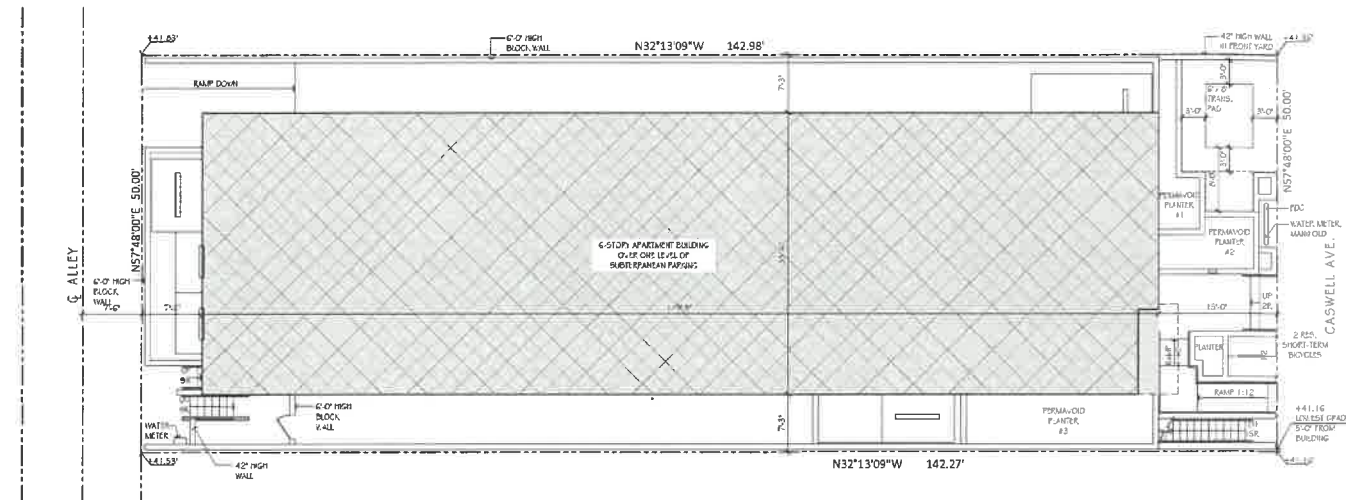


# 12761 CASWELL AVENUE APARTMENT DEVELOPMENT



**1 PLOT PLAN**  
SCALE: 1/8" = 1'-0"



**4 FIRE HYDRANT LOCATION**  
SCALE: N.T.S.

- TEMPORARY PROVISIONAL PROTECTION SHALL BE PROVIDED AS REQUIRED PER SEC. 3100. OBTAIN PUBLIC WORKS APPROVAL.
- THE BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT WIRELESS PULSAR NOTIFICATION APPLICABLE TO ACCORDANCE WITH IFC 712.
- ALL DOOR OPENINGS AND AREA OPENINGS OPEN TO THE SKY SHALL DISCHARGE INTO DRAIN DEVICES PER IFC PLANS.
- ALL TRASH BINS SHALL BE COVERED.
- THE BUILDING SHALL BE PROVIDED WITH ALL ELECTRICAL APPLIANCES/DEVICES PER IFC 1077.1.4.

- AT LEAST 50% OF HARDSCAPE MATERIAL FOR PATHWAYS, PATIOS, DECKINGS AND OTHER PAVED AREAS SHALL HAVE AN METAL SOLAR REFLECTANCE OF AT LEAST 0.10.
- SITE AREA = 7,114.5 SF
- BUILDING FOOTPRINT AREA (B.F.P.) = 4,252.5 SF
- PLANTERS & SOIL-GROUND PLANTING = 4,561.5 SF
- PERMANENT PAVING & CONCRETE = 2,250 SF
- SCALE OF 2,250 SF = 1,125 SF
- UNCOLORED CONCRETE DRIVEWAY, PAVING AND RAMP = 1,400 SF > 1,149 SF REQUIRED

- Deferred Submittals**
- DEMOLITION
  - GRADING
  - SHEDDING
  - GLASS PAIR
  - WPA-13 FIRE SENSITIZERS
  - FIRE ALARM SYSTEM PER SEC. 507 AND MONITORING
  - DATA CENTER RESPONSE RATIO COVERAGE SYSTEM
  - MEP
  - SOLAR PHOTOVOLTAIC SYSTEM
  - CEILING FILL
  - BLIND FENCE WALLS
  - 5-GAS

**Project Team**

OWNER	RCI DEVELOPS CASWELL AP, LLC 17500 WINDMILL AVENUE, APT. A LOS ANGELES, CA 90024 (310) 472-4545	SURVEYOR	MAU CIVIL ENGINEERING AND LAND SURVEYING 3475 S. BURBANK BLVD. BIRDMOUNTAIN, CA 90001 (310) 453-0771
LAND USE CONSULTANT	MATTHEW HAYDEN HAYDEN PLANNING 10100 W. VENTURA BLVD. LOS ANGELES, CA 90024 (310) 614-2824	METHEORICAL PLUMBING AND MECHANICAL ENGINEER	YING EDJAZIZ 1600 SANFELICE BLVD #200 LOS ANGELES, CA 90025 (310) 445-21-14
DESIGNER	ARMA DESIGN GROUP, LLC 12133 VINCENT BLVD SUITE 200 STUDIO CITY, CA 91604 (310) 273-0220	ELECTRICAL	MARVIN ASSOCIATES 1713 STANBURY AVE GLENDALE, CA 91201 (626) 457-0330
ARCHITECT OF RECORD	ROBERT JAMES TAYLOR ARCHITECTS 1416 SHAW DR GLENDALE, CA 91201 (626) 247-3495		
STRUCTURAL ENGINEER	MARSHALL DESIGN ASSOCIATES, INC 17500 WINDMILL BLVD # 213A STUDIO CITY, CA 91611 (818) 744-5571		
LANDSCAPE ARCHITECT	NEC DESIGN COURTNEY STUDIO, LLC 1335 S. 2ND STREET DR., #445 SHEWAN PARK, CA 91463 (714) 717-1450		

**Sheet Index**

T-1.0	TITLE SHEET & PLOT PLAN
T-1.1	OPEN SPACE DIAGRAM
T-1.5	ZONING AREA DIAGRAM
T-2.0	DATE PLOT INFORMATION
A-2.0	F1 - PARKING PLAN
A-2.1	FIRST FLOOR PLAN
A-2.2	SECOND FLOOR PLAN
A-2.3	THIRD FLOOR PLAN
A-2.4	FOURTH FLOOR PLAN
A-2.5	FIFTH FLOOR PLAN
A-2.6	SIXTH FLOOR PLAN
A-2.7	ROOF PLAN
A-3.0	ELEVATION
A-3.1	ELEVATION
A-3.2	ELEVATION
A-4.0	SECTION
A-4.1	SECTION
A-4.2	SECTION
A-5.0	PERSPECTIVE
A-5.1	PERSPECTIVE
C-1.0	TOPOGRAPHIC SURVEY

**EXHIBIT "A"**  
Page No. 1 of 25  
Case No. CPC-2024-8031-DB-CU3-HCA

**Project Information**

PROJECT SITE: 12761 CASWELL AVE, LOS ANGELES, CA 90025  
 LEGAL DESCRIPTION: LOT 130 OF THE MAP TITLED "THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED UNDER BOOK 10, PAGE 76"  
 ASSASSINATED PARCEL NO.: 42742-01-001  
 TRACT: 11 (1815) 1073  
 TRACT MAP: DEL MAR  
 MAP REFERENCE: M 10 TO T4  
 BLOCK: NOMP  
 LOT: 130  
 MAP SHEET: 11 (1815)  
 FIRE DISTRICT: 42  
 SPECIFIC PLAN REF.: LOS ANGELES LOCAL TRANSPORTATION CODEBOOK  
 DESIGN REVIEW: NONE

**Applicable Codes**

- BUILDING CODE: 2022 CBC WITH 2023 LA CITY AMENDMENTS (INCL. ACCESSIBILITY)
- STRUCTURAL CODE: 2022 CBC WITH 2023 LA CITY AMENDMENTS (INCL. ACCESSIBILITY)
- FIRE CODE: 2022 CFC WITH 2023 LA CITY AMENDMENTS
- METHEORICAL CODE: 2022 CA METHEORICAL CODE WITH 2023 LA CITY AMENDMENTS
- PLUMBING CODE: 2022 CA PLUMBING CODE WITH 2023 LA CITY AMENDMENTS
- ELECTRICAL CODE: 2022 CA ELECTRICAL CODE WITH 2023 LA CITY AMENDMENTS
- MERCHANDISE CODE: 2022 CA MERCHANDISE CODE
- GREEN CODE: 2022 CEC OF LA GREEN BLDG. CODE

**Zoning Code Analysis**

PROJECT DESCRIPTION: NEW 6-STORY FULLY SPREAD 2-LEVEL APARTMENT BUILDING, 5 LEVELS OF TYPE B/A, 16 100% FINISHED APARTMENTS, CYBER 1 LEVEL OF TYPE B/A, RESIDENTIAL PARKING AND RESIDENTIAL JERRY AND ONE LEVEL OF SUBROOFING WITH PARKING TIER 1-A. THE BUILDING WILL BE A DIVERSIFIED PROJECT WITH 2-LEVEL LOW RISE UNITS (2 UNITS) OUT OF 16 TOTAL.

PROJECT FINDING: PROJECT IS 100% FINANCIALLY FUNDED. THIS IS NOT FINANCING FACILITIES OWNED AND/OR OPERATED BY, FOR OR ON BEHALF OF A PUBLIC ENTITY AND NO GRANT, FUND OR RECEIVED FROM STATE OR FEDERAL.

- ZONING:** R3-1
- LOW AREA:** LGF AREA = 7,114.5 SF PER 2014-5
- LEGISL:** LGF AREA 7,114.5 SF + 375 SF (ALLEY) = 7,489.5 SF. 7,489.5 SF / 800 = 9.4 (ROUND UP) = 10 UNITS ALLOWED PER DENSITY BONUS.
- FAC:** BUILDABLE AREA: (142.25' x 15' FT.) + (7.5' x 15' x 450' - 5.5' x 15' x 3' x 4.8' = 14,370.0 BEFORE DENSITY BONUS.
- DENSITY (PROVIDED):** PER LAHC SEC. 12.22 (2) 35% DENSITY BONUS FOR 11% VERY LOW INCOME EST. AREA. 1) PER LAHC SEC. 12.24 (2) DENSITY CAN BE INCREASED FROM 35% TO 57.5% WITH 20% VERY LOW INCOME UNITS. (EACH 2.5% DENSITY INCREASE PROVIDES 1% TO NET AREA, (1% X 14' x 96.11' = 205.15) 10 UNITS + 27.5 DENSITY BONUS = 15.75 UNITS (ROUND UP) = 16 UNITS TOTAL.

RESIDENTIAL AUTONOMOUS PARKING PER AB 2077: RESIDENTIAL PARKING SPACES REQUIRED = 0

RESIDENTIAL PARKING SPACES PROVIDED = 14 STAMENS, 1 ADA AND 5 CONTACT (20 TOTAL) (SEE CHART BELOW)

PARKING WILL BE ASSIGNED TO CYBER PARKING REQUIRED OR PROVIDED RESIDENTIAL E.V. 35% OF TOTAL NON-ADA PARKING SHALL BE "E.V. CYBER", 25% OF THE TOTAL REQUIRED NON-ADA PARKING SHALL BE "E.V. READY", AND 10% OF PROVIDED PARKING SHALL BE "E.V. CHANGING STATIONS". THE NUMBER OF E.V. CHANGING STATIONS CAN BE COUNTER TO THE TOTAL NUMBER OF E.V. REQUIRED SPACES.

TOTAL NON-ADA RESIDENTIAL PARKING PROVIDED = 19  
 E.V. CHANGING STATION (19) = 19 x 0.25 x 19 = 5  
 E.V. READY (19) = 19 x 0.25 x 19 = 5  
 E.V. CHANGING STATION (E.V.C.S.) 10% OF 19 = 0.1 x 19 = 1.9 = 2  
 THEREFORE, 5 "E.V. READY" AND 2 "E.V. C.S." NON-ADA PARKING SPACES ARE REQUIRED PER APPROVAL.

**PARKING SUMMARY**

LEVEL	RES. STD.	FES. ACC.	RES. COMP.	TOTAL
F1	10	0	0	10
F2	4	0	0	4
TOTAL	14	0	0	14

2) AFTERGRAND HOLDING: 20% VERY LOW INCOME (AB) 11% PER 35% DENSITY BONUS + PER ADDITIONAL COPY OF 10 DASH UNITS = 21.4

3) ON-SITE BICYCLES: 1) PER 12.22 (2) (1) YARD SETBACK, 20% INCREASE IN THE NORTHWEST SIDE YARD TO ALLOW 7 FEET 3 INCHES IN LEU OF THE OTHERWISE REQUIRED 10 FEET.

2) PER 12.22 (2) (1) YARD SETBACK, 20% INCREASE IN THE SOUTHWEST SIDE YARD TO ALLOW 7 FEET 3 INCHES IN LEU OF THE OTHERWISE REQUIRED 10 FEET.

3) PER 12.22 (2) (1) 10% OPEN SPACE, 20% INCREASE IN THE REQUIRED OPEN SPACE.

4) 15% INCREASE IN THE ASSUMABLE FLOOR AREA RATIO OF 4.0:1 TO LEU OF THE 3:1 FLOOR AREA RATIO PERMITTED BY 12.21 (1). 14,270.0 SF INCREASE IN FEA = 19,290.0 SF INCL. = 19,130.0 PROVIDED

5) REVIEW OF DEVELOPMENT STANDARDS: 1) HEIGHT INCREASES UP TO 67'-0" IN RATELAD OF THE 45'-0" ALLOWED PER SECT. 12.1.1

6) PROPOSED LINES: 1) ONE BEDROOM UNITS 10) THREE BEDROOM UNITS 16) TOTAL PROPOSED = 16 UNITS

7) RESIDENTIAL DATA

LEVEL	BUILDING CODE		TOTAL	ZONING CODE	SCHOOL CODE
	RES.	B			
F1 PARKING LEVEL	8,460	6,028	6,368	202 SF	0 SF
FIRST FLOOR	792	214	5,079	325 SF	315 SF
SECOND FLOOR	3,340	347	3,912	3,653 SF	3,354 SF
THIRD FLOOR	3,470	504	3,943	3,733 SF	3,434 SF
FOURTH FLOOR	3,790	547	3,948	3,733 SF	3,434 SF
FIFTH FLOOR	3,790	547	3,948	3,733 SF	3,434 SF
SIXTH FLOOR	3,790	547	3,948	3,733 SF	3,434 SF
TOTAL BLDG AREA PER OCC.	17,620	2,906	11,126		
TOTAL BLDG AREA			\$1,661,817	15,130 SF	17,429 SF

8) YARDS: FRONT YARD: 15'-0" SIDE YARD: 7'-3" REAR YARD: 15'-0" FROM CENTER OF ALLEY

9) NUMBER OF STORY LEVELS: 6 STORIES PER ZONING CODE 6 STORIES PER BUILDING CODE (5 STORIES ABOVE FOOTING DECK)

10) ZONING CODE HEIGHT: LOWEST POINT 5'-0" FROM BUILDING = 41' 10" FINISHES = 100' 10", THEREFORE ZONING CODE HEIGHT = 67'-00" = 67'-0"

11) BUILDING CODE HEIGHT: GRADE PLANE = 41.47', TOP OF DECK (ROOF) = 106.33', THEREFORE THE BUILDING CODE HEIGHT = 64.86' = 64'-10"

**UNIT SUMMARY**

UNIT NUMBER	SEVERAL PER UNIT	INDIVIDUAL PER UNIT	UNIT AREA	NUMBER OF UNITS	TOTAL
201	3	4	1,094 SF	1	1,094 SF
203, 403, 503, PHW1	2	2	535 SF	4	2,140 SF
205	3	4	542 SF	1	542 SF
301, 401, 501, PHW1	3	4	1,107 SF	4	4,428 SF
303	2	3	574 SF	1	574 SF
304, 404, 504, PHW1	3	4	994 SF	4	3,976 SF
PHW2	2	2	547 SF	1	547 SF
TOTAL				16 UNITS	13,704 SF

\* HARBORABLE TOWER COUNT IS FOR OPEN SPACE PURPOSES (PARKING AREAS EXCLUDED)

OPEN SPACE REQUIRED: 5 1 BEDROOMS = 100 SF = 500 SF  
 1 2 BEDROOMS = 125 SF = 125 SF  
 10 3 BEDROOMS = 175 SF = 1,750 SF  
 2,375 SF

2,375 SF LESS 20% REDUCTION PER DENSITY BONUS REDUCTION = 2,375 x 0.80 = 1,900 SF REQUIRED

25% OF REQUIRED OPEN SPACE CAN BE ACCREDITED BY ROOMS = 0.25 x 1,900 = 475 SF

PRIVATE OPEN SPACE: 4 BALCONIES/DECKS = 50 SF  
 COMMON OPEN SPACE: 1600 SF (600 SF) - 175 SF (COUNTED) = 1,425 SF  
 TOTAL: 1,425 SF

TOTAL OPEN SPACE PROVIDED = 1,900 SF > TOTAL OPEN SPACE REQUIRED = 1,900 SF

1,900 SF OF REQUIRED OPEN SPACE (1,900 SF) OF PRIVATE OPEN SPACE AND 475 SF OF INDOOR COMMON SPACE, 1,425 SF OF REQUIRED COMMON OPEN SPACE, 25% OF 1,425 SF TO BE PROVIDED = 356 SF < 310 SF PROVIDED (PLANTERS AT ROOF DECK SEE SHEET T-1.2)

TREES: ONE 2" P.O.D. TREE PER 4 UNITS SO 4 TREES REQUIRED AND PROVIDED

BICYCLE PARKING: PER ORDINANCE NO. 165480

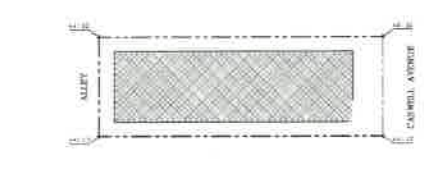
RESIDENTIAL BICYCLE PARKING: LONG TERM: 1 PER UNIT  
 TOTAL LONG TERM: 16

SHORT TERM: 1 PER 10 UNITS  
 TOTAL SHORT TERM: 2

TOTAL LONG TERM REQUIRED = TOTAL LONG TERM PROVIDED = 16  
 TOTAL SHORT TERM REQUIRED = TOTAL SHORT TERM PROVIDED = 2

GRADE PLANE CALCULATION: (41.10' + 41.53' + 41.83' + 41.30') / 4 = 41.47'

**2 GRADE PLANE DIAGRAM**  
SCALE: 1/8" = 1'-0"



**3 VICINITY MAP**  
SCALE: N.T.S.



MIKA design group

CASWELL APARTMENTS  
12761 CASWELL AVE.  
LOS ANGELES, CA 90025

TITTLE SHEET  
PLOT PLAN

ISSUED FOR:	PLANNING
DATE:	06.06.25
REV:	

PROJECT: CASWELL

T-1.0