

# NEW 7-STORY 52-UNIT MIXED USE APARTMENT AND RETAIL BUILDING WITH 100% AFFORDABLE HOUSING

## 507 N. LARCHMONT BLVD, LOS ANGELES, CA 90004

### 5-LEVEL TYPE III-A RESIDENTIAL BUILDING (INCLUDING ROOF-TOP OPEN SPACE) OVER 2-LEVEL TYPE I-A RESIDENTIAL/RETAIL

#### BASED ON THE CITY OF LOS ANGELES EXECUTIVE DIRECTIVE NO.1 AND AB 1763



**PROJECT ADDRESS:** 507 N. LARCHMONT BLVD, LOS ANGELES, CA 90004  
**DEVELOPER:** 507 N LARCHMONT LLC  
**ADDRESS:** 507 N LARCHMONT LLC ANGELES, CA  
**PROJECT DESCRIPTION**  
 NEW 7-STORY 52-UNIT APARTMENT BUILDING WITH 100% AFFORDABLE HOUSING AND RETAIL SPACE (SHELL ONLY) 5-LEVEL TYPE III-A RESIDENTIAL BUILDING R-2 OCC. (INCLUDING ROOF-TOP OPEN SPACE) OVER 2-LEVEL TYPE I-A RESIDENTIAL AND RETAIL SPACE SHELL ONLY (OCC. R-2/S-2/M) REQUEST BASED ON CITY OF LOS ANGELES EXECUTIVE DIRECTIVE NO. 1 AND AB 1763

**LEGAL DESCRIPTION**  
 LOT 126, TRACT: LARCHMONT HEIGHTS, BLOCK: NONE OF THE CITY OF LOS ANGELES, CALIFORNIA  
 APN: 5523-016-021  
**LOT AREA** 7,010.5 SF [Q]C2-1VL  
**ZONING** 7,010.5 SF  
**LOT AREA FOR DENSITY** 7,010.5X1.5=10,515.75 SF  
**ALLOWABLE BUILDING AREA (ZONING) BY RIGHT (F.A.R.)** 30,330 SF  
**PROPOSED FLOOR AREA (ZONING)** 30,330 SF  
**PROPOSED FAR RATIO** 30,330/7,010.5=4.32

**REQUESTED ENTITLEMENTS**  
**ED1 BASE INCENTIVE:** UNLIMITED DENSITY+ADDITIONAL 33' INCREASE IN HEIGHT/3 STORY+ZERO PARKING  
**ED1 OFF-MENU REQUESTED INCENTIVES:** FOUR-OFF MENU INCENTIVES INCLUDING:  
 1- REDUCTION ON REQUIRED NORTH SIDE YARD FROM 10 FEET TO 5 FEET  
 2- REDUCTION ON REQUIRED SOUTH SIDE YARD FROM 10 FEET TO 5 FEET  
 3- REDUCTION ON REQUIRED REAR YARD FROM 19 FEET TO 11 FEET  
 4- 63% REDUCTION ON THE TOTAL REQUIRED OPEN SPACE

**ED1 REQUESTED WAIVER:** THREE WAIVERS INCLUDING:  
 1- PROPOSED ALLOWABLE FLOOR AREA RATIO OF 4.32:1 FAR (IN LIEU OF 1.5:1)  
 2- WAIVER FOR THE REQUIRED TRANSITIONAL HEIGHT  
 3- WAIVER TO ALLOW 7 STORY IN LIEU OF 3 STORY PERMITTED PER C2-1VL FOR MIXED USE

**LOT AREA** 7,010.5 SF [Q]C2-1VL  
**ZONING** 7,010.5 SF  
**LOT AREA FOR DENSITY** 7,010.5X1.5=10,515.75 SF  
**DENSITY RATIO FOR [Q]C2-1** 1 DU/400 SF  
**BASE DENSITY:** 9,755.3/ 800 = 17.5  
**BASE DENSITY (ROUND UP)** 18  
**PROPOSED NUMBER OF UNITS** 52  
 1% VL (LA HOUSING SCHED.6) 1  
 80% VLI (LA HOUSING SCHED.1) 40  
 20% MI (LA HOUSING SCHED.6) 10  
**MANAGER OFFICE (MARKET RATE)** 1  
**EXISTING DWELLING TO BE DEMOLISHED:** N.A.

**HEIGHT / STORIES**  
 MAX HEIGHT / STORIES PER [Q]C2-1VL 45- FEET / 3 STORY FOR MIXED USE  
 MAX HEIGHT W/ 33 FEET INCREASE ED1 BASE INCENTIVE AND 78- FEET / NO LIMIT  
 THE REQUESTED ED1 TRANSITIONAL HEIGHT WAIVER  
**PROPOSED HEIGHT** 78- FEET / 7- STORIES

**PROPOSED RETAIL SPACE (SHELL ONLY)**  
 RETAIL SPACE SHELL ONLY 845 SF

**PROPOSED RESIDENTIAL UNIT MIX (PER FLOOR):**

	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	6TH FLOOR	7TH FLOOR	TOTAL
STUDIO UNITS	4	8	8	8	8	8	8	52

**PROPOSED AREA TABULATION:**

FLOOR LEVEL	AREA INCLUDING (LOBBY, CORRIDORS, RETAIL SPACE, COVERED BALCONIES, RECYCLE ROOM, DWELLING UNITS, STORAGE)
1ST FLOOR	3,450 SF (INCLUDING: 2,605 SF RESIDENTIAL + 845 SF COMMERCIAL)
2ND FLOOR	4,480 SF
3RD FLOOR	4,480 SF
4TH FLOOR	4,480 SF
5TH FLOOR	4,480 SF
6TH FLOOR	4,480 SF
7TH FLOOR	4,480 SF
TOTAL (ZONING)	30,330 SF

**REQUIRED OPEN SPACE:** (100 SF PER SINGLE UNITS)  
 OPEN SPACE REQUIREMENT PER UNIT MIX: 52x100= 5,200 SF  
 52- SINGLE (STUDIO) UNIT: 5,200 SF  
 REQUIRED OPEN SPACE PER 63% OFF MENU INCENTIVE REDUCTION REQUEST 5,200 SF X 0.27=1,924 SF

**PROVIDED COMMON OPEN SPACE (AT ROOF LEVEL)** 1,925 SF (PROVIDED) > 1,924 SF (REQ'D)  
**PROVIDED LANDSCAPE**  
 LANDSCAPE AREA PROVIDED AT ROOF LEVEL 481 SF  
 LANDSCAPE AREA PROVIDED AT STREET LEVEL 493 SF  
 PERMEABLE AREA 820 SF

**REQUIRED # OF TREES:** 52 DU / 4 TREES 13  
**TREES PROVIDED (12 ONSITE TREES PROVIDED AT STREET LEVEL AND 8 AT ROOF LEVEL)** 20  
**TOTAL PROVIDED** 20

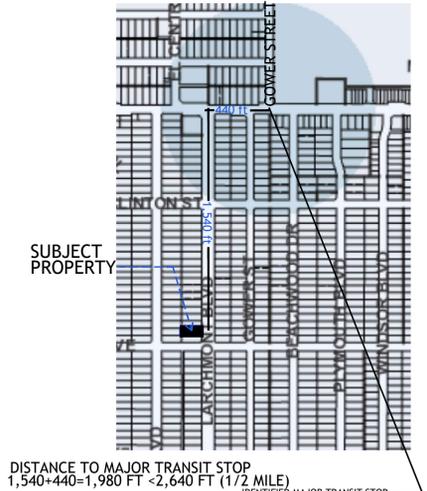
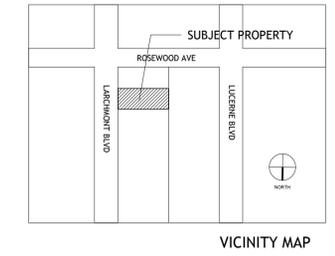
**AUTO PARKING**  
 PARKING REQUIREMENT PER AB 1763 (FOR THE RESIDENTIAL AND THE COMMERCIAL USE) 0  
**TOTAL PARKING PROVIDED** 0  
**BIKE PARKING**  
 RESIDENTIAL LONG-TERM REQUIRED: (25/1)+(27/1.5)=43 43  
 RESIDENTIAL SHORT-TERM REQUIRED: 52 / 15 = 4 4  
 COMMERCIAL LONG-TERM REQUIRED: 1 PER 2,000 SF MIN. 2 2  
 COMMERCIAL SHORT-TERM REQUIRED: 1 PER 2,000 SF MIN. 2 2  
**TOTAL LONG TERM REQ'D:** 45  
**TOTAL SHORT TERM REQ'D:** 6  
**TOTAL LONG TERM PROVIDED:** 45  
**TOTAL SHORT TERM PROVIDED:** 6

SETBACKS	REQUIRED	PROVIDED
FRONT (LARCHMONT)	0 FEET	0
SOUTH SIDE	10 FEET	5 FEET
NORTH SIDE	10 FEET	5 FEET
REAR	19 FEET	11 FEET

**TRASH AND RECYCLE ROOM**  
 ONE TRASH ROOM AND 100 SF RECYCLE AREA PROVIDED

**LIST OF ARCHITECTURAL DRAWINGS FOR ENTITLEMENT SUBMISSION**

A0.0	COVER PAGE
A0.2A	BUILDING AREA DIAGRAM
A0.2B	BUILDING AREA DIAGRAM SURVEY
A1.0	SITE PLAN
A2.1	FIRST FLOOR PLAN
A2.2	2ND, 3RD, 4TH, 5TH, 6TH AND 7TH FLOOR PLAN
A2.8	ROOF PLAN
A3.1	ELEVATION
A3.2	ELEVATION
A3.3	ELEVATION
A3.4	ELEVATION
A4.1	SECTION
A4.2	SECTION



**NEW 7-STORY MIXED USE 100% AFFORDABLE 52-UNIT APARTMENT AND RETAIL SPACE**  
**PROJECT ADDRESS:** 507 N. LARCHMONT BLVD, LOS ANGELES, CA 90004

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REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR PERMIT

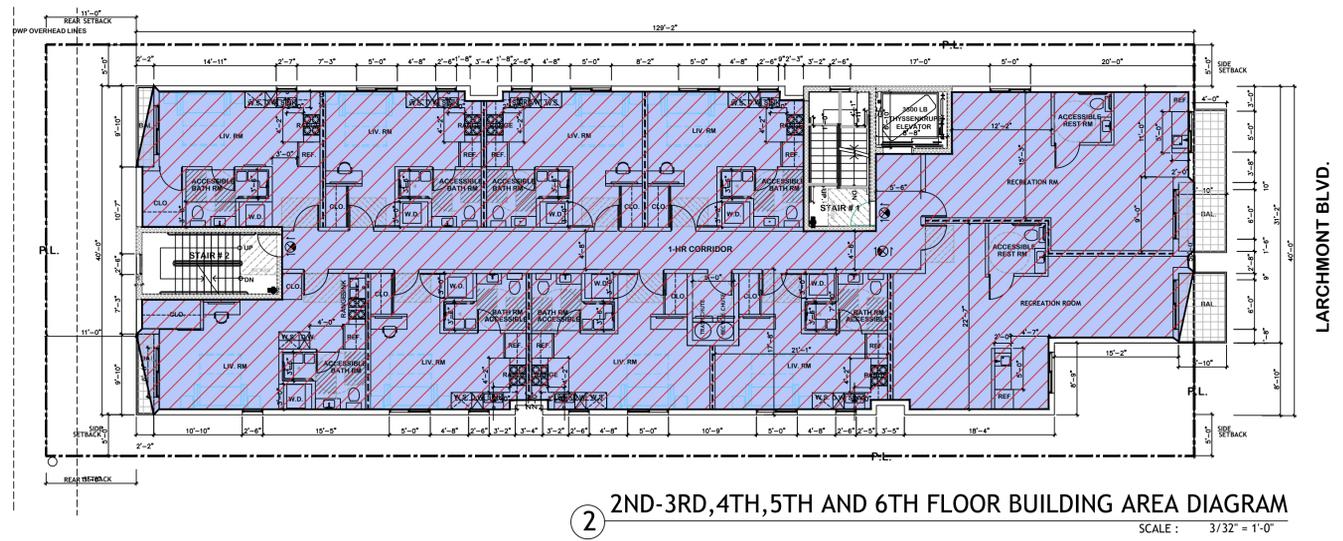
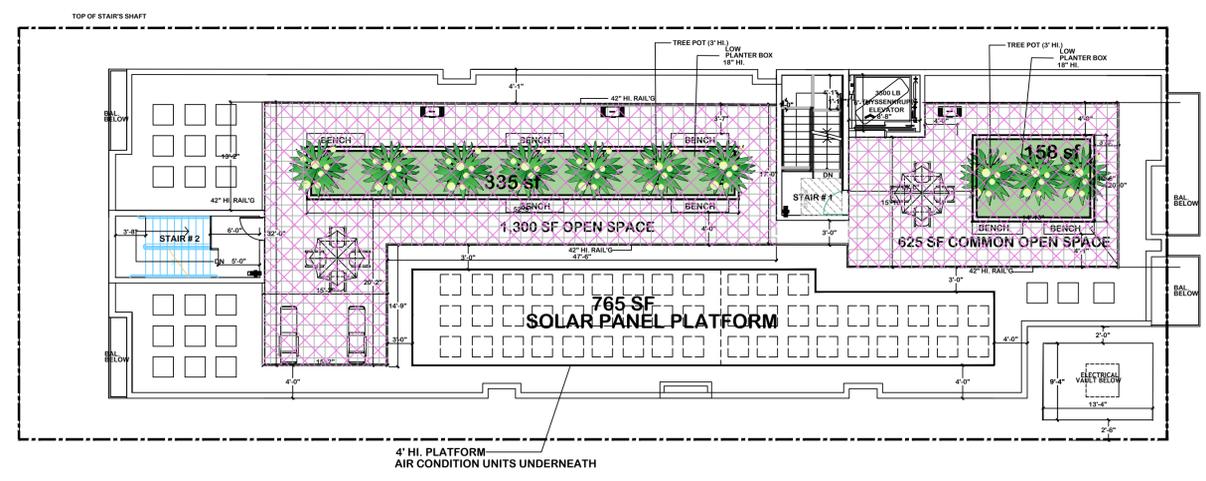
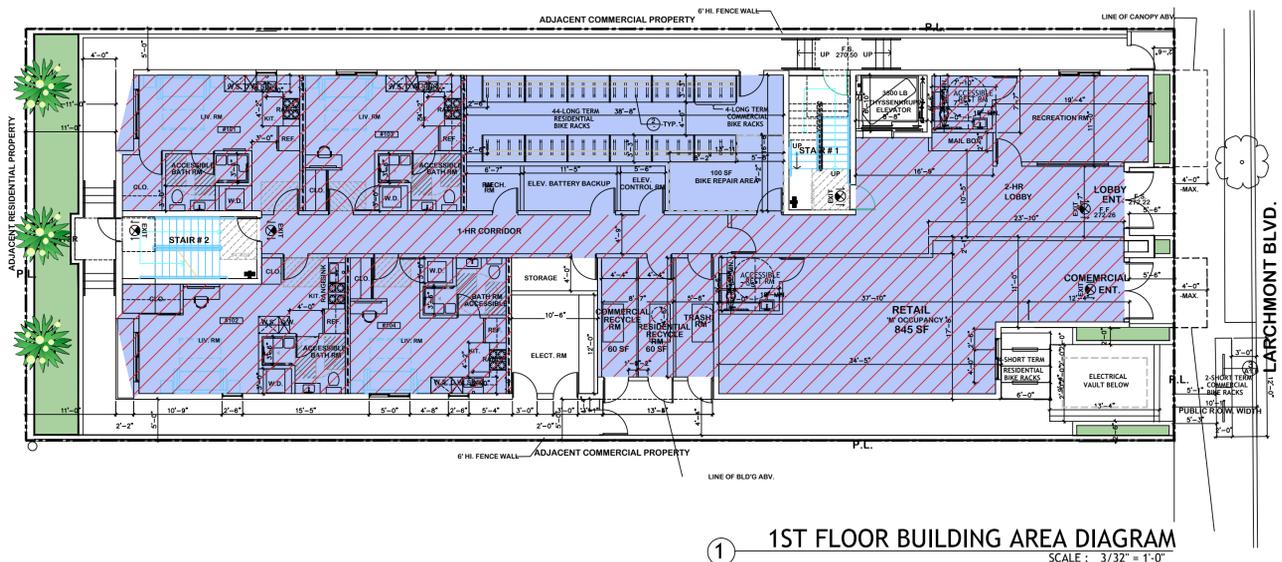
**DESIGNED BY:** BABAK BARDI CHAHARMAHALI  
**CHECKED BY:** BABAK BARDI CHAHARMAHALI  
**DRAWN BY:** E.SANAJOU-L.MESBAHI  
**DATE DRAWN:** 8/6/22  
**JOB NUMBER:** CDD-2319

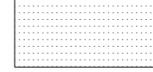
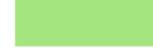


**CALIFORNIA DEVELOPMENT & DESIGN INC.**  
 PRINCIPAL: BABAK BARDI CHAHARMAHALI, AIA (REGISTERED ARCHITECT)  
 CALIFORNIA LIC.#C34450, OKLAHOMA LIC.#A6376, TEXAS LIC.#26090  
 11022 SANTA MONICA BLVD, #200, LOS ANGELES, CA 90025  
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**COVER PAGE**  
**A0.0**  
 SHEET TITLE: \_\_\_\_\_  
 SHEET NO. \_\_\_\_\_

# DIAGRAM ONLY (SHALL NOT USED FOR CONSTRUCTION)



-  PROVIDED SOLAR ZONE
  -  EXTENSIVE PLANTER BOX WITH 18" MAX. HEIGHT
  -  COMMON OPEN SPACE AREA
- ONE SINGLE (STUDIO) UNIT: 52X 100  
 PROVIDED COMMON OPEN SPACE (AT ROOF LEVEL)  
 LANDSCAPE AREA PROVIDED AT ROOF LEVEL
- 5,200 SF  
 1,925 SF  
 481 SF

 INDICATES SPACE COUNTED AS ZONING AREA  
 INDICATES SPACE COUNTED AS BUILDING AREA

BUILDING CODE AREA: PROPOSED AREA TABULATION:					
AREA INCLUDING (LOBBY, CORRIDORS, COVERED BALCONIES, RECYCLE ROOM, DWELLING UNITS, STORAGE, ELECTRICAL ROOMS, UTILITY ROOMS, AUTO & BIKE PARKING)					
	TYPE I-A		TYPE III-A		
	R-2	S-2	U (ELECT./UTIL. ROOM)	M (RETAIL)	R-2
1ST FLOOR	2,605 SF	665 SF	365 SF	845 SF	
2ND FLOOR	4,480 SF				
3RD FLOOR					4,480 SF
4TH FLOOR					4,480 SF
5TH FLOOR					4,480 SF
6TH FLOOR					4,480 SF
7TH FLOOR					4,480 SF
TOTAL (BUILDING CODE)	7,085 SF	665 SF	365 SF	845 SF	22,400 SF

ZONING AREA (F.A.R.) PROPOSED AREA TABULATION:	
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REVISIONS			
NO.	DESCRIPTION	BY	DATE
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DESIGNED BY: B.BARDI  
 CHECKED BY: B.BARDI  
 DRAWN BY: E. SNAJOU-L. MESBAHI  
 DATE DRAWN: 7/15/22  
 PROJECT NUMBER: 21-12  
 SCALE:



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**BUILDING AREA AND OPEN SPACE DIAGRAM**  
 SHEET TITLE:

**A0.1**  
 SHEET NO.

CLINTON

STREET

N89°41'05"E

358.26'

EST BY FD 4 PM'S ON SMH AT CL INTER  
PER CEFB 141-189 PG 119

FD SSDM ON CL INTER  
PER CEFB 141-189 PG 105

EST BY FD TIES ON CL INTER  
PER CEFB 141-189 PG 105

**LEGAL DESCRIPTION:**

THE LAND REFERRED TO IN THIS SURVEY IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF LOS ANGELES, AND IS DESCRIBED AS FOLLOWS:

LOT 126 OF LARCHMONT HEIGHTS TRACT AS PER MAP RECORDED IN BOOK 15 PAGE 83 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 5523-016-021

**BASIS OF BEARINGS:**

THE BEARING NORTH 89°40'00" EAST, ON THE CENTERLINE OF ROSEWOOD AVENUE AS SHOWN ON LARCHMONT HEIGHTS TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, AS PER MAP RECORDED IN M.B. 15, PAGE 83, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**LAND AREA:**

CONTAINING AN AREA OF 7,010.50 SQ. FT., OR 0.16 ACRES, MORE OR LESS.

**BENCHMARK:**

BM ID: 12-13511 (NAVD 1988)  
FOUND WIRE SPK IN N CURB ROSEWOOD AVENUE,  
1 FT W OF SW CURB RETURN W OF ARDEN BLVD.  
ELEV. = 264.49 FT.

**SURVEYOR'S NOTE:**

THIS MAP IS NOT A BOUNDARY SURVEY. NO PROPERTY CORNERS HAVE BEEN SET AS PART OF THIS WORK. SURVEY MONUMENTS FOUND IN THE COURSE OF THIS MAPPING HAVE BEEN SET BY OTHERS, AND USED ONLY AS REFERENCE FOR PURPOSES OF TOPOGRAPHIC MAPPING, WITHOUT THE VERIFICATION OF ITS AGREEMENT WITH APPLICABLE LEGAL DESCRIPTIONS AND SENIORITY OF DEEDS.

RELATION OF TOPOGRAPHIC FEATURES (FENCES, WALLS, TREES, POWER POLES, ETC.) TO PROPERTY LINES SHOWN ON THIS MAP IS SUBJECT TO THE ADJUSTMENTS TO ANY BOUNDARY SURVEY THAT IS TO BE DONE ON THE PROPERTY.

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS, IF ANY, ARE NOT SHOWN.

**LEGEND:**

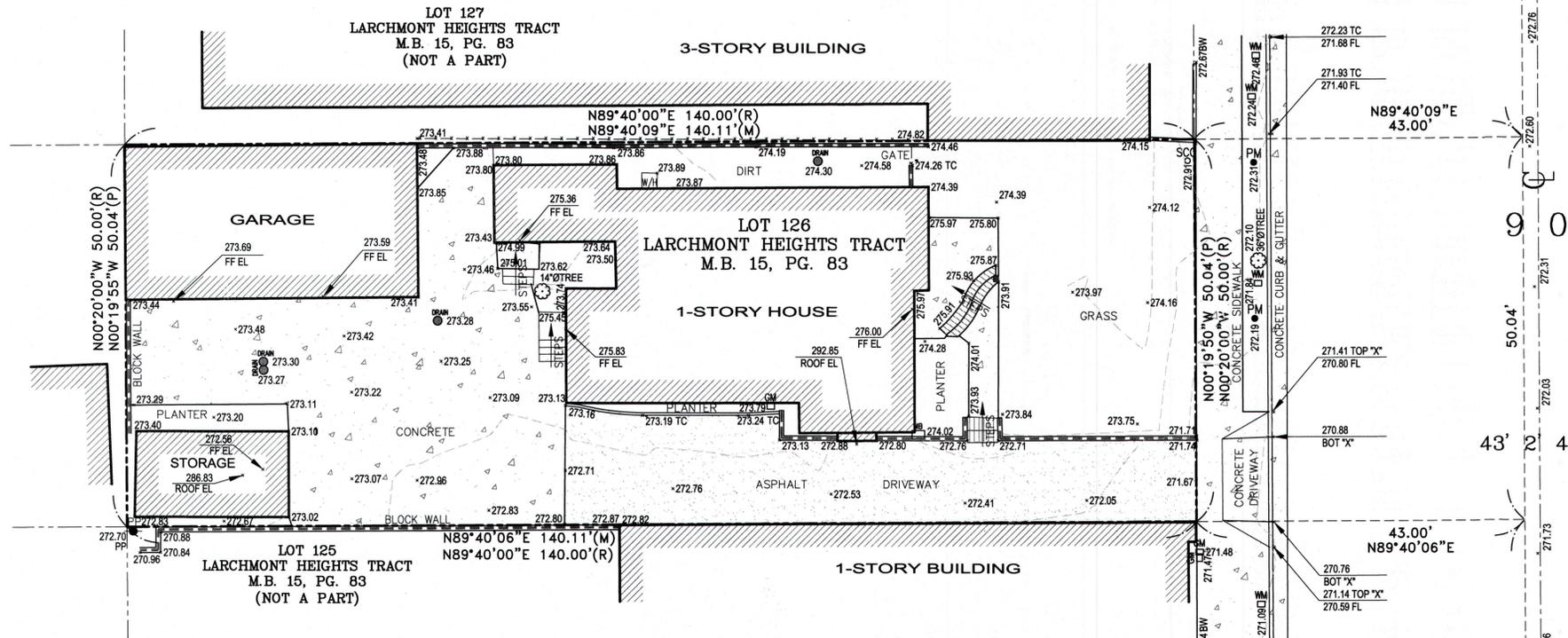
- APN - ASSESSOR'S PARCEL NUMBER
- BM - BENCHMARK
- SW - BACK OF WALK
- CEFB - CITY ENGINEER'S FIELD BOOK
- CL - CENTERLINE
- CL.F. - CHAIN LINK FENCE
- COL - COLUMN
- COR - CORNER
- CS - CRAWL SPACE
- EST - ESTABLISH
- FB - FIELD BOOK
- FD - FOUND
- FF - FINISH FLOOR ELEV.
- FL - FLOWLINE ELEV.
- INTER - INTERSECTION
- L & T - LEAD & TACK
- (M) - MEASURED
- MB - MAP BOOK
- O/S - OFFSET
- (P) - PRORATED
- PC - PROPERTY CORNER
- PL - PLANT
- R/PL - PROPERTY LINE
- PM'S - PUNCH MARK'S
- PROD - PRODUCED (PROLONGED)
- (R) - RECORDED
- RCE - REGISTERED CIVIL ENGINEER
- SPK/W - SPIKE & WASHER
- TC - TOP OF CURB ELEV.
- TR - TRACT MAP
- TW - TOP OF WALL ELEV.

**SYMBOLS:**

- - DRAIN
- ⊕ - GAS METER
- ☐ - MAIL BOX
- ⊕ - PARK METER
- ⊕ - POWER POLE
- ⊕ - SEWER CL. OUT
- ⊕ - TREE
- ⊕ - WATER METER
- - PROPERTY LINE
- - - - - CENTERLINE
- ▬▬▬▬ - RETAINING WALL
- ▬▬▬▬ - BUILDING LINE
- ▬▬▬▬ - FENCE LINE

BLVD.

992.34'



BLVD.

90'

50.04'

43' 2 45'

43.00'

80.03'

NOO°19'50"W

NOO°20'00"W

NOO°20'00"W

NOO°20'00"W

NOO°20'00"W

NOO°20'00"W

NOO°20'00"W

NOO°20'00"W

LUCERNE

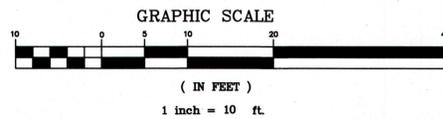
NOO°20'00"W

ROSEWOOD

N89°40'00"E  
(BASIS OF BEARING)

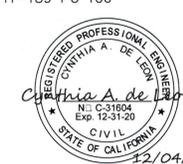
AVENUE

358.21'



VICINITY MAP  
NOT TO SCALE

M&G CIVIL ENGINEERING AND  
LAND SURVEYING

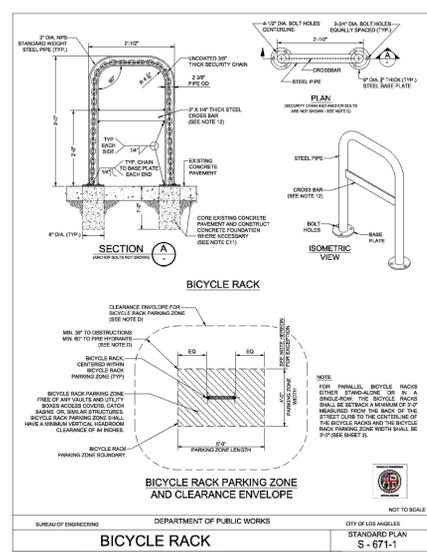


12/04/2020  
(signed)

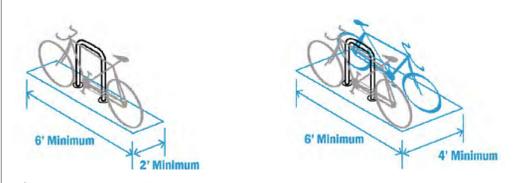
TITLE: <b>TOPOGRAPHIC SURVEY</b> 507 N. LARCHMONT BLVD, LOS ANGELES, CA 90004	
CLIENT: MR. SEAN TABIBIAN/ LEADPRO CONSULTING, LLC	JOB NO.: 18-14266
SCALE: 1" = 10'	DATE: 12/17/18
DESIGNED BY: F.G. / W.G.	REVISION (S):
DRAWN BY: F.S.	SHEET 1 OF 1 SHEET
CHECKED BY: C.D.L.	

(copy of 2018 TOPO Survey)

READY TO ISSUE  
BY THE SURVEYOR  
MAY 19 2019  
Signature



GRASS CRETE  
GRASSCRETE OVER BASEMENT CONC. SLAB



3 SHORT TERM BIKE RACK DETAIL

- LEGEND :**
- ← ACCRSIBLE PATH OF TRAVEL
  - B.R. SHORT TERM BIKE
  - EXIT SIGN W/ EMERGENCY LIGHT
  - PERMEABLE PAVEMENT

- TRUNCATED DOMES WARNING MATERIAL
- COMMON OPEN SPACE AREA
- PLANTER/BUILT-UP GRADES WILL BE LIMITED TO 6' MAXIMUM HEIGHT INTO THE FIRST 6' FEET OF YARD AND NO MORE THAN 30" IN HEIGHT THEREAFTER.
- FDC FIRE DEPARTMENT CONNECTION

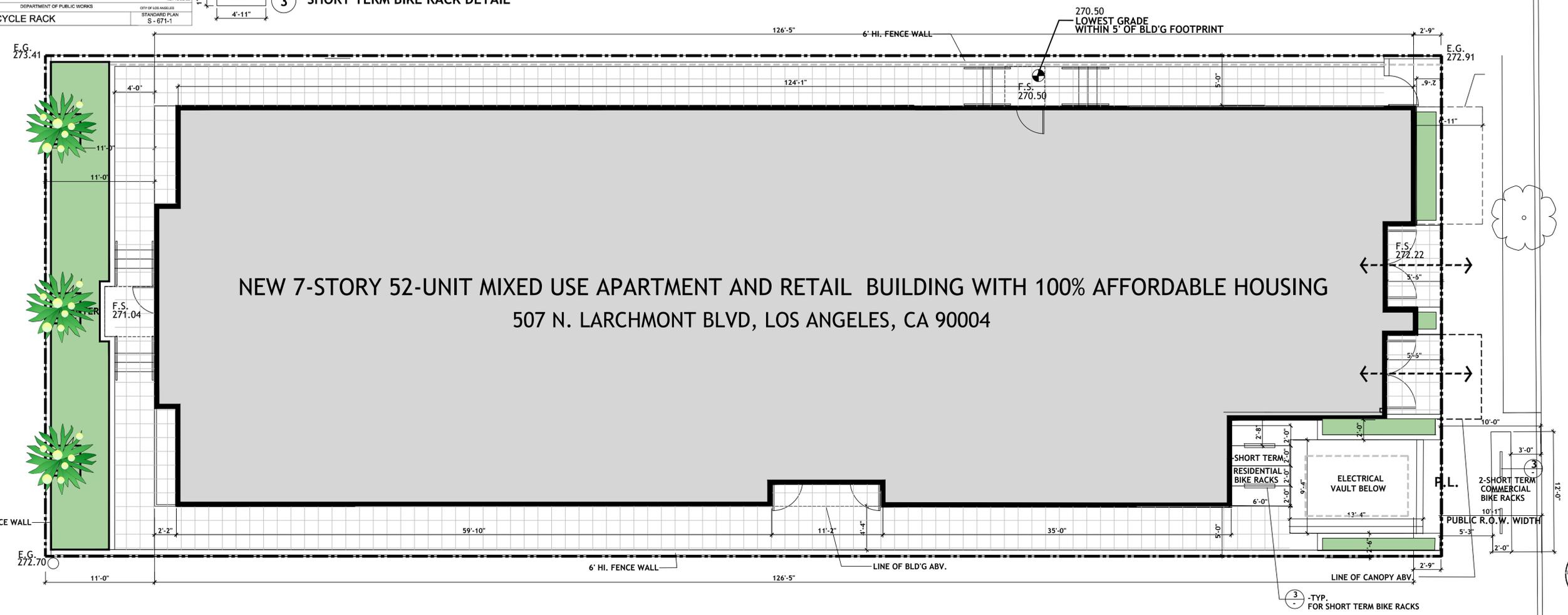


(E) STREET TREE



Monrovia Torbay Dazzler Dracaena Palm  
5- GAL

**PLANTING LEGEND:**  
EXTENSIVE PLANTER BOX WITH BERKELEY SEDGE  
14" MAX. HEIGHT



**NEW 7-STORY 52-UNIT MIXED USE APARTMENT AND RETAIL BUILDING WITH 100% AFFORDABLE HOUSING**  
 507 N. LARCHMONT BLVD, LOS ANGELES, CA 90004

**1 SITE PLAN**  
 SCALE : 3/16"=1'-0"

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REVISIONS		
NO.	DESCRIPTION	BY DATE
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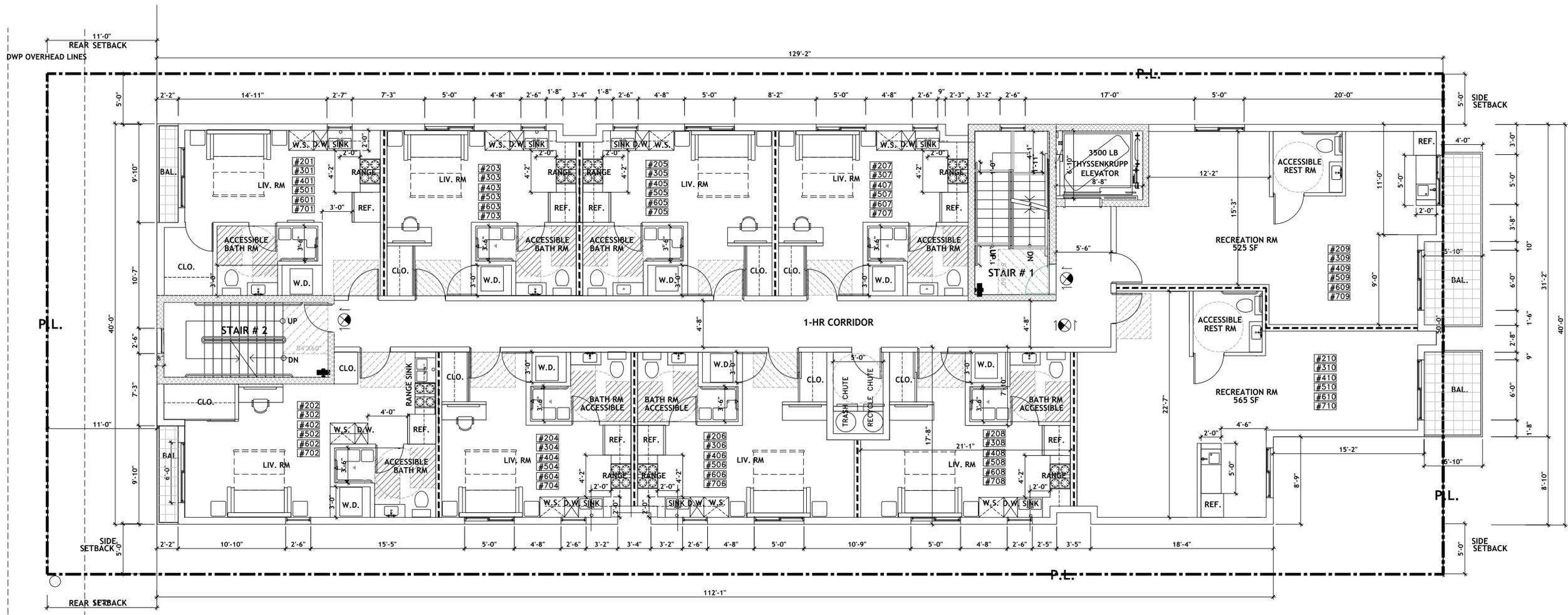


DESIGNED BY:	BABAK BARDI CHAHRAHALI
CHECKED BY:	BABAK BARDI CHAHRAHALI
DRAWN BY:	E.SANAJOU-L.MESBAHI
DATE DRAWN:	8/6/22
JOB NUMBER:	CDD-2214



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 11022 SANTA MONICA BLVD, #200, LOS ANGELES, CA 90025  
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LARCHMONT BLVD.

**1** **TYPICAL FLOOR PLAN (2ND THRU. 7TH FLOOR)**  
 TYPE III-A CONSTRUCTION SCALE: 3/16"=1'-0"

NOTE: APPLY FIRE TREATED WOOD FOR ALL EXTERIOR WALL FRAMING (2-HR FIRE RATED MIN.) FOR TYPE III-A CONSTRUCTION  
 IMPORTANT NOTE FOR TYPE OF CONSTRUCTION: APPLY FOLLOWING MIN. REQUIRED FIRE RATING FOR TYPE III-A ASSEMBLY:

	IIIA
Exterior (bearing) wall framing	FRT
Exterior wall fire rating	2 hr
Interior bearing wall fire rating	1 hr
Interior non-bearing wall fire rating	0 hr
Floor assembly fire rating	1 hr
Fire wall rating	3 hr

ACCESSIBILITY NOTES:  
 ALL KITCHEN COUNTER TOP TO BE GRANITE-TYP.  
 NO CABINET SHALL BE INSTALLED UNDER ACCESSIBLE LAVATORIES AND WORK SURFACE AREA (REMOVABLE CABINET ALLOWED)

**LEGEND :**

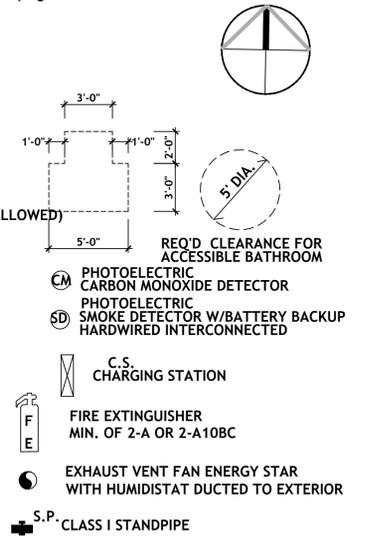
-  2 X STUDS INERIOR WOOD STD WALL SEE 17/A7.1
-  FULL HEIGHT 1-HR+ 50STC WALL SEE 15/A7.2
-  TWO-HR WALL SEE 2/A7.1 (FOR TYPE III-A) EXTERIOR FRT AND SEE 7/A7.1 FOR INTERIOR WALLS
-  1-HR+50 STC PARTITION WALLS SEE 2/A7.3
-  CONTRAST WARNING STRIPING
-  3-HR+50 STC FIRE WALL SEE 19/A7.2
-  FRT: FIRE TREATED WOOD
-  APPLY FIRE TREATED LUMBER FOR 2-HR EXTERIOR BEARING WALL ASSEMBLY
-  P.B. PLANTER BOX (42" HI.)
-  D.D. DECK DRAIN
-  ADA DECK DRAIN
-  BACKING FOR GRAB BARS SEE ENLARGED ACCESSIBLE BATH ROOM/REST ROOMS DETAILS SHEET A0.3E
-  EXIT EXIT SIGN W/ EMERGENCY LIGHT
-  ACC. PATH OF TRAVEL
-  P.B. 42" HI. PLANTER BOX

ALL FIRE RATED DOORS TO BE SELF OR AUTOMATIC CLOSING.

NOTE:  
 IN EVERY GROUP A, E, I, R-L, R-2, AND R-2.1, ALL DRAPES, HANGINGS, CURTAINS, DROPS, AND ALL OTHER DECORATIVE MATERIAL SHALL BE MADE FROM A NONFLAMMABLE MATERIAL OR TREATED AND MAINTAINED IN A FLAME-RETARDANT CONDITION BY MEANS OF A FLAME-RETARDANT SOLUTION OR PROCESS APPROVED BY THE OSFM.

- Class A - Flame-spread 0-25, smoke developed 0-450.
- Class B - Flame-spread 26-75, smoke developed 0-450.
- Class C - Flame-spread 76-200, smoke developed 0-450.

- FSR A** INDICATES MINIMUM REQUIRED FLAME SPREAD RATING (FOR WALL, FLOOR AND CEILING FINISHING MATERIALS)
- FSR B** INDICATES MINIMUM REQUIRED FLAME SPREAD RATING (FOR WALL, FLOOR AND CEILING FINISHING MATERIALS)
- FSR C** INDICATES MINIMUM REQUIRED FLAME SPREAD RATING (FOR WALL, FLOOR AND CEILING FINISHING MATERIALS)

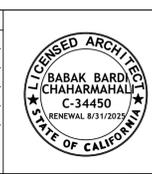


**GREEN BUILDING NOTE:**  
 The VOC Content Verification Checklist, Form GRN 2, shall be completed and verified prior to final INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING VOC CONTENT FOR ALL APPLICABLE PRODUCTS SHALL BE READILY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION. (4.504.2.4)  
 A copy of the construction documents or a comparable document indicating the information from Energy Code Sections 110.10(b) through 110.10(c) shall be provided to the occupant." (Energy Code §110.10(d))

NEW 7-STORY MIXED USE 100% AFFORDABLE 52-UNIT APARTMENT AND RETAIL SPACE  
 PROJECT ADDRESS: 507 N. LARCHMONT BLVD, LOS ANGELES, CA 90004

**CONFORMITY STATEMENT:**  
 THE USE OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE ADDRESS WHICH THEY WERE PREPARED FOR AND PERMITTED BY THE BUILDING OFFICIALS AND EXPRESSLY LIMITED TO THIS PROJECT SCOPE OF WORK. REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED UNDER THE US ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT (AWCPA) & CALIFORNIA ASSEMBLY AB 630, HOLDEN ARCHITECTS SEC. 5536.4 COPYRIGHT ALL RIGHT RESERVED BY THE C.D.D. INC.

REVISIONS		
NO.	DESCRIPTION	BY DATE
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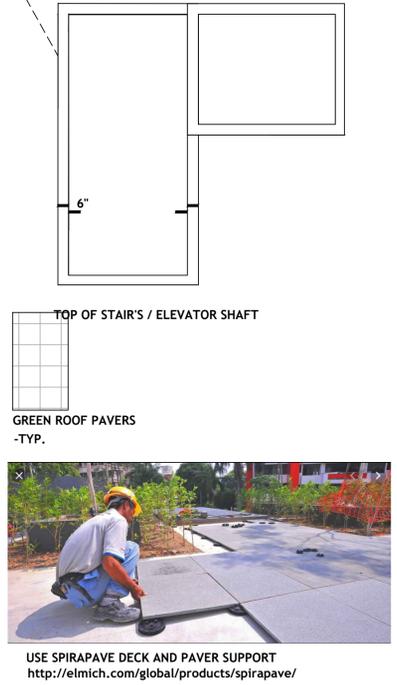
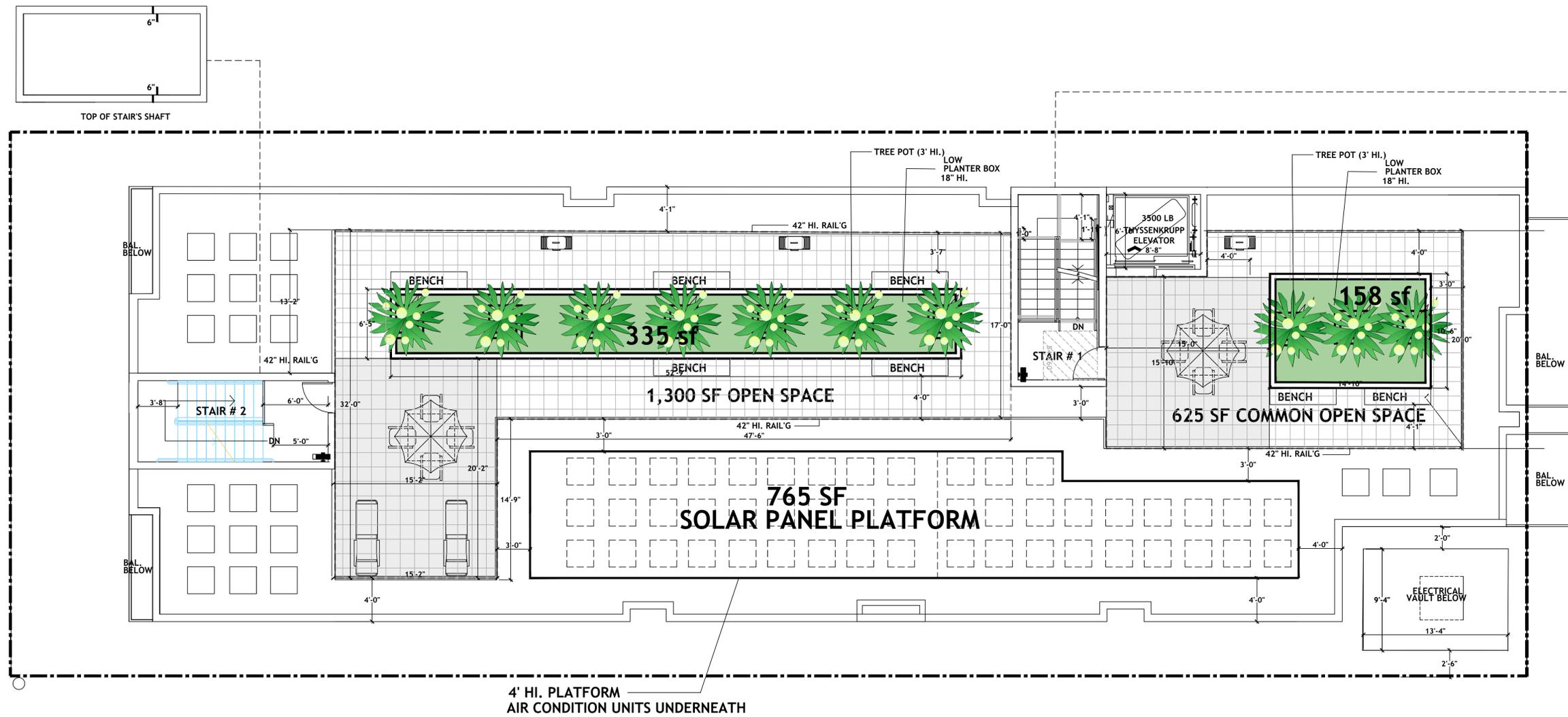
DESIGNED BY: B.BARDI  
 CHECKED BY: B.BARDI  
 DRAWN BY: E. SNAJOU-L. MESBAHI  
 DATE DRAWN: 7/15/22  
 PROJECT NUMBER: 21-12  
 SCALE:



**CALIFORNIA DEVELOPMENT & DESIGN INC.**  
 PRINCIPAL: BABAK BARDI CHAHARMAHALI, AIA (REGISTERED ARCHITECT)  
 CALIFORNIA LIC.#C34450, OKLAHOMA LIC.#A6376, TEXAS LIC.#26090  
 11022 SANTA MONICA BLVD, #200, LOS ANGELES, CA 90025  
 TEL:310.430.5565 FAX:310.427.7446 EMAIL: INFO@CDDARCH.COM WWW.CDDARCH.COM

**TYPICAL FLOOR PLANS (2ND THRU 7TH FLR)**  
 SHEET TITLE:

**A2.2**  
 SHEET NO.



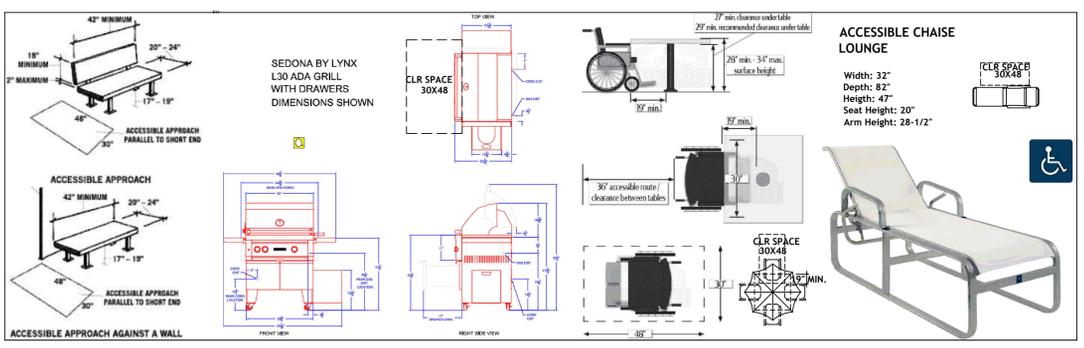
PROVIDED OPEN SPACE AT ROOF AREA 1,925 SF  
 ROOF AREA 4,927 SF  
 REQUIRED SOLAR PANEL AT 15% RATIO 739 SF  
 PROVIDED SOLAR PANEL READY AREA 765 SF

# ROOF PLAN

SCALE: 3/16"=1'-0"

## PLANTING LEGEND:

- BLUE CHALKS STICKS FLOWER
- EXTENSIVE PLANTER BOX 15" HI. WITH LAURUS NOBILIS 'SARATOGRECIAN LAUREB' X 18" TREE 5 GAL.
- TREE PLANTER BOX
- LOW PLANTER BOX (OTHER THAN TREES)



1

- LEGEND:
- 3/4\"/> STAIRS INTERIOR WALL
  - FULL HEIGHT ONE HR WALL SEE 8/A7.1
  - TWO-HR WALL FOR EXTERIOR AND SEE 16/A7.2 FOR INTERIOR WALLS
  - CONTRAST WARNING STRIPING
  - EXIT SIGN W/ EMERGENCY LIGHT
  - ACC. PATH OF TRAVEL
  - FIRE EXTINGUISHER MIN. OF 2-A OR 2-A10BC
  - EXHAUST VENT FAN ENERGY STAR WITH HUMIDISTAT DUCTED TO EXTERIOR
  - CLASS I STANDPIPE
  - SPRINKLER HEAD FOR WATER CURTAIN WITHIN 10'-0" HI. FROM FIN. FLOOR

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REVISIONS			
NO.	DESCRIPTION	BY	DATE



DESIGNED BY: BABAK BARDI CHAHARMAHALI  
 CHECKED BY: BABAK BARDI CHAHARMAHALI  
 DRAWN BY: E.SANAJOU-L.MESBAHI  
 DATE DRAWN: 8/6/22  
 JOB NUMBER: CDD-2214



CALIFORNIA DEVELOPMENT & DESIGN INC.  
 PRINCIPAL: BABAK BARDI CHAHARMAHALI, AIA (REGISTERED ARCHITECT)  
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# ROOF PLAN

A2.3

SHEET TITLE: \_\_\_\_\_ SHEET NO. \_\_\_\_\_





CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY  
 PRELIMINARY ZONING ASSESSMENT COMPLETE  
 BY: \_\_\_\_\_  
 DATE: 12/04/2023  
 APPLICATION #: 23010-10000-04368



NEW 7-STORY MIXED USE 100% AFFORDABLE 52-UNIT APARTMENT AND RETAIL SPACE  
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REVISIONS		
NO.	DESCRIPTION	BY DATE
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DESIGNED BY:	BABAK BARDI CHAHARMAHALI
CHECKED BY:	BABAK BARDI CHAHARMAHALI
DRAWN BY:	E.SANAJOU-L.MESBAHI
DATE DRAWN:	8/6/22
JOB NUMBER:	CDD-2214



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# ELEVATIONS

SHEET TITLE:

# A3.2

SHEET NO.



CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY  
 PRELIMINARY ZONING ASSESSMENT COMPLETE BY:  
 DATE: 12/04/2023  
 APPLICATION #: 23010-10000-04368



**1** NORTH ELEVATION  
 SCALE : 3/16"=1'-0"

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REVISIONS		
NO.	DESCRIPTION	BY DATE
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DESIGNED BY: BABAK BARDI CHAHRMAHALI  
 CHECKED BY: BABAK BARDI CHAHRMAHALI  
 DRAWN BY: E.SANAJOU-L.MESBAHI  
 DATE DRAWN: 8/6/22  
 JOB NUMBER: CDD-2214

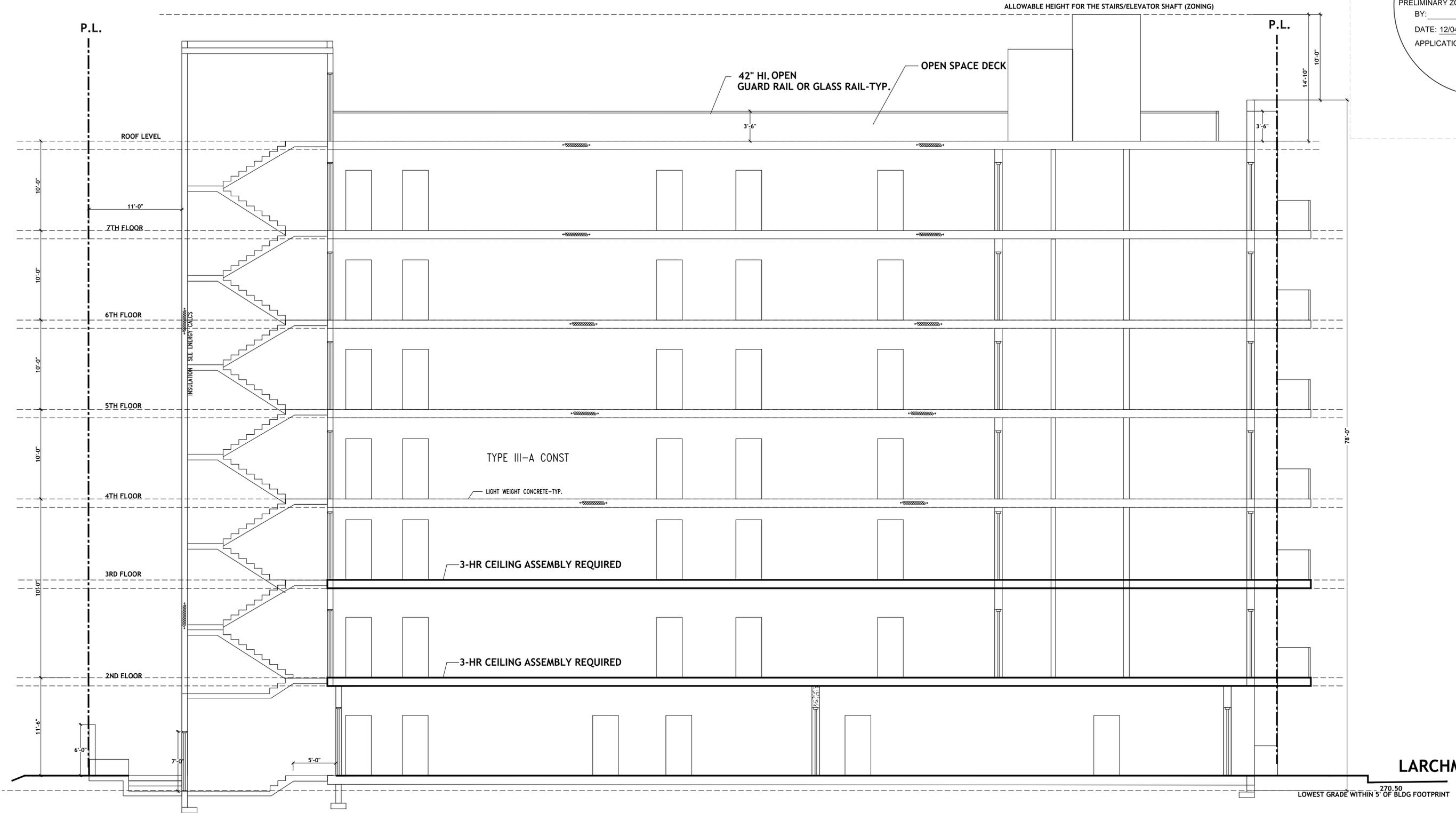


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**ELEVATIONS**  
 SHEET TITLE:  
**A3.3**  
 SHEET NO.



CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY  
 PRELIMINARY ZONING ASSESSMENT COMPLETE  
 BY: \_\_\_\_\_  
 DATE: 12/04/2023  
 APPLICATION #: 23010-10000-04368



**1** SECTION A-A SCALE: 3/16"=1'-0"

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REVISIONS			
NO.	DESCRIPTION	BY	DATE



DESIGNED BY:	BABAK BARDI CHAHARMAHALI
CHECKED BY:	BABAK BARDI CHAHARMAHALI
DRAWN BY:	E.SANAJOU-L.MESBAHI
DATE DRAWN:	8/6/22
JOB NUMBER:	CDD-2214



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SHEET TITLE:

**SECTION**

**A4.1**

SHEET NO.

LARCHMONT

270.50  
 LOWEST GRADE WITHIN 5' OF BLDG FOOTPRINT



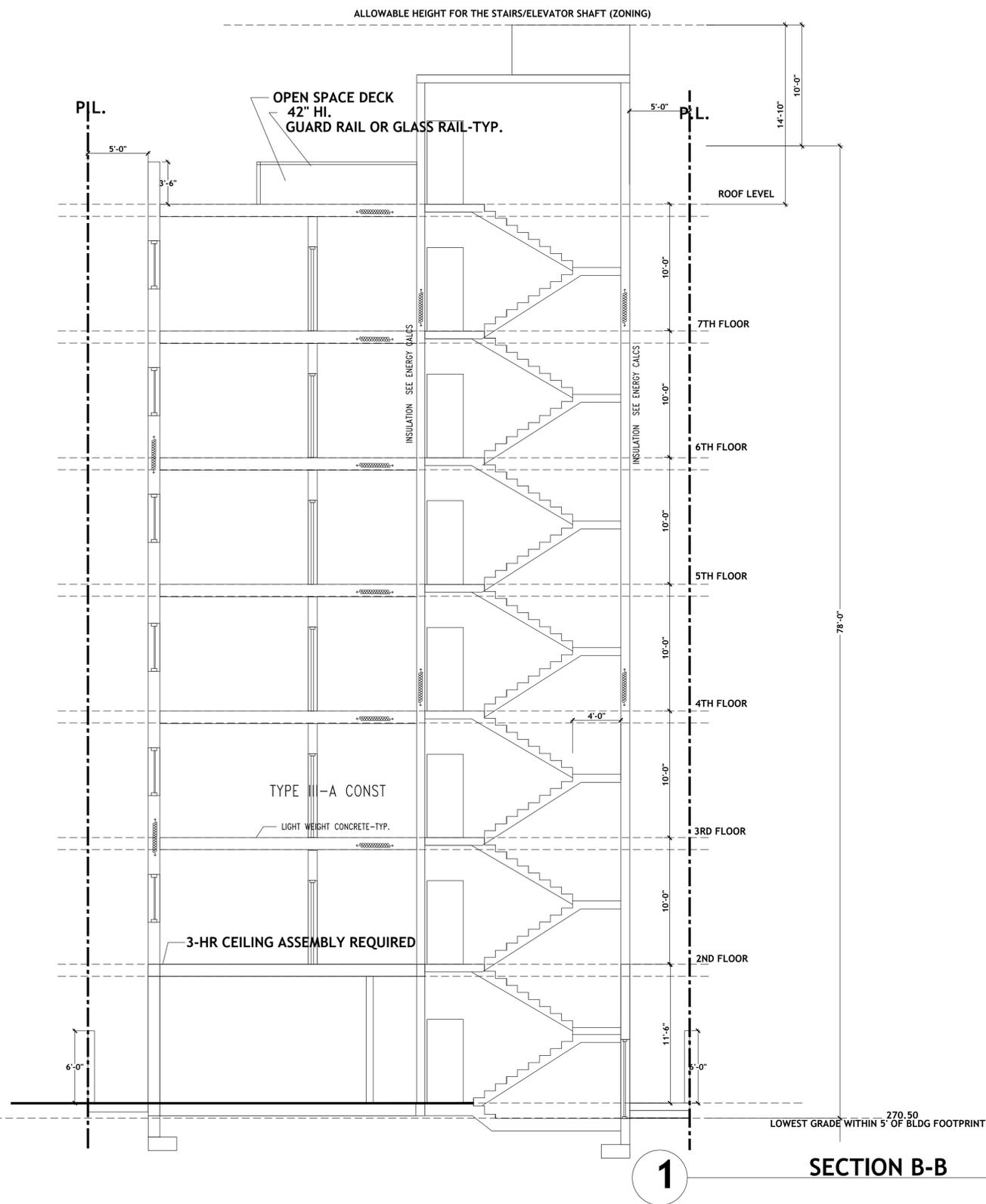
CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY

PRELIMINARY ZONING ASSESSMENT COMPLETE

BY: \_\_\_\_\_

DATE: 12/04/2023

APPLICATION #: 23010-10000-04368



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REVISIONS

NO.	DESCRIPTION	BY	DATE
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 CHECKED BY: BABAK BARDI CHAHARMAHALI  
 DRAWN BY: E.SANAJOU-L.MESBAHI  
 DATE DRAWN: 8/6/22  
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SHEET TITLE:

SECTION

A4.2

SHEET NO.



507-A  
The Larchmont Cafe

507-B  
The Larchmont















