

1. **Side Yard (Off-Menu).** A 5 foot southerly side yard setback, in lieu of 10 foot side yard setback as otherwise required in the R3-1 Zone.
2. **Side Yard (Off-Menu).** A 5 foot northerly side yard setback lieu of 10 foot side yard setback as otherwise required in the R3-1 Zone.
3. **Rear Yard (Off-Menu).** A 5 foot rear yard setback lieu of 15 foot rear yard setback as otherwise required in the R3-1 Zone.
4. **Floor Area Ratio (FAR) (Off-Menu).** An increase in FAR for a total FAR of 5.53:1 in lieu of the otherwise allowed 3:1 FAR in the R3-1 Zone.
5. **Trees (Off-Menu).** A reduction in the required number of trees, for a minimum 14 trees in lieu of 29 trees as otherwise required by LAMC 12.21 G.2(a)(3).
6. **Open Space (Waiver).** A reduction in the required open space, allowing a minimum of 2,136 square feet of open space in lieu of 13,350 square feet of open space as otherwise required by LAMC Section 12.21 G.

CONDITIONS OF APPROVAL

1. **Site Development.** The project shall be in substantial conformance with the plans and materials submitted by the Applicant, including the proposed building design elements and materials, stamped "Exhibit A," with a date of July 23, 2024, attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning Project Planning Bureau, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Los Angeles Municipal Code or the project conditions.
2. **Residential Density.** The project shall be limited to a maximum density of 116 residential dwelling units per Exhibit "A". Pursuant to California Government Code Section 65915(f)(3)(D)(ii) and Assembly Bill 2097, the project is located within one-half mile of a major transit stop, and the project is allowed unlimited density.
3. **On-Site Restricted Affordable Units.** 92 units shall be reserved for Low Income households and 23 units shall for Moderate Income households, as defined by the California Government Code Section 65915 and by the Los Angeles Housing Department (LAHD). In the event the SB 8 Replacement Unit condition requires additional affordable units or more restrictive affordability levels, the most restrictive requirements shall prevail.
4. **Changes in Restricted Units.** Deviations that increase the number of restricted affordable units or that change the composition of units or change parking numbers shall be consistent with LAMC Section 12.22-A.25 and Government Code Section 65915.
5. **Housing Requirements.** Prior to issuance of a building permit, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing Department ("LAHD") to reserve 92 units for Low Income households and 23 units for Moderate Income households or equal to 100 percent of the project's total proposed residential density allowed, exclusive of one (1) Manager's Unit, for sale or rental, as determined to be affordable to such households by LAHD for a period of 55 years. In the event the applicant reduces the proposed density of the project, the number of required reserved on-site Restricted Units may be adjusted, consistent with LAMC Section 12.22 A.25, to the satisfaction of LAHD and in consideration of the project's Replacement Unit Determination. Enforcement of the terms of said covenant shall be the responsibility of LAHD. The Applicant shall submit a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the Guidelines for the Affordable Housing Incentives Program adopted by the City Planning Commission and any monitoring requirements established by the LAHD.

Unless otherwise required by state or federal law, the project shall provide an onsite building manager's unit, which the owner shall designate in the covenant. The Owner may not use an affordable restricted unit for the manager's unit.

6. **100% Affordable Housing Project (ED1).** If the project changes at any time during the review or construction process such that it no longer meets ED 1 eligibility criteria, the project is disqualified from ED1 streamlining and all prior determinations on the project become inapplicable. For projects requiring a City Planning application, if a project changes at any point during the City Planning review or post-approval process such that the project would no longer qualify for ED 1, a new application for the revised project must be filed.

7. Density Bonus Incentives and Waiver

- i. **Density.** The project shall be limited to a total of 116 dwelling units.
 - ii. **100% Affordable Project Height.** Pursuant to California Government Code Section 65915(d)(2)(D), the project is located within one-half mile of a major transit stop, the applicant shall receive a height increase of up to three additional stories or 33 feet. The height increase is calculated on top of all current zoning height limits. The project shall be limited to 78 feet in height as shown in Exhibit "A".
 - iii. **Side Yard (Off-Menu).** The project shall provide a minimum of 5 foot southerly side yard setback, as shown in Exhibit "A".
 - iv. **Side Yard (Off-Menu).** The project shall provide a minimum 5 foot northerly side yard setback, as shown in Exhibit "A".
 - v. **Rear Yard (Off-Menu).** The project shall provide a minimum 5 foot rear yard setback, as shown in Exhibit "A".
 - vi. **Floor Area Ratio (FAR) (Off-Menu).** The project total Floor Area shall be limited to 82,323 square feet and a 5.53:1 FAR, as shown in Exhibit "A".
 - vii. **Trees (Off-Menu).** The project is allowed a minimum of 14 trees as shown in Exhibit "A".
 - viii. **Open Space (Waiver).** The project is allowed a minimum of 2,136 square feet of Open Space, as shown in Exhibit "A".
8. **Automobile Parking.** Pursuant to California Government Code Section 65915(p)(3), no parking requirements shall apply for 100 percent affordable housing projects located within one-half mile of public transit. The project proposes 36 automobile parking spaces, as shown in Exhibit "A".
9. **Bicycle Parking.** Bicycle parking shall be provided consistent with LAMC Section 12.21 A.16.
10. **Required Trees per 12.21 G.2.** As conditioned herein, a final submitted landscape plan shall be reviewed to be in substantial conformance with Exhibit "A". There shall be a minimum of fourteen 24-inch box, or larger, trees onsite pursuant to LAMC Section 12.21 G.2. Any required trees pursuant to LAMC Section 12.21 G.2 shown in the public right-of-way in Exhibit "A" shall be preliminarily reviewed and approved by the Urban Forestry Division prior to building permit issuance. In-lieu fees pursuant to LAMC Section 62.177 shall be paid if placement of required trees in the public right-of-way is proven to be infeasible due to City-determined physical constraints.
11. **Landscape Plan.** The landscape plan shall indicate landscape points for the project equivalent to **10% more than otherwise required** by LAMC 12.40 and Landscape Ordinance Guidelines "O". All open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be attractively landscaped, including an automatic irrigation system, and maintained in accordance with a landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning.
12. **SB 8 Replacement Units (California Government Code Section 66300 et seq.)** The project shall be required to comply with the Replacement Unit Determination (RUD) letter, dated May 9, 2024, to the satisfaction of LAHD. The most restrictive affordability levels

shall be followed in the covenant. In the event the On-site Restricted Affordable Units condition requires additional affordable units or more restrictive affordability levels, the most restrictive requirements shall prevail.

Administrative Conditions

13. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building and Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall be stamped by Department of City Planning staff "Plans Approved". A copy of the Plans Approved, supplied by the applicant, shall be retained in the subject case file.
14. **Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet and shall include any modifications or notations required herein.
15. **Approval, Verification and Submittals.** Copies of any approvals guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
16. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
17. **Department of Building and Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
18. **Recording Covenant.** Prior to the issuance of any permits relative to this matter, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard master covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Development Services Center for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Development Services Center at the time of Condition Clearance for attachment to the subject case file.
19. **Indemnification and Reimbursement of Litigation Costs.**

Applicant shall do all of the following:

- a. Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- b. Reimburse the City for any and all costs incurred in defense of an action related to or arising out of the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- c. Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (b).
- d. Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (b).
- e. If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

“Action” shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

PROJECT BACKGROUND

Subject Property

The project site (9033 – 9043 South Ramsgate) is located in the Westchester – Playa del Rey Community Plan and comprised of three (3) rectangular shaped lots with a total lot area of approximately 20,797 square feet or approximately 0.477 acres. The project site is located in the R3-1 Zone with a Land Use designation of Medium Residential. The site has a street frontage of approximately 166 feet along the west side of Ramsgate Avenue and a depth of approximately 127 feet. The project site is located approximately 3.76 kilometers (2.34 miles) from the Newport – Inglewood Fault and is not located within the Alquist-Priolo Fault Zone. The site is not located within a designated hillside area, very high fire hazard severity zone, liquefaction, methane, landslide, or tsunami inundation zone however, the site is located in an airport hazard area. The tree disclosure statement, signed by Derek Sanders, dated May 21, 2024, and Tree Report prepared by Julio Matos, dated May 15, 2024, stated that there are no protected tree or shrub species on the site or adjacent to the site. There is one (1) existing street tree adjacent to the site that will be retained. The existing project site is currently developed with 3 residential buildings with a total of 12 dwelling units to be demolished.

Project Description

The project is the construction of a new seven-story, 78 foot tall residential development with 116 residential dwelling units (including 92 units for Low Income Household occupancy and 23 units for Moderate Income Households occupancy, and one (1) market-rate manager's unit). The project will have a proposed Floor Area Ratio ("FAR") of approximately 5.53:1 with approximately 82,323 square feet of floor area. As a 100% affordable housing project, no residential parking is required per AB 2345 (Government Code Section 65915(p)(4)) and AB 2097. The project proposes 36 automobile parking spaces, as shown in Exhibit "A".

Ministerial Review

Following the Mayor's Declaration of Local Emergency dated December 12, 2022, Executive Directive 1 (ED-1) went into effect on December 16, 2022 to facilitate the expeditious processing of shelters and 100 percent affordable housing projects to address the homelessness crisis in the City of Los Angeles. A 100 percent Affordable Housing Project is defined as "A project with 5 or more units, with all units affordable either at 80% of Area Median Income (HUD) levels, OR at mixed income with up to 20% of units at 120% AMI (HCD rents levels) and the balance at 80% AMI or lower (HUD/TCAC rents levels) as technically described here: A housing development project defined in Government Code Section 65589.5 that includes 100% restricted affordable units (excluding any manager's units) for which rental or mortgage amounts are limited so as to be affordable to and occupied by, Lower Income households, as defined by California Health and Safety Code 50079.5, or that meets the definition of a 100% affordable housing development in CA Gov. Code 65925(b)(1)(G), as determined by the Los Angeles Housing Department (LAHD)". For 100 percent affordable housing projects and shelters, the Directive, requires the review be completed within 60 days after the application is complete.

Housing Replacement

Pursuant to the Senate Bill 8 Replacement Unit Determination made by the Los Angeles Housing Department (LAHD) dated May 9, 2024, and to the requirements of the Housing Crisis Act of 2019 (SB 8), LAHD determined that based on DWP records, LAHD documents related to the Ellis process for the twelve (12) units, and Google information, the twelve (12) units are deemed to have been vacant for more than five (5) years and not subject to affordable replacement. Due to

the Ellis process, although no units are subject to replacement as affordable replacement units, the units must be replaced as at least market rate units due to the twelve (1) units having undergone the Ellis process.

Density Bonus Incentives and Waivers

Pursuant to State Density Bonus Law under Government Code Section 65915, a project located within one-half mile of a Major Transit Stop may receive a waiver from any maximum controls on density, a height increase of up to three additional stories or up to 33 additional feet, and an Applicant may request that the city not impose any minimum vehicular parking requirement for 100 percent affordable housing projects. The applicant is utilizing an automobile parking reduction offered under AB 2345 under Government Code Section 65915(p)(3) as the site is located within one-half mile of a Major Transit Stop (Metro Rail K line) located at Aviation and Century Boulevard. As a 100 percent affordable housing project within one-half mile of a major transit stop, the project is not required to provide residential parking spaces.

Additionally, 100% Affordable Housing Developments are entitled to request unlimited density if the project is within a one-half mile of a major transit stop or within a very low vehicle travel area (CA Govt. Section 65915(f)(3)(D)(ii)). Lastly, the Housing Development that receives a waiver from any maximum controls on density shall be eligible for one waiver unless the City agrees to additional waivers or reductions of development standards (CA Govt. Section 65915(e)(3)).

LAMC Section 12.22 A.25 and State Density Bonus Law (Government Code Section 65915) outline types of relief that minimize restrictions on the size of the project. In exchange for meeting the minimum set-aside requirements, the project may receive a set of incentives, concessions, and waivers to deviate from development standards in order to facilitate the provisions of affordable housing at the site. The approved incentives and waivers allow the developer to expand the building envelope so the additional affordable units can be constructed, provide for design efficiencies, and allow the overall space dedicated to residential uses to be increased.

Given that the applicant is providing 100 percent of dwelling units to be affordable at Low-Income and Moderate-Income Household occupancy for a period of 55 years, and meets the criteria outline in Government Code Section 65915(d)(2)(D), the project is eligible for unlimited density, a height increase, and up to five (5) incentives and one (1) waiver per California Government Code Section 65915(d)(2)(D) and Section 65915(e)(3).

The applicant has been approved for the following incentives and waiver:

- **Density.** An unlimited increase in density to allow a total of 116 units in lieu of the 26 base units.
- **Parking.** A reduction to zero (0) residential parking spaces.
- **Height.** A height increase of up to three additional stories or 33 feet.
- **Side Yard (Off-Menu).** A 5 foot southerly side yard setback, in lieu of 10 foot side yard setback as otherwise required in the R3-1 Zone.
- **Side Yard (Off-Menu).** A 5 foot northerly side yard setback lieu of 10 foot side yard setback as otherwise required in the R3-1 Zone.

- **Rear Yard (Off-Menu).** A 5 foot rear yard setback lieu of 15 foot rear yard setback as otherwise required in the R3-1Zone.
- **Floor Area Ratio (FAR) (Off-Menu).** An increase in FAR for a total FAR of 5.53:1 in lieu of the otherwise allowed 3:1 FAR in the R3-1 Zone.
- **Trees (Off-Menu).** A reduction in the required number of trees, for a minimum 14 trees in lieu of 29 trees as otherwise required by LAMC 12.21 G.2(a)(3).
- **Open Space (Waiver).** A reduction in the required open space, allowing a minimum of 2,136 square feet of open space in lieu of 13,350 square feet of open space as otherwise required by LAMC Section 12.21 G.

The record does not contain substantial evidence that would allow the decision maker to make a finding that the requested incentives do not result in identifiable and actual cost reduction to provide for affordable housing costs per State Law. The California Health & Safety Code Sections 50052.5 and 50053 define formulas for calculating affordable housing costs for very low-, low-, and moderate-income households. Section 50052.5 addresses owner-occupied housing and Section 50053 addresses rental households. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed a predetermined percentage of income based on area median income thresholds dependent on affordability levels.

The project requests five (5) Off-Menu incentives for a reduction for both the required side yard setbacks, rear yard, increase in FAR and reduction in trees, respectively along with one (1) Waiver of Development Standard for a reduction in the open space. Strict compliance with the requested waiver would reduce the buildable area for new development and physically preclude the number and range of units that would be developed. There is no evidence in the record that the approved incentives would have a specific adverse impact. A "specific adverse impact" is defined as "a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" per LAMC Section 12.22 A.25(b). The project does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical Cultural Monuments.

There is no evidence in the record which identifies a written objective health and safety standard that has been exceeded or violated. Based on the above, there is no basis to deny the requested incentives.

CONCLUSION

As a Density Bonus Housing Project that satisfies all the objective planning standards of LAMC Section 12.22 A.25(g)(3), California Government Code Section 65915 and is a 100% affordable housing project consistent with ED1 streamlined approval, the project is considered to be a ministerial project. Additionally, in accordance with Government Code Section 65915, the project as shown in Exhibit "A" after amendments to align with the conditions of approval, is deemed to satisfy the objective planning standards and shall comply with the attached planning standards as Conditions of Approval.

OBSERVANCE OF CONDITIONS - TIME LIMIT - LAPSE OF PRIVILEGES

All terms and conditions of the Director's Letter of Compliance shall be fulfilled before the use may be established. The instant authorization is further conditioned upon the privileges being utilized within three years after the effective date of this determination and, if such privileges are not utilized, building permits are not issued, or substantial physical construction work is not begun within said time and carried on diligently so that building permits do not lapse, the authorization shall terminate and become void.

TRANSFERABILITY

This determination runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant. If any portion of this approval is utilized, then all other conditions and requirements set forth herein become immediately operative and must be strictly observed.

VIOLATIONS OF THESE CONDITIONS, A MISDEMEANOR

The Applicant's attention is called to the fact that this grant is not a permit or license and that any permits and licenses required by law must be obtained from the proper public agency. Furthermore, if any condition of this grant is violated or not complied with, then the Applicant or his successor in interest may be prosecuted for violating these conditions the same as for any violation of the requirements contained in the Municipal Code, or the approval may be revoked.

Section 11.00 of the LAMC states in part (m): "It shall be unlawful for any person to violate any provision or fail to comply with any of the requirements of this Code. Any person violating any of the provisions or failing to comply with any of the mandatory requirements of this Code shall be guilty of a misdemeanor unless that violation or failure is declared in that section to be an infraction. An infraction shall be tried and be punishable as provided in Section 19.6 of the Penal Code and the provisions of this section. Any violation of this Code that is designated as a misdemeanor may be charged by the City Attorney as either a misdemeanor or an infraction.

Every violation of this determination is punishable as a misdemeanor unless provision is otherwise made, and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the County Jail for a period of not more than six months, or by both a fine and imprisonment.

Verification of condition compliance with building plans and/or building permit applications are done at the Development Services Center of the Department of City Planning at either Figueroa Plaza in Downtown Los Angeles or the Marvin Braude Building in the Valley. In order to assure that you receive service with a minimum amount of waiting, applicants are encouraged to schedule an appointment with the Development Services Center either through the Department of City Planning website at <http://planning.lacity.org> or by calling (213) 482-7052 or (818) 374-5050. The applicant is further advised to notify any consultant representing you of this requirement as well.

The time in which a party may seek judicial review of this determination is governed by California Code of Civil Procedures Section 1094.6. Under that provision, a petitioner may seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, only if the petition for writ of mandate pursuant to that section is filed no later than the 90th day following the date on which the City's decision becomes final.

Effective Date/Appeals: The decision of this Letter of Compliance is final and effective upon the mailing of this letter and not appealable.

VINCENT P. BERTONI, AICP
Director of Planning

Approved by:



Theodore L. Irving, AICP, Principal City Planner



Connie Chau, Senior City Planner

Prepared by:



Daisy Benicia, City Planner

RAMSGATE AVE APARTMENTS

9033, 9037, 9043 RAMSGATE AVE, LOS ANGELES, CALIFORNIA 90045

EXECUTIVE DIRECTIVE 1 SUBMITTAL

SHEET INDEX



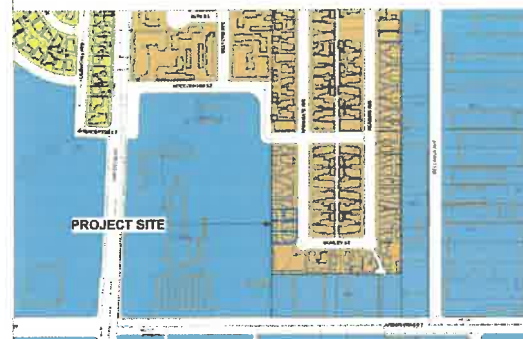
SYMBOLS

	SLOPE ARROWS		ROOM NAME
	SLOPE ARROWS		SUSMP AREA ALLOCATION
	ELEVATION CALLOUTS		POINT ELEVATION
	GRID BUBBLE		STEP IN SLAB
	BUILDING ELEVATION SHEET NUMBER		FACADE ELEVATION MARKER
	INTERIOR ELEVATION SHEET NUMBER		WALL TYPE
	BUILDING SECTION SHEET NUMBER		REVISION CALLOUT
	WALL SECTION SHEET NUMBER		WINDOW CALLOUT
	DETAIL NUMBER SHEET NUMBER		DOOR CALLOUT
	DETAIL TCK		ROOM NUMBER
	MATCHLINE		CEILING HEIGHT
	BREAK LINE		NORTH ARROW
	KEYNOTES		

ABBREVIATIONS

ABV. A.F.F. A.F.S.	ABOVE ABOVE FINISH FLOOR ABOVE FINISH SURFACE	GA. GALV. O.L. GL. GRADE GYP. BD. G.D.	GAUGE GALVANIZED GALVANIZED IRON GLASS GRADE GYPSUM BOARD GARBAGE DISPOSAL
BD. BEL. BLKG. BW. BOT. BLDG. BTW.	BOARD BELOW BLOCK BLOCKING BELOW BOTTOM BUILDING BETWEEN	H.B. HWD. HGT. HPT. HOR. HTR. H.W. HORZ. H.C.	HOSE BIBB HARDWOOD HEIGHT HIGH POINT HANGER HEATER HOT WATER STANDARD HOLLOW CORE
C.B. CEM. CER. C.L.P. C.C. C.O. C.O.L. COM. CONC. CONT. C.W. C.T. C.V.D.	CENTER LINE CATCH BASIN CEILING CERAMIC CAST IRON PIPE CLEAR INSULATION CLEAN OUT COLUMN COMMON CONCRETE CONTINUOUS COLD WATER CERAMIC TILE CUBIC YARD	I.D. INT. INSUL. INV. IP.S. I.L.C.	INSIDE DIAMETER INTERIOR INSULATION INVERT IRON PIPE SIZE IMPACT INSULATION CLASS
DET. D.F. D.D. D.A. DWG. D.S. D.W. DR. DR. DIM.	DETAIL DRINKING FOUNTAIN DOOR DIMENSION DIAMETER DRAWING DOWNSPOUT DISHWASHER DOOR DIMENSION	M.N. MAS. MAX. MECH. MEMB. METAL. M.H. MISC. M.R. MFG.	MINIMUM MASONRY MAXIMUM MECHANICAL MEMBRANE METAL MANHOLE MISCELLANEOUS MOISTURE RESISTANT MANUFACTURER
EA. ELEC. ENCL. EXH. EXIST. EXP. EXT. E.J.	EACH ELECTRICAL ELEVATION ENCLOSURE EXHAUST EXISTING EXPANSION EXPANSION JOINT	N.L.C. NO. N.M. N.T.S.	NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE
F.D. F.E.C. F.F. FIN. F.L.R. F.L.G. F. DL. F.S. FLUOR. F.O.C. F.M. F.P. F.P.E.	FLOOR DRAIN FIRE EXTINGUISHER CABINET FUEL GAS FIRE HOSE CABINET FINISH FLOOR FLOORING FLOOR PARTITION FLOOR SINK FLUORESCENT FACE OF CONCRETE FACE OF MASONRY FACE OF STUD FLOOR FINISH FLOOR JOINT	O.B.S.C. O.C. O.P.S. O.V. O.V.F. O.P.P.	OBSCURE ON CENTER OFFICE OPENING OVERFLOW OVERFLOW OPPOSITE
F.L. PARTN. P.L.S. PLYWD. P.L. P.L. P.U.E.	PROPERTY LINE/PLATE PARTITION PLASTER PLYWOOD PANEL PLASTIC LAMINATE PUBLIC UTILITY EASEMENT	VER. WEST. V.C.T. V.P. W. W.C. WH. WP.	VERTICAL VESTIBULE VINYL COMPOSITION TILE VERIFY IN FIELD WITH WANSLOT WOOD WATER CLOSET WOOD WATER HEATER WATERPROOF

ZONING MAP



LOCATION MAP



PROJECT DATA

PROPERTY INFORMATION

SITE ADDRESS: 9033 RAMSGATE AVE
9033 1/2 RAMSGATE AVE
9037 RAMSGATE AVE
9037 1/2 RAMSGATE AVE
9039 RAMSGATE AVE
9039 1/2 RAMSGATE AVE
9043 RAMSGATE AVE
9045 RAMSGATE AVE
9045 1/2 RAMSGATE AVE
LOS ANGELES, CA 90045

ASSESSOR PARCEL NO. 4125 - 011-010
4125 - 011-011
4125 - 011-012

LEGAL DESCRIPTION: LOT 34, 35 & 38
TRACT 15283
MAP BOOK 327, PAGE 31-33
BLOCK NONE

LAND/PARCEL AREA: 20,799 SF (PER SURVEY)

COMMUNITY PLAN WESTCHESTER - PLAYA DEL REY

AREA PLANNING COMMISSION: WEST LOS ANGELES

NEIGHBORHOOD COUNCIL: WEST-CHESTER / PLAYA

COUNCIL DISTRICT: CD 11 - TRACIPARK

PROJECT DESCRIPTION

NEW 7 STORY (5-LEVELS OF TYPE IIA CONSTRUCTION OVER 2-LEVELS OF TYPE IIA CONSTRUCTION), 116 UNIT, 100% AFFORDABLE MULTIFAMILY RESIDENTIAL BUILDING WITH 38 AUTOMOBILE PARKING SPACES.

THE PROJECT'S UNIT MIX INCLUDES 15 STUDIO, 31 ONE BEDROOM AND 70 TWO BEDROOM UNITS. ONE OF WHICH IS A MANAGER'S UNIT.

THE BUILDING DESIGN INCLUDES AN UPPER COURTYARD OPEN SPACE ON THE 4TH FLOOR, DESIGNED TO ALLOW LIGHT AND AIR INTO THE CENTRAL COURTYARD OPEN SPACE ON THE SECOND LEVEL AND THE SURROUNDING COURTYARD UNITS.

THIS IS A DENSITY BONUS PROJECT PER LAMC 12.22A.25 & GOVERNMENT CODE SEC 65915.

THE APPLICANT IS ALSO REQUESTING THE FOLLOWING:
• 100% AFFORDABLE PER AB 2345
• AB 2307
• AB 2334
• ED-1

ADDITIONALLY, THE APPLICANT IS REQUESTING THE FOLLOWING INCENTIVES:
OFF-MENU
1. FAR INCREASE FROM 3.1 TO 5.53 / 1 OR 82,325.11 SF (84.7% INCREASE)
2. REDUCTION OF 1ST SIDE YARD FROM 10' TO 5'
3. REDUCTION OF 2ND SIDE YARD FROM 10' TO 5'
4. REDUCTION OF REAR YARD FROM 15' TO 5'
5. SITE TREE REDUCTION FROM 29 TO 14

ZONING AND FAR ANALYSIS

ZONE: R3-1

REQUIRED YARDS:
FRONT: 15'; 10' FOR KEY LOTS
SIDE: 5' + 1' PER STORY OVER 2ND RES
5' - 5' + 10' - 0'
REAR: 15'

REDUCED YARD REQUEST: 5' SIDE AND REAR YARDS

ALLOWABLE HEIGHT: 45'; NO STORY LIMIT IF ALL HOUSING

SITE GROSS AREA: 20,799 SF (PER SURVEY)

BASE ALLOWABLE DENSITY: 20,799 / 800 (MIN) = 25.99875 OR 26 UNITS

BUILDABLE AREA: 14,887 SF (SEE DIAGRAM ON AD.23)

BASE ALLOW. F.A.R.: 3 / 1 OR 44,661 SF SF (SEE DIAGRAM ON AD.23)

INCREASED F.A.R. OFF-MENU REQUEST: 5.53 / 1 OR 82,325.11 SF

REQUIRED OPEN SPACE: 13,350 SF (SEE TABULATION ON AD.23)

DECREASED O.S. OFF-MENU REQUEST: 2,136 SF MIN 18% OR TOTAL REQ'D OR 84% REDUCTION

REQUIRED VEHICULAR BIKE PARKING SPACES: 83 (SEE TABULATION ON AD.21.1)

REQUIRED SHORT TERM BIKE PARKING SPACES: 09 (SEE TABULATION ON AD.21.1)

DENSITY BONUS WINNERS OF DEVELOPMENT STANDARDS

1. OPEN SPACE REDUCTION FROM 13,350 SF TO 2,136 SF (84% REDUCTION)

PER AB 2334, ELIGIBLE HOUSING DEVELOPMENT PROJECTS LOCATED IN THESE AREAS ARE PERMITTED UNLIMITED DENSITY AND ARE GRANTED AN ADDITIONAL 3 STORIES OR 33 FEET IN HEIGHT, AS WELL AS FOUR INCENTIVES / CONCESSIONS:

PER AB 2334, ELIGIBLE HOUSING DEVELOPMENT PROJECTS LOCATED IN THESE AREAS ARE PERMITTED UNLIMITED DENSITY AND ARE GRANTED AN ADDITIONAL 3 STORIES OR 33 FEET IN HEIGHT, AS WELL AS FOUR INCENTIVES / CONCESSIONS:

BICYCLE PARKING SUMMARY

REQUIRED SPACES

LONG TERM FOR 116 UNITS (12.21A.15)	SHORT TERM FOR 116 UNITS (12.21A.15)
1-25 UNITS: 1 PER 1 UNIT, 25 SPACES	1-25 UNITS: 1 PER 10 UNITS, 2.5 SPACES
26-100 UNITS: 1 PER 15 UNITS, 50 SPACES	26-100 UNITS: 1 PER 20 UNITS, 5 SPACES
101-200 UNITS: 1 PER 20 UNITS, 98 SPACES	101-200 UNITS: 1 PER 20 UNITS, 1 SPACE
TOTAL LONG TERM SPACES REQ'D: 83 SPACES	TOTAL SHORT TERM SPACES REQ'D: 09 SPACES

PROVIDED SPACES

TOTAL LONG-TERM @ GRADE / LOBBY	TOTAL SHORT-TERM @ GRADE / F.Y. SET BACK	TOTAL BICYCLE PARKING PROVIDED
84 SPACES	09 SPACES	93 SPACES

PROPOSED DEVELOPMENT

PROPOSED HEIGHT: 78' - 0" MAX (ZONING CODE), (N/A ALLOWABLE PROJECTIONS)

PROPOSED DENSITY: 116 UNITS

PROPOSED F.A.R.: 5.53 (ROUNDED UP FROM 5.5298) / 1 OR 82,323 SF

PROPOSED VEHICULAR PARKING: 83 TOTAL SPACES (20 STAND, 18 COMP, 6 TANDEM)

PROPOSED LONG TERM BIKE PARKING SPACES: 84 (SEE AD.21.1)

PROPOSED SHORT TERM BIKE PARKING SPACES: 09 (SEE AD.21.1)

ARCHITECTURAL

A0.00 TITLE SHEET

TOPOGRAPHIC SURVEY

A0.01 PARCEL PROFILE REPORT
A0.02 PARCEL PROFILE REPORT
A0.03 PARCEL PROFILE REPORT

A0.23 CODE COMPLIANCE - BUILDING AREA
A0.29 CODE COMPLIANCE - OPEN SPACE & FAR

A2.00 SITE PLAN

A2.11 LEVEL 1 FLOOR PLAN
A2.12 LEVEL 2 FLOOR PLAN
A2.13 LEVEL 3 FLOOR PLAN
A2.14 LEVEL 4 FLOOR PLAN
A2.15 LEVEL 5 FLOOR PLAN
A2.16 LEVEL 6 FLOOR PLAN
A2.17 LEVEL 7 FLOOR PLAN
A2.19 ROOF PLAN

A3.11 BUILDING ELEVATIONS
A3.12 BUILDING ELEVATIONS

A4.01 BUILDING SECTIONS
A4.02 BUILDING SECTIONS

A0.90 ARCHITECTURAL DETAILS - SITE
A0.91 ARCHITECTURAL DETAILS - SITE

LANDSCAPE

L1.00 SITE TABULATIONS

L2.00 PLANT PALETTES

L2.11 LEVEL 1 PLAN
L2.12 LEVEL 2 PLAN
L2.14 LEVEL 4 PLAN

UNIT SUMMARY

PER FLOOR	STUDIOS	1-BEDROOM UNITS	2-BEDROOM UNITS
201 1 BR UNIT 476 SF 202 1 BR UNIT 476 SF 203 1 BR UNIT 476 SF 204 1 BR UNIT 476 SF 205 1 BR UNIT 476 SF 206 1 BR UNIT 476 SF 207 1 BR UNIT 476 SF 208 1 BR UNIT 476 SF 209 1 BR UNIT 476 SF 210 1 BR UNIT 476 SF 211 1 BR UNIT 476 SF 212 1 BR UNIT 476 SF 213 1 BR UNIT 476 SF 214 1 BR UNIT 476 SF 215 1 BR UNIT 476 SF 216 1 BR UNIT 476 SF 217 1 BR UNIT 476 SF 218 1 BR UNIT 476 SF 219 1 BR UNIT 476 SF 220 1 BR UNIT 476 SF 221 1 BR UNIT 476 SF 222 1 BR UNIT 476 SF TOTAL: 22	201 2 BR UNIT 608 SF 202 2 BR UNIT 608 SF 203 2 BR UNIT 608 SF 204 2 BR UNIT 608 SF 205 2 BR UNIT 608 SF 206 2 BR UNIT 608 SF 207 2 BR UNIT 608 SF 208 2 BR UNIT 608 SF 209 2 BR UNIT 608 SF 210 2 BR UNIT 608 SF 211 2 BR UNIT 608 SF 212 2 BR UNIT 608 SF 213 2 BR UNIT 608 SF 214 2 BR UNIT 608 SF 215 2 BR UNIT 608 SF 216 2 BR UNIT 608 SF 217 2 BR UNIT 608 SF 218 2 BR UNIT 608 SF 219 2 BR UNIT 608 SF 220 2 BR UNIT 608 SF 221 2 BR UNIT 608 SF 222 2 BR UNIT 608 SF TOTAL: 22	201 1 BR UNIT 381 SF 202 1 BR UNIT 381 SF 203 1 BR UNIT 381 SF 204 1 BR UNIT 381 SF 205 1 BR UNIT 381 SF 206 1 BR UNIT 381 SF 207 1 BR UNIT 381 SF 208 1 BR UNIT 381 SF 209 1 BR UNIT 381 SF 210 1 BR UNIT 381 SF 211 1 BR UNIT 381 SF 212 1 BR UNIT 381 SF 213 1 BR UNIT 381 SF 214 1 BR UNIT 381 SF 215 1 BR UNIT 381 SF 216 1 BR UNIT 381 SF 217 1 BR UNIT 381 SF 218 1 BR UNIT 381 SF 219 1 BR UNIT 381 SF 220 1 BR UNIT 381 SF 221 1 BR UNIT 381 SF 222 1 BR UNIT 381 SF TOTAL: 22	201 2 BR UNIT 648 SF 202 2 BR UNIT 648 SF 203 2 BR UNIT 648 SF 204 2 BR UNIT 648 SF 205 2 BR UNIT 648 SF 206 2 BR UNIT 648 SF 207 2 BR UNIT 648 SF 208 2 BR UNIT 648 SF 209 2 BR UNIT 648 SF 210 2 BR UNIT 648 SF 211 2 BR UNIT 648 SF 212 2 BR UNIT 648 SF 213 2 BR UNIT 648 SF 214 2 BR UNIT 648 SF 215 2 BR UNIT 648 SF 216 2 BR UNIT 648 SF 217 2 BR UNIT 648 SF 218 2 BR UNIT 648 SF 219 2 BR UNIT 648 SF 220 2 BR UNIT 648 SF 221 2 BR UNIT 648 SF 222 2 BR UNIT 648 SF TOTAL: 22

SUMMARY

	TOT #	AVG SF	NET RENTABLE SF
STUDIO	15	358.06 SF	5,341 SF
1-BEDRM	31	444.58 SF	13,782 SF
2-BEDRM	70	588.31 SF	41,182 SF
TOTALS	116	519.87 SF	60,305 SF



EXHIBIT "A"
Page No. 1 of 21
Case No. ADM-2024-3241-DB-VHCA-ED1

THE ABOVE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGN, AND ARRANGEMENTS SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, DISCLOSED, TO OTHERS, OR USED IN ANY PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT SHALL CONSTITUTE OF THESE RESTRICTIONS.

Revision No.	Date

Albert Group
1745 Berkeley Street | Santa Monica, CA 90404



RAMSGATE APARTMENTS
9033, 9037, 9043 RAMSGATE AVENUE
LOS ANGELES, CA 90045

PROJECT NUMBER: 2325
PROJECT PHASE: SCHEMATIC DESIGN 1.7.5
SHEET ISSUE DATE: JULY 2, 2024
SHEET NAME: TITLE SHEET
SHEET NUMBER: A0.00

PRELIMINARY TITLE REPORT

PRELIMINARY TITLE REPORT NO. 202401434-06, DATED JANUARY 30, 2024, PREPARED BY OLD REPUBLIC TITLE COMPANY, 101 N. BRAND BLVD., 14TH FLOOR, GLENDALE, CA 91203 WAS USED IN THE PREPARATION OF THIS SURVEY AND IS MADE A PART HEREOF BY REFERENCE.

OWNERSHIP

TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN:

(TO BE DETERMINED), AS TO PARCEL 1, 2, AND 3.

BASIS OF BEARINGS

THE BEARING N 00°14'33" W OF THE CENTERLINE OF RAMSGATE AVE. AS SHOWN ON MAP OF TRACT NO. 15283, AS RECORDED IN BOOK 327 PAGES 31 THROUGH 33 OF MAPS, IN THE OFFICE OF THE LOS ANGELES COUNTY RECORDER, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BENCHMARK #17-01483

SQUARE SPIKE IN SOUTH CURB MANCHESTER AVENUE; 0.7 FEET EAST OF CURB RETURN EAST OF RAMSGATE AVENUE.

ELEVATION = 107.305 FEET

(NAVD 1988) (2000 ADJ.)

LEGAL DESCRIPTION

THE LAND REFERRED TO IS SITUATED IN THE COUNTY OF LOS ANGELES, CITY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

LOT 34 OF TRACT NO. 15283, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 327 PAGE(S) 31 AND 32 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 4125-011-010

PARCEL 2:

LOT 35 OF TRACT NO. 15283, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 327 PAGE(S) 31 TO 33, INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 4125-011-011

PARCEL 3:

LOT 36 OF TRACT NO. 15283, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 327 PAGES 31 TO 33, INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 4125-011-012

SUMMARY OF SCHEDULE B - SECTION B (NOT SHOWN ON THIS SURVEY)

ITEM NO.	SUBJECT
1	TAX MATTERS
2-4	INTENTIONALLY DELETED
5	THE LEIN OF SUPPLEMENTAL TAXES, IF ANY
6	THE FOLLOWING MATTERS AFFECT PARCEL 1
5, 8	INTENTIONALLY DELETED
9	RESERVATION OF ANTI-CRAWLER EASEMENT AS CONTAINED IN THE SCUMPROOFING INSTALLATION AGREEMENT AND AUTHORIZATION TO PROCEED RECORDED MARCH 17, 1999 AS INSTR. NO. 99-444197 O.R.
10-13	INTENTIONALLY DELETED
14	NOTICE OF SUBSTANDARD AND/OR UNSAFE STRUCTURE BY CODE ENFORCEMENT BUREAU CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY REC. JUNE 18, 2019 AS INSTR. NO. 20190575663 O.R.
15	AN INSTRUMENT ENTITLED "NOTICE OF TEMPORARY VACANT AND SECURED RENTAL UNITS" RECORDED FEBRUARY 4, 2020 AS INSTR. NO. 20200139896 O.R.
16-19	INTENTIONALLY DELETED
20,22,23	THE FOLLOWING MATTERS AFFECT PARCEL 2
21	INTENTIONALLY DELETED
24	ANY RIGHTS, EASEMENTS, INTERESTS OR CLAIMS WHICH MAY EXIST OR ARISE BY REASON OF OR REFLECTED BY THE FACTS SHOWN ON THE PLAT OF A SURVEY MADE BY VOORHEIS & VOORHEIS, ON AUGUST 28, 2018, DESIGNATED JOB NO. 17036, AS FOLLOWS: A) A 0.47' ENCROACHMENT OF A CONCRETE WALKWAY INTO THE STREET RIGHT-OF-WAY OF RAMSGATE AVE. SURVEYOR'S OBSERVATION: ENCROACHMENT STILL EXISTS. SEE [Symbol]
25-28	INTENTIONALLY DELETED
29	NOTICE OF SUBSTANDARD AND/OR UNSAFE STRUCTURE BY CODE ENFORCEMENT BUREAU CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY REC. JUNE 18, 2019 AS INSTR. NO. 20190575662 O.R.
30	AN INSTRUMENT ENTITLED "NOTICE OF TEMPORARY VACANT AND SECURED RENTAL UNITS" RECORDED FEBRUARY 4, 2020 AS INSTR. NO. 20200139899 O.R.
31-33	INTENTIONALLY DELETED
34	THE FOLLOWING MATTERS AFFECT PARCEL 3
34	INTENTIONALLY DELETED
35,37	ANY RIGHTS, EASEMENTS, INTERESTS OR CLAIMS WHICH MAY EXIST OR ARISE BY REASON OF OR REFLECTED BY THE FACTS SHOWN ON THE PLAT OF A SURVEY MADE BY VOORHEIS & VOORHEIS, ON AUGUST 28, 2018, DESIGNATED JOB NO. 17036, AS FOLLOWS: A) AN ENCROACHMENT OF OVERHEAD UTILITY WIRES ACROSS THE SOUTHERLY BOUNDARY OF THE PROPERTY, FROM A POWER POLE LOCATED ON THE LAND ADJOINING TO THE SOUTH. SURVEYOR'S OBSERVATION: OVERHEAD WIRES HAVE BEEN REMOVED. B) AN ENCROACHMENT OF CONCRETE ONTO THE LAND ADJOINING THE PROPERTY TO THE SOUTH, TO AN UNDISCLOSED AMOUNT. SURVEYOR'S OBSERVATION: ENCROACHMENT STILL EXISTS. SEE [Symbol] C) 0.57' ENCROACHMENT OF AN CONCRETE WALKWAY INTO THE STREET RIGHT-OF-WAY OF RAMSGATE AVE. SURVEYOR'S OBSERVATION: ENCROACHMENT STILL EXISTS. SEE [Symbol]
39-41	INTENTIONALLY DELETED
42	NOTICE OF SUBSTANDARD AND/OR UNSAFE STRUCTURE BY CODE ENFORCEMENT BUREAU CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY REC. JUNE 18, 2019 AS INSTR. NO. 20190575661 O.R.
43	AN INSTRUMENT ENTITLED "NOTICE OF TEMPORARY VACANT AND SECURED RENTAL UNITS" RECORDED FEBRUARY 4, 2020 AS INSTR. NO. 20200139905 O.R.
44-48	INTENTIONALLY DELETED

FLOOD HAZARD STATEMENT

THE SUBJECT PROPERTY LIES ENTIRELY WITHIN FLOOD ZONE "X" (AREAS OF MINOR FLOODING) AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 1202010001P DATED SEPTEMBER 26, 2004, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

SURVEYOR'S CERTIFICATE

TO: SIX PEAK CAPITAL, AND OLD REPUBLIC TITLE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7(a), 7(b)(1), 7(c), 8, 9, 13, 14, 15, 17, 18 AND 19 (81,000,000) OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON MAY 26, 2017 AND A SITE RE-INSPECTION WAS COMPLETED ON JANUARY 31, 2024.

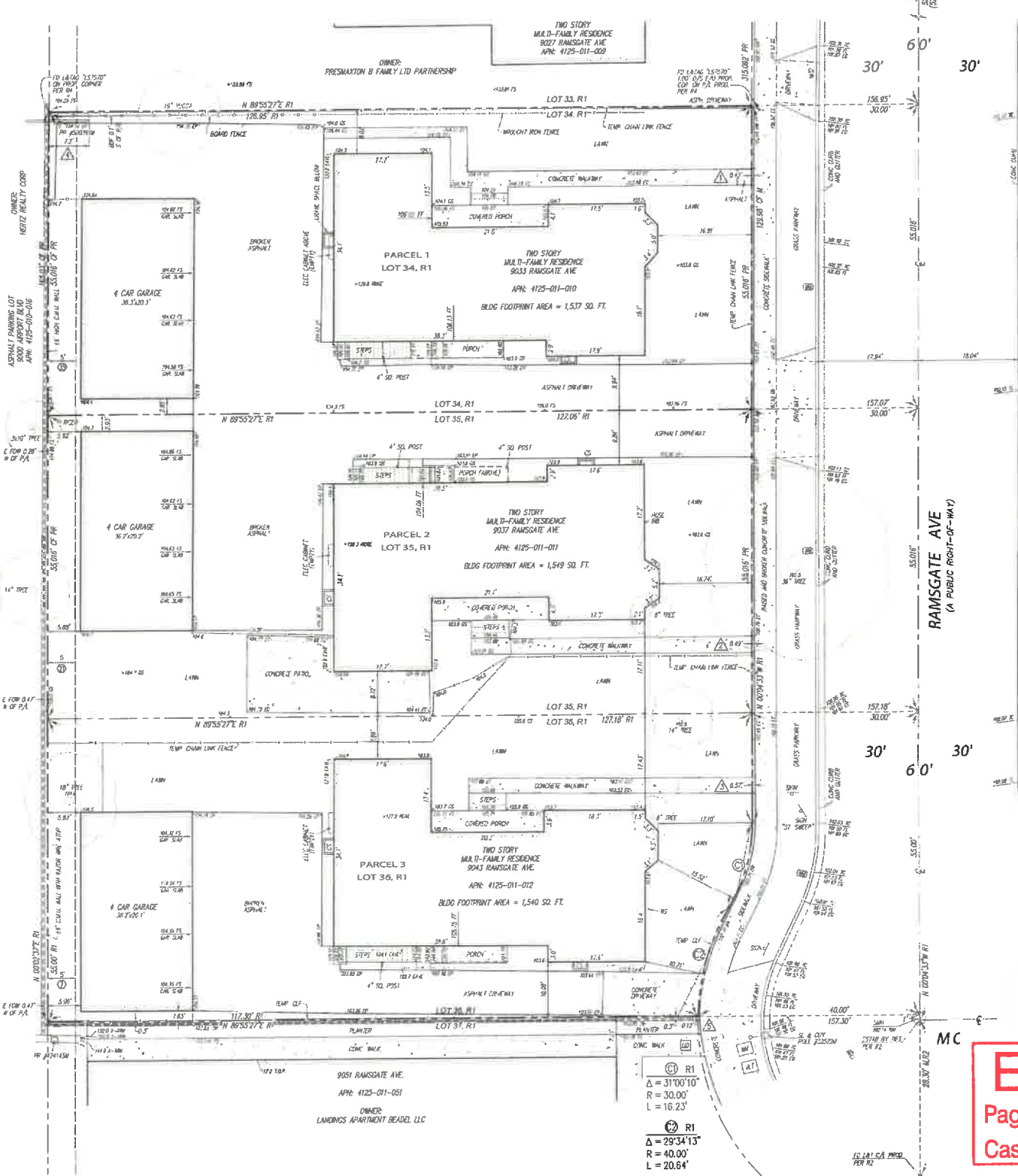
DATE: FEBRUARY 14, 2024

JEFF S. VOORHEIS, L.S. 7570



ADDITIONAL SURVEYOR'S OBSERVATIONS AND NOTES TO SATISFY TABLE A, ITEMS 16 & 17

- THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS.
- ACCORDING TO LA CITY MOBILITY PLAN 2035, THERE IS NO STREET WIDENING REQUIRED ALONG RAMSGATE AVENUE.



AREA	PARKING
PARCEL 1: 6,987 SQ. FT.	PARCEL 1: 4 SPACES
PARCEL 2: 6,994 SQ. FT.	PARCEL 2: 4 SPACES
PARCEL 3: 6,819 SQ. FT.	PARCEL 3: 4 SPACES
TOTAL: 20,799 SQ. FT. (0.477 ACRES)	TOTAL: 12 SPACES

- REFERENCES**
- R1 = TRACT NO. 15283, M.B. 327-31/33
 - R2 = PFWB 0917-823/894
 - R3 = PE70 PAGE 84
 - R4 = PFWB 0917-957/959

ZONING

R3-1
MULTIPLE DWELLING ZONE

NO ZONING REPORT WAS PROVIDED BY THE CLIENT

EASEMENTS

①②③④ AN EASEMENT FOR PUBLIC UTILITIES AS SHOWN ON MAP OF TRACT NO. 15283, M.B. 327-31/33 AFFECTS THE WESTERLY 5 FEET OF SAID LAND

- ENCROACHMENTS**
- ▲ A ASPHALT WALKWAY NEAR THE NORTHEAST CORNER OF PARCEL 1 EXTENDS 0.43 FEET INTO THE PUBLIC RIGHT-OF-WAY OF RAMSGATE AVE.
 - ▲ A CONCRETE WALK NEAR THE SOUTHWEST CORNER OF PARCEL 2 EXTENDS 0.49 FEET INTO THE PUBLIC RIGHT-OF-WAY OF RAMSGATE AVE.
 - ▲ A CONCRETE WALK NEAR THE NORTHEAST CORNER OF PARCEL 3 EXTENDS 0.57 FEET INTO THE PUBLIC RIGHT-OF-WAY OF RAMSGATE AVE.
 - ▲ NEAR THE NORTHWEST CORNER OF PARCEL 1, OVERHEAD CROSSARMS EXTEND 7.5' INTO THE SUBJECT PROPERTY.
 - ▲ AT THE SOUTHWEST CORNER OF PARCEL 3, THE CORNER OF A CONCRETE DRIVEWAY EXTENDS 0.12' ONTO THE ADJOINING PROPERTY TO THE SOUTH

ABBREVIATIONS

ASPH	ASPHALT	GM	GAS METER
BF	BOUND FENCE	GR	GROUND GRID
BLC	BUILDING	GV	GRID VALUE
BP	BACK OF WALK	HR	HIGHWAY
BS	BOUNDARY SURVEY	LD	LEAD AND TIE
CF	CALCULATED FROM	OMP	OVERHEAD POWER
CLF	CHAIN LINK FENCE	OPT	OVERHEAD TELEPHONE
CLL	CONCRETE WALKWAY	OT	OVERHEAD
CONC	CONCRETE	P/L	PROPERTY LINE
CS	CHAIN SPACE	PP	POWER POLE
EC	EDGE OF CONCRETE	PROP	PROPERTY
ED	EDGE OF DUTY	REC	RECORDED
ELEC	ELECTRIC	SAM	SPRING AND WELDER
EP	EDGE OF PAVEMENT	SL	STREET LIGHT
ESB	ESTABLISHED	SM	SEWER MANHOLE
FD	FENCED	TC	TOP OF CURB
FF	FRESH FLOOR	TEMP	TEMPORARY
FM	FINE FINISH	TOP	TOP OF WALL
FL	FLOOR LINE	ULT	ULTIMATE
FLP	FACE UP WALL	WM	WATER METER
FS	FRESH SURFACE	WS	WATER SERVICE
OB	OBSCURE	WV	WATER VALVE

LINETYPES

---	BUILDING LINE
---	CENTER LINE
---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	FENCE LINE (SIZE, TYPE AS NOTED)
---	UTILITY LINE (TYPE AS NOTED)
---	WALL (SIZE, TYPE AS NOTED)

SYMBOL LEGEND

---	TRAIL (SIZE, TYPE AS NOTED)
⊗	GAS METER
⊕	WATER METER
⊙	MONUMENT FOUND (SIZE, TYPE AS NOTED)

EXHIBIT "A"

Page No. 2 of 21

Case No. ADM-2024-3241-DB-VHCA-ED1

REVISIONS:

DATE	BY	DESCRIPTION
2/9/24	M.C.	REVISED PER NEW P.L.R. AND SITE RE-INSPECTION

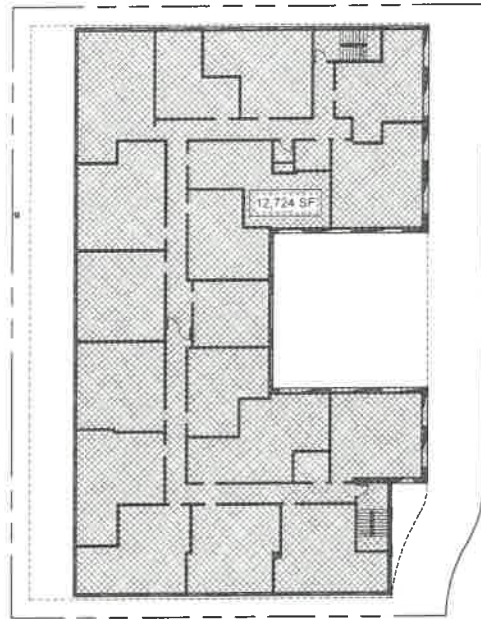
SIX PEAK CAPITAL
20 W 25RD ST., SUITE 1001
NEW YORK, NY 10010
Phone:

ALTA/NSPS LAND TITLE SURVEY
9033, 9037 AND 9043 RAMSGATE AVE.
LOS ANGELES, CA 90048
JOB NO. 2401K (1705E)
DATE: 2/14/2024

VOORHEIS & VOORHEIS, INC.
Professional Land Surveyors Since 1924
17048 Sumbul Street, Northridge, CA 91325
Phone: (818) 965-0811
mail@svwva.com

SHEET
8
1
1

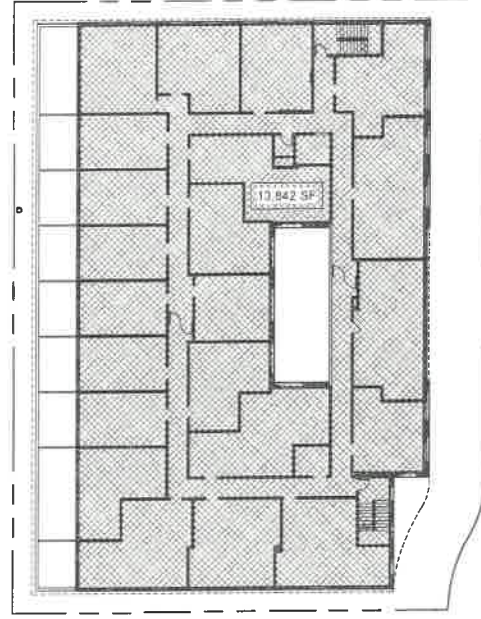
FOR REFERENCE ONLY



LEVEL 5, 6 & 7 BUILDING AREA

SCALE:
1" = 20'-0"

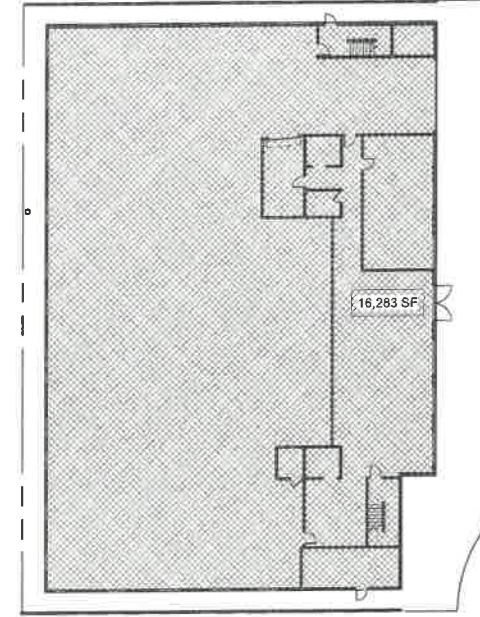
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LEVEL 3 BUILDING AREA

SCALE:
1" = 20'-0"

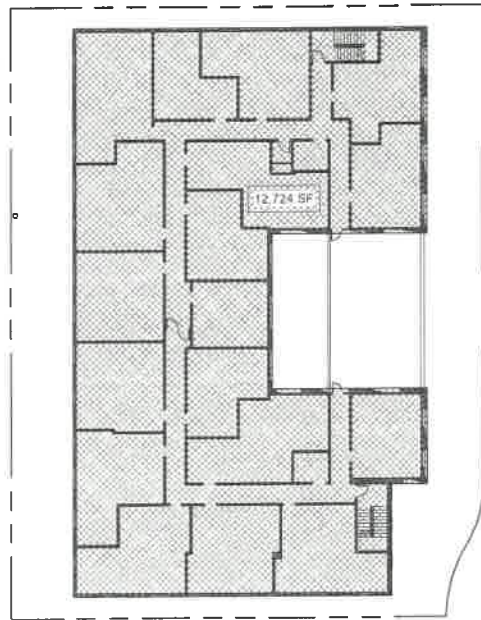
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LEVEL 1 BUILDING AREA

SCALE:
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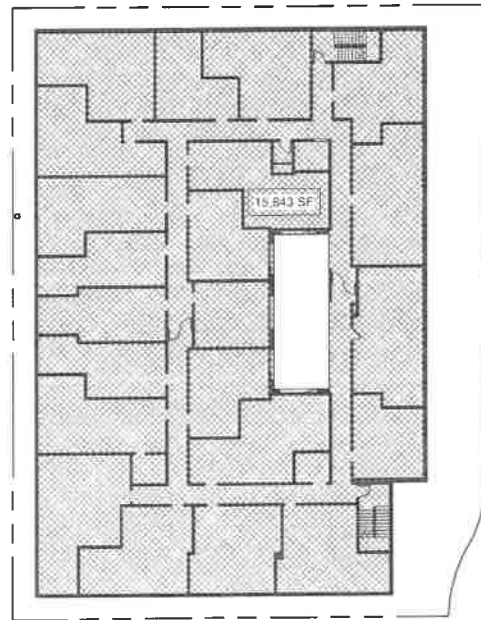
1



LEVEL 4 BUILDING AREA

SCALE:
1" = 20'-0"

4



LEVEL 2 BUILDING AREA

SCALE:
1" = 20'-0"

2



BUILDABLE AREA DIAGRAM

BUILDING CODE AREA

STORY	AREA
LEVEL 1	16,283 SF
LEVEL 2	15,843 SF*
LEVEL 3	13,842 SF**
LEVEL 4	12,724 SF***
LEVEL 5	12,724 SF
LEVEL 6	12,724 SF
LEVEL 7	12,724 SF
TOTAL	96,664 SF

* DOES NOT INCLUDE CENTER COURTYARD = 827 SF
 ** DOES NOT INCLUDE REAR YARD DECKS = 1,899 SF
 *** DOES NOT INCLUDE UPPER COURTYARD AREA = 1,091 SF



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Revision No.	Revision Desc.	Revision Date

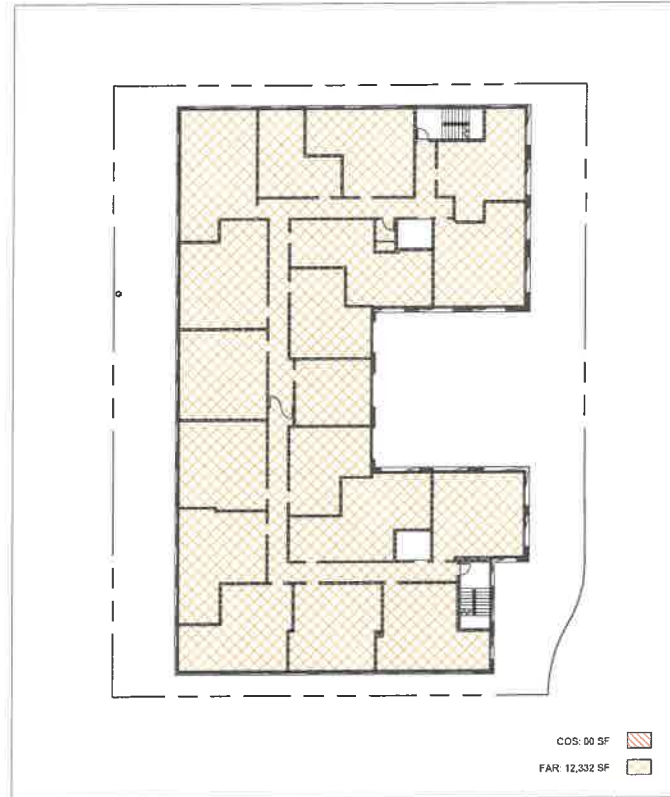
Albert Group
 1745 Berkeley Street | Santa Monica, CA 90404



RAMSGATE APARTMENTS
 9033, 9037, 9043 RAMSGATE AVENUE
 LOS ANGELES, CA 90045

PROJECT NUMBER: 2325
 PROJECT PHASE: SCHEMATIC DESIGN 1.7.5
 SHEET ISSUE DATE: JULY 2, 2024
 SHEET NAME: CODE COMPLIANCE - BUILDING AREA
 SHEET NUMBER: **A0.28**

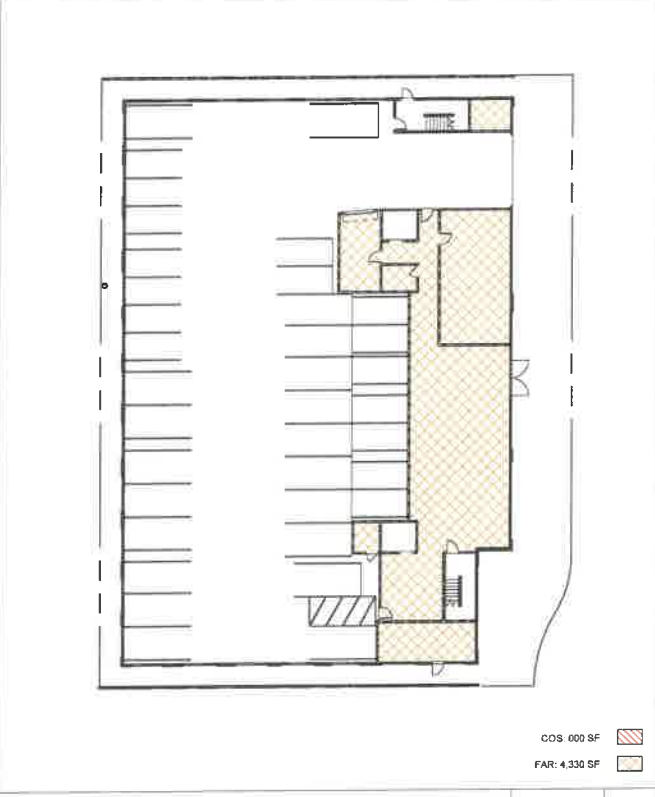
EXHIBIT "A"
 Page No. 3 of 21
 Case No. ADM-2024-3241-DB-VHCA-ED1



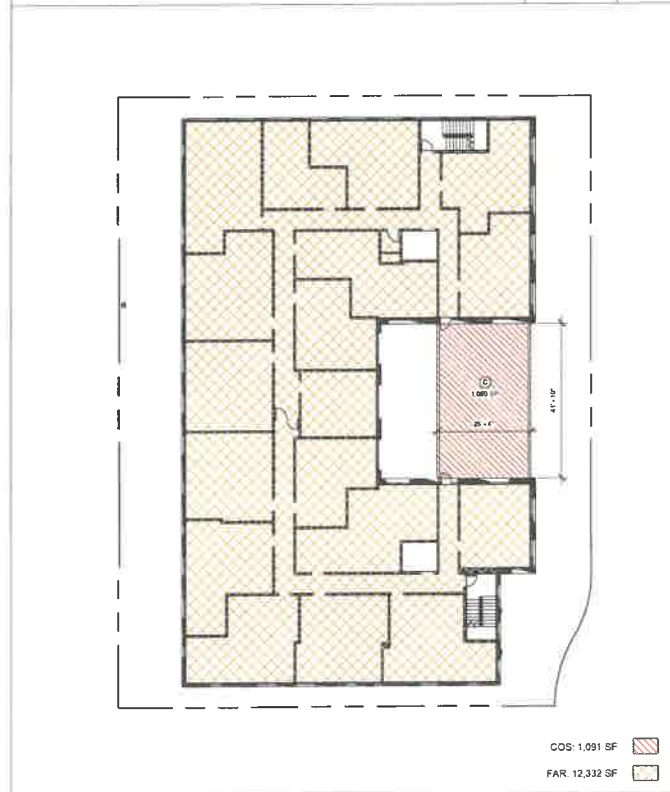
LEVEL 5, 6 & 7 FAR & O.S. SCALE: 1" = 20'-0" 5



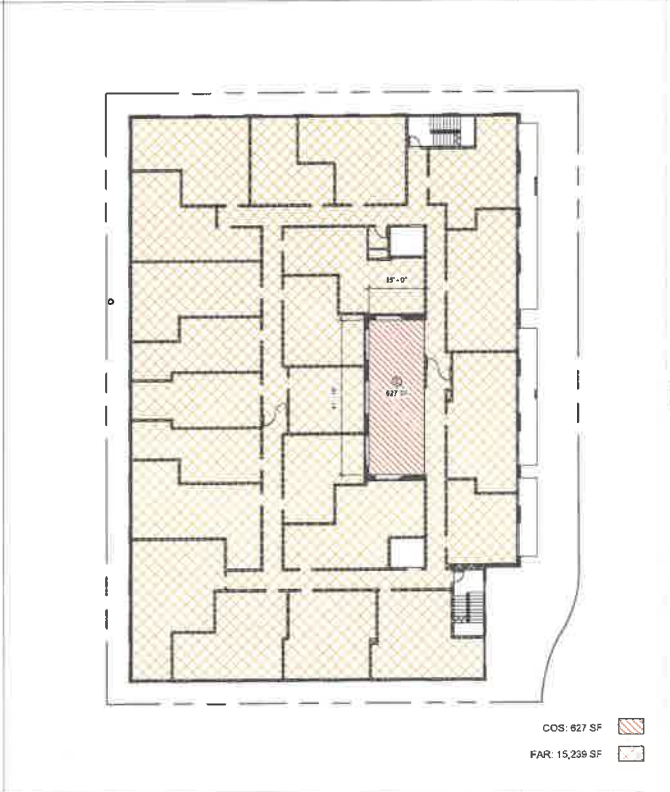
LEVEL 3 FAR & O.S. SCALE: 1" = 20'-0" 3



LEVEL 1 AREA & O.S. SCALE: 1" = 20'-0" 1



LEVEL 4 FAR & O.S. SCALE: 1" = 20'-0" 4



LEVEL 2 FAR & O.S. SCALE: 1" = 20'-0" 2

Metro Bus & Shuttle											
LINE	WEEKDAY		SATURDAY		SUNDAY						
	IN	OUT	IN	OUT	IN	OUT					
1	7:15	7:30	8:15	8:30	8:15	8:30					
2	7:30	7:45	8:30	8:45	8:30	8:45					
3	7:45	8:00	8:45	9:00	8:45	9:00					
4	8:00	8:15	9:00	9:15	8:45	9:00					
5	8:15	8:30	9:15	9:30	9:00	9:15					
6	8:30	8:45	9:30	9:45	9:15	9:30					
7	8:45	9:00	9:45	10:00	9:30	9:45					
8	9:00	9:15	10:00	10:15	9:45	10:00					
9	9:15	9:30	10:15	10:30	10:00	10:15					
10	9:30	9:45	10:30	10:45	10:15	10:30					
11	9:45	10:00	10:45	11:00	10:30	10:45					
12	10:00	10:15	11:00	11:15	10:45	11:00					
13	10:15	10:30	11:15	11:30	11:00	11:15					
14	10:30	10:45	11:30	11:45	11:15	11:30					
15	10:45	11:00	11:45	12:00	11:30	11:45					
16	11:00	11:15	12:00	12:15	11:45	12:00					
17	11:15	11:30	12:15	12:30	12:00	12:15					
18	11:30	11:45	12:30	12:45	12:15	12:30					
19	11:45	12:00	12:45	1:00	12:30	12:45					
20	12:00	12:15	1:00	1:15	12:45	13:00					
21	12:15	12:30	1:15	1:30	13:00	13:15					
22	12:30	12:45	1:30	1:45	13:15	13:30					
23	12:45	1:00	1:45	2:00	13:30	13:45					
24	1:00	1:15	2:00	2:15	13:45	14:00					
25	1:15	1:30	2:15	2:30	14:00	14:15					
26	1:30	1:45	2:30	2:45	14:15	14:30					
27	1:45	2:00	2:45	3:00	14:30	14:45					
28	2:00	2:15	3:00	3:15	14:45	15:00					
29	2:15	2:30	3:15	3:30	15:00	15:15					
30	2:30	2:45	3:30	3:45	15:15	15:30					
31	2:45	3:00	3:45	4:00	15:30	15:45					
32	3:00	3:15	4:00	4:15	15:45	16:00					
33	3:15	3:30	4:15	4:30	16:00	16:15					
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38	4:30	4:45	5:30	5:45	17:15	17:30					
39	4:45	5:00	5:45	6:00	17:30	17:45					
40	5:00	5:15	6:00	6:15	17:45	18:00					
41	5:15	5:30	6:15	6:30	18:00	18:15					
42	5:30	5:45	6:30	6:45	18:15	18:30					
43	5:45	6:00	6:45	7:00	18:30	18:45					
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46	6:30	6:45	7:30	7:45	19:15	19:30					
47	6:45	7:00	7:45	8:00	19:30	19:45					
48	7:00	7:15	8:00	8:15	19:45	20:00					
49	7:15	7:30	8:15	8:30	20:00	20:15					
50	7:30	7:45	8:30	8:45	20:15	20:30					



DISTANCE TO MAJOR TRANSIT STOP

OPEN SPACE SUMMARY

LOS ANGELES MUNICIPAL CODE [12.21 G]

OPEN SPACE REQUIRED			
UNIT SIZE	REQ'D SF PER UNIT	PROPOSED NO. OF UNITS	SUBTOTAL REQUIRED
< 3 HABITABLE RMS	100 SF	46	4,600 SF
= 3 HABITABLE RMS	125 SF	70	8,750 SF
> 3 HABITABLE RMS	175 SF	00	00 SF
SUB-TOTAL REQUIRED			13,350 SF
REQUESTED REDUCTION			84% OR 11,214 SF
TOTAL REQUIRED			16% OR 2,136 SF

OPEN SPACE PROVIDED				
FLOOR LVL	P.O.S.	ENCL. C.O.S.	EXT. C.O.S.	SUBTOTAL PROVIDED
LEVEL 1	-	-	-	-
LEVEL 2	-	-	827 SF	827 SF
LEVEL 3	450 SF	-	-	450 SF
LEVEL 4	-	-	1,039 SF	1,039 SF
LEVEL 5	-	-	-	-
LEVEL 6	-	-	-	-
LEVEL 7	-	-	-	-
LEVEL 8	-	-	-	-
ROOF	-	-	-	-
SUBTOTAL	450 SF	-	1,868 SF	2,138 SF
TOTAL OPEN SPACE PROVIDED				2,138 SF

FLOOR AREA RATIO TABULATION

STORY	AREA
LEVEL 1	4,330 SF
LEVEL 2	15,239 SF
LEVEL 3	13,426 SF
LEVEL 4	12,332 SF
LEVEL 5	12,332 SF
LEVEL 6	12,332 SF
LEVEL 7	12,332 SF
TOTAL	82,323 SF

LEGEND

- (P) PRIVATE OPEN SPACE, COMPLIANT WITH LAMC 12.21 G.2 (b)
- (C) COMMON OPEN SPACE, COMPLIANT WITH LAMC 12.21 G.2 (a)
- [Yellow Hatched] FLOOR AREA (F.A.R.) - EXTENTS OF AREAS INCLUDED IN THE TABULATION, CONSISTENT W/ LAMC 12.03 DEFINITION
- [Red Hatched] OPEN SPACE - EXTENTS OF AREAS INCLUDED IN THE TABULATION

THE ABOVE DRAWINGS, SPECIFICATIONS, NOTES AND CONDITIONS SHALL BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER WORK ON PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

Revision No.	Revision Date	Revision Description

Albert Group
1745 Berkeley Street | Santa Monica, CA 90404

RAMSGATE APARTMENTS
9033, 9037, 9045 RAMSGATE AVENUE
LOS ANGELES, CA 90045

PROJECT NUMBER: 2325
PROJECT PHASE: SCHEMATIC DESIGN 1.7.5
SHEET ISSUE DATE: JULY 2, 2024
SHEET NAME: CODE COMPLIANCE - OPEN SPACE & FAR
SHEET NUMBER: **A0.29**

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
PRELIMINARY ZONING ASSESSMENT COMPLETE
BY: MEGAN KOLP
DATE: 07/23/2024
APPLICATION #: 24010 - 10001 - 00572

EXHIBIT "A"
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Case No. ADM-2024-3241-DB-VHCA-ED1

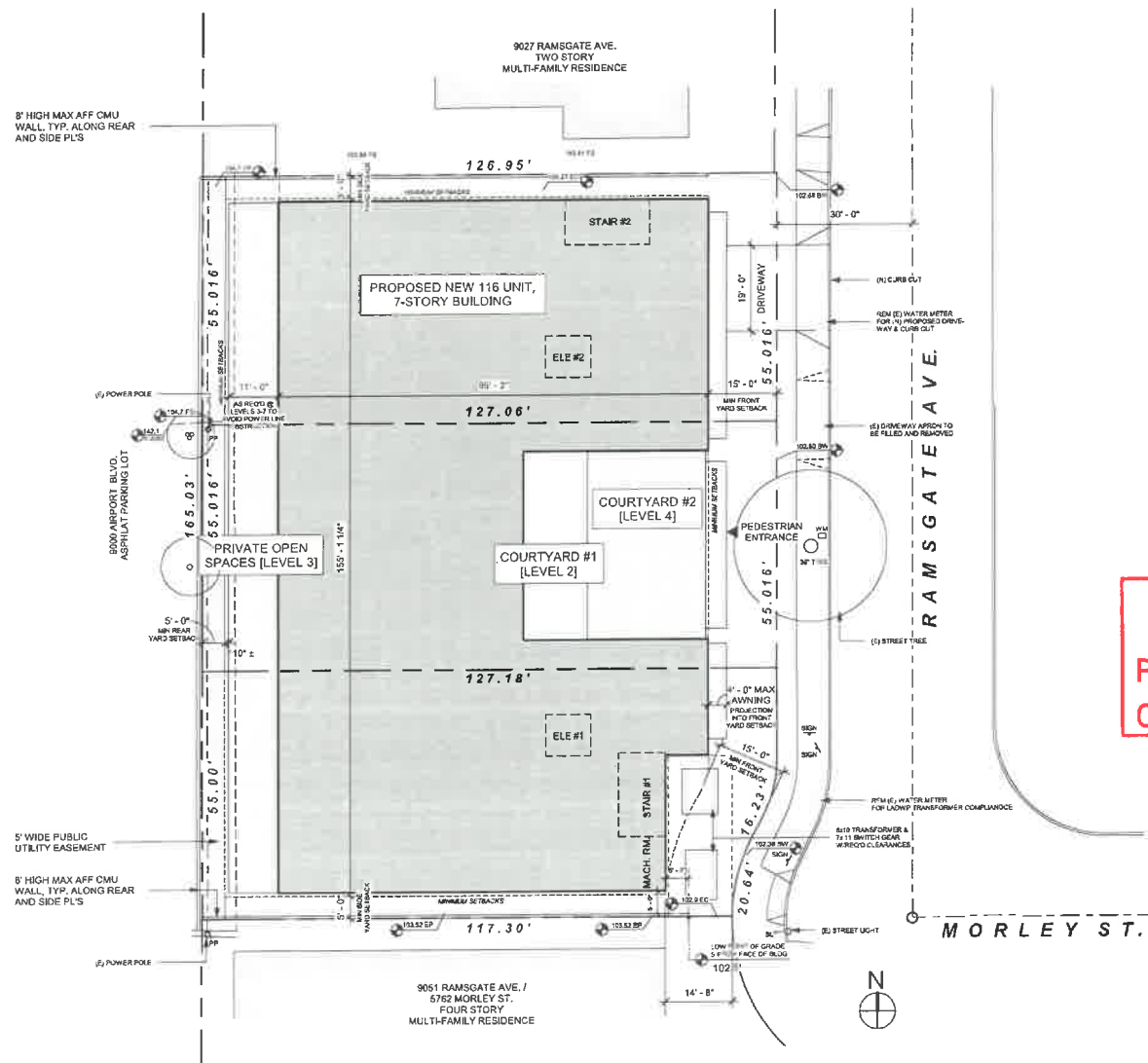


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Case No. ADM-2024-3241-DB-VHCA-ED1

SITE PLAN SCALE: 1/16" = 1'-0" **1**

RECYCLING NOTES FROM SECTIONS 12-21.119, C(4) THROUGH 12-21.120(D)

1. TO ENCOURAGE ACTIVE PARTICIPATION IN RECYCLING TO THE MAXIMUM EXTENT POSSIBLE, EACH PROPERTY OWNER, MANAGER, OR LESSEE SHALL INFORM ALL TENANTS AND/OR EMPLOYEES LIVING OR WORKING ON THE PROPERTY OF THE AVAILABILITY AND LOCATION OF THE RECYCLING AREA(S) OR ROOM(S). THE TYPES OF MATERIALS THAT ARE COLLECTED FOR RECYCLING, THAT THE RECYCLING COLLECTION FACILITIES ARE LOCATED ON THE PROPERTY PURSUANT TO STATE LAW REQUIRING THE DIVERSION OF A SUBSTANTIAL PORTION OF SOLID WASTE.
2. EACH PROPERTY OWNER OR LESSEE SHALL CONTRACT WITH A RECYCLER OR HAULER FOR THE PICK-UP OF RECYCLABLE MATERIALS, SEPARATE FROM TRASH COLLECTION, WHEN RECYCLABLES ARE FULL OR EVERY WEEK, WHICHEVER OCCURS FIRST.
3. NO TOXIC OR HAZARDOUS MATERIAL SHALL BE STORED IN RECYCLING AREAS OR ROOMS RECYCLING OR RECYCLABLES.
4. ALL RECYCLABLE MATERIALS SHALL BE PLACED OR STORED IN RECYCLING RECEPTACLES, PAPER PRODUCTS AND OTHER LIGHTWEIGHT MATERIALS SHALL BE IMMEDIATELY PLACED INTO COVERED RECYCLING RECEPTACLES WHEN THEY ARE DROPPED OFF.
5. ON A DAILY BASIS THE RECYCLING AREA OR ROOM SHALL BE KEPT FREE OF LITTER, DEBRIS, SPILLAGE, BUGS, RODENTS, ODORS, AND OTHER SIMILAR UNDESIRABLE HAZARDS.
6. THE RECYCLING AREA OR ROOM SHALL BE CLEARLY IDENTIFIED BY ONE OR MORE SIGNS DESIGNATING IT FOR RECYCLING COLLECTION AND LOADING.
7. THE RECYCLING AREA OR ROOM SHALL BE AVAILABLE FOR USE BY PERSONS RESIDING OR EMPLOYED ON THE PROPERTY, BUT SHALL BE KEPT SECURED FROM UNAUTHORIZED ENTRY BY THE GENERAL PUBLIC.
8. RECYCLING AREAS OR ROOMS SHALL NOT DIMINISH THE REQUIRED NUMBER OF PARKING SPACES OR IMPAIR TRAFFIC FLOW.
9. RECYCLING AREAS OR ROOMS SHALL BE PLACED ALONGSIDE OF TRASH AREAS OR ROOMS WHEREVER POSSIBLE AND SHALL COMPLY WITH THE FOLLOWING: (AMENDED BY ORD. NO. 181,227, EFF. 8/1/18).
 - A. RECYCLING ROOMS SHALL COMPLY WITH SECTION 91.6102 OF THIS CODE AND MUST BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM PURSUANT TO SECTION 57.304.2.2 OF THIS CODE.
 - B. OUTDOOR RECYCLING AREAS IN COMMERCIAL, INDUSTRIAL, OR PUBLIC FACILITIES, OR RESIDENTIAL BUILDINGS HAVING FOUR OR MORE LIVING UNITS SHALL BE CONFINED TO THE REAR ONE-HALF OF THE LOT AND SHALL NOT EXCEED AN AREA OF 300 SQUARE FEET.
 - C. OUTDOOR RECYCLING AREAS SHALL BE COMPLETELY ENCLOSED BY AN EIGHT-FOOT WALL OR CHAIN LINK FENCE WITH WOODEN SLATES, CONCRETE BLOCK, OR SIMILAR CONSTRUCTION (ENCLOSURE) WITH GATES OF THE SAME HEIGHT. NO MATERIAL SHALL EXCEED THE HEIGHT OF THE WALL OR FENCE. THE ENCLOSURE SHALL BE CONSTRUCTED WITH A CONCRETE FLOOR SLOPED TO DRAIN, AND A WATER FAUCET FOR HOSE ATTACHMENT SHALL BE LOCATED ADJACENT TO OR WITHIN THE ENCLOSURE. THE ENCLOSURE SHALL BE SECURED BY A LOCKING GATE.
 - D. PURSUANT TO SECTION 57.304.2.2 OF THE CODE, OUTDOOR RECYCLING AREAS SHALL BE LOCATED A MINIMUM OF 10 FEET FROM ANY BUILDING OR BUILDING OPENING EXCEPT WHEN LOCATED ADJACENT TO A MINIMUM ONE-HOUR WALL AND A MINIMUM OF 10 FEET FROM ANY BUILDING OPENING.

THE ABOVE DRAWINGS, SPECIFICATIONS, NOTES AND CONDITIONS REPRESENT THE ARCHITECT'S INTENT AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, REPRODUCED, TRANSMITTED, OR DISTRIBUTED IN CONNECTION WITH ANY OTHER WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND ANY REUSE OF ANY PART OF THIS DRAWING OR THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

Revision	Date

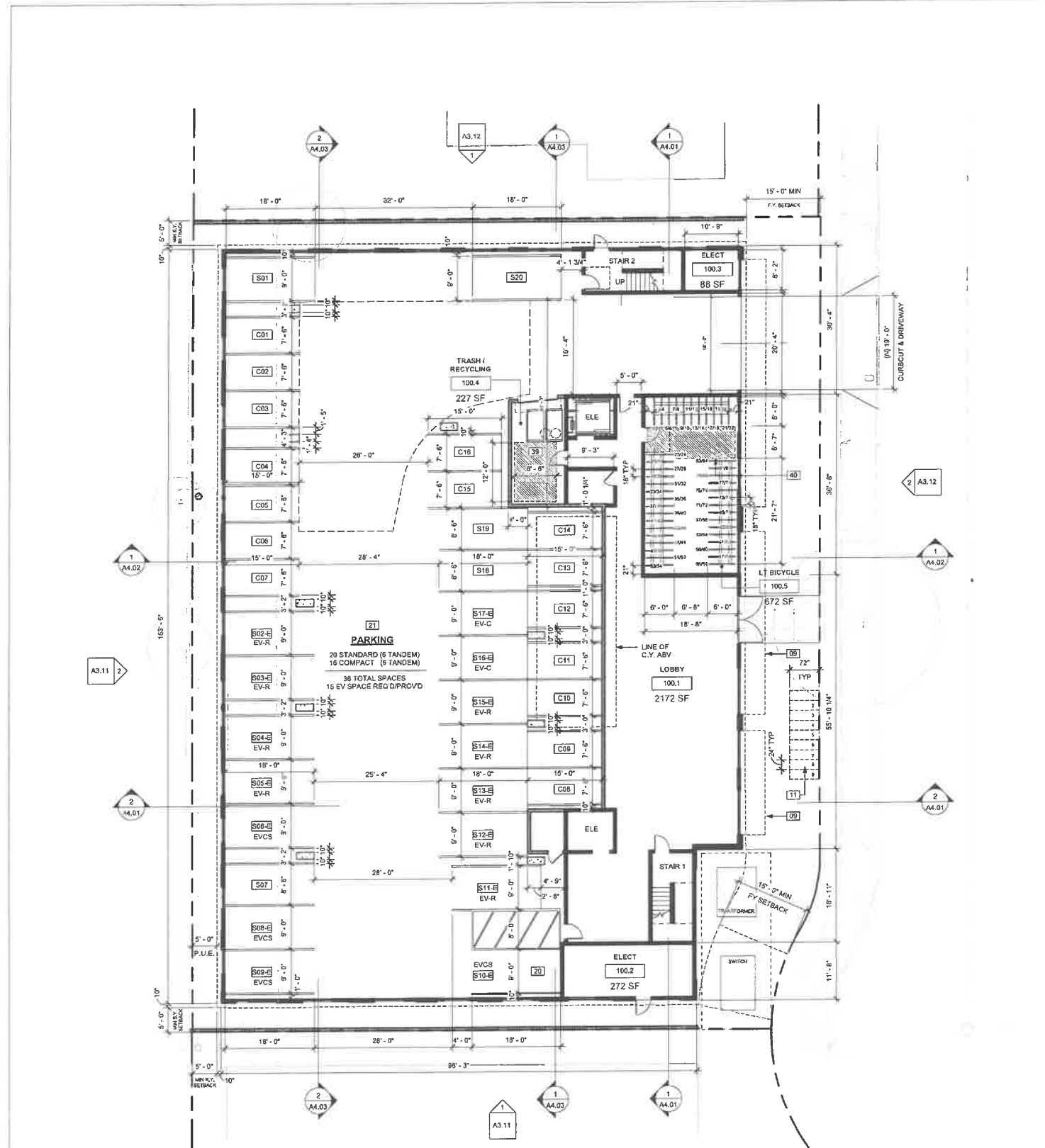
Albert Group
1745 Berkeley Street | Santa Monica, CA 90404



RAMSGATE APARTMENTS
9033, 9037, 9043 RAMSGATE AVENUE
LOS ANGELES, CA 90045

PROJECT NUMBER: 2325
PROJECT PHASE: SCHEMATIC DESIGN 1.7.5
SHEET ISSUE DATE: JULY 2, 2024
SHEET NAME: SITE PLAN
SHEET NUMBER: **A2.00**

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
PRELIMINARY ZONING ASSESSMENT COMPLETE BY: MEGAN KOLP
DATE: 07/23/2024
APPLICATION #: 24010 - 10001 - 00572



FIRST FLOOR PLAN SCALE: 3/32" = 1'-0" 1

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AUTOMOBILE PARKING SUMMARY
 REQUIRED SPACES

PER AS 2097, NO PARKING IS REQUIRED FOR THIS PROPOSED DEVELOPMENT.

REQUIRED SPACES (BASED ON THE 36 SPACES PROVIDED)

ACCESSIBLE SPACES (3% + 2% = 7%)	01 SPACE
ACCESSIBLE VAN	01 SPACE
ACCESSIBLE VAN EVCS	01 SPACE
EV-C CAPABLE SPACES (36 x 30% = 10.8)	11 SPACES
EV-R READY SPACES (36 x 25% = 9)	09 SPACES
EVCS SPACES (36 x 10% = 3.6)	04 SPACES

PROVIDED SPACES

LEVEL 1	TOTAL: 36 SPACES
STANDARD (TANDEM)	12 SPACES
STANDARD (TANDEM)	08 SPACES
COMPACT (TANDEM)	09 SPACES
COMPACT (TANDEM)	07 SPACES
ACCESSIBLE VAN	01 SPACE
ACCESSIBLE VAN EVCS	01 SPACE
EV-C CAPABLE (INCL 9 EV-R)	11 SPACES
EV-R READY	09 SPACES
EVCS	04 SPACES

BICYCLE PARKING SUMMARY
 REQUIRED SPACES

LONG TERM FOR 116 UNITS (12.21A.16)

1-25 UNITS	1 SPACE PER 1 UNIT	25 SPACES
26-100 UNITS	1 SPACE PER 1.5 UNIT	60 SPACES
101-200 UNITS	1 SPACE PER 2 UNITS	06 SPACES
TOTAL LONG TERM SPACES REQUIRED		83 SPACES

SHORT TERM FOR 116 UNITS (12.21A.16)

1-25 UNITS	1 SPACE PER 10 UNITS	2.5 SPACES
26-100 UNITS	1 SPACE PER 15 UNITS	5 SPACES
101-200 UNITS	1 SPACE PER 20 UNITS	1 SPACE
TOTAL SHORT TERM SPACES REQUIRED		09 SPACES
TOTAL BICYCLE PARKING REQUIRED:		92 SPACES

PROVIDED SPACES

TOTAL LONG-TERM @ GRADE / LOBBY	84 SPACES
TOTAL SHORT-TERM @ GRADE F.Y SET BACK	09 SPACES
TOTAL BICYCLE PARKING PROVIDED:	93 SPACES

PLAN KEYNOTES

- RECYCLING AND TRASH CHUTES (ONE OF EACH) WITH 90 MINUTE RATED CHUTE DOORS, HARDWARE TO BE ADA COMPLIANT WITH MAX MOUNTING HT OF 48" AFF. RECYCLING CHUTE SHALL BE CLEARLY MARKED "RECYCLING ONLY" AT EVERY POINT OF ENTRY. LAMC 12.21.119(c).
- LINE OF BUILDING / BALCONIES / AWNING ABOVE
- SHORT TERM BICYCLE PARKING RACKS, 9 SPACES REQ'D & PROVIDED, SEE 2(A).91 FOR RACK DTLS
- PARKING SPACE AND LOADING ZONE AND DESIGNED TO MEET THE MIN REQ'S OF LABC 1102A AND 119-028.2.3 WITH A MAX SLOPE OF 2% IN ANY DIRECTION & 8'-2" MIN VERTICAL CLEARANCE FROM STREET TO EXTENT OF PARKING SPACE AND LOADING, ACCESSIBLE SPACE AND LOADING TO BE STRIPED PER 9A.09. ALL OTHER SPACES PER 2(A).20.
- RESIDENTIAL PARKING, ALL SPACES ARE ASSIGNED, PER LAMC 12.21 A.5.(b) (2) TANDEM ARE ALLOWED IN PARKING AREAS SERVING APARTMENT, MULTI-FAMILY BUILDINGS, TANDEM SPACES, ONE STANDARD SPACE AND ONE STACKED COMPACT SPACE, SHALL BE ASSIGNED TO A SINGULAR UNIT.
- HATCHED AREA ED. TO MINIMUM 100 SF OF RECYCLING SPACE AS REQ'D PER LAMC 12.21.119.2.2.1
- 2" WIDE DECKER LONG TERM BICYCLE RACKS WITH MECHANICAL ASSISTANCE FOR LIFTING BICYCLES, ACCOMMODATING 94 TOTAL SPACES WITH 100 SF WORK AREA, AS DESIGNATED BY DIMENSIONED HATCHED AREA, SEE 1(A).91 FOR LONG TERM BICYCLE RACK DETAILS, 100" VERTICAL CLR SPACE PROVIDED AS REQ'D BY MANUFACTURER

RECYCLING NOTES FROM SECTIONS 12.21A.19 (C)(4) THROUGH (17)(D)

- TO ENCOURAGE ACTIVE PARTICIPATION IN RECYCLING TO THE MAXIMUM EXTENT POSSIBLE, EACH PROPERTY OWNER, MANAGER, OR LESSEE SHALL INFORM ALL TENANTS AND/OR EMPLOYEES LIVING OR WORKING ON THE PROPERTY OF THE AVAILABILITY AND LOCATION OF THE RECYCLING AREA(S) OR ROOM(S), THE TYPES OF MATERIALS THAT ARE COLLECTED FOR RECYCLING, THAT THE RECYCLING COLLECTION FACILITIES ARE LOCATED ON THE PROPERTY PURSUANT TO STATE LAW REQUIRING THE DIVERSION OF A SUBSTANTIAL PORTION OF SOLID WASTE.
- EACH PROPERTY OWNER OR LESSEE SHALL CONTRACT WITH A RECYCLER OR HAULER FOR THE PICK-UP OF RECYCLABLE MATERIALS, SEPARATE FROM TRASH COLLECTION, WHEN RECEPTACLES ARE FULL OR EVERY WEEK, WHICHEVER OCCURS FIRST.
- NO TOXIC OR HAZARDOUS MATERIAL SHALL BE STORED IN RECYCLING AREAS OR ROOMS RECYCLING OR RECEPTACLES.
- ALL RECYCLABLE MATERIALS SHALL BE PLACED OR STORED IN RECYCLING RECEPTACLES, PAPER PRODUCTS AND OTHER LIGHTWEIGHT MATERIALS SHALL BE IMMEDIATELY PLACED INTO COVERED RECYCLING RECEPTACLES WHEN THEY ARE DROPPED OFF.
- ON A DAILY BASIS THE RECYCLING AREA OR ROOM SHALL BE KEPT FREE OF LITTER, DEBRIS, SPILLAGE, BUGS, RODENTS, ODORS, AND OTHER SIMILAR UNDESIRABLE HAZARDS.
- THE RECYCLING AREA OR ROOM SHALL BE CLEARLY IDENTIFIED BY ONE OR MORE SIGNS DESIGNATING IT FOR RECYCLING COLLECTION AND LOADING.
- THE RECYCLING AREA OR ROOM SHALL BE AVAILABLE FOR USE BY PERSONS RESIDING OR EMPLOYED ON THE PROPERTY, BUT SHALL BE KEPT SECURED FROM UNAUTHORIZED ENTRY BY THE GENERAL PUBLIC.
- RECYCLING AREAS OR ROOMS SHALL NOT DIMINISH THE REQUIRED NUMBER OF PARKING SPACES OR IMPAIR TRAFFIC FLOW.
- RECYCLING AREAS OR ROOMS SHALL BE PLACED ALONGSIDE OF TRASH AREAS OR ROOMS WHEREVER POSSIBLE AND SHALL COMPLY WITH THE FOLLOWING (AMENDED BY ORD. NO. 181 227, EFF. 9/1/10)
 - RECYCLING ROOMS SHALL COMPLY WITH SECTION 91.8102 OF THIS CODE AND MUST BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM PURSUANT TO SECTION 57.304.2.2 OF THIS CODE.
 - OUTDOOR RECYCLING AREAS IN COMMERCIAL, INDUSTRIAL OR PUBLIC FACILITIES, OR RESIDENTIAL BUILDINGS HAVING FOUR OR MORE LIVING UNITS SHALL BE CONFINED TO THE REAR ONE-HALF OF THE LOT AND SHALL NOT EXCEED AN AREA OF 300 SQUARE FEET.
 - OUTDOOR RECYCLING AREAS SHALL BE COMPLETELY ENCLOSED BY AN EIGHT-FOOT WALL OR CHAIN LINK FENCE WITH WOODEN SLATES, CONCRETE BLOCK, OR SIMILAR CONSTRUCTION (ENCLOSURE) WITH GATES OF THE SAME HEIGHT. NO MATERIAL SHALL EXCEED THE HEIGHT OF THE WALL OR FENCE. THE ENCLOSURE SHALL BE CONSTRUCTED WITH A CONCRETE FL OR BE SLOPED TO DRAIN, AND A WATER FAUCET FOR HOSE ATTACHMENT SHALL BE LOCATED ADJACENT TO OR WITHIN THE ENCLOSURE. THE ENCLOSURE SHALL BE SECURED BY A LOCKING GATE.
 - PURSUANT TO SECTION 57.304.2.2 OF THE CODE, OUTDOOR RECYCLING AREAS SHALL BE LOCATED A MINIMUM OF 10 FEET FROM ANY BUILDING OR BUILDING OPENING EXCEPT WHEN LOCATED ADJACENT TO A MINIMUM ONE-HOUR WALL AND A MINIMUM OF 10 FEET FROM ANY BUILDING OPENING.

THE ABOVE DRAWINGS, SPECIFICATIONS AND NOTES SHALL BE CONSIDERED TO REPRESENT THE DESIGN INTENT AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, REPRODUCED, TRANSMITTED, OR IN ANY CONNECTION WITH ANY OTHER WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND FOR WHICH THEY HAVE BEEN REVIEWED AND APPROVED BY THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

Revision No.	Revision Desc.	Date

Albert Group
 1745 Berkeley Street | Santa Monica, CA 90404



RAMSGATE APARTMENTS
 9033 9037, 9043 RAMSGATE AVENUE
 LOS ANGELES, CA 90045



PROJECT NUMBER: 2325
 PROJECT PHASE: SCHEMATIC DESIGN 1.7.5
 SHEET ISSUE DATE: JULY 2, 2024
 SHEET NAME: LEVEL 1 FLOOR PLAN
 SHEET NUMBER: **A2.11**

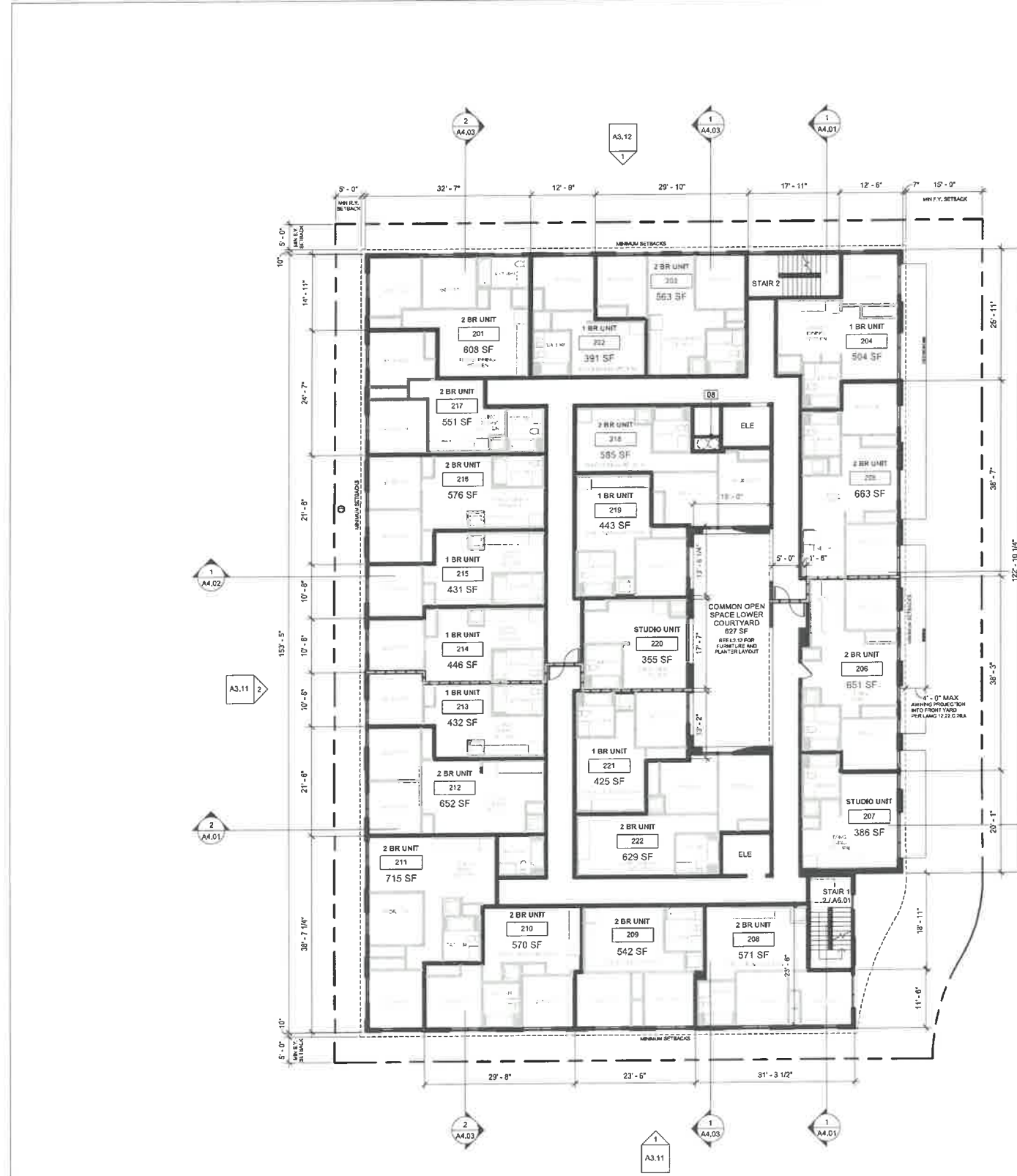


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201	2 BR UNIT	808 SF
202	1 BR UNIT	391 SF
203	1 BR UNIT	391 SF
204	2 BR UNIT	504 SF
205	1 BR UNIT	391 SF
206	2 BR UNIT	663 SF
207	STUDIO UNIT	386 SF
208	2 BR UNIT	715 SF
209	2 BR UNIT	570 SF
210	2 BR UNIT	542 SF
211	2 BR UNIT	571 SF
212	2 BR UNIT	652 SF
213	STUDIO UNIT	366 SF
214	1 BR UNIT	446 SF
215	1 BR UNIT	431 SF
216	2 BR UNIT	576 SF
217	2 BR UNIT	551 SF
218	2 BR UNIT	576 SF
219	1 BR UNIT	443 SF
220	STUDIO UNIT	355 SF
221	1 BR UNIT	425 SF
222	2 BR UNIT	629 SF

PLAN KEYNOTES

- 08 RECYCLING AND TRASH CHUTES (ONE OF EACH) WITH 90 MINUTE RATED CHUTE DOORS. HARDWARE TO BE ADA COMPLIANT W/ MAX MOUNTING HT OF 48" AFF. RECYCLING CHUTE SHALL BE CLEARLY MARKED "RECYCLING ONLY" AT EVERY POINT OF ENTRY. LAMC 12.21.1(1)(6).
- 09 LINE OF BUILDING/BALCONIES / AWNING ABOVE
- 11 SHORT TERM BICYCLE PARKING RACKS, 9 SPACES REQ'D & PROVIDED. SEE 21AD.91 FOR RACK DTLS.
- 20 PARKING SPACE AND LOADING ZONE DESIGNED TO MEET THE MIN REQ'S OF LADC 1102A AND 110209.2.3 WITH A MAX SLOPE OF 2% IN ANY DIRECTION & 6'-2" MIN VERTICAL CLEARANCE FROM STREET TO EXTENT OF PARKING SPACE AND LOADING. ACCESSIBLE SPACE AND LOADING TO BE STRIPED PER 510.09. ALL OTHER SPACES PER 510.09.
- 21 RESIDENTIAL PARKING. ALL SPACES ARE ASSIGNED, PER LAMC 12.21 A.5.(1),(2) TANDEM ARE ALLOWED IN PARKING AREAS SERVING APARTMENT, MULTI-FAMILY BUILDINGS, TANDUM SPACES, ONE STANDARD SPACE AND ONE STACKED COMPACT SPACE. SHALL BE ASSIGNED TO A SINGULAR UNIT.
- 38 HATCHED AREA EQ. TO MINIMUM 100 SF OF RECYCLING SPACE AS REQ'D PER LAMC 12.21.A19.C2.2.
- 40 2-TIER DERO DECKER LONG TERM BICYCLE RACKS W/ MECHANICAL ASSISTANCE FOR LIFTING BICYCLES, ACCOMMODATING 84 TOTAL SPACES WITH 100 SF WORK AREA, AS DESIGNATED BY DIMENSIONED HATCHED AREA. SEE 11AD.81 FOR LONG TERM BICYCLE RACK DETAILS. 108" VERTICAL CLR SPACE PROVIDED AS REQ'D BY MANUFACTURER.

RECYCLING NOTES FROM SECTIONS 12.21.A19.(C)(4) THROUGH (12)(10)

- 1. TO ENCOURAGE ACTIVE PARTICIPATION IN RECYCLING TO THE MAXIMUM EXTENT POSSIBLE, EACH PROPERTY OWNER, MANAGER, OR LESSEE SHALL INFORM ALL TENANTS AND/OR EMPLOYEES LIVING OR WORKING ON THE PROPERTY OF THE AVAILABILITY AND LOCATION OF THE RECYCLING AREA(S) OR ROOM(S), THE TYPES OF MATERIALS THAT ARE COLLECTED FOR RECYCLING, THAT THE RECYCLING COLLECTION FACILITIES ARE LOCATED ON THE PROPERTY PURSUANT TO STATE LAW REQUIRING THE DIVERSION OF A SUBSTANTIAL PORTION OF SOLID WASTE.
- 2. EACH PROPERTY OWNER OR LESSEE SHALL CONTRACT WITH A RECYCLER OR HAULER FOR THE PICK-UP OF RECYCLABLE MATERIALS, SEPARATE FROM TRASH COLLECTION, WHEN RECYCLABLES ARE FULL OR EVERY WEEK, WHICHEVER OCCURS FIRST.
- 3. NO TOXIC OR HAZARDOUS MATERIAL SHALL BE STORED IN RECYCLING AREAS OR ROOMS RECYCLING OR RECEPTACLES.
- 4. ALL RECYCLABLE MATERIALS SHALL BE PLACED OR STORED IN RECYCLING RECEPTACLES, PAPER PRODUCTS AND OTHER LIGHTWEIGHT MATERIALS SHALL BE IMMEDIATELY PLACED INTO COVERED RECYCLING RECEPTACLES WHICH THEY ARE DROPPED OFF.
- 5. ON A DAILY BASIS THE RECYCLING AREA OR ROOM SHALL BE KEPT FREE OF LITTER, DEBRIS, SPILLAGE, BUGS, RODENTS, ODORS, AND OTHER SIMILAR UNDESIRABLE HAZARDS.
- 6. THE RECYCLING AREA OR ROOM SHALL BE CLEARLY IDENTIFIED BY ONE OR MORE SIGNS DESIGNATING IT FOR RECYCLING COLLECTION AND LOADING.
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- 8. RECYCLING AREAS OR ROOMS SHALL NOT DIMINISH THE REQUIRED NUMBER OF PARKING SPACES OR IMPAIR TRAFFIC FLOW.
- 9. RECYCLING AREAS OR ROOMS SHALL BE PLACED ALONGSIDE OF TRASH AREAS OR ROOMS WHEREVER POSSIBLE AND SHALL COMPLY WITH THE FOLLOWING: (AMENDED BY ORD. NO. 181,227, EFF. 9/1/10).
 - A. RECYCLING ROOMS SHALL COMPLY WITH SECTION 91.6102 OF THIS CODE AND MUST BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM PURSUANT TO SECTION 57.304.2.2 OF THIS CODE.
 - B. OUTDOOR RECYCLING AREAS IN COMMERCIAL, INDUSTRIAL, OR PUBLIC FACILITIES, OR RESIDENTIAL BUILDINGS HAVING FOUR OR MORE LIVING UNITS SHALL BE CONFINED TO THE REAR ONE-HALF OF THE LOT AND SHALL NOT EXCEED AN AREA OF 300 SQUARE FEET.
 - C. OUTDOOR RECYCLING AREAS SHALL BE COMPLETELY ENCLOSED BY AN EIGHT-FOOT WALL OR CHAIN LINK FENCE WITH WOODEN SLATES, CONCRETE BLOCK, OR SIMILAR CONSTRUCTION (ENCLOSURE) WITH GATES OF THE SAME HEIGHT. NO MATERIAL SHALL EXCEED THE HEIGHT OF THE WALL OR FENCE. THE ENCLOSURE SHALL BE CONSTRUCTED WITH A CONCRETE FLOOR SLOPED TO DRAIN, AND A WATER FAUCET FOR HOSE ATTACHMENT SHALL BE LOCATED ADJACENT TO OR WITHIN THE ENCLOSURE. THE ENCLOSURE SHALL BE SECURED BY A LOCKING GATE.
 - D. PURSUANT TO SECTION 57.304.2.2 OF THE CODE, OUTDOOR RECYCLING AREAS SHALL BE LOCATED A MINIMUM OF 10 FEET FROM ANY BUILDING OR BUILDING OPENING EXCEPT WHEN LOCATED ADJACENT TO A MINIMUM ONE-HOUR WALL AND A MINIMUM OF 10 FEET FROM ANY BUILDING OPENING.

THE ABOVE DRAWINGS, SPECIFICATIONS, NOTES, CONDITIONS, AND REQUIREMENTS SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, REPRODUCED, OR USED IN CONNECTION WITH ANY PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE ARCHITECT'S LIABILITY SHALL BE LIMITED TO THE SCOPE OF THESE SPECIFICATIONS AND SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

Revision	Date

Albert Group
 1745 Berkeley Street | San Jose, CA 95131



RAMSGATE APARTMENTS
 9033, 9037, 9043 RAMSGATE AVENUE
 LOS ANGELES, CA 90045



PROJECT NUMBER: 2325
 PROJECT PHASE: SCHEMATIC DESIGN 1.7.5
 SHEET ISSUE DATE: JULY 2, 2024
 SHEET NAME: LEVEL 2 FLOOR PLAN
 SHEET NUMBER: A2.12

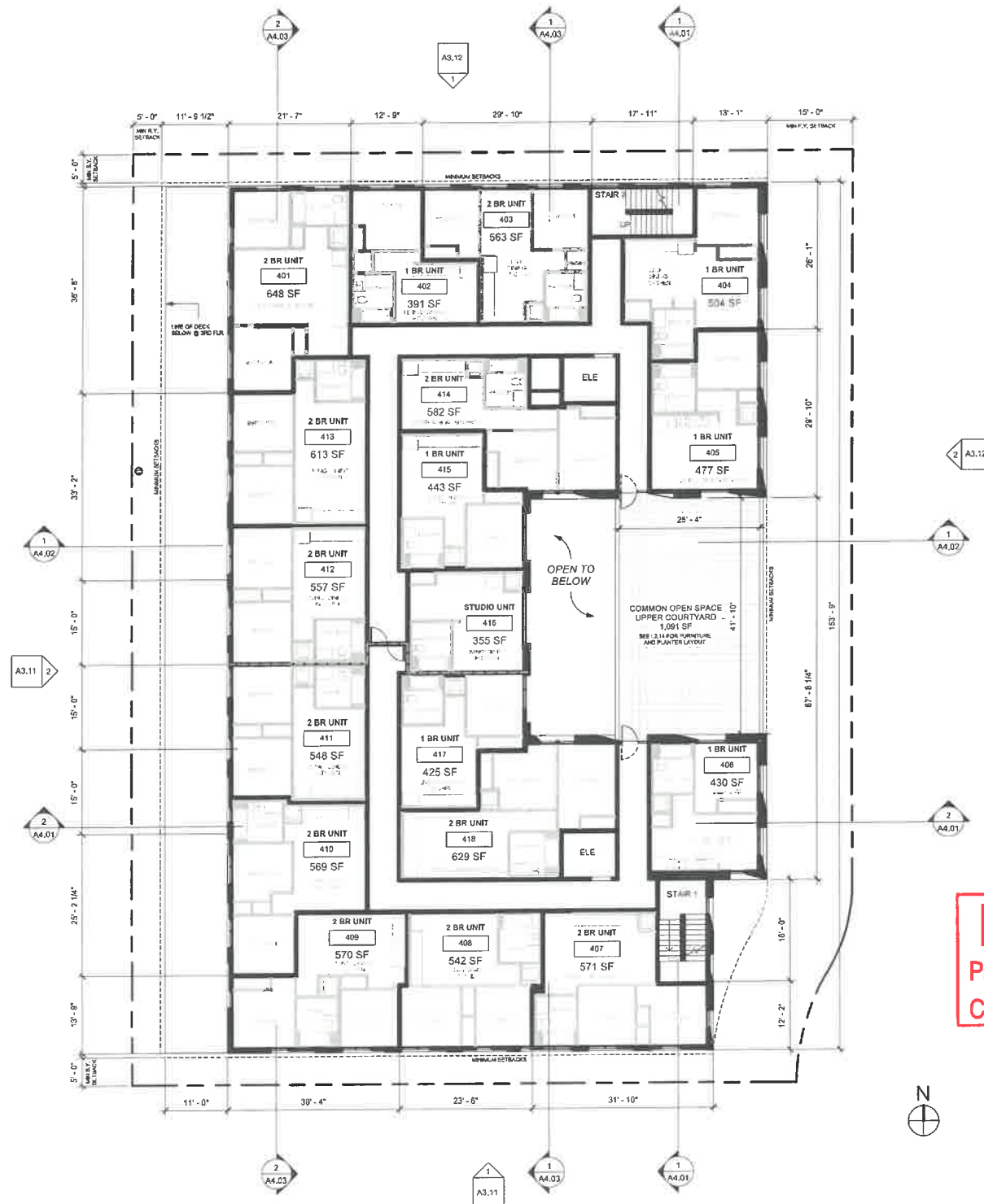


EXHIBIT "A"

Page No. 9 of 21
 Case No. ADM-2024-3241-DB-VHCA-ED1

401	2 BR UNIT	648 SF
402	1 BR UNIT	391 SF
403	2 BR UNIT	563 SF
404	1 BR UNIT	504 SF
405	1 BR UNIT	477 SF
406	1 BR UNIT	430 SF
407	2 BR UNIT	571 SF
408	2 BR UNIT	542 SF
409	2 BR UNIT	570 SF
410	2 BR UNIT	569 SF
411	2 BR UNIT	548 SF
412	2 BR UNIT	557 SF
413	2 BR UNIT	613 SF
414	2 BR UNIT	582 SF
415	1 BR UNIT	443 SF
416	STUDIO UNIT	355 SF
417	1 BR UNIT	425 SF
418	2 BR UNIT	629 SF
TOTAL		8411 SF

LEVEL 4 FLOOR PLAN SCALE: 3/32" = 1'-0" 1

PLAN KEYNOTES

- 08 RECYCLING AND TRASH CHUTES (ONE OF EACH) WITH 90 MINUTE RATED CHUTE DOORS. HARDWARE TO BE ADA COMPLIANT WITH MAXIMUM HEIGHT OF 48" AFF. RECYCLING CHUTE SHALL BE CLEARLY MARKED "RECYCLING ONLY" AT EVERY POINT OF ENTRY. LAMC 12.21.1(1)(c).
- 09 LINE OF BUILDING / BALCONIES / AWNING ABOVE
- 11 SHORT TERM BICYCLE PARKING RACKS, 9 SPACES REQ'D & PROVIDED. SEE 21AD.91 FOR RACK DTLS
- 20 PARKING SPACE AND LOADING ZONE DESIGNED TO MEET THE MIN REQ'S OF LABC 1102A AND 118209.2.3 WITH A MAX SLOPE OF 2% IN ANY DIRECTION & 8'-2" MIN VERTICAL CLEARANCE FROM STREET TO EXTENT OF PARKING SPACE AND LOADING. ACCESSIBLE SPACE AND LOADING TO BE STRIPED PER 910.09. ALL OTHER SPACES PER 910.06.
- 21 RESIDENTIAL PARKING. ALL SPACES ARE ASSIGNED. PER LAMC 12.21 A.5.(1)(2) TANDEM ARE ALLOWED IN PARKING AREAS SERVING APARTMENT MULTI-FAMILY BUILDINGS. TANDEM SPACES, ONE STANDARD SPACE AND ONE STACKED COMPACT SPACE, SHALL BE ASSIGNED TO A SINGULAR UNIT.
- 39 HATCHED AREA ED. TO MINIMUM 100 SF OF RECYCLING SPACE AS REQ'D PER LAMC 12.21.A19.2.2.1
- 40 2-TIER DERO DECKER LONG TERM BICYCLE RACKS WITH MECHANICAL ASSISTANCE FOR LIFTING BICYCLES. ACCOMMODATING 84 TOTAL SPACES WITH 100 SF WORK AREA. AS DESIGNATED BY DIMENSIONED HATCHED AREA. SEE 11AD.91 FOR LONG TERM BICYCLE RACK DETAILS. 106" VERTICAL CLR SPACE PROVIDED AS REQ'D BY MANUFACTURER

RECYCLING NOTES FROM SECTIONS 12.21.A19.(C)(4) THROUGH (12)(IV)

1. TO ENCOURAGE ACTIVE PARTICIPATION IN RECYCLING TO THE MAXIMUM EXTENT POSSIBLE, EACH PROPERTY OWNER, MANAGER, OR LESSEE SHALL INFORM ALL TENANTS AND/OR EMPLOYEES LIVING OR WORKING ON THE PROPERTY OF THE AVAILABILITY AND LOCATION OF THE RECYCLING AREA(S) OR ROOM(S), THE TYPES OF MATERIALS THAT ARE COLLECTED FOR RECYCLING, THAT THE RECYCLING COLLECTION FACILITIES ARE LOCATED ON THE PROPERTY PURSUANT TO STATE LAW REQUIRING THE DIVERSION OF A SUBSTANTIAL PORTION OF SOLID WASTE.
2. EACH PROPERTY OWNER OR LESSEE SHALL CONTRACT WITH A RECYCLER OR HAULER FOR THE PICK-UP OF RECYCLABLE MATERIALS, SEPARATE FROM TRASH COLLECTION, WHEN RECEPTACLES ARE FULL OR EVERY WEEK, WHICHEVER OCCURS FIRST.
3. NO TOXIC OR HAZARDOUS MATERIAL SHALL BE STORED IN RECYCLING AREAS OR ROOMS RECYCLING OR RECEPTACLES;
4. ALL RECYCLABLE MATERIALS SHALL BE PLACED OR STORED IN RECYCLING RECEPTACLES. PAPER PRODUCTS AND OTHER LIGHTWEIGHT MATERIALS SHALL BE IMMEDIATELY PLACED INTO COVERED RECYCLING RECEPTACLES WHEN THEY ARE DROPPED OFF.
5. ON A DAILY BASIS THE RECYCLING AREA OR ROOM SHALL BE KEPT FREE OF LITTER, DEBRIS, SPILLAGE, BUGS, RODENTS, ODORS, AND OTHER SIMILAR UNDESIRABLE HAZARDS.
6. THE RECYCLING AREA OR ROOM SHALL BE CLEARLY IDENTIFIED BY ONE OR MORE SIGNS DESIGNATING IT FOR RECYCLING COLLECTION AND LOADING.
7. THE RECYCLING AREA OR ROOM SHALL BE AVAILABLE FOR USE BY PERSONS RESIDING OR EMPLOYED ON THE PROPERTY, BUT SHALL BE KEPT SECURED FROM UNAUTHORIZED ENTRY BY THE GENERAL PUBLIC.
8. RECYCLING AREAS OR ROOMS SHALL NOT DIMINISH THE REQUIRED NUMBER OF PARKING SPACES OR IMPAIR TRAFFIC FLOW.
9. RECYCLING AREAS OR ROOMS SHALL BE PLACED ALONGSIDE OF TRASH AREAS OR ROOMS WHEREVER POSSIBLE AND SHALL COMPLY WITH THE FOLLOWING: (AMENDED BY ORD. NO. 181 227, EFF. 9/1/10.)
 - A. RECYCLING ROOMS SHALL COMPLY WITH SECTION 91.8102 OF THIS CODE AND MUST BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM PURSUANT TO SECTION 57.304.2.2 OF THIS CODE.
 - B. OUTDOOR RECYCLING AREAS IN COMMERCIAL, INDUSTRIAL, OR PUBLIC FACILITIES, OR RESIDENTIAL BUILDINGS HAVING FOUR OR MORE LIVING UNITS SHALL BE CONFINED TO THE REAR ONE-HALF OF THE LOT AND SHALL NOT EXCEED AN AREA OF 300 SQUARE FEET.
 - C. OUTDOOR RECYCLING AREAS SHALL BE COMPLETELY ENCLOSED BY AN EIGHT-FOOT WALL OR CHAIN LINK FENCE WITH WOODEN SLATES, CONCRETE BLOCK, OR SIMILAR CONSTRUCTION (ENCLOSURE) WITH GATES OF THE SAME HEIGHT. NO MATERIAL SHALL EXCEED THE HEIGHT OF THE WALL OR FENCE. THE ENCLOSURE SHALL BE CONSTRUCTED WITH A CONCRETE FLOOR SLOPED TO DRAIN, AND A WATER FAUCET FOR HOSE ATTACHMENT SHALL BE LOCATED ADJACENT TO OR WITHIN THE ENCLOSURE. THE ENCLOSURE SHALL BE SECURED BY A LOCKING GATE.
 - D. PURSUANT TO SECTION 57.304.2.2 OF THE CODE, OUTDOOR RECYCLING AREAS SHALL BE LOCATED A MINIMUM OF 10 FEET FROM ANY BUILDING OR BUILDING OPENING EXCEPT WHEN LOCATED ADJACENT TO A MINIMUM ONE-HOUR WALL AND A MINIMUM OF 10 FEET FROM ANY BUILDING OPENING.

THE ABOVE DRAWINGS, SPECIFICATIONS, NOTES AND CONDITIONS SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR CONNECTION WITH ANY OTHER WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND FOR WHICH THEY HAVE BEEN PAID. ANY REUSE OF THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

Revision No.	Revision Desc.	Revision Date

Albert Group
 1745 Berkeley Street | Santa Monica, CA 90404



RAMSGATE APARTMENTS
 9033, 9037, 9043 RAMSGATE AVENUE
 LOS ANGELES, CA 90045



PROJECT NUMBER: 2325
 PROJECT PHASE: SCHEMATIC DESIGN 1.7.5
 SHEET ISSUE DATE: JULY 2, 2024
 SHEET NAME: LEVEL 4 FLOOR PLAN
 SHEET NUMBER: **A2.14**

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
 PRELIMINARY ZONING ASSESSMENT COMPLETE
 BY: MEGAN KOLP
 DATE: 07/23/2024
 APPLICATION # 24010 - 10001 - 00572

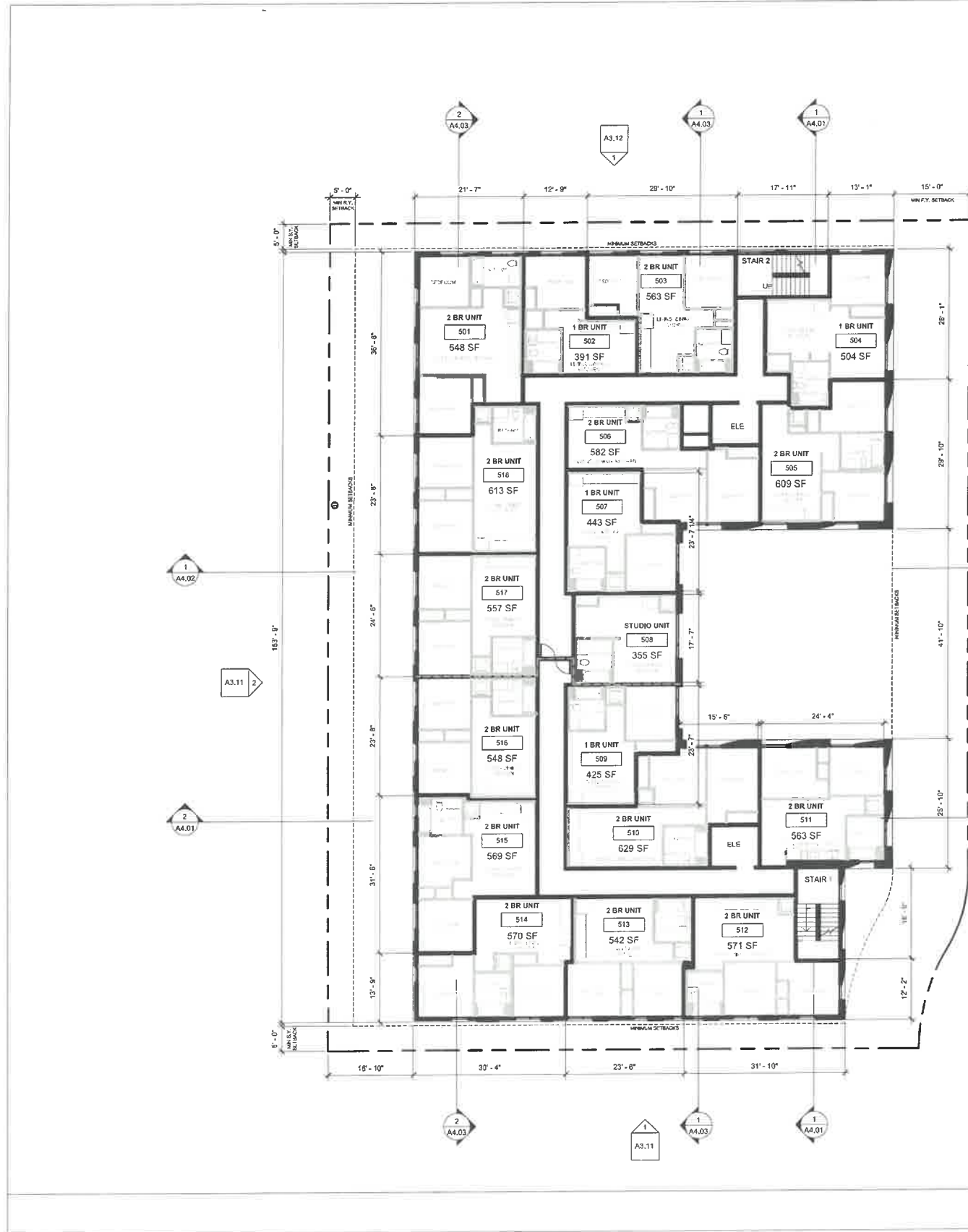


EXHIBIT "A"

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Case No. ADM-2024-3241-DB-VHCA-ED1

501	2 BR UNIT	548 SF
502	1 BR UNIT	391 SF
503	2 BR UNIT	563 SF
504	1 BR UNIT	504 SF
505	2 BR UNIT	609 SF
506	2 BR UNIT	582 SF
507	1 BR UNIT	443 SF
508	STUDIO UNIT	355 SF
509	1 BR UNIT	425 SF
510	2 BR UNIT	629 SF
511	2 BR UNIT	563 SF
512	2 BR UNIT	571 SF
513	2 BR UNIT	542 SF
514	2 BR UNIT	570 SF
515	2 BR UNIT	569 SF
516	2 BR UNIT	613 SF
517	2 BR UNIT	557 SF

LEVEL 5 FLOOR PLAN SCALE: 3/32" = 1'-0" **1**

PLAN KEYNOTES

- 08 RECYCLING AND TRASH CHUTES (ONE OF EACH) W/ 30 MINUTE RATED CHUTE DOORS, HARDWARE TO BE ADA COMPLIANT W/ MAX MOUNTING HT OF 48" AFF. RECYCLING CHUTE SHALL BE CLEARLY MARKED "RECYCLING ONLY" AT EVERY POINT OF ENTRY. LAMC 12.21.119(c).
- 09 LINE OF BUILDING / BALCONIES / AWNING ABOVE
- 11 SHORT TERM BICYCLE PARKING RACKS, 9 SPACES REQ'D & PROVIDED, SEE 2(A).91 FOR RACK DTLS
- 20 PARKING SPACE AND LOADING ZONE DESIGNED TO MEET THE MIN REQ'S OF LAMC 12.21.119.2.2 WITH A MAX SLOPE OF 2% IN ANY DIRECTION & 8'-2" MIN VERTICAL CLEARANCE FROM STREET TO EXTENT OF PARKING SPACE AND LOADING. ACCESSIBLE SPACE AND LOADING TO BE STRIPPED PER 940.09, ALL OTHER SPACES PER 940.09.
- 21 RESIDENTIAL PARKING, ALL SPACES ARE ASSIGNED, PER LAMC 12.21 A.5.(M)(2) TANDEM ARE ALLOWED IN PARKING AREAS SERVING APARTMENT, MULTI-FAMILY BUILDINGS, TANDEM SPACES, ONE STANDING SPACE AND ONE STACKED COMPACT SPACE, SHALL BE ASSIGNED TO A SINGULAR UNIT.
- 39 HATCHED AREA ED. TO MINIMUM 100 SF OF RECYCLING SPACE AS REQ'D PER LAMC 12.21.119.2.2.4

RECYCLING NOTES FROM SECTIONS 12.21.119(C)(9) THROUGH (12)(IV)

1. TO ENCOURAGE ACTIVE PARTICIPATION IN RECYCLING TO THE MAXIMUM EXTENT POSSIBLE, EACH PROPERTY OWNER, MANAGER, OR LESSEE SHALL INFORM ALL TENANTS AND/OR EMPLOYEES LIVING OR WORKING ON THE PROPERTY OF THE AVAILABILITY AND LOCATION OF THE RECYCLING AREA(S) OR ROOM(S), THE TYPES OF MATERIALS THAT ARE COLLECTED FOR RECYCLING, THAT THE RECYCLING COLLECTION FACILITIES ARE LOCATED ON THE PROPERTY PURSUANT TO STATE LAW REQUIRING THE DIVERSION OF A SUBSTANTIAL PORTION OF SOLID WASTE.
2. EACH PROPERTY OWNER OR LESSEE SHALL CONTRACT WITH A RECYCLER OR HAULER FOR THE PICK-UP OF RECYCLABLE MATERIALS, SEPARATE FROM TRASH COLLECTION, WHEN RECEPTACLES ARE FULL OR EVERY WEEK, WHICHEVER OCCURS FIRST.
3. NO TOXIC OR HAZARDOUS MATERIAL SHALL BE STORED IN RECYCLING AREAS OR ROOMS RECYCLING OR RECEPTACLES.
4. ALL RECYCLABLE MATERIALS SHALL BE PLACED OR STORED IN RECYCLING RECEPTACLES, PAPER PRODUCTS AND OTHER LIGHTWEIGHT MATERIALS SHALL BE IMMEDIATELY PLACED INTO COVERED RECYCLING RECEPTACLES WHEN THEY ARE DROPPED OFF.
5. ON A DAILY BASIS THE RECYCLING AREA OR ROOM SHALL BE KEPT FREE OF LITTER, DEBRIS, SPILLAGE, BUGS, RODENTS, ODORS, AND OTHER SIMILAR UNDESIRABLE HAZARDS.
6. THE RECYCLING AREA OR ROOM SHALL BE CLEARLY IDENTIFIED BY ONE OR MORE SIGNS DESIGNATING IT FOR RECYCLING COLLECTION AND LOADING.
7. THE RECYCLING AREA OR ROOM SHALL BE AVAILABLE FOR USE BY PERSONS RESIDING OR EMPLOYED ON THE PROPERTY, BUT SHALL BE KEPT SECURED FROM UNAUTHORIZED ENTRY BY THE GENERAL PUBLIC.
8. RECYCLING AREAS OR ROOMS SHALL NOT DIMINISH THE REQUIRED NUMBER OF PARKING SPACES OR IMPAIR TRAFFIC FLOW.
9. RECYCLING AREAS OR ROOMS SHALL BE PLACED ALONGSIDE OF TRASH AREAS OR ROOMS WHENEVER POSSIBLE AND SHALL COMPLY WITH THE FOLLOWING: (AMENDED BY ORD. NO. 181,227, EFF. 9/1/10.)
 - A. RECYCLING ROOMS SHALL COMPLY WITH SECTION 51.6103 OF THIS CODE AND MUST BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM PURSUANT TO SECTION 57.304.2.2 OF THIS CODE.
 - B. OUTDOOR RECYCLING AREAS IN COMMERCIAL, INDUSTRIAL, OR PUBLIC FACILITIES, OR RESIDENTIAL BUILDINGS HAVING FOUR OR MORE LIVING UNITS SHALL BE CONFINED TO THE REAR ONE-HALF OF THE LOT AND SHALL NOT EXCEED AN AREA OF 300 SQUARE FEET.
 - C. OUTDOOR RECYCLING AREAS SHALL BE COMPLETELY ENCLOSED BY AN EIGHT-FOOT WALL OR CHAIN LINK FENCE WITH WOODEN SLATES, CONCRETE BLOCK, OR SIMILAR CONSTRUCTION (ENCLOSURE) WITH GATES OF THE SAME HEIGHT. NO MATERIAL SHALL EXCEED THE HEIGHT OF THE WALL OR FENCE. THE ENCLOSURE SHALL BE CONSTRUCTED WITH A CONCRETE FLOOR SLOPED TO DRAIN, AND A WATER FAUCET FOR HOSE ATTACHMENT SHALL BE LOCATED ADJACENT TO OR WITHIN THE ENCLOSURE. THE ENCLOSURE SHALL BE SECURED BY A LOCKING GATE.
 - D. PURSUANT TO SECTION 57.304.2.2 OF THE CODE, OUTDOOR RECYCLING AREAS SHALL BE LOCATED A MINIMUM OF 10 FEET FROM ANY BUILDING OR BUILDING OPENING EXCEPT WHEN LOCATED ADJACENT TO A MINIMUM ONE-HOUR WALL AND A MINIMUM OF 10 FEET FROM ANY BUILDING OPENING.

THE ABOVE DRAWINGS, SPECIFICATIONS, AND NOTATIONS SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

Revision No.	Revision Description	Revision Date

Albert Group
1745 Berkeley Street | Santa Monica, CA 90404



RAMSGATE APARTMENTS
9033, 9037, 9045 RAMSGATE AVENUE
LOS ANGELES, CA 90045

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
PRELIMINARY ZONING ASSESSMENT COMPLETE
BY: MEGAN KOLP
DATE: 07/23/2024
APPLICATION # 24010 - 10001 - 00572

PROJECT NUMBER: **2325**
PROJECT PHASE: **SCHEMATIC DESIGN 1.7.5**
SHEET ISSUE DATE: **JULY 2, 2024**
SHEET NAME: **LEVEL 5 FLOOR PLAN**
SHEET NUMBER: **A2.15**

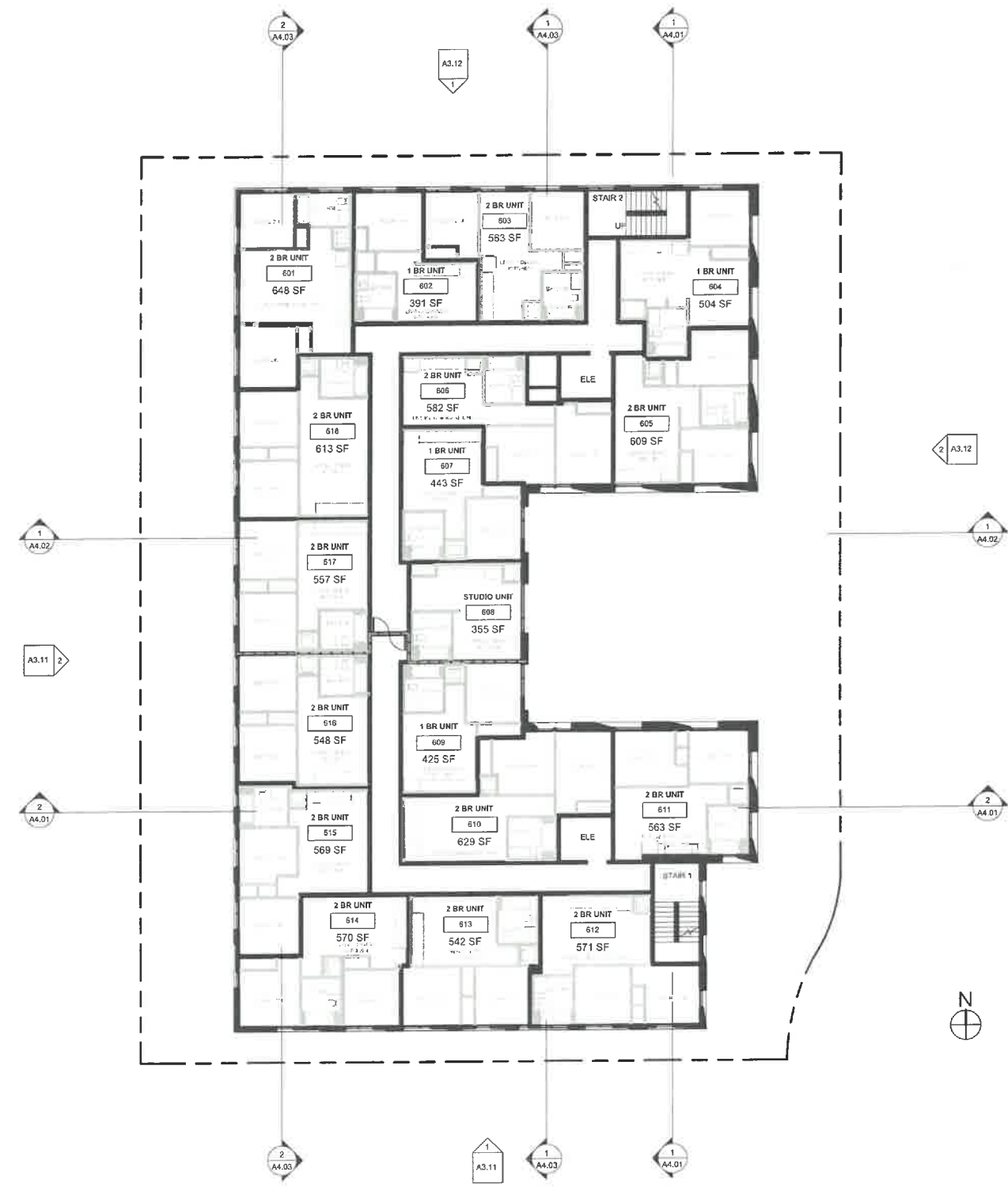


EXHIBIT "A"
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 Case No. ADM-2024-3241-DB-VHCA-ED1

601	2 BR UNIT	648 SF
602	1 BR UNIT	391 SF
603	2 BR UNIT	583 SF
604	1 BR UNIT	504 SF
605	2 BR UNIT	582 SF
606	1 BR UNIT	443 SF
607	2 BR UNIT	613 SF
608	STUDIO UNIT	355 SF
609	2 BR UNIT	609 SF
610	1 BR UNIT	425 SF
611	2 BR UNIT	563 SF
612	2 BR UNIT	629 SF
613	2 BR UNIT	570 SF
614	2 BR UNIT	548 SF
615	2 BR UNIT	569 SF
616	2 BR UNIT	570 SF
617	2 BR UNIT	542 SF
618	2 BR UNIT	571 SF
TOTAL		664 SF

LEVEL 6 FLOOR PLAN SCALE: 3/32" = 1'-0" **1**

PLAN KEYNOTES

- 08 RECYCLING AND TRASH CHUTES (ONE OF EACH) WITH 90 MINUTE RATED CHUTE DOORS, HARDWARE TO BE ADA COMPLIANT WITH MAX MOUNTING HT OF 48" AFF. RECYCLING CHUTE SHALL BE CLEARLY MARKED "RECYCLING ONLY" AT EVERY POINT OF ENTRY. LAMC 12.21.19(c).
- 09 LINE OF BUILDING/BALCONIES / AWNINGS ABOVE
- 11 SHORT TERM BICYCLE PARKING SPACES, 9 SPACES REQ'D & PROVIDED, SEE 21AD.51 FOR RACK DETAILS
- 20 PARKING SPACE AND LOADING SPACE AND DESIGNED TO MEET THE MIN REQ'S OF LAMC 1102A AND 11B-208.2.3 WITH A MAX SLOPE OF 2% IN ANY DIRECTION & 8'-2" MIN VERTICAL CLEARANCE FROM STREET TO EXTENT OF PARKING SPACE AND LOADING. ACCESSIBLE SPACE AND LOADING TO BE STRIPED PER 910.90, ALL OTHER SPACES PER 21AD.90.
- 21 RESIDENTIAL PARKING, ALL SPACES ARE ASSIGNED, PER LAMC 12.21 A.5.(1),(2) TANDEM ARE ALLOWED IN PARKING AREAS SERVING APARTMENT, MULTIFAMILY BUILDINGS. TANDEM SPACES, ONE STANDARD SPACE AND ONE STACKED COMPACT SPACE, SHALL BE ASSIGNED TO A SINGULAR UNIT.
- 39 HATCHED AREA EQ. TO MINIMUM 100 SF OF RECYCLING SPACE AS REQ'D PER LAMC 12.21.A19.C.2.iv
- 40 2-TIER DERO DECKER LONG TERM BICYCLE RACKS WITH MECHANICAL ASSISTANCE FOR LIFTING BICYCLES, ACCOMMODATING 84 TOTAL SPACES WITH 100 SF WORK AREA, AS DESIGNATED BY DIMENSIONED HATCHED AREA, SEE 19AD.81 FOR LONG TERM BICYCLE RACK DETAILS. 106" VERTICAL CLR SPACE PROVIDED AS REQ'D BY MANUFACTURER

RECYCLING NOTES FROM SECTIONS 12.21.A19.(C)(4) THROUGH (12)(IV)

1. TO ENCOURAGE ACTIVE PARTICIPATION IN RECYCLING TO THE MAXIMUM EXTENT POSSIBLE, EACH PROPERTY OWNER, MANAGER OR LESSEE SHALL INFORM ALL TENANTS AND/OR EMPLOYEES LIVING OR WORKING ON THE PROPERTY OF THE AVAILABILITY AND LOCATION OF THE RECYCLING AREAS (OR ROOMS), THE TYPES OF MATERIALS THAT ARE COLLECTED FOR RECYCLING, THAT THE RECYCLING COLLECTION FACILITIES ARE LOCATED ON THE PROPERTY PURSUANT TO STATE LAW REQUIRING THE DIVERSION OF A SUBSTANTIAL PORTION OF SOLID WASTE.
2. EACH PROPERTY OWNER OR LESSEE SHALL CONTRACT WITH A RECYCLER OR HAULER FOR THE PICK-UP OF RECYCLABLE MATERIALS, SEPARATE FROM TRASH COLLECTION, WHEN RECEPTACLES ARE FULL OR EVERY WEEK, WHICHEVER OCCURS FIRST.
3. NO TOXIC OR HAZARDOUS MATERIAL SHALL BE STORED IN RECYCLING AREAS OR ROOMS RECYCLING OR RECEPTACLES.
4. ALL RECYCLABLE MATERIALS SHALL BE PLACED OR STORED IN RECYCLING RECEPTACLES, PAPER PRODUCTS AND OTHER LIGHTWEIGHT MATERIALS SHALL BE IMMEDIATELY PLACED INTO COVERED RECYCLING RECEPTACLES WHEN THEY ARE DROPPED OFF.
5. ON A DAILY BASIS THE RECYCLING AREA OR ROOM SHALL BE KEPT FREE OF LITTER, DEBRIS, SPILLAGE, BUGS, RODENTS, ODORS, AND OTHER SIMILAR UNDESIRABLE HAZARDS.
6. THE RECYCLING AREA OR ROOM SHALL BE CLEARLY IDENTIFIED BY ONE OR MORE SIGNS DESIGNATING IT FOR RECYCLING COLLECTION AND LOADING.
7. THE RECYCLING AREA OR ROOM SHALL BE AVAILABLE FOR USE BY PERSONS RESIDING OR EMPLOYED ON THE PROPERTY, BUT SHALL BE KEPT SECURED FROM UNAUTHORIZED ENTRY BY THE GENERAL PUBLIC.
8. RECYCLING AREAS OR ROOMS SHALL NOT DIMINISH THE REQUIRED NUMBER OF PARKING SPACES OR IMPAIR TRAFFIC FLOW.
9. RECYCLING AREAS OR ROOMS SHALL BE PLACED ALONGSIDE OF TRASH AREAS OR ROOMS WHEREVER POSSIBLE AND SHALL COMPLY WITH THE FOLLOWING, (AMENDED BY ORD. NO. 181,227, EFF. 9/1/10).
 - A. RECYCLING ROOMS SHALL COMPLY WITH SECTION 91.8102 OF THIS CODE AND MUST BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM PURSUANT TO SECTION 97.304.2.2 OF THIS CODE.
 - B. OUTDOOR RECYCLING AREAS IN COMMERCIAL, INDUSTRIAL OR PUBLIC FACILITIES, OR RESIDENTIAL BUILDINGS HAVING FOUR OR MORE LIVING UNITS SHALL BE CONFINED TO THE REAR ONE-HALF OF THE LOT AND SHALL NOT EXCEED AN AREA OF 300 SQUARE FEET.
 - C. OUTDOOR RECYCLING AREAS SHALL BE COMPLETELY ENCLOSED BY AN EIGHT-FOOT WALL OR CHAIN LINK FENCE WITH WOODEN SLATES, CONCRETE BLOCK, OR SIMILAR CONSTRUCTION (ENCLOSURE) WITH GATES OF THE SAME HEIGHT. NO MATERIAL SHALL EXCEED THE HEIGHT OF THE WALL OR FENCE. THE ENCLOSURE SHALL BE CONSTRUCTED WITH A CONCRETE FLOOR SLOPED TO DRAIN, AND A WATER FAUCET FOR HOSE ATTACHMENT SHALL BE LOCATED ADJACENT TO OR WITHIN THE ENCLOSURE. THE ENCLOSURE SHALL BE SECURED BY A LOCKING GATE.
 - D. PURSUANT TO SECTION 97.304.2.2 OF THE CODE, OUTDOOR RECYCLING AREAS SHALL BE LOCATED A MINIMUM OF 10 FEET FROM ANY BUILDING OR BUILDING OPENING EXCEPT WHEN LOCATED ADJACENT TO A MINIMUM ONE-HOUR WALL AND A MINIMUM OF 10 FEET FROM ANY BUILDING OPENING.

THE ABOVE DRAWINGS, SPECIFICATIONS, NOTES AND SCHEDULES SHALL BE READ IN CONJUNCTION WITH THE PERMITS AND ORDINANCES OF THE CITY OF LOS ANGELES AND THE COUNTY OF LOS ANGELES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

Revision No.	Revision Desc.	Revision Date

Albert Group
 1745 Berkeley Street | Santa Monica, CA 90404



RAMSGATE APARTMENTS
 9033, 9037, 9043 RAMSGATE AVENUE
 LOS ANGELES, CA 90045



PROJECT NUMBER: 2325
 PROJECT PHASE: SCHEMATIC DESIGN 1.7.5
 SHEET ISSUE DATE: JULY 2, 2024
 SHEET NAME: LEVEL 6 FLOOR PLAN
 SHEET NUMBER: **A2.16**

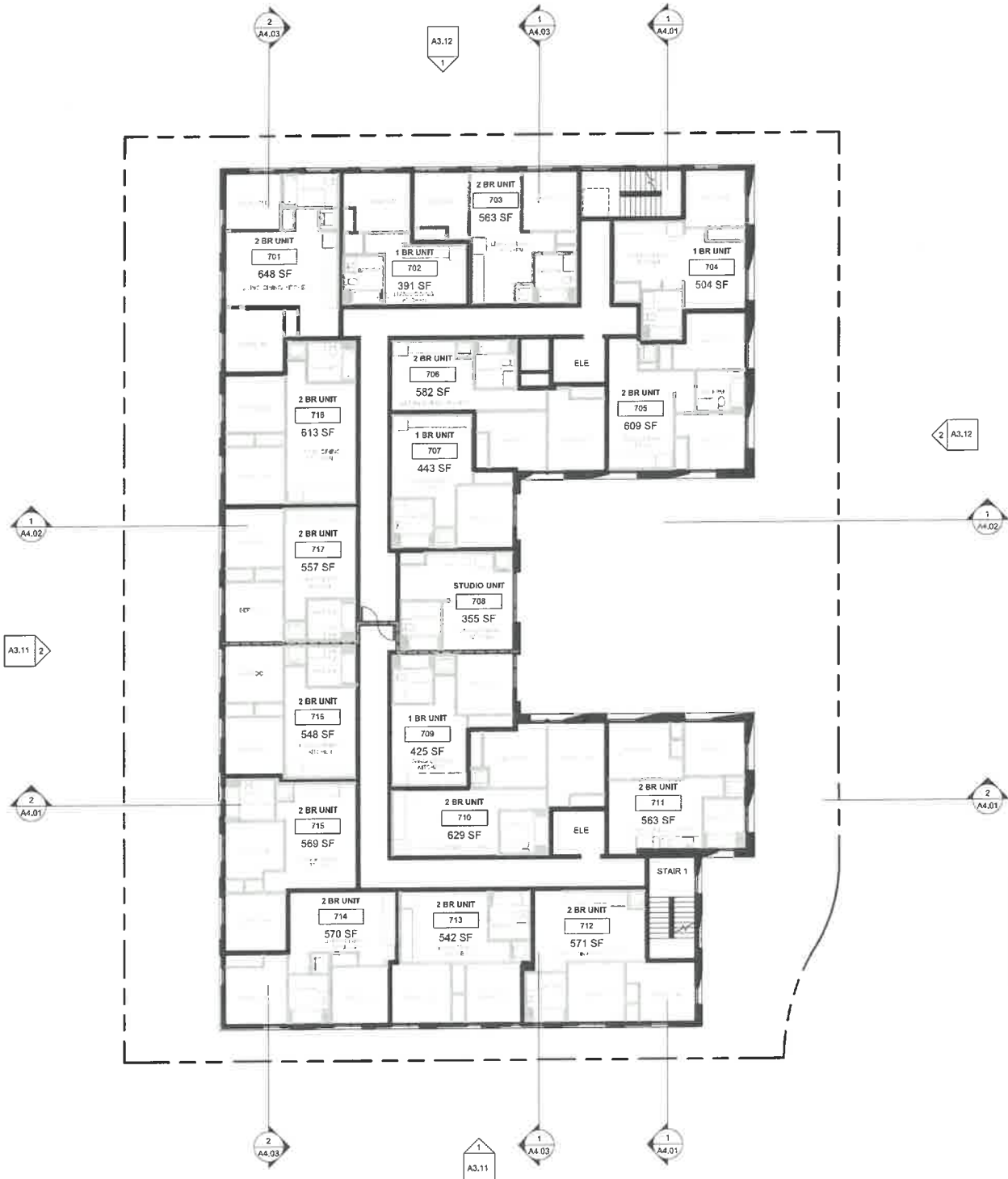


EXHIBIT "A"
 Page No. 12 of 21
 Case No. ADM-2024-3241-DB-VHCA-ED1

701	2 BR UNIT	648 SF
702	1 BR UNIT	391 SF
703	2 BR UNIT	563 SF
704	1 BR UNIT	504 SF
705	2 BR UNIT	609 SF
706	2 BR UNIT	582 SF
707	1 BR UNIT	443 SF
708	STUDIO UNIT	355 SF
709	1 BR UNIT	425 SF
710	2 BR UNIT	629 SF
711	2 BR UNIT	563 SF
712	2 BR UNIT	571 SF
713	2 BR UNIT	542 SF
714	2 BR UNIT	570 SF
715	2 BR UNIT	548 SF
716	2 BR UNIT	613 SF
717	2 BR UNIT	557 SF
718	2 BR UNIT	613 SF

LEVEL 7 SCALE: 3/32" = 1'-0" **1**

PLAN KEYNOTES

- 08 RECYCLING AND TRASH CHUTES (ONE OF EACH) W/ 90 MINUTE RATED CHUTE DOORS. HARDWARE TO BE ADA COMPLIANT W/ MAX MOUNTING HT OF 48" AFF. RECYCLING CHUTE SHALL BE CLEARLY MARKED "RECYCLING ONLY" AT EVERY POINT OF ENTRY. LAMC 12.21.419(c).
- 09 LINE OF BUILDING (BALCONIES / AWNING ABOVE)
- 11 SHORT TERM BICYCLE PARKING RACKS, 9 SPACES REQ'D & PROVIDED, SEE 2AD.81 FOR RACK DTLS
- 20 PARKING SPACE AND LOADING ZONE DESIGNED TO MEET THE MIN REQ'S OF LADC 1102A AND 118-209.2 WITH A MAX SLOPE OF 2% IN ANY DIRECTION & 8'-2" MIN VERTICAL CLEARANCE FROM STREET TO EXTENT OF PARKING SPACE AND LOADING. ACCESSIBLE SPACE AND LOADING TO BE STRIPPED PER 2AD.89, ALL OTHER SPACES PER 2AD.89
- 21 RESIDENTIAL PARKING, ALL SPACES ARE ASSIGNED, PER LAMC 12.21 A.5.(7)(2) TANDEM ARE ALLOWED IN PARKING AREAS SERVING APARTMENT, MULTI-FAMILY BUILDINGS, TANDEM SPACES, ONE STANDARD SPACE AND ONE STACKED COMPACT SPACE, SHALL BE ASSIGNED TO A SINGULAR UNIT.
- 38 HATCHED AREA ED. TO MINIMUM 100 SF OF RECYCLING SPACE AS REQ'D PER LAMC 12.21. A19.2.2.9.
- 40 2-TIER DERO DECKER LONG TERM BICYCLE RACKS W/ MECHANICAL ASSISTANCE FOR LIFTING BICYCLES, ACCOMMODATING 64 TOTAL SPACES WITH 100 SF WORK AREA, AS DESIGNATED BY DIMENSIONED HATCHED AREA, SEE 1AD.81 FOR LONG TERM BICYCLE RACK DETAILS. 106" VERTICAL CLR SPACE PROVIDED BY MANUFACTURER

RECYCLING NOTES FROM SECTIONS 12.21.A19.G(4) THROUGH (12.W)

1. TO ENCOURAGE ACTIVE PARTICIPATION IN RECYCLING TO THE MAXIMUM EXTENT POSSIBLE, EACH PROPERTY OWNER, MANAGER, OR LESSEE SHALL INFORM ALL TENANTS AND/OR EMPLOYEES LIVING OR WORKING ON THE PROPERTY OF THE AVAILABILITY AND LOCATION OF THE RECYCLING AREAS (OR ROOMS), THE TYPES OF MATERIALS THAT ARE COLLECTED FOR RECYCLING, THAT THE RECYCLING COLLECTION FACILITIES ARE LOCATED ON THE PROPERTY PURSUANT TO STATE LAW REQUIRING THE DIVERSION OF A SUBSTANTIAL PORTION OF SOLID WASTE.
2. EACH PROPERTY OWNER OR LESSEE SHALL CONTRACT WITH A RECYCLER OR HAULER FOR THE PICK-UP OF RECYCLABLE MATERIALS, SEPARATE FROM TRASH COLLECTION, WHEN RECEPTACLES ARE FULL OR EVERY WEEK, WHICHEVER OCCURS FIRST.
3. NO TOXIC OR HAZARDOUS MATERIAL SHALL BE STORED IN RECYCLING AREAS OR ROOMS RECYCLING OR RECEPTACLES.
4. ALL RECYCLABLE MATERIALS SHALL BE PLACED OR STORED IN RECYCLING RECEPTACLES, PAPER PRODUCTS AND OTHER LIGHTWEIGHT MATERIALS SHALL BE IMMEDIATELY PLACED INTO COVERED RECYCLING RECEPTACLES WHEN THEY ARE DROPPED OFF.
5. ON A DAILY BASIS THE RECYCLING AREA OR ROOM SHALL BE KEPT FREE OF LITTER, DEBRIS, SPILLS, BUGS, RODENTS, DOORS, AND OTHER SIMILAR UNDESIRABLE HAZARDS.
6. THE RECYCLING AREA OR ROOM SHALL BE CLEARLY IDENTIFIED BY ONE OR MORE SIGNS DESIGNATING IT FOR RECYCLING COLLECTION AND LOADING.
7. THE RECYCLING AREA OR ROOM SHALL BE AVAILABLE FOR USE BY PERSONS RESIDING OR EMPLOYED ON THE PROPERTY, BUT SHALL BE KEPT SECURED FROM UNAUTHORIZED ENTRY BY THE GENERAL PUBLIC.
8. RECYCLING AREAS OR ROOMS SHALL NOT DIMINISH THE REQUIRED NUMBER OF PARKING SPACES OR IMPAIR TRAFFIC FLOW.
9. RECYCLING AREAS OR ROOMS SHALL BE PLACED ALONGSIDE OF TRASH AREAS OR ROOMS WHEREVER POSSIBLE AND SHALL COMPLY WITH THE FOLLOWING (AMENDED BY ORD, NO. 161.227, EFF. 9/1/10).
 - A. RECYCLING ROOMS SHALL COMPLY WITH SECTION 91.6102 OF THIS CODE AND MUST BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM PURSUANT TO SECTION 57.304.2.2 OF THIS CODE.
 - B. OUTDOOR RECYCLING AREAS IN COMMERCIAL, INDUSTRIAL, OR PUBLIC FACILITIES, OR RESIDENTIAL BUILDINGS HAVING FOUR OR MORE LIVING UNITS SHALL BE CONFINED TO THE REAR ONE-HALF OF THE LOT AND SHALL NOT EXCEED AN AREA OF 300 SQUARE FEET.
 - C. OUTDOOR RECYCLING AREAS SHALL BE COMPLETELY ENCLOSED BY AN EIGHT-FOOT WALL OR CHAIN-LINK FENCE WITH WOODEN SLATES, CONCRETE BLOCK, OR SIMILAR CONSTRUCTION (ENCLOSURE) WITH GATES OF THE SAME HEIGHT. NO MATERIAL SHALL EXCEED THE HEIGHT OF THE WALL OR FENCE. THE ENCLOSURE SHALL BE CONSTRUCTED WITH A CONCRETE FLOOR SURF TO DRAIN, AND A WATER FALLOUT FOR HOSE ATTACHMENT SHALL BE LOCATED ADJACENT TO OR WITHIN THE ENCLOSURE. THE ENCLOSURE SHALL BE SECURED BY A LOCKING GATE.
 - D. PURSUANT TO SECTION 57.304.2.2 OF THE CODE, OUTDOOR RECYCLING AREAS SHALL BE LOCATED A MINIMUM OF 10 FEET FROM ANY BUILDING OR OPENING EXCEPT WHEN LOCATED ADJACENT TO A MINIMUM ONE-HOUR WALL AND A MINIMUM OF 10 FEET FROM ANY BUILDING OPENING.

THE ABOVE DRAWINGS, SPECIFICATIONS, IDEAS, DEVISIONS, AND ARRANGEMENTS SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, REPRODUCED, OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

Revision No.	Revision Desc.	Revision Date

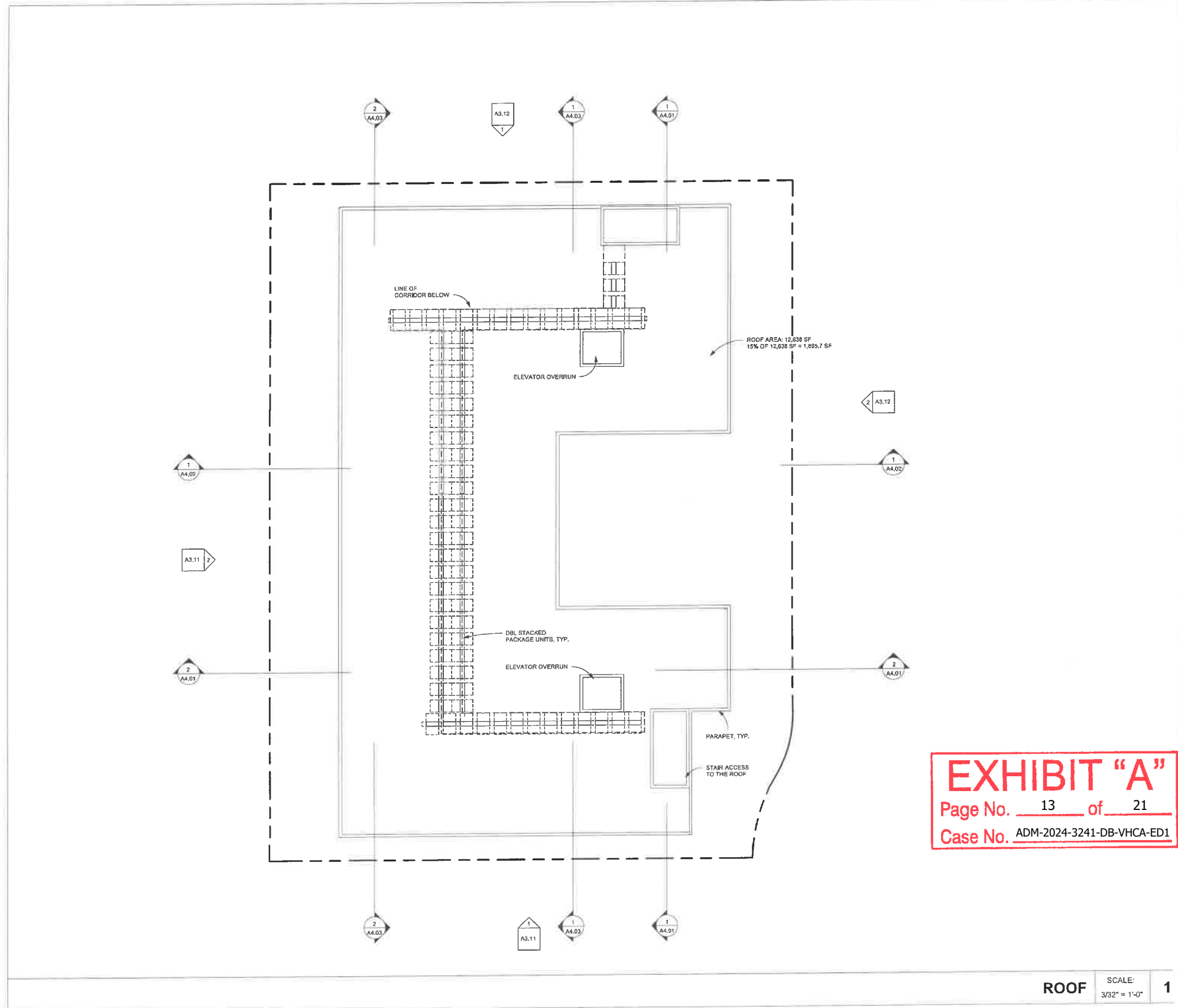
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RAMSGATE APARTMENTS
 9033, 9037, 9043 RAMSGATE AVENUE
 LOS ANGELES, CA 90045



PROJECT NUMBER: 2325
 PROJECT PHASE: SCHEMATIC DESIGN 1.7.5
 SHEET ISSUE DATE: JULY 2, 2024
 SHEET NAME: LEVEL 7 FLOOR PLAN
 SHEET NUMBER: **A2.17**



ROOF SCALE: 3/32" = 1'-0" **1**

PLAN KEYNOTES

- 08 RECYCLING AND TRASH CHUTES (ONE OF EA) W/ 30 MINUTE RATED CHUTE DOORS. HARDWARE TO BE ADA COMPLIANT W/ MAX MOUNTING HT OF 48" AFF. RECYCLING CHUTE SHALL BE CLEARLY MARKED "RECYCLING ONLY" AT EVERY POINT OF ENTRY. LAMC 12.21.A19(c).
- 09 LINE OF BUILDING / BALCONIES / AWNING ABOVE
- 11 SHORT TERM BICYCLE PARKING RACKS, 9 SPACES REQ'D & PROVID. SEE 21AD.91 FOR RACK DTLS
- 20 PARKING SPACE AND LOADING SIZED AND DESIGNED TO MEET THE MIN REQ'S OF LAMC 1102A AND 118-206.2.2 WITH A MAX 8' CPE OF 2% IN ANY DIRECTION & 6'-2" MIN VERTICAL CLEARANCE FROM STREET TO EXTENT OF PARKING SPACE AND LOADING. ACCESSIBLE SPACE AND LOADING TO BE STRIPED PER 51AD.90. ALL OTHER SPACES PER 51AD.90
- 21 RESIDENTIAL PARKING, ALL SPACES ARE ASSIGNED. PER LAMC 12.21 A.5.(1),(2) TANDEM ARE ALLOWED IN PARKING AREAS SERVING APARTMENT, MULTI-FAMILY BUILDINGS. TANDEM SPACES, ONE STANDARD SPACE AND ONE STACKED COMPACT SPACE, SHALL BE ASSIGNED TO A SINGULAR UNIT.
- 39 HATCHED AREA EQ. TO MINIMUM 100 SF OF RECYCLING SPACE AS REQ'D PER LAMC 12.21.A19.C.2.1
- 40 2-TIER DERO DECKER LONG TERM BICYCLE RACKS W/ MECHANICAL ASSISTANCE FOR LIFTING BICYCLES, ACCOMMODATING 84 TOTAL SPACES WITH 100 SF WORK AREA, AS DESIGNATED BY DIMENSIONED HATCHED AREA. SEE 11AD.91 FOR LONG TERM BICYCLE RACK DETAILS. 108" VERTICAL CLR SPACE PROVID AS REQ'D BY MANUFACTURER

RECYCLING NOTES FROM SECTIONS 12.21.A19.(C)(4) THROUGH (12)19I

1. TO ENCOURAGE ACTIVE PARTICIPATION IN RECYCLING TO THE MAXIMUM EXTENT POSSIBLE, EACH PROPERTY OWNER, MANAGER, OR LESSEE SHALL INFORM ALL TENANTS AND/OR EMPLOYEES LIVING OR WORKING ON THE PROPERTY OF THE AVAILABILITY AND LOCATION OF THE RECYCLING AREA(S) OR ROOM(S), THE TYPES OF MATERIALS THAT ARE COLLECTED FOR RECYCLING, THAT THE RECYCLING COLLECTION FACILITIES ARE LOCATED ON THE PROPERTY PURSUANT TO STATE LAW REQUIRING THE DIVERSION OF A SUBSTANTIAL PORTION OF SOLID WASTE.
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6. THE RECYCLING AREA OR ROOM SHALL BE CLEARLY IDENTIFIED BY ONE OR MORE SIGNS DESIGNATING IT FOR RECYCLING COLLECTION AND LOADING.
7. THE RECYCLING AREA OR ROOM SHALL BE AVAILABLE FOR USE BY PERSONS RESIDING OR EMPLOYED ON THE PROPERTY, BUT SHALL BE KEPT SECURED FROM UNAUTHORIZED ENTRY BY THE GENERAL PUBLIC.
8. RECYCLING AREAS OR ROOMS SHALL NOT DIMINISH THE REQUIRED NUMBER OF PARKING SPACES OR IMPAIR TRAFFIC FLOW.
9. RECYCLING AREAS OR ROOMS SHALL BE PLACED ALONGSIDE OF TRASH AREAS OR ROOMS WHEREVER POSSIBLE AND SHALL COMPLY WITH THE FOLLOWING: (AMENDED BY ORD. NO. 181,227, EFF. 9/1/10).
 - A. RECYCLING ROOMS SHALL COMPLY WITH SECTION 91.6102 OF THIS CODE AND MUST BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM PURSUANT TO SECTION 57.304.2.2 OF THIS CODE.
 - B. OUTDOOR RECYCLING AREAS IN COMMERCIAL, INDUSTRIAL OR PUBLIC FACILITIES, OR RESIDENTIAL BUILDINGS HAVING FOUR OR MORE LIVING UNITS SHALL BE CONFINED TO THE REAR ONE-HALF OF THE LOT AND SHALL NOT EXCEED AN AREA OF 300 SQUARE FEET.
 - C. OUTDOOR RECYCLING AREAS SHALL BE COMPLETELY ENCLOSED BY AN EIGHT-FOOT WALL OR CHAIN LINK FENCE WITH WOODEN SLATES, CONCRETE BLOCK, OR SIMILAR CONSTRUCTION ENCLOSURES WITH GATES OF THE SAME HEIGHT. NO MATERIAL SHALL EXCEED THE HEIGHT OF THE WALL OR FENCE. THE ENCLOSURE SHALL BE CONSTRUCTED WITH A CONCRETE FLOOR SLOPED TO DRAIN, AND A WATER FAUCET FOR HOSE ATTACHMENT SHALL BE LOCATED ADJACENT TO OR WITHIN THE ENCLOSURE. THE ENCLOSURE SHALL BE SECURED BY A LOCKING GATE.
 - D. PURSUANT TO SECTION 57.304.2.2 OF THE CODE, OUTDOOR RECYCLING AREAS SHALL BE LOCATED A MINIMUM OF 10 FEET FROM ANY BUILDING OR BUILDING OPENING EXCEPT WHEN LOCATED ADJACENT TO A MINIMUM ONE-HOUR WALL AND A MINIMUM OF 10 FEET FROM ANY BUILDING OPENING.

THE ABOVE DRAWINGS, SPECIFICATIONS, REVISIONS, AND ARRANGEMENTS REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

Revision No.	Revision Desc.	Revision Date

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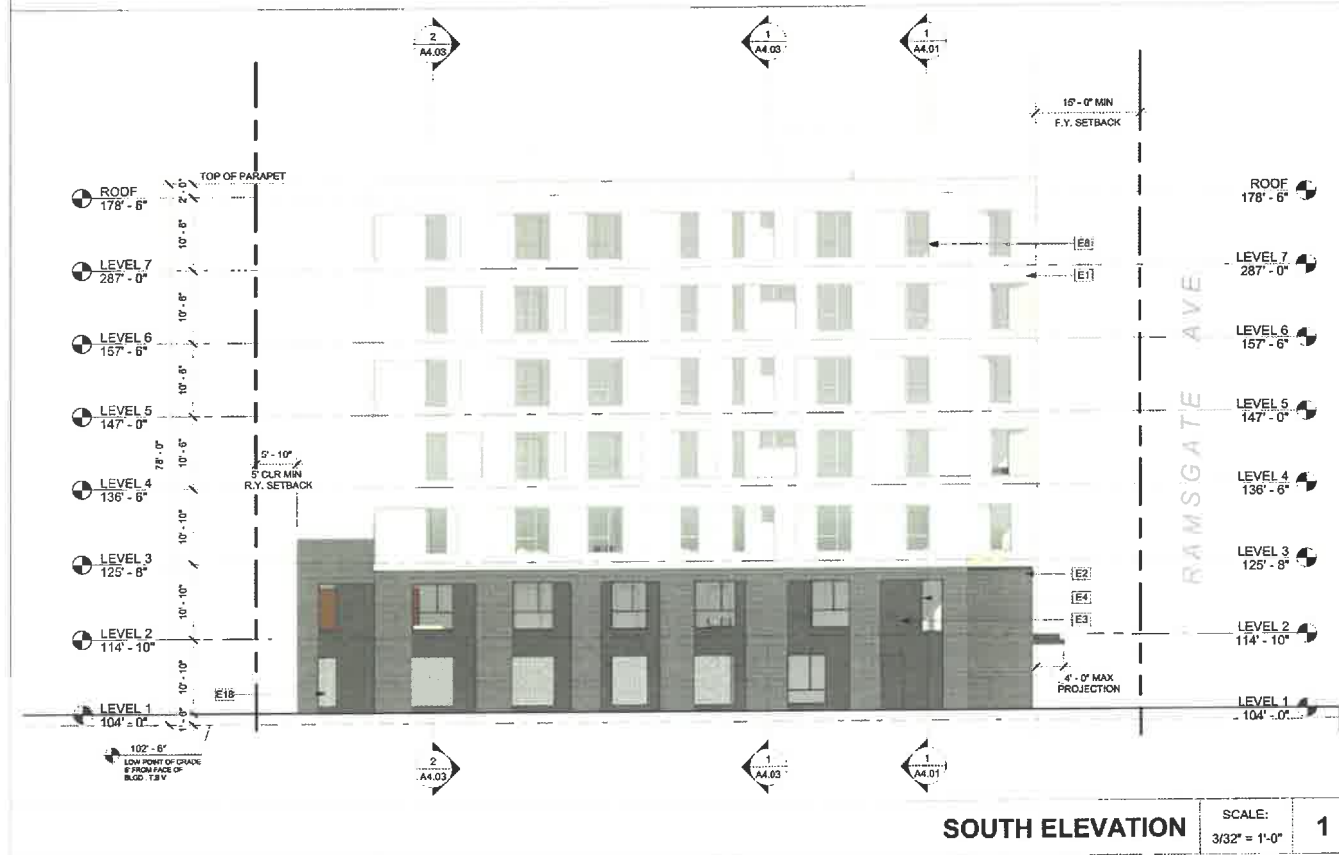
RAMSGATE APARTMENTS
9033, 9037, 9043 RAMSGATE AVENUE
LOS ANGELES, CA 90045

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
PRELIMINARY ZONING ASSESSMENT COMPLETE
By: MEGAN KOLP
DATE: 07/23/2024
APPLICATION #: 24010 - 10001 - 00572

PROJECT NUMBER: 2325
PROJECT PHASE: SCHEMATIC DESIGN 1.7.5
SHEET ISSUE DATE: JULY 2, 2024
SHEET NAME: ROOF PLAN
SHEET NUMBER: **A2.19**



WEST ELEVATION SCALE: 3/32" = 1'-0" 2



SOUTH ELEVATION SCALE: 3/32" = 1'-0" 1

ELEVATION KEYNOTES

- E1 EXT CEMENT PLASTER, SMOOTH/FINE TROWELED FINISH WITH STD INTEGRAL COLOR, WHITE
- E2 THIN BRICK VENEER, ENDICOTT GRAPHITE MATT, OR APPROVED EQ.
- E3 EXT CEMENT PLASTER, SMOOTH/FINE TROWELED FINISH WITH PTD BLACK FINISH
- E4 BLACK/DARK BRONZE ANODIZED ALUM. WINDOWS WITH EXTRUDED BEAD
- E5 STAIR OVERRUN / ROOF ACCESS
- E8 WHITE ALUM. WINDOWS WITH EXTRUDED BEAD
- E18 MICHIGOLS BAR GRATING, OR EQ., BLACK, AT GARAGE OPENINGS FOR NATURAL VENTILATION

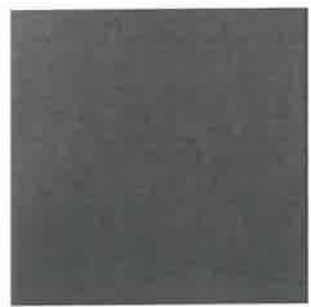
THE ABOVE DRAWINGS, SPECIFICATIONS, AND NOTATIONS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, REPRODUCED, OR TRANSMITTED IN ANY CONNECTION WITH ANY OTHER WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

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E3 SMOOTH STUCCO PAINTED BLACK



E1 SMOOTH INTEGRAL COLOR WHITE STUCCO



E2 BRICK VENEER, ENDICOTT GRAPHITE MATT, OR SIM



E4 / E5 BLACK ALUMINUM WINDOWS/DOORS



E8 WHITE ALUMINUM WINDOWS



PROJECT NUMBER: 2325
PROJECT PHASE: SCHEMATIC DESIGN 1.7.5
SHEET ISSUE DATE: JULY 2, 2024
SHEET NAME: BUILDING ELEVATIONS
SHEET NUMBER: **A3.11**

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Case No. ADM-2024-3241-DB-VHCA-ED1



EAST ELEVATION SCALE: 3/32" = 1'-0" **2**

ELEVATION KEYNOTES

- E1 EXT CEMENT PLASTER, SMOOTH/FINE TROWELED FINISH WITH STD INTEGRAL COLOR, WHITE
- E2 THIN BRICK VENEER, ENDICOTT GRAPHITE MATT OR APPROVED EQ.
- E3 EXT CEMENT PLASTER, SMOOTH/FINE TROWELED FINISH WITH PTD BLACK FINISH
- E4 BLACK/DARK BRONZE ANOIZED ALUM. WINDOWS WITH EXTRUDED BEAD
- E5 STAIR OVERRUN / ROOF ACCESS
- E6 WHITE ALUM. WINDOWS WITH EXTRUDED BEAD
- E8 MCNICHOLS BAR GRATING, OR EQ., BLACK, AT GARAGE OPENINGS FOR NATURAL VENTILATION

THE ABOVE DRAWINGS, SPECIFICATIONS, NOTES AND SCHEDULES SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THESE DRAWINGS AND SPECIFICATIONS AND SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

Revision No.	Revision Desc.	Revision Date

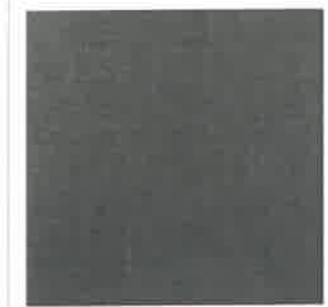
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LOS ANGELES, CA 90045



NORTH ELEVATION SCALE: 3/32" = 1'-0" **1**



E3 SMOOTH STUCCO PAINTED BLACK



E1 SMOOTH INTEGRAL COLOR WHITE STUCCO



E2 BRICK VENEER, ENDICOTT GRAPHITE MATT, OR SIM



E4 / E5 BLACK ALUMINUM WINDOWS/DOORS

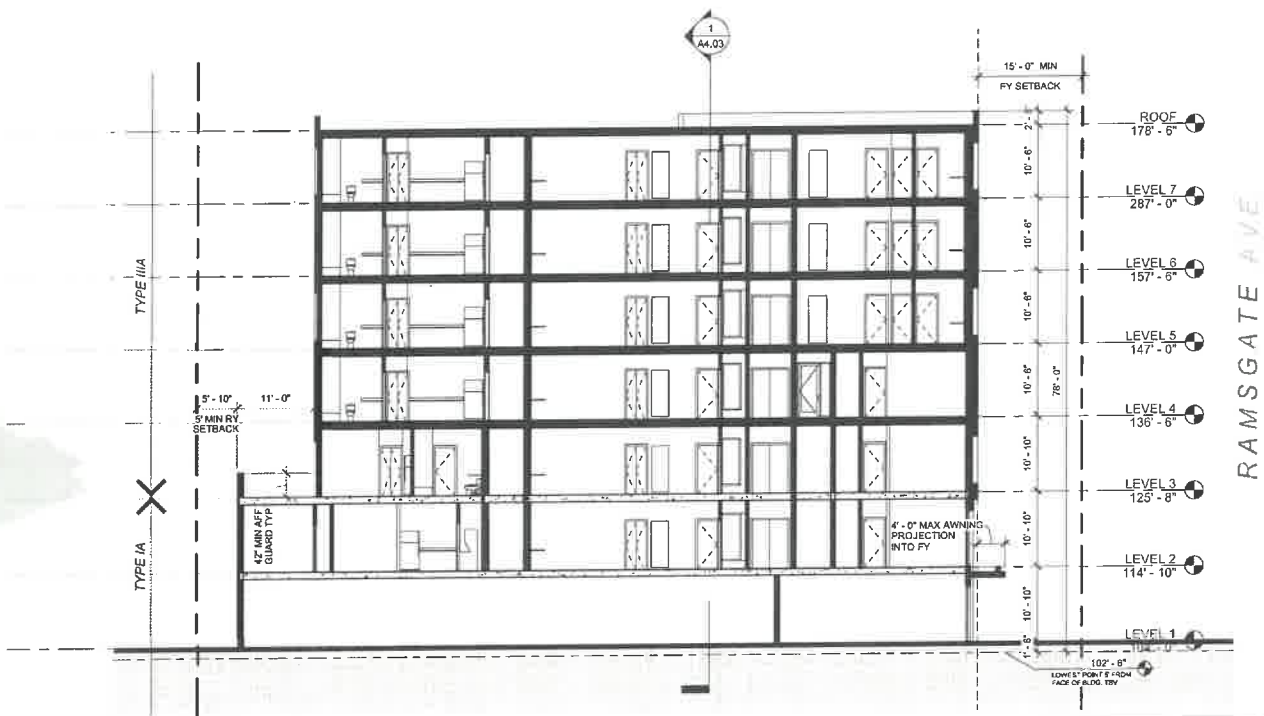


E8 WHITE ALUMINUM WINDOWS



PROJECT NUMBER	2325
PROJECT PHASE	SCHEMATIC DESIGN 1.7.5
SHEET ISSUE DATE	JULY 2, 2024
SHEET NAME	BUILDING ELEVATIONS
SHEET NUMBER	A3.12

EXHIBIT "A"
Page No. 15 of 21
Case No. ADM-2024-3241-DB-VHCA-ED1



CROSS SECTION B SCALE: 3/32" = 1'-0" 2



LONGITUDINAL SECTION A SCALE: 3/32" = 1'-0" 1



EXHIBIT "A"
 Page No. 16 of 21
 Case No. ADM-2024-3241-DB-VHCA-ED1

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Revision No.	Revision Desc.	Revision Date

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RAMSGATE APARTMENTS
 9033, 9037, 9043 RAMSGATE AVENUE
 LOS ANGELES, CA 90046

PROJECT NUMBER: 2325
 PROJECT PHASE: SCHEMATIC DESIGN 1.7.5
 SHEET ISSUE DATE: JULY 2, 2024
 SHEET NAME: BUILDING SECTIONS
 SHEET NUMBER: **A4.01**



LONGITUDINAL SECTION C SCALE: 3/32" = 1'-0" **1**

EXHIBIT "A"
 Page No. 17 of 21
 Case No. ADM-2024-3241-DB-VHCA-ED1

THE ABOVE DRAWINGS, SPECIFICATIONS, CONDITIONS, NOTES, AND REQUIREMENTS REPRESENT THE ENTIRE AGREEMENT BETWEEN THE ARCHITECT AND THE CLIENT. NO PART OF THESE DRAWINGS SHALL BE COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS THAT MAY OCCUR DURING THE COURSE OF THE PROJECT. THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

Revision No.	Revision Date	Revision Description

Albert Group
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RAMSGATE APARTMENTS
 9033, 9037, 9043 RAMSGATE AVENUE
 LOS ANGELES, CA 90045

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
 PRELIMINARY ZONING ASSESSMENT COMPLETE
 BY: MEGAN KOLP
 DATE: 07/23/2024
 APPLICATION #: 24010 - 10001 - 00572

PROJECT NUMBER: 2325
 PROJECT PHASE: SCHEMATIC DESIGN 1.7.5
 SHEET ISSUE DATE: JULY 2, 2024
 SHEET NAME: BUILDING SECTIONS
 SHEET NUMBER: **A4.02**



Arbutus 'Marina'
Marina Strawberry Tree



Arctostaphylos 'John Dourley'
John Dourley Manzanita



Baccharis pilularis 'Pigeon Point'
Pigeon Point Coyote Brush



Agave 'Blue Flame'
Blue Flame Agave



Heteromeles arbutifolia
Tynia



Lamandra 'Lime Tuff'
Dwarf Mat Rush



Romneya coulteri
Mauia Poppy



Muhlenbergia rigens
Deer Grass



Olea europaea 'Montza'
Little Olive



Rosmarinus officinalis 'Barbecue'
Barbecue Rosemary



Salvia greggii
Blue Haze Sage



Salvia greggii 'Blue Haze'
Purple Autumn Sage



Aspidistra 'Tiny Tank'
Dwarf Cast Iron Plant



Fatsia japonica
Japanese Aralia



Hakonechloa macrochaeta
Japanese Forest Grass



Polystichum muriculatum
Western Sword Fern



Schefflera pueckleri
Tuckermeyer



Woodwardia limbata
Giant Chain Fern



Acer palmatum
Japanese Maple



Laurus nobilis
Bay Laurel



Lamandra 'Lime Tuff'
Dwarf Mat Rush



Mahonia 'Soft Caress'
Soft Caress Mahonia



Aeonium 'Mint Saucer'
Mint Saucer Aeonium



Pittosporum 'Whacker's Dwarf'
Whacker's Dwarf Pittosporum

PLANTING LEGEND - LEVEL 1

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	PLANT SIZE	SPACING	EXPOSURE	WUCOLS
TREES								
	Arbutus 'Marina'	Marina	24" box	5	43-50H x 25-40W	-	Full Sun	Low
	Heteromeles arbutifolia	Tynia	24" box	4	6-10H x 6-8W	-	Sun or Shade	V Low
	Lophosiphon confertus	Brisbane Box	24" box	4	43-60H x 15-25W	-	Full Sun	MOD
SHRUBS								
	Arctostaphylos 'John Dourley'	John Dourley Manzanita	5 Gal.	-	2-4H x 6-8W	-	Full Sun	Low
	Romneya coulteri	Mauia Poppy	5 Gal.	-	3-5H x 6-8W	-	Sun or Shade	V Low
	Olea europaea 'Montza'	Little Olive	15 Gal.	-	6-8' H x 4-5' W	-	Full Sun	Low
	Rosmarinus officinalis 'Barbecue'	Barbecue Rosemary	5 Gal.	-	4-6' H x 2-3' W	-	Full Sun	Low
	Salvia spiana	White Sage	5 Gal.	-	3-5H x 4-5W	-	Full Sun	V Low
	Salvia greggii 'Blue Haze'	Purple Autumn Sage	5 Gal.	-	-	-	Full Sun	Low
GRASSES, BAMBOO & PHORMIUMS								
	Lamandra 'Lime Tuff'	Dwarf Mat Rush	5 Gal.	-	3-4' H x 2-3' W	-	Sun or Shade	Low
	Muhlenbergia rigens	Deer Grass	5 Gal.	-	4-5H x 4-6W	-	Sun or Shade	Low
AGAVES & ALOES								
	Agave 'Blue Flame'	Blue Flame Agave	15 Gal.	-	2-3' H x 2-3' W	-	Full Sun	Low
GROUNDCOVER & WINES								
	Baccharis pilularis 'Pigeon Point'	Dwarf Coyote Brush	5 Gal.	-	1-2' H x 8-10' W	-	Full Sun	Low
	Trachelospermum jasminoides - stacked	Star Jasmine	5 Gal.	-	2-5' H x Spreading	-	Sun or Shade	Mod
	Lippia nodiflora	Kunipia	flats	-	-	-	-	Low

PLANTING LEGEND - LEVEL 2

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	PLANT SIZE	SPACING	EXPOSURE	WUCOLS
TREES								
	Schefflera pueckleri	Tuckermeyer	24" box	2	15-20H x 15-20W	-	Sun or Shade	Mod
SHRUBS								
	Aspidistra 'Tiny Tank'	Dwarf Cast Iron Plant	5 Gal.	-	1-3H x 2-3W	-	Shade	Mod
	Fatsia japonica	Japanese Aralia	15 Gal.	-	6-10H x 4-6W	-	Full or Part Shade	Mod
	Polystichum muriculatum	Western Sword Fern	15 Gal.	-	2-3H x 2-4W	-	Shade	Mod
	Woodwardia limbata	Giant Chain Fern	5 Gal.	-	6'H x 4'W	-	Full or Part Shade	Mod
GRASSES, BAMBOO & PHORMIUMS								
	Hakonechloa macrochaeta	Japanese Forest Grass	5 Gal.	-	1-5H x 1-5W	-	Part Shade/Part Sun	Mod

PLANTING LEGEND - LEVEL 4

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	PLANT SIZE	SPACING	EXPOSURE	WUCOLS
TREES								
	Acer palmatum	Japanese Maple	24" box	3	10-25H x 10-25W	-	Sun or Shade	Mod
	Laurus nobilis	Bay Laurel	24" box	2	20-30H x 10-20W	-	Cool Sun/ Light Shade	Low
SHRUBS								
	Mahonia 'Soft Caress'	Soft Caress Mahonia	5 Gal.	-	3H x 3.5W	-	Part-Full Shade	Mod
	Pittosporum 'Whacker's Dwarf'	Whacker's Dwarf Pittosporum	15 Gal.	-	3-4H x 3-5W	-	Sun or Shade	Mod
GRASSES, BAMBOO & PHORMIUMS								
	Lamandra 'Lime Tuff'	Dwarf Mat Rush	5 Gal.	-	3-4H x 2-3W	-	Sun or Shade	Low
AGAVES, ALOES, & SUCCULENTS								
	Aeonium 'Mint Saucer'	Green Aeonium	5 Gal.	-	2-3' H x 1-2' W	-	Cool Sun/ Light Shade	Low

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Revision No.	Revision Desc.	Date
1	Schematic Design	7/12/2024

Albert Group
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Landscape Architecture and Construction Services
3117 Ardmore Avenue, Suite 100, Los Angeles, CA 90018
310.552.8100 | albertgroup.com



RAMSGATE APARTMENTS
3033, 3037, 3043 RAMSGATE AVENUE
LOS ANGELES, CA 90045

PROJECT NUMBER: 2410
PROJECT PHASE: PLANNING SUBMITTAL
SHEET ISSUE DATE: JULY 2, 2024
SHEET NAME: PLANT PALETTES ALL LEVELS
SHEET NUMBER: L2.00

EXHIBIT "A"
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FOR REFERENCE ONLY



- KEY NOTES**
- 1 PLANTING AREA
 - 2 ENTRY WALK
 - 3 DRIVEWAY
 - 4 STREET TREE (EX.)
 - 5 STREET TREE (NEW)
 - 6 BIKE RACKS

HARDSCAPE LEGEND - LEVEL 1

SYMBOL	ITEM
MATERIALS	
[Pattern]	CONCRETE PAVING, NO INTEGRAL COLOR, CITY STANDARD FINISH
[Pattern]	PERVIOUS PAVERS
[Pattern]	CONCRETE PAVERS OVER CONCRETE SLAB
[Pattern]	GRAVEL
[Symbol]	BOULDER
[Symbol]	PLANTING AREA

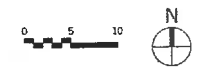
PLANTING LEGEND - LEVEL 1

SYMBOL	BOTANICAL NAME	COMMON NAME
TREES		
[Symbol]	<i>Arbutus Menis - multi</i>	
[Symbol]	<i>Heteromeles arbutifolia</i>	
[Symbol]	<i>Lophostemon confertus</i>	Brisbane Box
SHRUBS		
[Symbol]	<i>Arctostaphylos 'John Courley'</i>	John Courley Manzanita
[Symbol]	<i>Romneya coulteri</i>	Malibu Poppy
[Symbol]	<i>Olea europaea 'Mortini'</i>	Little Olive
[Symbol]	<i>Rosmarinus officinalis 'Barbecue'</i>	Barbecue Rosemary
[Symbol]	<i>Salvia apiana</i>	White Sage
[Symbol]	<i>Salvia greggii 'Blue Hole'</i>	Purple Autumn Sage
GRASSES, BAMBOO & PHORMIUMS		
[Symbol]	<i>Lomandra Lime Tuft</i>	Dwarf Mat Rush
[Symbol]	<i>Muhlenbergia rigens</i>	Deer Grass
AGAVES & ALOES		
[Symbol]	<i>Agave 'Blue Flame'</i>	Blue Flame Agave
GROUNDCOVER & VINES		
[Symbol]	<i>Baccharis pilularis 'Pigeon Plant'</i>	Dwarf Coyote Brush
[Symbol]	<i>Trachelospermum jasminoides - stalked</i>	Star Jasmine
[Symbol]	<i>Lippia nodiflora</i>	Kuraple



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Revision No.	Revision Desc.	Revision Date
1	Schematic Design	7/12/2024

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[place]

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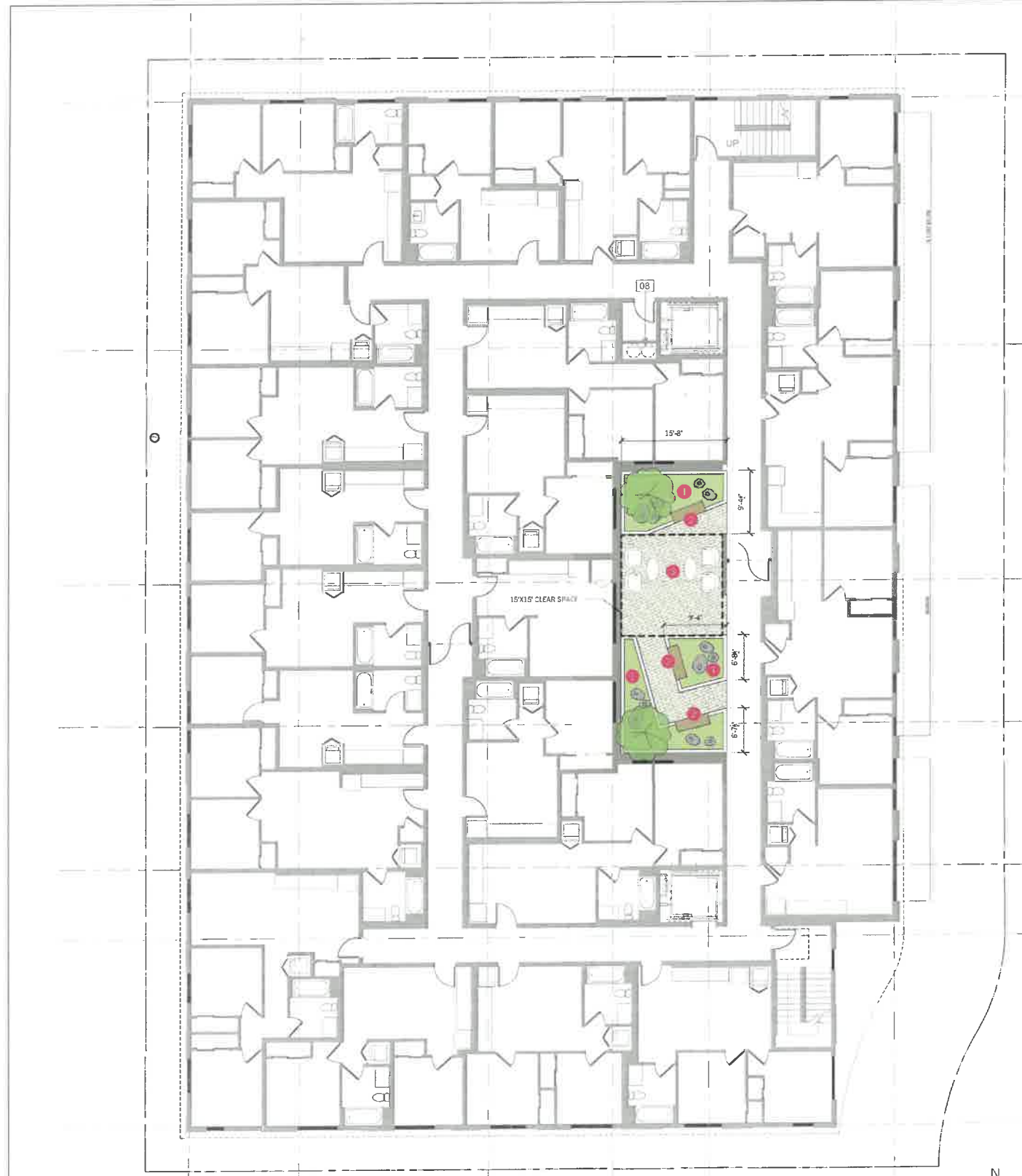


RAMSGATE APARTMENTS

9033, 9037, 9043 RAMSGATE AVENUE
 LOS ANGELES, CA 90045

PROJECT NUMBER: 2410
 PROJECT PHASE: PLANNING SUBMITTAL
 SHEET ISSUE DATE: JULY 2, 2024
 SHEET NAME: LEVEL 1 PLANTING AND HARDSCAPE PLAN
 SHEET NUMBER: **L2.11**

FOR REFERENCE ONLY



- KEY NOTES**
- 1 PLANTING AREA BY RAISED PLANTER
 - 2 BENCH SEATING
 - 3 SEATING GROUP

PLANTING LEGEND - LEVEL 2

SYMBOL	BOTANICAL NAME	COMMON NAME
TREES		
	Schefflera puerarioides	Tupicanthus
SHRUBS		
	Aspidistra 'Tiny Tank'	Dwarf Cast Iron Plant
	Fatsia japonica	Japanese Aralia
	Polystichum munifolium	Western Sword Fern
	Woodwardia fimbriata	Giant Chain Fern
GRASSES, BAMBOO & PHORMIUMS		
	Hakonechloa macroa	Japanese Forest Grass

HARDSCAPE LEGEND - LEVEL 2

SYMBOL	ITEM
MATERIALS	
	PORCELAIN PAVERS, T-HINSET
	BOULDER
	PLANTING AREA



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Revision No.	Revision Desc.	Revision Date
1	SCHEMATIC DEVELOPMENT	7/12/2024

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RAMSGATE APARTMENTS
 9033, 9037, 9043 RAMSGATE AVENUE
 LOS ANGELES, CA 90045

PROJECT NUMBER: 2410
 PROJECT PHASE: PLANNING SUBMITTAL
 SHEET ISSUE DATE: JULY 2, 2024
 SHEET NAME: LEVEL 2 PLANTING AND HARDSCAPE PLAN
 SHEET NUMBER: **L2.12**

FOR REFERENCE ONLY



KEY NOTES

- 1 PLANTING IN RAISED PLANTERS
- 2 SEATING AREA
- 3 FIRE PIT
- 4 BARBECUE & OUTDOOR KITCHEN
- 5 COUNTER-HEIGHT SEATING
- 6 DINING AREA
- 7 LEVEL 2 COURTYARD BELOW

PLANTING LEGEND - LEVEL 4

SYMBOL	BOTANICAL NAME	COMMON NAME
TREES		
	Acer palmatum	Japanese Maple
	Laurus nobilis	Bay Laurel
SHRUBS		
	Mahonia 'Soft Caress'	Soft Caress Mahonia
	Pittosporum 'Wheeler's Dwarf'	Wheeler's Dwarf Pittosporum
GRASSES, BAMBOO & PHORMIUMS		
	Lomandra 'Lime Tuff'	Dwarf Mat Rush
AGAVES, ALDES. & SUCCULENTS		
	Aeonium 'Mini Saucer'	Green Aeonium

HARDSCAPE LEGEND - LEVEL 4

SYMBOL	ITEM
MATERIALS	
	CONCRETE PAVER OVER PEDESTAL
	PLANTING AREA



METAL PLANTERS



PORCELAIN PAVERS ON PEDESTALS

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Revision No.	Revision Desc.	Revision Date
1	SPANNING ORIGIN	7/12/2024



RAMSGATE APARTMENTS

9033, 9037, 9043 RAMSGATE AVENUE
LOS ANGELES, CA 90045

PROJECT NUMBER: 2410

PROJECT PHASE: PLANNING SUBMITTAL

SHEET ISSUE DATE: JULY 2, 2024

SHEET NAME: LEVEL 4 PLANTING AND HARDSCAPE PLAN

SHEET NUMBER: **L2.14**

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