

CITY OF LOS ANGELES

**DEPARTMENT OF
CITY PLANNING**
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CYPRESS PARK AND GLASSELL PARK COMMUNITY DESIGN OVERLAY PLAN APPROVAL

July 19, 2023

Applicant/Owner

Joseph & Lara Vargas
3217 McCarthy Drive
Los Angeles, CA 90065

Representative

Agnieszka Kaleta Lopez
2455 East Orange Grove
Boulevard
Pasadena, CA 91104

Case No.: DIR-2023-3097-CDO

CEQA: ENV-2023-3098-CE

Location: 3217 West McCarthy Drive

Council District: 13 – Soto-Martinez

Neighborhood Council: Glassell Park

Community Plan Area: Northeast Los Angeles

Land Use Designation: Low Residential

Zone: R1-1-CDO

Legal Description: Lot 5, Tract TR-10385

Last Day to File an Appeal: August 3, 2023

DETERMINATION

Pursuant to the Los Angeles Municipal Code (LAMC) Section 13.08 and the Cypress Park and Glassell Park Community Design Overlay (CDO) Guidelines, I have reviewed the proposed Project and as the designee of the Director of Planning, I hereby:

Determine based on the whole of the administrative record that the Project is exempt from CEQA pursuant to CEQA Guidelines Section 15301, Class 1 and Section 15303, Class 3, and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 of the State CEQA Guidelines regarding location, cumulative impacts, significant effects or unusual circumstances, scenic highways, or hazardous waste sites, or historical resources applies; and

Approve with Conditions a CDO Plan Approval for the construction of a 662 square foot two (2) car garage and 554 square foot attached recreational room/pool house located in the rear of a 7,878 square foot lot with an existing single-family dwelling.

The Project approval is based upon the attached Findings, and subject to the attached Conditions of Approval:

CONDITIONS OF APPROVAL

1. **Site Development.** Except as modified herein, the Project shall be in substantial conformance with the plans and materials submitted by the Applicant, stamped "Exhibit A," and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning, Central Project Planning Division, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provision so the Municipal Code, the project conditions, or the project permit authorization.
2. **Floor Area.** The proposed project shall be limited to a total of 1,226.50 square feet, including the garage, recreation room/pool house, and porch.
3. **Height.** The project shall be limited to 18 feet in height.
4. **Landscape.**
 - a. All open areas not used for approved parking, walkways or driveways shall be improved with landscape features, shall include drought-tolerant plants, and permeable pavement.
5. **Paint.**
 - a. Overly bright and fluorescent paint colors shall not be used.
 - b. Beige, white, and gray shall be used sparingly.
 - c. All vents, downspouts, etc. shall be painted to match the color of the adjacent surface unless being used expressly as a trim or accent element.
6. **Fence.** Front yard fences shall not exceed the height permitted by the Zoning Code and should be comprised of transparent materials such as darkly colored (black or dark green) non-decorative wrought iron.
7. **Trash and Recycling Bins.** Trash and recycling bins shall be kept out of view from the public right-of-way.

Administrative Conditions

8. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building and Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall be stamped by Department of City Planning staff "Plans Approved". A copy of the Plans Approved, supplied by the applicant, shall be retained in the subject case file.
9. **Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet, and shall include any modifications or notations required herein.

10. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
11. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
12. **Department of Building and Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
13. **Enforcement.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Department of City Planning.
14. **Covenant.** Prior to the issuance of any permits relative to this matter, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Department of City Planning, Development Services Center for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Development Services Center for attachment to the subject case file.
15. **Expiration.** In the event that this grant is not utilized within three years of its effective date (the day following the last day that an appeal may be filed), the grant shall be considered null and void. Issuance of a building permit, and the initiation of, and diligent continuation of, construction activity shall constitute utilization for the purposes of this grant.
16. **Indemnification and Reimbursement of Litigation Costs.**

Applicant shall do all of the following:

 - (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
 - (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
 - (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial

deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).

- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

BACKGROUND

The proposed project is for the construction of a 662 square foot two (2) car garage and 554 square foot attached recreational room/pool house located in the rear of a 7,878 square foot lot with an existing single-family dwelling. The project includes the construction of a 10.5 square foot porch at the entry of the recreational room/pool house structure, a 380 square foot semi-pervious driveway at the rear of the lot leading to the proposed garage, and a 192 square foot wooden deck and trellis from the recreational room/pool house. The applicant proposes to construct a pool and spa which will be reviewed separately under an Administrative Review process and is not a part of this project. There are no Protected Trees on site, and a total of five (5) non-Protected trees will be removed as a result of the proposed project. The project site is a rectangular flat lot and is zoned R1-1-CDO within the Northeast Los Angeles Community Plan area. The lot is oriented towards McCarthy Drive in the Glassell Park neighborhood.

FINDINGS

1. The project substantially complies with the adopted Community Design Overlay Guidelines and Standards.

Site Planning:

Guideline 1: Encourage an inviting pedestrian environment and provide for streetwall continuity by locating residences with a consistent setback (as much as the Zoning Code will allow), orienting buildings to the street and providing pedestrian amenities along the front of buildings.

Standard 1: New homes on non-hillside lots should be built with primary front entrances that are directly accessible from the public street. Existing front entrances shall be maintained. Hillside lots shall provide primary pedestrian entrances that are directly accessible to the street to the greatest extent possible.

The proposed project is for the construction of 1,226.50 square foot structure to the rear of the single-family lot. The project includes the construction of a 662 square foot two (2) car garage, attached 554 square foot recreational room/pool house, and 10.5 square foot porch at the entry of the recreational room/pool house. The proposed project site is located on a Hillside lot and will maintain the front entrance of the existing single-family dwelling. The front entrance will be directly accessible from the public street. Therefore, the proposed project complies with this Guideline.

Guideline 2: Front yard areas function as a necessary transition between the public realm and the private realm. As such, front yards should maintain an open and uncluttered appearance. Encourage the use of front yards as landscape areas by keeping parking areas to the rear of developments.

Standard 2a: Homes with existing rear yard parking areas should maintain such areas and should not be permitted to construct new garages or carports at the front of the house. New homes should be built with rear yard parking areas to the greatest extent feasible.

Standard 2b: Homes should maintain or be constructed with driveways that have minimal paved surface and front walkways that lead directly from the street to the front entrance.

Standard 2c: *The paving of front yards (other than walkways and driveways) and the use of any space between the front of the house and the front property line (regardless of setback requirements) for parking is inappropriate.*

Standard 2d: *Driveways within the front yard should be no wider than the separation between the house and the side yard lot line.*

As seen in Exhibit A, the project proposes the construction of a 1,226.50 square foot structure to the rear of a 7,878 square foot single-family lot. The project also includes a 380 square foot semi-pervious concrete driveway leading to the proposed garage. The existing driveway and pedestrian access in the front of the single-family dwelling will be maintained and all parking areas proposed are to the rear of the single-family lot. The front yard will be maintained as a transition between the public realm and the private realm. Therefore, the proposed project complies with this Guideline.

Building Design:

Guideline 3: Facilitate a sense of community and neighborhood security by encouraging the orientation of buildings toward the street and by encouraging a high level of transparency.

Standard 3a: *Front entrances on existing homes should be preserved to the greatest extent possible and should not be obscured or removed through additions or re-modeling.*

Standard 3b: *Existing front porches on homes should be preserved. New homes should be designed with front porches or front entrances that are well defined by architectural features such as canopies, columns or entry patios. The filling-in of existing front porches is inappropriate.*

Standard 3c: *Homes should be designed with a high degree of transparency by including windows along all facades. Windows on existing homes should be maintained to the greatest extent feasible with regard to window type and the size of openings. The alteration of window openings along facades that are visible from the street is inappropriate.*

The front entrance of the existing single-family dwelling will be preserved and will not be obscured or removed. The project proposes windows along all facades of the structure and includes an entry patio to the recreational room/pool house. Therefore, the proposed project complies with this Guideline.

Guideline 4: Most neighborhood streets have been developed with single-story homes or homes with a subordinate attic-style second floor. While second floor additions may be appropriate, special attention should be paid to scale, massing and the location of second-floor area. Encourage a cohesive neighborhood character by building new structures and additions at a scale that is appropriate to the street and the surrounding neighborhood context.

Standard 4a: *Locate additions to the rear of existing structures whenever possible, away from the front façade of an existing building.*

Standard 4b: *Additions should be compatible in form with the existing structure although visually subordinate in massing. Second floor additions shall be set back from the front of the existing residence in such a way that the existing roofline and other significant*

architectural features are preserved and should be designed so as to be visually unobtrusive.

Standard 4c: *Addition roof forms and building shapes should be consistent with those of the existing structure.*

Standard 4d: *The original rooflines of the front façade of a structure should remain readable and not be obscured by an addition.*

Standard 4e: *The scale, roof form and architectural style of new structures should be consistent with the surrounding neighborhood context.*

The proposed project is the construction of a detached 1,226.50 structure to the rear of a 7,878 square foot single-family lot. The existing and proposed structure will be single-story

The project proposes the construction of 1,226.50 square foot structure to the rear of a 7,878 square foot single-family lot. The project includes the construction of a 662 square feet two (2) car garage, attached 554 square foot recreational room/pool house, and 10.5 square foot porch at the entry of the recreational room/pool house. The existing structure and proposed detached structure will be single-story. The roof forms and building shapes of the proposed structure does not significantly deviate stylistically from the existing structure. The existing single-family dwelling maintains a gable roof and the proposed project incorporates a similar asymmetrical skillion roof style. The scale, roof form and architectural style of the new detached garage and recreational room/pool house structure is consistent with the surrounding neighborhood context. Therefore, the proposed project complies with this Guideline.

Architectural Features:

Guideline 5: Emphasize pedestrian orientation and accessibility by creating well-articulated, inviting entrances to homes and by orienting homes toward the street.

Standard 5: *Emphasize front entrances through architectural features such as front porches, awnings, columns and/or prominent walkways.*

The proposed project is an addition of a garage and accessory structures to the existing dwelling and the existing single-family dwelling entrance will be maintained, as seen in Exhibit A. Therefore, this Guideline is not applicable to the proposed project.

Guideline 6: Encourage architectural compatibility by designing additions and infill projects to have compatible architectural features.

Standard 6a: *Use compatible window and door patterns, openings and materials on additions to existing homes.*

Standard 6b: *Additions to existing structures should be architecturally compatible with the existing architectural style of a home and should not drastically alter or modify the existing structure*

The new two (2) car garage and attached recreational room/pool house structure, including window and doors, openings, and materials are consistent and compatible with the architectural style of the existing single-family dwelling as seen in Exhibit A. Therefore, the proposed project complies with this Guideline.

Guideline 7: New homes should be built with a high level of craftsmanship and attention to detail and should contribute in a positive way to the character of the surrounding neighborhood. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize an existing structure should be preserved or replaced with designs and materials that match the original where modifications to an existing structure are proposed. Building modifications or new construction that diminish the architectural integrity of existing buildings or streetscapes should be avoided.

Standard 7a: Materials such as stone, brick, tile, wood siding and natural wood finishes on existing structurally viable buildings should not be painted over, removed or otherwise obscured.

Standard 7b: Decorative features such as corbels, friezes, divided-light or decorative windows, pilasters and other such character defining architectural elements should be preserved and should not be painted over, removed or concealed by building additions, structural elements, or facades.

Standard 7c: New homes should be designed with window configurations that are appropriately scaled to the size of the façade; include sills and frames; and are arranged in cohesive patterns through top-alignment, even spacing and symmetry where appropriate.

Standard 7d: Where appropriate paint colors should accentuate architectural features. In many instances a three-color paint scheme for body, trim and accent pieces is preferred. Overly bright paint colors, and fluorescent paint colors shall not be used. Colors such as beige, white and gray that produce glare, should be used sparingly.

Standard 7e: All vents, gutters, down spouts, etc. should be painted to match the color of the adjacent surface, unless being used expressly as a trim or accent element.

Window configurations have a harmonious rhythm and size that are related to the interior as well as head heights and sill heights that align in elevation view and are appropriate to the height of the building. The same three-color paint scheme will be maintained from the existing single-family dwelling throughout the proposed structure. The materials and colors proposed, as seen in Exhibit A, include white stucco, windows and wood painted doors to match the existing single-family dwelling. As conditioned, all vents, gutters, downspouts, etc. will be painted to match the color of the adjacent surface. Therefore, the proposed project complies with this Guideline.

Landscaping:

Guideline 8: Encourage the use of front yards as a transition between private and public space that contribute to the overall visual quality of the individual home and the surrounding neighborhood context. Yards should be landscaped and maintained to an extent that encourages use and enhances the livability of residential structures.

Standard 8a: Improve all open areas not used for approved parking, walkways or driveways with landscape features such as turf, trees, flowering plants and shrubbery. Drought tolerant plants are preferred.

Standard 8b: Develop front yards with a prominent front walkway that leads directly from the sidewalk to the pedestrian entrance. Walkways should not exceed 5 feet in width and shall be improved with stamped concrete, brick, tile, stone or other such decorative surfaces.

Standard 8c: Improve a minimum 75% of the area between the front of the house and the front property line (regardless of front yard setbacks) with landscape features such as turf, trees, flowering plants and shrubbery. Drought tolerant plants are preferred.

Standard 8d: When paving driveways, utilize pervious or semi-pervious surfaces such as Portland-cement concrete, grass-crete, Hollywood-driveways (tire-wide paved strips with grass running up the middle) or stone/grass surfaces to the greatest extent possible.

Standard 8e: Front yard fences shall not exceed the height permitted by the Zoning Code and should be comprised of transparent materials such as darkly colored (black or dark green) non-decorative wrought iron. Where Yard Adjustment Variances have been granted by the Zoning Administrator to allow over-height fences, such fences should be constructed only of materials enumerated above.

Standard 8f: Concrete block walls, concrete block pilasters, chain link and overly decorative and/or brightly colored wrought iron should not be used for front yard fences or any fences along a public street.

Standard 8g: Trash and recycling bins shall be kept out of view from the public right-of-way and should be stored in the rear yard area

As seen in Exhibit A, the front yard will be landscaped with the existing landscaping as a transition between the public realm and the private realm. There are no existing or proposed front yard fences. As seen in Exhibit A and as conditioned, the trash and recycling bins will be kept out of view from the public right-of-way behind an existing side yard gate. The existing driveway will be maintained off McCarthy Drive and the proposed 380 square foot semi-pervious driveway will be located at the rear of the single-family lot with access from the adjacent alley way. Therefore, the proposed project complies with this Guideline.

2. The structures, site plan and landscaping are harmonious in scale and design with existing development and any cultural, scenic or environmental resources adjacent to the site and the vicinity.

The proposed project is for the construction of a 662 square foot two (2) car garage and 554 square foot attached recreational room/pool house located in the rear of a 7,878 square foot lot with an existing single-family dwelling. The project site is zoned R1-1-CDO within the Northeast Los Angeles Community Plan area. The lot is oriented towards McCarthy Drive in the Glassell Park neighborhood.

The design of the project is in harmonious with the neighboring abutting single-family dwellings. The landscaped area within the front yard includes existing sod landscaping and cedar tree as a transition between the public realm and the private realm. There are no existing or proposed front yard fences. The existing driveway will be maintained off McCarthy Drive and the proposed 380 square foot semi-pervious driveway will be located at the rear of the single-family lot with access from the adjacent alley way. The materials and colors proposed, as seen in Exhibit A, include white stucco, windows and wood painted doors to match the existing single-family dwelling. As conditioned, all vents, gutters, downspouts, etc. will be painted to match the color of the adjacent surface. The proposed project style, materials, colors, articulation, and massing are compatible with the existing dwelling and surrounding neighborhood context. This will enhance and compliment the surrounding neighborhood. The proposed project conforms to the applicable CDO Design

Guidelines and Development Standards. The proposed project is not located in close proximity to any cultural, scenic or environmental resources.

ENVIRONMENTAL FINDING

The Planning Department has determined that the California Environmental Quality Act (CEQA) of 1970 and the State CEQA Guidelines designate the subject project as Categorically Exempt under Article 19, Section 15301, Class 1 and 15303, Class 3 (addition to existing structure and new construction). The site is located at 3217 West McCarthy Drive.

OBSERVANCE OF CONDITIONS - TIME LIMIT - LAPSE OF PRIVILEGES

All terms and conditions of the Director's Determination shall be fulfilled before the use may be established. The instant authorization is further conditioned upon the privileges being utilized within **three years** after the effective date of this determination and, if such privileges are not utilized, building permits are not issued, or substantial physical construction work is not begun within said time and carried on diligently so that building permits do not lapse, the authorization shall terminate and become void.

TRANSFERABILITY

This determination runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant. If any portion of this approval is utilized, then all other conditions and requirements set forth herein become immediately operative and must be strictly observed.

VIOLATIONS OF THESE CONDITIONS, A MISDEMEANOR

Section 11.00 of the LAMC states in part (m): "It shall be unlawful for any person to violate any provision or fail to comply with any of the requirements of this Code. Any person violating any of the provisions or failing to comply with any of the mandatory requirements of this Code shall be guilty of a misdemeanor unless that violation or failure is declared in that section to be an infraction. An infraction shall be tried and be punishable as provided in Section 19.6 of the Penal Code and the provisions of this section. Any violation of this Code that is designated as a misdemeanor may be charged by the City Attorney as either a misdemeanor or an infraction.

Every violation of this determination is punishable as a misdemeanor unless provision is otherwise made, and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the County Jail for a period of not more than six months, or by both a fine and imprisonment."

APPEAL PERIOD - EFFECTIVE DATE

This grant is not a permit or license and any permits and/or licenses required by law must be obtained from the proper public agency. If any Condition of this grant is violated or not complied with, then the applicant or their successor in interest may be prosecuted for violating these Conditions the same as for any violation of the requirements contained in the Los Angeles Municipal Code (LAMC).

This determination will become effective after the end of appeal period date on the first page of this document, unless an appeal is filed with the Department of City Planning. An appeal application must be submitted and paid for before 4:30 PM (PST) on the final day to appeal the determination. Should the final day fall on a weekend or legal City holiday, the time for filing an

appeal shall be extended to 4:30 PM (PST) on the next succeeding working day. Appeals should be filed early to ensure the Development Services Center (DSC) staff has adequate time to review and accept the documents, and to allow appellants time to submit payment.

An appeal may be filed utilizing the following options:

Online Application System (OAS): The OAS (<https://planning.lacity.org/oas>) allows entitlement appeals to be submitted entirely electronically by allowing an appellant to fill out and submit an appeal application online directly to City Planning's DSC, and submit fee payment by credit card or e-check.

Drop off at DSC. Appeals of this determination can be submitted in-person at the Metro or Van Nuys DSC locations, and payment can be made by credit card or check. City Planning has established drop-off areas at the DSCs with physical boxes where appellants can drop off appeal applications; alternatively, appeal applications can be filed with staff at DSC public counters. Appeal applications must be on the prescribed forms and accompanied by the required fee and a copy of the determination letter. Appeal applications shall be received by the DSC public counter and paid for on or before the above date or the appeal will not be accepted.

Forms are available online at <http://planning.lacity.org/development-services/forms>. Public offices are located at:

Metro DSC
(213) 482-7077
201 N. Figueroa Street
Los Angeles, CA 90012
planning.figcounter@lacity.org

Van Nuys DSC
(818) 374-5050
6262 Van Nuys Boulevard
Van Nuys, CA 91401
planning.mbc2@lacity.org

West Los Angeles DSC
(CURRENTLY CLOSED)
(310) 231-2901
1828 Sawtelle Boulevard
West Los Angeles, CA 90025
planning.westla@lacity.org

City Planning staff may follow up with the appellant via email and/or phone if there are any questions or missing materials in the appeal submission, to ensure that the appeal package is complete and meets the applicable LAMC provisions.

If you seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, the petition for writ of mandate pursuant to that section must be filed no later than the 90th day following the date on which the City's decision became final pursuant to California Code of Civil Procedure Section 1094.6. There may be other time limits which also affect your ability to seek judicial review.

Verification of condition compliance with building plans and/or building permit applications are done at the City Planning Metro or Valley DSC locations. An in-person or virtual appointment for Condition Clearance can be made through the City's BuildLA portal (appointments.lacity.org). The applicant is further advised to notify any consultant representing you of this requirement as well.



QR Code to
Online Appeal
Filing



QR Code to Forms for In-
Person Appeal Filing



QR Code to BuildLA Appointment Portal
for Condition Clearance

Vincent P. Bertoni, AICP
Director of Planning

Approved by:

Vanessa Soto, AICP,
Senior City Planner

Reviewed by:

Nicole Sánchez, City Planner

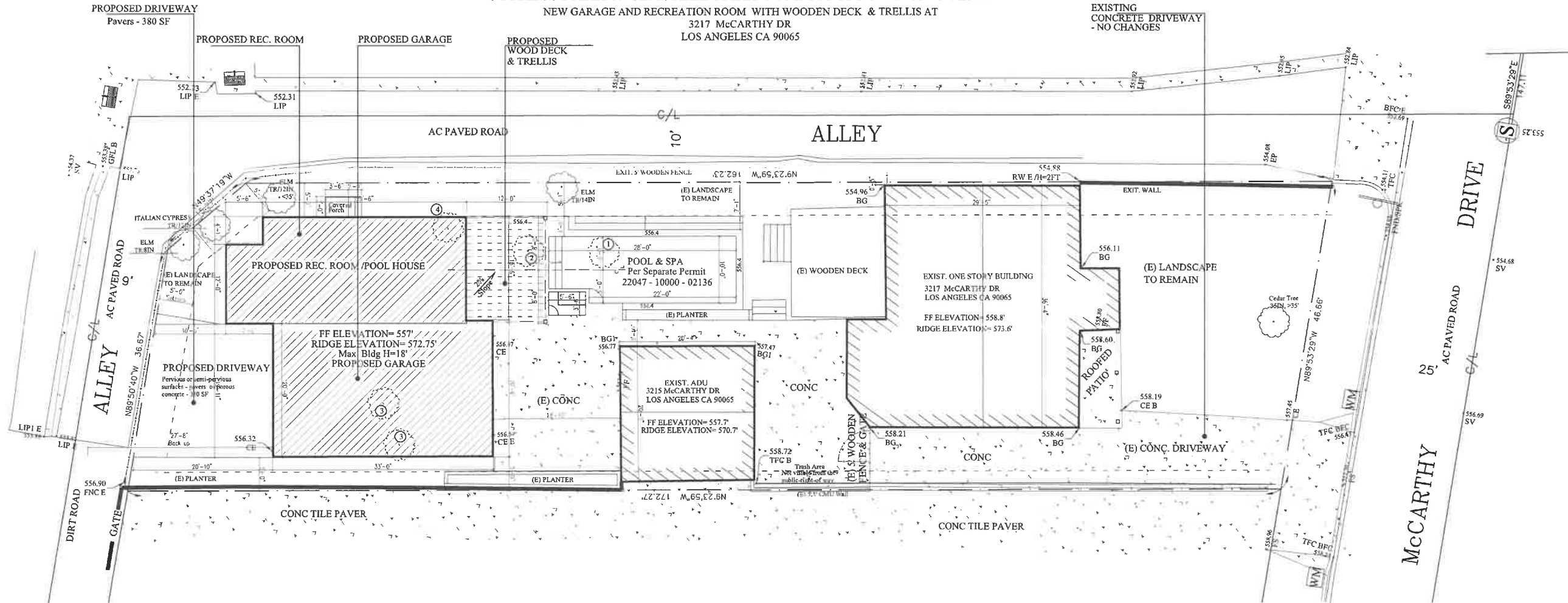
Prepared by:

Andrea Magaña Withers,
Planning Assistant
Andrea.maganawithers@lacity.org

CYPRESS PARK & GLASSELL PARK COMMUNITY DESIGN OVERLAY

NEW GARAGE AND RECREATION ROOM WITH WOODEN DECK & TRELLIS AT
3217 McCARTHY DR
LOS ANGELES CA 90065

EXISTING CONCRETE DRIVEWAY - NO CHANGES

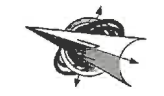


Total 1,332 SF - new impervious area
716 SF Impervious Tributary Area x 0.42 = 300 Gal
(2 x 150 Gallons barrel)
616 SF Impervious Tributary Area x 0.42 = 259 Gal
(2 x 130 Gallons barrel)
Minimum required landscaping within 25 ft of rain tank shall be one (1/3) of required volume to be captured = 559.3 = 184 SF
2 - 2x 150 Gallons Rain Barrel
2 - 2x 150 Gallons Rain Barrel
About 380 SF Pervious pavers

LEGEND:

- PROPERTY LINE
- PROPOSED BUILDING
- (E) FENCE

- EXISTING TREES TO REMAIN
- TREES TO BE REMOVED
- 1 Orange Tree - 8"
- 2 Grapefruit Tree - 11"
- 3 2 x Palm Trees - 16" each
- 4 Avocado/Luster Tree - 24", <35"



PLOT PLAN
SCALE 1/8" = 1'0"

SCOPE OF WORK

New 2- car Garage with attached Recreational Room / Pool House.
New 12'x 16' Trellis

SHEET INDEX

- A0 PLOT PLAN
- A1 PROPOSED FLOOR PLAN
- A2 PROPOSED ELEVATIONS
- A3 SECTIONS & ROOF
- A4 DETAILS

GENERAL INFORMATION ON PROPERTY & LEGAL DESCRIPTION OF PROPERTY

Address: VARGAS, JOSEPH A AND LARA S
3217 & 3215 MCCARTHY DR
LOS ANGELES CA 90065-4914

APN: 5679-023-015
TRACT: 10385
LOT: 5
ZONE: R1-1-CDO
Height:
Fire Sprinklers - Exist. NO
Proposed - NO

LOT SIZE: 7,877 SF
EXISTING HOUSE: 1,085 SF
EXISTING ADU: 400 SF

PROPOSED GARAGE (including exterior walls) 662 SF
PROPOSED COVERED PORCH 10.5 SF
PROPOSED REC ROOM (including exterior walls) 554 SF
Total Proposed 1,226.5 SF

PROPOSED ADDITION (including exterior walls): 1,226.5 SF
Los Angeles Unified School District

NOTES

THE CONSTRUCTION WILL COMPLY WITH THE CODES IN EFFECT AT THE TIME THE APPLICATION IS ACCEPTED.

2019 CALIFORNIA BUILDING CODE - TITLE 24, PART 2
2019 LOS ANGELES GREEN BUILDING CODE
2019 CALIFORNIA ENERGY CODE - TITLE 24, PART 6
2019 CALIFORNIA RESIDENTIAL CODE - TITLE 24, PART 2.5
2019 CALIFORNIA ELECTRICAL CODE - TITLE 24, PART 3
2019 CALIFORNIA MECHANICAL CODE - TITLE 24, PART 4
2019 CALIFORNIA PLUMBING CODE - TITLE 24, PART 5
2019 CALIFORNIA ENERGY CODE - TITLE 24, PART 6
2020 City of Los Angeles Amendments

FAR SUMMARY (WITHOUT EXTERIOR WALLS) - see A3 Roof Plan
Max = 3,478.11 SF - See Slope Analyses

	EXISTING	NEW	CREDIT	TOTAL
Exist. Dwelling	1,085			1,085
Exist. ADU	400			400
GARAGE		624	400	224
REC.ROOM/POOL HOUSE		505		505
Covered Porch		10.5		10.5
TOTAL	1,485	1,139.5	400	2,224.5 S.F.

CONSULTANTS

Designer: Agnieszka Kaleta
2455 E. Orange Grove Blvd.
Pasadena, CA 91104
(818 522 9187)

Structural Engineer: TRITEK ENGINEERING, INC.
21757 Devonshire St. #3
Chatsworth, CA 91311
Phone # 818 883 7563
email: tritek@pachell.net

Title 24: Energy Consult LLC
411 N. Harbor Blvd. Ste. # 205
San Pedro, California, 90731
www.title24ez.com
(424 247 7658)

Surveyor: CLS Solutions, Inc
18170 Rosita Street
Tarzana, CA 91356
Tel: (310) 280-6439
azart@913@gmail.com

Contractor: TBD

VICINITY MAP



EXHIBIT "A"
Page No. 1 of 7
Case No. DIP-2023-3077-CD

DRAFTING & DESIGN SERVICES
Agnieszka Kaleta Lupo/
2455 E. Orange Grove Blvd.
Pasadena, CA 91104
Phone 818-522-9187

NEW GARAGE, REC ROOM
3217 McCARTHY DR
LOS ANGELES CA 90065

PLOT PLAN

Date: 09-01-22
Scale: As Noted
Drawn by: AK

A0

Department of Building and Safety / City Planning
Slope Analysis and Maximum Residential Floor Area Verification Form

SECTION I. Name Applicant(s) / Property Owner(s): Lara Vargas
Address: 3217 McCarthy Dr, Los Angeles Phone Number: (805) 282-4433

SECTION II. Project Address: 3217 McCarthy Dr, Los Angeles, CA, 90065
Lot: S Tract: TR 10385 MB 152-43/44 APN: 5878-023-015

Proposed Project Description: (describe proposed work in detail)

SECTION III. Circle the Zone of the project site in Table 1 or Table 2 and complete Worksheet 1.

Slope Bands (%)	RL	RS	RE0	RE1	RE1.5	RE2	RE4	RA
0 - 14.99	0.45	0.45	0.40	0.40	0.35	0.35	0.35	0.25
15 - 29.99	0.45	0.40	0.35	0.35	0.30	0.30	0.30	0.2
30 - 44.99	0.40	0.35	0.30	0.30	0.25	0.25	0.25	0.15
45 - 59.99	0.35	0.30	0.25	0.25	0.20	0.20	0.20	0.10
60 - 99.99	0.30	0.25	0.20	0.20	0.15	0.15	0.15	0.05
100 +	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Slope Bands (%)	R1H1	R1H2	R1H3	R1H4
0 - 14.99	0.65	0.55	0.45	0.40
15 - 29.99	0.60	0.50	0.45	0.35
30 - 44.99	0.55	0.45	0.40	0.30
45 - 59.99	0.50	0.40	0.35	0.25
60 - 99.99	0.45	0.35	0.30	0.20
100 +	0.00	0.00	0.00	0.00

(A)	(B)	(C)	(D)
Slope Bands (%)	Lot Area within each Slope Band (sq. ft.) From survey/contour map.	FAR From the Zone circled in Table 1 or Table 2	Maximum Residential Floor Area* allowed within each Slope Band
0 - 14.99	7397.45	X 0.45	= 3328.85
15 - 29.99	210.90	X 0.45	= 94.91
30 - 44.99	25.84	X 0.40	= 10.34
45 - 59.99	40.67	X 0.35	= 14.23
60 - 99.99	99.28	X 0.30	= 29.78
100 +	103.79	X 0.00	=
Maximum Residential Floor Area			3478.11

* Residential Floor Area shall be calculated as defined in LAMC Section 12.03.

April 3, 2017

Page 2 of 3

Department of Building and Safety / City Planning
Slope Analysis and Maximum Residential Floor Area Verification Form

I, Bahram Ghorbanazar, the licensed professional Land Surveyor or Registered Civil Engineer in the State of California (License Number: LS 9283 Expiration Date: 09/30/2022), Certify that all of the above information is correct.

Signature: [Signature] Date: 07/21/2022

SECTION IV. (To be completed by City Planning Staff)

Approved Maximum Residential Floor Area for the property listed below: _____ (sq. ft.)

Property Information:

Lot: _____ Tract: _____

Assessor Parcel number: _____

City Planning's Staff: _____

2 Sets of Slope Analysis Maps Stamped and Signed Yes No

Name (Please Print): _____

Signature: _____ Date: _____

Notes:

April 3, 2017

Page 3 of 3



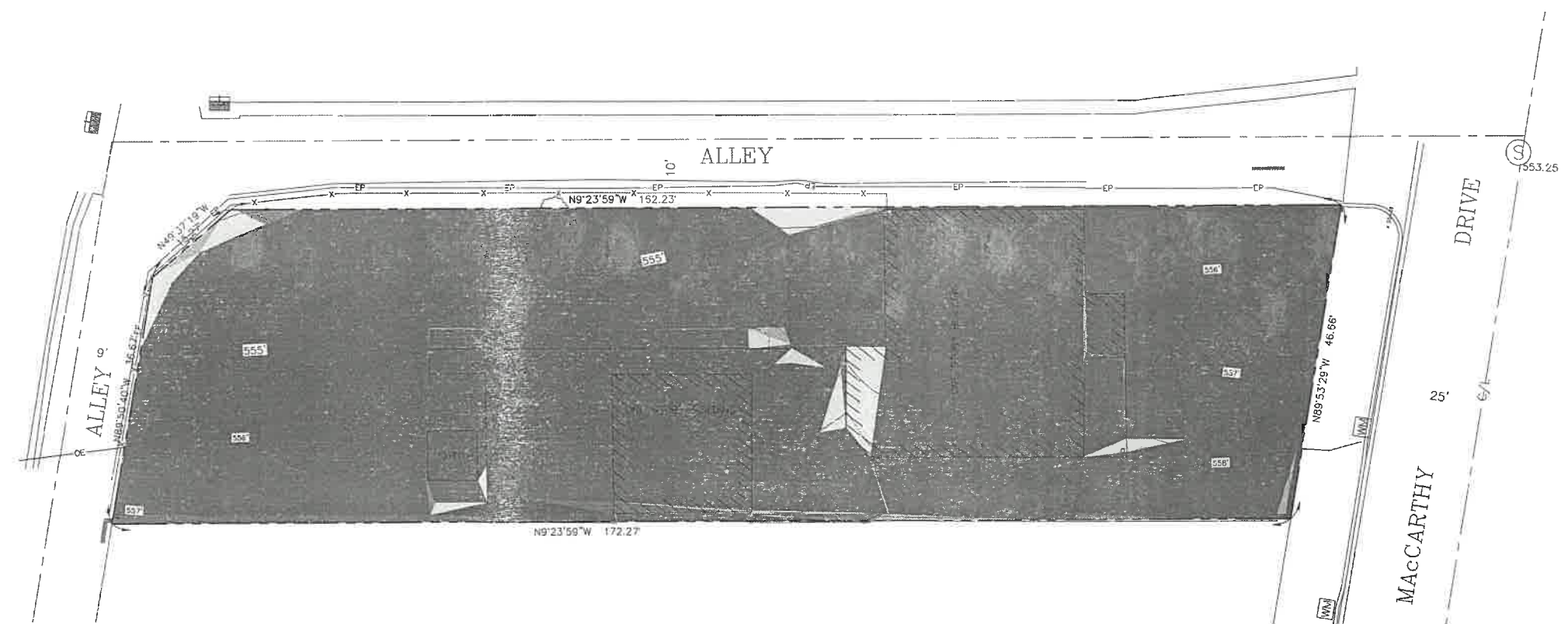
CASE NO: Slope Band Analysis
PLANNER: Yingshi Huang
DATE: 09/06/2022

Approved maximum residential floor area for the property is 3,478.11 sq.ft.

COLOR	RANGE	BEG	END	AREA	PERCENT	ZONING R1	RESIDENCE AREA
■	1	0.00%	14.99%	7397.45	93.90	0.45	3328.85
■	2	15.00%	29.99%	210.90	2.68	0.45	94.91
■	3	30.00%	44.99%	25.84	0.33	0.40	10.34
■	4	45.00%	59.99%	40.67	0.51	0.35	14.23
■	5	60.00%	99.99%	99.28	1.26	0.30	29.78
■	6	100.00%	150.00%	103.79	1.32	0.00	00.00
				TOTAL:	7877.93	100.00	3478.11



VICINITY MAP
NOT TO SCALE



LEGAL DESCRIPTION:
LOT 5 OF TRACT NO. 10385, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 152 PAGES 43 AND 44 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BASIS OF BEARINGS:
THE BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF BELLINGHAM AVENUE SHOWN AS N89°36'40"W ON TRACT MAP NO. 10385, RECORDED IN BOOK 152, PAGES 43 AND 49 OF MAPS, RECORDS OF LOS ANGELES COUNTY, SHOWN AS N89°59'29"W ON THIS MAP.

BENCHMARK:
VERTICAL DATUM OF THIS TOPOGRAPHIC MAP IS BASED ON CALIFORNIA REAL TIME NETWORK (CRTN).
TOP OF SEWER MANHOLE COVER AT MACCARTHY DR CENTERLINE SHOWN HEREON
ELEVATION=553.25 FT.

LAND AREA:
CONTAINING AN AREA OF 7878 SQ.FT. OR 0.18 ACRES MORE OR LESS.

REFERENCE:
RT - TRACT NO. 10385, M.B. 152-43/44.

SURVEY NOTE:

- 1) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. ADDITIONAL DEEDS, EASEMENTS, VACATIONS, TAKINGS AND/OR RESTRICTIONS AFFECTING THE SUBJECT PROPERTY MAY EXIST IN THE PUBLIC RECORDS OF LOS ANGELES COUNTY.
- 2) THIS SURVEY DOES NOT INCLUDE EASEMENTS OF RECORD OR OTHERWISE, UNDERGROUND PUBLIC UTILITIES, OR OTHER SUBSTRUCTURES, OR ZONE EASEMENTS, SETBACK OR STREET WIDENING DATA IF APPLICABLE.
- 3) RELATION OF TOPOGRAPHIC FEATURES (FENCE, WALL, TREES, POWER POLES, ETC.) TO PROPERTY LINES SHOWN ON THIS MAP IS SUBJECT TO THE ADJUSTMENTS TO ANY BOUNDARY SURVEY THAT IS TO BE DONE ON THE PROPERTY.

SURVEYOR'S STATEMENT:

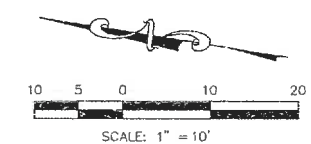
THIS TOPOGRAPHIC MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY COMPLETED ON JULY 17, 2022.

DATED: 07/21/2022



BAHRAM GHORBANAZAR PLS 9283

EXHIBIT "A"
Page No. 2 of 7
Case No. DIF-2023-3097-000



DESCRIPTION

DATE

REV

Proj Mgr: BA

Proj Num: 2475

Drawn by: SL/BA Date: 7/21/2022

SHEET 1

OF 7 SHEETS

SLOPE ANALYSIS SURVEY MAP

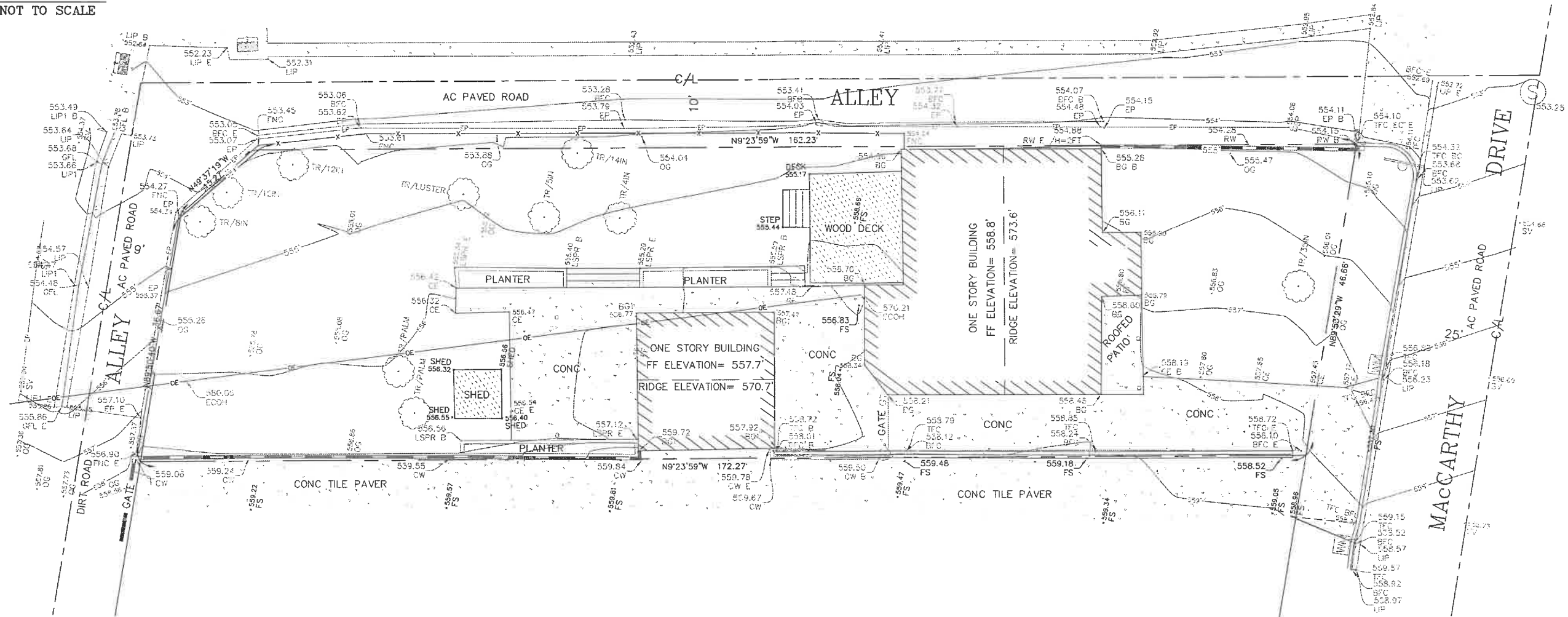
3217 MCCARTHY DR, LOS ANGELES, CA 90065

ORDER OF: LARA VARGAS

CLSSolutions Inc
1870 Reatic Street
PO BOX 28439
PHOENIX, AZ 85068
AZARB@GMAIL.COM



VICINITY MAP
NOT TO SCALE



ABBREVIATIONS		LEGEND	
AC	ASPHALT		TREE
B	BEGIN		SEWER MANHOLE
BG	BUILDING CORN.		CATCH BASIN
BFC	BOTTOM FRONT OF CURB		WATER METER
CW	CONCRETE WALL		SIGN
CE	CONCRETE EDGE		CHAINLINK FENCE
CONC	CONCRETE		CONCRETE WALL
COH	POWER OVERHEAD		PROPERTY LINE
E	END		CENTERLINE
EP	EDGE OF PAVEMENT		OVERHEAD POWER LINE
FF	FINISH FLOOR		
FNC	FENCE		
FS	FINISH SURFACE		
GFL	GUTTER FLOW LINE		
LSPR	LANDSCAPE PLANTER		
OG	ORIGINAL GROUND		
RW	RETAINING WALL		
SV	SPOT ELEVATION		
TFC	TOP FRONT OF CURB		
TR	TREE		
TFC	TOP FRONT OF CURB		

LEGAL DESCRIPTION:
 LOT 5 OF TRACT NO. 10385, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 152 PAGES 43 AND 44 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

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BENCHMARK:
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 TOP OF SEWER MANHOLE COVER AT MCCARTHY DR CENTERLINE SHOWN HEREON
 ELEVATION=553.25 FT.

LAND AREA:
 CONTAINING AN AREA OF 7878 SQ.FT. OR 0.18 ACRES MORE OR LESS.

REFERENCE:
 RT - TRACT NO. 10385, M.B. 152-43/44.

- SURVEY NOTE:**
- 1) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. ADDITIONAL DEEDS, EASEMENTS, VACATIONS, TAKINGS AND/OR RESTRICTIONS AFFECTING THE SUBJECT PROPERTY MAY EXIST IN THE PUBLIC RECORDS OF LOS ANGELES COUNTY.
 - 2) THIS SURVEY DOES NOT INCLUDE EASEMENTS OF RECORD OR OTHERWISE, UNDERGROUND PUBLIC UTILITIES, OR OTHER SUBSTRUCTURES, OR ZONE EASEMENTS, SETBACK OR STREET WIDENING DATA IF APPLICABLE.
 - 3) RELATION OF TOPOGRAPHIC FEATURES (FENCE, WALL, TREES, POWER POLES, ETC.) TO PROPERTY LINES SHOWN ON THIS MAP IS SUBJECT TO THE ADJUSTMENTS TO ANY BOUNDARY SURVEY THAT IS TO BE DONE ON THE PROPERTY.

SURVEYOR'S STATEMENT:

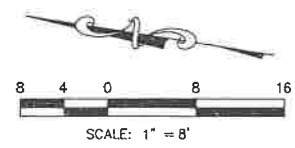
THIS TOPOGRAPHIC MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY COMPLETED ON JULY 17, 2022.

DATED: 07/22/2022



BAHRAM GHORBANAZAR PLS 9283

EXHIBIT "A"
 Page No. 3 of 7
 Case No. DIP-2023-3097-CD



REV	DATE	DESCRIPTION

Proj Mgr. BA
 Proj Num: 2475
 Drawn by: SL/BA Date: 7/22/2022

CLSSolutions inc
 18170 Reata Street
 Encinitas, CA 92039
 PH: 760.942.1339
 AZAR891366MAL.COM

TOPOGRAPHICAL SURVEY
 3217 MCCARTHY DR. LOS ANGELES, CA 90065
 ORDER OF: LARA VARGAS

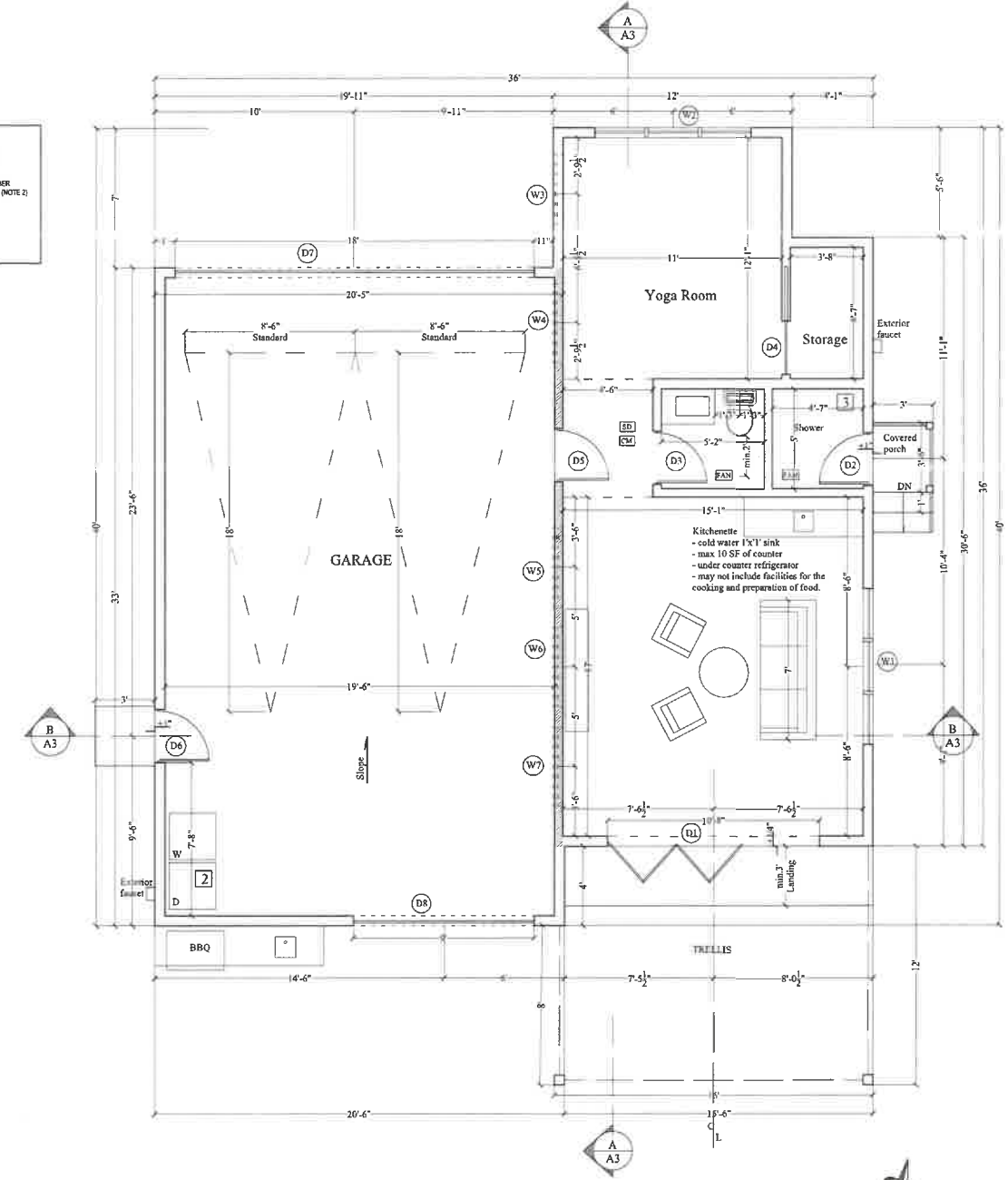
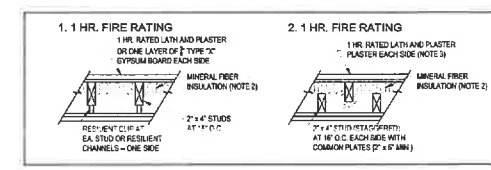
SHEET
1
 OF 1 SHEETS

DOOR SCHEDULE							
#	Size	Description	Door		Frame		Remarks
			Material	Finish	Material	Finish	
D1	10'-8" x 6'-8" w/transom (see below)	Double French	Wood/Glass	Stain/Paint	Wood	Stain/Paint	Tempered
D2	2'-8" x 7'-0"	Panel/outside Door	Wood/Glass	Stain/Paint	Wood	Stain/Paint	Tempered, frosted glass
D3	2'-8" x 7'-0"	Panel Door	Wood	Stain/Paint	Wood	Stain/Paint	
D4	2'-8" x 7'-0"	Pocket Door	Wood	Stain/Paint	Wood	Stain/Paint	
D5	2'-8" x 7'-0"	Panel Door	Wood	Stain/Paint	Wood	Stain/Paint	
D6	2'-8" x 7'-0"	Panel Door	Wood	Stain/Paint	Wood	Stain/Paint	20 min fire rated, self closing
D7	18'-0" x 7'-0"	Garage Door	TBD				
D8	9'-0" x 7'-0" w/transom (see below)	Garage Door	TBD				

WINDOW SCHEDULE								
#	W	Size	H	Description	Material	Finish	Glazing	Remarks
W2	3 x panels 2'-6" x 7'-0" each	Casement/fixed/casement	Wood or Vinyl	Paint	Dual Glazing, Low E	Tempered		
W3	1'-4" x 4'-0"	Fixed or Awning	Wood or Vinyl	Paint	Dual Glazing, Low E	Tempered		
W4	1'-4" x 4'-0"	Fixed or Awning	Wood or Vinyl	Paint	Dual Glazing, Low E	Tempered		
W5	1'-4" x 4'-0"	Fixed or Awning	Wood or Vinyl	Paint	Dual Glazing, Low E	Tempered		
W6	1'-4" x 4'-0"	Fixed or Awning	Wood or Vinyl	Paint	Dual Glazing, Low E	Tempered		
W7	1'-4" x 4'-0"	Fixed or Awning	Wood or Vinyl	Paint	Dual Glazing, Low E	Tempered		

LEGEND

- PROPOSED
- 1-hr FIRE RATED



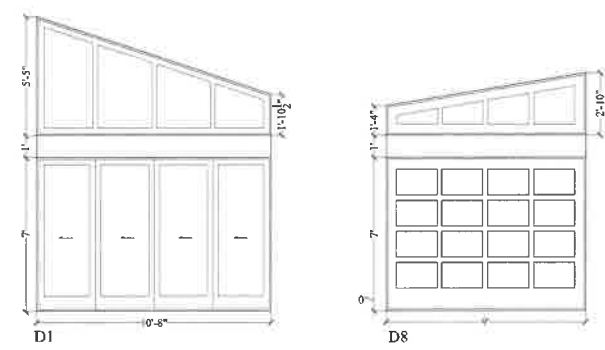
NOTES TO ALL SCHEDULES:

1. CONTRACTOR TO VERIFY ALL ROUGH OPENING SIZES AND ALL WINDOW AND DOOR SIZES AND TYPES PRIOR TO ORDERING.
2. ALL INTERIOR AND EXTERIOR DETAILS, FINISHES AND COLORS TO VERIFY WITH OWNER.

3. THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

Safety glazing (tempered glazing) is required for the following:

- a) Where the glazing is within 24" of either side of the door in the plane of the door in a closed position and where the bottom edge of the glazing is less than 60" above the door (CRC R308.4.2 item 1)
- b) Where the glazing is on a wall perpendicular to the plane of the door in a closed position and
 - Within 24" of the hinge side of an in-swinging door (CRC R308.4.2 item 2)
 - Glazing less than 60" above a shower or tub floor (CRC R308.4.5)
- c) Glazing where the bottom edge is less than 36" above the stairways, landings, and ramps (CRC R308.4.6)
- d) Glazing adjacent to the stairway bottom landing where the glazing is less than 36" above the landing and within 60" horizontal arc less than 180 degrees from the ottom tread nosing shall be safety glazing (CRC R308.4.7)



KEY NOTES

1. HARDWIRE SMOKE DETECTORS SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.
- a) CARBON MONOXIDE ALARM - SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACK UP.
2. CLOTHES DRYER MOISTURE EXHAUST DUCT MUST BE 4-INCH IN DIAMETER AND LENGTH IS LIMITED TO 14 FEET WITH 2 ELBOWS. THE DUCT LENGTH SHALL BE REDUCED BY 2 FEET FOR EVERY ELBOW IN EXCESS OF TWO. DRYER EXHAUST DUCT SHALL BE EQUIPPED WITH BACK DRAFT DAMPER. (CMC 504.3.2)
3. A 72" HIGH NON-ABSORBENT WALL SURFACE IN BATHTUB & SHOWER COMPARTMENTS. (CRC R307.2)
4. GLAZING WITHIN 60" OF STAIR AND STAIR LANDING, WHEN BOTTOM EDGE IS WITHIN 18" OF THE FLOOR, WITHIN 60" OF TUB OR SHOWER FLOOR, SHALL BE TEMPERED. (CRC R308.4)
5. MECHANICAL EXHAUST SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. 50 CFM Intermitent or 20 CFM Continuous.
 - Fans, not functioning as a component as a whole house ventilation system must be controlled by a humidity control.
 - FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
6. ALL DECK COATING AND DAMP PROOFING MATERIALS SHALL COMPLY WITH AN APPROVED ICC EVALUATION REPORT SEE A06 FOR TYP. PRODUCTS.
 - DUMP-PROOFING - DECO PRODUCTS INC.; ESR -1417 OR EQUIVALENT;
 - DECK COATING - TUFFLEX, POLYMERS; RR 25567; CSI # 07180 OR EQUIVALENT.
7. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED (R312.3)
8. EXISTING RETURN AIR GRILL.
9. New High Efficiency Faucets. Installed per manufacturer specifications.
10. New High Efficiency Showerheads. Installed per manufacturer specifications.
11. New High Efficiency Toilets.

PROPOSED FLOOR PLAN
scale 1/4"=1'-0"

EXHIBIT "A"
Page No. 4 of 7
Case No. DIP-2023-3097-LDD

DRAFTING & DESIGN SERVICES
Agnieszka Kaleta Lopez
2455 E. Orange Grove Blvd.
Pasadena, CA 91104
Phone 818-522-9187

NEW GARAGE, REC ROOM
3217 MCCARTHY DR
LOS ANGELES CA 90065

PROPOSED FLOOR PLAN

Date 09-01-22
Scale As Noted
Drawn by AK

A1

HardiePlank® HZ10® Fiber Cement Lap Siding - James Hardie®
 ICC-ES Evaluation Report ESR-2290
 ICC-ES Legacy Report NER-405*
 JAMES HARDIE BUILDING PRODUCTS, INC. 10901 ELM AVENUE, FONTANA, CALIFORNIA 92337
 www.jameshardie.com
 James Hardie® fiber cement exteriors have been tested by various IAS Certified Laboratories to ASTM International standards and are classified as listed below.
 Non-combustible (ASTM E136)
 See Section 3.1 of the NER-405 Report or
 See the Warnock Hersey Product Listings
 Approved for fire-resistance rated construction (ASTM E119)
 See James Hardie® Fire-Resistance Rated Wall Assemblies
 Flame spread index of 0 (ASTM E84)
 See Section 3.1 of the NER-405 Report or
 See the Warnock Hersey Product Listings
 Smoke developed index of $C \le 5$ (ASTM E84)
 See Section 3.1 of the NER-405 Report or
 See the Warnock Hersey Product Listings
 The NER-405 is a National Evaluation Report published by the International Code Council Evaluation Services showing testing and installation for all James Hardie products.

LOW IMPACT DEVELOPMENT (LID)
 APPROVED WITH CONDITIONS

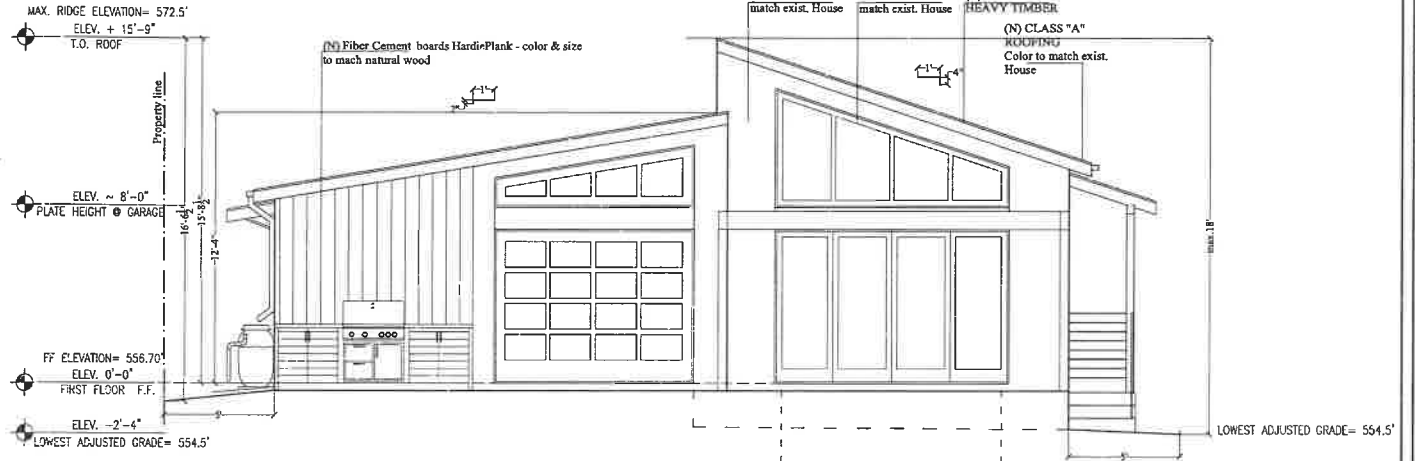
This set of plans and specifications must be at the jobsite during construction

Stormwater Observation Report (SOR) is required prior to issuance of Certificate of Occupancy or final sign off.

Total Pages: 5

Digitally Signed By: *M. Fragoso* Date: 01/20/2023
 Department of Public Works - Bureau of Sanitation
 Watershed Protection Division

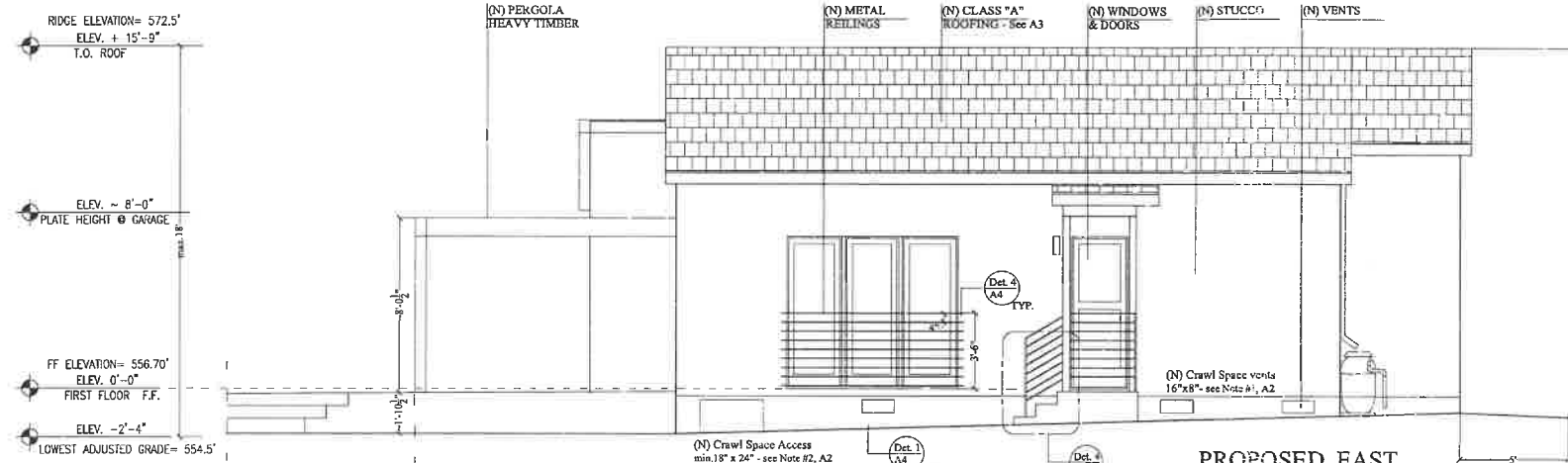
NOTE:
 Overly bright paint colors, and fluorescent paint colors shall not be used. Colors such as beige, white and gray that produce glare, should be used sparingly.
 All vents, gutters, down spouts, etc. should be painted to match the color of the adjacent surface.
 Colors & materials to match existing house and ADU.



PROPOSED SOUTH ELEVATION
 scale 1/4"=1'-0"

FIRE NOTES:

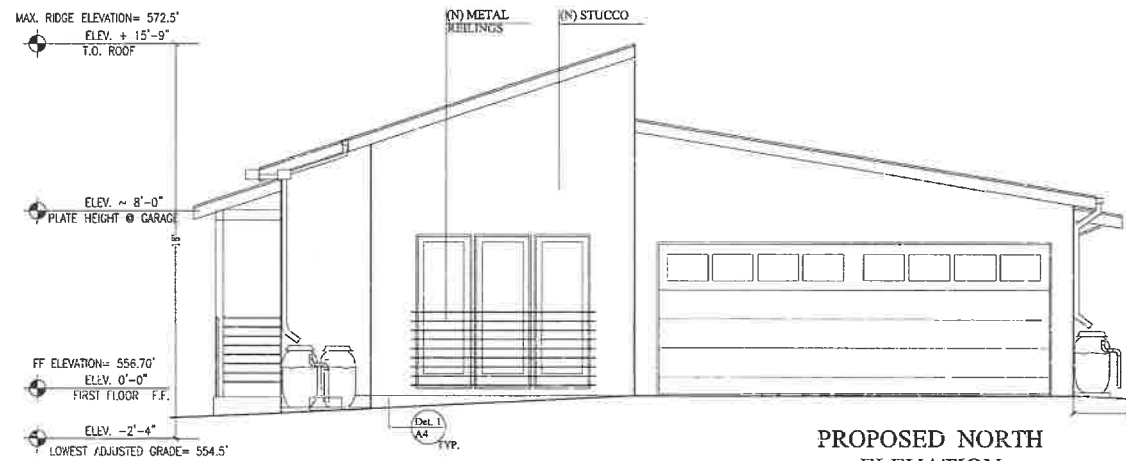
- The exterior wall covering or wall assembly shall comply with one of the following requirements:
 - Noncombustible material.
 - Ignition-resistant material.
 - Sawn lumber or glue laminated wood with the smallest minimum nominal dimension of 4 inches (102 mm). Sawn or glue-laminated planks splined, tongue-and groove, or set close together and well spiked.
 - Log wall construction assembly.
 - Wall assemblies that have been tested in accordance with the test procedures for a 10-minute direct flame contact exposure test set forth in ASTM E2707 with the conditions of acceptance shown in Section 707A.3.1.
 - Wall assemblies that meet the performance criteria in accordance with the test procedures for a 10-minute direct flame contact exposure test set forth in SFM Standard 12-7A-1 Residential Code R337.7 and Building Code 707A.3
- Exterior windows, window walls, glazed doors, and glazed openings within exterior doors shall meet one of the following:
 - Multi-pane glazing units with a minimum of one tempered pane OR
 - Glass block units OR
 - Have a fire-resistance rating of not less than 20 minutes, when tested according to NFPA 257 OR
 - Meet the performance standards of SFM 12-7A-2 (Residential Code R337.8. and Building Code 708A.2.1) - See A2 Window Schedules
- Exterior windows, window walls, glazed doors, and glazed openings within exterior doors shall meet one of the following:
 - Multi-pane glazing units with a minimum of one tempered pane OR
 - Glass block units OR
 - Have a fire-resistance rating of not less than 20 minutes, when tested according to NFPA 257 OR d. Meet the performance standards of SFM - See A2 Door / Window Schedules



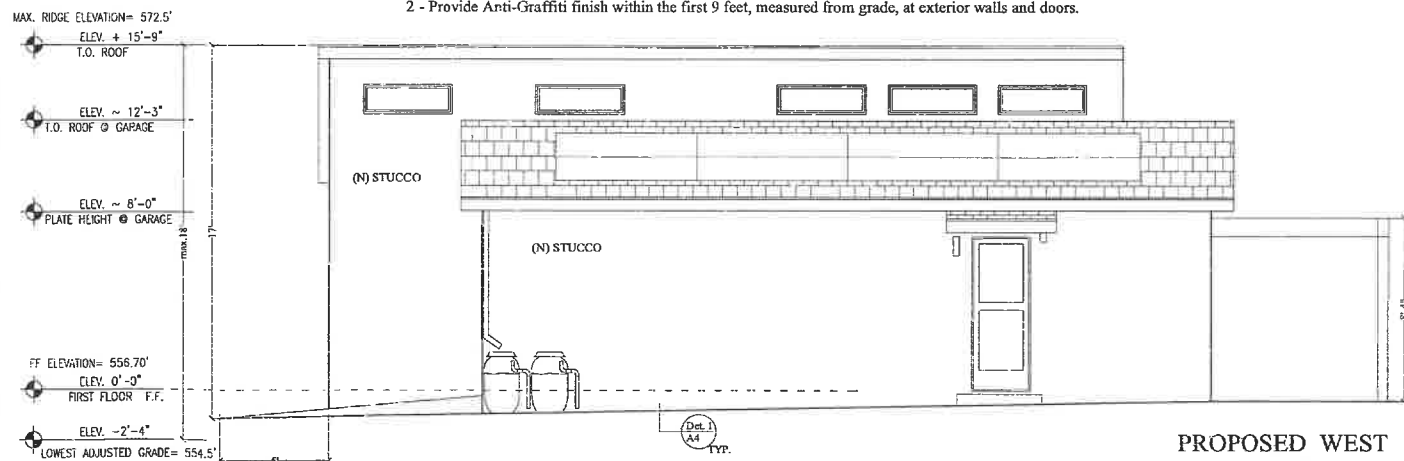
PROPOSED EAST ELEVATION
 scale 1/4"=1'-0"

NOTES:

- Protection of wood and wood based products from decay shall be provided in the locations specified per Section R317.1 by the use of naturally durable wood or wood that is preservative-treated in accordance with AWPA U1 for the species, product, preservative and end use. Preservatives shall be listed in Section 4 of AWPA U1.
- Provide Anti-Graffiti finish within the first 9 feet, measured from grade, at exterior walls and doors.



PROPOSED NORTH ELEVATION
 scale 1/4"=1'-0"



PROPOSED WEST ELEVATION
 scale 1/4"=1'-0"

NOTE:

Under-floor space Access must be within 5 feet of any plumbing clean-outs (CPC 707.9)

- UNDER-FLOOR VENTS LOMANCO, MODEL 106** or equal (16x8 inch each - 64 NFA)
 - One ventilation opening shall be placed within 3 feet of each corner of the building
 - The net free ventilating area shall not be less than 1/150 of the crawl-space area (OR 1/150 of under-floor area if ground surface is covered with Class 1 vapor retarder material).
 - Openings shall be covered with openings not exceeding 1/4" max. corrosion resistant metal mesh covering (CRC R408.1, R408.2)
 - Unvented under floor space shall comply with CRC R408.3
- UNDER FLOOR ACCESS**
 - Opening through the floor shall be 18" x 24" minimum
 - Opening through a perimeter wall shall be not less than 18" x 24"

Total Area - 554 SF / 150 = 3.7 SF = 533 sq in (Required Exhaust NFA per 1 / 150 Rule) = ~ 8 Vents required (16x8 inch each LOMANCO, MODEL 106 - 64 NFA) (minus access)

EXHIBIT "A"
 Page No. 5 of 7
 Case No. DIP 2023-3197-00

DRAFTING & DESIGN SERVICES
 Agnieszka Kalita Lopez
 2455 E. Orange Grove Blvd.
 Pasadena, CA 91104
 Phone 818-522-9187

NEW GARAGE, REC ROOM
 3217 MCCARTHY DR
 LOS ANGELES CA 90065

PROPOSED
 ELEVATIONS

Date 09-01-22
 Scale As Noted
 Drawn by AK

A2

