 4:00 p.m. on Saturday and Sunday.
36. **Privacy.** As illustrated in 'Exhibit A', the façade shall avoid placing windows facing windows across property lines or facing private outdoor space of other residential units.
37. **Noise.** Any dwelling unit exterior wall including windows and doors having a line of sight to a public street or alley shall be constructed to provide a Sound Transmission Class of 50 or greater, as defined in the Uniform Building Code Standard No. 35-1, 1979 edition, or latest edition.
38. **Future Signage.** All future signs shall be reviewed by Project Planning staff for compliance with the Vermont/Western Station Neighborhood Area Plan (SNAP) Specific Plan and Design Guidelines. Filing for a Project Permit shall not be necessary unless a Project Permit Adjustment, Exception, or Amendment is required. Any pole, roof or off-site sign, any sign containing flashing, mechanical or strobe lights (Digital Signs) are prohibited. Canned/Cabinet signs should not be used.

#### **Administrative Conditions**

39. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building and Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall be stamped by Department of City Planning staff "Plans Approved". A copy of the Plans Approved, supplied by the applicant, shall be retained in the subject case file.
40. **Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet, and shall include any modifications or notations required herein.
41. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
42. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
43. **Department of Building and Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los

Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.

44. **Enforcement.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Department of City Planning.
45. **Expiration.** In the event that this grant is not utilized within three (3) years of its effective date (the day following the last day that an appeal may be filed), the grant shall be considered null and void. Issuance of a building permit, and the initiation of, and diligent continuation of, construction activity shall constitute utilization for the purposes of this grant.
46. **Recording Covenant.** Prior to the issuance of any permits relative to this matter, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard master covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Development Services Center for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Development Services Center at the time of Condition Clearance for attachment to the subject case file.
47. **Indemnification and Reimbursement of Litigation Costs.** The applicant shall do all of the following:
  - (i) Defend, indemnify, and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
  - (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
  - (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
  - (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not

relieve the applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).

- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the applicant otherwise created by this condition.

## PROJECT BACKGROUND

The subject property consists of one (1) lot with approximately 55 feet of frontage along the westerly side of Vermont Avenue. The subject lot has a total lot size of approximately 11,000 square feet based on a survey prepared by Kacie A. Plouff, Professional Land Surveyor #9013. The project site is located within the Hollywood Community Plan and Subarea B of the Vermont/Western SNAP Specific Plan. The site is zoned [Q]C4-2D, designated for Neighborhood Commercial land uses, and currently improved with commercial building and detached accessory structures. There are no existing protected trees or shrubs on site or within the adjacent public right-of-way.

The applicant requests a Project Permit Compliance to permit the demolition of an existing commercial building and the construction, use, and maintenance of a seven (7)-story, 31,896 square-foot mixed-use building, consisting of 24 dwelling units and 698 square feet of retail floor area within Subarea B (Mixed Use Boulevards) of the Vermont/Western Station Neighborhood Area Plan (SNAP) Specific Plan. The proposed project will include 31,850 residential square feet and 698 commercial square feet for a total floor area with a Floor Area Ratio (FAR) of 2.9:1. The project will include a total of 14 long-term bicycle parking spaces (13 residential bicycle spaces and one (1) commercial bicycle spaces) and 3,811 square feet of open space. Pursuant to Assembly Bill (AB) 2097, the applicant is proposing a total of 10 parking spaces, two (2) of which will be shared commercial spaces. As the proposed project includes the construction of a mixed-use building and the site is located within half a mile of a major transit stop, the project qualifies for the parking reduction under the provisions of AB 2097.

The surrounding area is characterized by level topography and improved streets. The property to the east is zoned [Q]C4-2D, located within Subarea B (Mixed Use Boulevards) of the Vermont/Western SNAP Specific Plan, and developed with a commercial building. The property to the west, is zoned PF-1XL, located within Subarea A (Neighborhood Conservation) of the Vermont/Western SNAP Specific Plan, and developed with an elementary school. Lastly, the properties to the north and south are zoned [Q]C4-2D and are located within Subarea B (Mixed Use Boulevards) of the Vermont/Western SNAP Specific Plan. The northern property is developed with a multifamily residential building, while the southern property is improved with a commercial building.

The applicant is seeking discretionary approval of the TOC Housing Incentive Program with the following incentives:

### Base Incentives:

1. An up to 71.43 percent increase in density, allowing up to 24 units in lieu of 14 units; and
2. An up to 45 percent increase in residential floor area ratio, allowing up to 2.9:1 of residential floor area ration in lieu of 2:1 per SNAP Subarea B.

### Additional Incentives:

- Height.
  - An up to 44% increase in the height requirement, allowing up to 72 foot of maximum building height in lieu of the maximum 50 feet per SNAP Subarea B;
  - Transitional height per TOC in lieu of the otherwise required SNAP transitional height requirement for a lot that abuts a parcel within the SNAP Subarea A;
  - A one (1)-story increase in the height allowance of the portion of the building located within 10 feet of the property line, allowing up to three (3) stories in lieu of the maximum two (2)-stories within 10 feet of the property line along Vermont Avenue per SNAP Subarea B.

- Open Space. An up to 25 percent reduction to permit a minimum total open space of 2,082 square feet in lieu of the minimum 2,775 square feet otherwise required;

### Urban Design Review

On March 24, 2025, the proposed project was taken to Urban Design Studio's (UDS) Office Hours for review. UDS' Office Hours function is to provide input directly to the project planner at meetings. The Studio's feedback focuses on ways a project can be improved to comply more fully with the Studio's three (3) design approaches which are: 1) Pedestrian First Design, 2) 360 Degree Design, and 3) Climate Adaptive Design. At this meeting, UDS had comments relating to expanding the residential lobby, wider driveways, transparency elements, and access to rear yard open space. The project team responded to these comments by updating the floor plans to include a wider residential lobby, wider driveway, and adding more side yard doors from the garage to access the pathway to the rear yard open space.

### **SB 8 No Net Loss Declaration.**

Pursuant to California Government Code Section 66300, as amended by Senate Bill (SB) 8 (2021), a Housing Development Project outside the Very High Fire Hazard Severity Zone must include at least as many residential dwelling units as the greatest number of residential dwelling units that existed on the project site within the last five years (i.e., "no net loss"). Projects subject to the Housing Crisis Act of 2019 (HCA) that result in a net loss of housing are prohibited. The applicant has submitted a No Net Loss Declaration dated January 28, 2025.

### **TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM BACKGROUND**

Measure JJJ was adopted by the Los Angeles City Council on December 13, 2016. Section 6 of the Measure instructed the Department of City Planning to create the Transit Oriented Communities (TOC) Affordable Housing Incentive Program, a transit-based affordable housing incentive program. The measure required that the Department adopt a set of TOC Guidelines, which establish incentives for residential or mixed-use projects located within ½ mile of a major transit stop. Major transit stops are defined under existing State law.

The TOC Guidelines, adopted September 22, 2017, establish a tier-based system with varying development bonuses and incentives based on a project's distance from different types of transit. The largest bonuses are reserved for those areas in the closest proximity to significant rail stops or the intersection of major bus rapid transit lines. Required affordability levels are increased incrementally in each higher tier. The incentives provided in the TOC Guidelines describe the range of bonuses from particular zoning standards that applicants may select.

The project site is located less than 2,640 feet from the Metro Local Line 180 NextGen/Rapid and DASH Hollywood which qualifies the site as Tier 3 of the Transit Oriented Communities (TOC) Affordable Housing Incentive Program (TOC Guidelines) according to the TOC Referral Form dated October 8, 2024.

Pursuant to the TOC Guidelines, the project is eligible for Base Incentives and up to two (2) Additional Incentives for setting aside 14 percent of the total 24 units and 10 percent of the base 14 units for Very Low-Income Households, with Base Incentives permitted pursuant to LAMC 12.21 A.31, in addition to the following two (2) Additional Incentives: (1) an up to 44 percent increase in the height requirement, allowing up to 72 feet of maximum building height in lieu of the maximum 50 feet per SNAP Subarea B along with the transitional height per TOC in lieu of the otherwise required SNAP transitional height requirement for a lot that abuts a parcel within the SNAP Subarea A and a one (1)-story increase in the height allowance of the portion of the building located

within 10 feet of the property line, allowing up to three (3) stories in lieu of the maximum two (2)-stories within 10 feet of the property line along Vermont Avenue per SNAP Subarea B; and (2) an up to 25 percent reduction to permit a minimum total open space of 2,082 square feet in lieu of the minimum 2,775 square feet otherwise required.

The project site is zoned C4-1D, which allows R4 density. However, Subarea B Section 8.A of the SNAP states that only R3 density is allowed regardless of the underlying zone and limits residential density of the subject property to a maximum of one dwelling unit for each 800 square feet of lot area. The R3 density allows a maximum base density of 14 units on an 11,000-square-foot lot. The project is permitted a 71.43 percent increase in density, which allows a maximum of 19 units. The applicant proposes a total of 19 units, which is within the maximum density permitted.

The TOC Guidelines allow a 45 percent increase in the maximum 2:1 FAR permitted for a mixed-use development per the SNAP Subarea B, thereby allowing a maximum 2.9:1 FAR. The project will consist of 31,198 residential square feet and 698 commercial square feet, which results in a maximum 2.9:1 FAR.

Per the TOC Guidelines, a project containing 24 dwelling units within Tier 3 units is required to provide a minimum of 15 residential automobile parking spaces based on a ratio of 0.5 spaces per unit. Pursuant to Assembly Bill (AB) 2097, the applicant is proposing no automobile parking spaces. As the proposed project includes the construction of a mixed-use building and the site is located within half a mile of a major transit stop, the project qualifies for the parking reduction under the provisions of AB 2097.

## **TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM ELIGIBILITY REQUIREMENTS**

To be an eligible Transit Oriented Communities (TOC) Housing Development, a project must meet the Eligibility criteria set forth in Section IV of the TOC Affordable Housing Incentive Program Guidelines (TOC Guidelines). A Housing Development located within a TOC Affordable Housing Incentive Area shall be eligible for TOC Incentives if it meets all of the following requirements, which it does:

1. ***On-Site Restricted Affordable Units.*** *In each Tier, a Housing Development shall provide On-Site Restricted Affordable Units at a rate of at least the minimum percentages described below. The minimum number of On-Site Restricted Affordable Units shall be calculated based upon the total number of units in the final project.*
  - a. *Tier 1 - 8% of the total number of dwelling units shall be affordable to Extremely Low Income (ELI) Households, 11% of the total number of dwelling units shall be affordable to Very Low (VL) Income Households, or 20% of the total number of dwelling units shall be affordable to Lower Income Households.*
  - b. *Tier 2 - 9% ELI, 12% VL or 21% Lower.*
  - c. *Tier 3 - 10% ELI, 14% VL or 23% Lower.*
  - d. *Tier 4 - 11% ELI, 15% VL or 25% Lower.*

The project site is located within a Tier 3 TOC Affordable Housing Incentive Area according to the TOC Referral Form dated October 8, 2024. As part of the proposed development, the project is required to reserve at least 14 percent, or four (4) units, of the total 24 units for Very Low Income Households. The applicant proposes four (4) units restricted to Very Low Income Households. As such, the project meets the eligibility requirement for On-Site Restricted Affordable Units.

2. **Major Transit Stop.** *A Housing Development shall be located on a lot, any portion of which must be located within 2,640 feet of a Major Transit Stop, as defined in Section II and according to the procedures in Section III.2 of the TOC Guidelines.*

A Major Transit Stop is a site containing a retail station or the intersection of two or more bus routes with a service interval of 15 minutes or less during the morning and afternoon peak commute periods. The project site is located less than 2,640 feet from the Hollywood/Western Red Line Station. As such, the project meets the eligibility requirement for proximity to a Major Transit Stop.

3. **Housing Replacement.** *A Housing Development must meet any applicable housing replacement requirements of California Government Code Section 65915(c)(3), as verified by the Department of Housing and Community Investment (HCIDLA) prior to the issuance of any building permit. Replacement housing units required per this section may also count towards other On-Site Restricted Affordable Units requirements.*

Pursuant to California Government Code Section 66300, as amended by Senate Bill (SB) 8 (2021), a Housing Development Project outside the Very High Fire Hazard Severity Zone must include at least as many residential dwelling units as the greatest number of residential dwelling units that existed on the project site within the last five years (i.e., "no net loss"). Projects subject to the Housing Crisis Act of 2019 (HCA) that result in a net loss of housing are prohibited. The applicant has submitted a No Net Loss Declaration dated January 28, 2025. As such, the project meets the eligibility requirement for providing replacement housing consistent with California Government Code Section 65915(c)(3).

4. **Other Density or Development Bonus Provisions.** *A Housing Development shall not seek and receive a density or development bonus under the provisions of California Government Code Section 65915 (State Density Bonus law) or any other State or local program that provides development bonuses. This includes any development bonus or other incentive granting additional residential units or floor area provided through a General Plan Amendment, Zone Change, Height District Change, or any affordable housing development bonus in a Transit Neighborhood Plan, Community Plan Implementation Overlay (CPIO), Specific Plan, or overlay district.*

The project is not seeking any additional density or development bonuses under the provisions of the State Density Bonus Law or any other State or local program that provides development bonuses, including, but not limited to a General Plan Amendment, Zone Change, Height District Change, or any affordable housing development bonus in a Transit Neighborhood Plan, CPIO, Specific Plan, or overlay district. As such, the project meets this eligibility requirement.

5. **Base Incentives and Additional Incentives.** *All Eligible Housing Developments are eligible to receive the Base Incentives listed in Section VI of the TOC Guidelines. Up to three Additional Incentives listed in Section VII of the TOC Guidelines may be granted based upon the affordability requirements described below. For the purposes of this section below, "base units" refers to the maximum allowable density allowed by the zoning, prior to any density increase provided through these Guidelines. The affordable housing units required per this section may also count towards the On-Site Restricted Affordable Units requirement in the Eligibility Requirement No. 1 above (except Moderate Income units).*

- a. *One Additional Incentive may be granted for projects that include at least 4% of the base units for Extremely Low Income Households, at least 5% of the base units for Very Low Income Households, at least 10% of the base units for Lower Income*

*Households, or at least 10% of the base units for persons and families of Moderate Income in a common interest development.*

- b. Two Additional Incentives may be granted for projects that include at least 7% of the base units for Extremely Low Income Households, at least 10% of the base units for Very Low Income Households, at least 20% of the base units for Lower Income Households, or at least 20% of the base units for persons and families of Moderate Income in a common interest development.*
- c. Three Additional Incentives may be granted for projects that include at least 11% of the base units for Extremely Low Income Households, at least 15% of the base units for Very Low Income Households, at least 30% of the base units for Lower Income Households, or at least 30% of the base units for persons and families of Moderate Income in a common interest development.*

As part of the proposed development, the project is required to reserve at least 14 percent, or four (4) units, of the total 24 units for Very Low Income to receive the Base Incentives listed in Section VI of the TOC Guidelines. The project is seeking two (2) Additional Incentives as follows: (1) an up to 44 percent increase in the height requirement, allowing up to 72 feet of maximum building height in lieu of the maximum 50 feet per SNAP Subarea B along with the transitional height per TOC in lieu of the otherwise required SNAP transitional height requirement for a lot that abuts a parcel within the SNAP Subarea A and a one (1)-story increase in the height allowance of the portion of the building located within 10 feet of the property line, allowing up to three (3) stories in lieu of the maximum two (2)-stories within 10 feet of the property line along Vermont Avenue per SNAP Subarea B; and (2) an up to 25 percent reduction to permit a minimum total open space of 2,082 square feet in lieu of the minimum 2,775 square feet otherwise required. The project is required to set aside 10 percent, or three (3) units, of the base 14 units for Very Low Income Households. The applicant is proposing to set aside an overall of four (4) units for Very Low Income households. As such, the project meets the eligibility requirement for Base and Additional Incentives and the project will not be required to set aside any additional units for the Additional Incentives.

- 6. *Projects Adhering to Labor Standards.*** *Projects that adhere to the labor standards required in LAMC 11.5.11 may be granted two Additional Incentives from the menu in Section VII of these Guidelines (for a total of up to five Additional Incentives).*

Projects are only required to adhere to Labor Standards identified in LAMC 11.5.11 if they are requesting more than three (3) Additional Incentives. As the project is only requesting two (2) Additional Incentives, the project need not adhere to the labor standards required in LAMC Section 11.5.11 and this eligibility requirement does not apply.

- 7. *Multiple Lots.*** *A building that crosses one or more lots may request the TOC Incentives that correspond to the lot with the highest Tier permitted by Section III above.*

The project site consists of one (1) rectangular lot which is located within a Tier 3 TOC Affordable Housing Incentive Area. As such, this eligibility requirement does not apply.

- 8. *Request for a Lower Tier.*** *Even though an applicant may be eligible for a certain Tier, they may choose to select a Lower Tier by providing the percentage of On-Site Restricted Affordable Housing units required for any Lower Tier and be limited to the Incentives available for the Lower Tier.*

The applicant has not selected a lower Tier and is not providing the percentage of On-Site Restricted Affordable Housing units required for any Lower Tier. As such, this eligibility requirement does not apply.

9. **100% Affordable Housing Projects.** *Buildings that are Eligible Housing Developments that consist of 100% On-Site Restricted Affordable units, exclusive of a building manager's unit or units shall, for purposes of these Guidelines, be eligible for one increase in Tier than otherwise would be provided.*

The project does not consist of 100% On-Site Restricted Affordable units. As such, this eligibility requirement does not apply.

## **TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM / AFFORDABLE HOUSING INCENTIVES COMPLIANCE FINDINGS**

Pursuant to Section 12.22 A.31(e) of the LAMC, the Director shall review a Transit Oriented Communities (TOC) Affordable Housing Incentive Program project application in accordance with the procedures outlined in LAMC Section 12.22 A.25(g).

1. **Pursuant to Section 12.22 A.25(g) of the LAMC, the Director shall approve a density bonus and requested incentives unless the Director finds that:**

- a. **The incentives are not required to provide for affordable housing costs for rents for the affordable units.**

The record does not contain substantial evidence that would allow the Director to make a finding that the requested incentives are not necessary to provide for affordable housing costs per State Law. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed 25 percent of gross income based on area median income thresholds dependent on affordability levels.

The list of incentives in the TOC Guidelines were pre-evaluated at the time the TOC Affordable Housing Incentive Program Ordinance was adopted to include types of relief that minimize restrictions on the size of the project. As such, the Director will always arrive at the conclusion that the base incentives are required to provide for affordable housing costs because the incentives by their nature increase the scale of the project. The following incentives allow the developer to increase the building height and reduce open space requirements per the SNAP so that affordable housing units reserved for Very Low-Income Households can be constructed and the overall space dedicated to residential uses is increased. These incentives support the applicant's decision to reserve four (4) units for Very Low-Income Households.

**Height.** A 22-foot height increase to permit up to 72 feet of maximum building height in lieu of the maximum 50 feet otherwise permitted in Subarea B for mixed-use projects; the building height limit to be stepped-back at a 45-degree angle as measured from a horizontal plane originating 25 feet above grade at the property line of the adjoining lot in Subarea A in lieu of the Transitional Height limits based on distance to a Subarea A building; and a one (1)-story increase in the height allowance of the portion of the building located within 10 feet of the property line, allowing up to three (3) stories in lieu of the maximum two (2)-stories within 10 feet of the property line along Vermont Avenue per SNAP Subarea B. The requested increase in height is expressed in the Menu of Incentives in the TOC Guidelines, which permit exceptions to zoning requirements that result in building design or construction efficiencies that provide for affordable housing costs.

**Open Space.** A 25 percent reduction to permit a minimum total open space of 2,082 square feet in lieu of the minimum 2,775 square feet otherwise required. The requested open space incentive is expressed in the Menu of Incentives in the TOC Guidelines, which permit exceptions to zoning requirements that result in building design or construction efficiencies that facilitate affordable housing costs. The requested incentive allows the inclusion of affordable housing, while still providing usable open space as intended by the Code.

- b. The Incentive will not have a specific adverse impact upon public health and safety or the physical environment, or on any real property that is listed in the California Register of Historical Resources and for which there are no feasible method to satisfactorily mitigate or avoid the specific adverse Impact without rendering the development unaffordable to Very Low, Low and Moderate Income Households. Inconsistency with the zoning ordinance or the general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety.**

There is no substantial evidence in the record that the proposed incentives will have a specific adverse impact. A "specific adverse impact" is defined as, "a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" (LAMC Section 12.22.A.25(b)). As required by Section 12.22 A.25 (e)(2), the project meets the eligibility criterion that is required for density bonus projects. The project also does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical-Cultural Monuments. Therefore, there is no substantial evidence that the proposed incentives will have a specific adverse impact on public health and safety.

## **VERMONT/WESTERN SNAP FINDINGS**

- 2. The project substantially complies with the applicable regulations, findings, standards, and provisions of the specific plan.**

**A. Parks First.** Section 6.F of the Vermont/Western Specific Plan requires the applicant to pay a Parks First Trust Fund of \$4,300 for each new residential unit, prior to the issuance of a Certificate of Occupancy. The applicant proposes the demolition of an existing commercial building and the construction, use, and maintenance of a seven (7)-story, 31,896 square-foot mixed-use building, consisting of 24 dwelling units and 698 square feet, resulting in a net increase of 24 residential units. The project is therefore required to pay a total of \$103,200 into the Parks First Trust Fund. The calculation of a Parks First Trust Fund fee to be paid or actual park space to be provided pursuant to the Parks First Ordinance shall be off-set by the amount of any fee pursuant to LAMC Section 17.12 or dwelling unit construction tax pursuant to LAMC Section 21.10.1, et seq. This requirement is reflected in the Condition of Approval. As conditioned, the project complies with Section 6.F of the Specific Plan.

**B. Use.** Section 8.A of the Vermont/Western Specific Plan states that residential uses permitted in the R3 Zone by LAMC Section 12.10 and commercial uses permitted in the C1.5 Limited Commercial Zone by LAMC Section 12.13.5 shall be permitted by-right on any lot located within Subarea B of the Specific Plan area. The subject site is 11,000 square feet in size, allowing a maximum of 14 dwelling units. However, the applicant is seeking a 71.43 percent increase in the maximum allowable density permitted in the SNAP to allow 24 dwelling units in lieu of the otherwise permitted 14 dwelling units, in exchange for setting aside 14 percent, or four (4) units, of the total 24

units for Very Low Income households per the TOC Affordable Housing Incentive Program. The project has been conditioned to record a covenant with the Los Angeles Housing Department (LAHD) to make four (4) units available to Very Low Income Households to ensure the applicant sets aside the required number of units for affordable housing to be eligible for a 70 percent increase from the total density permitted by the SNAP. The project site is allowed C1.5 commercial uses on the subject property and is proposing 698 square feet of commercial floor area (general retail use). Any future change of use will be required to apply for a Specific Plan Project Compliance determination to ensure that the proposed use is consistent with the SNAP. Therefore, as conditioned and in conjunction with the TOC Affordable Housing Incentive Program, the project complies with Section 8.A of the Specific Plan.

- C. Height and Floor Area.** Section 8.B of the Vermont/Western Specific Plan requires that a Mixed-Use Project shall not exceed 50 feet; except that roofs and roof structures for the purposes specified in Section 12.21.1 B.3 of the Code, may be erected up to 10 feet above the height limit established in this section, if those structures and features are setback a minimum of 10 feet from the roof perimeter and are screened from view at street level by a parapet or a sloping roof. The applicant proposes the demolition of an existing commercial building and the construction, use, and maintenance of a seven (7)-story, 31,896 square-foot mixed-use building, consisting of 24 dwelling units and 698 square feet of retail floor area within Subarea B (Mixed Use Boulevards) of the Vermont/Western Station Neighborhood Area Plan (SNAP) Specific Plan. A mixed-use project shall not exceed a height of 50 feet. However, the applicant is seeking a 22 foot height increase in exchange for setting aside affordable housing units. As shown in Exhibit "A", the proposed project will not exceed 22 feet in height. As conditioned, the final plans for the project will be in compliance with the TOC Affordable Housing Incentive Program and the requirements of the Vermont/Western SNAP Specific Plan.

| Height Increase            |       |                           |                           |
|----------------------------|-------|---------------------------|---------------------------|
|                            | Limit | With TOC                  | Proposed                  |
| <b>SNAP Overall Height</b> | 50'   | 50' + 22' =<br><b>72'</b> | 50' + 22" =<br><b>72'</b> |

Moreover, a mixed-use project shall not exceed a 2:1 FAR. However, the applicant is seeking a FAR increase to 2.9:1 in exchange for setting aside affordable housing units. As the FAR increase is a TOC Base Incentive, the applicant only needs to demonstrate a set aside of 14 percent, or four (4) units, of the total 24 units for Very Low Income households per the TOC Affordable Housing Incentive Program.

| FAR Increase                      |       |                             |                             |
|-----------------------------------|-------|-----------------------------|-----------------------------|
|                                   | Limit | With TOC                    | Proposed                    |
| <b>SNAP FAR Mixed Use Project</b> | 2:1   | 2:1 + 45% =<br><b>2.9:1</b> | 2:1 + 45% =<br><b>2.9:1</b> |

The project site contains 11,000 square feet of lot area and the proposed building contains a combined floor area of 31,896 square feet, resulting in a 2.9:1 FAR which is within the allowable 2.9:1 FAR per the TOC incentive, which is a 45 percent increase. Typically, TOC Guidelines would permit a 50 percent increase for properties in Tier 3, however, TOC Guidelines Section VI.b.v.1. notes that the maximum FAR increase shall be limited to 45 percent if the site is located within a Specific Plan or overlay district. As such, the maximum permissible FAR increase would be 45 percent. Therefore, as conditioned and in conjunction with the TOC Affordable Housing Incentive Program, the project complies with Section 8.B of the Specific Plan.

- D. Transitional Height.** Section 8.C of the Vermont/Western Specific Plan states that portions of buildings on a lot located within Subarea B adjoining or abutting a lot within Subarea A shall not exceed 25 feet in height and 33 feet in height when located within 0-49 feet and 50-99 feet, respectively. Pursuant to the TOC Guidelines, the applicant has requested the building height limit to be stepped-back at a 45-degree angle as measured from a horizontal plane originating 25 feet above grade at the property line of the adjoining lot in Subarea A in lieu of the Transitional Height limits based on Section 8.C. of the SNAP. The applicant has requested a total of two (2) Additional Incentives, regarding height, and open space, and as such, the applicant is required to set aside 10 percent, or three (3) units of the base 14 units for Very Low-Income Households. The applicant is proposing four (4) units for Very Low Income Households. As conditioned, the final plans for the project will be in compliance with the TOC Affordable Housing Incentive Program and the requirements of the Vermont/Western SNAP Specific Plan. Therefore, as conditioned and in conjunction with the TOC Affordable Housing Incentive Program, the project complies with Section 8.B of the Specific Plan.
- E. Usable Open Space.** Section 8.D of the Vermont/Western Specific Plan states that residential projects with two (2) or more dwelling units must provide specified amounts of common and private open space pursuant to the standards set forth in LAMC 12.21 G.2 of the Code. The Specific Plan further stipulates that up to 50 percent of the total open space may be located above the grade level or first habitable room level of the project, and that roof decks may be used in their entirety as common or private open space, excluding that portion of the roof within 20 feet of the roof perimeter. Units containing less than three (3) habitable rooms require 100 square feet of open space per unit. Units containing three (3) habitable rooms require 125 square feet of open space per unit. Units containing more than three (3) habitable rooms require 175 square feet of open space per unit. The Vermont/Western SNAP sets forth the minimum usable open space requirement, as shown in the table below:

| SNAP Minimum Usable Open Space                     |       |                  |                             |
|----------------------------------------------------|-------|------------------|-----------------------------|
|                                                    | Units | Sq. Ft. Required | Usable Open Space (sq. ft.) |
| Dwelling Units with Less than 3 Habitable Rooms    | 9     | 100              | 900                         |
| Dwelling Units with 3 Habitable Rooms              | 15    | 125              | 1,875                       |
| Dwelling Units with More than 3 Habitable Rooms    | 0     | 175              | 0                           |
| <b>Total Minimum Usable Open Space</b>             |       |                  | <b>2,775</b>                |
| 50% located at grade or first habitable room level |       |                  | <b>1,388</b>                |

The project is therefore required to provide at least 1,388 square feet of open space of which 1,388 square feet must be located at grade level or first habitable room level. However, the applicant is seeking a Total Minimum Usable Open Space reduction to 2,082 square feet of total usable open space with only 1,041 square feet of open space to be located at grade or first habitable room level in exchange for setting aside affordable housing units. As the FAR increase is a TOC Base Incentive, the applicant only needs to demonstrate a set aside of 14 percent, or four (4) units, of the total 24 units for Very Low Income households per the TOC Affordable Housing Incentive Program. The proposed project includes a total of 3,211 square feet of open space comprised of 2,134 square feet of private open space and 1,077 square feet of common usable open space. Therefore, as conditioned and in conjunction with the TOC Affordable Housing Incentive Program, the project complies with Section 8.D of the Specific Plan.

| SNAP Minimum Usable Open Space Reduction           |          |                               |                               |
|----------------------------------------------------|----------|-------------------------------|-------------------------------|
|                                                    | Required | With TOC                      | Proposed                      |
| <b>SNAP Total Minimum Usable Open Space</b>        | 2,775    | 2,775 - 25% =<br><b>2,082</b> | 2,775 - 45% =<br><b>2,082</b> |
| 50% located at grade or first habitable room level | 1,388    | 1,388 - 25% =<br><b>1,041</b> | 1,388 - 25% =<br><b>1,041</b> |

**F. Project Parking Requirements.**

**Residential Parking.** Section 8.E of the Vermont/Western Specific Plan sets forth a minimum and maximum parking standard for residential projects, as shown in the tables below:

| SNAP Minimum Residential Parking Spaces                           |                                      |       |                |
|-------------------------------------------------------------------|--------------------------------------|-------|----------------|
|                                                                   | Parking Space Per Square Feet / Unit | Units | Parking Spaces |
| Dwelling Units with Less than 3 Habitable Rooms                   | 1                                    | 0     | 0              |
| Dwelling Units with 3 Habitable Rooms                             | 1                                    | 15    | 15             |
| Dwelling Units with More than 3 Habitable Rooms                   | 1.5                                  | 9     | 14             |
| <b>Total <u>Residential</u> Required Spaces</b>                   |                                      |       | <b>29</b>      |
| Guest                                                             | .25                                  | 24    | 6              |
| <b>Total Minimum Required Spaces (inclusive of guest parking)</b> |                                      |       | <b>35</b>      |

| SNAP Maximum Residential Parking Spaces                          |                                      |       |                |
|------------------------------------------------------------------|--------------------------------------|-------|----------------|
|                                                                  | Parking Space Per Square Feet / Unit | Units | Parking Spaces |
| Dwelling Units with Less than 3 Habitable Rooms                  | 1                                    | 0     | 0              |
| Dwelling Units with 3 Habitable Rooms                            | 1.5                                  | 15    | 23             |
| Dwelling Units with More than 3 Habitable Rooms                  | 2                                    | 9     | 18             |
| <b>Total <u>Residential</u> Allowed Spaces</b>                   |                                      |       | <b>41</b>      |
| Guest                                                            | .5                                   | 19    | 12             |
| <b>Total Maximum Allowed Spaces (inclusive of guest parking)</b> |                                      |       | <b>53</b>      |

The applicant proposes to utilize Assembly Bill (AB) 2097, which is a California law that prohibits public agencies or cities from imposing a minimum automobile parking requirement on most development projects located within a half-mile radius of a major transit stop. As the proposed project is a residential project and the site is located within half a mile of a major transit stop, the project qualifies for the parking reduction under the provisions of AB 2097. However, the project is still subject to the maximum parking requirement per the SNAP. The SNAP limits the maximum number of automobile parking spaces to 53, inclusive of guest parking spaces. AB 2097 replaces the parking requirement in the TOC Guidelines and SNAP Parking requirements for residential projects. The applicant proposes 10 parking spaces inclusive of two (2) shared commercial / residential guest parking spaces, thereby satisfying the TOC Guidelines

and the maximum SNAP parking requirements. Therefore, the project complies with Section 8.E of the Specific Plan.

**Bicycles.** Section 8.E.2 of the Vermont/Western Specific Plan requires any residential project with two (2) or more dwelling units to provide one-half (0.5) bicycle parking space per residential unit. The proposed development consists of 24 residential units, thus, requiring 10 bicycle parking spaces. Furthermore, the SNAP requires one (1) parking space for every 1,000 square feet of commercial floor area for the first 10,000 square feet, and one (1) parking space for every additional 10,000 square feet of floor area thereafter. The applicant proposes 698 square feet of commercial floor area, thereby requiring two (2) commercial bicycle parking spaces. The applicant proposes 13 residential bicycle parking spaces and one (1) commercial bicycle parking spaces within a bicycle parking room located within the parking level. Therefore, the project complies with Section 8.E.2 of the Specific Plan.

**Commercial Parking.** Section 8.E.3 of the Vermont/Western Specific Plan requires two (2) parking spaces per 1,000 square feet of commercial floor area, which must be shared with any guest parking spaces being proposed. The applicant proposes 698 square feet of commercial floor area, thereby allowing a maximum of two (2) commercial parking spaces. The applicant proposes two (2) shared guest/ commercial parking spaces which does not exceed the original maximum SNAP allowed of two (2) commercial spaces allowed. If guest parking spaces are designated at a later time, they must be shared with commercial spaces and cannot be in addition to guest parking spaces. Therefore, the project complies with Section 8.E.3 of the Specific Plan.

- G. Conversion Requirements.** Section 8.F of the Vermont/Western Specific Plan sets forth requirements pertaining to the conversion of existing structures to residential condominium uses. The applicant proposes the demolition of an existing commercial building and the construction, use, and maintenance of a seven (7)-story, 31,896 square-foot mixed-use building, consisting of 24 dwelling units and 698 square feet of retail floor area. Therefore, Section 8.F of the Specific Plan does not apply.
- H. Yards.** Section 8.G of the Vermont/Western Specific Plan specifies that no front, side or rear yard setbacks shall be required for the development of any project within Subarea B. The applicant proposes no front yard setback, no southerly side yard setback, five (5)-foot, six (6)-inch northerly side yard setback, and a 20-foot, six (6) inch rear yard setback. Therefore, the proposed project complies with Section 8.G of the Specific Plan.
- I. Pedestrian Throughways.** Section 8.H states that applicants shall provide one public pedestrian walkway, throughway, or path for every 250 feet of street frontage for the Project. The pedestrian throughway shall be accessible to the public and have a minimum vertical clearance of 12 feet and a minimum horizontal clearance of 10 feet. The proposed building occupies approximately 55 feet of frontage along the westerly side of Vermont Avenue. Therefore, Section 8.H. of the Specific Plan does not apply.
- J. Development Standards.** Section 8.I of the Vermont/Western Specific Plan requires that all projects with new development and extensive remodeling be in substantial conformance with the following Development Standards and Design Guidelines.

## **Development Standards**

- (1). Landscape Plan.** The Development Standard for Subarea B requires that all open areas not used for buildings, driveways, parking, recreational facilities, or pedestrian

amenities shall be landscaped by lawns and other ground coverings, allowing for convenient outdoor activity. The applicant has submitted a Landscape Plan which includes landscaping on the ground floor and rooftop levels. These floors will be landscaped with trees and shrubs such as Live Oak trees, Blue Lilac Vine, Clarity Blue Flax Lily, and Arabian Licas. The Landscape Plan also shows the public right-of-way containing Fern Pine street trees. Therefore, the project complies with this Development Standard.

- (2). **Usable Open Space.** This Development Standard requires that common usable open space must have a dimension of 20 feet when measured perpendicular from any point on each of the boundaries of the open space area and a minimum common open space area of 400 square feet for projects with less than 10 dwelling units and 600 square feet for projects with 10 dwelling units or more. Balconies shall have a minimum dimension of six feet. Common open space areas or balconies not meeting the minimum dimension requirements when measured perpendicular from any point on each of the boundaries of the open space area cannot be counted towards the square-footage allocated towards meeting the overall usable open space requirement.

Pursuant to TOC Guidelines, the applicant is seeking a 25 percent decrease in the required total minimum usable open space requirement in the SNAP to allow a total minimum required open space of 2,082 square feet. The applicant has requested a total of two (2) Additional Incentives, regarding height and open space, and as such, the applicant is required to set aside 10 percent, or three (3) units, of the base 14 units for Very Low Income Households. The applicant is proposing to set aside an overall of four (4) units for Very Low Income households, and as such, the applicant is providing more than the required number of affordable housing units for the Additional Incentive and is not required to provide additional units.

The Development Standard further stipulates that private usable open space, such as balconies with a minimum dimension of six feet, may reduce the required usable open space directly commensurate with the amount of private open space provided. The applicant proposes multiple open space areas throughout the building in the forms of ground floor common open space and private balconies, for a total area of 2,082 square feet of open space consisting of 1,077 square feet of common open space and 2,134 square feet of private open space. Therefore, in conjunction with the TOC Guidelines, the project complies with this Development Standard.

- (3). **Streetscape Elements.** The Development Standards require that any project along Vermont Avenue, Virgil Avenue, Hollywood Boulevard between the Hollywood Freeway and Western, or referred to in the Barnsdall Park Master Plan, or projects along other major and secondary highways, to conform to the standards and design intentions for improvement of the public right-of-way. The project site is located along Vermont Avenue, which is considered a major highway; therefore, the following Development Standards apply.

- a) **Street Trees.** The Development Standards require that one 36-inch box shade tree be planted and maintained on the sidewalk for every 30 feet of street frontage. The project site has approximately 55 feet of frontage along the westerly side of Vermont Avenue. As such, two (2) street trees are required along the Vermont Avenue public right-of-way. The project plans currently show two (2) proposed street trees along Vermont Avenue. Whether any existing street tree should remain or should be replaced is subject to the Bureau of Street Services, Urban Forestry Division. The project has been conditioned to provide a total of two (2) street trees along Vermont Avenue

public right-of-way of the project site. Therefore, as conditioned, the project complies with this Development Standard.

- b) **Tree Well Covers.** The Development Standards require that a tree well cover be provided for each new and existing street tree in the project area. The project is required to provide a total of two (2) street trees in the Vermont Avenue public right-of-way which include a tree well cover. Any existing trees, if they are to remain, shall provide a tree well cover. The project has been conditioned to require a total of two (2) new street trees. Therefore, as conditioned, the project complies with this Development Standard.
  - c) **Bike Racks.** The Development Standards require one bike rack for every 50 feet of street frontage. The project site has approximately 55 feet of frontage along the northerly side of Vermont Avenue. As such, two (2) bike racks are required along the Vermont Avenue public right-of-way. The project has been conditioned to provide a total of two (2) bike racks along the Vermont Avenue public right-of-way of the project site. Therefore, as conditioned, the project complies with this Development Standard.
  - d) **Trash Receptacles.** The Development Standards require one trash receptacle be provided in the public right of way for every 100 feet of lot frontage along a Major or Secondary Highway. The project site has approximately 55 feet of frontage along the northerly side of Vermont Avenue. As such, one (1) trash receptacle along the public right-of-way of Vermont Avenue is required. The applicant proposes one (1) trash receptacle along Vermont Avenue. The project has been conditioned to provide a total of two (2) trash receptacles along the Vermont Avenue public right-of-way of the project site. Therefore, as conditioned, the project complies with this Development Standard.
  - e) **Public Benches.** The Development Standards require that one public bench be provided in the public right of way for every 250 feet of lot frontage on a Major or Secondary Highway. The project site has approximately 55 feet of frontage along the northerly side of Vermont Avenue. Vermont Avenue is an Avenue I and measures less than 250 feet of lot frontage. As such, no public benches are required along the project site's public rights-of-way. However, the applicant proposes to provide one (1) public bench along Vermont Avenue. Therefore, the project complies with this Development Standard.
- (4). **Pedestrian/Vehicular Circulation.** The Development Standards require that projects fronting on a main commercial street shall avoid pedestrian/vehicular conflicts by adhering to standards related to parking lot location, curb cuts, pedestrian entrances, pedestrian walkways and speed bumps. The subject property fronts along Vermont Avenue, which is a commercial street. Therefore, the following Development Standards apply.
- a) **Parking Lot Location.** The Development Standards require that surface parking lots be placed at the rear of structures. The project does not propose any parking. Therefore, this Development Standard does not apply.
  - b) **Waiver.** The Director of Planning may authorize a waiver from the requirement to provide parking in the rear of the lot for mid-block lots that do not have through access to an alley or public street at the rear. The project lot

does not have access to an alley or public street at the rear. The applicant proposes zero parking. Therefore, this Development Standard does not apply.

- c) **Curb Cuts.** The Development Standards allow one curb cut that is 20 feet in width for every 150 feet of street frontage when a project takes its access from a Major or Secondary Highway, unless otherwise required by the Departments of Public Works, Transportation or Building and Safety. The applicant proposes its vehicle ingress and egress along Vermont Avenue, which is considered a Major Highway. The project is proposing one (1) 20-foot curb cuts along Vermont Avenue. Therefore, as conditioned and proposed, the project complies with this Development Standard.
  - d) **Pedestrian Entrance.** The Development Standards require that all buildings that front on a public street shall provide a pedestrian entrance at the front of the building. As shown on "Exhibit A" the applicant proposes a main pedestrian lobby entrance and commercial entrance along Vermont Avenue. Therefore, the project complies with this Development Standard.
  - e) **Design of Entrances.** The Development Standards require that entrances be located in the center of the façade or symmetrically spaced if there are more than one and be accented by architectural elements such as columns, overhanging roofs or awnings. The lobby entrance for the project is located towards the center of the façade along Vermont Avenue and will primarily lead residents from the street to the lobby area and will lead the public into the commercial space. Therefore, as proposed, the project complies with this Development Standard.
  - f) **Inner Block Pedestrian Walkway.** The Development Standards require that applicants provide a pedestrian walkway, throughway or path for every 250 feet of street frontage for a project. The pedestrian path or throughway shall be provided from the rear property line or from the parking lot or public alley or street if located to the rear of the project, to the front property line. The pedestrian walkway shall be accessible to the public and have a minimum vertical clearance of twelve feet, and a minimum horizontal clearance of ten feet. The proposed site occupies approximately 55 feet of frontage along the westerly side of Vermont Avenue. Therefore, this Development Standard does not apply.
  - g) **Speed Bumps.** The Development Standards require speed bumps be provided at a distance of no more than 20 feet apart when a pedestrian walkway and driveway share the same path for more than 50 lineal feet. The proposed project does not contain a pedestrian walkway and driveway that share the same path for more than 50 lineal feet. Therefore, this Development Standard does not apply.
- (5). **Utilities.** The Development Standards require that when new utility service is installed in conjunction with new development or extensive remodeling, all proposed utilities on the project site shall be placed underground. The project does not propose any installation of new utility service at this time. However, in the event new utility lines are to be installed on the site, the Conditions of Approval require all new utility lines which directly service the lot or lots shall be installed underground. If underground service is not currently available, then provisions shall be made for future underground service. Therefore, as conditioned, the project complies with this Development Standard.

- (6). **Building Design.** The purpose of the following provisions is to ensure that a project avoids large blank expenses of building walls, is designed in harmony with the surrounding neighborhood, and contributes to a lively pedestrian friendly atmosphere. Accordingly, the following standards shall be met:

- a) **Stepbacks.** The Development Standards require that 1) no portion of any structure exceed more than 30 feet in height within 15 feet of the front property line, and 2) that all buildings with a property line fronting on a Major Highway, including Hollywood Boulevard, Vermont Avenue, Santa Monica Boulevard, and Vermont Avenue, shall set the second floor back from the first-floor frontage at least ten feet. The proposed building has street frontage along Vermont Avenue. Vermont Avenue is classified as a Major Highway.

Therefore, the proposed project is subject to both stepback requirements along Vermont Avenue. As seen on Sheet A4-1, Sheet A4-2 and Sheet A5-0 of "Exhibit A", the project satisfies Stepback No. 1 and Stepback No. 2. Therefore, as conditioned and in conjunction with the TOC Affordable Housing Incentive Program, the project complies with this Development Standard.

- b) **Transparent Building Elements.** The Development Standards require that transparent building elements such as windows and doors occupy at least 50 percent of the ground floor facades on the front and side elevations and 20 percent of the surface area of the rear elevation of the ground floor portion which has surface parking in the rear of the structure. Moreover, a "side elevation ground floor façade" has been interpreted by Staff to only mean those facades which face a street or alley and not facades along interior lot lines that face other buildings. The subject site currently has an east elevation that faces Vermont Avenue. The northern, southern, and western façades are along an interior lot line that face existing buildings, not a street. Per Exhibit A, Sheet A4-1, the project is providing at least 50% transparency along the eastern façade. As such, the project has been conditioned to provide at least 50% of the exterior surface of the ground floor façade along the northern and western elevations with transparent building materials. Therefore, as conditioned, the project complies with this Development Standard.
- c) **Façade Relief.** The Development Standards require that exterior walls provide a break in plane for every 20 feet horizontally and every 30 feet vertically. As seen in "Exhibit A", Sheet A4-1 and Sheet A4-2, the applicant proposes horizontal and vertical plane breaks through the use of the façade incrementally stepped away from the street, change in material, recessed windows, balconies, transparency, and lineal orientation of the façade construction. Therefore, the project complies with this Development Standard.
- d) **Building Materials.** The Development Standards require that building facades be comprised of at least two types of complimentary building materials. As seen in "Exhibit A", Sheet 4-0, Sheet A4 1, and Sheet A4-2 the applicant proposes the use of stucco, metal, aluminum, and glass on all elevations of the structure. Therefore, the project complies with this Development Standard.
- e) **Surface Mechanical Equipment.** The Development Standards require that all surface or ground mounted mechanical equipment be screened from public view and treated to match the materials and colors of the building which they serve. The plans reflect a transformer at the southern façade of the proposed

building and propose to screen it from the public view with metal fencing which match the materials and colors of the proposed building. Moreover, the project has been conditioned to require surface mechanical equipment to match the colors and materials of the building that they serve. Therefore, as proposed, and conditioned, the project complies with this Development Standard.

- f) **Roof Lines.** The Development Standards require that all rooflines in excess of 40 feet are broken up through the use of gables, dormers, plant-ons, cutouts, or other appropriate means. As seen in Exhibit A, Sheet A3-4, all roof lines are continuously broken up to not exceed a horizontal roof line of 40 feet or greater. Moreover, the project has been conditioned to require all rooflines in excess of 40 feet to be broken up through the use of gables, dormers, plant-ons, cutouts, or other appropriate means. Therefore, the project complies with this Development Standard.
- (7). **Rooftop Appurtenances.** The Development Standards require that all rooftop equipment and building appurtenances shall be screened from public view or architecturally integrated into the design of the building. The proposed project will have no mechanical equipment placed on the roof. In the event that rooftop mechanical equipment is constructed, a Condition of Approval has been included requiring said equipment and ducts be screened from view from any street, public right-of-way or adjacent property and the screening shall be solid and match the exterior materials, design and color of the building. Therefore, as conditioned, the project complies with this Development Standard.
- (8). **Trash and Recycling Areas.** The Development Standards require that trash storage bins be located within a gated, covered enclosure constructed of identical building materials, be a minimum of six feet high, and have a separate area for recyclables. The proposed project provides trash and recycle enclosures located within the ground floor the building. Therefore, the project complies with this Development Standard.
- (9). **Pavement.** The Development Standards require that paved areas not used as parking and driveway areas consist of enhanced paving materials such as stamped concrete, permeable paved surfaces, tile, and/or brick pavers. The project site does not currently contain areas not being used as parking and driveway access that would require enhance paving at the ground level. Therefore, as conditioned, the project complies with this Development Standard.
- (10). **Freestanding Walls.** The Development Standards require that all freestanding walls contain an architectural element at intervals of no more than 20 feet and be set back from the property line adjacent to a public street. This Development Standard applies to freestanding walls, which the project does not propose. As proposed and conditioned, the project complies with this Development Standard.
- (11). **Parking Structures – Required Commercial Frontage.** The Development Standards require that all of the building frontage along major or secondary highways, for a parking structure shall be for commercial, community facilities, or other non-residential uses to a minimum depth of 25 feet. This Development Standard applies to standalone parking structures, which the project does not propose. Therefore, this Development Standard does not apply.
- (12). **Parking Structures – Façade Treatments.** The Development Standards require parking structures be designed to match the style, materials and colors of the main

building. This Development Standard applies to standalone parking structures, which the project does not propose. Therefore, this Development Standard does not apply

- (13). **Parking Structures Across from Residential Uses.** The Development Standards require parking structures abutting or directly across an alley or public street from any residential use or zone conform to standards regarding the façade facing the residential use or zone. This Development Standard applies to standalone parking structures, which the project does not propose. Therefore, this Development Standard does not apply
- (14). **Surface Parking Lots.** The Development Standards require at least 10 percent of the surface parking lot to be landscaped with: one (1) 24-inch box shade tree for every four parking spaces, spaced evenly to create an orchard-like effect; a landscaped buffer around the property line; and a three and a half foot solid decorative masonry wall behind a three-foot landscaped buffer. The trees shall be located so that an overhead canopy effect is anticipated to cover at least 50 percent of the parking area after 10 years of growth. The project does not propose a surface parking lot. Therefore, this Development Standard does not apply.
- (15). **Surface Parking Abutting Residential.** The Development Standards require surface parking abutting or directly across an alley or public street from any residential use or zone conform to standards regarding a decorative wall and landscaping buffer. The project does not propose a surface parking lot. Therefore, this Development Standard does not apply.
- (16). **On-Site Lighting.** The Development Standards require that the project include on-site lighting along all vehicular and pedestrian access ways. The Development Standards specify that the acceptable level of lighting intensity is  $\frac{3}{4}$  foot-candle of flood lighting measured from the ground, a maximum mounting height of light sources shall be 14 feet, and “white” color corrected lamp color shall be used for ground level illumination. A Condition of Approval has been included to ensure that any lighting shall meet the on-site lighting standards mentioned above. Therefore, as conditioned, the project complies with this Development Standard.
- (17). **Security Devices.** The Development Standards require security devices to be screened from public view. The proposed project does not contain any type of security devices at this time. In the event that additional security devices are installed in the future, a Condition of Approval has been included requiring all proposed devices to be integrated into the design of the building, concealed and retractable. Therefore, the project complies with this Development Standard.
- (18). **Privacy.** The Development Standards require that buildings be arranged to avoid windows facing windows across property lines, or the private open space of other residential units. The applicant has provided an elevation, Sheet A4-2, which depicts the windows of the existing adjacent structures to the west superimposed onto the proposed project. Given the constraints of an infill development located in an urbanized area, the applicant shall demonstrate efforts to arrange windows to avoid directly facing windows across property lines or private open space of other residential units. Therefore, as conditioned, the project complies with this Development Standard.
- (19). **Hours of Operation.** The Development Standards require that parking lot cleaning and sweeping, trash collection and deliveries be limited between 7:00 a.m. - 8:00 p.m. Monday through Friday, and 10:00 a.m. - 4:00 p.m. on Saturdays and Sundays. The applicant has been required in the Conditions of Approval to comply with this

Development Standard. Therefore, as conditioned, the project complies with this Development Standard.

**(20). Noise Control.** The Development Standards require that any dwelling unit exterior wall including windows and doors having a line of sight to a public street or alley be constructed to provide a Sound Transmission Class of 50 or greater, as defined in the Uniform Building Code Standard No. 35-1, 1979 edition, or latest edition. The developer, as an alternative, may retain an acoustical engineer to submit evidence, specifying any alternative means of sound insulation sufficient to reduce interior noise levels below 45 dBA in any habitable room. The proposed building has multiple windows along the front façade with a line of sight directly to Vermont Avenue. The project team submitted an alternative acoustical study, dated September 2024 and prepared by Noah Tanski Environmental Consulting, concluding that the cumulative impact will be less than significant. A Condition of Approval has been included requiring any dwelling unit exterior wall including windows and doors having a line of sight to a public street or alley to be constructed to provide a Sound Transmission Class of 50 or greater, as defined in the Uniform Building Code Standard No. 35-1, 1979 edition, or latest edition. Therefore, as conditioned, the project complies with this Development Standard.

**(21). Required Ground Floor Uses.** The Development Standards states that any residential, commercial facility, or commercial use permitted by the Specific Plan Ordinance is allowed on the ground floor and second floor within Subarea B. The applicant proposes a total of 698 square feet of commercial floor area along the ground floor. Therefore, the project complies with this Development Standard.

### **Design Guidelines**

**(22). Urban Form.** The Design Guidelines encourage transforming commercial streets away from a highway oriented, suburban format into a distinctly urban, pedestrian oriented and enlivened atmosphere by providing outdoor seating areas, informal gathering of chairs, and mid-block pedestrian walkways. The Guidelines also indicate that streets should begin to function for the surrounding community like an outdoor public living room and that transparency should exist between what is happening on the street and on the ground floor level of the buildings. The project is designed to enhance the pedestrian experience along Vermont Avenue by providing over 50 percent transparency increasing visibility into the ground floor from the street and adding a commercial retail space. The project has also been conditioned to include bike racks, shade trees, trash receptacles, and a public bench along the Vermont Avenue public right-of-way. Therefore, as proposed, the project complies with this Design Guideline.

**(23). Building Form.** The Design Guidelines encourage every building to have a clearly defined ground plane, roof expression, and middle or shaft that relates the two. The ground plane of the project is defined by facades that consist of glass and concrete. The upper floors are defined by various planes that consist of different material, windows, and projections. The roof plane varies in height and material, which adds articulation to the building. Therefore, as proposed, the project complies with this Design Guideline.

**(24). Architectural Features.** The Design Guidelines encourage courtyards, balconies, arbors, roof gardens, water features, and trellises. Appropriate visual references to historic building forms – especially Mediterranean traditions – are encouraged in new construction. The proposed project provides multiple private balconies from the second to the fourth floor, and a roof deck. Furthermore, all street-facing elevations employ a

variety of building materials and articulation by way of changes in building plane, and transparency. Therefore, the project complies with this Design Guideline.

**(25). Building Color.** The Design Guidelines encourage buildings be painted three colors: a dominant color, a subordinate color and a “grace note” color. The proposed project includes colors such as crystal white, silver gray, and dark grey. Therefore, the project complies with this Design Guideline.

**(26). Signs.** The Design Guidelines provide extensive guidance related to the placement, type, and style of signage to be used for projects. The Guidelines identify appropriate signs for the Specific Plan area to include: wall signs, small projecting hanging signs, awnings or canopy signs, small directory signs, and window signs. Any pole, roof or off-site sign, any sign containing flashing, mechanical or strobe lights (digital signs) are prohibited. The applicant does not propose signs as part of this application. However, all future signs shall be reviewed by Project Planning staff for compliance with the Vermont/Western SNAP and Design Guidelines. Filing for a Project Permit shall not be necessary unless a Project Permit Adjustment, Exception, or Amendment is required. Therefore, as conditioned, the project complies with this Development Standard.

**(27). Plant Materials on Facades.** The Design Guidelines encourage facade plant materials in addition to permanent landscaping. Plants can be arranged in planters, containers, hanging baskets, flower boxes, etc. The applicant does not propose any plant materials on facades. Therefore, this Design Guideline does not apply.

**3. The project incorporates mitigation measures, monitoring measures when necessary, or alternatives identified in the environmental review, which would mitigate the negative environmental effects of the project, to the extent physically feasible.**

The Department of City Planning determined that the City of Los Angeles Guidelines for the implementation of the California Environmental Quality Act of 1970 and the State CEQA Guidelines designate the subject Project as Categorically Exempt under Section 15332 (Class 32, In-Fill Development Project), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

See *Justification for Categorical Exemption Case No. ENV-2025-1041-CE* in the case file for the narrative demonstrates that exceptions do not apply, and the proposed project meets the five criteria under Class 32.

## **OBSERVANCE OF CONDITIONS - TIME LIMIT - LAPSE OF PRIVILEGES**

All terms and conditions of the Director’s Determination shall be fulfilled before the use may be established. The instant authorization is further conditioned upon the privileges being utilized within **three years** after the effective date of this determination and, if such privileges are not utilized, building permits are not issued, or substantial physical construction work is not begun within said time and carried on diligently so that building permits do not lapse, the authorization shall terminate and become void.

## **TRANSFERABILITY**

This determination runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant. If any portion of this approval is utilized, then all other conditions and requirements set forth herein become immediately operative and must be strictly observed.

## **VIOLATIONS OF THESE CONDITIONS, A MISDEMEANOR**

Section 11.00 of the LAMC states in part (m): “It shall be unlawful for any person to violate any provision or fail to comply with any of the requirements of this Code. Any person violating any of the provisions or failing to comply with any of the mandatory requirements of this Code shall be guilty of a misdemeanor unless that violation or failure is declared in that section to be an infraction. An infraction shall be tried and be punishable as provided in Section 19.6 of the Penal Code and the provisions of this section. Any violation of this Code that is designated as a misdemeanor may be charged by the City Attorney as either a misdemeanor or an infraction.

Every violation of this determination is punishable as a misdemeanor unless provision is otherwise made, and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the County Jail for a period of not more than six months, or by both a fine and imprisonment.”

## **APPEALS**

### **WHO CAN FILE AN APPEAL**

Only an applicant or any owner or tenant of a property abutting, across the street or alley from, or having a common corner with the subject property can appeal the Transit Oriented Communities/Density Bonus Compliance Review Determination. Per the Density Bonus Provision of State Law (Government Code Section 65915), the Density Bonus increase in units above the base density limits per the underlying zone(s) and the appurtenant parking reductions are not a discretionary action and therefore cannot be appealed. Only the requested incentives are appealable. Per LAMC Sections 12.22 A.25 and 12.22 A.31, appeals of Density Bonus Compliance Review and Transit Oriented Communities cases with the Director of Planning or Zoning Administrator as the initial decision maker are heard by the City Planning Commission.

### **HOW TO FILE AN APPEAL**

An appeal application must be submitted and paid for before 4:30 PM (PST) on the final day of the appeal period in order to appeal the determination. Should the final day fall on a weekend or a legal City holiday, the time for filing an appeal will be extended to 4:30 PM (PST) on the next following working day. Appeals should be filed early to ensure that the Department of City Planning Development Services Center (DSC) staff have adequate time to review and accept the documents, and to allow appellants time to submit payment. Appeals may be filed either online or in person as referenced below:

Forms are available online at <http://planning.lacity.gov/development-services/forms>.

### **ONLINE APPEAL FILINGS THROUGH ONLINE APPLICATION SYSTEM (OAS)**



QR Code to  
Online Appeal Filing

**Online Application System (OAS):** The OAS (<https://planning.lacity.gov/oas>) allows entitlement appeals to be submitted entirely online. Appeal fees may be paid for by credit card or e-check.

## IN-PERSON APPEAL FILINGS



QR Code to Forms for  
In-Person Appeal  
Filing

**Drop off at DSC.** Appeals of this determination can be submitted in-person at the Metro or Van Nuys DSC locations, as well as the South Los Angeles DSC on Tuesdays and Thursdays only, and payment can be made by credit card or check.

a. The Department of City Planning has established drop-off areas at the DSCs with physical boxes where appellants can drop off appeal applications;

b. Alternatively, appeal applications can be filed with staff at DSC public counters.

## DEPARTMENT OF CITY PLANNING DEVELOPMENT SERVICES CENTERS – PUBLIC COUNTERS

| Office                                               | Address                                                       | Phone Number   | Email                                                                              |
|------------------------------------------------------|---------------------------------------------------------------|----------------|------------------------------------------------------------------------------------|
| Metro DSC                                            | 201 N. Figueroa Street<br>4th Floor<br>Los Angeles, CA 90012  | (213) 482-7077 | <a href="mailto:planning.figcounter@lacity.org">planning.figcounter@lacity.org</a> |
| Van Nuys DSC                                         | 6262 Van Nuys<br>Boulevard, Suite 251<br>Van Nuys, CA 91401   | (818) 374-5050 | <a href="mailto:planning.mbc2@lacity.org">planning.mbc2@lacity.org</a>             |
| South LA DSC<br><i>Tuesday and<br/>Thursday Only</i> | 8475 S. Vermont<br>Avenue, 1st Floor<br>Los Angeles, CA 90044 | (213) 978-1465 | <a href="mailto:planning.southla@lacity.org">planning.southla@lacity.org</a>       |

Department of City Planning staff may follow up with the appellant via email and/or phone if there are any questions or missing materials in the appeal submission, to ensure that the appeal package is complete and meets the applicable LAMC provisions.

If you seek judicial review of any decision of the City pursuant to California Code of Civil procedure Section 1094.5, the petition for writ of mandate pursuant to that section must be filed no later than the 90th day following the date on which the City's decision became final pursuant to California Code of Civil Procedure Section 1094.6. There may be other time limits which also affect your ability to seek judicial review.

### **DETERMINATION EFFECTIVE DATE**

This determination will become effective after the end of the appeal period date on the first page of this document unless an appeal is filed with the Department of City Planning.

This grant is not a permit or license and any permits and/or licenses required by law must be obtained from the proper public agency. If any Condition of this grant is violated or not complied with, then the applicant or their successor in interest may be prosecuted for violating these Conditions the same as for any violation of the requirements contained in the Los Angeles Municipal Code (LAMC).

### **SCHEDULING CASE CONDITION CLEARANCE AND BUILDING PERMIT SIGN-OFFS**



QR Code to BuildLA  
Appointment Portal for  
Condition Clearance

In order to clear conditions and/or obtain building permit sign-offs, you must make an [appointment](#) with the Department of City Planning's Development Services Center (DSC). You may schedule a Case Condition Clearance Appointment with the DSC at [appointments.lacity.org](https://appointments.lacity.org) after the effective date of the determination.

See instructions on how to prepare for your appointment at [planning.lacity.gov/project-review/case-filings](https://planning.lacity.gov/project-review/case-filings)

VINCENT P. BERTONI, AICP  
Director of Planning

Approved by:

*Deborah Kahan*

Deborah Kahan, AICP, Senior City Planner

Prepared by:

*Chi Dang*

Chi Dang, City Planner

Prepared by:

*Yamillet Brizuela*

Yamillet, Brizuela, AICP, City Planning Associate  
yamillet.brizuela@lacity.org

1767 N VERMONT AVE, LOS ANGELES, CA 90027

| SHEET INDEX - ARCHITECTURAL |                           |
|-----------------------------|---------------------------|
| Sheet Number                | Sheet Name                |
| A1-0                        | BUILDING DATA             |
| A1-1                        | RENDERING                 |
| A1-2                        | SPEC SHEETS               |
| A1-3                        | TOC Forms                 |
| A1-4                        | TOC Forms                 |
| A1-10                       | FAR CALCULATION           |
| A1-11                       | OPEN SPACE CALCULATION    |
| A1-12                       | HARDSCAPE/ LANDSCAPE CALC |
| A2-0                        | SURVEY                    |
| A2-1                        | SITE PLAN                 |
| A3-1                        | 1ST FLOOR PLAN            |
| A3-2                        | 2ND & 3RD FLOOR PLANS     |
| A3-3                        | 4TH & 5TH FLOOR PLANS     |
| A3-4                        | 6TH FLOOR & ROOF PLANS    |
| A3-10                       | ENLARGED UNIT PLANS       |
| A3-11                       | ENLARGED UNIT PLANS       |
| A4-0                        | MATERIAL BOARD            |
| A4-1                        | SOUTH & EAST ELEVATIONS   |
| A4-2                        | NORTH & WEST ELEVATIONS   |
| A5-0                        | SECTIONS- A & B           |
| A6-0                        | DOOR/ WINDOW SCHEDULE     |

[illegible]

**EXHIBIT "A"**  
Page No. 1 of 27  
Case No. DIR-2025-1040-TOC-SPPC-HCA

|                                                   |                        |     |
|---------------------------------------------------|------------------------|-----|
| 7.                                                | TOC TIER-3, INCENTIVES |     |
| <b>BASE INCENTIVES</b>                            |                        |     |
| 1. INCREASE IN NUMBER OF UNITS                    |                        | 70% |
| 2. INCREASE IN RESIDENTIAL FLOOR AREA             |                        | 45% |
| 3. 0.5 SPACE PER UNIT PARKING FOR RESIDENTIAL     |                        |     |
| 4. 30% REDUCTION IN NON-RESIDENTIAL PARKING       |                        |     |
| <b>ADDITIONAL INCENTIVES</b>                      |                        |     |
| 1. HEIGHT INCREASE                                | 22 FEET                |     |
| 2. TRANSITIONAL HEIGHT INCREASE 25FT, PER TIRER-3 |                        |     |
| 3. OPEN SPACE REDUCTION                           | 25%                    |     |

|                                      |              |                 |
|--------------------------------------|--------------|-----------------|
| 11.                                  | FAR PROVIDED |                 |
| Area Calculation (FAR)               |              |                 |
| Name                                 | Area         |                 |
| 1ST FLOOR COM. RECYCLE RM            | 85 SF        |                 |
| 1ST FLOOR COMMERCIAL                 | 698 SF       |                 |
| 1ST FLOOR LOBBY                      | 380 SF       |                 |
| 1ST FLOOR RES. RECYCLE RM            | 64 SF        |                 |
| 1ST FLOOR RES. TRASH RM              | 91 SF        |                 |
| 2ND FLOOR                            | 6,203 SF     |                 |
| 3RD FLOOR                            | 6,203 SF     |                 |
| 4TH FLOOR                            | 6,203 SF     |                 |
| 5TH FLOOR                            | 6,203 SF     |                 |
| 6TH FLOOR                            | 5,766 SF     |                 |
| TOTAL FAR                            | 31,896 SF    | <31,900 S/F     |
|                                      |              | MAX.<br>ALLOWED |
| <b><u>RESIDENTIAL:</u></b>           |              |                 |
| TOTAL PROPOSED: <b>31,198 SF</b>     |              |                 |
| <b><u>COMMERCIAL:</u></b>            |              |                 |
| TOTAL PROPOSED: <b>698 SF</b>        |              |                 |
| SEE SHEET A1-10, FOR FAR CALCULATION |              |                 |

5-STORY **TYPE III-A** CONSTRUCTION OVER  
1-STORY **TYPE I-A** CONSTRUCTION OVER  
1-LEVELS OF SUBTERRANEAN GARAGE, **TYPE I-A**

- THIS BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM, COMPLYING WITH **NFPA 13**. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION". (903.2.8)
- THIS BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATIONS APPLIANCES IN ACCORDANCE WITH NFPA 72 & CFC 907.
- THIS BUILDING SHALL BE PROVIDED WITH TWO WAY RADIO COMMUNICATION ENHANCEMENT SYSTEMS PER CFC 510.1

**BUILDING CODE SUPERSEDE PLANS**

THIS IS NOT A PUBLIC HOUSING FACILITIES OWNED AND/OR OPERATED BY, FOR OR ON BEHALF OF A PUBLIC ENTITY AND NO TAX CREDIT RECEIVED FROM STATE OR FEDERAL. NOT A TCAC FACILITY, AND NOT A SOCIAL SERVICE CENTER. 100% PRIVATELY FUNDED



**VERMONT APARTMENT BUILDING**  
24-UNIT APARTMENT BUILDING  
1767 N. VERMONT AVE  
LOS ANGELES, CA 90027

**URBAN DESIGN SPECIALISTS**  
4519 ADMIRALTY WAY, SUITE A, MARINA DEL REY, CA 90292  
TEL: 310.301-1810 WWW.URBANDESIGNSPECIALISTS.COM



© COPYRIGHT 2020

DEVELOPER:

NOT FOR  
CONSTRUCTION

THIS DRAWING AND THE INFORMATION CONTAINED  
HEREIN ARE THE COPYRIGHTED WORKS OF URBAN  
DESIGN SPECIALISTS AND MAY NOT BE REPRODUCED  
WITHOUT WRITTEN PERMISSION  
SUBMITTAL

JOB NUMBER:

DATE:

REVISIONS:

1st Resub. TOC & PZA: 09/17/2024

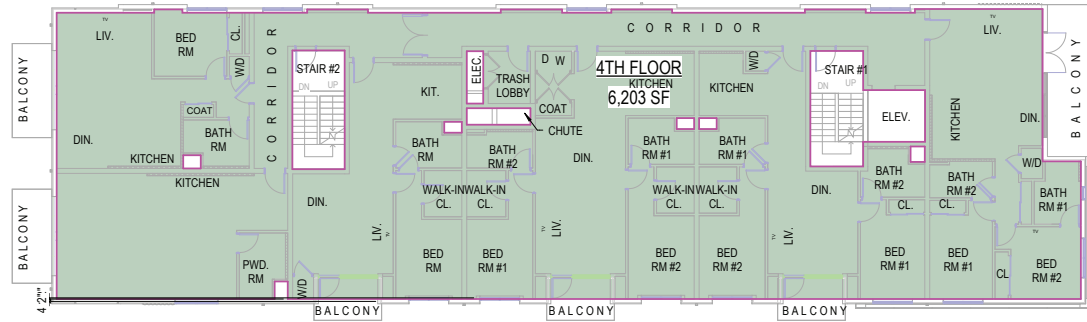
SHEET TITLE:  
**RENDERING**

SHEET NUMBER:

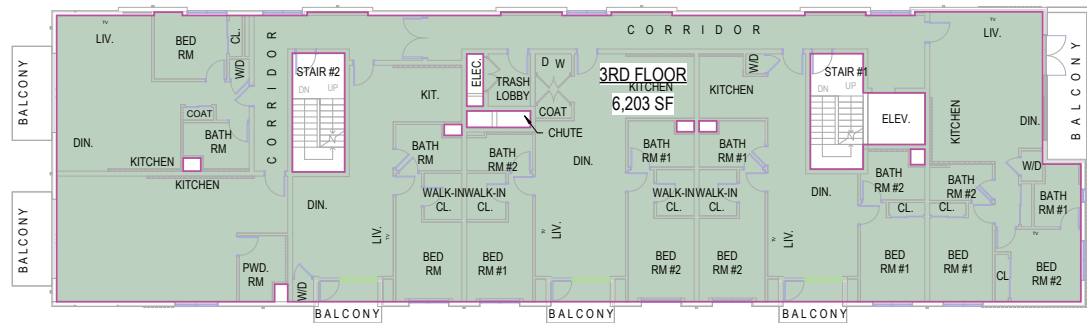
**A1-1**

3/25/2025 5:02:40 PM

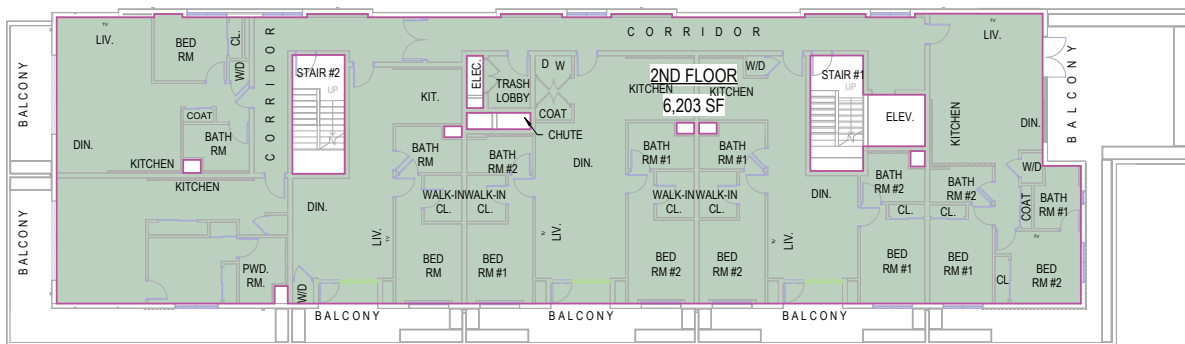
**EXHIBIT "A"**  
Page No. 2 of 27  
Case No. DIR-2025-1040-TOC-SPPC-HCA



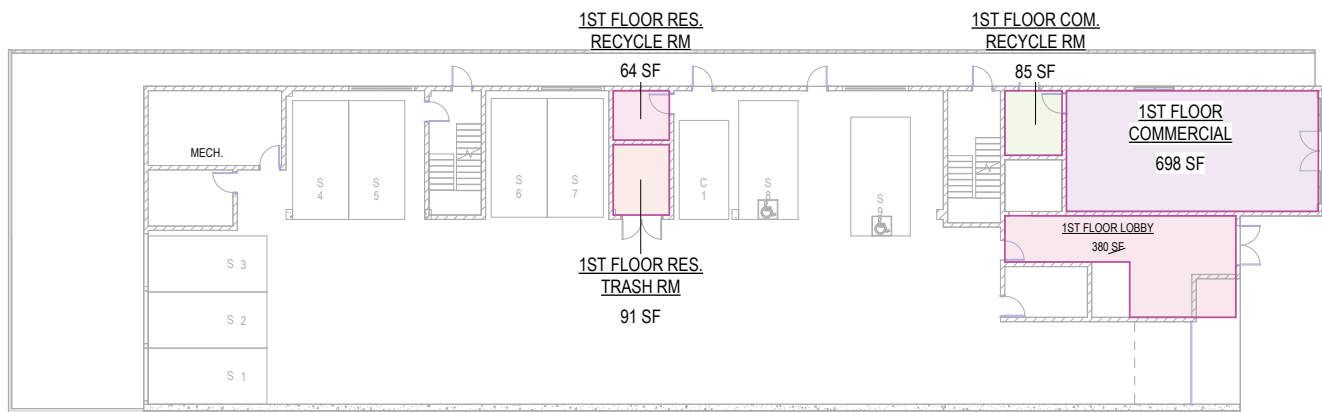
4TH FLOOR  
3/32" = 1'-0"



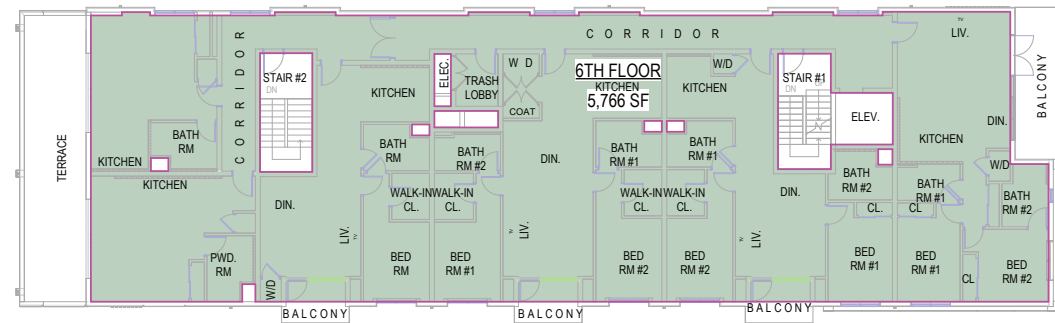
3RD FLOOR  
3/32" = 1'-0"



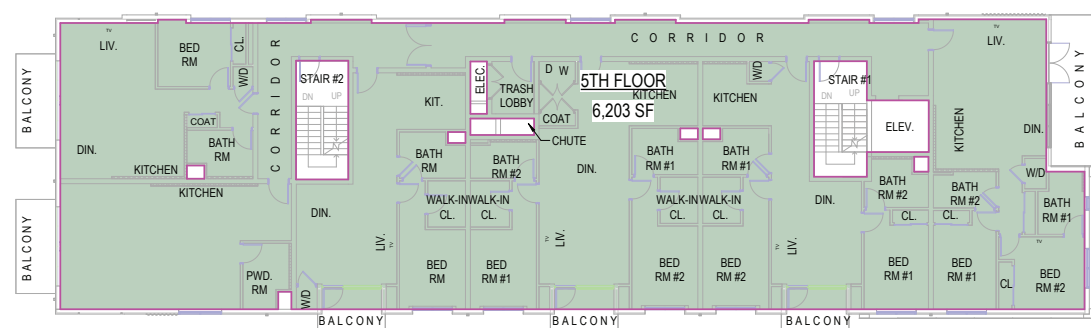
2ND FLOOR  
3/32" = 1'-0"



1ST FLOOR  
3/32" = 1'-0"



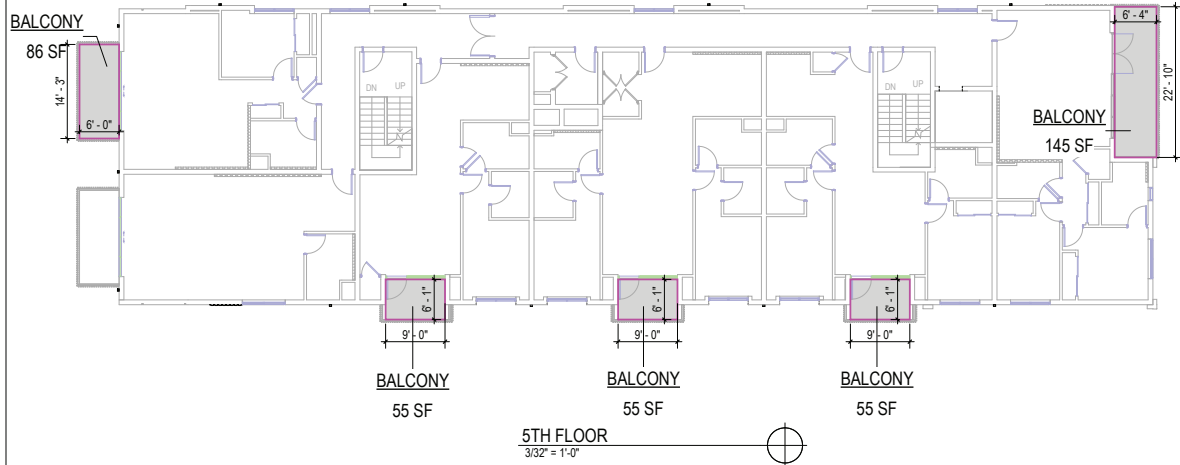
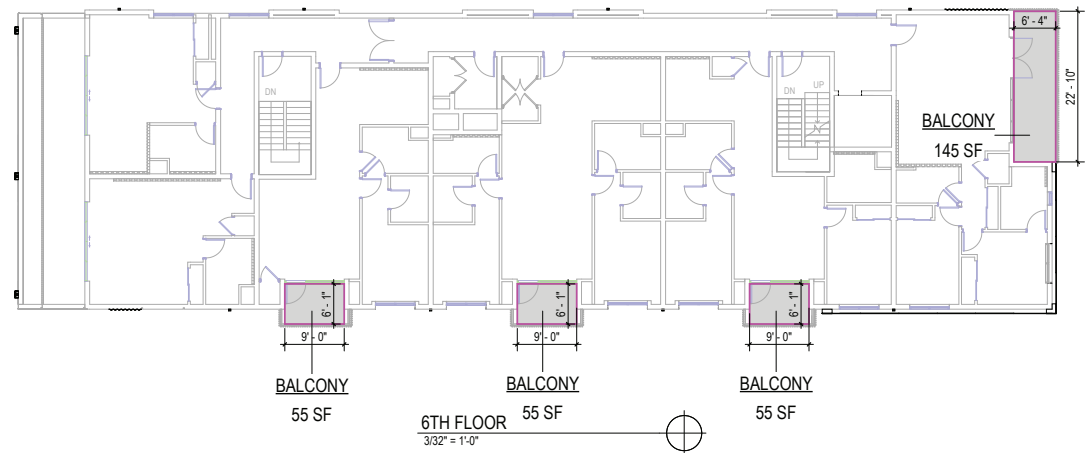
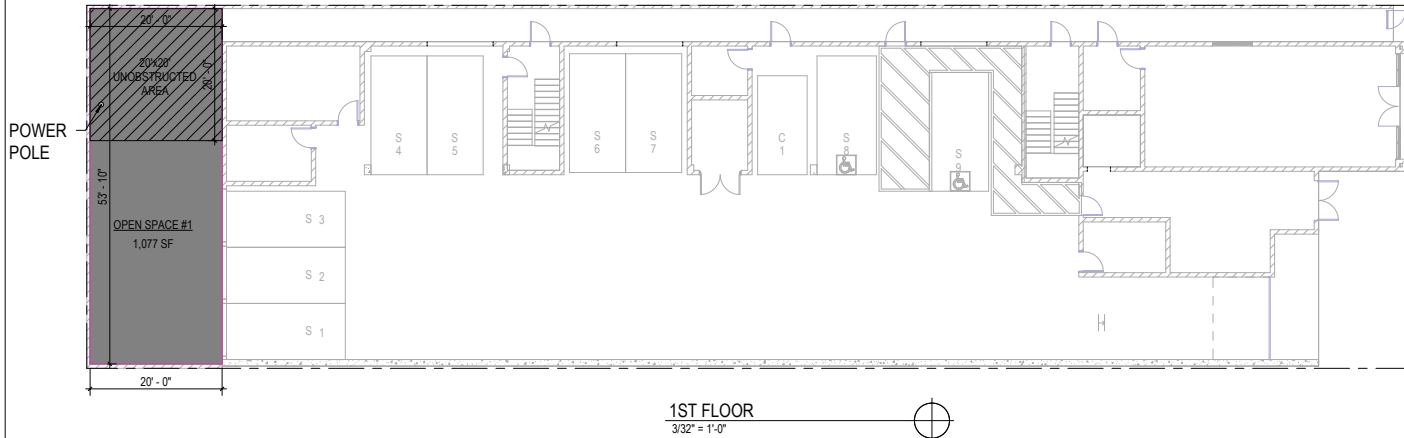
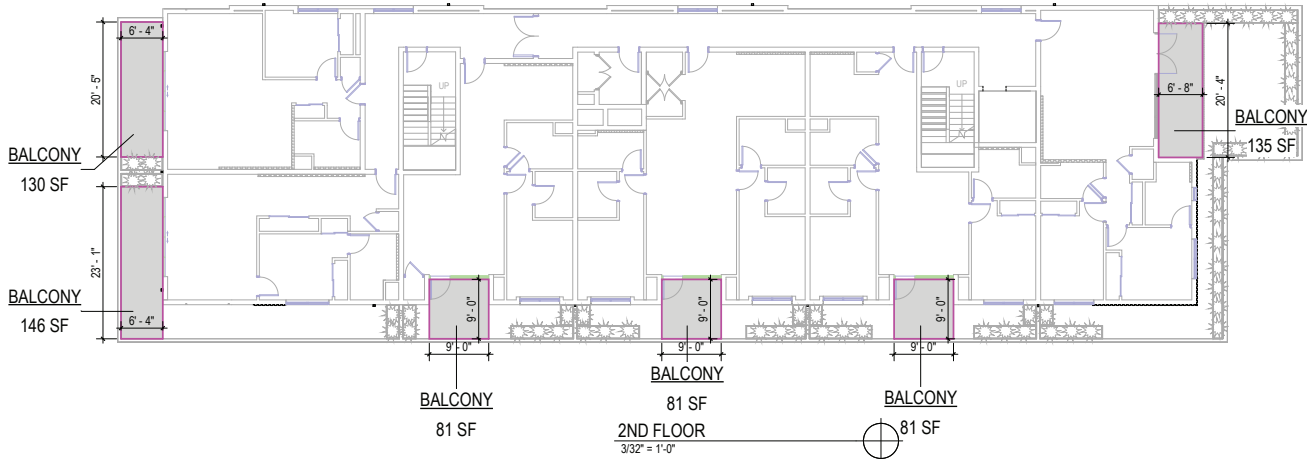
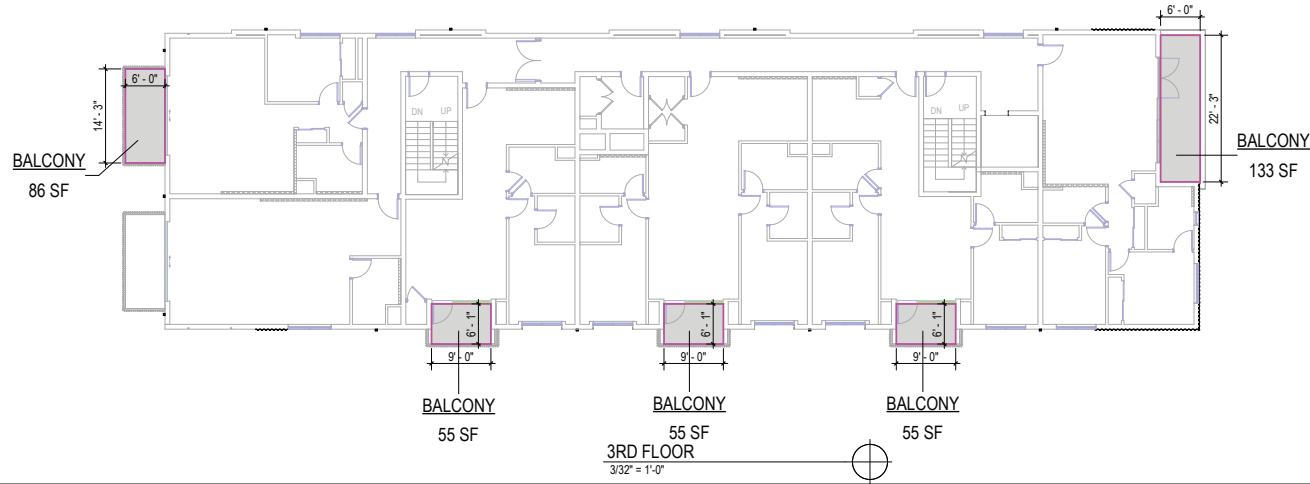
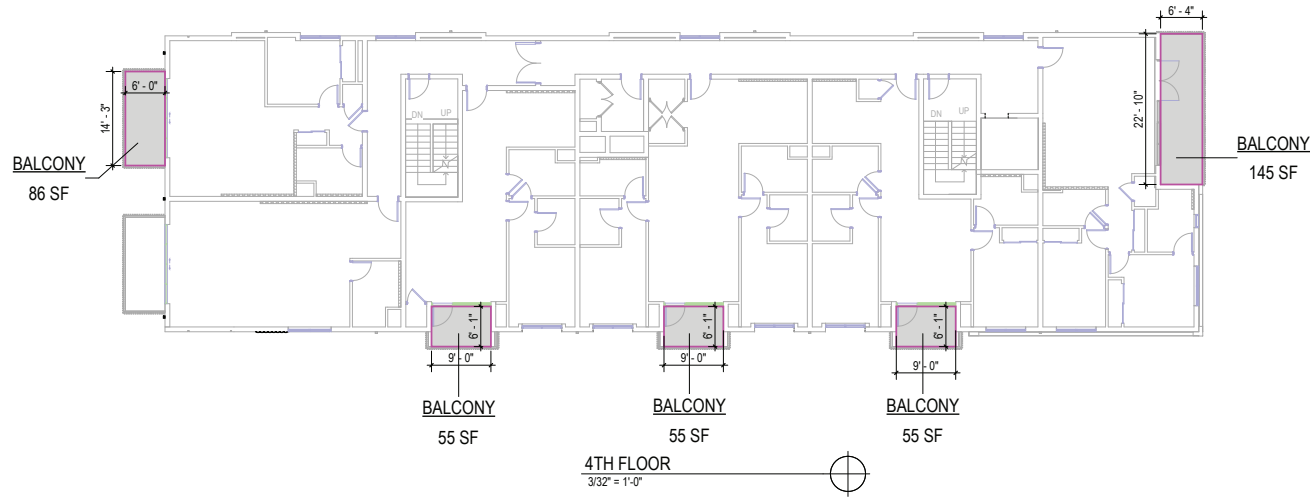
6TH FLOOR  
3/32" = 1'-0"



5TH FLOOR  
3/32" = 1'-0"

| Area Calculation (FAR)    |           |                                |
|---------------------------|-----------|--------------------------------|
| Name                      | Area      |                                |
| 1ST FLOOR COM. RECYCLE RM | 85 SF     |                                |
| 1ST FLOOR COMMERCIAL      | 698 SF    |                                |
| 1ST FLOOR LOBBY           | 380 SF    |                                |
| 1ST FLOOR RES. RECYCLE RM | 64 SF     |                                |
| 1ST FLOOR RES. TRASH RM   | 91 SF     |                                |
| 2ND FLOOR                 | 6,203 SF  |                                |
| 3RD FLOOR                 | 6,203 SF  |                                |
| 4TH FLOOR                 | 6,203 SF  |                                |
| 5TH FLOOR                 | 6,203 SF  |                                |
| 6TH FLOOR                 | 5,766 SF  |                                |
| TOTAL FAR                 | 31,896 SF | <31,900 S/F<br>MAX.<br>ALLOWED |

**EXHIBIT "A"**  
Page No. 3 of 27  
Case No. DIR-2025-1040-TOC-SPPC-HCA



**NOTE:**  
PER LAMC 12.21. G.2(b)(2)(i)  
No more than 50 S.F. PER DWELLING UNIT  
SHALL BE ATTRIBUTABLE TO THE TOTAL  
REQUIRED USABLE OPEN SPACE.  
\* THE SNAP SPECIFIC PLAN SUPERSEDES THE  
50 SQ FT LIMITATION IMPOSED BY THE LAMC.

ONE 24-INCH BOX TREES REQUIRED FOR EVERY FOUR  
DWELLING UNITS ON SITE AND MAY INCLUDE STREET  
TREES IN THE PARKWAY PER LAMC 12.21 G2.a.3.  
24 UNITS/ 4 = 6 REQUIRED (SEE LANDSCAPE PLAN)

| 36 INCH BOX TREES REQUIRED PER SNAP<br>(SHALL BE PLANTED IN THE PUBLIC RIGHT OF WAY ON-CENTER) |                      |                  |
|------------------------------------------------------------------------------------------------|----------------------|------------------|
| 1 TREE PER 30 FEET OF<br>STREET FRONTAGE                                                       | 55 FT OF<br>FRONTAGE | 2 TREES REQUIRED |

#### OPEN SPACE CALCULATION

| REQUIRED                            |                    |  |
|-------------------------------------|--------------------|--|
| (>3 HABITABLE ROOMS) 0 UNIT X 175 = | 0 S/F              |  |
| (3 HABITABLE ROOMS) 15 UNIT X 125 = | 1,875 S/F          |  |
| (<3 HABITABLE ROOMS) 9 UNIT X 100 = | 900 S/F            |  |
| TOTAL                               | = 2,775 S/F        |  |
| 25% REDUCTION, PER TOC              | = - 693 S/F        |  |
| <b>TOTAL REQUIRED OPEN SPACE</b>    | <b>= 2,082 S/F</b> |  |

PER SNAP SUBAREA "B", MINIMUM 50% OF THE REQUIRED  
OPEN SPACE, MUST BE LOCATED AT GRADE LEVEL

| OPEN SPACE CALC.        |                 |           |
|-------------------------|-----------------|-----------|
| NAME                    | Area            | Level     |
| BALCONY                 | 2,134 SF        | <varies>  |
| OPEN SPACE #1           | 1,077 SF        | 1ST FLOOR |
| <b>TOTAL OPEN SPACE</b> | <b>3,211 SF</b> |           |

1,077 S/F (OPEN SPACE #1) = **1,077 S/F** > 1,041 S/F (MIN REQUIRED OPEN  
SPACE AT 1ST FLOOR)

**EXHIBIT "A"**  
Page No. 4 of 27  
Case No. DIR-2025-1040-TOC-SPPC-HCA

DEVELOPER:

**NOT FOR  
CONSTRUCTION**

THIS DRAWING AND THE INFORMATION CONTAINED  
HEREIN ARE THE COPYRIGHTED WORKS OF URBAN  
DESIGN SPECIALISTS AND MAY NOT BE REPRODUCED  
WITHOUT WRITTEN PERMISSION  
SUBMITTAL

JOB NUMBER:

DATE:

REVISIONS:

1st Resub. TOC & PZA: 09/17/2024

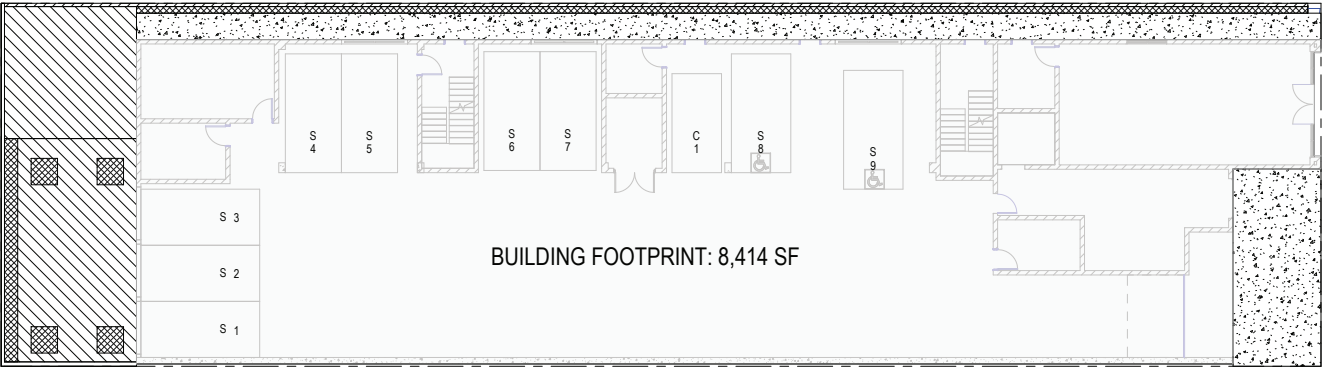
SHEET TITLE:

**OPEN SPACE  
CALCULATION**

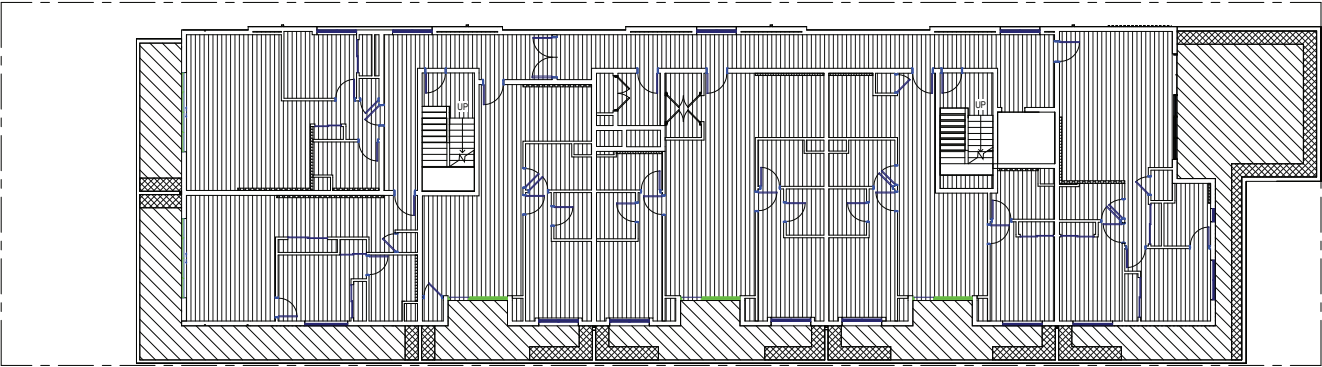
SHEET NUMBER:

**A1-11**

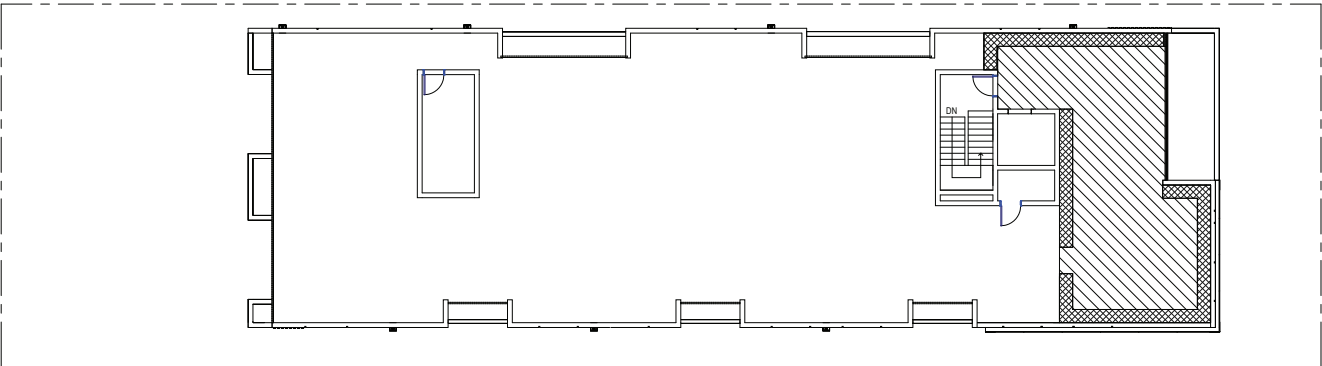
5/25/2024 5:02:40 PM



1ST FLOOR  
3/32" = 1'-0"



2ND FLOOR  
3/32" = 1'-0"



ROOF  
3/32" = 1'-0"

AREA LEGEND

- UNCOLORED CONCRETE WITH SMOOTH CEMENT FINISH
- PORCELAIN PAVERS
- PLANTER BOXES/ LANDSCAPING

HARDSCAPE AREA:

|                                                         |          |
|---------------------------------------------------------|----------|
| 1ST FLOOR PORCELAIN PAVERS:                             | 1,076 SF |
| 1ST FLOOR UNCOLORED CONCRETE WITH SMOOTH CEMENT FINISH: | 1,116 SF |
| 2ND FLOOR PORCELAIN PAVERS:                             | 1,438 SF |
| ROOF PORCELAIN PAVERS:                                  | 756 SF   |
| TOTAL:                                                  | 4,386 SF |

4,386/ 11,000 (LOT AREA): 39.8%

100 % OF HARDSCAPED AREA HAS SR MORE THAN 0.3 ( 50% MINIMUM REQUIRED)

LANDSCAPING AREA:

|                                          |        |
|------------------------------------------|--------|
| 1ST FLOOR PLANTER BOXES AND LANDSCAPING: | 308 SF |
| 2ND FLOOR PLANTER BOXES:                 | 343 SF |
| ROOF PANTER BOXES :                      | 208 SF |
| TOTAL:                                   | 859 SF |

859 SF/ 11,000 (LOT AREA): 7.8%

LANDSCAPING:

25% OF THE REQUIRED OPEN SPACE:  
2,082 x 25%= 520.5 SF (REQUIRED)

|                                 |        |
|---------------------------------|--------|
| PROVIDED:                       |        |
| 1ST FLR PLANTERS & LANDSCAPING: | 308 SF |
| 2ND FLR PLANTERS:               | 343 SF |
| ROOF PLANTERS:                  | 208 SF |
| TOTAL:                          | 859 SF |

DEVELOPER:

NOT FOR  
CONSTRUCTION

THIS DRAWING AND THE INFORMATION CONTAINED  
HEREIN ARE THE COPYRIGHTED WORKS OF URBAN  
DESIGN SPECIALISTS AND MAY NOT BE REPRODUCED  
WITHOUT WRITTEN PERMISSION  
SUBMITTAL

JOB NUMBER:

DATE:

REVISIONS:

1st Resub. TOC & PZA: 09/17/2024

SHEET TITLE:

HARDSCAPE/  
LANDSCAPE  
CALC

SHEET NUMBER:

A1-12

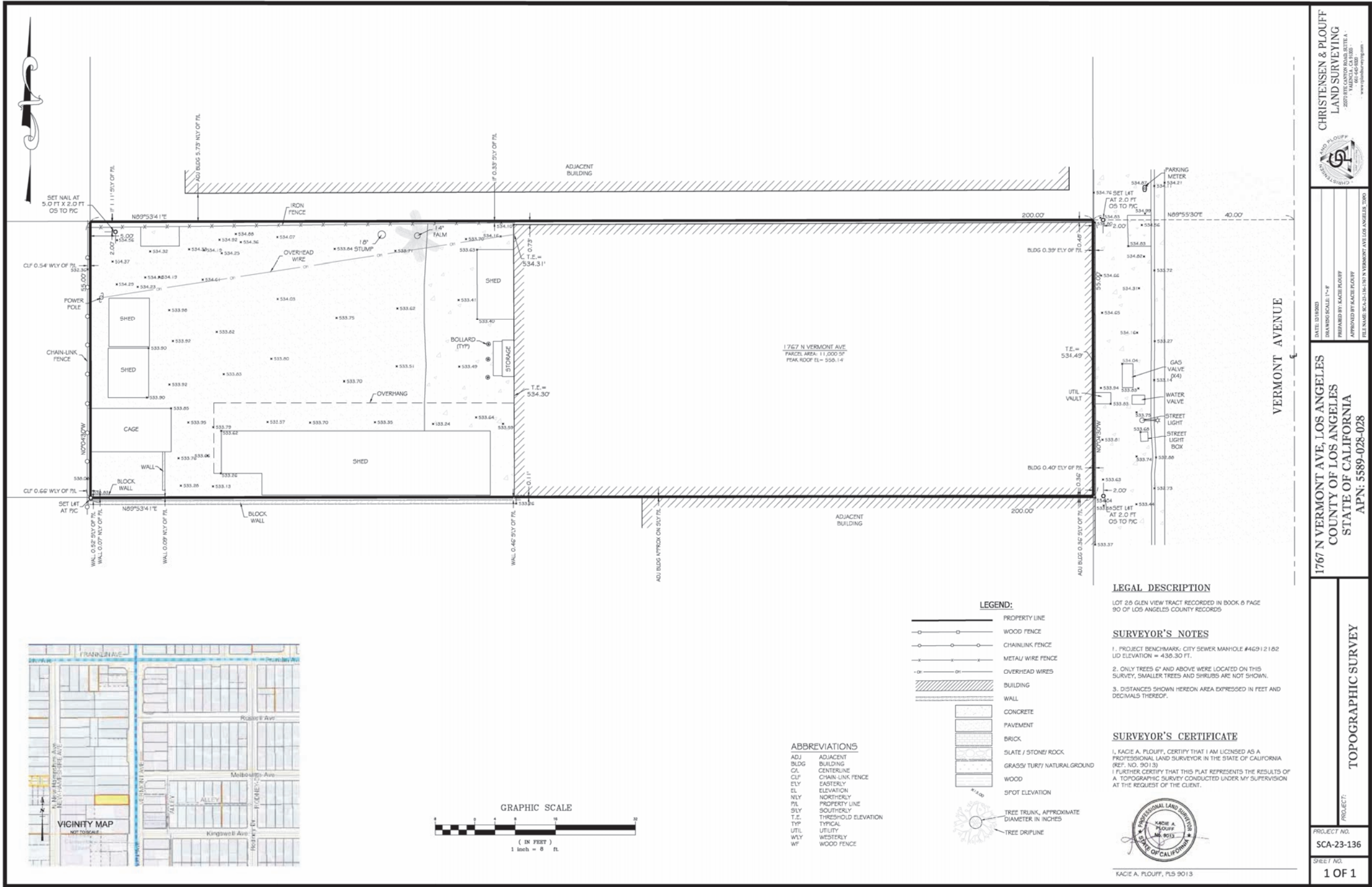
3/25/2024 5:02:48 PM

EXHIBIT "A"

Page No. 5 of 27

Case No. DIR-2025-1040-TOC-SPPC-HCA

© COPYRIGHT 2020



# VERMONT APARTMENT

24-UNIT APARTMENT BUILDING

816 N. NORMANDIE AVENUE  
LOS ANGELES, CA 90029

DEVELOPER:

THIS DRAWING AND THE INFORMATION CONTAINED HEREIN ARE THE COPYRIGHTED WORKS OF URBAN DESIGN SPECIALISTS AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION SUBMITTAL.

JOB NUMBER:

DATE:

REVISIONS:

SHEET TITLE:  
SURVEY

SHEET NUMBER:

A2-0

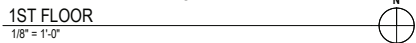
5/25/2025 5:02:50 PM

EXHIBIT "A"

Page No. 6 of 27

Case No. DIR-2025-1040-TOC-SPPC-HCA





**VERMONT APARTMENT URBAN DESIGN SPECIALISTS**  
4519 ADMIRALTY WAY, SUITE A, MARINA DEL REY, CA 90292  
TEL: 310.301-1810 WWW.URBANDESIGNSPECIALISTS.COM



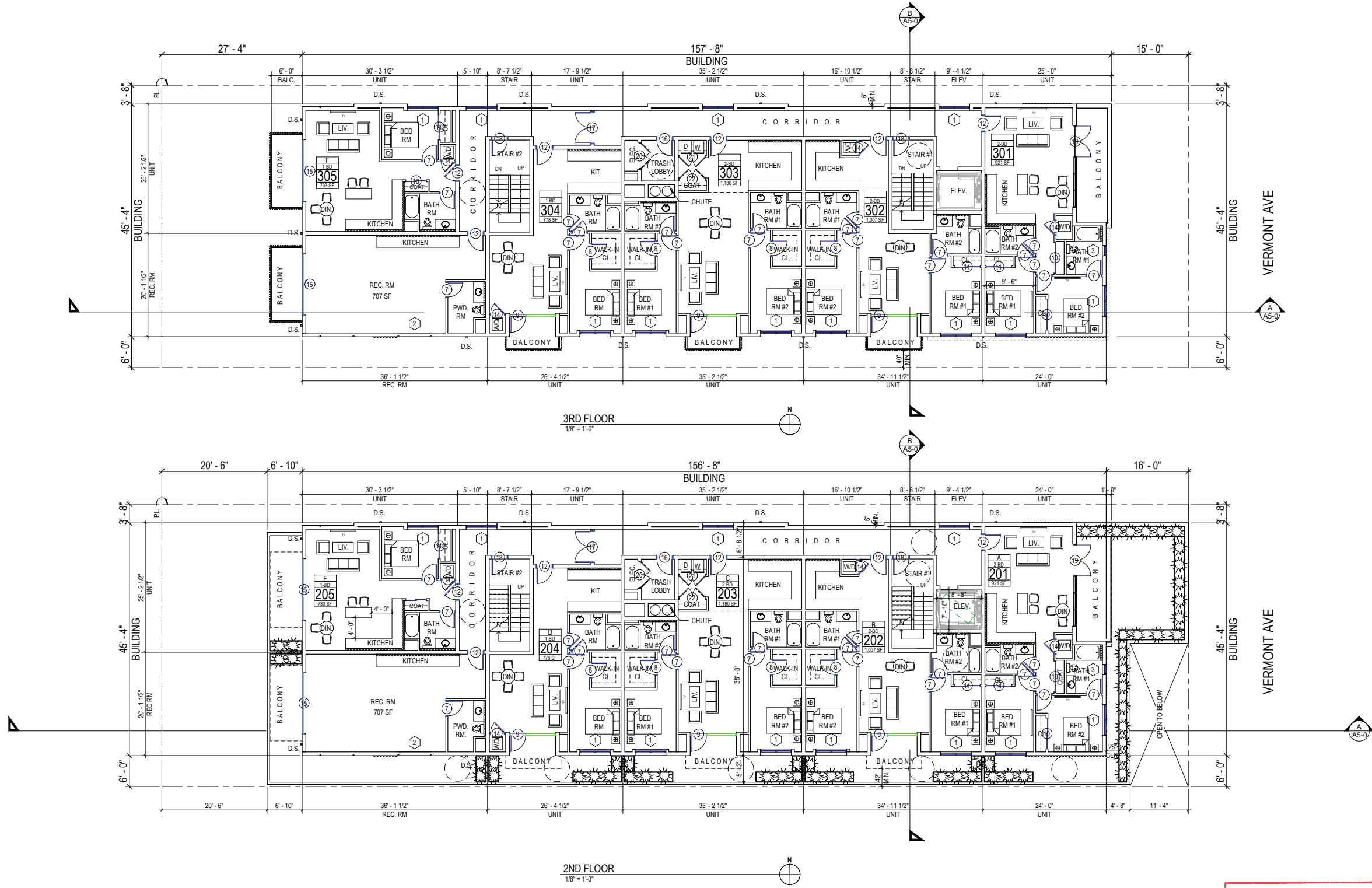
24-UNIT APARTMENT BUILDING  
1767 N. VERMONT AVE  
LOS ANGELES, CA 90027

© COPYRIGHT 2020

**NOT FOR  
CONSTRUCTION**

# A3-1

© COPYRIGHT 2020



**EXHIBIT "A"**  
Page No. 9 of 27  
Case No. DIR-2025-1040-TOC-SPPC-HCA

| NOTES                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | KEYNOTES                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                    | LEGEND FLOOR PLAN |  |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------|--|
| <p>1 -ALL DIMENSIONS ARE TO FACE OF STUD / CONCRETE / CMU, UNO.</p> <p>2 -ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.</p> <p>3 -ALL DIMENSIONS INDICATED AS "BUILDING" OR "SETBACK" ARE FROM FINISH TO FINISH.</p> <p>4 -EXHAUST LOUVERS TO BE MIN 3'-0" AWAY FROM OUTSIDE AIR INLETS</p> <p>5 -CONTROL JOINTS AT MAX 144SF AND 12'-0" OC</p> <p>6 -ALL UNIT MECHANICAL EXHAUST PENETRATIONS THROUGH WALLS SHALL TERMINATE WITH SEHO ALUMINUM VENT CAPS</p> <p>7 -EXIT DOORS AND GRILLS SHALL BE OPENABLE FROM WITHIN WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT WHEN THE SPACE IS OCCUPIED. (1010.1.4.4 &amp; 1010.9.3 #2 CBC)</p> | <p>8 -LIGHTING AND MECHANICAL FIXTURES MUST BE SUPPORTED BY ADDITIONAL INDEPENDENT NO.12 GAUGE WIRES ATTACHED TO EACH CORNER OF FIXTURE. (ASCE 7-16 SECTION 13.5.6, ASTM)</p> <p>9 -FIRE/SMOKE DAMPERS ARE REQUIRED, WHEN DUCTS PENETRATING RATED CORRIDOR WALLS</p> <p>10 -A CAL/OSHA PERMIT IS REQUIRED FOR ELEVATORS OR WHEELCHAIR LIFTS. THIS MAYBE OBTAINED FROM THE THE STATE DIVISION OF OCCUPATIONAL SAFETY &amp; HEALTH -CAL OSHA ELEVATOR UNIT. CALL (626) 471-6911</p> | <p>CMU WALL, SEE FLOOR PLANS / DETAILS FOR DIMENSION AND THICKNESS</p> <p>CONCRETE WALL SEE STRUCTURAL FOR DIM.</p> <p>2 X 4 PLUMBING WALL</p> <p>FLOOR DRAIN</p> <p>PLANTER DRAIN</p> <p>EMERGENCY DRAIN</p> <p>EXIT SIGN</p> <p>GLASS-I STANDPIPE</p> <p>DOOR TAG, SEE SHEET A6-0</p> <p>WINDOW TAG, SEE SHEET A6-0</p> | <p>STOREFRONT TAG, SEE SHEET A6-0</p> <p>KEYNOTE TAG</p> <p>ACCESSIBLE PATH OF TRAVEL</p> <p>F.E.C.</p> <p>FIRE EXTINGUISHER CABINET</p> <p>SPRINKLER HEAD</p> <p>HARDWIRED CARBON MONOXIDE DETECTOR WITH BATTERY BACK-UP</p> <p>HARDWIRED SMOKE DETECTOR WITH BATTERY BACK-UP. SMOKE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW.</p> <p>2-HOUR FIRE RATED WALL</p> | <p>FAN / VENTILATION</p> <p>1. ENERGY STAR COMPLIANT</p> <p>2. DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING</p> <p>3. CONTROL BY HUMIDITY CONTRLOER</p> <p>UNIT TYPE (SEE UNIT PLAN SHEET)</p> <p>NUMBER OF BEDROOMS</p> <p>UNIT NUMBER</p> <p>UNIT AREA (MEASURED TO CENTER OF DEMISING/CORRIDOR WALLS)</p> |                   |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                    |                   |  |

**VERMONT APARTMENT URBAN DESIGN SPECIALISTS**  
4519 ADMIRALTY WAY, SUITE A, MARINA DEL REY, CA 90292  
TEL: 310.301-1810 WWW.URBANDESIGNSPECIALISTS.COM

**24-UNIT APARTMENT BUILDING**  
1767 N. VERMONT AVE  
LOS ANGELES, CA 90027

DEVELOPER:

**NOT FOR CONSTRUCTION**

THIS DRAWING AND THE INFORMATION CONTAINED HEREIN ARE THE COPYRIGHTED WORK OF URBAN DESIGN SPECIALISTS AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.

SUBMITTAL:

JOB NUMBER:

DATE:

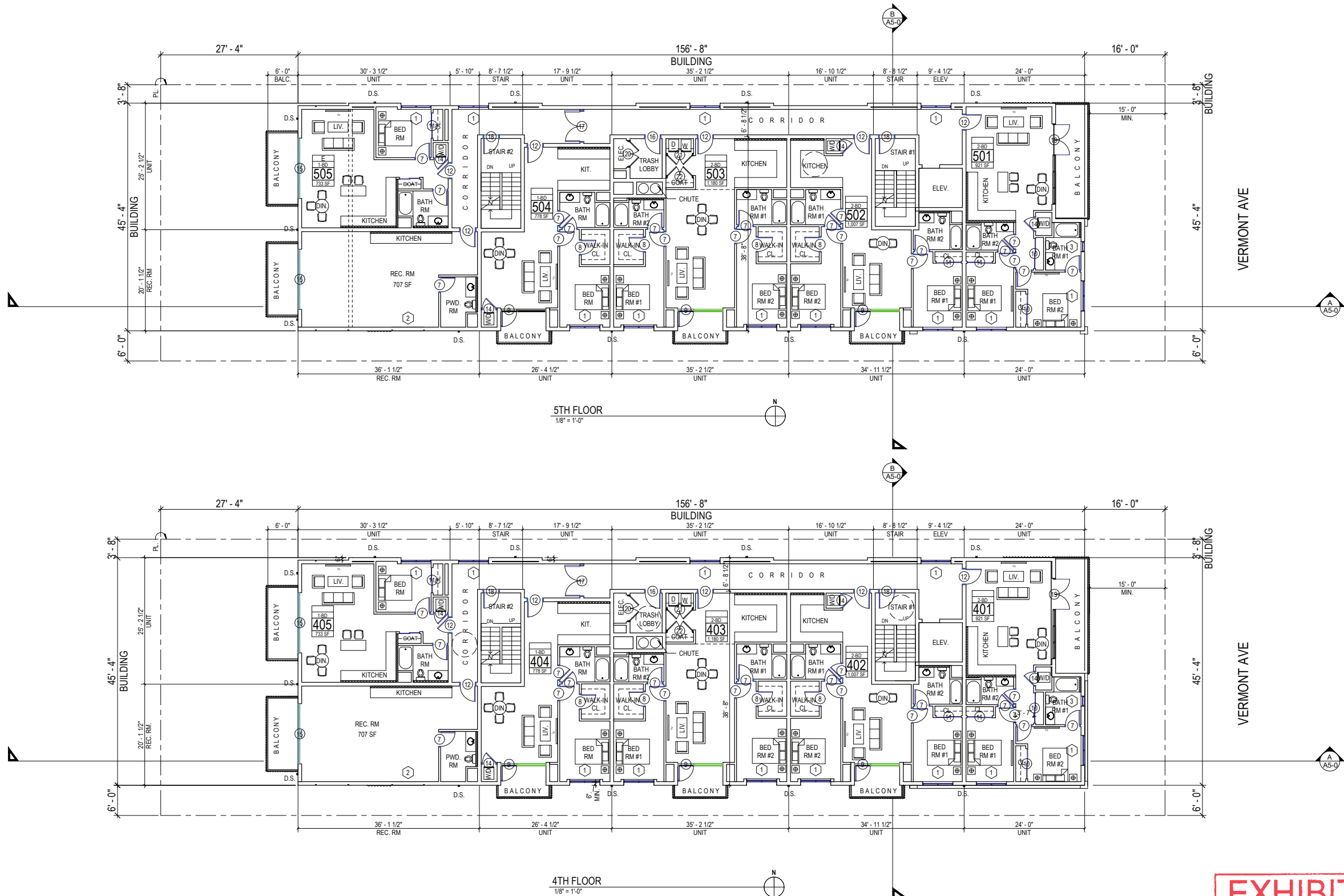
REVISIONS:

1st Resub. TOC & PZA: 09/17/2024

SHEET TITLE:  
**2ND & 3RD FLOOR PLANS**

SHEET NUMBER:  
**A3-2**

5/25/2024 5:02:53 PM

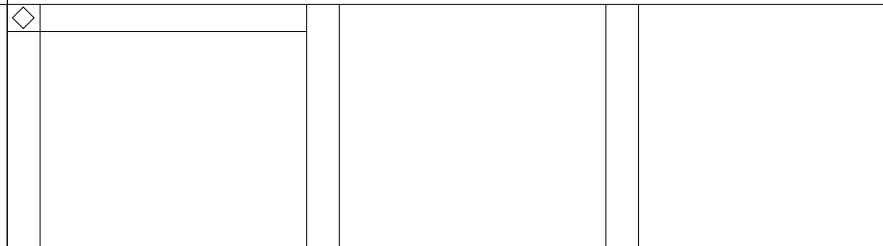


**EXHIBIT "A"**  
Page No. 10 of 27  
Case No. DIR-2025-1040-TOC-SPPC-HCA

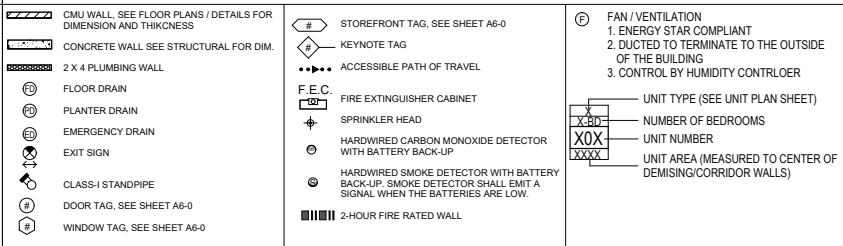
#### NOTES

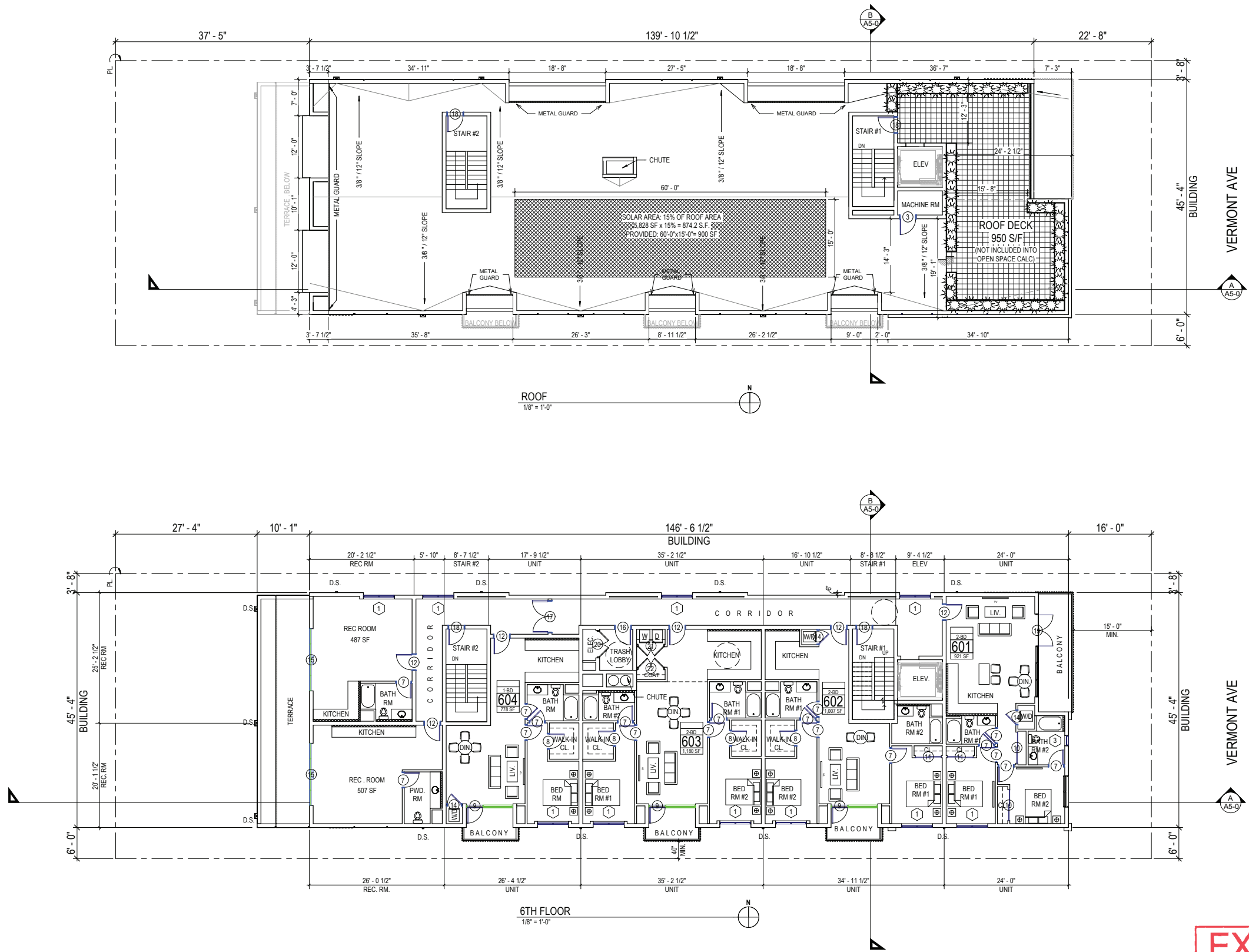
- ALL DIMENSIONS ARE TO FACE OF STUD / CONCRETE / CMU, UNO.
- ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- ALL DIMENSIONS INDICATED AS "BUILDING" OR "SETBACK" ARE FROM FINISH TO FINISH.
- EXHAUST LOUVERS TO BE MIN 3'-0" AWAY FROM OUTSIDE AIR INLETS
- CONTROL JOINTS AT MAX 144SF AND 12'-0" OC
- ALL UNIT MECHANICAL EXHAUST PENETRATIONS THROUGH WALLS SHALL TERMINATE WITH SEHO ALUMINUM VENT CAPS
- EXIT DOORS AND GRILLS SHALL BE OPENABLE FROM WITHIN WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT WHEN THE SPACE IS OCCUPIED. (1010.1.4.4 & 1010.9.3 #2 CBC)
- LIGHTING AND MECHANICAL FIXTURES MUST BE SUPPORTED BY ADDITIONAL INDEPENDENT NO.12 GAUGE WIRES ATTACHED TO EACH CORNER OF FIXTURE. (ASCE 7-16 SECTION 13.5.6, ASTM)
- FIRE/SMOKE DAMPERS ARE REQUIRED, WHEN DUCTS PENETRATING RATED CORRIDOR WALLS
- A CAL/OSHA PERMIT IS REQUIRED FOR ELEVATORS OR WHEELCHAIR LIFTS. THIS MAYBE OBTAINED FROM THE THE STATE DIVISION OF OCCUPATIONAL SAFETY & HEALTH -CAL OSHA ELEVATOR UNIT. CALL (626) 471-6911

#### KEYNOTES



#### LEGEND FLOOR PLAN





**EXHIBIT "A"**  
Page No. 11 of 27  
Case No. DIR-2025-1040-TOC-SPPC-HCA

| KEYNOTES (ROOF) |  |  | ROOFING MATERIAL                                                                       | LEGEND                                          |
|-----------------|--|--|----------------------------------------------------------------------------------------|-------------------------------------------------|
| 1               |  |  | CLASS "B" MINIMUM (PER TABLE 1505.1 MINIMUM ROOF COVERING FOR TYPE-III-A CONSTRUCTION) | ROOF DOWNSPOUTS                                 |
| 2               |  |  | TYPE OF ROOFING: PVC, SINGLE PLY                                                       | STAND PIPE                                      |
| 3               |  |  | MANUFACTURER: SIKKA                                                                    | AIR CONDITIONING UNIT, SEE MECHANICAL FOR SIZES |
| 4               |  |  | PRODUCT: SARNAFIL G410 FELTBACK, ENERGY SMART                                          |                                                 |
| 5               |  |  | COLOR: BRIGHT WHITE                                                                    |                                                 |
|                 |  |  | LADBS RESEARCH REPORT: RR24852                                                         |                                                 |
|                 |  |  | LADBS CSI # 07540                                                                      |                                                 |

**VERMONT APARTMENT**  
24-UNIT APARTMENT BUILDING  
1767 N. VERMONT AVE  
LOS ANGELES, CA 90027

**DESIGN SPECIALISTS**  
4519 ADMIRALTY WAY, SUITE A, MARINA DEL REY, CA 90292  
TEL: 310.301-1810 WWW.URBANDESIGNSPECIALISTS.COM

DEVELOPER:

NOT FOR CONSTRUCTION

THIS DRAWING AND THE INFORMATION CONTAINED HEREIN ARE THE COPYRIGHTED WORK OF URBAN DESIGN SPECIALISTS AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.

SUBMITTAL

JOB NUMBER:

DATE:

REVISIONS:

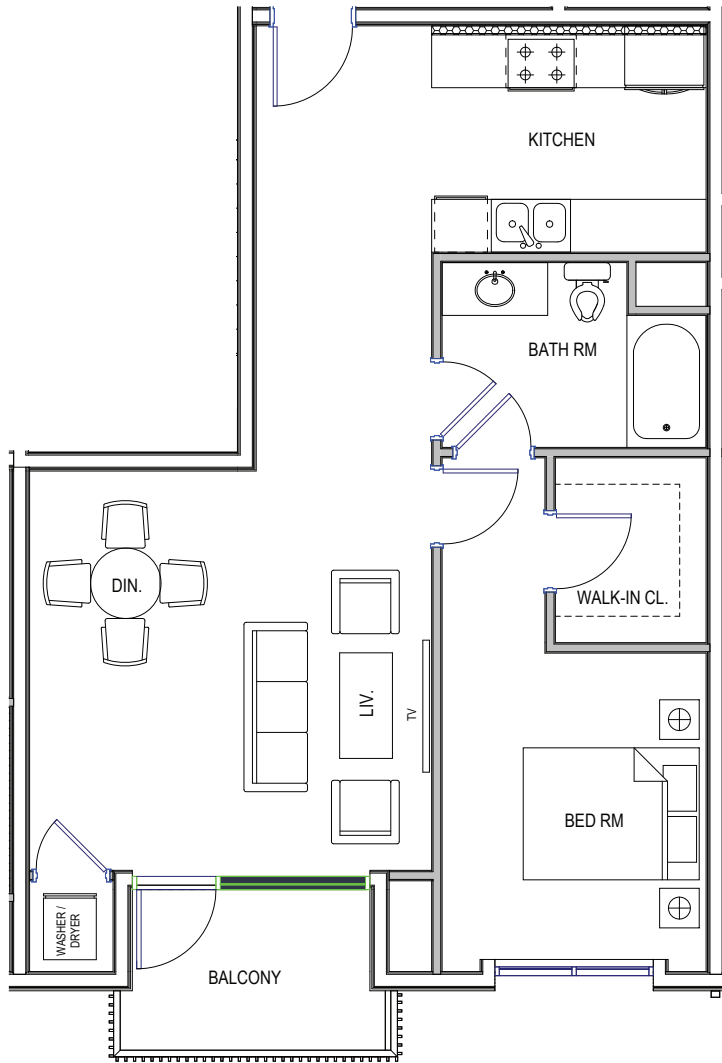
1st Resub. TOC & PZA: 09/17/2024

SHEET TITLE:  
**6TH FLOOR & ROOF PLANS**

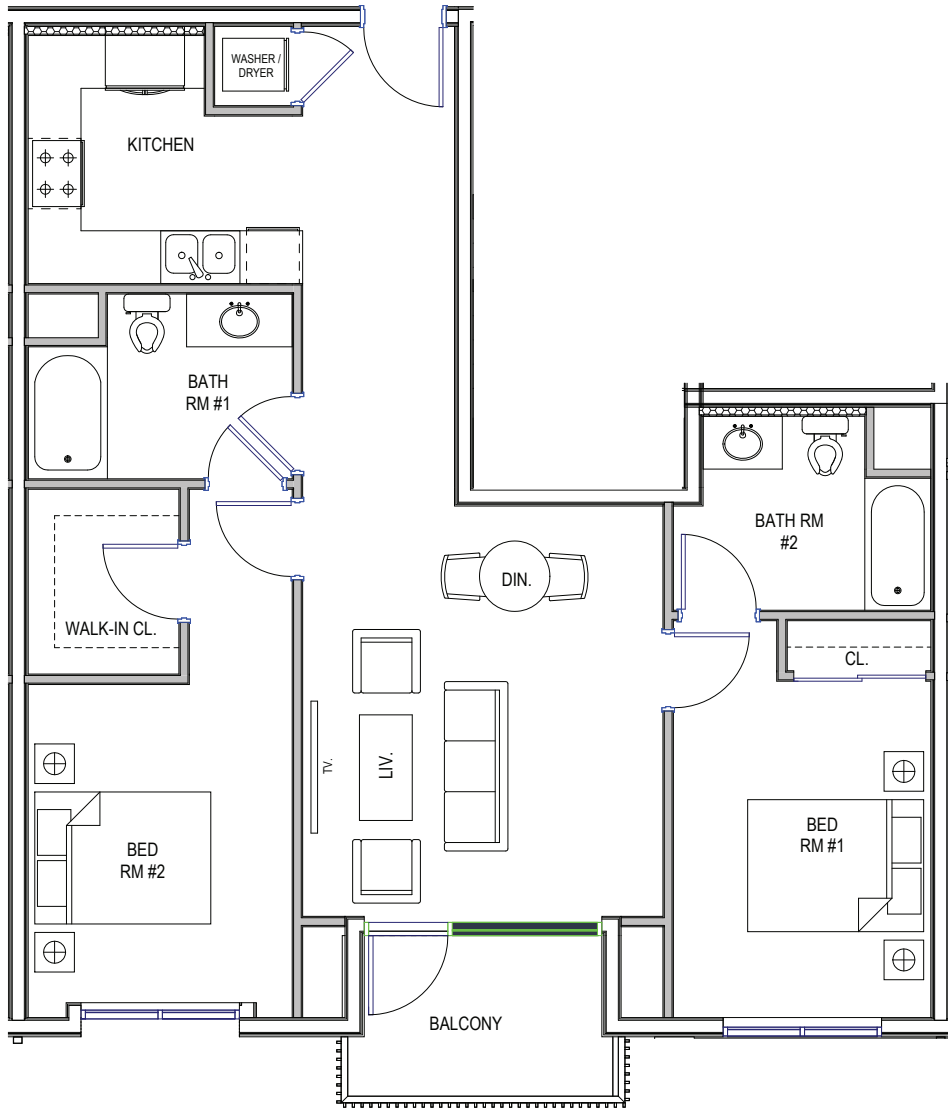
SHEET NUMBER:  
**A3-4**

325/2024 5:02:55 PM

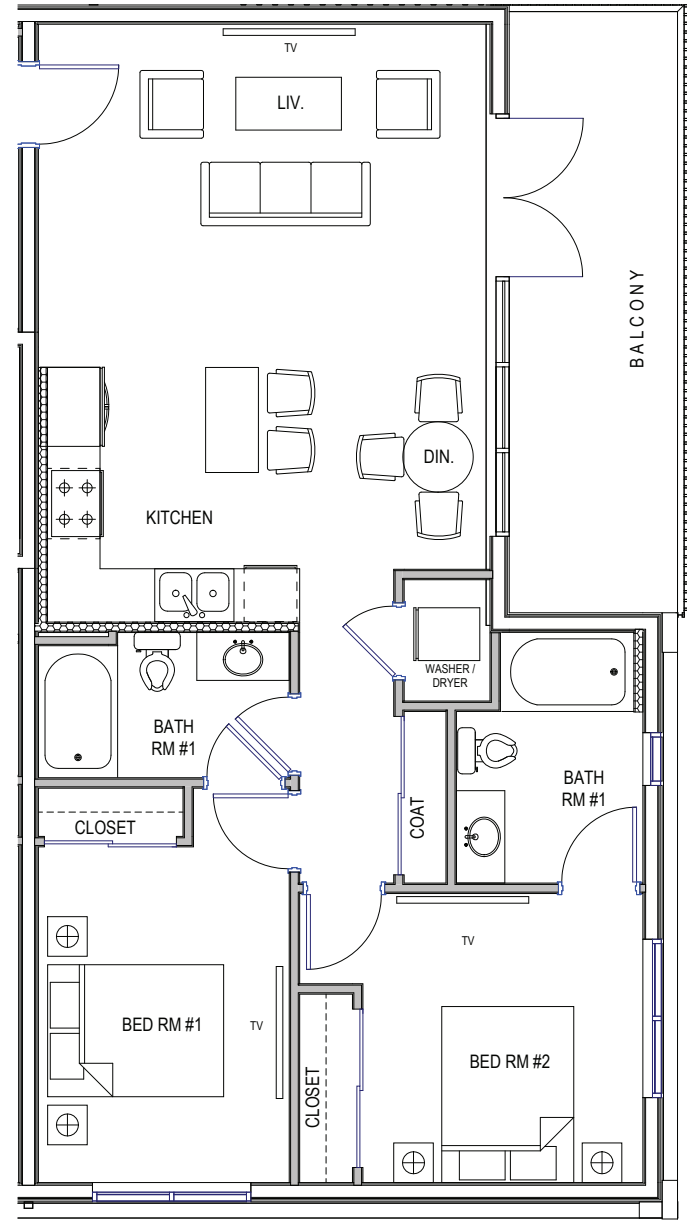
© COPYRIGHT 2020



TYPE D- ONE BEDROOM  
3/8" = 1'-0"

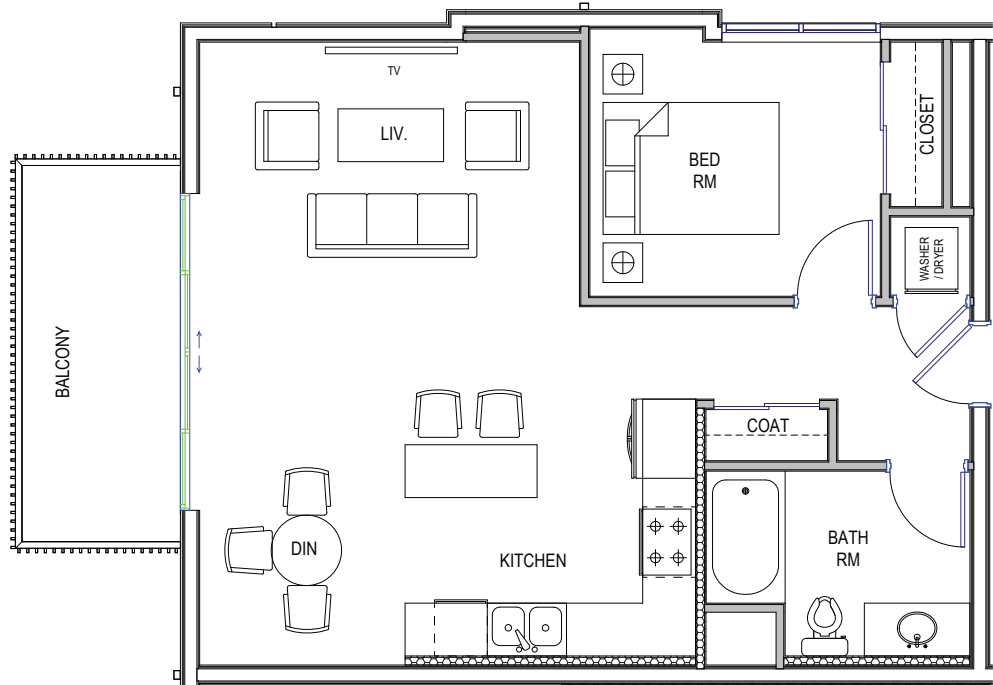


TYPE B- TWO BEDROOM  
3/8" = 1'-0"

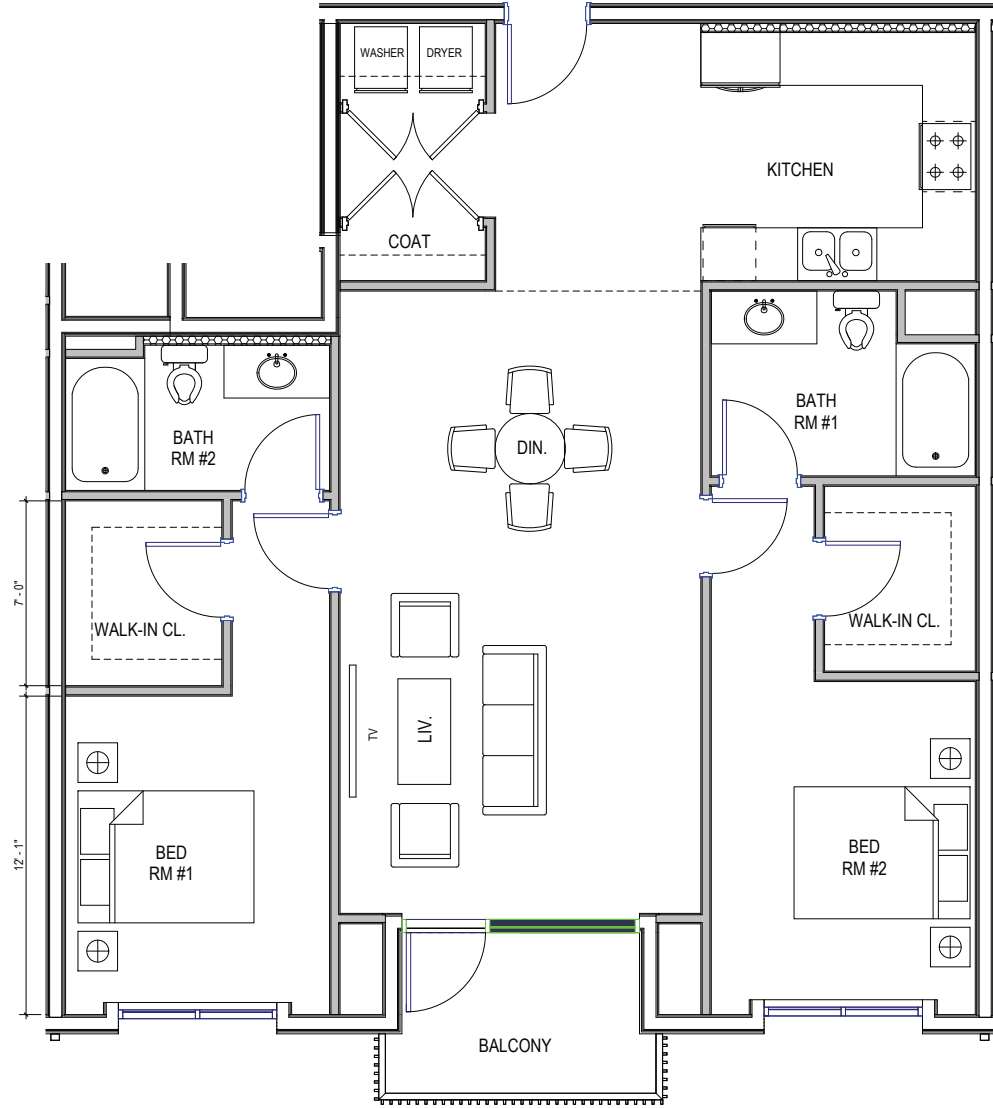


TYPE A- TWO BEDROOM  
3/8" = 1'-0"

**EXHIBIT "A"**  
Page No. 12 of 27  
Case No. DIR-2025-1040-TOC-SPPC-HCA



TYPE E- ONE BEDROOM  
3/8" = 1'-0"



TYPE C- TWO BEDROOM  
3/8" = 1'-0"

**EXHIBIT "A"**  
Page No. 13 of 27  
Case No. DIR-2025-1040-TOC-SPPC-HCA

**DESIGN SPECIALISTS**  
4519 ADMIRALTY WAY, SUITE A, MARINA DEL REY, CA 90292  
TEL: 310.301-1810 WWW.URBANDESIGNSPECIALISTS.COM

**VERMONT APARTMENT**  
24-UNIT APARTMENT BUILDING  
1767 N. VERMONT AVE  
LOS ANGELES, CA 90027

DEVELOPER:

**NOT FOR  
CONSTRUCTION**

THIS DRAWING AND THE INFORMATION CONTAINED  
HEREIN ARE THE COPYRIGHTED WORKS OF URBAN  
DESIGN SPECIALISTS AND MAY NOT BE REPRODUCED  
WITHOUT WRITTEN PERMISSION  
SUBMITTAL

JOB NUMBER:

DATE:

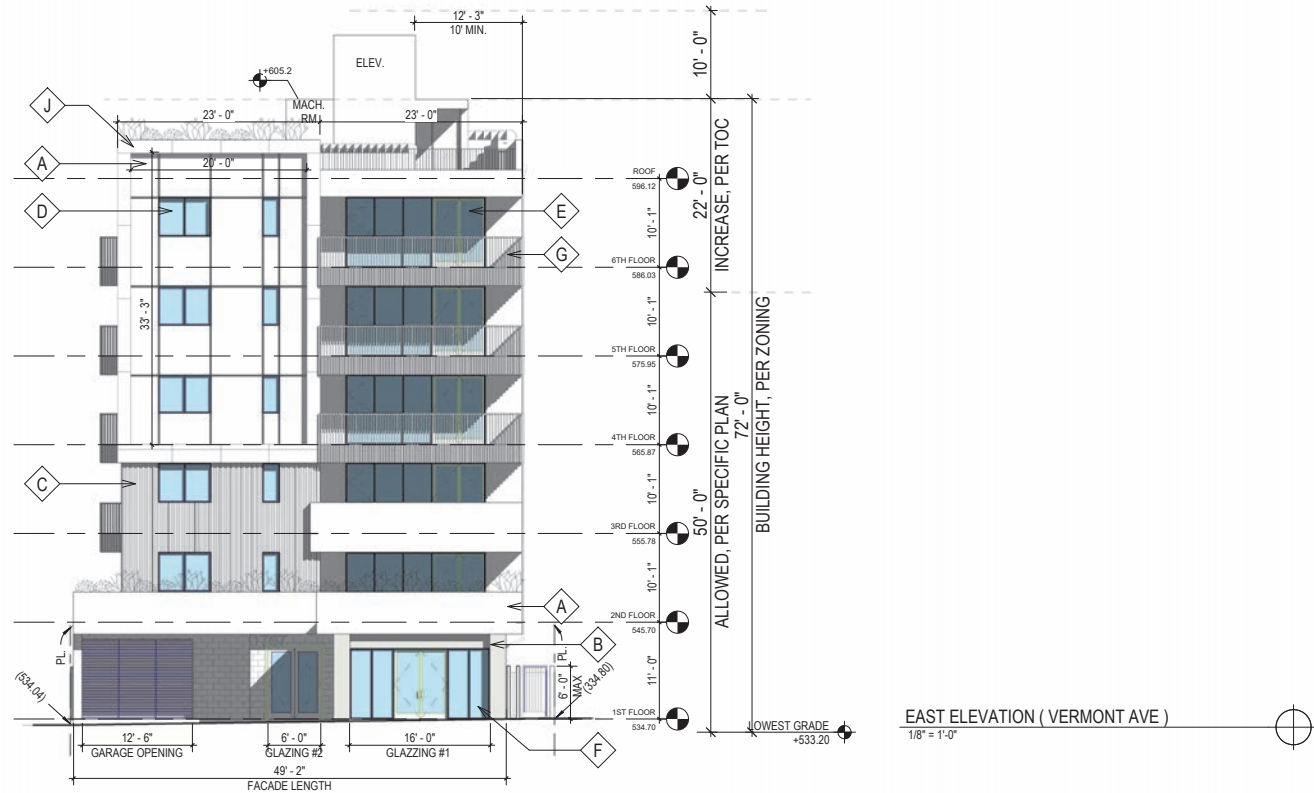
REVISIONS:

1st Resub. TOC & PZA: 09/17/2024

SHEET TITLE:  
**ENLARGED  
UNIT PLANS**

SHEET NUMBER:  
**A3-11**

© COPYRIGHT 2020



TRANSPARENT ELEMENT CALCULATION @ 1ST FLOOR: (50% REQUIRED AT FRONT)  
WALL AREA @ 1ST FLOOR: 49'-2" W x 11'-0" H = 540.76 SF x 50% = 270.38 SF MIN. REQUIRED  
16.00' W x 8.00' H = 128 SF (Glazing #1)  
6.00' W x 8.00' H = 48 SF (Glazing #2)  
12.50' W x 9.00' H = 112.5 SF (Garage opening)  
128 + 48 + 112.5 = 288.5 SF > 270.38 SF (50 % of total exterior wall area @ 1st flr.)



| KEY NOTES |                                                                                                                                   |
|-----------|-----------------------------------------------------------------------------------------------------------------------------------|
| A         | LA HABRA STUCCO<br>FINISH: SMOOTH<br>COLOR : CRYSTAL WHITE                                                                        |
| B         | LA HABRA STUCCO<br>FINISH: SMOOTH<br>COLOR : SILVER GRAY                                                                          |
| C         | CORRUGATED METAL SIDING<br>SURFACE SMOOTH<br>COLOR : GALVANIZED G60                                                               |
| D         | PVC OR METAL FARMED WINDOW<br>COLOR: BLACK / DARK GRAY<br>REFLECTIVITY - LOW E - INSULATED )<br>FRMAE COLOR: BLACK / DARK GRAY    |
| E         | PVC OR METAL FARMED DOOR<br>CLEAR VISION GLAZING (LOW<br>REFLECTIVITY - LOW E - INSULATED )<br>FRMAE COLOR: BLACK / DARK GRAY     |
| F         | ALUMINUM STOREFRONT AND DOOR<br>FRAME COLOR: BLACK / DARK GRAY<br>CLEAR VISION GLAZING (LOW<br>REFLECTIVITY - LOW E - INSULATED ) |
| G         | METAL GUARD RAIL<br>SHOP APPLIED FINISH - PPG/DURANAR<br>BLACK / DARK GRAY                                                        |
| H         | ORNAMENTAL METAL AT OPENING<br>EXTERIOR GRADE PAINT - DARK GREY                                                                   |
| J         | NICHHA ILLUMINATION FIBER CEMENT<br>SIDING<br>COLOR : WHITE ON EXTERIOR , RED<br>ON RECESSED PANEL                                |

**VERMONT APARTMENT BUILDING**  
24-UNIT APARTMENT BUILDING  
1767 N. VERMONT AVE  
LOS ANGELES, CA 90027

**DESIGN SPECIALISTS**  
4519 ADMIRALTY WAY, SUITE A, MARINA DEL REY, CA 90292  
TEL: 310.301-1810 WWW.URBANDESIGNSPECIALISTS.COM

COPYRIGHT 2020

DEVELOPER:

NOT FOR  
CONSTRUCTION

THIS DRAWING AND THE INFORMATION CONTAINED  
HEREIN ARE THE COPYRIGHTED WORKS OF URBAN  
DESIGN SPECIALISTS AND MAY NOT BE REPRODUCED  
WITHOUT WRITTEN PERMISSION  
SUBMITTAL

JOB NUMBER:

DATE:

REVISIONS:

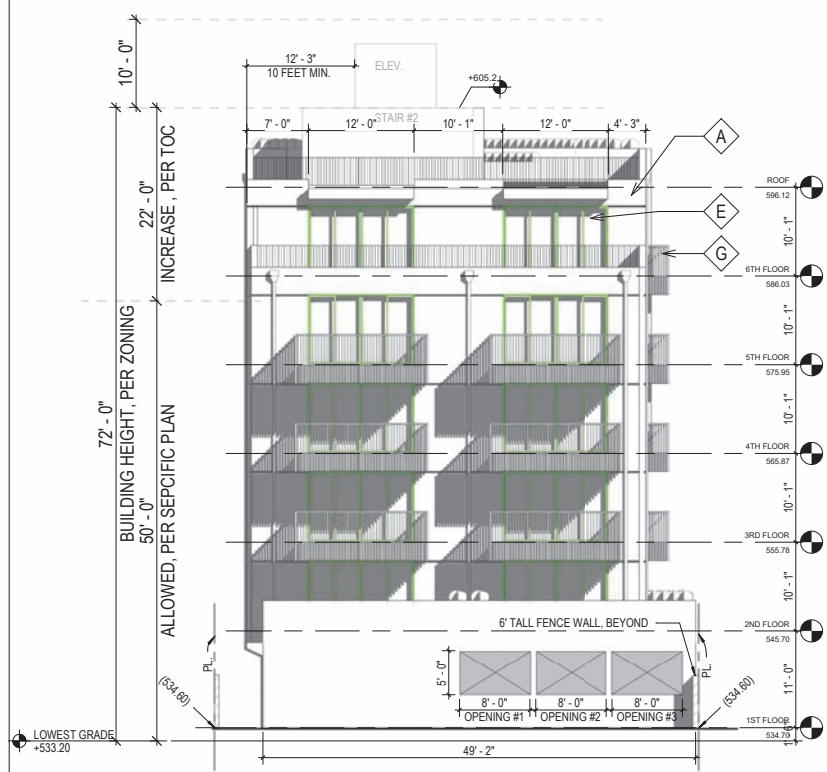
1st Resub. TOC & PZA: 09/17/2024

SHEET TITLE:  
**SOUTH &  
EAST  
ELEVATIONS**

SHEET NUMBER:  
**A4-1**  
5/25/2024 5:03:01 PM

| EXTERIOR WALL OPENING CALCULATION, BASED ON FIRE SEPARATION DISTANCE |     |   |     |        |          |                                                        |     |   |   |        |          |
|----------------------------------------------------------------------|-----|---|-----|--------|----------|--------------------------------------------------------|-----|---|---|--------|----------|
| SOUTH ELEV.-2ND-6TH FLOORS                                           |     |   |     |        |          | SOUTH ELEV.- 6TH FLOOR                                 |     |   |   |        |          |
| WALL AREA (10'-1" x 156'-9" = 1,580 S/F)                             |     |   |     |        |          | WALL AREA = (10'-1" x 147'-7" = 1,488 S/F)             |     |   |   |        |          |
| ALLOWABLE OPENING ON EXTERIOR WALL (PER TABLE 705.8)                 |     |   |     |        |          | + (3'-6" X 6'-5" = 22 S/F) + (1'-0" x 3'-8" = 3 S/F) = |     |   |   |        |          |
| DISTANCE OF OPENING FROM PROPERTY LINE IS (5'-0")                    |     |   |     |        |          | 1,513 S/F TOTAL EXTR WALL AREA @ 6TH FLOOR             |     |   |   |        |          |
| 5 FT. TO < 10 FT.                                                    |     |   |     |        |          | ALLOWABLE OPENING ON EXTERIOR WALL (PER TABLE 705.8)   |     |   |   |        |          |
| 1,580 S/F X 25% = 395 S/F                                            |     |   |     |        |          | 5 FT. TO < 10 FT.                                      |     |   |   |        |          |
| UNPROTECTED, SPRINKLERED (UP,S)                                      |     |   |     |        |          | 1,513 S/F X 25% = 378.25 S/F                           |     |   |   |        |          |
| ALLOWABLE OPENING                                                    |     |   |     |        |          | ALLOWABLE OPENING                                      |     |   |   |        |          |
| OPENING                                                              | H   | X | W   | AREA   | QUANTITY | OPENING                                                | H   | X | W | AREA   | QUANTITY |
| OPENING #1                                                           | 8   | X | 9   | 72 S/F | 3        | OPENING #1                                             | 8   | X | 9 | 72 S/F | 3        |
| OPENING #2                                                           | 4.5 | X | 6   | 27 S/F | 6        | OPENING #2                                             | 4.5 | X | 6 | 27 S/F | 6        |
| OPENING #3                                                           | 2.5 | X | 6.5 | 15 S/F | 1        |                                                        |     |   |   |        |          |
| SUBTOTAL                                                             |     |   |     |        |          | SUBTOTAL                                               |     |   |   |        |          |
| 216 S/F                                                              |     |   |     |        |          | 216 S/F                                                |     |   |   |        |          |
| 162 S/F                                                              |     |   |     |        |          | 162 S/F                                                |     |   |   |        |          |
| 16.25 S/F                                                            |     |   |     |        |          | 16.25 S/F                                              |     |   |   |        |          |
| TOTAL @ 2ND FLOOR- ROOF                                              |     |   |     |        |          | TOTAL @ 6TH FLOOR                                      |     |   |   |        |          |
| 394.25 S/F                                                           |     |   |     |        |          | 378 S/F                                                |     |   |   |        |          |
| OPENING RATIO: 396 / 1,589 = 24.9% < 25%                             |     |   |     |        |          | OPENING RATIO: 378 / 1,513 = 24.98% < 25%              |     |   |   |        |          |

**EXHIBIT "A"**  
Page No. 14 of 27  
Case No. DIR-2025-1040-TOC-SPPC-HCA



TRANSPARENT ELEMENT CALCULATION @ 1ST FLOOR: (20% REQUIRED AT REAR)  
WALL AREA @ 1ST FLOOR: 49'-2" W x 11'-0" H = 540.76 SF x 20% = 108.15 SF MIN. REQUIRED  
8.00' W x 5.00' H = 40 SF (OPENING #1)  
8.00' W x 5.00' H = 40 SF (OPENING #2)  
8.00' W x 5.00' H = 40 SF (OPENING #3)  
40 + 40 + 40 = 120 SF > 108.15 SF (20 % of total exterior wall area @ 1st flr.)

WEST ELEVATION  
1/8" = 1'-0"



NORTH ELEVATION  
1/8" = 1'-0"

EXTERIOR WALL OPENING CALCULATION, BASED ON FIRE SEPARATION DISTANCE

| NORTH ELEV.-2ND FLOOR-ROOF                             |     |     |       |         |                   |   |     |          |  |
|--------------------------------------------------------|-----|-----|-------|---------|-------------------|---|-----|----------|--|
| WALL AREA (10'-1" x 140'-1" = 1,412 S/F)               |     |     |       |         |                   |   |     |          |  |
| ALLOWABLE OPENING ON EXTERIOR WALL (PER TABLE 705.8)   |     |     |       |         |                   |   |     |          |  |
| DISTANCE OF OPENING FROM PROPERTY LINE IS (5'-0")      |     |     |       |         |                   |   |     |          |  |
| 3 FT. TO < 5 FT. = 15% UNPROTECTED, SPRINKLERED (UP,S) |     |     |       |         |                   |   |     |          |  |
| 1,412 S/F                                              | X   | 15% | =     | 211 S/F | ALLOWABLE OPENING |   |     |          |  |
| OPENING                                                | H   | X   | W     | AREA    | QUANTITY          |   |     | SUBTOTAL |  |
| OPENING #1                                             | 4.5 | X   | 6     | 27 S/F  | X                 | 4 | =   | 108 S/F  |  |
|                                                        |     | X   |       |         | X                 |   | =   |          |  |
|                                                        |     | X   |       |         | X                 |   | =   |          |  |
| TOTAL @ 2ND FLOOR- ROOF = 108 S/F                      |     |     |       |         |                   |   |     |          |  |
| OPENING RATIO:                                         | 108 | /   | 1,412 | =       | 7.6%              | < | 15% |          |  |

| NORTH ELEV.-1ST FLOOR                                   |      |     |       |         |                   |   |     |          |  |
|---------------------------------------------------------|------|-----|-------|---------|-------------------|---|-----|----------|--|
| WALL AREA (10'-1" x 177'-7" = 1,790 S/F)                |      |     |       |         |                   |   |     |          |  |
| ALLOWABLE OPENING ON EXTERIOR WALL (PER TABLE 705.8)    |      |     |       |         |                   |   |     |          |  |
| DISTANCE OF OPENING FROM PROPERTY LINE IS (5'-0")       |      |     |       |         |                   |   |     |          |  |
| 5 FT. TO < 10 FT. = 15% UNPROTECTED, SPRINKLERED (UP,S) |      |     |       |         |                   |   |     |          |  |
| 1,790 S/F                                               | X    | 25% | =     | 447 S/F | ALLOWABLE OPENING |   |     |          |  |
| OPENING                                                 | H    | X   | W     | AREA    | QUANTITY          |   |     | SUBTOTAL |  |
| OPENING #2                                              | 3.5  | X   | 6     | 21 S/F  | X                 | 1 | =   | 21 S/F   |  |
| OPENING #3                                              | 7    | X   | 3     | 21 S/F  | X                 | 3 | =   | 63 S/F   |  |
| OPENING #4                                              | 4.67 | X   | 10    | 47 S/F  | X                 | 3 | =   | 141 S/F  |  |
| TOTAL @ 2ND FLOOR- ROOF = 225 S/F                       |      |     |       |         |                   |   |     |          |  |
| OPENING RATIO:                                          | 225  | /   | 1,790 | =       | 12.5%             | < | 25% |          |  |

**EXHIBIT "A"**  
Page No. 15 of 27  
Case No. DIR-2025-1040-TOC-SPPC-HCA

| KEY NOTES |                                                                                                                                   |
|-----------|-----------------------------------------------------------------------------------------------------------------------------------|
| A         | LA HABRA STUCCO<br>FINISH: SMOOTH<br>COLOR : CRYSTAL WHITE                                                                        |
| B         | LA HABRA STUCCO<br>FINISH: SMOOTH<br>COLOR : SILVER GRAY                                                                          |
| C         | CORRUGATED METAL SIDING<br>SURFACE SMOOTH<br>COLOR : GALVANIZED G60                                                               |
| D         | PVC OR METAL FARMED WINDOW<br>COLOR: BLACK / DARK GRAY<br>REFLECTIVITY - LOW E - INSULATED )<br>FRMAE COLOR: BLACK / DARK GRAY    |
| E         | PVC OR METAL FARMED DOOR<br>CLEAR VISION GLAZING (LOW<br>REFLECTIVITY - LOW E - INSULATED )<br>FRMAE COLOR: BLACK / DARK GRAY     |
| F         | ALUMINUM STOREFRONT AND DOOR<br>FRAME COLOR: BLACK / DARK GRAY<br>CLEAR VISION GLAZING (LOW<br>REFLECTIVITY - LOW E - INSULATED ) |
| G         | METAL GUARD RAIL<br>SHOP APPLIED FINISH - PPG/DURANAR<br>BLACK / DARK GRAY                                                        |
| H         | ORNAMENTAL METAL AT OPENING<br>EXTERIOR GRADE PAINT - DARK GREY                                                                   |
| J         | NICHHA ILLUMINATION FIBER CEMENT<br>SIDING<br>COLOR : WHITE ON EXTERIOR , RED<br>ON RECESSED PANEL                                |

**VERMONT APARTMENT**  
24-UNIT APARTMENT BUILDING  
1767 N. VERMONT AVE  
LOS ANGELES, CA 90027

**DESIGN SPECIALISTS**  
4519 ADMIRALTY WAY, SUITE A, MARINA DEL REY, CA 90292  
TEL: 310.301-1810 WWW.URBANDESIGNSPECIALISTS.COM

DEVELOPER:

**NOT FOR  
CONSTRUCTION**

THIS DRAWING AND THE INFORMATION CONTAINED  
HEREIN ARE THE COPYRIGHTED WORKS OF URBAN  
DESIGN SPECIALISTS AND MAY NOT BE REPRODUCED  
WITHOUT WRITTEN PERMISSION  
SUBMITTAL

JOB NUMBER:

DATE:

REVISIONS:

1st Resub. TOC & PZA: 09/17/2024

SHEET TITLE:

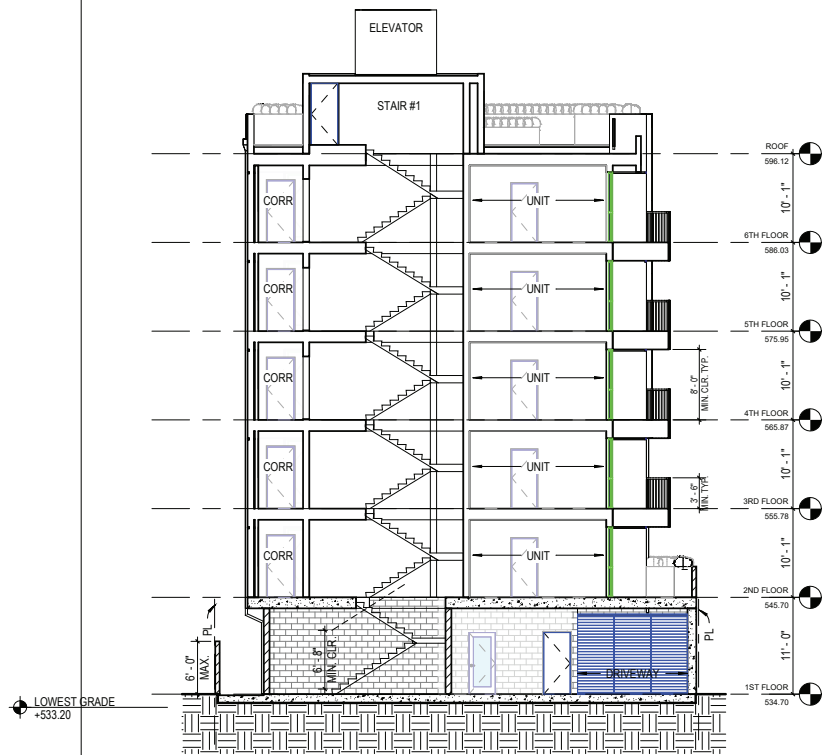
**NORTH &  
WEST  
ELEVATIONS**

SHEET NUMBER:

**A4-2**

5/25/2024 5:03:08 PM

© COPYRIGHT 2020



SECTION-B  
1/8" = 1'-0"



SECTION-A  
1/8" = 1'-0"

**EXHIBIT "A"**  
Page No. 16 of 27  
Case No. DIR-2025-1040-TOC-SPPC-HCA

**VERMONT APARTMENT URBAN DESIGN SPECIALISTS**  
4519 ADMIRALTY WAY, SUITE A, MARINA DEL REY, CA 90292  
TEL: 310.301-1810 WWW.URBANDESIGNSPECIALISTS.COM

**24-UNIT APARTMENT BUILDING**  
1767 N. VERMONT AVE  
LOS ANGELES, CA 90027

DEVELOPER:

**NOT FOR  
CONSTRUCTION**

THIS DRAWING AND THE INFORMATION CONTAINED  
HEREIN ARE THE COPYRIGHTED WORKS OF URBAN  
DESIGN SPECIALISTS AND MAY NOT BE REPRODUCED  
WITHOUT WRITTEN PERMISSION  
SUBMITTAL

JOB NUMBER:

DATE:

REVISIONS:

1st Resub. TOC & PZA: 09/17/2024

SHEET TITLE:  
**SECTIONS- A  
& B**

SHEET NUMBER:

**A5-0**

3/25/2025 5:03:12 PM

© COPYRIGHT 2020

| DOOR SCHEDULE |          |          |           |        |      |             |                |          |           |                      |                |                                  |                                                           |
|---------------|----------|----------|-----------|--------|------|-------------|----------------|----------|-----------|----------------------|----------------|----------------------------------|-----------------------------------------------------------|
| NO.           | Width    | Height   | Type Mark | Thick. | Core | Fire Rating | Frame Material | Glass    | Threshold | Finish               | Panic Hardware | Location                         | Comments                                                  |
|               | 6' - 0"  | 8' - 0"  | 12        |        |      |             |                |          |           |                      |                |                                  |                                                           |
| 1             | 6' - 0"  | 7' - 10" | A         |        |      |             | ALUM / GLASS   |          | YES       | EXTERIOR GRADE PAINT | YES            | BUILDING ENTRY                   |                                                           |
| 2             | 12' - 6" | 9' - 0"  | P         |        |      | None        | ALUMINUM       |          | --        |                      | --             | PARKING GATE                     | GRILLE - ROLLING                                          |
| 3             | 3' - 0"  | 7' - 0"  | B         | 1-3/4" | H/M  | -           | METAL          |          | YES       | EXTERIOR GRADE PAINT | -              | ELECTRICAL RM, BACKUP BATTERY RM | SECURITY LOCK                                             |
| 4             | 3' - 0"  | 6' - 0"  | O         | --     | --   | None        | W. IRON        | --       | --        | EXTERIOR GRADE PAINT | YES            | OPEN SPACE, ENTRANCE & EXIT GATE | SECURITY LOCK / SELF-CLOSING / KEY FOB ACCESS             |
| 5             | 6' - 0"  | 7' - 0"  | C         | 1-3/4" | H/M  | -           | METAL          |          | YES       | -                    | --             | TRASH ROOM                       | SECURITY LOCK                                             |
| 6             | 3' - 0"  | 7' - 0"  | D         | 1-3/4" |      | 45 MIN.     | ALUM / GLASS   | TEMPERED | YES       |                      |                | LOBBY DOOR                       | SLEF-CLOSING / SMOKE GASKETED                             |
| 7             | 2' - 10" | 6' - 8"  | E         | 1-3/4" | H/C  | None        | WOOD           |          | --        | PAINT                | --             | UNIT BEDROOM AND BATHROOM        | PRIVACY LOCK                                              |
| 8             | 2' - 10" | 6' - 8"  | F         | 1-3/4" | H/C  | None        | WOOD           |          | --        | PAINT                | --             | UNIT WALK-IN CLOSET              | --                                                        |
| 9             | 9' - 0"  | 8' - 0"  | G         |        |      | None        | ALUM / GLASS   | TEMPERED | YES       | PAINT                |                | UNIT BALCONY / PATIO             | SECURITY LOCK                                             |
| 10            | 6' - 0"  | 6' - 8"  | H         | 1-3/4" | H/C  | None        |                |          | --        | MIRROR , PAINT       | --             | UNIT CLOSET                      | DOOR FACE COVERED WITH MIRROR                             |
| 11            | 5' - 0"  | 6' - 8"  | H         | 1-3/4" | H/C  | None        | WOOD           |          | --        | MIRROR , PAINT       | --             | UNIT CLOSET                      | DOOR FACE COVERED WITH MIRROR                             |
| 12            | 3' - 0"  | 7' - 0"  | I         | 1-3/4" | S/C  | 20 MIN.     | WOOD           |          | YES       | PAINT                | --             | UNIT ENTRY                       | UNIT ENTRY - SELF CLOSING - SMOKE GASKETED - PRIVACY LOCK |
| 13            | 4' - 0"  | 6' - 8"  | J         | 1-3/4" | H/C  | None        | WOOD           |          | --        | MIRROR , PAINT       | --             | UNIT CLOSET                      | DOOR FACE COVERED WITH MIRROR                             |
| 14            | 2' - 8"  | 6' - 8"  | K         | 1-3/4" | --   | None        | WOOD           |          | --        | PAINT                | --             | UNIT WASHER/DRYER                | LOUVERED DOOR                                             |
| 15            | 12' - 0" | 8' - 0"  | L         |        |      |             | ALUM / GLASS   | TEMPERED | YES       |                      | --             | UNIT BALCONY                     |                                                           |
| 16            | 3' - 0"  | 7' - 0"  | B         | 1-3/4" | H/M  | 20 MIN.     | METAL          |          | YES       | PAINT                | --             | TRASH ROOM                       | SLEF-CLOSING / SMOKE GASKETED                             |
| 17            | 6' - 0"  | 7' - 0"  | M         |        |      | None        | METAL          | --       | YES       | PAINT                | --             | CORRIDOR HORIZONTAL EXIT         | SELF-CLOSING                                              |
| 18            | 3' - 0"  | 7' - 0"  | B         | 1-3/4" | H/M  | 90 MIN.     | METAL          | --       | YES       | PAINT                | YES            | EXIT DOOR ( 1ST-ROOF )           | SLEF-CLOSING / SMOKE GASKETED / EXIT DOOR                 |
| 19            | 6' - 0"  | 7' - 10" | A         | 1 3/4" |      |             | ALUM / GLASS   | TEMPERED | YES       | EXTERIOR GRADE PAINT | --             | UNIT BALCONY / PATIO             |                                                           |
| 20            | 5' - 0"  | 6' - 8"  | C         | 1 3/4" | H/M  |             | METAL          |          | YES       | -                    | --             | TRASH ROOM                       | SECURITY LOCK                                             |
| 21            | 5' - 0"  | 6' - 8"  | N         | 1 3/4" | --   |             | WOOD           |          | YES       | PAINT                | --             | UNIT WASHER/DRYER                | LOUVERED DOOR                                             |
| 22            | 5' - 0"  | 6' - 8"  | K         | 1 3/4" | --   |             | WOOD           |          | YES       | PAINT                | --             | UNIT CLOSET                      | --                                                        |

| WINDOW SCHEDULE |         |         |           |                |              |                  |        |                                 |                                                          |
|-----------------|---------|---------|-----------|----------------|--------------|------------------|--------|---------------------------------|----------------------------------------------------------|
| NO.             | Width   | Height  | Type Mark | Frame Material | Glass        | Operation        | Finish | Location                        | Comments                                                 |
| 1               | 6' - 0" | 4' - 6" | A         | PVC            | Dual glazing | Operable & Fixed | Paint  | SOUTH, EAST, & NORTH ELEVATIONS | CRANK HANDLE / SECURITY LOCK / SCREEN AT OPERABLE WINDOW |
| 2               | 6' - 6" | 2' - 6" | C         | PVC            | Dual glazing | Operable & Fixed | Paint  | SOUTH, EAST, & NORTH ELEVATIONS | CRANK HANDLE / SECURITY LOCK / SCREEN AT OPERABLE WINDOW |
| 3               | 2' - 0" | 4' - 6" | B         | PVC            | Dual glazing | Operable         | Paint  | NORTH ELEVATION                 | CRANK HANDLE / SCREEN                                    |

| WINDOW TYPES |                       |          |              |
|--------------|-----------------------|----------|--------------|
|              |                       |          |              |
| <b>A</b>     | SLIDING/ FIXED WINDOW | <b>B</b> | FIXED WINDOW |
| <b>C</b>     | SLIDING/ FIXED WINDOW |          |              |

| DOOR TYPES |              |          |                     |          |                            |          |                   |          |                                 |
|------------|--------------|----------|---------------------|----------|----------------------------|----------|-------------------|----------|---------------------------------|
|            |              |          |                     |          |                            |          |                   |          |                                 |
| <b>A</b>   | STOREFRONT   | <b>B</b> | SWING DOOR          | <b>C</b> | SWING DOOR DOUBLE          | <b>D</b> | SWING GLASS DOOR  | <b>G</b> | SWING GLASS DOOR, WITH SIDELITE |
| <b>L</b>   | SLIDING DOOR | <b>K</b> | SWING LOUVERED DOOR | <b>N</b> | SWING LOUVERED DOUBLE DOOR | <b>O</b> | WROUGHT IRON GATE | <b>H</b> | SLIDING DOORS - CLOSET          |

**NOTE :** LEVER HARDWARE (TYP.) ON ALL DOORS, EXCEPT WHERE PANIC HARDWARE IS REQUIRED

**NOTE :** ALUMINUM DOOR FRAMES AT NON-RATED EXTERIOR ALUMINUM/GLASS DOOR CAN CHANGE TO VINYL, AFTER OWNER'S APPROVAL FOR THE NEW MATERIAL

| STOREFRONT SCHEDULE |            |          |            |
|---------------------|------------|----------|------------|
|                     |            |          |            |
| <b>A</b>            | STOREFRONT | <b>B</b> | STOREFRONT |
| <b>C</b>            | STOREFRONT |          |            |

**EXHIBIT "A"**

Page No. 17 of 27

Case No. DIR-2025-1040-TOC-SPPC-HCA

**VERMONT APARTMENT**

**24-UNIT APARTMENT BUILDING**

1767 N. VERMONT AVE  
LOS ANGELES, CA 90027

**DESIGN SPECIALISTS**

4519 ADMIRALTY WAY, SUITE A, MARINA DEL REY, CA 90292  
TEL: 310.301-1810 WWW.URBANDSIGNSSPECIALISTS.COM

DEVELOPER:

**NOT FOR  
CONSTRUCTION**

THIS DRAWING AND THE INFORMATION CONTAINED  
HEREIN ARE THE COPYRIGHTED WORKS OF URBAN  
DESIGN SPECIALISTS AND MAY NOT BE REPRODUCED  
WITHOUT WRITTEN PERMISSION  
SUBMITTAL

JOB NUMBER:

DATE:

REVISIONS:

1st Resub. TOC & PZA: 09/17/2024

SHEET TITLE:

**DOOR/  
WINDOW  
SCHEDULE**

SHEET NUMBER:

**A6-0**

3/25/2025 5:03:19 PM

© COPYRIGHT 2020

LANDSCAPE PLANS FOR

1767 VERMONT RESIDENCES

1767 N. VERMONT  
LOS ANGELES, CA 90024

GENERAL REQUIREMENTS

1.

THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS AND SERVICES FOR THE COMPLETE INSTALLATION AS DESCRIBED BY THE LANDSCAPE DRAWINGS AND IN THESE SPECIFICATIONS. ALL MATERIALS AND WORKMANSHIP SHALL BE OF THE HIGHEST STANDARDS.
2.

ANY DEVIATION FROM THE PLAN OR SPECIFICATIONS IS TO HAVE PRIOR WRITTEN APPROVAL BY THE OWNER OR HIS REPRESENTATIVE.
3.

UNTIL ALL WORK IS COMPLETED AND ACCEPTED BY THE OWNER, THE LANDSCAPE CONTRACTOR SHALL ASSUME ALL RISK AND BEAR ALL LOSSES TO HIS MATERIALS AND EQUIPMENT.
4.

THE LANDSCAPE CONTRACTOR SHALL REPAIR ALL WORK DAMAGED BY HIM OR MAKE PAYMENT TO OWNER FOR SUCH REPAIR. SHOULD THE LANDSCAPE CONTRACTOR HAVE HIS WORK DAMAGED BY ANOTHER CONTRACTOR, HE IS TO MAKE ARRANGEMENTS WITH THE OTHER CONTRACTOR FOR THE REPAIR OR PAYMENT FOR THE REPAIR.
5.

CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND AND OVERHEAD UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
6.

ALL WORK AND PORTIONS OF THE PROJECT SHALL COMPLY WITH ALL APPLICABLE CODES.
7.

CONTRACTOR SHALL NOTIFY LANDSCAPE DESIGNER SEVEN ( 7 ) DAYS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION SCHEDULES.

DEMOLITION NOTES

1.

CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH DEMOLITION AS SHOWN WHEN IT IS OBVIOUS THAT OBSTRUCTIONS AND/OR OBJECTS EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS AND/OR OBJECTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
2.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE OR RESTORE TO THE ORIGINAL CONDITION ANY EXISTING ITEMS THAT ARE DAMAGED OR DISTURBED IN ANYWAY. ALL MATERIAL TO BE REUSED OR SALVAGED SHALL BE STORED IN AN AREA DESIGNATED BY THE OWNER FOR THAT PURPOSE. ALL SALVAGED MATERIALS SHALL REMAIN THE PROPERTY OF THE OWNER.
3.

ALL MATERIALS SPECIFIED TO BE REMOVED SHALL BE DISPOSED OF OFF-SITE PER CODES AND REGULATIONS. CONTRACTOR SHALL COORDINATE METHOD OF DISPOSAL WITH OWNER PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR TO PAY ALL FEES ASSOCIATED WITH DISPOSAL.
4.

REMOVE PLANT MATERIAL WITHIN PROJECT LIMITS OF DEMOLITION AS SHOWN ON PLAN AND AS AUTHORIZED IN THE FIELD BY THE LANDSCAPE DESIGNER.
5.

EXISTING TREES TO REMAIN SHALL BE PROTECTED IN PLACE.

WEED REMOVAL

1.

THE LANDSCAPE CONTRACTOR IS TO REMOVE ALL WEEDS AND GRASSES (INCLUDING ROOTS) IN THE AREA OF LANDSCAPE CONSTRUCTION.
2.

IF AGREED UPON BY OWNER, ALL LANDSCAPE AREAS TO RECEIVE THE PRE-EMERGENT HERBICIDE SURFIAN 75W PER MANUFACTURER'S CURRENT PRINTED SPECIFICATIONS. APPLICATION OF HERBICIDE SHALL BE DONE BY PERSONNEL LICENSED TO HANDLE AGRICULTURAL CHEMICALS.

GRADING AND SOIL CONDITIONING

1.

ALL WALKWAYS AND PAVED AREAS SHALL HAVE SMOOTH AND CONTINUOUS ELEVATION CHANGES.
2.

ALL AREAS SHALL HAVE POSITIVE DRAINAGE.
3.

ALL PROPOSED GRADES ARE TO MEET AND BLEND IN WITH EXISTING GRADING AT PROJECT LIMIT AND EXISTING SIDEWALK. PRECISE ELEVATIONS INDICATED ON PLANS TO BE VERIFIED IN FIELD TO AS-BUILT CONDITION.
4.

CONTRACTOR SHALL BE RESPONSIBLE FOR "ROUNDING OFF" ALL SHARP RIDGES EXISTING ON-SITE, WHETHER OR NOT SUCH CONDITIONS ARE INDICATED ON PLANS, AND FOR "FINISH GRADING." FINISH GRADING SHALL CONSIST OF RAKING ALL AREAS TO A SMOOTH GRADE, CULTIVATING THE SOIL TO A DEPTH OF SIX INCHES (6") AND REMOVING ALL ROCKS OR CLODS OF TWO-INCH (2") DIAMETER OR LARGER. REMOVAL OF MINOR AMOUNTS OF CONSTRUCTION WASTE IS INCLUDED.
5.

ALL LANDSCAPE AREAS ARE TO RECEIVE AN EVEN APPLICATION (PER EACH 1000 SQUARE FEET) OF SIX (6) CUBIC YARDS OF NITROGEN MINERALIZED, STABILIZED WOOD SAWDUST, THIRTY (30) POUNDS OF 6N-20P-20K FERTILIZER AND TEN (10) POUNDS OF SOIL SULPHUR. MATERIAL IS TO BE INCORPORATED UNIFORMLY INTO THE TOP SIX INCHES (6") OF SOIL.
6.

FOR PLANTS INDICATED ON PLANT LIST AS "ACID-LOVING," A SPECIAL BACKFILL MIX IS TO BE USED, CONSISTING OF TWO (2) PARTS SITE SOIL, ONE (1) PART FINE SAND, ONE (1) PART PEAT MOSS AND 7-7-7 HIGH ACID IRON PREPLANT FERTILIZER. BACKFILL MIX FOR ALL OTHER CONTAINER PLANTS TO CONSIST OF TWO (2) PARTS SOIL AND ONE (1) PART NITROGEN MINERALIZED FIR BARK. BACKFILL MIXES ARE TO BE MIXED IN SEPARATE STOCKPILES, NOT IN THE PLANTING PIT.

CONSTRUCTION NOTES

1.

CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH ALL CONSTRUCTION OPERATIONS. ALL PIPING, CONDUIT, SLEEVES, ETC., SHALL BE SET IN PLACE PRIOR TO INSTALLATION OF CONSTRUCTION ITEMS.  
THE LOCATIONS OF FEATURES TO BE CONSTRUCTED NOT SPECIFICALLY DIMENSIONED MAY BE DETERMINED BY SCALE. IF CONFLICTS ARISE IN FIELD, CONTACT LANDSCAPE DESIGNER FOR SOLUTION.
2.

ALL DIMENSIONS ARE FROM OUTSIDE FACE OF PAVING, WALLS, ETC., UNLESS OTHERWISE NOTED ON PLANS.
3.

PROVIDE FELT EXPANSION JOINT WITH SEALANT WHERE PAVING ABUTS CURBING, BUILDINGS, COLUMNS, AND STRUCTURES. VERIFY TYPE AND COLOR OF SEALANT WITH LANDSCAPE DESIGNER.
4.

ALL CURVED WALLS AND WALKS SHALL HAVE SMOOTH, CONTINUOUS CURVES AS INDICATED ON PLANS.
5.

PRIOR TO CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR COORDINATING PRE-CONSTRUCTION MEETINGS ON SITE WITH ALL SUB-CONTRACTORS AND THE LANDSCAPE DESIGNER.
6.

CONTRACTOR SHALL PROVIDE 4' BY 4' SAMPLES OF ALL FLATWORK FOR LANDSCAPE DESIGNER'S APPROVAL.

PLANT MATERIALS

1.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO FURNISH PLANT MATERIALS THAT ARE FREE OF PESTS OR PLANT DISEASES. THIS INCLUDES PRE-SELECTED OR "TAGGED" MATERIAL.
2.

PROVIDE MATCHING SIZES AND FORMS FOR EACH SPECIES OF TREE SPACED EQUALLY IN ROWS AS SHOWN ON DRAWINGS. ALIGN TREES ACROSS WALKS. ADJUST SPACING AS NECESSARY, SUBJECT TO REVIEW BY LANDSCAPE DESIGNER.
3.

PROVIDE MATCHING SIZES AND FORMS FOR ALL HEDGE PLANTINGS. SPACE EQUALLY AS SHOWN.
4.

EQUALLY SPACE VINES WHERE PLANTED AGAINST WALLS OR FENCES. SEE DRAWINGS FOR QUANTITY AND APPROXIMATE SPACING.

GENERAL PLANTING NOTES

1.

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL IMPORT OF SOIL AND/OR AMENDMENTS AS NECESSARY TO EXECUTE SPECIFIED SOIL PREPARATION AND ACHIEVE FINISH GRADES IN PLANTED AREAS, AS INDICATED ON CIVIL DRAWINGS AND IN SPECIFICATIONS.
2.

ALL PLANTS ARE TO HAVE A PLANTING PIT 1 1/2 TIMES THE DIAMETER OF THE ROOTBALL AND EQUAL TO ITS DEPTH. THE PLANT IS TO BE BACKFILLED (AFTER POSITIONING OF PLANT) WITH SPECIFIED BACKFILL MIX OR SPECIFIED ACID-LOVING BACK-FILL MIX IF INDICATED ON THE PLANT LIST. PROVIDE A SHALLOW WATERING BASIN FOR EACH PLANT.
3.

GROUND COVERS ARE TO BE PLANTED SO THAT AFTER SETTLING, THE CROWN OF THE PLANT IS EVEN WITH FINISH GRADE, ROOTS FULLY COVERED WITH SOIL AND FIRMED.
4.

WATERING OF PLANTS IS TO TAKE PLACE IMMEDIATELY AFTER PLANTING.
5.

GUYING AND STAKING OF TREES IS TO BE PER DETAILS.

CLEAN UP

1.

AT THE COMPLETION OF ALL PLANTING OPERATIONS, CONTRACTOR WILL LEAVE THE PREMISES NEAT AND CLEAN.
2.

CONTRACTOR WILL REMOVE ALL SURPLUS MATERIALS, NURSERY TAGS AND WASTE FROM THE SITE.

MAINTENANCE

1.

THE INSTALLATION CONTRACTOR IS TO MAINTAIN ALL LANDSCAPE AREAS FOR A PERIOD OF NINETY (90) DAYS FROM THE DATE OF COMPLETION, ESTABLISHED BY THE OWNER OR HIS REPRESENTATIVE. ALL AREAS ARE TO BE KEPT WELL-WATERED, FREE OF WEEDS, GRASSES AND TRASH DURING THE MAINTENANCE PERIOD.
2.

AN APPLICATION OF FERTILIZER IS TO BE MADE JUST PRIOR TO THE COMPLETION OF THE MAINTENANCE PERIOD, OR AT THIRTY (30) DAY INTERVALS IF MAINTENANCE PERIOD IS GREATER THAN 30 DAYS.
3.

THE IRRIGATION SYSTEM OF THE INSTALLATION AREA IS TO BE CHECKED FOR COVERAGE AT EACH WATERING. MALFUNCTIONS, SUCH AS DIRTY HEADS, ETC., ARE TO BE CORRECTED ON THE SPOT. MORE SERIOUS DEFECTS ARE TO BE REPORTED IMMEDIATELY TO THE OWNER FOR CORRECTION BY THE SPRINKLER CONTRACTOR, OR CORRECTED IMMEDIATELY BY THE LANDSCAPE CONTRACTOR IF CONTRACT INCLUDED SPRINKLER INSTALLATION.
4.

MAINTENANCE SCHEDULE:  
A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE BUT NOT LIMITED TO: ROUTINE INSPECTIONS: AN ADJUSTMENT AND REPAIR OF THE IRRIGATION SYSTEM AND ITS COMPONENTS, AERATING AND DETACHING TURF AREA; REPLENISHING MULCH : FERTILIZING AREAS: AND REMOVING OBSTRUCTIONS TO EMISSION DEVICES.
5.

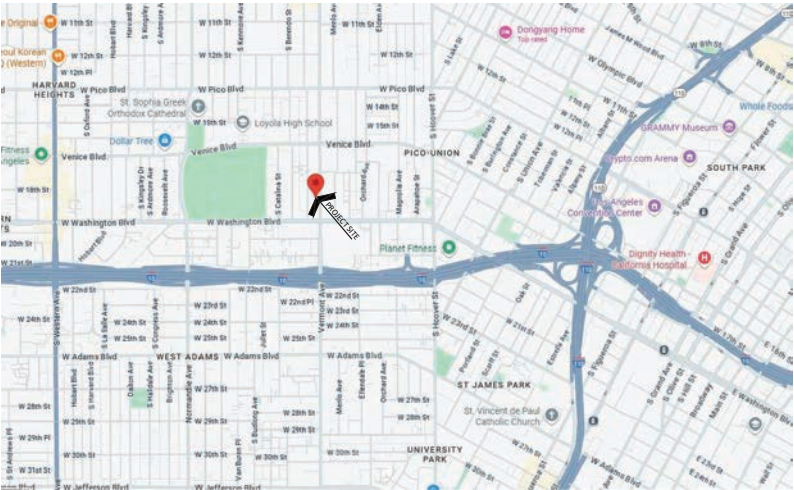
A MAINTENANCE SCHEDULE IS TO BE SUBMITTED WITH THE CERTIFICATE OF COMPLETION

GUARANTEE

1.

LANDSCAPE CONTRACTOR WILL GUARANTEE ALL PLANT MATERIALS OF 1-GALLON TO 15-GALLON SIZE FOR A PERIOD OF NINETY (90) DAYS FROM THE DATE OF ACCEPTANCE. ALL BOX-SIZE MATERIAL IS TO BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE.

VICINITY MAP



BUILDING DATA

12. OPEN SPACE CALCULATION

REQUIRED

(>3 HABITABLE ROOMS) 0 UNIT X 175 = 0 S/F

(3 HABITABLE ROOMS) 15 UNIT X 125 = 1,875 S/F

(<3 HABITABLE ROOMS) 9 UNIT X 100 = 900 S/F

TOTAL = 2,775 S/F

25% REDUCTION, PER TOC = - 693 S/F

TOTAL REQUIRED OPEN SPACE = 2,082 S/F

PER SNAP SUBAREA "B": MINIMUM 50% OF THE REQUIRED OPEN SPACE, MUST BE LOCATED AT GRADE LEVEL.

OPEN SPACE CALC.

| NAME             | Area     | Level     |
|------------------|----------|-----------|
| BALCONY          | 2,134 SF | <not>ap>  |
| OPEN SPACE #1    | 1,077 SF | 1ST FLOOR |
| TOTAL OPEN SPACE | 3,211 SF |           |

1,077 SF (OPEN SPACE #1) = 1,077 SF ÷ 1.041 SF = 1,034 SF (MIN REQUIRED OPEN SPACE AT 1ST FLOOR)

SEE SHEET A1-11, FOR OPEN SPACE CALCULATION

ONE 24-INCH BOX TREES REQUIRED FOR EVERY FOUR DWELLING UNITS ON SITE AND MAY INCLUDE STREET TREES IN THE PARKWAY PER LAHC 12.21.02 a.3.

24 UNITS ÷ 4 = 6 REQUIRED (SEE LANDSCAPE PLAN)

36 INCH BOX TREES REQUIRED PER SNAP  
(SHALL BE PLANTED IN THE PUBLIC RIGHT OF WAY ON-CENTER)

|                                       |                   |                  |
|---------------------------------------|-------------------|------------------|
| 1 TREE PER 30 FEET OF STREET FRONTAGE | 55 FT OF FRONTAGE | 2 TREES REQUIRED |
|---------------------------------------|-------------------|------------------|

LANDSCAPING:

25% OF THE REQUIRED OPEN SPACE:  
2,082 x 25%= 520.5 SF (REQUIRED)

PROVIDED:

1ST FLR PLANTERS & LANDSCAPING: 308 SF

2ND FLR PLANTERS: 343 SF

ROOF PLANTERS: 208 SF

TOTAL: 859 SF

13. STREETSCAPE ELEMENTS (PER SNAP)

MWELO APPROACH:

LANDSCAPE AREA (INCLUDING STREET TREES)  
915 SQ. FT.

THIS PROJECT USES THE PRESCRIPTIVE  
COMPLIANCE OPTION OF THE MWELO

SHEET INDEX:

- L-0 COVER SHEET/ BUILDING DATA  
L-1 LANDSCAPE PLAN- GROUND LEVEL  
L-2 LANDSCAPE PLAN- SECOND FLOOR  
L-3 LANDSCAPE PLAN- ROOFTOP  
L-4 PLANTING DETAILS AND NOTES  
I-1 IRRIGATION  
I-2 IRRIGATION NOTES  
I-3 IRRIGATION DETAILS  
I-4 IRRIGATION SPECS AND MAINTENANCE

EXHIBIT "A"

Page No. 18 of 27

Case No. DIR-2025-1040-TOC-SPPC-HCA

Richard Lusk  
LANDSCAPE AND DESIGN



richardlusk.com  
800.808.7510

C27 | 950714



COVER SHEET

THIS PLAN(S) DOES NOT COMMUNICATE CONSTRUCTION MEANS OR METHODS AND THEREFORE SHALL NOT BE USED FOR CONSTRUCTION OR MISCONSTRUED AS A CONSTRUCTION PLAN OR TECHNICAL DOCUMENT.

PROJECT  
TITLE

1767 N.  
VERMONT  
LOS ANGELES,  
CA 90027

DESCRIPTION

NO.

DATE

SHEET  
TITLE

COVER SHEET

L-0

DATE

04.30.2026

EXHIBIT "A"

Page No. 19 of 27

Case No. DIR-2025-1040-TOC-SPPC-HCA

Richard Lusk  
LANDSCAPE AND DESIGN



richardlusk.com

800.808.7510

C27 | 950714



PRELIMINARY  
LANDSCAPE PLAN

THIS PLAN(S) DOES NOT COMMUNICATE  
CONSTRUCTION MEANS OR METHODS AND  
THEREFORE SHALL NOT BE USED FOR  
CONSTRUCTION OR MISCONSTRUED AS A  
CONSTRUCTION PLAN OR TECHNICAL DOCUMENT.

PROJECT  
TITLE

1767 N.  
VERMONT  
LOS ANGELES,  
CA 90027

DESCRIPTION

DATE

NO.

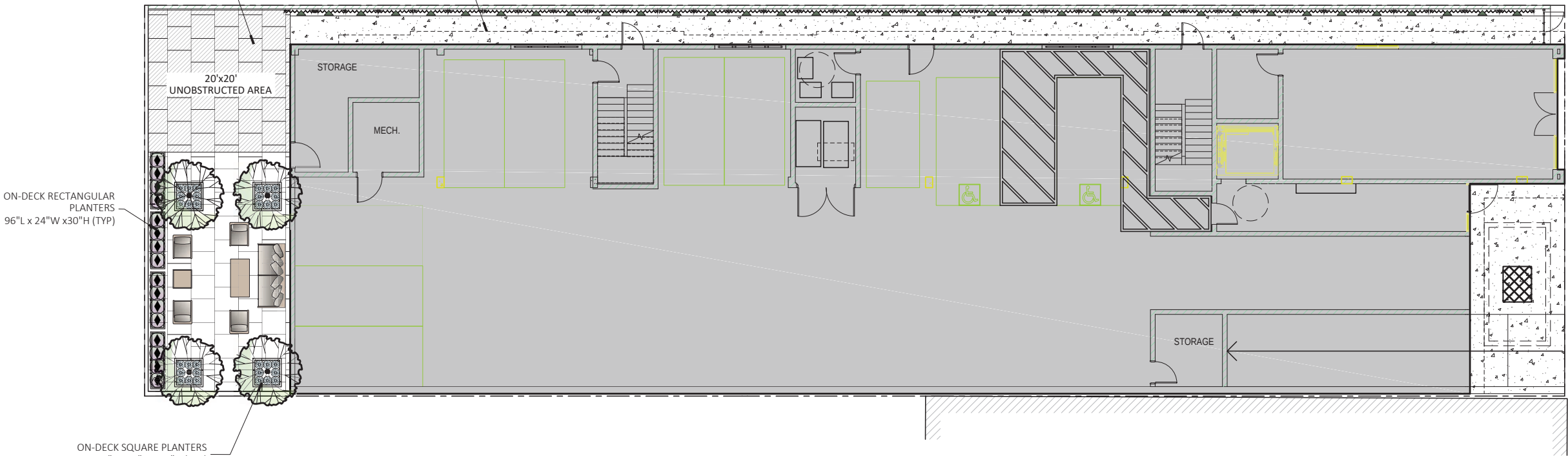
SHEET  
TITLE

FIRST FLOOR  
LANDSCAPE  
L-1

DATE 04.30.2026

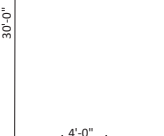
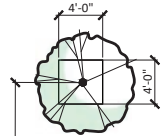
LARGE SCALE PORCELAIN PAVERS  
SOLAR REFLECTANCE >0.33

NATURAL GRAY  
(UNCOLORED) CONC.  
SOLAR REFLECTANCE= 0.39 (TYP)



ON-DECK RECTANGULAR  
PLANTERS  
96"L x 24"W x 30"H (TYP)

ON-DECK SQUARE PLANTERS  
96"L x 24"W x 30"H (TYP)



N. VERMONT AVE.

FIRST FLOOR LANDSCAPE  
SCALE: 1/8"=1'-0"



| FIRST FLOOR PLANTING SCHEDULE |                               |                        |         |          |        |             |        |
|-------------------------------|-------------------------------|------------------------|---------|----------|--------|-------------|--------|
| SYMBOL                        | BOTANICAL NAME                | COMMON NAME            | SIZE    | QUANTITY | WUCOLS | HEIGHT (FT) | NATIVE |
|                               | VITEX TRIFOLIA 'PURPUREA'     | ARABIAN LILAC          | 5 GAL   | --       | 0.3    | 4           | N      |
|                               | DIANELLA 'CLARITY BLUE'       | CLARITY BLUE FLAX LILY | 1 GAL   | --       | 0.3    | 1.5         | N      |
|                               | HARDENBERGIA 'HAPPY WANDERER' | BLUE LILAC VINE        | 1 GAL   | --       | 0.3    | 12          | N      |
|                               | QUERCUS VIRGINIANA            | LIVE OAK               | 24" BOX | 4        | 0.4    | 20'         | N      |

| NEW STREET TREES PER S.N.A.P. REQUIREMENT |                                 |           |         |   |     |     |   |
|-------------------------------------------|---------------------------------|-----------|---------|---|-----|-----|---|
|                                           | PODOCARPUS GRACILIOR (STANDARD) | FERN PINE | 36" BOX | 2 | 0.4 | 40' | N |



ON-DECK PLANTERS "WILSHIRE" COLLECTION



LARGE SCALE PORCELAIN PAVERS  
SOLAR REFLECTANCE >0.33



VITEX TRIFOLIA 'PURPUREA'



DIANELLA 'CLARITY BLUE'



HARDENBERGIA 'HAPPY WANDERER'



QUERCUS VIRGINIANA



SECOND FLOOR  
LANDSCAPE PLAN

THIS PLAN(S) DOES NOT COMMUNICATE  
CONSTRUCTION MEANS OR METHODS AND  
THEREFORE SHALL NOT BE USED FOR  
CONSTRUCTION OR MISCONSTRUED AS A  
CONSTRUCTION PLAN OR TECHNICAL DOCUMENT.

PROJECT  
TITLE

1767 N.  
VERMONT  
LOS ANGELES,  
CA 90027

DESCRIPTION

DATE

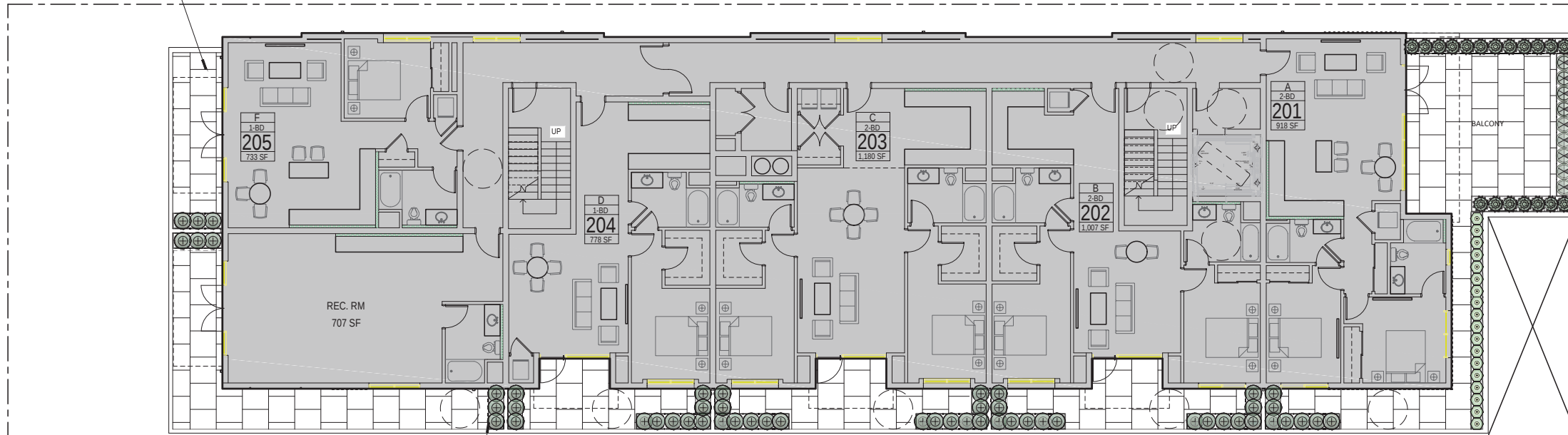
NO.

SHEET  
TITLE

2ND FLOOR  
LANDSCAPE  
L-2

DATE 04.30.2026

LARGE SCAPE PORCELAIN PAVERS  
SOLAR REFLECTANCE >0.33



N. VERMONT AVE.

30"H RAISED PLANTERS  
ON DECK



ON-DECK PLANTERS "WILSHIRE" COLLECTION

SECOND FLOOR LANDSCAPE  
SCALE: 1/8"=1'-0"



SECOND FLOOR PLANTING SCHEDULE

| SYMBOL | BOTANICAL NAME                    | COMMON NAME              | SIZE  | QUANTITY | WUCOLS | HEIGHT (FT) | NATIVE |
|--------|-----------------------------------|--------------------------|-------|----------|--------|-------------|--------|
|        | RHAMNUS CALIFORNICA 'LEATHERLEAF' | LEATHERLEAF COFFEEBERRY  | 5 GAL | 9        | 0.2    | 4           | Y      |
|        | WESTRINGIA FRUITCOSA 'SMOKEY'     | SMOKEY COAST ROSEMARY    | 5 GAL | 19       | 0.2    | 3           | N      |
|        | CORREA 'ALBA'                     | WHITE AUSTRALIAN FUSCHIA | 5 GAL | 18       | 0.2    | 3           | N      |
|        | LAURUS NOBILIS (MULTI)            | SWEET BAY                | 5 GAL | 45       | 0.2    | 20'         | N      |



LARGE SCAPE PORCELAIN PAVERS  
SOLAR REFLECTANCE >0.33



RHAMNUS CALIFORNICA 'LEATHERLEAF'



WESTRINGIA FRUITCOSA 'SMOKEY'



CORREA 'ALBA'



LAURUS NOBILIS



ROOFTOP  
LANDSCAPE PLAN

THIS PLAN(S) DOES NOT COMMUNICATE  
CONSTRUCTION MEANS OR METHODS AND  
THEREFORE SHALL NOT BE USED FOR  
CONSTRUCTION OR MISCONSTRUED AS A  
CONSTRUCTION PLAN OR TECHNICAL DOCUMENT.

PROJECT  
TITLE

1767 N.  
VERMONT  
LOS ANGELES,  
CA 90027

DESCRIPTION

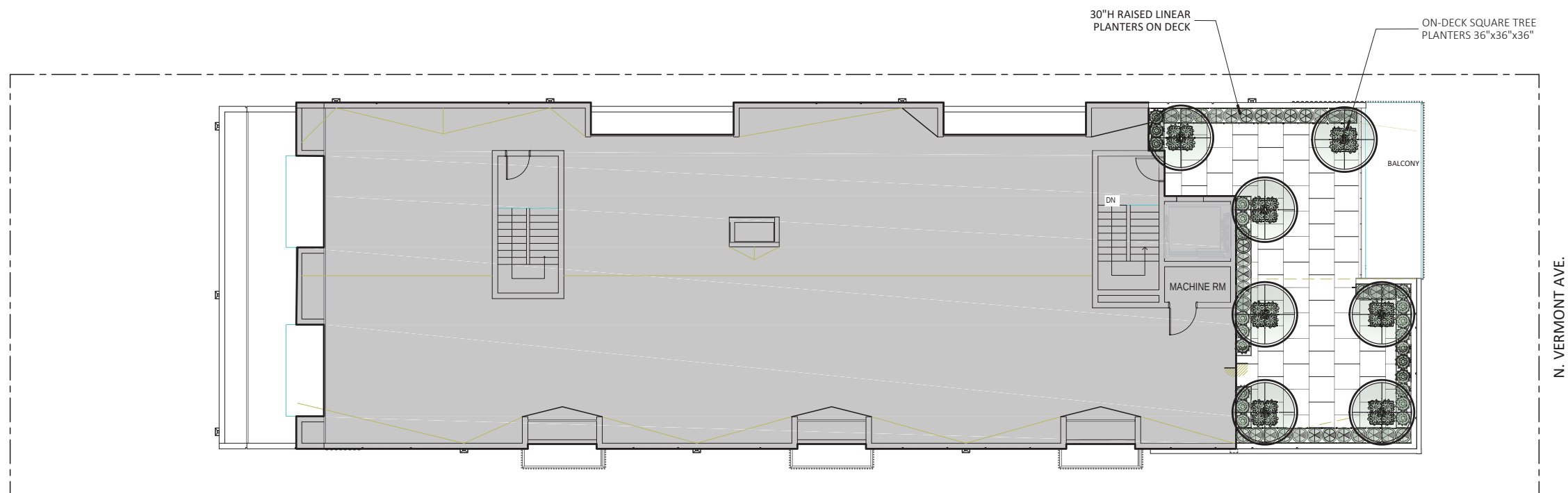
DATE

NO.

SHEET  
TITLE

ROOFTOP  
LANDSCAPE  
L-3

DATE 04.30.2026



ROOFTOP LANDSCAPE  
SCALE: 1/8"=1'-0"



ON-DECK PLANTERS "WILSHIRE" COLLECTION



LARGE SCAPE PORCELAIN PAVERS  
SOLAR REFLECTANCE >0.33



RHAMNUS CALIFORNICA 'LEATHERLEAF'



WESTRINGIA FRUITCOSA 'SMOKEY'



AGAVE BRACTEOSA 'CALAMAR'



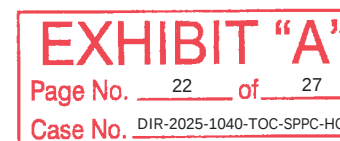
OLEA EUROPAEA 'SWAN HILL'  
(STANDARD)





1767 N.  
VERMONT  
LOS ANGELES,  
CA 90027

DATE 04.30.2026



SCALE: 1/8"=1'-0"



IRRIGATION MAINLINE  
SHOWN OUTSIDE P.L.  
BOUNDARIES FOR CLARITY.  
INSTALL WITHIN  
PROPERTY BOUNDARIES (TYP

**GROUND LEVEL**

FOR IRRIGATION DETAILS SEE SHEET: I-3

GENERAL

- ALL NEW CONSTRUCTION SHALL COMPLY WITH THE CONTRACT DOCUMENTS AND LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE, "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", AND CITY OF LOS ANGELES LOCAL ORDINANCES AS APPLICABLE.
- ALL GRADING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY XXXXXXXXXX DATED XXXX XX, XXXX.
- EXISTING TOPOGRAPHY SHOWN HEREON WAS TAKEN FROM A SURVEY BY CHRISTENSEN & PLOUFF LAND SURVEYING, DATED DECEMBER 18, 2023.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.
- PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL JOIN CONDITIONS FOR GRADING, DRAINAGE AND UNDERGROUND FACILITIES INCLUDING LOCATION AND ELEVATION OF EXISTING UNDERGROUND FACILITIES AT CROSSINGS WITH PROPOSED UNDERGROUND FACILITIES. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
- ALL DRAWINGS ARE CONSIDERED TO BE A PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
- THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
- THE EXISTENCE, LOCATION AND CHARACTERISTICS OF UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM A REVIEW OF AVAILABLE RECORD DATA. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
- IF AT ANY TIME DURING GRADING OPERATIONS, ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, GRADING IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED.
- THE PROPOSED GRADE IS THE FINAL GRADE AND NOT THE ROUGH GRADE. THE CONTRACTOR SHALL SUBTRACT THE THICKNESS OF THE PAVED SECTION AND/OR LANDSCAPE TOPSOIL SECTION TO ARRIVE AT THE ROUGH GRADE ELEVATION.
- STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON THE PLANS.
- ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.
- ALL FILL SOILS OR SOILS DISTURBED OR OVEREXCAVATED DURING CONSTRUCTION SHALL BE COMPACTED PER THE REQUIREMENTS OF THE SOILS REPORT BUT NOT LESS THAN 90% MAXIMUM DENSITY AS DETERMINED BY A.S.T.M. SOIL COMPACTION TEST D-1557.
- THE CONTRACTOR SHALL OBTAIN AN O.S.H.A. PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE CONSTRUCTION OF TRENCHES OR EXCAVATIONS WHICH ARE FIVE FEET OR DEEPER.
- DIMENSIONS TO PIPELINES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER FROM TOP OF PIPE TO FINISHED GRADE, UNLESS OTHERWISE NOTED.
- THRUST BLOCKS SHALL BE INSTALLED AT WATERLINE HORIZONTAL AND VERTICAL BENDS, TEES, CAPPED ENDS AND REDUCERS ACCORDING TO THE DETAILS PROVIDED ON THESE PLANS.
- CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR. CONSTRUCTION STAKING SURVEYOR SHALL BE RESPONSIBLE FOR COORDINATION OF THESE PLANS WITH SOURCE DRAWINGS PREPARED BY ARCHITECT, LANDSCAPE ARCHITECT, STRUCTURAL ENGINEER, MEP CONSULTANT AND ANY OTHER DISCIPLINE PRIOR TO START OF STAKING AND CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED.
- THE CONTRACTOR SHALL REPLACE ALL EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION TO MATCH EXISTING, INCLUDING PERMANENT TRENCH RESURFACING.
- CONTRACTOR TO CONTACT UNDERGROUND SERVICE ALERT (800-227-2600) PRIOR TO EXCAVATION.
- ALL DIMENSIONS ARE IN FEET OR DECIMALS THEREOF.
- ALL CURB DIMENSIONS AND RADII ARE TO PAVEMENT FACE OF CURB.
- CONTRACTOR TO BE AWARE OF ALL OVERHEAD LINES AT ALL TIMES, SO AS NOT TO DISTURB THEM.
- WATER SHALL BE PROVIDED ONSITE AND USED TO CONTROL DUST DURING CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS FROM THE CITY OF LOS ANGELES FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE, DURING INTERIM CONDITIONS OF CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING NPDES, FROM THE APPROPRIATE JURISDICTIONAL AGENCIES FOR DISCHARGE OF GROUNDWATER THAT MAY BE NECESSARY TO ACCOMPLISH EXCAVATIONS SHOWN ON THESE PLANS.

CITY OF LOS ANGELES GRADING NOTES

- ALL GRADING SLOPES SHALL BE PLANTED AND SPRINKLERED. (7012.1)
  - STANDARD 12" HIGH BERM IS REQUIRED AT THE TOP OF ALL GRADED SLOPES.
  - NO FILL TO BE PLACED UNTIL THE CITY GRADING INSPECTOR HAS INSPECTED AND APPROVED THE BOTTOM EXCAVATION.
  - MAN-MADE FILL SHALL BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 90% MAX. DRY DENSITY WITHIN 40 FEET BELOW FINISHED GRADE AND 93% OF MAX DRY DENSITY DEEPER THAN 40 FEET BELOW FINISH GRADE, UNLESS A LOWER RELATIVE COMPACTION (NOT LESS THAN 90% OF MAX. DRY DENSITY) IS JUSTIFIED BY THE SOILS ENGINEER.
  - TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN OCTOBER 1 AND APRIL 15. OBTAIN GRADING INSPECTOR'S AND DEPARTMENT OF PUBLIC WORKS APPROVAL OF PROPOSED PROCEDURES. (>200CY) (7007.1)
- CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS.
- REGISTERED DEPUTY GRADING INSPECTOR IS REQUIRED ON GRADING AND FOUNDATION EARTHWORK WHERE (SITE EXCEEDS 60,000 SF) (CUT OR FILL SLOPES EXCEED 2:1) (CUTS EXCEED 40 FT IN HEIGHT AND WITHIN 20 FT OF A PROPERTY LINE) (FOUNDATION EXCAVATION BELOW A 1:1 PLANE FROM PROPERTY LINE) (PROJECT INVOLVE UNUSUAL HAZARDS) (SHORING WORK INCLUDING SLOT-CUTS) (1704).
- RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF THE WALL SHALL BE BACKFILLED NOT LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY RESPONSIBLE ENGINEER.

LEGEND

SITE

- |  |                            |
|--|----------------------------|
|  | CURB/BACK OF CURB/GUTTER   |
|  | RETAINING WALL/SITE WALL   |
|  | PROPERTY LINE/RIGHT OF WAY |
|  | CENTER LINE                |
|  | FENCE                      |

EROSION CONTROL

- |  |                                      |
|--|--------------------------------------|
|  | GRAVEL DBAGS                         |
|  | FIBER ROLL                           |
|  | PROPOSED BUILDING EXCAVATION OUTLINE |
|  | EXISTING DRAINAGE DIRECTION OF FLOW  |

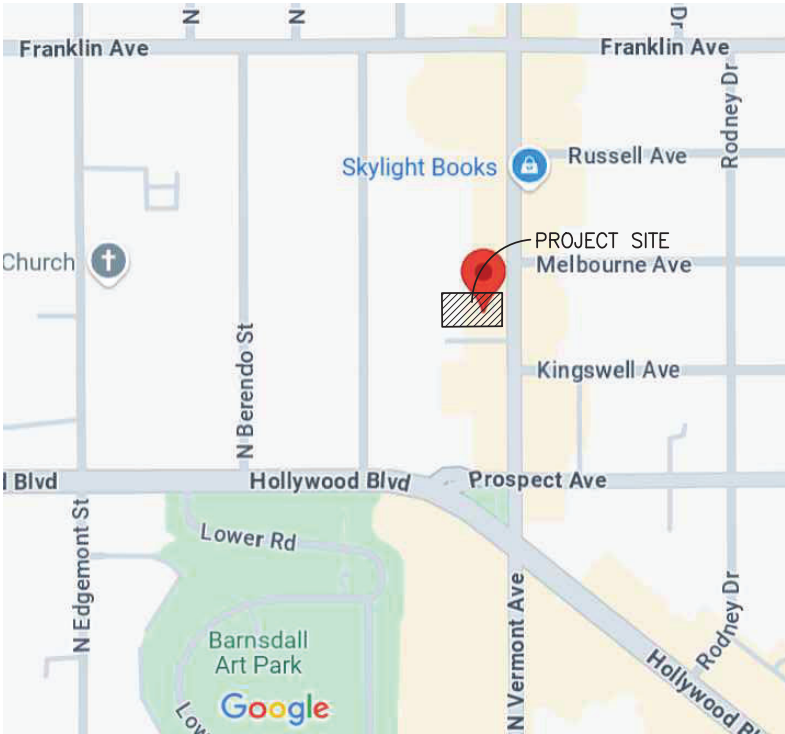
GRADING

- |  |                                    |
|--|------------------------------------|
|  | PROPOSED MAJOR CONTOUR             |
|  | PROPOSED MINOR CONTOUR             |
|  | FLOW LINE                          |
|  | GRADE BREAK LINE                   |
|  | RIDGE LINE                         |
|  | EARTHEN SWALE                      |
|  | SAWCUT                             |
|  | LIMITS OF GRADING                  |
|  | GRADING BENCH                      |
|  | GRADED SLOPE (HORIZONTAL-VERTICAL) |
|  | STORM DRAIN                        |
|  | STORM DRAIN INLET                  |

ABBREVIATIONS

|               |                              |      |                            |      |                        |
|---------------|------------------------------|------|----------------------------|------|------------------------|
| AC            | ASPHALTIC CONCRETE           | FL   | FLOW LINE                  | (s)  | SOUTH                  |
| BCR           | BEGIN CURVE RETURN           | FT   | FOOT OR FEET               | S=   | SLOPE EQUALS           |
| BW            | BACK OF WALK                 | FU   | FIXTURE UNITS              | SD   | STORM DRAIN            |
| BLDG          | BUILDING                     | FW   | FIRE WATER                 | SSMH | SANITARY SEWER MANHOLE |
| BM            | BENCH MARK                   | GPM  | GALLONS PER MINUTE         | SS   | SANITARY SEWER         |
| BOS           | BOTTOM OF STAIRS             | GV   | GATE VALVE                 | STD  | STANDARD               |
| BMP           | BEST MANAGEMENT PRACTICES    | HDPE | HIGH DENSITY POLYETHYLENE  | SDMH | STORM DRAIN MANHOLE    |
| CB            | CATCH BASIN                  | HP   | HIGH POINT                 | TC   | TOP OF CURB            |
| CI            | CAST IRON                    | INV. | INVERT                     | TEL  | TELEPHONE              |
| CL            | CENTER LINE                  | LP   | LOW POINT                  | TG   | TOP OF GRATE           |
| CMU           | CONCRETE MASONRY UNIT        | MAX  | MAXIMUM                    | TOS  | TOP OF STAIRS          |
| CO            | CLEANOUT                     | MIN  | MINIMUM                    | TW   | TOP OF WALL            |
| CONC          | PORTLAND CEMENT CONCRETE     | MH   | MANHOLE                    | TS   | TRAFFIC SIGNAL         |
| CF            | CURB FACE                    | (N)  | NORTH                      | TSB  | TRAFFIC SIGNAL BOX     |
| DW            | DOMESTIC WATER               | NTS  | NOT TO SCALE               | TYP  | TYPICAL                |
| (E)           | EAST                         | PA   | PLANTER AREA               | TV   | TELEVISION             |
| ECR           | END CURVE RETURN             | POC  | POINT OF CONNECTION        | VIF  | VERIFY IN FIELD        |
| EG            | EDGE OF GUTTER               | PIV  | POST INDICATOR VALVE       | VL   | VAULT                  |
| EL. OR ELEV   | ELEVATION                    | PCC  | POINT OF COMPOUND CURVE    | VCP  | VITRIFIED CLAY PIPE    |
| ELEC          | ELECTRIC, ELECTRICAL         | PRC  | POINT OF REVERSE CURVE     | (S)  | WEST                   |
| EX. OR EXIST. | EXISTING                     | PRV  | PRESSURE REDUCING VALVE    | W    | WATER                  |
| FDC           | FIRE DEPARTMENT CONNECTION   | PVC  | POLYVINYL CHLORIDE         | WM   | WATER METER            |
| FF            | FINISHED FLOOR               | R    | RADIUS                     | WV   | WATER VALVE            |
| FG            | FINISHED GRADE (LANDSCAPE)   | RCIP | RECTANGULAR CAST IRON PIPE |      |                        |
| FS            | FINISHED SURFACE (HARDSCAPE) | RD   | ROOF DRAIN                 |      |                        |
| FH            | FIRE HYDRANT                 | RW   | RIGHT-OF-WAY               |      |                        |

VERMONT APARTMENTS  
CIVIL PLANS



VICINITY MAP  
NOT TO SCALE

LEGAL DESCRIPTION:

LOT 28 OF GLEN VIEW TRACT, MAP BOOK 8, PAGE 90.

APN: 5589-028-028

GEOTECHNICAL ENGINEER'S STATEMENT

THIS PLAN HAS BEEN REVIEWED AND CONFORMS TO RECOMMENDATIONS OF SOILS GEOTECHNICAL ENGINEERING REPORT BY XXXX DATED XXX XX, XXXX.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_ STAMP \_\_\_\_\_

ESTIMATED EARTHWORK QUANTITIES

|                    |     |                   |
|--------------------|-----|-------------------|
| CUT:               | 0   | CUBIC YARDS       |
| FILL:              | 231 | CUBIC YARDS       |
| NET (FILL/IMPORT): | 231 | CUBIC YARDS (CUT) |

EARTHWORK CALCULATION NOTES:

- THE ESTIMATED QUANTITIES PROVIDED ABOVE ARE TO BE USED FOR JURISDICTIONAL PLAN CHECKING AND PERMITTING PURPOSES ONLY.
- ESTIMATED EARTHWORK ABOVE IS BASED ON DESIGN FINISH GRADES TO EXISTING GRADES AND/OR CONTOURS AS PROVIDED ON THE BASE SURVEY. THE ESTIMATED EARTHWORK DOES NOT ACCOUNT FOR THE THICKNESS OF PAVEMENTS, FOUNDATIONS AND SLABS ON GRADE, FOOTINGS, CLEARING AND GRUBBING, OVER EXCAVATION AND RECOMPACTION, AND CONSTRUCTION MEANS AND METHODS.
- THE ESTIMATED EARTHWORK QUANTITIES DO NOT INCLUDE SHRINKAGE AND/OR EXPANSION FACTORS DUE TO COMPACTION OR OVER EXCAVATION QUANTITIES.
- THE CONTRACTOR SHALL CALCULATE HIS OWN EARTHWORK QUANTITIES NECESSARY FOR HIS BID AND WORK.
- ESTIMATED EARTHWORK QUANTITIES ABOVE ASSUME THAT ALL ONSITE MATERIALS ARE SUITABLE FOR BACKFILLING. HOWEVER, ACTUAL EXISTING ONSITE MATERIALS AND IMPORTED MATERIALS MUST FIRST BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION, REMOVAL, REPLACEMENT.

STORM WATER POLLUTION CONTROL NOTE



STORM WATER POLLUTION CONTROL  
(2023 Los Angeles Green Building Code)

FORM  
GRN 1

Storm Water Pollution Control Requirements for Construction Activities  
Minimum Water Quality Protection Requirements for All Construction Projects

**The following notes shall be incorporated in the approved set of construction/grading plans and represents the minimum standards of good housekeeping which must be implemented on all construction projects.**

Construction means constructing, clearing, grading or excavation that result in soil disturbance. Construction includes structure teardown (demolition). It does not include routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of facility; emergency construction activities required to immediately protect public health and safety; interior remodeling with no outside exposure of construction material or construction waste to storm water; mechanical permit work; or sign permit work. (Order No. 01-182, NPDES Permit No. CAS004001 – Part 5: Definitions)

- Eroded sediments and pollutants shall be retained on site and shall not be transported from the site via sheet flow, swales, area drains, natural drainage or wind.
- Stockpiles of earth and other construction-related materials shall be covered and/or protected from being transported from the site by wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and shall not contaminate the soil nor the surface waters. All approved toxic storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of properly and shall not be washed into the drainage system.
- Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained on the project site.
- Excess or waste concrete may not be washed into the public way or any drainage system. Provisions shall be made to retain concrete waste on-site until it can be appropriately disposed of or recycled.
- Trash and construction -related solid wastes must be deposited into a covered receptacle to prevent contamination of storm water and dispersal by wind.
- Sediments and other materials shall not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the street/public ways. Accidental depositions must be swept up immediately and may not be washed down by rain or by any other means.
- Retention basins of sufficient size shall be provided to retain storm water runoff on-site and shall be properly located to collect all tributary site runoff.
- Where retention of storm water runoff on-site is not feasible due to site constraints, runoff may be conveyed to the street and the storm drain system provided that an approved filtering system is installed and maintained on-site during the construction duration.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

(Rev. 01/01/20)

Page 1 of 1

[www.ladsbs.org](http://www.ladsbs.org)

SHEET INDEX

|      |                             |
|------|-----------------------------|
| C000 | TITLE SHEET                 |
| C100 | EROSION CONTROL PLAN        |
| C200 | ROUGH GRADING PLAN          |
| C210 | PRECISE GRADING PLAN        |
| C300 | LOW IMPACT DEVELOPMENT PLAN |
| C400 | UTILITY PLAN                |
| C500 | A-PERMIT PLAN               |

PROJECT DIRECTORY

**OWNER:**  
JAY GREENWOOD  
AND ASSET MANAGEMENT, INC.  
2720 S. LA CIENEGA BLVD., STE A  
LOS ANGELES, CA 90034  
TEL: 949.375.0051  
E: JG@ANDMG.T.COM

**CIVIL ENGINEER:**  
PACIFIC CONSULTING GROUP, INC.  
KYLE PROUTY  
2239 STATE AVE., #B  
COSTA MESA, CA 92627  
TEL: 818.800.6991

**ARCHITECT:**  
URBAN DESIGN SPECIALISTS  
4519 ADMIRALTY WAY, SUITE A  
MARINA DEL REY, CA 90292  
TEL: 310.301.1810



2239 STATE AVE., #B  
COSTA MESA, CA 92627  
T: 818 800 6991  
E: kyle@pacificconsultinginc.com  
PCG JOB NO. 25116

VERMONT APARTMENTS

1767 N VERMONT AVE.  
LOS ANGELES, CA 90027



SIGN DATE 08/26/2025

NOT FOR  
CONSTRUCTION

REVISIONS:

JOB NO.: 25116

DATE:

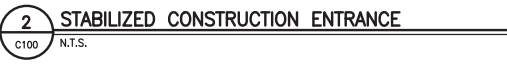
SCALE: AS NOTED

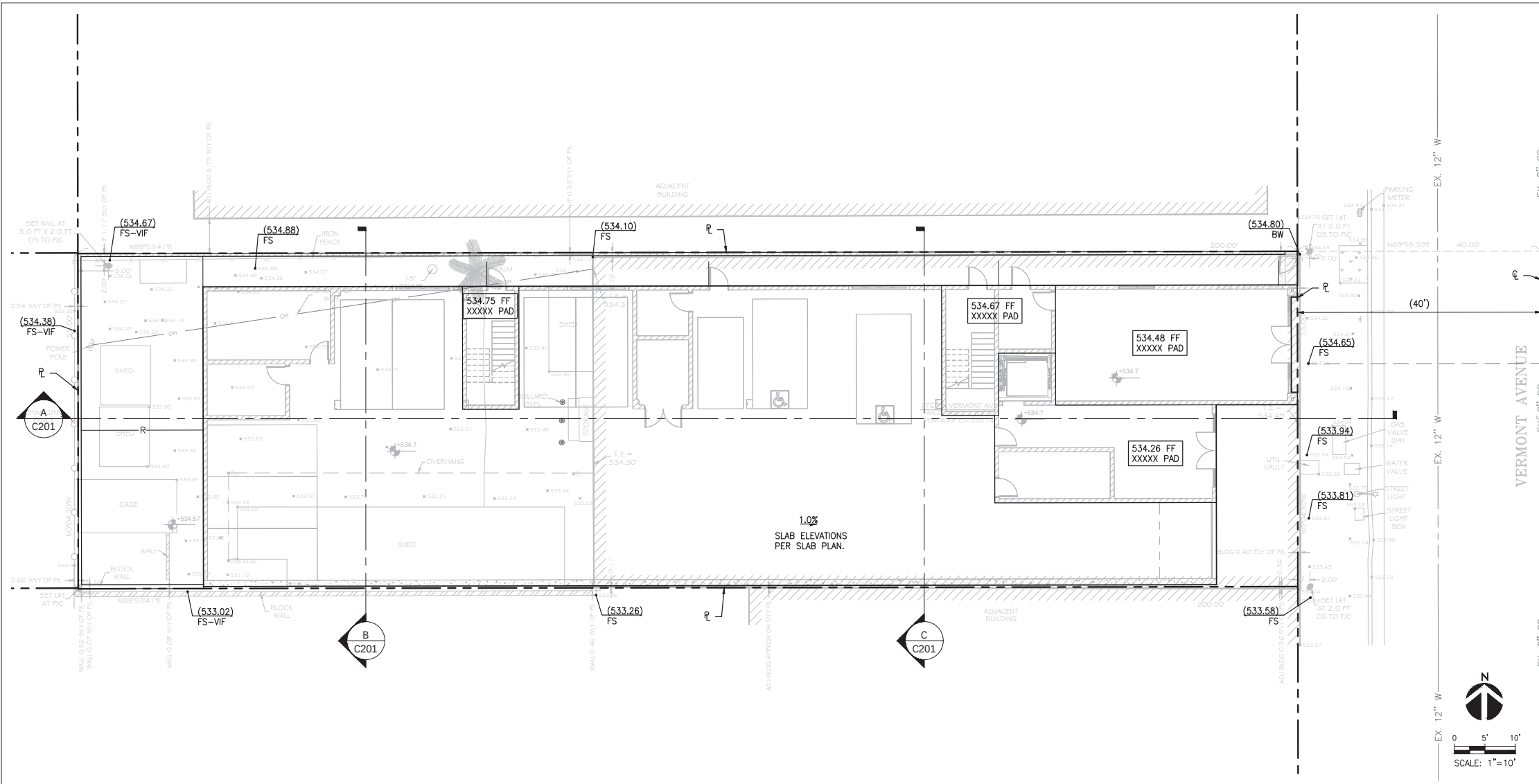
SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

C000





LEGEND

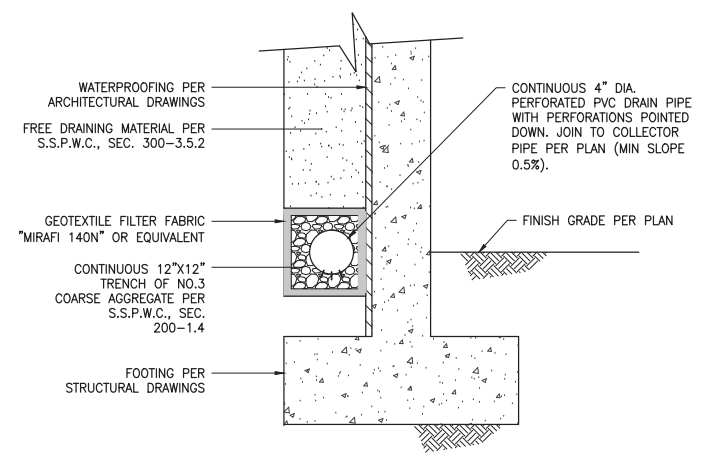
--- PROPERTY LINE

CONSTRUCTION NOTES

D1 INSTALL FOUNDATION DRAIN PER DETAIL 1, SHOWN HEREON.

NOTES

1. SEE SLAB PLAN FOR SLAB SLOPES AND ELEVATIONS. SLAB ELEVATIONS AND SLOPES NOTED FOR REFERENCE ONLY HEREON.
2. REMOVAL AND RECOMPACTION SHALL BE PERFORMED TO THE RECOMMENDATIONS NOTED IN THE PROJECT GEOTECHNICAL REPORT.
3. ROUGH GRADE ASSUMES PAD IS X" BELOW FINISH FLOOR (X" SLAB, + X" BASE). SEE ARCHITECTURAL PLANS AND STRUCTURAL PLANS FOR FINAL SLAB ELEVATIONS AND FOUNDATION DETAILS.
4. TEMPORARY EXCAVATIONS SHALL BE PERFORMED IN CONFORMANCE OF THE PROJECT GEOTECHNICAL REPORT PREPARED BY XXXXX DATED XXXXX.



1 FOUNDATION DRAIN TYPICAL DETAIL  
C200 N.T.S.



2239 STATE AVE, #B  
COSTA MESA, CA 92627  
T: 818 800 6991  
E: Kyle@pacificconsultinginc.com  
PCG JOB NO. 25116

**VERMONT APARTMENTS**

1767 N VERMONT AVE.  
LOS ANGELES, CA 90027



SIGN DATE 08/26/2025

NOT FOR CONSTRUCTION

REVISIONS:

| NO. | DESCRIPTION |
|-----|-------------|
|     |             |
|     |             |
|     |             |
|     |             |
|     |             |
|     |             |
|     |             |
|     |             |
|     |             |
|     |             |

JOB NO.: 25116

DATE:

SCALE: AS NOTED

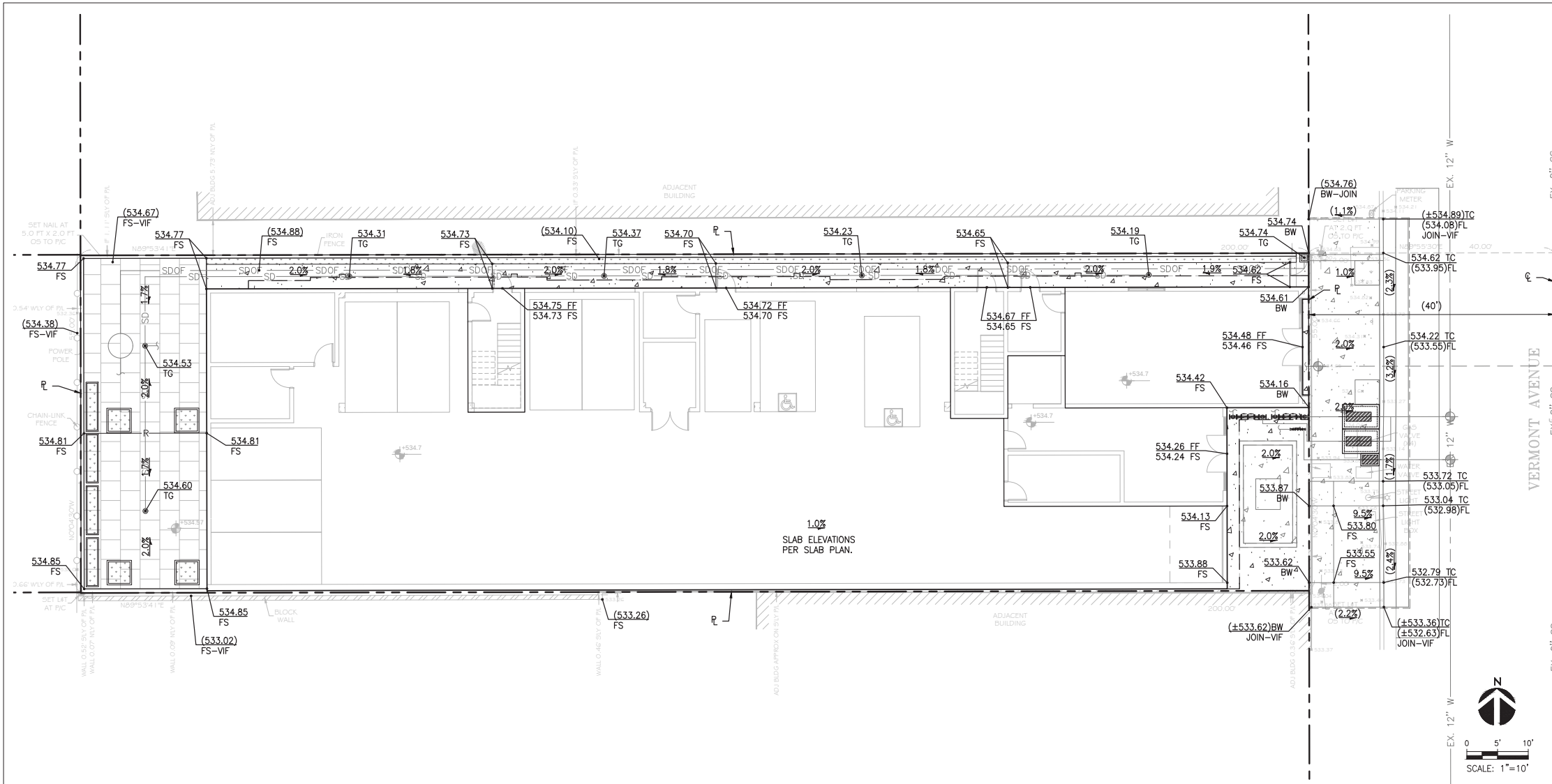
SHEET TITLE: ROUGH GRADING PLAN

SHEET NUMBER: C200

**EXHIBIT "A"**

Page No. 25 of 27

Case No. DIR-2025-1040-TOC-SPPC-HCA



LEGEND

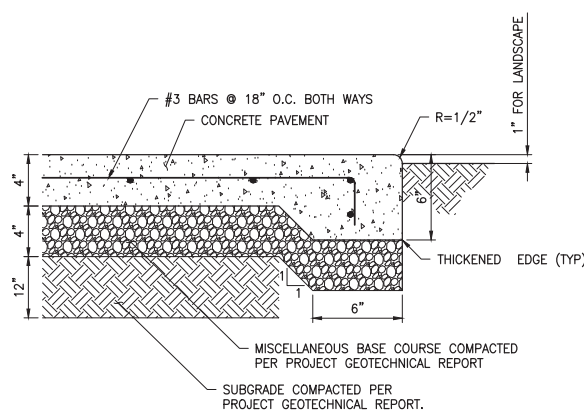
- LANDSCAPE AREA BY OTHERS
- SITE CONCRETE
- OFFSITE CONCRETE OR PER OTHERS
- VEHICULAR CONCRETE PAVEMENT
- PAVERS BY OTHERS
- RETAINING WALL
- PROPERTY LINE
- GRADE BREAK
- RIDGE LINE
- FLOW LINE
- CATCH BASIN
- AREA DRAIN

CONSTRUCTION NOTES

- G1 INSTALL CONCRETE WALKWAY PAVING PER DETAIL 1, HEREON.
- G2 INSTALL RETAINING WALL. DETAILS AND SPECIFICATIONS BY OTHERS.
- G3 INSTALL VEHICULAR CONCRETE PAVING PER DETAIL 2, HEREON.

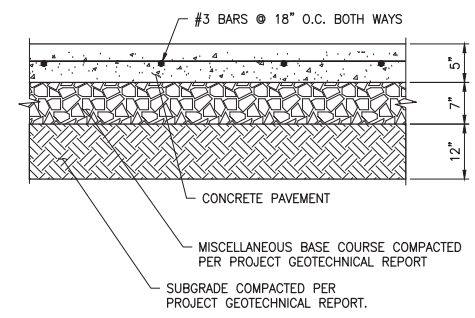
NOTES

- 1. SEE SLAB PLAN FOR SLAB SLOPES AND ELEVATIONS. SLAB ELEVATIONS AND SLOPES NOTED FOR REFERENCE ONLY HEREON.
- 2. REMOVAL AND RECOMPACTION SHALL BE PERFORMED TO THE RECOMMENDATIONS NOTED IN THE PROJECT GEOTECHNICAL REPORT.
- 3. SEE STRUCTURAL PLANS FOR RETAINING WALL DETAILS.



- NOTES:
- 1. ALL TREAD SURFACES SHALL BE SLIP-RESISTANT.
  - 2. REFER TO ARCHITECTURAL DRAWINGS FOR COLOR, PATTERN, TEXTURE, AND FINISH.
  - 3. SEE PLAN FOR LOCATION OF CONTROL JOINTS.

1 PEDESTRIAN CONCRETE PAVING DETAIL  
C210 N.T.S.



- NOTES:
- 1. PAVEMENT SECTIONS ARE BASED ON RECOMMENDATIONS FROM THE PROJECT GEOTECHNICAL REPORT.
  - 2. REFER TO ARCHITECTURAL PLANS FOR CONCRETE COLOR, PATTERN, TEXTURE, AND FINISH.
  - 3. THICKNESS AND DEPTH PER PROJECT GEOTECHNICAL REPORT.

2 VEHICULAR CONCRETE PAVING DETAIL  
C210 N.T.S.

EXHIBIT "A"  
Page No. 26 of 27  
Case No. DIR-2025-1040-TOC-SPPC-HCA



2239 STATE AVE, #B  
COSTA MESA, CA 92627  
T: 818 800 6991  
E: Kyle@pacificconsultinginc.com  
PCG JOB NO. 25116

VERMONT APARTMENTS

1767 N VERMONT AVE.  
LOS ANGELES, CA 90027



NOT FOR  
CONSTRUCTION

|                                   |
|-----------------------------------|
| REVISIONS:                        |
|                                   |
|                                   |
|                                   |
|                                   |
|                                   |
|                                   |
|                                   |
|                                   |
| JOB NO.: 25116                    |
| DATE:                             |
| SCALE: AS NOTED                   |
| SHEET TITLE: PRECISE GRADING PLAN |
| SHEET NUMBER: C210                |

**Case No.** DIR-2025-1040-TOC-SPPC-H