



City of Los Angeles Department of City Planning

7/3/2025 PARCEL PROFILE REPORT

PROPERTY ADDRESSES, ZIP CODES, RECENT ACTIVITY, CASE NUMBERS, Address/Legal Information, Jurisdictional Information, Permitting and Zoning Compliance Information, Planning and Zoning Information, General Plan Land Use, Hillside Area (Zoning Code), Specific Plan Area, Special Land Use / Zoning, Historic Preservation Review, Other Historic Designations, Mills Act Contract, CDO: Community Design Overlay, CPIO: Community Plan Imp. Overlay, CUGU: Clean Up-Green Up, HCR: Hillside Construction Regulation, NSO: Neighborhood Stabilization Overlay, POD: Pedestrian Oriented Districts

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at zimas.lacity.org (*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

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RBP: Restaurant Beverage Program Eligible Area, ASP: Alcohol Sales Program, RFA: Residential Floor Area District, RIO: River Implementation Overlay, SN: Sign District, AB 2334: Low Vehicle Travel Area, AB 2097: Within a half mile of a Major Transit Stop, Streetscape, Adaptive Reuse Incentive Area, Affordable Housing Linkage Fee, Residential Market Area, Non-Residential Market Area, Inclusionary Housing, Local Affordable Housing Incentive, Targeted Planting, Special Lot Line, Transit Oriented Communities (TOC), Mixed Income Incentive Programs, Transit Oriented Incentive Area (TOIA), Opportunity Corridors Incentive Area, Corridor Transition Incentive Area, TCAC Opportunity Area, High Quality Transit Corridor (within 1/2 mile), ED 1 Eligibility, RPA: Redevelopment Project Area, Central City Parking, Downtown Parking, Building Line, 500 Ft School Zone, 500 Ft Park Zone, Zanja System 1 Mile Buffer

Assessor Information, Assessor Parcel No. (APN), APN Area (Co. Public Works)*, Use Code, Assessed Land Val., Assessed Improvement Val., Last Owner Change, Last Sale Amount, Tax Rate Area, Deed Ref No. (City Clerk), Building 1, Year Built, Building Class, Number of Units, Number of Bedrooms, Number of Bathrooms, Building Square Footage, Building 2, Building 3

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Building 4, Building 5, Rent Stabilization Ordinance (RSO), Additional Information, Airport Hazard, Coastal Zone, Coastal Bluff Potential, Canyon Bluff Potential, Farmland, Urban Agriculture Incentive Zone, Very High Fire Hazard Severity Zone, Fire District No. 1, Flood Zone, Watercourse, Methane Hazard Site, High Wind Velocity Areas, Special Grading Area (BOE Basic Grid Map A-13372), Wells, Sea Level Rise Area, Oil Well Adjacency

Environmental, Santa Monica Mountains Zone, Biological Resource Potential, Mountain Lion Potential, Monarch Butterfly Potential, 300-Foot Habitat Buffer

Seismic Hazards, Active Fault Near-Source Zone, Nearest Fault (Distance in km), Nearest Fault (Name), Region, Fault Type, Slip Rate (mm/year), Slip Geometry, Slip Type, Slip Dip Width (km), Rupture Top, Rupture Bottom, Dip Angle (degrees), Maximum Magnitude, Alquist-Prilo Fault Zone, Landslide, Liquefaction, Preliminary Fault Rupture Study Area, Tsunami Hazard Area

Economic Development Areas, Business Improvement District, Hubzone, Jobs and Economic Development Incentive Zone (JEDI), Opportunity Zone, Promise Zone, State Enterprise Zone, Housing

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Rent Stabilization Ordinance (RSO), Ellis Act Property, Just Cause For Eviction Ordinance (JCO), Housing Crisis Act Replacement Review, Housing Element Sites, HE Replacement Required, SB 166 Units, Housing Use within Prior 5 Years, Public Safety, Bureau, Division / Station, Reporting District, Fire Information, Bureau, Battalion, District / Fire Station, Red Flag Restricted Parking

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CASE SUMMARIES Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number: GPC-1986-255, Required Action(s): Data Not Available, Project Descriptions(s): CONTINUATION OF CPC-86-255. SEE GENERAL COMMENTS FOR CONTINUATION. Case Number: ZA-2012-454-CU-CUB-ZV, Required Action(s): CU-CONDITIONAL USE BEVERAGE-ALCOHOL ZV-ZONE VARIANCE, Project Descriptions(s): PURSUANT TO SECTION 12.24-W.1, A CUB FOR THE SALE AND CONSUMPTION OF BEER AND WINE FOR ON-SITE CONSUMPTION IN CONJUNCTION WITH A PROPOSED RESTAURANT WITH A NEW COMMERCIAL CORNER DEVELOPMENT; PURSUANT TO SECTION 12.24-W.27, A CU FOR THE CONSTRUCTION OF A NEW 5,703 SQ FT COMMERCIAL CORNER DEVELOPMENT HAVING 2 USES, A BANK & RESTAURANT DEVIATING FROM THE HOURS OF OPERATION, BICYCLE PARKING, RECYCLING AND LANDSCAPING; AND A ZV TO ALLOW 15 OFF-SITE PARKING SPACES IN EXCESS OF THE CODE IN AN APPROVED VACATED AREA APPROVED UNDER COUNCIL FILE 08-3343. Case Number: ENV-2012-455-MND, Required Action(s): MND-MITIGATED NEGATIVE DECLARATION, Project Descriptions(s): PURSUANT TO SECTION 12.24-W.1, A CUB FOR THE SALE AND CONSUMPTION OF BEER AND WINE FOR ON-SITE CONSUMPTION IN CONJUNCTION WITH A PROPOSED RESTAURANT WITH A NEW COMMERCIAL CORNER DEVELOPMENT; PURSUANT TO SECTION 12.24-W.27, A CU FOR THE CONSTRUCTION OF A NEW 5,703 SQ FT COMMERCIAL CORNER DEVELOPMENT HAVING 2 USES, A BANK & RESTAURANT DEVIATING FROM THE HOURS OF OPERATION, BICYCLE PARKING, RECYCLING AND LANDSCAPING; AND A ZV TO ALLOW 15 OFF-SITE PARKING SPACES IN EXCESS OF THE CODE IN AN APPROVED VACATED AREA APPROVED UNDER COUNCIL FILE 08-3343. Case Number: ENV-2003-7281-MND, Required Action(s): MND-MITIGATED NEGATIVE DECLARATION, Project Descriptions(s): Silver Lake-Echo Park Community Plan Update

DATA NOT AVAILABLE CPC-8125, ORD-165167-SA3935, ORD-129279, ORD-111561, ZAI-1801

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ZIMAS PUBLIC Generalized Zoning 07/03/2025 City of Los Angeles Department of City Planning



Address: 1340 N GLENDALE BLVD, Tract: PACIFIC ELECTRIC TRACT NO. 2, Zoning: C2-1L, APN: 5419032031, Block: None, General Plan: Community Commercial, Lot: 53, Arb: None, PIN #: 141A209 393

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Kevin Tsai Architecture 1439 W Jefferson Blvd Los Angeles CA 90007 T. 310.486.9328 www.kevin-tsai.com

architects stamp

consultant

KEY PLAN:

All designs, ideas, arrangements and plans indicated by these drawings and specifications are the property and copyright of the ARCHITECT and shall neither be used nor any other work not be used by any other person for any use whatsoever without written permission. Written dimensions shall take precedence over scaled dimensions and shall be verified at the job site. Any dimensional discrepancy shall be brought to the attention of the ARCHITECT prior to the commencement of work.

Table with columns: #, DATE, ISSUE DESCRIPTION. Row 01: 11/17/2025, FEASIBILITY STUDY

ENTITLEMENT NOT FOR CONSTRUCTION

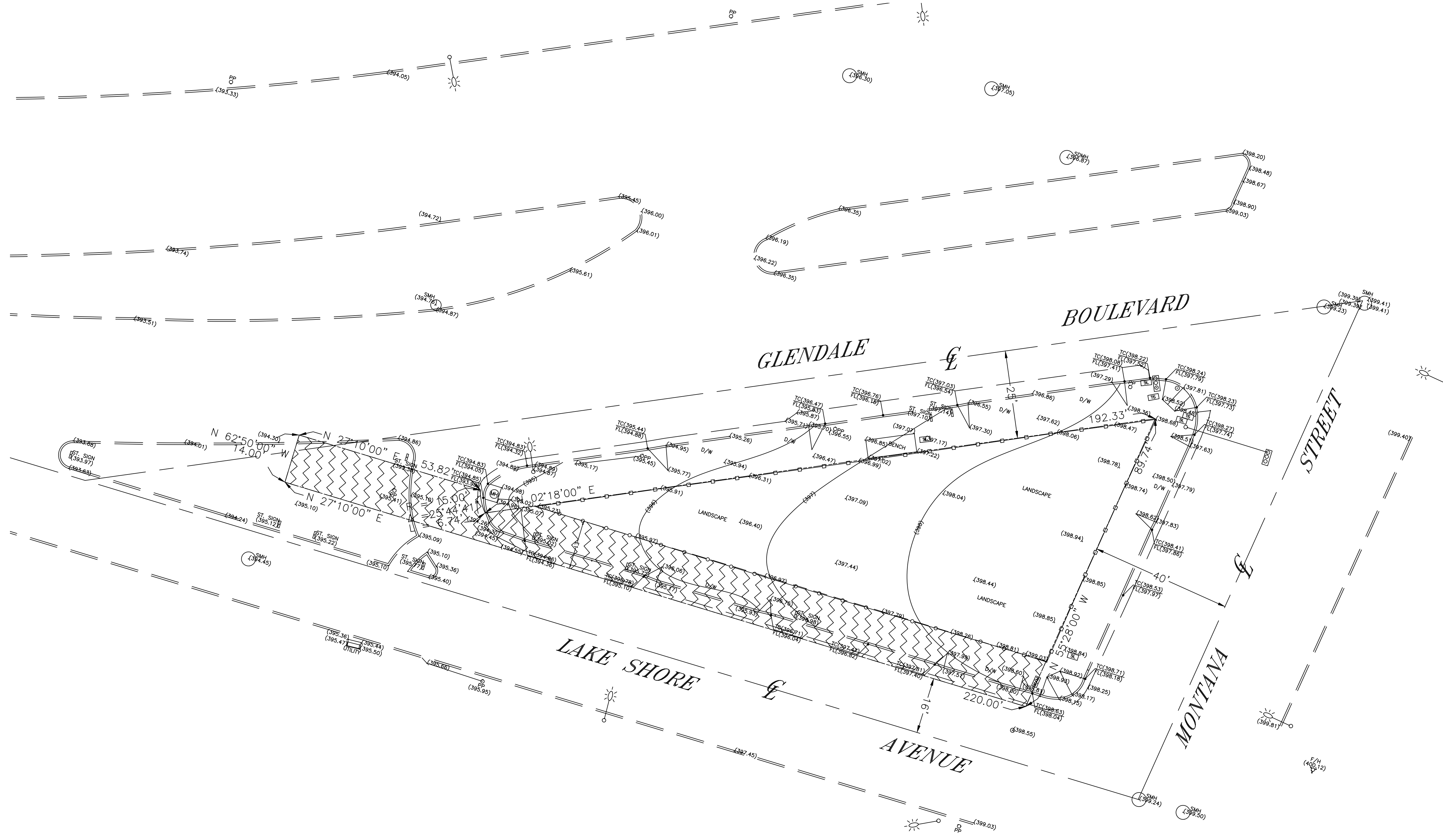
PROJECT TITLE: 1340 GLENDALE

1340 N GLENDALE BLVD, LOS ANGELES, CA 90026, PIC/PM: DRAWN BY: JOB NO: DRAWING TITLE: ZIMAS PARCEL REPORT

SHEET:

G003

TOPOGRAPHIC MAP



ABBREVIATIONS/LEGEND:

- CATV : CABLE T.V. PULLBOX
- C/B : CATCH BASIN
- CBW : CONC. BLOCK WALL
- C&G : CURB AND GUTTER
- CF : CHAIN LINK FENCE
- D/W : DRIVEWAY
- D/A : DRIVEWAY APPRON
- EX : EXISTING
- FF : FINISH FLOOR ELEVATION
- FS : FINISHED SURFACE ELEVATION
- FL : FLOW LINE ELEVATION
- GM : GAS METER
- IF : IRON FENCE
- HP : HIGH POINT
- PP : POWER POLE
- P/L : PROPERTY LINE
- SCO : SEWER CLEAN OUT
- SMH : SEWWE MANHOLE
- S/W : SIDEWALK
- S/D : STORM DRAIN
- TC : TOP OF CURB
- RW : RETAINING WALL
- W/M : WATER METER
- W/W : WALKWAY
- WF : WOOD FENCE
- WIF : WROUGHT IRON FENCE

LEGEND:

- : STORM DRAIN MANHOLE
- : SEWER MANHOLE
- : WATER VALVE
- : FDC / FIRE DEPT. CONNECTION
- : FIRE HYDRANT
- : EDISION PULL BOX
- : STREET LIGHT PULL BOX
- : TRAFFIC SIGNAL PULL BOX
- : UTILITY PULL BOX
- : TV CABLE PULL BOX
- : HIGH VOLTAGE BOX
- : TELEPHONE PULL BOX
- : SEPTIC TANK
- (532.00) : EXISTING ELEVATION 532.00'
- (532)-- : EXISTING CONTOUR LINE
- W--W-- : WATER LINE
- S--S-- : SEWER LINE
- : STREET LIGHT
- : WF/ WOOD FENCE OR IF/ IRON FENCE
- : CF/ CHAIN LINK FENCE
- : EXISTING TREE
- : CONC. BLOCK WALL/ RETAINING WALL
- : WOOD POST
- : IRON POST
- : DRAIN HOLE
- : VENT

SURVEYOR'S NOTES:

- ALL INFORMATION SHOWN ON THE DRAWINGS IS GIVEN AS THE BEST PRESENT KNOWLEDGE AND PERFORMED WITHIN GENERALLY ACCEPTED ENGINEERING PRACTICE BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE ENGINEER SO THAT THE PROPER REVISIONS MAY BE MADE.
- ESTABLISHMENT OF CONTOUR: CONTOURING IS THE GRAPHICAL REPRESENTATION OF CONSTANT ELEVATION LINES THAT ARE INTERPOLATED OR EXTRAPOLATED BETWEEN ACTUAL FIELD MEASURED ELEVATIONS OR MAP ELEVATIONS, AND SHOULD NOT BE INTERPRETED AS PRECISE GROUND CONDITIONS, ONLY AN INFINITE NUMBER OF FIELD MEASUREMENTS WOULD REPRESENT SUCH PRECISE CONDITIONS, WHICH OBVIOUSLY ARE NOT POSSIBLE. THE NUMBER OF SUCH FIELD MEASUREMENTS ARE THEREFORE LIMITED TO THE SCOPE AND INTENT OF THE RESULTING MAP.
- THE BEARINGS/DIMENSIONS OF THE MAP IS PREPARED BASED ON THE RECORD DATA.
- THE SURVEY IS PREPARED FOR ARCHITECTURAL/LANDSCAPING PURPOSE.
- BLUE LINE STREAMS ARE NOT SHOWN ON THIS MAP AND SHALL BE EXAMED BY A RELATED PROFESSIONAL.
- ARBORIST SHOULD BE CONSULTED TO DOCUMENT ALL PROTECTED TREE SPECIES ON-SITE AS THE SURVEY SHOWN HERE ON MAY NOT REFLECT ALL OF THEM
- EASEMENTS ARE PLOTTED PER PRELIMINARY TITLE REPORT ORDER NO. 23-157287 (POLICY TYPE: LOAN POLICY), DATED 07-28-2023.

LEGAL DESCRIPTION:

LOT 53 AND THAT PORTION OF LAKE SHORE BOULEVARD OF THE PACIFIC TRACT NO. 2, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 9 PAGE 97 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 5419-032-031

PROPERTY SIZE: 8,749.20 S.F. (GROSS)
5,704.91 S.F. (NET)

EASEMENT NOTES:

E1 EASEMENT FOR POWER DISTRIBUTION AND RIGHTS INCIDENTAL PURPOSES PER INST. NO. 538856, RECORDED MAY 23, 2014, OF OFFICIAL RECORDS.

BENCHMARK:

CITY B.M. NO. 12-23770
WIRE SPK IN E CURB GLENDALE BLVD 5FT N OF BC RETURN NORTH CORNER LAKE SHORE AVENUE.

ELEVATION: 394.888' (NAVD 1988)

BASIS OF BEARING:

CENTERLINE OF LAKE SHORE AVE. N27°10'00"E
PER PACIFIC ELECTRIC TRACT NO.2, M.B. 9-97

RELEASED

REVISIONS

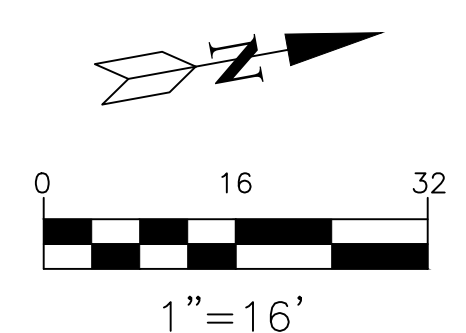
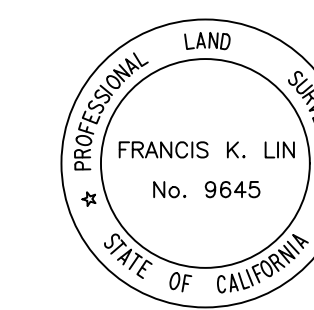
PROJECT LOCATION:

1340 Glendale Boulevard,
Los Angeles, CA 90026

DRAWN: JS
CHECKED: JY/ML
DATE: 09-10-2023
JOB NO.: 23-125-005
SCALE: 1"=16'
FILE NAME: Glendale 1340 Topo.dwg

T-1

SHEET 1 OF 1 SHT.



architects stamp

consultant

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DATE ISSUE DESCRIPTION

01 11/17/2025 FEASIBILITY STUDY

ENTITLEMENT
NOT FOR CONSTRUCTION

PROJECT TITLE:
1340 GLENDALE

1340 N GLENDALE BLVD,
LOS ANGELES, CA 90026

PIC/PM:

DRAWN BY: AA

JOB NO:

DRAWING TITLE:
BUILDING SECTION

SHEET:

A400

PROPERTY LINE

PROPERTY LINE

T.O. ELV BLK HEAD
+90'-1" (485.28)

T.O. PARAPET
+77'-2" (472.36)

T.O. ROOF
+73'-2" (468.36)

6TH FLOOR
+62'-8" (457.86)

5TH FLOOR
+52'-9" (447.95)

4TH FLOOR
+42'-10" (438.03)

3RD FLOOR
+32'-11" (428.11)

2ND FLOOR
+23'-00" (418.20)

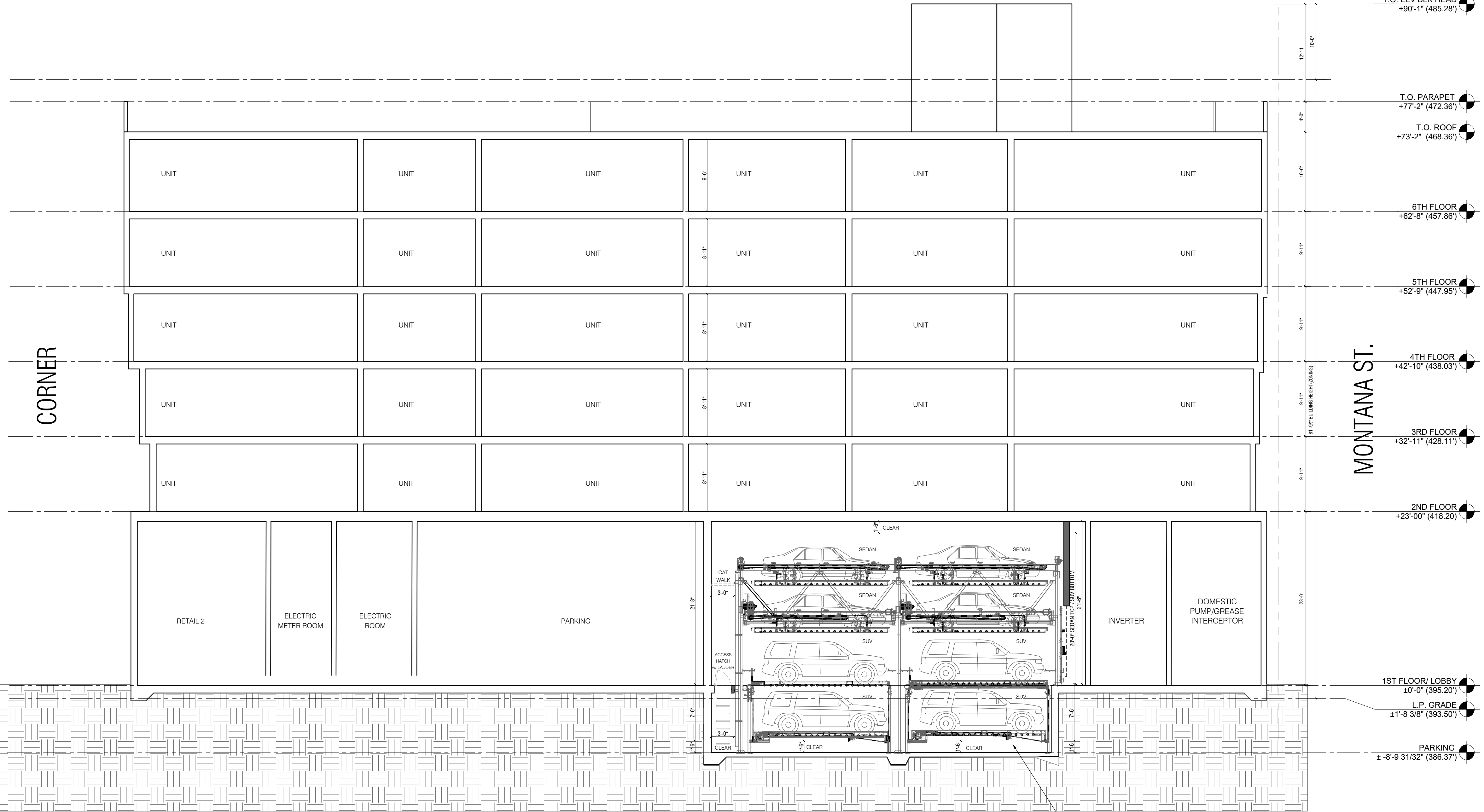
1ST FLOOR/ LOBBY
±0'-0" (395.20)

L.P. GRADE
±1'-8 3/8" (393.50)

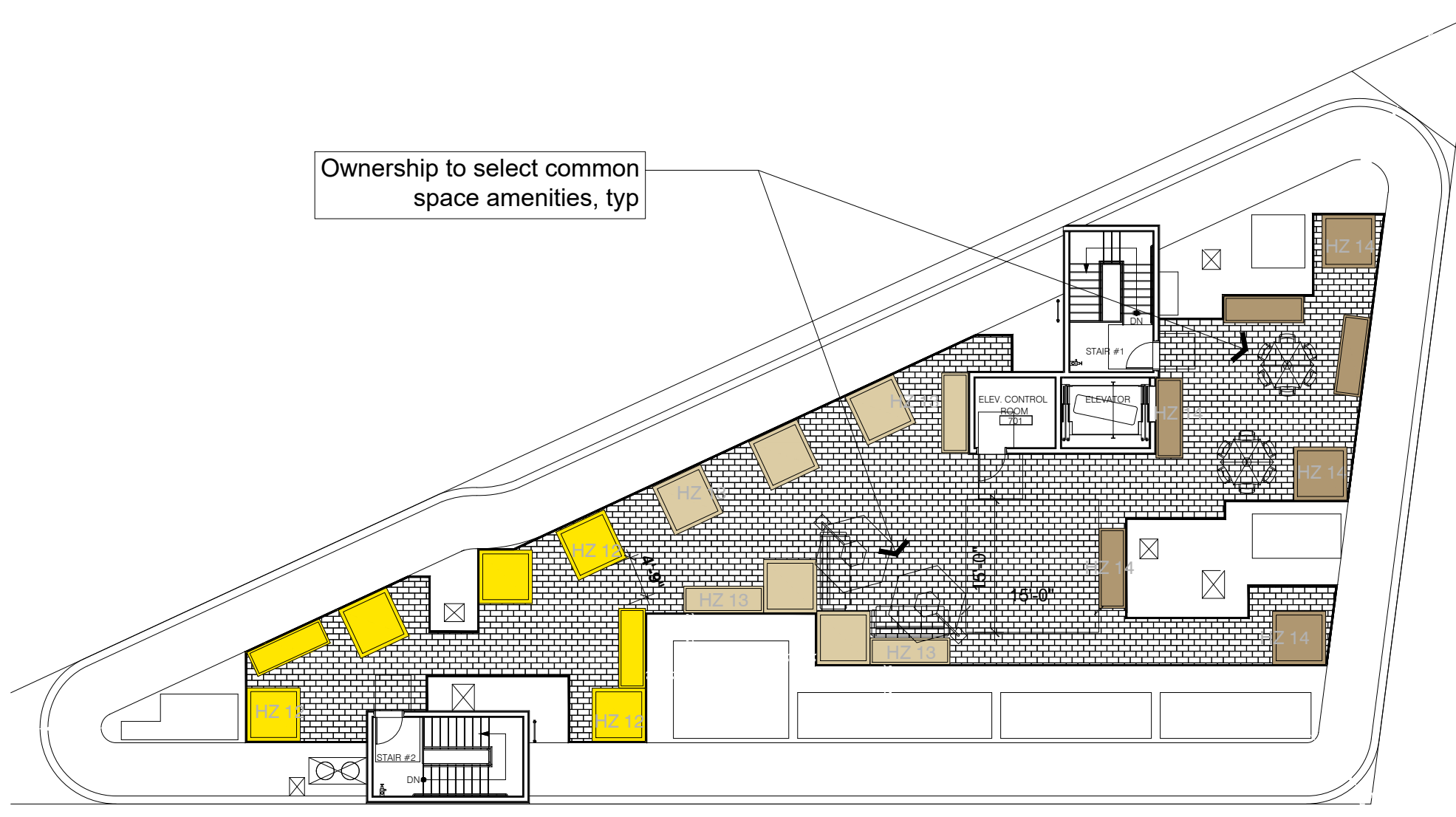
PARKING
±-8'-9 31/32" (386.37)

CORNER

MONTANA ST.



UNDER SEPERATE PERMIT

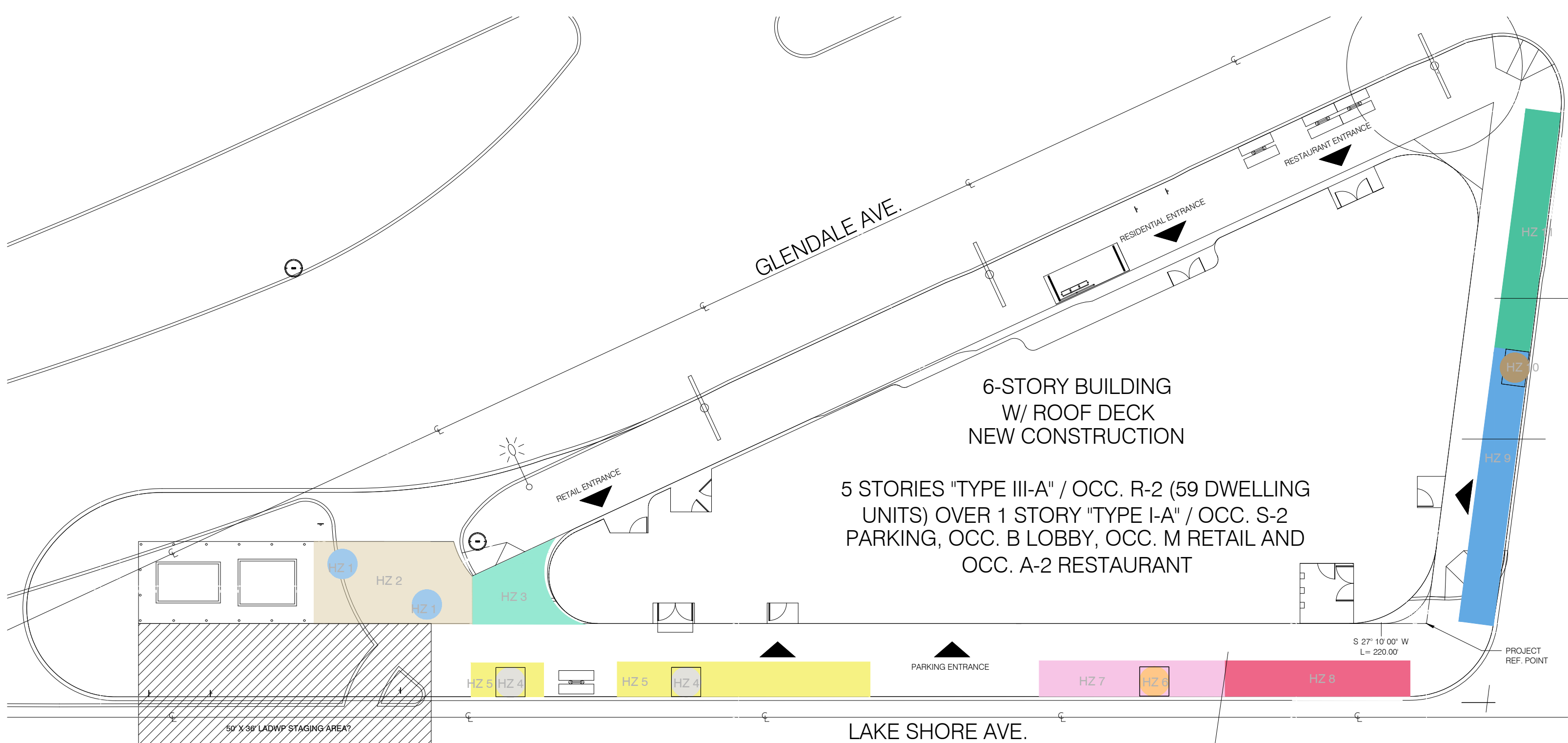


REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION	QTY
32 Exterior Improvements		
32-01	Old Town Fiberglass Custom Rectangle Planter RL1083624, 211# color TBD	9
32-02	Old Town Fiberglass Standard Square Planter SL7242, 268# color TBD	13

ROOF PLANTER WEIGHTS						
PLANTER	LB.*	CF	SOIL LB./CF*	LB./PLNTR	QTY	CUM. LB.
32-01	211	54	70	3,991	9	35,919
32-02	268	126	70	9,088	13	118,144
TOTAL LB.:					154,063	

*per manufacturer



HYDROZONES

SYMBOL	NOTES
Blue	HZ 1 Trees
Brown	HZ 2 Shrubs
Green	HZ 3 Shrubs
Grey	HZ 4 Trees
Yellow	HZ 5 Groundcover
Orange	HZ 6 Tree
Pink	HZ 7 Groundcover
Red	HZ 8 Groundcover
Light Blue	HZ 9 Groundcover
Dark Brown	HZ 10 Tree
Light Green	HZ 11 Groundcover
Yellow-Green	HZ 12 Grasses, shrubs, succulents, trees
Light Brown	HZ 13 Grasses, shrubs, succulents, trees, vine
Dark Brown	HZ 14 Grasses, shrubs, succulents, trees, vine

LANDSCAPE TABULATIONS		
COMMON OPEN SPACE PROVIDED	SF	REQ. 25% SF
Roof Deck	2,772	693
TOTAL:	2,772	693
LANDSCAPE AREA PROVIDED		REQ. MET?
Roof Deck	711	Yes
TOTAL:	711 SF	
LANDSCAPE TO OPEN SPACE RATIO:	25.6 %	

CITY POINTS			
Potential Landscape Area (Lot Area minus Building Footprint)			
LOT AREA:	8,738 SF		
BUILDING FOOTPRINT:	7,708 SF		
TOTAL POTENTIAL LANDSCAPE AREA:	1,030 SF		
Open Space Required			
UNIT S W/2 HABITABLE ROOMS @100 SF:	53	5,300 SF	
UNIT S W/2 HABITABLE ROOMS @125 SF:	0	0 SF	
UNIT S W/3 HABITABLE ROOMS @175 SF:	6	1,050 SF	
TOTAL:	59	6,350 SF	
Exterior Open Space Provided			
PRIVATE OPEN SPACE (50 SF/UNIT)	0	0 SF	
ROOF GARDEN		2,782 SF	
TOTAL:		2,782 SF	
Required Guidelines O points per lot area: 15			
DETAIL OF POINTS PROVIDED			
Soil amended w Class I TOPGRO compost	5	1	5
Parkway planting -- no lawn	3/50 SF	25	75
Continuously planted parkway	1/LF of parkway	216	216
Street tree planted > 15 gal. (per tree)	24"-box = 1; 36"-box = 2; > 36"-box = 4	4	4
50+ SF unpaved planted parkway per street tree	2/tree	4	8
Main pedestrian entry is ADA accessible	5	1	5
Vines on walls/fences (bonus points)	5	1	5
GUIDELINES O PROVIDED POINTS TOTAL:			
318			
Required Guidelines AA points per lot area: 200			
Landscape meter (25% of required points)	25%	1	50
Sensor for rain	1	1	1
Automatic irrigation controller	5	1	5
Drip irrigation	5/circuit	14	70
No lawn	10	1	10
Plants requiring monthly summer water after 3-years established	2/pt	152	304
GUIDELINES AA PROVIDED POINTS TOTAL:			
440			

MWELO CALCULATIONS									
Maximum Applied Water Allowance (MAWA)									
MAWA = (Eto) x 0.62 x [0.55 x LA + 1 x SLA]									
REGULAR LANDSCAPE AREA (RLA)	ETAF	SPECIAL LANDSCAPE AREA (SLA)	MAWA	ETWU					
50.0	0.55	0.00	42,181.70 GAL/YR	25,578.90	GAL/YR				
Hydrozone Table for Calculating Estimate Total Water Use (ETWU)									
EWU = ETAF x HA x ETo x 0.62									
Zone	Planting Description	Water Needs	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Hydrozone Area (HA)	Landscape %	Estimated Water Use (EWU)
REGULAR LANDSCAPE AREA (RLA)									
1	TR	Low	0.3	Drip	0.75	0.40	120	5%	1,488.00
2	SH	Low	0.3	Drip	0.81	0.37	248	10%	2,847.41
3	SH	Low	0.3	Drip	0.81	0.37	153	6%	1,756.67
4	TR	Low	0.3	Drip	0.81	0.37	40	2%	459.26
5	GC	Low	0.3	Drip	0.81	0.37	288	12%	3,306.67
6	TR	Low	0.3	Drip	0.81	0.37	20	1%	229.63
7	GC	Low	0.3	Drip	0.81	0.37	173	7%	1,986.30
8	GC	Low	0.3	Drip	0.81	0.37	193	8%	2,215.93
9	GC	Low	0.3	Drip	0.81	0.37	262	11%	3,008.15
10	TR	Low	0.3	Drip	0.81	0.37	20	1%	4.59
11	GC	Low	0.3	Drip	0.81	0.37	246	10%	112.98
12	GR/SU/TR/VN	Low	0.3	Drip	0.81	0.37	234	9%	2,686.67
13	GR/SH/SU/TR	Low	0.3	Drip	0.81	0.37	261	11%	2,996.67
14	GR/SH/SU/TR/VN	Low	0.3	Drip	0.81	0.37	216	9%	2,480.00
RLA SUM							2,474	100%	25,578.90
SPECIAL LANDSCAPE AREA (SLA)									
SLA 1						1.00			0.00
SLA 2						1.00			0.00
SLA 3						1.00			0.00
SUM							0		
ETWU TOTAL									25,578.90

GC = Groundcover, GR = Grasses, LA = Lawn, SH = Shrubs, SU = Succulents, TR = Trees, VN = Vines

LEGAL DESCRIPTION
 PIN: 141A209 393
 APN: 5419032031
 Tract: PACIFIC ELECTRIC
 TRACT NO. 2
 Map Ref: M B 9-97
 Block: None; Lot: 53

Kevin Tsai Architecture
 1439 W Jefferson Blvd Los Angeles CA 90007
 T. 310.486.9328 www.kevin-tsai.com

architects stamp

HARMONY GARDENS
 LANDSCAPE ARCHITECTURE
 818-505-9783 harmonygardens.net

consultant

KEY PLAN:

GENERAL NOTES:

- ALL LANDSCAPE AREAS WILL BE IRRIGATED W/ A HIGH-EFFICIENCY IRRIGATION W/ SMART IRRIGATION CONTROLS.
- ALL PLANTING AND IRRIGATION SHALL COMPLY WITH CITY OF LOS ANGELES REQUIREMENTS.
- IRRIGATION DESIGN WILL INCORPORATE EPA WATERSENSE SPECIFICATIONS.
- STREET TREES SHALL BE SELECTED AND INSTALLED PER CITY OF LOS ANGELES DEPARTMENT OF URBAN FORESTRY.
- ALL NEW PLANTED AREAS TO BE HEAVILY MULCHED FOR WATER CONSERVATION.
- THERE ARE NO SIGNIFICANT TREES TO BE REMOVED ON THE SITE.
- THERE ARE NO PROTECTED TREES ON THE SITE.

WATER CONSERVATION STATEMENT:

ALL LANDSCAPE WILL BE SPECIFIED, PLANTED, AND IRRIGATED ACCORDING TO XERISCAPE DESIGN PRINCIPLES, WHICH INCLUDE THE PREDOMINANT USE OF DROUGHT-TOLERANT PLANT MATERIALS; THE PRACTICE OF HYDROZONING OR GROUPING PLANTS WITH SIMILAR WATER REQUIREMENTS; MINIMIZING TURF AREAS; AND THE EFFICIENT APPLICATION OF WATER BY USING MATCH- PRECIPITATION HEADS, DRIPLINE, SEPARATE VALVES FOR TURF AND GROUNDCOVER AREAS, AND RAIN SHUT-OFF DEVICES.

THIS PROJECT WILL COMPLY WITH THE STATE WATER CONSERVATION ORDINANCE, EFFECTIVE JANUARY 1, 2010.

NOTES:

- Refer to LID plans for LID and drainage systems.
- If plant availability requires changes to the plant palette, please contact landscape architect for substitutions.
- For soils less than 6% organic matter in the top 6 inches of soil, compost at a rate of a minimum of 4 cubic yards per 1,000 square feet of permeable area shall be incorporated to a depth of 6 inches into the soil.
- A Certificate of Completion shall be filled out and certified by either the signer of the landscape plans, the signer of the irrigation plans, or the licensed landscape contractor for the project.

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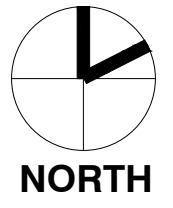
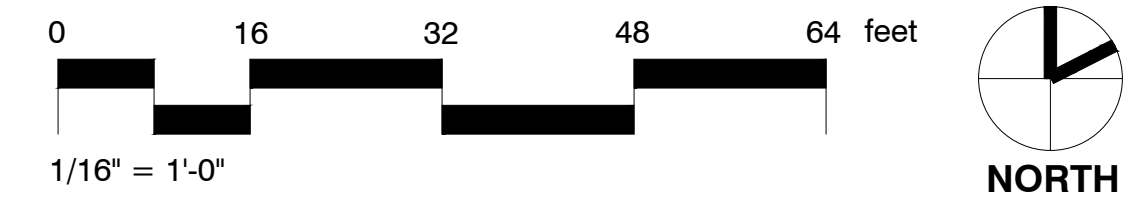
ENTITLEMENT
 NOT FOR CONSTRUCTION

PROJECT TITLE:
1340 GLENDALE

1340 N GLENDALE BLVD,
 LOS ANGELES, CA 90026
 PIC/PM:
 DRAWN BY: AA
 JOB NO:
 DRAWING TITLE:

LANDSCAPE CALCULATIONS

SHEET:
L100



NOTICE TO THE CONTRACTORS

- SPECIFICATIONS SHALL HAVE PRECEDENCE OVER DRAWINGS.
- THE STAMPED SET OF PLANS SHALL BE ON THE JOB SITE AT ALL TIMES.
- ALL RECOMMENDATIONS AND CONDITIONS OF THE APPROVED SOILS AND/OR GEOLOGICAL REPORT AND THE DEPARTMENT'S APPROVAL LETTERS SHALL BE PART OF THE PLANS AND SHALL AT THE JOB SITE AT ALL TIMES.
- NO WORK SHALL BE STARTED IN OR ABOUT A GRADING PROJECT WITHOUT FIRST NOTIFYING THE GRADING inspector.
- NO GRADING WORK, INCLUDING IMPORT AND EXPORT, SHALL BE DONE BETWEEN THE HOURS OF 6:00 P.M. AND 7:00 A.M. ON ANY DAY AND NO WORK SHALL BE ON SUNDAY AT ANY TIME, EXCEPT IN EMERGENCIES AS PROVIDED IN SECTION 91.7001(F) OF THE BUILDING CODE. A HAUL ROUTE SATISFACTORY TO THE GRADING DIVISION OR APPROVED BY THE BOARD OF BUILDING AND SAFETY COMMISSIONERS SHALL BE SHOWN ON THE PLANS. THE TRAFFIC BUREAU OF THE LOS ANGELES POLICE DEPARTMENT SHALL BE NOTIFIED PRIOR TO THE START OF HAULING.
- OWNER SHALL KEEP THE CONSTRUCTION AREA SUFFICIENTLY DAMP TO CONTROL DUST CAUSED BY GRADING AND CONSTRUCTION. OWNER SHALL, AT ALL TIMES, PROVIDE REASONABLE CONTROL OF DUST CAUSED BY WIND.
- IF THE GRADING JOB EXTENDS OVER A PERIOD OF TIME EXCEEDING SIX MONTHS, THE DEPARTMENT MAY REQUIRE PLANTING OF THOSE PORTIONS OF THE JOB WHERE ALL OTHER GRADING REQUIREMENTS HAVE BEEN MET IN ORDER TO PREVENT DUST AND EROSION.
- HIGHWAY EQUIPMENT SHALL BE KEPT IN GOOD OPERATING CONDITION AND MUFFLED AS REQUIRED BY LAW.
- EXCEPT IN EMERGENCY CASES, THE REPAIR OF CONSTRUCTION EQUIPMENT OR THE DELIVERY OF CONSTRUCTION MATERIALS IS NOT PERMITTED BEFORE 8:00 A.M. OR AFTER 6:00 P.M. ON SATURDAY NOR AT ANY TIME ON Sunday.
- THE FILL MATERIALS IN EACH TRUCKLOAD SHALL BE KEPT LOW ENOUGH TO PREVENT SPILLAGE AND SHALL BE SUFFICIENTLY WET DOWN TO PREVENT DUST.
- NO PERSON SHALL, WHEN HAULING ANY EARTH, SAND, GRAVEL, ROCK, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE, ALLOW SUCH MATERIALS TO BLOW OR SPILL OVER AND UPON THE PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE OR ADJACENT PRIVATE PROPERTY.
- NO PERSON SHALL, WHEN EXCAVATING, COMPACTING, HAULING OR MOVING EARTH, SAND, GRAVEL, ROCK, STONE, DEBRIS, OR ANY OTHER SIMILAR SUBSTANCE, CAUSE, ALLOW OR PERMIT SUCH MATERIALS TO DROP, BE DEPOSITED, OR FALL FROM THE BODY, TIRES, OR WHEELS OF ANY VEHICLE SO USED UPON ANY PUBLIC STREET OR ALLEY WITHOUT IMMEDIATELY AND PERMANENTLY REMOVING THE SAME THEREFROM.
- PERMISSION SHALL BE SECURED FROM THE DEPARTMENT OF PUBLIC WORKS IF THE TRUCKS ARE LOADED IN THE street.
- THE LOADING OR DUMPING OF EXCESS SOIL SHALL BE APPROVED BY THE GRADING INSPECTOR PRIOR TO STARTING EXCAVATION.
- BRUSHING AND SCARIFYING OF SLOPES SHALL PROCEED ONLY AS FAR AS PERIODICALLY CLEARED BY THE GRADING inspector.
- PRIOR TO PLACING FILL, SLOPES SHALL BE PROPERLY PREPARED BY BRUSHING AND BENCHING.
- LOOSE MATERIAL SHALL NOT EXCEED 3" IN DEPTH ON A GRADED SLOPE.
- ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE.
- ALL LOOSE MATERIALS SHALL BE REMOVED OR COMPACTED PER APPROVED PLAN.
- IF AT ANY STAGE OF WORK ON AN EXCAVATION OR FILL THE DEPARTMENT DETERMINES THAT FURTHER WORK AS AUTHORIZED BY AN EXISTING PERMIT IS LIKELY TO ENDANGER ANY PROPERTY OR PUBLIC WAY, THE DEPARTMENT MAY REQUIRE AS A CONDITION TO ALLOW THE WORK TO CONTINUE, THAT PLANS FOR SUCH WORK BE AMENDED TO INCLUDE ADEQUATE SAFETY PRECAUTIONS.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE FROM THE BEGINNING TO COMPLETING OF GRADING operations.
- THE ENGINEERING GEOLOGIST, SOILS ENGINEER AND CIVIL ENGINEER SHALL COMPLY WITH RGA 4-67 AND 5-67 AND SHALL PROVIDE THE DEPARTMENT WITH A GRADING CERTIFICATION UPON COMPLETION OF THE JOB.
- AN AS GRADED PLAN AT A SCALE OF 1" = 40' (OR OTHER SCALES DEEMED APPROPRIATE BY THE DEPARTMENT) PREPARED BY THE TRACT CIVIL ENGINEER SHALL BE SUBMITTED WITH THE REQUIRED GRADING CERTIFICATIONS TO THE DEPARTMENT UPON JOB COMPLETION.
- THE PERMITTEE SHALL PROVIDE SUPERVISORY CONTROL DURING THE GRADING OPERATION TO INSURE COMPLIANCE WITH APPROVED PLANS AND WITH THE MUNICIPAL CODE. WHEN NECESSARY, THE PERMITTEE SHALL AVAIL HIMSELF OF GEOLOGICAL AND FOUNDATION ENGINEERING SERVICES AND THE SERVICES OF A GRADING DEPUTY INSPECTOR TO IMPLEMENT HIS SUPERVISORY CONTROL.
- SUBDRAINS SHALL BE LAID UNDER ALL FILLS PLACED IN NATURAL WATERCOURSES. SUBDRAINS SHALL BE PLACED ALONG THE WATERCOURSE FLOW LINE AND ALONG THE FLOW LINE OF ANY BRANCHES TRIBUTARY THERETO. ADDITIONAL SUBDRAINS SHALL BE INSTALLED TO COLLECT ANY ACTIVE OR POTENTIAL SPRINGS OR SEEPS WHICH WILL BE COVERED BY THE FILL. SUBDRAINS SHALL BE INSTALLED AFTER THE WATERCOURSE HAS BEEN EXCAVATED TO FIRM MATERIAL IN PREPARATION FOR RECEIVING THE FILL. INDIVIDUAL DESIGN SHALL BE SHOWN ON EACH PLAN FOR CITY APPROVAL, BASED ON THE RECOMMENDATIONS OF THE SOILS ENGINEER AND GEOLOGIST TO THE SATISFACTION OF THE DEPARTMENT.
- TEMPORARY EROSION CONTROL SHALL BE INSTALLED BETWEEN NOVEMBER 1ST, AND APRIL 15TH. (DEPARTMENT OF PUBLIC WORKS APPROVAL IS REQUIRED.)
- GRADING WITH INVOLVES REMOVAL OF LATERAL SUPPORT OF PUBLIC WAYS REQUIRES DEPARTMENT OF PUBLIC WORKS APPROVAL INSPECTIONS OF EXCAVATION AND FILLS. THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE GRADING INSPECTOR WHEN THE GRADING OPERATION IS READY FOR EACH OF THE FOLLOWING INSPECTIONS:
 - INITIAL INSPECTION: WHEN THE PERMITTEE IS READY TO BEGIN WORK, BUT BEFORE GRADING OR BRUSHING IS STARTED.
 - TOE INSPECTION: AFTER THE NATURAL GROUND IS EXPOSED AND PREPARED TO RECEIVE FILL, BUT BEFORE ANY FILL IS PLACED.
 - EXCAVATION INSPECTION: AFTER THE EXCAVATION IS STARTED, BUT BEFORE THE VERTICAL DEPTH OF THE EXCAVATION EXCEEDS TEN FEET.
 - FILL INSPECTION: AFTER THE FILL EMPLACEMENT IS STARTED, BUT BEFORE THE VERTICAL HEIGHT OF THE LIFT EXCEEDS TEN FEET.
 - DRAINAGE DEVICE INSPECTION: AFTER FORMS AND PIPE ARE IN PLACE, BUT BEFORE ANY CONCRETE IS PLACED.
 - ROUGH GRADING: WHEN ALL ROUGH GRADING HAS BEEN COMPLETED. THIS INSPECTION MAY BE CALLED FOR AT THE COMPLETION OF THE ROUGH GRADING WITHOUT THE NECESSITY OF THE DEPARTMENT HAVING PREVIOUSLY REVIEWED AND APPROVED THE REPORTS.
 - FINAL: WHEN ALL WORK, INCLUDING INSTALLATION OF ALL DRAINAGE STRUCTURES AND OTHER PROTECTIVE DEVICES HAS BEEN COMPLETED AND THE AS-GRADED PLAN AND REQUIRED REPORTS HAVE BEEN SUBMITTED.
 - SOILS ENGINEER SHALL REVIEW AND PROVIDE A STATEMENT OF COMPLIANCE WITH THE APPROVED SOIL REPORT ON THE FINAL PLANS COVER SHEET; THE STATEMENT MUST REFERENCE THE APPROVED SOIL REPORT, MUST BE SIGNED, AND MUST BE ON THE COVER SHEET OF THE GRADING PLANS. ALL OTHER FINAL GRADING SHEETS MUST HAVE THE SOIL ENGINEER STAMP AND SIGNATURE.

*THIS PLAN HAS BEEN REVIEWED AND CONFORMS TO RECOMMENDATIONS OF SOILS ENGINEERING/GEOLOGIC REPORTS DATED _____ SIGNATURE AND DATE _____.

NOTICE TO THE CONTRACTORS

- ALL FILL OR BACKFILL TO BE COMPACTED TO 95% RELATIVE COMPACTION AS DETERMINED BY A.S.T.M. METHOD D-1557.
- SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND PAVING DETAILS.
- ALL ELEVATIONS ARE FINISHED SURFACE ELEVATION UNLESS OTHERWISE INDICATED.
- ANY REQUIRED PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY FOR THE CONSTRUCTION FO TRENCHES OR EXCAVATIONS WHICH ARE 5 FEET OR DEEPER AND MAY JEOPARDIZE THE WORKS SHALL BE SUBMITTED.
- ALL GRADED SLOPE SHALL BE PLANTED AND SPRINKLED.
- NO FILL TO BE PLACED UNTIL THE CITY GRADING INSPECTION HAS INSPECTED AND APPROVED THE BOTTOM EXCAVATION.
- DUST CONTROL AND SANITARY FACILITIES REQUIRED.
- ALL CONCENTRATED DRAINAGE, INCLUDING ROOF WATER, SHALL BE CONDUCTED TO THE STREET IN AN APPROVED DEVICE.
- THE QUANTITIES SHOWN ABOVE ARE ESTIMATED FOR PLAN CHECK FEE AND BUILDING PERMITS ONLY.
- THE QUANTITIES ARE UNADJUSTED FOR SUBSIDENCE, SHRINKAGE AND SITE CLEARANCE.
- THE QUANTITIES MAY VARY DEPENDING UPON THE INITIAL COMPACTION OF THE EXISTING SOIL AND THE DEGREE OF COMPACTION IN THE FIELD.
- THE QUANTITIES ESTIMATED HEREON DOES NOT INCLUDE REWORK ON REMOVAL OF UNSTABLE MATERIALS AND ORGANIC MATTER. THE CONTRACTOR SHOULD ESTIMATE THESE ITEMS AND PROVIDE AN ALLOWANCE FOR SAID ITEMS IN HIS BID.
- IT SHOULD BE THE CONTRACTOR'S RESPONSIBILITY TO CALCULATE THE EARTHWORK QUANTITIES FOR BIDDING PURPOSE.
- UNDERGROUND STRUCTURES: ALL UNDERGROUND UTILITIES OR STRUCTURES REPORTED BY THE OWNER OR OTHERS AND THOSE SHOWN ON THE RECORDS EXAMINED ARE INDICATED WITH THEIR APPROXIMATE LOCATION AND EXTEND. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF THE UTILITIES OR STRUCTURE CONCERNED BEFORE STARTING WORK.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITIES, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITIES ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- ANY DISCREPANCY BETWEEN THESE PLANS AND FIELDS CONDITION SHALL BE REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION ANY IMPROVEMENTS.
- A REGISTERED DEPUTY GRADING INSPECTOR IS REQUIRED ON ALL SHORING WORK INCLUDING SLOT CUT SECT. 1701.5
- GENERAL SPECIFICATIONS FOR ALL GRADING PLANS, DEPARTMENT OF BUILDING AND SAFETY FORM B-164 IS PART OF THE PLANS.
- ALL GRADING SLOPES SHALL BE PLANTED AND SPRINKLED. SEC. 91.7012.1
- STANDARD 12 INCH HIGH BERM IS REQUIRED AT TOP OF ALL GRADED SLOPES. SEC. 91.7013.3.
- NO FILL TO BE PLACED, UNTIL THE CITY GRADING INSPECTOR HAS INSPECTED AND APPROVED THE BOTTOM EXCAVATION.
- MAN MADE FILL SHALL BE COMPACTED TO A MINIMUM OF 95% COMPACTING COHESIONLESS SOILS WITH LESS THAN 15% FINER THAN .005 MM REQUIRE 90% COMPACTION. SEC. 91.7011.3- STANDARD 12 INCH HIGH BERM IS REQUIRED AT TOP OF ALL GRADED SLOPES. SEC. 91.7013.3.
- TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN NOVEMBER 1 AND APRIL 15. OBTAIN GRADING INSPECTOR'S AND DEPARTMENT OF PUBLIC WORKS APPROVAL OF PROPOSED PROCEDURE> (>200CY) SEC.91.7007.1-
- THE SOIL REPORTED PREPARED BY: GEOCON WEST, INC. DATED SEPTEMBER 8, 2017 ARE PART OF THE GRADING PLANS AND ALL RECOMMENDATIONS OF THE SOIL REPORT SHALL BE IMPLEMENTED AT THE JOB SITE. A COPY OF THE SOIL REPORT ALONG WITH GRADING PLANS SHALL BE AVAILABLE AT THE JOB SITE AT ALL TIMES.
- RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF THE WALL SHALL BE BACKFILLED NOT LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY RESPONSIBLE ENGINEER.
- CONTINUOUS INSPECTIONS FOR:
 - CONCRETE OVER 2500 PSI
 - INSTALLATION OF TIE-BACK ANCHORS
 - FIELD WELDING
 - EXCAVATION [BY SOILS ENGINEER]
- TO PROTECT THE PUBLIC CONTRACTOR TO PROVIDE PROTECTIVE MEASURES ALONG THE WALKWAY ROW ADJACENT TO SLOT CUTS AND/OR TEMPORARY EXCAVATIONS.
- IF ANY ADJACENT ROW STRUCTURES AND SUB-STRUCTURES ARE DAMAGED DUE TO THE UN-RETAINED EXCAVATIONS FROM THE SLOT CUTS AND/OR TEMPORARY EXCAVATIONS, THE DEVELOPER, OWNER AND/OR CONTRACTOR WILL BE RESPONSIBLE FOR ALL REPAIRS AT NO COST TO THE CITY OF LOS ANGELES.
- STOCKPILING OF EXCAVATED MATERIAL SHALL NOT BE ALLOWED ADJACENT TO OPEN EXCAVATIONS.

BENCH MARK:

BM# 12-23770 ELEV=394.888
WIRE SPK IN E CURB GLENDALE BLVD 5FT N OF BC
RETURN NORTH CORNER LAKE SHORE AVENUE.
NAVD 1988
2000 ADJ.

SOILS ENGINEER:

A.G.I. GEOTECHNICAL, INC.
16555 SHERMAN WAY, SUITE A
VAN NUYS, CA 91406
TEL: (818) 785-5244

LEGAL DESCRIPTION:

LOT 4, ARB 2, BLOCK C
POOLE AND JONES TRACT
M.B. 10, PAGE 194
RECORDS OF LOS ANGELES COUNTY
APN# 5040-002-004

PROPERTY OWNER:

LINDON SHIAO
TERRA CAPITAL, LLC
215 N. MARENGO AVE, #135
PASADENA, CA 91101
TEL: (626) 202-2123

DHS & ASSOCIATES INC.

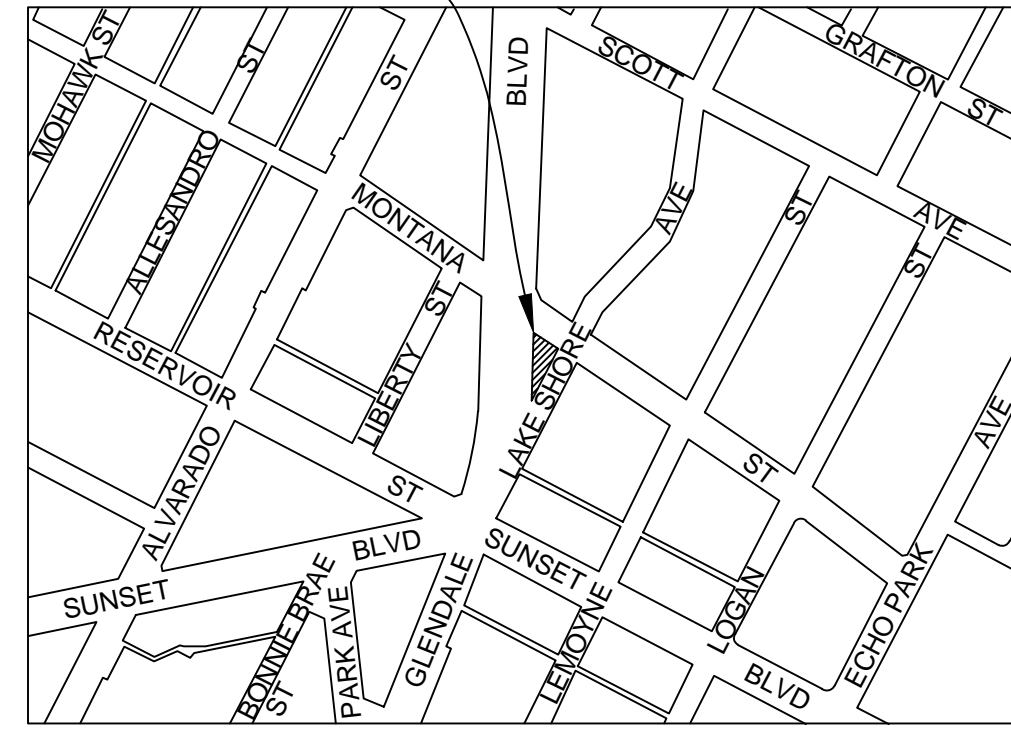
DHS & ASSOCIATES, INC.
275 CENTENNIAL WAY SUITE #205,
TUSTIN, CA 92780
TEL: (714) 665-6569

LEGEND

C.B.	-----	CATCH BASIN
C.F.	-----	CURB FACE
CONC.	-----	CONCRETE
DWY.	-----	DRIVEWAY
F.F.	-----	FINISHED FLOOR
F.G.	-----	FINISHED GRADE
F.H.	-----	FIRE HYDRANT
F.L.	-----	FLOW LINE
F.S.	-----	FINISHED SURFACE
G.B.	-----	GRADE BREAK
H.P.	-----	HIGH POINT
MAX.	-----	MAXIMUM
MIN.	-----	MINIMUM
P.L.	-----	PROPERTY LINE
PVMT.	-----	PAVEMENT
R.	-----	RADIUS
T.C.	-----	TOP OF CURB
T.C.B.	-----	TOP OF CATCH BASIN
T.W.	-----	TOP OF WALL
INV.	-----	INVERT
CL.	-----	CENTER LINE

	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING ELEVATION
	PROPOSED ELEVATION
	FENCE
	FIRE HYDRANT
	FLOW LINE
	SLOPE
	CONCRETE
	PROPOSED WALL
	EXISTING WALL
	RIDGE LINE
	GRADE BREAK LINE

PROJECT SITE



VICINITY MAP

INDEX OF DRAWINGS

SHEET NO.	DESCRIPTION
G-1	TITLE SHEET, NOTES
G-2	APPROVED SOILS REPORT & GPI
G-3	FIRST FLOOR PLAN
G-4	SECTION & DETAIL
G-5	SLOT CUT PLAN

EARTHWORK QUANTITY

TOTAL CUT (CU YDS)	FILL (CU YDS)	REMOVAL	IMPORT	EXPORT
650	0	650	0	650

ATTACHMENT A

BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES*

STORM WATER POLLUTION CONTROL REQUIREMENTS FOR CONSTRUCTION ACTIVITIES
MINIMUM WATER QUALITY PROTECTION REQUIREMENTS FOR ALL DEVELOPMENT
CONSTRUCTION PROJECTS/CERTIFICATION STATEMENT

THE FOLLOWING IS INTENDED AS MINIMUM NOTES OR AS AN ATTACHMENT FOR BUILDING AND GRADING PLANS AND REPRESENT THE MINIMUM STANDARDS OF GOOD HOUSEKEEPING THAT MUST BE IMPLEMENTED ON ALL CONSTRUCTION SITES REGARDLESS OF SIZE. (APPLIES TO ALL PERMITS)

- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- NON-STORMWATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED AT THE PROJECT SITE.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENuded OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- OTHER:

AS THE PROJECT OWNER OR AUTHORIZED AGENT OF THE OWNER, I HAVE READ AND UNDERSTAND THE REQUIREMENTS LISTED ABOVE, NECESSARY TO CONTROL STORM WATER POLLUTION FROM SEDIMENTS, EROSION, AND CONSTRUCTION MATERIALS, AND I CERTIFY THAT I WILL COMPLY WITH THESE REQUIREMENTS.

PRINT NAME: _____
(AUTHORIZED AGENT OF THE OWNER)
SIGNATURE _____ DATE _____
(AUTHORIZED AGENT OF THE OWNER)

*THE ABOVE BEST MANAGEMENT PRACTICES ARE DETAILED IN THE CALIFORNIA STORM WATER BEST MANAGEMENT PRACTICES HANDBOOK, JANUARY 2003. WWW.CA8MPHANDBOOKS.COM

BUREAU OF ENGINEERING NOTES:

- TO PROTECT THE PUBLIC CONTRACTOR TO PROVIDE PROTECTIVE MEASURES ALONG THE WALKWAY ROW ADJUSTMENT TO SLOT CUTS AND/OR TEMPORARY EXCAVATIONS.
- IF ANY ADJACENT ROW STRUCTURES AND SUB-STRUCTURES ARE DAMAGED DUE TO THE UN-RETAINED EXCAVATIONS FROM THE SLOT CUTS AND/OR TEMPORARY EXCAVATIONS, THE DEVELOPER, OWNER AND/OR CONTRACTOR WILL BE RESPONSIBLE FOR ALL REPAIRS AT NO COST TO THE CITY OF LOS ANGELES.
- STOCKPILING OF EXCAVATED MATERIAL SHALL NOT BE ALLOWED ADJACENT TO OPEN EXCAVATIONS.

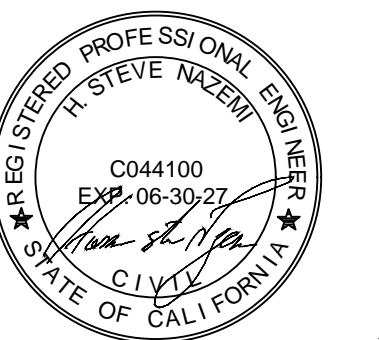
SOILS ENGINEER SHALL REVIEW AND PROVIDE A STATEMENT OF COMPLIANCE WITH THE APPROVED SOIL REPORT ON THE FINAL PLANS COVERS SHEET. THE STATEMENT MUST REFERENCE THE APPROVED SOIL REPORT, MUST BE SIGNED, AND MUST BE THE COVER SHEET OF THE SHORING PLANS. ALL OTHER FINAL SHORING SHEETS MUST HAVE THE SOIL ENGINEER STAMP AND SIGNATURE.

THIS PLAN HAS BEEN REVIEWED AND CONFORMS TO RECOMMENDATIONS OF SOILS ENGINEERING/GEOLOGIC REPORTS DATED _____ SIGNATURE AND DATE _____.

REVISIONS	BY

GRADING PLAN FOR:

1340 N GLENDALE BLVD
LOS ANGELES, CA 90026



DRAWN

CHECKED

DATE

11/11/2025

SCALE

1" = 20'

JOB NO.

SHEET

G-1

SOILS REPORT APPROVAL LETTER

September 8, 2017

LOG # 99514
SOILS/GEOLOGY FILE - 2
LIQ

Trellis West, LLC
1401 Westwood Blvd., Suite 320
Los Angeles, CA 90024

TRACT: Pacific Electric Tract No. 2 (M P 9-97)
LOT: 53
LOCATION: 1340 N. Glendale Boulevard

CURRENT REFERENCE REPORT/LETTER(S)	REPORT No.	DATE(S) OF DOCUMENT	PREPARED BY
Soils Report	A9634-06-01	08/15/2017	Geocon West, Inc.

The Grading Division of the Department of Building and Safety has reviewed the referenced report that provides recommendations for the proposed construction of a 2-story retail structure over a 1-level subterranean parking, as shown on Figures 2 & 3 in the referenced report. The site is relatively level.

Four borings were performed to depths ranging from 5.5 to 36 feet. The earth materials at the subsurface exploration locations consist of up to 6 feet of uncemented fill underlain by alluvium and siltstone Puente Formation bedrock. The bedrock was encountered at depths of 16.5 and 24.5 feet in borings 1 and 2A, respectively. Perched groundwater was encountered at depths of 15 and 20 feet. According to the consultants, 5 onsite monitoring wells indicate groundwater levels ranged from 7.3 to 9.4 feet beneath existing ground surface. For design purposes, the consultants adopted a high groundwater level as 7 feet beneath existing ground surface.

The consultants recommend to support the proposed structure(s) on conventional and/or mat-type foundations bearing in native undisturbed soils.

Since the site is an area known for shallow groundwater levels and onsite wells encountered water at about 7 feet depth, with groundwater currently being encountered at 15 feet, the structure shall be designed to withstand hydrostatic pressures based on a design groundwater level of 7 feet beneath existing grade, as recommended. Therefore, the alternative to design the subterranean levels below the high groundwater level of 7 feet for permanent dewatering is not approved in this letter.

The site is located in a designated liquefaction hazard zone as shown on the Seismic Hazard Zones map issued by the State of California. The Liquefaction study included as a part of the report demonstrates that the site soils are subject to liquefaction. The earthquake induced total and differential settlements are calculated to be 0.8 and 0.53 inches, respectively (base on 2/3rds PGAm). However, these settlement magnitudes are considered by the Department to be within acceptable levels. The requirements of the 2017 City of Los Angeles Building Code have been satisfied.

LADBS G-8 (Rev. 11/23/2016) AN EQUAL EMPLOYMENT OPPORTUNITY - AFFIRMATIVE ACTION EMPLOYER

- Page 4**
1340 N. Glendale Boulevard
22. Unsurcharged temporary excavation may be cut vertical up to 5 feet. Excavations over 5 feet up to a maximum height of 10 feet shall be trimmed back at a uniform gradient not exceeding 1:1 (horizontal to vertical), from top to bottom of excavation, as recommended.
 23. Shoring shall be designed for the lateral earth pressures specified in the section titled "Shoring - Soldier Pile Design and Installation" starting on page 30 of the 08/15/2017 report; all surcharge loads shall be included into the design. Total lateral load on shoring piles shall be determined by multiplying the recommended EPF by the pile spacing.
 24. Shoring shall be designed for a maximum lateral deflection of 1 inch, provided there are no structures within a 1:1 plane projected up from the base of the excavation. Where a structure is within a 1:1 plane projected up from the base of the excavation, shoring shall be designed for a maximum lateral deflection of 1/2 inch, or to a lower deflection determined by the consultant that does not present any potential hazard to the adjacent structure.
 25. A shoring monitoring program shall be implemented to the satisfaction of the soils engineer.
 26. In the event shoring soldier beams/piles are installed using vibrating/driving equipment in the vicinity of existing structures, the following conditions shall be complied with:
 - a. Ground vibrations shall be monitored during pile shoring installation adjacent to the pile driving operation.
 - b. Peak particle velocities (PPV) for any single axis shall be limited to 1/2 inch/second.
 - c. A Settlement monitoring program shall be implemented until completion of pile installation, as recommended.
 - d. In the event any PPV is measured above the specified threshold (1/2 inch/second) or any settlement is measured/detected, pile driving shall be stopped and corrective actions shall be submitted to the Department for review before resuming pile driving.
 27. In the event predrilling is needed for shoring pile installation:
 - a. The depth of the predrilled holes shall not exceed the planned excavation depth.
 - b. The auger shall be backspan out of the pilot holes, leaving the soils in place.
 28. All foundations shall derive entire support from native undisturbed soils, as recommended and approved by the soils engineer by inspection.
 29. Footings for miscellaneous small outlying structures, such as block walls up to 6 feet high, planer walls and trash enclosures, not to be tied-in to the proposed building, shall derive entire support from properly placed fill soils or native undisturbed soils, as recommended.
 30. The building design shall incorporate provisions for total anticipated differential settlements of 0.78 inches, which include 0.25 and 0.53 inches for static and seismic-induced loads, respectively. (1808.2) Note: The issue of using differential settlement over 20 feet was previously addressed (and rejected) in a telephone conversation between the chief of the Grading Division and the consultant (Neal Berliner).
 31. Special provisions such as flexible or swing joints shall be made for buried utilities and drain lines to allow for differential vertical displacement.

- Page 2**
1340 N. Glendale Boulevard
- Note that on-site storm water infiltration is not part of this approval due to the lack of detailed plans, type of system, and specific recommendations. In addition, the site is an area designated as a "Hillside Grading Area" and in a liquefaction hazard zone. Furthermore, the high groundwater level is at about 7 feet depth and current water was measured at depths of 15 and 20 feet. Fill was encountered to a maximum depth of 6 feet and bedrock was encountered at depths of 16.5 and 24.5 feet in borings 1 and 2A, respectively. A 1-level subterranean parking is also proposed at the site. It appears that the site is not suitable for onsite infiltration.
- The referenced report is acceptable, provided the following conditions are complied with during site development:
- (Note: Numbers in parenthesis () refer to applicable sections of the 2017 City of LA Building Code. P/BC numbers refer the applicable Information Bulletin. Information Bulletins can be accessed on the internet at LADBS.ORG.)
1. The basement walls and floor slab shall be designed for the effects of hydrostatic pressure and uplift, respectively, based on the high groundwater level of 7 feet below the ground surface, as recommended. The alternative to design the subterranean levels below the high groundwater level of 7 feet for permanent dewatering is not approved in this letter.
 2. In the event a hydrostatic pressure head is applied at the bottom of the retaining walls for that portion below the high groundwater level of 7 feet, then a subdrain system shall be located above the high groundwater level, as recommended on page 28 of the 08/15/2017 report.
 3. In the event that an onsite storm water infiltration system is proposed, a supplemental report addressing all items as required in P/BC 2017-118 shall be submitted to the Department for review and approval, including justification of the location and addressing the items mentioned above in the letter.
 4. Approval shall be obtained from the Department of Public Works, Bureau of Engineering, Development Services and Permit Program for the proposed removal of support and/or retaining of slopes adjoining to public way. (3307.3.2)

201 N. Figueroa Street 3rd Floor, LA (213) 482-7045
 5. In the event tie-back anchors are utilized for shoring purposes, then provide a notarized letter from all adjoining property owners allowing tie-back anchors on their property. (7006.6)
 6. The soils engineer shall review and approve the detailed plans prior to issuance of any permit. This approval shall be by signature on the plans that clearly indicates the soils engineer has reviewed the plans prepared by the design engineer and that the plans included the recommendations contained in the soils report. (7006.1)
 7. All recommendations of the report(s) that are in addition to or more restrictive than the conditions contained herein shall be incorporated into the plans.
 8. A copy of the subject and appropriate referenced reports and this approval letter shall be attached to the District Office and field set of plans. Submit one copy of the above reports to the Building Department Plan Checker prior to issuance of the permit. (7006.1)
 9. A grading permit shall be obtained for all structural fill and retaining wall backfill. (106.1.2)
 10. Prior to the issuance of any permit, an accurate volume determination shall be made and included in the final plans, with regard to the amount of earth material to be exported from the site. For grading involving import or export of more than 1000 cubic yards of earth materials within the

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1340 N. Glendale Boulevard
32. Slabs placed on approved compacted fill shall be at least 3 1/2 inches thick and shall be reinforced with 1/2-inch diameter (#4) reinforcing bars spaced maximum of 16 inches on center each way.
 33. The seismic design shall be based on a Site Class C as recommended. All other seismic design parameters shall be reviewed by LADBS building plan check.
 34. Retaining walls up to 12 feet in height and with a level backfill shall be designed for the lateral earth pressures specified in the section titled "Retaining Wall Design" starting on page 26 of the 08/15/2017 report, and the basement walls shall be designed for the effects of hydrostatic pressures (see Section 7.13.6 on pg. 27), based on the high groundwater level of 7 feet below the ground surface. All surcharge loads shall be included into the design.
 35. All retaining walls shall be provided with a standard surface backdrain system and all drainage shall be conducted to the street in an acceptable manner and in a non-erosive device. (7013.11)
 36. With the exception of retaining walls designed for hydrostatic pressure, all retaining walls shall be provided with a subdrain system to prevent possible hydrostatic pressure behind the wall. Prior to issuance of any permit, the retaining wall subdrain system recommended in the soil report shall be incorporated into the foundation plan which shall be reviewed and approved by the soils engineer of record. (1805.4)
 37. Installation of the subdrain system shall be inspected and approved by the soils engineer of record and the City grading/building inspector. (108.9)
 38. Basement walls and floors shall be waterproofed/damp-proofed with an L.A. City approved "Below-grade" waterproofing/damp-proofing material with a research report number. (104.2.6)
 39. Prefabricated drainage composites (Miradrain, Geotextiles) may be only used in addition to traditionally accepted methods of draining retained earth.
 40. Where the ground water table is lowered and maintained at an elevation not less than 6 inches below the bottom of the lowest floor, or where hydrostatic pressures will not occur, the floor and basement walls shall be damp-proofed. Where a hydrostatic pressure condition exists, and the design does not include a ground-water control system, basement walls and floors shall be waterproofed. (1803.5.4, 1805.1.3, 1805.2, 1805.3)
 41. The structure shall be connected to the public sewer system. (P/BC 2014-027)
 42. All roof and pad drainage shall be conducted to the street in an acceptable manner. (7013.10). Note: Storm water infiltration is not approved in this letter.
 43. All concentrated drainage shall be conducted in an approved device and disposed of in a manner approved by the LADBS. (7013.10)
 44. In the event dewatering is needed, the area shall be de-watered under the direction of the consultants prior to beginning the excavations below the groundwater level. Note, that a permit from the State of California Regional Water Quality Control Board and Department of Public Works shall be obtained to discharge the water into a storm drain.

201 N. Figueroa Street 3rd Floor, LA (213) 482-7045
320 W. 4th Street, Suite 200 (213) 576-6600 (LARWQB)
 45. The soils engineer shall inspect all excavations to determine that conditions anticipated in the report have been encountered and to provide recommendations for the correction of hazards found during grading. (7008 & 1705.6)

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1340 N. Glendale Boulevard
- grading hillside area, approval is required by the Board of Building and Safety. Application for approval of the haul route must be filed with the Board of Building and Safety Commission Office. Processing time for application is approximately 8 weeks to hearing plus 10-day appeal period.
11. All man-made fill shall be compacted to a minimum 90 percent of the maximum dry density of the fill material per the latest version of ASTM D 1557. Where cohesionless soil having less than 15 percent finer than 0.005 millimeters is used for fill, it shall be compacted to a minimum of 95 percent relative compaction based on maximum dry density (D1556). Placement of gravel in lieu of compacted fill is allowed only if complying with Section 91.7011.3 of the Code. (7011.3)
 12. Existing uncemented fill shall not be used for support of footings, concrete slabs or new fill. (1809.2, 7011.3)
 13. Drainage in conformance with the provisions of the Code shall be maintained during and subsequent to construction. (7013.12)
 14. Grading shall be scheduled for completion prior to the start of the rainy season, or detailed temporary erosion control plans shall be filed in a manner satisfactory to the Grading Division of the Department and the Department of Public Works, Bureau of Engineering, B-Permit Section, for any grading work in excess of 200 cu yd. (7007.1)

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 15. All loose foundation excavation material shall be removed prior to commencement of framing. (7005.3)
 16. Controlled Low Strength Material, CLSM (slurry) if proposed to be used shall satisfy the requirements specified in P/BC 2014-121.
 17. The applicant is advised that the approval of this report does not waive the requirements for excavations contained in the State Construction Safety Orders enforced by the State Division of Industrial Safety. (3301.1)
 18. Temporary excavations that remove lateral support to the public way, adjacent property, or adjacent structures shall be supported by shoring, as recommended. Note: Lateral support shall be considered to be removed when the excavation extends below a plane projected downward at an angle of 45 degrees from the bottom of a footing of an existing structure, from the edge of the public way or an adjacent property. (3307.3.1)
 19. Prior to the issuance of any permit which authorizes an excavation where the excavation is to be of a greater depth than are the walls or foundation of any adjoining building or structure and located closer to the property line than the depth of the excavation, the owner of the subject site shall provide the Department with evidence that the adjacent property owner has been given a 30-day written notice of such intent to make an excavation. (3307.1)
 20. The soils engineer shall review and approve the shoring plans prior to issuance of the permit. (3307.3.2)
 21. Prior to the issuance of the permits, the soils engineer and/or the structural designer shall evaluate the surcharge loads used in the report calculations for the design of the retaining walls and shoring. If the surcharge loads used in the calculations do not conform to the actual surcharge loads, the soil engineer shall submit a supplementary report with revised recommendations to the Department for approval.

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1340 N. Glendale Boulevard
46. Prior to the pouring of concrete, a representative of the consulting soils engineer shall inspect and approve the footing excavations. He/She shall post a notice on the job site for the LADBS Building Inspector and the Contractor stating that the work so inspected meets the conditions of the report, but that no concrete shall be poured until the City Building Inspector has also inspected and approved the footing excavations. A written certification to this effect shall be filed with the Grading Division of the Department upon completion of the work. (108.9 & 7008.2)
 47. Prior to excavation, an initial inspection shall be called with LADBS Inspector at which time sequence of construction, shoring, pile installation, protection fences and dust and traffic control will be scheduled. (108.9.1)
 48. Installation of shoring and/or pile installation shall be performed under the inspection and approval of the soils engineer and deputy grading inspector. (1705.6)
 49. The installation and testing of tie-back anchors shall comply with the recommendations included in the report or the standard sheets titled "Requirement for Tie-back Earth Anchors", whatever is more restrictive. (Research Report #23835)
 50. Prior to the placing of compacted fill, a representative of the soils engineer shall inspect and approve the bottom excavations. He/She shall post a notice on the job site for the City Grading Inspector and the Contractor stating that the soil inspected meets the conditions of the report, but that no fill shall be placed until the LADBS Grading Inspector has also inspected and approved the bottom excavations. A written certification to this effect shall be included in the final compaction report filed with the Grading Division of the Department. All fill shall be placed under the inspection and approval of the soils engineer. A compaction report together with the approved soil report and Department approval letter shall be submitted to the Grading Division of the Department upon completion of the compaction. In addition, an Engineer's Certificate of Compliance with the legal description as indicated in the grading permit and the permit number shall be included. (7011.3)
- GLEN RAAD
Geotechnical Engineer I
- Log No. 99514
213-482-0480
- cc: Geocon West, Inc., Project Consultant
LA District Office

REVISIONS	BY

GRADING PLAN FOR:

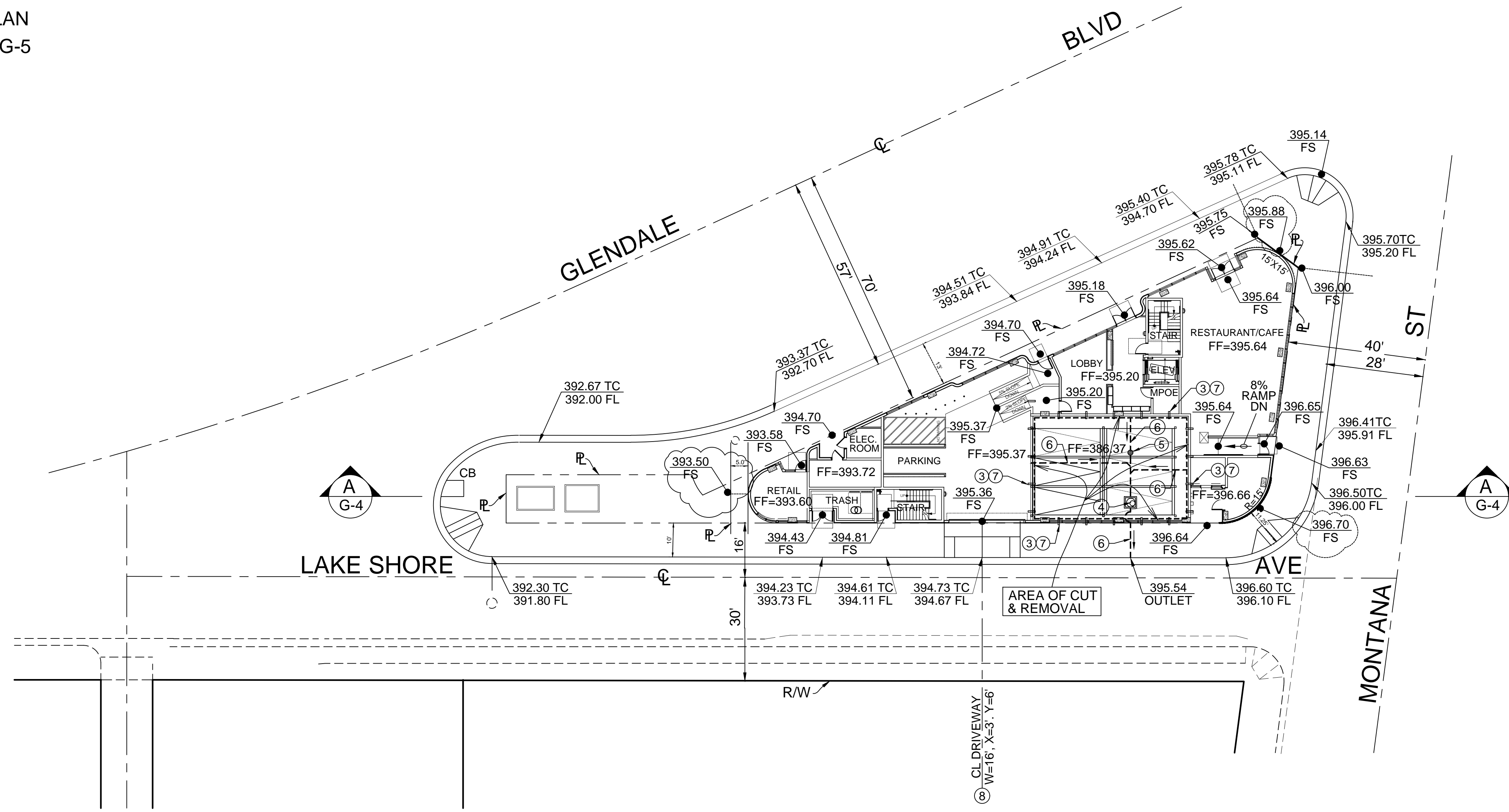
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LOS ANGELES, CA 90026



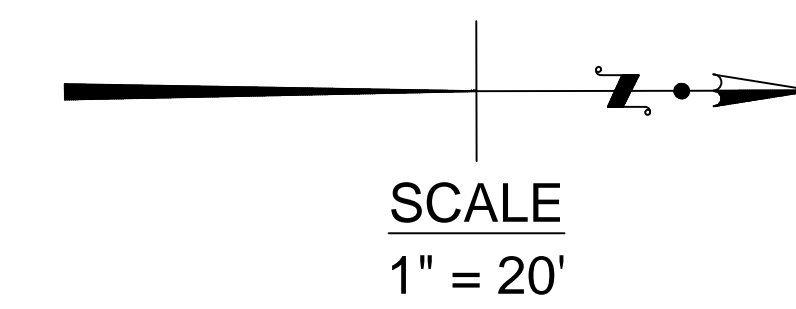
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SCALE 1" = 20'
JOB NO.
SHEET
G-2

CONSTRUCTION NOTES:

- ① CONC. SLAB PER ARCHITECTURAL & STRUCTURAL PLANS
- ② RETAINING WALL PER STRUCTURAL PLAN
- ③ SUBDRAIN PER STRUCTURAL PLANS & DETAIL 'A' HEREON
- ④ SUMP PUMP PER SEPARATE PLAN APPROVAL
- ⑤ AREA DRAIN, 4" DIA.
- ⑥ 4" DIA. C.I.P.
- ⑦ 4" DIA. C.I.P. BEHIND SHORING WALL TO BE CONNECTED 4" C.I.P. TO SUMP PUMP
SEE DETAIL 'A' ON SHT G-4
- ⑧ CONC. DRIVEWAY PER STREET PLAN
- ⑨ SLOT CUT PER DETAIL 'B' ON SHT G-5



FIRST FLOOR PLAN



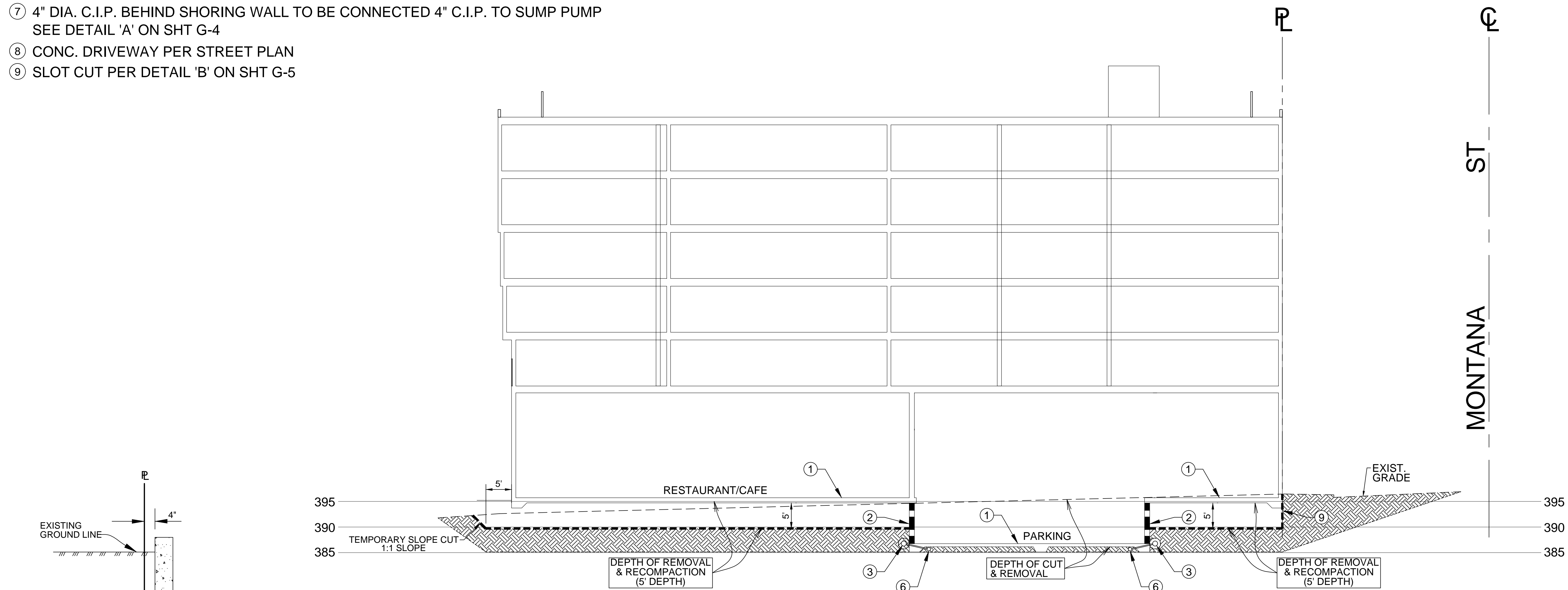
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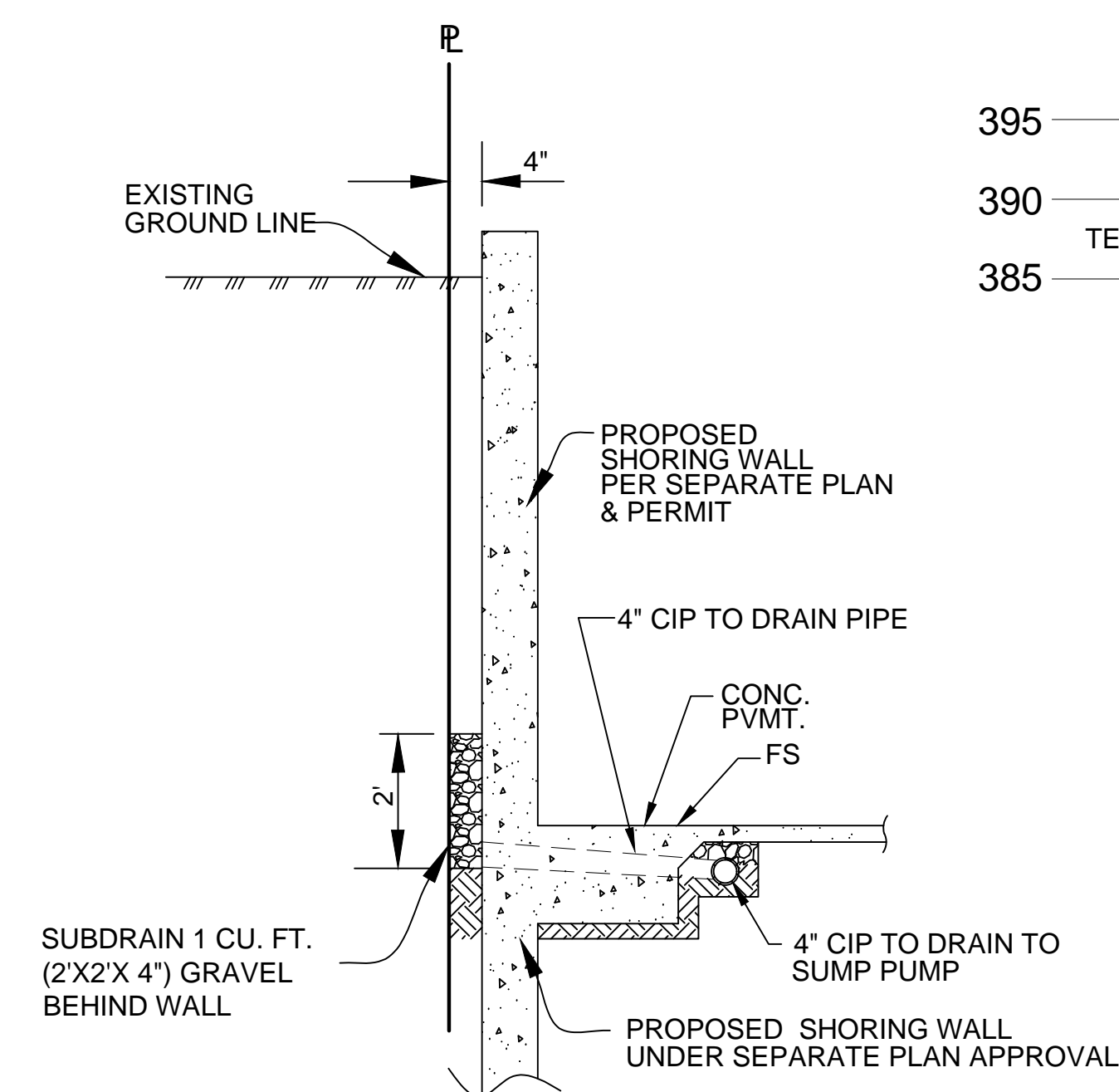
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SEE DETAIL 'A' ON SHT G-4
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- ⑨ SLOT CUT PER DETAIL 'B' ON SHT G-5



SECTION A-A
NTS



DETAIL "A"

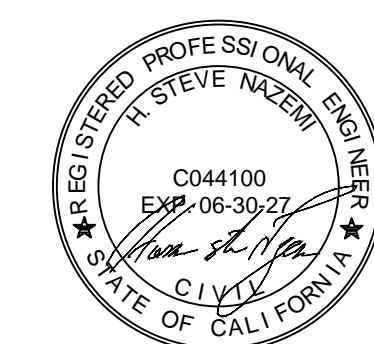
NOTE:

- 1. SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS & LAYOUT OF BUILDING AT THE SITE
- 2. SEE SOIL'S ENGINEER RECOMMENDATION FOR ALL REMOVAL AND RECOMPACTION

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GRADING PLAN FOR:

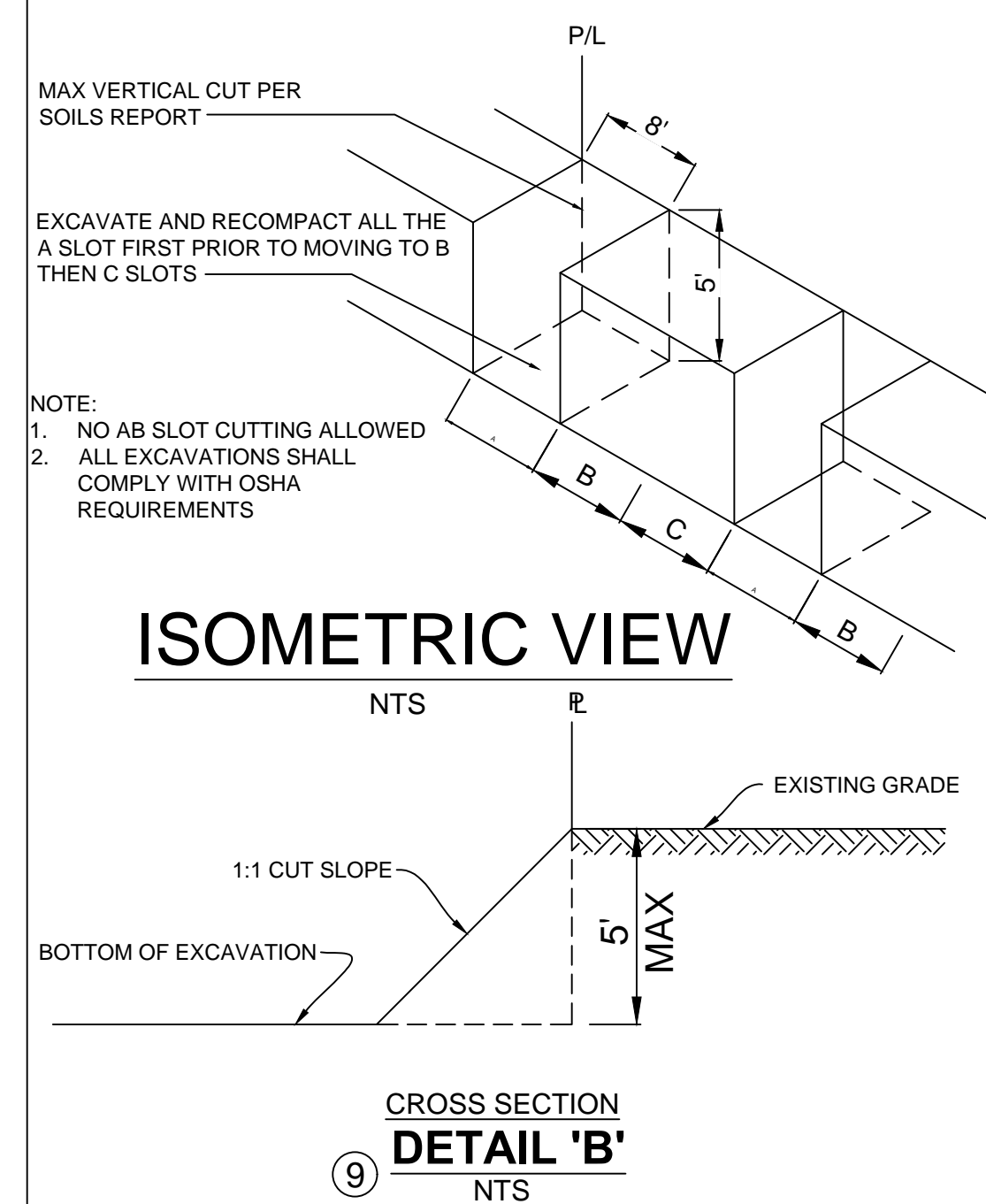
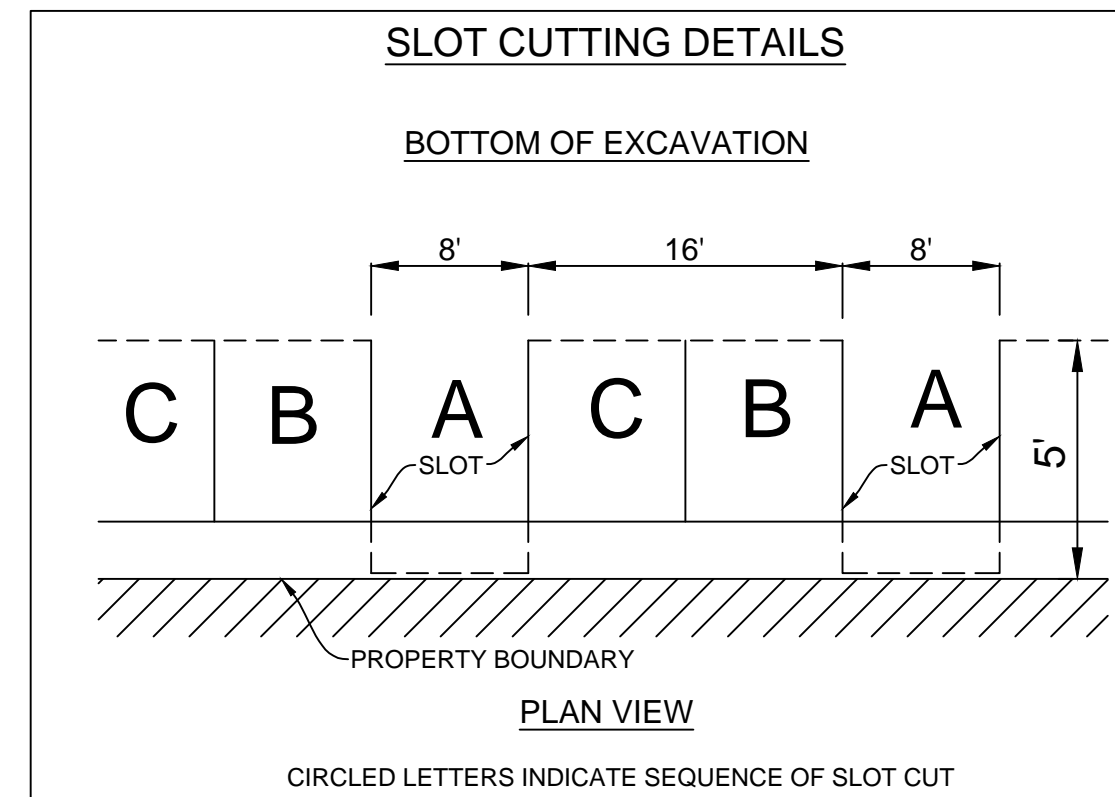
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CONSTRUCTION NOTES:

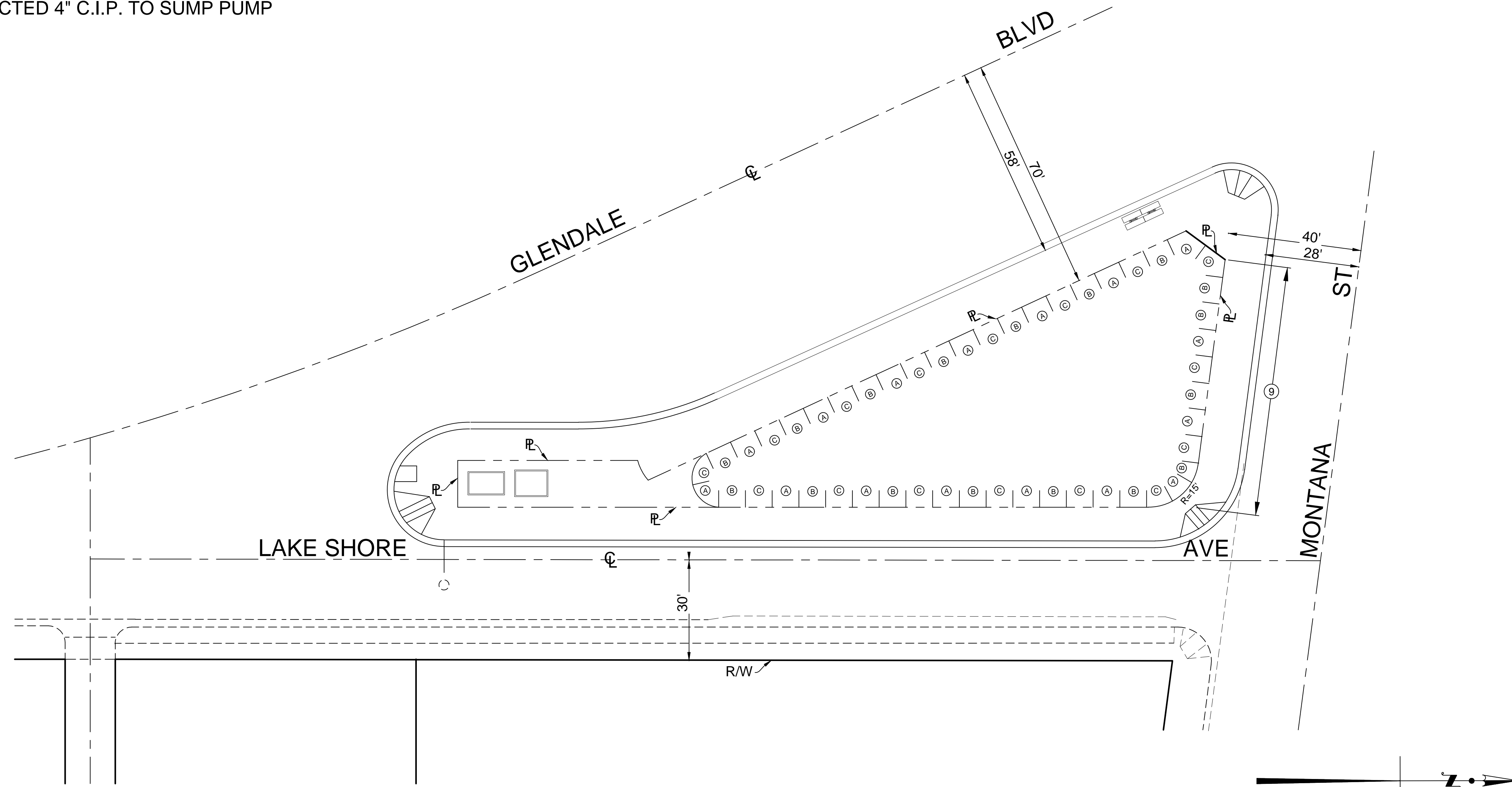
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SEE DETAIL 'A' ON SHT G-4
- ⑧ CONC. DRIVEWAY PER STREET PLAN
- ⑨ SLOT CUT PER DETAIL 'A' ON SHT G-5



SLOT CUT PER SOIL ENGINEER'S RECOMMENDATION

IN THE EVENT THAT TEMPORARY EXCAVATION MUST BE PERFORMED ADJACENT TO PROPERTY LINES, THE EXCAVATION AND RE-COMPACTION MUST BE PERFORMED IN A "A-B-C" SLOT CUT MANNER. THE FOLLOWING ARE OUR RECOMMENDATIONS FOR SLOT-CUTTING:

1. THE ENTIRE LENGTH OF THE PROPOSED EXCAVATION MUST BE DIVIDED INTO EIGHT (8)-FOOT LONG SEGMENTS. THE RESULTS OF THE ANALYSIS FOR STABILITY OF THE SLOT-CUT EXCAVATIONS ARE PRESENTED IN APPENDIX E OF THIS REPORT
2. THE SEGMENTS MUST BE DESIGNATED "A", "B", "C", "A", "B", "C" AND SO ON.
3. ONLY "A" SEGMENTS MAY BE EXCAVATED AT THE SAME TIME.
4. BOTTOM PREPARATION OF THE SLOT-CUT EXCAVATION MUST BE INSPECTED AND APPROVED BY THE CONSULTING SOILS ENGINEER.
5. PLACE BACKFILL EARTH MATERIAL AND RE-COMPACT UP TO FINISH GRADE LEVEL PER RECOMMENDATIONS PROVIDED IN THIS REPORT. THE COMPACTION OF THE FILL MUST BE INSPECTED BY A REPRESENTATIVE OF THE CONSULTING SOILS ENGINEER
6. EXCAVATE SEGMENTS "B" AND REPEAT STEPS 4 AND 5.
7. EXCAVATE SEGMENTS "C" AND REPEAT STEPS 4 AND 5.
8. A REGISTERED GRADING DEPUTY INSPECTOR APPROVED BY AND RESPONSIBLE TO THIS OFFICE WILL BE REQUIRED TO PROVIDE CONTINUOUS INSPECTION DURING THE PROPOSED SLOT CUTTING.



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