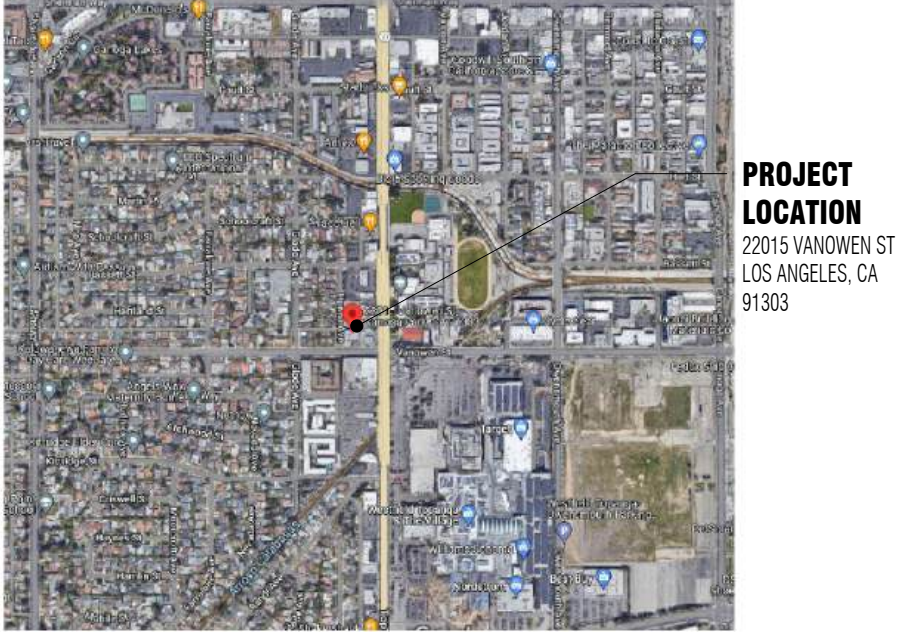


PROJECT STATISTICS

PROJECT FLOOR AREA CALCULATION TABLE									
Floor Level	A	B	C	CALCULATION		D	E	CALCULATION	
				A-B-C				A-B-C-D	
	Gross Area (Out to Out Building Dimensions)	Area of Exterior Walls	Area of Courts & Vent Shafts	Building Code Area		Area of Stairways, Mechanical Rooms, Elevators, Storage & Garage	Zoning Code Area		
Basement (Residential Garage)	35,133								0
1st Floor (Garages & Commercial)	31,700								3,742
2nd Floor (Residential)	32,200								7,541
3rd Floor (Residential)	22,800								21,545
4th Floor (Residential)	22,820								21,630
5th Floor (Residential)	22,820								21,630
6th Floor (Residential)	22,820								21,630
7th Floor (Residential)	22,820								21,630
8th Floor (Residential)	22,200								21,160
TOTALS	235,433								140,308
NOTE: BALCONIES DO NOT COUNT THE 1ST 5 FT FROM THE EDGE OF THE UNENCLOSED BALCONIES FLOORS 2-8 FOR F.A.R. OCCUPATION									
CENTRE ENCLOSED TYPICAL OF BALCONIES INCLUDED IN CALCULATION									
OCCUPANCY NOTE: SEE A-C TO A-C-5 FOR ALL REQUIRED OCCUPANCIES & CODE STUDY INFORMATION. SEE "BUILDING TYPE AREAS" FOR AREAS PER BUILDING & OCCUPANCY.									
FAR CALCULATION									
The Warner Center Specific Plan permits a base maximum F.A.R. of 0.0 1 in all districts									
A Tier 2 base incentive allow the FAR to increase by 40% & shall be utilized to increase the base FAR from 3.0 1 to 4.35 1 maximum									
Total Building Area	140,308								
F.A.R. Lot Area (Gross Zoning Lot Area)	43,438								
F.A.R. Net Lot Area	42,915								
F.A.R.	3.23								
(Per Civil Survey)									
(W/CSP assessment deducted) (~519 SF)									
DENSITY CALCULATION FOR RESIDENTIAL UNITS									
Planning & Zoning or properly allows Residential Development by-right at the R4 Zone Density of 1 Dwelling Unit per 400 SF of lot area									
Pursuant to Warner Center Specific Plan the Project Density is unlimited									
Lot Area (No Deductions)	43,438 SF								
Allowable Units	Unlimited per W/CSP								
Total Proposed Units	211								
UNIT COUNT									
	2nd	3rd	4th	5th	6th	7th	8th		TOTALS
Studio Units	7	22	21	21	21	21	20		133
1-Bedroom Units	1	12	13	13	13	13	13		78
TOTALS	8	34	34	34	34	34	33		211
PARKING REQUIRED (THIS DATA DUPLICATED AD 1 COVER SHEET & AD 2 PLOT PLAN)									
RESIDENTIAL PARKING REQUIRED									
Res parking per Warner Center Specific Plan Section 6.2.3.2.1a Residential Parking Requirements									
Base Parking Rate for Residential Parking (M) based 1 parking space per unit per W/CSP									
Residential Guest Parking is optional for Projects with more than 100 units per the W/CSP (R.2.3.2.1a)									
	Units	Factor							Totals
Studio Units	133	0.5							66.5
1-Bedroom Units	78	0.5							39.0
Required Spaces per LAMC									105.0
COMMERCIAL PARKING REQUIRED									
COMMERCIAL PARKING REQUIRED PER WARNER CENTER SPECIFIC PLAN (R.2.3.2.2a) = Min 1,500 SF & Max 1,250 SF									
	Area	Factor							Totals
Commercial Spaces	1,250	1,250 Based on Maximum W/CSP							4.8
*Bike Parking Reduction of Vehicle Parking (20% Reduction)		60/100							0.8
Required Commercial Vehicle Parking Spaces after Bike Parking Reduction									4.0
*Note: See bicycle parking provided below									
PARKING PROVIDED (THIS DATA DUPLICATED AD 1 COVER SHEET & AD 2 PLOT PLAN)									
	Commercial	Residential	Provided						
Basement	0	59	12	0	0	0	0	0	71
1st Floor	2	12	0	14	1	3	1	0	33
2nd Floor	0	30	3	0	0	0	0	0	33
Totals	2	101	15	14	1	3	1	0	133
COMMERCIAL/RESIDENTIAL BREAK DOWN									
Commercial Totals	2	0	0	0	1	3	1	0	4
Residential Totals	0	101	15	14	0	3	0	0	133
STRUCTURAL INVENTORY									
	Commercial	Residential	Provided						
Compact	0	0	0						
Standard	4	133	137						
ADA	1	3	4						
Required Parking:									
Accessible:	Residential:	2% (133 Spaces) = 3 Spaces Required	EVCS:	Residential:	10% (133 Spaces) = 14 EVCS Spaces Required				
Accessible:	Commercial:	2% (4 Spaces) = 1 Spaces Required	EVCS:	Commercial:	10% (64 Spaces) = 7 EVCS Spaces Required				
*Note: 32 Standard sized residential spaces have been provided & exceed the TOC for 3 required number of parking spaces (see above)									
ADDITIONAL PARKING NOTES									
30% PARKING - EVCS SPACES PROVIDED PER 2020 LA GREEN CODE (Commercial)									
30% PARKING - EVCS SPACES PROVIDED PER 2020 LA GREEN CODE (Residential)									
	%	Total	Spaces						Provided
30% PARKING - EVCS SPACES PROVIDED PER 2020 LA GREEN CODE (Commercial)	0.3	4	2 Req'd Comm						2
30% PARKING - EVCS SPACES PROVIDED PER 2020 LA GREEN CODE (Residential)	0.3	133	40 Req'd Res						40
BIKE PARKING REQUIRED									
RESIDENTIAL									
	Units	Factor							Totals
Long Term Spaces:									
Tier 1:	1 Space/Unit	7.25 (Units)	25	1.0					25
Tier 2:	1 Space/1.5 Units	26 (100 (Units)	75	3/4					57
Tier 3:	1 Space/2.0 Units	100 (200 (Units)	100	1/2					50
Tier 4:	1 Space/4.0 Units	200 (111 (Units)	11	1/4					3
Total Long Term Spaces Required			211						135
Short Term Spaces:									
Tier 1:	1 Space/10 Units	7.25 (Units)	25	1/10					2.5
Tier 2:	1 Space/15 Units	26 (100 (Units)	75	1/15					5.0
Tier 3:	1 Space/20 Units	100 (200 (Units)	100	1/20					5.0
Tier 4:	1 Space/40 Units	200 (111 (Units)	11	1/40					0.3
Total Short Term Spaces Required			11						13
COMMERCIAL									
**Per Bike Parking Reduction of Vehicle Parking, 4 Bike Parking Spaces are req'd. (1 Vehicle Reduction = 4 Bikes/Vehicle Reduced = 04 Bikes)									
	Area	Factor							Totals
Long Term Spaces	1 Space/2,000 SF (Min. 2 Spaces Req'd)	1,200	1/10,000						4 **
Short Term Spaces	1 Space/2,000 SF (Min. 2 Spaces Req'd)	1,200	1/10,000						2
TOTAL									
Long Term Spaces	4	135	139						
Short Term Spaces	2	13	15						
BIKE PARKING PROVIDED									
	Long-Term	Short-Term							Total
	Commercial	Residential	Commercial	Residential					
1st Floor	4	0	2	14					20
2nd Floor	0	136	0	0					136
Total Long-Term Parking	4	136							140
Total Short-Term Parking			2	14					16
Total Bike Parking									156
OPEN SPACE (THIS DATA DUPLICATED AD 1 COVER SHEET & AD 2 PLOT PLAN)									
	Units	SF							Total
Required									13,300 of
Studio	133	100							13,300 of
1-Bedroom	78	100							7,800 of
Required Open Space Subtotal									21,100 of
20% Reduction in Open Space (Tier 2 Tric Incentive)									20%
Required Open Space									16,880 of
Provided									
Private Open Space (78 Balconies x 50 SF)									3,900 of
Common Open Space									21,980 of
1st Floor Exterior									3,086
2nd Floor Rec Room									2,326
3rd Floor Deck									2,668 of
Total									16,880 of
16,880 SF of Open Space Provided = 16,880 SF of Open Space Required									
PUBLIC OPEN SPACE REQUIRED									
PAGS per the Warner Center Specific Plan requirements									
Net lot area equals the gross lot area									
Required	Net Lot Area	%							Total
PAGS Required	41,494	15%							6,224 of
PAGS Provided									6,224 of
STORY & HEIGHT LIMITS									
Height Limit per Warner Center Specific Plan									
Provided Height:									95 FT
(See Elevations)									
Story Limit per Warner Center Specific Plan									
Provided Stories:									8 Stories
(See Elevations)									

VICINITY MAP



PROJECT LOCATION
22015-22027 VANOWEN ST
LOS ANGELES, CA
91303

PROJECT DATA

PROJECT ADDRESS: 22015-22027 VANOWEN STREET CANOGA PARK, CA 90232		SITE AREA: GROSS ZONING LOT AREA: (PER SURVEY) 43,438 SF
SITE ADDRESS(S): 22015-22027 VANOWEN STREET CANOGA PARK, CA 90232		SITE COVERAGE: BUILDING COVERAGE: 31,756 SF 073% HANDSCAPE COVERAGE: 05,080 SF 012% LANDSCAPE COVERAGE: 06,602 SF 015% LOT AREA, (PER SURVEY) 43,438 SF 100%
APN(S): 202-400-5025 202-400-5026		SETBACKS & YARDS: YARD: WARNER CENTER SPECIFIC PLAN FRONT YARD: (VANOWEN STREET) 12 FT FROM PROPERTY LINE SIDE YARD (ALLEY) (WEST) NO SETBACK REQUIRED NO SETBACK REQUIRED REAR YARD (NORTH) NO SETBACK REQUIRED
TRACT: P M 3095 MAP REF: BK 73-26/27 BLOCK: NONE LOT(S): B		* NO YARDS ARE REQUIRED ALONG ALL STREET FRONTAGE FOR A MIXED-USE PROJECT (LAMC 12.22 A 19 (c) (3))
PLANNING AREA: CANOGA PARK-WEST HILLS COUNCIL DIST: 3 NEIGH COORD: CANOGA PARK PLANNING COMM: SOUTH VALLEY		
ZONE: (W/C) TOPANGA-SN-RIO GENERAL PLAN: REGIONAL CENTER COMMERCIAL SUBAREA: WARNER CENTER SIGN DISTRICT: WARNER CENTER 2035 PLAN		
TOC: TIER 2		
SCHOOL ZONE: WITHIN 500 FT SCHOOL(S): CANOGA SENIOR HIGH		

PROJECT DIRECTORY

OWNER PARKVIEW FINANCIAL 11601 WILSHIRE BLVD. SUITE 2100 LOS ANGELES, CA 90025 CONTACT: Paul Rahimian E: paul@parkviewfinancial.com T: 310-995-9999 x101	ARCHITECT HOCHHAUSER + BLATTER ARCHITECTURE & PLANNING 122 EAST ARRELLAGA STREET SANTA BARBARA, CA 93101 CONTACT: Karl Blatter, AIA E: karl@hocharchitects.com T: 805.962.2746 x113	CIVIL ENGINEER SITTECH, INC. 8061 CHURCH STREET HIGHLAND, CA 92346 T: 909.864.3189 F: 909.864.0850 CONTACT: Jason Mayer	GEOTECHNICAL ENGINEER SOIL PACIFIC INC. 675 N. ECKHART, SUITE A ORANGE, CA 92668 CONTACT: Hoss Elhehri T: 714-879-1203	LANDSCAPE ARCHITECT SOLA 380 N. PALM STREET SUITE B BREA, CA 92821 T: 562.905.0800 F: 562.905.0880 Contact: Bob Gorman
---	---	--	--	---

RESIDENTIAL & COMMERCIAL SF

LEVEL	RESIDENTIAL (SF)	COMMERCIAL (SF)	TOTAL (SF)
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SHEET CONTENTS
PLOT PLAN

PROJECT NO: 10007

SHEET
A0.2



VICINITY MAP



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EXISTING WEST CORNER LOOKING SOUTH

3



EXISTING NORTH-WEST CORNER LOOKING SOUTH

7



EXISTING WEST CORNER LOOKING NORTH-EAST

4



EXISTING SOUTH-WEST CORNER LOOKING NORTH

2



EXISTING NORTH-WEST CORNER LOOKING SOUTH

5



EXISTING SOUTH-EAST CORNER LOOKING NORTH

1

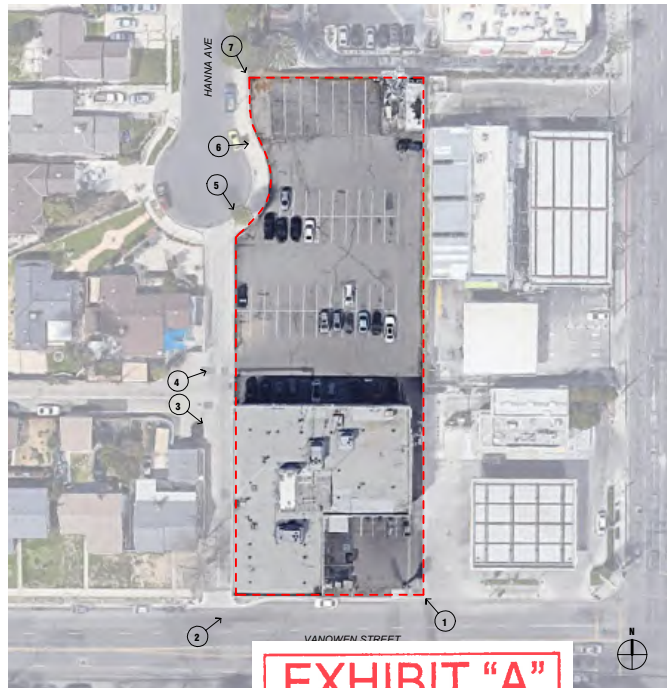


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EXISTING NORTH-WEST CORNER LOOKING EAST

6

DATE	DESCRIPTION FOR REVIEW
06/20/23	PROJECT GET
06/21/23	PLANNING SUBMITTAL
06/22/23	NECP PLANNING SUBMITTAL

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SHEET CONTENTS
 (E) SITE PHOTOS

PROJECT NO. 10007

SHEET

A0.3

ZONING INFORMATION

ZONING INFORMATION NOT PROVIDED

FLOOD NOTE

SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 080370280F HAVING AN EFFECTIVE DATE OF 09/26/2008, IN LOS ANGELES COUNTY, STATE OF CALIFORNIA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.

ZONE "X" DENOTES AREA OF MINIMAL FLOOD HAZARD

LAND AREA

43,438 SQUARE FEET OR 1.0 ACRE

SURVEYOR



GENERAL NOTES

1. NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
2. NO OBSERVABLE EVIDENCE OF CHANGES IN STREET RIGHT OF WAY LINES COMPLETED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION. NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
3. NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
4. THE PROPERTY HAS PHYSICAL STREET ACCESS TO VANOWEN STREET, HANNA AVENUE, BOTH BEING PUBLICLY DEDICATED STREETS OR HIGHWAYS.
5. ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO: UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, PARTY WALLS, PARKING, EASEMENTS, SERVITUDE, AND ENCROACHMENTS: ARE BASED SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.
6. THE ACCOMPANYING SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE ABOVE PREMISES; THERE ARE NO VISIBLE ENCROACHMENTS ON THE SUBJECT PROPERTY OR UPON ADJACENT LAND ABUTTING SAID PROPERTY EXCEPT AS SHOWN HEREON AND WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF CALIFORNIA.
7. THE SUBJECT PROPERTY CLOSURES MATHEMATICALLY, WITH NO GAPS, GORES OR OVERLAPS.

STATEMENT OF ENCROACHMENTS

- Ⓐ OVERHEAD SIGN ENCROACHES ONTO RIGHT OF WAY BY 0.6'
- Ⓑ WALL ENCROACHES ONTO RIGHT OF WAY BY 0.5'
- Ⓒ WALL ENCROACHES ONTO RIGHT OF WAY BY 0.6'
- Ⓓ FENCE ENCROACHES ONTO RIGHT OF WAY BY 0.4'
- Ⓔ BUILDING ENCROACHES INTO EASEMENT AREA BY 6'
- Ⓕ BUILDING ENCROACHES INTO EASEMENT AREA BY 9'
- Ⓖ BUILDING ENCROACHES INTO EASEMENT AREA BY 5'

BASIS OF BEARING

THE BASIS OF BEARING OF THIS SURVEY IS THE CENTERLINE OF TOPANGA CANYON BOULEVARD AS DEPICTED ON PARCEL MAP 3095 FILED IN BOOK 73, PAGE 28 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

BEARING BEING: N 00° 00' 00" E

BENCHMARK

LOS ANGELES CITY BENCHMARK

DESIGNATION: 06-08221
NAVD88 ELEVATION: 800.588'
DESCRIPTION: SPK.; E. CURB OF GLADE AVE., 2 FT. N/O VANOWEN ST

PARKING SPACE COUNT

REGULAR STALLS: 67
HANDICAPPED STALLS: 3
TOTAL STALLS: 70

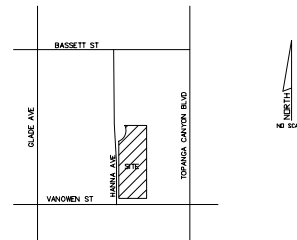
SCHEDULE B-II NOTES

1. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS - BLANKET IN NATURE - NOT PLOTTED
3. COVENANTS, CONDITIONS, AND RESTRICTIONS AS SET FORTH IN INSTRUMENT RECORDED IN BOOK 8114 PAGE 276, OF DEEDS - LOCATION COULD NOT BE DETERMINED - NOT PLOTTED
4. AN EASEMENT FOR RIGHT OF WAY FOR PUBLIC ALLEY PURPOSES AND RIGHTS INCIDENTAL THERETO IN FAVOR OF CITY OF LOS ANGELES, A MUNICIPAL CORPORATION AS SET FORTH IN A DOCUMENT RECORDED AUGUST 13, 1986 AS INSTRUMENT NO. 3655 IN BOOK 52008 PAGE 374 OF OFFICIAL RECORDS - PLOTTED HEREON
5. AN EASEMENT FOR CONSTRUCTION, MAINTENANCE AND REPAIR OF A SANITARY SEWER AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT RECORDED AUGUST 13, 1986 AS INSTRUMENT NO. 3658 IN BOOK 52006 PAGE 378 OF OFFICIAL RECORDS, AFFECTS THE LOCATION OF WHICH IS DELEGATED UPON THE MAP OF SAID TRACT NO. 20206 - PLOTTED HEREON
6. AN AGREEMENT TO CONVEY AND EASEMENT FOR PUBLIC ALLEY PURPOSES IN, OVER, ALONG, UPON A PORTION OF SAID LAND, DATED AUGUST 5, 1985, EXECUTED BY HOWARD C. SMITH AND HELEN A. SMITH, HUSBAND AND WIFE, TO THE CITY OF LOS ANGELES, RECORDED AUGUST 13, 1986 AS INSTRUMENT NO. 3657 IN BOOK 52006 PAGE 382 OF OFFICIAL RECORDS - PLOTTED HEREON
7. AN EASEMENT FOR RIGHT OF WAY FOR PUBLIC ALLEY PURPOSES AND RIGHTS INCIDENTAL THERETO IN FAVOR OF CITY OF LOS ANGELES, (A MUNICIPAL CORPORATION OF THE STATE OF CALIFORNIA) AS SET FORTH IN A DOCUMENT RECORDED NOVEMBER 25, 1958 AS INSTRUMENT NO. 4158 OF OFFICIAL RECORDS, AFFECTS SAID LAND - PLOTTED HEREON
8. AN EASEMENT FOR POLES AND CONDUITS AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT RECORDED MARCH 24, 1981 AS INSTRUMENT NO. 3465 IN BOOK 0-1187 PAGE 111 OF OFFICIAL RECORDS, AFFECTS A PORTION OF SAID LAND - PLOTTED HEREON
9. AN EASEMENT OR OTHER PROVISIONS FOR THE PURPOSE OF SANITARY SEWER AND RIGHTS INCIDENTAL THERETO AS SHOWN ON THE RECORDED TRACT MAP NO. 26205, WHICH AFFECTS PORTION OF SAID LAND - PLOTTED HEREON
11. PROVISIONS OF THE DEDICATION STATEMENT OF TRACT MAP NO. 26205, WHICH OFFER THE LAND HEREIN DESCRIBED FOR FUTURE STREET OR ALLEY AND RESTRICT THE USE THEREOF - PLOTTED HEREON
12. AN EASEMENT FOR POLE LINES AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT RECORDED AUGUST 12, 1983 AS INSTRUMENT NO. 3381 IN BOOK 0-2141 PAGE 775 OF OFFICIAL RECORDS - PLOTTED HEREON
14. THE FACT THAT SAID LAND IS INCLUDED WITHIN A PROJECT AREA OF THE COMMUNITY REDEVELOPMENT AGENCY OF THE CITY OF LOS ANGELES REDEVELOPMENT AGENCY, AND THAT PROCEEDINGS FOR THE REDEVELOPMENT OF SAID PROJECT HAVE BEEN INSTITUTED UNDER THE REDEVELOPMENT LAW (SUCH REDEVELOPMENT TO PROCEED ONLY AFTER THE ADOPTION OF THE REDEVELOPMENT PLAN) AS DISCLOSED BY A DOCUMENT RECORDED DECEMBER 28, 1994 AS INSTRUMENT NO. 44-227877 OF OFFICIAL RECORDS - BLANKET IN NATURE - NOT PLOTTED
19. THE MATTERS CONTAINED IN AN INSTRUMENT ENTITLED "MEMORANDUM OF SITE AGREEMENT" DATED DECEMBER 30, 2005, BY AND BETWEEN CALIFORNIA TOWER, INC., A DELAWARE CORPORATION AND SPIRIT PCS ASSETS, LLC, A DELAWARE LIMITED LIABILITY COMPANY UPON THE TERMS THEREIN, PROVIDED RECORDED FEBRUARY 10, 2006 AS INSTRUMENT NO. 08-030725 OF OFFICIAL RECORDS - PLOTTED HEREON

BUILDING AREA

10,344 SQ FT

VICINITY MAP



UTILITY NOTE

THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE ONLY; WHILE THE INFORMATION IS ASSUMED TO BE ACCURATE, NO GUARANTEE IS MADE TO THE EXACT LOCATION OF THE UNDERGROUND UTILITIES. PRIOR TO ANY CONSTRUCTION, THE SITE SHOULD BE POTHOLED TO DETERMINE THE EXACT LOCATION OF ANY OR ALL UTILITIES.

RECORD DESCRIPTION

THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF LOS ANGELES AND DESCRIBED AS FOLLOWS:
PARCEL 8 OF PARCEL MAP NO. 3095, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, FILED IN BOOK 73 PAGES 28 AND 27 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
APN: 2024-005-025 AND 2024-005-026

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THE PROPERTY DESCRIBED HEREON ABOVE IS THE SAME AS DESCRIBED IN THE STEWART TITLE COMPANY ORDER NO. 01185-251103A DATED AS OF MARCH 07, 2017.

ALTA/NSPS LAND TITLE SURVEY

SURVEYOR CERTIFICATION

22015 Vanowen St
Canoga Park
County of Los Angeles

To: Stewart Title Company:

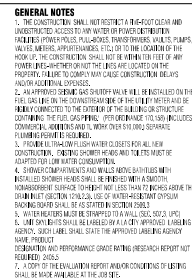
This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 2, 3, 4, 6a, 6b, 7a, 7b1, 7c, 8, 9, 13, 14, 16, 17 and 18 of Table A thereof. The field work was completed on July 20, 2022.

Bernhard K. Mayer

BERNHARD K. MAYER
Registration No. P.L.S. 7319
in the State of California
Date of Plot or Map: 07/22/2022
Date of Revision:



SITETECH, INC.
8061 CHURCH STREET, (PO BOX 592) HIGHLAND, CA 92346
PH: (909) 864-3180 FAX: (909) 864-0850
E-mail: jnayer@sitetechinc.com
Sheet 1 of 2



VANOWEN MIXED-USE

[illegible]

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SHEET CONTENTS

SITE PLAN

PROJECT NO: 10007

SHEET

SHEET

A1.1

100% 90% 80% 70% 60% 50% 40% 30% 20% 10% 0%

EXHIBIT "A"
Page No. 6 of 44
Case No. DIR-2024-163-TOC-SPP-HCA

VANOWEN MIXED-USE

2000 CALIFORNIA AVENUE
SANTA BARBARA, CA 93101

MECP SUBMITTAL

DATE	DESCRIPTION OF REVISION
(DATE)	PROPOSED SET
(DATE)	PLANNING SUBMITTAL
(DATE)	MECP PLANNING SUBMITTAL

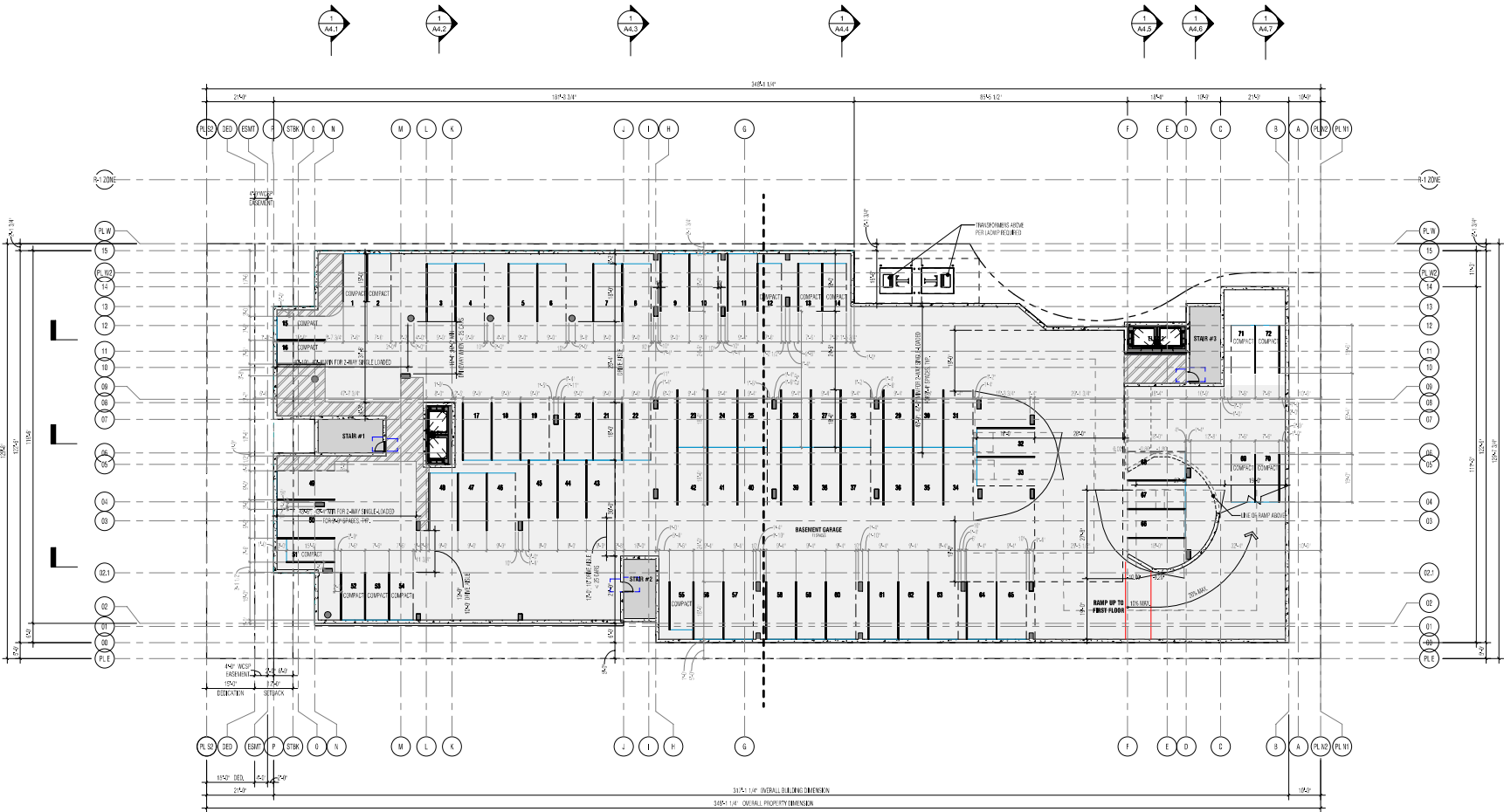
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SHEET CONTENTS
BASEMENT

PROJECT NO. 10007

SHEET

A2.0



BASEMENT GARAGE 1/16" = 1'-0" 1

NOTE:
SEE A2.00 "GENERAL NOTES" FOR FLOOR PLAN NOTES

BID REQUIREMENTS

FOR CONCRETE CONTROL JOINTS AT BASEMENT SLAB

- AT THE BASEMENT LEVEL, THE SLAB, THE FLOOR SHALL BE SUBMITTAL FOR THE FOLLOWING BID REQUIREMENTS:
- PROVIDE WITH CONTROL JOINTS AT 10'-0" ON CENTER FOR THE SLAB ON GRADE.
- PROVIDE WITH CONTROL JOINTS AT 10'-0" ON CENTER FOR THE SLAB ON GRADE.
- PROVIDE WITH CONTROL JOINTS AT 10'-0" ON CENTER FOR THE SLAB ON GRADE.
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- PROVIDE WITH CONTROL JOINTS AT 10'-0" ON CENTER FOR THE SLAB ON GRADE.

EV SPACE PARKING NOTE:

ELECTRICAL RACEWAY TERMINATION POINT FOR FUTURE EV CHARGING STATIONS PER ELECTRICAL DRAWINGS, TYP.

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VANOWEN MIXED-USE

200% SCALE GENERAL SHEET
COMMERCIAL PARKING LOT
MECP SUBMITTAL

DATE	DESCRIPTION OF REVISION
06/01/2024	PROPOSED SET
06/11/2024	PLANNING SUBMITTAL
06/11/2024	MECP PLANNING SUBMITTAL

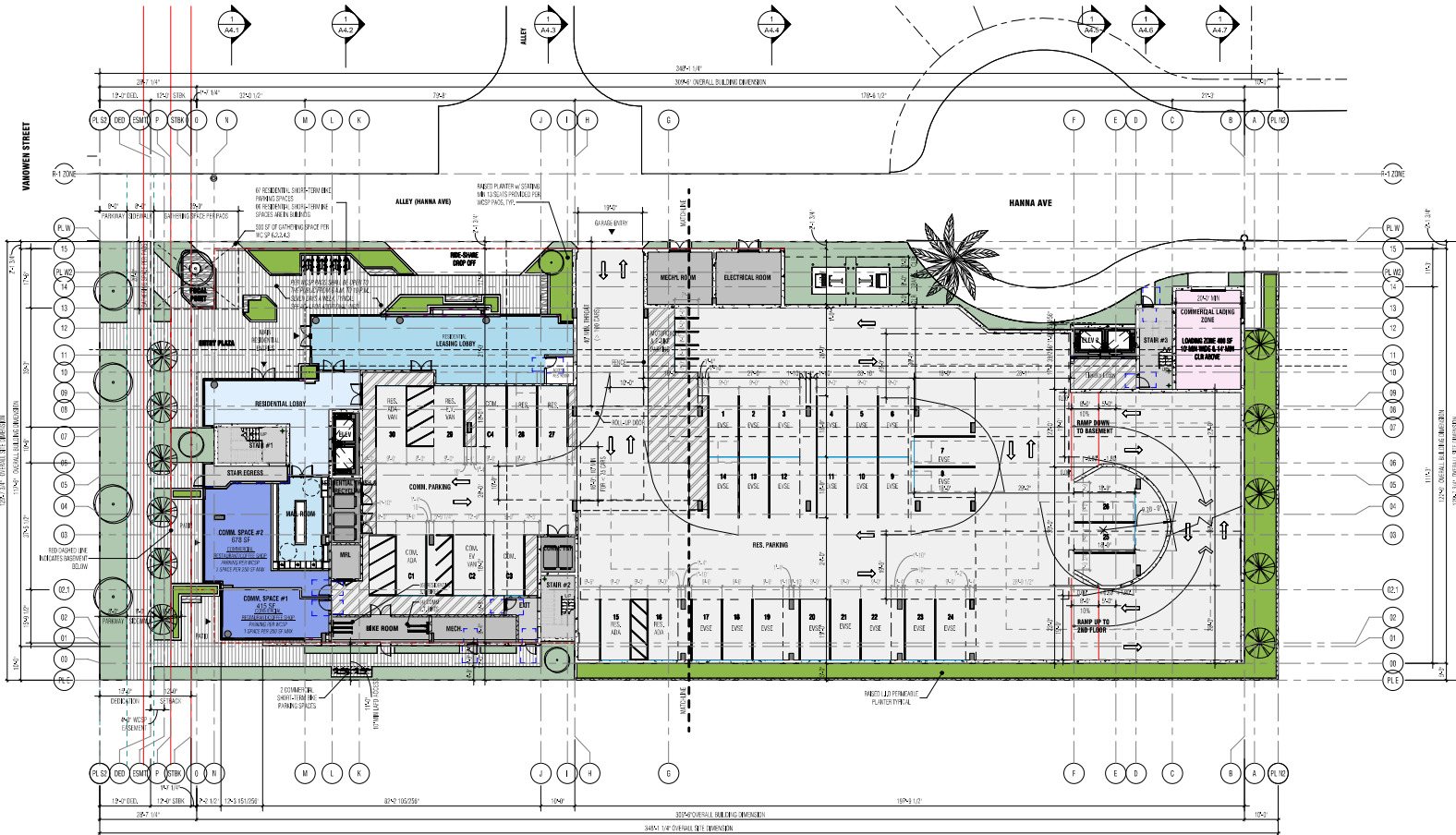
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SHEET CONTENTS
1ST FLOOR PLAN

PROJECT NO. 19007

SHEET

A2.1



FIRST FLOOR PLAN

OVERALL 1ST FLOOR PLAN 1/16" = 1'-0" 1

LABDS GREEN NOTE ELECTRIC VEHICLES

EV SPACE PLANNING NOTE:

1. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SUPPORT THE CHARGING OF ALL ELECTRIC VEHICLES (EVs) AT THE FULL RATED AMPERAGE OF THE EVs. A PLAN SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.

2. THE EV CHARGING STATIONS SHALL BE LOCATED IN THE COMMERCIAL PARKING LOT. THE CHARGING STATIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS.

3. THE EV CHARGING STATIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS.

4. THE EV CHARGING STATIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS.

5. THE EV CHARGING STATIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS.

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8. THE EV CHARGING STATIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS.

9. THE EV CHARGING STATIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS.

10. THE EV CHARGING STATIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS.

LABDS GREEN NOTE COMMERCIAL NOISE

1. THE BUILDING SHALL BE DESIGNED TO MEET THE CITY ENGINEER'S REQUIREMENTS FOR COMMERCIAL NOISE.

2. THE BUILDING SHALL BE DESIGNED TO MEET THE CITY ENGINEER'S REQUIREMENTS FOR COMMERCIAL NOISE.

3. THE BUILDING SHALL BE DESIGNED TO MEET THE CITY ENGINEER'S REQUIREMENTS FOR COMMERCIAL NOISE.

4. THE BUILDING SHALL BE DESIGNED TO MEET THE CITY ENGINEER'S REQUIREMENTS FOR COMMERCIAL NOISE.

5. THE BUILDING SHALL BE DESIGNED TO MEET THE CITY ENGINEER'S REQUIREMENTS FOR COMMERCIAL NOISE.

6. THE BUILDING SHALL BE DESIGNED TO MEET THE CITY ENGINEER'S REQUIREMENTS FOR COMMERCIAL NOISE.

7. THE BUILDING SHALL BE DESIGNED TO MEET THE CITY ENGINEER'S REQUIREMENTS FOR COMMERCIAL NOISE.

8. THE BUILDING SHALL BE DESIGNED TO MEET THE CITY ENGINEER'S REQUIREMENTS FOR COMMERCIAL NOISE.

9. THE BUILDING SHALL BE DESIGNED TO MEET THE CITY ENGINEER'S REQUIREMENTS FOR COMMERCIAL NOISE.

10. THE BUILDING SHALL BE DESIGNED TO MEET THE CITY ENGINEER'S REQUIREMENTS FOR COMMERCIAL NOISE.

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VANOWEN MIXED-USE

2ND FLOOR PLAN
SHEET
SPP-PLANNING SUBMITTAL
MSP-2 SUBMITTAL

DATE	DESCRIPTION OF REVISION
06/01/2024	PROGRESS SET
06/11/2024	PLANNING SUBMITTAL
06/11/2024	MSP-2 PLANNING SUBMITTAL

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2ND FLOOR 1/16" = 1'-0" 1

NOTE:
SEE A2.00 "GENERAL NOTES" FOR FLOOR PLAN NOTES

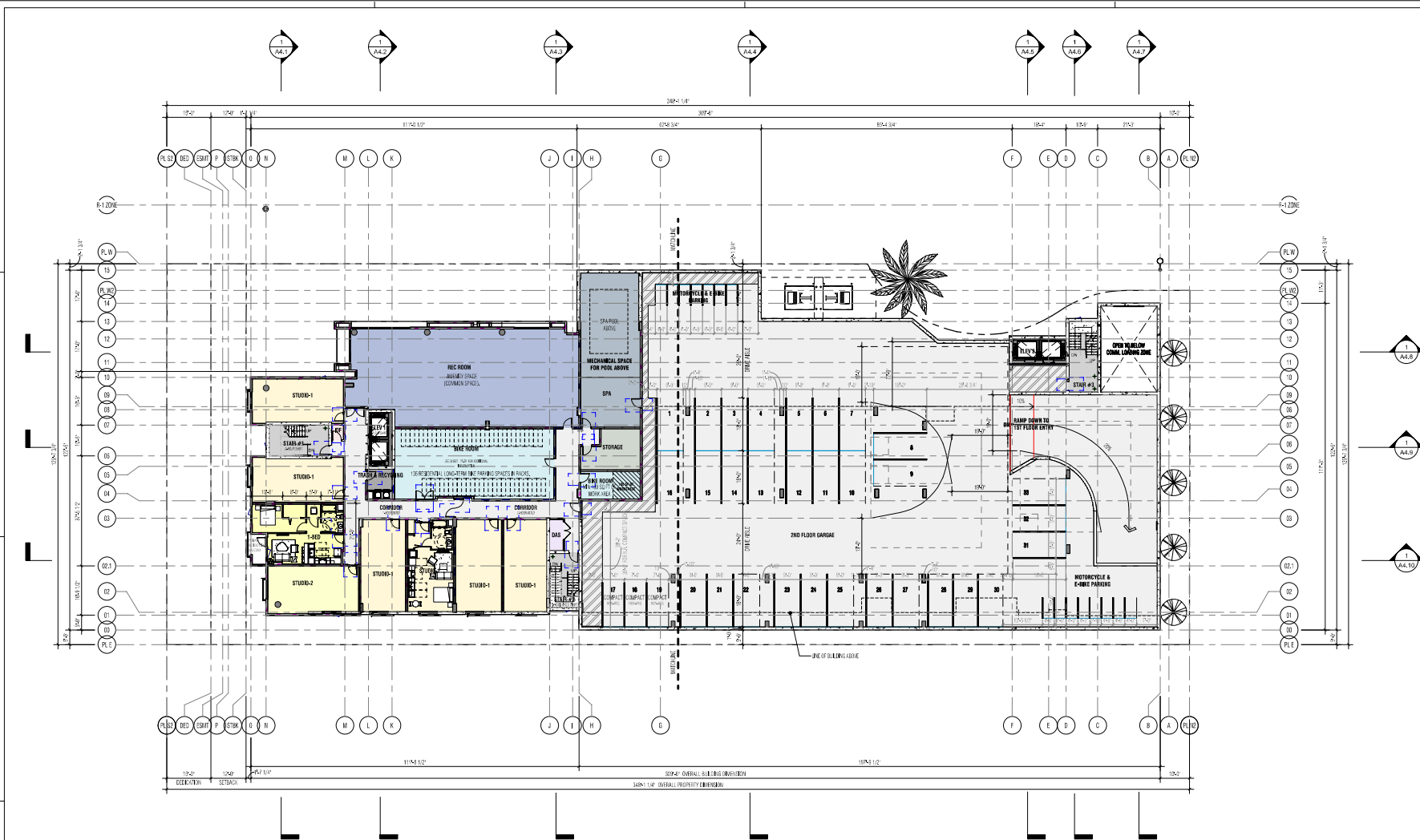
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SHEET CONTENTS
2ND FLOOR PLAN

PROJECT NO. 19007

SHEET

A2.2



VANOWEN MIXED-USE

3RD FLOOR PLAN
WCSF SUBMITTAL

DATE	DESCRIPTION FOR REVIEW
06/20/2023	PROGRESS SET
07/17/2023	PLANNING SUBMITTAL
08/20/2023	WCSF PLANNING SUBMITTAL

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SHEET CONTENTS
3RD FLOOR PLAN
PROJECT NO. 10007
SHEET

A2.3



THIS LEVEL IS TYPE 1-A CONSTRUCTION

3RD FLOOR 1/16" = 1'-0" 1

NOTE:
SEE A2.00 "GENERAL NOTES" FOR FLOOR PLAN NOTES

TYPICAL FIRE BARRIER NOTE:
FIRE BARRIERS SHALL BE FULLY PACKED ALL VOID SPACES WITH MINERAL WOOL IN ALL FIRE BARRIERS AT FLOORWALL & WALL/ROOF CONNECTIONS (STAIRS, SHAFTS, ELEVATORS & 2-HOUR FIRE BARRIER ARE THE MAIN AREAS.)

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Case No. DIR-2024-163-TOC-SPP-HCA

VANOWEN MIXED-USE

122 E. ARRELLAGA
SANTA BARBARA
CALIFORNIA 93101
805 962 2746

DATE	DESCRIPTION FOR REVIEW
06/20/2023	PROGRESS SET
07/17/2023	PLANNING SUBMITTAL
08/21/2023	MSCP PLANNING SUBMITTAL

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SHEET CONTENTS
4TH FLOOR PLAN

PROJECT NO. 10007

SHEET

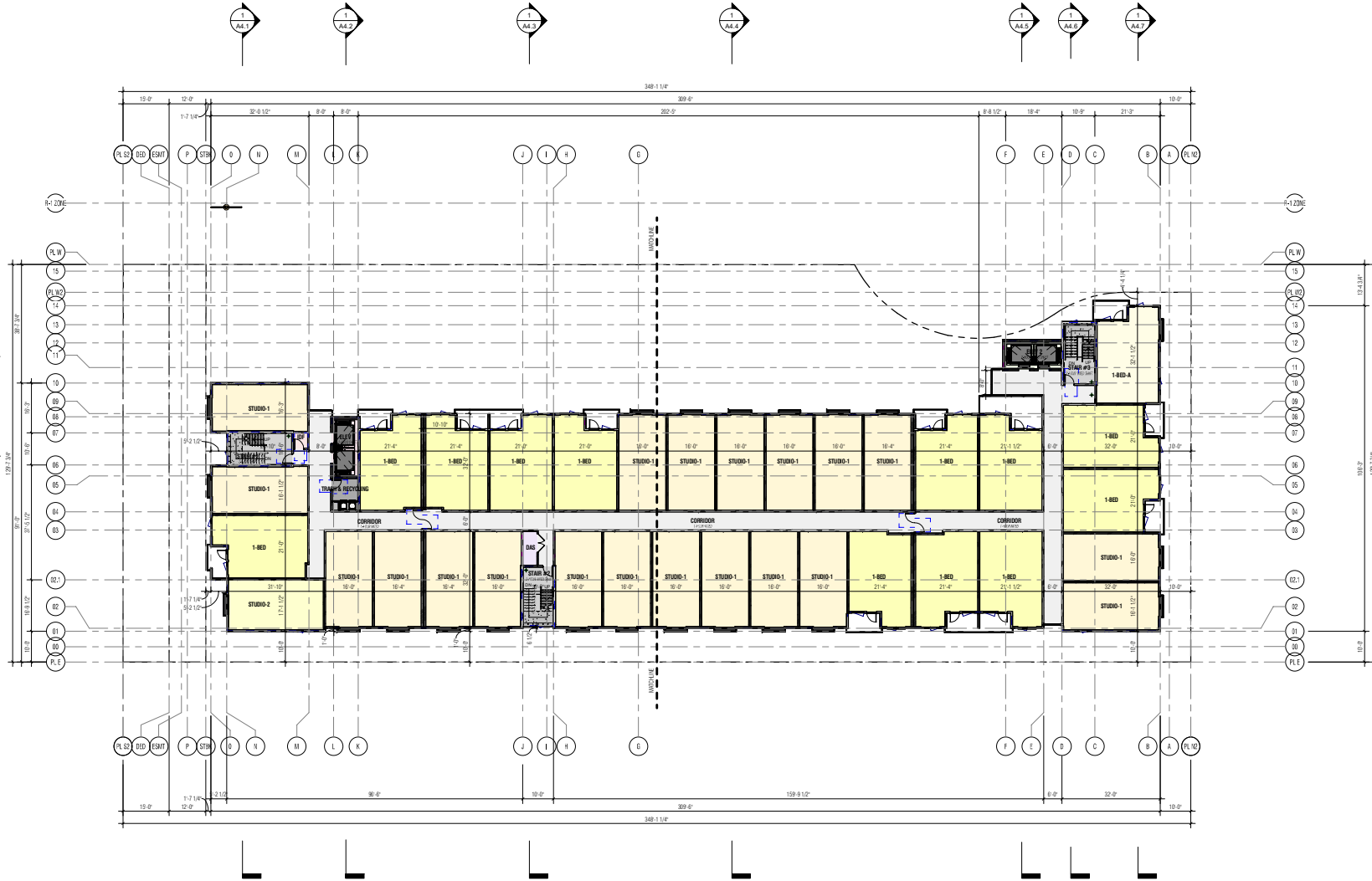
A2.4

TYPICAL 4TH, 5TH & 6TH FLOOR 1/16" = 1'-0" 1

NOTE:
SEE A2.00 "GENERAL NOTES" FOR FLOOR PLAN NOTES

TYPICAL FIRE BARRIER NOTE:
FIRE BARRIERS SHALL BE FULLY PACKED ALL VOID SPACES WITH MINERAL WOOL IN ALL FIRE BARRIERS AT FLOORWALL & WALL/ROOF CONNECTIONS (STAIRS, SHAFTS, ELEVATORS & 2-HOUR FIRE BARRIER ARE THE MAIN AREAS.)

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VANOWEN MIXED-USE

DESIGN FOR CONCEPT
CONCEPT DEVELOPMENT
MEP SUBMITTAL

DATE	DESCRIPTION FOR REVIEW
(04/20/22)	PROGRESS SET
(04/27/22)	PLANNING SUBMITTAL
(04/28/22)	MEP PLANNING SUBMITTAL

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SHEET CONTENTS
7TH FLOOR PLAN

PROJECT NO. 10007

SHEET

A2.5



7TH FLOOR 1/16" = 1'-0" 1

NOTE:
SEE A2.00 "GENERAL NOTES" FOR FLOOR PLAN NOTES

TYPICAL FIRE BARRIER NOTE:
FIRE BARRIERS SHALL BE FULLY PACKED ALL JOIST SPACES WITH MINERAL WOOL IN ALL FIRE BARRIERS AT FLOORWALL & WALL/ROOF CONNECTIONS (STAIRS, SHUTS, ELEVATORS & 2-HOUR FIRE BARRIER ARE THE MAIN AREAS.)

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VANOWEN MIXED-USE

122 E. ARRELLAGA
SANTA BARBARA
CALIFORNIA 93101
805 962 2746

DATE	DESCRIPTION FOR REVIEW
08.30.2022	PROGRAM SET
09.17.2023	PLANNING SUBMITTAL
09.23.2023	NCSP PLANNING SUBMITTAL

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8TH FLOOR 1/16" = 1'-0" 1

NOTE:
SEE A2.00 "GENERAL NOTES" FOR FLOOR PLAN NOTES

TYPICAL FIRE BARRIER NOTE:
FIRE BARRIERS SHALL BE FULLY FINISHED ALL USED SPACES WITH MINERAL WOOL IN ALL FIRE BARRIERS AT FLOORWALL & WALL/ROOF CONNECTIONS (STAIRS, SHAFTS, ELEVATORS & 2-HOUR FIRE BARRIER ARE THE MAIN AREAS.)

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SHEET CONTENTS
8TH FLOOR PLAN

PROJECT NO. 10007

SHEET

A2.6

WICSPA SUBMITTAL
 10000A PARK, CA 91303

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A2.7

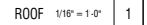


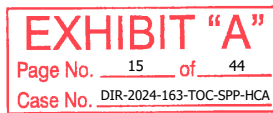
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MOOGA PARK, CA 91303
WCSP-SENTINAL[illegible]

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SHEET CONTENTS
ELEVATIONS
PROJECT NO: 10007
SHEET
A3.1

A3.1



NORTH ELEVATION	$1/8" = 1'-0"$	1
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1/3/2024 5:17:05 PM

DATE	REVISION/REVIEW
08.06.2022	PROCESSED SET
08.17.2022	PLANNING SUBMITTAL
08.23.2022	NSCP PLANNING SUBMITTAL

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SHEET CONTENTS
ELEVATIONS

PROJECT NO. 10007

SHEET

A3.2

GENERAL NOTES

PLASTER CONTROL JOINTS (BASIS OF DESIGN/BD)

THE CONTRACTOR SHALL BUILD THE CONTROL JOINTS ON THE PROJECT PER THE MINIMUM REQUIREMENTS:

- NO JOINT SHALL BE GREATER THAN 14'-0" BETWEEN A CONTROL JOINT.
- EVERY STOREFRONT, WINDOW, DOOR AND OPENING SHALL BE PROVIDED WITH A VERTICAL CONTROL JOINT ON EACH SIDE OF THE STOREFRONT, WINDOW, DOOR OR OPENING.
- EACH FLOOR LEVEL SHALL BE PROVIDED WITH A CONTROL JOINT AROUND THE ENTIRE PERIMETER OF THE PROJECT.
- SEE SPECIFICATION FOR ADDITIONAL REQUIREMENTS.
- GENERAL CONTRACTOR/CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH A SHOP DRAWING SHOWING THE PROPOSED LOCATIONS OF THE CONTROL JOINTS, REVEALS, ETC PRIOR TO INSTALLATION. THE ARCHITECT AND OWNER SHALL REVIEW AND COMMENT ON THE PROVIDED SHOP DRAWING.

EXTERIOR FINISH COLORS

- ALL KEY NOTES ARE REPRESENTATIVE OF TYPICAL CONDITIONS AND SHALL APPLY TO OTHER SIMILARLY REPRESENTED CONDITIONS AS INDICATED ON THESE ELEVATION DRAWINGS UNLESS THEY ARE NOTED OR DETAIL REFERENCED OTHERWISE. ANY UNCERTAINTY AS TO THE NATURE OF A GRAPHICALLY REPRESENTED CONDITION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE CONSTRUCTION PROCESS.
- NOTE: AN ALLOWANCE - STUCCO EXPANSION JOINT TO BE PROVIDED WHERE STUCCO AREA EXCEEDS 144 SF AND IN ACCORDANCE WITH RECOMMENDATIONS OF A QUALIFIED STUCCO MANUFACTURER.
- FOR OPPOSITE SIDE OF PRIVATELY OWNED AND OTHER SIMILAR EXTERIOR SURFACES ASSUME THAT THE MATERIAL AND COLOR FINISH WILL BE THE SAME AS THE OPPOSITE U.L.D. SIDE.
- FOR EXTERIOR SURFACES NOT OTHERWISE REPRESENTED IN THESE ELEVATION DRAWINGS ASSUME MATERIAL AND COLOR MATCH OTHER SIMILAR AND/OR ADJACENT CONDITIONS, AND REQUEST CLARIFICATION OF THE ARCHITECT.
- ALL HORIZONTAL EXPOSED PLASTER AND CORRUGATED METAL AND CAPPED SURFACES (E.G. TOP OF WALLS AND LEDGES) ARE TO BE PROTECTED BY A LAYER OF PROTECTIVE FINISH IN ADDITION TO THAT DETAIL NOTED REVEALS.
- BLANK: THE EXTERIOR OF THE PROPOSED STRUCTURE SHALL BE CONSTRUCTED OF MATERIALS SUCH AS, BUT NOT LIMITED TO, HIGH-PERFORMANCE AND/OR HIGH-REFLECTIVE THERMO GLASS (NO MIRROR-LIKE TINTS OR FILMS) AND PRE-CAST CONCRETE OR FABRICATED WALL SURFACES TO MINIMIZE GLARE & REFLECTED HEAT.
- ALL EXPOSED METAL & STEEL SHALL BE PAINTED.

WATERPROOFING NOTE:
SEE SHEET A3.2B FOR ADDITIONAL DETAILS FOR THE ROOFTOP WATERPROOFING OF EXTERIOR PLANNING & PAVING. SEE SHEET A3.2C FOR ADDITIONAL DETAILS FOR THE GARAGE/PAVING/WATERPROOFING OF EXTERIOR ELECTRICAL FEATURES.

ANTI-GRAFFITI NOTE

PROVIDE ANTI-GRAFFITI COATING SYSTEM WITH MINIMUM AVERAGE AT THE FIRST ELEV. MEASURED FROM GRADE, AT WALLS & DOORS. (3000) BASIS OF DESIGN. RAINGLASS PRODUCTS COMPANY UNANI GUARD ANTI-GRAFFITI COATING (GLAR # 2500S) OR EQUAL WITH APPROVED LAYER #.

PLASTER FINISH NOTE

- USE A SMOOTH THINLY FINISH (1/2" & 3/4" FLOORS).
- USE A SMOOTH THINLY FINISH (1/2" & 3/4" FLOORS).
- USE A SMOOTH THINLY FINISH ON THE 3RD FLOOR COURTYARD PLANTERS.

L.I.D./B.M.P. NOTE

ALL DOWNPOUTS AND ROOF DRAINS TO CONNECT TO STORMWATER INFILTRATION MAP. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.

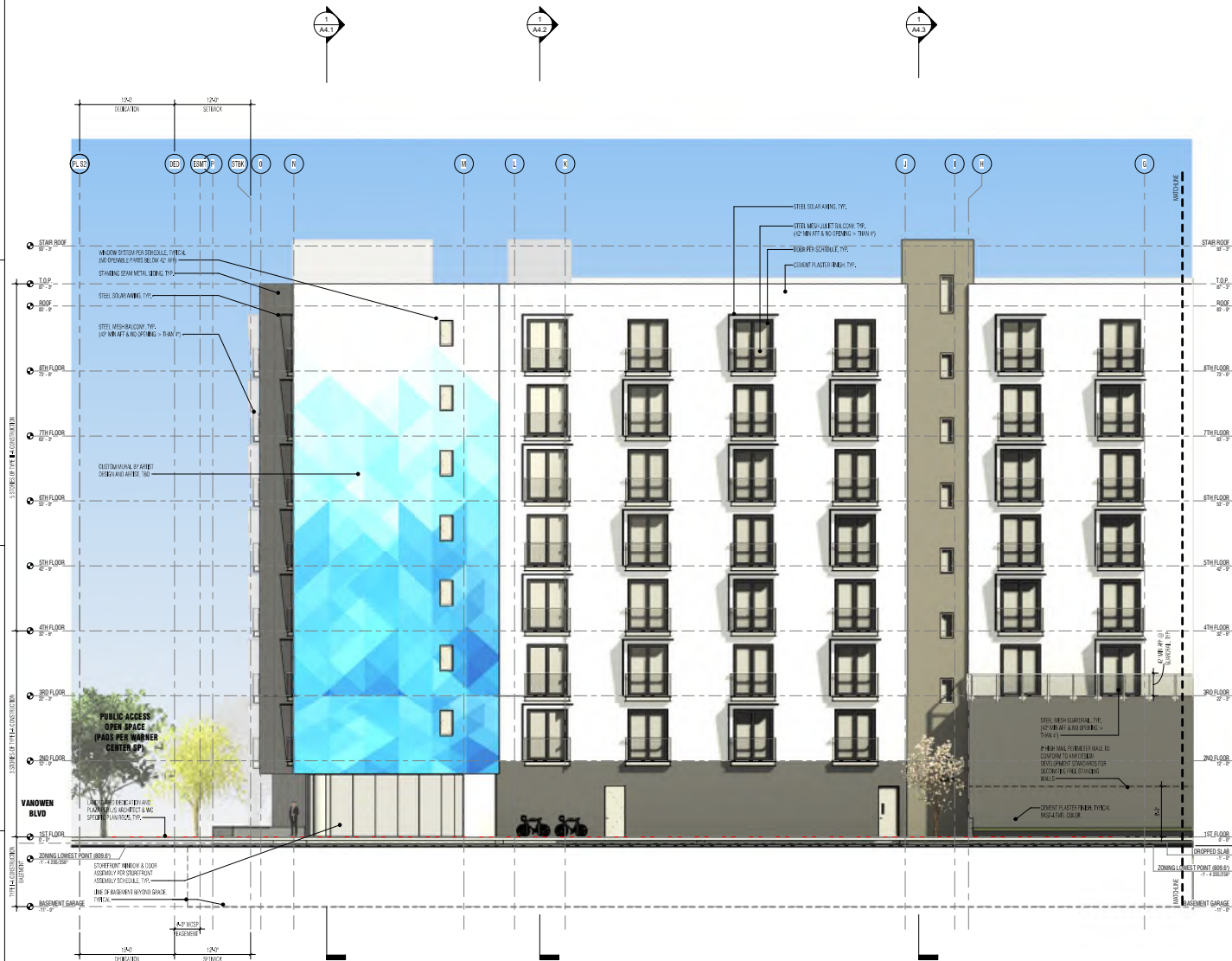
MATERIAL & COLORS SCHEDULE

#	MATERIAL	COLOR / AREA	BMFR	IMAGE
P1	PAINTED STUCCO	WHITE / FIELD	BENJAMIN MOORE w/ OMEGA OR EQUAL	
P2	PAINTED STUCCO	GRAY w/ 40% BY BENJAMIN MOORE BASE	BENJAMIN MOORE w/ OMEGA OR EQUAL	
P3	PAINTED STUCCO	SHADE DANCES 1400 BY BENJAMIN MOORE ACCENT	BENJAMIN MOORE w/ OMEGA OR EQUAL	
P5	PAINTED MURAL w/ STUCCO	CUSTOM PAINTED MURAL BY LOCAL ARTIST	180	
C1	ULTRA-HIGH COMPACT TILE	CHARCOAL GRAY / BALCONY INSETS	DEKTON	
M1	BOX RIB METAL CLADDING BR-12	BLACK / EXTERIOR SIDING	BERRIDGE OR EQUAL	
M2	STANDING SEAM METAL CLADDING TEE PANEL	ZINC GRAY / EXTERIOR SIDING	BERRIDGE OR EQUAL	
M3	STEEL SOLAR SHADE	CUSTOM MTL. SOLAR SHADES COLOR: BLACK	80K MODERN OR EQUAL	
M4	STEEL GUARDRAILS	FABRIC FINISH BLACK PAINT	180	

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EAST ELEVATION 1/16" = 1'-0"

1



GENERAL NOTES

PLASTER CONTROL JOINTS (BASIS OF DESIGN/BD)

THE CONTRACTOR SHALL, BUT THE CONTROL JOINTS ON THE PROJECT PER THE MINIMUM REQUIREMENTS:

- NO AREA SHALL BE GREATER THAN 144 SF BETWEEN A CONTROL JOINT.
- EVERY STOREFRONT, WINDOW, DOOR AND OPENING SHALL BE PROVIDED WITH A VERTICAL CONTROL JOINT ON EACH SIDE OF THE STOREFRONT, WINDOW, DOOR OR OPENING.
- EACH FLOOR LEVEL SHALL BE PROVIDED WITH A CONTROL JOINT AROUND THE ENTIRE PERIMETER OF THE PROJECT.
- USE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- GENERAL CONTRACTOR/CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH A SHOP DRAWING SHOWING THE PROPOSED LOCATIONS OF THE CONTROL JOINTS, REVEALS, ETC. PRIOR TO INSTALLATION. THE ARCHITECT AND OWNER SHALL REVIEW AND COMMENT ON THE PROVIDED SHOP DRAWING.

EXTERIOR FINISH COLORS

- ALL KEY NOTES ARE REPRESENTATIVE OF TYPICAL CONDITIONS AND SHALL APPLY TO OTHER SIMILARLY REPRESENTED CONDITIONS AS INDICATED ON THESE ELEVATION DRAWINGS UNLESS THEY ARE NOTED OR DETAIL REFERENCED OTHERWISE. ANY UNCERTAINTY AS TO THE NATURE OF A GRAPHICALLY REPRESENTED CONDITION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE CONSTRUCTION PROCESS.
- NOTE: IN ALL VERTICAL STITCHED EXPANSION JOINTS TO BE PROVIDED WHERE STICED AREA EXCEEDS 144 SF AND IN ACCORDANCE WITH RECOMMENDATIONS OF A QUALIFIED STICED MANUFACTURER.
- FOR OPPOSITE SIDE OF FAÇADES, SPILTS AND OTHER SIMILAR EXTERIOR SURFACES ASSUME THAT THE MATERIAL AND COLOR FINISH WILL BE THE SAME AS THE OPPOSITE U.L.S. EXTERIOR.
- FOR EXTERIOR SURFACES NOT OTHERWISE REPRESENTED IN THESE ELEVATION DRAWINGS ASSUME MATERIAL AND COLOR MATCH OTHER SIMILAR AND ADJACENT CONDITIONS, AND REQUEST CLARIFICATION OF THE ARCHITECT.
- ALL HORIZONTAL EXPOSED PLASTER AND CONCRETE METAL AND CAPED SURFACES (E.G. TOP OF WALLS AND LEDGES) ARE TO BE PROTECTED BY A LAYER OF PROTECTIVE FILM IN ADDITION TO THE DETAIL NOTED FEATURES.
- NOTE: THE EXTERIOR OF THE PROPOSED STRUCTURE SHALL BE CONSTRUCTED OF MATERIALS SUCH AS, BUT NOT LIMITED TO, HIGH PERFORMANCE AND HIGH RESISTIVE THIN GLASS (HVR) WINDOW LINE TINTS OR FILMS AND CAST CONCRETE OR FABRICATED WALL SURFACES TO MINIMIZE GLARE & REFLECTED HEAT.
- ALL EXPOSED METAL & STEEL SHALL BE PAINTED.

WATERPROOFING NOTE:
SEE SHEET A3.2 FOR ADDITIONAL DETAILS FOR THE GROUNDWATER WATERPROOFING OF EXTERIOR PLUMBING & PIPING. SEE SHEET A3.1 FOR ADDITIONAL DETAILS FOR THE GROUNDWATER WATERPROOFING OF EXTERIOR ELECTRICAL FUTURES.

ANTI-GRAFFITI NOTE

PROVIDE ANTI-GRAFFITI COATING SYSTEM WITH LAMP APPROVAL AT THE FIRST 3 FEET, MEASURED FROM GRADE, AT WALLS & DOORS. (300R) BASES OF DESIGN: HANGLAND PRODUCTS COMPANY UNPAVED, GRAVED ANTI-GRAFFITI COATING (LAMP # 2500R) OR EQUAL WITH APPROVED LAMP #.

PLASTER FINISH NOTE

- USE A SMOOTH THINSET FINISH @ 1/4" & 3/8" THICKNESSES.
- USE A 20/30 SAND FINISH @ 3/4" THICKNESS.
- USE A SMOOTH THINSET FINISH ON THE 3RD FLOOR COURTYARD PLANTERS.

L.I.D./B.M.P. NOTE

ALL DOWNSPOUTS AND ROOF DRAIN TO CONNECT TO STORMWATER INFILTRATION MAP. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.

MATERIAL & COLORS SCHEDULE

#	MATERIAL	COLOR / AREA	FINISH	IMAGE
P1	PAINTED STEEL	WHITE / FIELD	RELIANT WHITE w/ OVERSILK OR FLUOR	
P2	PAINTED STEEL	GRAY / 40% OF EXTERIOR DOORS	RELIANT WHITE w/ OVERSILK OR FLUOR	
P3	PAINTED STEEL	SHADE GRAY / 40% OF EXTERIOR DOORS	RELIANT WHITE w/ OVERSILK OR FLUOR	
P4	PAINTED METAL w/ STEEL	CUSTOM PAINTED METAL BY LOCAL ARTIST	TBD	
C1	ULTRA HIGH COMPACT TILE	CHARCOAL GRAY / 10% OF EXTERIOR DOORS	RELIANT	
M1	EXTERIOR METAL CLADDING	BLACK / EXTERIOR DOORS	RELIANT OR FLUOR	
M2	STAINLESS STEEL METAL CLADDING	304 / EXTERIOR DOORS	RELIANT OR FLUOR	
M3	STEEL SOLAR FINING	CUSTOM METAL SOLAR FINING	BLACK MODERN OR FLUOR	
M4	STEEL GLAZING	FACTORY FINISH BLACK PAINT	TBD	

EXHIBIT "A"
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EAST ELEVATION - SOUTHERN PORTION 1/8" = 1'-0" 1



122 E. ARRELLAGA
SANTA BARBARA
CALIFORNIA 93101
805 962 2746

VANOWEN MIXED-USE

2024-2025 VANOWEN MIXED-USE
PROJECT SUBMITTAL

DATE	DESCRIPTION FOR KEY SHEET
01/11/2025	PROJECT SET
01/11/2025	PLANNING SUBMITTAL
01/11/2025	MEP PLANNING SUBMITTAL

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SHEET CONTENTS
ELEVATIONS

PROJECT NO. 10007

SHEET

A3.2A

WICSP SUBMITTAL
CANOGA PARK, CA 91303[illegible]

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SHEET CONTENTS

ELEVATIONS

PROJECT NO: 10007

SHEET

A3.2B

ALL DOWNSPOUTS AND ROOF DRAINS TO CONNECT TO STORMWATER INFILTRATION BMP. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.

EAST ELEVATION - SOUTH PORTION	1/8" = 1'-0"	1
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DATE	DESCRIPTION FOR REVISION
(DATE)	PROPOSED SET
(DATE)	PLANNING SUBMITTAL
(DATE)	MECP PLANNING SUBMITTAL

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SHEET CONTENTS
ELEVATIONS

PROJECT NO. 10007

SHEET

A3.3

GENERAL NOTES

PLASTER CONTROL JOINTS (BASIS OF DESIGN/BD)

- THE CONTRACTOR SHALL, BUT THE CONTROL JOINTS ON THE PROJECT FOR THE MINIMUM REQUIREMENTS:
- NO AREA SHALL BE GREATER THAN 144 SF BETWEEN A CONTROL JOINT.
 - EVERY STOREFRONT, WINDOW, DOOR AND OPENING SHALL BE PROVIDED WITH A VERTICAL CONTROL JOINT ON EACH SIDE OF THE STOREFRONT, WINDOW, DOOR OR OPENING.
 - EACH FLOOR LEVEL SHALL BE PROVIDED WITH A CONTROL JOINT AROUND THE ENTIRE PERIMETER OF THE PROJECT.
 - SEE SPECIFICATION FOR ADDITIONAL REQUIREMENTS.
 - GENERAL CONTRACTOR/CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH A SHEET DRAWING SHOWING THE PROPOSED LOCATIONS OF THE CONTROL JOINTS, REVEALS, ETC PRIOR TO INSTALLATION. THE ARCHITECT AND OWNER SHALL REVIEW AND COMMENT ON THE PROVIDED SHEET DRAWING.

EXTERIOR FINISH COLORS

1. ALL KEYNOTES ARE REPRESENTATIVE OF TYPICAL CONDITIONS AND SHALL APPLY TO OTHER SIMILARLY REPRESENTED CONDITIONS AS INDICATED ON THESE ELEVATION DRAWINGS UNLESS THEY ARE NOTED OR DETAIL REFERENCES OTHERWISE. ANY UNCERTAINTY AS TO THE NATURE OF A GRAPHICALLY REPRESENTED CONDITION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE CONSTRUCTION PROCESS.
2. NOTE: (A) ALLOWANCES - STUCCO EXPANSION JOINT TO BE PROVIDED WHERE STUCCO AREA EXCEEDS 144 SF AND IN ACCORDANCE WITH RECOMMENDATIONS OF A QUALIFIED STUCCO MANUFACTURER.
3. FOR OPPOSITE SIDE OF PARTIALLY SHOWN AND OTHER SIMILAR EXTERIOR SURFACES ASSUME THAT THE MATERIAL AND COLOR FINISH WILL BE THE SAME AS THE OPPOSITE (UNLESS OTHERWISE NOTED).
4. FOR EXTERIOR SURFACES NOT OTHERWISE REPRESENTED IN THESE ELEVATION DRAWINGS ASSUME MATERIAL AND COLOR MATCH OTHER SIMILAR AND ADJACENT CONDITIONS, AND REQUEST CLARIFICATION OF THE ARCHITECT.
5. ALL HORIZONTAL EXPOSED PLASTER AND CONCRETE METAL AND CAPED SURFACES (E.G. TOP OF WALLS AND LEDGES) ARE TO BE PROTECTED BY A LAYER OF PROTECTANT IN ADDITION TO OTHER DETAIL NOTED FOR SURFACES.
6. **PLUMB** THE EXTERIOR OF THE PROPOSED STRUCTURE SHALL BE CONSTRUCTED OF MATERIALS SUCH AS, BUT NOT LIMITED TO, HIGH-PERFORMANCE, HIGH-LOW REFLECTIVE THIN GLASS (NO MIRROR-LIKE TINTS OR FILMS) AND PRE-CAST CONCRETE OR FABRICATED WALL SURFACES TO MINIMIZE GLARE & REFLECTED HEAT.
7. ALL EXPOSED METAL & STEEL SHALL BE PAINTED.

WATERPROOFING NOTE:
SEE SHEET 10 FOR ADDITIONAL DETAILS FOR THE CHAPLIN WATERPROOFING OF EXTERIOR PLUMBING & TYPICAL SHEETS FOR ADDITIONAL DETAILS FOR THE CHAPLIN WATERPROOFING OF EXTERIOR ELECTRICAL FIXTURES.

ANTI-GRAFFITI NOTE

- PROVIDE ANTI-GRAFFITI COATING SYSTEM WITH LAMB APPROVAL AT THE FIRST EXTERIOR MEASURED FROM GRADE AT WALLS & DOORS. (BOMB) BASES OF DESIGN: RAINLAND PRODUCTS COMPANY UNIMIL GUARD ANTI-GRAFFITI COATING (LAMB # 2508) OR EQUAL WITH APPROVED LAMB #.

PLASTER FINISH NOTE

- USE A SMOOTH TROWEL FINISH (0 TO 2 SHOULDER).
- USE A SMOOTH SAND FINISH (0 TO 2 SHOULDER).
- USE A SMOOTH TROWEL FINISH ON THE 3RD FLOOR COURTYARD PLANTERS.

L.I.D./B.M.P. NOTE

ALL DOWNSPUTS AND ROOF DRAINAGE TO CONNECT TO STORMWATER INFILTRATION BAMP. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.

MATERIAL & COLORS SCHEDULE

#	MATERIAL	COLOR / AREA	BMFR	IMAGE
P1	PAINTED STUCCO	WHITE / RED	BELMONT MOORE w/ OVERLAY OF LOCAL	
P2	PAINTED STUCCO	GRANITE BEIGE w/ BELMONT MOORE BASE	BELMONT MOORE w/ OVERLAY OF LOCAL	
P3	PAINTED STUCCO	SHARK WHITE w/ BELMONT MOORE ACCENT	BELMONT MOORE w/ OVERLAY OF LOCAL	
P4	PAINTED METAL & STUCCO	CUSTOM FINISHED METAL BY LOCAL ARTIST	YTD	
C1	ULTRA-HIGH COMPACT TILE	CERAMIC, GRAY / BALLYON PISTOS	DETTON	
M1	STAINLESS STEEL METAL CLADDING	BLACK / EXTERIOR SKINS	EXTERIOR ORIGINAL	
M2	STAINLESS STEEL METAL CLADDING	ZINC GRAY / EXTERIOR SKINS	EXTERIOR ORIGINAL	
M3	STEEL SOLAR SHADE	CUSTOM METAL SOLAR SHADES COLOR: BLACK	LOOK MODERN ON FIDAL	
M4	STEEL SHAPES	FACTORY FINISH BLACK PAINT	YTD	

SOUTH ELEVATION 1/8" = 1'-0" 1

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DATE	DESCRIPTION / REVISION
08.06.2022	PROCESSED SET
08.17.2022	PLANNING SUBMITTAL
08.23.2022	NCSP PLANNING SUBMITTAL

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SHEET CONTENTS
ELEVATIONS

PROJECT NO. 10007

SHEET

A3.4

GENERAL NOTES

PLASTER CONTROL JOINTS (BASIS OF DESIGN BID)

- THE CONTRACTOR SHALL BID THE CONTROL JOINTS ON THE PROJECT PER THE MINIMUM REQUIREMENTS:
- NO JOINT SHALL BE GREATER THAN 14'-0" BETWEEN A CONTROL JOINT.
 - EVERY STOREFRONT WINDOW, DOOR AND OPENING SHALL BE PROVIDED WITH A VERTICAL CONTROL JOINT ON EACH SIDE OF THE STOREFRONT WINDOW, DOOR OR OPENING.
 - EACH FLOOR LEVEL SHALL BE PROVIDED WITH A CONTROL JOINT AROUND THE ENTIRE PERIMETER OF THE PROJECT.
 - SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 - GENERAL CONTRACTOR/OUR CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH A SHOP DRAWING SHOWING THE PROPOSED LOCATIONS OF THE CONTROL JOINTS, REVEALS, ETC PRIOR TO INSTALLATION. THE ARCHITECT AND OWNER SHALL REVIEW AND COMMENT ON THE PROVIDED SHOP DRAWING.

EXTERIOR FINISH COLORS

- ALL KEY NOTES ARE REPRESENTATIVE OF TYPICAL CONDITIONS AND SHALL APPLY TO OTHER SIMILARLY REPRESENTED CONDITIONS AS INDICATED ON THESE ELEVATION DRAWINGS (UNLESS THEY ARE NOTED OR DETAIL REFERENCED OTHERWISE) ANY UNCERTAINTY AS TO THE NATURE OF A GRAPHICALLY REPRESENTED CONDITION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE CONSTRUCTION PROCESS.
- NOTE: 50% (ALUMINUM) STUCCO SPRINGING JOINT TO BE PROVIDED WHERE STUCCO AREA EXCEEDS 144 SF AND IN ACCORDANCE WITH RECOMMENDATIONS OF A QUALITY SYSTEM MANUFACTURER. SURFACES ASSUME THAT THE MATERIAL AND COLOR FINISH WILL BE THE SAME AS THE OPPOSITE SIDE OF THE SPRINGING.
- FOR OPPOSITE SIDE OF PARAVENTS, SHUTTERS AND OTHER SIMILAR EXTERIOR SURFACES ASSUME THAT THE MATERIAL AND COLOR FINISH WILL BE THE SAME AS THE OPPOSITE SIDE OF THE SPRINGING.
- FOR EXTERIOR SURFACES NOT OTHERWISE REPRESENTED IN THESE ELEVATION DRAWINGS ASSUME MATERIAL AND COLOR MATCH OTHER SIMILAR WINDOW ADJACENT CONDITIONS, AND REDUCE CLARIFICATION OF THE ARCHITECT.
- ALL HORIZONTAL EXPOSED PLASTER AND CORRUGATED METAL AND CAPED SURFACES (E.G. TOP OF WALLS AND LEDGES) ARE TO BE PROTECTED BY A LAYER OF POLYURETHANE IN ADDITION TO THE DETAIL NOTED FEATURES.
- THE EXTERIOR OF THE PROPOSED STRUCTURE SHALL BE CONSTRUCTED OF MATERIALS SUCH AS, BUT NOT LIMITED TO, HIGH PERFORMANCE ALUMINUM HIGH STRENGTH THERMAL GLASS (NO MIRROR LINE TINTS OR FILMS) AND PANELED CAST CONCRETE OR FABRICATED WALL SURFACES TO MINIMIZE GLARE AND REFLECTED HEAT.
- ALL EXPOSED METAL & STEEL SHALL BE PAINTED.

WINDOW/DOOR NOTE:
SEE SHEET A3.4 FOR ADDITIONAL DETAIL & FOR THE CHANGELINE WATERMARK OF EXTERIOR FINISHING & PAINTING. SEE SHEET A3.4 FOR ADDITIONAL DETAILS FOR THE CHANGELINE WATERMARK OF EXTERIOR ELECTRICAL FINISHES.

ANTI-GRAFFITI NOTE

PROVIDE ANTI-GRAFFITI COATING SYSTEM WITH AIA APPROVAL AT THE FIRST FLOOR, MEASURED FROM GRADE, AT WALLS & DOORS. (BORN) BASES OF DESIGN: HANNAH PRODUCTS COMPANY VINYL GUARD ANTI-GRAFFITI COATING (CLASS # 2500) OR EQUAL WITH APPROVED LINE #.

PLASTER FINISH NOTE

- USE A SMOOTH TROWEL FINISH @ 1/2" & 3/4" FLOORS.
- USE A SMOOTH TROWEL FINISH @ 1/2" & 3/4" FLOORS.
- USE A SMOOTH TROWEL FINISH ON THE 2ND FLOOR COURTYARD PLANTERS.

L.I.D./B.M.P. NOTE

ALL DOWNPOUTS AND ROOF DRAINAGE TO CONNECT TO STORMWATER INFILTRATION MAP. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.

MATERIAL & COLORS SCHEDULE

#	MATERIAL	COLOR / AREA	MMFR	IMAGE
P1	PAINTED STUCCO	WHITE / FIELD	BENJAMIN MOORE w/ OMEGA OR EQUAL	
P2	PAINTED STUCCO	SPRINT # 600 BY BENJAMIN MOORE BASE	BENJAMIN MOORE w/ OMEGA OR EQUAL	
P3	PAINTED STUCCO	SHINE SHADES # 600 BY BENJAMIN MOORE ACCENT	BENJAMIN MOORE w/ OMEGA OR EQUAL	
P5	PAINTED MURAL w/ STUCCO	CUSTOM PAINTED MURAL BY LOCAL ARTIST	TBD	
C1	ULTRA HIGH COMPACT TILE	CHARCOAL GRAY / BALCONY INSETS	DEKTON	
M1	BOX RIB METAL CLADDING	BLACK / EXTERIOR SING	BERKELEY OR EQUAL	
M2	STANDING SEAM METAL CLADDING	ZINC GRAY / EXTERIOR SING	BERKELEY OR EQUAL	
M3	STEEL SOLAR SHADE	CUSTOM MET. SOLAR SHADES COLOR: BLACK	BOX MODERN OR EQUAL	
M4	STEEL GUARDRAILS	FALCONRY FINISH BLACK PAINT	TBD	

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WEST ELEVATION 1/16" = 1'-0" 1

WCSF SUBMITTAL
MILWAUKEE PARK, CA 91303[illegible]

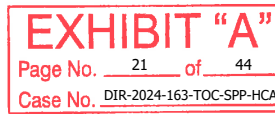
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PROJECT NO: 10007

SHEET

A3.4A



WEST ELEVATION - SOUTHERN PORTION	1/8" = 1.0'	1
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DATE	DESCRIPTION / REVIEW
08.06.2022	PROPOSED SET
05.17.2023	PLANNING SUBMITAL
08.23.2023	NSP PLANNING SUBMITAL

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SHEET CONTENTS
ELEVATIONS

PROJECT NO. 10007

SHEET

A3.4B

GENERAL NOTES

PLASTER CONTROL JOINTS (BASIS OF DESIGN/BD)

THE CONTRACTOR SHALL BUILD THE CONTROL JOINTS ON THE PROJECT PER THE MINIMUM REQUIREMENTS:

- NOISE SHALL BE GREATER THAN 1/4" UP WITHOUT A CONTROL JOINT
- EVERY STOREFRONT, WINDOW, DOOR AND OPENING SHALL BE PROVIDED WITH A VERTICAL CONTROL JOINT ON EACH SIDE OF THE STOREFRONT, WINDOW, DOOR OR OPENING
- EACH FLOOR LEVEL SHALL BE PROVIDED WITH A CONTROL JOINT AROUND THE ENTIRE PERIMETER OF THE PROJECT
- USE SPECIFICATION FOR ADDITIONAL REQUIREMENTS
- GENERAL CONTRACTORS/CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH A SHOP DRAWING SHOWING THE PROPOSED LOCATIONS OF THE CONTROL JOINTS, VERTICALS, ETC PRIOR TO INSTALLATION. THE ARCHITECT AND OWNER SHALL REVIEW AND COMMENT ON THE PROVIDED SHOP DRAWING

EXTERIOR FINISH COLORS

1. ALL KEY NOTES ARE REPRESENTATIVE OF TYPICAL CONDITIONS AND SHALL APPLY TO OTHER SIMILAR REPRESENTED CONDITIONS AS INDICATED ON THESE ELEVATION DRAWINGS UNLESS THEY ARE NOTED OR DETAIL REFERENCED OTHERWISE. ANY UNCERTAINTY AS TO THE NATURE OF A GRAPHICALLY REPRESENTED CONDITION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE CONSTRUCTION PROCESS.

2. NOTE: SO (ALLIANCE) - STUCCO EMPLOYED JOINT TO BE PROVIDED WHERE STUCCO AREA EXCEEDS 144 SF AND IN ACCORDANCE WITH RECOMMENDATIONS OF A JOINT SYSTEM MANUFACTURER.

3. FOR OPPOSITE SIDE OF PARALLEL SURFACES AND OTHER SIMILAR EXTERIOR SURFACES ASSUME THAT THE MATERIAL AND COLOR FINISH WILL BE THE SAME AS THE OPPOSITE (UNLESS OTHERWISE NOTED).

4. FOR EXTERIOR SURFACES NOT OTHERWISE REPRESENTED IN THESE ELEVATION DRAWINGS ASSUME MATERIAL AND COLOR MATCH OTHER SIMILAR AND/OR ADJACENT CONDITIONS, AND REQUEST CLARIFICATION OF THE ARCHITECT.

5. ALL HORIZONTAL EXPOSED PLASTER AND CORRUGATED METAL AND CARPETED SURFACES (E.G. TOP OF WALLS AND LEDGES) ARE TO BE PROTECTED BY A LAYER OF PROTECTANT IN ADDITION TO ANY DETAILED NOTES/FEATURES.

6. **NOTE:** THE EXTERIOR OF THE PROPOSED STRUCTURE SHALL BE CONSTRUCTED OF MATERIALS SUCH AS, BUT NOT LIMITED TO, HIGH-PERFORMING ALUMINUM ALLOY REFLECTIVE THERMALLY-BREAKING GLASS AND MIRROR-LIKE TINTS OR FILMS, AND PRECAST CONCRETE OR FABRICATED WALL SURFACES TO MINIMIZE GLARE AND REFLECTED HEAT.

7. ALL EXPOSED METAL & STEEL SHALL BE PAINTED.

WATERPROOFING NOTE:
SEE SHEET A3.4B FOR ADDITIONAL DETAILS FOR THE QUALITY ASSURANCE WATERPROOFING OF EXTERIOR PLUMBING & PENETRATION SHEETS AND FOR ADDITIONAL DETAILS FOR THE QUALITY ASSURANCE WATERPROOFING OF EXTERIOR ELECTRICAL PENETRATION.

ANTI-GRAFFITI NOTE

PROVIDE ANTI-GRAFFITI COATING SYSTEM WITH LAWN APPROVAL AT THE FIRST STREET, MEASURED FROM GRADE, AT WALLS & DOORS (800) BASIS OF DESIGN - BANGUARD PRODUCTS COMPANY UNPAID, GUARDED ANTI-GRAFFITI COATING (LAW # 25000) OR EQUAL WITH APPROVED LAWN #.

PLASTER FINISH NOTE

- USE A SMOOTH THINSET FINISH TO 1/4" & 3/4" FLOORS
- USE A 20/30 SANDY FINISH (1/4" & 3/4" FLOORS)
- USE A SMOOTH THINSET FINISH ON THE 3RD FLOOR COURTYARD PLANTERS

L.I.D./B.M.P. NOTE

ALL DOWNSPUTS AND ROOF DRAINAGE TO CONNECT TO STORMWATER INFILTRATION BUMP - SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.

MATERIAL & COLORS SCHEDULE

#	MATERIAL	COLOR / AREA	MANUFACTURER	IMAGE
P1	PAINTED STUCCO	WHITE - FIELD	BENJAMIN MOORE w/ OMEGA, OR EQUAL	
P2	PAINTED STUCCO	GRAY AT 40% OR BENJAMIN MOORE BASE	BENJAMIN MOORE w/ OMEGA, OR EQUAL	
P3	PAINTED STUCCO	SHADE DARKER: 140% OR BENJAMIN MOORE ACCENT	BENJAMIN MOORE w/ OMEGA, OR EQUAL	
P5	PAINTED METAL w/ STUCCO	CUSTOM PAINTED METAL BY LOCAL ARTIST	TBD	
C1	ULTRA HIGH COMPACT TILE	CHARCOAL GRAY / BACALON INSETS	DEKTON	
M1	80K FIB METAL CLADDING	BLACK / EXTERIOR Siding	BERRIDGE OR EQUAL	
M2	STANDING SEAM METAL CLADDING	ZINC GRAY / EXTERIOR Siding	BERRIDGE OR EQUAL	
M3	STEEL SOLAR SHADE	CUSTOM MTL. SOLAR SHADES COLOR: BLACK	80K MODERN OR EQUAL	
M4	STEEL GUARDRAILS	FACTORY FINISH BLACK PAINT	TBD	

WEST ELEVATION - NORTHERN PORTION 1/8" = 1'-0" 1



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VANOWEN MIXED-USE

2024 E. VANOWEN BLVD
SANTA BARBARA, CA 93101
MSP SUBMITAL

DATE	DESCRIPTION FOR REVIEW
08.30.2022	PROCESSED SET
05.17.2023	PLANNING SUBMITAL
06.23.2023	MSP PLANNING SUBMITAL

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3D VIEWS

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SHEET

A3.10



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LOOKING EAST ALONG VANOWEN BLVD

SOUTH WEST - 3D View

1

VANOWEN MIXED-USE

2024 E. VANOWEN STREET
SANTA BARBARA, CA 93101
MSP SUBMITAL

DATE	DESCRIPTION FOR REVIEW
08.06.2022	PROPOSED SET
05.17.2023	PLANNING SUBMITAL
08.23.2023	MSP PLANNING SUBMITAL

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VANOWEN MIXED-USE

2024 E. VANOWEN STREET
SANTA BARBARA, CA 93101
NCSP SUBMITTAL

DATE	DESCRIPTION FOR REVIEW
08.06.2022	PROCESSED SET
01.17.2023	PLANNING SUBMITTAL
08.23.2023	NCSP PLANNING SUBMITTAL

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SOUTH EAST - 3D VIEW

1

VANOWEN MIXED-USE

2024 E. VANOWEN STREET
SANTA BARBARA, CA 93101
MCSF SUBMITTAL

DATE	REVISIONS FOR REVIEW
08.06.2022	PROCESSED SET
01.17.2023	PLANNING SUBMITTAL
08.23.2023	MCSF PLANNING SUBMITTAL

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VANOWEN MIXED-USE
2006-2007 VANOWEN MIXED-USE[illegible]

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3D VIEWS

PROJECT NO: 10007

SHEET

A3.10D

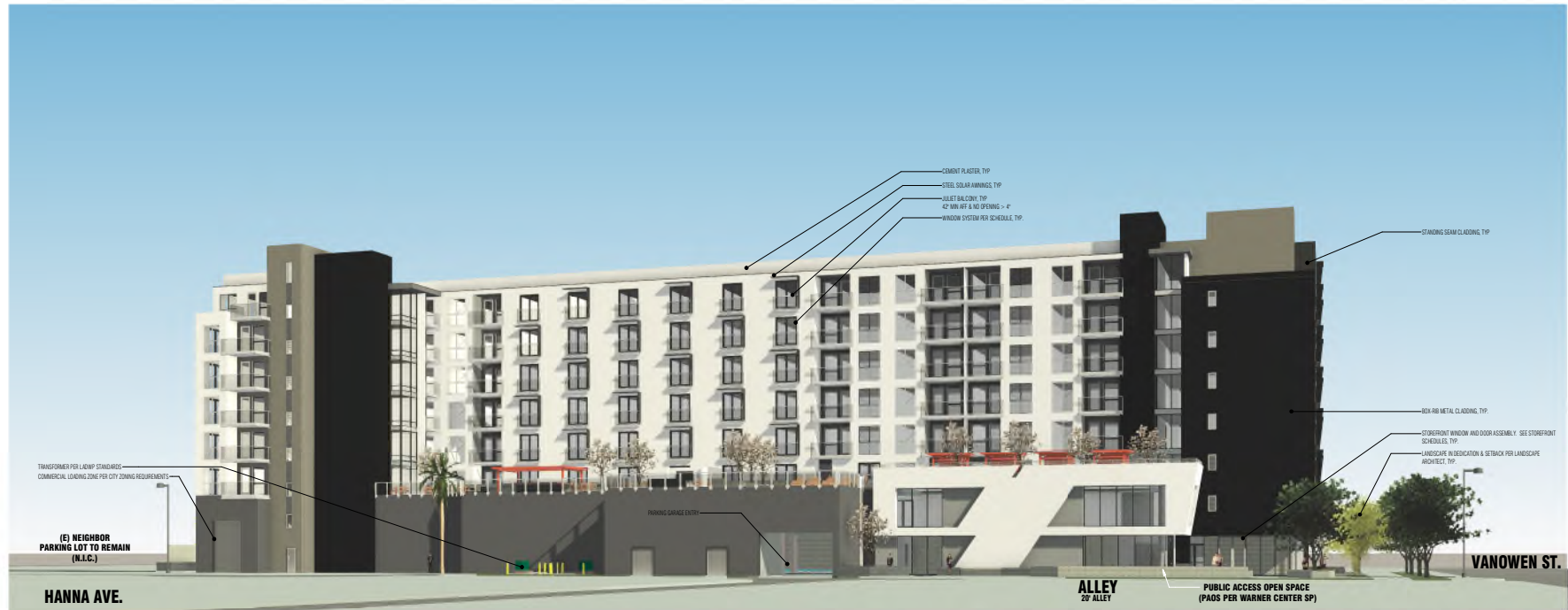


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VANOWEN MIXED-USE

2024.05.01 - PRELIMINARY
2024.05.01 - PRELIMINARY
2024.05.01 - PRELIMINARY

WSP SUBMITTAL

DATE	DESCRIPTION / REVISION
05/01/2024	PROJECT SET
05/01/2024	PLANNING SUBMITTAL
05/01/2024	WSP PLANNING SUBMITTAL

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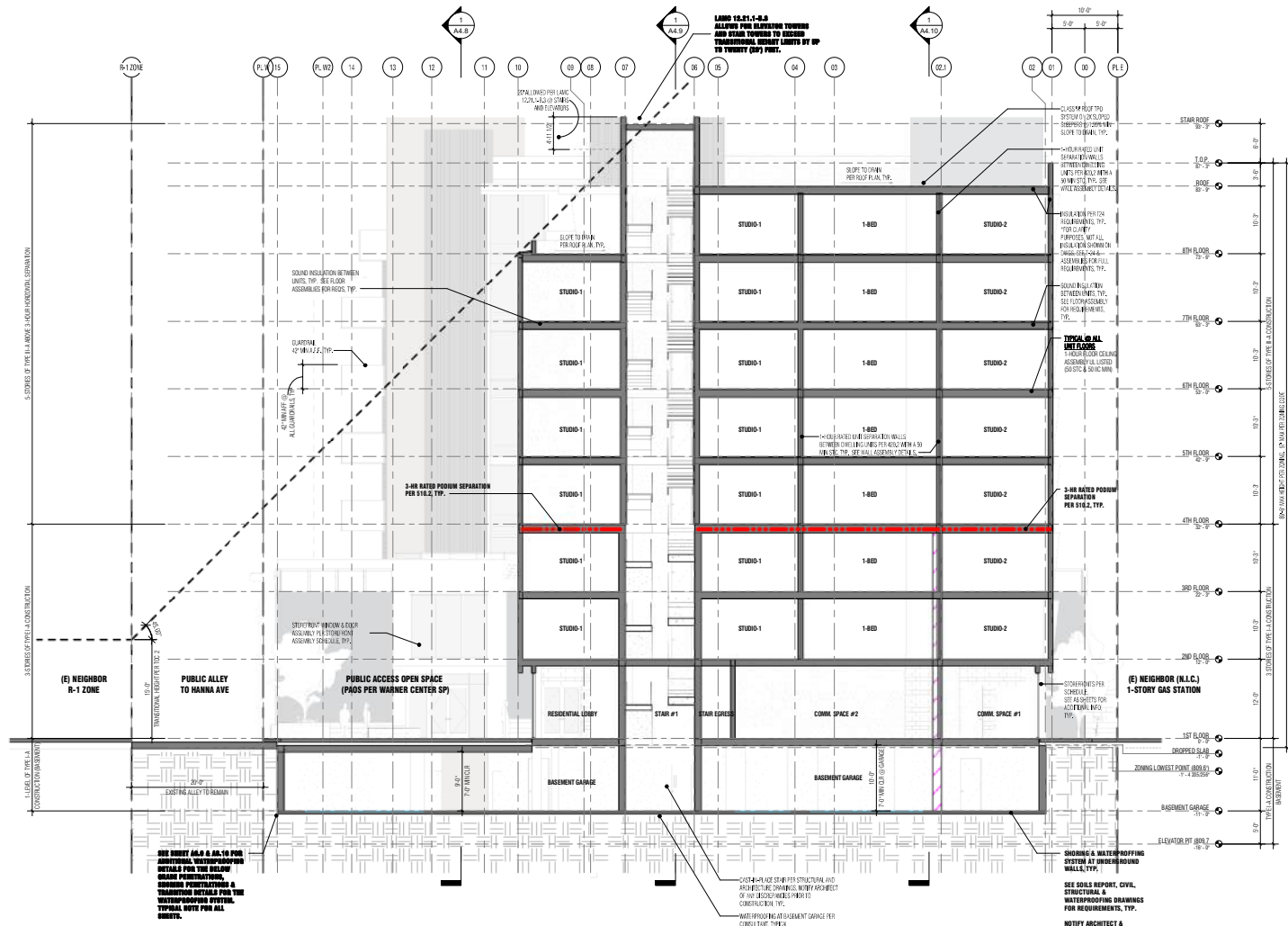
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A4.1

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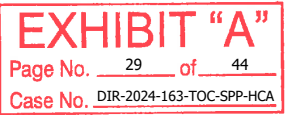


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PROJECT NO: 10007

A4.2

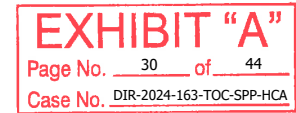


CHINO PARK, CA 91303

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A4.3



VANOWEN MIXED-USE

2024-2025 ANNUAL
CITY OF SANTA BARBARA
COUNCIL MEETING

NCSP SUBMITTAL

DATE	DESCRIPTION FOR REVIEW
08.30.2022	PROJECT SET
05.17.2023	PLANNING SUBMITTAL
08.23.2023	NCSP PLANNING SUBMITTAL

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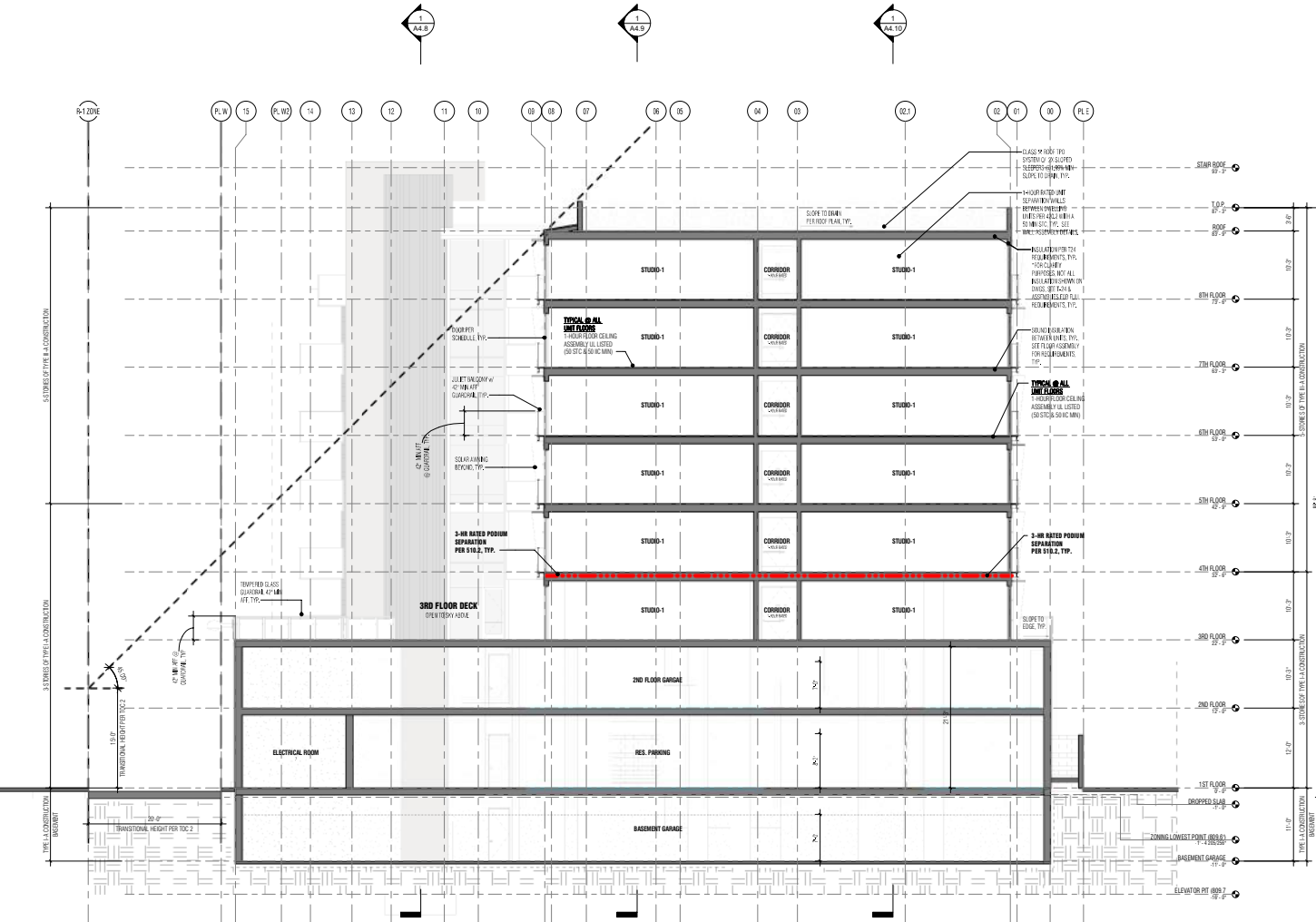
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A4.4

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VANOWEN MIXED-USE

2025 CASE SUBMITTAL
CONDO UNIT C-0101
MUSP SUBMITTAL

DATE	DESCRIPTION FOR REVIEW
(01/20/25)	PRELIMINARY SET
(01/21/25)	PLANNING SUBMITTAL
(01/21/25)	MUSP PLANNING SUBMITTAL

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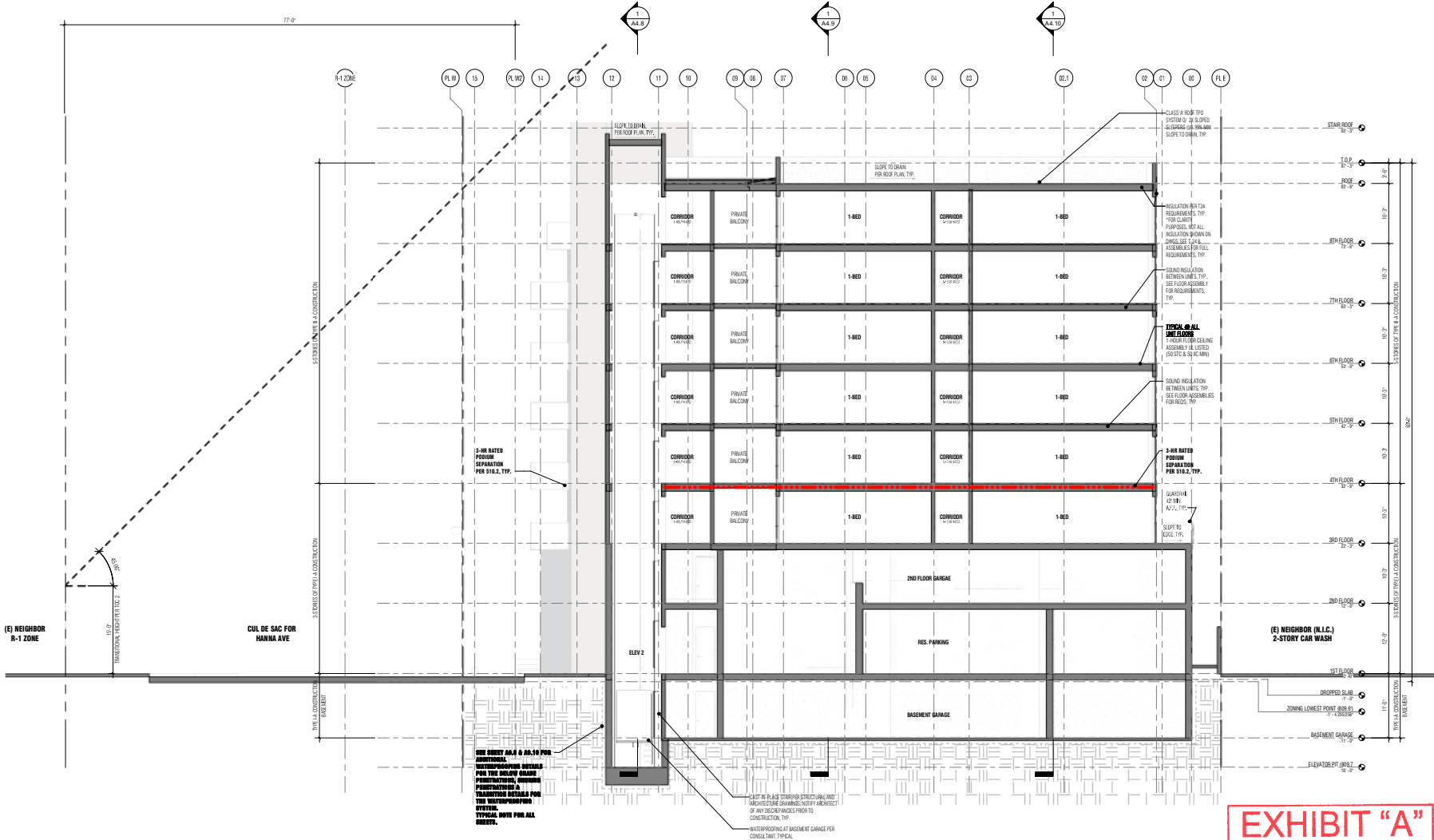
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A4.5

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SECTION 5 1/8" = 1'-0" 1



WCSF SUBMITTAL

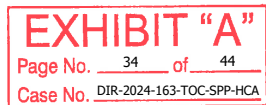
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A4.6



CHIOGA PARK, CA 91303

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A4.7

CHINO PARK, CA 91303
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SHEET

A4.8

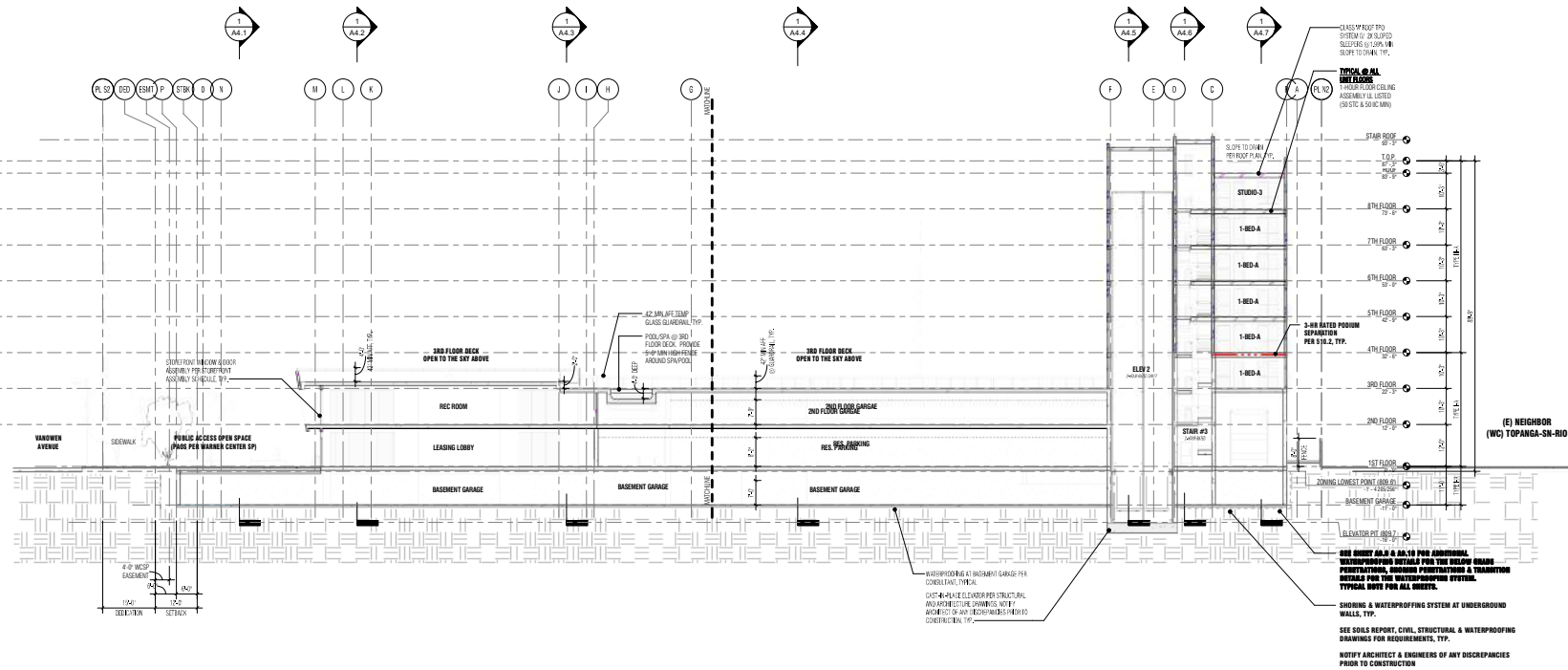
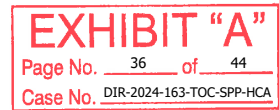


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WCSF SLEMITAL
CHUGA PARK, CA 91303

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A4.9

VANOWEN MIXED-USE

2025 CASE STUDY SUBMITTAL
2025 CASE STUDY SUBMITTAL
2025 CASE STUDY SUBMITTAL

DATE	DESCRIPTION FOR REVIEW
(DATE)	PROGRESS SET
(DATE)	PLANNING SUBMITTAL
(DATE)	MEP PLANNING SUBMITTAL

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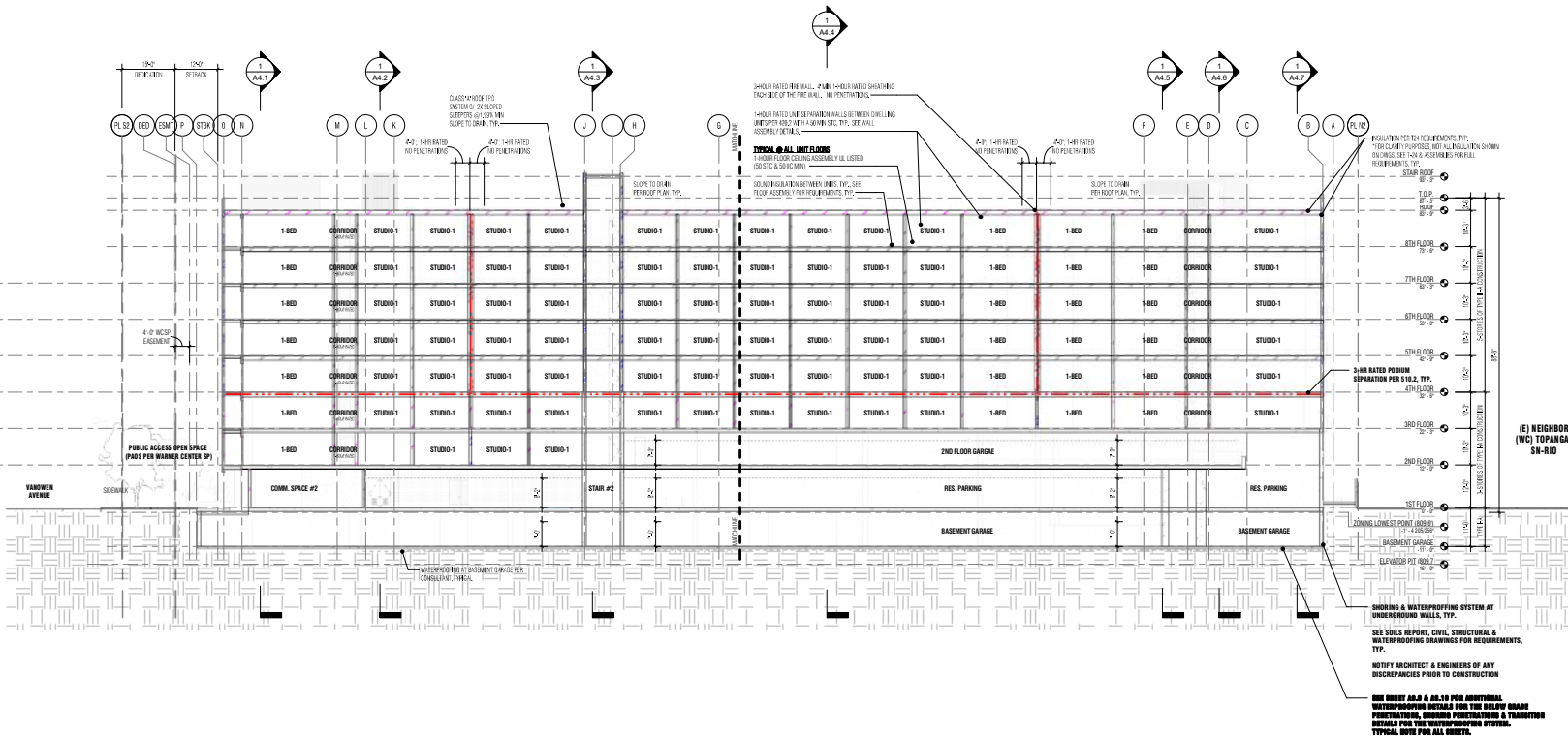
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A4.10

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SECTION 10 1/16" = 1'-0" 1





VANOWEN MIXED-USE

WICSP SUBMITTAL

[illegible]

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ENLARGED PLANS

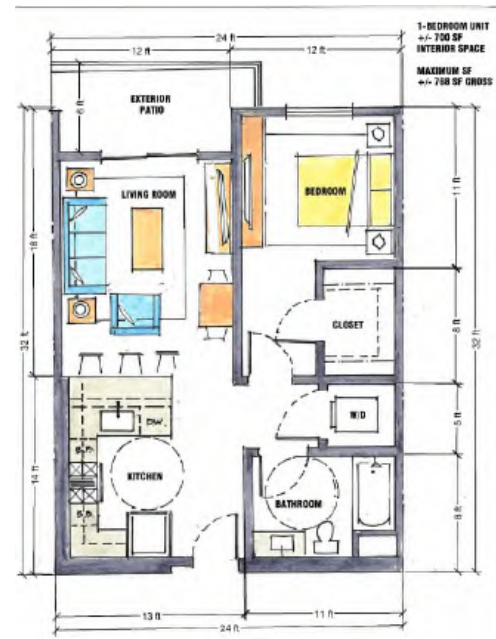
PROJECT NO: 10007

SHEET

A5.1



ENLARGED STUDIO OPTION #4	1/4" = 1'-0"	2
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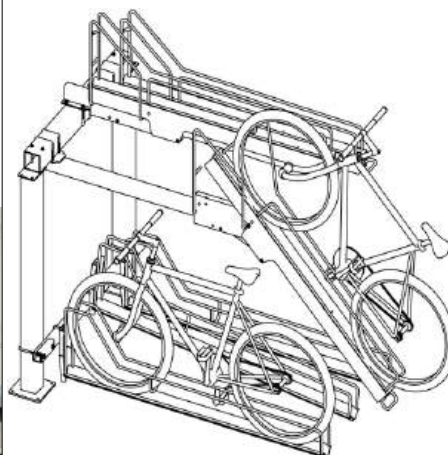


ENLARGED 1 BEDROOM PLAN	1/4" = 1'-0"	1
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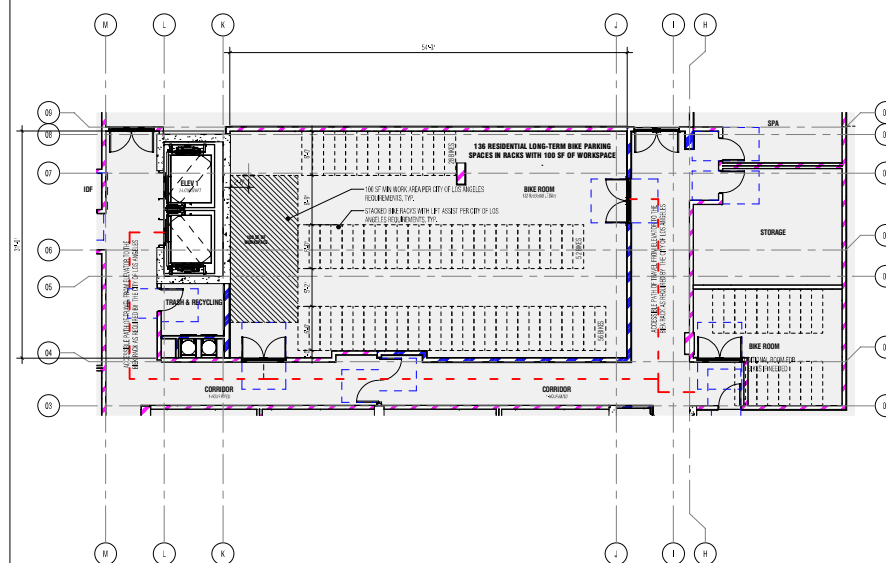
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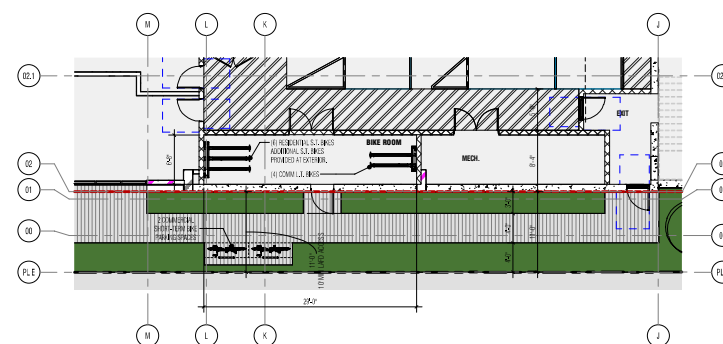
Dero's Ultra Space Saver Racks



MADRAX BIKE BOOST STORAGE SYSTEM
SYSTEM SHALL HAVE AN ASSIST SYSTEM FOR THE 2ND LEVEL PER CITY OF LA BIKE ORDINANCE



LONG TERM BIKE ROOM 2ND FLOOR 1/8" = 1'-0"



LONG TERM BIKE ROOM 1ST FLOOR 1/8" = 1'-0"

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122 E. ARRELLAGA
SANTA BARBARA
CALIFORNIA 93101
805 962 2746

VANOWEN MIXED-USE

005-2027 WAWO WEN STREET
CHINO PARK, CA 91303

[illegible]

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SHEET CONTENTS

LONG TERM BIKE ROOM

PROJECT NO: 10007

SHEET

A5.30

VANOWEN MIXED-USE
9700 E. 3000 S. VANOWEN STREET

CHINO PARK, CA 91303

[illegible]

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SHEET CONTENTS

OPEN SPACE PLAN

PROJECT NO: 10007

SHEET

AC.5



SEE SHEET AC.4 FOR STATISTICS



TYPICAL 4TH, 5TH, 6TH & 7TH FLOOR 1/16" = 1'-0"

2



3RD FLOOR 1/16" = 1'-0"

1

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BIRD'S PUBLIC ACCESS OPEN SPACE (PAOS) PER WARMER CENTER SPECIFIC PLAN	
NET SITE AREA	41,432 SF
PERCENTAGE OF NET SITE AREA	85.3%
REQUIRED PUBLIC ACCESS OPEN SPACE	60,223 SF
PROVIDED PAOS	60,291 SF
PROVIDED PAOS > REQUIRED PAOS; HENCE PROJECT COMPLIES	

PRIVATE OPEN SPACE

NOTE: PRIVATE OPEN SPACE MUST BE A MINIMUM OF 65 SF PER A UNIT OF 1000 SF FOR THE ENTIRE PROJECT. THIS SPACE SHALL BE PROVIDED AS PRIVATE OPEN SPACE UNDER THE PROJECT'S OWNERSHIP AND SHALL BE MAINTAINED AS SUCH.

SEE SHEET AC.4 FOR STATISTICS



8TH FLOOR 1/16" = 1'-0"

1



122 E. ARRELLAGA
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CALIFORNIA 93101
805 962 2746

VANOWEN MIXED-USE

2024-2025 VANOWEN MIXED-USE
PROJECT SUBMITTAL

DATE	DESCRIPTION FOR REVIEW
06/01/2024	PROGRESS SET
06/17/2024	PLANNING SUBMITTAL
06/26/2024	MSPP PLANNING SUBMITTAL

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OPEN SPACE PLANS

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SHEET

AC.6

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122 E. ARRELLAGA
SANTA BARBARA
CALIFORNIA 93101
805 962 2746

VANOWEN MIXED-USE

2300 1200 VANOWEN STREET
SANTA BARBARA, CA 93101

Project Status

DATE	REVISION OR REVIEW
06/10/2023	PROGRESS SET
06/11/2023	PLANNING SUBMITTAL

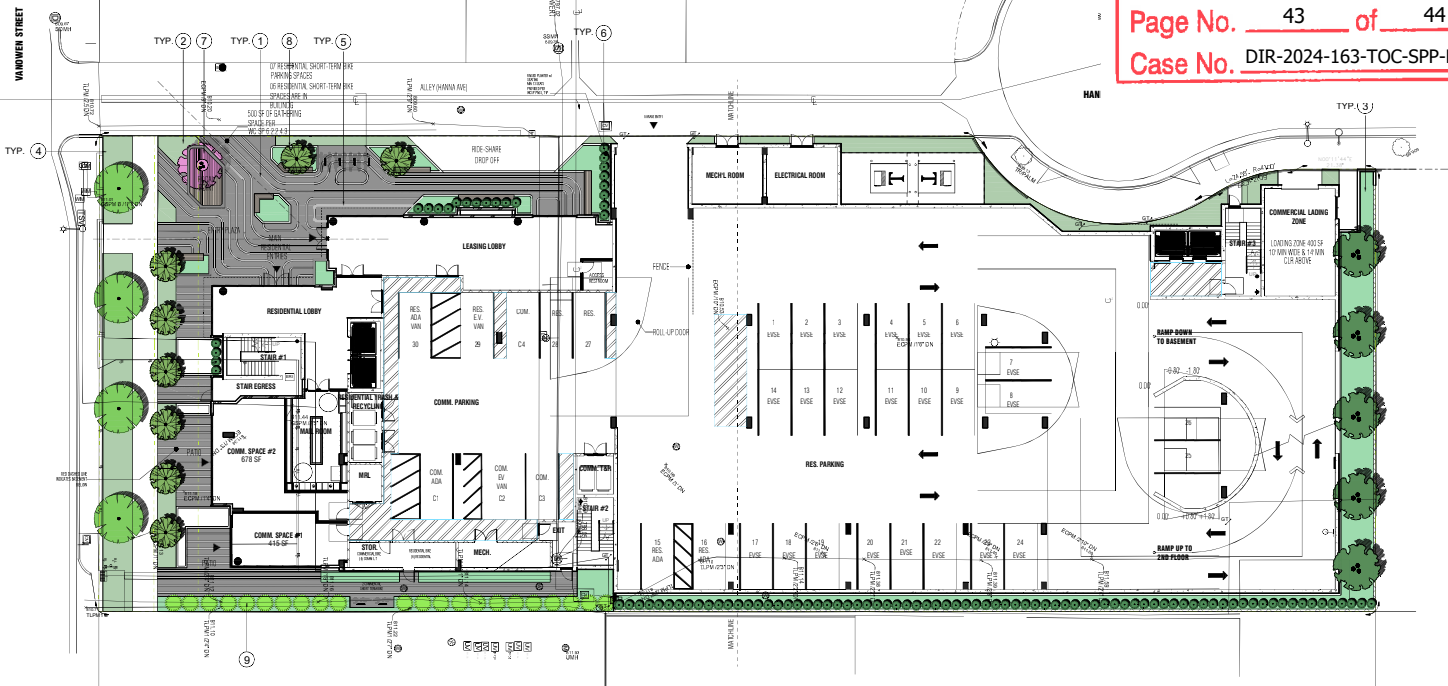
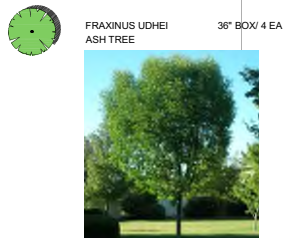
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SHEET CONTENTS
PRELIMINARY
LANDSCAPE
PLAN
GROUND FLOOR

PROJECT NO.

SHEET

LP-1



1 PRELIMINARY LANDSCAPE PLAN - GROUND FLOOR

SCALE: 1/16" = 1'-0"

0' 10' 20' 30'

SEAT CALCULATION
2 FEET OF SEAT SHALL BE PROVIDED PER 1 PERSON
TOTAL SEAT PROVIDED @ PAOS = 144 LF (72 PERSON)

LANDSCAPE AREA TABULATION	
GROUND FLOOR:	6,534 SF
3RD FLOOR:	1,852 SF
TOTAL:	8,386 SF

COMMON OPEN SPACE CALCULATION	
COMMON OPEN SPACE PROVIDED:	
GROUND FL. (PAOS)	6,291 SF
3RD FLOOR DECK	7,368 SF
TOTAL	13,659 SF
LANDSCAPE REQUIRED @ PAOS: 3,146 SF (50%)	
LANDSCAPE REQUIRED @ 3RD FLOOR DECK: 1,842 SF (25%)	
LANDSCAPE PROVIDED @ COMMON OPEN SPACE:	
GROUND FL. (PAOS)	3,734 SF
3RD FLOOR DECK	1,852 SF
TOTAL	5,586 SF

NOTE:
1. 50% OF LANDSCAPE AREA IS PROVIDED PER PAOS SPECIFIC PLAN REQUIREMENTS
2. 13 SEAT SPACES IS PROVIDED PER WCSP AND PAOS REQUIREMENTS
3. 500 SF "FOCAL SPACE" IS PROVIDED PER WCSP & PAOS REQUIREMENTS

8. 8\"/>



9. SIDE YARD SCREENING



6. BAMBOO SCREENING



7. 18\"/>



KEYNOTES

1. CONCRETE PAVING W/ STAINED COLORED PATTERN



2. ON-GRADE PLANTING AREA

3. LID PLANTER TBD BY CIVIL

4. PARKWAY W/ PROPOSED STREET TREES

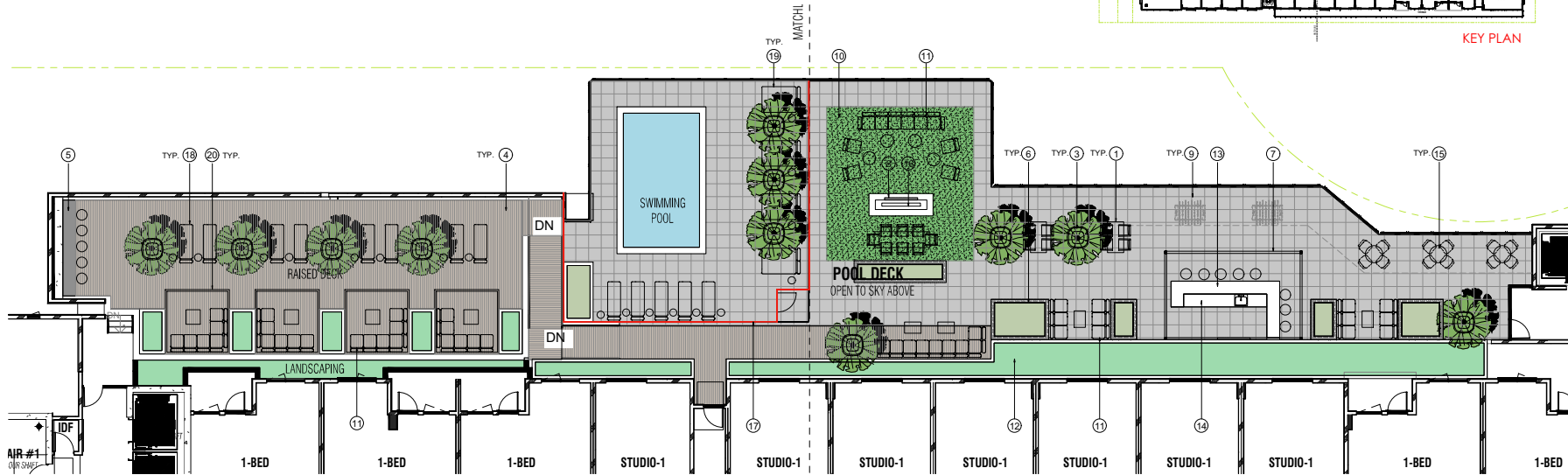
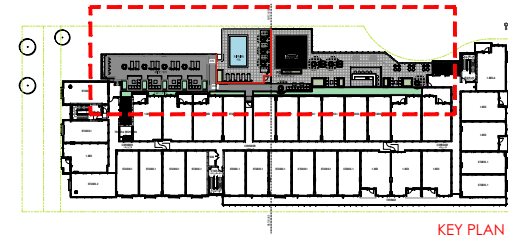
5. 8\"/>



EXHIBIT "A"

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1 PRELIMINARY LANDSCAPE PLAN - 3RD FLOOR

SCALE: 1/8" = 1'-0"



PLANTING LEGEND

PALO VERDE
PARKINSONIA FLORIDA
24"BOX/ 12 EA



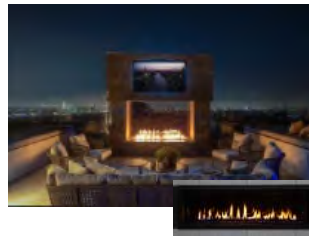
18. CHAISE LOUNGE W/ SIDE TABLE

19. DAYBED W/ SIDE TABLE

20. 10'x10' PREFAB CABANA



16. OUTDOOR TV STRUCTURE W/
ELECTRIC FIREPLACE INSERT



17. 5H. GLASS POOL ENCLOSURE FENCE



14. PREP BAR W/ ICE MAKER AND REFRIGERATOR
S.S. CABINET SYSTEM W/ ADA SINK



15. TABLE, CHAIRS, AND UMBRELLA



7. FREESTANDING
TRELLIS STRUCTURE



8. OUTDOOR TV

9. GAME TABLE

10. GRASS AREA
PEDESTAL SYSTEM

11. OUTDOOR SOFA SET BY OWNER

12. LID PLANTER TBD BY CIVIL

13. BAR COUNTER W/ CHAIRS

4. WOOD PEDESTAL
PAVER SYSTEM



5. BALCONY BAR



6. 12" H. PAINTED METAL PLANTER



KEYNOTES

1. DINING TABLE



2. PEDESTAL PAVER SYSTEM



3. SQUARO TREE POT



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805 962 2746

VANOWEN MIXED-USE

2300 E. VANOWEN STREET
SANTA BARBARA, CA 93101

Project Status

DATE	DESCRIPTION OR REVIEW
06/06/2023	PROGRESS SET
06/17/2023	PLANNING SUBMITTAL

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PRELIMINARY
LANDSCAPE
PLAN
3RD FLOOR
PROJECT NO.

SHEET

LP-2