

BALDWIN HILLS

4005 CRENSHAW BLVD.
LOS ANGELES, CA 90008

NEW 8 STORY MIXED USE APARTMENT WITH GROUND FLOOR RETAIL
AND SUBTERRANEAN PARKING.

VICINITY MAP



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SITE PLAN REVIEW

AC MARTIN

PHASE 1 OF THE BALDWIN HILLS CRENSHAW PLAZA PROJECT

HAAS BHCP Property Owner, LLC

COVER SHEET

1875 Century Park East, Suite 1130, Los Angeles, CA 90067
PLANS STAMPED 02/22/2024 BY P.CAPORASO
project no | 2107034

G-000

PARKING SUMMARY			OPEN SPACE REQUIRED					FLOOR AREA			PROJECT DESCRIPTION																																																																							
<div>THIS SITE HAS NO MINIMUM PARKING REQUIRMENTS PURSUANT TO AB 2097</div> <div>RETAIL PARKING - PROVIDED</div> <table><tr><td>LEVEL 1</td><td>RETAIL - (3,756 SF)</td><td>8</td></tr></table> TOTAL8 <div>GROCERY STORE PARKING - PROVIDED</div> <table><tr><td>LEVEL 1</td><td>GROCERY - (55,444 SF)</td><td>219</td></tr></table> TOTAL219 <div>RESIDENTIAL PARKING - PROVIDED</div> <table><tr><td>LEVEL P2</td><td>RESIDENTIAL</td><td>361</td></tr><tr><td>LEVEL P1</td><td>RESIDENTIAL</td><td>357</td></tr><tr><td>LEVEL 1</td><td>RESIDENTIAL</td><td>5</td></tr><tr><td>LEVEL 2</td><td>RESIDENTIAL</td><td>140</td></tr><tr><td>LEVEL 3</td><td>RESIDENTIAL</td><td>310</td></tr></table> TOTAL1173			LEVEL 1	RETAIL - (3,756 SF)	8	LEVEL 1	GROCERY - (55,444 SF)	219	LEVEL P2	RESIDENTIAL	361	LEVEL P1	RESIDENTIAL	357	LEVEL 1	RESIDENTIAL	5	LEVEL 2	RESIDENTIAL	140	LEVEL 3	RESIDENTIAL	310	TYPE	COUNT	HABIT ABLE ROOM	OPEN SPACE REQUIREMENT	REQUIRED OPEN SPACE	<div>*3:1 FAR AVERAGE ACROSS THE ENTIRE PROJECT SITE FOR APPROVED PROJECT</div> <div>THIS ALLOWS FOR A TOTAL OF 5,519,653 SF</div> <div>*PER LETTER OF DETERMINATION</div> <div>PROPOSED FLOOR AREA** (FAR)</div> <table><tr><th>LEVEL</th><th>NAME</th><th>FLOOR AREA</th></tr><tr><td colspan="3">GROCERY / RETAIL FLOOR AREA</td></tr><tr><td>LEVEL 1</td><td>RETAIL</td><td>3,756 SF</td></tr><tr><td>LEVEL 1</td><td>GROCERY</td><td>48,861 SF</td></tr><tr><td>LEVEL 3</td><td>GROCERY</td><td>6,583 SF</td></tr><tr><td colspan="2">TOTAL</td><td>59,200 SF</td></tr><tr><td colspan="3">RESIDENTIAL FLOOR AREA</td></tr><tr><td>LEVEL 1</td><td>RESIDENTIAL</td><td>17,237 SF</td></tr><tr><td>LEVEL 2</td><td>RESIDENTIAL</td><td>28,165 SF</td></tr><tr><td>LEVEL 3</td><td>RESIDENTIAL</td><td>30,014 SF</td></tr><tr><td>LEVEL 4 - PODIUM</td><td>RESIDENTIAL</td><td>111,427 SF</td></tr><tr><td>LEVEL 5</td><td>RESIDENTIAL</td><td>97,961 SF</td></tr><tr><td>LEVEL 6</td><td>RESIDENTIAL</td><td>110,669 SF</td></tr><tr><td>LEVEL 7</td><td>RESIDENTIAL</td><td>108,467 SF</td></tr><tr><td>LEVEL 8</td><td>RESIDENTIAL</td><td>102,982 SF</td></tr><tr><td colspan="2">TOTAL</td><td>606,922 SF</td></tr><tr><td colspan="2">GRAND TOTAL</td><td>666,122 SF</td></tr></table> <div>**MEASUREMENT PER LAMC 12.03 The area in square feet confined within the exterior walls of a Building, but not including the area of the following: exterior walls, stairways, shafts, rooms housing Building-operating equipment or machinery, parking areas with associated driveways and ramps, space dedicated to bicycle parking, space for the landing and storage of helicopters, and Basement storage areas.</div>			LEVEL	NAME	FLOOR AREA	GROCERY / RETAIL FLOOR AREA			LEVEL 1	RETAIL	3,756 SF	LEVEL 1	GROCERY	48,861 SF	LEVEL 3	GROCERY	6,583 SF	TOTAL		59,200 SF	RESIDENTIAL FLOOR AREA			LEVEL 1	RESIDENTIAL	17,237 SF	LEVEL 2	RESIDENTIAL	28,165 SF	LEVEL 3	RESIDENTIAL	30,014 SF	LEVEL 4 - PODIUM	RESIDENTIAL	111,427 SF	LEVEL 5	RESIDENTIAL	97,961 SF	LEVEL 6	RESIDENTIAL	110,669 SF	LEVEL 7	RESIDENTIAL	108,467 SF	LEVEL 8	RESIDENTIAL	102,982 SF	TOTAL		606,922 SF	GRAND TOTAL		666,122 SF
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TOTAL		606,922 SF																																																																																
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RESI-STUDIO	181	1	100 SF	18,100 SF																																																																														
RESI-1B	171	2	100 SF	17,100 SF																																																																														
RESI-1B	144	2	100 SF	14,400 SF																																																																														
RESI-1B-LW	4	2	100 SF	400 SF																																																																														
RESI-2B	133	3		16,625 SF																																																																														
TOTAL		633		66,625 SF																																																																														
INTERIOR OPEN SPACE REQUIRED (25% MAX.)																																																																																		
16,656 SF																																																																																		
OPEN SPACE PROVIDED																																																																																		
EXTERIOR OPEN SPACE																																																																																		
LEVEL 4 - PODIUM		COURTYARD		39,663 SF																																																																														
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LEVEL 8		DECK		8,069 SF																																																																														
SUBTOTAL				57,109 SF																																																																														
INTERIOR OPEN SPACE																																																																																		
LEVEL 1		AMENITY		7,786 SF																																																																														
LEVEL 4 - PODIUM		AMENITY		10,723 SF																																																																														
LEVEL 8		AMENITY		1,926 SF																																																																														
SUBTOTAL				20,435 SF																																																																														
PRIVATE OPEN SPACE																																																																																		
LEVEL 4 - PODIUM		BALCONY		3,400 SF																																																																														
LEVEL 5		BALCONY		3,200 SF																																																																														
LEVEL 6		BALCONY		3,750 SF																																																																														
LEVEL 7		BALCONY		3,750 SF																																																																														
LEVEL 8		BALCONY		3,400 SF																																																																														
SUBTOTAL				17,500 SF																																																																														
TOTAL PROVIDED				96,044 SF																																																																														
TOTAL REQUIRED				66,950 SF																																																																														
TOTAL PROPOSED PARKING																																																																																		
LEVEL P2				357																																																																														
LEVEL P1				365																																																																														
LEVEL 1				232																																																																														
LEVEL 2				140																																																																														
LEVEL 3				309																																																																														
TOTAL				1403																																																																														

| 8 STORY BUILDING | | 5 LEVELS OF TYPE III-A WOOD FRAMED APARTMENTS OVER 3 LEVELS OF TYPE I-A CONCRETE WITH 2 LEVELS OF SUBTERRANEAN PARKING APPLICABLE CODES 2020 LOS ANGELES BUILDING CODE (LABC) 2020 LOS ANGELES GREEN BUILDING CODE 2019 CALIFORNIA TITLE 24 ENERGY REQUIREMENTS (T24) 2020 LOS ANGELES FIRE CODE 2020 LOS ANGELES MECHANICAL CODE (LAMC) 2020 LOS ANGELES PLUMBING CODE (LAPC) 2020 LOS ANGELES ELECTRICAL CODE (LAEC) ZONING INFORMATION ADDRESS 4005 CRENSHAW BLVD. LOS ANGELES, CA 90008 APN(S) (5032002055), 5032002056, 5032002057, 5032002058, 5032002059, 5032002060 LOT AREA | | | |--------------|------------| | ZONE | LOT AREA | | [T][Q] C2-2D | 222,276 SF | MAX. DENSITY | | | |--------------|-----------| | [T][Q] C2-2D | 961 UNITS | |--------------|-----------| MAX. HEIGHT PER CPC-2015-4398 CONDITION 4 89'-0" PROPOSED HEIGHT 89'-0" TO TOP OF PARAPET REQUIRED SETBACK | | | |-------|-------| | FRONT | 0'-0" | | SIDE | 0'-0" | | REAR | 0'-0" | PROPOSED SETBACK | | | |-------|--------| | FRONT | 0'-0" | | SIDE | 11'-0" | | REAR | 20'-0" | | | | | | | | | | |

LANDSCAPE CALCULATIONS			UNIT SUMMARY			REQUIRED BICYCLE PARKING						REQUIRED BICYCLE PARKING								
LANDSCAPE AREA - PROVIDED			<div>NOTE: S = STUDIO 1B = ONE BEDROOM 1B-LW = ONE BEDROOM LIVE-WORK 2B = TWO BEDROOM</div> <div>NET UNIT AREA CALCULATION METHOD:</div> <div>THE AREA CALCULATED FOR THE UNIT NET SQUARE FOOTAGE IS MEASURED TO:</div> <div>- THE CENTERLINE OF THE DEMISING WALL. - THE OUTSIDE FACE OF EXTERIOR FINISH. - THE OUTSIDE EDGE OF EXTERIOR BALCONIES. - THE CORRIDOR/STAIR/SHAFT FACE OF FINISH.</div>			RESIDENTIAL BICYCLE PARKING REQUIRED						GROCERY & RETAIL BICYCLE PARKING REQUIRED								
LEVEL 1		14,019 SF				DWELLING UNITS	SHORT TERM	LONG TERM	UNIT COUNT	(ST) REQ.	(LT) REQ.	USE	SHORT TERM	LONG TERM	SF	(ST) REQ.	(LT) REQ.			
LEVEL 4 - PODIUM		16,671 SF				01-25	1 /10 DU	1 /1 DU	25	2.5	25	RETAIL	1 /2000 SF	1 /2000 SF	3,756	1.878	1.878			
LEVEL 8		3,353 SF				26-100	1 /15 DU	1 /1.5 DU	75	5	50	GROCERY	1 /2000 SF	1 /2000 SF	2,333	1.167	1.167			
TOTAL						34,043 SF			101-200	1 /20 DU	1 /2 DU	100	5	50	GROCERY	1 /2000 SF	1 /2000 SF	6,583	3.292	3.292
EXTERIOR COMMON OPEN SPACE - PROVIDED									200+	1 40 DU	1 /4 DU	433	10.83	108.3	GROCERY	1 /2000 SF	1 /2000 SF	48,861	24.43	24.43
LEVEL 4 - PODIUM		39,663 SF							633	23.33	233.3				61,533	30.77	30.77			
LEVEL 4 - DECK		9,377 SF				TOTAL			633	23	233	TOTAL			61,533	31	31			
LEVEL 8		8,069 SF				RESIDENTIAL BICYCLE PARKING PROVIDED						GROCERY & RETAIL BICYCLE PARKING PROVIDED								
TOTAL						57,109 SF			BICYCLE - LONG TERM						BICYCLE - LONG TERM					
LANDSCAPE REQUIRED (25%)				UNIT COUNT		NET RENTABLE SQ.FT.		LEVEL P1		RESIDENTIAL		74		LEVEL 1		GROCERY		27		
LEVEL 4 - PODIUM		39,663 SF x 25% = 9,916 SF		1272		976,664 SF		LEVEL 2		RESIDENTIAL		161		LEVEL 1		RETAIL		5		
LEVEL 4 - DECK		9,377 SF x 25% = 2,344 SF								235						32				
LEVEL 8		8,069 SF x 25% = 2,017 SF						BICYCLE - SHORT TERM						LEVEL 1		GROCERY		30		
TOTAL			14,277 SF					LEVEL 1		RESIDENTIAL		26		LEVEL 1		RETAIL		2		
LANDSCAPE PROPOSED				TOTAL		100%		633				26						32		
LEVEL 4 - PODIUM		12,952 SF		BUILDING A =		347 UNITS		TOTAL		TOTAL		261		TOTAL		64				
LEVEL 4 - DECK		3,719 SF		BUILDING B =		286 UNITS														
LEVEL 8		3,353 SF		TOTAL =		633 UNITS														
TOTAL			20,024 SF			UNIT TYPE		AVERAGE NET SQ.FT.												
**REFER TO LANDSCAPE DRAWINGS					STUDIO		522 SF													
					1B		759 SF													
					1B-LW		548 SF													
					2B		1,091 SF													
			EXISTING UNITS = 0																	
			UNITS TO BE DEMOLISHED = 0																	

CONSTRUCTION GROSS AREA				
	BUILDING A		BUILDING B	
	BOH		BOH	
	LEVEL P2	6,456 SF	LEVEL 4 - PODIUM	5,419 SF
	LEVEL P1	4,962 SF	LEVEL 8	9,425 SF
	LEVEL 1	1,868 SF	14,844 SF	
	LEVEL 2	1,447 SF	TRUCK BAY	
	LEVEL 3	883 SF	LEVEL 1	2,701 SF
	LEVEL 7	2,109 SF	2,701 SF	
	17,725 SF		TOTAL	676,199 SF
	COURTYARD		COURTYARD	
	LEVEL 4 - PODIUM	24,278 SF	LEVEL 4 - PODIUM	25,662 SF
	24,278 SF		25,662 SF	
	GROCERY LOADING		PARKING RESIDENTIAL	
	LEVEL 1	2,333 SF	LEVEL P2	84,455 SF
	2,333 SF		LEVEL P1	82,078 SF
	GROCERY STORE		LEVEL 2	52,456 SF
	LEVEL 1	48,861 SF	LEVEL 3	49,817 SF
	LEVEL 3	6,583 SF	268,806 SF	
	55,444 SF		PARKING RETAIL	
	PARKING RESIDENTIAL		LEVEL 1	64,459 SF
	LEVEL P2	67,172 SF	64,459 SF	
	LEVEL P1	77,970 SF	RESIDENTIAL	
	LEVEL 2	17,714 SF	LEVEL 1	14,750 SF
	LEVEL 3	69,260 SF	LEVEL 2	23,596 SF
	232,116 SF		LEVEL 3	25,394 SF
	PARKING RETAIL		LEVEL 4 - PODIUM	50,676 SF
	LEVEL 1	24,935 SF	LEVEL 5	42,678 SF
	24,935 SF		LEVEL 6	49,217 SF
	RESIDENTIAL		LEVEL 7	49,217 SF
	LEVEL 1	2,487 SF	LEVEL 8	49,571 SF
	LEVEL 2	4,569 SF	305,099 SF	
	LEVEL 3	4,619 SF	RESIDENTIAL COMMON	
	LEVEL 4 - PODIUM	60,751 SF	LEVEL 4 - PODIUM	5,380 SF
	LEVEL 5	55,283 SF	LEVEL 8	543 SF
	LEVEL 6	61,452 SF	5,923 SF	
	LEVEL 7	59,250 SF	RETAIL	
	LEVEL 8	53,412 SF	LEVEL 1	3,756 SF
	301,823 SF		3,756 SF	
			TOTAL	692,180 SF

ITEMS CORRESPONDING TO SCHEDULE B-II

TITLE COMMITMENT NO. 00113026-001-TG3-KD

- Water rights, claims or title to water, whether or not disclosed by the public records.
NO DOCUMENT PROVIDED, NOT PLOTTABLE
- An agreement to keep on property during such times as an over-sized building shall remain thereon a yard of 31 feet 3 inches in width, unobstructed from ground to sky, as shown on plan attached to said agreement, upon the terms and provisions therein provided, executed by Broadway Hale Stores, Inc., recorded October 21, 1964 as Instrument No. 3881 in Book 48699 Page 252, Official Records.

Affects: Lots 1, 14, 17 and 18
THIS ITEM IS PLOTTED AND SHOWN HEREON ON LOT 1.

- The Land described herein is included within a project area of the Redevelopment Agency shown below, and that proceedings for the redevelopment of said project have been instituted under the Redevelopment Law (such redevelopment to proceed only after the adoption of the Redevelopment Plan) as disclosed by a document.

Redevelopment Agency: Crenshaw Redevelopment Project
Recording Date: May 14, 1984
Recording No: 84-576981, of Official Records

As affected by the following instruments:

Recording Date: December 22, 1994
Recording No: 94-2258979, of Official Records
Recording Date: December 28, 1994
Recording No: 94-2276776, of Official Records

Recording Date: November 30, 2007
Recording No: 2007-263847 and 2007-2636418, both of Official Records

- THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.**
- Terms, covenants and conditions, together with easements for the purpose(s) shown below and rights incidental thereto as set forth in a document:

Easement purpose: Ingress and egress to and from Martin Luther King, Jr. Boulevard and Marlon Avenue, vehicular and pedestrian access and passage, utilities and facilities, existing utilities and facilities, and repair, maintenance, restoration, installation, removal, addition and operation of improvements and facilities and existing utility facilities
Executed by: The May Department Stores Company, May Centers Inc., The Community Redevelopment Agency of the City of Los Angeles California, and Baldwin Hills Associates

Recording Date: May 2, 1987
Recording No: 87-1059735, of Official Records
THIS ITEM IS PLOTTED AND SHOWN HEREON ON PARCEL 1, LOT 19. LOTS 17 AND 18 OF MB 1181-82 ARE THE BENEFITTING PARCELS FOR THIS EASEMENT.

- Intentionally omitted.
- Intentionally omitted.
- Intentionally omitted.

- The provisions of Paragraphs 5A, 5B, and 7 through 15 of that certain Deed, recorded July 2, 1987 as Instrument No. 87-1059736 of Official Records.

Affects: Lots 19, 20 and 21.
THIS ITEM IS PLOTTED AND SHOWN HEREON ON LOTS 21 AND 22.

- The terms, provisions and easement(s) contained in the document entitled "Construction, Operation and Reciprocal Easement Agreement" recorded July 2, 1987 as Instrument No. 87-1059742, of Official Records.

Document re-recorded August 26, 1987 as Instrument No. 87-1392742 of Official Records.

Document(s) declaring modifications thereof recorded March 23, 1995 as Instrument No. 95- 420364 of Official Records.

Document(s) declaring second modifications thereof recorded June 13, 2011 as Instrument No. 2011-804733 of Official Records.

As affected by that certain Assignment and Assumption of REA, recorded June 14, 2018 as Instrument No. 2018-059106 of Official Records.
THIS ITEM IS BLANKET IN NATURE OVER THE SURVEYED PROPERTY.

- Matters contained in that certain document

Entitled: Covenant and Agreement
Recording Date: July 2, 1987
Recording No: 87-1059744, of Official Records

Reference is hereby made to said document for full particulars.

- Matters contained in that certain document

Entitled: Covenant and Agreement
Recording Date: July 2, 1987
Recording No: 87-1059746, of Official Records

Reference is hereby made to said document for full particulars.

Affects: Lot 16

- THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.**
- Matters contained in that certain document

Entitled: Covenant and Agreement
Recording Date: July 2, 1987
Recording No: 87-1059747, of Official Records

Reference is hereby made to said document for full particulars.

Affects: Lot 16

- THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.**
- Matters contained in that certain document

Entitled: Covenant and Agreement
Recording Date: July 22, 1987
Recording No: 87-1165017, of Official Records

Reference is hereby made to said document for full particulars.

Affects: Lots 15 and 16

- THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.**
- Matters contained in that certain document

Entitled: General Covenant and Agreement
Recording Date: September 8, 1987
Recording No: 87-1442683, of Official Records

Reference is hereby made to said document for full particulars.

- THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.**
- Matters contained in that certain document

Entitled: Covenant and Agreement
Recording Date: December 7, 1987
Recording No: 87-1935520, of Official Records

Reference is hereby made to said document for full particulars.

Affects: Lot 16

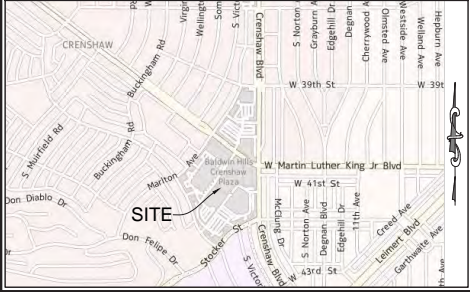
- THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.**

SEE PAGE 2.

FLOOD NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONES X (SHADED & UNSHADED) & AE OF THE FLOOD INSURANCE RATE MAP, NUMBER 0803701614G, WHICH BEARS AN EFFECTIVE DATE OF DECEMBER 21, 2015 AND IS PARTIALLY IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON THE FEMA WEBSITE (HTTP://MSC.FEMA.GOV), BY FIRMETTE CREATED ON APRIL 28, 2021. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.

VICINITY MAP - NOT TO SCALE



ZONING INFORMATION

THE SURVEYED PROPERTY IS ZONED (T)OIG-2D TENTATIVE. QUALIFICATIONS, COMMERCIAL DISTRICT WITHIN THE HEIGHT DISTRICT 2 WITH DEVELOPMENT LIMITATIONS AND LOCATED WITHIN THE WEST ADAMS - BALDWIN HILLS / LEMERT COMMUNITY PLAN

SETBACKS:
FRONT: NONE REQUIRED
SIDE/REAR: NONE REQUIRED FOR BUILDINGS ERCTED AND USED EXCLUSIVELY FOR COMMERCIAL PURPOSES.

HEIGHT RESTRICTIONS: PER CASE NO. CPC-2015-4398-GPA-ZCHD-ZAD-CU: 135 FEET

BUILDING DENSITY FORMULA: PER CASE NO. CPC-2015-4398-GPA-ZCHD- ZAD-CU:
MAXIMUM FLOOR AREA RATIO: 3:1 ACROSS THE ENTIRE SITE.
EXISTING: (1,160,054 / 1,873,080) = 0.621

REQUIRED PARKING: 2,320 TOTAL PARKING SPACES

THE ZONING INFORMATION SHOWN ABOVE WAS PROVIDED BY THE PLANNING & ZONING RESOURCE COMPANY, PDR SITE NO. 148290-1, REPORT DATED 08/20/2021 PURSUANT TO TABLE A ITEM 6a & 6b.

RECORD DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

LOTS 1 THROUGH 5, 7 THROUGH 11, 16 AND 19 THROUGH 23 ALL INCLUSIVE, OF TRACT NO. 48482, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1181 PAGES 82 TO 86 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM THE UNDIVIDED 1/2 INTEREST IN AND TO ALL OIL, GAS OR OTHER HYDROCARBONS AND MINERALS BELOW A DEPTH OF 500 FEET FROM THE SURFACE, BUT WITHOUT RIGHT OF SURFACE ENTRY FOR EXPLORATION FOR SUCH MINERALS, AS RESERVED BY BALDWIN M. BALDWIN, IN DEED RECORDED AUGUST 22, 1967 AS INSTRUMENT NO. 3246 OF OFFICIAL RECORDS.

ALSO EXCEPT THEREFROM ALL OIL, GAS AND MINERAL SUBSTANCES, TOGETHER WITH THE RIGHT TO EXPLORE FOR AND EXTRACT SUCH SUBSTANCES, PROVIDED THAT THE SURFACE OPENING OF ANY WELL, HOLE, SHAFT, OR OTHER MEANS OF EXPLORING FOR, REACHING OR EXTRACTING SUCH SUBSTANCES SHALL NOT BE LOCATED WITHIN THE CRENSHAW REDEVELOPMENT PROJECT AND SHALL NOT PENETRATE ANY PART OR PORTION OF SAID PROJECT AREA WITHIN 500 FEET OF THE SURFACE THEREOF, RECORDED MAY 14, 1984 AS INSTRUMENT NO. 84-576981 OF OFFICIAL RECORDS.

PARCEL 2:

LOTS 6, 12 AND 13 OF TRACT NO. 48482, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1181 PAGES 82 THROUGH 86 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THAT PORTION OF SAID LAND DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST EASTERLY CORNER OF SAID LOT 13, SAID CORNER BEING ON THE SOUTHWESTERLY LINE OF MARTIN LUTHER KING JR. BOULEVARD, WIDTH VARIES, AS SHOWN ON SAID MAP; THENCE NORTH 52° 56' 03" WEST 94.33 FEET ALONG THE NORTHEASTERLY LINE OF SAID LOT 13 TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 37° 03' 57" WEST 91.83 FEET; THENCE SOUTH 52° 56' 03" EAST 8.00 FEET; THENCE SOUTH 37° 03' 57" WEST 5.67 FEET; THENCE NORTH 52° 56' 03" WEST 145.00 FEET; THENCE SOUTH 37° 03' 57" WEST 5.67 FEET; THENCE NORTH 52° 56' 03" WEST 14.67 FEET; THENCE NORTH 52° 56' 03" WEST 85.34 FEET; THENCE NORTH 37° 03' 57" EAST 142.33 FEET; THENCE SOUTH 52° 56' 03" EAST 4.67 FEET; THENCE NORTH 37° 03' 57" EAST 42.00 FEET; THENCE SOUTH 52° 56' 03" EAST 57.67 FEET; THENCE SOUTH 37° 03' 57" WEST 13.33 FEET; THENCE SOUTH 52° 56' 03" EAST 95.00 FEET; THENCE NORTH 37° 03' 57" EAST 8.00 FEET; THENCE SOUTH 52° 56' 03" EAST 57.67 FEET; THENCE SOUTH 37° 03' 57" WEST 8.00 FEET; THENCE SOUTH 52° 56' 03" EAST 125.00 FEET; THENCE NORTH 37° 03' 57" EAST 27.83 FEET TO SAID NORTHEASTERLY LINE OF SAID LOT 13; THENCE SOUTH 52° 56' 03" EAST 20.00 FEET ALONG SAID NORTHEASTERLY LINE TO THE TRUE POINT OF BEGINNING.

ALSO EXCEPT THAT PORTION OF SAID LAND DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST EASTERLY CORNER OF SAID LOT 13, SAID CORNER BEING ON THE SOUTHWESTERLY LINE OF MARTIN LUTHER KING JR. BOULEVARD, WIDTH VARIES, AS SHOWN ON SAID MAP; THENCE NORTH 52° 56' 03" WEST 94.33 FEET ALONG THE NORTHEASTERLY LINE OF SAID LOT 13 TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 37° 03' 57" WEST 91.83 FEET; THENCE SOUTH 52° 56' 03" EAST 8.00 FEET; THENCE SOUTH 37° 03' 57" WEST 5.67 FEET; THENCE NORTH 52° 56' 03" WEST 145.00 FEET; THENCE SOUTH 37° 03' 57" WEST 5.67 FEET; THENCE NORTH 52° 56' 03" WEST 14.67 FEET; THENCE NORTH 52° 56' 03" WEST 85.34 FEET; THENCE NORTH 37° 03' 57" EAST 142.33 FEET; THENCE SOUTH 52° 56' 03" EAST 4.67 FEET; THENCE NORTH 37° 03' 57" EAST 42.00 FEET; THENCE SOUTH 52° 56' 03" EAST 57.67 FEET; THENCE SOUTH 37° 03' 57" WEST 13.33 FEET; THENCE SOUTH 52° 56' 03" EAST 95.00 FEET; THENCE NORTH 37° 03' 57" EAST 8.00 FEET; THENCE SOUTH 52° 56' 03" EAST 57.67 FEET; THENCE SOUTH 37° 03' 57" WEST 8.00 FEET; THENCE SOUTH 52° 56' 03" EAST 125.00 FEET; THENCE NORTH 37° 03' 57" EAST 27.83 FEET TO SAID NORTHEASTERLY LINE OF SAID LOT 13; THENCE SOUTH 52° 56' 03" EAST 20.00 FEET ALONG SAID NORTHEASTERLY LINE TO THE TRUE POINT OF BEGINNING.

ALSO EXCEPT THEREFROM THE UNDIVIDED 1/2 INTEREST IN AND TO ALL OIL, GAS OR OTHER HYDROCARBONS AND MINERALS BELOW A DEPTH OF 500 FEET FROM THE SURFACE, BUT WITHOUT RIGHT OF SURFACE ENTRY FOR EXPLORATION FOR SUCH MINERALS, AS RESERVED BY BALDWIN M. BALDWIN, IN DEED RECORDED AUGUST 22, 1967 AS INSTRUMENT NO. 3246 OF OFFICIAL RECORDS.

ALSO EXCEPT THEREFROM ALL OIL, GAS AND MINERAL SUBSTANCES, TOGETHER WITH THE RIGHT TO EXPLORE FOR AND EXTRACT SUCH SUBSTANCES, PROVIDED THAT THE SURFACE OPENING OF ANY WELL, HOLE, SHAFT, OR OTHER MEANS OF EXPLORING FOR, REACHING OR EXTRACTING SUCH SUBSTANCES SHALL NOT BE LOCATED WITHIN THE CRENSHAW REDEVELOPMENT PROJECT AND SHALL NOT PENETRATE ANY PART OR PORTION OF SAID PROJECT AREA WITHIN 500 FEET OF THE SURFACE THEREOF, RECORDED MAY 14, 1984 AS INSTRUMENT NO. 84-576981 OF OFFICIAL RECORDS.

PARCEL 3:

THAT PORTION OF LOT 13 OF TRACT NO. 48482, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1181 PAGES 82 THROUGH 86 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST EASTERLY CORNER OF SAID LOT 13, SAID CORNER BEING ON THE SOUTHWESTERLY LINE OF MARTIN LUTHER KING JR. BOULEVARD, WIDTH VARIES, AS SHOWN ON SAID MAP; THENCE NORTH 52° 56' 03" WEST 94.33 FEET ALONG THE NORTHEASTERLY LINE OF SAID LOT 13 TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 37° 03' 57" WEST 91.83 FEET; THENCE SOUTH 52° 56' 03" EAST 8.00 FEET; THENCE SOUTH 37° 03' 57" WEST 5.67 FEET; THENCE NORTH 52° 56' 03" WEST 145.00 FEET; THENCE SOUTH 37° 03' 57" WEST 5.67 FEET; THENCE NORTH 52° 56' 03" WEST 14.67 FEET; THENCE NORTH 52° 56' 03" WEST 85.34 FEET; THENCE NORTH 37° 03' 57" EAST 142.33 FEET; THENCE SOUTH 52° 56' 03" EAST 4.67 FEET; THENCE NORTH 37° 03' 57" EAST 42.00 FEET; THENCE SOUTH 52° 56' 03" EAST 57.67 FEET; THENCE SOUTH 37° 03' 57" WEST 13.33 FEET; THENCE SOUTH 52° 56' 03" EAST 95.00 FEET; THENCE NORTH 37° 03' 57" EAST 8.00 FEET; THENCE SOUTH 52° 56' 03" EAST 57.67 FEET; THENCE SOUTH 37° 03' 57" WEST 8.00 FEET; THENCE SOUTH 52° 56' 03" EAST 125.00 FEET; THENCE NORTH 37° 03' 57" EAST 27.83 FEET TO SAID NORTHEASTERLY LINE OF SAID LOT 13; THENCE SOUTH 52° 56' 03" WEST 20.00 FEET ALONG SAID NORTHEASTERLY LINE TO THE TRUE POINT OF BEGINNING.

EXCEPT THEREFROM THE UNDIVIDED 1/2 INTEREST IN AND TO ALL OIL, GAS OR OTHER HYDROCARBONS AND MINERALS BELOW A DEPTH OF 500 FEET FROM THE SURFACE, BUT WITHOUT RIGHT OF SURFACE ENTRY FOR EXPLORATION FOR SUCH MINERALS, AS RESERVED BY BALDWIN M. BALDWIN, IN DEED RECORDED AUGUST 22, 1967 AS INSTRUMENT NO. 3246 OF OFFICIAL RECORDS.

ALSO EXCEPT THEREFROM ALL OIL, GAS AND MINERAL SUBSTANCES, TOGETHER WITH THE RIGHT TO EXPLORE FOR AND EXTRACT SUCH SUBSTANCES, PROVIDED THAT THE SURFACE OPENING OF ANY WELL, HOLE, SHAFT, OR OTHER MEANS OF EXPLORING FOR, REACHING OR EXTRACTING SUCH SUBSTANCES SHALL NOT BE LOCATED WITHIN THE CRENSHAW REDEVELOPMENT PROJECT AND SHALL NOT PENETRATE ANY PART OR PORTION OF SAID PROJECT AREA WITHIN 500 FEET OF THE SURFACE THEREOF, RECORDED MAY 14, 1984 AS INSTRUMENT NO. 84-576981 OF OFFICIAL RECORDS.

PARCEL 4:

THAT PORTION OF LOTS 12 AND 13 OF TRACT NO. 48482, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1181 PAGES 82 THROUGH 86 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST EASTERLY CORNER OF SAID LOT 13, SAID CORNER BEING ON THE SOUTHWESTERLY LINE OF MARTIN LUTHER KING JR. BOULEVARD, WIDTH VARIES, AS SHOWN ON SAID MAP; THENCE NORTH 52° 56' 03" WEST 94.33 FEET ALONG THE NORTHEASTERLY LINE OF SAID LOT 13 TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 37° 03' 57" WEST 91.83 FEET; THENCE SOUTH 52° 56' 03" EAST 8.00 FEET; THENCE SOUTH 37° 03' 57" WEST 5.67 FEET; THENCE NORTH 52° 56' 03" WEST 145.00 FEET; THENCE SOUTH 37° 03' 57" WEST 5.67 FEET; THENCE NORTH 52° 56' 03" WEST 14.67 FEET; THENCE NORTH 52° 56' 03" WEST 85.34 FEET; THENCE NORTH 37° 03' 57" EAST 142.33 FEET; THENCE SOUTH 52° 56' 03" EAST 4.67 FEET; THENCE NORTH 37° 03' 57" EAST 42.00 FEET; THENCE SOUTH 52° 56' 03" EAST 57.67 FEET; THENCE SOUTH 37° 03' 57" WEST 13.33 FEET; THENCE SOUTH 52° 56' 03" EAST 95.00 FEET; THENCE NORTH 37° 03' 57" EAST 8.00 FEET; THENCE SOUTH 52° 56' 03" EAST 57.67 FEET; THENCE SOUTH 37° 03' 57" WEST 8.00 FEET; THENCE SOUTH 52° 56' 03" EAST 125.00 FEET; THENCE NORTH 37° 03' 57" EAST 27.83 FEET TO SAID NORTHEASTERLY LINE OF SAID LOT 13; THENCE SOUTH 52° 56' 03" EAST 20.00 FEET ALONG SAID NORTHEASTERLY LINE TO THE TRUE POINT OF BEGINNING.

EXCEPT THEREFROM THE UNDIVIDED 1/2% INTEREST IN AND TO ALL OIL, GAS OR OTHER HYDROCARBONS AND MINERALS BELOW A DEPTH OF 500 FEET FROM THE SURFACE, BUT WITHOUT RIGHT OF SURFACE ENTRY FOR EXPLORATION FOR SUCH MINERALS, AS RESERVED BY BALDWIN M. BALDWIN, IN DEED RECORDED AUGUST 22, 1967 AS INSTRUMENT NO. 3246 OF OFFICIAL RECORDS.

(CONTINUED UPPER RIGHT)

LEGAL

THIS SURVEY WAS PREPARED FOR THE PURPOSE OF THIS REAL ESTATE TRANSACTION ONLY AND NO FURTHER PARTIES OTHER THAN THOSE CERTIFIED ABOVE SHALL RELY ON IT FOR ANY OTHER PURPOSE OR TRANSACTION

RECORD DESCRIPTION

ALSO EXCEPT THEREFROM ALL OIL, GAS AND MINERAL SUBSTANCES, TOGETHER WITH THE RIGHT TO EXPLORE FOR AND EXTRACT SUCH SUBSTANCES, PROVIDED THAT THE SURFACE OPENING OF ANY WELL, HOLE, SHAFT, OR OTHER MEANS OF EXPLORING FOR, REACHING OR EXTRACTING SUCH SUBSTANCES SHALL NOT BE LOCATED WITHIN THE CRENSHAW REDEVELOPMENT PROJECT AND SHALL NOT PENETRATE ANY PART OR PORTION OF SAID PROJECT AREA WITHIN 500 FEET OF THE SURFACE THEREOF, RECORDED MAY 14, 1984 AS INSTRUMENT NO. 84-576981 OF OFFICIAL RECORDS.

PARCEL 5:

LOT 16 OF TRACT NO. 48482, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1181 PAGES 82 TO 86 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM THE UNDIVIDED 1/2 INTEREST IN AND TO ALL OIL, GAS OR OTHER HYDROCARBONS AND MINERALS BELOW A DEPTH OF 500 FEET FROM THE SURFACE, BUT WITHOUT RIGHT OF SURFACE ENTRY FOR EXPLORATION, FOR SUCH MINERALS, AS RESERVED BY BALDWIN M. BALDWIN, IN DEED RECORDED AUGUST 22, 1967 AS INSTRUMENT NO. 3246 OF OFFICIAL RECORDS.

ALSO EXCEPT THEREFROM ALL OIL, GAS AND MINERAL SUBSTANCES, TOGETHER WITH THE RIGHT TO EXPLORE FOR AND EXTRACT SUCH SUBSTANCES, PROVIDED THAT THE SURFACE OPENING OF ANY WELL, HOLE, SHAFT, OR OTHER MEANS OF EXPLORING FOR, REACHING OR EXTRACTING SUCH SUBSTANCES SHALL NOT BE LOCATED WITHIN THE CRENSHAW REDEVELOPMENT PROJECT AND SHALL NOT PENETRATE ANY PART OR PORTION OF SAID PROJECT AREA WITHIN 500 FEET OF THE SURFACE THEREOF, RECORDED MAY 14, 1984 AS INSTRUMENT NO. 84-576981 OF OFFICIAL RECORDS.

PARCEL 6:

LOT 14 OF TRACT NO. 48482, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1181 PAGES 82 TO 86 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM THE UNDIVIDED 1/2 INTEREST IN AND TO ALL OIL, GAS OR OTHER HYDROCARBONS AND MINERALS BELOW A DEPTH OF 500 FEET FROM THE SURFACE, BUT WITHOUT RIGHT OF SURFACE ENTRY FOR EXPLORATION FOR SUCH MINERALS, AS RESERVED BY BALDWIN M. BALDWIN, IN DEED RECORDED AUGUST 22, 1967 AS INSTRUMENT NO. 3246 OF OFFICIAL RECORDS.

PARCEL 7: (INTENTIONALLY OMITTED)

NON-EXCLUSIVE EASEMENTS FOR INGRESS AND EGRESS, THE PASSAGE AND PARKING OF VEHICLES AND THE PASSAGE OF PEDESTRIANS, AS CONTAINED IN THAT CERTAIN AGREEMENT DATED AS OF JANUARY 7, 1991 BY AND BETWEEN BALDWIN HILLS ASSOCIATES AND ISLAND PROPERTIES, RECORDED AUGUST 21, 1991 AS INSTRUMENT NO. 91-1314269, OF OFFICIAL RECORDS.

PARCEL 9:

LOT 17 AND 18 OF TRACT NO. 48482, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1181 PAGES 82 TO 86 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 5032-002-040, 041, 043, 045 through 049, 052 through 061, and 063 through 066.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NO. 00113026-001-TG3-KD, DATED JULY 09, 2021

SIGNIFICANT OBSERVATIONS

- THE BUILDING RESIDES OVER THE RIGHT OF WAY LINE UP TO 0.7%.
- SIGNIFICANT IMPROVEMENTS ALONG THE WESTERLY SIDE OF CRENSHAW BOULEVARD RESIDE WITHIN THE RIGHT OF WAY. EXCEPTION 28 REFERENCES AN UNRECORDED DOCUMENT, WHICH WAS NOT PROVIDED.
- THE BUILDING ON PARCEL 1 LOT 22 RESIDES OVER THE EASEMENT RESERVED IN SCHEDULE B II ITEM NO. 25 UP TO 3.7%.
- THE BUILDING ON PARCEL 5 LOT 16 RESIDES OVER THE EASEMENT RESERVED IN SCHEDULE B II ITEM NO. 25 UP TO 3.4%.
- THE BUILDING ON PARCEL 1 LOT 2 RESIDES OVER THE EASEMENT RESERVED IN SCHEDULE B II ITEM NO. 25 UP TO 17.6%.
- AN OVERHANG EXTENDS INTO THE PUBLIC RIGHT OF WAY UP TO 12.8%.
- THE BUILDING ON PARCEL 5 LOT 16 RESIDES OVER THE EASEMENT RESERVED IN SCHEDULE B II ITEM NO. 78 UP TO 3.4%.

MISCELLANEOUS NOTES

- SOME FEATURES SHOWN ON THIS PLAT MAY BE SHOWN OUT OF SCALE FOR CLARITY. ALL DIMENSIONS SHOWN ARE IN FEET AND DECIMALS THEREOF.
- BEARINGS SHOWN HEREON ARE BASED ON THE CENTER LINE OF 39TH STREET, LOS ANGELES COUNTY, CALIFORNIA, SHOWN ON MB 1118-82, HAVING A BEARING OF N88°59'45"E.
- AT THE TIME OF SURVEY, THERE WAS OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION, BUILDING ADDITIONS.
- AT THE TIME OF SURVEY, NO INFORMATION REGARDING CHANGES IN STREET RIGHT OF WAY LINES WAS MADE AVAILABLE TO THE SURVEYOR FROM THE CONTROLLING JURISDICTION, NOR WAS THERE OBSERVABLE EVIDENCE OF STREET OR SIDEWALK REPAIRS.
- AT THE TIME OF SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A BURIAL GROUND OR CEMETERY, NOR ANY SUBSTANTIAL AREAS OF REFUSE.
- SURVEYOR IS NOT LIABLE FOR UTILITIES OBSTRUCTED OR COVERED FROM VIEW. THE LOCATION OF UTILITIES SHOWN HEREON IS FROM OBSERVED SURFACE AND ABOVE GROUND APPURTENANCES IN ORDER TO DEPICT UNDERGROUND UTILITIES, IF POSSIBLE. UTILITY PLANS OR GROUND MARKINGS WERE NOT ABLE TO BE OBTAINED FOR THIS SURVEY.
- ONLY SURFACE AND ABOVE GROUND STRUCTURES WERE LOCATED. NO UNDERGROUND IMPROVEMENTS, SUCH AS FOUNDATION FOOTINGS, WERE LOCATED.
- THE SURVEYED PROPERTY CONTAINS A GROUND LEVEL AREA OF 41.957 ACRES (1,827,632 SQUARE FEET), MORE OR LESS AND AN ABOVE GROUND AREA (SKYBRIDGE) OF 0.666 ACRES (29,000 SQUARE FEET), MORE OR LESS.
- THE SURVEYED PROPERTY CREATES A MATHEMATICALLY CLOSED FIGURE, WITH NO GAPS, GORES, OVERLAPS OR HIATUS INHERENT TO THE SURVEYED PROPERTY BASED ON THE FIELD SURVEY PERFORMED AND THE TITLE COMMITMENTS PROVIDED. ALL PARCELS OF THE SURVEYED PROPERTY AS DESCRIBED HEREON ARE CONTIGUOUS.
- THERE ARE 3,024 STRIPED REGULAR PARKING SPACES AND 75 STRIPED HANDICAPPED PARKING SPACES FOR A TOTAL OF 3,099 STRIPED PARKING SPACES ON THE SURVEYED PROPERTY. THERE WERE ALSO SOME DOCK HEIGHT SPACES LOCATED ON THE SURVEYED PROPERTY.
- THE SUBJECT PROPERTY HAS DIRECT ACCESS TO AND FROM SANTA ROSALITA DRIVE, BEING A 80 FOOT WIDE DEDICATED AND ACCEPTED PUBLIC RIGHT OF WAY, TO AND FROM 38TH STREET, BEING A 64 FOOT WIDE DEDICATED AND ACCEPTED PUBLIC RIGHT OF WAY, AND TO AND FROM MARTIN LUTHER KING BOULEVARD, CRENSHAW BOULEVARD, MARLTON AVENUE, & STOCKER STREET, BEING VARIABLE WIDTH DEDICATED AND ACCEPTED PUBLIC RIGHT OF WAY, AS SHOWN HEREON.
- ADDRESSES OF 4020 & 4070 MARLTON AVENUE, 3791 SANTA ROSALITA DRIVE, AND 3901, 3939, 3945 & 4143 CRENSHAW BOULEVARD WERE POSTED ON THE SURVEYED PROPERTY.
- ADJOINING OWNERSHIP INFORMATION SHOWN HEREON WAS OBTAINED FROM AVAILABLE PUBLIC RECORDS.
- FENCE OWNERSHIP, IF ANY, WAS NOT DETERMINED UNDER THE SCOPE OF THIS SURVEY.
- THIS SURVEY IS NOT INTENDED FOR CONSTRUCTION OR CONSTRUCTION DESIGN PURPOSES.
- BUILDING SQUARE FOOTAGE WAS CALCULATED FROM THE OBSERVED APPARENT FOOTPRINT OF EACH BUILDING AT GROUND LEVEL.
- SURVEY PERFORMED BY: BOCK & CLARK CORPORATION, AN NV5 COMPANY
2525 NATOMAS PARK DRIVE STE 300
SACRAMENTO, CA 95833
PHONE: 800-797-8397, EXT. 877 E-MAIL: JAKE.KROEKER@NV5.COM
- NO DIVISION OR PARTY WALLS WERE DESIGNATED BY THE CLIENT WITH RESPECT TO ADJOINING PROPERTIES. PERIMETER FENCES WERE LOCATED BY THE SURVEYOR AND ARE DIMENSIONED HEREON. FENCES MEANDER. SEE MN15.

ALTA/NSPS LAND TITLE SUR

ITEMS CORRESPONDING TO SCHEDULE B-II

16. Matters contained in that certain document
- Entitled: Covenant and Agreement
Recording Date: March 10, 1988
Recording No: 88-328434, of Official Records
- Reference is hereby made to said document for full particulars.
- THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.**
17. Matters contained in that certain document
- Entitled: Agreement Regarding the Recordation of Technical Documents
Recording Date: March 31, 1988
Recording No: 88-438669, of Official Records
- Reference is hereby made to said document for full particulars.
- THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.**
18. Matters contained in that certain document
- Entitled: Agreement Regarding the Recordation of Technical Documents
Recording Date: September 28, 1988
Recording No: 88-1544618, of Official Records
- Reference is hereby made to said document for full particulars.
- THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.**
19. Matters contained in that certain document
- Entitled: Covenant and Agreement Regarding Maintenance of Building
Recording Date: October 18, 1988
Recording No: 88-1671634 through 88-1671650, all of Official Records
- Reference is hereby made to said document for full particulars.
- Affects: Lots 1 through 13, 15 and 16
THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.
20. An unrecorded lease with certain terms, covenants, conditions and provisions set forth therein as disclosed by the document
- Entitled: Memorandum of Lease
Lessor: Baldwin Hills Associates
Lessee: Pacific Southwest Realty Company, a Delaware corporation
Recording Date: October 28, 1988
Recording No: 88-1743966, of Official Records
- The present ownership of the leasehold created by said lease and other matters affecting the interest of the lessee are not shown herein.
- Affects: Lot 2
THIS IS NOT A SURVEY RELATED ITEM. NOT PLOTTED
21. Matters contained in that certain document
- Entitled: Covenant and Agreement Regarding Maintenance of Building
Recording Date: December 19, 1988
Recording No: 88-2023048, of Official Records
- Reference is hereby made to said document for full particulars.
- Affects: Lot 4
THIS ITEM IS PLOTTED AND SHOWN HEREON.
22. Matters contained in that certain document
- Entitled: Agreement Regarding the Recordation of Technical Documents
Recording Date: February 3, 1989
Recording No: 88-165648, of Official Records
- Reference is hereby made to said document for full particulars.
- THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.**
23. Matters contained in that certain document
- Entitled: Covenant and Agreement Regarding Maintenance of Building
Recording Date: February 7, 1989
Recording No: 88-208568, of Official Records
- Reference is hereby made to said document for full particulars.
- Affects: Lots 17 through 22
THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.
24. Matters contained in that certain document
- Entitled: Covenant and Agreement
Recording Date: September 28, 1990
Recording No: 90-1648555, of Official Records
- Reference is hereby made to said document for full particulars.
- Affects: Lots 19, 20 and 21
THIS ITEM IS PLOTTED AND SHOWN HEREON. RESTRICTS THE PROPERTY FROM RESIDENTIAL USE.
25. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
- Purpose: Public utilities
Recording Date: December 18, 1990
Recording No: 90-2079988, of Official Records
Affects: Lots 1, 2, 16, 17, 18, 20, 21 and 22
THIS ITEM IS PLOTTED AND SHOWN HEREON ON LOTS 1, 2, 16, 17, 20, 21 & 22.
26. An unrecorded lease with certain terms, covenants, conditions and provisions set forth therein as disclosed by the document
- Entitled: Ground Lease
Lessor: Baldwin Hills Associates, a California general partnership
Lessee: Lucky Stores, Inc., a Delaware corporation doing business in California as Delaware Lucky Stores, Inc.
Recording Date: April 23, 1991
Recording No: 91-573271, of Official Records
- Document re-recorded June 5, 1991 as Instrument No. 91-838265, of Official Records.
- Assignment of the Lessee's interest under said lease.
- Assignor: Albertson's LLC, a limited liability company under the laws of Delaware, successor-by-conversion to Albertson's Inc.
- Assignee: ABS CA-GL LLC, a limited liability company under the laws of Delaware
Recording Date: April 16, 2013
Recording No: 2013-563960, of Official Records
- Matters contained in that certain document
- Entitled: Warranty Deed
Recording Date: April 16, 2013
Recording No: 2013-563961, of Official Records
- Reference is hereby made to said document for full particulars.
- The present ownership of the leasehold created by said lease and other matters affecting the interest of the lessee are not shown herein.
- Affects: Lots 12 through 19
THIS IS NOT A SURVEY RELATED ITEM. NOT PLOTTED
27. An unrecorded lease with certain terms, covenants, conditions and provisions set forth therein as disclosed by the document
- Entitled: Memorandum of Lease
Lessor: Baldwin Hills Associates, a California general partnership
Lessee: Taco Bell Corp., a California corporation
Recording Date: June 13, 1991
Recording No: 91-885753, of Official Records
- A "Declaration of Restrictive Covenant" pursuant to said lease, executed by Baldwin Hills Associates, recorded June 13, 1991 as Instrument No. 91-885754, of Official Records.
- The present ownership of the leasehold created by said lease and other matters affecting the interest of the lessee are not shown herein.
- Affects: Lot 11
THIS IS NOT A SURVEY RELATED ITEM. NOT PLOTTED

ITEMS CORRESPONDING TO SCHEDULE B-II

28. The terms and provisions contained in the document entitled "Waiver of Damages, Indemnification Agreement and Right of Ingress and Egress Covenant to Run with the Land" recorded June 27, 1991 as Instrument No. 91-87703 of Official Records.
29. Matters contained in that certain document
- Entitled: Covenant and Agreement Regarding Maintenance of Building
Recording Date: June 28, 1991
Recording No: 91-993183, of Official Records
- Reference is hereby made to said document for full particulars.
- Affects: Lots 1 through 13, 15 and 16
THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.
30. Matters contained in that certain document
- Entitled: Agreement
Recording Date: August 21, 1991
Recording No: 91-1314266, of Official Records
- Reference is hereby made to said document for full particulars.
- Affects: Parcel 8
THIS ITEM IS BLANKET IN NATURE OVER THE SURVEYED PROPERTY.
31. Matters contained in that certain document
- Entitled: Grant Deed
Recording Date: November 19, 1993
Recording No: 93-2284523, of Official Records
- Reference is hereby made to said document for full particulars.
- THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.**
32. Matters contained in that certain document
- Entitled: Covenant and Agreement Regarding maintenance of Building
Recording Date: March 6, 1995
Recording No: 95-348602, of Official Records
- Reference is hereby made to said document for full particulars.
- Affects: Lot 12
THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.
33. An unrecorded lease with certain terms, covenants, conditions and provisions set forth therein as disclosed by the document
- Entitled: Memorandum of Lease
Lessor: Alexander Haagen Properties Operating Partnership, L.P., a Delaware limited partnership
Lessee: Fatburger Restaurants of California, a California corporation
Recording Date: April 26, 1995
Recording No: 95-888014, of Official Records
- The present ownership of the leasehold created by said lease and other matters affecting the interest of the lessee are not shown herein.
- Affects: Lot 10
THIS IS NOT A SURVEY RELATED ITEM. NOT PLOTTED
34. Matters contained in that certain document
- Entitled: Covenants, Conditions and Restrictions Affecting The Use of Real Property
Recording Date: May 18, 1995
Recording No: 95-797451, of Official Records
- Reference is hereby made to said document for full particulars.
- Affects: Lot 12 and 13
THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.
35. Matters contained in that certain document
- Entitled: Covenant and Agreement Regarding Maintenance of Building
Recording Date: December 28, 1995
Recording No: 95-2060712, of Official Records
- Reference is hereby made to said document for full particulars.
- THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.**
36. Matters contained in that certain document
- Entitled: Assignment and Assumption of Leases
Recording Date: October 3, 2007
Recording No: 2007-2265891, of Official Records
- Reference is hereby made to said document for full particulars.
- THIS IS NOT A SURVEY RELATED ITEM. NOT PLOTTED**
37. Intentionally omitted.
38. Matters contained in that certain document
- Entitled: Assignment and Assumption of Leases
Recording Date: December 19, 2007
Recording No: 2007-2784960, of Official Records
- Reference is hereby made to said document for full particulars.
- THIS IS NOT A SURVEY RELATED ITEM. NOT PLOTTED**
39. Matters contained in that certain document
- Entitled: Master Covenant and Agreement
Recording Date: October 5, 2010
Recording No: 2010-1421927, of Official Records
- Reference is hereby made to said document for full particulars.
- THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.**
40. Matters contained in that certain document
- Entitled: Master Covenant and Agreement
Recording Date: November 3, 2010
Recording No: 2010-1581460, of Official Records
- Reference is hereby made to said document for full particulars.
- THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.**
41. Matters contained in that certain document
- Entitled: Master Covenant and Agreement
Recording Date: December 7, 2010
Recording No: 2010-1807402, of Official Records
- Reference is hereby made to said document for full particulars.
- THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.**

ITEMS CORRESPONDING TO SCHEDULE B-II

43. Covenant and agreement wherein the owners agree to hold said Land as one parcel and not to sell any portion thereof separately. Said covenant is expressed to run with the Land and be binding upon future owners.
- Recording Date: March 18, 2011
Recording No.: 2011-417137, of Official Records
- Reference is hereby made to said document for full particulars.
- THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.**
44. Matters contained in that certain document
- Entitled: Master Covenant and Agreement
Recording Date: March 18, 2011
Recording No.: 2011-417138, of Official Records
- Reference is hereby made to said document for full particulars.
- THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.**
45. Matters contained in that certain document
- Entitled: Master Covenant and Agreement
Recording Date: March 18, 2011
Recording No.: 2011-417139, of Official Records
- Reference is hereby made to said document for full particulars.
- THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.**
46. Matters contained in that certain document
- Entitled: Master Covenant and Agreement
Recording Date: April 26, 2011
Recording No: 2011-602367, of Official Records
- Reference is hereby made to said document for full particulars.
- THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.**
47. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
- Purpose: Pole lines or conduits
Recording Date: May 16, 2012
Recording No: 2012-730605, of Official Records
THIS ITEM IS PLOTTED AND SHOWN HEREON ON LOTS 6, 7 & 8.
48. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
- Purpose: Pole lines or conduits
Recording Date: May 16, 2012
Recording No: 2012-730606, of Official Records
THIS ITEM IS PLOTTED AND SHOWN HEREON ON LOTS 1, 3 & 4.
49. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
- Purpose: Pole lines or conduits
Recording Date: May 16, 2012
Recording No: 2012-730607, of Official Records
THIS ITEM IS PLOTTED AND SHOWN HEREON ON LOTS 6, 13 & 15.
50. Matters contained in that certain document
- Entitled: Master Covenant and Agreement
Recording Date: September 10, 2013
Recording No: 2013-118803, of Official Records
- Reference is hereby made to said document for full particulars.
- THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.**
51. Intentionally omitted.
52. Intentionally omitted.
53. Intentionally omitted.
54. An unrecorded lease with certain terms, covenants, conditions and provisions set forth therein as disclosed by the document
- Entitled: Memorandum of Lease
Lessor: The May Stores Shopping Center, Inc., a corporation
Lessee: Bank of America National Trust and Savings Association, a national banking association
Recording Date: July 6, 1991
Recording No: 60 in Book M003 page 525, of Official Records
- The present ownership of the leasehold created by said lease and other matters affecting the interest of the lessee are not shown herein.
- Affects: Lot 20
- Assignment of the Lessor's interest under said lease.
- Assignee: Baldwin Hills Associates, a California general partnership
- Recording Date: July 2, 1987
Recording No: 87-159725, of Official Records
THIS IS NOT A SURVEY RELATED MATTER. NOT PLOTTED
55. An unrecorded lease with certain terms, covenants, conditions and provisions set forth therein as disclosed by the document
- Entitled: Memorandum of Lease
Lessor: The T.J.V. Companies, Inc., a Delaware corporation
Lessee: January 26, 1995
Recording Date: 95-128406, of Official Records
- The present ownership of the leasehold created by said lease and other matters affecting the interest of the lessee are not shown herein.
- Affects: Lot 15
THIS IS NOT A SURVEY RELATED MATTER. NOT PLOTTED
56. An unrecorded lease with certain terms, covenants, conditions and provisions set forth therein as disclosed by the document
- Entitled: Memorandum of Lease Agreement
Lessor: CT Operating Partnership, L.P., a California limited partnership
Lessee: Wal-Mart Real Estate Business Trust, a Delaware Business Trust
Recording Date: November 29, 2000
Recording No: 00-1860023, of Official Records
- The present ownership of the leasehold created by said lease and other matters affecting the interest of the lessee are not shown herein.
- Affects: Lot 16
THIS IS NOT A SURVEY RELATED MATTER. NOT PLOTTED
57. Matters contained in that certain document
- Entitled: Master Covenant and Agreement
Date: January 08, 2015
Executed by: Kenneth Lombard
Recording Date: January 09, 2015
Recording No: 2015002562 Official Records
- Reference is hereby made to said document for full particulars.
- Affects: Lot 15
THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.

ITEMS CORRESPONDING TO SCHEDULE B-II

58. Matters contained in that certain document
- Entitled: Master Covenant and Agreement Regarding On-Site BMP Maintenance
Date: June 03, 2015
Executed by: Kenneth Lombard
Recording Date: June 10, 2015
Recording No: 20150688157 Official Records
- Reference is hereby made to said document for full particulars.
- Affects: Lot 7
THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.
59. Matters contained in that certain document
- Entitled: Master Covenant and Agreement Regarding On-Site Stormwater Mitigation Measures and Maintenance
Date: August 25, 2015
Executed by: Kenneth Lombard
Recording Date: August 26, 2015
Recording No: 20151051233 Official Records
- Reference is hereby made to said document for full particulars.
- Affects: Lot 10
THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.
60. Matters contained in that certain document
- Entitled: Master Covenant and Agreement
Date: May 09, 2016
Executed by: Rosa B. Glickman and the City of Los Angeles
Recording Date: June 10, 2016
Recording No: 20160674124 Official Records
- Reference is hereby made to said document for full particulars.
- Affects: Lot 10
THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.
61. Matters contained in that certain document
- Entitled: Master Covenant and Agreement
Date: June 09, 2016
Executed by: Rosa Glickman
Recording Date: July 15, 2016
Recording No: 2016051846 Official Records
- Reference is hereby made to said document for full particulars.
- Affects: Lot 7
THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.
62. Matters contained in that certain document
- Entitled: Covenant and Agreement Regarding Maintenance of Building (Graffiti Removal)
Executed by: Rosa Glickman and Capri Urban Baldwin LLC
Recording Date: August 24, 2016
Recording No: 20161011835 Official Records
- Reference is hereby made to said document for full particulars.
- Affects: Lot 7
THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.
63. Matters contained in that certain document
- Entitled: Covenant and Agreement Regarding Maintenance of Building (Graffiti Removal)
Executed by: Rosa Glickman and Capri Urban Baldwin LLC
Recording Date: August 24, 2016
Recording No: 20161011836 Official Records
- Reference is hereby made to said document for full particulars.
- Affects: Lot 8
THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.
64. Matters contained in that certain document
- Entitled: Master Covenant and Agreement
Executed by: Capri Urban Baldwin LLC
Recording Date: October 27, 2019
Recording No: 20161330154 Official Records
- Reference is hereby made to said document for full particulars.
- Affects: Lot 8
THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.
65. An instrument entitled "Master Covenant and Agreement"
- Executed by: Doi C. Nolan
In favor of: City of Los Angeles
Recording Date: May 15, 2018
Recording No: 20180479665, of Official Records
- Reference is hereby made to said document for full particulars.
- Affects: Lot 19
THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.
66. Intentionally omitted.
67. An instrument entitled "Master Covenant and Agreement"
- Executed by: Doi C. Nolan
In favor of: City of Los Angeles
Recording Date: September 21, 2018
Recording No: 20180971753, of Official Records
- Reference is hereby made to said document for full particulars.
- Affects: Lot 19
THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.
68. Intentionally omitted.
69. Matters contained in that certain document
- Entitled: Development Agreement
Recording Date: February 14, 2019
Recording No: 2019-136486, of Official Records
- Reference is hereby made to said document for full particulars.
- THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.**

ITEMS CORRESPONDING TO SCHEDULE B-II

78. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
- Purpose: Pedestrian access, ingress and egress
Recording Date: October 13, 2020
Recording No: 2020-1261921 of Official Records
Affects: Lot 1
THIS ITEM IS PLOTTED AND SHOWN HEREON.
79. An instrument entitled "Portal Easement and Operating Agreement"
- Executed by: Capri Urban Crenshaw, LLC, Capri Urban Baldwin LLC, and the Los Angeles County Metropolitan Transportation Authority
Recording Date: October 16, 2020
Recording No: 020-1286685, of Official Records
- Reference is hereby made to said document for full particulars.
- Said instrument, among other things, provides for easements for Station and Portal Easements as defined therein and for Pedestrian Access Easement as defined therein.
- THIS ITEM IS PLOTTED AND SHOWN HEREON.**
80. The terms and provisions contained in the document entitled "Waiver of Damages, Indemnification Agreement and Right of Ingress and Egress - Covenant to Run with the Land" recorded October 21, 2020 as Instrument No.2020-1307934 of Official Records.
- Affects: Lot 1
THE GENERAL AREA OF THIS ITEM IS INDICATED HEREON.
81. Intentionally omitted.
82. The terms and provisions contained in the document entitled "Waiver of Damages, Indemnification Agreement and Right of Ingress and Egress - Covenant to Run with the Land" recorded January 13, 2021 as Instrument No.2021-084158 of Official Records.
- Affects: Lots 1 and 18
THE GENERAL AREA OF THIS ITEM IS INDICATED HEREON.
84. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
- Granted to: City of Los Angeles
Purpose: underground line or lines of cables, wires and underground conduits and ducts and other similar and like structures
Recording Date: April 24, 1946
Recording No: in Book 23104 Page 175, of Official Records
- Reference is hereby made to said document for full particulars.
- Affects: Parcel 9
THIS ITEM IS PLOTTED AND SHOWN HEREON.
85. An instrument entitled "Covenant and Agreement Regarding Maintenance of Building"
- Recording Date: July 2, 1987
Recording No: 87-1059745, of Official Records
- Reference is hereby made to said document for full particulars.
- Affects: Parcel 9
THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.
86. An instrument entitled "Covenant and Agreement Regarding Maintenance of Building"
- Recording Date: February 8, 1989
Recording No: 89-213207, of Official Records
- Reference is hereby made to said document for full particulars.
- Affects: Parcel 9
THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.
87. An instrument entitled "Covenant and Agreement Regarding Maintenance of Building"
- Recording Date: March 30, 1994
Recording No: 94-626822, of Official Records
- Reference is hereby made to said document for full particulars.
- Affects: Parcel 9
THIS ITEM REFERS TO THE SURVEYED PROPERTY BUT CONTAINS NO PLOTTABLE SURVEY ITEMS.

SHEET 2 OF 7

N|V|5

ALTA/NSPS LAND TITLE SURVEY
PREPARED FOR
Baldwin Hills LA
DATE OF FIELD SURVEY: APRIL 28, 2021
NETWORK PROJECT NUMBER: 202102104-001 CMP
1-(800)-SURVEYS (787-8397)
TRANSACTION SERVICES
www.bockandclark.com maywehelpyou@bockandclark.com www.NV5.com

SURVEY • ZONING • ENVIRONMENTAL • ASSESSMENT

AC MARTIN

PHASE 1 OF THE BALDWIN HILLS CRENSHAW PLAZA PROJECT

1875 Century Park East, Suite 1130, Los Angeles, CA 90067

PLANS STAMPED 02/22/2024 BY P.CAPORASO
project no | 2107034

HAAS BHCP Property Owner, LLC

ALTA SURVEY

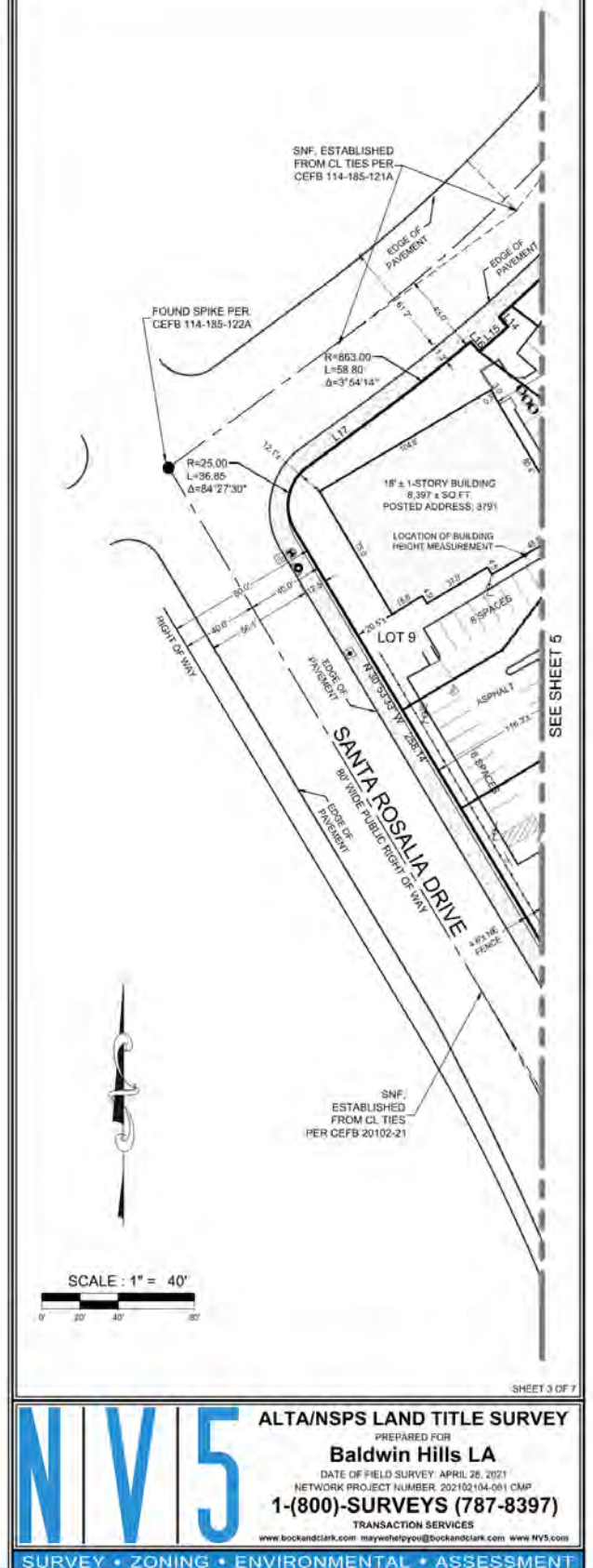
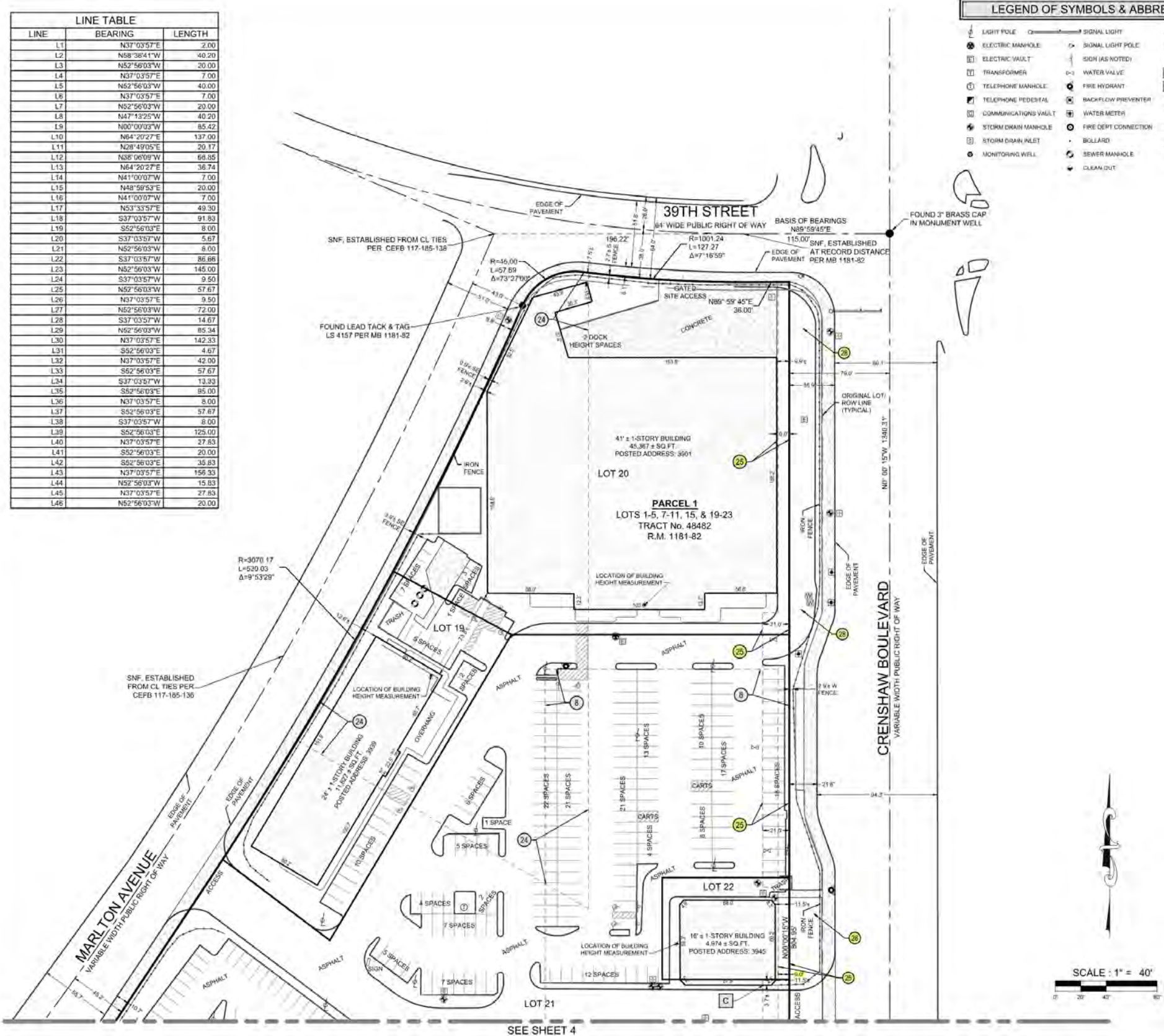
G-002.1

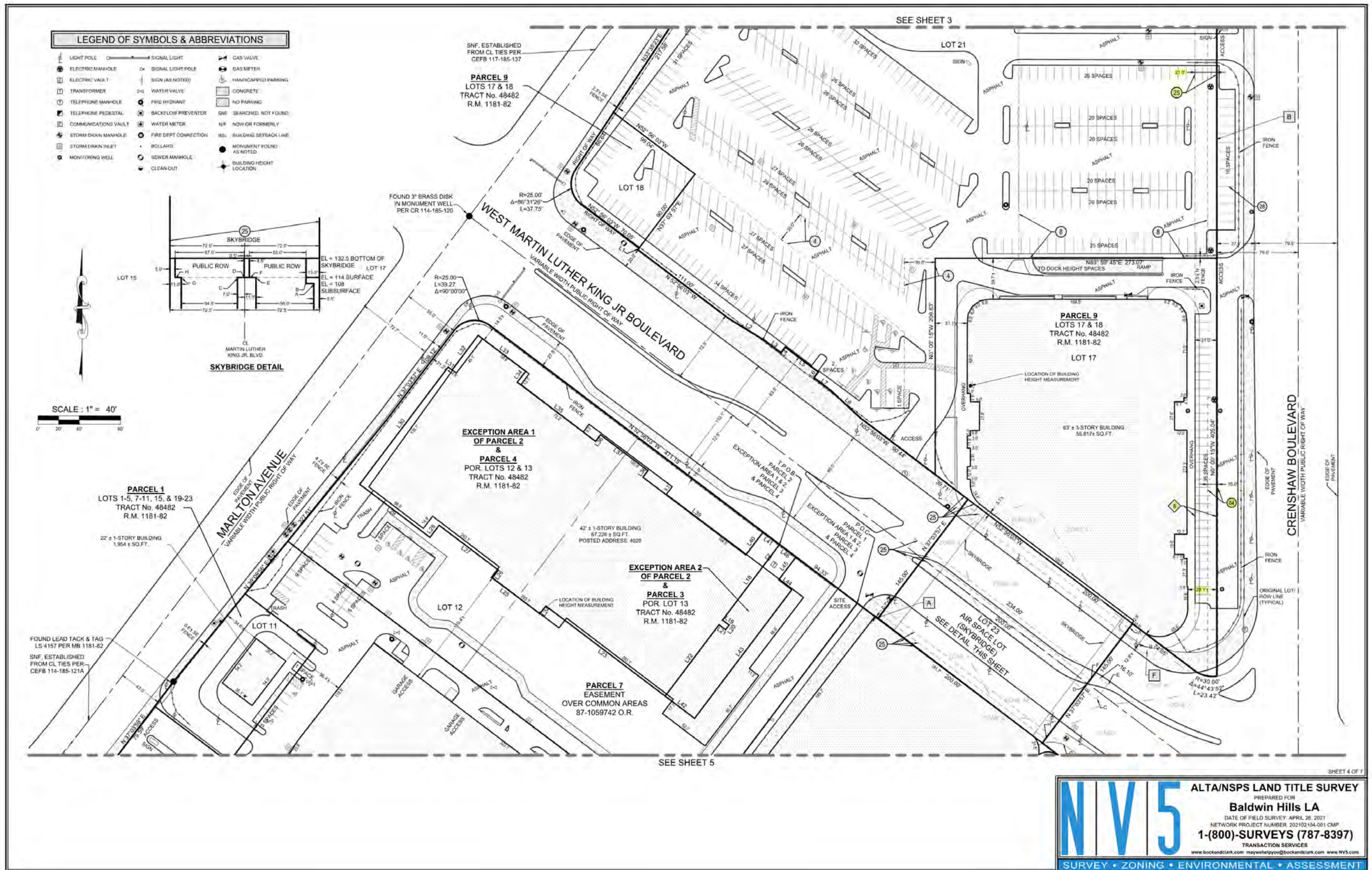
EXHIBIT "A"

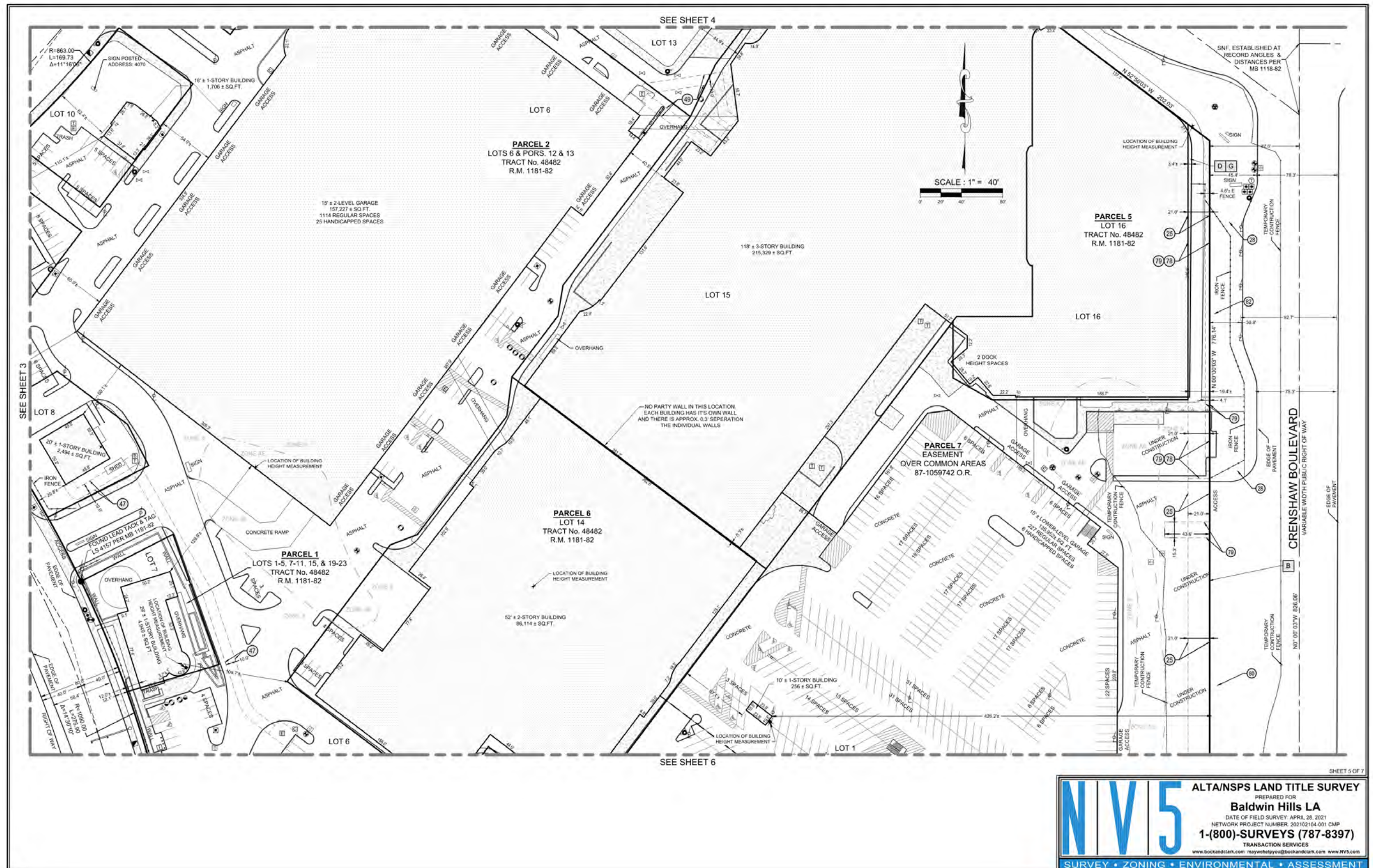
Page No. 6 of 53

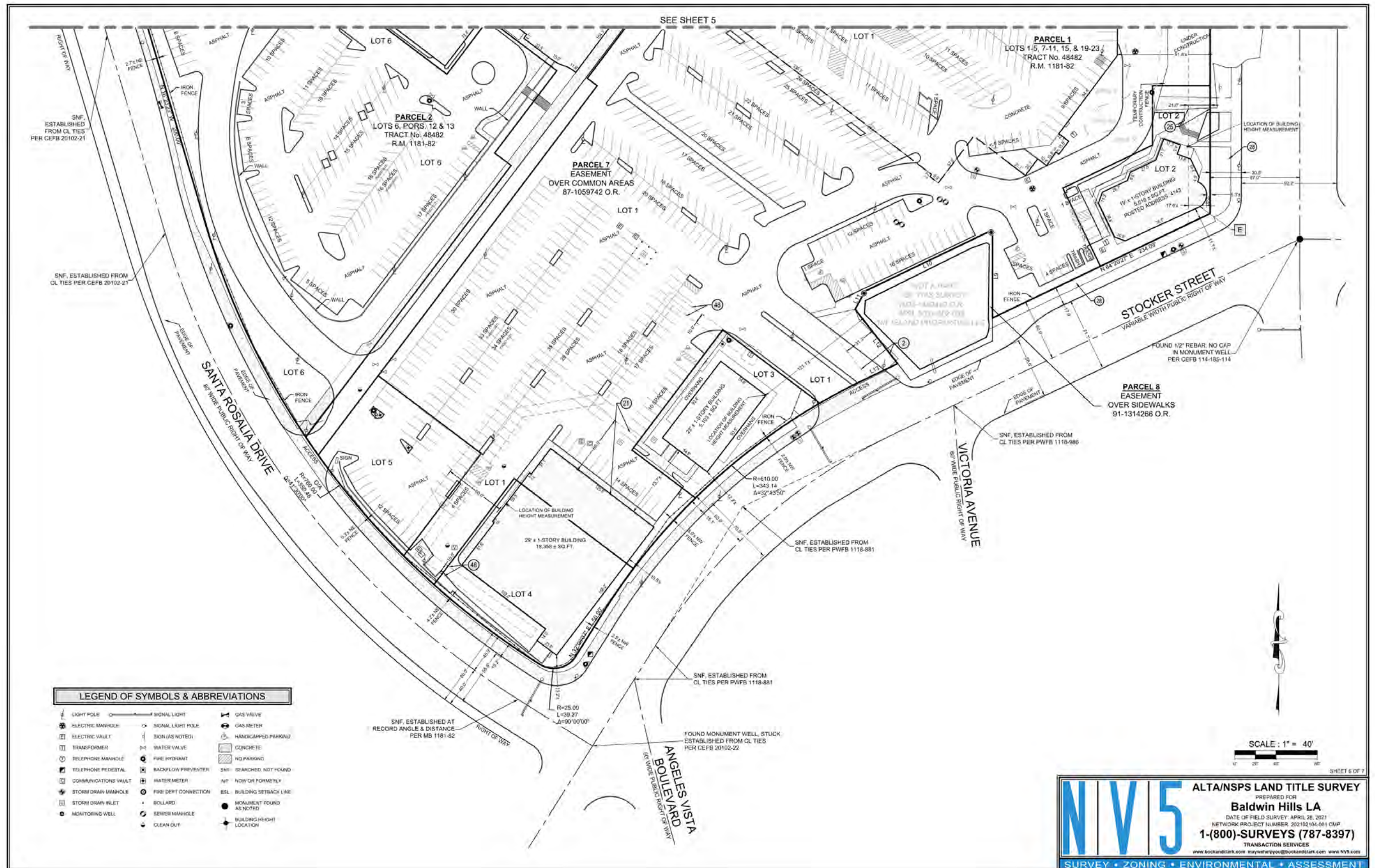
Case No. DIR-2023-6342-SPR

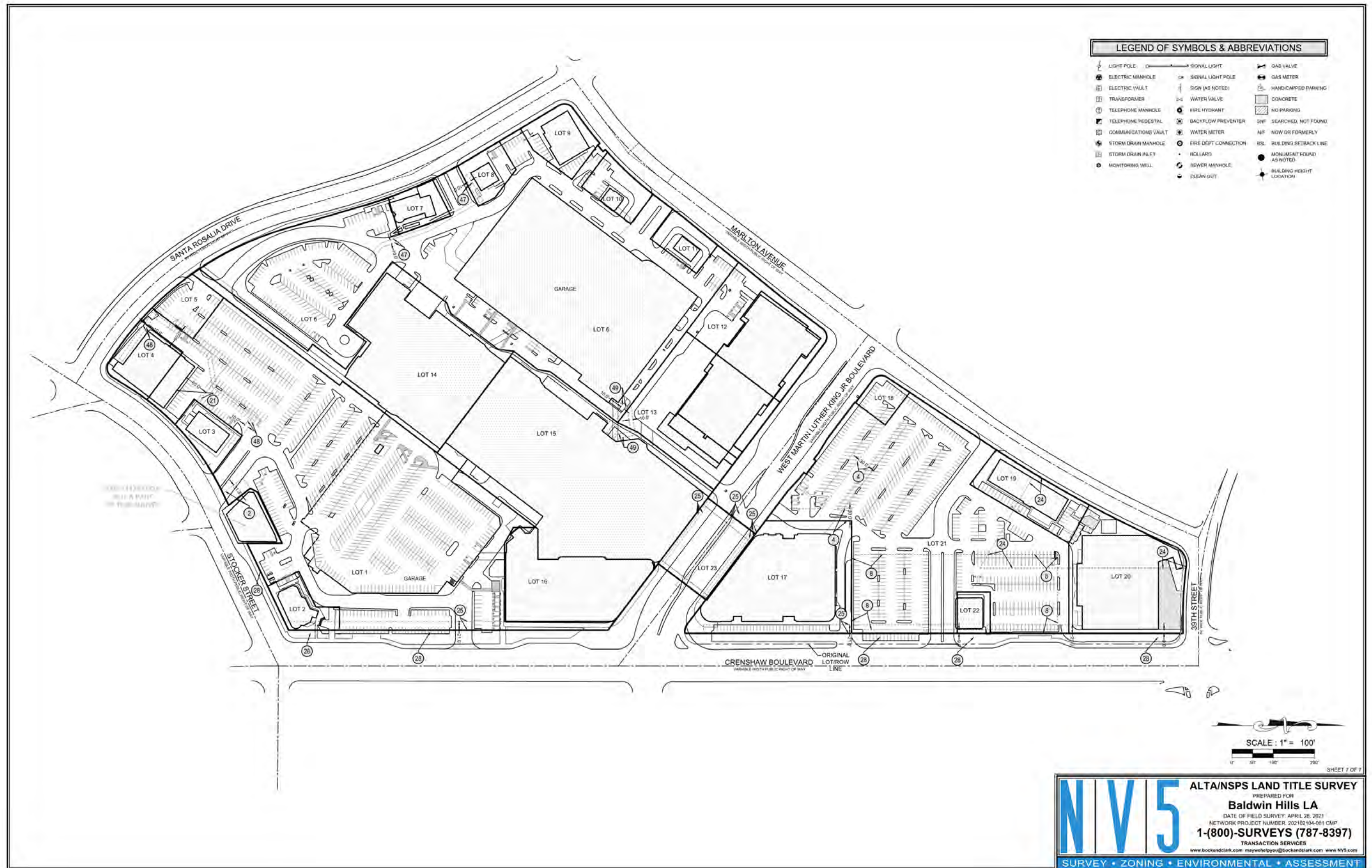
LINE TABLE		
LINE	BEARING	LENGTH
L1	N37°03'57"E	2.00
L2	N58°38'41"W	40.20
L3	N52°56'03"W	20.00
L4	N37°03'57"E	7.00
L5	N52°56'03"W	40.00
L6	N37°03'57"E	7.00
L7	N52°56'03"W	20.00
L8	N47°13'25"W	40.20
L9	N00°00'00"W	85.42
L10	N64°20'27"E	137.00
L11	N28°49'05"E	20.17
L12	N56°08'09"W	66.85
L13	N64°20'27"E	36.74
L14	N41°00'07"W	7.00
L15	N48°56'53"E	20.00
L16	N41°00'07"W	7.00
L17	N53°33'57"E	49.30
L18	S37°03'57"W	91.83
L19	S52°56'03"E	8.00
L20	S37°03'57"W	5.67
L21	N52°56'03"W	8.00
L22	S37°03'57"W	86.66
L23	N52°56'03"W	145.00
L24	S37°03'57"W	9.50
L25	N52°56'03"W	57.67
L26	N37°03'57"E	9.50
L27	N52°56'03"W	72.00
L28	S37°03'57"W	14.67
L29	N52°56'03"W	85.34
L30	N37°03'57"E	142.33
L31	S52°56'03"E	4.67
L32	N37°03'57"E	42.00
L33	S52°56'03"E	57.67
L34	S37°03'57"W	13.33
L35	S52°56'03"E	85.00
L36	N37°03'57"E	8.00
L37	S52°56'03"E	57.67
L38	S37°03'57"W	8.00
L39	S52°56'03"E	125.00
L40	N37°03'57"E	27.83
L41	S52°56'03"E	20.00
L42	S52°56'03"E	35.83
L43	N37°03'57"E	156.33
L44	N52°56'03"W	15.83
L45	N37°03'57"E	27.83
L46	N52°56'03"W	20.00







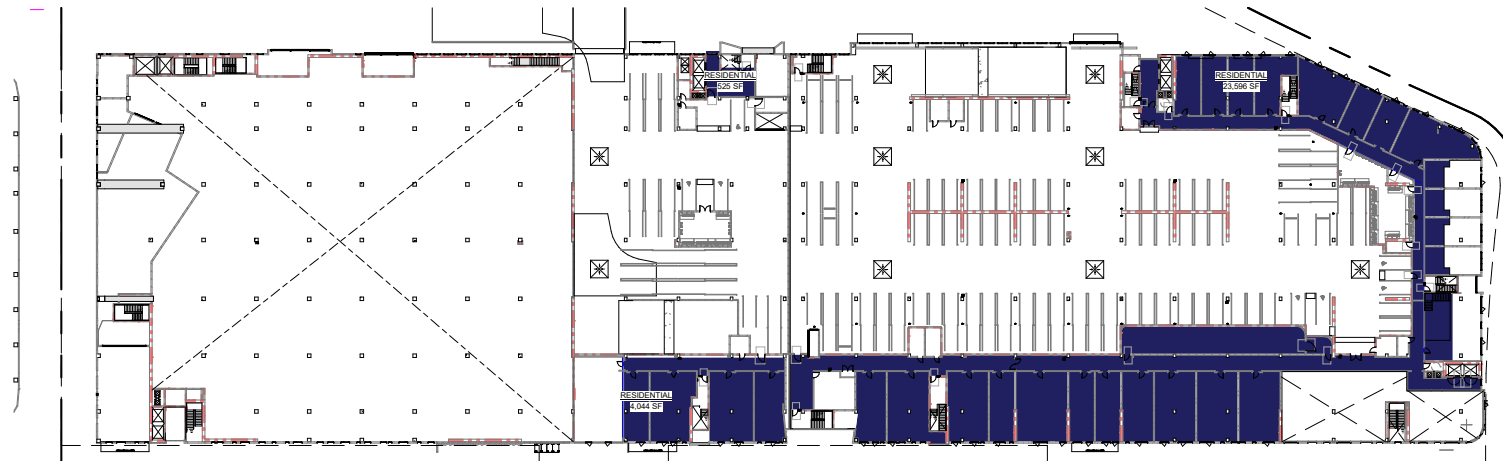






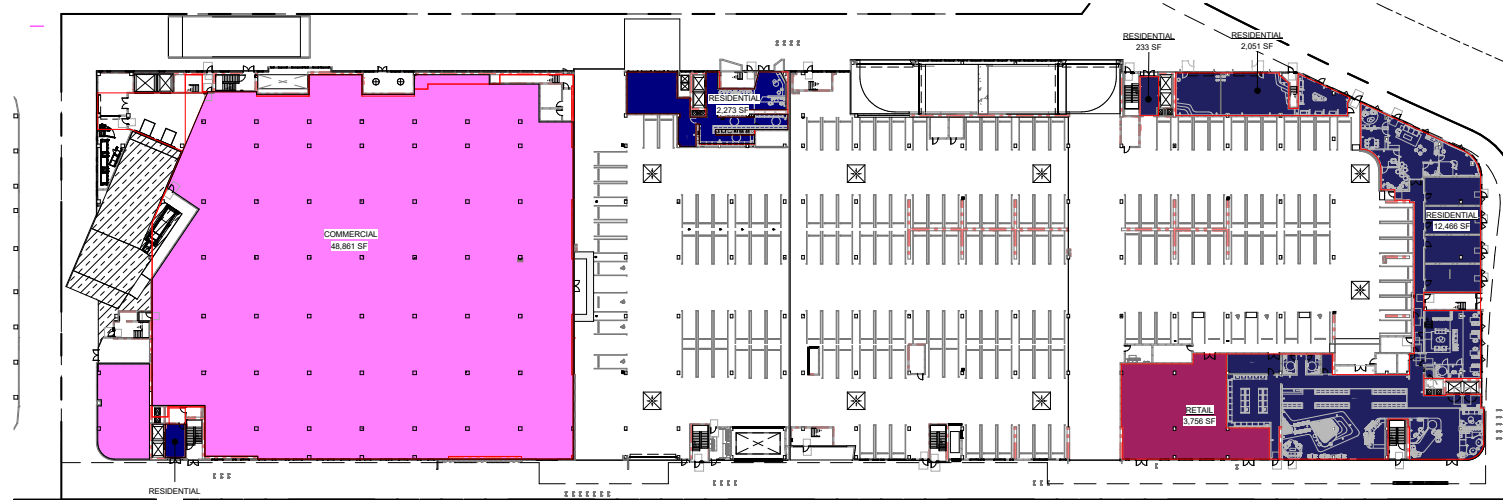
LEVEL 3
SCALE: 1" = 50'-0"

36,597 SF



LEVEL 2
SCALE: 1" = 50'-0"

28,165 SF



LEVEL 1
SCALE: 1" = 50'-0"

70,161 SF

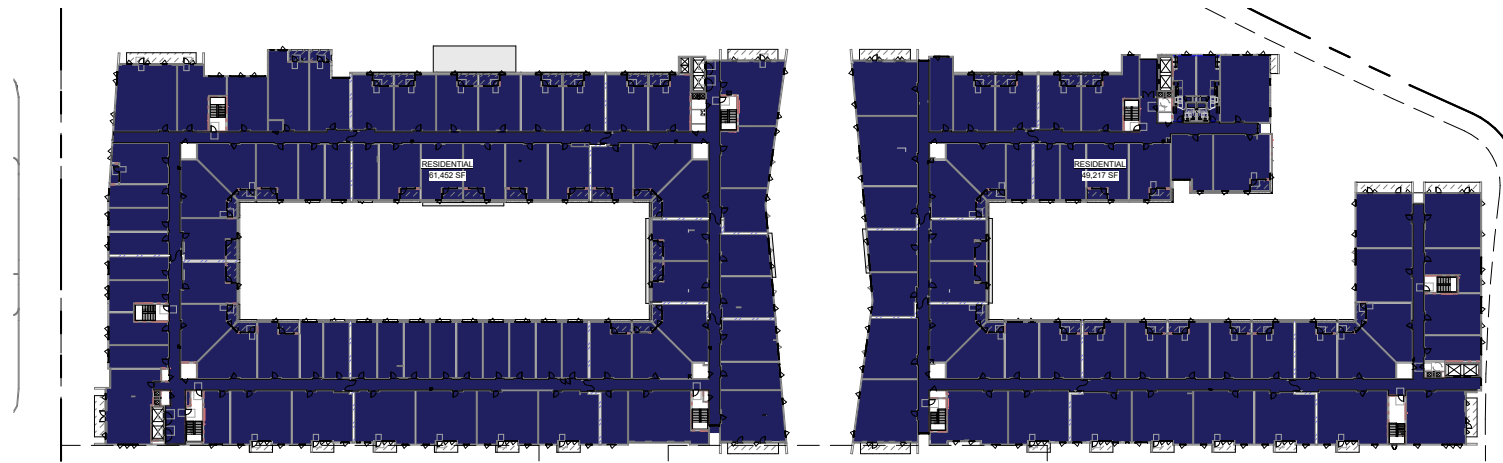
*3:1 FAR AVERAGE ACROSS THE ENTIRE PROJECT SITE FOR APPROVED PROJECT

THIS ALLOWS FOR A TOTAL OF 5,519,653 SF

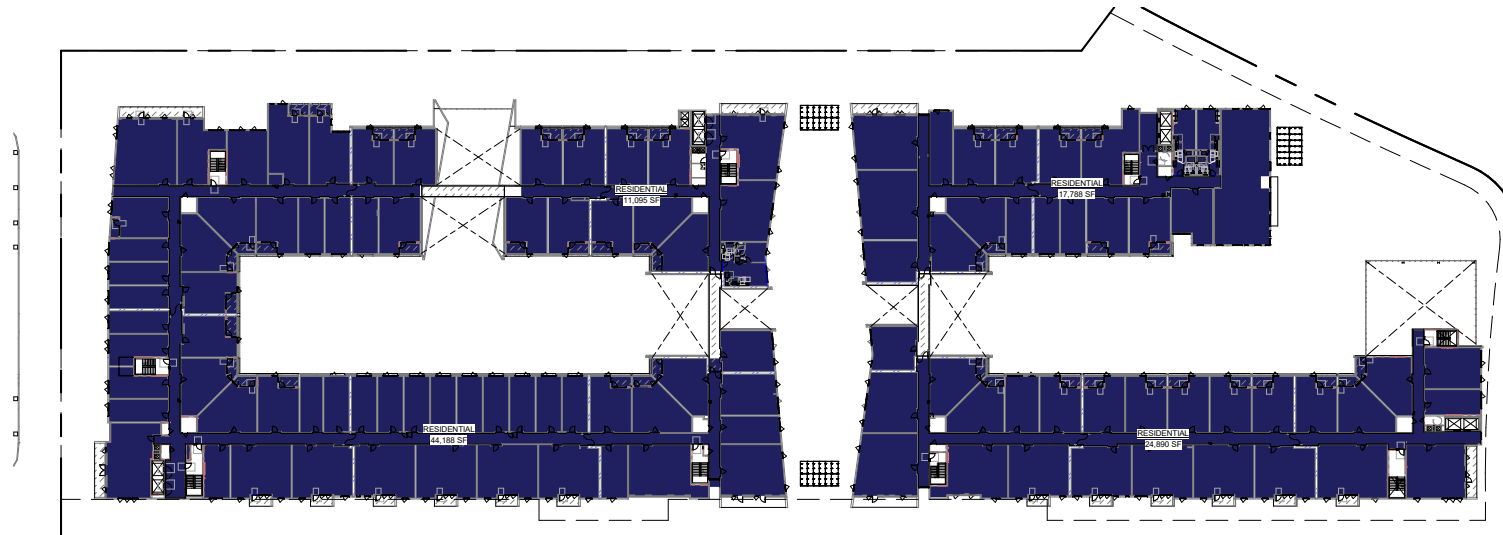
LEVEL	NAME	FLOOR AREA
COMMERCIAL / RETAIL FLOOR AREA		
LEVEL 1	RETAIL	3,756 SF
LEVEL 1	COMMERCIAL	48,861 SF
LEVEL 3	COMMERCIAL	6,583 SF
TOTAL		59,200 SF
RESIDENTIAL FLOOR AREA		
LEVEL 1	RESIDENTIAL	17,237 SF
LEVEL 2	RESIDENTIAL	28,165 SF
LEVEL 3	RESIDENTIAL	30,014 SF
LEVEL 4 - PODIUM	RESIDENTIAL	111,427 SF
LEVEL 5	RESIDENTIAL	97,961 SF
LEVEL 6	RESIDENTIAL	110,669 SF
LEVEL 7	RESIDENTIAL	108,467 SF
LEVEL 8	RESIDENTIAL	102,982 SF
TOTAL		606,922 SF
GRAND TOTAL		666,122 SF

*PER LETTER OF DETERMINATION

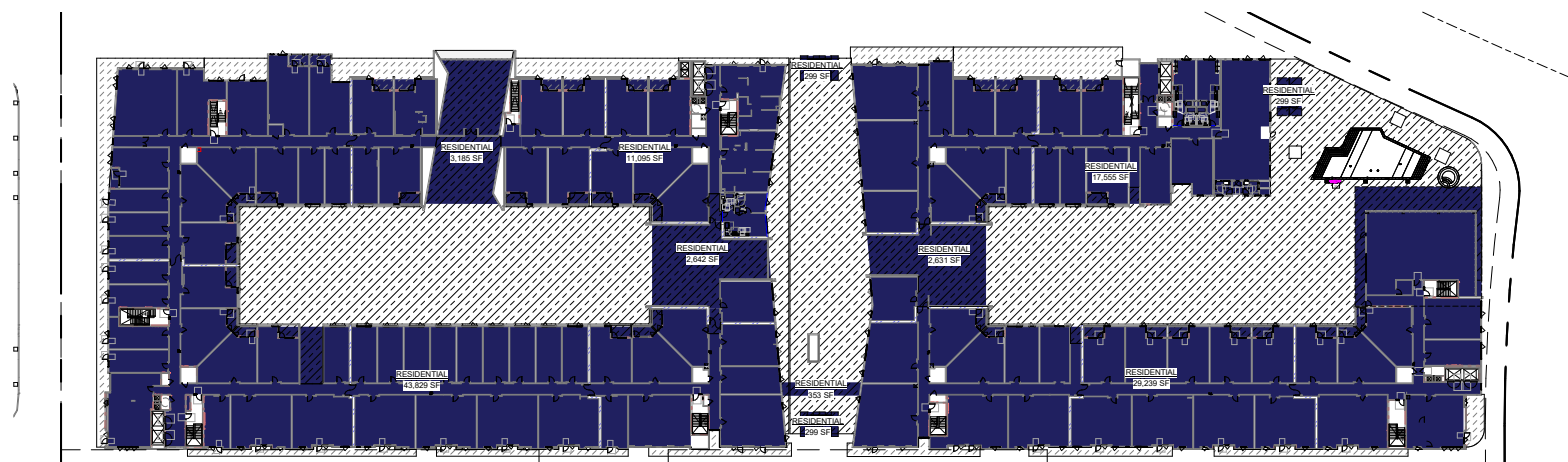
**MEASUREMENT PER LAMC 12.03
THE AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF A BUILDING, BUT NOT INCLUDING THE AREA OF THE FOLLOWING: EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS HOUSING BUILDING-OPERATING EQUIPMENT OR MACHINERY, PARKING AREAS WITH ASSOCIATED DRIVEWAYS AND RAMPS, SPACE DEDICATED TO BICYCLE PARKING, SPACE FOR THE LANDING AND STORAGE OF HELICOPTERS, AND BASEMENT STORAGE AREAS.



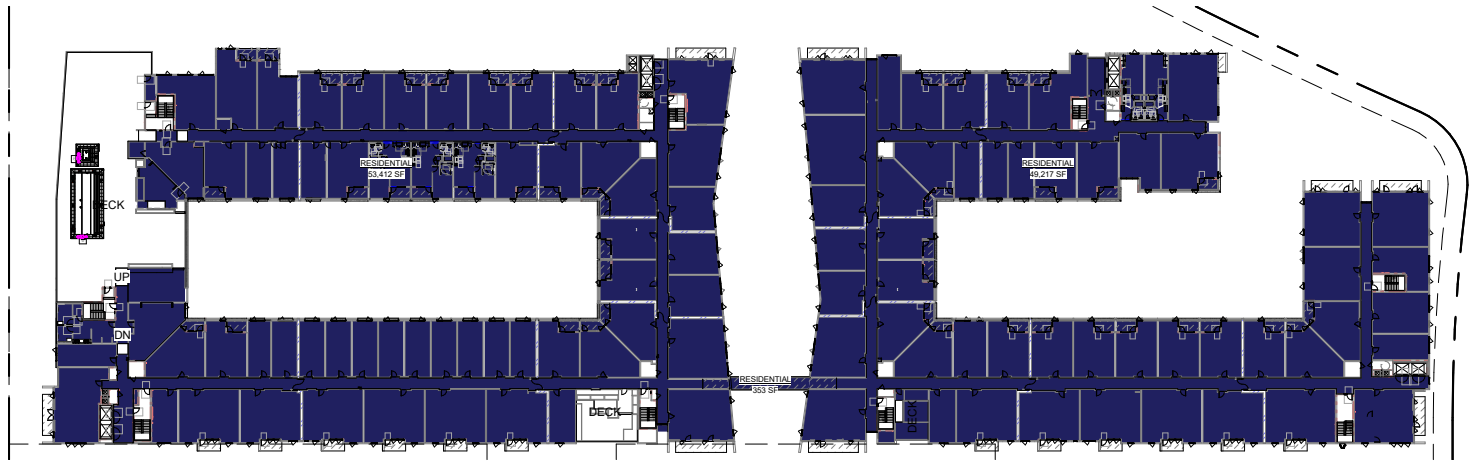
Level 6 110,669 SF
SCALE: 1" = 50'-0"



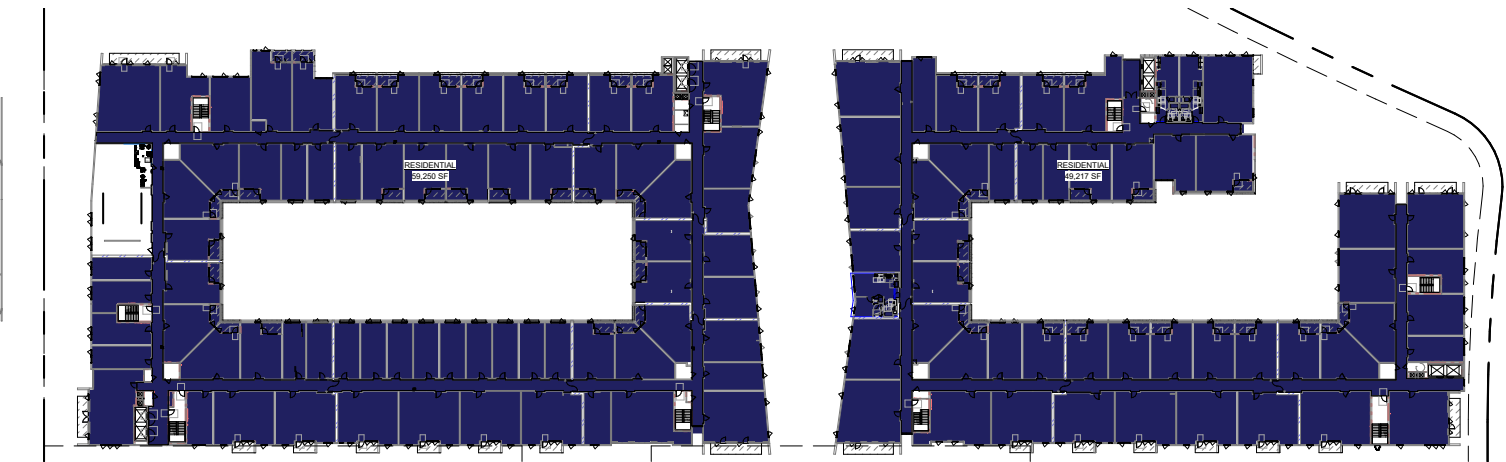
LEVEL 5 97,961 SF
SCALE: 1" = 50'-0"



LEVEL 4 (PODIUM) 111,427 SF
SCALE: 1" = 50'-0"



LEVEL 8 102,982 SF
SCALE: 1" = 50'-0"



LEVEL 7 108,467 SF
SCALE: 1" = 50'-0"



PHASE 1 OF THE BALDWIN HILLS CRENSHAW PLAZA PROJECT

HAAS BHCP Property Owner, LLC

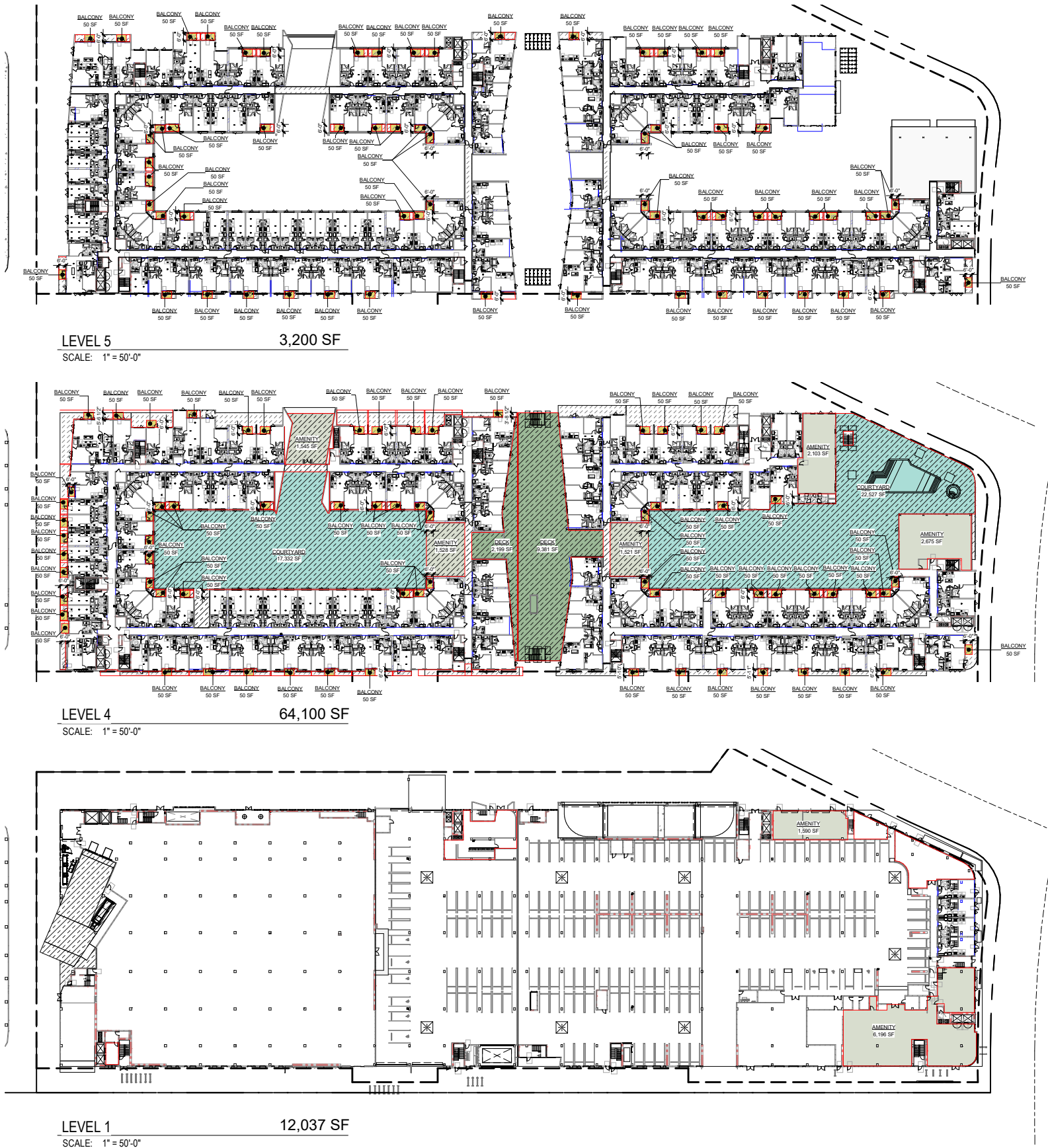
1875 Century Park East, Suite 1130, Los Angeles, CA 90067
PLANS STAMPED 02/22/2024 BY P.CAPORASO
project no | 2107034

EXHIBIT "A"

Page No. 14 of 53

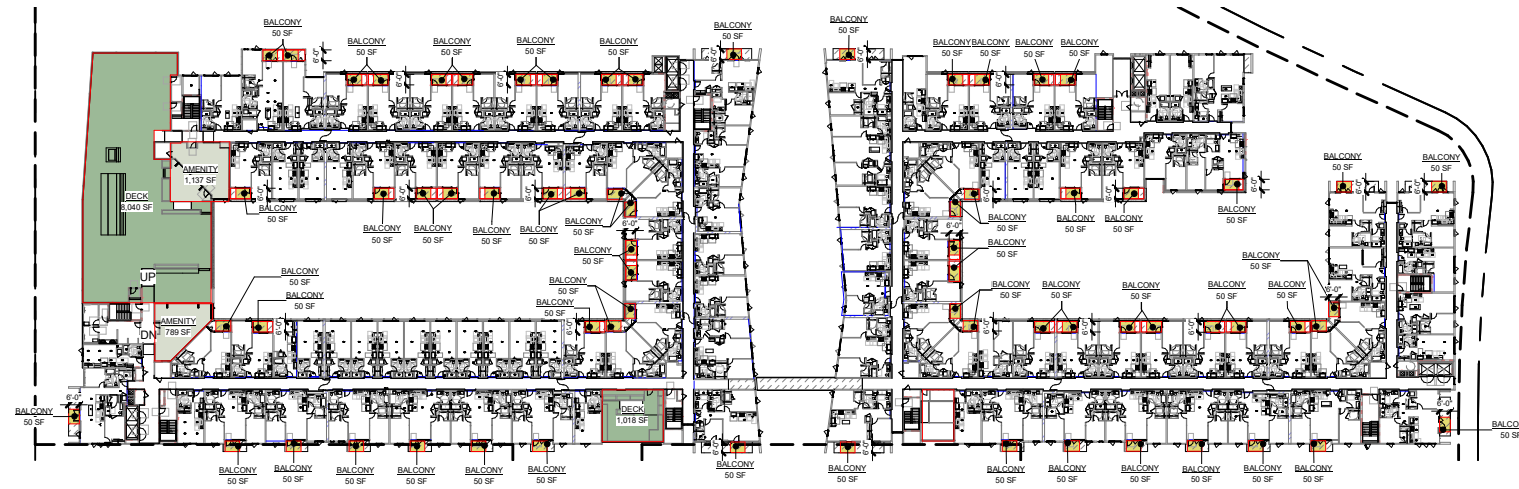
Case No. DIR-2023-6342-SPR

As indicated
FAR EXHIBITS
G-003.2



EXTERIOR OPEN SPACE		
LEVEL 4 - PODIUM	COURTYARD	39,859 SF
LEVEL 4 - PODIUM	DECK	11,418 SF
LEVEL 8	DECK	9,580 SF
SUBTOTAL		60,857 SF
INTERIOR OPEN SPACE		
LEVEL 1	AMENITY	7,786 SF
LEVEL 4 - PODIUM	AMENITY	9,373 SF
LEVEL 8	AMENITY	1,926 SF
SUBTOTAL		19,085 SF
PRIVATE OPEN SPACE		
LEVEL 4 - PODIUM	BALCONY	3,450 SF
LEVEL 5	BALCONY	3,200 SF
LEVEL 6	BALCONY	3,750 SF
LEVEL 7	BALCONY	3,750 SF
LEVEL 8	BALCONY	3,400 SF
SUBTOTAL		17,550 SF
TOTAL PROVIDED		97,551 SF
TOTAL REQUIRED		66,950 SF

- COMMON OPEN SPACE**
PER LAMC SEC 12.21G
- #1 REQUIREMENTS**
A. OPEN TO THE SKY
B. ACCESSIBILITY TO ALL RESIDENTS
C. 400 SF MINIMUM W/ NO HORIZONTAL DIMENSION LESS THAN 15'
- #2 RECREATIONAL AMENITIES**
A. POOLS, SPA, PICNIC TABLES, BENCHES, CHILDREN'S PLAY AREAS, BALL COURTS, BBQ, SITTING AREAS
- #3 PLANTING**
A. 25% MIN OF OPEN SPACE SHALL BE PLANTED
B. (1) 24" BOX TREE FOR EVERY 4 DWELLING UNITS
C. APPROPRIATE SOIL DEPTH (30" TREES) (12" GROUNDCOVER)
D. DIRECTOR OF PLANNING HAS THE AUTHORITY TO APPROVE OR DISSAPROVE THE PLANS
- #4 PROVISIONS**
A. RECREATION ROOMS (AT LEAST 600 SF) CAN QUALIFY FOR UP TO 25% OF TOTAL REQUIRED OPEN SPACE.



LEVEL 8
SCALE: 1" = 50'-0"

14,876 SF



LEVEL 7
SCALE: 1" = 50'-0"

3,700 SF



Level 6
SCALE: 1" = 50'-0"

3,750 SF

An ordinance amending Section 12.04 of the Los Angeles Municipal Code by amending the zoning map.

THE PEOPLE OF THE CITY OF LOS ANGELES DO ORDAIN AS FOLLOWS:

Section 1. Section 12.04 of the Los Angeles Municipal Code is hereby amended by changing the zone classifications of properties shown upon a portion of the Zoning Map incorporated therein and made a part of Article 2, Chapter 1 of the LAMC, so that such portion of the Zoning Map shall conform to the zoning on the map attached hereto and incorporated herein by this reference.

(Q) Qualified Conditions of Approval
As modified by the Planning and Land Use Management Committee on June 5, 2018

Pursuant to Section 12.32 G of the Municipal code, the following limitations are hereby imposed upon the use of the subject property, subject to the "Q" Qualified classification.

A. Entitlement Conditions

- Project Description.** Master Plan development resulting in a mixed-use retail, commercial, office, hotel, and residential project totaling approximately 3,072,956 square feet of floor area. The existing structures, cinema, and one outparcel developed with a Staples store will be maintained and 77,933 square feet of the existing structures will be demolished. The project will result in a total net new floor area of approximately 2,058,215 square feet consisting of:
 - 331,838 square feet of retail/restaurant uses,
 - 143,377 square feet of office uses,
 - 346,500 square feet of hotel uses providing up to 400 hotel rooms, and
 - 1,234,500 square feet of residential uses within 961 residential units (551 condominiums and 410 apartments).The existing mall structures, areas, uses and/or operations, which may include tenant improvements, additions, alterations, modifications and/or required structural improvements are not a part of the project and shall not be subject to these "Q" Qualified Conditions of Approval.
- Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials stamped "Exhibit A" and dated March 2017, and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning, and written approval by the Director of Planning, with each change being identified and justified in writing. Minor deviations may be allowed in order to comply with provisions of the Municipal Code, the subject conditions, and the intent of the subject permit authorization.
- Ordinance No. 162,020.** Establishment of the project approvals associated with CPC-2015-4398-GPA-ZC-HD-ZAD-CU shall supersede and replace the "Q" condition established by Ordinance No. 162,020.
- Historic Preservation Plan.** Prior to the issuance of any building permits for the exterior and interior renovation to the Broadway and May Company buildings, the applicant shall submit a Historic Preservation Plan for the review and approval of the Department of City Planning, Office of Historic Resources (OHR). The content and format of the Historic Preservation Plan must be approved by OHR before it is submitted for approval.
- Site Plan Review.** The applicant shall file a Site Plan Review with the Department of City Planning pursuant to Section 16.05 of the LAMC prior to the development of each proposed project component (eg. residential, retail village, office, hotel, parking structures). The application shall include a site plan, floor plans, elevations, and a landscape plan.
 - LAMC Sections 16.05-D and 16.05-I shall not be applicable;

the monitor or if the non-compliance is repeated. Such non-compliance shall be appropriately addressed by the Enforcement Agency.

B. Administrative Conditions

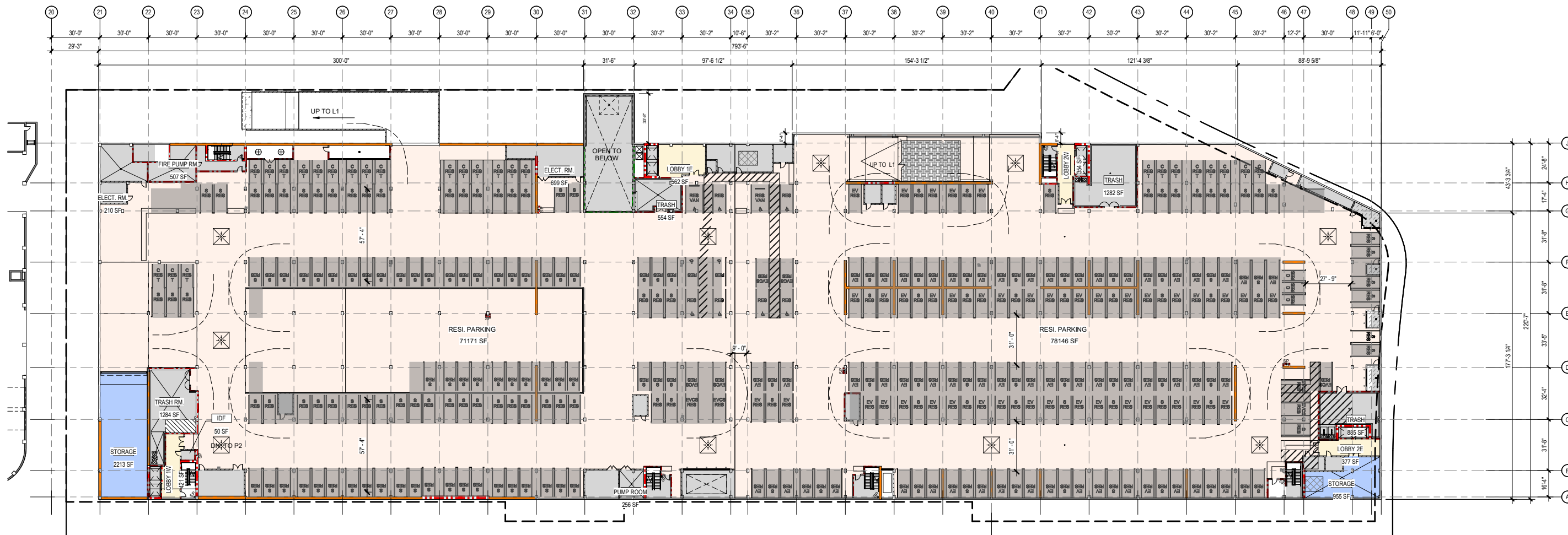
- Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, reviews or approval, plans, etc, as may be required by the subject conditions, shall be provided to the Planning Department for placement in the subject file.
- Code Compliance.** Area, height and use regulations of the zone classification of the subject property shall be complied with, except wherein these conditions explicitly allow otherwise.
- Covenant.** Prior to the issuance of any permits relative to this matter, an agreement concerning all the information contained in these conditions shall be recorded in the County Recorder's Office. The agreement shall run with the land and shall be binding on any subsequent property owners, heirs or assign. The agreement must be submitted to the Planning Department for approval before being recorded. After recordation, a copy bearing the Recorder's number and date shall be provided to the Planning Department for attachment to the file.
- Definition.** Any agencies, public officials or legislation referenced in these conditions shall mean those agencies, public offices, legislation or their successors, designees or amendment to any legislation.
- Enforcement.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Planning Department and any designated agency, or the agency's successor and in accordance with any stated laws or regulations, or any amendments thereto.
- Building Plans.** Page 1 of the grant and all the conditions of approval shall be printed on the building plans submitted to the City Planning Department and the Department of Building and Safety.
- Indemnification and Reimbursement of Litigation Costs.** Applicant shall do all of the following:
 - Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
 - Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
 - Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion,



- In addition to the provisions of LAMC Section 16.05-E.4, a "Supplemental EIR", an "Addendum", or a "Subsequent EIR" shall be acceptable to satisfy the requirements of CEQA;
 - Appeals shall be heard by the City Planning Commission, the original decision-maker, in lieu of the Area Planning Commission as otherwise specified in LAMC Section 16.05-H.1; and
 - No single phase shall consist of less than 50 dwelling units or guest rooms, or 50,000 square feet of net new non-residential floor area.
7. **Zoning.** In compliance with the LAMC, uses permitted in the C2 Zone shall apply to the project site.
8. **Parking.** Parking shall be in compliance with the LAMC, except as otherwise authorized herein.
9. **Development Agreement.** Prior to the issuance of a building permit for any phase within the project, the Department of Building and Safety shall confirm that the public benefits, as identified in Case No. CPC-2016-3681-DA, have been satisfied.
10. **Mitigation Monitoring Program.** The project shall be in substantial conformance with the mitigation measures in the attached MMP and stamped "Exhibit B" and attached to the subject case file. The implementing and enforcing agencies may determine substantial conformance with mitigation measures in the MMP. If substantial conformance results in effectively deleting or modifying the mitigation measure, the Director of Planning shall provide a written justification supported by substantial evidence as to why the mitigation measure, in whole or in part, is no longer needed and its effective deletion or modification will not result in a new significant impact or a more severe impact to a previously identified significant impact.
- If the Project is not in substantial conformance to the adopted mitigation measures or MMP, a modification or deletion shall be treated as a new discretionary action under CEQA Guidelines, Section 15162(c) and will require preparation of an addendum or subsequent CEQA clearance. Under this process, the modification or deletion of a mitigation measure shall not require a Zone Change unless the Director of Planning also finds that the change to the mitigation measures results in a substantial change to the Project or the non-environmental conditions of approval.
10. **Mitigation Monitor.** During the construction phase and prior to the issuance of building permits, the applicant shall retain an independent Construction Monitor (either via the City or through a third-party consultant), approved by the Department of City Planning, who shall be responsible for monitoring implementation of project design features and mitigation measures during construction activities consistent with the monitoring phase and frequency set forth in this MMP.
- The Construction Monitor shall also prepare documentation of the applicant's compliance with the project design features and mitigation measures during construction every 90 days in a form satisfactory to the Department of City Planning. The documentation must be signed by the applicant and Construction Monitor and be included as part of the applicant's Compliance Report. The Construction Monitor shall be obligated to immediately report to the Enforcement Agency any non-compliance with the mitigation measures and project design features within two business days if the applicant does not correct the non-compliance within a reasonable time of notification to the applicant by

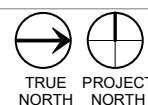
- based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
 - Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
 - If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.
- The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.
- The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.
- For purposes of this condition, the following definitions apply:
- "City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.
- "Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.
- Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

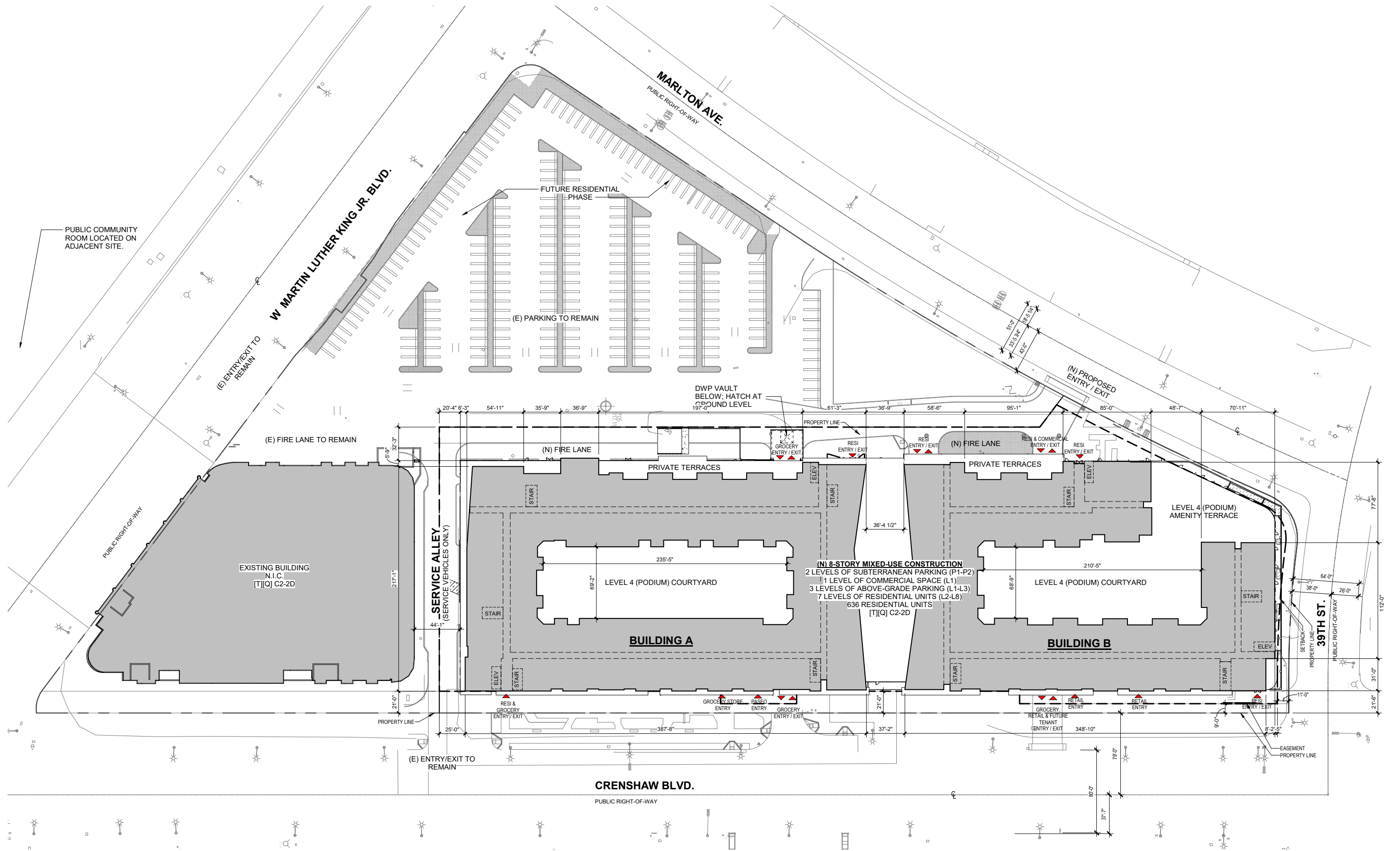
<p>Case No. CPC-2015-4398-GPA-ZC-HD-ZAD-CU</p> <p>D-1</p> <p>"D" Development Limitation Conditions of Approval</p> <p>Pursuant to Section 12.32 G of the Municipal code, the following limitations are hereby imposed upon the use of the subject property, subject to the "D" Development Limitations.</p> <p>1. Ordinance No. 165,481. Establishment of the project approvals associated with CPC-2015-4398-GPA-ZC-HD-ZAD-CU shall supersede and replace the "D" Limitation established by Ordinance No. 165,481.</p> <p>2. Floor Area. The project shall be limited to a 3:1 Floor Area Ratio across the entire site.</p>	<p>DECLARATION OF POSTING ORDINANCE</p> <p>I, <u>Juan Luis (Luigi) Verano</u>, state as follows: I am, and was at all times hereinafter mentioned, a resident of the State of California, over the age of eighteen years, and a Deputy City Clerk of the City of Los Angeles, California.</p> <p>Ordinance No. <u>185631</u> - a copy of which is hereto attached, was finally adopted by the Los Angeles City Council on <u>06/27/2018</u>, and under the direction of said City Council and the City Clerk, pursuant to Section 251 of the Charter of the City of Los Angeles and Ordinance No. 172959, I conspicuously posted a true copy of said ordinance at each of the three public places located in the City of Los Angeles, California, as follows: 1) one copy on the bulletin board located at the Main Street entrance to the Los Angeles City Hall; 2) one copy on the bulletin board located at the Main Street entrance to the Los Angeles City Hall East; 3) one copy on the bulletin board located at the Temple Street entrance to the Los Angeles County Hall of Records beginning on <u>06/29/2018</u> and will be continuously posted for ten or more days.</p> <p>I declare under penalty of perjury that the foregoing is true and correct.</p> <p> Deputy Clerk Date: <u>06/28/2018</u></p> <p>Ordinance Effective Date: <u>08/08/2018</u> Council File No.: <u>17-0872-S1</u></p>		
<p>Sec. ____ The City Clerk shall certify to the passage of this ordinance and have it published in accordance with Council policy, either in a daily newspaper circulated in the City of Los Angeles or by posting for ten days in three public places in the City of Los Angeles: one copy on the bulletin board located at the Main Street entrance to the Los Angeles City Hall; one copy on the bulletin board located at the Main Street entrance to the Los Angeles City Hall East; and one copy on the bulletin board located at the Temple Street entrance to the Los Angeles County Hall of Records.</p> <p>Pursuant to Section 559 of the City Charter, I DISAPPROVE this ordinance on behalf of the City Planning Commission and recommend that it NOT BE ADOPTED.</p> <p>By <u>Vincent P. Bortoni</u>, AICP Director of Planning Date <u>6/8/18</u> File No. <u>17-0872-S1</u></p> <p>CITY CLERK MAYOR</p> <p> </p> <p>Ordinance Passed <u>06/27/2018</u> Approved <u>06/27/2018</u> Ordinance Effective Date: <u>08/08/2018</u> Council File No.: <u>17-0872-S1</u></p>			

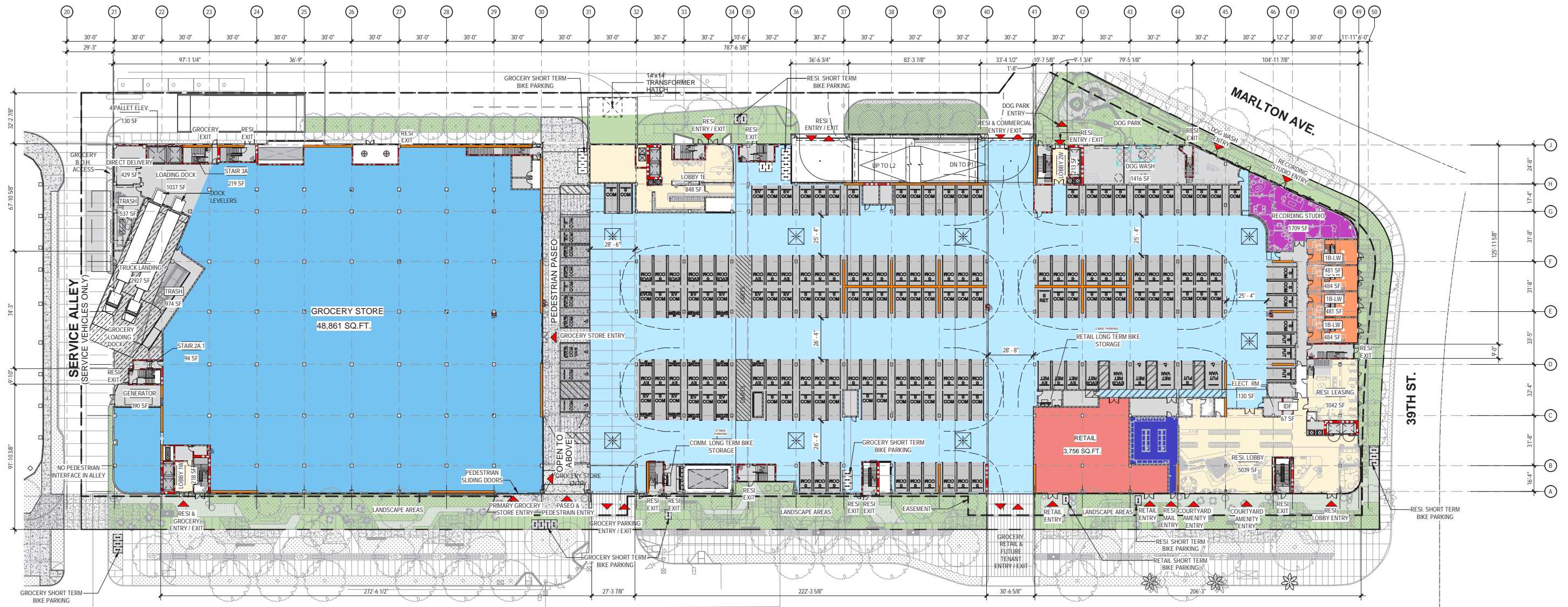


PROGRAM LEGEND

- | | |
|---------|---------------------|
| Amenity | Residential Parking |
| Lobby | Service |







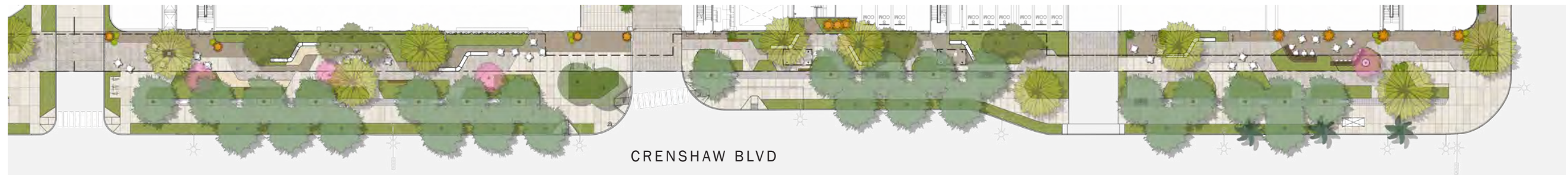
LEVEL 1 OVERALL PLAN
SCALE: 1" = 30'-0"

CRENSHAW BLVD.

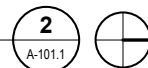


PROGRAM LEGEND

- | | | | | |
|--------------------|------------|------------------|------------|---------|
| Commercial Parking | Lobby | PARCEL PENDING | RESI-1B-LW | Service |
| Grocery | Open Space | Recording Studio | Retail | |



LEVEL 1 PASEO (ENT)
SCALE: 1" = 30'-0"

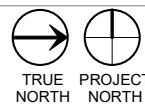


AC MARTIN

PHASE 1 OF THE BALDWIN HILLS CRENSHAW PLAZA PROJECT

1875 Century Park East, Suite 1130, Los Angeles, CA 90067

PLANS STAMPED 02/22/2024 BY P.CAPORASO
project no | 2107034



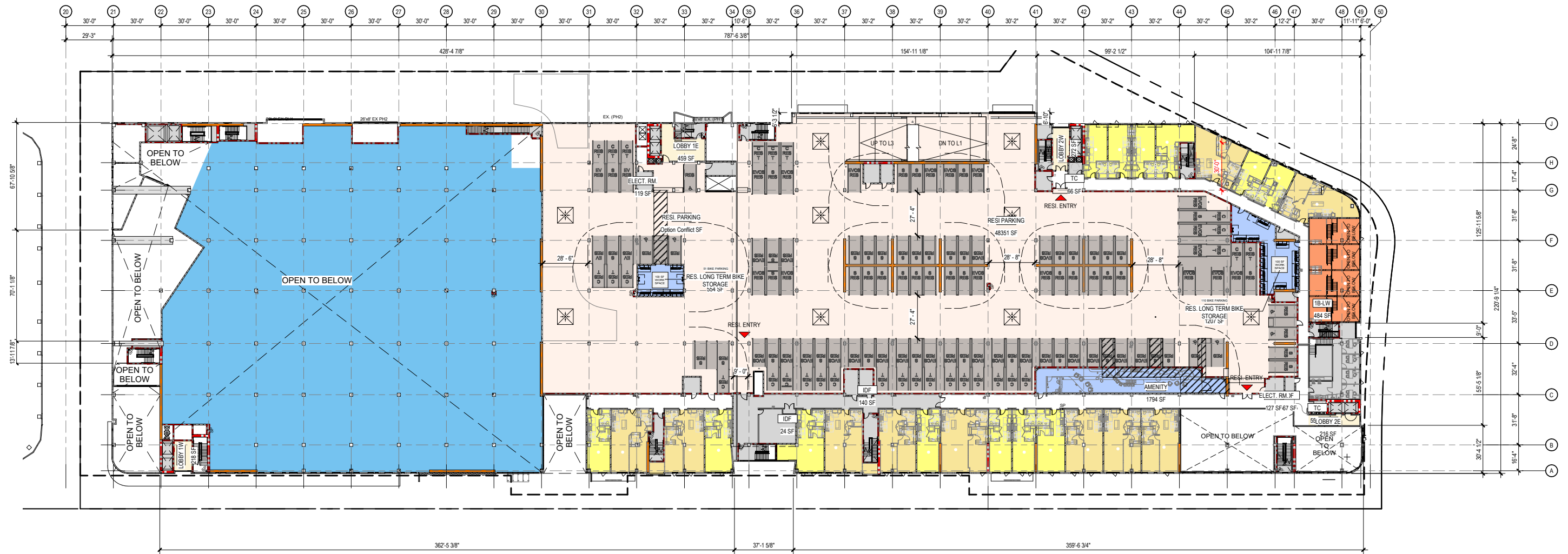
HAAS BHCP Property Owner, LLC

EXHIBIT "A"
Page No. 23 of 53
Case No. DIR-2023-6342-SPR

LEVEL 1 OVERALL PLAN

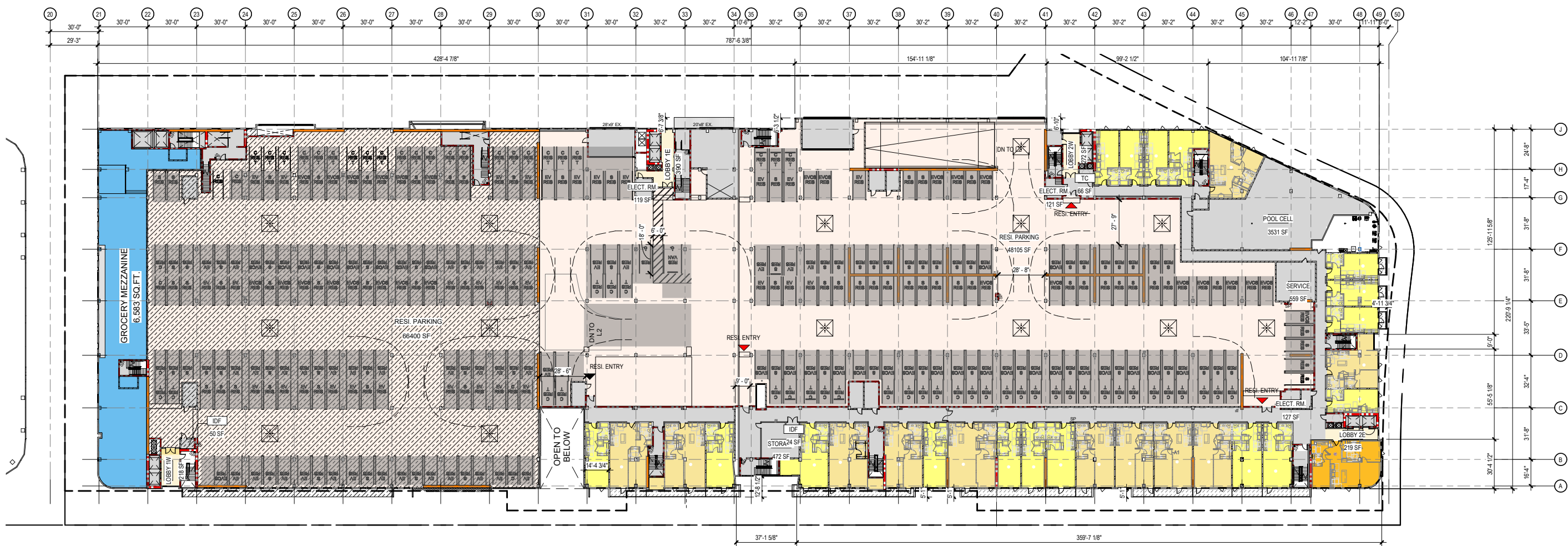
A-101.1

1" = 30'-0"



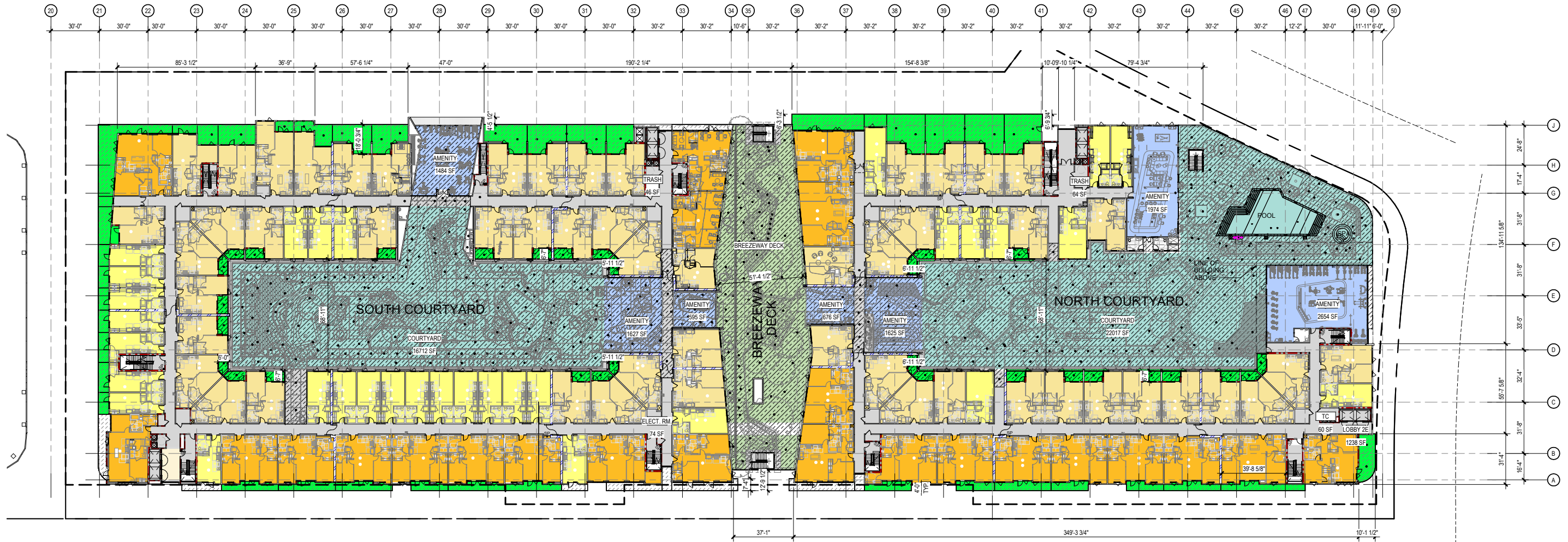
PROGRAM LEGEND

Amenity	Lobby	RESI-1B-LW	Residential Parking
Grocery	RESI-1B	RESI-STUDIO	Service



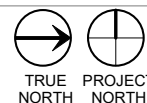
PROGRAM LEGEND

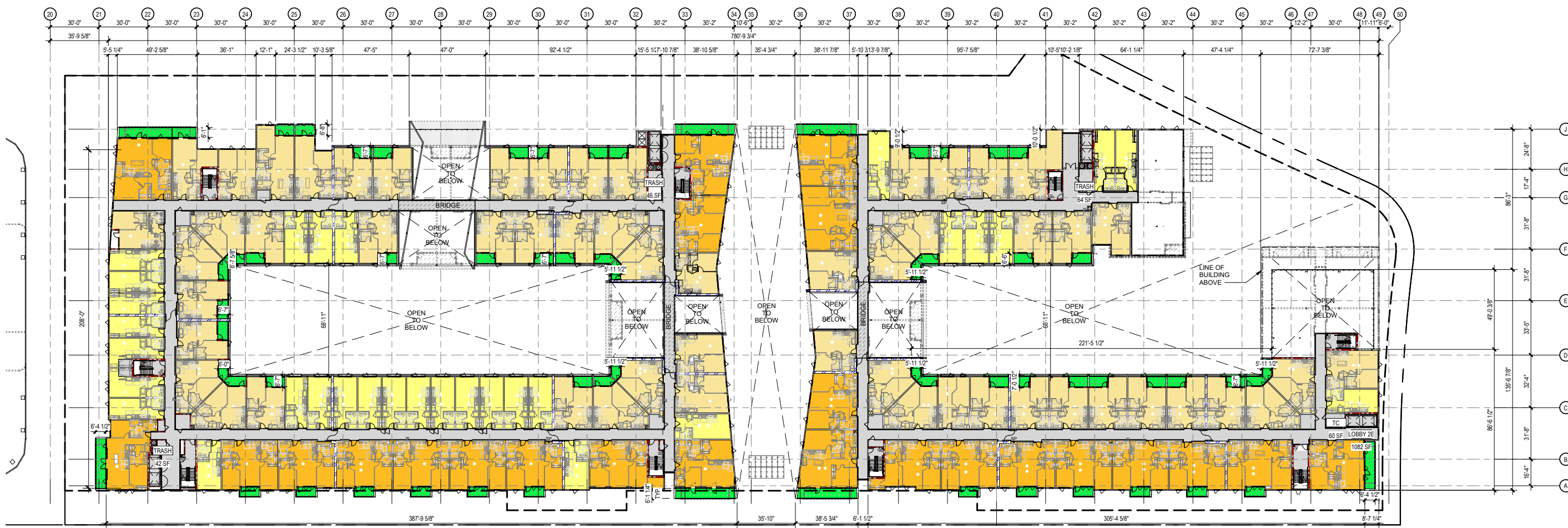
 Lobby	 RESI-2B	 Residential	 Service
 RESI-1B	 RESI-STUDIO	 Residential Parking	



PROGRAM LEGEND

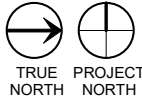
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|---------|-----------|------------|-------------|---------|
| Amenity | Courtyard | Open Space | RESI-2B | Service |
| Balcony | Lobby | RESI-1B | RESI-STUDIO | |

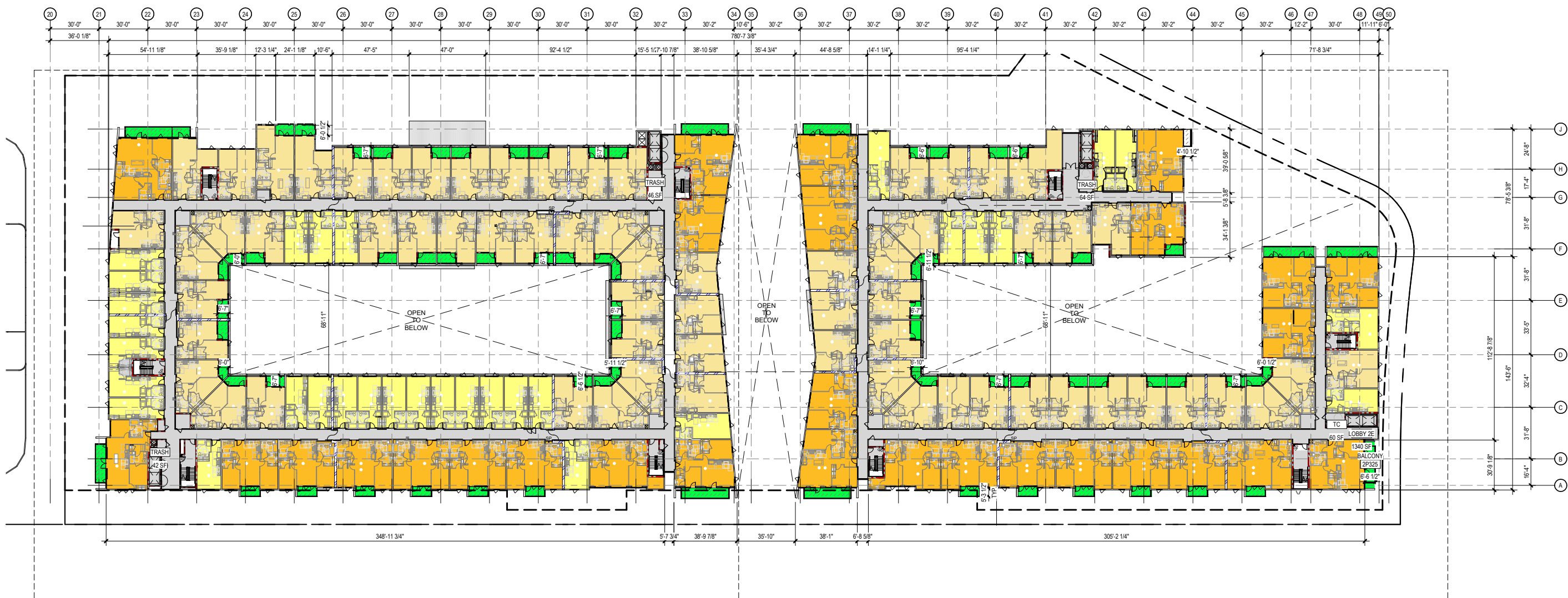




PROGRAM LEGEND

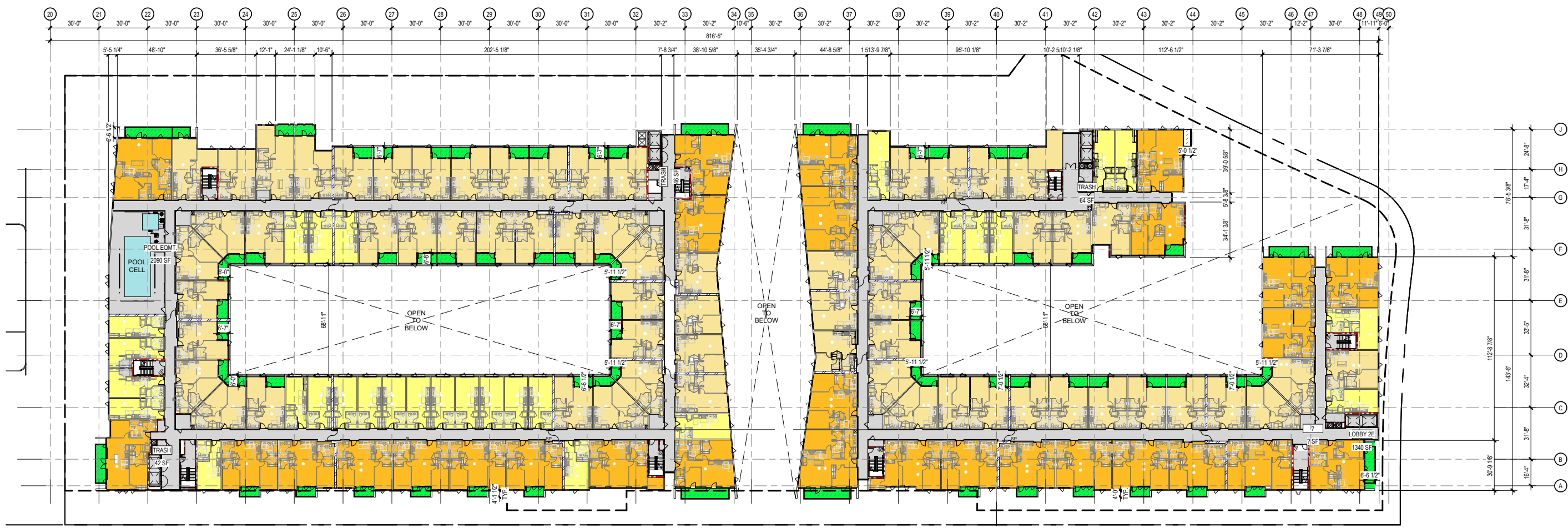
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| Balcony | RESI-1B | RESI-STUDIO |
| Lobby | RESI-2B | Service |





PROGRAM LEGEND

- | | | |
|--|--|---|
| Balcony | RESI-1B | RESI-STUDIO |
| Lobby | RESI-2B | Service |

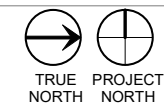


PROGRAM LEGEND

- | | | |
|---------|---------|-------------|
| Balcony | RESI-1B | RESI-STUDIO |
| Lobby | RESI-2B | Service |



PHASE 1 OF THE BALDWIN HILLS CRENSHAW PLAZA PROJECT
1875 Century Park East, Suite 1130, Los Angeles, CA 90067
PLANS STAMPED 02/22/2024 BY P.CAPORASO
project no | 2107034



HAAS BHCP Property Owner, LLC

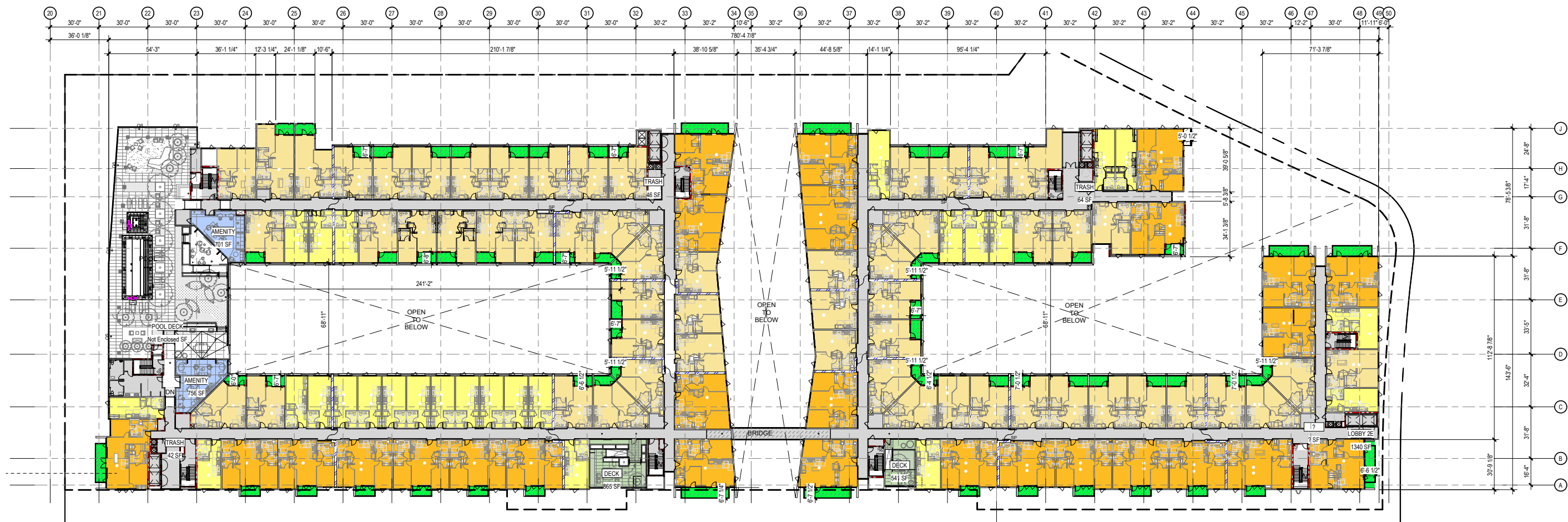
EXHIBIT "A"

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Case No. DIR-2023-6342-SPR

LEVEL 7 OVERALL PLAN

A-107



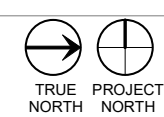
PROGRAM LEGEND

- | | | | |
|---------|------------|---------|-------------|
| Amenity | Lobby | RESI-1B | RESI-STUDIO |
| Balcony | Open Space | RESI-2B | Service |



PHASE 1 OF THE BALDWIN HILLS CRENSHAW PLAZA PROJECT

1875 Century Park East, Suite 1130, Los Angeles, CA 90067
PLANS STAMPED 02/22/2024 BY P.CAPORASO
project no | 2107034



HAAS BHCP Property Owner, LLC

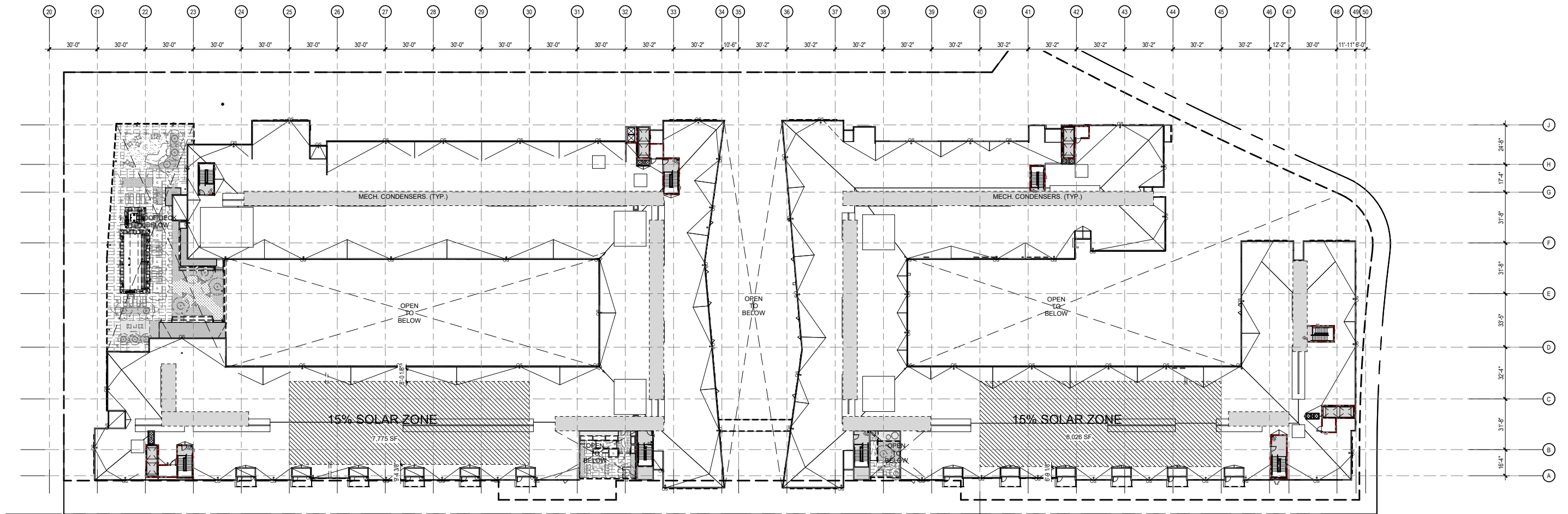
EXHIBIT "A"

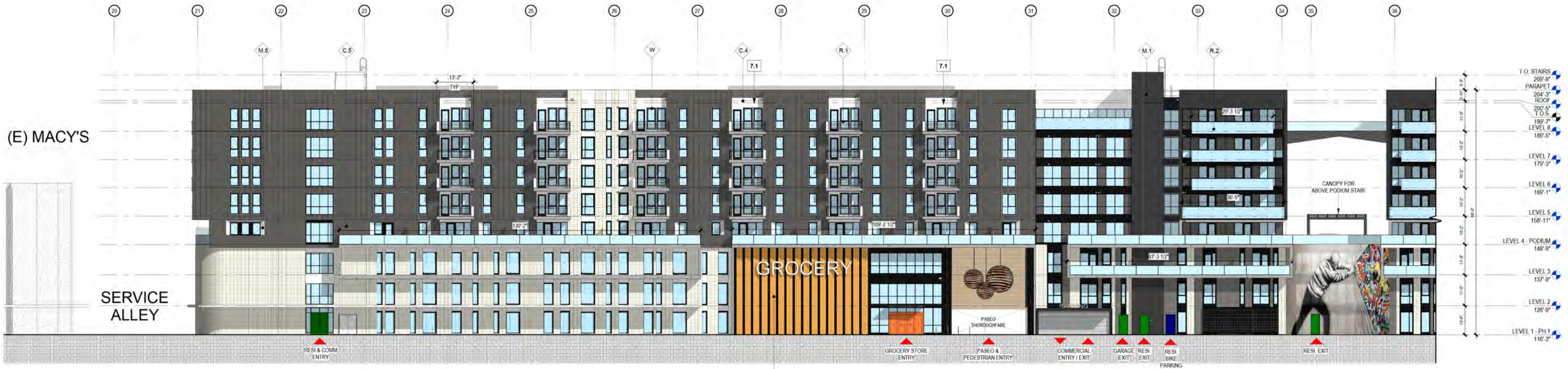
Page No. 30 of 53

Case No. DIR-2023-6342-SPR

LEVEL 8 OVERALL PLAN

A-108





EAST ELEVATION (CRENSHAW BLVD) - BUILDING A
SCALE: 1/16" = 1'-0"

1
A-201



OVERALL EAST ELEV. (CRENSHAW BLVD) - BUILDING A & B
SCALE: 1" = 50'-0"

2
A-201

MATERIAL SCHEDULE - PZA		
BUILDING COMPONENT		COLOR
A1	STUCCO (WHITE) INTEGRAL SMOOTH - 20/30	OMEGA AKROFLEX - 9240 IVORY
C.1	EXPOSED CONCRETE FINISH	NATURAL GREY
C.2	CONCRETE BLOCK VENEER	WHITE
C.3	CONCRETE BLOCK VENEER	JET BLACK
C.4	EXTERIOR CEMENT PLASTER W/ STUCCO CONTROL JOINTS	COLORTEK STUCCO, PAINT #9501 PAINT REVEALS SAME COLOR
C.5	EXTERIOR CEMENT PLASTER W/ STUCCO CONTROL JOINTS	ONYX PPG1011-7 / PAINT REVEALS: PPG DURANAR LIQUID COATING - BLACK UC40577
G.1	VISION WALL ALUMINUM STOREFRONT	FRAME = PAINT ONYX PPG1011-7
G.2	SPANDREL ALUMINUM STOREFRONT	FRAME = PAINT ONYX PPG1011-7
G.3	SPANDREL ALUMINUM STOREFRONT	FRAME = PAINT: PPG DURANAR LIQUID COATING - BLACK UC40577/ GLASS = CUSTOM ART PIECE (TO BE DETERMINED)
M.1	VERTICAL METAL SIDING PANEL	PPG DURANAR SUNSTORM; GRAPHITE GRAY UC110628F
M.2	EXPANDED METAL MESH	PAINT: PPG DURANAR LIQUID COATING - BLACK UC40577
M.3	METAL PANEL CANOPY	PAINT: PPG DURANAR LIQUID COATING - BLACK UC40577
M.4	CLAD METAL CANOPY	FOCUS BLACK II
M.5	BRAKE METAL PANEL	MATCH SIMILAR COLOR AS (C.4) MATERIAL
M.6	BRAKE METAL PANEL	ONYX, PPG1011-7
M.7	CHAIN LINK	N/A
P	PAINT ON VARIOUS WALL TYPES	ONYX, PPG1011-7
R.1	CABLE GUARD RAILING	HANSEN MATTE BLACK FRAME
R.2	GLASS GUARD RAILING	FRAME = PPG DURANAR LIQUID COATING - BLACK UC40577 / GLASS = VISION
R.4		
T	EXTERIOR CLADDING	FRENCH WALNUT
W	VINYL WINDOW	FRAME = PAINT: PPG DURANAR LIQUID COATING
W.2	VINYL WINDOW W/ SPANDREL GLAZING	FRAME = PAINT ONYX PPG1011-7



EAST ELEVATION (CRENSHAW BLVD) - BUILDING B

SCALE: 1/16" = 1'-0"

1

A-202



OVERALL EAST ELEV. (CRENSHAW BLVD) - BUILDING A & B

SCALE: 1" = 50'-0"

2

A-202

MATERIAL SCHEDULE - PZA

BUILDING COMPONENT		COLOR
A1	STUCCO (WHITE) INTEGRAL SMOOTH - 20/30	OMEGA AKROFLEX - 9240 IVORY
C.1	EXPOSED CONCRETE FINISH	NATURAL GREY
C.2	CONCRETE BLOCK VENEER	WHITE
C.3	CONCRETE BLOCK VENEER	JET BLACK
C.4	EXTERIOR CEMENT PLASTER W/ STUCCO CONTROL JOINTS	COLORTEK STUCCO: PAINT #9501 PAINT REVEALS SAME COLOR
C.5	EXTERIOR CEMENT PLASTER W/ STUCCO CONTROL JOINTS	ONYX PPG1011-7 / PAINT REVEALS: PPG DURANAR LIQUID COATING - BLACK UC40577
G.1	VISION WALL ALUMINUM STOREFRONT	FRAME = PAINT ONYX PPG1011-7
G.2	SPANDREL ALUMINUM STOREFRONT	FRAME = PAINT ONYX PPG1011-7
G.3	SPANDREL ALUMINUM STOREFRONT	FRAME = PAINT: PPG DURANAR LIQUID COATING - BLACK UC40577 / GLASS = CUSTOM ART PIECE (TO BE DETERMINED)
M.1	VERTICAL METAL SIDING PANEL	PPG DURANAR SUNSTORM: GRAPHITE GRAY UC110628F
M.2	EXPANDED METAL MESH	PAINT: PPG DURANAR LIQUID COATING - BLACK UC40577
M.3	METAL PANEL CANOPY	PAINT: PPG DURANAR LIQUID COATING - BLACK UC40577
M.4	CLAD METAL CANOPY	FOCUS BLACK II
M.5	BRAKE METAL PANEL	MATCH SIMILAR COLOR AS (C.4) MATERIAL
M.6	BRAKE METAL PANEL	ONYX, PPG1011-7
M.7	CHAIN LINK	N/A
P	PAINT ON VARIOUS WALL TYPES	ONYX, PPG1011-7
R.1	CABLE GUARD RAILING	HANSEN MATTE BLACK FRAME
R.2	GLASS GUARD RAILING	FRAME = PPG DURANAR LIQUID COATING - BLACK UC40577 / GLASS = VISION
R.4	EXTERIOR CLADDING	FRENCH WALNUT
W	VINYL WINDOW	FRAME = PAINT: PPG DURANAR LIQUID COATING
W.2	VINYL WINDOW W/ SPANDREL GLAZING	FRAME = PAINT ONYX PPG1011-7



MONUMENT SIGNAGE

SCALE: 1/4" = 1'-0"

2

A-202.1



EAST ELEVATION (BUILDING B) - RESI. LOBBY

SCALE: 1/8" = 1'-0"

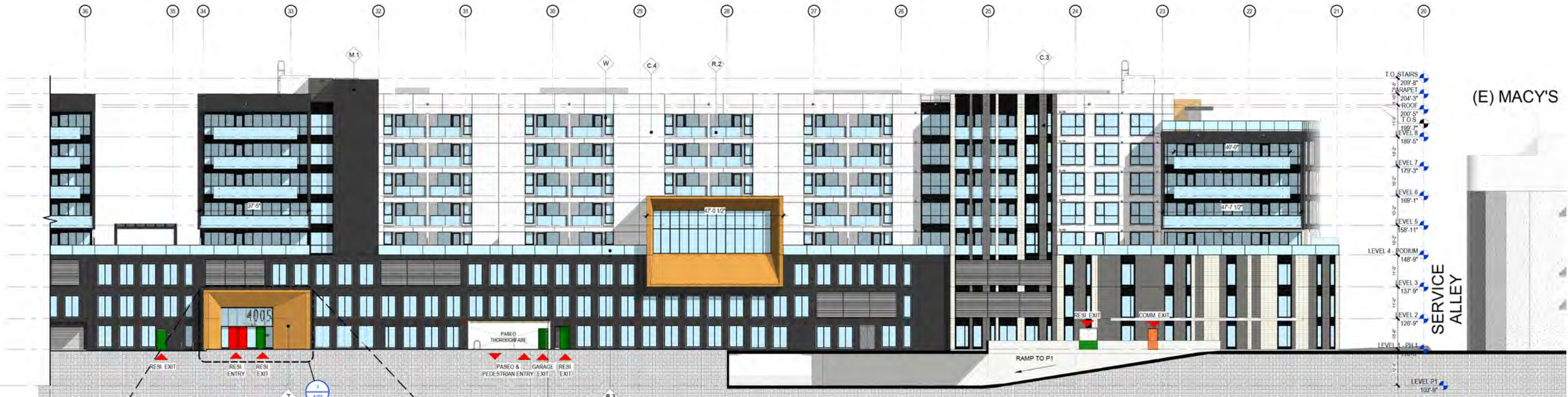
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A-202.1

EXHIBIT "A"

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Case No. DIR-2023-6342-SPR



WEST ELEVATION (FIRE ACCESS LANE) - BUILDING A

SCALE: 1/16" = 1'-0"

1

A-203

MATERIAL SCHEDULE - PZA		
BUILDING COMPONENT	COLOR	
A1 STUCCO (WHITE) INTEGRAL SMOOTH - 2030	OMEGA AKROFLEX - 9240 IVORY	
C.1 EXPOSED CONCRETE FINISH	NATURAL GREY	
C.2 CONCRETE BLOCK VENEER	WHITE	
C.3 CONCRETE BLOCK VENEER	JET BLACK	
C.4 EXTERIOR CEMENT PLASTER W/ STUCCO CONTROL JOINTS	COLORTEK STUCCO; PAINT #9501 PAINT REVEALS SAME COLOR	
C.5 EXTERIOR CEMENT PLASTER W/ STUCCO CONTROL JOINTS	ONYX PPG1011-7 / PAINT REVEALS: PPG DURANAR LIQUID COATING - BLACK UC40577	
G.1 VISION WALL ALUMINUM STOREFRONT	FRAME = PAINT ONYX PPG1011-7	
G.2 SPANDREL ALUMINUM STOREFRONT	FRAME = PAINT ONYX PPG1011-7	
G.3 SPANDREL ALUMINUM STOREFRONT	FRAME = PAINT: PPG DURANAR LIQUID COATING - BLACK UC40577 / GLASS = CUSTOM ART PIECE (TO BE DETERMINED)	
M.1 VERTICAL METAL SIDING PANEL	PPG DURANAR SUNSTORM; GRAPHITE GRAY UC110628F	
M.2 EXPANDED METAL MESH	PAINT: PPG DURANAR LIQUID COATING - BLACK UC40577	
M.3 METAL PANEL CANOPY	PAINT: PPG DURANAR LIQUID COATING - BLACK UC40577	
M.4 CLAD METAL CANOPY	FOCUS BLACK II	
M.5 BRAKE METAL PANEL	MATCH SIMILAR COLOR AS (C.4) MATERIAL	
M.6 BRAKE METAL PANEL	ONYX, PPG1011-7	
M.7 CHAIN LINK	N/A	
P PAINT ON VARIOUS WALL TYPES	ONYX, PPG1011-7	
R.1 CABLE GUARD RAILING	HANSEN MATTE BLACK FRAME	
R.2 GLASS GUARD RAILING	FRAME = PPG DURANAR LIQUID COATING - BLACK UC40577 / GLASS = VISION	
R.4 EXTERIOR CLADDING	FRENCH WALNUT	
W VINYL WINDOW	FRAME = PAINT: PPG DURANAR LIQUID COATING	
W.2 VINYL WINDOW W/ SPANDREL GLAZING	FRAME = PAINT ONYX PPG1011-7	



WEST RESI ENTRANCE

SCALE: 1/4" = 1'-0"

3

A-203



OVERALL WEST ELEV. (FIRE ACCESS LANE) - BUILDING A & B

SCALE: 1" = 50'-0"

2

A-203

AC MARTIN

PHASE 1 OF THE BALDWIN HILLS CRENSHAW PLAZA PROJECT

HAAS BHCP Property Owner, LLC

1875 Century Park East, Suite 1130, Los Angeles, CA 90067

PLANS STAMPED 02/22/2024 BY P.CAPORASO
project no | 2107034

EXHIBIT "A"
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WEST ELEVATION - BUILDING A

A-203



WEST ELEVATION (FIRE ACCESS LANE) - BUILDING B
SCALE: 1/16" = 1'-0"

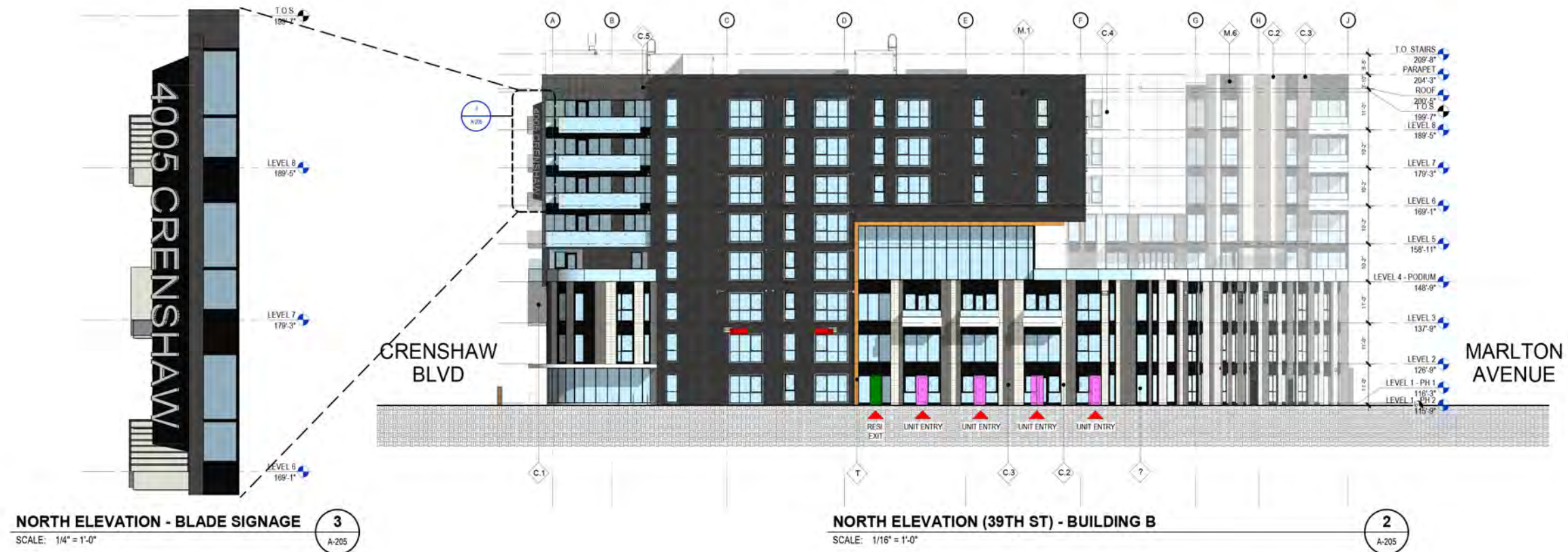
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A-204



OVERALL WEST ELEV. (FIRE ACCESS LANE) - BUILDING A & B
SCALE: 1" = 50'-0"

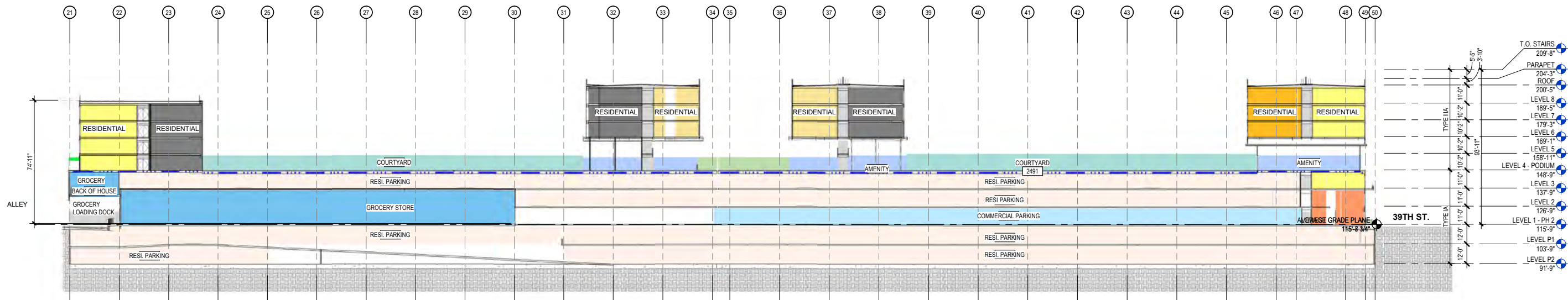
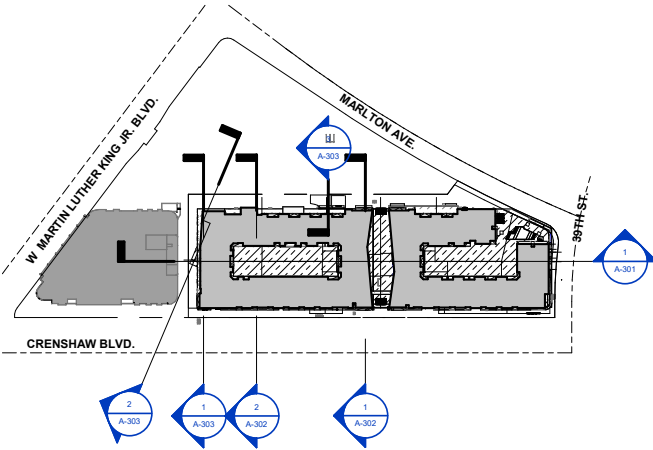
2
A-204

MATERIAL SCHEDULE - PZA		
BUILDING COMPONENT		COLOR
A1	STUCCO (WHITE) INTEGRAL SMOOTH - 20/30	OMEGA AKROFLEX - 9240 IVORY
C.1	EXPOSED CONCRETE FINISH	NATURAL GREY
C.2	CONCRETE BLOCK VENEER	WHITE
C.3	CONCRETE BLOCK VENEER	JET BLACK
C.4	EXTERIOR CEMENT PLASTER W/ STUCCO CONTROL JOINTS	COLORTEK STUCCO: PAINT #9501 PAINT REVEALS SAME COLOR
C.5	EXTERIOR CEMENT PLASTER W/ STUCCO CONTROL JOINTS	ONYX PPG1011-7 / PAINT REVEALS: PPG DURANAR LIQUID COATING - BLACK UC40577
G.1	VISION WALL ALUMINUM STOREFRONT	FRAME = PAINT ONYX PPG1011-7
G.2	SPANDREL ALUMINUM STOREFRONT	FRAME = PAINT ONYX PPG1011-7
G.3	SPANDREL ALUMINUM STOREFRONT	FRAME = PAINT: PPG DURANAR LIQUID COATING - BLACK UC40577 / GLASS = CUSTOM ART PIECE (TO BE DETERMINED)
M.1	VERTICAL METAL SIDING PANEL	PPG DURANAR SUNSTORM: GRAPHITE GRAY UC110628F
M.2	EXPANDED METAL MESH	PAINT: PPG DURANAR LIQUID COATING - BLACK UC40577
M.3	METAL PANEL CANOPY	PAINT: PPG DURANAR LIQUID COATING - BLACK UC40577
M.4	CLAD METAL CANOPY	FOCUS BLACK II
M.5	BRAKE METAL PANEL	MATCH SIMILAR COLOR AS (C.4) MATERIAL
M.6	BRAKE METAL PANEL	ONYX, PPG1011-7
M.7	CHAIN LINK	N/A
P	PAINT ON VARIOUS WALL TYPES	ONYX, PPG1011-7
R.1	CABLE GUARD RAILING	HANSEN MATTE BLACK FRAME
R.2	GLASS GUARD RAILING	FRAME = PPG DURANAR LIQUID COATING - BLACK UC40577 / GLASS = VISION
R.4	EXTERIOR CLADDING	FRENCH WALNUT
W	VINYL WINDOW	FRAME = PAINT: PPG DURANAR LIQUID COATING
W.2	VINYL WINDOW W/ SPANDREL GLAZING	FRAME = PAINT ONYX PPG1011-7

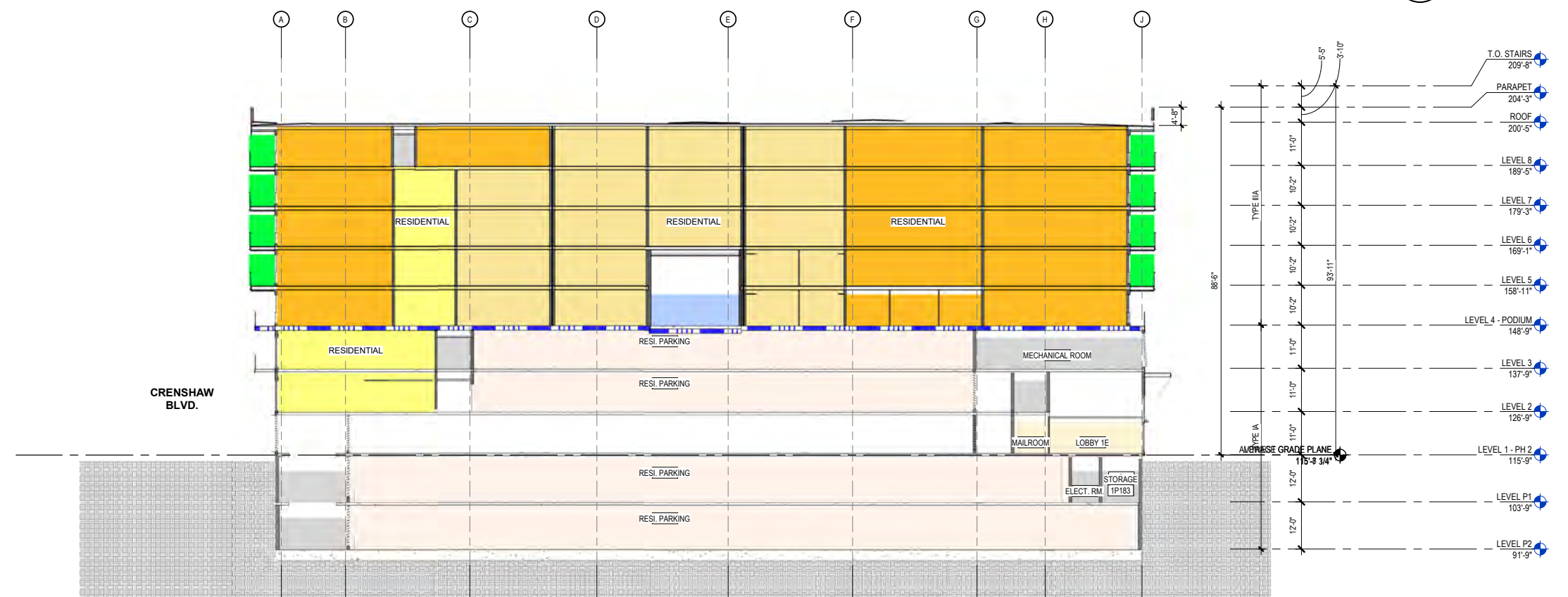
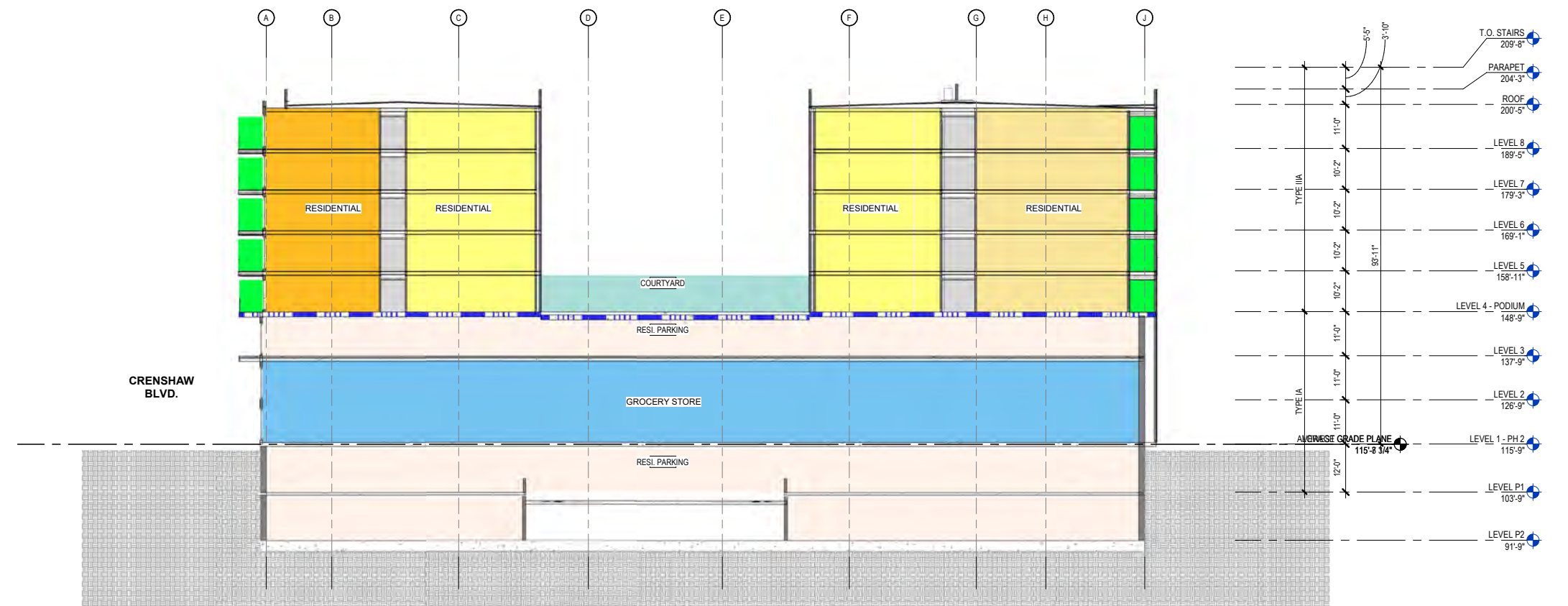


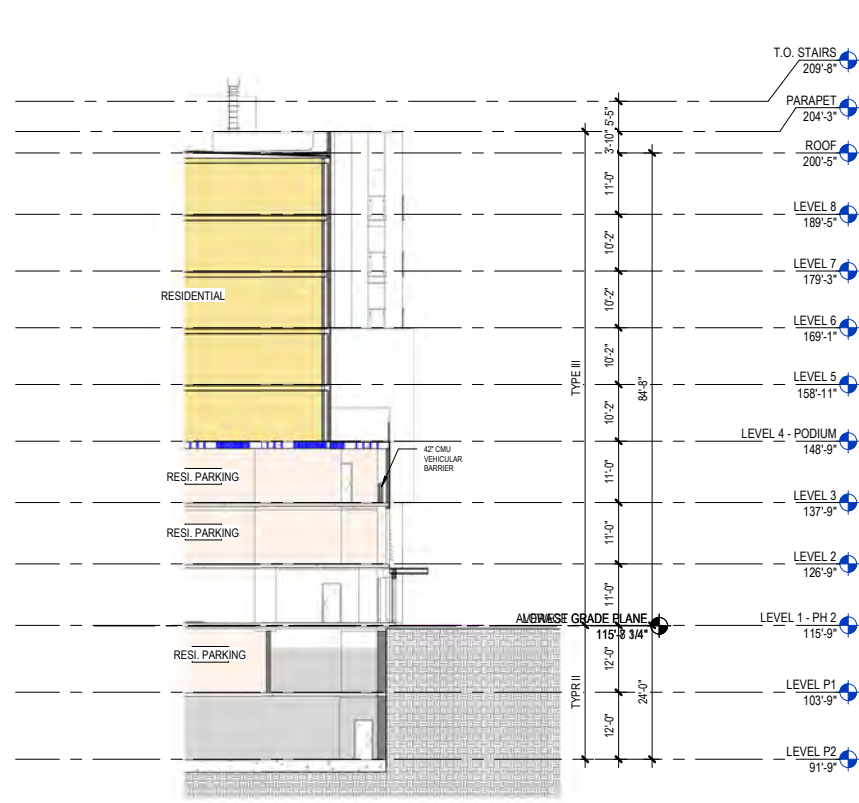
MATERIAL SCHEDULE - PZA		
BUILDING COMPONENT		COLOR
A1	STUCCO (WHITE) INTEGRAL SMOOTH - 20/30	OMEGA AKROFLEX - 9240 IVORY
C.1	EXPOSED CONCRETE FINISH	NATURAL GREY
C.2	CONCRETE BLOCK VENEER	WHITE
C.3	CONCRETE BLOCK VENEER	JET BLACK
C.4	EXTERIOR CEMENT PLASTER W/ STUCCO CONTROL JOINTS	COLORTEK STUCCO; PAINT #9501 PAINT REVEALS SAME COLOR
C.5	EXTERIOR CEMENT PLASTER W/ STUCCO CONTROL JOINTS	ONYX PPG1011-7 / PAINT REVEALS: PPG DURANAR LIQUID COATING - BLACK UC40577
G.1	VISION WALL ALUMINUM STOREFRONT	FRAME = PAINT ONYX PPG1011-7
G.2	SPANDREL ALUMINUM STOREFRONT	FRAME = PAINT ONYX PPG1011-7
G.3	SPANDREL ALUMINUM STOREFRONT	FRAME = PAINT; PPG DURANAR LIQUID COATING - BLACK UC40577 / GLASS = CUSTOM ART PIECE (TO BE DETERMINED)
M.1	VERTICAL METAL SIDING PANEL	PPG DURANAR SUNSTORM; GRAPHITE GRAY UC110528F
M.2	EXPANDED METAL MESH	PAINT: PPG DURANAR LIQUID COATING - BLACK UC40577
M.3	METAL PANEL CANOPY	PAINT: PPG DURANAR LIQUID COATING - BLACK UC40577
M.4	CLAD METAL CANOPY	FOCUS BLACK II
M.5	BRAKE METAL PANEL	MATCH SIMILAR COLOR AS (C.4) MATERIAL
M.6	BRAKE METAL PANEL	ONYX, PPG1011-7
M.7	CHAIN LINK	N/A
P	PAINT ON VARIOUS WALL TYPES	ONYX, PPG1011-7
R.1	CABLE GUARD RAILING	HANSEN MATTE BLACK FRAME
R.2	GLASS GUARD RAILING	FRAME = PPG DURANAR LIQUID COATING - BLACK UC40577 / GLASS = VISION
R.4		
T	EXTERIOR CLADDING	FRENCH WALNUT
W	VINYL WINDOW	FRAME = PAINT; PPG DURANAR LIQUID COATING
W.2	VINYL WINDOW W/ SPANDREL GLAZING	FRAME = PAINT ONYX PPG1011-7

KEYPLAN



Section 1
1" = 30'-0"



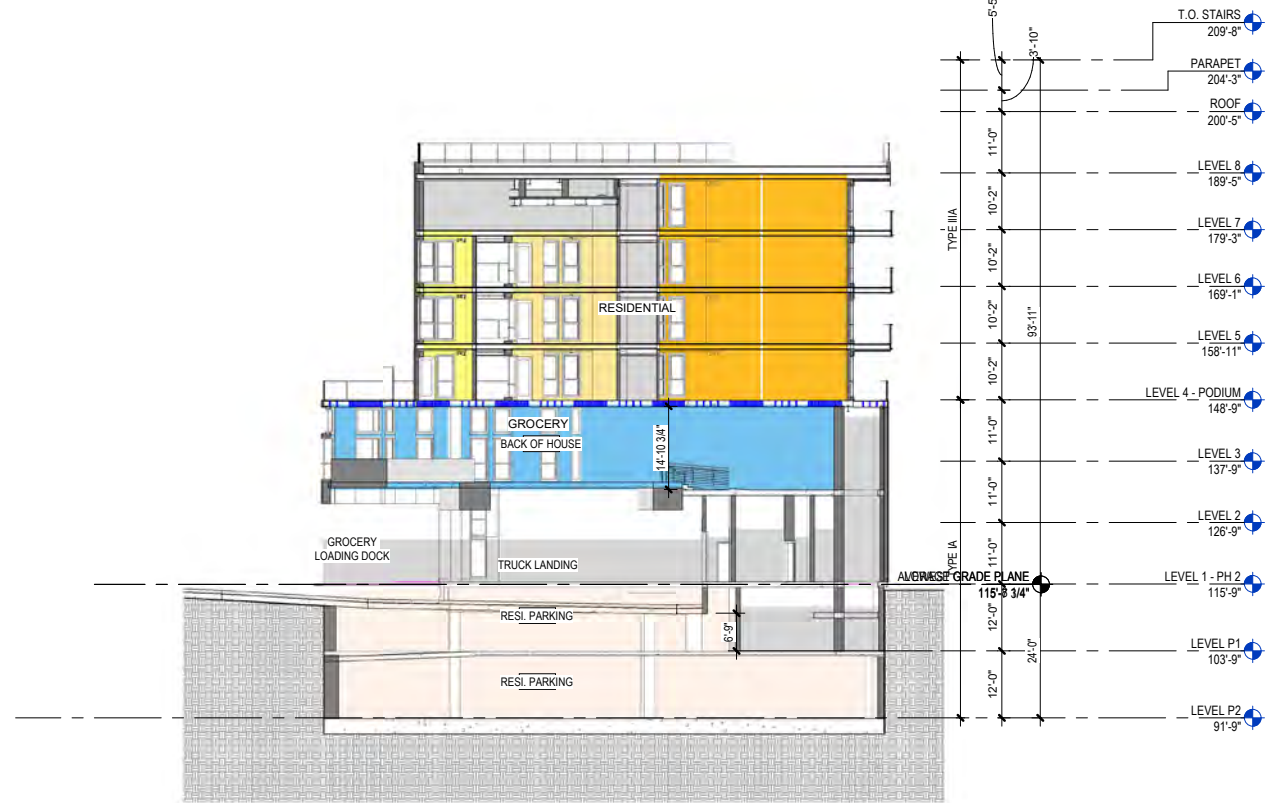


Section @ Vehicle Barrier

SCALE: 1/16" = 1'-0"

3

A-303

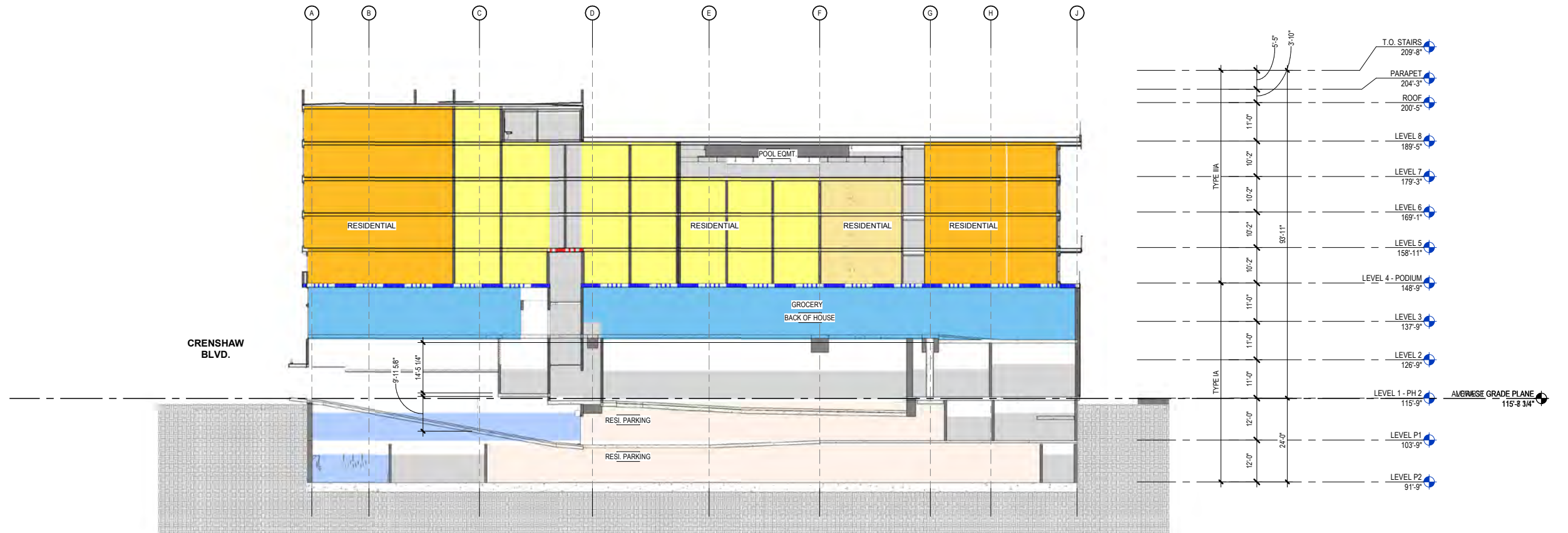


Cross Section @ Loading Dock

SCALE: 1/16" = 1'-0"

2

A-303

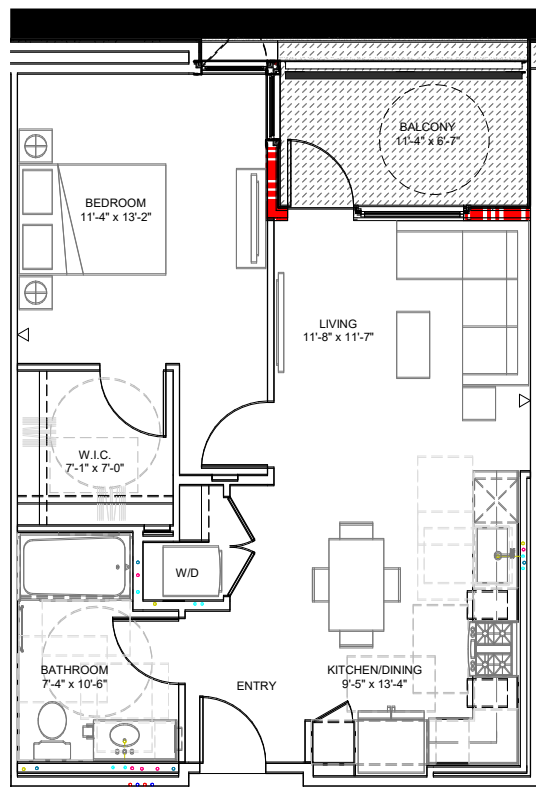


Crenshaw Ramp & Loading Dock Section

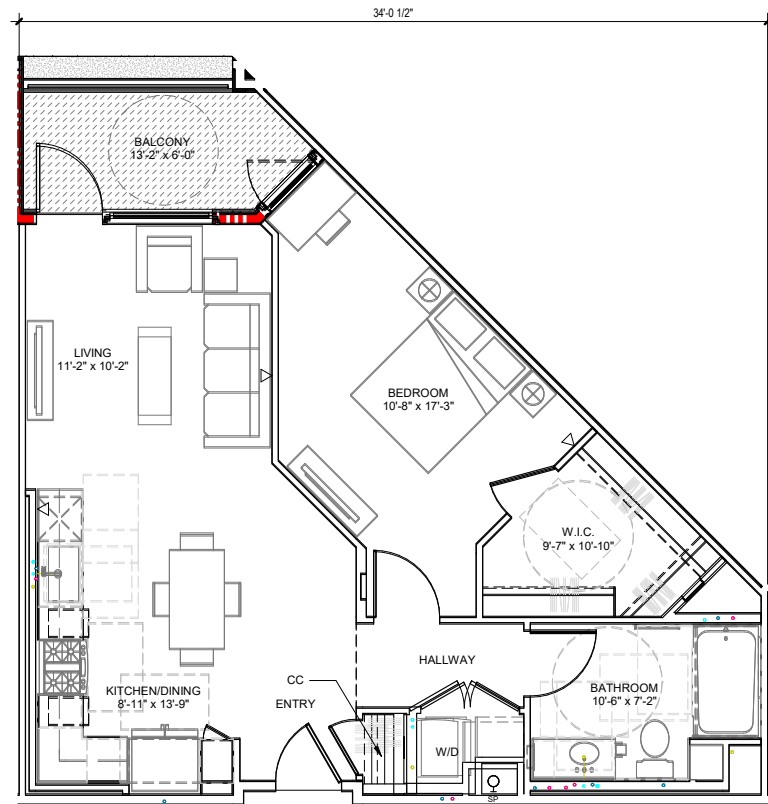
SCALE: 1/16" = 1'-0"

1

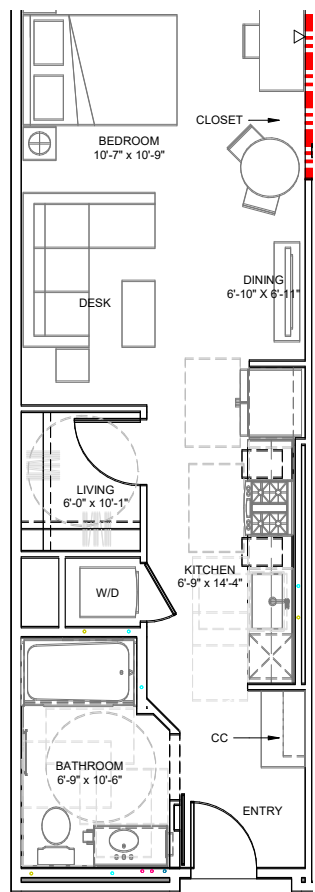
A-303



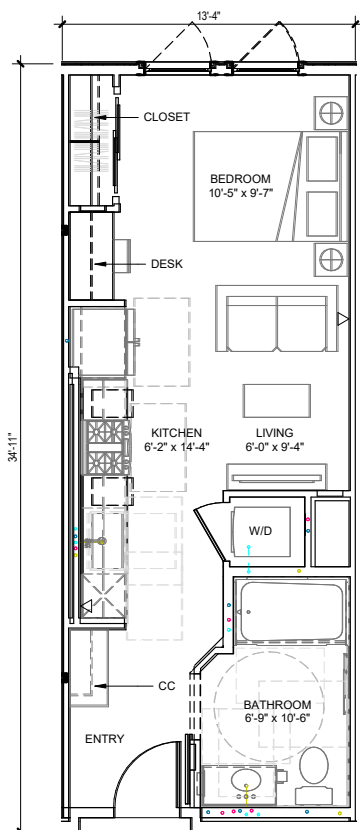
1B-A - ENLARGED PLAN
SCALE: 1/4" = 1'-0" 712 SF



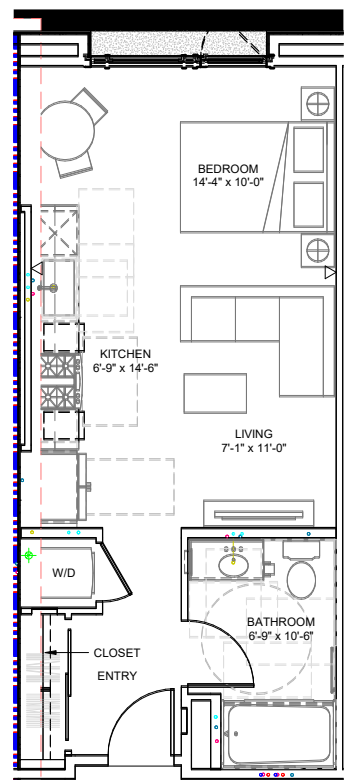
1B-B - ENLARGED PLAN
SCALE: 1/4" = 1'-0" 776 SF



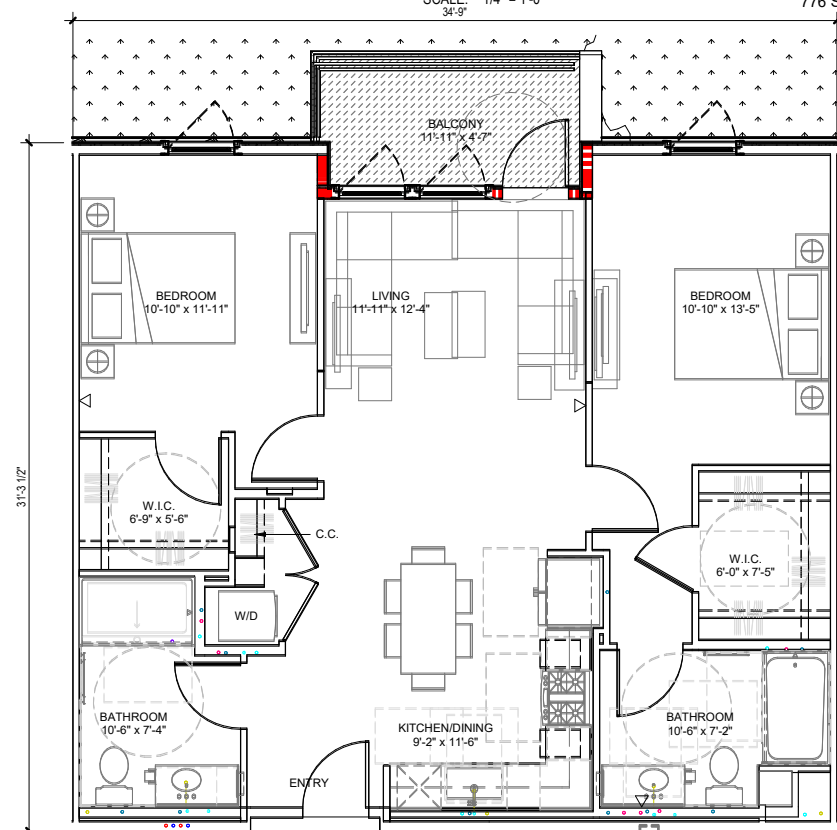
STUDIO - S2.3 - ENLARGED PLAN
SCALE: 1/4" = 1'-0" 527.5 SF



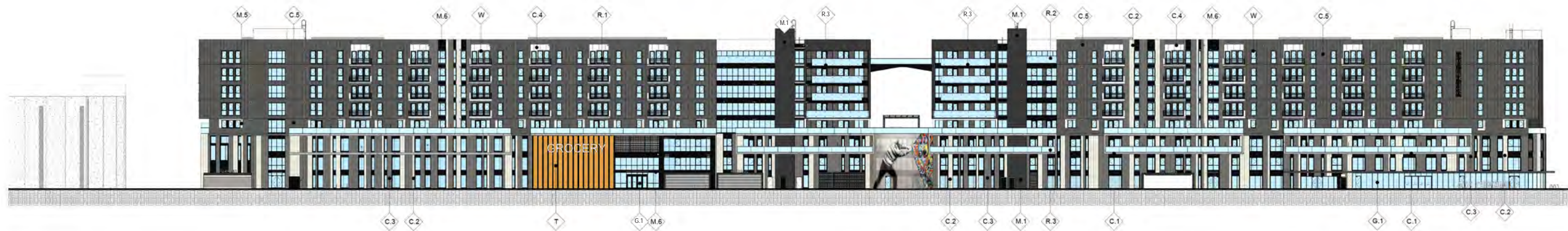
STUDIO - S2 - ENLARGED PLAN
SCALE: 1/4" = 1'-0" 461 SF



STUDIO - 15' - ENLARGED PLAN
SCALE: 1/4" = 1'-0" 492 SF



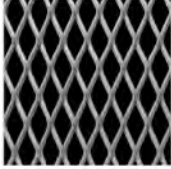






















2B - ENLARGED PLAN
SCALE: 1/4" = 1'-0" 1033 SF



OVERALL EAST ELEV. (CRENSHAW BLVD) - BUILDING A & B
SCALE: 1" = 30'-0"

1
A-601

	A.1	STUCCO (WHITE) INTEGRAL SMOOTH - 2030 IVORY		C.5	EXTERIOR CEMENT PLASTER W/ STUCCO CONTROL JOINTS ONYX / PAINT REVEALS: PPG DURANAR LIQUID COATING		M.2	EXPANDED METAL MESH PAINT: PPG DURANAR LIQUID COATING BLACK		M.7	CHAIN LINK COLOR: N/A		R.4	GLASS DIVIDER FRAME = PPG DURANAR LIQUID COATING - BLACK GLASS = FROSTED
	C.1	EXPOSED CONCRETE FINISH NATURAL GREY		G.1	VISION WALL ALUMINUM STOREFRONT FRAME = PAINT ONYX		M.3	METAL PANEL CANOPY PAINT: PPG DURANAR LIQUID COATING BLACK		P	PAINT ON VARIOUS WALL TYPES ONYX		T	EXTERIOR CLADDING FRENCH WALNUT
	C.2	CONCRETE BLOCK VENEER WHITE		G.2	SPANDREL ALUMINUM STOREFRONT FRAME = PAINT ONYX		M.4	CLAD METAL CANOPY FOCUS BLACK II		R.1	CABLE GUARD RAILING HANSEN MATTE BLACK FRAME		W	VINYL WINDOW FRAME = PAINT: PPG DURANAR LIQUID COATING
	C.3	CONCRETE BLOCK VENEER JET BLACK		G.3	SPANDREL ALUMINUM STOREFRONT FRAME = PAINT: PPG DURANAR LIQUID COATING - BLACK		M.5	BRAKE METAL PANEL MATCH SIMILAR COLOR AS C.4		R.2	GLASS GUARD RAILING FRAME = PPG DURANAR LIQUID COATING - BLACK GLASS = VISION			
	C.4	EXTERIOR CEMENT PLASTER W/ STUCCO CONTROL JOINTS COLORTEK STUCCO - WHITE PAINT REVEALS SAME COLOR		M.1	VERTICAL METAL SIDING PANEL PPG DURANAR SUNSTORM: GRAPHITE GRAY		M.6	BRAKE METAL PANEL ONYX		R.3	GLASS GUARD RAILING FRAME = PPG DURANAR LIQUID COATING - BLACK GLASS = VISION			

COMPOSITE LANDSCAPE PLAN



NOTES:

Landscape in Public Right-of-Way will be reviewed under a separate permit with BOE and will be in line with requirements of the Crenshaw Boulevard Streetscape Plan.

All planting and irrigation will comply with City of Los Angeles requirements.

LANDSCAPE DATA

LANDSCAPE AREA	PROVIDED
Ground Level	14,019 SF
Level 4 Podium	16,671 SF
Level 8	3,353 SF
Total	34,043 SF

TREE COUNT	PROVIDED	REQUIRED
Ground Level		
On-Site	17	TOTAL UNITS: 633
Public ROW	42	
Level 4 Podium	95	REQUIRED: (1) 24" BOX MIN. PER 4 UNITS
Level 8	20	
Total	174	159

EXTERIOR COMMON OPEN SPACE	PROVIDED	REQUIRED LANDSCAPE (25%)	PROPOSED LANDSCAPE
Level 4 Courtyards	39,663 SF	9,916 SF	12,952 SF
Level 4 Deck	9,377 SF	2,344 SF	3,719 SF
Level 8	8,069 SF	2,017 SF	3,353 SF

HYDROZONE AREA	PROVIDED
Very Low	5,106 SF
Low	22,128 SF
Moderate	6,809 SF
Total	34,043 SF

Refer to Sheet G-001.1 for Open Space Summary Table, including private open space, common open space, and recreation rooms.



PHASE 1 OF THE BALDWIN HILLS CRENSHAW PLAZA PROJECT

1875 Century Park East, Suite 1130, Los Angeles, CA 90067

PLANS STAMPED 02/22/2024 BY P.CAPORASO

project no | 2107034

HAAS BHCP Property Owner, LLC

TRUE NORTH

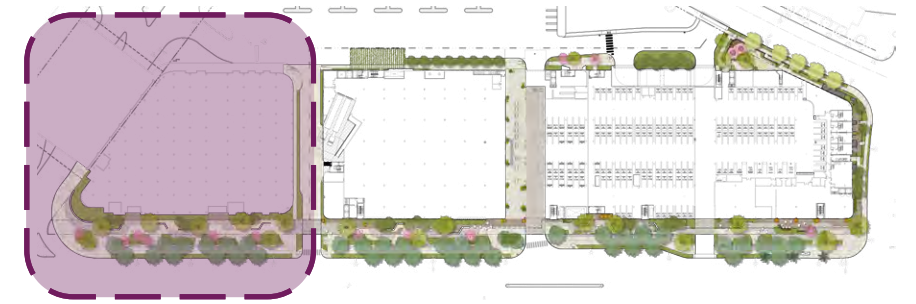
PROJECT NORTH

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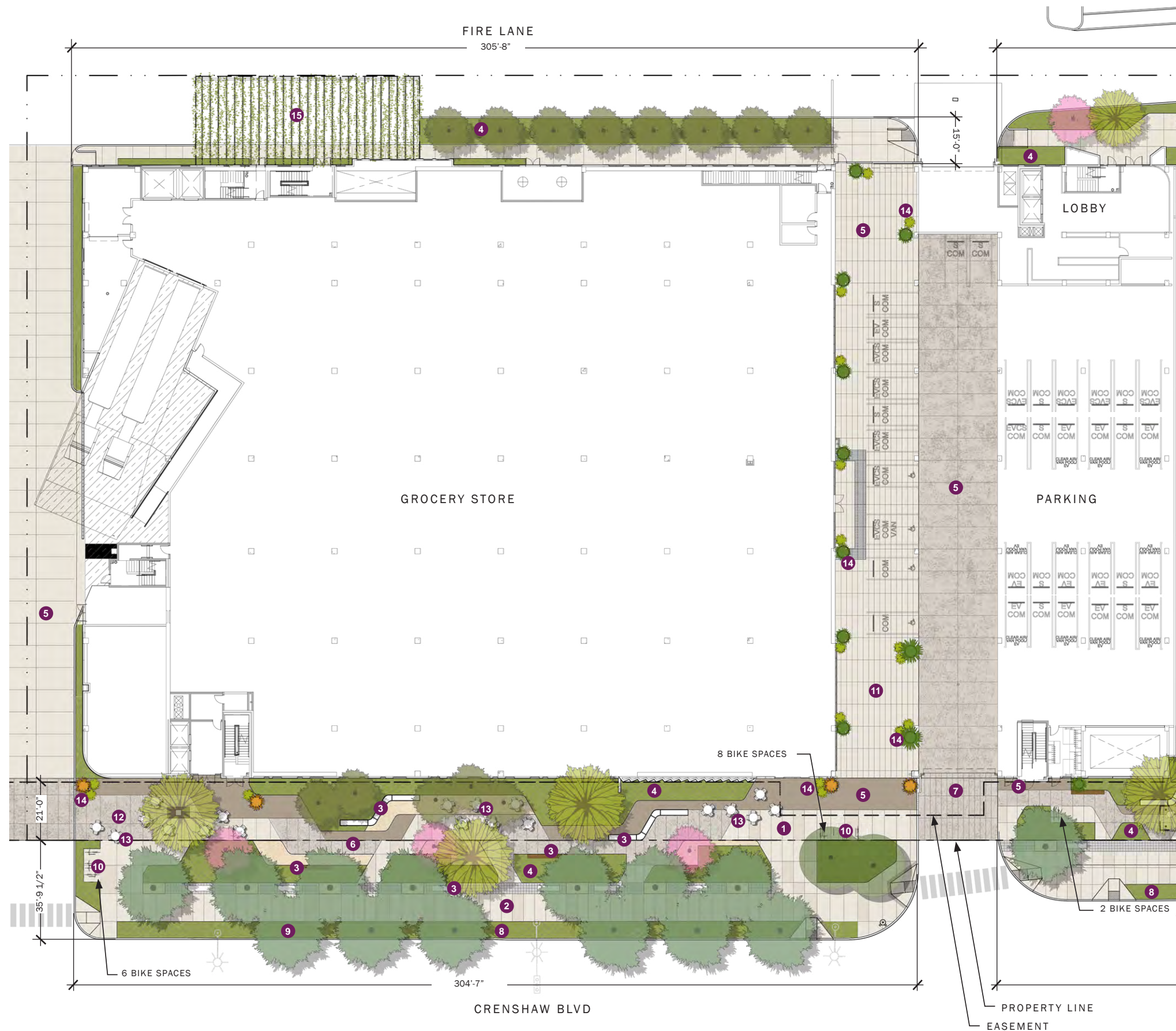




KEY PLAN

LEGEND

- ① MLK Plaza
- ② Streetscape Promenade
- ③ Bench
- ④ Shrubs and Groundcover
- ⑤ Enhanced Paving
- ⑥ Garden Paths
- ⑦ Site Wall/Sign Wall
- ⑧ Parkway Planting
- ⑨ Proposed Street Trees (Typ)
- ⑩ Bike Parking
- ⑪ Pedestrian Paseo



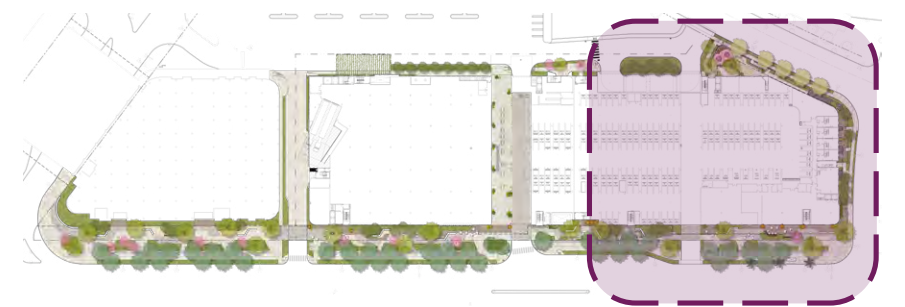
KEY PLAN

LEGEND

- ① Grocery Entry Plaza
- ② Streetscape Promenade
- ③ Bench
- ④ Shrubs and Groundcover
- ⑤ Enhanced Paving
- ⑥ Garden Paths
- ⑦ Parking Entry Drive
- ⑧ Parkway Planting
- ⑨ Proposed Street Trees (Typ)
- ⑩ Bike Parking
- ⑪ Pedestrian Paseo
- ⑫ Cafe Plaza
- ⑬ Outdoor Seating
- ⑭ Decorative Pottery
- ⑮ Trellis with Vines

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GROUND LEVEL LANDSCAPE PLAN



KEY PLAN

LEGEND

- ① Thomas Bradley Post Office Square Plaza
- ② Streetscape Promenade
- ③ Bench
- ④ Shrubs and Groundcover
- ⑤ Enhanced Paving
- ⑥ Garden Paths
- ⑦ Parking Entry Drive
- ⑧ Parkway Planting
- ⑨ Proposed Street Trees (Typ)
- ⑩ Unit Patios
- ⑪ Existing Palms to Remain
- ⑫ Existing Bus Shelter
- ⑬ Dog Run
- ⑭ Bike Parking
- ⑮ Outdoor Seating
- ⑯ Trellis

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GROUND LEVEL LANDSCAPE PLAN



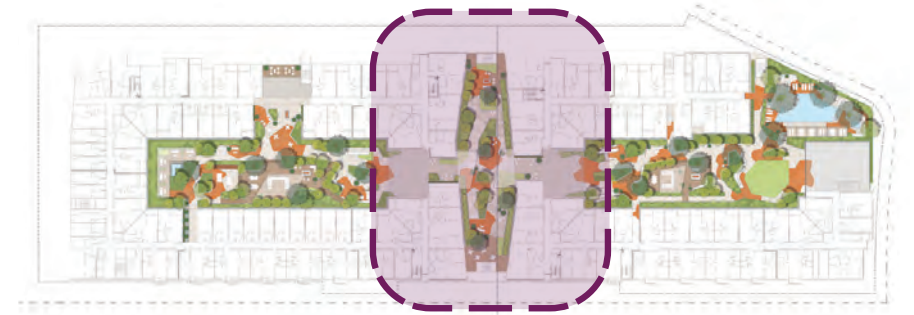
KEY PLAN

LEGEND

- ① Flexible Coworking Spillout Space
- ② Bartop Work Seating
- ③ Outdoor Work Tables
- ④ Built-in Bench
- ⑤ Raised Deck
- ⑥ Lounge Area
- ⑦ Outdoor Kitchen w/ Bar Seating
- ⑧ Outdoor Dining
- ⑨ Shade Structure
- ⑩ Fire Feature
- ⑪ Seat Steps
- ⑫ Game Tables
- ⑬ Garden Cabanas
- ⑭ Water Feature
- ⑮ Ramps
- ⑯ Overlook Deck
- ⑰ Loggia w/ Seating Garden
- ⑱ Sloped Planting
- ⑲ Decorative Pottery
- ⑳ Green Wall
- ㉑ Garden Screen

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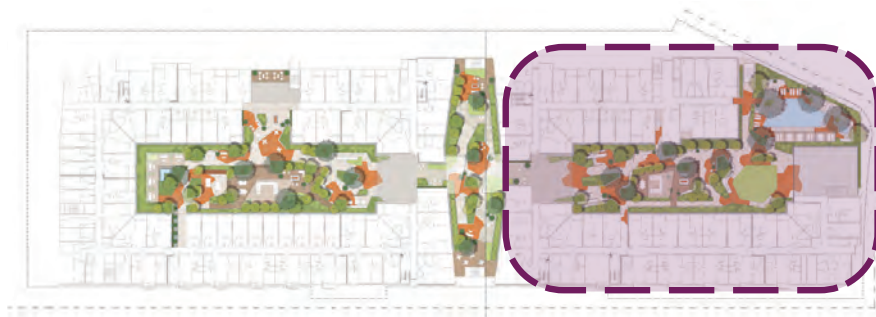


KEY PLAN

LEGEND

- 1 Garden Rooms
- 2 Loggia w/ Outdoor Work Space
- 3 Low Planting
- 4 Flexible Seating Deck
- 5 Fire Court
- 6 Garden Screens
- 7 Overhead Trellis
- 8 Green Wall

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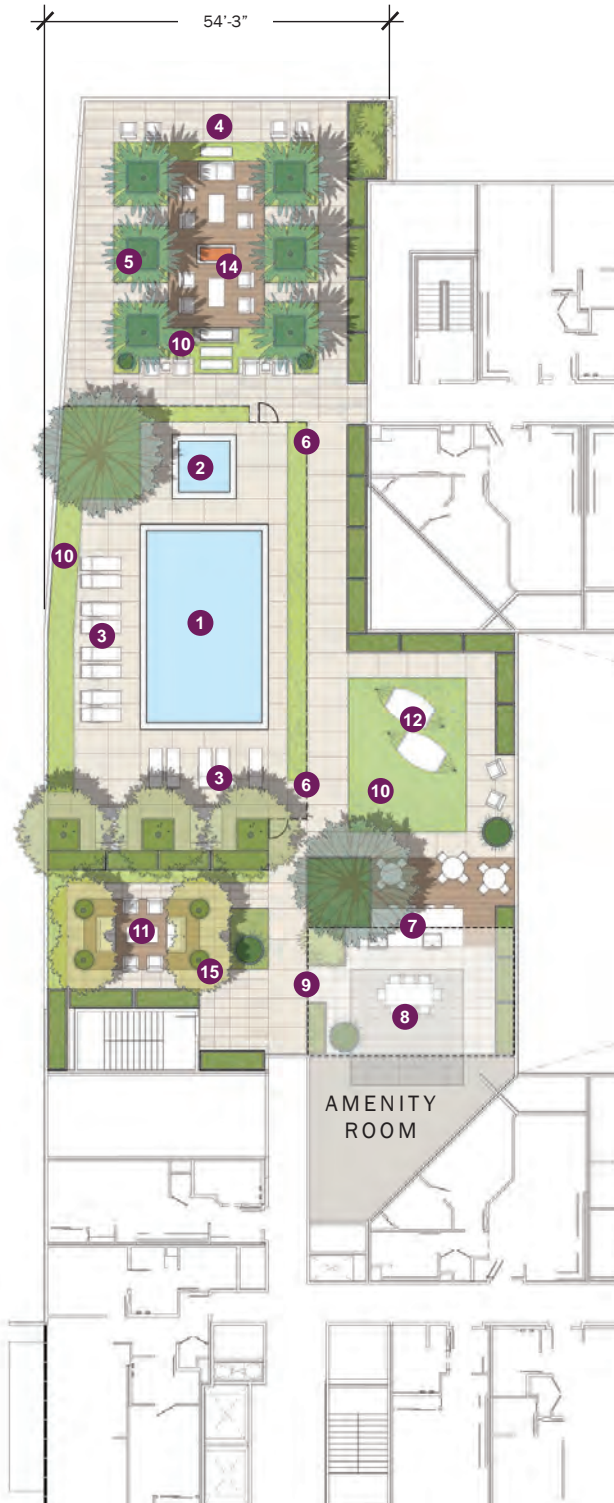


KEY PLAN

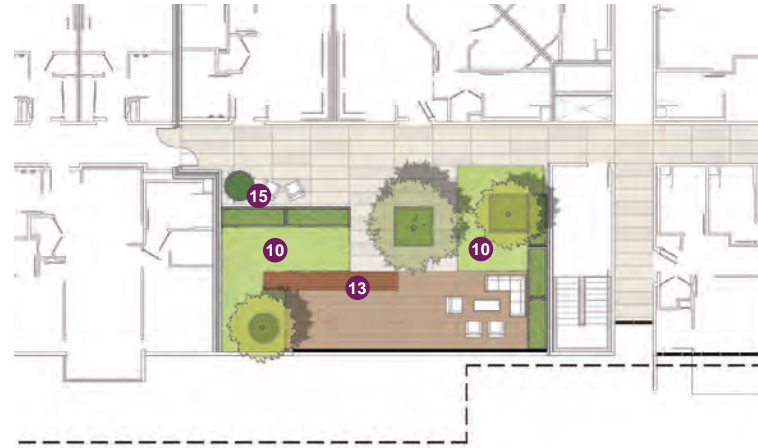
LEGEND

- | | | |
|----------------------------------|------------------------|----------------------------|
| 1 Fitness Spillout Space | 8 Shade Structure | 15 Pool |
| 2 Lawn | 9 Sloped Walkway | 16 Spa |
| 3 Seat Steps | 10 Seating Gardens | 17 Pool Deck |
| 4 Raised Deck | 11 Sloped Planters | 18 Cabanas |
| 5 Fire Feature | 12 Built-In Bench | 19 Pool Enclosure |
| 6 Dining + Lounge Area | 13 Garden Screen | 20 Built-in Lounge Seating |
| 7 Outdoor Kitchen w/ Bar Seating | 14 Bartop Work Seating | |

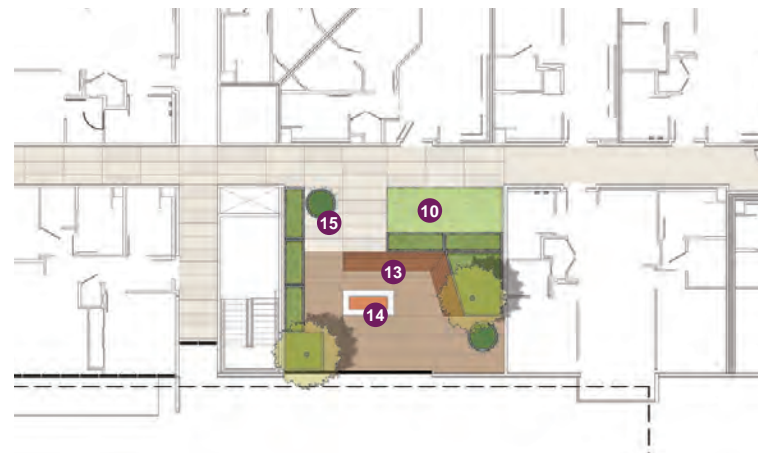
EXHIBIT "A"
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SOUTH SKY DECK



CRENSHAW SKY DECK (PHASE 1)



CRENSHAW SKY DECK (PHASE 2)



KEY PLAN

LEGEND

- 1 Pool
- 2 Spa
- 3 Pool Deck
- 4 Overlook Deck
- 5 Bosque of Trees
- 6 Pool Fence
- 7 Outdoor Kitchen w/ Bar Seating
- 8 Dining/Amenity Room Spillout
- 9 Shade Structure
- 10 Live Roof Planting
- 11 Lounge Seating
- 12 Hammocks or Flexible Furniture
- 13 Built-in Bench
- 14 Fire Feature
- 15 Decorative Pottery

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HARDSCAPE PALETTE

PAVING | GROUND LEVEL



Specialty Concrete | Trademark
Color: TBD
Finish: Exposed Aggregate 3/8"



Specialty Concrete | Trademark
Color: Rare Grey Blend
Finish: Exposed Aggregate 3/8"



Integral Color Concrete | Trademark
Color: Mesa Sand
Finish: Ecocast #5



Integral Color Concrete | Davis
Color: Dune
Finish: Sandblast



Precast Concrete Paver | Stepstone
Color: Porcelain
Finish: Medium Sandblast w/Slag

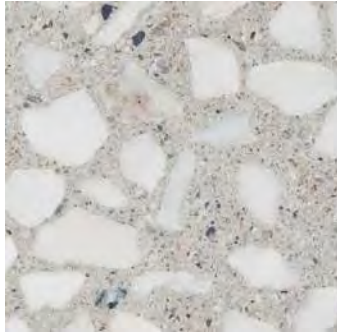
PAVING | PODIUM AND ROOF LEVELS



Specialty Concrete | Trademark
Color: TBD
Finish: Exposed Aggregate 3/8"



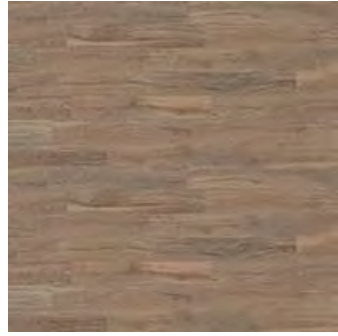
Specialty Concrete | Trademark
Color: Bleached Slate
Finish: Silicon Carbide



Specialty Concrete | Trademark
Color: Nuance Mix
Finish: Exposed Aggregate 3/8"



Integral Color Concrete | Davis
Color: Dune
Finish: Sandblast

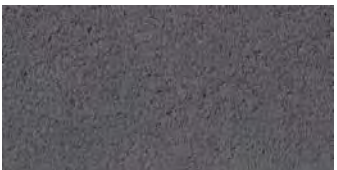


Porcelain Tile | Belgard
Color: Jurupa - Camp
Finish: N/A

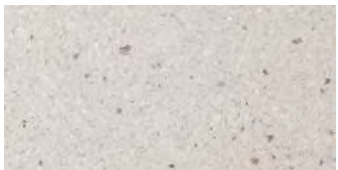


Porcelain Tile | Belgard
Color: Lagoon - Atmosphere
Finish: N/A

WALLS | PODIUM AND ROOF LEVELS



CMU Planter | Angelus Block
Color: Onyx
Finish: Precision



CMU Planter | Angelus Block
Color: Glacier White
Finish: Burnished



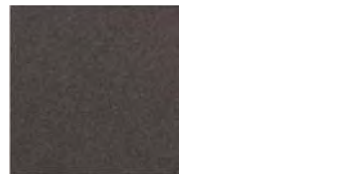
Steel Planter
Color: Black
Finish: Matte



CMU to Steel Planter Connection



Fiberglass Pottery | Old Town Fiberglass
Color: Gun Metal and Custom Color
Finish: Matte



PLANT PALETTE

TREES



Acacia baileyana
Bailey Acacia



Agonis flexuosa 'Burgundy'
Burgundy Peppermint Willow



Lyonothamnus floribundus asplenifolius
Fernleaf Catalina Ironwood



Pistacia chinensis
Chinese Pistache



Ulmus parvifolia 'Drake'
Drake Elm



Platanus acerifolia
London Plane Tree

PLANTING LEGEND

BOTANICAL NAME	COMMON NAME	MATURE SIZE (HxW)	SPACING	WUCOLS
Acacia baileyana	Bailey Acacia	25' x 30'		Low
Agonis flexuosa 'Burgundy'	Burgundy Peppermint Willow	20' x 15'		Low
Lyonothamnus floribundus asplenifolius	Fernleaf Catalina Ironwood	25' x 20'		Low
Pistacia chinensis	Chinese Pistache	35' x 20'		Moderate
Ulmus parvifolia 'Drake'	Drake Elm	40' x 35'		Moderate
Platanus acerifolia	London Plane Tree	50' x 35'		Moderate
Acacia cognata 'Cousin Itt'	Cousin Itt Acacia	3' x 12'	48" oc	Moderate
Aloe vera	NCN	2' x 2'	24" oc	Low
Dianella caerulea 'Cassa Blue'	Cassa Blue Flax Lily	2' x 2'	24" oc	Moderate
Echium candicans	Pride of Madeira	5' x 5'	48" oc	Low
Epilobium canum	California Fuchsia	2' x 4'	42" oc	Very Low
Euphorbia characias 'Glacier Blue'	Glacier Blue Spurge	2' x 2'	24" oc	Very Low
Fejoia sellowiana	Pineapple Guava (Hedge)	10' x 10'	48" oc	Low
Kalanchoe beharensis	Velvet Elephant Ear	10' x 6'	Per Plan	Low
Leonotis leonurus	Lion's Ear	5' x 5'	48" oc	Low
Mahonia eurybracteata 'Soft Caress'	Soft Caress Mahonia	3' x 3'	36" oc	Moderate
Miscanthus sinensis 'Adagio'	Adagio Maiden Grass	2' x 3'	36" oc	Moderate
Olea europaea 'Little Ollie'	Little Ollie Olive	5' x 4'	36" oc	Low
Salvia apiana	White Sage	4' x 4'	36" oc	Low
Salvia chamaedryoides	Germander Sage	2' x 4'	36" oc	Low
Salvia clevelandii	Cleveland Sage	4' x 4'	42" oc	Low
Westringia fruticosa 'Morning Light'	Morning Light Coast Rosemary	3' x 3'	36" oc	Low
Woodwardia fimbriata	Giant Chain Fern	3' x 3'	30" oc	Moderate
Yucca whipplei	Our Lord's Candle	2' x 3'	Per Plan	Very Low
Arctostaphylos 'Pacific Mist'	Pacific Mist Manzanita	2' x 6'	48" oc	Low
Baccharis pilularis 'Pigeon Point'	Pigeon Point Coyote Brush	2' x 8'	6' oc	Low
Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama	1' x 1'	12" oc	Low
Carex praegracilis	California Field Sedge	1' x 1'	12" oc	Moderate
Ceanothus griseus var. horizontalis 'Yankee Point'	Yankee Point California Lilac	2' x 8'	6' oc	Low
Juniperus conferta 'Blue Pacific'	Blue Pacific Shore Juniper	1' x 6'	48" oc	Low
Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye	2' x 2'	18" oc	Low
Muhlenbergia dubia	Pine Muhly	2' x 2'	24" oc	Low
Sedum reflexum 'Blue Spruce'	Blue Spruce Creeping Sedum	6" x 18"	12" oc	Low
Sesleria autumnalis	Autumn Moor Grass	1'x1'	12" oc	Moderate

SHRUBS



Acacia cognata 'Cousin Itt'
Cousin Itt Acacia



Aloe vera
NCN



Dianella caerulea 'Cassa Blue'
Cassa Blue Flax Lily



Echium candicans
Pride of Madeira



Epilobium canum
California Fuchsia



Euphorbia characias 'Glacier Blue'
Glacier Blue Spurge



Fejoia sellowiana
Pineapple Guava



Kalanchoe beharensis
Velvet Elephant Ear



Leonotis leonurus
Lion's Ear



Mahonia eurybracteata 'Soft Caress'
Soft Caress Mahonia



Miscanthus sinensis 'Adagio'
Adagio Maiden Grass



Olea europaea 'Little Ollie'
Little Ollie Olive



Salvia apiana
White Sage



Salvia chamaedryoides
Germander Sage



Salvia clevelandii
Cleveland Sage



Westringia fruticosa 'Morning Light'
Morning Light Coast Rosemary



Woodwardia fimbriata
Giant Chain Fern



Yucca whipplei
Our Lord's Candle

GRASSES + GROUND COVER



Arctostaphylos 'Pacific Mist'
Pacific Mist Manzanita



Baccharis pilularis 'Pigeon Point'
Pigeon Point Coyote Brush



Bouteloua gracilis 'Blonde Ambition'
Blonde Ambition Blue Grama



Carex praegracilis
California Field Sedge



Ceanothus griseus var. horizontalis 'Yankee Point'
Yankee Point California Lilac



Juniperus conferta 'Blue Pacific'
Blue Pacific Shore Juniper



Leymus condensatus 'Canyon Prince'
Canyon Prince Wild Rye



Muhlenbergia dubia
Pine Muhly



Sedum reflexum 'Blue Spruce'
Blue Spruce Creeping Sedum



Sesleria autumnalis
Autumn Moor Grass

IRRIGATION NOTES

The planting design and irrigation systems will be developed to adhere to the City of Los Angeles and State of California water conservation standards, which include drought tolerant plants and automated irrigation equipment. Plant materials will be selected using the Water Use Classification of Landscape Species (WUCOLS) to ensure the selection meets low water use in order to reduce dependence on potable water. These plants will be organized and grouped to maximize limited water use and balance the overall distribution of water on site.

The irrigation design will include weather-monitoring equipment to track local precipitation and avoid over watering during seasonal changes. The system will be primarily drip irrigation lines with tree bubblers at each tree to target water distribution at the roots of plant materials. The planting and irrigation design will not include inefficient overhead spray equipment that increases over-watering and increases urban runoff.