

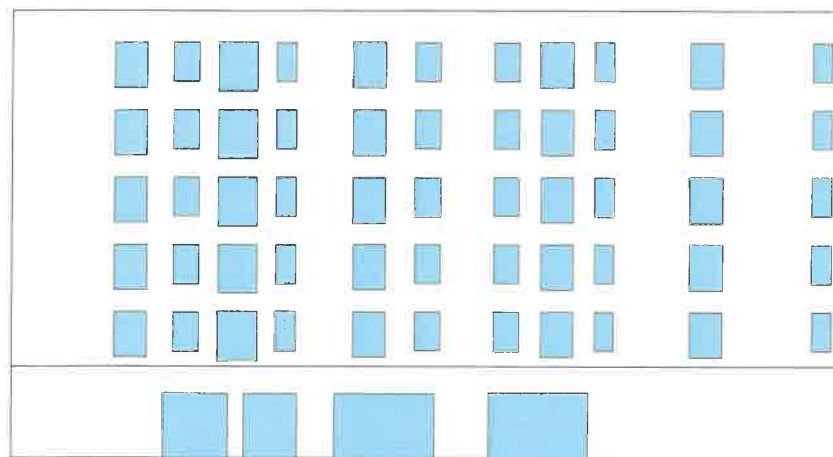
EXTERIOR WALL STUCCO CALCULATION (NORTH ELEVATION)

	FACADE AREA	STUCCO AREA	
TOTAL	9,085 sf	3,827 sf	42 % < 80%

CPIO REQUIREMENT:

BUILDING MATERIALS.
 (A) PROJECTS SHALL UTILIZE TWO OR MORE HIGH-QUALITY BUILDING MATERIALS AND TREATMENTS ON BUILDING EXTERIORS SUCH AS BRUSHED ALUMINUM, BRICK, FINISHED WOOD, OR "SANTA BARBARA" SMOOTH FINISH STUCCO.
 (B) THE FOLLOWING MATERIALS ARE PROHIBITED: STYROFOAM PLANT-ONS AND ROUGH TEXTURE STUCCO (SUCH AS, LACE, HEAVY DASH, TUNNEL DASH, HEAVY SAND FLOAT).
 (C) THE PRIMARY FRONTAGE MAY BE COMPRISED OF NO MORE THAN 80 PERCENT STUCCO.

3 CPIO BUILDING MATERIAL
 SCALE: 3/32"=1'-0"



EXTERIOR WALL GLAZING CALCULATION (NORTH ELEVATION)

	FACADE AREA	OPENING AREA	
OTHER FLOOR	7,229 sf	1,555 sf	21 %
GROUND FLOOR	1,856 sf	497 sf	26 %

CPIO REQUIREMENT:

BUILDING DESIGN. IN ADDITION TO ANY REGULATIONS SET FORTH BY THE UNDERLYING ZONE AND THE LAMC, PROJECTS WITH NEW CONSTRUCTION OR ADDITIONS SHALL COMPLY WITH THE FOLLOWING BUILDING DESIGN REGULATIONS:
 1. GLAZING.
 (a) IN SUBAREAS B, C AND D, THE GROUND FLOOR PRIMARY FRONTAGE SHALL HAVE A MINIMUM OF 25 PERCENT CLEAR TRANSPARENT GLAZING (SUCH AS, WINDOWS AND DOORS). THE OTHER FLOORS OF THE PRIMARY FRONTAGE SHALL HAVE A MINIMUM OF 15 PERCENT CLEAR TRANSPARENT GLAZING, INCLUSIVE OF ALL OF THOSE FLOORS. ALL OTHER BUILDING FACADES FACING PUBLIC STREETS SHALL HAVE A MINIMUM OF 15 PERCENT CLEAR TRANSPARENT GLAZING.

2 CPIO GLAZING COMPLIANCE
 SCALE: 3/32"=1'-0"



1 NORTH ELEVATION
 SCALE: 3/16"=1'-0"

JPA

JYPARK ARCHITECTS

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TITLE
1436 JEFFERSON LA

10512 W. PICO BLVD., SUITE 313
 LOS ANGELES, CA 90064

TITLE

**1436 W. JEFFERSON BLVD. MULTI-UNIT
 NEW DENSITY BONUS 60 UNITS APARTMENT**
 1436 W. JEFFERSON BLVD., LOS ANGELES, CA 90007

REVISIONS

NO.	DATE	BY
1	02/15/2024	JYP
2	02/20/2024	JYP
3	02/20/2024	JYP
4	02/20/2024	JYP

PROJECT DATA
 PROJECT NUMBER: 22-08
 DATE: 02/15/2024
 DRAWN BY: JYP
 CHECKED BY: JYP
 APPROVED BY: JYP

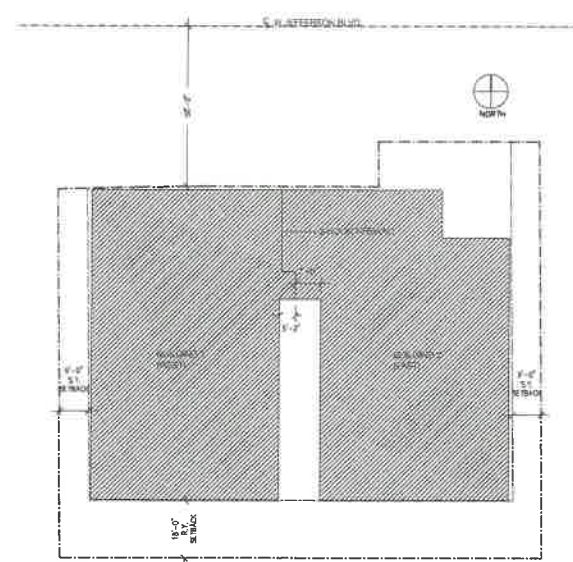
SCALE: 3/16"=1'-0"

SHEET NAME
BUILDING ELEVATION

SHEET NUMBER

A4.01

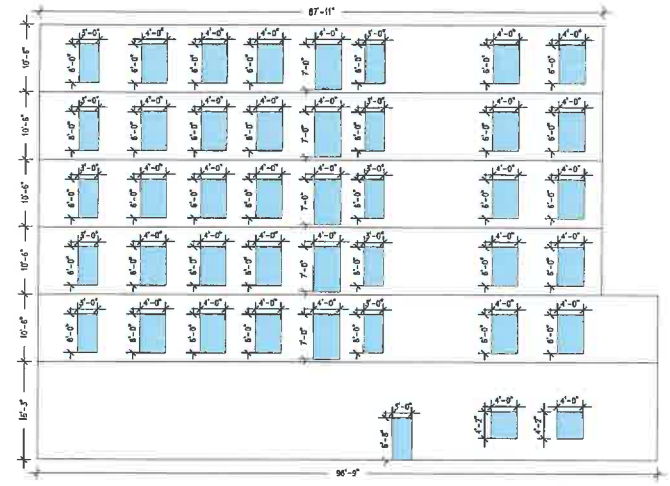
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**TABLE 705.8
MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION**

	UP, S ALLOWABLE AREA
5' TO LESS THAN 10'	25%
10' TO LESS THAN 15'	45%
15' TO LESS THAN 20'	75%
30' OR GREATER	NO LIMIT

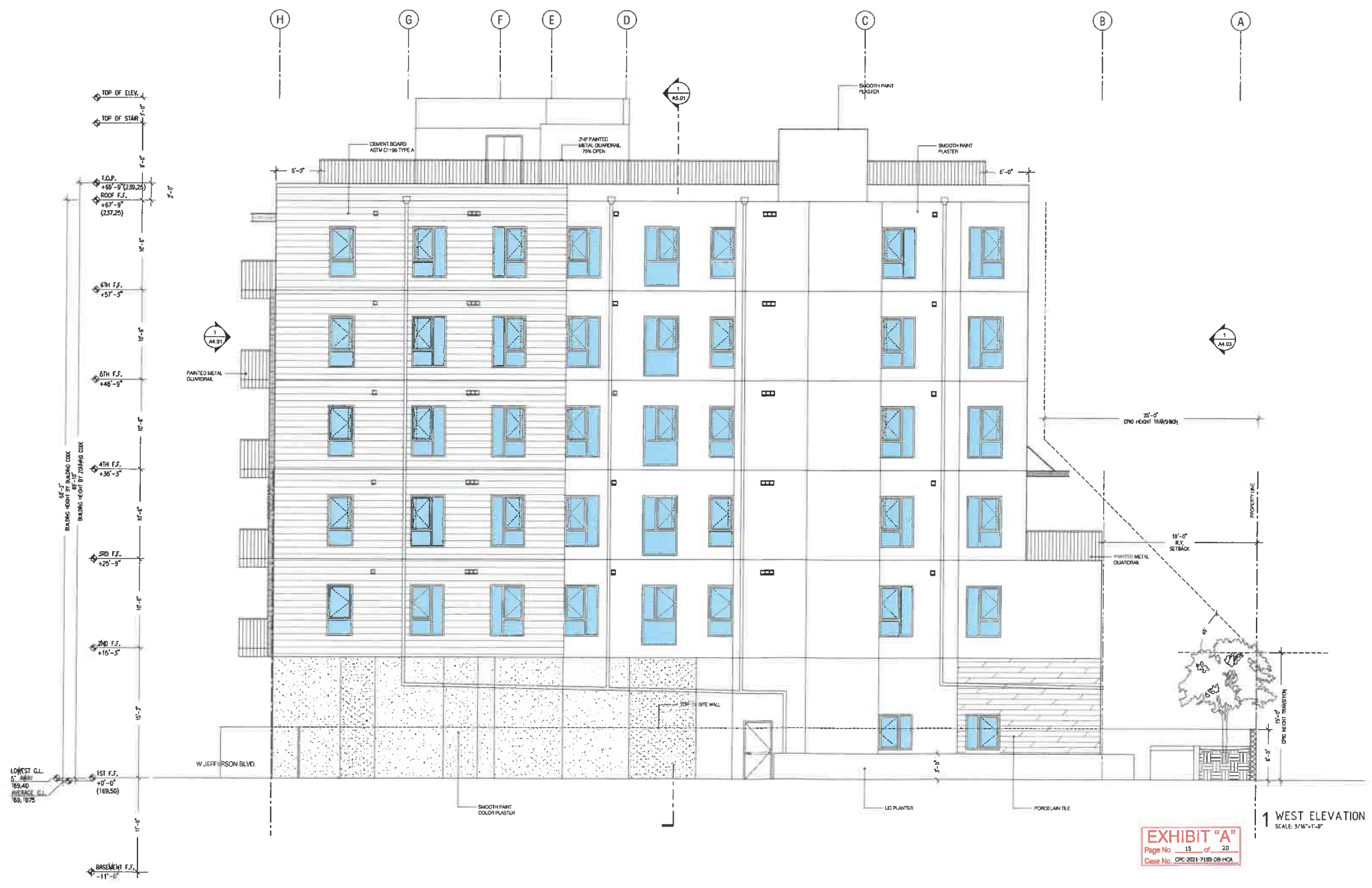
UP, NS = UNPROTECTED OPENINGS IN BUILDINGS NOT EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.
 UP, S = UNPROTECTED OPENINGS IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.
 P = OPENINGS PROTECTED WITH AN OPENING PROTECTIVE ASSEMBLY IN ACCORDANCE WITH SECTION 705.8.2.



EXTERIOR WALL OPENING CALCULATION (WEST ELEVATION)

	FACADE AREA	OPENING AREA	
6TH FLOOR	923 sf	184 sf	20 % < 25%
5TH FLOOR	923 sf	184 sf	20 % < 25%
4TH FLOOR	923 sf	184 sf	20 % < 25%
3TH FLOOR	923 sf	184 sf	20 % < 25%
2RD FLOOR	1,016 sf	184 sf	18 % < 25%
GROUND	1,475 sf	54 sf	4 % < 25%

1. WEST SIDE YARD SETBACK 9'-0"
2. WEST ELEVATION OPENING AREA
SCALE: 3/32"=1'-0"



1 WEST ELEVATION
SCALE: 3/16"=1'-0"

JPA

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**1436 W. JEFFERSON BLVD. MULTI-UNIT
 NEW DENSITY BONUS 60 UNITS APARTMENT**
 1436 W. JEFFERSON BLVD., LOS ANGELES, CA 90007

REVISIONS

NO.	DATE	BY	REVISION
1	08/11/2021	JPA	ISSUE FOR PERMIT
2	08/11/2021	JPA	ISSUE FOR PERMIT
3	08/11/2021	JPA	ISSUE FOR PERMIT
4	08/11/2021	JPA	ISSUE FOR PERMIT

PROJECT DATA

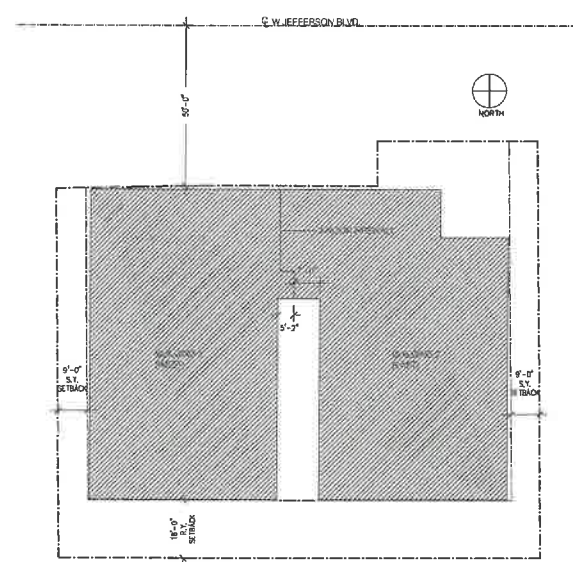
PROJECT NUMBER:	1436
DATE:	08/11/2021
DESIGNED BY:	JPA
CHECKED BY:	JPA
APPROVED BY:	JPA

SCALE
 3/16"=1'-0"

SHEET NAME
BUILDING ELEVATION

SHEET NUMBER

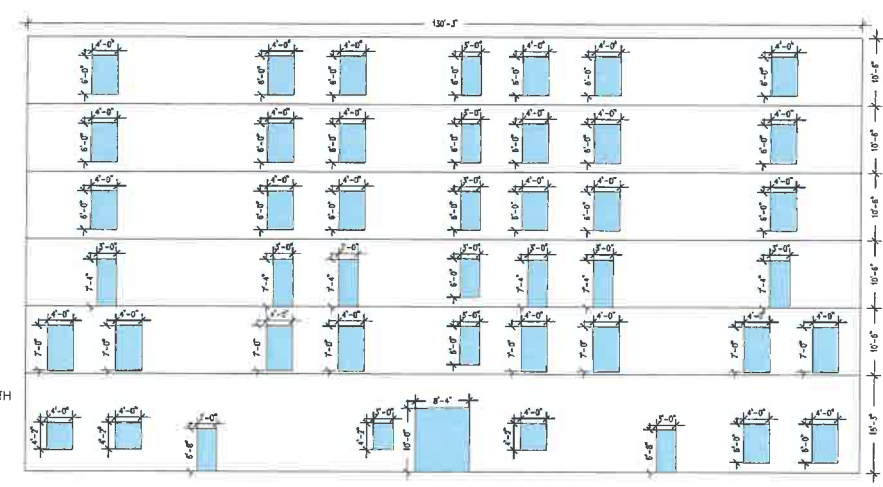
A4.02



**TABLE 705.8
MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION**

	UP, S ALLOWABLE AREA
5' TO LESS THAN 10'	25%
10' TO LESS THAN 15'	45%
15' TO LESS THAN 20'	75%
30' OR GREATER	NO LIMIT

UP, NS = UNPROTECTED OPENINGS IN BUILDINGS NOT EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.
 UP, S = UNPROTECTED OPENINGS IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.
 P = OPENINGS PROTECTED WITH AN OPENING PROTECTIVE ASSEMBLY IN ACCORDANCE WITH SECTION 705.8.2.



**EXTERIOR WALL OPENING CALCULATION
(SOUTH ELEVATION)**

	FACADE AREA	OPENING AREA	
6TH FLOOR	1,368 sf	162 sf	12% < 75%
5TH FLOOR	1,368 sf	162 sf	12% < 75%
4TH FLOOR	1,368 sf	162 sf	12% < 75%
3TH FLOOR	1,368 sf	150 sf	11% < 75%
2RD FLOOR	1,368 sf	242 sf	18% < 75%
GROUND	1,986 sf	234 sf	12% < 75%

1. SOUTH 1ST-2ND LEVEL REAR YARD SETBACK 18'-0"
2. SOUTH 3RD-6TH LEVEL REAR YARD SETBACK 25'-0"



**1 SOUTH ELEVATION
SCALE 3/16"=1'-0"**

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 Case No. CPC-2021-2163-DB-PCA

JPA

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10273 W. PICO BLVD., SUITE 213
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TITLE

**1436 W. JEFFERSON BLVD. MULTI-UNIT
 NEW DENSITY BONUS 60 UNITS APARTMENT**
 1436 W. JEFFERSON BLVD., LOS ANGELES, CA 90007

REVISIONS

NO.	DATE	DESCRIPTION
1	05/11/2024	ISSUE FOR PERMITS
2	05/11/2024	ISSUE FOR PERMITS
3	05/11/2024	ISSUE FOR PERMITS
4	05/11/2024	ISSUE FOR PERMITS

PROJECT DATA

PROJECT NUMBER:	1436
DATE:	05/11/2024
DRAWN BY:	J.P.
CHECKED BY:	J.P.
APPROVED BY:	J.P.

SCALE
 3/16"=1'-0"

SHEET NAME
BUILDING ELEVATION

SHEET NUMBER

A4.03



**1436 W. JEFFERSON BLVD. MULTI-UNIT
 NEW DENSITY BONUS 60 UNITS APARTMENT**
 1436 W. JEFFERSON BLVD., LOS ANGELES, CA 90007

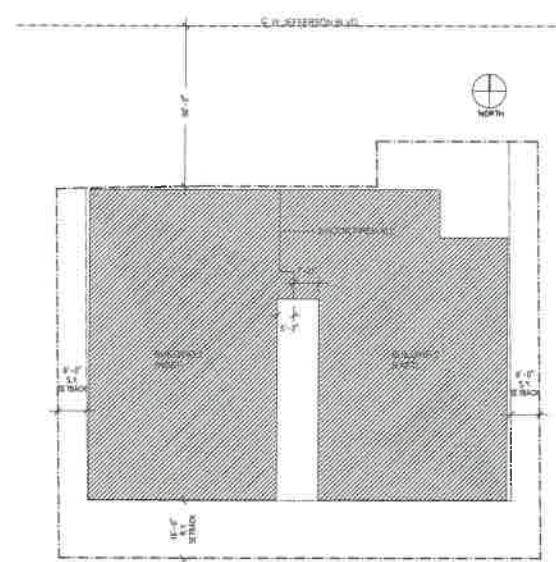
NO.	DATE	BY	REVISIONS
1	05/20/24	JPA	ISSUE FOR PERMITS
2	05/20/24	JPA	ISSUE FOR PERMITS
3	05/20/24	JPA	ISSUE FOR PERMITS
4	05/20/24	JPA	ISSUE FOR PERMITS
5	05/20/24	JPA	ISSUE FOR PERMITS

PROJECT DATA	
PROJECT NUMBER:	24-008
DATE:	05/20/24
DRAWN BY:	JPA
CHECKED BY:	JPA
APPROVED BY:	JPA

SCALE: 3/16"=1'-0"

SHEET NAME: BUILDING ELEVATION

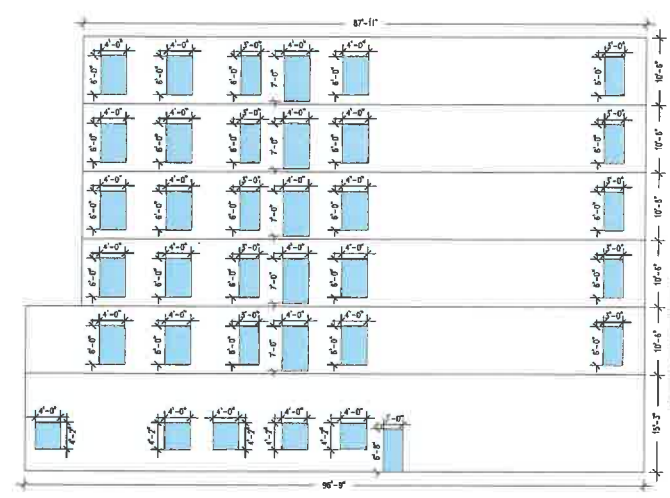
SHEET NUMBER:



**TABLE 705.8
 MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION**

	UP, S ALLOWABLE AREA
5' TO LESS THAN 10'	25%
10' TO LESS THAN 15'	45%
15' TO LESS THAN 20'	75%
30' OR GREATER	NO LIMIT

UP, NS = UNPROTECTED OPENINGS IN BUILDINGS NOT EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.
 UP, S = UNPROTECTED OPENINGS IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.
 P = OPENINGS PROTECTED WITH AN OPENING PROTECTIVE ASSEMBLY IN ACCORDANCE WITH SECTION 705.8.2.



EXTERIOR WALL OPENING CALCULATION (EAST ELEVATION)

FLOOR	FACADE AREA	OPENING AREA	PERCENTAGE
6TH FLOOR	923 sf	136 sf	15% < 25%
5TH FLOOR	923 sf	136 sf	15% < 25%
4TH FLOOR	923 sf	136 sf	15% < 25%
3TH FLOOR	923 sf	136 sf	15% < 25%
2ND FLOOR	1,016 sf	136 sf	14% < 25%
GROUND	1,475 sf	104 sf	7% < 25%

- EAST SIDE YARD SETBACK 9'-0"
- EAST ELEVATION OPENING AREA SCALE: 3/32"=1'-0"

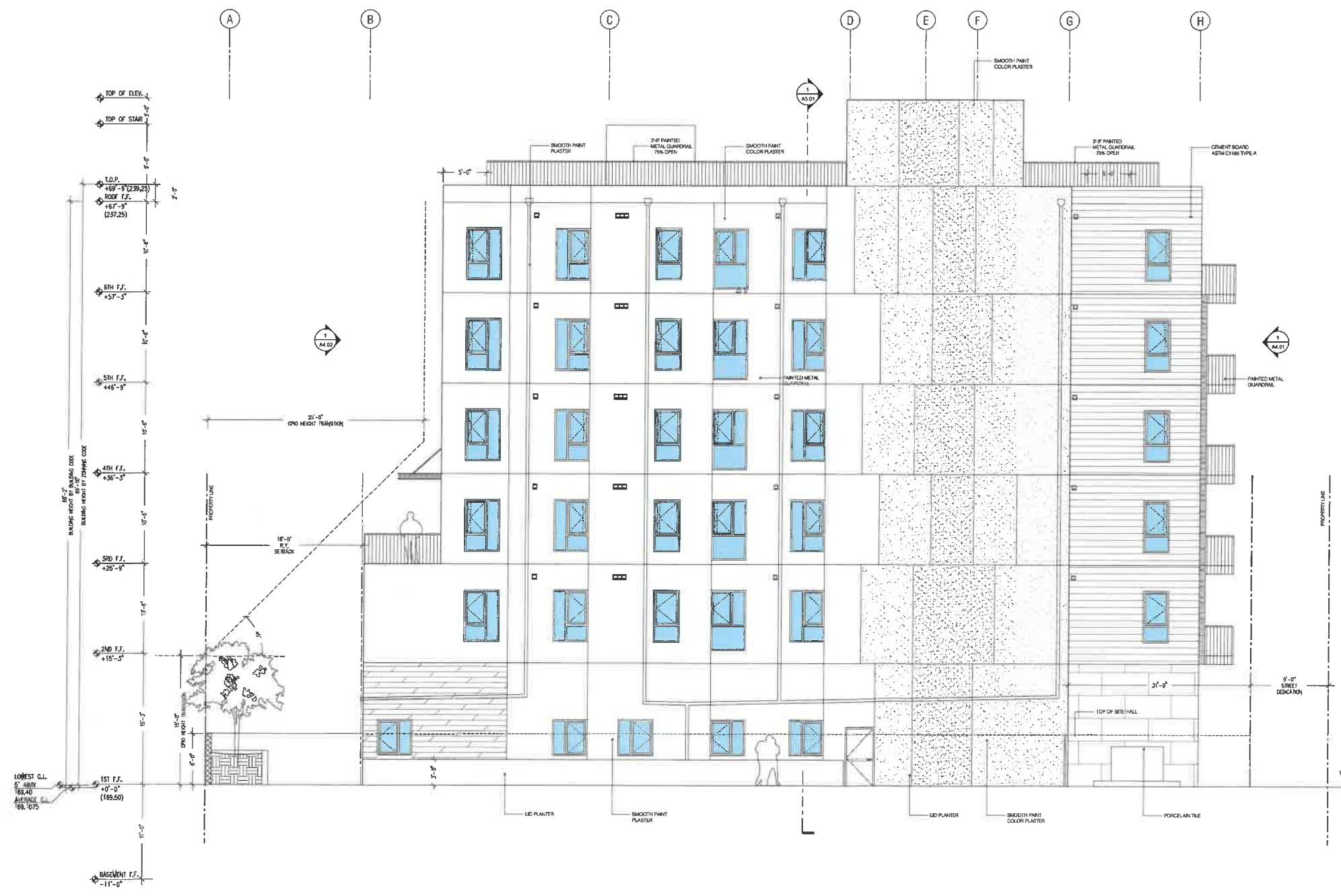


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 Case No. GFC-2021-7163-06-HCA

1 EAST ELEVATION
 SCALE: 3/16"=1'-0"

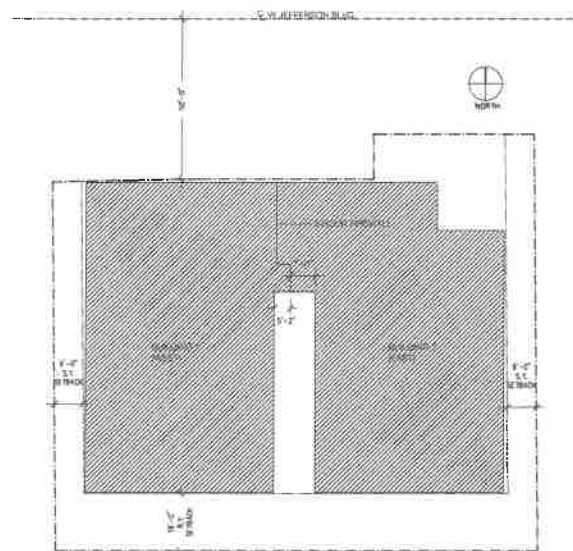
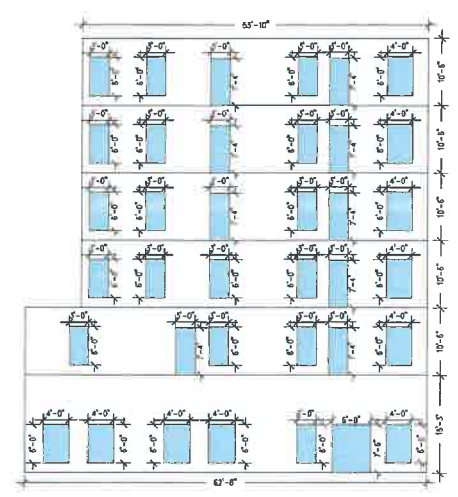


TABLE 705.8
MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION

	UP, S ALLOWABLE AREA
5' TO LESS THAN 10'	25%
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15' TO LESS THAN 20'	75%
30' OR GREATER	NO LIMIT

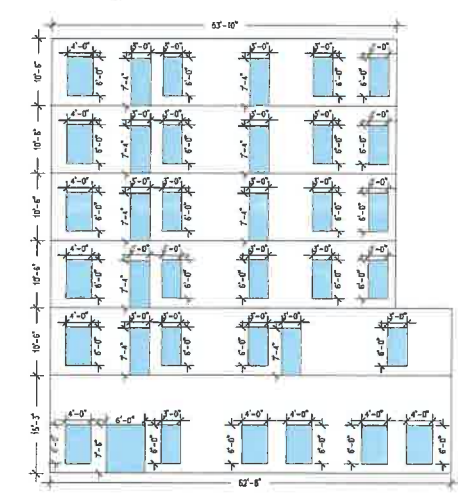
UP, NS = UNPROTECTED OPENINGS IN BUILDINGS NOT EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.
 UP, S = UNPROTECTED OPENINGS IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.
 P = OPENINGS PROTECTED WITH AN OPENING PROTECTIVE ASSEMBLY IN ACCORDANCE WITH SECTION 705.8.2.



EXTERIOR WALL OPENING CALCULATION (EAST ELEVATION)

	FACADE AREA	OPENING AREA	
6TH FLOOR	565 sf	122 sf	22% < 25%
5TH FLOOR	565 sf	122 sf	22% < 25%
4TH FLOOR	565 sf	122 sf	22% < 25%
3TH FLOOR	565 sf	118 sf	21% < 25%
2ND FLOOR	658 sf	122 sf	19% < 25%
GROUND	955 sf	183 sf	19% < 25%

1. DISTANCE TO BUILDING 2: 5'-2"
5 WEST COURTYARD ELEVATION OPENING
 SCALE: 3/32"=1'-0"



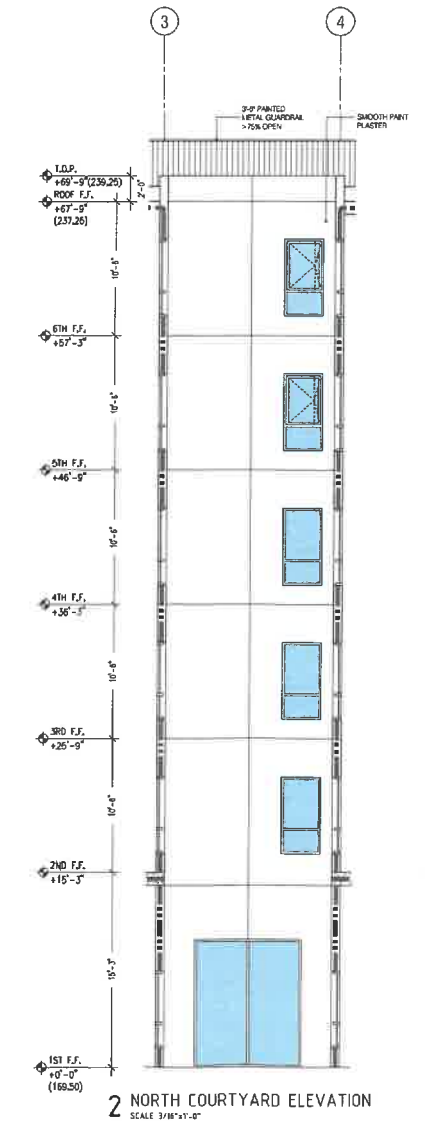
EXTERIOR WALL OPENING CALCULATION (EAST ELEVATION)

	FACADE AREA	OPENING AREA	
6TH FLOOR	565 sf	122 sf	22% < 25%
5TH FLOOR	565 sf	122 sf	22% < 25%
4TH FLOOR	565 sf	122 sf	22% < 25%
3TH FLOOR	565 sf	118 sf	21% < 25%
2ND FLOOR	658 sf	122 sf	19% < 25%
GROUND	955 sf	183 sf	19% < 25%

1. DISTANCE TO BUILDING 1: 7'-11"
4 EAST COURTYARD ELEVATION OPENING
 SCALE: 3/32"=1'-0"



3 WEST COURTYARD ELEVATION
 SCALE: 3/16"=1'-0"



2 NORTH COURTYARD ELEVATION
 SCALE: 3/16"=1'-0"



1 EAST COURTYARD ELEVATION
 SCALE: 3/16"=1'-0"

EXHIBIT "A"
 Page No. 18 of 20
 Case No. CPC-2011-7169-D8-HCA

JPA

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 L.L.C.

10573 W. PICO BLVD., SUITE 213
 LOS ANGELES, CA 90064

**1436 W. JEFFERSON BLVD. MULTI-UNIT
 NEW DENSITY BONUS 60 UNITS APARTMENT**
 1436 W. JEFFERSON BLVD., LOS ANGELES, CA 90007

REVISIONS

NO.	DATE	DESCRIPTION
1	07/15/11	ISSUE FOR PERMITS
2	07/15/11	ISSUE FOR PERMITS
3	07/15/11	ISSUE FOR PERMITS

PROJECT DATA

PROJECT NUMBER: 1436
 DATE: 07/15/11
 DRAWN BY: J.P.
 CHECKED BY: J.P.
 APPROVED BY: J.P.

SCALE: 3/16"=1'-0"

SHEET NAME: **BUILDING ELEVATION**

SHEET NUMBER

A4.05



**1436 W. JEFFERSON BLVD. MULTI-UNIT
 NEW DENSITY BONUS 60 UNITS APARTMENT**
 1436 W. JEFFERSON BLVD., LOS ANGELES, CA 90007

NO.	DATE	DESCRIPTION
1	10/15/20	ISSUE FOR PERMITTING
2	11/10/20	ISSUE FOR PERMITTING
3	12/15/20	ISSUE FOR PERMITTING
4	01/15/21	ISSUE FOR PERMITTING

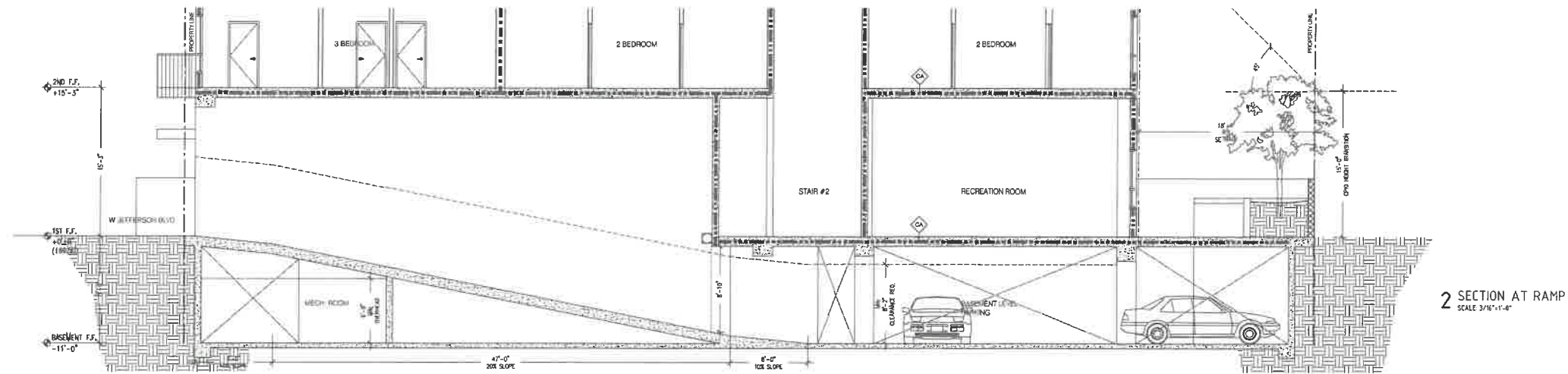
PROJECT NUMBER	DATE
20-001	10/15/20
DESIGNED BY	
CHECKED BY	
APPROVED BY	

SCALE
 3/16"=1'-0"

SHEET NAME
BUILDING SECTION

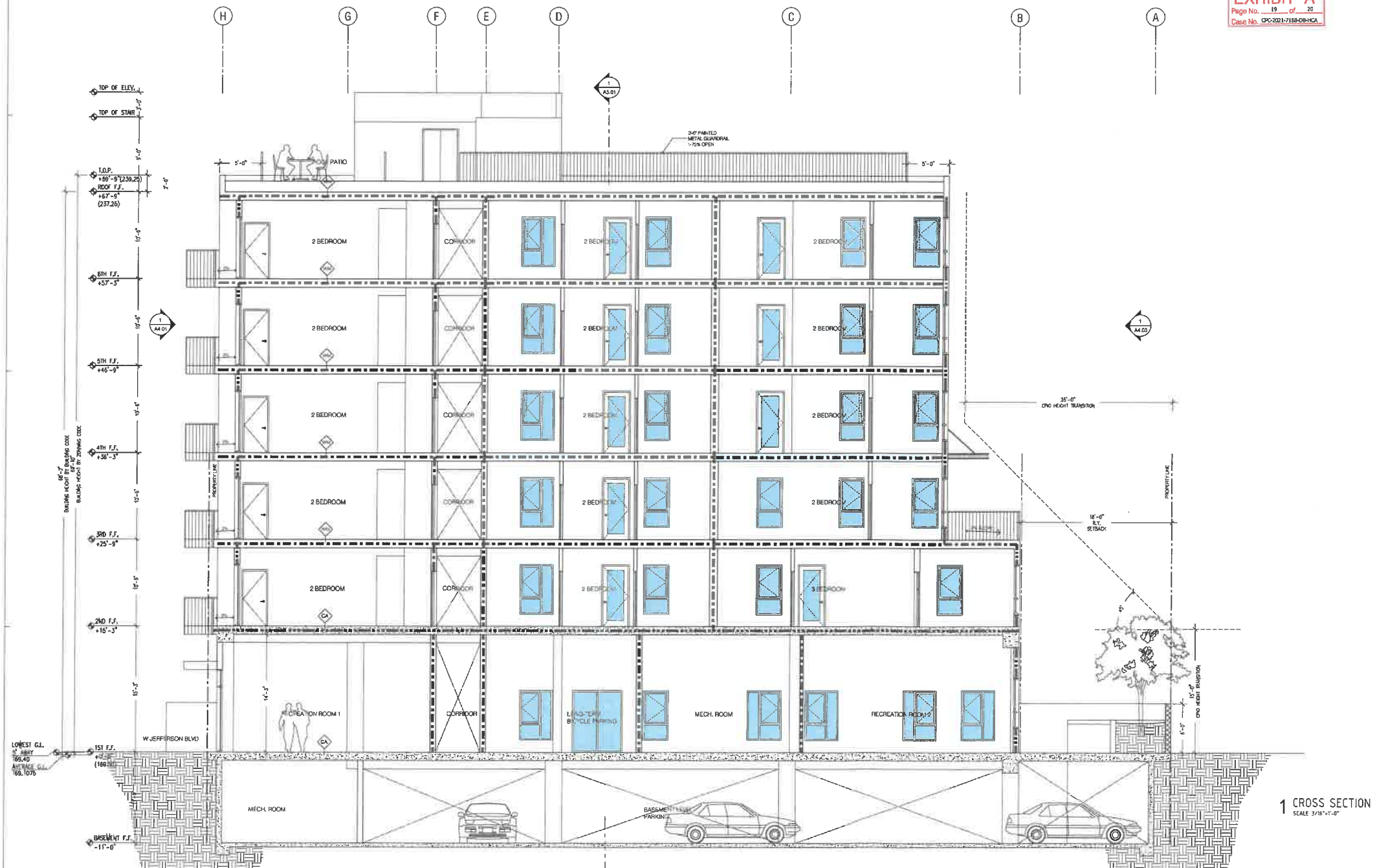
SHEET NUMBER

A5.01



2 SECTION AT RAMP
 SCALE 3/16"=1'-0"

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 Case No. CFC-2017-1188-08-HCA



1 CROSS SECTION
 SCALE 3/16"=1'-0"

SECTION LEGEND

	1 HR. ROOF SEE - A8.02
	1 HR. FLOOR CEILING SEE - A8.02
	CONCRETE FLOOR SEE - A8.02/STRUCTURE



**1436 W. JEFFERSON BLVD. MULTI-UNIT
 NEW DENSITY BONUS 60 UNITS APARTMENT**
 1436 W. JEFFERSON BLVD., LOS ANGELES, CA 90007

NO.	REVISIONS	DATE
01	ISSUE	04/17
02	25% SUBMITTAL	05/17
03	30% SUBMITTAL	06/07
04	65% CD SET	2/1/23
05	10% PLAN SET CORRECTION	1/13/23

PROJECT DATA	
PROJECT NUMBER:	35-03
DATE:	
DRAWN BY:	
CHECKED BY:	
APPROVED BY:	

SCALE
 3/16" = 1'-0"

SHEET NAME
BUILDING SECTION

SHEET NUMBER

A5.02

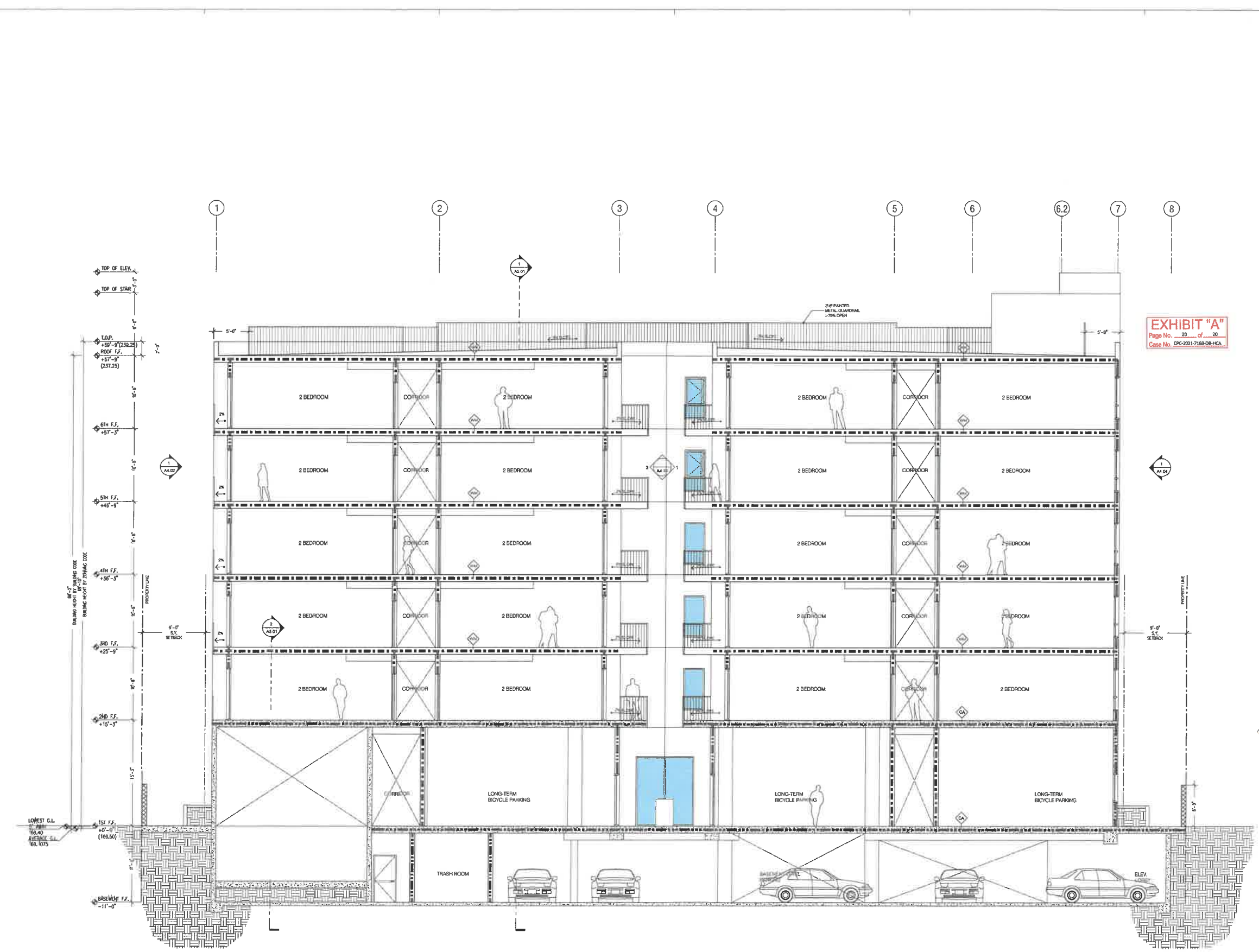


EXHIBIT "A"
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 Case No. CPC-2021-7168-DB-HCA

1 LONGITUDINAL SECTION
 SCALE 3/16"=1'-0"

SECTION LEGEND

	1 HR. ROOF SEE - A8.02
	1 HR. FLOOR CEILING SEE - A6.02
	CONCRETE FLOOR SEE - A8.02/STRUCTURE