DEPARTMENT OF CITY PLANNING

COMMISSION OFFICE (213) 978-1300

CITY PLANNING COMMISSION

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ERIC GARCETTI

DIRECTOR'S DETERMINATION SITE PLAN REVIEW, AND HCA

February 23, 2022

Applicant/Owner

PALMER/FLOWER SREET PROPERTIES II, LP. 270 North Cañon Drive Beverly Hills, CA 90210

Representatives

Darrel Malamut PALMER/FLOWER SREET PROPERTIES II, LP. 270 North Cañon Drive Beverly Hills, CA 90210 Council District: Neighborhood Council: Community Plan Area: Land Use Designation: Zone: Legal Description:

Case No.DIR-2020-996- SPR-HCACEQA:ENV-2008-1780-EIRENV-2020-997-EAFLocation:2321, 2325 & 2327 South Flower
StreetIl District:CD 9 – Curren D. Price, Jr.d Council:South CentralPlan Area:Southeast Los Angelessignation:Community Commercial
C2-2D-O-CPIOScription:Longstreet Tract, Lot: FR 21, 22, 23
& 24

Last Day to File an Appeal: March 10, 2022

Pursuant to the Los Angeles Municipal Code (LAMC) Section 16.05, and as the designee of the Director of Planning, I hereby:

FIND, based on the independent judgment of the decision-maker, after consideration of the whole of the administrative record, that the project is within the scope of the Southeast Los Angeles Community Plan Program EIR No. ENV-2008-1780-EIR ("Program EIR"), pursuant to CEQA Guidelines Sections 15168 and 15162; the environmental effects of the Project were covered in the Program EIR and no new environmental effects not identified in the Program EIR will occur and no new mitigation is required; and the City has incorporated all feasible mitigation measures from the Program EIR on the Project;

APPROVE a **Site Plan Review** for a residential development resulting in a net increase of 50 units or more.

The project approval is based upon the attached Findings, and subject to the attached Conditions of Approval:

EXECUTIVE OFFICES

200 N. Spring Street, Room 525 Los Angeles, CA 90012-4801 (213) 978-1271

VINCENT P. BERTONI, AICP DIRECTOR

SHANA M.M. BONSTIN DEPUTY DIRECTOR

ARTHI L. VARMA, AICP DEPUTY DIRECTOR

LISA M. WEBBER, AICP DEPUTY DIRECTOR

CONDITIONS OF APPROVAL

- 1. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the Applicant, stamped "Exhibit A," and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning, West/South/Coastal Project Planning Division, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Municipal Code, the project conditions, or the project permit authorization.
- 2. **Residential Density**. The project shall have a maximum density limit of 280 units.
- 3. **Height.** The project shall be limited to 224-feet in height, and shall not exceed 15 stories.
- 4. **Floor Area Ratio (FAR)**. The project shall have a maximum floor area ratio of 6:1 per the CPIO Affordable Housing Project Bonus (CPIO Table III-2 Pg.55).. The project shall not exceed 125,412 square feet of Floor Area.
- 5. **Residential Automobile Parking.** The project shall provide 64 residential automobile parking spaces.
- 6. **Residential Bicycle Parking.** The project shall provide 121 residential bicycle parking spaces onsite in accordance with LAMC 12.21A.4, 12.21A.16(a)(1), and 12.21A.16(a)(2).
- 7. **Total Open Space.** The project shall provide 13,787 square-feet of total open space as shown on Page 7 of "Exhibit A", per the 20% reduction allowed by the Southeast Los Angeles CPIO Incentive D3(d), Pg.44.
- 8. **Landscape Plan.** All open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be attractively landscaped, including an automatic irrigation system, and maintained in accordance with a landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning. The landscape plan shall indicate landscape points for the project equivalent to 10% more than otherwise required by LAMC 12.40 and Landscape Ordinance Guidelines "O".
- 9. **Color and Materials.** The project shall utilize the colors and materials identified on "Exhibit A", Page 22.
- 10. **Affordable Units.** The project shall provide 10% On-Site Restricted Affordable units, that is 31 units reserved for Extremely Low Income Households, as defined in Section 50079.5 of the California Health and Safety Code.
- 11. **Commercial Unit.** The project shall provide a 700 square foot commercial space at the ground floor, consistent with the Use Regulation prohibiting 100 Residential Uses per Table III-1 of the Southeast Los Angeles CPIO.
- 12. **Changes in Restricted Units.** Deviations that increase the number of restricted affordable units or that change the composition of units or change parking numbers shall be consistent with the TOD applicability definitions of the Southeast Los Angeles CPIO, Section III-1 D.
- 13. **Housing Requirements.** Prior to issuance of a building permit, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing and Community Investment Department (HCIDLA) to make two (2) dwelling units available to Extremely Low Income Households, for rental as determined to be affordable to such households by HCIDLA for a period of 55 years.

Enforcement of the terms of said covenant shall be the responsibility of HCIDLA. The applicant will present a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with any monitoring requirements established by the HCIDLA. The project shall comply with the Guidelines for the Affordable Housing Incentives Program adopted by the City Planning Commission and with any monitoring requirements established by the HCIDLA. Refer to the Housing Replacement (AB 2556 Determination) sections of this determination.

- 14. **Street Trees.** New trees planted within the public right-of-way shall be spaced not more than an average of 30 feet on center, unless otherwise permitted by the Urban Forestry Division, Bureau of Public Works.
- 15. **Lighting.** All pedestrian walkways and vehicle access points will be well-lit. All outdoor lighting will be shielded to prevent excessive illumination and mitigate light impacts on adjacent residential properties and the public right-of-way. Utilize adequate, uniform, and glare-free lighting, such as dark-sky compliant fixtures, to avoid uneven light distribution, harsh shadows, and light spillage.
- 16. **Lighting Design.** Areas where nighttime uses are located shall be maintained to provide sufficient illumination of the immediate environment so as to render objects or persons clearly visible for the safety of the public and emergency response personnel. All pedestrian walkways, storefront entrances, and vehicular access ways shall be illuminated with lighting fixtures. Lighting fixtures shall be harmonious with the building design. Wall mounted lighting fixtures to accent and complement architectural details at night shall be installed on the building to provide illumination to pedestrians and motorists.
- 17. **Community Plan Implementation Overlay.** Prior to the issuance of a building permit, the applicant shall demonstrate compliance with the Southeast Los Angeles Community Plan Implementation Overlay (CPIO) pursuant to Ordinance No. 184794.

Environmental Standards

- 18. **CPIO Environmental Standards.** The Southeast Los Angeles CPIO contains Environmental Standards to implement the Mitigation and Monitoring Program as part of the Southeast Los Angeles Community Plan Update that were reviewed in the Program EIR. All projects in CPIO Subareas are required to comply with any applicable Environmental Standards. The proposed project is required to comply with the following:
 - Environmental Standard AQ1: Projects shall ensure all contractors include the best management practices provided in the bulleted list below in contract specifications
 - Restrict idling of construction equipment and on-road heavy duty trucks to a maximum of 5 minutes when not in use.
 - Use diesel-fueled construction equipment to be retrofitted with after treatment products (e.g. engine catalysts) to the extent they are readily available and feasible.
 - Use heavy duty diesel-fueled equipment that uses low NOX diesel fuel to the extent it is readily available and feasible.
 - Use construction equipment that uses low polluting fuels (i.e. compressed natural gas, liquid petroleum gas, and unleaded gasoline) to the extent available and feasible.
 - All on-road heavy-duty diesel trucks or equipment with a gross-vehicle weight rating (GVWR) of 19,500 pounds or greater shall comply with EPA 2007 on-road emission standards for PM and NOx:
 - PM 0.01 g/bhp-hr
 - NOx at least 1.2 g/bhp-hr

- Use zero-emission trucks and equipment where available, or cleanest available technology.
- Every effort should be made by the Contractor to utilize grid-based electric power at any construction site, where feasible.
- Where access to the power grid is not available, on-site generators are required to meet 0.01 g/bhp-hr standard for PM, or be equipped with Best Available Control Technology (BACT) for PM emissions reductions.
- Use building materials, paints, sealants, mechanical equipment, and other materials that yield low air pollutants and are nontoxic.
- Construction contractors shall use pre-painted construction materials, as feasible.
- Construction contractors shall provide temporary traffic controls such as a flag person, during all phases of construction to maintain smooth traffic flow
- Maintain a buffer zone that is a minimum of 1,000 feet between truck traffic and sensitive receptors, where feasible.
- Configure construction parking to minimize traffic interference.
- Schedule construction activities that affect traffic flow on the arterial system to off-peak hours to the extent practicable.
- Traffic speeds on all unpaved roads shall be 15 mph or less.
- Construction contractors shall reroute construction trucks away from congested streets or sensitive receptor areas, as feasible.
- Construction contractors shall appoint a construction relations officer to act as a community liaison concerning on-site construction activity including resolution of issues related to PM10 generation. The name and contact information of the construction relations officer shall be posted at a location on the project site that is accessible and visible from the public right-of-way.
- Identify Sensitive Land Uses within 500 feet of a project that involves ground-disturbing activities and notify sensitive uses before construction projects occur, including disclosure of the name and contact information for the construction relations officer acting as the community liaison.
- Implement the fugitive dust control measures as required in the South Coast Air Quality Management District's Rule 403 Fugitive Dust.
- Environmental Standard N1: Projects shall ensure that all contractors include the following best management practices in contract specifications, where applicable:
 - Construction haul truck and materials delivery traffic shall avoid residential areas whenever feasible. If no alternatives are available, truck traffic shall be routed on streets with the fewest residences.
 - The construction contractor shall locate construction staging areas away from sensitive uses.
 - When construction activities are located in close proximity to noise-sensitive land uses, noise barriers (e.g., temporary walls or piles of excavated material) shall be constructed between activities and noise sensitive uses
 - Impact pile drivers shall be avoided where possible in noise-sensitive areas. Drilled piles or the use of a sonic vibratory pile driver are quieter alternatives that shall be utilized where geological conditions permit their use. Noise shrouds shall be used when necessary to reduce noise of pile drilling/driving.
 - Construction equipment shall be equipped with mufflers that comply with manufacturers' requirements.
 - The construction contractor shall use on-site electrical sources to power equipment rather than diesel generators where feasible.
 - Use electric or solar generators, when available.

- Environmental Standard N4: Projects shall ensure that all contractors include the following best management practices in contract specifications, where applicable:
 - Impact pile drivers shall be avoided where possible in vibration-sensitive areas. Drilled piles or the use of a sonic vibratory pile driver are alternatives that shall be utilized where geological conditions permit their use.
 - The construction activities shall involve rubber-tired equipment rather than metal-tracked equipment.
 - The construction contractor shall manage construction phasing (scheduling demolition, earthmoving, and ground-impacting operations so as not to occur in the same time period), use low-impact construction technologies, and shall avoid the use of vibrating equipment where possible to avoid construction vibration impacts.
- Environmental Standard CR2: Projects (excluding Residential Subareas M, N, and 0) that involve construction-related soil disturbance shall require that during excavation and grading, if paleontological resources are uncovered, all work in that area shall be halted immediately and the project applicant shall notify the City. The project applicant shall retain a paleontologist to assess the nature, extent, and significance of any cultural materials that are encountered and to recommend appropriate methods to preserve any such resources. Said paleontologist will have the authority to put a hold on grading operations and mark, collect and evaluate any paleontologist shall be provided a reasonable amount of time to prepare and implement protection measures coordinating with the City of Los Angeles Building and Safety Department. Any paleontological remains and/or reports and surveys shall be submitted to the Los Angeles County Natural History Museum.
- Environmental Standard CR3: In the event that objects or artifacts that may be tribal cultural resources are encountered during the course of any ground disturbance activities (excavating, digging, trenching, plowing, drilling, tunneling, quarrying, grading, leveling, removing peat, clearing, driving posts, augering, backfilling, blasting, stripping topsoil or a similar activity), all such activities shall temporarily cease on the project site until the potential tribal cultural resources are properly assessed and addressed pursuant to the process set forth below:
 - Upon a discovery of a potential tribal cultural resource, the Applicant shall immediately stop all ground disturbance activities and contact the following: (1) all California Native American tribes that have informed the City they are traditionally and culturally affiliated with the geographic area of the proposed project; (2) and the Department of City Planning, Office of Historic Resources.
 - If the City determines, pursuant to Public Resources Code Section 2107 4 (a)(2), that the object or artifact appears to be tribal cultural resource, the City shall provide any effected tribe a reasonable period of time, not less than 14 days, to conduct a site visit and make recommendations to the Applicant and the City regarding the monitoring of future ground disturbance activities, as well as the treatment and disposition of any discovered tribal cultural resources.
 - The Applicant shall implement the tribe's recommendations if a qualified archaeologist and by a culturally affiliated tribal monitor, both retained by the City and paid for by the Applicant, reasonably concludes that the tribe's recommendations are reasonable and feasible.
 - The Applicant shall submit a tribal cultural resource monitoring plan to the City that includes all recommendations from the City and any effected tribes that have been reviewed and determined by the qualified archaeologist and by a culturally affiliated tribal monitor to be reasonable and feasible. The Applicant shall not be allowed to recommence ground disturbance activities until this plan is approved by the City.
 - If the Applicant does not accept a particular recommendation determined to be reasonable and feasible by the qualified archaeologist or by a culturally affiliated tribal

monitor, the Applicant may request mediation by a mediator agreed to by the Applicant and the City who has the requisite professional qualifications and experience to mediate such a dispute. The Applicant shall pay any costs associated with the mediation.

- The Applicant may recommence ground disturbance activities outside of a specified radius of the discovery site, so long as this radius has been reviewed by the qualified archaeologist and by a culturally affiliated tribal monitor and determined to be reasonable and appropriate.
- Copies of any subsequent prehistoric archaeological study, tribal cultural resources study or report, detailing the nature of any significant tribal cultural resources, remedial actions taken, and disposition of any significant tribal cultural resources shall be submitted to the South Central Coastal Information Center (SCCIC) at California State University, Fullerton.
- Environmental Standard HM1: Projects that involve construction-related soil disturbance located on land that is currently or was historically zoned as industrial shall conduct a comprehensive search of databases of sites containing hazardous waste or hazardous materials, including on lists prepared pursuant to Government Code, section 65962.5. A report setting forth the results of this database search shall be provided to the City and shall be made publicly available (e.g. historical environmental reports prepared by Enviroscan, EDR or similar firms). If the report indicates the project site or property within one-quarter mile of the project site has the potential to be contaminated with hazardous waste or hazardous materials for any reason, a Phase I Environmental Site Assessment (ESA) shall be prepared.

The Phase 1 ESA shall identify any hazardous materials/wastes that could be present on the project site. The Phase 1 shall also include recommendations and measures for further site assessment to address any hazardous materials/wastes potentially present on the project site. The Phase 1 assessment shall be prepared by an Environmental Professional (as defined in Title 40 Code of Federal Regulations§ 312.10 Definitions) to evaluate whether the site or the surrounding area is contaminated with hazardous substances from the potential past and current uses. The ESA shall be made publicly available. Depending on the results of the Phase 1 ESA, further investigation and remediation may be required in accordance with local, state, and federal regulations and policies and shall be clearly indicated in the ESA. If the Phase 1 ESA finds that there is no contamination on the site, a letter of No Further Action shall be provided to the City.

The City shall require that a Phase 2 Site Assessment be conducted as may be indicated by the site-specific Phase 1 Environmental Site Assessment. If a Phase 2 is found necessary, it shall be performed prior to project approval or made a condition on the project if that is found to be adequate for remediation by the Environmental Professional and the relevant federal, state, or local agency.

Should the Phase 2 Site Assessment indicate soil and/or groundwater contamination is present, a detailed Soil Management Plan (SMP) for the treatment of contaminated soils and materials shall be developed and implemented in accordance with applicable laws and regulations. The SMP shall be prepared prior to the Department of Building and Safety's issuance of a grading permit to review and address any impacted soil that may be encountered during excavation and grading. The SMP shall provide for the sampling, testing, and timely disposal of such soil and shall specify the testing parameters and sampling frequency. Any impacted soils shall be properly treated and disposed of in accordance with applicable SCAQMD, DTSC, and LARWQCB requirements. An Environmental Professional shall be on-site during excavation and grading of the project site to monitor environmental conditions pertaining to soil. Written confirmation by the Environmental Professional stating that required site remediation was completed consistent with the relevant federal, state or local requirements shall be provided to the City prior to issuance of certificates of occupancy.

Administrative Conditions

- 19. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building and Safety, the Applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall be stamped by Department of City Planning staff "Plans Approved". A copy of the Approved Plans, supplied by the Applicant, shall be retained in the subject case file.
- 20. **Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet, and shall include any modifications or notations required herein.
- 21. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
- 22. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
- 23. **Department of Building and Safety**. The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
- 24. **Compliance.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Department of City Planning.
- 25. **Expiration**. In the event that this grant is not utilized within three years of its effective date (the day following the last day that an appeal may be filed), the grant shall be considered null and void. Issuance of a building permit, and the initiation of, and diligent continuation of, construction activity shall constitute utilization for the purposes of this grant.
- 26. **Covenant.** Prior to the issuance of any permits relative to this matter, an agreement concerning all the information contained in these conditions shall be recorded in the County Recorder's Office. The agreement shall run with the land and shall be binding on any subsequent property owners, heirs or assign. The agreement must be submitted to the Department of City Planning for approval before being recorded. After recordation, a copy bearing the Recorder's number and date shall be provided to the Department of City Planning for attachment to the file.

27. Indemnification and Reimbursement of Litigation Costs.

Applicant shall do all of the following:

- i. Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including <u>but not limited to</u>, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- ii. Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- iii. Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- iv. Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- v. If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with <u>any</u> federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

PROJECT BACKGROUND

The subject site is located at 2321 - 2327 South Flower Street, on the west side of Flower Street between 23rd Street to the north and Adams Boulevard to the south. The project site consists of four contiguous parcels, totaling approximately 20,902 square feet, with approximately 202-feet of frontage along the west side of Flower Street, directly across the street from the Metro Expo LATTC/Ortho Institute station stop. All lots are zoned C2-2D-O-CPIO with a land use designation of Community Commercial.

The parcels are located within the Southeast Los Angeles Community Plan Implementation Overlay (CPIO) District. The Southeast Los Angeles CPIO ordinance, effective December 29, 2018, establishes and adopts boundaries for the Southeast Los Angeles CPIO District and fifteen subareas, and adopts use and development regulations for properties within the boundaries of these fifteen subareas.

The proposed project is for a mixed use 15 story, 224-foot-tall tower that includes 280 residential units and 700 square feet of ground floor commercial space. The ground floor includes an entry lobby, amenity space and elevator core. The remainder of the first floor is devoted to a subterranean garage basement with 64 parking spaces, subdivided into automated mechanical "puzzle" parking assemblies. The building will contain 225 studio units at 350 square feet per unit minimum, with the remaining 55 units divided among three (slightly larger) layouts designed to maintain corridor access. The project includes approximately 22,400 square-feet of outdoor open space areas dispersed throughout the building in ground floor landscaped yards, a second floor podium/amenity deck, a rooftop deck, and 75 balconies at a minimum of 50 SF each.

CPIO Affordable Housing Incentive

The proposed project takes advantage of incentives offered for Affordable and Mixed-Income Housing Projects in TOD Subareas of the Southeast Los Angeles CPIO. Reserving 31 of its 280 units for Extremely Low Income Households, or 11% of its total unit count, the project meets the definition of a CPIO Mixed-Income Housing Project. The project site also lies in the CPIO Subarea H: TOD Regional. Per the incentives chart (Table III-2 on page 55 of the CPIO document), the project is entitled to a maximum height of 15 stories, 225 feet, and an FAR of 6:1. The proposed project, a 15 story, 224-foot-tall tower with an FAR of 6:1, adheres to these incentives. The CPIO Affordable Housing incentives allow unlimited density in the CPIO Subarea H: TOD Regional.

FINDINGS

Site Plan Review Findings

1. The project is in substantial conformance with the purposes, intent and provisions of the General Plan, applicable community plan, and any applicable specific plan.

Framework Element

The Framework Element is a strategy for long-term growth in the city which sets a citywide context to guide the update of the Community Plan and Citywide Elements. The Framework

Element is a comprehensive, long range document containing purposes, policies and programs for the development of the City of Los Angeles. The Citywide General Plan Framework text defines policies related to growth and includes policies for land use, housing, urban form/neighborhood design, open space/conservation, economic development, transportation, and infrastructure/public services. The primary objectives of the policies in the Framework Element's Land Use Chapter are to support the viability of the City's residential neighborhoods and commercial districts, and when growth occurs, to encourage sustainable growth in a number of higher-intensity commercial and mixed-use districts, centers and boulevards and industrial districts particularly in proximity to transportation corridors and transit stations.

Community Centers differ from Neighborhood Districts in their size and intensity of business and social activity. In addition, Community Centers are often served by small shuttles, local and rapid buses, or subway stops. The Framework envisions Community Centers as "a mixed-use center that encourages the development of housing in concert with the multi-use commercial uses."

The proposed project involves the construction of a 15-story, mixed-use residential development containing 280 dwelling units and ground floor retail on a site designated for Community Commercial land uses and zoned C2-2D-O-CPIO. The project site is located on Flower Street between 23rd Street to the north and Adams Boulevard further south. It lies directly across the street from multiple commercial and institutional uses. The most immediate of these is the Los Angeles Trade Technical College and, just one stop south, the University of Southern California. The site also fronts the Metro Expo LATTC/Ortho Institute station and is across the street from the Lorenzo, a large, six story apartment complex of 913 units. As such, the project is in conformance with the purpose of the Framework Element.

Mobility Element

The Mobility Plan 2035 includes goals that define the City's high-level mobility priorities. The Mobility Element sets forth objectives and policies to establish a citywide strategy to achieve long-term mobility and accessibility within the City of Los Angeles. Among other objectives and policies, the Mobility Plan aims to support ways to reduce vehicle miles traveled (VMT) per capita by increasing the availability of affordable housing options with proximity to transit stations and major bus stops and offering more non-vehicle alternatives, including transit, walking and bicycling.

The proposed mixed-use building is a pedestrian-oriented development that provides 280 multifamily units including 11% affordable (31 affordable units) in proximity to several transit options, including the Metro Expo station directly across the street from the site. Metro's transit stations provide access to nearby schools and universities, employment centers and jobs, local and regional destinations, and other neighborhood services for project residents. The proposed project will also allow for the reduction of vehicle trips by placing a high density residential development within proximity to public transit. The availability of many transit options creates a lesser need for the use of personal vehicles. Additionally, the project will provide bicycle parking stalls, where they are easily accessible to the street. As such, the project conforms to the purpose of the Mobility Element of the General Plan.

Land Use Element – Southeast Los Angeles Community Plan

The Southeast Community Plan was adopted by the City Council in November 2017 and designates the site for Community Commercial land uses and Figure 3-8 identifies the site within a Transit Oriented Area. The Community Plan notes there are eleven transit station stops that are within or immediately adjacent to the Community Plan area and targets new growth and activity along the existing Metro Blue, Green and Expo lines. The site is located directly across the street from Metro's Expo Line LATTC/Ortho Institute station stop. The project, which proposes 280 residential units, including 11% Affordable Units (31 Affordable Units), along with neighborhood serving retail would satisfy the following Community Plan goals and policies:

GOAL LU 4: A commercial sector that is strong and competitive, that serves the needs of individual neighborhoods and the broader community, and that preserves the historic cultural character of the area.

The project supports the goal of a strong and competitive commercial sector by providing ground floor neighborhood serving retail uses, in addition to housing adjacent to existing commercial uses, along the Flower Street façade.

Goal LU 5: Medium and higher density mixed-use development that is located appropriately within the community.

<u>Policy LU 5.3 Mixed - Use Districts.</u> Encourage Mixed – Use Districts near transit and at other key nodes that combine a variety of uses to achieve a community where people can shop, live and work with reduced reliance on the automobile.

<u>Policy LU 5.6 Affordability.</u> Prioritize housing that is affordable to a broad crosssection of income levels and that provides the ability to live near work.

The project is a mixed-use development that includes 280 units, including 11% Extremely Low Income units (31 units) located adjacent to a Metro Expo Station stop that provides high quality light rail transit service to Downtown, USC, the west side, and greater Los Angeles area.

GOAL LU 6: Commercial corridors that foster distinctive neighborhood identities, are high in quality and designed with proper context.

The Project promotes an active street environment by incorporating retail uses, a residential lobby entrance, and open space courtyard along Flower Street. The building's high quality design is defined by storefront glass along the ground floor, while the upper levels include a variety of complementary building materials and details that provide articulation and visual interest.

GOAL LU 8: Areas of high pedestrian activity that thrive, with cohesive neighborhoods that feel inviting and safe.

The project enhances the streetscape experience along Flower Street with improved sidewalks, planting of street trees, enhanced paving materials fronting the retail and lobby entrances, installation of street lights, and pockets of landscape plantings.

GOAL LU 10: *"Green" development that promotes an ecologically sustainable community and reduces greenhouse gases.*

The Project has been designed and will be constructed to incorporate environmentally sustainable building features and construction protocols required by the Los Angeles Green Building Code and CAL Green. These standards will reduce energy and water usage and waste, and thereby reduce associated greenhouse gas emissions and help minimize the impact on natural resources and infrastructure. In addition, the project includes a green buffer at the rear of the site adjacent to the freeway that would reduce the amount of particulate matter in residential areas and the project's location adjacent to the Metro Expo Line would reduce vehicle miles travelled (VMT).

GOAL LU 18: Transit-oriented development around transit stations that is characterized by a mixture of uses, a safe and attractive pedestrian environment, reduced parking, and direct and convenient access to transit facilities, and moderate to higher density as appropriate to the existing scale and context of each TOD area.

Policy LU 18.4 Mixed - Income Housing. Incentivize the production of affordable and/or mixed-income housing in TOD areas.

<u>Policy LU 18.8 FAR/Height Minimums and Reduced Parking.</u> Establish floor area ratio (FAR) and height minimums and reduced parking requirements in TOD areas, where appropriate.

The project provides a mix of high-density residential and ground floor retail directly across the street from a Metro Expo station stop, creates a safe and attractive pedestrian environment by incorporating active retail uses, a residential lobby entrance, and open space courtyard along Flower Street. In addition, the project takes advantage of the CPIO's minimum parking standards by providing 64 residential automobile parking spaces, pursuant to AB 744. This number assumes a base requirement of 140 spaces (a ratio of .5 spaces per unit), upon which a 50% reduction in parking spaces is applied (CPIO Table III-4 Pg.64) to result in 70 spaces. An additional 15% reduction per LAMC 12.21A.4 results in 60 spaces, with an additional 4 spaces added per LAMC 12.21A.16(a)(2).

GOAL M 3: A walkable community that is universally accessible, safe, pleasant, convenient, and contains an integrated pedestrian system that reduces vehicular conflicts, promotes walking and provides links within the community and to surrounding communities.

The project encourages walking by locating the building across the street from a transit station and by orienting building entrances along Flower Street and enhancing the streetscape with street trees, a street level courtyard, new sidewalks, and bicycle infrastructure.

GOAL M 4: A safe, comprehensive, and integrated bikeway network that is accessible to all, and encourages bicycling for recreation and transportation.

The project incorporates bicycle amenities that include long-term bicycle parking and a repair area for residents within the building and short-term bicycle guest parking along Flower Street.

Southeast Los Angeles Community Plan Implementation Overlay District (CPIO)

The Southeast Los Angeles CPIO District is a zoning tool intended to provide supplemental development and use regulations tailored to the Community Plan Area. It targets individual neighborhoods and corridors, and may help address concerns about the scale, size, and

character of development based on a community's specific needs. The CPIO District offers streamlined approval procedures, ensuring that the Community Plan policies and programs can be implemented swiftly and in a way that incentivizes projects to comply with regulations outright.

The Southeast Los Angeles CPIO District is comprised of different CPIO subareas and the project site is located within the Transit Oriented Development (TOD) Regional subarea which promotes walkable, vibrant, attractive and complete transit centers that provide a greater mix of housing for a range of incomes, jobs, goods and services. The TOD subarea sets forth design and development standards for building heights, intensity, site planning and parking and encourage attractive, quality development projects that complement and enhance the Community Plan Area's existing character.

The project qualifies as a CPIO Affordable Housing Project by providing 11 percent of the total density, or 31 units for Extremely Low Income Households. As set forth in CPIO Table III-2, a qualifying CPIO Affordable Housing Project is permitted unlimited density, a 6 to 1 floor area ratio, and a height of 15 stories and 224 feet. The project proposes 280 units, 125,412 square feet of floor area which results in a 6 to 1 FAR, and 15 stories and 224 feet in height which complies with the CPIO. In addition to the increased density, floor area, and height, and project includes a 20 percent open space reduction as permitted for a CPIO Affordable Housing Project in CPIO Section III-1D (pg. 44). Furthermore, the project will have to comply with the Southeast Los Angeles CPIO through an administrative clearance prior to obtaining building permits.

2. That the project consists of an arrangement of buildings and structures (including height, bulk and setbacks), off-street parking facilities, loading areas, lighting, landscaping, trash collection, and other such pertinent improvements, that is or will be compatible with existing and future development on adjacent properties and neighboring properties.

As shown in Exhibit A and described below, the proposed project will be compatible with existing and future development on the neighboring properties.

<u>Height</u>

The C2-2D-O-CPIO Zone has a height limit of 225 feet. This is per incentives related to Affordable Housing Projects in the CPIO Subarea H: TOD Regional. The proposed project consists of one 15 story, 224-foot-tall building as measured to the top of an architecture feature described as "crown" on page 18 of Exhibit A, above the rooftop bar and lounge. The majority of the building has a maximum height of 200 feet as measured to the parapet of the rooftop.

Bulk/Massing

The building façades are articulated with a grid of rectangular concrete panels framing curtain wall assemblies. This façade strategy articulates the edifice with horizontal and vertical breaks, creating a series of framed window/spandrel assemblies two stories (21 feet) in height from the second through fourteenth levels. The first level panels are nearly 34 feet tall, distinguishing and lending visual weight to the ground level.

Landscaping

The project is designed to maintain existing trees along Flower Street, and Washington Boulevard. 2,925 square feet of landscaped open space are provided at the ground level. This portion is along the south and western edges of the site, abutting an abandoned freeway onramp alongside the 110, infilled with shrubbery behind a 6-foot-high metal picket fence. 7,465 square feet of the landscaped open space is devoted to a communal roof deck at the second level, abutting the residential tower to the west and north. The remaining 8,260 square feet of the landscaped open space is on the 15 floor pool deck, with adjacent barbeque and lounge areas

beneath a tall, illuminated "crown," integrated with the tower's exterior façade below. An additional 3,750 square feet of private space is distributed into 50 square foot balconies among 75 units.

The proposal includes the addition of 92 new trees throughout the courtyards, an excess of 22 to the required 70 trees. Of these, 29 trees will be on a second-floor roof deck atop the parking podium, with 43 trees on the fifteenth-floor pool deck. The remainder will be planted along the southwestern landscaped portion of the site, abutting a vacated freeway onramp. The project proposes a total of 22,400 square feet of landscaping throughout.

Building Materials

All facades have a least three different materials that include the architectural concrete panels (painted with a white finish), window wall glazing, and metal spandrel panels.

Entrances

The proposed project provides a prominent pedestrian-oriented ground floor entrance on the western side of Flower Street, along with a new, 700 square foot commercial space. The entry lobby/amenity space has a 30-foot floor to ceiling height, and a glazed façade to enliven the streetscape and provide a more visibly active environment.

<u>Setbacks</u>

The project has a 0-foot setback along Flower Street abutting the entry lobby/amenity space, and a 4-foot 6-inch setback for the remainder of the building. This creates an inviting pedestrian frontage in conformance with the Southeast Los Angeles CPIO, and as recommended in the Citywide Design Guidelines.

Parking

Parking will be provided in an at-grade parking area with 64 automobile parking spaces, distributed into vehicular stacks via a mechanical "puzzle" parking system. In addition, 121 bicycle parking spaces will be provided on-site (9 short-term, 72 long-term, and 40 spaces replacing 10 vehicular spaces), meeting code.

Open Space

The project is designed with 22,400 square feet of open space, reflecting a 20% reduction per the Southeast Los Angeles Community Plan Implementation Overlay, incentive D3(d), pg. 44.

Lighting

Ancillary lighting is provided along pedestrian and vehicular access ways to enhance pedestrian safety and visibility.

Loading

Loading occurs from within the parking garage of the subject property and is not visible from the street.

Trash Collection

Trash Collection occurs from within the parking garage of the subject property and is not visible from the street.

3. That any residential project provides recreational and service amenities to improve habitability for its residents and minimize impacts on neighboring properties.

The project provides recreational and service amenities to improve habitability for its residents and minimizes impacts on neighborhood properties by providing a library/business center, conference room, cabanas, fitness center, pool/spa, roof-top areas, garden/patio, and cardio/yoga to its residents. The ground floor is activated with a retail space envisioned as a café, including an open space courtyard with direct access from Flower Street, as well as a resident lobby and amenity space. The second level podium includes over 1,000 square feet of recreational space that includes a variety of seating areas, barbeques, and landscaping. The rooftop deck features a pool and spa with views of Downtown.

CEQA Findings

As the designee of the Director of Planning, City of Los Angeles found, based on their independent judgment, and after consideration of the whole of the administrative record, that the project is within the scope of the South Los Angeles Community Plan Program EIR No. ENV-2008-1780-EIR ("Program EIR"), pursuant to CEQA Guidelines Sections 15168 and 15162; the environmental effects of the Project were covered in the Program EIR and no new environmental effects not identified in the Program EIR will occur and no new mitigation is required; and the City has incorporated all feasible mitigation measures from the Program EIR on the Project.

The proposed project is for a 15 story, 224-foot-tall tower that includes 280 residential units. 700 SF of ground level square footage will be given over to a commercial space, alongside an entry lobby, amenity space and elevator core. The remainder of the first floor is devoted to a subterranean garage basement with 64 parking spaces, subdivided into automated mechanical "puzzle" parking assemblies. The building will contain 225 studio units at 350 square feet per unit minimum, with the remaining 55 units divided among three (slightly larger) layouts designed to maintain corridor access. The project includes approximately 22,400 square-feet of outdoor open space areas dispersed throughout the building in ground floor landscaped yards, a second floor podium/amenity deck, a rooftop deck, and 75 balconies at a minimum of 50 SF each. There six (6) non-protected street trees growing in the public right of way at the project site. Tree removal may be required in order to allow construction and perform required street improvements. Street trees in the public right of way are regulated under Los Angeles Municipal Code, Chapter VI, Section 62.161 through 62.176. All tree removal permits are issued by the Bureau of Street Services, Urban Forestry Division, and may require approval by the Board of Public Works. All permitted tree removals shall be replaced with a minimum of two, 24-inch box size trees for each tree removed or as conditioned by the Board of Public Works.

The subject site is located within the Southeast Los Angeles Community Plan and is designated for Community Commercial land uses. The site is zoned C2-2D-CPIO, which is consistent with the land use designation. As shown in the case file and under Finding No. 2 herein, the project is consistent with the General Plan, the applicable Community Plan designation and policies, and all applicable zoning designations and regulations.

<u>Regulatory Compliance Measures</u> – The project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance, pollutant discharge, dewatering, stormwater mitigations; and Best Management Practices for stormwater runoff. More specifically, RCMs include but are not limited to the following, to ensure the project will not have significant impacts:

• Regulatory Compliance Measure RC-AQ-1 (Demolition, Grading and Construction Activities): Compliance with provisions of the SCAQMD District Rule 403. The project shall comply with all applicable standards of the Southern California Air Quality Management District, including the following provisions of District Rule 403:

- All unpaved demolition and construction areas shall be wetted at least twice daily during excavation and construction, and temporary dust covers shall be used to reduce dust emissions and meet SCAQMD District Rule 403. Wetting could reduce fugitive dust by as much as 50 percent.
- The construction area shall be kept sufficiently dampened to control dust caused by grading and hauling, and at all times provide reasonable control of dust caused by wind.
- All clearing, earth moving, or excavation activities shall be discontinued during periods of high winds (i.e., greater than 15 mph), so as to prevent excessive amounts of dust.
- All dirt/soil loads shall be secured by trimming, watering or other appropriate means to prevent spillage and dust.
- All dirt/soil materials transported off-site shall be either sufficiently watered or securely covered to prevent excessive amount of dust.
- General contractors shall maintain and operate construction equipment so as to minimize exhaust emissions.
- Trucks having no current hauling activity shall not idle but be turned off.
- **Regulatory Compliance Measure RC-AQ-2:** In accordance with Sections 2485 in Title 13 of the California Code of Regulations, the idling of all diesel-fueled commercial vehicles (weighing over 10,000 pounds) during construction shall be limited to five minutes at any location.
- **Regulatory Compliance Measure RC-AQ-3:** In accordance with Section 93115 in Title 17 of the California Code of Regulations, operation of any stationary, diesel-fueled, compression-ignition engines shall meet specified fuel and fuel additive requirements and emission standards.
- **Regulatory Compliance Measure RC-AQ-4:** The Project shall comply with South Coast Air Quality Management District Rule 1113 limiting the volatile organic compound content of architectural coatings.
- **Regulatory Compliance Measure RC-AQ-5:** The Project shall install odor-reducing equipment in accordance with South Coast Air Quality Management District Rule 1138.
- Regulatory Compliance Measure RC-AQ-6: New on-site facility nitrogen oxide emissions shall be minimized through the use of emission control measures (e.g., use of best available control technology for new combustion sources such as boilers and water heaters) as required by South Coast Air Quality Management District Regulation XIII, New Source Review.
- **Regulatory Compliance Measure RC-GEO-1 (Seismic):** The design and construction of the project shall conform to the California Building Code seismic standards as approved by the Department of Building and Safety.
- Regulatory Compliance Measure RC-NO-1 (Demolition, Grading, and Construction Activities): The project shall comply with the City of Los Angeles Noise Ordinance and any subsequent ordinances, which prohibit the emission or creation of noise beyond certain levels at adjacent uses unless technically infeasible.

These RCMs will reduce any potential impacts to less than significant, and will ensure the project will not have significant impacts on noise and water.

As set forth below, the Project would not result in any new or increased impacts beyond those disclosed in the EIR.

- 1. <u>Aesthetics</u>. The EIR found significant and unavoidable aesthetic impacts. Per ZIMAS, the Project is in a Transit Priority Area. Under AB 743 and ZI 2452, the Project's aesthetic impacts are deemed to be less than significant. Therefore, the Project's impacts would be less than those set forth in the EIR.
- <u>Agricultural and Forestry Resources</u>. The EIR found that impacts to agricultural and forestry resources would be less than significant. The Site is zoned C2-2D-O-CPIO, is currently developed with a parking lot and one-story trailer and is located in a highly urbanized area. There are no agricultural or forestry resources onsite or in the vicinity. The Project's impacts would be the same as those set forth in the EIR and also less than significant.
- 3. <u>Air Quality</u>. The EIR found that impacts with respect to consistency with the Air Quality Management Plan ("AQMP") and operational emissions would be less than significant, but that impacts with respect to construction criteria pollutant and toxic air contaminant (TAC) emissions would be significant and unavoidable. The Project is an urban infill project in a High Quality Transit Corridor that is well served by transit, which would reduce vehicle miles travelled ("VMT") and associated emissions. It is also consistent with the zoning and General Plan and would comply with the Title 24's energy saving requirements. Therefore, the Project's impacts with respect to AQMP consistency and operational emissions would be similar to those set forth in the EIR and also less than significant.

The Project would use the same types of construction equipment as modelled in the EIR's air quality analysis. However, due to the Site's relatively small size of less than ½ acre, the Project's impacts with respect to the construction and TAC emissions are likely to be less than set forth in the EIR. In addition, the Project would implement Environmental Standard AQ1 of the CPIO. Therefore, the Project's impacts with respect to these issues would be the same or less than those set forth in the EIR.

- 4. <u>Biological Resources</u>. The EIR found that impacts to biological resources would be less than significant. The Site is currently developed with a parking lot and one-story trailer and located in a highly urbanized area. There are no special status habitats or natural communities onsite. Therefore, the Project's impacts would be the same as those set forth in the EIR and also less than significant.
- 5. <u>Cultural Resources</u>. The EIR found that impacts with respect to historic resources would be significant and unavoidable. As the Project is developed with a parking lot and one-story trailer without any permanent structures, its impacts would be less than those set forth in the EIR and less than significant.

The EIR found that impacts regarding archeological and paleontological resources would be less than significant with mitigation, and impacts regarding human remains would be less than significant with compliance with applicable regulations. The Project would implement the same mitigation measures as contained in Environmental Standards CR2 and CR3 of the CPIO and would be subject to the same regulations. Therefore, the Project's impacts would be similar to those set forth in the EIR and also less than significant.

6. <u>Geology and Soils</u>. The EIR found that impacts with respect to geology and soils would be less than significant. Per ZIMAS and the attached Geotechnical Engineering Investigation prepared by Geotechnologies, Inc., the site is not located in an Alquist-Priolo Fault Zone, landslide area, liquefaction zone, preliminary fault rupture study area, or tsunami inundation zone and would not be subject to unique seismic hazards. Therefore, the Project's impacts would be similar to those set forth in the EIR and also less than significant.

- 7. <u>Greenhouse Gas Emissions</u>. The EIR found that the greenhouse gas ("GHG") impacts would be less than significant. The Project is an urban infill project in a High Quality Transit Corridor and would be well served by transit, which would reduce VMT and associated GHG emissions. It would also comply with the Title 24's energy saving requirements, which would also reduce GHG emissions. Therefore, the Project's impacts would be similar to those set forth in the EIR and also less than significant.
- 8. <u>Hazards and Hazardous Materials</u>. The EIR found that impacts with respect to hazards and hazardous materials would be less than significant with mitigation and compliance with existing federal, state, and local regulations. As set forth in the Phase 1 Environmental Site Assessment prepared by CBRE, there are no current or historic recognized environmental conditions at the Site. In addition, the Project would implement Environmental Standard HM1 of the CPIO and would comply with all applicable federal, state, and local regulations. Therefore, the Project's impacts would be similar to those set forth in the EIR and also less than significant.
- 9. <u>Hydrology and Water Quality</u>. The EIR found that hydrology and water quality impacts would be less than significant with compliance with applicable water quality and stormwater regulations, including the state National Pollutant Discharge Elimination System permit, the City's standard grading and building permit requirements, and stormwater Best Management Practices (BMPs) as part of the Standard Urban Stormwater Mitigation Plan. The Site is developed with a parking lot and 1-story trailer and is mostly impervious. In addition, the Project would comply with the same regulatory requirements as set forth in the EIR. Therefore, the Project's impacts would be similar to those set forth in the EIR and also less than significant.
- 10. <u>Land Use and Planning</u>. The EIR found that land use impacts would be less than significant. The Project would be consistent with the zoning, Community Plan, CPIO, and all other applicable plans. Therefore, the Project's impacts would be similar to those set forth in the EIR and also less than significant.
- 11. <u>Mineral Resources</u>. The EIR found that impacts to mineral resources would be less than significant. As shown on Figure 4.11-1 of the EIR, the Project is not located in a mineral resource zone. There are no active oil wells on or in the vicinity of the Site. Therefore, the Project's impacts would be similar to those set forth in the EIR and also less than significant.
- 12. <u>Noise</u>. The EIR found that construction noise and vibration impacts would be significant and unavoidable, but that operational noise and vibration impacts would be less than significant. As set forth in the Technical Memorandum prepared by Terry A. Hayes Associates Inc., located in case ENV-2020-997-EAF the Project would not result in any new or greater impacts than set forth in the EIR.
- 13. <u>Population, Housing and Employment.</u> The EIR found that population, housing, and employment impacts would be less than significant. The Project would be consistent with the zoning and Community Plan. It would provide needed housing, including affordable housing, and would not displace any existing housing. Therefore, the Project's impacts would be similar to those set forth in the EIR and also less than significant.
- 14. <u>Public Services</u>. The EIR found that impacts to fire and police services, schools, parks, and libraries would be less than significant. The Project is located in an urbanized area that is well served by existing public services. In addition, the Project would pay school and parks fees. There are no unique features of the Project that would result in project-specific impacts to public services beyond those set forth in the EIR. Therefore, the Project's impacts would be similar to those set forth in the EIR and also less than significant.

- 15. <u>Transportation</u>. The EIR found transportation impacts to be significant and unavoidable. As set forth in the Technical Memorandum prepared by Iteris, the Project would not result in any new or greater impacts than set forth in the EIR.
- 16. <u>Utilities and Service Systems</u>. The EIR found that impacts with respect to water, wastewater, solid waste, and energy would be less than significant. The Project would is located in an urbanized area that is well served by existing utilities. In addition, the Project would comply with the applicable provisions of the Green Building Code, which would reduce energy and water consumption. There are no unique features of the Project that would result in project-specific impacts to utilities beyond those set forth in the EIR. Therefore, the Project's impacts would be similar to those set forth in the EIR and also less than significant.

As set forth above, the Project's environmental impacts would be the same, similar or less than those set forth in the EIR. The Project would not result in any new project-specific impacts not disclosed in the EIR. In addition, the Project is consistent with the applicable provisions of the CPIO, including the Environmental Standards. Therefore, pursuant to CEQA Guidelines Section 15183, no further CEQA review or analysis is required.

OBSERVANCE OF CONDITIONS - TIME LIMIT - LAPSE OF PRIVILEGES

All terms and conditions of the Director's Determination shall be fulfilled before the use may be established. The instant authorization is further conditioned upon the privileges being utilized within **three years** after the effective date of this determination and, if such privileges are not utilized, building permits are not issued, or substantial physical construction work is not begun within said time and carried on diligently so that building permits do not lapse, the authorization shall terminate and become void.

TRANSFERABILITY

This determination runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant. If any portion of this approval is utilized, then all other conditions and requirements set forth herein become immediately operative and must be strictly observed.

VIOLATIONS OF THESE CONDITIONS, A MISDEMEANOR

The Applicant's attention is called to the fact that this grant is not a permit or license and that any permits and licenses required by law must be obtained from the proper public agency. Furthermore, if any condition of this grant is violated or not complied with, then the Applicant or his successor in interest may be prosecuted for violating these conditions the same as for any violation of the requirements contained in the Municipal Code, or the approval may be revoked.

Section 11.00 of the LAMC states in part (m): "It shall be unlawful for any person to violate any provision or fail to comply with any of the requirements of this Code. Any person violating any of the provisions or failing to comply with any of the mandatory requirements of this Code shall be guilty of a misdemeanor unless that violation or failure is declared in that section to be an infraction. An infraction shall be tried and be punishable as provided in Section 19.6 of the Penal Code and the provisions of this section. Any violation of this Code that is designated as a misdemeanor may be charged by the City Attorney as either a misdemeanor or an infraction.

Every violation of this determination is punishable as a misdemeanor unless provision is otherwise made, and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the County Jail for a period of not more than six months, or by both a fine and imprisonment."

APPEAL PERIOD - EFFECTIVE DATE

The Determination in this matter will become effective and final fifteen (15) days after the date of mailing of the Notice of Director's Determination unless an appeal there from is filed with the City Planning Department. It is strongly advised that appeals be filed early during the appeal period and in person so that imperfections/incompleteness may be corrected before the appeal period expires. Any appeal must be filed on the prescribed forms, accompanied by the required fee, a copy of this Determination, and received and receipted at a public office of the Department of City Planning on or before the above date or the appeal will not be accepted. Forms are available on-line at http://planning.lacity.org.

Planning Department public offices are located at:

Downtown Office	Valley Office	West Los Angeles Development
Figueroa Plaza	6262 Van Nuys	Services Center
201 North Figueroa Street,	Boulevard, Suite 251	1828 Sawtelle Boulevard, 2nd Floor
4 th Floor	Van Nuys, CA 91401	Los Angeles, CA 90025
Los Angeles, CA 90012	(818) 374-5050	(310) 231-2901
(213) 482-7077		

Per Section 16.05 H.2 of the LAMC, appeals of Site Plan Review cases are heard by the Area Planning Commission.

Verification of condition compliance with building plans and/or building permit applications are done at the Development Services Center of the Department of City Planning at either Figueroa Plaza in Downtown Los Angeles or the Marvin Braude Building in the Valley. In order to assure that you receive service with a minimum amount of waiting, applicants are encouraged to schedule an appointment with the Development Services Center either through the Department of City Planning website at <u>http://planning.lacity.org</u> or by calling (213) 482-7077 or (818) 374-5050. The applicant is further advised to notify any consultant representing you of this requirement as well.

The time in which a party may seek judicial review of this determination is governed by California Code of Civil Procedures Section 1094.6. Under that provision, a petitioner may seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, only if the petition for writ of mandate pursuant to that section is filed no later than the 90th day following the date on which the City's decision becomes final.

VINCENT P. BERTONI, AICP Director of Planning

Approved by:

olor Faisal Roble, Principal Planne

Reviewed by:

Sergio Ibarra, City Planner

Reviewed by:

Michelle Singh

Michelle Singh, Senior City Planner

Prepared by:

Rafael Fontes, City Planning Assistant rafael.fontes@lacity.org





SITE PLAN REVIEW SUBMITTAL PALMER FLOWER STREET PROPERTIES II, LP

FEBRUARY 11, 2020

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FEB. 11, 2020



- LANDSCAPE CONCEPT 15TH FLOOR PLAN POOL DECK
- LANDSCAPE CONCEPT 2ND FLOOR PLAN PODIUM LEVEL
- LANDSCAPE CONCEPT GROUND FLOOR PLAN

PROJECT ADDRESS	:	2321, 2325 & 2327 S. FLOWER STREET, LOS ANGELES CALIFORNIA 90007	
LEGAL DESCRIPTION	:	LOT: FR 21, 22, 23 & 24; BLOCK: NONE; TRACT: LONGSTREET TRACT	
ASSESSORS PARCEL NO.	:	5126005008	
PROJECT DESCRIPTION	:	PROPOSED 280 RESIDENTIAL UNITS IN 15 STORY TYPE-I CONSTRUCTION TOWER WITH 700S.F. OF GROUND LEVEL COMMERCIAL AND 1 LEVEL TYPE-I CONSTRUCTION OF SUBTERRANEAN BASEMENT.	
LOT SIZE	:	20,498 SF. (0.471 ACRES) PER SURVEY 404 SF. (VACATION OF 2' ON FLOWER ST. PROPOSED) 20,902 SF.	
ZONE	:	C2-2D-O-CPIO	
APPLICABLE ZONING INFORMATION	:	S.E. LOS ANGELES COMMUNITY PLAN IMPLEMENTATION OVERLAY (CPIO) GREATER DOWNTOWN HOUSING INCENTIVE AREA (GDHIA) - ZI NO. 2385 TRANSIT PRIORITY AREA IN THE CITY OF LOS ANGELES	
land use designation	:	COMMUNITY COMMERCIAL	
CPIO TOD SUB AREA	:	H - TOD REGIONAL CENTER	
DENSITY ALLOWED	:	NO LIMIT (PER CPIO - TABLE III-2, CPIO AFFORDABLE HOUSING PROJECTS BONUS)	
NUMBER OF UNITS PROPOSED	:	280 DWELLING UNITS	
UNIT MIX PROPOSED	:	TYPICAL UNITTYPE A(STUDIO)350 SF =200 UNITS + 25 AFFORDABLE UNITSATYPICAL UNIT 1TYPE B (STUDIO)400 SF =24 UNITS +3 AFFORDABLE UNITSATYPICAL UNIT 2TYPE C(STUDIO)430 SF =13 UNITS +2 AFFORDABLE UNITSATYPICAL UNIT 3TYPE D(STUDIO)430 SF =12 UNITS +1 AFFORDABLE UNITSCPIO MIXED INCOME HOUSING@11% PER TOD SUB AREA H - REGIONAL249 UNITS +31 AFFORDABLE UNITS	
FAR ALLOWED	:	$ \begin{array}{rcl} \text{TOTAL} &=& 280 \text{ UNITS} \\ \hline 6:1 \text{ (PER CPIO)} \\ 20,902 \text{ SF. X } 6 &=& 125,412 \text{ SF.} \\ \hline 6:1 &=& 125,412 \ / \ 20,902 \text{ SF.} \end{array} $	
FAR PROPOSED	:	RESIDENTIAL=100,227 SF.COMMON AREAS/AMENITIES & SERVICES=24,485 SF.COMMERCIAL=700 SF.TOTAL FAR PROVIDED=125,412 SF.	
BUILDING HEIGHT ALLOWED		TOTAL FAR PROVIDED = 125,412 SF. 225' / 15 FLOORS (PER CPIO TABLE III-2 PG.55)	
BUILDING HEIGHT PROPOSED	•	224' FROM ESTIMATED LOWEST ADJACENT GRADE	
PARKING REQUIRED	:	$@ 0.5 CARS/UNIT (PER AB 744)$ $280 \times 0.5 = 140 \text{ SPACES}$ $50 \% \text{ REDUCTION PER CPIO}$ $140 \times 0.5 = 70 \text{ SPACES}$ $15 \% \text{ FURTHER REDUCTION PER BICYCLE ORDINANCE}$ $70 \cdot (0.15x70)$ $(NO.185480) @ 4 \text{ BIKES/ 1 CAR}$ i.e. $70 \cdot 10 = 60 \text{ SPACES}$ SMALL CAFE @ 1 CAR/200 S.F. (PER 12.21 A4) $700/200 = 4 \text{ SPACES}$ TOTAL REQUIRED $= 64 \text{ SPACES}$	
PARKING PROVIDED	:	64 SPACES (INCLUDES AUTOMATED MECHANICAL PARKING)	
BICYCLE PARKING REQUIRED	:	SHORT TERM @ 1/40 UNITS - PER 12.21 A16(a)(1) 280/40 = 7 SPACES LONG TERM @ 1/4 UNITS - PER 12.21 A16(a)(1) 280/4 = 70 SPACES BICYCLE ORDINANCE (NO.185480)@ 4 BIKES/1 CAR 10 x 4 = 40 SPACES	
		CARS REPLACED BY BIKES = 0.15x70 = 10 CARS SHORT TERM RETAIL @ 1/2,000 SF; MINIMUM 2 - PER 12.21 A16(a)(2) = 2 SPACES LONG TERM RETAIL @ 1/2,000 SF; MINIMUM 2 - PER 12.21 A16(a)(2) = 2 SPACES	
		TOTAL = 121 SPACES	
BICYCLE PARKING PROVIDED	:	121 SPACES (9 SPACES AT GROUND LEVEL & 112 SPACES IN BASEMENT)	

SEIDACKS REQUIRED			
A. GARAGE & LOBBY	:		10 5' (
		SOUTHWEST SIDE YARD N REAR YARD N	10 10 10 5'
B. RESIDENTIAL FLOORS	:	NORTHEAST SIDE YARD N SOUTHWEST SIDE YARD N	10 10 10
OPEN SPACE REQUIRED	:	@100 S.F./UNIT [<3 HABITABLE 2	E F 20
OPEN SPACE PROVIDED	:	GROUND FLOOR LANDSCAF SECOND FLOOR PODIUM/A/ ROOF DECK/AMENITY BALCONIES @50 S.F./UNIT (73	М
LANDSCAPED OPEN SPACE REQUIRED LANDSCAPED OPEN SPACE PROVIDE NUMBER OF TREES REQUIRED NUMBER OF TREES PROVIDED		25% OF COMMON OPEN SP/ @1 TREE/4 UNITS (PER LA	
PRIMARY FRONTAGE REQUIRED AT GROUND FLOOR	:	75%	
PRIMARY FRONTAGE PROVIDED AT GROUND FLOOR	:	170'6'' / 202'6'' = 84%	
ACTIVE FLOOR AREA / PEDESTRIAN AMENITIES REQUIRED	:	(75% OF PRIMARY FRONTAG	E (
ACTIVE FLOOR AREA / PEDESTRIAN AMENITIES PROVIDED	:		
GROUND FLOOR GLAZING REQUIRED		50% OF PRIMARY FRONTAGE	: (
GLAZING REQUIRED ALONG FLOWER ALL FLOORS EXCEPT PARIMARY FRONTAGE OF GROUND FLOOR	51.:	15% MINIMUM	
GLAZING PROVIDED ALONG FLOWEF ALL FLOORS EXCEPT PARIMARY FRONTAGE OF GROUND FLOOR	R ST.:	40%	
LOT COVERAGE REQUIRED	:	30% (PER CPIO SEC. III	-3
LOT COVERAGE PROVIDED	:	90%	

SETBACKS REQUIRED



VICINITY MAP

RUSPOLI TOWER FOR PALMER FLOWER STREET PROPERTIES II, LP 2321, 2325, 2327 S FLOWER ST. NOTE: THIS CONCEPTUAL DESIGN / CAPACITY STUDY IS PRELIMINARY IN NATURE AND SUBJECT TO VERIFICATION OF ALL CITY REGULATIONS, DEDICATIONS AND REQUIREMENTS, LOS ANGELES, CA 90007 INPUT FROM STRUCTURAL AND OTHER DESIGN CONSULTANTS AND IS SUBJECT TO CHANGE.

OT REQD. [PER GDHIA - ZI NO. 2385 PG.3 - 3.(a)] ONLY ALONG STREET-FRONT PARKING @ GROUND LEVEL [PER CPIO SEC. III-3 E3] OT REQD. [PER GDHIA - ZI NO. 2385 PG.3 - 3.(a)] OT REQD. [PER GDHIA - ZI NO. 2385 PG.3 - 3.(a)] OT REQD. [PER GDHIA - ZI NO. 2385 PG.3 - 3.(a)] 'LANDSCAPE BUFFER ALONG FWY. [PER CPIO SEC. III-3 D3(B)] OT REQD. [PER GDHIA - ZI NO. 2385 PG.3 - 3.(a)] OT REQD. [PER GDHIA - ZI NO. 2385 PG.3 - 3.(a)] OT REQD. [PER GDHIA - ZI NO. 2385 PG.3 - 3.(a)] OT REQD. [PER GDHIA - ZI NO. 2385 PG.3 - 3.(a)] $[ROOMS] \times 280 \text{ UNITS} = 28,000 \text{ S.F.} (PER LAMC)$ [*CPIO INCENTIVE D3(d) PG.44] 0% CPIO REDUCTION * = [5,600 S.F.] TOTAL = 22,400 S.F. ed yards/amenity = 2,925 SF. MENITY = 7,465 SF. = 8,260 SF. 5 UNITS) = 3,750 SF. TOTAL = 22,400 SF. ACE PER LAMC 12.21.G = 2,800 SF. TOTAL = 5,117 SF. MC 12.21.G): 280/4 = 70 TREES TOTAL = 92 TREES (PER CPIO SEC. III-3 C 2a) E @ MIN. 25' DEPTH)- VEHICULAR ACCESS (PER CPIO SEC. III-3 D4) $(0.75 \times \pm 170'6'') - 26' = 102'0''$ TOTAL = 113'0''(78%)@ MIN. 12' HEIGHT (PER CPIO SEC. III-3 D1) $(0.50 \times \pm 170'6'') = 85'0''$ TOTAL = 89' 0" (52%) (PER CPIO SEC. III-3 D1)



PROJECT SUMMARY

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LEGAL DESCRIPTION: LEGAL DESCRIPTION.

.. REFERENCE FIRST AMERICAN TITLE INSURANCE COMPANY ORDER #NCS-451327-LA2, DATED AUGUST 10, 2010.

PARCEL 2

LOT 21 OF THE LONGSTREET TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 10 PAGE 71 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. EXCEPT THAT PORTION OF SAID LOT DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE NORTHWESTERLY LINE OF SAID LOT 21, DISTANT SOUTHWESTERLY THEREON 4.00 FEET FROM THE BEDIMINING ALL PARTIES OF ADDITING THE CONTINUES TERLY LONG OF ADDITION, DURING ALL PARTIES TERLY LONG THE ADDITION OF THE OF THE OF THE OF ADDITION OF THE OF T

ALSO EXCEPT THEREFROM THE INTEREST IN THE SOUTHEASTERLY 30 FEET OF SAID LAND AS CONDEMNED AND DEDICATED TO PUBLIC USE FOR PUBLIC STREET PURPOSES BY THAT CERTAIN FINAL JUDGMENT OF CONDEMNATION ENTERED IN THE SUPERIOR COURT OF THE COUNTY OF LOS ANGELES CASE NO. 152-083, A CERTIFIED COPY OF WHICH WAS RECORDED FEBRUARY 2, 1931 IN BOOK 10861 PAGE 7, OFFICIAL RECORDS.

EXCEPTING THEEFROM ALL MINERALS, OIL, GAS NAPHTHA, PETROLEUM AND OTHER MINERALS, HYDROCARBONS AND KINDRED SUBSTANCES, BY ANY NAME WHATSOEVER KNOWN, THAT MAY BE WITHIN OR UNDER SAID LAND, WITHOUT HOWEVER, THE RIGHT TO ENTER THE SUBFACE OF SAID PROPERTY OR SUBSURFACE THEREFOR AT ANY POINT ABOVE A DEFTH OF 500 FEET MEASURED VERTICALLY FROM SAID SURFACE THEREOF, TANEN YO FOINT ABOVE A DEFTH OF 500 FEET MEASURED LEASE OR ROYALT YFAYMENTS. ARKING UNDER ANY OL LAND GAS LEASE REALTING TO THE EXTRACTION OF THE ABOVED-DESCRIBED MINERALS UNDER SAID LAND, AS RESERVED IN GRANT DEED RECORDED JULY 18, 2006 AS INSTRUMENT NO. 06-1576089 OFFICIAL RECORDS.

PARCEL 3

LOT 22 OF THE LONGSTREET TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 10 PAGE 71 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM THAT PORTION THEREOF DESCRIBED AS FOLLOWS:

EXCEPT THEREFROM THAT PORTION THEREOF DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE NORTHEASTERLY LINE OF SAID LOT DISTANT SOUTHEASTERLY THEREON 45.00 FEET FROM THE MOST NORTHERLY CORNER OF SAID LOT, THENCE NORTHWESTERLY ALONG THE NORTHEASTERLY LINE OF SAID LOT, A DISTANCE OF 45.00 FEET TO THE MOST MOST HERLY CORNER OF SAID LOT, THENCE SOUTHWESTERLY ALONG THE NORTHWESTERLY LINE OF SAID LOT TO THE MOST WESTERLY CORNER OF SAID LOT, THENCE SOUTHWESTERLY ALONG THE NORTHWESTERLY LINE OF SAID LOT, A DISTANCE OF 70.00 FEET; THENCE NORTHERLY IN DIRECT LINE TO THE POINT OF BEGINNING. ALSO EXCEPT THEREFROM THE INTERSIT IN THE SOUTHASTERLY JAID STATE OF SAID LOT AS CONDENNED AND DEDICATED TO PUBLIC USE FOR PUBLIC STREET PURPOSES BY THAT CERTAIN FINAL JUDGEMENT OF CONDENNATION ENTERRY 131 IN BOOK 10681 PAGE 7, OFFICIAL RECORDS.

BOUK 10061 PAGE 7, UPFILUEL RECORDS. ALSO EXCEPT THEREEROM ALL RIGHT, TITLE AND INTEREST IN AND TO ALL OIL, NAPHTHA, GAS, PETROLEUM, AND OTHER MINERAL AND KINDRED SUBSTANCES, OTHER THAN WATER, DEPOSITED IN, LYING UNDER OR FLOWING THROUGH OR THAT MAY BE PRODUCED FROM THE PROPERTY HEREIN CONVEYED, PROVIDED HOWEVER, NO RIGHT IS RESERVED TO THE GRANTOR, ITS SUCCESSORS OR ASSIGNS BY REASON OF THIS EXCEPTION OR RESERVATION TO ENTER THE SURFACE OF SALD PROPERTY OR SUBJURACE THEREOF AT ANY POINT ABOVE A DEPTH OF 500 FEET FROM THE SURFACE THEREOF, MEASURED VERTICALLY FROM THE SURFACE THEREOF, AS RESERVED BY EDGAR BROOKER AND NELL COWARD BROOKER, HUSBAND AND WIFE, IN DEED RECORDED MARCH 1, 1967 AS INSTRUMENT NO. 606, OFFICIAL RECORDS.

-0---0---AC

BW

THOSE PORTIONS OF LOTS 23 AND 24 OF THE LONGSTREET TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 10 PAGE 71 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

RECORDER OF SAU DOWN 17, DESCRIBED AS FOLDWS: BEGINNING AT THE MOST NORTHERLY CORNER OF THE SOUTHEASTERLY 30.00 FEET OF SAID LOT 23; THENCE ALONG THE NORTHWSTERLY LINE OF THE SOUTHEASTERLY 30.00 FEET OF SAID LOT 23 AND 24 SOUTH 27: 55 (15° WEST 82.09 FEET, THENCE NORTH 60' 30' WEST 84.08 FEET, THENCE NORTHERLY ALONG A TANGENT CURVE CONCAVE EASTERLY AND HAVING A RADIUS OF 8.00 FEET THROUGH AN ANGLE OF 61' 45' 14' AN ARC DISTANCE OF 8.02 FEET, THENCE TANGENT TO SAID CURVE NORTH 1' 14' 19' EAST 46.4 FEET, THENCE NORTH 5' 54' 57' FAST 39.36 FEET TO THE NORTHEASTERLY LINE OF SAID LOT 23, THENCE SOUTHEASTERLY ALONG SAID NORTHEASTERLY LINE 91.14 FEET TO THE NORTHEASTERLY LINE OF SAID LOT 23, THENCE SOUTHEASTERLY ALONG SAID AND THEASTERLY LINE 91.14 FEET TO THE POINT OF BEGINNING. EXCEPT THERERROM ALL IMMERALS, OLIS, GASES, AND OTHER HYDROCARRONS BY WHATENCOVER NAME KNOWN THAT MAY BE WITHIN OR UNDER SAID LAND WITHOUT HOWEVER THE RIGHT TO DRILL, DIG OR MINE THROUGH THE SUBFACE OF SAID LAND THEREFORM ALL MENTALS, OLIS, CAULFORNIA DEPARTMENT OF PUBLIC WORKS IN DEED RECORDED APRIL 17, 1957 AS INSTRUMENT NO. 3468, OFFICIAL RECORDS.

	AREA DRAIN		
-	CABLE TV PULLBOX		
۲	ELECTRIC MANHOLE		
•	FIRE HYDRANT		
•	GAS METER/VALVE		
•	GUY WIRE		
8	IRRIGATION CONTROL VALVE		
•	PARKING METER		
ê	POWER POLE		
	SEWER CLEANOUT		
9	SEWER MANHOLE		
-	SIGN		
Ð	STORM DRAIN MANHOLE		
-0	STREET LIGHT		
	STREET LIGHT PULLBOX		K A
	TRAFFIC SIGNAL		·· /
	TRAFFIC SIGNAL PULLBOX	EXHIBIT	
63	TREE	Page No. 4 of	31
	WATER METER	1 490 110.	
	WATER VALVE		
• •	GUARD RAIL	Case No. DIR-2020-996-SPI	K-HUA
~ ~	CHAIN LINK FENCE	outo non	
~ ~			

WROUGHT IRON FENCE MIRE FENCE	
ASPHALT	
BACK OF WALK	
CATCH BASIN	

CB CONC CONCRETE CENTERLINE ELEC ELECTRICAL BOX

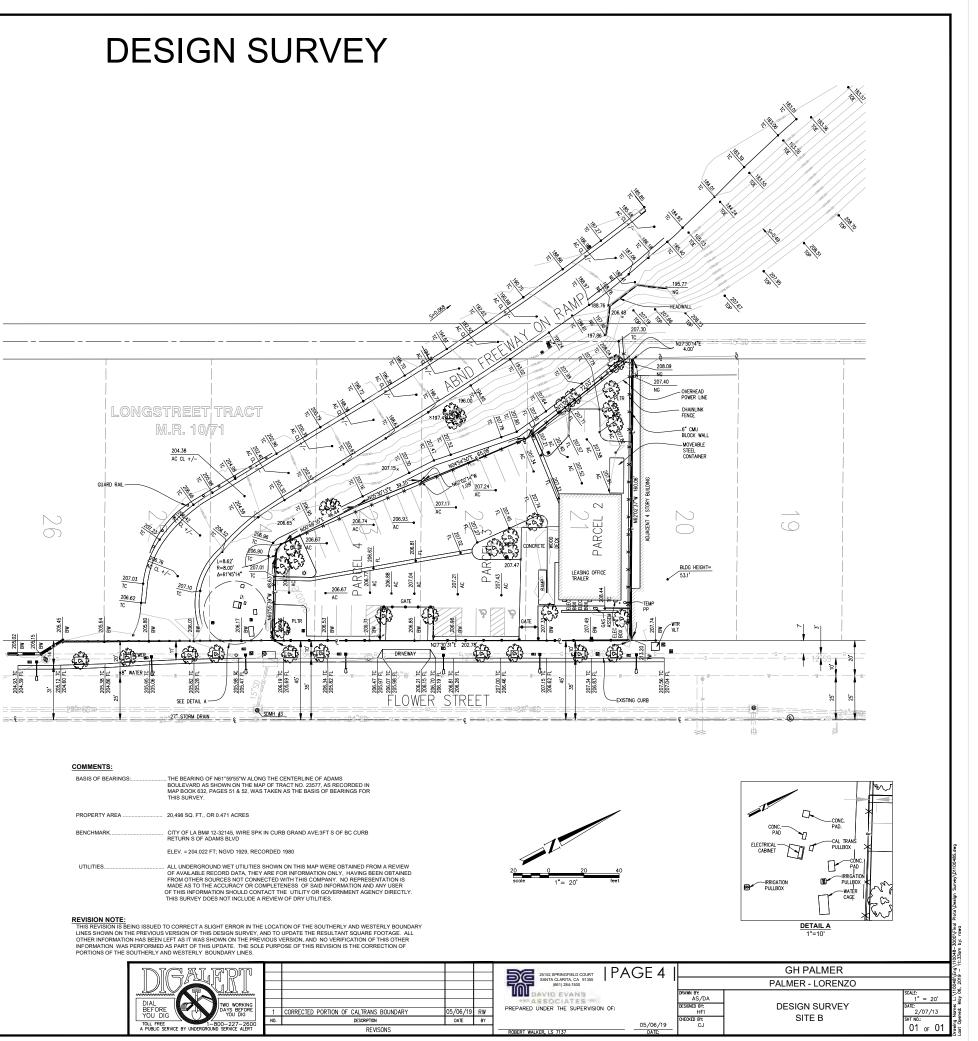
- CLF CHAIN LINK FENCE
- FINISH FLOOR FF
- FL FLOW LINE
- FNC FENCE
- FINISH SURFACE FS
- INVERT INV LAUSD LOS ANGELES UNIFIED SCHOOL DISTRICT
- MTA METROPOLITAN TRANSIT AUTHORITY
- NG NATURAL GROUND
- PED PEDESTAL
- PROPERTY LINE PL POWER POLE
- SMH
- SEWER MANHOLE SDMH STORM DRAIN MANHOLE
- TOP OF CURB TC
- TOP OF GRATE
- TOE TOE OF SLOPE
- top WTR TOP OF SLOPE WATER



S HLL ST

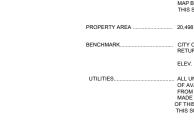


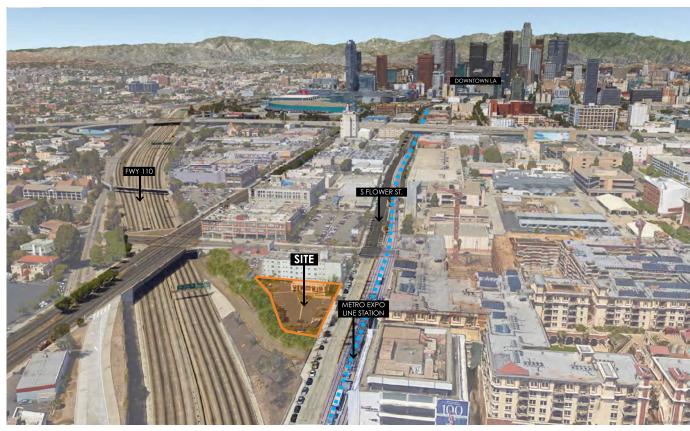
"A"



REVISION	NOTE









SITE & CONTEXT TOWARDS NORTH

SITE & CONTEXT TOWARDS WEST



AERIAL VIEWS & CONTEXT

SITE PLAN REVIEW SUBMITTAL | PAGE 5 |



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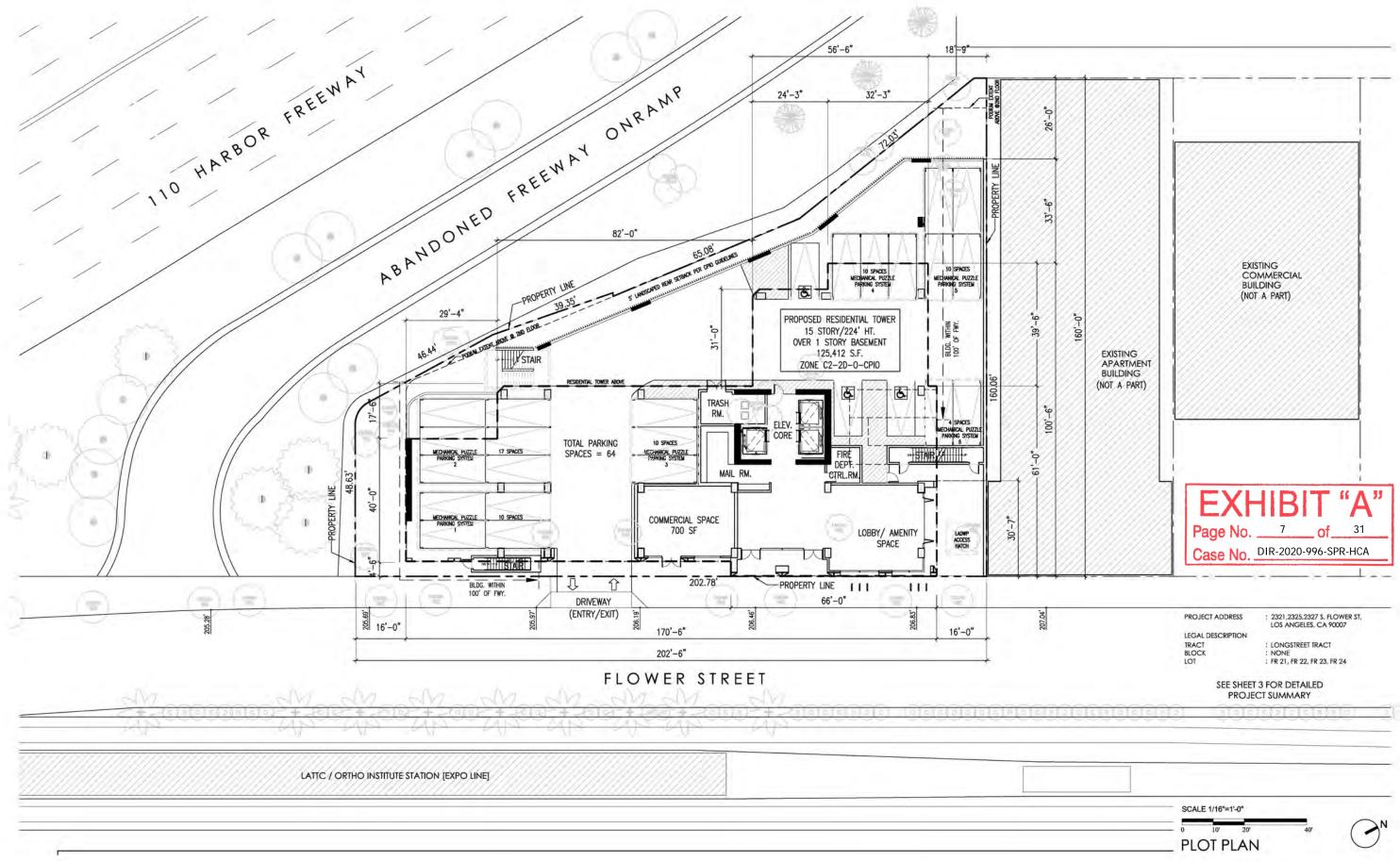




SITE PLAN REVIEW SUBMITTAL | PAGE 6 |

SITE CONTEXT PHOTOS





RUSPOLI TOWER FOR PALMER FLOWER STREET PROPERTIES II, LP 2321, 2325, 2327 S FLOWER ST. NOTE: THIS CONCEPTUAL DESIGN / CAPACITY STUDY IS PRELIMINARY IN NATURE AND SUBJECT TO VERIFICATION OF ALL CITY REGULATIONS, DEDICATIONS AND REQUIREMENTS, INPUT FROM STRUCTURAL AND OTHER DESIGN CONSULTANTS AND IS SUBJECT TO CHANGE. LOS ANGELES, CA 90007

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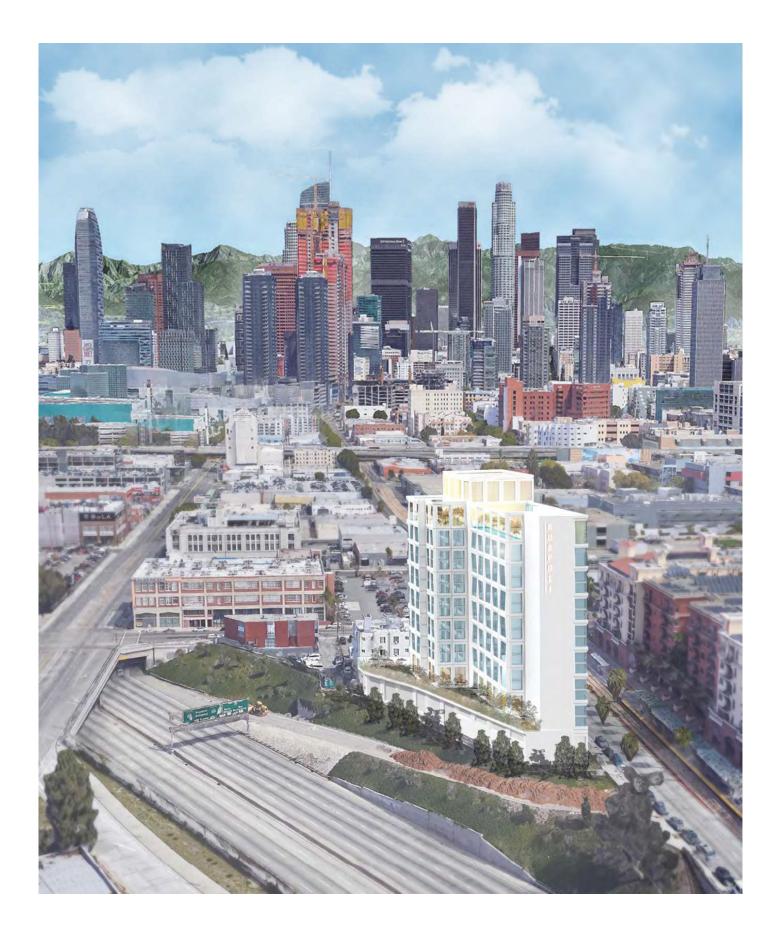




CONCEPTUAL RENDERING

SITE PLAN REVIEW SUBMITTAL | PAGE 8 |





FEB. 11, 2020 SITE PLAN REVIEW

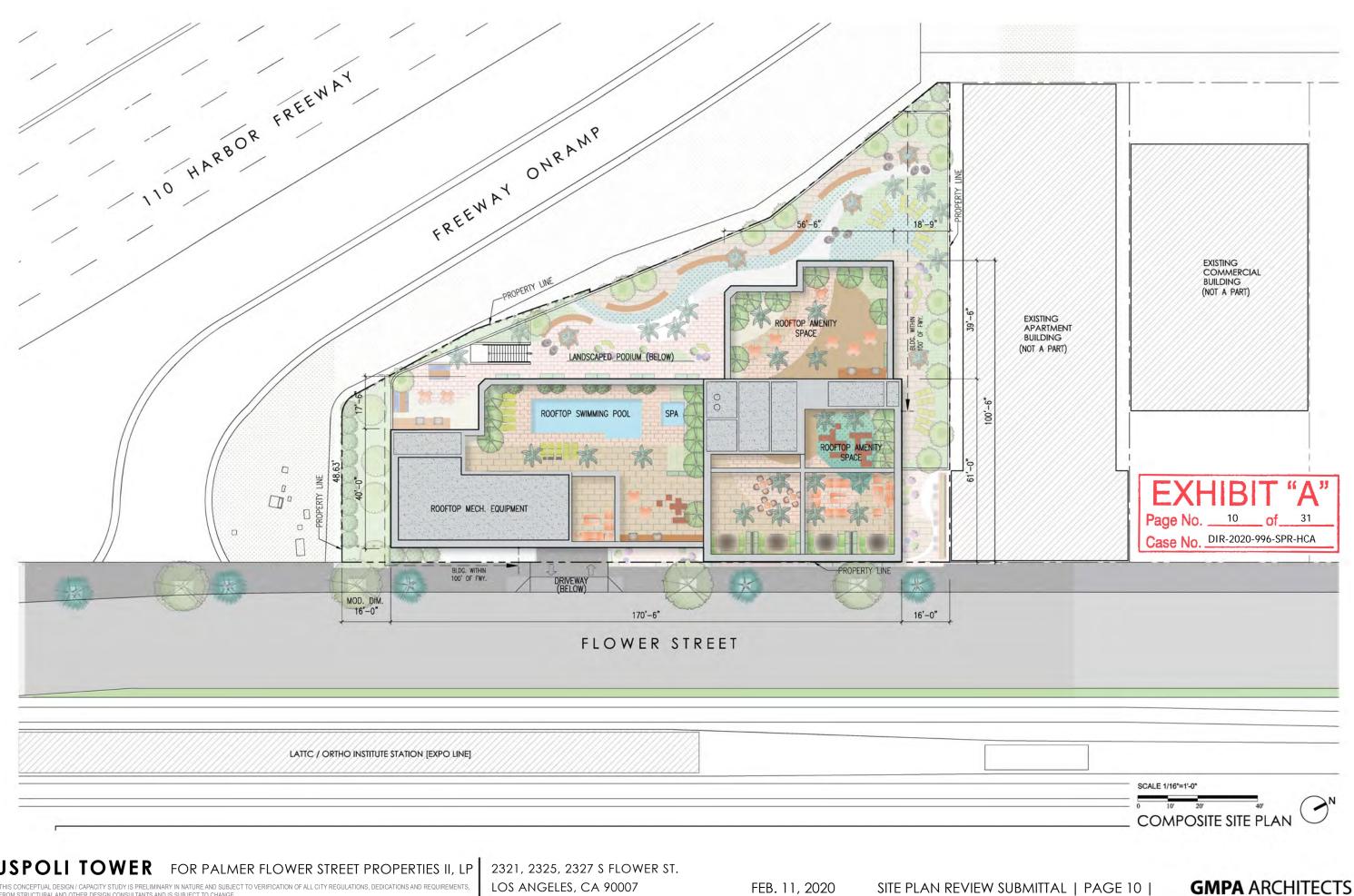


CONCEPTUAL RENDERING

SITE PLAN REVIEW SUBMITTAL | PAGE 9 |

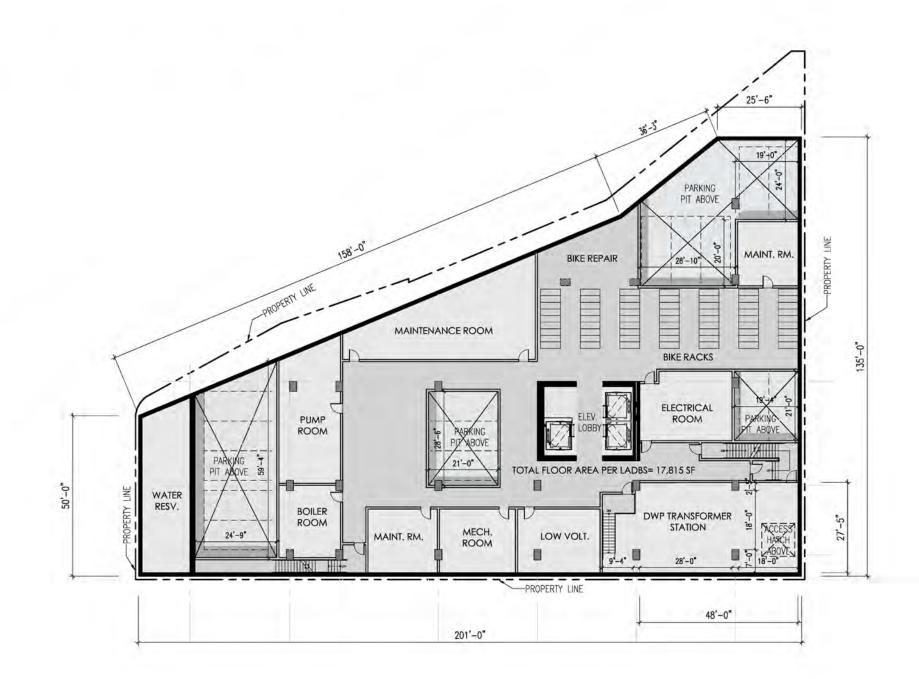


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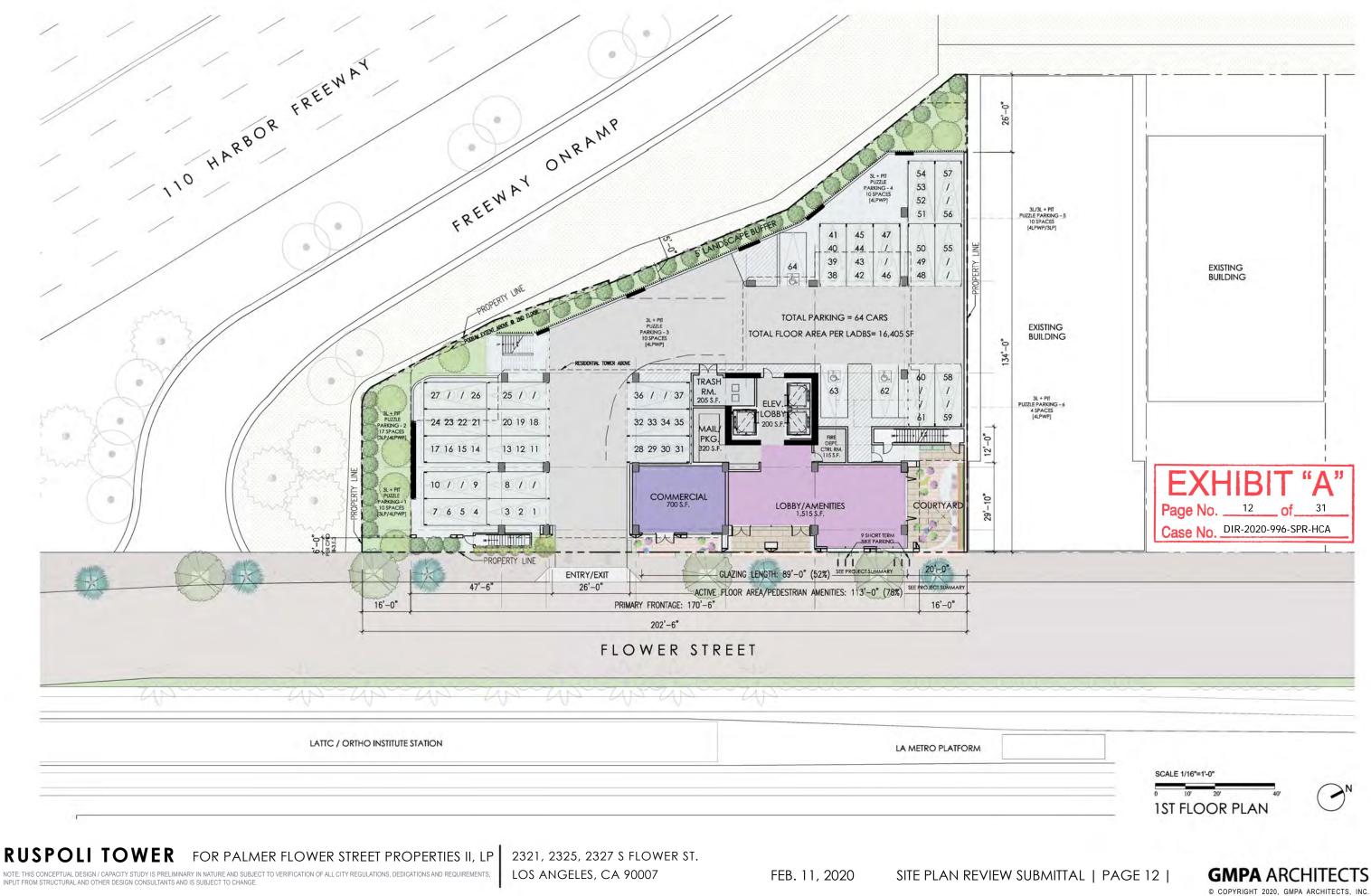


FEB. 11, 2020



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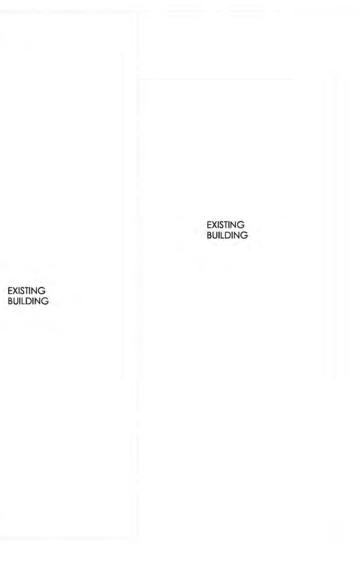




RUSPOLI TOWER FOR PALMER FLOWER STREET PROPERTIES II, LP



FEB. 11, 2020





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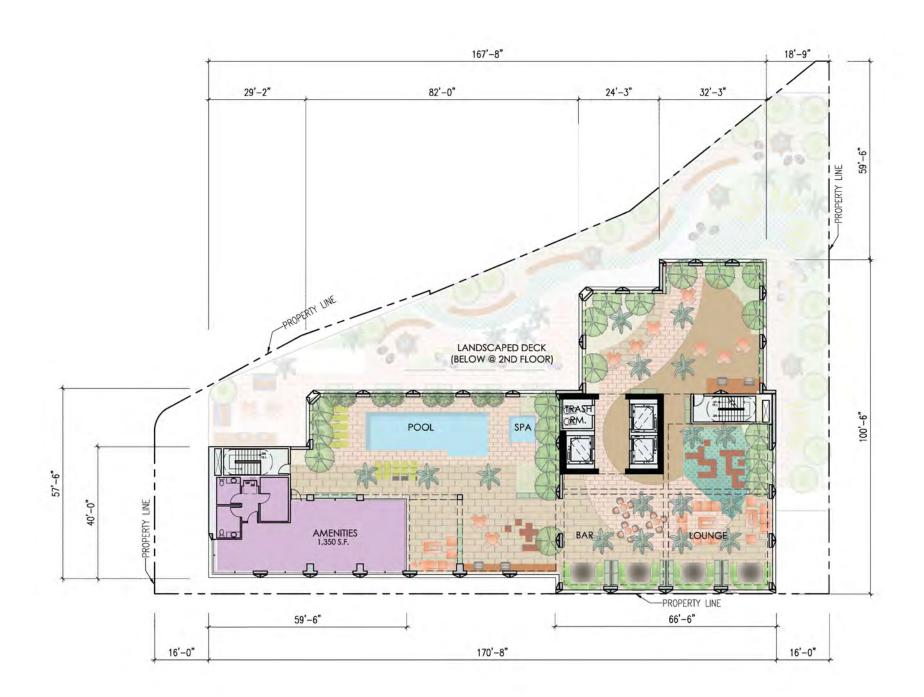


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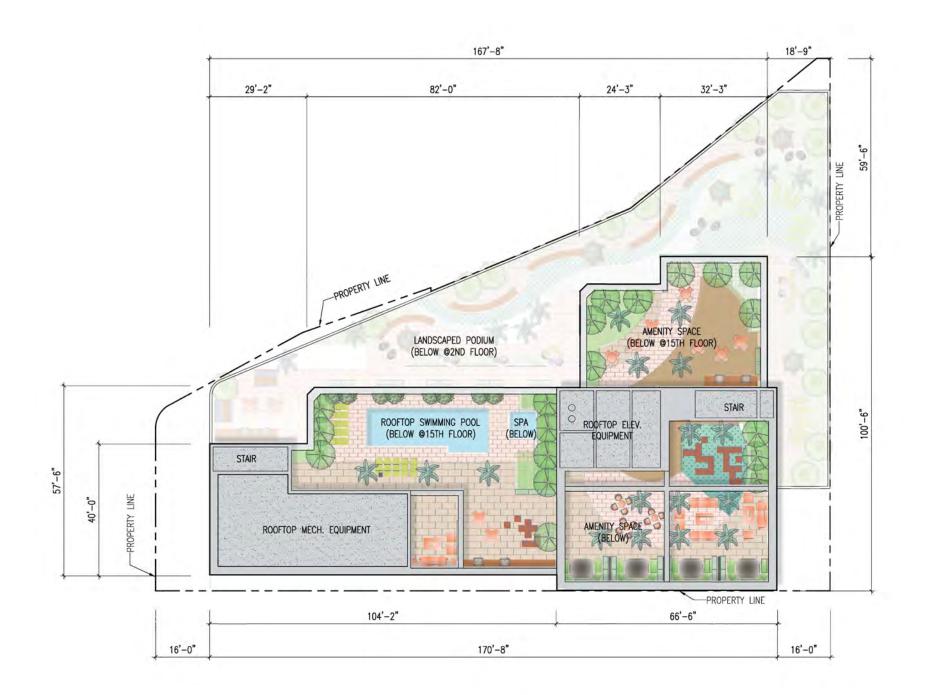


FEB. 11, 2020



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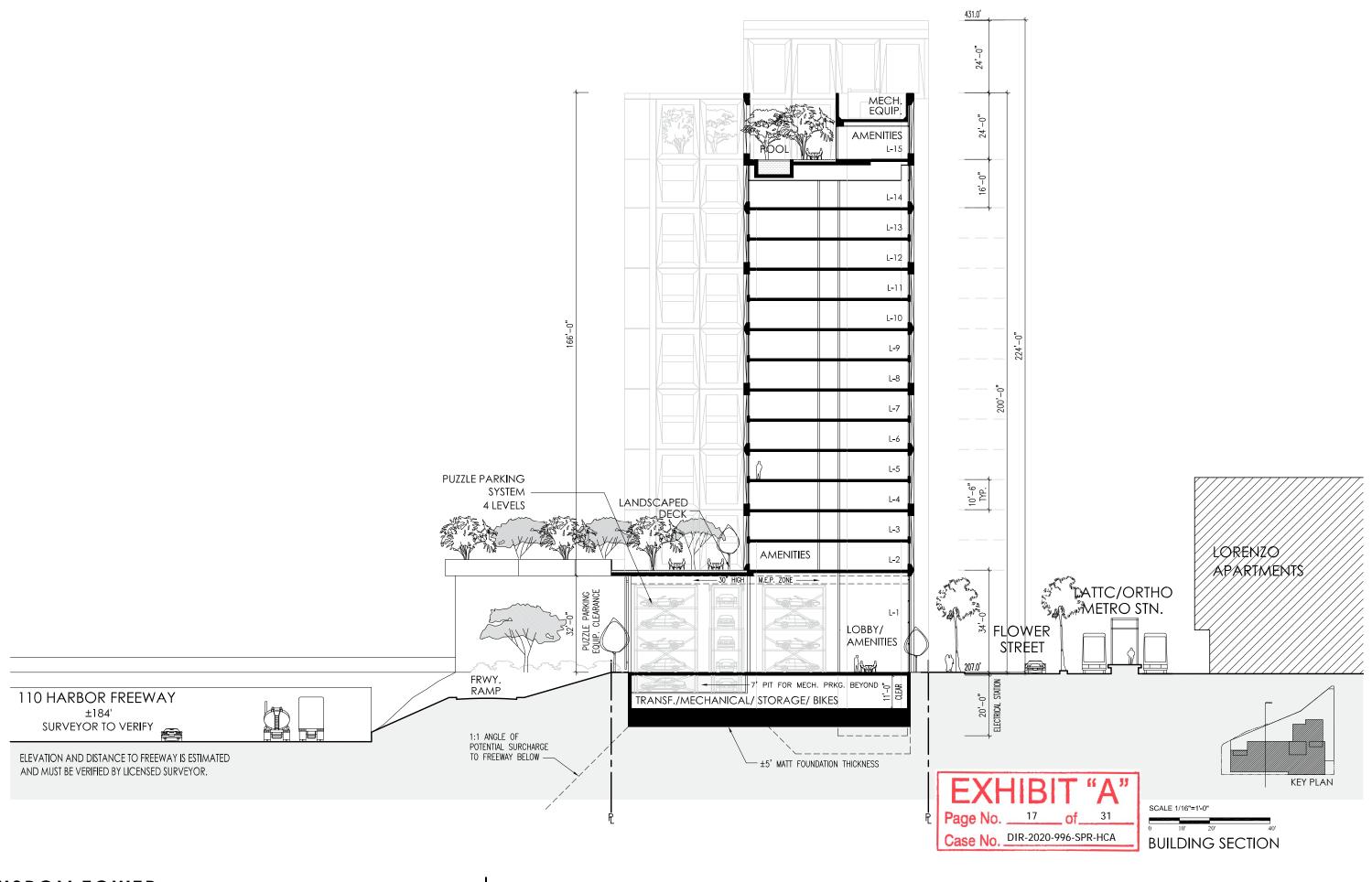
RUSPOLI TOWER FOR PALMER FLOWER STREET PROPERTIES II, LP 2321, 2325, 2327 S FLOWER ST. NOTE: THIS CONCEPTUAL DESIGN / CAPACITY STUDY IS PRELIMINARY IN NATURE AND SUBJECT TO VERIFICATION OF ALL CITY REGULATIONS, DEDICATIONS AND REQUIREMENTS, INPUT FROM STRUCTURAL AND OTHER DESIGN CONSULTANTS AND IS SUBJECT TO CHANGE. LOS ANGELES, CA 90007

FEB. 11, 2020



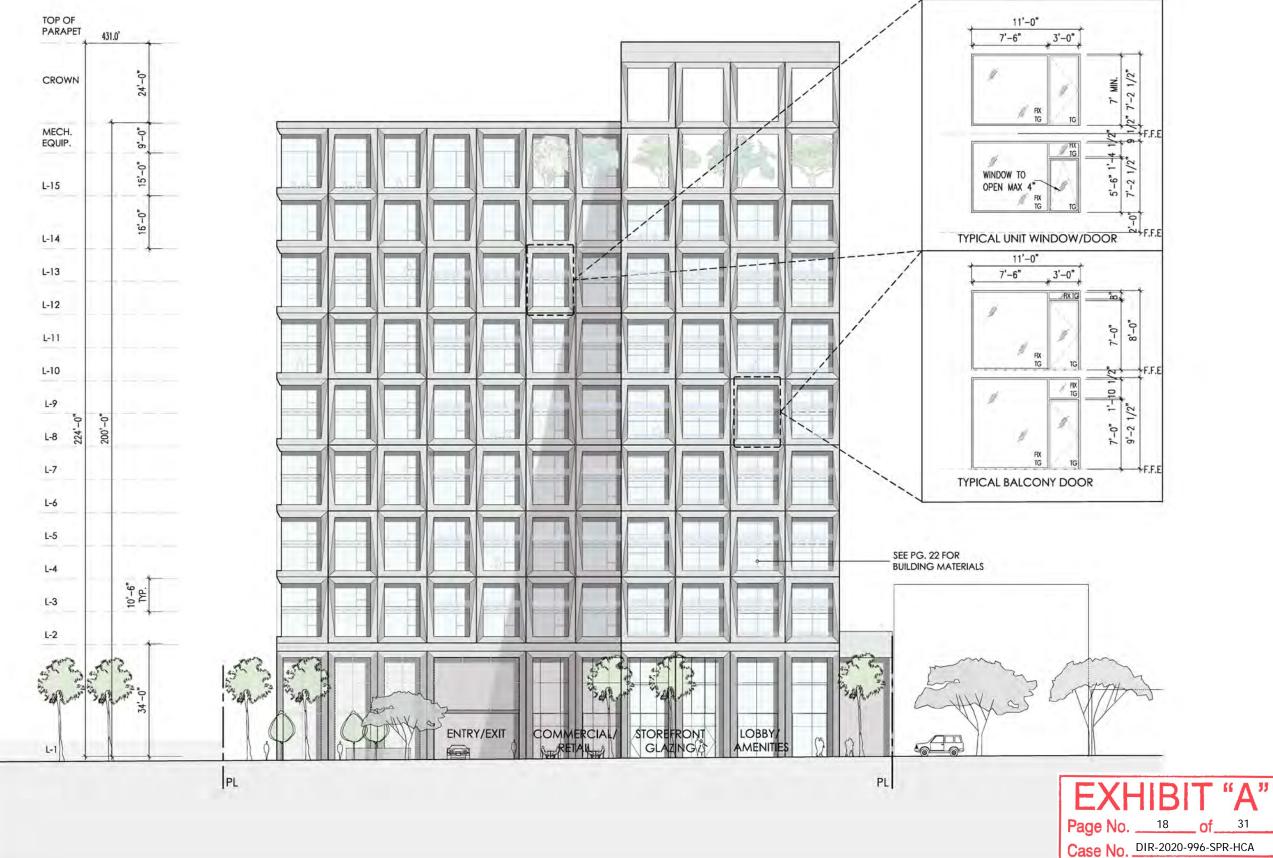
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RUSPOLI TOWER FOR PALMER FLOWER STREET PROPERTIES II, LP 2321, 2325, 2327 S FLOWER ST. NOTE: THIS CONCEPTUAL DESIGN / CAPACITY STUDY IS PRELIMINARY IN NATURE AND SUBJECT TO VERIFICATION OF ALL CITY REGULATIONS, DEDICATIONS AND REQUIREMENTS, INPUT FROM STRUCTURAL AND OTHER DESIGN CONSULTANTS AND IS SUBJECT TO CHANGE. LOS ANGELES, CA 90007

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Case No. DIR-2020-996-SPR-HCA

SCALE 1/16"=1'-0"





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WEST ELEVATION





RUSPOLI TOWER FOR PALMER FLOWER STREET PROPERTIES II, LP 2321, 2325, 2327 S FLOWER ST. NOTE: THIS CONCEPTUAL DESIGN / CAPACITY STUDY IS PRELIMINARY IN NATURE AND SUBJECT TO VERIFICATION OF ALL CITY REGULATIONS, DEDICATIONS AND REQUIREMENTS, INPUT FROM STRUCTURAL AND OTHER DESIGN CONSULTANTS AND IS SUBJECT TO CHANGE. LOS ANGELES, CA 90007

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NORTH ELEVATION







SITE PLAN REVIEW SUBMITTAL | PAGE 22 |





TYPICAL UNIT - A



DAY CONFIGURATION



NIGHT CONFIGURATION



INTERIOR ELEVATION A



INTERIOR ELEVATION C

RUSPOLI TOWER FOR PALMER FLOWER STREET PROPERTIES II, LP 2321, 2325, 2327 S FLOWER ST. NOTE: THIS CONCEPTUAL DESIGN / CAPACITY STUDY IS PRELIMINARY IN NATURE AND SUBJECT TO VERIFICATION OF ALL CITY REGULATIONS, DEDICATIONS AND REQUIREMENTS, INPUT FROM STRUCTURAL AND OTHER DESIGN CONSULTANTS AND IS SUBJECT TO CHANGE. LOS ANGELES, CA 90007

FEB. 11, 2020

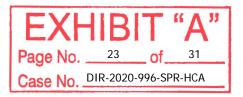




INTERIOR ELEVATION B



INTERIOR ELEVATION D



SCALE 1/4"=1'-0" 0 2' 4' TYPICAL UNIT DESIGN

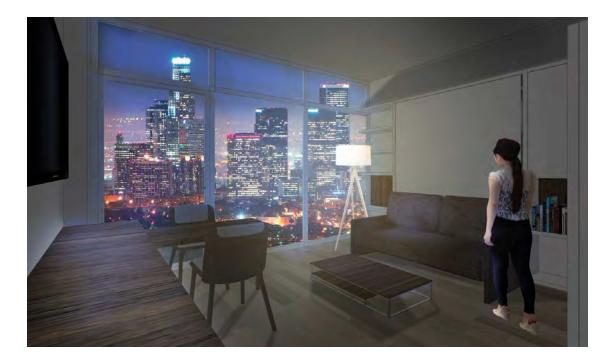
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DAY CONFIGURATION







FEB. 11, 2020

NIGHT CONFIGURATION



TYPICAL UNIT - VIEWS

SITE PLAN REVIEW SUBMITTAL | PAGE 24 |











RESOURCE FURNITURE - OSLO DIVANO 173 SOFA/BED





RESOURCE FURNITURE - TESORO COFFEE TABLE



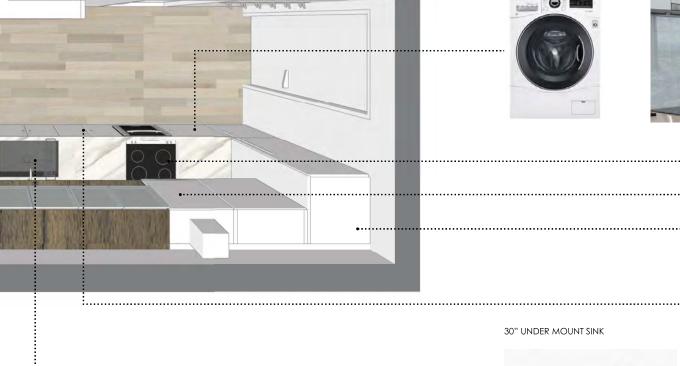
RESOURCE FURNITURE - GIRO CONSOLE TABLE



FURNITURE SPECIFICATION



SITE PLAN REVIEW SUBMITTAL | PAGE 26 | FEB. 11, 2020



18" PANEL READY DISHWASHER



24" UNDER COUNTER WASHER/DRYER IN ONE

24" SLIDE-OUT HOOD/ 24" FLUSH CERAMIC COOKTOP

24" WALL MOUNT OVER WITH CONVENTIONAL & MICROWAVE FUNCTIONS



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KITCHEN APPLICANCE SPECIFICATIONS



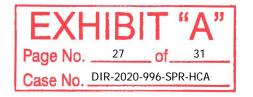




24" FULLY INTEGRATED REFRIGERATOR & FREEZER [ADA COMPLIANT]

CONCEPT PLANT SCHEDULE





PROTECTED TREES NOTE: There are no protected Southern California Native Tree Species on site, as defined per LAMC Section 17.02 of Los Angeles Ordinance #177,404 Robert Yamashita, ASLA

Landscape Architect #2008

LANDSCAPE REQUIREMENTS:

3.

FRONT YARD LANDSCAPE- One tree for each 500 sf of unpaved area. 15 gal. minimum size, 6-ft minimum height: 254 sf Front Yard Landscape / 500 = 1 trees required 1 trees required 1 trees provided

2. All landscape areas shall be equipped with an automatic irrigation system with a weather sensing irrigation controller. See Irrigation sheets

TREE REQUIREMENTS per LAMC Total box trees required: 1 tree per every 4 units: 280 units / 4 = 70-24" box trees required Trees provide = 84 trees

Design Works Landscape Architecture

RUSPOLI TOWER FOR PALMER FLOWER STREET PROPERTIES II, LP

NOTE: THIS CONCEPTUAL DESIGN / CAPACITY STUDY IS PRELIMINARY IN NATURE AND SUBJECT TO VERIFICATION OF ALL CITY REGULATIONS, DEDICATIONS AND REQUIREMENTS, INPUT FROM STRUCTURAL AND OTHER DESIGN CONSULTANTS AND IS SUBJECT TO CHANGE.

2321, 2325, 2327 S FLOWER ST. LOS ANGELES, CA 90007

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REFERENCE NOTES

-	
SYMBOL	DESCRIPTION
1	ENHANCED PAVERS
2	ENHANCED COLORED CONCRETE
3	DECORATIVE LIGHT FEATURE IN PLANTER
4	SYNTHETIC GRASS
5	RAISED PLANTERS
6	BBQ GRILL
7	BAR COUNTER
8	CONTAINER POTTERY
9	LARGE POTTERY FOR TREES
10	ROOM PARTITION SCREENS
11	LOUNGE CHAIRS
12	MOBILE SEATING AREA
13	PERCAST MODERN BENCHES
14	MOVABLE FURNITURE
15	ROUND BENCH AND PLANTER
16	MEANDERING WOOD BENCH
17	OUTDOOR PATIO FURNITURE
18	CAFE / BISTRO FURNITURE
19	BANQUETTE BOOTH FURNITURE
20	DECORATIVE GLASS SCREENING PANELS
21	PATIO TABLE with BENCH and CHAIRS
22	GREEN SCREEN ACCENT WALL
23	COUNTERTOP with SEATING
24	PERIMETER WALL
25	6` HIGH METAL PICKET FENCE
26	TABLE HEIGHT PLANTER W/ SEATING

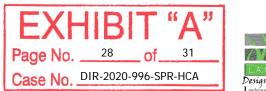
(Open space requirements provided per	2,564 SF Architect's plans)			
OPEN SPACE REQUIRED				
280 Units (<3 habitable rooms) x 100 SF	/unit = 28 000 SE			
20% CPIO REDUCTION (20% x 2				
20% 0110 11200011011 (20% x 2	0,000) (0,000) 01			
TOTAL OPEN SPACE REQUIRED	= 22,400 SF	= 22,400 SF		
Using 36 units @ 50 SF (Private Space)	= 1,800 SF.			
		= 20.600		
Total required per LAMC after Private ap	plied: 22400 - 1800	- 20,000 -		
Total required per LAMC after Private ap Total planting required per LAMC: 20600				
Total planting required per LAMC: 20600				
Total planting required per LAMC: 20600 COMMON OPEN SPACE PROVIDED	x 25%			
Total planting required per LAMC: 20600 <u>COMMON OPEN SPACE PROVIDED</u> Ground Floor Courtyard & Landscaped Y	x 25%			
Total planting required per LAMC: 20600 <u>COMMON OPEN SPACE PROVIDED</u> Ground Floor Courtyard & Landscaped Y Second Floor Podium/Amenity Deck	x 25% ard = 2,310 SF = 8,305 SF			
Total planting required per LAMC: 20600 <u>COMMON OPEN SPACE PROVIDED</u> Ground Floor Courtyard & Landscaped Y Second Floor Podium/Amenity Deck 15th Floor Roof Deck/Pool Amenity	x 25% ard = 2,310 SF = 8,305 SF = 9,608 SF	= 4950 \$		
Total planting required per LAMC: 20600 <u>COMMON OPEN SPACE PROVIDED</u> Ground Floor Courtyard & Landscaped Y Second Floor Podium/Amenity Deck	x 25% ard = 2,310 SF = 8,305 SF = 9,608 SF			
Total planting required per LAMC: 20600 <u>COMMON OPEN SPACE PROVIDED</u> Ground Floor Courtyard & Landscaped Y Second Floor Podium/Amenity Deck 15th Floor Roof Deck/Pool Amenity	x 25% ard = 2,310 SF = 8,305 SF = 9,608 SF			
Total planting required per LAMC: 20600 COMMON OPEN SPACE PROVIDED Ground Floor Courtyard & Landscaped Y Second Floor Podium/Amenity Deck 15th Floor Roof Deck/Pool Amenity Common Open Space Provided	x 25% ard = 2,310 SF = 8,305 SF = 9,608 SF			
Total planting required per LAMC: 20600 COMMON OPEN SPACE PROVIDED Ground Floor Courtyard & Landscaped Y Second Floor Podium/Amenity Deck 15th Floor Roof Deck/Pool Amenity Common Open Space Provided Landscape Planting Provided:	x 25% fard = 2,310 SF = 8,305 SF = 9,608 SF = 20,223 SF			
Total planting required per LAMC: 20600 <u>COMMON OPEN SPACE PROVIDED</u> Ground Floor Courtyard & Landscaped Y Second Floor Podium/Amenity Deck <u>15th Floor Roof Deck/Pool Amenity</u> Common Open Space Provided Landscape Planting Provided: Ground Level	x 25% ard = 2,310 SF = 8,305 SF = 9,608 SF = 20,223 SF = 848 SF			



SCALE 1/16"=1'-0" LANDSCAPE CONCEPT **GROUND FLOOR PLAN**

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Design Works Landscape Architecture

RUSPOLI TOWER FOR PALMER FLOWER STREET PROPERTIES II, LP 2321, 2325, 2327 S FLOWER ST. NOTE: THIS CONCEPTUAL DESIGN / CAPACITY STUDY IS PRELIMINARY IN NATURE AND SUBJECT TO VERIFICATION OF ALL CITY REGULATIONS, DEDICATIONS AND REQUIREMENTS, INPUT FROM STRUCTURAL AND OTHER DESIGN CONSULTANTS AND IS SUBJECT TO CHANGE. LOS ANGELES, CA 90007

FEB. 11, 2020

REFERENCE NOTES

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10	ROOM PARTITION SCREENS
11	LOUNGE CHAIRS
12	MOBILE SEATING AREA
13	PERCAST MODERN BENCHES
14	MOVABLE FURNITURE
15	ROUND BENCH AND PLANTER
16	MEANDERING WOOD BENCH
17	OUTDOOR PATIO FURNITURE
18	CAFE / BISTRO FURNITURE
19	BANQUETTE BOOTH FURNITURE
20	DECORATIVE GLASS SCREENING PANELS
21	PATIO TABLE with BENCH and CHAIRS
22	GREEN SCREEN ACCENT WALL
23	COUNTERTOP with SEATING
24	PERIMETER WALL
25	6` HIGH METAL PICKET FENCE
26	TABLE HEIGHT PLANTER W/ SEATING

CONCEPT PLANT SCHEDULE

	PERIMETER LANDSCAPE Arbutus x 'Marina' / Arbutus Multi-Trunk Brachychiton populneum / Bottle Tree Olea europaea 'Fruitless' / Fruitless Olive Multi-Trunk Tristania conferta / Brisbane Box	8
O	LANDSCAPE BUFFER TREES Podocarpus gracilior `Column` / Fern Pine Prunus ilicifolia ilicifolia / Hollyleaf Cherry	42
\bigcirc	LANDSCAPED PODIUM DECK TREES Arbutus x 'Marina' / Arbutus Multi-Trunk Citrus reticulata 'Satsuma' / Satsuma Tangerine Citrus x aurantifidia 'Bearss Lime' / Bearss Lime Eriobotrya deflexa / Bronze Loquat Multi-Trunk Trachycarpus fortunei / Windmill Palm	15
	POOL DECK TREES Citrus reticulata 'Satsuma' / Satsuma Tangerine Citrus x aurantiifolia 'Bearss Lime' / Bearss Lime Phoenix roebelenii / Pigmy Date Palm Multi-Trunk Podocarpus gracilior 'Column' / Fern Pine	19
×	ACCENT PALMS Archontophoenix cunninghamiana / Single Trunk King Palm Chamaerops humilis / Mediterranean Fan Palm Phoenix roebelenii / Pigmy Date Palm Multi-Trunk Washingtonia robusta / Mexican Fan Palm	30
	SEE SHEET L-5 FOR FULL LIST OF PLANTS	

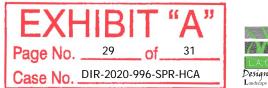


SCALE 1/16"=1'-0" LANDSCAPE CONCEPT SECOND FLOOR PLAN



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RUSPOLI TOWER FOR PALMER FLOWER STREET PROPERTIES II, LP 2321, 2325, 2327 S FLOWER ST. NOTE: THIS CONCEPTUAL DESIGN / CAPACITY STUDY IS PRELIMINARY IN NATURE AND SUBJECT TO VERIFICATION OF ALL CITY REGULATIONS, DEDICATIONS AND REQUIREMENTS, INPUT FROM STRUCTURAL AND OTHER DESIGN CONSULTANTS AND IS SUBJECT TO CHANGE. LOS ANGELES, CA 90007

FEB. 11, 2020

REFERENCE NOTES

-	
SYMBOL	DESCRIPTION
1	ENHANCED PAVERS
2	ENHANCED COLORED CONCRETE
3	DECORATIVE LIGHT FEATURE IN PLANTER
4	SYNTHETIC GRASS
5	RAISED PLANTERS
6	BBQ GRILL
7	BAR COUNTER
8	CONTAINER POTTERY
9	LARGE POTTERY FOR TREES
10	ROOM PARTITION SCREENS
11	LOUNGE CHAIRS
12	MOBILE SEATING AREA
13	PERCAST MODERN BENCHES
14	MOVABLE FURNITURE
15	ROUND BENCH AND PLANTER
16	MEANDERING WOOD BENCH
17	OUTDOOR PATIO FURNITURE
18	CAFE / BISTRO FURNITURE
19	BANQUETTE BOOTH FURNITURE
20	DECORATIVE GLASS SCREENING PANELS
21	PATIO TABLE with BENCH and CHAIRS
22	GREEN SCREEN ACCENT WALL
23	COUNTERTOP with SEATING
24	PERIMETER WALL
25	6` HIGH METAL PICKET FENCE
26	TABLE HEIGHT PLANTER W/ SEATING

CONCEPT PLANT SCHEDULE

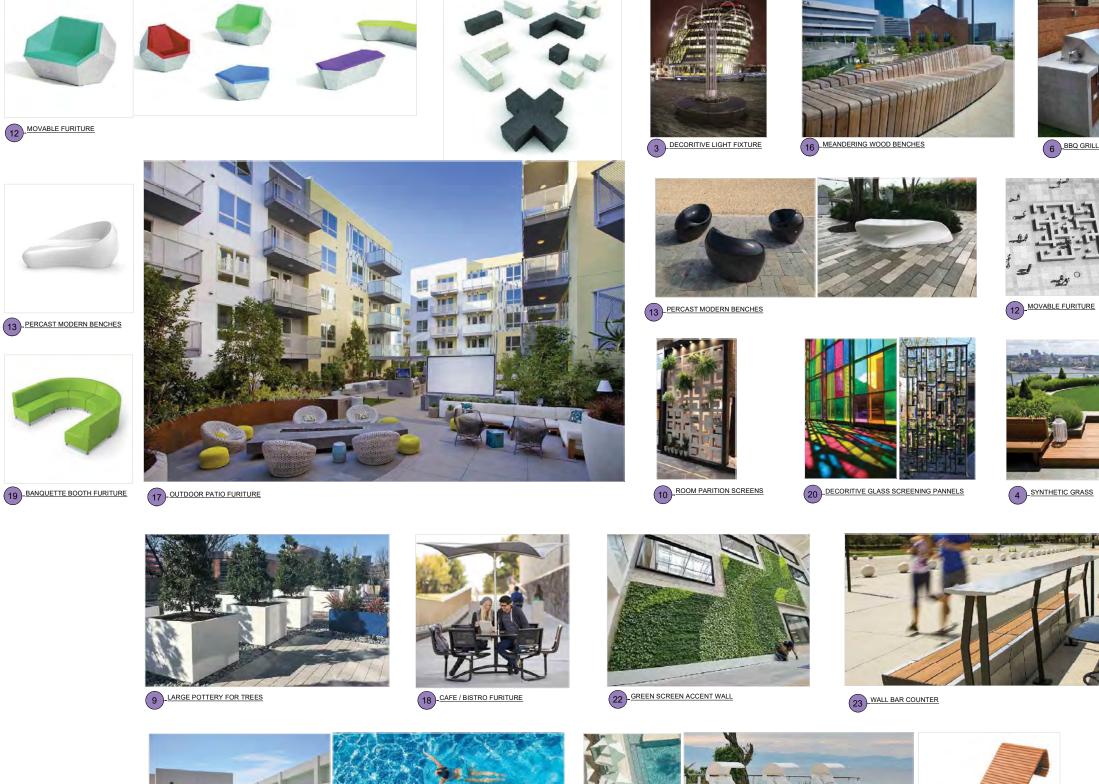
	PERIMETER LANDSCAPE Arbutus x 'Marina' / Arbutus Multi-Trunk Brachychiton populneum / Bottle Tree Olea europaea 'Fruitless' / Fruitless Olive Multi-Trunk Tristania conferta / Brisbane Box	8
Ĩ	LANDSCAPE BUFFER TREES Podocarpus gracilior 'Column' / Fern Pine Prunus ilicifolia licifolia / Hollyleaf Cherry	42
0	LANDSCAPED PODIUM DECK TREES Arbutus x 'Marina' / Arbutus Multi-Trunk Citrus reticulata 'Satsuma' / Satsuma Tangerine Citrus x aurantifolia 'Bearss Lime' / Bearss Lime Eriobotrya deflexa / Bronze Loquat Multi-Trunk Trachycarpus fortunei / Windmill Palm	15
	POOL DECK TREES Citrus reticulata 'Satsuma' / Satsuma Tangerine Citrus x aurantiifolia 'Bearss Lime' / Bearss Lime Phoenix roebelenii / Pigmy Date Palm Multi-Trunk Podocarpus gracilior 'Column' / Fern Pine	19
*	ACCENT PALMS Archontophoenix cunninghamiana / Single Trunk King Palm Chamaerops humilis / Mediterranean Fan Palm Phoenix roebelenii / Pigmy Date Palm Multi-Trunk Washingtonia robusta / Mexican Fan Palm	30
	SEE SHEET L-5 FOR FULL LIST OF PLANTS	

SCALE 1/16"=1'-0" LANDSCAPE CONCEPT Design Works 15th FLOOR POOL DECK PLAN

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6 BBQ GRILL





15-ROUND BENCHES WITH PLANTER

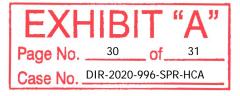








1 ENHANCED PAVERS



LANDSCAPE CONCEPT IMAGES



TREES

SHRUBS Agapant Anigoza Bambus Bougain Buxus m Carissa Carissa Chloroph Chondro Clivia mi Cycas re Cyrtomiu Dianella Dianella Dietes b Ficus be











Nassella tenuissima Texas Needle Grass

















Sansevieria trifasciata Mother-in-law`s Tongue SHRUBS

Archontophoenix cunninghamiana Triple Trunk King Palm

Olea europaea `Fruitle:

Fruitless Olive





Dianella revoluta `Little Rev Little Rev Flax Lily

Single Trunk King Palm















Pennisetum spathiolatum Slender Veldt Grass

Ficus pumila Creeping Fig

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Cordyline australis `Red Star Red Star Dracaena





Washingtonia robusta Mexican Fan Palm

Echeveria `Afterglow Afterglow Echeveria

Rosmarinus officinalis `Prostratus` Dwarf Rosemary

Thymus species

2321, 2325, 2327 S FLOWER ST.

LOS ANGELES, CA 90007

GROUNDCOVER

Citrus species Tangerines & Limes

Arbutus x `Marina

Arbutus Standard

Tristania conferta (Proposed for

Phoenix roebelenii Pigmy Date Palm Multi-Trunk

SCREEN AND HEDGE

Prunus caroliniana Carolina Cherry

Bougainvillea x `La Jolla` Bougainvillea

Lomandra longifolia `Breeze` Dwarf Mat Rush

Myoporum parvifolium Trailing Myoporum

Street tree) Brisbane Box

Brachychiton populneu Bottle Tree

Strelitzia nicolai Giant Bird of Paradise

Chondropetalum tectorum Cape Rush

Agave x `Blue Glov Blue Glow Agave

Polystichum munitum Western Sword Fern

Senecio serpens Blue Chalksticks

EXHIBIT "A"

Bambusa multiplex

Podocarpus gracilio Fern Pine

Anigozanthos flavidus `Big Red Red Kangaroo Paw

Pelargonium peltatum Ivy Geranium

Lantana montevidensis Purple Trailing Lantana

RUSPOLI TOWER FOR PALMER FLOWER STREET PROPERTIES II, LP

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Campanula poscharskyana Siberian Bellflower

Bamboo

Eriobotrya japonica

Chamaerops humilis Mediterranean Fan Palm

Loguat

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Case No. DIR-2020-996-SPR-HCA





PLANT SCHEDULE

Arb Bra Citr Citr Eric Gin Ole Poo Stre	EES utus x 'Marina' / Arbutus Multi-Trunk chychiton populneum / Bottle Tree us reticulata 'Satsuma' / Satsuma Tangerine us x aurantifolia 'Bearss Lime' / Bearss Lime obotrya deflexa / Bronze Loquat Multi-Trunk kgo biloba 'Autumn Gold' TM / Maidenhair Tree a europaea 'Fruitless' / Fruitless Olive Multi-Trunk locarpus gracilior 'Column' / Fern Pine eet Tree TBS Urban Forestry / Street Tree tania conferta / Brisbane Box	CONT 24"box 24"box 24"box 24"box 24"box 36"box 36"box 36"box 36"box 36"box 24"box	CAL 3"Cal 3"Cal 3"Cal 3"Cal 3"Cal	<u>SIZE</u> 12' HT 12' HT 12' HT 12' HT	REMARKS MOD LOW MOD MOD MOD LOW LOW
Arc Arc Are Cha Pho Tra	M TREES hontophoenix cunninghamiana / Single Trunk King Palm hontophoenix cunninghamiana / Multi-Trunk King Palm castrum romanzoffianum / Queen Palm amaerops humilis / Mediterranean Fan Palm ernix roebelenii / Pigmy Date Palm Multi-Trunk chycarpus fortunei / Windmill Palm shingtonia robusta / Mexican Fan Palm	CONT 24"box 36"box 36"box 36"box 36"box 15 gal 12 FT BTH 16` BTH	CAL 3"Cal 3"Cal 3"Cal 3"Cal	<u>SIZE</u> 12' HT 12' HT	REMARKS MOD MOD 12` BTH LOW MOD Low Low
Aga Anini Bara Bou Buux Car Car Chi Cho Car Chi Cho Car Chi Cho Car Chi Cho Car Chi Cho Car Chi Cho Car Chi Cho Car Chi Cho Car Chi Cho Car Chi Cho Car Chi Cho Car Chi Cho Car Chi Cho Cho Car Chi Cho Cho Cho Cho Cho Cho Cho Cho Cho Cho	RUBS apanthus africanus 'Peter Pan' / Dwarf Blue Lily of the Nile gozanthos x 'Pink Joey' / Pink Joey Kangaroo Paw holusa multiplex 'Alphonse Karr' / Alphonse Karr Bamboo igainvillea x 'Rosenka' / Bougainvillea us microphylla japonica / Japanese Boxwood issa macrocarpa 'Fancy' / Natal Plum issa macrocarpa 'Tuttlei' / Natal Plum orophytum comosum 'Variegatum' / Variegated Spider Plant ondropetalum tectorum / Cape Rush ia miniata / Kaffir Lily as revoluta / Sago Palm tomium falcatum / Holly Fern nella revoluta 'Little Rev' / Iax Lily tes biolor / Fortnight Lily us benjamina / Weeping Fig Multi-trunk nerocallis x 'Red' / Red Daylily ustrum texanum / Texas Privet handra longifolia 'Breeze' / Dwarf Mat Rush ica californica / Pacific Wax Myrtle dina domestica / Heavenly Bamboo argonium petlatum / Ivy Geranium ninsetum spathiolatum / Slender Veldt Grass odendron xanadu / Philodendron benix roebelenii / Pigmy Date Palm Multi-Trunk rimium tenax 'Bronze' / New Zealand Flax sporum tobira 'Wheelers Dwarf / Wheeler's Dwarf Mock Orange uphiolepis indica 'Ware' / New Zealand Flax psporum tobira 'Wheelers Dwarf / Wheeler's Dwarf Mock Orange uphiolepis indica 'Dacif' / New Zealand Flax psporum tobira 'Wheelers Dwarf / Wheeler's Dwarf Mock Orange uphiolepis indica 'Bronze' / New Zealand Flax psporum tobira 'Wheelers Dwarf / Wheeler's Dwarf Mock Orange uphiolepis indica 'Pink Lady' / Pink Lady Hawthorne sevieria trificaciata / Mother-in-law's 'Tongue thtiphyllum x 'Mauna Loa' / Mauna Loa Peace Lily elitzia reginae / Bird Of Paradise chelospermum jasminoides / Coinese Star Jasmine osma congestum 'Compacta' / Compact Xylosma	CONT 1 gal 5 gal 15 gal 5 gal 15 gal 5 gal 5 gal 15 gal 5 gal			REMARKS Mod Low MOD Low Low Low Low Low Low Low Low Mod Mod Mod Mod Mod Low Low Low Low Low Low Low Low Low Low
Aec Aga Aga Alo Ech	<u>CCULENTS</u> pnium x 'Zwartkop' / Zwartkop Aeonium ave vilmoriniana / Octopus Agave ave x 'Bite Glow' / Blue Glow Agave e striata / Coral Aloe everia agavoides 'Maria' / Wax Agave everia aganoides 'Maria' / Wax Agave ieveria 'Afterglow' / Afterglow Echeveria	<u>CONT</u> 1 gal 5 gal 5 gal 5 gal 5 gal 1 gal 1 gal			REMARKS LOW LOW LOW LOW LOW LOW
Dist	IE/ESPALIER itctis buccinatoria / Blood Red Trumpet Vine ıs pumila / Creeping Fig	<u>CONT</u> 5 gal 5 gal			REMARKS Mod MOD
SHI Ech Sec Sec Sec Sec	RUB AREAS ieveria secunda / Hen and Chicks ieveria secunda / Hybrid Stonecrop tum reflexum `Angelina` / Angelina Sedum tum spurium `Bronze Carpet / Bronze Carpet Stone Crop tum spurium `Bronze Carpet / John Creech Sedum tum spurium `Tricolor` / John Creech Sedum tum spurium `Tricolor` / Tricolor Dragon`s Blood Sedum 'mus praecox `Elfin` / Elfin Creeping Thyme	CONT 4" Pots plugs plugs plugs plugs plugs plug			REMARKS LOW LOW LOW LOW LOW LOW MOD
Car Fes Gaz Gle Lan Lipp Myc Ser Thy	OUND COVERS mpanula poscharskyana / Siberian Bellflower tuca glauca 'Elijah Blue' / Blue Fescue zania x 'Mitsuwa Orange' / Orange Gazania choma hederacea 'Variegata' / Ground Ivy tana montevidensis / Purple Trailing Lantana oia nodiflora 'Kurapia' / Lippia porum parvifolium / Trailing Myoporum necio serpens / Blue Chalksticks mus praecox 'Elfin' / Elfin Creeping Thyme mus x 'Victor Reiter' / Victor Reiter Thyme	CONT flat 1 gal flats 4" pot flats Sod flat 4" pot plug 4" pot			REMARKS MOD LOW LOW LOW LOW LOW LOW LOW LOW MOD
	N-PLANT MATERIAL oblestone Granite River Rock 2 to 5`` dia	CONT One layer			REMARKS 6" Layer over Landscape Fabric
Wa	lk on Bark Mulch / 3" Walk-On-Bark, Agromin	mulch			

LANDSCAPE CONCEPT PLANT IMAGES

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