

55-UNIT MULTI RESIDENTIAL AND RETAIL MIXED-USE BUILDING

2700 W. 7TH ST., LOS ANGELES, CA 90057



PROJECT SUMMARY

PARKING CALCULATION		TRANSIT ORIENTED COMMUNITY TIER 3 DEVELOPMENT		
FOR RETAIL		BASE INCENTIVES REQUESTED:	1) 70% DENSITY INCREASE 2) PERCENTAGE INCREASE OF UP TO 50% 3) REDUCTION TO 0.5 PARKING PER UNIT	
REQUIRED	3190 SQ.FT / 500 = 6.4 SPACES	ADDITIONAL INCENTIVES REQUESTED:	1) SETBACK REQUIRED : AS RAS 3 FRONT SETBACK : 0' (ADJOINING BUILDINGS) SIDE: 0' (GROUND COMMERCIAL), 5' (RESIDENTIAL) REAR SETBACK : 5'	
PROVIDED	7 STD + 2 COM (1 ADA, 1 EV) 9 SPACES		2) 25% OPEN SPACE REDUCTION	
FOR LEASING OFFICE				
REQUIRED	328 SQ.FT / 500 = 0.7 SPACES			
PROVIDED	1 STD 1 SPACES			
FOR RESIDENTIAL				
REQUIRED	55 UNITS X 0.5 = 27.5 SPACES			
PROVIDED	30 STD + 7 COM (2 ADA, 1 EV) 37 SPACES			
TOTAL PARKING REQUIRED		PROJECT DATA		
35 SPACES		PROJECT ADDRESS	2700 W. 7TH ST. LOS ANGELES, CA 90057	
TOTAL PARKING PROVIDED		PROJECT DESCRIPTION	7- STORY COMMERCIAL & MULTI-RESIDENTIAL BUILDING 5-LEVEL RESIDENTIAL, 1-LEVEL COMMERCIAL W/2-LEVEL OF PARKING GARAGE W/ 1-LEVEL OF SUBTERRANEAN PARKING GARAGE	
47 SPACES		LEGAL DESCRIPTION	APN 5141012001, 514012003 TRACT WEST END TERRACE BLOCK NONE LOT FR 61, FR 62, FR 63 * LOT TIE REQUIRED	
BICYCLE PARKING		LOT AREA(3' HIGHWAY DEDICATION)	BEFORE 12,750.00 SQ.FT. AFTER 11,941.50 SQ.FT.	
1. LONG-TERM BICYCLE PARKING SPACES		ZONE	C2-2	
FOR RETAIL (MIN. 2 SPACES)		OCCUPANCY GROUP	R-2 (RESIDENTIAL), B (ROOF OPEN SPACES) S-2 (GARAGE), M(RETAIL)	
REQUIRED	3109 SQ.FT / 2000 = 1.55 (2) 2 SPACES	NUMBER OF STORY	SEVEN (7)	
PROVIDED	2 SPACES	NUMBER OF UNITS	SINGLE/STUDIO 10 UNITS 1 BED ROOM 20 UNITS 2 BED ROOM 25 UNITS 3 BED ROOM 0 UNITS TOTAL 55 UNITS	
FOR LEASING OFFICE (MIN. 2 SPACES)		MAXIMUM BUILDING HEIGHT	UNLIMITED	
REQUIRED	328 SQ.FT / 5000 = 0.07 (2) 2 SPACES	PROPOSED BUILDING HEIGHT	74'-9"	
PROVIDED	2 SPACES	TYPE OF CONSTRUCTION	BASEMENT-2ND I-A 3RD - 7TH III-A	
FOR RESIDENTIAL		FIRE DISTRICT NO.1	NO	
REQUIRED	25 + ((55-25)/1.5) = 45 SPACES	FIRE WALLS		
PROVIDED	45 SPACES	SPRINKLER TYPE	NFPA 13	
TOTAL LONG-TERM BICYCLE PARKING SPACES REQUIRED		FIRE ALARM	YES	
49 SPACES		OPEN SPACE CALCULATION		
TOTAL LONG-TERM BICYCLE PARKING SPACES PROVIDED		REQUIRED		
49 SPACES		UNIT NUMBER	REQ'D SPACE	
2. SHORT-TERM BICYCLE PARKING SPACES		SINGLE (2 HABITABLE ROOMS)	10 1,000 SQ.FT.	
FOR RETAIL (MIN. 2 SPACES)		1 BED (2 HABITABLE ROOMS)	20 2,000 SQ.FT.	
REQUIRED	3109 SQ.FT / 2000 = 1.55 (2) 2 SPACES	2 BED (3 HABITABLE ROOMS)	25 3,125 SQ.FT.	
PROVIDED	2 SPACES	TOTAL	55 6,125 SQ.FT.	
FOR OFFICE (MIN. 2 SPACES)		INCENTIVE	TIER 3 25% 4,594 SQ.FT.	
REQUIRED	328 SQ.FT / 10000 = 0.03 (2) 2 SPACES	PROVIDED		
PROVIDED	2 SPACES	PRIVATE BALCONY	0 50 0 SQ.FT.	
FOR RESIDENTIAL		GYM	672 SQ.FT. --> 600 SQ.FT.	
REQUIRED	2.5 + ((55-25)/15) = 4 SPACES	OPEN SPACE	0 4,030 SQ.FT.	
PROVIDED	4 SPACES	TOTAL	4,630 SQ.FT.	
TOTAL SHORT-TERM BICYCLE PARKING SPACES REQUIRED		TREE PLANTING REQUIREMENT		
8 SPACES		REQUIRED	ONE 24" BOX TREE / 4 D.U. X 55 UNITS 13.75 = 14 TREES	
TOTAL SHORT-TERM BICYCLE PARKING SPACES PROVIDED		PROPOSED	14 TREES	
8 SPACES				
YARD SETBACK AS RAS3 WITH T.O.C.				
	REQUIRED	PROPOSED		
FRONT	0'	0'		
SIDE (1ST FLOOR)	0' (GROUND COMMERCIAL)	0'		
SIDE (2ND-7TH FLOOR)	5'	5'		
REAR	5'	5'		
ALLOWABLE DENSITY CALCULATION (TOC)				
ZONE	MINIMUM AREA PER D.U			
C2-2(RESIDENTIAL USE :SAME AS R4)	400	SQ.FT		
LOT AREA	12,750.00	SQ.FT.		
MAX ALLOWBALE UNIT	12750/400 = 31.87	32	UNITS	
TOC INCENTIVE 70%	32 X 1.7=54.4	55	UNITS	
PROPOSED UNIT NUMBER		55	UNITS	
ALLOWABLE AREA CALCULATION				
C2-2		6 :1		
TOC INCENTIVE 50%		9 :1		
ALLOWABLE AREA	BUILDABLE AREA	FAR	TOTAL	
	12,750	9	114,750	
PROPOSED FLOOR AREA			58,680	
FLOOR AREA CALCULATION BY ZONING CODE				
FLOOR	RESIDENTIAL AREA	LEASING OFFICE	COMMERCIAL	TOTAL
	LIVING			
7TH	8,313	705	0	9,018
6TH	8,313	705	0	9,018
5TH	8,313	705	0	9,018
4TH	8,313	705	0	9,018
3RD	8,313	705	0	9,018
2ND	8,313	1,002	328	9,643
1ST	0	757	0	3,190
TOTAL	49,878	5,284	328	58,680

VICINITY MAP

SCALE: N.T.S.

PROJECT TEAM

ARCHITECT
KSK DESIGN
3435 WILSHIRE BLVD, SUITE 2905
LOS ANGELES, CA 90010
TEL: 213 - 388 - 3693
FAX: 213 - 386 - 4052

STRUCTURAL
BOLD ENGINEER & ASSOCIATES INC.
3055 WILSHIRE BLVD, SUITE 880
LOS ANGELES, CA 90010
TEL: 213.505.3058

SEPARATE PERMIT

SEPARATE PERMIT REQUIRED FOR THE FOLLOWING M.E.P. AND FIRE SPRINKLER PLANS BY OTHER

NOTE

WOOD MEMBERS WITHIN THE 2-HR. EXT. WALL ASSEMBLY SHALL BE FIRE RETARDANT TREATED WOOD ESR#: ESR-1626 LARR#: RR25122

FULLY SPRINKLED - BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM COMPLYING WITH NFPA13. SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION.

100% PRIVATELY FUNDED

APPLICABLE CODES

2020 LOS ANGELES BUILDING CODE TITLE 24,
2020 LOS ANGELES BUILDING CODE,
2020 LOS ANGELES MECHANICAL CODE,
2020 LOS ANGELES PLUMBING CODE,
2020 LOS ANGELES ELECTRICAL CODE,
2020 LOS ANGELES FIRE CODE,
2020 LOS ANGELES ENERGY CODE,
2020 LOS ANGELES GREEN CODE.

UNIT AREA (GROSS) BREAKDOWN

2ND ~ 7TH FLOOR			
UNIT NO.	NO. BED	NO. BATH	SQ.FT
#01	2	2	977 SF
#02	1	1	723 SF
#03	SINGLE	1	479 SF
#04	2	2	981 SF
#05	1	1	686 SF
#06	1	1	590 SF
#07	2	2	953 SF
#08	2	2	964 SF
#09	SINGLE	1	454 SF
#10	1	1	640 SF
#11	2	2	963 SF
TOTAL AREA PER FLOOR			8,410 SF



A 7-STORY 55 UNIT RESIDENTIAL AND COMMERCIAL MIXED-USE BUILDING

2700 W. 7TH ST.
LOS ANGELES, CA 90057

REVISIONS 10.01.2019

PROJECT NO.: KSK 2019_CR_2700 7TH
DRAWN: [Signature]
BLDG. SUBMITTAL DATE: [Signature]
BID DATE: [Signature]

SCALE: AS SHOWN ON PLAN
SHEET TITLE
COVER SHEET

SHEET NO.
A0.0

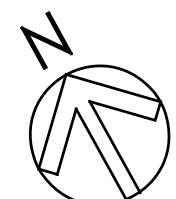
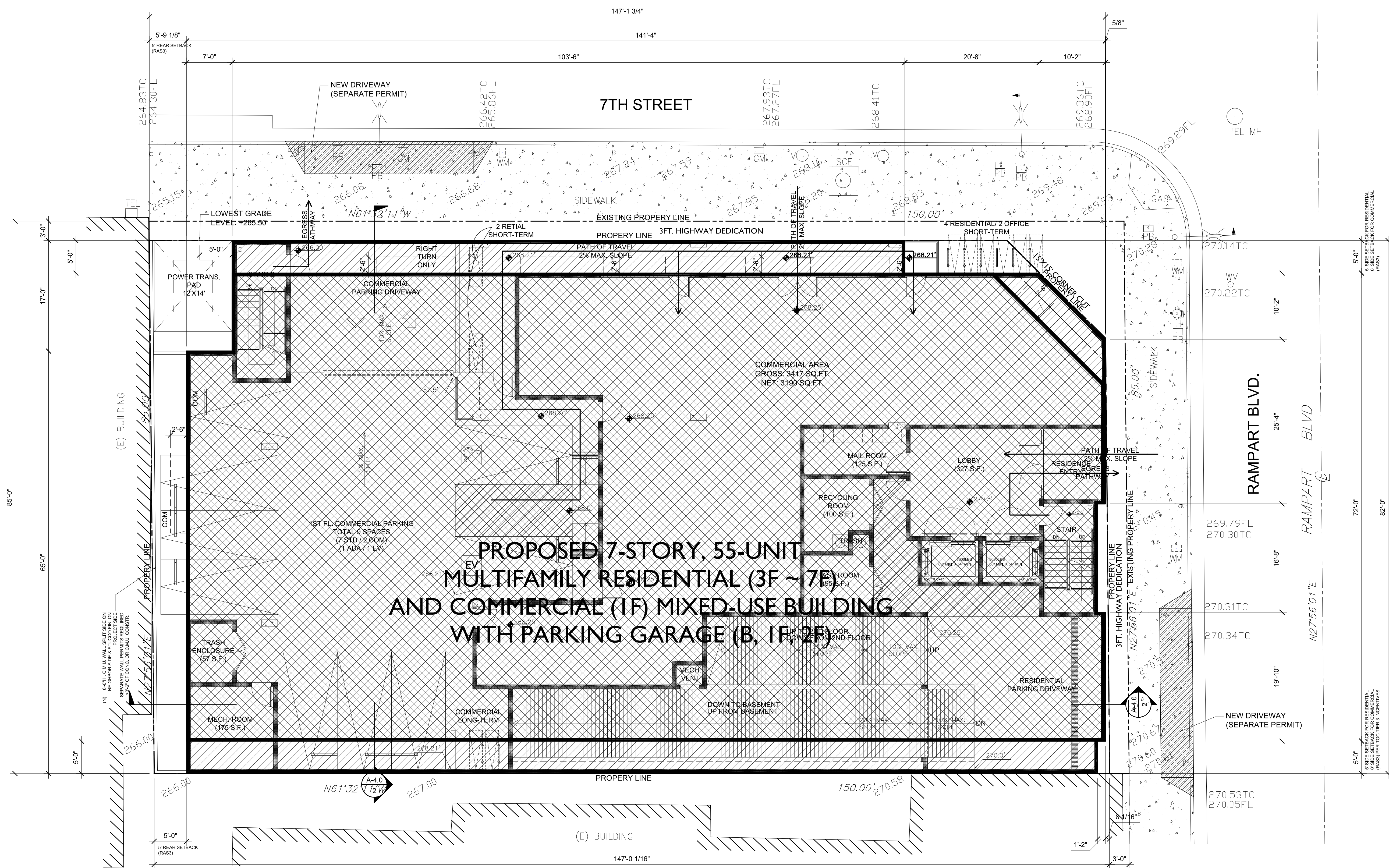
2700 W. 7TH ST., LOS ANGELES, CA 90057

WATER PROOFING NOTES:

- OVER CONCRETE DECK WATERPROOFING
- A. BELOW TILE:
 - INSTALL 3 COATS OR 90 MILS OF FLUID APPLIED ELASTOMERIC MEMBRANE SUCH AS PACIFIC POLYMERS' ELASTO-DECK 5500 (L.A.R.R. #24028)
 - BROADCAST SAND ONTO FINAL COAT OR INSTALL PROTECTION COURSE SUCH AS MIRADRI 200V OR ROOFING CAP SHEET
 - B. NO TILE:
 - INSTALL PACIFIC POLYMERS' ELASTO-DECK *5000x2" (L.A.R.R. #24208) AS PER MANUFACTURER'S SPECIFICATION

ACCESSIBILITY ENTRANCE SIGN NOTES:

A SIGN SHALL BE POSTED IN A CONSPICUOUS PLACE, THE SIGN SHALL BE NO LESS THAN 17/22 INCHES IN SIZE W/ LETTERING NO LESS THAN 1 INCH IN HEIGHT, WHICH STATE "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED HANDICAPPED SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PHYSICALLY DISABLED PERSONS MAY BE TOWED AWAY AT OWNER'S EXPENSE."



SITE PLAN SCALE: 1/8"=1'-0" 1



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LOS ANGELES, CA 90010
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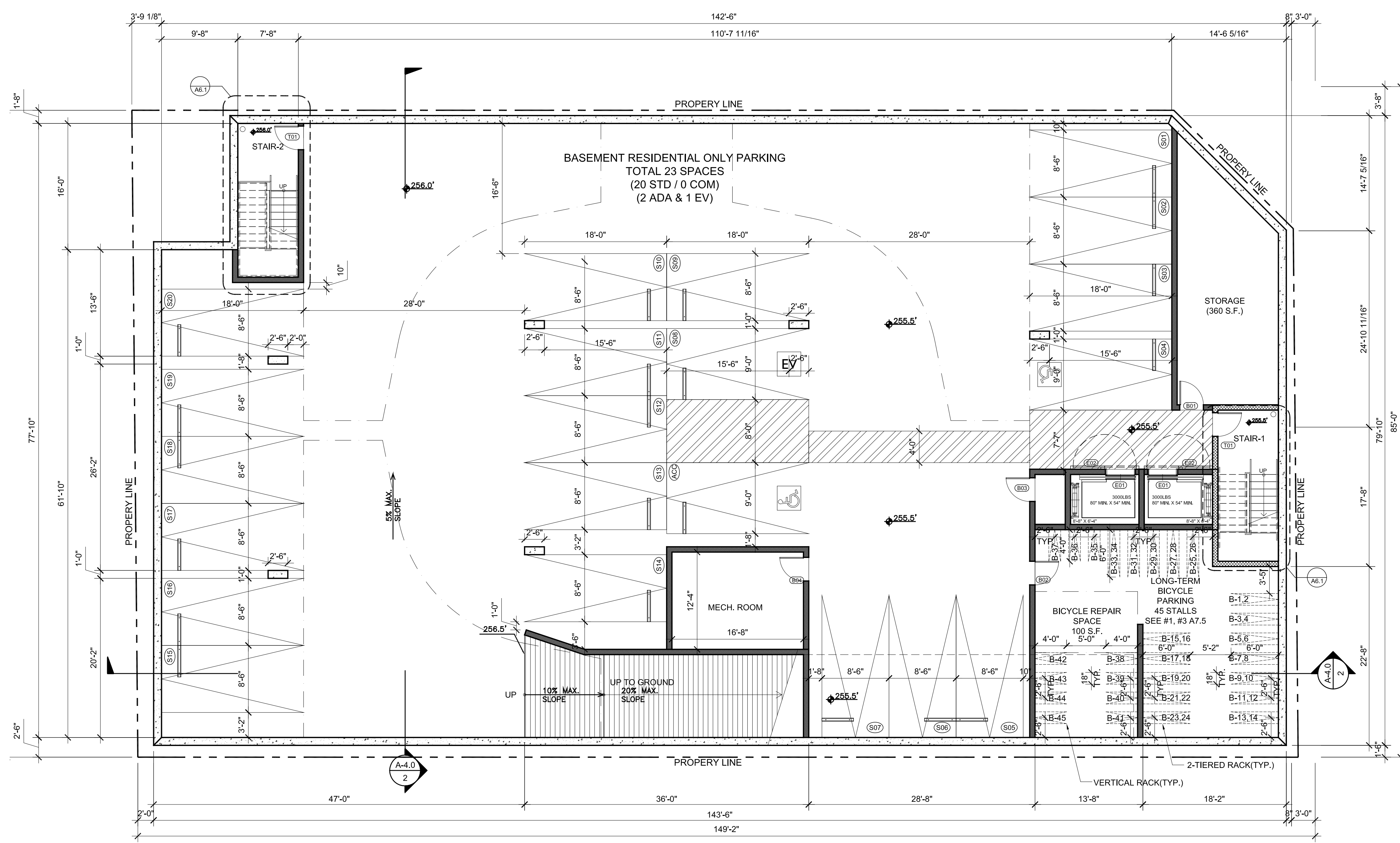
PROJECT

A 7-STORY 55 UNIT RESIDENTIAL AND COMMERCIAL MIXED-USE BUILDING
2700 W. 7TH ST. LOS ANGELES, CA 90057

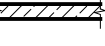


REVISIONS

PROJECT NO.: 00_2019
DRAWN: _____
BLDG. SUBMITTAL DATE: 00.00.2019
DATE: _____
BID DATE: _____

SCALE: AS SHOWN ON PLAN
SHEET TITLE
SITE PLAN
SHEET NO.
A1.0



LEGEND

-  : CONC. WALL OR CONC. COLUMN SEE STRUCTURAL DWGS.
-  : C.M.U. WALL SEE STRUCTURAL DWGS.
-  : 3-HR. CONCRETE EXTERIOR WALL
-  : 2-HR. SHAFT WALL
-  : EXIT SIGN W/ EMERGENCY LIGHT
-  : # OF STANDARD PARKING
-  : # OF COMPACT PARKING
-  : # OF DISABLED PARKING
-  : 1D A7.0
-  : 3A A7.0

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PROJECT
A 7-STORY 55 UNIT RESIDENTIAL AND COMMERCIAL MIXED-USE BUILDING
 2700 W. 7TH ST.
 LOS ANGELES, CA 90057

REVISIONS

PROJECT NO.: 00_2019
 DRAWN: _____
 BLDG. SUBMITTAL DATE: 00.00.2019
 BID DATE: _____

SCALE: AS SHOWN ON PLAN
 SHEET TITLE
BASEMENT PLAN
 SHEET NO.
A2.0

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WATER PROOFING NOTES:

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 A. BELOW TILE
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 B. NO TILE:
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TITLE 24 ENERGY NOTES:

1. TITLE 24 ENERGY CALCULATIONS SHALL BE SUBMITTED TO MECHANICAL PLAN CHECK DIVISION FOR A SEPARATE APPROVAL.

EVCS NOTE:

(ADDITIONAL NOTES ON A9.0)
 1. THE SURFACE SLOPE OF EVCS AND AISLE SPACE SHALL NOT EXCEED 1:48 (2.083%) ON ANY DIRECTION.

PAVED AREA:

TOTAL AREA OF HARDSCAPE (NOT COVERED BY THE BUILDING) = 2,082.7 SQ.FT.

100% UNCOLORED CONCRETE WITH SMOOTH CEMENT FINISH, INITIAL SOLAR REFLECTANCE >0.30 AS DETERMINED PER ASTM E918 OR C1549.

SANITATION NOTES

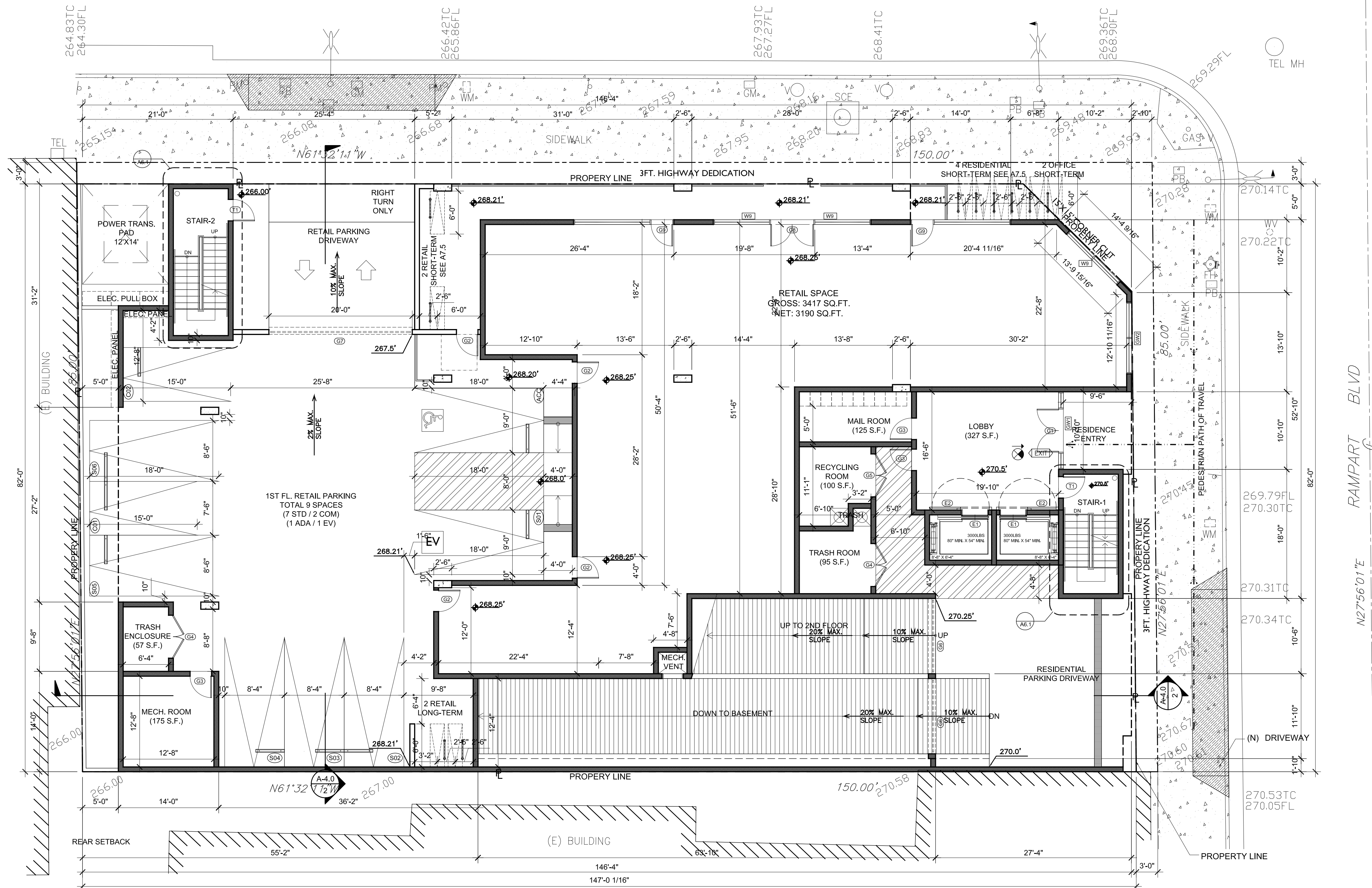
1. ALL DOWNSPOUTS TO DRAIN TO BELOW GRADE CISTERN
 2. ALL TRASH BINS SHALL BE COVERED

NOTES:

1. ALL DIMENSIONS ARE FINISH TO FINISH, U.N.O.
2. MIN. VERTICAL CLEARANCE OF 8'-2" WHERE REQUIRED FOR ACCESSIBLE PARKING SPACES ONLY (7'-0" CLR. ELSEWHERE) SHALL BE CLEAR OF ALL OBSTRUCTIONS, INCLUDING BEAMS, SPRINKLER HEADS, PIPING, ETC.
3. MAXIMUM DRIVEWAY SLOPE SHALL NOT EXCEED 20%. MAXIMUM DRIVEWAY CROSS SLOPE IS 10%. MAXIMUM SLOPE WITHIN PARKING AREA IS 5%.
4. DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5.
5. TANDEM PARKING STALLS SHALL BELONG TO THE SAME UNIT.
6. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT FULL RATED AMPERAGE BASED ON LEVEL 2 EVSE. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
7. EGRESS COURTS LESS THAN 10 FT. IN WIDTH SHALL HAVE EGRESS COURT WALLS NOT LESS THAN 1-HR FIRE-RESISTANCE RATED CONSTRUCTION; OPENINGS WITHIN SUCH WALLS SHALL BE PROTECTED BY OPENING PROTECTIVES NOT LESS THAN 3/4 HOUR. (1027.4.2)
8. THE MAXIMUM FLAME-SPREAD CLASS OF FINISH MATERIALS USED ON INTERIOR WALLS AND CEILINGS SHALL NOT EXCEED FOLLOWING:
 A. CLASS I, FLAME SPREAD 0-25, SMOKE DENSITY 150, FOR MATERIALS INSTALLED IN VERTICAL EXITS.
 B. CLASS II, FLAME SPREAD 26-75, SMOKE DENSITY 300, FOR MATERIALS INSTALLED IN HORIZONTAL EXITS.
 C. CLASS III, FLAME SPREAD 76-200, SMOKE DENSITY 450, FOR MATERIALS INSTALLED IN ANY OTHER LOCATION.
9. FLOOR FINISH SHALL BE SLIP RESISTANT.
10. BICYCLE PARKING STALL SHALL PROVIDE A MEANS OF SECURING THE BICYCLE FRAME AT TWO POINTS TO A SECURELY ANCHORED RACK, EXCEPT IN THE CASE OF LOCKERS AND COMMERCIALY OPERATED ATTENDED BICYCLE PARKING.

LEGEND

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- : C.M.U. WALL SEE STRUCTURAL DWGS.
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- : ELECTRIC VEHICLE CHARGING STATION; STALLS WITH PROVISIONS FOR FUTURE INSTALLATION OF ELECTRIC VEHICLE CHARGING EQUIPMENT. 1" DIA. RACEWAY TO ACCOMMODATE 2081 240 V BRANCH CIRCUIT.
- : LONG TERM BICYCLE PARKING
- : SHORT TERM BICYCLE PARKING



GROUND FLOOR PLAN SCALE: 1/8"=1'-0" 1



3435 WILSHIRE BLVD., SUITE 2005
 LOS ANGELES, CA 90010
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PROJECT

A 7-STORY 55 UNIT RESIDENTIAL AND COMMERCIAL MIXED-USE BUILDING

2700 W. 7TH ST.
 LOS ANGELES, CA 90057

REVISIONS

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PROJECT NO.: 00_2019
 DRAWN:
 BLDG. SUBMITTAL DATE: 03.08.2019
 DATE:
 BID DATE:

SCALE: AS SHOWN ON PLAN
 SHEET TITLE

1ST FLOOR PLAN

SHEET NO.

A2.1

ACCESSIBLE ENTRANCE SIGN NOTE:

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EVCS NOTE:

(ADDITIONAL NOTES ON A9.0)
 1. THE SURFACE SLOPE OF EVCS AND AISLE SPACE SHALL NOT EXCEED 1:48 (2.083%) ON ANY DIRECTION.

PAVED AREA:

TOTAL AREA OF HARDSCAPE (NOT COVERED BY THE BUILDING) = 2,082.7 SQ.FT.

100% UNCOLORED CONCRETE WITH SMOOTH CEMENT FINISH, INITIAL SOLAR REFLECTANCE >0.30 AS DETERMINED PER ASTM E918 OR C1549.

SANITATION NOTES

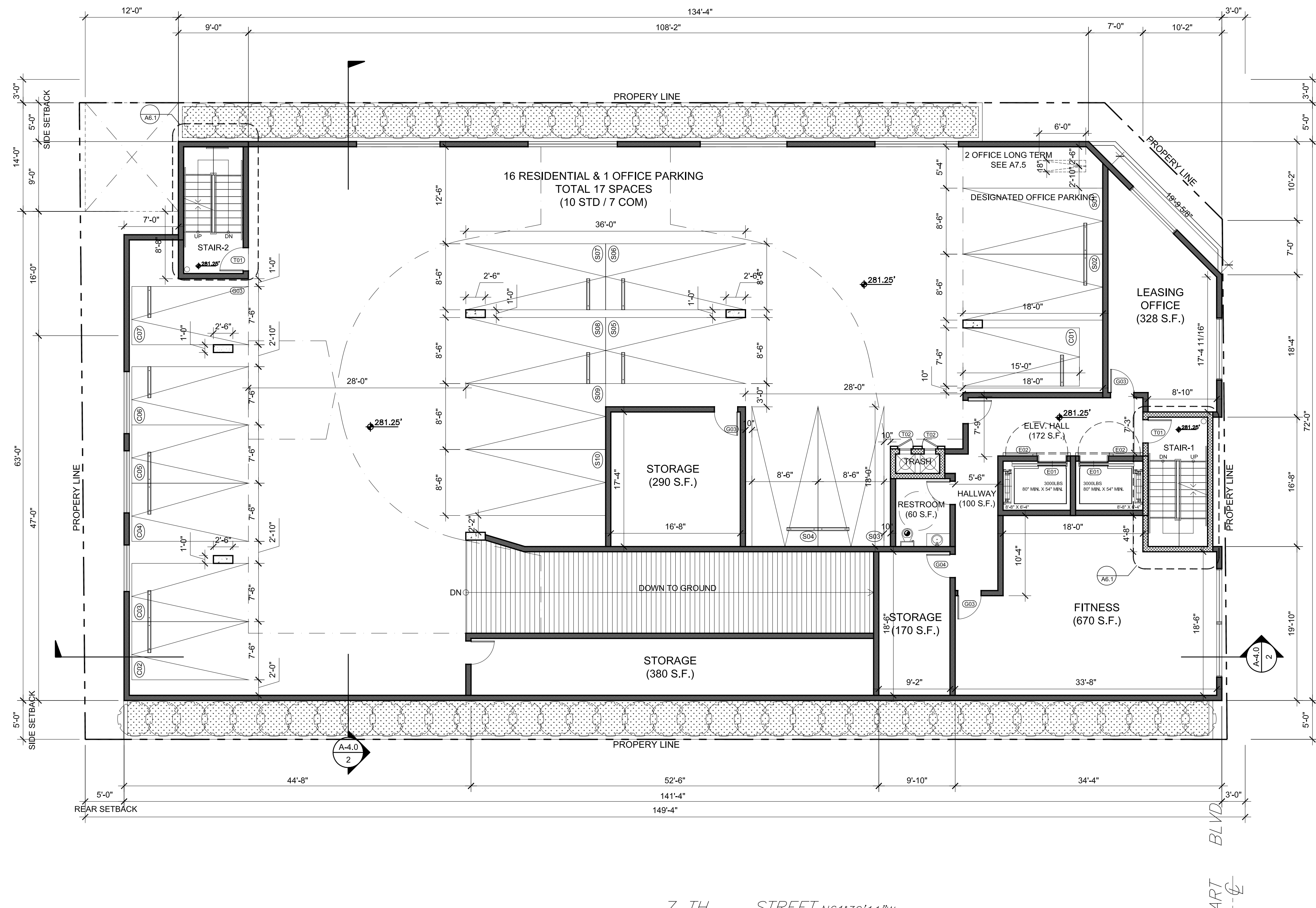
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2ND FLOOR PLAN SCALE: 1/8"=1'-0" 1



3435 WILSHIRE BLVD., SUITE 2005
 LOS ANGELES, CA 90010
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PROJECT

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 2700 W. 7TH ST.
 LOS ANGELES, CA 90057

REVISIONS

PROJECT NO.: 00_2019
 DRAWN: [Signature]
 BLDG. SUBMITTAL DATE: 00.00.2019
 SUBMITTAL DATE: [Signature]
 BID DATE: [Signature]

SCALE: AS SHOWN ON PLAN
 SHEET TITLE
2ND FLOOR PLAN
 SHEET NO.

A2.2

NOTES:

1. PROVIDE 70 INCH H. NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER - RESISTANT MATERIALS FOR SHOWER ENCLOSURE.
2. WATER CLOSETS SHALL BE OF LOW WATER CONSUMPTION.
3. PROVIDE AN APPROVED GRAFFITI-RESISTANT FINISH FOR THE FIRST 9 FEET OF EXTERIOR WALLS: BY DUNN EDWARDS, LARR #RR25162-T.
4. DRAFT STOP SHALL BE PROVIDED WITHIN A CONCEALED FLOOR-CEILING ASSEMBLY FORMED OF COMBUSTIBLE CONSTRUCTION.
5. RAFT STOP SHALL BE PROVIDED WITHIN ATTICS, OVERHANGS AND SIMILAR CONCEALED SPACES FORMED OF COMBUSTIBLE CONSTRUCTION.
6. ALL DIMENSIONS ARE FINISH TO FINISH, U.N.O.
7. HYDRO PASSENGER ELEVATOR 2500 LBS - CURNEY SIZE BY 'OTIS ELEVATOR'.
8. FOR WATER PROOFING SYSTEM REFER TO WATER PROOFING NOTES ON A1.0.
9. DRYER VENT SHALL NOT EXCEED 14'-0" LENGTH A MIN. OF 2 ELBOWS (90d).
10. VERIFY THAT WALL FRAMING WILL ALLOW FOR A 4" VENT ALSO VERIFY THIS CONDITION AS VENT PASSES THROUGH DOUBLE TOP PLATE.
11. TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQUIRED BY SECTION 303.7.
12. FOR BALCONIES IN THE REAR, PER LADWP REAR ESTATE GROUP NOTES: SCAFFOLDING SHALL ONLY BE USED ON THE SIDES OF THE BALCONY AND/OR ATTACHED TO THE BUILDING FACE (SETBACK AT 17'). NO SCAFFOLDING MAY BE USED EAST OF BALCONIES. THIS BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM.
14. SOLID JOINT SHALL BE USED IN THE BATHTUB TRAP.
15. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SEC. 1205.2 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDED AN AVERAGE ILLUMINATION OF 10 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 IN. ABOVE THE FLOOR LEVEL. (1205.1, 1205.3)

16. THE MAXIMUM FLAME-SPREAD CLASS OF FINISH MATERIALS USED ON INTERIOR WALLS AND CEILINGS SHALL NOT EXCEED FOLLOWING:
 A. CLASS I, FLAME SPREAD 0-25, SMOKE DENSITY 150, FOR MATERIALS INSTALLED IN VERTICAL EXITS.
 B. CLASS II, FLAME SPREAD 26-75, SMOKE DENSITY 300, FOR MATERIALS INSTALLED IN HORIZONTAL EXITS.
 C. CLASS III, FLAME SPREAD 76-200, SMOKE DENSITY 450, FOR MATERIALS INSTALLED IN ANY OTHER LOCATION.
17. PROVIDE AN APPROVED STAIRWAY SIGN INDICATING FLOOR LEVEL, TERMINUS OF THE TOP AND BOTTOM OF THE STAIR AND THE IDENTIFICATION NUMBER OF THE STAIR. IT SHALL BE LOCATED APPX. 5 FT. ABOVE THE FLOOR LANDING AND BE READILY VISIBLE WHEN THE STAIR DOORS ARE IN AN OPEN OR CLOSED POSITION. (1022.9)
18. FLOOR FINISH SHALL BE SLIP RESISTANT.

KITCHEN NOTES:

19. ALL KITCHENS SHALL HAVE LIGHTING AND HOOD VENTILATION. SEE ELEC. & MECH. PLANS.
20. WASHER AND DRYER SHALL COMPLY WITH 1135A.
21. BATHROOM AND KITCHEN SINK BASE CABINET SHALL BE REMOVABLE.
22. KITCHEN SINK AND 30"-CLEAR WORK SPACE BASE CABINET SHALL BE REMOVABLE.
23. LOWER SHELVING SHALL BE AT 48" MAX.

BATHROOM NOTES:

24. SINK WITH BASE CABINET IS REMOVABLE.
25. 34" MAX HT FOR SINK.
26. TOILET ADAPTABLE GRAB BAR IS WALL HUNG.

- : 5 MINUTES MIN. AIR EXCHANGE FAN. SEE MECH. PLANS. BATHROOM EXHAUST FANS SHALL COMPLY WITH THE FOLLOWING:
 i. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
 ii. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM MUST BE CONTROLLED BY A HUMIDITY CONTROL. (CAL GREEN 4.506.1)
- ⊗ : DIRECTIONAL EXIT SIGN W/ EMERGENCY LIGHT W/ MIN. 6" HT. X 3/4" STROKE BLOCK LETTERS ON CONTRASTING BACKGROUND. MAX. SPACING BETWEEN SIGNS IS 100'.
- ⊙ : APPROVED LOW-LEVEL EXIT SIGN
- * : EGRESS WINDOW; SEE DETAIL AND NOTE ON A5.1.

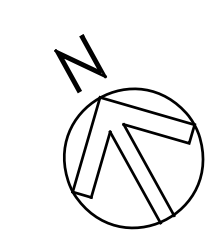
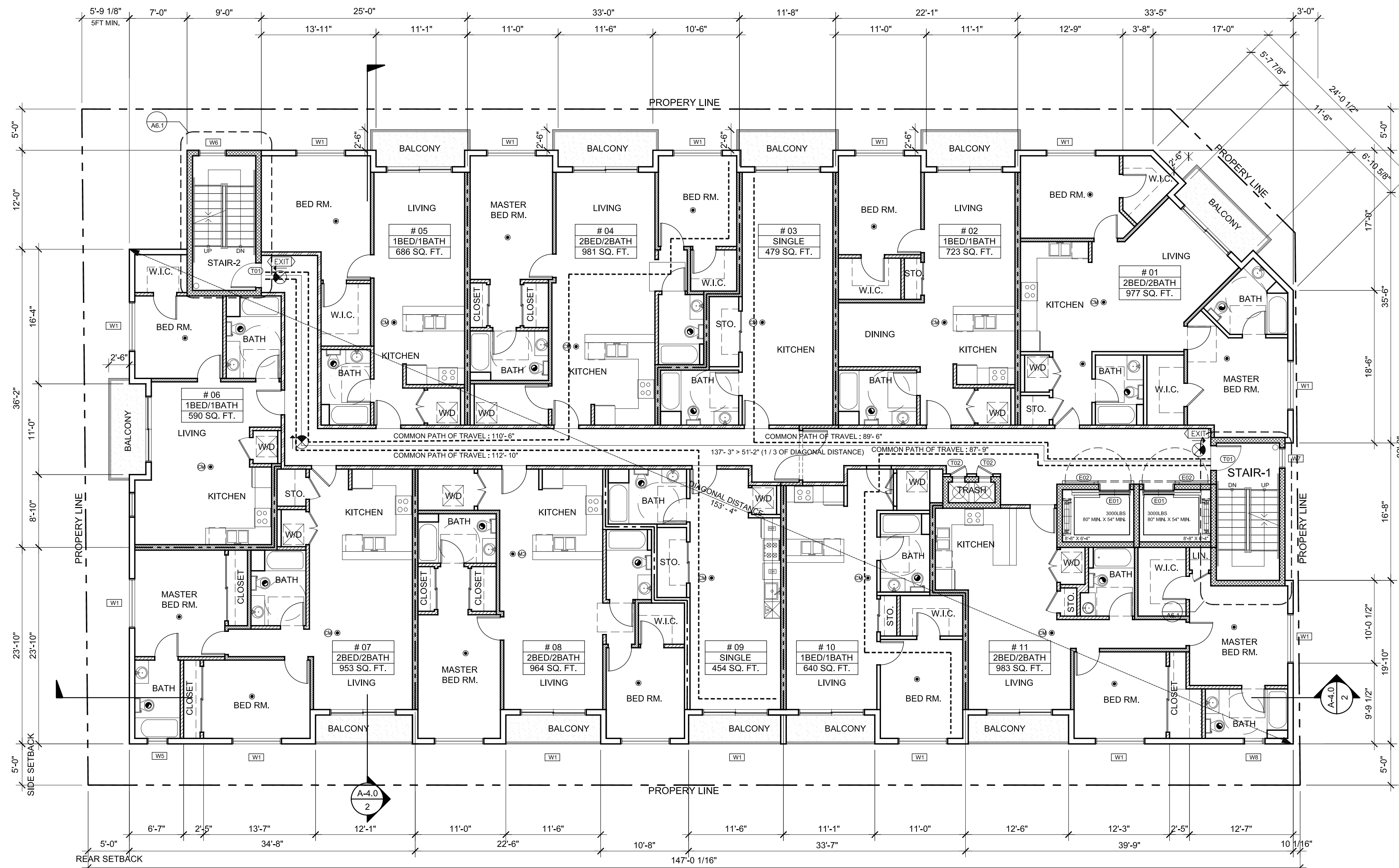
RESTRICTED UNITS LABELS

- ⚠ : FUTURE WALL-HUNG GRAB BAR LOCATION; BACKING 32" TO 38" ABOVE FLR. MIN. 6" NOMINAL IN HT. MIN. 40" IN LENGTH AT BACK OF TOILET. FOR SIDE OF TOILET, 12" MAX. FROM REAR WALL & TO EXTEND MIN. 26" IN FRONT OF TOILET FIXTURE. SEE 6.12,13/A8.7.
- ⚠ : FUTURE FOLDABLE GRAB BAR LOCATION. SEE 6.12,13/A8.7.
- ⚠ : 30" WORK COUNTER W/ REMOVABLE BASE CABINETS AND FINISHED FLOOR UNDERNEATH WITH WHEEL CHAIR KNEE/ TOE CLEAR SPACE.
- : HARDWIRED SMOKE DETECTORS W/ BATTERY BACKUP & LOW BATTERY SIGNAL. SEE ELEC. PLANS.
- Ⓜ : CARBON MONOXIDE ALARM

LEGEND only for 2nd floor

- ▬ : 1-HR. METAL STUD EXTERIOR WALL (NON-BEARING WALL)
- ▬ : 1-HR. METAL STUD PARTY WALL
- ▬ : 2-HR. SHAFT WALL 8" C.M.U. WALL
- ▬ : 1-HR. METAL STUD CORRIDOR WALL SOUND RATED.
- ▬ : 1-HR. X 4 STUDS INTERIOR WALL SOUND RATED.
- ▬ : 1-HR X 4 STUDS INTERIOR WALL NON-SOUND RATED.
- ▬ : CONC. WALL OR CONC. COLUMN SEE STRUCTURAL DWGS.
- ▬ : 2 X STUDS PLUMBING WALL

- M1 A7.5
- M2 A7.5
- 3A A7.0
- M3 A7.5
- M4 A7.5
- M5 A7.5
- M6 A7.5



3TH-7TH FLOOR PLAN

SCALE: 1/8"=1'-0"

1

KSK

3435 WILSHIRE BLVD., SUITE 2005
LOS ANGELES, CA 90010
TEL: (213) 386-5807 TEL: (213) 386-5853 FAX: (213) 386-4652

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PROJECT

A 7-STORY 55 UNIT RESIDENTIAL AND COMMERCIAL MIXED-USE BUILDING

2700 W. 7TH ST.
LOS ANGELES, CA 90057

REVISIONS

PROJECT NO.: 00_2019
DRAWN:

BLDG. SUBMITTAL DATE: 00.00.2019

DATE:

BID DATE:

SCALE: AS SHOWN ON PLAN

SHEET TITLE

3TH - 7TH FLOOR PLAN

SHEET NO.

A2.3

SOLAR ZONE AREA

☐ : SOLAR ZONE AREA
 TOTAL ROOF AREA: 4,693 SQ.FT.
 15% OF ROOF AREA: 704 SQ.FT.
 PROVIDE SOLAR ZONE AREA: 709 SQ.FT.

1. FOR RESIDENTIAL BUILDINGS, OTHER THAN ONE- AND TWO-FAMILY DWELLINGS, COMPLY WITH THE FOLLOWING:
 - a. DESIGNATE ON THE ROOF PLAN SOLAR ZONE AREA(S) WITH TOTAL AREA EQUAL TO OR GREATER THAN 15% OF THE BUILDING'S ROOF AREA.
 - b. THE SOLAR ZONE SHALL BE COMPRISED OF AREAS THAT HAVE NO DIMENSION LESS THAN 5 FEET AND EACH AREA SHALL NOT BE LESS THAN:
 - i. 80 SQ FT FOR ROOF AREAS OF 10,000 SQ FT OR LESS.
 - ii. 160 SQ FT FOR ROOF AREAS OVER 10,000 SQ FT.
 - c. THE SOLAR ZONE SHALL BE FREE OF OBSTRUCTIONS AND BE SETBACK AT LEAST TWO TIMES THE HEIGHT OF ANY OBSTRUCTION, INCLUDING BUT NOT LIMITED TO, VENTS, CHIMNEYS, AND EQUIPMENT.
 - d. FOR ROOF SLOPES < 2:12, A MINIMUM 4 FOOT CENTER LINE AXIS PATHWAY SHALL BE PROVIDED ON BOTH AXES OF THE ROOF.
 - e. FOR ROOF SLOPES < 2:12, A MINIMUM 4 FOOT STRAIGHT LINE PATHWAY SHALL BE PROVIDED FROM THE ACCESS PATH TO ROOF STANDPIPES, ROOF ACCESS HATCHES, SKYLIGHTS AND/OR VENTILATION HATCHES.
 - f. FOR ROOF SLOPES < 2:12, THE SOLAR ZONE SHALL ALLOW FOR A (6-FOOT) (4-FOOT) WIDE CLEAR PERIMETER ACCESS AROUND THE EDGES OF THE ROOF.
 - g. PLANS SHALL INDICATE A LOCATION FOR INVERTERS AND METERING EQUIPMENT AND A PATHWAY FOR ROUTING FROM THE SOLAR ZONE TO THE MAIN SERVICE PANEL.
 - h. PLANS SHALL INDICATE A PATHWAY FOR ROUTING OF PLUMBING FROM THE SOLAR ZONE TO THE WATER-HEATING SYSTEM. (4.211.4.ENERGY CODE ?10.10. LAFD REQUIREMENT NO.96)
2. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT.
3. SOLAR LOCATIONS TO BE APPROVED UNDER A SEPARATE PERMIT.
4. CLASS A ROOF.

MATERIAL SPECIFICATIONS FOR THE ROOFING PRODUCT									
CRRC PROD. ID	MANUFACTURER BRAND & MODEL	PRODUCT TYPE	COLOR	SOLAR REFLECTANCE		THERMAL EMITTANCE		SRI	
				INITIAL	3 YEAR	INITIAL	3 YEAR	INITIAL	3 YEAR
0676-0019A	RUBERODID@ENERGYCAP™ TORCH PLUS GRANULE FR	ASPHALTIC MEMBRANE	OFF-WHITE	0.74	0.64	0.90	0.89	92	77

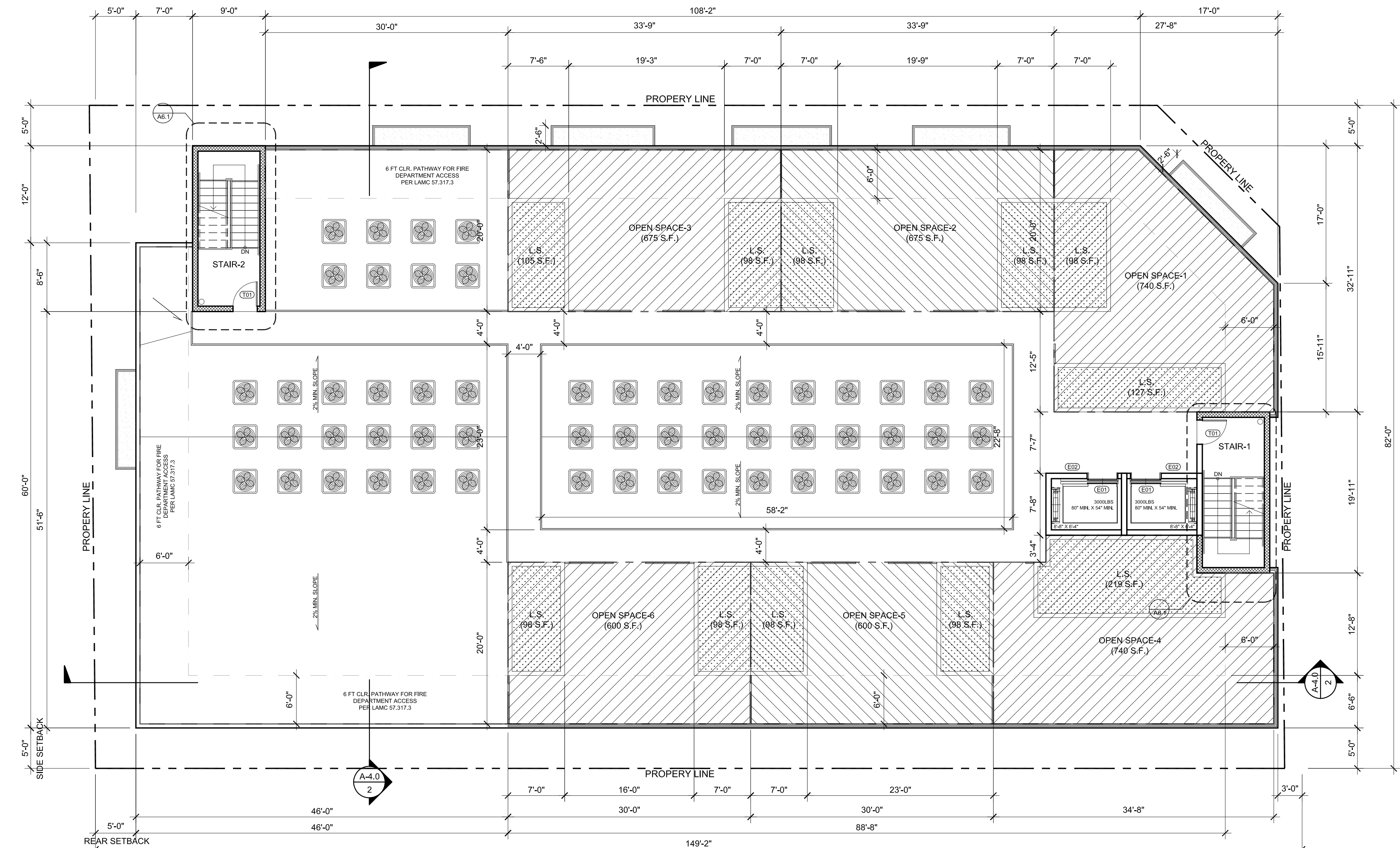
NOTE: SEE SHEET A0.5 FOR MORE SPECIFICATIONS

MATERIAL	MANUFACTURER	ICC-ES-REPORT NO.
DECK COATING	CROSSFIELD PRODUCTS CORP.	ICC-ES-REPORT NO. 1714
DAMP PROOFING MATERIAL	DECO PRODUCTS, INC.	ICC-ES-REPORT NO. 1417
ROOFING MATERIAL	BORAL ROOFING	ICC-ES-REPORT NO. 1783

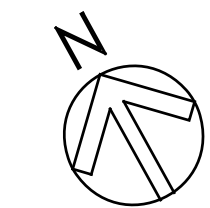
- △ : FUTURE WALL-HUNG GRAB BAR LOCATION; BACKING 32" TO 38" ABOVE FLR. MIN. 6" NOMINAL IN HT. MIN. 40" IN LENGTH AT BACK OF TOILET. FOR SIDE OF TOILET, 12" MAX. FROM REAR WALL & TO EXTEND MIN. 26" IN FRONT OF TOILET FIXTURE. SEE 6,12,13/A8.7.
- △ : FUTURE FOLDABLE GRAB BAR LOCATION. SEE 6,12,13/A8.7.
- △ : 15" BREAD BOARD
- △ : 30" WORK COUNTER W/ REMOVABLE BASE CABINETS AND FINISHED FLOOR UNDERNEATH
- : HARDWIRED SMOKE DETECTORS W/ BATTERY BACKUP & LOW BATTERY SIGNAL. SEE ELEC. PLANS.
- CM : CARBON MONOXIDE ALARM
- : 5 MINUTES MIN. AIR EXCHANGE FAN. SEE MECH. PLANS. BATHROOM EXHAUST FANS SHALL COMPLY WITH THE FOLLOWING:
 - i. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
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- ☉ : DIRECTIONAL EXIT SIGN W/ EMERGENCY LIGHT W/ MIN. 6" HT. X 3/4" STROKE BLOCK LETTERS ON CONTRASTING BACKGROUND. MAX. SPACING BETWEEN SIGNS IS 100'.
- ☉ : APPROVED LOW-LEVEL EXIT SIGN
- * : EGRESS WINDOW; SEE DETAIL AND NOTE ON A5.1.

LEGEND

- ☐ : 2-HR. X 4 STUDS EXTERIOR WALL NON-COMBUSTIBLE MATERIAL TYPE III-A CONSTRUCTION
- ☐ : PARTY WALL
- ☐ : 2-HR. SHAFT WALL SOUND RATED
- ☐ : 1-HR. CORRIDOR WALL SOUND RATED
- ☐ : 1-HR. X 4 STUDS INTERIOR WALL SOUND RATED.
- ☐ : 1-HR. X 4 STUDS INTERIOR WALL NON-SOUND RATED.



**TOTAL OPEN SPACE AREA:
4840 SQ.FT.**



ROOF PLAN

SCALE: 1/8"=1'-0" 1

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PROJECT

**A 7-STORY 55 UNIT RESIDENTIAL
AND COMMERCIAL MIXED-USE BUILDING**

2700 W. 7TH ST.
LOS ANGELES, CA 90057

REVISIONS

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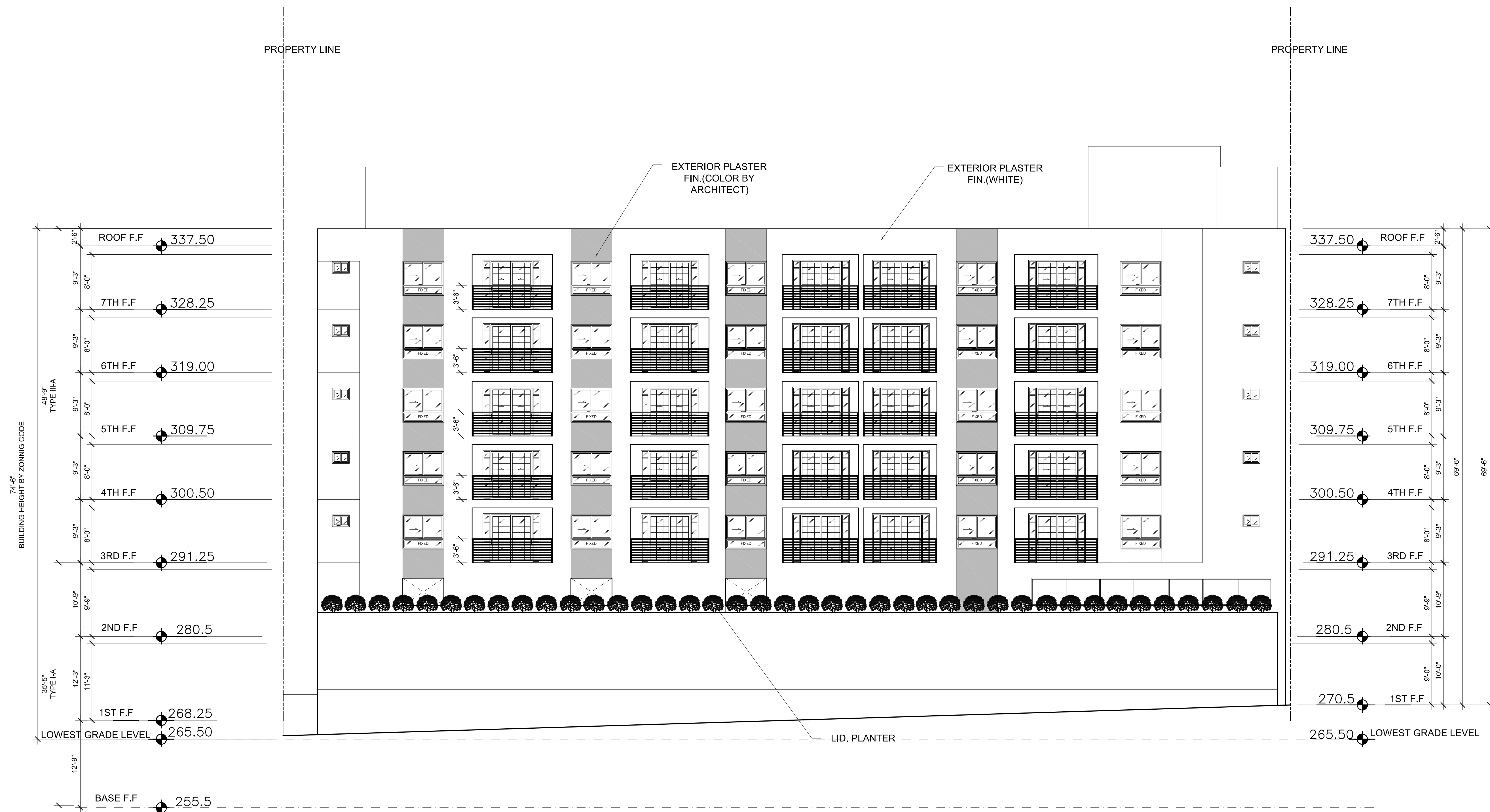
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SCALE: AS SHOWN ON PLAN
SHEET TITLE

ELEVATION

SHEET NO.

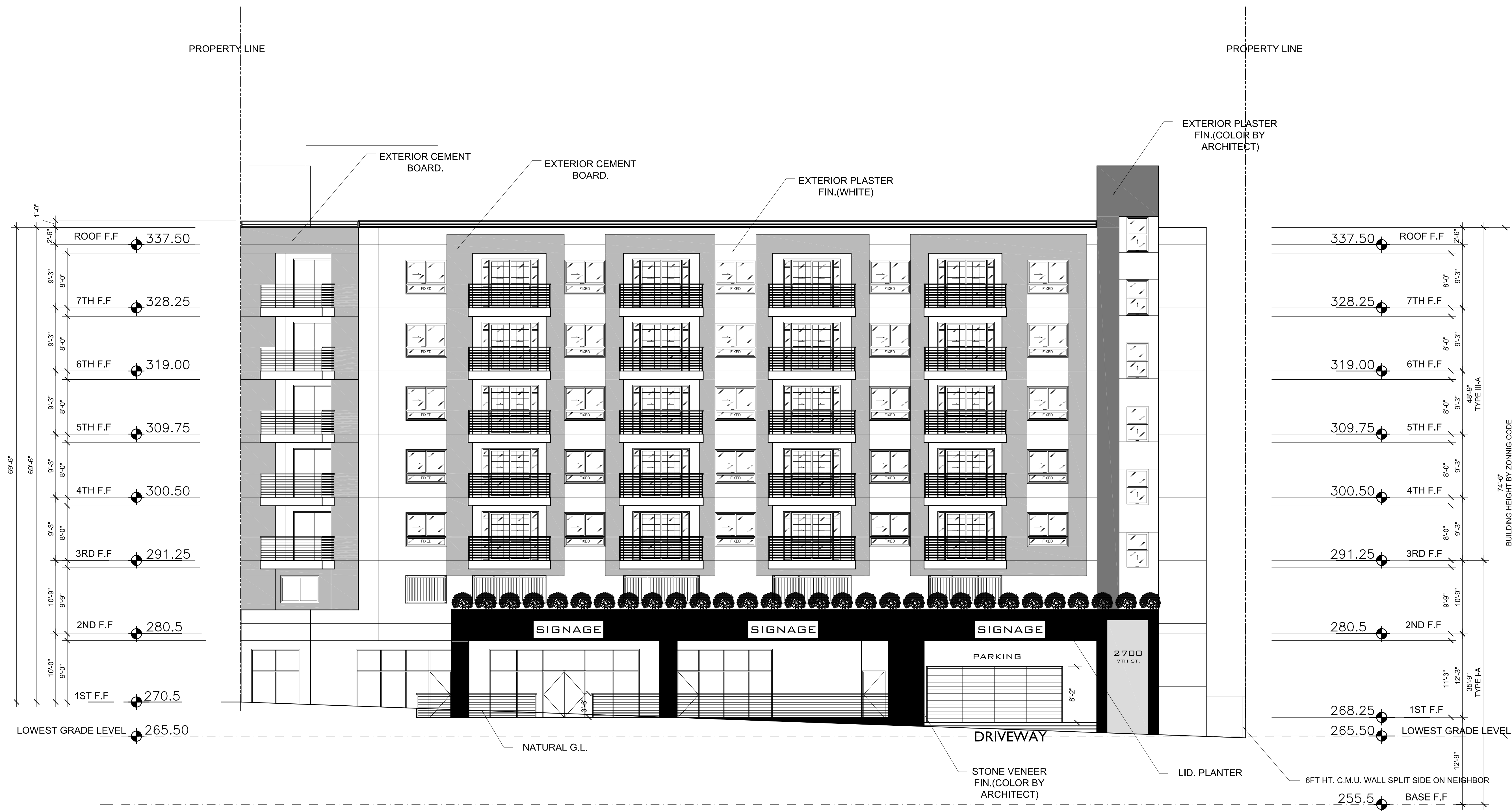
A3.1



SOUTH ELEVATION

SCALE: 1/8"=1'-0"

1



NORTH ELEVATION SCALE: 1/8"=1'-0" 1

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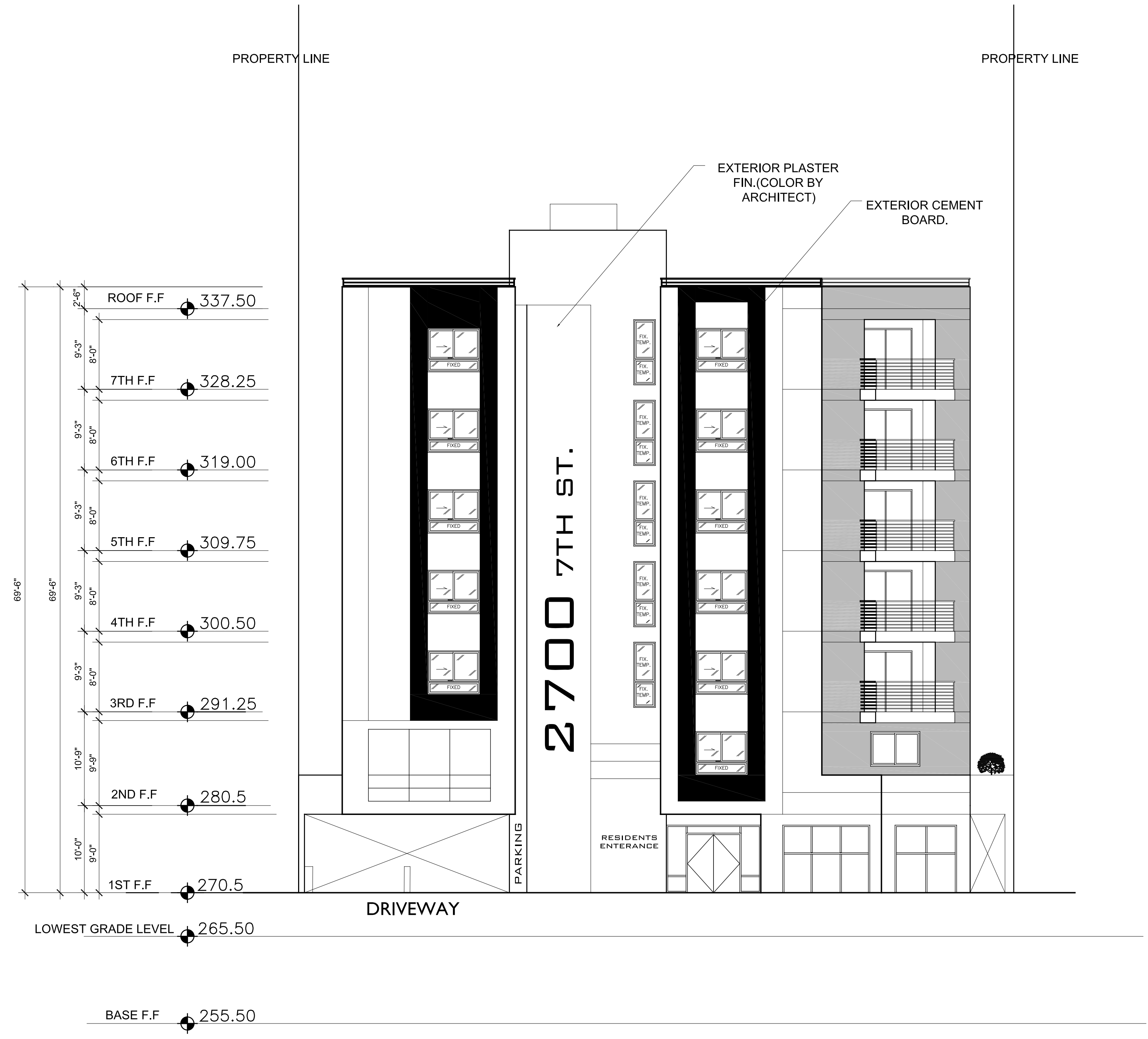
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 BLDG. SUBMITTAL DATE: 00.00.2019
 BID DATE: [Signature]

SCALE: AS SHOWN ON PLAN
 SHEET TITLE
ELEVATION
 SHEET NO.

A3.2



EAST ELEVATION SCALE: 1/8"=1'-0" 1

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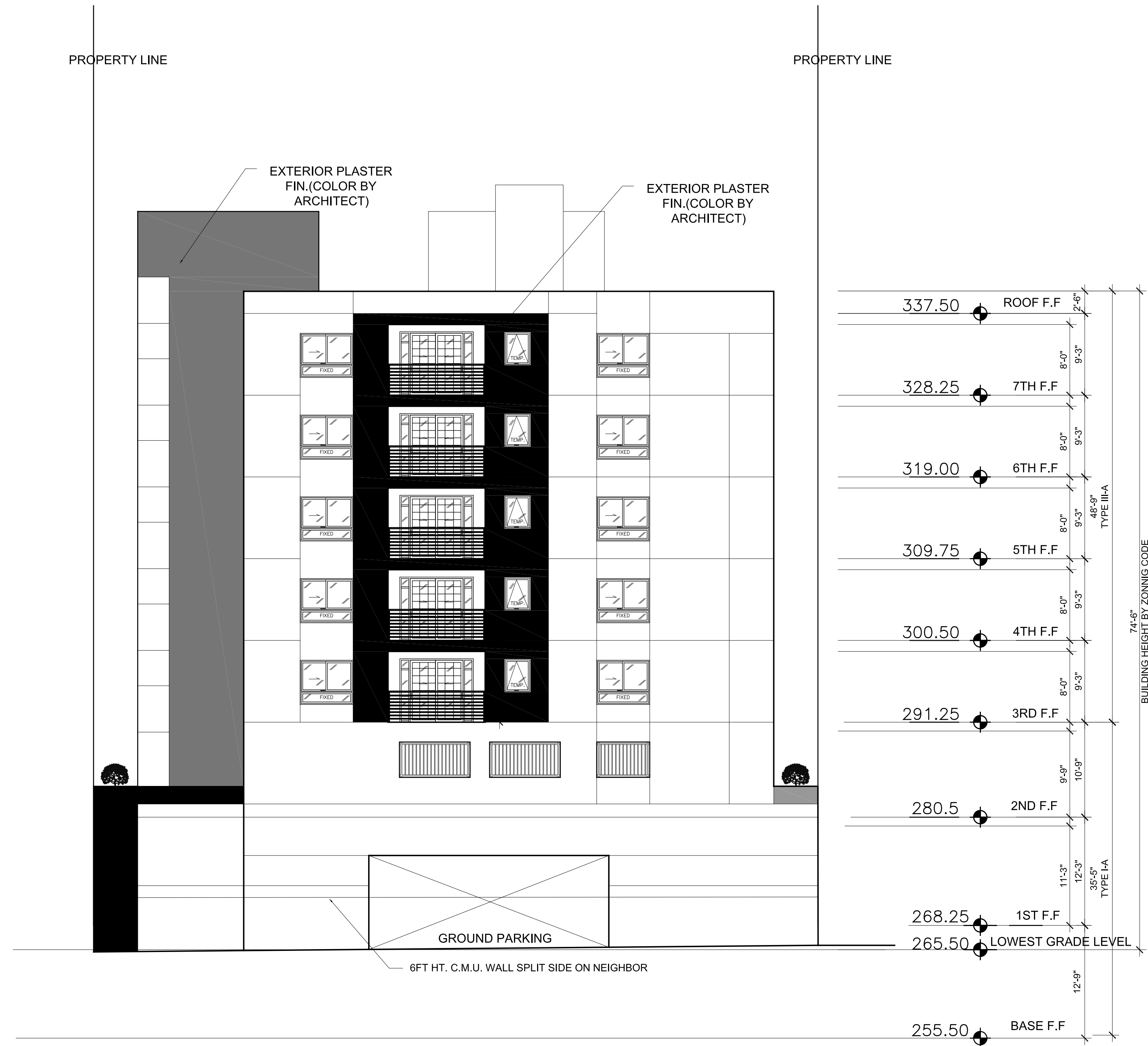
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 BID DATE:

SCALE: AS SHOWN ON PLAN
 SHEET TITLE
ELEVATION
 SHEET NO.

A3.3



WEST ELEVATION

SCALE: 1/8"=1'-0" 1

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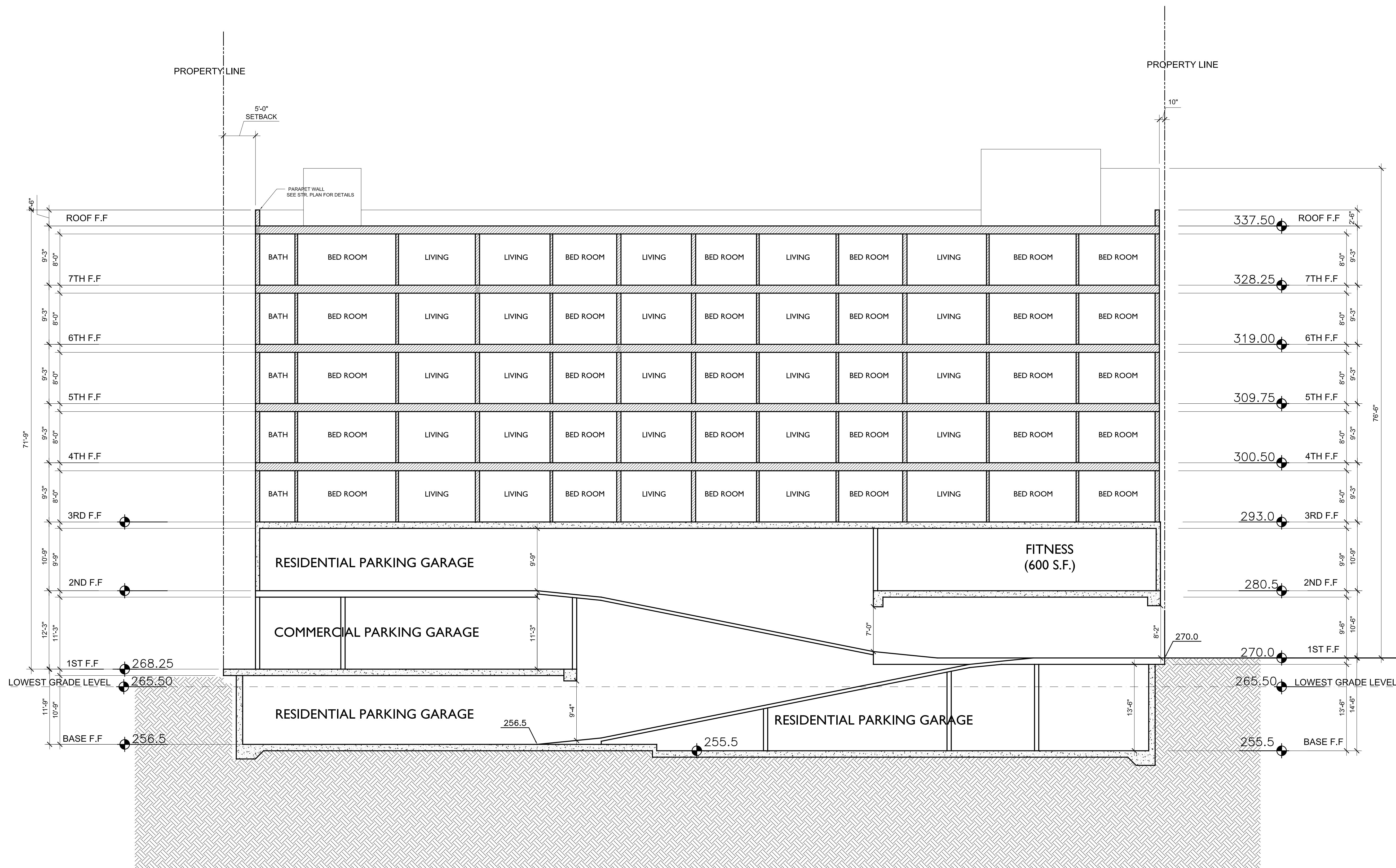
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SCALE: AS SHOWN ON PLAN
 SHEET TITLE
ELEVATION
 SHEET NO.

A3.4



SECTION 1 SCALE: 1/8"=1'-0" 1

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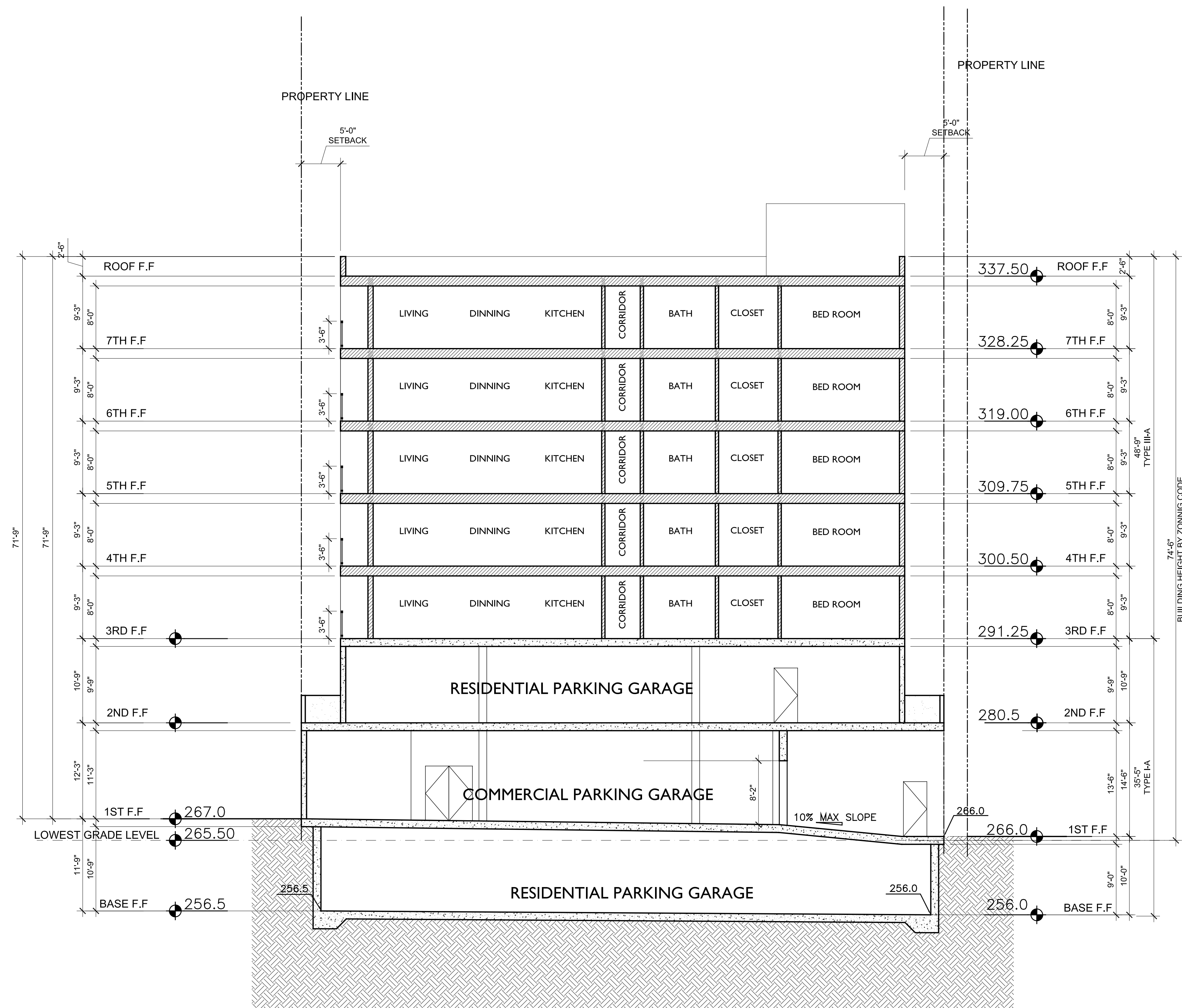
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SCALE: AS SHOWN ON PLAN
 SHEET TITLE
SECTION
 SHEET NO.

A4.1



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PROJECT

A 7-STORY 55 UNIT RESIDENTIAL
AND COMMERCIAL MIXED-USE BUILDING

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LOS ANGELES, CA 90057

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SHEET TITLE

SECTION, FLOOD VENT
LOCATION, DETAIL

SHEET NO.

A4.2