

SITE PLAN PARKING NOTES

1. EXISTING ASPHALT PARKING LOT
2. EXISTING 6" CONCRETE CURB
3. EXISTING CONCRETE WALKWAY
4. NEW 48" WIDE CONCRETE WHEEL STOPS
5. NEW 9'-0" WIDE X 18'-0" (MIN.) DEEP HANDICAP PARKING STALL
6. NEW PAINTED HANDICAP PARKING SYMBOL 36" X 36" INTERNATIONAL SYMBOL. SEE SECTION 11B-502.6 OF THE CALIFORNIA BUILDING CODE
7. NEW CONCRETE HANDICAP ACCESS PARALLEL CURB RAMP WITH MAX. RAMP SLOPE OF 8.33% SEE FIGURE 11B-406.2.2 OF THE CALIFORNIA BUILDING CODE.
8. NEW PARKING PAVING WITH PAINTED STRIPES.

ACCESSIBLE PATH OF TRAVEL

1. EXTERIOR WALKS AND SIDEWALKS SUBJECT TO THESE REGULATIONS SHALL HAVE A CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR ABRUPT CHANGES IN LEVEL EXCEEDING 1/2 INCH, AND SHALL BE A MINIMUM OF 48 INCHES IN WIDTH.
2. SURFACES CROSS SLOPE SHALL NOT EXCEED 1:48 (2%), AS PER CBC 11 B-403.3.
3. WALKS, SIDEWALKS AND PEDESTRIAN WAYS SHALL BE FREE OF GRATINGS WHENEVER POSSIBLE. FOR GRATINGS LOCATED IN THE SURFACE OF ANY OF THESE AREAS, GRID OPENINGS IN GRATINGS SHALL BE LIMITED TO 1/2 INCH (MAXIMUM) IN THE DIRECTION OF TRAFFIC FLOW.
4. ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2 INCH. WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2 EXCEPT THAT LEVEL CHANGES NOT EXCEEDING 1/4 INCH MAY BE VERTICAL, AS PER CBC 11 B-303.
5. WHEN CHANGES IN LEVEL GREATER THAN 1/2 INCH ARE NECESSARY, THEY SHALL COMPLY WITH THE REQUIREMENTS FOR CURB RAMPS, CONFORMING TO CBC 11B-406.5.

TEA CUP, LLC

4708 FOUNTAIN AVE
LOS ANGELES CA, 90029

GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING CODE 2016 EDITION CALIFORNIA MECHANICAL CODE 2016 EDITION 2016 CBC CALIFORNIA PLUMBING CODE 2016 EDITION 2016 CBC CALIFORNIA ELECTRICAL CODE 2016 EDITION 2016 CBC CALIFORNIA ENERGY CODE 2016 EDITION 2016 CBC
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AT THE SITE PRIOR COMMENCING ANY WORK, IN CASE OF ANY DISCREPANCY, THIS SHOULD BE NOTIFY TO THE ARCHITECT IMMEDIATELY.
3. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS
4. EXISTING SITE FULLY COMPLIES WITH T-24; AND SUBJECT TO FIELD VERIFICATION.

PROJECT LOCATION

TEA CUP, LLC
4708 FOUNTAIN AVE
LOS ANGELES CA, 90029

SHEET INDEX

ARCHITECTURE

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PROJECT DIRECTORY

LANDLORD: VERMONT FOUNTAIN, LLC.
CONTACT:

OWNER/CLIENT: 4708 FOUNTAIN AVE
LOS ANGELES CA, 90029
CONTACT: ALEISHA EVERETT

ARCHITECT/ENGINEER: CEJ ENGINEERS, INC.
18800 AMAR RD., SUITE B13
WALNUT CA 91789
(626) 667-8765

M.E.P./ENGINEER: MY ENGINEERING, INC.
1543 W. GARVEY AVE., NORTH #210
WEST COVINA CA 91790
(626) 308-1268

PROJECT SUMMARY

BASED ON 2016 CALIFORNIA BUILDING CODE

EXISTING:
OCCUPANCY: B
(SECTION 304.1)
CONST. TYPE (ASSUMED): TYPE V-B
(SECTION 602.1)
No. STORIES: 1
SPRINKLERED: N/A
PROPOSED HEIGHT: 15'
PARKING PER SNAP:

PROJECT AREA:
Vermont/Western SNAP Subarea C

BUILDING AREA:
Total New (3-Bldg):274.4 Sq. ft.

LEASE SPACE AREA:
(PARKING LOT AREA).....4,500 Sq. ft

Floor Area Ratio (FAR):
(Habitable Area ÷ Lot Size)6.1 %

SCOPE OF PROJECT:
PROJECT CONSIST OF NEW DRIVE-THRU COFFEE STAND.
-NEW 10X12' (120 SF) PRE-MANUFACTURED BUILDING
-NEW 10'X8' PRE-MANUFACTURED STORAGE BUILDING
-NEW 8'-9"-8'X5" PRE-MANUFACTURED RESTROOM
-NEW PLUMBING, ELECTRICAL, MECHANICAL
-INSTALLING VARIOUS EQUIPMENT AND FIXTURES
-NEW PARKING LOT STRIPING

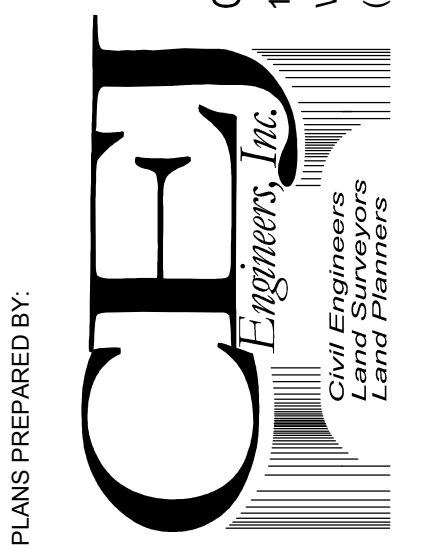
VICINITY MAP

REVISIONS

| NO. | DATE | DESCRIPTION |
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WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. THE ABOVE DRAWINGS AND SPECIFICATIONS THEREBY ARE AND SHALL REMAIN THE PROPERTY OF CEJ, INC. AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE SPECULATIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

CONSULTING CIVIL ENGINEERS
18800 AMAR RD., SUITE B13
WALNUT, CA. 91706
(626) 667-8675 / (626) 667-8674 FAX



PROJECT DESCRIPTION:
COMMERCIAL
TENANT IMPROVEMENT

TENANT'S NAME:
TEA CUP, LLC



DRAWN BY: E.A. DATE 10/30/19

CHECKED BY: J.C. DATE 10/30/19

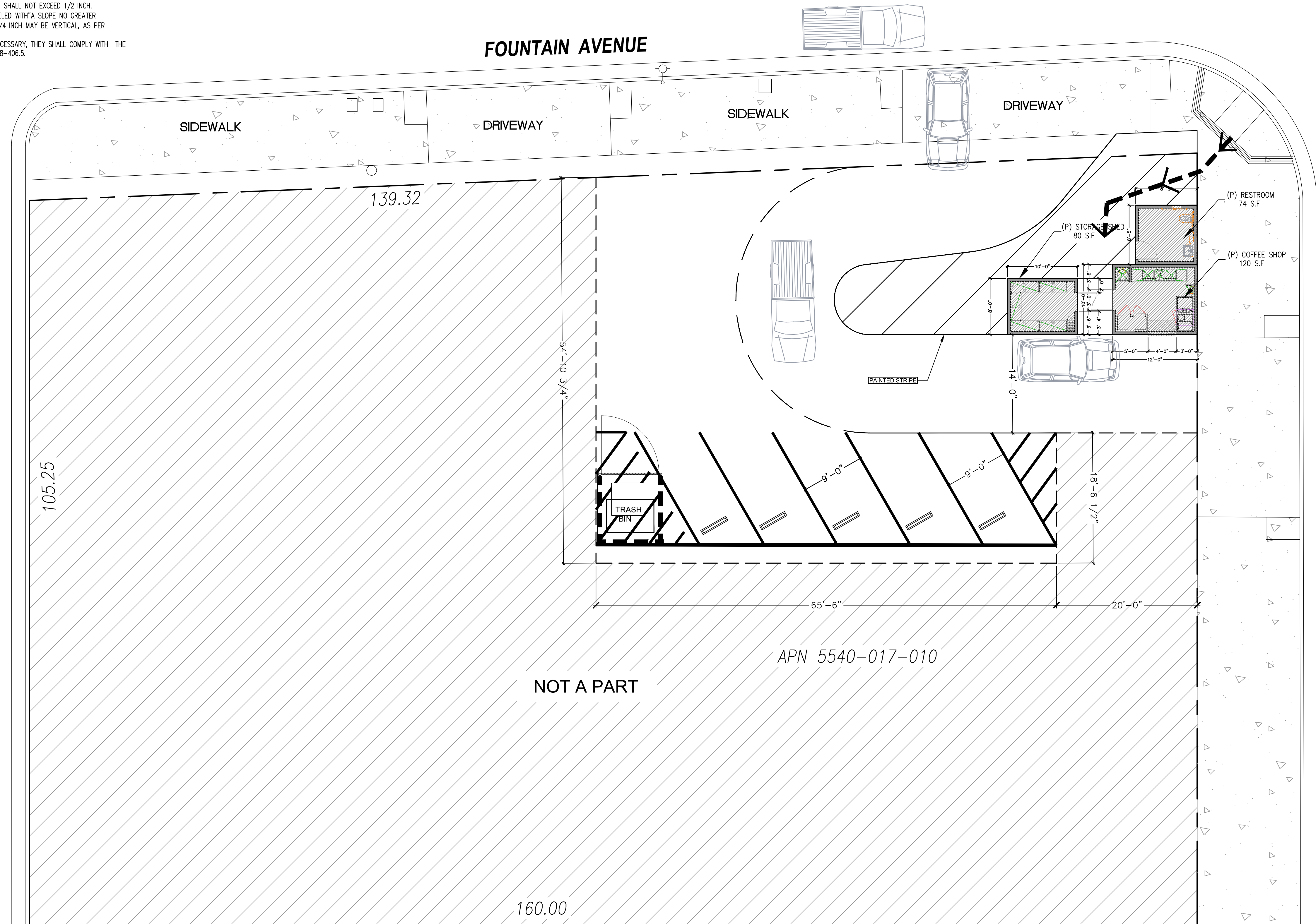
REVISED BY: J.C. DATE

SCALE: AS SHOWN

JOB NUMBER: 195.01.19

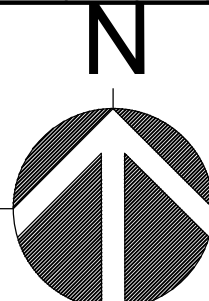
SHEET TITLE: SITE PLAN

SHEET NUMBER: A-0



LEGEND:
— ACCESSIBLE PATH OF TRAVEL/EXIT ROUTE

SITE PLAN
SCALE: 1/8" = 1'-0"



VERMONT AVENUE

FOUNTAIN AVENUE

NOT A PART

APN 5540-017-010

INDEMNIFICATION

- THE CONTRACTOR SHALL, TO THE FULL EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND SAVE HARMLESS THE OWNER AND C&J PARTNERS, INC. AND THEIR RESPECTIVE DIRECTORS, OFFICERS, PARTNERS, EMPLOYEES AND AGENTS FROM ANY AND ALL CLAIMS DIRECTLY OR INDIRECTLY ARISING OR ALLEGED TO ARISE OUT OF THE PERFORMANCE OR THE FAILURE TO PERFORM THE WORK OR CONDITIONS OF THE WORK, AND FROM ANY AND ALL CLAIMS BY WORKMEN, SUPPLIERS OR SUBCONTRACTORS INVOLVED IN PERFORMANCE OF THE WORK.
- THE OBLIGATIONS SET FORTH IN THIS PARAGRAPH SHALL SPECIFICALLY INCLUDE, BUT SHALL NOT BE LIMITED TO, ALL CLAIMS DIRECTLY OR INDIRECTLY ARISING OR ALLEGED TO ARISE UNDER ANY SCAFFOLDING, STRUCTURAL WORK OR SAFE PLACE LAW, BUT SHALL NOT INCLUDE ANY CLAIMS ARISING SOLELY FROM THE ACTIVE NEGLIGENCE OF THE PARTY ASKING TO BE DEFENDED, INDEMNIFIED OR SAVED HARMLESS.

DEFINITIONS AND RESPONSIBILITIES

- THE TERM "WORK" FOR PURPOSES OF THESE CONTRACT DOCUMENTS MEANS THE OBLIGATIONS UNDERTAKEN BY THE CONTRACTOR PURSUANT TO THE CONTRACT DOCUMENTS. WORK INCLUDES, UNLESS SPECIFICALLY EXCEPTED, PLANT, TOOLS, SCAFFOLDING, TRANSPORTATION, SUPERINTENDENCE, INSURANCE, TAXES AND ALL OTHER SERVICES, FACILITIES AND EXPENSES NECESSARY FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. WORK ALSO INCLUDES THAT WHICH IS PRODUCED, CONSTRUCTED OR BUILT PURSUANT TO THE CONTRACT DOCUMENTS.
- THE USE OF THE WORD "ARCHITECT" IS FOR CONVENIENCE ONLY AND, FOR THE PURPOSES OF THESE DOCUMENTS, "ARCHITECT" SHALL MEAN "INTERIOR DESIGNER," "INTERIOR PLANNER" OR "DESIGNER" AND SHALL NOT IMPLY OR REPRESENT DIRECTLY OR INDIRECTLY A REGISTERED ARCHITECT.
- "PROVIDE" MEANS TO FURNISH, FABRICATE, DELIVER, INSTALL AND ERECT, AND CONNECT, INCLUDING ALL LABOR, MATERIALS, EQUIPMENT, APPARATUS, APPURTENANCES AND EXPENSES NECESSARY TO COMPLETE IN-PLACE, READY FOR OPERATION AND USE, UNDER THE TERMS OF THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL BE NOTIFIED OF ANY CLAIM AGAINST SUCH INDEMNIFIED PERSONS ABOVE AND GIVEN SUCH REASONABLE INFORMATION, AUTHORITY AND ASSISTANCE AS MAY BE REQUESTED BY HIM TO ENABLE HIM TO PERFORM THE OBLIGATIONS SET FORTH IN THE PARAGRAPH. A FAILURE TO NOTIFY THE CONTRACTOR OF A CLAIM OR TO GIVE SUCH INFORMATION, AUTHORITY AND ASSISTANCE SHALL DISCHARGE THE OBLIGATIONS SET FORTH IN THIS PARAGRAPH ONLY TO THE EXTENT THAT THE CONTRACTOR HAS BEEN PREJUDICED IN THE DEFENSE OF SUCH CLAIM.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN AT HIS EXPENSE ALL NECESSARY PERMITS AS REQUIRED BY THE AGENCIES HAVING JURISDICTION OVER THE PROJECT.
- THE CONTRACTOR ALSO EXPRESSLY WARRANTS AND GUARANTEES TO THE OWNER AND C&J PARTNERS INC. THAT ALL WORK PERFORMED BY THE CONTRACTOR AND ALL WORKMEN, SUPPLIERS AND SUBCONTRACTORS OF THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AND SHALL BE PERFORMED IN A SAFE AND CAREFUL MANNER.
- THE FOREGOING SHALL NOT DEPRIVE THE OWNER OR C&J PARTNERS INC. OF ANY ACTION, RIGHT OR REMEDY OTHERWISE AVAILABLE TO THEM, OR EITHER OF THEM, AT COMMON LAW OR OTHERWISE.
- THE ARCHITECT WILL NOT BE RESPONSIBLE FOR PERFORMANCE OF THE CONTRACT OR FROM THE EFFECTS RESULTING FROM ACTS BY THE CONTRACTOR, SUBCONTRACTORS, SUPPLIERS OR OTHER CONSULTANTS RETAINED BY THE OWNER.
- IN REVIEWING PROGRESS OF THE WORK AND SUBMITTALS FROM THE CONTRACTOR, THE ARCHITECT IS ACTING SOLELY FOR THE CONVENIENCE OF THE OWNER IN FOLLOWING THE WORK. THE ARCHITECT HAS NO RESPONSIBILITY TO ASSIST THE CONTRACTOR IN THE PERFORMANCE OF THE WORK AND ANY ACT BY THE ARCHITECT SHALL NOT RELIEVE THE CONTRACTOR FROM EXCLUSIVE SOLE RESPONSIBILITY FOR PERFORMANCE OF THE WORK.
- THE OWNER RESERVES THE RIGHT OCCUPY TO ANY PORTION OF THE WORK PRIOR TO SUBSTANTIAL COMPLETION AND SUCH OCCUPANCY SHALL NOT CONSTITUTE ACCEPTANCE OF THE WORK. IF SUCH RIGHT IS EXERCISED, CONTRACTOR SHALL PROVIDE BUILDING SERVICES FOR THE OWNER'S USE AGREEING ON THE COST SHARE OF SUCH SERVICES.
- ALL DIRECTION AND SUPERVISION OF THE CONSTRUCTION WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND NOT THE ARCHITECT OR

LIABILITY INSURANCE

THE CONTRACTOR SHALL SECURE, PAY FOR AND MAINTAIN UNTIL ALL THE WORK IS COMPLETED AND UNTIL THE EXPIRATION OF ALL GUARANTEES AND WARRANTIES, SUCH INSURANCE AS WILL PROTECT HIM, THE OWNER AND THE ARCHITECT FROM CLAIMS DIRECTLY OR INDIRECTLY ARISING OR ALLEGED TO ARISE OUT OF THE PERFORMANCE OF OR FAILURE TO PERFORM THE WORK, OR THE CONDITION OF THE WORK OR THE JOB SITE, FROM CLAIMS BY WORKMEN, SUPPLIERS OR SUBCONTRACTORS, FROM CLAIMS UNDER ANY SCAFFOLDING, STRUCTURAL WORK OR SAFE PLACE LAW, OR ANY LAW WITH RESPECT TO PROTECTION OF ADJACENT LANDOWNERS, AND FROM ANY OTHER CLAIMS FOR DAMAGES OF PROPERTY, OR FOR BODILY INJURY, INCLUDING DEATH, WHICH MAY ARISE IN WHOLE OR IN PART FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT, WHETHER SUCH OPERATIONS BE BY HIMSELF OR ANY SUBCONTRACTOR OR ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM. SUCH INSURANCE SHALL COVER ALL CONTRACTUAL OBLIGATIONS WHICH THE CONTRACTOR HAS ASSUMED, INCLUDING INDEMNIFICATIONS. NEITHER THE CONTRACTOR NOR HIS INSURER SHALL HAVE ANY CLAIM AGAINST THE OWNER, THE ARCHITECT OR ANYONE ACTING FOR OR IN BEHALF OF EITHER OF THEM TO THE EXTENT THE CLAIM AGAINST THE CONTRACTOR IS OR SHOULD HAVE BEEN COVERED BY INSURANCE. SEE THE BANK'S RFP FOR AMOUNTS.

SHOP DRAWINGS AND SAMPLE SUBMITTALS:

- EXCEPT FOR FINISH, COLOR AND OTHER AESTHETIC MATTERS LEFT TO THE ARCHITECT'S DECISION BY THE CONTRACT DOCUMENTS, THE ARCHITECT'S REVIEW OF SHOP DRAWINGS AND SAMPLES IS ONLY FOR THE CONVENIENCE OF THE OWNER IN FOLLOWING THE WORK AND SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR ANY DEVIATIONS FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE ARCHITECT'S REVIEW SHALL NOT BE CONSTRUED AS A COMPLETE CHECK NOR SHALL IT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR ERRORS OF ANY SORT IN SHOP DRAWINGS OR SCHEDULES, OR FROM THE NECESSITY OF FURNISHING ANY WORK REQUIRED BY THE CONTRACT DOCUMENTS WHICH MAY HAVE BEEN OMITTED ON THE SHOP DRAWINGS. THE ARCHITECT'S REVIEW OF A SEPARATE ITEM SHALL NOT INDICATE REVIEW OF THE COMPLETE ASSEMBLY IN WHICH IT FUNCTIONS.
- THE ARCHITECT WILL REVIEW SHOP DRAWINGS AND SAMPLES WITH REASONABLE PROMPTNESS AND WILL RETURN THEM TO THE CONTRACTOR WITH THE ARCHITECT'S STAMP AND APPLIED THERETO. NOTATIONS BY THE ARCHITECT WHICH INCREASE CONTRACT COST OR TIME OF COMPLETION SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORK. EACH SUBMITTAL WILL BE STAMPED INDICATING THE APPROPRIATE ACTION AS FOLLOWS:

- "PROCEED" MEANS THAT FABRICATION, MANUFACTURE OR CONSTRUCTION MAY PROCEED PROVIDING SUBMITTAL COMPLIES WITH THE CONTRACT DOCUMENTS.
 - "PROCEED AS NOTED" MEANS THAT FABRICATION, MANUFACTURE OR CONSTRUCTION MAY PROCEED PROVIDING SUBMITTAL COMPLIES WITH THE ARCHITECT'S NOTATIONS AND THE CONTRACT DOCUMENTS. IF, FOR ANY REASON, CONTRACTOR CANNOT COMPLY WITH THE NOTATIONS, CONTRACTOR SHALL RESUBMIT AS DESCRIBED FOR SUBMITTALS STAMPED "DO NOT USE."
 - "DO NOT USE" MEANS THAT SUBMITTAL DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS AND THAT FABRICATION, MANUFACTURE OR CONSTRUCTION SHALL NOT PROCEED. SUBMITTALS STAMPED "DO NOT USE" ARE NOT PERMITTED ON JOB SITE. CONTRACTOR SHALL MAKE REVISIONS AND RESUBMIT.
3. SCHEDULE OF SHOP DRAWINGS AND SAMPLE SUBMITTALS:
- THE CONTRACTOR SHALL SUBMIT EITHER SHOP DRAWINGS OR DATA SHEETS FOR THE FOLLOWING ITEMS WHEN THEY FORM A PART OF THE WORK:
- MISCELLANEOUS METAL WORK
 - ORNAMENTAL METAL WORK
 - DOORS AND FRAMES
 - HARDWARE
 - MILLWORK AND CASEWORK
 - SPECIAL DOORS, WALLS, SCREENS OR PANELS
 - TOILET PARTITIONS AND ACCESSORIES
 - LIGHT FIXTURES
 - EXIT SIGNS
 - AIR DIFFUSERS, AIR BARS OR STRIPS
 - APPLIANCES
 - SPECIAL EQUIPMENT
- SAMPLES:
- PAINT (ALL COLORS)
 - FABRICS, WALLCOVERINGS AND WINDOW COVERINGS
 - ORNAMENTAL METAL FINISHES, INCLUDING QUEUE LINE RAILING AND ENTRY RAILING AT RAMP AND STEPS
 - ALUMINUM FINISHES
 - TILE, FLOOR, CEILING, CERAMIC OR WALL
 - GLASS
 - FINISHED WOOD TRIM
 - HARDWARE FINISH
 - CARPET

THE ABOVE LISTING DOES NOT LIMIT SUBMITTALS THAT MAY BE REQUIRED AND REQUESTED BY THE ARCHITECT OR OTHER CONSULTANTS RETAINED BY THE OWNER.

- COORDINATION OF SUBMITTALS
 - PRIOR TO EACH SUBMITTAL, CAREFULLY REVIEW AND COORDINATE ALL ASPECTS OF EACH ITEM BEING SUBMITTED.
 - VERIFY THAT EACH ITEM AND THE SUBMITTAL FOR IT CONFORMS IN ALL ASPECTS WITH THE SPECIFIED REQUIREMENTS.
 - STAMP SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES WITH CONTRACTOR'S STAMP CERTIFYING IT HAS BEEN COORDINATED AND CHECKED BY CONTRACTOR FOR COMPLETENESS AND COMPLIANCE WITH CONTRACT DOCUMENTS. SUBMITTALS NOT STAMPED, AND SUBMITTALS WHICH, IN ARCHITECT'S OPINION ARE INCOMPLETE, CONTAIN NUMEROUS ERRORS OR HAVE NOT BEEN CHECKED OR HAVE ONLY BEEN CHECKED SUPERFICIALLY WILL BE RETURNED FOR RESUBMITTAL. CLEARLY NOTE PROPOSED DEVIATIONS FROM CONTRACT DOCUMENTS ON SUBMITTALS, CONTRACTOR RESPONSIBLE FOR QUANTITIES AND DIMENSIONS SHOWN ON SUBMITTALS.
- SUBSTITUTIONS

SUBSTITUTIONS WILL BE CONSIDERED ONLY WHEN LISTED AT TIME OF BIDDING ON THE FORM PROVIDED THEREFORE IN THE BIDDING DOCUMENTS, AND WHEN SUBSTANTIATED BY THE CONTRACTOR'S SUBMITTAL OR REQUIRED DATA WITHIN TWO WEEKS AFTER AWARD OF THE CONTRACT.
- SHOP DRAWINGS:
 - SCALE AND MEASUREMENTS:
 - MAKE SHOP DRAWINGS ACCURATELY TO A SCALE SUFFICIENTLY LARGE TO SHOW ALL PERTINENT ASPECTS OF THE ITEM AND ITS METHOD OF CONNECTION TO THE WORK.
 - TYPES OF PRINTS REQUIRED:
 - SUBMIT SHOP DRAWINGS IN THE FORM OF ONE SEPIA TRANSPARENCY OF EACH SHEET PLUS TWO BLUELINES OR BLACKLINE PRINTS OF EACH SHEET.
 - REVIEW COMMENTS OF THE ARCHITECT WILL BE SHOWN ON THE SEPIA TRANSPARENCY WHEN IT IS RETURNED TO THE CONTRACTOR. THE CONTRACTOR MAY MAKE AND DISTRIBUTE SUCH COPIES AS ARE REQUIRED FOR HIS PURPOSES.
- SAMPLES
 - PROVIDE SAMPLE OF SAMPLES IDENTICAL TO THE PRECISE ARTICLE PROPOSED TO BE PROVIDED. IDENTIFY AS DESCRIBED UNDER "IDENTIFICATION OF SUBMITTALS" BELOW.
 - NUMBER OF SAMPLES REQUIRED:
 - ONE SAMPLE FOR ARCHITECT'S RETAINAGE
 - NUMBER OF SAMPLES REQUIRED BY CONTRACTOR
 - IDENTIFICATION OF SUBMITTALS
 - PROPERLY IDENTIFY EACH SUBMITTAL WITH NAME OF PROJECT, CONTRACTOR, SUBCONTRACTOR AND DATE. ACCOMPANY EACH SUBMITTAL BY AN ACCEPTABLE TRANSMITTAL FORM REFERRING TO PROJECT NAME AND SPECIFICATIONS SECTION NUMBER WHEN APPLICABLE, FOR IDENTIFICATION OF EACH ITEM LISTED ON TRANSMITTAL.
 - CONSECUTIVE NUMBER OF SUBMITTALS:
 - WHEN MATERIAL IS RESUBMITTED FOR ANY REASON, TRANSMIT UNDER A NEW LETTER OF TRANSMITTAL AND WITH NEW TRANSMITTAL NUMBER.
 - ON RESUBMITTALS, CITE THE ORIGINAL SUBMITTAL NUMBER FOR REFERENCE.
 - ACCOMPANY EACH SUBMITTAL WITH A LETTER OF TRANSMITTAL SHOWING ALL INFORMATION REQUIRED FOR IDENTIFICATION AND CHECKING.
 - ON AT LEAST THE FIRST PAGE OF EACH SUBMITTAL, AND ELSEWHERE AS REQUIRED FOR POSITIVE IDENTIFICATION, SHOW THE SUBMITTAL NUMBER IN WHICH THE ITEM WAS INCLUDED.
- MAINTAIN AN ACCURATE SUBMITTAL LOG FOR THE DURATION OF THE WORK SHOWING CURRENT STATUS OF ALL SUBMITTALS AT ALL TIMES. MAKE THE SUBMITTAL LOG AVAILABLE TO THE ARCHITECT FOR HIS REVIEW UPON REQUEST.
- TIMING OF SUBMITTALS:
 - MAKE SUBMITTALS FAR ENOUGH IN ADVANCE OF SCHEDULED DATES FOR INSTALLATION TO PROVIDE TIME REQUIRED FOR REVIEW, FOR SECURING NECESSARY APPROVALS, FOR POSSIBLE REVISION AND RESUBMITTALS, AND FOR PLACING ORDERS AND SECURING DELIVERY.
 - IN SCHEDULING, ALLOW AT LEAST TEN WORKING DAYS FOR REVIEW BY THE ARCHITECT FOLLOWING HIS RECEIPT OF THE SUBMITTAL.
- ARCHITECT'S REVIEW:
 - REVIEW BY THE ARCHITECT DOES NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR ERRORS WHICH MAY EXIST IN THE SUBMITTAL DATA.
 - REVISIONS:
 - MAKE REVISIONS INDICATED BY THE ARCHITECT.
 - IF THE CONTRACTOR CONSIDERS ANY REVISIONS TO BE A CHANGE, HE SHALL NOTIFY THE ARCHITECT.

CLEANING:

- THROUGHOUT THE CONSTRUCTION PERIOD, MAINTAIN THE CONSTRUCTION AREA IN A STANDARD OF CLEANLINESS AS DESCRIBED IN THIS SECTION.
- CONDUCT DAILY INSPECTION, AND MORE OFTEN IF NECESSARY TO VERIFY THAT REQUIREMENTS FOR CLEANLINESS ARE BEING MET.
- USE ONLY THE CLEANING MATERIALS AND EQUIPMENT WHICH ARE COMPATIBLE WITH THE SURFACE BEING CLEANED, AS RECOMMENDED BY THE MANUFACTURER OF THE MATERIAL.
- DO NOT ALLOW ACCUMULATION OF SCRAP, DEBRIS, WATER MATERIAL AND OTHER ITEMS NOT REQUIRED FOR CONSTRUCTION OF THIS WORK.
- AT LEAST ONCE EACH WEEK, AND MORE OFTEN IF NECESSARY, COMPLETELY REMOVE ALL SCRAP, DEBRIS AND WASTE MATERIAL FROM THE CONSTRUCTION AREA.
- DAILY, AND MORE OFTEN IF NECESSARY, INSPECT THE CONSTRUCTION AREA AND PICK UP ALL SCRAP, DEBRIS AND WASTE MATERIAL. REMOVE SUCH ITEMS TO THE PLACE DESIGNATED FOR THEIR STORAGE. COORDINATE DUMPSTER LOCATION WITH LANDLORD.
- AS REQUIRED PREPARATORY TO INSTALLATION OF SUCCEEDING MATERIALS, CLEAN THE SURFACES OF PERTINENT PORTIONS THEREOF TO THE DEGREE OF CLEANLINESS RECOMMENDED BY THE MANUFACTURER OF THE SUCCEEDING MATERIAL, USING EQUIPMENT AND MATERIALS REQUIRED TO ACHIEVE THE NECESSARY CLEANLINESS.
- PRIOR TO COMPLETION OF THE WORK, REMOVE FROM THE CONSTRUCTION AREA, ALL TOOLS, SURPLUS MATERIALS, EQUIPMENT, SCRAP, DEBRIS AND WASTE. CONDUCT FINAL PROGRESS CLEANING AS DESCRIBED IN PARAGRAPHS 4 AND 5 ABOVE.
- VISUALLY INSPECT INTERIOR SURFACES AND REMOVE ALL TRACES OF SOIL, WASTE MATERIALS, SMUDGES AND OTHER FOREIGN MATTER.
- REMOVE ALL TRACES OF SPLASHED MATERIAL FROM ADJACENT SURFACES.
- REMOVE PAINT DROPPINGS, SPOTS, STAINS AND DIRT FROM FINISHED SURFACES.
- GLASS: CLEAN GLASS BOTH SIDES.
- POLISHED SURFACES: TO SURFACES REQUIRING ROUTINE APPLICATION OF BUFFED POLISH, APPLY THE POLISH RECOMMENDED BY THE MANUFACTURER OF THE MATERIAL BEING POLISHED.

PROPERTY INSURANCE

- THE CONTRACTOR SHALL ALSO SECURE, PAY FOR AND MAINTAIN, FOR THE PERIOD AGREED TO BY THE OWNER, FIRE, EXTENDED COVERAGE, BOILER, VANDALISM AND MALICIOUS MISCHIEF INSURANCE ON THE WORK AND ANY MATERIALS, TOOLS, EQUIPMENT OR OTHER OBJECTS THE COST OR RENTAL OF WHICH IS CHARGEABLE TO THE OWNER UNDER THE CONTRACT. NEITHER THE CONTRACTOR NOR HIS INSURER SHALL HAVE ANY CLAIM AGAINST THE OWNER, THE ARCHITECT OR ANYONE ACTION FOR OR IN BEHALF OF EITHER OF THEM TO THE EXTENT THE CLAIM AGAINST THE CONTRACTOR IS OR SHOULD HAVE BEEN COVERED.
- THE CONTRACTOR SHALL NOT COMMENCE WORK UNDER THE CONTRACT UNTIL HE HAS OBTAINED ALL THE INSURANCE REQUIRED HEREUNDER FROM INSURANCE COMPANIES APPROVED BY THE OWNER, AND SUCH INSURANCE HAS BEEN APPROVED BY THE OWNER, NOR SHALL THE CONTRACTOR ALLOW ANY SUBCONTRACTOR TO COMMENCE WORK UNTIL ALL INSURANCE REQUIRED OF THE SUBCONTRACTOR HAS BEEN SO OBTAINED AND APPROVED. APPROVAL OF THE INSURANCE BY THE OWNER SHALL NOT RELIEVE OR DECREASE THE LIABILITY OF THE CONTRACTOR HEREUNDER. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL MAINTAIN ALL INSURANCE REQUIRED UNDER THIS ARTICLE UNTIL FINAL ACCEPTANCE AND FOR NO LESS THAN ONE YEAR THEREAFTER, EXCEPT AS OTHERWISE SPECIFIED.
- FAILURE TO SECURE THE INSURANCE COVERAGES, OR FAILURE TO COMPLY WITH ANY OF THE INSURANCE PROVISIONS OF THIS CONTRACT, OR FAILURE TO SECURE SUCH ENDORSEMENTS ON POLICIES AS MAY BE NECESSARY TO CARRY OUT THE TERMS AND PROVISION OF THIS CONTRACT, SHALL IN NO WAY ACT TO RELIEVE CONTRACTOR FROM OBLIGATIONS OF THIS CONTRACT.
- THE DRAWING INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, DIMENSIONS, THE MAJOR ELEMENTS AND MECHANICAL AND ELECTRICAL SYSTEMS. AS SUCH, THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- THE STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ARCHITECTURAL DRAWINGS BEFORE FABRICATION AND/OR INSTALLATION OF THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL DRAWINGS AND DRAWINGS DONE BY CONSULTING ENGINEERS.
- ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT HIS OWN EXPENSE, AND AT NO ADDITIONAL EXPENSE TO C&J PARTNERS INC. OR OWNER.
- THE CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREOF. HE SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE OWNER OF ANY CONDITION REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK.
- ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING SAME, OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
- ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BEFORE PROCEEDING WITH THE WORK. THE DESIGNER AND OWNER SHALL BE NOTIFIED OF ANY CORRECTION.
- DIMENSIONS ARE TO BE CONSIDERED "NOMINAL" UNLESS OTHERWISE NOTED. ALL WALL DIMENSIONS ARE FINISHED FACE OF WALL UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE, DO NOT SCALE DRAWINGS. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS.
- CONSTRUCTION FOR WORK INDICATED ON THE DRAWINGS AS (NIC) OR "BY OTHERS" IS NOT IN THE CONTRACT. SUBSEQUENT DRAWINGS AND SPECIFICATIONS WILL BE SUBMITTED BY OTHERS FOR SEPARATE APPROVAL AND SEPARATE BUILDING PERMITS. THE CONTRACTOR SHALL COORDINATE ALL THE TRADES OF THIS WORK DIRECTLY OR INDIRECTLY INVOLVED WITH APPROVED ADDITIONAL WORK.
- PROVIDE ACCESS PANELS AS REQUIRED BY APPLICABLE CODES AND AS REQUIRED FOR MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT. ALL ACCESS PANELS SHALL BE CONCEALED AND LOCATIONS SHALL BE REVIEWED WITH THE ARCHITECT.
- COORDINATE PLACEMENT OF ALL CEILING ELEMENTS WITH MECHANICAL, ELECTRICAL AND INSTALLER. WHERE DISCREPANCIES EXIST BETWEEN DRAWINGS AND INSTALLATION, REVIEW WITH ARCHITECT PRIOR TO PROCEEDING.
- WHERE RECESSED ON NON-MODULAR FIXTURES, DIFFUSERS, SPEAKERS OR OTHER EXPOSED DEVICES ARE USED, THEY ARE TO BE CENTERED IN THE CEILING'S TILE PATTERN UNLESS OTHERWISE NOTED.

GENERAL PROJECT NOTES (CONT.)

- ALL PIPE, DUCTS AND BUS DUCTS THAT PENETRATE FLOOR SLABS SHALL BE INSTALLED IN MANNER THAT WILL PRESERVE THE FIRE RESISTIVE AND STRUCTURAL INTEGRITY OF THE BUILDING.
- ALL MECHANICAL DUCTS PENETRATING FIRE RATED PARTITIONS, CEILINGS AND SHAFT ENCLOSURES SHALL HAVE FIRE RATED DAMPERS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE ARCHITECTURAL DRAWINGS PRIOR TO SUBMISSION OF SHOP DRAWINGS.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, FRAMING, HANGERS OR OTHER SUPPORT FOR ALL FIXTURES, EQUIPMENT, CABINETRY, FURNISHINGS AND ALL OTHER ITEMS REQUIRING THE SAME.
- THE GENERAL CONTRACTOR SHALL PROVIDE A FIRE PREVENTION SYSTEM DURING THE CONSTRUCTION PHASE OF THE PROJECT AND SHALL PROVIDE PERMANENTLY MOUNTED FIRE EXTINGUISHERS IN LOCATIONS DETERMINED BY THE FIRE DEPARTMENT. RECESSED ENCLOSURES SHALL BE PROVIDED IN AREAS DESIGNED BY THE OWNER OR DESIGNER. REFER TO MECHANICAL AND ELECTRICAL CONTRACTOR'S DRAWINGS AND MANUFACTURER'S TEMPLATE DRAWINGS FOR ALL MECHANICAL AND ELECTRICAL EQUIPMENT SUPPORTS, BOLT SETTING TEMPLATES, ISOLATION SPRINGS ETC., NOT SHOWN ON DRAWINGS.
- CONTRACTOR SHALL COORDINATE ALL SLAB AND WALL OPENINGS REQUIRED BY MECHANICAL AND ELECTRICAL DRAWINGS.
- PROVIDE ACOUSTICAL BATT INSULATION AT ALL DUCTS, SHAFTS, TOILET ROOM WALLS AND MECHANICAL ROOM WALLS ADJACENT TO OCCUPIED TENANT SPACE.
- IN SOUND RATED ROOMS, ALL WALL AND FLOOR PENETRATION FOR PIPES, DUCTS AND OUTLETS SHALL BE SEALED WITH AN ACOUSTIC SEALANT AND CONCEALED OR RECESSED FIXTURES SHALL BE COVERED OR BACKED WITH A SOUND ATTENUATION BLANKET.

REVISIONS

| NO. | DESCRIPTION | DATE |
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CONSULTING CIVIL ENGINEERS
 18800 AMAR RD., SUITE B13
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REGISTERED PROFESSIONAL ENGINEER
 JOAQUIN CERVAANTES
 No. 70635
 EXP. 6-30-21
 CIVIL
 STATE OF CALIFORNIA

PROJECT DESCRIPTION
 COMMERCIAL
 TENANT IMPROVEMENT
 TENANT'S NAME
TEA CUP, LLC
 JOB ADDRESS
 4708 FOUNTAIN AVE
 LOS ANGELES, CA 90029

DRAWN BY E.A. DATE 08/19/19
 CHECKED BY J.C DATE 09/19/19
 REVISED BY J.C DATE
 SCALE : AS SHOWN
 JOB NUMBER 195.01.19
 SHEET TITLE
GENERAL NOTES
 SHEET NUMBER

A-1

| FINISH SCHEDULE | | | | |
|-----------------|------------------|--|--|--|
| ROOM NAME | FLOOR | COVE BASE | WALLS | CEILING |
| KITCHEN AREA | 6"X6"QUARRY TILE | COVE BASE 6" HIGH DALTILE 3619TN W/ 3/8"RADIUS | FIBER REINFORCED PLASTIC(FRP) WHITE | 2'X4' SUSPENDED CEILING. SMOOTH WASHABLE ARMSTRONG M#673 |
| RESTROOM | 6"X6"QUARRY TILE | COVE BASE 6" HIGH DALTILE 3619TN W/ 3/8"RADIUS | 12"X12" QUARRY TILE (4'-HIGH) DRYWALL W/ NON-ABSORBNT HIGH GLOSS PAINT | DRYWALL W/ NON-ABSORBENT HIGH GLOSS PAINT |
| STORAGE AREA | 6"X6"QUARRY TILE | COVE BASE 6" HIGH DALTILE 3619TN W/ 3/8"RADIUS | FIBER REINFORCED PLASTIC(FRP) WHITE | DRYWALL W/ NON-ABSORBENT HIGH GLOSS PAINT |

INTERIOR FINISH MATERIALS AND GENERAL NOTES

- ALL INTERIOR FINISHES SHALL COMPLY WITH C.L.A.B.C. CHAPTER 8 AND TITLE 24, CCR. WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD RATING REQUIRED ACCORDING TO CHAPTER 8. THE PROVISIONS OF SECTION 803 SHALL LIMIT THE ALLOWABLE FIRE PERFORMANCE AND SMOKE DEVELOPMENT OF INTERIOR WALL AND CEILING FINISH MATERIALS BASED ON OCCUPANCY CLASSIFICATION.
- ALL GYPSUM WALL BOARD SHALL BE 5/8" THICK TYPE "X" UNLESS NOTED OTHERWISE OR REQUIRED FOR SPECIFIC WALL CONSTRUCTION AND SHALL BE NAILED OR SCREWED TO ALL FRAMING MEMBERS INCLUDING TOP AND BOTTOM PLATES AS REQUIRED FOR EACH SPECIFIC ASSEMBLY.
- INSTALL METAL CORNER BEADS AT ALL EXPOSED WALLBOARD EDGES. INSTALL CASING BEADS WHEREVER WALLBOARD, PLASTER, ETC. ABUTS A DISSIMILAR FINISH MATERIAL AND PROVIDE SEALANT AS REQUIRED.
- RESTROOM FINISHES AT FLOORS AT COMMON AREAS SHALL BE SMOOTH, HARD, NONABSORBENT MATERIALS WHICH EXTEND 6" UP SURROUNDING WALLS TO PROVIDE A CONTINUOUS, INTEGRAL BASE. "WET" RESTROOM WALLS SHALL ALSO BE SMOOTH, HARD, NONABSORBENT MATERIALS TO A HEIGHT OF 48" MIN ABOVE THE FLOOR OVER A MOISTURE RESISTANT UNDERLAYMENT PER C.B.C. 1210.1 AND 1210.2.
- THE WALL SURFACES BEHIND AND ADJACENT ALL SINKS (INCLUDING HANDWASH AND MOP SINKS) SHALL BE COVERED WITH FIBERGLASS REINFORCED POLYESTER (FRP), STAINLESS STEEL, TILE, OR THE EQUIVALENT. THE APPROVED WALL COVER MUST EXTEND UP THE WALL AT LEAST FOUR (4) FEET FROM THE COVED BASE AND COVER THE WALLS BEHIND THE SINK AND ACCOMPANYING DRAINBOARDS TO A MINIMUM OF EIGHTEEN (18) INCHES ON BOTH SIDES.
- INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E84 OR UL 723. SUCH INTERIOR FINISH MATERIALS SHALL BE GROUPED IN THE FOLLOWING CLASSES IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES.

CLASS A: = FLAME SPREAD INDEX 0-25; SMOKE DEVELOPED INDEX 0-450.
 CLASS B: = FLAME SPREAD INDEX 26-75; SMOKE DEVELOPED INDEX 0-450.
 CLASS C: = FLAME SPREAD INDEX 76-200; SMOKE DEVELOPED INDEX 0-450.

7. FLOORING:

EXISTING CONCRETE SLAB TO BE CLEANED POLISHED, SEALED AND TROWELED WITH A UNIFORM THICKNESS OF AT LEAST 1/8-INCH. DUR-A-FLEX OR APPROVED EQUAL.

8. CEILING:

- SUSPENSION SYSTEM: USG DONN #DX 15/16" EXPOSED 'T' (ICC-ESR 1222) COLOR 050 WHITE. CLASS 'A'
- GYPSUM BOARD: UNITED STATES GYPSUM COMPANY 1/2" THICK SHEETROCK SUSPENSION SYSTEM; USG DRYWALL SUSPENSION SYSTEM (ICC-ESR 1222) GYPSUM CEILINGS TO RECEIVE A PAINT FINISH.

| DOOR SCHEDULE | | | | | | | | | | | |
|---------------|-----------|-----------|--------|--------|--------------|-------|------------|-------------|---------|---|------|
| DR No | DOOR TYPE | DOOR SIZE | | | FRAME MATER. | | HARDWARE | LABEL | REMARKS | | Qty. |
| | | WIDTH | HEIGHT | THICK. | MATER. | FRAME | | | | | |
| ① | A | 3'-0" | 7'-0" | 1 3/4" | SOLID CORE | METAL | ALUM./WOOD | SWING PIVOT | N/R | HEAVY DUTY DOUBLE SWING PIVOT WITH SELF CLOSING DEVICE. SEE NOTE 3. | 1 |
| ② | A | 2'-8" | 7'-0" | 1 3/4" | SOLID CORE | METAL | ALUM./WOOD | SWING PIVOT | N/R | DOUBLE SWING PIVOT. | 1 |
| ③ | B | 3'-0" | 7'-0" | 1" | METAL | METAL | METAL | N/A | N/R | DOUBLE ACTION DOOR MANUFACTURED BY CHASE DOORS. DOOR BODY ANODIZED ALUMINUM. ALUMINUM COLOR FINISH. | 1 |
| | | | | | | | | | | | 1 |
| | | | | | | | | | | | 1 |

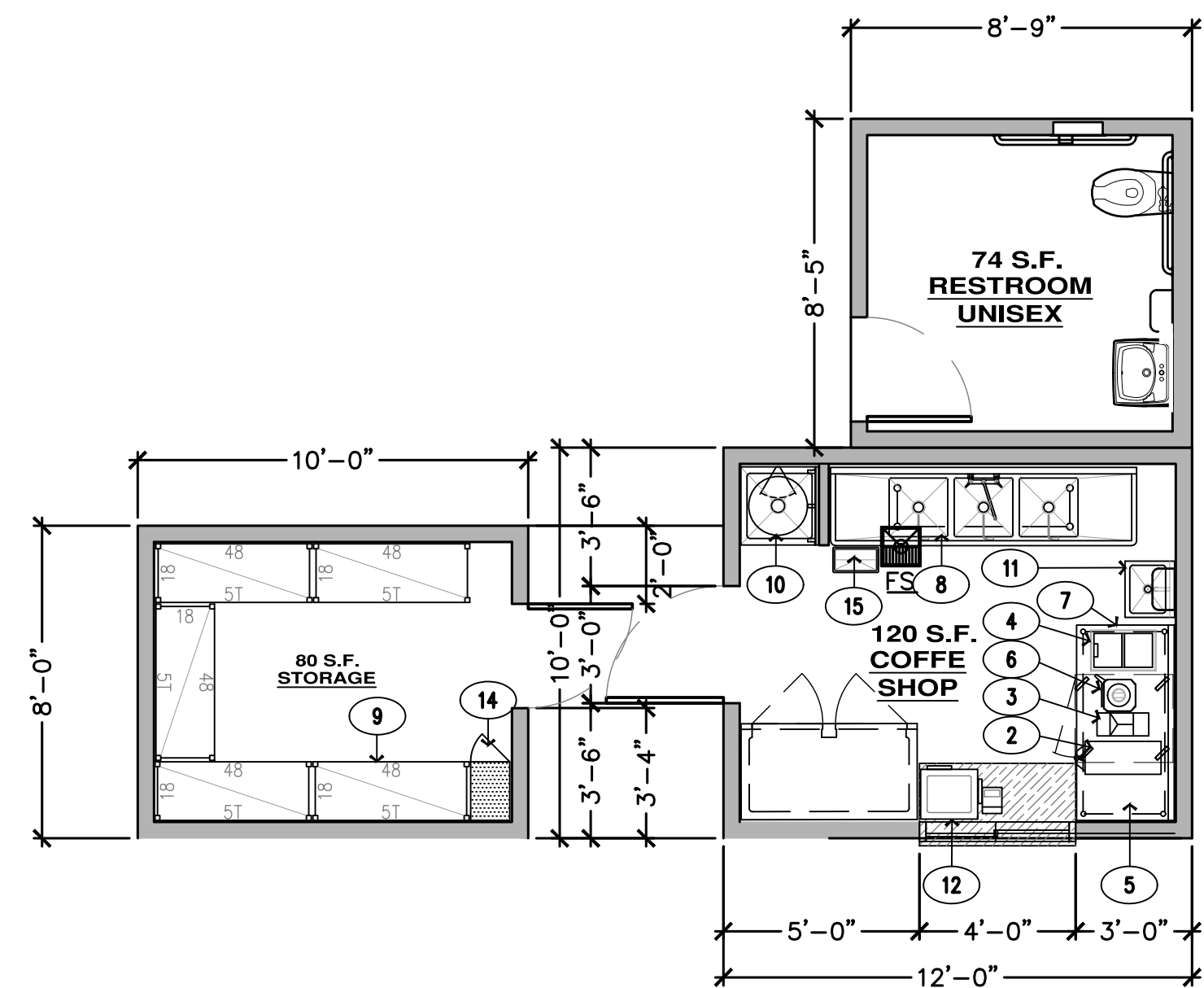
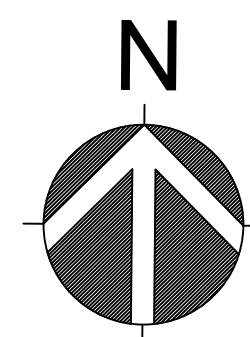
DOOR NOTES:

- EXIT DOORS TO BE OPENABLE FROM INSIDE WITHOUT USE OF KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING SHALL HAVE A SMOOTH, UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE NARROW FRAME DOORS ARE USE, A 10" HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
- WHEN THE DOOR HAS A CLOSER, THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.
- REFER TO SPECIFICATIONS FOR HARDWARE SCHEDULE. HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 30" AND 44" ABOVE FINISH FLOOR.
- DEAD BOLTS ARE NOT PERMITTED UNLESS OPERABLE WITH A SINGLE EFFORT LEVER TYPE HARDWARE.
- ALL ROOMS SERVING AN OCCUPANCY LOAD OF 50 OR GREATER AND DOORS LOCATED ON THE DISCHARGE OF EXIT CORRIDORS ARE REQUIRED TO BE PROVIDED WITH PANIC HARDWARE (CBC 1007.3.10).
- ALL FIRE DOOR LABELS SHALL COMPLY WITH C.B.C. 713.3.
- SEE PLANS AND SCHEDULE FOR DOORWAYS THAT REQUIRE SIGNAGE AT BOTH SIDES OF THE DOOR.
- DOOR HANDLES, PULLS, LATCHES LOCKS AND OTHER OPERATING DEVICES ON DOOR REQUIRED TO BE ACCESSIBLE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE, MANUALLY OPERATED BOLTS OR SURFACE BOLTS ARE NOT PERMITTED. THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN OPERATION.
- LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, BY PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE.
- MAXIMUM EFFORT TO OPERATE THE EXTERIOR AND INTERIOR DOORS SHALL NOT EXCEED 5 POUNDS, WITH SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLAN OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MINIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15LBF.
- ALL DOORS EQUIPPED WITH SINGLE-EFFORT, NON-GRASP HARDWARE (I.E., LEVER) CENTERED BETWEEN 34" AND 44" ABOVE THE FLOOR.
- MAIN EXTERIOR DOOR OR DOORS ARE PERMITTED TO BE EQUIPPED WITH KEY-OPERATED LOCKING DEVICES FROM THE EGRESS SIDE PROVIDED; THE LOCKING DEVICE IS READILY DISTINGUISHED AS "LOCKED".

ABBREVIATIONS:
 A = IN ARCHITECTURAL SECTION
 M = IN MECHANICAL SECTION
 D = DIRECT CONNECT
 B/FPD = BACKFLOW PREVENT DEVICE
 E = IN ELECTRICAL SECTION
 FS = FLOOR SINK
 MC = MICRO SWITCH
 IW = INDIRECT WASTE
 VER = VERIFY
 OWN = OWNER
 WP = WATER PROOF
 STN. STL. = STAINLESS STEEL
 MTD = MOUNTED

LEGEND :

————— EXISTING WALL TO REMAIN
 ————— NEW PREMANUFACTURED BUILDING



FLOOR PLAN

| EQUIPMENT | | | MECHANICAL | | | | | ELECTRICAL | | | | | | | | |
|-------------|----------|---|---------------------------------|------|------|------------|-------|------------|--|------------|------|------|----|-------------|--|----------------------------------|
| ITEM NUMBER | QUANTITY | DESCRIPTION | SOURCE | HOT | COLD | CONN. SIZE | M BTU | WASTE | REMARKS | VOLTAGE | KW | AMPS | HP | PHASE CONN. | REMARKS | |
| 1 | 1 | REACH-IN REFRIGERATOR SELF CONTAINED - CASTERS | TRUE-QDM-49-HC-TS20 | | | | | | | 115 | 7.3 | | 1 | C | MENA 5-15P | |
| 2 | 1 | COFFEE MACHINE | SAB SV ITALIA | | | | | | | 120 | 11.0 | | 1 | C | NEMA 5-15P | |
| 3 | 1 | COFFEE BEAN GRINDER | LA SAN MARCO SM92 | | | | | | | 120 | 11.0 | | 1 | C | NEMA 5-15P | |
| 4 | 1 | ICE MACHINE AND BIN REMOTE (HALF CUBE) | ICE-O-MATIC ICE2106W /B100 | 3/8" | | | 3/4" | | CONNECTED THRU FILTERED WATER ITEM #49, INDIRECT TO FLOOR SINK | 208 230 | 22.3 | | 1 | D | DIRECT CONNECT | |
| 5 | 1 | UNDERCOUNTER FREEZER SELF CONTAINED - CASTERS | AVANTICO 178SSUC27FHC | | | | | | | 115 | 3.0 | 1/3 | 1 | C | NEMA 5-15P | |
| 6 | 1 | BLENDERS | CB 699 | | | | | | | 120 | 15.0 | | 1 | C | CORD & PLUG PROVIDED | |
| 7 | 1 | EQUIPMENT STAND | REGENCY #600ES3024G | | | | | | | | | | | | | |
| 8 | 1 | THREE COMPARTMENT SINK | REGENCY #600S3181218 | 1/2" | 1/2" | | | 2" | INDIRECT TO FLOOR SINK | | | | | | | |
| 9 | PLAN | DRY STORAGE SHELVING FOUR TIER SHELVING ON WHEELS | TRINITY ECOSTORAGE | | | | | | | | | | | | | |
| 10 | 1 | MOP SINK WALL FAUCET & MOP RACK | MUSTEE - 63M #63.600A & #65.600 | 1/2" | 1/2" | | | 3" | DIRECT WASTE | | | | | | | |
| 11 | 1 | HANDSINK WITH SIDE SPLASHGUARD | REGENCY 600HS-175P | 1/2" | 1/2" | | | 1 1/2" | DIRECT CONNECT WASTE | | | | | | | |
| 12 | 1 | POINT OF SALE (POS) | | | | | | | | 120 | 5.0 | | 1 | C | CORD & PLUG PROVIDED, NEMA 5-15P ISOLATED GROUND DEDICATED CIRCUIT | |
| 13 | 1 | MONEY SAFE | NKL/ FIREKING BSD2920 | | | | | | | 120 | | | | 1 | C | * VERIFY ELECTRICAL REQUIREMENTS |
| 14 | 1 | EMPLOYEE LOCKERS (SIX BOX LOCKERS WITH NO LEGS) | TENNSCO B56-121812-A | | | | | | | | | | | | | |
| 15 | 1 | TRASH CAN | CONTINENTAL #83228K | | | | | | WALL HUGGER RECEPTACLE | | | | | | | |

EQUIPMENT SCHEDULE

REVISIONS

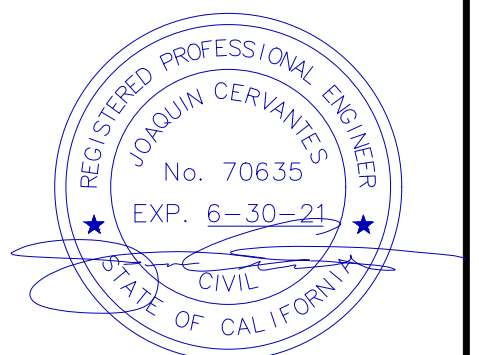
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 WALNUT, CA. 91706
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PROJECT DESCRIPTION
 COMMERCIAL
 TENANT IMPROVEMENT

TENANT'S NAME
 TEA CUP, LLC

JOB ADDRESS
 4708 FOUNTAIN AVE
 LOS ANGELES, CA 90029



DRAWN BY E.A. DATE 08/19/19

CHECKED BY J.C DATE 09/19/19

REVISED BY J.C DATE

SCALE : AS SHOWN

JOB NUMBER 195.01.19

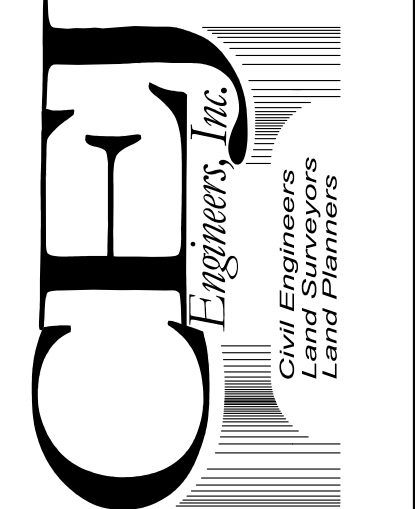
SHEET TITLE
 FLOOR PLAN & EQUIPMENT SCHEDULE

SHEET NUMBER

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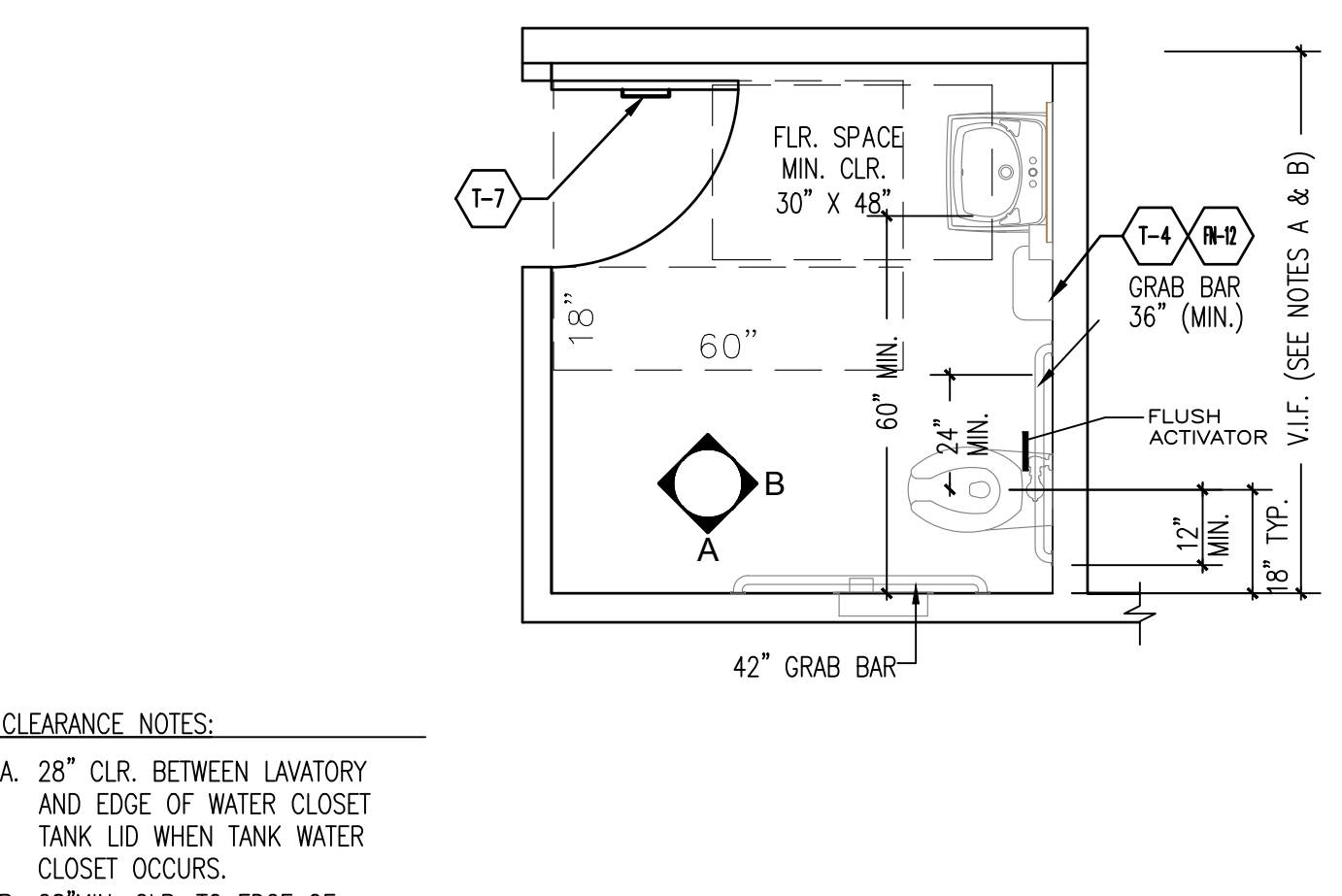
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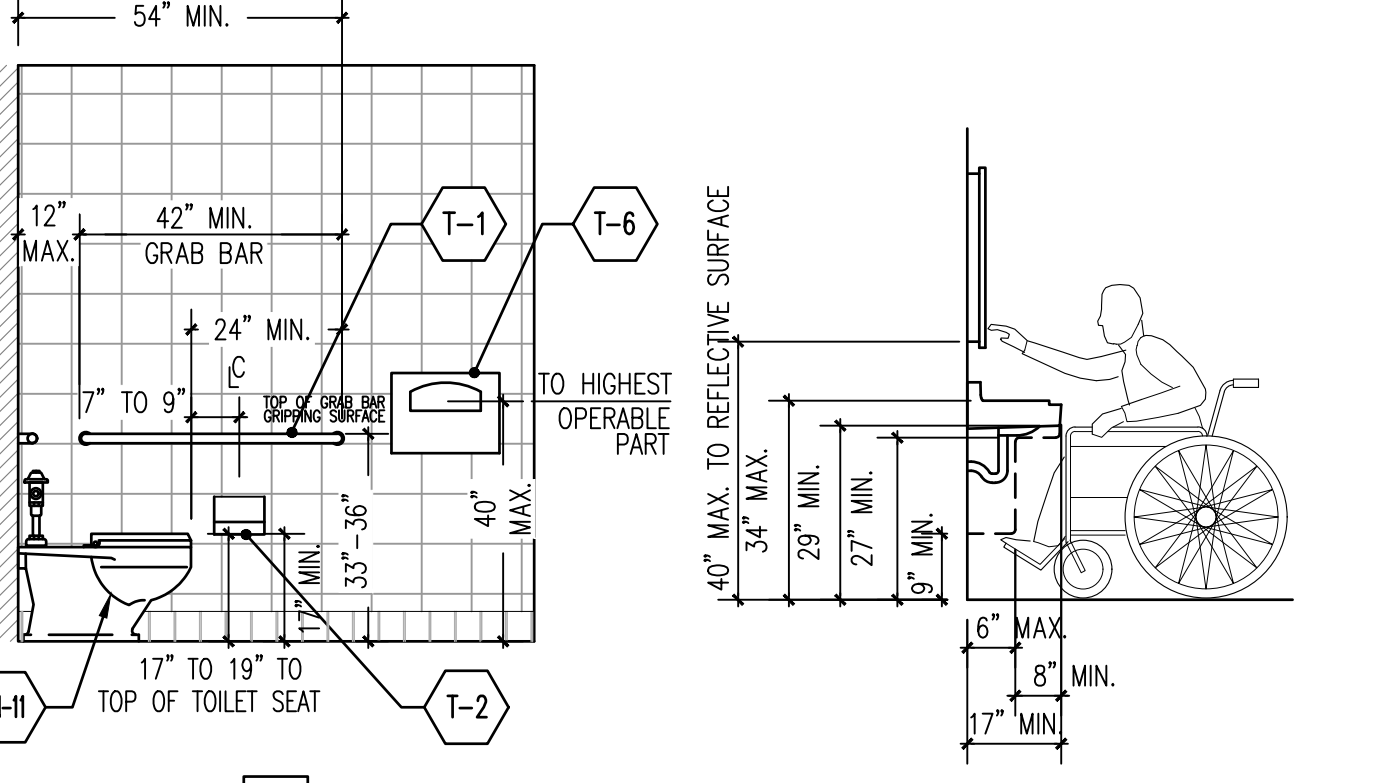
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SHEET TITLE
ARCHITECTURAL
DETAILS

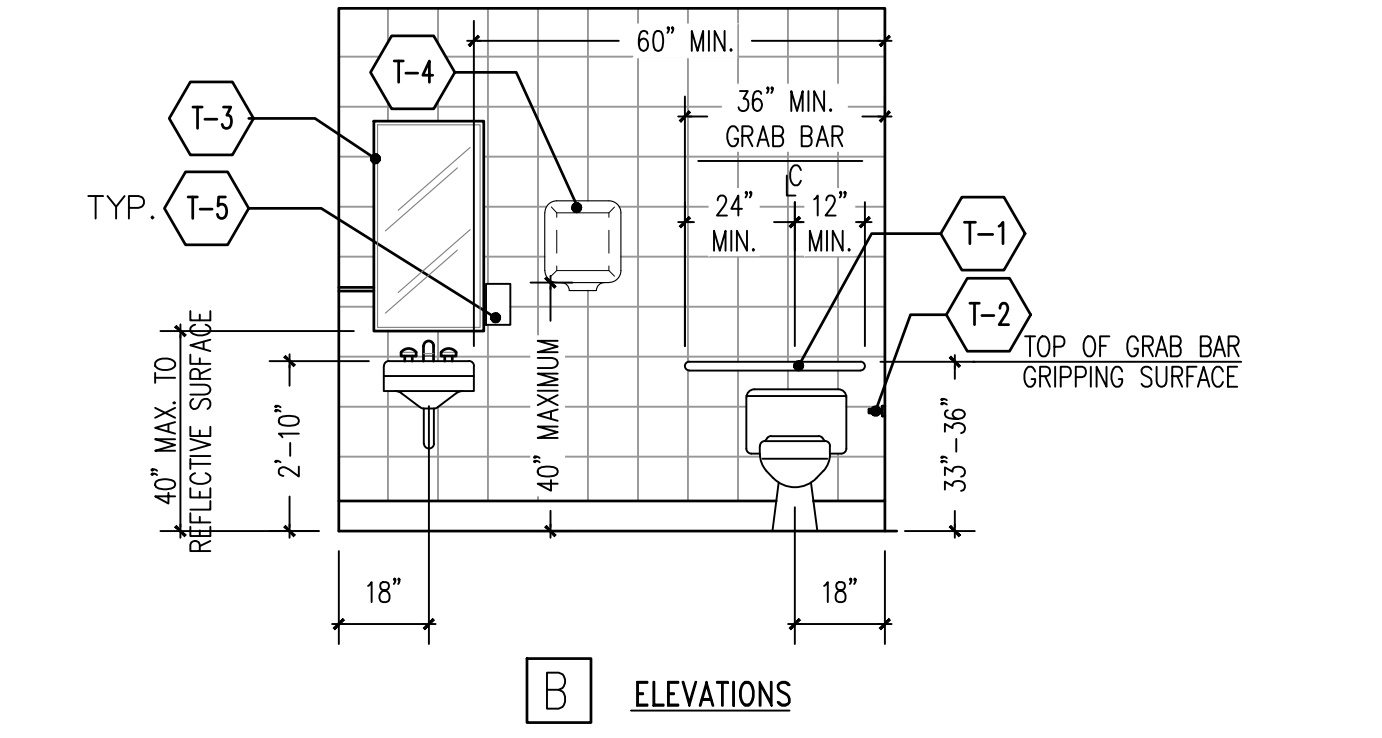
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CLEARANCE NOTES:
A. 28" CLR. BETWEEN LAVATORY AND EDGE OF WATER CLOSET TANK LID WHEN TANK WATER CLOSET OCCURS.
B. 28" MIN. CLR. TO EDGE OF BOWL WHEN FLUSH VALVE WATER CLOSET OCCURS. (28" MIN. CLR. BETWEEN LAVATORY TO FURTHEST)

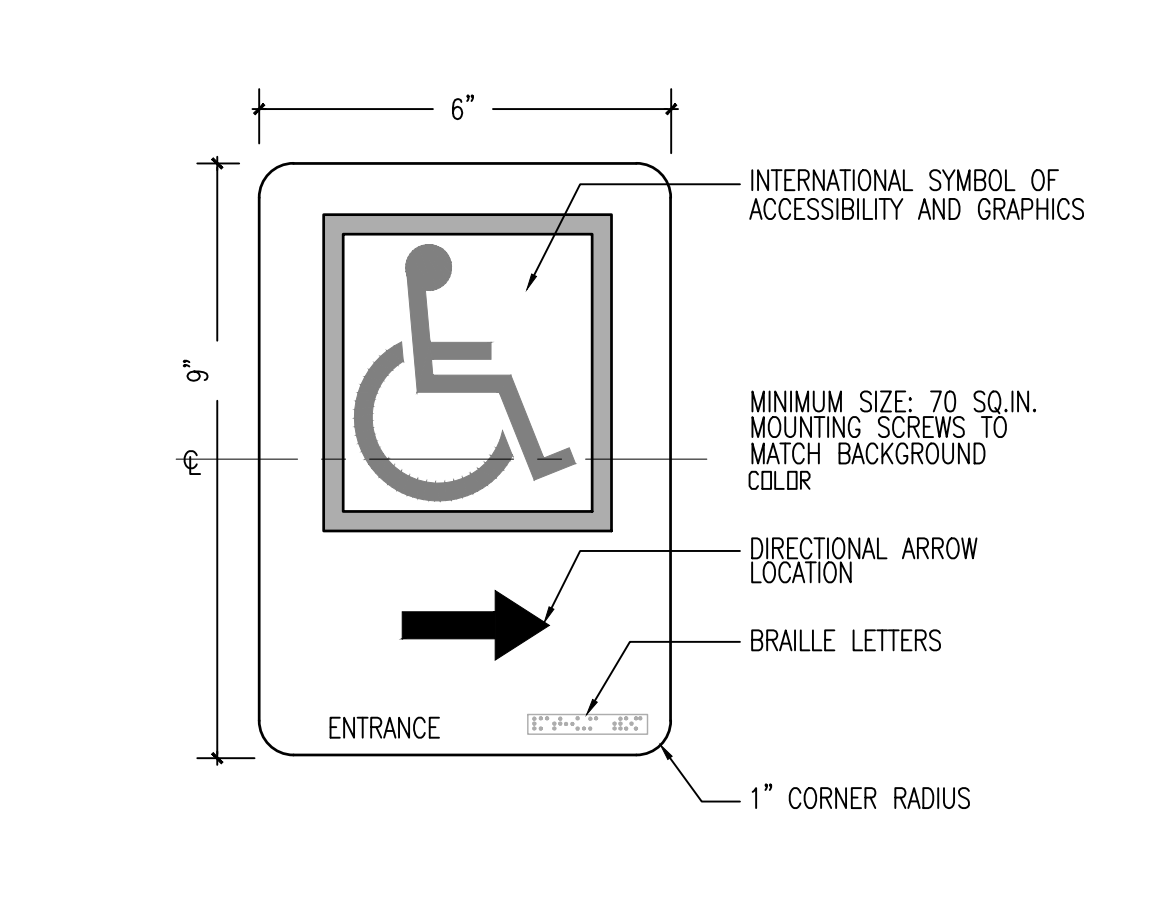


NOTE:
1. PROVIDE PRIVACY DOOR LOCK WHEN IT IS A PRIVATE TOILET OR FOR UNISEX USE.
2. GRAB BARS; SEE TYPICAL ACCESSIBILITY NOTE SHEET.

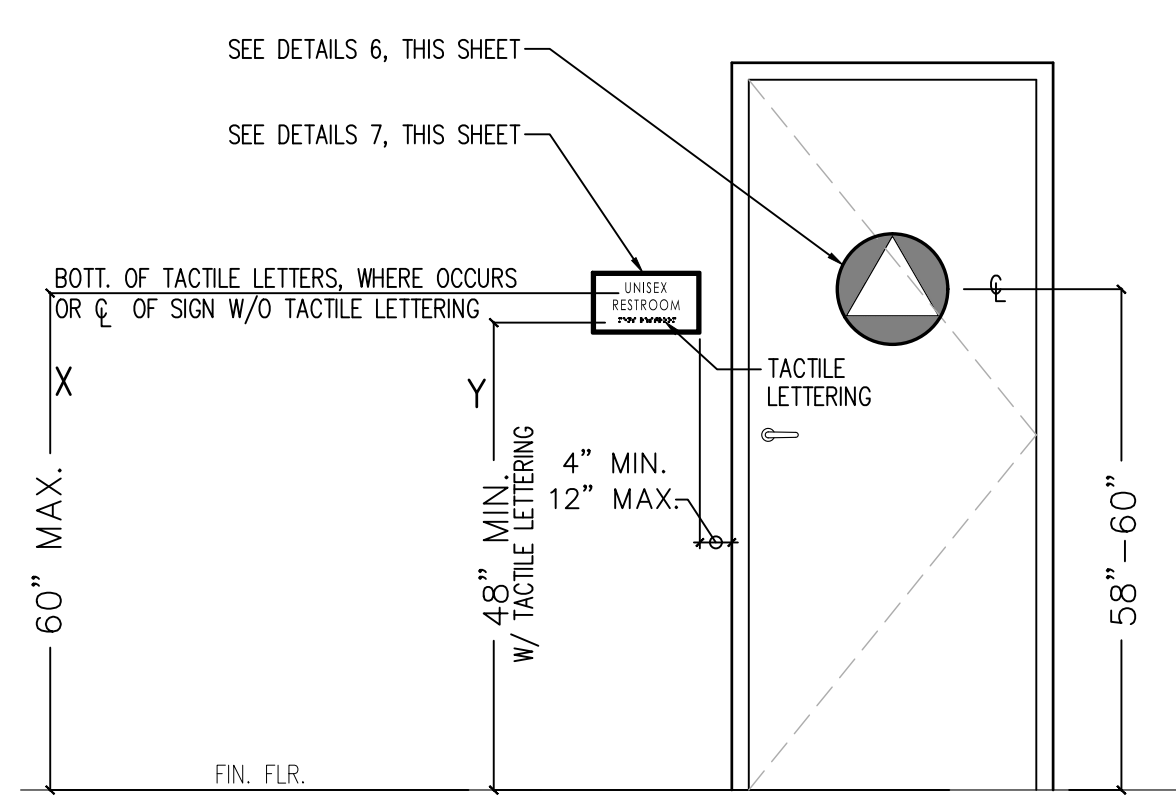


| TOILET ROOM ACCESSORIES SCHEDULE | | |
|----------------------------------|--|--|
| NO. | ITEM | DESCRIPTION |
| T-1 | 1 1/4" DIA. STAINLESS STEEL GRAB BAR | STAINLESS STEEL SATIN FINISH WITH CONCEALED MTG. & 250 LBS & 250 LBS. CAPACITY |
| T-2 | DOUBLE - ROLL STAINLESS STEEL TOILET PAPER DISPENSER | STAINLESS STEEL SATIN FINISH |
| T-3 | 22"x42" MIRROR WITH STAINLESS STEEL ANGLE FRAME | SATIN FINISH |
| T-4 | HAND DRYER GEORGIA PACIFIC | BRUSHED STAINLESS STEEL |
| T-5 | SOAP DISPENSER | SATIN FINISH - SURFACE MOUNTED |
| T-6 | TOILET SEAT COVER DISPENSER | SURFACE MOUNTED |
| T-7 | UNISEX DOOR I.D. SIGNAGE | PER LOCAL CODE REQUIREMENTS |
| T-8 | BATHROOM FAUCET | SATIN NICKEL FINISH |
| T-9 | SINK BATHROOM | KOHLER W/ 8" FAUCET CENTERS. BISCUIT SATIN FINISH |
| T-10 | TOILET | AMERICAN STANDARD-CADET 17-1/2" H EL3.5 VITREOUS CHINA - BISCUIT W/ SEAT COVER |
| T-11 | TRASH RECEPTACLE | - |

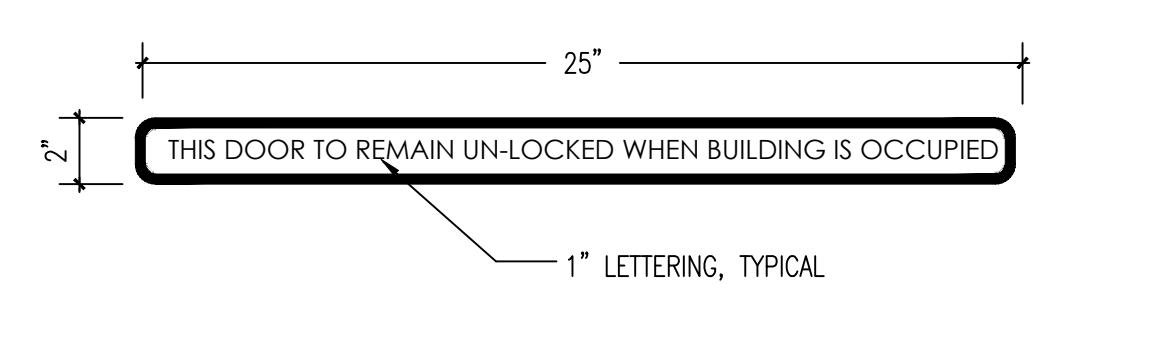
ACCESSIBILITY RESTROOM TYPICAL INSTALLATION DETAILS NO SCALE **1**



ENTRY & DIRECTIONAL SIGN NO SCALE **5**

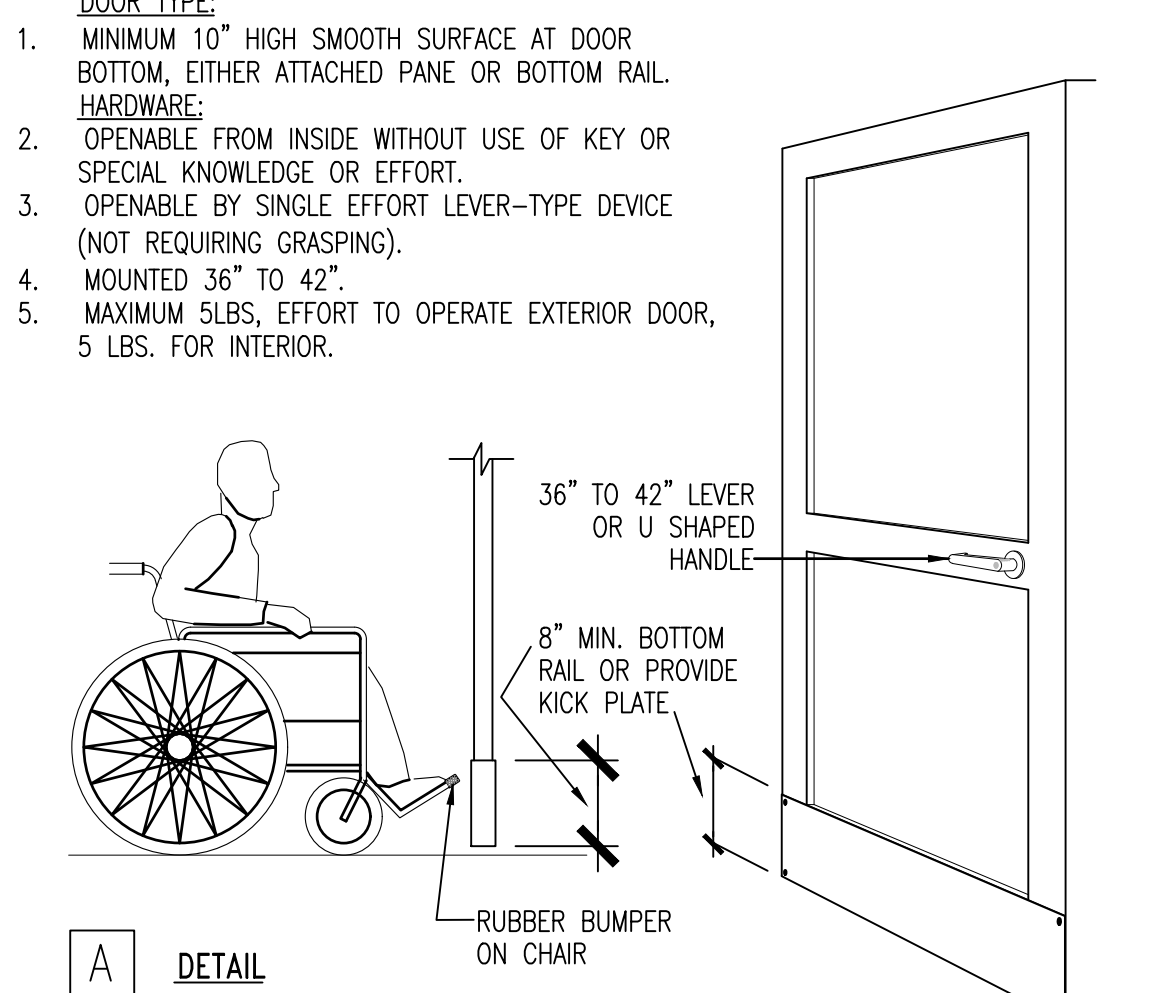


LOCATION LEGEND **4**

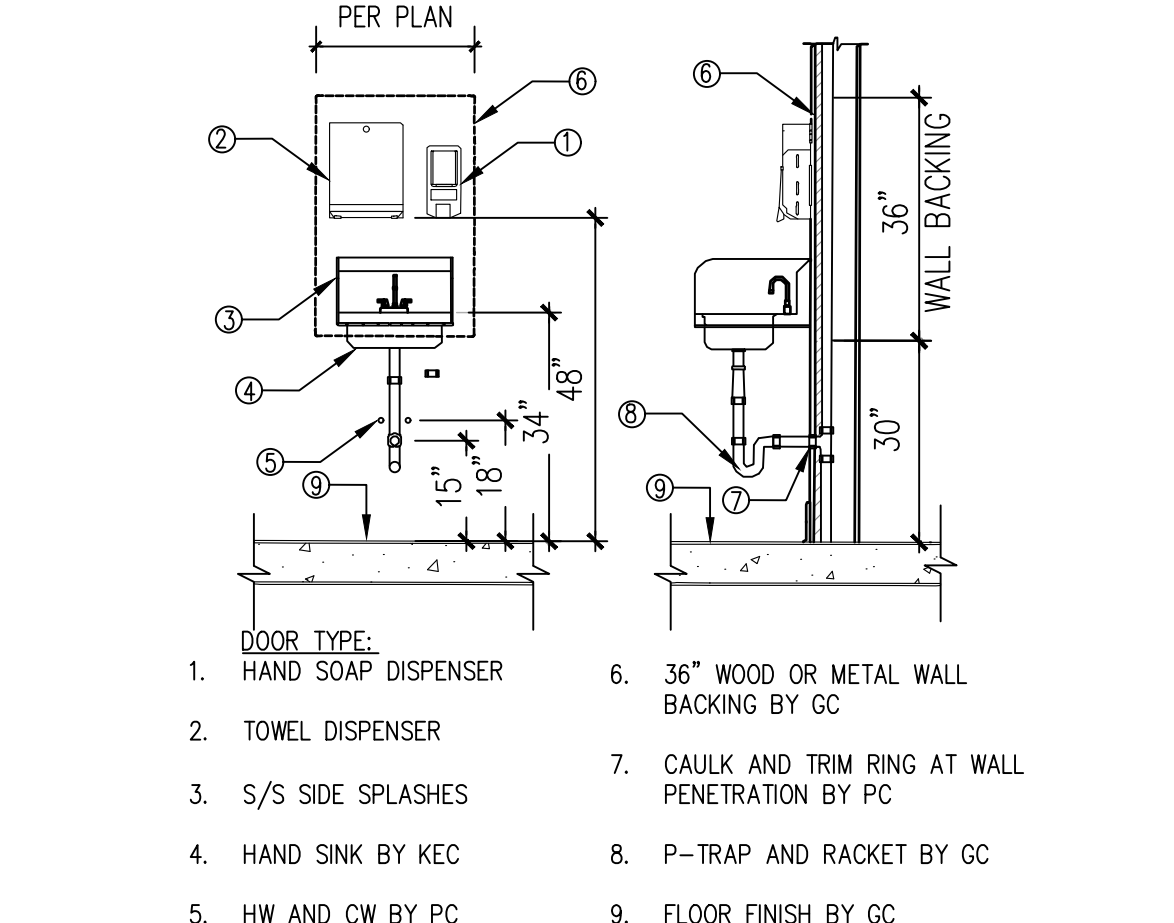


MAIN EXIT DOOR FRAME SIGN **3**

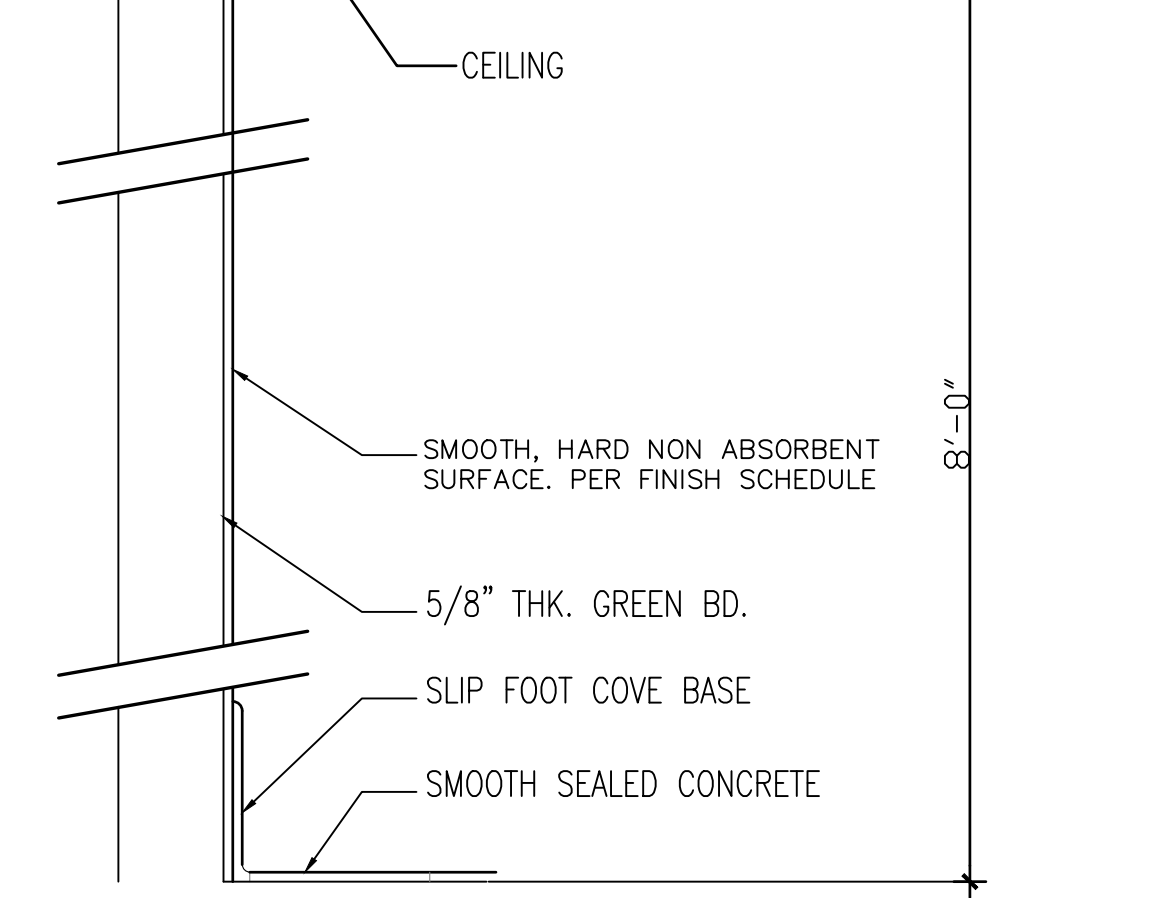
GENERAL CONTRACTOR TO VERIFY EXISTING SIGNAGE IN FIELD AND PROVIDE NEW AS REQUIRED TO COMPLY WITH APPLICABLE BUILDING CODES.
A TACTILE EXIT SIGN WITH THE WORD "EXIT" SHALL IDENTIFY EACH GRADE LEVEL EXTERIOR EXIT DOOR.
A TACTILE EXIT SIGN WITH THE WORDS "EXIT ROUTE" SHALL IDENTIFY EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN. GENERAL CONTRACTOR TO VERIFY EXISTING SIGNAGE INSTALLATIONS AND PROVIDE NEW AS REQUIRED. CHARACTERS, SYMBOLS AND BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THE BACKGROUND, EITHER LIGHT ON DARK BACKGROUND OR DARK ON LIGHT BACKGROUND. SIGNS TO INCLUDE BRAILLE AND CHARACTERS AS DEFINED BY CODE.
MOUNT SIGNAGE AT 60" A.F.F. TO THE CENTER OF THE SIGN. MOUNTING LOCATION SHALL BE SO THAT A PERSON APPROACHING WITHIN 3" OF SIGN DOES NOT ENCOUNTER PROTRUDING OBJECTS OR WITHIN THE SWING OF A DOOR.



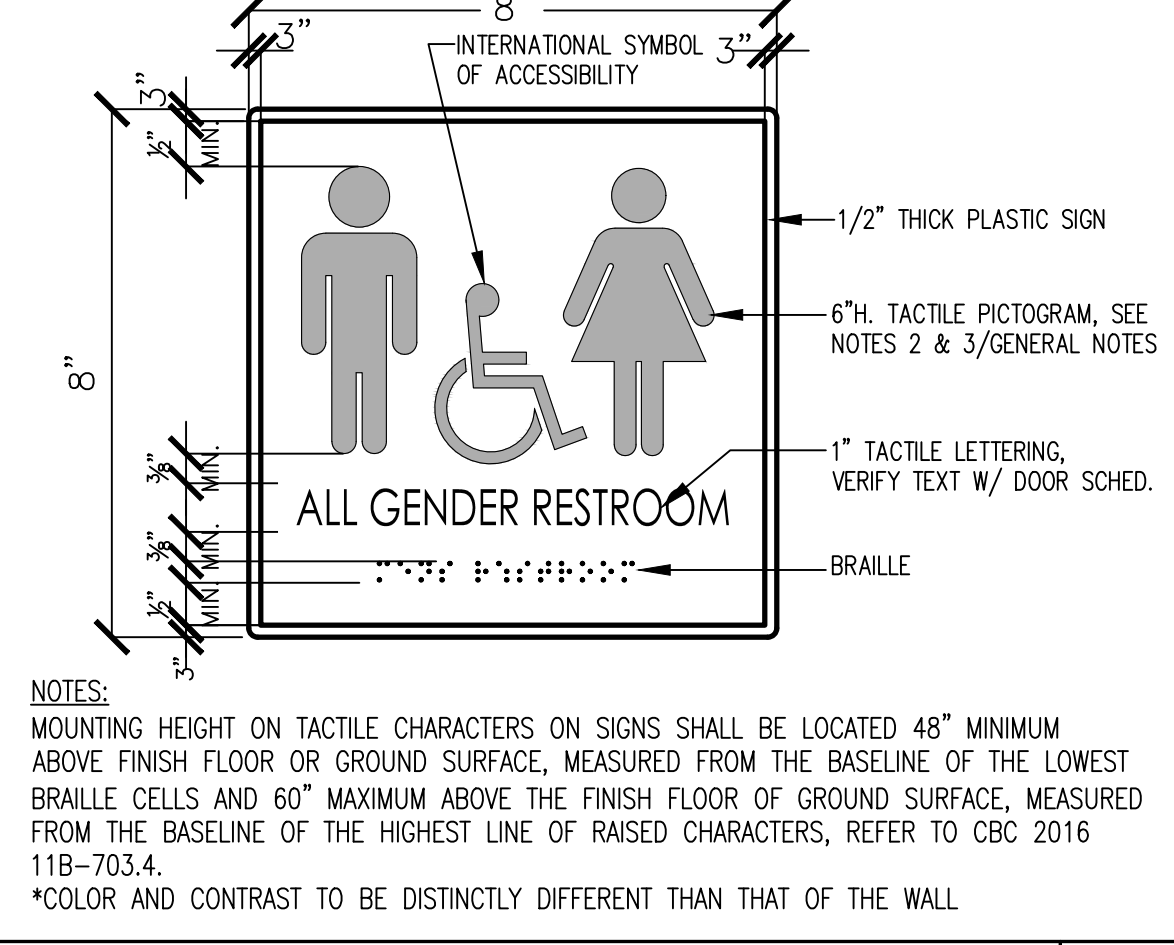
DOOR **2**



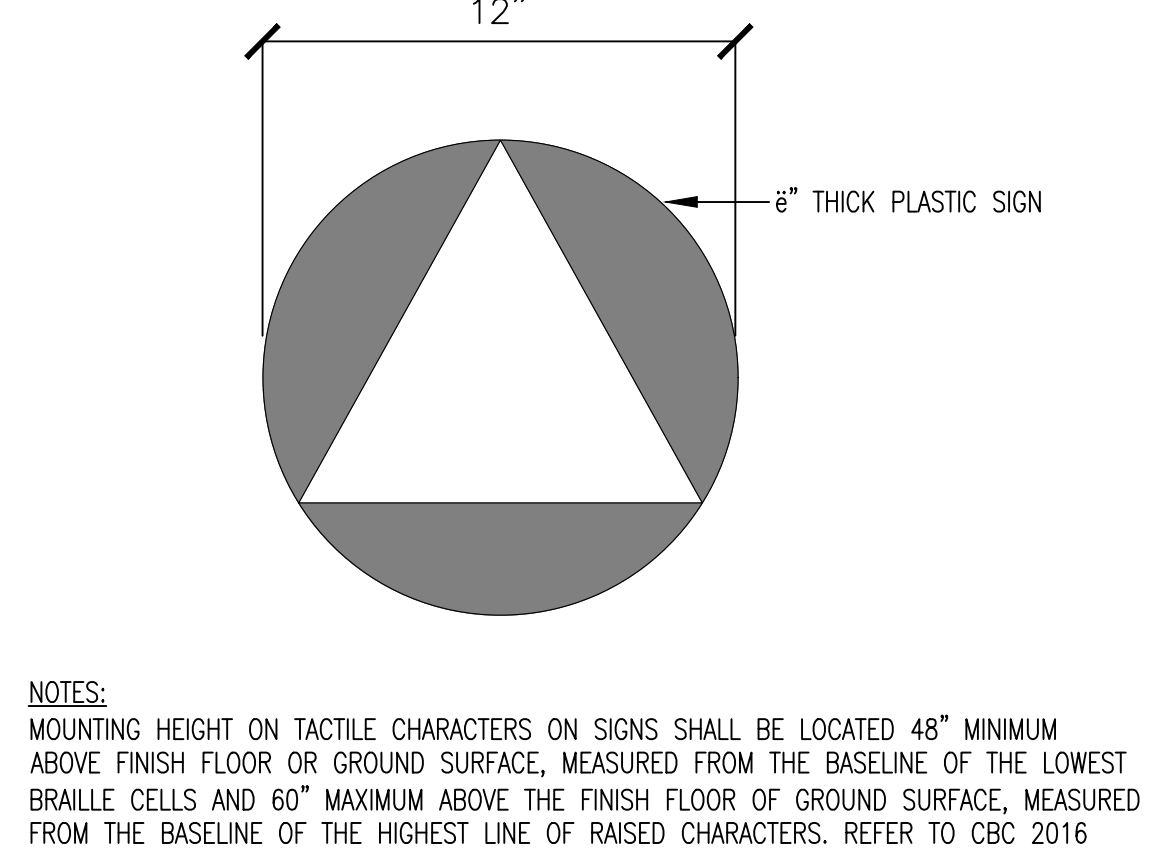
HAND SINK MOUNTING DETAIL NO SCALE **9**



RESTROOM TYPICAL WALL **8**



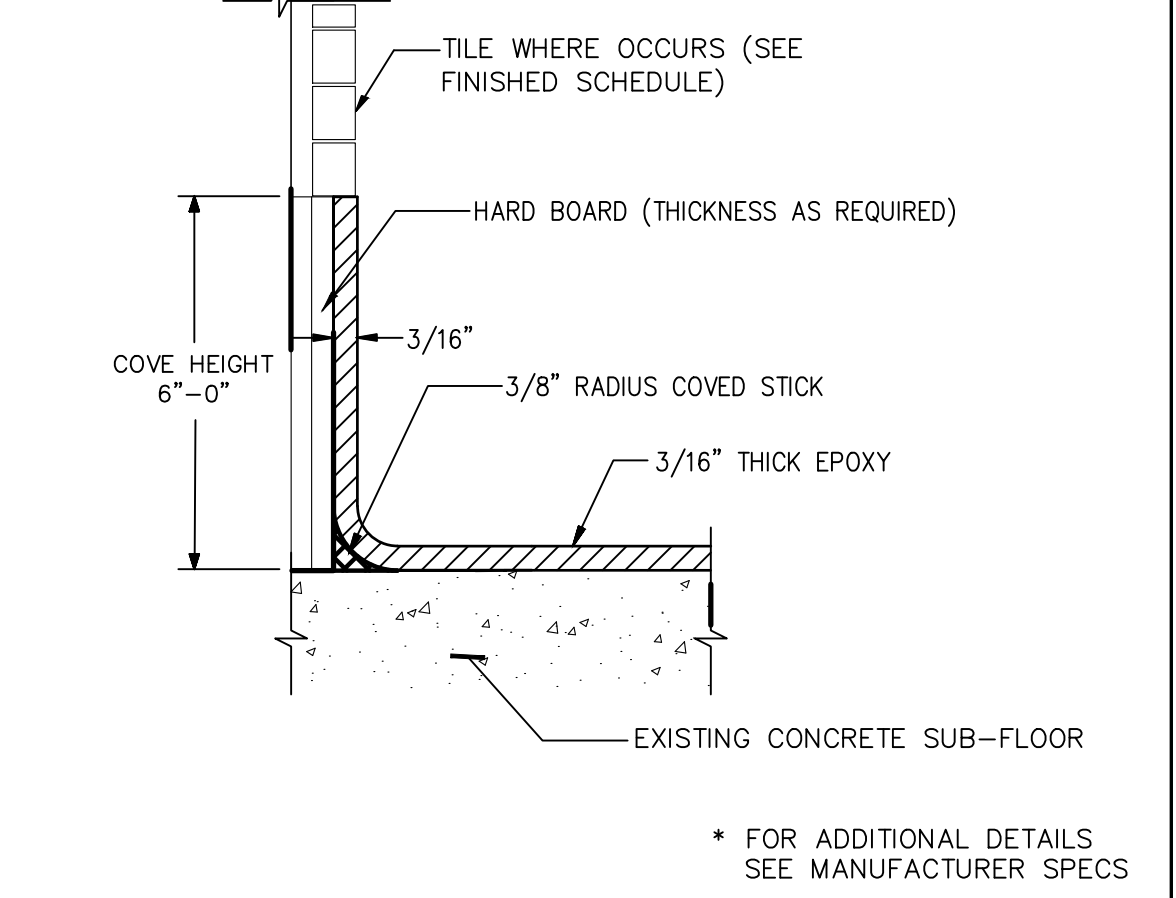
WALL-MOUNTED TOILET SIGN NO SCALE **7**



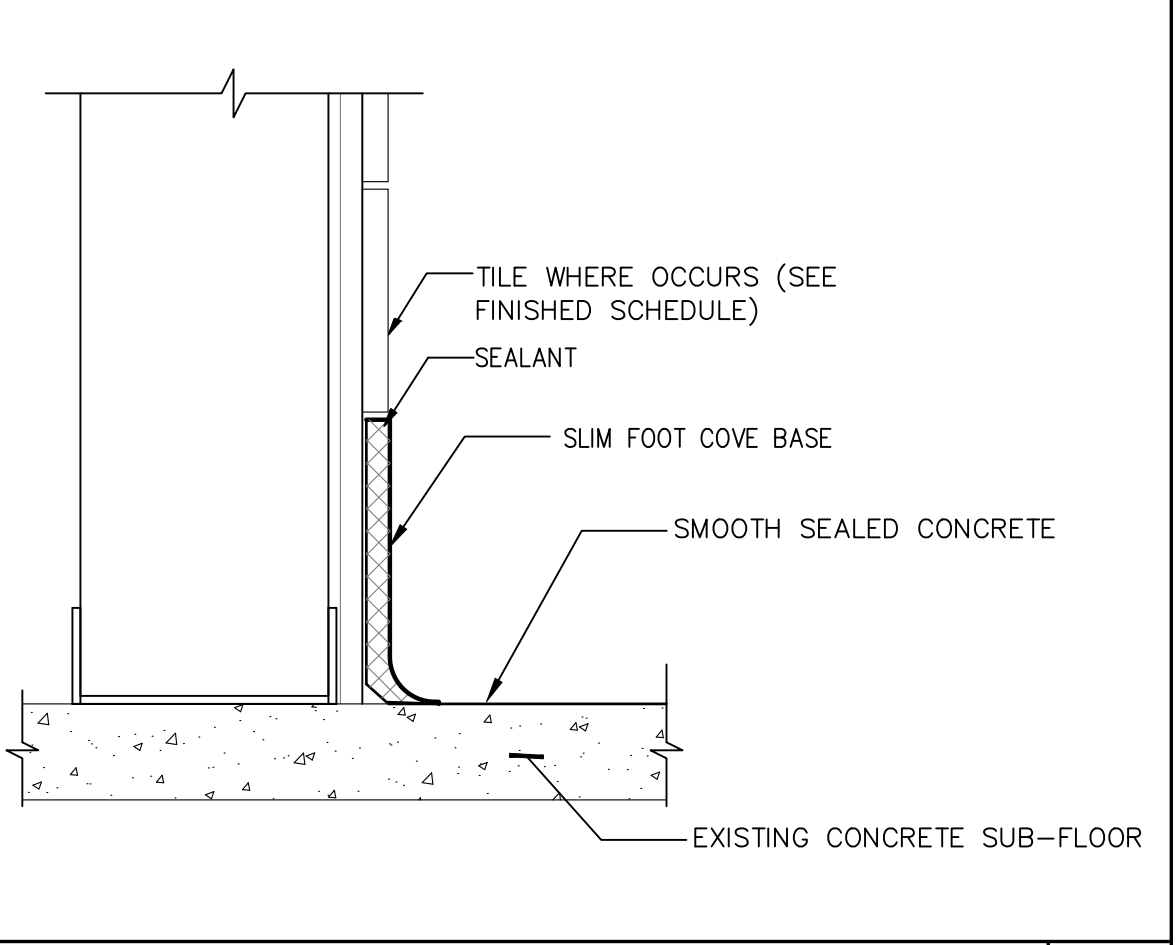
DOOR-MOUNTED TOILET SIGN NO SCALE **6**



TYPICAL EPOXY COVE BASE NO SCALE **12**



TILE COVE BASE NO SCALE **11**



TACTILE EXIT SIGN NO SCALE **10**

GENERAL CONTRACTOR TO VERIFY EXISTING SIGNAGE IN FIELD AND PROVIDE NEW AS REQUIRED TO COMPLY WITH APPLICABLE BUILDING CODES.
ALL SIGNAGE SHALL CONFORM WITH ADA ACCESSIBILITY GUIDELINES, INCLUDING BUT NOT LIMITED TO PROPORTION, COLOR CONTRAST AND RELIEF AND GRADE 2 BRAILLE REQUIREMENTS.
SIGNAGE: AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE ENTRANCES PER APPLICABLE BUILDING CODE.
TACTILE EXIT SIGNAGE:
A TACTILE EXIT SIGN WITH THE WORD "EXIT" SHALL IDENTIFY EACH GRADE LEVEL EXTERIOR EXIT DOOR.
A TACTILE EXIT SIGN WITH THE WORDS "EXIT ROUTE" SHALL IDENTIFY EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN. GENERAL CONTRACTOR TO VERIFY EXISTING SIGNAGE INSTALLATIONS AND PROVIDE NEW AS REQUIRED. CHARACTERS, SYMBOLS AND BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THE BACKGROUND, EITHER LIGHT ON DARK BACKGROUND OR DARK ON LIGHT BACKGROUND. SIGNS TO INCLUDE BRAILLE AND CHARACTERS AS DEFINED BY CODE.
MOUNT SIGNAGE AT 60" A.F.F. TO THE CENTER OF THE SIGN. MOUNTING LOCATION SHALL BE SO THAT A PERSON APPROACHING WITHIN 3" OF SIGN DOES NOT ENCOUNTER PROTRUDING OBJECTS OR WITHIN THE SWING OF A DOOR.

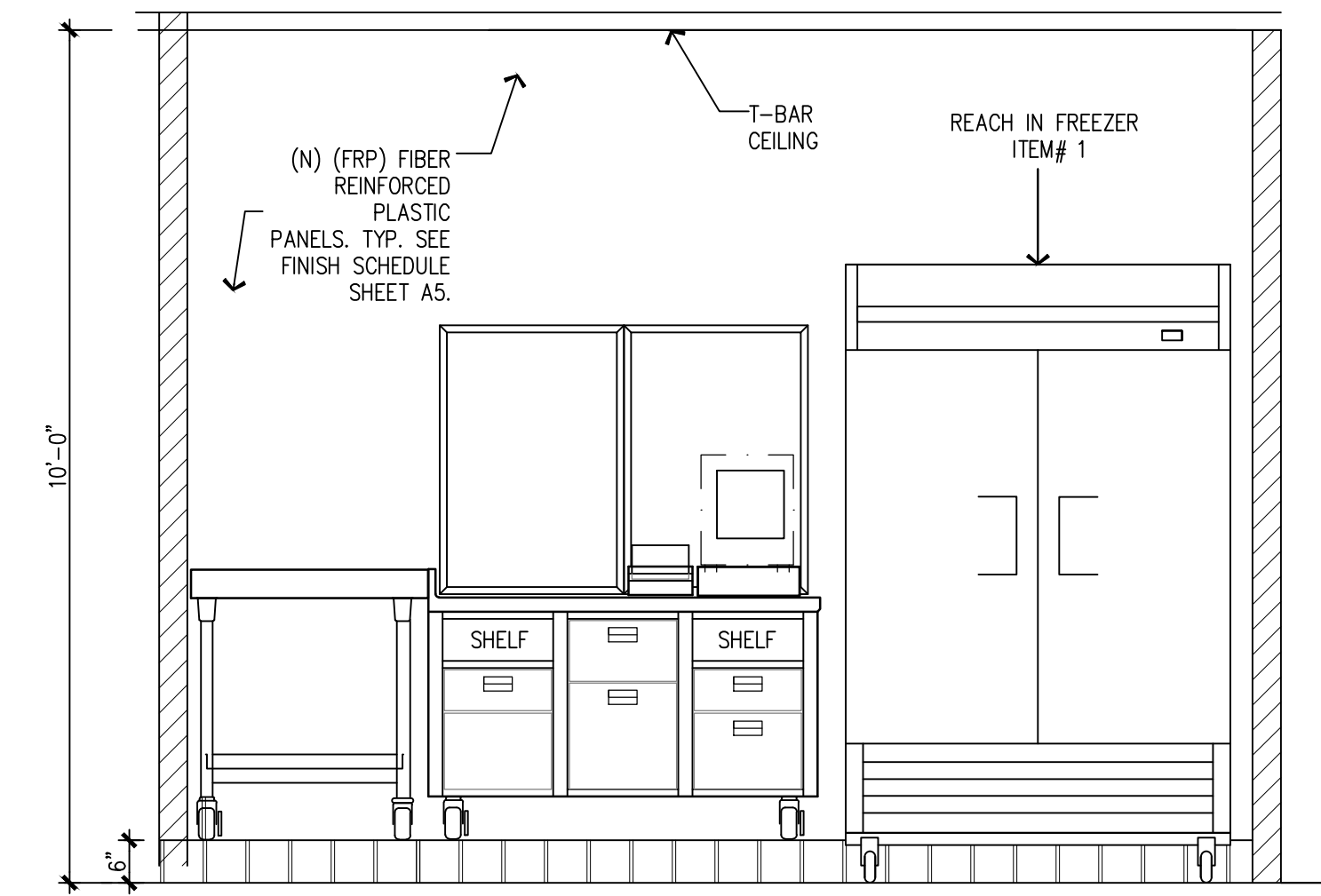
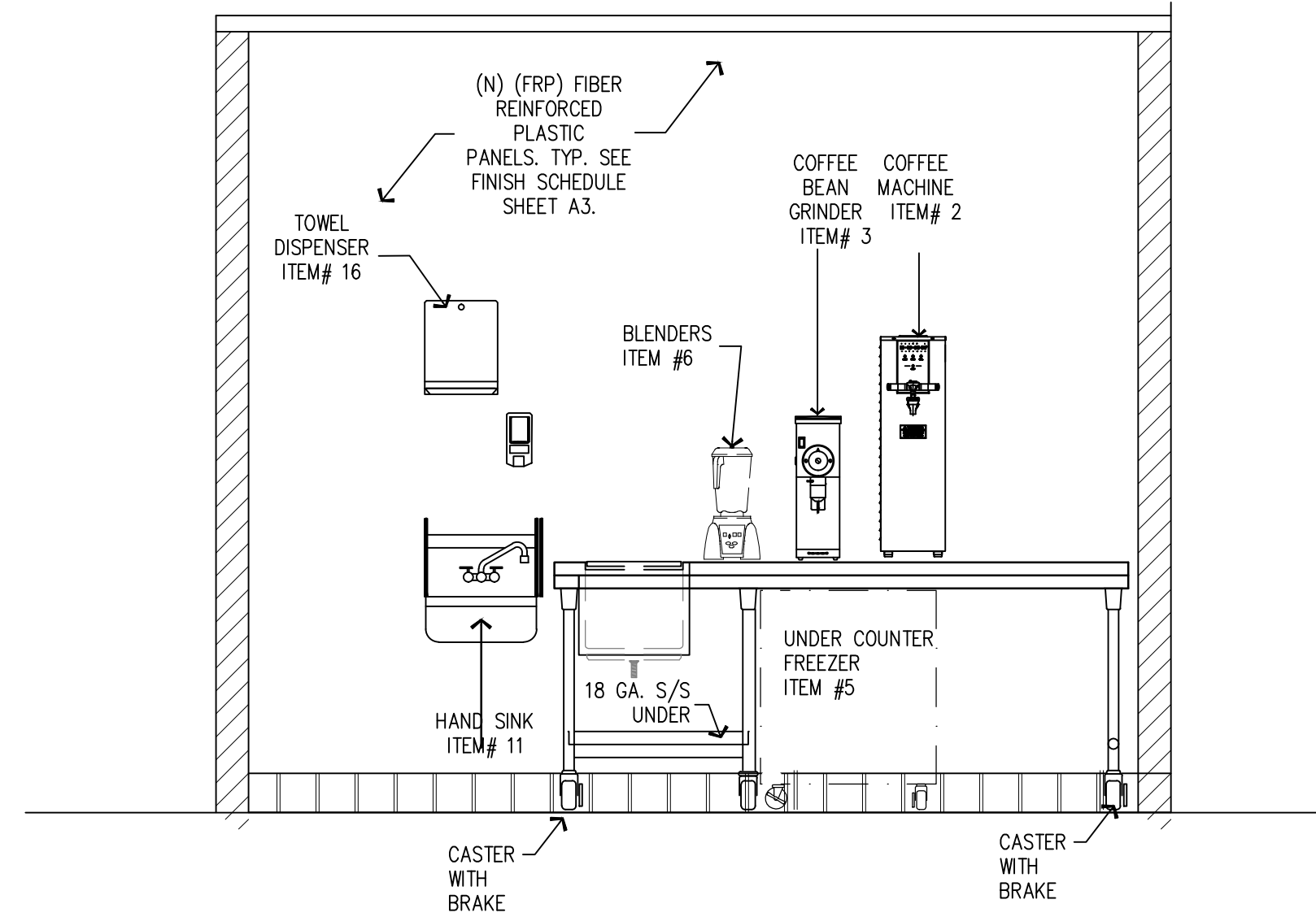
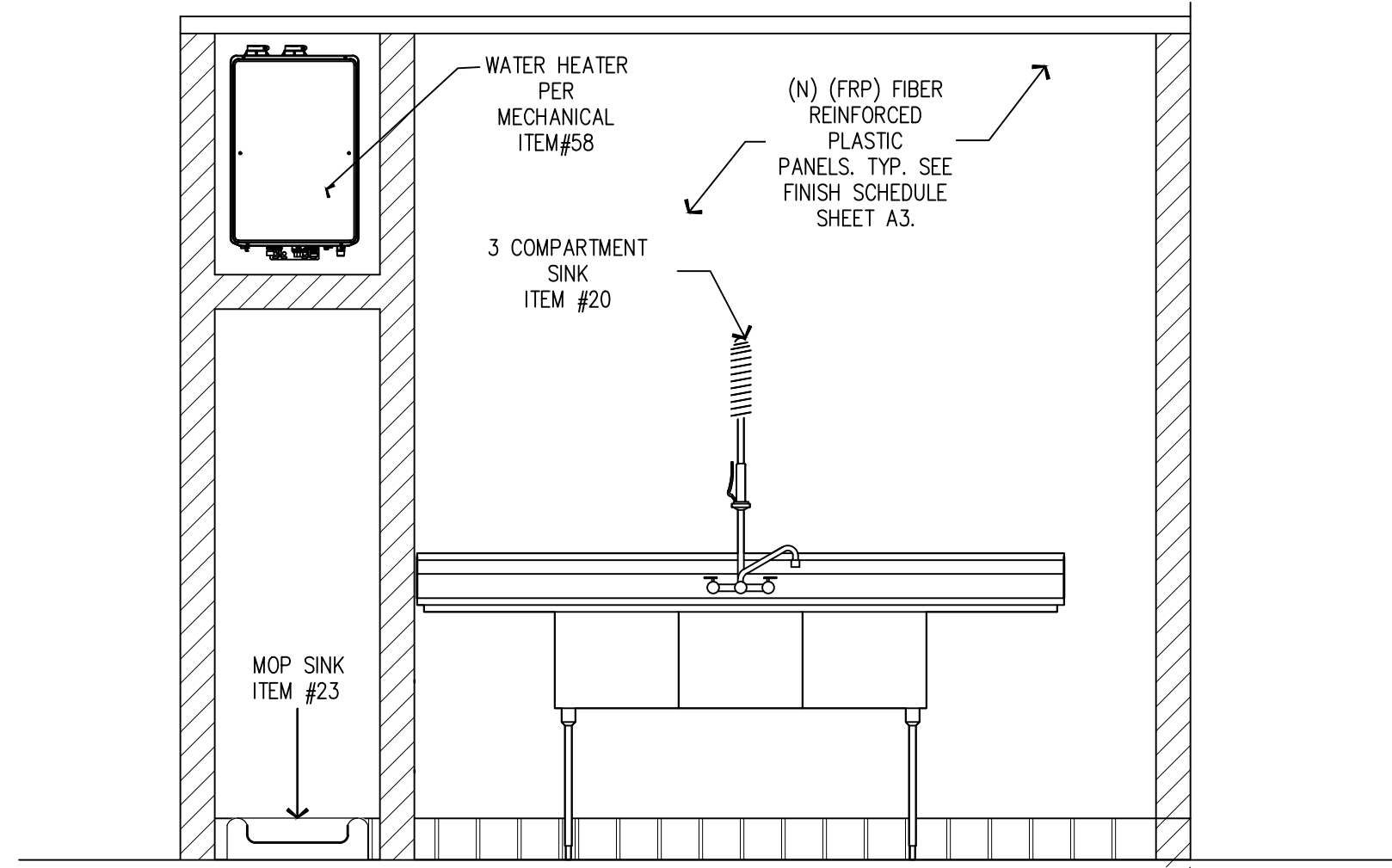
TACTILE EXIT SIGN NO SCALE **10**



REACH REQUIREMENTS **16**



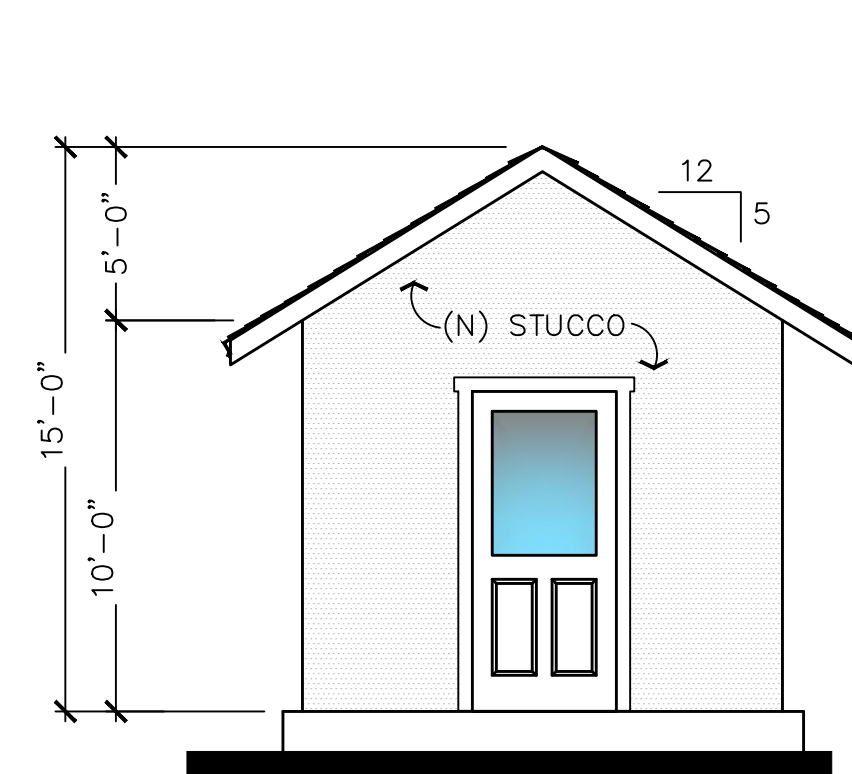
REACH REQUIREMENTS **16**



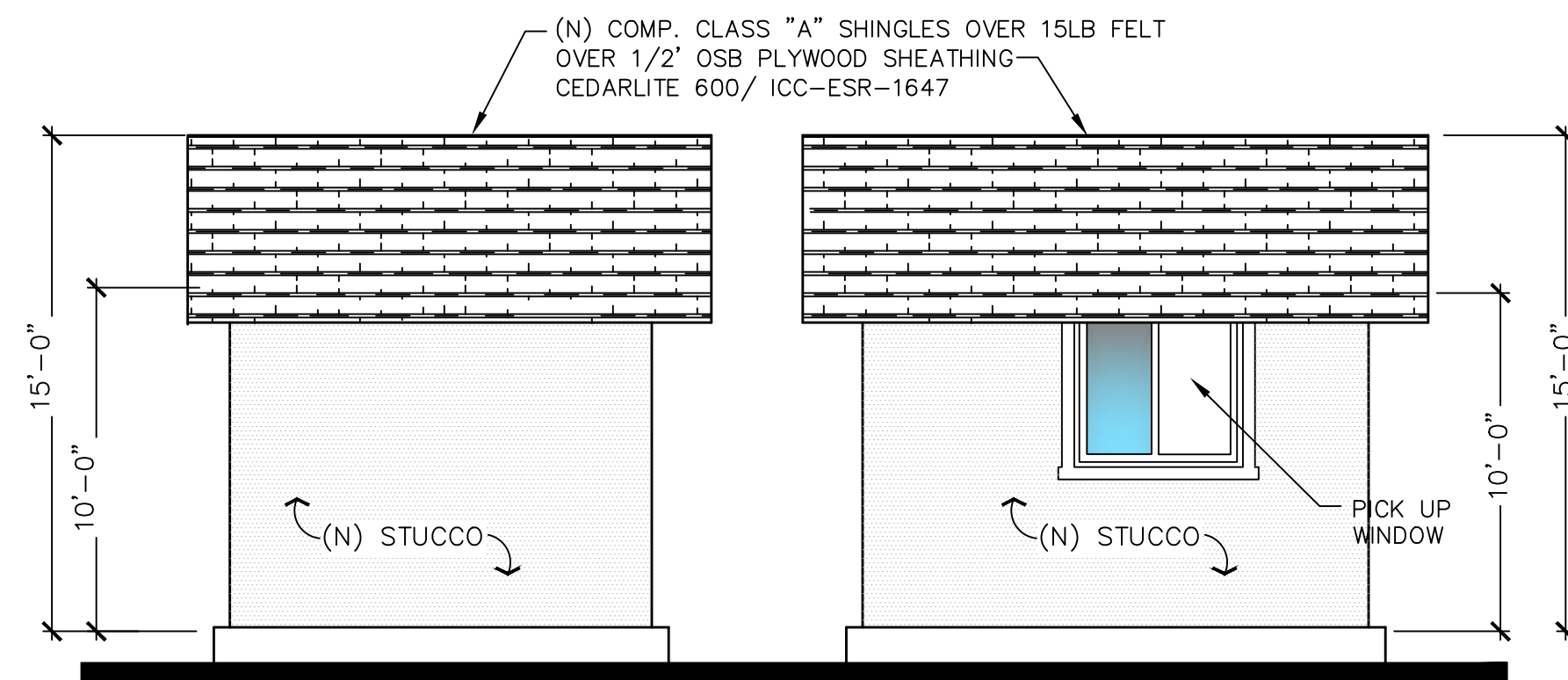
INTERIOR ELEVATIONS

SCALE 1/2"=1'-0" 1

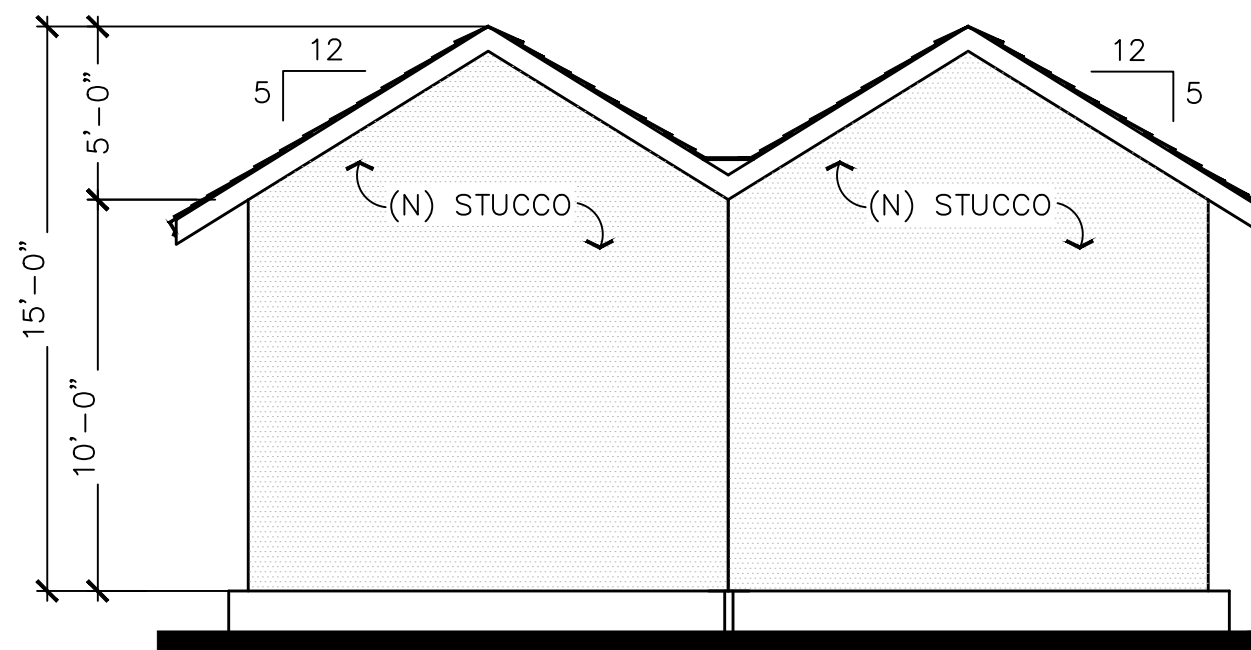
S 1:
 A- S B d - L H r B 100 W
 B- Tr F - B r M-550-2 L d r



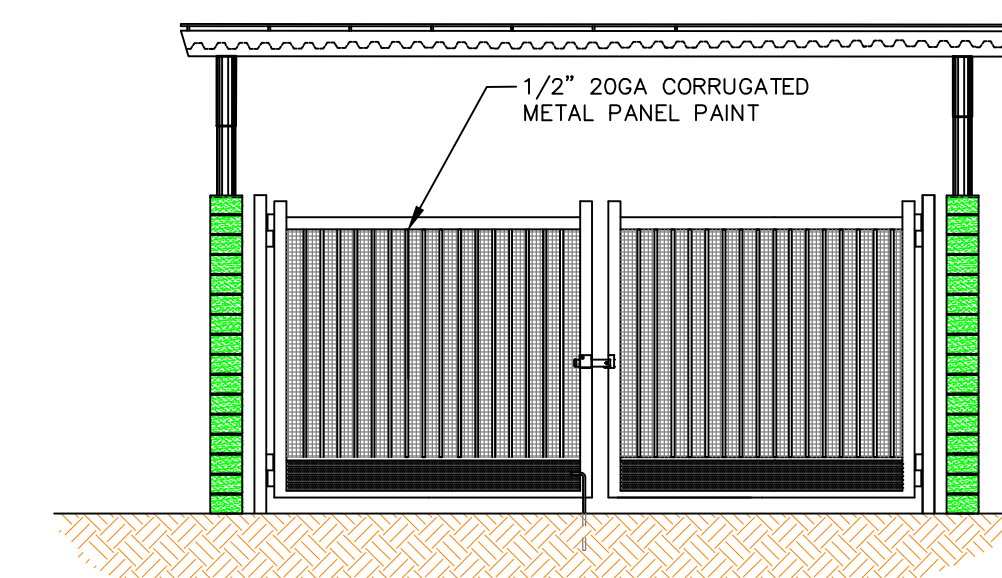
WEST ELEVATION VIEW



SOUTH ELEVATION VIEW



EAST ELEVATION VIEW



TRASH ENCLOSURE

EXTERIOR ELEVATIONS

REVISIONS

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. THE ABOVE DRAWINGS AND SPECIFICATIONS THEREBY ARE AND SHALL REMAIN THE PROPERTY OF C.E.I., INC. AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE SPECULATIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

CONSULTING CIVIL ENGINEERS
 18800 AMAR RD., SUITE B13
 WALNUT, CA. 91706
 (626) 667-8675 / (626) 667-8674 FAX

PLANS PREPARED BY:
C.E.I.
 Engineers, Inc.
 Civil Engineers
 Land Surveyors
 Land Planners

PROJECT DESCRIPTION
 COMMERCIAL
 TENANT IMPROVEMENT

TENANT'S NAME
TEA CUP, LLC

JOB ADDRESS
 4708 FOUNTAIN AVE
 LOS ANGELES, CA 90029



DRAWN BY E.A. DATE 10/30/19

CHECKED BY J.C. DATE 10/30/19

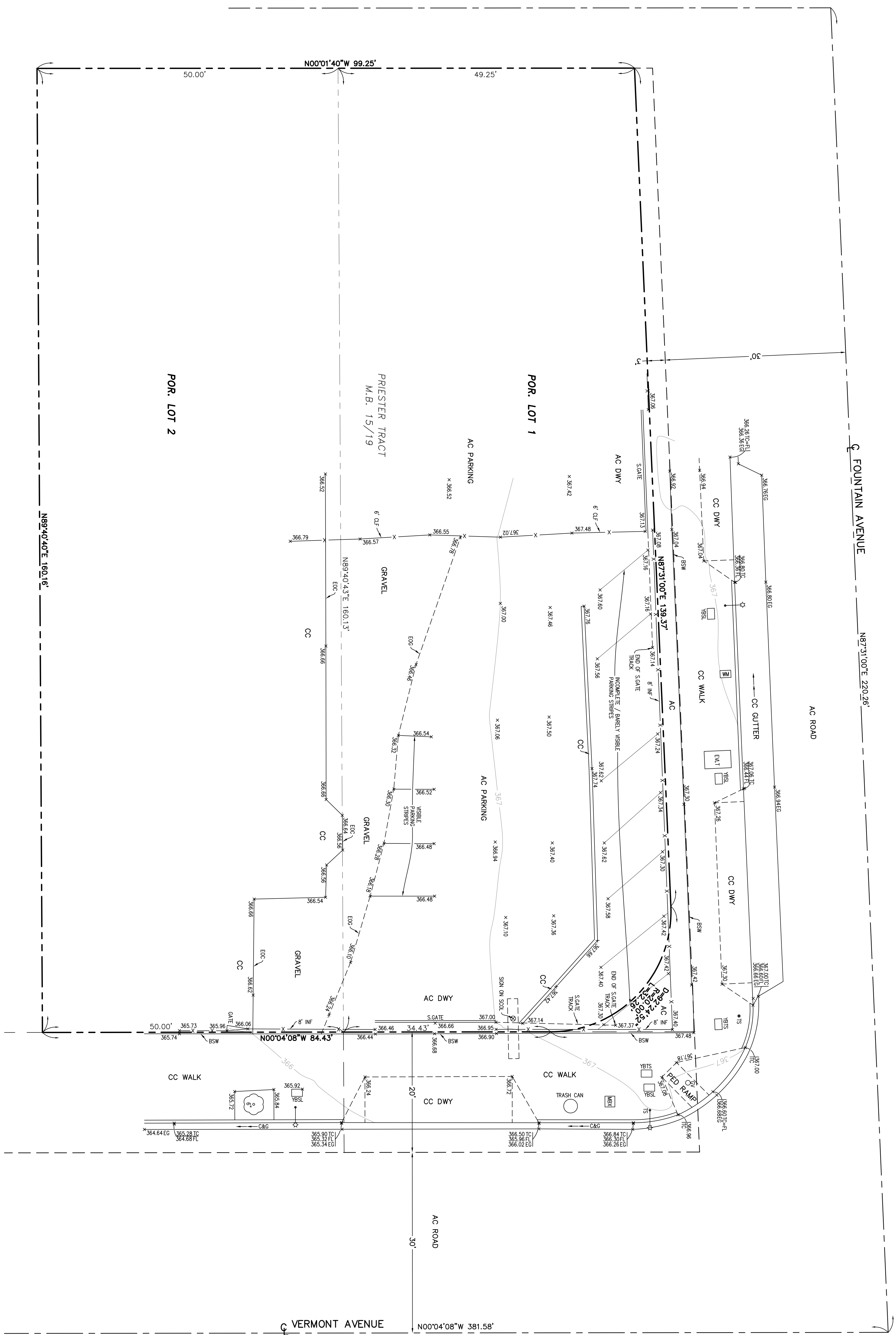
REVISED BY J.C. DATE

SCALE : AS SHOWN

JOB NUMBER 195.01.19

SHEET TITLE
 ELEVATION VIEWS
 EQUIPMENT

SHEET NUMBER

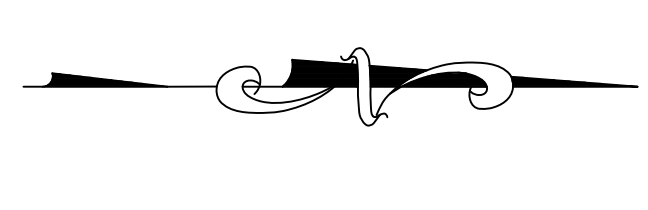


LEGEND

- CENTER LINE
- - - STREET EASEMENT LINE
- - - PROPERTY LINE
- CURB UNLESS OTHERWISE NOTED
- ⊗ COLUMN
- ⊕ STREET LIGHT
- TS • TRAFFIC SIGNAL
- SURFACE DRAIN
- SIGN
- ⊙ TREES WITH TRUNK DIAMETER

ABBREVIATIONS

- AC ASPHALT CONCRETE
- BSM BACK OF SIDEWALK
- CC CONCRETE
- CLF CHAIN LINK FENCE
- EDG EDGE OF GUTTER
- EDC EDGE OF CONCRETE
- END OF DRIVE
- ER EARTH
- EWLT ELECTRICAL VAULT
- GW GUY WIRE
- HM HORN FENCE
- IFC IRON FENCE
- MAX MAIL BOX
- DRIVE DRIVE
- S.GATE S. GATE
- SCDL STEEL COLUMN
- T.C. TRAFFIC CONTROL
- TRAF. TRAFFIC SIGNAL
- WM WATER METER
- YBLL YARD BOX STREET LIGHT



NOTES

- ASSESSOR'S PARCEL NUMBER: 5540-017-010.
- LAND AREA: 16,282 SQ. FT. 0.374 ACRE

BRIEF LEGAL DESCRIPTION
 PORTION OF LOTS 1 AND 2 OF PRIESTER TRACT M.B. 15/19.

EASEMENT NOTE
 EASEMENTS, IF ANY, ARE NOT SHOWN HERON. TITLE REPORT WAS NOT PROVIDED.

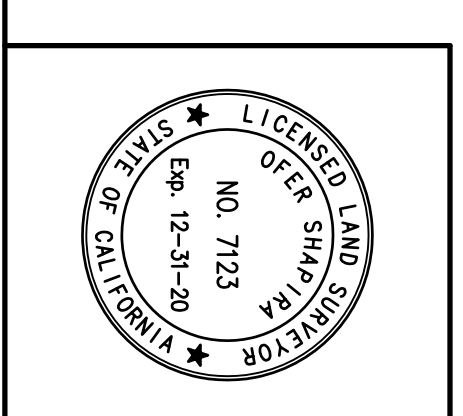
BASIS OF BEARINGS
 THE CENTERLINE OF FOUNTAIN AVENUE, BEING N 87°31'00" E PER PRIESTER TRACT M.B. 15/19.

BENCH MARK
 CITY OF LOS ANGELES BENCH MARK NO. 12-10888 ELEV.=366.923
 YEAR: 2000
 DESCRIPTION: SPK. W CURB VERMONT AV AT THE BOR S/O FOUNTAIN AV.

DATE: 11-26-19
DATE OF SURVEY: 11-15-19

for Skipin

11-26-19
 DATE



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**PARTIAL TOPOGRAPHIC SURVEY OF 4708 FOUNTAIN AVENUE
 LOS ANGELES, CALIFORNIA 90029**

DATE: 11-26-19 DRAWN BY: A.S., V.L.
 DATE OF SURVEY: 11-15-19 CHECKED BY: O.S.
 JOB NAME: EVERETT/FOUNTAIN SHEET: 1 OF 1