



## DEPARTMENT OF CITY PLANNING

### APPEAL RECOMMENDATION REPORT

#### City Planning Commission

**Date:** Thursday, December 8, 2022  
**Time:** After 8:30 A.M.\*  
**Place:** Due to concerns over COVID-19, the CPC meeting will be conducted entirely telephonically by Zoom [<https://zoom.us/>].

The meeting's telephone number and access code access number will be provided no later than 72 hours before the meeting on the meeting agenda published at

<https://planning.lacity.org/about/commissions-boards-hearings> and/or by contacting [cpc@lacity.org](mailto:cpc@lacity.org)

**Public Hearing:** December 8, 2022  
**Appeal Status:** Not further appealable  
**Expiration Date:** December 8, 2022  
**Multiple Approval:** No

**Case No.:** DIR-2021-643-TOC-HCA-1A  
**CEQA No.:** ENV-2021-644-CE  
**Incidental Cases:** N/A  
**Related Cases:** N/A  
**Council No.:** 1 – Cedillo  
**Plan Area:** Westlake  
**Specific Plan:** None  
**Certified NC:** Westlake South  
**GPLU:** Community Commercial  
**Zone:** R4-2  
**Applicant:** Shahla Shah,  
New Real Estate Market  
**Representative:** Shahla Shah,  
New Real Estate Market  
**Appellant 1:** Alma Myllyla  
**Appellant 2:** Pilar Pugh

#### PROJECT

**LOCATION:** 1537, 1539, 1541, 1543 West Cambria Street

#### PROPOSED PROJECT:

The project proposes the demolition of an existing six-unit, multi-family residence for the construction, use, and maintenance of a 43-unit residential apartment building that is six (6) stories, 73 feet 10 inches in height, and contains 33,695 square feet of floor area and a 5.6:1 Floor Area Ratio (FAR). The building will contain 22 vehicle parking spaces, 36 long-term bicycle parking spaces, and 4 short-term bicycle parking spaces. By reserving five (5) units for Extremely Low Income Households, the project qualifies for the requested Base and Additional Incentives pursuant of the Transit Oriented Communities Affordable Housing Incentive Program.

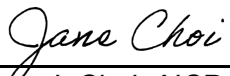
**APPEAL:** Two (2) Appeals of the Director of Planning's determination conditionally approving a Transit Oriented Communities Affordable Housing Incentive Program project, pursuant to Los Angeles Municipal Code ("LAMC") Sections 12.22 A.31 and 12.22 A.25(g).

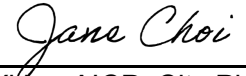
#### RECOMMENDED ACTIONS:

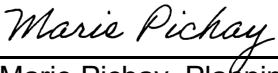
1. **Determine** that, based on the whole of the administrative record as supported by the justification prepared and found in the environmental case file, the project is exempt from the California Environmental Quality Act ("CEQA") pursuant to CEQA Guidelines, Article 19, Section 15332 (Class 32), and there is no substantial evidence demonstrating that any exceptions contained in Section 15300.2 of the State CEQA Guidelines applies;

2. **Deny** the appeals of DIR-2021-643-TOC-HCA and **sustain** the decision of the Director of Planning for the construction, use, and maintenance of a six-story, 43-unit residential building with five (5) units reserved for Extremely Low Income households; and
3. **Adopt** the Director of Planning's Conditions of Approval and Findings.

VINCENT P. BERTONI, AICP  
Director of Planning

  
\_\_\_\_\_  
Jane J. Choi, AICP, Principal City Planner

 for  
\_\_\_\_\_  
Yi Lu, AICP, City Planner

  
\_\_\_\_\_  
Marie Pichay, Planning Assistant

**ADVICE TO PUBLIC:** \*The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the *City Planning Commission Secretariat, 200 North Spring Street, Room 272, Los Angeles, CA 90012* (Phone No.213-978-1300). While all written communications are given to the Commission for consideration, the initial packets are sent to the week prior to the Commissions meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendized herein, or in written correspondence on these matters delivered to this agency at or prior to the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request not later than three working days (72 hours) prior to the meeting by calling the Commission Secretariat at (213) 978-1299.

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### Exhibits:

- A. Project Plans (DIR-2021-643-TOC-HCA)
- B. Director of Planning Letter of Determination (DIR-2021-643-TOC-HCA)
- C. Email exchange between Project Planning staff and the Office of Historic Resources, dated May 17, 2021
- D. Class 32 Categorical Exemption Justifications (ENV-2021-644-CE)
- E. Appeal Documentation

## PROJECT ANALYSIS

### Appellate Decision Body

Pursuant to Sections 12.22.A.31 and 12.22 A.25 of the Los Angeles Municipal Code (“LAMC”), appeals of Transit Oriented Communities Affordable Housing Incentive Program cases are heard by the City Planning Commission. The appellate decision of the City Planning Commission is final.

### Project Summary

On September 20, 2022, the Director of Planning approved a Transit Oriented Communities Affordable Housing Incentive Program project involving the construction, use, and maintenance of a residential building with 43 dwelling units, reserving five (5) units for Extremely Low Income households for a period of 55 years with Tier 3 incentives.

The proposed project involves the demolition of an existing six-unit, multi-family residence for the construction, use, and maintenance of a 43-unit residential apartment building that is six (6) stories, 73 feet 10 inches in height, and contains 33,695 square feet of floor area and a 5.6:1 Floor Area Ratio (FAR). The building will contain 22 vehicle parking spaces, 36 long-term bicycle parking spaces, and 4 short-term bicycle parking spaces. In exchange for the requested Base and Additional Incentives that the project is eligible for pursuant of the Transit Oriented Communities Affordable Housing Incentive Program, the project will reserve five (5) units for Extremely Low Income Households. The unit mix will be comprised of 15 studio apartments, 17 one-bedroom apartments, 8 two-bedroom apartments and 3 three-bedroom apartments for a total of 43 units. There will be 3,519 square feet of open space, comprised of 1,700 square feet of private open space and 1,819 square feet of common open space provided through a ground floor recreation room and two roof decks. The project site includes 10 non-protected on-site trees, all of which are proposed for removal. The project is required to provide 11 trees and will be providing 12 trees on-site.

Pursuant to the Transit Oriented Communities Affordable Housing Incentives Program, the project was determined eligible for the following two (2) Base Incentives which are granted by-right for eligible TOC projects, and three (3) Additional Incentives to construct the proposed project:

#### **Base Incentives.**

- a. **Residential Density.** Increase the maximum number of dwelling units by up to 70 percent to allow a maximum residential density of 43 units;
- b. **Parking.** Provide automobile parking at a ratio of 0.5 spaces per residential unit to allow a minimum of 22 parking spaces;

#### **Additional Incentives.**

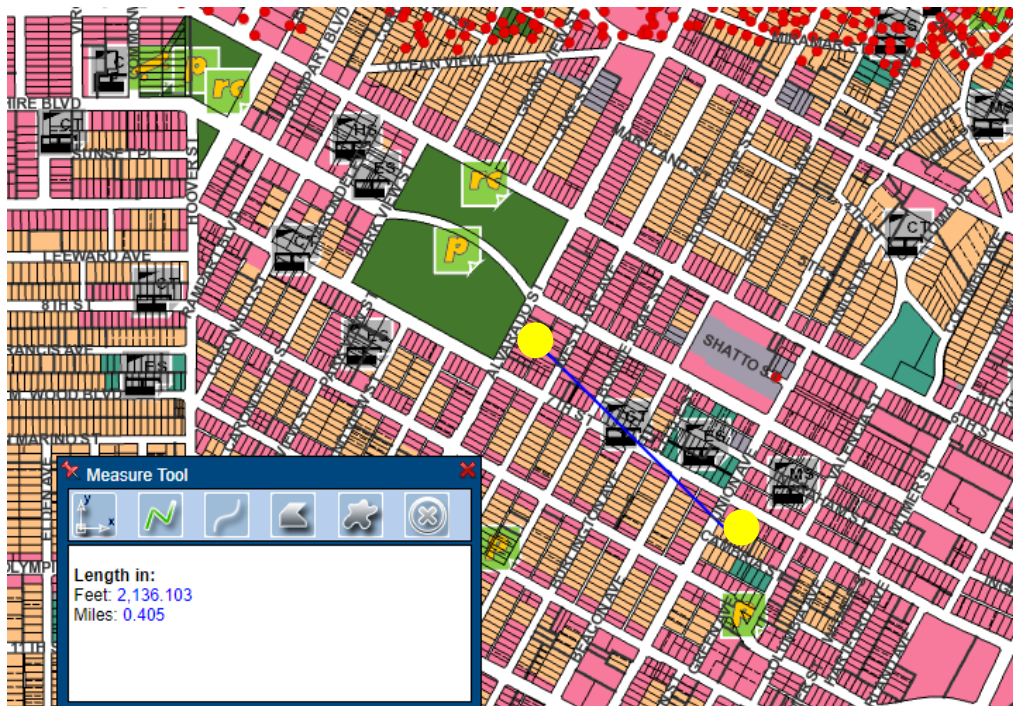
- c. **Side Yard Setback.** A maximum 30 percent reduction in two (2) side yard setbacks to allow side yard setbacks of 6 feet 3.5 inches, in lieu of the 9 feet otherwise required;
- d. **Rear Yard Setback.** A maximum 30 percent reduction in the rear yard setbacks to allow a rear yard setback of 12 feet, 7.2 inches, in lieu of the 18 feet otherwise required.
- e. **Open Space.** A maximum 25 percent reduction in the Open Space requirement to allow 3,487.5 square feet of Open Space, in lieu of the 4,550 square feet otherwise required.



The grant clause in the original Letter of Determination indicated the incorrect number and level of affordable units; however, the Conditions of Approval in the initial decision required the correct set aside of five (5) units for Extremely Low Income households. Additionally, the original Letter of Determination approved a waiver of alley improvements pursuant to LAMC 12.37 I; however, the applicant withdrew the request under LAMC Section 11.5.9.

### **Background**

The project site is composed of two (2) contiguous lots with approximately 77 feet of street frontage along West Cambria Street to the south and an alley to the north. The project site is rectangularly shaped and has a lot area of approximately 9,809 square feet (0.23 acres). The Westlake Community Plan designates the subject property for Community Commercial land uses, which accommodates the R4-2 Zone designated for the subject property. The project site is not located within the boundaries of any specific plan or interim control ordinance.



*Distance between Westlake / MacArthur Park Station and project site as measured using the Zone Information and Map Access System (ZIMAS) (November 23, 2022)*

The project site qualifies as a Tier 3 Transit Oriented Communities housing project since it is located within one half mile from the Metro B (Red) Line Westlake / MacArthur Park Station. The project site is located within a Transit Priority Area (ZI-2452), a State Enterprise Zone (ZI-2374), Westlake Recovery Redevelopment Project Area (ZI-2488), and an Urban Agriculture Incentive Zone. On February 2, 2021, Planning staff approved an administrative review of the proposed project with the Westlake Recovery Redevelopment Plan and determined the project conforms to the Redevelopment Plan. The site is not subject to any additional land use specific plan, community design overlay, or interim control ordinances.

### **Surrounding Properties:**

Surrounding properties are developed with residential, commercial, parking, and institutional uses. The properties to the north, across the alley, are zoned C2-2 and are developed with a parking lot, autobody shop, check cashing/bicycle shop, gym, and features vacant lots as well.

The properties to the east are zoned R4-2 and C2-2 and are developed with multi-family housing and a parking lot. The properties to the south, across Cambria Street, are zoned R4-1 and PF-1XL, and are developed with multi-family housing and an occupational center. The properties to the west are zoned C2-1, (Q)C2-1, R5-1, (T)(Q)C2-2, R5-2 and C2-2, and are developed with a donut shop, discount store, restaurants, dentist office, retail stores, and multi-family residences.

**Streets and Circulation:**

Cambria Street, adjoining the project site to the south, is a designated Local Street – Standard, dedicated to a right-of-way width of 60 feet and a roadway width of 36 feet.

Public Alley, adjoining the project site to the north, is dedicated to a right-of-way width of 16 feet.

**Transit Oriented Communities:**

The subject property is located within one half-mile from the Mac Arthur Park Station of the Metro B Line, which serves as a major transit stop. The subject property is therefore located in Tier 3 of the Transit Oriented Communities Affordable Housing Incentive Program and is eligible for Tier 3 incentives. Per Section IV of the TOC Guidelines, the project is eligible to receive Base Incentives and up to three Additional Incentives as the project will reserve at least 11 percent of the base units for Extremely Low Income households. The project proposes a total of 43 units with at least five (5) units, or 18.5 percent of the base units, set aside for Extremely Low Income households in order to comply with the replacement requirements of Senate Bill 330, which are administered by the Los Angeles Housing Department. As such, the project fulfills the Tier 3 TOC eligibility requirements for on-site restricted affordable units.

## **APPEAL ANALYSIS**

On October 5, 2022, two appeals were filed by Alma Myllyla and Pilar Pugh, abutting property owners. The appellants are appealing the entire decision. The following provides a summary of the appellants appeal points and Staff's Response to each appeal point. The full appeal application and justification document are provided in Exhibit E.

**Appeal Point #1: The project will negatively affect property value.****Staff Response:**

The issue related to neighboring property value is not a basis to grant or deny incentives in either Los Angeles Municipal Code (LAMC) 12.22 A.31 or the TOC Guidelines. Therefore, the Director's approval was appropriate.

**Appeal Point #2: The project is too large in scale, and too close to the neighbors.****Staff Response:**

Measure JJJ was approved on November 8, 2016, establishing LAMC Section 12.22 A.31 and the TOC Program. The Measure required the Department of City Planning to create eligibility standards, incentives, and other necessary components for prospective Housing Developments located within a one-half mile radius of a Major Transit Stop. Under the TOC Program, TOC Guidelines were established structuring the levels of incentives, including reduced yard setbacks, additional height, and reduced open space, based on the quality and proximity of a transit stop.

The incentives for a reduction in yard setbacks, increase in height, and a reduction in open space are found in the menu for “Additional Incentives” under Section VII of the TOC Guidelines and require projects to provide a set proportion of units for affordable housing.

As conditioned in the Director’s Determination Letter (Exhibit B) and described in the project background above, the project is eligible for Tier 3 Base and Additional Incentives of the TOC Guidelines. These incentives provide the developer relief from development standards such as reduced yard setbacks, building height and open space requirements. The project is eligible for three Additional Incentives as it will reserve a minimum of 11 percent of the project’s base units for Extremely Low Income households. The project proposes a total of 43 units with at least five (5) units, or 18.5 percent of base units, set aside for Extremely Low Income households. The applicant requests three Additional Incentives: 1) reduction in both side yard setbacks; 2) reduction in the rear yard setback; and 3) reduction in open space. The subject property is zoned R4-2, corresponding to Height District 2, which does not have a restriction on number of stories permitted or maximum height permitted. The project is proposing six-stories with a maximum height of 73 feet, 10 inches. The project is subject to side yard requirements of 9 feet and a rear yard setback of 18 feet. TOC Guidelines allow Tier 3 projects to reduce the side yard and rear yard requirements by up to 30 percent with the request Additional Incentives. As such, the project will utilize the incentives to provide a reduced side yard setbacks of 6 feet and 3.5 inches and a reduced rear yard setback of 12 feet, 7.2 inches. The subject property is zoned R4-2, corresponding to Height District 2, which does not have a restriction on number of stories permitted or maximum height permitted. The project is proposing six-stories with a maximum height of 73 feet, 10 inches

The ability to reduce side yards through the request of an Additional Incentive facilitates the construction of additional residential dwelling units and Restricted Affordable Units. Utilization of TOC Incentives allows for the construction of the proposed six-story, 43-unit residential development with a residential increase of 60 percent with five (5) units reserved for Extremely Low Income households. The appellants raised concerns over the building scale and reduced setbacks, which will allegedly negatively impact their property by blocking views, sunlight and casting shadows and invading their privacy. However, these issues are not a basis to grant or deny incentives in either the Los Angeles Municipal Code or the TOC Guidelines, As such, the project fully complies with the TOC Guidelines and the Director’s approval was appropriate.

**Appeal Point #3: The design of the project is not compatible with the surrounding neighborhood and will change neighborhood character.**

**Staff Response:**

The project complies with the development standards of the Zoning Code and the TOC program and design compatibility is not a finding required to approve a TOC project. However, on June 22, 2022, the proposed project was reviewed by the Urban Design Studio (UDS). The purpose of the UDS meeting is to provide project specific recommendations, organized around three distinct yet interrelated approaches to design that include: 1) Pedestrian First Design, 2) 360 Degree Design, and 3) Climate Adaptive Design. At this meeting, UDS provided design recommendations to improve resident experience, suggestion to reduce vehicular parking, and suggestion to use native plants. The applicant was not able to incorporate all of the recommendations, but did add more lighting and utilized more native plants.

Furthermore, the project site is not located in a Historic Preservation Overlay Zone. It is also not located within the boundaries of any Community Design Overlay, Specific Plan, or Community Plan Implementation Overlay with additional regulations regarding design. As such, there are no specific design regulations that are required for the project. The project fully complies with both the LAMC and the TOC Guidelines and the Director’s approval was appropriate.

**Appeal Point #4: The project does not provide enough parking for the residents.****Staff Response:**

As a housing development project that is eligible for the Tier 3 incentives of the TOC Program, the parking requirement for the project is 0.5 automobile parking spaces per unit. The project is required to provide a minimum of 22 automobile parking spaces for the proposed 43 units. The approved plans (Exhibit A) show that the project is adhering to the minimum parking requirement by providing 22 automobile parking spaces. Therefore, the Director's approval was appropriate.

**Appeal Point #5: The construction will result in adverse health concerns and excessive noise.****Staff Response:**

There is no evidence or specific information in support of the claims made by the appellant regarding health or noise concerns. As demonstrated in the Justification for the Class 32 Categorical Exemption (Exhibit D), the proposed project meets all of the criteria to qualify as an infill site under the Class 32 Categorical Exemption, the California Environmental Quality Act (CEQA). The project is subject to Regulatory Compliance Measures (RCMs) related to air quality, noise, hazardous materials, geology, and transportation. Numerous RCMs in the City's Municipal Code and State law provide requirements for construction activities and ensure impacts from construction related air quality, noise, traffic, and parking are less than significant. For example, the South Coast Air Quality Management District (SCAQMD) has District Rules related to dust control during construction, type and emission of construction vehicles, architectural coating, and air pollution. All projects are subject to the City's Noise Ordinance No. 144,331, which regulates construction equipment and maximum noise levels during construction and operation. In conclusion, the CEQA Determination includes substantial evidence that the Class 32 Categorical Exemption applies to the proposed project and the project impacts are less than significant. Therefore, the Director's approval was appropriate.

**Appeal Point #6: Future tenants will be drug addicts, mentally ill and have a criminal record, making the neighborhood unsafe.****Staff Response:**

The appellant has not provided evidence to support this claim, it is merely speculation. The issue related to tenants of affordable housing units is not a basis to grant or deny incentives in either Los Angeles Municipal Code (LAMC) 12.22-A,31 or the TOC Guidelines. Therefore, the Director's approval was appropriate.

**Appeal Point #7: The project did not hold a community meeting to share project input.****Staff Response:**

A hearing is not required for TOC projects prior to the issuance of a determination letter. Pursuant to LAMC Section 12.22 A.25(g)(2)(i)d, the original Letter of Determination was transmitted to the applicant and owners of abutting properties via USPS mail on September 20, 2022 and is evidenced by the administrative record.

The appeals of the determination will be heard at the City Planning Commission (CPC) and will provide an opportunity for any member of the public to submit verbal or written comments

regarding the project. A CPC hearing is scheduled for the appeal of the project on December 8, 2022. Pursuant to LAMC Section 12.22 A.25(g)(2)(i) f., a Public Hearing Notice was transmitted to the appellants, applicant and owners of abutting properties via USPS and to Interested Parties via email correspondence on November 23, 2022 and is evidenced by the administrative record.

### **STAFF RECOMMENDATION**

For the reasons stated herein, and as provided in the Findings in the Director's Determination, the proposed project fully complies with the applicable provisions of the Transit Oriented Communities Affordable Housing Incentive Program and the California Environmental Quality Act and Los Angeles Municipal Code. The appeal of the Director's Determination cannot be substantiated and therefore should be denied. Staff recommends that the City Planning Commission deny the appeals and sustain the decision of the Director of Planning in approving the proposed project.

DIR-2021-643-TOC-HCA-1A  
1537, 1539, 1541, 1543 West Cambria Street

EXHIBITS

**A – PROJECT PLANS (DIR-2021-643-TOC-HCA)**



NEW 43 UNITS MULTI-FAMILY RESIDENTIAL BUILDING  
1537 CAMBRIA ST. LOS ANGELES, CA

Client: Mechanical, Electrical, & Plumbing:

Architect:  
Babak Azimi, AIA  
Architect/Principal  
Arcaforma  
Architecture|Planning|Interiors  
15206 Ventura Blvd., Suite 201  
Sherman Oaks, CA 91403  
t: 310-866-8233  
babak@arcaforma.com

Civil:  
Soheil Moeini, PE. Principal  
Greystone Engineering  
Civil & Structural Design  
9023 W. Pico Blvd.  
Los Angeles, CA 90035  
t: 310. 405 . 2341  
GREYSTONEENG.COM  
info@greystoneeng.com



PROJECT ADDRESS : 1537, 1539, 1541, & 1543 W. CAMBRIA ST. 90017, LOS ANGELES, CA

**PROJECT DESCRIPTION:**  
DEMOLISH EXISTING STRUCTURES AND CONSTRUCT NEW 6 STORY 43 UNITS MULTIFAMILY BUILDING ON 1 LEVEL OF PODIUM OVER 1 LEVEL OF SUBTERRANEAN GARAGE. THERE ARE 22 AUTOMOBILE PARKING STALLS INCLUDING 16 STANDARD PARKING, 1 ACCESSIBLE PARKING UNDERGROUND, AND 5 STANDARD PARKING STALLS WITH DIRECT ACCESS FROM ALLEY ON FIRST LEVEL.

<b>ZONING:</b>	<b>R4-2</b>
<b>TOC:</b>	<b>TIER 3</b>
<b>TOTAL LOT AREA:</b>	
9,810 (COMBINED 2 LOTS) + 616 (HALF OF ALLEY)	10,426 S.F.

MARKET-RATE UNITS	37
AFFORDABLE UNITS	6 = (5) ELI + (1) RSO
TOTAL PROVIDED UNITS	43

<b>FAR &amp; SQUARE FOOTAGE:</b>	
BUILDABLE AREA	<b>7,035 S.F.</b>
ALLOWABLE FAR PER R4-2	6:1
MAXIMUM SQUARE FOOTAGE ALLOWED 7,035 X 6	42,210 S.F.
MAXIMUM SQUARE FOOTAGE WITH TOC 42,210 + 50%	63,315 S.F.
PROPOSED SQUARE FOOTAGE	39,695 S.F. (INCLUDES BALCONY BASEMENT)

PROPOSED HEIGHT (ZONING)	73'-10" FEET / 6 STORIES ( FROM POINT WITHIN 5 FEET FROM BLDG.
PROPOSED HEIGHT (BUILDING CODE)	71'-2" FEET (FROM GRADE PLANE

<b>BIKE PARKING:</b>	
LONG TERM REQUIRED: 1 SPACE PER 1.5 UNIT	36
SHORT TERM REQUIRED: 1 SPACE PER 15 UNITS	4

REFERENCE SHEET A0.11 FOR CALCULATION AND LOCATION

AUTOMATIC FIRE SPRINKLED: YES  
(In accordance with section 903.3.1.1 CBC 2019 and NFPA 13 and Fire Alarm per code)

BUILDING CODE:  
Current code including 2019 CBC, CMC, CPC,CEC along with the T-24 Energy Standards,  
2020 L.A.B.C. AND 2020 L.A. GREEN BUILDING CODE.

**BUILDING AREA CALCULATION:**  
REFERENCE SHEET A0.12 FOR AREA CALCULATIONS BASED ON  
OCCUPANCY AND ALLOWED PER CBC CHAPTER 506

SCHOOL DISTRICT AREA CALCULATION:		NOTES ON SCHOOL DISTRICT FLOOR AREA:
BASEMENT	850 S.F.	FLOOR AREA CALCULATION FOR SCHOOL
FIRST FLOOR	4,126 S.F.	DISTRICT INCLUDES ALL ACCESSIBLE SPACES
SECOND FLOOR	5,061 S.F.	AND ALL OF THE SQUARE FOOTAGE WITHIN THE
THIRD FLOOR	5,050 S.F.	PERIMETER OF A RESIDENTIAL STRUCTURE, NOT
FOURTH FLOOR	5,050 S.F.	INCLUDING ANY CARPORT, WALKWAY, GARAGE,
FIFTH FLOOR	5,050 S.F.	OVERHANG, PATIO, ENCLOSED PATIO, DETACHED
SIXTH FLOOR	3,905 S.F.	ACCESSORY STRUCTURE OR SIMILAR AREA.
TOTAL	29,092 S.F.	

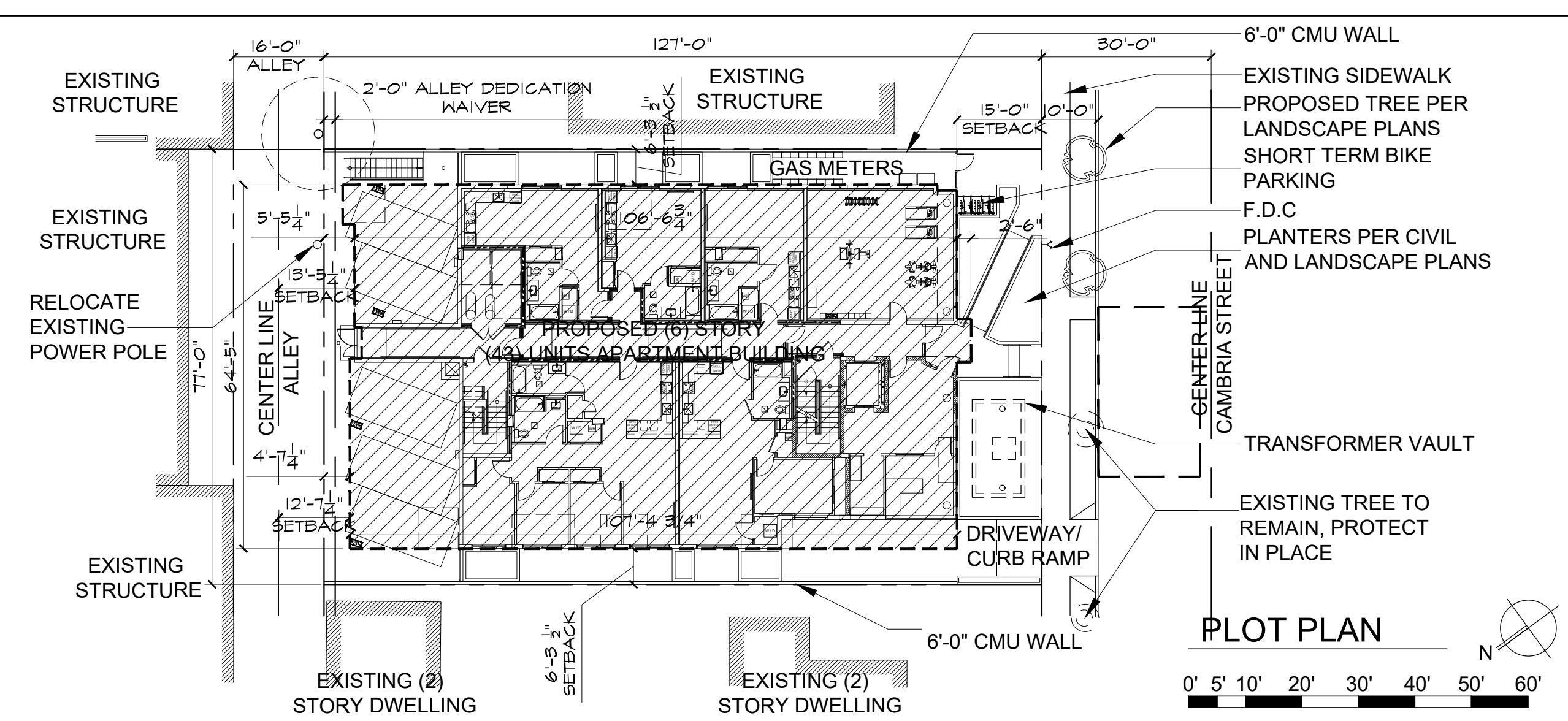
DEFERRED APPROVAL:

SEPARATE PERMITS FOR DEMOLITION , ELECTRICAL, MECHANICAL, PLUMBING, FIRE SPRINKLER, FIRE ALARM, EMERGENCY RESPONDER RADIO, AND SUMP PUMP

DEVELOPMENT NOTES:

1. NO GUEST PARKING PROVIDED OR REQUIRED
2. THIS PROJECT IS 100% PRIVATELY FUNDED.
3. THIS IS NOT HOUSING FACILITIES OWNED AND/OR OPERATED BY, FOR OR ON BEHALF OF A PUBLIC ENTITY AND NO TAX CREDIT RECEIVED FROM STATE, FEDERAL OR LOCAL GOVERNMENT.
4. THIS BUILDING SHALL NOT BE TURNED INTO A CONDOMINIUM WITHOUT THE ARCHITECT'S CONSENT.

A0	COVER SHEET
A0.1	VICINITY MAP AND PHOTOS
A0.9	SIGNAGE AND CODE RESEARCH
A0.10	EGRESS PLANS
A0.11	OPEN SPACE CALCULATIONS
A0.12	AREA TABULATION
A0.13	PRODUCT INFORMATION
A1.0	SITE PLAN
A1.1	DEMOLITION PLAN
A1.2	ENLARGED PLANS
L1	FIRST FLOOR PLANTING PLAN
L2	6TH FLOOR PLANTING PLAN AND DETAILS
A2.0	BASEMENT FLOOR PLAN
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A2.3	TYPICAL FLOOR PLAN
A2.4	FIFTH FLOOR PLAN
A2.5	SIXTH FLOOR PLAN
A2.6	ROOF PLAN
A2.7	ENLARGED STAIR PLANS
A3.0	ELEVATIONS
A3.1	ELEVATIONS
A3.2	ELEVATIONS
A3.3	COLORLED ELEVATIONS
A3.4	RENDERINGS
A3.5	RENDERINGS
A4.0	SECTION
A4.1	SECTION
A4.2	STAIR SECTION
A4.3	STAIR SECTION
A6.0	ENLARGE UNIT PLANS
A6.1	ENLARGE UNIT PLANS
A6.2	ENLARGE UNIT PLANS
A6.3	ENLARGE UNIT PLANS
A6.4	ENLARGE UNIT PLANS
A6.5	ENLARGE UNIT PLANS



NO.	REVISIONS	DATE:
	HSAP RESUBMITTAL	8/26/21
	PLANNING RESUBMITTAL	9/02/21
	GREEN, ACCESS, AND FIRE	9/24/21
	PLANNING RESUBMITTAL	12/20/21
	GREEN, ACCESS, AND FIRE RESUBMITTAL	6/24/22
	GREEN, ACCESS, FIRE AND PLANNING	8/19/22

PROJECT:  
**CAMBRIA TERRACE**

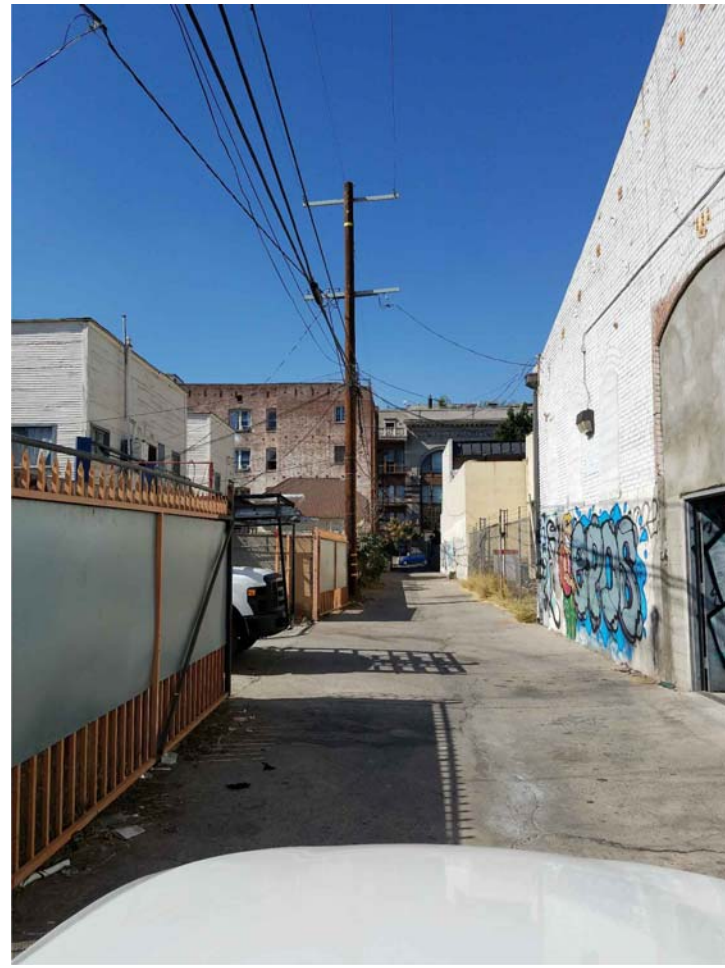
1537 CAMBRIA AVE..  
LOS ANGELES, CA.

TITLE:	
COVER SHEET	
DATE:	09/01/2021
SCALE:	
DRAWN BY:	
SHEET:	
A0	
FILE:	





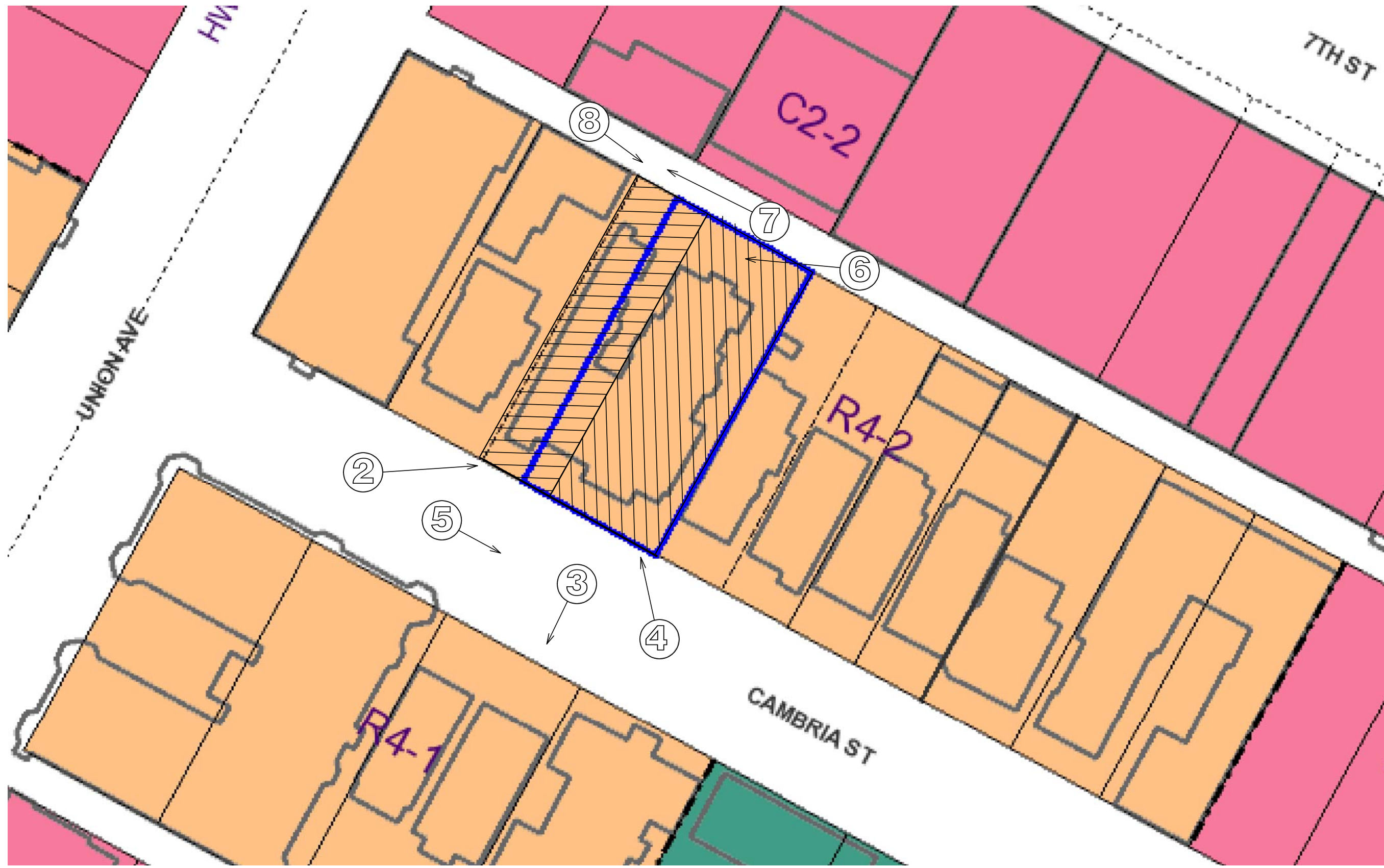
**8 NORTH WEST CORNER**



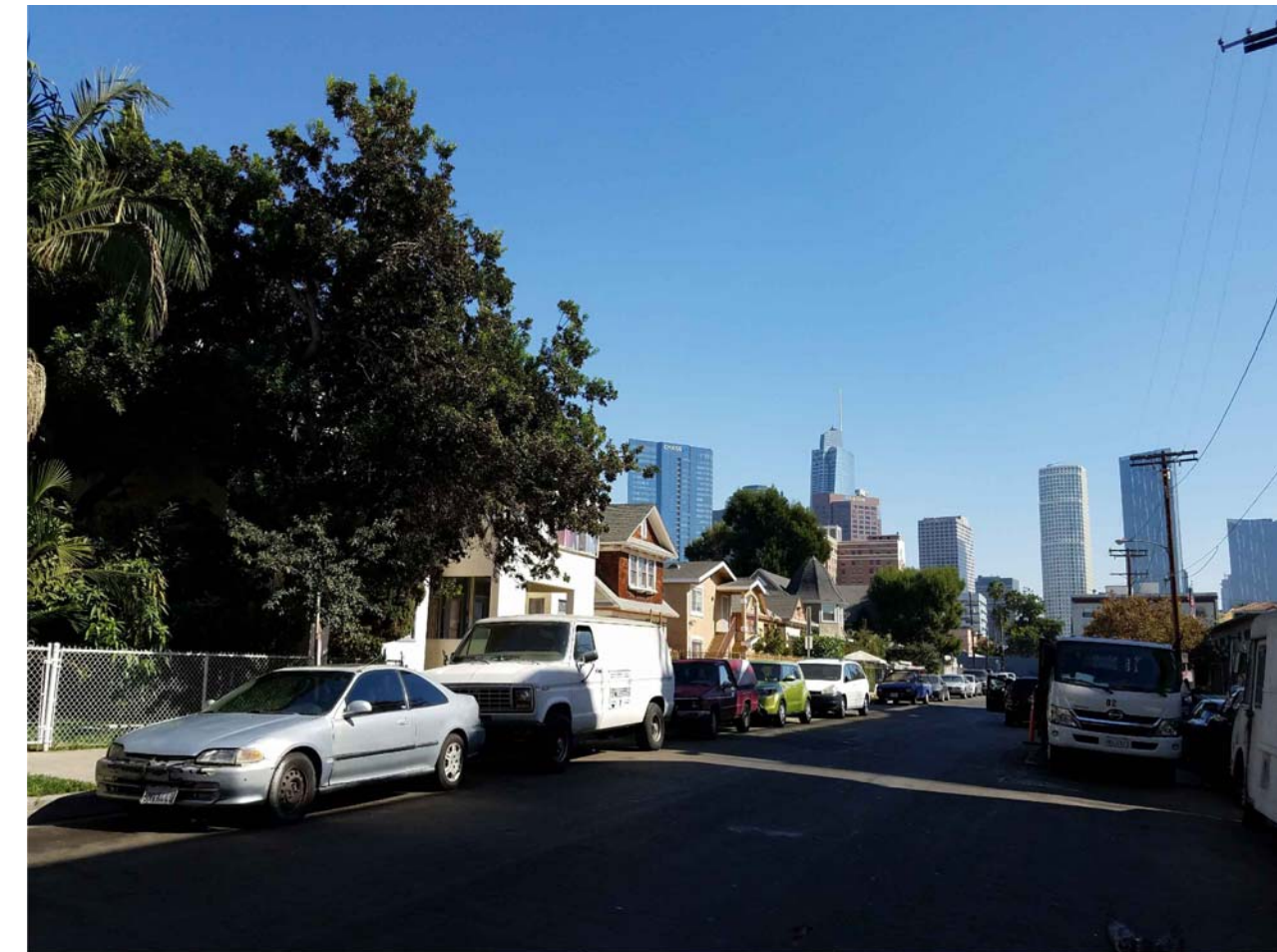
**7 NORTH WEST FROM ALLEY**



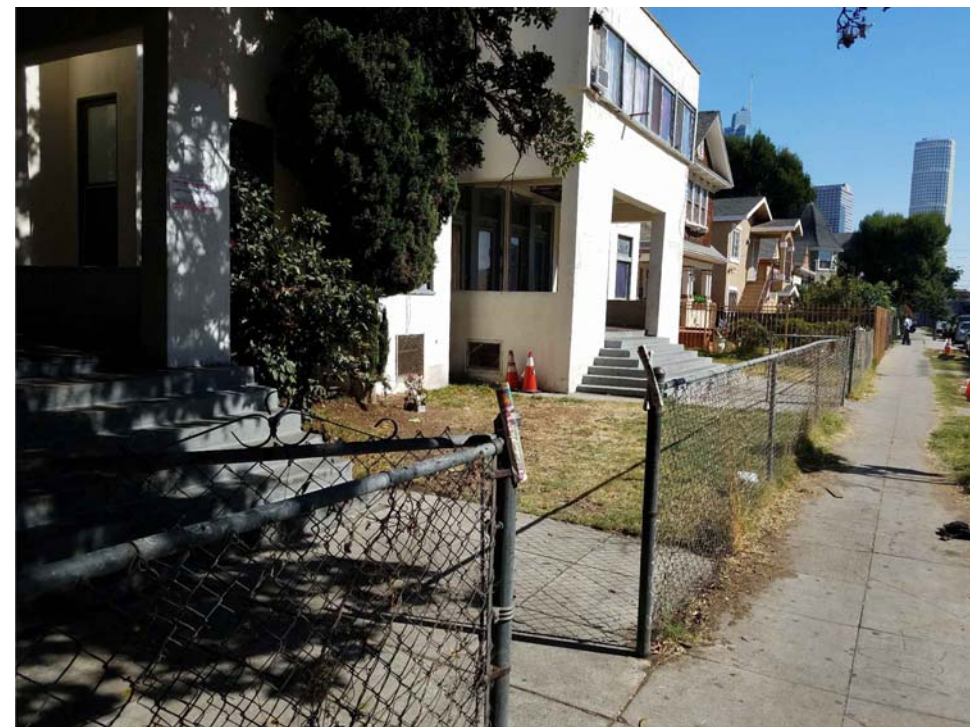
**6 NORTH EAST CORNER**



**1 VICINITY MAP** (FROM ZIMAS)



**5 LOOKING TOWARDS DOWNTOWN**



**2 SOUTH WEST CORNER**



**3 VIEW ACROSS THE ST.**



**4 SOUTH EAST CORNER**

NO.	REVISIONS	DATE:
1	HSAP RESUBMITTAL	8.26.21
2	PLANNING RESUBMITTAL	9.02.21
3	GREEN, ACCESS, AND FIRE	9.24.21
4	PLANNING RESUBMITTAL	12.20.21
5	GREEN, ACCESS, AND FIRE RESUBMITTAL	6.24.22
6	GREEN, ACCESS, FIRE AND PLANNING	8.19.22

PROJECT:  
**CAMBRIA TERRACE**  
1537 CAMBRIA AVE.  
LOS ANGELES, CA.

TITLE:  
**VICINITY MAP & EXISTING  
CONDITION PHOTOS**

DATE: 09/01/2021

SCALE:

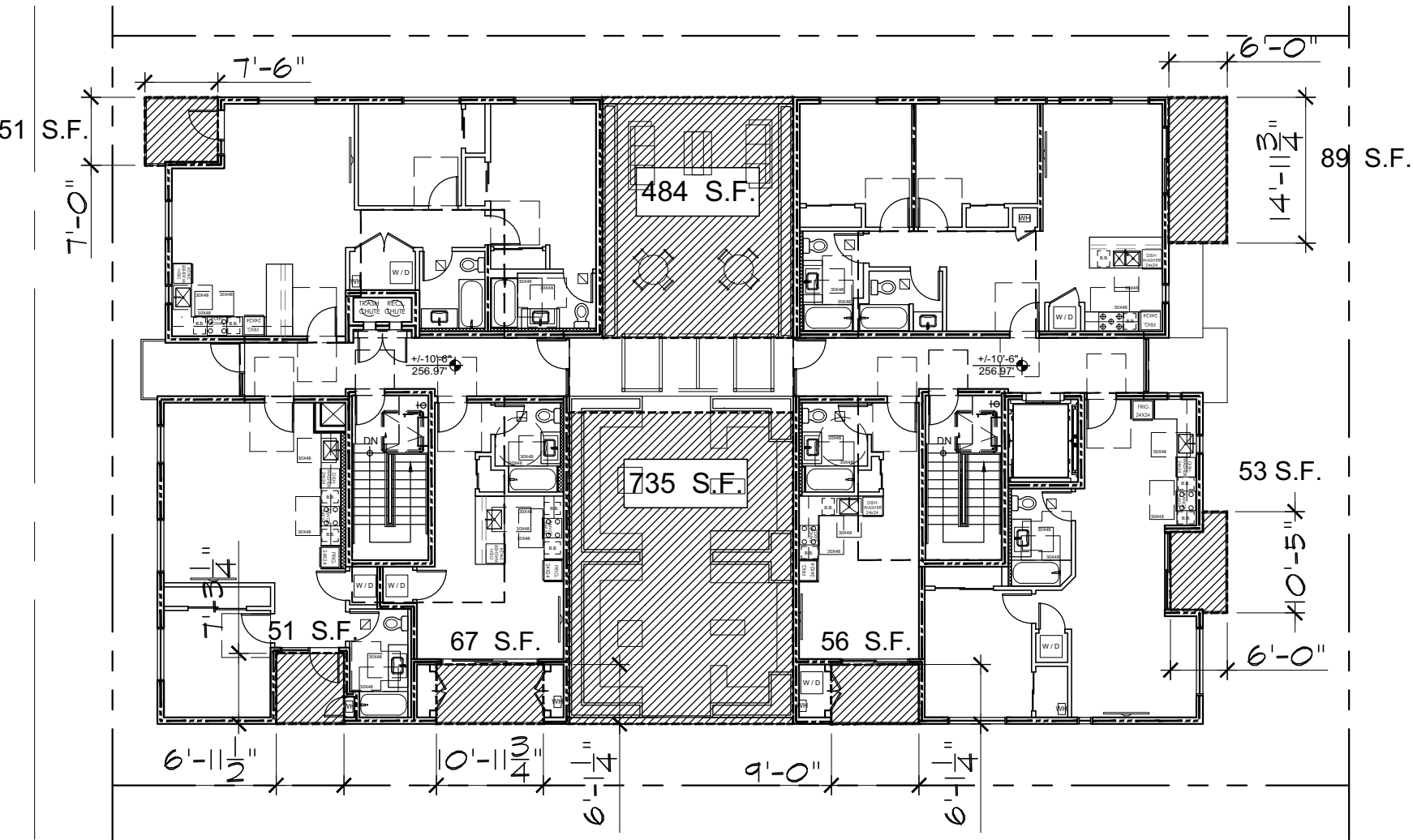
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AS SHOWN

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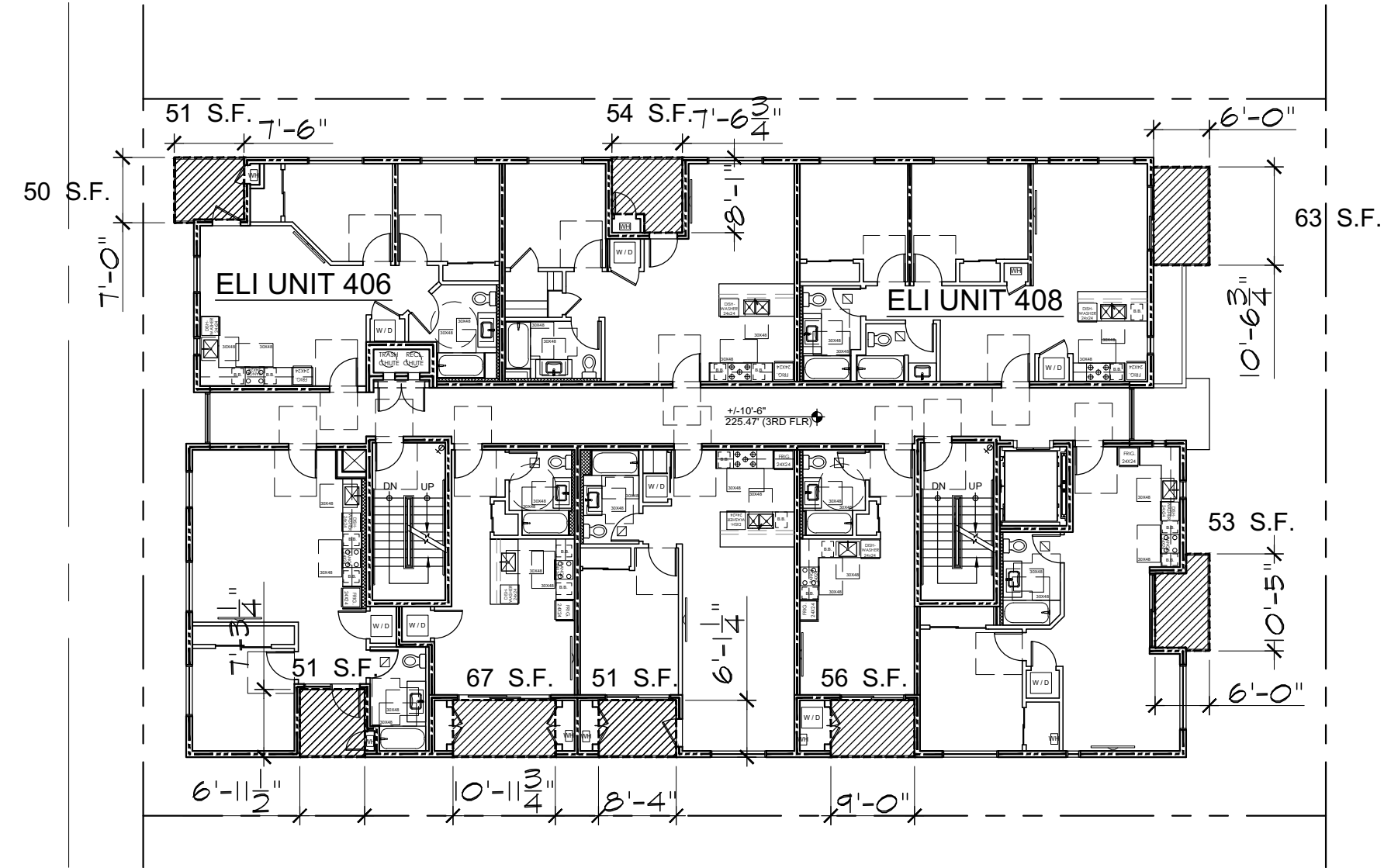
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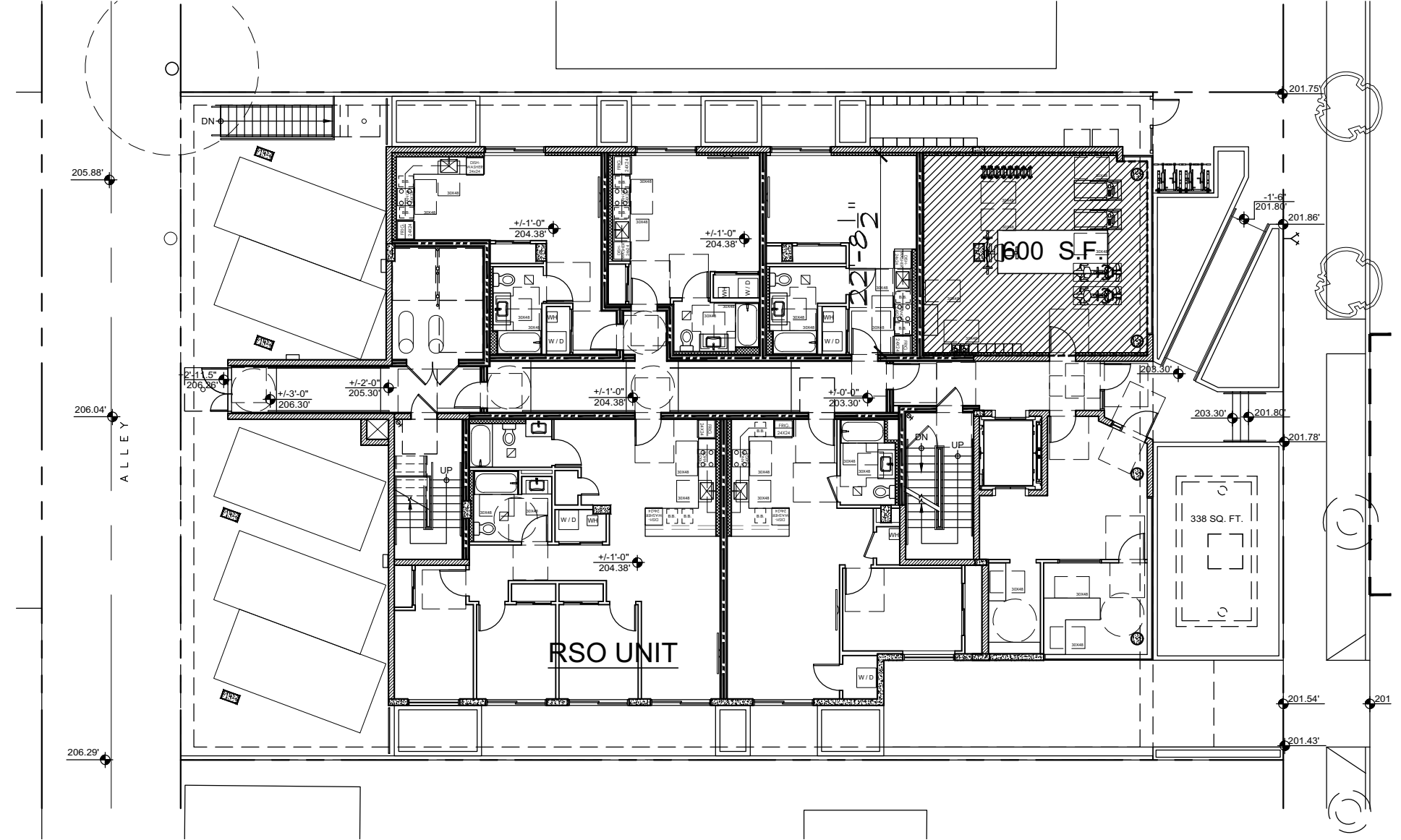




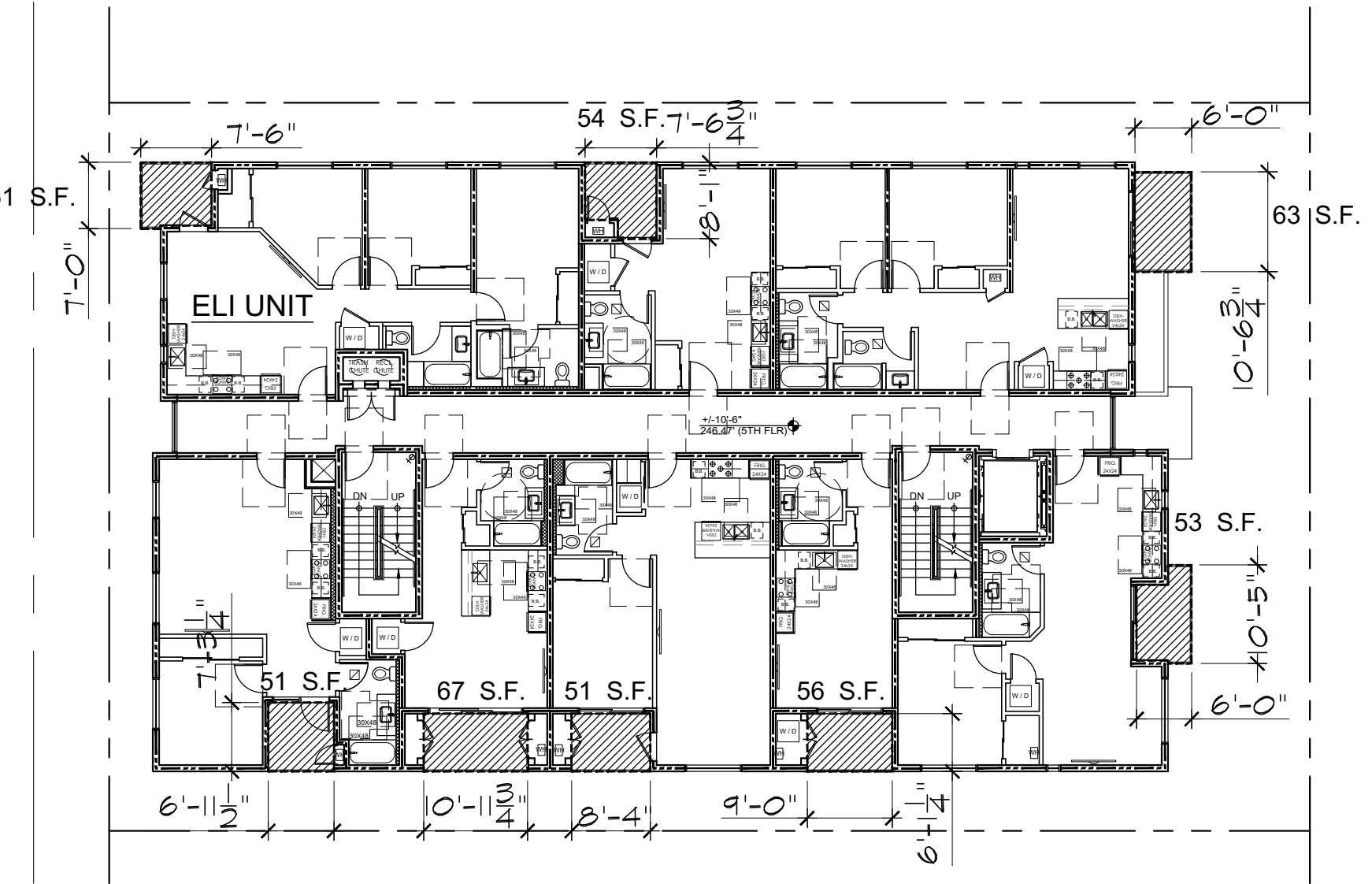
**7 SIXTH FLOOR PLAN**  
SCALE: 1/16"=1'-0"



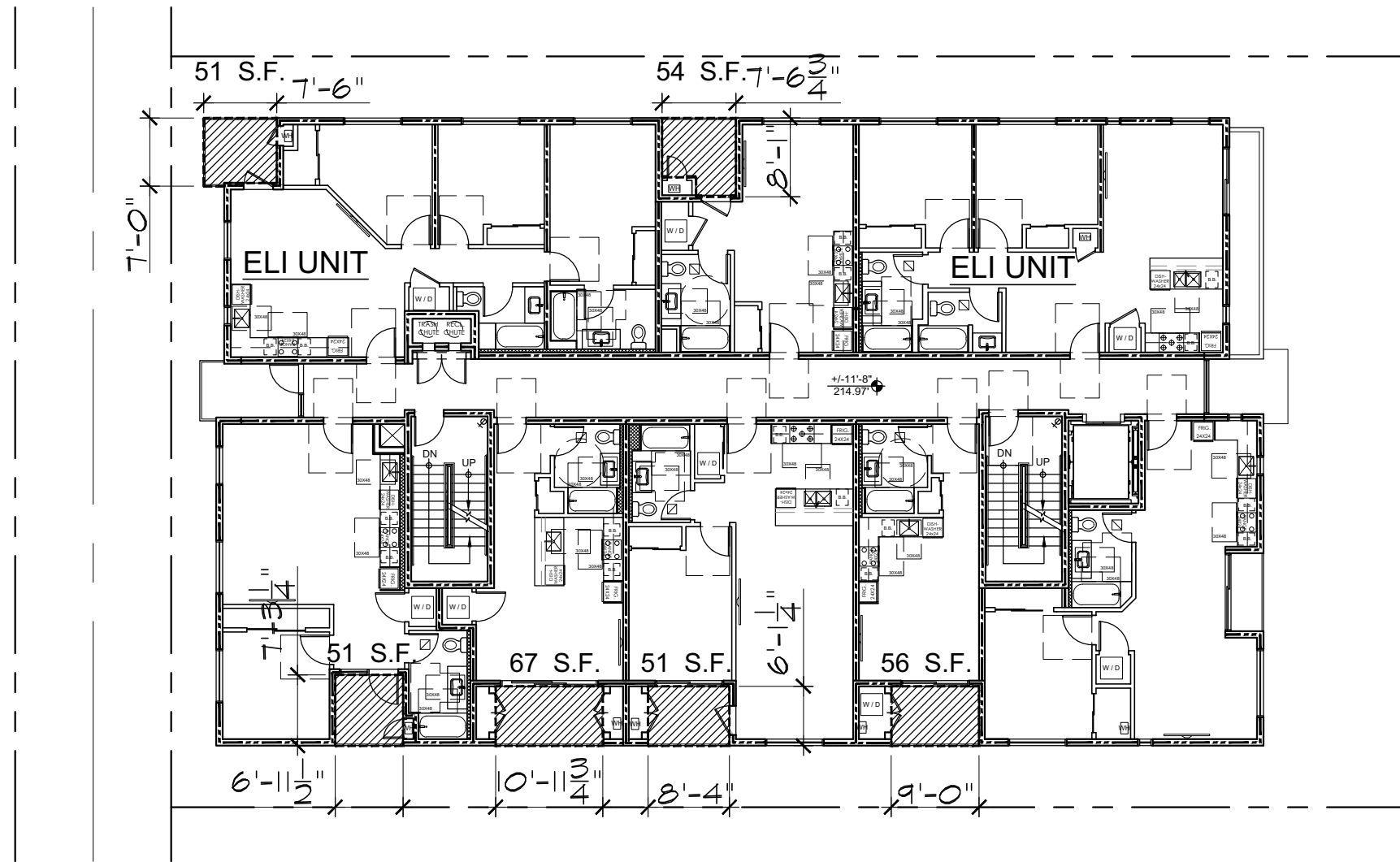
**5 3RD & 4TH FLOOR PLAN**  
SCALE: 1/16"=1'-0"



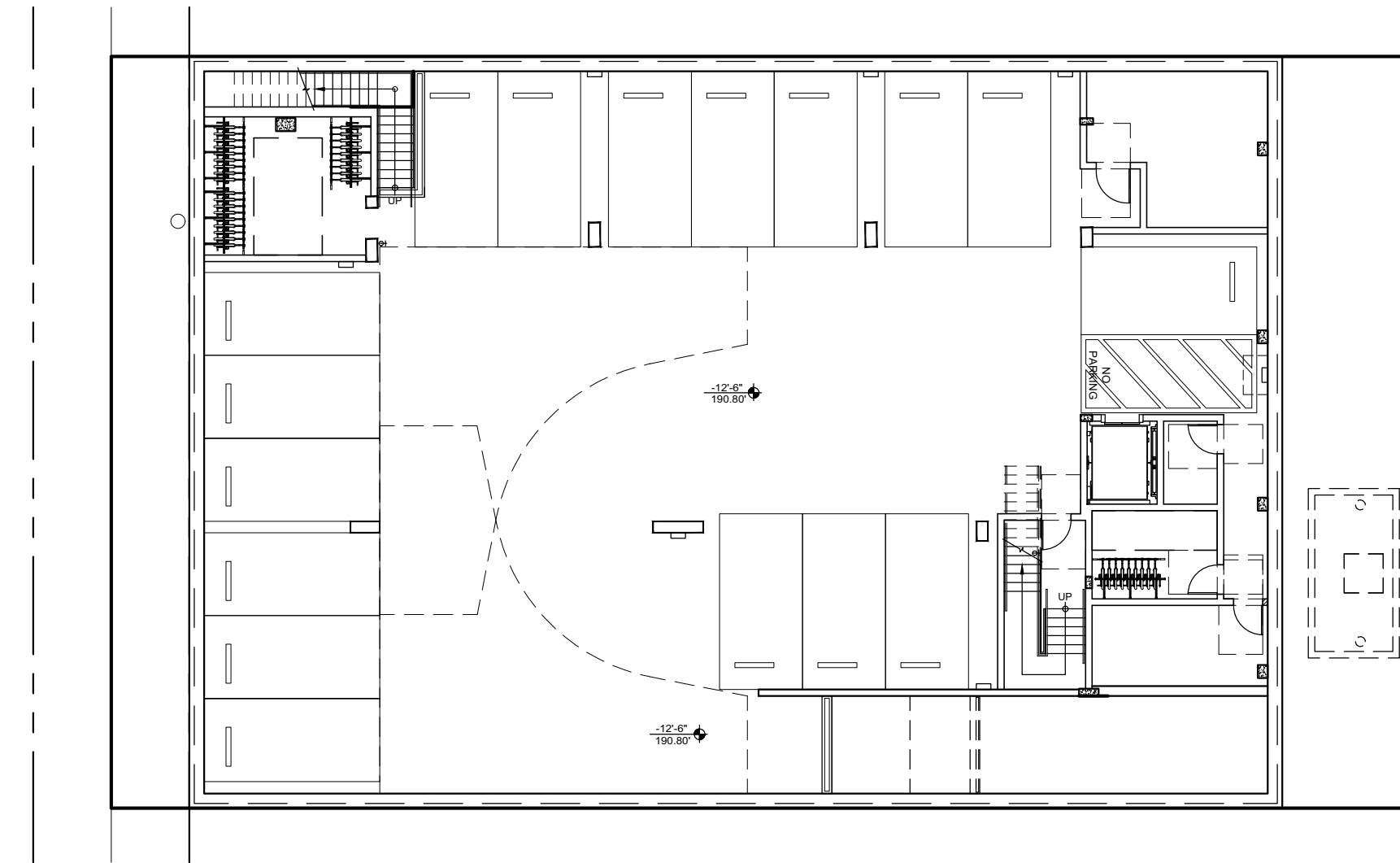
**3 FIRST FLOOR PLAN**  
SCALE: 1/16"=1'-0"



**6 FIFTH FLOOR PLAN**  
SCALE: 1/16"=1'-0"



**4 SECOND FLOOR PLAN**  
SCALE: 1/16"=1'-0"



**2 BASEMENT FLOOR PLAN**  
SCALE: 1/16"=1'-0"

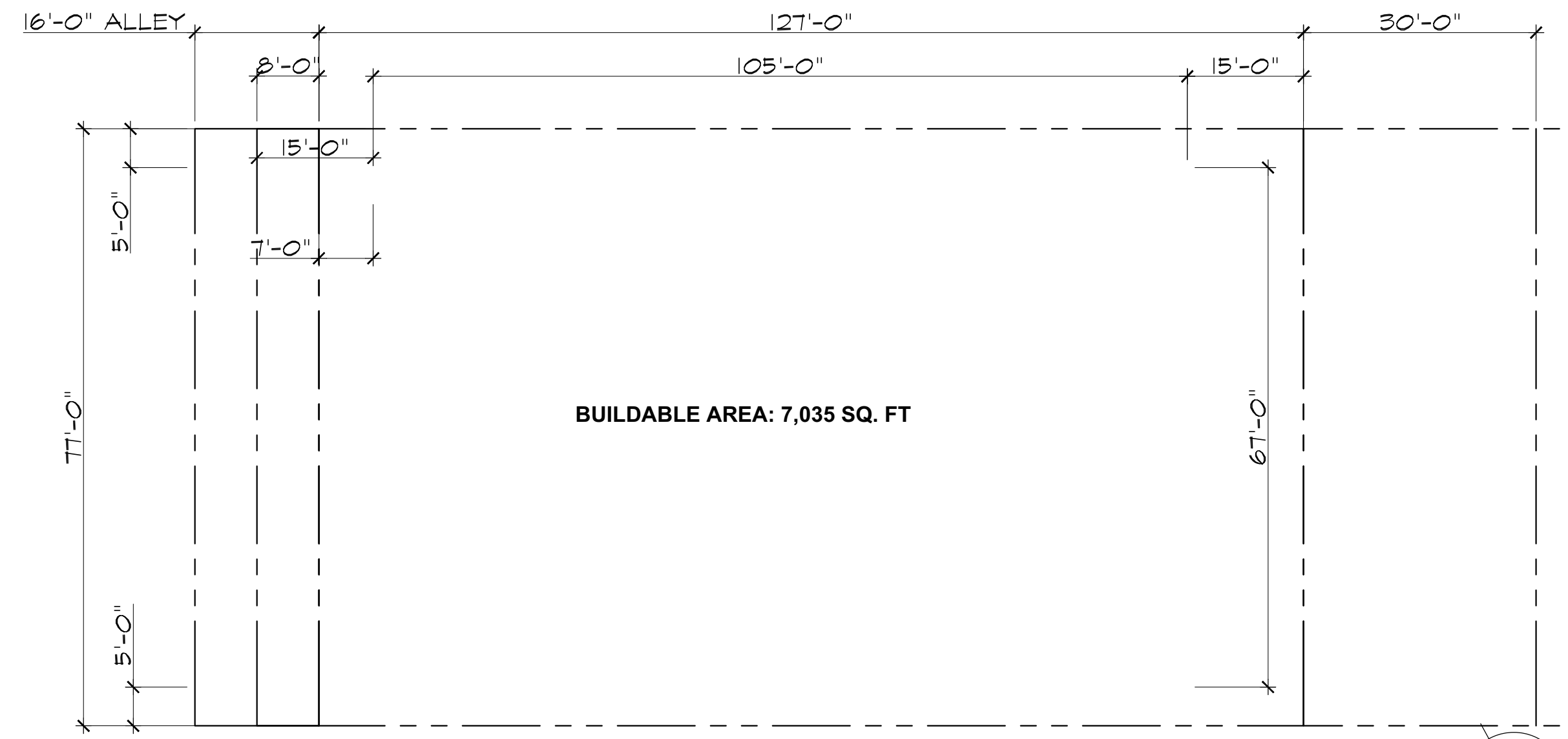
**LEGEND:**

OPEN SPACE AREA

**OPEN SPACE AREA CALCULATION:**

<b>REQUIRED:</b>	
LESS THAN 3 HABITABLE ROOMS (STUDIO): 14 X 100	1,400
LESS THAN 3 HABITABLE ROOMS (1-BR): 18 X 100	1,800
3 HABITABLE ROOMS (2-BR): 9 X 125	1,125
MORE THAN 3 HABITABLE ROOMS (3-BR): 2 X 175:	350
TOTAL REQUIRED:	4,675
TOC TIER 3 REDUCTION: 4,675 X 25%	1,169
<b>FINAL REQUIRED SQUARE FOOTAGE:</b> 4,675-1,169	<b>3,506</b>
<b>PROVIDED:</b>	
BALCONIES (PRIVATE): 31 X 50	1,700
RECREATION ROOM/GYM (COMMON):	600
6TH FLOOR (ROOF) DECK #1 (COMMON):	735
6TH FLOOR (ROOF) DECK #2 (COMMON):	484
TOTAL OPEN SPACE PROVIDED	3,519
MIN. COMMON SPACE: 50% X 3,506	1,753
PROVIDED COMMON OPEN SPACE: 600+735+484	1,819

**EXHIBIT "A"**  
Page No. 3 of 32  
Case No. DIR-2021-643-TOC-HCA



**1 BUILDABLE FLOOR AREA\_SITE**  
SCALE: 1/16"=1'-0"

NO.	REVISIONS	DATE:
1	HSAP RESUBMITTAL	8.26.21
2	PLANNING RESUBMITTAL	9.02.21
3	GREEN, ACCESS, AND FIRE	9.24.21
4	PLANNING RESUBMITTAL	12.20.21
5	GREEN, ACCESS, AND FIRE RESUBMITTAL	6.24.22
6	GREEN, ACCESS, FIRE AND PLANNING	8.19.22

**PROJECT:**  
CAMBRIA TERRACE  
1537 CAMBRIA AVE.  
LOS ANGELES, CA.

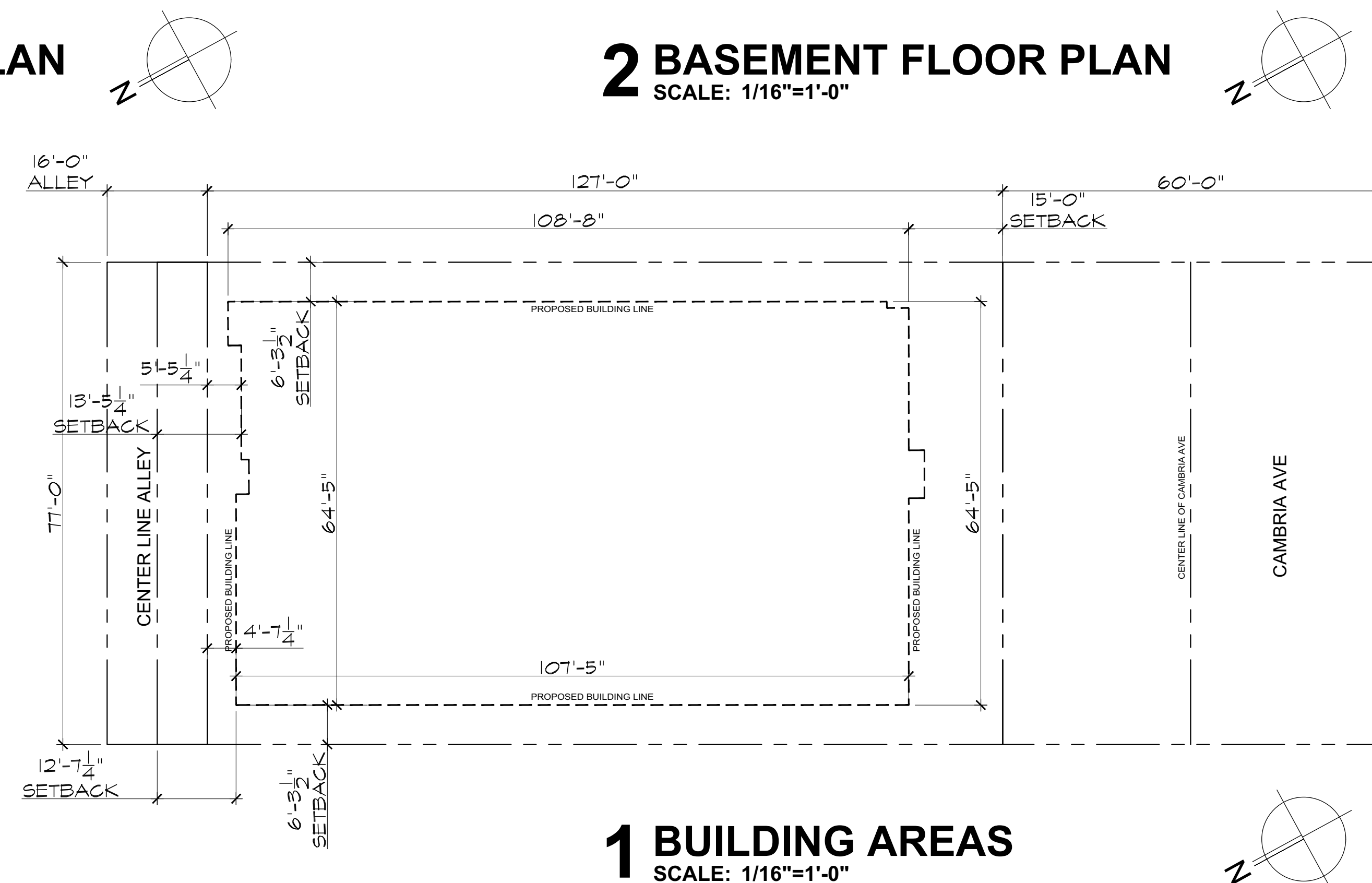
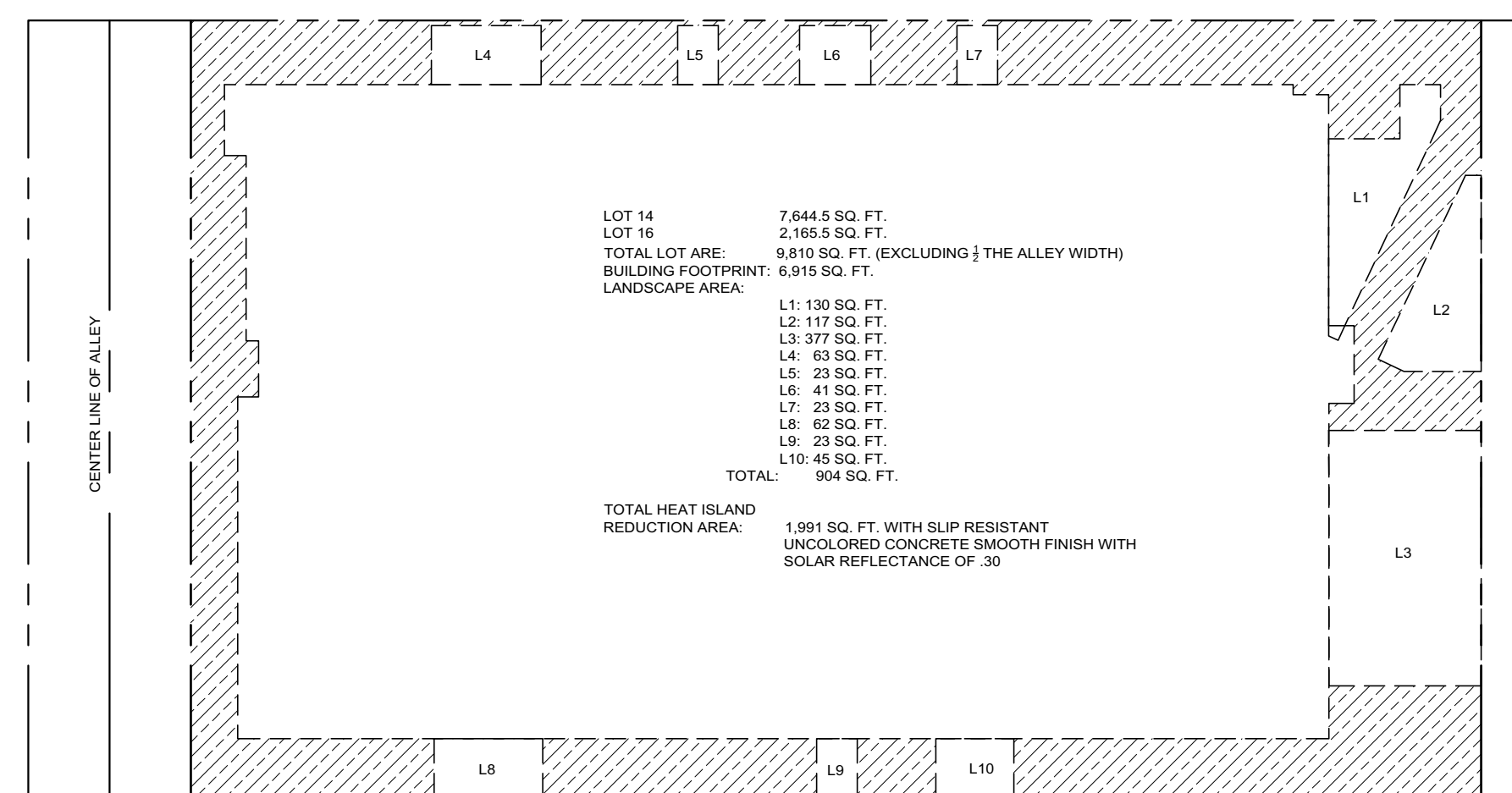
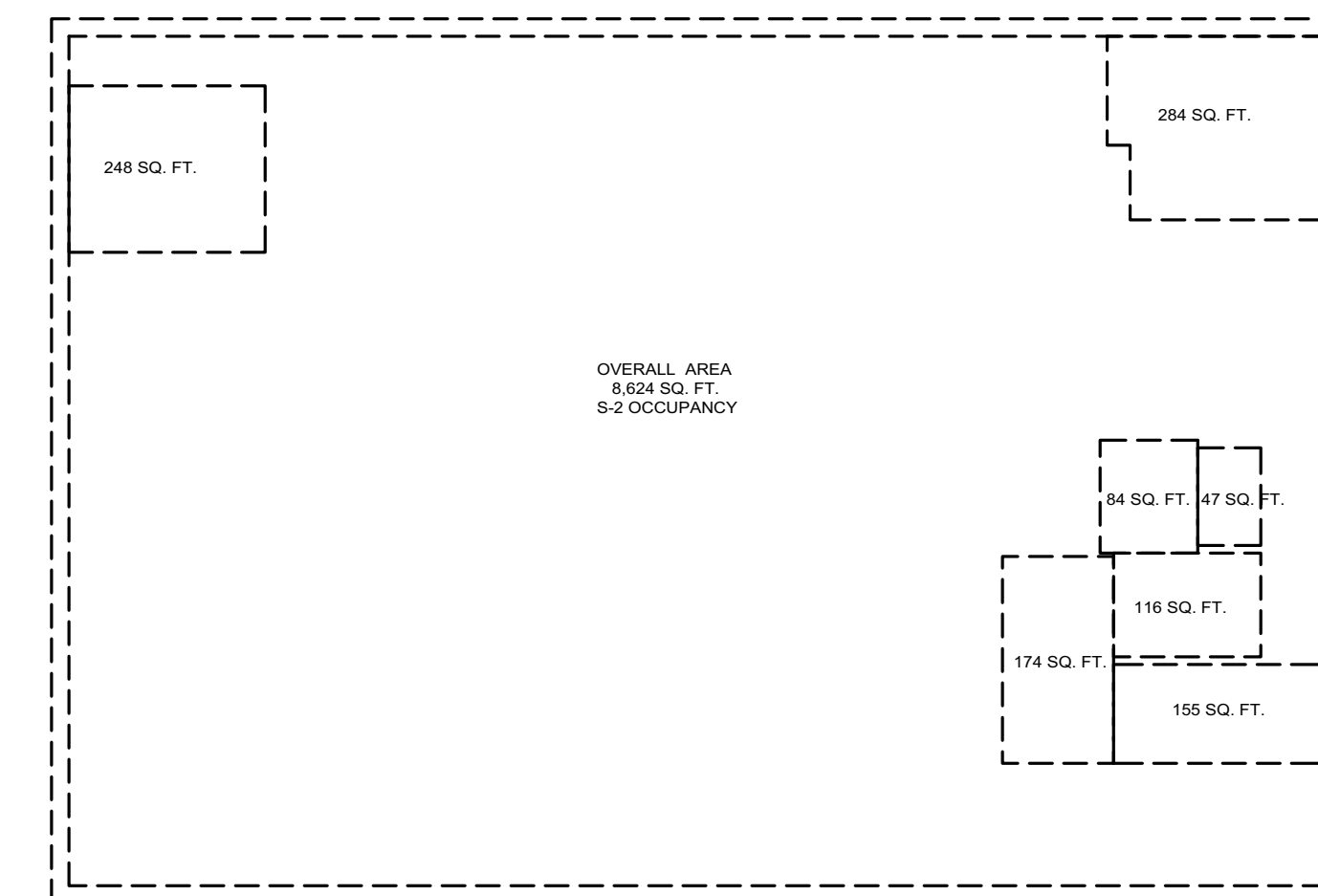
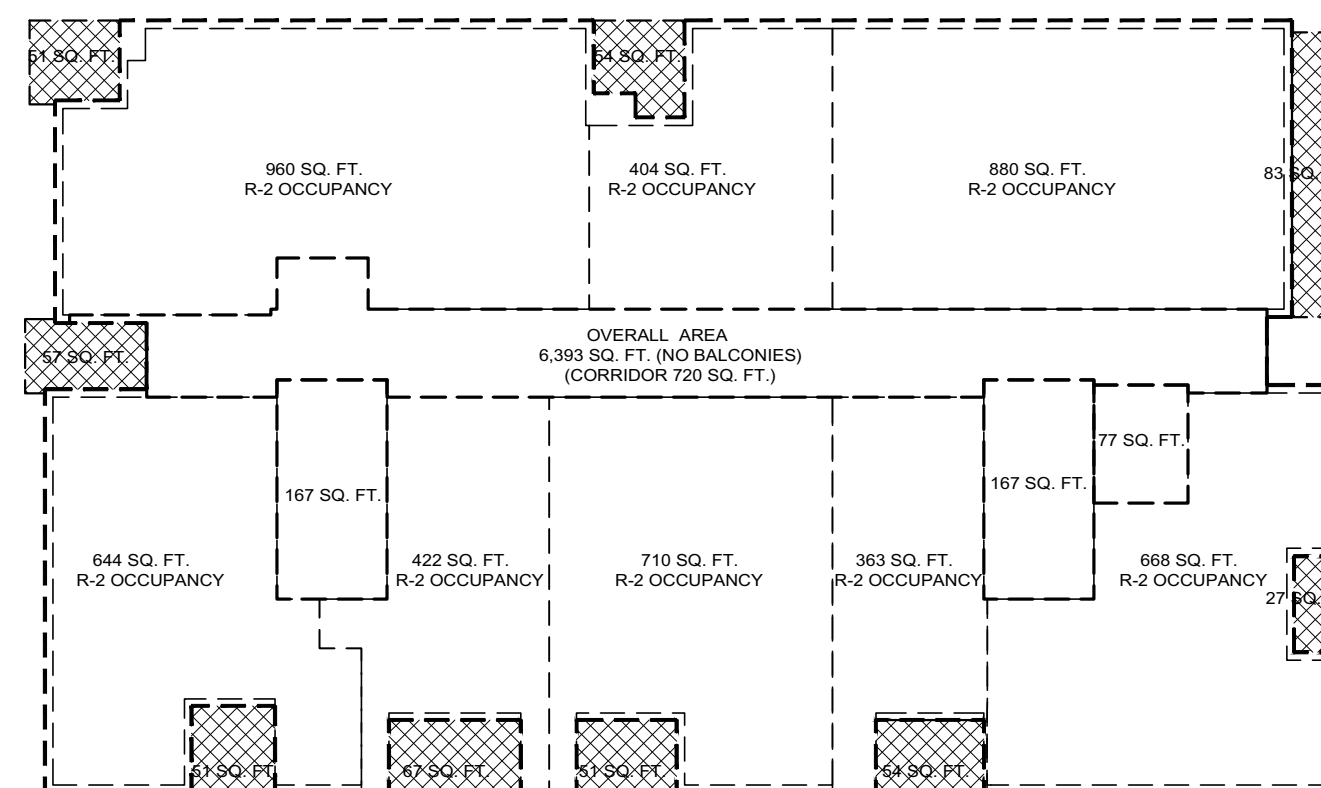
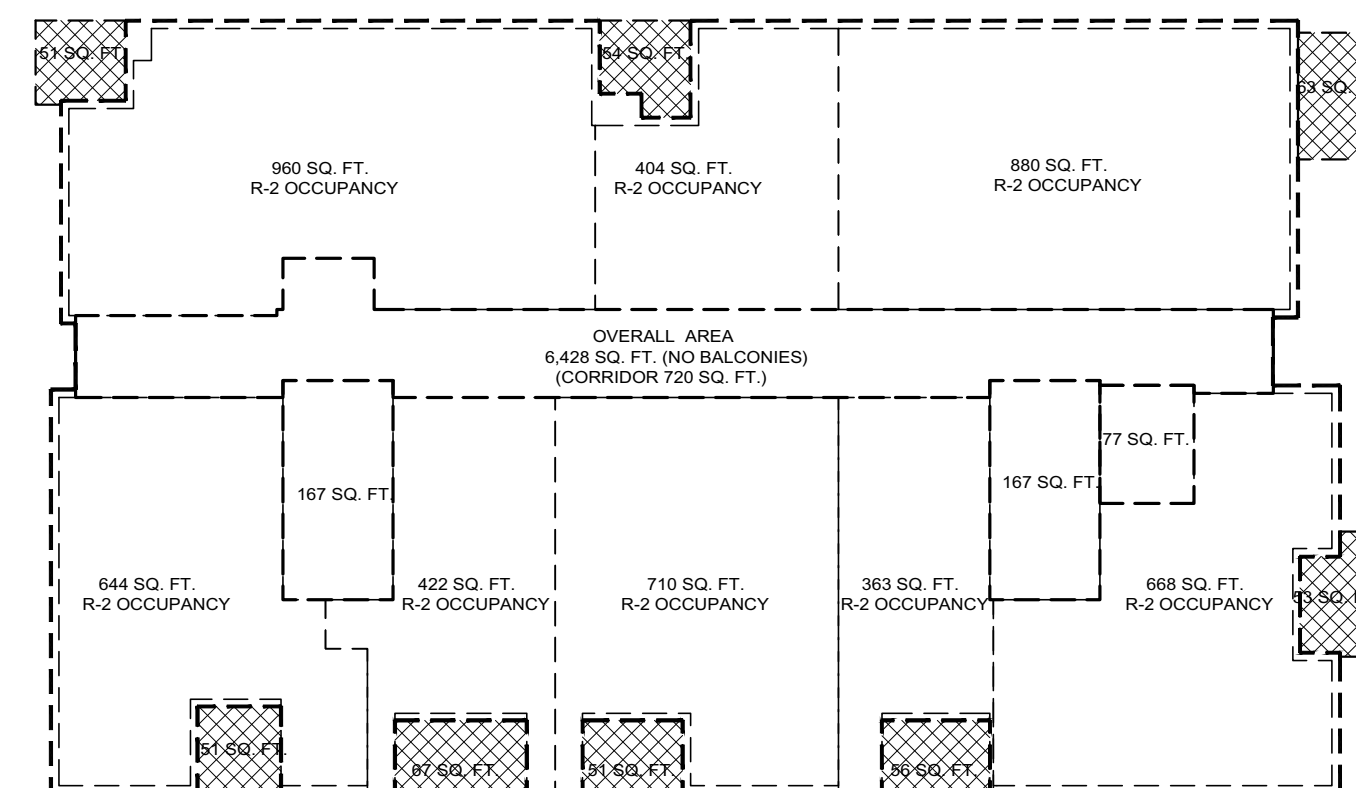
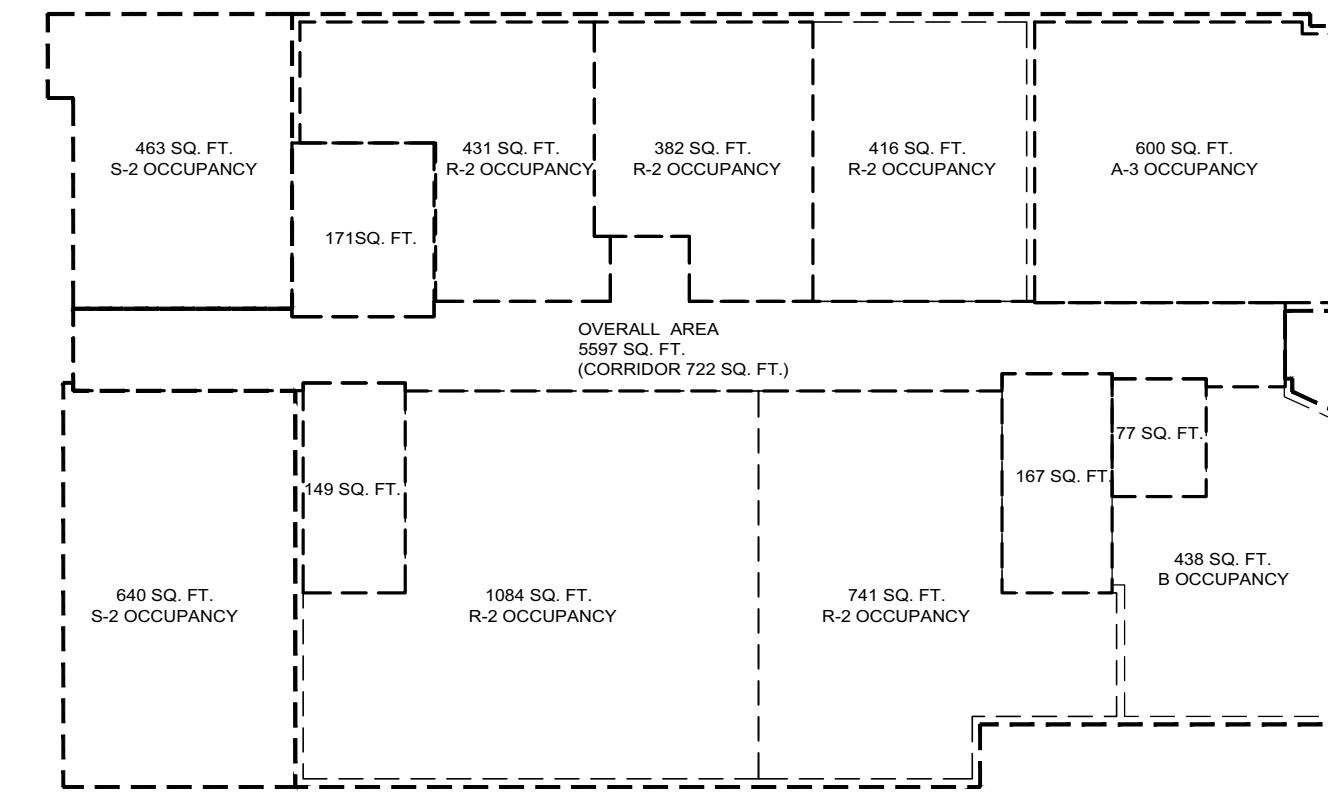
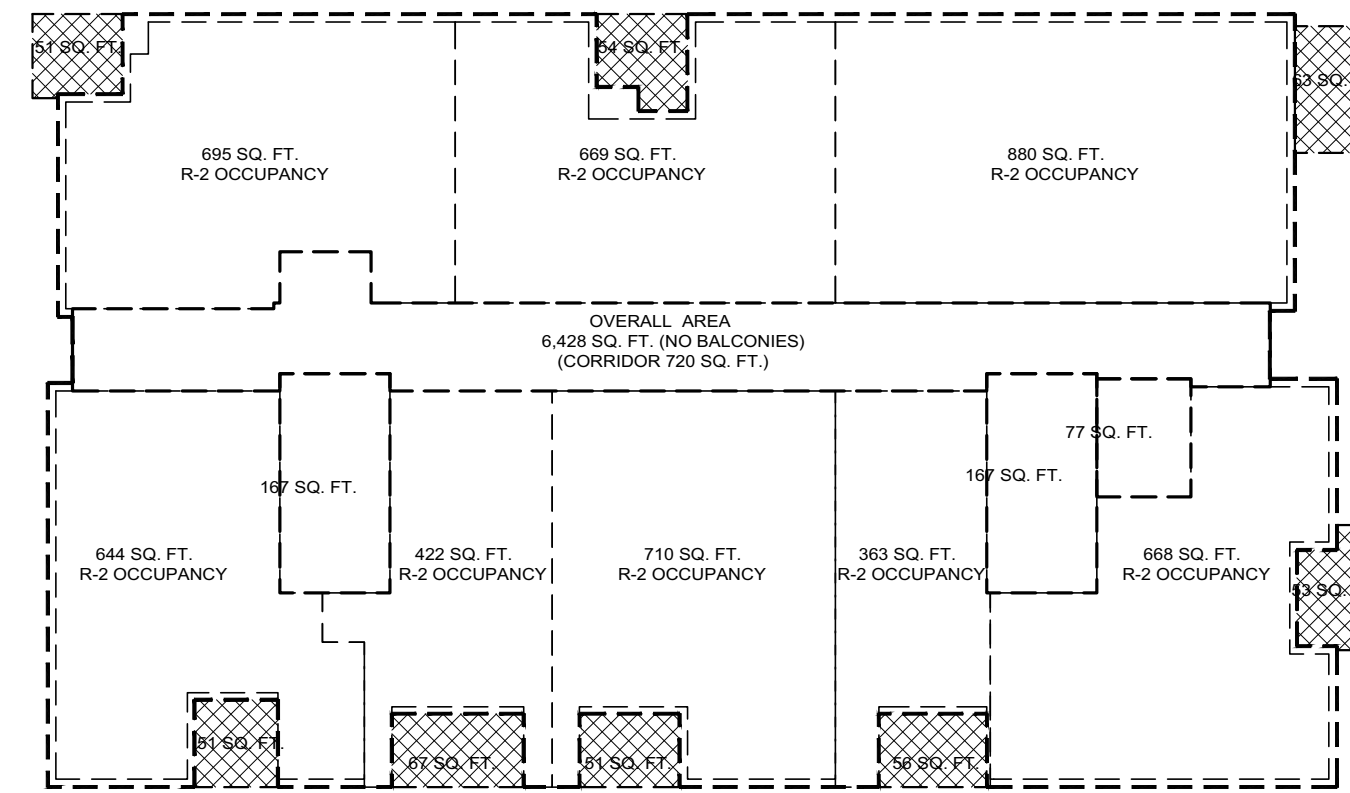
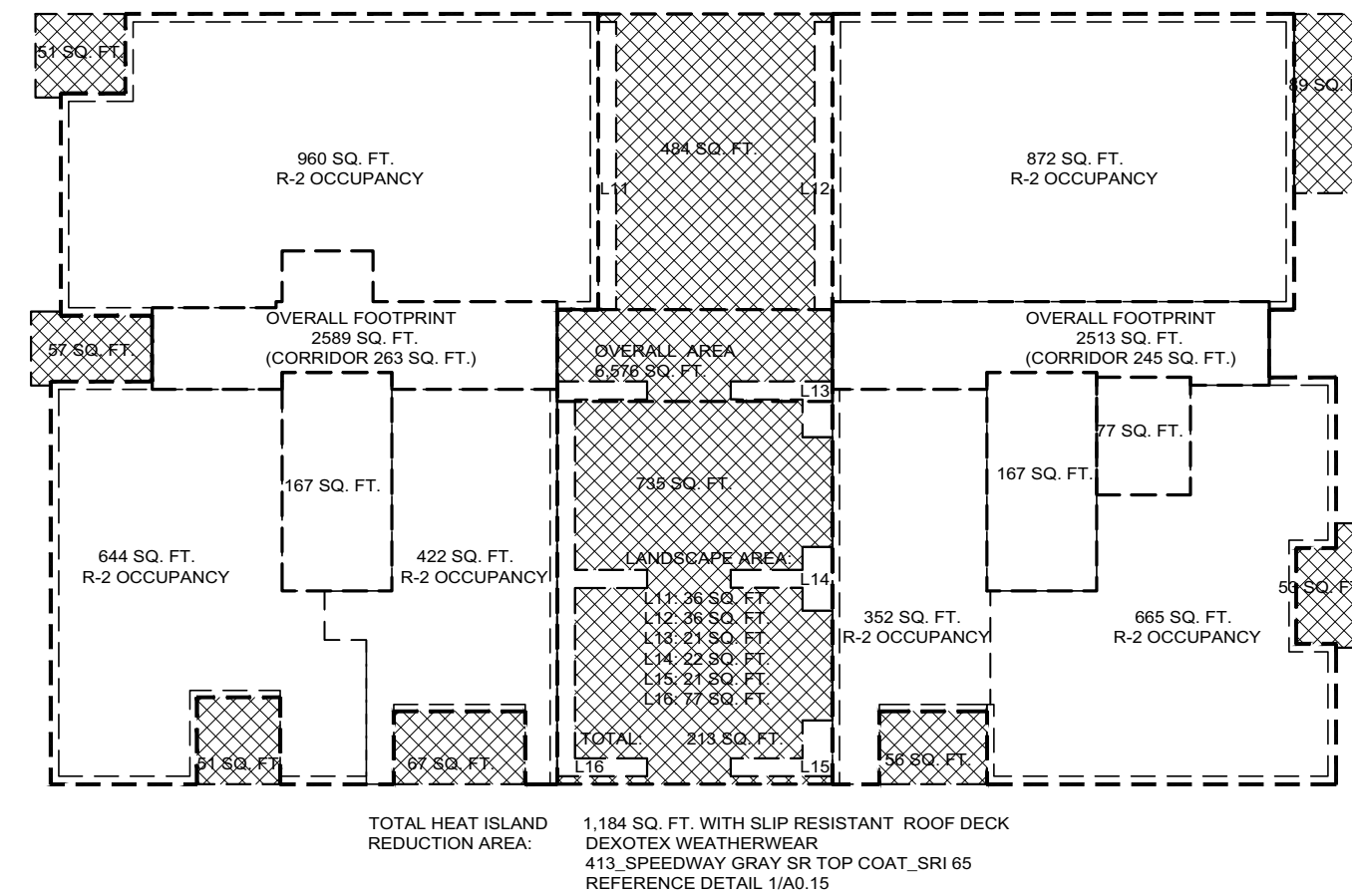
**TITLE:**  
OPEN SPACE PLANS

**DATE:** 09/01/2021  
**SCALE:** AS SHOWN  
**DRAWN BY:**  
**SHEET:**

**A0.11**

FILE:





**BUILDING AREAS S-2 OCCUPANCY (TYPE I-A)**

BASEMENT: 8,624 S.F.  
1ST FLOOR: 1,103 S.F.

TOTAL AREA: 9,727 S.F.

**BUILDING AREAS R-2 OCCUPANCY (TYPE I-A)**

1ST FLOOR: 4,552 S.F.

**BUILDING AREAS R-2 OCCUPANCY (TYPE I-A)**

2ND FLOOR: 6,885 S.F.  
3RD FLOOR: 6,871 S.F.  
4TH FLOOR: 6,871 S.F.  
5TH FLOOR: 6,871 S.F.  
6TH FLOOR: 5,524 S.F.

TOTAL : 33,002 S.F.

**BUILDING AREA B OCCUPANCY (TYPE I-A)**

1ST FLOOR: 438 S.F.

**BUILDING AREA A-3 OCCUPANCY (TYPE I-A)**

1ST FLOOR: 600 S.F.

MINIMUM FRONTAGE DISTANCE CBC 506.3.2

EQUATION 5-4

$$W = (64.5 \times W_1 + 64.5 \times W_2) / 129$$
$$W = (4,837.5 + 1,290 / 129 = 40.5) \text{ BUT USE } 30$$

AMOUNT OF INCREASE CBC 506.3.3

EQUATION 5-5

$$L_f = (F/P - 25)W/30$$
$$L_f = (129/229 - 25)30$$
$$L_f = .31$$

SINGLE OCCUPANCY-MULTI STORY BLDG. CBC 506.2.3 R-2

As = At + (Ns X Lf) X Ss

$$As = 24,000 + (24,000 \times .31) \times 2$$
$$As = 62,880$$

**EXHIBIT "A"**  
Page No. 4 of 32  
Case No. DIR-2021-643-TOC-HCA



NO.	REVISIONS	DATE:
	HSAP RESUBMITTAL	8.26.21
	PLANNING RESUBMITTAL	9.02.21
	GREEN, ACCESS, AND FIRE	9.24.21
	PLANNING RESUBMITTAL	12.20.21
	GREEN, ACCESS, AND FIRE RESUBMITTAL	6.24.22
	GREEN, ACCESS, FIRE AND PLANNING	8.19.22

PROJECT:  
CAMBRIA TERRACE

1537 CAMBRIA AVE.  
LOS ANGELES, CA.

LE: AREA TABULATION PLANS

DATE: 09/01/2021

SCALE: AS SHOWN

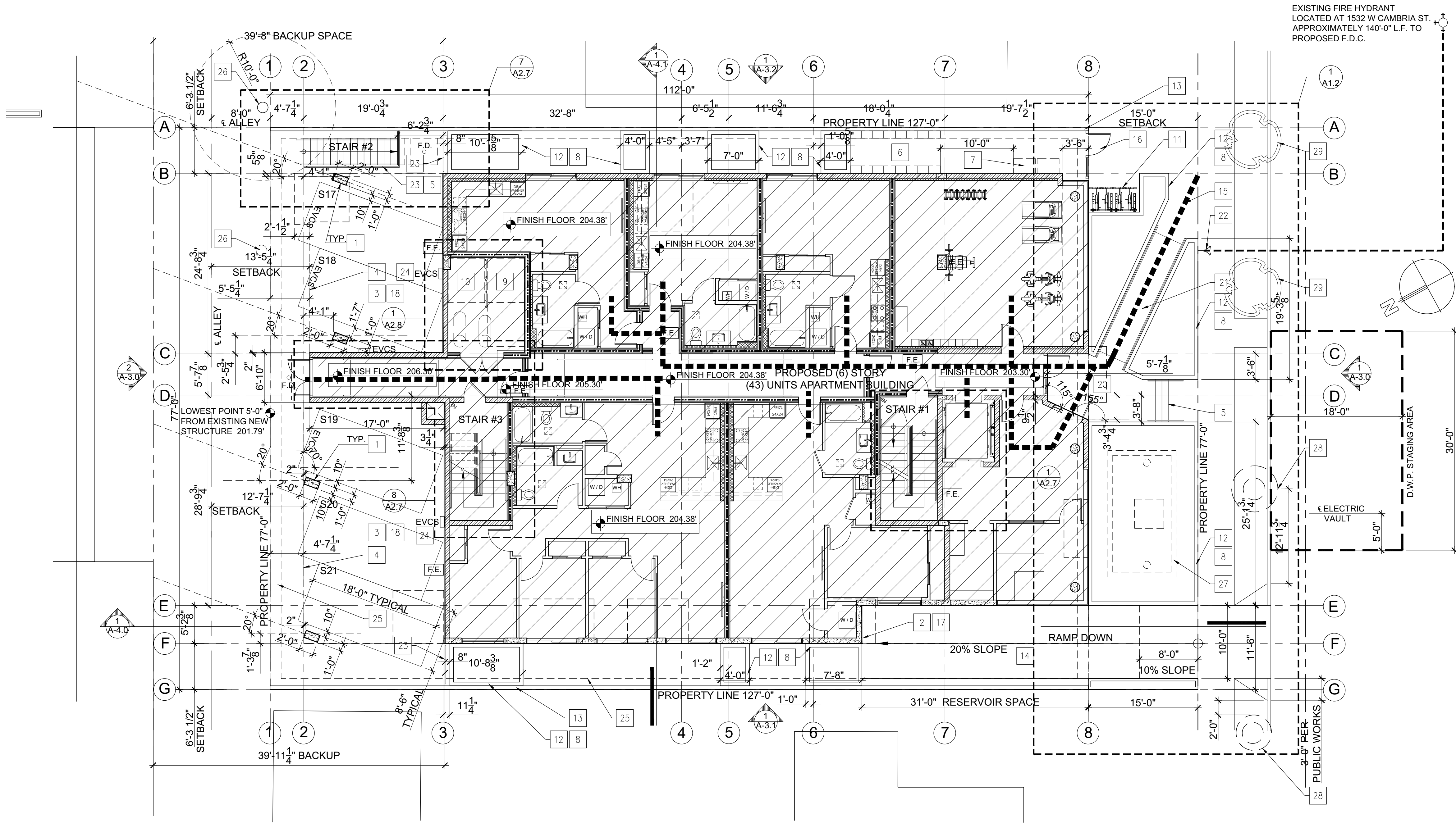
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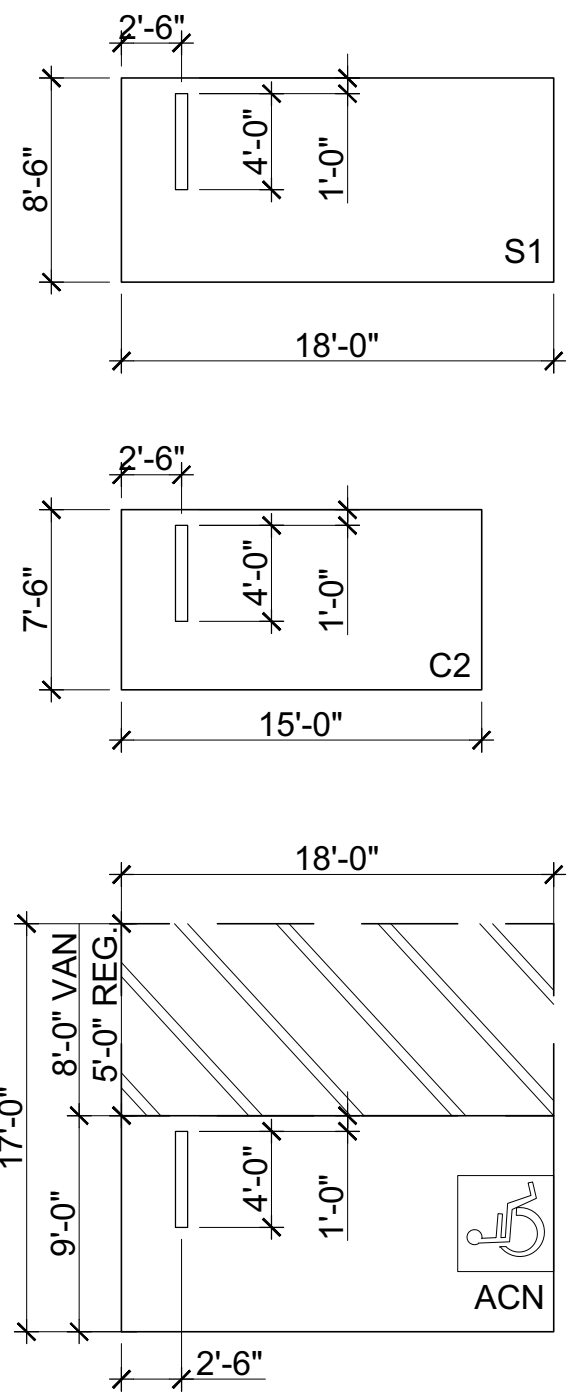
A0.12





2 SITE PLAN  
SCALE: 1/8"=1'-0"

LID NOTE:  
ALL ROOF RUNOFF TO PLANTERS PER CIVIL PLANS



DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO.5

1 PARKING DIAGRAMS  
SCALE: N.T.S.

LEGEND

	CMU WALL, WALL TYPE 6		PARTITION TYPE
	CONCRETE WALL (SEE STRUCTURAL DRAWING FOR MORE DETAILS) 3 HR. MIN PER CBC TABLE 722.2.1.1 AND 721.1 (2) ITEM #4-1.1		ILLUMINATED EXIT SIGN WITH BATTERY BACKUP
	2 HR RATED SHAFT WALL		STAND PIPE
	2 HR RATED EXTERIOR RATED WALL		FDC
	1 HR RATED INTERIOR RATED WALL		FIRE EXTINGUISHER, OPERABLE PART TO BE MOUNTED 48" A.F.F.
	INTERIOR PARTITION PER WALL TYPE 1, REFERENCE STRUCTURAL DRAWINGS FOR FRAMING SIZE. REFERENCE WALL TYPE 2 FOR BATHROOM WALLS WHERE WALL TILE INSTALLATION		FLOOR SLOPE
	WALL FURRING		WINDOW TYPE
			DOOR TYPE
			ACCESSIBLE PATH OF TRAVEL

KEY NOTES

- COLUMN PER STRUCTURAL PLANS
- MAINTAIN 8'-2" CLEAR HEADROOM CLEARANCE
- CONCRETE SLAB PER STRUCTURAL DRAWINGS, REFERENCE CIVIL DRAWINGS FOR REQUIRED DRAINAGE AND SLOPE
- LINE OF SECOND FLOOR ABOVE
- NEW CONCRETE STAIRS ON GRADE W/ 1 3/4" DIA. PAINTED GALVANIZED HANDRAILS, TOP OF HAND RAILS TO BE 34" A.F.F. REFERENCE DETAIL 3/C-5
- PROPOSED GAS METERS
- PROPOSED ELECTRICAL EQUIPMENT
- PROPOSED LANDSCAPE AREA
- TRASH BIN AREA
- 30 SQ. FT. RECYCLING AREA
- SHORT TERM BICYCLE PARKING PER DETAIL 2/A0.13
- CONCRETE PLANTER WALLS
- 6'-0" HIGH CMU WALL PER CIVIL DRAWINGS, REQUIRED FOR PARKING AREAS PER P/ZC 2002-001
- CONCRETE RAMP PER CIVIL DRAWINGS, PROVIDE CONCRETE CURB ADJACENT TO PROPOSED WALLS
- ACCESSIBLE PATH OF TRAVEL
- 36" WIDE X 7'-0" HIGH METAL GATE WITH METAL FENCE PER 1/A1.3
- PROVIDE MOTOR OPERATED ROLL-UP METAL GATE
- PARKING LAYOUT, REFERENCE DETAIL 1/- FOR TYPICAL DIMENSIONS
- PROVIDE CURB CUT AND NEW CURB RAMP. SEE CIVIL DRAWINGS
- CONCRETE HARDSCAPE PER CIVIL DRAWINGS, PROVIDE SLIP RESISTANT FINISH, PROVIDE SAMPLE FOR OWNER'S APPROVAL
- NEW CONCRETE RAMP W/ 1 3/4" DIA. PAINTED GALVANIZED HANDRAILS, TOP OF HAND RAILS TO BE 34" A.F.F.
- FIRE DEPARTMENT CONNECTION
- 42" HIGH GALV. PAINTED METAL GUARDRAIL PER DETAIL 1/A8.3
- ELECT. VEHICLE CHARGING STATION/SUPPLY EQUIPMENT 1" MIN CONDUIT FIELD. COORDINATE WITH MANUFACTURER'S REQUIREMENTS (REF. A-0.4 GRN 14 NOTE #2)
- LINE OF SHORING/CMU WALL BELOW
- RELOCATE EXISTING POWER POLE
- ELECTRICAL VAULT WITH ACCESS PANEL
- EXISTING TREE TO REMAIN, PROTECT IN PLACE
- NEW TREE, REFERENCE LANDSCAPE PLANS
- PROPOSED LOCATION OF POWER POLE, COORDINATE WITH DWP

NOTES:

- THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT, A SEPARATE PERMIT IS REQUIRED.
- THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.
- REFERENCE DETAILS 2, 4, AND 11 FOR TYPICAL ACCESSIBILITY FOR DOORS.
- REFERENCE SHEET A-8.0 FOR TYPICAL ACCESSIBILITY DETAILS.
- REFERENCE CIVIL AND PLUMBING PLANS FOR DRAINAGE NOT SHOWN ON THIS PLAN



NO.	REVISIONS	DATE:
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	PLANNING RESUBMITTAL	12.20.21
	GREEN ACCESS, AND FIRE RESUBMITTAL	6.24.22
	GREEN, ACCESS, FIRE AND PLANNING	8.19.22

PROJECT:  
CAMBRIA TERRACE  
1537 CAMBRIA AVE.  
LOS ANGELES, CA.

TITLE:  
SITE PLAN

DATE: 09/01/2021

SCALE: AS SHOWN

DRAWN BY:

SHEET:

A1.0

FILE:

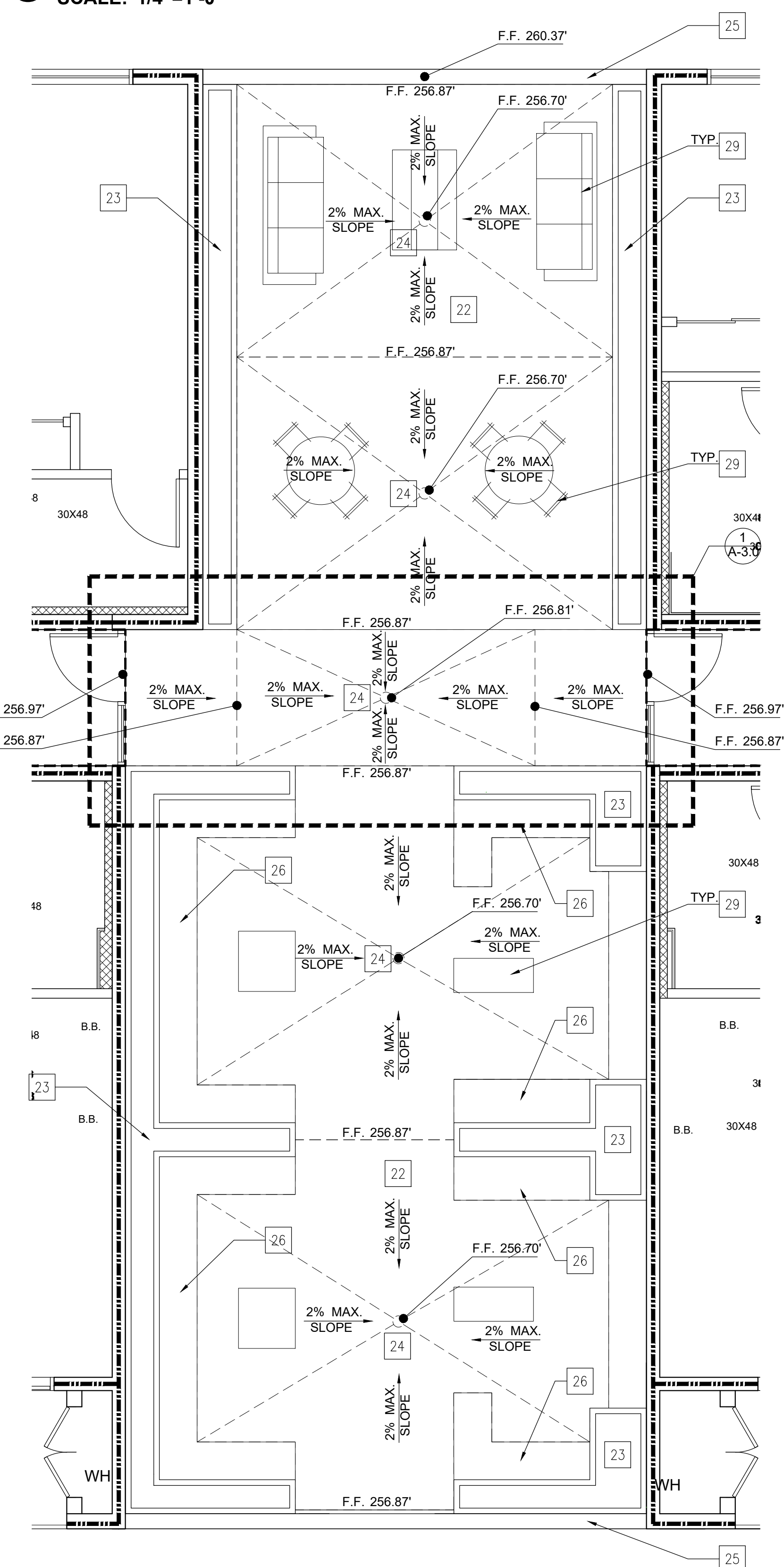


[www.ladbs.org](http://www.ladbs.org)

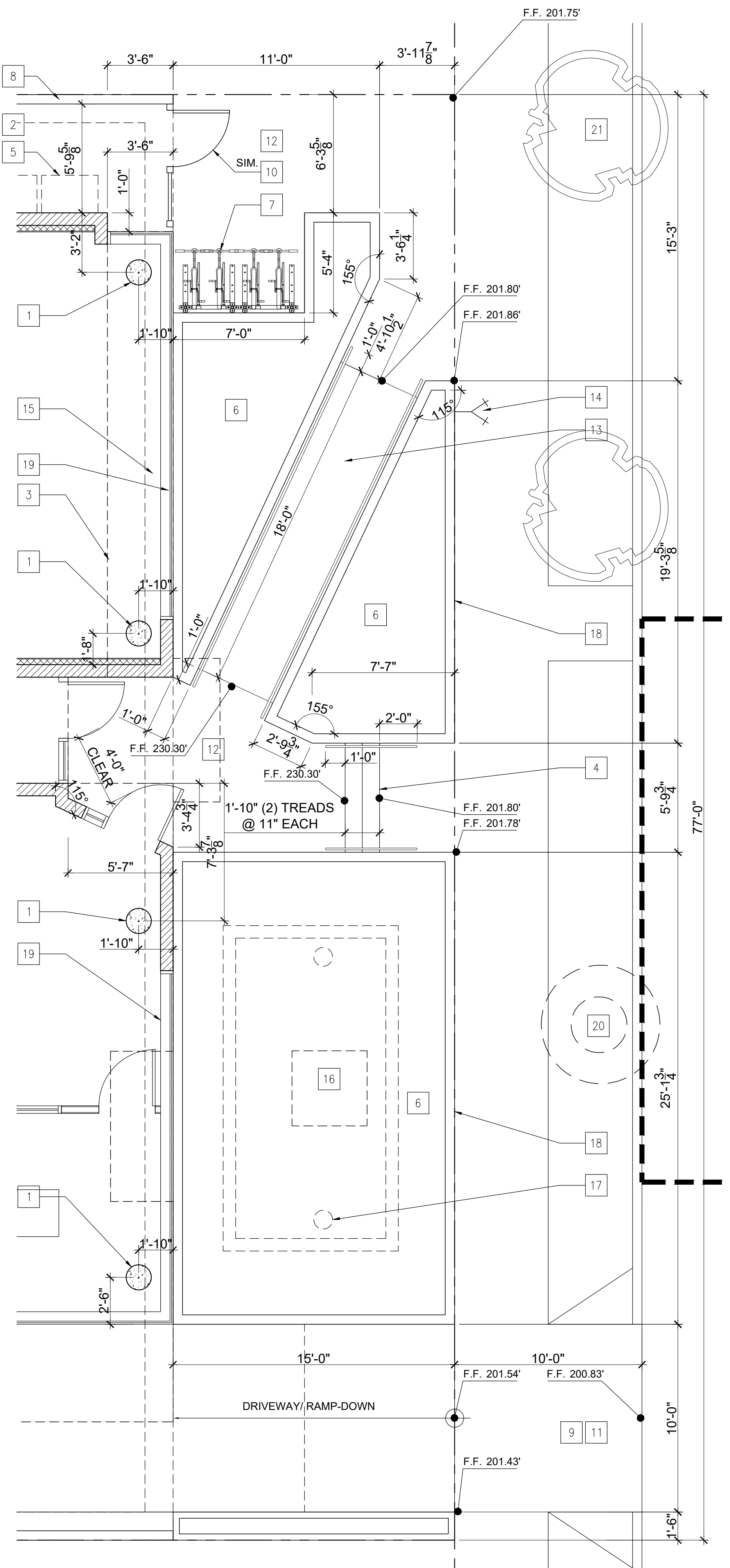
24.STORAGE OF MATERIALS ON FLOORS IS NOT ALLOWED.

FILE





## 2 ENLARGE ROOF OUTDOOR



**1 ENLARGE SITE PLAN**  
SCALE: 1/4"=1'-0"

1. COLUMN PER STRUCTURAL PLANS
2. CONCRETE SLAB PER STRUCTURAL DRAWINGS, REFERENCE CIVIL DRAWINGS FOR REQUIRED DRAINAGE AND SLOPE
3. LINE OF SECOND FLOOR ABOVE
4. NEW CONCRETE STAIRS ON GRADE W/ 1 3/4" DIA. PAINTED GALVANIZED HANDRAILS, TOP OF HAND RAILS TO BE 34" A.F.F. REFERENCE DETAIL 7/A1-4 AND CIVIL DRAWINGS.
5. PROPOSED ELECTRICAL EQUIPMENT
6. PROPOSED LANDSCAPE AREA
7. SHORT TERM BICYCLE PARKING PER DETAIL 2/A0.13
8. 6'-0" HIGH CMU WALL PER CIVIL DRAWINGS, REQUIRED FOR PARKING AREAS PER P/ZC 2002-001
9. CONCRETE RAMP PER CIVIL DRAWINGS, PROVIDE CONCRETE CURB ADJACENT TO PROPOSED WALLS
10. 36" WIDE X 7'-0" HIGH METAL GATE WITH METAL FENCE PER DETAIL 8/A1
11. PROVIDE CURB CUT AND NEW CURB RAMP, SEE CIVIL DRAWINGS
12. CONCRETE HARDCAPE PER CIVIL DRAWINGS, PROVIDE SLIP RESISTANT FINISH, PROVIDE SAMPLE FOR OWNER'S APPROVAL
13. NEW CONCRETE RAMP W/ 1 3/4" DIA. PAINTED GALVANIZED HANDRAILS, TOP OF HAND RAILS TO BE 34" A.F.F. REFERENCE DETAIL 8/A1-4 AND CIVIL DRAWINGS
14. FIRE DEPARTMENT CONNECTION
15. LINE OF SHORING/CMU WALL BELOW
16. ELECTRICAL VAULT WITH ACCESS PANEL, REFERENCE ELECTRICAL PLAN AND APPROVED LADWP DRAWINGS
17. ELECTRIC VAULT VENTS, REFERENCE APPROVED LADWP DRAWINGS
18. 18" HIGH CONCRETE PLANTER WALLS
19. GLASS STOREFRONT ASSEMBLY
20. EXISTING TREE TO REMAIN, PROTECT IN PLACE
21. PROPOSED TREE, REFERENCE LANDSCAPE PLANS
22. DEX-O-TEX WEATHERWEAR DECK COATING PER LARR # 2364 PER 1/14/15
23. PRE-MANUFACTURED PLANTER BOXES
24. LOW PROFILE DECK DRAIN WITH INTEGRATED SHEET METAL FLASHING COLLAR, REFERENCE DECK COATING MANUFACTURER FOR INSTALLATION GUIDELINES AT DRAINS
25. 42" HIGH PARAPET WITH GALVANIZED METAL CAP
26. WOOD BENCH
27. WOOD COLUMN, PROVIDE SHEET METAL COLLAR AT BASE, REFERENCE DECK COATING MANUFACTURER FOR INSTALLATION GUIDELINES
28. LINE OF WOOD TRELLIS ABOVE
29. MOVABLE OUTDOOR FURNITURE, SHOWN AS REFERENCE

1. REFERENCE SHEET A5.0 FOR DOOR SCHEDULES.
2. REFERENCE SHEET A5.1 FOR EXTERIOR DOOR AND WINDOW SCHEDULES.
4. REFERENCE DETAILS 2, 4, AND 11 FOR TYPICAL ACCESSIBILITY FOR DOORS.
5. REFERENCE SHEET A-8.0 FOR TYPICAL ACCESSIBILITY DETAILS.
6. INTERIOR AND EXTERIOR LANDINGS SHALL NOT EXCEED 2% MAX. CROSS SLOPE

NO.	REVISED	DATE:
HSAP RESUBMITTAL	8/26/21	
PLANNING RESUBMITTAL	9/02/21	
GREEN, ACCESS, AND FIRE	9/24/21	
PLANNING RESUBMITTAL	12/20/21	
GREEN, ACCESS, AND FIRE RESUBMITTAL	6/24/22	
GREEN, ACCESS, FIRE AND PLANNING	8/19/22	

PROJECT:  
CAMBRIA TERRACE

1537 CAMBRIA AVE.  
LOS ANGELES, CA.

TITLE: ENLARGED SITE PLAN

DATE: 09/01/2021

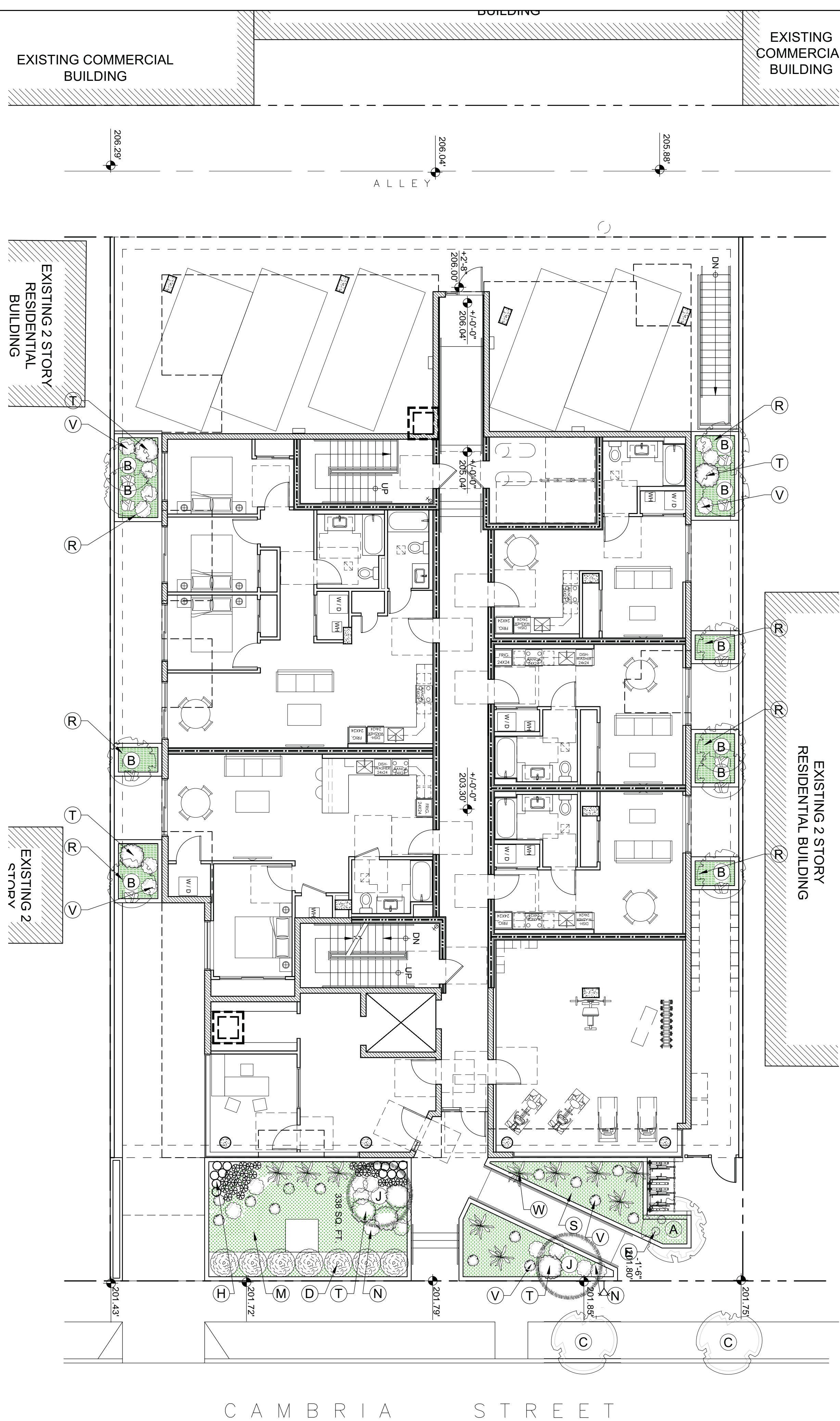
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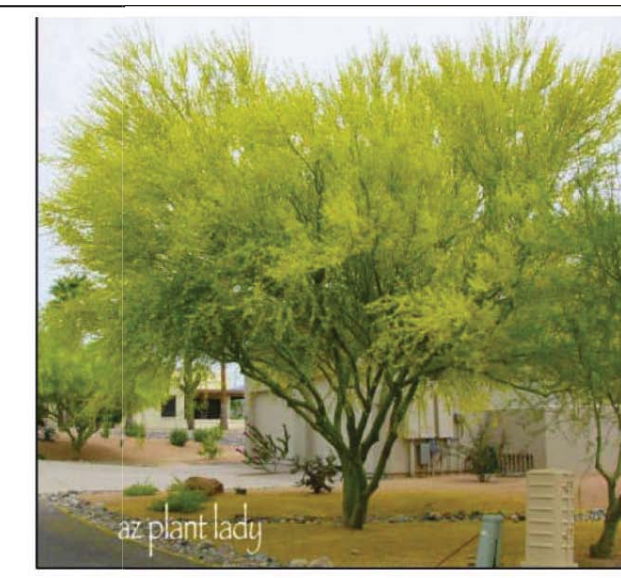
SHEET:

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1 1ST FLOOR- PLANTING PLAN



A. Parkinsonia florida



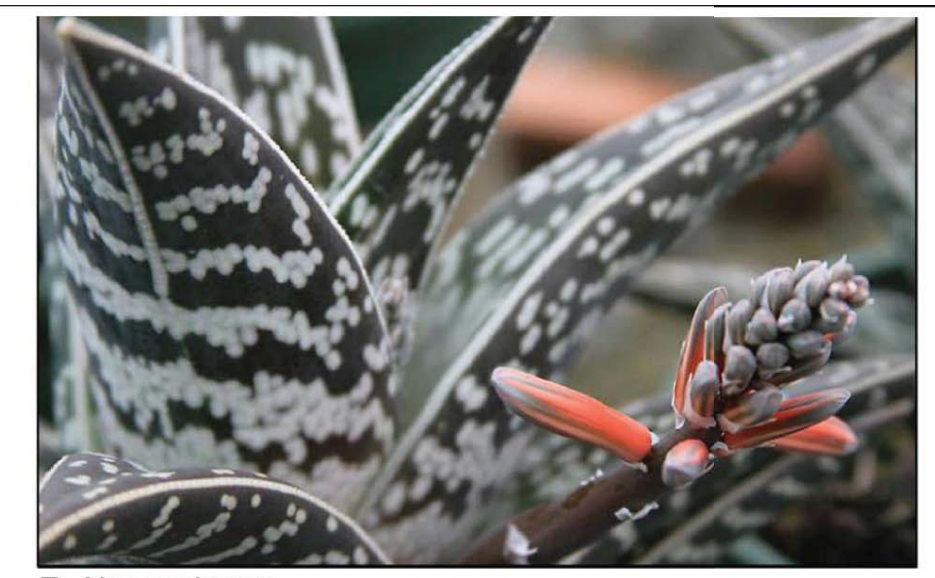
B. Western Red Bud



C. Laurus nobilis



D. Coprosma 'Tequila Sunrise'



E. Aloe variegata



F. Phormium 'Evening Glow'



G. California Sagebrush



H. Aloe 'Blue Elf'



J. Vitex trifolia 'Purpurea'



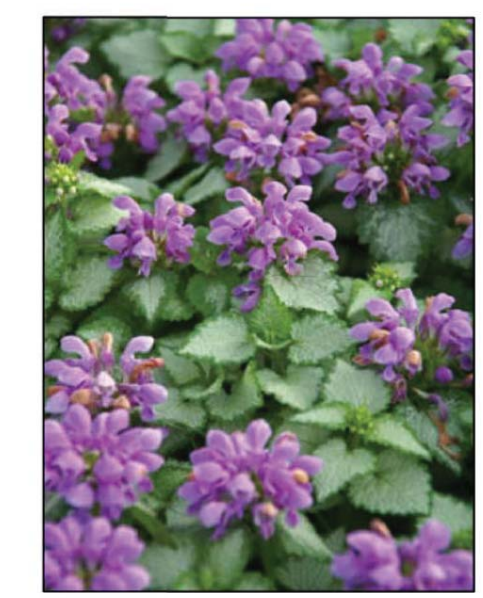
L. Hesperaloe parviflora 'Perpa'



M. Setcreasea pallida



N. Euphorbia x martinii 'Ascot Rainbow'



R. Lamium maculatum 'Orchid Frost'



S. Cayote Mint



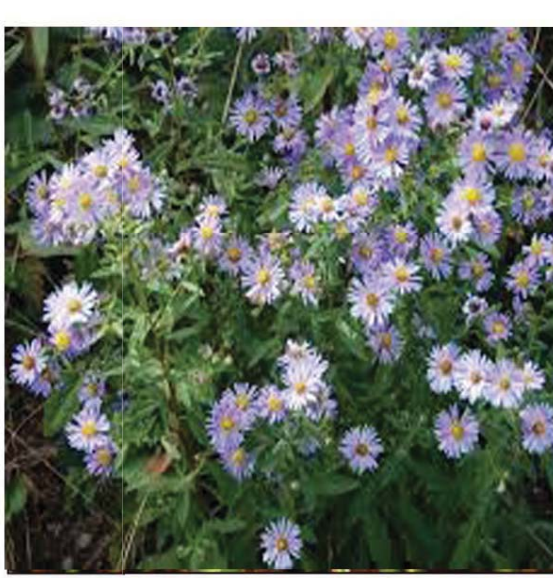
T. Canyon Prince



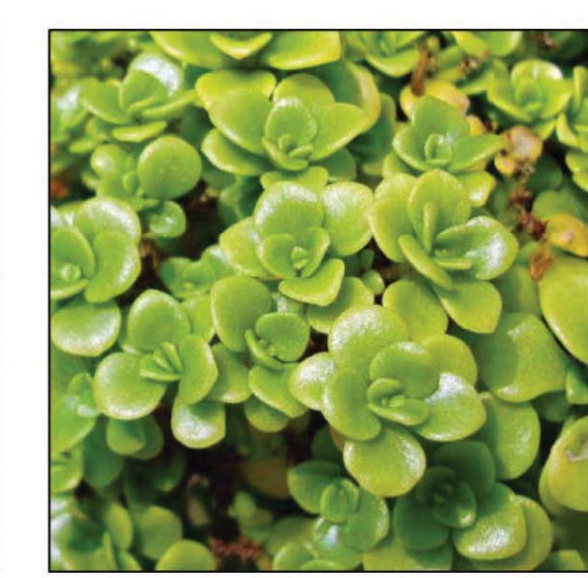
V. Festuca glauca 'Elijah Blue'



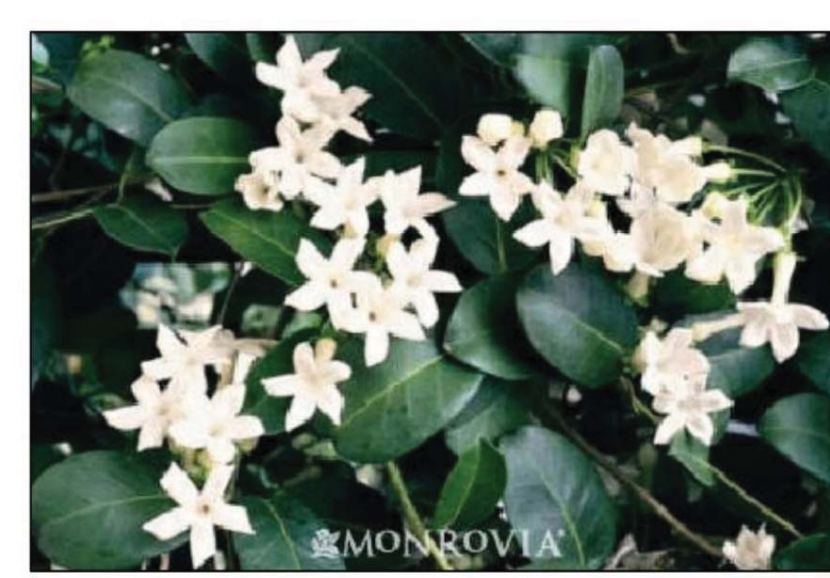
W. Cayote Brush



X. California Aster



Y. Sedum makinoi 'Limelight'



Z. Trachelospermum jasminoides 'Madison'

EXHIBIT "A"  
Page No. 8 of 32  
Case No. DIR-2021-643-TOC-HCA

CODE	SIZE	PLANT NAME	PLANT COMMON NAME	QUANTITY	WATER USE	TYPE	LOCATION
A-	36"	Parkinsonia florida	Palo Verde Tree	1	.1 VL	Tree	Hydrozone 11
B-	24"	Cercis Occidentalis	Western Red Bud	10	.4 M	Tree	Hydrozone 4,5
C-	24"	Laurus nobilis	Sweet Bay	1	.2 L	Tree	Hydrozone 1,10
D-	5g	Coprosma 'Tequila Sunrise'	Tequila Sunrise Mirror Plant	7	.5 M	Shrub	Hydrozone 2
E-	5g	Aloe variegata	Tiger Aloe	2	.2 L	Cactus/Succulent	Hydrozone 3
F-	5g	Phormium 'Evening Glow'	Evening Glow New Zealand Flax	0	.4 M	Perennial	Hydrozone 9
G-	5g	Artemesia	California Sagebrush	41	.5 M	Perennial	Hydrozone 2
H-	5g	Aloe 'Blue Elf'	Blue Elf Aloe	13	.2 L	Cactus/Succulent	Hydrozone 6
J-	24"	Vitex trifolia 'Purpurea'	Arabian Lilac	2	.2 L	Tree	Hydrozone 7
L-	5g	Hesperaloe parviflora 'Perpa'	Brakelights® Red Yucca	0	.1 VL	Perennial, Cactus/Succulent	Hydrozone 8,13
M-	Flat	Setcreasea pallida	Purple Heart	300 S.F. 1ST FL	.4 M	Groundcover	Hydrozone 8
N-	5g	Euphorbia x martinii 'Ascot Rainbow'	Ascot Rainbow Spurge	42	.5 M	Perennial	Hydrozone 2,8
R-	1g	Lamium maculatum 'Orchid Frost'	Orchid Frost Spotted Dead Nettle	40	.5 M	Perennial,Groundcover	Hydrozone 3
S-	5g	Monardelia Villosa	Cayote Mint	35 S.F. 6TH FL	.5 M	Groundcover	Hydrozone 2
T-	5g	Leymus Condensatus	Canyon Prince	40	.4 M	Perennial	Hydrozone 6
V-	1g	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue	45	.2 L	Perennial,Groundcover,Ornamental Grass	Hydrozone 14
W-	5g	Bacharis Pilularis	Cayote Brush	10 1ST FL	.4 M	Perennial	Hydrozone 12
X-	5g	Lessingia	California Aster	35 S.F.	.4 M	Shrub	Hydrozone 12
Y-	Flat	Sedum makinoi 'Limelight'	Limelight Japanese Stonecrop	0	.2 L	Groundcover	Hydrozone 14
Z-	5g	Trachelospermum jasminoides 'Madison'	Madison Star Jasmine	24	.4 M	Vine	Hydrozone 9

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LICENSED ARCHITECT  
BRIGAK AIA 1917  
C31944  
RENEWAL  
05-31-21  
STATE OF CALIFORNIA

DATE:

NO. REVISIONS

PROJECT:  
CAMBRIA TERRACE  
1537 CAMBRIA AVE.  
LOS ANGELES, CA.

TITLE:  
FIRST FLOOR  
PLANTING PLAN

DATE:  
07/15/2020

SCALE:

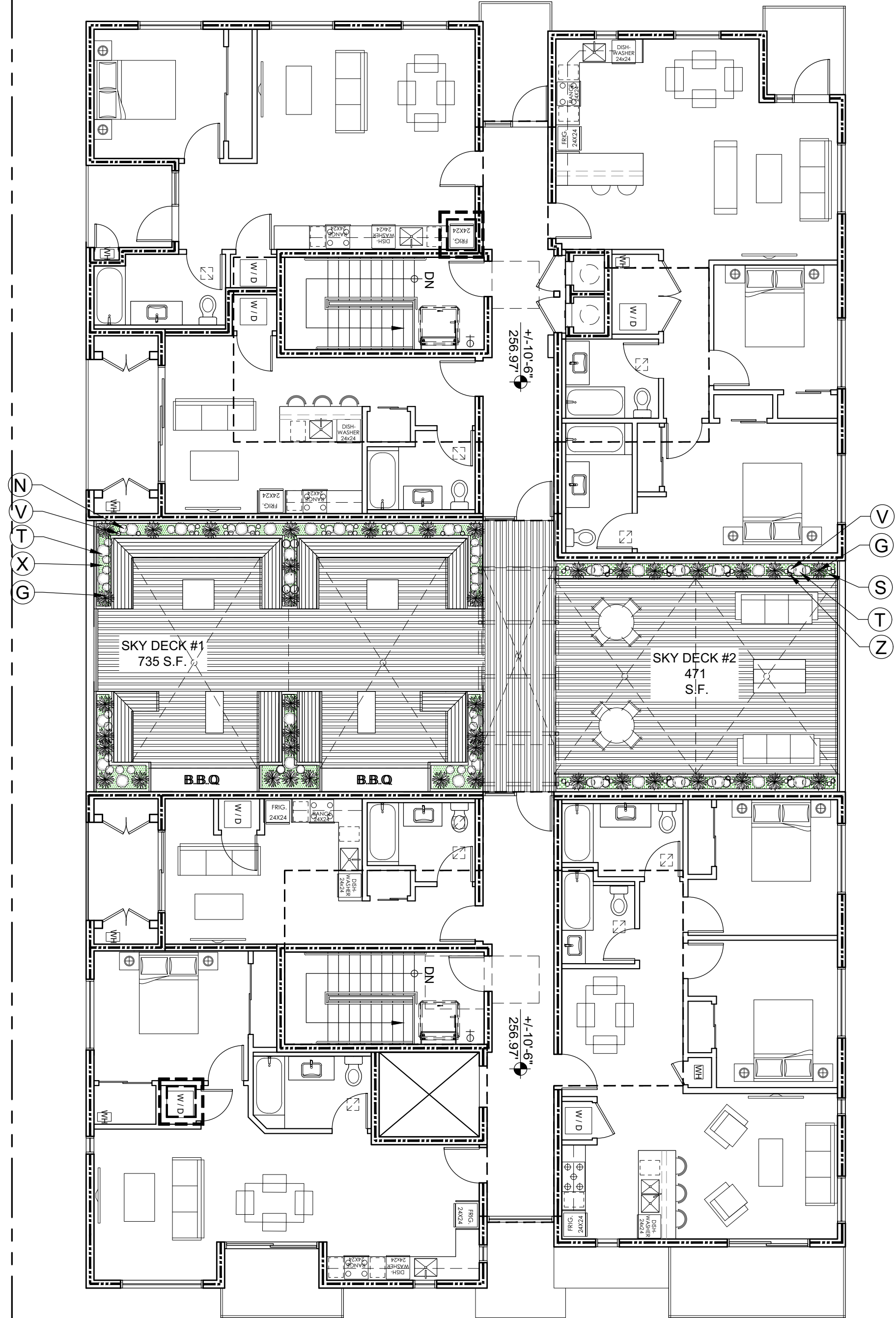
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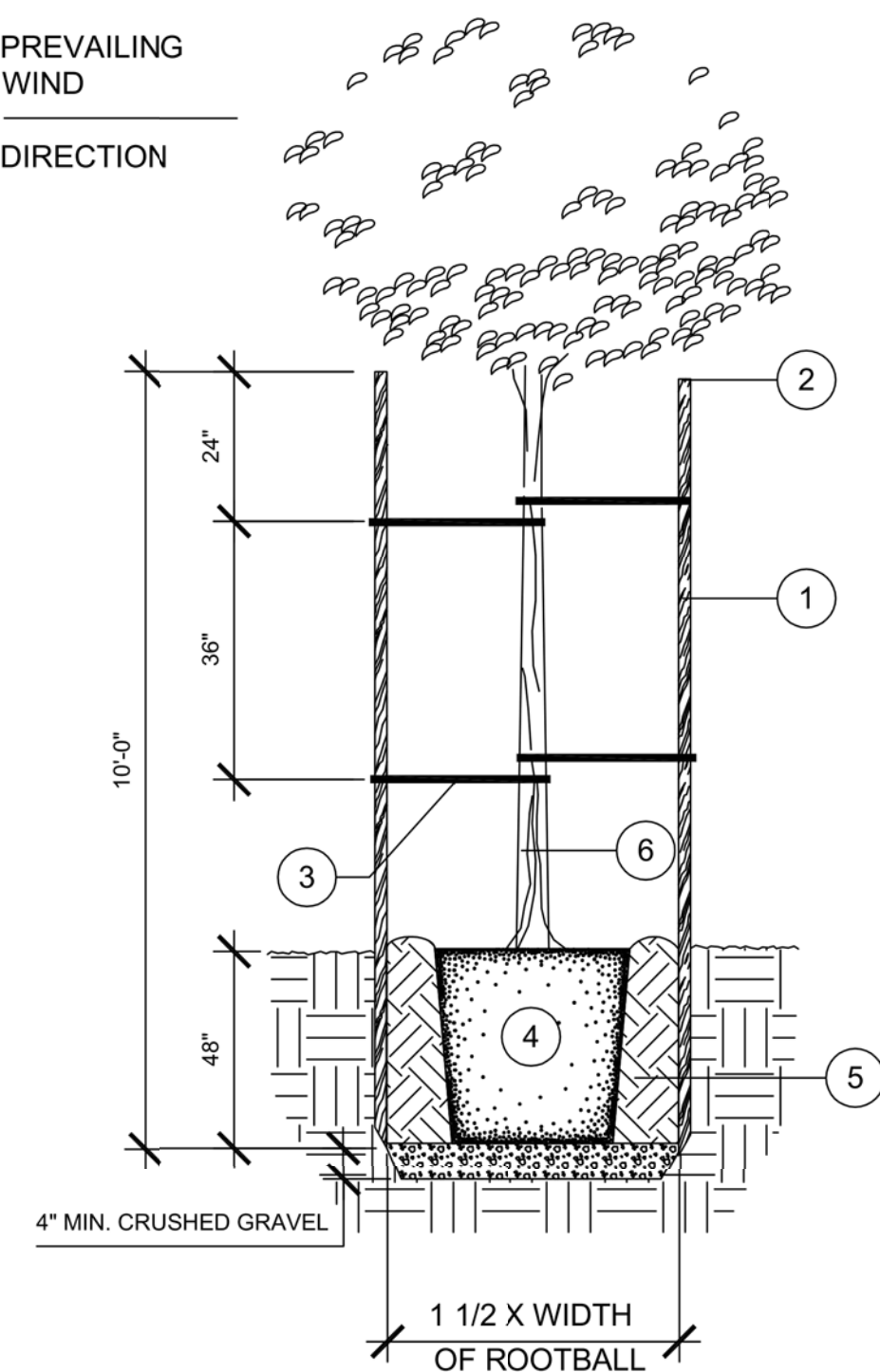
L1

FILE:





PREVAILING  
WIND  
DIRECTION



PLAN VIEW  
(NO SCALE)

- 2" DIA. REDWOOD OR CHROMATED COPPER TREATED LODGEPOLE STAKE (2)
- CUT OFF TOP SECTION OF STAKE DAMAGED BY HAMMERING
- V.I.T. CINCH TIE 32" (OR APPROV. EQUAL) 2 PER STAKE, INSTALL PER MANUF. INSTRUCTIONS V.I.T. PRODUCTS (800) 729-1314
- ROOTBALL
- LIMIT OF BACKFILL MIX
- TREE TRUNK

2 DOUBLE STAKED TREE DETAIL

SCALE  
DO NOT SCALE

LANDSCAPE POINT SYSTEM

TOTAL AREA OF PROJECT SITE= 9,809 SQ.FT  
REQUIRED LANDSCAPE POINT= 15

#	FEATURE/TECHNIQUE	POINT AWARDED
1	Class I or Class II compost produced using City organic materials (TOPGRO)	5
2	Main elevation of structure is handicap accessible	5
3	Any design that physically prevents the parking of any vehicle in the frontage, except in an allowed driveway	5

TOTAL LANDSCAPE POINT CLAIMED: 15

WATER MANAGEMENT POINT SYSTEM

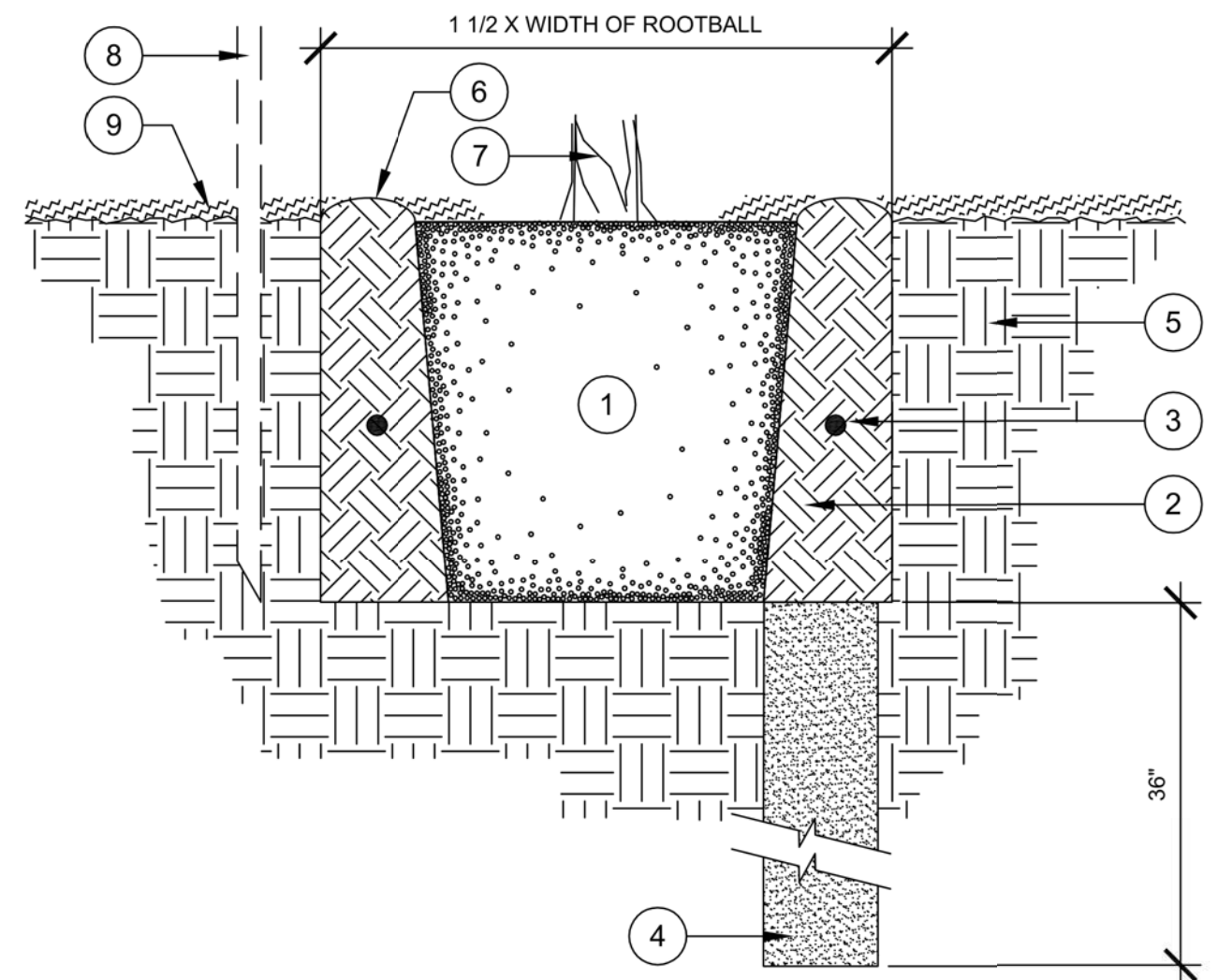
TOTAL AREA OF PROJECT SITE=9,809 SQ.FT  
REQUIRED WATER MANAGEMENT POINT= 200

#	FEATURE/TECHNIQUE	POINT AWARDED
1	Drip/Trickle/micro irrigation/low precipitation sprinkler heads with flow-control device	14 x 5 = 70
2	Automatic irrigation controller with cycling capacity, and with watering schedule	5
3	Plants on site those that will, in the designed location, and properly established for 3 years, remain in good health with no more than monthly watering in summer.	1 x 2 = 2 48 x 2 = 96
4	Landscape meter (25% of required water management points)	.25 x 200 = 50

TOTAL WATER MANAGEMENT POINT CLAIMED: 223

All open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be attractively landscaped, including an automatic irrigation system, and maintained in accordance with a landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning.

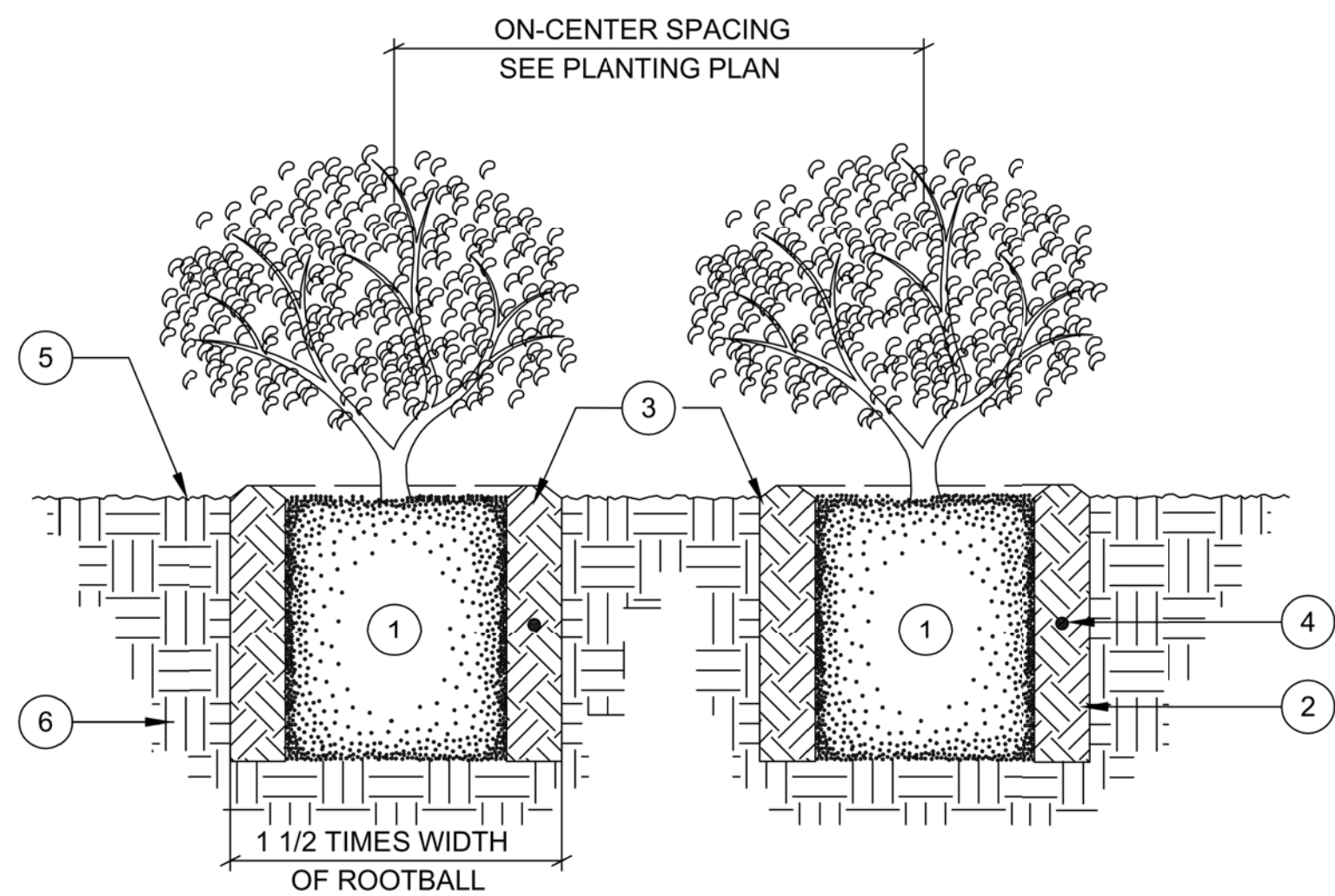
All planters containing trees shall have a minimum depth of 48 inches (48"), including those located on the rooftop area or above a parking garage.



- ROOTBALL
- BACKFILL MIX: 2/3 SITE SOIL 1/3 ORGANIC AMENDMENTS SEE SPECIFICATIONS.
- PLANT FERTILIZER TABLETS, SEE SPECIFICATIONS.
- 12" DIA. X 3'-0" DEEP SAND FILLED SUMP
- SITE SOIL (FOR EPIQ PLANTER, USE EPIQ MEDIA)
- WATERING BASIN
- TREE TRUNK
- STAKING FOR REFERENCE. SEE DETAIL 2 THIS SHEET.
- MULCH. KEEP 6" AWAY FROM TREE TRUNK. SEE SPECIFICATIONS.

3 BOX TREE PLANTING DETAIL

SCALE  
DO NOT SCALE



- ROOTBALL
- BACKFILL MIX: 2/3 SITE SOIL 1/3 ORGANIC AMENDMENTS SEE SPECIFICATIONS
- WATERING BASIN
- PLANT FERTILIZER TABLETS SEE SPECIFICATIONS
- FINISH GRADE
- SITE SOIL

NOTE: KEEP TOP OF ROOTBALL AND TOP OF FINISH GRADE AT SAME LEVEL.

1 MASS SHRUB PLANTING

SCALE  
DO NOT SCALE

DATE:

NO. REVISIONS

PROJECT:  
CAMBRIA TERRACE  
1537 CAMBRIA AVE.  
LOS ANGELES, CA.

TITLE:  
6TH FLOOR  
PLANTING PLAN &  
PLANTING DETAILS

DATE: 07/15/2020

SCALE:

DRAWN BY: AS SHOWN

SHEET:

FILE:





NO.	REVISIONS	DATE
1	HSAP RESUBMITTAL	8/28/21
2	PLANNING RESUBMITTAL	9/02/21
3	GREEN, ACCESS, AND FIRE	9/24/21
4	PLANNING RESUBMITTAL	12/20/21
5	GREEN ACCESS, AND FIRE RESUBMITTAL	6/24/22
6	GREEN, ACCESS, FIRE AND PLANNING	8/19/22

PROJECT:  
CAMBRIA TERRACE  
1537 CAMBRIA AVE.  
LOS ANGELES, CA.

TITLE:  
BASEMENT FLOOR  
PLAN

DATE: 09/01/2021

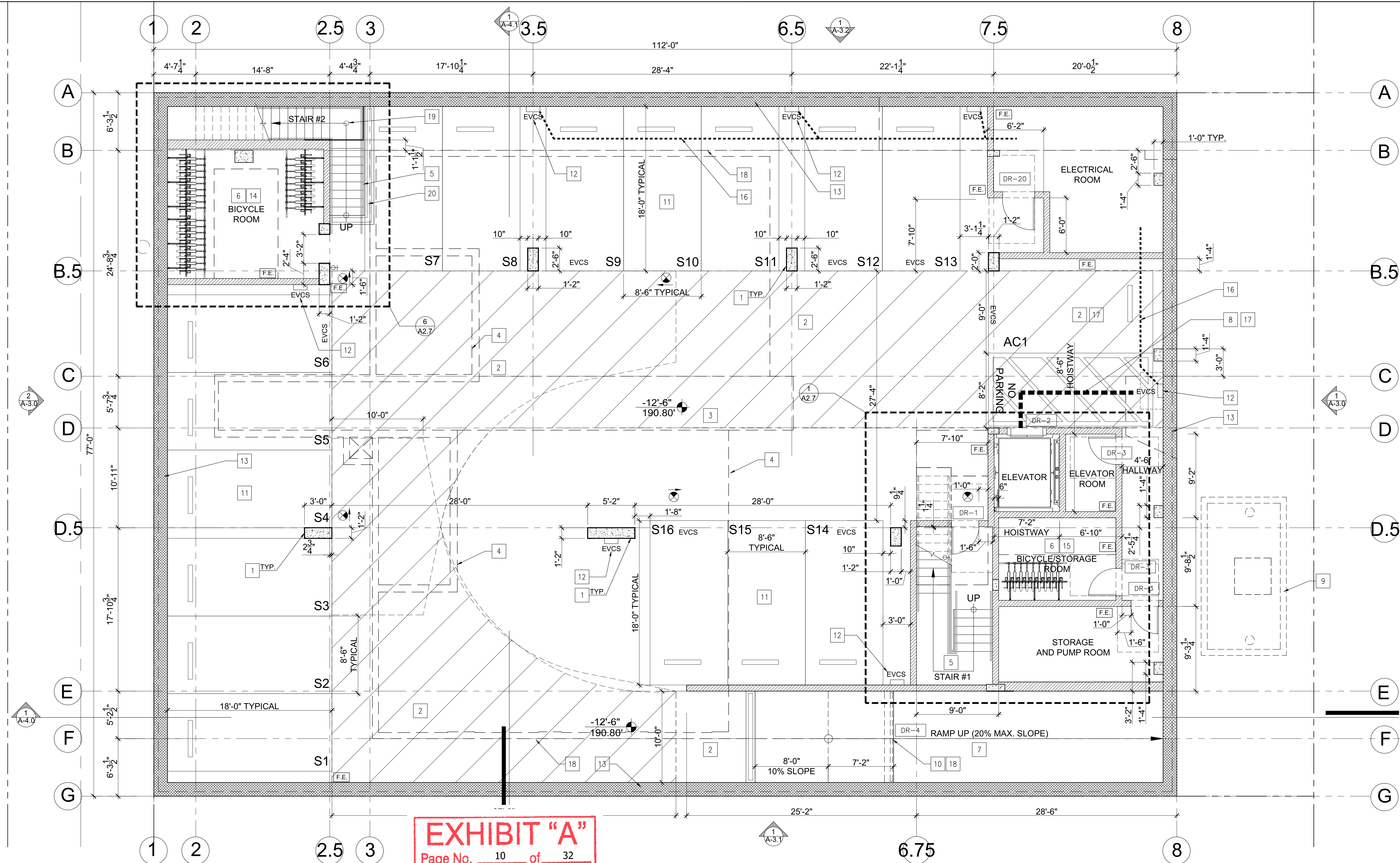
SCALE: AS SHOWN

DRAWN BY:

SHEET:

A2.0

FILE:



**EXHIBIT "A"**  
Page No. 10 of 32  
Case No. DIR-2021-643-TOC-HCA

**2 BASEMENT FLOOR PLAN**  
SCALE: 3/16"=1'-0"

LEGEND

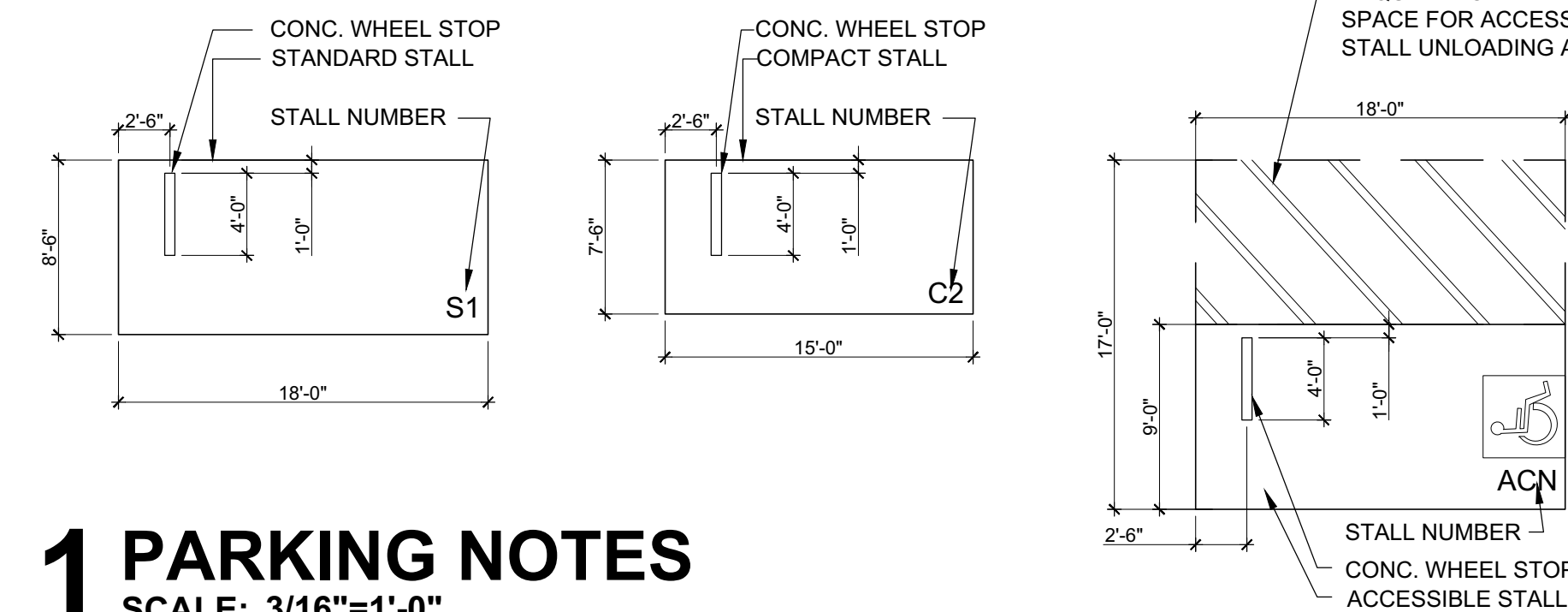
- CMU WALL, WALL TYPE 6
- CONCRETE WALL (SEE STRUCTURAL DRAWING FOR MORE DETAILS) 3 HR. MIN PER CBC TABLE 722.2.1.1
- ILLUMINATED EXIT SIGN WITH BATTERY BACKUP
- STAND PIPE
- FDC
- FIRE EXTINGUISHER, OPERABLE PART TO BE MOUNTED 48" A.F.F.
- FLOOR SLOPE
- ACCESSIBLE PATH OF TRAVEL

KEY NOTES

- COLUMN PER STRUCTURAL PLANS
- MAINTAIN 8'-2" CLEAR HEADROOM CLEARANCE
- CONCRETE SLAB PER STRUCTURAL DRAWINGS, REFERENCE CIVIL DRAWINGS FOR REQUIRED DRAINAGE AND SLOPE
- LINE OF RAISED SLAB/FLOOR ABOVE
- NEW CONCRETE STAIRS ON GRADE W/ 1 1/2" DIA. PAINTED GALVANIZED HANDRAILS, TOP OF HAND RAILS TO BE 34" A.F.F.
- LONG TERM BICYCLE PARKING PER DETAIL 1/A0.13
- CONCRETE RAMP PER CIVIL DRAWINGS, PROVIDE CONCRETE CURB ADJACENT TO PROPOSED WALLS
- ACCESSIBLE PATH OF TRAVEL
- ELECTRIC VAULT WITH ACCESS PANEL
- PROVIDE MOTOR OPERATED ROLL-UP METAL GATE
- PARKING LAYOUT, REFERENCE PARKING NOTES DETAIL 1/A- FOR TYPICAL DIMENSIONS
- ELECT. VEHICLE CHARGING STATION/SUPPLY EQUIPMENT 1" MIN CONDUIT FIELD COORDINATE WITH MANUFACTURER'S REQUIREMENTS (REF. A-0.4 GRN 14 NOTE # 2)
- CONCRETE RETAINING WALL PER STRUCTURAL PLANS AND PROPOSED SHORING BY OTHERS.
- BICYCLE ROOM WORK AREA: 84 SQ. FT.
- BICYCLE ROOM WORK AREA: 50 SQ. FT.
- LINE OF UNDERGROUND CONDUIT FOR EVCS (ELECTRIC VEHICLE CHARGING STATION) AND EVSE (FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT) REFERENCE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION
- SURFACE SLOPES OF ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ACCESSIBLE PATH OF TRAVEL SHALL NOT EXCEED 1/4" PER FOOT IN ANY DIRECTION (2% GRADIENT)
- LINE OF FLOOR ABOVE
- PROVIDE FLOOR DRAIN
- TRENCH DRAIN PER CIVIL

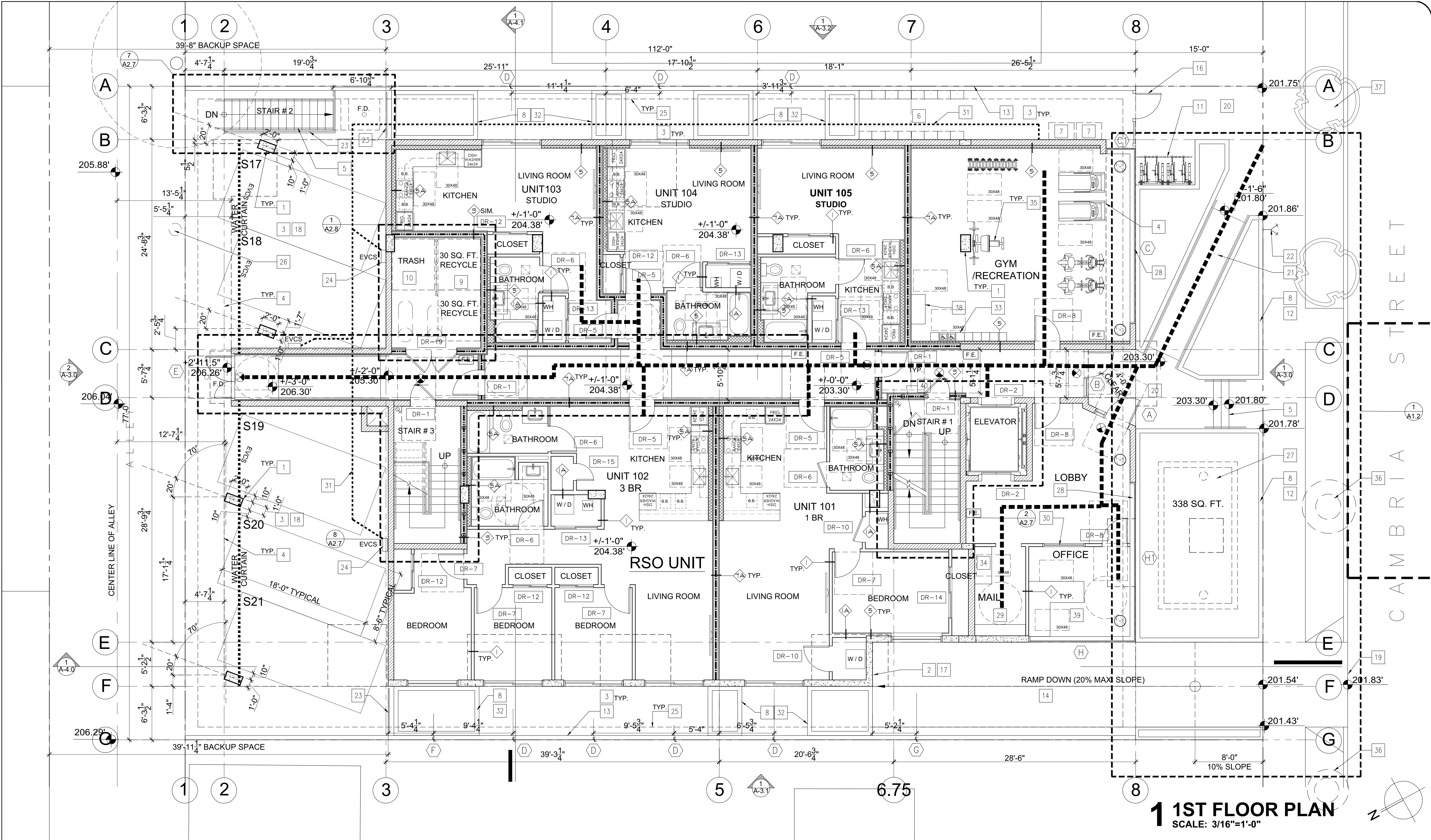
NOTES:

- A 4" INCH THICK BASE OF 3/4" INCH OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED FOR PROPOSED SLAB ON GRADE CONSTRUCTION. A VAPOR BARRIER IN DIRECT CONTACT WITH CONCRETE FOR PROPOSED SLAB ON GRADE CONSTRUCTION. REFERENCE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
- THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT, A SEPARATE PERMIT IS REQUIRED.
- THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.
- REFERENCE DETAILS 2, 4, AND 11 FOR TYPICAL ACCESSIBILITY FOR DOORS.
- REFERENCE SHEET A-8.0 FOR TYPICAL ACCESSIBILITY DETAILS.
- REFERENCE CIVIL AND PLUMBING PLANS FOR DRAINAGE NOT SHOWN ON THIS PLAN



**1 PARKING NOTES**  
SCALE: 3/16"=1'-0"





**1 1ST FLOOR PLAN**  
SCALE: 3/16"=1'-0"

**LEGEND**

- |  |   |
|--|---|
| CMU WALL, WALL TYPE 6  | PARTITION TYPE  |
| CONCRETE WALL (SEE STRUCTURAL DRAWING FOR MORE DETAILS) 3 HR. MIN PER CBC TABLE 722.2.1.1  | ILLUMINATED EXIT SIGN WITH BATTERY BACKUP                 |
| 2 HR RATED SHAFT WALL PER WALL TYPE 3 ON A7.0  | STAND PIPE  |
| 2 HR RATED WALL SIMILAR TO TYPE 3 ON A7.0  | FDC   |
| 1 HR RATED INTERIOR RATED WALL PER WALL TYPE 7A ON A7.0 SIMILAR FOR UNIT SEPARATION WALL (REFERENCE STRUCTURAL DRAWING FOR FRAMING SIZE)                         | FIRE EXTINGUISHER, OPERABLE PART TO BE MOUNTED 48" A.F.F. |
| INTERIOR PARTITION PER WALL TYPE 1 AND 1A, REFERENCE STRUCTURAL DRAWINGS FOR FRAMING SIZE, REFERENCE WALL TYPE 2 FOR BATHROOM WALLS WHERE WALL TILE INSTALLATION | FLOOR SLOPE   |
| WALL FURRING PER WALL TYPE 5A ON A7.0  | WINDOW TYPE   |
|  | DOOR TYPE   |
|  | ACCESSIBLE PATH OF TRAVEL                                 |

**KEY NOTES**

- COLUMN PER STRUCTURAL PLANS
- MAINTAIN 8'-2" CLEAR HEADROOM CLEARANCE
- CONCRETE SLAB PER STRUCTURAL DRAWINGS, REFERENCE CIVIL DRAWINGS FOR REQUIRED DRAINAGE AND SLOPE
- LINE OF SECOND FLOOR ABOVE
- NEW CONCRETE STAIRS ON GRADE W/ 1 1/2" DIA. PAINTED GALVANIZED HANDRAILS, TOP OF HAND RAILS TO BE 34" A.F.F.
- PROPOSED GAS METERS
- PROPOSED ELECTRICAL EQUIPMENT
- PROPOSED LANDSCAPE AREA
- TRASH BIN AREA
- 30 SQ. FT. RECYCLING AREA
- SHORT TERM BICYCLE PARKING PER DETAIL 2/A0.13
- 18" HIGH CONCRETE PLANTER WALLS
- 6'-0" HIGH CMU WALL PER CIVIL DRAWINGS, REQUIRED FOR PARKING AREAS PER PZCC 2002-001
- CONCRETE RAMP PER CIVIL DRAWINGS, PROVIDE CONCRETE CURB ADJACENT TO PROPOSED WALLS
- ACCESSIBLE PATH OF TRAVEL
- 36" WIDE X 7'-0" HIGH METAL GATE WITH METAL FENCE
- PROVIDE MOTOR OPERATED ROLL-UP METAL GATE
- PARKING LAYOUT, REFERENCE PARKING NOTES PER DETAIL 1/A2.0 FOR TYPICAL DIMENSIONS

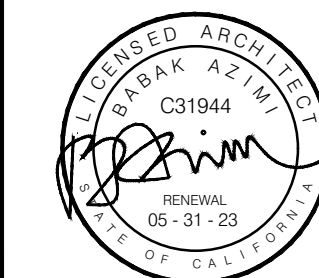
- PROVIDE CURB CUT AND NEW CURB RAMP. SEE CIVIL DRAWINGS
- CONCRETE HARDSCAPE PER CIVIL DRAWINGS, PROVIDE SLIP RESISTANT FINISH, PROVIDE SAMPLE FOR OWNER'S APPROVAL
- NEW CONCRETE RAMP W/ 1 1/2" DIA. PAINTED GALVANIZED HANDRAILS, TOP OF HAND RAILS TO BE 34" A.F.F.
- FIRE DEPARTMENT CONNECTION
- 42" HIGH GALV. PAINTED METAL GUARDRAIL PER DETAIL 1/A8.3
- ELECT. VEHICLE CHARGING STATION/SUPPLY EQUIPMENT 1" MIN CONDUIT FIELD COORDINATE WITH MANUFACTURER'S REQUIREMENTS (REF. A-0.4 GRN 14 NOTE # 2)
- LINE OF SHORING/CMU WALL BELOW
- RELOCATE EXISTING POWER POLE
- ELECTRICAL VAULT WITH ACCESS PANEL PROVIDE WATERPROOFING MEMBRANE AND PROTECTION BOAR AT COMPLETE ENCLOSURE.
- GLASS STOREFRONT ASSEMBLY
- WALL MOUNTED MAILBOXES
- 5'-0" W X 4'-0" H INTERIOR ALUMINUM WINDOW
- LINE OF UNDERGROUND CONDUIT FOR EVCS (ELECTRIC VEHICLE CHARGING STATION) AND EVSE (FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT) REFERENCE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION)
- 36" HIGH CONCRETE PLANTER WALLS
- METAL LOCKERS PER 10/A8.0. OWNER TO SELECT MANUFACTURER
- ACCESSIBLE WORK COUNTER 34" A.F.F.
- GYM EQUIPMENT SHOWN FOR REFERENCE

- EXISTING TREE TO REMAIN, PROTECT IN PLACE
- NEW TREE, REFERENCE LANDSCAPE PLANS
- PROVIDE 20" W X 42" L ACCESSIBLE BENCH, A.F.F. SEATING AREA
- OFFICE DESK MAX. HEIGHT 34" A.F.F.
- PROVIDE 30" HIGH GATE WITH SELF CLOSING HINGES, NO LOCKING DEVICE SHOULD BE INSTALLED. GATE MATERIAL TO BE 1 1/2" DIA. GALVANIZED AND PAINTED STEEL PIPE.

**GENERAL NOTES**

- REFERENCE SHEET A5.0 FOR DOOR SCHEDULES.
- REFERENCE SHEET A5.1 FOR EXTERIOR DOOR AND WINDOW SCHEDULES.
- REFERENCE DETAILS 2, 4, AND 11 FOR TYPICAL ACCESSIBILITY FOR DOORS.
- REFERENCE SHEET A-5.0 FOR TYPICAL ACCESSIBILITY DETAILS.
- REFERENCE SHEETS A6.0 TO A6.5 FOR ENLARGED UNIT PLANS
- REFERENCE SHEETS A6.6 FOR TYPICAL RESTROOM AND KITCHEN NOTES
- INTERIOR AND EXTERIOR LANDINGS SHALL NOT EXCEED 2% MAX. CROSS SLOPE
- REFERENCE CIVIL AND PLUMBING PLANS FOR DRAINAGE NOT SHOWN ON THIS PLAN

**EXHIBIT "A"**  
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NO.	REVISIONS	DATE
1	HSAP RESUBMITTAL	8.26.21
2	PLANNING RESUBMITTAL	9.02.21
3	GREEN, ACCESS, AND FIRE	9.24.21
4	PLANNING RESUBMITTAL	12.20.21
5	GREEN, ACCESS, AND FIRE RESUBMITTAL	6.24.22
6	GREEN, ACCESS, FIRE AND PLANNING	8.19.22

PROJECT:  
**CAMBRIA TERRACE**  
1537 CAMBRIA AVE.  
LOS ANGELES, CA.

TITLE:  
**FIRST FLOOR PLAN**

DATE: 09/01/2021  
SCALE: AS SHOWN  
DRAWN BY:

SHEET:  
**A2.1**  
FILE:





NO.	REVISIONS	DATE:
1	HSAP RESUBMITTAL	8.26.21
2	PLANNING RESUBMITTAL	9.02.21
3	GREEN, ACCESS, AND FIRE	9.24.21
4	PLANNING RESUBMITTAL	12.20.21
5	GREEN ACCESS, AND FIRE RESUBMITTAL	6.24.22
6	GREEN, ACCESS, FIRE AND PLANNING	8.19.22

PROJECT:  
CAMBRIA TERRACE  
1537 CAMBRIA AVE.  
LOS ANGELES, CA.

TITLE:  
SECOND FLOOR PLAN

DATE: 09/01/2021

SCALE: AS SHOWN

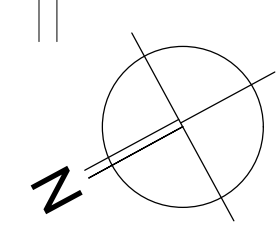
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A2.2

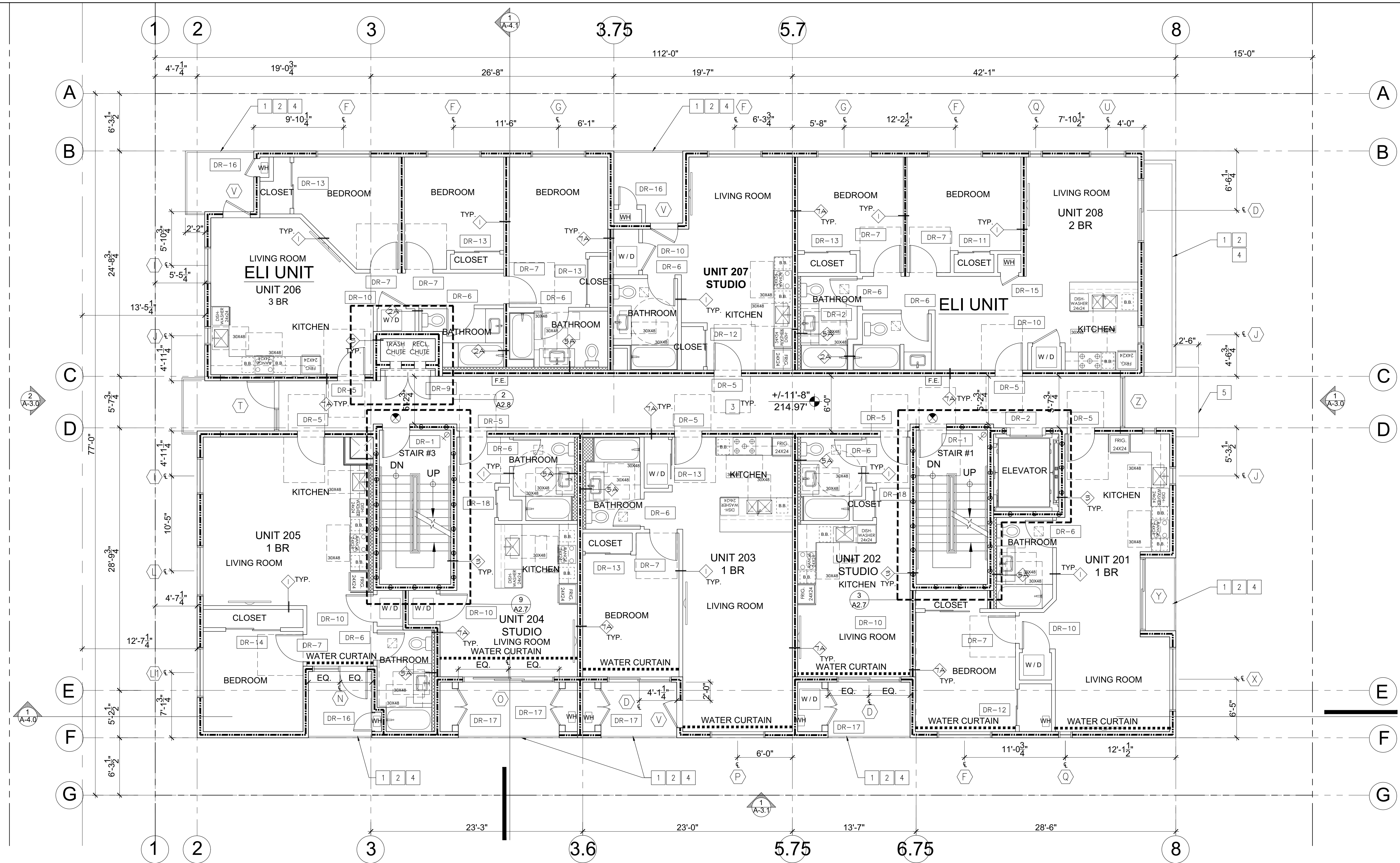
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C A M B R I A   S T R E E T



## 1 2ND FLOOR PLAN

SCALE: 3/16"=1'-0"



### LEGEND

- 2 HR RATED SHAFT WALL PER WALL TYPE 3 ON A7.0
- 1 HR RATED INTERIOR RATED WALL PER WALL TYPE 7A ON A7.0 SIMILAR FOR UNIT SEPARATION WALL (REFERENCE STRUCTURAL FOR FRAMING SIZE)
- INTERIOR PARTITION PER WALL TYPE 1 AND 1A, REFERENCE STRUCTURAL DRAWINGS FOR FRAMING SIZE, REFERENCE WALL TYPE 2 FOR BATHROOM WALLS WHERE WALL TILE INSTALLATION
- WALL FURRING PER WALL TYPE 5A ON A7.0
- WALL NOTE:  
EXTERIOR WALL ASSEMBLY PER DETAIL 1/A8.1
- PARTITION TYPE
- ILLUMINATED EXIT SIGN WITH BATTERY BACKUP
- STAND PIPE
- FDC
- FIRE EXTINGUISHER, OPERABLE PART TO BE MOUNTED 48" A.F.F.
- FLOOR SLOPE
- WINDOW TYPE
- DOOR TYPE
- ACCESSIBLE PATH OF TRAVEL

### KEY NOTES

- 42" HIGH METAL GUARDRAIL PER DETAIL 13/A8.1
- DEX-O-TEX WEATHERWEAR DECK COATING PER LARR # 2364 PER 1/A0.15
- CONCRETE SLAB PER STRUCTURAL DRAWINGS
- EXTERIOR BALCONY
- ENTRANCE CANOPY

### GENERAL NOTES

- REFERENCE SHEET A5.0 FOR DOOR SCHEDULES.
- REFERENCE SHEET A5.1 FOR EXTERIOR DOOR AND WINDOW SCHEDULES.
- REFERENCE DETAILS 2, 4, AND 11 FOR TYPICAL ACCESSIBILITY FOR DOORS.
- REFERENCE SHEET A-8.0 FOR TYPICAL ACCESSIBILITY DETAILS.
- REFERENCE SHEETS A6.0 TO A6.5 FOR ENLARGED UNIT PLANS
- REFERENCE SHEETS A6.6 FOR TYPICAL RESTROOM AND KITCHEN NOTES
- INTERIOR AND EXTERIOR LANDINGS SHALL NOT EXCEED 2% MAX. CROSS SLOPE

EXHIBIT "A"  
Page No. 12 of 32  
Case No. DIR-2021-643-TOC-HCA





NO.	REVISIONS	DATE:
1	HSAP RESUBMITTAL	8.26.21
2	PLANNING RESUBMITTAL	9.02.21
3	GREEN, ACCESS, AND FIRE	9.24.21
4	PLANNING RESUBMITTAL	12.20.21
5	GREEN ACCESS, AND FIRE RESUBMITTAL	6.24.22
6	GREEN, ACCESS, FIRE AND PLANNING	8.19.22

PROJECT:  
CAMBRIA TERRACE  
1537 CAMBRIA AVE.  
LOS ANGELES, CA.

TITLE:  
TYPICAL FLOOR PLAN

DATE: 09/01/2021

SCALE: AS SHOWN

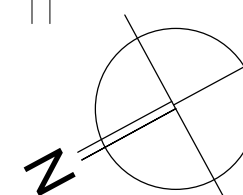
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SHEET:

A2.3

FILE:

CAMBRIA STREET



## 1 3RD AND 4TH FLOOR PLAN

SCALE: 3/16"=1'-0"

### LEGEND

- 2 HR RATED SHAFT WALL PER WALL TYPE 3 ON A7.0
- 1 HR RATED INTERIOR RATED WALL PER WALL TYPE 7A ON A7.0 SIMILAR FOR UNIT SEPARATION WALL (REFERENCE STRUCTURAL FOR FRAMING SIZE)
- INTERIOR PARTITION PER WALL TYPE 1 AND 1A, REFERENCE STRUCTURAL DRAWINGS FOR FRAMING SIZE. REFERENCE WALL TYPE 2 FOR BATHROOM WALLS WHERE WALL TILE INSTALLATION
- WALL FURRING PER WALL TYPE 5A ON A7.0
- WALL NOTE:  
EXTERIOR WALL ASSEMBLY PER DETAIL 1/A8.1

- PARTITION TYPE
- ILLUMINATED EXIT SIGN WITH BATTERY BACKUP
- STAND PIPE
- FDC
- FIRE EXTINGUISHER, OPERABLE PART TO BE MOUNTED 48" A.F.F.
- FLOOR SLOPE
- WINDOW TYPE
- DOOR TYPE
- ACCESSIBLE PATH OF TRAVEL

### KEY NOTES

- 42" HIGH METAL GUARDRAIL PER DETAIL 13/A8.1
- DEX-O-TEX WEATHERWEAR DECK COATING PER LARR # 2364 PER 1/A0.15
- EXTERIOR BALCONY
- LINE OF FLOOR BELOW
- ENTRANCE CANOPY

### GENERAL NOTES

- REFERENCE SHEET A5.0 FOR DOOR SCHEDULES.
- REFERENCE SHEET A5.1 FOR EXTERIOR DOOR AND WINDOW SCHEDULES.
- REFERENCE DETAILS 2, 4, AND 11 FOR TYPICAL ACCESSIBILITY FOR DOORS.
- REFERENCE SHEET A6.0 FOR TYPICAL ACCESSIBILITY DETAILS.
- REFERENCE SHEETS A6.0 TO A6.5 FOR ENLARGED UNIT PLANS
- REFERENCE SHEETS A6.6 FOR TYPICAL RESTROOM AND KITCHEN NOTES
- INTERIOR AND EXTERIOR LANDINGS SHALL NOT EXCEED 2% MAX. CROSS SLOPE

**EXHIBIT "A"**  
Page No. 13 of 32  
Case No. DIR-2021-643-TOC-HCA





NO.	REVISIONS	DATE
1	HSAP RESUBMITTAL	8.26.21
2	PLANNING RESUBMITTAL	9.02.21
3	GREEN, ACCESS, AND FIRE	9.24.21
4	PLANNING RESUBMITTAL	12.20.21
5	GREEN ACCESS, AND FIRE RESUBMITTAL	6.24.22
6	GREEN, ACCESS, FIRE AND PLANNING	8.19.22

PROJECT:  
CAMBRIA TERRACE  
1537 CAMBRIA AVE.  
LOS ANGELES, CA.

TITLE:  
FIFTH FLOOR PLAN

DATE: 09/01/2021

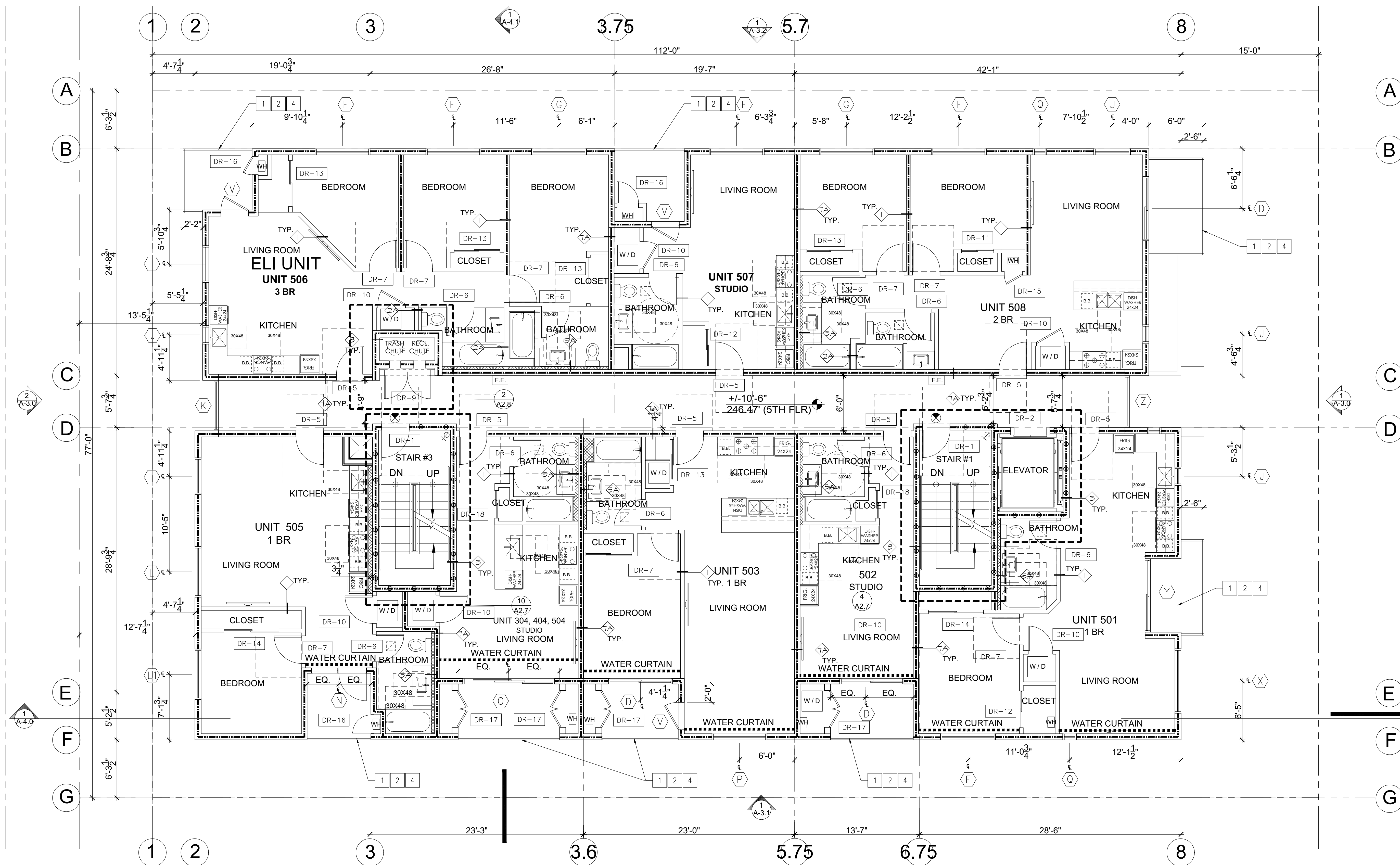
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SHEET:

A2.4

FILE:



**1 5TH FLOOR PLAN**  
SCALE: 3/16"=1'-0"

LEGEND

- 2 HR RATED SHAFT WALL PER WALL TYPE 3 ON A7.0
- 1 HR RATED INTERIOR RATED WALL PER WALL TYPE 7A ON A7.0 SIMILAR FOR UNIT SEPARATION WALL (REFERENCE STRUCTURAL FOR FRAMING SIZE)
- INTERIOR PARTITION PER WALL TYPE 1 AND 1A, REFERENCE STRUCTURAL DRAWINGS FOR FRAMING SIZE. REFERENCE WALL TYPE 2 FOR BATHROOM WALLS WHERE WALL TILE INSTALLATION
- WALL FURRING PER WALL TYPE 5A ON A7.0
- WALL NOTE:  
EXTERIOR WALL ASSEMBLY PER DETAIL 1/A8.1
- PARTITION TYPE
- ILLUMINATED EXIT SIGN WITH BATTERY BACKUP
- STAND PIPE
- FDC
- FIRE EXTINGUISHER, OPERABLE PART TO BE MOUNTED 48" A.F.F.
- FLOOR SLOPE
- WINDOW TYPE
- DOOR TYPE
- ACCESSIBLE PATH OF TRAVEL

KEY NOTES

- 42" HIGH METAL GUARDRAIL PER DETAIL 13/A8.1
- DEX-O-TEX WEATHERWEAR DECK COATING PER LARR # 2364 PER 1/A0.15
- EXTERIOR BALCONY
- LINE OF FLOOR BELOW

GENERAL NOTES

- REFERENCE SHEET A5.0 FOR DOOR SCHEDULES.
- REFERENCE SHEET A5.1 FOR EXTERIOR DOOR AND WINDOW SCHEDULES.
- REFERENCE DETAILS 2, 4, AND 11 FOR TYPICAL ACCESSIBILITY FOR DOORS.
- REFERENCE SHEET A-8.0 FOR TYPICAL ACCESSIBILITY DETAILS.
- REFERENCE SHEETS A6.0 TO A6.5 FOR ENLARGED UNIT PLANS
- REFERENCE SHEETS A6.6 FOR TYPICAL RESTROOM AND KITCHEN NOTES
- INTERIOR AND EXTERIOR LANDINGS SHALL NOT EXCEED 2% MAX. CROSS SLOPE

**EXHIBIT "A"**  
Page No. 14 of 32  
Case No. DIR-2021-643-TOC-HCA





NO.	REVISIONS	DATE:
1	HSAP RESUBMITTAL	8.26.21
2	PLANNING RESUBMITTAL	9.02.21
3	GREEN, ACCESS, AND FIRE	9.24.21
4	PLANNING RESUBMITTAL	12.20.21
5	GREEN ACCESS, AND FIRE RESUBMITTAL	6.24.22
6	GREEN, ACCESS, FIRE AND PLANNING	8.19.22

PROJECT:  
**CAMBRIA TERRACE**  
  
1537 CAMBRIA AVE.  
LOS ANGELES, CA.

TITLE:  
**SIXTH FLOOR PLAN**

DATE: 09/01/2021

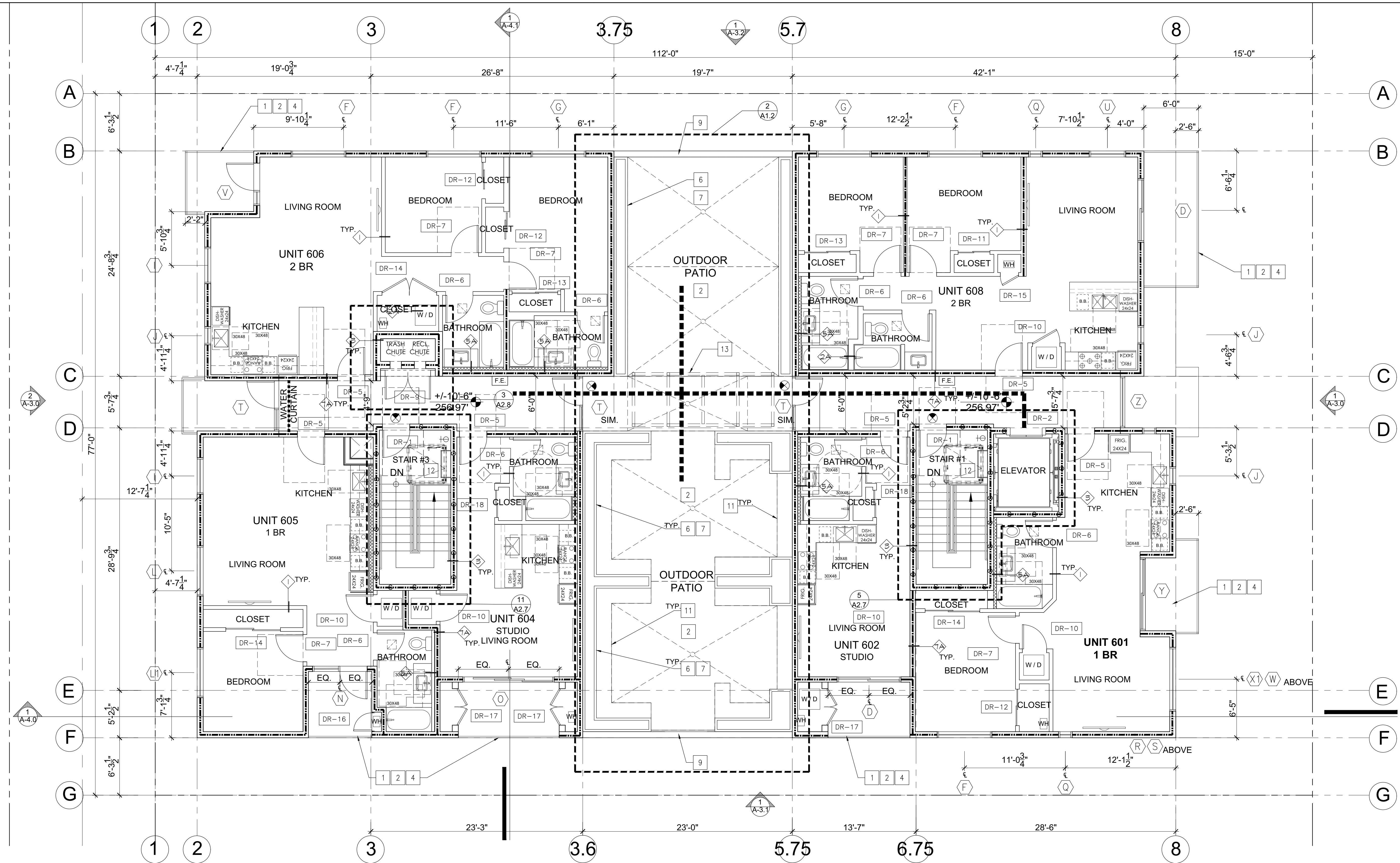
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SHEET:

**A2.5**

FILE:



**1 6TH FLOOR PLAN**  
SCALE: 3/16"=1'-0"

**LEGEND**

- 2 HR RATED SHAFT WALL PER WALL TYPE 3 ON A7.0
- 1 HR RATED INTERIOR RATED WALL PER WALL TYPE 7A ON A7.0 SIMILAR FOR UNIT SEPARATION WALL (REFERENCE STRUCTURAL FOR FRAMING SIZE)
- INTERIOR PARTITION PER WALL TYPE 1 AND 1A, REFERENCE STRUCTURAL DRAWINGS FOR FRAMING SIZE. REFERENCE WALL TYPE 2 FOR BATHROOM WALLS WHERE WALL TILE INSTALLATION
- WALL FURRING PER WALL TYPE 5A ON A7.0
- WALL NOTE:  
EXTERIOR WALL ASSEMBLY PER DETAIL 1/A8.1
- PARTITION TYPE
- ILLUMINATED EXIT SIGN WITH BATTERY BACKUP
- STAND PIPE
- FDC
- FIRE EXTINGUISHER, OPERABLE PART TO BE MOUNTED 48" A.F.F.
- FLOOR SLOPE
- WINDOW TYPE
- DOOR TYPE
- ACCESSIBLE PATH OF TRAVEL

**KEY NOTES**

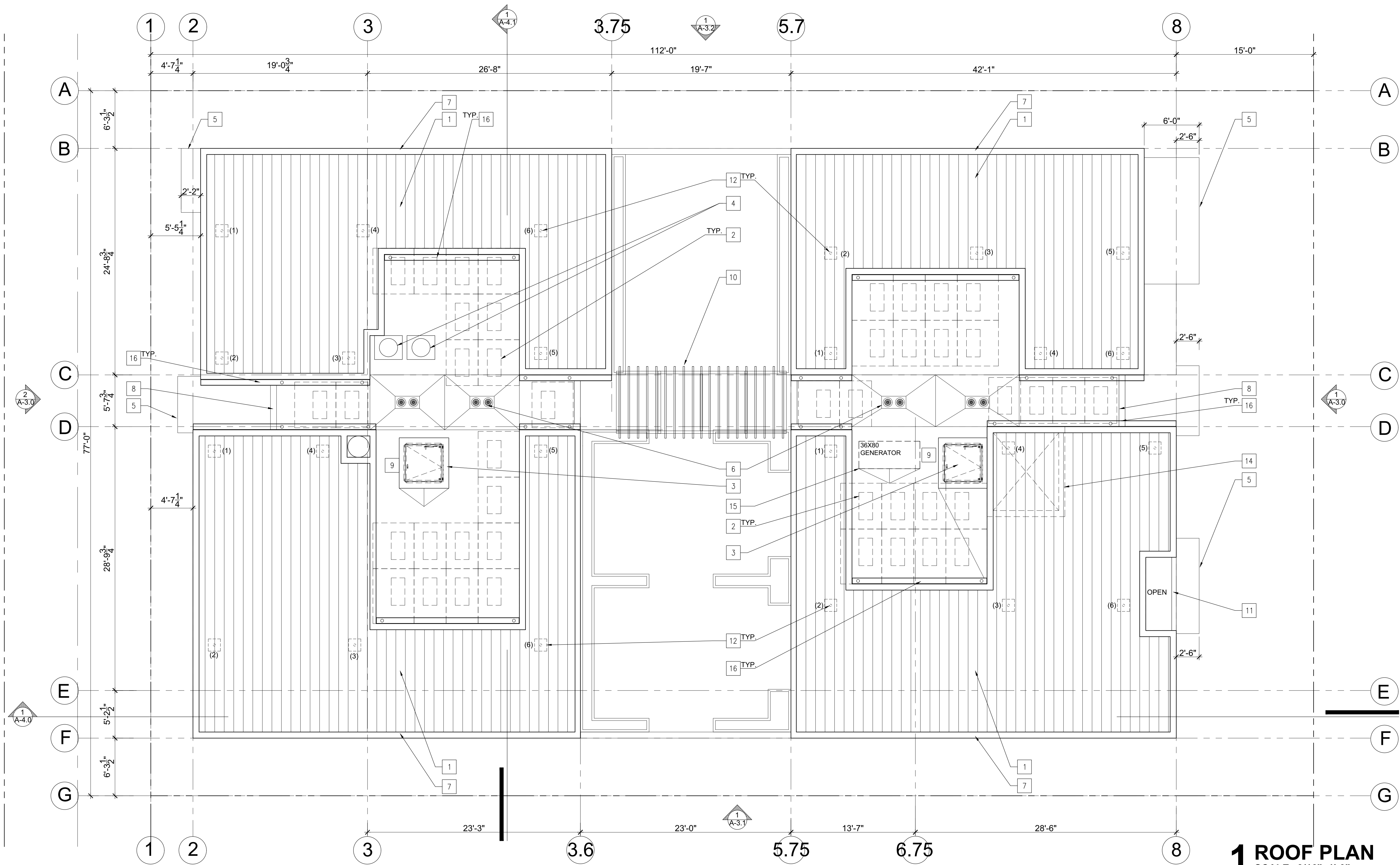
- 42" HIGH METAL GUARDRAIL PER DETAIL 13/A8.1
- DEX-O-TEX WEATHERWEAR DECK COATING PER LARR # 2364 PER 1/A0.15
- NOT USED
- EXTERIOR BALCONY
- LINE OF FLOOR BELOW
- PLANTING AREA
- PRE-MANUFACTURED PLANTER BOXES
- ROOF DRAINS
- 42" HIGH PARAPET WITH GALVANIZED METAL CAP
- NOT USED
- WOOD BENCH
- ROOF ACCESS LADDER AND 48" X 48" ROOF HATCH
- WOOD TRELLIS, PAINTED FIRE RETARDANT TREATED LUMBER \_EXTERIOR CONDITION

**GENERAL NOTES**

- REFERENCE SHEET A5.0 FOR DOOR SCHEDULES.
- REFERENCE SHEET A5.1 FOR EXTERIOR DOOR AND WINDOW SCHEDULES.
- REFERENCE DETAILS 2, 4, AND 11 FOR TYPICAL ACCESSIBILITY FOR DOORS.
- REFERENCE SHEET A-8.0 FOR TYPICAL ACCESSIBILITY DETAILS.
- REFERENCE SHEETS A6.0 TO A6.5 FOR ENLARGED UNIT PLANS
- REFERENCE SHEETS A6.6 FOR TYPICAL RESTROOM AND KITCHEN NOTES
- INTERIOR AND EXTERIOR LANDINGS SHALL NOT EXCEED 2% MAX. CROSS SLOPE

**LID NOTE:**  
ALL OUTDOOR PATIO RUNOFF TO PLANTERS PER CIVIL PLANS

**EXHIBIT "A"**  
Page No. 15 of 32  
Case No. DIR-2021-643-TOC-HCA



**1 ROOF PLAN**  
SCALE: 3/16"=1'-0"

KEY NOTES

1. STANDING SEAM METAL ROOF PER DETAIL 1/A0/14
2. PROPOSED MECHANICAL EQUIPMENT
3. 48" X 48" ROOF HATCH
4. ROOF VENTS FOR TRASH CHUTE
5. LINE OF FLOOR BELOW
6. ROOF DRAINS
7. PROVIDE GALVANIZED METAL FLASHING AT PERIMETER OF METAL ROOF
8. PARAPET WITH GALVANIZED METAL CAP
9. SIKU SARAFIL G410 ENERGY SMART PVC MEMBRANE ROOFING COLOR: WHITE ICC-ESR # 1157
10. LINE OF TRELLIS STRUCTURE
11. LINE OF CONTINUOUS EXTERIOR WALL FRAMING AT CEILING HEIGHT
12. FALL PROTECTION PER DETAIL 1/A0.16
13. SOLAR ZONE AREA
14. LINE OF ELEVATOR SHAFT BELOW
15. EMERGENCY GENERATOR
16. GALVANIZED/PAINTED SHEET METAL SCUPPER AND DOWNSPOUT

LID NOTE:  
ALL ROOF RUNOFF TO PLANTERS PER CIVIL PLANS

**EXHIBIT "A"**  
Page No. 16 of 32  
Case No. DIR-2021-643-TOC-HCA



NO.	REVISIONS	DATE:
1	HSAP RESUBMITTAL	8.26.21
2	PLANNING RESUBMITTAL	9.02.21
3	GREEN, ACCESS, AND FIRE	9.24.21
4	PLANNING RESUBMITTAL	12.20.21
5	GREEN ACCESS, AND FIRE RESUBMITTAL	6.24.22
6	GREEN, ACCESS, FIRE AND PLANNING	8.19.22

PROJECT:  
**CAMBRIA TERRACE**  
1537 CAMBRIA AVE.  
LOS ANGELES, CA.

TITLE:  
**ROOF PLAN**

DATE: 09/01/2021

SCALE: AS SHOWN

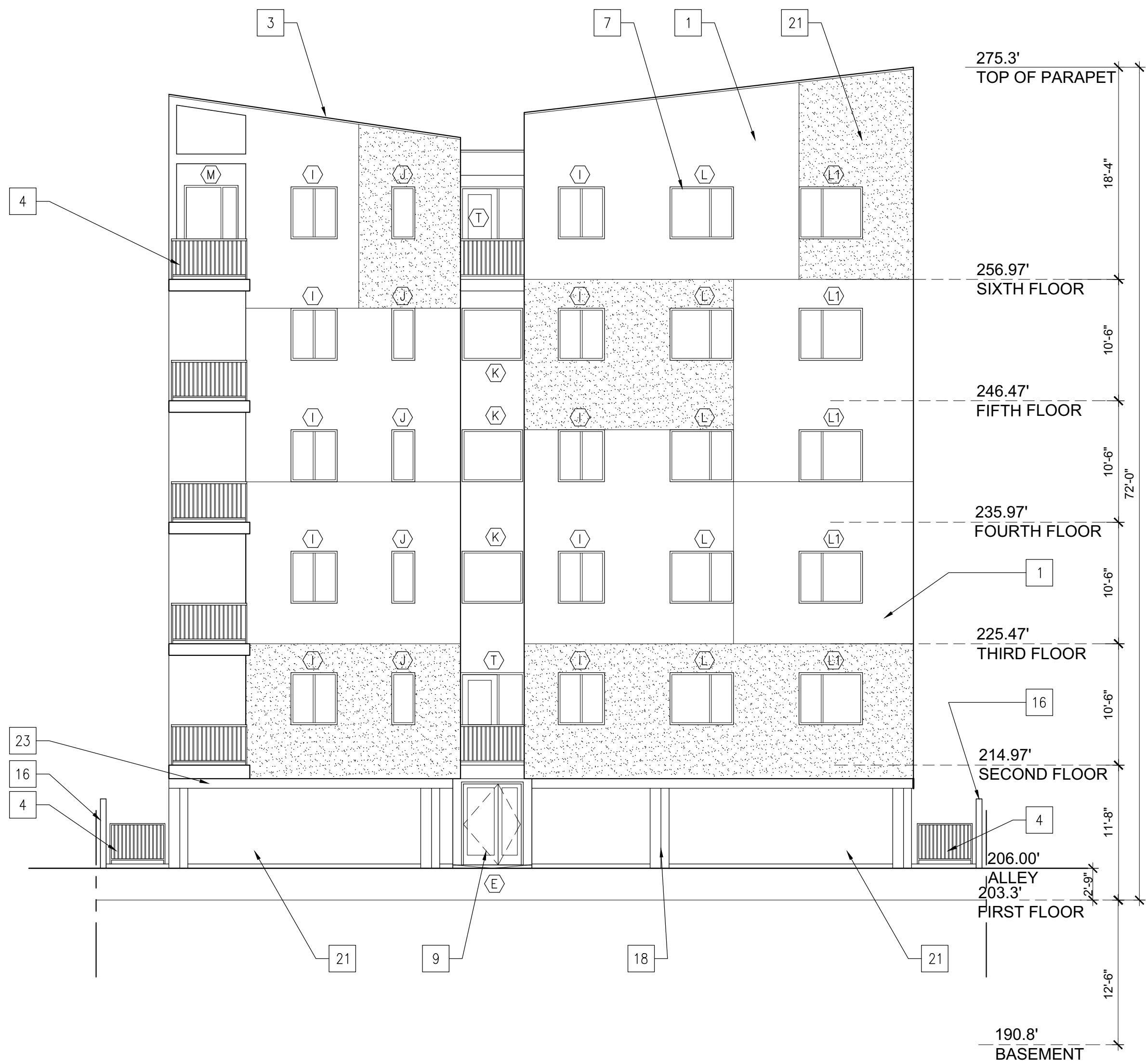
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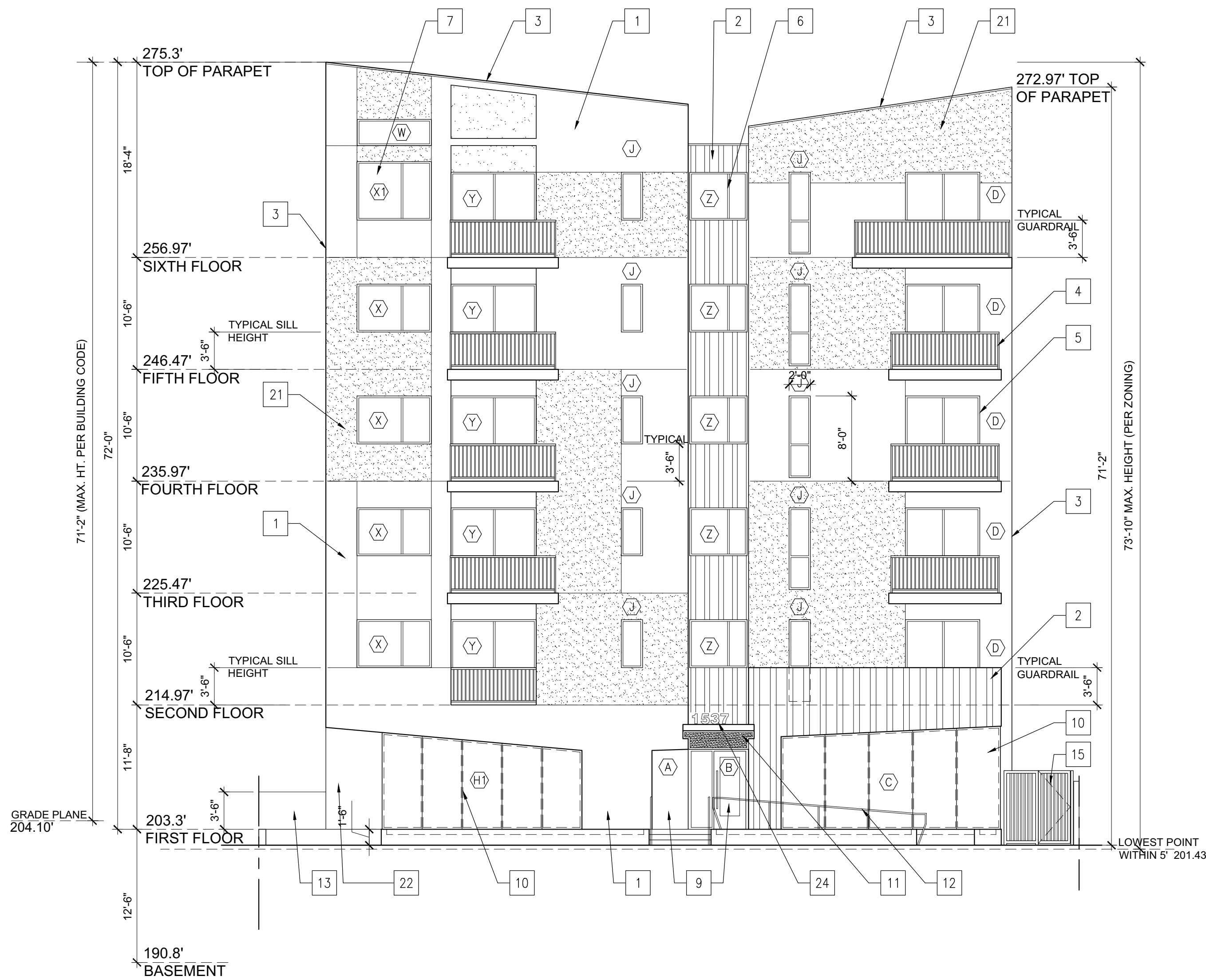
LID NOTE:  
ALL ROOF RUNOFF TO PLANTERS PER CIVIL PLANS

## 2 NORTH ELEVATION

SCALE: 1/8"=1'-0"

PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS

BOTTOM OF GARAGE HEADROOM OBSTRUCTIONS AT VAN ACCESSIBLE PARKING AND ACCESS TO BE MIN. HEIGHT REQUIRED 8'-2"



LID NOTE:  
ALL ROOF RUNOFF TO PLANTERS PER CIVIL PLANS

## 1 SOUTH ELEVATION

SCALE: 1/8"=1'-0"

PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS

BOTTOM OF GARAGE HEADROOM OBSTRUCTIONS AT VAN ACCESSIBLE PARKING AND ACCESS TO BE MIN. HEIGHT REQUIRED 8'-2"

### KEY NOTES

- SMOOTH STUCCO (WHITE)
- METAL PANEL (DARK GRAY)
- METAL TRIM (DARK GRAY)
- 42" HIGH GALV. PAINTED METAL GUARDRAIL PER DETAIL 1/A8.3. (DARK GRAY)
- ALUM. & GLASS PATIO DOOR. (SLIDING BLACK ANODIZED)
- ALUM. & GLASS WINDOW. (FIXED BLACK ANODIZED)
- ALUM. & GLASS WINDOW. (SLIDING BLACK ANODIZED)
- ALUM. & GLASS WINDOW. (AWNING BLACK ANODIZED)
- ALUM. & GLASS ENTRANCE DOOR. (ACCENT COLOR RUST)
- GLASS STOREFRONT (BLACK ANODIZED)
- METAL CANOPY (RUST COLOR)
- STAINLESS STEEL HANDRAIL
- CONC. PLANTER. (SEE LANDSCAPE PLAN)
- PTD. METAL DOOR
- METAL GATE (DARK GRAY)
- 6' HIGH CMU WALL BEHIND
- LINE OF SLIDING METAL GATE BEHIND
- CONCRETE COLUMN( ACCENT COLOR RUST)
- NOT USED
- NOT USED
- SMOOTH STUCCO (LIGHT GRAY)
- SMOOTH STUCCO - ACCENT COLOR (RUST COLOR)
- CONCRETE BEAM PER STRUCTURAL DRAWINGS
- ALUMINUM SIGNAGE

### NOTE:

- REFERENCE SHEET A-5.1 FOR FENESTRATION DIMENSIONS, AND TITLE 24 ENERGY CALCULATIONS FOR REQUIRED GLAZING TYPE AND SPECIFICATIONS.
- ALL EXPOSED STEEL SHALL BE GALVANIZED, PRIMED, AND PAINTED.
- ALL METAL PANELS SHALL BE INSTALLED PER MANUFACTURERS INSTALLATION GUIDELINES, PROVIDE METAL TRIMS WHERE INSTALLED ADJACENT TO CEMENT PLASTER, AND AT TERMINATIONS SUCH AS WALL BASE AND WINDOW OPENINGS
- PROVIDE SEALANT AT PERIMETER OF OPENINGS AND TRIMS.
- REFERENCE DETAIL 1/A-5.0 FOR OPENING FLASHING DETAILS.
- REFERENCE STRUCTURAL AND CIVIL DRAWINGS FOR INFORMATION NOT SHOWN ON THESE SECTIONS.

**EXHIBIT "A"**  
Page No. 17 of 32  
Case No. DIR-2021-643-TOC-HCA

NO.	REVISIONS	DATE:
	HSAP RESUBMITTAL	8.26.21
	PLANNING RESUBMITTAL	9.02.21
	GREEN, ACCESS, AND FIRE	9.24.21
	PLANNING RESUBMITTAL	12.20.21
	GREEN, ACCESS, AND FIRE RESUBMITTAL	6.24.22
	GREEN, ACCESS, FIRE AND PLANNING	8.19.22

PROJECT:  
**CAMBRIA TERRACE**  
1537 CAMBRIA AVE.  
LOS ANGELES, CA.

TITLE:  
**ELEVATIONS**

DATE: 09/01/2021

SCALE: AS SHOWN

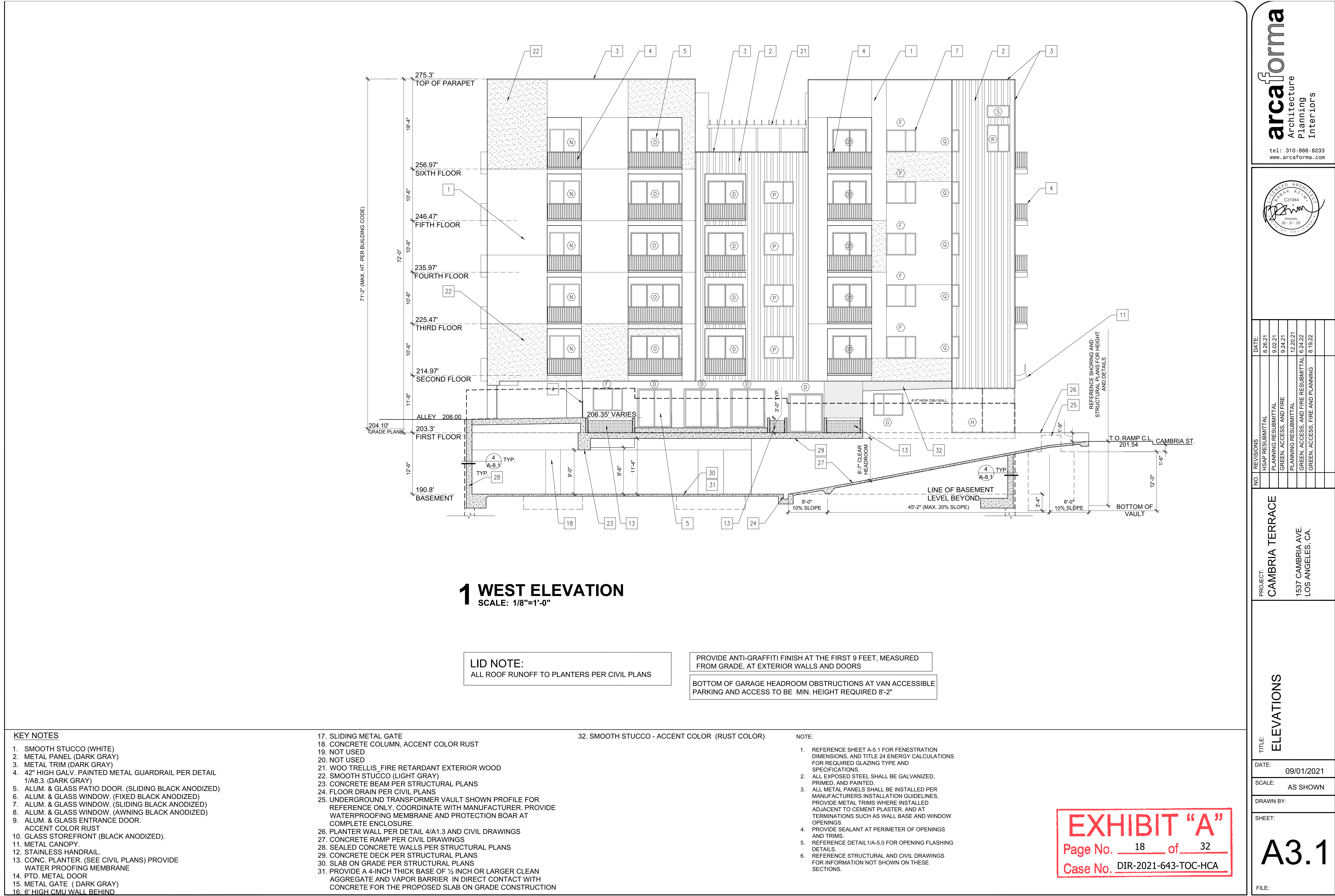
DRAWN BY:

SHEET:

**A3.0**

FILE:









1 EAST ELEVATION  
SCALE: 1/8"=1'-0"

LID NOTE:  
ALL ROOF RUNOFF TO PLANTERS PER CIVIL PLANS

PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS

BOTTOM OF GARAGE HEADROOM OBSTRUCTIONS AT VAN ACCESSIBLE PARKING AND ACCESS TO BE MIN. HEIGHT REQUIRED 8'-2"

KEY NOTES

- SMOOTH STUCCO (WHITE)
- METAL PANEL (DARK GRAY)
- METAL TRIM (DARK GRAY)
- 42" HIGH GALV. PAINTED METAL GUARDRAIL PER DETAIL 1/A8.3 (DARK GRAY)
- ALUM. & GLASS PATIO DOOR. (SLIDING BLACK ANODIZED)
- ALUM. & GLASS WINDOW. (FIXED BLACK ANODIZED)
- ALUM. & GLASS WINDOW. (SLIDING BLACK ANODIZED)
- ALUM. & GLASS WINDOW. (AWNING BLACK ANODIZED)
- ALUM. & GLASS ENTRANCE DOOR. ACCENT COLOR RUST
- GLASS STOREFRONT (BLACK ANODIZED).
- METAL CANOPY.
- STAINLESS HANDRAIL.
- CONC. PLANTER. (SEE CIVIL PLANS) PROVIDE WATER PROOFING MEMBRANE
- PTD. METAL DOOR
- METAL GATE (DARK GRAY)
- 6" HIGH CMU WALL BEHIND

- SLIDING METAL GATE
- CONCRETE COLUMN
- NOT USED
- NOT USED
- TRELLIS\_FIRE RETARDANT EXTERIOR WOOD
- SMOOTH STUCCO (LIGHT GRAY)
- CONCRETE BEAM PER STRUCTURAL DRAWINGS
- SEALED CONCRETE WALLS PER STRUCTURAL PLANS
- CONCRETE DECK PER STRUCTURAL PLANS
- SLAB ON GRADE PER STRUCTURAL PLANS
- PROVIDE A 4-INCH THICK BASE OF 1/4 INCH OR LARGER CLEAN AGGREGATE AND VAPOR BARRIER IN DIRECT CONTACT WITH CONCRETE FOR THE PROPOSED SLAB ON GRADE CONSTRUCTION
- CONCRETE FOOTING PER STRUCTURAL PLANS
- CONCRETE DECK PER STRUCTURAL DRAWINGS
- NEW CONCRETE STAIRS ON GRADE W/ 1 3/4" DIA. PAINTED GALVANIZED HANDRAILS. TOP OF HAND RAILS TO BE 34" A.F.F. AND 42" HIGH GUARD RAIL

NOTE:

- REFERENCE SHEET A-5.1 FOR FENESTRATION DIMENSIONS, AND TITLE 24 ENERGY CALCULATIONS FOR REQUIRED GLAZING TYPE AND SPECIFICATIONS.
- ALL EXPOSED STEEL SHALL BE GALVANIZED, PRIMED, AND PAINTED.
- ALL METAL PANELS SHALL BE INSTALLED PER MANUFACTURERS INSTALLATION GUIDELINES. PROVIDE METAL TRIMS WHERE INSTALLED ADJACENT TO CEMENT PLASTER, AND AT TERMINATIONS SUCH AS WALL BASE AND WINDOW OPENINGS
- PROVIDE SEALANT AT PERIMETER OF OPENINGS AND TRIMS.
- REFERENCE DETAIL 1/A-5.0 FOR OPENING FLASHING DETAILS.
- REFERENCE STRUCTURAL AND CIVIL DRAWINGS FOR INFORMATION NOT SHOWN ON THESE SECTIONS.



NO.	REVISIONS	DATE
	HSAP RESUBMITTAL	8.26.21
	PLANNING RESUBMITTAL	9.02.21
	GREEN, ACCESS, AND FIRE	9.24.21
	PLANNING RESUBMITTAL	12.20.21
	GREEN ACCESS, AND FIRE RESUBMITTAL	6.24.22
	GREEN, ACCESS, FIRE AND PLANNING	8.19.22

PROJECT:  
CAMBRIA TERRACE  
1537 CAMBRIA AVE.  
LOS ANGELES, CA.

TITLE:  
ELEVATIONS

DATE: 09/01/2021

SCALE: AS SHOWN

DRAWN BY:

SHEET:

A3.2

FILE:

EXHIBIT "A"  
Page No. 19 of 32  
Case No. DIR-2021-643-TOC-HCA





**2 EAST ELEVATION**  
N.T.S.



**1 SOUTH ELEVATION**  
N.T.S.

**KEYNOTES:**

1. SMOOTH STUCCO (WHITE)
2. METAL PANEL (DARK GRAY)
3. METAL TRIM (DARK GRAY)
4. 42" HIGH GALV. PAINTED METAL GUARDRAIL PER DETAIL 1/A8.3 (DARK GRAY)
5. ALUM. & GLASS PATIO DOOR. (SLIDING BLACK ANODIZED)
6. ALUM. & GLASS WINDOW. (FIXED BLACK ANODIZED)
7. ALUM. & GLASS WINDOW. (SLIDING BLACK ANODIZED)
8. ALUM. & GLASS WINDOW. (AWNING BLACK ANODIZED)
9. ALUM. & GLASS ENTRANCE DOOR. (ACCENT COLOR RUST)
10. GLASS STOREFRONT (BLACK ANODIZED)
11. METAL CANOPY (ACCENT COLOR RUST)
12. STAINLESS HANDRAIL.
13. CONC. PLANTER. (SEE LANDSCAPE PLAN)
14. PTD. METAL DOOR
15. METAL GATE (DARK GRAY)
16. 6" HIGH CMU WALL BEHIND
17. LINE OF SLIDING METAL GATE BEHIND
18. CONCRETE COLUMN- ACCENT COLOR RUST
19. STANDING SEAM METAL ROOF (DARK GRAY)
20. WOOD TRELLIS, FIRE RETARDANT EXTERIOR WOOD
21. SMOOTH STUCCO (LIGHT GRAY)
22. SMOOTH STUCCO - ACCENT COLOR (RUST COLOR)
23. CONCRETE BEAM PER STRUCTURAL DRAWINGS
24. ALUMINUM SIGNAGE
25. ALUMINUM STOREFRONT DOOR

**EXHIBIT "A"**  
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Case No. DIR-2021-643-TOC-HCA



**3 NORTH ELEVATION**  
N.T.S.



**4 WEST ELEVATION**  
N.T.S.

NO.	REVISIONS	DATE:
	HSAP RESUBMITTAL	8/28/21
	PLANNING RESUBMITTAL	9/02/21
	GREEN, ACCESS, AND FIRE	9/24/21
	PLANNING RESUBMITTAL	12/20/21
	GREEN, ACCESS, AND FIRE RESUBMITTAL	12/20/21
	GREEN, ACCESS, AND FIRE AND PLANNING	8/19/22

PROJECT:  
**CAMBRIA TERRACE**  
1537 CAMBRIA AVE.  
LOS ANGELES, CA.

TITLE:  
**COLORED ELEVATIONS**

DATE: 09/01/2021

SCALE: AS SHOWN

DRAWN BY:

SHEET:

**A3.3**

FILE:





**NORTHEAST VIEW**



**SOUTHWEST VIEW**



**NORTHWEST VIEW**



**SOUTHEAST VIEW**

NO.	REVISIONS	DATE:
1	HSAP RESUBMITTAL	8.26.21
2	PLANNING RESUBMITTAL	9.02.21
3	GREEN, ACCESS, AND FIRE	9.24.21
4	PLANNING RESUBMITTAL	12.20.21
5	GREEN, ACCESS, AND FIRE RESUBMITTAL	6.24.22
6	GREEN, ACCESS, FIRE AND PLANNING	8.19.22

PROJECT:  
**CAMBRIA TERRACE**  
1537 CAMBRIA AVE.  
LOS ANGELES, CA.

TITLE:  
**RENDERINGS**

DATE: 09/01/2021

SCALE: AS SHOWN

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SHEET:

**A3.4**

FILE:





6TH FLR. BALCONY- SOUTHWEST CORNER



ROOF DECK #2



ROOF DECK #1



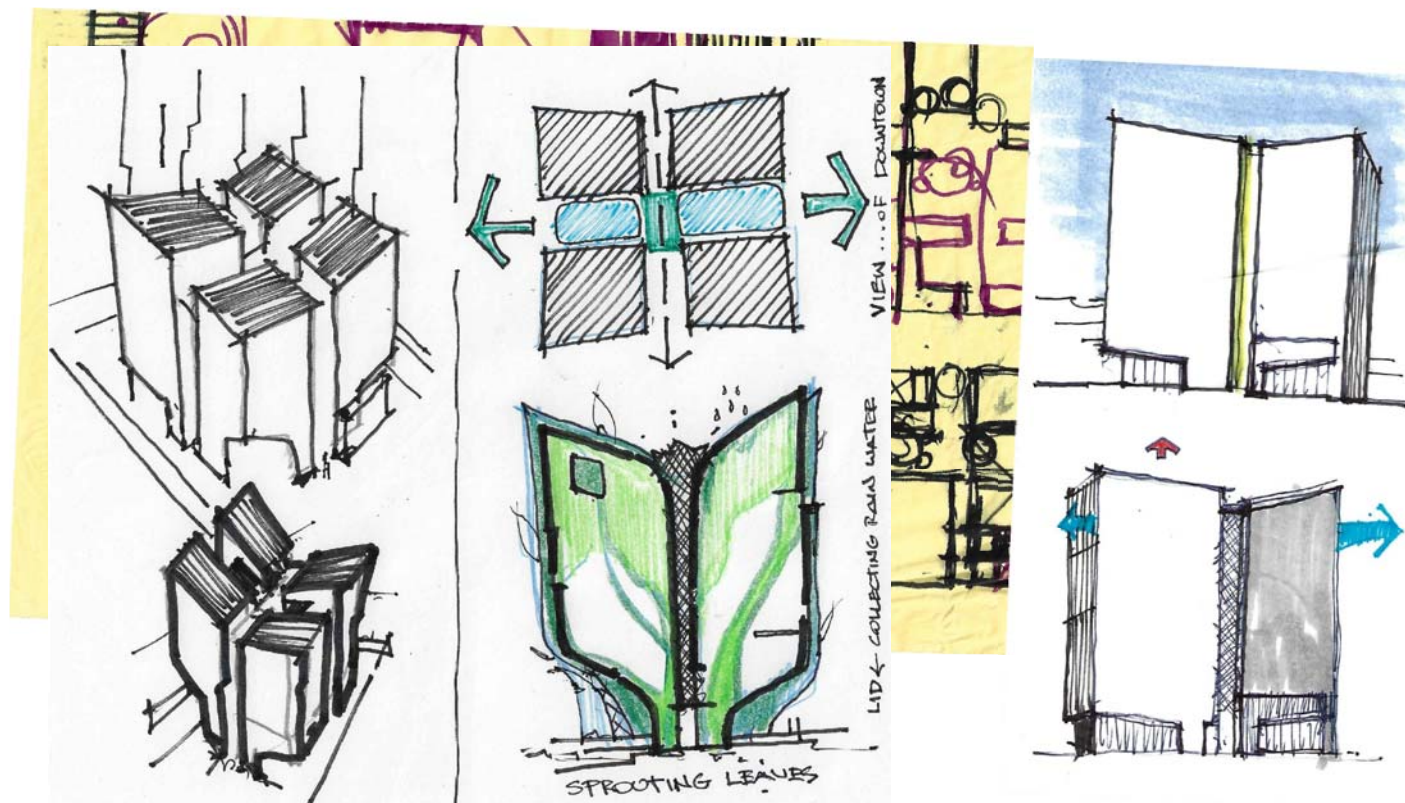
VIEW FROM GARAGE RAMP - PUPPY EYE VIEW



ROOF DECK - FROM ABOVE



FRONT VIEW



EARLY DESIGN CONCEPT - SPROUTING LEAVES



6TH FLR. BALCONY- SOUTHEAST



6TH FLR. BALCONY- NORTHEAST

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Case No. DIR-2021-643-TOC-HCA



BIRD'S-EYE VIEW



FRONT YARD FROM EAST



NO.	REVISIONS	DATE
1	HISAP RESUBMITTAL	8.26.21
2	PLANNING RESUBMITTAL	9.02.21
3	GREEN, ACCESS, AND FIRE	9.24.21
4	PLANNING RESUBMITTAL	12.20.21
5	GREEN, ACCESS, AND FIRE RESUBMITTAL	6.24.22
6	GREEN, ACCESS, FIRE AND PLANNING	8.19.22

PROJECT:  
**CAMBRIA TERRACE**  
1537 CAMBRIA AVE.  
LOS ANGELES, CA.

TITLE:  
**RENDERINGS**

DATE: 09/01/2021

SCALE: AS SHOWN

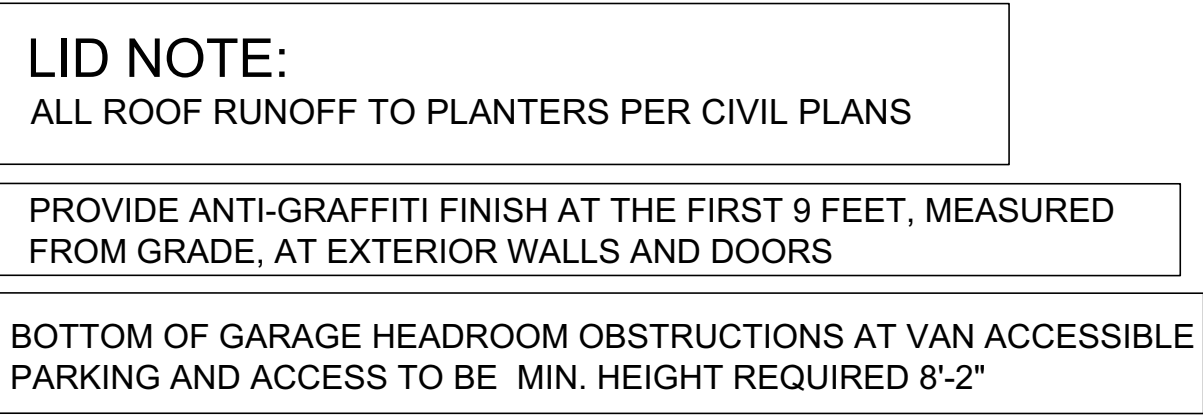
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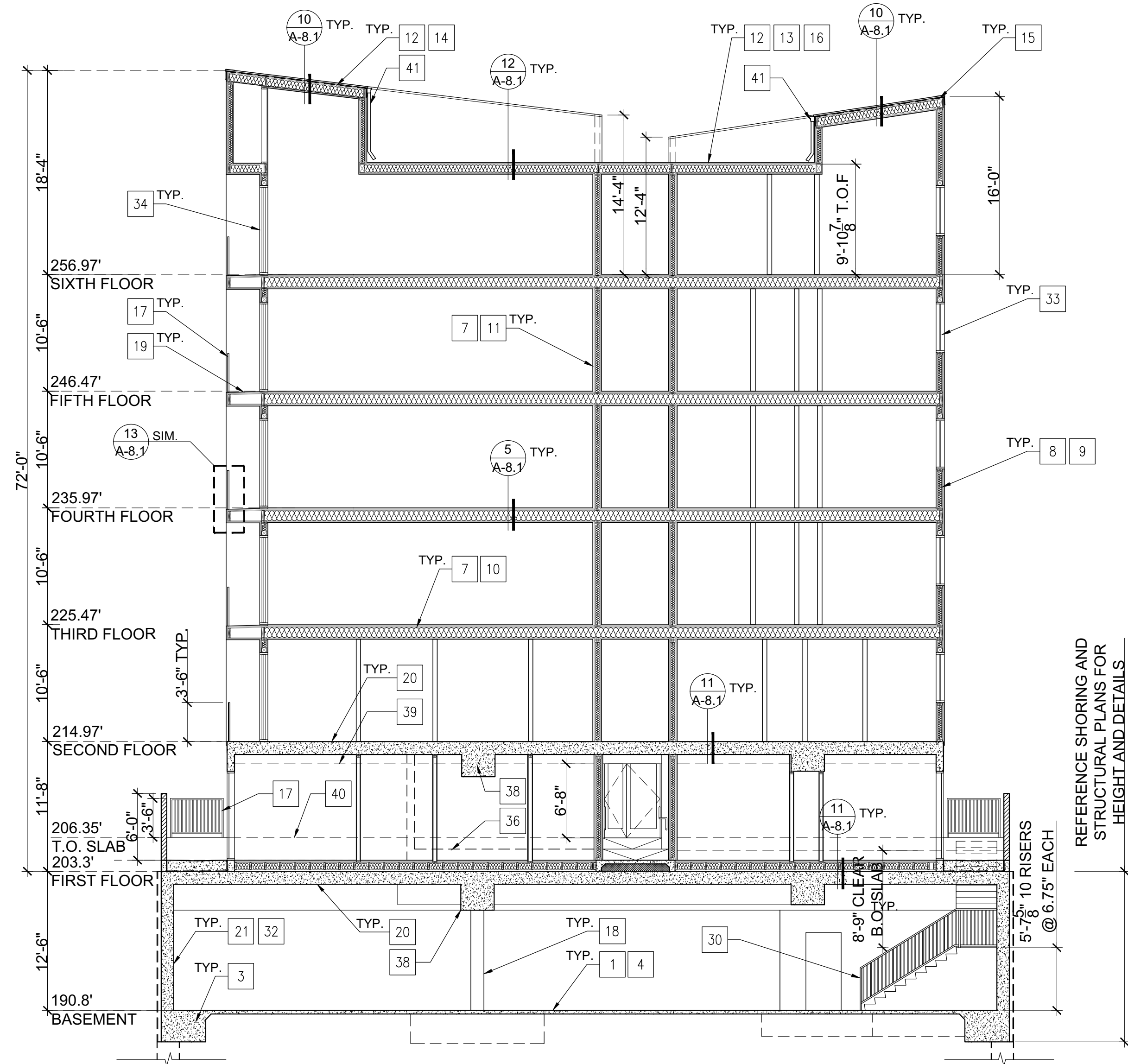




- NOTE:
1. PROVIDED NOTES ON SECTIONS ARE TYPICAL.
  2. REFERENCE SHEET A-6.1 FOR PENETRATION DIMENSIONS, AND TITLE 24 ENERGY CALCULATIONS FOR REQUIRED GLAZING TYPE AND SPECIFICATIONS.
  3. ALL EXPOSED STEEL SHALL BE GALVANIZED, PRIMED, AND PAINTED.
  4. ALL METAL PANELS SHALL BE INSTALLED PER MANUFACTURERS INSTALLATION GUIDELINES, PROVIDE METAL TRIMS WHERE INSTALLED ADJACENT TO CEMENT PLASTER, AND AT TERMINATIONS SUCH AS WALL BASE AND WINDOW OPENINGS
  5. PROVIDE SEALANT AT PERIMETER OF OPENINGS AND TRIMS
  6. REFERENCE DETAIL 1/A-5.0 FOR OPENING FLASHING DETAILS.
  7. REFERENCE STRUCTURAL AND CIVIL DRAWINGS FOR INFORMATION NOT SHOWN ON THESE SECTIONS.

**EXHIBIT "A"**  
Page No. 23 of 32  
Case No. DIR-2021-643-TOC-HCA





# 1 CROSS SECTION

SCALE: 1/8"=1'-0"

## LID NOTE:

ALL ROOF RUNOFF TO PLANTERS PER CIVIL PLANS

PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS

BOTTOM OF GARAGE HEADROOM OBSTRUCTIONS AT VAN ACCESSIBLE PARKING AND ACCESS TO BE MIN. HEIGHT REQUIRED 8'-2"

- SLAB ON GRADE PER STRUCTURAL PLANS
- 6'-0" HIGH MASONRY WALL PER CIVIL DRAWINGS
- CONCRETE FOOTING PER STRUCTURAL PLANS
- PROVIDE A 4-INCH THICK BASE OF 1/2 INCH OR LARGER CLEAN AGGREGATE AND VAPOR BARRIER IN DIRECT CONTACT WITH CONCRETE FOR THE PROPOSED SLAB ON GRADE CONSTRUCTION
- CONCRETE HARDSCAPE AND/OR PERMEABLE PAVERS, COORDINATE WITH CIVIL PLANS FOR EXACT LOCATIONS
- PLANTER WALL PER DETAIL 4/A1.3 AND CIVIL DRAWINGS
- 2X FLOOR FRAMING AND FLOOR SHEATHING PER STRUCTURAL PLANS, PROVIDE SOUND ATTENUATED INSULATION AT FLOOR CAVITY.
- 2X EXTERIOR WALL FRAMING W/STRUCTURAL PLYWOOD WHERE SCHEDULED PER STRUCTURAL DRAWINGS, PROVIDE THERMAL INSULATION AT WALL CAVITY.
- SMOOTH FINISH CEMENT PLASTER OVER WEATHER RESISTIVE BARRIER, REFERENCE ELEVATIONS FOR COLORS AND OTHER MATERIALS NOT SHOWN ON SECTIONS.
- FLOOR LEVELING UNDERLAYMENT OVER FLOOR SHEATHING, COORDINATE WITH OWNER FOR FLOOR FINISHES. ALTERNATE TO PROVIDE DOUBLE LAYER OF PLYWOOD SUBFLOOR
- 2X INTERIOR WALL FRAMING PER WALL TYPES
- 2X ROOF RAFTERS WITH ROOF SHEATHING PER STRUCTURAL PLANS, PROVIDE THERMAL INSULATION WITHIN FRAMING CAVITY
- CLASS "A" SINGLE-PLY ROOFING
- STANDING SEAM METAL ROOF
- PROVIDE GALVANIZED/PAINTED SHEET METAL FLASHING
- PROVIDE 2X SHAPED FRAMING WITH 5/8" SHEATHING FOR REQUIRED ROOF SLOPE
- 42" HIGH METAL GUARDRAIL PER DETAIL 1/A8.3, PROVIDE POST AT 4'-0" O.C. AND AT EACH END, REFERENCE ELEVATIONS FOR PAINT COLORS
- SEALED CONCRETE COLUMN PER STRUCTURAL DRAWINGS
- DEX-O-TEX WEATHERWEAR DECK COATING PER LARR # 2364 OR APPROVED EQUAL. (TYP.)
- CONCRETE DECK PER STRUCTURAL PLANS
- SEALED CONCRETE WALLS PER STRUCTURAL PLANS
- 2X CEILING FRAMING WITH 5/8" TYPE 'X' GYPSUM BOARD
- STAIR TOWER BEYOND
- METAL PANEL
- CANOPY WITH METAL SIDING AND ROOFING
- CANOPY WITH BUILDING SIGN, REFERENCE DETAIL 8/A-8.2
- CONCRETE RAMP PER CIVIL DRAWINGS
- 6" HIGH CONCRETE CURB
- PARAPET WALL
- NEW CONCRETE STAIRS ON GRADE W/ 1 1/2" DIA. PAINTED GALVANIZED HANDRAILS, TOP OF HAND RAILS TO BE 34" A.F.F. AND 42" HIGH GUARD RAIL
- LINE OF FLAT ROOF BEYOND
- CONCRETE RETAINING WALL, REFERENCE STRUCTURAL AND SHORING PLANS
- ALUMINUM WINDOW FRAMES WITH DOUBLE GLAZED ASSEMBLY
- ALUMINUM DOOR FRAMES WITH DOUBLE GLAZED DOORS
- UNDERGROUND TRANSFORMER VAULT SHOWN PROFILE FOR REFERENCE ONLY, COORDINATE WITH MANUFACTURER. PROVIDE WATERPROOFING MEMBRANE AND PROTECTION BOAR AT COMPLETE ENCLOSURE.
- LINE OF STAIR LANDING AND RAISED SLAB PER STRUCTURAL PLANS
- FLOOR DRAIN VALVE PER CIVIL PLANS
- CONCRETE BEAM PER STRUCTURAL PLANS
- LINE OF CONCRETE BEAM BEYOND
- LINE OF UPPER CONCRETE SLAB PER STRUCTURAL PLANS
- GALVANIZED/PAINTED SHEET METAL SCUPPER AND DOWNSPOUT

## NOTE:

- PROVIDED NOTES ON SECTIONS ARE TYPICAL.
- REFERENCE SHEET A-5.1 FOR FENESTRATION DIMENSIONS, AND TITLE 24 ENERGY CALCULATIONS FOR REQUIRED GLAZING TYPE AND SPECIFICATIONS.
- ALL EXPOSED STEEL SHALL BE GALVANIZED, PRIMED, AND PAINTED.
- ALL METAL PANELS SHALL BE INSTALLED PER MANUFACTURERS INSTALLATION GUIDELINES, PROVIDE METAL TRIMS WHERE INSTALLED ADJACENT TO CEMENT PLASTER, AND AT TERMINATIONS SUCH AS WALL BASE AND WINDOW OPENINGS
- PROVIDE SEALANT AT PERIMETER OF OPENINGS AND TRIMS.
- REFERENCE DETAIL1/A-5.0 FOR OPENING FLASHING DETAILS.
- REFERENCE STRUCTURAL AND CIVIL DRAWINGS FOR INFORMATION NOT SHOWN ON THESE SECTIONS.



NO.	REVISIONS	DATE
	HSAP RESUBMITTAL	8.26.21
	PLANNING RESUBMITTAL	9.02.21
	GREEN, ACCESS, AND FIRE	9.24.21
	PLANNING RESUBMITTAL	12.20.21
	GREEN, ACCESS, AND FIRE RESUBMITTAL	6.24.22
	GREEN, ACCESS, FIRE AND PLANNING	8.19.22

PROJECT:  
CAMBRIA TERRACE  
1537 CAMBRIA AVE.  
LOS ANGELES, CA.

TITLE:  
SECTION

DATE: 09/01/2021

SCALE: AS SHOWN

DRAWN BY:

SHEET:

A4.1

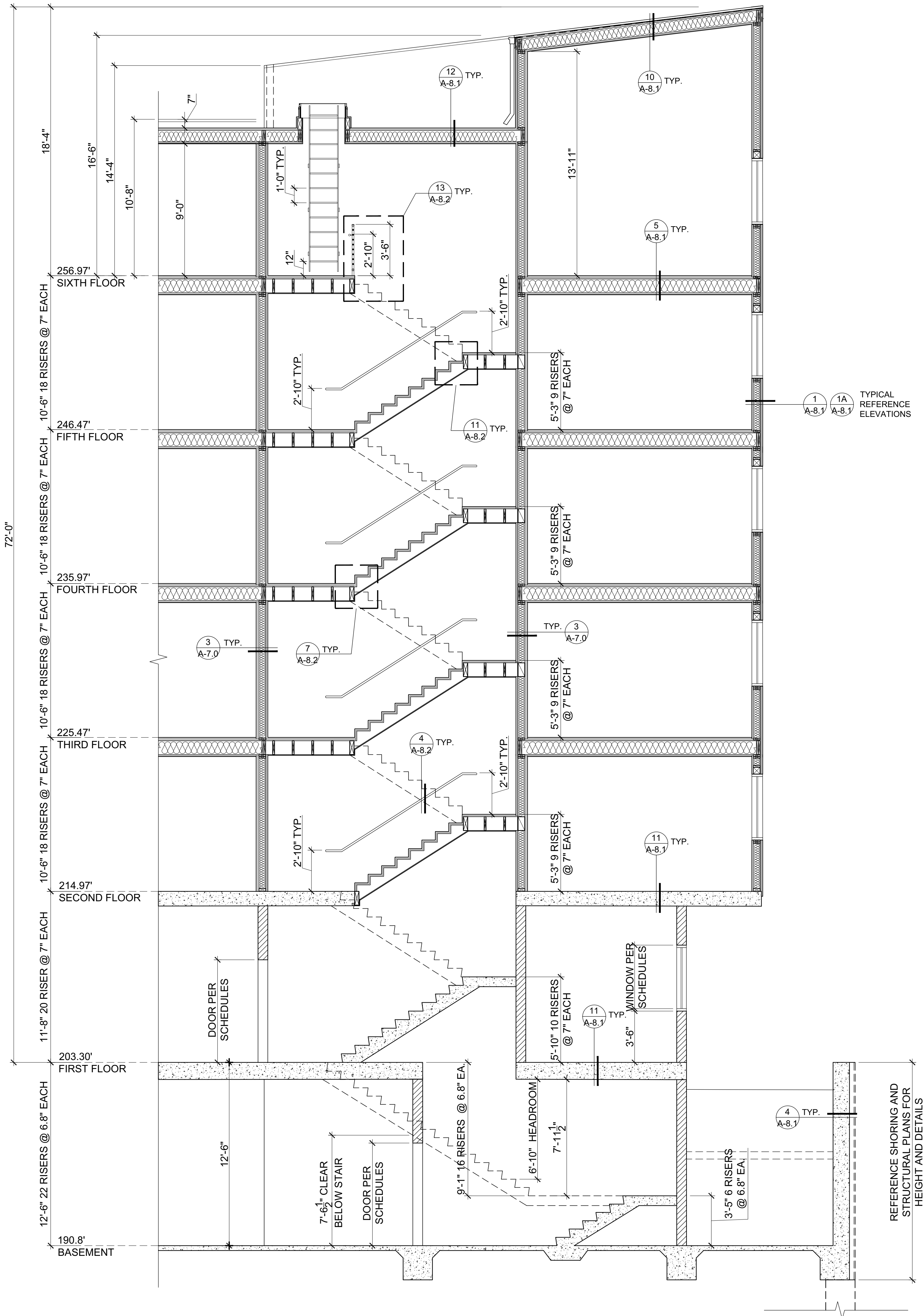
FILE:

EXHIBIT "A"

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Case No. DIR-2021-643-TOC-HCA





**1 STAIR 1 SECTION**  
SCALE: 1/4"=1'-0"

1. SLAB ON GRADE PER STRUCTURAL PLANS
2. 6'-0" HIGH MASONRY WALL PER CIVIL DRAWINGS
3. CONCRETE FOOTING PER STRUCTURAL PLANS
4. PROVIDE A 4-INCH THICK BASE OF 1/2 INCH OR LARGER CLEAN AGGREGATE AND VAPOR BARRIER IN DIRECT CONTACT WITH CONCRETE FOR THE PROPOSED SLAB ON GRADE CONSTRUCTION
5. CONCRETE HARDSCAPE AND/OR PERMEABLE PAVERS, COORDINATE WITH CIVIL PLANS FOR EXACT LOCATIONS
6. PLANTER WALL PER DETAIL 4/A1.3 AND CIVIL DRAWINGS
7. 2X FLOOR FRAMING AND FLOOR SHEATHING PER STRUCTURAL PLANS, PROVIDE SOUND ATTENUATED INSULATION AT FLOOR CAVITY.
8. 2X EXTERIOR WALL FRAMING W/STRUCTURAL PLYWOOD WHERE SCHEDULED PER STRUCTURAL DRAWINGS, PROVIDE THERMAL INSULATION AT WALL CAVITY.
9. SMOOTH FINISH CEMENT PLASTER OVER WEATHER RESISTIVE BARRIER, REFERENCE ELEVATIONS FOR COLORS AND OTHER MATERIALS NOT SHOWN ON SECTIONS.
10. FLOOR LEVELING UNDERLAYMENT OVER FLOOR SHEATHING, COORDINATE WITH OWNER FOR FLOOR FINISHES. ALTERNATE TO PROVIDE DOUBLE LAYER OF PLYWOOD SUBFLOOR
11. 2X INTERIOR WALL FRAMING PER WALL TYPES
12. 2X ROOF RAFTERS WITH ROOF SHEATHING PER STRUCTURAL PLANS, PROVIDE THERMAL INSULATION WITHIN FRAMING CAVITY
13. CLASS "A" SINGLE-PLY ROOFING
14. STANDING SEAM METAL ROOF
15. TOP OF PARAPET, PROVIDE PAINTED SHEET METAL COVER
16. PROVIDE 2X SHAPED FRAMING WITH 5/8" SHEATHING FOR REQUIRED ROOF SLOPE
17. 42" HIGH METAL GUARDRAIL, PROVIDE POST AT 4'-0" O.C. AND AT EACH END, REFERENCE ELEVATIONS FOR PAINT COLORS
18. SEALED CONCRETE COLUMN PER STRUCTURAL DRAWINGS
19. DEX-O-TEX WEATHERWEAR DECK COATING PER LARR # 2364 OR APPROVED EQUAL. (TYP.)
20. CONCRETE DECK PER STRUCTURAL PLANS
21. SEALED CONCRETE WALLS PER STRUCTURAL PLANS
22. 2X CEILING FRAMING WITH 5/8" TYPE 'X' GYPSUM BOARD
23. STAIR TOWER BEYOND
24. METAL PANEL
25. CANOPY WITH METAL SIDING AND ROOFING
26. CANOPY WITH BUILDING SIGN, REFERENCE DETAIL 8/A-8.2
27. CONCRETE RAMP PER CIVIL DRAWINGS
28. 6" HIGH CONCRETE CURB
29. PARAPET WALL
30. NEW CONCRETE STAIRS ON GRADE W/ 1 1/2" DIA. PAINTED GALVANIZED HANDRAILS, TOP OF HAND RAILS TO BE 34" A.F.F. AND 42" HIGH GUARD RAIL
31. LINE OF FLAT ROOF BEYOND
32. CONCRETE RETAINING WALL, REFERENCE STRUCTURAL AND SHORING PLANS
33. ALUMINUM WINDOW FRAMES WITH DOUBLE GLAZED ASSEMBLY
34. ALUMINUM DOOR FRAMES WITH DOUBLE GLAZED DOORS ROOF HATCH WITH PRE-MANUFACTURED CURB OVER 4X WOOD FRAMING AT PERIMETER OF OPENING, LAP ROOFING OVER HATCH CURB

NOTE:

1. PROVIDED NOTES ON SECTIONS ARE TYPICAL.
2. REFERENCE SHEET A-5.1 FOR FENESTRATION DIMENSIONS, AND TITLE 24 ENERGY CALCULATIONS FOR REQUIRED GLAZING TYPE AND SPECIFICATIONS.
3. ALL EXPOSED STEEL SHALL BE GALVANIZED, PRIMED, AND PAINTED.
4. ALL METAL PANELS SHALL BE INSTALLED PER MANUFACTURERS INSTALLATION GUIDELINES, PROVIDE METAL TRIMS WHERE INSTALLED ADJACENT TO CEMENT PLASTER, AND AT TERMINATIONS SUCH AS WALL BASE AND WINDOW OPENINGS
5. PROVIDE SEALANT AT PERIMETER OF OPENINGS AND TRIMS.
6. REFERENCE DETAIL1/A-5.0 FOR OPENING FLASHING DETAILS.
7. REFERENCE STRUCTURAL AND CIVIL DRAWINGS FOR INFORMATION NOT SHOWN ON THESE SECTIONS.



NO.	REVISIONS	DATE:
	HSAP RESUBMITTAL	8.26.21
	PLANNING RESUBMITTAL	9.02.21
	GREEN, ACCESS, AND FIRE	9.24.21
	PLANNING RESUBMITTAL	12.20.21
	GREEN, ACCESS, AND FIRE RESUBMITTAL	6.24.22
	GREEN, ACCESS, FIRE AND PLANNING	8.19.22

PROJECT:  
**CAMBRIA TERRACE**  
1537 CAMBRIA AVE.  
LOS ANGELES, CA.

TITLE:  
**STAIR SECTIONS**

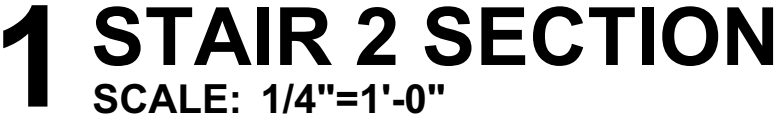
DATE: 09/01/2021  
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SHEET:

**A4.2**

FILE:

**EXHIBIT "A"**  
Page No. 25 of 32  
Case No. DIR-2021-643-TOC-HCA





- NOTE:**

1. PROVIDED NOTES ON SECTIONS ARE TYPICAL.
2. REFERENCE SHEET A-5.1 FOR PENETRATION DIMENSIONS, AND TITLE 24 ENERGY CALCULATIONS FOR REQUIRED GLAZING TYPE AND SPECIFICATIONS.
3. ALL EXPOSED STEEL SHALL BE GALVANIZED, PRIME, AND PAINTED.
4. ALL METAL PANELS SHALL BE INSTALLED PER MANUFACTURERS INSTALLATION GUIDELINES, PROVIDE METAL TRIMS WHERE INSTALLED ADJACENT TO CEMENT PLASTER, AND AT TERMINATIONS SUCH AS WALL BASE AND WINDOW OPENINGS.
5. PROVIDE SEALANT AT PERIMETER OF OPENINGS AND TRIMS.
6. REFERENCE DETAIL 1/A-5.0 FOR OPENING FLASHING DETAILS.
7. REFERENCE STRUCTURAL AND CIVIL DRAWINGS FOR INFORMATION NOT SHOWN ON THESE SECTIONS.

**EXHIBIT "A"**  
Page No. 26 of 32  
Case No. DIR-2021-643-TOC-HCA

NO.	REVISIONS	DATE.
	HSAP RESUBMITTAL	8.26.21
	PLANNING RESUBMITTAL	9.02.21
	GREEN, ACCESS, AND FIRE	9.24.21
	PLANNING RESUBMITTAL	12.20.21
	GREEN, ACCESS, AND FIRE RESUBMITTAL	6.24.22
	GREEN, ACCESS, FIRE AND PLANNING	8.19.22

PROJECT:  
CAMBRIA TERRACE  
1537 CAMBRIA AVE.  
LOS ANGELES, CA.

## STAIR SECTIONS

TITLE:	
DATE:	09/01/2021
SCALE:	AS SHOWN
DRAWN BY:	
SHEET:	




# A4.3

FILE:





**LEGEND:**

- |   |  |
|---|--|
|  | HARD-WIRED & INTERCONNECTED SMOKE DETECTOR WITH BATTERY BACK UP. DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS  |
|  | HARD-WIRED & INTERCONNECTED CARBON MONOXIDE DETECTOR   |
|  | ENERGY STAR EXHAUST FAN<br>FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL |

## ACCESSIBILITY FLOOR CLEARANCE

Ⓣ THERMOSTAT PER DETAIL 2/A0.17

**CEILING NOTES:**

1. THE PURPOSE OF CEILING NOTES ARE FOR THE G.C. TO PROVIDE CEILING SOFFIT/ DROP CEILINGS WITHIN CONSTRUCTION COST, AND SHOULD BE FIELD COORDINATED WITH OWNER AND ARCHITECT.
2. GENERAL CONTRACTOR TO FIELD COORDINATE THE CONSTRUCTION OF REQUIRED SOFFITS FOR MECHANICAL DUCTS AND PLUMBING PIPES BELOW THE FLOOR FRAMING.
3. PROVIDE A MINIMUM 7'-6" CEILING HEIGHT AT RESTROOMS, FIELD COORDINATE REQUIRED CEILING ACCESS PANEL
4. PROVIDE A MINIMUM 8'-0" CEILING HEIGHT AT BEDROOMS, LIVING ROOM, AND DINING AREAS. FIELD COORDINATE LOCATION OF MECHANICAL DUCTS AND PLUMBING PIPES
5. PROVIDE A MINIMUM 7'-6" CEILING HEIGHT AT KITCHEN AREAS, HALLWAYS AND CLOSETS (PROVIDE HIGHER CEILINGS WHERE REQUIRED DUE TO INSTALLED EQUIPMENT AND REQUIRED CLEARANCES)

#### ACCESSIBILITY NOTES:

1. PROVIDE WALL MOUNTED LAVATORY OR A COUNTER MOUNTED VANITY COMPLYING WITH REQUIRED CLEARANCES PER DETAIL 13/A-8.0. NO CABINET CAN BE INSTALLED ENCRUCHING INTO THE REQUIRED CLEAR FLOOR SPACE
2. REFERENCE DETAIL 1/A8.0 FOR LOCATION OF REQUIRED BACKING AT TUB ENCLOSURE WALLS USED FOR GRAB BARS
3. REFERENCE DETAIL 8/A8.0 FOR LOCATION OF REQUIRED BACKING AT TOILET WALLS USED FOR GRAB BARS
4. REFERENCE TYPICAL ACCESSIBLE DETAILS ON SHEET A8.0 FOR KITCHENS AND BATHROOMS
5. REFERENCE DETAILS 2, 7, 11, AND 15 FOR TYPICAL DOOR ACCESSIBILITY NOTES.
6. KITCHEN COUNTERS 36" MAX. HEIGHT AND 34" MAX. HEIGHT FOR EATING SURFACES.
7. WASHER/DRYER SHOULD BE FRONT LOADING. MANAGEMENT WILL PROVIDE AND ACCESSIBLE WASHER OR DRYER, OR ASSISTIVE DEVICE UPON REQUEST.

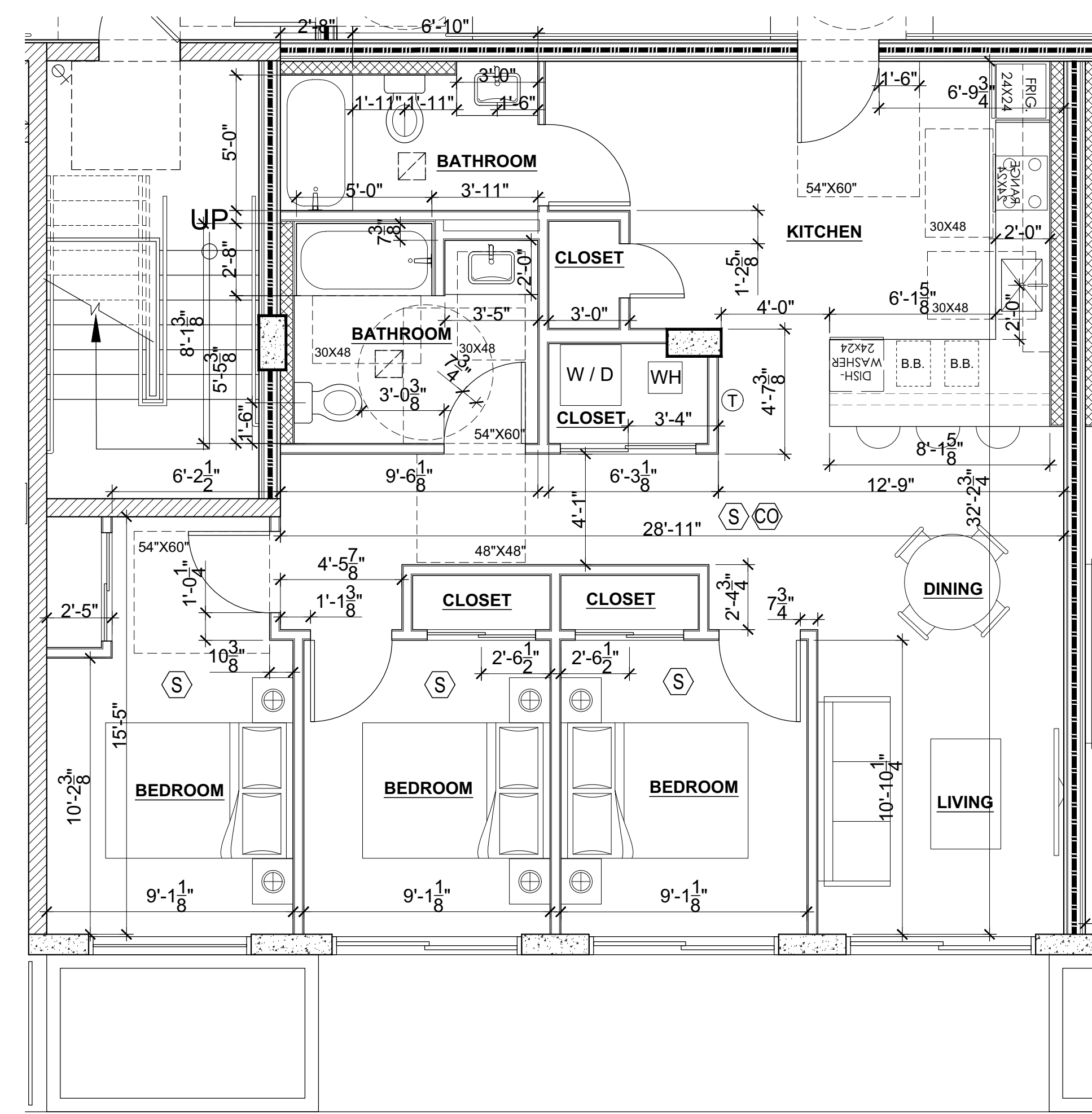
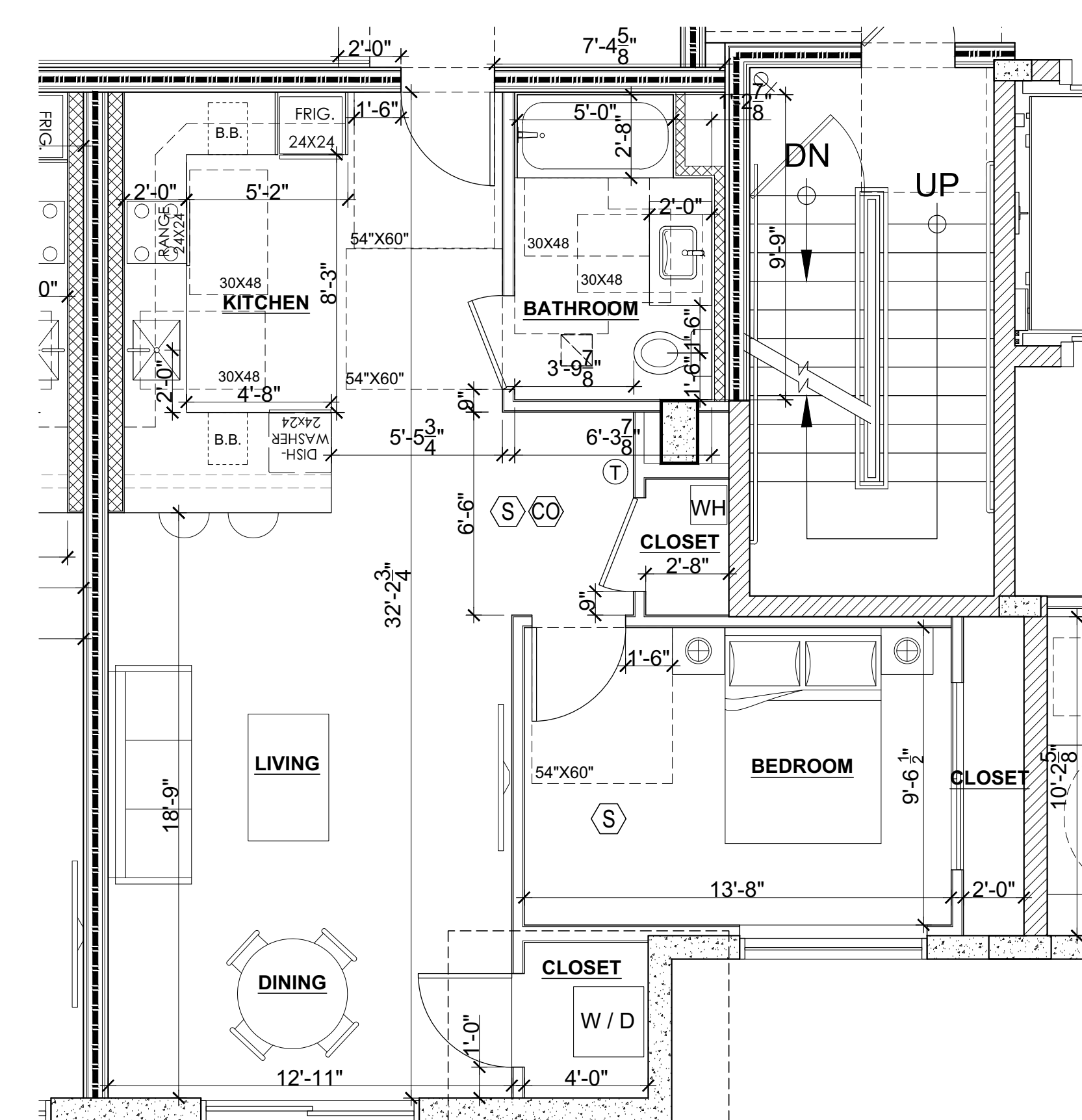


## 2 UNIT 101



**1 UNIT 102**  
SCALE: 1/4"=1'-0"

**EXHIBIT "A"**  
Page No. 27 of 32  
Case No. DIR-2021-643-TOC-HCA



**arcaforma**  
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[www.arcaforma.com](http://www.arcaforma.com)



NO.	REVISIONS	DATE:
	HSAP RESUBMITTAL	8.26.21
	PLANNING RESUBMITTAL	9.02.21
	GREEN, ACCESS, AND FIRE	9.24.21
	PLANNING RESUBMITTAL	12.20.21
	GREEN, ACCESS, AND FIRE RESUBMITTAL	6.24.22
	GREEN, ACCESS, FIRE AND PLANNING	8.19.22

PROJECT:  
CAMBRIA TERRACE

1537 CAMBRIA AVE.  
LOS ANGELES, CA.

## ENLARGED UNITS PLANS

DATE: 09/01/2021

SCALE: AS SHOWN

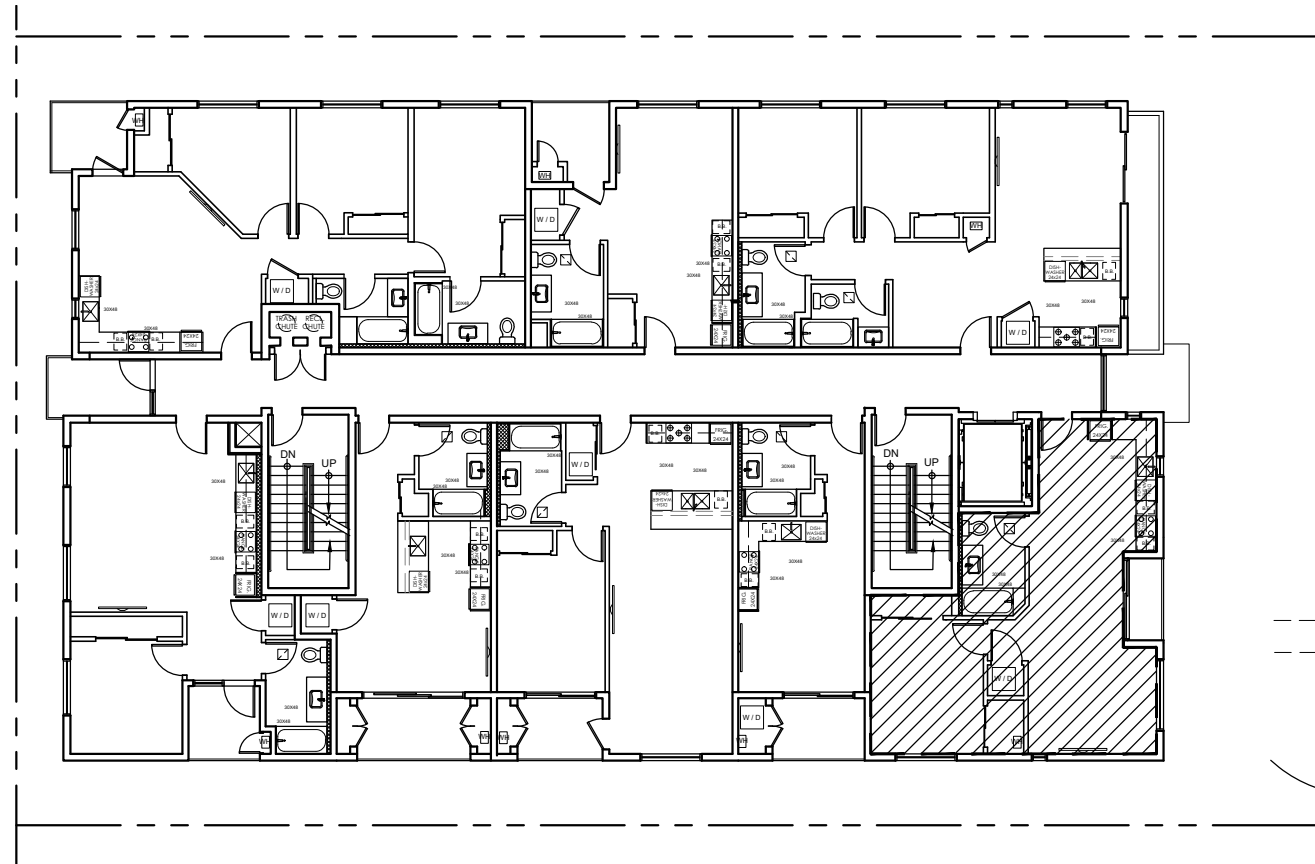
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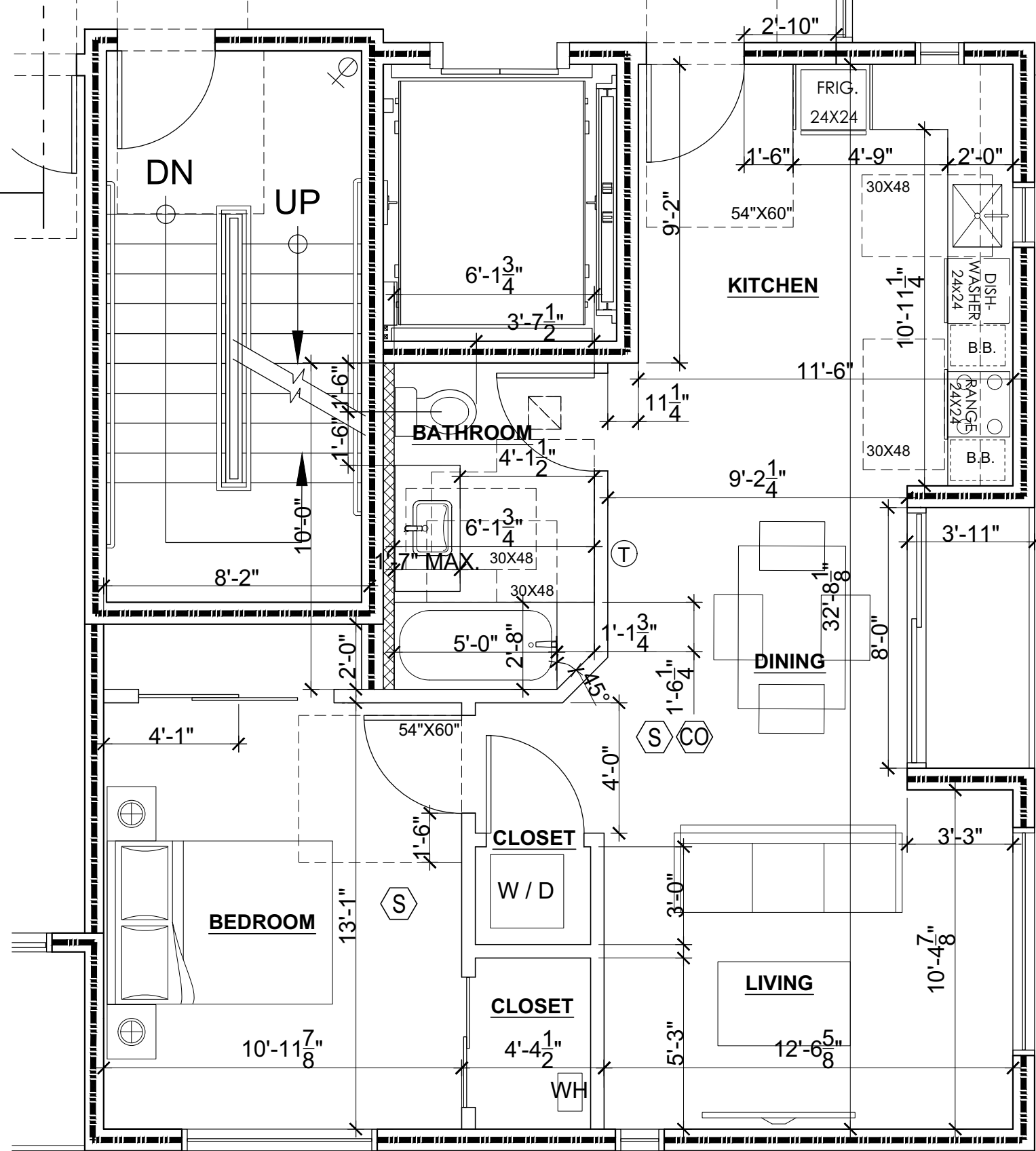
## A6.0

FILE:





KEY PLAN



### 3 UNIT 201, 301, 401, 501, 601

SCALE: 1/4"=1'-0"

#### LEGEND:

- HARD-WIRED & INTERCONNECTED SMOKE DETECTOR WITH BATTERY BACK UP. DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS
- HARD-WIRED & INTERCONNECTED CARBON MONOXIDE DETECTOR
- ENERGY STAR EXHAUST FAN FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL

ACCESSIBILITY FLOOR CLEARANCE

THERMOSTAT PER DETAIL 2/A0.17

#### CEILING NOTES:

- THE PURPOSE OF CEILING NOTES ARE FOR THE G.C. TO PROVIDE CEILING SOFFIT/ DROP CEILINGS WITHIN CONSTRUCTION COST, AND SHOULD BE FIELD COORDINATED WITH OWNER AND ARCHITECT.
- GENERAL CONTRACTOR TO FIELD COORDINATE THE CONSTRUCTION OF REQUIRED SOFFITS FOR MECHANICAL DUCTS AND PLUMBING PIPES BELOW THE FLOOR FRAMING.
- PROVIDE A MINIMUM 7'-6" CEILING HEIGHT AT RESTROOMS, FIELD COORDINATE REQUIRED CEILING ACCESS PANEL
- PROVIDE A MINIMUM 8'-0" CEILING HEIGHT AT BEDROOMS, LIVING ROOM, AND DINING AREAS. FIELD COORDINATE LOCATION OF MECHANICAL DUCTS AND PLUMBING PIPES
- PROVIDE A MINIMUM 7'-6" CEILING HEIGHT AT KITCHEN AREAS, HALLWAYS, AND CLOSETS (PROVIDE HIGHER CEILINGS WHERE REQUIRED DUE TO INSTALLED EQUIPMENT AND REQUIRED CLEARANCES)

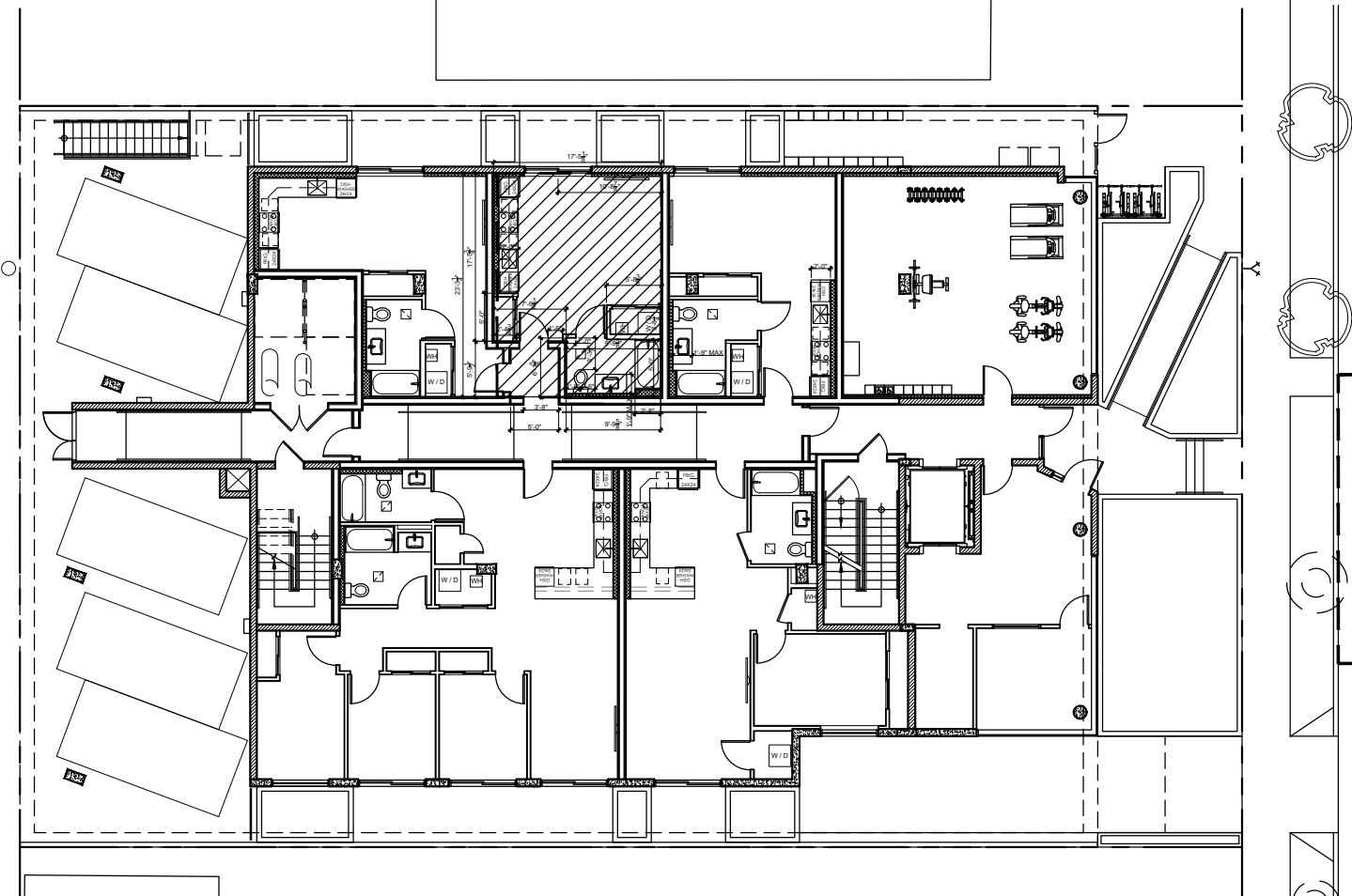
#### ACCESSIBILITY NOTES:

- PROVIDE WALL MOUNTED LAVATORY OR A COUNTER MOUNTED VANITY COMPLYING WITH REQUIRED CLEARANCES PER DETAIL 13/A-8.0. NO CABINET CAN BE INSTALLED ENCRDACHING INTO THE REQUIRED CLEAR FLOOR SPACE
- REFERENCE DETAIL 1/A8.0 FOR LOCATION OF REQUIRED BACKING AT TUB ENCLOSURE WALLS USED FOR GRAB BARS
- REFERENCE DETAIL 8/A8.0 FOR LOCATION OF REQUIRED BACKING AT TOILET WALLS USED FOR GRAB BARS
- REFERENCE TYPICAL ACCESSIBLE DETAILS ON SHEET A8.0 FOR KITCHENS AND BATHROOMS
- REFERENCE DETAILS 2, 7, 11, AND 15 FOR TYPICAL DOOR ACCESSIBILITY NOTES.
- KITCHEN COUNTERS 36" MAX. HEIGHT AND 34" MAX. HEIGHT FOR EATING SURFACES.
- WASHER/DRYER SHOULD BE FRONT LOADING. MANAGEMENT WILL PROVIDE AND ACCESSIBLE WASHER OR DRYER, OR ASSISTIVE DEVICE UPON REQUEST.

**EXHIBIT "A"**

Page No. 28 of 32

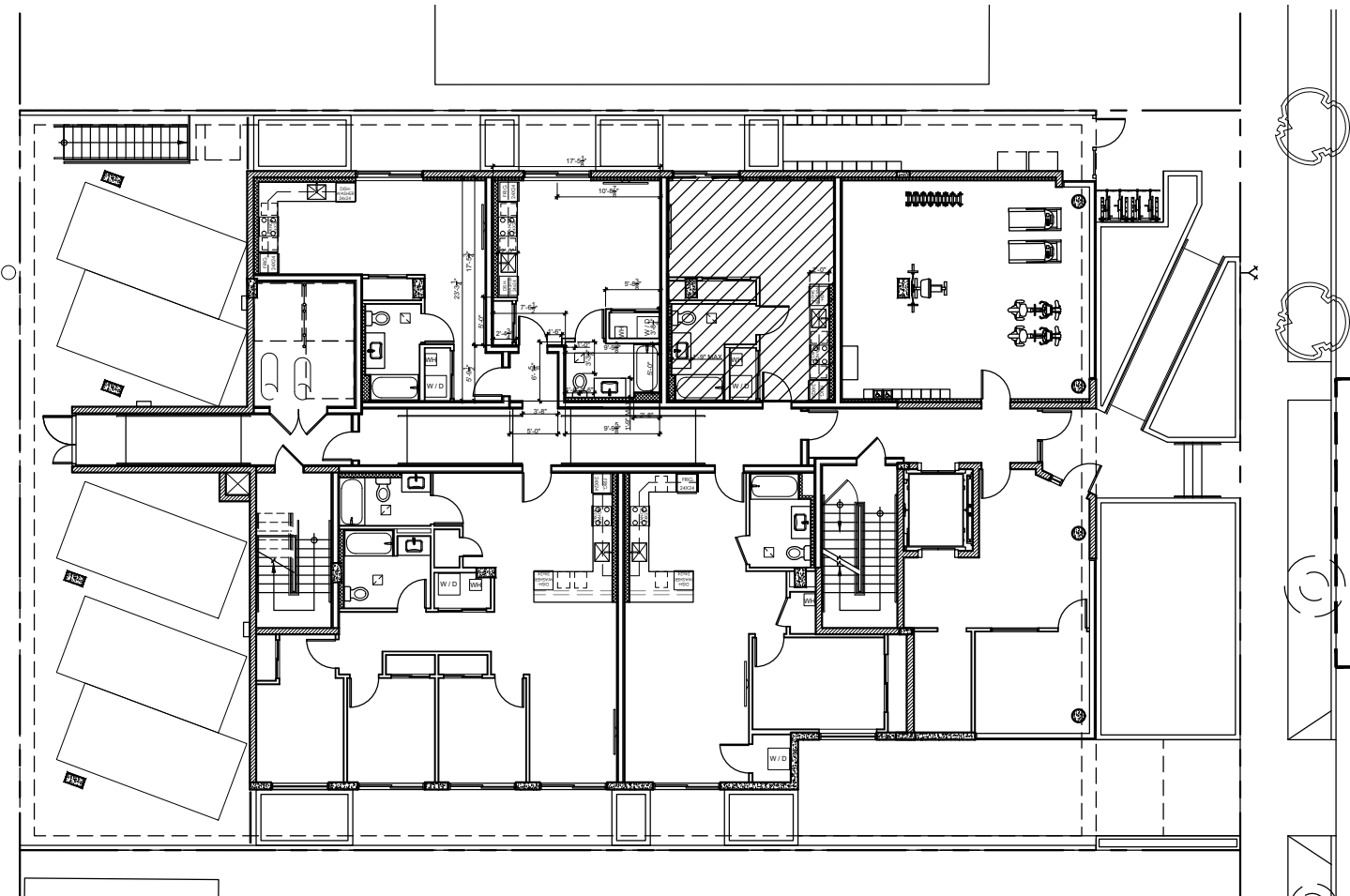
Case No. DIR-2021-643-TOC-HCA



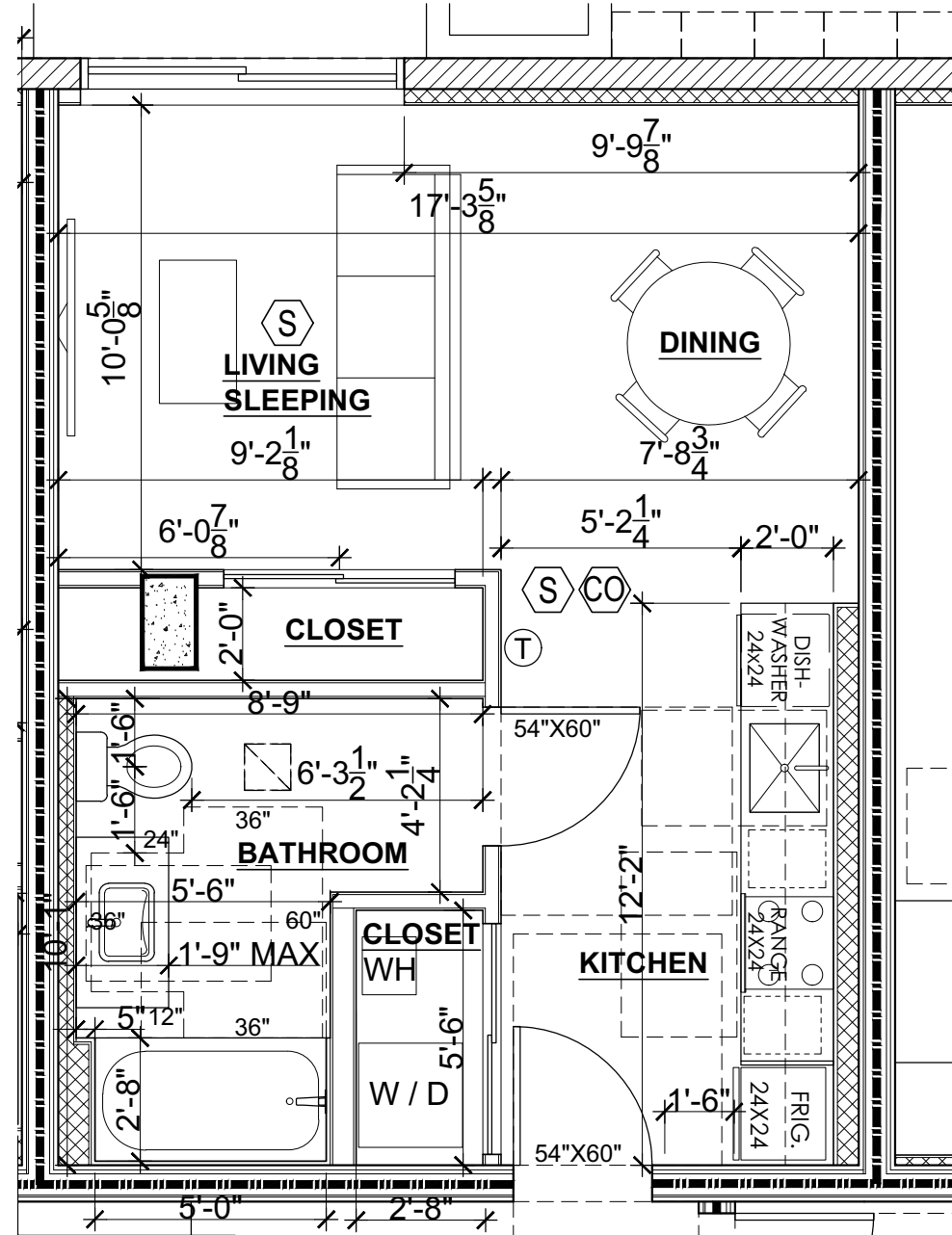
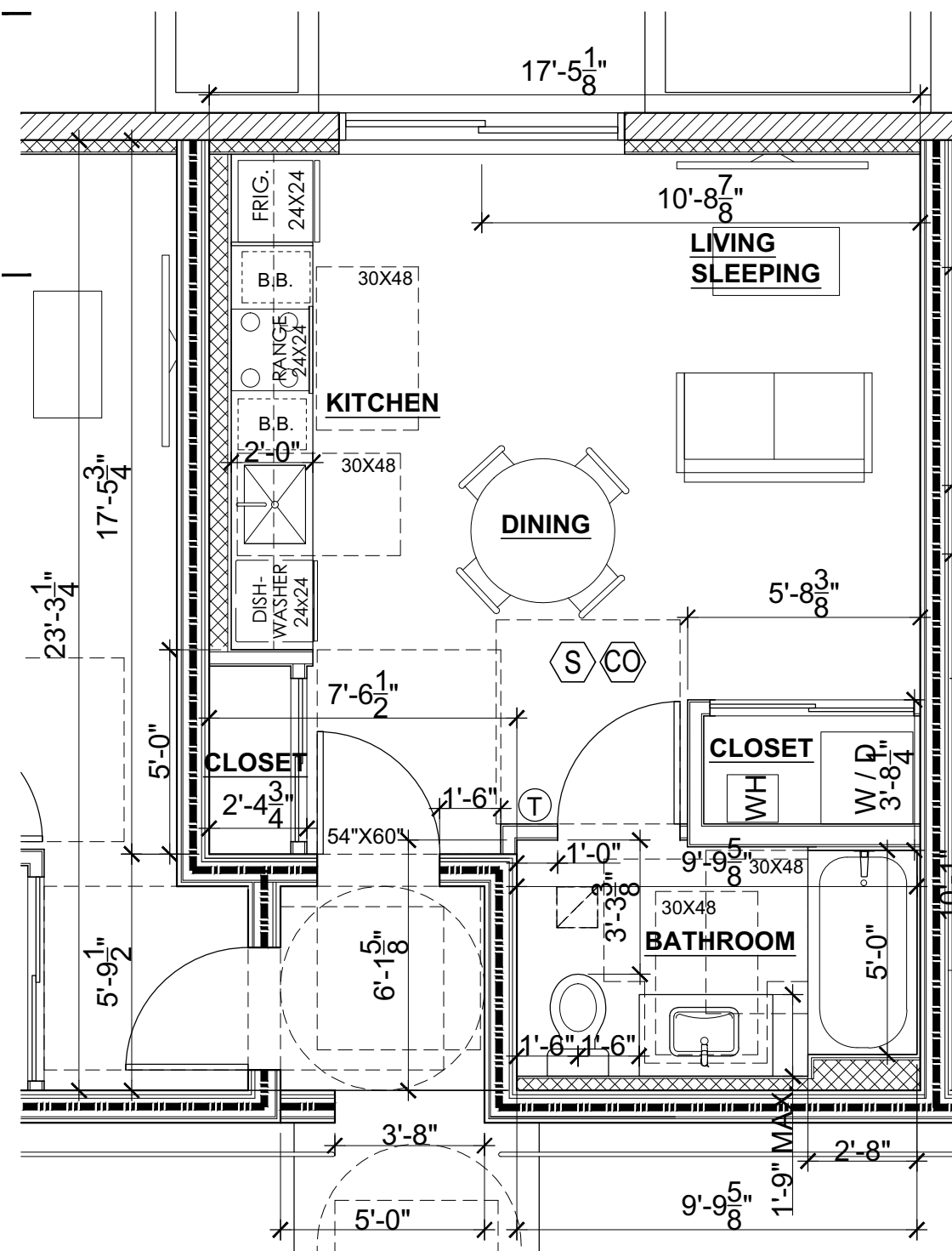
KEY PLAN

### 2 UNIT 104

SCALE: 1/4"=1'-0"

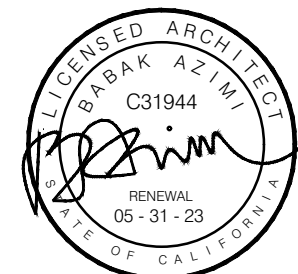


KEY PLAN



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www.arcaforma.com



NO.	REVISIONS	DATE
	HSAP RESUBMITTAL	8.26.21
	PLANNING RESUBMITTAL	9.02.21
	GREEN, ACCESS, AND FIRE	9.24.21
	PLANNING RESUBMITTAL	12.20.21
	GREEN ACCESS, AND FIRE RESUBMITTAL	6.24.22
	GREEN, ACCESS, FIRE AND PLANNING	8.19.22

PROJECT:  
**CAMBRIA TERRACE**  
1537 CAMBRIA AVE.  
LOS ANGELES, CA.

TITLE:  
**ENLARGED UNITS PLANS**

DATE: 09/01/2021

SCALE: AS SHOWN

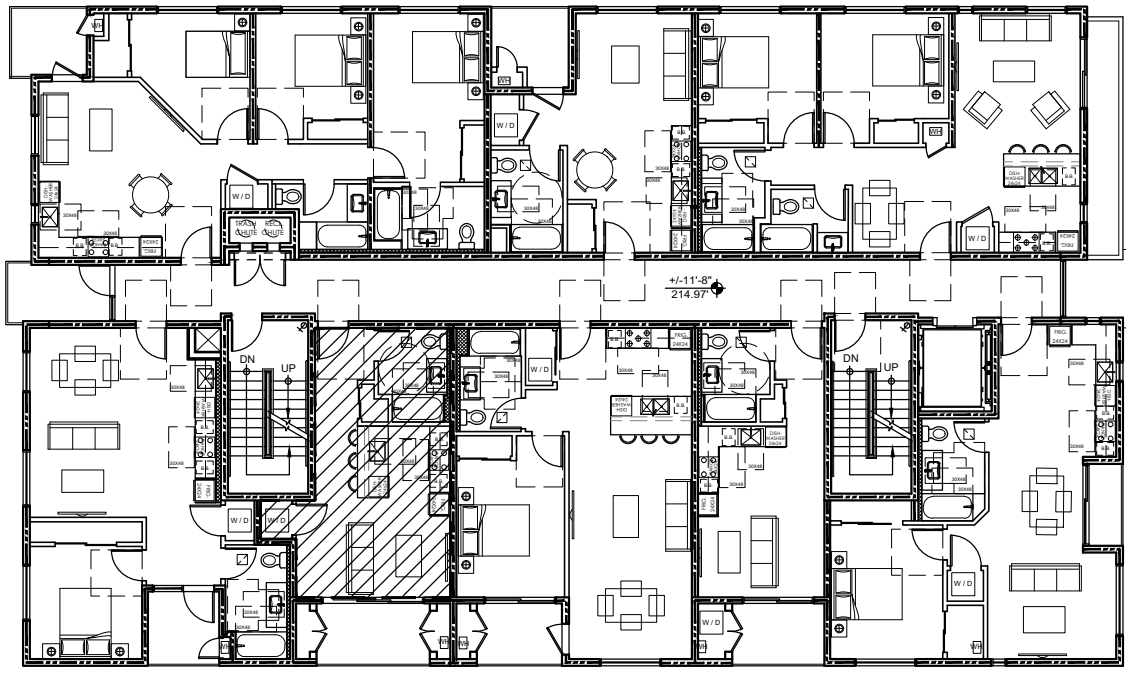
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SHEET:

**A6.1**

FILE:





KEY PLAN

NOTE:  
PROVIDE WALL MOUNTED LAVATORY OR A COUNTER  
MOUNTED VANITY COMPLYING WITH REQUIRED  
CLEARANCES PER DETAIL 13/A-8.0. NO  
CABINET CAN BE INSTALLED ENCROACHING INTO THE  
REQUIRED CLEAR FLOOR SPACE

### 3 UNIT 204, 304, 404, 504, 604

SCALE: 1/4"=1'-0"

#### LEGEND:

- HARD-WIRED & INTERCONNECTED SMOKE DETECTOR WITH BATTERY BACK UP. DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS
- HARD-WIRED & INTERCONNECTED CARBON MONOXIDE DETECTOR
- ENERGY STAR EXHAUST FAN FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL

ACCESSIBILITY FLOOR CLEARANCE

THERMOSTAT PER DETAIL 2/A0.17

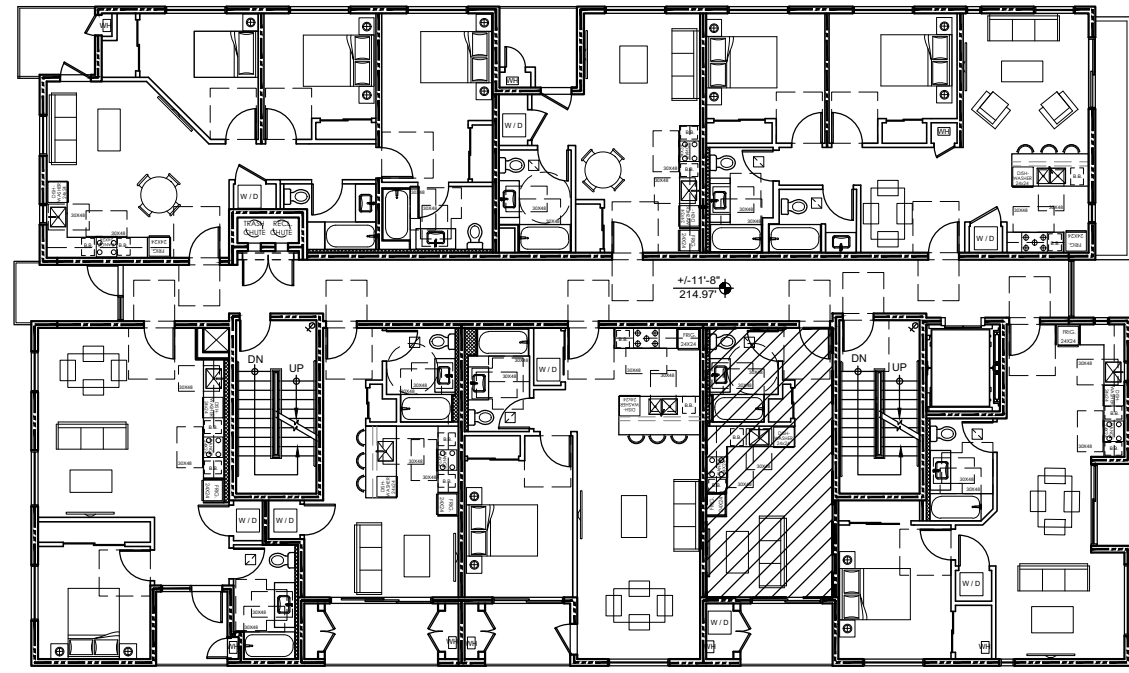
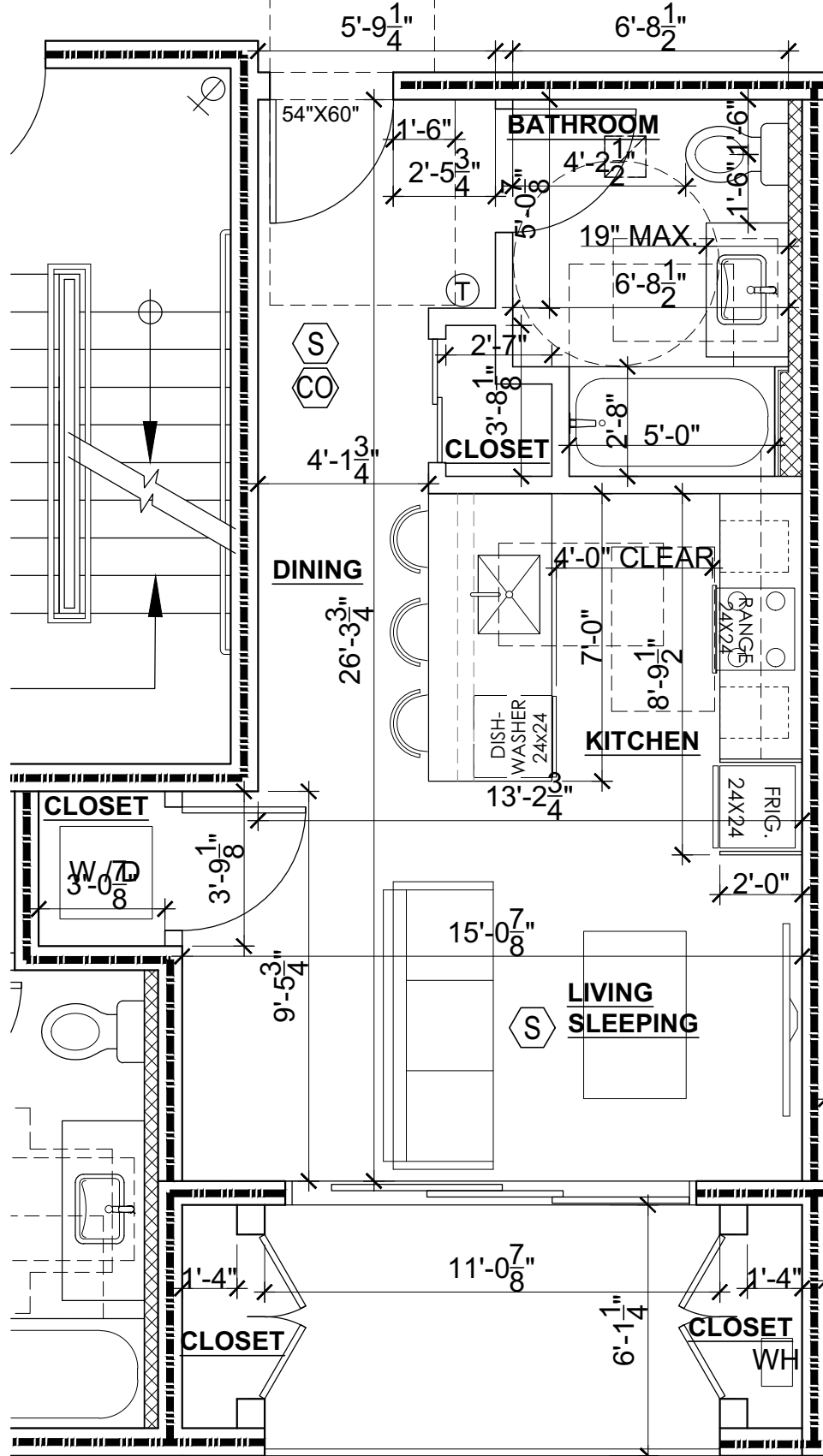
#### CEILING NOTES:

- THE PURPOSE OF CEILING NOTES ARE FOR THE G.C. TO PROVIDE CEILING SOFFIT/ DROP CEILINGS WITHIN CONSTRUCTION COST, AND SHOULD BE FIELD COORDINATED WITH OWNER AND ARCHITECT.
- GENERAL CONTRACTOR TO FIELD COORDINATE THE CONSTRUCTION OF REQUIRED SOFFITS FOR MECHANICAL DUCTS AND PLUMBING PIPES BELOW THE FLOOR FRAMING.
- PROVIDE A MINIMUM 7'-6" CEILING HEIGHT AT RESTROOMS, FIELD COORDINATE REQUIRED CEILING ACCESS PANEL
- PROVIDE A MINIMUM 8'-0" CEILING HEIGHT AT BEDROOMS, LIVING ROOM, AND DINING AREAS. FIELD COORDINATE LOCATION OF MECHANICAL DUCTS AND PLUMBING PIPES
- PROVIDE A MINIMUM 7'-6" CEILING HEIGHT AT KITCHEN AREAS, HALLWAYS, AND CLOSETS (PROVIDE HIGHER CEILINGS WHERE REQUIRED DUE TO INSTALLED EQUIPMENT AND REQUIRED CLEARANCES)

#### ACCESSIBILITY NOTES:

- PROVIDE WALL MOUNTED LAVATORY OR A COUNTER MOUNTED VANITY COMPLYING WITH REQUIRED CLEARANCES PER DETAIL 13/A-8.0. NO CABINET CAN BE INSTALLED ENCROACHING INTO THE REQUIRED CLEAR FLOOR SPACE
- REFERENCE DETAIL 1/A8.0 FOR LOCATION OF REQUIRED BACKING AT TUB ENCLOSURE WALLS USED FOR GRAB BARS
- REFERENCE DETAIL 8/A8.0 FOR LOCATION OF REQUIRED BACKING AT TOILET WALLS USED FOR GRAB BARS
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- REFERENCE DETAILS 2, 7, 11, AND 15 FOR TYPICAL DOOR ACCESSIBILITY NOTES.
- KITCHEN COUNTERS 36" MAX. HEIGHT AND 34" MAX. HEIGHT FOR EATING SURFACES.
- WASHER/DRYER SHOULD BE FRONT LOADING. MANAGEMENT WILL PROVIDE AND ACCESSIBLE WASHER OR DRYER, OR ASSISTIVE DEVICE UPON REQUEST.

**EXHIBIT "A"**  
Page No. 29 of 32  
Case No. DIR-2021-643-TOC-HCA

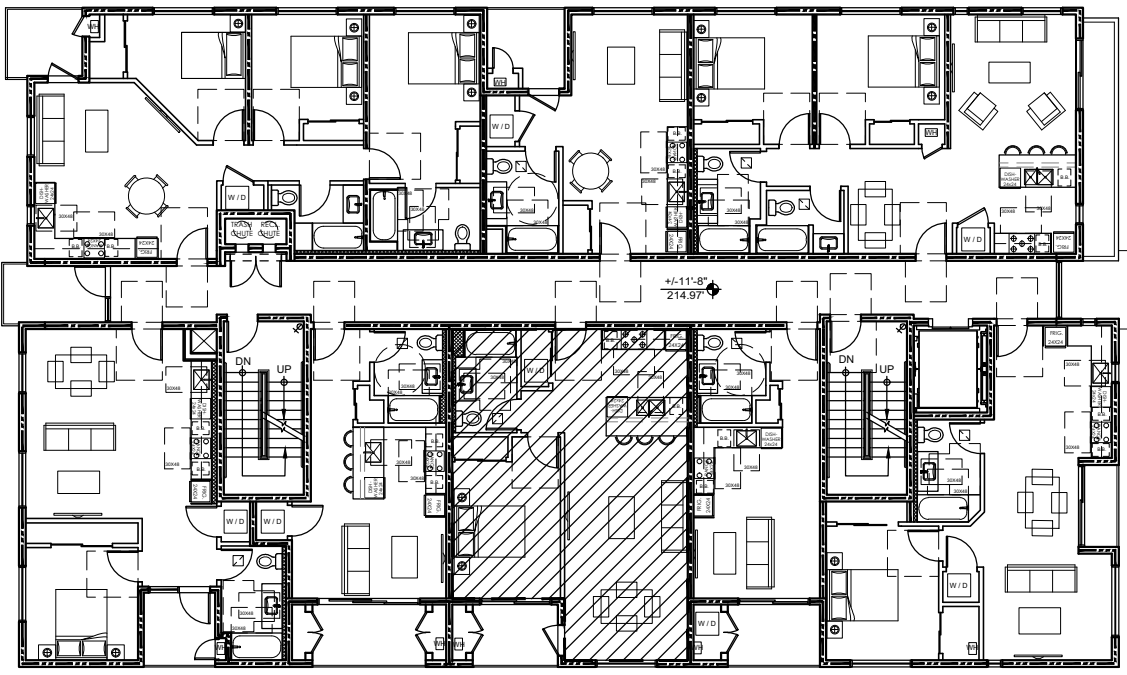
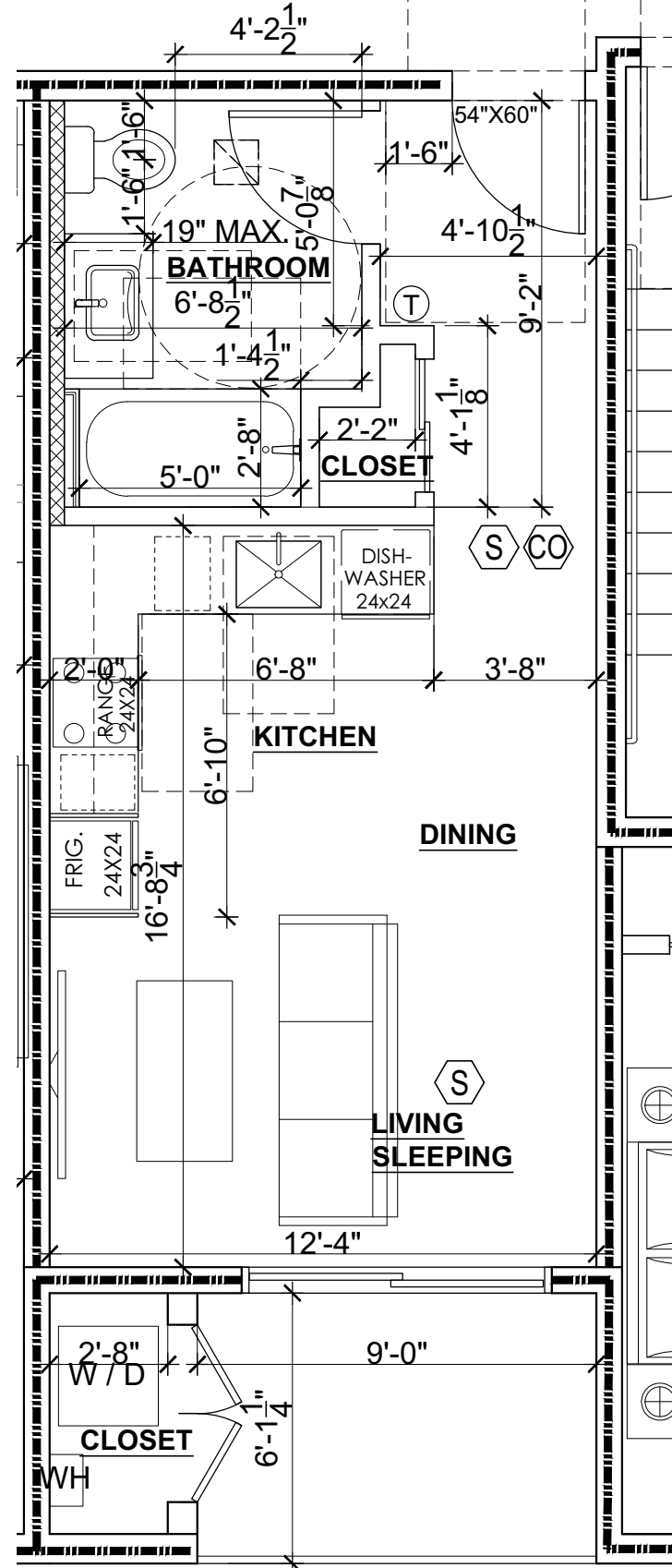


KEY PLAN

NOTE:  
PROVIDE WALL MOUNTED LAVATORY OR A COUNTER  
MOUNTED VANITY COMPLYING WITH REQUIRED  
CLEARANCES PER DETAIL 13/A-8.0. NO  
CABINET CAN BE INSTALLED ENCROACHING INTO THE  
REQUIRED CLEAR FLOOR SPACE

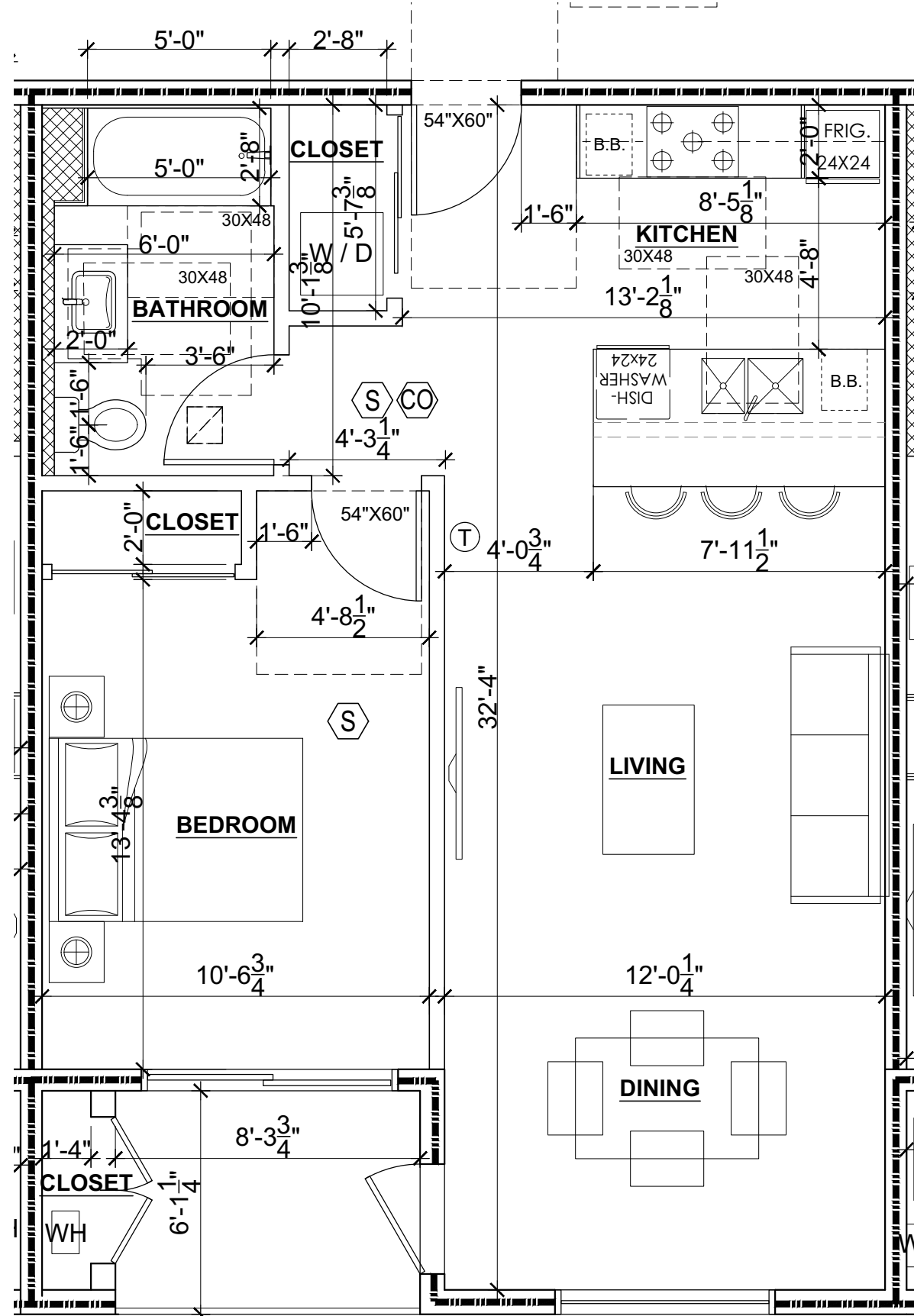
### 2 UNIT 202,302,402,502,602

SCALE: 1/4"=1'-0"



KEY PLAN

NOTE:  
PROVIDE WALL MOUNTED LAVATORY OR A COUNTER  
MOUNTED VANITY COMPLYING WITH REQUIRED  
CLEARANCES PER DETAIL 13/A-8.0. NO  
CABINET CAN BE INSTALLED ENCROACHING INTO THE  
REQUIRED CLEAR FLOOR SPACE



NO.	REVISIONS	DATE:
	HSAP RESUBMITTAL	8.28.21
	PLANNING RESUBMITTAL	9.02.21
	GREEN, ACCESS, AND FIRE	9.24.21
	PLANNING RESUBMITTAL	12.20.21
	GREEN ACCESS, AND FIRE RESUBMITTAL	6.24.22
	GREEN, ACCESS, FIRE AND PLANNING	8.19.22

PROJECT:  
**CAMBRIA TERRACE**  
1537 CAMBRIA AVE.  
LOS ANGELES, CA.

TITLE:  
**ENLARGED UNITS PLANS**

DATE: 09/01/2021

SCALE: AS SHOWN

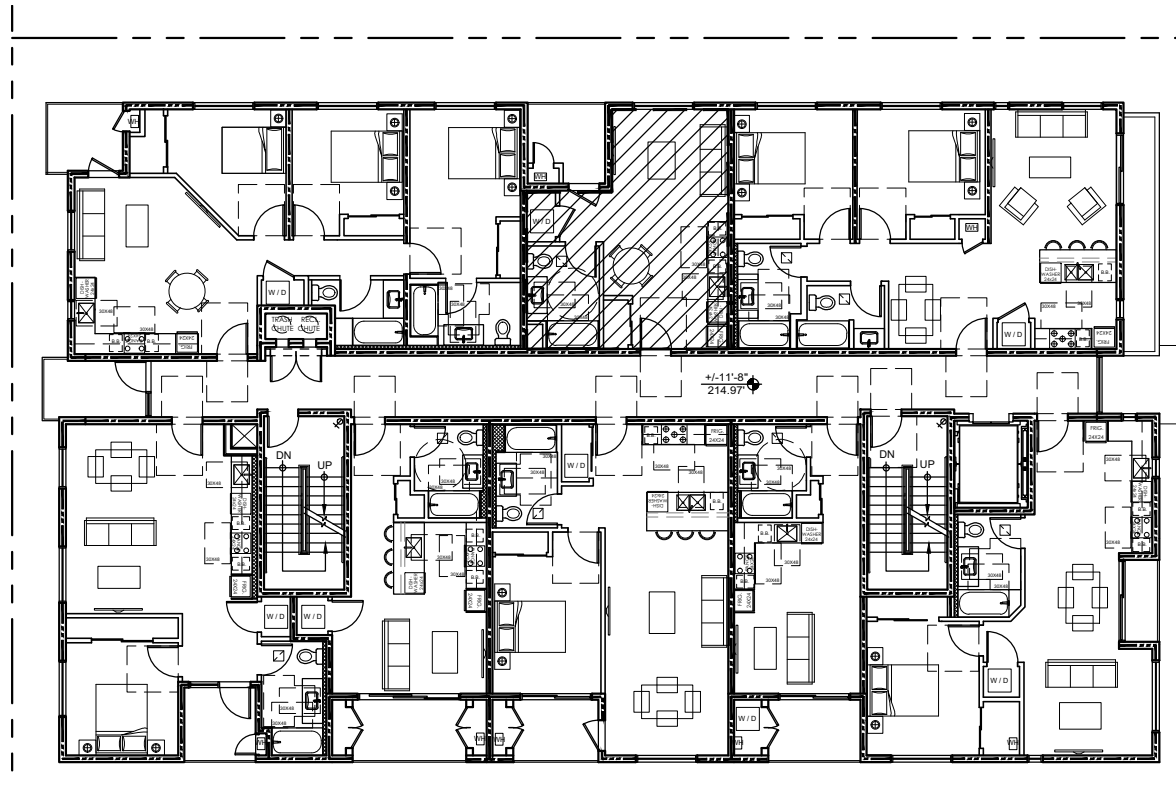
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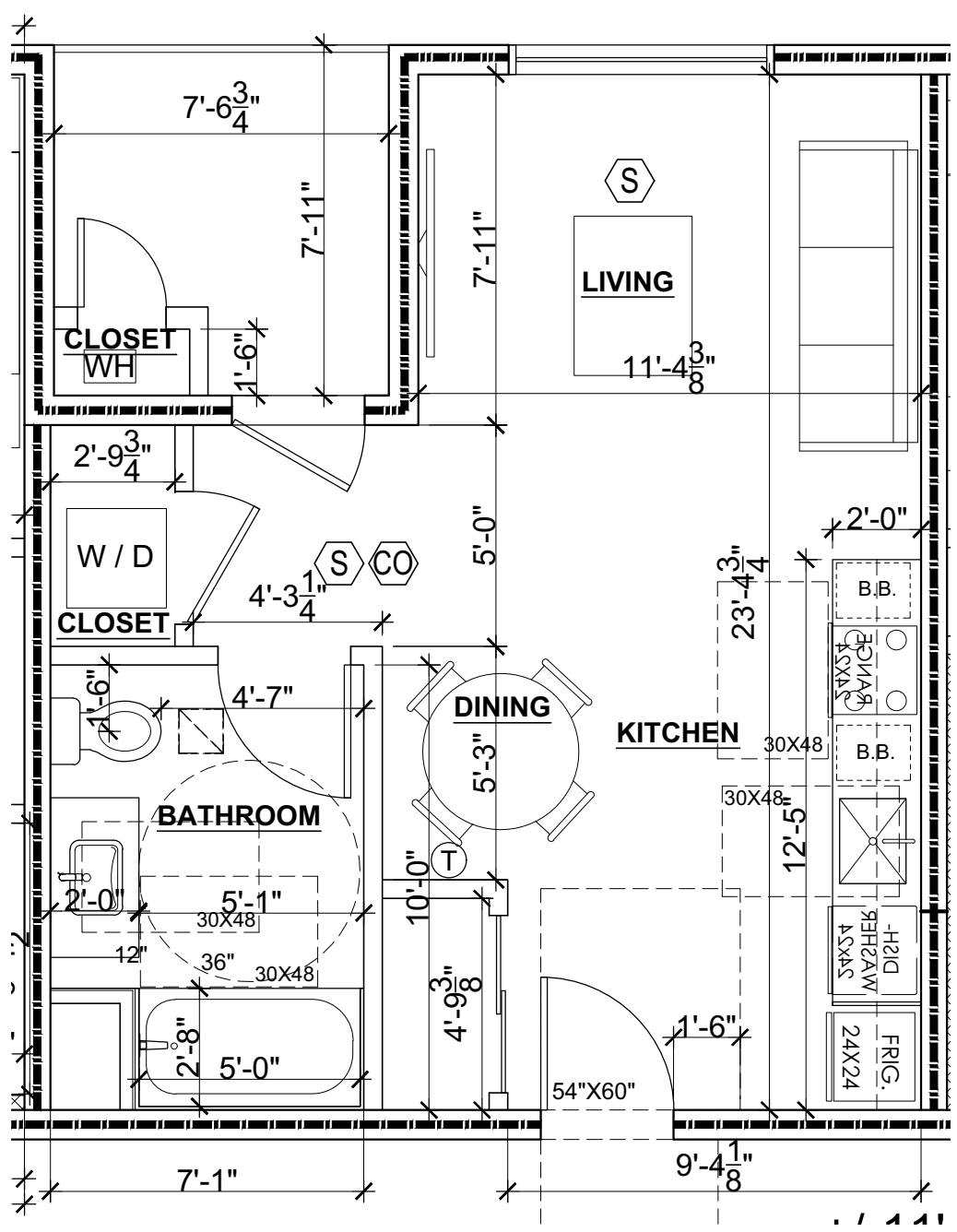
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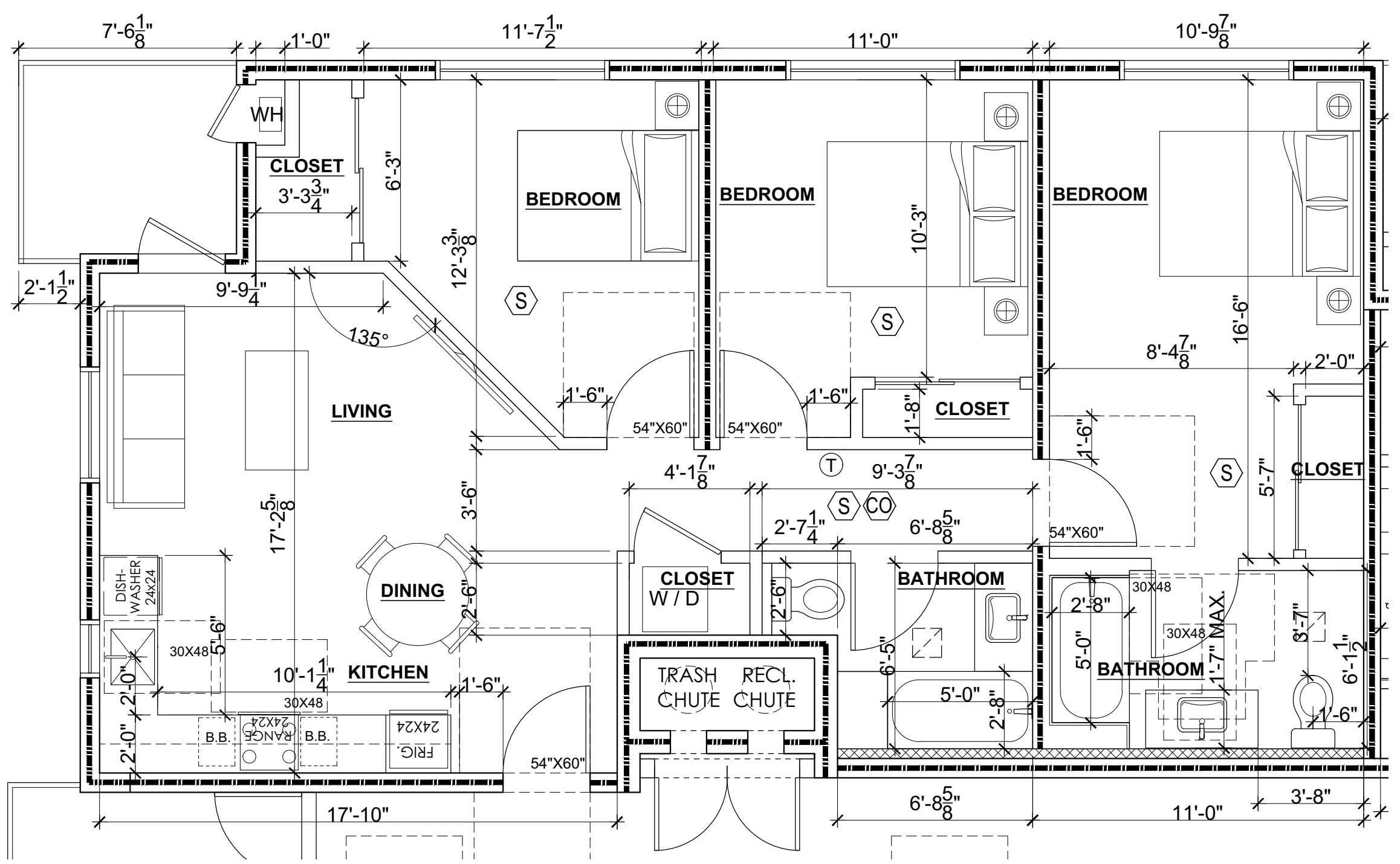


KEY PLAN

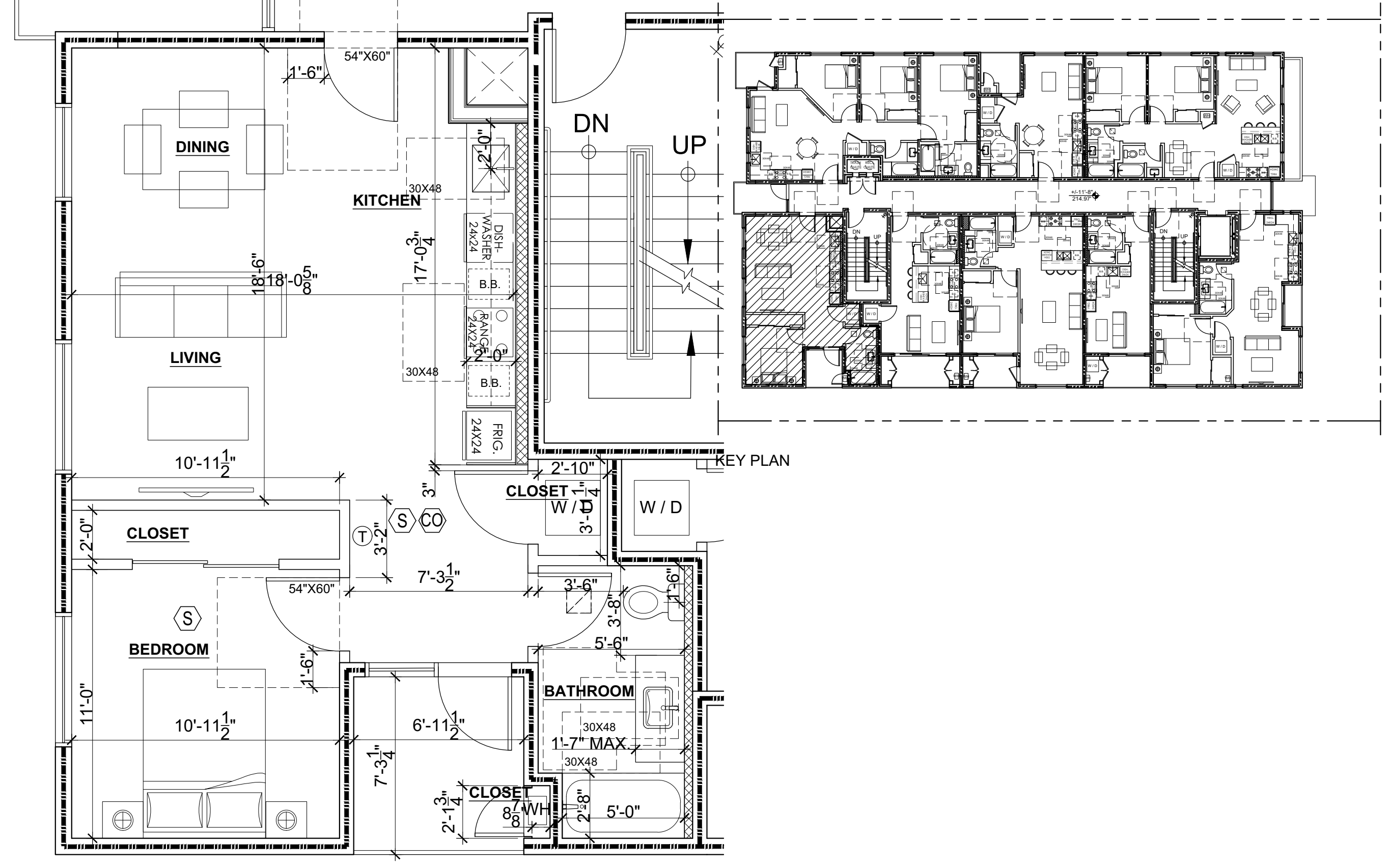


**3 UNIT 207, 507**  
SCALE: 1/4"=1'-0"

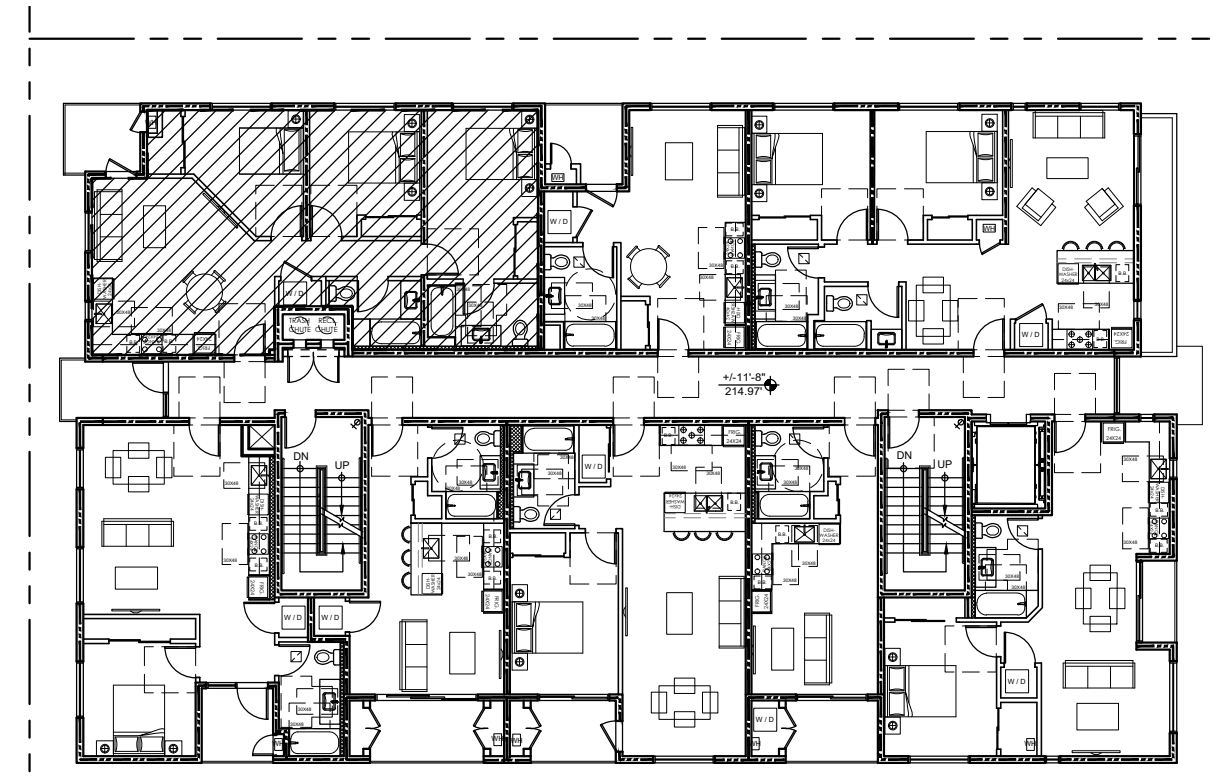
- LEGEND:**
- HARD-WIRED & INTERCONNECTED SMOKE DETECTOR WITH BATTERY BACK UP. DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS
  - HARD-WIRED & INTERCONNECTED CARBON MONOXIDE DETECTOR
  - ENERGY STAR EXHAUST FAN FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL
  - ACCESSIBILITY FLOOR CLEARANCE
  - THERMOSTAT PER DETAIL 2/A0.17
- CEILING NOTES:**
- THE PURPOSE OF CEILING NOTES ARE FOR THE G.C. TO PROVIDE CEILING SOFFIT/ DROP CEILINGS WITHIN CONSTRUCTION COST, AND SHOULD BE FIELD COORDINATED WITH OWNER AND ARCHITECT.
  - GENERAL CONTRACTOR TO FIELD COORDINATE THE CONSTRUCTION OF REQUIRED SOFFITS FOR MECHANICAL DUCTS AND PLUMBING PIPES BELOW THE FLOOR FRAMING.
  - PROVIDE A MINIMUM 7'-6" CEILING HEIGHT AT RESTROOMS, FIELD COORDINATE REQUIRED CEILING ACCESS PANEL
  - PROVIDE A MINIMUM 8'-0" CEILING HEIGHT AT BEDROOMS, LIVING ROOM, AND DINING AREAS. FIELD COORDINATE LOCATION OF MECHANICAL DUCTS AND PLUMBING PIPES
  - PROVIDE A MINIMUM 7'-6" CEILING HEIGHT AT KITCHEN AREAS, HALLWAYS, AND CLOSETS (PROVIDE HIGHER CEILINGS WHERE REQUIRED DUE TO INSTALLED EQUIPMENT AND REQUIRED CLEARANCES)
- ACCESSIBILITY NOTES:**
- PROVIDE WALL MOUNTED LAVATORY OR A COUNTER MOUNTED VANITY COMPLYING WITH REQUIRED CLEARANCES PER DETAIL 13/A-8.0. NO CABINET CAN BE INSTALLED ENCRDACHING INTO THE REQUIRED CLEAR FLOOR SPACE
  - REFERENCE DETAIL 1/A8.0 FOR LOCATION OF REQUIRED BACKING AT TUB ENCLOSURE WALLS USED FOR GRAB BARS
  - REFERENCE DETAIL 8/A8.0 FOR LOCATION OF REQUIRED BACKING AT TOILET WALLS USED FOR GRAB BARS
  - REFERENCE TYPICAL ACCESSIBLE DETAILS ON SHEET A8.0 FOR KITCHENS AND BATHROOMS
  - REFERENCE DETAILS 2, 7, 11, AND 15 FOR TYPICAL DOOR ACCESSIBILITY NOTES.
  - KITCHEN COUNTERS 36" MAX. HEIGHT AND 34" MAX. HEIGHT FOR EATING SURFACES.
  - WASHER/DRYER SHOULD BE FRONT LOADING. MANAGEMENT WILL PROVIDE AND ACCESSIBLE WASHER OR DRYER, OR ASSISTIVE DEVICE UPON REQUEST.



**1 UNIT 206, 506**  
SCALE: 1/4"=1'-0"



**2 UNIT 205,305,405,505,605**  
SCALE: 1/4"=1'-0"



KEY PLAN

**EXHIBIT "A"**  
Page No. 30 of 32  
Case No. DIR-2021-643-TOC-HCA

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www.arcaforma.com

NO.	REVISIONS	DATE
1	HSAP RESUBMITTAL	8.26.21
2	PLANNING RESUBMITTAL	9.02.21
3	GREEN, ACCESS, AND FIRE	9.24.21
4	PLANNING RESUBMITTAL	12.20.21
5	GREEN ACCESS, AND FIRE RESUBMITTAL	6.24.22
6	GREEN, ACCESS, FIRE AND PLANNING	8.19.22

PROJECT:

**CAMBRIA TERRACE**

1537 CAMBRIA AVE.  
LOS ANGELES, CA.

TITLE:

**ENLARGED UNITS PLANS**

DATE:

09/01/2021

SCALE:

AS SHOWN

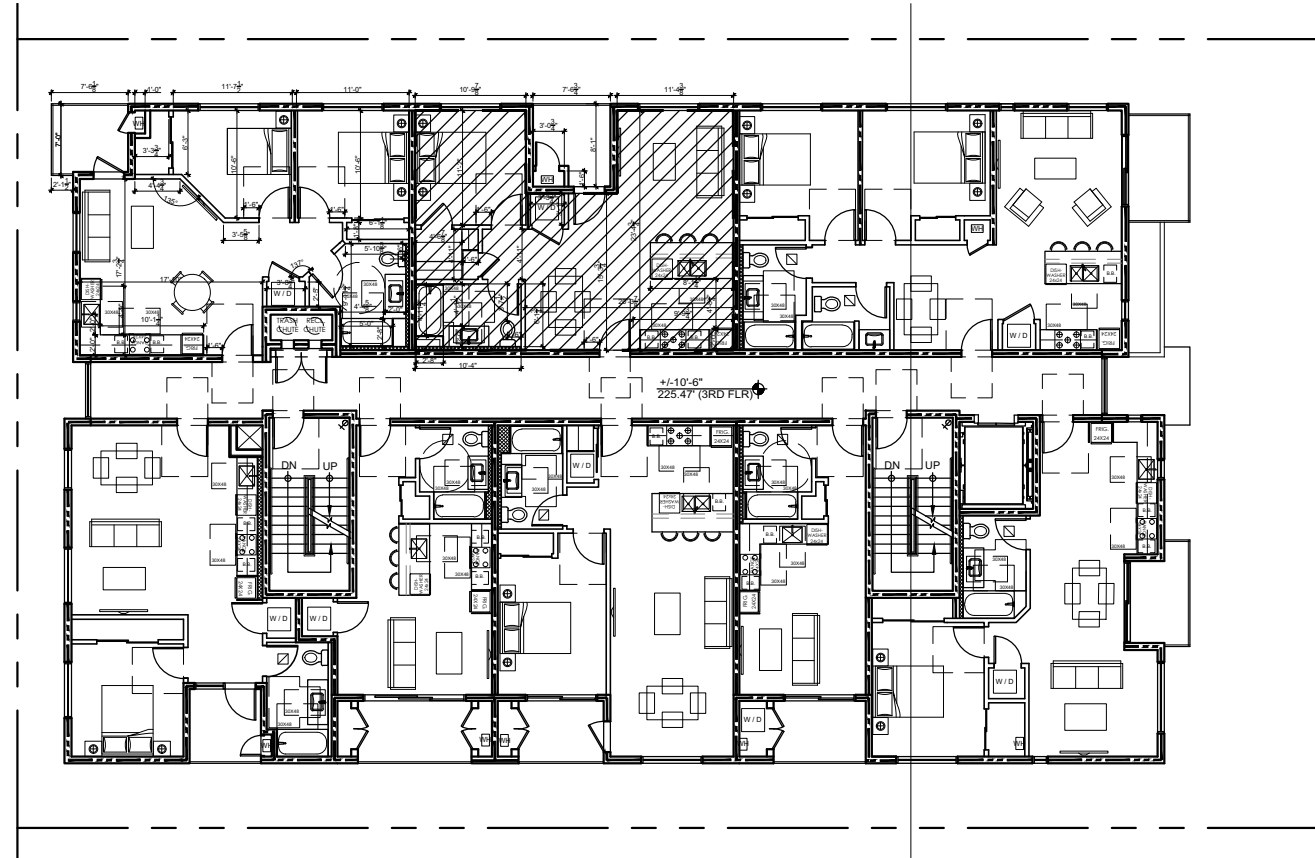
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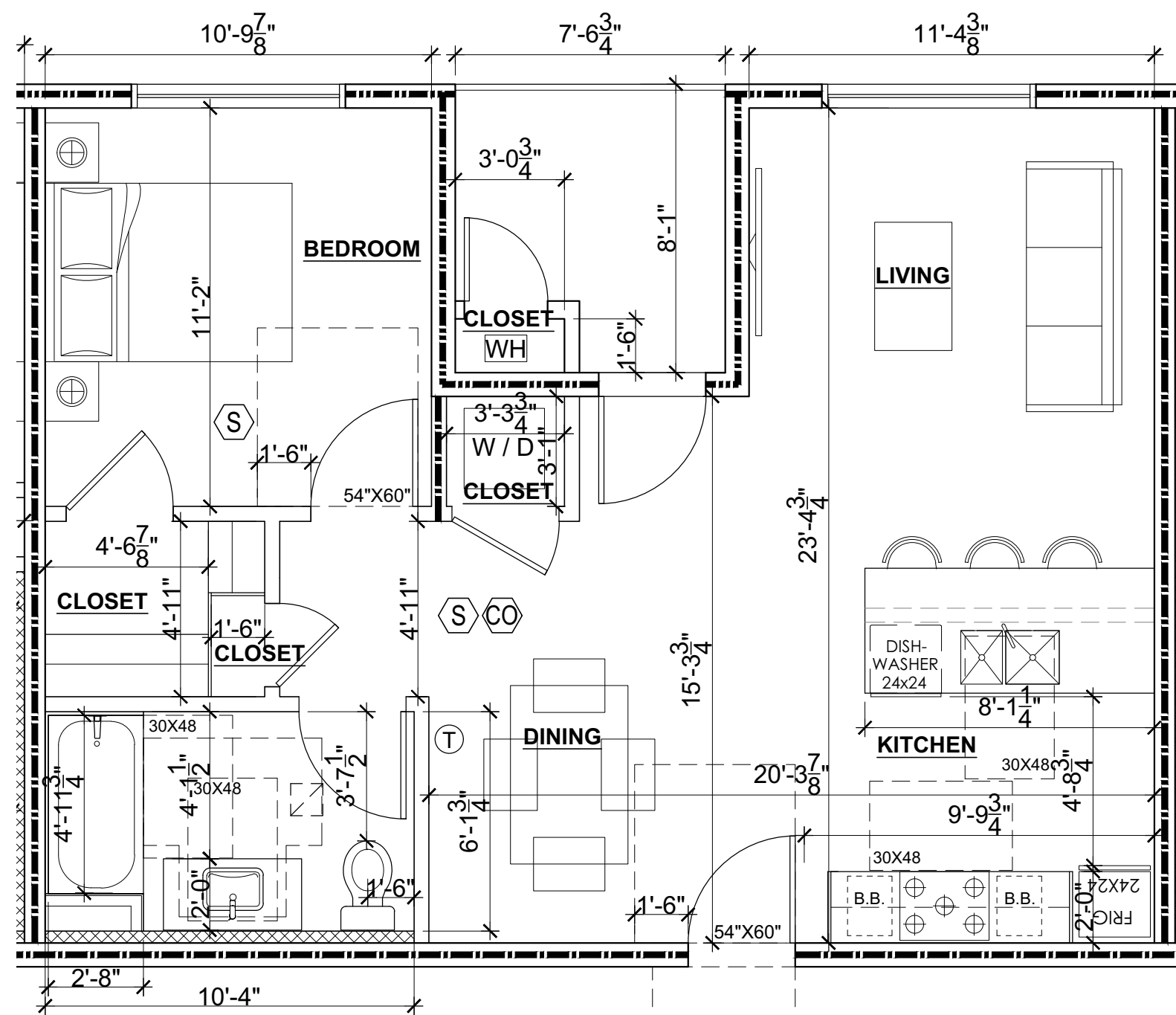
**A6.3**

FILE:





KEY PLAN



### 3 UNIT 307, 407

SCALE: 1/4"=1'-0"

#### LEGEND:

- HARD-WIRED & INTERCONNECTED SMOKE DETECTOR WITH BATTERY BACK UP. DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS
- HARD-WIRED & INTERCONNECTED CARBON MONOXIDE DETECTOR
- ENERGY STAR EXHAUST FAN FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL
- ACCESSIBILITY FLOOR CLEARANCE

① THERMOSTAT PER DETAIL 2/A0.17

#### CEILING NOTES:

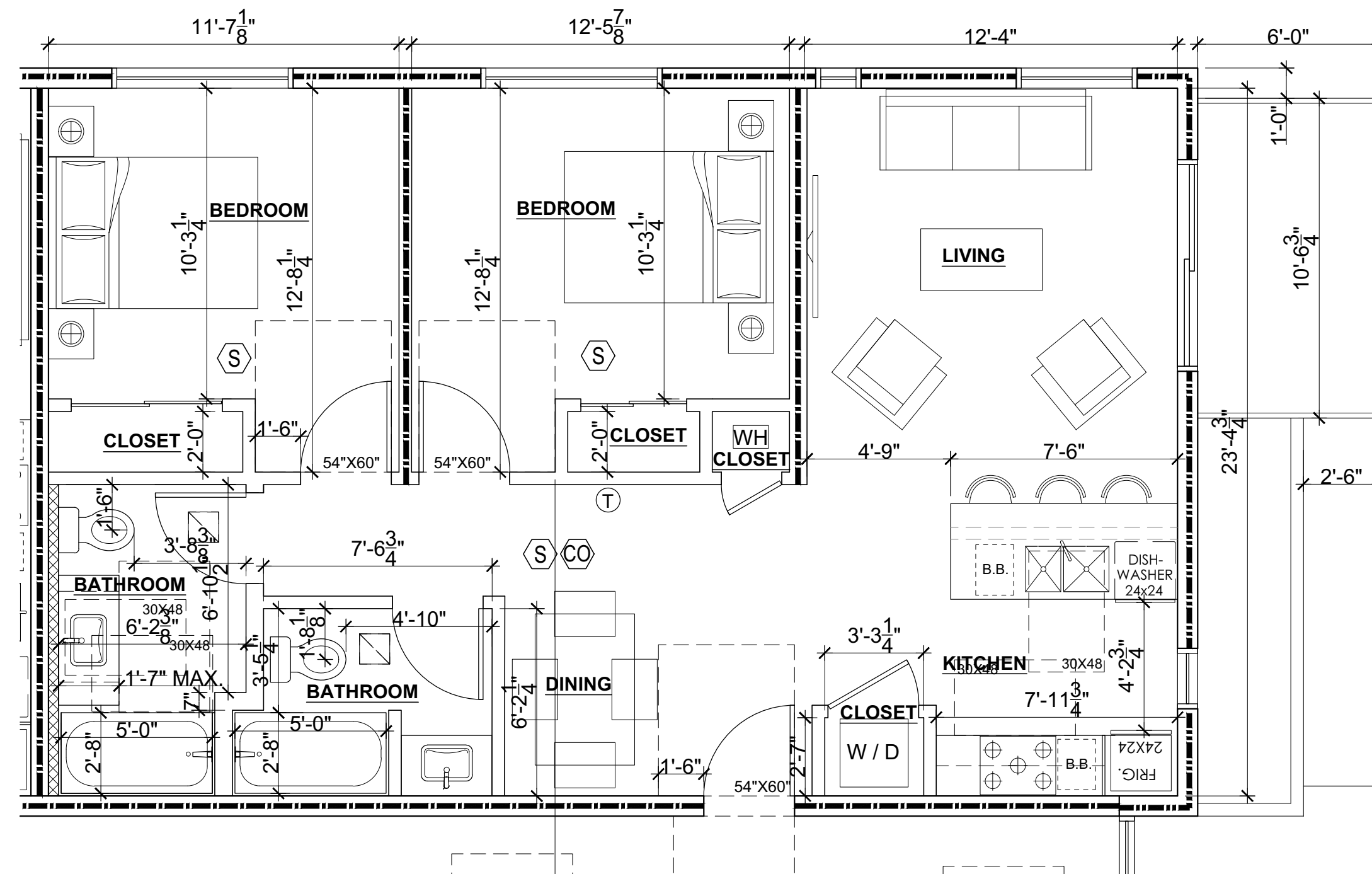
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- PROVIDE A MINIMUM 7'-6" CEILING HEIGHT AT RESTROOMS, FIELD COORDINATE REQUIRED CEILING ACCESS PANEL
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#### ACCESSIBILITY NOTES:

- PROVIDE WALL MOUNTED LAVATORY OR A COUNTER MOUNTED VANITY COMPLYING WITH REQUIRED CLEARANCES PER DETAIL 13/A-8.0. NO CABINET CAN BE INSTALLED ENCRORCHING INTO THE REQUIRED CLEAR FLOOR SPACE
- REFERENCE DETAIL 1/A8.0 FOR LOCATION OF REQUIRED BACKING AT TUB ENCLOSURE WALLS USED FOR GRAB BARS
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- REFERENCE DETAILS 2, 7, 11, AND 15 FOR TYPICAL DOOR ACCESSIBILITY NOTES.
- KITCHEN COUNTERS 36" MAX. HEIGHT AND 34" MAX. HEIGHT FOR EATING SURFACES.
- WASHER/DRYER SHOULD BE FRONT LOADING. MANAGEMENT WILL PROVIDE AND ACCESSIBLE WASHER OR DRYER, OR ASSISTIVE DEVICE UPON REQUEST.

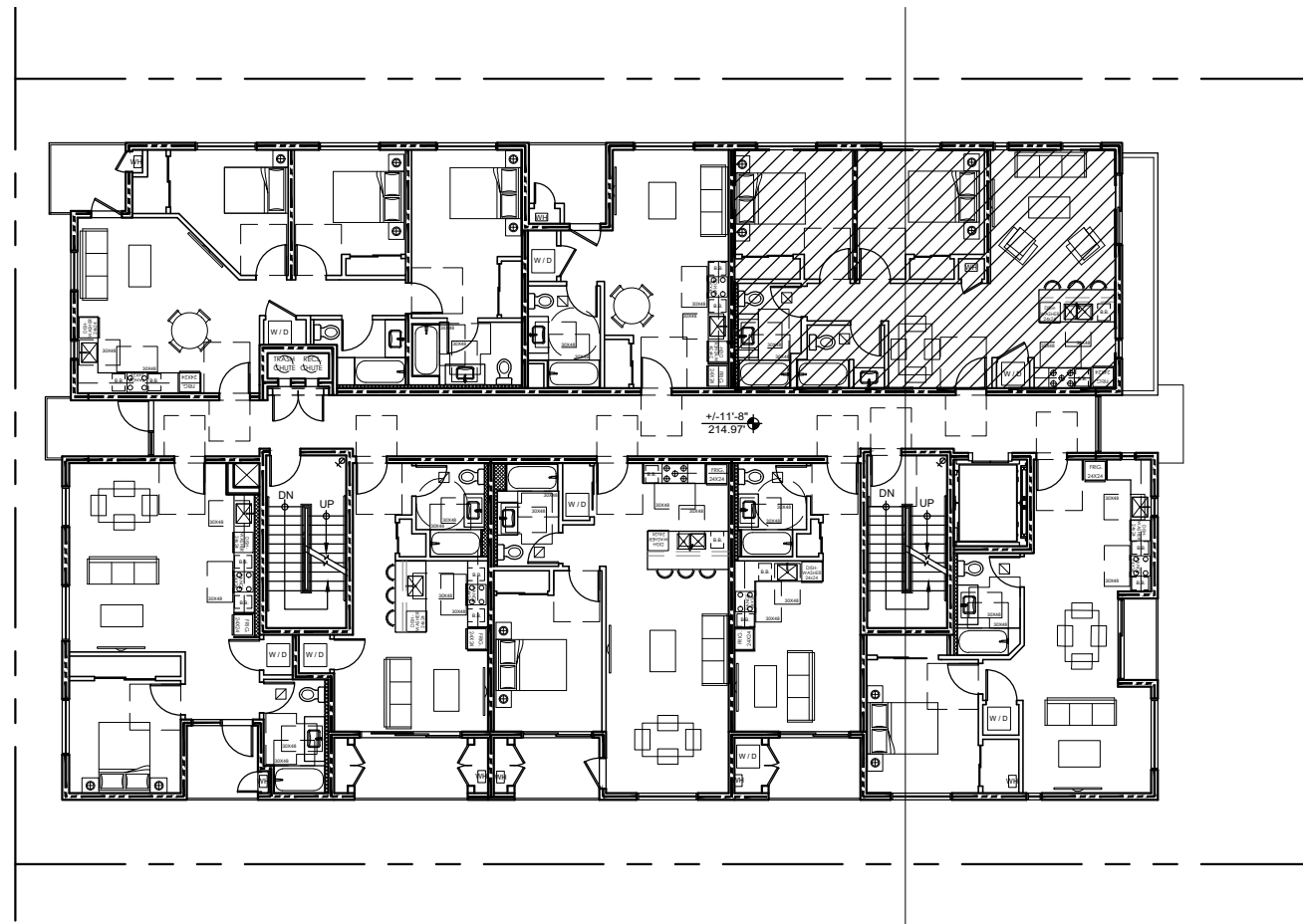
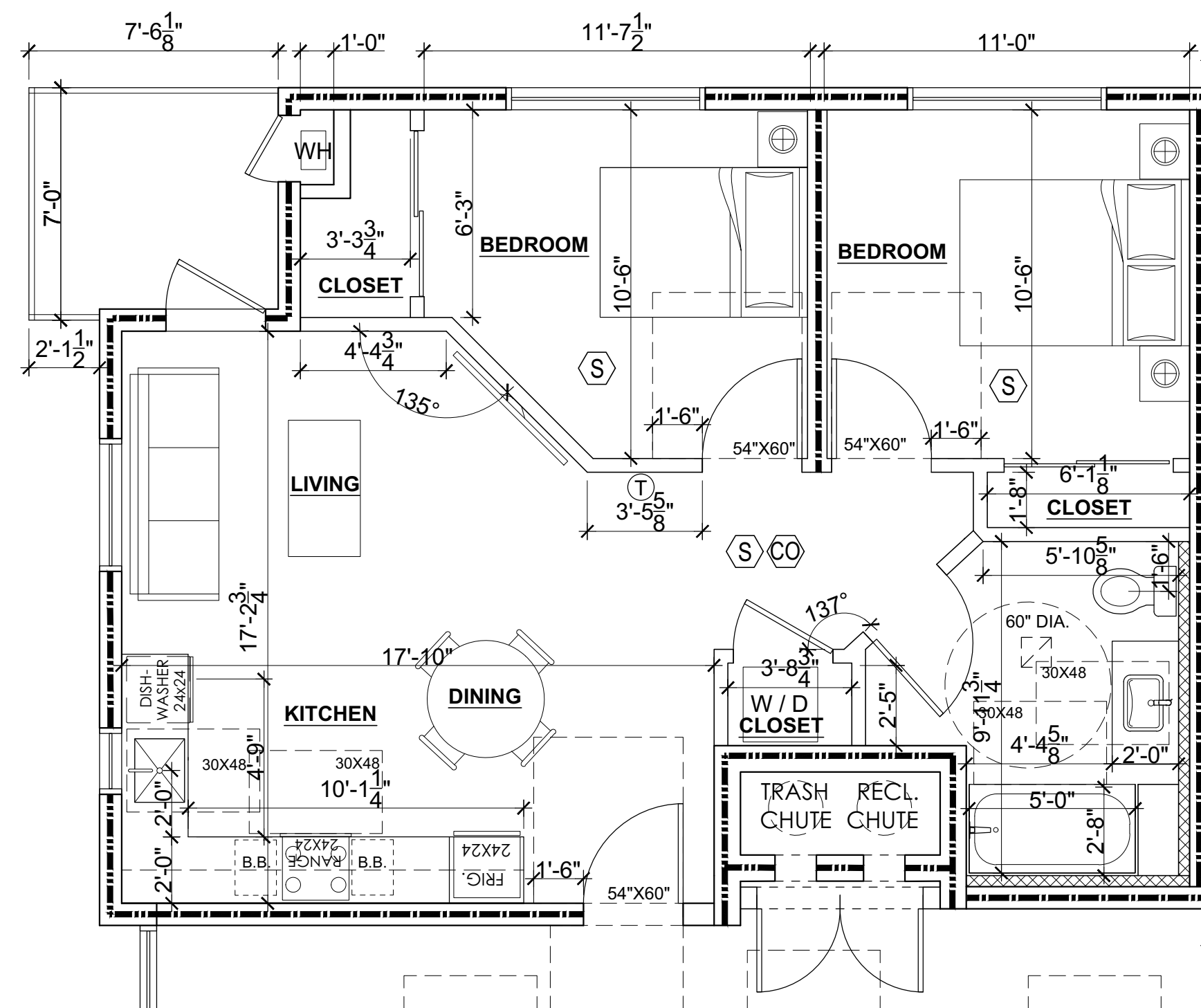
### 1 UNIT 306, 406

SCALE: 1/4"=1'-0"

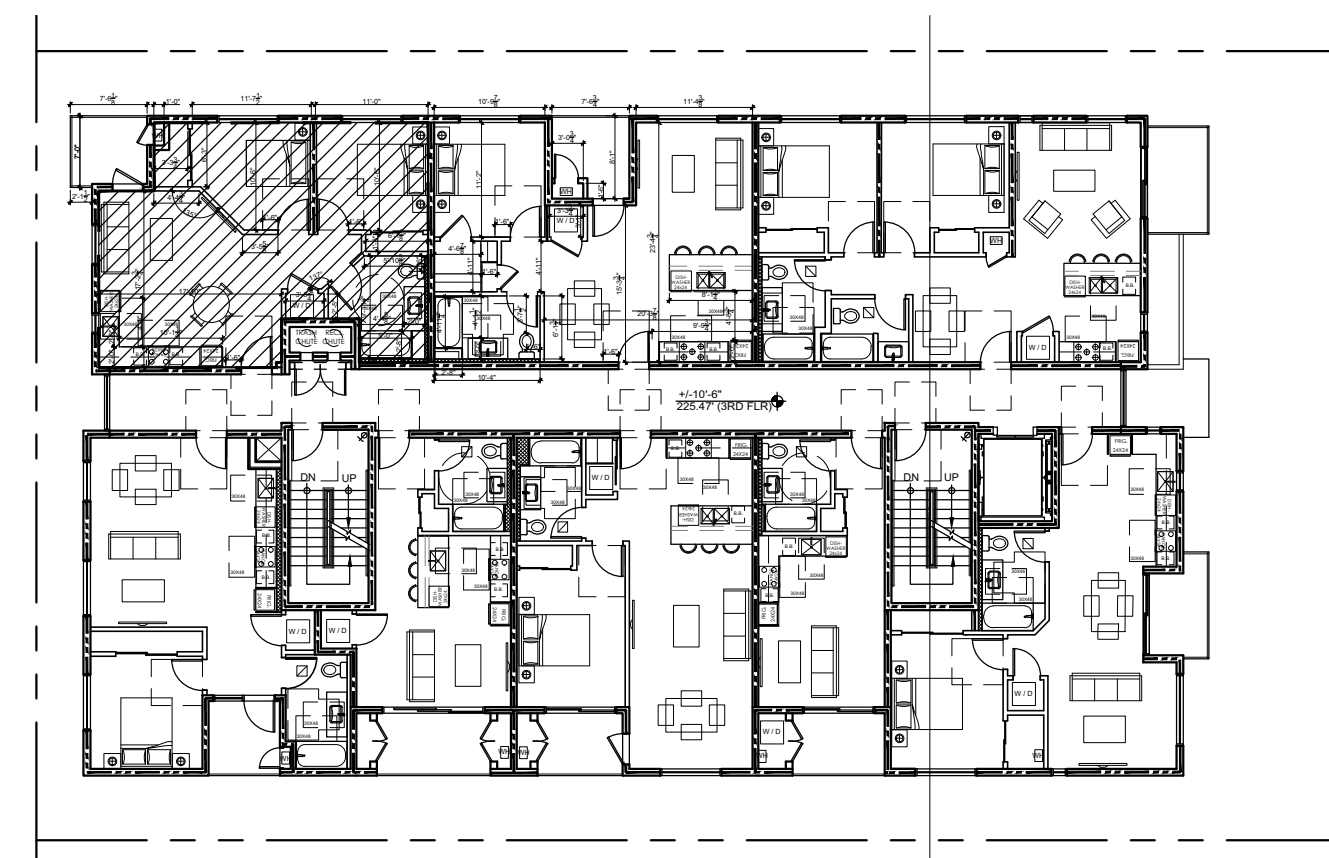


### 2 UNIT 208,308,408,508,608

SCALE: 1/4"=1'-0"



KEY PLAN



KEY PLAN

**EXHIBIT "A"**  
Page No. 31 of 32  
Case No. DIR-2021-643-TOC-HCA

**arcaforma**  
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Planning  
Interiors

tel: 310-866-8233  
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NO.	REVISIONS	DATE
1	HSAP RESUBMITTAL	8.26.21
2	PLANNING RESUBMITTAL	9.02.21
3	GREEN, ACCESS, AND FIRE	9.24.21
4	PLANNING RESUBMITTAL	12.20.21
5	GREEN, ACCESS, AND FIRE RESUBMITTAL	6.24.22
6	GREEN, ACCESS, FIRE AND PLANNING	8.19.22

PROJECT:  
**CAMBRIA TERRACE**  
1537 CAMBRIA AVE.  
LOS ANGELES, CA.

TITLE:  
**ENLARGED UNITS PLANS**

DATE: 09/01/2021

SCALE: AS SHOWN

DRAWN BY:


SHEET:


**A6.4**


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LEGEND:

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 ACCESSIBILITY FLOOR CLEARANCE

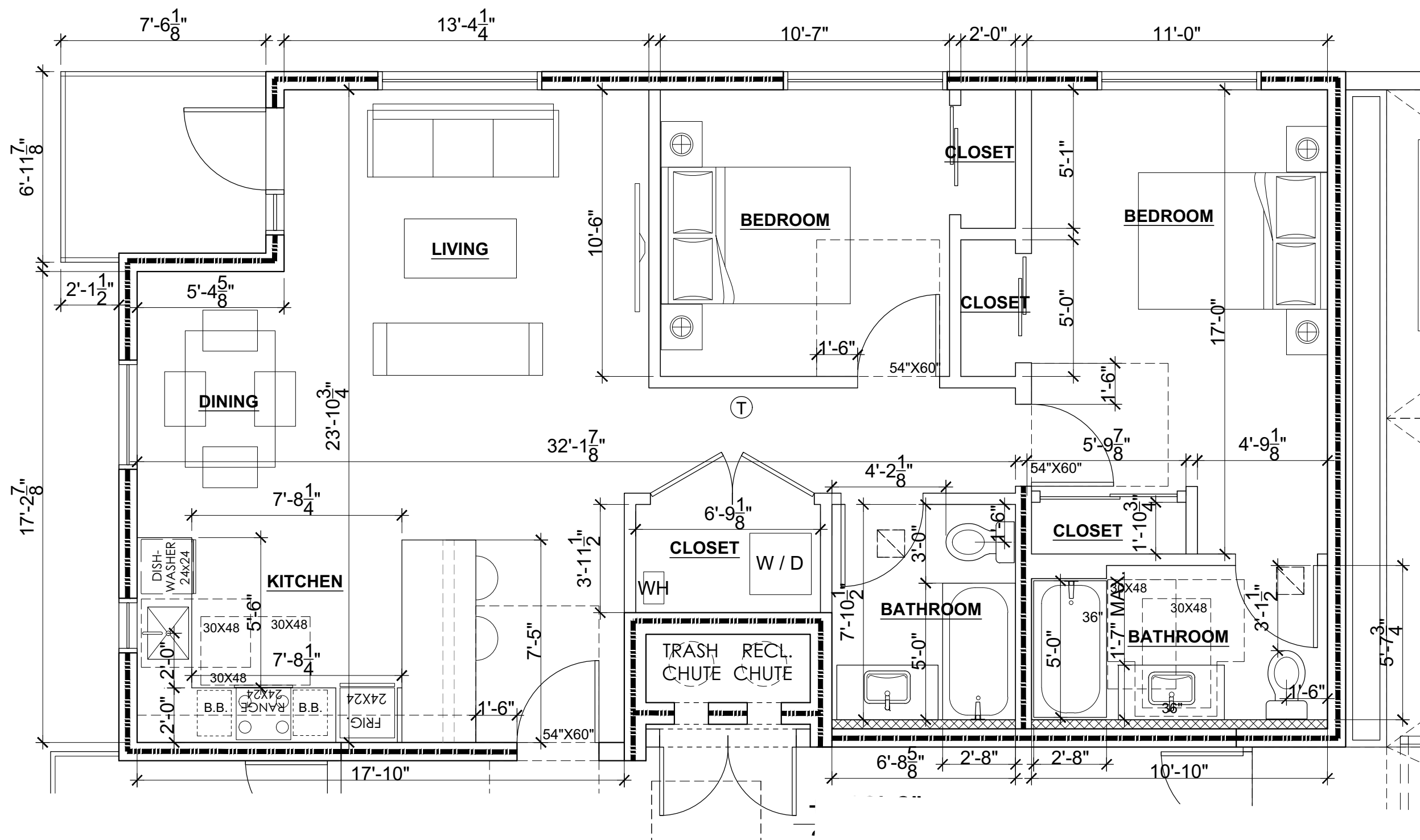
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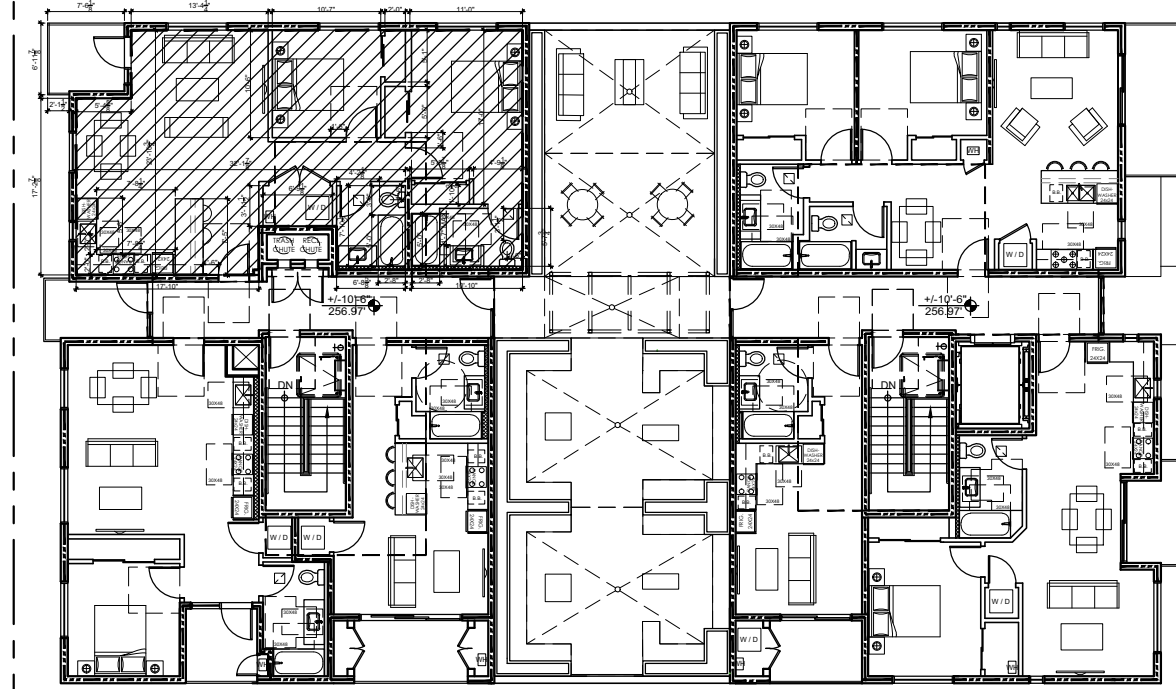
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**1 UNIT 606**  
SCALE: 1/4"=1'-0"



KEY PLAN

**EXHIBIT "A"**  
Page No. 32 of 32  
Case No. DIR-2021-643-TOC-HCA



NO.	REVISIONS	DATE
	HSAP RESUBMITTAL	8.26.21
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PROJECT:  
**CAMBRIA TERRACE**  
1537 CAMBRIA AVE.  
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TITLE:  
**ENLARGED UNITS PLANS**

DATE: 09/01/2021

SCALE: AS SHOWN

DRAWN BY:

SHEET:

**A6.5**

FILE:



**B – DIRECTOR OF PLANNING’S DETERMINATION (DIR-2021-643-TOC-HCA)**



**DEPARTMENT OF  
CITY PLANNING**

COMMISSION OFFICE  
(213) 978-1300

**CITY PLANNING COMMISSION**

SAMANTHA MILLMAN  
PRESIDENT

CAROLINE CHOE  
VICE-PRESIDENT

HELEN CAMPBELL  
JENNA HORNSTOCK  
HELEN LEUNG  
YVETTE LOPEZ-LEDESMA  
KAREN MACK  
DANA M. PERLMAN  
RENEE DAKE WILSON

**CITY OF LOS ANGELES  
CALIFORNIA**



ERIC GARCETTI  
MAYOR

**EXECUTIVE OFFICES**

200 N. SPRING STREET, ROOM 525  
LOS ANGELES, CA 90012-4801  
(213) 978-1271

VINCENT P. BERTONI, AICP  
DIRECTOR

SHANA M.M. BONSTIN  
DEPUTY DIRECTOR

ARTHI L. VARMA, AICP  
DEPUTY DIRECTOR

LISA M. WEBBER, AICP  
DEPUTY DIRECTOR

**DIRECTOR'S DETERMINATION  
TRANSIT ORIENTED COMMUNITIES AND AFFORDABLE HOUSING INCENTIVES  
PROGRAM**

September 20, 2022

**Owner**

Shahram Saba  
Shahco Inc.  
1112 W. Martin Luther King Jr. Blvd  
Los Angeles, CA 90037

**Applicant/Representative**

Shahla Salah  
New Real Estate Market  
7660 Fay Avenue, Unit H 237  
La Jolla, CA 92037

**Case No.** DIR-2021-643-TOC-HCA

**CEQA:** ENV-2021-644-CE

**Location:** 1537, 1539, 1541, 1543  
West Cambria Street

**Council District:** 1 – Cedillo

**Neighborhood Council:** Westlake South

**Community Plan Area:** Westlake

**Land Use Designation:** Community Commercial

**Zone:** R4-2

**Legal Description:** Lot 14 and 16 (Arb 2), Block  
10, Part of the Fairmount  
Tract

**Last Day to File an Appeal:** October 5, 2022

**DETERMINATION – Transit Oriented Communities Affordable Housing Incentive Program**

Pursuant to the Los Angeles Municipal Code (LAMC) Section 12.22 A.31, I have reviewed the proposed project and as the designee of the Director of Planning, I hereby:

**Determine that** based on the whole of the administrative record as supported by the justification prepared and found in the environmental case file, the Project is exempt from California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Section 15332, Class 32, and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 regarding location, cumulative impacts, significant effects or unusual circumstances, scenic highways, hazardous waste sites, or historical resources applies.

**Approve with Conditions** a Transit Oriented Communities (TOC) Affordable Housing Incentive Program pursuant to Los Angeles Municipal Code (LAMC) Section 12.22 A.31, for a qualifying Tier 3 Project totaling 43 dwelling units, reserving five (5) units for Extremely Low Income household occupancy, two (2) units for Very Low Income household occupancy, one (1) unit for Low Income



household occupancy for a period of 55 years, with the following three (3) additional incentives:

- a. **Side Yard Setbacks.** Allow two side yard setbacks of 6 feet 3.5 inches in lieu of 9 feet as otherwise required by LAMC Section 12.11 C.2.
- b. **Rear Yard Setback.** Allow a rear yard setback of 12 feet 7.2 inches in lieu of 18 feet as otherwise required by LAMC Section 11 C.3.
- c. **Open Space.** A 25% reduction in Open Space to allow 3,487.5 square feet in lieu of the 4,550 square feet otherwise required by LAMC Section 12.21 G.2.

**Approve** a Waiver of Improvements to retain an existing non-standard alley along the rear, northern property line.

**Adopt** the attached Findings.



## CONDITIONS OF APPROVAL

Pursuant to Section 12.22-A.31 of the Los Angeles Municipal Code, the following conditions are hereby imposed upon the use of the subject property:

1. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the Applicant, stamped "Exhibit A," and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning, Central Project Planning Division, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Los Angeles Municipal Code or the project conditions.
2. **On-Site Restricted Affordable Units.** A minimum of five (5) dwelling units, that is 10% of the total 43 dwelling units, shall be designated for Extremely Low Income Households, as determined by the Los Angeles Housing Department (LAHD), and California Government Code Section 65915(c)(2).
3. **Changes in Restricted Units.** Deviations that increase the number of restricted affordable units or that change the composition of units or change parking numbers shall be consistent with LAMC Section 12.22 A.31 and TOC Guidelines.
4. **Housing Requirements.** Prior to issuance of a building permit, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing Department (LAHD) to make five (5) units available as to Extremely Low Income Households, for sale or rental as determined to be affordable to such households by LAHD for a period of 55 years. In the event, the applicant reduces the proposed density of the project, the number of required set-aside affordable units may be adjusted, consistent with LAMC Section 12.22 A.31 and TOC Guidelines to the satisfaction of LAHD, and in consideration of the project's SB 330 Determination. Enforcement of the terms of said covenant shall be the responsibility of LAHD. The applicant will present a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the TOC Guidelines and any monitoring requirements established by the LAHD. Refer to the Transit Oriented Communities (TOC) Affordable Housing Incentive Program and Housing Replacement (SB 330 Replacement Unit Determination) sections of this determination.
5. **Rent Stabilization Ordinance.** One (1) existing unit shall be replaced in compliance with the City's Rent Stabilization Ordinance (RSO) in addition to replacing five (5) existing units with affordable housing pursuant to LAHD's SB330 Determination Letter dated January 14, 2021.
6. **Base Incentives.**
  - a. **Residential Density.** The project shall be limited to a maximum density of 43 residential dwelling units (equal to a density increase of 60 percent), including On-site Restricted Affordable Units.
  - b. **Floor Area Ratio (FAR).** The project shall be permitted a maximum FAR of 6:1 for a Tier 3 project in a residential zone.
  - c. **Parking.**



- i. **Residential Automobile Parking.** Automobile parking shall be provided consistent with LAMC Section 12.22 A.31 and Government Code Section 65915(p)(2), which require a minimum of 0.5 spaces per unit for all residential units in an Eligible Housing Development Project located in a Tier 3 TOC Affordable Housing Incentive Area. A greater number may be provided at the applicant's discretion.
- ii. **Adjustment of Parking.** In the event that the number of Restricted Affordable Units should increase, or the composition of such units should change (i.e. the number of bedrooms, or the number of units made available to Senior Citizens and/or Disabled Persons), or the applicant selects another Parking Option (including Bicycle Parking Ordinance) and no other Condition of Approval or incentive is affected, then no modification of this determination shall be necessary, and the number of parking spaces shall be re-calculated by the Department of Building and Safety based upon the ratios set forth above.

**7. Additional Incentives.**

- a. **Side Yard Setbacks.** The project shall be permitted a 30% reduction to two individual yard setbacks to allow side yard setbacks of 6 feet 3.5 inches.
  - b. **Rear Yard Setback.** The project shall be permitted a 30% reduction to an individual yard setback to allow a rear yard setback of 12 feet 7.2 inches.
  - c. **Open Space.** The project shall be permitted a 25% reduction in open space to allow a minimum of 3,487.5 square feet of open space.
8. **Height.** The building shall not exceed six stories or 73 feet 10 inches in height as measured from grade to the highest point of the roof parapet.
9. **Bicycle Parking.** Bicycle parking shall be provided consistent with LAMC 12.21 A.16.
10. **Landscaping.** The landscape plan shall indicate landscape points for the project equivalent to **10% more than otherwise required** by LAMC 12.40 and Landscape Ordinance Guidelines "O". All open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be attractively landscaped, including an automatic irrigation system, and maintained in accordance with a landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning.
11. **Mechanical Equipment.** All mechanical equipment on the roof shall be screened from view. The transformer, if located in the front yard, shall be screened with landscaping.
12. **Maintenance.** The subject property (including all trash storage areas, associated parking facilities, sidewalks, yard areas, parkways, and exterior walls along the property lines) shall be maintained in an attractive condition and shall be kept free of trash and debris.
13. **Lighting.** Outdoor lighting shall be designed and installed with shielding, such that the light source cannot be seen from adjacent residential properties or the public right-of-way, nor from above.



14. **Utilities.** To the extent feasible, all new utility lines which directly service a project shall be installed underground. If underground service is not currently available, then provisions shall be made for future underground service, as determined by the Department of Water and Power.

## **Administrative Conditions**

15. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building & Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building & Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building & Safety shall be stamped by Department of City Planning staff "Final Plans". A copy of the Final Plans, supplied by the applicant, shall be retained in the subject case file.
16. **Notations on Plans.** Plans submitted to the Department of Building & Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet, and shall include any modifications or notations required herein.
17. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
18. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
19. **Department of Building & Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building & Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building & Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
20. **Department of Water and Power.** Satisfactory arrangements shall be made with the Los Angeles Department of Water and Power (LADWP) for compliance with LADWP's Rules Governing Water and Electric Service. Any corrections and/or modifications to plans made subsequent to this determination in order to accommodate changes to the project due to the under-grounding of utility lines, that are outside of substantial compliance or that affect any part of the exterior design or appearance of the project as approved by the Director, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
21. **Enforcement.** Compliance with and the intent of these conditions shall be to the satisfaction of the Department of City Planning.
22. **Expiration.** In the event that this grant is not utilized within three years of its effective date (the day following the last day that an appeal may be filed), the grant shall be considered null



and void. Issuance of a building permit, and the initiation of, and diligent continuation of, construction activity shall constitute utilization for the purposes of this grant.

**23. Indemnification and Reimbursement of Litigation Costs.**

Applicant shall do all of the following:

- (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out, in whole or in part, of the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with



respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

“City” shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

“Action” shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.



## PROJECT BACKGROUND

The project site is composed of two (2) contiguous lots with approximately 77 feet of street frontage along West Cambria Street to the south and an alley to the north. The project site is rectangular shaped and has a lot area of approximately 9,809 square feet. The project site is zoned R4-2 within the Westlake Community Plan Area with a Community Commercial land use designation. The project site has a Height District 2 designation that establishes no height limit and restricts the Floor Area Ratio (FAR) of the development to a maximum of 6:1.

The project includes the demolition of an existing six-unit, multi-family residence for the construction, use, and maintenance of a 43-unit residential apartment building that is six (6) stories, 73 feet 10 inches in height, and contains 39,695 square feet of floor area and a 5.6:1 Floor Area Ratio (FAR). The project will set aside 10 percent, or five (5) units, of the 43 total units for Extremely Low Income Households. The building will contain 22 vehicle parking spaces, 36 long-term bicycle parking spaces, and 4 short-term bicycle parking spaces. The unit mix will be comprised of 15 studio apartments, 17 one-bedroom apartments, 8 two-bedroom apartments and 3 three-bedroom apartments for a total of 43 units. There will be 3,519 square feet of open space, comprised of 1,700 square feet of private open space and 1,819 square feet of common open space provided through a ground floor recreation room and two roof decks.

The project requires the grading and export of up to 4,250 cubic yards of earth. The project site includes 10, non-protected on-site trees, all of which are proposed for removal. However, this analysis gives no rights to the applicant to remove any street tree.

The project site qualifies as a Tier 3 Transit Oriented Communities housing project because it is located within one half mile from the Metro B (Red) Line Westlake / MacArthur Park Station. The project site is located within a Transit Priority Area (ZI-2452), a State Enterprise Zone (ZI-2374), Westlake Recovery Redevelopment Project Area (ZI-2488), and an Urban Agriculture Incentive Zone. On February 2, 2021, Planning staff approved an administrative review of the proposed project with the Westlake Recovery Redevelopment Plan and determined the project conforms to the Redevelopment Plan.

On June 22, 2022, the proposed project was reviewed by the Urban Design Studio (UDS). The purpose of the UDS meeting is to provide project specific recommendations, organized around three distinct yet interrelated approaches to design that include: 1) Pedestrian First Design, 2) 360 Degree Design, and 3) Climate Adaptive Design. At this meeting, UDS recommended the following:

- Consider adding clearstory windows for bathrooms.
- Consider providing awning or recessed windows along south elevation.
- Consider adding lighting and/or a light paint on the rear façade to activate the alley space.
- Consider adding landscaping in the rear of the building to activate the rear space along the alley, especially considering that the RSO unit is located in the rear.
- In lieu of the waiver of dedication, consider substituting vehicular parking space with bicycle parking.
- Consider native plants for the trees and general landscaping.
- Consider adding street trees in the street tree parking to the east.

The applicant considered UDS recommendations and provided a response to their comments, which is included in the case file.



The Office of Historic Resources reviewed the project and adjacent properties and, in an email dated May 17, 2021, determined there are no impacts to historic resources.

### **Surrounding Properties**

Surrounding properties are developed with residential, commercial, parking, and institutional uses. The properties to the north, across the alley, are zoned C2-2 and are developed with a parking lot, autobody shop, check cashing/bicycle shop, gym, and features vacant lots as well. The properties to the east are zoned R4-2 and C2-2 and are developed with multi-family housing and a parking lot. The properties to the south, across Cambria Street, are zoned R4-1 and PF-1xL, and are developed with multi-family housing and an occupational center. The properties to the west are zoned C2-1, (Q)C2-1, R5-1, (T)(Q)C2-2, R5-2 and C2-2, and are developed with a donut shop, discount store, restaurants, dentist office, retail stores, and multi-family residences.

### **Streets**

Cambria Street, adjoining the project site to the south, is a designated Local Street – Standard, dedicated to a right-of-way width of 60 feet and a roadway width of 36 feet.

Public Alley, adjoining the project site to the north, is dedicated to a right-of-way width of 16 feet.

### **HOUSING REPLACEMENT (SB 330 DETERMINATION) BACKGROUND**

On October 9, 2019, Governor Gavin Newsom signed into law the Housing Crisis Act of 2019 (SB 330). SB330 requires projects that meet the criteria per California Government Code Section 65589.5(h)(2)(B) filed as of January 1, 2020 to demonstrate compliance with the housing replacement provisions which require replacement of dwelling units that either exist at the time of application of a project, or have been vacated or demolished in the ten-year period preceding the application of the project. This applies to all pre-existing units that have been subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower or very low income; subject to any other form of rent or price control; or occupied by Low or Very Low Income Households. On September 16, 2021, the Governor signed SB 8, which updated several provisions of the Housing Crisis Act of 2019, into law.

Pursuant to the SB 330 (TOC) Replacement Unit Determination Letter, dated April 21, 2021, and prepared by the Los Angeles Housing Department (LAHD), the property is required to replace six (6) units, including two (2) units set aside for Extremely Low Income Households, two (2) units set aside for Very Low Income Households, and one (1) unit set aside for Low Income Households. This project will set aside five (5) units set aside for Extremely Low Income Households, which is a deeper affordability than what is required by LAHD. As such, the project complies with SB 330. The updated regulations for the Housing Crisis Act created through SB 8 do not alter the replacement requirements already described.

### **TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM BACKGROUND**

Measure JJJ was adopted by the Los Angeles City Council and established the Transit Oriented Communities (TOC) Affordable Housing Incentive Program. The measure required that the Department adopt a set of TOC Guidelines, which establishes incentives for residential and



mixed-use projects located within one-half mile of a major transit stop, as defined under existing State law.

The TOC Affordable Housing Incentive Program Guidelines (TOC Guidelines), released on September 22, 2017, and amended on February 26, 2018, established a tier-based system with varying development bonuses and incentives based on a project's distance from different types of transit. The largest bonuses are reserved for those areas in the closest proximity to significant rail stops or the intersection of major bus rapid transit lines. Required affordability levels are increased incrementally in each higher tier. The incentives provided in the TOC Guidelines describe the range of bonuses from particular zoning standards that applicants may select.

Per the TOC Referral Form, dated April 21, 2021, the project site is located within one-half mile of the Metro Rail B Line (Red), Westlake / MacArthur Park Station. As such, the project is eligible for Tier 3 TOC Affordable Housing Incentives.

Tier 3 Base Incentives require On-Site Restricted Affordable Units at the rate of 10% of the total number of units for Extremely Low Income Households, that is five (5) unit of the total 43 units.

### **TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM ELIGIBILITY REQUIREMENTS**

To be an eligible Transit Oriented Communities (TOC) Housing Development, a project must meet the Eligibility criteria set forth in Section IV of the TOC Affordable Housing Incentive Program Guidelines (TOC Guidelines). A Housing Development located within a TOC Affordable Housing Incentive Area shall be eligible for TOC Incentives if it meets all of the following requirements, which it does:

1. **On-Site Restricted Affordable Units.** *In each Tier, a Housing Development shall provide On-Site Restricted Affordable Units at a rate of at least the minimum percentages described below. The minimum number of On-Site Restricted Affordable Units shall be calculated based upon the total number of units in the final project.*
  - a. Tier 1- 8% of the total number of dwelling units shall be affordable to Extremely Low Income (ELI) households, 8% of the total units shall be for Very Low (VL), or 20% of the total show be for lower income households.
  - b. Tier 2 – 9% ELI, 12%VL, or 21% Lower
  - c. Tier 3 – 10% ELI, 14% VL or 23% Lower
  - d. Tier 4 – 11% ELI, 15% VL or 25% Lower

As previously mentioned, the project is qualified for Tier 3. The project is required to reserve at least 10%, or 5 units, of the 43 total units for Extremely Low-Income Households. The project proposes to reserve 5 units for Extremely Low Income Households. As such, the project satisfies the eligibility requirement for On-Site Restricted Affordable Units.

2. **Major Transit Stop.** *A housing development shall be located on a lot, any portion of which must be located within 2,640 feet of a Major Transit Stop, as defined in subsection (b) of Section 21155 of the California Public Resources Code, and Section II of the TOC Guidelines.*

A Major Transit Stop is a site containing a rail station or the intersection of two or more bus routes with a service interval of 15 minutes or less during the morning and afternoon peak commute periods. The subject site is located within one-half mile from the Metro B Line (Red)



Westlake / MacArthur Park Station, thereby meeting the eligibility requirement for proximity to a Major Transit Stop.

3. **Housing Replacement.** *A Housing Development must meet any applicable housing replacement requirements of California Government Code Section 65915(c)(3), as verified by the Los Angeles Department of Housing (LAHD) prior to the issuance of any building permit. Replacement housing units required per this section may also count towards other On-Site Restricted Affordable Units requirements.*

Pursuant to the SB 330 (TOC) Determination Letter dated, January 14, 2021, and prepared by the Los Angeles Housing Department (LAHD), five (5) units need to be replaced with: two (2) units restricted to Extremely Low Income Households, two (2) units restricted to Very Low Income Households, and one (1) unit restricted to Low Income Households, and one (1) unit in compliance with the City's Rent Stabilization Ordinance (RSO). The project will set aside five (5) units restricted to Extremely Low Income Households and is conditioned to replace one (1) unit in compliance with the City's Rent Stabilization Ordinance (RSO). As such, the project complies with SB 330. The updated regulations for the Housing Crisis Act created through SB 8 do not alter the replacement requirements already described.

4. **Other Density or Development Bonus Provisions.** *A Housing Development shall not seek and receive a density or development bonus under the provisions of California Government Code Section 65915 (State Density Bonus law) or any other State or local program that provides development bonuses. This includes any development bonus or other incentive granting additional residential units or floor area provided through a General Plan Amendment, Zone Change, Height District Change, or any affordable housing development bonus in a Transit Neighborhood Plan, Community Plan Implementation Overlay (CPIO), Specific Plan, or overlay district.*

The project is not seeking any additional density or development bonuses under the provisions of the State Density Bonus Law or any other State or local program that provides development bonuses, including, but not limited to a General Plan Amendment, Zone Change, Height District Change, or any affordable housing development bonus in a Transit Neighborhood Plan, Community Implementation Overlay (CPIO), Specific Plan, or overlay district. As such, the project meets this eligibility requirement.

5. **Base Incentives and Additional Incentives.** *All Eligible Housing Developments are eligible to receive the Base Incentives listed in Section VI of the TOC Guidelines. Up to three Additional Incentives listed in Section VII of the TOC Guidelines may be granted based upon the affordability requirements described below. For the purposes of this section below, "base units" refers to the maximum allowable density allowed by the zoning, prior to any density increase provided through these Guidelines. The affordable housing units required per this section may also count towards the On-Site Restricted Affordable Units requirement in the Eligibility Requirement No. 1 above (except Moderate Income units).*

- a. *One Additional Incentive may be granted for projects that include at least 4% of the base units for Extremely Low Income Households, at least 5% of the base units for Very Low Income Households, at least 10% of the base units for Lower Income Households, or at least 10% of the base units for persons and families of Moderate Income in a common interest development.*
- b. *Two Additional Incentives may be granted for projects that include at least 7% of the base units for Extremely Low Income Households, at least 10% of the base units for*



*Very Low Income Households, at least 20% of the base units for Lower Income Households, or at least 20% of the base units for persons and families of Moderate Income in a common interest development.*

- c. *Three Additional Incentives may be granted for projects that include at least 11% of the base units for Extremely Low Income Households, at least 15% of the base units for Very Low Income Households, at least 30% of the base units for Lower Income Households, or at least 30% of the base units for persons and families of Moderate Income in a common interest development.*

The project is seeking three (3) additional incentives, which requires that at least 11% of the 27 base units to be set aside for Extremely Low Income Households. This project proposes to set aside five (5) units for Extremely Low Income Households, which is 19% of the 27 base units. As such, the project meets the eligibility requirement for three (3) additional incentives.

6. **Projects Adhering to Labor Standards.** *Projects that adhere to the labor standards required in LAMC 11.5.11 may be granted two Additional Incentives from the menu in Section VII of these Guidelines (for a total of up to five Additional Incentives).*

This is not applicable because the project does not require additional incentives beyond the three (3) permitted in exchange for reserving at least 11% of the base units for Extremely Low Income Households. Thus, there is no requirement to adhere to labor standards per the TOC Program.

7. **Multiple Lots.** *A building that crosses one or more lots may request the TOC Incentives that correspond to the lot with the highest Tier permitted by Section III above.*

The proposed project is located on two (2) contiguous lots located wholly within a Tier 3 TOC Affordable Housing Incentive Area. As such, this eligibility requirement does not apply.

8. **Request for a Lower Tier.** *Even though an applicant may be eligible for a certain Tier, they may choose to select a Lower Tier by providing the percentage of On-Site Restricted Affordable Housing units required for any lower Tier and be limited to the Incentives available for the lower Tier.*

The applicant has not selected a lower Tier. As such, this eligibility requirement does not apply.

9. **100% Affordable Housing Projects.** *Buildings that are Eligible Housing Developments that consist of 100% On-Site Restricted Affordable units, exclusive of a building manager's unit or units shall, for purposes of these Guidelines, be eligible for one increase in Tier than otherwise would be provided.*

The proposed project does not consist of 100% on-site restricted affordable units. As such, this eligibility requirement does not apply

## **TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM / AFFORDABLE HOUSING INCENTIVES COMPLIANCE FINDINGS**

Pursuant to Section 12.22 A.31(e) of the LAMC, the Director shall review a Transit Oriented Communities Affordable Housing Incentive Program project application in accordance with the procedures outlined in LAMC Section 12.22 A.25(g).



1. Pursuant to Section 12.22 A.25(g) of the LAMC, the Director shall approve a density bonus and requested incentive(s) unless the Director finds that:

- a. *The incentives are not required to provide for affordable housing costs as defined in California Health and Safety Code Section 50052.5 or Section 50053 for rents for the affordable units.*

The record does not contain substantial evidence that would allow the Director to make a finding that the requested incentives are not necessary to provide for affordable housing costs per State Law. The California Health & Safety Code Sections 50052.5 and 50053 define formulas for calculating affordable housing costs for Extremely Low, Very Low, Low, and Moderate Income Households. Section 50052.5 addresses owner-occupied housing and Section 50053 addresses rental households. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed 25-percent gross income based on area median income thresholds dependent on affordability levels.

The list of Additional Incentives in the TOC Guidelines was pre-evaluated at the time the TOC Affordable Housing Incentive Program Ordinance was adopted to include types of relief that minimize restrictions on the size of the project. As such, the Director will always arrive at the conclusion that the on-menu incentives are required to provide for affordable housing costs because the incentives by their nature increase the scale of the project.

The following incentives allow the developer to reduce the required rear and side yard setbacks as well as open space so that affordable housing units reserved for Extremely Low Income Households can be constructed and the overall space dedicated to residential uses is increased. These incentives are expressed in the TOC Guidelines which permit exceptions to zoning requirements that result in building design or construction efficiencies that facilitate affordable housing costs. These incentives also support the applicant's decision to reserve five (5) units for Extremely Low Income Households of the total 43 units.

**Rear Yard.** Allow a rear yard of 12 feet 7.2 inches in lieu of the 18 feet as otherwise required by LAMC Section 12.11 C.3.

**Side Yards.** Allow side yards of 6 feet 3.5 inches in lieu of 9 feet as otherwise required by LAMC Section 12.11 C.2.

**Open Space.** A 25% reduction in Open Space to allow 3,487.5 square feet in lieu of the 4,550 square feet otherwise required by LAMC Section 12.21 G.2.

The requested incentives are expressed in the Menu of Incentives in the TOC Guidelines which permit exceptions to zoning requirements that result in building design or construction efficiencies that facilitate affordable housing costs.

- b. *The Incentive will have a specific adverse impact upon public health and safety or on any real property that is listed in the California Register of Historical Resources and for which there are no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the development unaffordable to Very Low, Low and Moderate Income households. Inconsistency with the zoning ordinance or the general plan land*



*use designation shall not constitute a specific, adverse impact upon the public health or safety.*

There is no evidence in the record that the proposed incentive will have a specific adverse impact. A “specific adverse impact” is defined as, “a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete” (LAMC Section 12.22 A.25(b)). The finding that there is no evidence in the record that the proposed incentives will have a specific adverse impact is further supported by the CEQA findings. The findings to deny an incentive under Density Bonus Law are not equivalent to the findings for determining the existence of a significant unavoidable impact under CEQA. However, under a number of CEQA impact thresholds, the City is required to analyze whether any environmental changes caused by the project have the possibility to result in health and safety impacts. For example, CEQA Guidelines Section 15065(a)(4), provides that the City is required to find a project that will have a significant impact on the environment and require an EIR if the environmental effects of a project will cause a substantial adverse effect on human beings.

The proposed project and potential impacts were analyzed in accordance with the CEQA Guidelines. The project was evaluated against the exceptions to the use of Categorical Exemptions pursuant to Section 15300.2 of the CEQA Guidelines. The Director of Planning determined that none of the exceptions apply to the proposed project and the project is Categorically Exempt from CEQA pursuant to Class 32 of the CEQA Guidelines. Therefore, there is no substantial evidence that the proposed project will have a specific adverse impact upon public health and safety or the environment, or on any real property that is listed in the California Register of Historical Resources.

The proposed project and potential impacts were analyzed in accordance with the State CEQA Statute and Guidelines. Analysis of the proposed project determined that the project is Categorically Exempt from environmental review pursuant to Article 19, Section 15332, Class 32 of the State CEQA Statute and Guidelines. Additionally, a Transportation Study Assessment Referral Form was completed showing 148 daily trips were generated for a 44-unit project comprised of 39 residential units and 5 affordable residential units; which does not exceed 250 or more daily trips requiring a Vehicle Miles Traveled analysis. As this project is 43 units, including 38 residential units and 5 affordable residential units, the results can be applied. Furthermore, the project was evaluated against the exceptions to use Categorical Exemptions pursuant to Section 15300.2 of the State CEQA Statute and Guidelines and determined that none of the exceptions apply to the proposed project. Additionally, the project site has not been identified as a historic resource by local or state agencies, and the project site has not been determined to be eligible for listing in the National Register of Historic Places, California Register of Historical Resources, the Los Angeles Historic-Cultural Monuments Register, and/or any local register; and was not found to be a potential historic resource based on the City’s Historic Places LA website or SurveyLA, the citywide survey of Los Angeles. Therefore, there is no substantial evidence that the proposed project will have a specific adverse impact upon public health and safety or the environment, or on any real property that is listed in the California Register of Historical Resources.



## **ADDITIONAL MANDATORY FINDINGS**

2. The National Flood Insurance Program rate maps, which are a part of the Flood Hazard Management Specific Plan adopted by the City Council by Ordinance No. 172,081, have been reviewed and it has been determined that this project is located outside of a flood zone.
3. It has been determined based on the whole of the administrative record that the project is exempt from CEQA pursuant to State CEQA Guidelines, Section 15332 (Class 32), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2, applies.

The proposed project qualifies for a Class 32 Categorical Exemption because it conforms to the definition of “In-fill Projects”. The project can be characterized as in-fill development within urban areas for the purpose of qualifying for Class 32 Categorical Exemption as a result of meeting five established conditions and if it is not subject to an Exception that would disqualify it. The Categorical Exception Justification document attached to the subject case file provides the full analysis and justification for project conformance with the definition of a Class 32 Categorical Exemption.

## **TIME LIMIT – OBSERVANCE OF CONDITIONS**

All terms and conditions of the Director’s Determination shall be fulfilled before the use may be established. Pursuant to LAMC Section 12.25 A.2, the instant authorization is further conditional upon the privileges being utilized within **three years** after the effective date of this determination and, if such privileges are not utilized, building permits are not issued, or substantial physical construction work is not begun within said time and carried on diligently so that building permits do not lapse, the authorization shall terminate and become void.

## **TRANSFERABILITY**

This determination runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant. If any portion of this approval is utilized, then all other conditions and requirements set forth herein become immediately operative and must be strictly observed.

## **VIOLATIONS OF THESE CONDITIONS, A MISDEMEANOR**

The applicant's attention is called to the fact that this grant is not a permit or license and that any permits and licenses required by law must be obtained from the proper public agency. Furthermore, if any condition of this grant is violated or not complied with, then the applicant or his successor in interest may be prosecuted for violating these conditions the same as for any violation of the requirements contained in the Municipal Code, or the approval may be revoked.

Section 11.00 of the LAMC states in part (m): “It shall be unlawful for any person to violate any provision or fail to comply with any of the requirements of this Code. Any person violating any of the provisions or failing to comply with any of the mandatory requirements of this Code shall be guilty of a misdemeanor unless that violation or failure is declared in that section to be an infraction. An infraction shall be tried and be punishable as provided in Section 19.6 of the Penal Code and the provisions of this section. Any violation of this Code that is designated as a



misdemeanor may be charged by the City Attorney as either a misdemeanor or an infraction.

Every violation of this determination is punishable as a misdemeanor unless provision is otherwise made, and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the County Jail for a period of not more than six months, or by both a fine and imprisonment.”

## **APPEAL PERIOD – EFFECTIVE DATE**

**The Determination in this matter will become effective and final fifteen (15) days after the date of mailing of the Notice of Director’s Determination** unless an appeal there from is filed with the City Planning Department. It is strongly advised that appeals be filed early during the appeal period and in person so that imperfections/incompleteness may be corrected before the appeal period expires. Any appeal must be filed on the prescribed forms, accompanied by the required fee, a copy of this Determination, and received and receipted at a public office of the Department of City Planning on or before the above date or the appeal will not be accepted. Forms are available on-line at <http://planning.lacity.org>.

Planning Department public offices are located at:

**Downtown Office  
Figueroa Plaza**  
201 North Figueroa Street,  
4<sup>th</sup> Floor  
Los Angeles, CA 90012  
(213) 482-7077

**Valley Office Marvin Braude  
Constituent Service Center**  
6262 Van Nuys Boulevard,  
Suite 251  
Van Nuys, CA 91401  
(818) 374-5050

**West Los Angeles Office  
Development Services  
Center**  
1828 Sawtelle Boulevard  
2nd Floor  
Los Angeles, CA 90025  
(310) 231-2901

**Only an applicant or any owner or tenant of a property abutting, across the street or alley from, or having a common corner with the subject property can appeal this Density Bonus Compliance Review Determination.** Per the Density Bonus Provision of State Law (Government Code Section §65915) the Density Bonus increase in units above the base density zone limits and the appurtenant parking reductions are not a discretionary action and therefore cannot be appealed. Only the requested incentives are appealable. Per Section 12.22 A.25 of the LAMC, appeals of Density Bonus Compliance Review cases are heard by the City Planning Commission.

Verification of condition compliance with building plans and/or building permit applications are done at the Development Services Center of the Department of City Planning at Figueroa Plaza in Downtown Los Angeles, Marvin Braude Constituent Service Center in the Valley, or in West Los Angeles. In order to assure that you receive service with a minimum amount of waiting, applicants are encouraged to schedule an appointment with the Development Services Center either through the Department of City Planning website at <http://planning.lacity.org> or by calling (213) 482-7077, (818) 374-5050, or (310) 231-2901. The applicant is further advised to notify any consultant representing you of this requirement as well.



The time in which a party may seek judicial review of this determination is governed by California Code of Civil Procedures Section 1094.6. Under that provision, a petitioner may seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.79, only if the petition for writ of mandate pursuant to that section is filed no later than the 90th day following the date on which the City's decision becomes final.

Vincent P. Bertoni, AICP  
Director of Planning

Approved by:

*Eric Claros*

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Eric Claros, Senior City Planner

Prepared by:

*Marie Pichay*

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Marie Pichay, Planning Assistant  
Marie.pichay@lacity.org



**C – C. Email exchange between Project Planning staff and the Office of Historic Resources, dated May 17, 2021**



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## DIR-2021-643-TOC-HCA, 1541 W Cambria Street Phase I Historical Resources Assessment Report inquiry

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**Micaela Torres-Gil** <micaela.torres-gil@lacity.org>

Mon, May 17, 2021 at 4:42 PM

To: Maira Sanchez <maira.sanchez@lacity.org>

Cc: Melissa Jones <melissa.jones@lacity.org>, Lambert Giessinger <lambert.giessinger@lacity.org>, Nuri Cho <nuri.cho@lacity.org>

Hi Maira,

Thanks for getting in touch. The property was assigned a 6L in the original CRA Survey, meaning it's not eligible as a historic resource under CEQA (in this case, likely due to extensive alterations), but may merit consideration in local planning. No Phase 1 report is necessary.

Best,  
Mickie



**Micaela (Mickie) Torres-Gil**

Planning Assistant | Office of Historic Resources

**Los Angeles City Planning**

221 N. Figueroa St., Suite 1350 Los Angeles, CA 90012

T: (213) 847-3691 | [Planning4LA.org](http://Planning4LA.org)



E-NEWS

Please keep all emails in a single thread. Multiple threads will delay case processing time.

[Quoted text hidden]



**D – D. Class 32 Categorical Exemption Justifications (ENV-2021-644-CE)**



**NOTICE OF EXEMPTION**

(PRC Section 21152; CEQA Guidelines Section 15062)

Pursuant to Public Resources Code § 21152(b) and CEQA Guidelines § 15062, the notice should be posted with the County Clerk by mailing the form and posting fee payment to the following address: Los Angeles County Clerk/Recorder, Environmental Notices, P.O. Box 1208, Norwalk, CA 90650. Pursuant to Public Resources Code § 21167 (d), the posting of this notice starts a 35-day statute of limitations on court challenges to reliance on an exemption for the project. Failure to file this notice as provided above, results in the statute of limitations being extended to 180 days.

**PARENT CASE NUMBER(S) / REQUESTED ENTITLEMENTS**

DIR-2021-643-TOC-HCA / Transit Oriented Communities Affordable Housing Incentive Program Review

**LEAD CITY AGENCY****City of Los Angeles (Department of City Planning)****CASE NUMBER**

ENV-2021-644-CE

**PROJECT TITLE**

Cambria Terrace

**COUNCIL DISTRICT**

1 – Cedillo

**PROJECT LOCATION** (Street Address and Cross Streets and/or Attached Map)

1537, 1539, 1541, and 1543 W. Cambria Street

☐ Map attached.**PROJECT DESCRIPTION:**☒ Additional page(s) attached.

Demolition of an existing six-unit, multi-family residence for the construction, use, and maintenance of a 43-unit residential apartment building that is six-stories, 73 feet 10 inches in building height and contains 39,695 square feet of floor area. The project site includes 10 non-protected on-site trees, all of which are proposed for removal and two (2) street trees that will remain and preserved in place. However, this analysis gives no rights to the applicant to remove any street tree. No street trees may be removed without prior approval of Urban Forestry based on compliance with LAMC Section 62.169 and 62.170 and applicable findings.

**NAME OF APPLICANT / OWNER:****Shahco Inc, Shahram Saba****CONTACT PERSON** (If different from Applicant/Owner above)**Shahla Salah, New Real Estate Market****(AREA CODE) TELEPHONE NUMBER**

((619) 920-4136

**EXT.**

EXEMPT STATUS: (Check all boxes, and include all exemptions, that apply and provide relevant citations.)

**STATE CEQA STATUTE & GUIDELINES**☐ **STATUTORY EXEMPTION(S)**

Public Resources Code Section(s) \_\_\_\_\_

☒ **CATEGORICAL EXEMPTION(S)** (State CEQA Guidelines Sec. 15301-15333 / Class 1-Class 33)CEQA Guideline Section(s) / Class(es) **Section 15332 / Class 32**☐ **OTHER BASIS FOR EXEMPTION** (E.g., CEQA Guidelines Section 15061(b)(3) or (b)(4) or Section 15378(b) )**JUSTIFICATION FOR PROJECT EXEMPTION:**☒ Additional page(s) attached

The City of Los Angeles has determined based on the whole of the administrative record, that substantial evidence supports that the Project is exempt from CEQA pursuant to CEQA Guidelines Section 15332, Class 32 (Infill Development Project), and none of the exceptions to a categorical exemption pursuant to CEQA Guidelines Section 15300.2 applies. The project was found to be exempt based on the following:

Section 15332, Class 32 (Infill Development Project) consists of projects characterized as in-fill development meeting the following conditions: a) the project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations; b) occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; c) the site has no value as a habitat for endangered, rare or threatened species; d) would not result in any significant effects related to traffic, noise, air quality, or water quality; and e) the site can be adequately served by all required utilities and public services.

☒ None of the exceptions in CEQA Guidelines Section 15300.2 to the categorical exemption(s) apply to the Project.☐ The project is identified in one or more of the list of activities in the City of Los Angeles CEQA Guidelines as cited in the justification.

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT ISSUED BY THE CITY PLANNING DEPARTMENT STATING THAT THE DEPARTMENT HAS FOUND THE PROJECT TO BE EXEMPT.

If different from the applicant, the identity of the person undertaking the project.

**CITY STAFF USE ONLY:****CITY STAFF NAME AND SIGNATURE**Marie Pichay *Marie Pichay***STAFF TITLE**

Planning Assistant

**ENTITLEMENTS APPROVED**

Transit Oriented Communities Affordable Housing Incentive Program



**DEPARTMENT OF  
CITY PLANNING**

COMMISSION OFFICE  
(213) 978-1300

**CITY PLANNING COMMISSION**

SAMANTHA MILLMAN  
PRESIDENT

CAROLINE CHOE  
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**CITY OF LOS ANGELES  
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ERIC GARCETTI  
MAYOR

**EXECUTIVE OFFICES**

200 N. SPRING STREET, ROOM 525  
LOS ANGELES, CA 90012-4801  
(213) 978-1271

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DEPUTY DIRECTOR

ARTHI L. VARMA, AICP  
DEPUTY DIRECTOR

LISA M. WEBBER, AICP  
DEPUTY DIRECTOR

# JUSTIFICATION FOR PROJECT EXEMPTION CASE NO. ENV-2021-644-CE

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The City of Los Angeles has determined based on the whole of the administrative record, that substantial evidence supports that the Project is exempt from CEQA pursuant to CEQA Guidelines Section 15332, Class 32 (Infill Development Project) and that none of the exceptions to a categorical exemption pursuant to CEQA Guidelines Section 15300.2 apply.

A project qualifies for a Class 32 Categorical Exemption if it is developed on an infill site and meets the following criteria:

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations;
- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses;
- (c) The project site has no value as habitat for endangered, rare or threatened species;
- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and
- (e) The site can be adequately served by all required utilities and public services.

Demolition of an existing six-unit, multi-family residence for the construction, use, and maintenance of a 43-unit residential apartment building that is six stories, 73 feet 10 inches in building height and contains 39,695 square feet of floor area and a 5.6:1 Floor Area Ratio (FAR) on an approximately 9,809 square-foot site. The project reserves 10 percent, or five (5) units, of the total 43 units for Extremely Low Income Households. The project consists of six residential floors over one subterranean of parking that includes 22 vehicle parking spaces and 40 bicycle parking spaces (36 long-term spaces and 4 short-term spaces). The project requires the grading and export of up to 4,250 cubic yards of earth. The project site includes 10, non-protected on-site trees, all of which are proposed for removal and two (2) street trees that will remain and preserved in place. As a new multi-family housing development, and as a project which is characterized as in-fill development, the project qualifies for the Section 15332, Class 32 Categorical Exemption.

The site is zoned R4-2 and has a General Plan Land Use Designation of Community Commercial. As shown in the case file, the project is consistent with the applicable Westlake Community Plan designation and policies and all applicable zoning designations and regulations. The project site is wholly within the City of Los Angeles, on a site that is approximately 0.23 acres (9,809 square feet). Lots adjacent to the subject site are developed with commercial, residential, parking, and institutional uses. Lots to the north, across the alley, are developed with an autobody shop, a parking lot, and a check cashing/bicycle shop, tattoo parlor, and Taekwon Do studio. Lots to the



east are zoned R4-2 and are developed with two-story, multi-family residences. Lots to the south across Cambria Street are zoned R4-1 and are developed with 3-story and 4-story multi-family residential apartments. Lots to the west are zoned R4-2 and are developed with a single-family residence and a 5-story hotel.

The project site is previously disturbed and surrounded by development and therefore is not, and has no value as a habitat for endangered, rare or threatened species. There are no protected trees on the site, as identified in the Tree Report prepared by James Komen, Certified Arborist #WE-9909B, of Class One Arboriculture Inc., dated June 25, 2021. However, there are 10 on-site non-protected trees, two (2) off-site non-protected trees on neighboring properties that may be impacted by the proposed project, and two (2) street trees in the right-of-way. The project proposes to remove all of the on-site trees, retain both off-site trees in the neighboring properties and retain both street trees in the right-of-way.

The project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance, pollutant discharge, dewatering, stormwater mitigations; and Best Management Practices for stormwater runoff. These RCMs will ensure the project will not have significant impacts on noise and water. Furthermore, the daily trips analysis shows that the project generates 148 daily vehicle trips, received credit for 21 daily trips for the existing six (6) dwelling units resulting in a total of 127 daily trips. Therefore, the project does not exceed the threshold criteria established by the Los Angeles Department of Transportation (LADOT) of 250 daily vehicle trips for preparing a traffic study. The project site will be adequately served by all public utilities and services given that the construction of a six-story, 43-unit apartment building will be on a site which has been previously developed and is consistent with the General Plan. Therefore, the project meets all of the Criteria for the Class 32.

There are five (5) Exceptions which must be considered in order to find a project exempt under Class 32: (a) Cumulative Impacts; (b) Significant Effect; (c) Scenic Highways; (d) Hazardous Waste Sites; and (e) Historical Resources.

There is not a succession of known projects of the same type and in the same place as the subject project. As mentioned, the project includes the construction of a six-story, 43-unit apartment building in an area zoned and designated for such development. All adjacent lots are developed with residential and commercial uses, and the subject site is of a similar size and slope to nearby properties. The project includes a Floor Area Ratio (FAR) of 5.6:1 on a site that is permitted to have a maximum FAR of 9:1 with a Base Incentive of a 50 percent FAR increase for projects in Tier 3 per the Transit Oriented Communities Program. Thus, there are no unusual circumstances which may lead to a significant effect on the environment.

Additionally, the only State Scenic Highway within the City of Los Angeles is the Topanga Canyon State Scenic Highway, State Route 27, which travels through a portion of Topanga State Park. The site is approximately 20 miles east from State Route 27. Therefore, the subject site will not create any impacts within a designated as a state scenic highway.

Furthermore, according to Envirostor, the State of California's database of Hazardous Waste Sites, neither the subject site, nor any site within 500 feet, is identified as a hazardous waste site.



The project site has not been identified as a historic resource by local or state agencies, and the project site has not been determined to be eligible for listing in the National Register of Historic Places, California Register of Historical Resources, the Los Angeles Historic-Cultural Monuments Register, and/or any local register; and was not found to be a potential historic resource based on the City's HistoricPlacesLA website or SurveyLA, the citywide survey of Los Angeles. Finally, the City does not choose to treat the site as a historic resource. Based on this, the project will not result in a substantial adverse change to the significance of a historic resource and this exception does not apply.



DIR-2021-643-TOC-HCA-1A  
1537, 1539, 1541, 1543 West Cambria Street

EXHIBITS

## **E – APPEAL DOCUMENTATION**





## APPLICATIONS:

# APPEAL APPLICATION

## Instructions and Checklist

**Related Code Section:** Refer to the City Planning case determination to identify the Zone Code section for the entitlement and the appeal procedure.

**Purpose:** This application is for the appeal of Department of City Planning determinations authorized by the Los Angeles Municipal Code (LAMC).

### A. APPELLATE BODY/CASE INFORMATION

#### 1. APPELLATE BODY

- ☐ Area Planning Commission    ☐ City Planning Commission    ☐ City Council    ☐ Director of Planning  
☐ Zoning Administrator

Regarding Case Number: DIR-2021-643-TOC-HCA

Project Address: 1537, 1539, 1541, 1543 West Cambria Street

Final Date to Appeal: October 5, 2022

#### 2. APPELLANT

**Appellant Identity:**  
(check all that apply)

- ☐ Representative  
☐ Applicant

- ☐ Property Owner  
☐ Operator of the Use/Site

☒ Person, other than the Applicant, Owner or Operator claiming to be aggrieved

☐ Person affected by the determination made by the **Department of Building and Safety**

- ☐ Representative  
☐ Applicant

- ☐ Owner  
☐ Operator

☐ Aggrieved Party

#### 3. APPELLANT INFORMATION

Appellant's Name: Alma Myllyla

Company/Organization: \_\_\_\_\_

Mailing Address: 1545 Cambria Street

City: Los Angeles State: CA Zip: 90017

Telephone: 213-514-7812 E-mail: \_\_\_\_\_

a. Is the appeal being filed on your behalf or on behalf of another party, organization or company?

☒ Self    ☐ Other: \_\_\_\_\_

b. Is the appeal being filed to support the original applicant's position?    ☐ Yes    ☒ No



#### 4. REPRESENTATIVE/AGENT INFORMATION

Representative/Agent name (if applicable): \_\_\_\_\_

Company: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### 5. JUSTIFICATION/REASON FOR APPEAL

a. Is the entire decision, or only parts of it being appealed? ☒ Entire ☐ Part

b. Are specific conditions of approval being appealed? ☐ Yes ☒ No

If Yes, list the condition number(s) here: \_\_\_\_\_

Attach a separate sheet providing your reasons for the appeal. Your reason must state:

- ☒ The reason for the appeal ☒ How you are aggrieved by the decision  
☒ Specifically the points at issue ☒ Why you believe the decision-maker erred or abused their discretion

#### 6. APPLICANT'S AFFIDAVIT

I certify that the statements contained in this application are complete and true:

Appellant Signature: Alma M. Sells Date: 9/28/2022

#### GENERAL APPEAL FILING REQUIREMENTS

#### B. ALL CASES REQUIRE THE FOLLOWING ITEMS - SEE THE ADDITIONAL INSTRUCTIONS FOR SPECIFIC CASE TYPES

##### 1. Appeal Documents

- a. **Three (3) sets** - The following documents are required for each appeal filed (1 original and 2 duplicates)  
Each case being appealed is required to provide three (3) sets of the listed documents.

- ☐ Appeal Application (form CP-7769)  
☐ Justification/Reason for Appeal  
☐ Copies of Original Determination Letter

##### b. Electronic Copy

- ☐ Provide an electronic copy of your appeal documents on a flash drive (planning staff will upload materials during filing and return the flash drive to you) or a CD (which will remain in the file). The following items must be saved as individual PDFs and labeled accordingly (e.g. "Appeal Form.pdf", "Justification/Reason Statement.pdf", or "Original Determination Letter.pdf" etc.). No file should exceed 9.8 MB in size.

##### c. Appeal Fee

- ☐ Original Applicant - A fee equal to 85% of the original application fee, provide a copy of the original application receipt(s) to calculate the fee per LAMC Section 19.01B 1.  
☐ Aggrieved Party - The fee charged shall be in accordance with the LAMC Section 19.01B 1.

##### d. Notice Requirement

- ☐ Mailing List - All appeals require noticing per the applicable LAMC section(s). Original Applicants must provide noticing per the LAMC  
☐ Mailing Fee - The appeal notice mailing fee is paid by the project applicant, payment is made to the City Planning's mailing contractor (BTC), a copy of the receipt must be submitted as proof of payment.



## SPECIFIC CASE TYPES - APPEAL FILING INFORMATION

### C. DENSITY BONUS / TRANSIT ORIENTED COMMUNITES (TOC)

#### 1. Density Bonus/TOC

Appeal procedures for Density Bonus/TOC per LAMC Section 12.22.A 25 (g) f.

##### NOTE:

- Density Bonus/TOC cases, only the *on menu or additional incentives* items can be appealed.
- Appeals of Density Bonus/TOC cases can only be filed by adjacent owners or tenants (must have documentation), and always only appealable to the Citywide Planning Commission.
- ☐ Provide documentation to confirm adjacent owner or tenant status, i.e., a lease agreement, rent receipt, utility bill, property tax bill, ZIMAS, drivers license, bill statement etc.

### D. WAIVER OF DEDICATION AND OR IMPROVEMENT

Appeal procedure for Waiver of Dedication or Improvement per LAMC Section 12.37 I.

##### NOTE:

- Waivers for By-Right Projects, can only be appealed by the owner.
- When a Waiver is on appeal and is part of a master land use application request or subdivider's statement for a project, the applicant may appeal pursuant to the procedures that governs the entitlement.

### E. TENTATIVE TRACT/VESTING

#### 1. Tentative Tract/Vesting - Appeal procedure for Tentative Tract / Vesting application per LAMC Section 17.54 A.

NOTE: Appeals to the City Council from a determination on a Tentative Tract (TT or VTT) by the Area or City Planning Commission must be filed within 10 days of the date of the written determination of said Commission.

- ☐ Provide a copy of the written determination letter from Commission.

### F. BUILDING AND SAFETY DETERMINATION

- ☐ 1. Appeal of the Department of Building and Safety determination, per LAMC 12.26 K 1, an appellant is considered the **Original Applicant** and must provide noticing and pay mailing fees.

#### a. Appeal Fee

- ☐ Original Applicant - The fee charged shall be in accordance with LAMC Section 19.01B 2, as stated in the Building and Safety determination letter, plus all surcharges. (the fee specified in Table 4-A, Section 98.0403.2 of the City of Los Angeles Building Code)

#### b. Notice Requirement

- ☐ Mailing Fee - The applicant must pay mailing fees to City Planning's mailing contractor (BTC) and submit a copy of receipt as proof of payment.

- ☐ 2. Appeal of the Director of City Planning determination per LAMC Section 12.26 K 6, an applicant or any other aggrieved person may file an appeal, and is appealable to the Area Planning Commission or Citywide Planning Commission as noted in the determination.

#### a. Appeal Fee

- ☐ Original Applicant - The fee charged shall be in accordance with the LAMC Section 19.01 B 1 a.

#### b. Notice Requirement

- ☐ Mailing List - The appeal notification requirements per LAMC Section 12.26 K 7 apply.
- ☐ Mailing Fees - The appeal notice mailing fee is made to City Planning's mailing contractor (BTC), a copy of receipt must be submitted as proof of payment.



## G. NUISANCE ABATEMENT

### 1. Nuisance Abatement - Appeal procedure for Nuisance Abatement per LAMC Section 12.27.1 C 4

NOTE:

- Nuisance Abatement is only appealable to the City Council.

#### a. Appeal Fee

☐ Aggrieved Party the fee charged shall be in accordance with the LAMC Section 19.01 B 1.

### 2. Plan Approval/Compliance Review

Appeal procedure for Nuisance Abatement Plan Approval/Compliance Review per LAMC Section 12.27.1 C 4.

#### a. Appeal Fee

☐ Compliance Review - The fee charged shall be in accordance with the LAMC Section 19.01 B.

☐ Modification - The fee shall be in accordance with the LAMC Section 19.01 B.

## NOTES

*A Certified Neighborhood Council (CNC) or a person identified as a member of a CNC or as representing the CNC may not file an appeal on behalf of the Neighborhood Council; persons affiliated with a CNC may only file as an individual on behalf of self.*

**Please note** that the appellate body must act on your appeal within a time period specified in the Section(s) of the Los Angeles Municipal Code (LAMC) pertaining to the type of appeal being filed. The Department of City Planning will make its best efforts to have appeals scheduled prior to the appellate body's last day to act in order to provide due process to the appellant. If the appellate body is unable to come to a consensus or is unable to hear and consider the appeal prior to the last day to act, the appeal is automatically deemed denied, and the original decision will stand. The last day to act as defined in the LAMC may only be extended if formally agreed upon by the applicant.

This Section for City Planning Staff Use Only		
Base Fee:	Reviewed & Accepted by (DSC Planner):	Date:
Receipt No:	Deemed Complete by (Project Planner):	Date:
<input type="checkbox"/> Determination authority notified		<input type="checkbox"/> Original receipt and BTC receipt (if original applicant)



## JUSTIFICATION

I do believe that affordable housing will cause my property value to decline because I'm an adjacent homeowner. I disagree with their decision, and I hope that they will reconsider. In my opinion the Transit Oriented Communities Affordable Housing Incentive Program should not had been approved.

The apartment that will be built next to my home will consist of 43 units of which 5 units will be for low income households and six stories. It will be located at 1537 Cambria Street. The Stuart Hotel has four stories, and it's on Union Ave. I will be surrounded by two buildings on each side. They will block the sun from shining on my home. Then too, they will make me feel blocked in. My only view will be the alley which is in back of my home. I won't want to go outside because I will feel like everyone is watching me from the balcony or from the roof deck. I won't have any privacy.

I understand that they want to build more affordable housing for low income households. However, I don't like the property design. The building will be too close to my home. I will probably be able to hear them talk and play their loud music. If they smoke cigarette or Marijuana, I will be able to smell it, when the smoke comes in through my bedroom window. Since I have allergies, I will feel sick and probably end up at the ER specially when the demolition and construction starts.

We have security cameras, brighter lights, and iron gates on our property because we had to deal with the homeless. The only way that we will feel secure now around our home will be if the Cambria Terrace apartment has security cameras, a security guard, and iron gates around the building. We don't want people jumping over our fence and trespassing. Unfortunately, a few of the tenants that will be moving in one day may be drug addicts, mentally ill, and have a criminal record. It's these types of individuals that make it dangerous to live in the area.

The new apartment will only have parking for 22 vehicles, I hope that they won't choose to park in the alley or in front of my garage when they can't find parking on the street. There are two apartments that are on Cambria Street that were designed with no parking. We currently have more foot traffic on our street because people are moving into the area, yet there isn't enough vehicular parking spaces. It has been reported that the average American households have roughly two vehicles. I can't understand why they think that more people will choose to ride their bike, the bus, or take the metro.

I'm annoyed because I was just notified a few days ago about building project. I would have preferred to be able to attend a meeting first. I would have been given the opportunity to ask questions and to voice all my concerns. I suggest that going forward building affordable housing be something that is shared with the adjacent owners ASAP.



Signature



ate





## APPLICATIONS:

# APPEAL APPLICATION

## Instructions and Checklist

**Related Code Section:** Refer to the City Planning case determination to identify the Zone Code section for the entitlement and the appeal procedure.

**Purpose:** This application is for the appeal of Department of City Planning determinations authorized by the Los Angeles Municipal Code (LAMC).

### A. APPELLATE BODY/CASE INFORMATION

#### 1. APPELLATE BODY

- ☐ Area Planning Commission   ☐ City Planning Commission   ☐ City Council   ☐ Director of Planning  
☐ Zoning Administrator

Regarding Case Number: DIR-2021-643-TOC-MCA

Project Address: 1537, 1539, 1541, 1543 West Cambria Street

Final Date to Appeal: October 5, 2022

#### 2. APPELLANT

**Appellant Identity:**  
(check all that apply)

- ☐ Representative  
☐ Applicant

- ☐ Property Owner  
☐ Operator of the Use/Site

☒ Person, other than the Applicant, Owner or Operator claiming to be aggrieved

☐ Person affected by the determination made by the **Department of Building and Safety**

- ☐ Representative  
☐ Applicant

- ☐ Owner  
☐ Operator

☐ Aggrieved Party

#### 3. APPELLANT INFORMATION

Appellant's Name: Pilar Pugh

Company/Organization: \_\_\_\_\_

Mailing Address: 1535 Cambria Street

City: Los Angeles State: CA Zip: 90017

Telephone: 213-595-6031 E-mail: pilar.pugh@aol.com

a. Is the appeal being filed on your behalf or on behalf of another party, organization or company?

☒ Self   ☐ Other: \_\_\_\_\_

b. Is the appeal being filed to support the original applicant's position?   ☐ Yes   ☒ No



#### 4. REPRESENTATIVE/AGENT INFORMATION

Representative/Agent name (if applicable): \_\_\_\_\_

Company: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### 5. JUSTIFICATION/REASON FOR APPEAL

a. Is the entire decision, or only parts of it being appealed? ☒ Entire ☐ Part

b. Are specific conditions of approval being appealed? ☐ Yes ☒ No

If Yes, list the condition number(s) here: \_\_\_\_\_

Attach a separate sheet providing your reasons for the appeal. Your reason must state:

- ☒ The reason for the appeal ☒ How you are aggrieved by the decision  
☒ Specifically the points at issue ☒ Why you believe the decision-maker erred or abused their discretion

#### 6. APPLICANT'S AFFIDAVIT

I certify that the statements contained in this application are complete and true:

Appellant Signature: D. Alarcon Pugh Date: 9/28/2022

#### GENERAL APPEAL FILING REQUIREMENTS

#### B. ALL CASES REQUIRE THE FOLLOWING ITEMS - SEE THE ADDITIONAL INSTRUCTIONS FOR SPECIFIC CASE TYPES

##### 1. Appeal Documents

a. **Three (3) sets** - The following documents are required for each appeal filed (1 original and 2 duplicates)  
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☐ Justification/Reason for Appeal  
☐ Copies of Original Determination Letter

##### b. Electronic Copy

- ☐ Provide an electronic copy of your appeal documents on a flash drive (planning staff will upload materials during filing and return the flash drive to you) or a CD (which will remain in the file). The following items must be saved as individual PDFs and labeled accordingly (e.g. "Appeal Form.pdf", "Justification/Reason Statement.pdf", or "Original Determination Letter.pdf" etc.). No file should exceed 9.8 MB in size.

##### c. Appeal Fee

- ☐ Original Applicant - A fee equal to 85% of the original application fee, provide a copy of the original application receipt(s) to calculate the fee per LAMC Section 19.01B 1.  
☐ Aggrieved Party - The fee charged shall be in accordance with the LAMC Section 19.01B 1.

##### d. Notice Requirement

- ☐ Mailing List - All appeals require noticing per the applicable LAMC section(s). Original Applicants must provide noticing per the LAMC  
☐ Mailing Fee - The appeal notice mailing fee is paid by the project applicant, payment is made to the City Planning's mailing contractor (BTC), a copy of the receipt must be submitted as proof of payment.



**SPECIFIC CASE TYPES - APPEAL FILING INFORMATION**

**C. DENSITY BONUS / TRANSIT ORIENTED COMMUNITES (TOC)**

**1. Density Bonus/TOC**

Appeal procedures for Density Bonus/TOC per LAMC Section 12.22.A 25 (g) f.

**NOTE:**

- Density Bonus/TOC cases, only the *on menu or additional incentives* items can be appealed.
- Appeals of Density Bonus/TOC cases can only be filed by adjacent owners or tenants (must have documentation), and always only appealable to the Citywide Planning Commission.
- ☒ Provide documentation to confirm adjacent owner or tenant status, i.e., a lease agreement, rent receipt, utility bill, property tax bill, ZIMAS, drivers license, bill statement etc.

**D. WAIVER OF DEDICATION AND OR IMPROVEMENT**

Appeal procedure for Waiver of Dedication or Improvement per LAMC Section 12.37 I.

**NOTE:**

- Waivers for By-Right Projects, can only be appealed by the owner.
- When a Waiver is on appeal and is part of a master land use application request or subdivider's statement for a project, the applicant may appeal pursuant to the procedures that governs the entitlement.

**E. TENTATIVE TRACT/VESTING**

**1. Tentative Tract/Vesting** - Appeal procedure for Tentative Tract / Vesting application per LAMC Section 17.54 A.

NOTE: Appeals to the City Council from a determination on a Tentative Tract (TT or VTT) by the Area or City Planning Commission must be filed within 10 days of the date of the written determination of said Commission.

- ☐ Provide a copy of the written determination letter from Commission.

**F. BUILDING AND SAFETY DETERMINATION**

- ☐ **1. Appeal of the Department of Building and Safety determination, per LAMC 12.26 K 1, an appellant is considered the **Original Applicant** and must provide noticing and pay mailing fees.**

**a. Appeal Fee**

- ☐ Original Applicant - The fee charged shall be in accordance with LAMC Section 19.01B 2, as stated in the Building and Safety determination letter, plus all surcharges. (the fee specified in Table 4-A, Section 98.0403.2 of the City of Los Angeles Building Code)

**b. Notice Requirement**

- ☐ Mailing Fee - The applicant must pay mailing fees to City Planning's mailing contractor (BTC) and submit a copy of receipt as proof of payment.

- ☐ **2. Appeal of the Director of City Planning determination per LAMC Section 12.26 K 6, an applicant or any other aggrieved person may file an appeal, and is appealable to the Area Planning Commission or Citywide Planning Commission as noted in the determination.**

**a. Appeal Fee**

- ☐ Original Applicant - The fee charged shall be in accordance with the LAMC Section 19.01 B 1 a.

**b. Notice Requirement**

- ☐ Mailing List - The appeal notification requirements per LAMC Section 12.26 K 7 apply.
- ☐ Mailing Fees - The appeal notice mailing fee is made to City Planning's mailing contractor (BTC), a copy of receipt must be submitted as proof of payment.



## G. NUISANCE ABATEMENT

### 1. Nuisance Abatement - Appeal procedure for Nuisance Abatement per LAMC Section 12.27.1 C 4

NOTE:

- Nuisance Abatement is only appealable to the City Council.

#### a. Appeal Fee

- ☐ Aggrieved Party the fee charged shall be in accordance with the LAMC Section 19.01 B 1.

### 2. Plan Approval/Compliance Review

Appeal procedure for Nuisance Abatement Plan Approval/Compliance Review per LAMC Section 12.27.1 C 4.

#### a. Appeal Fee

- ☐ Compliance Review - The fee charged shall be in accordance with the LAMC Section 19.01 B.
- ☐ Modification - The fee shall be in accordance with the LAMC Section 19.01 B.

## NOTES

*A Certified Neighborhood Council (CNC) or a person identified as a member of a CNC or as representing the CNC may not file an appeal on behalf of the Neighborhood Council; persons affiliated with a CNC may only file as an individual on behalf of self.*

**Please note** that the appellate body must act on your appeal within a time period specified in the Section(s) of the Los Angeles Municipal Code (LAMC) pertaining to the type of appeal being filed. The Department of City Planning will make its best efforts to have appeals scheduled prior to the appellate body's last day to act in order to provide due process to the appellant. If the appellate body is unable to come to a consensus or is unable to hear and consider the appeal prior to the last day to act, the appeal is automatically deemed denied, and the original decision will stand. The last day to act as defined in the LAMC may only be extended if formally agreed upon by the applicant.

This Section for City Planning Staff Use Only		
Base Fee:	Reviewed & Accepted by (DSC Planner):	Date:
Receipt No:	Deemed Complete by (Project Planner):	Date:
<input type="checkbox"/> Determination authority notified		<input type="checkbox"/> Original receipt and BTC receipt (if original applicant)



## JUSTIFICATION

Transit Oriented Communities Affordable Housing Incentive Program was approved with conditions. It also has three additional incentives. I disagree with their final decision. I hope that the decision-maker will reconsider. They didn't consider how this would negatively impact me as a homeowner. My two story home will be next to the Cambria Terrace apartment building that will consist of 43 units and six stories. Then, the affordable Aria apartment which is across the street from my home is 5 stories, and it was built a few years ago. I do believe that affordable housing will cause my property value to decline.

I have been living in my home with my family for 50 years. What I liked the most was walking down my street and looking at the beautiful Victorian homes built around 1837 to 1901. This craftsman homes are charming and have character which makes them unique and stand out among these new apartments being built today in the City of Los Angeles. I'm a bit sad because I don't agree with all the changes taking place on my block. I feel like I'm being pushed out of my home. They expect me to put my home up for sale, so they can build more affordable housing for low income households.

There has been a few individuals that would like to buy my home. They find Victorian houses like mine to be desirable especially when they are restored to their original condition. If they continue to demolish these homes that were built over 100 years ago, they will only have apartments like Aria and the one that will be located at 1537 Cambria Street to move into. I don't think that they enhance our community's image. Then too, those that were hoping to be able to own a home in Los Angeles one day won't have that option anymore.

My privacy will be invaded when I'm relaxing in my backyard. The tenants will be hanging out on their balconies or on the 2 roof decks. We will be deprived of the sun shine that used to come in through the side windows facing the building. We like to leave the windows and doors open during the day in the summer, so the air coming from all four sides will help keep the entire house cool. We will now have air restrictions. Unfortunately, I don't have a central AC in my home. My view will be limited, and I don't want to be looking at the alley behind my home all day long.

In my opinion the property and the building design does not work well with my adjacent property and Victorian house. They want to reduce the open space from 4,550 square feet to 3,487.5 square feet. Then too, I don't agree with the reduction of the side yard going from 9 feet to 6 feet 3.5 inches. I don't think that there will be enough space between the new apartment and my house. I don't want to imagine what would happen if there was a fire that started next door and spread to my property. That already happened many years ago. My garage burned down to the ground within seconds. My house was built in the early 1900's. Therefore, I don't have home fire sprinklers like the new homes are required to today.

We can hear the Aria's tenants scream late at night when they are fighting and throwing furniture around. Also, when they are playing their music excessively loud early in the morning. I worry that the same thing will happen when the construction of the new building is completed, and they start moving in. It will have 5 units that will be available for extremely low income household occupancy. The situation will be worse in this case because the loud noise will be coming from the apartment that will be too close to our property and not across the street. Therefore, they will keep us awake all night long because our 3 bedrooms will be on the side next to the building. What they will be caught doing is known as disturbing the peace. Unfortunately, we will be dealing with this situation for a long time because we have the demolition and construction stages first.

Since the affordable Aria apartment was built, we worry about our safety because crime has gone up. The police can't protect us on our property. Therefore, we have been forced to install security cameras, brighter lights, and iron gates. The only way that we will feel secure now around our home will be if the Cambria Terrace apartment has security cameras, a security guard, and iron gates around the building. We don't want people jumping over our chain link fence and trespassing. Unfortunately, a few of the tenants that will be moving in one day may be drug addicts, mentally ill, and have a criminal record. It's these type of individuals that make it dangerous to live in the area.

The apartment will only have parking for 22 vehicles. Therefore, those without a parking space will have to park their vehicles on the street. First, they will have to fight for it with the tenants from the Aria apartment because their building doesn't have any parking. I believe that every unit needs to have their own vehicular parking space because not everyone will be riding a bicycle, the bus, or taking the metro to work or to school. There will be traffic related air pollution.

I feel like I was treated unfairly because I wasn't given the opportunity to be heard first. My opinion does matter, and I can make great contributions and suggestions too. Also, I could have told you in advance all of my concerns. I request that the Department of Building & Safety not issue any permits until we are able to attend a meeting where we would be able to obtain more information and be able to ask questions regarding the building project. I suggest that building affordable housing should be discussed with those adjacent owners immediately.

 9/28/2022  
Signature Date