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CITY PLANNING**

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March 21, 2025

Applicant/Owner

Simon Aftalion
Passo Stoner, LLC
121 South Palm Drive, Suite 301
Beverly Hills, CA 90212

Representative

Gary Benjamin
Alchemy Planning + Land Use
1110 North Virgil Avenue, Suite 187
Los Angeles, CA 90029

Case No. ADM-2024-7126-DB-VHCA-
RED1

Related Case: N/A

CEQA: N/A

Location: 1747 – 1751 South Stoner
Avenue

Council District: 11 – Park

Community Plan Area: West Los Angeles

Specific Plan: West Los Angeles
Transportation Improvement
and Mitigation Specific Plan

Land Use Designation: Medium Residential

Zone: [Q]R3-1

Legal Description: Lot 11, Block None, Tract TR
6180

**LETTER OF COMPLIANCE – MINISTERIAL OFF-MENU DENSITY BONUS INCENTIVES AND
WAIVER OF DEVELOPMENT STANDARD**

Pursuant to the California Government Code Section 65915, and the Los Angeles Municipal Code (LAMC) Section 12.22 A.25, I have reviewed the proposed project and as the designee of the Director of Planning, I hereby:

DETERMINE, that the project qualifies as a ministerial review, pursuant to Resolution (CF 22-1545) relative to the Declaration of Local Emergency by the Mayor, dated December 12, 2022, concerning homelessness in the City of Los Angeles, pursuant to the provisions of the Los Angeles Administrative Code (LAAC) Section 8.27, adopted by the City Council on December 13, 2022 and Executive Directive 1 dated December 16, 2022 (revised July 1, 2024).

APPROVE a **Density Bonus Compliance Review** for a 100% Affordable Housing Development (as defined in CA Govt. Code Section 65915(b)(1)(G)), for a project totaling 53 dwelling units, reserving one (1) Manager's Unit, 42 units for Low Income household occupancy, and 10 units for Moderate Income household occupancy for a period of 55 years. As the project has requested a waiver from maximum controls on density, the project is allowed five (5) incentives and one (1) waiver (pursuant to CA Govt. Code Section 65916(e)(3)) and the following are granted, in addition to unlimited density and

height increase of up to 33 feet:

1. **Automobile Parking (Off-Menu).** A reduction of the required automobile parking spaces, for a minimum of zero (0) automobile parking spaces in lieu of the 65 automobile parking spaces otherwise required by LAMC Section 12.21 A.4(a).
2. **Open Space (Off-Menu).** An up to 50% reduction in the required open space, for a minimum of 2,650 square feet of open space in lieu of the 5,300 square feet otherwise required by LAMC Section 12.21 G.2.
3. **Trees (FAR) (Off-Menu).** An up to 25% reduction in the required trees, for a minimum of 11 trees in lieu of the 14 trees otherwise required by LAMC Section 12.21 G.2(a)(3).
4. **Long-Term Bicycle Parking (Off-Menu).** An up to 50% reduction of the required long-term bicycle parking spaces, for a minimum of 22 long-term bicycle parking spaces in lieu of the 44 long-term bicycle parking spaces otherwise required by LAMC Section 12.21 A.16(a)(1).
5. **Floor Area Ratio (FAR) (Off-Menu).** An up to 93% increase in the FAR, for a total FAR of 5.79:1 in lieu of the 3.1 FAR otherwise allowed in the [Q]R3-1 Zone.
6. **Side Yards (Waiver).** A reduction in the required northerly and southerly side yard setbacks, for a minimum of 5 feet in lieu of 11 feet otherwise required in the [Q]R3-1 Zone.

CONDITIONS OF APPROVAL

1. **Site Development.** The project shall be in substantial conformance with the plans and materials submitted by the Applicant, including the proposed building design elements and materials, stamped "Exhibit A," with a date of December 16, 2024, attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning Project Planning Bureau, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Los Angeles Municipal Code or the project conditions.
2. **Residential Density.** The project shall be limited to a maximum density of 53 residential dwelling units per Exhibit "A". Pursuant to California Government Code Section 65915(f)(3)(D)(ii) and Assembly Bill 2097, the project is located within a Very Low Vehicle Travel Area, and the project is allowed unlimited density.
3. **On-Site Restricted Affordable Units.** Forty-two (42) units shall be reserved for Low Income households and 10 units shall be reserved for Moderate Income households, as defined by the California Government Code Section 65915 and by the Los Angeles Housing Department (LAHD). In the event the SB 8 Replacement Unit condition requires additional affordable units or more restrictive affordability levels, the most restrictive requirements shall prevail.
4. **Changes in Restricted Units.** Deviations that increase the number of restricted affordable units or that change the composition of units or change parking numbers shall be consistent with LAMC Section 12.22-A.25 and Government Code Section 65915.
5. **Housing Requirements.** Prior to issuance of a building permit, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing Department ("LAHD") to reserve 42 units for Low Income households and 10 units for Moderate Income households or equal to 100 percent of the project's total proposed residential density allowed, exclusive of one (1) Manager's Unit, for sale or rental, as determined to be affordable to such households by LAHD for a period of 55 years. In the event the applicant reduces the proposed density of the project, the number of required reserved on-site Restricted Units may be adjusted, consistent with LAMC Section 12.22 A.25, to the satisfaction of LAHD and in consideration of the project's Replacement Unit Determination. Enforcement of the terms of said covenant shall be the responsibility of LAHD. The Applicant shall submit a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the Guidelines for the Affordable Housing Incentives Program adopted by the City Planning Commission and any monitoring requirements established by the LAHD.

Unless otherwise required by state or federal law, the project shall provide an onsite building manager's unit, which the owner shall designate in the covenant. The Owner may not use an affordable restricted unit for the manager's unit.

6. **Rent Stabilization Ordinance (RSO).** Prior to the issuance of a Certificate of Occupancy, the owner shall obtain approval from LAHD regarding replacement of affordable units, provision of RSO Units, and qualification for the Exemption from the Rent Stabilization Ordinance with Replacement Affordable Units in compliance with Ordinance No. 184,873. In order for all the new units to be exempt from the Rent Stabilization Ordinance, the applicant will need to either replace all withdrawn RSO units with affordable units on a

one-for-one basis or provide at least 20 percent of the total number of newly constructed rental units as affordable, whichever results in the greater number. The executed and recorded covenant and agreement submitted and approved by LAHD shall be provided.

7. **100% Affordable Housing Project (ED1).** If the project changes at any time during the review or construction process such that it no longer meets ED 1 eligibility criteria, the project is disqualified from ED1 streamlining and all prior determinations on the project become inapplicable. For projects requiring a City Planning application, if a project changes at any point during the City Planning review or post-approval process such that the project would no longer qualify for ED 1, a new application for the revised project must be filed.

8. **Density Bonus Incentives and Waiver**

- i. **Density.** The project shall be limited to a total of 53 dwelling units.
- ii. **100% Affordable “ED1” Project Height.** Pursuant to California Government Code Section 65915(d)(2)(D), the project is located within a Very Low Vehicle Travel Area, the applicant shall receive a height increase of up to three additional stories or 33 feet. The height increase is calculated on top of all current zoning height limits. The project shall be limited to 76 feet 5 inches in height as shown in Exhibit “A”.
- iii. **Automobile Parking (Off-Menu).** The project is allowed a minimum of zero (0) automobile parking spaces, as shown in Exhibit “A”.
- iv. **Open Space (Off-Menu).** The project shall be eligible to request no more than a 50 percent reduction in the otherwise required open space. The project is allowed a minimum of 2,650 square feet of Open Space, as shown in Exhibit “A”.
- v. **Trees (Off-Menu).** The project shall be eligible to request no more than a 25 percent reduction in any otherwise required tree planting requirements. The project is allowed a minimum of 11 trees, as shown in Exhibit “A”.
- vi. **Long-Term Bicycle Parking (Off-Menu).** The project shall be eligible to request no more than a 50 percent reduction in the otherwise required bicycle parking. The project is allowed a minimum of 22 long-term bicycle parking spaces, as shown in Exhibit “A”.
- vii. **Floor Area Ratio (FAR) (Off-Menu).** The project shall be eligible to request no more than a 100 percent increase in floor area. The project total Floor Area shall be limited to 27,171 square feet and a 5.79:1 FAR, as shown in Exhibit “A”.
- viii. **Side Yards (Waiver).** For the purpose of requesting an off-menu incentive or waiver to reduce required yards, all adjustments to individual yards or setbacks may be combined to count as one off-menu incentive or waiver. The project shall provide minimum 5-foot northerly and southerly side yard setbacks, as shown in Exhibit “A”.

8. **Bicycle Parking.** Short-term bicycle parking shall be provided consistent with LAMC 12.21 A.16.
9. **Required Trees per 12.21 G.2.** As conditioned herein, a final submitted landscape plan shall be reviewed to be in substantial conformance with Exhibit "A." There shall be a minimum of eleven (11) 24-inch box, or larger, trees on site pursuant to LAMC Section 12.21 G.2. Any required trees pursuant to LAMC Section 12.21 G.2 shown in the public right-of-way in Exhibit "A" shall be preliminarily reviewed and approved by the Urban Forestry Division prior to building permit issuance. In-lieu fees pursuant to LAMC Section 62.177 shall be paid if placement of required trees in the public right-of-way is proven to be infeasible due to City determined physical constraints.
10. **Street Trees.** Street trees may be used to satisfy on-site tree requirements pursuant to LAMC Section 12.21 G.3 (Chapter 1, Open Space Requirement for Six or More Residential Units).
11. **Landscape Plan.** The landscape plan shall indicate landscape points for the project equivalent to **10% more than otherwise required** by LAMC 12.40 and Landscape Ordinance Guidelines "O". All open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be attractively landscaped, including an automatic irrigation system, and maintained in accordance with a landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning.
12. **SB 8 Replacement Units (California Government Code Section 66300 et seq.)** The project shall be required to comply with the Replacement Unit Determination (RUD) letter, dated July 18, 2024, to the satisfaction of LAHD. The most restrictive affordability levels shall be followed in the covenant. In the event the On-site Restricted Affordable Units condition requires additional affordable units or more restrictive affordability levels, the most restrictive requirements shall prevail.
13. **ED 1 Eligibility Standards.** The project is subject to and has been determined to comply with the eligibility standards of the Revised ED 1 dated July 1, 2024. Prior to the issuance of a building permit, the applicant shall continue to demonstrate compliance with the eligibility standards, including but not limited to:
 - a. **Pedestrian Access.** Any building fronting a public street shall have at least one pedestrian entrance facing a public street. Pedestrian access to the street facing entrance shall be provided.
 - b. **Glazing.** All floors located above the ground floor shall have glazing equivalent to a minimum of 20 percent of the facade area.
 - c. **Mandatory Housing Requirements.** Prior to the issuance of a building permit, the applicant shall continue to demonstrate compliance with the mandatory housing protection requirements, including but not limited to provisions related to the RSO unit replacement, initial rent and deposit, returning tenants provision, affordability covenant and accessory dwelling units and future conversations.
14. **Ordinance No. 166,311.** Prior to the issuance of a building permit, the applicant shall demonstrate compliance with the objective planning standards pursuant to the Qualified

“Q” Condition of Ordinance No. 166,311 (Subarea No. 950). The final plans shall be in conformance with plans stamped Exhibit “A”.

Administrative Conditions

15. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building and Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall be stamped by Department of City Planning staff “Plans Approved”. A copy of the Plans Approved, supplied by the applicant, shall be retained in the subject case file.
16. **Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet and shall include any modifications or notations required herein.
17. **Approval, Verification and Submittals.** Copies of any approvals guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
18. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
19. **Department of Building and Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
20. **Recording Covenant.** Prior to the issuance of any permits relative to this matter, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder’s Office. The agreement (standard master covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Development Services Center for approval before being recorded. After recordation, a certified copy bearing the Recorder’s number and date shall be provided to the Development Services Center at the time of Condition Clearance for attachment to the subject case file.
21. **Indemnification and Reimbursement of Litigation Costs.**

Applicant shall do all of the following:

- a. Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of the City’s processing and approval of this

entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.

- b. Reimburse the City for any and all costs incurred in defense of an action related to or arising out of the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- c. Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (b).
- d. Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (b).
- e. If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes

actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

PROJECT BACKGROUND

Subject Property

The project site (1747 – 1751 South Stoner Avenue) is located in the West Los Angeles Community Plan and is a rectangular-shaped interior lot with a lot area of approximately 7,375 square feet or approximately 0.17 acres. The project site is located in the [Q]R3-1 Zone with a Land Use designation of Medium Residential. The site has a street frontage of approximately 50 feet along the westerly side of Stoner Avenue and lot depth of approximately 148 feet. The project site is located approximately 0.54 kilometers (0.34 miles) from the Santa Monica Fault Zone and is not located within the Alquist-Priolo Fault Zone. The project site is not located within a designated Hillside Area, Very High Fire Hazard Severity Zone, Landslide Area, Liquefaction Zone, or Tsunami Hazard Area. The project site is also located outside the 500-year Flood Zone. The Tree Disclosure Statement, signed by Simon Aftalion, dated October 30, 2024, states that there are no protected tree or shrub species on the site or adjacent to the site. The Tree Report, prepared by Tree Path, dated May 21, 2024, also states that there are no protected tree or shrub species on the site or adjacent to the site. The project site is currently developed with a 987 square-foot single-family dwelling and 864 square-foot duplex. The proposed project is subject to the “Q” Condition required by Ordinance No. 166,311 (Subarea 950).

Project Description

The project is the demolition of an existing 987 square-foot single-family and 864 square-foot duplex and construction of a new eight-story, 76-foot-5-inch-tall residential development with 53 residential dwelling units (including 42 units for Low Income Household occupancy, 10 units for Moderate Income Household occupancy, and one (1) market-rate manager’s unit). The project will have a proposed Floor Area Ratio (“FAR”) of approximately 5.79:1 with approximately 27,171 square feet of floor area. No parking is being proposed.

Ministerial Review

Following the Mayor’s Declaration of Local Emergency dated December 12, 2022, Executive Directive 1 (ED-1) went into effect on December 16, 2022 to facilitate the expeditious processing of shelters and 100 percent affordable housing projects to address the homelessness crisis in the City of Los Angeles. A 100 percent Affordable Housing Project is defined as “A project with 5 or more units, with all units affordable either at 80% of Area Median Income (HUD) levels, OR at mixed income with up to 20% of units at 120% AMI (HCD rents levels) and the balance at 80% AMI or lower (HUD/TCAC rents levels) as technically described here: A housing development project defined in Government Code Section 65589.5 that includes 100% restricted affordable units (excluding any manager’s units) for which rental or mortgage amounts are limited so as to be affordable to and occupied by, Lower Income households, as defined by California Health and Safety Code 50079.5, or that meets the definition of a 100% affordable housing development in CA Gov. Code 65925(b)(1)(G), as determined by the Los Angeles Housing Department (LAHD)”. For 100 percent affordable housing projects and shelters, the Directive, requires the review be completed within 60 days after the application is complete.

Housing Replacement

Pursuant to LAMC Section 12.22 A.25, an eligible Housing Development shall be eligible for Density Bonus Incentives if it meets any applicable replacement requirements of California Government Code Section 65915(3) (California State Density Bonus Law).

Pursuant to the Senate Bill 8 Replacement Unit Determination made by the Los Angeles Housing Department (LAHD) dated July 18, 2024 that no affordable replacement units are required. However, in order to comply with the provisions of the Housing Crisis Act, three (3) units are subject to replacement with equivalent type at market rate.

Density Bonus Incentives

Pursuant to State Density Bonus Law under Government Code Section 65915, a project located within one-half mile of a Major Transit Stop or within a Very Low Vehicle Travel Area may receive a waiver from any maximum controls on density and a height increase of up to three additional stories or up to 33 additional feet, for 100 percent affordable housing projects.

Additionally, 100% Affordable Housing Developments are entitled to request unlimited density if the project is within a one-half mile of a Major Transit Stop or within a Very Low Vehicle Travel Area (CA Govt. Section 65915(f)(3)(D)(ii)). Lastly, the Housing Development that receives a waiver from any maximum controls on density shall be eligible for one waiver unless the City agrees to additional waivers or reductions of development standards (CA Govt. Section 65915(e)(3)).

LAMC Section 12.22 A.25 and State Density Bonus Law (Government Code Section 65915) outline types of relief that minimize restrictions on the size of the project. In exchange for meeting the minimum set-aside requirements, the project may receive a set of incentives, concessions, and waivers to deviate from development standards in order to facilitate the provisions of affordable housing at the site. The approved incentives and waivers allow the developer to expand the building envelope so the additional affordable units can be constructed, provide for design efficiencies, and allow the overall space dedicated to residential uses to be increased.

Given that the applicant is providing 100 percent of dwelling units to be affordable at Low-Income and Moderate-Income Household occupancy for a period of 55 years, and meets the criteria outline in Government Code Section 65915(d)(2)(D), the project is eligible for unlimited density, a height increase, and up to five (5) incentives and one (1) waiver per California Government Code Section 65915(d)(2)(D) and Section 65915(e)(3).

The applicant has been approved for the following incentives and waiver:

- **Density.** An unlimited increase in density to allow a total of 53 units in lieu of the 10 base units.
- **Height.** A height increase of up to three additional stories or 33 feet.
- **Automobile Parking (Off-Menu).** A reduction of the required automobile parking spaces, for a minimum of zero (0) automobile parking spaces in lieu of the 65 automobile parking spaces otherwise required by LAMC Section 12.21 A.4(a).
- **Open Space (Off-Menu).** An up to 50% reduction in the required open space, allowing a minimum of 2,650 square feet of open space in lieu of 5,300 square feet of open space as otherwise required by LAMC Section 12.21 G.2.
- **Trees (Off-Menu).** An up to 25% reduction in the required trees, for a minimum of 11 trees in lieu of the 14 trees otherwise required by LAMC Section 12.21 G.2(a)(3).
- **Long-Term Bicycle Parking (Off-Menu).** An up to 50% reduction of the required long-

term bicycle parking spaces, for a minimum of 22 long-term bicycle parking spaces in lieu of the 44 long-term bicycle parking spaces otherwise required by LAMC Section 12.21 A.16(a)(1).

- **Floor Area Ratio (FAR) (Off-Menu).** A maximum percentage increase of 93 percent in FAR for a total FAR of 5.79:1 in lieu of the otherwise allowed 3:1 FAR in the [Q]R3-1 Zone.
- **Side Yards (Waiver).** An up to 54.6% reduction in the required northerly and southerly side yard setbacks, for minimum northerly and southerly side yards of five (5) feet in lieu of 11 feet otherwise required in the RD2-1 Zone.

The record does not contain substantial evidence that would allow the decision maker to make a finding that the requested incentives do not result in identifiable and actual cost reduction to provide for affordable housing costs per State Law. The California Health & Safety Code Sections 50052.5 and 50053 define formulas for calculating affordable housing costs for very low-, low-, and moderate-income households. Section 50052.5 addresses owner-occupied housing and Section 50053 addresses rental households. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed a predetermined percentage of income based on area median income thresholds dependent on affordability levels.

The project requests five (5) Off-Menu incentives for a reduction in the required automobile parking, open space, trees, and long-term bicycle parking and for an increase in FAR, along with one (1) Waiver of Development Standard for a reduction in the side yards. Strict compliance with the requested waiver would reduce the buildable area for new development and physically preclude the number and range of units that would be developed. There is no evidence in the record that the approved incentives would have a specific adverse impact. A "specific adverse impact" is defined as "a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" per LAMC Section 12.22 A.25(b). The project does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical Cultural Monuments.

There is no evidence in the record which identifies a written objective health and safety standard that has been exceeded or violated. Based on the above, there is no basis to deny the requested incentives.

CONCLUSION

As a Density Bonus Housing Project that satisfies all the objective planning standards of LAMC Section 12.22 A.25(g)(3), California Government Code Section 65915 and is a 100% affordable housing project consistent with ED1 streamlined approval, the project is considered to be a ministerial project. Additionally, in accordance with Government Code Section 65915, the project as shown in Exhibit "A" is deemed to satisfy the objective planning standards and shall comply with the attached planning standards as Conditions of Approval.

OBSERVANCE OF CONDITIONS - TIME LIMIT - LAPSE OF PRIVILEGES

All terms and conditions of the Director's Letter of Compliance shall be fulfilled before the use may be established. The instant authorization is further conditioned upon the privileges being utilized within three years after the effective date of this determination and, if such privileges are not utilized, building permits are not issued, or substantial physical construction work is not begun

within said time and carried on diligently so that building permits do not lapse, the authorization shall terminate and become void.

TRANSFERABILITY

This determination runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant. If any portion of this approval is utilized, then all other conditions and requirements set forth herein become immediately operative and must be strictly observed.

VIOLATIONS OF THESE CONDITIONS, A MISDEMEANOR

The Applicant's attention is called to the fact that this grant is not a permit or license and that any permits and licenses required by law must be obtained from the proper public agency. Furthermore, if any condition of this grant is violated or not complied with, then the Applicant or his successor in interest may be prosecuted for violating these conditions the same as for any violation of the requirements contained in the Municipal Code, or the approval may be revoked.

Section 11.00 of the LAMC states in part (m): "It shall be unlawful for any person to violate any provision or fail to comply with any of the requirements of this Code. Any person violating any of the provisions or failing to comply with any of the mandatory requirements of this Code shall be guilty of a misdemeanor unless that violation or failure is declared in that section to be an infraction. An infraction shall be tried and be punishable as provided in Section 19.6 of the Penal Code and the provisions of this section. Any violation of this Code that is designated as a misdemeanor may be charged by the City Attorney as either a misdemeanor or an infraction.

Every violation of this determination is punishable as a misdemeanor unless provision is otherwise made, and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the County Jail for a period of not more than six months, or by both a fine and imprisonment.

Verification of condition compliance with building plans and/or building permit applications are done at the Development Services Center of the Department of City Planning at either Figueroa Plaza in Downtown Los Angeles or the Marvin Braude Building in the Valley. In order to assure that you receive service with a minimum amount of waiting, applicants are encouraged to schedule an appointment with the Development Services Center either through the Department of City Planning website at <http://planning.lacity.org> or by calling (213) 482-7052 or (818) 374-5050. The applicant is further advised to notify any consultant representing you of this requirement as well.

The time in which a party may seek judicial review of this determination is governed by California Code of Civil Procedures Section 1094.6. Under that provision, a petitioner may seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, only if the petition for writ of mandate pursuant to that section is filed no later than the 90th day following the date on which the City's decision becomes final.

Effective Date/Appeals: The decision of this Letter of Compliance is final and effective upon the mailing of this letter and not appealable.

VINCENT P. BERTONI, AICP
Director of Planning

Approved by:

Connie Chauw for

Theodore L. Irving, AICP, Principal City
Planner

Connie Chauw

Connie Chauw, Senior City Planner

Prepared by:

Kenton Trinh

Kenton Trinh, City Planner

1747 STONER AVE



209 S MARKET ST
INGLEWOOD, CA 90301
323.553.2376

1747 STONER AVE, LOS ANGELES, CA 90025
THIS PROPERTY IS PRIVATELY FUNDED. THIS IS NOT PUBLIC HOUSING. THERE IS NO TAX CREDIT RECEIVED.

PASSO, STONER LLC
SIMON AFTALION
1747 STONER AVE
LOS ANGELES, CA 90025

CONSULTANT:

1747 STONER AVE
1747 STONER AVE
LOS ANGELES, CA 90025
#24014

12/16/24
ED-1

STAMP:

NOT FOR
CONSTRUCTION

| NO. | ISSUES/REVISIONS | DATE |
|------------|------------------|----------|
| REVISION 1 | | 12/16/24 |

KEY PLAN:



PROJECT NO. #24014
PLOT DATE 12/16/24
SCALE AS SHOWN

SHEET TITLE:

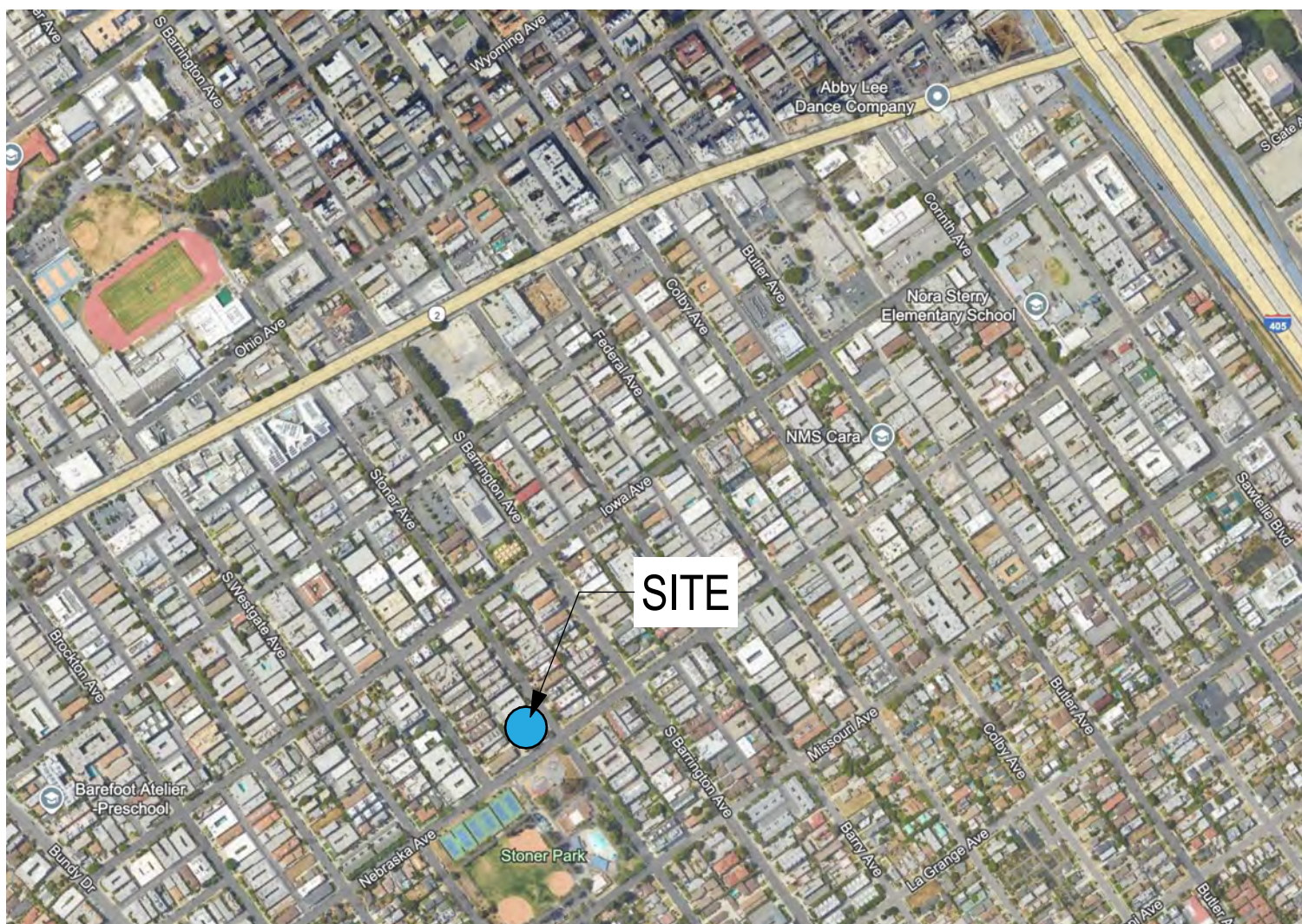
COVER SHEET

SHEET NO:

G0.00



VICINITY MAP



ABBREVIATIONS

| | | | | | | | |
|---|---|---|---|--|--|---|--|
| & t ø # (E) (N) | AND CENTERLINE DIAMETER PERPENDICULAR POUND OR NUMBER EXISTING NEW | E EA EE EJ EL ELEC ELEV ENCL EP EQ EQPT ES EXT EXH EW | EAST EACH EMERGENCY EGRESS WINDOW EXPANSION JOINT ELEVATION ELECTRICAL ELEVATION ENCLOSURE ELECTRICAL PANEL BOARD EQUAL EQUIPMENT EACH SIDE EXTERIOR EXHAUST EACH WAY | IGN INSUL INT JT KIT LAM LAV LG LP LS LT LVP LVT | IGNITION INSULATION INTERIOR JOINT KITCHEN LAMINATE LAVATORY LONG LOW POINT LANDSCAPING LIGHT LUXURY VINYL PLANK LUXURY VINYL TILE | REF REINF REQ RESIL RM RO RYSB | REFERENCE REINFORCINGMENT REQUIRED RESILIENT ROOM ROUGH OPENING REAR YARD SETBACK |
| AD ADDL AFF AFG AGGR ALUM APPROX APT ARCH ASPH ASW AWT | AREA DRAIN ADDITIONAL ABOVE FINISH FLOOR ABOVE FINISH GRADE AGGREGATE ALUMINUM APPROXIMATE APARTMENT ARCHITECTURAL ASPHALT AREA SEPARATION WALL ACOUSTIC WALL TILE | F FA FAR FAU FD FDN FIRE FF FG FIN FLR FLUOR | REFRIGERATOR FIRE ALARM FLOOR AREA RATIO FORCED AIR UNIT FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FINISH FLOOR FINISH GRADE FINISH FLOOR FLUORESCENT | MAX MC MECH MFR MIN MISC MO MR MTD MTL MTP | MAXIMUM MEDICINE CABINET MECHANICAL MANUFACTURER MINIMUM MISCELLANEOUS MASONRY OPENING MOISTURE RESISTANT MOUNTED METAL METAL PANEL | S SC SCHD SECT SF or SQ.FT. SHT SIM SL SPEC SQ SS STD STO STU SUSP SW SYM SYSB | SOUTH SOLID CORE SCHEDULE SECTION SQUARE FEET SHEET SIMILAR SLOPE SPECIFICATION SQUARE STAINLESS STEEL STANDARD STORAGE STUCCO SUSPENDED SWITCH SYMMETRICAL SIDE YARD SETBACK |
| BB BD BLDG BLK BLKG BM BOT BS BTWN BUR | BASEBOARD BOARD BUILDING BLOCK BLOCKING BEAM BOTTOM BOTH SIDES BETWEEN BUILT-UP ROOFING | FOC FOF FOM FOS FR FS FT FTG FUR FXT FYSB | FACE OF CONCRETE FACE OF FINISH FACE OF MASONRY FACE OF STUD/STRUCTURE FIRE RESISTIVE FINISH SURFACE FOOT OR FEET FOOTING FURRING FIXTURE FRONT YARD SETBACK | N NA NAP NIC NO or # NTS | NORTH NOT APPLICABLE NOT A PART NOT IN CONTRACT NUMBER FOOT OR FEET NOT TO SCALE | TEL THK TOC TP TOP TH TRD TV TOW TYP | TELEPHONE THICK TOP OF CURB TOP OF PAVEMENT TOP OF PARAPET TOWNHOUSE TREAD TELEVISION TOP OF WALL TYPICAL |
| CAB CB CEM CL CLG CLKG CLR CMU COL CONC CON CONST CONT COR CPT CTR | CABINET CATCH BASIN CEMENT CLOSED OR CENTER LINE CEILING CEILING CLEAR CONCRETE MASONRY UNIT COLUMN CONCRETE CONNECTION CONSTRUCTION CONTINUOUS CORRIDOR CARPET CENTER | GA GALV GB GD GEN GL GND GR G.S.M. GYP | GAUGE GALVANIZED GRAB BAR GARBAGE DISPOSAL GENERAL GLASS GROUND GRADE GALVANIZED SHEET METAL GYPSUM | OA OC OCC OFF O.H. OPNG OPP. H. OZ | OVERALL ON CENTER OCCUPANCY OFFICE OVERHANG OPENING OPPOSITE HAND OUNCE | UNF UNO UR | UNFINISHED UNLESS NOTED OTHERWISE URINAL |
| DBL DIA DIM DN DO DR DS DTL D/W DWG | DOUBLE DIAMETER DIMENSION DOWN DOOR OPENING DOOR DOWNSPOUT DETAIL DISHWASHER DRAWING | H HB HC HDR HDWD HDWR HM HORIZ HP HR HT | HIGH HOSE BIB HOLLOW CORE HEADER HARDWOOD HARDWARE HOLLOW METAL HORIZONTAL HIGH POINT HOUR HEIGHT | P-LAM PA PL PLAS PLYWD PR PT PTN PV | PLASTIC LAMINATE PLANTING AREA PROPERTY LINE PLASTER PLYWOOD PAIR PAINT PARTITION PHOTOVOLTAIIC | W WI W/O WC WD W/D WH WP WPT WR WT | WEST OR WIDE WITH WITHOUT WATER CLOSET WOOD WASHER / DRYER WATER HEATER WATERPROOF/ING WORKING POINT WATER RESISTIVE WEIGHT |

SYMBOL LEGEND

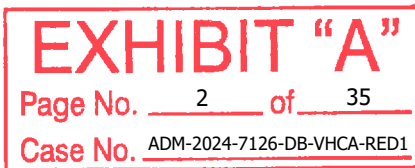
| | | | |
|--|--|--|---|
| SECTION (BUILDING) DETAIL NUMBER SHEET WHERE FOUND | DETAIL DETAIL NUMBER SHEET WHERE FOUND | WINDOW TYPE SYMBOL REFER TO WINDOW SCHEDULE | STEP IN SURFACE OF CONCRETE SLAB |
| BUILDING ELEVATION DETAIL NUMBER SHEET WHERE FOUND | ROOM LABEL ROOM NAME ROOM NUMBER ROOM SQUARE FOOTAGE DETAIL NUMBER & SHEET | FINISH AND MATERIAL SYMBOL REFER TO FINISH SCHEDULE | EXIT SIGN, SEE DTL 6/60.36 |
| INTERIOR ELEVATION DETAIL NUMBER SHEET WHERE FOUND | DOOR NUMBER SYMBOL REFER TO DOOR SCHEDULE | SPOT ELEVATION | SMOKE DETECTOR / CARBON MONOXIDE ALARM |
| DETAIL (WALL) DETAIL NUMBER SHEET WHERE FOUND | WALL TYPE INDICATOR REFER TO WALL ASSEMBLIES | KEYNOTE | ELECTRICAL OUTLET |
| | | REVISION | THERMOSTAT |
| | | DRAINAGE SLOPE | LIGHT SWITCH / SENSOR |
| | | FLOOR DRAIN | SECURITY CAMERA |

SHEET INDEX

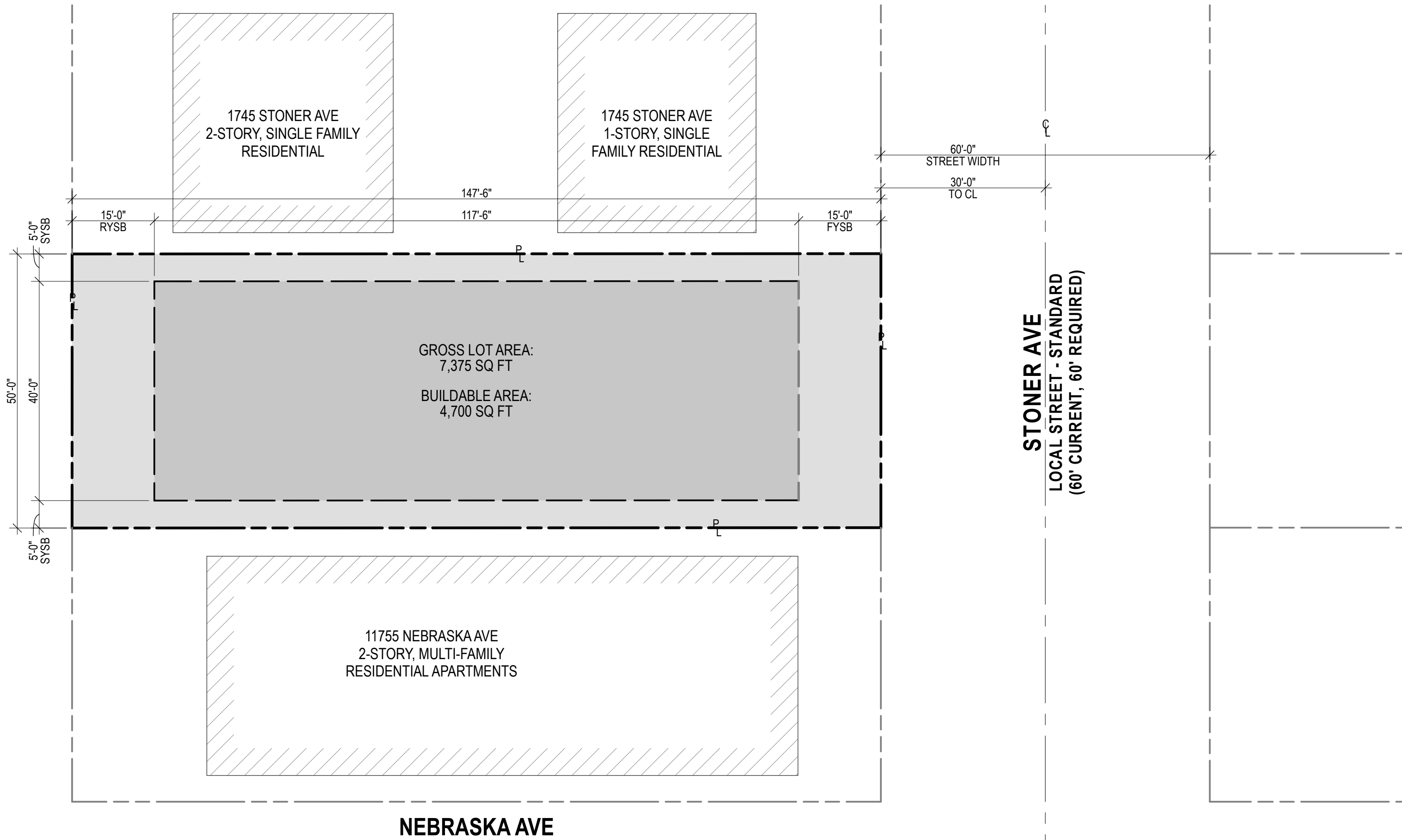
| | |
|---------------|----------------------------|
| GENERAL | |
| G0.00 | COVER SHEET |
| G1.10 | PROJECT INFO |
| G1.20 | PROJECT INFO |
| G1.30 | FLOOR AREA RATIO DIAGRAMS |
| G1.31 | BUILDING AREA ANALYSIS |
| G1.32 | GLAZING ANALYSIS |
| G1.33 | OPEN SPACE DIAGRAM |
| G1.40 | SURVEY |
| G1.50 | DEMO PLAN |
| ARCHITECTURAL | |
| A0.00 | PLOT PLAN |
| A1.10 | 1st FLOOR PLAN |
| A1.20 | 2nd FLOOR PLAN |
| A1.30 | 3rd FLOOR PLAN |
| A1.40 | 4th FLOOR PLAN |
| A1.50 | 5th FLOOR PLAN |
| A1.60 | 6th FLOOR PLAN |
| A1.70 | 7th FLOOR PLAN |
| A1.80 | ROOF PLAN |
| A2.01 | BUILDING ELEVATIONS |
| A2.02 | BUILDING ELEVATIONS |
| A2.03 | BUILDING ELEVATIONS |
| A3.01 | BUILDING SECTIONS |
| A3.02 | BUILDING SECTIONS |
| A7.10 | BICYCLE PARKING DETAILS |
| LANDSCAPE | |
| PLP-1 | PRELIMINARY LANDSCAPE PLAN |

PROJECT TEAM

| | |
|----------------------|---|
| OWNER: | PASSO, STONER LLC 1747 STONER AVE LOS ANGELES, CA 90025 CONTACT: SIMON AFTALION PHONE: 310.963.2877 |
| ARCHITECT: | AERO COLLECTIVE 209 S. MARKET ST. INGLEWOOD, CA 90301 CONTACT: ANDREW CRANE PHONE: 323.553.2376 |
| LANDSCAPE: | MICHAEL SAVAGE RLA #4397 680 LANGSDORF DR, STE 202B FULLERTON, CA 92831 PHONE: 714.878.0335 |
| LAND USE CONSULTANT: | ALCHEMY PLANNING+ LAND USE CONTACT: GARY BENJAMIN PHONE: 213.479.7521 |
| SURVEYOR: | SAM A. SOLIVEN, P.L.S. 1211 W. IMPERIAL HIGHWAY, SUITE 206 BREA, CA 92821 PHONE: 714.376.7123 |



DENSITY / BUILDABLE AREA CALCULATIONS



209 S MARKET ST
INGLEWOOD, CA 90301
323.553.2376

PASSO, STONER LLC
SIMON AFTALION
1747 STONER AVE
LOS ANGELES, CA 90025

CONSULTANT:

1747 STONER AVE
1747 STONER AVE
LOS ANGELES, CA 90025
#24014

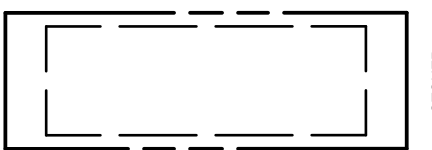
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|------------|------------------|----------|
| NO. | ISSUES/REVISIONS | DATE |
| REVISION 1 | | 12/16/24 |

KEY PLAN:



PROJECT NO. #24014
PLOT DATE 12/16/24
SCALE AS SHOWN

SHEET TITLE:

PROJECT INFO

SHEET NO:

BUILDABLE AREA

SCALE: 1/16" = 1'-0"

1

G1.10

PLANNING AND ZONING DATA



PASSO, STONER LLC
SIMON AFTALION
1747 STONER AVE
LOS ANGELES, CA 90025

CONSULTANT:

1747 STONER AVE
1747 STONER AVE
LOS ANGELES, CA 90025
#24014

12/16/24
ED-1

STAMP:

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| NO. | ISSUES/REVISIONS | DATE |
|-----|------------------|----------|
| | REVISION 1 | 12/16/24 |

KEY PLAN:



PROJECT NO. #24014
PLOT DATE 12/16/24
SCALE AS SHOWN

SHEET TITLE:

PROJECT INFO

SHEET NO:

G1.20

PLANNING AND ZONING DATA

| ZONING DISTRICT | [Q]R3-1 | (LAMC 12.10) |
|--------------------|---------|--------------|
| GROSS LOT AREA | 7,375.1 | SF |
| BUILDABLE LOT AREA | 4,700 | SF |

| FAR AND BUILDING AREA | | | | (LAMC 12.21.1.A.1) |
|------------------------------|-------|--------|----|--------------------|
| ALLOWABLE FAR | | 3.0 | | |
| PROPOSED FAR W/ WAIVER | 93.0% | 5.79 | | |
| ALLOWABLE BUILDING AREA | | 14,100 | | |
| PROPOSED FLOOR AREA W/ BONUS | | 27,171 | SF | |

| DENSITY | | | |
|---------------------------------------|------|-------|---------------------|
| DWELLING UNIT DENSITY ([Q] CONDITION) | | 1,200 | |
| DWELLING UNIT DENSITY (AB 2334) | | 800 | |
| BASE DENSITY | | 10 | (1 UNIT PER 800 SF) |
| ALLOWABLE DENSITY W/ BONUS | 430% | 53 | |
| DENSITY PROPOSED | | 53 | UNITS (AB 2334) |

| AFFORDABLE SET ASIDE | | | |
|--------------------------------|--|----|-------------------|
| LOW INCOME | | 41 | (TCAC SCHEDULE 9) |
| LOW INCOME | | 1 | (HCD SCHEDULE 6) |
| MODERATE INCOME | | 10 | (HCD SCHEDULE 6) |
| MARKET-RATE MANAGER'S UNIT | | 1 | |
| PROPOSED TOTAL SET ASIDE UNITS | | 53 | UNITS |

| BUILDING HEIGHT AND STORIES | | | | (LAMC 12.21.1) |
|-----------------------------|-----------|-------------------|----------|--|
| | ALLOWED | ALLOWED (AB 2334) | PROPOSED | |
| BUILDING HEIGHT | 45'-0" | 78'-0" | 76'-5" | (UP TO ADD'L 33' HT OR 3 STORIES, PER AB 2334) |
| BUILDING STORIES | UNLIMITED | UNLIMITED | 8 | |

| BUILDING SETBACKS | | | | (LAMC 12.10-C) |
|-------------------|----------|----------|--|----------------|
| | REQUIRED | PROPOSED | | |
| FRONT YARD | 15'-0" | 15'-0" | | |
| SIDE YARDS | 11'-0" | 5'-0" | | (INCENTIVE 4) |
| REAR YARD | 15'-0" | 15'-0" | | |

UNIT TYPE SUMMARY

| UNIT TYPE | QTY | BEDS | BATHS | AVG SF | TOTAL SF | % |
|-----------|-----|------|-------|-------------|----------|------|
| UNIT A1 | 14 | 0 | 1 | 346 | 4837 | 26% |
| UNIT A2 | 7 | 0 | 1 | 332 | 2324 | 13% |
| UNIT A3 | 5 | 0 | 1 | 342 | 1712 | 9% |
| UNIT A4 | 2 | 0 | 1 | 372 | 743 | 4% |
| UNIT B1 | 24 | 1 | 1 | 466 | 11189 | 45% |
| UNIT B2 | 1 | 1 | 1 | 552 | 552 | 2% |
| TOTAL | 53 | | | AVG SF: 403 | 21,357 | 100% |

* 52 ON-SITE AFFORDABLE UNITS SET ASIDE FOR DENSITY BONUS

ZONING - FLOOR AREA (LAMC)

| FLOOR | NET FLOOR AREA |
|-----------------------------|----------------|
| 1ST FLOOR | 3,543 |
| 2ND FLOOR | 3,992 |
| 3RD FLOOR | 3,981 |
| 4TH FLOOR | 3,995 |
| 5TH FLOOR | 3,994 |
| 6TH FLOOR | 3,994 |
| 7TH FLOOR | 3,593 |
| ROOF | 78 |
| TOTAL BUILDING AREA | 27,171 SF |
| *SEE G1.30 FOR FAR DIAGRAMS | |

| AREA BY USE | | |
|-------------------|--------|---|
| RESIDENTIAL | 21,634 | |
| OFFICE | 165 | |
| UTILITY / STORAGE | 194 | |
| TRASH / RECYCLING | 495 | *(INCLUDED THE TRASH ROOMS ON THE UPPER FLOORS) |
| CIRCULATION | 4,554 | |
| LAUNDRY | 129 | |
| TOTAL | 27,171 | SF |

OPEN SPACE SUMMARY

| OPEN SPACE REQUIREMENTS | | | (LAMC 12.21-G.2) |
|-----------------------------|-----|-----------|------------------|
| LESS THAN 3 HABITABLE ROOMS | 100 | SF / UNIT | |
| THREE HABITABLE ROOMS | 125 | SF / UNIT | |
| MORE THAN 3 HABITABLE ROOMS | 175 | SF / UNIT | |

| REQUIRED OPEN SPACE | | | | | |
|-------------------------------|------|-----------------|------------|--------------|------------------------|
| UNIT TYPE | BEDS | HABITABLE ROOMS | # OF UNITS | SPACE / UNIT | TOTAL |
| STUDIO | 0 | 1 | 28 | 100 | 2800 |
| 1-BEDROOM | 1 | 2 | 25 | 100 | 2,500 |
| TOTAL REQUIRED OPEN SPACE | | | | | 5,300 SF |
| REQUIRED OPEN SPACE REDUCTION | | | 50% | | 2,650 SF (INCENTIVE 2) |

| PROVIDED OPEN SPACE | | | |
|----------------------------------|--|-------|----|
| EXTERIOR | | | |
| REAR YARD OPEN SPACE | | 834 | SF |
| ROOF DECK | | 1,816 | SF |
| TOTAL PROVIDED COMMON OPEN SPACE | | 2,650 | SF |

| HARDSCAPE | | | |
|-------------------------|-------|----|-------------------------|
| ON-SITE LANDSCAPE AREA: | 1,493 | SF | SF (PER LANDSCAPE DWGS) |
| ON-SITE HARDSCAPE AREA: | 1,650 | SF | SF (PER LANDSCAPE DWGS) |

| TREES | | | |
|----------------------|---------------|----|---------------------|
| TOTAL TREES REQUIRED | 1 PER 4 UNITS | 14 | |
| TOTAL TREES PROPOSED | 25% | 11 | TREES (INCENTIVE 3) |

PARKING SUMMARY

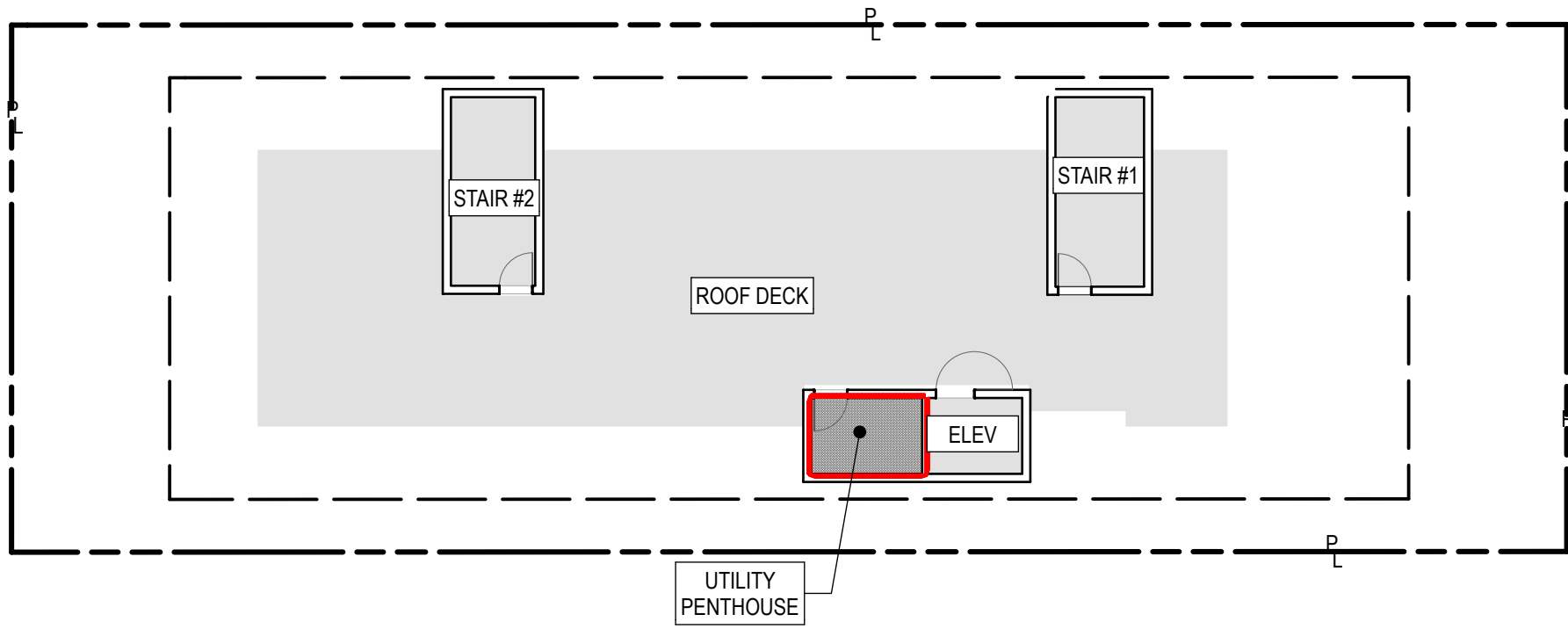
| PARKING REQUIRED - RESIDENTIAL | | | (LAMC 12.21-A,4(a)) |
|--------------------------------|--------------------|--|---------------------|
| < 3 HABITABLE ROOMS | 1 SPACE PER UNIT | | |
| 3 HABITABLE ROOMS | 1.5 SPACE PER UNIT | | |
| > 3 HABITABLE ROOMS | 2 SPACES PER UNIT | | |

| RESIDENTIAL PARKING REQUIRED | | | | | |
|------------------------------------|------|-----------------|------------|--------------|----------------------|
| UNIT | BEDS | HABITABLE ROOMS | # OF UNITS | SPACE / UNIT | TOTAL |
| STUDIO | 0 | 2 | 28 | 1.0 | 28 |
| 1-BEDROOM | 1 | 3 | 25 | 1.5 | 37.5 |
| TOTAL REQUIRED PARKING SPACES | | | | | 65 SPACES |
| REQUIRED PARKING REDUCTION | | | 100% | | |
| TOTAL PROVIDED RESIDENTIAL PARKING | | | | 0 | SPACES (INCENTIVE 1) |

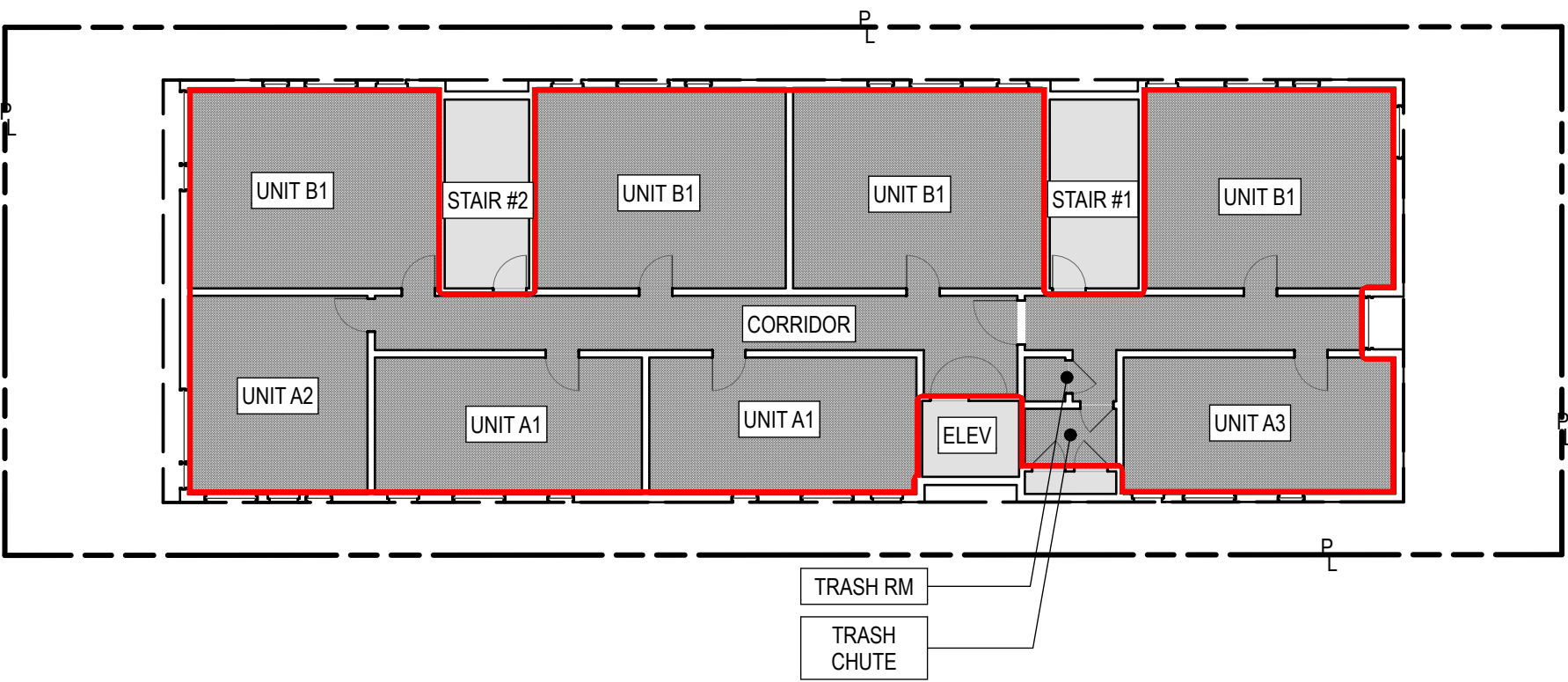
| BICYCLE PARKING REQUIRED | | | | (LAMC 12.21-A,16(a)(1)(i)) |
|---|------------|--------|-------|----------------------------|
| LONG TERM BIKE PARKING | # OF UNITS | SPACES | TOTAL | |
| 1 PER UNIT (1-25 UNITS) | 25 | 25.0 | | |
| 1 PER 1.5 UNIT (26-100 UNITS) | 28 | 18.7 | | |
| | | | 44 | |
| SHORT TERM BIKE PARKING (GUEST) | | | | |
| 1 PER 10 UNITS (1-25 UNITS) | 25 | 2.5 | | |
| 1 PER 15 UNITS (26-100 UNITS) | 28 | 1.9 | | |
| | | | 4 | |
| TOTAL REQUIRED BICYCLE SPACES | | | 48 | SPACES |
| REQUIRED LONG-TERM BIKE PARKING REDUCTION | | 50% | 22 | |
| TOTAL REQUIRED BICYCLE SPACES | | | 26 | (INCENTIVE 5) |
| TOTAL PROVIDED PARKING | | | | |
| LONG TERM | | | 22 | |
| SHORT TERM | | | 4 | |
| TOTAL PROVIDED BIKE PARKING | | | 26 | SPACES |

FAR DIAGRAMS PER ZONING CODE

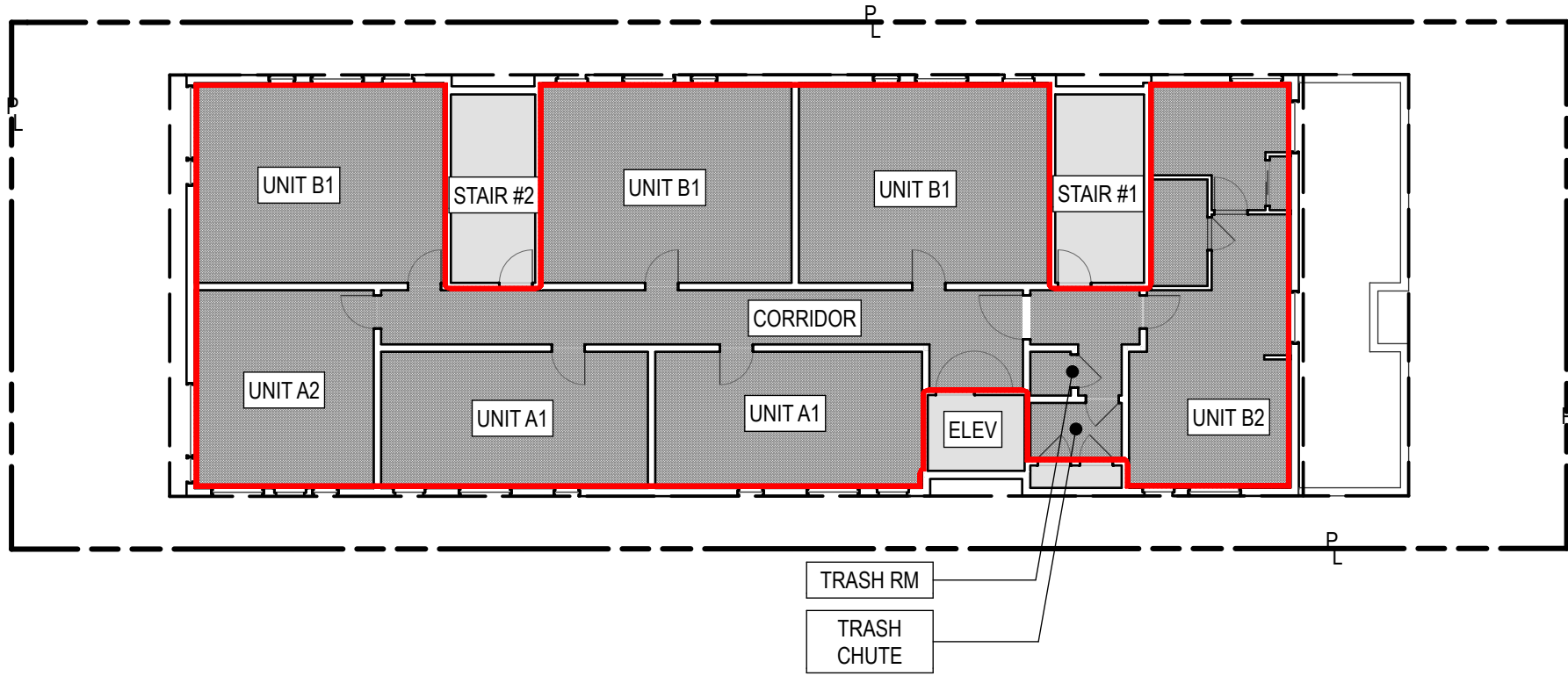
EXHIBIT "A"
Page No. 4 of 35
Case No. ADM-2024-7126-DB-VHCA-RED1



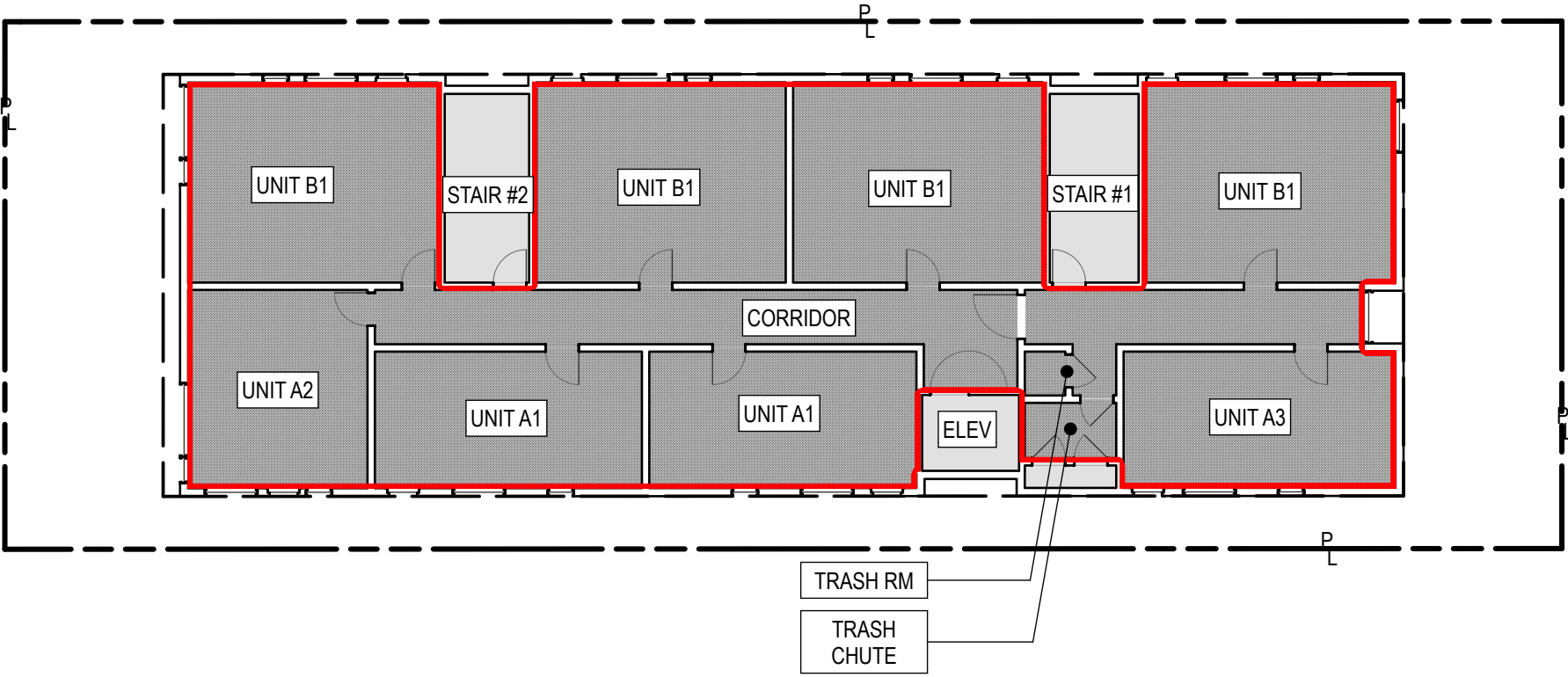
FAR - ROOF
SCALE: 1/16" = 1'-0" 6



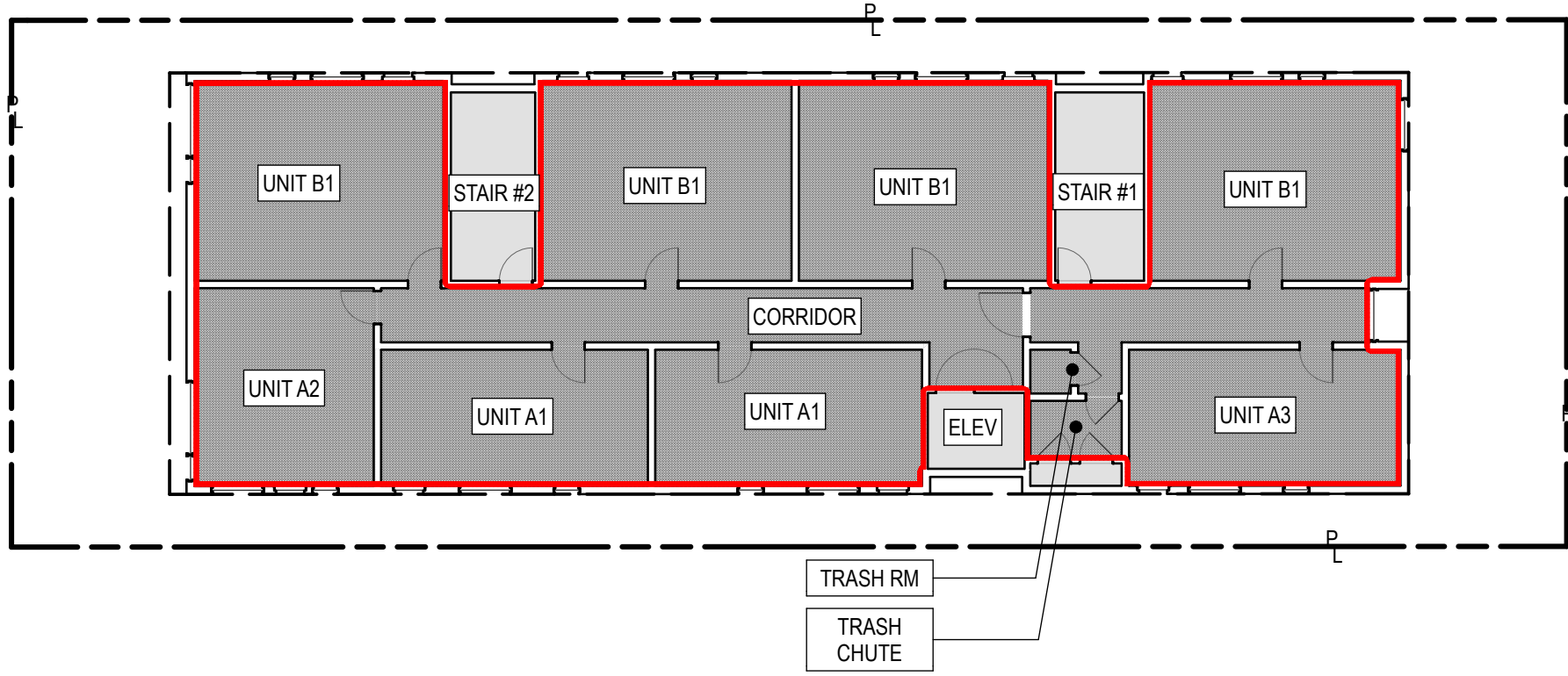
FAR - 4th FLOOR
SCALE: 1/16" = 1'-0" 4



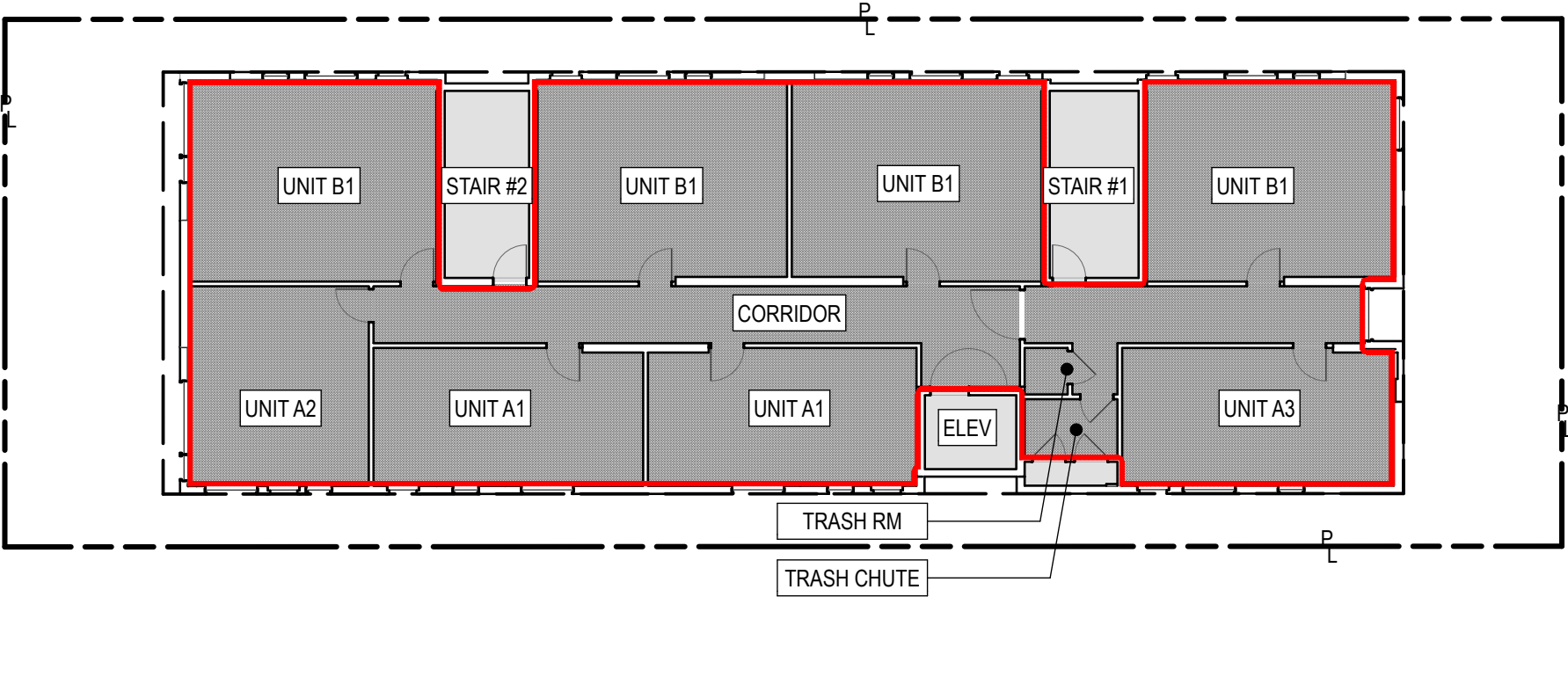
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SCALE: 1/16" = 1'-0" 7



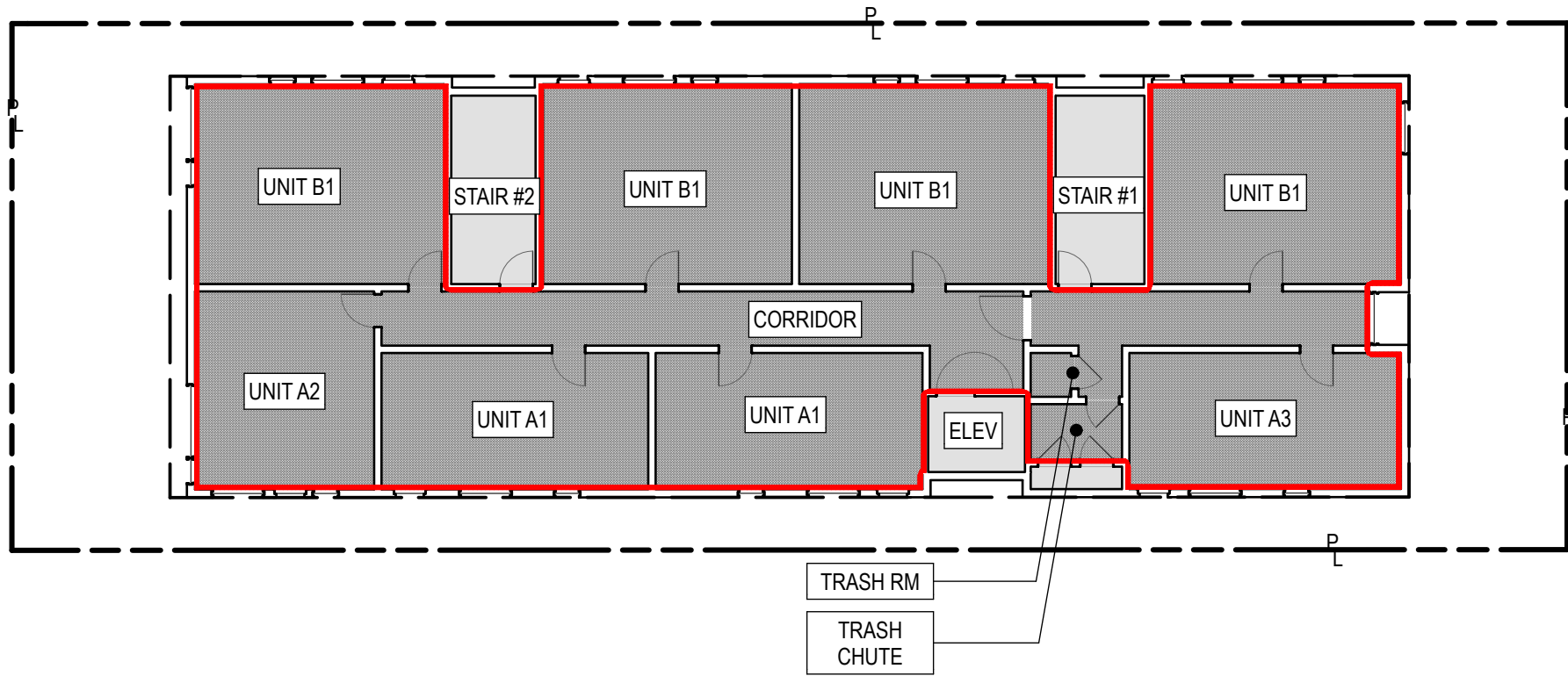
FAR - 3rd FLOOR
SCALE: 1/16" = 1'-0" 3



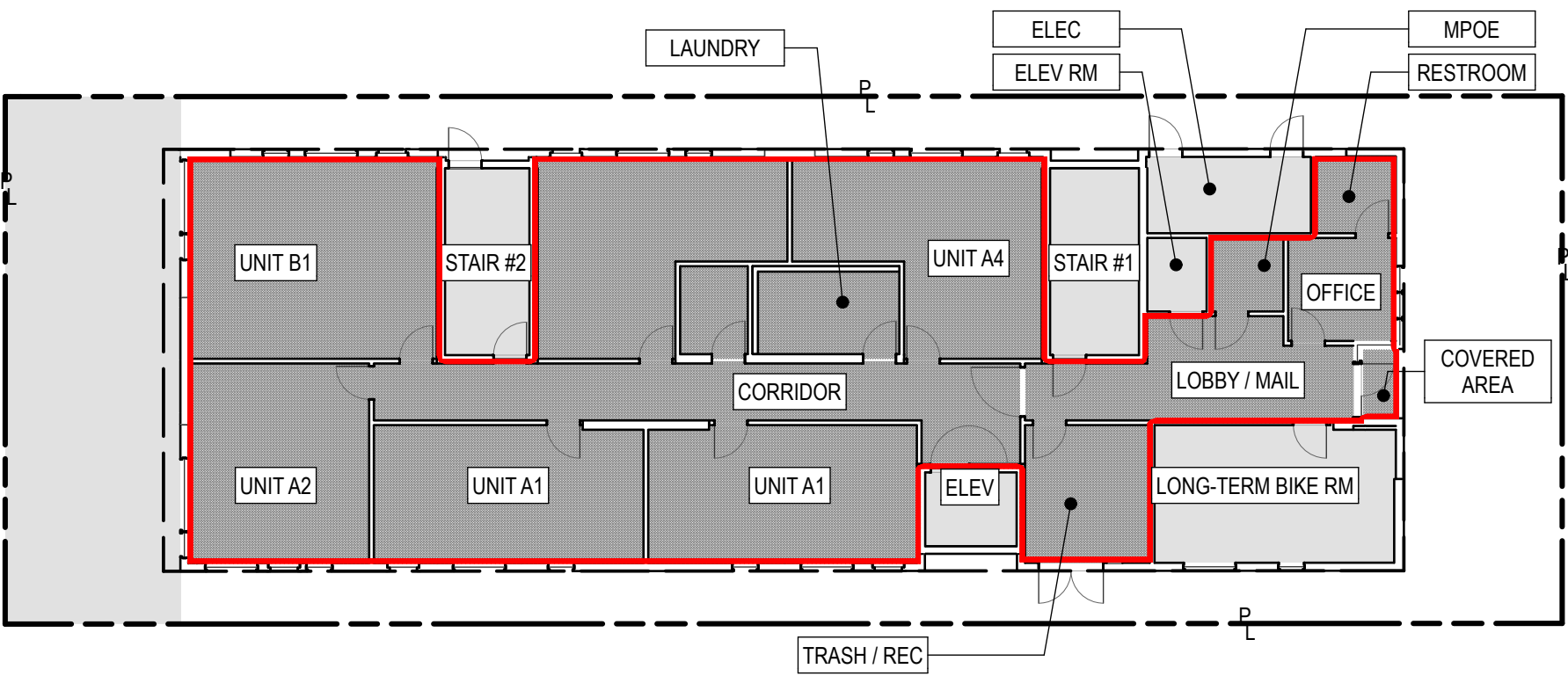
FAR - 6th FLOOR
SCALE: 1/16" = 1'-0" 6



FAR - 2nd FLOOR
SCALE: 1/16" = 1'-0" 2



FAR - 5th FLOOR
SCALE: 1/16" = 1'-0" 5



FAR - 1st FLOOR
SCALE: 1/16" = 1'-0" 1

| NET FLOOR AREA | | |
|----------------|--------|----|
| 1ST FLOOR | 3,543 | SF |
| 2ND FLOOR | 3,992 | |
| 3RD FLOOR | 3,981 | |
| 4TH FLOOR | 3,995 | |
| 5TH FLOOR | 3,994 | |
| 6TH FLOOR | 3,994 | |
| 7TH FLOOR | 3,593 | |
| ROOF | 78 | |
| TOTAL AREA | 27,171 | |

AEROCOLLECTIVE

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PASSO

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CONSULTANT:

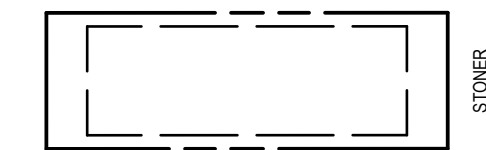
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1747 STONER AVE
LOS ANGELES, CA 90025
#24014

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KEY PLAN:



PROJECT NO. #24014
PLOT DATE 12/16/24
SCALE AS SHOWN
SHEET TITLE:

FLOOR AREA
RATIO DIAGRAMS

SHEET NO:

G1.30

BUILDING AREA ANALYSIS (CP13-4062 APPENDIX 2)

EXHIBIT "A"
Page No. 5 of 35
Case No. ADM-2024-7126-DB-VHCA-RED1

AERO
COLLECTIVE

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PASSO

PASSO, STONER LLC
SIMON AFTALION
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LOS ANGELES, CA 90025

CONSULTANT:

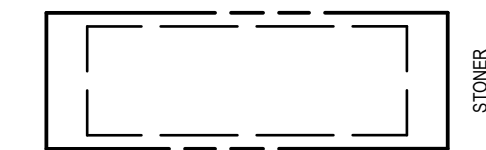
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LOS ANGELES, CA 90025
#24014

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| NO. | ISSUES/REVISIONS | DATE |
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| REVISION 1 | | 12/16/24 |

KEY PLAN:



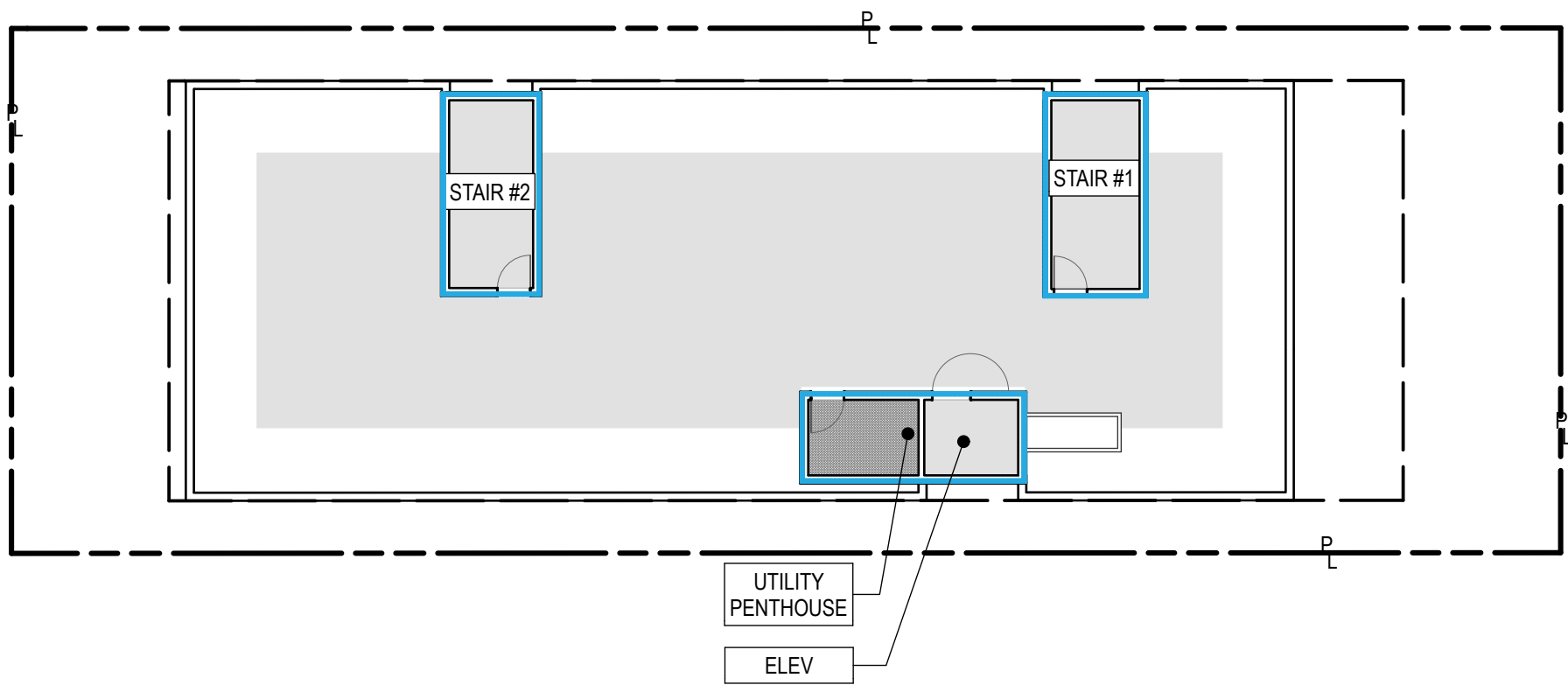
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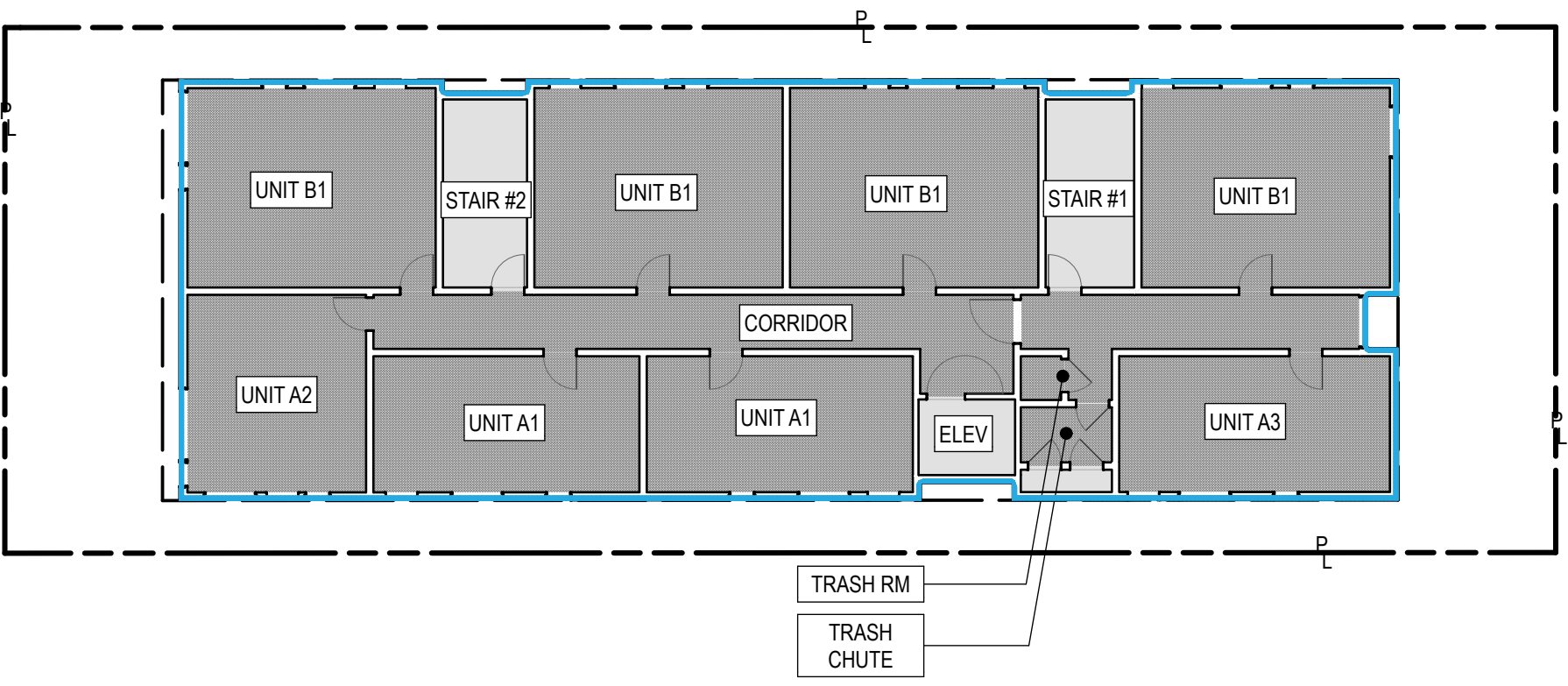
BUILDING AREA
ANALYSIS

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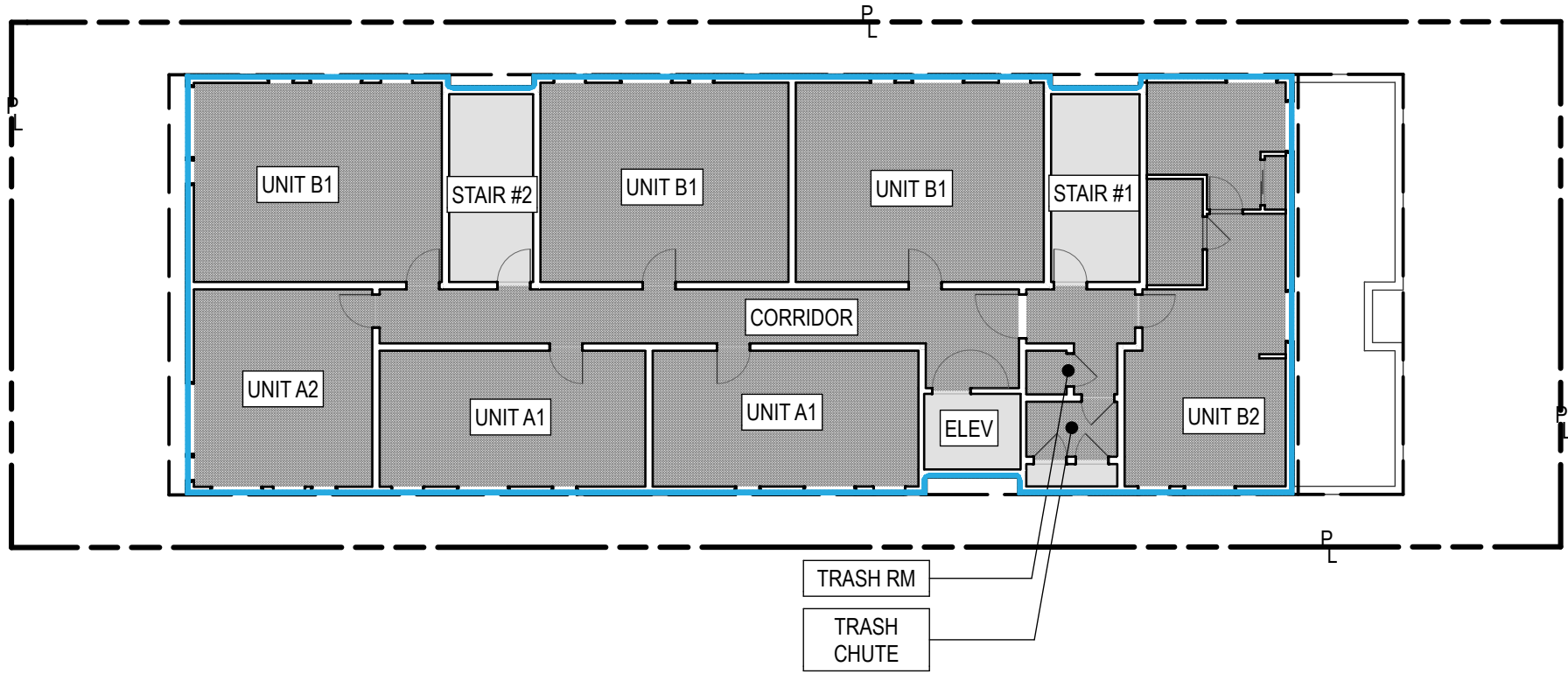
G1.31



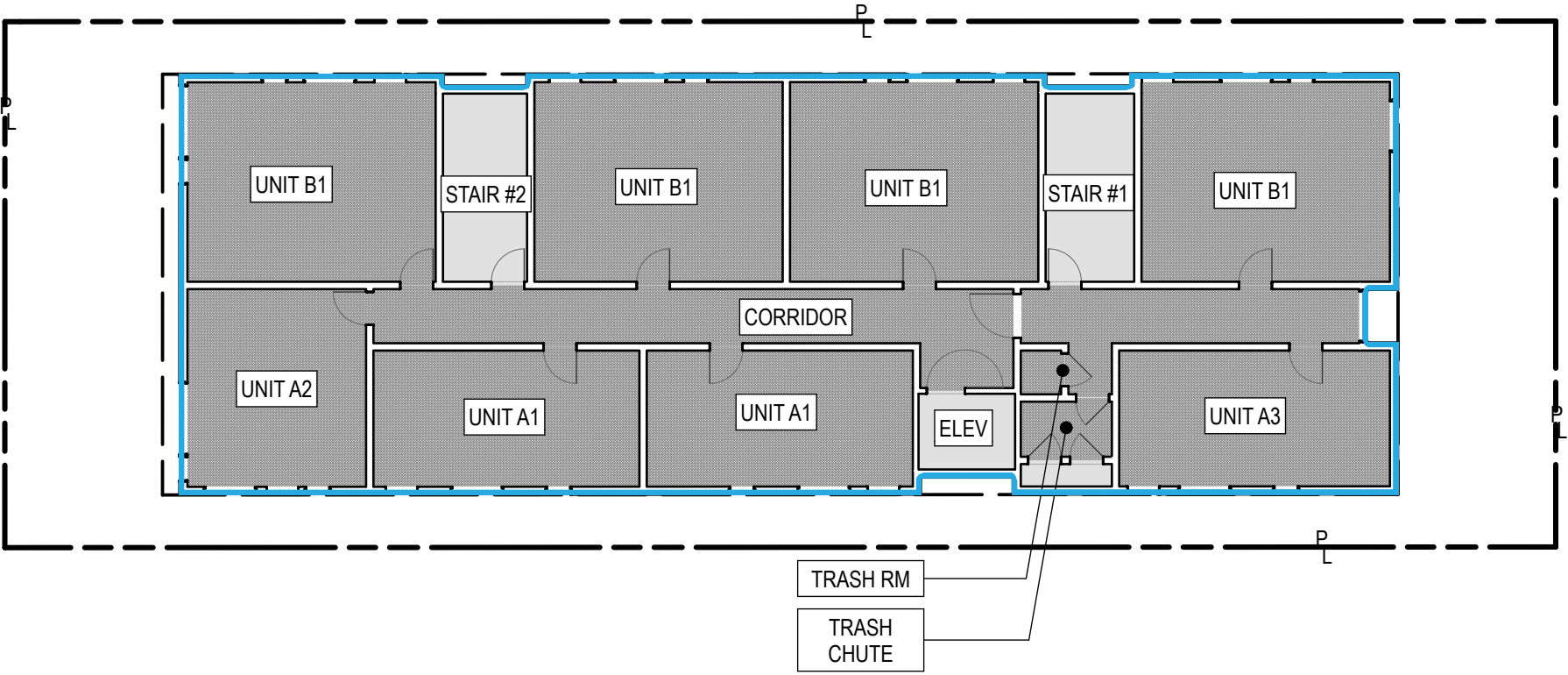
HCA - ROOF
SCALE: 1/16" = 1'-0" 6



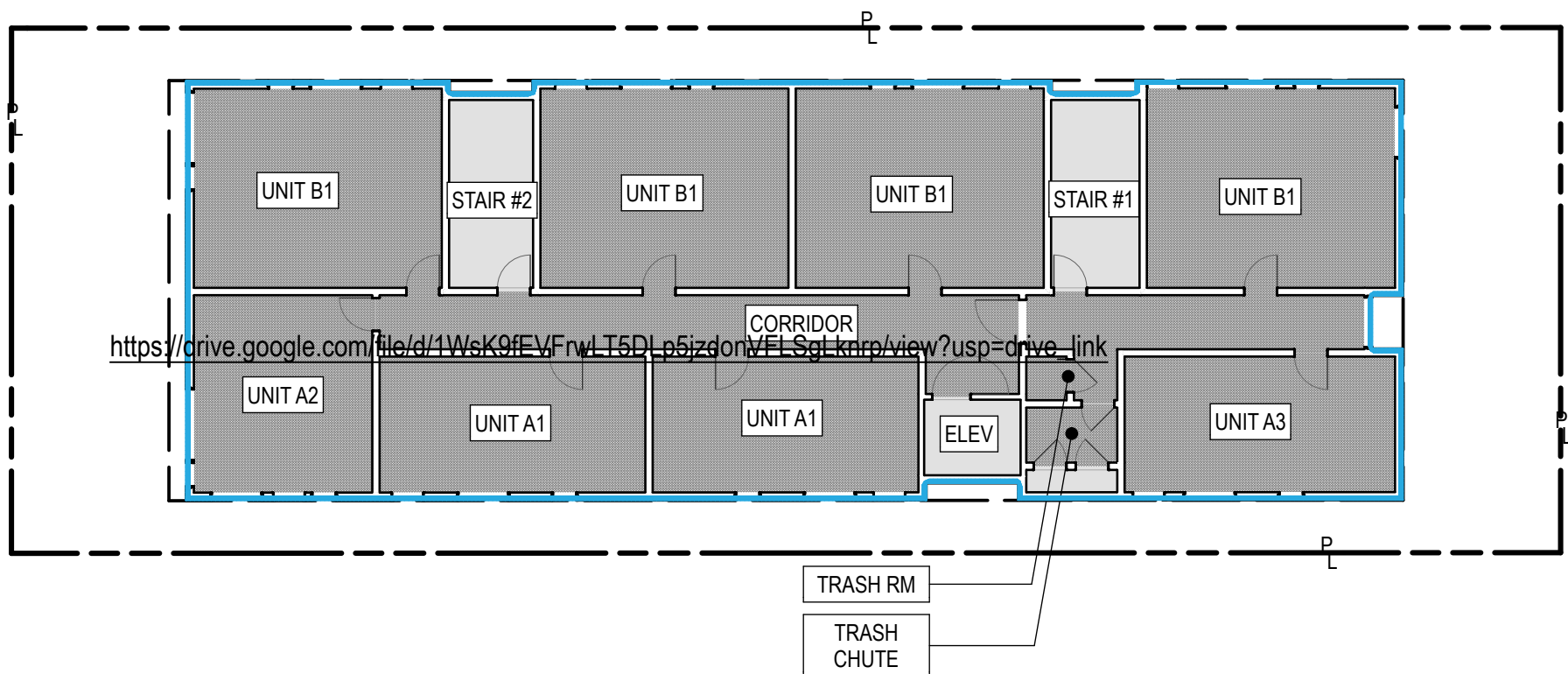
HCA VESTING - 4th FLOOR
SCALE: 1/16" = 1'-0" 4



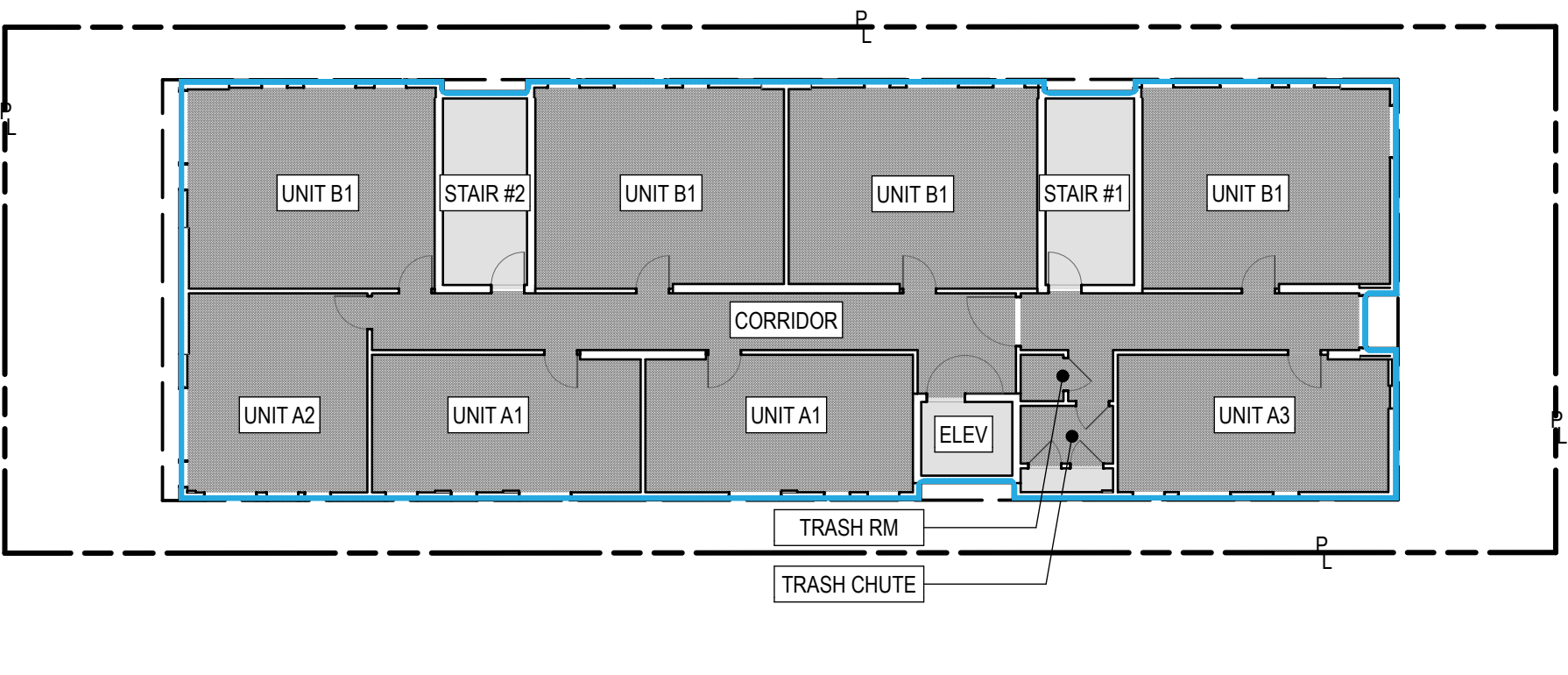
HCA - 7th FLOOR
SCALE: 1/16" = 1'-0" 7



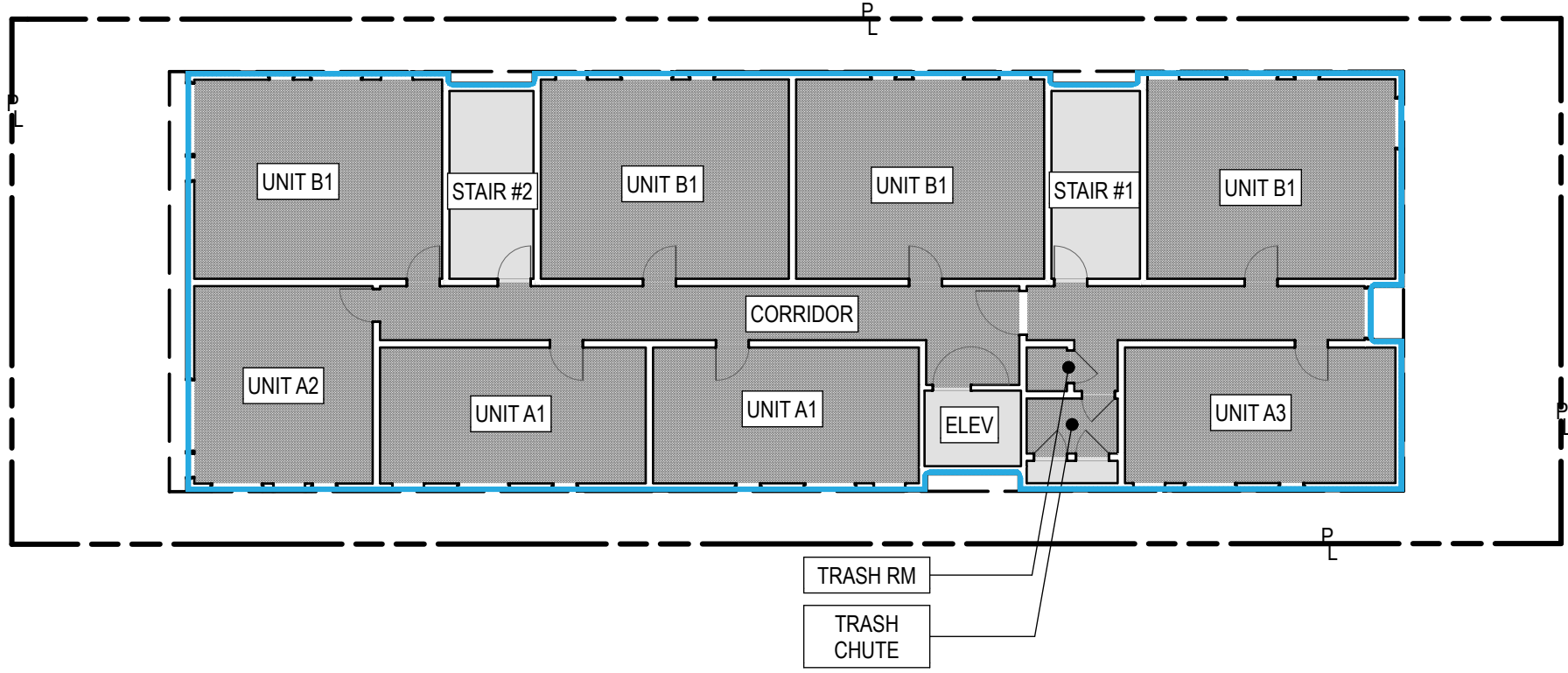
HCA - 3rd FLOOR
SCALE: 1/16" = 1'-0" 3



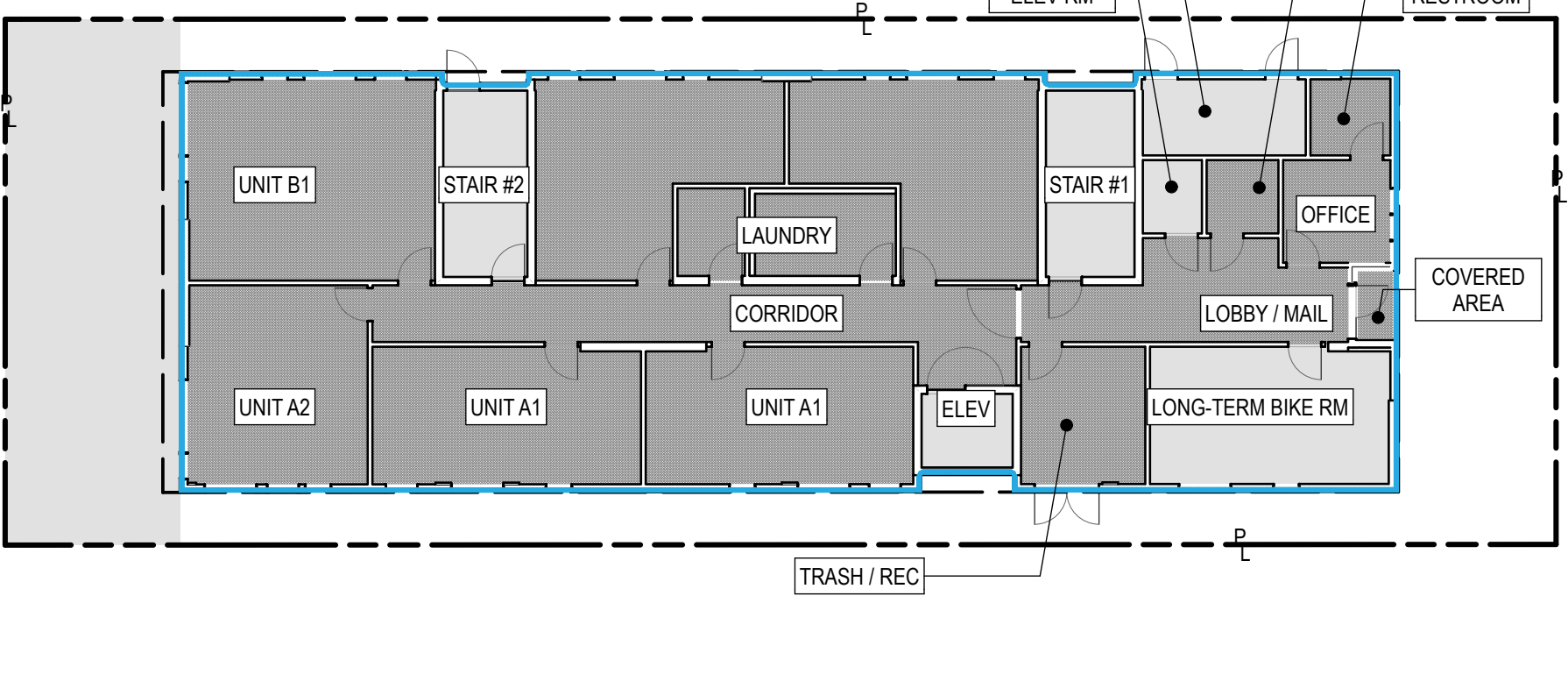
HCA VESTING - 6th FLOOR
SCALE: 1/16" = 1'-0" 6



HCA - 2nd FLOOR
SCALE: 1/16" = 1'-0" 2



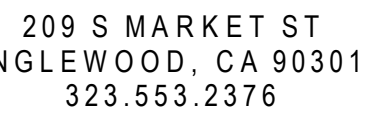
HCA VESTING - 5th FLOOR
SCALE: 1/16" = 1'-0" 5



HCA - 1st FLOOR
SCALE: 1/16" = 1'-0" 1

| LEVEL | PROPOSED (SF) | |
|-----------|---------------|----|
| 1ST FLOOR | 4,630 | |
| 2ND FLOOR | 4,655 | |
| 3RD FLOOR | 4,645 | |
| 4TH FLOOR | 4,660 | |
| 5TH FLOOR | 4,659 | |
| 6TH FLOOR | 4,659 | |
| 7TH FLOOR | 4,238 | |
| ROOF | 526 | |
| TOTAL | 32,671 | SF |

EXHIBIT "A"
Page No. 6 of 35
Case No. ADM-2024-7126-DB-VHCA-RED1



PASSO, STONER LLC
SIMON AFTALION
1747 STONER AVE
LOS ANGELES, CA 90025

CONSULTANT:

1747 STONER AVE
LOS ANGELES, CA 90025
#24014

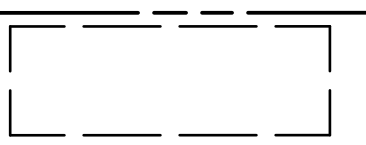
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ED-1

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CONSTRUCTION

| NO. | ISSUES/REVISIONS | DATE |
|-----|------------------|----------|
| | REVISION 1 | 12/16/24 |

KEY PLAN:



| | |
|-------------|----------|
| PROJECT NO. | #24014 |
| LOT DATE | 12/16/24 |
| SALE | AS SHOWN |

SHEET TITLE:

GLAZING ANALYSIS

SHEET NO:

G1.32



PER ED-1 (3RD REVISED), SECTION 1.H: ALL FLOORS LOCATED ABOVE THE GROUND FLOOR SHALL HAVE GLAZING EQUIVALENT TO A MINIMUM OF 20 PERCENT OF THE FACADE AREA.

NORTH ELEVATION

OPENINGS REQUIRED ABOVE GROUND FLOOR: 20%

| | 1ST FLR | 2ND FLR | 3RD FLR | 4TH FLR | 5TH FLR | 6TH FLR | 7TH FLR |
|-----------------|---------|---------|---------|---------|---------|---------|---------|
| OVERALL AREA | 1,038 | 1,038 | 1,038 | 1,038 | 1,038 | 1,038 | 948 |
| OPENING 1 | 36 | 18 | 18 | 18 | 18 | 18 | 36 |
| OPENING 2 | 18 | 36 | 36 | 36 | 36 | 36 | 36 |
| OPENING 3 | 18 | 36 | 36 | 36 | 36 | 36 | 18 |
| OPENING 4 | 36 | 18 | 18 | 18 | 18 | 18 | 18 |
| OPENING 5 | 36 | 18 | 18 | 18 | 18 | 18 | 36 |
| OPENING 6 | 18 | 36 | 36 | 36 | 36 | 36 | 36 |
| OPENING 7 | | 36 | 36 | 36 | 36 | 36 | 18 |
| OPENING 8 | | 18 | 18 | 18 | 18 | 18 | |
| OPENING 9 | | | | | | | |
| OPENING 10 | | | | | | | |
| TOTAL OPEN AREA | 162 | 216 | 216 | 216 | 216 | 216 | 198 |
| PERCENT OPEN | 16% | 21% | 21% | 21% | 21% | 21% | 21% |
| | N/A | = OK | = OK | = OK | = OK | = OK | = OK |

SOUTH ELEVATION

OPENINGS REQUIRED ABOVE GROUND FLOOR: 20%

| | 1ST FLR | 2ND FLR | 3RD FLR | 4TH FLR | 5TH FLR | 6TH FLR | 7TH FLR |
|--------------|---------|---------|---------|---------|---------|---------|---------|
| OVERALL AREA | 1,038 | 1,038 | 1,038 | 1,038 | 1,038 | 1,038 | 978 |
| OPENING 1 | 18 | 18 | 18 | 18 | 18 | 18 | 36 |
| OPENING 2 | 36 | 36 | 36 | 36 | 36 | 36 | 36 |
| OPENING 3 | 36 | 18 | 36 | 18 | 36 | 18 | 18 |
| OPENING 4 | 18 | 36 | 18 | 36 | 18 | 36 | 18 |
| OPENING 5 | 18 | 36 | 18 | 36 | 18 | 36 | 36 |
| OPENING 6 | 36 | 18 | 36 | 18 | 36 | 18 | 18 |
| OPENING 7 | 18 | 18 | 18 | 18 | 18 | 18 | 36 |
| OPENING 8 | 36 | 36 | 36 | 36 | 36 | 36 | |
| OPENING 9 | | | | | | | |
| OPENING 10 | | | | | | | |
| OPENING 11 | | | | | | | |

TOTAL OPEN AF

| | | | |
|-----------------|-----|-----|-----|
| TOTAL OPERATING | 21% | 21% | 21% |
| PERCENT OPEN | 21% | 21% | 21% |

| | | | | | | | |
|--------------|-----|------|------|------|------|------|------|
| PERCENT OVER | 24% | 24% | 24% | 24% | 24% | 24% | 24% |
| | N/A | = OK | = OK | = OK | = OK | = OK | = OK |

EAST ELEVATION

OPENINGS REQUIRED ABOVE GROUND FLOOR: 20%

| | 1ST FLR | 2ND FLR | 3RD FLR | 4TH FLR | 5TH FLR | 6TH FLR | 7TH FLR |
|---------------------|---------|---------|---------|---------|---------|---------|---------|
| OVERALL AREA | 356 | 356 | 356 | 356 | 356 | 356 | 356 |
| OPENING 1 | 55 | | | | | | |
| OPENING 2 | 61 | 38 | 38 | 38 | 38 | 38 | 38 |
| OPENING 3 | | 35 | 35 | 35 | 35 | 35 | 35 |
| OPENING 4 | | | | | | | |
| OPENING 5 | | | | | | | |
| OPENING 6 | | | | | | | |
| OPENING 7 | | | | | | | |
| OPENING 8 | | | | | | | |

TOTAL OPEN AF

| | | | |
|--------------|-----|-----|-----|
| PERCENT OPEN | 33% | 21% | 21% |
|--------------|-----|-----|-----|

| | | | | | | | |
|---------------------------------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|
| | N/A | = OK | = OK | = OK | = OK | = OK | = OK |
| WEST ELEVATION | | | | | | | |
| OPENINGS REQUIRED ABOVE GROUND FLOOR: | | | 20% | | | | |
| | 1ST FLR | 2ND FLR | 3RD FLR | 4TH FLR | 5TH FLR | 6TH FLR | 7TH FLR |
| OVERALL AREA | 356 | 356 | 356 | 356 | 356 | 356 | 356 |
| OPENING 1 | 43 | 43 | 43 | 43 | 43 | 43 | 43 |
| OPENING 2 | 43 | 43 | 43 | 43 | 43 | 43 | 43 |

OPENING 3

OPENING 4

| | | | | | | | |
|-----------------|-----|------|------|------|------|------|------|
| OPENING 5 | | | | | | | |
| OPENING 6 | | | | | | | |
| TOTAL OPEN AREA | 86 | 86 | 86 | 86 | 86 | 86 | 86 |
| PERCENT OPEN | 24% | 24% | 24% | 24% | 24% | 24% | 24% |
| | N/A | = OK | = OK | = OK | = OK | = OK | = OK |

| | |
|-------------|---------|
| PROJECT NO. | #24014 |
| LOT DATE | 12/16/2 |
| CALE | AS SH |

OPEN SPACE ANALYSIS

EXHIBIT "A"
Page No. 7 of 35
Case No. ADM-2024-7126-DB-VHCA-RED1

AERO
COLLECTIVE

209 S MARKET ST
INGLEWOOD, CA 90301
323.553.2376

PASSO

PASSO, STONER LLC
SIMON AFTALION
1747 STONER AVE
LOS ANGELES, CA 90025

CONSULTANT:

1747 STONER AVE

1747 STONER AVE
LOS ANGELES, CA 90025
#24014

12/16/24
ED-1

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CONSTRUCTION

| NO. | ISSUES/REVISIONS | DATE |
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| REVISION 1 | | 12/16/24 |
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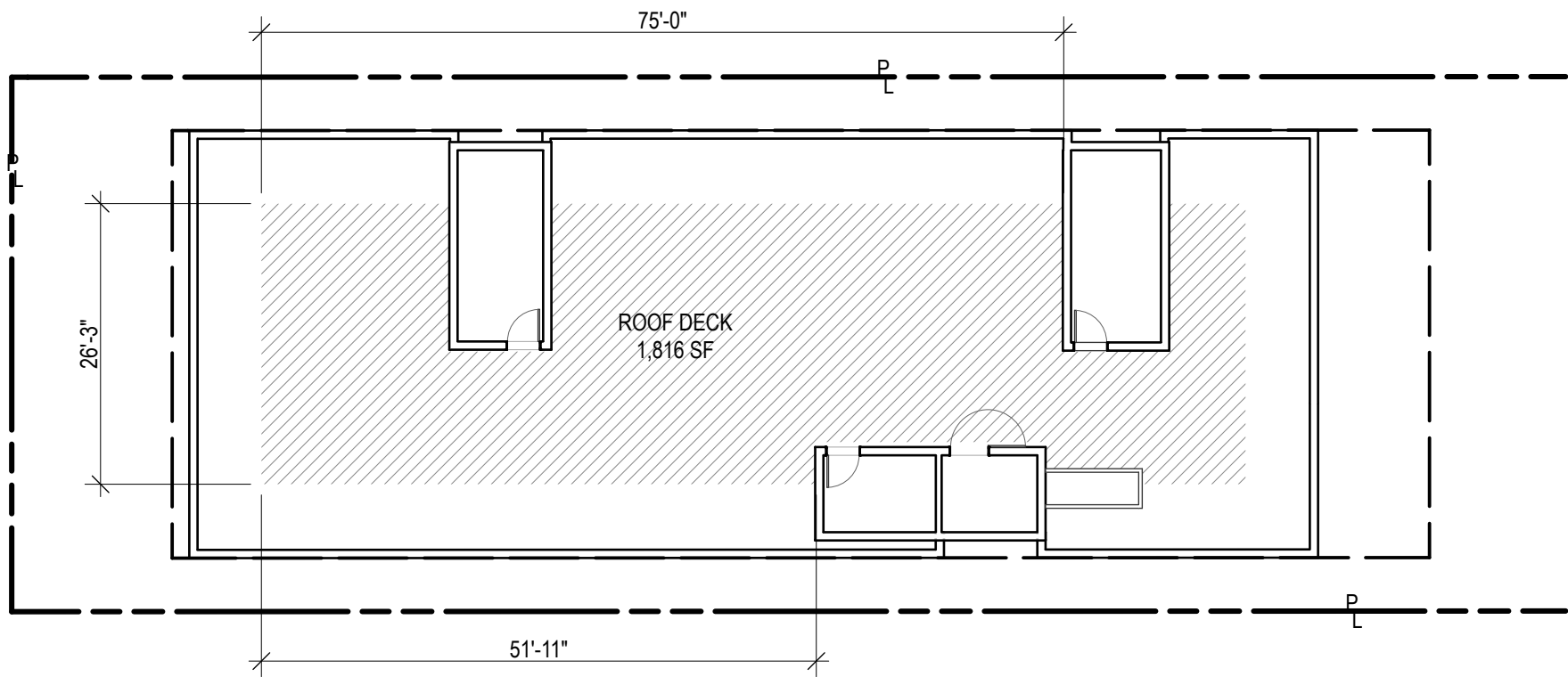
KEY PLAN:

PROJECT NO. #24014
PLOT DATE 12/16/24
SCALE AS SHOWN
SHEET TITLE:

OPEN SPACE
DIAGRAM

SHEET NO.

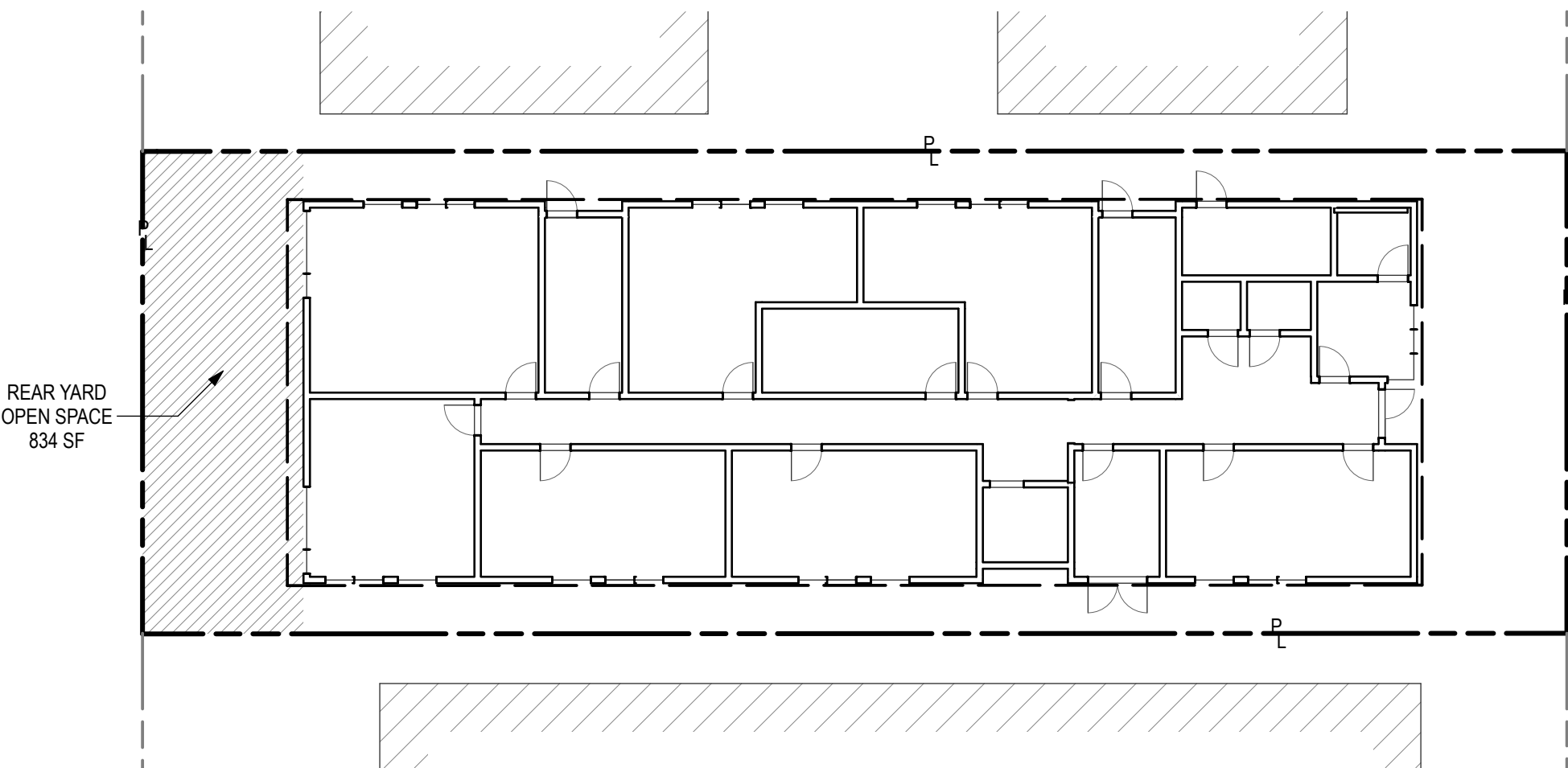
G1.33



OPEN SPACE - ROOF

SCALE: 1/16" = 1'-0"

1



OPEN SPACE - 1st FLOOR

SCALE: 1/16" = 1'-0"

1

OPEN SPACE SUMMARY

| | | | | | |
|----------------------------------|------|-----------------|---------------|------------------|----------|
| OPEN SPACE REQUIREMENTS | | | | (LAMC 12.21-G,2) | |
| LESS THAN 3 HABITABLE ROOMS | | | 100 SF / UNIT | | |
| THREE HABITABLE ROOMS | | | 125 SF / UNIT | | |
| MORE THAN 3 HABITABLE ROOMS | | | 175 SF / UNIT | | |
| REQUIRED OPEN SPACE | | | | | |
| UNIT TYPE | BEDS | HABITABLE ROOMS | # OF UNITS | SPACE / UNIT | TOTAL |
| STUDIO | 0 | 1 | 28 | 100 | 2800 |
| 1-BEDROOM | 1 | 2 | 25 | 100 | 2,500 |
| TOTAL REQUIRED OPEN SPACE | | | | | 5,300 SF |
| REQUIRED OPEN SPACE REDUCTION | | | 50% | | 2,650 SF |
| PROVIDED OPEN SPACE | | | | | |
| EXTERIOR | | | | | |
| REAR YARD OPEN SPACE | | | | 834 | SF |
| ROOF DECK | | | | 1,816 | SF |
| TOTAL PROVIDED COMMON OPEN SPACE | | | | 2,650 | SF |

TOPOGRAPHIC SURVEY

PREPARED BY:

SAM A. SOLIVEN, P.L.S.
1211 W. IMPERIAL HIGHWAY, #206
BREA, CA 92821
PH: (714) 376-7123
EMAIL: SAM@THELANDSURVEYOR.COM

SAM A. SOLIVEN

DATE:

PREPARED FOR:

1747 STONER, LLC
1747 STONER AVENUE
LOS ANGELES, CA 90025

PROJECT ADDRESS:

1747 STONER AVENUE
LOS ANGELES, CA 90025

BRIEF LEGAL DESCRIPTION:

LOT 11, TRACT NO. 6180, M.B. 75/14

BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE BEARING OF DOHENY DRIVE BEING S 35° 31' 07" E, PER P.M.B. 419/31

DATE OF SURVEY:

MARCH 21, 2024

BASIS OF ELEVATIONS:

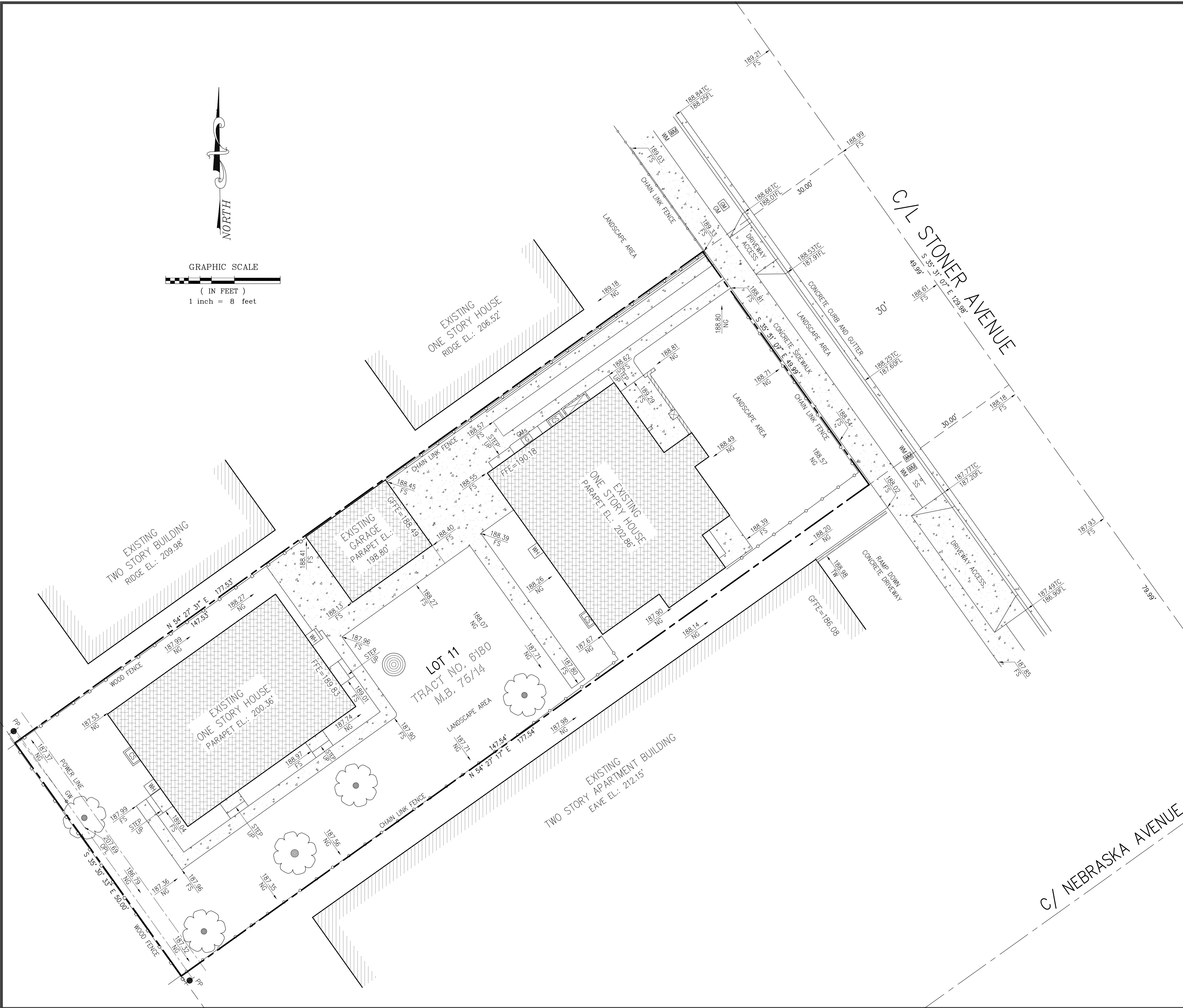
BENCHMARK NO.: 13-25725
ELEVATION: 209.952 FEET
YEAR OF ADJUSTMENT: 2000
DESCRIPTION: WIRE SPIKE NORTH CURB IOWA AVENUE; 4.30 FEET EAST OF BEGINNING CURB RETURN EAST OF FEDERAL AVENUE WEST END CATCH BASIN.

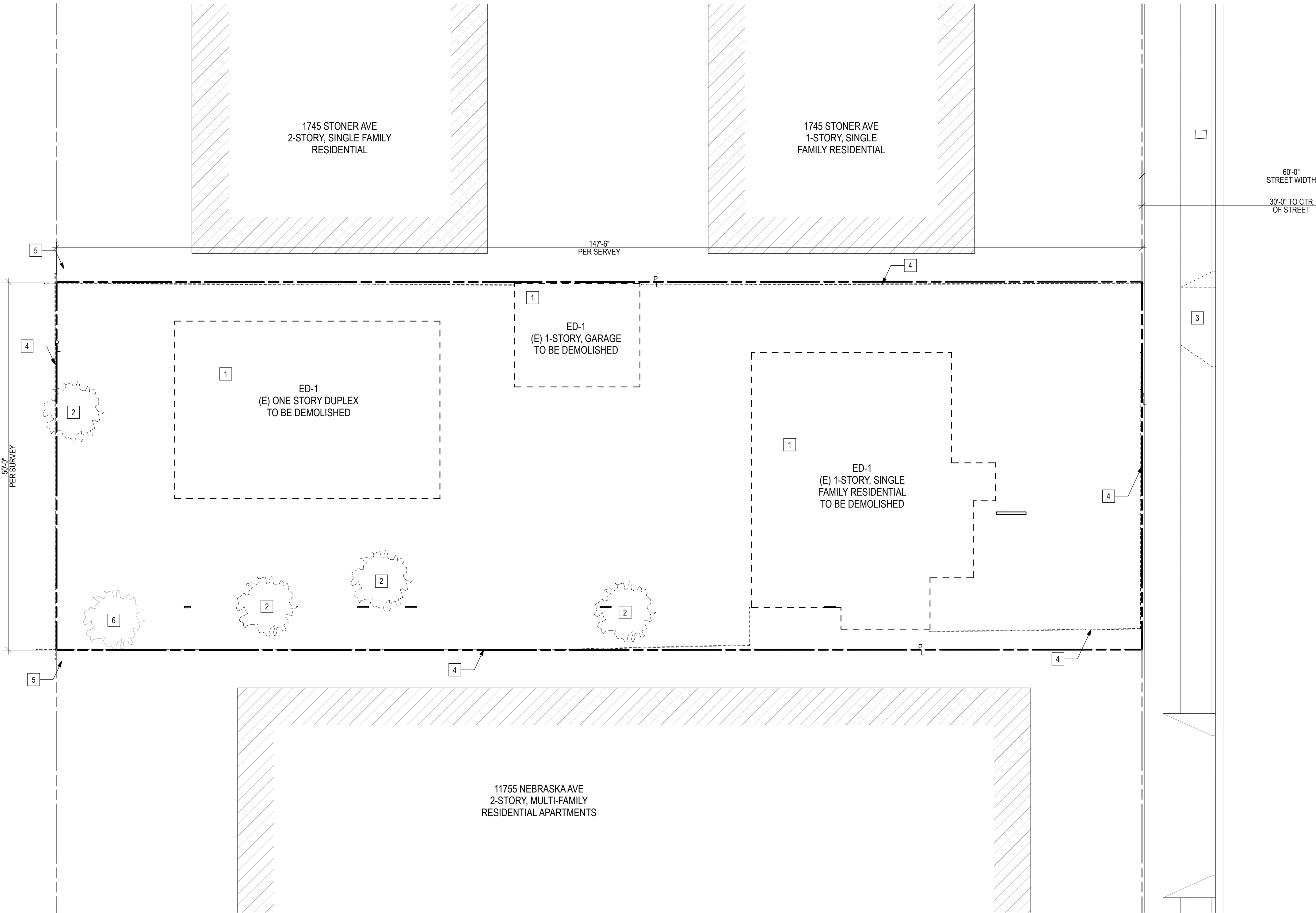
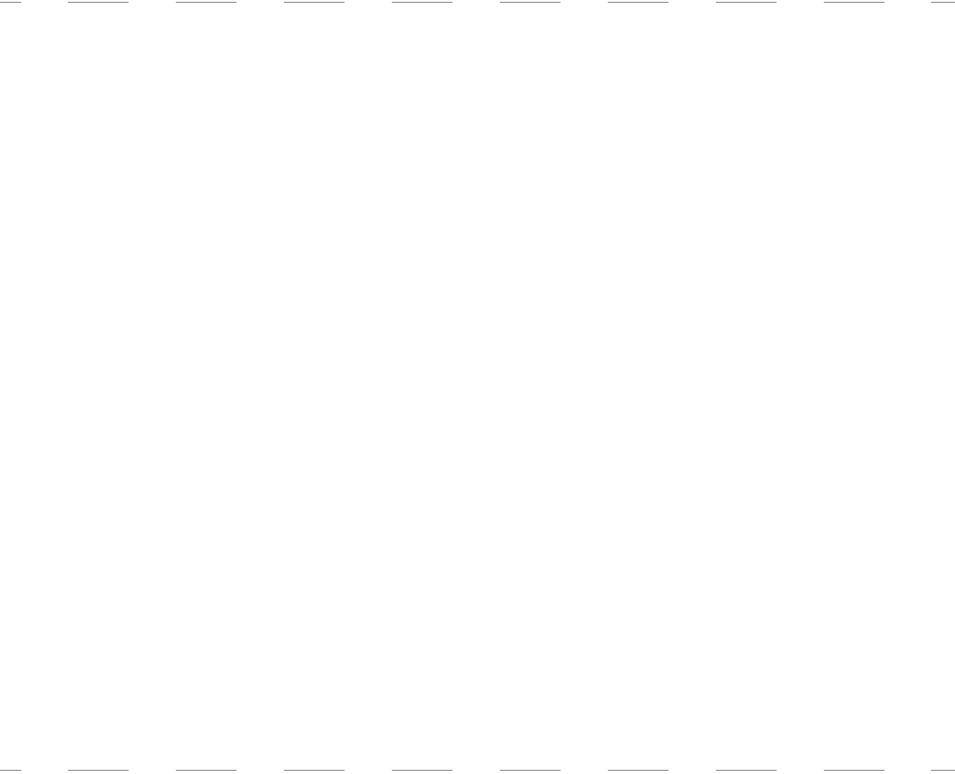
LEGEND:

| | |
|------|---------------------------------|
| C/L | CENTERLINE |
| CS | CRAWL SPACE |
| EL | ELEVATION |
| FFE | FINISHED FLOOR ELEVATION |
| FS | FINISHED SURFACE |
| FL | FLOW LINE |
| GFFE | GARAGE FINISHED FLOOR ELEVATION |
| GMs | GAS METERS (3 UNITS) |
| GW | GUY WIRE |
| NG | NATURAL GRADE |
| OPL | OVERHEAD POWER LINE |
| PP | POWER POLE |
| SMH | SEWER MANHOLE |
| SS | STREET SIGN |
| TC | TOP OF CURB |
| TW | TOP OF WALL |
| WH | WATER HEATER CLOSET |
| WM | WATER METER |

EASEMENT NOTE:

THERE ARE NO RECORD EASEMENT/S PER EQUITY TITLE COMPANY PRELIMINARY REPORT ORDER NO. 3910124-01732, DATED AS OF MARCH 08, 2024





AERO

COLLECTIVE

209 S MARKET ST
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PASSO

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1747 STONER AVE
LOS ANGELES, CA 90025

CONSULTANT:

1747 STONER AVE
1747 STONER AVE
LOS ANGELES, CA 90025
#24014

12/16/24
ED-1

NOT FOR
CONSTRUCTION

DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

1

GENERAL NOTES

PROJECT TEAM

OWNER:
PASSO, STONER LLC
1747 STONER AVE
LOS ANGELES, CA 90025
CONTACT: SIMON AFTALION
PHONE: 310.963.2877

ARCHITECT:
AERO COLLECTIVE
209 S. MARKET ST.
INGLEWOOD, CA 90301
CONTACT: ANDREW CRANE
PHONE: 323.553.2376

LAND USE CONSULTANT:
ALCHEMY PLANNING+ LAND USE
CONTACT: GARY BENJAMIN
PHONE: 213.479.7521

DEMOLITION GENERAL NOTES

- DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY AND DISPOSE OF IN LEGAL MANNER.
- ALL EXISTING STREET IMPROVEMENTS, UNLESS OTHERWISE INDICATED HEREIN TO BE REMOVED, SHALL BE PROTECTED IN PLACE. THESE ITEMS INCLUDE LIGHT POLES, POWER POLES, SIGNAL POLES AND APPURTENANCES.
- CONTRACTOR SHALL NOTIFY ALL UTILITY OWNERS BOTH IN PRIVATE PROPERTY AND IN PUBLIC RIGHT OF WAY FOR EXISTING LATERALS TO BE REMOVED OR CAPPED PRIOR TO REMOVAL.
- ALL EXISTING VALVE, PULLBOXES, VAULTS, MANHOLES, CLEANOUTS, METER BOXES AND SURVEY MONUMENTS SHALL BE ADJUSTED TO NEW DESIGN GRADES. EXISTING METER TO REMAIN AND TO BE PROTECTED, UNLESS OTHERWISE DIRECTED BY THE UTILITY OWNER.
- UTILITIES TO BE VERIFIED IN FIELD TO ENSURE NOT SERVING EXISTING FACILITIES TO REMAIN. COORDINATE RELOCATION IF REQUIRED.

LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOT 11 OF TRACT NO. 6180 AS PER MAP RECORDED IN BOOK 75 PAGE 14, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ASSESSORS PARCEL NUMBER: 4262-016-011

KEYNOTES

- (E) BUILDING AND ITS APPURTENANCES, TO BE REMOVED. REMOVAL TO INCLUDE ALL RELATED SUBTERRANEAN STRUCTURES
- (E) SITE TREES, TO BE REMOVED
- (E) CURB CUT, TO BE REMOVED
- (E) SITE FENCE, TO BE REMOVED
- (E) POWER POLE
- (E) SITE TREE, PROTECT IN PLACE

LEGEND

- (E) NEIGHBORHOOD BUILDING
- (E) BUILDING, TO BE DEMOLISHED

KEY PLAN:



PROJECT NO. #24014
PLOT DATE 12/16/24
SCALE AS SHOWN

SHEET TITLE:

DEMO PLAN

SHEET NO.

G1.50

GENERAL NOTES

- PROHIBITED SIGNS:
IN ADDITION TO ANY REGULATIONS SET FORTH BY THE UNDERLYING ZONE AND THE LAMC, THE FOLLOWING TYPES OF SIGNS ARE PROHIBITED: POLE SIGNS; ILLUMINATED ARCHITECTURAL CANOPY SIGNS; FEATHER SIGNS; DIGITAL DISPLAYS; AND CANISTER/CAN/ CABINET SIGNS
- ALL BUILDING FIXTURES, AWNINGS, SECURITY GATES, ETC, SHOULD COMPLEMENT AND BE ARCHITECTURALLY INTEGRATED TO THE DESIGN OF THE BUILDING.

SUMMARY TABLE (PER CP-4062)

| AREA (SF) | |
|--|---------|
| GROSS LOT AREA | 7,375.1 |
| BUILDABLE LOT AREA | 4,700 |
| PROPOSED FLOOR AREA | 27,171 |
| UNITS | |
| EXISTING | 3 |
| TO-BE DEMOLISHED | 3 |
| PROPOSED | 53 |
| OPEN SPACE (SF) | |
| REQUIRED | 5,300 |
| PROPOSED | 2,650 |
| *SEE G1.10 FOR OPEN SPACE CALCULATIONS | |
| AUTOMOBILE PARKING | |
| REQUIRED | 65 |
| PROPOSED | 0 |
| *SEE G1.10 FOR PARKING CALCULATIONS | |
| BUILDING HEIGHT | |
| ALLOWED | 45'-0" |
| ALLOWED (AB 2334) | 78'-0" |
| PROPOSED | 76'-5" |

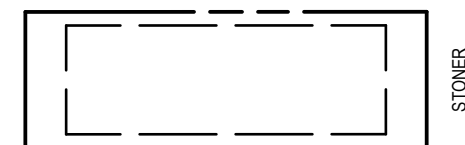
KEYNOTES

- (E) BUILDING TO BE DEMOLISHED, SHOWN DASHED
- (E) SITE TREE
- (E) POWER POLE
- (N) 6' HEIGHT METAL SITE FENCE AND GATE
- (N) PAD-MOUNTED TRANSFORMER, 3' CLEARANCE ON ALL SIDES, PROTECTED W/ METAL BOLLARDS
- (N) 6' HEIGHT METAL SITE FENCE

LEGEND

- VERTICAL CIRCULATION
- (E) NEIGHBORHOOD BUILDING
- (E) BUILDING, TO BE DEMOLISHED
- PAVED AREA
- PROPOSED BUILDING
- PROPOSED BUILDING - 7TH FLOOR

KEY PLAN:



PROJECT NO. #24014
PLOT DATE 12/16/24
SCALE AS SHOWN

SHEET TITLE:

PLOT PLAN

SHEET NO.

A0.00



209 S MARKET ST
INGLEWOOD, CA 90301
323.553.2376

PASSO, STONER LLC
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LOS ANGELES, CA 90025

CONSULTANT:

1747 STONER AVE
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#24014

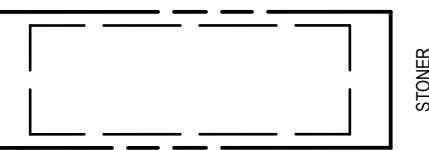
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| REVISION 1 | | 12/16/24 |
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KEY PLAN:



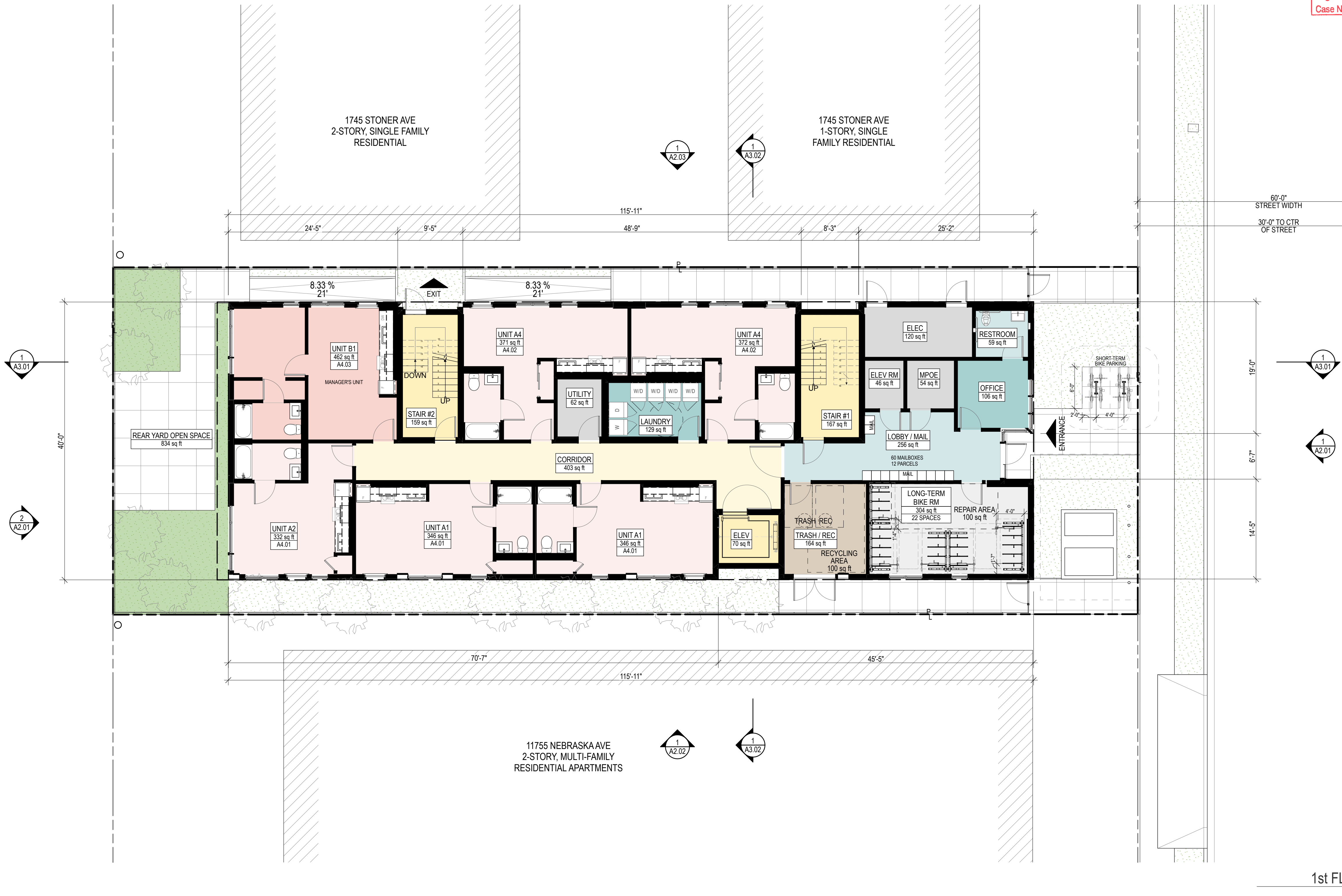
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PLOT DATE 12/16/24
SCALE AS SHOWN

SHEET TITLE:

1st FLOOR PLAN

SHEET NO.

A1.10



1st FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. XX

KEYNOTES

1 XX

LEGEND



209 S MARKET ST
INGLEWOOD, CA 90301
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#24014

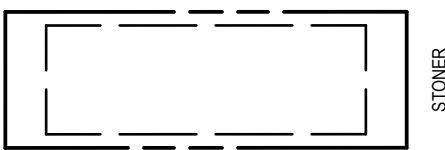
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| REVISION 1 | | 12/16/24 |

KEY PLAN:



PROJECT NO. #24014
PLOT DATE 12/16/24
SCALE AS SHOWN

SHEET TITLE:

2nd FLOOR PLAN

SHEET NO.

A1.20



2nd FLOOR PLAN
SCALE: 1/8" = 1'-0"

1

GENERAL NOTES

1. XX

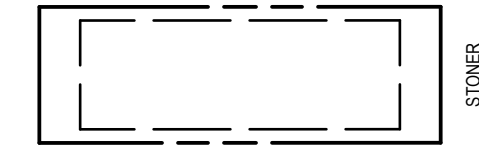
KEYNOTES

1 XX

LEGEND

| NO. | ISSUES/REVISIONS | DATE |
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| REVISION 1 | | 12/16/24 |
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KEY PLAN:



PROJECT NO. #24014
PLOT DATE 12/16/24
SCALE AS SHOWN

SHEET TITLE:

3rd FLOOR PLAN

SHEET NO.

A1.30



3rd FLOOR PLAN
SCALE: 1/8" = 1'-0"

1

GENERAL NOTES

1. XX

KEYNOTES

1 XX

LEGEND

| NO. | ISSUES/REVISIONS | DATE |
|------------|------------------|----------|
| REVISION 1 | | 12/16/24 |
| | | |
| | | |
| | | |

KEY PLAN:

PROJECT NO. #24014
PLOT DATE 12/16/24
SCALE AS SHOWN

SHEET TITLE:

4th FLOOR PLAN

SHEET NO.

A1.40



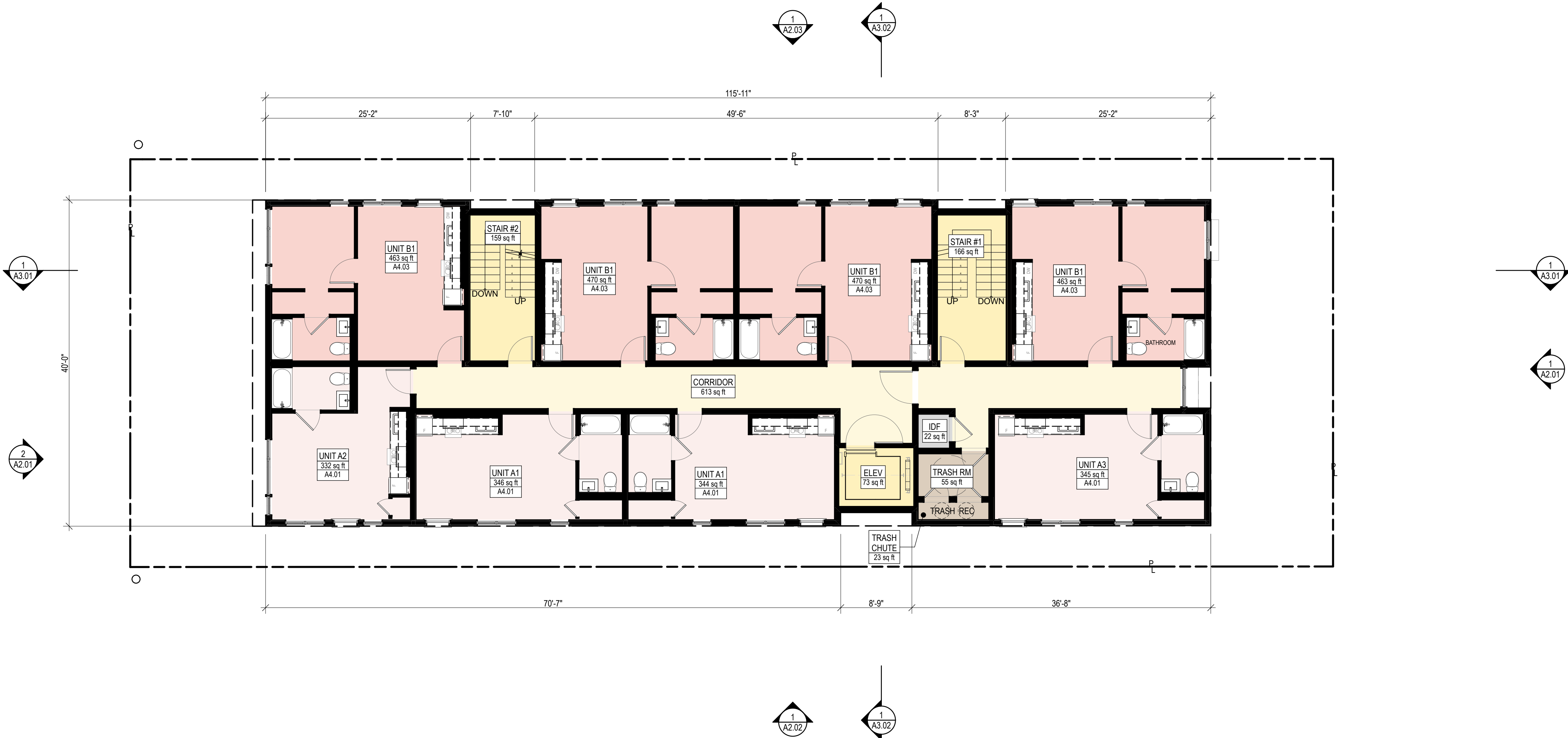
4th FLOOR PLAN
SCALE: 1/8" = 1'-0"

1

GENERAL NOTES
1. XX

KEYNOTES
1 XX

LEGEND



5th FLOOR PLAN
SCALE: 1/8" = 1'-0"

1

GENERAL NOTES

1. XX

KEYNOTES

1 XX

LEGEND



6th FLOOR PLAN
SCALE: 1/8" = 1'-0"

1

GENERAL NOTES

1. XX

KEYNOTES

1 XX

LEGEND



209 S MARKET ST
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CONSULTANT:

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LOS ANGELES, CA 90025
#24014

12/16/24
ED-1

STAMP:

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7th FLOOR PLAN
SCALE: 1/8" = 1'-0"

1

GENERAL NOTES

1. XX

KEYNOTES

1 XX

LEGEND

KEY PLAN:



PROJECT NO. #24014
PLOT DATE 12/16/24
SCALE AS SHOWN

SHEET TITLE:

7th FLOOR PLAN

SHEET NO.

A1.70



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INGLEWOOD, CA 90301
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#24014

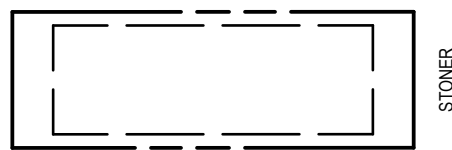
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| NO. | ISSUES/REVISIONS | DATE |
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| REVISION 1 | | 12/16/24 |
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KEY PLAN:



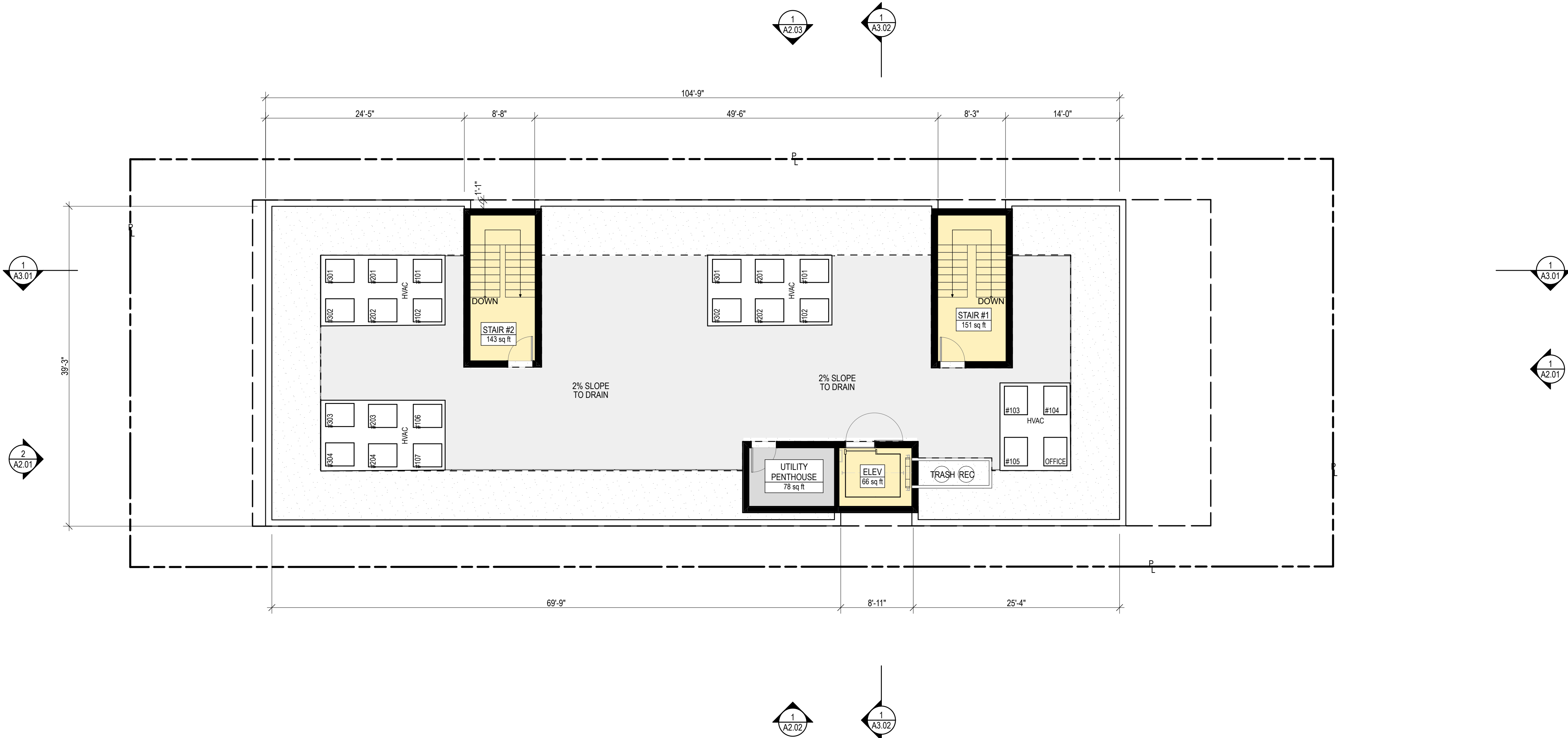
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PLOT DATE 12/16/24
SCALE AS SHOWN

SHEET TITLE:

ROOF PLAN

SHEET NO.

A1.80



ROOF PLAN
SCALE: 1/8" = 1'-0"

1

GENERAL NOTES

1. XX

KEYNOTES

1 XX

LEGEND



209 S MARKET ST
INGLEWOOD, CA 90301
323.553.2376

PASSO, STONER LLC
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LOS ANGELES, CA 90025

CONSULTANT:

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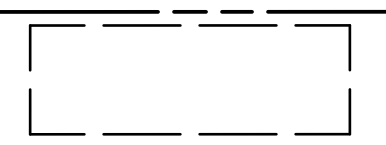
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CONSTRUCTION

| NO. | ISSUES/REVISIONS | DATE |
|------------|------------------|----------|
| REVISION 1 | | 12/16/24 |
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KEY PLAN:



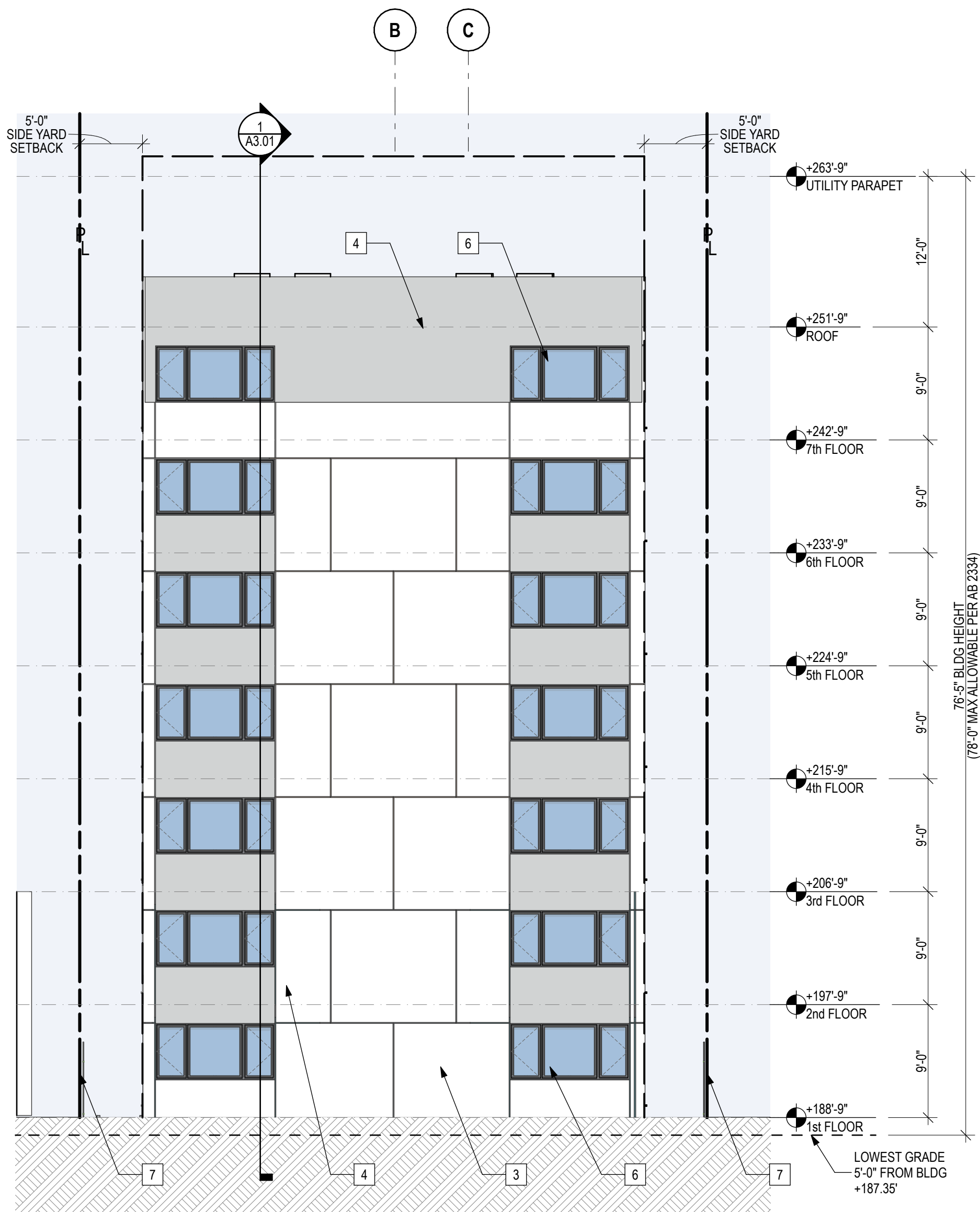
PROJECT NO. #24014
PLOT DATE 12/16/24
SCALE AS SHOWN

SHEET TITLE:

BUILDING
ELEVATIONS

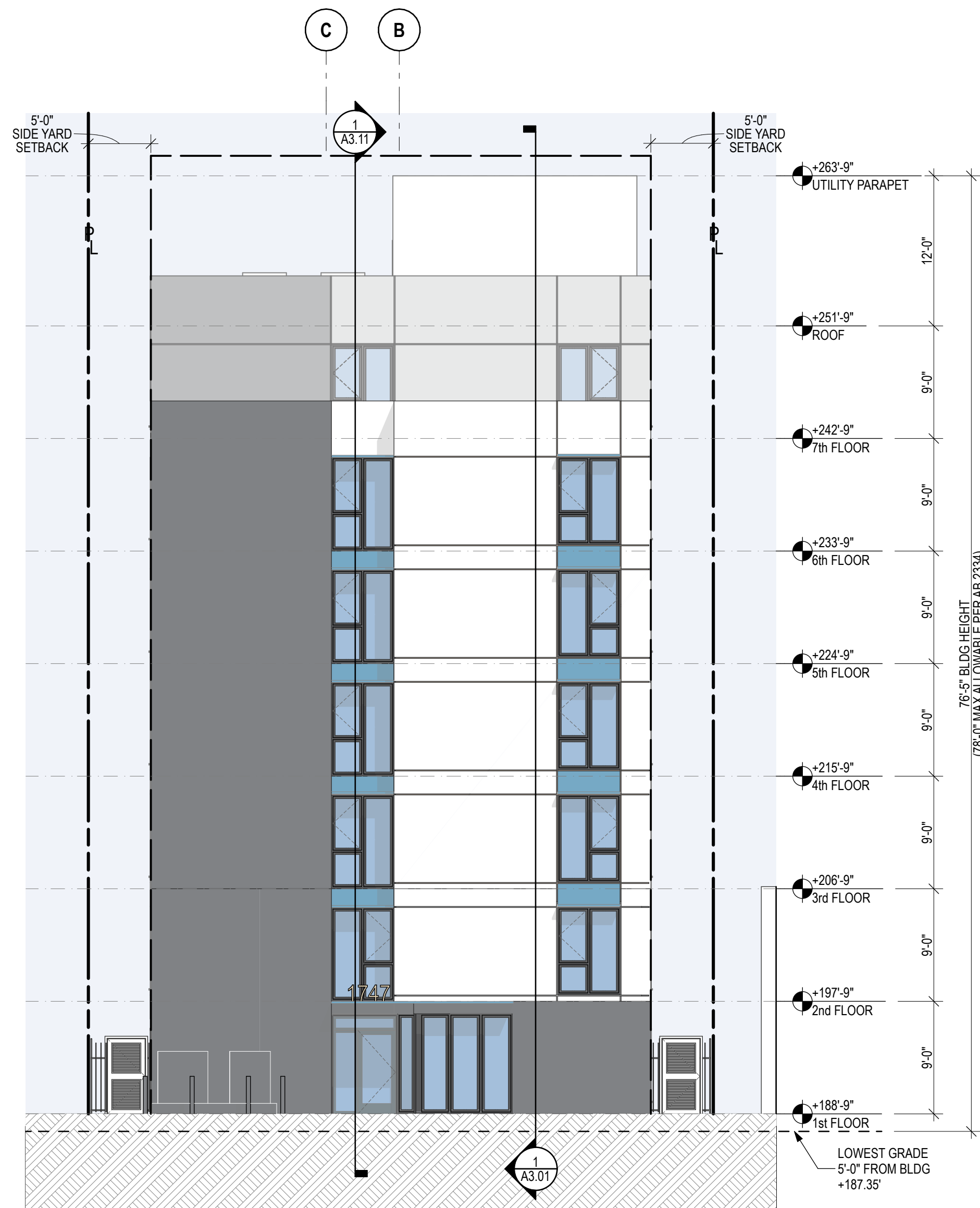
SHEET NO.

A2.01



WEST ELEVATION
SCALE: 1/8" = 1'-0"

2



EAST ELEVATION
SCALE: 1/8" = 1'-0"

1

MATERIALS BOARD



1 MAIN ENTRANCE
STOREFRONT



2 BLACK METAL ADDRESS
NUMBERS



3 EXTERIOR STUCCO 20/30
FINE SAND FLOAT FINISH,
WHITE



4 EXTERIOR STUCCO 20/30
FINE SAND FLOAT FINISH,
LIGHT GREY



5 EXTERIOR STUCCO 20/30
FINE SAND FLOAT FINISH,
DARK GREY



6 BLACK VINYL WINDOW

KEYNOTES

- 1 MAIN RESIDENTIAL ENTRY
- 2 BUILDING ADDRESS NUMBER, ABOVE MAIN ENTRY, BLACK METAL
- 3 EXTERIOR CEMENT PLASTER, 20/30 FINISH, COLOR: WHITE, TYP
- 4 EXTERIOR CEMENT PLASTER, 20/30 FINISH, COLOR: LIGHT GREY, TYP
- 5 EXTERIOR CEMENT PLASTER, 20/30 FINISH, COLOR: DARK GREY, TYP
- 6 WINDOW, VINYL, BLACK, TYP
- 7 (N) 6'-0" H METAL FENCE AND GATE
- 8 (N) PAD-MOUNTED TRANSFORMER, 3' CLEARANCE AROUND, PROTECTED WITH METAL BOLLARDS

LEGEND



MATERIALS BOARD



1 MAIN ENTRANCE
STOREFRONT



2 BLACK METAL ADDRESS
NUMBERS



3 EXTERIOR STUCCO 20/30
FINE SAND FLOAT FINISH,
WHITE



4 EXTERIOR STUCCO 20/30
FINE SAND FLOAT FINISH,
LIGHT GREY



5 EXTERIOR STUCCO 20/30
FINE SAND FLOAT FINISH,
DARK GREY



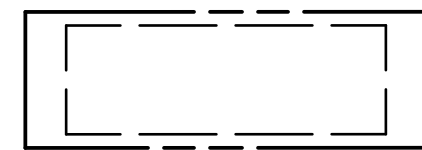
6 BLACK VINYL WINDOW

KEYNOTES

- 1 NOT USED
- 2 NOT USED
- 3 EXTERIOR CEMENT PLASTER, 20/30 FINISH, COLOR: WHITE, TYP
- 4 EXTERIOR CEMENT PLASTER, 20/30 FINISH, COLOR: LIGHT GREY, TYP
- 5 EXTERIOR CEMENT PLASTER, 20/30 FINISH, COLOR: DARK GREY, TYP
- 6 WINDOW, VINYL, BLACK, TYP
- 7 (N) 6'-0" H METAL FENCE AND GATE
- 8 (N) PAD-MOUNTED TRANSFORMER, 3' CLEARANCE AROUND, PROTECTED WITH METAL BOLLARDS

LEGEND

KEY PLAN:



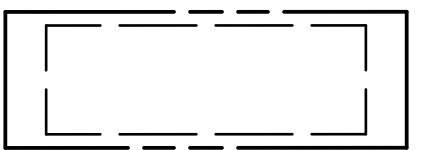
PROJECT NO. #24014
PLOT DATE 12/16/24
SCALE AS SHOWN

SHEET TITLE:

BUILDING
ELEVATIONS

SHEET NO.:

A2.02



MATERIALS BOARD



1 MAIN ENTRANCE
STOREFRONT



2 BLACK METAL ADDRESS
NUMBERS



3 EXTERIOR STUCCO 20/30
FINE SAND FLOAT FINISH,
WHITE



4 EXTERIOR STUCCO 20/30
FINE SAND FLOAT FINISH,
LIGHT GREY



5 EXTERIOR STUCCO 20/30
FINE SAND FLOAT FINISH,
DARK GREY

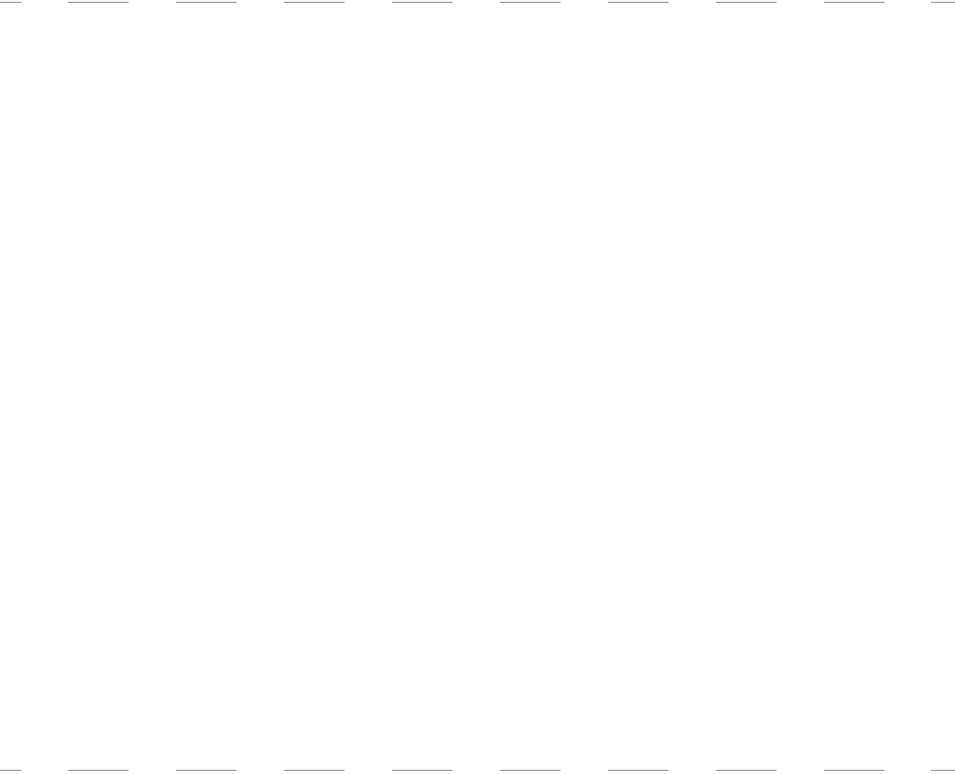


6 BLACK VINYL WINDOW

KEYNOTES

- 1 NOT USED
2 NOT USED
3 EXTERIOR CEMENT PLASTER, 20/30 FINISH, COLOR: WHITE, TYP
4 EXTERIOR CEMENT PLASTER, 20/30 FINISH, COLOR: LIGHT GREY, TYP
5 EXTERIOR CEMENT PLASTER, 20/30 FINISH, COLOR: DARK GREY, TYP
6 WINDOW, VINYL, BLACK, TYP
7 (N) 6'-0" H METAL FENCE AND GATE
8 NOT USED

LEGEND



BUILDING SECTION A
SCALE: 1/8" = 1'-0"

1

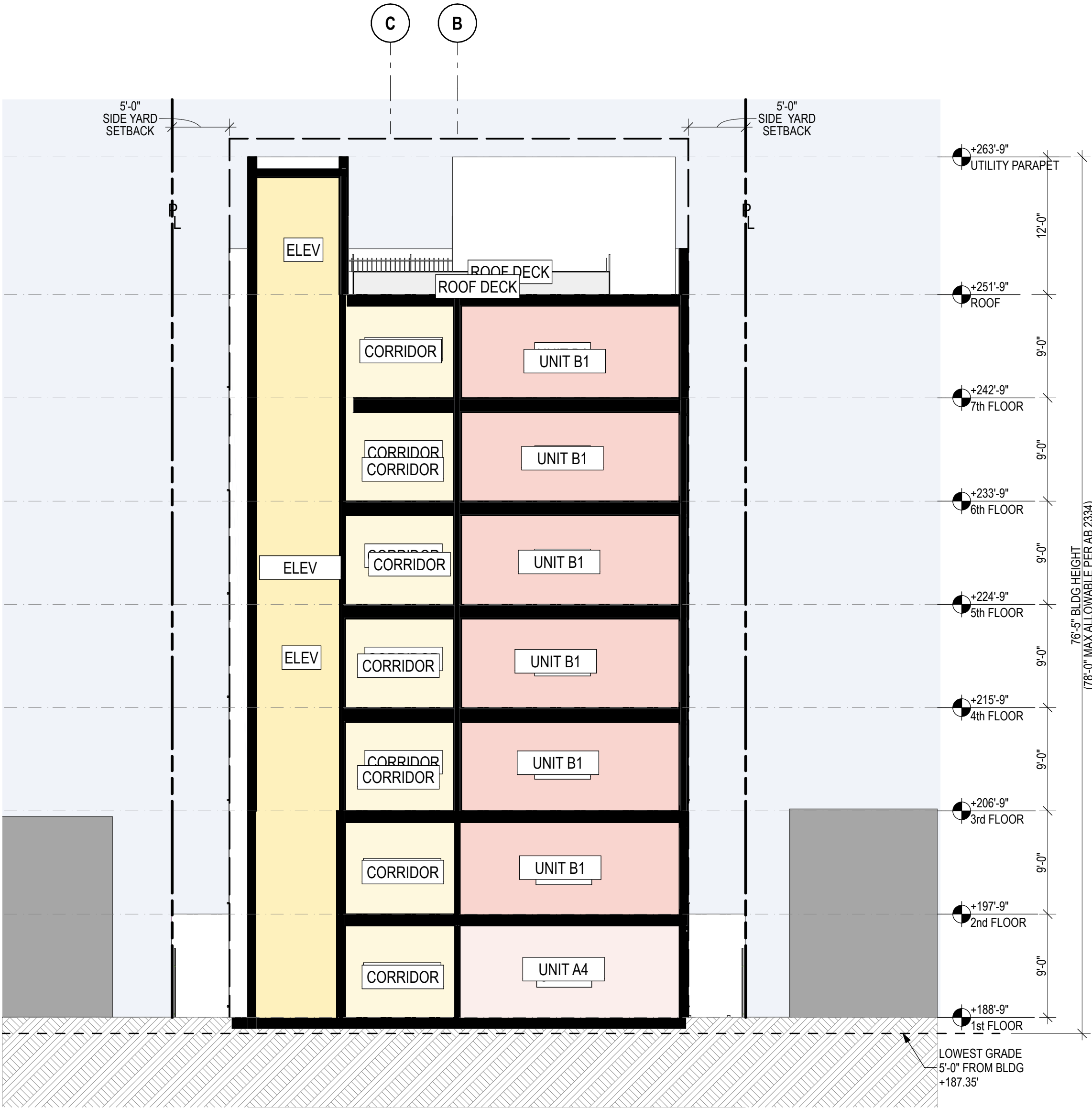
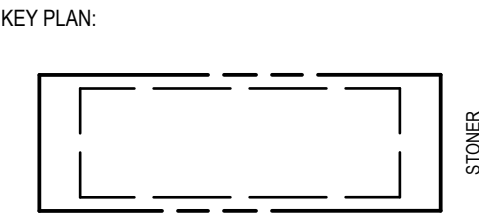
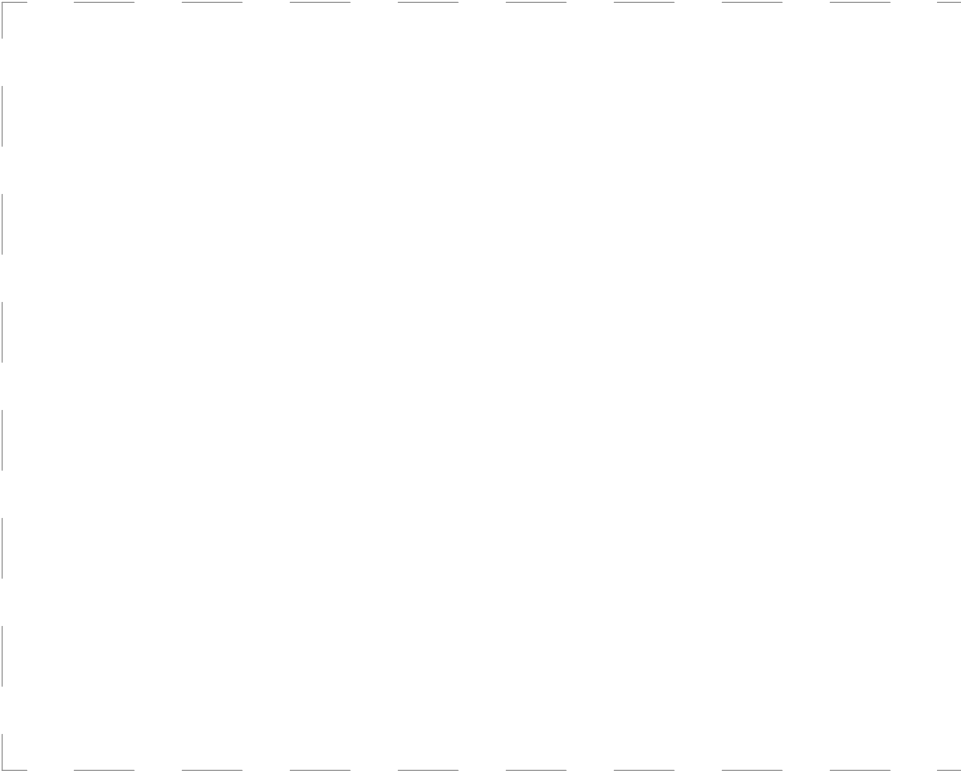
GENERAL NOTES

1. XX

KEYNOTES

1 XX

LEGEND



BUILDING SECTION B

SCALE: 1/8" = 1'-0"

1

GENERAL NOTES

1. XX

KEYNOTES

1 XX

LEGEND

1747 STONER AVE

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APN 4262-016-011

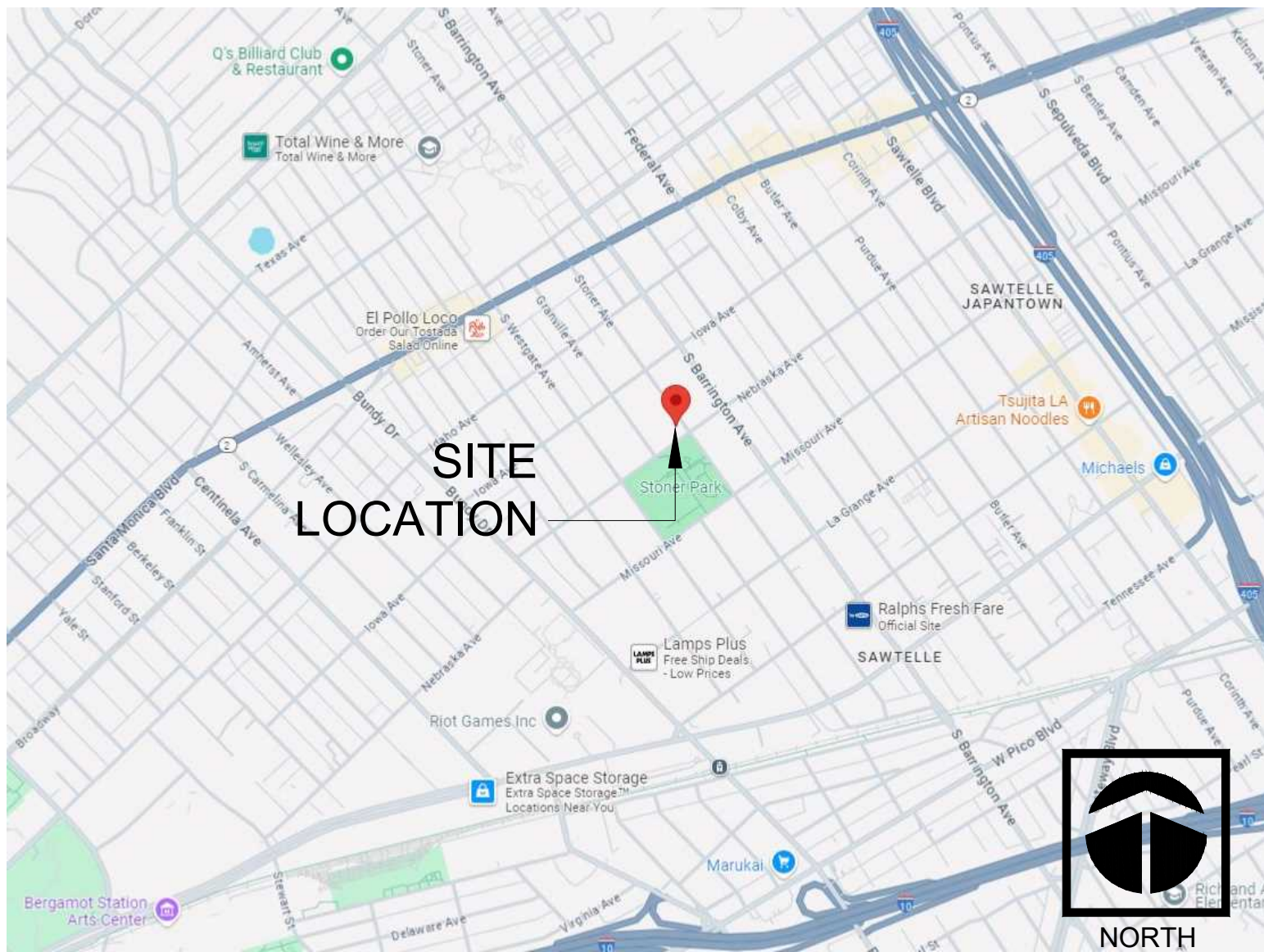
LANDSCAPE ARCHITECT

SAVAGE LAND DESIGN
680 LANGSDORF DRIVE, SUITE 202B
FULLERTON, CA 92831

CONTACT: MICHAEL SAVAGE, RLA #4397

714-878-0335
MICHAEL@SAVAGELANDDESIGN.COM

VICINITY MAP



SHEET INDEX

| | | |
|------|-----------------------------------|----------|
| CS-0 | COVERSHEET | 1 OF 10 |
| LC-1 | CONSTRUCTION LAYOUT PLAN | 2 OF 10 |
| LC-2 | CONSTRUCTION DETAILS | 3 OF 10 |
| LI-1 | IRRIGATION NOTES AND CALCULATIONS | 4 OF 10 |
| LI-2 | IRRIGATION HYDROZONES | 5 OF 10 |
| LI-3 | IRRIGATION LAYOUT PLAN | 6 OF 10 |
| LI-4 | IRRIGATION DETAILS | 7 OF 10 |
| LI-5 | IRRIGATION DETAILS | 8 OF 10 |
| LP-1 | PLANTING LAYOUT PLAN | 9 OF 10 |
| LP-2 | PLANTING DETAILS | 10 OF 10 |

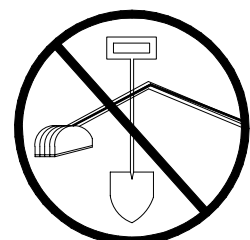
GENERAL NOTES

- ALL PROPERTY LINES AND LOT LINES SHALL BE VERIFIED PRIOR TO COMMENCING WORK.
- ALL DIMENSIONS SHALL BE VERIFIED AGAINST EXISTING CONDITIONS AND ALL DISCREPANCIES REPORTED TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
- CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AND/OR GRADE DIFFERENCES WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IN WRITING. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- A CAL-OSHA PERMIT IS REQUIRED FOR EXCAVATIONS DEEPER THAN 5 FEET AND FOR SHORING AND UNDERPINNING.
- A LICENSED SURVEYOR SHALL PROVIDE MONITORING OF SHORING AND IMPROVEMENTS ON ADJACENT PROPERTIES AND SUBMIT RESULTS WITH A REPORT TO THE SHORING DESIGN ENGINEER AND TO THE BUILDING INSPECTOR ON A DAILY BASIS DURING EXCAVATION AND SHORING AND ON A WEEKLY BASIS THEREAFTER. WHERE DEWATERING IS REQUIRED, MONITORING SHALL CONTINUE UNTIL DEWATERING IS STOPPED.
- IN LIEU OF SPECIAL INSPECTION BY THE DEPUTY BUILDING INSPECTOR, THE GEOTECHNICAL ENGINEER SHALL PROVIDE CONTINUOUS INSPECTIONS DURING SHORING AND EXCAVATION OPERATIONS AND DURING REMOVAL OF SHORING.
- THE CONTRACTOR SHALL NOTIFY ADJACENT PROPERTY OWNERS BY CERTIFIED MAIL 0 DAYS PRIOR TO STARTING THE SHORING AND EXCAVATION WORK

| LANDSCAPE POINT SYSTEM | |
|---|------------|
| SQUARE FOOTAGE OF SITE | 7,375.1 SF |
| POINTS REQUIRED | 10 POINTS |
| FEATURES/TECHNIQUES | |
| USE CLASS I OR CLASS II COMPOST PRODUCED USING CITY ORGANIC MATERIALS (TOPGRO) IN A MAJORITY OF LANDSCAPE AREAS | 5 |
| MAIN FINISH ELEVATION OF STRUCTURE, AT AN ELEVATION OR ABOVE OR BELOW THE FINISH ELEVATION OF THE SIDEWALK; SUCH THAT A STRAIGHT LINE PERPENDICULAR TO A STRAIGHT STREET OR RADially TO A CURVED STREET, LEADING DIRECTLY TO THE MAIN PEDESTRIAN ENTRANCE OF THE STRUCTURE, IS HANDICAP ACCESSIBLE. | 5 |
| TOTAL POINTS PROVIDED | 10 |
| WATER MANAGEMENT POINT SYSTEM | |
| SQUARE FOOTAGE OF SITE | 7,375.1 SF |
| POINTS REQUIRED | 100 POINTS |
| POINTS PROVIDED | |
| DRIP IRRIGATION WITH FLOW CONTROL (3) | 15 |
| AUTOMATIC IRRIGATION CONTROLLER | 5 |
| PLANTS: | |
| 32 ARBUTUS UNEDO 'COMPACT' | 64 |
| 12 FETUCA MAIREI | 24 |
| 17 LANTANA 'NEW GOLD' | 34 |
| TOTAL POINTS PROVIDED | 142 |
| SITE AREA: | |
| BUILDING FOOTPRINT: | 4,515.5 SF |
| POTENTIAL LANDSCAPE AREA: | 2,859.5 SF |
| LANDSCAPE PROVIDED: | 1,220.7 SF |

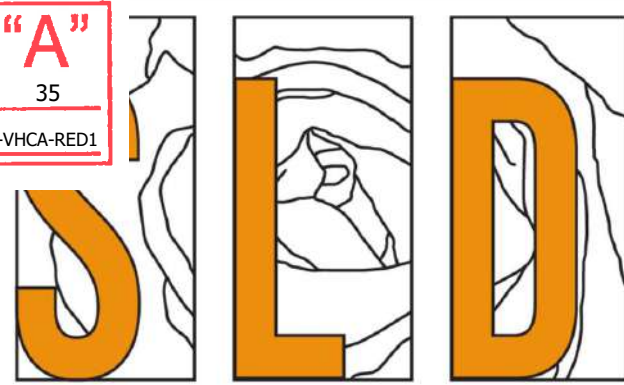
TOTAL LANDSCAPE AREA = 1,220.7 SF
(GROUND LEVEL AND ROOFTOP)

TOTAL COMMON OPEN SPACE AREA = 2,650 SF
TOTAL COMMON OPEN SPACE LANDSCAPE AREA
REQUIRED (25%) = 662.5 SF
TOTAL COMMON OPEN SPACE LANDSCAPE AREA
PROVIDED = 715.2 SF



Under
ground
Service Alert
of Southern California
CALL TOLL FREE
1-800-422-4133

EXHIBIT "A"
Page No. 25 of 35
Case No. ADM-2024-7126-DB-WICA-RED1



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PHONE: 714-878-0335
EMAIL: michael@savagelanddesign.com

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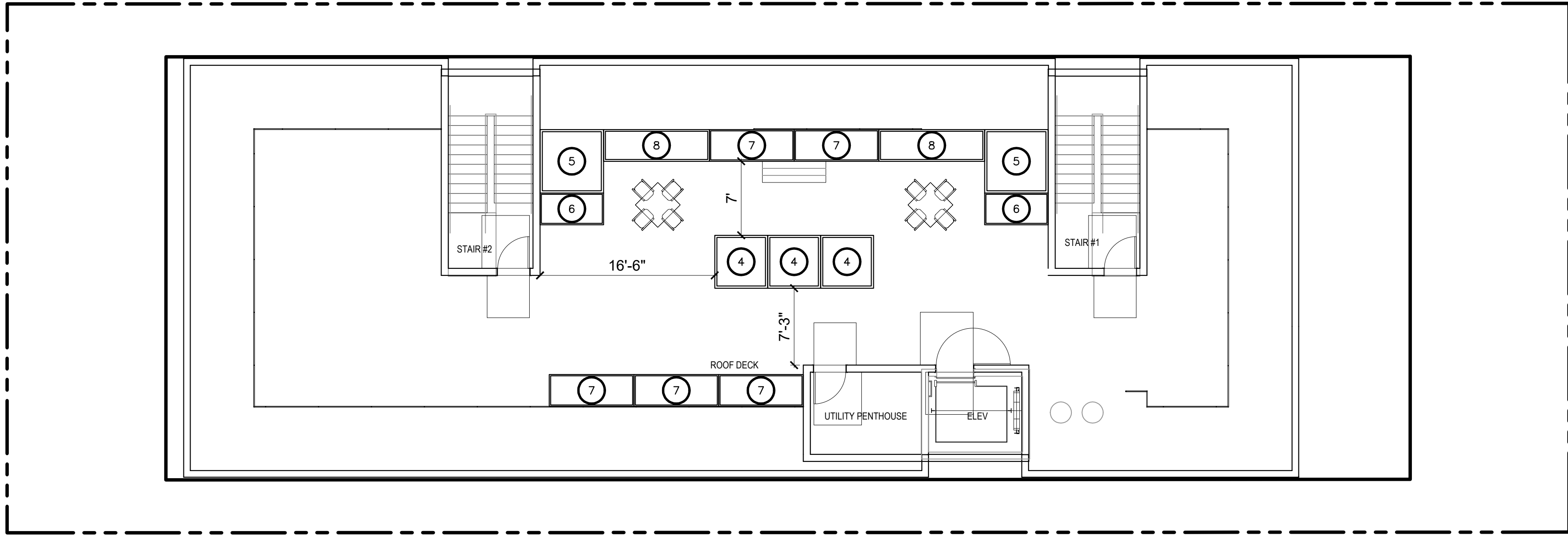


COVERSHEET

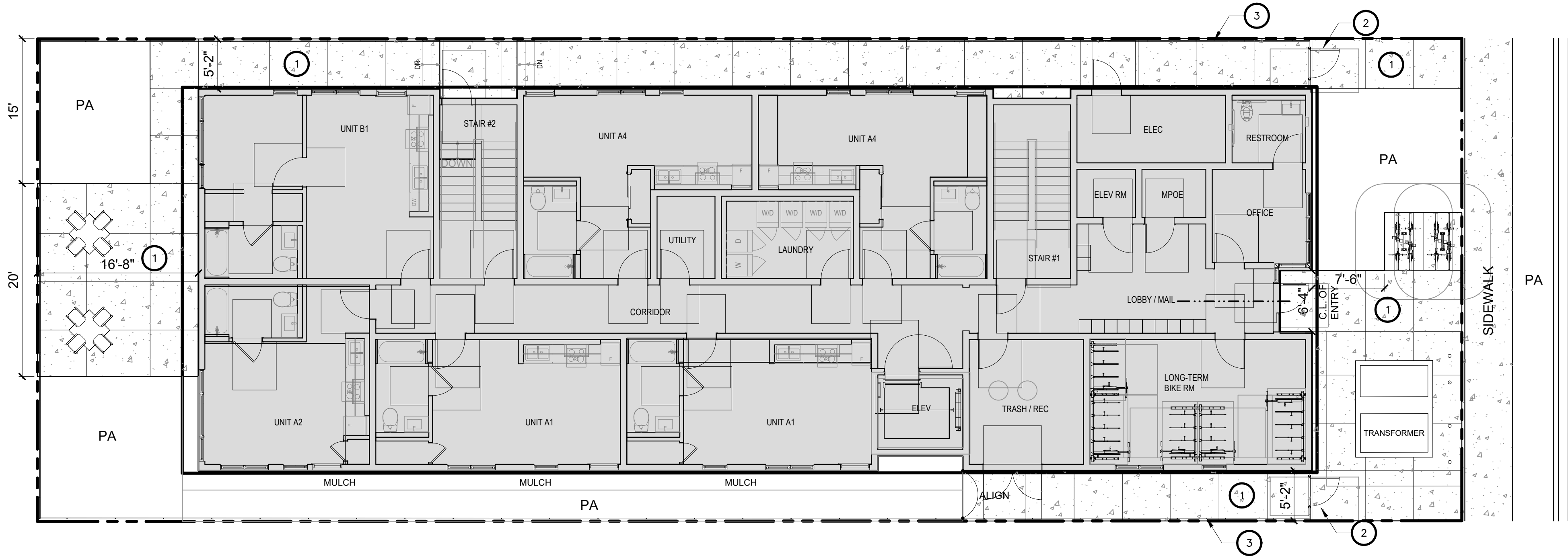
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|-------|----------|-------|
| Date | 11-25-24 | Sheet |
| Scale | | CS-0 |
| Sheet | 1 of 10 | |

CONSTRUCTION LEGEND

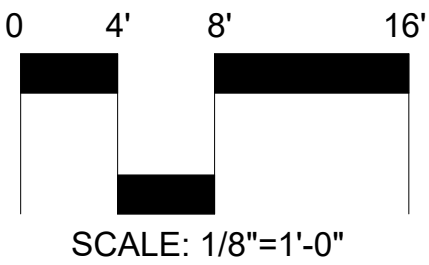
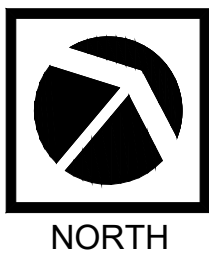
| ITEM NO. | DESCRIPTION | SHEET / DETAIL |
|----------|--|----------------|
| 1 | CONCRETE PAVING TO BE NATURAL GRAY (UNCOLORED) WITH MED BROOM FINISH | LC-2 / A, B, C |
| 2 | TUBULAR STEEL GATE | LC-2 / E |
| 3 | TUBULAR STEEL FENCE | LC-2 / F |
| 4 | PREFABRICATED SQUARE PLANTER - 60" SQ X 42"H | LC-2 / G |
| 5 | PREFABRICATED SQUARE PLANTER - 72" SQ X 42"H | LC-2 / G |
| 6 | PREFABRICATED RECTANGULAR PLANTER - 72"L X 36"W X 30"H | LC-2 / G |
| 7 | PREFABRICATED RECTANGULAR PLANTER - 96"L X 36"W X 30"H | LC-2 / G |
| 8 | PREFABRICATED RECTANGULAR PLANTER - 120"L X 36"W X 30"H | LC-2 / G |



ROOF FLOOR PLAN



FIRST FLOOR PLAN





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PHONE: 714-878-0335
EMAIL: michael@savagelanddesign.com

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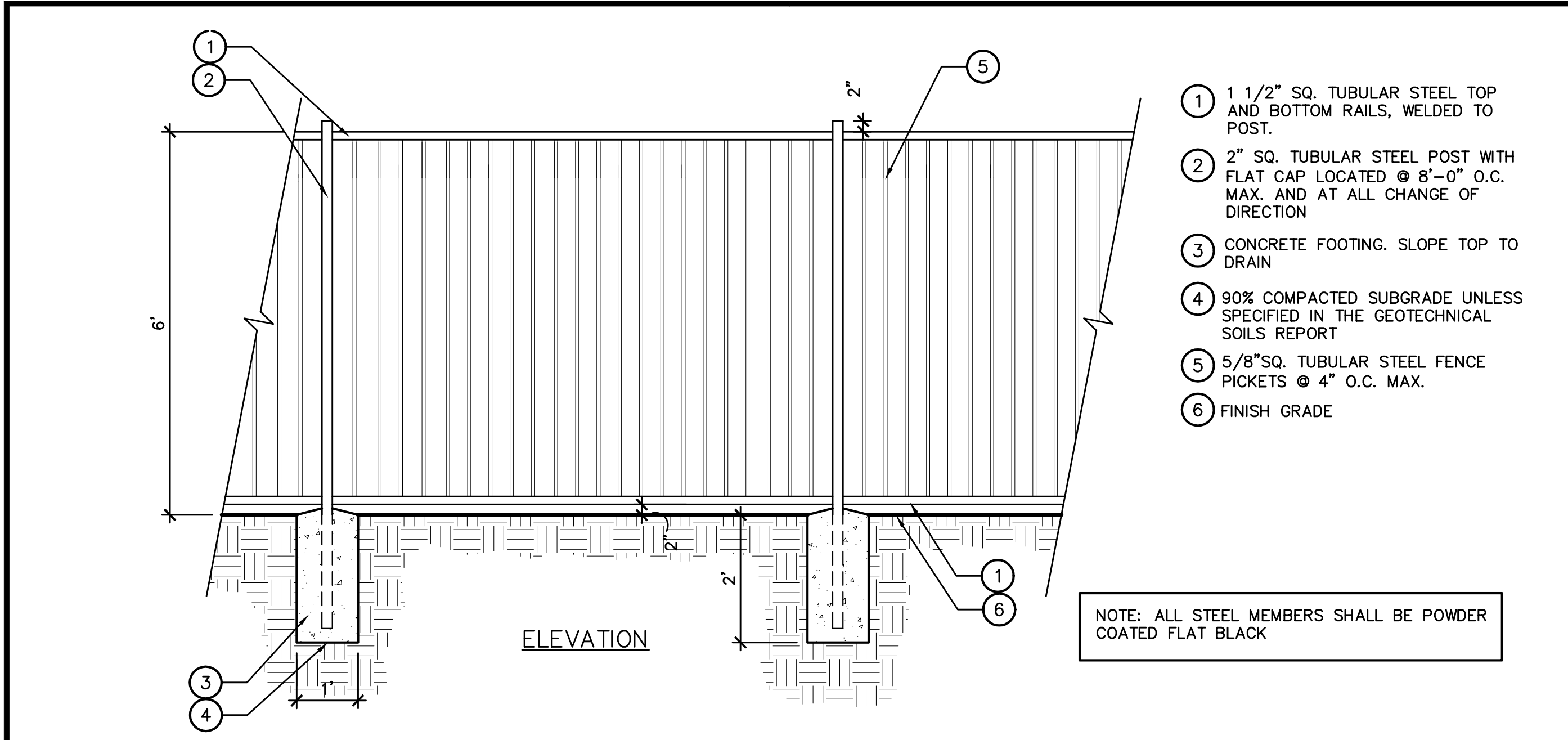
LOS ANGELES, CA 90025

| No. | Revision / Issue | Date |
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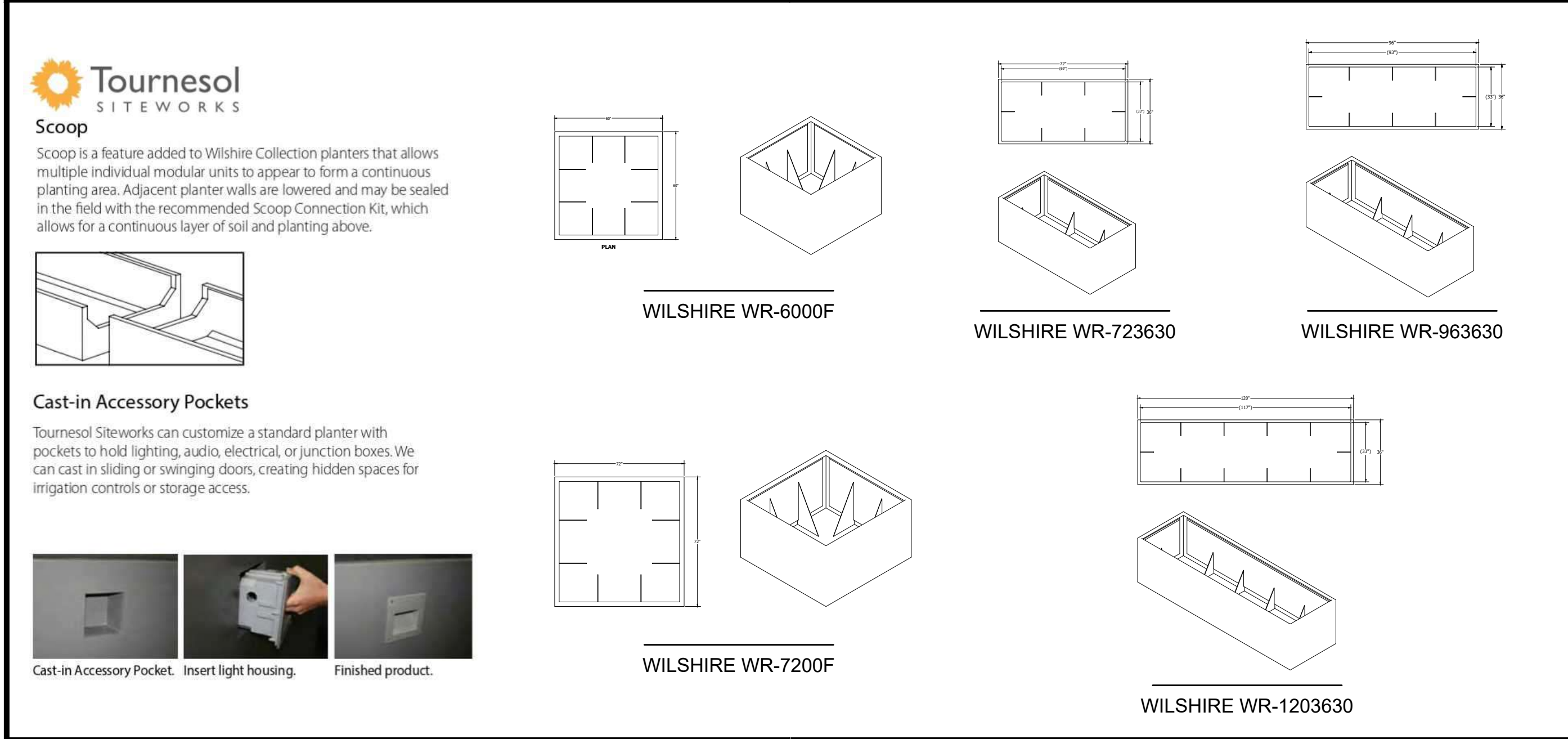


CONSTRUCTION
LAYOUT PLAN

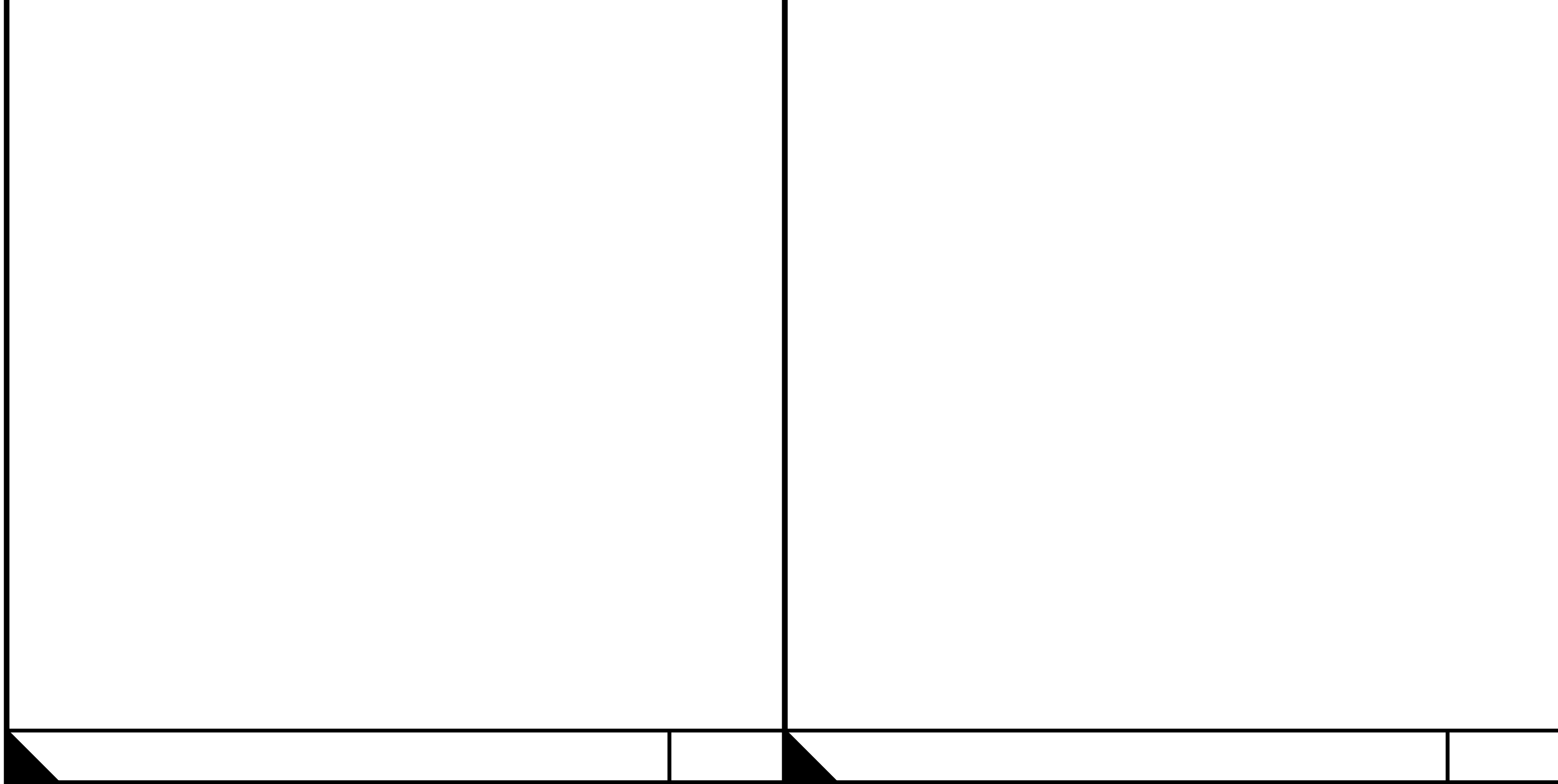
| | | | |
|-------|------------|---------|------|
| Date | 11-25-24 | Sheet | LC-1 |
| Scale | 1/8"=1'-0" | 2 of 10 | |
| Sheet | 2 of 10 | | |



TUBULAR STEEL FENCE F



TOURNESOL PLANTERS G



TUBULAR STEEL GATE E

SETTING THE STANDARD FOR CONCRETE COLORS

3700 E. Olympic Blvd. Los Angeles, Calif 90023-3123 Tel 800-356-4848 Tel 323-269-7311 Fax 323-269-1053

Solar Reflectance Index (SRI) values for colored concrete

An independent laboratory has measured the SRI values on samples of colored concrete made with Davis Colors (www.daviscolors.com). Colored concrete can contribute to LEED points, Sustainable Sites category 7.1 Heat Island Effect, Non-Roof for New Construction, Existing Buildings, School and Camp & Shell. These points can be earned by specifying materials with a Solar Reflective Index (SRI) of at least 29 when measured according to ASTM E903 or ASTM C1549.

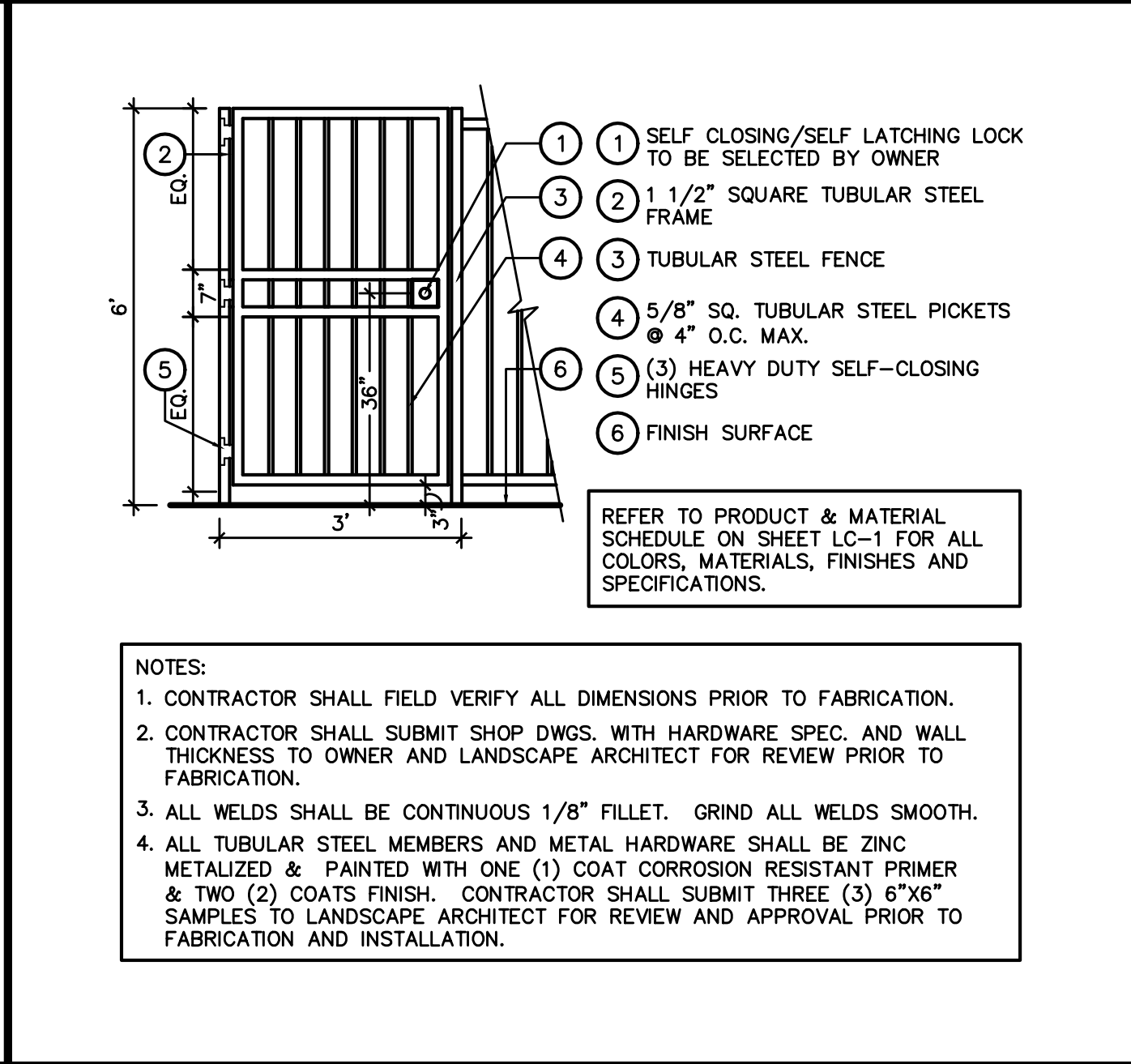
The actual SRI value of the concrete or structure made with Davis Colors can vary significantly from these values. The SRI value depends on the lightness or darkness of the surface as well as its reflectivity and light scattering properties. This can be influenced by the base color of concrete, differences in local materials and the method of finishing. If SRI value is critical, the actual value should be measured on a job site mock-up made with materials and methods consistent with the project specification.

Davis Colors®, Concrete Palette™, Hydrotint®, Mix-Ready®, W-1000 Clear Cure & Seal®, and Color Seal (TM), are brand trademarks of Huntsman Pigments Americas LLC ©2015 Reissued March 25, 2015.

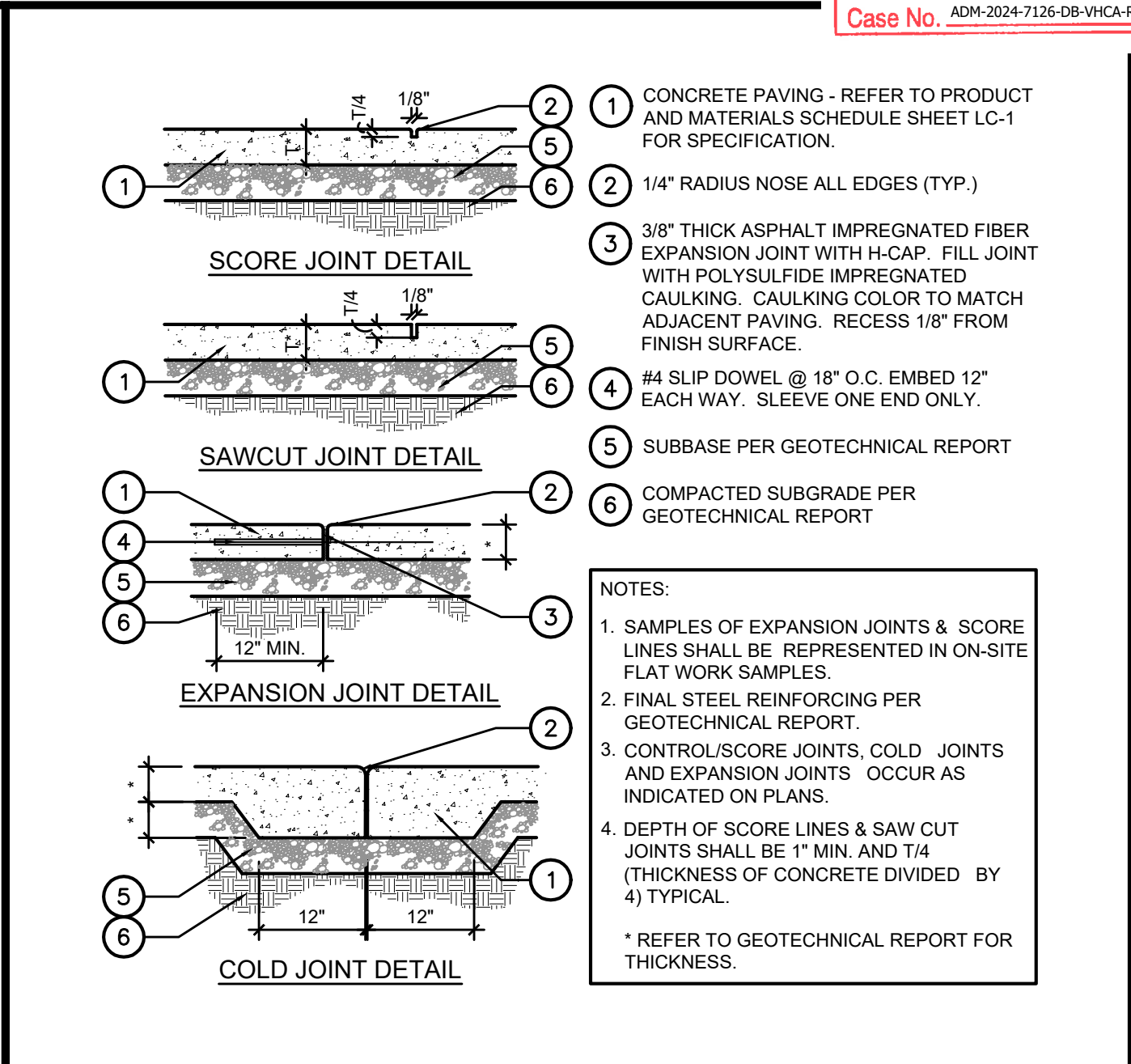
HUNTSMAN
Enriching life through innovation

| Color | Solar Refl. | SRI |
|--------------------|-------------|-----|
| Uncolored Concrete | 0.39 | 41 |
| Willow Green | 0.46 | 52 |
| Palomino | 0.44 | 47 |
| Sangria | 0.43 | 47 |
| Sunset Rose | 0.43 | 46 |
| Sageo Sand | 0.42 | 45 |
| Terra Cotta | 0.41 | 44 |
| Salmon | 0.42 | 44 |
| San Diego Buff | 0.41 | 44 |
| Mesa Buff | 0.41 | 43 |
| Sandstone | 0.41 | 43 |
| Southern Blush | 0.41 | 43 |
| Spanish Gold | 0.41 | 43 |
| Omaha Tan | 0.40 | 42 |
| Baja Red | 0.40 | 42 |
| Santa Fe | 0.39 | 41 |
| Tile Red | 0.39 | 41 |
| Brick Red | 0.38 | 40 |
| Pebble | 0.38 | 39 |
| Harvest Gold | 0.36 | 37 |
| Canyon | 0.36 | 37 |
| Mocha | 0.36 | 36 |
| Dune | 0.35 | 36 |
| Outback | 0.35 | 36 |
| Cocoa | 0.35 | 35 |
| Rustic Brown | 0.35 | 35 |
| Yosemite | 0.33 | 33 |
| Baysu | 0.33 | 32 |
| Mesquite | 0.32 | 32 |

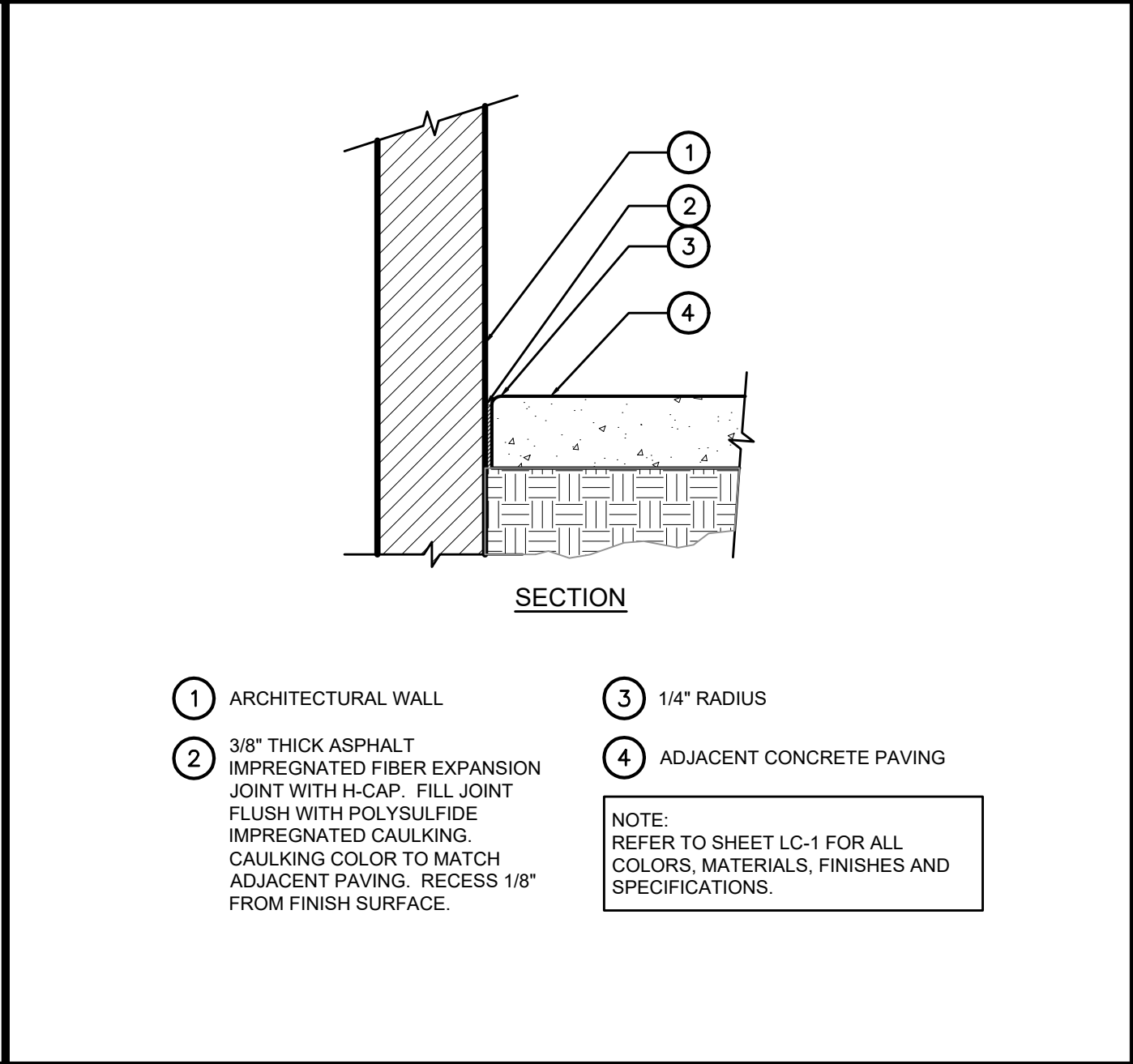
SOLAR REFLECTANCE INDEX D



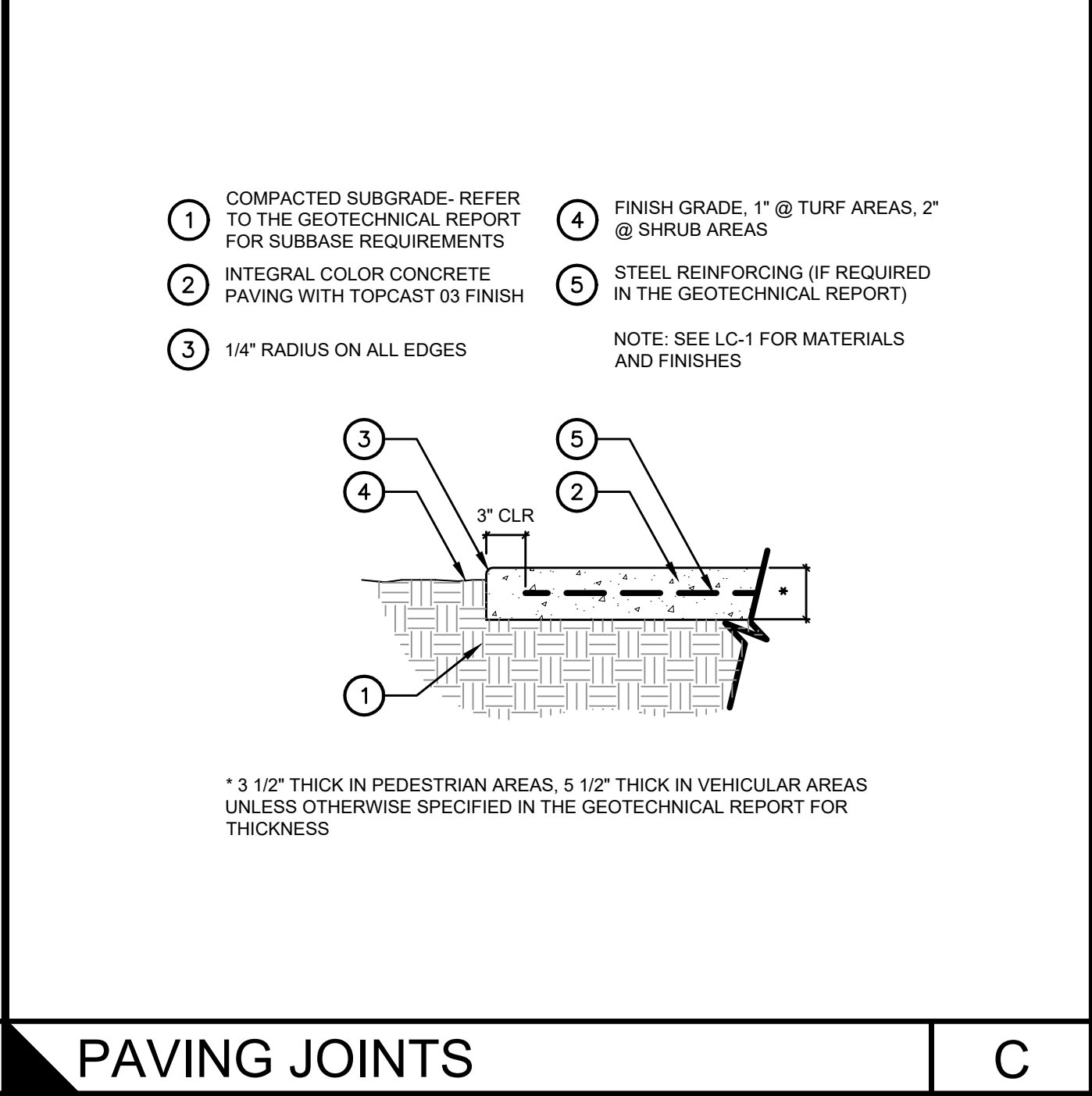
TUBULAR STEEL GATE E



PAVING JOINTS A



CONCRETE PAVING B



PAVING JOINTS C

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PHONE: 714-878-0335
EMAIL: michael@savagelanddesign.com

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| No. | Revision / Issue | Date |
|-----|------------------|------|
| | | |

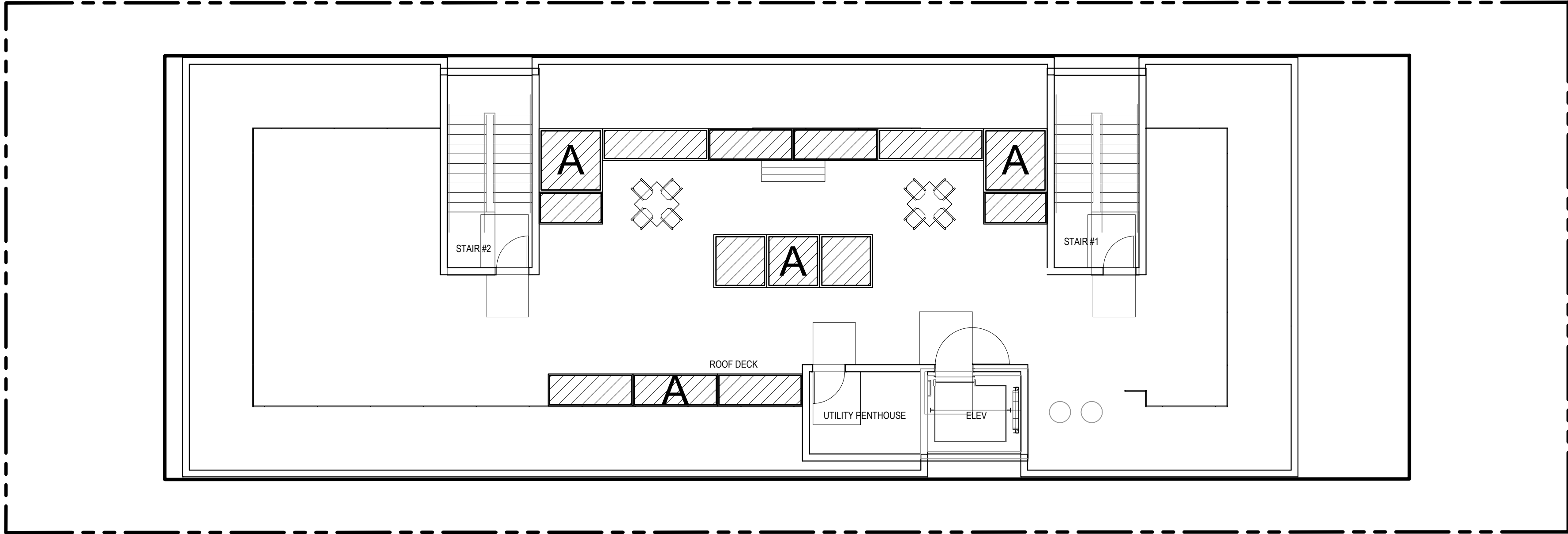
LICENSED LANDSCAPE ARCHITECT
Michael Covage, Lic. No. 4380
Signature
11-25-24
Exp. Date: 5/31/25
STATE OF CALIFORNIA

CONSTRUCTION DETAILS

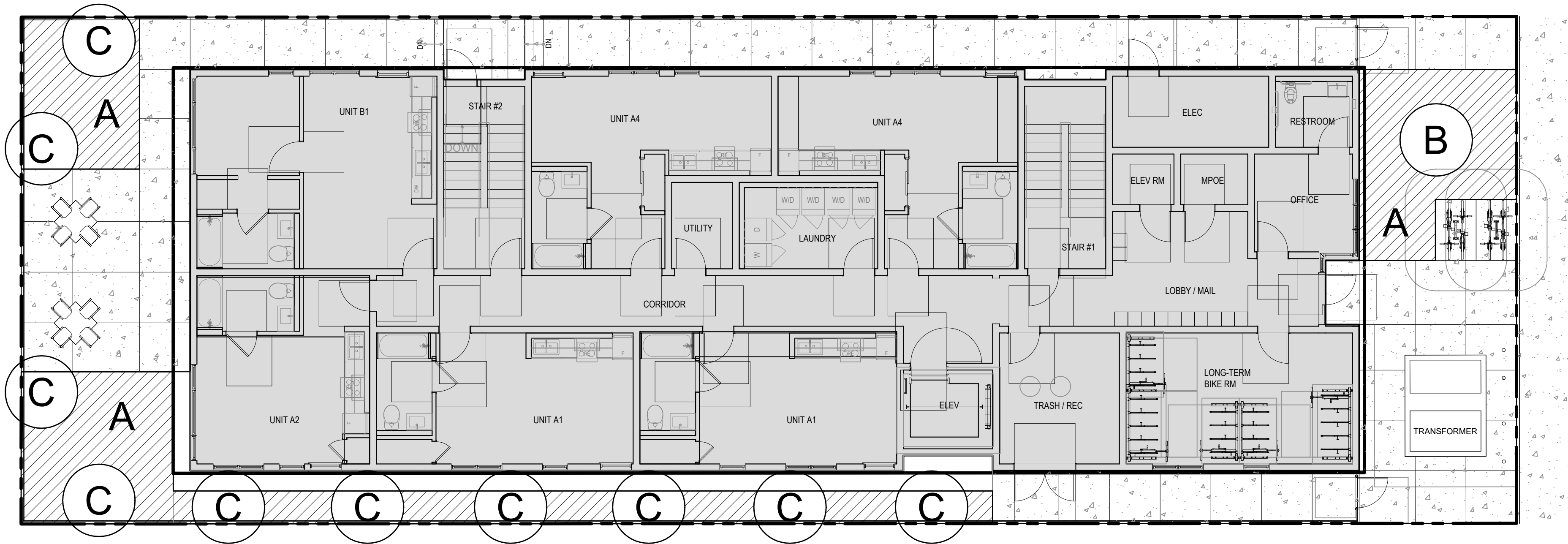
Date: 11-25-24
Scale:
Sheet: 3 of 10
LC-2

| HYDROZONE # / PLANTING DESCRIPTION | UNIT AREA (SF) | % OF TOTAL LANDSCAPE AREA | WATER USE CLASSIFICATION | HYDROZONE BASIS | EXPOSURE | HYDROZONE DESCRIPTION | IRRIGATION METHOD | IRRIGATION DEVICE MANUFACTURER | ZONE PRESSURE (PSI) | ZONE FLOW (GPM) | PRECIP. RATE | VALVE NUMBER | NUMBER AND TYPE OF OUTLET |
|------------------------------------|----------------|---------------------------|--------------------------|-----------------|--------------|-----------------------|-------------------|--------------------------------|---------------------|-----------------|--------------|--------------|---------------------------|
| A - IRRIGATED LANDSCAPE | 921.8 | 75.51% | L | PL | SUN/PART SUN | SHRUBS | D | HUNTER | 30 | 20.8 | 2.17 | A1, A4, B1 | 2041 LF DRIPLINE |
| B - TREES (LOW) | 40 | 3.28% | L | PL | SUN/PART SUN | TREES | B | HUNTER | 30 | 1 | 2.41 | A2 | 2 BUBBLERS |
| C - TREES (MOD) | 258.9 | 21.21% | M | PL | SUN/PART SUN | TREES | B | HUNTER | 30 | 10 | 3.72 | A3 | 20 BUBBLERS |
| TOTAL | 1220.7 | 100% | | | | | | | | | | | |

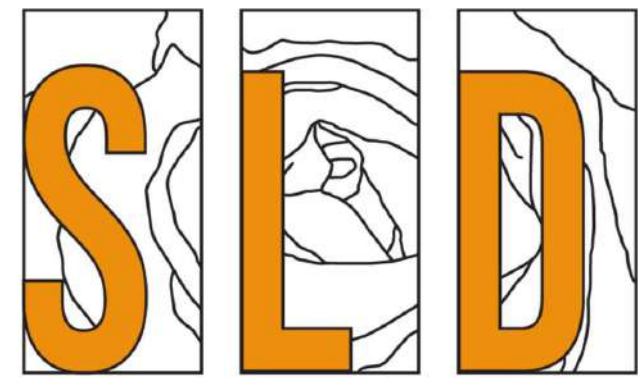
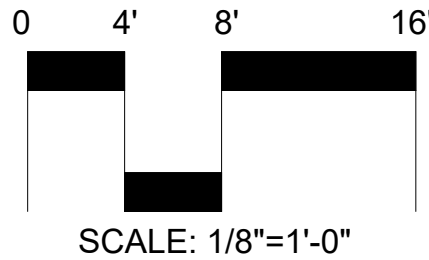
| WATER USE CLASSIFICATION | BASED ON WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (WUCOLS) PUBLISHED BY THE STATE OF CALIFORNIA DEPARTMENT OF WATER RESOURCES | HYDROZONE BASIS | IRRIGATION METHOD |
|--------------------------|--|-----------------|-------------------|
| T | TURF | PL | PLANT TYPE |
| H | HIGH | IR | IRRIGATION METHOD |
| M | MODERATE | SU | SUN EXPOSURE |
| L | LOW | SL | SLOPE |
| O | OTHER | O | OTHER |



ROOF FLOOR PLAN



FIRST FLOOR PLAN



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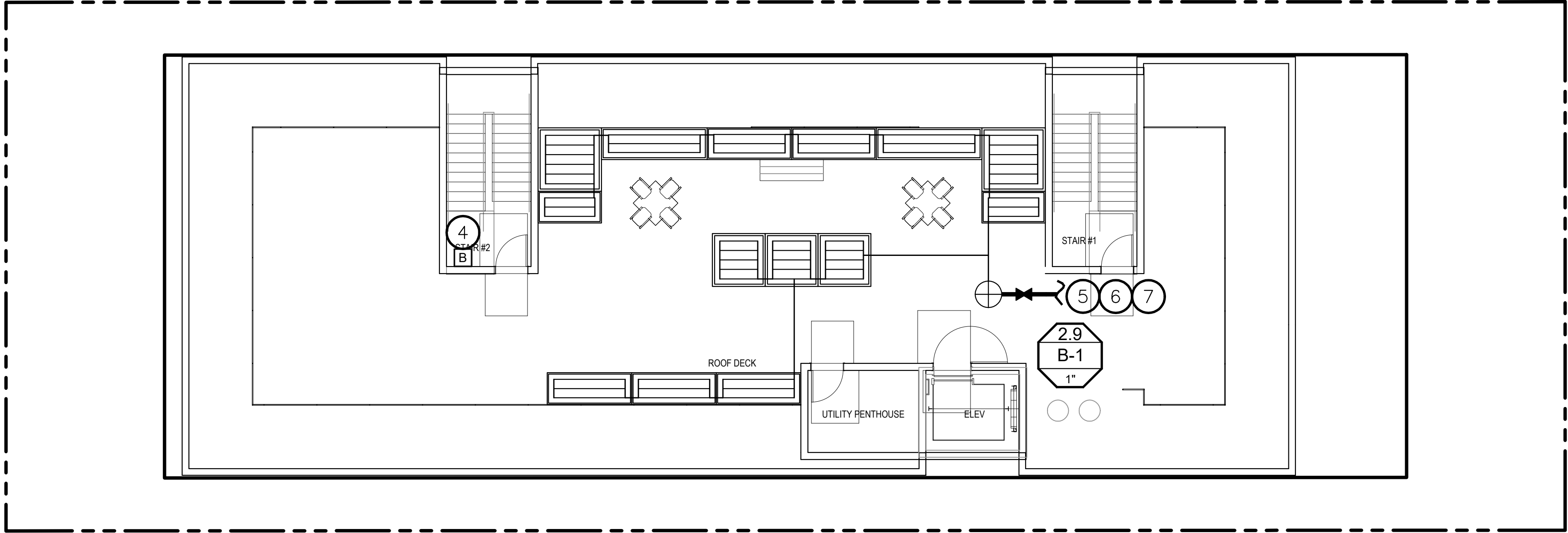
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1747 STONER AVE
LOS ANGELES, CA 90025

| | | |
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| No. | Revision / Issue | Date |
|-----|------------------|------|

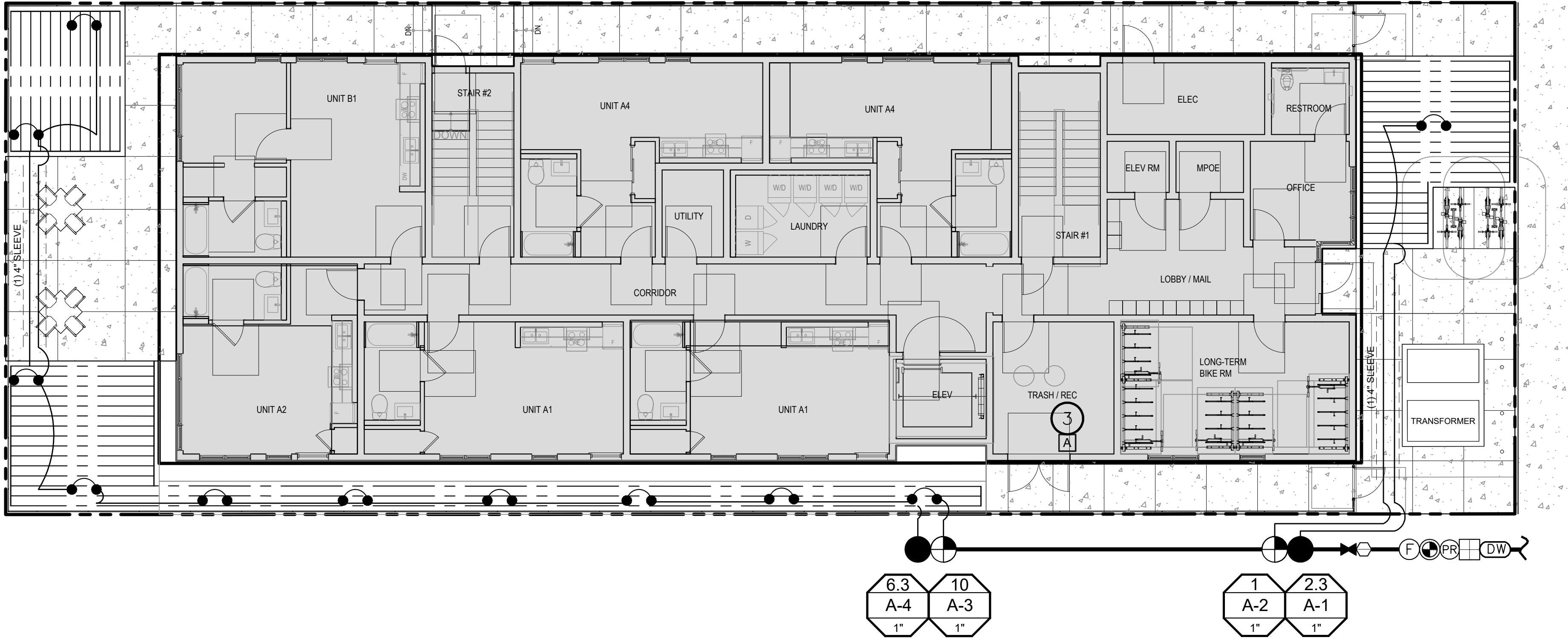


IRRIGATION
HYDROZONES

| | | |
|-------|------------|-------|
| Date | 11-25-24 | Sheet |
| Scale | 1/8"=1'-0" | LI-2 |
| Sheet | 5 of 10 | |



ROOF FLOOR PLAN



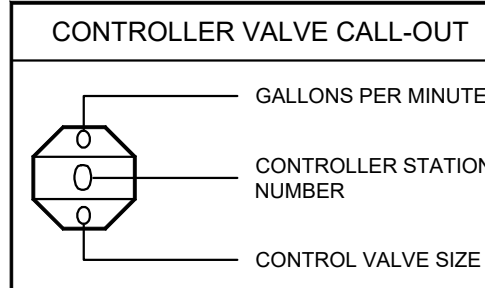
FIRST FLOOR PLAN

IRRIGATION LEGEND

| SYMBOL | MANUFACTURER | MODEL NUMBER | DESCRIPTION | RAD. | P.S.I. | G.P.M. |
|--------|--------------|------------------------|--|------|--------|--------|
| ● | RAINBIRD | 1806-SAM-PRS-PA80-1402 | POP-UP BUBBLER | 2' | 25 | .50 |
| --- | HUNTER | HDL-06-12-CV | ON SURFACE DRIPLINE - INLET PRESSURE 30 PSI | | | |
| --- | HUNTER | ECO-MAT-17 | BELOW GRADE DRIPLINE - INLET PRESSURE 30 PSI | | | |
| --- | APPROVED | PVC SCH 40 | IRRIGATION SLEEVE (SEE NOTES FOR SIZE) | | | |
| --- | APPROVED | PVD CLASS 200 | LATERAL LINE PIPE | | | |
| --- | APPROVED | PVC SCH 40 | MAIN LINE PIPE (1") | | | |
| ⊕ | HUNTER | PGV-101-ASV | 1" ANTI-SIPHON VALVE W/ FLOW CONTROL | | | |
| ⊕ | HUNTER | ACZ-101-40 | 1" ACZ GLOBE VALVE W/ 1" H1100 FILTER SYSTEM | | | |
| ⊕ | HUNTER | PCZ-101-40 | 1" PCZ VALVE W/ 1" H1100 FILTER SYSTEM | | | |
| ⊕ | HUNTER | PGV-101G | 1" GLOBE VALVE W/ FLOW CONTROL | | | |
| ⊕ | HUNTER | CONTROLLER ASSEMBLY | REFER TO IRRIGATION NOTES FOR INFORMATION | | | |
| ⊕ | HUNTER | CONTROLLER ASSEMBLY | REFER TO IRRIGATION NOTES FOR INFORMATION | | | |
| ⊕ | NIBCO | T-113-K | ISOLATION GATE VALVE (LINE SIZE) | | | |
| ⊕ | | FLUSH VALVE ASSEMBLY | SEE DETAIL C, SHEET LI-4 | | | |
| ⊕ | NEW | 3/4" DOMESTIC | WATER METER FOR LANDSCAPE USE ONLY | | | |
| ⊕ | FEBCO | 825YA | 3/4" REDUCED PRESSURE BACKFLOW ASSEMBLY IN LOCKING ENCLOSURE | | | |
| ⊕ | RAINBIRD | 100-PEB | 1" MASTER VALVE | | | |
| ⊕ | RAINBIRD | FS100P | FLOW SENSOR | | | |
| ⊕ | NELSON | 7642 | QUICK COUPLER VALVE (LINE SIZE) | | | |
| ⊕ | ZURN WILKINS | 1-70XL | 1" WATER PRESSURE REDUCING VALVE (FNPT) - 45 PSI | | | |

IRRIGATION NOTES

- DESIGN PRESSURE: 30 PSI
ACTUAL STATIC PRESSURE: 103 / 77 PSI
- CONTRACTOR SHALL PROVIDE BALL VALVE BETWEEN POINT OF CONNECTION AND CONTROL VALVE MANIFOLD. PRESSURIZED MAINLINE FROM POINT OF CONNECTION TO CONTROL VALVE SHALL BE PVC SCHEDULE 80.
- CONTRACTOR SHALL PROVIDE (1) HUNTER PRO-C P2C-400 4 STATION OUTDOOR CONTROLLER WITH (1) PCM-900 EXPANSION MODULE, (1) WSS-SEN WIRELESS SOLAR SYNC SENSOR AND (1) FLOW-CLIK FCT-100 SENSOR. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- CONTRACTOR SHALL PROVIDE (1) HUNTER PC-400 STATION OUTDOOR CONTROLLER. CONTRACTOR SHALL PROVIDE (1) WSS-SEN WIRELESS SOLAR SYNC SENSOR. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- CONTRACTOR SHALL PROVIDE 3/4" COPPER MAIN LINE WITH BALL VALVE.
- ALL LATERAL LINES SHALL BE 3/4" COPPER FOR ROOF TOP LANDSCAPE.
- CONTRACTOR SHALL PROVIDE DRAIN CONNECTIONS FROM PLANTERS TO ROOF DRAIN SYSTEM.



CONSTRUCTION NOTES

- THIS PROJECT WILL COMPLY WITH: 2007 CBC, CPC, AND 2007 CEC AND 2008 TITLE 24 ENERGY REGULATIONS AND ALL CITY ORDINANCES.
- THE HOUSE STREET NUMBER WILL BE VISIBLE FROM THE STREET.
- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BY-PRODUCTS, SOIL PARTICULATES, CONSTRUCTION WASTE MATERIALS, OR WASTE WATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED CONVEYED OR DISCHARGED INTO THE STREET, GUTTER, OR STORM DRAIN SYSTEMS.

SILD
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1747 STONER AVE
1747 STONER AVE
LOS ANGELES, CA 90025

No. Revision / Issue Date

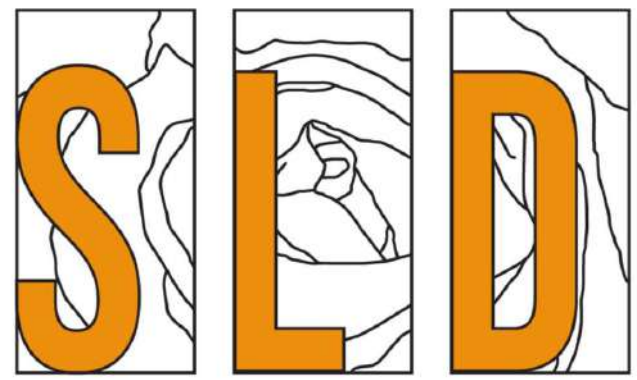


IRRIGATION
LAYOUT PLAN

Date 11-25-24
Scale 1/8"=1'-0"
Sheet 6 of 10
LI-3



0 4' 8' 16'
SCALE: 1/8"=1'-0"



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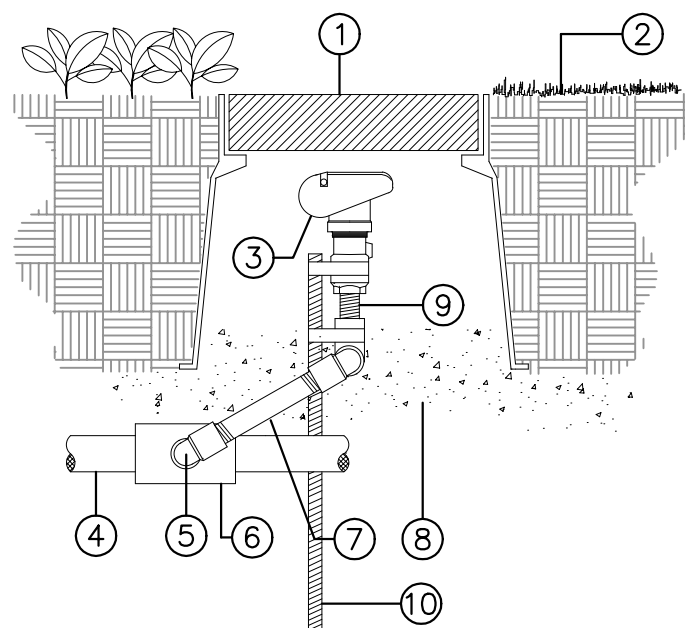
IRRIGATION DETAILS

Date 11-25-24

Scale

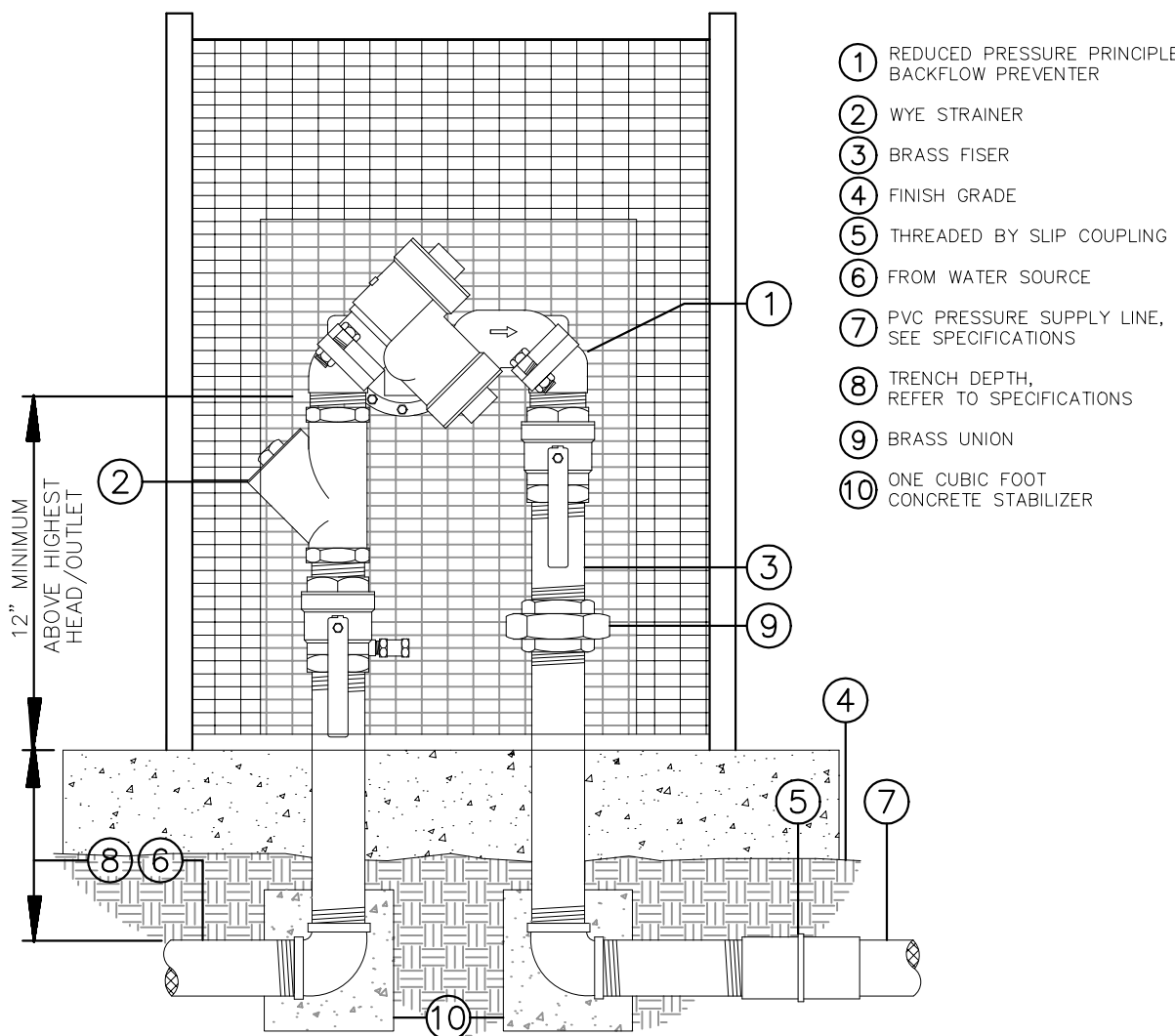
Sheet 7 of 10

LI-4

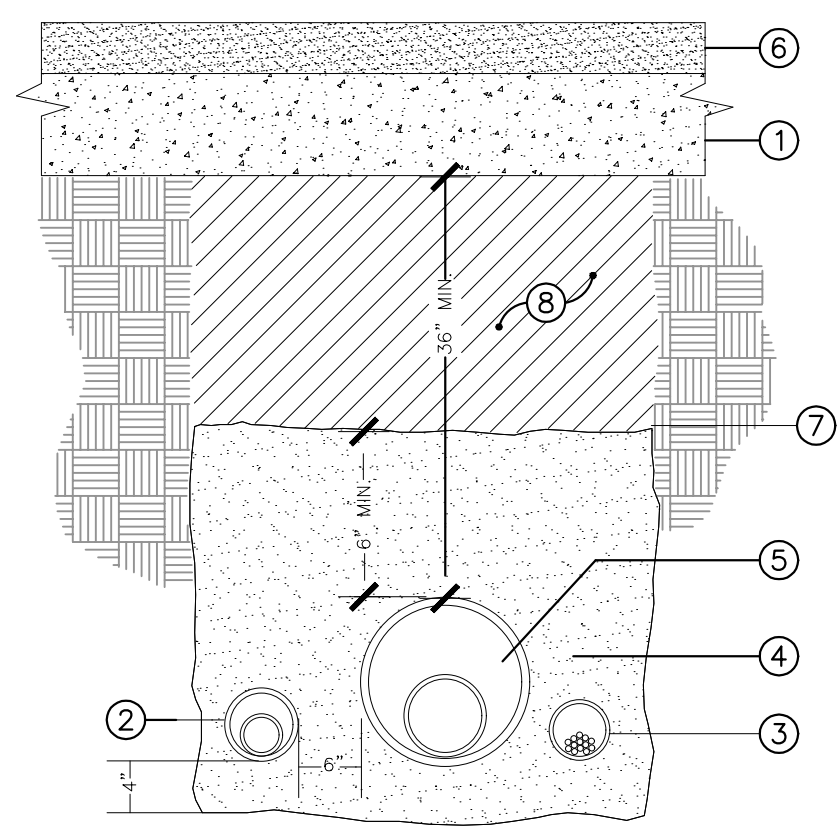
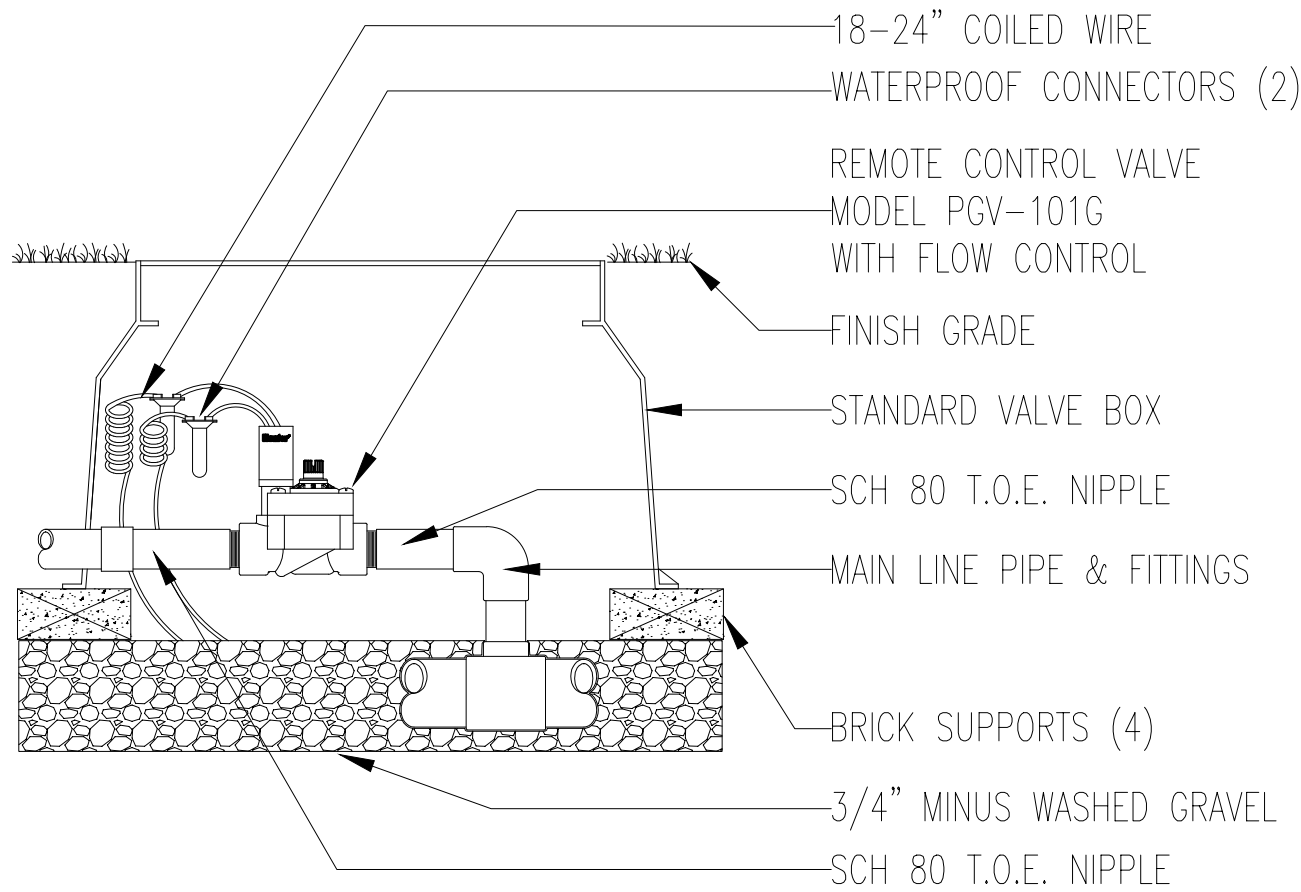


- 10" ROUND VALVE BOX WITH LOCKING BOLT LID
- FINISH GRADE
- QUICK COUPLING VALVE
- PRESSURE SUPPLY LINE
- PVC STREET ELL (2 REQUIRED)
- PVC ELL
- 12" LONG PVC SCH. 80 THREADED NIPPLE
- ONE (1) CU. FT. 3/4" CRUSHED ROCK SUMP
- PVC SCH. 80 THREADED CLOSE NIPPLE
- 3/4" #4 REBAR STAKE WITH (2) SPRINKLER TIES OR STAINLESS STEEL HOSE CLAMPS

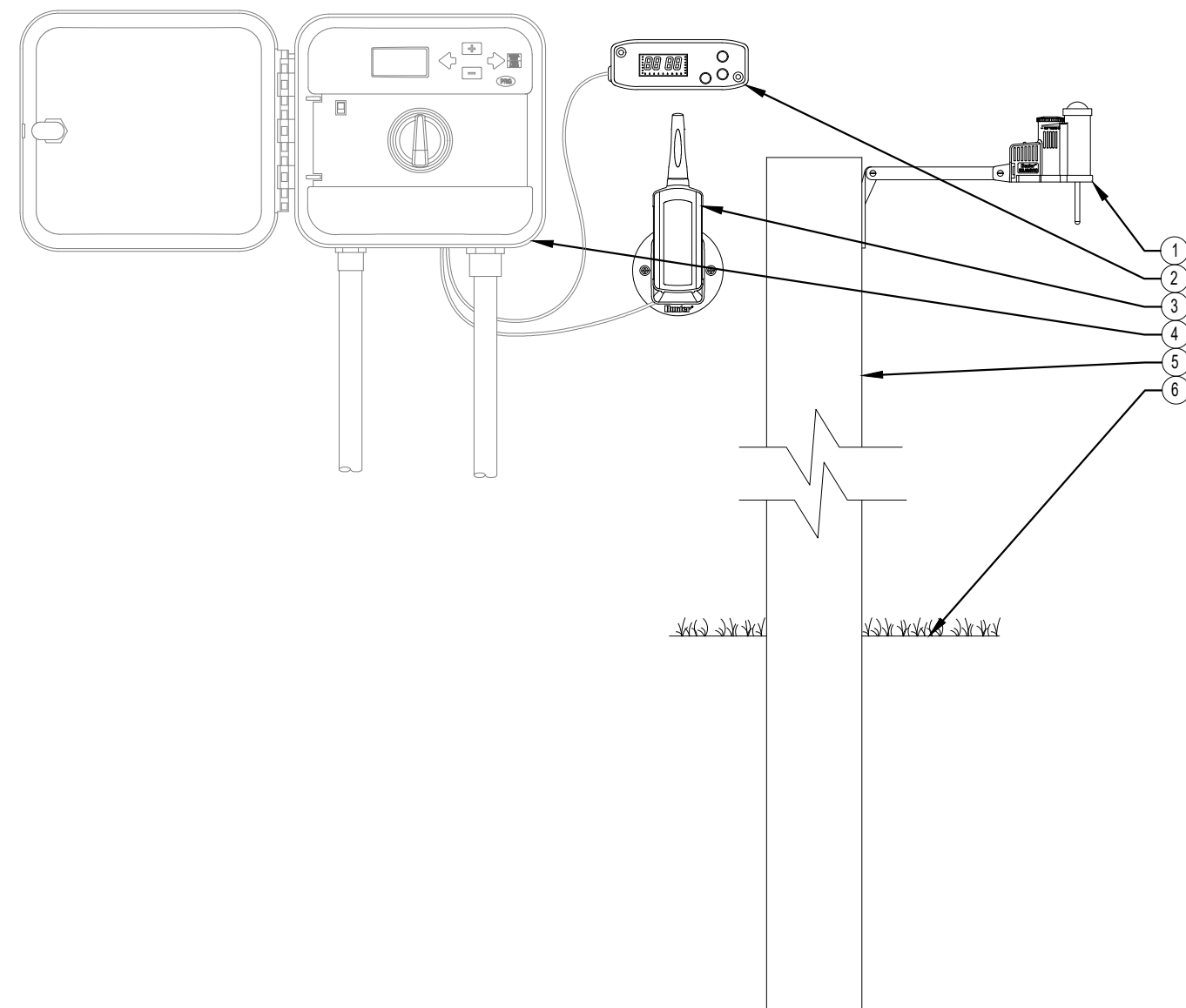
NOTE: INSTALL 12" FROM HARDSCAPE.



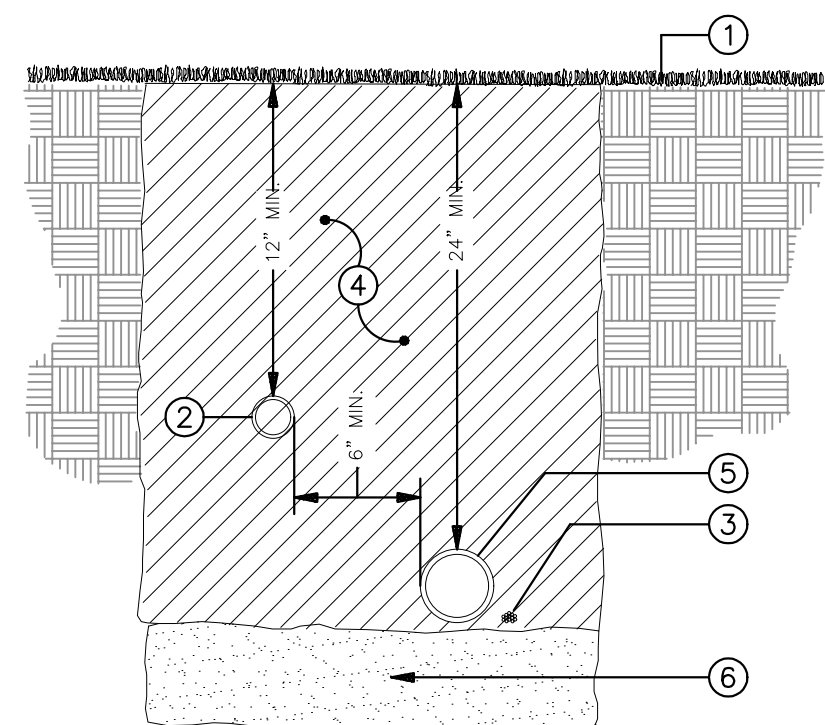
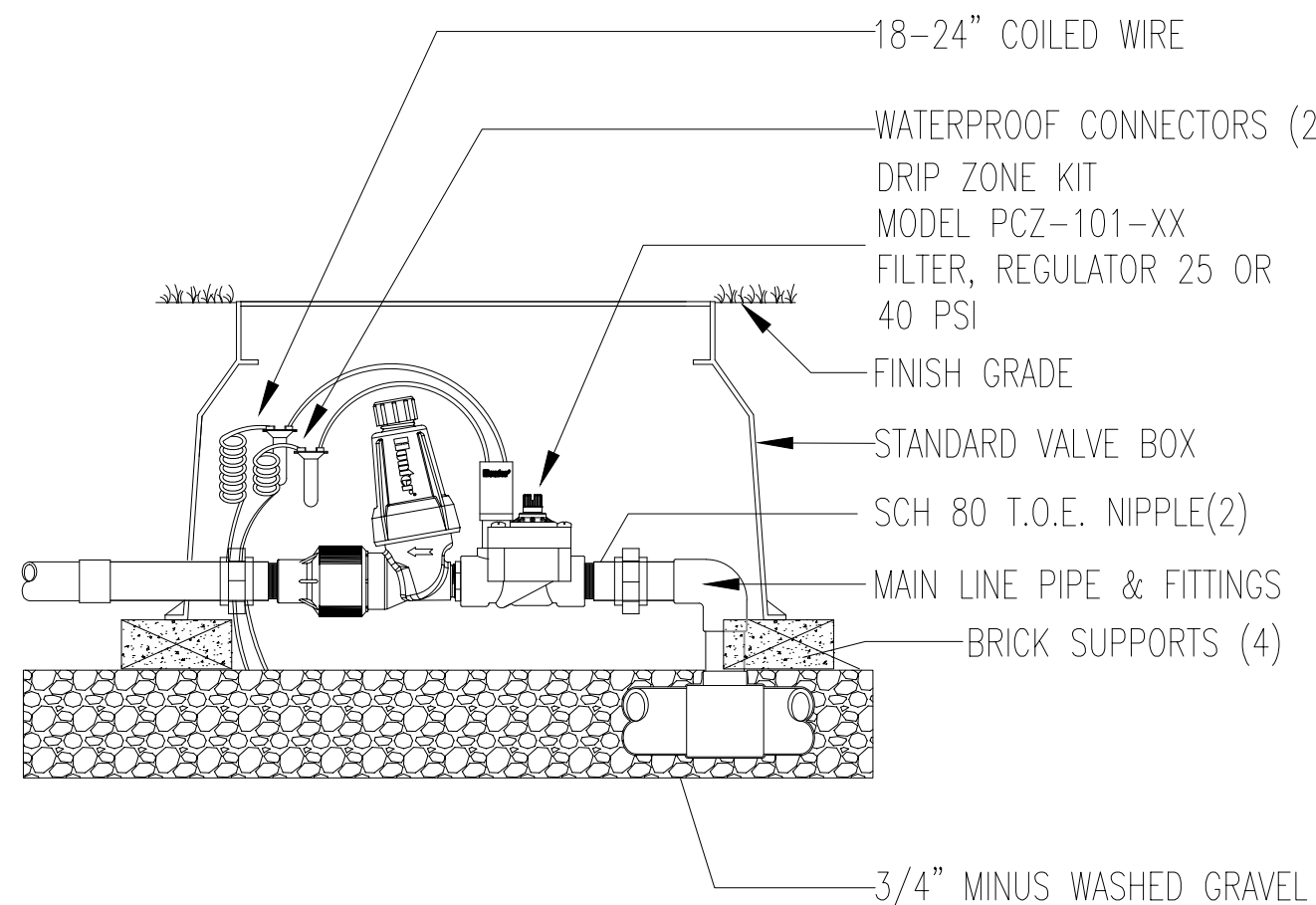
NOTE: CONTRACTOR SHALL PROVIDE LOCKING ENCLOSURE AND CONCRETE PAD. COLOR SHALL BE DARK GREEN



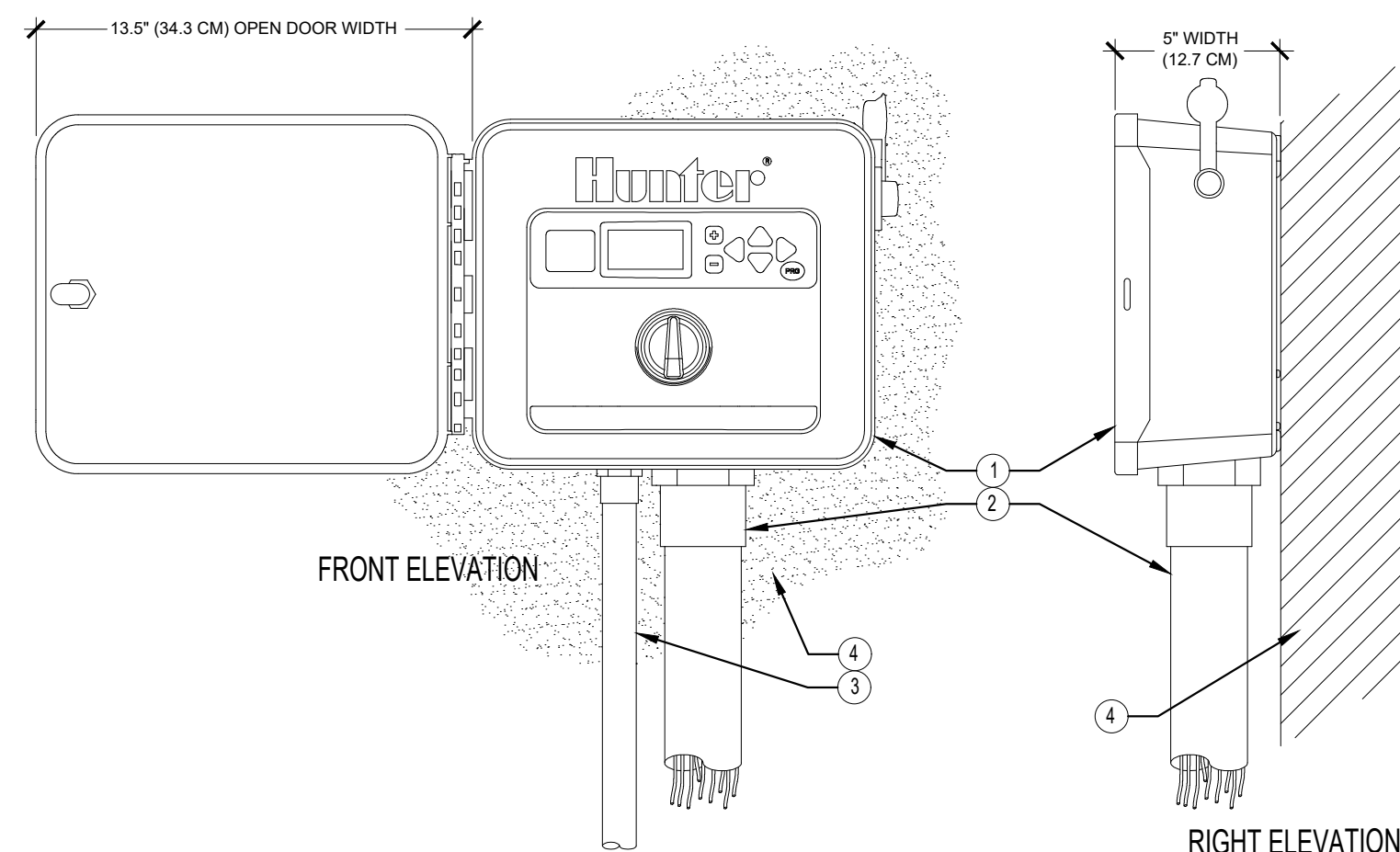
- SUBGRADE
- LATERAL LINE (IN SLEEVE)
- CONTROL WIRES (IN CONDUIT)
- CLEAN GRANITE SAND
- PRESSURE SUPPLY LINE (IN SLEEVE)
- FINISH SURFACE
- SOIL SEPARATOR
- 90% CLEAN BACK-FILL



- LEGEND:
- SOLAR SYNC WIRELESS SENSOR
 - SOLAR SYNC MODULE
 - SOLAR SYNC WIRELESS RECEIVER
 - SOLAR SYNC COMPATIBLE CONTROLLER
 - POST OR SUITABLE MOUNTING SURFACE
 - FINISHED GRADE

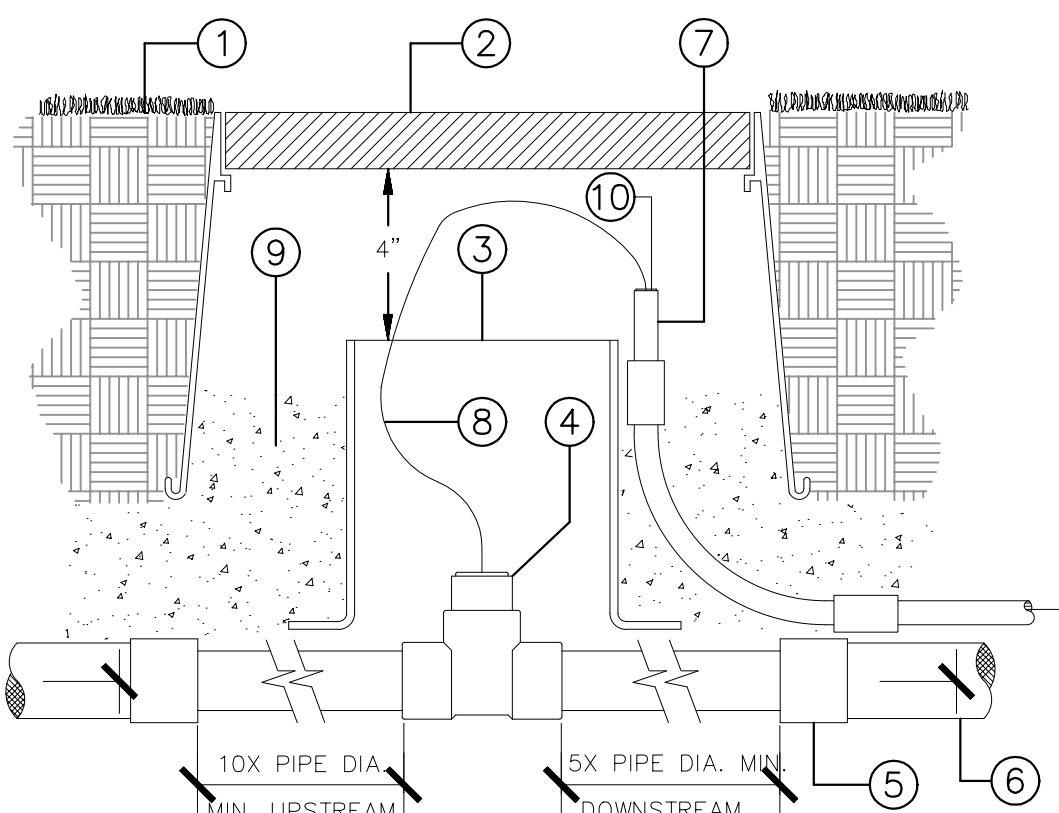


- FINISH GRADE
 - LATERAL LINE
 - CONTROL WIRES
 - CLEAN BACKFILL (REFER TO SPECIFICATIONS)
 - PRESSURE SUPPLY LINE
 - SAND BEDDING (REFER TO SPECIFICATIONS)
- INSTALL ALL CONTROL WIRE ON THE UNDERSIDE OF THE PRESSURE SUPPLY LINE

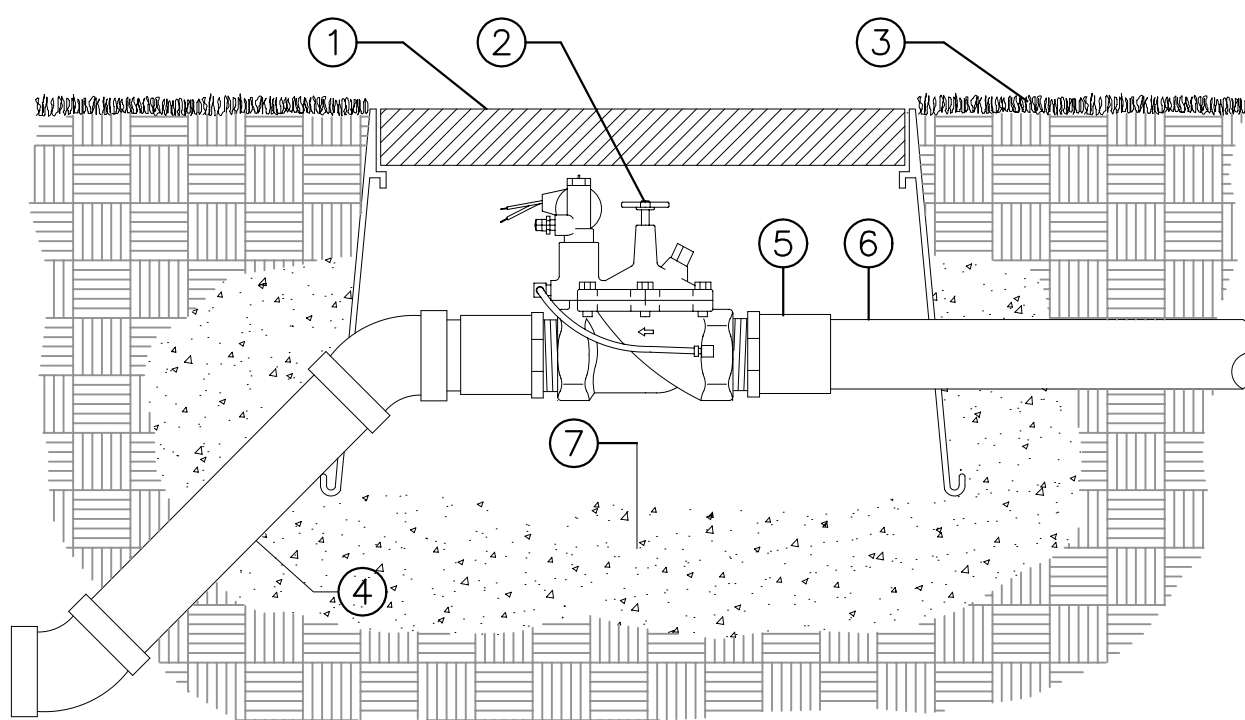


- LEGEND:
- IRRIGATION CONTROLLER (1 CORE) PER PLAN
 - IRRIGATION CONTROL WIRE IN CONDUIT SIZE AND TYPE PER LOCAL CODES
 - ELECTRICAL SUPPLY CONDUIT CONNECT TO POWER SOURCE, J-BOX INSIDE CONTROLLER
 - ADJACENT SURFACE TO MOUNT CONTROLLER PER PLAN

NOTE: MOUNT CONTROLLER LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUND 110 VAC POWER SOURCE



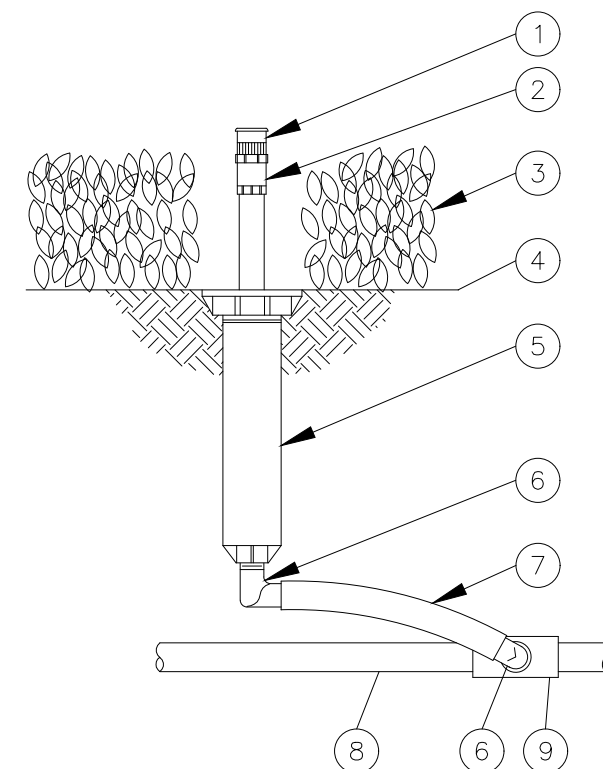
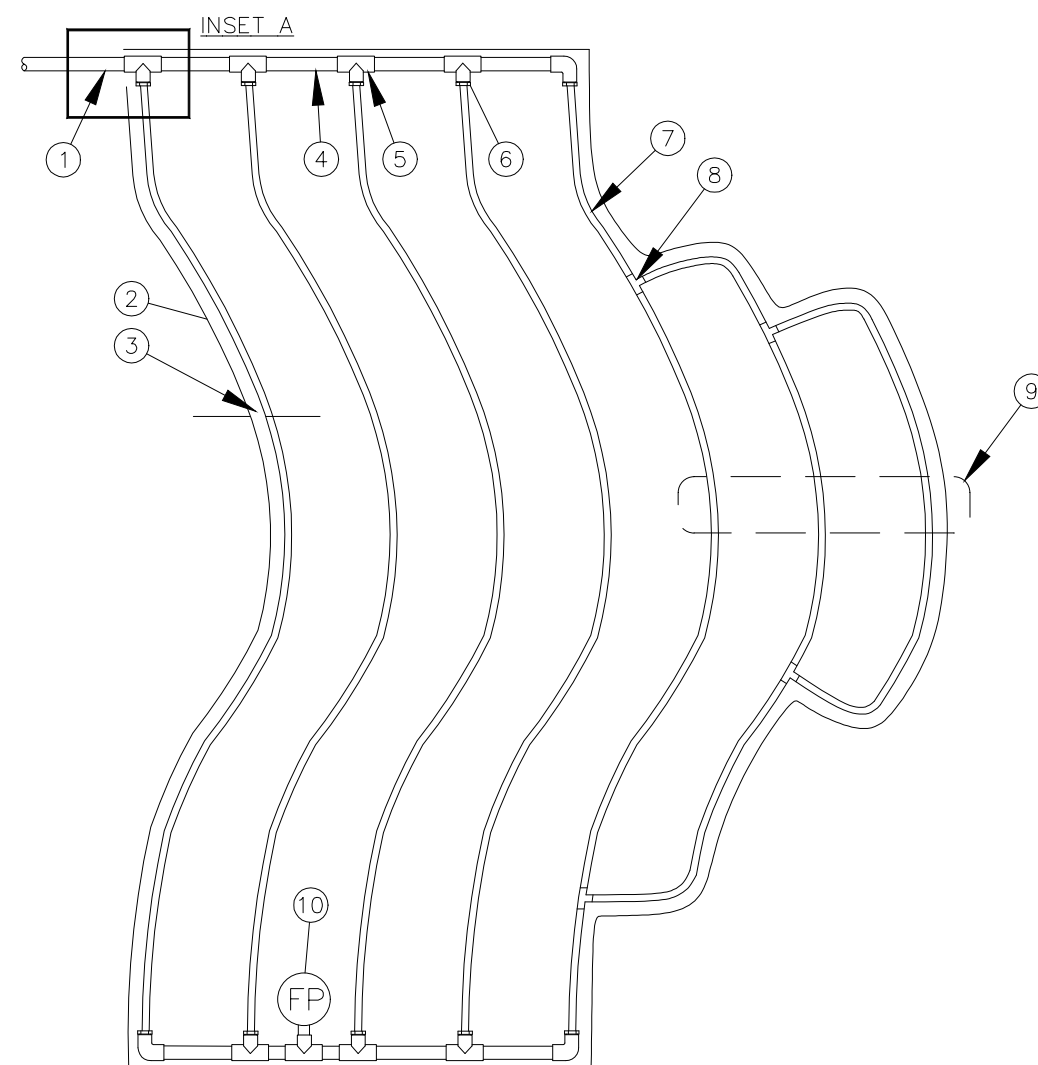
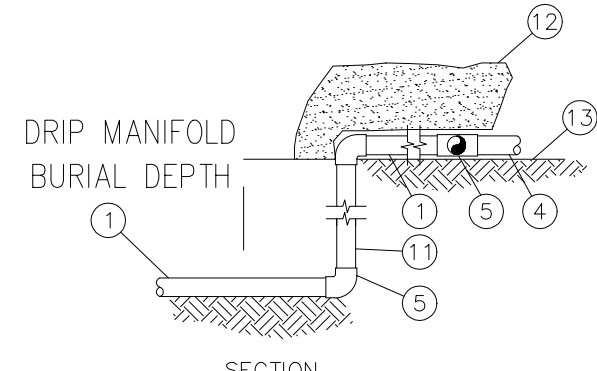
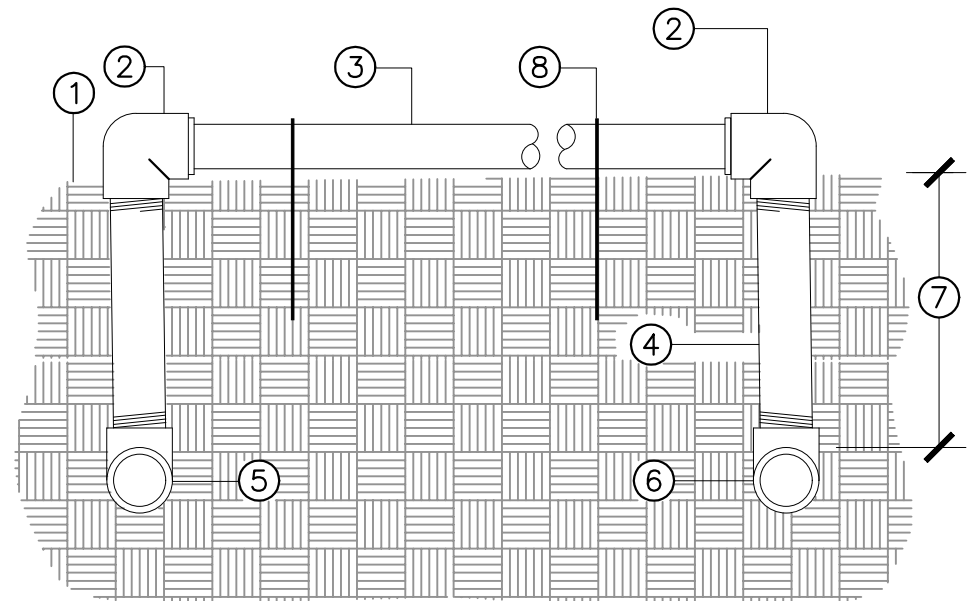
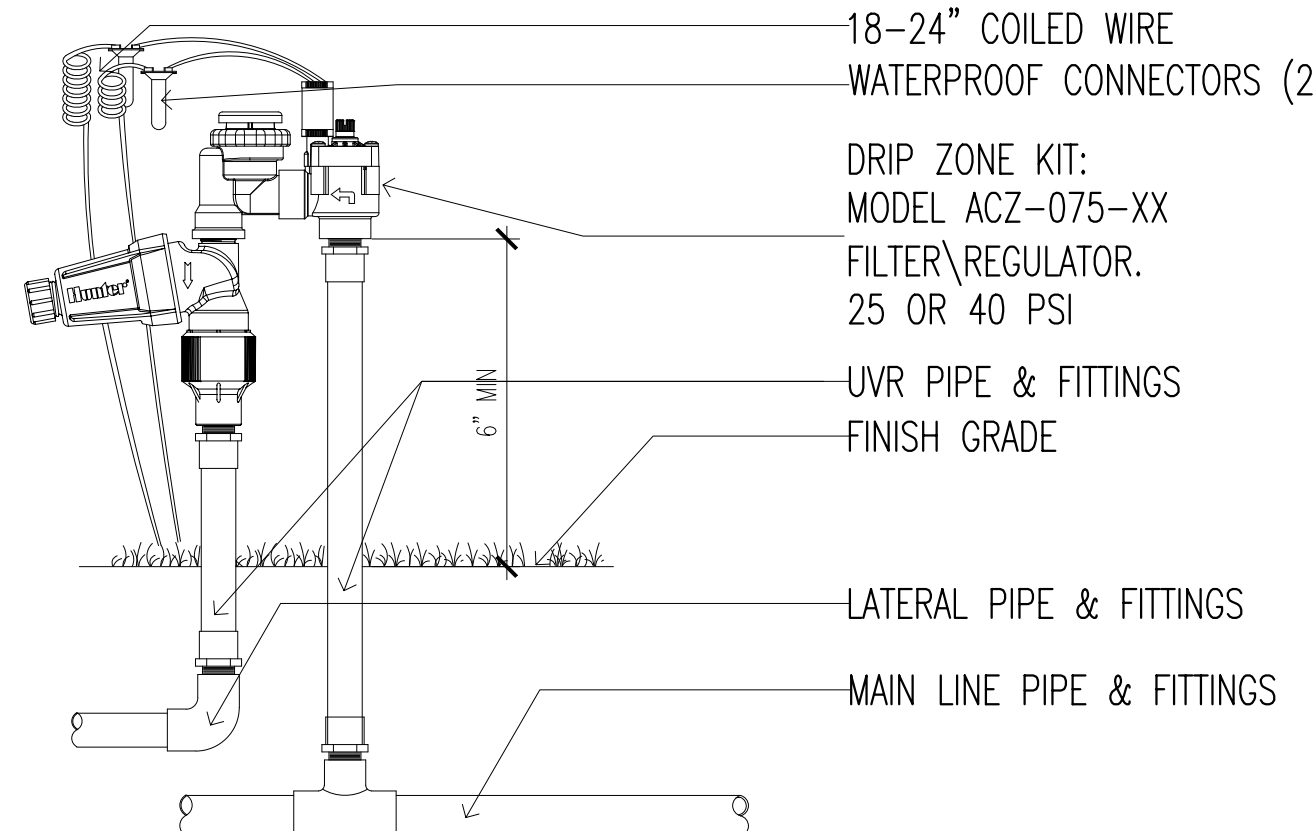
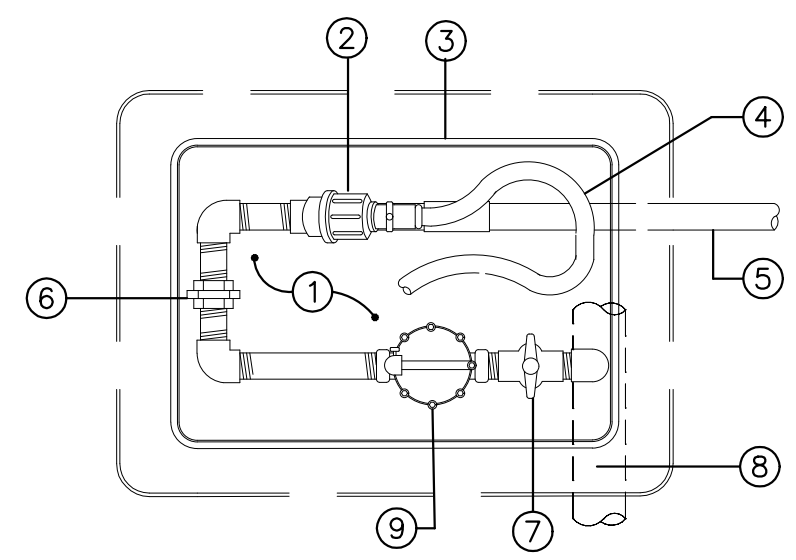
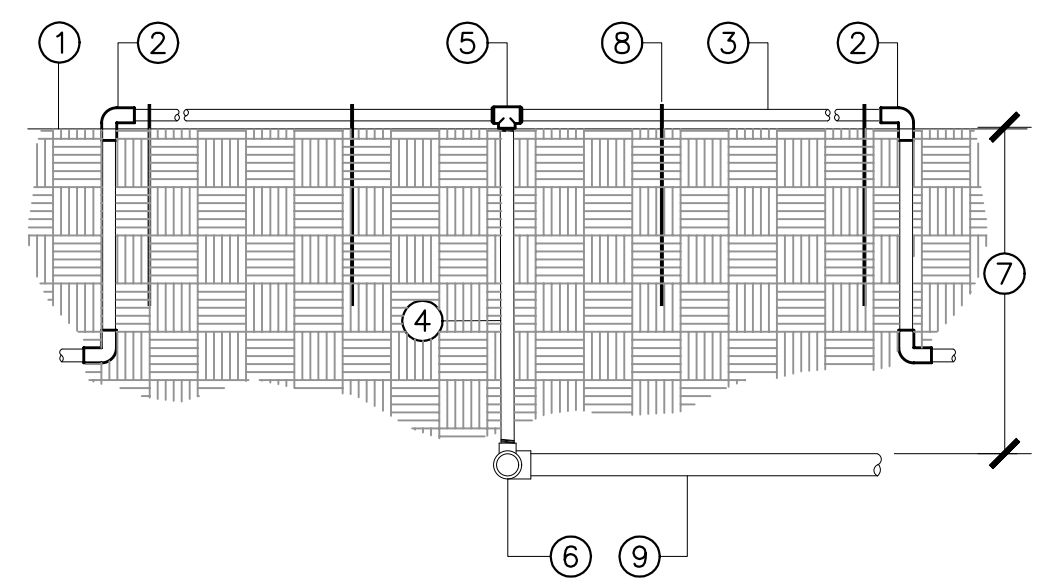
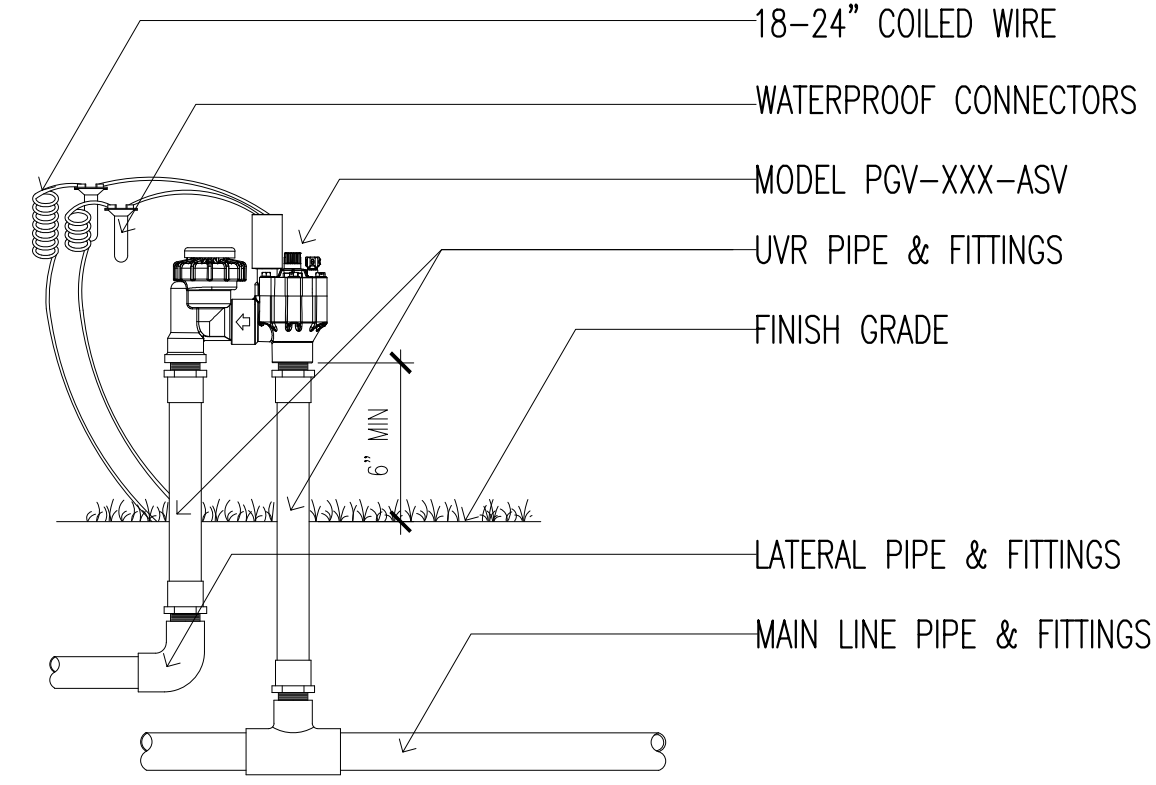
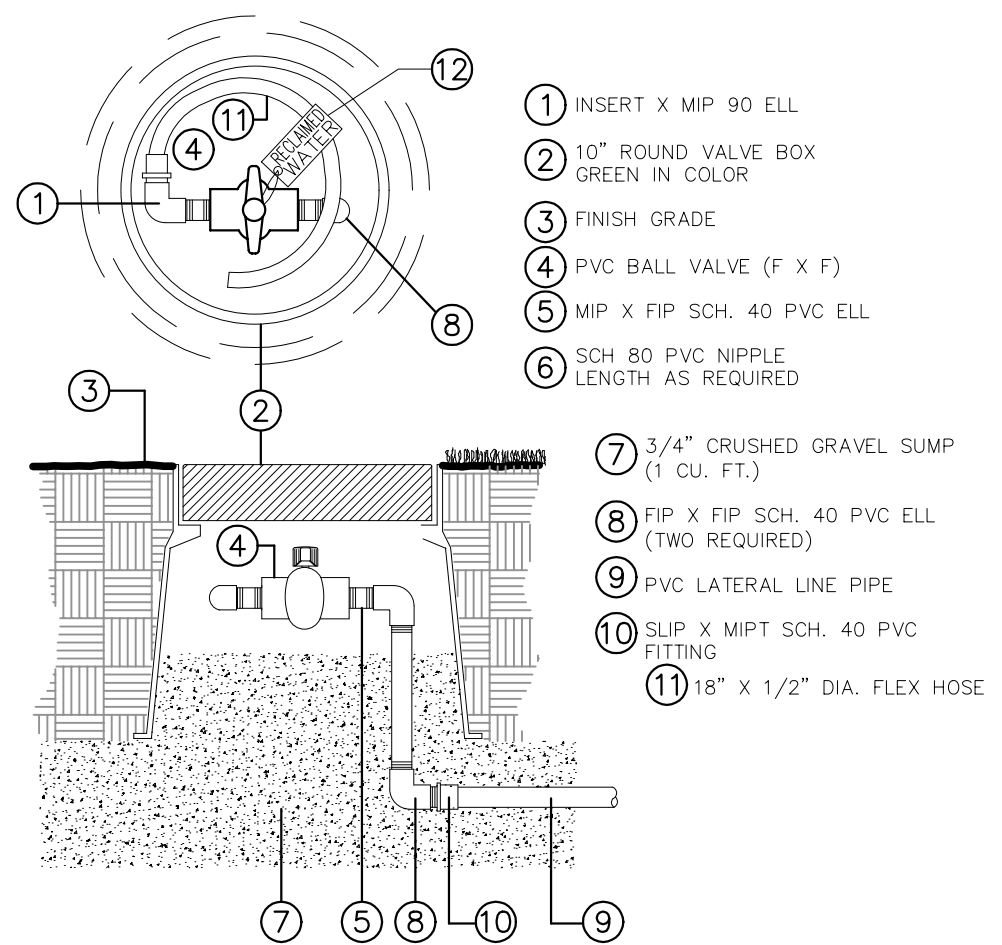
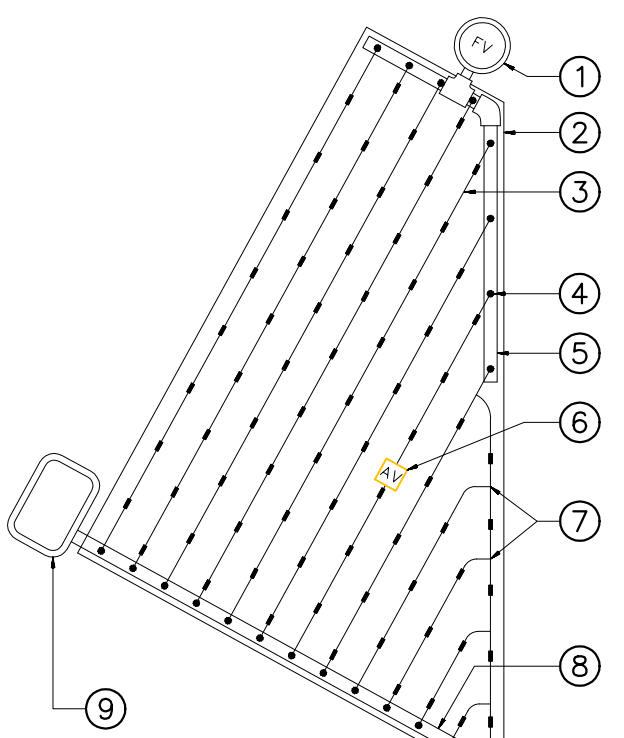
- FINISH GRADE
- RECTANGULAR VALVE BOX
- 8" DIA. CL 160 PVC SLEEVE BOTTOM TO BE FLARED AND CONTACT TOP OF PRESSURE SUPPLY LINE
- FLOW SENSOR, REFER TO PLANS FOR MODEL NUMBER AND SIZE
- PVC REDUCING COUPLER (2 REQUIRED)
- PVC PRESSURE SUPPLY LINE
- 3/4" ELECTRICAL CONDUIT
- BELDEN #9889 CABLE FROM SENSOR LEADS TO DATA DECODER, REFER TO PLANS FOR LOCATION
- 3/4" GRAVEL SUMP 1 CU. FT.
- CONDUIT BUSHING

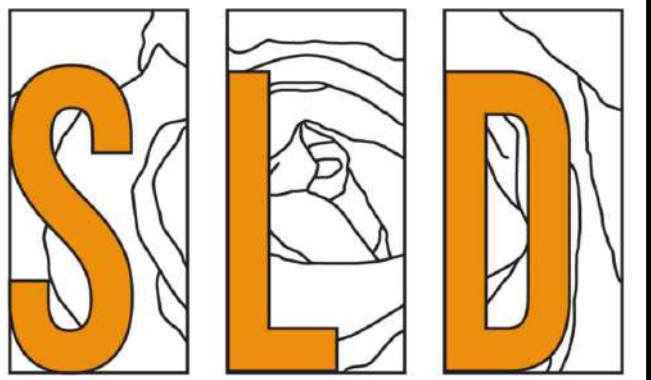


- RECTANGULAR PLASTIC VALVE BOX GREEN IN COLOR WITH PURPLE RECYCLED LABEL ON LID
- ELECTRIC REMOTE CONTROL VALVE
- FINISH GRADE
- PRESSURE SUPPLY LINE
- PVC MALE ADAPTOR (2 REQUIRED)
- PVC PRESSURE SUPPLY LINE FROM BASKET STRAINER
- 3/4" CRUSHED ROCK SUMP (ONE CUBIC FOOT)

NOTE: VALVE SHALL HAVE A MINIMUM OF 4" CLEARANCE FROM THE BOTTOM OF THE VALVE BOX LID, AND 2" MINIMUM CLEARANCE FROM THE BOTTOM OF VALVE AND TOP OF GRAVEL SUMP.

NOTE: ALL PIPE AND FITTINGS USED WITH RECYCLED WATER SHALL BE PURPLE IN COLOR.

| | | | | | | | |
|--|---|--|---------------------|--|-----------------------------|-----------------------------|---|
|  <div><p>1 PRESSURE COMPENSATING FULL-CIRCLE BUBBLER: RAIN BIRD 1400</p><p>2 PLASTIC ADAPTER: RAIN BIRD MODEL PA-80</p><p>3 PLANT MATERIAL</p><p>4 FINISH GRADE/TOP OF MULCH</p><p>5 POP-UP SPRAY SPRINKLER: RAIN BIRD 1804</p><p>6 1/2-INCH MALE NPT x .490-INCH BARB ELBOW: RAIN BIRD MODEL SBE-050</p><p>7 SWING PIPE, 12-INCH LENGTH: RAIN BIRD MODEL SP-100</p><p>8 PVC LATERAL PIPE</p><p>9 PVC SCH 40 TEE OR ELL</p></div> | |  <div><p>1 PVC SUPPLY PIPE FROM CONTROL VALVE (SIZE PER PLAN)</p><p>2 PERIMETER IF IRRIGATED AREA.</p><p>3 PERIMETER DRIPLINE PIPE TO BE INSTALLED 2"-4" FROM PERIMETER OF AREA</p><p>4 PVC SUPPLY MANIFOLD</p><p>5 PVC SCH 40 TEE OR EL (TYPICAL)</p><p>6 BARB X MALE FITTING</p><p>7 ON-SURFACE DRIPLINE:</p><p>8 BARB X BARB INSERT TEE:</p><p>9 TOTAL LENGTH OF SELECTED DRIPLINE SHOULD NOT EXCEED LENGTH SHOWN IN TABLE</p><p>10 FLUSH VALVE LOCATION</p><p>11 PVC RISER PIPE</p><p>12 2"-3" DEPTH OF MULCH</p><p>13 FINISH GRADE</p></div> <p>NOTES:</p> <p>1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE INSTALLATION SPECIFICATIONS ON RAIN BIRD WEB SITE (WWW.RAINBIRD.COM) FOR SUGGESTED SPACING.</p> <p>2. LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE ACCOMPANYING TABLE.</p> <p>3. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.</p> <p>4. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.</p> <p>5. WHEN USING 17MM INSERT FITTINGS WITH DESIGN PRESSURE OVER 50PSI, IT IS RECOMMENDED THAT STAINLESS STEEL CLAMPS BE INSTALLED ON EACH FITTING.</p>  <p>DRIP MANIFOLD BURIAL DEPTH</p> <p>SECTION</p> | |  <div><p>1 FINISH GRADE</p><p>2 THREAD X COMPRESSION ELBOW</p><p>3 SUBSURFACE TUBING, INSTALL ON GRADE AND STAKE AT 2' O.C. USING SALCO DTS-30-750 TUBING STAKES.</p><p>4 10" THREADED PVC SCH. 40 RISER</p><p>5 PVC SCH. 40 TEE (S X S X T) IN EXHAUST HEADER TO FLUSH VALVE ASSEMBLY</p><p>6 PVC SCH. 40 TEE (S X S X T) IN INTAKE HEADER</p><p>7 HEADER DEPTH REFER TO SPECIFICATIONS</p><p>8 SALCO DTS-30-750 TUBING STAKES</p></div> | | | |
| POP UP BUBBLER | I | INLINE DRIP TUBING ON GRADE - CURVED LAYOUTS | | D | INLINE DRIP TUBING ON GRADE | A | |
|  <div><p>18-24" COILED WIRE</p><p>WATERPROOF CONNECTORS (2)</p><p>DRIP ZONE KIT: MODEL ACZ-075-XX</p><p>FILTER/REGULATOR, 25 OR 40 PSI</p><p>UVR PIPE & FITTINGS</p><p>FINISH GRADE</p><p>LATERAL PIPE & FITTINGS</p><p>MAIN LINE PIPE & FITTINGS</p></div> <p>*NOTE*</p> <p>ANTI-SIPHON VALVES SHOULD BE INSTALLED 6-12" ABOVE THE HIGHEST SPRINKLER HEAD WITHIN THE ZONE, OR, ACCORDING TO LOCAL CODE.</p> | |  <div><p>1 3/4" CRUSHED GRAVEL SUMP 2 CUBIC FEET (INSTALL SOIL SEPARATOR FABRIC OVER SUMP)</p><p>2 AGRICULTURAL PRODUCTS INC. MODEL 4E-3/4-FILTER WITH 150 MESH SCREEN</p><p>3 RECTANGULAR VALVE BOX, GREEN IN COLOR WITH PURPLE RECYCLED LABEL RIVETED ON THE LID. BRAND LID WITH CONTROLLER AND STATION NUMBER. VALVE BOX TO REST ON GRAVEL SUMP</p><p>4 18" X 12" DIA. FLEX HOSE-CONNECT TO FILTER FLUSH PORT</p><p>5 PVC LATERAL LINE PIPE</p><p>6 PVC UNION (LINE SIZE)</p><p>7 PVC BALL VALVE (LINE SIZE)</p><p>8 PRESSURE SUPPLY LINE</p><p>9 ELECTRIC REMOTE CONTROL VALVE (RITROL 700 ULTRA FLOW SERIES)</p></div> <p>NOTE: ALL PIPE AND FITTINGS USED WITH RECYCLED WATER SHALL BE PURPLE IN COLOR.</p> | |  <div><p>1 FINISH GRADE</p><p>2 3/4" PVC SCH 40 COMPRESSION BY SLIP ELBOW TO 3/4" PVC NIPPLE TO FLUSH VALVE ASSEMBLY.</p><p>3 NETAfim TECHLINE DRIPPER TUBE ON GRADE AND STAKE AT 4' O.C. USING NETAfim TLS6 SOIL STAPLE.</p><p>4 12" THREADED PVC SCH. 40 RISER</p><p>5 PVC SCH. 40 TEE (S X S X T) WITH COMPRESSION FITTINGS</p><p>6 PVC SCH. 40 TEE (S X S X T) IN LATERAL LINE PIPE</p><p>7 LATERAL LINE DEPTH, REFER TO SPECIFICATIONS</p><p>8 NETAfim TLS6 SOIL STAPLE</p><p>9 LATERAL LINE PIPE</p></div> | | | |
| CONTROL VALVE ASSEMBLY (DRIP) | | G | DRIP VALVE ASSEMBLY | | E | INLINE DRIP TUBING ON GRADE | B |
|  <div><p>18-24" COILED WIRE</p><p>WATERPROOF CONNECTORS (2)</p><p>MODEL PGV-XXX-ASV</p><p>UVR PIPE & FITTINGS</p><p>FINISH GRADE</p><p>LATERAL PIPE & FITTINGS</p><p>MAIN LINE PIPE & FITTINGS</p></div> <p>*NOTE*</p> <p>ANTI-SIPHON VALVES SHOULD BE INSTALLED 6-12" ABOVE THE HIGHEST SPRINKLER HEAD WITHIN THE ZONE, OR, ACCORDING TO LOCAL CODE.</p> | |  <div><p>1 INSERT X MIP 90 ELL</p><p>2 10" ROUND VALVE BOX GREEN IN COLOR</p><p>3 FINISH GRADE</p><p>4 PVC BALL VALVE (F X F)</p><p>5 MIP X FIP SCH. 40 PVC ELL</p><p>6 SCH 80 PVC NIPPLE LENGTH AS REQUIRED</p><p>7 3/4" CRUSHED GRAVEL SUMP (1 CU. FT.)</p><p>8 FIP X FIP SCH. 40 PVC ELL (TWO REQUIRED)</p><p>9 PVC LATERAL LINE PIPE</p><p>10 SLIP X MIP SCH. 40 PVC FITTING</p><p>11 18" X 1/2" DIA. FLEX HOSE</p></div> <p>NOTE: ALL PIPE AND FITTINGS USED WITH RECYCLED WATER SHALL BE PURPLE IN COLOR.</p> | |  <div><p>1 ZONE FLUSH VALVE PLUMBED TO PVC (REFER TO FLUSH VALVE ASSEMBLY)</p><p>2 AREA PERIMETER</p><p>3 NETAfim IRRIGATION TUBING. SEE IRRIGATION LEGEND FOR EMITTER SPACING</p><p>4 MANIFOLD CONNECTION (PVC TO ELBOW)</p><p>5 PVC FLUSH MANIFOLD</p><p>6 AIR/VACUUM RELIEF VALVE (PLUMBED TO GEOPLOW TUBING AT EACH HIGH POINT)</p><p>7 COMPRESSION TEE</p><p>8 PVC SUPPLY MANIFOLD</p><p>9 REMOTE CONTROL VALVE (REFER TO DRIP VALVE ASSEMBLY DETAIL)</p></div> | | | |
| CONTROL VALVE ASSEMBLY | | H | FLUSH VALVE | | F | INLINE DRIP TUBING LAYOUT | C |

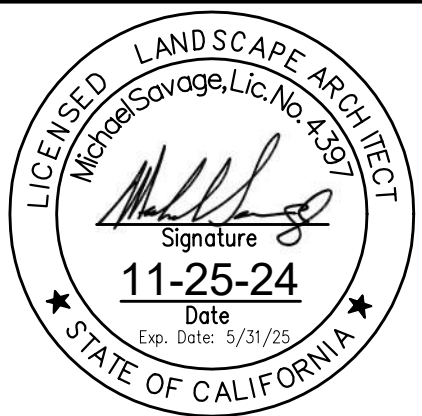


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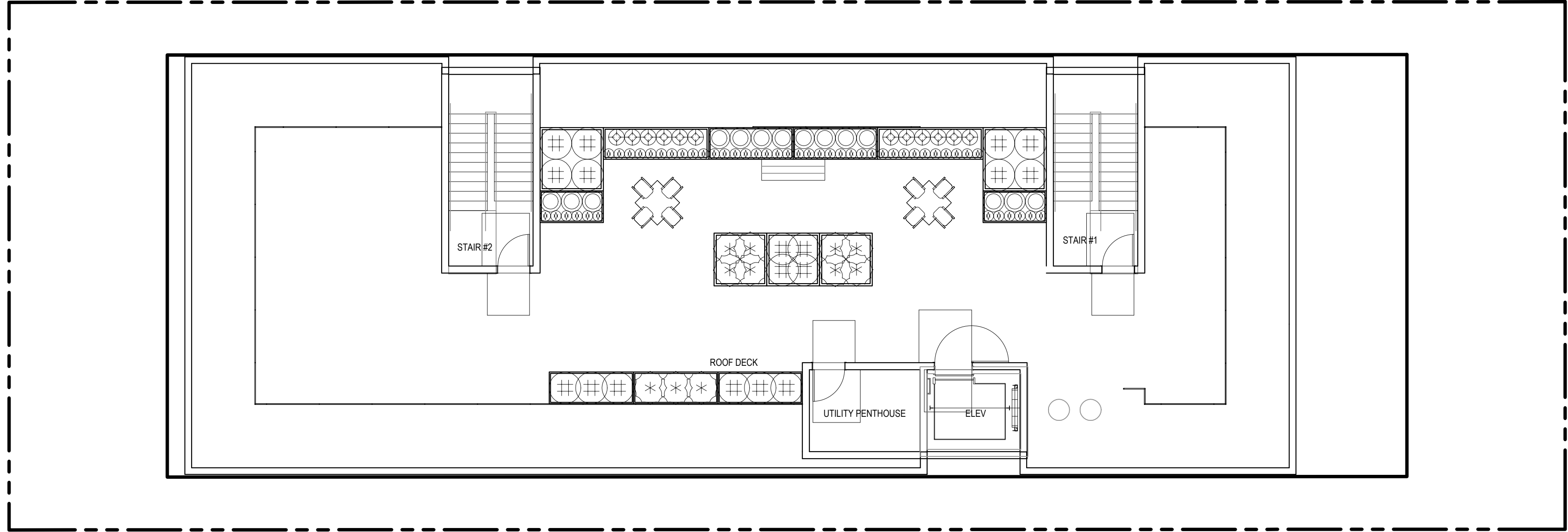


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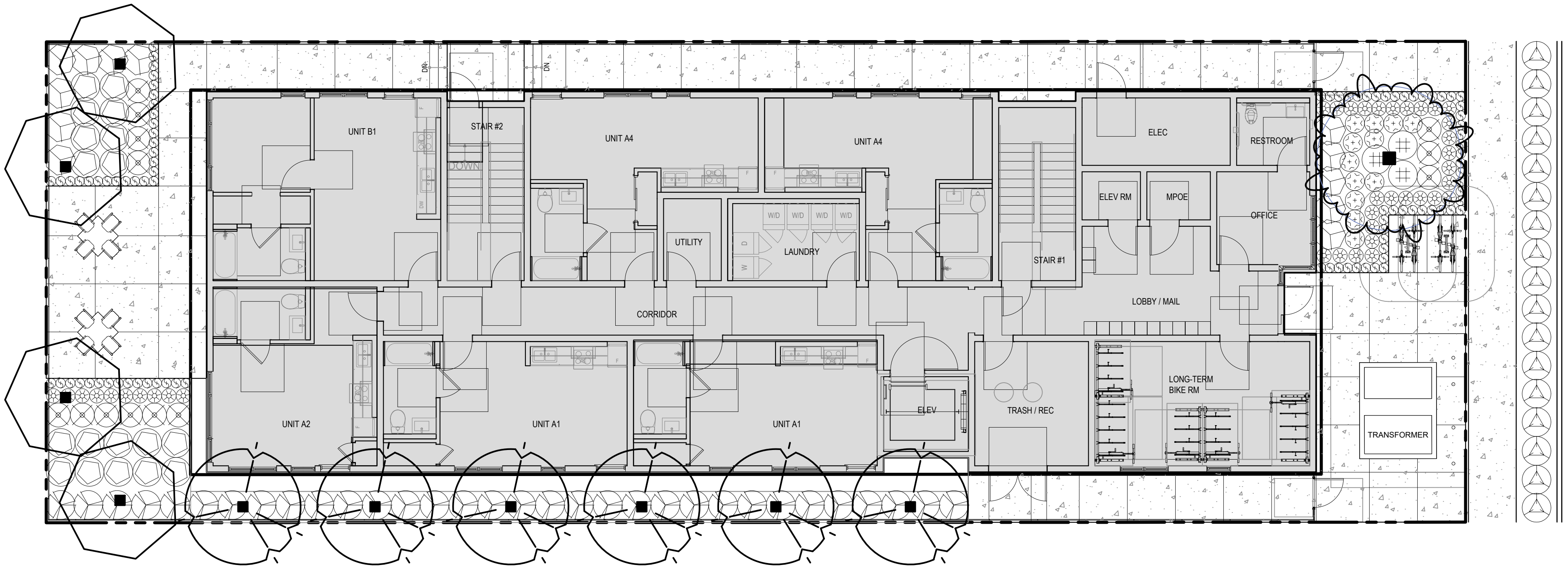
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| Date | 11-25-24 | Sheet |
| Scale | | LI-5 |
| Sheet | 8 of 10 | |

| ROOF PLANTING LEGEND | | | | | | | | | |
|-----------------------------|----------------------------------|-----------------------------|------------------|------|--------|-------------------|------------------|----------|--|
| SYMBOL | DESCRIPTION | | SIZES/PACING | QTY. | WUCOLS | MATURE SIZE (WxD) | TIME TO MATURITY | HYDROZON | |
| SHRUBS | | | | | | | | | |
| | AEONIUM ARBORESCENS | ATROPURPUREUM AEONIUM | 1 GAL @ 18" O.C. | 12 | L | 2'-3" X 1'-2" | 1-3 YRS | A | |
| | AGAVE 'BLUE GLOW' | BLUE GLOW AGAVE | 5 GAL @ 7" O.C. | 14 | L | 1'-2" X 2'-3" | 1-3 YRS | A | |
| | AGAVE DESMETIANA VARIEGATA | VARIEGATED SMOOTH AGAVE | 5 GAL @ 7" O.C. | 11 | L | 2'-3" X 3'-4" | 1-3 YRS | A | |
| | PHORMIUM TENAX | NEW ZEALAND FLAX | 5 GAL @ 7" O.C. | 18 | L | 1'-6" X 1'-3" | 1-3 YRS | A | |
| | SENECIO SERPENS | BLUE CHALKSTICKS | 1 GAL @ 12" O.C. | 48 | L | 12" X 2'-3" | 1-3 YRS | A | |
| FIRST FLOOR PLANTING LEGEND | | | | | | | | | |
| SYMBOL | DESCRIPTION | | SIZES/PACING | QTY. | WUCOLS | MATURE SIZE (WxD) | TIME TO MATURITY | HYDROZON | |
| SHRUBS | | | | | | | | | |
| | ARBUTUS UNEDO 'COMPACTA' | DWARF STRAWBERRY TREE | 5 GAL @ 7" O.C. | 32 | L | 4'-6" X 4'-6" | 1-3 YRS | A | |
| | DIANELLA REVOLUTA 'BABY BLISS' | BABY BLISS FLAX LILY | 1 GAL @ 18" O.C. | 36 | L | 12-18" X 12-18" | 1-3 YRS | A | |
| | FESTUCA MAIREI | ATLAS FESCUE | 1 GAL @ 7" O.C. | 12 | L | 2'-3" X 2'-3" | 1-3 YRS | A | |
| | LANTANA 'NEW GOLD' | NEW GOLD LANTANA | 1 GAL @ 7" O.C. | 17 | L | 2'-3" X 2'-4" | 1-3 YRS | A | |
| | LAVANDULA ANGUSTIFOLIA 'HIDCOTE' | ENGLISH LAVENDER 'HIDCOTE' | 1 GAL @ 30" O.C. | 13 | L | 1'-3" X 1'-3" | 1-3 YRS | A | |
| | MUHLENBERGIA RIGENS | DEER GRASS | 5 GAL @ 7" O.C. | 18 | L | 4'-5" X 3'-4" | 1-3 YRS | A | |
| | PHORMIUM 'GOLDEN RAY' | GOLDEN RAY NEW ZEALAND FLAX | 5 GAL @ 7" O.C. | 3 | L | 4'-6" X 4'-5" | 1-3 YRS | A | |
| | WESTRINGIA FRUTICOSA 'SMOOKEY' | COAST ROSEMARY | 5 GAL @ 7" O.C. | 12 | L | 4'-6" X 4'-5" | 1-3 YRS | A | |
| | SENECIO SERPENS | BLUE CHALKSTICKS | 1 GAL @ 12" O.C. | 90 | L | 12" X 2'-3" | 1-3 YRS | A | |
| TREES | | | | | | | | | |
| | CHITALPA TASHKENTENSIS | CHITALPA | 24" BOX | 1 | L | 25-35' X 30' | 10-15 YRS | B | |
| | LAGERSTROEMIA X NATCHEZ | NATCHEZ GRAPE MYRTLE | 24" BOX | 4 | M | 20-25' X 15-25' | 10-15 YRS | C | |
| | LOPHOSTEMON CONFERTUS | BRISBANE BOX | 24" BOX | 6 | M | 30-50' X 10-30' | 10-15 YRS | C | |

| TREE CALCULATIONS | | COMMON OPEN SPACE CALCULATIONS | |
|---|----------|---|--|
| (1) 24" BOX TREE PER 4 DWELLING UNITS | 53 UNITS | MINIMUM REQUIRED COMMON OPEN SPACE | LANDSCAPE AREA: 25% OF COMMON OPEN SPACE |
| *OFF-MENU INCENTIVE FOR A 25% REDUCTION OF TREES FOR THE OPEN SPACE, TO PERMIT 11, IN LIEU OF 14* | | *OFF-MENU INCENTIVE FOR A 50% REDUCTION OF REQUIRED OPEN SPACE* | |
| TREES REQUIRED: | 11 TREES | COMMON OPEN SPACE AREA: | 2,650 SF |
| TREES PROVIDED: | 11 TREES | LANDSCAPE AREA REQUIRED: | 662.5 SF |
| GROUND LEVEL: | 11 TREES | LANDSCAPE AREA PROVIDED: | 715.2 SF |
| (1) TREE PER 500 SF FRONT YARD LANDSCAPE AREA | | FIRST FLOOR: | 400.1 SF |
| FRONT YARD LANDSCAPE AREA: | 244.3 SF | ROOF: | 315.1 SF |
| TREES REQUIRED: | 1 | | |
| TREES PROVIDED: | 1 | | |

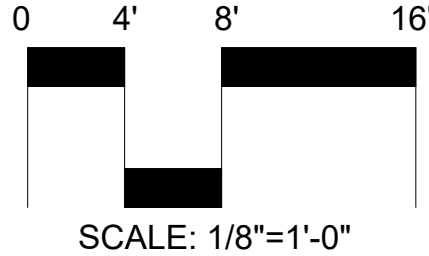


ROOF FLOOR PLAN



FIRST FLOOR PLAN

STONER AVE





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1747 STONER AVE

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LOS ANGELES, CA 90025

| No. | Revision / Issue | Date |
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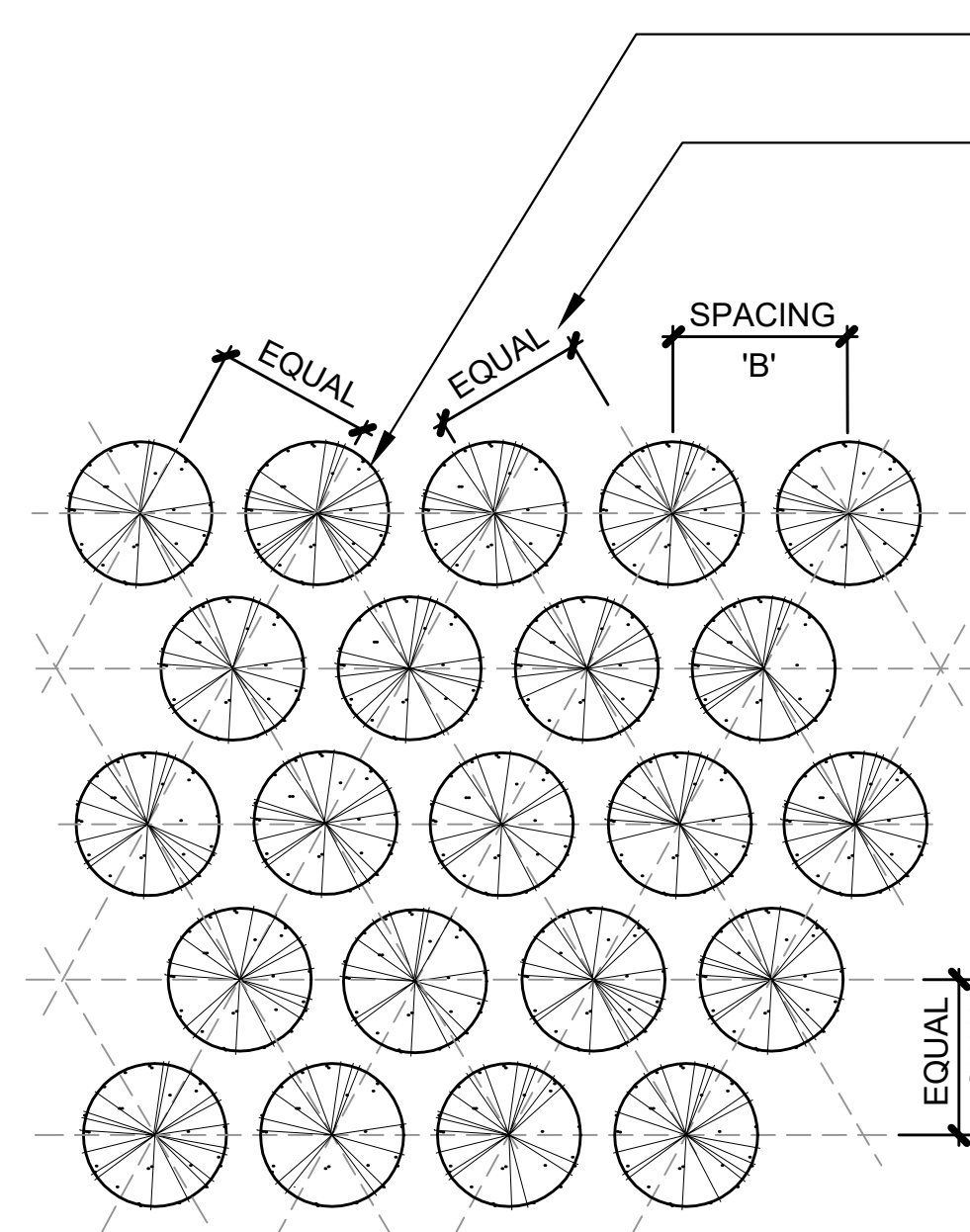


PLANTING PLAN

| | | | |
|-------|------------|-------|------|
| Date | 11-25-24 | Sheet | LP-1 |
| Scale | 1/8"=1'-0" | | |
| Sheet | 9 of 10 | | |

1. THE CONTRACTOR SHALL PROVIDE A WEED ABATEMENT PROGRAM TO ALL LANDSCAPE PLANTING AREAS PRIOR TO PLANTING, PER THE LANDSCAPE SPECIFICATIONS.
2. THE CONTRACTOR SHALL PROVIDE THE OWNER'S AUTHORIZED REPRESENTATIVE WITH PHOTOGRAPHS OF ALL PLANT MATERIALS NOT PROVIDED BY THE OWNER FOR APPROVAL PRIOR TO PURCHASE AND DELIVERY.
3. NO SUBSTITUTIONS SHALL BE ALLOWED WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER'S AUTHORIZED REPRESENTATIVE.
4. EXACT LOCATIONS OF PLANT MATERIALS SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION. THE OWNER'S AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN THE FIELD.
5. ALL PLANT MATERIAL, UPON INSPECTION BY THE OWNER'S AUTHORIZED REPRESENTATIVE, SHALL BEAR LABELS VERIFYING SPECIES AND VARIETY TO MATCH THOSE ON THE PLANT LIST. THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY MATERIAL DEEMED TO BE UNACCEPTABLE BOTH AT THE TIME OF DELIVERY OR AFTER DELIVERY IF THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE IS NOT ON SITE AT THE TIME OF DELIVERY.
6. ALL SHRUB AREAS SHALL BE COVERED EVENLY WITH A THREE INCH (3") MIN. LAYER OF "0-2 FOREST FLOOR" AVAILABLE THRU: AGUINAGA FERTILIZER INC. OR APPROVED EQUAL. CONTRACTOR SHALL SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
7. NO SHRUB PLANTING SHALL TAKE PLACE UNTIL INSTALLATION OF THE IRRIGATION SYSTEM IS COMPLETE. FINAL GRADES HAVE BEEN ESTABLISHED, PLANTING AREAS PROPERLY GRADED/PREPARED AND THE WORK APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE. TREES SHALL BE SET PRIOR TO IRRIGATION SYSTEM INSTALLATION. CONTRACTOR IS RESPONSIBLE TO VERIFY APPROPRIATE FINAL GRADES PRIOR TO SETTING TREES.
8. TOP OF ROOTBALL FOR TREES AND SHRUBS SHALL BE A MIN. 2" ABOVE THE FINISH GRADE AT THE ORIGINAL PLACE OF GROWTH. REFER TO PLANTING SPECIFICATIONS.
9. THE CONTRACTOR SHALL PROVIDE MATCHING FORMS AND SIZES FOR ALL PLANT MATERIALS WITHIN EACH TYPE AND SIZE DESIGNATED ON THE DRAWINGS.
10. THE CONTRACTOR SHALL PROVIDE A 90 DAY MAINTENANCE PERIOD AFTER COMPLETION AND OWNER ACCEPTANCE OF PLANTING AND IRRIGATION WORK.
11. THE CONTRACTOR SHALL NOT BEGIN SAID MAINTENANCE PERIOD WITHOUT RECEIVING WRITTEN CONSENT FROM THE OWNER AND/OR HIS AUTHORIZED REPRESENTATIVE.
12. ALL WATERING BASINS SHALL BE REMOVED AT THE END OF THE MAINTENANCE PERIOD UNLESS OTHERWISE NOTED.
13. QUANTITIES LISTED ON THE CONSTRUCTION DRAWINGS OR THE PLANTING LEGEND ARE FOR REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE QUANTITIES LISTED ON THE PLANS.
14. WHERE POSSIBLE TREES SHALL BE KEPT A MINIMUM OF 5'-0" FROM WALLS, FENCES, SIDEWALKS, CONCRETE CURBS AND ANY HARDSCAPE IN GENERAL. IF NOT POSSIBLE CONTACT THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE FOR EXACT PLACEMENT.
15. FINISH GRADE IN SHRUB AREAS SHALL BE 2" BELOW PAVED SURFACES, 3" WHERE BARK MULCH IS TO BE USED, AND LAWN AREAS SHALL BE 1" BELOW PAVED SURFACES. ALL PLANTING AREAS SHALL DRAIN AT 2% MINIMUM UNLESS OTHERWISE NOTED ON THE GRADING PLANS.
16. INSTALL LINEAR ROOT BARRIERS FOR ALL TREES WITHIN 5' OF ANY CONCRETE FLAT WORK, CURB, GUTTER, UTILITY, STRUCTURES, ETC. ROOT BARRIER SHALL BE AS SPECIFIED WITHIN THE PROJECT SPECIFICATIONS AND INSTALLED PER DETAIL THIS SHEET.
17. CONTRACTOR SHALL ADHERE TO ANY SPECIAL WORKING CONDITIONS, IE. NOISE, TIME OF WORK, LIMIT OF WORK, ETC. SET FORTH BY THE COUNTY OF ORANGE, AND/OR OTHER GOVERNING AGENCIES, AND TO COORDINATE WITH THE GENERAL CONTRACTOR FOR ADDITIONAL INFORMATION/REQUIREMENTS.
18. AGRONOMIC SOIL ANALYSIS WILL BE PROVIDED BY THE LANDSCAPE CONTRACTOR. SOIL TEST SHALL INCLUDE A PERCOLATION TEST AND DRAINAGE RECOMMENDATIONS.
19. SOIL PREPARATION AND BACKFILL FOR PLANTING PITS SHALL BE AS RECOMMENDED BY THE AGRONOMIC SOILS REPORT. CONTRACTOR SHALL INCLUDE COST FOR BACKFILL AND SOIL PREPARATION IN HIS BID.
20. SOIL AMENDMENTS SHALL BE APPLIED PER AGRONOMIC SOIL REPORT SPECIFICATIONS.
21. ON-GRADE TREES 24" BOX SIZE OR LARGER SHALL RECEIVE AN AUGURED SUMP AS DESCRIBED IN THE TREE PLANTING DETAILS, OR OTHER DRAINAGE METHOD AS RECOMMENDED BY THE AGRONOMIC SOILS REPORT.
22. APPLY PRE-EMERGENT HERBICIDE ("EPTAM" OR EQUAL) PER MANUFACTURER'S RECOMMENDATIONS TO SHRUB AREAS ONLY. APPLY 1"-2" WATER FOLLOWING APPLICATION. CONTACT HERBICIDE ("RAD-E-CATE 35" OR EQUAL) SHALL BE APPLIED TO LAWN AREAS ONLY FOLLOWING A 14 DAY MOISTENING PERIOD TO ENCOURAGE WEED GERMINATION. REMOVE ALL WEEDS AND RESIDUE FROM SITE.
23. ALL ROOTBALLS SHALL BE THOROUGHLY WATERED PRIOR TO INSTALLATION.
24. ALL PLANTING SHALL CONFORM WITH ALL LOCAL CODES AND REGULATIONS.
25. FINAL LOCATION OF ALL TREES SHALL BE VERIFIED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION/ PIT EXCAVATION.
26. CONTRACTOR SHALL LIST ANY DOLLAR AMOUNT FOR ADDITIONAL PLANT MATERIALS THAT ARE TO BE SELECTED BY THE LANDSCAPE ARCHITECT AT THE TIME OF INSTALLATION.
27. THE CONTRACTOR SHALL INCLUDE IN HIS BID COSTS AS NECESSARY FOR PENETRATING THROUGH HARD PAN LAYER WHEN IT IS ENCOUNTERED UNDER TREE AND PALM PLANTING PITS. THE PENETRATION THROUGH THE CALICHE OR HARD PAN LAYER SHALL ALLOW WATER TO DRAIN OUT OF THE PLANTING PIT. SHOULD THE HARD PAN LAYER BE TOO DEEP FOR AUGERING, THE LANDSCAPE CONTRACTOR SHALL DEVISE A DRAINAGE SYSTEM APPROVED BY THE LANDSCAPE ARCHITECT THAT WILL ENSURE PROPER DRAINAGE FROM PLANTING PITS. THE LANDSCAPE CONTRACTOR WILL SUBMIT A UNIT COST FOR ANY SPECIAL DRAINAGE SYSTEM.
28. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
29. PLANT MATERIAL SIZES SPECIFIED IN THE PLANTING LEGEND SHALL MEET THE GENERAL SIZE STANDARDS OF HEIGHT, SPREAD, AND OTHER RELEVANT DATA FOR THE ACCORDING CONTAINER SIZES AS SPECIFIED BY THE PLANT SIZE SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI).

GENERAL PLANTING NOTES



PARTIAL PLAN

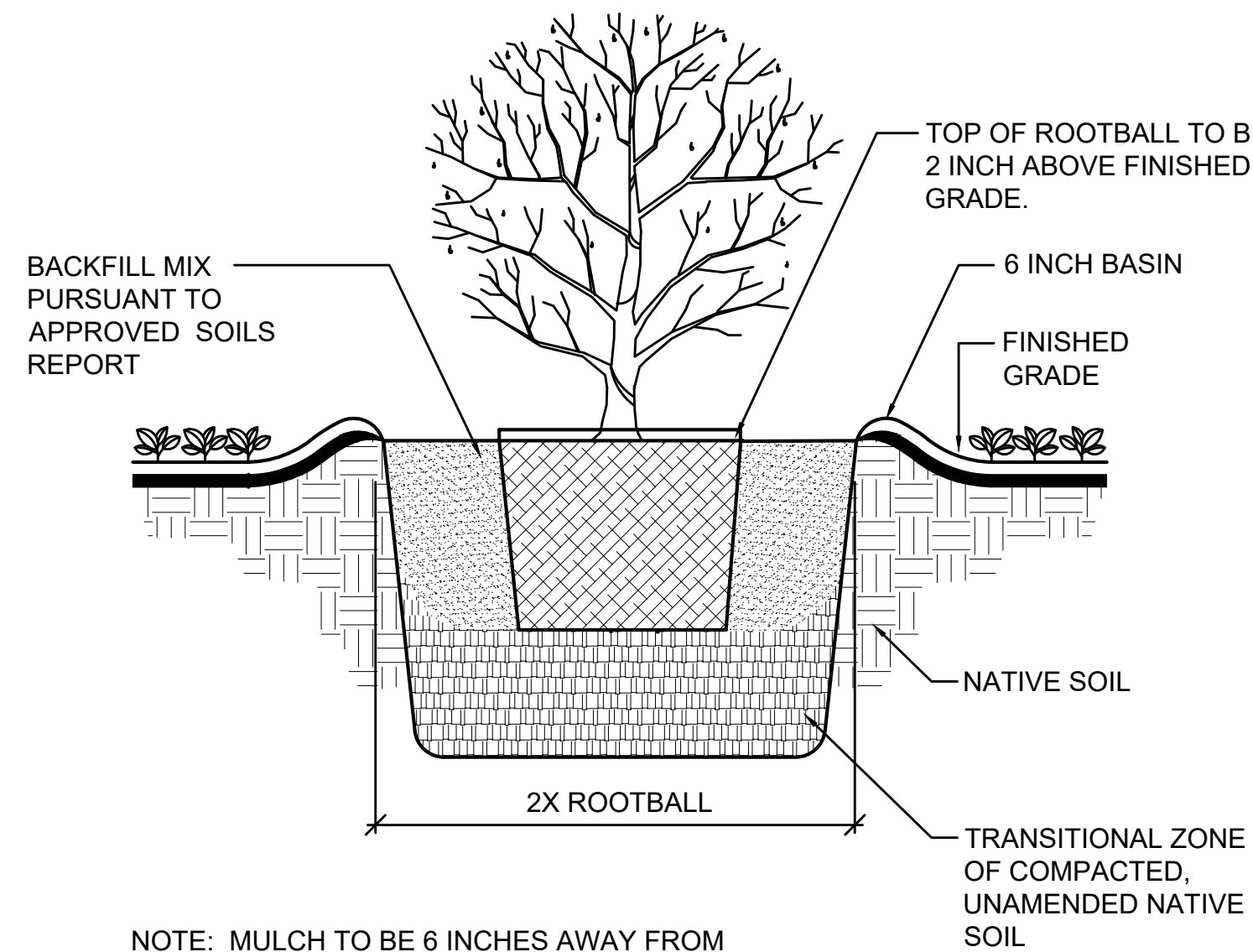
- GROUND COVER PLANTING, REFER TO PLANT LEGEND FOR SPECIES

- PLANT SPACING, REFER TO PLANTING PLANS AND LEGEND

PLANTS SHALL BE PLANTED SO
NO ROOTS SHALL BE VISIBLE
ABOVE FINISH GRADE

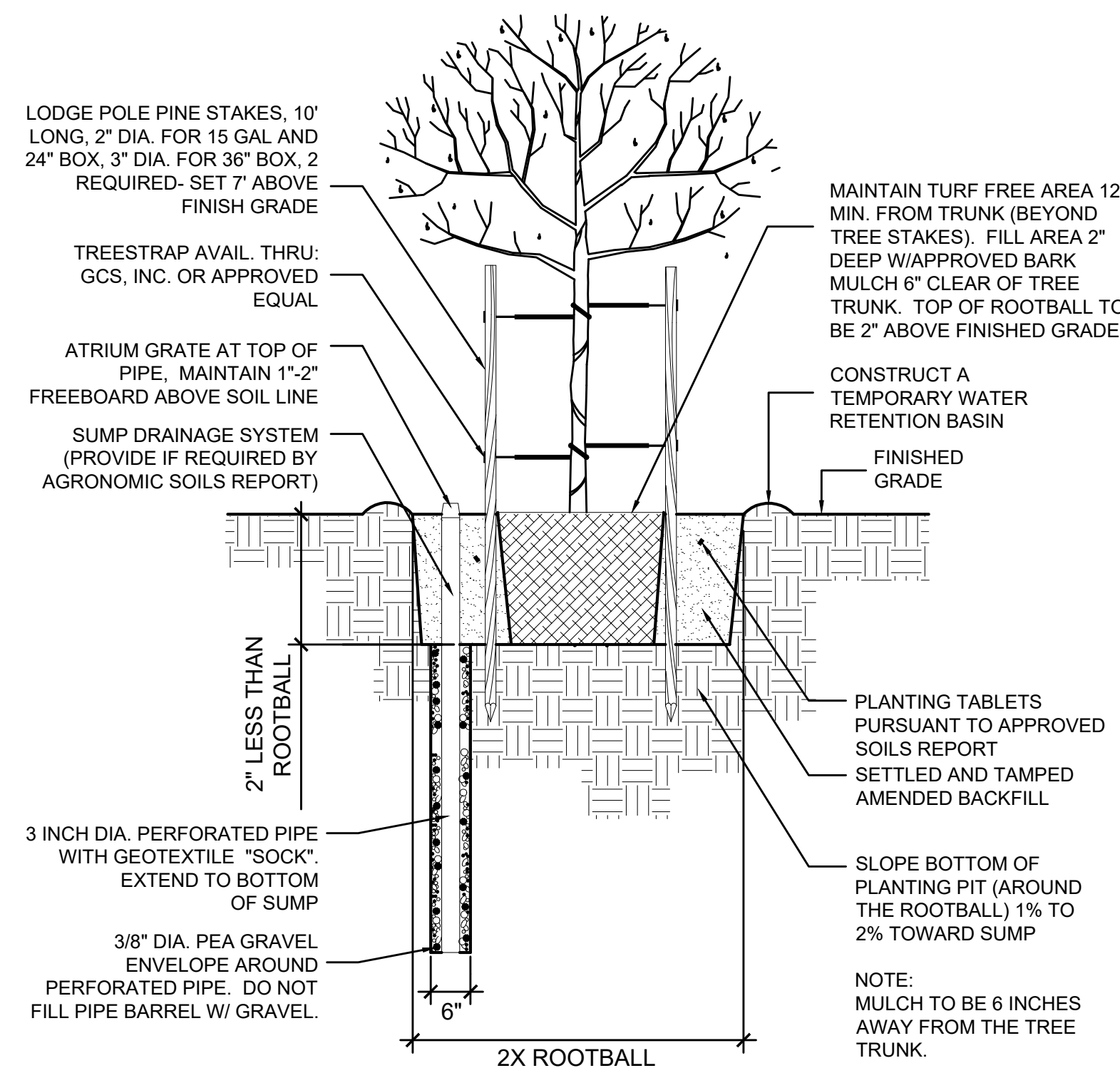
THE SPACING SHALL NOT DEVIATE FROM THE SPACING NOTED ON THE PLANS, IF IN THE CASE WHERE THE PLANT MATERIAL SPACING HAS BEEN EXCEEDED THE CONTRACTOR SHALL ADD PLANT MATERIAL W/OUT REMOVING EXISTING MATERIAL TO BRING PLANTING TO SATISFACTION OF THE OWNER AND LANDSCAPE ARCHITECT.

| SPACING 'B' | ROW 'A' |
|-------------|---------|
| 6" O.C. | 5.2" |
| 8" O.C. | 6.93" |
| 10" O.C. | 8.66" |
| 12" O.C. | 10.4" |
| 15" O.C. | 13.0" |
| 18" O.C. | 15.6" |
| 24" O.C. | 20.8" |
| 30" O.C. | 26.0" |
| 36" O.C. | 30.0" |



NOTE: MULCH TO BE 6 INCHES AWAY FROM THE SHRUB STEM.

ALTERNATE SOLUTION: ONLY EXCAVATE TO NATIVE SOIL TO MINIMIZE COMPACTION AND HELP PREVENT THE ROOTBALL FROM SINKING, IT IS RECOMMENDED THAT THE ROOTBALL EITHER BE PLACED ON GRADE WITHIN THE PLANTING PIT OR THAT THE PLANTING PIT BE DUG 2" SHALLOWER THAN THE ROOTBALL. FINISH GRADE TO BE MOUNDED/CROWNED UP OVER ROOTBALL.



LODGE POLE PINE STAKES, 10'
LONG, 2" DIA. FOR 15 GAL AND
24" BOX, 3" DIA. FOR 36" BOX, 2"
REQUIRED- SET 7' ABOVE
FINISH GRADE

TREESTRAP AVAIL. THRU
GCS, INC. OR APPROVED
EQUA

ATRIUM GRATE AT TOP OF
PIPE, MAINTAIN 1"-2"
FREEBOARD ABOVE SOIL LINE

SUMP DRAINAGE SYSTEM
(PROVIDE IF REQUIRED BY
AGRONOMIC SOILS REPORT)

| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | 27 | 28 | 29 | 30 | 31 | 32 | 33 | 34 | 35 | 36 | 37 | 38 | 39 | 40 | 41 | 42 | 43 | 44 | 45 | 46 | 47 | 48 | 49 | 50 | 51 | 52 | 53 | 54 | 55 | 56 | 57 | 58 | 59 | 60 | 61 | 62 | 63 | 64 | 65 | 66 | 67 | 68 | 69 | 70 | 71 | 72 | 73 | 74 | 75 | 76 | 77 | 78 | 79 | 80 | 81 | 82 | 83 | 84 | 85 | 86 | 87 | 88 | 89 | 90 | 91 | 92 | 93 | 94 | 95 | 96 | 97 | 98 | 99 | 100 |
|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|-----|

HAN
LLLESS -
ROOTB

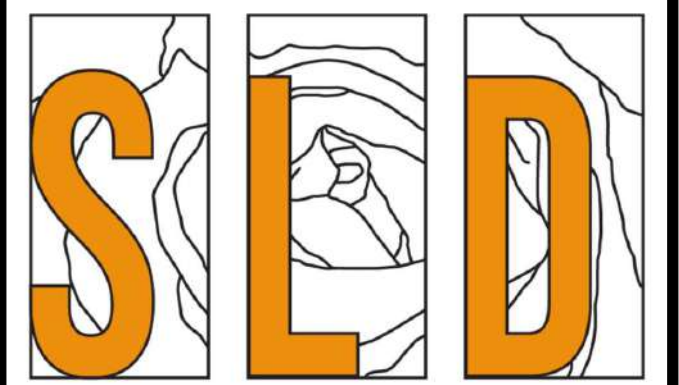
3 INCH DIA. PERFORATED PIPE
WITH GEOTEXTILE "SOCK"

3/8" DIA. PEA GRAVEL

PERFORATED PIPE. DO NOT
FILL PIPE BARREL W/ GRAVEL

FREE STAKING

TREE STAKING



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PLANTING DETAILS

| | | |
|-------|----------|-------------------|
| Date | 11-25-24 | Sheet LP-2 |
| Scale | | |
| Sheet | 10 of 10 | |

PLANTING LEGEND

| SYMBOL | DESCRIPTION | | SIZE/SPACING | QTY. | WUCOLS | MATURE SIZE (HXW) | TIME TO MATURITY | HYDROZN. |
|--------|---------------------------|----------------------|--------------|------|--------|-------------------|------------------|----------|
| TREES | | | | | | | | |
| | LOPHOSTEMON CONFERTUS | BRISBANE BOX | 24" BOX | 6 | M | 30-50' X 10-30' | 10-15 YRS | C |
| | LAGERSTROEMIA X 'NATCHEZ' | NATCHEZ CRAPE MYRTLE | 24" BOX | 4 | M | 20-25' X 15-25' | 10-15 YRS | C |
| | CHITALPA TASHKENTENSIS | CHITALPA | 24" BOX | 1 | L | 25-35' X 30' | 10-15 YRS | B |

TREE CALCULATIONS

(1) 24" BOX TREE PER 4 DWELLING UNITS
NUMBER OF DWELLING UNITS: 53 UNITS

OFF-MENU INCENTIVE FOR A 25% REDUCTION OF TREES FOR 1 SPACE, TO PERMIT 11, IN LIEU OF 14

TREES REQUIRED: 11 TREES
TREES PROVIDED: 11 TREES

(1) TREE PER 500 SF FRONT YARD LANDSCAPE AREA

FRONT YARD LANDSCAPE AREA: 244.3 SF
TREES REQUIRED: 1
TREES PROVIDED: 1

COMMON OPEN SPACE CALCULATIONS

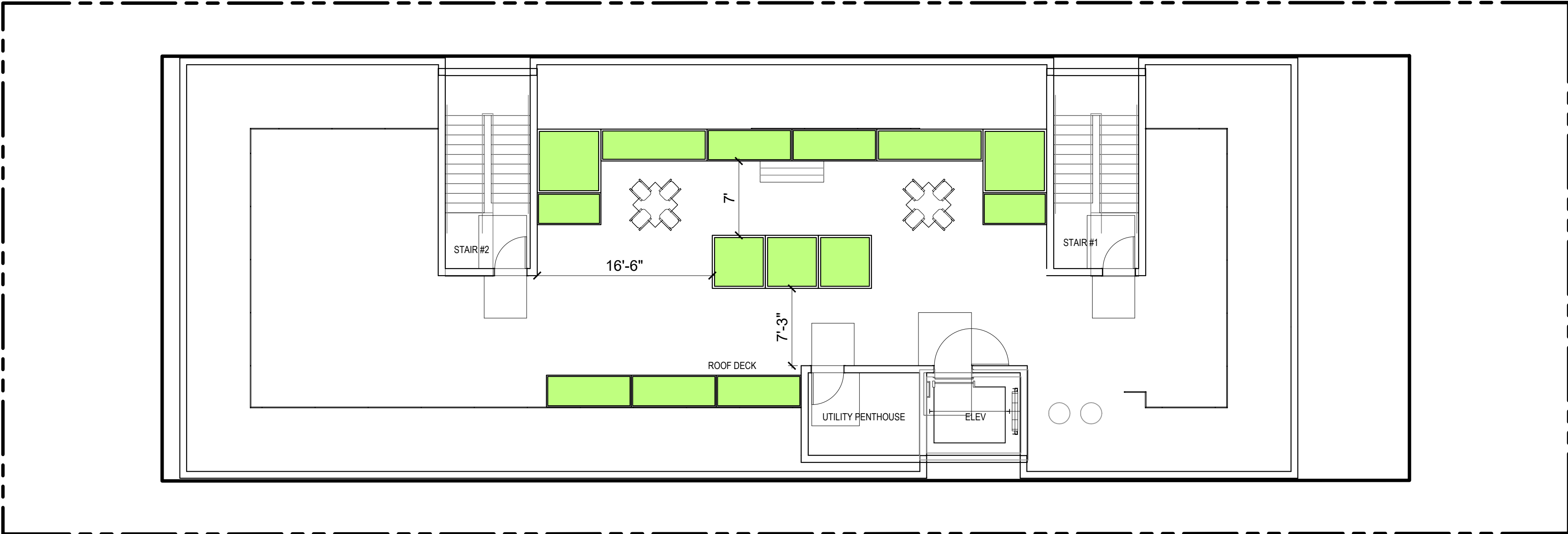
MINIMUM REQUIRED COMMON OPEN SPACE
LANDSCAPE AREA: 25% OF COMMON OPEN SPACE

OFF-MENU INCENTIVE FOR A 50% REDUCTION OF REQUIRED OPEN SPACE

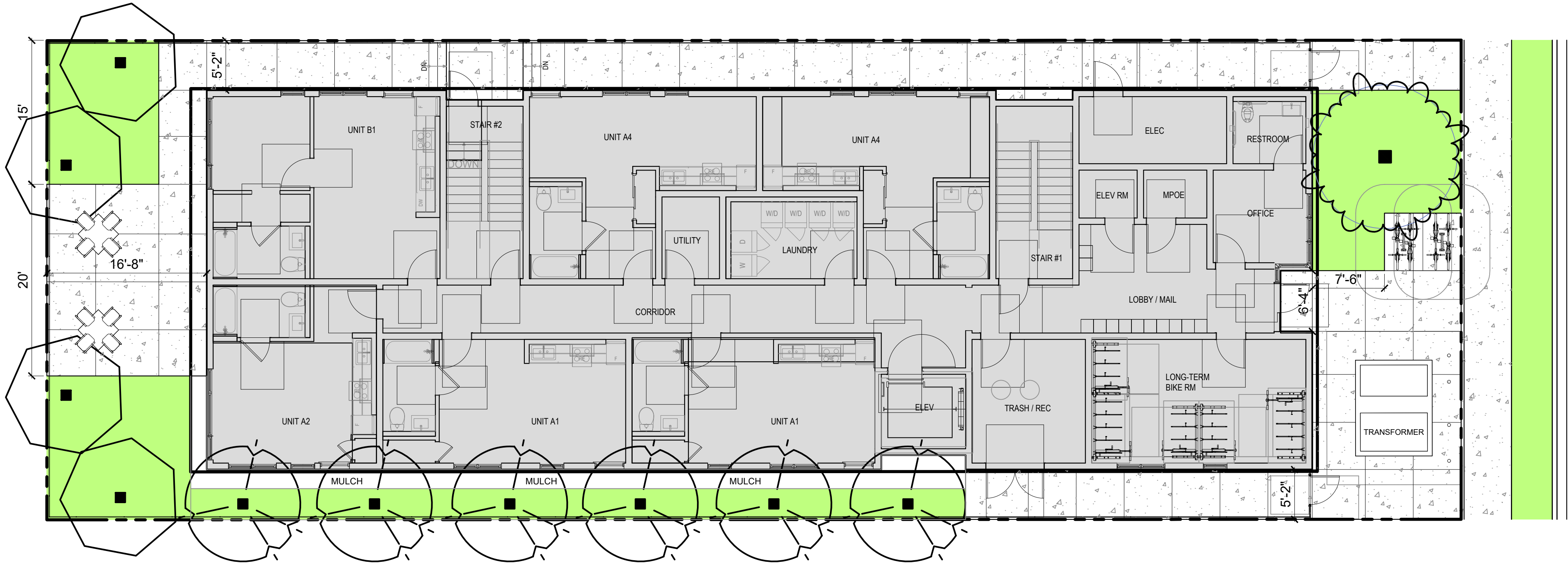
COMMON OPEN SPACE AREA: 2,650 SF
LANDSCAPE AREA REQUIRED: 662.5 SF
LANDSCAPE AREA PROVIDED: 715.2 SF
FIRST FLOOR: 400.1 SF
ROOF: 315.1 SF

LANDSCAPE AND HARDSCAPE CALCULATIONS

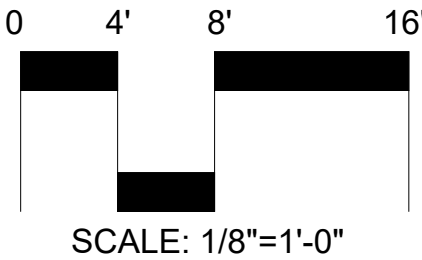
LANDSCAPE AREA: 1,492.8 SF
ONSITE LANDSCAPE AREA: 1,096.8 SF
PARKWAY LANDSCAPE AREA: 212 SF
ROOF LANDSCAPE AREA: 315.1 SF
HARDSCAPE AREA: 1,693.7 SF



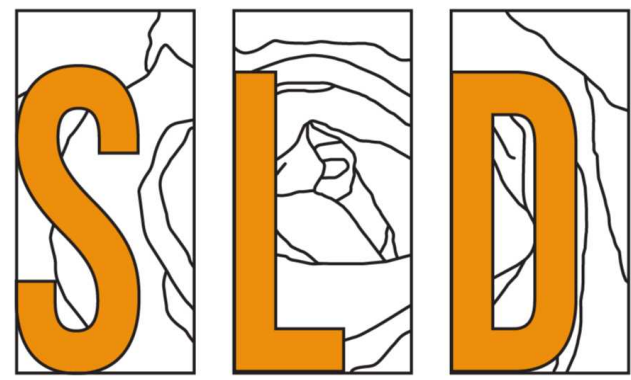
ROOF FLOOR PLAN



FIRST FLOOR PLAN



SCALE: 1/8"=1'-0"



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PRELIMINARY
LANDSCAPE
PLAN

Date: 11-25-24
Scale: 1/8"=1'-0"
Sheet: 1 of 1
PLP-1