

DENSITY BONUS APARTMENT DEVELOPMENT

13610 SHERMAN WAY BOULEVARD, VAN NUYS, CA
ASSESSOR'S ID #: 2328-008-024

REVISIONS
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TITLE SHEET

168 UNIT DEVELOPMENT
13610 SHERMAN WAY, VAN NUYS, CA 91405

GARO V. MINASSIAN, ARCHITECT, INC.
140 ACARI DRIVE, LOS ANGELES, CALIFORNIA

SHEET NO.
A1.0
DATE:
02.17.2022

PROJECT INFORMATION

PROJECT DESCRIPTION:

5 STORY MIXED-USE MULTI-FAMILY HOUSING, TYPE I AND VA CONSTRUCTION. PARKING AND LOBBY ON GROUND LEVEL AND 168 RESIDENTIAL UNITS ON 4 FLOORS ABOVE.

APPLICABLE CODES:

2020 LOS ANGELES BUILDING CODE, 2020 LOS ANGELES FIRE CODE

ZONING INFORMATION

ZONING	PARCEL	LOT AREA
C1.5VL	13610 SHERMAN WAY NORTH PORTION APN: 2328008024	9,223 SF
P1VL (BASED ON RAS4-1VL)	13610 SHERMAN WAY SOUTH PORTION APN: 2328008024	37,005 SF
TOTAL		46,228 SF

DENSITY CALCULATIONS

ZONE	C1-1VL	P1VL
LOT AREA	9,223 SF	37,005 SF
LAMC DENSITY-LOT AREA PER UNIT	400 SF/DU	400 SF/DU
UNITS ALLOWABLE (AREA/400)	23 UNITS	93 UNITS

TOTAL ALLOWABLE UNITS = 116 (23+93)
TOTAL PROPOSED UNITS = 168 (116X1.45)(DENSITY BONUS)*
*AB 2334 ALLOWS C1.5 DENSITY

UNIT MIX:

TYPE	COUNT	MIX
STUDIO	109	64.9%
1 BEDROOM	52	30.9%
2 BEDROOM	7	4.2%
TOTAL	168	100%

*PROJECT REQUESTS 45% DENSITY BONUS
18 UNITS (15% OF 116) SHALL BE FOR VERY LOW INCOME HOUSEHOLDS

F.A.R.

F.A.R. CALCULATIONS

ZONING	C1VL	P1VL (BASED ON RAS4-1VL)
BASE F.A.R. UNDER PROPOSED ZONING	1.5	3
BASE BUILDABLE AREA	6,810 SF	32,565 SF
BASE FLOOR AREA SF ALLOWED	10,215 SF	97,695 SF

TOTAL FLOOR AREA SF ALLOWED = 10,215+97,695= 107,910 SF
TOTAL FLOOR AREA SF PROPOSED = 107,403 SF

TOTAL BASE BUILDABLE AREA ALLOWED = 6,810+32,565 = 39,375 SF
PROPOSED FAR 107,403/39,375 = 2.73

WAVERS & INCENTIVES

ON-MENU INCENTIVE TO AVERAGE FAR
OFF-MENU INCENTIVE TO REDUCE PARKING FROM 201(LAMC)/176(parking option 1) TO 99
OFF-MENU INCENTIVE TO REDUCE OPEN SPACE FROM 16,975 SF TO 10,900 SF

WAVERS:

1. INCREASE THE MAXIMUM HEIGHT FROM 45 FEET TO 58 FEET, 5 STORIES
2. REDUCE REAR YARD FROM 15 FT. TO 0 FT.
3. REDUCE SIDE YARD FROM 5 FT. TO 0 FT. IN P ZONE
4. REDUCE SIDE YARD FROM 5 FT. TO 0 FT. IN C1 ZONE
5. REDUCE TREES FROM 42 TO 29

FLOOR AREA CALCULATIONS (RESID.)

Floor:	Units:	2BR	1 Br	Single	Rentable Area
5th Floor:	43 units	2	13	28	23,530 sf
4th Floor:	43 units	2	13	28	23,530 sf
3rd Floor:	43 units	2	13	28	23,530 sf
2nd Floor:	39 units	1	13	29	23,065 sf
1st floor:	0				0 sf
Total:	168 units	7	52	109	93,655 sf

PARKING SPACES REQUIRED

units	2br	1br	Single
(Code)	14 (7X2)	78 (52X1.5)	109 (109X1) = 201
(Per 65915(p)(1))	11 (7X1.5)	52 (52X1)	109 (114X1) = 172
TOTAL			172

PARKING SPACES PROVIDED

Residential	99 (ALL STANDARD & EV)
Total	99

EVCS ELECTRIC VEHICLE CHARGING STATIONS, 38 TOTAL
38 EV CAPABLE SPACES PROVIDED, 30 REQUIRED (30% OF 99)
8 EV STATIONS SHALL BE EV READY (25% OF 30)
3 EV STATIONS SHALL HAVE EV CHARGERS (10% OF 30)

BICYCLE PARKING REQUIRED

Short Term (Resid.)	Long Term (Resid.)
10	109

BICYCLE PARKING PROVIDED

Short Term (Resid.)	Long Term (Resid.)
10	109

OPEN SPACE

Unit Type:	Number	Required Open space	Total Area
2 BR(3 HAB.RMS)	7	125 SF	875 SF
1 BR(2 HAB.RMS)	52	100 SF	5,200 SF
SINGLE(1 HAB. RM.)	109	100 SF	10,900 SF
TOTAL:			16,975 SF

OPEN SPACE PROVIDED:

COMMON OPEN SPACE
CENTRAL COURT: 6,200 SF
REC. ROOMS: 675 SF
REAR ROOF DECK: 3,375 SF
TOTAL: 10,250 SF 10,250 SF

PRIVATE OPEN SPACE

2ND FLOOR 4 X50 = 200 SF
3RD FLOOR 4X50 = 200 SF
4TH FLOOR 3X50 = 150 SF
5TH FLOOR 2X50 = 100 SF
TOTAL 650 SF 650 SF

PROVIDED OPEN SPACE 10,900 SF

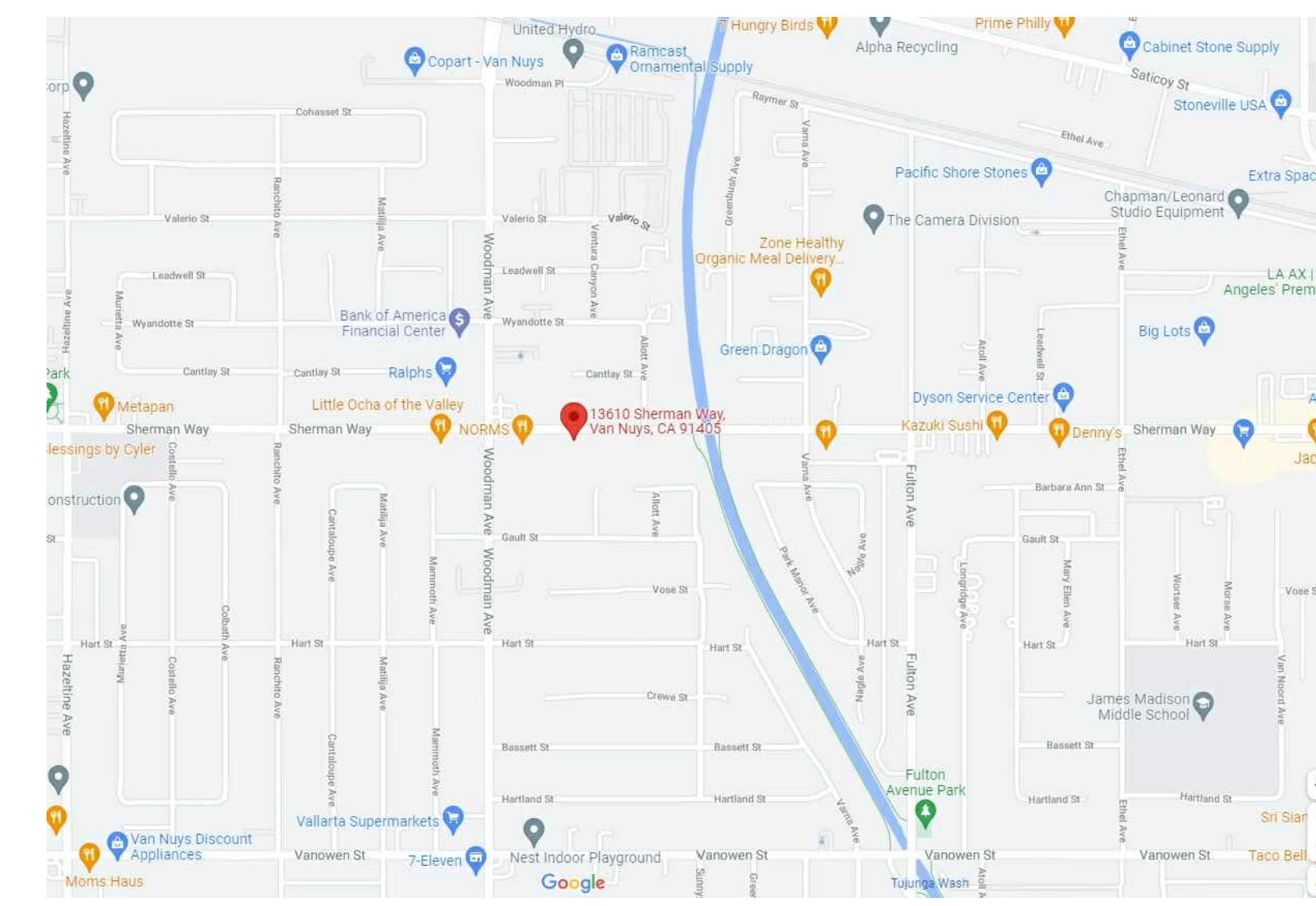
REQUIRED OPEN SPACE 16,975 SF

TREES REQUIRED 168/4=42

TREES PROVIDED = 29



VICINITY MAP



ZONING SETBACKS

TYPE (C1.5 ZONE)	REQUIRED	PROVIDED
FRONT	10'	10'
SIDE (EAST)	8'	8'-2"
SIDE (WEST)	8'	0' (1ST FLR) 5' (UPPER)
REAR	N/A	N/A

TYPE RAS4 ZONE)	REQUIRED	PROVIDED
FRONT	N/A	N/A
SIDE	5' GROUND FLR. GAR.	0' GROUND FLR. GAR.
SIDE	5' UPPER FLOORS	5' UPPER FLOORS
REAR	15' GROUND FLOOR	0'
REAR	15' UPPER FLOORS	15'

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SURVEY

LEGAL DESCRIPTION:

PORTION OF LOT 74 OF TRACT NO. 1081, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 17, PAGES 130 AND 131 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
APN: 2328008024

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SITE PLAN & GENERAL INFORMATION

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140 ACARI DRIVE, LOS ANGELES, CALIFORNIA

SHEET NO. **A1.1A**
DATE: 02.17.2022

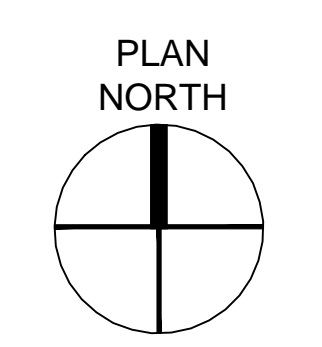
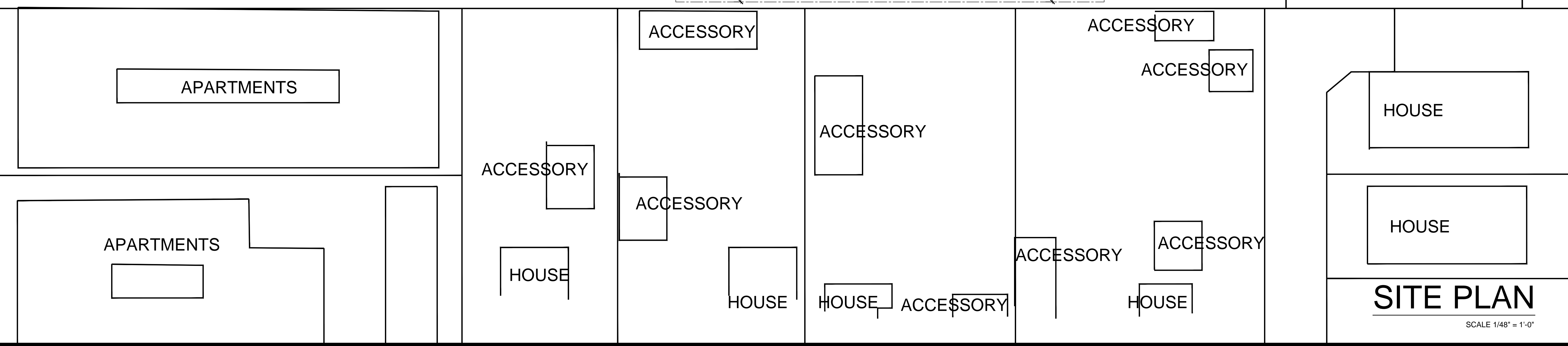
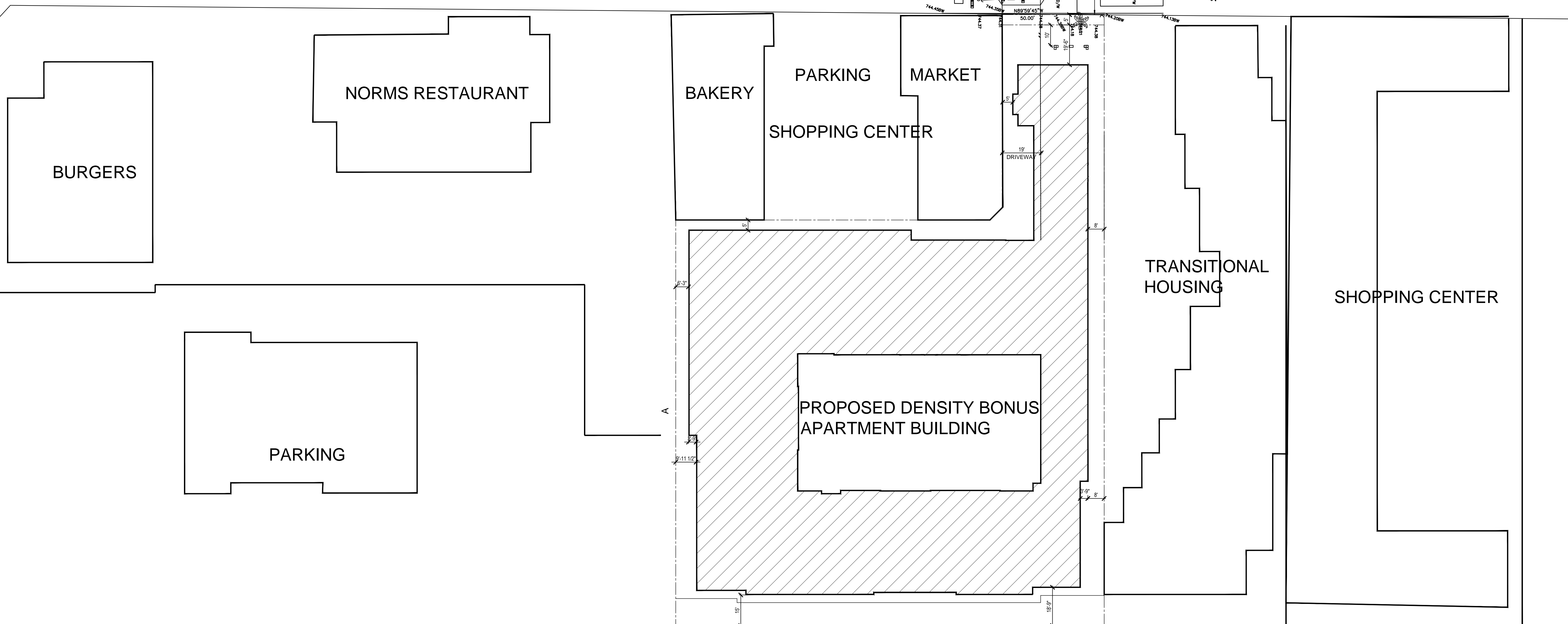
GAS STATION

COFFEE/RETAIL/RESTAURANT/AUTOMOTIVE

SHERMAN WAY

SHERMAN WAY BOULEVARD

WOODMAN AVENUE

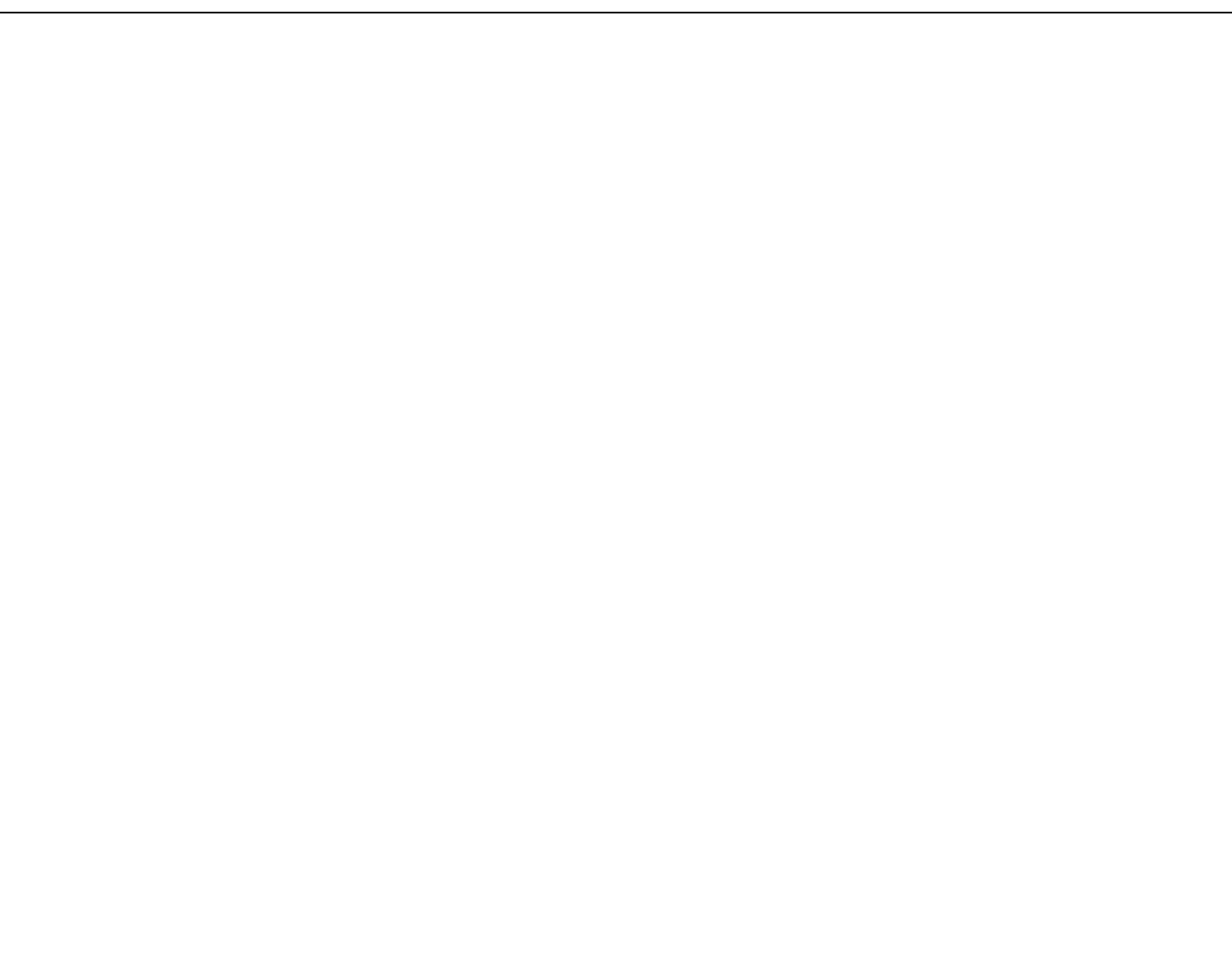


SITE PLAN

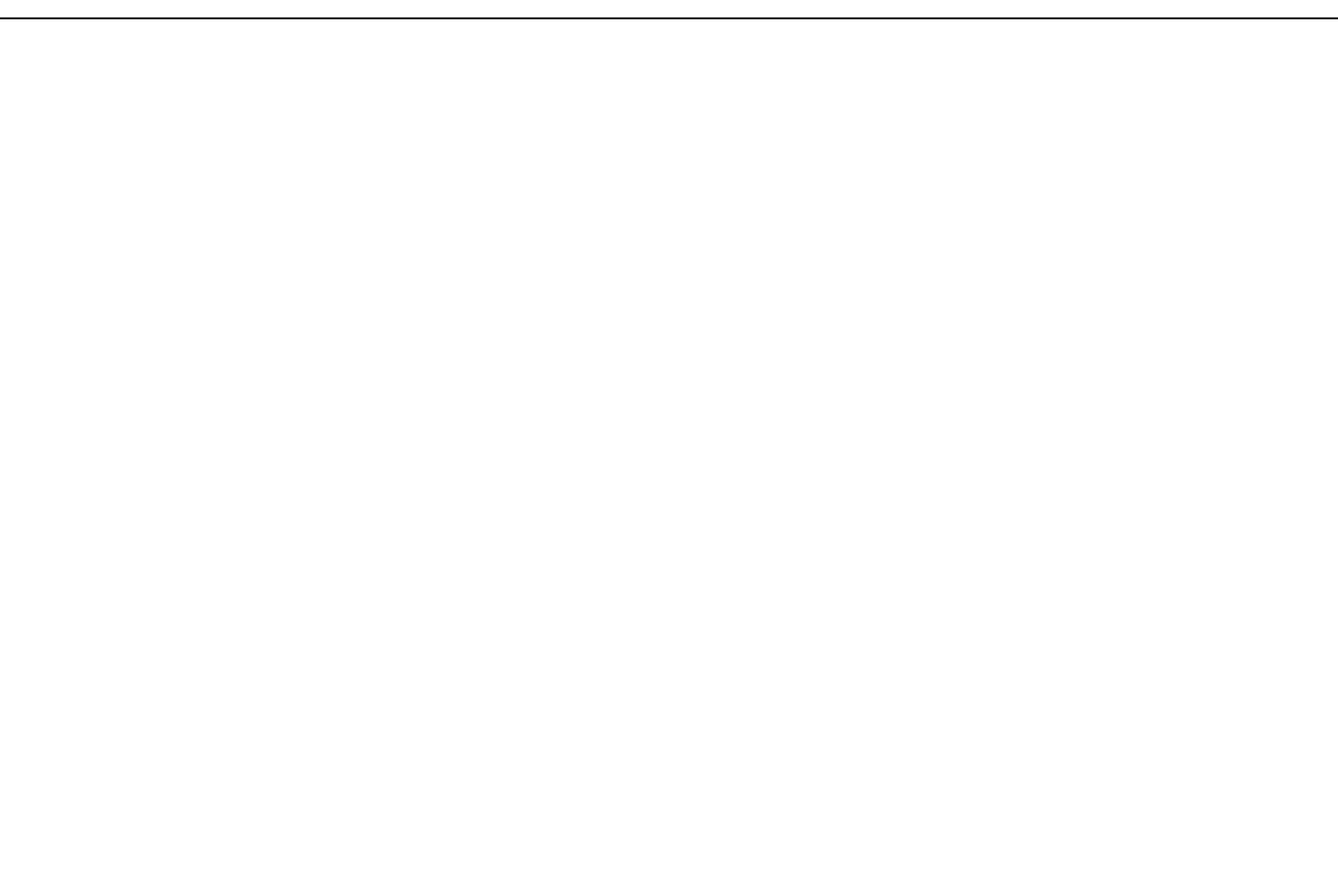
SCALE 1/48" = 1'-0"



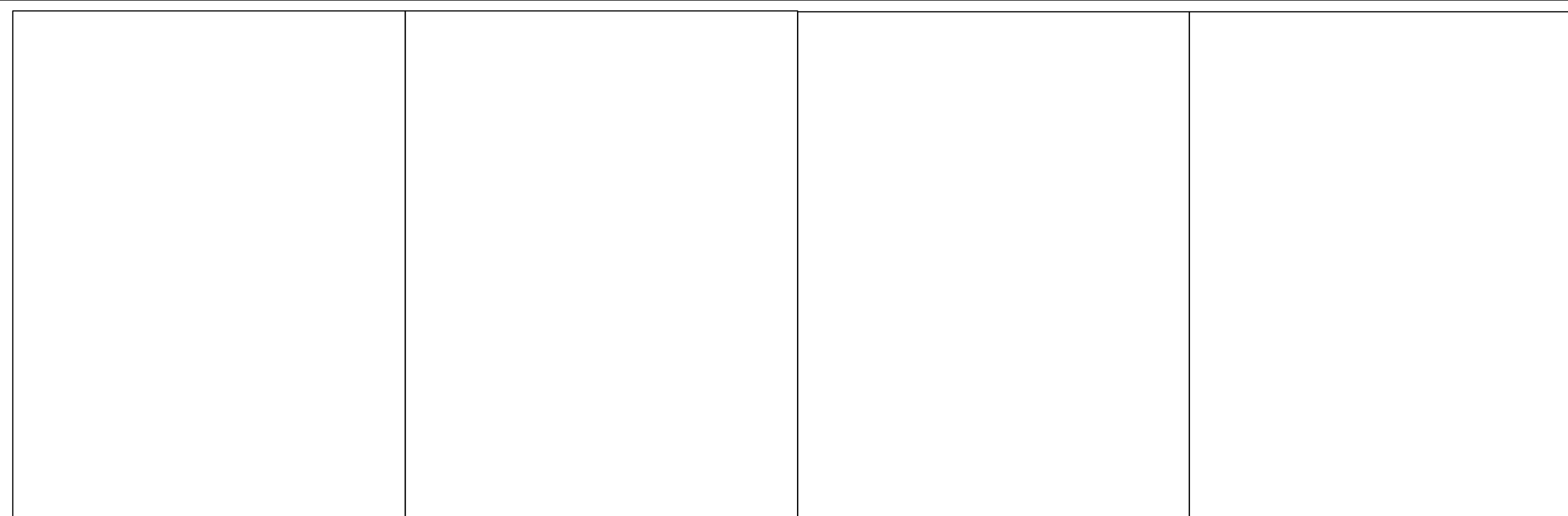
ZONING MAP



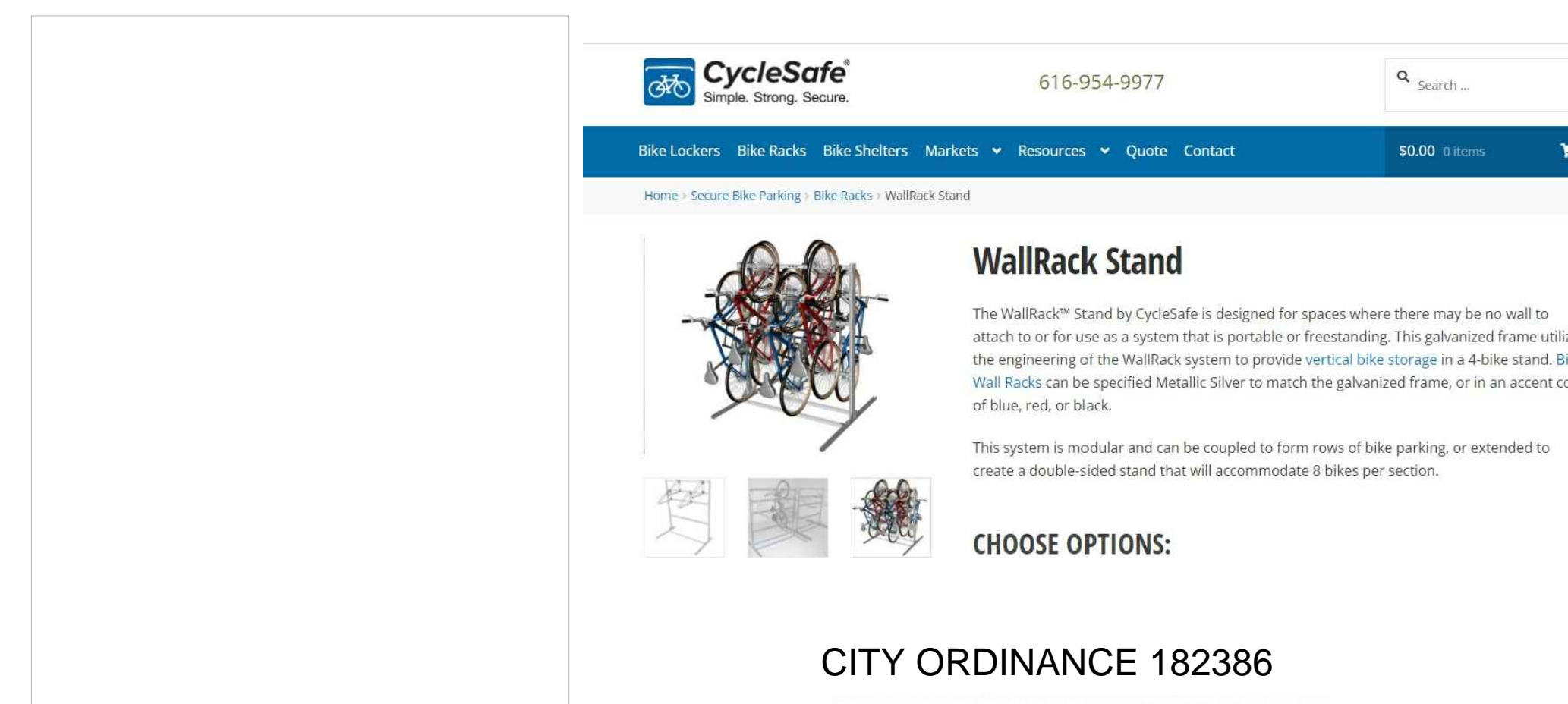
GENERAL PLAN



PARCEL MAP



PARCEL REPORT



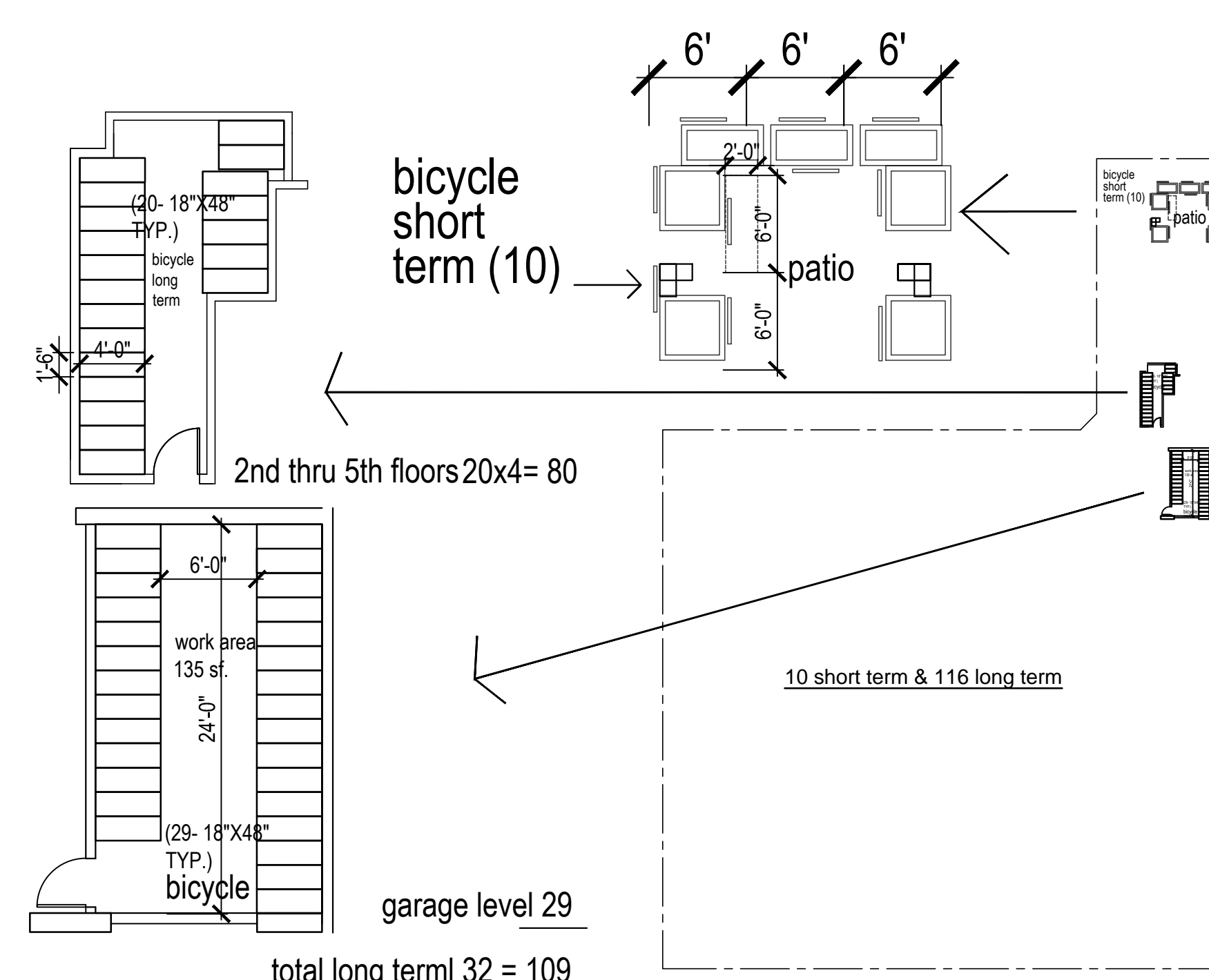
CITY ORDINANCE 182386



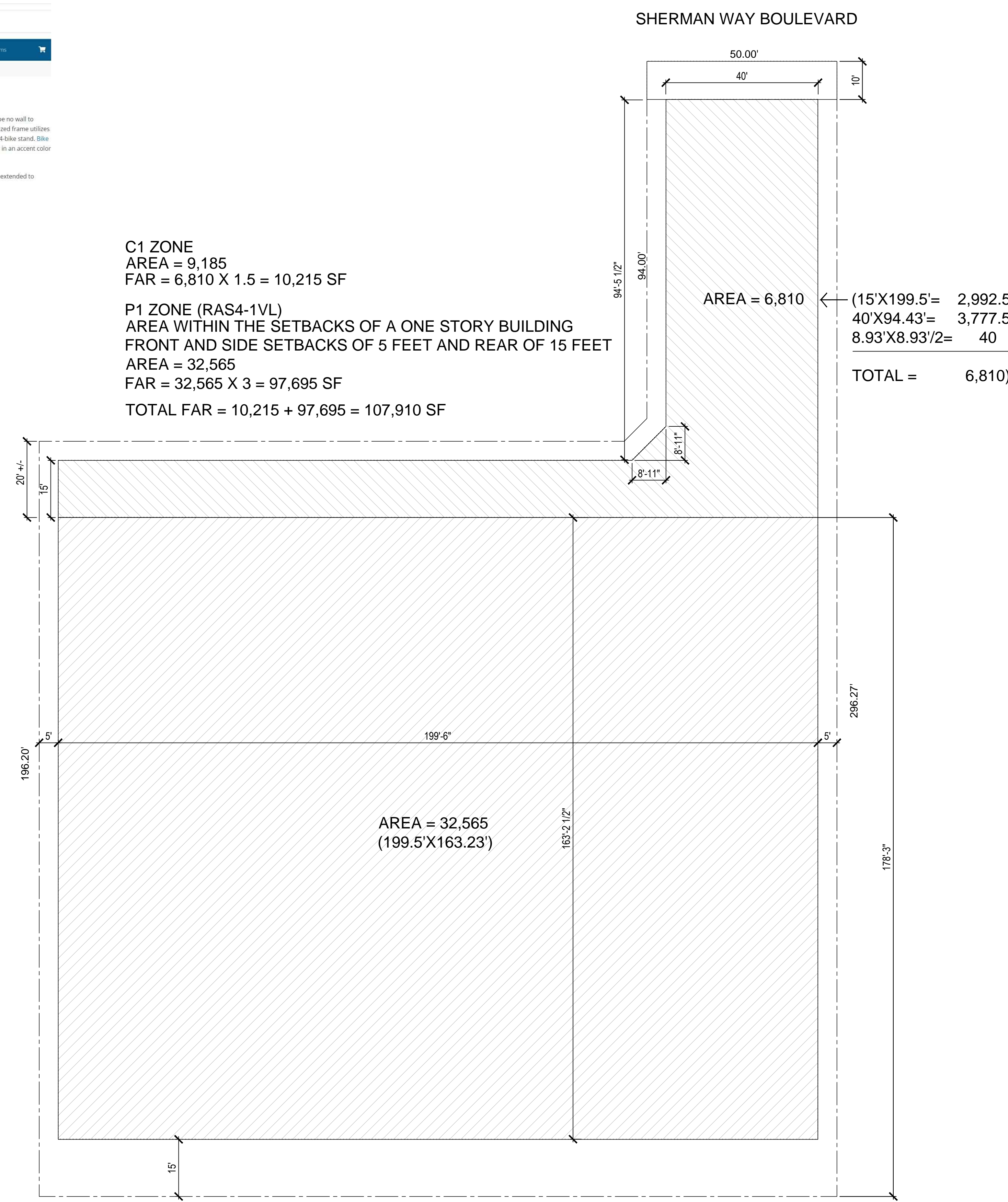
SHORT TERM

LONG TERM

BICYCLE RACK DETAILS



BICYCLE PARKING DIAGRAM



BUILDABLE FLOOR AREA DIAGRAM

SCALE: 1/16" = 1'-0"

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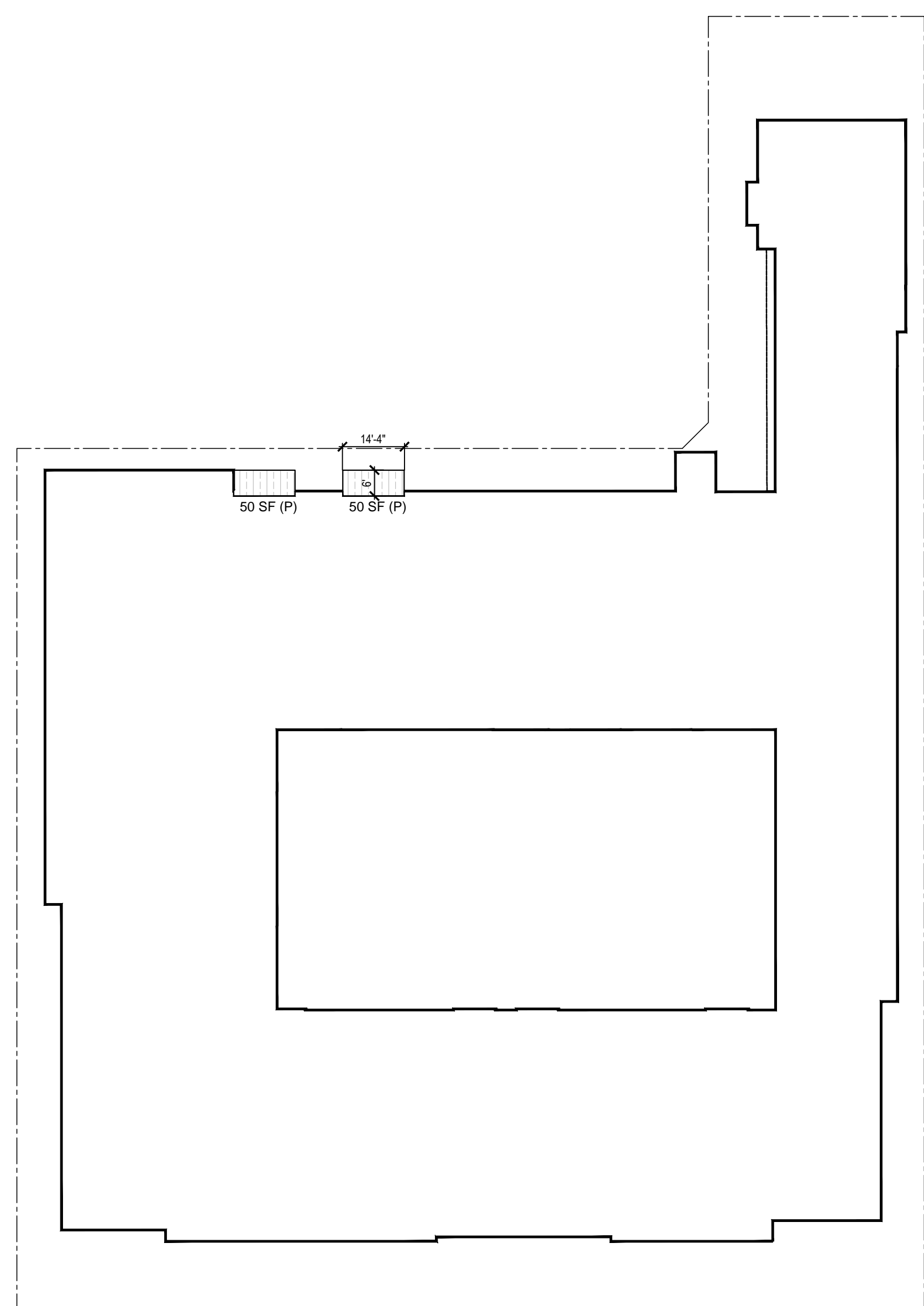
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SITE PLAN & GENERAL INFORMATION

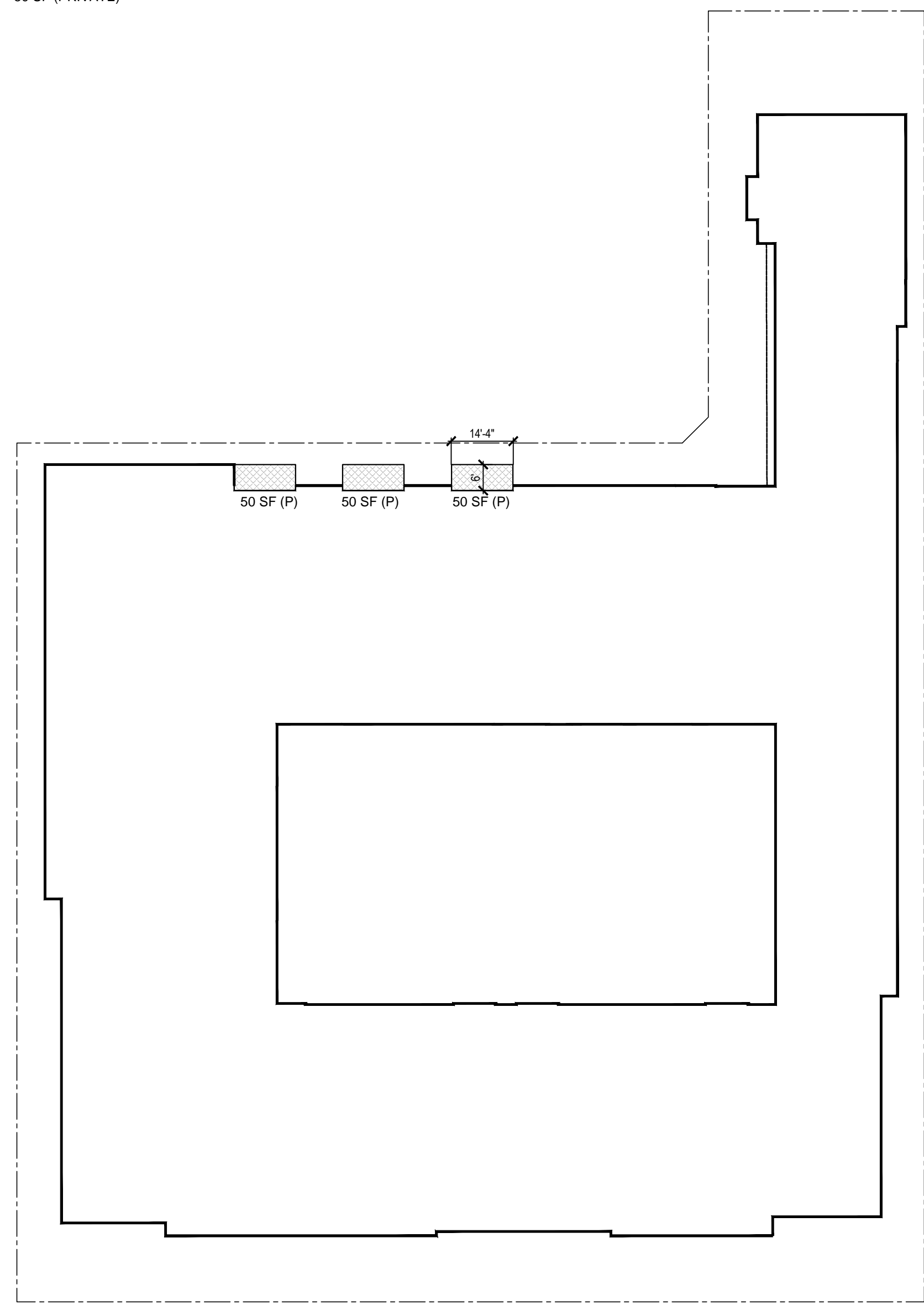
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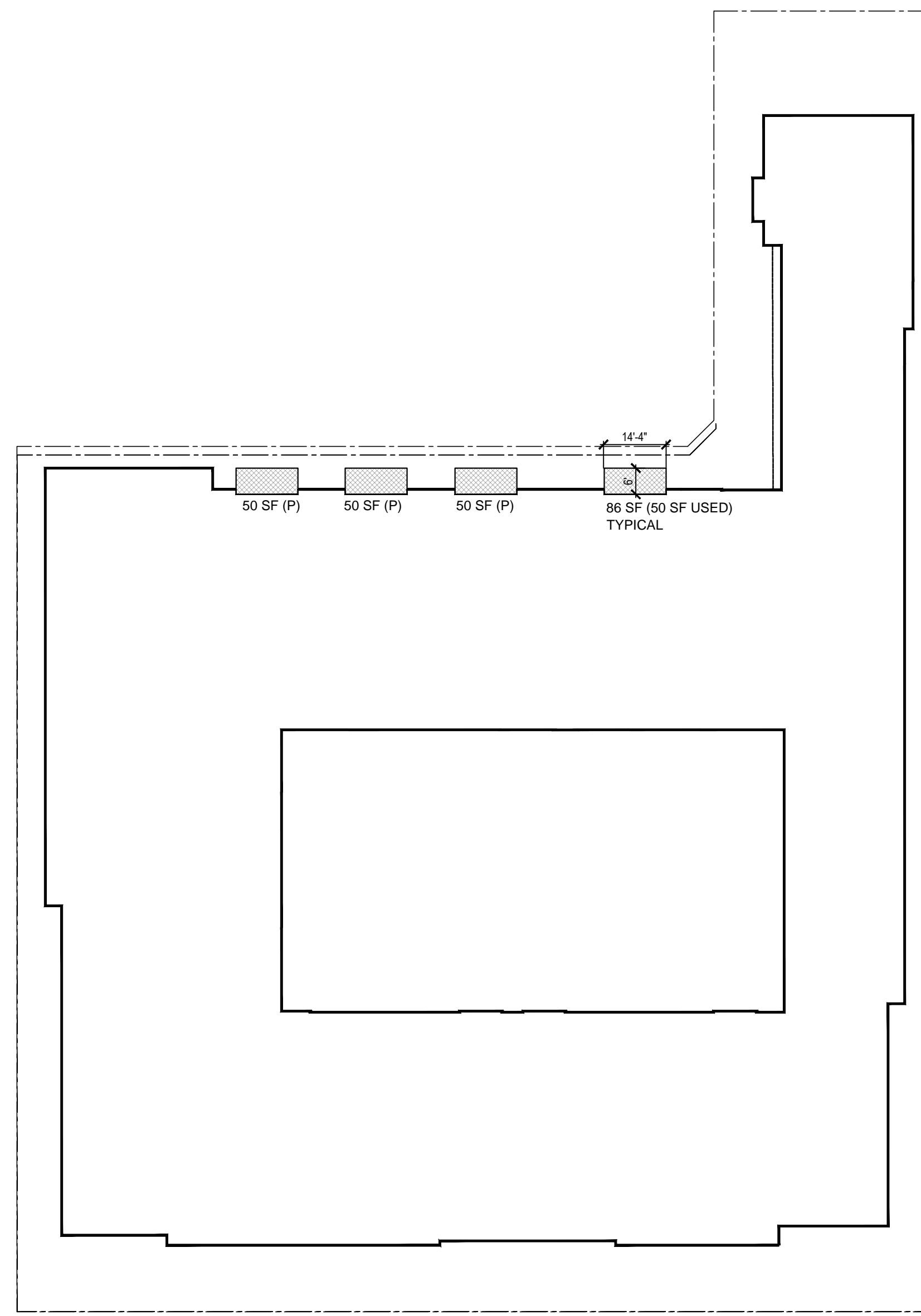
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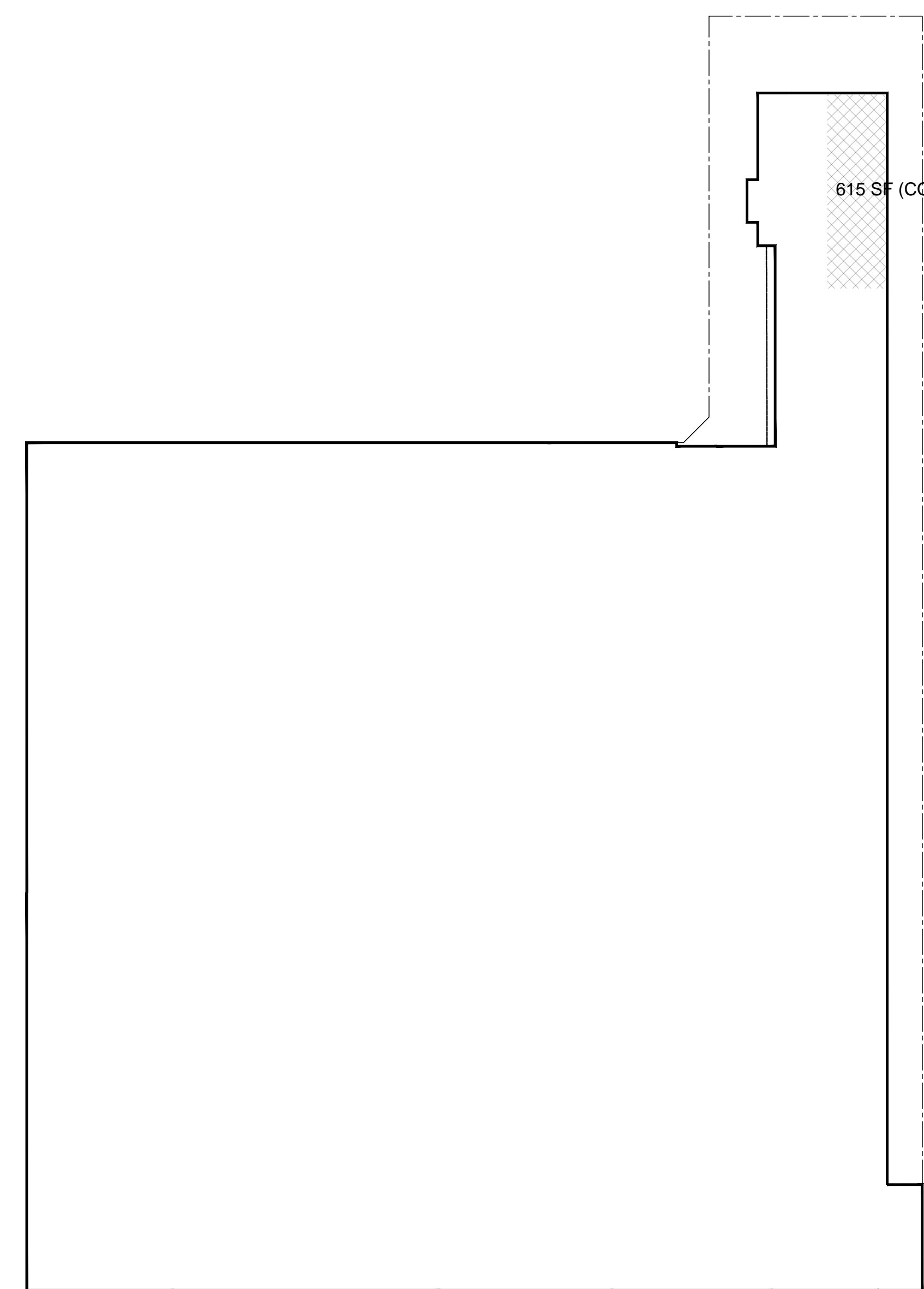
FIFTH FLOOR
50 SF (PRIVATE)



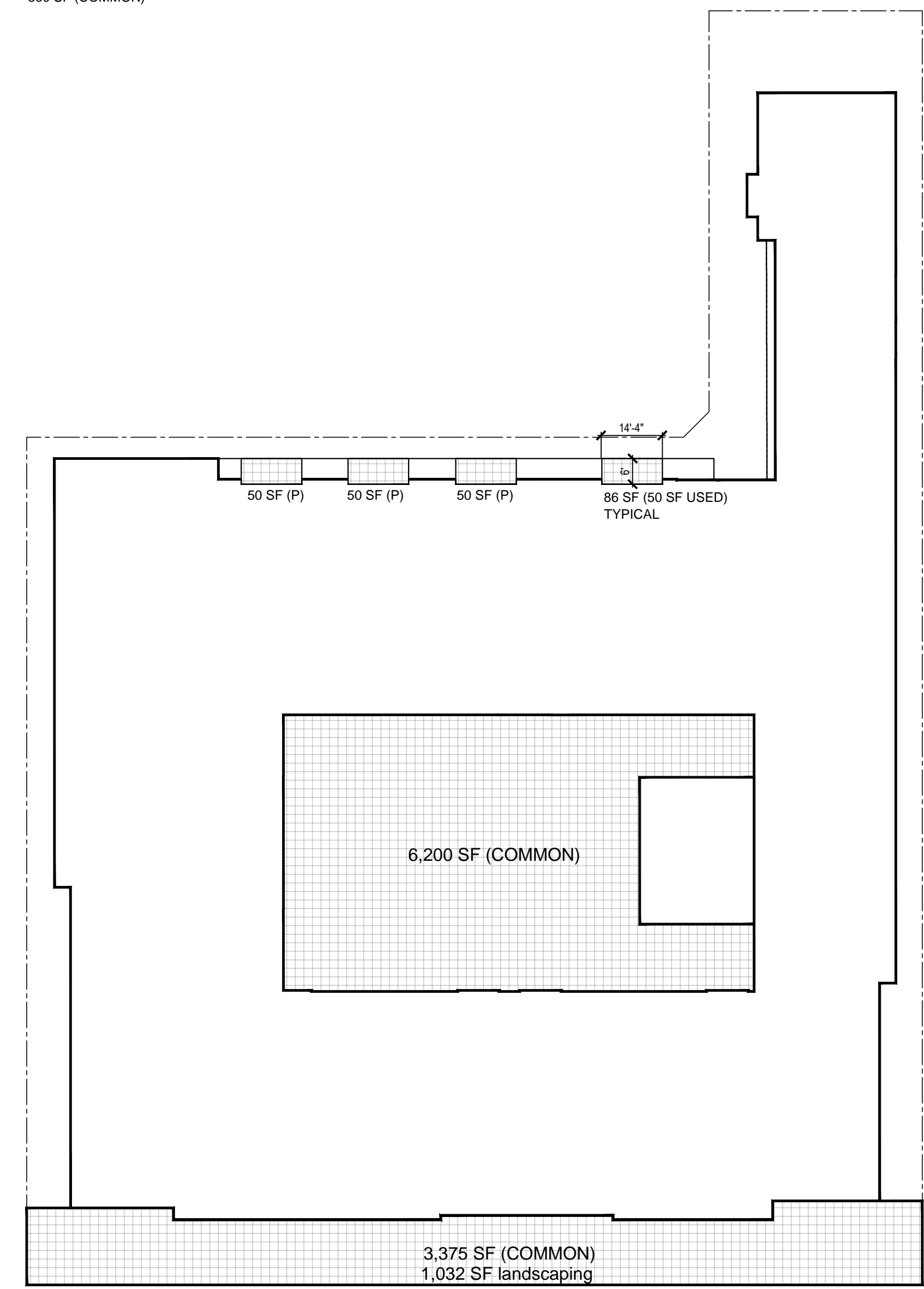
FOURTH FLOOR
150 SF (PRIVATE)



THIRD FLOOR
200 SF (PRIVATE)



GROUND (1ST) FLOOR
800 SF (COMMON)



SECOND FLOOR
7,420 SF (COMMON) 200 SF (PRIVATE)

OPEN SPACE PROVIDED:

COMMON OPEN SPACE	
CENTRAL COURT: 6,200 SF	
REC. ROOMS: 615 SF	
REAR ROOF DECK: 3,375 SF	
TOTAL:	10,190 SF 10,190 SF

PRIVATE OPEN SPACE	
2ND FLOOR 4 X50 = 200 SF	
3RD FLOOR 4X50 = 200 SF	
4TH FLOOR 3X50 = 150 SF	
5TH FLOOR 2X50 = 100 SF	
TOTAL	650 SF 650 SF

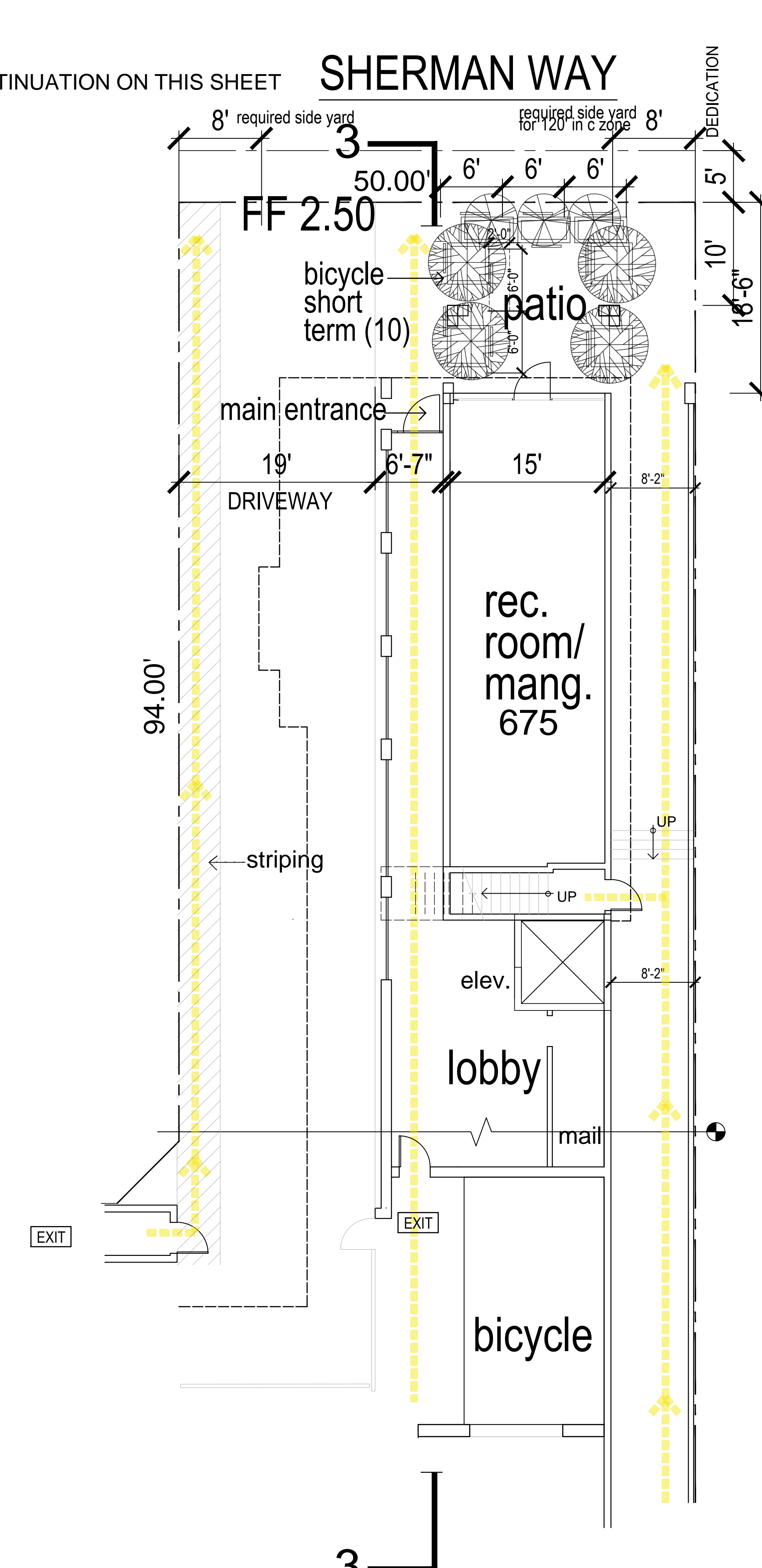
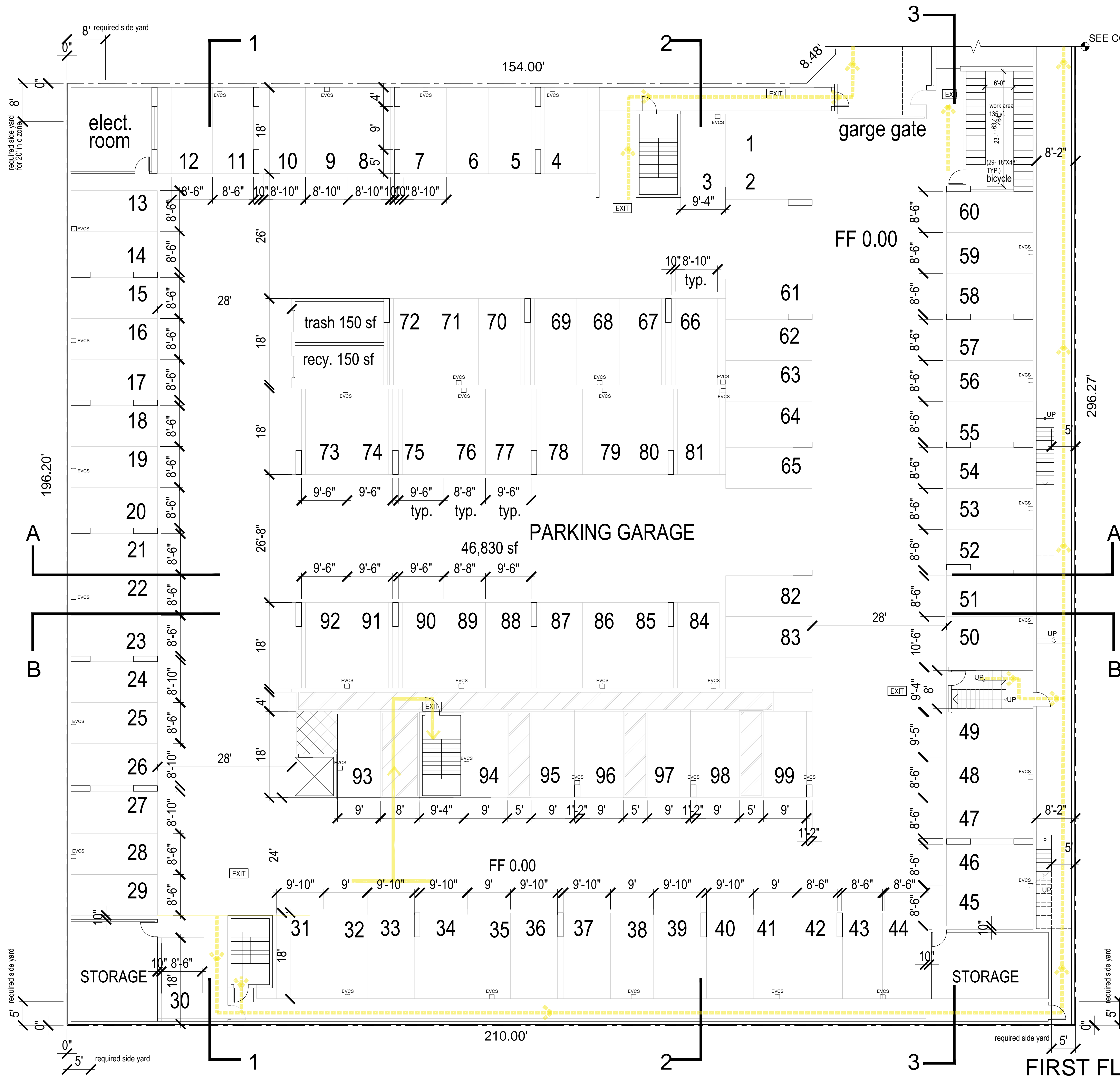
TOTAL OPEN SPACE	10,840 SF
REQUIRED OPEN SPACE	16,975 SF

LEGEND

	GROUND FLOOR
	2ND FLOOR
	3RD FLOOR
	FOURTH FLOOR
	FIFTH FLOOR

OPEN SPACE DIAGRAMS
SCALE 1/48" = 1'-0"

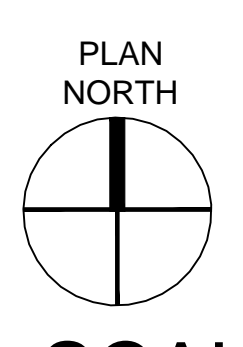
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2/15/24	



CONSTRUCTION TYPE: V-A FULLY SPRINKLERED (4 STORIES)
1-A GARAGE FULLY SPRIKLERED

NOTE: DOUBLE STRIPING OF STALLS TO BE PER ZONING CODE SECTION 12.21 A5 CHART NO. 5

- EVCS ELECTRIC VEHICLE CHARGING STATIONS, 38 TOTAL
- 38 EV CAPABLE SPACES PROVIDED, 30 REQUIRED (30% OF 99)
- 8 EV STATIONS SHALL BE EV READY (25% OF 30)
- 3 EV STATIONS SHALL HAVE EV CHARGERS (10% OF 30)



SCALE: 1/8" = 1'-0"

FIRST FLOOR 41,000 SQ. FT.
99 PARKING STALLS

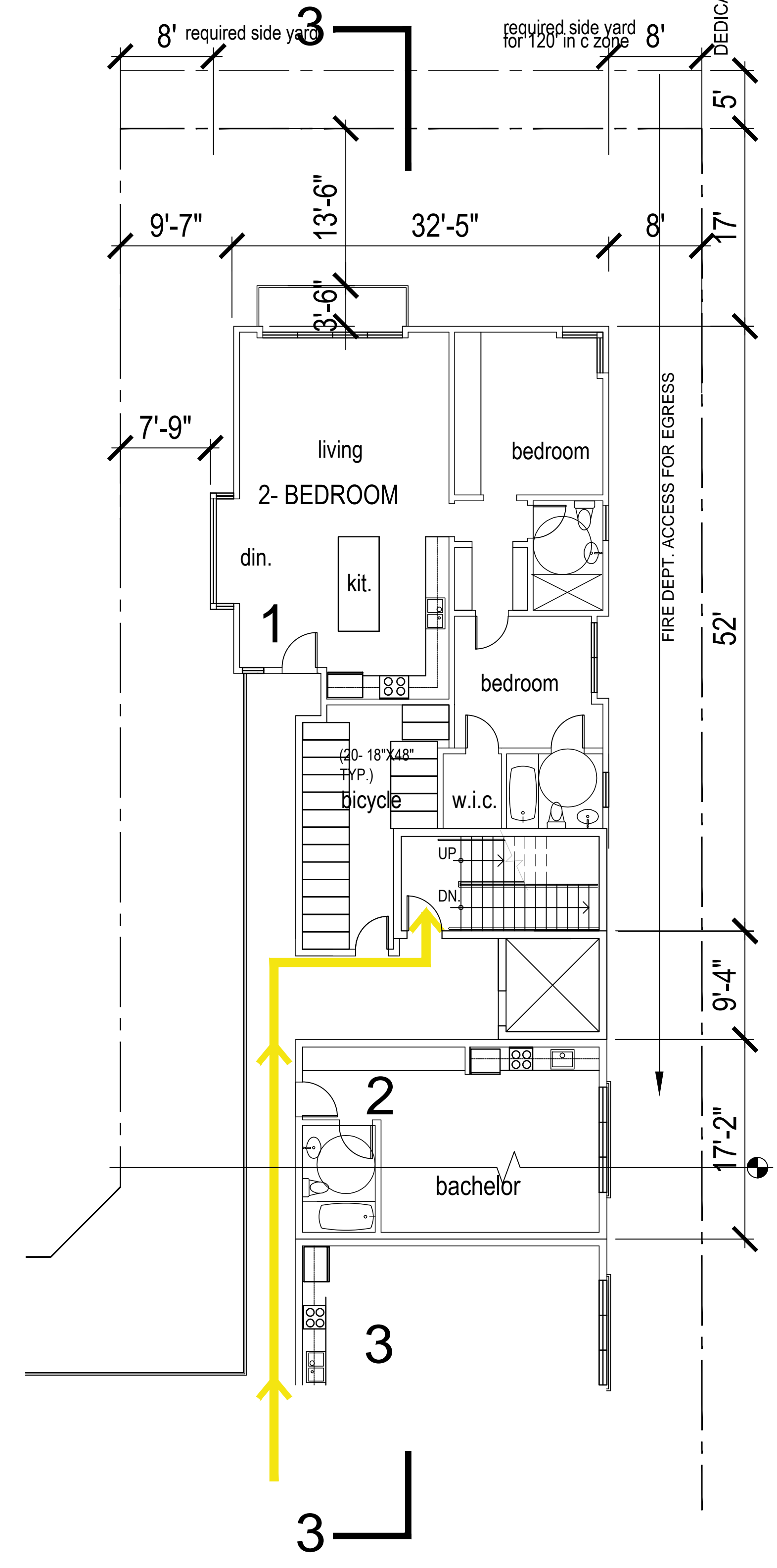
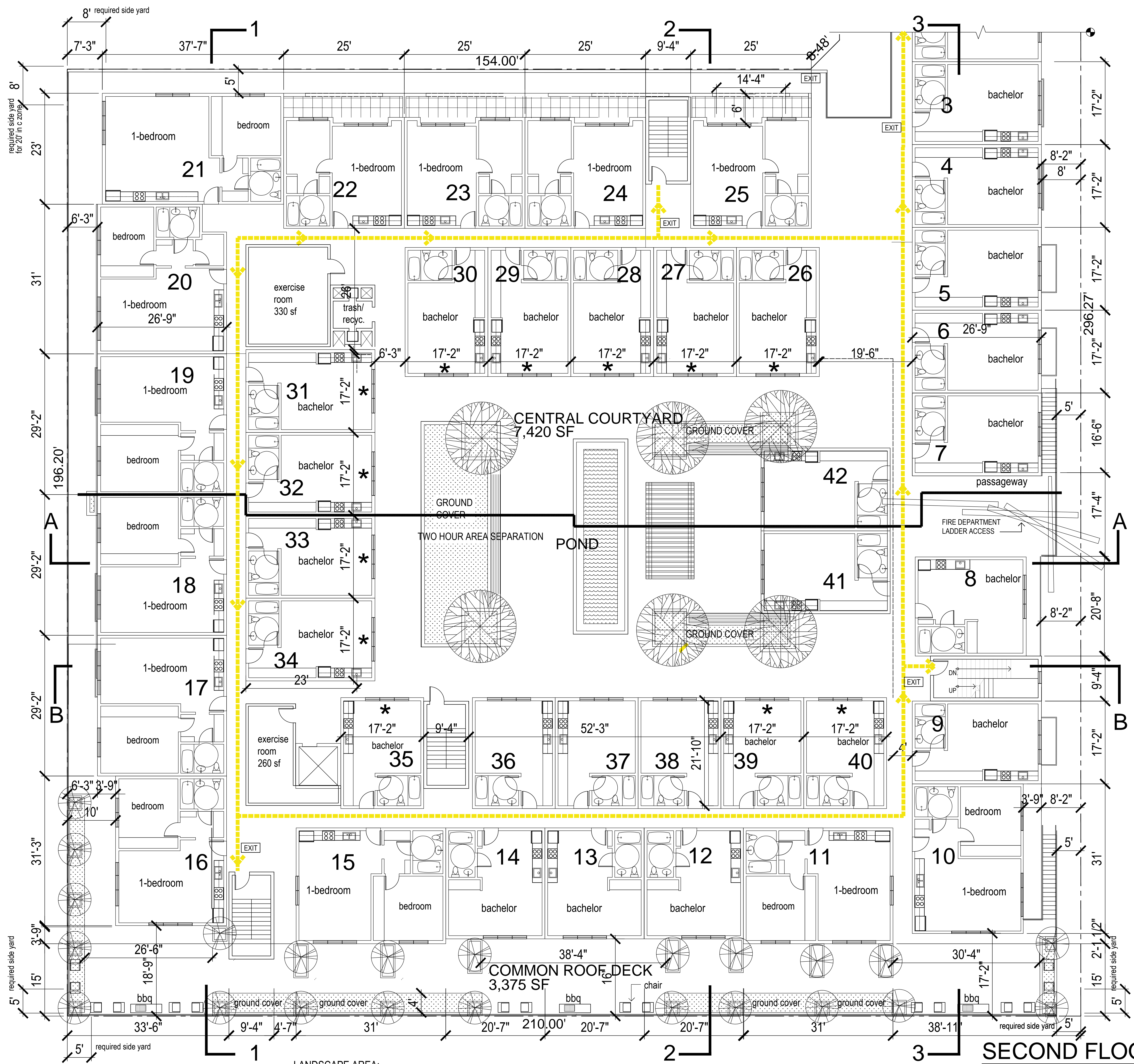
FIRST FLOOR PLAN

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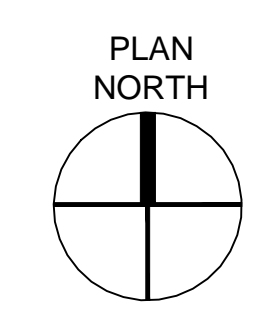
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CONSTRUCTION TYPE: V-A FULLY SPRINKLERED (4 STORIES)
 1-A GARAGE FULLY SPRINKLERED

* EGRESS BEDROOM WINDOWS FACING COURTYARD



SECOND FLOOR SCALE: 1/8" = 1'-0"
 42 units (1-2BR, 13-1BR, 28-BACHELOR)

LANDSCAPE AREA:
 (205'4")+(14.75'4")+(13'4")+(9*9 PLANTERS) = 1,012 SF

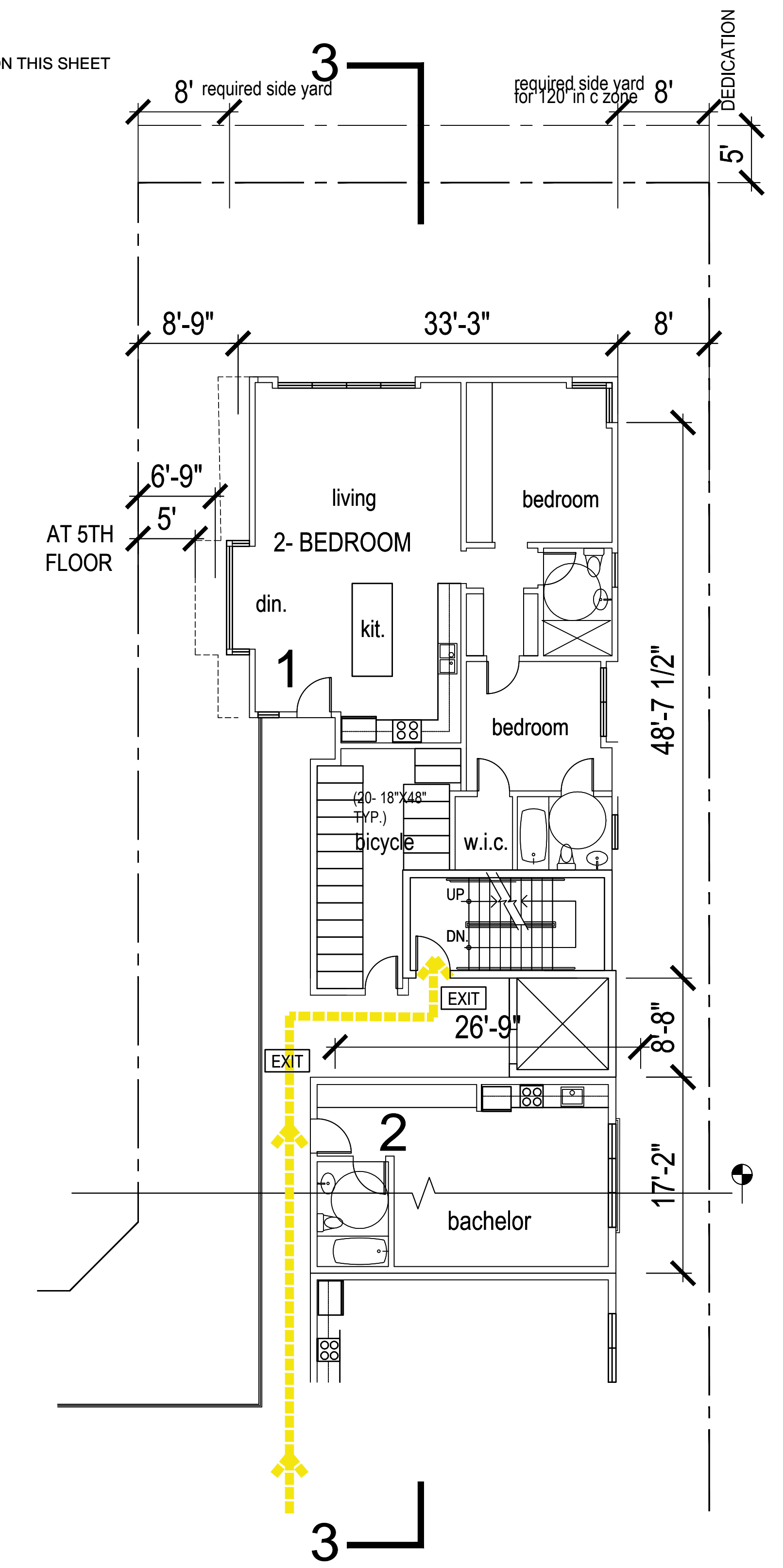
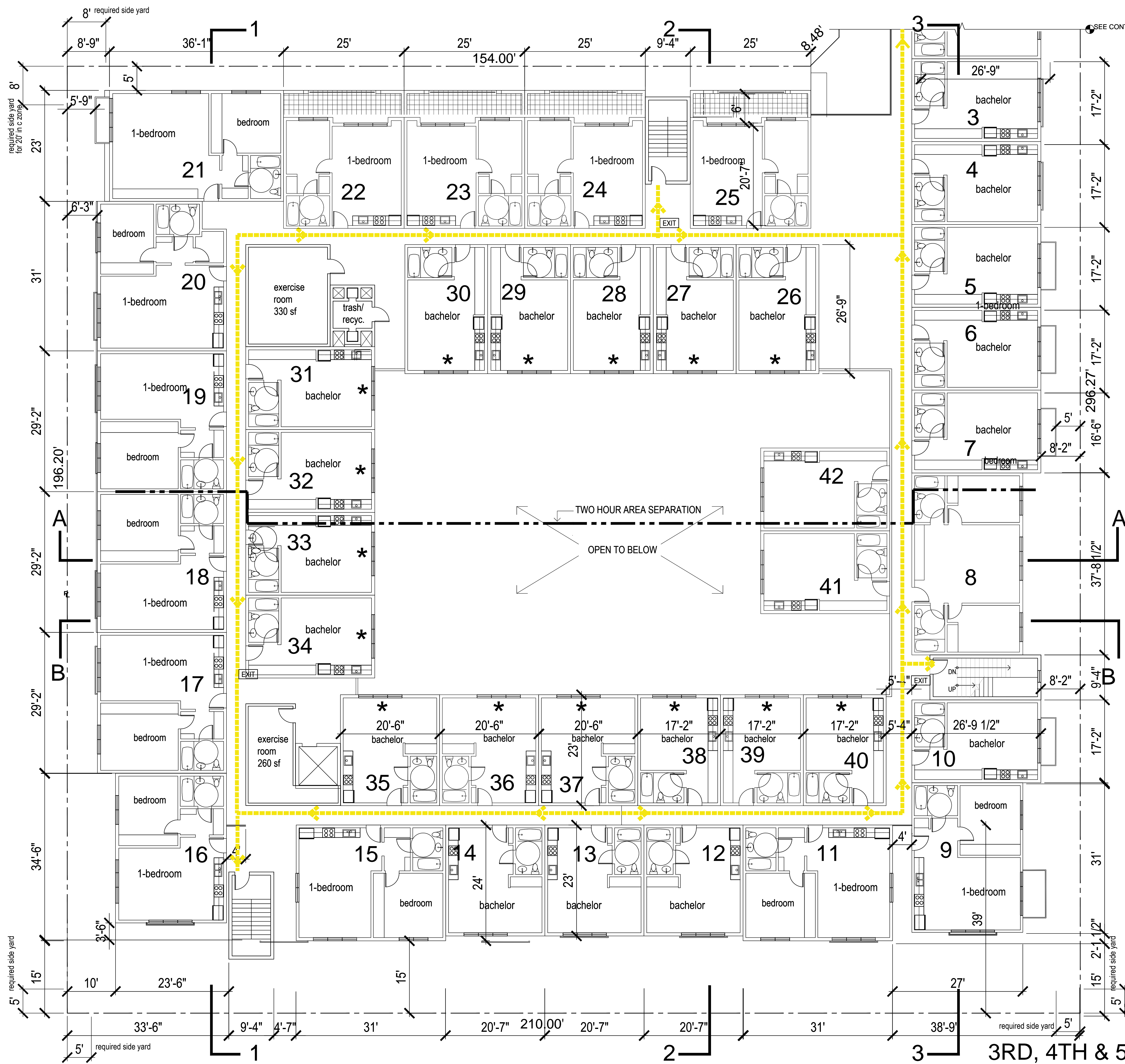
SECOND FLOOR PLAN

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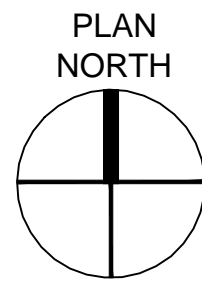
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CONSTRUCTION TYPE: V-A FULLY SPRINKLERED (4 STORIES)
 1-A GARAGE FULLY SPRINKLERED
 * EGRESS BEDROOM WINDOWS FACING COURTYARD

SCALE: 1/8" = 1'-0"



3RD, 4TH & 5TH FLOORS
 42 units (2-2BR, 13-1BR, 27-BACHELOR)

THIRD FLOOR PLAN

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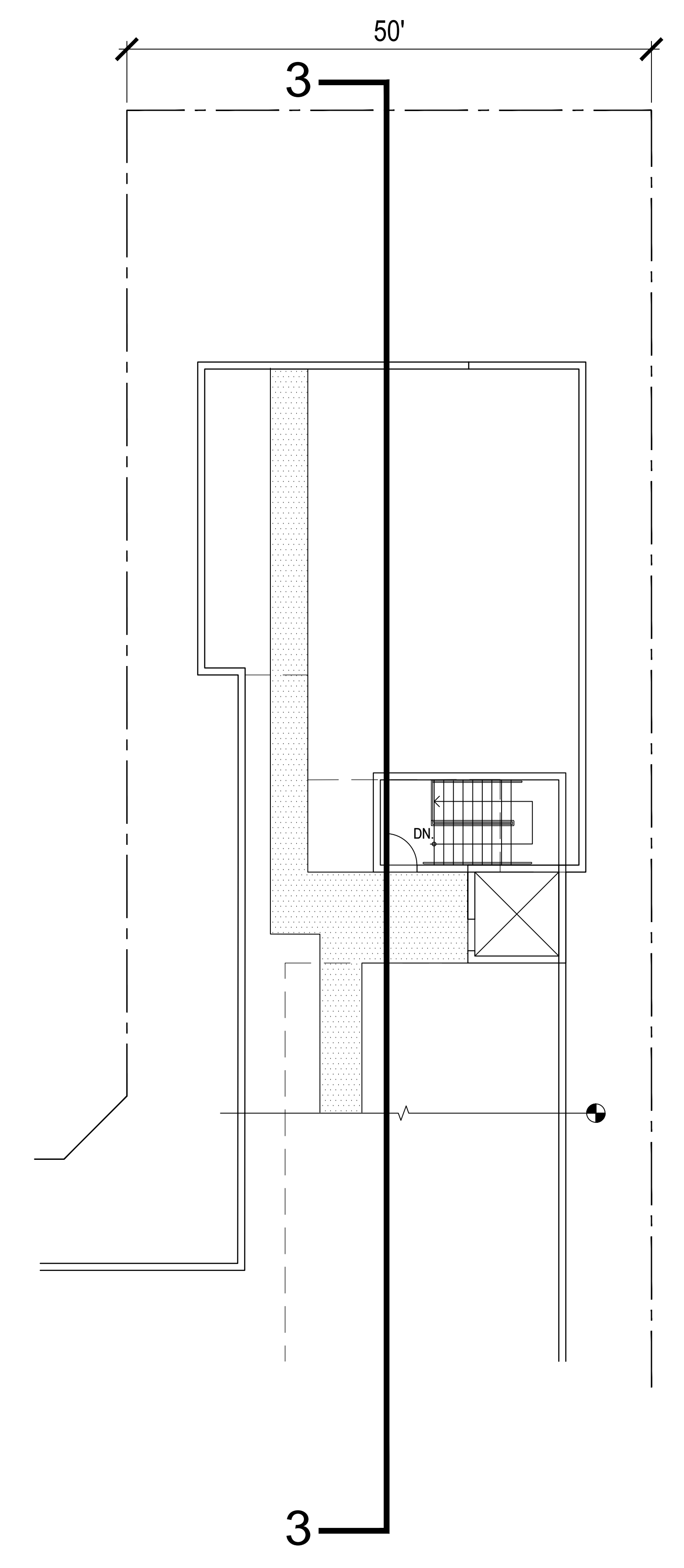
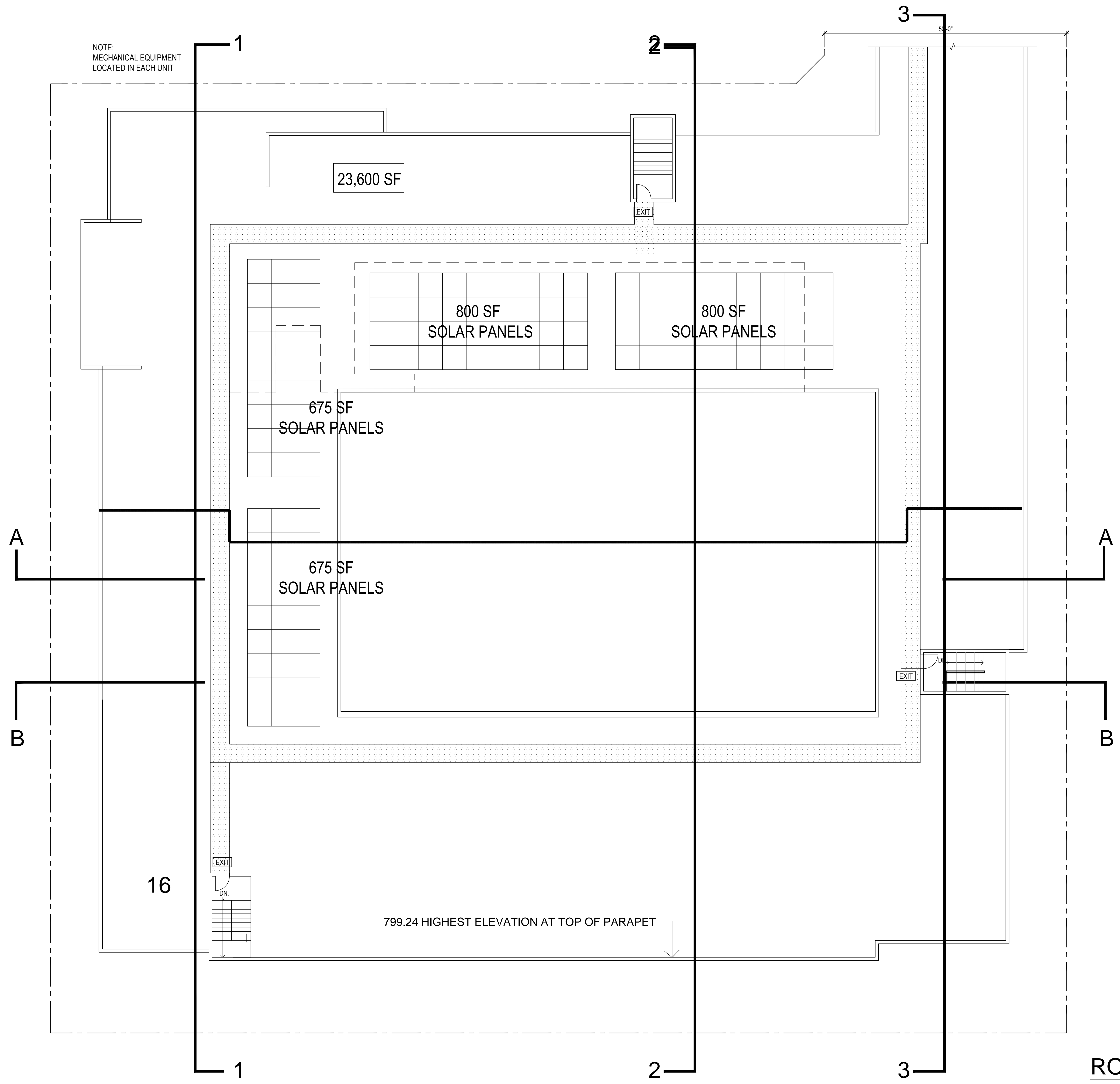
ROOF PLAN

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140 ACARI DRIVE, LOS ANGELES, CALIFORNIA

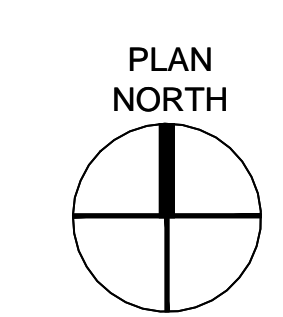
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NOTE:
MECHANICAL EQUIPMENT
LOCATED IN EACH UNIT



CONSTRUCTION TYPE: V-A FULLY SPRINKLERED (4 STORIES)
1-A GARAGE FULLY SPRINKLERED

* EGRESS BEDROOM WINDOWS FACING COURTYARD



ROOF PLAN
SCALE: 1/8" = 1'-0"

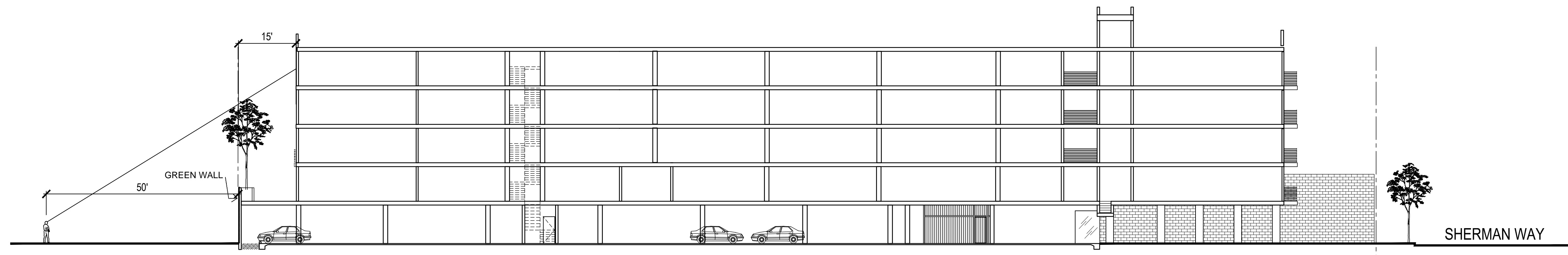
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BUILDING SECTIONS

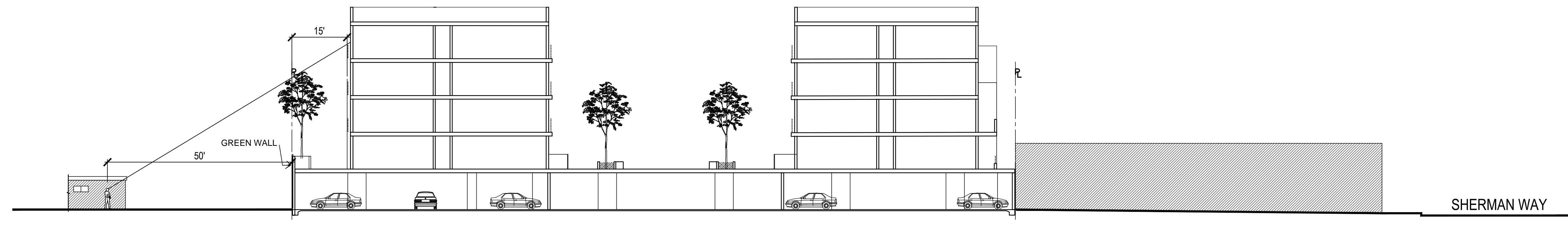
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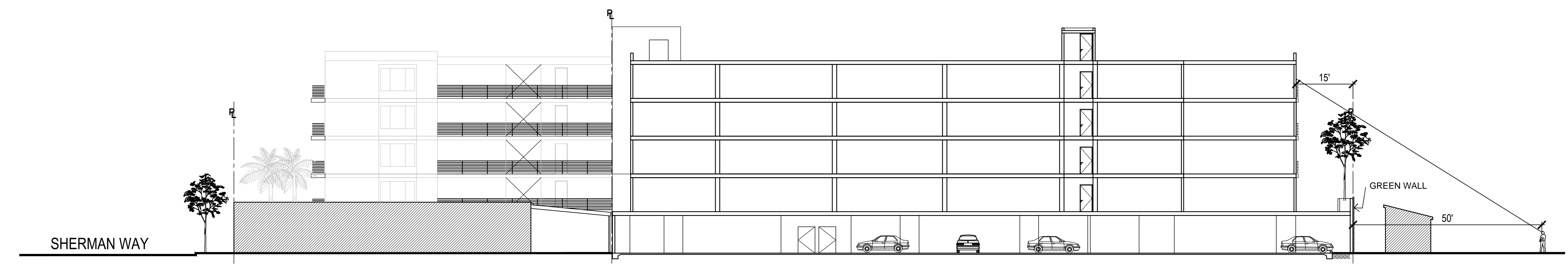
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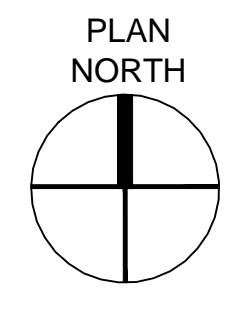
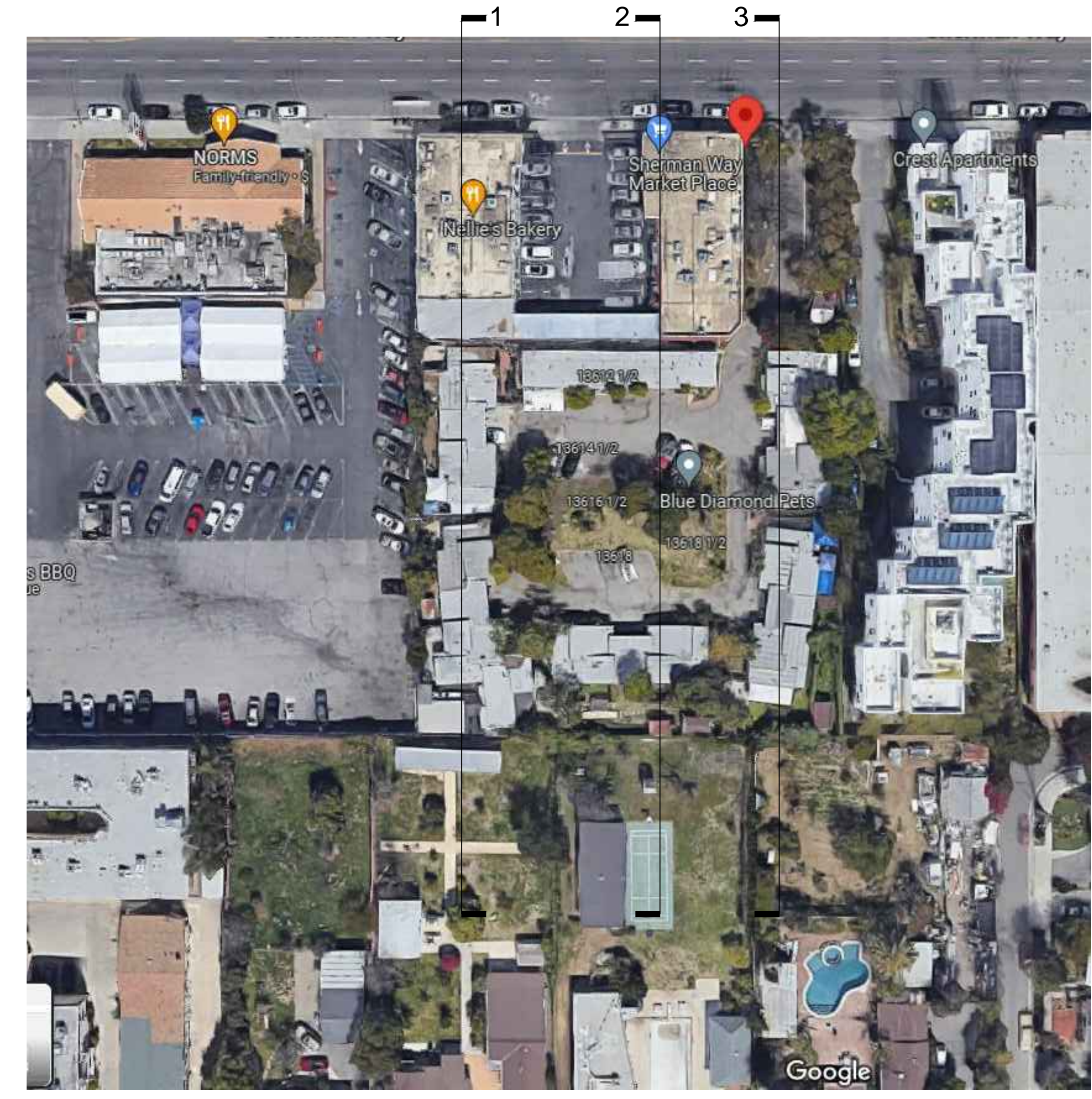
SECTION 3
SCALE: 1/16" = 1'-0"



SECTION 2
SCALE: 1/16" = 1'-0"



SECTION 1
SCALE: 1/16" = 1'-0"



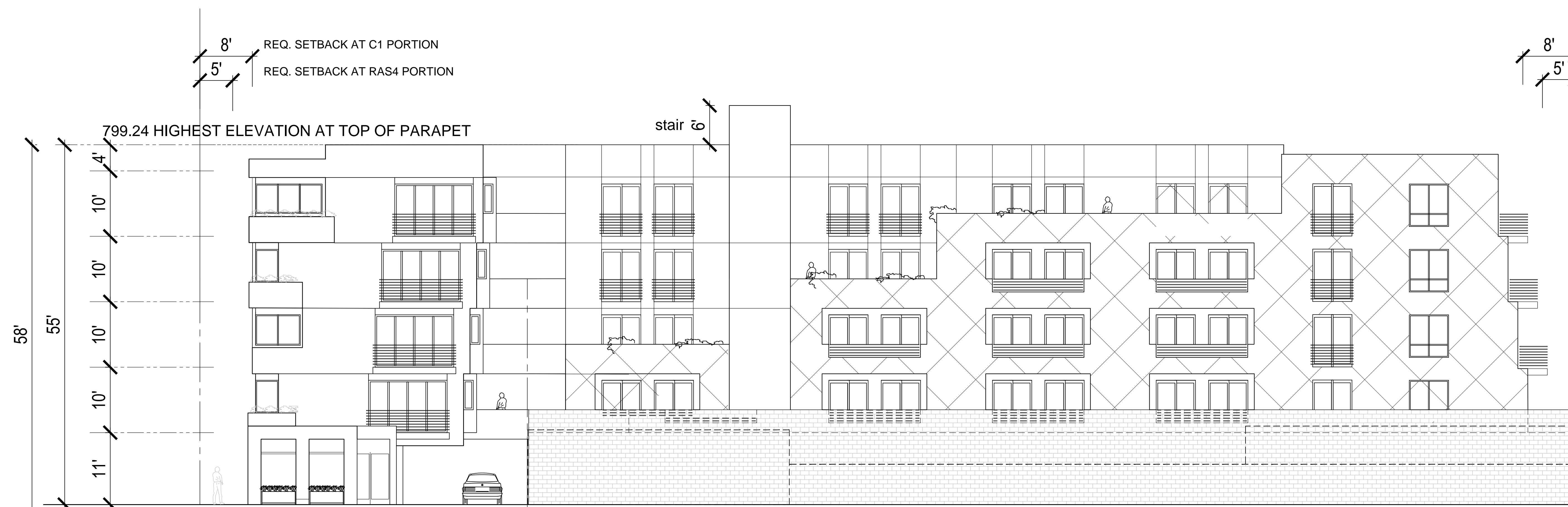
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WEST ELEVATION

SCALE: 1/8" = 1'-0"

741.24 LOWEST GRADE
SOUTHEAST CORNER OF SITE



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

741.24 LOWEST GRADE
SOUTHEAST CORNER OF SITE

ELEVATIONS

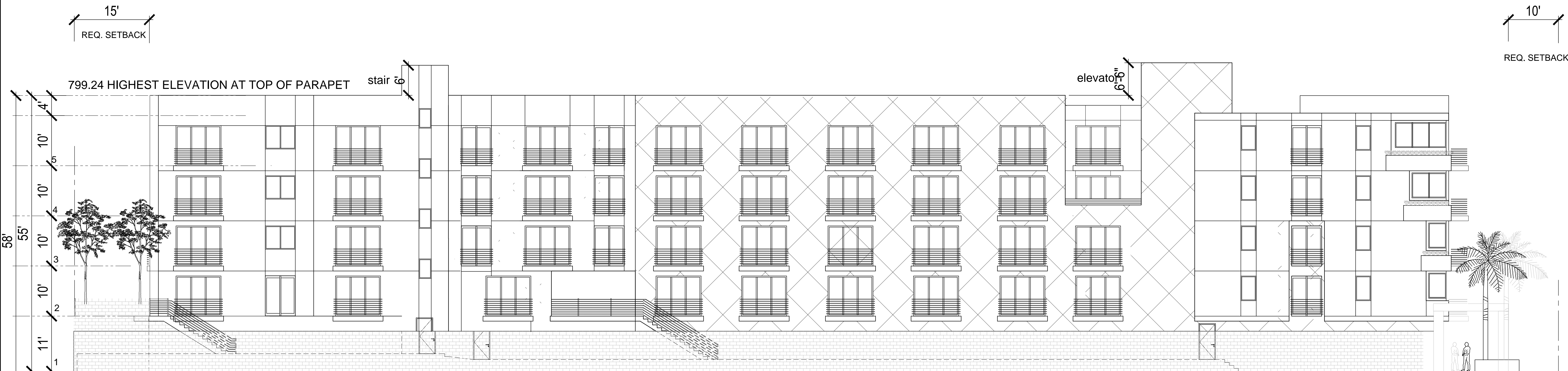
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EAST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

ELEVATIONS

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