



DEPARTMENT OF CITY PLANNING

APPEAL RECOMMENDATION REPORT

City Planning Commission

Date: November 03, 2022
Time: after 8:30 a.m.*
Place: Due to concerns over COVID-19, the CPC meeting will be conducted entirely telephonically by Zoom [<https://zoom.us/>] and will allow for remote public comment.

The meeting's telephone number and access code number will be provided no later than 72 hours before the meeting on the meeting agenda published at <https://planning.lacity.org/about/commissions-boards-hearings> and/or by contacting cpc@lacity.org

Public Hearing: Required
Appeal Status: Not further appealable
Expiration Date: November 30, 2022, subject to tolling
Multiple Approval: No

Case No.: DIR-2022-5596-TOC-HCA-1A
CEQA No.: ENV-2021-5597-CE; ENV-2013-622-EIR
Incidental Cases: None
Related Cases: None
Council No.: 11 – Bonin
Plan Area: Palms – Mar Vista – Del Rey
Plan Overlay: Exposition Corridor Transit Neighborhood Plan, West Los Angeles Transportation Improvement and Mitigation West Los Angeles Sawtelle
Certified NC:
GPLU: Medium Residential
Zone: R3-1
Applicant: Amir Mehdizadeh
Representative: Aaron Belliston, BMR Enterprises

Appellant: Kathryn Schorr

PROJECT LOCATION: 2456-2460 South Purdue Avenue

PROPOSED PROJECT: The Project is for the construction of a new six-story, 67-foot tall, 27-unit residential building (including 3 units reserved for Extremely Low-Income Households). The project will have a proposed Floor Area Ratio ("FAR") of approximately 4.3:1 with approximately 46,528 square feet of floor area. The project provides 26 parking spaces located at subterranean level. The existing two single-family dwellings and attached garages on-site are proposed to be demolished, along with seven (7) non-protected trees are proposed to be removed from the subject site. The project will involve grading and export approximately 6,475 cubic yards of soil.

APPEAL REQUESTS: A partial appeal of the July 28, 2022 Planning Director's Determination which:

1. Determined, pursuant to California Environmental Quality Act ("CEQA") Guidelines, based on the whole of the administrative record, that the Project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Article 19, Section 15332 (Class 32), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

2. Found, based on the independent judgement of the decision-maker, after consideration of the whole of the administrative record, that the project is within the scope of the Exposition Corridor Transit Neighborhood Plan Program EIR No. ENV-2013-622-EIR, SCH. No. 2013031038 ("Program EIR"), pursuant to CEQA Guidelines Sections 15168 and 15162; the environmental effects of the Project were covered in the Program EIR and no new environmental effects not identified in the Program EIR will occur and no new mitigation is required; and the City has incorporated all feasible mitigation measures from the Program EIR on the Project;

3. Approved, pursuant to Los Angeles Municipal Code ("LAMC") Section 12.22.A.31, a Transit Oriented Communities Affordable Housing Incentive Program Compliance Review for a qualifying Tier 3 project totaling 27 dwelling units, reserving three (3) units for Extremely Low Income Household occupancy for a period of 55 years, with the following requested Additional Incentives:

a. Height. A 22-foot increase in the building height, allowing 67 feet in lieu of the maximum 45 feet per the R3-1 Zone;

b. Side Yard/Setback. A 30 percent decrease in the required depth of the northwest side yard, allowing a 6-foot 4-inch northwest side yard setback in lieu of otherwise required 9-foot side yard setback per R3-1 Zone; and

c. Open Space. A maximum 25 percent reduction in the required open space, allowing 3,342 square feet in lieu of the 4,275 square feet otherwise required.

RECOMMENDED ACTIONS:

1. **Deny** the appeal of DIR-2021-5596-TOC-HCA;
2. **Determine**, based on the whole of the administrative record, that the Project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Article 19, Section 15332 (Class 32), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies..
3. **FIND**, pursuant to CEQA Guidelines Sections 15168 and 15162, based on the independent judgement of the decision-maker, after consideration of the whole of the administrative record, that the project is within the scope of the Exposition Corridor Transit Neighborhood Plan Program EIR No. ENV-2013-622-EIR, SCH. No. 2013031038 ("Program EIR"), pursuant to CEQA Guidelines Sections 15168 and 15162; the environmental effects of the Project were covered in the Program EIR and no new environmental effects not identified in the Program EIR will occur and no new mitigation is required; and the City has incorporated all feasible mitigation measures from the Program EIR on the Project.
4. **Sustain** the Director of Planning's Determination to approve the TOC Affordable Housing Incentive Program for a Tier 3 project totaling 27 dwelling units, reserving three (3) units for Extremely Low Income occupancy for a period of 55 years, with Base Incentives and the following Additional Incentives:
 - a. **Height**. A 22-foot increase in the building height, allowing 67 feet in lieu of the maximum 45 feet per the R3-1 Zone;
 - b. **Side Yard/Setback**. A 30 percent reduction in the required depth of the northwest side yard, allowing a 6-foot 4-inch northwest side yard setback in lieu of otherwise required 9-foot side yard setback per the R3-1 Zone; and
 - c. **Open Space**. A maximum 25 percent reduction in the required open space, allowing 3,342 square feet in lieu of the 4,275 square feet otherwise required.
5. **Adopt** the Director of Planning's Conditions of Approval, Findings, and Exhibit "A."

VINCENT P. BERTONI, AICP
Director of Planning

Michelle Singh

Faisal Roble, Principal City Planner

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ADVICE TO PUBLIC: *The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the *Commission Secretariat, Room 273, City Hall, 200 North Spring Street, Los Angeles, CA 90012* (Phone No. 213-978-1300). While all written communications are given to the Commission for consideration, the initial packets are sent to the week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendaized herein, or in written correspondence on these matters delivered to this agency at or prior to the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to these programs, services and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request not later than three working days (72 hours) prior to the meeting by calling the Commission Secretariat at (213) 978-1300.

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PROJECT ANALYSIS

APPELLATE DECISION BODY

Pursuant to Section 12.22 A.31 and 12.22 A.25 of the Los Angeles Municipal Code (“LAMC”), appeals of Transit Oriented Communities (TOC) Affordable Housing Incentive Program cases are heard by the City Planning Commission. The decision of the City Planning Commission is not further appealable.

PROJECT SUMMARY

On July 28, 2022, the Director of Planning approved a Transit Oriented Communities Affordable Housing Incentive Program Compliance Review for a project totaling 27 dwelling units, reserving three (3) units for Very Low Income occupancy for a period of 55 years, with Base Incentives and three (3) Additional Incentives for an increase in height, decreased side yard setback, and a reduction of required open space.

The Project is for the construction of a new six-story, 67-foot tall, 27-unit residential building (including 3 units reserved for Extremely Low-Income Households). The project will have a proposed Floor Area Ratio (“FAR”) of approximately 4.3:1 with approximately 46,528 square feet of floor area. The project provides 26 parking spaces located at subterranean level. The existing two single-family dwellings and attached garages on-site are proposed to be demolished, along with seven (7) non-protected trees are proposed to be removed from the subject site. The project will involve grading and export approximately 6,475 cubic yards of soil. The approved plans are provided in Exhibit “A”; the Director’s Determination is provided in Exhibit “B”; and the environmental clearance under Case No. ENV-2022-5597-CE is provided in Exhibit “C” herein.

The appeal period ended on August 12, 2022. On August 10, 2022, an adjacent property owner filed a partial appeal of the determination, represented by this case.

BACKGROUND

Subject Property

The project site is located at 2456 South Purdue Avenue, approximately mid-block along Purdue Avenue between Exposition Boulevard and Pearl Street. The project site is comprised of two (2) flat, rectangular-shaped lots. In total, the lots cover approximately 15,000 square feet, with approximately 100 feet of frontage along the east side of Purdue Avenue and a lot depth of approximately 150 feet. The project site is located within 1.78 kilometers (1.1 miles) of the Santa Monica Fault. The site is not located within a designated hillside area, a Special Grading Area (BOE Basic Grid Map A-13372), very high fire hazard severity zone, flood zone, landslide, tsunami inundation zone, or liquefaction zone.

The property is currently developed with two single-family dwellings with detached garages, which will be demolished to clear the site. There are no known designated historic resources or cultural monuments on the subject site. Per the Arborist Report (prepared by Brandon’s Landscapes dated September 10, 2021), there are seven (7) non-protected trees on the subject site which will be removed, and one (1) non-protected (Victorian box) street tree located in the public-right-of-way which will remain.

Zoning and Land Use Designation

The site is zoned R3-1 and has a General Plan Land Use designation of Medium Residential, which has corresponding zones of R3 and R3(PV). The R3 Zone allows for a base residential density at a rate of the one unit per 800 square feet of lot area. Height District No. 1 in the R3 Zone allows for a height of 45 feet and the site is limited to a Floor Area Ratio (FAR) of 3:1. The project site is located in the Palms – Mar Vista – Del Rey Community Plan area. The Exposition Corridor Transit Neighborhood Plan (Specific Plan) established by Ordinance 186,402 and effective December 26, 2019, established review procedures, design standards, and environmental standards for the subject site. The project site is in the West Los Angeles Transportation Improvement and Mitigation Specific Plan (WLA TIMP, Ordinance 186,105 and 186,108). The project is subject to Department of Transportation clearance of the WLA TIMP. In addition, the project is within a Tier 3 designation of the Transit Oriented Communities Program. Pursuant to LAMC Section 12.22 A.31 and the TOC Guidelines, the applicant requests a Transit Oriented Communities Compliance Review.

Surrounding Uses

Abutting properties to the north, south, east and west are zoned R3-1 and are developed primarily with multi-family dwellings ranging from one to six stories in height. Properties further to the south (across Pearl Street) are zoned R1-1 and developed with single-family dwellings.

Transit Oriented Communities

Pursuant to the voter-approved Measure JJJ, Los Angeles Municipal Code (LAMC) 12.22-A.31 was added to create the Transit Oriented Communities (TOC) Affordable Housing Incentive Program (TOC Program). The Measure requires the Department of City Planning to create TOC Affordable Housing Incentive Program Guidelines (TOC Guideline) for all Housing Developments located within a ½ -mile (or, 2,640-foot) radius of a Major Transit Stop. These Guidelines provide the eligibility standards, incentives, and other necessary components of the TOC Program consistent with LAMC 12.22-A.31.

A qualifying TOC Project shall be granted Base Incentives with regard to increased residential density, increased floor area ratio, and reduced automobile parking requirements. In addition to these Base Incentives, and eligible project may be granted Additional Incentives with regard to yards and setbacks, open space, lot coverage, lot width, averaging, density calculation, height, and developments in public facility zones. Up to three (3) Additional Incentives may be granted in exchange for providing the requisite set aside of affordable housing as enumerated in the TOC Guidelines.

The subject site is located within a half-mile (2,640 feet) of the Los Angeles County Metropolitan Transportation Authority (“Metro”) “E” (Expo) Light Rail Transit Line Bundy Station and is eligible as a Tier 3 development in the TOC Guidelines, as indicated on the TOC Referral Form dated January 12, 2021. Tier 3 Base Incentives require On-Site Restricted Affordable Units at the rate of 10% for Extremely Low Income, 14% for Very Low Income, or 23% for Lower Income, of the total number of units. Three Additional Incentives may be granted for projects that include at least 11% for Extremely Low Income, 15% for Very Low Income, or 30% for Lower Income, of the base density of units. The Project is proposing three (3) Extremely Low Income units, consistent with the Base Incentive requirements (which requires 10 percent of the 27 total units, or 2.7 units), and which make the project eligible for three Additional Incentives (which requires 11 percent of the 19 base units, or 2.09 units).

Tier 3 Base Incentives:

- a. **Residential Density.** The R3-1 Zone allows for a base density of one dwelling unit per 800 square feet of lot area. As an Eligible Housing Development in TOC Tier 3, the project is eligible for a 70 percent increase in the maximum density to permit a total of 27 dwelling units, in lieu of 19 units as otherwise permitted by the R3 base density.
- b. **Floor Area Ratio (FAR).** The R3-1 zone establishes a by-right FAR of 3.0:1. As an Eligible Housing Development in TOC Tier 3, the project is eligible for a 50 percent increase in FAR, up to 4.5:1. The Project proposes an FAR of 4.3:1, which is a 45 percent increase in FAR.
- c. **Parking.** As an Eligible Housing Development in Tier 3, the project shall not be required to exceed one-half space per unit. The project is required to provide 14 parking spaces under the TOC incentive and is providing 26 spaces.

Tier 3 Additional Incentives:

- a. **Height.** In Tier 3 areas, the TOC incentive for height allows a 22-foot increase in the building height, except projects located on lots with a height limit 45-feet or less shall require any height increases over 11-feet to be stepped-back at least 15-feet from the exterior of the Ground Floor of the building located along any street frontage. In the R3 Zone in Height District 1, the LAMC allows for a maximum building height of 45-feet and unlimited stories. The TOC incentive for height allows a 22-foot increase in the building for a Tier 3 project, allowing a maximum 67-feet in lieu of the 45-feet otherwise allowed by the R3-1 Zone.

The TOC height incentive also requires any height increases over 11-feet to be stepped-back at least 15-feet from the exterior face of the ground floor of the building located along the street frontage. The project is proposing a maximum height of 67-feet and is complying with the 15-foot step-back requirement along the Purdue Avenue façade, as provided in Sheets A2.06, A3.02, A3.04, and A4.02 through A4.04 of Exhibit "A". The project is consistent with the TOC Guideline's height incentive and step-back requirements.

- b. **Yard/Setback.** In Tier 3 areas, the TOC incentive for side and rear yard reductions allows up to a 30 percent reduction in the required width or depth of two individual yards or setbacks.

In the R3 Zone, for a building more than two stories in height, the five-foot side yards are required to be increased by one foot for each additional story above the second story. The proposed project is six (6) stories and therefore has 9-foot required side yards. The project proposes a 6-foot 4-inch side yard on the northwest lot line consistent with TOC Guidelines and as shown in Exhibit "A".

- c. **Open Space.** In Tier 3 areas, the TOC Guidelines allow for an incentive of up to a 25 percent reduction in the required open space.

Based on the number of habitable rooms in the project, a total of 4,275 square feet of open space is required by LAMC Section 12.21.G. The Additional Incentive allows for a maximum 25 percent reduction, which results in a minimum 3,206.25 square feet of open space. The project is providing 3,342 square feet of qualified open space, consistent with the TOC Guidelines open space incentive and as shown in Exhibit "A".

The tables below provide a summary of the relevant and underlying LAMC provisions for the subject property and requested TOC Base and Additional Incentives:

Incentives	Otherwise Allowed/Required	TOC Guidelines	Proposed
Density	18 units	33 units	27 units
FAR	3:1	4.5:1	4.3:1
Parking Spaces	48 spaces	14 spaces	26 spaces
Height	45-feet	67-feet	67-feet
Side Yard/Setback	9-feet	6-feet 3.6-inches	6-feet 4 inches
Open Space	4,275 square feet	3,206.25 square feet	3,342 square feet

Housing Replacement

The Los Angeles Housing Department (LAHD) has determined, per the Housing Crisis Act of 2019 (SB 330) Replacement Unit Determination, dated October 19, 2020 (Exhibit F3), that two (2) units need to be replaced with equivalent type, with one (1) unit restricted to Extremely Low Income Households, and one (1) unit restricted to Very Low Income Households. The project satisfies the TOC Affordable Housing requirement by providing three (3) units restricted to Extremely Low-Income households. This is reflected in the Conditions of Approval.

Public Correspondence

A comment letter was received from the West Los Angeles Sawtelle Neighborhood Council, dated November 17, 2021, stating that, “the Board of Directors voted 9-0 to oppose the project as designed, and authorize the Chair to submit Community Impact Statements in the future.”

Three (3) emails were received from neighbors expressing opposition to the development, with concerns related to the increased density, reduced parking, reduced setbacks, construction impacts including other construction in the neighborhood, and loss of landscaping. The comment letters are provided in Exhibit “G”.

APPEAL ANALYSIS

One appeal was filed by Kathryn Schorr, an owner of a property across the street. The following is a summary of the appeal points and staff’s response. The full appeal justifications are provided in Exhibit “E.” Similar appeal points are grouped for staff response.

APPEAL POINT 1: TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM

Appeal Point 1a (Tier 3 Designation): *The Project was erroneously slated as a Tier 3 incentive area, but fails to comply with the one-half mile radius proximity requirement around a Major Transit Stop. The property is over 2645 feet from the Expo/Sepulveda Metro Station of the Metro Exposition Line. The project should be approved as a Tier 2.*

Appeal Point 1b (Open Space Incentive): *The Determination erroneously identified the allowable open space reduction as “providing useable open space as intended by the code.” The above-ground balconies and concrete slab in the back of the property should not count as “usable open space” as it conflicts with the LAMC.*

Appeal Point 1c (Height Incentive): *The additional height for a 56-foot tall building and allowance for mechanical equipment and other unspecified structures located on the rooftop violates the Residential Citywide Design Guidelines. The building is not similar in scale or size to other dwellings, and will be taller than other buildings in the neighborhood, which will cast shade and block views. The southern end of Purdue Avenue is zoned R-1 but the three adjacent streets are entirely zoned R1; such designation to the west and south of Purdue Avenue would normally require a “step down” zoning designation of R2.*

Appeal Point 1d (Stepbacks): *The Determination identifies measurements and photographs which are inconsistent with the appropriate setback requirements beginning at 56 feet. The additional eleven feet of height incentives are not in fact ‘setback’ per TOC Guidelines “Height incentives.”*

Appeal Point 1e (Transitional height): *The lack of upper story setbacks is in opposition to the TOC Guidelines which requires that building height limit shall be stepped-back at a 45-degree angle as measured from a horizontal plane originating 25 feet above grade at the property line of the adjoining lot in the RW1 Zone or more restrictive residential zone or Specific Plan subarea.*

Appeal Point 1f (Setbacks): *The project fails to provide appropriate front and side yard setbacks.*

Staff Response: The project was reviewed for conformance with the Transit Oriented Communities Affordable Housing Incentive Program. The subject site is located within a half-mile (2,640 feet) of the Los Angeles County Metropolitan Transportation Authority (“Metro”) “E” (Expo) Light Rail Transit Line Expo/Sepulveda Station and is eligible as a Tier 3 development in the TOC Guidelines, as indicated on the TOC Referral Form dated January 12, 2021 (Exhibit F1). The Metro E Line Expo/Sepulveda Station is located on the intersection of Sepulveda Boulevard and Exposition Boulevard. As stated on page 5 of the TOC Guidelines, “Distance is measured from the closest point on any lot to the entrance(s) of a rail station”; the ZIMAS radius map (Exhibit D) demonstrates that the site is well within the half-mile radius boundaries. Therefore, the site meets the half-mile proximity to qualify for Tier 3 of the TOC program.

In Tier 3 areas, the TOC Guidelines allow for an incentive of up to a 25 percent reduction in the required open space. Based on the number of habitable rooms in the project, a total of 4,275 square feet of open space is required by LAMC Section 12.21.G. The Additional Incentive allows for a maximum 25 percent reduction, which results in a minimum 3,206.25 square feet of open space. The project is providing 3,342 square feet of qualified open space, consistent with the TOC Guidelines open space incentive and as shown in Exhibit “A”; open space is provided in the form of a rear yard, courtyard, recreation room, and roof deck. As allowed by LAMC 12.21.G.2.(a)(v), common open space can be located above grade level “in developments built at an R3, RAS3, R4, RAS4, and/or R5 density regardless of the underlying zone.” The project utilizes R3 density of 1 dwelling unit per 800 square feet of lot area, and is therefore allowed to locate common open space in a recreation room and roof deck above grade level. In addition, LAMC Section 12.21 G.2 does not prohibit open space along the rear yard. The rear yard is designed as usable open space that is enhanced with landscaping including trees, LID planters, enhanced paving, and built-in bench seating, as shown in Exhibit “A”. Furthermore, the Director’s Determination for the Transit Oriented Communities Affordable Housing Incentive Program (Exhibit B) is an entitlement for certain incentives provided in exchange for the provision of on-site affordable housing; the Director’s Determination is not a building permit. As specified in Condition 9, “The common open space shall meet the requirements of LAMC Section 12.21 G per the satisfaction of the Department of Building and Safety.”

The TOC Height Incentive allows an additional 22 feet in height, over the base height, for a Tier 3 project, except that in those projects located on lots with a height limit of 45 feet or less, or located within a Specific Plan or overlay district that regulates height, any height increases over 11 feet must be stepped-back at least 15 feet from the exterior face of the Ground Floor of the

building located along any street frontage. In the R3 Zone in Height District 1, the LAMC allows for a maximum building height of 45-feet and unlimited stories. The TOC incentive for height allows a 22-foot increase in the building height for a Tier 3 project, allowing a maximum 67-feet in lieu of the 45-feet otherwise allowed by the R3-1 Zone. The TOC height incentive also requires any height increases over 11-feet to be stepped-back at least 15-feet from the exterior face of the ground floor of the building located along the street frontage. The project is proposing a maximum height of 67-feet and is complying with the 15-foot step-back requirement along the Purdue Avenue façade, as provided in Sheets A2.06, A3.02, A3.04, and A4.02 through A4.04 of Exhibit "A". Specifically, the 6th floor is stepped back 15 feet from the Purdue Avenue façade, and the stepback area is enhanced with common open space and landscaping. While compliance with Citywide Design Guidelines is encouraged for the development of projects, they are not mandatory. As such the project demonstrates to be consistent with the TOC Guideline's height incentive and step-back requirements.

The appellant also contends that the project violates transitional height requirements of the TOC Guidelines, but the applicant is not requesting a transitional height incentive, as otherwise allowed under the TOC Guidelines. The TOC Guidelines include a height incentive that allows an applicant to use the TOC Guidelines transitional height provision in lieu of the transitional height requirements found in LAMC Section 12.21.1 A.10 or any applicable transitional height limits in a Specific Plan. The site is zoned R3-1 and is not subject to transitional height requirements of LAMC Section 12.21.1 A.10 which apply to C or M zoned lots. Furthermore, although the site is located Exposition Corridor Transit Neighborhood Plan (Expo TNP), it is not located with a subarea that is subject to transitional height requirements of the Expo TNP. Therefore, the project is not subject to transitional height requirements of the LAMC or Expo TNP, and therefore the transitional height incentive of the TOC Guidelines is not applicable nor necessary for this case. Lastly, abutting properties to the north, south, east and west are zoned R3-1 and are developed primarily with multi-family dwellings ranging from one to six stories in height; therefore the project will be compatible in height with surrounding buildings.

In Tier 3 areas, the TOC incentive for side and rear yard reductions allows up to a 30 percent reduction in the required width or depth of two individual yards or setbacks. In the R3 Zone, for a building more than two stories in height, the five-foot side yards are required to be increased by one foot for each additional story above the second story. The proposed project is six (6) stories and therefore has 9-foot required side yards. The project proposes a 6-foot 4-inch side yard on the northwest lot line consistent with TOC Guidelines and as shown in Exhibit "A".

The property is not requesting a reduction in the front yard and will provide a 15-foot 6-inch front yard setback (10 feet 6 inches post-dedication), as required by the Exposition Corridor Transit Neighborhood Plan Section 4.3.1.A.2, the front yard setback shall be within 5-feet of the Prevailing Front Setback as defined in LAMC Section 12.08 C.1. The property is not requesting a reduction in the rear yard and will provide a 15-foot rear yard setback; this is consistent with the rear yard setback required by code. The property is not requesting a reduction to the southerly side yard and will maintain the 9-foot side yard; this is consistent with the side yard required by code.

The list of on-menu incentives in the TOC Guidelines were pre-evaluated at the time the Transit Oriented Communities Affordable Housing Incentive Program Ordinance was adopted to include types of relief that minimize restrictions on the size of the project. As such, the Director will always arrive at the conclusion that the on-menu incentives are required to provide for affordable housing costs because the incentives by their nature increase the scale of the project. Therefore, the site and project qualify for the TOC Affordable Housing Incentive Program as an Eligible Housing Development, and is eligible for the incentives granted therein.

APPEAL POINT 2: ENVIRONMENTAL REVIEW

Appeal Point 2a (Class 32 Categorical Exemption): *The project should not be exempt from said environmental review due to the fact that it fails to meet relevant exemption criteria and would fail an appropriate environmental review as required by CEQA Guidelines Section 15300.2. This class is not intended for projects that would result in any significant traffic, noise, air quality, or water quality impacts. This exemption is not limited to any use type and may apply to residential, commercial, industrial, public facility, and/or mixed-use projects.*

Appeal Point 2b (Cumulative Impacts): *The project and successive projects of the same type in the same place will result in cumulative impacts related to traffic, noise, and air quality.*

Appeal Point 2b (Unbundled Parking and Traffic): *The Determination allowing unbundled parking sets a precedent which would create an adverse cumulative traffic impact adverse to CEQA Guidelines and City Traffic Mitigation plans. Monetizing parking in a residential community incentivizes traffic flow, and does not take into account the impact on other similarly situated unbundled parking projects which rent their parking spaces to commercial interested resulting in vastly increased trips throughout the day including 6:00pm peak hour trips. Additionally, the traffic diversion as a result of WAZE and other community-based traffic application devices currently sends peak hour traffic down Purdue to avoid gridlock on Sawtelle. This additional traffic continues to block driveways, create safety hazards for residents using sidewalks and creates a greater likelihood of delayed response times for emergency services.*

Appeal Point 2c (Noise): *The added population density with the close proximity to adjacent dwellings would increase noise.*

Appeal Point 2d (Air Quality): *The project should comply with Information File (ZI NO 2427) Freeway Adjacent Advisory Notice Air Quality which requires discretionary projects within 1,000 feet of a freeway to conform with the General Plan and Citywide Design Guidelines. The “Clean Up Green Up” Initiative requires all new mechanically ventilated buildings located within 1,000 feet of the freeway to install air filtration media that provides a Minimum Efficiency Reporting Value (MERV) of 13.*

Appeal Point 2e (Unusual circumstances): *There are unusual circumstances which create a reasonable possibility of significant adverse effects related to the Tier 3 designation, failure to comply with Design Conformance requirements, and failure to adhere to the West LA TIMP and LADOT Guidelines, usable open space criteria, front and side setbacks, side yard landscaping, height, and setback height requirements. The project may result in damage to scenic resources, including, but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within an officially designated scenic highway.*

Staff Response: As detailed in the Director’s Determination and the rest of the administrative record, the City has provided substantial evidence to support its determination that the Project is exempt from CEQA pursuant to CEQA Guidelines, Section 15332 (Class 32), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

The Appellant has failed to provide substantive evidence to support its allegations that the Project would create excessive traffic, noise, air quality, trees, or result in unusual circumstances or cumulative impacts. Pursuant to Section 15064 of the CEQA Statute and Guidelines, argument, speculation, unsubstantiated opinion or narrative, or evidence that is clearly inaccurate or erroneous, or evidence that is not credible, shall not constitute substantial evidence. Substantial evidence shall include facts, reasonable assumptions predicated upon facts and expert opinion

supported by facts. The appellant has not submitted any evidence to support the claim that the project may have potentially significant impacts. Argument, speculation, unsubstantiated opinion, or narrative does not constitute substantial evidence, as provided in CEQA Guidelines Section 15384, which defines “substantial evidence” as:

(a) “Substantial evidence” as used in these guidelines means enough relevant information and reasonable inferences from this information that a fair argument can be made to support a conclusion, even though other conclusions might also be reached. Whether a fair argument can be made that the project may have a significant effect on the environment is to be determined by examining the whole record before the lead agency. Argument, speculation, unsubstantiated opinion or narrative, evidence which is clearly erroneous or inaccurate, or evidence of social or economic impacts which do not contribute to or are not caused by physical impacts on the environment does not constitute substantial evidence.

(b) Substantial evidence shall include facts, reasonable assumptions predicated upon facts, and expert opinion supported by facts.

Staff have identified two (2) comparable projects that were granted approval for land use entitlements within a 500-foot radius of the subject site:

- Case No. DIR-2018-7647-TOC-CDO-SPR (11430 W. Exposition Blvd)
- Case No. DIR-2015-4086-DB-CDO-SPR (2425 S. Butler Avenue)

In conjunction with citywide RCMs and compliance with other applicable regulations, no foreseeable cumulative impacts are expected.

The project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance, pollutant discharge, dewatering, stormwater mitigations; and Best Management Practices for stormwater runoff. More specifically, RCMs include but are not limited to:

- **Regulatory Compliance Measure RC-AQ-1 (Demolition, Grading and Construction Activities): Compliance with provisions of the SCAQMD District Rule 403.** The project shall comply with all applicable standards of the Southern California Air Quality Management District, including the following provisions of District Rule 403:
 - All unpaved demolition and construction areas shall be wetted at least twice daily during excavation and construction, and temporary dust covers shall be used to reduce dust emissions and meet SCAQMD District Rule 403. Wetting could reduce fugitive dust by as much as 50 percent.
 - The construction area shall be kept sufficiently dampened to control dust caused by grading and hauling, and at all times provide reasonable control of dust caused by wind.
 - All clearing, earth moving, or excavation activities shall be discontinued during periods of high winds (i.e., greater than 15 mph), so as to prevent excessive amounts of dust.
 - All dirt/soil loads shall be secured by trimming, watering or other appropriate means to prevent spillage and dust.
 - All dirt/soil materials transported off-site shall be either sufficiently watered or securely covered to prevent excessive amount of dust.
 - General contractors shall maintain and operate construction equipment so as to minimize exhaust emissions.
 - Trucks having no current hauling activity shall not idle but be turned off.

- **Regulatory Compliance Measure RC-GEO-1 (Seismic):** The design and construction of the project shall conform to the California Building Code seismic standards as approved by the Department of Building and Safety.
- **Regulatory Compliance Measure RC-NO-1 (Demolition, Grading, and Construction Activities):** The project shall comply with the City of Los Angeles Noise Ordinance and any subsequent ordinances, which prohibit the emission or creation of noise beyond certain levels at adjacent uses unless technically infeasible.

In addition, the project shall comply with the Environmental Standards in Appendix D of the Exposition Corridor Transit Neighborhood Plan Specific Plan, which include but are not limited to:

- **Regulatory Compliance Measure (Landscape):** The Project shall comply with Ordinance No. 170,978 (Water Management Ordinance), which imposes numerous water conservation measures in landscape, installation, and maintenance (e.g., use drip irrigation and soak hoses in lieu of sprinklers to lower the amount of water lost to evaporation and overspray, set automatic sprinkler systems to irrigate during the early morning or evening hours to minimize water loss due to evaporation, and water less in the cooler months and during the rainy season).
- **Mitigation Measure (Construction Noise and Vibration):**
 - Construction Staging Areas. The construction contractor shall locate construction staging areas away from Sensitive Land Uses.
 - Construction Noise Barriers. When construction activities are located within 500 feet of Sensitive Land Uses, noise barriers (e.g., temporary walls or piles of excavated material) shall be constructed between activities and Sensitive Land Uses.

These RCMs will ensure the project will not have significant impacts on noise and water.

No Evidence of Traffic Impacts: The Department of Transportation Referral Form dated April 25, 2022 and the VMT calculator indicated that the project will result in an increase of 130 daily vehicle trips, which is under the threshold of 250 or more daily vehicles trips to require VMT analysis. Therefore, the project does not exceed the threshold criteria established by LADOT for preparing a traffic study and will not have any significant impacts to traffic.

No Evidence of Parking Impacts: Furthermore, the project is required to provide 14 parking spaces under the TOC incentive and is providing 26 spaces, consistent with the requirements of Los Angeles Municipal Code 12.22-A.31. TOC Guidelines Section VI.2.c provides that parking maybe sold or rented separately from the units, with the exception of all Restricted Affordable Units which shall include any required parking in the base rent or sales price, as verified by LAHD. Therefore, the project is consistent with the parking requirements of the TOC Guidelines.

No Evidence of air quality impacts: Interim thresholds were developed by DCP staff based on CalEEMod model runs relying on reasonable assumptions, consulting with AQMD staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established SCAQMD construction and operational thresholds. These RCMs will ensure the project will not have significant impacts on noise, air quality, and water. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

The site is located within 1,000 feet of the I-405 and I-10 Freeways and is therefore subject to the Freeway Adjacent Advisory Notice (Zoning Information “ZI” File No. 2427). In regards to the Clean Up Green Up (CUGU) standards, per Section 13.18.C, the CUGU standards apply to all properties identified on the zoning map with a “CUGU” suffix on the zone classification. This site is not identified by the zoning map with an CUGU suffix and therefore the ordinance does not apply. In addition, the project is subject to standard Building Code standards for MERV filtration requirements which is administered by LADBS during building permits. Furthermore, consistent with ZI-2427, the project locates the majority of open space areas as far from the freeway sources as possible by locating the roof deck along the westerly façade and courtyard at the interior of the building; the rear yard is screened with trees and landscaping to serve as a barrier along the westerly property line.

As mentioned, the project proposes a multi-family residential building in an area zoned and designated for such development. Adjacent lots are developed with multi-family residential. The subject site is of a similar size and slope to nearby residential properties. The Floor Area, Density, Height, Yards, and Open Space of the proposed project are consistent with the Zone and Transit Oriented Communities Guidelines, pursuant to LAMC Section 12.22 A.31. The site is not located within a designated hillside area, a Special Grading Area (BOE Basic Grid Map A-13372), very high fire hazard severity zone, flood zone, landslide, tsunami inundation zone, or liquefaction zone. Per the Arborist Report (prepared by Brandon’s Landscapes dated September 10, 2021), there are seven (7) non-protected trees on the subject site which will be removed, and one (1) non-protected (Victorian box) street tree located in the public-right-of-way which will remain. There are no designated historic resources or cultural monuments on the subject site. Thus, there are no unusual circumstances which may lead to a significant effect on the environment, and this exception does not apply.

The current project is in an urbanized area and characterized as in-fill development, which qualifies for the Class 32 Categorical Exemption. As shown in the case file, the project is consistent with the applicable Palms – Mar Vista – Del Rey Community Plan designation and policies and all applicable zoning designations and regulations.

APPEAL POINT 3: WEST LOS ANGELES TRAFFIC IMPACT MITIGATION PLAN

Appeal Point 3a (WEST LA TIMP): *The Determination made an erroneous finding when it determined that the project adheres to the West Los Angeles Traffic Impact Mitigation Plan and the Los Angeles Department of Transportation Guidelines. The West LA TIMP requires mitigation measures be undertaken or guaranteed to reduce the significant transportation impacts of a project to a level of insignificance.*

Staff Response: The project site is in the West Los Angeles Transportation Improvement and Mitigation Specific Plan (WLA TIMP, Ordinance 186,105 and 186,108). The project is subject to Department of Transportation clearance of the WLA TIMP during the building permit process, consistent with ZI-2192.

APPEAL POINT 4: AFFORDABLE HOUSING

Appeal Point 4a (Managers Unit): *The Determination fails to address the requirement of California Civil Code Title 25, Section 42 which requires a manager, janitor, housekeeper, or other responsible person to live on the premises and have charge of every apartment complex that has sixteen (16) or more apartments units on the property if the property owner does not live on the premises.*

Appeal Point 4b (Enforceability): *While this project and others of its kind apparently receive approvals and incentives for affordable housing, there is no oversight or compliance mechanism to ensure that such affordable housing is in fact provided by the builder. The City's Systemic Code Enforcement Program inspection and compliance oversight is inadequate.*

Staff Response: A Director's Determination for the Transit Oriented Communities Affordable Housing Incentive Program (Exhibit B) is an entitlement for certain incentives provided in exchange for the provision of on-site affordable housing. The Conditions of Approval address the maximum density (Condition 2), affordable units (Condition 3), and housing requirements (Condition 5), and do not preclude the provision of a manager's unit. The project proposes one (1) Manager's Unit, as noted on the Transit Oriented Communities Referral Form (Exhibit F1), consistent with California Civil Code Title 25, Section 42.

In addition, the Los Angeles Housing Department (LAHD) has determined, per the Housing Crisis Act of 2019 (SB 330) Replacement Unit Determination, dated October 19, 2020 (Exhibit F3), that two (2) units need to be replaced with equivalent type, with one (1) unit restricted to Extremely Low Income Households, and one (1) unit restricted to Very Low Income Households. The project satisfies the TOC Affordable Housing requirement by providing three (3) units restricted to Extremely Low-Income households. Section VIII of the TOC Guidelines requires a Covenant and agreement guaranteeing that affordability criteria will be observed for at least 55 years. This is further reflected in the Conditions of Approval. Specifically, LAHD is responsible for enforcing the affordability requirements for the project, as provided in Condition 5 in the Director's Determination, which reads in pertinent part:

"Prior to issuance of a building permit, the owner shall execute and record a covenant and agreement running with the land to the satisfaction of the Los Angeles Housing Department (LAHD) to make three (3) unit for Extremely Low Income Households for rental as determined to be affordable to such households by LAHD for a period of 55 years. In the event the applicant reduces the proposed density of the project, the number of required set aside affordable units may be adjusted, consistent with LAMC Section 12.22-A.25, to the satisfaction of LAHD, and in consideration of the project's SB 330 Determination. Enforcement of the terms of said covenant shall be the responsibility of LAHD. The Applicant will present a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the Guidelines for the Affordable Housing Incentives Program adopted by the City Planning Commission and any monitoring requirements established by the LAHD".

APPEAL POINT 5: DESIGN CONFORMANCE

Appeal Point 5a (Citywide Design Guidelines Compliance): *The project fails to comply with the Design Conformance requirements of the TOC Guidelines which includes the Citywide Design Guidelines. The applicant fails to comply with approximately 59 of 66 Citywide Design Guidelines and Community Plan Design Guidelines."*

Appeal Point 5b (Neighborhood Context): *The project violates Residential Citywide Design Guidelines to "provide a sensitive transition by maintaining a height compatible with adjacent buildings. Mitigate negative shade/shadow and privacy impacts." The project also violates Residential Citywide Design Guidelines that requires "new buildings are compatible in scale, massing, style, and/or architectural materials with existing structures in the surrounding neighborhood. In older neighborhoods, new developments should likewise respect the character of existing buildings with regards to height, scale, style, and architectural materials"*

Appeal Point 5c (Landscaping): *The project fails to provide side yard landscaping in opposition to Residential Citywide Design Guidelines.*

Staff Response: Compliance with the Citywide Design Guidelines are encouraged yet not mandatory for developments. The applicant references Residential Citywide Design Guidelines for Neighborhood Context that are outdated and superseded by the current Citywide Design Guidelines that focus on Pedestrian First Design, 360 Degree Design, and Climate Adapted Design.

The proposed project was reviewed by the Department of City Planning's Urban Design Studio (UDS) on September 8, 2021. The resulting comments and suggestions focus primarily on the pedestrian experience, 360-degree design, and climate adaptive design. The following includes a discussion of UDS comments and suggestions and the applicant's response:

Pedestrian First Design

- Verify with LADWP if a transformer is required and, if so, where it will be placed.
- The driveway placement is good

360 Degree Design

- Verify how the 6th floor deck trees will be recessed and how will it affect the floor below.
- Consider ways to improve the side (north and south) elevations with additional windows or other treatments.
- Consider moving the gym to be adjacent the rear yard and provide roll-up doors to activate and interface with the rear yard space.

Climate Adapted Design

- Consider larger planters for the trees on the 6th floor deck and rear yard to ensure they will have the ability to grow and increase their canopy size per the Soil Depths resource guide.
- The open front stairwell is good.

The applicant responded that LADWP does not require a transformer for the site, and that the 6th floor deck trees are elevated and will not affect the floor below. The applicant responded that adding windows to the side yards is not feasible as they are structural walls, and that the gym is designed to activate the courtyard so that the rear yard will be a tranquil garden space.

As provided under Appeal Point 1, the project is requesting a TOC incentive for a reduced northwest side yard of 6 feet 4 inches in lieu of the 9 feet otherwise required. The project is not requesting a reduction in and is therefore consistent with the front, rear, or southerly side yard required by the Expo TNP and LAMC, respectively. The project has a 15 foot front yard setback, providing landscaping, ADA ramping, and wide steps for pedestrian accessibility. The driveway is located at the southerly edge of the building separate from the pedestrian access. As shown in Exhibit "A", the central courtyard, balconies, and stepback provide breaks in the building massing, and articulation is provided through window sizes and dimensions. Therefore, the project is organized and shaped to recognize and respect the surrounding context, consistent with the Citywide Design Guidelines.

Furthermore, the project site is subject to the Exposition Corridor Transit Neighborhood Plan established by Ordinance 186,402 and effective December 26, 2019, which established review procedures, design standards, and environmental standards for the subject site. Therefore, as conditioned and as required by the Expo TNP, the project is subject to administrative review for compliance with the Expo TNP standards during the building permit review process. Specifically, Condition 15 in the Director's Determination, reads in pertinent part:

“Specific Plan. Prior to the issuance of a building permit, the applicant shall demonstrate compliance with the Exposition Corridor Transit Neighborhood Plan Specific Plan (“Expo TNP”) pursuant to Ordinance No. 186,402, including but not limited to:

- a. Street-fronting residential units on the ground floor shall each have a primary entrance facing the street per Expo TNP Section 4.3.2.A.1.*
- b. Primary pedestrian entrances shall be prominent and distinguished through architectural features such as, but not limited to, front porches, overhead projections, columns, side windows, or recessed planes per Expo TNP Section 4.3.2.A.2.*
- c. Visible exterior surfaces of the proposed structure, fencing, recreational equipment, or outdoor art installations shall be constructed of materials such as, but not limited to, high-performance and/ or non-reflective tinted glass (without mirror-like tints or films), pre-cast concrete, fabricated wall surfaces, composite materials, wood, coated metal, and stone to minimize glare and reflected heat per Expo TNP 4.3.3.B.2.*
- d. At least 50% of hardscape areas shall include permeable paving, except where not feasible due to water table levels, contamination, or permeability of the soil per Expo TNP 4.3.4.A.2.”*

As previously stated, the project will need to be reviewed for compliance with LAMC 12.21. G in relation to open space, trees, and landscaping. Furthermore, in exchange for the open space and yard incentives, the project is also conditioned to provide 10 percent more landscape points, as provided in Condition 13 in the Director’s Determination, which reads in pertinent part.

“Revised landscape plans shall be submitted to show the size and location of all plants. The landscape plan shall indicate landscape points for the Project equivalent to 10% more than otherwise required by LAMC 12.40 and Landscape Ordinance Guidelines “O”. All open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be landscaped, including an automatic irrigation system, and maintained in accordance with a final landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning. The final landscape plan shall be in substantial conformance with the submitted Landscape Plan, Exhibit “A,” and shall incorporate any modifications required as a result of this grant.”

Lastly, the subject site is located within a half-mile (2,640 feet) of the Los Angeles County Metropolitan Transportation Authority (“Metro”) “E” (Expo) Light Rail Transit Line Expo/Sepulveda Station and is eligible as a Tier 3 development in the TOC Guidelines, as indicated on the TOC Referral Form dated January 12, 2021 (Exhibit F1). Therefore, the site is within a Transit Priority Area as defined by Public Resources Code (“PRC”) Section 21099. Senate Bill (SB) 743 sets forth guidelines for evaluating aesthetic impacts of a project located in a transit priority area (TPA) under CEQA as follows: “Aesthetic and parking impacts of a residential, mixed-use residential, or employment center project on an infill site within a transit priority area (TPA) shall not be considered significant impacts on the environment.” Pursuant to Public Resources Code Section 21099(a)(7), a TPA is defined as an area within one-half mile of a major transit stop that is existing or planned, and a major transit stop is defined as a site containing an existing rail transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods. Pursuant to Public Resources Code Section 21099(a)(4), an infill site is a lot located within an urban area that has been previously developed, or on a vacant site where at least 75 percent of the perimeter of the site adjoins, or is separated only by an improved public right-of-way from, parcels that are developed with qualified urban uses. The City’s Zoning Information (“ZI”) No. 2452 provides further information regarding SB 743 and states that “visual resources, aesthetic character, shade and shadow, light and glare, and scenic vistas or any other aesthetic impact as defined in the City’s CEQA Threshold Guide shall not be considered

an impact for infill projects within TPAs pursuant to CEQA.” Therefore, as the project is located in a transit priority area, the lead agency is precluded by SB 743 from finding that a project will result in aesthetic impacts, including those relating to shade and shadow.

Therefore, the project is in substantial compliance with the applicable Citywide Design Guidelines and is conditioned for further review of Expo TNP and landscape points requirements.

CONCLUSION

In consideration of the foregoing, it is submitted that the Director of Planning acted reasonably in approving Case Nos. DIR-2021-5596-TOC-HCA and ENV-2021-5597-CE. Upon in-depth review and analysis of the issues raised by the appellant for the proposed Project at 2456-2460 South Purdue Avenue, no errors by the Director of Planning or his/her designees were found in regards to the appeal points raised. For the reasons stated herein, and as provided in the Findings in the Director’s Determination, the proposed Project does comply with the applicable provisions of the Transit Oriented Communities Housing Incentive Program, the Exposition Corridor Transit Neighborhood Plan, the California Environmental Quality Act and Los Angeles Municipal Code. The appeal of the Director’s Determination cannot be substantiated and therefore should be denied.

Therefore, it is recommended that the City Planning Commission Deny the appeal; Determine, based on the whole of the administrative record, that the Project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Section 15332 (Class 32), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies; Find that the project is within the scope of the Exposition Corridor Transit Neighborhood Plan Program EIR; Sustain the Determination by the Director of Planning; and Adopt the Director of Planning’s Conditions of Approval, Findings, and Exhibit “A.”

EXHIBIT A

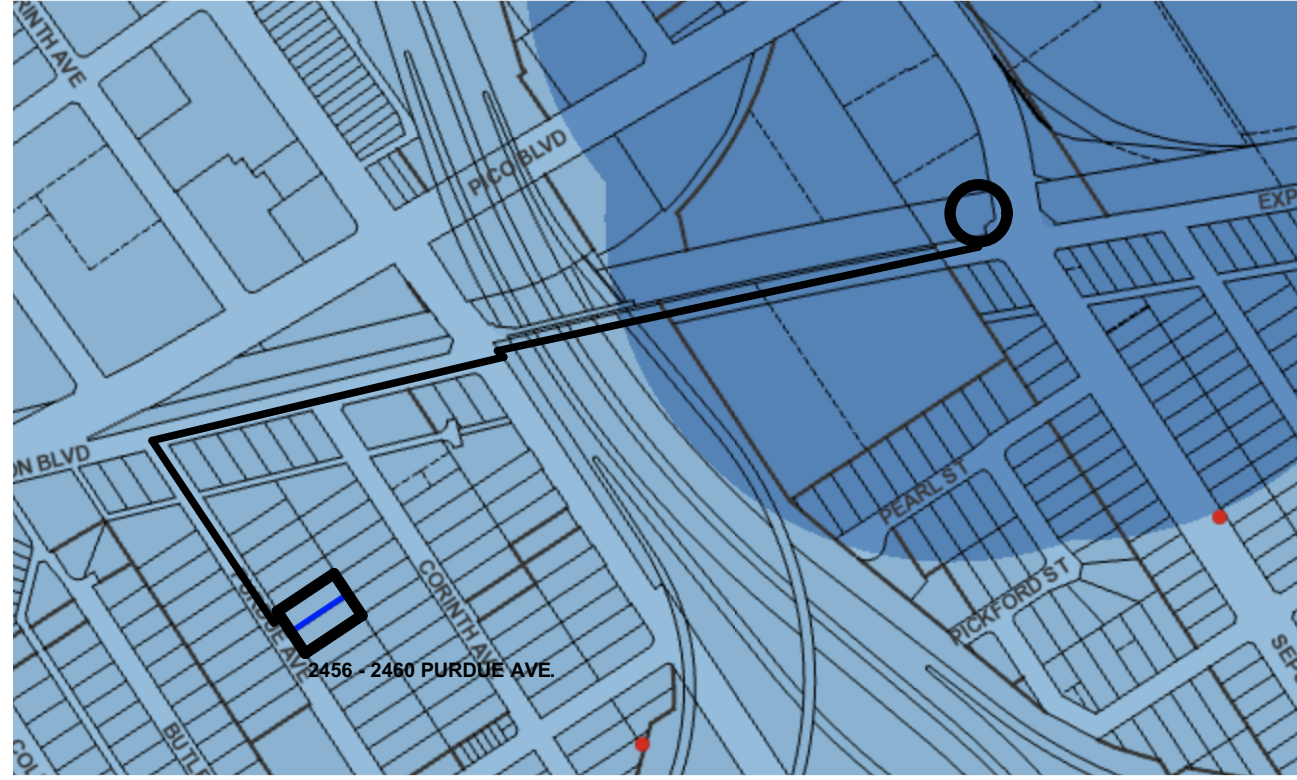
PROJECT PLANS

DIR-2021-5596-TOC-HCA-1A

PURDUE



VICINITY MAP



VICINITY MAP

DISTANCE: 0.5 miles from a major transit stop (Exposition/Sepulveda)



ZIMAS MAP

SHEET INDEX

GENERAL

- A0.00 COVER SHEET
- A0.20 MATERIAL BOARD & ELEVATION
- A0.21 FRONT FACADE TRANSPARENCY DIAGRAM

DIAGRAMS

- A0.41 AREA + OCC. DIAGRAMS
- A0.42 ZONING DIAGRAMS
- A0.43 SCHOOL DISTRICT FEE AREA

SITE INFORMATION

- A1.00 SURVEY
- A1.01 SITE PLAN

PROPOSED FLOOR PLANS

- A2.00 GARAGE PARKING PLAN
- A2.01 FIRST FLOOR PLAN
- A2.02 SECOND FLOOR PLAN
- A2.03 THIRD FLOOR PLAN
- A2.04 FOURTH FLOOR PLAN
- A2.05 FIFTH FLOOR PLAN
- A2.06 SIXTH FLOOR PLAN
- A2.07 ROOF PLAN

UNIT PLANS

- A2.10 TYP. UNIT PLANS

EXTERIOR ELEVATIONS

- A3.00 SOUTHWEST ELEVATION (PURDUE AVE)
- A3.01 NORTHWEST ELEVATION
- A3.02 SOUTHEAST ELEVATION
- A3.04 SOUTHWEST ELEVATION

SECTION

- A4.00 SECTION A
- A4.01 SECTION B
- A4.02 SECTION C
- A4.04 SECTION D

DETAILS

- A7.26 PARKING RAMP

LANDSCAPE

- L1.00 LANDSCAPE SCHEDULE AND NOTES
- L1.10 CONSTRUCTION PLAN 1ST FLOOR
- L1.60 CONSTRUCTION PLAN 6TH FLOOR
- L2.00 LANDSCAPE CONSTRUCTION DETAILS
- L3.00 IRRIGATION CALCULATIONS
- L3.01 IRRIGATION SCHEDULE AND NOTES
- L3.60 IRRIGATION PLAN 6TH FLOOR
- L4.00 IRRIGATION DETAILS
- L4.10 IRRIGATION DETAILS
- L5.00 PLANTING SCHEDULE AND NOTES
- L5.10 PLANTING PLAN 1ST FLOOR
- L5.60 PLANTING PLAN 6TH FLOOR
- L6.00 PLANTING DETAILS
- L7.10 LANDSCAPE LIGHTING PLAN 1ST FLOOR
- L7.60 LANDSCAPE LIGHTING PLAN 6TH FLOOR

ABBREVIATIONS

ARCH.	Architectural
A.F.F.	Above Finished Floor
B.O.	Bottom of Building
BLK.	Block
BM.	Beam
CLR.	Clear
CLG.	Ceiling
COL.	Column
CONC.	Concrete
CONT.	Continuous
D.	Dryer
DIA.	Diameter
DIM.	Dimension(s)
DW.	Dishwasher
DWC.	Drawing
ELEV.	Elevation
EQ.	Equal
EXT.	Exterior
FIN.	Finish
F.F.	Finish Floor
F.G.	Finish Grade
FLR.	Floor
FT.	Foot
FTG.	Footings
GALV.	Galvanized
GYP. BD.	Gypsum wallboard
H.H.	Head height
HDR.	Header
HT.	Height
INT.	Interior
L.A.	Landscape Architect
LT. WT.	Light Weight
MIN.	Minimum
MAX.	Maximum
MECH.	Mechanical
MFR.	Manufacturer
MICRO.	Microwave
MTL.	Metal
NO.	Number
O.C.	On center
OI.	Over
PLYWD.	Plywood
PR.	Pair
PTD.	Painted
R.	Risers
R.O.	Rough Opening
R.R.	Research Report
REF.	Refrigerator
REQ.	Required
REV.	Revision / Revised
SHT.	Sheet
SIM.	Similar
ST. STL.	Stainless Steel
STL.	Steel
STRUCT.	Structural
SQ.	Square
T.	Treads
TBD.	To Be Determined
T&G.	Tongue & groove
T.F.	To Finish
T.O.	Top of
TYP.	Typical
U.N.O.	Unless noted otherwise
V.I.F.	Verify in field
W.	Washer
W.	With
WD.	Wood

SYMBOL LEGEND

REVISION	
DOOR	
WINDOW	
EXTERIOR ELEVATION	
BUILDING SECTION	
WALL SECTION	
INTERIOR ELEVATION	
SECTION DETAIL INDICATOR	
WALL TYPE	
CEILING HEIGHT	
FINISH MATERIAL	
ELEVATION DATUM LINE	
KEY NOTE	
GREEN BUILDING KEYNOTE	
SLOPE	
ALIGN	
PLAN DETAIL INDICATOR	
SLOPE	
MAX. ELEVATION TRANSITION	
FLOOR ELEVATIONS	
SOLAR INVERTER & METER LOCATION	
WATER HEATER LOCATION	
MAIN SERVICE ELEC. PANEL/W MIN. BUSBAR RATING OF 200 AMPS	
IRRIGATION CONTROLLER SEE L1 & I1-14	
RAIN SENSOR DEVICE SEE L1 & I1-14	
FUTURE ELECTRICAL VEHICLE SUPPLY EQUIP.	
CENTERLINE	
PROPERTY LINE	
SETBACK LINE	

CALCULATIONS

FLOOR AREA TABULATION (SEE A0.41 - A0.43) BUILDING CODE AREA EXCLUDING EXTERIOR WALLS, AREA OF COURTS AND SHAFTS *ZONING FLOOR AREA EXCLUDING EXTERIOR WALLS, SHAFTS, MECHANICAL, STAIRS AND PARKING PER FLOOR AREA DEFINITION (LDC 12.53)		
ZONING AREA CALCULATIONS		
LEVEL	AREA	OCCUPANCY
GARAGE	233 SF	STORAGE GROUP (S-2)
LEVEL 1	7,846 SF	RESIDENTIAL GROUP (R-2)
LEVEL 2	6,215 SF	RESIDENTIAL GROUP (R-2)
LEVEL 3	8,210 SF	RESIDENTIAL GROUP (R-2)
LEVEL 4	8,208 SF	RESIDENTIAL GROUP (R-2)
LEVEL 5	6,110 SF	RESIDENTIAL GROUP (R-2)
LEVEL 6	5,708 SF	RESIDENTIAL GROUP (R-2)
TOTAL	46,528 SF	
UNIT & BEDROOM COUNT		
UNIT TYPE	UNIT COUNT	BEDROOM COUNT
1 BD / 1 BA	4	4
2 BD / 2 BA	2	4
4 BD / 2 BA	1	4
4 BD / 3 BA	1	4
5 BD / 1 STUDY / 4 BA	9	45
5 BD / 1 STUDY / 5 BA	10	50
TOTAL	27	111
BIKE PARKING		
LONG TERM (1 PER UNIT)	27 REQUIRED	
SHORT TERM (1 PER 10 UNITS)	3 PROVIDED	
T.O.C. - TIER 3 - BASE INCENTIVES		
1. FAR: 50% INCREASE	LOT AREA: 15,000 SF	
BUILDABLE AREA: 10,800 SF		
FAR RATIO: 3:1 (REQUIRED)		
BUILDABLE AREA x FAR FACTOR: 32,400 SF		
MAXIMUM ALLOWED: 48,600 SF ALLOWED (32,400 SF + 50% T.O.C. INCREASE)		
MAXIMUM FAR RATIO ALLOWED: 4.5:1		
PROVIDED ZONING AREA: 46,528 SF (SEE DIAGRAM OF CALCULATIONS ON A0.42)		
PROVIDED FAR RATIO: 4.3:1		
2. DENSITY: 70% INCREASE	800 SF	
MIN. LOT AREA PER D.U.: 19 UNITS (15,000 SF / 800 SF, ROUNDED UP)		
MAX. # OF UNITS WITH 70% T.O.C. INCREASE: 19 UNITS x 1.7 (70% T.O.C. INCREASE) = 33 UNITS ALLOWED		
PROVIDED: 27 D.U. OF WHICH, 10% (3 UNITS) ARE E.L.I. UNITS		
3. RESIDENTIAL PARKING: 0.5 PARKING SPACES PER UNIT	27 UNITS x 0.5 (T.O.C.) REQUIRED: 14 SPACES (INCLUDING 1 ACCESSIBLE)	
PROVIDED PARKING: 26	SPACES (8 EV PROVIDED)	
PROVIDED PARKING BREAKDOWN: 23 STANDARD (8 EV)		
3 COMPACT		
1 ACCESSIBLE VAN		
*PER GREEN CODE, 30% OF PROVIDED PARKING SHALL BE EV, 10% OF PROVIDED PARKING SHALL BE EV CHARGING STATIONS. (SEE GARAGE PARKING PLAN A2.01)		
7 STANDARD EV, 1 ADA EV, 3 CHARGING STATIONS PROVIDED		
T.O.C. - TIER 3 - ADDITIONAL INCENTIVES		
1. HEIGHT: 22' INCREASE IN MAXIMUM BUILDING HEIGHT	REQUIRED MAX. HEIGHT: 45'	
INCREASED MAX. HEIGHT: 67' (45' + 22')		
PROPOSED HEIGHT: 67'		
2. OPEN SPACE: 25% REDUCTION REQUIREMENTS: 100 SF / UNIT < 3 HABITABLE ROOMS	QTY: 6	REQUIRED AREA: 600 SF
125 SF / UNIT = 3 HABITABLE ROOMS		
175 SF / UNIT > 3 HABITABLE ROOMS	21	3,675 SF
TOTAL REQUIRED:		4,275 SF
**T.O.C. TIER 3 DECREASE OF 25% = 3,206.25 SF OPEN SPACE REQ.		
PROVIDED REAR YARD COMMON OPEN SPACE (COURT YARD)	1,451 SF	
REC ROOM	826 SF	
ROOF DECK	637 SF (MIN. 600 SF & MAX. 25 % OF REQUIRED 3,206.25 SF = 801.6 SF)	
TOTAL	3,914 SF	
3. SET BACK REDUCTION: 30% REDUCTION OF TWO YARDS		
1 YARD REDUCTION USED	9'-0"	REQUIRED (5' + 1' FOR EACH STORY OVER 2ND)
SIDE YARD SETBACK	6'-4"	REQUIRED WITH 30% T.O.C. TIER 3 DECREASE

PREVAILING FRONT YARD SETBACK CALCULATIONS		
Enter the Lot information after adding lots:		
Add Lot	Frontage (ft)	Setback (ft)
1	100	22.9
2	50	20.9
3	50	10.5
4	50	20.8
5	50	20.8
6	50	23.9
7	50	22.2
8	50	9.6
9	50	24.1
10	50	22.7
11	50	20.3
12	50	12.6
13	50	25.7
Clear		
Calculate		
View Calculation Details		
Results		
Number of lots: 13		
Prevaling Setback: 19.60'		
Calculation		
Total no of lots entered: 13		
Total frontage entered: 700.00 ft		
40% from total frontage entered: 280.00 ft		
No of lots used in the calculation: 6		
Setback range used: 12.60 ft - 22.20 ft		
Total frontage used in the calculation: 300.00 ft		
Lots Used		
Lot	Frontage (ft)	Setback (ft)
2	50.00	20.90
4	50.00	20.80
5	50.00	20.80
7	50.00	22.20
11	50.00	20.30
12	50.00	12.60

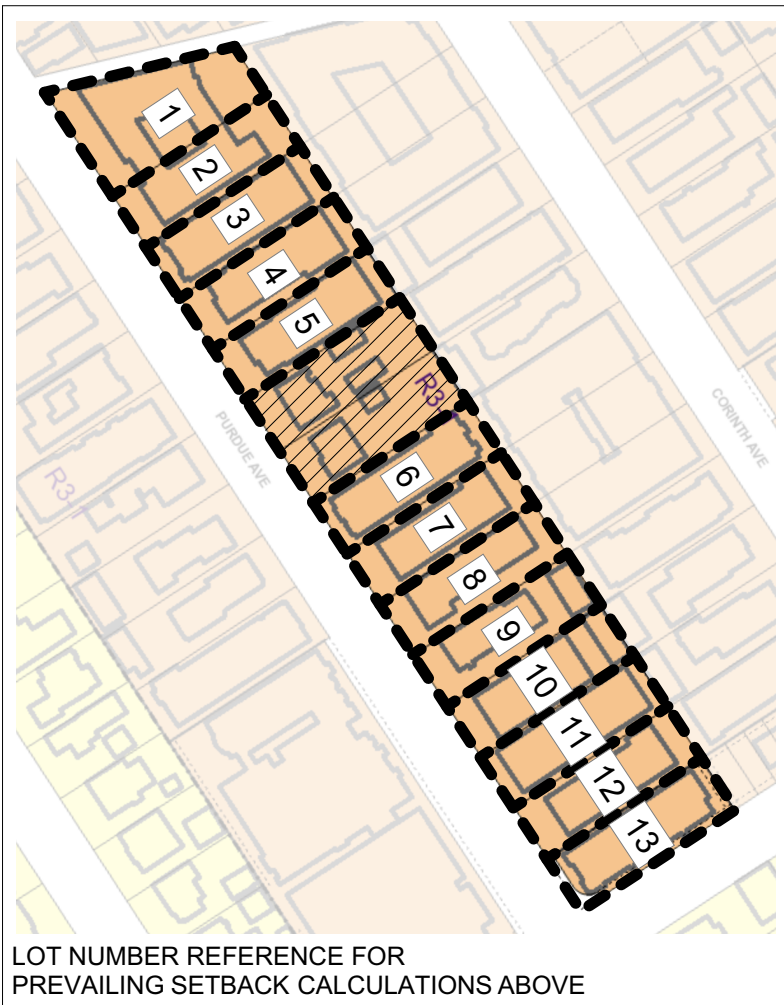
PREVAILING FRONT YARD SETBACK 19.6'

PROPOSED FRONT YARD SETBACK 19.6'

SEE EXPOSITION CORRIDOR SPECIFIC PLAN 4.3.1 A.2

PROPOSED FRONT YARD SETBACK IS WITHIN 5' OF PREVAILING FRONT YARD SETBACK

SEE PLANS A0.10-A0.17 FOR LOCATION OF ALL SETBACKS.



TREE COUNT	
PER LAMC 12.21.G.a.3	
REQUIRED	1 TREE / 4 D.U.
PROVIDED	7 TREES (27 D.U. / 4)
SEE PLANS A0.10-A0.17 FOR TREE LOCATIONS	
ALLOWABLE AREA CALCULATION SEE A0.41 FOR BUILDING CODE FLOOR AREA SUMMARY	
A ₁ = [24,000 + (24,000 x 0)] x 2 = 48,000 SF	
(TOTAL ALLOWABLE AREA OF THE 5-STORY TYPE III-A PORTION ABOVE THE TYPE I-A GROUND FLOOR)	
(HORIZONTAL BUILDING SEPARATION SHALL COMPLY WITH CBC 510.2)	

PROJECT INFORMATION

PROJECT ADDRESS:	2456 - 2460 PURDUE AVE. LOS ANGELES, CA 90064
ZONE:	R-3-1
OCCUPANCY:	R-2 / S-2
CONSTRUCTION TYPE:	LEVEL 1-1: TYPE I-A LEVEL 2-6: TYPE III-A
NUMBER OF STORIES:	6
HEIGHT:	MAXIMUM HEIGHT + TOC INCREASE: 45' + 22' = 67'
PROPOSED HEIGHT:	67'
LEGAL DESCRIPTION:	APN: 4260038030 & 4260038029 TRACT: TRS842 BLOCK: 6 LOT: 29, 30
PROJECT DESCRIPTION:	NEW 6-STORY MULTI-FAMILY RESIDENTIAL APARTMENT BUILDING (R-2) OVER 1 PARKING GARAGE BELOW GRADE (S-2), WITH 27 DWELLING UNITS, 3 ARE AFFORDABLE UNITS FOR E.L.I. (10%). THIS PROJECT IS A TOC TIER 3 PROJECT USING 3 BASE INCENTIVES AND 3 ADDITIONAL INCENTIVES.
REQUIRED SETBACKS:	(SW) FRNT 5'-0" REQ'D HIGHWAY DEDICATION 15'-4" PROVIDED (10'-4" AFTER HIGHWAY DEDICATION) (4'-1" FROM PREVAILING SETBACK OF 19.60') (NW) SIDE 9'-0" REQ'D (5' + 1' FOR EACH STORY OVER 2ND) 30% TOC DECREASE (SEE CALC'S) 6'-4" PROVIDED (SE) SIDE 9'-0" REQ'D (5' + 1' FOR EACH STORY OVER 2ND) 9'-4" PROVIDED (NE) REAR 15'-0" REQ'D 15'-0" PROVIDED
SPRINKLERS:	NFPA 13, FULLY SPRINKLERED THROUGHOUT
LOT SIZE:	15,000 SF
BASE BUILDABLE AREA:	10,800 SF
FAR (3:1 REQ'D):	10,800 SF x 3 (FAR FACTOR) = 32,400 SF ALLOWED TOC 50% INCREASE = 48,600 SF MAX. ALLOWED 46,528 SF PROVIDED (FAR 4.3:1)
APPLICABLE CODES:	2020 LABC 2020 LA CITY GREEN BLDG CODE 2021 LAMC

SPECIFIC PLAN: EXPOSITION CORRIDOR TRANSIT NEIGHBORHOOD PLAN WEST LA TRANSPORTATION IMPROVEMENT AND MITIGATION	
DEFERRED SUBMITTALS: - EXISTING SITE DEMO - MEP - FIRE SPRINKLERS - SITE WALL - SHORING - GRADING - FIRE ALARM SYSTEM & MONITORING - EMERGENCY RESPONDER RADIO COVERAGE - SOLAR PHOTOVOLTAIC SYSTEMS	
FUNDING NOTE: THIS IS NOT A PUBLIC HOUSING FACILITIES OWNED AND OR OPERATED BY, FOR OR ON BEHALF OF A PUBLIC ENTITY AND NO TAX CREDIT RECEIVED FROM STATE OR FEDERAL. NOT A TOC FACILITY, 100% PRIVATELY FUNDED.	
FIRE ALARM NOTE: THIS BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH THE CAPACITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH NFPA-72	
TWO-WAY RADIO NOTE: BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS. SEE LOS ANGELES FIRE CODE SECTION 510 FOR MORE DETAILS	
ELEVATOR NOTE: PROVIDE STANDBY POWER IN ACCORDANCE WITH CBC CH 27 AND CBC 3003 (1009.2.1).	

PROJECT PARTICIPANTS

OWNER:	PURDUE MANAGEMENT
ARCHITECT:	MARK BITTONI BITTONI ARCHITECTS 4909 W JEFFERSON BLVD. LOS ANGELES, CA 90016 T: 310-841-6857
GENERAL CONTRACTOR:	TBD
STRUCTURAL ENGINEER:	BEN JOHN WORKPOINT ENGINEERING 6007 WASHINGTON BLVD. CULVER CITY, CA 90232 T: 424-208-4764
SURVEYOR:	H.J. BURKE, INC. 830 S. DURANGO DR, SUITE 100 LAS VEGAS, NV 89145 T: 310-633-1213
SOILS ENGINEER:	APPLIED EARTH SCIENCES 4742 SAN FERNANDO RD. GLENDALE, CA 91204 T: 818-552-6000
CIVIL ENGINEER:	GASPAR OBANDO OBANDO AND ASSOCIATES, INC. 1453 14TH ST, SUITE A SANTA MONICA, CA 90404 T: 310-821-7555
MEP ENGINEER:	JACOB CHAN TPM COLLAB T: 310-600-8172
LANDSCAPE ARCHITECT:	CRAIG BIESOCKER ENVIRONMENTAL DESIGN STUDIO 201 N. WESTMORELAND AVE. SUITE 126 LOS ANGELES, CA 90004 T: 213-202-2754

** THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR & UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOKUP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS &/OR ADDITIONAL EXPENSES.

** AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER & BE REIGLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170.158) (INCLUDES COMMERCIAL ADDITIONS & TI WORK OVER \$10,000.) SEPARATE PLUMBING PERMIT IS REQUIRED.

** PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL IN CONSTRUCTION. USE OF WATER RESISTANT GYPSUM BACKING BOARD SHALL BE AS STATED IN SECTION 2509.3

** WATER HEATERS MUST BE STRAPPED TO A WALL (SEC. 507.3, UPC).

** A COPY OF THE EVALUATION REPORT &/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

EXHIBIT "A"

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bittoni
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2456 - 2460
PURDUE

2456 - 2460 Purdue Ave
Los Angeles, CA 90064



05.03.22	PLANNING SET
07.12.21	PC SUBMISSION 1
04.15.21	PZA PC RESPONSE 2
03.04.21	PZA PC RESPONSE 1
DATE	DESCRIPTION

PROJECT NO: #Project Code

SHEET NAME

COVER SHEET

PUBLISHED: 5/10/2022

A0.00

SHEET 1 OF 152



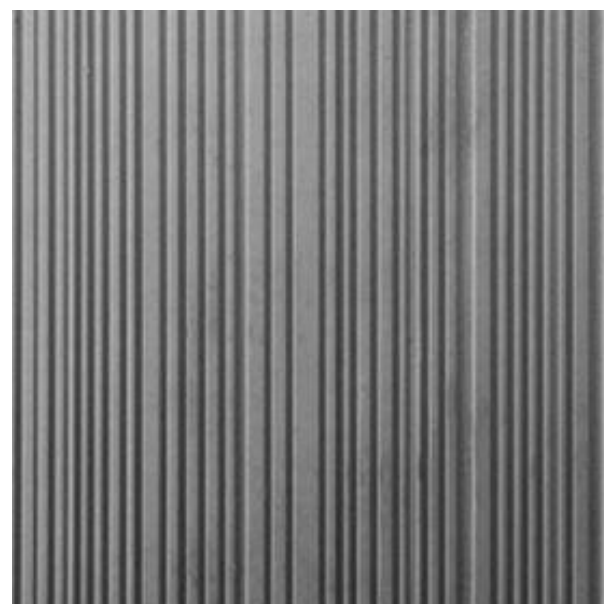
CN-1

SAND BLASTED
HIGH DENSITY
RUNNING BOND
CMU
COLOR: GRAY



CN-2

STRIATED
CONCRETE
VERTICAL
COLOR: BLACK



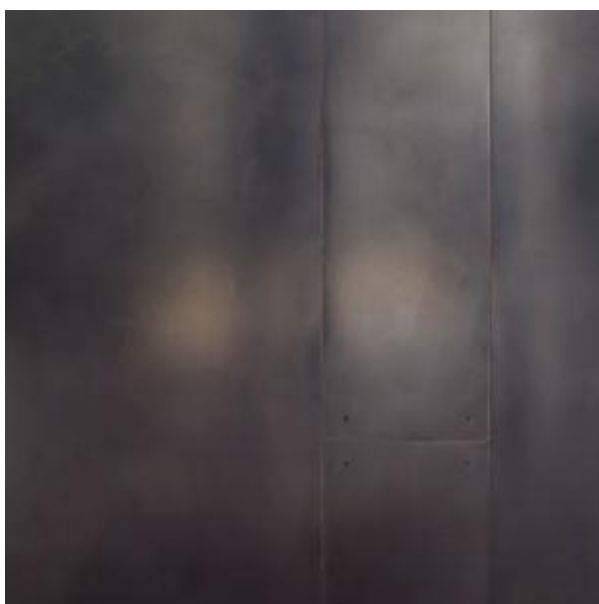
PL-1

SAND FINISH
PLASTER
W/ INTEGRAL
COLOR:
'MERLEX' P-100
GLACIER WHITE



MT-1

METAL PANEL
COLOR: BLACK



MT-2

PERFORATED
METAL PANEL
COLOR: BLACK



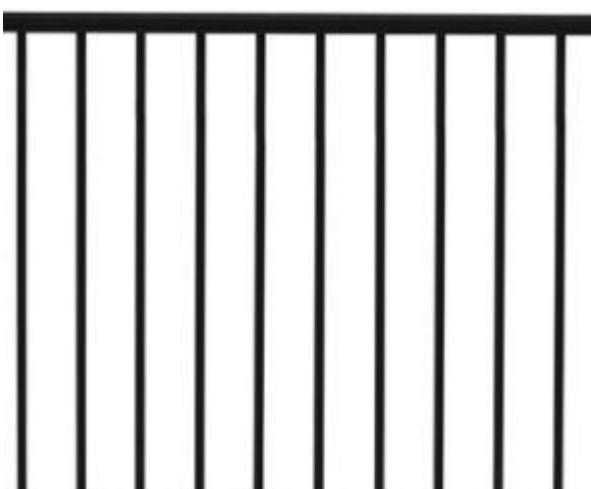
WD-1

EXTERIOR
WOOD SIDING
VERTICAL
(SEE A7.32
FOR ESR)



GR-1

METAL PICKET
GUARDRAIL
VERTICAL
COLOR: BLACK



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2456 - 2460
PURDUE
2456 - 2460 Purdue Ave
Los Angeles, CA 90064



DATE	DESCRIPTION
05.03.22	PLANNING SET
07.12.21	PC SUBMISSION 1
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03.04.21	PZA PC RESPONSE 1

PROJECT NO: #Project Code

SHEET NAME

MATERIAL BOARDS
& ELEVATION

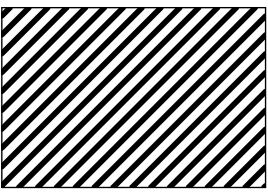
PUBLISHED: 5/3/2022

A0.20

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AREA DIAGRAM LEGEND



WINDOWS



FRONT BUILDING FACADE

AREA DIAGRAM CALCULATIONS

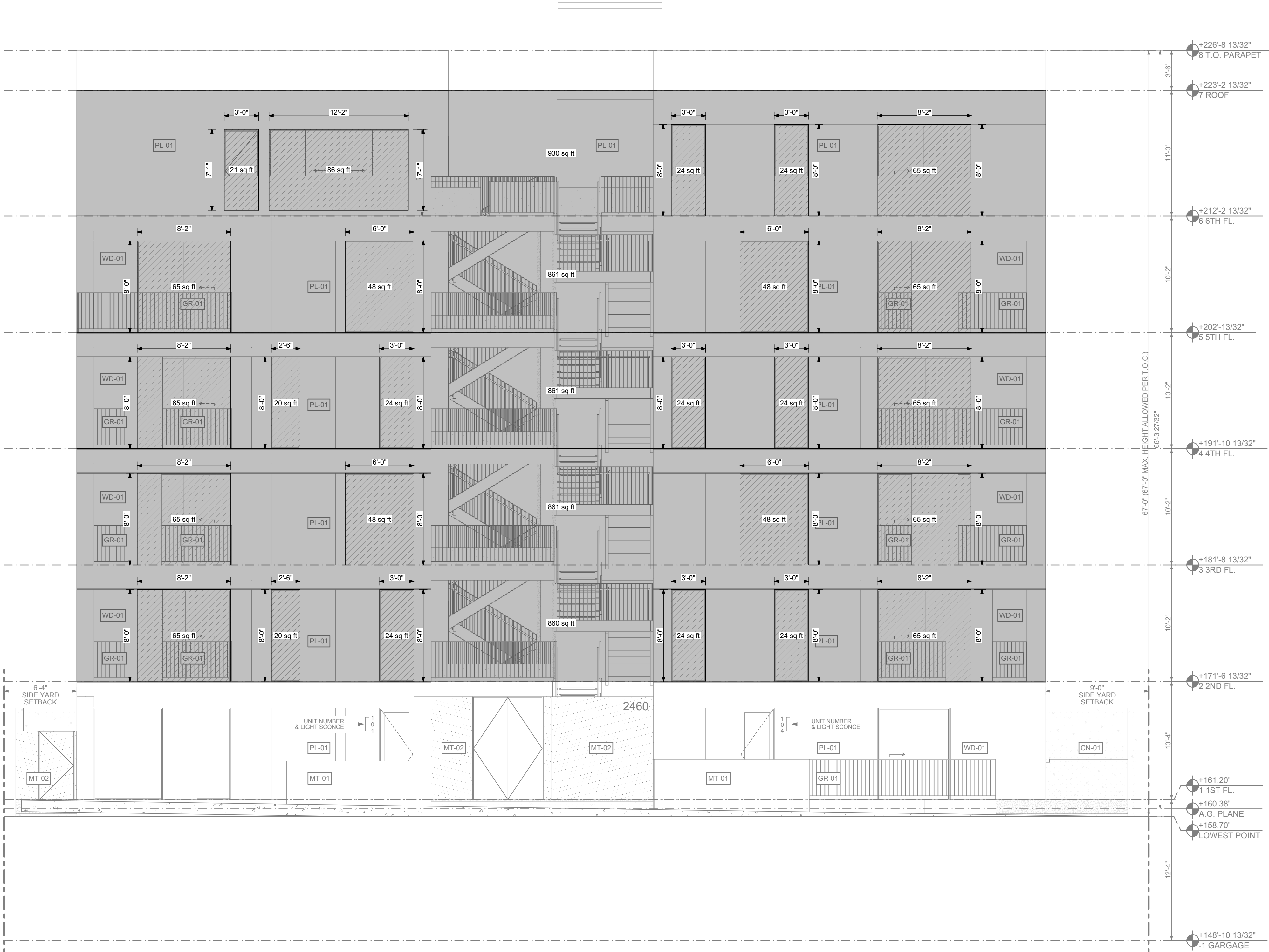
FRONT BUILDING FACADE AREA (ABOVE GROUND FLOOR)	4,389	SF
--	-------	----

WINDOWS (ABOVE GROUND FLOOR)	1,116	SF
---------------------------------	-------	----

$$1,116 \text{ SF} / 4,389 \text{ SF} = 0.25427 \times 100 = \underline{\underline{25.43 \%}} > 15\%$$

25.43% OF THE BUILDING FACADE ABOVE THE GROUND FLOOR
CONSISTS OF TRANSPARENT OPENINGS, MEASURED FROM THE
TOP OF THE FINISHED FLOOR TO THE TOP OF THE WALL PLATE
OF FINISHED FLOOR ABOVE, THEREFORE COMPLIES AS IT IS
MORE THAN THE REQUIRED MINIMUM 15%*

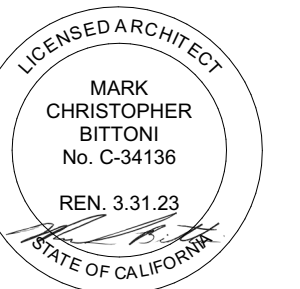
*PER EXPO TNP SPECIFIC PLAN - SECTION 4.3.2.C2



Southwest Elevation

SCALE: 3/16" = 1'-0"

2456 - 2460
PURDUE
2456 - 2460 Purdue Ave
Los Angeles, CA 90064



05.03.22	PLANNING SET
07.12.21	PC SUBMISSION 1
04.15.21	PZA PC RESPONSE 2
03.04.21	PZA PC RESPONSE 1
DATE	DESCRIPTION

PROJECT NO: #Project Code

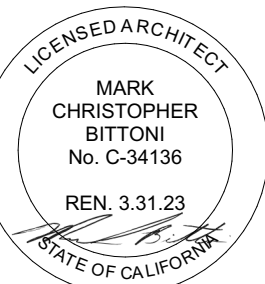
SHEET NAME

FRONT FACADE TRANSPARENCY DIAGRAM

PUBLISHED: 5/10/2022

A0.21

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05.03.22	PLANNING SET
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04.15.21	PZA PC RESPONSE 2
03.04.21	PZA PC RESPONSE 1

DATE	DESCRIPTION
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PROJECT NO: #Project Code

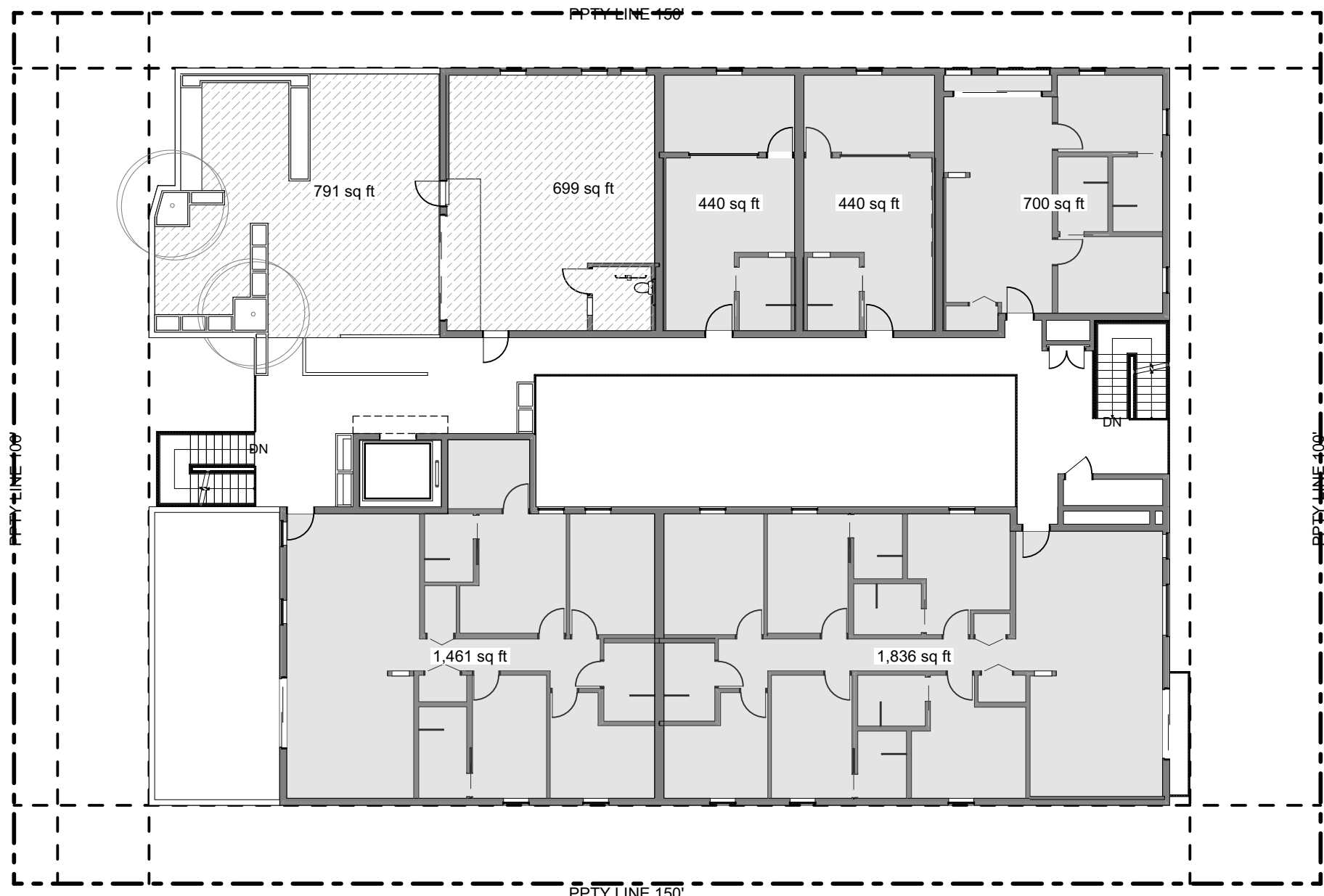
SHEET NAME

AREA + OCC.
DIAGRAMS

PUBLISHED: 5/10/2022

A0.41

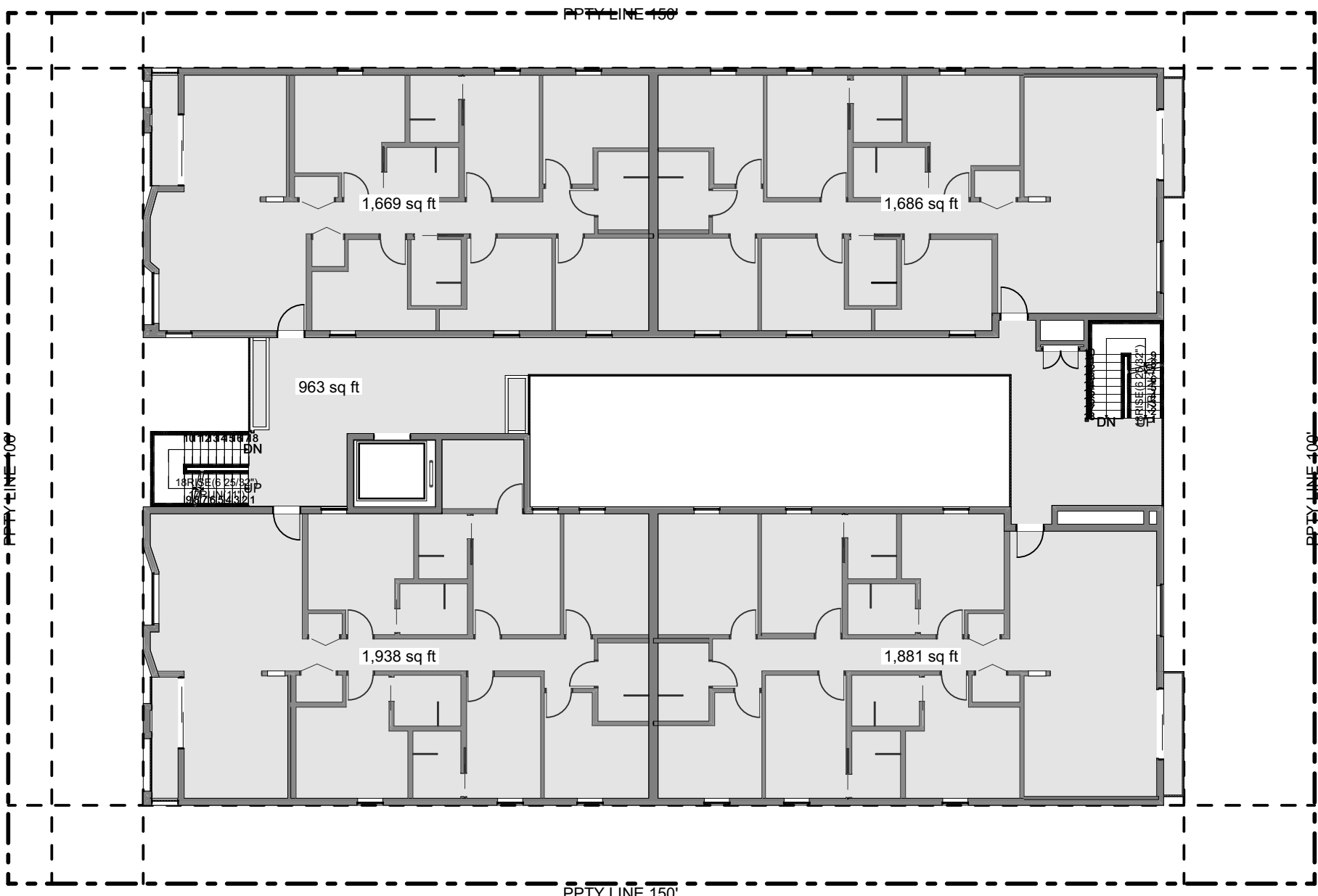
SHEET 25 OF 152



BUILDING TYPE III-A
OCCUPANCY FACTOR
R-2 FACTOR 200 (RESIDENTIAL)
A-3 FACTOR 15 (ROOF DECK)
A-3 FACTOR 15 (REC ROOM)
OCCUPANCY LOAD, EXIT WIDTH
RESIDENTIAL 4,877 SF / 200 = 24.3 = 24 OCC LOAD
ROOF DECK 791 SF / 15 = 52.7 = 53 OCC LOAD
REC ROOM 699 SF / 15 = 46.6 = 47 OCC LOAD
TOTAL AREA 6,367 SF = 124 OCC LOAD
EGRESS WIDTH: CBC 1005.3
EXIT COMP. 106 x 0.2 = 21.2
STAIR WIDTH 106 / (2 STAIRS) = 53 x 0.3 = 15.9' REQ
PROVIDED = 44" (44" MIN)

6TH FL.

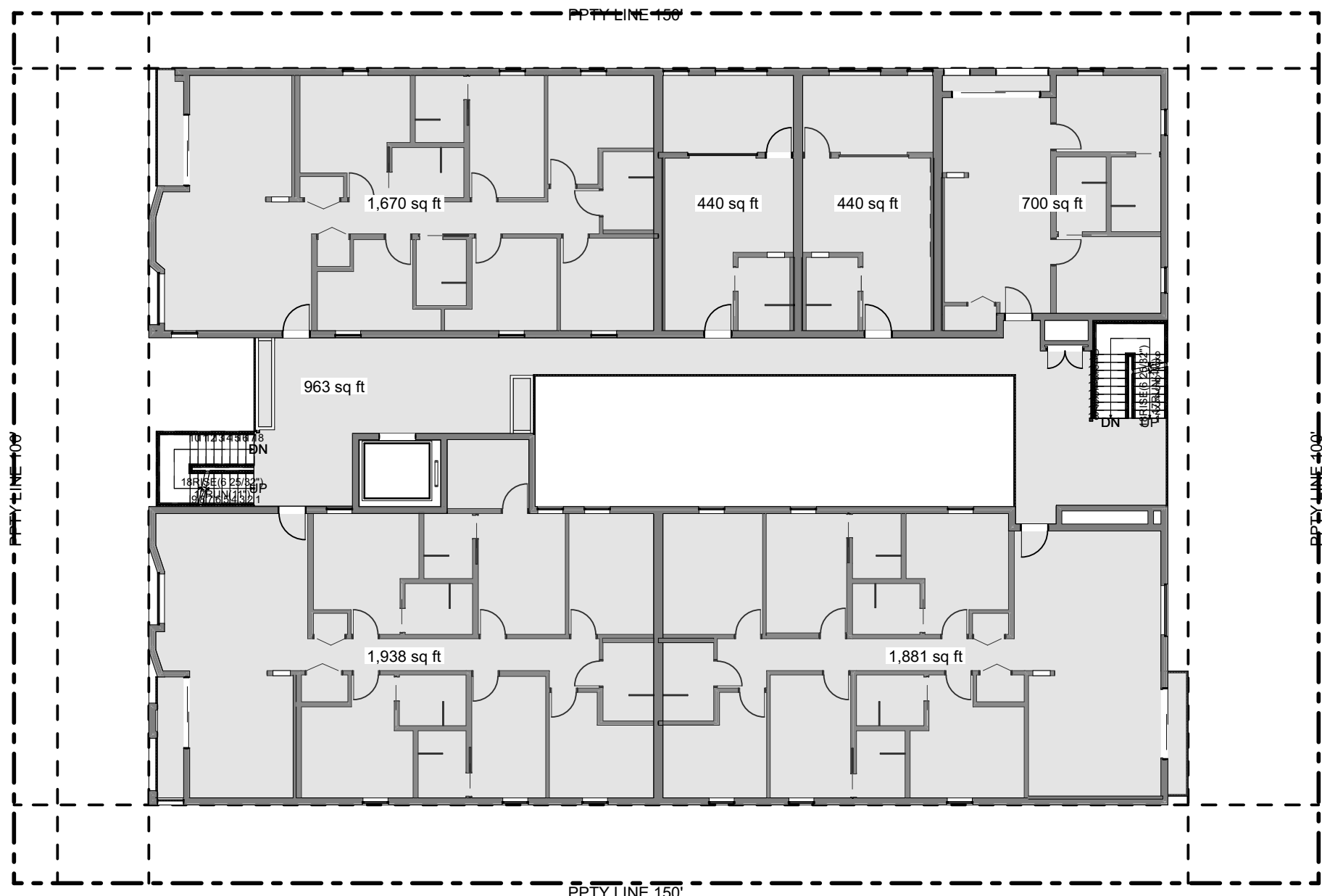
SCALE: 1/16" = 1'-0"



BUILDING TYPE III-A
OCCUPANCY FACTOR
R-2 FACTOR 200 (RESIDENTIAL)
OCCUPANCY LOAD, EXIT WIDTH
RESIDENTIAL 8,137 SF / 200 = 40.7 = 41 OCC LOAD
TOTAL AREA 8,137 SF = 41 OCC LOAD
EGRESS WIDTH: CBC 1005.3
EXIT COMP. 36 x 0.2 = 7.2
STAIR WIDTH 36 / (2 STAIRS) = 18 x 0.3 = 5.4' REQ
PROVIDED = 44" (44" MIN)

3RD FL.

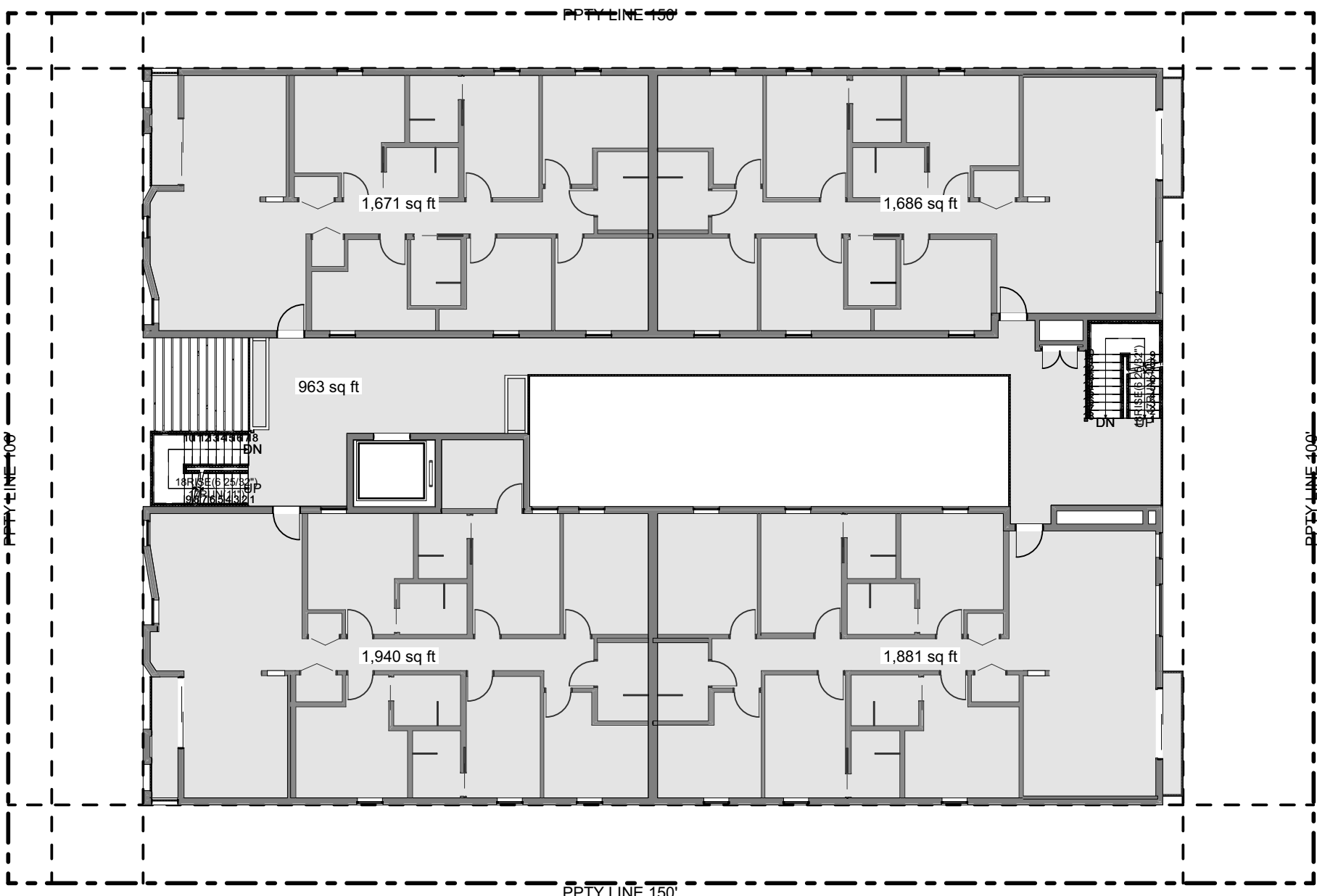
SCALE: 1/16" = 1'-0"



BUILDING TYPE III-A
OCCUPANCY FACTOR
R-2 FACTOR 200 (RESIDENTIAL)
OCCUPANCY LOAD, EXIT WIDTH
RESIDENTIAL 8,032 SF / 200 = 40.16 = 40 OCC LOAD
TOTAL AREA 8,032 SF = 40 OCC LOAD
EGRESS WIDTH: CBC 1005.3
EXIT COMP. 36 x 0.2 = 7.2
STAIR WIDTH 36 / (2 STAIRS) = 18 x 0.3 = 5.4' REQ
PROVIDED = 44" (44" MIN)

5TH FL.

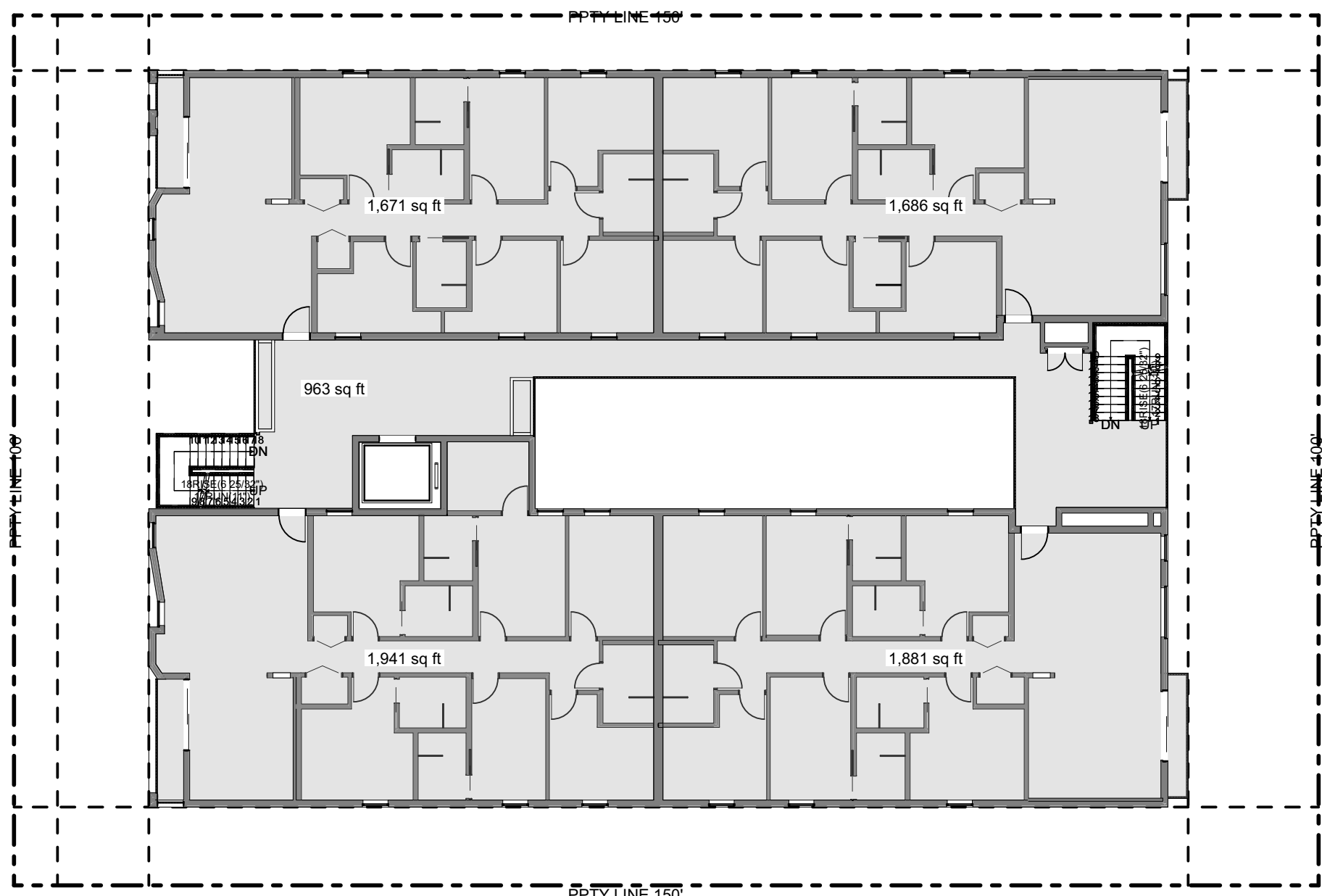
SCALE: 1/16" = 1'-0"



BUILDING TYPE III-A
OCCUPANCY FACTOR
R-2 FACTOR 200 (RESIDENTIAL)
OCCUPANCY LOAD, EXIT WIDTH
RESIDENTIAL 8,141 SF / 200 = 40.7 = 41 OCC LOAD
TOTAL AREA 8,141 SF = 41 OCC LOAD
EGRESS WIDTH: CBC 1005.3
EXIT COMP. 36 x 0.2 = 7.2
STAIR WIDTH 36 / (2 STAIRS) = 18 x 0.3 = 5.4' REQ
PROVIDED = 44" (44" MIN)

2ND FL.

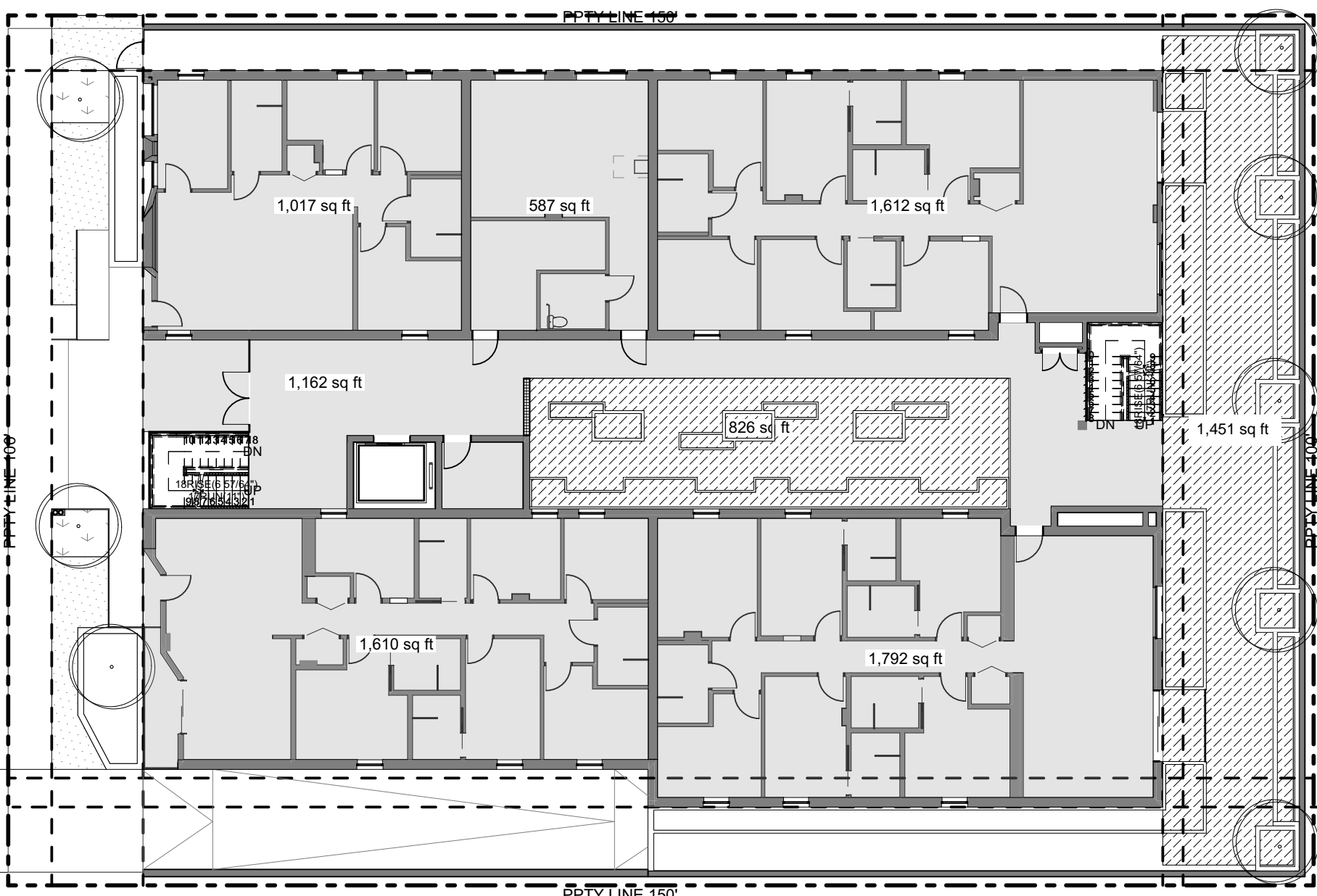
SCALE: 1/16" = 1'-0"



BUILDING TYPE III-A
OCCUPANCY FACTOR
R-2 FACTOR 200 (RESIDENTIAL)
OCCUPANCY LOAD, EXIT WIDTH
RESIDENTIAL 8,142 SF / 200 = 40.7 = 41 OCC LOAD
TOTAL AREA 8,142 SF = 41 OCC LOAD
EGRESS WIDTH: CBC 1005.3
EXIT COMP. 36 x 0.2 = 7.2
STAIR WIDTH 36 / (2 STAIRS) = 18 x 0.3 = 5.4' REQ
PROVIDED = 44" (44" MIN)

4TH FL.

SCALE: 1/16" = 1'-0"



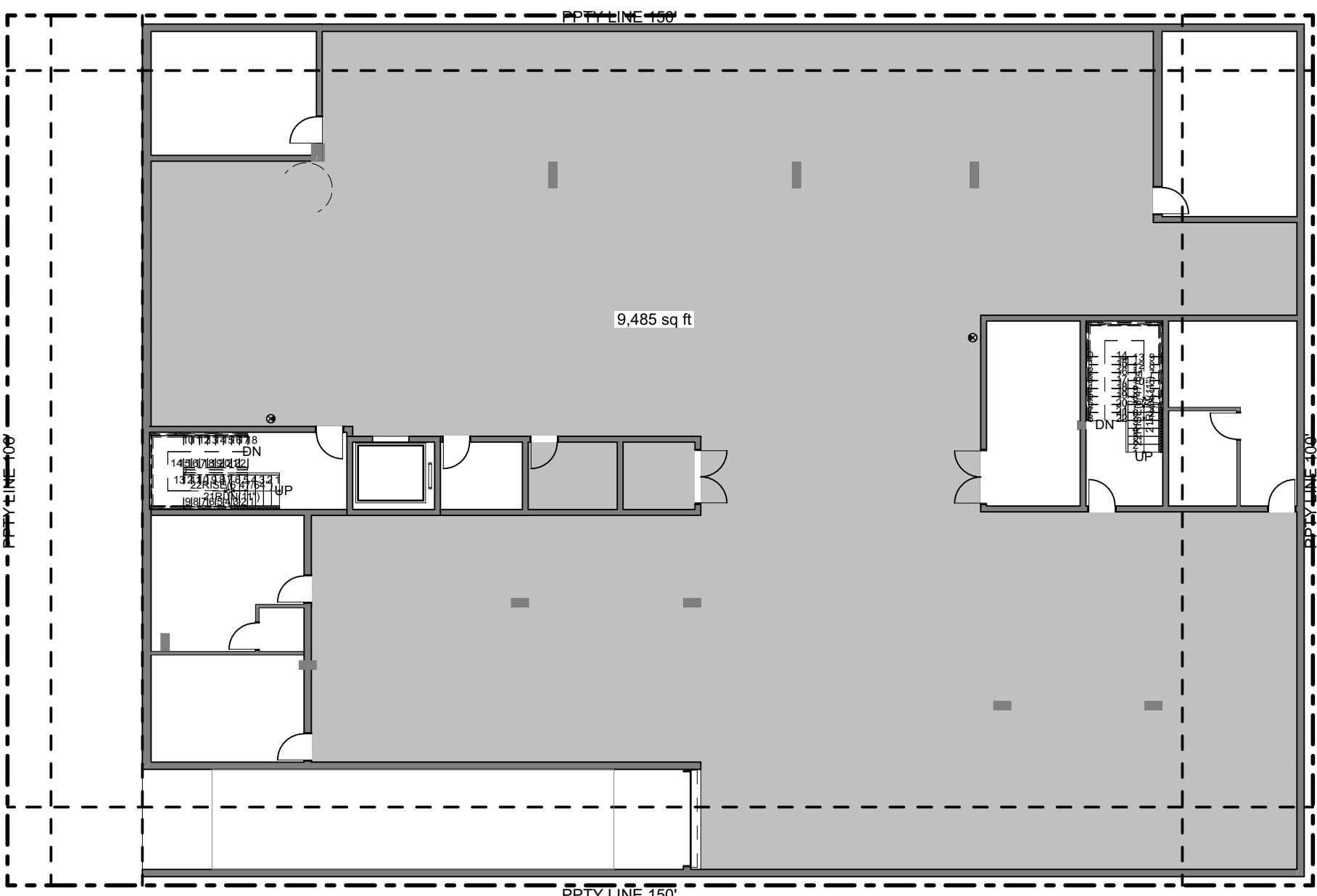
BUILDING TYPE I-A
OCCUPANCY FACTOR
R-2 FACTOR 200 (RESIDENTIAL)
R-2 FACTOR 15 (GYM)
R-2 FACTOR 15 (OPEN SPACE)
OCCUPANCY LOAD, EXIT WIDTH
RESIDENTIAL 7,193 SF / 200 = 35.97 = 36 OCC LOAD
GYM 587 SF / 15 = 39.13 = 40 OCC LOAD
OPEN SPACE 2,277 SF / 15 = 151.8 = 152 OCC LOAD
TOTAL AREA 10,057 SF = 228 OCC LOAD
EGRESS WIDTH: CBC 1005.3
EXIT COMP. 166 x 0.2 = 33.2
STAIR WIDTH 166 / (2 STAIRS) = 83 x 0.3 = 24.9' REQ
PROVIDED = 44" (44" MIN)

1ST FL.

SCALE: 1/16" = 1'-0"

BUILDING CODE FLOOR AREA SUMMARY

GARAGE	9,485	SF OK	(S-2, TYPE I-A = UNLIMITED)
1ST FLOOR	10,057	SF OK	(R-2, TYPE I-A = UNLIMITED)
2ND FLOOR	8,141	SF OK	(R-2, TYPE III-A = 48,000 SF MAX.)
3RD FLOOR	8,137	SF OK	(R-2, TYPE III-A = 48,000 SF MAX.)
4TH FLOOR	8,142	SF OK	(R-2, TYPE III-A = 48,000 SF MAX.)
5TH FLOOR	8,032	SF OK	(R-2, TYPE III-A = 48,000 SF MAX.)
6TH FLOOR	6,367	SF OK	(R-2, TYPE III-A = 48,000 SF MAX.)
TOTAL	58,361	SF	



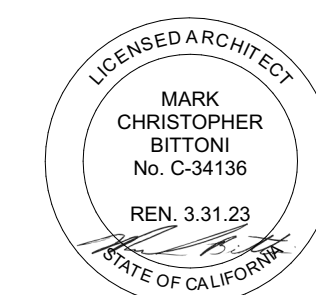
BUILDING TYPE I-A
OCCUPANCY FACTOR
S-2 FACTOR 200 (GARAGE)
OCCUPANCY LOAD, EXIT WIDTH
GARAGE 9,485 SF / 200 = 47.43 OCC LOAD
TOTAL AREA 9,485 SF = 48 OCC LOAD

GARGAGE

SCALE: 1/16" = 1'-0"

EGRESS WIDTH: CBC 1005.3
EXIT COMP. 58 x 0.2 = 11.6
STAIR WIDTH 58 / (2 STAIRS) = 29 x 0.3 = 8.7' REQ
PROVIDED = 44" (44" MIN)

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05.03.22	PLANNING SET
07.12.21	PC SUBMISSION 1
04.15.21	PZA PC RESPONSE 2
03.04.21	PZA PC RESPONSE 1
DATE	DESCRIPTION

PROJECT NO: #Project Code

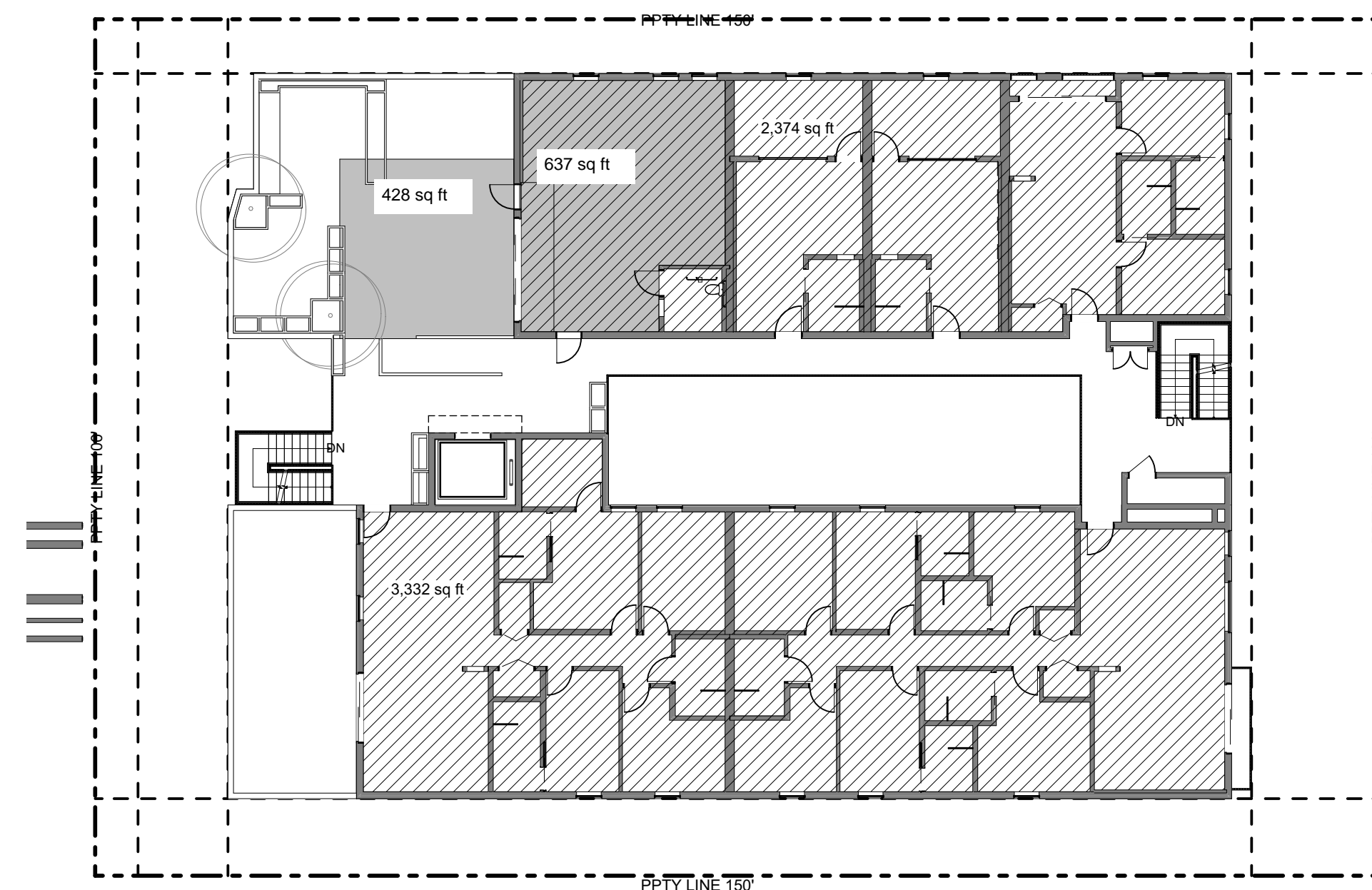
SHEET NAME

ZONING DIAGRAMS

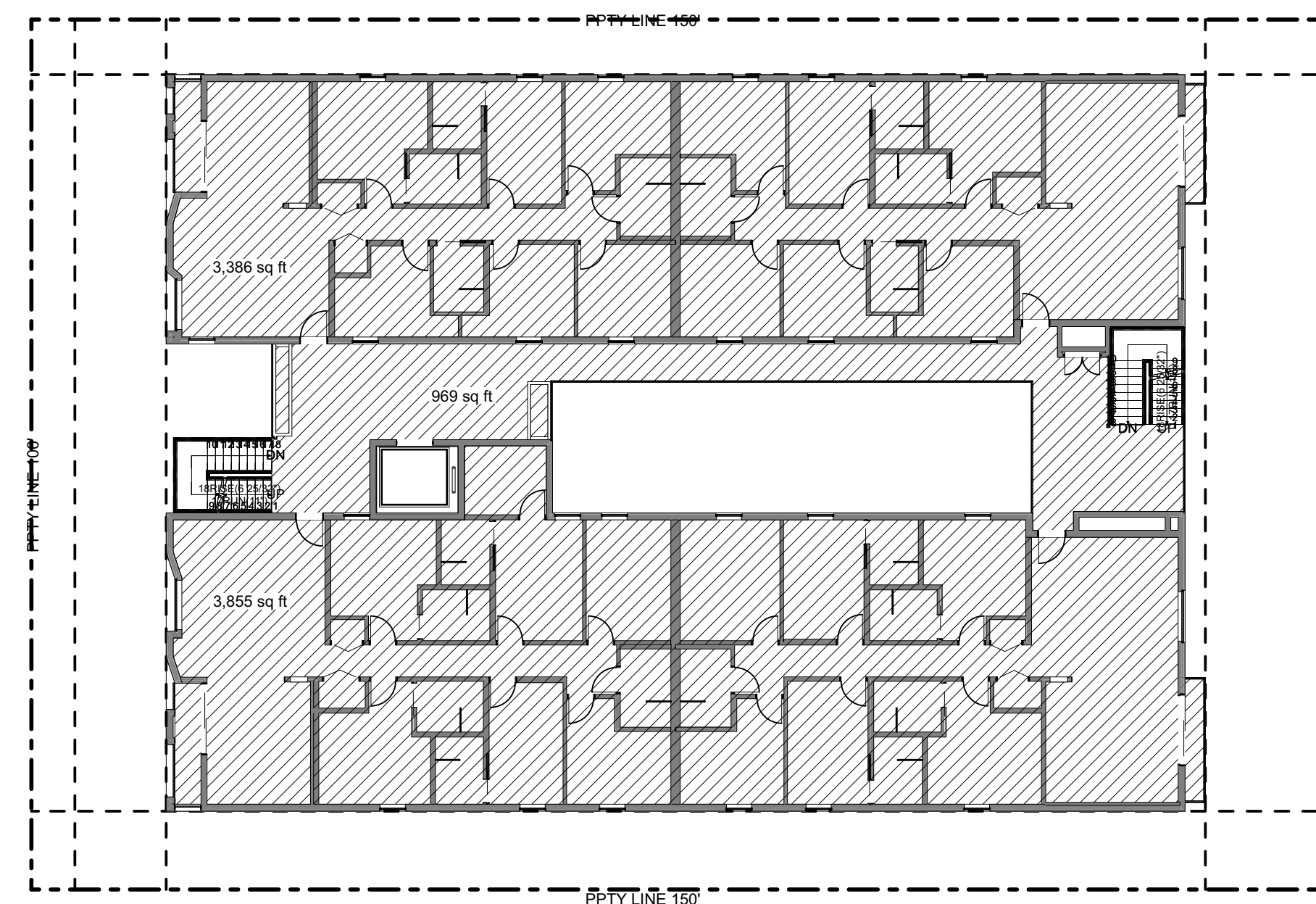
PUBLISHED: 5/10/2022

A0.42

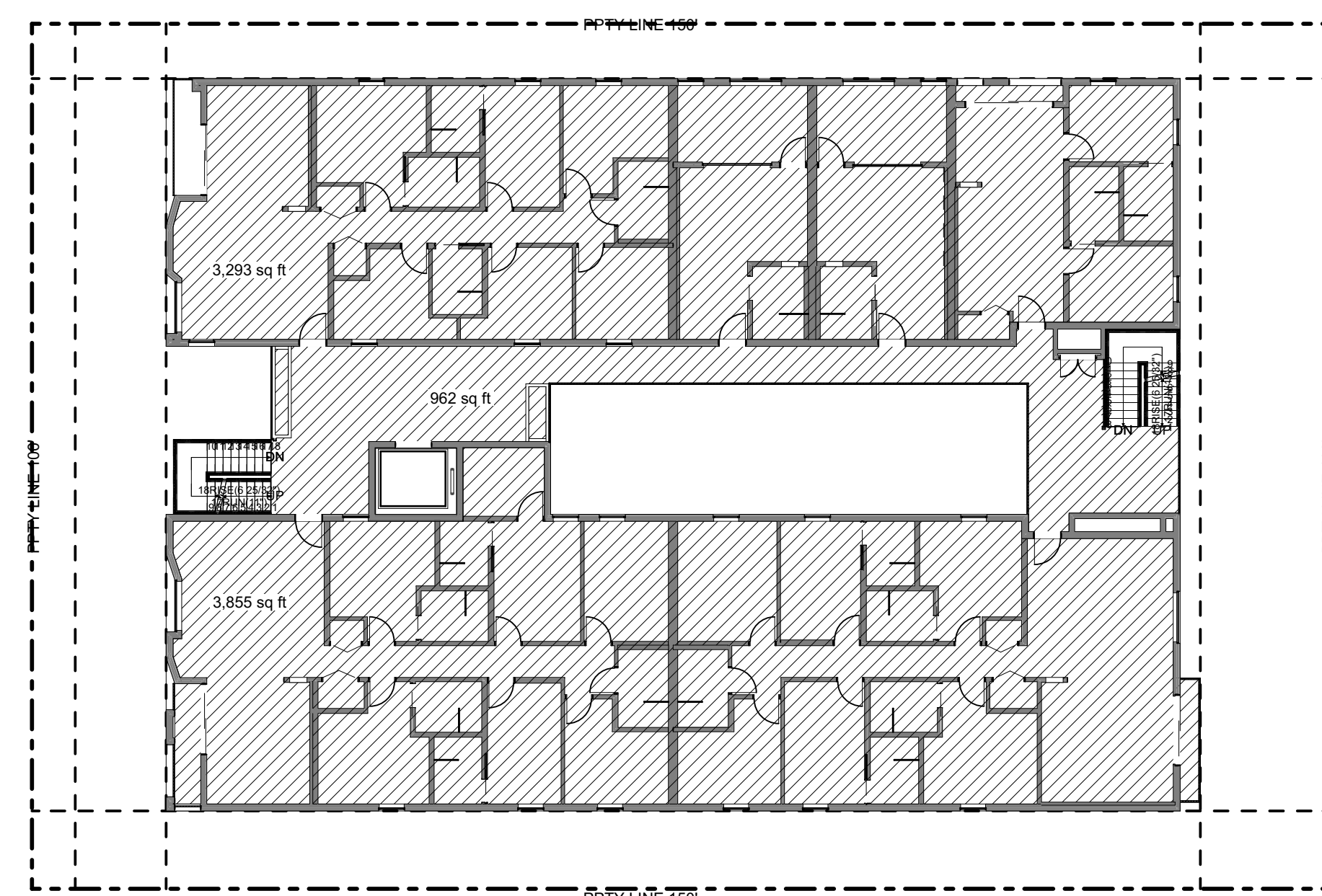
SHEET 26 OF 152



6TH FL.
SCALE: 1/16" = 1'-0"

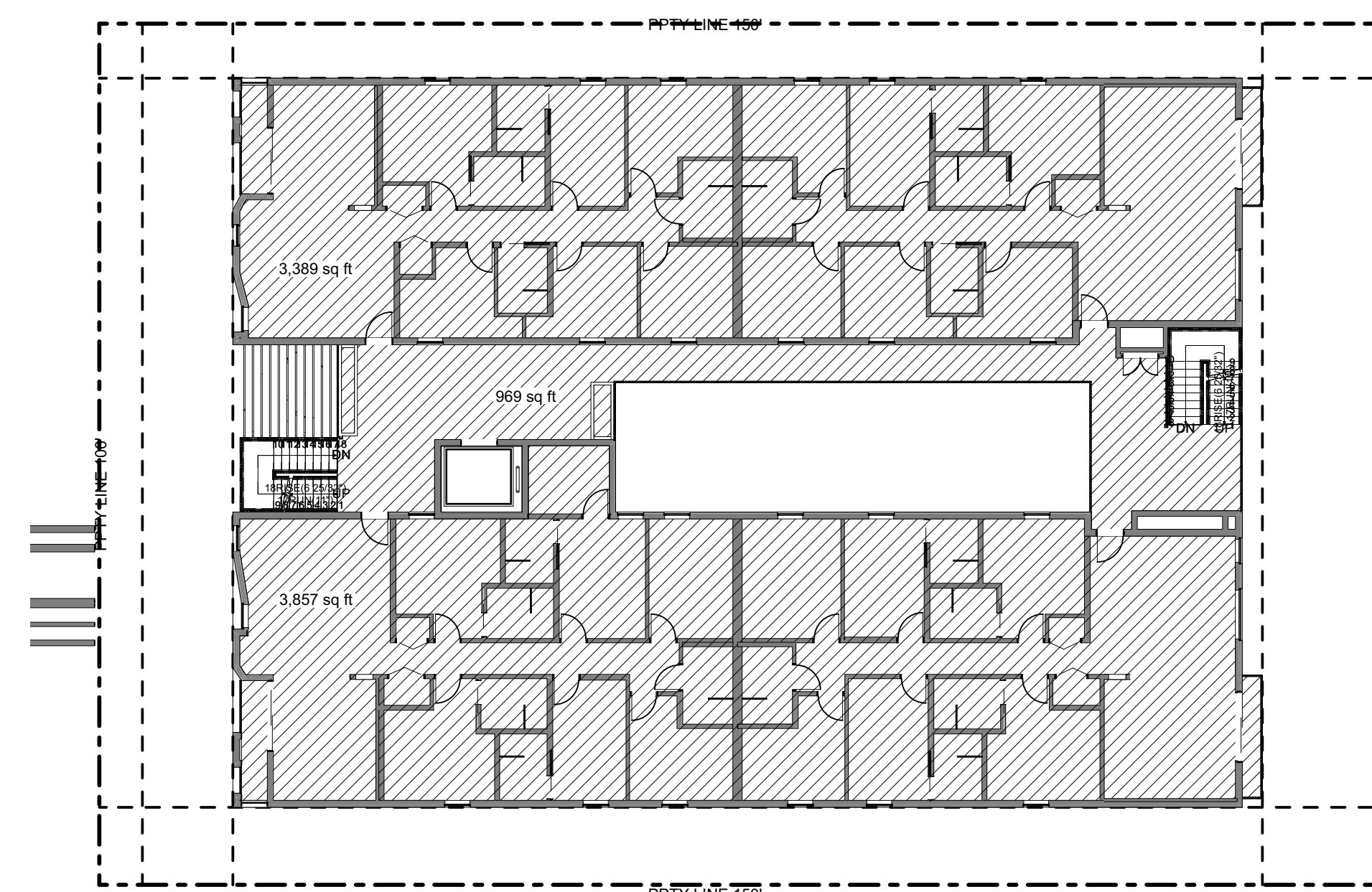


3RD FL.
SCALE: 1/16" = 1'-0"



5TH FL.

SCALE: 1/16" = 1'-0"



2ND FL.
SCALE: 1/16" = 1'-0"

ZONING CODE FLOOR AREA SUMMARY

GARAGE	233	S
1ST FLOOR	7,846	S
2ND FLOOR	8,215	S
3RD FLOOR	8,210	S
4TH FLOOR	8,208	S
5TH FLOOR	8,110	S
6TH FLOOR	5,706	S
TOTAL	46,528	S

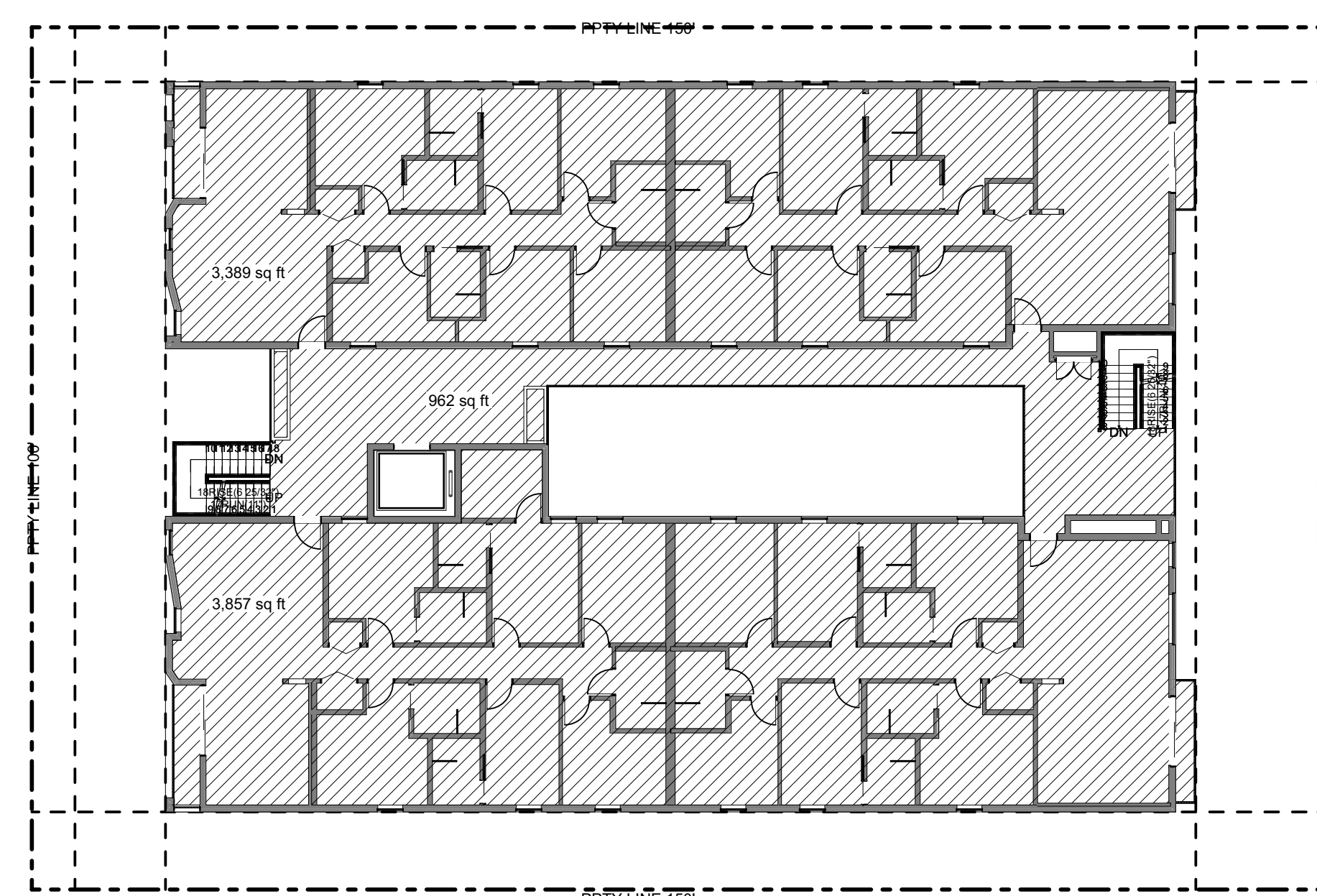
MAX ALLOWED (PER T.O.C) = 48,600 SF > 46,528 SF = OK

*ZONING FLOOR AREA EXCLUDING EXTERIOR WALLS, SHAFTS, MECHANICAL, STAIRS AND PARKING
PER FLOOR AREA DEFINITION (LMC 12.03)

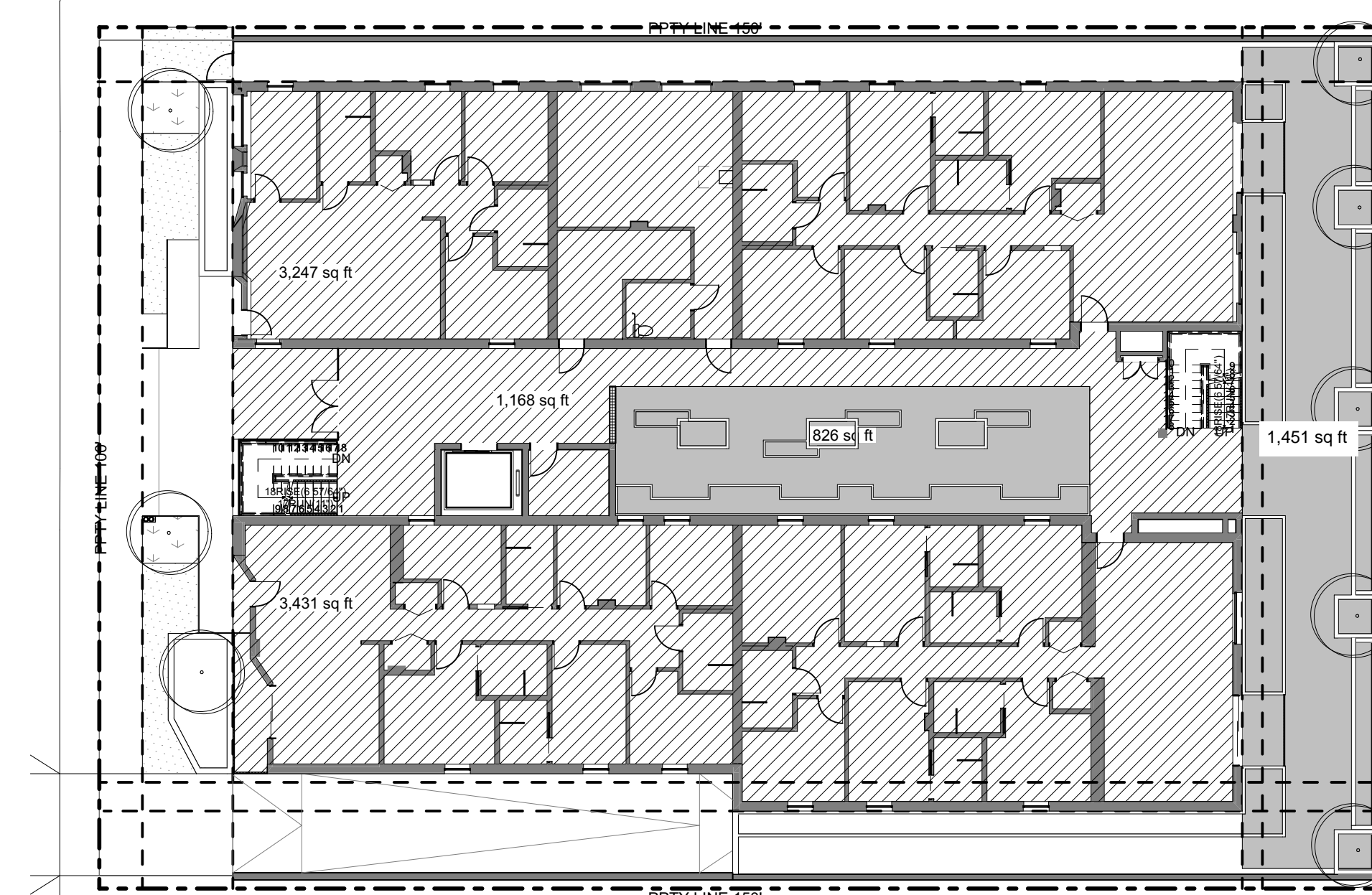
OPEN SPACE AREA SUMMARY

GARAGE	0	SF
1ST FLOOR	2,277	SF (826 SF COURTYARD + 1,451 SF REARYARD)
2ND FLOOR	0	SF
3RD FLOOR	0	SF
4TH FLOOR	0	SF
5TH FLOOR	0	SF
6TH FLOOR	1,065	SF (637 SF REC ROOM + 428 SF ROOF DECK)
TOTAL	3,342	SF

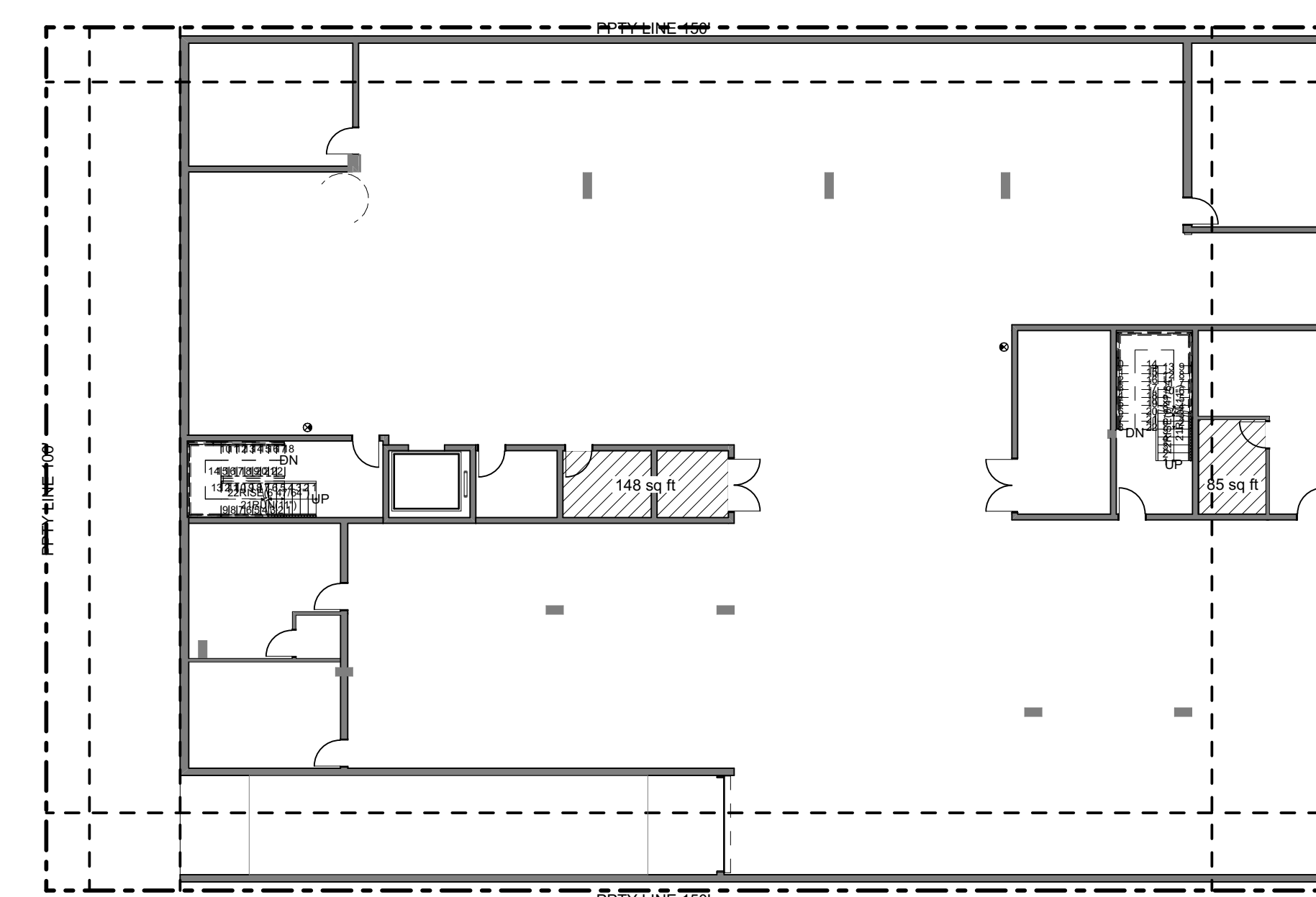
REQUIRED (PER T.O.C.) = 3,206.25 SF < 3,3424 SF = OK



4TH FL.
SCALE: 1/16" = 1'-0"



1ST FL.
SCALE: 1/16" = 1'-0"



GARGAGE

SCALE: 1/16" = 1'-0"

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05.03.22	PLANNING SET
07.12.21	PC SUBMISSION 1
04.15.21	PZA PC RESPONSE 2
03.04.21	PZA PC RESPONSE 1
DATE	DESCRIPTION

PROJECT NO: #Project Code

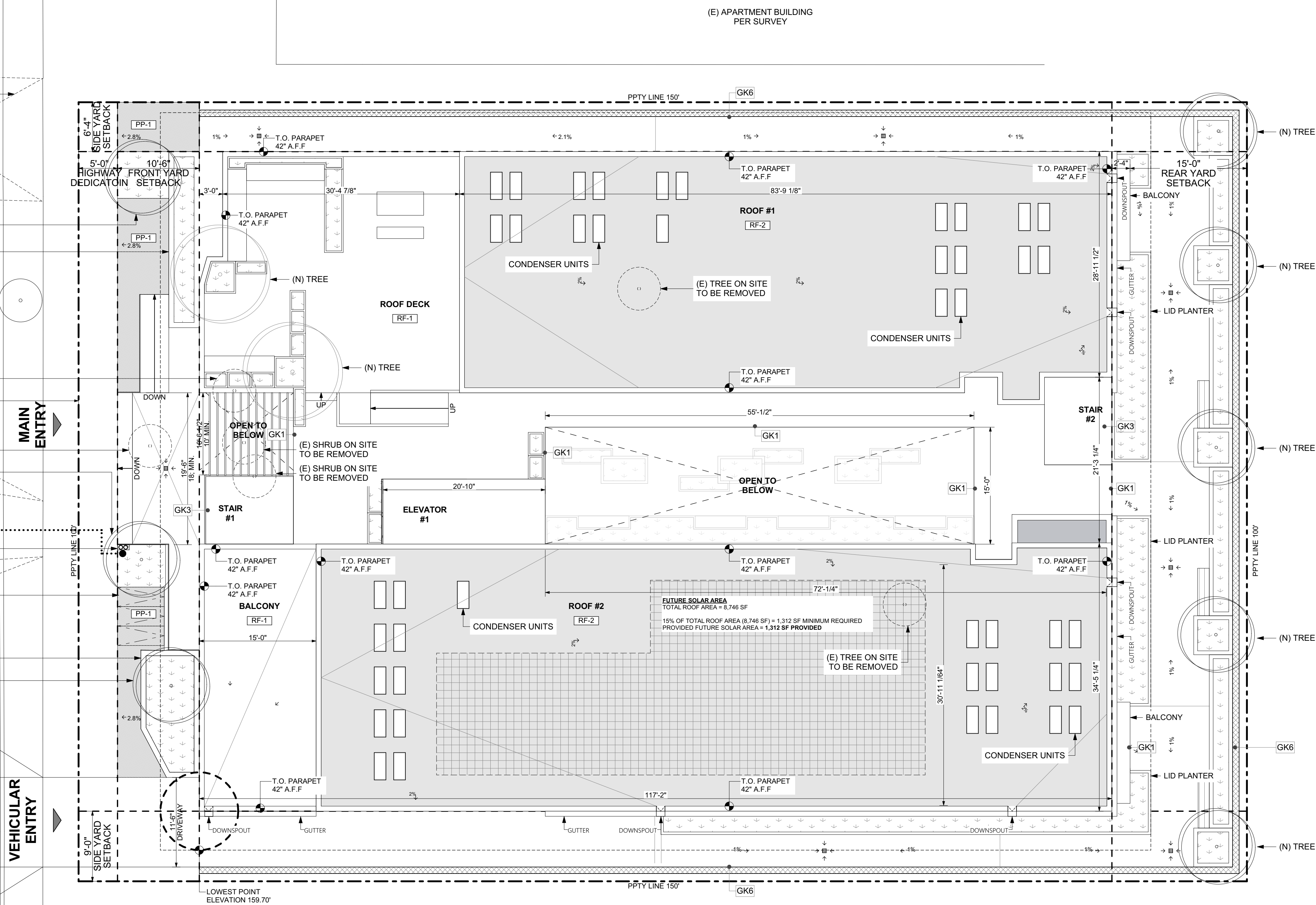
SHEET NAME

SITE PLAN

PUBLISHED: 5/3/2022

A1.03

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SITE PLAN

SCALE: 1/8" = 1'-0"

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FINISH LEGEND		LEGEND	
[GK-1]	CONCRETE MASONRY UNIT	[GKXX]	GENERAL KEYNOTE (THIS SHEET)
[GK-2]	UNCOLORED CONC. W/ SMOOTH FIN. SOLAR REFLECTANCE VALUE > 0.30 PER ASTM E1918.	---	PROPERTY LINE
[GK-3]	TYPE X GYPSUM BOARD, GREENBOARD IN ALL WET AREAS	---	SETBACK LINE
[GK-4]	TEMPERED GLASS SHOWER ENCLOSURE	---	CENTERLINE
[MT-1]	METAL W/ POWDER COATED FINISH	---	LINE OF OBJECT ABOVE
[PL-1]	SAND FINISH PLASTER W/ INTEGRAL COLOR: WHITE	---	LINE OF OBJECT BELOW
[PL-2]	SAND FINISH PLASTER W/ INTEGRAL COLOR: GRAY	---	STRUCTURAL GRIDLINE
[GR-1]	CRUSHED GRAVEL OVER COMPACTED FILL	---	WALL TYPE PER A7.00
[TL-1]	TILE FLOOR, SLIP RESISTANT	---	SLOPE TO DRAIN MAX 2%
[TL-2]	CERAMIC WALL TILE	---	FLOOR ELEVATIONS
[TL-3]	QUARTZ COUNTERTOP	---	MAX. ELEV. TRANSITION W/ BEVEL W/ MAX 1:2 SLOPE
[TL-4]	TILE, TBD	---	AREA DRAIN
[WB-1]	VERTICAL WOOD SIDING 1" X 3" CLEAR CEDAR T&G	---	EXIT SIGN
[WB-2]	WOOD DECKING SPECIES / FIN. TBD	---	6" DIA. MTL SAFETY BOLLARD
[WB-3]	6" WIDE FRENCH WHITE OAK WD FL., W/ SLIP RESISTANT FIN.	---	CEILING MOUNTED SMOKE DETECTOR
[WB-4]	WHITE OAK VERTICAL GRAIN WOOD VENEER	---	CEILING MOUNTED CARBON MONOXIDE DET.
[RF-1]	DEKOTEX WEATHERWEAR ESR 1757 W/ AJ-44 SR TOP COAT. 413 SPEEDWAY GRAY. SRI 65 SEE (A7.30)	---	EXHAUST FAN
[RF-2]	SARNAFIL MEMBRANE, WHITE, LARR 24852 SEE (A7.30)	---	FUTURE ELECTRICAL VEHICLE SUPPLY EQUIP.
[PP-1]	PERMEABLE PAVERS	---	WATER CURTAIN PER LABC 705.8.2 & MIN. REQ. PER DOC P/B/C 2014-106
GENERAL KEYNOTES		---	ONE-HOUR FIRE PARTITION IN ACCORDANCE WITH SECTION 708.3
GK1	GUARDRAIL TO BE 42" MIN. HEIGHT WITH 3 1/2" MAX. OPENING SIZE.	---	TWO-HOUR FIRE-RESISTANCE RATED ENCLOSURE IN ACCORDANCE WITH SECTION 707 AND 711.
GK2	SEE DETAIL 01A7.10	---	DIMENSION TO FINISH FACE OF WALLS / SURFACES
GK3	COLUMN PER STRUCTURAL	---	DIMENSION TO FRAMING (FACE OF STUD)
GK4	STEEL STAIR (UNDER DEFERRED SUBMITTAL)	---	
GK5	PLANTING/BENCH PER LANDSCAPE	---	
GK6	6" CMU SITE WALL	---	

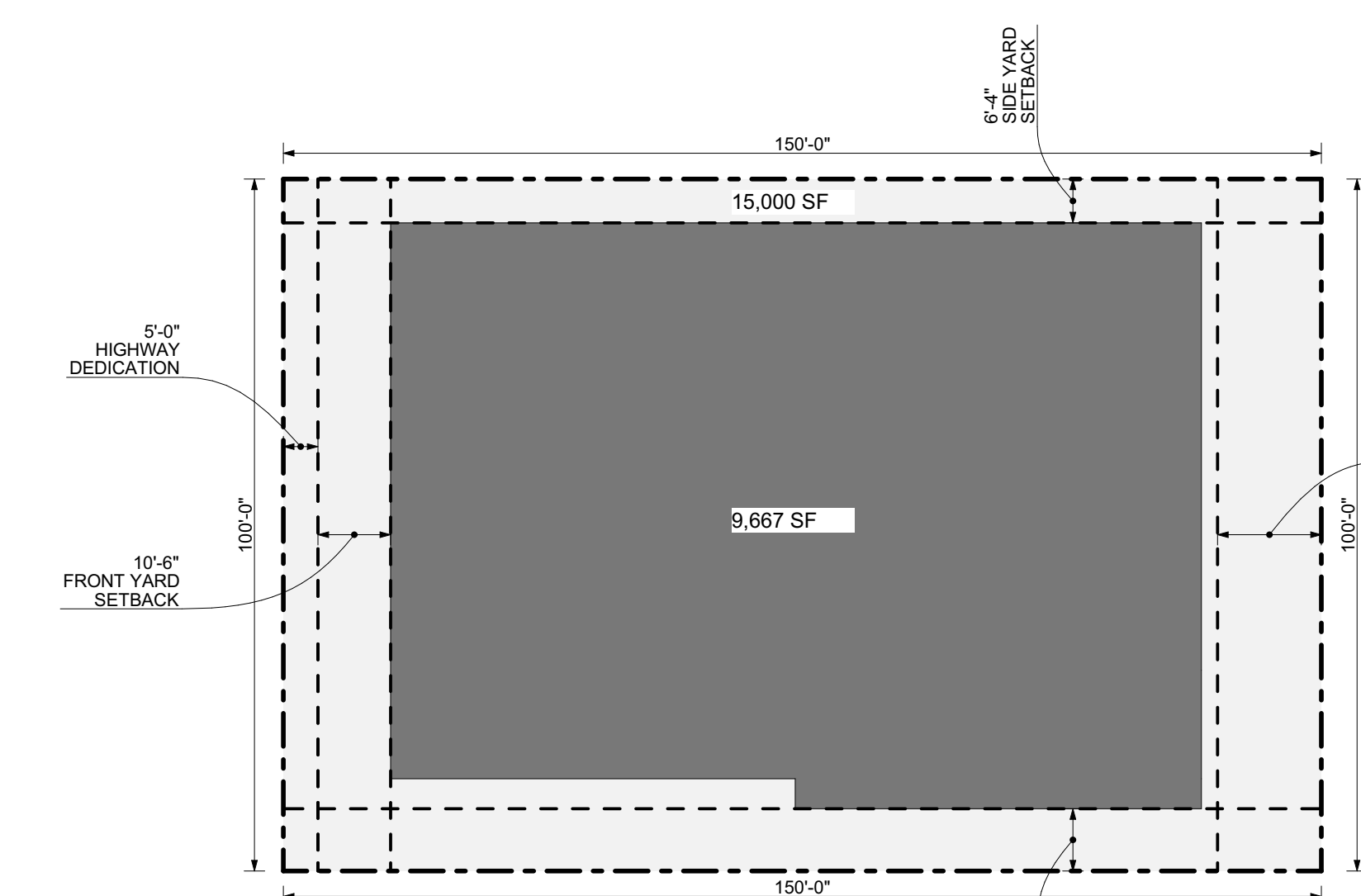
BUILDABLE AREA DIAGRAM (NOT TO SCALE)

SCALE: 1/8" = 1'-0"



AVERAGE GRADE PLANE DIAGRAM (NOT TO SCALE)

SCALE: 1/8" = 1'-0"



LOT COVERAGE DIAGRAM (NOT TO SCALE)

SCALE: 1/8" = 1'-0"

- SITE PLAN NOTES**
- STATE LICENSED SURVEYOR OR CIVIL ENGINEER SHALL LOCATE OR VERIFY THE LOCATIONS OF ANY AND ALL STRUCTURES. A LETTER INDICATING THAT STRUCTURES ARE LOCATED IN ACCORDANCE WITH THE PLANS SHALL BE PREPARED AND KEPT ON A FILE. A COPY GIVEN TO THE OWNER.
 - CONTRACTOR TO VERIFY MAXIMUM BUILDING HEIGHT LIMIT OF STRUCTURE WITH LICENSED SURVEYOR AND INSPECTOR PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 - SEISMIC SHUTOFF VALVE TO BE INSTALLED AT ALL FUEL LOCATIONS.
 - ALL DOWNSPOUTS AND AREA DRAINS OPEN TO SKY DISCHARGE INTO PERMAVOID PLANTERS. SEE LID 1-6
 - REFER TO LANDSCAPE PLANS FOR PAVING AND OTHER HARD AND SOFT SCAPE ITEMS TO BE INCLUDE IN SCOPE OF WORK.
 - CONTRACTOR AND SUBCONTRACTORS TO INFORM THE ARCHITECT OF ANY DISCREPANCIES IN THE ARCHITECT'S DRAWINGS AND DRAWINGS PREPARED BY ANY OTHER CONSULTANTS.
 - ALL GRADES SURROUNDING BUILDING TO SLOPE AWAY FROM STRUCTURE AT A MINIMUM SLOPE OF 2%.
 - PROVIDE DAMP PROOFING FOR ALL WALLS BELOW GRADE THAT ENCLOSE USABLE SPACE.
 - THE CONSTRUCTION SHALL NOT RESTRICT A FIVE FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULT PUMPS, VALVES, METERS, ETC.) OR THE LOCATION OF THE HOOKUP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
 - FOR GRADES SPECIFIED TO BE LESS THAN 6" FROM WOOD SILL PLATES AND FOR AREAS WHERE CONCRETE PAVING IS ADJACENT TO BUILDING, SILL PLATES WILL BE PROTECTED WITH A CONTINUOUS STRIP OF ELASTOMERIC FLASHING COVERED WITH GALVANIZED SHEET METAL FLASHING. OVERLAP SHOULD BE A MINIMUM OF 6" BETWEEN STUD WALL AND FLASHINGS.
- PLANNING NOTES**
- PER EXPO TNP SPECIFIC PLAN, SECTION 4.3.3.A.1, WINDOWS AND DOORS VISIBLE FROM THE STREET SHALL BE RECESSED AT LEAST 2 INCHES FROM THE BUILDING FACADE. (THIS PROJECT COMPLIES WITH WINDOWS AND DOORS BEING RECESSED MINIMUM 3 3/4 INCHES FROM BUILDING FACADE.)



05.03.22	PLANNING SET
07.12.21	PC SUBMISSION 1
04.15.21	PZA PC RESPONSE 2
03.04.21	PZA PC RESPONSE 1
DATE	DESCRIPTION
PROJECT NO: #Project Code	

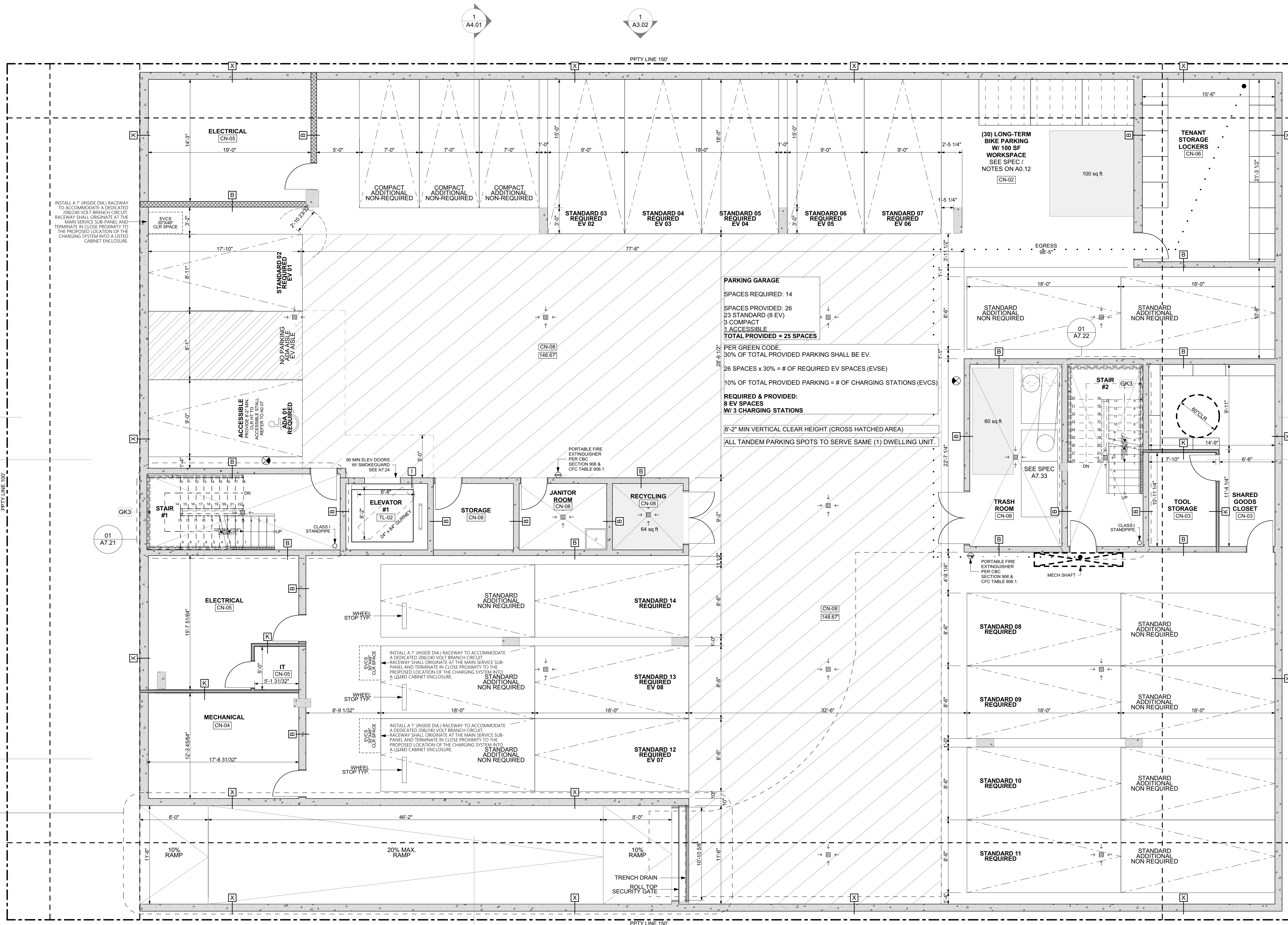
SHEET NAME

**GARAGE PARKING
PLAN**

PUBLISHED: 5/3/2022

A2.00

SHEET 32 OF 152



GARAGE
SCALE: 3/16" = 1'-0"

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GENERAL NOTES

CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION OR INSTALLATION. CONFIRM SHEAR WALL & OTHER STRUCTURAL REQUIREMENTS WITH STRUCTURAL ENGINEER'S DRAWINGS. SEE ALSO GENERAL NOTES A0.01 & A0.02

GARAGE NOTES

1. GARAGE LEVEL SHALL BE S-2 OCCUPANCY.

2. DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21(A) CHART NO. 5 TYP.

3. 5% MAX SLOPE IN ANY DIRECTION FOR PARKING STALLS.

4. INSTALL MIN. 1-INCH (INSIDE DIAMETER) RACEWAY TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT. RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE TO THE EV SPACES INTO A LISTED CABINET, BOX OR ENCLOSURE.

PLANNING NOTES

1. PER EXPO TNP SPECIFIC PLAN, SECTION 4.3.3.A.1: WINDOWS AND DOORS VISIBLE FROM THE STREET SHALL BE RECESSED AT LEAST 2 INCHES FROM THE BUILDING FACADE. (THIS PROJECT COMPLIES WITH WINDOWS AND DOORS BEING RECESSED MINIMUM 5 3/4 INCHES FROM BUILDING FACADE.)

GREEN NOTES

1. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.

2. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS "EV CAPABLE" IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.

PARTITION TYPES, SEE A7.01

A	CMU WALL, 3-HR FIRE RATED
B	C.I.P. CONCRETE WALL, 3-HR FIRE RATED
C	TRASH CHUTE / ELEV. SHAFT WALL, 2-HR FIRE RATED
D	ELEV. SHAFT WALL @ INT. WALL, 2-HR FIRE RATED
E	STUCCO / GYP BD WALL, 1-HR FIRE RATED
F	STUCCO / TILE WALL, 1-HR FIRE RATED
G	WOOD SD / GYP BD WALL, 1-HR FIRE RATED
H	GYP BD / GYP BD WALL, 1-HR FIRE RATED
I	UNIT SEPARATION / CHASE WALL, 2-HR FIRE RATED
J	GYP BD / TILE WALL
K	TILE / TILE WALL
L	DBL GYP BD / DBL GYP BD, 2-HR FIRE RATED

STANDBY POWER NOTE:
ELEVATOR WITH STANDBY POWER IN ACCORDANCE WITH CBC CHAPTER 27 AND CBC 3003 TO BE PROVIDED FOR BUILDINGS WHERE A REQUIRED ACCESSIBLE FLOOR IS 4 OR MORE STORIES ABOVE OR BELOW A LEVEL OF EXIT DISCHARGE.

TO BE PROVIDED ON ROOF.

FINISH LEGEND

CN-1	CONCRETE MASONRY UNIT
CN-2	UNCOLORED CONC. W/ SMOOTH FIN. SOLAR REFLECTANCE VALUE > 0.30 PER ASTM E1918.
GB-1	TYPE X GYPSUM BOARD, GREENBOARD IN ALL WET AREAS
GL-1	TEMPERED GLASS SHOWER ENCLOSURE
MT-1	METAL W/ POWDER COATED FINISH
PL-1	SAND FINISH PLASTER W/ INTEGRAL COLOR: WHITE
PL-2	SAND FINISH PLASTER W/ INTEGRAL COLOR: GRAY
GR-1	CRUSHED GRAVEL OVER COMPACTED FILL
TL-1	TILE FLOOR, SLIP RESISTANT
TL-2	CERAMIC WALL TILE
TL-3	QUARTZ COUNTERTOP
TL-4	TILE, TBD
WB-1	VERTICAL WOOD SIDING 1" X 3" CLEAR CEDAR T&G
WB-2	WOOD DECKING SPECIES / FIN. TBD
WB-3	6" WIDE FRENCH WHITE OAK WD FL., W/ SLIP RESISTANT FIN.
WB-4	WHITE OAK VERTICAL GRAIN WOOD VENEER
RF-1	DEXOTEX WEATHERWEAR® ESR 1757, W/ AJ-44 SR TOP COAT, 413 SPEEDWAY GRAY, SRI 65 SEE (A7.30)
RF-2	SARNAFIL MEMBRANE, WHITE, LARR 24852 SEE (A7.30)
PP-1	PERMEABLE PAVERS

GENERAL KEYNOTES

GK1 GUARDRAIL TO BE 42" MIN. HEIGHT WITH 3 1/2" MAX. OPENING SIZE.

GK2 SEE DETAIL 01A7.10

GK3 COLUMN PER STRUCTURAL

GK4 STEEL STAIR (UNDER DEFERRED SUBMITTAL)

GK5 PLANTING/BENCH PER LANDSCAPE

GK6 PLANTERS PER CIVIL

GK8 6" CMU STEEL WALL

LEGEND

← GKXX	GENERAL KEYNOTE (THIS SHEET)
---	PROPERTY LINE
---	SETBACK LINE
---	CENTERLINE
---	LINE OF OBJECT ABOVE
---	LINE OF OBJECT BELOW
---	STRUCTURAL GRIDLINE
---	WALL TYPE PER A7.00
---	SLOPE TO DRAIN MAX 2%
---	FLOOR ELEVATIONS
---	MAX. ELEV. TRANSITION W/ BEVEL W/ MAX 1:2 SLOPE AREA DRAIN
---	EXIT SIGN
---	6" DIA. MTL SAFETY BOLLARD
---	CEILING MOUNTED SMOKE DETECTOR
---	CEILING MOUNTED CARBON MONOXIDE DET.
---	EXHAUST FAN
---	FUTURE ELECTRICAL VEHICLE SUPPLY EQUIP.
---	WATER CURTAIN PER LABC 705.8.2 & MIN. REQ. PER DOC P/B/C 2014-106
---	ONE-HOUR FIRE PARTITION IN ACCORDANCE WITH SECTION 708.3
---	TWO-HOUR FIRE-RESISTANCE RATED ENCLOSURE IN ACCORDANCE WITH SECTION 707 AND 711.
---	DIMENSION TO FINISH FACE OF WALLS / SURFACES
---	DIMENSION TO FRAMING (FACE OF STUD)



DATE	DESCRIPTION
05.03.22	PLANNING SET
07.12.21	PC SUBMISSION 1
04.15.21	PZA PC RESPONSE 2
03.04.21	PZA PC RESPONSE 1

PROJECT NO: #Project Code

SHEET NAME

1ST FLOOR PLAN

PUBLISHED: 5/3/2022

A2.01

SHEET 33 OF 152

PURDUE AVE.

ATED METAL SCREEN
20'-4 1/2" IN LENGTH

(3) SHORT-TERM
(2"x6") BIKE PARKING
= SPEC / NOTES A0.12

(N) DRIVEWAY

1ST FL.
SCALE: 3/16" = 1'-0"

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GENERAL NOTES
CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION OR INSTALLATION. CONFIRM SHEAR WALLS & OTHER STRUCTURAL REQUIREMENTS WITH STRUCTURAL ENGINEER'S DRAWINGS. SEE ALSO GENERAL NOTES A0.01 & A0.02.

MEANS OF EGRESS
1. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. (CBC 1013.3)
2. EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5-FOOT CANDLES. (CBC 1013.6.2)
3. INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SECTION 2702.
4. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. (CBC 1013.6.3)
5. EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MIN. IN CASE OF PRIMARY POWER LOSS. (CBC 1013.6.3)
6. EGRESS DOORS SHALL BE READY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. SEE 1008.1.9 FOR EXCEPTIONS.
7. DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT MIN. 34" AND A MAX. 48" ABOVE THE FINISHED FLOOR. (1008.1.9.2)
8. THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.
9. ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY WITH SECTION 1010.1.9 - 1010.1.9.12.
10. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
11. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE. (1008.2.1, 1008.3.3)
12. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS: A. AISLES, CORRIDORS, AND EXIT STAIRWAYS AND RAMP IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS. (1008.3.1)

B. INTERIOR EXIT ACCESS STAIRWAYS AND RAMP, INTERIOR AND EXTERIOR STAIRWAYS AND RAMP, EXIT PASSAGEWAYS AND VESTIBULES AND AREA ON THE LEVEL OF EXIT DISCHARGE USED FOR EXIT DISCHARGE IN ACCORDANCE WITH 1008.1 IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
C. ELECTRICAL EQUIPMENT ROOMS, FILE COMMAND CENTERS, FIRE PUMP ROOMS, GENERATOR ROOMS AND PUBLIC REST ROOMS LARGER THAN 300 SQUARE FEET.
13. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES & SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE W/ SECTION 2702. (1008.3.4)
14. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (1 LUX) & A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (6 LUX) AVERAGE & A MINIMUM AT ANY POINT OF 0.06 FOOT-CANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM TO MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED. (1008.2.5)
15. THE EXIT SIGNS SHALL ALSO BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES UNIT EQUIPMENT OR AN ON-SITE GENERATOR SET, & THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE W/ THE ELECTRICAL CODE, FOR HIGH RISE BUILDINGS. SEE SECTION 403.
16. PROVIDE EMERGENCY RESPONDER RADIO COVERAGE IN ACCORDANCE WITH LAFD 510.
17. ALL BUILDINGS WITH ONE OR MORE PASSENGER SERVICE ELEVATORS SHALL BE PROVIDED WITH NOT LESS THAN ONE MEDICAL EMERGENCY SERVICE ELEVATOR TO ALL LANDINGS. ELEVATOR CAB SHALL HAVE AN MINIMUM DIMENSION OF 60" X 54" WITH 42" CLEAR OPENING.
18. MEANS OF EGRESS SHALL HAVE A CEILING HEIGHT OF AT LEAST 7'-6". (CBC 1003.2)
19. STAIRWAYS SHALL BE BUILT OF MATERIALS CONSISTENT WITH THE TYPE OF CONSTRUCTION. (CBC 1011.7)
20. EMERGENCY & STANDBY POWER SYSTEMS SHALL BE DESIGNED TO PROVIDE REQUIRED POWER FOR 2-HR MIN. U.N.O. (LAFD 604.1.4)

FIRE PROTECTION
1. THIS BUILDING MUST BE EQUIPPED W/ AN AUTOMATIC FIRE EXTINGUISHING SYSTEM, COMPLYING WITH NFPA-13. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION.
2. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH RATING OF NOT LESS THAN 2-A OR 2A-10BC, WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR, INCLUDING DURING CONSTRUCTION.
3. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH RATING OF NOT LESS THAN 1BC FOR KITCHENS, ELECTRICAL ROOMS, MECHANICAL ROOMS, AND PARKING GARAGES.
4. PROVIDE FIRE EXTINGUISHER AS REQUIRED BY FIRE DEPT FIELD INSPECTOR.
5. PROVIDE PANIC / FIRE EXIT HARDWARE AT DOORS SERVING ROOMS/SPACES WITH AN OCCUPANT LOAD OF 50 OR MORE.
6. CORRIDORS AND ENCLOSURE FOR ALL PENETRATIONS THROUGH WALLS, FLOORS AND GARAGE DECK PER 7.13.4 SEALANT SHALL BE DAP FIREBLOCK FOAM SEALANT, ICC ESR-1068.
7. DOORS SHALL BE 1.5 HR FIRE RATED AND WINDOWS SHALL BE 1.5 HR FIRE RATED IN 2 HR WALLS. DOORS SHALL BE 3/4 HR FIRE RATED AND WINDOWS SHALL BE 3/4 HR FIRE RATED IN 1 HR WALLS.
8. EMERGENCY & STANDBY POWER SYSTEMS SHALL BE DESIGNED TO PROVIDE REQUIRED POWER FOR 2-HR MIN. U.N.O. (LAFD 510.1.4).
9. AN AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED AT THE TOP OF RUBBISH & LINEN CHUTES & IN THEIR TERMINAL ROOMS. CHUTES SHALL HAVE ADDITIONAL SPRINKLER HEADS INSTALLED AT THE ALTERNATE FLOORS AND THE LOWEST INTAKE.
10. BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS. SEE LAFD 510 & FPD REQ #105.
11. PROVIDE TWO-WAY COMMUNICATION SYSTEM AT THE LANDING SERVING EACH ELEVATOR OR BANK OF ELEVATORS ABOVE OR BELOW THE LEVEL OF EXIT DISCHARGE. (CBC 1008.8)
12. TACTILE EXIT SIGNS SHALL BE REQUIRED AT THE FOLLOWING LOCATIONS: (CBC 1013.4)
A. EXIT SIGN AT EACH GRADE-LEVEL EXTERIOR EXIT DOOR.
B. EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXIT.
C. EACH EXIT DOOR THAT LEADS TO A STAIRWAY OR RAMP SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS AS APPROPRIATE:

I. "EXIT STAIR DOWN"
II. "EXIT RAMP DOWN"
III. "EXIT STAIR UP"
IV. "EXIT RAMP UP"
C. "EXIT ROUTE": AT EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE OR AN EXIT PASSAGE.
D. "EXIT ROUTE": AT EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY.
E. TO EXIT: AT EACH EXIT DOOR THROUGH A HORIZONTAL EXIT.
14. PROVIDE A SIGN AT EACH FLOOR LANDING IN AN INTERIOR EXIT STAIRWAY AND RAMP CONNECTING >3 STORIES DESIGNATING THE FLOOR LEVEL, THE TERMINUS OF THE TOP & BOTTOM OF THE INTERIOR EXIT STAIRWAY & RAMP & THE IDENTIFICATION OF THE STAIRWAY OR RAMP. THE SIGNAGE SHALL ALSO STATE THE STORY OF, & THE DIRECTION TO, THE EXIT DISCHARGE & THE AVAILABILITY OF ROOF ACCESS FOR THE FIRE DEPARTMENT. THE SIGN SHALL BE LOCATED 5 FEET (1524 MM) ABOVE THE FLOOR LANDING. (CBC 1023.9)
15. PROVIDE FIRE SPRINKLERS THROUGHOUT. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
16. MEANS OF EGRESS SERVING A ROOM OR SPACE SHALL BE ILLUMINATED AT ALL TIMES THAT THE ROOM OR SPACE IS OCCUPIED. THE ILLUMINATION LEVEL SHALL NOT BE <1 FOOT-CANDLE AT THE WALKING SURFACE. (CBC 1008.2)
17. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE ALL OF THE FOLLOWING AREAS FOR A DURATION OF NOT <90 MIN. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS NOT LESS THAN AN AVERAGE OF 1 FOOT-CANDLE AND A MIN AT ANY POINT OF .1 FOOT-CANDLE. (CBC 1013.3)
18. THE FACE OF AN EXIT SIGN ILLUMINATED FROM AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF GREATER THAN OR EQUAL TO 5 FOOT-CANDLES. (CBC 1013.6.3)
19. IN CASE OF PRIMARY POWER LOSS, THE SIGN ILLUMINATION MEANS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM FOR A DURATION OF NOT LESS THAN 90 MIN. U.N.O. (LAFD 510.1.4).
20. THIS BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH NFPA 72: (907.2.9, 907.5.2.3.3, 907.5.2.3.4)

GREEN NOTES
1. IRRIGATION CONTROLLERS SHALL BE WEATHER OR OIL BASED. LOCATE CONTROLLERS AS INDICATED ON THE PLAN.
2. PROVIDE A 4" BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED FOR SLABS ON GRADE.
3. PROVIDE A VAPOR BARRIER SHALL BE PROVIDED IN DIRECT CONTACT WITH FOR SLAB ON GRADE.
4. FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.
5. BATH FANS TO BE ENERGY STAR COMPLIANT, CONTROLLED BY HUMIDISTAT AND VENTED TO OUTSIDE.
6. FIREPLACE SHALL BE DIRECT-VENT AND SEALED COMBUSTION TYPE. WOOD BURNING FIREPLACES AND OTHER WOOD BURNING DEVICES ARE PROHIBITED.
7. ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT.
8. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(I) SHALL BE PROVIDED TO THE OCCUPANT.
9. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
10. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS "EV CAPABLE" IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.

PLANNING NOTES
1. PER EXPO TYP SPECIFIC PLAN, SECTION 4.3.3.A.1, WINDOWS AND DOORS VISIBLE FROM THE STREET SHALL BE RECESSED AT LEAST 2 INCHES FROM THE BUILDING FACADE. THIS PROJECT COMPLIES WITH WINDOWS AND DOORS BEING RECESSED MINIMUM 5 3/4 INCHES FROM BUILDING FACADE.)

PARTITION TYPES, SEE A7.01
A CMU WALL, 3-HR FIRE RATED
B C.I.P. CONCRETE WALL, 3-HR FIRE RATED
C TRASH CHUTE / ELEV. SHAFT WALL, 2-HR FIRE RATED
D ELEV. SHAFT WALL @ INT. WALL, 2-HR FIRE RATED
E STUCCO / GYP BD WALL, 1-HR FIRE RATED
F STUCCO / TILE WALL, 1-HR FIRE RATED
G WOOD SD / GYP BD WALL, 1-HR FIRE RATED
H GYP BD / GYP BD WALL, 1-HR FIRE RATED
I UNIT SEPARATION / CHASE WALL, 2-HR FIRE RATED
J UNIT SEPARATION / CHASE WALL W/ TILE, 2-HR FIRE RATED
K GYP BD / TILE WALL
L TILE / TILE WALL
M DBL GYP BD / DBL GYP BD, 2-HR FIRE RATED

STANDBY POWER NOTE:
ELEVATOR WITH STANDBY POWER IN ACCORDANCE WITH CBC CHAPTER 27 AND CBC 3003 TO BE PROVIDED FOR BUILDINGS WHERE A REQUIRED ACCESSIBLE FLOORS IS 4 OF MORE STORIES ABOVE OR BELOW A LEVEL OF EXIT DISCHARGE.
TO BE PROVIDED ON ROOF.

GENERAL KEYNOTES
GK1 GUARDRAIL TO BE 42" MIN. HEIGHT WITH 3 1/8" MAX. OPENING SIZE. SEE DETAIL 01A7.10.
GK2 COLUMN PER STRUCTURAL
GK3 STEEL STAIR (UNDER DEFERRED SUBMITTAL)
GK4 PLANTING/BENCH PER LANDSCAPE
GK5 PLANTERS PER CIVIL
GK6 CMU SITE WALL

LEGEND
GENERAL KEYNOTE (THIS SHEET)
PROPERTY LINE
STRUCTURAL GRIDLINE
LINE OF OBJECT ABOVE
LINE OF OBJECT BELOW
WALL TYPE PER A7.00
SLOPE TO DRAIN MAX 2%
FLOOR ELEVATIONS
MAX. ELEV. TRANSITION W/ BEVEL W/ MAX 1:2 SLOPE
AREA DRAIN
EXIT SIGN
6" DIA. MTL SAFETY BOLLARD
CEILING MOUNTED SMOKE DETECTOR
CEILING MOUNTED CARBON MONOXIDE DET.
EXHAUST FAN
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WATER CURTAIN PER LABC 705.6.2 & MIN. REQ. PER DOC P/B/C 2014-106
ONE-HOUR FIRE PARTITION IN ACCORDANCE WITH SECTION 708
TWO-HOUR FIRE-RESISTANCE RATED ENCLOSURE IN ACCORDANCE WITH SECTION 707 AND 711.
DIMENSION TO FINISH FACE OF WALLS / SURFACES
DIMENSION TO FRAMING (FACE OF STUD)



DATE	DESCRIPTION
05.03.22	PLANNING SET
07.12.21	PC SUBMISSION 1
04.15.21	PZA PC RESPONSE 2
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PROJECT NO: #Project Code

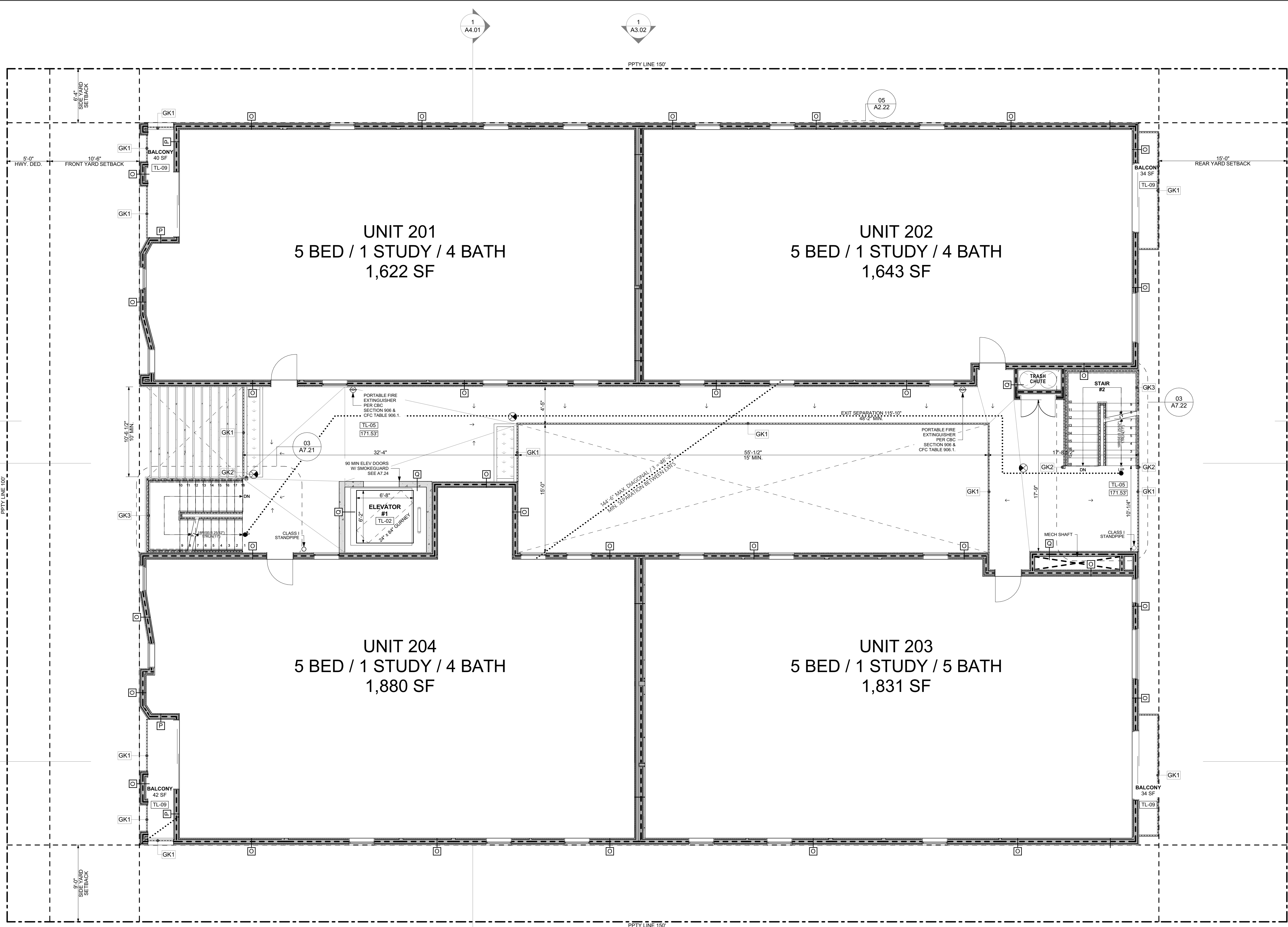
SHEET NAME

2ND FLOOR PLAN

PUBLISHED: 5/3/2022

A2.02

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2ND FL.
SCALE: 3/16" = 1'-0"

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GENERAL NOTES
CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION OR INSTALLATION. CONFIRM SHEAR WALLS & OTHER STRUCTURAL REQUIREMENTS WITH STRUCTURAL ENGINEER'S DRAWINGS. SEE ALSO GENERAL NOTES A0.01 & A0.02.

MEANS OF EGRESS
1. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. (CBC 1013.3)
2. EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5-FOOT CANDLES. (CBC 1013.6.2)
3. INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SECTION 2702.
4. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. (CBC 1013.6.3)
5. EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MIN. IN CASE OF PRIMARY POWER LOSS. (CBC 1013.6.3)
6. EGRESS DOORS SHALL BE READY TO OPEN FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. SEE 1008.1.9 FOR EXCEPTIONS.
7. DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT MIN. 34" AND A MAX. 48" ABOVE THE FINISHED FLOOR. (1008.1.9.2)
8. THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.
9. ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY WITH SECTION 1010.1.9 - 1010.1.9.12.
10. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
11. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE. (1008.2.1, 1008.3.3)
12. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS: A. AISLES, CORRIDORS, AND EXIT STAIRWAYS AND RAMP IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS. (1008.3.1)

8. INTERIOR EXIT ACCESS STAIRWAYS AND RAMP, INTERIOR AND EXTERIOR STAIRWAYS AND RAMP, EXIT PASSAGeways AND VESTIBULES AND AREA ON THE LEVEL OF EXIT DISTANCE USED FOR EXIT DISCHARGE IN ACCORDANCE WITH 1008.1 IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
C. ELECTRICAL EQUIPMENT ROOMS, FILE COMMAND CENTERS, FIRE PUMP ROOMS, GENERATOR ROOMS AND PUBLIC REST ROOMS LARGER THAN 300 SQUARE FEET.
13. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES & SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 2702. (1008.3.4)
14. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (11 LUX) & A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (6 LUX) AVERAGE & A MINIMUM AT ANY POINT OF 0.06 FOOT-CANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM TO MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED. (1008.2.5)
15. THE EXIT SIGNS SHALL ALSO BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES UNIT EQUIPMENT OR ON-SITE GENERATOR SET, & THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODE. FOR HIGH RISE BUILDINGS, SEE SECTION 403.
16. PROVIDE EMERGENCY RESPONDER RADIO COVERAGE IN ACCORDANCE WITH LAFD 510.
17. ALL BUILDINGS WITH ONE OR MORE PASSENGER SERVICE ELEVATORS SHALL BE PROVIDED WITH NOT LESS THAN ONE MEDICAL EMERGENCY SERVICE ELEVATOR TO ALL LANDINGS. ELEVATOR CAB SHALL HAVE AN MINIMUM DIMENSION OF 60" X 54" WITH 42" CLEAR OPENING.
18. MEANS OF EGRESS SHALL HAVE A CEILING HEIGHT OF AT LEAST 7'-6". (CBC 1003.2)
19. STAIRWAYS SHALL BE BUILT OF MATERIALS CONSISTENT WITH THE TYPE OF CONSTRUCTION. (CBC 1011.7)
20. EMERGENCY & STANDBY POWER SYSTEMS SHALL BE DESIGNED TO PROVIDE REQUIRED POWER FOR 2-HR MIN. U.N.O. (LAFD 604.14)

FIRE PROTECTION
1. THIS BUILDING MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM, COMPLYING WITH NFPA-13. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION.
2. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH RATING OF NOT LESS THAN 2-A OR 2-A10:BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR, INCLUDING DURING CONSTRUCTION.
3. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH RATING OF NOT LESS THAN 10BC FOR KITCHENS, ELECTRICAL ROOMS, MECHANICAL ROOMS, AND PARKING GARAGES.
4. PROVIDE FIRE EXTINGUISHER AS REQUIRED BY FIRE DEPT FIELD INSPECTOR.
5. PROVIDE PANIC / FIRE EXIT HARDWARE AT DOORS SERVING ROOMS/SPACES WITH AN OCCUPANT LOAD OF 50 OR MORE.
6. PROVIDE 1 HOUR RATED SEALANT AT ALL PENETRATIONS THROUGH WALLS, FLOORS AND GARAGE DECK PER 7.13.4 SEALANT SHALL BE DAP FIREBLOCK FOAM SEALANT, ICC ESR-1068.
7. CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND EXIT ACCESS RAMP TO BE CLASS C.
8. DOORS SHALL BE 1.5 HR FIRE RATED AND WINDOWS SHALL BE 1.5 HR FIRE RATED IN 2 HR WALLS. DOORS SHALL BE 3/4 HR FIRE RATED AND WINDOWS SHALL BE 3/4 HR FIRE RATED IN 1 HR WALLS.
9. EMERGENCY & STANDBY POWER SYSTEMS SHALL BE DESIGNED TO PROVIDE REQUIRED POWER FOR 2-HR MIN. U.N.O. (LAFD 510.1.4).
10. AN AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED AT THE TOP OF RUBBISH & LINEN CHUTES & IN THEIR TERMINAL ROOMS. CHUTES SHALL HAVE ADDITIONAL SPRINKLER HEADS INSTALLED AT THE ALTERNATE FLOORS AND THE LOWEST INTAKE.
11. BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS. SEE LAFD 510 AND FPB REQ 1105.
12. PROVIDE TWO-WAY COMMUNICATION SYSTEM AT THE LANDING SERVING EACH ELEVATOR OR BANK OF ELEVATORS ABOVE OR BELOW THE LEVEL OF EXIT DISCHARGE. (CBC 1009.8)
13. TACTILE EXIT SIGNS SHALL BE REQUIRED AT THE FOLLOWING LOCATIONS: (CBC 1013.4)
A. EXIT SIGN AT EACH GRADE-LEVEL EXTERIOR EXIT DOOR.
B. EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS AS APPROPRIATE:

I. "EXIT STAIR DOWN"
II. "EXIT RAMP DOWN"
III. "EXIT STAIR UP"
IV. "EXIT RAMP UP"
C. EXIT ROUTE: AT EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE OR AN EXIT PASSAGE.
D. EXIT ROUTE: AT EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY.
E. TO EXIT: AT EACH EXIT DOOR THROUGH A HORIZONTAL EXIT.
14. PROVIDE A SIGN AT EACH FLOOR LANDING IN AN INTERIOR EXIT STAIRWAY AND RAMP CONNECTING +3 STORIES DESIGNATING THE FLOOR LEVEL. THE TERMINUS OF THE TOP & BOTTOM OF THE INTERIOR EXIT STAIRWAY & RAMP & THE IDENTIFICATION OF THE STAIRWAY OR RAMP. THE SIGNAGE SHALL ALSO STATE THE STORY OF, & THE DIRECTION TO, THE EXIT DISCHARGE & THE AVAILABILITY OF ROOF ACCESS FOR THE FIRE DEPARTMENT. THE SIGN SHALL BE LOCATED 5 FEET (1524 MM) ABOVE THE FLOOR LANDING. (CBC 1023.9)
15. PROVIDE FIRE SPRINKLERS THROUGHOUT. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
16. MEANS OF EGRESS SERVING A ROOM OR SPACE SHALL BE ILLUMINATED AT ALL TIMES THAT THE ROOM OR SPACE IS OCCUPIED. THE ILLUMINATION LEVEL SHALL NOT BE <1 FOOT-CANDLE AT THE WALKING SURFACE. (CBC 1008.2)
17. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE ALL OF THE FOLLOWING AREAS FOR A DURATION OF NOT <90 MIN. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS NOT LESS THAN AN AVERAGE OF 1 FOOT-CANDLE AND A MIN AT ANY POINT OF 1 FOOT-CANDLE. (CBC 1013.3)
18. THE FACE OF AN EXIT SIGN ILLUMINATED FROM AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF GREATER THAN OR EQUAL TO 5 FOOT-CANDLES. (CBC 1013.6.3)
19. IN CASE OF PRIMARY POWER LOSS, THE SIGN ILLUMINATION MEANS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM FOR A DURATION OF NOT <90 MINUTES. (CBC 1013.6.3)
20. THIS BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH NFPA 72 (907.2.9, 907.5.2.3.3, 907.5.2.3.4)

GREEN NOTES
1. IRRIGATION CONTROLLERS SHALL BE WEATHER OR OIL BASED. LOCATE CONTROLLERS AS INDICATED ON THE PLAN.
2. PROVIDE 4" BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED FOR SLABS ON GRADE.
3. PROVIDE A VAPOR BARRIER SHALL BE PROVIDED IN DIRECT CONTACT WITH FOR SLAB ON GRADE.
4. FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.
5. BATH FANS TO BE ENERGY STAR COMPLIANT, CONTROLLED BY HUMIDISTAT AND VENTED TO OUTSIDE.
6. FIREPLACE SHALL BE DIRECT-VENT AND SEALED COMBUSTION TYPE. WOOD BURNING FIREPLACES AND OTHER WOOD BURNING DEVICES ARE PROHIBITED.
7. ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT.
8. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT.
9. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
10. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS "EV CAPABLE" IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.

PLANNING NOTES
1. PER EXPT TNP SPECIFIC PLAN, SECTION 4.3.3.A.1, WINDOWS AND DOORS VISIBLE FROM THE STREET SHALL BE RECESSED AT LEAST 2 INCHES FROM THE BUILDING FACADE. THIS PROJECT COMPLIES WITH WINDOWS AND DOORS BEING RECESSED MINIMUM 5 3/4 INCHES FROM BUILDING FACADE.)

PARTITION TYPES, SEE A7.01

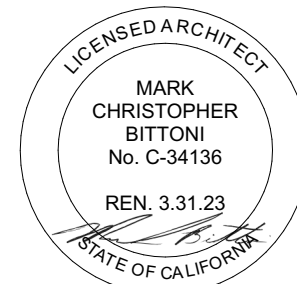
A	CMU WALL, 3-HR FIRE RATED
B	C.I.P. CONCRETE WALL, 3-HR FIRE RATED
C	TRASH CHUTE / ELEV. SHAFT WALL, 2-HR FIRE RATED
D	ELEV. SHAFT WALL @ INT. WALL, 2-HR FIRE RATED
E	STUCCO / GYP BD WALL, 1-HR FIRE RATED
F	STUCCO / TILE WALL, 1-HR FIRE RATED
G	WOOD SD / GYP BD WALL, 1-HR FIRE RATED
H	GYP BD / GYP BD WALL, 1-HR FIRE RATED
I	UNIT SEPARATION / CHASE WALL, 2-HR FIRE RATED
J	GYP BD / TILE WALL
K	TILE / TILE WALL
L	DBL GYP BD / DBL GYP BD, 2-HR FIRE RATED

STANDBY POWER NOTE:
ELEVATOR WITH STANDBY POWER IN ACCORDANCE WITH CBC CHAPTER 27 AND CBC 3003 TO BE PROVIDED FOR BUILDINGS WHERE A REQUIRED ACCESSIBLE FLOORS IS 4 OF MORE STORIES ABOVE OR BELOW A LEVEL OF EXIT DISCHARGE.
TO BE PROVIDED ON ROOF.

GENERAL KEYNOTES
GK1 GUARDRAIL TO BE 42" MIN. HEIGHT WITH 3 15/16" MAX. OPENING SIZE. SEE DETAIL 01A7.10.
GK2 COLUMN PER STRUCTURAL
GK3 STEEL STAIR (UNDER DEFERRED SUBMITTAL)
GK4 PLANTING/BENCH PER LANDSCAPE
GK5 PLANTERS PER CIVIL
GK6 6" CMU STEEL WALL

LEGEND

← GKXX	GENERAL KEYNOTE (THIS SHEET)
---	PROPERTY LINE
---	SETBACK LINE
---	CENTERLINE
---	LINE OF OBJECT ABOVE
---	LINE OF OBJECT BELOW
○	STRUCTURAL GRIDLINE
→	WALL TYPE PER A7.00
↘	SLOPE TO DRAIN MAX 2%
+	FLOOR ELEVATIONS
+	MAX. ELEV. TRANSITION W/ BEVEL W/ MAX 1:2 SLOPE
+	AREA DRAIN
⊙	EXIT SIGN
⊙	6" DIA. MTL SAFETY BOLLARD
⊙	CEILING MOUNTED SMOKE DETECTOR
⊙	EXHAUST FAN
⊙	FUTURE ELECTRICAL VEHICLE SUPPLY EQUIP.
⊙	WATER CURTAIN PER LABC 705.6.2 & MIN. REQ. PER DOC P/B/C 2014-106
⊙	ONE-HOUR FIRE PARTITION IN ACCORDANCE WITH SECTION 708.3
---	TWO-HOUR FIRE-RESISTANCE RATED ENCLOSURE IN ACCORDANCE WITH SECTION 707 AND 711.
---	DIMENSION TO FINISH FACE OF WALLS / SURFACES
---	DIMENSION TO FRAMING (FACE OF STUD)



05.03.22	PLANNING SET
07.12.21	PC SUBMISSION 1
04.15.21	PZA PC RESPONSE 2
03.04.21	PZA PC RESPONSE 1
DATE	DESCRIPTION

PROJECT NO: #Project Code

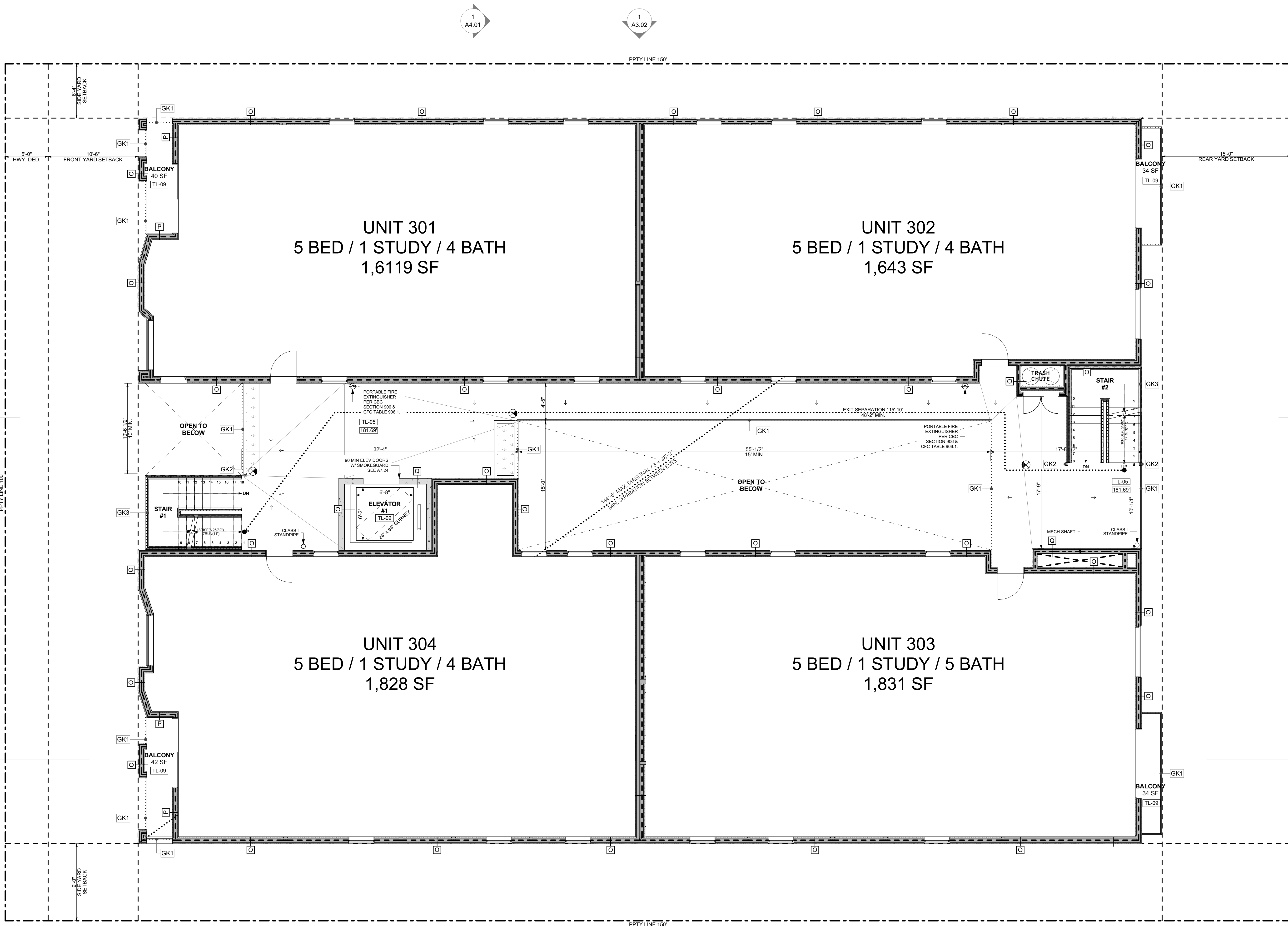
SHEET NAME

3RD FLOOR PLAN

PUBLISHED: 5/3/2022

A2.03

SHEET 35 OF 152



3RD FL.
SCALE: 3/16" = 1'-0"

EXHIBIT "A"
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MEANS OF EGRESS
1. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. (CBC 1013.3)
2. EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5-FOOT CANDLES. (CBC 1013.6.2)
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4. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. (CBC 1013.6.3)
5. EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MIN. IN CASE OF PRIMARY POWER LOSS. (CBC 1013.6.3)
6. EGRESS DOORS SHALL BE READY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. SEE 1008.1.9 FOR EXCEPTIONS.
7. DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT MIN. 34" AND A MAX. 48" ABOVE THE FINISHED FLOOR. (1008.1.9.2)
8. THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.
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B. INTERIOR EXIT ACCESS STAIRWAYS AND RAMP, INTERIOR AND EXTERIOR STAIRWAYS AND RAMP, EXIT PASSAGeways AND VESTIBULES AND AREA ON THE LEVEL OF EXIT DISCHARGE USED FOR EXIT DISCHARGE IN ACCORDANCE WITH 1008.1 IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
C. ELECTRICAL EQUIPMENT ROOMS, FILE COMMAND CENTERS, FIRE PUMP ROOMS, GENERATOR ROOMS AND PUBLIC REST ROOMS LARGER THAN 300 SQUARE FEET.
13. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES & SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 2702. (1008.3.4)
14. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (11 LUX) & A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (6 LUX) AVERAGE & A MINIMUM AT ANY POINT OF 0.06 FOOT-CANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM TO MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED. (1008.2.5)
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16. PROVIDE EMERGENCY RESPONDER RADIO COVERAGE IN ACCORDANCE WITH LAFD 510.
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5. PROVIDE PANIC / FIRE EXIT HARDWARE AT DOORS SERVING ROOMS/SPACES WITH AN OCCUPANT LOAD OF 50 OR MORE.
6. PROVIDE 1 HOUR RATED SEALANT AT ALL PENETRATIONS THROUGH WALLS, FLOORS AND GARAGE DECK PER 7.13.4 SEALANT SHALL BE DAP FIREBLOCK FOAM SEALANT, ICC ESR-1068.
7. CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND EXIT ACCESS RAMP TO BE CLASS C.
8. DOORS SHALL BE 1.5 HR FIRE RATED AND WINDOWS SHALL BE 1.5 HR FIRE RATED IN 2 HR WALLS. DOORS SHALL BE 3/4 HR FIRE RATED AND WINDOWS SHALL BE 3/4 HR FIRE RATED IN 1 HR WALLS.
9. EMERGENCY & STANDBY POWER SYSTEMS SHALL BE DESIGNED TO PROVIDE REQUIRED POWER FOR 2-HR MIN. U.N.O. (LAFD 504.1.4).
10. AN AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED AT THE TOP OF RUBBISH & LINEN CHUTES & IN THEIR TERMINAL ROOMS. CHUTES SHALL HAVE ADDITIONAL SPRINKLER HEADS INSTALLED AT THE ALTERNATE FLOORS AND THE LOWEST INTAKE.
11. BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS. SEE LAFD 510 AND FPD REQ 1105.
12. PROVIDE TWO-WAY COMMUNICATION SYSTEM AT THE LANDING SERVING EACH ELEVATOR OR BANK OF ELEVATORS ABOVE OR BELOW THE LEVEL OF EXIT DISCHARGE. (CBC 1009.8)
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II. "EXIT RAMP DOWN"
III. "EXIT STAIR UP"
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6. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE ALL OF THE FOLLOWING AREAS FOR A DURATION OF NOT <50 MIN. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS NOT LESS THAN AN AVERAGE OF 1 FOOT-CANDLE AND A MIN AT ANY POINT OF 1 FOOT-CANDLE. (CBC 1013.6.3)
11. IN CASE OF PRIMARY POWER LOSS, THE SIGN ILLUMINATION MEANS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM FOR A DURATION OF NOT <90 MINUTES. (CBC 1013.6.3)
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5. BATH FANS TO BE ENERGY STAR COMPLIANT, CONTROLLED BY HUMIDISTAT AND VENTED TO OUTSIDE.
6. FIREPLACE SHALL BE DIRECT-VENT AND SEALED COMBUSTION TYPE. WOOD BURNING FIREPLACES AND OTHER WOOD BURNING DEVICES ARE PROHIBITED.
7. ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT.
8. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT.
9. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
10. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS "EV CAPABLE" IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.

PLANNING NOTES
1. PER EXP TYP SPECIFIC PLAN, SECTION 4.3.3.A.1, WINDOWS AND DOORS VISIBLE FROM THE STREET SHALL BE RECESSED AT LEAST 2 INCHES FROM THE BUILDING FACADE. THIS PROJECT COMPLIES WITH WINDOWS AND DOORS BEING RECESSED MINIMUM 5 3/4 INCHES FROM BUILDING FACADE.)

PARTITION TYPES, SEE A7.01

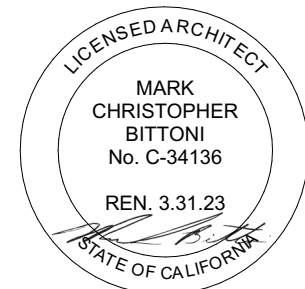
A	CMU WALL, 3-HR FIRE RATED
B	C.I.P. CONCRETE WALL, 3-HR FIRE RATED
C	TRASH CHUTE / ELEV. SHAFT WALL, 2-HR FIRE RATED
D	ELEV. SHAFT WALL @ INT. WALL, 2-HR FIRE RATED
E	STUCCO / GYP BD WALL, 1-HR FIRE RATED
F	STUCCO / TILE WALL, 1-HR FIRE RATED
G	WOOD SD / GYP BD WALL, 1-HR FIRE RATED
H	GYP BD / GYP BD WALL, 1-HR FIRE RATED
I	GYP BD / TILE WALL
J	TILE / TILE WALL
K	UNIT SEPARATION / CHASE WALL, 2-HR FIRE RATED
L	GYP BD / DBL GYP BD, 2-HR FIRE RATED

STANDBY POWER NOTE:
ELEVATOR WITH STANDBY POWER IN ACCORDANCE WITH CBC CHAPTER 27 AND CBC 3003 TO BE PROVIDED FOR BUILDINGS WHERE A REQUIRED ACCESSIBLE FLOORS IS 4 OF MORE STORIES ABOVE OR BELOW A LEVEL OF EXIT DISCHARGE.
TO BE PROVIDED ON ROOF.

GENERAL KEYNOTES
GK1 GUARDRAIL TO BE 42" MIN. HEIGHT WITH 3 15/16" MAX. OPENING SIZE. SEE DETAIL 01A7.10.
GK2 COLUMN PER STRUCTURAL
GK3 STEEL STAIR (UNDER DEFERRED SUBMITTAL)
GK4 PLANTING/BENCH PER LANDSCAPE
GK5 PLANTERS PER CIVIL
GK6 6" CMU STEEL WALL

LEGEND

← GKXX	GENERAL KEYNOTE (THIS SHEET)
---	PROPERTY LINE
---	SETBACK LINE
---	CENTERLINE
---	LINE OF OBJECT ABOVE
---	LINE OF OBJECT BELOW
○	STRUCTURAL GRIDLINE
→	WALL TYPE PER A7.00
↗	SLOPE TO DRAIN MAX 2%
+	FLOOR ELEVATIONS
+	MAX. ELEV. TRANSITION W/ BEVEL W/ MAX 1:2 SLOPE
+	AREA DRAIN
⊙	EXIT SIGN
⊙	6" DIA. MTL SAFETY BOLLARD
⊙	CEILING MOUNTED SMOKE DETECTOR
⊙	EXHAUST FAN
⊙	FUTURE ELECTRICAL VEHICLE SUPPLY EQUIP.
⊙	WATER CURTAIN PER LABC 705.6.2 & MIN. REQ. PER DOC P/B/C 2014-106
⊙	ONE-HOUR FIRE PARTITION IN ACCORDANCE WITH SECTION 708.3
---	TWO-HOUR FIRE-RESISTANCE RATED ENCLOSURE IN ACCORDANCE WITH SECTION 707 AND 711.
---	DIMENSION TO FINISH FACE OF WALLS / SURFACES
---	DIMENSION TO FRAMING (FACE OF STUD)



DATE	DESCRIPTION
05.03.22	PLANNING SET
07.12.21	PC SUBMISSION 1
04.15.21	PZA PC RESPONSE 2
03.04.21	PZA PC RESPONSE 1

PROJECT NO: #Project Code

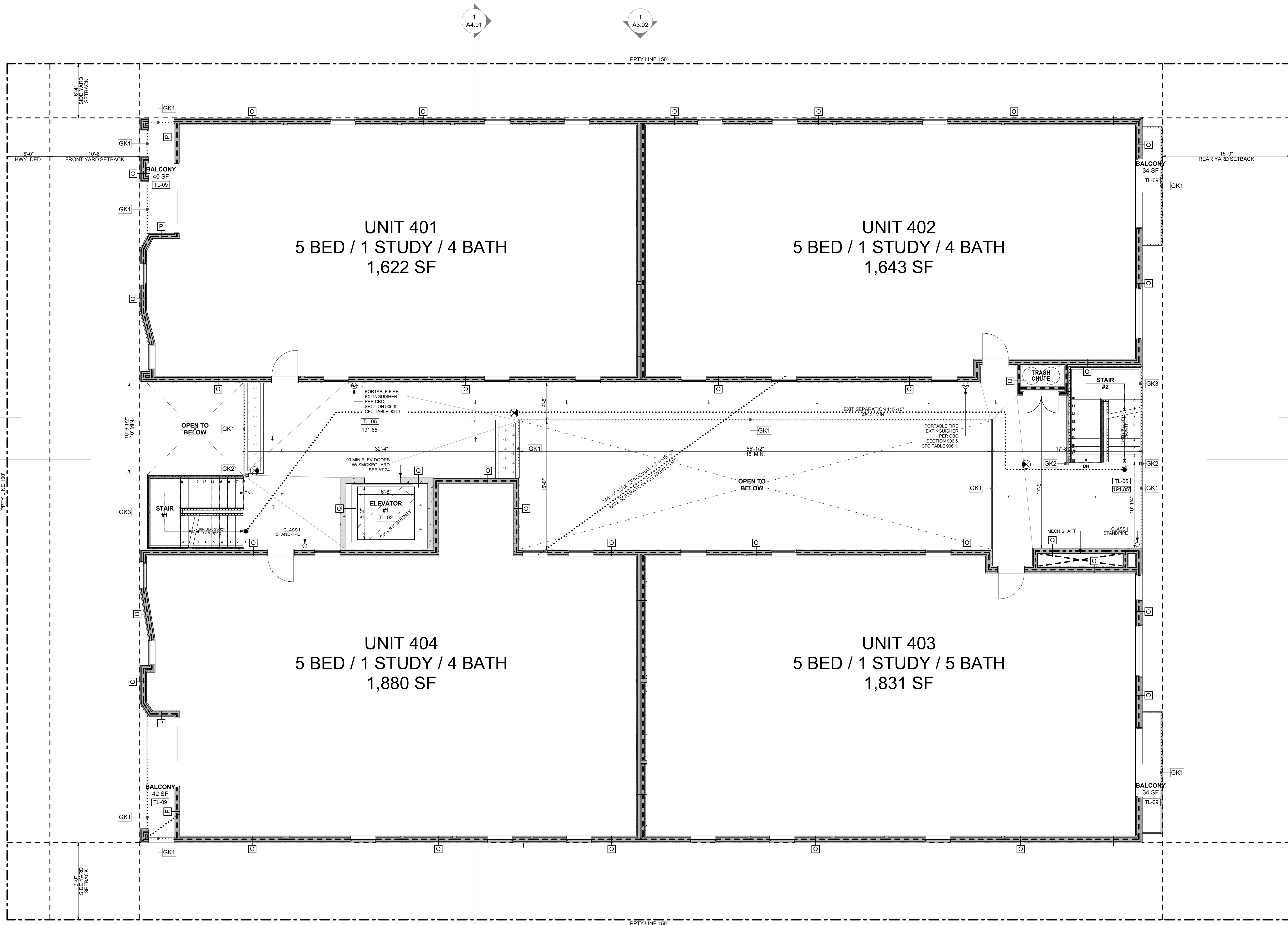
SHEET NAME

4TH FLOOR PLAN

PUBLISHED: 5/3/2022

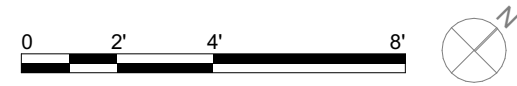
A2.04

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4TH FL.
SCALE: 3/16" = 1'-0"

EXHIBIT "A"
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Case No. DIR-2021-5596-TOC-HCA



GENERAL NOTES
CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION OR INSTALLATION. CONFIRM SHEAR WALLS & OTHER STRUCTURAL REQUIREMENTS WITH STRUCTURAL ENGINEER'S DRAWINGS. SEE ALSO GENERAL NOTES A0.01 & A0.02.

MEANS OF EGRESS
1. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. (CBC 1013.3)
2. EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5-FOOT CANDLES. (CBC 1013.6.2)
3. INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SECTION 2702.
4. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. (CBC 1013.6.3)
5. EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MIN. IN CASE OF PRIMARY POWER LOSS. (CBC 1013.6.3)
6. EGRESS DOORS SHALL BE READY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. SEE 1008.1.9 FOR EXCEPTIONS.
7. DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT MIN. 34" AND A MAX. 48" ABOVE THE FINISHED FLOOR. (1008.1.9.2)
8. THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.
9. ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY WITH SECTION 1010.1.9 - 1010.1.9.12.
10. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
11. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE. (1008.2.1, 1008.3.3)
12. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS: A. AISLES, CORRIDORS, AND EXIT STAIRWAYS AND RAMP IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS. (1008.3.1)

B. INTERIOR EXIT ACCESS STAIRWAYS AND RAMP, INTERIOR AND EXTERIOR STAIRWAYS AND RAMP, EXIT PASSAGeways AND VESTIBULES AND AREA ON THE LEVEL OF EXIT DISTARCH USED FOR EXIT DISCHARGE IN ACCORDANCE WITH 1008.1 IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
C. ELECTRICAL EQUIPMENT ROOMS, FILE COMMAND CENTERS, FIRE PUMP ROOMS, GENERATOR ROOMS AND PUBLIC REST ROOMS LARGER THAN 300 SQUARE FEET.
13. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES & SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 2702. (1008.3.4)
14. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (11 LUX) & A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (6 LUX) AVERAGE & A MINIMUM AT ANY POINT OF 0.06 FOOT-CANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM TO MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED. (1008.2.5)
15. THE EXIT SIGNS SHALL ALSO BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES UNIT EQUIPMENT OR ON-SITE GENERATOR SET, & THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODE. FOR HIGH RISE BUILDINGS, SEE SECTION 403.
16. PROVIDE EMERGENCY RESPONDER RADIO COVERAGE IN ACCORDANCE WITH LAFD 510.
17. ALL BUILDINGS WITH ONE OR MORE PASSENGER SERVICE ELEVATORS SHALL BE PROVIDED WITH NOT LESS THAN ONE MEDICAL EMERGENCY SERVICE ELEVATOR TO ALL LANDINGS. ELEVATOR CAB SHALL HAVE AN MINIMUM DIMENSION OF 60" X 54" WITH 42" CLEAR OPENING.
18. MEANS OF EGRESS SHALL HAVE A CEILING HEIGHT OF AT LEAST 7'-6". (CBC 1003.2)
68. STAIRWAYS SHALL BE BUILT OF MATERIALS CONSISTENT WITH THE TYPE OF CONSTRUCTION. (CBC 1011.7)
71. EMERGENCY & STANDBY POWER SYSTEMS SHALL BE DESIGNED TO PROVIDE REQUIRED POWER FOR 2-HR MIN. U.N.O. (LAFD 604.14)

FIRE PROTECTION
1. THIS BUILDING MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM, COMPLYING WITH NFPA-13. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION.
2. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH RATING OF NOT LESS THAN 2-A OR 2-A10:BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR, INCLUDING DURING CONSTRUCTION.
3. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH RATING OF NOT LESS THAN 10BC FOR KITCHENS, ELECTRICAL ROOMS, MECHANICAL ROOMS, AND PARKING GARAGES.
4. PROVIDE FIRE EXTINGUISHER AS REQUIRED BY FIRE DEPT FIELD INSPECTOR.
5. PROVIDE PANIC / FIRE EXIT HARDWARE AT DOORS SERVING ROOMS/SPACES WITH AN OCCUPANT LOAD OF 50 OR MORE.
6. PROVIDE 1 HOUR RATED SEALANT AT ALL PENETRATIONS THROUGH WALLS, FLOORS AND GARAGE DECK PER 7.13.4 SEALANT SHALL BE DAP FIREBLOCK FOAM SEALANT, ICC ESR-1068.
7. CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND EXIT ACCESS RAMP TO BE CLASS C.
8. DOORS SHALL BE 1.5 HR FIRE RATED AND WINDOWS SHALL BE 1.5 HR FIRE RATED IN 2 HR WALLS. DOORS SHALL BE 3/4 HR FIRE RATED AND WINDOWS SHALL BE 3/4 HR FIRE RATED IN 1 HR WALLS.
9. EMERGENCY & STANDBY POWER SYSTEMS SHALL BE DESIGNED TO PROVIDE REQUIRED POWER FOR 2-HR MIN. U.N.O. (LAFD 504.1.4).
10. AN AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED AT THE TOP OF RUBBISH & LINEN CHUTES & IN THEIR TERMINAL ROOMS. CHUTES SHALL HAVE ADDITIONAL SPRINKLER HEADS INSTALLED AT THE ALTERNATE FLOORS AND THE LOWEST INTAKE.
11. BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS. SEE LAFD 510 AND FPD REQ 1105.
12. PROVIDE TWO-WAY COMMUNICATION SYSTEM AT THE LANDING SERVING EACH ELEVATOR OR BANK OF ELEVATORS ABOVE OR BELOW THE LEVEL OF EXIT DISCHARGE. (CBC 1009.8)
13. TACTILE EXIT SIGNS SHALL BE REQUIRED AT THE FOLLOWING LOCATIONS: (CBC 1013.4)
A. EXIT SIGN AT EACH GRADE-LEVEL EXTERIOR EXIT DOOR.
B. EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS AS APPROPRIATE:

I. "EXIT STAIR DOWN"
II. "EXIT RAMP DOWN"
III. "EXIT STAIR UP"
IV. "EXIT RAMP UP"
C. EXIT ROUTE: AT EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE OR AN EXIT PASSAGE.
D. EXIT ROUTE: AT EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY.
E. TO EXIT: AT EACH EXIT DOOR THROUGH A HORIZONTAL EXIT.
14. PROVIDE A SIGN AT EACH FLOOR LANDING IN AN INTERIOR EXIT STAIRWAY AND RAMP CONNECTING +3 STORIES DESIGNATING THE FLOOR LEVEL, THE TERMINUS OF THE TOP & BOTTOM OF THE INTERIOR EXIT STAIRWAY & RAMP & THE IDENTIFICATION OF THE STAIRWAY OR RAMP. THE SIGNAGE SHALL ALSO STATE THE STORY OF, & THE DIRECTION TO, THE EXIT DISCHARGE & THE AVAILABILITY OF ROOF ACCESS FOR THE FIRE DEPARTMENT. THE SIGN SHALL BE LOCATED 5 FEET (1524 MM) ABOVE THE FLOOR LANDING. (CBC 1023.9)
15. PROVIDE FIRE SPRINKLERS THROUGHOUT. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
3. MEANS OF EGRESS SERVING A ROOM OR SPACE SHALL BE ILLUMINATED AT ALL TIMES THAT THE ROOM OR SPACE IS OCCUPIED. THE ILLUMINATION LEVEL SHALL NOT BE <1 FOOT-CANDLE AT THE WALKING SURFACE. (CBC 1009.2)
6. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE ALL OF THE FOLLOWING AREAS FOR A DURATION OF NOT <90 MIN. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS NOT LESS THAN AN AVERAGE OF 1 FOOT-CANDLE AND A MIN AT ANY POINT OF 1 FOOT-CANDLE. (CBC 1013.3)
11. IN CASE OF PRIMARY POWER LOSS, THE SIGN ILLUMINATION MEANS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM FOR A DURATION OF NOT <90 MINUTES. (CBC 1013.6.3)
12. THIS BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH NFPA 72 (907.2.9, 907.5.2.3.3, 907.5.2.3.4)

GREEN NOTES
1. IRRIGATION CONTROLLERS SHALL BE WEATHER OR OIL BASED. LOCATE CONTROLLERS AS INDICATED ON THE PLAN.
2. PROVIDE 4" A" BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED FOR SLABS ON GRADE.
3. PROVIDE A VAPOR BARRIER SHALL BE PROVIDED IN DIRECT CONTACT WITH FOR SLAB ON GRADE.
4. FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.
5. BATH FANS TO BE ENERGY STAR COMPLIANT, CONTROLLED BY HUMIDISTAT AND VENTED TO OUTSIDE.
6. FIREPLACE SHALL BE DIRECT-VENT AND SEALED COMBUSTION TYPE. WOOD BURNING FIREPLACES AND OTHER WOOD BURNING DEVICES ARE PROHIBITED.
7. ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT.
8. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT.
9. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
10. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS "EV CAPABLE" IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.

PLANNING NOTES
1. PER EXPT TYP SPECIFIC PLAN, SECTION 4.3.3.A.1, WINDOWS AND DOORS VISIBLE FROM THE STREET SHALL BE RECESSED AT LEAST 2 INCHES FROM THE BUILDING FACADE. THIS PROJECT COMPLIES WITH WINDOWS AND DOORS BEING RECESSED MINIMUM 5 3/4 INCHES FROM BUILDING FACADE.)
TO BE PROVIDED ON ROOF.

PARTITION TYPES, SEE A7.01

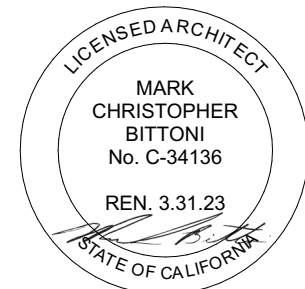
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H	GYP BD / GYP BD WALL, 1-HR FIRE RATED
I	GYP BD / GYP BD WALL, 1-HR FIRE RATED
J	UNIT SEPARATION / CHASE WALL, 2-HR FIRE RATED
K	UNIT SEPARATION / CHASE WALL W/ TILE, 2-HR FIRE RATED
L	GYP BD / TILE WALL
M	TILE / TILE WALL
N	DBL GYP BD / DBL GYP BD, 2-HR FIRE RATED

STANDBY POWER NOTE:
ELEVATOR WITH STANDBY POWER IN ACCORDANCE WITH CBC CHAPTER 27 AND CBC 3003 TO BE PROVIDED FOR BUILDINGS WHERE A REQUIRED ACCESSIBLE FLOORS IS 4 OF MORE STORIES ABOVE OR BELOW A LEVEL OF EXIT DISCHARGE.
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GENERAL KEYNOTES
GK1 GUARDRAIL TO BE 42" MIN. HEIGHT WITH 3 15/16" MAX. OPENING SIZE. SEE DETAIL 01A7.10.
GK2 COLUMN PER STRUCTURAL
GK3 STEEL STAIR (UNDER DEFERRED SUBMITTAL)
GK4 PLANTING/BENCH PER LANDSCAPE
GK5 PLANTERS PER CIVIL
GK6 6" CMU STEEL WALL

LEGEND

← GKXX	GENERAL KEYNOTE (THIS SHEET)
---	PROPERTY LINE
---	SETBACK LINE
---	CENTERLINE
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---	LINE OF OBJECT BELOW
○	STRUCTURAL GRIDLINE
→	WALL TYPE PER A7.00
↘	SLOPE TO DRAIN MAX 2%
+	FLOOR ELEVATIONS
+	MAX. ELEV. TRANSITION W/ BEVEL W/ MAX 1:2 SLOPE
+	AREA DRAIN
⊙	EXIT SIGN
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⊙	CEILING MOUNTED SMOKE DETECTOR
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⊙	WATER CURTAIN PER LABC 705.6.2 & MIN. REQ. PER DOC P/B/C 2014-106
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---	DIMENSION TO FINISH FACE OF WALLS / SURFACES
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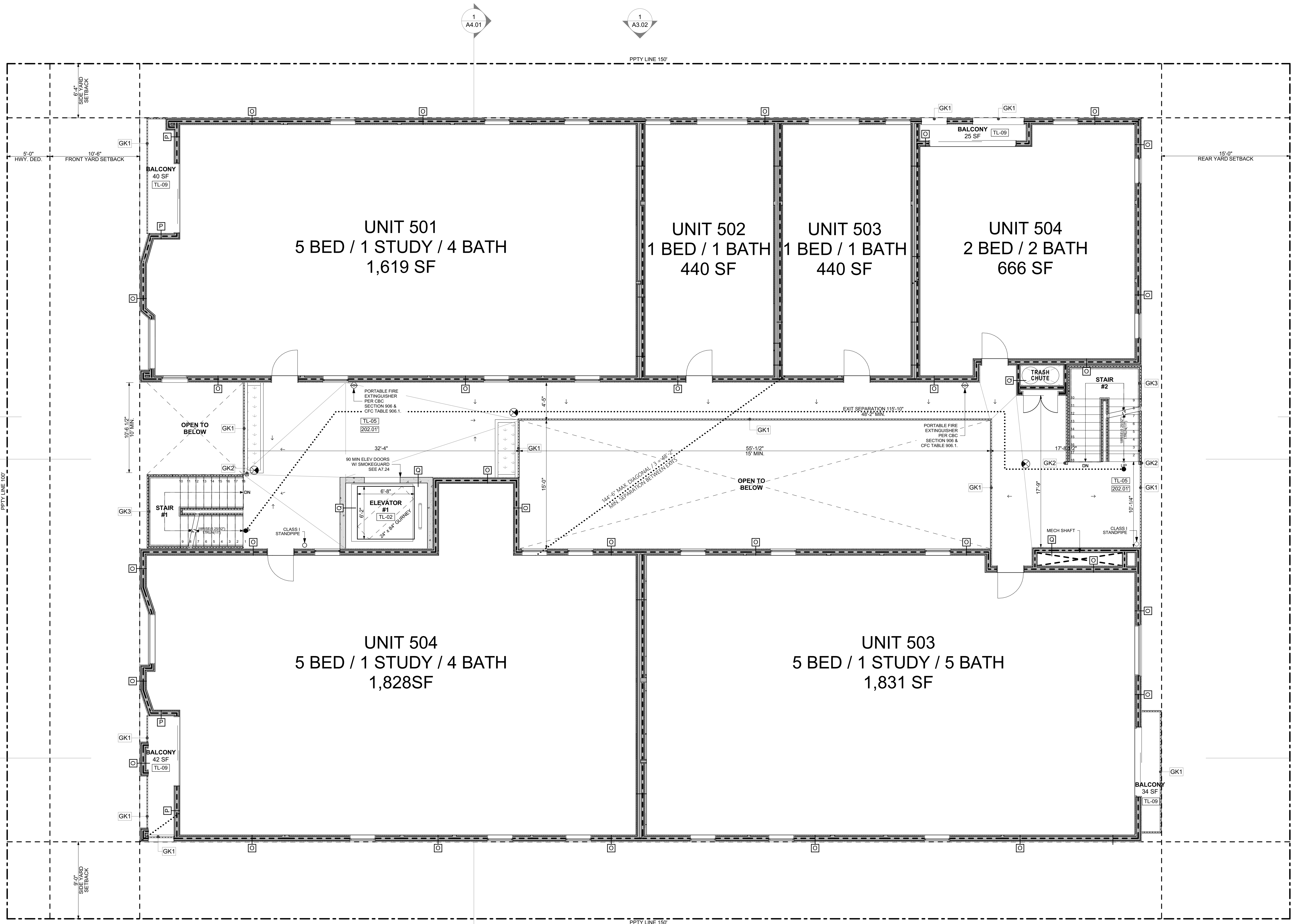
SHEET NAME

5TH FLOOR PLAN

PUBLISHED: 5/3/2022

A2.05

SHEET 37 OF 152



5TH FL.
SCALE: 3/16" = 1'-0"

EXHIBIT "A"
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Case No. DIR-2021-5596-TOC-HCA

GENERAL NOTES
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MEANS OF EGRESS
1. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. (CBC 1013.3)
2. EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5-FOOT CANDLES. (CBC 1013.6.2)
3. INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SECTION 2702.
4. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. (CBC 1013.6.3)
5. EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MIN. IN CASE OF PRIMARY POWER LOSS. (CBC 1013.6.3)
6. EGRESS DOORS SHALL BE READY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. SEE 1008.1.9 FOR EXCEPTIONS.
7. DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT MIN. 34" AND A MAX. 48" ABOVE THE FINISHED FLOOR. (1008.1.9.2)
8. THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.
9. ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY WITH SECTION 1010.1.9 - 1010.1.9.12.
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11. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE. (1008.2.1, 1008.3.3)
12. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS: A. AISLES, CORRIDORS, AND EXIT STAIRWAYS AND RAMP IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS. (1008.3.1)

8. INTERIOR EXIT ACCESS STAIRWAYS AND RAMP, INTERIOR AND EXTERIOR STAIRWAYS AND RAMP, EXIT PASSAGeways AND VESTIBULES AND AREA ON THE LEVEL OF EXIT DISCHARGE USED FOR EXIT DISCHARGE IN ACCORDANCE WITH 1008.1 IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
C. ELECTRICAL EQUIPMENT ROOMS, FILE COMMAND CENTERS, FIRE PUMP ROOMS, GENERATOR ROOMS AND PUBLIC REST ROOMS LARGER THAN 300 SQUARE FEET.
13. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES & SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 2702. (1008.3.4)
14. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (11 LUX) & A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (6 LUX) AVERAGE & A MINIMUM AT ANY POINT OF 0.06 FOOT-CANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM TO MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED. (1008.2.5)
15. THE EXIT SIGNS SHALL ALSO BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES UNIT EQUIPMENT OR AN ON-SITE GENERATOR SET, & THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODE. FOR HIGH RISE BUILDINGS, SEE SECTION 403.
16. PROVIDE EMERGENCY RESPONDER RADIO COVERAGE IN ACCORDANCE WITH LAFD 510.
17. ALL BUILDINGS WITH ONE OR MORE PASSENGER SERVICE ELEVATORS SHALL BE PROVIDED WITH NOT LESS THAN ONE MEDICAL EMERGENCY SERVIC ELEVATOR TO ALL LANDINGS. ELEVATOR CAB SHALL HAVE AN MINIMUM DIMENSION OF 60" X 54" WITH 42" CLEAR OPENING.
18. MEANS OF EGRESS SHALL HAVE A CEILING HEIGHT OF AT LEAST 7'-6". (CBC 1003.2)
19. STAIRWAYS SHALL BE BUILT OF MATERIALS CONSISTENT WITH THE TYPE OF CONSTRUCTION. (CBC 1011.7)
20. EMERGENCY & STANDBY POWER SYSTEMS SHALL BE DESIGNED TO PROVIDE REQUIRED POWER FOR 2-HR MIN. U.N.O. (LAFD 604.14)

FIRE PROTECTION
1. THIS BUILDING MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM, COMPLYING WITH NFPA-13. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION.
2. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH RATING OF NOT LESS THAN 2-A OR 2A-B.C. WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR, INCLUDING DURING CONSTRUCTION.
3. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH RATING OF NOT LESS THAN 18BC FOR KITCHENS, ELECTRICAL ROOMS, MECHANICAL ROOMS, AND PARKING GARAGES.
4. PROVIDE FIRE EXTINGUISHER AS REQUIRED BY FIRE DEPT FIELD INSPECTOR.
5. PROVIDE PANIC / FIRE EXIT HARDWARE AT DOORS SERVING ROOMS/SPACES WITH AN OCCUPANT LOAD OF 50 OR MORE.
6. PROVIDE 1 HOUR RATED SEALANT AT ALL PENETRATIONS THROUGH WALLS, FLOORS AND GARAGE DECK PER 7.13.4 SEALANT SHALL BE DAP FIREBLOCK FOAM SEALANT, ICC ESR-1068.
7. CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND EXIT ACCESS RAMP TO BE CLASS C.
8. DOORS SHALL BE 1.5 HR FIRE RATED AND WINDOWS SHALL BE 1.5 HR FIRE RATED IN 2 HR WALLS. DOORS SHALL BE 3/4 HR FIRE RATED AND WINDOWS SHALL BE 3/4 HR FIRE RATED IN 1 HR WALLS.
9. EMERGENCY & STANDBY POWER SYSTEMS SHALL BE DESIGNED TO PROVIDE REQUIRED POWER FOR 2-HR MIN. U.N.O. (LAFD 504.1.4).
10. AN AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED AT THE TOP OF RUBBISH & LINEN CHUTES & IN THEIR TERMINAL ROOMS. CHUTES SHALL HAVE ADDITIONAL SPRINKLER HEADS INSTALLED AT THE ALTERNATE FLOORS AND THE LOWEST INTAKE.
11. BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS. SEE LAFD 510 AND FPB REQ 1105.
12. PROVIDE TWO-WAY COMMUNICATION SYSTEM AT THE LANDING SERVING EACH ELEVATOR OR BANK OF ELEVATORS ABOVE OR BELOW THE LEVEL OF EXIT DISCHARGE. (CBC 1009.8)
13. TACTILE EXIT SIGNS SHALL BE REQUIRED AT THE FOLLOWING LOCATIONS: (CBC 1013.4)
A. EXIT SIGN AT EACH GRADE-LEVEL EXTERIOR EXIT DOOR.
B. EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS AS APPROPRIATE:

I. "EXIT STAIR DOWN"
II. "EXIT RAMP DOWN"
III. "EXIT STAIR UP"
IV. "EXIT RAMP UP"
C. EXIT ROUTE: "AT EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE OR AN EXIT PASSAGE."
D. EXIT ROUTE: "AT EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY."
E. TO EXIT: "AT EACH EXIT DOOR THROUGH A HORIZONTAL EXIT."
14. PROVIDE A SIGN AT EACH FLOOR LANDING IN AN INTERIOR EXIT STAIRWAY AND RAMP CONNECTING +3 STORIES DESIGNATING THE FLOOR LEVEL. THE TERMINUS OF THE TOP & BOTTOM OF THE INTERIOR EXIT STAIRWAY & RAMP & THE IDENTIFICATION OF THE STAIRWAY OR RAMP. THE SIGNAGE SHALL ALSO STATE THE STORY OF, & THE DIRECTION TO, THE EXIT DISCHARGE & THE AVAILABILITY OF ROOF ACCESS FOR THE FIRE DEPARTMENT. THE SIGN SHALL BE LOCATED 5 FEET (1524 MM) ABOVE THE FLOOR LANDING. (CBC 1023.9)
15. PROVIDE FIRE SPRINKLERS THROUGHOUT. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
3. MEANS OF EGRESS SERVING A ROOM OR SPACE SHALL BE ILLUMINATED AT ALL TIMES THAT THE ROOM OR SPACE IS OCCUPIED. THE ILLUMINATION LEVEL SHALL NOT BE <1 FOOT-CANDLE AT THE WALKING SURFACE. (CBC 1008.2)
6. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE ALL OF THE FOLLOWING AREAS FOR A DURATION OF NOT <90 MIN. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS NOT LESS THAN AN AVERAGE OF 1 FOOT-CANDLE AND A MIN AT ANY POINT OF 1 FOOT-CANDLE. (CBC 1013.6.3)
11. IN CASE OF PRIMARY POWER LOSS, THE SIGN ILLUMINATION MEANS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM FOR A DURATION OF NOT <90 MINUTES. (CBC 1013.6.3)
12. THIS BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH NFPA 72 (907.2.9, 907.5.2.3.3, 907.5.2.3.4)

GREEN NOTES
1. IRRIGATION CONTROLLERS SHALL BE WEATHER OR OIL BASED. LOCATE CONTROLLERS AS INDICATED ON THE PLAN.
2. PROVIDE 4" BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED FOR SLABS ON GRADE.
3. PROVIDE A VAPOR BARRIER SHALL BE PROVIDED IN DIRECT CONTACT WITH FOR SLAB ON GRADE.
4. FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.
5. BATH FANS TO BE ENERGY STAR COMPLIANT, CONTROLLED BY HUMIDISTAT AND VENTED TO OUTSIDE.
6. FIREPLACE SHALL BE DIRECT-VENT AND SEALED COMBUSTION TYPE. WOOD BURNING FIREPLACES AND OTHER WOOD BURNING DEVICES ARE PROHIBITED.
7. ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT.
8. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT.
9. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
10. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS "EV CAPABLE" IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.

PLANNING NOTES
1. PER EXPT TNP SPECIFIC PLAN, SECTION 4.3.3.A.1, WINDOWS AND DOORS VISIBLE FROM THE STREET SHALL BE RECESSED AT LEAST 2 INCHES FROM THE BUILDING FACADE. THIS PROJECT COMPLIES WITH WINDOWS AND DOORS BEING RECESSED MINIMUM 5 3/4 INCHES FROM BUILDING FACADE.)
TO BE PROVIDED ON ROOF.

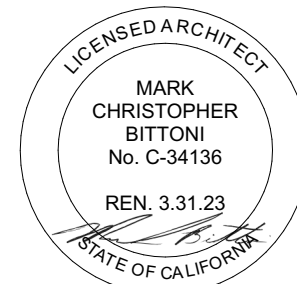
PARTITION TYPES, SEE A7.01

A	CMU WALL, 3-HR FIRE RATED
B	C.I.P. CONCRETE WALL, 3-HR FIRE RATED
C	TRASH CHUTE / ELEV. SHAFT WALL, 2-HR FIRE RATED
D	ELEV. SHAFT WALL @ INT. WALL, 2-HR FIRE RATED
E	STUCCO / GYP BD WALL, 1-HR FIRE RATED
F	STUCCO / TILE WALL, 1-HR FIRE RATED
G	WOOD SD / GYP BD WALL, 1-HR FIRE RATED
H	GYP BD / GYP BD WALL, 1-HR FIRE RATED
I	UNIT SEPARATION / CHASE WALL, 2-HR FIRE RATED
J	GYP BD / TILE WALL
K	TILE / TILE WALL
L	DBL GYP BD / DBL GYP BD, 2-HR FIRE RATED

GENERAL KEYNOTES
GK1 GUARDRAIL TO BE 42" MIN. HEIGHT WITH 3 15/16" MAX. OPENING SIZE. SEE DETAIL 01A7.10.
GK2 COLUMN PER STRUCTURAL
GK3 STEEL STAIR (UNDER DEFERRED SUBMITTAL)
GK4 PLANTING BED PER LANDSCAPE
GK5 PLANTERS PER CIVIL
GK6 6" CMU STAIR WALL

LEGEND

← GKXX	GENERAL KEYNOTE (THIS SHEET)
---	PROPERTY LINE
---	SETBACK LINE
---	CENTERLINE
---	LINE OF OBJECT ABOVE
---	LINE OF OBJECT BELOW
○	STRUCTURAL GRIDLINE
→	WALL TYPE PER A7.00
↘	SLOPE TO DRAIN MAX 2%
+	FLOOR ELEVATIONS
+	MAX. ELEV. TRANSITION W/ BEVEL W/ MAX 1:2 SLOPE
+	AREA DRAIN
⊙	EXIT SIGN
⊙	6" DIA. MTL SAFETY BOLLARD
⊙	CEILING MOUNTED SMOKE DETECTOR
⊙	EXHAUST FAN
⊙	FUTURE ELECTRICAL VEHICLE SUPPLY EQUIP.
⊙	WATER CURTAIN PER LABC 705.6.2 & MIN. REQ. PER DOC P/B/C 2014-106
⊙	ONE-HOUR FIRE PARTITION IN ACCORDANCE WITH SECTION 708.3
⊙	TWO-HOUR FIRE-RESISTANCE RATED ENCLOSURE IN ACCORDANCE WITH SECTION 707 AND 711.
⊙	DIMENSION TO FINISH FACE OF WALLS / SURFACES
⊙	DIMENSION TO FRAMING (FACE OF STUD)



05.03.22	PLANNING SET
07.12.21	PC SUBMISSION 1
04.15.21	PZA PC RESPONSE 2
03.04.21	PZA PC RESPONSE 1
DATE	DESCRIPTION

PROJECT NO: #Project Code

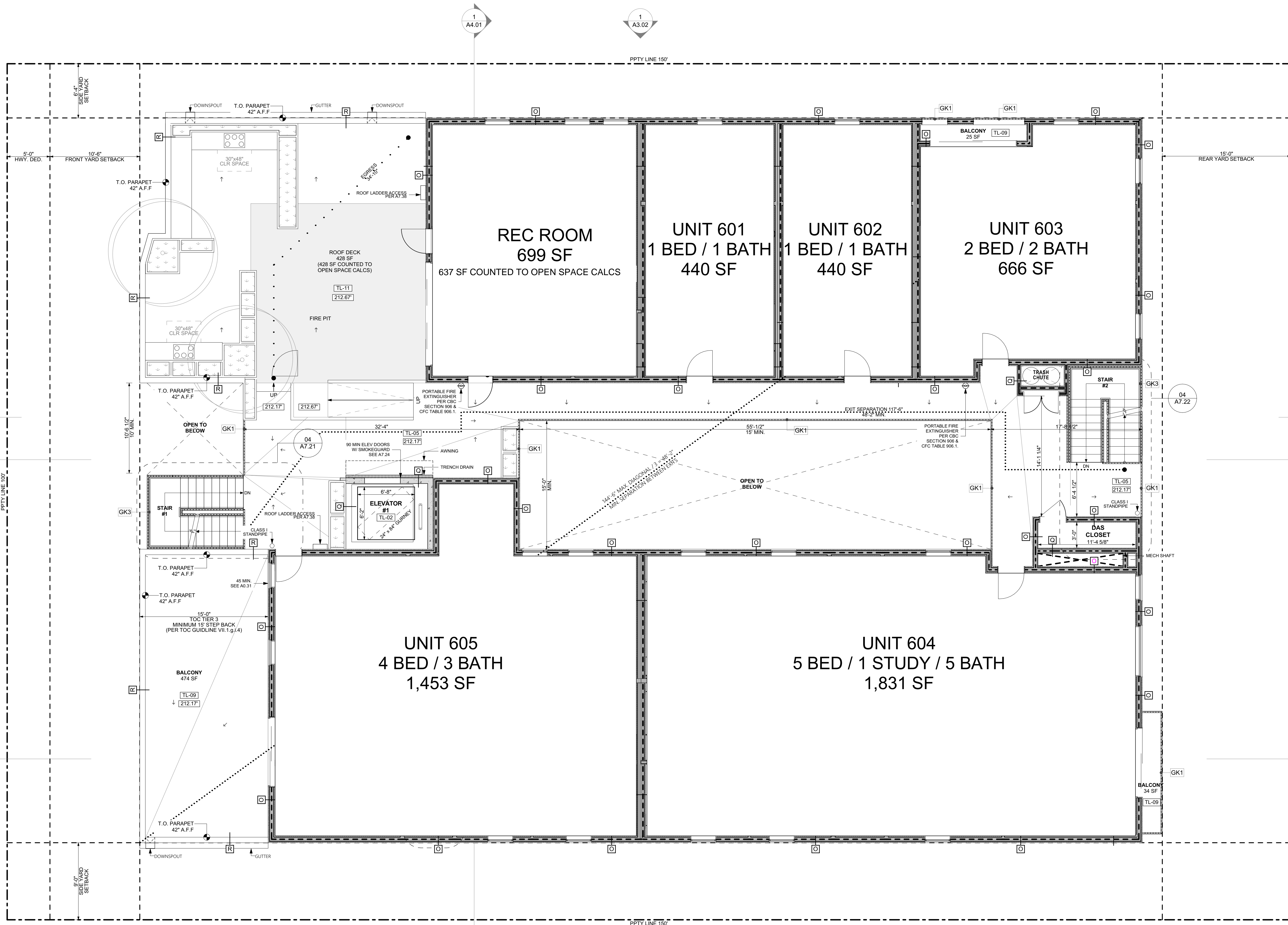
SHEET NAME

6TH FLOOR PLAN

PUBLISHED: 5/3/2022

A2.06

SHEET 38 OF 152



6TH FL.
SCALE: 3/16" = 1'-0"

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GENERAL NOTES
CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION OR INSTALLATION. CONFIRM SHEAR WALLS & OTHER STRUCTURAL REQUIREMENTS WITH STRUCTURAL ENGINEER'S DRAWINGS. SEE ALSO GENERAL NOTES A0.01 & A0.02.

MEANS OF EGRESS
1. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. (CBC 1013.3)
2. EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5-FOOT CANDLES. (CBC 1013.6.2)
3. INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SECTION 2702.
4. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. (CBC 1013.6.3)
5. EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MIN. IN CASE OF PRIMARY POWER LOSS. (CBC 1013.6.3)
6. EGRESS DOORS SHALL BE READY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. SEE 1008.1.9 FOR EXCEPTIONS.
7. DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT MIN. 34" AND A MAX. 48" ABOVE THE FINISHED FLOOR. (1008.1.9.2)
8. THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.
9. ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY WITH SECTION 1010.1.9 - 1010.1.9.12.
10. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
11. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE. (1008.2.1, 1008.3.3)
12. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS: A. AISLES, CORRIDORS, AND EXIT STAIRWAYS AND RAMP IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS. (1008.3.1)

B. INTERIOR EXIT ACCESS STAIRWAYS AND RAMP, INTERIOR AND EXTERIOR STAIRWAYS AND RAMP, EXIT PASSAGeways AND VESTIBULES AND AREA ON THE LEVEL OF EXIT DISTANCE USED FOR EXIT DISCHARGE IN ACCORDANCE WITH 1008.1 IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
C. ELECTRICAL EQUIPMENT ROOMS, FILE COMMAND CENTERS, FIRE PUMP ROOMS, GENERATOR ROOMS AND PUBLIC REST ROOMS LARGER THAN 300 SQUARE FEET.
13. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES & SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 2702. (1008.3.4)
14. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (11 LUX) & A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (6 LUX) AVERAGE & A MINIMUM AT ANY POINT OF 0.06 FOOT-CANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM TO MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED. (1008.2.5)
15. THE EXIT SIGNS SHALL ALSO BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES UNIT EQUIPMENT OR AN ON-SITE GENERATOR SET, & THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODE. FOR HIGH RISE BUILDINGS, SEE SECTION 403.
16. PROVIDE EMERGENCY RESPONDER RADIO COVERAGE IN ACCORDANCE WITH LAFD 510.
17. ALL BUILDINGS WITH ONE OR MORE PASSENGER SERVICE ELEVATORS SHALL BE PROVIDED WITH NOT LESS THAN ONE MEDICAL EMERGENCY SERVICE ELEVATOR TO ALL LANDINGS. ELEVATOR CAB SHALL HAVE AN MINIMUM DIMENSION OF 6' X 5'4" WITH 42" CLEAR OPENING.
18. MEANS OF EGRESS SHALL HAVE A CEILING HEIGHT OF AT LEAST 7'-6". (CBC 1003.2)
19. STAIRWAYS SHALL BE BUILT OF MATERIALS CONSISTENT WITH THE TYPE OF CONSTRUCTION. (CBC 1011.7)
20. EMERGENCY & STANDBY POWER SYSTEMS SHALL BE DESIGNED TO PROVIDE REQUIRED POWER FOR 2-HR MIN. U.N.O. (LAFD 604.14)

FIRE PROTECTION
1. THIS BUILDING MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM, COMPLYING WITH NFPA-13. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION.
2. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH RATING OF NOT LESS THAN 2-A OR 2-A10:BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR, INCLUDING DURING CONSTRUCTION.
3. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH RATING OF NOT LESS THAN 18BC FOR KITCHENS, ELECTRICAL ROOMS, MECHANICAL ROOMS, AND PARKING GARAGES.
4. PROVIDE FIRE EXTINGUISHER AS REQUIRED BY FIRE DEPT FIELD INSPECTOR.
5. PROVIDE PANIC / FIRE EXIT HARDWARE AT DOORS SERVING ROOMS/SPACES WITH AN OCCUPANT LOAD OF 50 OR MORE.
6. CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND EXIT ACCESS RAMP TO BE CLASS C.
7. PROVIDE 1 HOUR RATED SEALANT AT ALL PENETRATIONS THROUGH WALLS, FLOORS AND GARAGE DECK PER 7.13.4 SEALANT SHALL BE DAP FIREBLOCK FOAM SEALANT. ICC ESR-1068.
8. DOORS SHALL BE 1.5 HR FIRE RATED AND WINDOWS SHALL BE 1.5 HR FIRE RATED IN 2 HR WALLS. DOORS SHALL BE 3/4 HR FIRE RATED AND WINDOWS SHALL BE 3/4 HR FIRE RATED IN 1 HR WALLS.
9. EMERGENCY & STANDBY POWER SYSTEMS SHALL BE DESIGNED TO PROVIDE REQUIRED POWER FOR 2-HR MIN. U.N.O. (LAFD 904.1.4).
10. AN AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED AT THE TOP OF RUBBISH & LINEN CHUTES & IN THEIR TERMINAL ROOMS. CHUTES SHALL HAVE ADDITIONAL SPRINKLER HEADS INSTALLED AT THE ALTERNATE FLOORS AND THE LOWEST INTAKE.
11. BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS. SEE LAFD 510 AND PFD REQ 1015.
12. PROVIDE TWO-WAY COMMUNICATION SYSTEM AT THE LANDING SERVING EACH ELEVATOR OR BANK OF ELEVATORS ABOVE OR BELOW THE LEVEL OF EXIT DISCHARGE. (CBC 1008.8)
13. TACTILE EXIT SIGNS SHALL BE REQUIRED AT THE FOLLOWING LOCATIONS: (CBC 1013.4)
A. EXIT SIGN AT EACH GRADE-LEVEL EXTERIOR EXIT DOOR.
B. EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS AS APPROPRIATE:

I. "EXIT STAIR DOWN"
II. "EXIT RAMP DOWN"
III. "EXIT STAIR UP"
IV. "EXIT RAMP UP"
C. "EXIT ROUTE": AT EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE OR AN EXIT PASSAGE.
D. "EXIT ROUTE": AT EACH EXIT DOOR THROUGH A HORIZONTAL EXIT OR AREA TO A CORRIDOR OR HALLWAY.
E. TO EXIT: AT EACH EXIT DOOR THROUGH A HORIZONTAL EXIT.
14. PROVIDE A SIGN AT EACH FLOOR LANDING IN AN INTERIOR EXIT STAIRWAY AND RAMP CONNECTING +3 STORES DESIGNATING THE FLOOR LEVEL. THE TERMINUS OF THE TOP & BOTTOM OF THE INTERIOR EXIT STAIRWAY & RAMP & THE IDENTIFICATION OF THE STAIRWAY OR RAMP. THE SIGNAGE SHALL ALSO STATE THE STORY OF, & THE DIRECTION TO, THE EXIT DISCHARGE & THE AVAILABILITY OF ROOF ACCESS FOR THE FIRE DEPARTMENT. THE SIGN SHALL BE LOCATED 5 FEET (1524 MM) ABOVE THE FLOOR LANDING. (CBC 1023.9)
15. PROVIDE FIRE SPRINKLERS THROUGHOUT. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
16. MEANS OF EGRESS SERVING A ROOM OR SPACE SHALL BE ILLUMINATED AT ALL TIMES THAT THE ROOM OR SPACE IS OCCUPIED. THE ILLUMINATION LEVEL SHALL NOT BE <1 FOOT-CANDLE AT THE WALKING SURFACE. (CBC 1008.2)
17. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE ALL OF THE FOLLOWING AREAS FOR A DURATION OF NOT <50 MIN. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS NOT LESS THAN AN AVERAGE OF 1 FOOT-CANDLE AND A MIN AT ANY POINT OF 1 FOOT-CANDLE. (CBC 1008.3.5)
18. THE FACE OF AN EXIT SIGN ILLUMINATED FROM AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF GREATER THAN OR EQUAL TO 5 FOOT-CANDLES. (CBC 1013.9)
19. IN CASE OF PRIMARY POWER LOSS, THE SIGN ILLUMINATION MEANS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM FOR A DURATION OF NOT <90 MINUTES. (CBC 1013.6.3)
20. THIS BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLICATIONS IN ACCORDANCE WITH NFPA 72 (907.2.9, 907.5.2.3.3, 907.5.2.3.4)

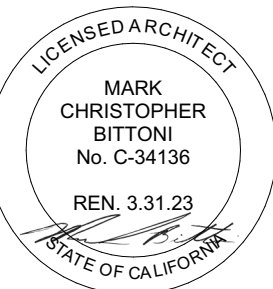
GREEN NOTES
1. IRRIGATION CONTROLLERS SHALL BE WEATHER OR OIL BASED. LOCATE CONTROLLERS AS INDICATED ON THE PLAN.
2. PROVIDE 4" BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED FOR SLABS ON GRADE.
3. PROVIDE A VAPOR BARRIER SHALL BE PROVIDED IN DIRECT CONTACT WITH FOR SLAB ON GRADE.
4. FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.
5. BATH FANS TO BE ENERGY STAR COMPLIANT, CONTROLLED BY HUMIDISTAT AND VENTED TO OUTSIDE.
6. FIREPLACE SHALL BE DIRECT-VENT AND SEALED COMBUSTION TYPE. WOOD BURNING FIREPLACES AND OTHER WOOD BURNING DEVICES ARE PROHIBITED.
7. ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT.
8. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.100 THROUGH 110.100.1 SHALL BE PROVIDED TO THE OCCUPANT.
9. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
10. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS "EV CAPABLE" IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.

PLANNING NOTES
1. PER EXPT TYP SPECIFIC PLAN, SECTION 4.3.3.1, WINDOWS AND DOORS VISIBLE FROM THE STREET SHALL BE RECESSED AT LEAST 2 INCHES FROM THE BUILDING FACADE. THIS PROJECT COMPLIES WITH WINDOWS AND DOORS BEING RECESSED MINIMUM 5 3/4 INCHES FROM BUILDING FACADE.)
TO BE PROVIDED ON ROOF.

PARTITION TYPES, SEE A7.01
A CMU WALL, 3-HR FIRE RATED
B C.I.P. CONCRETE WALL, 3-HR FIRE RATED
C TRASH CHUTE / ELEV. SHAFT WALL, 2-HR FIRE RATED
D ELEV. SHAFT WALL @ INT. WALL, 2-HR FIRE RATED
E STUCCO / GYP BD WALL, 1-HR FIRE RATED
F STUCCO / TILE WALL, 1-HR FIRE RATED
G WOOD SD / GYP BD WALL, 1-HR FIRE RATED
H GYP BD / GYP BD WALL, 1-HR FIRE RATED
I UNIT SEPARATION / CHASE WALL, 2-HR FIRE RATED
J UNIT SEPARATION / CHASE WALL W/ TILE, 2-HR FIRE RATED
K GYP BD / TILE WALL
L TILE / TILE WALL
M DBL GYP BD / DBL GYP BD, 2-HR FIRE RATED

LEGEND
GENERAL KEYNOTE (THIS SHEET)
PROPERTY LINE
SETBACK LINE
CENTERLINE
LINE OF OBJECT ABOVE
LINE OF OBJECT BELOW
STRUCTURAL GRIDLINE
WALL TYPE PER A7.01
SLOPE TO DRAIN MAX 2%
FLOOR ELEVATIONS
MAX. ELEV. TRANSITION W/ BEVEL W/ MAX 1:2 SLOPE
AREA DRAIN
EXIT SIGN
6" DIA. MTL SAFETY BOLLARD
CEILING MOUNTED SMOKE DETECTOR
EXHAUST FAN
FUTURE ELECTRICAL VEHICLE SUPPLY EQUIP.
WATER CURTAIN PER LABC 705.8.2 & MIN. REQ. PER DOC P/B/C 2014-106
ONE-HOUR FIRE PARTITION IN ACCORDANCE WITH SECTION 708.3
TWO-HOUR FIRE-RESISTANCE RATED ENCLOSURE IN ACCORDANCE WITH SECTION 707 AND 711.
DIMENSION TO FINISH FACE OF WALLS / SURFACES
DIMENSION TO FRAMING (FACE OF STUD)

GENERAL KEYNOTES
GK1 GUARDRAIL TO BE 42" MIN. HEIGHT WITH 3 15/16" MAX. OPENING SIZE. SEE DETAIL 01A7.10.
GK2 COLUMN PER STRUCTURAL
GK3 STEEL STAIR (UNDER DEFERRED SUBMITTAL)
GK4 PLANTING/BENCH PER LANDSCAPE
GK5 PLANTERS PER CIVIL
GK6 6" CMU STEEL WALL



05.03.22	PLANNING SET
07.12.21	PC SUBMISSION 1
04.15.21	PZA PC RESPONSE 2
03.04.21	PZA PC RESPONSE 1
DATE	DESCRIPTION

PROJECT NO: #Project Code

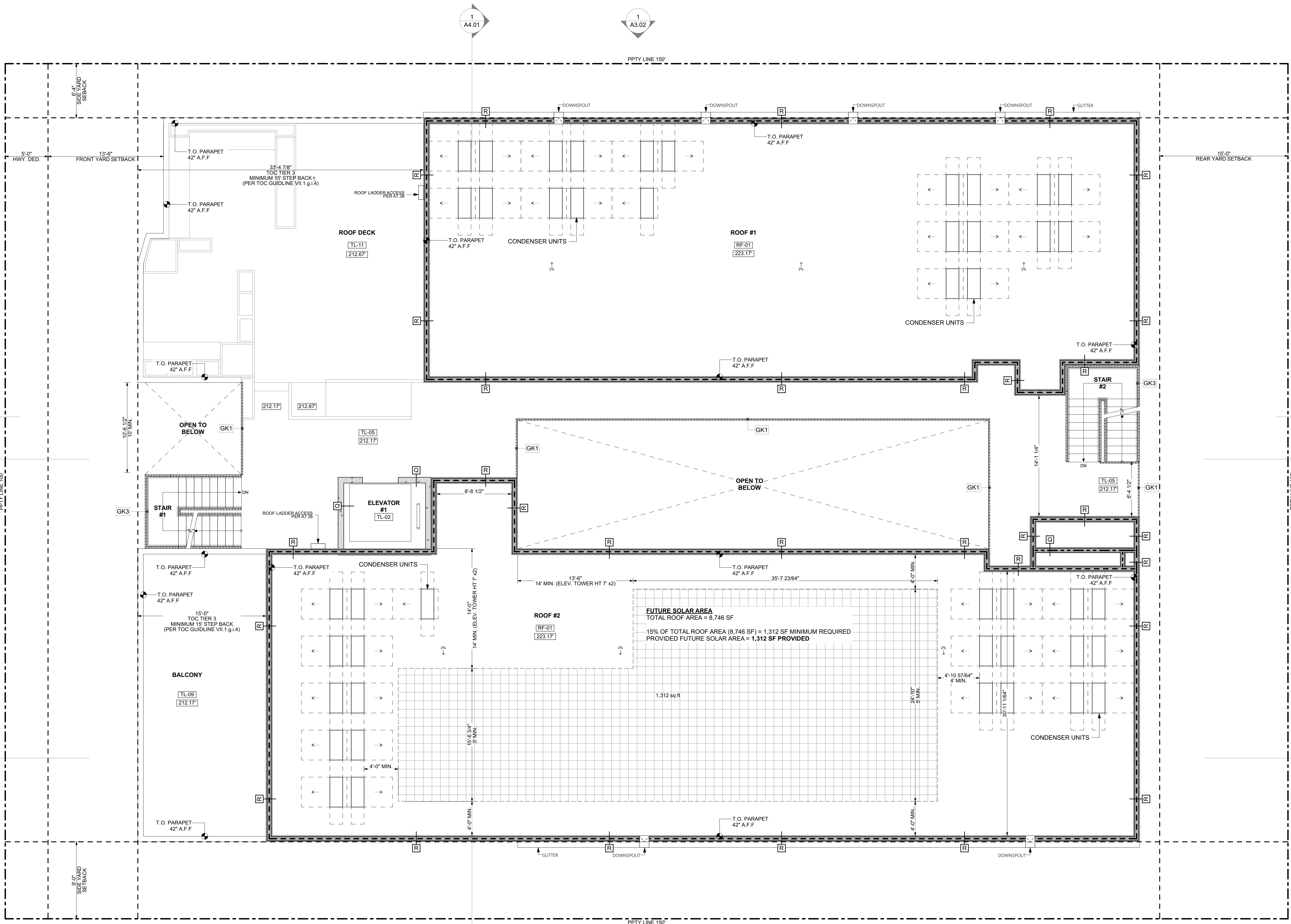
SHEET NAME

ROOF PLAN

PUBLISHED: 5/3/2022

A2.07

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ROOF

SCALE: 3/16" = 1'-0"

EXHIBIT "A"
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ROOF PLAN NOTES

- ROOF SLOPE
A. ROOF SLOPES ARE SHOWN DIRECTLY ON ROOF PLAN DRAWINGS.
B. IN THE ABSENCE OF SLOPES SHOWN ON STRUCT. DRAWINGS OR ARCHITECTURAL DRAWINGS, ROUGH CARPENTER SHALL PROVIDE REQUIRED SHIMMING BELOW ROOF SHEATHING TO ALLOW FOR PROPER SLOPE TO DRAIN.
C. NO OBSTACLE SHALL PREVENT WATER FLOW TOWARD DRAINS.
- ROOFING MATERIAL
A. ALL FLAT ROOFS TO BE SINGLE PLY ROOF.
B. ROOF ASSEMBLY SHALL BE LISTED BY AN APPROVED TESTING AGENCY.
- GUTTERS AND ROOF DRAINS
A. GUTTERS SHALL BE CONSTRUCTED OF PVC CLAD METAL.
B. GUTTERS SHALL SLOPE 1/16" PER FOOT TOWARD RAIN WATER LEADERS.
C. DRAINS SHALL BE SIZED TO ACCOMMODATE 3" PER HOUR OF RAINFALL. UNLESS SPECIFIED OTHERWISE, RAIN WATER LEADERS ARE TYPICALLY THRU WALL.
D. DOWNSPOUTS AT FLAT ROOFS SHALL BE A MINIMUM OF 4" DIAMETER WITH OVERFLOW DRAINS.
E. PROVIDE DOME WIRE BASKET AT EACH RAIN WATER LEADER AND ROOF DRAIN.
F. CONTRACTOR SHALL TEST ALL CONCEALED DOWNSPOUTS (WHERE APPLICABLE) FOR WATER LEAKAGE PRIOR TO CLOSING UP BUILDINGS AND SHALL PROVIDE A 10 YEAR WARRANTY AGAINST LEAKAGE.
G. ALL DOWNSPOUTS AND AREA DRAINS OPEN TO SKY DISCHARGE INTO PERMANENT PLANTERS. SEE LID 1-6.
- ROOF PENETRATION
A. VENTS AT FLAT ROOF AND ROOF STACKS SHALL PROJECT ABOVE ROOF BY THE MINIMUM DISTANCE REQUIRED BY APPLICABLE CODES AND SHALL BE LOCATED IN AREAS NOT VISIBLE FROM STREET. EXACT LOCATION TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
B. ALL VENTS AND ROOF STACKS TO HAVE RAIN PROTECTION CAPS. CONTINUOUS WATERPROOFING AT ALL ROOF PENETRATIONS SHALL BE PROVIDED WITH WR GRACE 4000 BITUTHENE WRAPPING AND 20 OZ COPPER FLASHING AND COUNTERFLASHING. ALL JOINTS AT SHEET METAL SHALL BE CAULKED.
C. COLOR OF ALL EXPOSED VENTS AND ROOF STACKS TO MATCH ADJACENT ROOF MATERIAL, UNLESS SPECIFIED OTHERWISE BY ARCHITECT.
D. ADD SARNAFIL FLASHING MEMBRANE EXTENDING 24" EACH SIDE AT ALL VALLEYS, RADIUS WALLS, CRICKETS, TOPS OF WALLS, AND TRANSITIONAL AREAS.
E. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION OR INSTALLATION. CONFIRM SHEAR WALL & OTHER STRUCTURAL REQUIREMENTS WITH STRUCTURAL ENGINEER'S DRAWINGS. SEE ALSO GENERAL NOTES A0.01 & A0.02.
- STANDBY POWER NOTE:
ELEVATOR WITH STANDBY POWER IN ACCORDANCE WITH CBC CHAPTER 27 AND CBC 3003 TO BE PROVIDED FOR BUILDINGS WHERE A REQUIRED ACCESSIBLE FLOOR IS 4 OF MORE STORIES ABOVE OF BELOW A LEVEL OF EXIT DISCHARGE.
TO BE PROVIDED ON ROOF.

PARTITION TYPES, SEE A7.00

- [A] CMU WALL, 3-HR FIRE RATED
[B] C.I.P. CONCRETE WALL, 3-HR FIRE RATED
[C] TRASH CHUTE / ELEV. SHAFT WALL, 2-HR FIRE RATED
[D] ELEV. SHAFT WALL @ INT. WALL, 2-HR FIRE RATED
[E] STUCCO / GYP BD WALL, 1-HR FIRE RATED
[F] STUCCO / TILE WALL, 1-HR FIRE RATED
[G] GYP BD / GYP BD WALL, 1-HR FIRE RATED
[H] WOOD SD / GYP BD WALL, 1-HR FIRE RATED
[I] GYP BD / GYP BD WALL, 1-HR FIRE RATED
[J] UNIT SEPARATION / CHASE WALL, 2-HR FIRE RATED
[K] UNIT SEPARATION / CHASE WALL W/ TILE, 2-HR FIRE RATED
[L] GYP BD / TILE WALL
[M] TILE / TILE WALL
[N] DBL GYP BD / DBL GYP BD, 2-HR FIRE RATED

FINISH LEGEND

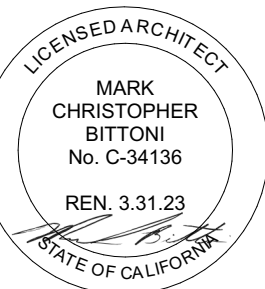
- [CN-1] CONCRETE MASONRY UNIT
[CN-2] UNCOLORED CONC. W/ SMOOTH FIN. SOLAR REFLECTANCE VALUE > 0.50 PER ASTM E1918.
[GB-1] TYPE X GYPSUM BOARD, GREENBOARD IN ALL WET AREAS
[GL-1] TEMPERED GLASS SHOWER ENCLOSURE
[MT-1] METAL W/ POWDER COATED FINISH
[PL-1] SAND FINISH PLASTER W/ INTEGRAL COLOR: WHITE
[PL-2] SAND FINISH PLASTER W/ INTEGRAL COLOR: GRAY
[CR-1] CRUSHED GRAVEL OVER COMPACTED FILL
[TL-1] TILE FLOOR, SLIP RESISTANT
[TL-2] CERAMIC WALL TILE
[TL-3] QUARTZ COUNTERTOP
[WD-1] VERTICAL WOOD SIDING 1" X 3" CLEAR CEDAR TAG
[WD-2] WOOD DECKING SPECIES / FIN. TBD
[WD-3] 6" WIDE FRENCH WHITE OAK WID. FL., W/ SLIP RESISTANT FIN.
[WD-4] WHITE OAK VERTICAL GRAIN WOOD VENEER
[RF-1] DEXTON WEATHERWEAR ESR 1757, W/ AJ-44 SR TOP COAT, 413 SPEEDWAY GRAY, SRI 65 SEE (A7.30)
[RF-2] SARNAFIL MEMBRANE, WHITE, LARR 24052 SEE (A7.30)

LEGEND

- GENERAL KEYNOTE (THIS SHEET)
PROPERTY LINE
SETBACK LINE
CENTERLINE
LINE OF OBJECT ABOVE
LINE OF OBJECT BELOW
STRUCTURAL GRIDLINE
WALL TYPE PER A7.00
SLOPE TO DRAIN MAX 2%
FLOOR ELEVATIONS
MAX. ELEV. TRANSITION W/ BEVEL W/ MAX 1:2 SLOPE
AREA DRAIN
EXIT SIGN
- CEILING MOUNTED SMOKE DETECTOR
CEILING MOUNTED CARBON MONOXIDE DET.
EXHAUST FAN
SOLAR INVERTER & METER LOCATION
MAIN SERVICE ELEC. PANEL
W/ MIN. BUSBAR RATING OF 200 AMPS
IRRIGATION CONTROLLER
RAIN SENSOR DEVICE SEE
FUTURE ELECTRICAL VEHICLE SUPPLY EQUIP.
WATER CURTAIN PER LABC 705.5.2 & MIN. REQ. PER DOC/FIBC 2014-106
ROOF DRAIN W/ OVERFLOW W/ 4" PVC DRAIN PIPE TO STREET AS PER LA CITY REQ.
WATER HEATER: SEE PLUMBING PLANS
ELECTRICAL PANEL: SEE ELECTRICAL PLANS
ONE-HOUR FIRE PARTITION IN ACCORDANCE WITH SECTION 708.3
TWO-HOUR FIRE-RESISTANCE RATED ENCLOSURE IN ACCORDANCE WITH SECTION 107 AND 111
DIMENSION TO FINISH FACE OF WALLS / SURFACES
DIMENSION TO FRAMING (FACE OF STUD)

GENERAL KEYNOTES

- GK1 GUARDRAIL TO BE 42" MIN. HEIGHT WITH 3 15/16" MAX. OPENING SIZE. SEE DETAIL 01A7-10
GK2 COLUMN PER STRUCTURAL
GK3 STEEL STAIR UNDER DEFERRED SUBMITTAL
GK4 PLANTING/BENCH PER LANDSCAPE
GK5 PLANTERS PER CIVIL
GK6 6" CMU SITE WALL



05.03.22	PLANNING SET
07.12.21	PC SUBMISSION 1
04.15.21	PZA PC RESPONSE 2
03.04.21	PZA PC RESPONSE 1
DATE	DESCRIPTION

PROJECT NO: #Project Code

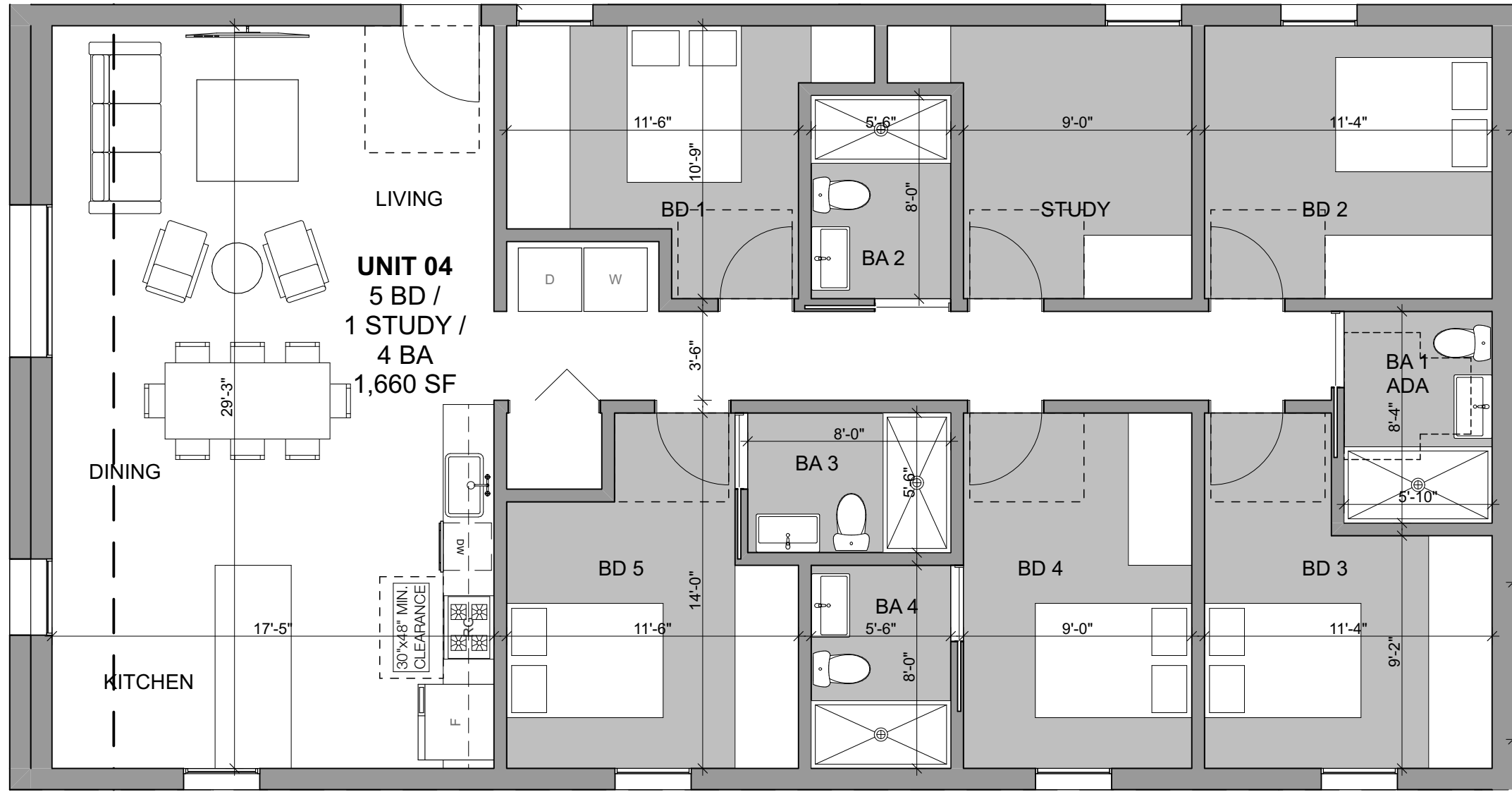
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TYP. UNIT PLANS

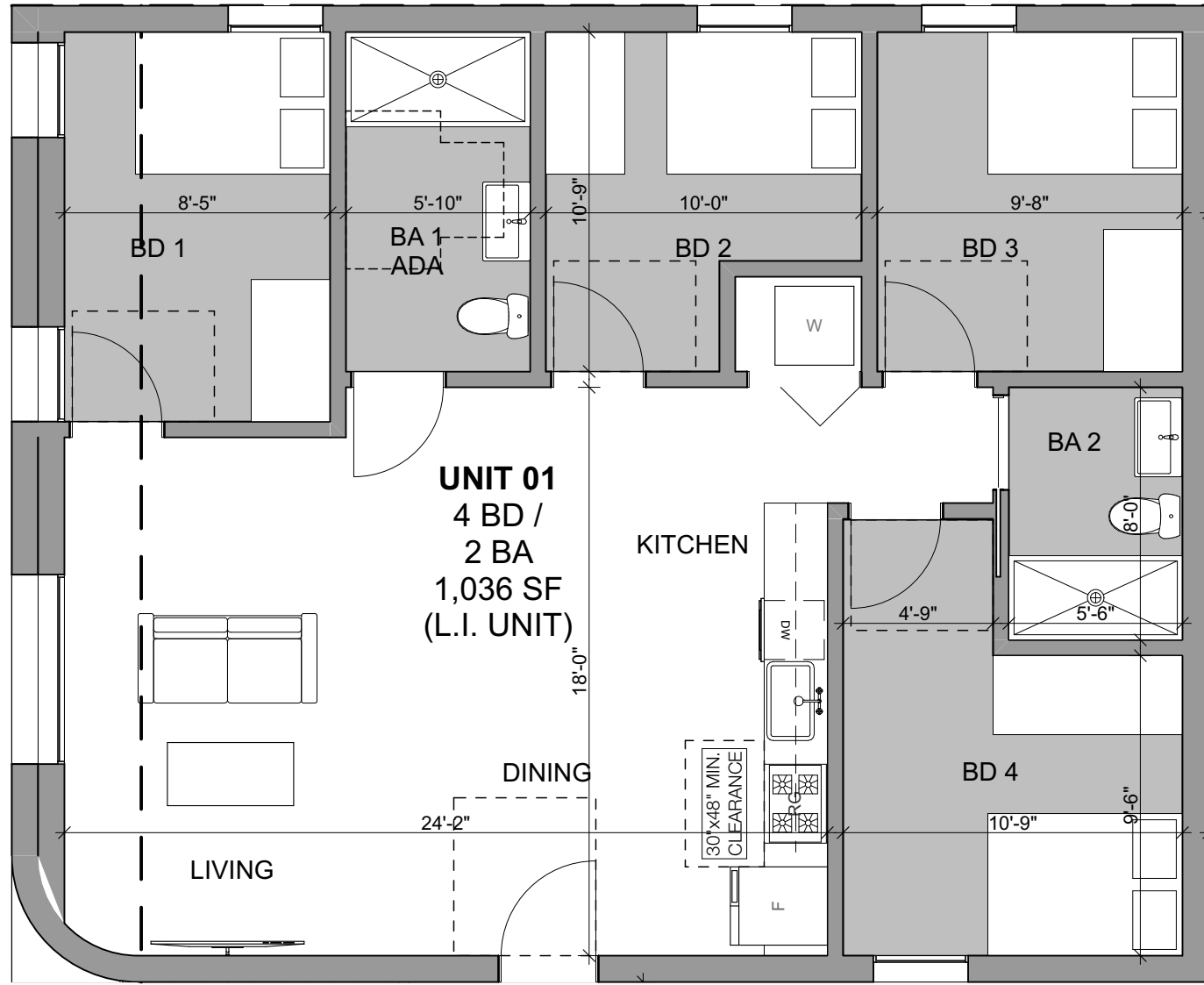
PUBLISHED: 5/3/2022

A2.10

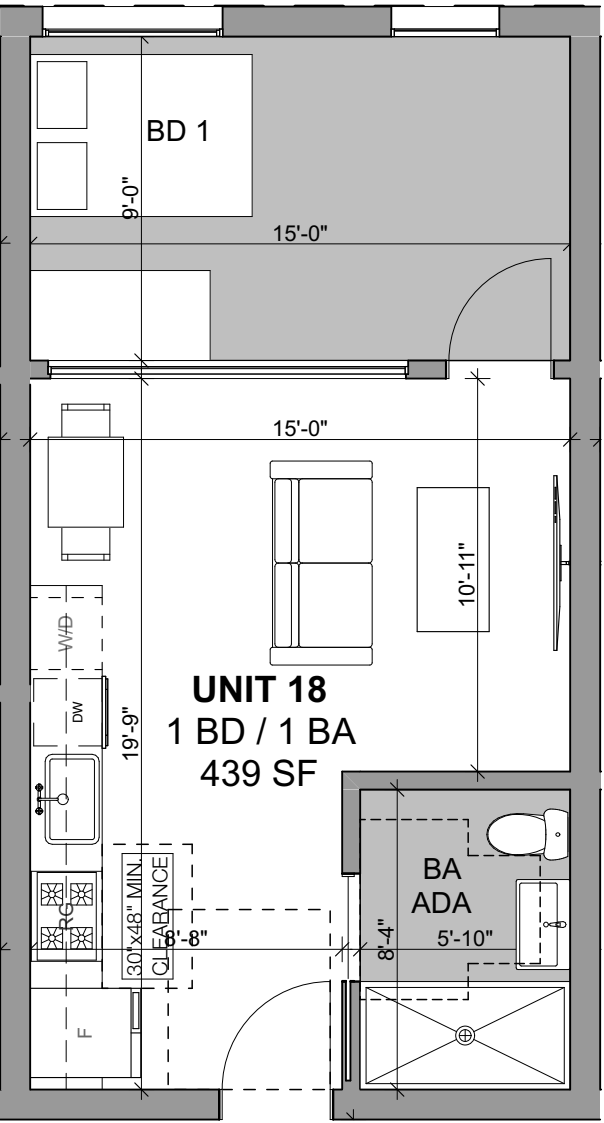
SHEET #LayNolnSubset OF 152



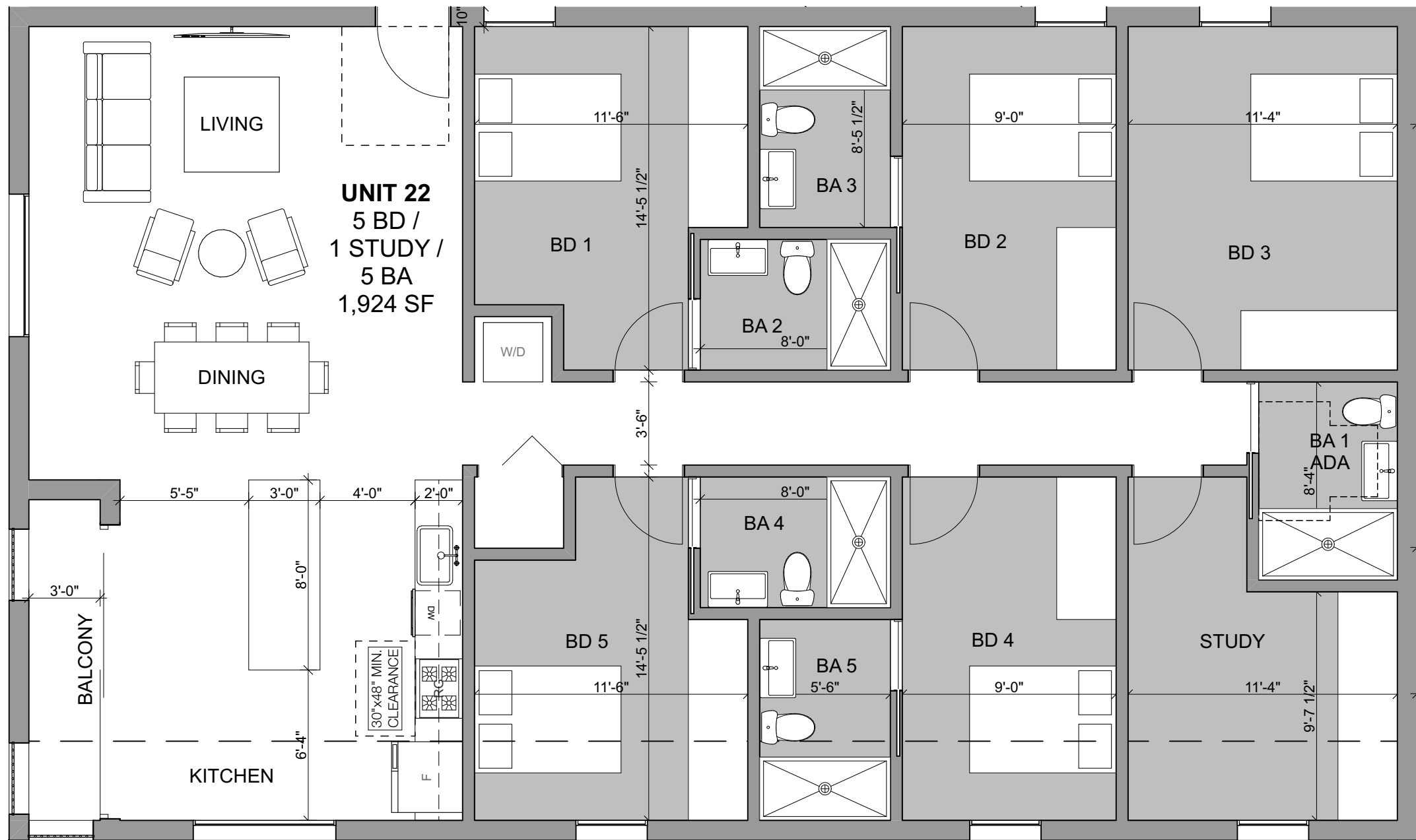
TYPICAL UNIT PLAN
5 BED / 1 STUDY / 4 BATH



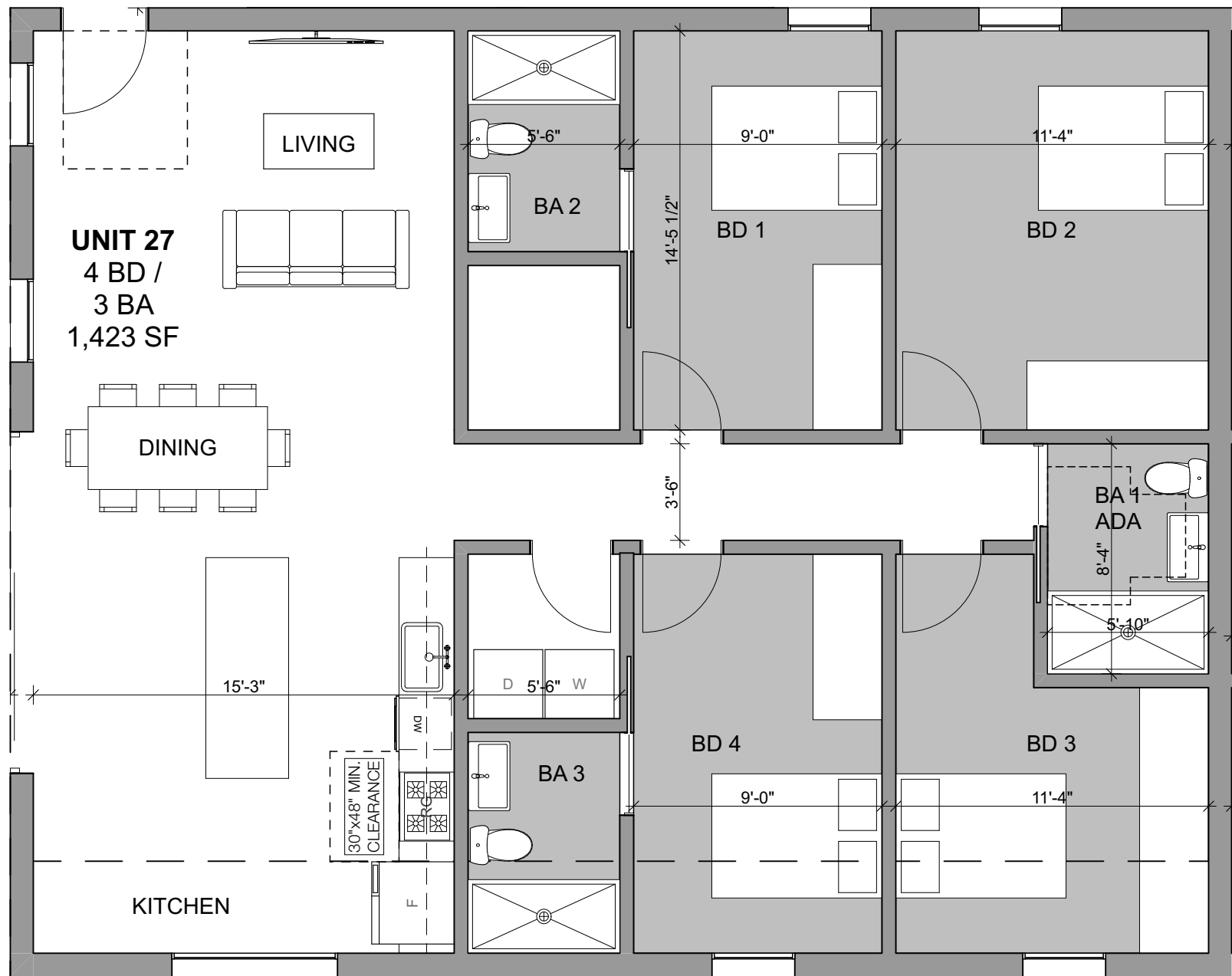
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4 BED / 2 BATH



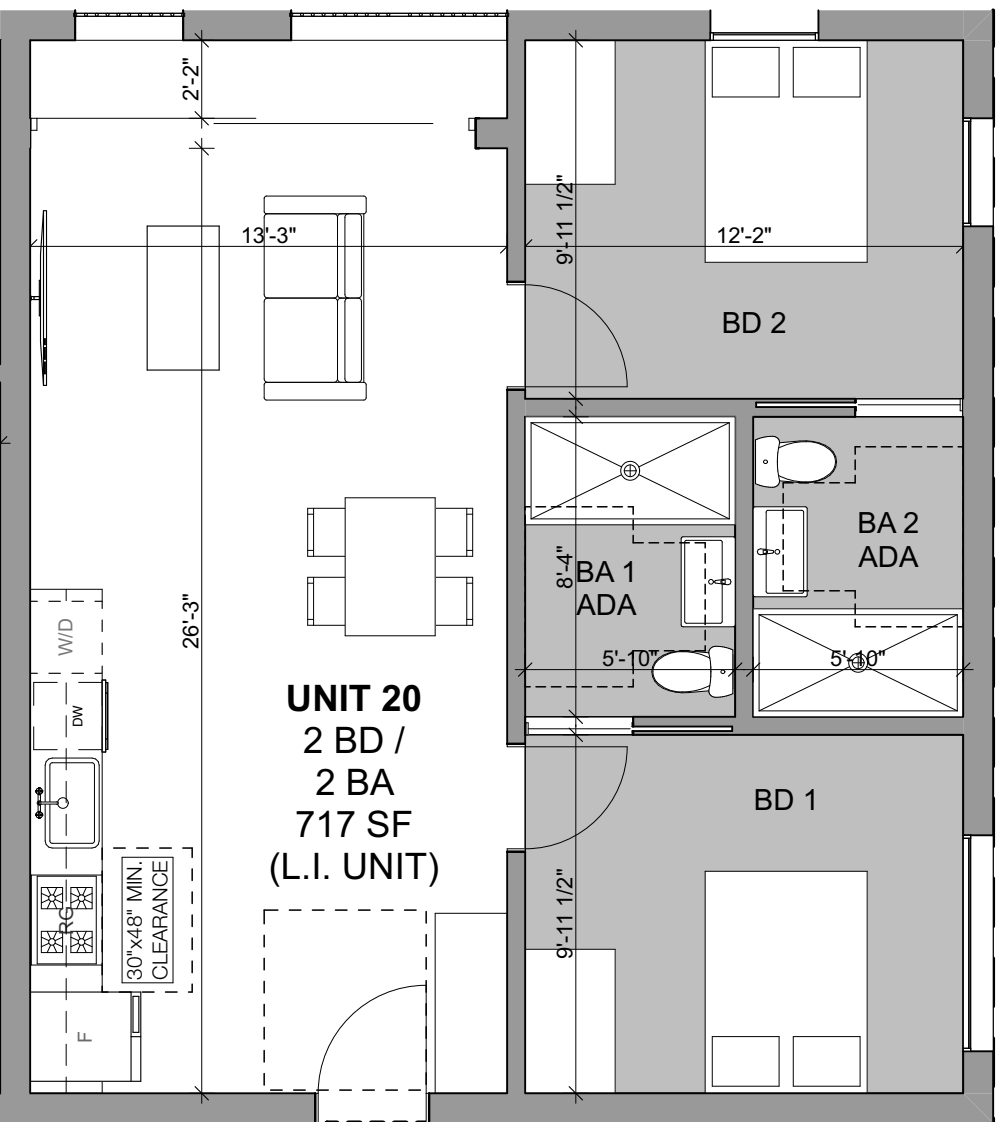
TYPICAL UNIT PLAN
1 BED / 1 BATH



TYPICAL UNIT PLAN
5 BED / 1 STUDY / 5 BATH



TYPICAL UNIT PLAN
4 BED / 3 BATH



TYPICAL UNIT PLAN
2 BED / 2 BATH



05.03.22	PLANNING SET
07.12.21	PC SUBMISSION 1
04.15.21	PZA PC RESPONSE 2
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PROJECT NO: #Project Code

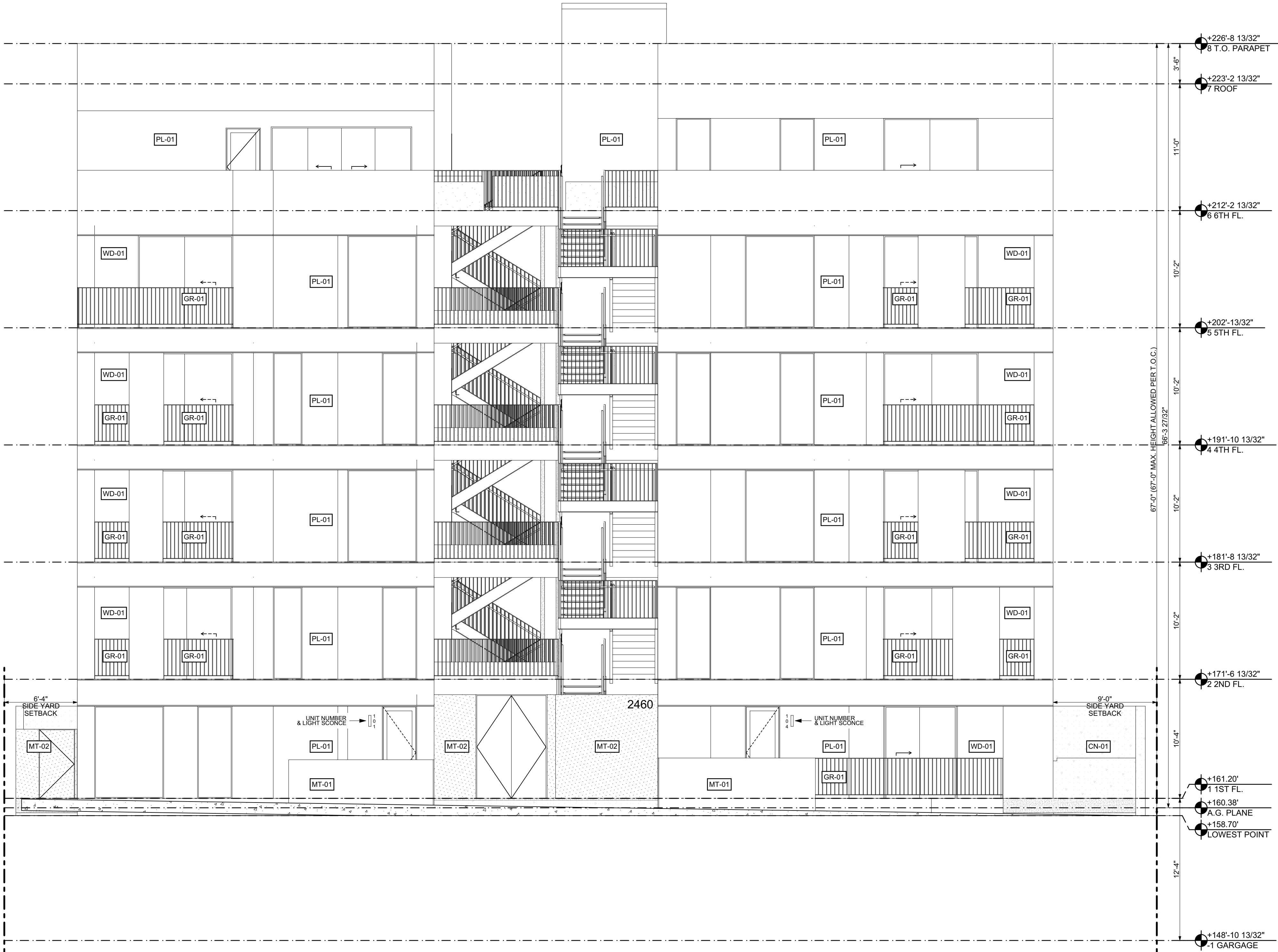
SHEET NAME

01 SOUTHWEST
ELEVATION

PUBLISHED: 5/3/2022

A3.01

SHEET 61 OF 152



Southwest Elevation

SCALE: 3/16" = 1'-0"

ELEVATION NOTES

- GENERAL**
- 01 GUARDRAILS TO BE 42" MINIMUM HEIGHT WITH 3 15/16" MAXIMUM OPENING SIZE.
- 02 CONTRACTOR TO VERIFY CONFORMANCE TO REQUIRED BUILDING HEIGHTS AND BUILDING ENVELOPES. PROVIDE CERTIFIED SURVEY OF REQUIRED BUILDING HEIGHT. INFORM ARCHITECT OF ANY DISCREPANCIES.
- 03 ADD SELF-ADHERING MODIFIED BITUMEN (JIFFY SEAL OR EQUAL) EXTENDING 24" EACH SIDE AT ALL VALLEYS, CRICKETS, TOPS OF WALLS, CONFINED RAKES, AND TRANSITION AREAS. ADD WATER DIVERTER @ CONFINED RAKES.
- 04 GLAZING WITHIN 18" OF THE ADJACENT FLOOR WALKING SURFACE SHALL BE FULLY TEMPERED.
- 05 PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.
- 06 EXTERIOR WALLS WITH A FIRE SEPARATION DISTANCE OF 5' OR LESS SHALL BE 1-HR FIRE-RESISTANCE RATING FOR EXPOSURE TO FIRE FROM BOTH SIDES.)
- 07 WIDOWS LABELED AS "EGRESS" SHALL COMPLY WITH REQ'D MIN DIMENSIONS PER 01A0.20

LID

01 ALL DOWNSPOUTS TO DRAIN TO RAIN TANKS PER LID 1-7

PARTITION TYPES, SEE A7.01

- [A] CONCRETE PODIUM SLAB
- [B] INTERIOR DWELLING UNIT WOOD FLOOR ASSEMBLY
- [C] ROOF FLOOR ASSEMBLY

FINISH LEGEND

- [CN-1] CONCRETE MASONRY UNIT
- [CN-2] UNCOLORED CONC. W/ SMOOTH FIN. SOLAR REFLECTANCE VALUE > 0.30 PER ASTM E1918.
- [GR-1] TYPE X GYPSUM BOARD, GREENBOARD IN ALL WET AREAS
- [GR-2] TEMPERED GLASS SHOWER ENCLOSURE
- [MT-1] METAL W/ POWDER COATED FINISH
- [PL-1] SAND FINISH PLASTER W/ INTEGRAL COLOR: WHITE
- [PL-2] SAND FINISH PLASTER W/ INTEGRAL COLOR: GRAY
- [GR-1] CRUSHED GRAVEL OVER COMPACTED FILL
- [TL-1] TILE FLOOR, SLIP RESISTANT
- [TL-2] CERAMIC WALL TILE
- [TL-3] QUARTZ COUNTERTOP
- [TL-4] TILE, TBD
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- [WD-2] WOOD DECKING SPECIES / FIN. TBD
- [WD-3] 6" WIDE FRENCH WHITE OAK WD FL., W/ SLIP RESISTANT FIN.
- [WD-4] WHITE OAK VERTICAL GRAIN WOOD VENEER
- [RF-1] DEXTOTEX WEATHERWEAR ESR 1757 W/ A1-44 SR TOP COAT: 413 SPEEDWAY GRAY. SRI 65 SEE (A7.30)
- [RF-2] SARNAFIL MEMBRANE, WHITE, LARR 24652 SEE (A7.30)

GENERAL KEYNOTES

- GK1 GUARDRAIL TO BE 42" MIN. HEIGHT WITH 3 15/16" MAX. OPENING SIZE. SEE DETAIL 01A7.10
- GK2 COLUMN PER STRUCTURAL
- GK3 STEEL STAR (UNDER DEFERRED SUBMITTAL)
- GK4 PLANTING/BENCH PER LANDSCAPE
- GK5 PLANTERS PER CIVIL
- GK6 6" CMU SITE WALL

LEGEND

- [GKXX] GENERAL KEYNOTE (THIS SHEET)
- PROPERTY LINE
- SETBACK LINE
- CENTERLINE
- LINE OF OBJECT ABOVE
- LINE OF OBJECT BELOW
- STRUCTURAL GRIDLINE
- WALL TYPE PER A7.00
- SLOPE TO DRAIN MAX 2%
- FLOOR ELEVATIONS
- MAX. ELEV. TRANSITION W/ BEVEL W/ MAX 1:2 SLOPE AREA DRAIN
- EXIT SIGN
- 6" DIA. MTL SAFETY BOLLARD
- CEILING MOUNTED SMOKE DETECTOR
- CEILING MOUNTED CARBON MONOXIDE DET.
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- ONE-HOUR FIRE PARTITION IN ACCORDANCE WITH SECTION 708.3
- TWO-HOUR FIRE-RESISTANCE RATED ENCLOSURE IN ACCORDANCE WITH SECTION 707 AND 711.
- DIMENSION TO FINISH FACE OF WALLS / SURFACES
- DIMENSION TO FRAMING (FACE OF STUD)



05.03.22	PLANNING SET
07.12.21	PC SUBMISSION 1
04.15.21	PZA PC RESPONSE 2
03.04.21	PZA PC RESPONSE 1

DATE	DESCRIPTION
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PROJECT NO: #Project Code

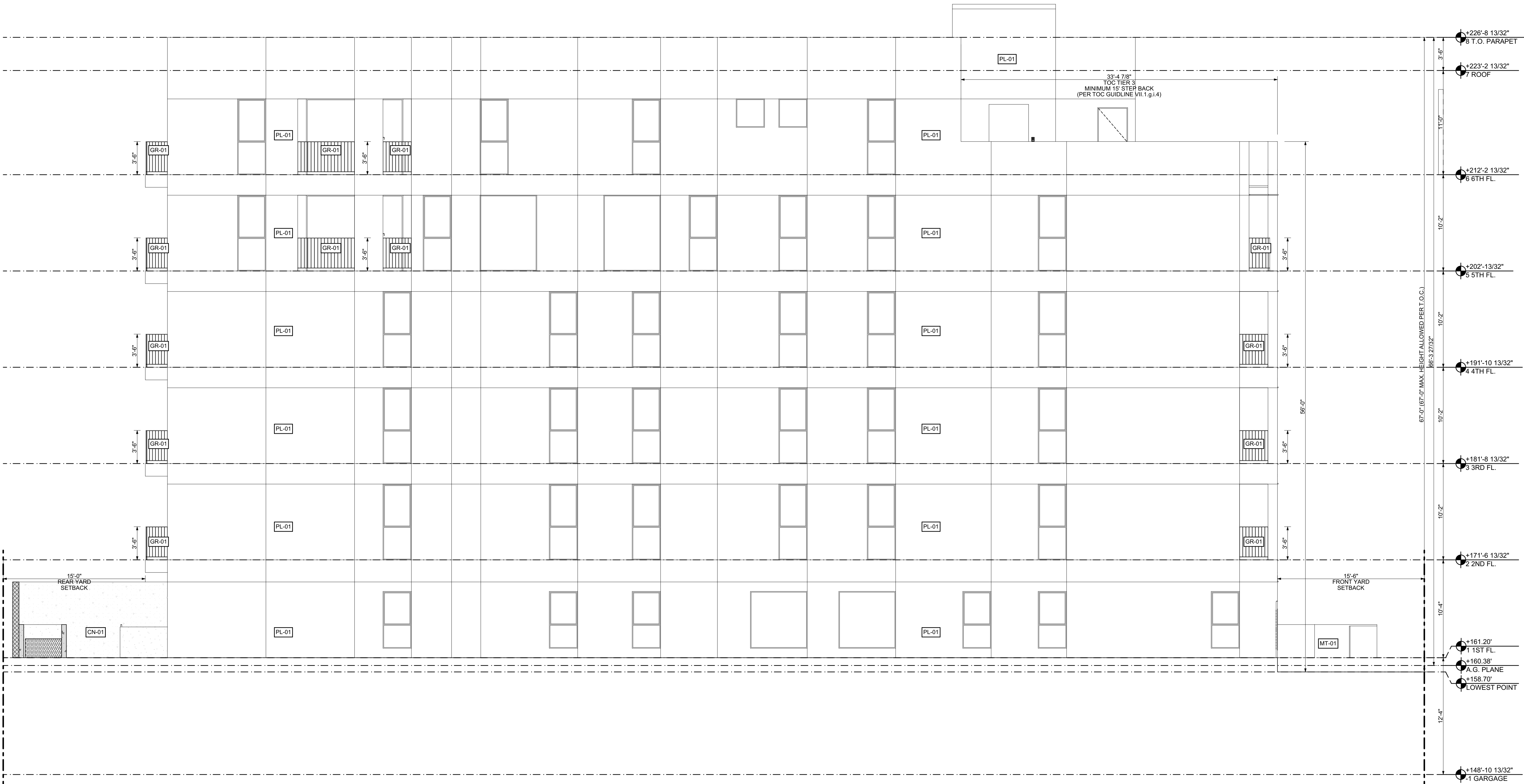
SHEET NAME

02 NORTHWEST
ELEVATION

PUBLISHED: 5/3/2022

A3.02

SHEET 62 OF 152



Northwest Elevation

SCALE: 3/16" = 1'-0"

EXHIBIT "A"
Page No. 17 of 23
Case No. DIR-2021-5596-TOC-HCA

ELEVATION NOTES

- GENERAL**
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- 07 WIDOWS LABELED AS "EGRESS" SHALL COMPLY WITH REQ'D MIN DIMENSIONS PER 01/A0.20

- LID**
- 01 ALL DOWNSPOUTS TO DRAIN TO RAIN TANKS PER LID 1-7

PARTITION TYPES, SEE A7.01

- [A] CONCRETE PODIUM SLAB
[B] INTERIOR DWELLING UNIT WOOD FLOOR ASSEMBLY
[C] ROOF FLOOR ASSEMBLY

FINISH LEGEND

- [CN-1] CONCRETE MASONRY UNIT
[CN-2] UNCOLORED CONC. W/ SMOOTH FIN. SOLAR REFLECTANCE VALUE > 0.30 PER ASTM E1918.
[GR-1] TYPE X GYPSUM BOARD, GREENBOARD IN ALL WET AREAS
[GR-2] TEMPERED GLASS SHOWER ENCLOSURE
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[PL-1] SAND FINISH PLASTER W/ INTEGRAL COLOR: WHITE
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[TL-1] TILE FLOOR, SLIP RESISTANT
[TL-2] CERAMIC WALL TILE
[TL-3] QUARTZ COUNTERTOP
[TL-4] TILE, TBD
[WD-1] VERTICAL WOOD SIDING 1" X 3" CLEAR CEDAR T&G
[WD-2] WOOD DECKING SPECIES / FIN. TBD
[WD-3] 6" WIDE FRENCH WHITE OAK WD FL., W/ SLIP RESISTANT FIN.
[WD-4] WHITE OAK VERTICAL GRAIN WOOD VENEER
[RF-1] DEXOTEX WEATHERWEAR ESR 1757 W/ AL-44 SR TOP COAT: 413 SPEEDWAY GRAY. SRI 65 SEE (A7.30)
[RF-2] SARNAFIL MEMBRANE, WHITE, LARR 24852 SEE (A7.30)

GENERAL KEYNOTES

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GK2 COLUMN PER STRUCTURAL
GK3 STEEL STAIR (UNDER DEFERRED SUBMITTAL)
GK4 PLANTING/BENCH PER LANDSCAPE
GK5 PLANTERS PER CIVIL
GK6 6" CMU SITE WALL

LEGEND

- [X] GENERAL KEYNOTE (THIS SHEET)
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[X] CENTERLINE
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[X] FLOOR ELEVATIONS
[X] MAX. ELEV. TRANSITION W/ BEVEL W/ MAX 1:2 SLOPE
[X] AREA DRAIN
[X] EXIT SIGN
[X] 6" DIA. MTL SAFETY BOLLARD
[X] CEILING MOUNTED SMOKE DETECTOR
[X] CEILING MOUNTED CARBON MONOXIDE DET.
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[X] FUTURE ELECTRICAL VEHICLE SUPPLY EQUIP.
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[X] ONE-HOUR FIRE PARTITION IN ACCORDANCE WITH SECTION 708.3
[X] TWO-HOUR FIRE-RESISTANCE RATED ENCLOSURE IN ACCORDANCE WITH SECTION 707 AND 711.
[X] DIMENSION TO FINISH FACE OF WALLS / SURFACES
[X] DIMENSION TO FRAMING (FACE OF STUD)



05.03.22	PLANNING SET
07.12.21	PC SUBMISSION 1
04.15.21	PZA PC RESPONSE 2
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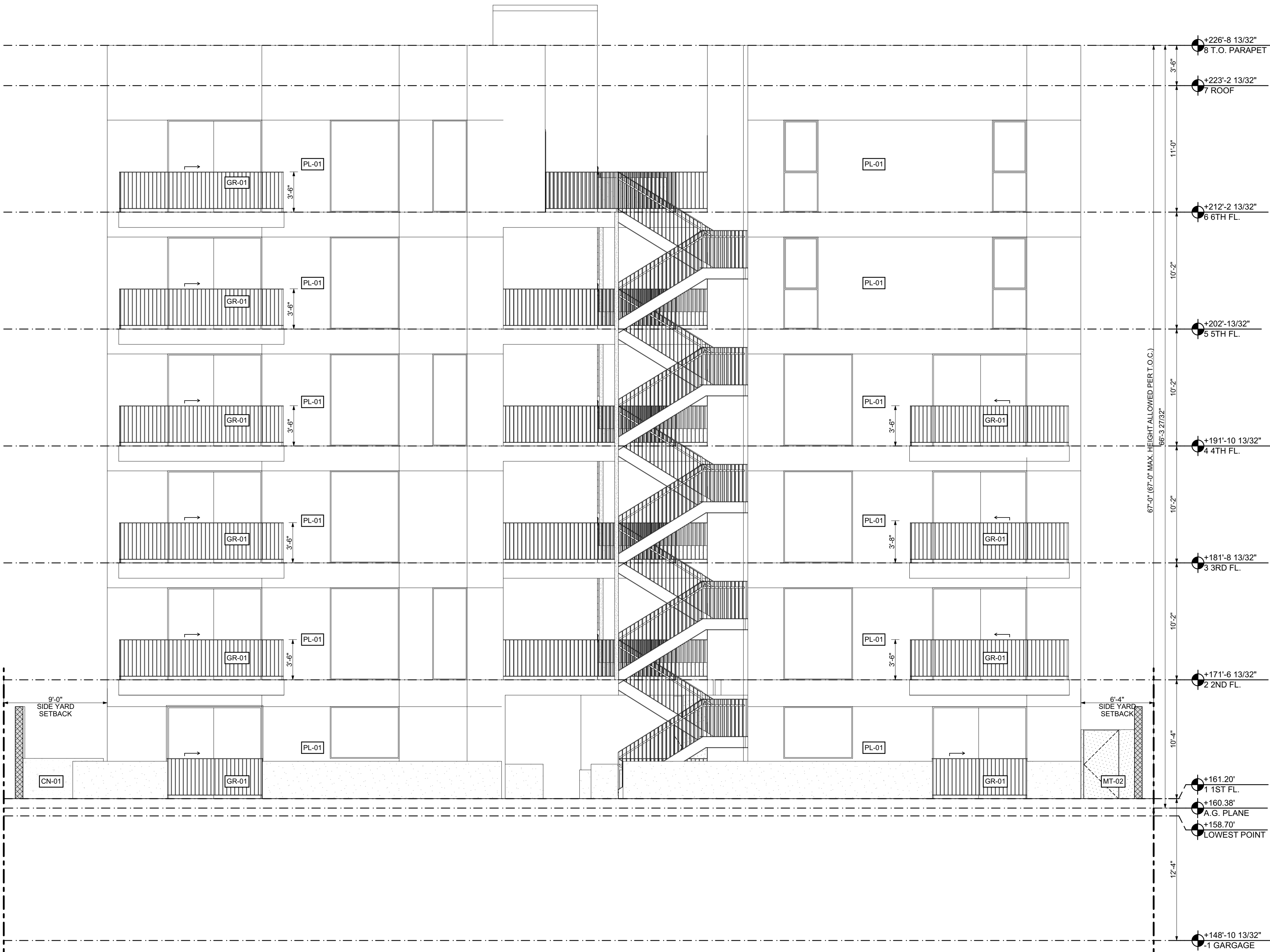
PROJECT NO: #Project Code

SHEET NAME
**03 NORTHEAST
ELEVATION**

PUBLISHED: 5/3/2022

A3.03

SHEET 63 OF 152



Northeast Elevation
SCALE: 3/16" = 1'-0"

EXHIBIT "A"
Page No. 18 of 23
Case No. DIR-2021-5596-TOC-HCA

ELEVATION NOTES

- GENERAL**
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- 07** WIDOWS LABELED AS "EGRESS" SHALL COMPLY WITH REQ'D MIN DIMENSIONS PER 01A0.20

- LID**
- 01** ALL DOWNSPOUTS TO DRAIN TO RAIN TANKS PER LID 1-7

PARTITION TYPES, SEE A7.01

- A** CONCRETE PODIUM SLAB
- B** INTERIOR DWELLING UNIT WOOD FLOOR ASSEMBLY
- C** ROOF FLOOR ASSEMBLY

FINISH LEGEND

- GN-1** CONCRETE MASONRY UNIT
- GN-2** UNCOLORED CONC. W/ SMOOTH FIN. SOLAR REFLECTANCE VALUE > 0.30 PER ASTM E1918.
- GB-1** TYPE X GYPSUM BOARD, GREENBOARD IN ALL WET AREAS
- GL-1** TEMPERED GLASS SHOWER ENCLOSURE
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- PL-1** SAND FINISH PLASTER W/ INTEGRAL COLOR: WHITE
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- GR-1** CRUSHED GRAVEL OVER COMPACTED FILL
- TL-1** TILE FLOOR, SLIP RESISTANT
- TL-2** CERAMIC WALL TILE
- TL-3** QUARTZ COUNTERTOP
- TL-4** TILE, TBD
- WD-1** VERTICAL WOOD SIDING 1" X 3" CLEAR CEDAR T&G
- WD-2** WOOD DECKING SPECIES / FIN. TBD
- WD-3** 6" WIDE FRENCH WHITE OAK WD FL., W/ SLIP RESISTANT FIN.
- WD-4** WHITE OAK VERTICAL GRAIN WOOD VENEER
- RF-1** DEXTEX WEATHERWEAR ESR 1757 W/ A1-44 SR TOP COAT: 413 SPEEDWAY GRAY. SRI 65 SEE (A7.30)
- RF-2** SARMAFIL MEMBRANE, WHITE, LARR 24852 SEE (A7.30)

GENERAL KEYNOTES

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- GK2** COLUMN PER STRUCTURAL
- GK3** STEEL STAR (UNDER DEFERRED SUBMITTAL)
- GK4** PLANTING/BENCH PER LANDSCAPE
- GK5** PLANTERS PER CIVIL
- GK6** 6" CMU SITE WALL

LEGEND

- ← [GXGX]** GENERAL KEYNOTE (THIS SHEET)
- PROPERTY LINE
- - - -** SETBACK LINE
- CENTERLINE
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- SLOPE TO DRAIN MAX 2%
- FLOOR ELEVATIONS
- MAX. ELEV. TRANSITION W/ BEVEL W/ MAX 1:2 SLOPE
- AREA DRAIN
- EXIT SIGN
- 6" DIA. MTL SAFETY BOLLARD
- CEILING MOUNTED SMOKE DETECTOR
- CEILING MOUNTED CARBON MONOXIDE DET.
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07.12.21	PC SUBMISSION 1
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DATE	DESCRIPTION
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PROJECT NO: #Project Code

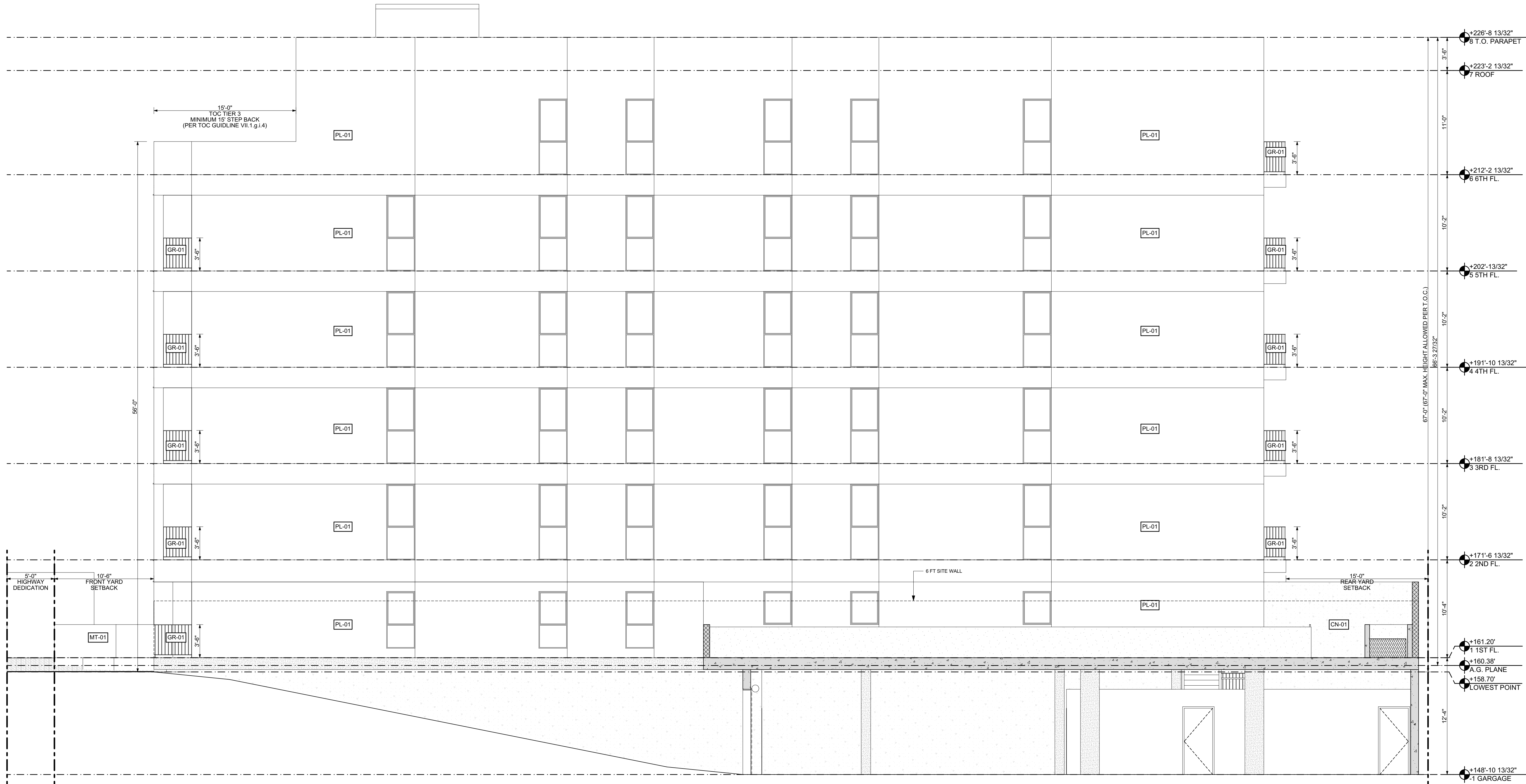
SHEET NAME

04 SOUTHEAST
ELEVATION

PUBLISHED: 5/3/2022

A3.04

SHEET 64 OF 152



Southeast Elevation

SCALE: 3/16" = 1'-0"

ELEVATION NOTES

GENERAL

01 GUARDRAILS TO BE 42" MINIMUM HEIGHT WITH 3 15/16" MAXIMUM OPENING SIZE.

02 CONTRACTOR TO VERIFY CONFORMANCE TO REQUIRED BUILDING HEIGHTS AND BUILDING ENVELOPES. PROVIDE CERTIFIED SURVEY OF REQUIRED BUILDING HEIGHT. INFORM ARCHITECT OF ANY DISCREPANCIES.

03 ADD SELF-ADHERING MODIFIED BITUMEN (JIFFY SEAL OR EQUAL) EXTENDING 24" EACH SIDE AT ALL VALLEYS, CRICKETS, TOPS OF WALLS, CONFINED RAKES, AND TRANSITION AREAS. ADD WATER DIVERTER @ CONFINED RAKES.

04 GLAZING WITHIN 18" OF THE ADJACENT FLOOR WALKING SURFACE SHALL BE FULLY TEMPERED.

05 PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.

06 EXTERIOR WALLS WITH A FIRE SEPARATION DISTANCE OF 5' OR LESS SHALL BE 1-HR FIRE-RESISTANCE RATING FOR EXPOSURE TO FIRE FROM BOTH SIDES.)

07 WIDOWS LABELED AS "EGRESS" SHALL COMPLY WITH REQ'D MIN DIMENSIONS PER 01A0.20

LID

01 ALL DOWNSPOUTS TO DRAIN TO RAIN TANKS PER LID 1-7

PARTITION TYPES, SEE A7.01

[A]	CONCRETE PODIUM SLAB
[B]	INTERIOR DWELLING UNIT WOOD FLOOR ASSEMBLY
[C]	ROOF FLOOR ASSEMBLY

FINISH LEGEND

[CN-1]	CONCRETE MASONRY UNIT
[CN-2]	UNCOLORED CONC. W/ SMOOTH FIN. SOLAR REFLECTANCE VALUE > 0.30 PER ASTM E1918.
[GB-1]	TYPE X GYPSUM BOARD, GREENBOARD IN ALL WET AREAS
[GL-1]	TEMPERED GLASS SHOWER ENCLOSURE
[MT-1]	METAL W/ POWDER COATED FINISH
[PL-1]	SAND FINISH PLASTER W/ INTEGRAL COLOR: WHITE
[PL-2]	SAND FINISH PLASTER W/ INTEGRAL COLOR: GRAY
[GR-1]	CRUSHED GRAVEL OVER COMPACTED FILL
[TL-1]	TILE FLOOR, SLIP RESISTANT
[TL-2]	CERAMIC WALL TILE
[TL-3]	QUARTZ COUNTERTOP
[TL-4]	TILE, TBD
[WD-1]	VERTICAL WOOD SIDING 1" X 3" CLEAR CEDAR T&G
[WD-2]	WOOD DECKING SPECIES / FIN. TBD
[WD-3]	6" WIDE FRENCH WHITE OAK WD FL., W/ SLIP RESISTANT FIN.
[WD-4]	WHITE OAK VERTICAL GRAIN WOOD VENEER
[RF-1]	DEXOTEX WEATHERWEAR® ESR 1757 W/ AL-44 SR TOP COAT: 413 SPEEDWAY GRAY. SRI 65 SEE (A7.30)
[RF-2]	SARNAFIL MEMBRANE, WHITE, LARR 24852 SEE (A7.30)

GENERAL KEYNOTES

GK1	GUARDRAIL TO BE 42" MIN. HEIGHT WITH 3 15/16" MAX. OPENING SIZE. SEE DETAIL 01A7.10
GK2	COLUMN PER STRUCTURAL
GK3	STEEL STAR (UNDER DEFERRED SUBMITTAL)
GK4	PLANTING/BENCH PER LANDSCAPE
GK5	PLANTERS PER CIVIL
GK6	6' CMU SITE WALL

LEGEND

[GKXX]	GENERAL KEYNOTE (THIS SHEET)
---	PROPERTY LINE
---	SETBACK LINE
---	CENTERLINE
---	LINE OF OBJECT ABOVE
---	LINE OF OBJECT BELOW
---	STRUCTURAL GRIDLINE
---	WALL TYPE PER A7.00
---	SLOPE TO DRAIN MAX 2%
---	FLOOR ELEVATIONS
---	MAX. ELEV. TRANSITION W/ BEVEL W/ MAX 1:2 SLOPE
---	AREA DRAIN
---	EXIT SIGN
---	6" DIA. MTL SAFETY BOLLARD
---	CEILING MOUNTED SMOKE DETECTOR
---	CEILING MOUNTED CARBON MONOXIDE DET.
---	EXHAUST FAN
---	FUTURE ELECTRICAL VEHICLE SUPPLY EQUIP.
---	WATER CURTAIN PER LABC 705.5.2 & MIN. REQ. PER DOC P/B/C 2014-106
---	ONE-HOUR FIRE PARTITION IN ACCORDANCE WITH SECTION 708.3
---	TWO-HOUR FIRE-RESISTANCE RATED ENCLOSURE IN ACCORDANCE WITH SECTION 707 AND 711.
---	DIMENSION TO FINISH FACE OF WALLS / SURFACES
---	DIMENSION TO FRAMING (FACE OF STUD)

LANDSCAPE REQUIREMENTS

OPEN SPACE PROVIDED PER ARCHITECT:

REAR YARD: 1,451 SF
COMMON SPACE(COURT YARD): 826 SF
REC ROOM: 637 SF
ROOF DECK: 429 SF
TOTAL: 3,342 SF
MINUS REC ROOM: 637 SF
TOTAL : 2,705 SF

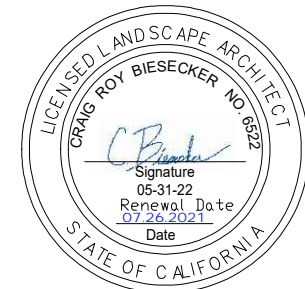
LANDSCAPE AREAS REQUIRED: 676.25 SF= 25% OF OPEN SPACE
LANDSCAPE AREAS PROVIDED: 1,527 SF = 56% OF OPEN SPACE

TREES PROVIDED 1 PER 4 UNITS. 27 UNITS = 7 TREES
7 TREES PROVIDED.

CITY OF LOS ANGELES LANDSCAPE ORDINANCE GUIDELINES "O". LANDSCAPE POINT SYSTEM			
SQUARE FOOTAGE FOR PROJECT	44,599	POINTS REQUIRED PER ORDINANCE PLUS 10% PER CONDITIONS OF APPROVAL	30
FEATURE/TECHNIQUE		SITE WORK	POINTS
2 POINTS PER TREE. 30' ON CENTER MAXIMUM			6
1 POINT PER 24" BOX TREE. STREET TREES PLANTED LARGER THAN 15 GALLON			3
1 POINT PER LINEAR FOOT CONTINUOUSLY PLANTED PARKWAY		87 LINEAR FT	87
		TOTAL	96

PURDUE

2465-60 PURDUE AVE
LOS ANGELES, 90064



08.03.20	TOC SUBMITTAL
12.27.20	D.D. SUBMITTAL
01.26.21	P.C.- 1
07.26.21	PLANNING SUBMITTAL
10.11.21	PLANNING SUBMITTAL
05.09.22	50% CD'S
06.07.22	75% CD'S
DATE	DESCRIPTION

PROJECT NO: #Project Code

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SHEET INDEX

L1.00	LANDSCAPE CONSTRUCTION SCHEDULE AND NOTES
L1.10	LANDSCAPE CONSTRUCTION PLAN 1ST FLOOR
L1.60	LANDSCAPE CONSTRUCTION PLAN 6TH FLOOR
L2.00	LANDSCAPE CONSTRUCTION DETAILS
L3.00	IRRIGATION CALCULATIONS
L3.01	IRRIGATION LEGEND AND NOTES
L3.10	IRRIGATION PLAN 1ST FLOOR
L3.60	IRRIGATION PLAN 6TH FLOOR
L4.00	IRRIGATION DETAILS
L4.10	PLANTING SCHEDULE AND NOTES
L5.00	PLANTING PLAN 1ST FLOOR
L5.10	PLANTING PLAN 1ST FLOOR
L5.60	PLANTING PLAN 6TH FLOOR
L6.00	PLANTING DETAILS

SHEET NAME

LANDSCAPE
SCHEDULE
AND NOTES

L1.00

LEGEND						
SYMBOL	CALLOUT	ITEM	MANUFACTURER	COMMENTS	COLOR/FINISH	DETAIL
	PA	PLANTING AREA		SEE PLANTING SHEETS	TBD	
	LID	LID PLANTED AREA			TBD	SEE DETAIL 2/L2.00
	PD	PLANTER DRAIN				
	PL1	FIBER GLASS PLANTER	QCP	FIBER GLASS PLANTER: 36" L x 24" W x 36" H.	TBD	
	PL2	FIBER GLASS PLANTER	QCP	FIBER GLASS PLANTER: 48" L x 24" W x 36" H.	TBD	
	PL4	FIBER GLASS PLANTER	QCP	FIBER GLASS PLANTER: 48" L x 18" W x 24" H.	TBD	
	PL5	FIBER GLASS PLANTER	QCP	FIBER GLASS PLANTER: 36" L x 24" W x 30" H.	TBD	
	PL6	FIBER GLASS PLANTER	QCP	FIBER GLASS PLANTER: 48" L x 30" W x 36" H.	TBD	
	PL7	FIBER GLASS PLANTER	QCP	FIBER GLASS PLANTER: 48" L x 24" W x 30" H.	TBD	
	W1	CUSTOM LID PLANTER			TBD	
	W2	CUSTOM P.I.P. IN PLANTER		CUSTOM BUILT IN PLANTER: 30" HIGH	STUCCO FINISH	SEE DETAIL 3/L2.00
	W3	CUSTOM P.I.P. IN PLANTER		CUSTOM BUILT IN PLANTER: 36" HIGH	STUCCO FINISH	SEE DETAIL 3/L2.00
	W4	CUSTOM P.I.P. IN PLANTER		CUSTOM P.I.P. PLANTER 42" HIGH	STUCCO FINISH	SEE DETAIL 3/L2.00
	W5	CUSTOM P.I.P. IN PLANTER		CUSTOM P.I.P. PLANTER 30" HIGH	STUCCO FINISH	SEE DETAIL 3/L2.00
	W6	CUSTOM PLANTER		CUSTOM FIBER GLASS PLANTER: 48" L x 48" W x 42" H.		
	W7	CUSTOM P.I.P. IN PLANTER		54" SQ PLANTER 48" DEEP RECESSED INTO FLOOR. 16" ABOVE PEDESTAL GRADE. BUILT IN WOOD SEAT WALL ON TOP OF PLANTER.	STUCCO FINISH	SEE DETAIL 3/L2.00
	W8	CUSTOM PLANTER		42" HIGH		
	W9	CUSTOM PLANTER		36" HIGH		
	PT	LODI PLANTERS	STONEYARD, INC.	13" DIA x 25" H	ANTIGUA	
				18" DIA x 34" H	ANTIGUA	
				24" DIA x 28" H	ANTIGUA	
	P1	PORTERO - QCP PAVER	QCP	PORTERO - QCP PAVER -	NATURAL	SEE DETAIL 1/L2.00
	P2	PORTERO - QCP PAVER	QCP	PORTERO - QCP PAVER -	FRENCH GRAY	SEE DETAIL 1/L2.00
	P3	POURED IN PLACE CONCRETE			NATURAL COLOR	SEE DETAIL 1/L2.00
	P4	DECOMPOSED GRANITE		STABILIZED D.G.724 SQ. FT.		
	P5	IPE WEATHERED WOOD TILE	TILE TECH	IPE WOOD DECK TILE - 24" x 36" x 1 1/2"	WEATHERED	SEE DETAIL 5/L2.00

HARDSCAPE SOLAR REFLECTANCE

1ST FLOOR	SRI VALUE	QUANTITY IN SF	SR VALUE ABOVE .30
PORTERO - QCP PAVER: NATURAL	0.36	805	805
PORTERO - QCP PAVER: FRENCH GRAY	0.19	295	0
CONCRETE		1,261	1261
DECOMPOSED GRANITE	N/A	780	0
AQUALINE - 12"x12" PERMEABLE PAVER	N/A	276	0
ROOF DECK			
IPE WOOD TILE - TILE TECH: WEATHERED TILE	N/A	942	0
COOL ROOF PAVER - TILE TECH: COOL GRAY	0.65	515	1130
TOTAL		4,874	3,196
PERCENTAGE OF HARDSCAPE WITH SRI VALUE ABOVE .30			66

65% OF THE OUTDOOR HARDSCAPE AREA HAS AN SRI VALUE ABOVE .30 WHICH MEETS THE REQUIRED 50% AND IS THEREFORE IN COMPLIANCE.

SEE MANUFACTURER DATA SHEETS (THIS SHEET) FOR SRI VALUES.

** ALL ON GRADE HARDSCAPE USES A PERMEABLE PAVER. REMAINING HARDSCAPES ARE ON TOP OF PARKING STRUCTURE AND MATERIALS ARE LISTED ABOVE.**

FLATWORK STANDARD	Natural	0.036	41.00	0.07	0.93	68	59	8000	>5%	3 years
	Quail Hill Red	0.031	35.00	0.07	0.93	68	59	8000	>5%	3 years
	Latte	0.027	30.00	0.07	0.93	68	59	8000	>5%	3 years
	French Gray	0.019	19.00	0.07	0.92	68	59	8000	>5%	3 years
	Bungalow	0.027	30.00	0.07	0.93	68	59	8000	>5%	3 years
	Adobe Taupe	0.022	23.00	0.08	0.92	68	59	8000	>5%	3 years
	Mission White	0.052	62.00	0.09	0.91	68	59	8000	>5%	3 years
	Harvest	0.031	35.00	0.07	0.93	68	59	8000	>5%	3 years



4.0 RESULTS

Reflectance and SRI:

Specimen Code	% Solar Reflectance	SRI
COOL BLUE 50	71.4	88
COOL GRAY 50	54.4	65
COOL GREEN 50	66.9	83
COOL ORANGE 50	64.0	79
COOL RED 50	62.8	77
COOL YELLOW 50	68.5	85



2465-60 PURDUE AVE
LOS ANGELES, 90064



12.27.20	D.D. SUBMITTAL
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01.26.21	P.C.- 1
----------	---------

07.26.21	PLANNING SUBMITTA
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10.11.21	PLANNING SUBMITTAL
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[illegible][illegible][illegible][illegible]

DATE	DESCRIPTION
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QUEST NAME

CONSTRUCTION PLAN

1ST FLOOR

[illegible]

1110

100

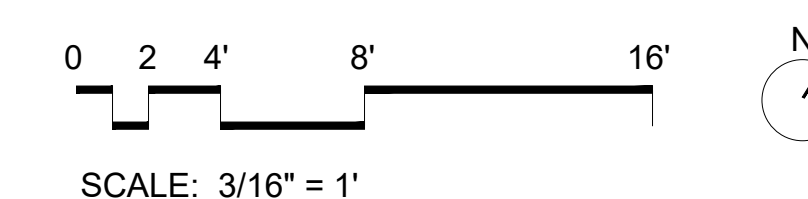


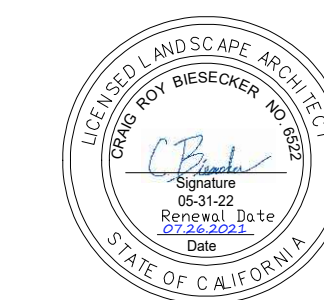
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L1.10



PURDUE

2465-60 PURDUE AVE
LOS ANGELES, 90064



08.03.20	TOC SUBMITTAL
12.27.20	D.D. SUBMITTAL
01.26.21	P.C. - 1
07.26.21	PLANNING SUBMITTAL
10.11.21	PLANNING SUBMITTAL
05.09.22	50% CD'S

DATE	DESCRIPTION
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PROJECT NO: #Project Code

SHEET NAME

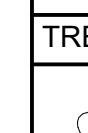
CONSTRUCTION
PLAN
6TH FLOOR

L1.60

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PLANT SCHEDULE		
TREES	QTY	BOT
	3	JAC

PLANT SCHEDULE	
TREES	QTY
	24

1. MINIMUM OF 75% OF PLANTS TO COME FROM LOS ANGELES COUNTY DROUGHT-TOLERANT PLANT LIST. SEE CHART THIS PAGE.
2. SEE SHEET L600, FOR PLANTING AND SPACING DETAILS.
3. UNDER NO CIRCUMSTANCES WILL THERE BE ANY MATERIAL SUBSTITUTIONS EXCEPT WITH THE EXPRESS CONSENT OF THE LANDSCAPE ARCHITECT.
4. 21 DAYS PRIOR TO PLANT INSTALLATION, THE CONTRACTOR IS TO SUBMIT A COMPLETE LIST OF PLANT MATERIAL TO BE SUPPLIED. THIS LIST IS TO INCLUDE PLANT SPECIFICATIONS (HEIGHT, SPREAD, AND CALIPER WHERE APPLICABLE), NURSERY SOURCES AND CONTACTS. CONTRACTOR IS TO PROVIDE PHOTOGRAPHS OF EACH TREE AND A REPRESENTATIVE PHOTOGRAPH OF EACH SHRUB AND GROUNDCOVER SPECIES. NO SUBSTITUTIONS WILL BE ALLOWED FOLLOWING SUBMITTAL OF THE LIST.
5. EACH CONTAINER PLANT DELIVERED TO THE SITE MUST BE CLEARLY LABELED AS TO SPECIES, VARIETY, AND NURSERY SOURCE. ANY PLANTS SHIPPED WITHOUT LABELS AND CORRESPONDING PACKING SLIP WILL BE REJECTED AND IMMEDIATELY REMOVED FROM THE SITE. CONTRACTOR TO NOTIFY NURSERY THAT THIS PROVISION WILL BE STRICTLY ENFORCED. DISPUTES REGARDING DETERMINATION OF PLANT SPECIES OR VARIETY WILL BE RESOLVED BY THE LANDSCAPE ARCHITECT, AND HIS/HER DECISION WILL BE FINAL.
6. PRIOR TO PLANTING OF ANY MATERIALS, COMPACTED SOILS SHALL BE TRANSFORMED TO A FRIABLE CONDITION. SOIL COMPACTION SHOULD BE AVOIDED IN ALL AT GRADE PLANTING AREAS.
7. A SOILS MANAGEMENT REPORT CONSISTENT WITH § 492.5 OF THE CALIFORNIA CODE OF REGULATIONS TITLE 23, DIVISION 2, CHAPTER 2.7, SHALL BE PROVIDED TO THE CITY INSPECTOR AT TIME OF FINAL LANDSCAPE INSPECTION. IN THE EVENT THE SOILS MANAGEMENT REPORT RECOMMENDS SOIL MODIFICATIONS, THE PROJECT APPLICANT OR HIS/HER DESIGNEE SHALL SUBMIT ADDITIONAL DOCUMENTATION VERIFYING IMPLEMENTATION OF SOILS MANAGEMENT REPORT RECOMMENDATIONS.
8. THE CONTRACTOR IS RESPONSIBLE FOR THE COSTS ASSOCIATED WITH PROCURING THE SERVICES OF A SOIL TESTING LABORATORY (WALLACE LABS - OR EQUAL) TO PERFORM AN AGRICULTURAL SUITABILITY ANALYSIS. THE LAB'S RECOMMENDATIONS ARE TO BE FOLLOWED FOR SOIL PREPARATION AND BACKFILL AMENDMENT AND PROCEDURES, AND FOR MAINTENANCE FERTILIZER APPLICATIONS. TWO SEPARATE SAMPLES SHALL BE TAKEN:
 - 1 FROM THE NEW LOCUST AVE AT GRADE PLANTING AREA
 - 1 FROM THE NEW PALMER COURT AT GRADE PLANTING AREASAMPLES SHALL BE DELIVERED BY THE CONTRACTOR TO THE SOILS TESTING LABORATORY. THE LABORATORY SHOULD BE INFORMED OF THE INTENDED PLANTING FOR EACH SAMPLE. THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S AUTHORIZED REPRESENTATIVE WILL ASSIST WITH SELECTING TESTING LOCATIONS.
9. FOR BIDDING PURPOSES ONLY, THE CONTRACTOR IS TO ASSUME THE FOLLOWING AMENDMENT FOR SOIL PREPARATION, AND IS TO ASSUME UTILIZATION OF AMENDED SITE SOIL FOR PLANT PIT BACKFILL: INCORPORATE INTO THE SOIL THE FOLLOWING MATERIALS, PER PROCEDURES DESCRIBED IN THE SPECIFICATIONS. MATERIAL AMOUNTS PER 1000 SQUARE FEET:
 - 3 CU. YD. NITROGEN FORTIFIED WOOD COMPOST
 - 2 CU. YD. ORGANIC FERTILIZER
 - 100 LBS. GYPSUM
 - 30 LBS. COMMERCIAL FERTILIZER
10. SEE SPECIFICATIONS FOR OVER STRUCTURE IMPORT SOIL.
11. PLACE A 3" DEEP SHREDDED CEDAR BARK MULCH COVER IN PLANTING AREAS. SOIL SHALL NOT BE VISIBLE THROUGH MULCH. KEEP MULCH 3" CLEAR OF BASE OF SHRUBS AND GROUND COVER AND 6" CLEAR OF TREE TRUNKS. PRIOR TO ORDERING MULCH, CONTRACTOR IS TO SUBMIT SAMPLE TO LANDSCAPE ARCHITECT AND THE OWNER'S AUTHORIZED REPRESENTATIVE FOR APPROVAL.
12. FINISHED GRADE OF TURF IS TO BE 1" BELOW FINISHED SURFACE OF ADJACENT PAVING OR MOWSTRIP.
13. ALL ON-STRUCTURE PLANTERS TO BE FILLED WITH IMPORT SOIL PER SPECIFICATIONS.
14. A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, CREEPING OR ROOTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED. SOIL SHALL NOT BE VISIBLE THROUGH MULCH. KEEP MULCH 3" CLEAR OF PLANT STEMS AND 6" CLEAR OF TREE TRUNKS. PRIOR TO ORDERING MULCH, CONTRACTOR IS TO SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL.
- 14.1. ORGANIC MULCH SHALL TAKE PRECEDENCE OVER INORGANIC MATERIALS OR VIRGIN FOREST PRODUCTS UNLESS THE RECYCLED POST-CONSUMER PRODUCTS ARE NOT LOCALLY AVAILABLE.
15. TO PROVIDE HABITAT FOR BENEFICIAL INSECTS AND OTHER WILDLIFE UP TO 5% OF THE LANDSCAPE AREA MAY BE LEFT WITHOUT MULCH.
16. STABILIZING MULCHING PROEDUCTS SHALL BE USED ON SLOOPES THAT MEET CURRENT ENGINEERING STANDARDS
17. PLANT COUNTS ARE PROVIDED FOR CONVENIENCE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES.
18. RE-CIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.
19. A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
20. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.

LA COUNTY DROUGHT TOLERANT PLANT LIST			
TREES BOTANICAL NAME	COMMON NAME	YES QUANTITY	NO QUANTITY
JACARANDA MIMOSIFOLIA	JACARANDA		3
LAGERSTROEMIA INDICA X FAURIEI "NATCHEZ"	NATCHEZ CRAPE MYRTLE MULTITRUNK		5
OLEA EUROPAEA 'WILSONII'	WILSON OLIVE		2
PLATANUS MEXICANA	MEXICAN SYCAMORE		2
SHRUBS BOTANICAL NAME	COMMON NAME		
CALLISTEMON VIMINALIS 'LITTLE JOHN'	LITTLE JOHN WEEPING BOTTLEBRUSH		42
PHYTOSPORUM TENUIFOLIUM "MARJORIE CHANNON"	MARJORIE CHANNON TAWHIWHI		26
WESTRINGIA FRUTICOSA 'WES06' TM	LOW HORIZON COAST ROSEMARY		64
CACTUS/SUCCULENTS BOTANICAL NAME	COMMON NAME		
AGAVE ATTENUATA	FOXTAIL AGAVE		6
AGAVE ATTENUATA	FOXTAIL AGAVE		14
AGAVE ATTENUATA 'KARA'S STRIPES'	KARA'S STRIPES FOXTAIL AGAVE		6
AGAVE ATTENUATA 'KARA'S STRIPES'	KARA'S STRIPES FOXTAIL AGAVE		13
AGAVE ATTENUATA 'NOVA'	NOVA FOXTAIL AGAVE		34
KALANCHOE BEHARENSIS	FELT PLANT		8
YUCCA ROSTRATA	BEAKED YUCCA		4

GROUNDCOVER BOTANICAL NAME	COMMON NAME		
CAREX BARBARAE	SANTA BARBARA SEDGE	201	
CARISSA MACROCARPA "BOXWOOD BEAUTY"	BOXWOOD BEAUTY NATAL PLUM	76	
CRASSULA MULTICAVA	CAPE PROVENCE PYGMYWEED	140	
MYOPORUM PARVIFOLIUM "PROSTRATUM"	MYOPORUM	61	
PORTULACARIA AFRA 'VARIEGATA'	VARIEGATED ELEPHANT BUSH	59	
TOTAL		726	42%
PERCENTAGE		95	5%

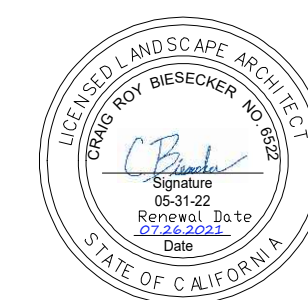
TOTAL LA COUNTY DROUGHT TOLERANT PLANTS: 726
TOTAL PLANTS: 168

MINIMUM REQUIRED DROUGHT TOLERANT PLANTS: 75%

PERCENTAGE OF DROUGHT TOLERANT PLANTS INCLUDED IN
DESIGN: 95%

PURDUE

2465-60 PURDUE AVE
LOS ANGELES, 90064

[illegible]

PROJECT NO: #Project Code

SHEET NAME

PLANTING SCHEDULE AND NOTES

L5.00

EXHIBIT B

Letter of Determination

**DEPARTMENT OF
CITY PLANNING**

COMMISSION OFFICE
(213) 978-1300

CITY PLANNING COMMISSION

SAMANTHA MILLMAN
PRESIDENT

CAROLINE CHOE
VICE-PRESIDENT

HELEN CAMPBELL
JENNA HORNSTOCK
HELEN LEUNG

YVETTE LOPEZ-LEDESMA
KAREN MACK
DANA M. PERLMAN
RENEE DAKE WILSON

**CITY OF LOS ANGELES
CALIFORNIA**



ERIC GARCETTI
MAYOR

EXECUTIVE OFFICES

200 N. SPRING STREET, ROOM 525
LOS ANGELES, CA 90012-4801
(213) 978-1271

VINCENT P. BERTONI, AICP
DIRECTOR

SHANA M.M. BONSTIN
DEPUTY DIRECTOR

ARTHI L. VARMA, AICP
DEPUTY DIRECTOR

LISA M. WEBBER, AICP
DEPUTY DIRECTOR

**DIRECTOR'S DETERMINATION
TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM**

July 28, 2022

Applicant/Owner

Amir Mehdizadeh
801 South Beverly Glen Boulevard
Los Angeles, CA 90024

Representative

Aaron Belliston
BMR Enterprises
5250 Lankershim Boulevard, Suite 500
Los Angeles, CA 91601

Case No. DIR-2021-5596-TOC-HCA

CEQA: ENV-2021-5597-CE
ENV-2013-622-EIR

Location: 2456-2460 South Purdue Avenue

Council District: 11 – Bonin

Community Plan Area: Palms – Mar Vista – Del Rey

Specific Plan: Exposition Corridor Transit
Neighborhood Plan; West Los
Angeles Transportation
Improvement and Mitigation

Land Use Designation: Medium Residential

Zone: R3-1

Legal Description: Lots 29-30, Block 6, Tract TR 5842

Last Day to File an Appeal: August 12, 2022

DETERMINATION – Transit Oriented Communities Affordable Housing Incentive Program

Pursuant to the Los Angeles Municipal Code (LAMC) Section 12.22 A.31, I have reviewed the proposed project and as the designee of the Director of Planning, I hereby:

DETERMINE, based on the whole of the administrative record, that the Project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Article 19, Section 15332 (Class 32), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

FIND, based on the independent judgement of the decision-maker, after consideration of the whole of the administrative record, that the project is within the scope of the Exposition Corridor Transit Neighborhood Plan Program EIR No. ENV-2013-622-EIR, SCH. No. 2013031038 ("Program EIR"), pursuant to CEQA Guidelines Sections 15168 and 15162; the environmental effects of the Project were covered in the Program EIR and no new environmental effects not identified in the Program EIR will occur and no new mitigation is required; and the City has incorporated all feasible mitigation measures from the Program EIR on the Project.

APPROVE a Transit Oriented Communities (TOC) Affordable Housing Incentive Compliance Review for a qualifying Tier 3 project totaling 27 dwelling units, reserving three (3) units for Extremely Low Income Household occupancy for a period of 55 years, with the following requested Additional incentives:

Additional Incentives

- a. **Height.** A 22-foot increase in the building height, allowing 67 feet in lieu of the maximum 45 feet per the R3-1 Zone;
- b. **Side Yard/Setback.** A 30 percent decrease in the required depth of the northwest side yard, allowing a 6-foot 4-inch northwest side yard setback in lieu of otherwise required 9-foot side yard setback per the R3-1 Zone; and
- c. **Open Space.** A maximum 25 percent reduction in the required open space, allowing 3,342 square feet in lieu of the 4,275 square feet otherwise required.

The project approval is based upon the attached Findings, and subject to the attached Conditions of Approval:

CONDITIONS OF APPROVAL

1. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the Applicant, stamped "Exhibit A," and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning, West/South/Coastal Project Planning Division, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Los Angeles Municipal Code or the project conditions.
2. **Residential Density.** The project shall be limited to a maximum density of 27 residential units per Exhibit "A".
3. **Affordable Units.** The project shall reserve a minimum of three (3) units, that is 11 percent On-Site Restricted Affordable Units, for Extremely Low Income Households as defined in Section 50106 of the California Health and Safety Code. The Transit Oriented Communities Affordable Housing Incentive Program Guidelines also requires a Housing Development to meet any applicable housing replacement requirements of California Government Code Section 65915(c)(3), as verified by the Los Angeles Housing Department (LAHD) prior to the issuance of any building permit. Replacement housing units required per this section may also count towards other On-Site Restricted Affordable Units requirements.
4. **Changes in Restricted Units.** Deviations that increase the number of restricted affordable units or that change the composition of units or change parking numbers shall be consistent with LAMC Section 12.22-A.31 and comply with the Transit Oriented Communities Affordable Housing Incentive Program Guidelines adopted by the City Planning Commission.
5. **Housing Requirements.** Prior to issuance of a building permit, the owner shall execute and record a covenant and agreement running with the land to the satisfaction of the Los Angeles Housing Department (LAHD) to make three (3) unit for Extremely Low Income Households for rental as determined to be affordable to such households by LAHD for a period of 55 years. In the event the applicant reduces the proposed density of the project, the number of required set aside affordable units may be adjusted, consistent with LAMC Section 12.22-A.25, to the satisfaction of LAHD, and in consideration of the project's SB 330 Determination. Enforcement of the terms of said covenant shall be the responsibility of LAHD. The Applicant will present a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the Guidelines for the Affordable Housing Incentives Program adopted by the City Planning Commission and any monitoring requirements established by the LAHD. Refer to the Transit Oriented Communities Affordable Housing Incentive Program Background and Housing Replacement (SB 330 Determination) Background sections of this determination.
6. **Floor Area Ratio (FAR).** The project shall be limited to a Floor Area Ratio of 4.3:1 or approximately 46,528 square feet, as shown in Exhibit "A".
7. **Height.** The project shall be limited to a maximum 67 feet in height, as shown in Exhibit "A". Height increases over 11 feet, resulting in building height over 56 feet, shall be stepped back at least 15 feet from the exterior façade of the ground floor of the building located along any street frontage, as provided in Sheets A2.06, A3.02, A3.04, and A4.02 through A4.04 of Exhibit "A".
8. **Side Yard/Setback.** The project qualifies for a 30 percent reduction in the required width or depth of two individual yards or setbacks. The northwest side yard shall be no less than 6 feet 4 inches, as shown in Exhibit "A".

9. **Open Space.** The project shall provide a minimum of 3,342 square feet of open space per Exhibit "A". The common open space shall meet the requirements of LAMC Section 12.21 G per the satisfaction of the Department of Building and Safety.
10. **Automobile Parking.** Based upon the number of dwelling units proposed, a minimum of fourteen (14) automobile parking spaces shall be provided for the project. Automobile parking shall be provided consistent with TOC Guidelines, which allows required parking for all residential units in an Eligible Housing Development for a Tier 3 project not to exceed one-half (0.5) space per unit. The project proposes 26 parking spaces, as shown in Exhibit "A".
11. **Adjustment of Parking.** In the event that the number of Restricted Affordable Units should increase, or the composition of such units should change (i.e. the number of bedrooms, or the number of units made available to Senior Citizens and/or Disabled Persons), or the applicant selects another Parking Option (including Bicycle Parking Ordinance) and no other Condition of Approval or incentive is affected, then no modification of this determination shall be necessary, and the number of parking spaces shall be recalculated by the Department of Building and Safety, based upon the ratios set forth ratios set forth in the Transit Oriented Communities Affordable Housing Incentive Program Guidelines (TOC Guidelines).
12. **Bicycle Parking.** Bicycle parking shall be provided consistent with LAMC 12.21 A.16.
13. **Landscape Plan.** Revised landscape plans shall be submitted to show the size and location of all plants. The landscape plan shall indicate landscape points for the Project equivalent to 10% more than otherwise required by LAMC 12.40 and Landscape Ordinance Guidelines "O". All open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be landscaped, including an automatic irrigation system, and maintained in accordance with a final landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning. The final landscape plan shall be in substantial conformance with the submitted Landscape Plan, Exhibit "A," and shall incorporate any modifications required as a result of this grant.
14. Street trees may be used to satisfy on-site tree requirements pursuant to LAMC Article Section 12.21.G.3 (Chapter 1, Open Space Requirement for Six or More Residential Units).
15. **Specific Plan.** Prior to the issuance of a building permit, the applicant shall demonstrate compliance with the Exposition Corridor Transit Neighborhood Plan Specific Plan ("Expo TNP") pursuant to Ordinance No. 186,402, including but not limited to:
 - a. Street-fronting residential units on the ground floor shall each have a primary entrance facing the street per Expo TNP Section 4.3.2.A.1.
 - b. Primary pedestrian entrances shall be prominent and distinguished through architectural features such as, but not limited to, front porches, overhead projections, columns, side windows, or recessed planes per Expo TNP Section 4.3.2.A.2.
 - c. Visible exterior surfaces of the proposed structure, fencing, recreational equipment, or outdoor art installations shall be constructed of materials such as, but not limited to, high-performance and/ or non-reflective tinted glass (without mirror-like tints or films), pre-cast concrete, fabricated wall surfaces, composite materials, wood, coated metal, and stone to minimize glare and reflected heat per Expo TNP 4.3.3.B.2.

- d. At least 50% of hardscape areas shall include permeable paving, except where not feasible due to water table levels, contamination, or permeability of the soil per Expo TNP 4.3.4.A.2.

Administrative Conditions

16. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building and Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall be stamped by Department of City Planning staff "Plans Approved". A copy of the Plans Approved, supplied by the applicant, shall be retained in the subject case file.
17. **Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet, and shall include any modifications or notations required herein.
18. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
19. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
20. **Department of Building and Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
21. **Recording Covenant.** Prior to the issuance of any permits relative to this matter, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard master covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Development Services Center for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Development Services Center at the time of Condition Clearance for attachment to the subject case file.
22. **Indemnification and Reimbursement of Litigation Costs.**
Applicant shall do all of the following:
 - (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of

subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.

- (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

PROJECT BACKGROUND

Subject Property

The project site is located at 2456 South Purdue Avenue, approximately mid-block along Purdue Avenue between Exposition Boulevard and Pearl Street. The project site is comprised of two (2) flat, rectangular-shaped lots. In total, the lots cover approximately 15,000 square feet, with approximately 100 feet of frontage along the east side of Purdue Avenue and a lot depth of approximately 150 feet. The project site is located within 1.78 kilometers (1.1 miles) of the Santa Monica Fault. The site is not located within a designated hillside area, a Special Grading Area (BOE Basic Grid Map A-13372), very high fire hazard severity zone, flood zone, landslide, tsunami inundation zone, or liquefaction zone.

The property is currently developed with two single-family dwellings with detached garages, which will be demolished to clear the site. There are no known designated historic resources or cultural monuments on the subject site. Per the Arborist Report (prepared by Brandon's Landscapes dated September 10, 2021), there are seven (7) non-protected trees on the subject site which will be removed, and one (1) non-protected (Victorian box) street tree located in the public-right-of-way which will remain.

Zoning and Land Use Designation

The site is zoned R3-1 and has a General Plan Land Use designation of Medium Residential, which has corresponding zones of R3 and R3(PV). The R3 Zone allows for a base residential density at a rate of the one unit per 800 square feet of lot area. Height District No. 1 in the R3 Zone allows for a height of 45 feet and the site is limited to a Floor Area Ratio (FAR) of 3:1. The project site is located in the Palms – Mar Vista – Del Rey Community Plan area. The Exposition Corridor Transit Neighborhood Plan (Specific Plan) established by Ordinance 186,402 and effective December 26, 2019, established review procedures, design standards, and environmental standards for the subject site. The project site is in the West Los Angeles Transportation Improvement and Mitigation Specific Plan (WLA TIMP, Ordinance 186,105 and 186,108). The project is subject to Department of Transportation clearance of the WLA TIMP. In addition, the project is within a Tier 3 designation of the Transit Oriented Communities Program. Pursuant to LAMC Section 12.22 A.31 and the TOC Guidelines, the applicant requests a Transit Oriented Communities Compliance Review.

Surrounding Uses

Abutting properties to the north, south, east and west are zoned R3-1 and are developed primarily with multi-family dwellings ranging from one to six stories in height. Properties further to the south (across Pearl Street) are zoned R1-1 and developed with single-family dwellings.

Project Description

The proposed project is for the construction of a new six-story, 67-foot tall, 27-unit residential building (including 3 units reserved for Extremely Low-Income). The project will have a proposed Floor Area Ratio ("FAR") of approximately 4.3:1 with approximately 46,528 square feet of floor area. The project provides 26 parking spaces located at subterranean level. The project will also provide 30 long-term and three (3) short-term bicycle parking spaces in accordance with LAMC 12.21.A.16. The existing two single-family dwellings and attached garages on-site are proposed to be demolished, along with seven (7) non-protected trees are proposed to be removed from the subject site. The project will involve grading and export approximately 6,475 cubic yards of soil. One (1) non-protected (Victorian box) street tree located in the public-right-of-way is proposed to remain.

TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM BACKGROUND

The project qualifies for the Transit Oriented Communities (“TOC”) Affordable Housing Incentive Program, which allows a variety of incentives for increased density, height, and floor area, among others, for Eligible Housing Projects. Measure JJJ was adopted by the Los Angeles City Council and established the TOC Affordable Housing Incentive Program. The measure required that the Department adopt a set of TOC Guidelines, which establish incentives for residential or mixed use projects located within ½ mile of a major transit stop, as defined under existing State law.

The TOC Guidelines, adopted September 22, 2017 and amended on February 26, 2018, establish a tier-based system with varying development bonuses and incentives based on a project’s distance from different types of transit. The largest bonuses are reserved for those areas in the closest proximity to significant rail stops or the intersection of major bus rapid transit lines. Required affordability levels are increased incrementally in each higher tier. The incentives provided in the TOC Guidelines describe the range of bonuses from particular zoning standards that applicants may select.

The subject site is located within a half-mile (2,640 feet) of the Los Angeles County Metropolitan Transportation Authority (“Metro”) “E” (Expo) Light Rail Transit Line Expo/Sepulveda Station. The subject property is therefore eligible as a Tier 3 development in the Transit Oriented Communities Affordable Housing Incentive Program Guidelines, as indicated on the TOC Referral Form dated January 12, 2021.

Tier 3 Base Incentives require On-Site Restricted Affordable Units at the rate of 10% for Extremely Low Income, 14% for Very Low Income, or 23% for Lower Income, of the total number of units. Three Additional Incentives may be granted for projects that include at least 11% of the base units for Extremely Low-Income Households. The applicant is proposing three (3) units for Extremely Low Income Households consistent with the Base Incentive requirements, and which make the project eligible for three Additional Incentives.

The project is eligible for the following Tier 3 Base Incentives, which are granted by-right for eligible TOC projects:

- a. **Density.** Increase the maximum allowable number of dwelling units permitted by up to 70 percent.

The R3 Zone allows for a maximum residential density of one dwelling unit per 800 square feet of lot area. The combined subject lots total approximately 15,000 square feet, for a maximum base density of 18.75 units. The Los Angeles Municipal Code allows 18 units by right, however the TOC Guidelines round base density up to the next whole number of 19 units. The maximum allowed density for the subject site under the Tier 3 Density Incentive would be 70% resulting in 32.3 units; again, the TOC Guidelines round up to the next whole number resulting in 33 units. The project is proposing 27 units, which is consistent with the allowable density under the TOC Guidelines.

- b. **Floor Area Ratio.** Percentage increase in residential zones resulting in 4.5:1 FAR.

In the R3 Zone in Height District 1, the Los Angeles Municipal Code provides for a maximum FAR of 3:1. Los Angeles Municipal Code Section 12.03 states, “Buildable Area” is, “all that portion of a lot located within the proper zone for the proposed main building, excluding those portions of the lot which must be reserved for yard spaces, building line setback space, or which may only be used for accessory buildings or uses.” The buildable area for the subject site is 10,800 square feet for a by-right floor area of 32,400 square

feet. The Tier 3 FAR Incentive allows for a maximum FAR percentage increase up to 50%, as provided under the Expo TNP Specific Plan, for a maximum floor area of approximately 48,600 square feet. The project is proposing 46,528 square feet, which is consistent with the TOC requirements.

- c. **Residential Parking.** Parking for all residential units in an Eligible Housing Development for a Tier 3 project shall not be required to exceed one-half space per unit.

The project is required to provide 14 parking spaces under the TOC incentive and is providing 26 spaces, consistent with the requirements of Los Angeles Municipal Code 12.22-A.31.

Pursuant to the TOC Guidelines, the project is eligible for, and has been granted three (3) Tier 3 Additional Incentives to construct the proposed project:

- a. **Height.** The TOC Height Incentive allows an additional 22 feet in height, over the base height, for a Tier 3 project, except those projects located on lots with a height limit of 45 feet or less, or located within a Specific Plan or overlay district that regulates height, shall require any height increases over 11 feet to be stepped-back at least 15 feet from the exterior face of the Ground Floor of the building located along any street frontage.

In the R3 Zone in Height District 1, the LAMC allows for a maximum building height of 45-feet and unlimited stories. The TOC incentive for height allows a 22-foot increase in the building height for a Tier 3 project, allowing a maximum 67-feet in lieu of the 45-feet otherwise allowed by the R3-1 Zone. The TOC height incentive also requires any height increases over 11-feet to be stepped-back at least 15-feet from the exterior face of the ground floor of the building located along the street frontage. The project is proposing a maximum height of 67-feet and is complying with the 15-foot step-back requirement along the Purdue Avenue façade, as provided in Sheets A2.06, A3.02, A3.04, and A4.02 through A4.04 of Exhibit “A”. The project is consistent with the TOC Guideline’s height incentive and step-back requirements.

- b. **Side Yard/Setback.** In Tier 3 areas, the TOC incentive for side and rear yard reductions allows up to a 30 percent reduction in the required width or depth of two individual yards or setbacks.

In the R3 Zone, for a building more than two stories in height, the five-foot side yards are required to be increased by one foot for each additional story above the second story. The proposed project is six (6) stories and therefore has 9-foot required side yards. The project proposes a 6-foot 4-inch side yard on the northwest lot line consistent with TOC Guidelines and as shown in Exhibit “A”.

The property is not requesting a reduction in the front yard and will provide a 15-foot 6-inch front yard setback (10 feet 6 inches post-dedication), as required by the Exposition Corridor Transit Neighborhood Plan Section 4.3.1.A.2, the front yard setback shall be within 5-feet of the Prevailing Front Setback as defined in LAMC Section 12.08 C.1. The property is not requesting a reduction in the rear yard and will provide a 15-foot rear yard setback; this is consistent with the rear yard setback required by code. The property is not requesting a reduction to the southerly side yard and will maintain the 9-foot side yard; this is consistent with the side yard required by code.

- c. **Open Space.** In Tier 3 areas, the TOC Guidelines allow for an incentive of up to a 25 percent reduction in the required open space.

Based on the number of habitable rooms in the project, a total of 4,275 square feet of open space is required by LAMC Section 12.21.G. The Additional Incentive allows for a maximum 25 percent reduction, which results in a minimum 3,206.25 square feet of open space. The project is providing 3,342 square feet of qualified open space, consistent with the TOC Guidelines open space incentive and as shown in Exhibit “A”.

The table below provides a summary of the relevant and underlying LAMC provisions for the subject property and requested TOC Base and Additional Incentives:

Incentives	Otherwise Allowed/Required	TOC Guidelines	Proposed
Density	18 units	33 units	27 units
FAR	3:1	4.5:1	4.3:1
Parking Spaces	48 spaces	14 spaces	26 spaces
Height	45-feet	67-feet	67-feet
Side Yard/Setback	9-feet	6-feet 3.6-inches	6-feet 4 inches
Open Space	4,275 square feet	3,206.25 square feet	3,342 square feet

HOUSING REPLACEMENT (AB 2556 DETERMINATION) BACKGROUND

Pursuant to LAMC Section 12.22-A, 31(b)(1), a Housing Development located within a Transit Oriented Communities (TOC) Affordable Housing Incentive Area shall be eligible for TOC Incentives if it meets any applicable replacement requirements of California Government Code Section 65915(c)(3)(California State Density Bonus Law).

Assembly Bill 2222(AB 2222) amended the State Density Bonus Law to require applicants of density bonus projects filed as of January 1, 2015 to demonstrate compliance with the housing replacement provisions which require replacement of rental dwelling units that either exist at the time application of a Density Bonus project. This applies to all pre-existing units that have been subject to a recorded covenant, ordinance, or law that restricts to levels affordable to persons and families of lower or very low income; subject to any other form of rent or price control; or occupied by Low or Very Low Income Households.

On September 28, 2016 the Governor signed Assembly Bill 2556 (AB 2556) further amending State Density Bonus Law. The amendments took affect on January 1, 2017. AB 2556 clarifies the implementation of the required replacement of affordable units in Density Bonus projects, first introduced by AB 2222. AB 2556 further defines “equivalent size” to mean that as a whole, the new units must contain at least the same total number of bedrooms as the units being replaced.

In addition to the requirements of the California State Density Bonus Law, on October 9, 2019, the Governor signed the Housing Crisis Act of 2019 (SB 330). SB 330 creates new laws regarding the production, preservation and planning for housing, and establishes a statewide housing emergency until January 1, 2025. During the duration of the statewide housing emergency, SB 330, among other things, creates new housing replacement requirements for Housing Development Projects by prohibiting the approval of any proposed housing development project on a site that will require the demolition of existing residential dwelling units or occupied or vacant “Protected Units” unless the proposed housing developments project replaces those units.

The Los Angeles Housing Department (LAHD) has determined, per the Housing Crisis Act of 2019 (SB 330) Replacement Unit Determination, dated October 19, 2020, that two (2) units need to be replaced with equivalent type, with one (1) unit restricted to Extremely Low Income Households, and one (1) unit restricted to Very Low Income Households. The project satisfies the TOC Affordable Housing requirement by providing three (3) units restricted to Extremely Low-Income households. This is reflected in the Conditions of Approval.

TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM ELIGIBILITY REQUIREMENTS

To be an eligible TOC Housing Development, a project must meet the Eligibility criteria set forth in Section IV of the TOC Guidelines. A Housing Development located within a TOC Affordable Housing Incentive Area shall be eligible for TOC Incentives if it meets all of the following requirements, which it does:

1. ***On-Site Restricted Affordable Units.*** *In each Tier, a Housing Development shall provide On-Site Restricted Affordable Units at a rate of at least the minimum percentages described below. The minimum number of On-Site Restricted Affordable Units shall be calculated based upon the total number of units in the final project.*
 - a) *Tier 1 - 8% of the total number of dwelling units shall be affordable to Extremely Low Income (ELI) Households, 11% of the total number of dwelling units shall be affordable to Very Low (VL) Income Households, or 20% of the total number of dwelling units shall be affordable to Lower Income Households.*
 - b) *Tier 2 - 9% ELI, 12% VL or 21% Lower.*
 - c) *Tier 3 - 10% ELI, 14% VL or 23% Lower.*
 - d) *Tier 4 - 11% ELI, 15% VL or 25% Lower.*

The project site is located within Tier 3. Tier 3 requires at least 10 percent of the 27 total units, or three (3) units, to be set aside for Extremely Income Households. The project reserves three (3) units for Extremely Low Income Households. As such, the project meets the eligibility requirement for On-Site Restricted Affordable Units.

2. ***Major Transit Stop.*** *A Housing Development shall be located on a lot, any portion of which must be located within 2,640 feet of a Major Transit Stop, as defined in Section II and according to the procedures in Section III.2 of the TOC Guideline*

A Major Transit Stop is a site containing a rail station or the intersection of two or more bus routes with a service interval of 15 minutes or less during the morning and afternoon peak commute periods. The subject site is located within 2,640 feet from the Los Angeles County Metropolitan Transportation Authority ("Metro") "E" (Expo) Light Rail Transit Line Expo/Sepulveda Station. The subject property is therefore eligible as a Tier 3 development in the Transit Oriented Communities Affordable Housing Incentive Program Guidelines, as indicated on the TOC Referral Form dated January 12, 2021. Therefore, the project meets the eligibility requirement for proximity to a Major Transit Stop.

3. ***Housing Replacement.*** *A Housing Development must meet any applicable housing replacement requirements of California Government Code Section 65915(c)(3), as verified by Los Angeles Housing Department (LAHD) prior to the issuance of any building permit. Replacement housing units required per this section may also count towards other On-Site Restricted Affordable Units requirements.*

The Los Angeles Housing Department (LAHD) has determined, per the Housing Crisis Act of 2019 (SB 330) Replacement Unit Determination, dated October 19, 2020, that two (2) units need to be replaced with equivalent type, with one (1) unit restricted to Extremely Low Income Households, and one (1) unit restricted to Very Low Income Households. The project satisfies the TOC Affordable Housing requirement by providing three (3) units restricted to Extremely Low-Income households. This is reflected in the Conditions of Approval.

4. ***Other Density or Development Bonus Provisions.*** *A Housing Development shall not seek and receive a density or development bonus under the provisions of California*

Government Code Section 65915 (State Density Bonus law) or any other State or local program that provides development bonuses. This includes any development bonus or other incentive granting additional residential units or floor area provided through a General Plan Amendment, Zone Change, Height District Change, or any affordable housing development bonus in a Transit Neighborhood Plan, Community Plan Implementation Overlay (CPIO), Specific Plan, or overlay district.

The project does not seek any additional density or development bonuses under the provisions of the State Density Bonus Law or any other State or local program that provides development bonuses, including, but not limited to a General Plan Amendment, Zone Change, Height District Change, or any affordable housing development bonus in a Transit Neighborhood Plan, Community Implementation Overlay (CPIO), Specific Plan, or overlay district. As such, the project meets this eligibility requirement.

5. ***Base Incentives and Additional Incentives.*** *All Eligible Housing Developments are eligible to receive the Base Incentives listed in Section VI of the TOC Guidelines. Up to three Additional Incentives listed in Section VII of the TOC Guidelines may be granted based upon the affordability requirements described below. For the purposes of this section below, “base units” refers to the maximum allowable density allowed by the zoning prior to any density increase provided through these Guidelines. The affordable housing units required per this section may also count towards the On-Site Restricted Affordable Units requirement in the Eligibility Requirement No. 1 above (except Moderate Income units).*
- a. *One Additional Incentive may be granted for projects that include at least 4% of the base units for Extremely Low Income Households, at least 5% of the base units for Very Low Income Households, at least 10% of the base units for Lower Income Households, or at least 10% of the base units for persons and families of Moderate Income in a common interest development.*
 - b. *Two Additional Incentives may be granted for projects that include at least 7% of the base units for Extremely Low Income Households, at least 10% of the base units for Very Low Income Households, at least 20% of the base units for Lower Income Households, or at least 20% of the base units for persons and families of Moderate Income in a common interest development.*
 - c. *Three Additional Incentives may be granted for projects that include at least 11% of the base units for Extremely Low Income Households, at least 15% of the base units for Very Low Income Households, at least 30% of the base units for Lower Income Households, or at least 30% of the base units for persons and families of Moderate Income in a common interest development.*

The project is eligible for three (3) Additional Incentives and is utilizing the height increase, reduced side yard setback, and reduced open space reduction incentives, which require at least 11 percent, or three (3) units, of the 19 base units, to be set aside for Extremely Low Income Households. The project proposes to set aside three (3) dwelling units for Extremely Low Income Households, which is at least 11 percent of the 19 base units. As such, the project meets the eligibility requirement for three Additional Incentives.

6. ***Projects Adhering to Labor Standards.*** *Projects that adhere to the labor standards required in LAMC 11.5.11 may be granted two Additional Incentives from the menu in Section VII of these Guidelines (for a total of up to five Additional Incentives).*

The project is only requesting three Additional Incentives and not five Additional Incentives. Therefore, the project is not required to adhere to the labor standards required in LAMC 11.5.11.

7. **Multiple Lots.** *A building that crosses one or more lots may request the TOC Incentives that correspond to the lot with the highest Tier permitted by Section III of the TOC Guidelines.*

The project consists of two lots; both lots are within TOC Tier 3. As such, the site qualifies as Tier 3 TOC Affordable Housing Incentive Area.

8. **Request for a Lower Tier.** *Even though an applicant may be eligible for a certain Tier, they may choose to select a Lower Tier by providing the percentage of On-Site Restricted Affordable Housing units required for any lower Tier and be limited to the Incentives available for the lower Tier.*

The applicant has not elected to utilize a Lower Tier. As such, this eligibility requirement does not apply.

9. **100 Percent Affordable Housing Projects.** *Buildings that are Eligible Housing Developments that consist of 100% On-Site Restricted Affordable units, exclusive of a building manager's unit or units shall, for purposes of these Guidelines, be eligible for one increase in Tier than otherwise would be provided.*

The project is not a 100% Affordable Housing Project. As such, this eligibility requirement does not apply.

FINDINGS

TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM **/AFFORDABLE HOUSING INCENTIVES COMPLIANCE FINDINGS**

Pursuant to Section 12.22 A.31(e) of the LAMC, the Director shall review a Transit Oriented Communities Affordable Housing Incentive Program project application in accordance with the procedures outlined in LAMC Section 12.22 A.25(g).

1. **Pursuant to Section 12.22 A.25(g) of the LAMC, the Director shall approve a density bonus and requested incentive(s) unless the Director finds that:**
- a. ***The Incentive is not required in order to provide for affordable housing costs as defined in California Health and Safety Code Section 50052.5 or Section 50053 for rents for the affordable units.***

The record does not contain substantial evidence that would allow the Director to make a finding that the requested incentives are not necessary to provide for affordable housing costs per State Law. The California Health & Safety Code Sections 50052.5 and 50053 define formulas for calculating affordable housing costs for extremely low, very low, lower, and moderate-income households. Section 50052.5 addresses owner-occupied housing and Section 50053 addresses rental households. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed a predetermined percentage of income based on area median income thresholds dependent on affordability levels.

The list of on-menu incentives in the TOC Guidelines were pre-evaluated at the time the Transit Oriented Communities Affordable Housing Incentive Program Ordinance was adopted to include types of relief that minimize restrictions on the size of the project. As such, the Director will always arrive at the conclusion that the on-menu incentives are required to provide for affordable housing costs because the incentives by their nature

increase the scale of the project. Therefore, the site and project qualify for the TOC Affordable Housing Incentive Program as an Eligible Housing Development, and is eligible for the incentives granted therein.

Increased Height:

A restriction on height could limit the ability to construct the additional residential dwelling units, and specifically the Restricted Affordable Units. The project is financially feasible because of the increased flexibility the incentives allow the applicant in the building envelope.

Base Height + Incentive

The applicant has requested a Tier 3 Height Incentive, which allows for two additional stories up to 22 additional feet. The R3-1 zone allows for a maximum height of 45 feet. Therefore, the Tier 3 Height Incentive would allow a maximum height of 67 feet. The project is within that envelope at 67 feet and is consistent with the TOC Guidelines.

TOC Height Exception

The TOC Height Exception applies to projects located on lots with a height limit of 45 feet or less. The Exception requires any height increases in excess of the first 11 feet above the base height to be stepped-back a minimum of 15 feet from the exterior face of the Ground Floor building along any street frontage.

The project site is in a R3-1 Zone, with a height limit of 45 feet. Therefore, along Purdue Avenue, the project is stepped back after the first 11 feet of height increase over the base height of 45 feet, beginning at 56 feet, as provided in Sheets A2.06, A3.02, A3.04, and A4.02 through A4.04 of Exhibit "A". The project is consistent with the TOC Guidelines height incentive and stepback requirements.

Reduced Side Yard/Setback:

Per TOC Guidelines, in residential zones, Eligible Housing Developments may utilize an incentive for yard reductions. The project does not request or propose any reductions in the required front, rear, or southeast side yard setbacks. The applicant has requested a Tier 3 Reduced Side Yard Incentive, which allows for a 30% reduction of the required northwest side yard. The project is providing 6-foot 4-inch side yard and is therefore in compliance with the TOC Guidelines.

The requested incentive is necessary to provide the affordable housing costs as defined in California Health and Safety Code Section 50052.5, or Section 50053 for rents for the affordable units. The reduced side yard setbacks are necessary to build the affordable housing units provided.

Reduced Open Space:

Based on the number of habitable rooms in the project, a total of 4,275 square feet of open space is required by LAMC Section 12.21.G. The Additional Incentive allows for a maximum 25 percent reduction, which results in a minimum 3,206.25 square feet of open space. The project is providing 3,342 square feet of qualified open space, consistent with the TOC Guidelines open space incentive.

Additional required open space could limit the physical ability to construct the additional residential dwelling units, and specifically the Restricted Affordable Units. The project is

financially feasible because of the increased flexibility in the incentives allow the applicant in the building envelope. Therefore, the requested incentives are necessary to provide the affordable housing costs as defined in the California Health and Safety Code Section 50052.5, or Section 50053 for rents for the affordable units.

- b. *The Incentive will have a Specific Adverse Impact upon public health and safety or on any real property that is listed in the California Register of Historical Resources and for which there are no feasible method to satisfactorily mitigate or avoid the Specific Adverse Impact without rendering the development unaffordable to Very Low, Low and Moderate Income households. Inconsistency with the zoning ordinance or the general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety.***

There is no evidence in the record that the proposed incentive will have a specific adverse impact. A “specific adverse impact” is defined as, “a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete” (LAMC Section 12.22.A.25(b)). The project does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical-Cultural Monuments. The project is not located on a substandard street in a Hillside area or a Very High Fire Hazard Severity Zone. There is no evidence in the record which identifies a written objective health and safety standard that has been exceeded or violated. Based on the above, there is no basis to deny the requested incentives. Therefore, there is no substantial evidence that the project’s proposed incentives will have a specific adverse impact on public health and safety or on property listed in the California Register of Historic Resources.

CEQA FINDINGS

As the designee of the Director of Planning, I have determined, based on the whole of the administrative record, that the Project is exempt from CEQA pursuant to CEQA Guidelines, Article 19, Section 15332 (Class 32), and that there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

As the designee of the Director of Planning, I have found, based on the independent judgement of the decision-maker, after consideration of the whole of the administrative record, that the project is within the scope of the Exposition Corridor Transit Neighborhood Plan Program EIR No. ENV-2013-622-EIR, SCH. No. 2013031038 (“Program EIR”), pursuant to CEQA Guidelines Sections 15168 and 15162; the environmental effects of the Project were covered in the Program EIR and no new environmental effects not identified in the Program EIR will occur and no new mitigation is required; and the City has incorporated all feasible mitigation measures from the Program EIR on the Project.

The project proposes the demolition of two existing single-family buildings and detached garages, and the construction of a new six-story, 67-foot tall, 27-unit residential building (including 3 units reserved for Extremely Low-Income). The project will have a proposed Floor Area Ratio (“FAR”) of approximately 4.3:1 with approximately 46,528 square feet of floor area. The project provides 26 parking spaces located at subterranean level. The project will also provide 30 long-term and three (3) short-term bicycle parking spaces in accordance with LAMC 12.21.A.16. The project will involve grading and export approximately 6,475 cubic yards of soil. One(1) non-protected (Victorian box) street tree located in the public-right-of way is proposed. As a multi-family residential building, and a project which is characterized as in-fill development, the project qualifies for the Class 32 Categorical Exemption.

A project qualifies for a Class 32 Categorical Exemption if it is developed on an infill site and meets the following criteria:

- (a) **The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations.**

The site is zoned R3-1 and has a General Plan Land Use designation of Medium Residential, which has corresponding zones of R3 and R3(PV). The R3 Zone allows for a base residential density at a rate of the one unit per 800 square feet of lot area. Height District No. 1 in the R3 Zone allows for a height of 45 feet and the site is limited to a Floor Area Ratio (FAR) of 3:1. The project site is located in the Palms – Mar Vista – Del Rey Community Plan area. The Exposition Corridor Transit Neighborhood Plan (Specific Plan) established by Ordinance 186,402 and effective December 26, 2019, established review procedures, design standards, and environmental standards for the subject site. The project site is in the West Los Angeles Transportation Improvement and Mitigation Specific Plan (WLA TIMP, Ordinance 186,105 and 186,108). The project is subject to Department of Transportation clearance of the WLA TIMP. In addition, the project is within a Tier 3 designation of the Transit Oriented Communities Program. Pursuant to LAMC Section 12.22 A.31 and the TOC Guidelines, the applicant requests a Transit Oriented Communities Compliance Review.

The project site is comprised of two flat, rectangular lots. In total, the lots cover approximately 15,000 square feet, with approximately 100 feet of frontage along the east side of Purdue Avenue and a uniform depth of approximately 150 feet. The project site is located within the Palms – Mar Vista – Del Rey Community Plan area, West Los Angeles Transportation Improvement and Mitigation Specific Plan, Exposition Corridor Transit Neighborhood Plan, and within 1.78 kilometers of the Santa Monica Fault. The site is not located within a designated hillside area, a Special Grading Area (BOE Basic Grid Map A-13372), very high fire hazard severity zone, flood zone, landslide, tsunami inundation zone, or liquefaction zone. There are no designated historic resources or cultural monuments on the subject site.

The R3 Zone allows for a maximum residential density of one dwelling unit per 800 square feet of lot area. The combined subject lots total approximately 15,000 square feet, for a maximum base density of 18.75 units. The Los Angeles Municipal Code allows 18 units by right, however the TOC Guidelines round base density up to the next whole number of 19 units. The maximum allowed density for the subject site under the Tier 3 Density Incentive would be 70% resulting in 32.3 units; again, the TOC Guidelines round up to the next whole number resulting in 33 units. The project is proposing 27 dwelling units, which is consistent with the allowable density under the TOC Guidelines. The project is required to provide 14 parking spaces under the TOC incentive and is providing 26 spaces, consistent with the requirements of Los Angeles Municipal Code 12.22-A.31.

In the R3 Zone in Height District 1, the Los Angeles Municipal Code provides for a maximum FAR of 3:1. Los Angeles Municipal Code Section 12.03 states, “Buildable Area” is, “all that portion of a lot located within the proper zone for the proposed main building, excluding those portions of the lot which must be reserved for yard spaces, building line setback space, or which may only be used for accessory buildings or uses.” The buildable area for the subject site is 10,800 square feet for a by-right floor area of 32,400 square feet. The Tier 3 FAR Incentive allows for a maximum FAR percentage increase up to 50%, as provided under Director’s Interpretation under Case No. DIR-2022-1365-DI, for a maximum floor area of approximately 48,600 square feet. The project is proposing 46,528 square feet, which is consistent with the TOC requirements.

Pursuant to the TOC Guidelines, the project is eligible for, and has been granted three Tier 3 Additional Incentives. In Tier 3 areas, the TOC incentive for side yard reductions allows up to a 30 percent decrease in the required width or depth of two individual yards or setbacks. The project proposes a 6-foot 4-inch northwest side yard consistent with the TOC Guidelines. The side yard reflect a 30 percent reduction in the otherwise required 9-foot side yard for the project, consistent with the TOC yard reduction incentive.

The TOC Guidelines allow for a maximum height of 67 feet (22 additional feet) and the project is 67 feet in height. The project is consistent with the TOC Guideline's Height Incentive and Exception requirements.

Residential Open Space is required in projects that have more than six units; the amount of open space is related to the number of habitable rooms in each unit. The total required open space for the mix of units proposed in this project is 4,275 square feet. Applying the TOC reduction, the project is allowed to provide 3,206.25 square feet of open space. The proposed project includes 3,342 square feet of open space.

The proposed project is consistent with many General Plan goals, policies, and objectives. The Housing Element of the General Plan provides the following:

Goal 1: A City where housing production and preservation result in an adequate supply of ownership and rental housing that is safe, healthy and affordable to people of all income levels, races, ages, and suitable for their various needs.

Objective 1.1 Produce an adequate supply of rental and ownership housing in order to meet current and projected needs.

Policy 1.1.4 Expand opportunities for residential development, particularly in designated Center, Transit Oriented Districts and along Mixed-Use Boulevards

The proposed project meets the above goal, policy and objective creating additional housing units in a transit oriented district; the project will also include three (3) units for Extremely Low Income household occupancy for a period of 55 years.

Additionally, the Palms - Mar Vista - Del Rey Community Plan, one of the Land Use Elements of the General Plan, provides the following:

Policy 1-1.1: Provide adequate multi-family residential development.

Policy 1-2.1: Locate higher residential densities near commercial centers and major bus routes where public service facilities and infrastructure will support this development.

Objective 1-4: To promote the adequacy and affordability of multiple-family housing and increase its accessibility to more segments of the population.

The proposed project meets the above policies and objective by providing multi-family dwelling units in a new, safe, and secure building. The proposed project is located on a site designated for Medium Residential Land Uses, which includes multiple-family residential uses, and will be served by facilities and necessary infrastructure. The site is near the Metro "E" (Expo) Expo-Sepulveda Station. The three affordable units will ensure that the proposed project is accessible to lower-income segments of the population.

The current project is in an urbanized area and characterized as in-fill development, which qualifies for the Class 32 Categorical Exemption. As shown in the case file, the project is consistent with the applicable Palms – Mar Vista – Del Rey Community Plan designation and policies and all applicable zoning designations and regulations.

- (b) **The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.**

The subject site is wholly within the City of Los Angeles, on a site that is approximately 0.344 acres (approximately 15,000 square feet). Abutting properties to the north, south, east and west are zoned R3-1 and are developed primarily with multi-family dwellings ranging from one to six stories in height. Properties further to the south (across Pearl Street) are zoned R1-1 and developed with single-family dwellings.

- (c) **The project site has no value as habitat for endangered, rare or threatened species.**

The site is previously disturbed and surrounded by development and therefore is not, and has no value as, a habitat for endangered, rare or threatened species. The project site at 2456-2460 South Purdue Avenue is comprised of two lots, and is currently developed with two single-family dwellings and detached garages. Per the Arborist Report (prepared by Brandon's Landscapes dated September 10, 2021), there are seven (7) non-protected trees on the subject site which will be removed, and one (1) non-protected (Victorian box) street tree located in the public-right-of-way which will remain. Therefore, the project site has no value as habitat for endangered, rare or threatened species.

The project assumes a worst-case scenario of removing all street trees, in the event of changes to the right-of-way improvement plans after approval of the environmental clearance. However, this environmental analysis does not authorize the removal of any street trees without prior approval of Urban Forestry, in compliance with LAMC Sections 62.169 and 62.170 and their applicable findings.

Prior to any work on the adjacent public right-of-way, the applicant will be required to obtain approved plans from the Department of Public Works. As there currently is no approved right-of-way improvement plan and for purposes of conservative analysis under CEQA, Planning has analyzed the worst-case potential for removal of all street trees. Note that street trees and protected trees shall not be removed without prior approval of the Board of Public Works/Urban Forestry (BPW) under LAMC Sections 62.161 - 62.171. At the time of preparation of this environmental document, no approvals have been given for any tree removals on-site or in the right-of-way by BPW. The City has required a Tree Report to identify all protected trees/shrubs on the project site and all street trees in the adjacent public right-of-way. The project may involve the removal of one (1) non-protected street tree.

- (d) **Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.**

The project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance, pollutant discharge, dewatering, stormwater mitigations; and Best Management Practices for stormwater runoff. More specifically, RCMs include but are not limited to:

- **Regulatory Compliance Measure RC-AQ-1 (Demolition, Grading and Construction Activities): Compliance with provisions of the SCAQMD District**

Rule 403. The project shall comply with all applicable standards of the Southern California Air Quality Management District, including the following provisions of District Rule 403:

- All unpaved demolition and construction areas shall be wetted at least twice daily during excavation and construction, and temporary dust covers shall be used to reduce dust emissions and meet SCAQMD District Rule 403. Wetting could reduce fugitive dust by as much as 50 percent.
 - The construction area shall be kept sufficiently dampened to control dust caused by grading and hauling, and at all times provide reasonable control of dust caused by wind.
 - All clearing, earth moving, or excavation activities shall be discontinued during periods of high winds (i.e., greater than 15 mph), so as to prevent excessive amounts of dust.
 - All dirt/soil loads shall be secured by trimming, watering or other appropriate means to prevent spillage and dust.
 - All dirt/soil materials transported off-site shall be either sufficiently watered or securely covered to prevent excessive amount of dust.
 - General contractors shall maintain and operate construction equipment so as to minimize exhaust emissions.
 - Trucks having no current hauling activity shall not idle but be turned off.
- **Regulatory Compliance Measure RC-GEO-1 (Seismic):** The design and construction of the project shall conform to the California Building Code seismic standards as approved by the Department of Building and Safety.
 - **Regulatory Compliance Measure RC-NO-1 (Demolition, Grading, and Construction Activities):** The project shall comply with the City of Los Angeles Noise Ordinance and any subsequent ordinances, which prohibit the emission or creation of noise beyond certain levels at adjacent uses unless technically infeasible.

In addition, the project shall comply with the Environmental Standards in Appendix D of the Exposition Corridor Transit Neighborhood Plan Specific Plan, which include but are not limited to:

- **Regulatory Compliance Measure (Landscape):** The Project shall comply with Ordinance No. 170,978 (Water Management Ordinance), which imposes numerous water conservation measures in landscape, installation, and maintenance (e.g., use drip irrigation and soak hoses in lieu of sprinklers to lower the amount of water lost to evaporation and overspray, set automatic sprinkler systems to irrigate during the early morning or evening hours to minimize water loss due to evaporation, and water less in the cooler months and during the rainy season).
- **Mitigation Measure (Construction Noise and Vibration):**
 - Construction Staging Areas. The construction contractor shall locate construction staging areas away from Sensitive Land Uses.
 - Construction Noise Barriers. When construction activities are located within 500 feet of Sensitive Land Uses, noise barriers (e.g., temporary walls or piles of excavated material) shall be constructed between activities and Sensitive Land Uses.

These RCMs will ensure the project will not have significant impacts on noise and water. The Department of Transportation Referral Form dated April 25, 2022 and the VMT calculator indicated that the project will result in an increase of 130 daily vehicle trips, which is under the threshold of 250 or more daily vehicles trips to require VMT analysis.

Therefore, the project does not exceed the threshold criteria established by LADOT for preparing a traffic study and will not have any significant impacts to traffic. Interim thresholds were developed by DCP staff based on CalEEMod model runs relying on reasonable assumptions, consulting with AQMD staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established SCAQMD construction and operational thresholds. These RCMs will ensure the project will not have significant impacts on noise, air quality, and water. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

(e) **The site can be adequately served by all required utilities and public services.**

The project site will be adequately served by all public utilities and services given that the construction of a multi-family residential building will be on a site which has been previously developed and is consistent with the General Plan. Therefore, the project meets all of the Criteria for the Class 32 Categorical Exemption.

CEQA Section 15300.2: Exceptions to the Use of Categorical Exemptions

There are five (5) Exceptions which must be considered in order to find a project exempt under Class 32:

(a) **Cumulative Impacts.** *All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.*

Staff have identified two (2) comparable projects that were granted approval for land use entitlements within a 500-foot radius of the subject site:

- Case No. DIR-2018-7647-TOC-CDO-SPR (11430 W. Exposition Blvd)
- Case No. DIR-2015-4086-DB-CDO-SPR (2425 S. Butler Avenue)

As mentioned, the project proposes the demolition of two existing single-family dwellings with detached garages and the construction of a new six-story, 67-foot tall, 27-unit residential building (including 3 units reserved for Extremely Low-Income). The project will have a proposed Floor Area Ratio ("FAR") of approximately 4.3:1 with approximately 46,528 square feet of floor area. The project provides 26 parking spaces located at subterranean level. The project will also provide 30 long-term and three (3) short-term bicycle parking spaces in accordance with LAMC 12.21.A.16. The project is in an area zoned and designated for such development. Lots adjacent to the subject site are developed with urban uses. Lots adjacent to the subject site are developed with the following urban uses: multi-family residential. Abutting properties to the north, south, east and west are zoned R3-1 and are developed primarily with multi-family dwellings ranging from one to six stories in height. Properties further to the south (across Pearl Street) are zoned R1-1 and developed with single-family dwellings. Therefore, in conjunction with citywide RCMs and compliance with other applicable regulations, no foreseeable cumulative impacts are expected.

(b) **Significant Effect Due to Unusual Circumstances.** *A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.*

As mentioned, the project proposes a multi-family residential building in an area zoned and designated for such development. Adjacent lots are developed with multi-family residential. The subject site is of a similar size and slope to nearby residential properties. The Floor Area, Density, Height, Yards, and Open Space of the proposed project are

consistent with the Zone and Transit Oriented Communities Guidelines, pursuant to LAMC Section 12.22 A.31. The site is not located within a designated hillside area, a Special Grading Area (BOE Basic Grid Map A-13372), very high fire hazard severity zone, flood zone, landslide, tsunami inundation zone, or liquefaction zone. There are no designated historic resources or cultural monuments on the subject site. Thus, there are no unusual circumstances which may lead to a significant effect on the environment, and this exception does not apply.

- (c) **Scenic Highways.** *A categorical exemption shall not be used for a project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway.*

The only State Scenic Highway within the City of Los Angeles is the Topanga Canyon State Scenic Highway, State Route 27, which travels through a portion of Topanga State Park. The State Route 27 is approximately 8 miles northwest of the subject site. Therefore, the Project will not result in damage to any scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway, and this exception does not apply.

- (d) **Hazardous Waste Sites.** *A categorical exemption shall not be used for a project located on a site which is included on any list compiled pursuant to Section 65962.5 of the Government Code*

According to Envirostor, the State of California's database of Hazardous Waste Sites, the subject site is not identified as a hazardous waste site. Furthermore, the building permit history for the project site does not indicate the site may be hazardous or otherwise contaminated, therefore, this exception does not apply.

- (e) **Historical Resources.** *A categorical exemption shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource.*

The project site has not been identified as a historic resource by local or state agencies, and the project site has not been determined to be eligible for listing in the National Register of Historic Places, California Register of Historical Resources, the Los Angeles Historic-Cultural Monuments Register, and/or any local register; and was not found to be a potential historic resource based on the City's Historic Places LA website or SurveyLA, the citywide survey of Los Angeles. Finally, the City does not choose to treat the site as a historic resource. Based on this, the project will not result in a substantial adverse change to the significance of a historic resource and this exception does not apply.

OBSERVANCE OF CONDITIONS - TIME LIMIT - LAPSE OF PRIVILEGES

All terms and conditions of the Director's Determination shall be fulfilled before the use may be established. The instant authorization is further conditioned upon the privileges being utilized within three years after the effective date of this determination and, if such privileges are not utilized, building permits are not issued, or substantial physical construction work is not begun within said time and carried on diligently so that building permits do not lapse, the authorization shall terminate and become void.

TRANSFERABILITY

This determination runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant. If any portion of this approval is utilized, then all other

conditions and requirements set forth herein become immediately operative and must be strictly observed.

VIOLATIONS OF THESE CONDITIONS, A MISDEMEANOR

The Applicant's attention is called to the fact that this grant is not a permit or license and that any permits and licenses required by law must be obtained from the proper public agency. Furthermore, if any condition of this grant is violated or not complied with, then the Applicant or his successor in interest may be prosecuted for violating these conditions the same as for any violation of the requirements contained in the Municipal Code, or the approval may be revoked.

Section 11.00 of the LAMC states in part (m): "It shall be unlawful for any person to violate any provision or fail to comply with any of the requirements of this Code. Any person violating any of the provisions or failing to comply with any of the mandatory requirements of this Code shall be guilty of a misdemeanor unless that violation or failure is declared in that section to be an infraction. An infraction shall be tried and be punishable as provided in Section 19.6 of the Penal Code and the provisions of this section. Any violation of this Code that is designated as a misdemeanor may be charged by the City Attorney as either a misdemeanor or an infraction.

Every violation of this determination is punishable as a misdemeanor unless provision is otherwise made, and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the County Jail for a period of not more than six months, or by both a fine and imprisonment."

APPEAL PERIOD - EFFECTIVE DATE

The Determination in this matter will become effective and final **fifteen (15) days** after the date of mailing of the Notice of Director's Determination unless an appeal there from is filed with the City Planning Department. It is strongly advised that appeals be filed early during the appeal period and in person so that imperfections/incompleteness may be corrected before the appeal period expires. Any appeal must be filed on the prescribed forms, accompanied by the required fee, a copy of this Determination, and received and receipted at a public office of the Department of City Planning on or before the above date or the appeal will not be accepted. **Forms are available on-line at <http://planning.lacity.org>.**

Planning Department public offices are located at:

Downtown	San Fernando Valley	West Los Angeles
Figueroa Plaza 201 North Figueroa Street, 4th Floor Los Angeles, CA 90012 (213) 482-7052	Marvin Braude San Fernando Valley Constituent Service Center 6262 Van Nuys Boulevard, Rm 251 Van Nuys, CA 91401 (818) 374-5050	West Los Angeles Development Services Center 1828 Sawtelle Boulevard, 2nd Floor Los Angeles, CA 90025 (310) 231-2598

Pursuant to LAMC Section 12.22.A.25(f) only the applicant and any owners or tenant of a property abutting, across the street or alley from, or having a common corner with the subject property can appeal the Transit Oriented Communities Affordable Housing Incentive Program determination. Per Section 12.22.A.25 of LAMC, appeals of Density Bonus Compliance Review cases are heard by the City Planning Commission.

Verification of condition compliance with building plans and/or building permit applications are done at the Development Services Center of the Department of City Planning at either Figueroa Plaza in Downtown Los Angeles or the Marvin Braude Building in the Valley. In order to assure that you receive service with a minimum amount of waiting, applicants are encouraged to schedule an appointment with the Development Services Center either through the Department of City Planning website at <http://planning.lacity.org> or by calling (213) 482-7052 or (818) 374-

5050. The applicant is further advised to notify any consultant representing you of this requirement as well.

The time in which a party may seek judicial review of this determination is governed by California Code of Civil Procedures Section 1094.6. Under that provision, a petitioner may seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, only if the petition for writ of mandate pursuant to that section is filed no later than the 90th day following the date on which the City's decision becomes final.

VINCENT P. BERTONI, AICP
Director of Planning

Approved by:


Faisal Roble, Principal City Planner

Reviewed by:


Michelle Singh, Senior City Planner

Reviewed by:


Connie Chauv, City Planner

Prepared by:


Norali Martinez, City Planning Associate

EXHIBIT C

Environmental Clearance

C1 – Notice of Exemption & Justification for
Categorical Exemption

C2 – Tree Report

C3 – Transportation Study Assessment

C3 – VMT Calculator Output

NOTICE OF EXEMPTION

(PRC Section 21152; CEQA Guidelines Section 15062)

Pursuant to Public Resources Code § 21152(b) and CEQA Guidelines § 15062, the notice should be posted with the County Clerk by mailing the form and posting fee payment to the following address: Los Angeles County Clerk/Recorder, Environmental Notices, P.O. Box 1208, Norwalk, CA 90650. Pursuant to Public Resources Code § 21167 (d), the posting of this notice starts a 35-day statute of limitations on court challenges to reliance on an exemption for the project. Failure to file this notice as provided above, results in the statute of limitations being extended to 180 days.

PARENT CASE NUMBER(S) / REQUESTED ENTITLEMENTS

DIR-2021-5596-TOC-HCA-1A

LEAD CITY AGENCY

City of Los Angeles (Department of City Planning)

CASE NUMBER

ENV-2021-5597-CE

PROJECT TITLE

Purdue (2456-2460 South Purdue Avenue)

COUNCIL DISTRICT

11-Bonin

PROJECT LOCATION (Street Address and Cross Streets and/or Attached Map)

2456-2460 South Purdue Avenue☐ Map attached.

PROJECT DESCRIPTION:

☐ Additional page(s) attached.

The project is for the construction of a new six-story, 67-foot tall, 27-unit residential building (including 3 units reserved for Extremely Low-Income Households). The project will have a proposed Floor Area Ratio ("FAR") of approximately 4.3:1 with approximately 46,528 square feet of floor area. The project provides 26 parking spaces located at subterranean level. The existing two single-family dwellings and attached garages on-site are proposed to be demolished, along with seven (7) non-protected trees are proposed to be removed from the subject site. The project will involve grading and export approximately 6,475 cubic yards of soil

NAME OF APPLICANT / OWNER:

Amir Mehdizadeh

CONTACT PERSON (If different from Applicant/Owner above)

Norali Martinez

(AREA CODE) TELEPHONE NUMBER

213-978-1346

EXT.

EXEMPT STATUS: (Check all boxes, and include all exemptions, that apply and provide relevant citations.)

STATE CEQA STATUTE & GUIDELINES

☐ STATUTORY EXEMPTION(S)

Public Resources Code Section(s) _____

☒ CATEGORICAL EXEMPTION(S) (State CEQA Guidelines Sec. 15301-15333 / Class 1-Class 33)CEQA Guideline Section(s) / Class(es) **Section 15332 (Class 32)**☐ OTHER BASIS FOR EXEMPTION (E.g., CEQA Guidelines Section 15061(b)(3) or (b)(4) or Section 15378(b))

JUSTIFICATION FOR PROJECT EXEMPTION:

☒ Additional page(s) attached

Class 32: In-fill development meeting the conditions described in CEQA Guidelines 15332: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations. (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses. (c) The project site has no value as habitat for endangered, rare or threatened species. (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. (e) The site can be adequately served by all required utilities and public services.

☒ None of the exceptions in CEQA Guidelines Section 15300.2 to the categorical exemption(s) apply to the Project.☒ The project is identified in one or more of the list of activities in the City of Los Angeles CEQA Guidelines as cited in the justification.

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT ISSUED BY THE CITY PLANNING DEPARTMENT STATING THAT THE DEPARTMENT HAS FOUND THE PROJECT TO BE EXEMPT.

If different from the applicant, the identity of the person undertaking the project.

CITY STAFF USE ONLY:

CITY STAFF NAME AND SIGNATURE

Norali Martinez,

STAFF TITLE

City Planning Associate

ENTITLEMENTS APPROVED

Transit Oriented Communities

**DEPARTMENT OF
CITY PLANNING**

COMMISSION OFFICE
(213) 978-1300

CITY PLANNING COMMISSION

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PRESIDENT

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**CITY OF LOS ANGELES
CALIFORNIA**



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LISA M. WEBBER, AICP
DEPUTY DIRECTOR

**JUSTIFICATION FOR PROJECT EXEMPTION
CASE NO. ENV-2021-5597-CE**

The Planning Department determined that the City of Los Angeles Guidelines for the implementation of the California Environmental Quality Act of 1970 and the CEQA Guidelines designate the subject project as Categorically Exempt under CEQA Guidelines, Article 19, Section 15332 (Class 32), Case No. ENV-2021-5597-CE.

As the designee of the Director of Planning, I have found, based on the independent judgement of the decision-maker, after consideration of the whole of the administrative record, that the project is within the scope of the Exposition Corridor Transit Neighborhood Plan Program EIR No. ENV-2013-622-EIR, SCH. No. 2013031038 ("Program EIR"), pursuant to CEQA Guidelines Sections 15168 and 15162; the environmental effects of the Project were covered in the Program EIR and no new environmental effects not identified in the Program EIR will occur and no new mitigation is required; and the City has incorporated all feasible mitigation measures from the Program EIR on the Project.

The project is for the construction of a new six-story, 67-foot tall, 27-unit residential building (including 3 units reserved for Extremely Low-Income Households). The project will have a proposed Floor Area Ratio ("FAR") of approximately 4.3:1 with approximately 46,528 square feet of floor area. The project provides 26 parking spaces located at subterranean level. The existing two single-family dwellings and attached garages on-site are proposed to be demolished, along with seven (7) non-protected trees are proposed to be removed from the subject site. The project will involve grading and export approximately 6,475 cubic yards of soil.

As a residential development, and a project which is characterized as in-fill development, the project qualifies for the Class 32 Categorical Exemption.

CEQA Determination – Class 32 Categorical Exemption Applies

A project qualifies for a Class 32 Categorical Exemption if it is developed on an infill site and meets the following criteria:

- (a) **The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations.**

The site is zoned R3-1 and has a General Plan Land Use designation of Medium Residential, which has corresponding zones of R3 and R3(PV). The R3 Zone allows for a base residential density at a rate of the one unit per 800 square feet of lot area. Height District No. 1 in the R3 Zone allows for a height of 45 feet and the site is limited to a Floor Area Ratio (FAR) of 3:1. The project site is located in the Palms – Mar Vista – Del Rey Community Plan area. The Exposition Corridor

Transit Neighborhood Plan (Specific Plan) established by Ordinance 186,402 and effective December 26, 2019, established review procedures, design standards, and environmental standards for the subject site. The project site is in the West Los Angeles Transportation Improvement and Mitigation Specific Plan (WLA TIMP, Ordinance 186,105 and 186,108). The project is subject to Department of Transportation clearance of the WLA TIMP. In addition, the project is within a Tier 3 designation of the Transit Oriented Communities Program. Pursuant to LAMC Section 12.22 A.31 and the TOC Guidelines, the applicant requests a Transit Oriented Communities Compliance Review.

The project site is comprised of two flat, rectangular lots. In total, the lots cover approximately 15,000 square feet, with approximately 100 feet of frontage along the east side of Purdue Avenue and a uniform depth of approximately 150 feet. The project site is located within the Palms – Mar Vista – Del Rey Community Plan area, West Los Angeles Transportation Improvement and Mitigation Specific Plan, Exposition Corridor Transit Neighborhood Plan, and within 1.78 kilometers of the Santa Monica Fault. The site is not located within a designated hillside area, a Special Grading Area (BOE Basic Grid Map A-13372), very high fire hazard severity zone, flood zone, landslide, tsunami inundation zone, or liquefaction zone. There are no designated historic resources or cultural monuments on the subject site.

The R3 Zone allows for a maximum residential density of one dwelling unit per 800 square feet of lot area. The combined subject lots total approximately 15,000 square feet, for a maximum base density of 18.75 units. The Los Angeles Municipal Code allows 18 units by right, however the TOC Guidelines round base density up to the next whole number of 19 units. The maximum allowed density for the subject site under the Tier 3 Density Incentive would be 70% resulting in 32.3 units; again, the TOC Guidelines round up to the next whole number resulting in 33 units. The project is proposing 27 dwelling units, which is consistent with the allowable density under the TOC Guidelines. The project is required to provide 14 parking spaces under the TOC incentive and is providing 26 spaces, consistent with the requirements of Los Angeles Municipal Code 12.22-A.31.

In the R3 Zone in Height District 1, the Los Angeles Municipal Code provides for a maximum FAR of 3:1. Los Angeles Municipal Code Section 12.03 states, "Buildable Area" is, "all that portion of a lot located within the proper zone for the proposed main building, excluding those portions of the lot which must be reserved for yard spaces, building line setback space, or which may only be used for accessory buildings or uses." The buildable area for the subject site is 10,800 square feet for a by-right floor area of 32,400 square feet. The Tier 3 FAR Incentive allows for a maximum FAR percentage increase up to 50%, as provided under Director's Interpretation under Case No. DIR-2022-1365-DI, for a maximum floor area of approximately 48,600 square feet. The project is proposing 46,528 square feet, which is consistent with the TOC requirements.

Pursuant to the TOC Guidelines, the project is eligible for, and has been granted three Tier 3 Additional Incentives. In Tier 3 areas, the TOC incentive for side yard reductions allows up to a 30 percent decrease in the required width or depth of two individual yards or setbacks. The project proposes a 6-foot 4-inch northwest side yard consistent with the TOC Guidelines. The side yard reflect a 30 percent reduction in the otherwise required 9-foot side yard for the project, consistent with the TOC yard reduction incentive.

The TOC Guidelines allow for a maximum height of 67 feet (22 additional feet) and the project is 67 feet in height. The project is consistent with the TOC Guideline's Height Incentive and Exception requirements.

Residential Open Space is required in projects that have more than six units; the amount of open space is related to the number of habitable rooms in each unit. The total required open space for the mix of units proposed in this project is 4,275 square feet. Applying the TOC reduction, the project is allowed to provide 3,206.25 square feet of open space. The proposed project includes 3,342 square feet of open space.

The proposed project is consistent with many General Plan goals, policies, and objectives. The Housing Element of the General Plan provides the following:

Goal 1: A City where housing production and preservation result in an adequate supply of ownership and rental housing that is safe, healthy and affordable to people of all income levels, races, ages, and suitable for their various needs.

Objective 1.1 Produce an adequate supply of rental and ownership housing in order to meet current and projected needs.

Policy 1.1.4 Expand opportunities for residential development, particularly in designated Center, Transit Oriented Districts and along Mixed-Use Boulevards

The proposed project meets the above goal, policy and objective creating additional housing units in a transit oriented district; the project will also include three (3) units for Extremely Low Income household occupancy for a period of 55 years.

Additionally, the Palms - Mar Vista - Del Rey Community Plan, one of the Land Use Elements of the General Plan, provides the following:

Policy 1-1.1: Provide adequate multi-family residential development.

Policy 1-2.1: Locate higher residential densities near commercial centers and major bus routes where public service facilities and infrastructure will support this development.

Objective 1-4: To promote the adequacy and affordability of multiple-family housing and increase its accessibility to more segments of the population.

The proposed project meets the above policies and objective by providing multi-family dwelling units in a new, safe, and secure building. The proposed project is

located on a site designated for Medium Residential Land Uses, which includes multiple-family residential uses, and will be served by facilities and necessary infrastructure. The site is near the Metro “E” (Expo) Expo-Sepulveda Station. The three affordable units will ensure that the proposed project is accessible to lower-income segments of the population.

The current project is in an urbanized area and characterized as in-fill development, which qualifies for the Class 32 Categorical Exemption. As shown in the case file, the project is consistent with the applicable Palms – Mar Vista – Del Rey Community Plan designation and policies and all applicable zoning designations and regulations.

- (b) **The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.**

The subject site is wholly within the City of Los Angeles, on a site that is approximately 0.344 acres (approximately 15,000 square feet). Abutting properties to the north, south, east and west are zoned R3-1 and are developed primarily with multi-family dwellings ranging from one to six stories in height. Properties further to the south (across Pearl Street) are zoned R1-1 and developed with single-family dwellings.

- (c) **The project site has no value as habitat for endangered, rare or threatened species.**

The site is previously disturbed and surrounded by development and therefore is not, and has no value as, a habitat for endangered, rare or threatened species. The project site at 2456-2460 South Purdue Avenue is comprised of two lots, and is currently developed with two single-family dwellings and detached garages. Per the Arborist Report (prepared by Brandon’s Landscapes dated September 10, 2021), there are seven (7) non-protected trees on the subject site which will be removed, and one (1) non-protected (Victorian box) street tree located in the public-right-of-way which will remain. Therefore, the project site has no value as habitat for endangered, rare or threatened species.

The project assumes a worst-case scenario of removing all street trees, in the event of changes to the right-of-way improvement plans after approval of the environmental clearance. However, this environmental analysis does not authorize the removal of any street trees without prior approval of Urban Forestry, in compliance with LAMC Sections 62.169 and 62.170 and their applicable findings.

Prior to any work on the adjacent public right-of-way, the applicant will be required to obtain approved plans from the Department of Public Works. As there currently is no approved right-of-way improvement plan and for purposes of conservative analysis under CEQA, Planning has analyzed the worst-case potential for removal of all street trees. Note that street trees and protected trees shall not be removed without prior approval of the Board of Public Works/Urban Forestry (BPW) under LAMC Sections 62.161 - 62.171. At the time of preparation of this environmental document, no approvals have been given for any tree removals on-site or in the right-of-way by BPW. The City has required a Tree Report to identify all protected trees/shrubs on the project site and all street trees in the adjacent public right-of-way. The project may involve the removal of one (1) non-protected street tree.

- (d) **Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.**

The project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance, pollutant discharge, dewatering, stormwater mitigations; and Best Management Practices for stormwater runoff. More specifically, RCMs include but are not limited to:

- **Regulatory Compliance Measure RC-AQ-1 (Demolition, Grading and Construction Activities): Compliance with provisions of the SCAQMD District Rule 403.** The project shall comply with all applicable standards of the Southern California Air Quality Management District, including the following provisions of District Rule 403:
 - All unpaved demolition and construction areas shall be wetted at least twice daily during excavation and construction, and temporary dust covers shall be used to reduce dust emissions and meet SCAQMD District Rule 403. Wetting could reduce fugitive dust by as much as 50 percent.
 - The construction area shall be kept sufficiently dampened to control dust caused by grading and hauling, and at all times provide reasonable control of dust caused by wind.
 - All clearing, earth moving, or excavation activities shall be discontinued during periods of high winds (i.e., greater than 15 mph), so as to prevent excessive amounts of dust.
 - All dirt/soil loads shall be secured by trimming, watering or other appropriate means to prevent spillage and dust.
 - All dirt/soil materials transported off-site shall be either sufficiently watered or securely covered to prevent excessive amount of dust.
 - General contractors shall maintain and operate construction equipment so as to minimize exhaust emissions.
 - Trucks having no current hauling activity shall not idle but be turned off.
- **Regulatory Compliance Measure RC-GEO-1 (Seismic):** The design and construction of the project shall conform to the California Building Code seismic standards as approved by the Department of Building and Safety.
- **Regulatory Compliance Measure RC-NO-1 (Demolition, Grading, and Construction Activities):** The project shall comply with the City of Los Angeles Noise Ordinance and any subsequent ordinances, which prohibit the emission or creation of noise beyond certain levels at adjacent uses unless technically infeasible.

In addition, the project shall comply with the Environmental Standards in Appendix D of the Exposition Corridor Transit Neighborhood Plan Specific Plan, which include but are not limited to:

- **Regulatory Compliance Measure (Landscape):** The Project shall comply with Ordinance No. 170,978 (Water Management Ordinance), which imposes numerous water conservation measures in landscape, installation, and maintenance (e.g., use drip irrigation and soak hoses in lieu of sprinklers to lower the amount of water lost to evaporation and overspray, set automatic sprinkler systems to irrigate during the

early morning or evening hours to minimize water loss due to evaporation, and water less in the cooler months and during the rainy season).

- **Mitigation Measure (Construction Noise and Vibration):**

- Construction Staging Areas. The construction contractor shall locate construction staging areas away from Sensitive Land Uses.
- Construction Noise Barriers. When construction activities are located within 500 feet of Sensitive Land Uses, noise barriers (e.g., temporary walls or piles of excavated material) shall be constructed between activities and Sensitive Land Uses.

These RCMs will ensure the project will not have significant impacts on noise and water. The Department of Transportation Referral Form dated April 25, 2022 and the VMT calculator indicated that the project will result in an increase of 130 daily vehicle trips, which is under the threshold of 250 or more daily vehicles trips to require VMT analysis. Therefore, the project does not exceed the threshold criteria established by LADOT for preparing a traffic study and will not have any significant impacts to traffic. Interim thresholds were developed by DCP staff based on CalEEMod model runs relying on reasonable assumptions, consulting with AQMD staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established SCAQMD construction and operational thresholds. These RCMs will ensure the project will not have significant impacts on noise, air quality, and water. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

(e) **The site can be adequately served by all required utilities and public services.**

The project site will be adequately served by all public utilities and services given that the construction of a multi-family residential building will be on a site which has been previously developed and is consistent with the General Plan. Therefore, the project meets all of the Criteria for the Class 32 Categorical Exemption.

CEQA Section 15300.2: Exceptions to the Use of Categorical Exemptions

There are five (5) Exceptions which must be considered in order to find a project exempt under Class 32:

- (a) **Cumulative Impacts.** *All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.*

Staff have identified two (2) comparable projects that were granted approval for land use entitlements within a 500-foot radius of the subject site:

- Case No. DIR-2018-7647-TOC-CDO-SPR (11430 W. Exposition Blvd)
- Case No. DIR-2015-4086-DB-CDO-SPR (2425 S. Butler Avenue)

As mentioned, the project proposes the demolition of two existing single-family dwellings with detached garages and the construction of a new six-story, 67-foot tall, 27-unit residential building (including 3 units reserved for Extremely Low-Income). The project

will have a proposed Floor Area Ratio ("FAR") of approximately 4.3:1 with approximately 46,528 square feet of floor area. The project provides 26 parking spaces located at subterranean level. The project will also provide 30 long-term and three (3) short-term bicycle parking spaces in accordance with LAMC 12.21.A.16. The project is in an area zoned and designated for such development. Lots adjacent to the subject site are developed with urban uses. Lots adjacent to the subject site are developed with the following urban uses: multi-family residential. Abutting properties to the north, south, east and west are zoned R3-1 and are developed primarily with multi-family dwellings ranging from one to six stories in height. Properties further to the south (across Pearl Street) are zoned R1-1 and developed with single-family dwellings. Therefore, in conjunction with citywide RCMs and compliance with other applicable regulations, no foreseeable cumulative impacts are expected.

- (b) **Significant Effect Due to Unusual Circumstances.** *A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.*

As mentioned, the project proposes a multi-family residential building in an area zoned and designated for such development. Adjacent lots are developed with multi-family residential. The subject site is of a similar size and slope to nearby residential properties. The Floor Area, Density, Height, Yards, and Open Space of the proposed project are consistent with the Zone and Transit Oriented Communities Guidelines, pursuant to LAMC Section 12.22 A.31. The site is not located within a designated hillside area, a Special Grading Area (BOE Basic Grid Map A-13372), very high fire hazard severity zone, flood zone, landslide, tsunami inundation zone, or liquefaction zone. There are no designated historic resources or cultural monuments on the subject site. Thus, there are no unusual circumstances which may lead to a significant effect on the environment, and this exception does not apply.

- (c) **Scenic Highways.** *A categorical exemption shall not be used for a project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway.*

The only State Scenic Highway within the City of Los Angeles is the Topanga Canyon State Scenic Highway, State Route 27, which travels through a portion of Topanga State Park. The State Route 27 is approximately 8 miles northwest of the subject site. Therefore, the Project will not result in damage to any scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway, and this exception does not apply.

- (d) **Hazardous Waste Sites.** *A categorical exemption shall not be used for a project located on a site which is included on any list compiled pursuant to Section 65962.5 of the Government Code*

According to Envirostor, the State of California's database of Hazardous Waste Sites, the subject site is not identified as a hazardous waste site. Furthermore, the building permit history for the project site does not indicate the site may be hazardous or otherwise contaminated, therefore, this exception does not apply.

- (e) **Historical Resources.** *A categorical exemption shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource.*

The project site has not been identified as a historic resource by local or state agencies, and the project site has not been determined to be eligible for listing in the National Register of Historic Places, California Register of Historical Resources, the Los Angeles Historic-Cultural Monuments Register, and/or any local register; and was not found to be a potential historic resource based on the City's Historic Places LA website or SurveyLA, the citywide survey of Los Angeles. Finally, the City does not choose to treat the site as a historic resource. Based on this, the project will not result in a substantial adverse change to the significance of a historic resource and this exception does not apply.



P.O. Box 246
Monrovia, CA 91017

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Brandonslandscapes.com

Arborist Report

2456-2460 S. Purdue Ave., Los Angeles, CA 90064
c/o Daniel Pourbaba
8271 Melrose Ave., Suite 207, Los Angeles, CA 90064
September 10, 2021

The following arborist assessment was conducted by Brandon Linz of Brandon's Landscapes, Inc. under ISA# WE-8719A on September 10, 2021 at 2456-2460 S. Purdue Ave., Los Angeles, CA 90064

Specifications:

ID #	#1		
Common Name	Victorian Box		
Botanical	Pittosporum undulatum		
DBH: 11 3/4"	Height: 20'	Spread: 8'	

Location See Map



Specifications:

ID #	#2		
Common Name	Giant Sequoia		
Botanical	Sequoiadendron giganteum		
DBH: 39 ¼"	Height: 45'	Spread: 20'	

Location See Map



Specifications:

ID #	#3		
Common Name	Juniper		
Botanical	Juniperus		
DBH: 9"	Height: 18'	Spread: 10'	

Location See Map



Specifications:

ID #	#4		
Common Name	Bottlebrush		
Botanical	Callistemon viminalis		
DBH: 9 ½"	Height: 20'	Spread: 8'	

Location See Map

Specifications:

ID #	#5		
Common Name	Bottlebrush		
Botanical	Callistemon viminalis		
DBH: 9 3/4"	Height: 20'	Spread: 10'	

Location See Map



Specifications:

ID #	#6		
Common Name	Ficus nitida		
Botanical	Ficus microcarpa		
DBH: 16 ½"	Height: 20'	Spread: 25'	




Location See Map

Specifications:

ID #	#7		
Common Name	Ash		
Botanical	Fraxinus		
DBH: 80"	Height: 20'	Spread: 10'	

Location See Map

Specifications:

ID #	#8		
Common Name	Catalina Cherry		
Botanical	Prunus lyonii		
DBH: 23 ½"		Height: 30'	Spread: 35'
Location See Map		<div></div>	

This arborist report assesses eight trees at 2456-2460 S. Purdue Ave., Los Angeles, CA 90064.

Tree #1: *Pittosporus undulatum* has a DBH of 11 3/4". Tree #1 is in moderate health, there were several issues observed such as drought stress, decay and fungus in the root system. Due to the drought stress, I recommend installing drip irrigation to provide adequate water for the tree. I also recommend pruning the tree by a certified arborist in order to remove the dead branches as well as do necessary corrective pruning. This will help to obtain proper structure of the tree due to loss of branches because of lack of water. Decay in the trunk and root system causes the tree to not be structurally sound which can pose a safety risk, potentially causing damage to property and persons. This is not a protected tree according to the City of Los Angeles Ordinance No. 177404.

Tree #2: *Sequoiadendron giganteum* has a DBH of 39 1/4". Tree #2 is in moderate health, decay and an infestation of wood borers was observed. The wood borers feed on the dead and decaying wood inside the tree and will cause the tree to not be structurally sound which can pose a safety risk, potentially causing damage to property and persons. The insect infestation will eventually be detrimental to the tree. This tree is to be removed for the proposed construction. This is not a protected tree according to the City of Los Angeles Ordinance No. 177404.

Tree #3: *Juniperus* has a DBH of 9". Tree #3 is in moderate health. This tree is growing in close proximity to the structure, as the tree matures, it will damage the structure. This tree is growing in close proximity to tree 4 and the two canopies are competing with one another for sun exposure. This tree is to be removed for the proposed construction. This is not a protected tree according to the City of Los Angeles Ordinance No. 177404.

Tree #4: *Callistemon viminalis* has a DBH of 9 1/2". Tree #4 is in moderate health. This tree is growing in close proximity to the structure, as the tree matures, it will damage the structure. This tree is growing in close proximity to tree 5 and 3 the canopies are competing with one another for sun exposure. This tree is to be removed for the proposed construction. This is not a protected tree according to the City of Los Angeles Ordinance No. 177404.

Tree #5: *Callistemon viminalis* has DBH of 9 3/4". Tree #5 is in moderate health. This tree is growing in close proximity to the structure, as the tree matures, it will damage the structure. This tree is growing in close proximity to tree 4 and the two canopies are competing with one another for sun exposure. This tree is to be removed for the proposed construction. This is not a protected tree according to the City of Los Angeles Ordinance No. 177404.

Tree #6: *Ficus microcarpa* has a DBH of 16 1/2". Tree #6 is in moderate health. This tree is growing in close proximity to the structure, as the tree matures, it will damage the structure. This tree is to be removed for the proposed construction. This is not a protected tree according to the City of Los Angeles Ordinance No. 177404. poses a safety issue.

Tree #7: *Fraxinus* has a DBH of 80". Tree #7 is in moderate health. This tree has multiple central leaders with included bark in the branch unions. This causes a weak branch union and can lead to structural failure if not corrected. These issues could potentially cause the tree to not be structurally sound which can pose a risk of branches falling causing damage to property and persons. This tree is to be removed for the proposed construction. This is not a protected tree according to the City of Los Angeles Ordinance No. 177404.

Tree #8: *Prunus lyonii* has a DBH of 23 1/2" Tree #8 is in poor health. This tree is showing signs of an infestation by wood borers, causing several large branches to die. This will eventually be detrimental to the tree. This tree is to be removed for the proposed construction. This is not a protected tree according to the City of Los Angeles Ordinance No. 177404.

Note: There are no protected trees (All California native oaks, Western sycamore (*Platanus racemosa*), Southern California black walnut (*Juglans californica*) or California bay (*Umbellularia californica*)) on this property or on the abutting properties that will be affected by construction. Los Angeles Protected Tree Ordinance #177404.

Note: There are no protected shrubs (Mexican Elderberry – *Sambucus Mexicana*, or Toyon – *Heteromeles arbutifolia*) on this property or on the abutting properties that will be affected by construction. Los Angeles Protected Shrub Ordinance #186873.

Certified Arborist,

A handwritten signature in black ink, appearing to read "Brandon Linz", with a stylized flourish at the end.

Brandon Linz
Arborist# WE-8719A





REFERRAL FORMS:

TRANSPORTATION STUDY ASSESSMENT

DEPARTMENT OF TRANSPORTATION - REFERRAL FORM

RELATED CODE SECTION: Los Angeles Municipal Code Section 16.05 and various code sections.

PURPOSE: The Department of Transportation (LADOT) Referral Form serves as an initial assessment to determine whether a project requires a Transportation Assessment.

GENERAL INFORMATION

- Administrative: Prior to the submittal of a referral form with LADOT, a Planning case must have been filed with the Department of City Planning.
- All new school projects, including by-right projects, must contact LADOT for an assessment of the school's proposed drop-off/pick-up scheme and to determine if any traffic controls, school warning and speed limit signs, school crosswalk and pavement markings, passenger loading zones and school bus loading zones are needed.
- Unless exempted, projects located within a transportation specific plan area may be required to pay a traffic impact assessment fee regardless of the need to prepare a transportation assessment.
- Pursuant to LAMC Section 19.15, a review fee payable to LADOT may be required to process this form. The applicant should contact the appropriate LADOT Development Services Office to arrange payment.
- LADOT's Transportation Assessment Guidelines, VMT Calculator, and VMT Calculator User Guide can be found at <http://ladot.lacity.org>.
- A transportation study is not needed for the following project applications:
 - Ministerial / by-right projects
 - Discretionary projects limited to a request for change in hours of operation
 - Tenant improvement within an existing shopping center for change of tenants
 - Any project only installing a parking lot or parking structure
 - Time extension
 - Single family home (unless part of a subdivision)
- This Referral Form is not intended to address the project's site access plan, driveway dimensions and location, internal circulation elements, dedication and widening, etc. These items require separate review and approval by LADOT.

SPECIAL REQUIREMENTS

When submitting this referral form to LADOT, include the completed documents listed below.

- ☐ Copy of Department of City Planning Application (CP-7771.1).
- ☐ Copy of a fully dimensioned site plan showing all existing and proposed structures, parking and loading areas, driveways, as well as on-site and off-site circulation.
- ☐ If filing for purposes of Site Plan Review, a copy of the Site Plan Review Supplemental Application.
- ☐ Copy of project-specific VMT Calculator¹ analysis results.

TO BE VERIFIED BY PLANNING STAFF PRIOR TO LADOT REVIEW

LADOT DEVELOPMENT SERVICES DIVISION OFFICES: Please route this form for processing to the appropriate LADOT Office as follows:

Metro
213-972-8482
100 S. Main St, 9th Floor
Los Angeles, CA 90012

West LA
213-485-1062
7166 W. Manchester Blvd
Los Angeles, CA 90045

Valley
818-374-4699
6262 Van Nuys Blvd, 3rd Floor
Van Nuys, CA 91401

1. PROJECT INFORMATION

Case Number: DIR-2021-5596-TOC-HCA

Address: 2456 - 2460 S. Purdue Ave. Los Angeles, CA 90064

Project Description: Demo of 2 (E) SFDs for proposed (6) Story, 27-unit apartment bldg per TOC Tier 3.

Seeking Existing Use Credit (will be calculated by LADOT): Yes _____ No _____ Not sure ☒

Applicant Name: Aaron Belliston - BMR Enterprises

Applicant E-mail: aaron@bmrla.com Applicant Phone: (323) 839-4623

Planning Staff Initials: NM Date: 4.25.22

2. PROJECT REFERRAL TABLE

	Land Use (list all)	Size / Unit	Daily Trips ¹
Proposed ¹	Housing Multi-Family	24	
	Housing Affordable Housing - Family	3	
	<i>Total trips¹:</i>		130

a. Does the proposed project involve a discretionary action? Yes ☒ No ☐
 b. Would the proposed project generate 250 or more daily vehicle trips²? Yes ☐ No ☒
 c. If the project is replacing an existing number of residential units with a smaller number of residential units, is the proposed project located within one-half mile of a heavy rail, light rail, or bus rapid transit station³? Yes ☐ No ☒

If YES to a. and b. or c., or to all of the above, the Project must be referred to LADOT for further assessment.

Verified by: Planning Staff Name: Natali Martinez Phone: 213-978-1346

Signature: Natali Martinez Date: 4.25.22

¹ Qualifying Existing Use to be determined by LADOT staff on following page, per LADOT's Transportation Assessment Guidelines.

² To calculate the project's total daily trips, use the VMT Calculator. Under 'Project Information', enter the project address, land use type, and intensity of all proposed land uses. Select the '+' icon to enter each land use. After you enter the information, copy the 'Daily Vehicle Trips' number into the total trips in this table. Do not consider any existing use information for screening purposes. For additional questions, consult LADOT's [VMT Calculator User Guide](#) and the LADOT Transportation Assessment Guidelines (available on the LADOT website).

³ Relevant transit lines include: Metro Red, Purple, Blue, Green, Gold, Expo, Orange, and Silver line stations; and Metrolink stations.

TO BE COMPLETED BY LADOT

3. PROJECT INFORMATION

	Land Use (list all)	Size / Unit	Daily Trips
Proposed			
	Total new trips:		
Existing			
	Total existing trips:		
	Net Increase / Decrease (+ or -)		

- a. Is the project a single retail use that is less than 50,000 square feet? Yes ☐ No ☐
- b. Would the project generate a net increase of 250 or more daily vehicle trips? Yes ☐ No ☐
- c. Would the project result in a net increase in daily VMT? Yes ☐ No ☐
- d. If the project is replacing an existing number of residential units with a smaller number of residential units, is the proposed project located within one-half mile of a heavy rail, light rail, or bus rapid transit station? Yes ☐ No ☐
- e. Does the project trigger Site Plan Review (LAMC 16.05)? Yes ☐ No ☐
- f. Project size:
- i. Would the project generate a net increase of 1,000 or more daily vehicle trips? Yes ☐ No ☐
- ii. Is the project's frontage 250 linear feet or more along a street classified as an Avenue or Boulevard per the City's General Plan? Yes ☐ No ☐
- iii. Is the project's building frontage encompassing an entire block along a street classified as an Avenue or Boulevard per the City's General Plan? Yes ☐ No ☐

VMT Analysis (CEQA Review)

If **YES** to **a.** and **NO** to **d.** a VMT analysis is **NOT** required.

If **YES** to both **b.** and **c.**; or to **d.** a VMT analysis **is** required.

Access, Safety, and Circulation Assessment (Corrective Conditions)

If **YES** to **b.**, a project access, safety, and circulation evaluation may be required.

If **YES** to **e.** and either **f.i.**, **f.ii.**, or **f.iii.**, an access assessment may be required.

LADOT Comments:

Please note that this form is not intended to address the project's site access plan, driveway dimensions and location, internal circulation elements, dedication and widening, etc. These items require separate review and approval by LADOT. Qualifying Existing Use to be determined per LADOT's Transportation Assessment Guidelines.

4. Specific Plan with Trip Fee or TDM Requirements: **Yes** ☐ **No** ☐

Fee Calculation Estimate: _____

VMT Analysis Required (Question b. satisfied): **Yes** ☐ **No** ☐

Access, Safety, and Circulation Evaluation Required (Question b. satisfied): **Yes** ☐ **No** ☐

Access Assessment Required (Question b., e., and either f.i., f.ii. or f.iii satisfied): **Yes** ☐ **No** ☐

Prepared by DOT Staff Name: _____ Phone: _____

Signature: _____ Date: _____

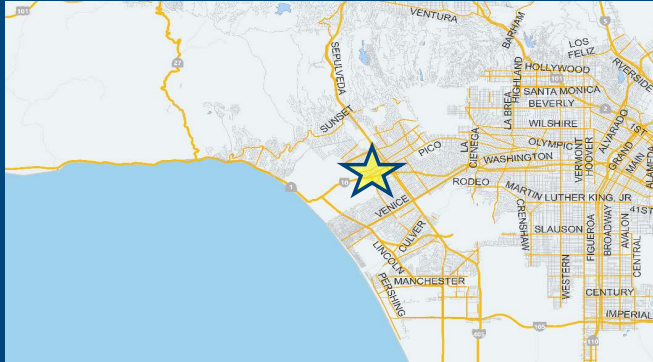
CITY OF LOS ANGELES VMT CALCULATOR Version 1.3



Project Screening Criteria: Is this project required to conduct a vehicle miles traveled analysis?

Project Information

Project: 2456-2460 Purdue
 Scenario:
 Address: 2456 S PURDUE AVE, 90064



Is the project replacing an existing number of residential units with a smaller number of residential units AND is located within one-half mile of a fixed-rail or fixed-guideway transit

☒ Yes ☐ No

Existing Land Use

Land Use Type	Value	Unit
Housing Single Family	2	DU
Housing Single Family	2	DU

[Click here to add a single custom land use type \(will be included in the above list\)](#)

Proposed Project Land Use

Land Use Type	Value	Unit
Housing Affordable Housing - Family	3	DU
Housing Multi-Family	24	DU
Housing Affordable Housing - Family	3	DU

[Click here to add a single custom land use type \(will be included in the above list\)](#)

Project Screening Summary

Existing Land Use	Proposed
17 Daily Vehicle Trips	130 Daily Vehicle Trips
100 Daily VMT	763 Daily VMT
Tier 1 Screening Criteria	
Project will have less residential units compared to existing residential units & is within one-half mile of a fixed-rail station. <input type="checkbox"/>	
Tier 2 Screening Criteria	
The net increase in daily trips < 250 trips	113 Net Daily Trips
The net increase in daily VMT ≤ 0	663 Net Daily VMT
The proposed project consists of only retail land uses ≤ 50,000 square feet total.	0.000 ksf
The proposed project is not required to perform VMT analysis.	

EXHIBIT D

MAPS AND PHOTOS

D1 – Vicinity Map

D2 – Radius Map

D3 – Site Photos

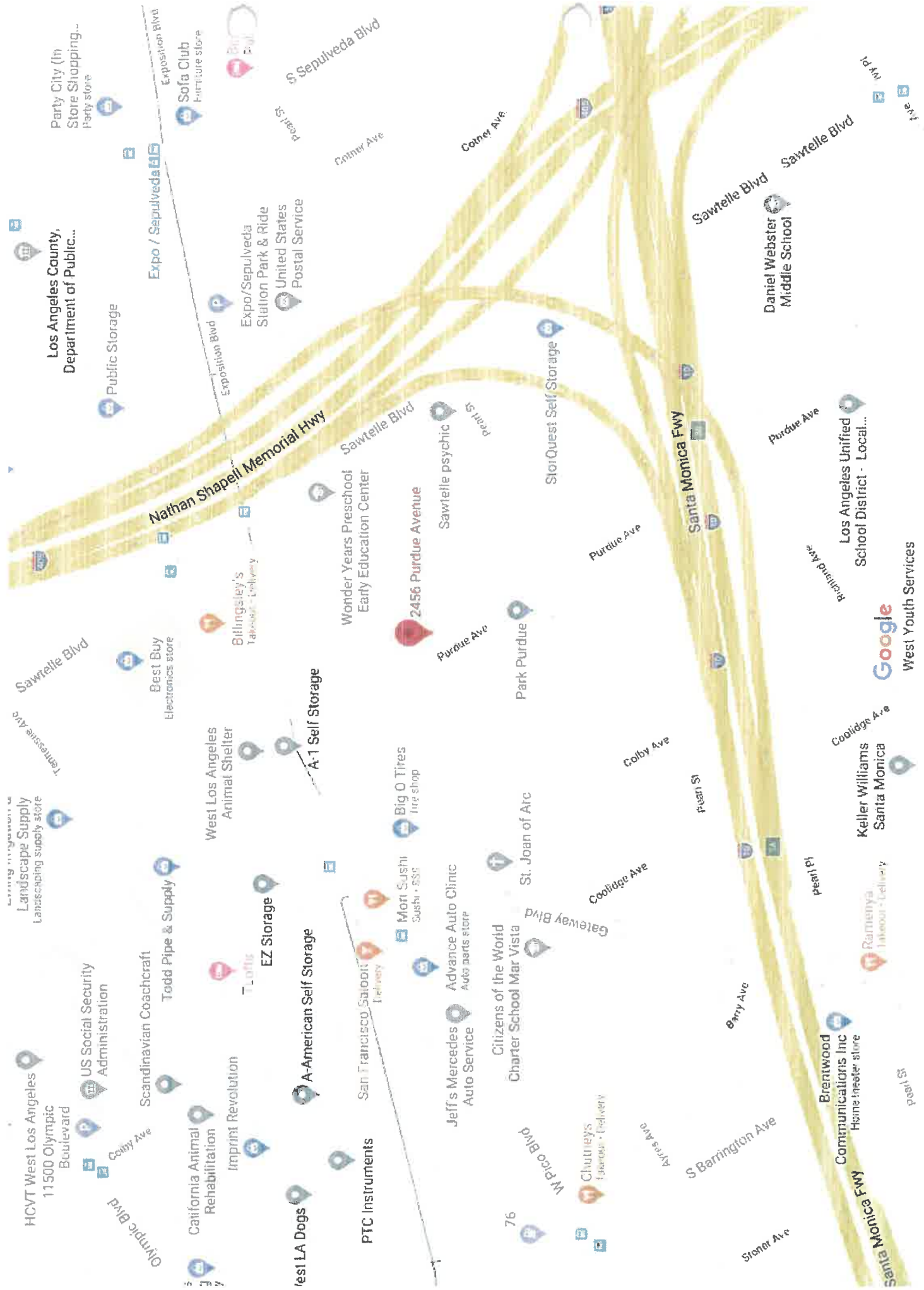
D4 – ZIMAS Parcel Profile Report

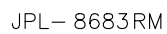
D5 – ZIMAS 2640Feet Radius

2456-2460 S. Purdue Ave
Los Angeles, CA 90064

Vicinity Map

JPL 8683





2456 – 2460 S. Purdue Ave.



1.



2.

2456 – 2460 S. Purdue Ave.



3.

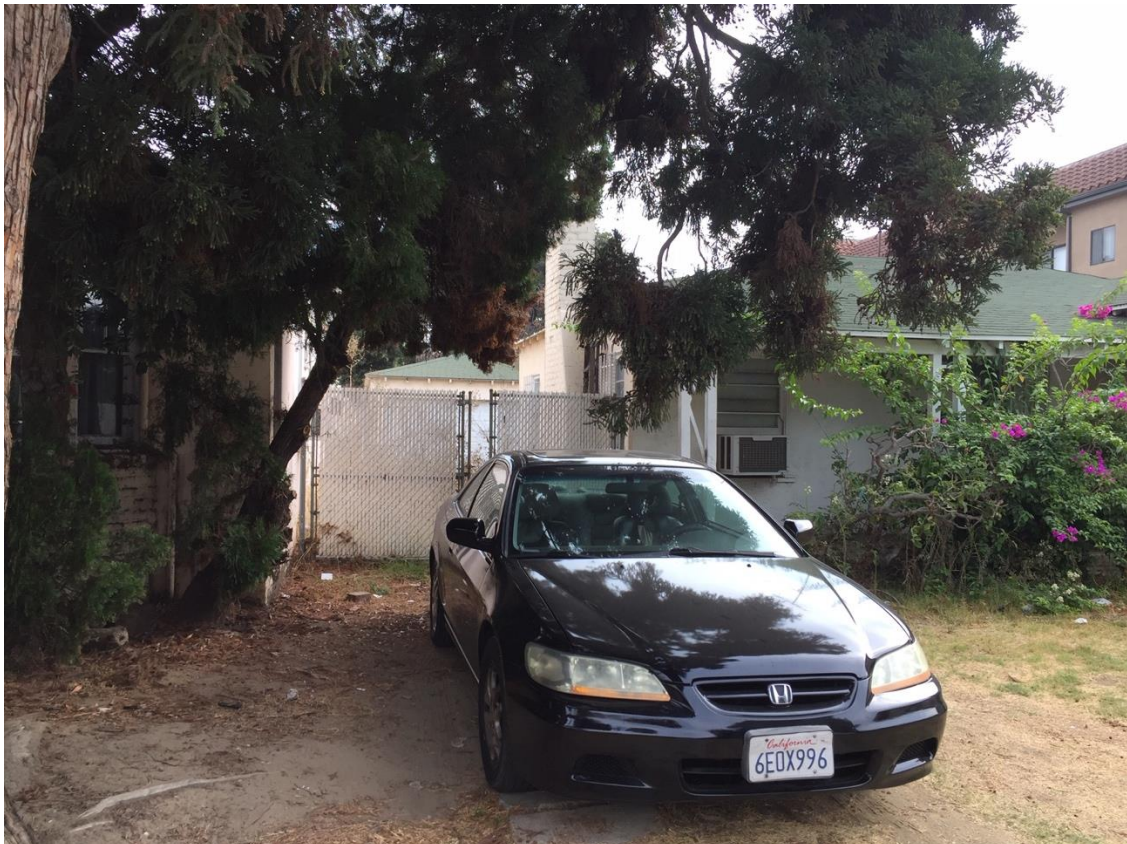


4.

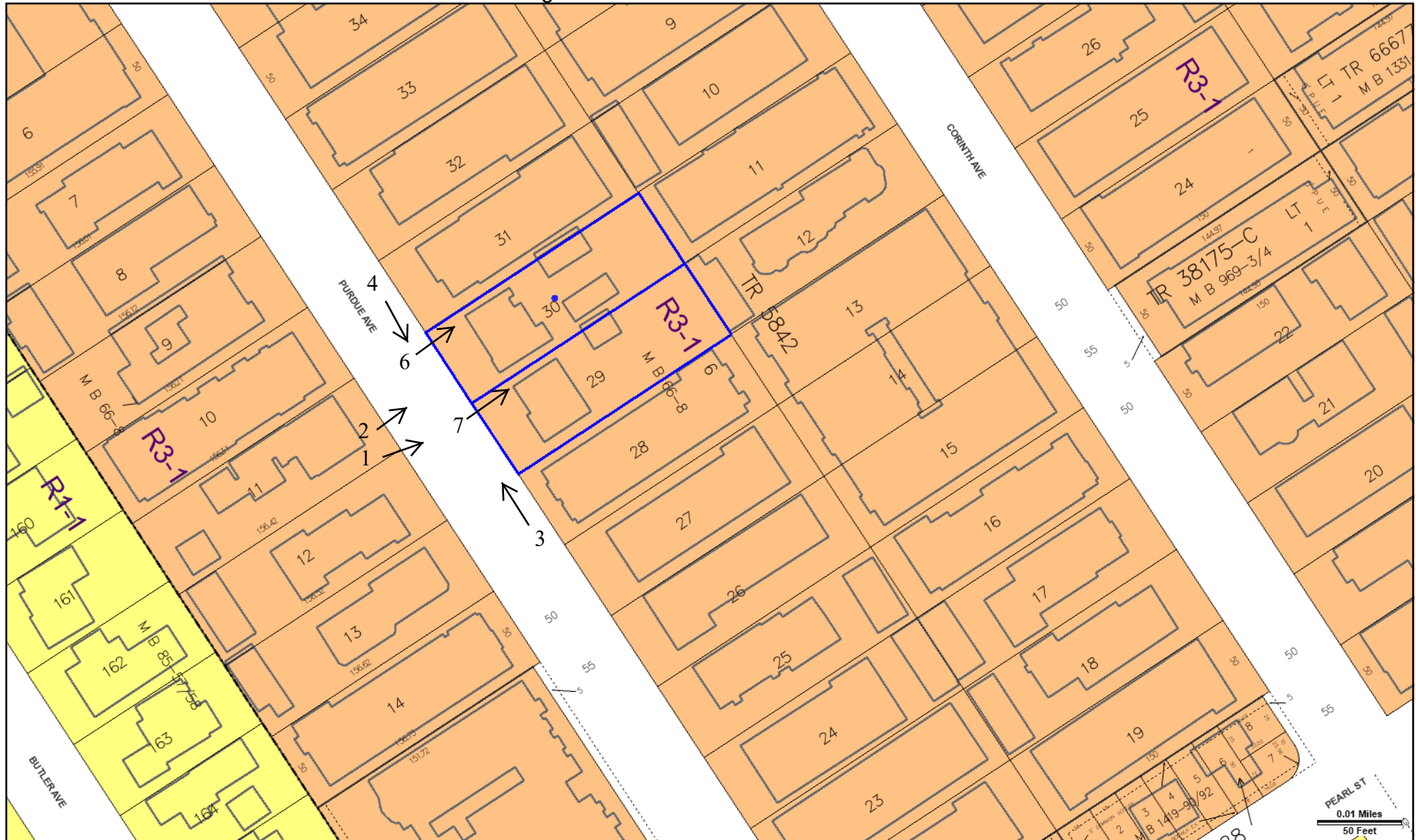
2456 – 2460 S. Purdue Ave.



5.



6.



Address: 2456 S PURDUE AVE

APN: 4260038030

PIN #: 123B153 493

Tract: TR 5842

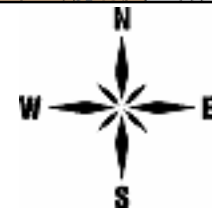
Block: 6

Lot: 30

Arb: None

Zoning: R3-1

General Plan: Medium Residential





Address: 2456 S PURDUE AVE

APN: 4260038030

PIN #: 123B153 493

Tract: TR 5842

Block: 6

Lot: 30

Arb: None

Zoning: R3-1

General Plan: Medium Residential





City of Los Angeles
Department of City Planning

DIR-2021-5596 9/2021

PARCEL PROFILE REPORT

PROPERTY ADDRESSES

2460 S PURDUE AVE

ZIP CODES

90064

RECENT ACTIVITY

None

CASE NUMBERS

CPC-2018-7547-CPU

CPC-2014-1457-SP

CPC-2013-621-ZC-GPA-SP

CPC-2005-8252-CA

ORD-186402

ORD-186108

ORD-171492

ORD-171227

ORD-163205

ENV-2014-1458-EIR-SE-CE

ENV-2013-622-EIR

ENV-2005-8253-ND

Address/Legal Information

PIN Number	123B153 518
Lot/Parcel Area (Calculated)	7,500.1 (sq ft)
Thomas Brothers Grid	PAGE 632 - GRID B7
Assessor Parcel No. (APN)	4260038029
Tract	TR 5842
Map Reference	M B 66-8
Block	6
Lot	29
Arb (Lot Cut Reference)	None
Map Sheet	123B153

Jurisdictional Information

Community Plan Area	Palms - Mar Vista - Del Rey
Area Planning Commission	West Los Angeles
Neighborhood Council	West Los Angeles Sawtelle
Council District	CD 11 - Mike Bonin
Census Tract #	2712.00
LADBS District Office	West Los Angeles

Planning and Zoning Information

Special Notes	None
Zoning	R3-1
Zoning Information (ZI)	ZI-2192 Specific Plan: West Los Angeles Transportation Improvement and Mitigation ZI-2490 Specific Plan: Exposition Corridor Transit Neighborhood Plan ZI-2452 Transit Priority Area in the City of Los Angeles ZI-2427 Freeway Adjacent Advisory Notice for Sensitive Uses
General Plan Land Use	Medium Residential
General Plan Note(s)	Yes
Hillside Area (Zoning Code)	No
Specific Plan Area	EXPOSITION CORRIDOR TRANSIT NEIGHBORHOOD PLAN
Subarea	None
Specific Plan Area	WEST LOS ANGELES TRANSPORTATION IMPROVEMENT AND MITIGATION
Subarea	None
Special Land Use / Zoning	None
Historic Preservation Review	No
Historic Preservation Overlay Zone	None
Other Historic Designations	None
Other Historic Survey Information	None
Mills Act Contract	None
CDO: Community Design Overlay	None
CPIO: Community Plan Imp. Overlay	None
Subarea	None
CUGU: Clean Up-Green Up	None
HCR: Hillside Construction Regulation	No
NSO: Neighborhood Stabilization Overlay	No
POD: Pedestrian Oriented Districts	None
RFA: Residential Floor Area District	None

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(*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

RIO: River Inundation Overlay	No
SN: Sign District	No
Streetscape	No
Adaptive Reuse Incentive Area	None
Affordable Housing Linkage Fee	
Residential Market Area	High
Non-Residential Market Area	High
Transit Oriented Communities (TOC)	Tier 3
RPA: Redevelopment Project Area	None
Central City Parking	No
Downtown Parking	No
Building Line	None
500 Ft School Zone	No
500 Ft Park Zone	No

Assessor Information

Assessor Parcel No. (APN)	4260038029
APN Area (Co. Public Works)*	0.172 (ac)
Use Code	0100 - Residential - Single Family Residence
Assessed Land Val.	\$833,770
Assessed Improvement Val.	\$54,054
Last Owner Change	12/30/2019
Last Sale Amount	\$5,667,056
Tax Rate Area	67
Deed Ref No. (City Clerk)	655307
	3280
	2226708
	171
Building 1	
Year Built	1937
Building Class	D5B
Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	1
Building Square Footage	972.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5
Rent Stabilization Ordinance (RSO)	No [APN: 4260038029]

Additional Information

Airport Hazard	None
Coastal Zone	None
Farmland	Area Not Mapped
Urban Agriculture Incentive Zone	YES
Very High Fire Hazard Severity Zone	No
Fire District No. 1	No
Flood Zone	Outside Flood Zone
Watercourse	No
Hazardous Waste / Border Zone Properties	No
Methane Hazard Site	None
High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	No
Wells	None

Seismic Hazards

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 (*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

Active Fault Near-Source Zone

Nearest Fault (Distance in km)	1.79594256
Nearest Fault (Name)	Santa Monica Fault
Region	Transverse Ranges and Los Angeles Basin
Fault Type	B
Slip Rate (mm/year)	1.00000000
Slip Geometry	Left Lateral - Reverse - Oblique
Slip Type	Moderately / Poorly Constrained
Down Dip Width (km)	13.00000000
Rupture Top	0.00000000
Rupture Bottom	13.00000000
Dip Angle (degrees)	-75.00000000
Maximum Magnitude	6.60000000
Alquist-Priolo Fault Zone	No
Landslide	No
Liquefaction	No
Preliminary Fault Rupture Study Area	No
Tsunami Inundation Zone	No

Economic Development Areas

Business Improvement District	None
Hubzone	Not Qualified
Opportunity Zone	No
Promise Zone	None
State Enterprise Zone	None

Housing

Direct all Inquiries to	Housing+Community Investment Department
Telephone	(866) 557-7368
Website	http://hcidla.lacity.org
Rent Stabilization Ordinance (RSO)	No [APN: 4260038029]
Ellis Act Property	No
AB 1482: Tenant Protection Act	See Notes
Assessor Parcel No. (APN)	4260038029
Address	2460 PURDUE AVE
Year Built	1937
Use Code	0100 - Residential - Single Family Residence
Notes	The property is subject to AB 1482 only if the owner is a corporation, limited liability company, or a real estate investment trust.

Public Safety**Police Information**

Bureau	West
Division / Station	West Los Angeles
Reporting District	892

Fire Information

Bureau	West
Batallion	9
District / Fire Station	59
Red Flag Restricted Parking	No

CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number:	CPC-2018-7547-CPU
Required Action(s):	CPU-COMMUNITY PLAN UPDATE
Project Descriptions(s):	ADOPT COMMUNITY PLAN POLICY DOCUMENT, GENERAL PLAN AMENDMENTS, AND ZONE CHANGES TO APPLY RE-CODE LA ZONING.
Case Number:	CPC-2014-1457-SP
Required Action(s):	SP-SPECIFIC PLAN (INCLUDING AMENDMENTS)
Project Descriptions(s):	SPECIFIC PLAN AMENDMENT
Case Number:	CPC-2013-621-ZC-GPA-SP
Required Action(s):	ZC-ZONE CHANGE GPA-GENERAL PLAN AMENDMENT SP-SPECIFIC PLAN (INCLUDING AMENDMENTS)
Project Descriptions(s):	ZONE CHANGE AND PLAN AMENDMENT FOR THE IMPLEMENTATION OF THE EXPOSITION CORRIDOR TRANSIT NEIGHBORHOOD PLAN.
Case Number:	CPC-2005-8252-CA
Required Action(s):	CA-CODE AMENDMENT
Project Descriptions(s):	AN ORDINANCE ESTABLISHING PERMANENT REGULATIONS IMPLEMENTING THE MELLO ACT IN THE COASTAL ZONE.
Case Number:	ENV-2014-1458-EIR-SE-CE
Required Action(s):	EIR-ENVIRONMENTAL IMPACT REPORT SE-STATUTORY EXEMPTIONS CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	ENVIRONMENTAL IMPACT REPORT
Case Number:	ENV-2013-622-EIR
Required Action(s):	EIR-ENVIRONMENTAL IMPACT REPORT
Project Descriptions(s):	ZONE CHANGE AND PLAN AMENDMENT FOR THE IMPLEMENTATION OF THE EXPOSITION CORRIDOR TRANSIT NEIGHBORHOOD PLAN.
Case Number:	ENV-2005-8253-ND
Required Action(s):	ND-NEGATIVE DECLARATION
Project Descriptions(s):	AN ORDINANCE ESTABLISHING PERMANENT REGULATIONS IMPLEMENTING THE MELLO ACT IN THE COASTAL ZONE.

DATA NOT AVAILABLE

ORD-186402
ORD-186108
ORD-171492
ORD-171227
ORD-163205

06/09/2021

Generalized Zoning

ZIMAS PUBLIC



Zoning: R3-1
General Plan: Medium Residential

Tract: TR 5842
Block: 6
Lot: 29
Arb: None

Address: 2460 S PURDUE AVE
APN: 4260038029
PIN #: 123B153 518



City of Los Angeles Department of City Planning

6/9/2021

PARCEL PROFILE REPORT

PROPERTY ADDRESSES

2456 S PURDUE AVE

ZIP CODES

90064

RECENT ACTIVITY

None

CASE NUMBERS

CPC-2018-7547-CPU

CPC-2014-1457-SP

CPC-2013-621-ZC-GPA-SP

CPC-2005-8252-CA

ORD-186402

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ORD-171492

ORD-171227

ORD-163205

ENV-2014-1458-EIR-SE-CE

ENV-2013-622-EIR

ENV-2005-8253-ND

Address/Legal Information

PIN Number	123B153 493
Lot/Parcel Area (Calculated)	7,500.1 (sq ft)
Thomas Brothers Grid	PAGE 632 - GRID B7
Assessor Parcel No. (APN)	4260038030
Tract	TR 5842
Map Reference	M B 66-8
Block	6
Lot	30
Arb (Lot Cut Reference)	None
Map Sheet	123B153

Jurisdictional Information

Community Plan Area	Palms - Mar Vista - Del Rey
Area Planning Commission	West Los Angeles
Neighborhood Council	West Los Angeles Sawtelle
Council District	CD 11 - Mike Bonin
Census Tract #	2712.00
LADBS District Office	West Los Angeles

Planning and Zoning Information

Special Notes	None
Zoning	R3-1
Zoning Information (ZI)	ZI-2192 Specific Plan: West Los Angeles Transportation Improvement and Mitigation ZI-2490 Specific Plan: Exposition Corridor Transit Neighborhood Plan ZI-2452 Transit Priority Area in the City of Los Angeles ZI-2427 Freeway Adjacent Advisory Notice for Sensitive Uses
General Plan Land Use	Medium Residential
General Plan Note(s)	Yes
Hillside Area (Zoning Code)	No
Specific Plan Area	EXPOSITION CORRIDOR TRANSIT NEIGHBORHOOD PLAN
Subarea	None
Specific Plan Area	WEST LOS ANGELES TRANSPORTATION IMPROVEMENT AND MITIGATION
Subarea	None
Special Land Use / Zoning	None
Historic Preservation Review	No
Historic Preservation Overlay Zone	None
Other Historic Designations	None
Other Historic Survey Information	None
Mills Act Contract	None
CDO: Community Design Overlay	None
CPIO: Community Plan Imp. Overlay	None
Subarea	None
CUGU: Clean Up-Green Up	None
HCR: Hillside Construction Regulation	No
NSO: Neighborhood Stabilization Overlay	No
POD: Pedestrian Oriented Districts	None
RFA: Residential Floor Area District	None

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(*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

RIO: River In...mentation Overlay	No
SN: Sign District	No
Streetscape	No
Adaptive Reuse Incentive Area	None
Affordable Housing Linkage Fee	
Residential Market Area	High
Non-Residential Market Area	High
Transit Oriented Communities (TOC)	Tier 3
RPA: Redevelopment Project Area	None
Central City Parking	No
Downtown Parking	No
Building Line	None
500 Ft School Zone	No
500 Ft Park Zone	No

Assessor Information

Assessor Parcel No. (APN)	4260038030
APN Area (Co. Public Works)*	0.172 (ac)
Use Code	0100 - Residential - Single Family Residence
Assessed Land Val.	\$182,208
Assessed Improvement Val.	\$54,054
Last Owner Change	12/30/2019
Last Sale Amount	\$5,667,056
Tax Rate Area	67
Deed Ref No. (City Clerk)	649063
	484988
	418746
	4-588
	369665
	198058
	1454607
	0799034
Building 1	
Year Built	1937
Building Class	D5C
Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	1
Building Square Footage	1,114.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5
Rent Stabilization Ordinance (RSO)	No [APN: 4260038030]

Additional Information

Airport Hazard	None
Coastal Zone	None
Farmland	Area Not Mapped
Urban Agriculture Incentive Zone	YES
Very High Fire Hazard Severity Zone	No
Fire District No. 1	No
Flood Zone	Outside Flood Zone
Watercourse	No
Hazardous Waste / Border Zone Properties	No
Methane Hazard Site	None
High Wind Velocity Areas	No

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Special Grading Area (BOE Basic Grid Map A-13372) No

Wells None

Seismic Hazards

Active Fault Near-Source Zone

Nearest Fault (Distance in km)	1.780794
Nearest Fault (Name)	Santa Monica Fault
Region	Transverse Ranges and Los Angeles Basin
Fault Type	B
Slip Rate (mm/year)	1.00000000
Slip Geometry	Left Lateral - Reverse - Oblique
Slip Type	Moderately / Poorly Constrained
Down Dip Width (km)	13.00000000
Rupture Top	0.00000000
Rupture Bottom	13.00000000
Dip Angle (degrees)	-75.00000000
Maximum Magnitude	6.60000000
Alquist-Priolo Fault Zone	No
Landslide	No
Liquefaction	No
Preliminary Fault Rupture Study Area	No
Tsunami Inundation Zone	No

Economic Development Areas

Business Improvement District	None
Hubzone	Not Qualified
Opportunity Zone	No
Promise Zone	None
State Enterprise Zone	None

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Website	http://hcidla.lacity.org
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Assessor Parcel No. (APN)	4260038030
Address	2456 PURDUE AVE
Year Built	1937
Use Code	0100 - Residential - Single Family Residence
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Police Information

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Division / Station	West Los Angeles
Reporting District	892

Fire Information

Bureau	West
Battalion	9
District / Fire Station	59
Red Flag Restricted Parking	No

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Required Action(s):	SP-SPECIFIC PLAN (INCLUDING AMENDMENTS)
Project Descriptions(s):	SPECIFIC PLAN AMENDMENT
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Required Action(s):	ZC-ZONE CHANGE GPA-GENERAL PLAN AMENDMENT SP-SPECIFIC PLAN (INCLUDING AMENDMENTS)
Project Descriptions(s):	ZONE CHANGE AND PLAN AMENDMENT FOR THE IMPLEMENTATION OF THE EXPOSITION CORRIDOR TRANSIT NEIGHBORHOOD PLAN.
Case Number:	CPC-2005-8252-CA
Required Action(s):	CA-CODE AMENDMENT
Project Descriptions(s):	AN ORDINANCE ESTABLISHING PERMANENT REGULATIONS IMPLEMENTING THE MELLO ACT IN THE COASTAL ZONE.
Case Number:	ENV-2014-1458-EIR-SE-CE
Required Action(s):	EIR-ENVIRONMENTAL IMPACT REPORT SE-STATUTORY EXEMPTIONS CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	ENVIRONMENTAL IMPACT REPORT
Case Number:	ENV-2013-622-EIR
Required Action(s):	EIR-ENVIRONMENTAL IMPACT REPORT
Project Descriptions(s):	ZONE CHANGE AND PLAN AMENDMENT FOR THE IMPLEMENTATION OF THE EXPOSITION CORRIDOR TRANSIT NEIGHBORHOOD PLAN.
Case Number:	ENV-2005-8253-ND
Required Action(s):	ND-NEGATIVE DECLARATION
Project Descriptions(s):	AN ORDINANCE ESTABLISHING PERMANENT REGULATIONS IMPLEMENTING THE MELLO ACT IN THE COASTAL ZONE.

DATA NOT AVAILABLE

ORD-186402
ORD-186108
ORD-171492
ORD-171227
ORD-163205

06/09/2021

Generalized Zoning

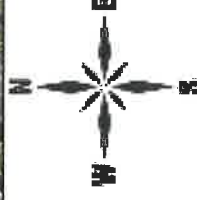
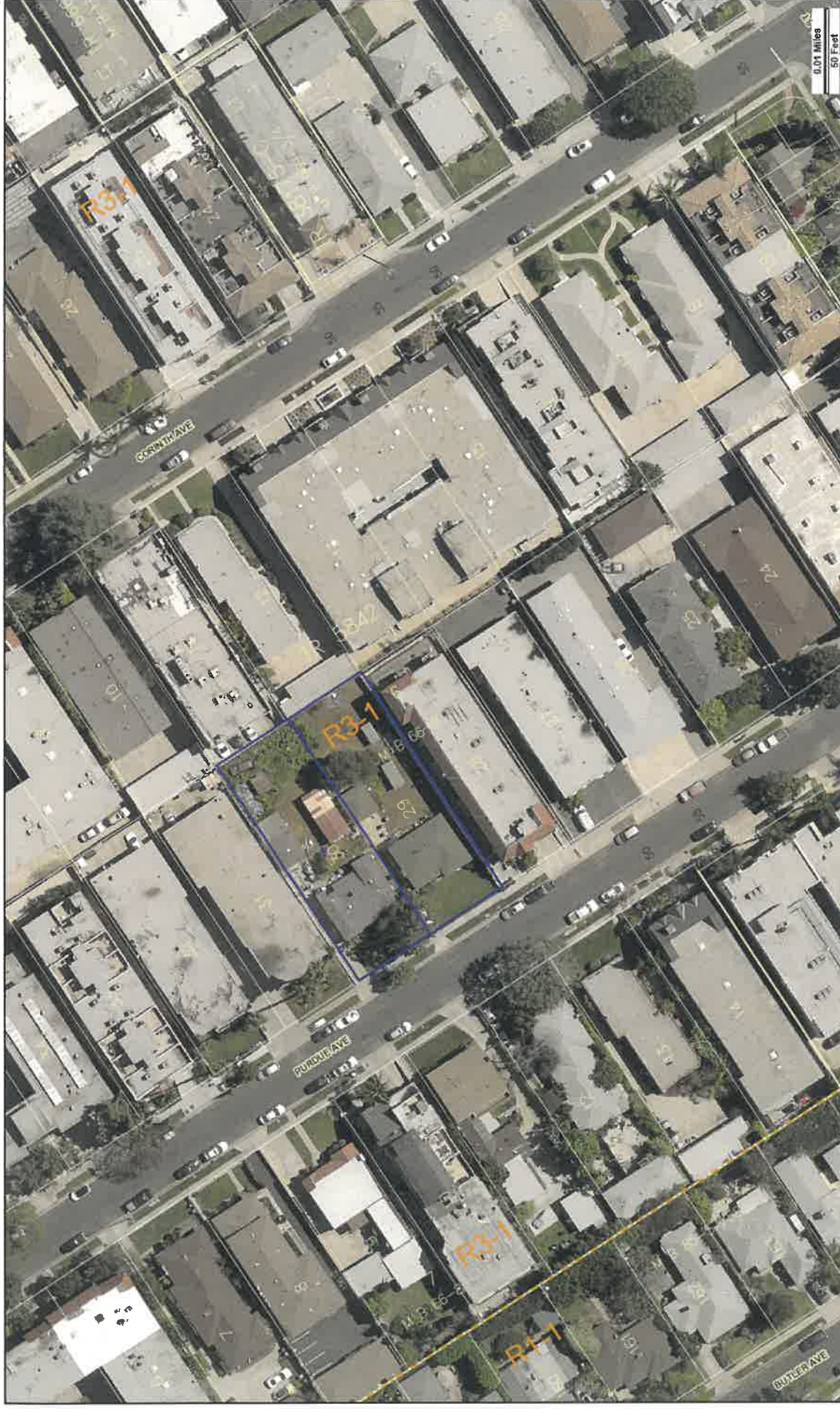
ZIMAS PUBLIC



Zoning: R3-1
General Plan: Medium Residential

Tract: TR 5842
Block: 6
Lot: 30
Arb: None

Address: 2456 S PURDUE AVE
APN: 4260038030
PIN #: 123B153 493



Zoning: R3-1
General Plan: Medium Residential

Tract: TR 5842
Block: 6
Lot: 30
Arb: None

Address: 2456 S PURDUE AVE
APN: 4260038030
PIN #: 123B153 493

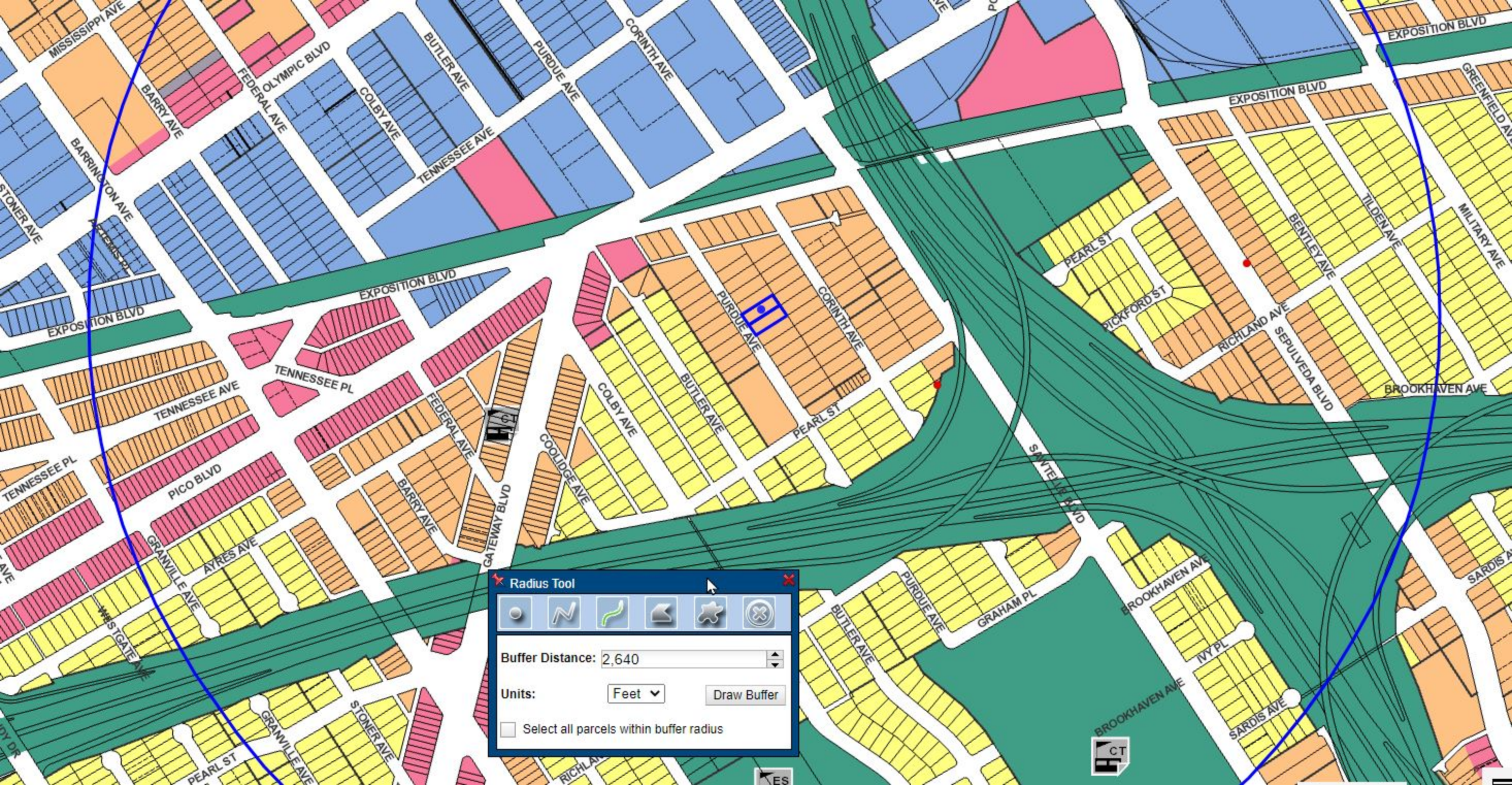


EXHIBIT E

Appeal Documents

E1– Application

E2– Justifications



APPLICATIONS:

APPEAL APPLICATION

Instructions and Checklist

Related Code Section: Refer to the City Planning case determination to identify the Zone Code section for the entitlement and the appeal procedure.

Purpose: This application is for the appeal of Department of City Planning determinations authorized by the Los Angeles Municipal Code (LAMC).

A. APPELLATE BODY/CASE INFORMATION

1. APPELLATE BODY

- ☐ Area Planning Commission ☐ City Planning Commission ☐ City Council ☐ Director of Planning
☐ Zoning Administrator

Regarding Case Number: _____

Project Address: _____

Final Date to Appeal: _____

2. APPELLANT

Appellant Identity:
(check all that apply)

- ☐ Representative ☐ Property Owner
☐ Applicant ☐ Operator of the Use/Site

- ☐ Person, other than the Applicant, Owner or Operator claiming to be aggrieved

- ☐ Person affected by the determination made by the **Department of Building and Safety**

- ☐ Representative ☐ Owner ☐ Aggrieved Party
☐ Applicant ☐ Operator

3. APPELLANT INFORMATION

Appellant's Name: _____

Company/Organization: _____

Mailing Address: _____

City: _____ State: _____ Zip: _____

Telephone: _____ E-mail: _____

a. Is the appeal being filed on your behalf or on behalf of another party, organization or company?

- ☐ Self ☐ Other: _____

b. Is the appeal being filed to support the original applicant's position? ☐ Yes ☐ No

4. REPRESENTATIVE/AGENT INFORMATION

Representative/Agent name (if applicable): _____

Company: _____

Mailing Address: _____

City: _____ State: _____ Zip: _____

Telephone: _____ E-mail: _____

5. JUSTIFICATION/REASON FOR APPEAL

a. Is the entire decision, or only parts of it being appealed? ☐ Entire ☐ Part

b. Are specific conditions of approval being appealed? ☐ Yes ☐ No

If Yes, list the condition number(s) here: _____

Attach a separate sheet providing your reasons for the appeal. Your reason must state:

- ☐ The reason for the appeal ☐ How you are aggrieved by the decision
☐ Specifically the points at issue ☐ Why you believe the decision-maker erred or abused their discretion

6. APPLICANT'S AFFIDAVIT

I certify that the statements contained in this application are complete and true:

Appellant Signature:  Date: August 10, 2022

GENERAL APPEAL FILING REQUIREMENTS

B. ALL CASES REQUIRE THE FOLLOWING ITEMS - SEE THE ADDITIONAL INSTRUCTIONS FOR SPECIFIC CASE TYPES

1. Appeal Documents

a. **Three (3) sets** - The following documents are required for each appeal filed (1 original and 2 duplicates)
Each case being appealed is required to provide three (3) sets of the listed documents.

- ☒ Appeal Application (form CP-7769)
☒ Justification/Reason for Appeal
☒ Copies of Original Determination Letter

b. Electronic Copy

- ☐ Provide an electronic copy of your appeal documents on a flash drive (planning staff will upload materials during filing and return the flash drive to you) or a CD (which will remain in the file). The following items must be saved as individual PDFs and labeled accordingly (e.g. "Appeal Form.pdf", "Justification/Reason Statement.pdf", or "Original Determination Letter.pdf" etc.). No file should exceed 9.8 MB in size.

c. Appeal Fee

- ☐ Original Applicant - A fee equal to 85% of the original application fee, provide a copy of the original application receipt(s) to calculate the fee per LAMC Section 19.01B 1.
☐ Aggrieved Party - The fee charged shall be in accordance with the LAMC Section 19.01B 1.

d. Notice Requirement

- ☐ Mailing List - All appeals require noticing per the applicable LAMC section(s). Original Applicants must provide noticing per the LAMC
☐ Mailing Fee - The appeal notice mailing fee is paid by the project applicant, payment is made to the City Planning's mailing contractor (BTC), a copy of the receipt must be submitted as proof of payment.

SPECIFIC CASE TYPES - APPEAL FILING INFORMATION

C. DENSITY BONUS / TRANSIT ORIENTED COMMUNITES (TOC)

1. Density Bonus/TOC

Appeal procedures for Density Bonus/TOC per LAMC Section 12.22.A 25 (g) f.

NOTE:

- Density Bonus/TOC cases, only the *on menu or additional incentives* items can be appealed.
- Appeals of Density Bonus/TOC cases can only be filed by adjacent owners or tenants (must have documentation), and always only appealable to the Citywide Planning Commission.
- ☐ Provide documentation to confirm adjacent owner or tenant status, i.e., a lease agreement, rent receipt, utility bill, property tax bill, ZIMAS, drivers license, bill statement etc.

D. WAIVER OF DEDICATION AND OR IMPROVEMENT

Appeal procedure for Waiver of Dedication or Improvement per LAMC Section 12.37 I.

NOTE:

- Waivers for By-Right Projects, can only be appealed by the owner.
- When a Waiver is on appeal and is part of a master land use application request or subdivider's statement for a project, the applicant may appeal pursuant to the procedures that governs the entitlement.

E. TENTATIVE TRACT/VESTING

1. Tentative Tract/Vesting - Appeal procedure for Tentative Tract / Vesting application per LAMC Section 17.54 A.

NOTE: Appeals to the City Council from a determination on a Tentative Tract (TT or VTT) by the Area or City Planning Commission must be filed within 10 days of the date of the written determination of said Commission.

- ☐ Provide a copy of the written determination letter from Commission.

F. BUILDING AND SAFETY DETERMINATION

- ☐ **1.** Appeal of the Department of Building and Safety determination, per LAMC 12.26 K 1, an appellant is considered the **Original Applicant** and must provide noticing and pay mailing fees.

a. Appeal Fee

- ☐ Original Applicant - The fee charged shall be in accordance with LAMC Section 19.01B 2, as stated in the Building and Safety determination letter, plus all surcharges. (the fee specified in Table 4-A, Section 98.0403.2 of the City of Los Angeles Building Code)

b. Notice Requirement

- ☐ Mailing Fee - The applicant must pay mailing fees to City Planning's mailing contractor (BTC) and submit a copy of receipt as proof of payment.

- ☐ **2.** Appeal of the Director of City Planning determination per LAMC Section 12.26 K 6, an applicant or any other aggrieved person may file an appeal, and is appealable to the Area Planning Commission or Citywide Planning Commission as noted in the determination.

a. Appeal Fee

- ☐ Original Applicant - The fee charged shall be in accordance with the LAMC Section 19.01 B 1 a.

b. Notice Requirement

- ☐ Mailing List - The appeal notification requirements per LAMC Section 12.26 K 7 apply.
- ☐ Mailing Fees - The appeal notice mailing fee is made to City Planning's mailing contractor (BTC), a copy of receipt must be submitted as proof of payment.

G. NUISANCE ABATEMENT

1. Nuisance Abatement - Appeal procedure for Nuisance Abatement per LAMC Section 12.27.1 C 4

NOTE:

- Nuisance Abatement is only appealable to the City Council.

a. Appeal Fee

- ☐ Aggrieved Party the fee charged shall be in accordance with the LAMC Section 19.01 B 1.

2. Plan Approval/Compliance Review

Appeal procedure for Nuisance Abatement Plan Approval/Compliance Review per LAMC Section 12.27.1 C 4.

a. Appeal Fee

- ☐ Compliance Review - The fee charged shall be in accordance with the LAMC Section 19.01 B.
- ☐ Modification - The fee shall be in accordance with the LAMC Section 19.01 B.

NOTES

A Certified Neighborhood Council (CNC) or a person identified as a member of a CNC or as representing the CNC may not file an appeal on behalf of the Neighborhood Council; persons affiliated with a CNC may only file as an individual on behalf of self.

Please note that the appellate body must act on your appeal within a time period specified in the Section(s) of the Los Angeles Municipal Code (LAMC) pertaining to the type of appeal being filed. The Department of City Planning will make its best efforts to have appeals scheduled prior to the appellate body's last day to act in order to provide due process to the appellant. If the appellate body is unable to come to a consensus or is unable to hear and consider the appeal prior to the last day to act, the appeal is automatically deemed denied, and the original decision will stand. The last day to act as defined in the LAMC may only be extended if formally agreed upon by the applicant.

This Section for City Planning Staff Use Only		
Base Fee:	Reviewed & Accepted by (DSC Planner):	Date:
Receipt No:	Deemed Complete by (Project Planner):	Date:
<input type="checkbox"/> Determination authority notified		<input type="checkbox"/> Original receipt and BTC receipt (if original applicant)

To: Faisal Roble, Principal City Planner
Faisal.Roble@lacity.org
Michelle Singh, Senior City Planner
Michell.singh@lacity.org
Connie Chauv, City Planner
Connie.chauv@lacity.org
Norali Martinez Maza, City Planning Associate
Norali.martinez@lacity.org

Department of City Planning
200 North Spring Street, Room 525
Los Angeles, CA 90012-4801

To: Linda Lou, City Planner
Commission Office – LA City Planning
Linda.lou@lacity.org
cc: Cecilia Lamas, Sr. Administrative Clerk
Cecilia.lamas@lacity.org

To: Applicant/Owner/Representative
Amir Mehdizadeh
8801 South Beverly Glen Blvd.
Los Angeles, CA 90024

Resident/Stakeholder's Opposition to Director's Determination
Case No. DIR-2021-5596-TOC-HCA, CEQA: ENV-2021-5597-
ENV-2013-622-EIR

Applicant/Owner/Representative
Aaron Belliston
BMR Enterprises
5250 Lankershim Blvd., Ste 500
Los Angeles, CA 91601

Case No. DIR-2021-5596-
TOC-HCA
CEQA: ENV-2021-5597-CE /
ENV-2013-622-EIR

Location: 2456-2460 South Purdue
Avenue

Council District: 11-Bonin

Neighborhood Council: West Los Angeles Sawtelle

Community Plan Area: Palms-Mar Vista-Del Rey Land

Use Designation: Medium Residential

Zone: R3-1

Legal Description: Lots 29-30, Block 6,
Tract 5842

For: Kathryn Schorr - Resident/Stakeholder in Opposition
2461-2463 ½ Purdue Avenue
Los Angeles, CA 90064
kakischorr@yahoo.com

By: Kelly Sayers Hamilton, Esq.
11796 Camino Ancho
San Diego, CA 92128
lawprofwoman@yahoo.com

Memorandum in Opposition to Director's Determination
Transit Oriented Communities Affordable Housing Incentive Program

August 8, 2022

Applicant/Owner/Representative
Amir Mehdizadeh
8801 South Beverly Glen
Los Angeles, CA 90024

Case No. DIR-2021-5596-
TOC-HCA
CEQA: ENV-2021-5597-CE/
ENV-2013-622-EIR

Location: 2456-2460 South Purdue
Avenue, LA CA 90064

Council District: 11-Bonin
Neighborhood Council: West Los Angeles Sawtelle
Community Plan Area: Palms-Mar Vista-Del Rey Land
Use Designation: Medium Residential
Zone: R3-1
Legal Description: Lot 29-30, Block 6, Tract TR5842

To: Norali Martinez Maza, City
Planning Associate
Norali.martinez@lacity.org
Department of City Planning
200 North Spring Street, Room 525
Los Angeles, CA 90012-4801

To: Applicant/Owner/Representative
Aaron Belliston
BMR Enterprises
5250 Lankershim Blvd., Suite 500 Los Angeles, CA 91601

FR: Kathryn Schorr- Resident/Stakeholder in Opposition
2461-2463 ½ Purdue Avenue
Los Angeles, CA 90064

Resident/Stakeholder's Opposition to Director's Determination
Case No. DIR-2018-3411-TOC, CEQA: ENV-2018-3412-CE

- I. Resident/Stakeholder in Opposition, Kathryn Schorr, ("Stakeholder in Opposition") is a resident-owner of adjacent property to 2465 Purdue Avenue, Los Angeles, California 90064 ("the Project") which Project is the subject of a Director's Determination ("Determination") granting certain "incentives" (discussed below) to Applicant/Owner/Representative, Amir Mehdizadeh ("Owner/Builder") whose representative Aaron Belliston is operating as: BMR Enterprises, 5250 Lankershim Blvd., Suite 500, Los Angeles, CA 91601. Said Resident / Stakeholder in Opposition owns property which is located at 2461-2463 ½ Purdue Avenue and is adjacent to the Project. The Resident/Stakeholder in Opposition hereby submits this Memorandum in Opposition to the Director's Determination dated per Norali Martinez, City Planner, as of July 28, 2022, pursuant to Los Angeles Municipal Code (LAMC) Section 12.22

A.31, Transit Oriented Communities Affordable Housing Incentive Program Guidelines ("TOC"), Residential Citywide Design Guidelines as well as California Environmental Quality Act, based on the following Director's erroneous findings:

II. Applicant/Owner/ Representative Ahmir Mehdizadeh, Aaron Belliston ("Owner/Builder") was given a "Directors Determination" ("Determination") in compliance with Transit Oriented Communities ("TOC") guidelines based on the following erroneous "Conditions of Approval":

- A. Project was erroneously slated as a "Tier 3" (Incentive Area Exemption Designation) but should be approved as a Tier 2. Said exemption is erroneous due to its failure to comply with the "One-half mile radius (2640 feet) proximity requirement around a MAJOR TRANSIT STOP" (Metro Exposition Line) as defined in subdivision (b) of section 2155 of the California Public Resources Code and provided in section II of the TOC guidelines. In actuality, said Project is in compliance with a Tier 2 compliance based on its proximity to the Metro Exposition Line.
- B. TOC Determination of California Environmental Quality Act ("CEQA"). Article 19, Class 32 exemption (Environmental Impact) is in error. (See discussion below regarding CEQA Guidelines, Section 153300.2, Article 19 (Class 32), Exception 15300.2 subsections (a) "cumulative impact" specifically: (1) Traffic, (2) Noise (3) Air quality.
(b) "unusual circumstances;" and (c) "scenic resources."
- C. The Project Fails to comply with Design Conformance- Section V: APPLICATION AND APPROVALS (4)- Design Conformance - specifically:

Projects seeking to obtain Additional Incentives shall be subject to applicable design guidelines, including any Community Plan design guidelines, Specific Plan design guidelines and/or Citywide Guidelines and may be subject to conditions to meet design conformance. The conditions shall not preclude the ability to construct the building with the residential density permitted by section VI.*

Specifically, Owner/Builder fails to comply with approximately 59 of 66 Citywide Design Guidelines, Community Plan Design Guidelines as well as West Los Angeles Transportation Impact Mitigation Plan including traffic impact testing criteria. (See Los Angeles Department of City Planning - CPC- Form 4046 "Residential-Citywide Design Guidelines 11/01/16 - Multi-Family Residential and Commercial Mix-Used Projects Checklist for Project Submittal Tier 3 of TOC guidelines - III sections 1-3 TOC -Affordable Housing Incentive Area.)

- D. **The Determination fails to address (after formal notice) the California Law Civil Code Title 25, Section 42.** Said law requires a manager, janitor, housekeeper, or other responsible person to live on the premises and have charge of every apartment complex that has sixteen (16) or more apartments units on the property if the property owner does not live on the premises.
- f. The Determination made an erroneous finding when it determined that the project adheres to the West Los Angeles Traffic Impact Mitigation Plan and the Los Angeles Department of Transportation guidelines (WLA TIMP and LADOT.) Where WLA TIMP Section 4, provides (among other requirements) Mitigation of Transportation Impacts to include in pertinent part:

(1) 42 or fewer Trips: *An Applicant for a Project which generates 42 or fewer*

Trips, as calculated by LADOT, shall make the applicable highway dedications and improvements as required by LADOT or guarantee them pursuant to the Department of Public Works' 8-permit procedures...

- (2) *43 or more Trips: An Applicant for a Project which generates 43 or more Trips, as calculated by LADOT, shall make the applicable highway dedications and improvements as required by LADOT or guarantee them pursuant to the Department of Public Works' 8-permit procedures...**
- (3) *LADOT shall require that mitigation measures be undertaken or guaranteed to reduce the Significant Transportation Impacts of a Project to a level of insignificance. If no feasible mitigation measures are available, LADOT may require reasonable measures to mitigate the adverse effects of the Significant Transportation Impacts of the Project. The mitigation measures may include but are not limited to the following:*

a. Transportation Demand Management (TOM) measures such as ridesharing and Vanpool programs, shuttle buses, transit subsidies, parking cash outs, staggered work hours and employee incentive programs that encourage Carpool and Vanpool usage as described in Subsection G.

b. Traffic signal system improvements.

c. Street widenings and dedications.

d. Construction of off-site improvements.

e. Land dedications.

f Residential Neighborhood Traffic Mitigation Program.

g. Guarantee of Mitigation Measures. Prior to the issuance of any building, grading or foundation permit, the Applicant shall do the following:

1. Guarantee the proposed mitigation measures required pursuant to Section 4 E of this Specific Plan, as determined by LADOT. The guarantees may only consist of one or more of the following: bonds for 8-permits on City streets; Encroachment Permits for State Highways; and cash payments for traffic signal systems such as ATSAC improvements.

2. Sign and record a covenant and agreement pursuant to Section 4 B of this Specific Plan. (West Los Angeles Transportation Improvement and Mitigation Specific Plan, pp. 9-10.)

3. The Determination allowing "Unbundling" of required parking on Purdue, sets a precedent which would create an adverse cumulative traffic impact adverse to CEQA guidelines and City Traffic Mitigation plans.

Specifically, such monetization of parking in a residential community exponentially incentivizes traffic flow (see Los Angeles Department of Transportation Traffic Analysis and study discussion below.) Nor does this "unbundling" take into account the impact on other similarly situated "unbundled" parking projects which are known to rent their parking spaces to commercial interests resulting in vastly increased trips throughout the day including 6:00 pm peak hour trips. Additionally, the traffic diversion as a result of WAZE and other

community- based traffic application devices currently send peak hour traffic down Purdue to avoid gridlock on Sawtelle, which diversion has already significantly increased daily trips down Purdue Avenue. This additional traffic continues to block driveways, create safety hazards for residents using sidewalks and creates a greater likelihood of delayed response times for emergency services.

III. Pursuant to projects identified as eligible for "Additional Incentives" subject to section VII of the TOC Guidelines, the "Determination" has erroneously identified Owner/Builder as having complied with the "Open Space, Height" incentives as follows:

- A. Open Space: Said "Determination" identifies a 25% reduction in open space for a "Tier 3" project. Notwithstanding the fact, as discussed above, said project does not qualify as "Tier 3, it reduces the open space from 4275 square feet to 3342 square feet of required open space but erroneously identifies the allowable reduction as "...providing useable open space as intended by the code." Specifically, said "Determination" fails to adequately describe what is considered "usable open space" therefore one can only assume (based on the proposed architectural plans) the "Determination" has concluded that the above-ground balconies and the concrete slab in the back of said property is "usable open space." This conclusion, however, is in opposition to the Los Angeles Municipal Code, which states:

For purposes of this subsection, usable open space shall mean an area which is designed and intended to be used for active or passive recreation... that "usable open space for each dwelling unit in the development, such space to be available and accessible to all residents of the development...

Useable open space may consist of private and/or common area as further defined and regulated herein. Parking areas, including access aisles, driveways, and required front and side yards...

Open space areas located above the first habitable room level, except as otherwise provided for herein, shall not qualify as usable open space.

(Information Bulletin P-ZC 2002-010 - Multiple Unit Development General Zoning Code Design Criteria for Multiple - Dwelling Development - Los Angeles Department Building Safety, pp. 6-7 of 8.)

There shall also be provided at least 10 square feet of indoor recreation space, and at least 50 square feet of usable open space for each dwelling unit in the development, such space to be available and accessible to all residents of the development. (Section 12.10.5 Los Angeles Municipal Code)

8. Height Requirement: Purdue Avenue is a R3-1 zoning designation with a 45-foot maximum height limit. Architectural plans for the instant project show a 56-foot building height with additional height allowance for mechanical equipment

and other unspecified structures located on the rooftop. This additional height violates "*Residential Citywide Design Guidelines*" Objective 1: Consider Neighborhood Context & Linkages & Site Design (.4) Relationship to Adjacent Buildings, which objective is in place to:

Ensure that new buildings are compatible in scale, massing, style, and/or architectural materials with existing structures in the surrounding neighborhood. In older neighborhoods, new developments should likewise respect the character of existing buildings with regards to height, scale, style, and architectural materials.

Therefore, at 67 feet in height (approximately six stories) this building would be nearly four times taller than twenty-five percent of all buildings and 22 feet taller than fifty percent of the buildings on Purdue Avenue and more than forty-feet taller than the remaining single-family residences and single-story multi-family dwellings on the street. Including the single-family residence directly across the street and the single-story multi-family dwelling directly across the street from the project.

The excessive height of this building as noted above, will cast shade, and block all sunlight to all properties to the north and west of said building. Furthermore, said shadow would block usable open space (yards) rendering said space unable to sustain its vibrant landscaping. This additional height violates "*Residential Citywide Design Guidelines*" Objective 1: Consider Neighborhood Context & Linkages & Site Design (.4) Relationship to Adjacent Buildings, which objective as stated above, is to "...provide a sensitive transition by maintaining a height compatible with adjacent buildings. Mitigate negative shade/shadow and privacy impacts..."

- C. Failure of Setback: The Determination letter states, "the project is consistent with the TOC Guidelines height incentive and setback requirements." Specifically, the letter identifies measurements and photographs from "Exhibit A" attached thereto, which measurements and photographs are clearly inconsistent with appropriate setback requirements beginning at 56-feet. Thus, the additional eleven feet of height incentives are not in fact 'setback' per TOC Guidelines "Height incentives."
- D. Given the proposed height of the instant project, the lack of "upper story setbacks" violates not only the above-described *Residential Citywide Design Guidelines* but is in direct contravention of CEQA air quality standards but is also in opposition to TOC Section VII: "Additional Incentives" (g) Height, ii. Transitional Height. 2. Tier 3 - which states in pertinent part:

The building height limit shall be stepped-back at a 45-degree angle as measured from a horizontal plane originating 25 feet above grade at the property line of the adjoining lot in the RWI Zone or more restrictive residential zone or Specific Plan subarea (See Exhibit.)

- E. Improper Class 32 Categorical Exemption Due to Failure to Meet Exception Criteria: Pursuant to *Class 32 Categorical Exemption-Los Angeles Department of City Planning Special Requirement Criteria and the State of California Public Resource Code, Division 13 Environmental*

Quality and the State of California Environmental Quality Act and CEQA Guidelines, Section 15300, A Class 32 Exemption based on a discretionary action such as the instant "Determination" in favor of the Applicant/ Builder, requires environmental review pursuant to CEQA. However, the CEQA Guidelines include a list of classes of projects which have been determined to not have a significant effect on the environment, also known as Categorical Exemptions. However, the project which is the subject of the instant "Determination" should not be exempt from said Guidelines due to the fact that the project fails to meet relevant exemption criteria pursuant to the provisions of CEQA and in fact would fail an appropriate environmental review as required by CEQA Guideline Section 15300.2.

Specifically, the Class 32 "Infill" Categorical Exemption (CEQA Guideline Section 15332, hereafter referred to as the Class 32 Exemption), exempts infill development within urbanized areas if it meets certain criteria. The class consists of environmentally benign infill projects that are consistent with the General Plan and Zoning requirements. (Which General Plan failures have already been discussed above.) This class is not intended for projects that would result in any significant traffic, noise, air quality, or water quality impacts. This exemption is not limited to any use type and may apply to residential, commercial, industrial, public facility, and/or mixed-use projects.

Furthermore, the Class 32 Exemption is not available for any project that requires mitigation measures to reduce potential environmental impacts to less than significant. Additionally, there are exceptions to the exemptions depending on the nature or location of the project, pursuant to CEQA Section 15300.2. For a proposed project to qualify, none of the following Exceptions can apply to the project:

- a. The project and successive projects of the same type in the same place will result in cumulative impacts.*

NOTE: Resident/Stakeholder in Opposition notes that this project and successive projects of its type would have an adverse cumulative impact on the environment to include:

1. Traffic: See argument discussing the adverse impact due to the "unbundling" of required parking (discussed above);
2. Noise: The above discussion regarding traffic would increase noise as well as the added population density with the close proximity to adjacent dwellings would increase noise.
3. Air quality: According to the City of Los Angeles Department of City Planning Zoning Information File (ZI NO 2427) Freeway Adjacent Advisory Notice - "All applicants filing a discretionary application for a new and/or expanded project located within 1,000 feet of a freeway shall, according to "Project Requirements" must be **in conformance to the Los Angeles General Plan (the "Plan") and is expected to adhere to the Citywide Design Guidelines ("Guidelines")**. As discussed above, the instant project has failed in numerous ways to conform to said Plan and Guidelines criteria.

Furthermore, as part of the "Clean Up Green Up" initiative, on April 26, 2016, the City Council amended Articles 5 and 9 of Chapter IX of the Los Angeles Municipal Code (L.A.M.C.) addressing sources of outside air in buildings and requiring all new mechanically ventilated

buildings located within 1,000 feet of the freeway to install air filtration media that provides a Minimum Efficiency Reporting Value (MERV) of 13 (Ordinance 184245).

b. There are unusual circumstances creating the reasonable possibility of significant effects.

V. Resident/Stakeholder in Opposition notes the following unusual circumstances which create a reasonable possibility of significant adverse effects:

1. The project is **miss-classified as TIER 3** and as such affords greater incentive allowances pursuant to TOC incentive Guidelines (discussed above);
2. The **project fails to comply with "Design Conformance"** guidelines (discussed above);
3. The project "Determination" **fails to address the requirement of on-site resident manager** pursuant to California Civil Code Title 25, Section 42 (discussed above);
4. The project **fails to adhere to the West Los Angeles Traffic Impact Mitigation Plan and the Los Angeles Department of Transportation Guidelines** (discussed above).
5. The project **fails to adhere to "Open Usable Space"** criteria as mandated by TOC Guidelines (discussed above).
6. The project **fails to provide for appropriate front and side yard set-back** criteria in opposition to "Objective 1, of the Residential Citywide Design Guidelines (discussed above);
7. The project **fails to provide appropriate side yard landscaping** in opposition to Objective 1, of the Residential Citywide Design Guidelines (discussed above);
8. The project **fails to meet the appropriate height requirement** in opposition to Objective 1, of the Residential Citywide Design Guidelines (discussed above);
9. The project **fails to meet the appropriate "setback height"** requirement in opposition to Objective 1, of the Residential Citywide Design Guidelines (discussed above);
10. The project may result in damage to scenic resources, including, but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within an officially designated scenic highway.

VI. Directors' Determination Aggrieves Appellant among other reasons as egregious Abuse of Discretion as follows:

A. Resident/Stakeholder in Opposition notes that based on the architectural plans for said project, the proposed basement parking will either destroy a historic fir tree (which overlooks the street with a majestic, in excess of a three story sweep) on Purdue Avenue, by cutting its root system to allow for said parking or, in the alternative, said parking plan will compromise the stability of said historic fir due to the obvious necessity of the cutting of the tree's root system to allow for the project's parking structure.

1. The project was also incorrectly described as being located approximately "2000 feet from the Expo/Sepulveda Metro Station of the Metro Exposition Line. When in fact, said property is over 2645 feet from said Metro Line. Therefore, said project is not in compliance with Tier 3 incentive criteria.
2. Additionally, but for the exception of one structure, the tallest building on Purdue Avenue is a single, three-story multi-family dwelling, which is built on three lots. Therefore, the description of said Project within the Determination letter as being, "similar in scale and size" to other dwellings on the street is grossly inaccurate, as there is not one other structure on Purdue Avenue nor the surrounding single-family home neighborhoods that is remotely similar in

scale or size. (See Exhibits A and B.)

3. Description of Surrounding Properties: As described in the Determination letter Purdue Avenue is described as having "one to six-story multi family residential buildings." When in fact, Purdue Avenue has primarily one to three-story residential buildings. Further, what is glaringly absent in said Determination Letter is the fact that not only is the southern end of Purdue Avenue zoned as R-1, (one-story, single-family dwellings) but the three adjacent streets are entirely zoned R1. Such designation to the west and south of Purdue Avenue would normally require a "step down" zoning designation of R2 which would require by definition lower building density. Accordingly, Purdue Avenue should in fact be designated as "R2" which zoning would disallow projects such as that under discussion herein.
4. TOC Incentives require on-sight "restricted affordable units" at minimum percentages per tier. Eligible projects receive incentives based on providing affordable housing units. While this project and others of its kind apparently receive approvals and incentives for affordable housing there is NO oversight or compliance mechanism to ensure that such affordable housing is in fact provided by the builder. Accordingly, the city's Systemic Code Enforcement Program inspection and compliance oversight for this and other aspects of such projects is woefully inadequate serving to benefit builders to the detriment of the neighborhoods they invade.

THEREFORE, based on the foregoing arguments, Resident/Stakeholder in Opposition requests that the Director's Determination in favor of the aforementioned Project be modified to conform to the applicable authorities as stated above, or in the alternative be suspended in its entirety.

Respectfully submitted,

Dated:

EXHIBIT F

Agency Correspondence

F1 – DCP Housing Services Unit- Transit Oriented Communities Referral

F2 – Department and Safety – Preliminary Zoning Assessment

F3 – Los Angeles Housing Department- Replacement Unit Determination

F4 – Bureau of Engineering

F5 – Geographic Project Planning Referral



REFERRAL FORMS:

TRANSIT-ORIENTED COMMUNITIES - REFERRAL FORM

LOS ANGELES CITY PLANNING DEPARTMENT

This form is to serve as a referral to the Department of City Planning Development Services Center for Affordable Housing case filing purposes (in addition to the required Department of City Planning Application and any other necessary documentation) and as a referral to HCIDLA, CRA, Building and Safety, or other City agency for project status and entitlement need purposes. This form shall be completed by the applicant and reviewed and signed by Department of City Planning staff prior to filing an application for a case or building permit. Any modifications to the content(s) of this form after its authorization by the Department of City Planning staff is prohibited. The Department of City Planning reserves the right to require an updated form for the project if more than **180** days have transpired since the approval date, or as necessary, to reflect project modifications, policy changes and/or amendments to the LAMC, local laws, and State laws.

CITY STAFF USE ONLY

Referral To: <input checked="" type="checkbox"/> Planning DSC - Filing <input type="checkbox"/> HCIDLA <input type="checkbox"/> DBS <input type="checkbox"/> Funding <input type="checkbox"/> SB35 <input type="checkbox"/> Other: _____	
NOTES: Applicant to verify tandem parking with project planner & LADBSS	
Planning Staff Name and Title Maidel Iuevano, Planning Assoc	Planning Staff Signature Maidel Iuevano
Date Approved 1/12/2021	Expiration Date 7/11/2021

I. Project Information – To be completed by applicant

1. PROJECT LOCATION/ ZONING

Project Address: 2456 - 2460 Purdue Ave. Los Angeles, CA 90064
 Applicant Name and Phone/Email: Aaron Belliston BMR Enterprises 323-839-4623 aaron@bmrla.com
 Assessor Parcel Number(s): 4260-038-030 and 4260-038-029
 Community Plan: Palms - Mar Vista - Del Rey Number of Lots: 2 Lot Size: 15,000.247 s.f.
 Existing Zone: R3-1 Land Use Designation: Medium Residential
☒ Specific Plan ☐ HPOZ ☐ DRB ☐ Enterprise Zone ☐ CRA ☐ CPIO
☐ Q-condition/ D-limitation/ T-classification (please specify): _____
☐ Other pertinent zoning information (please specify): _____
☒ Location of Major Transit Stop (please specify the intersection or metro stop): Sepulveda Blvd / Exposition Blvd.

II. Project Eligibility – To be completed by DCP Housing Services Unit Staff

2. TRANSPORTATION QUALIFIERS

Qualifier #1 (rail name & stop, ferry terminal or bus #): Metro E Line (Expo / Sepulveda)
 Service Interval # 1: _____ [420 min / # of trips]²
 Service Interval # 2: N/A [420 min / # of trips]

 Qualifier #2 (rail name & stop, ferry terminal or bus #): _____
 Service Interval # 1: N/A [420 min / # of trips]
 Service Interval # 2: _____ [420 min / # of trips]

 TOC Tier³: ☐ Tier 1 ☐ Tier 2 ☒ Tier 3 ☐ Tier 4 Planning Staff Initials: M.I.

¹ Per AB 744, A Major Transit Stop means a site containing an existing rail transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods. It also includes major transit stops that are included in the applicable regional transportation plan.

² This figure (420 minutes) is based on the total number of minutes during the peak hours of 6 am to 9 am as well as 3 pm to 7 pm.

³ If project is 100% affordable, it is eligible for the designated Tier to be increased by one.

III. Project Information (if applicant is requesting additional incentives) – To be completed by applicant

3. DESCRIPTION OF PROPOSED PROJECT

Construct new 6-story 27 Unit Apartment Building in TOC Tier 3 using the following incentives: 1. Increase in Number of Dwelling Units, 2. Parking Reductions to 0.5 Spaces per Unit, 3. FAR Increase of 50%. Additional Incentives: 1. Height - 22' Increase in Maximum Building Height, 2. Open Space - 25% Reduction, 3. Setback - 30% Reduction Side Yard Setback.

4. EXISTING USE

A. Describe Existing Development: 2456 S. Purdue - Single Family Dwelling, 2460 S. Purdue - Single Family Dwelling

Characteristic of existing use Dwelling Unit (DU), Commercial/ Industrial, or Other	Existing # of Units or Non-Residential SF	Existing # of Units or Non-Residential SF To Be Demolished	Proposed ⁴ # of Units or Non-Residential SF
Guest Rooms			
Studio			
One Bedroom			4
Two Bedrooms	2	2	2
Four Bedrooms			2
Five Bedrooms			19
Non-Residential Square Feet			
Other:			

B. Previous Cases Filed

	(1)	(2)	(3)
Case Number(s):			
Date Filed:			
Date Approved:			
End of Appeal Period:			
Environmental No.			

5. TYPE OF APPLICATION

- ☒ Transit-Oriented Communities (per TOC Guidelines) with **Base Incentives** filed in conjunction with another discretionary approval.
- ☒ Transit-Oriented Communities (per TOC Guidelines) with **Additional Incentives** (please specify, max of three):
 - 1) Height - 22' Increase in Maximum Building Height
 - 2) Open Space - 25% Reduction in Open Space
 - 3) Setback - 30% Reduction in Side Yard Setback
- ☐ If applicable, projects adhering to the Labor Standards in LAMC 11.5.11 may be granted two more **Additional Incentives** as listed in the TOC Guidelines (please specify):
 - 4)
 - 5)
- ☐ Site Plan Review per LAMC Sec. 16.05
- ☒ Specific Plan Project Permit Compliance per LAMC Sec. 11.5.7.C
- ☐ Community Design Overlay per LAMC Sec. 13.08
- ☐ Coastal Development Permit per LAMC Sec. 12.20.2 or 12.20.2.1
- ☐ Tract or Parcel Map per LAMC Sec. 17.00 or 17.50
- ☐ Other entitlements requested (please specify):

⁴ Replacement units, per AB 2556, shall be equivalent to the number of units and number of bedrooms of the existing development.

6. ENVIRONMENTAL REVIEW

- ☐ Environmental Review Not Required – Project is Ministerial.⁵ Please Explain: _____
- ☒ Not filed
- ☐ Filed (indicate case number): _____

7. HOUSING DEVELOPMENT PROJECT TYPE (please check all that apply):

- | | | |
|--|---|---|
| <input type="checkbox"/> For Sale | <input type="checkbox"/> Moderate Income | <input type="checkbox"/> Other (please describe): _____ |
| <input checked="" type="checkbox"/> For Rent | <input checked="" type="checkbox"/> Market Rate | _____ |
| <input checked="" type="checkbox"/> Extremely Low Income | <input type="checkbox"/> Mixed Use | _____ |
| <input type="checkbox"/> Very Low Income | <input type="checkbox"/> Senior | _____ |
| <input type="checkbox"/> Low Income | <input type="checkbox"/> Chronically Homeless | _____ |

8. DENSITY CALCULATION

A. Base Density: Maximum density allowable per zoning

Lot size	15,000	s.f. (a)
Minimum area per dwelling unit	800	s.f. of lot area per unit (b)
Units allowed by right (per LAMC)	18	units (c) [c = a/b, round down to whole number]
Base Density	19	units (d) [d = a/b, round up to whole number]

B. Maximum Allowable Density Bonus:

33 units (e)
[e = d x 1.5 (Tier 1), 1.6 (Tier 2), 1.7 (Tier 3), or 1.8 (Tier 4);
in RD Zones d x 1.35 (Tiers 1 and 2), 1.4 (Tier 3) or 1.45 (Tier 4);
round up to whole number]

C. Proposed Project: Please indicate total number of Units requested as well as breakdown by levels of affordability set by each category (HCD or HUD). For information on HCD and HUD levels of affordability please contact the Housing and Community Investment Department of Los Angeles (HCIDLA) at (213) 808-8843 or hcidla.lacity.org.⁶

	Total	HCD (State)	HUD (TCAC)
Market Rate	23	N/A	N/A
Managers Unit(s) - Market Rate	1	N/A	N/A
Extremely Low Income	3	3	
Very Low Income			
Low Income			
Moderate Income			
TOTAL # of Units Proposed	27 (f)		
TOTAL # of Affordable Housing Units	3 (g)		
Number of Density Increase Units	9 (h) [If f > c, then h = f - c; if f < c, then h = 0]		
Percent Density Increase Requested	42.10% (i) [i = 100 x (f/d - 1)]		
Percent of Affordable Set Aside	11% (j) [g/f, round down to a whole number]		

Other Notes on Units: _____

⁵ Ministerial Projects (aka, "By-Right") do not require any discretionary Planning approvals.

⁶ HCD (State) = Published affordability levels per California Department of Housing and Community Development. HUD (TCAC) = Published affordability levels per the United States Department of Housing and Urban Development.

9. **SITE PLAN REVIEW CALCULATION** An application for Site Plan Review may be required for projects that meet any of the Site Plan Review thresholds as outlined in LAMC Section 16.05.C. unless otherwise exempted per Section 16.05.D. For Transit Oriented Communities projects involving bonus units, please use the formula provided below to determine if the project meets the Site Plan Review threshold for unit count. If project meets the threshold(s) but qualifies under the exemption criteria per Section 16.05.D please confirm exemption with Department of City Planning's DSC Housing Unit.

18 units allowed by right (permitted by LAMC) – 2 existing units = 16 units

- ☐ YES, Site Plan Review is required, if proposed by right units minus existing units is equal to or greater than 50⁷
☒ NO, Site Plan Review is not required, if Base Density units minus existing units is less than 50
☐ Exempt (please specify): _____

10. INCENTIVES

A. Base Incentives (Please check all that apply)

- ☒ (1) Floor Area Ratio⁸:

	FAR (whichever is greater)
Tier 1	40% or 2.75:1 in commercial zone
Tier 2	45% or 3.25:1 in commercial zone
Tier 3	50% or 3.75:1 in commercial zone
Tier 4	55% or 4.25:1 in commercial zone
RD Zones or Specific Plans/Overlay Districts that Regulate FAR	45%, unless Tier 1
If Base FAR < 1.25:1	2.75:1
Greater Downtown Housing Incentive Area⁹	40%

Final Floor Area Ratio¹⁰

Required (per LAMC)
3:1

Proposed (per TOC)
4.5:1

- ☒ (2) Parking Reductions Allowed

Minimum Parking Requirements		
	Residential	Ground Floor Commercial
Tier 1	0.5 spaces per bedroom	10% Reduction
Tier 2	1 space per unit	20% Reduction
Tier 3	0.5 space per unit	30% Reduction
Tier 4	No parking requirements	40% Reduction
100% Affordable Housing	No parking requirements	

Total number of bedrooms 111
 Total number of residential units 27
 Non-residential Parking per code 0

Required (per LAMC)
 Final Residential Parking 14 per TOC
 Final Non-Residential Parking 0

Proposed (per TOC)
25
0

Other Parking Notes: _____

⁷ Site Plan Review may also be required if other characteristics of the project exceeds the thresholds listed in Sec. 16.05 of the LAMC.

⁸ Refer to TOC Guidelines Section VI.1.b. for exceptions

⁹ Calculated per LAMC 12.22 A.29(c)(1)

¹⁰ Refer to TOC Guidelines Section VI.1.b. for exceptions

B. Qualification for Additional Incentives: *(Please check only one)*

Minimum Required Restricted Affordable Housing Units, calculated as a percentage of the base density allowed on the date of the application.

Incentives	% Extremely Low Income	% Very Low Income	% Low Income
One	<input type="checkbox"/> 4%	<input type="checkbox"/> 5%	<input type="checkbox"/> 10%
Two	<input type="checkbox"/> 7%	<input type="checkbox"/> 10%	<input type="checkbox"/> 20%
Three	<input checked="" type="checkbox"/> 11%	<input type="checkbox"/> 15%	<input type="checkbox"/> 30%

C. Additional Incentives *(Please check selected incentives as qualified according to Section 9B)*

- | | <u>Required (per LAMC)</u> | <u>Proposed (per TOC)</u> |
|--|----------------------------|---------------------------|
| <input checked="" type="checkbox"/> (1) Yard/Setback (each yard counts as 1 incentive in Tiers 1 and 2; two yards count as 1 in Tiers 3 and 4) | | |
| <input type="checkbox"/> RAS 3 Yards (only for commercial zones – please specify numbers below, but only check this box) | | |
| <input type="checkbox"/> Front | _____ | _____ |
| <input type="checkbox"/> Rear | _____ | _____ |
| <input checked="" type="checkbox"/> Side (1) | 9'-0" | 6'-4" |
| <input type="checkbox"/> Side (2) | _____ | _____ |

	Side and Rear Yards
Tier 1	25%
Tier 2	30%
Tier 3	30% or depth of two yards
Tier 4	35% or depth of two yards
When Abutting R1 or More Restrictive Zones	No Reductions Allowed

- | | | |
|--|-------|-------|
| <input type="checkbox"/> (2) Lot Coverage | _____ | _____ |
| <input type="checkbox"/> (3) Lot Width | _____ | _____ |
| <input checked="" type="checkbox"/> (4) Height/ # of Stories | 45' | 67' |

	Height
Tier 1	11 feet for one story
Tier 2	11 feet for one story
Tier 3	22 feet for two stories
Tier 4	33 feet for three stories
Lots with Height Limits of 45 feet or less	Second and third additional stories must be stepped-back at least 15 feet from any frontage

Transitional Height (check one): ☐ Per LAMC ☐ Per TOC Guidelines¹¹ ☐ Not Applicable

- | | | |
|--|--------------------------|------------|
| <input checked="" type="checkbox"/> (5) Open Space | 4,325 s.f. | 3,244 s.f. |
| <input type="checkbox"/> (6) Density Calculation | _____ | _____ |
| <input type="checkbox"/> (7) Averaging (all count as 1 incentive – mark as many as needed) | | |
| FAR | <input type="checkbox"/> | |
| Density | <input type="checkbox"/> | |
| Parking | <input type="checkbox"/> | |
| Open Space | <input type="checkbox"/> | |
| Vehicular Access | <input type="checkbox"/> | |
| <input type="checkbox"/> (8) Public Facility Zone | _____ | _____ |

TOTAL # of Additional Incentives Requested: 3

Other Incentive Notes: _____

¹¹ Please provide elevations that show the 45 degree angle as allowed by the TOC guidelines to determine the allowed height.

11. COVENANT:

All Transit Oriented Communities projects are required to prepare and record an Affordability Covenant to the satisfaction of the Los Angeles Housing and Community Investment Department's Occupancy Monitoring Unit **before** a building permit can be issued. Please contact the Housing and Community Investment Department of Los Angeles (HCIDLA) at (213) 808-8843 or hcidla.lacity.org

12. REPLACEMENT UNITS:

AB 2222, as amended by AB 2556, requires that density bonus eligible projects replace any pre-existing affordable housing units on the project site. Replacement units include the following: *(Answer the following with "yes" if any of these items apply to what is **currently existing** on the site or "no" if they do not. Write in N/A if the item is not applicable to your project)*

- A. Units subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower or very low income? No
- B. Units occupied by lower or very low income households below 80% AMI per California Department of Housing and Community Development Department levels not already listed above? No
- C. Units subject to the Rent Stabilization Ordinance not already listed above? No
- D. Units that have been vacated or demolished in the last 5 years? No
- E. Per AB 2556, are the number of replacement units and number of bedrooms equivalent to that being demolished (as shown on Existing Development Table on page 2 above)? N/A

Disclaimer: This review is based on the information and plans provided by the applicant at the time of submittal of this form. Applicants are advised to verify any zoning issues such as height, parking, setback, and any other applicable zoning requirements with Building and Safety.



REFERRAL FORMS:

Preliminary Zoning Assessment

Referral between the Department of City Planning (DCP) and the Department of Building & Safety (DBS)

This form is to serve as an inter-agency referral for City Planning applications associated with Housing Development Projects consisting of residential-only development creating two or more dwelling units, Transitional Housing, Supportive Housing, or mixed-use development with at least two-thirds of the square footage dedicated to residential uses. This completed form shall be accompanied by plans signed by a DBS Plan Check engineer as part of a City Planning application.

INSTRUCTIONS: Preliminary Zoning Assessment Referrals

- 1. Appointments:** Each involved agency may require appointments to complete individual portions of this referral form. Please inquire with individual agency staff to determine whether an appointment is required.

After receiving a completed Preliminary Zoning Assessment Referral Form, an appointment to file a City Planning application at the Development Services Centers is also required and must be made via the City Planning website: <http://planning.lacity.org>.

- 2. Review Materials:** Review of the referral form by staff is intended to identify and determine compliance with City zoning and land use requirements necessary to achieve the proposed project. Materials submitted for Project Screening and the Preliminary Zoning Assessment must comply with the respective agency's criteria for submittal. Please consult the respective agency for specific submittal requirements.

- a. Project Screening:** Projects must be screened to determine whether a Preliminary Zoning Assessment is required. Screening will be conducted by City Planning staff prior to completion of a zoning Plan Check with the Department of Building & Safety. A site plan and floor plans are required to complete the screening.

- b. Preliminary Zoning Assessment:** Applicants will need to submit for zoning Plan Check with the Los Angeles Department of Building and Safety (LADBS) to ascertain if there are any zoning issues or necessary approvals associated with the project and site that should be resolved.

3. Contact Information:

<u>DOWNTOWN OFFICES:</u>	Department of Building and Safety, Metro Office 201 N. Figueroa St., 4 th Floor Los Angeles, CA 90012 Phone: (213) 473-3231 Website: http://www.ladbs.org	Department of City Planning DSC Preliminary Application Review Program (PARP) Unit Figueroa Plaza 201 N. Figueroa St., 5 th Floor Los Angeles, CA 90012 Email: planning.PARP@lacity.org
<u>VALLEY OFFICES:</u>	Department of Building and Safety, Van Nuys Office 6262 Van Nuys Blvd., Suite 251 Van Nuys, CA 91401	Department of City Planning DSC Metro Counter Figueroa Plaza 201 N. Figueroa St., 4 th Floor Los Angeles, CA 90012 http://planning.lacity.org
<u>WEST LA OFFICES:</u>	Department of Building and Safety, West Los Angeles Office 1828 Sawtelle Blvd. Los Angeles, CA 90025	Department of City Planning DSC Valley Counter Marvin Braude Building 6262 Van Nuys Blvd., Suite 251 Van Nuys, CA 91401 Phone: (818) 374-5050
		Department of City Planning DSC West Los Angeles Counter 1828 Sawtelle Blvd., 2nd Floor West Los Angeles, CA 90025 Phone: (310) 231-2598

Section I. Project Information - To be completed by applicant¹

1. PROJECT LOCATION, ZONING & LAND USE JURISDICTION

Project Address: 2456 and 2460 S. Purdue Ave. Los Angeles, CA 90064

Project Name (if applicable): _____

Assessor Parcel Number(s): 4260-038-030 and 4260-038-029

Legal Description (Lot, Block, Tract): Lots 29 and 30, Block 6 of TR 5842, Map Book 66, Page 8

Community Plan: Palms - Mar Vista - Del Rey Number of Parcels: 2.00 Lot Area: 15,000.00 s.f.

Current Zone(s) & Height District(s): R3-1 Land Use Designation: Medium Residential

Alley in rear: _____ ☒ Yes ☒ No

Coastal Zone: _____ ☐ Yes ☒ No

Downtown Design Guide Area: _____ ☐ Yes ☒ No

Enterprise Zone: _____ ☐ Yes ☒ No

Greater Downtown Housing Incentive Area: _____ ☐ Yes ☒ No

Hillside Area (Zoning): _____ ☐ Yes ☒ No

Site contains Historical features: _____ ☐ Yes ☒ No

Special Grading Area (BOE) Area: _____ ☐ Yes ☒ No

Very High Fire Hazard Severity Zone Area: _____ ☐ Yes ☒ No

☒ Specific Plan: Exposition Corridor Transit Neighborhood Plan

☐ Historic Preservation Overlay Zone (HPOZ): N/A

☐ Design Review Board (DRB): N/A

☐ Redevelopment Project Area: N/A

☐ Overlay Zone (CPIO/CDO/POD/NSO/RIO/CUGU/etc.): N/A

☐ Q-condition/ D-limitation/ T-classification (ordinance + subarea): N/A

☐ Legal (Lot Cut Date) N/A

☐ Related City Planning Cases N/A

☐ ZI ZI-2452 Transit Priority Area City of LA, ZI-2427 Freeway Adjacent - Sensitive Uses, ZI- Specific Plan

☐ Affidavits N/A

☐ Easements N/A

☒ TOC Tier (must be verified by City Planning, Housing Services) Tier 3

2. PROJECT DESCRIPTION

Project Description/Proposed Use: Construct (N) 6 story 27 Unit Apartment Building in TOC Tier 3 using the following

incentives: 1. Increase in Number of Dwelling Units, 2. Parking Reductions to 0.5 Spaces per Unit, 3. FAR increase to 50%.

Additional Incentives: 1. Height - 22' Increase in Maximum Building Height, 2. Open Space - 25% Reduction, 3. Setback - 30%

Increase in Front Yard and Side Yard Setback, counts as one.

No. of Stories: 6.00 No. of Dwelling Units: 27 Floor Area: 45,599.67

Existing Use/No. of Units: 2 Single Family Homes

Permanent Supportive Housing (LAMC Sec. 14.00) ☐ Yes ☒ No UDU (LAMC Sec. 14.00) ☐ Yes ☒ No

3. APPLICANT INFORMATION

Name: Daniel Pourbaba

Phone: (323) 951-0242

Email: daniel@properdevelopment.com

4. REPRESENTATIVE INFORMATION

Name: Aaron Belliston - BMR Enterprises

Phone: 323-839-4623

Email: aaron@bmrla.com

¹ All fields in this form must be completed. If an item is not applicable, write N/A.

Section II. Project Screening - To be completed by applicant and verified by DCP staff

If a project meets any one (1) of the following criteria, then the project is a Housing Development Project, and Section III is required and must be completed by LADBS staff. If none of the criteria below applies, then the project is not a Housing Development Project and does not require Section III of this form to be completed prior to filing a City Planning application.

Screening Criteria (To be Determined by DCP staff)	Please Write: Yes or No
(a) The residential-only housing development project creates 2 units or more	Yes
(b) Mixed-use developments consisting of residential and nonresidential uses with at least two-thirds of the square footage designated for residential use.	No
(c) Transitional Housing	No
(d) Supportive Housing	No

NOTES:

DCP Staff Name and Title

Maritza Lee, City Planning Associate

DCP Staff Signature

Maritza Lee

Date

10/21/2020

Section III. Preliminary Zoning Assessment - To be completed by DBS Staff

Item No.	Zoning Standard	Proposed	Required/Allowed	Standard Met	Applicable Section No. ¹	Comment/ Description/ Factor/ Ratio
1	Use	Apartment/ Garage	Apartment/ Garage	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	12.10A	<input type="checkbox"/> Conditional Use (LAMC Sec. 12.24) for


¹ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

Item No.	Zoning Standard	Proposed	Required/Allowed	Standard Met	Applicable Section No.	Comment/ Description/ Factor/ Ratio
2	Height	67'	67'	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.22A.31	<input type="checkbox"/> Transitional Height applies (12.21.1-A.10) <input type="checkbox"/> Commercial Corner Development/Mini-Shopping Center height applies (12.22-A.23(a)(1))
3	No. of Stories	6	Not limited in stories	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.21.1 (if code prevails)	
4	Base FAR (Floor Area Ratio)	4.12: 1	3: 1	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A	12.21.1A.1	
5	Bonus FAR (Floor Area Ratio)	4.12: 1	4.5: 1	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.22A.31	
6	RFAR (Residential Floor Area Ratio)			<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		

Item No.	Zoning Standard	Proposed	Required/Allowed	Standard Met	Applicable Section No.	Comment/ Description/ Factor/ Ratio
7	By-right Density	27 units	19 units	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A	12.10 C. 4	Density Factor: $\frac{1}{800}$ <input type="checkbox"/> Site Plan Review (16.05) / Major Project CUP (12.24-U.14)
8	Bonus Density	27 units	33 units	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.22A.31	
9	Setback (Front)	10.5' (15.5' after highway dedication)	Within 5' of Preexisting Setback (19.6')	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	12.10C.2 Specific Plan	Lot Line Location (Street): Lot Line Location (Street):
10	Setback (Side)		9'	<input type="checkbox"/> YES <input type="checkbox"/> NO	12.10C.2	<input type="checkbox"/> Offset/plane break met (if applicable)
11	Setback (Rear)		15'	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.10C.3	
12	Building Line			<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	Per Ordinance No.:	

Item No.	Zoning Standard	Proposed	Required/Allowed	Standard Met	Applicable Section No.	Comment/ Description/ Factor/ Ratio
13	Parking (automobile)	Residential: 25 Non-Residential:	Residential: 14 Non-Residential:	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.22 A. 31	Design standards met: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
14	Parking (bicycle)	Long-term: 30 Short-term: 3	Long-term: 27 Short-term: 3	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.21 A. 16	Facility standards met: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Location standards met: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
15	Open Space	Total (s.f.): 3,375 sf Common (s.f.): 3,375 Private (s.f.):	Total: 2,992.5 sf Common: 1,496 sf Private:	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.21-G (if code prevails) 12.22 A. 31	Units/Habitable Room <3: 6 =3: >3: 21 Dimensions met: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
16	Retaining Walls in Special Grading Areas	Max Height: Max Quantity:	Max Height: Max Quantity:	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	12.21-C.8 (if code prevails)	

Item No.	Zoning Standard	Proposed	Required/Allowed	Standard Met	Applicable Section No.	Comment/ Description/ Factor/ Ratio
17	Grading (Zoning & Planning limitations)			<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
18	Lot Coverage	64.45%	80% max	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	Specific Plan	
19	Lot Width	100'	50'	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.10C.4	
20	Space between Buildings			<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	12.21-C.2(a) (if code prevails)	
21	Passageway	18'	18'	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.21-C.2(b) (if code prevails)	
22	Location of Accessory Buildings			<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	12.21-C.5 (if code prevails)	
23	Loading Area			<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		

Item No.	Zoning Standard	Proposed	Required/Allowed	Standard Met	Applicable Section No.	Comment/ Description/ Factor/ Ratio
24	Trash & Recycling	60sf	60sf	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.21-A.19	
25	Commercial Corner Development/ Mini-Shopping Center			<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	12.22-A.23 (if code prevails)	<input type="checkbox"/> Exempt
26	Landscape	Conformance determined by Los Angeles City Planning				
27	Private Street	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
	Other (use additional sheet(s) attached)	See additional sheets, if applicable				Additional Sheet(s) attached: <input type="checkbox"/> YES <input type="checkbox"/> NO
NOTES:						
DBS Staff Name and Title			DBS Staff Signature		Date	
Ph Nguyen - Structural Engineer-Associate					05/11/2021	

ADDITIONAL ZONING AND LAND USE STANDARDS REVIEWED - to be completed by DBS Staff


Item No.	Zoning Standard	Proposed	Required/Allowed	Standard Met	Standard Section No.	Comment/ Description/ Factor/ Ratio
				<input type="checkbox"/> YES <input type="checkbox"/> NO		
				<input type="checkbox"/> YES <input type="checkbox"/> NO		
				<input type="checkbox"/> YES <input type="checkbox"/> NO		
				<input type="checkbox"/> YES <input type="checkbox"/> NO		
				<input type="checkbox"/> YES <input type="checkbox"/> NO		
				<input type="checkbox"/> YES <input type="checkbox"/> NO		



Eric Garcetti, Mayor
Rushmore D. Cervantes, General Manager

DATE: October 19, 2020

TO: Camden Holdings LLC, a California limited liability company, as to an undivided 85% interest, JAM Capital Real Estate, LLC, a California limited liability company, as to an undivided 13.25% interest, and Daniel Pourbaba, a single man, as to an undivided 1.76%, as Tenants in Common, Owner

FROM: Marites Cunanan, Senior Management Analyst II 
Los Angeles Housing and Community Investment Department

SUBJECT: **Housing Crisis Act of 2019 (SB 330)**
(TOC) Replacement Unit Determination
RE: 2456 S. Purdue Ave., Los Angeles, CA 90064
2460 S. Purdue Ave., Los Angeles, CA 90064

Based on the Application for a Replacement Unit Determination (RUD) submitted by Aaron Belliston of BMR Enterprises (Owner Representative) on behalf of Camden Holdings LLC, a California limited liability company, as to an undivided 85% interest, JAM Capital Real Estate, LLC, a California limited liability company, as to an undivided 13.25% interest, and Daniel Pourbaba, a single man, as to an undivided 1.76%, as Tenants in Common (Owner), for the above referenced property located at 2456-2460 S. Purdue Ave., Los Angeles, CA 90064 (APNs: 4260-038-029, 4260-038-030) (Property) the Los Angeles Housing and Community Investment Department (HCIDLA) has determined that two (2) units (as detailed below) are subject to replacement pursuant to the requirements of the Housing Crisis Act of 2019 (SB 330).

PROJECT SITE REQUIREMENTS:

SB 330 prohibits the approval of any proposed housing development project on a site that will require the demolition of existing residential dwelling units or occupied or vacant "Protected Units" unless the proposed housing development project replaces those units as specified below. The replacement requirements below are applicable only to those proposed housing development projects that submit a complete application pursuant to California Government Code Section 65943 to the Department of City Planning on or after January 1, 2020.

Replacement of Existing Residential Dwelling Units.

The proposed housing development project shall provide at least as many residential dwelling units as the greatest number of residential dwelling units that existed on the project site within the past 5 years.

Replacement of Existing or Demolished Protected Units.

The proposed housing development project must also replace all existing or demolished "Protected Units." Protected Units are those residential dwelling units that are or were within the 5 years prior to the owner's application for a Replacement Unit Determination: (1) subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower or very low income, (2) subject to any form of rent or price control through a public entity's valid exercise of its police power within the 5 past years, (3) **occupied by lower or very low income households (an affordable Protected Unit)**, or (4) that were withdrawn from rent or lease per the Ellis Act, within the past 10 years.

Whether a unit qualifies as an affordable Protected Unit, is primarily measured by the income level of the occupants (i.e. W-2 forms, tax return, pay stubs etc.). In the absence of occupant income documentation, affordability will default to the percentage of extremely low, very low, and low income renters in the jurisdiction as shown in the latest

HUD Comprehensive Housing Affordability Strategy (CHAS) database, which is presently at 32% extremely low income, 19% very low income and 19% low income for Transit Oriented communities (TOC) projects and 51% very low income and 19% low income for Density Bonus projects. The remaining 30% of the units are presumed above-low income and if subject to the Rent Stabilization Ordinance (“RSO”), must be replaced in accordance with the RSO. All replacement calculations resulting in fractional units shall be rounded up to the next whole number.

Relocation, Right of Return, Right to Remain for Occupants of Protected Units.

SB 330 also provides the right of first refusal for comparable units (i.e. same bedroom type) in the owner’s proposed new housing development to occupants of Protected Units. Therefore, for occupied units, the replacement units must be of the same bedroom type of the units demolished. The comparable replacement units must be provided at a rent or sales price affordable to the same or lower income category. Occupants of Protected Units also are entitled to receive relocation to state or local law, whichever provides greater assistance and the right to remain in their unit until 6 months before the start of construction.

THE PROPOSED HOUSING DEVELOPMENT PROJECT:

Per the statement received by HCIDLA on June 10, 2020, the Owner plans to construct a twenty-seven (27) unit apartment on the Property pursuant to Transit Oriented Communities (TOC) Guidelines.

PROPERTY STATUS (AKA THE “PROJECT SITE”):

Owner submitted an Application for a RUD for the Property on June 10, 2020. In order to comply with the required **10** year look back period, HCIDLA collected and reviewed data from June 2010 to June 2020.

Review of Documents:

Pursuant to the Grant Deed, Owner acquired the Property on December 30, 2019.

Google Earth, Google Street View, and an internet search confirm that there are two single family dwellings on the Property.

Department of City Planning (ZIMAS), County Assessor Parcel Information (LUPAMS), DataTree database, Billing Information Management System (BIMS) database, and the Code, Compliance, and Rent Information System (CRIS) database indicate a use code of “0100-Single Family Dwelling” for 2456 S. Purdue Ave. The Rent Stabilization Ordinance (RSO) Unit confirms that the property is a single family dwelling not subject to the RSO.

Department of City Planning (ZIMAS), County Assessor Parcel Information (LUPAMS), DataTree database, Billing Information Management System (BIMS) database, and the Code, Compliance, and Rent Information System (CRIS) database indicate a use code of “0100-Single Family Dwelling” for 2460 S. Purdue Ave. The Rent Stabilization Ordinance (RSO) Unit confirms that the property is a single family dwelling not subject to the RSO.

The Los Angeles Department of Building and Safety database indicates that the Owner has applied for Demolition Permits # 20019-30000-02659 and 20019-30000-02662 (permits not issued yet), but has not applied for any Building Permit yet.

REPLACEMENT UNIT DETERMINATION:

The Existing Residential Dwelling Unit at the Property:

ADDRESS	BEDROOM TYPE	“PROTECTED?”	BASIS OF “PROTECTED” STATUS
2456 S. Purdue Ave.	2 Bedrooms	Yes	Affordable Protected Unit

2460 S. Purdue Ave.	2 Bedrooms	Yes	Affordable Protected Unit
Totals: 2 Units	4 Bedrooms		

Pursuant to (SB 330), where incomes of existing or former tenants are unknown, the required percentage of affordability is determined by the percentage of extremely low, very low, and low income rents in the jurisdiction as shown in the HUD Comprehensive Housing Affordability Strategy (CHAS) database. At present, the CHAS database shows 32% Extremely Low (Below 31% Area Median Income [AMI]), 19% Very Low ([31% to 50% AMI]), and 19% Low ([51% to 80% AMI]) renter households for Los Angeles (for a total of 70%). The balance of these unit(s) (i.e. 30%) are presumed to have been occupied by persons and families above-lower income.

Number of Existing Residential Dwelling Units and Protected Units within five (5) years of Owner's application:	2
Number of Protected Units Ellised within the last (10) years:	0
Number of Affordable Replacement Units required per CHAS:	2
2 Units x 70%	
32% Extremely Low	
19% Very Low	
19% Low	0 Units
Number of Unit(s) presumed to be above-lower income subject to replacement:	0

For Rental:

No income documents were provided for the two (2) residential unit(s). Pursuant to CHAS, two (2) unit(s) need to be replaced with equivalent type, with one (1) unit restricted to Extremely Low Income Households, and one (1) unit restricted to Very Low Income Households.

Per the Owner's statement, the property has two single family dwellings on the site, and were owner occupied at the time of purchase before becoming vacant. No response was received for the tenant income verification letters that were mailed to the properties addresses.

On October 16, 2020, a SoCal Gas representative verified that there has been no active customer for either addresses 2456 S. Purdue Ave. or 2460 S. Purdue Ave. since January 2020, and the service has been abandoned since. This indicates that the units were vacant at the time of application.

Please note that all the new units may be subject to RSO requirements unless the RSO is not applicable, or an RSO Exemption is filed and approved by the RSO Section. This determination is provisional and subject to verification by the RSO Section.

This RUD only applies if the proposed project is a rental TOC project and NOT condominiums. In the event the project changes to condominiums, the owner needs to request a RUD amendment to reflect 100% replacement of the units. In addition, if the project is changed from TOC to Density Bonus, a RUD amendment will also be required.

****WARNING****

LOT TIES AND EXISTING PRE-1978 SINGLE FAMILY DWELLING ON ONE LOT

ISSUE:	Is a LOT TIE required for the NEW proposed housing development project?
IF NO:	Owner's existing Rent Stabilization (RSO) replacement obligation, if any, remains the SAME as above.
IF YES:	Owner's existing RSO replacement obligation, if any, will INCREASE by one and the proposed housing development project will also be subject to the RSO, unless the existing single family dwelling is demolished before the lots are tied.

NOTE: This determination is provisional and is subject to verification by HCIDLA's Rent Division.

If you have any questions about this RUD, please contact Doris Kwok at doris.kwok@lacity.org

cc: Los Angeles Housing and Community Investment Department File
Camden Holdings LLC, a California limited liability company, as to an undivided 85% interest,
JAM Capital Real Estate, LLC, a California limited liability company, as to an undivided 13.25%
interest, and Daniel Pourbaba, a single man, as to an undivided 1.76%, as Tenants in Common,
Owner
Planning.PARP@lacity.org, Department of City Planning

MAC:dk

PLANNING CASE REFERRAL FORM (PCRF)

City of Los Angeles, Bureau of Engineering (BOE) / Department of City Planning (DCP)

Reference Number: 202000318

Part I. To be Completed by Applicant

DCP Case Number

Applicant	BMR Enterprises	Address	5250 Lankershim Blvd Suite 500 Los Angeles, CA 91601
Phone	3238394623	Email	Aaron@bmrlla.com
Owner	Daniel Pourbaba	Address	8271 Melrose Ave. Ste 207 Los Angeles, CA 90046
Project Address	2456 and 2460 S. Purdue Ave.	APN	4260-038-030 and 4260-038-029
Engineering District	West LA		

Project description (attach ZIMAS map with highlighted parcel(s))

Lots 29 and 30, Block 6 in TR 5842, Proposed 27 unit apartment building in TOC Tier 3

Is there a tract or parcel map being filed in conjunction with this:

[] Yes [**X**] No

If yes, Tract Map No. _____

Parcel Map No. _____

Has the Tract/Parcel report been prepared and submitted to DCP by BOE

[] Yes [**X**] No

If yes, please refer to the Tract or Parcel map conditions, if not, then

Is any part of this project on a corner lot?

[] Yes [**X**] No

Part II. To be Completed by BOE Staff

What is/are the street classification(s) for the adjacent streets (list all)?

Purdue Ave - Standard Local Street

Does the project front an intersection of two major or secondary highways? ☐ Yes ☒ No

If yes, additional dedication may be required for dual left-turn pockets. If no, how far is the project from the nearest major/secondary intersection? Additional dedication may be required if within the standard flare section. Dedication and improvements are to be consistent with Standard Street Dimensions. See [Standard Plan S-470-1](#).

Apparent width of existing half right of way (street centerline to property line): Purdue Ave - 25 ft

Standard dimension for half right of way (from S-470-1), (street centerline to property line): Purdue Ave - 30-ft ft

Apparent width of existing half roadway (street centerline to curb face): Purdue Ave - 14.55-ft ft

Standard street dimension for half roadway (street centerline to curb face): Purdue Ave - 18-ft ft

Is the lot connected to the sewer? ☒ Yes ☐ No

Distance from subject lot to nearest main line sewer _____ ft

Is the subject lot(s) within the hillside ordinance boundary? ☐ Yes ☒ No

Preliminary Required Improvements:

Planning Case Referral Form Recommendation:

Dedication Required: ☒ Yes ☐ No

Street Widening Required: ☒ Yes ☐ No

Other Improvements Required: ☒ Yes ☐ No

If yes, please list preliminary required improvements:

Dedicate 5- ft along the property street frontage to complete the 30-ft half Purdue Ave right-of-way. Widen and improve the existing 14.55-ft half roadway to 18-ft along property frontage with construction of new asphalt pavement, new integral concrete curb and 2-ft gutter, and full width concrete sidewalk (ADA) to abut the new property line. Close all unused driveways (with full width sidewalk, new integral concrete curb and 2-ft gutter). All non-standard improvements and encroachments located in the public right-of-way must be removed or permitted under a Revocable permit. Install street trees to the satisfaction of the Urban

Forestry Division of the Bureau of Street Services. Install street lights as required by the Bureau of Street Lighting. All improvements shall be to the satisfaction of the City Engineer. This planning case referral form is only a preliminary recommendation by Bureau of Engineering and is not to be used as official requirements of Bureau of Engineering.

NOTE: The information on this PCRF is only a "preliminary recommendation" by BOE, which provides the applicant with a general understanding of what **may** be required by BOE. If the PCRF Recommendations for Dedication or Street Widening is marked "Yes", a formal investigation and engineering report will be required. The engineering report will be provided after submittal of all documentation and payment of fees. Measurements and statements contained herein may be adjusted in the engineering report.

Street Trees: If the PCRF Recommendation for Street Widening is marked "Yes", Street tree removals may be required. All street tree removals must be approved by the Board of Public Works. Applicant shall contact the Urban Forestry Division at (213) 847-3077 before proceeding with the Master Land Use Application.

In all cases, the Applicant will be required to close any unused driveways; remove and reconstruct broken, off-grade, or bad order concrete curb, gutter, driveways or sidewalk,; and install/replace public improvements, such as driveway aprons and access ramps, to meet ADA requirements.

Applicants with PCRF Recommendation of "Yes" for Dedication or Street Widening are advised to submit the following documents and pay the BOE investigation fee.

1. BOE investigation fee.
2. Two (2) copies of the Planning Master Land Use Application.
3. Two (2) copies of the project site plan.
4. Two (2) copies of the radius map.
5. Picture of the existing building, sidewalk, curb, and gutter.

Due to the possible implications that dedications and improvements may have on the development of a project, applicants that do not pay the BOE investigation fee for the preparation of a detailed engineering report may have their application placed on hold until such information is provided. Questions and concerns regarding the engineering report may be presented at the hearing.

Prepared by: Nikta Mousavi

Date: 06/19/2020



REFERRAL FORMS:

GEOGRAPHIC PROJECT PLANNING REFERRAL

APPLICABILITY: This form, completed and signed by appropriate Planning Staff, must accompany any application submitted to the Department of City Planning regarding any of the following proposed project types:

- Specific Plan area
- Community Design Overlays (CDO)
- Neighborhood Oriented District (NOD)
- Sign District (SN)
- Zone Change
- Design Review Board (DRB)
- Pedestrian Oriented District (POD)
- Community Plan Implementation Ordinance (CPIO)
- Public Benefit Alternative Compliance
- Zone Variance

NOTE: The Department of City Planning reserves the right to require an updated form for the project if more than 180 days have transpired since the date of the Project Planning Signature, or as necessary, to reflect project modifications, policy changes and/or amendments to the LAMC, local laws, and State laws.

PROJECT SUMMARY

1. **Subject Property Address:** _____
2. **Community Plan Area Name:** _____
 - a. **Specific Plan Name, DRB, CDO, POD, NOD, CPIO, or SN, including subarea if applicable:** (If this is a Density bonus, Small Lot Subdivision or Zone Variance case, please write in the application type).

3. Project Type (check all that apply)

- | | | | |
|---|-----------------------------------|--|--|
| <input type="checkbox"/> New construction | <input type="checkbox"/> Addition | <input type="checkbox"/> Renovation | <input type="checkbox"/> Sign |
| <input type="checkbox"/> Change of Use | <input type="checkbox"/> Grading | <input type="checkbox"/> Density Bonus | <input type="checkbox"/> Small Lot Subdivision |
| <input type="checkbox"/> Other (describe) _____ | | | |

If Change of Use, what is:

Existing Use? _____ Proposed Use? _____

Description of proposed project: _____

Items 4-7 to be completed by Department of City Planning Staff Only

4. AUTHORIZATION TO FILE (check all that apply)

Specific Plan/SN Expo TNP

- | | |
|--|---|
| <input type="checkbox"/> Project Permit <ul style="list-style-type: none">○ Minor (3 signs or less OR change of use)○ Standard (Remodel or renovation in which additions are no greater than 200 sq. ft. more than 3 signs, wireless equipment)○ Major (All other projects, e.g. new buildings, remodels that include an addition of more than 200 sq. ft.) | <input type="checkbox"/> Adjustment |
| <input type="checkbox"/> Modification | <input type="checkbox"/> Exception |
| | <input type="checkbox"/> Amendment |
| | <input type="checkbox"/> Interpretation |
| | <input type="checkbox"/> Not a Project |
| | <input type="checkbox"/> Other ADM Review |

Design Review Board N/A

- ☐ Preliminary Review ☐ Final Review

CDO/POD/NOD N/A

- ☐ Discretionary Action ☐ Sign-off only
- ☐ **Minor** (3 signs or less OR change of use)
- ☐ **Standard** (Remodel or renovation in which additions are no greater than 200 sq. ft. more than 3 signs, wireless equipment) ☐ Not a Project
- ☐ **Major** (All other projects, e.g. new buildings, remodels that include an addition of more than 200 sq. ft.)

Community Plan Implementation Overlay (CPIO) N/A

- ☐ Administrative Clearance (Multiple Approvals) ☐ CPIO Adjustment (CPIOA) ☐ CPIO Exception (CPIOE)
- ☐ *Potentially Historic Resource*

Affordable Housing TOC with Additional Incentives

- ☐ Density Bonus ☐ Conditional Use >35%
- ☐ Affordable Housing Referral Form ☐ Public Benefit
- ☐ Off-menu incentives requested

Small Lot Subdivision N/A

- ☐ Consultation completed

Streetscape Plan N/A

- ☐ Consultation completed ☐ Not a Project or N/A under Streetscape Plan: _____
- (Insert Streetscape Plan Area)

5. ENVIRONMENTAL CLEARANCE

- ☐ Not Determined
- ☐ Categorical Exemption ☐ Environmental Assessment Form (EAF)
- ☐ Class 32 Categorical Exemption ☐ Other Entitlements needed
- ☐ Existing ENV Case Number: _____
- ☐ ENV Addendum Case Number: _____

6. PUBLIC NOTICING N/A No Hearing

- ☐ Standard (BTC to mail hearing notice)
- ☐ Special (At time of filing applicant must pay BTC to mail determination letters only)
- ☐ Abutting owners ☐ Abutting occupants

7. NOTES

Project Planning Signature: <i>Dylan Sittig</i>	Phone Number: 213-978-1197
Print Name Dylan Sittig	Date July 6, 2020

INSTRUCTIONS: Project Planning Referrals

1. **Appointments** - A pre-filing appointment with the assigned planner is required to complete this referral form. City Planning's current *Assignment List* can be found on our website at <http://planning.lacity.org> under the "About" tab. [After the form is completed an appointment to file your application at the Development Services Centers is also required and must be made via the City Planning website.]
2. **Review Materials** - Review of the application by assigned staff is intended to identify the level of review required for the project and to provide the Applicant with early notification of any issues with regard to requested actions or the adequacy of application exhibits/materials which could subsequently delay processing.
 - a. Provide the assigned planner with a copy of this form with items in the Project Summary section completed.
 - b. Provide a complete copy of all application materials as specified in the Master Filing Instructions (e.g. completed DCP Application, plot plans, photographs, etc.).
 - c. Provide the Specialized Requirements/Findings or Instructions pertinent to your project (e.g. Specific Plan filing instructions, DRB filing instructions, Tentative Tract filing instructions, etc.).
3. **Other Applicable Approvals** - Applicants are strongly advised to obtain a pre-plan check consultation with the Los Angeles Department of Building and Safety (LADBS) to ascertain if there are any other issues or necessary approvals associated with the project/site which should be resolved prior to filing. The design of the proposed project may require alterations in order to comply with the Los Angeles Municipal Code.

City of Los Angeles Department of City Planning WEBSITE: <http://planning.lacity.org>

<u>DOWNTOWN OFFICES:</u>	Central Project Planning Offices Los Angeles City Hall 200 N. Spring Street, Room 621 Los Angeles, CA	West/South/Harbor Project Planning Offices Los Angeles City Hall 200 N. Spring Street, Room 720 Los Angeles, CA	DSC Metro Counter Figueroa Plaza, 4 th Floor 221 N. Figueroa St. Los Angeles, CA
<u>VALLEY OFFICES:</u>	Valley Project Planning Offices Marvin Braude Building 6262 Van Nuys Blvd., Suite 430 Van Nuys, CA		DSC Valley Counter Marvin Braude Building 6262 Van Nuys Blvd., Suite 251 Van Nuys, CA
<u>WEST LA OFFICE:</u>			DSC West Los Angeles Counter 1828 Sawtelle Blvd., 2nd Floor West Los Angeles, CA 90025

EXHIBIT G

Public Comments

G1 –James Bennet

G2 – Robert and Agnes Adler

G3 – Matt Went

G4 – West Los Angeles Sawtelle Neighborhood
Council



Dylan Sittig <dylan.sittig@lacity.org>

Proposed Apts 2456 Purdue ave

1 message

James Bennett <jimmyb865@gmail.com>

Sun, Sep 19, 2021 at 3:37 PM

To: dylan.sittig@lacity.org, len.nguyen@lacity.org, jayr@westlasawtelle.org, Arianne Garcia <arianne.garcia@lacity.org>, Hannah Levien <Hannah.Levien@lacity.org>

I am writing to everyone involved that are block/neighborhood has been through two major construction jobs in the past two years. And yes it has taken almost that long.

I have been living on Purdue since 2010 and have family friends in the area for 30 years.

I am not opposed to upgrades but what we have been through are many disturbances.

Multiple street shut downs.(40 ft lowbed trailers and tractors)

Multiple temporary "no parking" signs and cones. (On Purdue as well as Pearl)

Many early morning(before 7am) start ups.

Saturday construction and more street shut downs on weekends.

Our street(Purdue) is NOT a wide WestLa street. As a matter of fact when construction is on going there is not enough room for the Fire Dept (14 foot) to get by at times.

We typically have first come first serve street parking.

Is this going to be an issue and are the planners addressing this?

Explain what is going to be done for parking and as well to reduce or eliminate street closures.

J Bennett



Dylan Sittig <dylan.sittig@lacity.org>

Fwd: 2456 Purdue Ave. comments

2 messages

A. Adler <agiadler@gmail.com>

Wed, Sep 22, 2021 at 9:36 PM

To: "dylan.sittig@lacity.org" <dylan.sittig@lacity.org>

We are the owners of 2450 Purdue avenue, an 8 unit building.... Right next door (north) to this proposed building.

I was very concerned about the incentives for increased units that included reduced parking and setbacks. This block is notorious for extremely limited street parking already. This 27 unit building will clearly add so many more tenants and VISITORS that I think the necessary parking spots must be INCREASED to alleviate adding to the parking dilemma for the rest of the neighborhood, NOT DECREASED! Please reconsider.... Or help us figure out how to allow more parking for the existing buildings. Perhaps there is a need to reevaluate the limited parking on exposition Blvd. HELP!! I feel so sorry for my current tenants who are always scrambling for spots... even blocks away!

The setback is also a concern. My building is just 2 stories. I understand the building will be 6 stories and that can't be resolved, but wouldn't the standard setback be a bit more fair way to give my tenants a bit of air and sunshine? Seems pretty thoughtless to give a new property benefits that override the rights of existing tenants and property owners! If the benefits are given because of the 2 affordable housing units, I have 5 units that are currently way under market value... therefore are affordable. Do I get any benefit for that??

Please help the existing Purdue community with this parking issue. It's become so challenging. This building will surely exacerbate the problem. Thanks for your consideration.

Robert and Agnes Adler

Dylan Sittig <dylan.sittig@lacity.org>

Mon, Sep 27, 2021 at 11:06 AM

To: "A. Adler" <agiadler@gmail.com>

Hello,

Thank you for your comment. It has been received and will be added to the case file.

I will add you as an interested party in this case so that you are made aware of major milestones.

Sincerely,
Dylan

[Quoted text hidden]



Dylan Sittig <dylan.sittig@lacity.org>

DIR-2021-5596-TOC-HCA: 2456 Purdue - public comment

Jay Ross <ross_jay@hotmail.com>
To: Dylan Sittig <dylan.sittig@lacity.org>

Thu, Nov 18, 2021 at 4:13 PM

To Planning Dept.
See attached public comment at the WLASNC meeting last night.

From: Matt Went <matthewwent@gmail.com>

Date: November 17, 2021 at 1:42:03 PM PST

As a resident of the 2400 block of Purdue, we would like to voice our strong opposition to a new construction of 2456 Purdue. We can point you across the street to all the issues our neighborhood experienced the last 1-2 years from the construction of 2465 Purdue building. That construction has finally ended, but it will only continue in our neighborhood with this new building. These constructions just push people out of our neighborhood and create problems. When will our neighborhood have peace?! Please note this does not even include the recent condo/townhome construction on Pearl Street or the upcoming construction on the Fantasy Island lot - both of which have or will drastically increase density in this area.

All our concerns about the 2456 Purdue building, which we brought forward at our city council meeting, ended up becoming our reality. Here's a small list of complaints that have not been addressed with the 2456 Purdue building owner, 311, or 911.

- Trucks blocking the whole street for significant amounts of time, so we can't drive on our street
- Trucks and workers ruining our sidewalks and private property - oil slicks, cracks, general destruction
- Workers trashing our neighborhood - garbage, food, nails, materials, etc left all over our yards
- Didn't follow city guidelines to install sewer unit, which ended up in more construction and delays
- Building violations ie. working on Sunday and starting construction before permitted hours
- New building alarm going off all weekend (twice now) without anyone coming by shutting it off
- Neighborhood parking is already a nightmare and it will now be worse than ever - workers take all parking spaces and the fact that the buildings themselves have far fewer parking spots than units is only making the problem worse. No one takes the train - these buildings need to have at least two spaces per unit.
 - Construction workers for 2465 Purdue couldn't even find parking, so they started parking illegally on 2456 Purdue's property or they would move the LA city parking signs around at their convenience to save parking for them
 - The 2465 Purdue building would leave the dumpster on our street to save spot or block a spot
- Landscape destroyed - beautiful trees that have been here for at least 40-50 years and one of the last fully-mature pine trees on the block will be destroyed. The lots at 2456 have been abandoned so long they are practically a nature preserve and this development will kill or displace all the animals that live there

Further, these buildings aren't helping anyone but developers. They are driving up rents, ruining sightlines and sunlight access, destroying trees and natural landscape, and making parking all but impossible. Plus they are not doing anything to help house the homeless. Please help us understand how 6 "affordable units" will address the homeless situation in LA. We would understand if the whole building was for the homeless, but 6 units with an estimated 50,000 homeless in LA - let's do the math, 6 divided by 50,000 equals .00012%. It looks to us a convenient statement for the developers to say, 6 "affordable units" for them to build huge complexes to get disgusting profits. Not to mention, in our neighborhood alone, we have homeless living in 15 tents or more, so 6 units wouldn't even help our neighborhood. We give these developers an inch, they are taking our whole neighborhood!

Finally, when we went to the council meetings in regards to 2465 Purdue back in 2019, we were told the TOC rules only allowed a max of 5 stories for our neighborhood, so we would like to know how they are

WLASNC Board FY 2020-2021

Jamie Keeton - Chair/ Organizational Rep.
Ron Migdal - Vice Chair/ At Large Rep.
Jay Handal - Treasurer/ Business Rep.
Jay Ross- Secretary/ Organizational Rep.

Farzad Hassani - North West Rep.
Mollie Rudnick - North East Rep.
Arman Ghorbani - South East Rep.
vacant- South West Rep.
Galen Pindell - At Large Rep.
Ehsan Zahedani - At Large Rep.
Jean Shigematsu - At Large Rep.
Teri Temme - At Large Rep.
Pierre Tecon - At Large Rep.
Danilo Torro - Business Rep.
Diedra Greenaway- Business Rep.



1645 Corinth Ave.
Los Angeles Calif. 90025
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Planning Dept.

**Re: Resolution: 2456 S. Purdue Ave. apartments – Opposition to project
DIR-2021-5596-TOC-HCA. ENV-2021-5597-EAF.**

To the City,

At the Nov. 17, 2021, meeting of the West Los Angeles Sawtelle N.C., the Board of Directors voted 9-0-2, to oppose the project as designed, and authorize the Chair to submit Community Impact Statements in the future.

Facts and background:

1. The large units (5-bedrooms) may house numerous unrelated people with their own numerous vehicles -- not families with a limited number of vehicles.
2. Parking is ~1.0 spaces per bedroom, and includes tandem spaces that must be for the same unit and cannot be dispersed among other units.
3. Bicycle parking is 30 spaces for 27 units, ~1.0 per unit (including the 5-bedroom units).
4. 6 incentives are requested (reduced setbacks, reduced open space, extra height, reduced parking).

Findings and justifications:

1. The TOC location justifies more bicycle parking.
2. The large number of incentives justifies that the developer agree to design revisions that the NC requested:
 - a. EV chargers shall be install in 10% of spaces, and stubbed for 25% of spaces.
 - b. The 5th and 6th stories shall have 10 ft. stepbacks in the rear (total of 25 ft from rear property line).
 - c. 1 street lamp shall be installed.
 - d. 4 x 36-inch box trees shall be planted in dirt (not planters).
 - e. If parking permits are enacted for the block, this project's residents shall be prohibited from receiving them.

Ex parte communications: None disclosed by any committee members.

Disclosures and conflicts of interest: None disclosed by any committee members.

To government agencies: Only the Chair and designated Boardmembers may testify to public agencies on behalf of the West L.A. Sawtelle NC. The Board requests that the Council Office and private/non-profit entities do not testify or speculate on behalf of the NC.

/s/ Jamie L. Keeton

Jamie L. Keeton, Chair WLASNC

cc: Len Nguyen, Council District #11 (Len.Nguyen@LACity.org)

considering a 6 story building? Our neighborhood had nothing over 4 stories which includes parking on the first story until these ridiculous TOC rules. This is becoming very frustrating! It seems like these developers can do whatever they like and we pay the price! When will the residents have a voice and say?

Let me know if I am contacting the wrong person and/or who I should contact.

Thank you,

Matthew W.

EXHIBIT H

Citywide Design Guideline Compliance Review Form



SPECIAL REQUIREMENTS

CITYWIDE DESIGN GUIDELINES

Compliance Review Form

AUTHORIZING PROVISION: The Los Angeles City Planning Commission adopted the [Citywide Design Guidelines](#) on October 24, 2019.

PURPOSE: The Citywide Design Guidelines are intended among other things to communicate the City's design expectations, facilitate fair and consistent application of design objectives and to encourage the development of projects appropriate to the context of the City's climate and urban environment.

General Information

With the exception of residential projects with four or less units, projects utilizing the PSH ordinance, or projects utilizing an applicable State streamlining measure (SB 35, SB 2162), all projects that are either constructing a new main building or pursuing a vesting tract map shall complete this Citywide Design Guidelines Compliance Form CP-4056 and submit it as part of the project application.

Project Information

Case Number: _____ Site Address: 2456 - 2460 S. Purdue Ave.

Project Request: Demolish 2 (E) SFDs, construct (N) 6 story 27 Unit Apartment Building in TOC Tier 3 using base incentives: 1. Increase in number of dwelling units, 2. Parking Reductions to 0.5 Spaces per Unit.
3. FAR increase to 50% and Add'l Incentives: 1. Height - 22' Increase in maximum building height.
2. Open Space - 25% Reduction, 3. Setback - 30% Reduction in Side Yard Setback.

Instructions

Please provide a short paragraph describing how, and to what extent, the project has complied with each of the ten [Citywide Design Guidelines](#). Indicate how the project achieves the intent of the Guidelines and provide information as to the appropriate sheet number(s) on which information can be found illustrating alignment with each Guideline. If a particular guideline is not applicable please indicate this in the appropriate box. Example language is provided on the [Sample Citywide Design Guidelines Compliance Form](#), CP-4057.

PEDESTRIAN-FIRST DESIGN

Guideline 1: Promote a safe, comfortable and accessible pedestrian experience for all.

This project is set back more than fifteen feet from the property line, allowing more than enough space for planters and pedestrian access. An eighteen foot wide set of steps at the center is provided at the front of the building, which is surrounded by landscaping to promote a welcoming entry.

Guideline 2: Carefully incorporate vehicular access such that it does not degrade the pedestrian experience.

Vehicular access for this project is at one end of the property, separate from the main pedestrian access. With the parking ramp also more than fifteen feet from the property line, there is enough buffer space between exiting vehicles for when pedestrians are present.

Guideline 3: Design projects to actively engage with streets and public space and maintain human scale.

The project provides a lot of planters at the front with wide entries into the building. With the entry gate and fence being a transparent perforated metal panel, the building will be secure and welcoming as it won't look completely closed off from the public.

360 DEGREE DESIGN

Guideline 4: Organize and shape projects to recognize and respect surrounding context.

The project uses materials such as wood and stucco, which is relevant to its surrounding neighbors. Without colors that clash with neighboring buildings, the neutral and warm color palette of the project fits well within the neighborhood.

Guideline 5: Express a clear and coherent architectural idea.

This project allows residents and guests to experience the building with pleasure at the exterior and the interior. The building is exposed to a lot of light through many and large windows. The chamfered walls at the front facade, allows various shadows giving depth and animation to the building's face. The intent of the building design is to be fun and welcoming.

Guideline 6: Provide amenities that support community building and provide an inviting, comfortable user experience.

This project provides many amenities including a gym, large rec room, open breezy courtyard, a spacious roof deck and another open space in the rear of the building. Each populated with landscaping, residents and guests will be able to spend time at all places for many various activities.

Guideline 7: Carefully arrange design elements and uses to protect site users.

By using landscaping as a buffer between the outside of the building to the windows into the units at the ground level, residents will be able to get privacy and feel safe. Security gates will also allow residents to feel safe within the property.

CLIMATE-ADAPTED DESIGN

Guideline 8: Protect the site's unique natural resources and features.

With the site located in West Los Angeles, the building is provided with many outdoor spaces for residents to be able to enjoy the sun and cool breeze that the site has.

Guideline 9: Configure the site layout, building massing and orientation to lower energy demand and increase the comfort and well-being of users.

This project is provided with many outdoor spaces for residents to be able to enjoy the sun and cool breeze that the site has. The building's roof deck is at its southwest elevation, allowing plenty of sunlight during the day, in hopes the residents will be able to save energy on heating. The project's courtyard will get plenty of breeze from the ocean and will promote natural cooling through cross ventilation.

Guideline 10: Enhance green features to increase opportunities to capture stormwater and promote habitat.

The project is surrounded by landscaping, including LID planters that will have various drought resistant plants that catch the stormwater from the roof through downspouts.