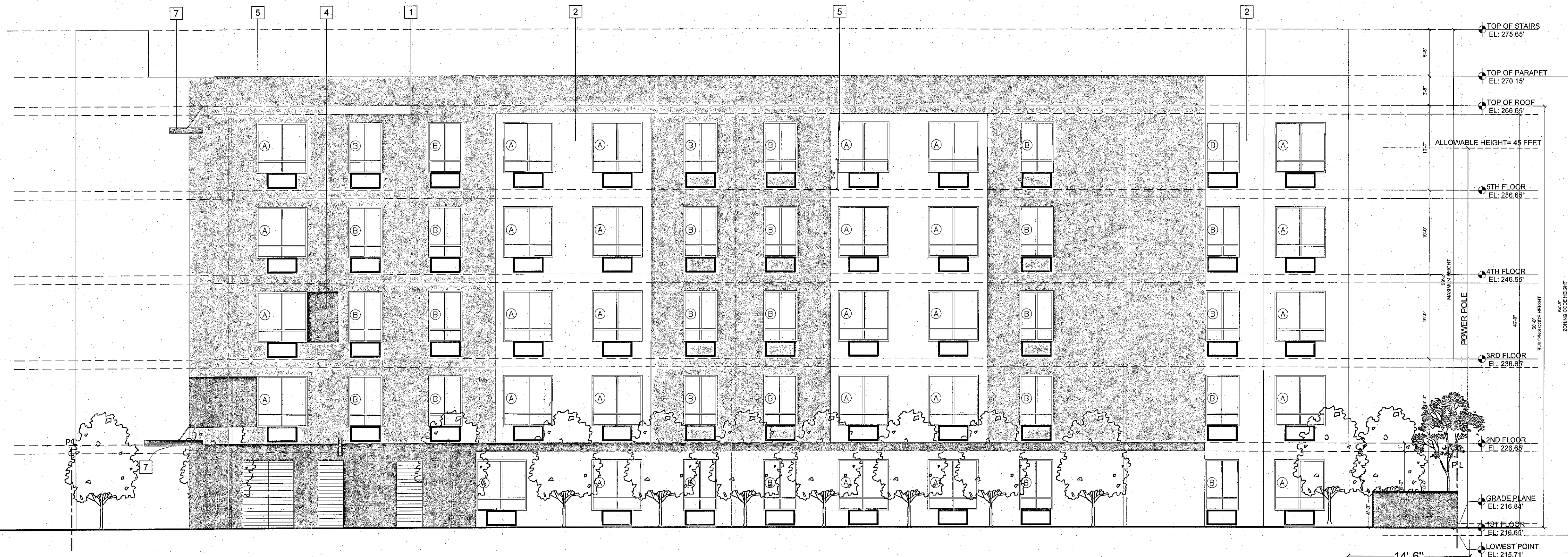


1 SOUTH ELEVATION  
SCALE: 1/8"=1'-0"



2 EAST ELEVATION  
SCALE: 1/8"=1'-0"

NOTE : All downspouts to drain into CUB pervoid planter. See civil plans for continuation  
- All roof runoff to drain to CUB pervoid planter.

STORMWATER MITIGATION  
LOW IMPACT DEVELOPMENT (LID)  
APPROVED WITH CONDITIONS

This set of plans and specifications must be at the jobsite during construction

Stormwater Observation Report (SOR) is required prior to issuance of Certificate of Occupancy or final sign off.

Total Pages \_\_\_\_\_

Digitally Signed By: S. Garc Date: 2/5/2025  
Department of Public Works - Bureau of Sanitation  
Watershed Protection Division

City of Los Angeles, Department of Building & Safety  
**DISABLED ACCESS APPROVED PLANS**

By: NORLITO MEDRANO, C.A.S. Date: 09/16/2024  
Certification No: 564-LDP-042928

Application No./Permit No.: 23010-10002-04257

- This set of plans and specifications has been reviewed and is approved for compliance with state and local laws and ordinances related to accessibility to public accommodations and housing.
- The stamping of this set of plans and specifications shall not be held to permit or to be an approval of the violation of any provisions of federal, state, and local laws and ordinances related to accessibility to public accommodations and housing.

**PLANS APPROVED**  
City of Los Angeles  
Department of City Planning

Date: 09/09/2025 Page No. 14 of 22  
POS NO: 23010-10000-04257  
CASE NO: ADM-2024-4615-DB-ED1-VHCA  
PLANNER: Yingshi Huang



TABLE 705.8

FIRE SEPARATION DISTANCE	FLOOR	OPENING SQ.FT PER FLOOR	WALL SQ.FT	PERCENTAGE	ALLOWABLE AREA
30' OR GREATER	1ST	7(WPA)16 + 2(D**)942 + (D**)54 = 250	140' X 10 = 1400	18%	NO LIMIT
30' OR GREATER	2ND	8(WPA)16 = 128	140' X 10 = 1400	9%	NO LIMIT
30' OR GREATER	3RD	8(WPA)16 = 128	140' X 10 = 1400	9%	NO LIMIT
30' OR GREATER	4TH	8(WPA)16 = 128	140' X 10 = 1400	9%	NO LIMIT
30' OR GREATER	5TH	8(WPA)16 = 128	140' X 10 = 1400	9%	NO LIMIT

PROTECTED / SPRINKLERED  
W = Window  
D\*\* = Door

MATERIALS, TEXTURES AND COLORS

- STUCCO  
COLOR: LIGHT CONCRETE GRAY  
FINISH: SATIN  
ALBEDO APPROX. 20%
- STUCCO  
COLOR: BONE WHITE  
FINISH: SATIN  
ALBEDO APPROX. 70%
- ACRYLIC EXTERIOR PLASTER  
FINE SAND FINISH  
COLOR: LIGHT CONCRETE ANTIQUE  
FINISH: SATIN  
ALBEDO APPROX. 15%
- ACRYLIC EXTERIOR PLASTER  
FINE SAND FINISH  
COLOR: DARK CONCRETE ORANGE  
FINISH: SATIN  
ALBEDO APPROX. 15%
- LOWE SEAR CONTROL WINDOW  
MANUFACTURER: TBD

TABLE 705.8

FIRE SEPARATION DISTANCE	FLOOR	OPENING SQ.FT PER FLOOR	WALL SQ.FT	PERCENTAGE	ALLOWABLE AREA
5' TO LESS THAN 10'	1ST	7(WPA)16 + (D**)24 = 136	115 X 10 = 1,150	12%	25%
5' TO LESS THAN 10'	2ND	7(WPA)16 = 112	115 X 10 = 1,150	10%	25%
5' TO LESS THAN 10'	3RD	7(WPA)16 = 112	115 X 10 = 1,150	10%	25%
5' TO LESS THAN 10'	4TH	7(WPA)16 = 112	115 X 10 = 1,150	10%	25%
5' TO LESS THAN 10'	5TH	7(WPA)16 = 112	115 X 10 = 1,150	10%	25%

PROTECTED / SPRINKLERED  
W = Window  
D\*\* = Door

**METROPOLIS ARCHITECTURE**  
1401 WESTWOOD BLVD., #320  
LOS ANGELES, CA 90024  
EMAIL: ATABAK80@GMAIL.COM  
TEL: (310)-503-7123

**OWNER:**  
GFV AFFORD LLC

**ARCHITECT:**

METROPOLIS ARCHITECTURE

**PROJECT:**  
5-STORY  
AFFORDABLE HOUSING  
665 E ADAMS AVE.  
LOS ANGELES, CA 90011

**PROJECT INFO:**

PROJECT #	897-24-002A
PERMIT APP #	
DRAWN BY	AK
CHECKED BY	AY
DATE	05.29.2024

**ISSUED / REVISIONS**

No.	Date	Item
		SCHEMATIC DESIGN
		LADBS - ZONING REVIEW
		50% DESIGN DEVELOPMENT
		100% DESIGN DEVELOPMENT
		50% CONSTRUCTION DOCUMENT
		PLAN CHECK SUBMITTAL
		100% CONSTRUCTION DOCUMENT

THESE DRAWINGS, SPECIFICATIONS, IDEAS AND DESIGNS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. ALL DESIGNS AND DRAWINGS ARE FOR THE USE ON THE SPECIFIED PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

**PLAN CHECK**

SHEET TITLE  
ELEVATIONS

SHEET NUMBER  
**A5.0**

STORMWATER MITIGATION  
LOW IMPACT DEVELOPMENT (LID)  
APPROVED WITH CONDITIONS

This set of plans and specifications must be at the jobsite during construction

Stormwater Observation Report (SOR) is required prior to issuance of Certificate of Occupancy or final sign off.

Total Pages \_\_\_\_\_

Digitally Signed By: S. Garc Date: 2/5/2025  
Department of Public Works - Bureau of Sanitation  
Watershed Protection Division

City of Los Angeles, Department of Building & Safety  
**DISABLED ACCESS APPROVED PLANS**

By: NORLITO MEBRANO, CAS Date: 09/16/2024  
Certificate No: 1507-000663 Application No/Permit No.: 23010-10002-04257

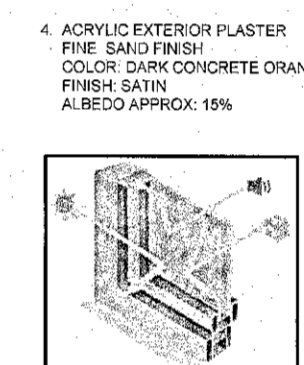
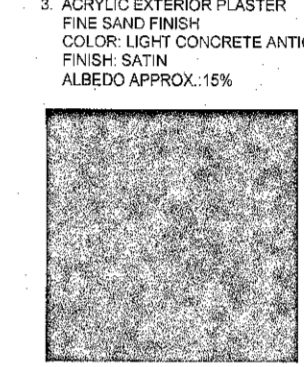
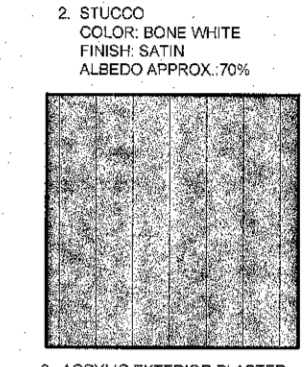
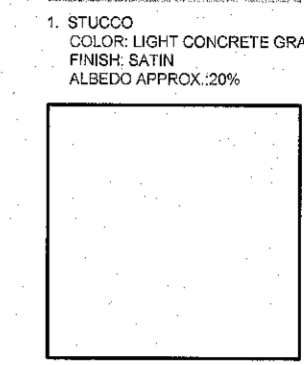
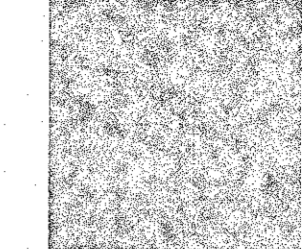
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**PLANS APPROVED**  
City of Los Angeles  
Department of City Planning

DATE: 09/09/2025 PAGE NO. 15 of 22  
POSTING: 23010-10000-04257  
CASE NO: ADM-2024-4615-DB-ED1-VHCA  
PLANNER: Yingshi Huang



MATERIALS,  
TEXTURES AND COLORS



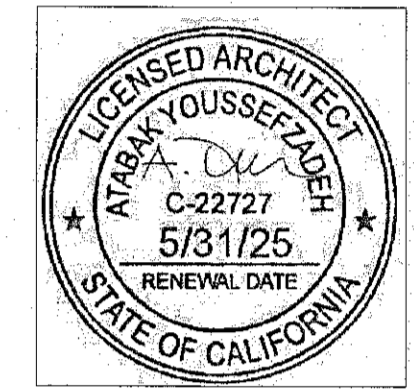
**METROPOLIS ARCHITECTURE**

1401 WESTWOOD BLVD., #320  
LOS ANGELES, CA 90024  
EMAIL: ATABAK80@GMAIL.COM  
TEL: (310)-503-7123

**OWNER:**

GFV AFFORD LLC

**ARCHITECT:**



METROPOLIS ARCHITECTURE

**PROJECT:**

5-STORY  
AFFORDABLE HOUSING  
665 E ADAMS AVE.  
LOS ANGELES, CA 90011

**PROJECT INFO:**

PROJECT #	897-24-002A
PERMIT APP #	
DRAWN BY	AK
CHECKED BY	AY
DATE	05.29.2024

**ISSUED / REVISIONS**

No.	Date	Item
		SCHEMATIC DESIGN
		LADBS - ZONING REVIEW
		50% DESIGN DEVELOPMENT
		100% DESIGN DEVELOPMENT
		50% CONSTRUCTION DOCUMENT
		PLAN CHECK SUBMITTAL
		100% CONSTRUCTION DOCUMENT

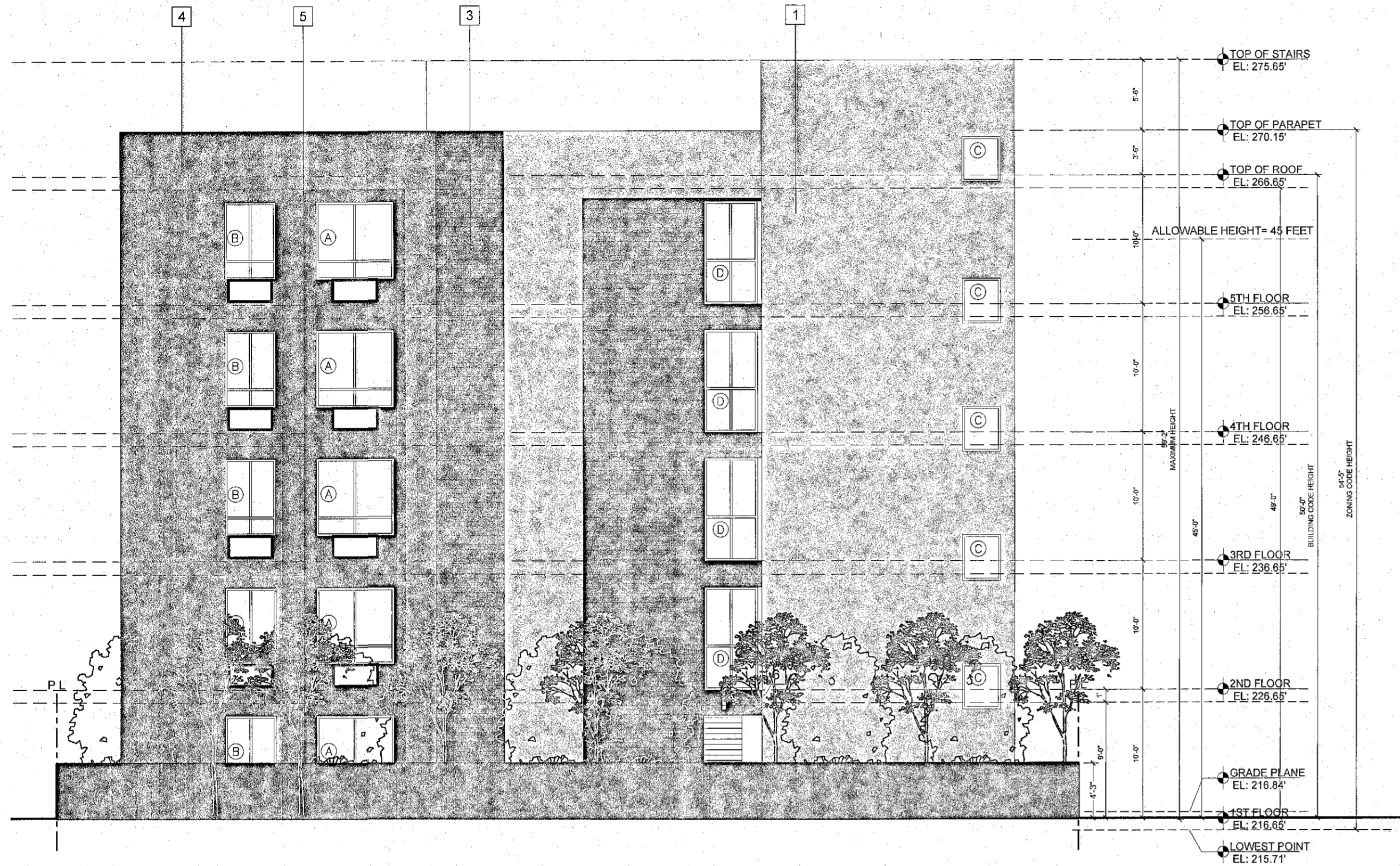
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**PLAN CHECK**

SHEET TITLE  
ELEVATIONS

SHEET NUMBER

A5.1



1 NORTH ELEVATION

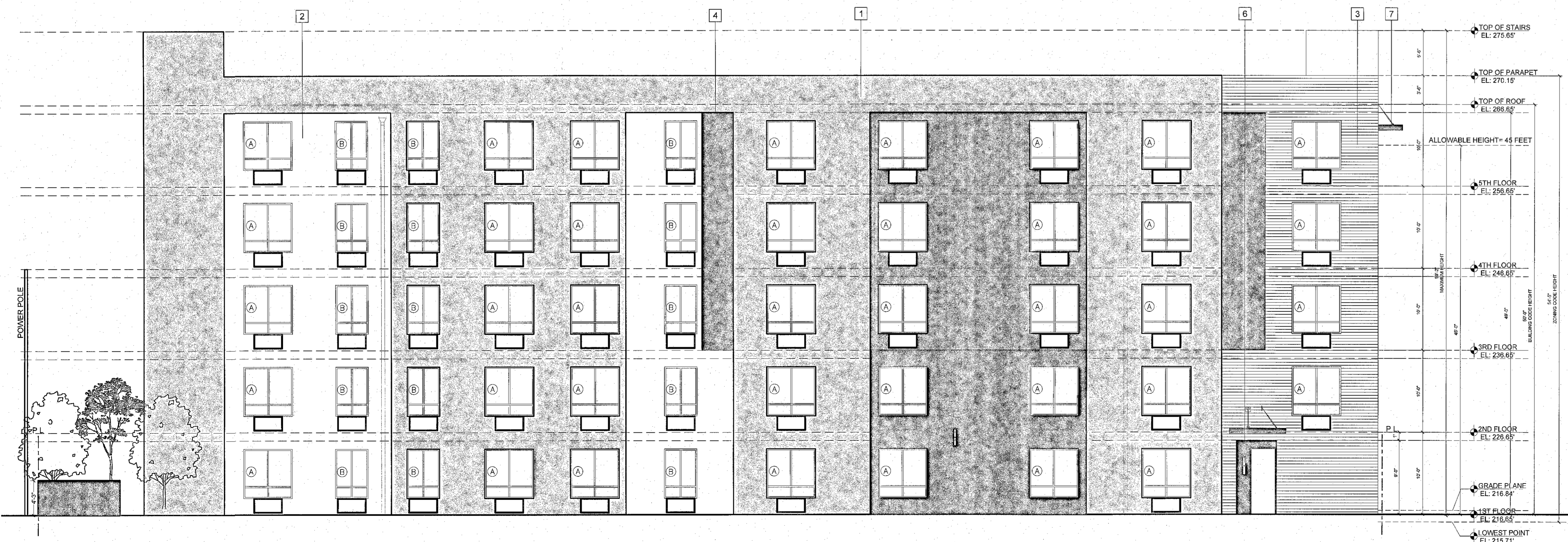
SCALE: 1/8"=1'-0"

NOTE : All downspouts to drain into CUB pervoid planter. See civil plans for continuation  
- All roof runoff to drain to CUB pervoid planter.

TABLE 705.8

FIRE SEPARATION DISTANCE	FLOOR	OPENING SQ. FT PER FLOOR	WALL SQ. FT	PERCENTAGE	ALLOWABLE AREA
5' TO LESS THAN 10'	1ST	(D**)*24 + 15(W*A)*16 = 184	140' X 10 = 1400	13%	25%
5' TO LESS THAN 10'	2ND	(W*D)*12 + 10(W*A)*16 = 172	140' X 10 = 1400	12%	25%
5' TO LESS THAN 10'	3RD	(W*D)*12 + 10(W*A)*16 = 172	140' X 10 = 1400	12%	25%
5' TO LESS THAN 10'	4TH	(W*D)*12 + 10(W*A)*16 = 172	140' X 10 = 1400	12%	25%
5' TO LESS THAN 10'	5TH	(W*D)*12 + 10(W*A)*16 = 172	140' X 10 = 1400	12%	25%

PROTECTED / SPRINKLERED  
W = Window  
D = Door



2 WEST ELEVATION

SCALE: 1/8"=1'-0"

TABLE 705.8

FIRE SEPARATION DISTANCE	FLOOR	OPENING SQ. FT PER FLOOR	WALL SQ. FT	PERCENTAGE	ALLOWABLE AREA
5' TO LESS THAN 10'	1ST	9(W*A)*16 = 144	115' X 10 = 1150	13%	25%
5' TO LESS THAN 10'	2ND	9(W*A)*16 = 144	115' X 10 = 1150	13%	25%
5' TO LESS THAN 10'	3RD	9(W*A)*16 = 144	115' X 10 = 1150	13%	25%
5' TO LESS THAN 10'	4TH	9(W*A)*16 = 144	115' X 10 = 1150	13%	25%
5' TO LESS THAN 10'	5TH	9(W*A)*16 = 144	115' X 10 = 1150	13%	25%

PROTECTED / SPRINKLERED  
W = Window  
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**PROJECT INFO:**

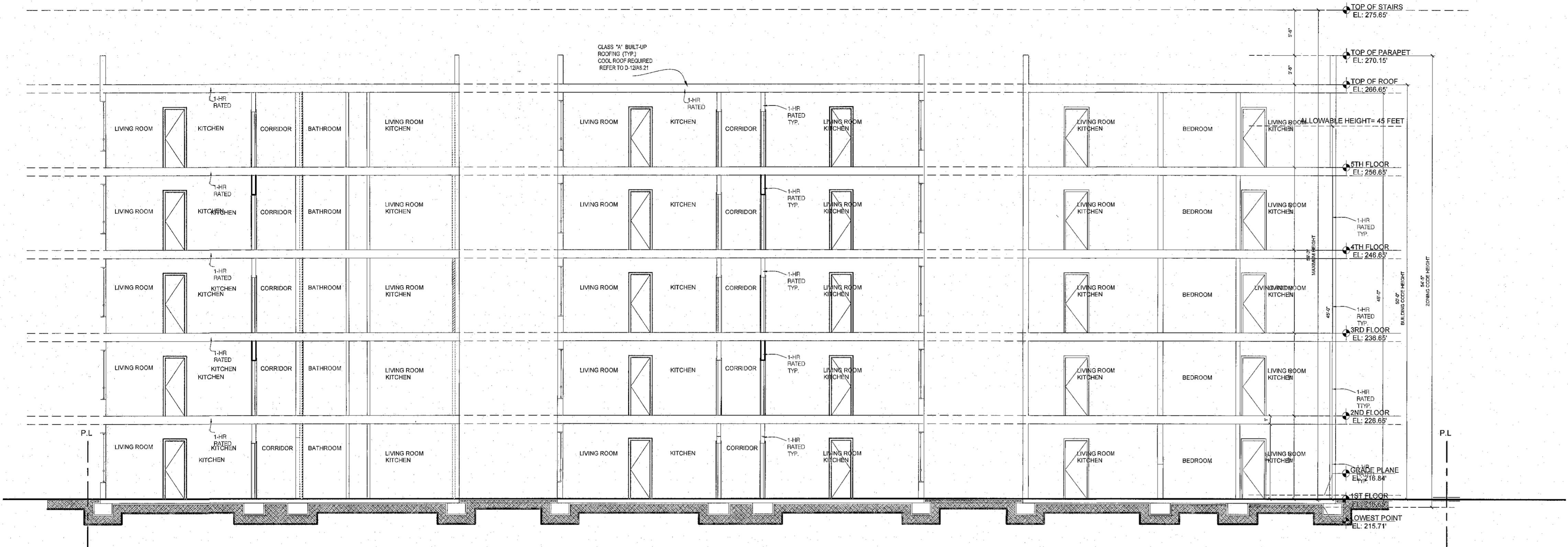
PROJECT #	897-24-002A
PERMIT APP #	
DRAWN BY	AK
CHECKED BY	AY
DATE	05.29.2024

**ISSUED / REVISIONS**

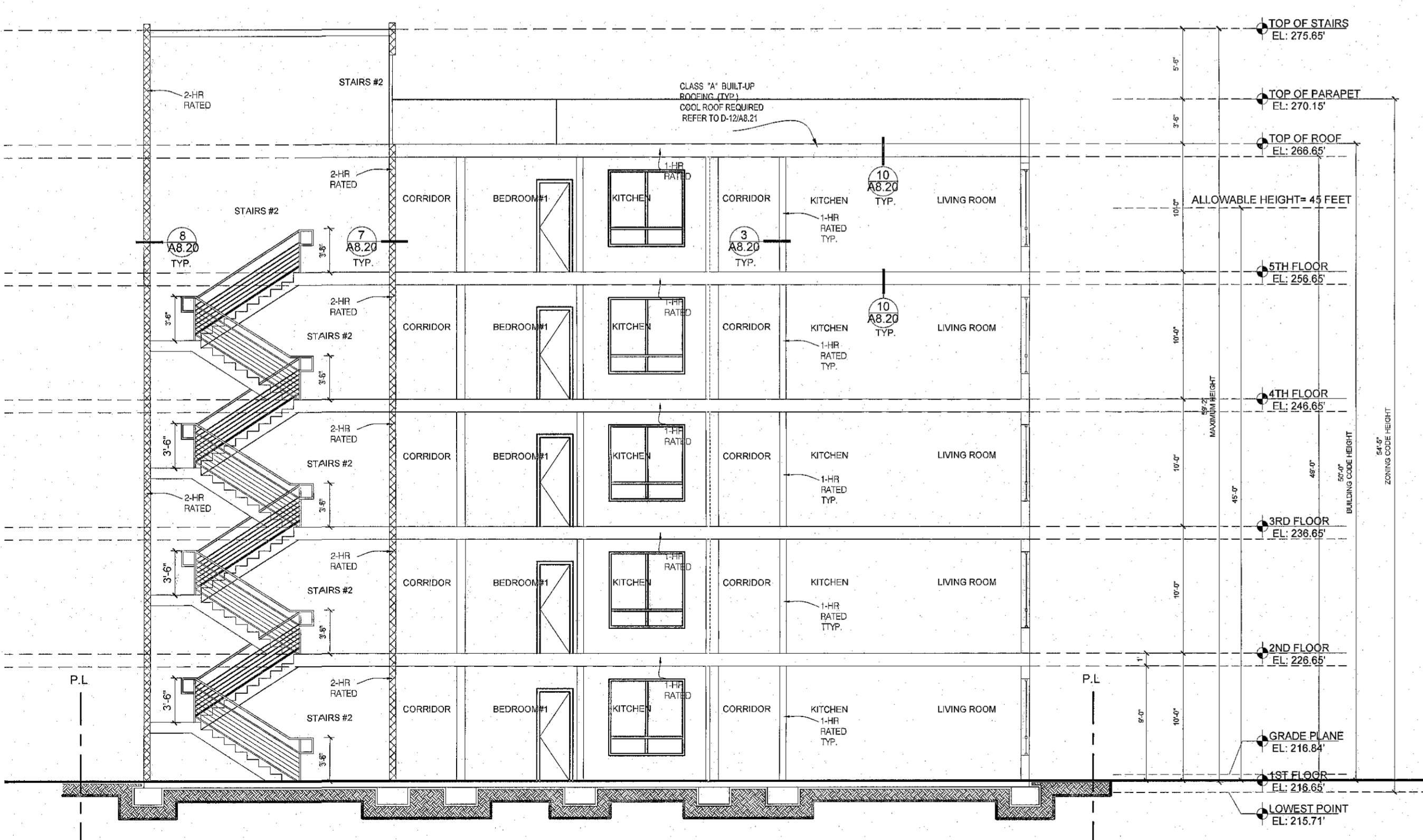
No.	Date	Item
		SCHEMATIC DESIGN
		LADBS - ZONING REVIEW
		50% DESIGN DEVELOPMENT
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<b>PLAN CHECK</b>
SHEET TITLE SECTIONS
SHEET NUMBER <b>A6.0</b>



**1 SECTION A**  
 SCALE: 1/8"=1'-0"



**2 SECTION B**  
 SCALE: 1/8"=1'-0"

**PLANS APPROVED**  
 City of Los Angeles  
 Department of City Planning

DATE: 09/09/2025 PAGE NO. 16 of 22  
 PERM NO: 23010-10000-04257  
 CASE NO: ADM-2024-4615-DB-ED1-VHCA  
 PLANNER: Yingshi Huang

