



DEPARTMENT OF CITY PLANNING

RECOMMENDATION REPORT

North Valley Area Planning Commission

Date:	July 6, 2023	Case No.:	APCNV-2017-1102-ZC
Time:	After 4:30 p.m.	CEQA No.	ENV-2017-1101-CE
Place:	Marvin Braude San Fernando Valley Constituent Service Center 6262 Van Nuys Boulevard, 1st Floor Conference Room Van Nuys, CA 91401	Incidental Cases:	N/A
		Related Cases:	VTT-74873-SL
		Council No.:	6
		Plan Area:	Mission Hills-Panorama City-North Hills N/A
		Geographic Overlay:	
		Certified NC:	North Hills East
Public Hearing:	December 8, 2020	GPLU:	Low Medium I Residential
Appeal Status:	Zone Change appealable to City Council if denied	Zone:	RA-1
		Applicant:	Edmond and Roubina Manouchehri
Expiration Date:	July 7, 2023	Representative:	Oscar Ensafi Approved Plans Inc.
Multiple Approval:	Yes		

PROJECT LOCATION: 8553 N. Noble Avenue

PROPOSED PROJECT: The construction, use, and maintenance of six approximately 3,111 square foot residential structures, 26.5 feet in height and two stories, on a 31,868 (gross) square foot lot in the RA-1 Zone (with a requested Zone Change herein to RD5-1). As proposed, each 3,111 square foot structure will include a 2,077 square foot single-family dwelling and a 1,034 square foot attached accessory dwelling unit. Each structure will be constructed with a two-car garage for the single-family dwelling and a tandem parking space for the accessory dwelling unit. The applicant proposes to demolish an existing approximately 1,770 square foot single-family residence. There are 16 trees on the subject site, including one protected California Black Walnut tree. All of the trees on site are proposed to be removed. Less than 500 cubic yards of grading is proposed.

REQUESTED ACTION(S): 1. Pursuant to CEQA Guidelines Section 15332 (Class 32) find that the Project is Exempt from CEQA and that there is no substantial evidence

demonstrating than an exception to a categorical exemption pursuant to CEQA Guidelines Section 15300.2 applies.

2. Pursuant to Los Angeles Municipal Code ("LAMC") Section 12.32 F, approve a Zone Change from RA-1 over the entire site to RD5-1.

RECOMMENDED ACTIONS:

1. **FIND**, based on the whole of the administrative record, the project is exempt from CEQA pursuant to CEQA Guidelines Section 15332 (Class 32), and there is no substantial evidence demonstrating that an exemption to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies; and
2. **APPROVE AND RECOMMEND** that the City Council adopt a Zone Change from RA-1 to (T)(Q)RD5-1 over the entire site; and
3. **ADOPT** the attached Findings.

VINCENT P. BERTONI, AICP
Director of Planning

Blake Lamb

Blake Lamb
Principal City Planner

Claudia Rodriguez

Claudia Rodriguez
Senior City Planner

Laura Frazin Steele

Laura Frazin Steele
City Planner

BL:CR:LFS

ADVICE TO PUBLIC: *The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the Planning Commission Secretariat, 200 North Spring Street, Room 272, Los Angeles, CA 90012 (Phone No. 213-978-1300). While all written communications are given to the Commission for consideration, the initial packets are sent the week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendaized herein, or in written correspondence on these matters delivered to this agency at or prior to the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to the programs, services, and activities. Sign language interpreters, Communication Access Real-Time Transcription (CART), Assistive Listening Devices, or other auxiliary aids and/or services may be provided upon request. To ensure availability, you are advised to make your request at least 72 hours prior to the meeting you wish to attend. Due to difficulties in securing Sign Language Interpreters, five or more business days' notice is strongly recommended. For additional information, please contact the Commission Secretariat (213) 978-1300.

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PROJECT ANALYSIS

Project Summary

The applicant is proposing the construction, use, and maintenance of six approximately 3,111 square foot residential structures, 26.5 feet in height and two stories, on a 31,868 (gross) square foot lot in the RA-1 Zone (with a requested Zone Change herein to RD5-1). As proposed, each 3,111 square foot structure will include a 2,077 square foot single-family dwelling and a 1,034 square foot attached accessory dwelling unit (ADU). As proposed, each structure will be constructed with a two-car garage for the single-family dwelling and a tandem parking space for the accessory dwelling unit. The subject site is currently developed with an approximately 1,770 square foot one-story single-family dwelling that is proposed to be demolished. There are 16 trees on the subject site, including one protected California black walnut tree. All of the trees on site are proposed to be removed. Less than 500 cubic yards of grading is proposed.

To achieve the proposed project, the applicant is requesting a Zone Change from the current RA-1 Zoning to RD5-1 over the entire site pursuant to LAMC Section 12.32 F. Under related Case No. VTT-74873-SL, the applicant was conditionally approved for the subdivision of one 31,868 (gross) square foot lot into six small lots pursuant to LAMC Sections 17.15 and 12.22 C.27.

Background

The subject site is a level, rectangular shaped lot consisting of 31,868 gross square feet of lot area. The site is located within the Mission Hills-Panorama City-North Hills Community Plan area, with a land use designation of Low Medium I Residential and is requested to be rezoned from RA-1 to RD5-1. The Low Medium I Residential land use designation corresponds to the R2, RD3, RD4, RD5, RD6, RZ3, RZ4, RU, and RW1 Zones. The General Plan Map Footnote No. 7 states:

There shall be no multiple residential development which exceed the density of the adjacent or surrounding residential density unless appropriately conditioned by the City Planning Commission and/or City Council to mitigate adverse impacts and to assure development harmonious and compatible with the surrounding neighborhood.

The current RA-1 Zoning permits a maximum of one single-family dwelling per 17,500 square feet of lot area and does not permit small lot subdivisions pursuant to LAMC Section 12.22 C.27. The applicant is requesting herein a Zone Change to RD5-1, which does allow small lot subdivisions. In the RD5 Zone, a minimum lot area of 10,000 square feet is required. A minimum lot area of 5,000 square feet per dwelling unit is required in the RD5 Zone, which would allow a maximum of six dwelling units at the subject 31,868 gross square foot site if there is sufficient lot area after dedications and improvements are made. Accessory dwelling units (ADUs) are reviewed and approved under a separate ministerial permit pursuant to LAMC Section 12.22 A.33 and State law.

As shown in Figure 1, the subject site is located on the west side of N. Noble Avenue between Parthenia Street to the north and Chase Street to the south. At its southwest corner, the subject site abuts Wisner Avenue. Wisner Avenue dead ends along the southwestern property line of the subject site. A 20 foot alley lies approximately 370 feet to the north of the subject site. The subject site is located between Norwich Avenue (which ends in a cul-de-sac) to the east and Burnet Avenue to the west. The subject site has approximately 121 feet of frontage along N. Noble Avenue and has a depth of approximately 300 feet.

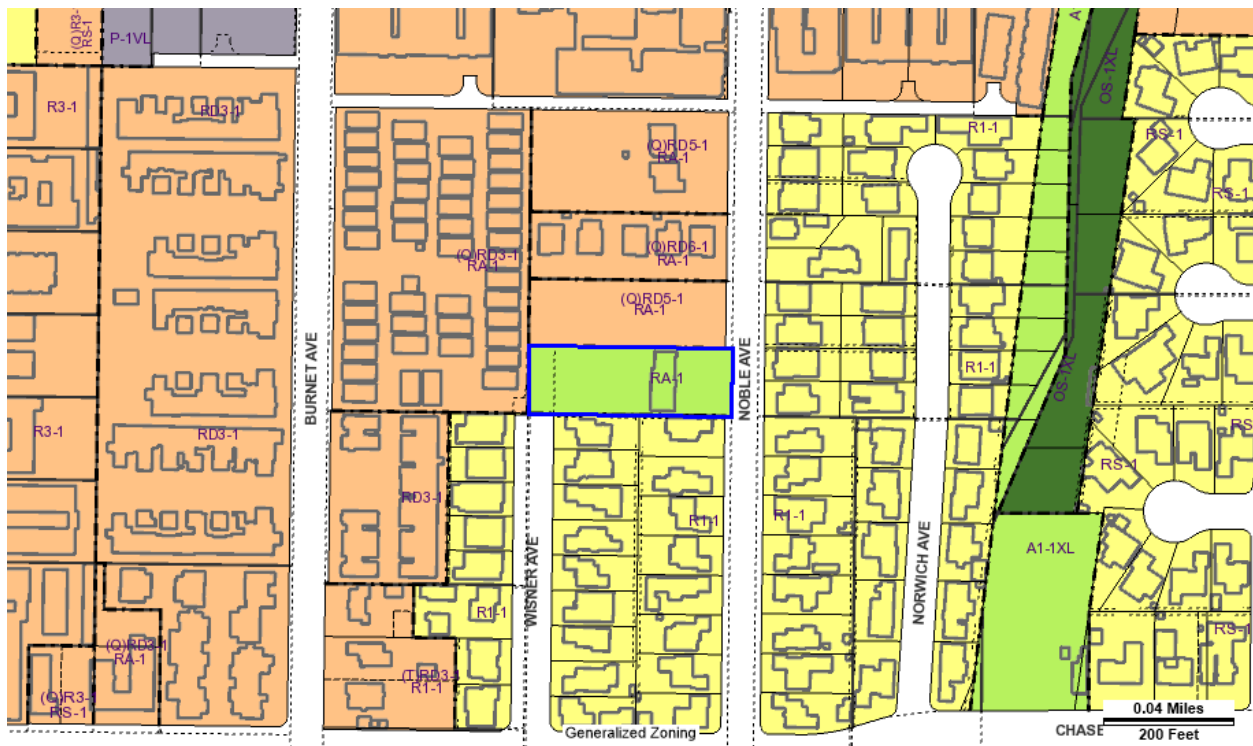


FIGURE 1. ZIMAS MAP

The subject site is currently developed with an approximately one-story, 1,770 square foot single-family residence developed in 1953. The existing single-family dwelling will be demolished to achieve the proposed project. There are 16 trees on the subject site, including one protected California black walnut tree. A Protected Tree Report dated April 9, 2017 was prepared by James Komen, Class One Arboriculture Inc., and is attached to the subject case file. The Protected Tree Report identifies the removal of one California black walnut tree in fair health at the northerly portion of the subject site. The report recommends the planting of four 24-inch box coast live oak trees to replace the California black walnut tree. The Protected Tree Report is unclear regarding the removal of the 15 non-protected trees on the subject site and at the boundary of the public right-of-way. However, based on the design of the proposed project, it appears that all or most of these 15 trees are subject to removal. The project will be subject to Regulatory Compliance Measures (RCMs), which require approval of a Protected Tree Report by the Department of Urban Forestry for the removal of any street tree or protected tree, as well as minimum tree replacement ratios (i.e., minimum 24-inch box size) of 1:1 for significant, non-protected trees, and 4:1 for protected trees. The Protected Tree Report identifies a California black walnut tree on an abutting lot to the south. Furthermore, the Protected Tree Report includes the recommendation that the existing block wall at the southerly property line remain in place to serve as an adequate barrier between construction activity and the California black walnut tree on the abutting lot to the south. The Protected Tree Report also recommends that no construction activity take place on the southern side of the wall within the drip line of the California black walnut tree. Finally, the Protected Tree Report recommends that the project arborist be informed with 24 hours of any injury to the California black walnut tree on the abutting lot to the south during project construction so that the tree may be evaluated and treated.

Surrounding Land Uses

As shown in Figure 2, the surrounding area is developed with multi- and single-family residential uses. The property to the north of the subject site is designated Low Medium I Residential, zoned (Q)RD5-1 and (Q)RD6-1, and is developed with two-story multi-family residential dwelling units. To the northwest and west, properties are also designated Low Medium I Residential, zoned (Q)RD3-1, and are developed with multi-family residential dwelling units. To the south and east, properties are zoned R1-1, designated Low Residential, and are developed with one- and two-story single-family dwellings.

Noble Avenue Elementary School is located at the northwest corner of Roscoe Boulevard and Noble Avenue approximately 0.2 miles south of the subject site. Vista Middle School is located approximately 0.4 miles south of the subject site at the intersection of Roscoe Boulevard and Noble Avenue.



FIGURE 2. AERIAL VIEW

Street Designations and General Circulation

N. Noble Avenue – Noble Avenue is designated a Local Street – Standard by the Mobility Plan 2035. Noble Avenue has a designated right-of-way width of 60 feet and a designated roadway width of 36 feet. Noble Avenue is improved with a curb, gutter, and sidewalk along the length of the block, with the exception of the subject site, where there is no sidewalk.

Wisner Avenue – The Mobility Plan 2035 designates Wisner Avenue a Local Street – Standard, with a designated right-of-way width of 60 feet and a designated roadway width of 36 feet. Wisner Avenue is improved with a curb, gutter, and sidewalk.

Burnet Avenue – is designated a Collector by the Mobility Plan 2035 with a designated right-of-way width of 66 feet and a designated roadway width of 40 feet. Burnet Avenue is improved with a curb, gutter, and sidewalk.

Chase Avenue is designated a Collector by the Mobility Plan 2035. Chase Avenue has a designated right-of-way width of 66 feet and a designated roadway width of 40 feet. Chase Avenue is partially improved with a curb and sidewalk.

Parthenia Street is designated a Boulevard II and has a designated right-of-way width of 110 feet and a designated roadway width of 80 feet. Parthenia Street is divided in the center and is improved with a curb, gutter, and sidewalk.

Alley – An approximately 20 foot in width irregular-shaped alley lies approximately 350 feet north of the subject site and runs in an east-west direction parallel to the subject site.

Relevant Cases

ON-SITE:

TT-48483-SF: On October 19, 1990, the Advisory Agency approved a tentative tract for a six lot single-family subdivision located at 8553 and 8559 N. Noble Avenue. The tract was not effectuated and has since expired.

Ordinance No. 165,873: Ordinance No. 165,873 became effective on June 23, 1990 for a Zone Change from RA-1 to (T)R1-1 for two lots located at 8553 and 8559 N. Noble Avenue to construct four single-family dwellings in addition to the two single-family dwellings currently on the subject site. The Zone Change to (T)R1-1 was not effectuated, and on April 14, 2004, Ordinance No. 165,873 expired and the two lots reverted back to the underlying RA-1 Zone (Case No. CPC-1989-728-ZC).

Permit No. VN 50290-60: On July 18, 1963, a Certificate of Occupancy was issued for a one-story storage building converted from a dwelling at 8553 N. Noble Avenue.

Permit No. VN 50289-1960: On April 28, 1961, a Certificate of Occupancy was issued for a one-story single-family dwelling and attached garage at 8553 N. Noble Avenue.

OFF-SITE:

Ordinance No. 183,349: Effective January 7, 2015, the City Council approved a Zone Change from RS-1 to (T)(Q)R3-1 and from [Q]C2-1VL to (T)(Q)RAS4-1VL, a Zone Variance for density averaging across two zones and access from a more restrictive to a less restrictive zone, and yard adjustments at 15230 Parthenia Street (Case No. APCNV-2014-1658-ZC-ZV-ZAA).

Ordinance No. 181,772: Effective August 17, 2011, the City Council approved a Zone Change from R1-1 to (T)(Q)RD5-1 at 8350 Kester Avenue (Case No. APCNV-2010-1637-

ZC-ZAA). Under related Case No. VTT-71151-SL, the Deputy Advisory Agency approved a small lot subdivision for a maximum of five lots effective August 17, 2011.

AA-2008-4967-PMLA – On February 17, 2010, the Deputy Advisory Agency approved a four lot parcel map at 8342 Kester Avenue.

Ordinance No. 180,271: Effective November 16, 2008, the City Council approved a Zone Change from RA-1 to (T)(Q)RD5-1 for four detached residential units at 14859 W. Thai Court (Case No. APCNV-2007-3418-ZC).

Ordinance No. 179,154: On August 27, 2007, the City Council adopted a General Plan Amendment from Low Residential to Low Medium I Residential, approved a Zone Change from RA-1 to (T)(Q)RD5-1 and an adjustment to permit 10 dwelling units in lieu of the maximum permitted nine units, and acted on associated actions (fence/wall height, space between buildings) under Case No. CPC-2006-653-GPA-ZC-ZAA-ZAD for the site located at 8621 N. Noble Avenue.

Ordinance No. 178,121: Effective January 13, 2007, the City Council approved a Zone Change from RS-1 to (T)(Q)R3-1 at 8400 N. Columbus Avenue (Case No. APCNV-2004-2760-ZC). Under related Case No. TT-61086, the Deputy Advisory Agency approved a subdivision to create five residential condominiums on March 23, 2005.

Ordinance No. 177,126: On November 2, 2005, the City Council adopted a General Plan Amendment from Low Density Residential to Low Medium I Residential and approved a Zone Change from RA1-1 to (T)(Q)RD5-1 to construct six detached residential condominiums under Case No. CPC-2004-4181-ZC-GPA-ZAA for the property located at 8601 N. Noble Avenue. The subdivision of land was approved by the Advisory Agency on February 15, 2005 under Case No. TT-61682.

Ordinance No. 175,840: The City Council approved Ordinance No. 175,840 effective April 17, 2004, for a Zone Change from RA-1 to (T)(Q)RD6-1 for the property located at 8619 N. Noble Avenue under Case No. APCNV-2003-4023-ZC.

Ordinance No. 174,139: On July 18, 2001, the City Council adopted a General Plan Amendment from Low Density Residential to Low Medium I Density Residential and approved a Zone Change from RA-1 to (T)(Q)RD3-1 and acted on associated actions (fence height) to construct 47 detached residential condominium units at 8554 Burnet Avenue under Case No. CPC-2001-5472-ZC-GPA-F.

Ordinance No. 168,307: Effective November 30, 1992, the City Council approved a Zone Change from RA-1VL to (T)(Q)C2-1VL and a building line removal under Ordinance No. 168,308 at 15205 W. Roscoe Boulevard (Case No. CPC-1992-207-ZC).

Reports Received

Reports were received from the Bureau of Engineering (BOE) dated November 5, 2018; Los Angeles Department of Building and Safety (LADBS), Grading Division dated October 17, 2019; LADBS, Zoning Division dated October 31, 2019; Los Angeles Department of Transportation (LADOT) dated October 1, 2018; Los Angeles Fire Department (LAFD) dated November 7, 2019; Los Angeles Department of Water and Power (LADWP) dated November 19, 2019; Bureau of Street Lighting dated October 3, 2018; Bureau of

Sanitation (LASAN) dated October 15, 2018; Bureau of Street Services, Urban Forestry Division dated November 24, 2019; and Department of Recreation and Parks dated October 24, 2018.

Density

The subject site is currently zoned RA-1, which is a Suburban Zone regulated by LAMC Section 12.07. LAMC Section 12.07 A permits single-family uses. However, LAMC Section 12.07 C.4 requires a minimum lot area of 17,500 square feet per dwelling unit at this site, thereby allowing one dwelling unit by-right on a 31,868 square foot lot. The RA Zone does not permit the development of small lot subdivisions pursuant to LAMC Section 12.22 C.27. The applicant is requesting a Zone Change to RD5-1, which does allow small lot subdivisions and this zone change is consistent with the land use designation.

In the RD5 Zone, which is a Restricted Density Multiple Dwelling Zone, a minimum lot area of 10,000 square feet is required pursuant to LAMC Section 12.09.1 B.4. Section 12.09.1 B.4 also requires a minimum lot area of 5,000 square feet per dwelling unit. Therefore, a maximum of six dwelling units can be developed at a 31,868 square foot site ($31,868/5,000 = 6.37$) provided that sufficient lot area is available after the required dedications and improvements are made as required by BOE. The lot area used for this calculation is gross lot area, and the applicant has not provided a calculation of net lot area based on the required dedications and improvements per the BOE memo dated November 5, 2018. Based on Planning staff preliminary calculations, it appears the net lot area may be below 30,000 square feet after dedications and improvements are made. The calculation of net lot area will need to be confirmed by LADBS based upon a recalculated net lot area that factors in BOE required dedications and improvements.

While LAMC Section 12.22 C.27 requires the density of the subdivision to comply with the minimum lot area per dwelling unit requirement established for each zone (in this case, density equals 5,000 square feet of lot area per dwelling unit), the minimum lot size of each lot is not required to be 5,000 square feet in area provided other requirements for small lot subdivisions are met (lot width, access, lot area coverage, and yard requirements). This allows the applicant to achieve the density required by the zone but also permits flexibility in site planning. The applicant's plans (see "**Exhibit A**") show Lot 1 at 4,831.6 square feet, Lot 2 at 4,651.7 square feet, Lot 3 at 5,422.7 square feet, Lot 4 at 5,422.7 square feet, Lot 5 at 4,651.7 square feet, and Lot 6 at 5,859.6 square feet.

Floor Area

Pursuant to LAMC Section 12.21.1 A, the total floor area allowed for Height District No. 1 is 3:1. The applicant's plans (See "**Exhibit A**") show a total floor area for each lot at 3,111 square feet, which is lower than the allowable 3:1 floor area. The 3,111 square foot calculation includes a 2,077 square foot single-family dwelling on each lot and a 1,034 square foot attached ADU.

Height

Pursuant to LAMC Section 12.21.1, Height District No. 1 in the RD5 Zone allows a maximum of 45 feet in height with no limit to the number of stories. As shown in "**Exhibit A**," the applicant is proposing two-story structures at 26.5 feet in height.

Open Space and Landscaping

The applicant's plans (see "**Exhibit A**") show a landscaped area in front of each unit that is designed with permeable paver (pea gravel) and drought-tolerant trees (dwarf strawberry tree, coast live oak, western redbud, catalina cherry, desert museum palo verde) and shrubs and ground cover (purple vine lilac, creeping barberry, angelina stonecrop, dwarf coyote bush, yankee point ceanothus, kurapia, and slipper plant). The landscape materials are also planted between each dwelling at the east and west side yards, and at the rear of each dwelling unit.

Yards

In accordance with Ordinance No. 176,354, the Small Lot Subdivision Ordinance that was effective when VTT-74873-SL was filed, the project provides the setbacks shown in the following matrix:

Setback Matrix				
Lot No.	Front	Rear	Side	Side
1	South 34'	North 10'	West 5'	East 4'
2	South 34'	North 10'	West 4'	East 3'3"
3	South 34'	North 10'	West 4'	East 10'
4	South 34'	North 10'	West 10'	East 4'
5	South 34'	North 10'	West 3'3"	East 4'
6	East 15'	West 4'	South 34'	North 10'

Measure JJJ – Affordability

Under Measure JJJ and Section 11.5.11, any request for a Zone Change involving 10 or more residential units is required to meet specific affordability requirements. The applicant is proposing a maximum of six residential dwelling units, and therefore, is not subject to Measure JJJ.

Parking and Access

LAMC Section 12.22 C.27 requires access to be provided to a lot containing a dwelling unit and its required parking spaces by way of a public or private street, alley, or access easement. The applicant's plans (see "**Exhibit A**") show a 20 foot wide fire lane / community access road with access on Noble Avenue at the southern property line. As shown on the applicant's plans (see "**Exhibit A**"), this access road provides a turn-around area between proposed Lots 3 and 4. A driveway connects the access road to a garage that is attached to each single-family dwelling unit. Two automobile parking spaces will be provided for each unit within the attached two-car garage.

Pursuant to LAMC Section 12.21 A.4(a), at least two automobile parking spaces for each residential unit are required. Pursuant to Assembly Bill (AB) 2097, the City of Los Angeles is prohibited from imposing or enforcing minimum parking requirements on any single-family residential development project that is located within a one-half mile radius of a

Major Transit Stop. As shown on ZIMAS, the subject site is eligible for reduced parking under AB 2097. To date, no request to utilize AB 2097 has been made by the applicant.

As previously stated, the subject site is adjacent to public transit. The Metro 152 bus runs in an east-west direction along Roscoe Boulevard 0.3 miles to the south of the project site. The Metro 166 bus runs in an east-west direction on Nordhoff Street 0.6 miles north of the subject site. The Metro 234 bus runs in a north-south direction on Sepulveda Boulevard 0.5 miles west of the subject site. The LADOT DASH bus serves the local neighborhood and stops at Sepulveda Boulevard and Parthenia Street approximately 0.5 miles west of the subject site.

Design

The proposed project was reviewed by the Urban Design Studio (UDS) on September 25, 2019 and the Professional Volunteer Program (PVP) on October 8, 2019. General comments were made in reference to the plot plan, floor plan, and elevations. Comments and suggestions were also made in the context of Pedestrian-First Orientation, 360 Degree Design, and Climate Adapted Design as referenced in the Planning Department Small Lot Design Guidelines (adopted March 22, 2018).

Urban Design Studio/PVP Comments	Applicant's Response
<i>General Comments</i>	
The following information is missing on the title page: <ul style="list-style-type: none">• Show square footage and height of all structures (main dwellings and ADUs).• Show automobile and bicycle parking required and provided.	Revised plans were provided on October 5, 2020 (" Exhibit A ") showing the square footage and height of all structures and automobile parking provided.
<i>Pedestrian-First Orientation:</i>	
<ul style="list-style-type: none">• Site plan is incomplete; clearly indicate all of the sidewalk along Noble Avenue and pedestrian walkways from the street and leading to building entrances (rather than using dots to indicate pedestrian passage).• Common access walkway needs to be visually distinct from the driveway.	Revised plans submitted on October 5, 2020, show a 10 foot wide dedication and future sidewalk on Noble Avenue and a 4 foot wide pedestrian pathway.
<ul style="list-style-type: none">• Entrances, especially to the ADUs, could use more emphasis to be legible; perhaps use porches with defined entrance elements.	There is a porch. The door is not flush with the wall.

Urban Design Studio/PVP Comments	Applicant's Response
<ul style="list-style-type: none"> • Can Wisner Street be used for access? • A one-way access through the site from Noble Avenue to Wisner Street could minimize the width of driveway/curb cuts and potentially eliminate the need for interior turn-around. This would reclaim space and allow for more generous spacing between lots. 	<p>The applicant does not intend to dedicate/improve Wisner Street as required by BOE and will work with BOE following approval of the tract map.</p>
<i>360 Degree Design</i>	
<ul style="list-style-type: none"> • Are 38 bedrooms needed? 	<p>No response.</p>
<ul style="list-style-type: none"> • Perform a square footage check with LADBS to verify that space in ADUs doesn't exceed 1,200 square feet and the ratio of square footage of the main dwelling/ADU conforms to the ordinance's requirements. 	<p>See floor area calculations on the revised plans.</p> <p>The ADU is 50 percent of the single-family dwellings.</p>
<ul style="list-style-type: none"> • Wonderful concept of adding ADUs to a small lot subdivision, but subdivision layout and design could be greatly improved. • Whole project could be improved by mirroring the site plan along the long axis, so the driveway and garages (and headlights, which will require a wall to block) would not face the single-family residences to the south; additionally, large canopy species of trees could be placed in the setback to shade buildings. 	<p>If the site plan is mirrored along the long axis there will be more privacy issues for the adjacent properties with the second floor windows of six homes. By the way, we are not building apartments.</p>
<ul style="list-style-type: none"> • Perhaps just treating the stair that shares the wall with the ADU entrance as a tower or other strong vertical element could help break up this wall. 	<p>The stair that shares the wall with the ADU is an interior stairwell and most practical way to maximize the usability of the upper floor as well.</p>
<ul style="list-style-type: none"> • Elevations and renderings are inconsistent; floor plans and elevations are inconsistent. 	<p>We think the site plans and elevations are consistent. We have a Model "A" and "B." Model "A" is the mirror of Model "B," and we checked the plan and they are correct. We believe the elevations and renderings match.</p>
<ul style="list-style-type: none"> • Show the location of trash pickup. 	<p>Trash/recycling areas are added to the site plan.</p>

Urban Design Studio/PVP Comments	Applicant's Response
<ul style="list-style-type: none"> • Orient entrance of single-family dwelling closest to Noble Avenue to face Noble Avenue. 	No response.
<ul style="list-style-type: none"> • Consider varying the treatment of materials, colors, etc., between principal residence and the ADU, for differentiation and to break down the overall mass of the buildings. 	This is not a typical small lot project. They look like typical tract homes.
<ul style="list-style-type: none"> • Perhaps the small windows will not seem so lost or randomly-placed if they are arranged within a smaller extent of the façades. 	There is a walk-in closet.
<ul style="list-style-type: none"> • What is the line on the renderings? Is it different planes? 	Roof plan provided
<ul style="list-style-type: none"> • The application of the one additional material, the siding up in the gable ends, could probably be better-used closer to ground level. 	No response.
<i>Climate-Adapted Design</i>	
<ul style="list-style-type: none"> • A landscape plan is required prior to the public hearing. • The landscape plan needs to show trees and the LID-compliance strategy for the project • Provide landscaping on both sides of the driveway with a common access walkway. • Shade should be provided at the south and particularly the west elevations; this could be through the use of canopies, awnings, etc.; large-growing species of trees could potentially provide sufficient shade. 	<p>Landscape plan provided.</p> <p>LID plan provided.</p>
<ul style="list-style-type: none"> • With so little open space remaining on site, consider providing a large balcony for the primary residences, in place of the pitched roof over the garage (these roofs will need to be carefully constructed and with a sizable cricket to avoid ponding and water damage at the interior corner; if retained show this on the elevations). 	There is a porch. A balcony will have no purpose and waterproofing will always be an issue.

Urban Design Studio/PVP Comments	Applicant's Response
<ul style="list-style-type: none">• Since the ADUs do not have a rear yard, could the ADUs be designed with balconies?	
<ul style="list-style-type: none">• Could the driveway asphalt be broken up with areas of permeable paving and greenery, to read more as a courtyard-type of environment?	No response.

Trees

The applicant filed a Protected Tree Report prepared by James Komen, Class One Arboriculture dated April 9, 2017. According to the report, there are 16 trees on the subject site, including one protected *Juglans californica* (California black walnut tree). All of the trees on site are proposed to be removed. The non-protected trees surveyed are one *Schinus mole* (California pepper), one *Punica granatum* (pomegranate), one *syzygium australe* (brush cherry), one *macadamia integrifolia* (queensland nut), one *Eriobotrya japonica* (common loquat), five *washingtonia robusta* (Mexican fan palm), one *citrus x sinensis* (orange), two *citrus sp.* (citrus), one (unknown) stump, and one *ficus elastica* (rubber). The protected species surveyed were one *Juglans californica* (California black walnut) on the northern portion of the site which is proposed for removal and one off-site *Juglans California* (California black walnut) south of the proposed community access driveway to be protected in place.

Environmental

The project was analyzed under related Case No. ENV-2017-1101-CE as the construction, use, and maintenance of six approximately 3,111 square foot residential structures, 26.5 feet in height and two stories, on a 31,868 (gross) square foot lot in the RA-1 Zone. As proposed, each 3,111 square foot structure will include a 2,077 square foot single-family dwelling and a 1,034 square foot attached accessory dwelling unit (ADU). The ADUs are subject to review and approval by LADBS under a separate permit. Each structure will be constructed with a two-car garage for the single-family dwelling and a tandem parking space for the ADU. The applicant proposes to demolish an existing approximately 1,770 square foot single-family residence. There are 16 trees on the subject site, including one protected California black walnut tree. All of the trees on site are proposed to be removed. An additional protected California black walnut tree is located off-site to the south and is proposed to be protected in place. Less than 500 cubic yards of grading is proposed.

The Zone Change entitlement and associated Vesting Tentative Tract Case No. VTT-74873-SL meets the key consideration for CEQA Guidelines Section 15332, Class 32, which consists of projects characterized as in-fill development meeting the following five conditions: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations; (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; (c) The project site has no value as habitat for endangered, rare or threatened species; (d) Approval of the project

would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (e) The site can be adequately served by all required utilities and public services.

Hearing Officer Comments

A joint public hearing for Case Nos. APCNV-2017-1102-ZC and VTT-74873-SL was conducted remotely by the Deputy Advisory Agency and Planning staff on December 8, 2020. At that time, the project applicant stated that it would not be possible to improve Wisner Avenue as recommended by the Bureau of Engineering (BOE) in their letter dated November 5, 2018. The applicant stated that providing the recommended dedication and improvements would essentially preclude the development of proposed Lot 1 abutting Wisner Avenue. The Bureau of Engineering did not revise their recommendation at the public hearing and / or following the public hearing.

Conclusion

Planning staff recommends the approval of a Zone Change from RA-1 to RD5-1 as conditioned herein to develop a small lot subdivision for a maximum of six lots. Granting the proposed Zone Change as conditioned will allow for the provision of much needed housing at an underutilized site.

CONDITIONS FOR EFFECTUATING (T) TENTATIVE CLASSIFICATION REMOVAL

Pursuant to Section 12.32 G.1 of the Municipal Code, the (T) Tentative Classification shall be removed by the recordation of a final parcel or tract map or by posting of guarantees through the B-permit process of the City Engineer to secure the following without expense to the City of Los Angeles, with copies of any approval or guarantees provided to the Department of City Planning for attachment to the subject planning case file.

1. **Bureau of Engineering.** Dedications and improvements, required pursuant to the Mobility Plan 2035, shall be made to the satisfaction of the Bureau of Engineering.
 - a. That a 10-foot wide strip of land be dedicated along Noble Avenue adjoining the tract to complete a 30-foot wide half public right-of-way in accordance with the Standard Local Street of the LA Mobility Plan.
 - b. That a minimum turning area be dedicated at the northerly terminus of Wisner Avenue within the tract area on an alignment satisfactory to the City Engineer.
 - c. That all existing public easements including the future street easement be clearly shown on the final map.
 - d. That if this tract map is approved as a Small Lot Subdivision, then if necessary for street address purposes, all the common access to this subdivision be named on the final map satisfactory to the City Engineer.
 - e. That if this tract map is approved as a Small Lot Subdivision, then the final map shall be labeled as "Small Lot Subdivision per Ordinance No. 176,354" satisfactory to the City Engineer.
 - f. That all common access easements including the vehicular access and pedestrian access easement be part of the adjoining lots.
 - g. That, if necessary, public sanitary sewer easements be dedicated on the final map based on an alignment approved by the Valley Engineering District Office.
 - h. That, if necessary, the owners of the property record an agreement satisfactory to the City Engineer that they will provide name signs for the common access driveways.
 - i. That the subdivider make a request to the Valley District Office of the Bureau of Engineering to determine the capacity of existing sewers in this area.
 - j. That all pedestrian common access easements be shown on the final map.
 - k. That improvements required pursuant to Mobility Plan 2035 will either be constructed prior to recordation of the final map or that the construction be suitably guaranteed satisfactory to the City Engineer

- 1) Improve Noble Avenue being dedicated and adjoining the subdivision by

the construction of a 5-foot wide concrete sidewalk and landscaping of the parkway; or a new 12-foot full width concrete sidewalk with tree wells including any necessary removal and reconstruction of existing improvements.

- 2) Improve the newly dedicated turning area satisfactory to the City Engineer.
- 3) Construct the necessary on-site mainline and house connection sewers satisfactory to the City Engineer.

2. Urban Forestry. Prior to the issuance of a grading permit, the applicant shall submit a tree report and landscape plan prepared by a Municipal Code-designated tree expert as designated by LAMC Ordinance No. 186,873, for approval by the City Planning Department and the Urban Forestry Division of the Bureau of Street Services. The Tree Report shall contain the Tree Expert's recommendations for the preservation of as many desirable (8 inches diameter or greater) trees as possible and shall provide species, health, and condition of all trees with tree locations plotted on a site survey. Any on-site 1:1 tree replacement shall be required for any unavoidable loss of any desirable on-site trees.

- a. A minimum of one tree (a minimum of 48 inch box in size if available) shall be planted for each one that is removed. The canopy of the oak trees planted shall be in proportion to the canopies of the oak trees removed per Ordinance No. 186,873, and to the satisfaction of the Urban Forestry Division of the Bureau of Street Services and the Advisory Agency.
- b. The applicant shall plant street trees and remove any existing trees within dedicated streets or proposed dedicated streets as required by the Urban Forestry Division of the Bureau of Street Services. Parkway tree removals shall be replanted at a 2:1 ratio. All street tree plantings shall be brought up to current standards. When the City has previously been paid for tree plantings, the subdivider or contractor shall notify the Urban Forestry Division at (213) 847-3077 upon completion of construction to expedite tree planting.
- c. All protected tree removals must be approved by the Board of Public Works. Contact the Urban Forestry Division at: (213) 847-3077.
- d. Removal or planting of any tree in the public right-of-way requires approval of the Board of Public Works. Contact the Urban Forestry Division at: (213) 847-3077 for permit information.
- e. Trees in the Public Right-of-Way. New trees planted within the public right-of-way shall be spaced not more than an average of 30 feet on center, unless otherwise permitted by the Urban Forestry Division, Bureau of Public Works. Crepe Myrtle shall not be considered appropriate in meeting this condition.

2. Department of Transportation. Satisfactory arrangements shall be made with the Department of Transportation to assure:

- a. A minimum 20-foot reservoir space is required between any security gate or parking space and the property line, to the satisfaction of DOT. Backing out onto

Noble Avenue shall be prohibited.

- b. A two-way driveway apron width of $W=28$ feet is required for the common driveway access.
 - c. A parking area and driveway plan should be submitted to the Citywide Planning Coordination Section of the Department of Transportation for approval prior to building permit plans for plan check by the Department of Building and Safety. Transportation approvals are conducted at 6262 Van Nuys Blvd., Room 320, Van Nuys, CA 91401.
3. **Fire.** Prior to the issuance of any grading or building permit, the applicant shall submit the plot plan for Fire Department review and approval.
4. **Los Angeles Department of Water and Power.** Satisfactory arrangements shall be made with the Los Angeles Department of Water and Power (LADWP) for compliance with LADWP's Water System Rules and requirements. Upon compliance with these conditions and requirements, LADWP's Water Services Organization will forward the necessary clearances to the Bureau of Engineering.
5. **Department of Recreation and Parks.** That the Park Fee paid to the Department of Recreation and Parks be calculated as a Subdivision (Quimby in-lieu) fee.

(Q) QUALIFIED CONDITIONS OF APPROVAL

Pursuant to Section 12.32 of the Los Angeles Municipal Code (LAMC), the following limitations are hereby imposed upon the use of the subject property, subject to the “Q” Qualified classification.

A. Zone Change Entitlement Conditions

1. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the applicant, stamped “**Exhibit A**” (dated October 5, 2020) and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning, Valley Project Planning Division, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the LAMC or the project conditions.
2. **Use.** The site shall be limited to the maximum density allowed by the RD5 zone.
3. **Floor Area.** The floor area for the single-family dwelling on each lot shall not exceed 2,077 square feet. Any residential floor area created by the addition of ADUs is subject to LADBS review and approval under a separate ministerial permit. In no circumstance shall the total floor area shown on the applicant’s final plans exceed 3:1.
4. **Height.** Building height shall be limited to two-stories and 26.5 feet.
5. **Automobile Parking.** Two covered automobile parking spaces shall be provided for each single-family dwelling in compliance with LAMC Section 12.21 A.4 unless the applicant requests and is approved for reduced parking under AB 2097.
6. **Bicycle Parking.** In compliance with LAMC 12.21 A.16, a minimum of two short-term bicycle parking spaces shall be provided for each single-family dwelling unit. If the applicant is approved for reduced parking under AB 2097 and does not provide a private garage for each unit, one long-term bicycle parking space shall be provided for each single-family dwelling unit.

CONDITIONS OF APPROVAL

Zone Change Entitlement Conditions

1. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the applicant, stamped “**Exhibit A**” (dated October 5, 2020) and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning, Valley Project Planning Division, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the LAMC or the project conditions.
2. **Landscape Plan.** Revised landscape plans shall be submitted to show the size and location of all plants. The landscape plan shall indicate landscape points for the Project as required by LAMC 12.40 and Landscape Ordinance Guidelines “O”. All open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be landscaped, including an automatic irrigation system, and maintained in accordance with a final landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning. The final landscape plan shall be in substantial conformance with the submitted Landscape Plans dated October 5, 2020, and stamped as “**Exhibit A.**”
3. **Tree Report.** Prior to the issuance of a grading permit, the applicant shall submit an updated tree report and landscape plan prepared by a Municipal Code-designated tree expert as designated by LAMC Ordinance No. 186,873, for approval by the City Planning Department and the Urban Forestry Division of the Bureau of Street Services. The Tree Report shall contain the Tree Expert’s recommendations for the preservation of as many desirable (8 inches diameter or greater) trees as possible and shall provide species, health, and condition of all trees with tree locations plotted on a site survey. Any on-site 1:1 tree replacement shall be required for any unavoidable loss of any desirable on-site trees. The Tree Report shall also contain conditions to preserve and protect in place the off-site California black walnut tree to the south of the site.
4. **Tree Replacement.** A minimum of one tree (a minimum of 48 inch box in size if available) shall be planted for each one that is removed and a minimum of four trees must be planted for the removal of the protected California black walnut tree. All protected tree removals must be approved by the Board of Public Works. Contact the Urban Forestry Division at (213) 847-3077.
5. **Solar-ready Buildings.** The Project shall comply with the Los Angeles Municipal Green Building Code, Section 99.05.211, to the satisfaction of the Department of Building and Safety.
6. **Solar Power.** The project shall provide photovoltaic solar panels on a minimum of 15 percent of the building’s total roof area as a part of an operational photovoltaic system to be maintained for the life of the project.
7. **Heat Island Effect.** To reduce the heat island effect, a minimum of 50 percent of the area of pathways, patios, driveways or other paved areas shall use materials with a minimum

initial Solar Reflectance value of 0.35 in accordance with ASTM (American Society of Testing Materials) standards.

8. **Greywater.** The project shall be constructed with an operable recycled water pipe system for onsite greywater use, to be served from onsite non-potable water sources such as showers, washbasins, or laundry and to be used as untreated subsurface irrigation for vegetation or for cooling equipment. The system specifics shall be required as determined feasible by the Department of Water and Power in consultation with the Department of City Planning.
9. **Stormwater/irrigation.** The project shall implement on-site stormwater infiltration as feasible based on the site soils conditions, the geotechnical recommendations, and the City of Los Angeles Department of Building and Safety Guidelines for Storm Water Infiltration. If on-site infiltration is deemed infeasible, the project shall analyze the potential for stormwater capture and reuse for irrigation purposes based on the City Low Impact Development (LID) guidelines.
10. **Utility Connections.** New utility connections shall be undergrounded to the best extent possible.
11. **Electric Vehicle Parking.** Each two-car parking garage shall be equipped with a minimum of one EV charger to immediately accommodate electric vehicles within the parking areas.
12. **Coordination with LAUSD.** Prior to final signoff, the applicant shall communicate with the LAUSD school administrators (Noble Avenue Elementary School, Vista Middle School) to share the construction schedule, establish points of contact, and identify measures to be implemented to avoid disruption of school activities including but not limited to pick-up/drop-off by vehicles and foot, use of the school parking lot, outdoor breaks and recreation, noise beyond codified limits, and any construction activities that have potential to create airborne particulates from grading. A copy of this communication shall be submitted to the case file.
13. **Pedestrian Pathway.** The applicant's final plans shall show a minimum 4 foot wide pedestrian pathway that is parallel to the common access driveway / fire lane and connects to the Noble Avenue right-of-way. The pedestrian pathway shall be constructed and / or treated with a change of materials, finishes, patterns, or paving that distinguishes the pathway from vehicular traffic. The applicant's final plans shall be revised to show a distinguishable pedestrian pathway across the turnaround area between Lots 3 and 4.
14. **Primary Pedestrian Entryway.** A primary pedestrian entryway shall be provided for each small lot home. The entryway shall be oriented toward the 4 foot wide pedestrian pathway.
15. **Primary Pedestrian Entryway.** There shall be a minimum 8 foot separation between the face of the primary entryway of each small lot home and the adjacent building wall of a neighboring small lot home to provide access to air, light, and ventilation.
16. **Fences and Walls**
 - a. No fence or wall within the setback area abutting Noble and Wisner Avenues may exceed 3.5 feet in height.

- b. Fences and walls abutting Noble and Wisner Avenues shall be decorative but not limited to latticework, ornamental fences, screen walls, hedges, or dense shrubs / trees.
- c. Solid masonry walls along Noble or Wisner Avenues are not permitted.
- d. No other fence or wall may exceed 6 feet in height except to retain an existing fence, which shall be retained for the protection of the California black walnut tree on-site and / or the California black walnut tree off-site.

Administrative Conditions

- 17. Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
- 18. Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
- 20. Covenant.** Prior to the issuance of any permits relative to this matter, an agreement concerning all the information contained in these conditions shall be recorded in the County Recorder's Office. The agreement (standard master covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent property owners, heirs or assigns. The agreement shall be submitted to the Department of City Planning for approval before being recorded. After recordation, a copy bearing the Recorder's number and date shall be provided to the Department of City Planning for attachment to the file.
- 21. Definition.** Any agencies, public officials or legislation referenced in these conditions shall mean the agencies, public offices, legislation or their successors, designees or amendment to any legislation.
- 22. Enforcement.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Department of City Planning and any designated agency, or the agency's successor and in accordance with any stated laws or regulations, or any amendment thereto.
- 23. Building Plans.** Page 1 of the grant and all the conditions of approval shall be printed on the building plans submitted to the department of City Planning and the Department of Building & Safety.
- 24. Corrective Conditions.** The authorized use shall be conducted at all times with due regard for the character of the surrounding district, and the right is reserved to the City Planning Commission, or the Director of Planning, pursuant to Section 12.27.1 of the Municipal Code, to impose additional corrective conditions, if in the decision makers opinion, such actions are proved necessary for the protection of persons in the neighborhood or occupants of adjacent property.

25. Project Plan Modifications. Any corrections and/or modifications to the Project plans made subsequent to this grant that are deemed necessary by the Department of Building and Safety, Housing Department, or other Agency for Code compliance, and which involve a change in site plan, floor area, parking, building height, yards or setbacks, building separations, or lot coverage, shall require a referral of the revised plans back to the Department of City Planning for additional review and final sign-off prior to the issuance of any building permit in connection with said plans. This process may require additional review and/or action by the appropriate decision making authority including the Director of Planning and the City Planning Commission.

26. Indemnification and Reimbursement of Litigation Costs.

The applicant shall do all of the following:

- i. Defend, indemnify and hold harmless the City from any and all actions against the City, in whole or in part, relating to or arising out of the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- ii. Reimburse the City for any and all costs incurred in defense of an action related to or arising out of the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- iii. Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- iv. Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- v. If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation

imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

“City” shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

“Action” shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

FINDINGS

A. GENERAL PLAN/CHARTER FINDINGS

1. General Plan Land Use Designation

The Los Angeles General Plan sets forth goals, objectives and programs that guide both Citywide and community specific land use policies. The General Plan is comprised of seven State-mandated elements, including Land Use, Conservation, Housing, Circulation (Mobility Plan 2035), Noise, Open Space, and Safety. The Framework Element of the General Plan is a guide for communities to implement growth and development policies by providing a comprehensive long-range view of the City as a whole. The City's Land Use Element is divided into 35 community plans that establish parameters for land use decisions within those sub-areas of the City.

The subject property is located within the Mission Hills-Panorama City-North Hills Community Plan as updated and adopted by the City Council on June 9, 1999. The Community Plan designates the subject site for Low Medium I Residential land use with corresponding zones of R2, RD3, RD4, RD5, RD6, RZ3, RZ4, RU, and RW1. The subject site is zoned RA-1, which is more restrictive than the range of zones corresponding to the Low Medium I Residential land use designation. The applicant is requesting a Zone Change from the current RA-1 Zoning to RD5-1, which corresponds to the land use designation. The subject site is not located within any geographic specific plan area or community design overlay.

The applicant is proposing the construction, use, and maintenance of six approximately 3,111 square foot residential structures, 26.5 feet in height and two stories. As proposed, each 3,111 square foot structure will include a 2,077 square foot single-family dwelling and a 1,034 square foot attached accessory dwelling unit (ADU). The ADUs are subject to review and approval by LADBS under a separate ministerial permit and are not a part of this entitlement request. As proposed herein, each single-family dwelling will be constructed with a two-car garage for the single-family dwelling. A tandem parking space is proposed for each ADU, which is also subject to LADBS review and not a part of this entitlement request. Less than 500 cubic yards of grading is proposed.

To achieve the proposed project, the applicant is requesting a Zone Change from the current RA-1 Zone (Suburban Zone regulated by LAMC Section 12.07) to RD5-1 (Restricted Multiple Density Zone regulated by LAMC Section 12.09.1). LAMC Section 12.07 A permits single-family uses in the RA-1 Zone. However, LAMC Section 12.07 C.4 requires a minimum lot area of 17,500 square feet per dwelling unit at this site, thereby allowing one dwelling unit by-right on a 31,868 square foot lot. The RA Zone does not permit the development of small lot subdivisions pursuant to LAMC Section 12.22 C.27 (Small Lot Subdivision). LAMC Section 12.22 C.27 allows small lot subdivisions in the RD5-1 Zone.

In the RD5 Zone, a minimum lot area of 10,000 square feet is required pursuant to LAMC Section 12.09.1 B.4. Section 12.09.1 B.4 also requires a minimum lot area of 5,000 square feet per dwelling unit. Therefore, a maximum of six dwelling units can potentially be developed at a 31,868 square foot site ($31,868/5,000 = 6.37$) provided that sufficient lot area is available after the required dedications and improvements are made as required by

BOE. If the lot area is reduced as a result of required dedications, the site density will be based on the resulting lot area.

While LAMC Section 12.22 C.27 requires the density of the subdivision to comply with the minimum lot area per dwelling unit requirement established for each zone (in this case, density equals 5,000 square feet of lot area per dwelling unit), the minimum lot size of each lot is not required to be 5,000 square feet in area provided other requirements for small lot subdivisions are met (lot width, access, lot area coverage, and yard requirements). This restricts the applicant to the density allowed under the zone but also permits flexibility in site planning. The applicant's plans (see "**Exhibit A**") show Lot 1 at 4,831.6 square feet, Lot 2 at 4,651.7 square feet, Lot 3 at 5,422.7 square feet, Lot 4 at 5,422.7 square feet, Lot 5 at 4,651.7 square feet, and Lot 6 at 5,859.6 square feet. The subdivision of the approximately 31,868 square foot lot into six small lots was conditionally approved by the Deputy Advisory Agency on June 22, 2023 under related Case No. VTT-74873-SL pursuant to LAMC Sections 17.15 and 12.22 C.27.

As proposed and conditioned herein, the project is in conformance with the General Plan land use designation and zoning.

2. Charter Section 556 Findings: *That the Zone Change is in substantial conformance with the purposes, intent, and provisions of the General Plan.*

Framework Element. The Citywide Framework Element of the General Plan sets forth a citywide comprehensive long-range growth strategy. The recommended Zone Change from RA-1 to (T)(Q)RD5-1 conforms to the following objectives and policies of the Framework Element as follows:

Objective 4.1: Plan the capacity for and development incentives to encourage production of an adequate supply of housing units of various types within each City subregion to meet the projected housing needs by income level of the future population.

Policy 4.1.5: Monitor the growth of housing developments and the forecast of housing needs to achieve a distribution of housing resources to all portions of the City and all income segments of the City's residents.

The subject site is currently developed with a 1,077 square foot single-family dwelling that is proposed to be demolished. Given the surrounding land uses, which include single- and multi-family residences, the neighborhood would be well served by changing the zone on an underutilized RA-1 "Suburban" Zoned lot to a "Restricted Density Multiple Dwelling Unit" Zone to provide six small lots. The proposed maximum six small lot subdivision provides a transition between the single-family homes to the south and east and the multiple family uses to the north and west. The change in zone, as requested by the applicant, would further the policies of the General Plan Framework Element by increasing the supply of housing in the Mission Hills-Panorama City-North Hills Community Plan area where there has been a 4.7 percent increase in population since 2010 (Department of City Planning, 2021 Statistics).

Furthermore, the Citywide General Plan Framework Element states:

Policy 4.1.4: Reduce overcrowded housing conditions by providing incentives to encourage development of family-size units.

Policy 4.1.7: Establish incentives for the development of housing units appropriate for families with children and larger families.

The plans submitted by the applicant show five-bedroom single-family units for larger families. If the applicant were to reduce the number of bedrooms by one or two bedrooms per dwelling unit in response to Urban Design Study and Professional Volunteer Program comments, the dwelling units would provide three or four bedrooms and thereby remain appropriate for larger families.

Housing Element.

The Introduction to the 2021-2029 Housing Element of the General Plan states:

The City of Los Angeles has experienced the most severe housing crisis of any major city in the United States for some time now. With a wave of evictions threatening to further increase Los Angeles' homeless count and potentially move more families deeper into poverty, the devastating ways in which our housing crisis exacerbates existing disparities has become all too clear. The critical need for greater housing stability, affordability, equity and opportunity have never been more important.

The Housing Element continues to state the following goals, objectives and policies:

Goal 1: A City where housing production results in an ample supply of housing to create more equitable and affordable options that meet existing and projected needs.

Objective 1.2: Facilitate the production of housing, especially projects that include Affordable Housing and/or meet Citywide Housing Priorities.

Policy 1.1.2: Facilitate the construction of a range of different housing types that addresses the particular needs of the city's diverse households.

The proposed six unit small lot development offers a fee-simple, single-family housing opportunity on a lot zoned for multi-family use. As such, the project provides much needed housing as well as an alternative type of housing that addresses the diverse needs of the City's population.

Mobility Element 2035. Chapter 5 of the Mobility Plan 2035 addresses Vehicle Miles Traveled (VMT) and emphasizes the need to support ways to reduce VMT per capita. One approach is identified as follows:

Land use policies aimed at shortening the distance between housing, jobs, and services that reduce the need to travel long distances on a daily basis.

The project meets this approach by providing housing in a transit-rich area. As identified on ZIMAS, the subject site is eligible for reduced parking under State AB 2097 if requested by the applicant due to its location (within one-half mile radius of a Major Transit Stop). The Metro 152 bus runs in an east-west direction along Roscoe Boulevard 0.3 miles to the south of the project site. The Metro 166 bus runs in an east-west direction on Nordhoff Street 0.6 miles north of the subject site. The Metro 234 bus runs in a north-south direction on Sepulveda Boulevard 0.5 miles west of the subject site. The LADOT DASH bus serves

the local neighborhood and stops at Sepulveda Boulevard and Parthenia Street approximately 0.5 miles west of the subject site.

Health and Wellness, Mobility 2035, and Air Quality Elements. The applicant's plans (see "**Exhibit A**") show a landscaped area in front of each unit that is designed with permeable paver (pea gravel) and drought-tolerant trees (dwarf strawberry tree, coast live oak, western redbud, catalina cherry, desert museum palo verde) and shrubs and ground cover (purple vine lilac, creeping barberry, angelina stonecrop, dwarf coyote bush, yankee point ceanothus, kurapia, and slipper plant). The landscape materials are also planted between each dwelling at the east and west side yards, and at the rear of each dwelling unit. To reduce levels of pollution and greenhouse gas emissions and encourage water conservation, low water trees and plants are utilized in the project landscaping. The project is conditioned to be in conformance with "**Exhibit A**" and to provide revised landscape plans that comply with LAMC Section 12.40 and Landscape Ordinance Guidelines "O." The project is also conditioned to provide an updated tree report as designated under LAMC Ordinance No. 186,873 for review and approval by the City Planning Department and Urban Forestry Division, Bureau of Street Services. Any removal of the protected California black walnut tree is subject to the review and approval of the Board of Public Works, Urban Forestry Division. Any protected tree removal is required to be replaced at a 4:1 ratio. As conditioned herein, removal or replanting of any tree in the public right-of-way requires approval of the Board of Public Works, Urban Forestry Division. To reduce heat island effect, a minimum of 50 percent of paved areas shall use materials with a minimum initial Solar Reflectance value of 0.35 as conditioned herein. The project shall be constructed with an operable recycled water pipe system for onsite greywater use as conditioned herein. As conditioned, the project shall implement on-site stormwater infiltration as feasible or analyze the potential for stormwater capture and reuse for irrigation purposes consistent with the City's LID guidelines. Every parking garage or carport shall be equipped with a minimum of one EV charger to immediately accommodate electric vehicles within the parking areas, which supports the adoption of low and zero emission transportation fuel sources by the project occupants. As further conditioned, the project is required to provide solar-ready buildings and solar panels. The solar zone area that is equal to or greater than 15 percent of the building's total roof area and will support the site's EV chargers and other site electrical uses to help reduce the site's dependence on fossil fuels and carbon generating public utility electrical power. Taken together, these features conform with Elements of the General Plan by reducing the level of pollution or greenhouse gas emissions to the benefit of the neighborhood and City in response to General Plan Health and Wellness Element Policies 5.1 (reduce air pollution), 5.6 (resilience), 5.7 (reduce greenhouse gas emissions); Air Quality Element Policy 4.2.3 (ensuring new development is compatible with alternative fuel vehicles), 5.1.2 (shift to non-polluting sources of energy in buildings and operations); Mobility Element Policy 4.1 (expand access to transportation choices) and 5.4 (encourage adoption of low emission fuel sources, new mobility technology and supporting infrastructure).

General Plan/Community Plan. The Mission Hills – Panorama City – North Hills Community Plan Map includes the following Footnote No. 7:

There shall be no multiple residential development which exceed the density of the adjacent or surrounding residential density unless appropriately conditioned by the City Planning Commission and/or City Council to mitigate adverse impacts and to assure development harmonious and compatible with the surrounding neighborhood.

The surrounding area is developed with multi- and single-family residential uses. The property to the north of the subject site is designated Low Medium I Residential, zoned (Q)RD5-1 and (Q)RD6-1, and is developed with two-story multi-family residential dwelling units. To the northwest and west, properties are also designated Low Medium I Residential, zoned (Q)RD3-1, and are developed with multi-family residential dwelling units. To the south and east, properties are zoned R1-1, designated Low Residential, and are developed with one- and two-story single-family dwellings. To ensure that the project is harmonious and compatible with adjacent uses in the surrounding neighborhood, the project is conditioned herein to provide dedications and improvements to the satisfaction of BOE. Additionally, the project is conditioned to comply with all LADBS Grading and Zoning conditions, LADOT conditions for access and site planning, LADWP conditions for the adequacy of water and power, and Recreation and Parks conditions to provide adequate parks and recreational uses. The project is also conditioned to be reviewed and approved for Fire Department to maximize fire safety.

The Mission Hills – Panorama City – North Hills Community Plan was updated and adopted by the Los Angeles City Council on June 9, 1999. The project, a maximum of six residential small lots, advances a number of specific goals, policies, and objectives contained in the Community Plan. These include:

GOAL 1: A safe secure, and high quality residential environment for all economic, age, and ethnic segments of the community.

Objective 1-2: To locate new housing in a manner which reduces vehicular trips and makes it accessible to services and facilities.

Policy 1-3.1: Seek a high degree of architectural compatibility and landscaping for new infill development to protect the character and scale of existing residential neighborhoods.

Policy 1-3.2: Consider factors such as neighborhood character and identity, compatibility of land uses, impact on livability, impacts on services and public facilities, and impacts on traffic levels when changes in residential densities are proposed.

Policy 1-5.1: Promote greater individual choice in type, quality, price, and location of housing.

As conditioned, the maximum six small lot subdivision offers a fee-simple alternative to single-family home ownership, thereby promoting individual choice in type of housing to serve various economic, age, and ethnic segments of society. The project is accessible to public transit, thereby providing an opportunity to develop much-needed housing while reducing VMT. As previously stated, the project site is located within one-half mile radius of a Major Transit Stop and is accessible to the Metro 152, 166, and 234 buses. The LADOT DASH bus serves the local neighborhood and stops at Sepulveda Boulevard and Parthenia Street approximately 0.5 miles west of the subject site. Additionally, the infill project is conditioned to achieve architectural compatibility to protect the character and scale of the existing residential neighborhood. As conditioned herein, fences and walls along the Noble and Wisner Avenue right-of-way are required to be decorative and no higher than 3.5 feet. No solid masonry walls are permitted along Noble and Wisner Avenue. No other fence or wall may exceed 6 feet in height except to retain the existing fence for the protection of the on- and off-site California black walnut trees. New utility connections shall be undergrounded to the maximum extent feasible. These conditions,

together with landscaping conditions, allow for a high degree of compatibility with existing residential uses in the neighborhood and protect the character and scale of the existing residential neighborhood. Finally, as documented in the related environmental Case No. ENV-2017-1101-CE, the project will have no impact on services, public facilities, and traffic.

Therefore, the proposed project is consistent with the General Plan and the existing Low Medium I Residential land use designation and serves to implement the goals, objectives, and policies of the Mission Hills–Panorama City–North Hills Community Plan.

3. Charter Section 558 Findings: *That the action is in substantial conformance with the purposes, intent and provisions of the General Plan.*

The Area Planning Commission shall hold a public hearing and make a report and recommendation to the Council regarding the relation of the proposed Zone Change to the General Plan and whether adoption of the proposed Zone Change will be in conformity with public necessity, convenience, general welfare and good zoning practice.

B. ENTITLEMENT FINDINGS

There is a critical and well-documented demand for housing throughout the City of Los Angeles. The proposed Zone Change, T Conditions, and Q Conditions are consistent with Section 558 of the City Charter and Section 12.32 of the LAMC. As detailed below under Finding B.4 (findings pursuant to LAMC Section 12.32), the project is in conformance with the public necessity, convenience, general welfare and good zoning practice. As proposed and conditioned herein, the proposed Zone Change will allow the property owner to make better use of the existing infill site by providing a maximum of six small lot residential housing units. Therefore, the project will be in conformance with public necessity, convenience, general welfare and good zoning practice as described below.

4. Zone Change, Section 12.32 F of the LAMC: *That the Zone Change is in conformity with the public necessity, convenience, general welfare and good zoning practice.*

Public Necessity. As previously stated, the Housing Element 2021-2029 documents the need for all housing types in the City given the existing housing supply and expected population growth. The Southern California Association of Governments (SCAG) forecasts the City's population to grow by 8.15 percent between 2020 – 2030. Department of City Planning demographics (2021) show a 4.7 percent increase in population in the Mission Hills-Panorama City-North Hills Community Plan area since 2010. The Housing Element also states that large households (those with five or more persons) particularly lack adequately sized and affordable housing. The provision of a maximum six small lot subdivision will offer housing for large families in the City and Mission Hills-Panorama City-North Hills Community, where housing overall is lacking and population is increasing.

Convenience. As previously stated, the project is located within one-half mile radius of a Major Transit Stop. The Metro 152 bus runs in an east-west direction along Roscoe Boulevard 0.3 miles to the south of the project site. The Metro 166 bus runs in an east-west direction on Nordhoff Street 0.6 miles north of the subject site. The Metro 234 bus runs in a north-south direction on Sepulveda Boulevard 0.5 miles west of the subject site. The LADOT DASH bus serves the local neighborhood and stops at Sepulveda Boulevard and Parthenia approximately 0.5 miles west of the subject site. This proximity to local transit enhances opportunities for a jobs-housing balance and allows for accessibility to

goods and services along Sepulveda Boulevard to the west and Nordhoff Street to the north. The site is also accessible to Noble Avenue Elementary School, which is located at the northwest corner of Roscoe Boulevard and Noble Avenue (approximately 0.2 miles south of the subject site) and Vista Middle School, which is located at the intersection of Roscoe Boulevard and Noble Avenue (approximately 0.4 miles south of the subject site).

General Welfare. The project is conditioned herein to promote the general welfare. For example, the project is required to be in substantial conformance with the site, floor, elevation, and landscape plans submitted with the application materials. The use is limited to a maximum of six residential small lots. The floor area for the main structure on each lot shall not exceed 2,077 square feet. Any additional residential floor area created by the addition of ADUs shall be calculated and approved by LADBS under a separate permit. In no circumstance shall the floor area shown on the applicant's final plans exceed 3:1. As conditioned, the building height is limited to two stories and 26.5 feet. To reduce greenhouse gasses and levels of pollution, the project shall comply with all requirements as conditioned herein for landscaping, tree removal and replacement, including street trees, solar power, heat island effect, greywater, and stormwater/irrigation. To improve air quality and expand transportation choices, the project is conditioned to provide EV parking. The project is conditioned to coordinate with LAUSD school administrators at Noble Avenue Elementary School and Vista Middle School to share the construction schedule, establish points of contact, and identify measures to be implemented to avoid disruption of school activities including but not limited to pick-up/drop-off by vehicles and foot, use of the school parking lot, outdoor breaks and recreation, noise beyond codified limits, and any construction activities that have potential to create airborne particulates from grading. For the safety of the project residents, the project is conditioned to provide a primary entryway for each small lot home. The entryway shall be oriented toward a minimum 4 foot wide distinguishable pedestrian pathway that is connected to the Noble Avenue right-of-way. Furthermore, to provide the project residents with access to air, light, and ventilation, there shall be a minimum 8 foot separation between the face of the primary entryway of each small lot home and the adjacent building wall of a neighboring small lot home.

Good Zoning Practice. The subject site is an approximately 31,868 square foot site that is zoned RA-1 and currently allows one single-family structure per 17,500 square feet of lot area. The requested Zone Change to RD5-1 allows a maximum of six small lot homes on an underutilized infill when applicable development standards are met. The project site is surrounded by multi-family zoning to the north and west, and the requested Zone Change is consistent with the zoning pattern in the vicinity.

Therefore, as conditioned, the Zone Change to RD5-1 is in conformity with the public necessity, convenience, general welfare and good zoning practice.

5. Q Condition Findings

a. The Q limitations are necessary to protect the best interests of and assure a development more compatible with the surrounding property or neighborhood.

To ensure compatibility with the surrounding neighborhood, the Q limitations herein regulate use, density, floor area, height, automobile parking, and bicycle parking. The project is conditioned herein to be in substantial conformance with the plans and materials submitted by the applicant stamped "**Exhibit A**" and dated October 5, 2022. The property shall be limited to a maximum of six lots configured as a residential small

lot subdivision. As shown on the applicant's plans, the floor area of the single-family dwelling shall not exceed 2,077 square feet, and any additional floor area that results from the development of ADUs will be calculated, reviewed, and approved by LADBS under a ministerial permit process. In no circumstance shall the total floor area exceed 3:1 pursuant to the regulations of the RD5-1 Zone. As shown on "**Exhibit A**," the total height of all structures shall not exceed two stories and 26.5 feet. Two covered automobile parking spaces for each single-family home are required by LAMC Section 12.21 A.4. However, ZIMAS shows this site is subject to AB 2097; specifically, it is located within an area designated as a "Reduced Parking Area" because it is within one-half mile of a "Major Transit Stop." To date, the applicant has not requested reduced parking under AB 2097. Should the applicant request reduced parking at a later date, the project eligibility for reduced parking shall be re-evaluated at that time. Finally, the applicant is required to provide bicycle parking in compliance with LAMC Section 12.21 A.16. A minimum of two short-term bicycle parking spaces shall be provided for each single-family dwelling unit. If the applicant is approved for reduced parking under AB 2097 and does not provide a private garage for each unit, one long-term bicycle parking space shall be provided for each single-family dwelling unit. Taken together, these conditions regulate will protect the best interests of the surrounding multi-family uses to the north and west and the single-family uses to the south and east.

b. The Q limitations are necessary to secure an appropriate development in harmony with the objectives of the General Plan.

The General Plan Housing Element 2021-2029 promotes housing production that results in an ample supply of housing to create more equitable and affordable options that meet existing and projected needs. The Mission Hills-Panorama City-North Hills Community Plan promotes the construction of a range of different housing types. The Community Plan Map Footnote No. 7 states that multiple residential development that exceeds the density of the adjacent or surrounding residential density shall be in harmony with the surrounding neighborhood. As previously stated, the Q conditions require substantial conformance with "**Exhibit A**" except as conditioned herein and regulate density, height, and floor area to ensure that the six small lot subdivision is appropriate for the surrounding neighborhood and in harmony with the General Plan.

c. The Q limitation is necessary to prevent or mitigate adverse environmental effects of the zone change.

The project was analyzed under Case No. ENV-2017-1101-CE as the construction, use, and maintenance of six approximately 3,111 square foot residential structures (single-family dwellings and attached ADUs) 26.5 feet in height and two stories. The Zone Change and associated Vesting Tentative Tract Map No. 74873-SL entitlements qualify for a categorical exemption under CEQA Guidelines Section 15332, Class 32, which consists of infill development meeting the following five conditions: (a) the project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations; (b) the proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; (c) the project site has no value as habitat for endangered, rare or threatened species; (d) approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (e) the site can be adequately served by all required utilities and public services.

Since no adverse environmental effects of the proposed Zone Change and / or associated tract map are expected, the finding that the Q limitation is necessary to prevent or mitigate adverse environmental effects of the Zone Change is not applicable.

- 6. T Condition Finding: Public necessity, convenience and general welfare require that provision be made for the orderly arrangement of the property concerned into lots and/or that provision be made for adequate streets, drainage facilities, grading, sewers, utilities, park and recreational facilities; and/or that provision be made for payments of fees in lieu of dedications and/or that provision be made for other dedications; and/or that provision be made for improvements; all in order that the property concerned and the area within which it is located may be properly developed in accordance with the different and additional uses to be permitted within the zone to which the property is proposed for change.**

The current action, as recommended, has been made contingent upon compliance with "T" conditions of approval imposed herein for the proposed project. Such T Conditions are necessary to ensure that any identified dedications, improvements, and actions are undertaken to meet the public's needs, convenience, and general welfare served by the actions required. These T Conditions ensure street dedication and improvements to the satisfaction of the Bureau of Engineering. Satisfactory arrangements must be made with LADOT to provide safe and adequate access to the site. The project will be reviewed by other City departments, including the Fire Department for fire safety, LADWP for the provision of water and power, and Recreation and Parks for payment of park fees. These actions and improvements will provide the necessary infrastructure to serve the proposed small lot subdivision.

C. CEQA FINDINGS

The project was analyzed under Case No. ENV-2017-1101-CE as the construction, use, and maintenance of six approximately 3,111 square foot residential structures (single-family dwellings and attached ADUs) 26.5 feet in height and two stories. The ADUs are not subject to review under CEQA and will be processed under a separate ministerial permit. The project involves the potential removal of 15 non-protected trees and one protected California black walnut tree. Another California black walnut tree is located off-site to the south and will be preserved in place.

The Zone Change and associated Vesting Tentative Tract Map No. 74873-SL entitlements qualify for a categorical exemption under CEQA Guidelines Section 15332, Class 32, which consists of infill development meeting the following five conditions: (a) the project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations; (b) the proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; (c) the project site has no value as habitat for endangered, rare or threatened species; (d) approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (e) the site can be adequately served by all required utilities and public services.

Pursuant to CEQA Guidelines Section 15300.2, the project is not located on a scenic highway or hazardous waste site and is not the site of a historic resource. Therefore, as set forth in

State CEQA Guidelines Section 15300.2, there are no exceptions that would prohibit the use of any categorical exemption and no mitigations measures are required.

Furthermore, the project is subject to review under existing City ordinances (Sewer Ordinance, Grading Ordinance, Flood Plain Management, Xeriscape Ordinance, Stormwater Ordinance, etc.) which are specifically intended to mitigate such potential impacts on all projects.

Therefore, Find, based on the whole of the administrative record, the project is exempt from CEQA pursuant to Section 15332, Class 32, and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

The records upon which this decision is based are with Valley Project Planning, Department of City Planning, 6262 Van Nuys Boulevard, Room 430, Los Angeles, CA 91401.

PUBLIC HEARING AND COMMUNICATIONS

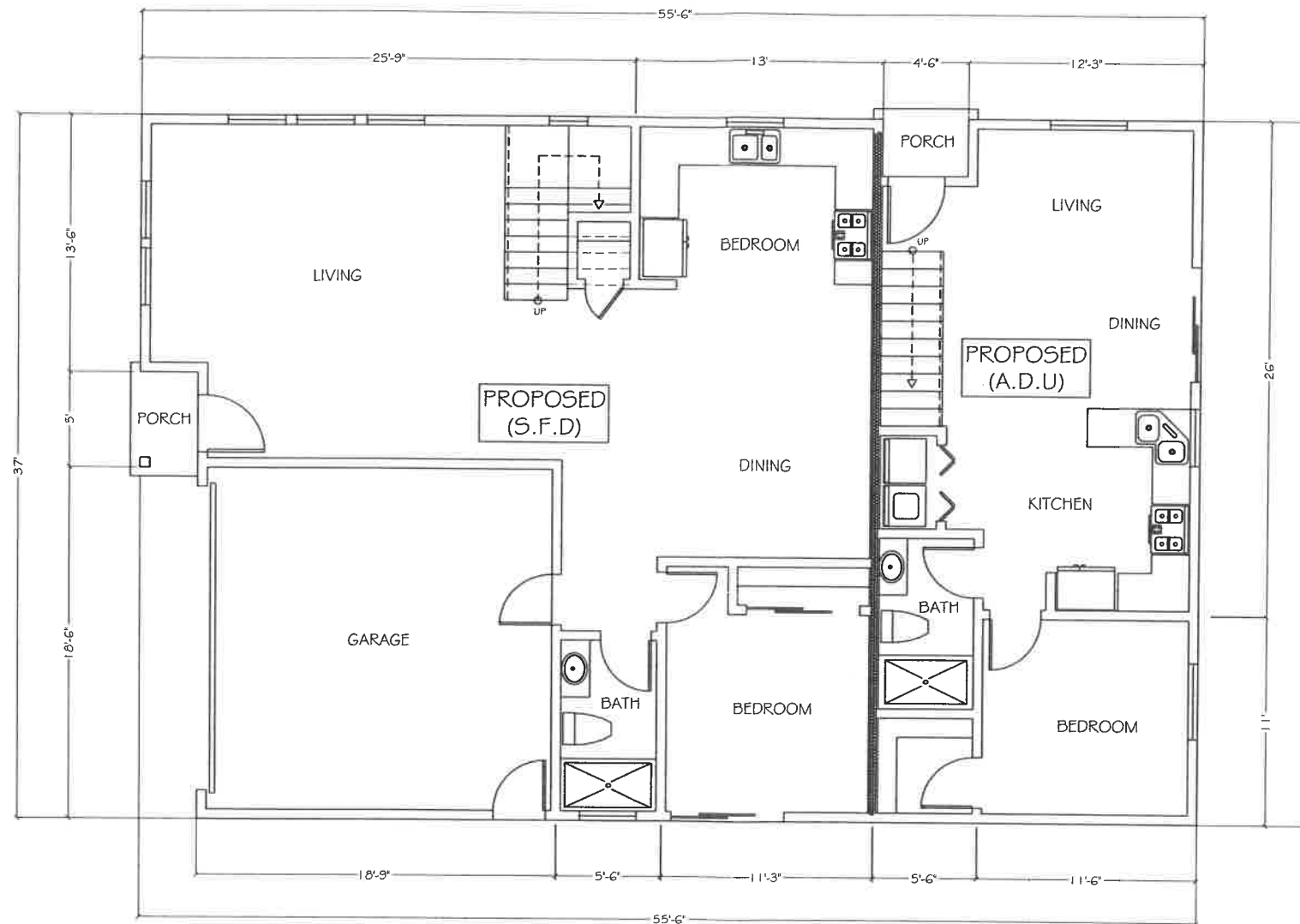
A joint public hearing for Case Nos. APCNV-2017-1102-ZC and VTT-74873-SL was conducted remotely by the Deputy Advisory Agency and Planning staff on December 8, 2020. At that time, the project applicant stated that it would not be possible to improve Wisner Avenue as recommended by the Bureau of Engineering (BOE) in their letter dated November 5, 2018. The applicant stated that providing the recommended dedication and improvements would essentially preclude the development of proposed Lot 1 abutting Wisner Avenue. The Bureau of Engineering did not revise their recommendation at the public hearing and / or following the public hearing.

No communication was received from any member of the community either to support or oppose the project.

No communication was received from the North Hills East Neighborhood Council either to support or oppose the project.

EXHIBIT A
PROJECT PLANS
OCTOBER 5, 2020

[illegible]



FIRST FLOOR PLAN

SCALE : 1/4" = 1'-0"

Model A Lots 1-3

First Floor Area:
Main House : 965 sq.ft
Attached ADU : 568 sq.ft

Total : 1,533 sq.ft



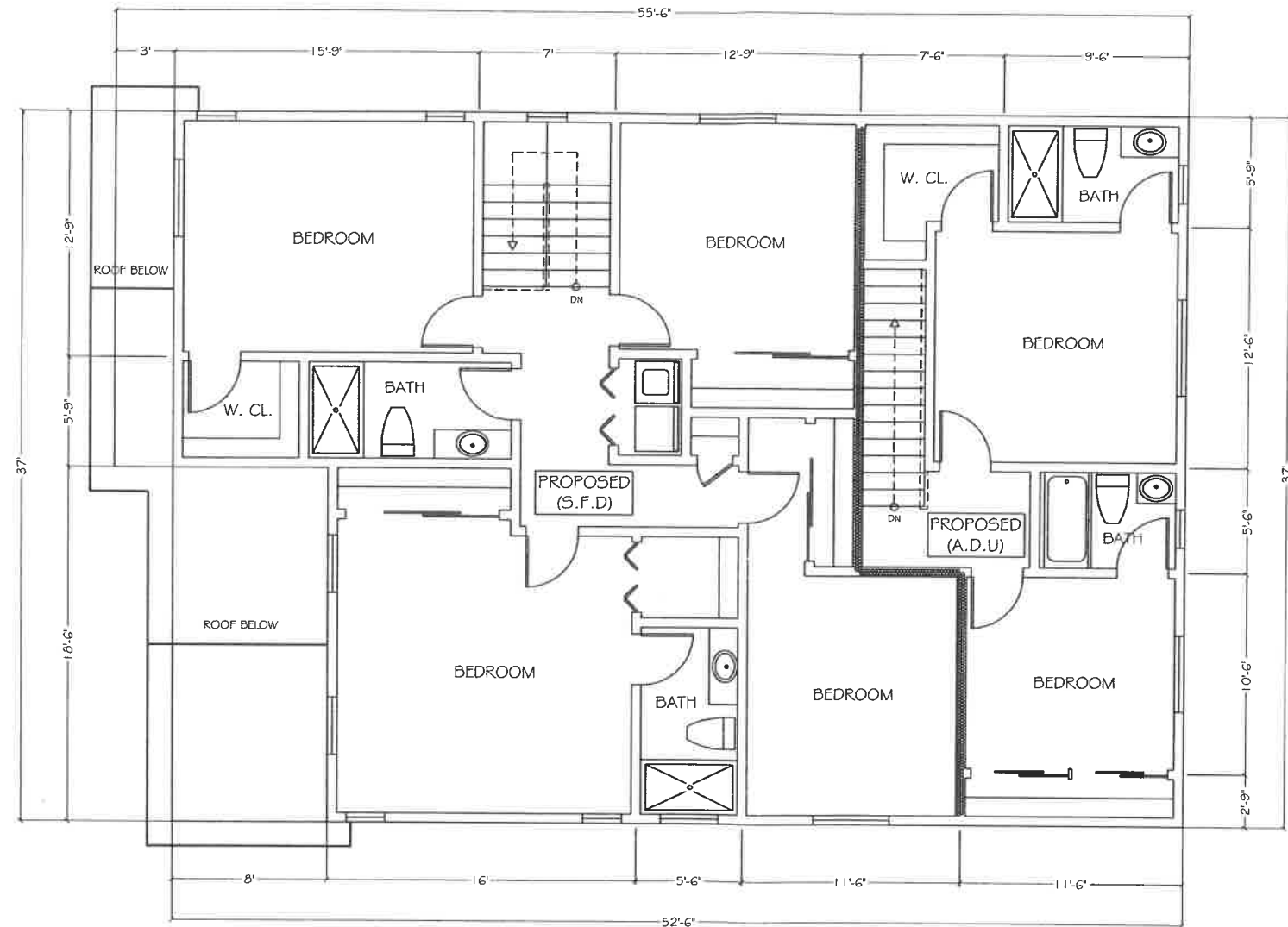
WALL LEGEND:

- INDICATES 2X4 STUD WALL @ 16" O.C
- INDICATES SOUND RATED PARTITION WALLS.

EXHIBIT "A"
Page No. 2 of 10
Case No. APCNV-2017-1102-2C

RECEIVED
CITY OF LOS ANGELES
OCT 05 2020
CITY PLANNING
VAN NUYS

Revisions	
Date	Description
Owner	
Project Description & Address:	
2-Story S.F.D # ADU, Model "A"	
8553 Noble Ave, North Hills, CA. 91343	
Sheet Title	
First Floor Plan	
Design & Planning By:	
APPROVED PLANS INC.	
5121 Van Nuys Blvd, Suite 203A, Sherman Oaks, Ca. 91403	
Toll: (818) 966-3242 E-mail: approvedplans@yahoo.com	
Date:	4-20-20
Drawn By:	O. ENSARI
Scale:	1/4" = 1'-0"
Job No.	
Sheet No.	



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

Model A Lots 1-3

Second Floor Area:
Main House: 1,112 sq.ft
Attached ADU: 466 sq.ft

Total: 1,578 sq.ft

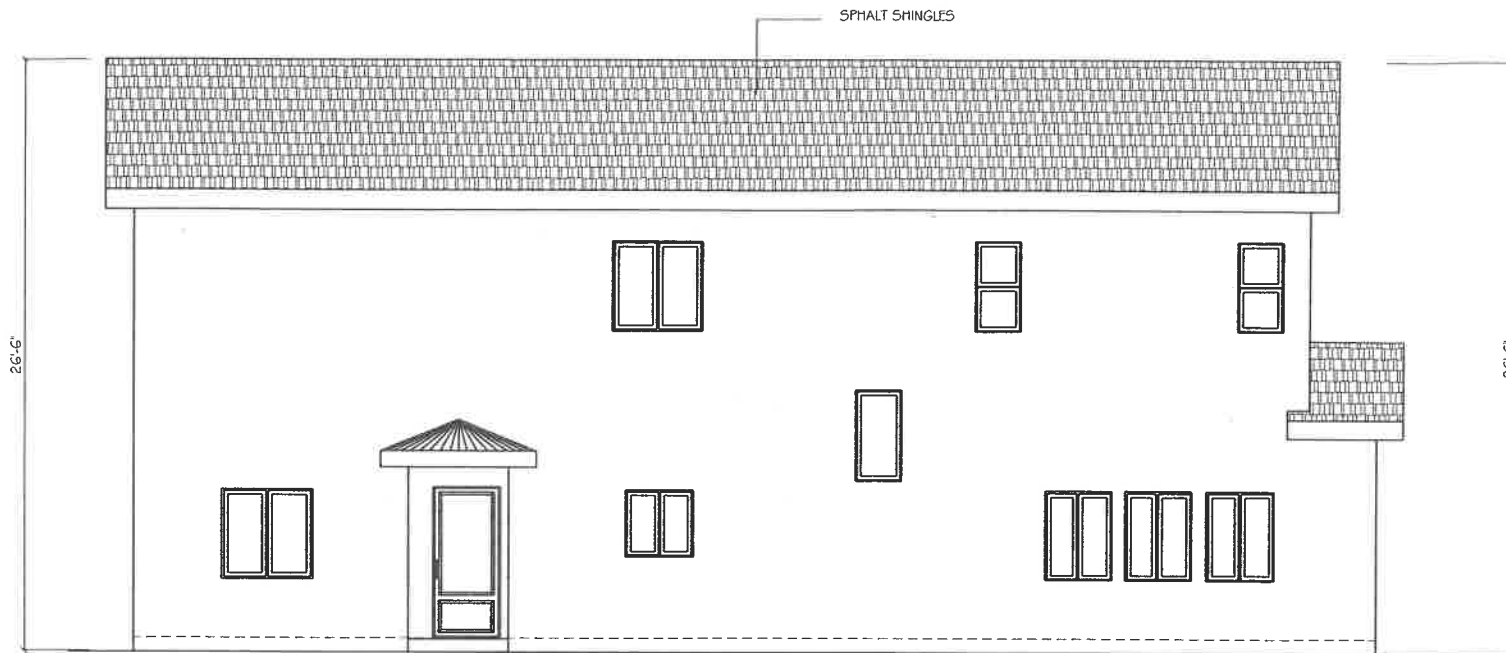


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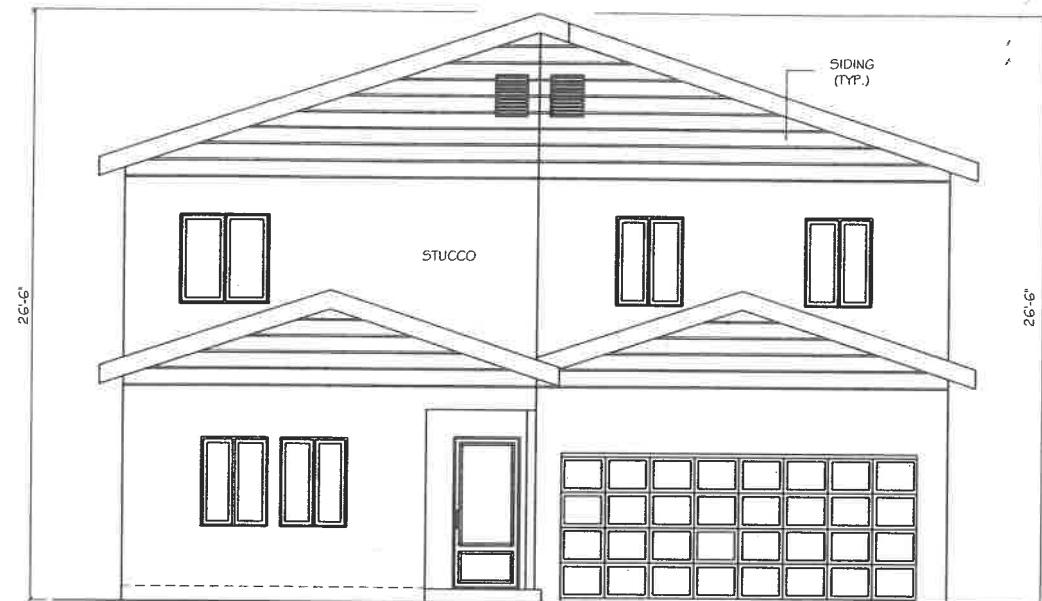
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- INDICATES SOUND RATED PARTITION WALLS.

EXHIBIT "A"
Page No. 3 of 10
Case No. ARCNV-8017-1102-20

Revisions	
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Owner	
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Sheet Title	
Second Floor Plan	
Design & Planning By:	APPROVED PLANS INC.
	5121 Van Ness Blvd, Suite 203A, Sherman Oaks, Ca. 91403 Tel: (818) 306-3242 ; Email: approvedplans@yahoo.com
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Sheet No.	A.3



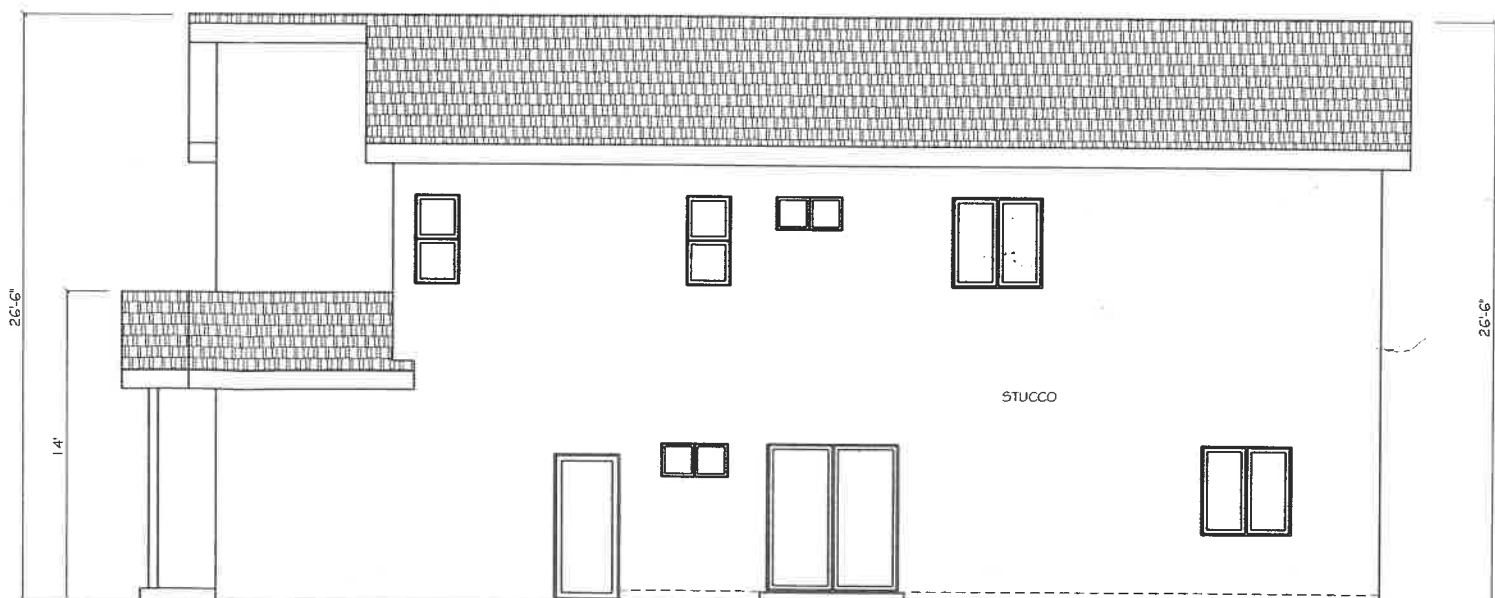
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SCALE : 1/4" = 1'-0"



SOUTH ELEVATION
SCALE : 1/4" = 1'-0"



NORTH ELEVATION
SCALE : 1/4" = 1'-0"

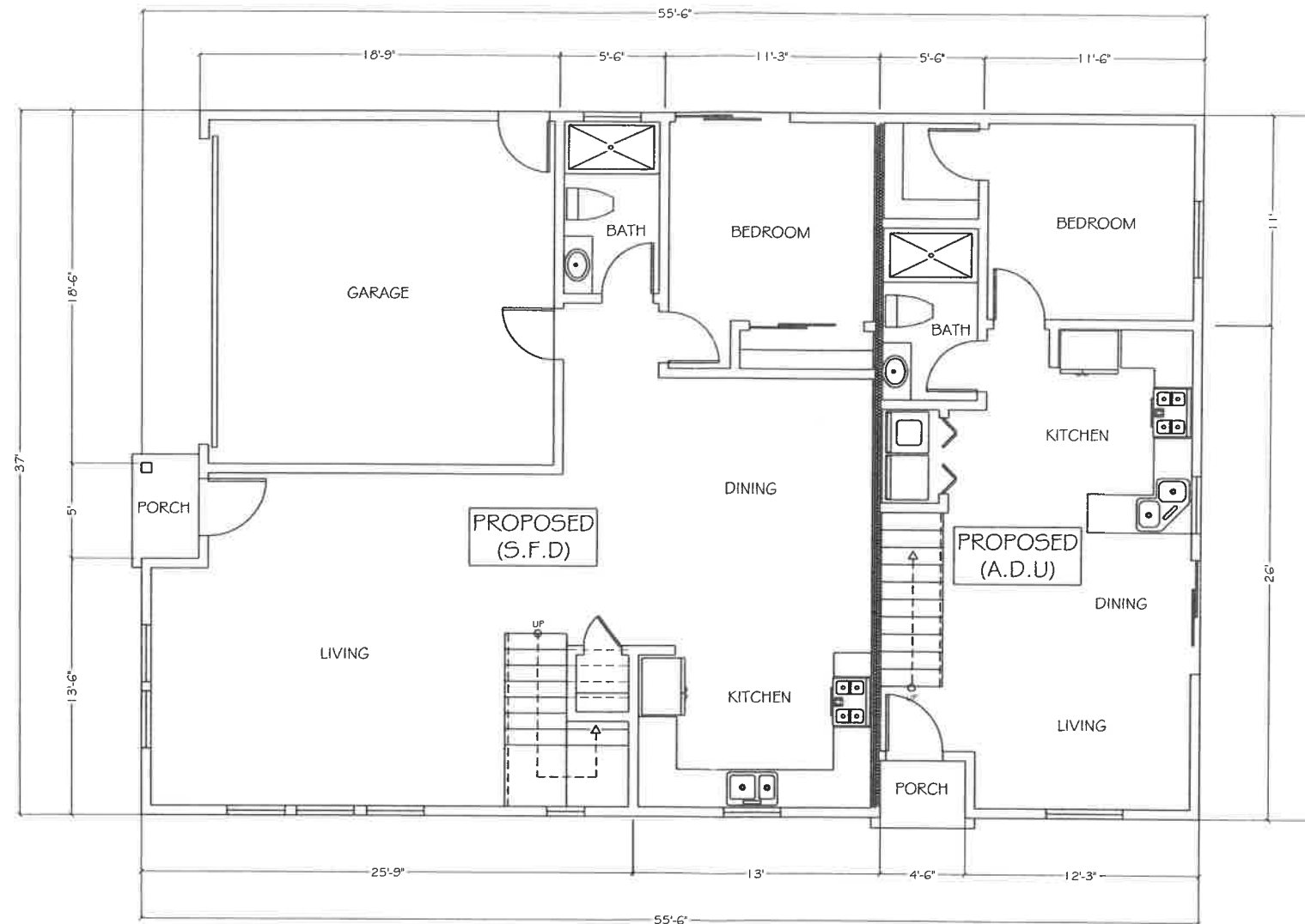


EAST ELEVATION
SCALE : 1/4" = 1'-0"

Model A Lots 1-3

EXHIBIT "A"
Page No. 4 of 10
Case No. APCNV-2017-1102-20

Revisions		Owner	Project Description & Address:	Sheet Title	Design & Planning By:
Date	Description				
			2-Story S.F.D & ADU, Model "A"	Elevations	APPROVED PLANS INC.
			8553 Noble Ave, North Hills, CA. 91343		5121 Van Nuys Blvd, Suite 203A, Sherman Oaks, Ca. 91403 Tel: (818) 366-3242, E-mail: approvedplans@yahoo.com
					Date: 4-20-20
					Drawn By: O. ENSARI
					Scale: 1/4" = 1'-0"
					Job No.
					Sheet No.
					A.4



FIRST FLOOR PLAN

SCALE : 1/4" = 1'-0"

Model B Lots 4-6

First Floor Area:
Main House : 965 sq.ft
Attached ADU : 568 sq.ft

Total : 1,533 sq.ft

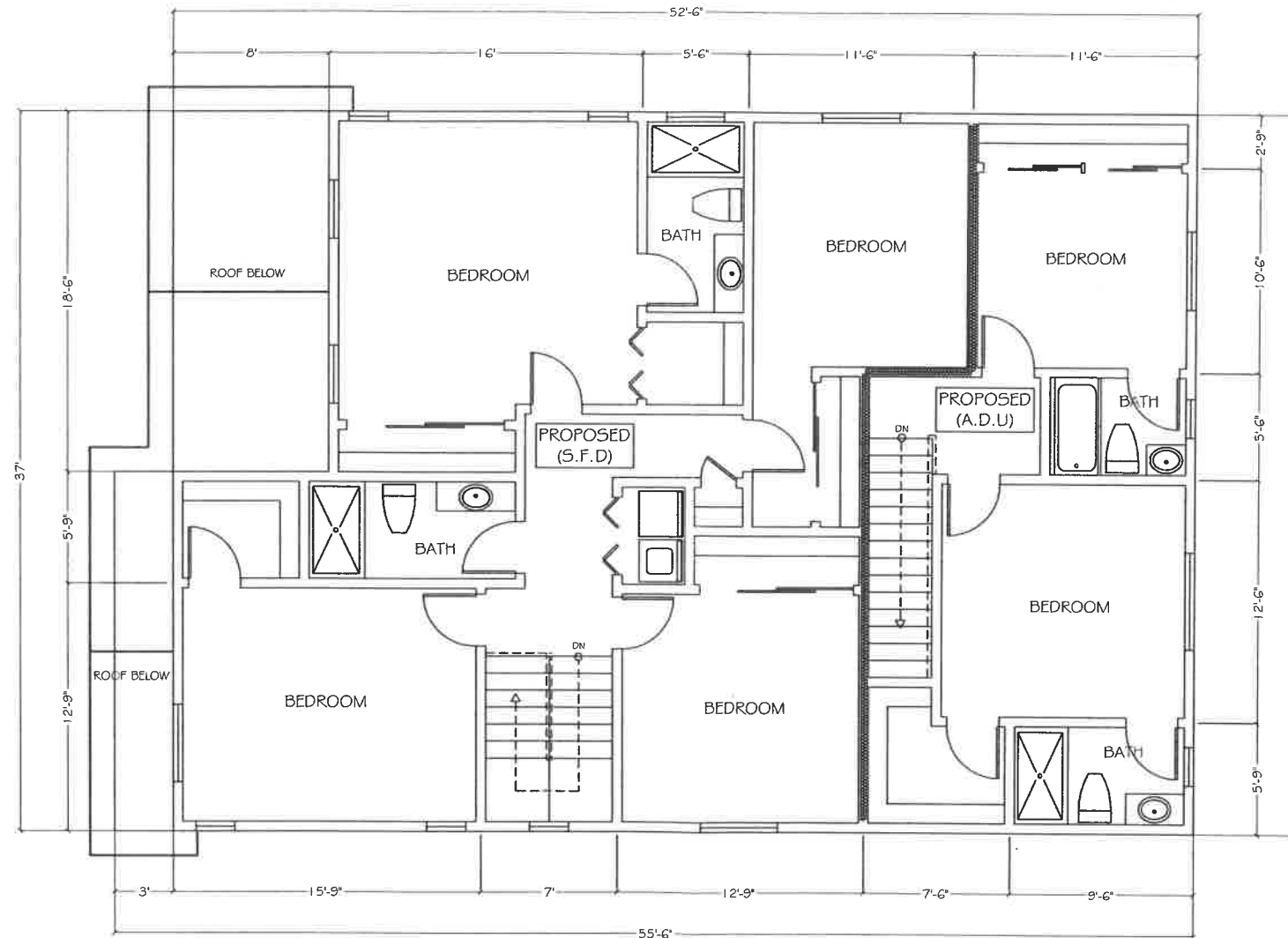


WALL LEGEND:

- INDICATES 2X4 STUD WALL @ 16" O.C.
- INDICATES SOUND RATED PARTITION WALLS.

EXHIBIT "A"
Page No. 5 of 10
Case No. APCNV-2017-1102-ZC

Revisions	
Date	Description
Owner	
Project Description & Address:	
2-Story S.F.D & ADU, Model "B"	
8553 Noble Ave, North Hills, CA. 91343	
Sheet Title	
First Floor Plan	
Design & Planning By:	
APPROVED PLANS INC.	
5121 Van Nys Blvd, Suite 203A, Sherman Oaks, Ca. 91403	
Tel: (818) 968-3242, E-mail: approvedplans@yahoo.com	
Date:	4-20-20
Drawn By:	O. ENSAFI
Scale:	1/4" = 1'-0"
Job No.	
Sheet No.	A.5



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

Model B Lots 4-6

Second Floor Area:
Main House : 1,112 sq.ft
Attached ADU : 466 sq.ft

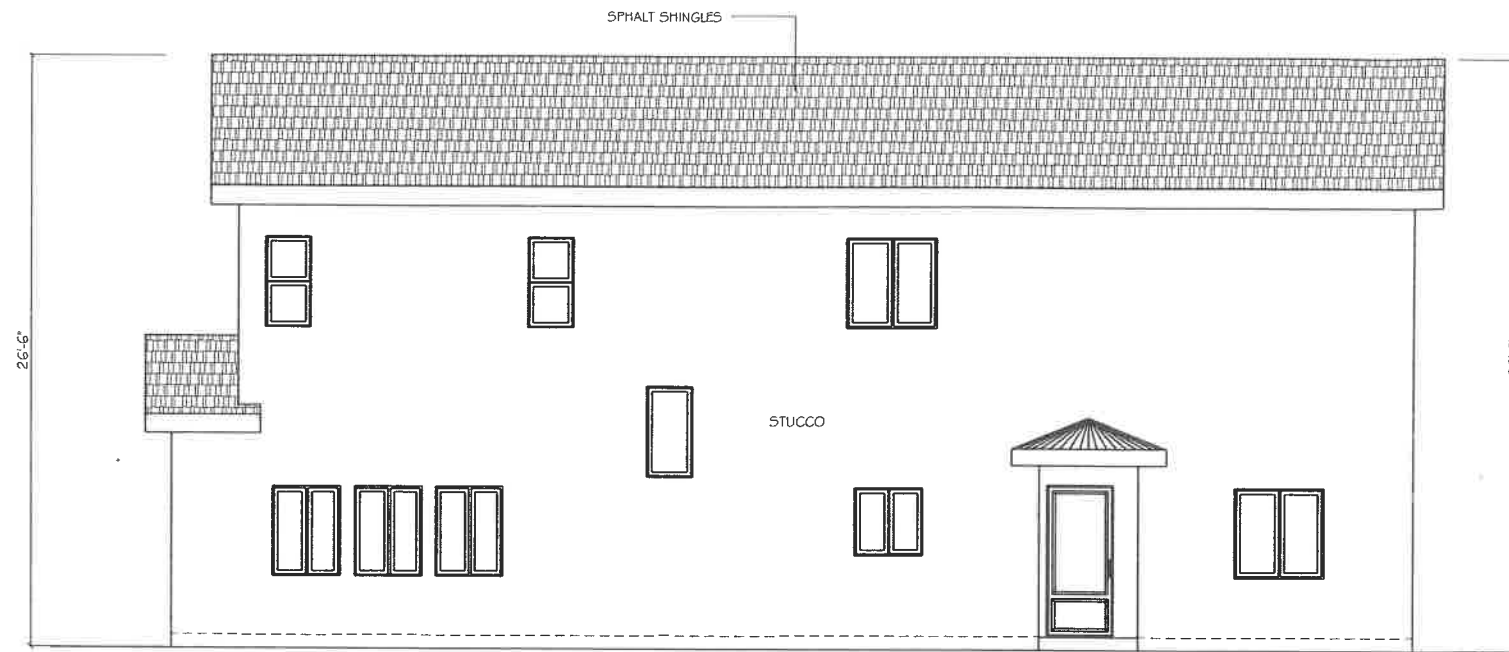
Total : 1,578 sq.ft

WALL LEGEND:

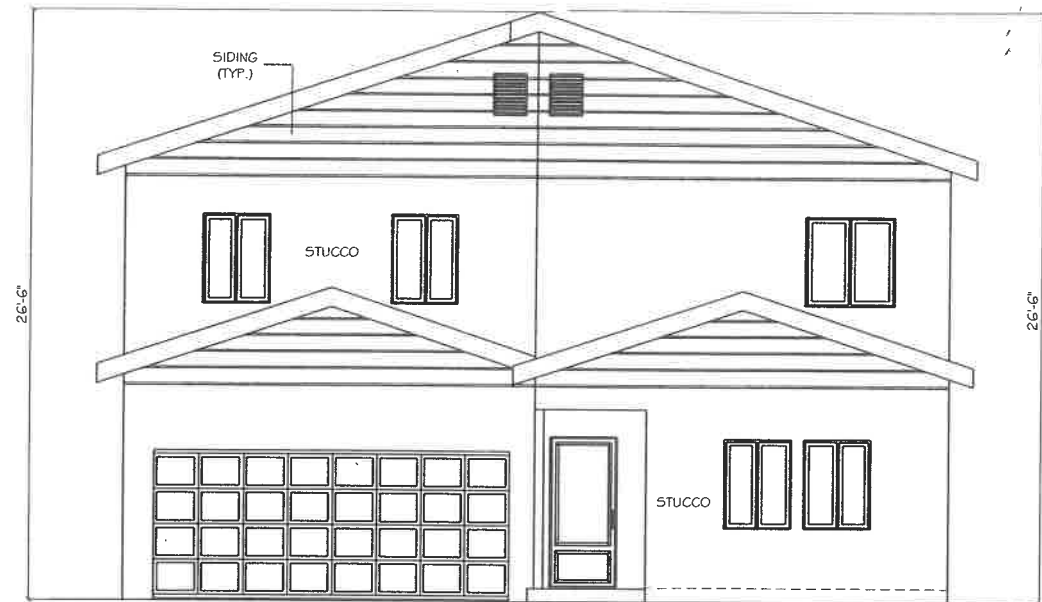
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- INDICATES SOUND RATED PARTITION WALLS.

EXHIBIT "A"
Page No. 6 of 10
Case No. APCNV-2017-1102-ZC

Revisions	
Date	Description
Owner	
Project Description & Address:	
2-Story S.F.D & ADU, Model "B"	
8553 Noble Ave, North Hills, CA. 91343	
Sheet Title	
Second Floor Plan	
Design & Planning By:	
APPROVED PLANS INC.	
5121 Van Nuys Blvd, Suite 203A, Sherman Oaks, Ca. 91403	
Tel: (818) 950-3242, E-mail: approvedplans@yahoo.com	
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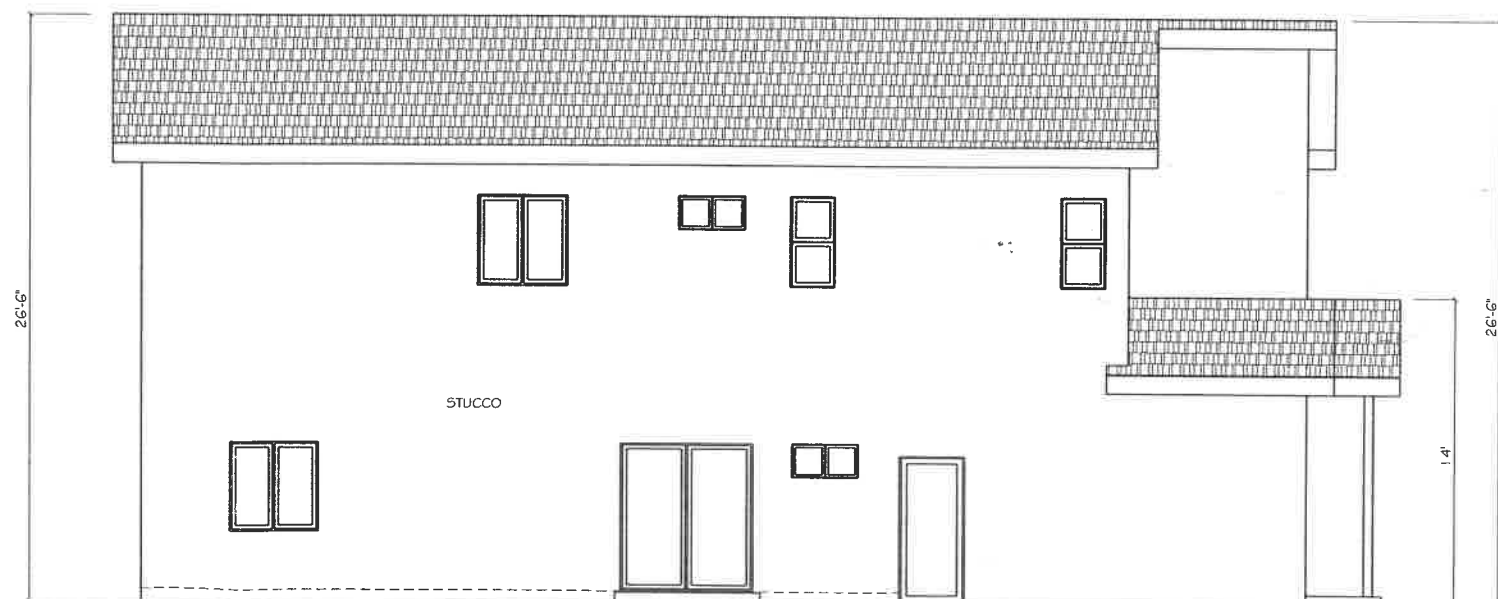
EAST ELEVATION
SCALE : 1/4" = 1'-0"



SOUTH ELEVATION
SCALE : 1/4" = 1'-0"



NORTH ELEVATION
SCALE : 1/4" = 1'-0"



WEST ELEVATION
SCALE : 1/4" = 1'-0"

Model B Lots 4-6

EXHIBIT "A"
Page No. 7 of 10
Case No. APCNV-2017-1102-2C

Revisions	
Date	Description
Owner	
Project Description & Address:	
2-Story S.F.D # ADU, Model "B"	
8553 Noble Ave, North Hills, CA, 91343	
Elevations	
Sheet Title	
Design & Planning By:	
APPROVED PLANS INC.	
5121 Van Noy Blvd, Suite 203A, Sherman Oaks, Ca, 91403	
Toll: (818) 900-3242 E-mail: approvedplans@yahoo.com	
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Job No.	
Sheet No.	A.7

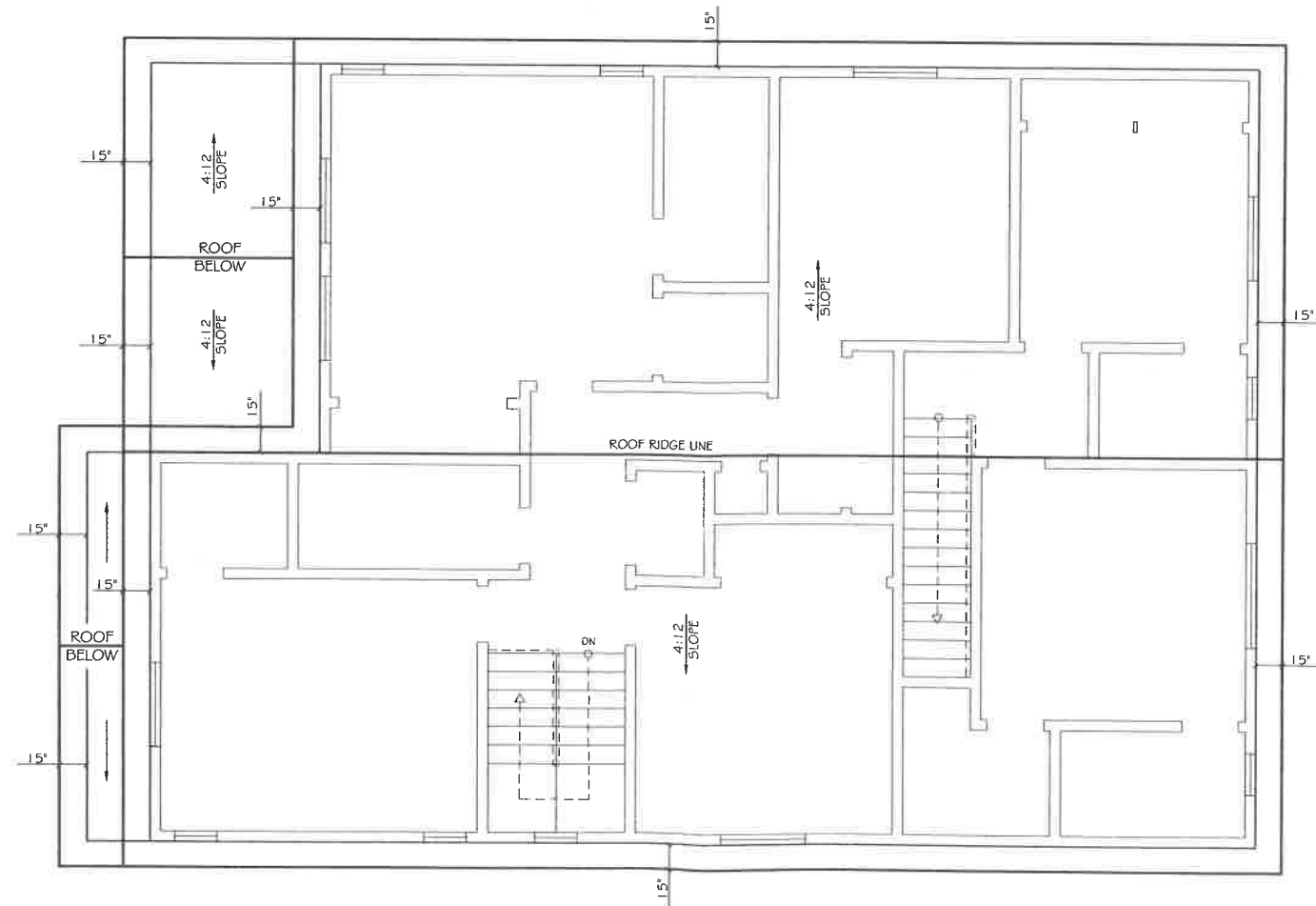
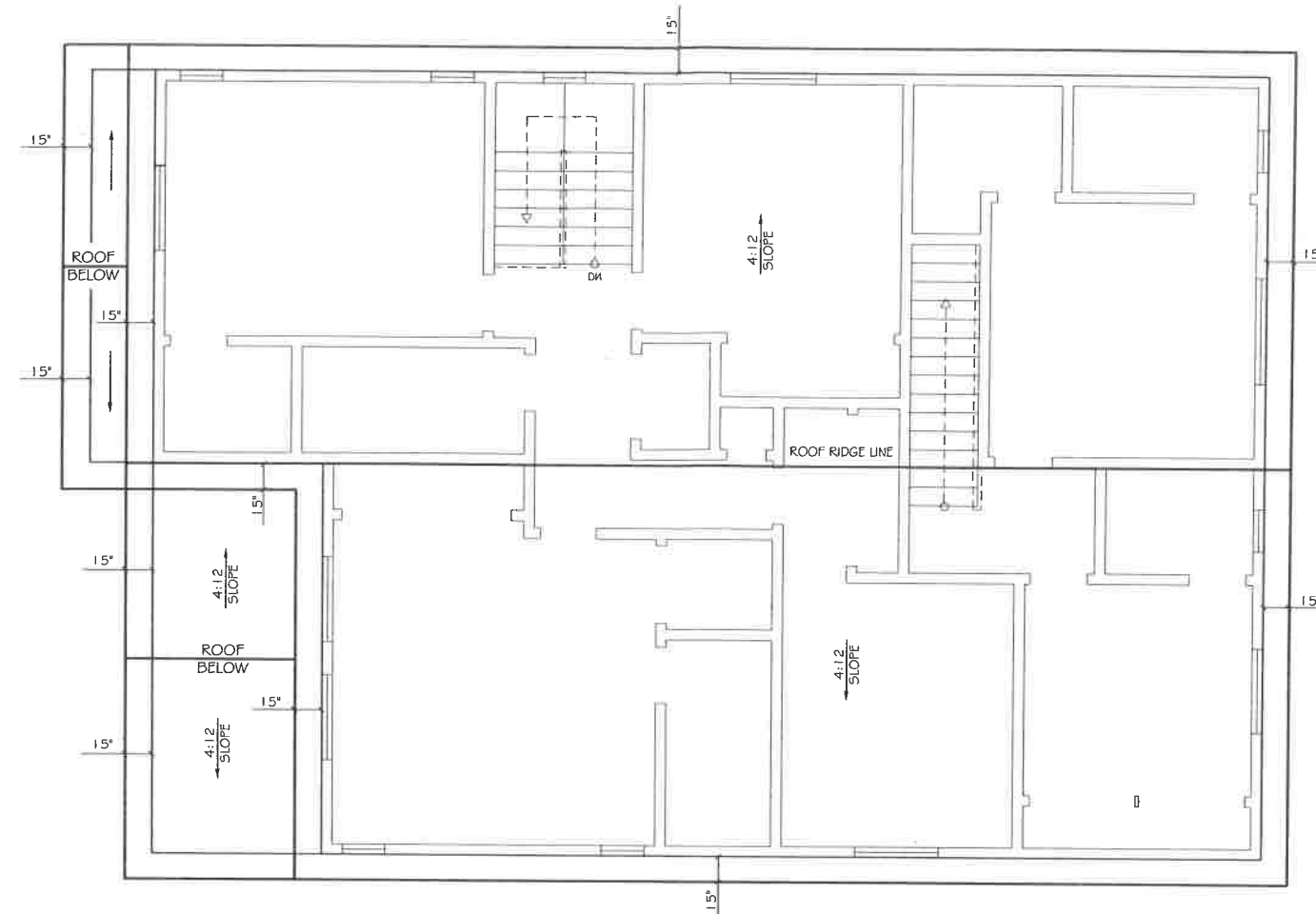
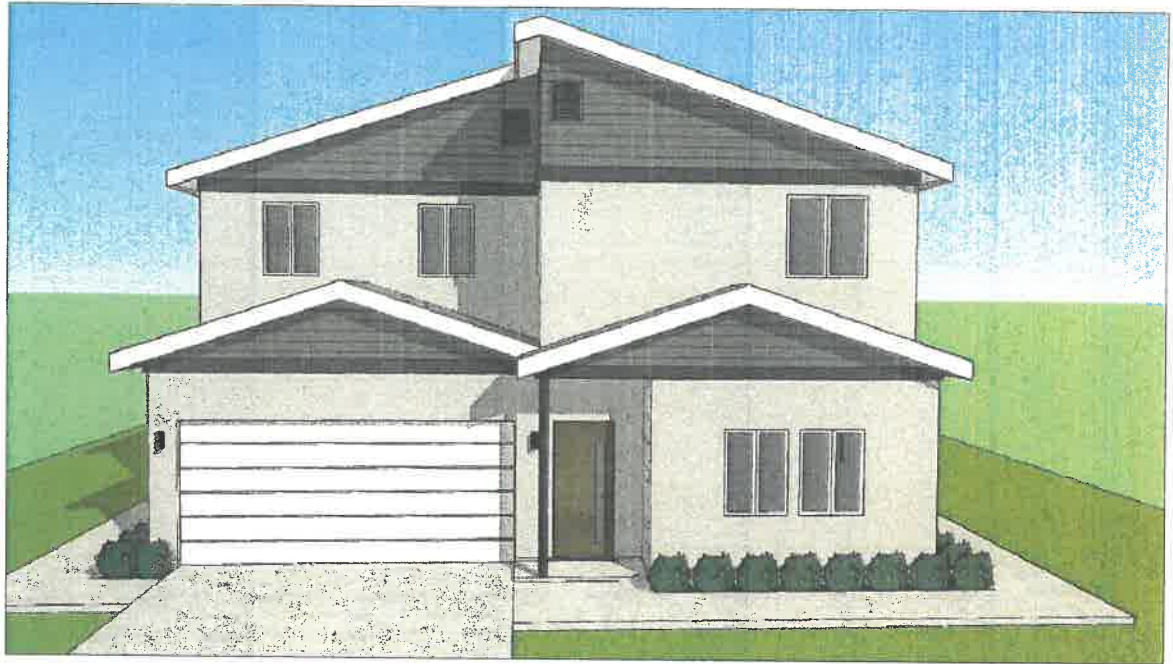
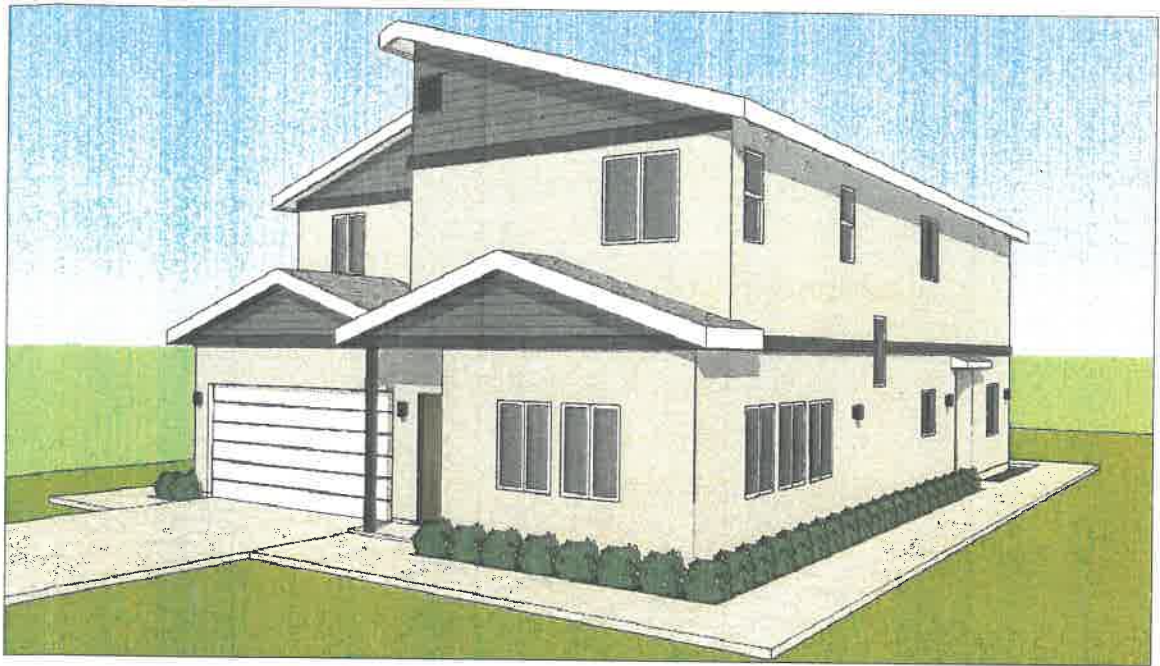


EXHIBIT "A"
Page No. 8 of 10
Case No. APCNV-2017-1102

A.8	
No.	9-25-20
By:	O. EN5AFI
Date:	1/4" = 1'-0"
APPROVED PLANS INC. 5121 Van Nuys Blvd., Suite 203A, Sherman Oaks, Ca. 91403 Tel: (818) 966-3242 , E-mail: approvedplans@yahoo.com	
Roof Plans	
Project Description & Address: 2-Story S.F.D. & ADU, 8553 Noble Ave. North Hills, CA. 91343	
Owner:	
Revisions	
Date	Description



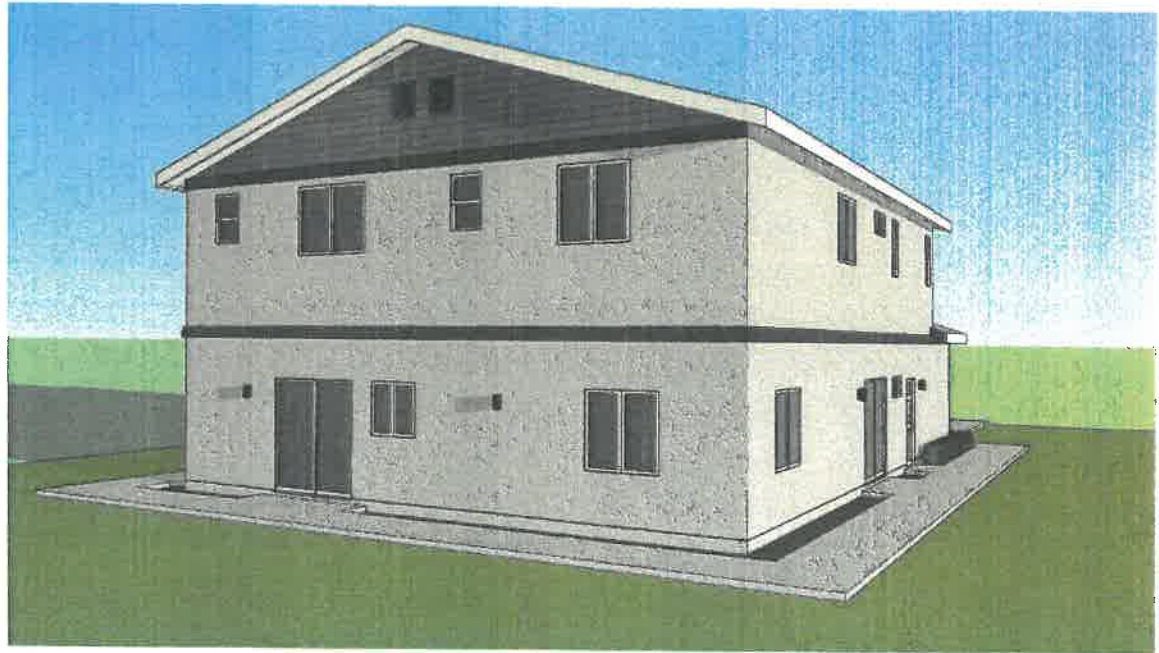
South Elevation
SCALE : 1/4" = 1'-0"



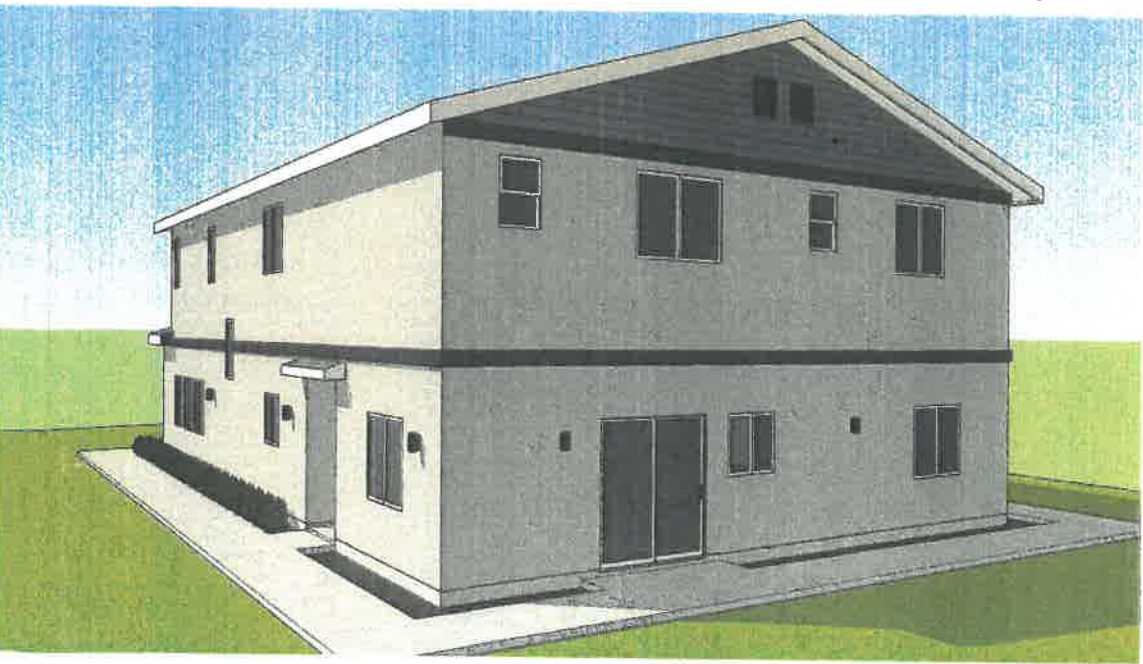
Southeast Elevation
SCALE : 1/4" = 1'-0"

LEGENDS:

- ①— Stucco, La Habra (Color: Silver Gray #16).
- ②— Asphalt Shingles Roofing, GAF (Color: Birchwood).
- ③— Steel Garage door.
- ④— Exterior Doors, Windows (White Fiberglass, Dual Glazed).
- ⑤— Wrought Iron Railing.
- ⑥— Siding at gables, (Gray color).



Northwest Elevation
SCALE : 1/4" = 1'-0"



Northeast Elevation
SCALE : 1/4" = 1'-0"

EXHIBIT "A"
Page No. 9 of 10
Case No. ARAV-2017-1102
ZC

Owner
Edmond Manouchehr

Project Description & Address:
2-Story S.F.D. Model "B" Lots 4, 5 & 6
8553 Noble Ave, North Hills, CA, 91343

Colored Elevations

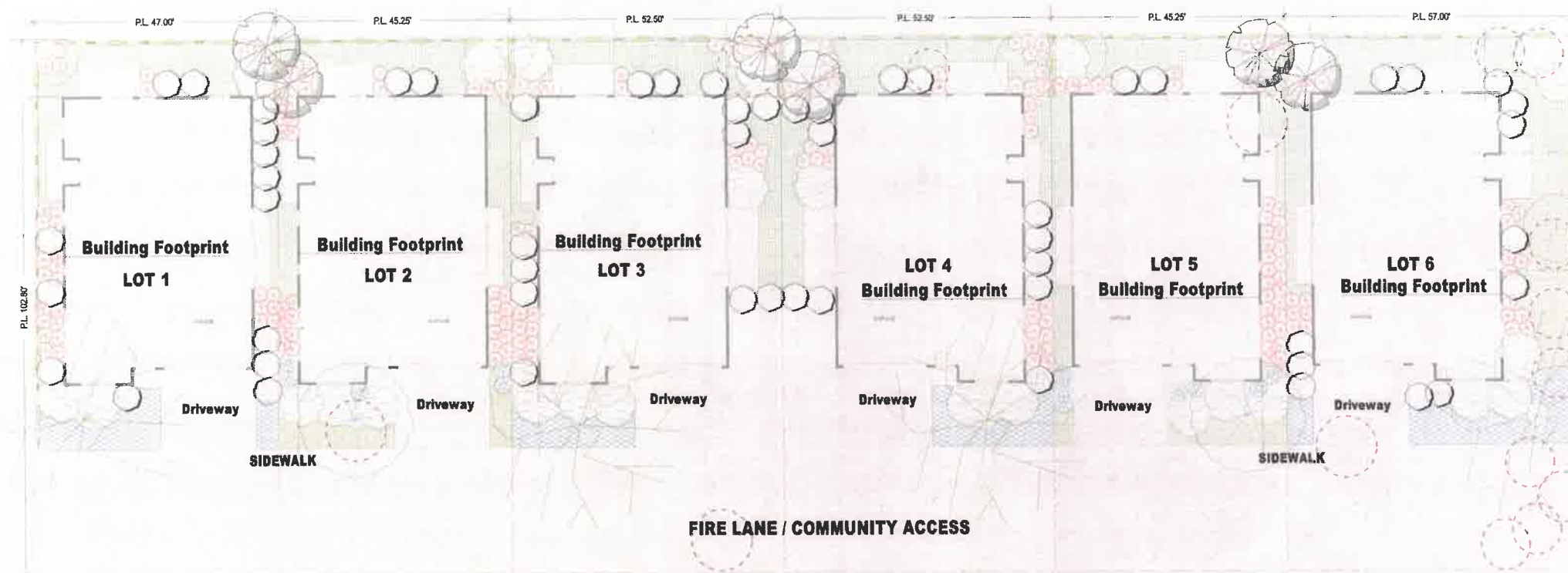
Sheet Title

Design & Planning By:
APPROVED PLANS INC.
5121 Van Nuys Blvd, Suite 203A, Sherman Oaks, Ca. 91403
Tel: (818) 888-3242, Email: approvedplans@yahoo.com

Date: 10-2-19
Drawn By: B. NAAD
Scale: 1/4" = 1'-0"
Job No.
Sheet No.

R.3

RECEIVED
CITY OF LOS ANGELES
OCT 05 2020
CITY PLANNING
VAN NUYS



PL 102.80'

WISNER AVE.

NOBLE AVE.



Arbutus undedo 'Compacta'
Dwarf Strawberry Tree
6-8' H x 5-6' W



Baccharis pilularis 'Pigeon Point'
Dwarf Coyote Brush
1-2' H x 10-12' W



Berberis aquifolium var. repens
Creeping Barberry
2-3' H x 3-5' W



Ceanothus thyrsiflorus var. griseus 'Yankee Point'
Yankee Point Ceanothus
2-3' H x 8-10' W



Cercia occidentalis
Western Redbud
12-20' H x 10-15' W



Hardenbergia violacea
Purple Vine Lilac
vine to 15'



Lippia nodiflora
Kuratle
spec as sod



Pereskia x 'Desert Museum'
Desert Museum Palo Verde
15-20' H x 20-25' W



Prunus ilicifolia ssp. lyonii
Catalina Cherry
15-25' H x 10-15' W



Pedicularis bracteatus
Slipper Plant
4-8' H x 3-4' W



Quercus agrifolia
Coast Live Oak
40-60' H x 40-50' W



Sedum rupestre 'Angelina'
Angelina Stonecrop
1' H x 1-3' W



3/8" pea gravel

Extg. tree to be removed, typ.



Harmony Gardens, Inc.
Shelley Sparks, RLA #2886
12224 Addison Street
Valley Village, CA 91607
(818) 505-9783
Shelley@harmonygardens.net

REVISION LOG:

SUBMITTAL:
NO: DATE:

PROJECT ADDRESS:
8553 Noble Ave.
North Hills, CA 91343

CLIENT ADDRESS:
Edmond Manouchetehri
c/o 8553 Noble Ave.
North Hills, CA 91343

PRELIMINARY
LANDSCAPE
PLAN

Date: 10/31/2019
Scale: 1/10" = 1'

Sheet No.

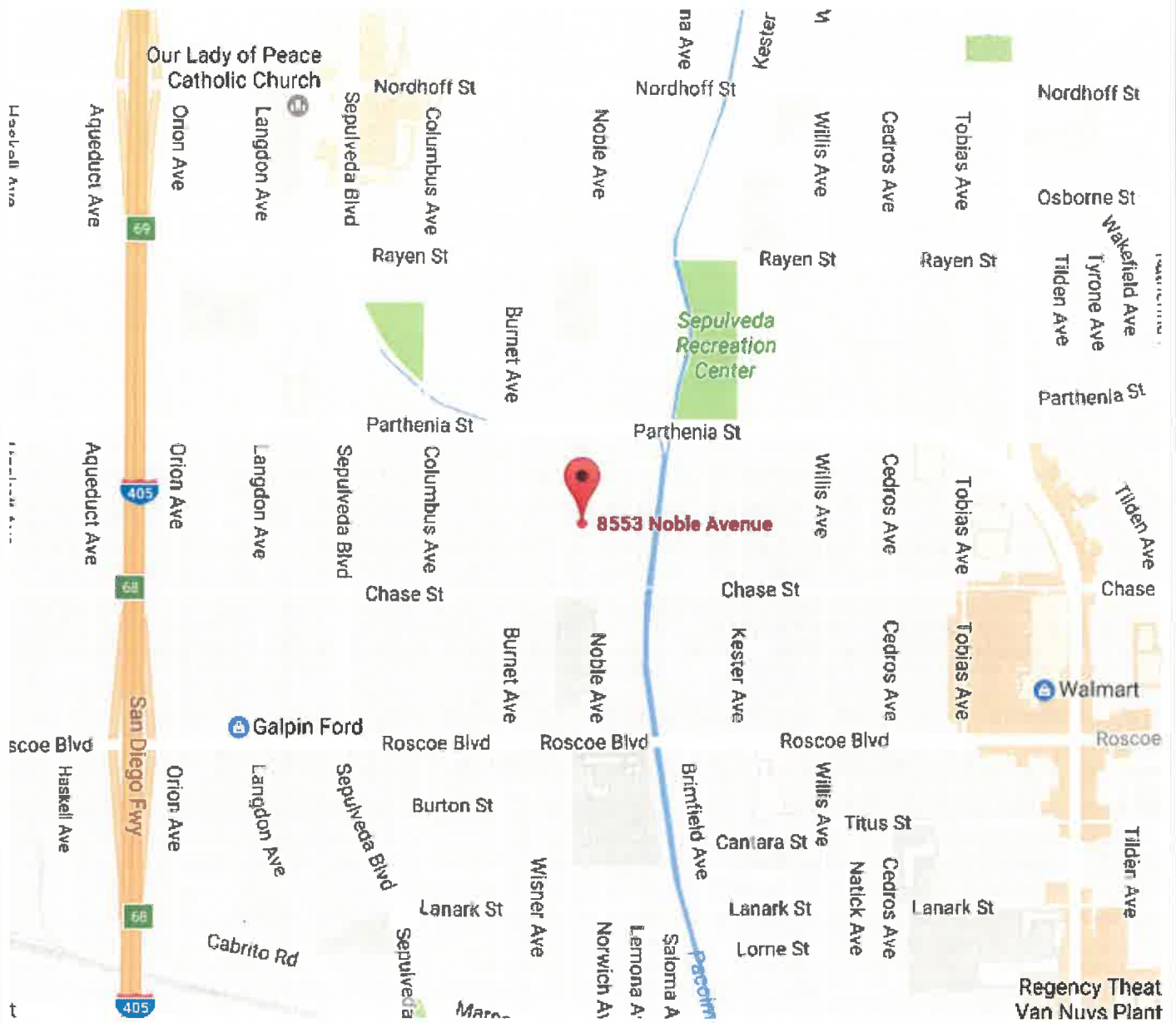
L1
1 of 1

EXHIBIT "A"
Page No. 10 of 10
Case No. ARNV-2017-1104
OCT 31 2019
CITY OF LOS ANGELES
PLANNING
DIVISION

Site Address: 8553 N NOBLE AVE, 91343
P/N: 1023145-08
Lot/Parcel Area (Calculated): 31,890.9 (sq ft)
APN: 255-402-007
Tract: TR 20702, Block: None, Lot: PR 11
Adj (Lot Out Reference): 2

0' 5' 10' 20' 30' 40'

EXHIBIT B
VICINITY MAP



Vicinity Map

Project Address : 8553 Noble Ave., North Hills. 91343

APCNV 2017 1102

EXHIBIT C
AERIAL PHOTO



Address: 8553 N NOBLE AVE

APN: 2654023007

PIN #: 192B145 68

Tract: TR 2070

Block: None

Lot: FR 11

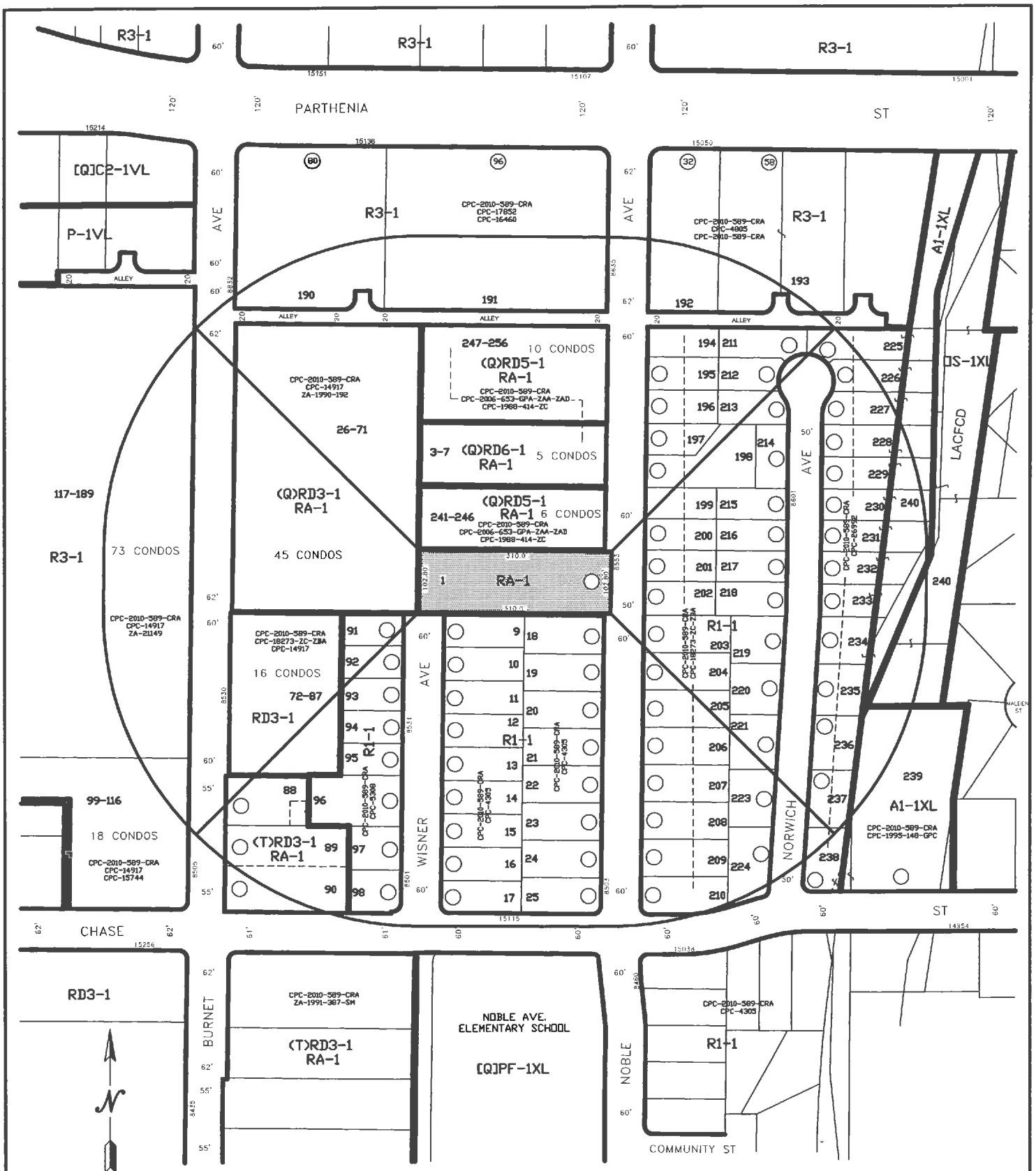
Arb: 2

Zoning: RA-1

General Plan: Low Medium Density Residential



EXHIBIT D
RADIUS MAP



NET ACRES : 0.92

OWNER / APPLICANT : EDMOND MANOUCHEHRI
SITE ADDRESS : 8553 N. NOBLE AVE, NORTH HILLS. 91343

CASE NO.

ZONE CHANGE FROM RA-1 TO RD5-1

THOMAS BROS.
PAGE : 531 , GRID : H1

P.A. MISSION HILLS -
PANORAMA CITY - NORTH HILLS

C.D. 6 C.T. 1175.30

ZONE CHANGE & VESTING TENTATIVE TRACT MAP 74873

APPROVED PLANS INC.

5121 VAN NUYS BLVD. #203A, SHERMAN OAKS, CA. 91403 ,
TEL: (818) 988-3242 , E-mail : approvedplans@yahoo.com

LEGAL DESCRIPTION:

FR 11, ARB 2 OF TR 2070

DRAWN BY : APPROVED PLANS INC.

DATE: 10 - 13 - 20 SCALE: 1"=100'

USES : FIELD

D.M. : 192 B 145 68

EXHIBIT E
ZIMAS ZONING MAP
AND PARCEL PROFILE REPORT



City of Los Angeles Department of City Planning

4/4/2023 PARCEL PROFILE REPORT

PROPERTY ADDRESSES

8553 N NOBLE AVE

ZIP CODES

91343

RECENT ACTIVITY

None

CASE NUMBERS

APCNV-2017-1102-ZC

CPC-2010-589-CRA

CPC-2006-653-GPA-ZC-ZAA-ZAD

CPC-1989-728-ZC

ORD-165873

VTT-74873-SL

TT-48483-SF

ENV-2017-1101-CE

MND-89-1025-SUB-ZC

AF-91-29409

AF-91-29408

Address/Legal Information

PIN Number	192B145 68
Lot/Parcel Area (Calculated)	31,880.9 (sq ft)
Thomas Brothers Grid	PAGE 531 - GRID H1
Assessor Parcel No. (APN)	2654023007
Tract	TR 2070
Map Reference	M B 26-37/38
Block	None
Lot	FR 11
Arb (Lot Cut Reference)	2
Map Sheet	192B145

Jurisdictional Information

Community Plan Area	Mission Hills - Panorama City - North Hills
Area Planning Commission	North Valley
Neighborhood Council	North Hills East
Council District	CD 6 - District 6
Census Tract #	1175.30
LADBS District Office	Van Nuys

Permitting and Zoning Compliance Information

Administrative Review	None
-----------------------	------

Planning and Zoning Information

Special Notes	None
Zoning	RA-1
Zoning Information (ZI)	ZI-1022 Parcel/Tract Map Conditions Clearance ZI-2462 Modifications to SF Zones and SF Zone Hillside Area Regulations ZI-2438 Equine Keeping in the City of Los Angeles ZI-2452 Transit Priority Area in the City of Los Angeles
General Plan Land Use	Low Medium I Residential
General Plan Note(s)	Yes
Hillside Area (Zoning Code)	No
Specific Plan Area	None
Subarea	None
Special Land Use / Zoning	None
Historic Preservation Review	No
Historic Preservation Overlay Zone	None
Other Historic Designations	None
Other Historic Survey Information	None
Mills Act Contract	None
CDO: Community Design Overlay	None
CPIO: Community Plan Imp. Overlay	None
Subarea	None
CUGU: Clean Up-Green Up	None
HCR: Hillside Construction Regulation	No
NSO: Neighborhood Stabilization Overlay	No
POD: Pedestrian Oriented Districts	None
RBP: Restaurant Beverage Program Eligible Area	None

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at zimas.lacity.org
(*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

RFA: Residential Floor Area District	None
RIO: River Implementation Overlay	No
SN: Sign District	No
AB 2334: Very Low VMT	Yes
AB 2097: Reduced Parking Areas	Yes
Streetscape	No
Adaptive Reuse Incentive Area	None
Affordable Housing Linkage Fee	
Residential Market Area	Low
Non-Residential Market Area	Medium
Transit Oriented Communities (TOC)	Tier 1
RPA: Redevelopment Project Area	None
Central City Parking	No
Downtown Parking	No
Building Line	None
500 Ft School Zone	No
500 Ft Park Zone	No
Assessor Information	
Assessor Parcel No. (APN)	2654023007
Ownership (Assessor)	
Owner1	MANOUCHEHRI,EDMOND AND ROUBINA
Address	1317 N SAN FERNANDO BLVD UNIT 182 BURBANK CA 91504
Ownership (Bureau of Engineering, Land Records)	
Owner	BRAUNFELD, MICHELLE Y.
Address	12216 ADDISON ST VALLEY VILLAGE CA 91607
APN Area (Co. Public Works)*	0.733 (ac)
Use Code	0100 - Residential - Single Family Residence
Assessed Land Val.	\$636,724
Assessed Improvement Val.	\$94,817
Last Owner Change	11/22/2016
Last Sale Amount	\$685,006
Tax Rate Area	16
Deed Ref No. (City Clerk)	932489
	716380
	700825
	1521273
	1391
	1241663
Building 1	
Year Built	1953
Building Class	D7C
Number of Units	1
Number of Bedrooms	3
Number of Bathrooms	2
Building Square Footage	1,770.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5
Rent Stabilization Ordinance (RSO)	No [APN: 2654023007]
Additional Information	
Airport Hazard	Horizontal Surface Area
Coastal Zone	None

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 (*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

Santa Monica Mountains Zone	No
Farmland	Urban and Built-up Land
Urban Agriculture Incentive Zone	YES
Very High Fire Hazard Severity Zone	No
Fire District No. 1	No
Flood Zone	Outside Flood Zone
Watercourse	No
Hazardous Waste / Border Zone Properties	No
Methane Hazard Site	None
High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	No
Wells	None

Seismic Hazards

Active Fault Near-Source Zone	
Nearest Fault (Distance in km)	4.6899576
Nearest Fault (Name)	Northridge
Region	Los Angeles Blind Thrusts
Fault Type	B
Slip Rate (mm/year)	1.50000000
Slip Geometry	Reverse
Slip Type	Poorly Constrained
Down Dip Width (km)	22.00000000
Rupture Top	5.00000000
Rupture Bottom	20.00000000
Dip Angle (degrees)	42.00000000
Maximum Magnitude	7.00000000
Alquist-Priolo Fault Zone	No
Landslide	No
Liquefaction	No
Preliminary Fault Rupture Study Area	No
Tsunami Inundation Zone	No

Economic Development Areas

Business Improvement District	None
Hubzone	Qualified
Jobs and Economic Development Incentive Zone (JEDI)	None
Opportunity Zone	No
Promise Zone	None
State Enterprise Zone	None

Housing

Direct all Inquiries to	Los Angeles Housing Department
Telephone	(866) 557-7368
Website	https://housing.lacity.org
Rent Stabilization Ordinance (RSO)	No [APN: 2654023007]
Ellis Act Property	No
AB 1482: Tenant Protection Act	See Notes
Assessor Parcel No. (APN)	2654023007
Address	8553 NOBLE AVE
Year Built	1953
Use Code	0100 - Residential - Single Family Residence
Notes	The property is subject to AB 1482 if the owner is a corporation, limited liability company with a corporate member, or real estate trust. Does not apply to owner-occupied duplexes & government-subsidized housing.
Housing Crisis Act Replacement Review	Yes
Housing Element Sites	

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 (*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

HE Replacement Required	N/A
SB 166 Units	N/A
Housing Use within Prior 5 Years	Yes

Public Safety

Police Information

Bureau	Valley
Division / Station	Mission
Reporting District	1983

Fire Information

Bureau	Valley
Battalion	10
District / Fire Station	81
Red Flag Restricted Parking	No

CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

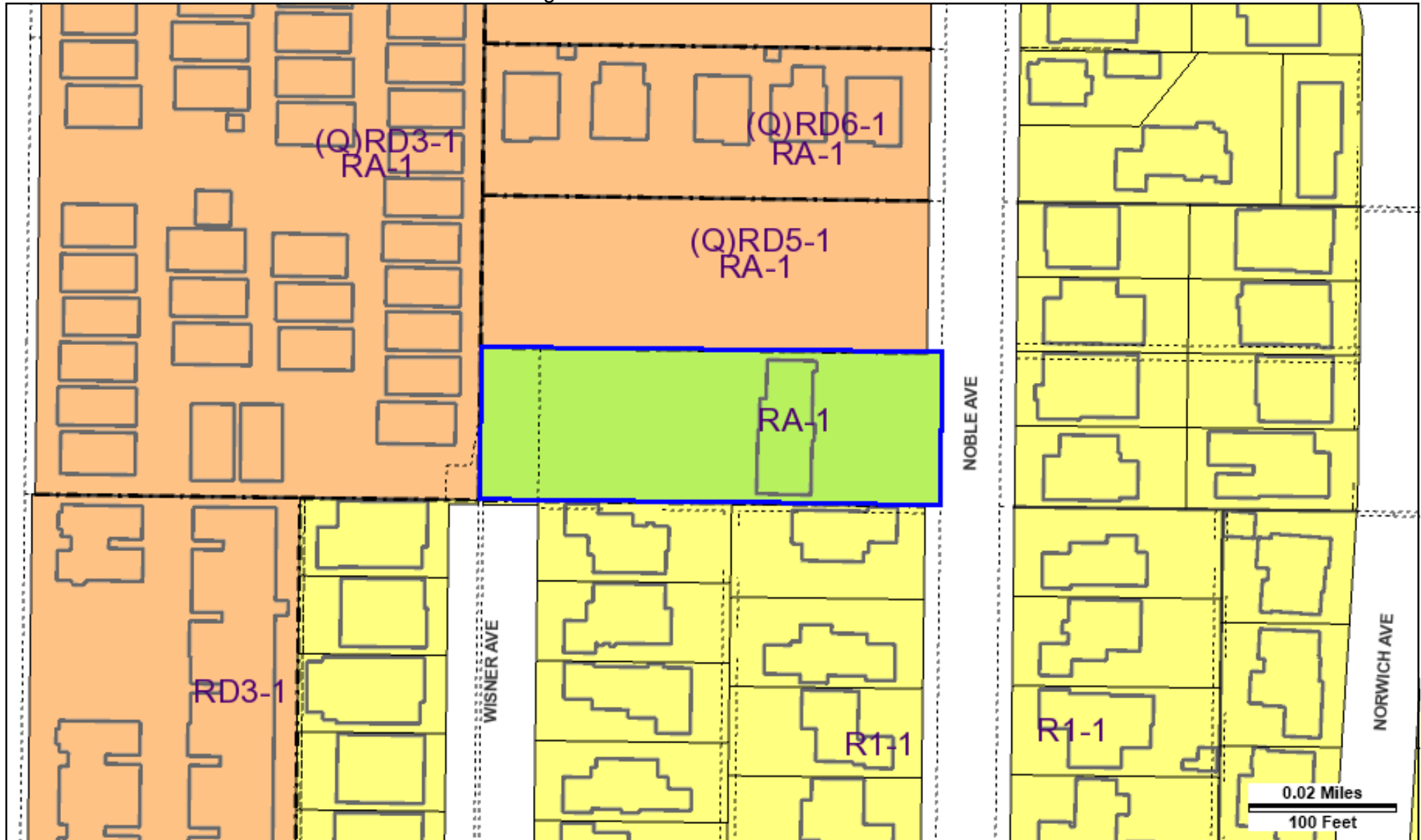
Case Number:	APCNV-2017-1102-ZC
Required Action(s):	ZC-ZONE CHANGE
Project Descriptions(s):	PURSUANT TO 12.32 OF THE LAMC ZONE CHANGE FROM RA-1 TO RD5-1 FOR PURPOSE OF VESTING TENTATIVE TRACT FOR SIX SMALL LOTS; PURSUANT TO 17.03, TO DEMOLISH EXISTING ONE STORY SINGLE FAMILY DWELLING WITH GARAGE FOR PURPOSE OF CONSTRUCTION OF SMALL LOT SUBDIVISION OF SIX TWO-STORY SINGLE FAMILY DWELLINGS WITH ATTACHED GARAGES.
Case Number:	CPC-2010-589-CRA
Required Action(s):	CRA-COMMUNITY REDEVELOPMENT AGENCY
Project Descriptions(s):	PROPOSED AMENDMENT AND EXPANSION OF THE REDEVELOPMENT PLAN WITHIN ARLETA-PACOIMA, MISSION HILLS - PANORAMA CITY- NORTH HILLS, NORTH HOLLYWOOD- VALLEY VILLAGE, SUN VALLEY - LA TUNA CANYON, SUNLAND - LAKE VIEW TERRACE - SHADOW HILLS - EAST LA TUNA CANYON, SYLMAR, RESEDA - WEST VAN NUYS
Case Number:	CPC-2006-653-GPA-ZC-ZAA-ZAD
Required Action(s):	GPA-GENERAL PLAN AMENDMENT ZC-ZONE CHANGE ZAA-AREA,HEIGHT,YARD,AND BLDG LINE ADJMNTS GT 20% (SLIGHT MODIFICATIONS) ZAD-ZA DETERMINATION (PER LAMC 12.27)
Project Descriptions(s):	A PLAN AMENDMENT FROM LOW RESIDENTIAL TO LOW MEDIUM I RESIDENTIAL AND ZONE CHANGE TO RD5-1 FROM THE EXISTING RA-1 ZONE, ZONING ADMINSTRATOR ADJUSTMENTS FOR LOT AREA REDUCTION AND BUILDING SEPARATIONS, AND ZONING ADMINISTRATOR DETERMINATION FOR OVER IN HEIGHT FENCE/WALL WITHIN THE REQUIRED FRONT YARD.
Case Number:	CPC-1989-728-ZC
Required Action(s):	ZC-ZONE CHANGE
Project Descriptions(s):	ZONE CHANGE FROM RA TO R1
Case Number:	VTT-74873-SL
Required Action(s):	SL-SMALL LOT SUBDIVISION
Project Descriptions(s):	PURSUANT TO LAMC 17.03 FOR A VESTING TENTATIVE TRACT MAP TO SUBDIVIDE ONE LOT TO CREATE 6 SMALL LOTS.
Case Number:	TT-48483-SF
Required Action(s):	Data Not Available
Project Descriptions(s):	SITUS HOUSE NUMBER IS 8553-8559 NOBLE AV
Case Number:	ENV-2017-1101-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	PURSUANT TO 12.32 OF THE LAMC ZONE CHANGE FROM RA-1 TO RD5-1 FOR PURPOSE OF VESTING TENTATIVE TRACT FOR SIX SMALL LOTS; PURSUANT TO 17.03, TO DEMOLISH EXISTING ONE STORY SINGLE FAMILY DWELLING WITH GARAGE FOR PURPOSE OF CONSTRUCTION OF SMALL LOT SUBDIVISION OF SIX TWO-STORY SINGLE FAMILY DWELLINGS WITH ATTACHED GARAGES.
Case Number:	MND-89-1025-SUB-ZC
Required Action(s):	SUB-SUBDIVISIONS ZC-ZONE CHANGE
Project Descriptions(s):	Data Not Available

DATA NOT AVAILABLE

ORD-165873

AF-91-29409

AF-91-29408



LEGEND

GENERALIZED ZONING

- OS, GW
- A, RA
- RE, RS, R1, RU, RZ, RW1
- R2, RD, RMP, RW2, R3, RAS, R4, R5, PVSP
- CR, C1, C1.5, C2, C4, C5, CW, WC, ADP, LASED, CEC, USC, PPSP, MU, NMU
- CM, MR, CCS, UV, UI, UC, M1, M2, LAX, M3, SL, HJ, HR, NI
- P, PB
- PF

GENERAL PLAN LAND USE

LAND USE

RESIDENTIAL

- Minimum Residential
- Very Low / Very Low I Residential
- Very Low II Residential
- Low / Low I Residential
- Low II Residential
- Low Medium / Low Medium I Residential
- Low Medium II Residential
- Medium Residential
- High Medium Residential
- High Density Residential
- Very High Medium Residential

COMMERCIAL

- Limited Commercial
- Limited Commercial - Mixed Medium Residential
- Highway Oriented Commercial
- Highway Oriented and Limited Commercial
- Highway Oriented Commercial - Mixed Medium Residential
- Neighborhood Office Commercial
- Community Commercial
- Community Commercial - Mixed High Residential
- Regional Center Commercial

FRAMEWORK

COMMERCIAL

- Neighborhood Commercial
- General Commercial
- Community Commercial
- Regional Mixed Commercial

INDUSTRIAL

- Commercial Manufacturing
- Limited Manufacturing
- Light Manufacturing
- Heavy Manufacturing
- Hybrid Industrial

PARKING

- Parking Buffer

PORT OF LOS ANGELES

- General / Bulk Cargo - Non Hazardous (Industrial / Commercial)
- General / Bulk Cargo - Hazard
- Commercial Fishing
- Recreation and Commercial
- Intermodal Container Transfer Facility Site

LOS ANGELES INTERNATIONAL AIRPORT

- Airport Landside / Airport Landside Support
- Airport Airside
- LAX Airport Northside

OPEN SPACE / PUBLIC FACILITIES

- Open Space
- Public / Open Space
- Public / Quasi-Public Open Space
- Other Public Open Space
- Public Facilities

INDUSTRIAL

- Limited Industrial
- Light Industrial

CIRCULATION

STREET

- Arterial Mountain Road
- Collector Scenic Street
- Collector Street
- Collector Street (Hillside)
- Collector Street (Modified)
- Collector Street (Proposed)
- Country Road
- Divided Major Highway II
- Divided Secondary Scenic Highway
- Local Scenic Road
- Local Street
- Major Highway (Modified)
- Major Highway I
- Major Highway II
- Major Highway II (Modified)

- Major Scenic Highway
- Major Scenic Highway (Modified)
- Major Scenic Highway II
- Mountain Collector Street
- Park Road
- Parkway
- Principal Major Highway
- Private Street
- Scenic Divided Major Highway II
- Scenic Park
- Scenic Parkway
- Secondary Highway
- Secondary Highway (Modified)
- Secondary Scenic Highway
- Special Collector Street
- Super Major Highway

FREEWAYS

- Freeway
- Interchange
- On-Ramp / Off- Ramp
- Railroad
- Scenic Freeway Highway

MISC. LINES

- Airport Boundary
- Bus Line
- Coastal Zone Boundary
- Coastline Boundary
- Collector Scenic Street (Proposed)
- Commercial Areas
- Commercial Center
- Community Redevelopment Project Area
- Country Road
- DWP Power Lines
- Desirable Open Space
- Detached Single Family House
- Endangered Ridgeline
- Equestrian and/or Hiking Trail
- Hiking Trail
- Historical Preservation
- Horsekeeping Area
- Local Street
- MSA Desirable Open Space
- Major Scenic Controls
- Multi-Purpose Trail
- Natural Resource Reserve
- Park Road
- Park Road (Proposed)
- Quasi-Public
- Rapid Transit Line
- Residential Planned Development
- Scenic Highway (Obsolete)
- Secondary Scenic Controls
- Secondary Scenic Highway (Proposed)
- Site Boundary
- Southern California Edison Power
- Special Study Area
- Specific Plan Area
- Stagecoach Line
- Wildlife Corridor

POINTS OF INTEREST

 Alternative Youth Hostel (Proposed)	 Horticultural Center	 Public Elementary School
 Animal Shelter	 Hospital	 Public Elementary School (Proposed)
 Area Library	 Hospital (Proposed)	 Public Golf Course
 Area Library (Proposed)	HW House of Worship	 Public Golf Course (Proposed)
 Bridge	e Important Ecological Area	 Public Housing
 Campground	 Important Ecological Area (Proposed)	 Public Housing (Proposed Expansion)
 Campground (Proposed)	 Interpretive Center (Proposed)	 Public Junior High School
 Cemetery	 Junior College	 Public Junior High School (Proposed)
HW Church	 MTA / Metrolink Station	 Public Middle School
 City Hall	 MTA Station	 Public Senior High School
 Community Center	 MTA Stop	 Public Senior High School (Proposed)
 Community Library	MWD MWD Headquarters	 Pumping Station
 Community Library (Proposed Expansion)	 Maintenance Yard	 Pumping Station (Proposed)
 Community Library (Proposed)	 Municipal Office Building	 Refuse Collection Center
 Community Park	P Municipal Parking lot	 Regional Library
 Community Park (Proposed Expansion)	 Neighborhood Park	 Regional Library (Proposed Expansion)
 Community Park (Proposed)	 Neighborhood Park (Proposed Expansion)	 Regional Library (Proposed)
 Community Transit Center	 Neighborhood Park (Proposed)	 Regional Park
 Convalescent Hospital	 Oil Collection Center	 Regional Park (Proposed)
 Correctional Facility	 Parking Enforcement	RPD Residential Plan Development
 Cultural / Historic Site (Proposed)	 Police Headquarters	 Scenic View Site
 Cultural / Historical Site	 Police Station	 Scenic View Site (Proposed)
 Cultural Arts Center	 Police Station (Proposed Expansion)	 School District Headquarters
DMV DMV Office	 Police Station (Proposed)	 School Unspecified Loc/Type (Proposed)
DWP DWP	 Police Training site	 Skill Center
 DWP Pumping Station	PO Post Office	 Social Services
 Equestrian Center	 Power Distribution Station	 Special Feature
 Fire Department Headquarters	 Power Distribution Station (Proposed)	 Special Recreation (a)
 Fire Station	 Power Receiving Station	 Special School Facility
 Fire Station (Proposed Expansion)	 Power Receiving Station (Proposed)	 Special School Facility (Proposed)
 Fire Station (Proposed)	C Private College	 Steam Plant
 Fire Supply & Maintenance	E Private Elementary School	 Surface Mining
 Fire Training Site	 Private Golf Course	 Trail & Assembly Area
 Fireboat Station	 Private Golf Course (Proposed)	 Trail & Assembly Area (Proposed)
 Health Center / Medical Facility	JH Private Junior High School	UTL Utility Yard
 Helistop	PS Private Pre-School	 Water Tank Reservoir
 Historic Monument	 Private Recreation & Cultural Facility	 Wildlife Migration Corridor
 Historical / Cultural Monument	SH Private Senior High School	 Wildlife Preserve Gate
 Horsekeeping Area	SF Private Special School	
 Horsekeeping Area (Proposed)	 Public Elementary (Proposed Expansion)	

SCHOOLS/PARKS WITH 500 FT. BUFFER

Existing School/Park Site Planned School/Park Site Inside 500 Ft. Buffer

- | | | |
|----------------------|----------------------------------|--------------------------|
| Aquatic Facilities | Other Facilities | Opportunity School |
| Beaches | Park / Recreation Centers | Charter School |
| Child Care Centers | Parks | Elementary School |
| Dog Parks | Performing / Visual Arts Centers | Span School |
| Golf Course | Recreation Centers | Special Education School |
| Historic Sites | Senior Citizen Centers | High School |
| Horticulture/Gardens | | Middle School |
| Skate Parks | | Early Education Center |

COASTAL ZONE

- Coastal Commission Permit Area
- Dual Permit Jurisdiction Area
- Single Permit Jurisdiction Area
- Not in Coastal Zone

TRANSIT ORIENTED COMMUNITIES (TOC)

- Tier 1
- Tier 2
- Tier 3
- Tier 4

Note: TOC Tier designation and map layers are for reference purposes only. Eligible projects shall demonstrate compliance with Tier eligibility standards prior to the issuance of any permits or approvals. As transit service changes, eligible TOC Incentive Areas will be updated.

WAIVER OF DEDICATION OR IMPROVEMENT

- Public Work Approval (PWA)
- Waiver of Dedication or Improvement (WDI)

OTHER SYMBOLS

- | | | |
|------------------------|-----------------------|-------------------------------------|
| Lot Line | Airport Hazard Zone | Flood Zone |
| Tract Line | Census Tract | Hazardous Waste |
| Lot Cut | Coastal Zone | High Wind Zone |
| Easement | Council District | Hillside Grading |
| Zone Boundary | LADBS District Office | Historic Preservation Overlay Zone |
| Building Line | Downtown Parking | Specific Plan Area |
| Lot Split | Fault Zone | Very High Fire Hazard Severity Zone |
| Community Driveway | Fire District No. 1 | Wells |
| Building Outlines 2014 | Tract Map | |
| Building Outlines 2008 | Parcel Map | |

EXHIBIT F
SITE AND SURROUNDING AREA PHOTOS

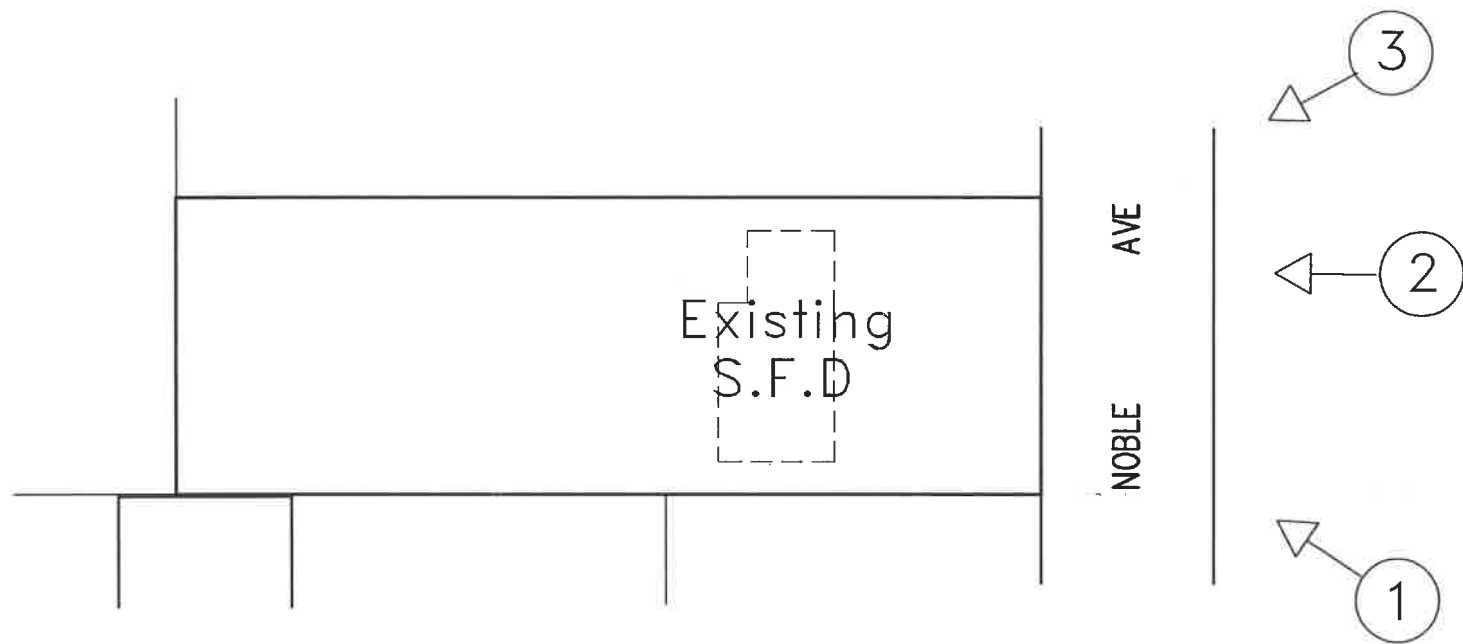


Photo Index Key

Project Address : 8553 Noble Ave., North Hills. 91343



APCNV-2017-1102







EXHIBIT G
ENVIRONMENTAL CLEARANCE
CASE NO. ENV-2017-1101-CE

NOTICE OF EXEMPTION

(PRC Section 21152; CEQA Guidelines Section 15062)

Pursuant to Public Resources Code § 21152(b) and CEQA Guidelines § 15062, the notice should be posted with the County Clerk by mailing the form and posting fee payment to the following address: Los Angeles County Clerk/Recorder, Environmental Notices, P.O. Box 1208, Norwalk, CA 90650. Pursuant to Public Resources Code § 21167 (d), the posting of this notice starts a 35-day statute of limitations on court challenges to reliance on an exemption for the project. Failure to file this notice as provided above, results in the statute of limitations being extended to 180 days.

PARENT CASE NUMBER(S) / REQUESTED ENTITLEMENTS

APCNV-2017-1102-ZC and VTT-74873-SL

LEAD CITY AGENCY

City of Los Angeles (Department of City Planning)

CASE NUMBER

ENV-2017-1101-CE

PROJECT TITLE

8553 Noble Avenue

COUNCIL DISTRICT

6

PROJECT LOCATION (Street Address and Cross Streets and/or Attached Map)

8553 Noble Avenue☐ Map attached.

PROJECT DESCRIPTION:

Six single-family dwellings in a small lot subdivision configuration with attached ADUs

☒ Additional page(s) attached.

NAME OF APPLICANT / OWNER:

Edmond Manouchehri

CONTACT PERSON (If different from Applicant/Owner above)

Oscar Ensafi

(AREA CODE) TELEPHONE NUMBER

(818) 988-3242

EXT.

EXEMPT STATUS: (Check all boxes, and include all exemptions, that apply and provide relevant citations.)

STATE CEQA STATUTE & GUIDELINES

☐ STATUTORY EXEMPTION(S)

Public Resources Code Section(s) _____

☒ CATEGORICAL EXEMPTION(S) (State CEQA Guidelines Sec. 15301-15333 / Class 1-Class 33)CEQA Guideline Section(s) / Class(es) **Class 32**☐ OTHER BASIS FOR EXEMPTION (E.g., CEQA Guidelines Section 15061(b)(3) or (b)(4) or Section 15378(b))

JUSTIFICATION FOR PROJECT EXEMPTION:

☒ Additional page(s) attached

See Attachment "A"

☒ None of the exceptions in CEQA Guidelines Section 15300.2 to the categorical exemption(s) apply to the Project.☐ The project is identified in one or more of the list of activities in the City of Los Angeles CEQA Guidelines as cited in the justification.

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT ISSUED BY THE CITY PLANNING DEPARTMENT STATING THAT THE DEPARTMENT HAS FOUND THE PROJECT TO BE EXEMPT.

If different from the applicant, the identity of the person undertaking the project.

CITY STAFF USE ONLY:

CITY STAFF NAME AND SIGNATURE

Laura Frazin Steele

Laura Frazin Steele

STAFF TITLE

City Planner

ENTITLEMENTS APPROVED

Zone Change and Small Lot Subdivision

DISTRIBUTION: County Clerk, Agency Record

Rev. 6-22-2021

ATTACHMENT "A"

Project Description

The proposed project is the construction, use, and maintenance of six approximately 3,111 square foot residential structures, 26.5 feet in height and two stories, on a 31,868 (gross) square foot lot in the RA-1 Zone. As proposed, each 3,111 square foot structure will include a 2,077 square foot single-family dwelling and a 1,034 square foot attached accessory dwelling unit ("ADU"). Each structure will be constructed with a two-car garage for the single-family dwelling and a tandem parking space for the accessory dwelling unit. The applicant proposes to demolish an existing approximately 1,770 square foot single-family residence. There are 16 trees on the subject site, including one protected California black walnut tree. All of the trees on site are proposed to be removed. An additional protected California black walnut tree is located off-site to the south and is proposed to be protected in place. Less than 500 cubic yards of grading is proposed.

To achieve the proposed project, the applicant is requesting a Zone Change from RA-1 to RD5-1 and a Vesting Tentative Tract Map, VTT No. 74873-SL for the subdivision of one lot into six small lots.

Notice of Exemption

The City of Los Angeles determined based on the whole of the administrative record, that the Zone Change and small lot subdivision entitlements are exempt from CEQA pursuant to CEQA Guidelines Section 15332 (Class 32). For both entitlements, there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies. Specifically, the project was found to be exempt based on the following:

- CEQA Guidelines, Section 15332, Class 32, consists of projects characterized as in-fill development meeting the following five conditions: (a) The small lot subdivision project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations; (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; (c) The project site has no value as habitat for endangered, rare or threatened species; (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (e) The site can be adequately served by all required utilities and public services. These conditions are met as follows for the small lot subdivision project:

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations.

The site is composed of one lot totaling approximately 31,868 square feet. The subject site is currently zoned RA-1 and designated Low Medium I Residential under the Mission Hills-Panorama City-North Hills Community Plan. The Low Medium I Residential designation is a multiple-family designation corresponding to the following zones: R2, RD3, RD4, RD5, RD6, RZ3, RZ4, RU, and RW1. As such the current RA-

1 Zone does not correspond with the General Plan land use designation. The requested RD5-1 zone change will be consistent with the General Plan. With approval of the requested Zone Change, the small lot subdivision project will correspond to the applicable zoning designation and regulations. No relief has been requested from any other applicable provision or requirement of the Los Angeles Municipal Code.

- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.

The subject site is wholly within the City of Los Angeles, on an approximately 0.73 gross acre property (i.e., less than five acres), and is substantially surrounded by urban uses. The surrounding area to the north is designated Low Medium I Residential, zoned (Q)RD5-1 and (Q)RD6-1, and is developed with two-story detached residential condominiums. To the northwest and west, properties are also designated Low Medium I Residential, zoned (Q)RD3-1, and are developed with detached condominiums. To the south and east, properties are zoned R1-1, designated Low Residential, and are developed with single-family dwellings. As such, the site is less than 5 acres and is surrounded by urban uses.

- (c) The project site has no value as habitat for endangered, rare or threatened species.

The project is located within an established, fully developed, residential neighborhood. A Protected Tree Report dated April 9, 2017 was prepared by James Komen, Class One Arboriculture Inc., and is attached to the subject case file. The Protected Tree Report identifies the removal of one California black walnut tree in fair health at the northerly portion of the subject site. The report recommends the planting of four 24-inch box coast live oak mitigation trees to replace the California black walnut tree. All or most of the 15 non-protected trees on-site are subject to removal. The project will be subject to Regulatory Compliance Measures (RCMs), which require approval of a Protected Tree Report by the Department of Urban Forestry for the removal of any street tree or protected tree, as well as minimum tree replacement ratios (i.e., minimum 24-inch box size) of 1:1 for significant, non-protected trees, and 4:1 for protected trees. The Protected Tree Report identifies a California black walnut tree on an abutting lot to the south. Furthermore, the Protected Tree Report includes the recommendation that the existing block wall at the southerly property line remain in place to serve as an adequate barrier between construction activity and the California black walnut tree. The Protected Tree Report also recommends that no construction activity take place on the southern side of the wall within the drip line of the California black walnut tree. Finally, the Protected Tree Report recommends that the project arborist be informed with 24 hours of any injury to the California black walnut tree during project construction so that the tree may be evaluated and treated. As conditioned, the project will be required to provide an updated Tree Report that complies with Ordinance No. 186,873. The Tree Report will be reviewed by the Department of City Planning and the Urban Forestry Division.

- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

The project's six single-family dwellings with attached ADUs are well below the Los Angeles Department of Transportation threshold of 25 single-family homes in regard

to potential traffic impacts, and as such, no traffic study is warranted. At six dwelling units with attached ADUs in a small lot subdivision configuration and less than 500 cubic yards of on-site grading, the proposed project is also under the Department's interim air quality screening criteria of 80 or more residential units, and 20,000 or more cubic yards of soil export, which is used to identify projects which have the potential to generate criteria pollutants in excess of established SCAQMD construction or operational thresholds, requiring analysis in an air quality study. As such, no significant air quality effects would result. The project will be subject to Regulatory Compliance Measures ("RCM"), which require compliance with the City of Los Angeles Noise Ordinance (in regard to both proposed construction and operations), and compliance with pollutant discharge, dewatering, and stormwater regulatory control requirements, including implementing Best Management Practices for stormwater runoff. These RCMs will ensure there are no significant impacts related to traffic, air quality, noise, and water quality. Finally, the proposed project is located in a Tier 1 of a Transit Orientated Community where the development of housing is encouraged since it is located within a one-half mile radius of a major transit stop.

- (e) The site can be adequately served by all required utilities and public services.

The project site will be adequately served by all required public utilities and services, given that the site is currently served by the City's Department of Water and Power, the City's Bureau of Sanitation, the Southern California (SoCal) Gas Company, the Los Angeles Police Department, the Los Angeles Fire Department, Los Angeles Unified School District, Los Angeles Public Library, and other public services. These utilities and public services have continuously served the neighborhood for more than 50 years. Compliance with Regulatory Compliance Measures enforced through the Department of Building and Safety permitting process will ensure that any needed improvements are made as may be necessary to assure adequate delivery of utilities and services to the proposed project. In addition, the California Green Code requires new construction to meet stringent efficiency standards for both water and power, such as high-efficiency toilets, dual-flush water closets, minimum irrigation standards, LED lighting, etc. As a result of these new building codes, which are required of all projects, it can be anticipated that the proposed project will not create any impact on existing utilities and public services through the net addition of five single-family dwelling.

CEQA SECTION 15300.2: EXCEPTIONS TO THE USE OF CATEGORICAL EXEMPTIONS

The City has further considered whether the proposed project is subject to any of the six exceptions (listed as a-f) set forth in State CEQA Guidelines Section 15300.2, that would prohibit the use of any categorical exemption. None of the exceptions are triggered for the reasons discussed as follows:

- A. **Location.** *Classes 3, 4, 5, 6, and 11 are qualified by consideration of where the project is to be located. A project that is ordinarily insignificant in its effect on the environment may in a particularly sensitive environment be significant. Therefore, these classes may not be utilized where the project may impact on an environmental resource of hazardous or critical concern where designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies.*

Not applicable as this project relies upon a Class 32 Categorical Exemption as discussed above.

- B. **Cumulative Impacts.** *The exception applies when, although a particular project may not have a significant impact, the impact of successive projects, of the same type, in the same place, over time is significant.*

Based on a review of databases including the City of Los Angeles Department of City Planning ZIMAS for nearby case approvals (<http://zimas.lacity.org/>), the Los Angeles Department of Building and Safety (LADBS) for recently issued permits, and Navigate LA for other entitlements requested on property in the surrounding area, there are no active projects in the vicinity, and as such, the cumulative impact of successive projects of the same type in the same place, over time, would not be significant.

- C. **Unusual Circumstances.** *This exception applies when, although the project may otherwise be exempt, there is a reasonable possibility that the project will have a significant effect due to unusual circumstances.*

Small lot subdivision projects, of similar size, is a common form of infill development type citywide and this proposed project presents no unusual circumstances because the surrounding area is developed with multi- and single family residential uses. The proposed height is not unusual for the vicinity of subject site and is similar in scope to other existing Low Medium I Residential uses. The subject site is located in an Urban Agriculture Incentive Zone, however, no agricultural use is proposed herein.

- D. **State Scenic Highway.** *This exception applies when, although the project may otherwise be exempt, there may be damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway.*

Based on a review of the California Scenic Highway Mapping System (http://www.dot.ca.gov/hq/LandArch/16_livability/scenic_highways/), the subject site is not located along a State Scenic Highway, nor are there any designated State Scenic Highways located near the project site. Based on this, the proposed project will not result in damage to scenic resources including trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway, and this exception does not apply.

- E. **Hazardous Waste.** *Projects located on a site or facility listed pursuant to California Government Code 65962.5.*

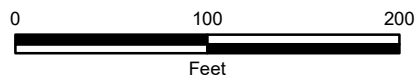
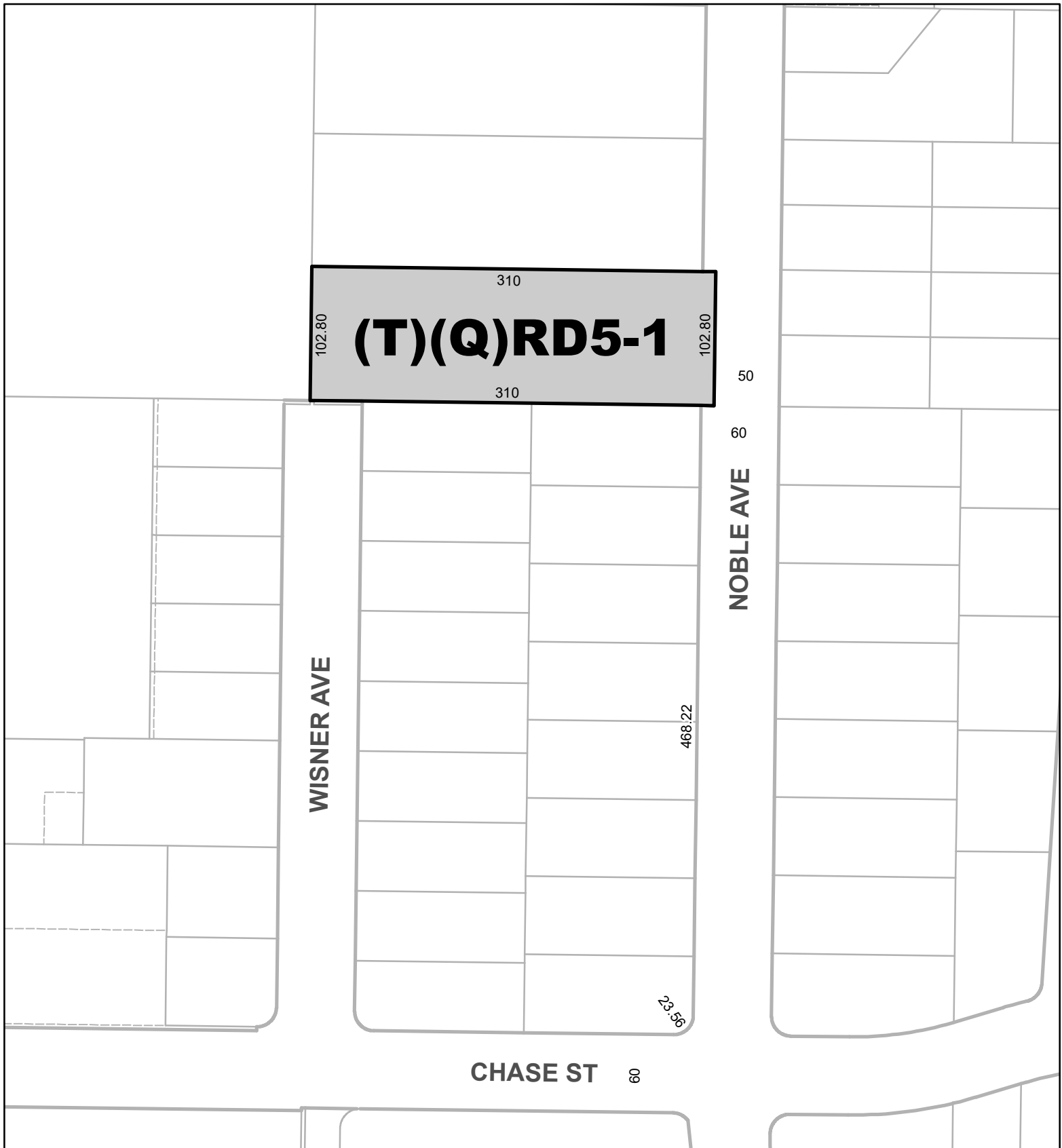
Based on a review of the California Department of Toxic Substances Control "Envirostor Database" (<http://www.envirostor.dtsc.ca.gov/public/>), no known hazardous waste sites are located on or proximate to the project site. In addition, there is no evidence of historic or current use, or disposal of hazardous or toxic materials at this location. Based on this, the project will not result in a significant effect due hazardous waste and this exception does not apply.

- F. **Historical Resource.** *Projects that may cause a substantial adverse change in the significance of a historical resource.*

The project site has not been identified as a historic resource by local or state agencies, and the project site has not been determined to be eligible for listing in the National Register of Historic Places, California Register of Historical Resources, or the Los Angeles Historic-Cultural Monuments Register, and/or any local register according to the City's HistoricPlacesLA website. The project will not cause a substantial adverse change in the significance of a historical resource.

In conclusion, since the project meets all of the requirements of the categorical exemption set forth at CEQA Guidelines, Section 15332 and none of the applicable exceptions to the use of the exemption under Section 15300.2 apply to the project, it is appropriate to determine this project is categorically exempt from the requirements of CEQA.

EXHIBIT H
ZONE CHANGE ORDINANCE MAP

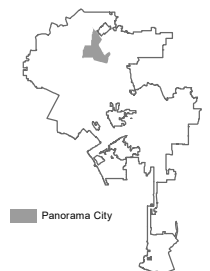


APCNV-2017-1102-ZC

AA/cf

041223

City of Los Angeles



Panorama City

EXHIBIT I

CASE NO. VTT-74873-SL

**DEPARTMENT OF
CITY PLANNING**

COMMISSION OFFICE
(213) 978-1300

CITY PLANNING COMMISSION

SAMANTHA MILLMAN
PRESIDENT

CAROLINE CHOE
VICE-PRESIDENT

MARIA CABILDO
MONIQUE LAWSHE
HELEN LEUNG
KAREN MACK
JACOB NOONAN
ELIZABETH ZAMORA

CITY OF LOS ANGELES
CALIFORNIA



KAREN BASS
MAYOR

EXECUTIVE OFFICES

200 N. SPRING STREET, ROOM 525
LOS ANGELES, CA 90012-4801
(213) 978-1271

VINCENT P. BERTONI, AICP
DIRECTOR

SHANA M.M. BONSTIN
DEPUTY DIRECTOR

ARTHI L. VARMA, AICP
DEPUTY DIRECTOR

LISA M. WEBBER, AICP
DEPUTY DIRECTOR

Decision Date: June 22, 2023

Appeal End Date: July 3, 2023

Edmond and Roubina Manouchehri (O/A)
1317 N. San Fernando Rd., No. 182
Burbank, CA 91504

Oscar Ensafi (R)
Approved Plans Inc.
5121 Van Nuys Blvd., No. 203A
Sherman Oaks, CA 91403

Case No. VTT-74873-SL
Related Case: APCNV-2017-1102-ZC
8553 N. Noble Avenue
Mission Hills-Panorama City-North Hills
Community Plan
Zone : RA-1
D.M. : 192B145
CD : 6
CEQA : ENV-2017-1101-CE
Legal Description: Arb 2, FR 11, TR 2070

The Advisory Agency determined that the project is Categorically Exempt pursuant to CEQA Section 15332 (Class 32), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies and issued ENV-2017-1101-CE as the environmental clearance. In accordance with provisions of Section 17.15 of the Los Angeles Municipal Code (LAMC), the Advisory Agency approved Vesting Tentative Tract Map No. VTT-74873-SL located at 8553 N. Noble Avenue, for a maximum **six small lots**, pursuant to the LAMC Section 12.22 C,27, as shown on revised map stamp-dated September 13, 2019, in the Mission Hills-Panorama City-North Hills Community Plan. The requested unit density is based on the requested RD5-1 Zone. (The current zone is the RA Zone). (The subdivider is hereby advised that the LAMC may not permit this maximum approved density. Therefore, verification should be obtained from the Department of Building and Safety which will legally interpret the Zoning Code as it applies to this particular property.) The Advisory Agency's approval is subject to the following conditions:

NOTE on clearing conditions: When two or more **agencies** must clear a condition, subdivider should follow the sequence indicated in the condition. For the benefit of the applicant, subdivider shall maintain record of all conditions cleared, including all material supporting clearances and be prepared to present copies of the clearances to each reviewing agency as may be required by its staff at the time of its review.

BUREAU OF ENGINEERING - SPECIFIC CONDITIONS

Any questions regarding this report should be directed to Julia Li of the Permit Case Management Division located at 201 N. Figueroa Street, Suite 290, through BOE online customer service portal at <http://engpermits.lacity.org/>.

1. That a 10-foot wide strip of land be dedicated along Noble Avenue adjoining the tract to complete a 30-foot wide half public right-of-way in accordance with the Standard Local Street of the LA Mobility Plan.
2. That a minimum turning area be dedicated at the northerly terminus of Wisner Avenue within the tract area on an alignment satisfactory to the City Engineer.
3. That all existing public easements including the future street easement be clearly shown on the final map.
4. That if this tract map is approved as a Small Lot Subdivision, then if necessary for street address purposes, all the common access to this subdivision be named on the final map satisfactory to the City Engineer.
5. That if this tract map is approved as a Small Lot Subdivision, then the final map shall be labeled as "Small Lot Subdivision per Ordinance No. 176,354" satisfactory to the City Engineer.
6. That all common access easements including the vehicular access and pedestrian access easement be part of the adjoining lots.
7. That, if necessary, public sanitary sewer easements be dedicated on the final map based on an alignment approved by the Valley Engineering District Office.
8. That, if necessary, the owners of the property record an agreement satisfactory to the City Engineer that they will provide name signs for the common access driveways.
9. That the subdivider make a request to the Valley District Office of the Bureau of Engineering to determine the capacity of existing sewers in this area.
10. That all pedestrian common access easements be shown on the final map.
11. That improvements required pursuant to Mobility Plan 2035 will either be constructed prior to recordation of the final map or that the construction be suitably guaranteed satisfactory to the City Engineer.

DEPARTMENT OF BUILDING AND SAFETY, GRADING DIVISION

Grading Division approvals are conducted at 221 North Figueroa Street, 12th Floor Suite 1200. The approval of this Tract Map shall not be construed as having been based upon a geological investigation such as will authorize the issuance of the building permit of the subject property. Such permits will be issued only at such time as the Department of Building and Safety has received such topographic maps and geological reports as it deems necessary to justify the issuance of such building permits.

12. Comply with any requirements with the Department of Building and Safety, Grading Division for recordation of the final map and issuance of any permit.

DEPARTMENT OF BUILDING AND SAFETY, ZONING DIVISION

An appointment is required for the issuance of a clearance letter from the Department of Building and Safety. The applicant is asked to contact Laura Duong at (213) 482-0434 to schedule an appointment.

13. That prior to recordation of the final map, the Department of Building and Safety, Zoning Division shall certify that no Building or Zoning Code violations exist on the subject site. In addition, the following items shall be satisfied:
- a. Obtain permits for the demolition or removal of all existing structures on the site. Accessory structures and uses are not permitted to remain on lots without a main structure or use. Provide copies of the demolition permits and signed inspection cards to show completion of the demolition work.
 - b. Provide a copy of affidavits AF-91-29408 and AF-91-29409. Show compliance with all the conditions/requirements of the above affidavit as applicable. Termination of above affidavit may be required after the Map has been recorded. Obtain approval from the Department, on the termination form, prior to recording.
 - c. Provide a copy of APC Case No. APCNV-2017-1102-ZC. Show compliance with all the conditions/requirements of the APC case as applicable.
 - d. Small Lot Subdivision is not allowed in the RA Zone. Obtain Zone Change approval from the Department of City Planning and City Council.
 - e. Zone Change must be recorded prior to obtaining Zoning clearance.
 - f. Provide a copy of the Zone Change and show compliance to the Zone Change requirements/conditions as applicable.
 - g. Show all street dedications as required by the Bureau of Engineering and provide net lot area after all dedication. "Area" requirements shall be rechecked as per net lot area after street dedication.
 - h. Provide and dimension the reciprocal private easement for pedestrian and driveway egress and ingress (minimum 20 foot wide common access) on the final map for the Small Lot Subdivision.

Notes:

The proposed building plans have not been checked for and shall comply with Building and Zoning Code requirements. With the exception of revised health or safety standards, the subdivider shall have a vested right to proceed with the proposed development in substantial compliance with the ordinances, policies, and standards in effect at the time the subdivision application was deemed complete. Plan check will be required before any construction, occupancy or change of use.

If the proposed development does not comply with the current Zoning Code, all zoning violations shall be indicated on the Map.

DEPARTMENT OF TRANSPORTATION

Contact Brandon Wilson with questions at brandon.wilson@lacity.org or (818) 374-4691.

14. That prior to recordation of the final map, satisfactory arrangements shall be made with the Department of Transportation to assure:
- a. A minimum 20-foot reservoir space is required between any security gate or parking space and the property line, to the satisfaction of DOT. Backing out onto Noble Avenue shall be prohibited.
 - b. A two-way driveway apron width of W=28 feet is required for the common driveway access.
 - c. A parking area and driveway plan should be submitted to the Citywide Planning Coordination Section of the Department of Transportation for approval prior to building permit plans for plan check by the Department of Building and Safety. Transportation approvals are conducted at 6262 Van Nuys Blvd., Room 320, Van Nuys, CA 91401.
 - d. That the subdivision report fee and condition clearance fee be paid to the Department of Transportation as required per Ordinance No. 183,270 and LAMC Section 19.15 prior to recordation of the final map.

Note: The applicant may be required to comply with other applicable fees per this new ordinance.

FIRE DEPARTMENT

The applicant is further advised that all subsequent contact regarding these conditions must be with the Hydrant and Access Unit. This would include clarification, verification of condition compliance and plans or building permit applications, etc., and shall be accomplished BY APPOINTMENT ONLY, in order to assure that you receive service with a minimum amount of waiting please call (818) 374-4351. You should advise any consultant representing you of this requirement as well.

15. That prior to the recordation of the final map, a suitable arrangement shall be made satisfactory to the Fire Department, binding the subdivider and all successors to the following:
- a. Submittal of plot plans for Fire Department review and approval prior to recordation of Tract Map Action.
 - b. Access for Fire Department apparatus and personnel to and into all structures shall be required.
 - c. The entrance or exit of all ground dwelling units shall not be more than 150 feet from the edge of a roadway of an improved street, access road, or designated fire lane.
 - d. No building or portion of a building shall be constructed more than 150 feet from the edge of a roadway of an improved street, access road, or designated fire lane.
 - e. Fire lane width shall not be less than 20 feet. When a fire lane must accommodate

the operation of Fire Department aerial ladder apparatus or where fire hydrants are installed, those portions shall not be less than 28 feet in width.

- f. The width of private roadways for general access use and fire lanes shall not be less than 20 feet, and the fire lane must be clear to the sky.
- g. Fire lanes, where required and dead ending streets shall terminate in a cul-de-sac or other approved turning area. No dead ending street or fire lane shall be greater than 700 feet in length or secondary access shall be required.
- h. Adequate off-site public and on-site private fire hydrants may be required. Their number and location to be determined after the Fire Department's review of the plot plan.
- i. Where access for a given development requires accommodation of Fire Department apparatus, overhead clearance shall not be less than 14 feet.
- j. The Fire Department may require additional vehicular access where buildings exceed 28 feet in height.
- k. On small lot subdivisions, any lots used for access purposes shall be recorded on the final map as a "Fire Lane".
- l. No proposed development utilizing cluster, group, or condominium design of one or two family dwellings shall be more than 150 feet from the edge of the roadway of an improved street, access road, or designated fire lane.
- m. No framing shall be allowed until the roadway is installed to the satisfaction of the Fire Department.
- n. Any required fire hydrants to be installed shall be fully operational and accepted by the Fire Department prior to any building construction.
- o. All parking restrictions for fire lanes shall be posted and/or painted prior to any Temporary Certificate of Occupancy being issued.
- p. Plans showing areas to be posted and/or painted, "FIRE LANE NO PARKING" shall be submitted and approved by the Fire Department prior to building permit application sign-off.
- q. Electric Gates approved by the Fire Department shall be tested by the Fire Department prior to Building and Safety granting a Certificate of Occupancy.
- r. Any roof elevation changes in excess of 3 feet may require the installation of ships ladders.
- s. The Fire Department may require additional roof access via parapet access roof ladders where buildings exceed 28 feet in height, and when overhead wires or other obstructions block aerial ladder access.
- t. Submit plot plans indicating access road and turning area for Fire Department approval.

- u. Site plans shall include all overhead utility lines adjacent to the site.

LOS ANGELES UNIFIED SCHOOL DISTRICT (LAUSD)

16. That prior to the issuance of any demolition or grading permit or any other permit allowing site preparation and/or construction activities on the site, satisfactory arrangements shall be made with the Los Angeles Unified School District to safeguard pedestrians/motorists. The project site is located on the pedestrian and bus routes for students attending Noble Avenue Elementary School and Vista Middle School. Therefore, the applicant shall make timely contact for coordination to safeguard pedestrians / motorists with the LAUSD Transportation Branch, phone no. (213) 580-2950 or (213) 580-2900, and the principals or designees of Noble Avenue Elementary School and Vista Middle School. (This condition may be cleared by a written communication from the LAUSD Transportation Branch attesting to the required coordination and/or the principals of the above referenced schools and to the satisfaction of the Advisory Agency).

DEPARTMENT OF WATER AND POWER

17. Satisfactory arrangements shall be made with the Los Angeles Department of Water and Power (LADWP) for compliance with LADWP's Water System Rules and requirements. Upon compliance with these conditions and requirements, LADWP's Water Services Organization will forward the necessary clearances to the Bureau of Engineering. (This condition shall be deemed cleared at the time the City Engineer clears Condition No. S-1.(c).)

BUREAU OF SANITATION

18. Wastewater Collection Systems Division (WCSD) of the Bureau of Sanitation has inspected the sewer/storm drain lines serving the subject tract and has found that there are easements contained within the aforementioned property. Any proposed development in close proximity to the easements must secure Department of Public Works approval.

Note: This approval is for the Tract Map only and represents the Office of the Bureau of Sanitation/WCSD. The applicant may be required to obtain other necessary clearances/permits from the Bureau of Sanitation and appropriate District office of the Bureau of Engineering.

INFORMATION TECHNOLOGY AGENCY

19. To assure that cable television facilities will be installed in the same manner as other required improvements, please email cabletv.ita@lacity.org that provides an automated response with the instructions on how to obtain the Cable TV clearance. The automated response also provides the email address of three people in case the applicant/owner has any additional questions.

DEPARTMENT OF RECREATION AND PARKS

Park fees are paid at 221 North Figueroa Street. Suite 400, Los Angeles. Please contact Park Fees staff at (213) 202-2657 for any questions or comments, at your convenience.

20. That the Park Fee paid to the Department of Recreation and Parks be calculated as a Subdivision (Quimby in-lieu) fee.

URBAN FORESTRY DIVISION AND THE DEPARTMENT OF CITY PLANNING

21. Prior to the issuance of a grading permit, the applicant shall submit a tree report and landscape plan prepared by a Municipal Code-designated tree expert as designated by LAMC Ordinance No. 186,873, for approval by the City Planning Department and the Urban Forestry Division of the Bureau of Street Services. The Tree Report shall contain the Tree Expert's recommendations for the preservation of as many desirable (8 inches diameter or greater) trees as possible and shall provide species, health, and condition of all trees with tree locations plotted on a site survey. Any on-site 1:1 tree replacement shall be required for any unavoidable loss of any desirable on-site trees.

A minimum of one tree (a minimum of 48 inch box in size if available) shall be planted for each one that is removed. The canopy of the oak trees planted shall be in proportion to the canopies of the oak trees removed per Ordinance No. 186,873, and to the satisfaction of the Urban Forestry Division of the Bureau of Street Services and the Advisory Agency.

Plant street trees and remove any existing trees within dedicated streets or proposed dedicated streets as required by the Urban Forestry Division of the Bureau of Street Services. Parkway tree removals shall be replanted at a 2:1 ratio. All street tree plantings shall be brought up to current standards. When the City has previously been paid for tree plantings, the subdivider or contractor shall notify the Urban Forestry Division at (213) 847-3077 upon completion of construction to expedite tree planting.

Notes:

All protected tree removals must be approved by the Board of Public Works. Contact the Urban Forestry Division at: (213) 847-3077.

Removal or planting of any tree in the public right-of-way requires approval of the Board of Public Works. Contact the Urban Forestry Division at: (213) 847-3077 for permit information.

DEPARTMENT OF CITY PLANNING - SITE SPECIFIC CONDITIONS

Clearances may be conducted at the Figueroa, Valley, or West Los Angeles Development Services Centers. To clear conditions, an appointment is required, which can be requested at planning.lacity.org.

22. Prior to the recordation of the final map, the subdivider shall prepare and execute a Covenant and Agreement (Planning Department General Form CP-6770) in a manner satisfactory to the Planning Department, binding the subdivider and all successors to the following:
- a. Limit the proposed development to a maximum of six (small) lots.
 - b. Provide a minimum of 2 covered off-street parking spaces per dwelling unit or request reduced parking under AB 2097.
 - c. The accessory dwelling units (ADUs) and any associated required parking shall be reviewed and approved by a separate ministerial permit to the satisfaction of the Los Angeles Department of Building and Safety.

- d. Note to City Zoning Engineer and Plan Check. The Advisory Agency has considered the following setbacks in conjunction with the approved map. Minor deviations to the map's setbacks are allowed in the event that such deviations are necessary in order to accommodate other conditions of approval as required by other City agencies. In no event shall the setback from the perimeter boundary of the subdivision measure less than 5 feet in width, pursuant to LAMC Section 12.22 C,27 effective January 31, 2005.

- (i) Setbacks shall be permitted as follows:

Setback Matrix				
Lot No.	Front	Rear	Side	Side
1	South 34'	North 10'	West 5'	East 4'
2	South 34'	North 10'	West 4'	East 3'3"
3	South 34'	North 10'	West 4'	East 10'
4	South 34'	North 10'	West 10'	East 4'
5	South 34'	North 10'	West 3'3"	East 4'
6	East 15'	West 4'	South 34'	North 10'

- (ii) The Common Access Driveway may have a minimum width of 20 feet clear-to-sky.
- e. That prior to issuance of a certificate of occupancy, a minimum 6-foot-high slumpstone or decorative masonry wall shall be constructed adjacent to neighboring residences to the north and south, if no such wall already exists.
- f. That a solar access report shall be submitted to the satisfaction of the Advisory Agency prior to obtaining a grading permit.
- g. That the subdivider consider the use of natural gas and/or solar energy and consult with the Department of Water and Power and Southern California Gas Company regarding feasible energy conservation measures.
- h. Tree Replacement and Protection
- (i) Four 24-inch box coast live oak trees shall be planted to replace the protected California black walnut tree to be removed. The removal of the protected California black walnut tree must be approved by the Board of Public Works. Contact the Urban Forestry Division at: (213) 847-3077.
- (ii) The existing block wall at the southerly property line shall remain in place to serve as an adequate barrier between construction activity and the protected California black walnut tree on the abutting property to the south. No construction activity shall take place on the southern side of the wall within the drip line of the California black walnut tree. The project arborist shall be informed with 24 hours of any injury to the California black walnut tree during project construction so that the tree may be evaluated and treated.

23. INDEMNIFICATION AND REIMBURSEMENT OF LITIGATION COSTS.

Applicant shall do all of the following:

- (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

“City” shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

“Action” shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Action includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

24. A Community Maintenance Agreement shall be prepared, composed of all property owners, to maintain all common areas such as trees, landscaping, trash, parking, community driveway, walkways, monthly service for private fire hydrant (if required), etc. Each owner and future property owners shall automatically become party to the agreement and shall be subject to a proportionate share of the maintenance. The Community Maintenance Agreement shall be recorded as a Covenant and Agreement to run with the land. The subdivider shall submit a copy of this Agreement, once recorded, to the Planning Department for placement in the tract file.
25. That copies of all recorded Covenant and Agreement(s) for all reciprocal private easements shall be submitted to the Planning Department for placement in the tract file.
26. That prior to the issuance of the building permit or the recordation of the final map, a copy of the Case No. APCNV-2017-1102-ZC shall be submitted to the satisfaction of the Advisory Agency. In the event that Case No. APCNV-2017-1102-ZC is not approved, the subdivider shall submit a tract modification.

DEPARTMENT OF CITY PLANNING - STANDARD SMALL LOT CONDITIONS

- SL-1. That approval of this tract constitutes approval of model home uses, including a sales office and off-street parking. If models are constructed under this tract approval, the following conditions shall apply:
 1. Prior to recordation of the final map, the subdivider shall submit a plot plan for approval by the Development Services Center of the Department of City Planning showing the location of the model dwellings, sales office and off-street parking. The sales office must be within one of the model buildings.
 2. All other conditions applying to Model Dwellings under Section 12.22A, 10 and 11 and Section 17.05 O of the Code shall be fully complied with satisfactory to the Department of Building and Safety.
- SL-2. That a landscape plan, prepared by a licensed landscape architect, be submitted to and approved by the Advisory Agency in accordance with CP-6730 prior to obtaining any grading or building permits before the recordation of the final map. The landscape plan shall identify tree replacement on a 1:1 basis by a minimum of 24-inch box trees for the unavoidable loss of desirable trees on the site.

In the event the subdivider decides not to request a permit before the recordation of the final map, a covenant and agreement satisfactory to the Advisory Agency guaranteeing

the submission of such plan before obtaining any permit shall be recorded.

BUREAU OF ENGINEERING - STANDARD CONDITIONS

- S-1. (a) That the sewerage facilities charge be deposited prior to recordation of the final map over all of the tract in conformance with Section 64.11.2 of the Los Angeles Municipal Code (LAMC).
- (b) That survey boundary monuments be established in the field in a manner satisfactory to the City Engineer and located within the California Coordinate System prior to recordation of the final map. Any alternative measure approved by the City Engineer would require prior submission of complete field notes in support of the boundary survey.
- (c) That satisfactory arrangements be made with both the Water System and the Power System of the Department of Water and Power with respect to water mains, fire hydrants, service connections and public utility easements.
- (d) That any necessary sewer, street, drainage and street lighting easements be dedicated. In the event it is necessary to obtain off-site easements by separate instruments, records of the Bureau of Right-of-Way and Land shall verify that such easements have been obtained. The above requirements do not apply to easements of off-site sewers to be provided by the City.
- (e) That drainage matters be taken care of satisfactory to the City Engineer.
- (f) That satisfactory street, sewer and drainage plans and profiles as required, together with a lot grading plan of the tract and any necessary topography of adjoining areas be submitted to the City Engineer.
- (g) That any required slope easements be dedicated by the final map.
- (h) That each lot in the tract complies with the width and area requirements of the Zoning Ordinance.
- (i) That 1-foot future streets and/or alleys be shown along the outside of incomplete public dedications and across the termini of all dedications abutting unsubdivided property. The 1-foot dedications on the map shall include a restriction against their use of access purposes until such time as they are accepted for public use.
- (j) That any 1-foot future street and/or alley adjoining the tract be dedicated for public use by the tract, or that a suitable resolution of acceptance be transmitted to the City Council with the final map.
- (k) That no public street grade exceeds 15 percent.
- (l) That any necessary additional street dedications be provided to comply with the Americans with Disabilities Act (ADA) of 1990.

S-2. That the following provisions be accomplished in conformity with the improvements constructed herein:

- (a) Survey monuments shall be placed and permanently referenced to the satisfaction of the City Engineer. A set of approved field notes shall be furnished, or such work shall be suitably guaranteed, except where the setting of boundary monuments requires that other procedures be followed.
- (b) Make satisfactory arrangements with the Department of Traffic with respect to street name, warning, regulatory and guide signs.
- (c) All grading done on private property outside the tract boundaries in connection with public improvements shall be performed within dedicated slope easements or by grants of satisfactory rights of entry by the affected property owners.
- (d) All improvements within public streets, private streets, alleys and easements shall be constructed under permit in conformity with plans and specifications approved by the Bureau of Engineering.
- (e) Any required bonded sewer fees shall be paid prior to recordation of the final map.

S-3. That the following improvements are either constructed prior to recordation of the final map or that the construction is suitably guaranteed:

- (a) Construct on-site sewers to serve the tract as determined by the City Engineer.
- (b) Construct any necessary drainage facilities.
- (d) Plant street trees and remove any existing trees within dedicated streets or proposed dedicated streets as required by the Street Tree Division of the Bureau of Street Maintenance. All street tree plantings shall be brought up to current standards. When the City has previously been paid for tree planting, the subdivider or contractor shall notify the Urban Forestry Division at (213) 847-3077 upon completion of construction to expedite tree planting.
- (e) Repair or replace any off-grade or broken curb, gutter and sidewalk satisfactory to the City Engineer.
- (f) Construct access ramps for the handicapped as required by the City Engineer.
- (g) Close any unused driveways satisfactory to the City Engineer.
- (h) Construct any necessary additional street improvements to comply with the 2010 Americans with Disabilities Act (ADA) Standards for Accessible Design.
- (i) That the following improvements, required pursuant to Mobility Plan 2035, are either constructed prior to recordation of the final map or that the construction is suitably guaranteed:
 - (1) Improve Noble Avenue being dedicated and adjoining the subdivision by the construction of a 5-foot wide concrete sidewalk and landscaping of the

parkway or a new 12-foot full width concrete sidewalk with tree wells including any necessary removal and reconstruction of existing improvements.

- (2) Improve the newly dedicated turning area satisfactory to the City Engineer.
- (3) Construct the necessary on-site mainline and house connection sewers satisfactory to the City Engineer.

NOTES:

The Advisory Agency approval is the maximum number of units permitted under the tract map action. However, the existing or proposed zoning may not permit this number of units. This vesting map does not constitute approval of any variations from the Municipal Code, unless approved specifically for this project under separate conditions.

Any removal of the existing street trees shall require Board of Public Works approval.

Satisfactory arrangements shall be made with the Los Angeles Department of Water and Power, Power System, to pay for removal, relocation, replacement or adjustment of power facilities due to this development. The subdivider must make arrangements for the underground installation of all new utility lines in conformance with Section 17.05 N of the Los Angeles Municipal Code (LAMC).

The final map must be recorded within 36 months of this approval unless a time extension is granted before the end of such period.

The Advisory Agency hereby finds that this tract conforms to the California Water Code, as required by the Subdivision Map Act.

The subdivider should consult the Department of Water and Power to obtain energy saving design features which can be incorporated into the final building plans for the subject development. As part of the Total Energy Management Program of the Department of Water and Power, this no-cost consultation service will be provided to the subdivider upon his request.

FINDINGS OF FACT (CEQA)

The Advisory Agency determines that based on the whole of the administrative record as supported by the justification prepared and found in the environmental case file, the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Section 15332, (Class 32), and there is no substantial evidence demonstrating that any exceptions contained in Section 15300.2 of the State CEQA Guidelines regarding location, cumulative impacts, significant effects or unusual circumstances, scenic highways, hazardous waste sites, or historical resources applies.

FINDINGS OF FACT (SUBDIVISION MAP ACT)

In connection with the approval of (Vesting) Tentative Tract Map No. VTT-74873-SL, the Advisory Agency of the City of Los Angeles, pursuant to Sections 66473.1, 66474.60, .61 and .63 of the State of California Government Code (the Subdivision Map Act), makes the prescribed findings as follows:

- (a) THE PROPOSED MAP WILL BE/IS CONSISTENT WITH APPLICABLE GENERAL AND SPECIFIC PLANS.

The Land Use Element of the General Plan consists of the 35 Community Plans within the City of Los Angeles. The Community Plans establish goals, objectives, and policies for future developments at a neighborhood level. Additionally, through the Land Use Map, the Community Plan designates parcels with a land use designation and zone. The Land Use Element is further implemented through the Los Angeles Municipal Code (LAMC). The zoning regulations contained within the LAMC regulates, but is not limited to, the maximum permitted density, height, parking, and the subdivision of land.

The subdivision of land is regulated pursuant to Article 7 of the LAMC. Pursuant to LAMC Section 17.05 C, tract maps are to be designed in conformance with the tract map regulations to ensure compliance with the various elements of the General Plan, including the Zoning Code. Additionally, the maps are to be designed in conformance with the Street Standards established pursuant to LAMC Section 17.05 B. The project site is located within the Mission Hills-Panorama City-North Hills Community Plan, which designates the site with a Low Medium I Residential land use designation. The land use designation lists the R2, RD3, RD4, RD5, RD6, RZ3, RZ4, RU, and RW1 Zones as the corresponding zones. The project site is zoned RA-1, which is more restrictive than the land use designation.

Footnote No. 7 of the Community Plan states that:

There shall be no multiple residential development which exceed the density of the adjacent or surrounding residential density unless appropriately conditioned by the City Planning Commission and/or City Council to mitigate adverse impacts and to assure development harmonious and compatible with the surrounding neighborhood.

If approved, the proposed project will be conditioned under incidental Case No. APCNV-2017-1102-ZC to mitigate any adverse impact and assure development harmonious and compatible with the surrounding neighborhood.

The project site has approximately 31,868 gross square feet of lot area, which would permit a maximum of one dwelling (one unit/per 17,500 square feet). The RA-1 Zone does not permit small lot subdivisions pursuant to LAMC Section 12.22 C.27. Under incidental Case No. APCNV-2017-1102-ZC, the applicant is requesting a Zone Change to RD5-1, where small lot subdivisions are permitted. In the RD5 Zone, a minimum lot area of 10,000 square feet is required. A minimum lot area of 5,000 square feet per dwelling unit is required in the RD5 Zone, which would allow a maximum density of six dwelling units at the subject site provided that sufficient lot area is available after the required dedications and improvements are made as required by BOE. The lot area used for this calculation is gross lot area, and the applicant has not provided a calculation of net lot area based on the required dedications and improvements per the BOE memo dated

November 5, 2018. Therefore, it is unclear if the applicant will have sufficient lot area after dedication and improvements to develop six small lots. The approval herein is for a maximum of six lots, subject to all conditions of approval, including BOE required dedications and improvements.

Pursuant to LAMC Section 1706 B, a Vesting Tentative Tract Map must be prepared by or under the direction of a licensed land surveyor or registered civil engineer. It is required to contain information regarding the boundaries of the project site, as well as the abutting public rights-of-way, hillside contours for hillside properties, location of existing buildings, existing and proposed dedication, and improvements of the tract map. The Vesting Tentative Tract Map indicates the map number, notes, legal description, contact information for the owner, applicant, and engineer, as well as other pertinent information as required by LAMC Section 17.06 B. Additionally, as a small lot subdivision, the map indicates the common access easement for vehicular access to the proposed small lots, consistent with LAMC Section 12.22 C,27. Therefore, the proposed map demonstrates compliance with LAMC Sections 17.05 C, 17.06 B, and 12.22 C,27 and is consistent with the applicable General Plan.

(b) THE DESIGN OR IMPROVEMENT OF THE PROPOSED SUBDIVISION IS CONSISTENT WITH APPLICABLE GENERAL AND SPECIFIC PLANS.

For purposes of a subdivision, design and improvement is defined by Section 66418 and 66419 of the Subdivision Map Act and LAMC Section 17.02. Design refers to the configuration and layout of the proposed lots in addition to the proposed site plan layout. Pursuant to Section 66427(a) of the Subdivision Map Act, the location of the buildings is not considered as part of the approval or disapproval of the map by the Advisory Agency. Easements and/or access and “improvements” refers to the infrastructure facilities serving the subdivision. LAMC Section 17.05 enumerates the design standards for a tract map and requires that each map be designed in conformance with the Street Design Standards and in conformance with the General Plan. As indicated in Finding (a), LAMC Section 17.05 C requires that the tract map be designed in conformance with the zoning regulations of the project site. As the project site is zoned RA-1, a maximum of one single-family dwelling unit is permitted on the subject site. However, if the requested Zone Change to RD5-1 is approved under incidental Case No. APCNV-2017-1102-ZC, the applicant could request a small lot subdivision with a maximum of six dwelling units on the subject site provided that sufficient lot area is available after the required dedications and improvements are made as required by BOE. As required by the Mission Hills-Panorama City-North Hills Community Plan Map Footnote No. 7, any adverse impacts of the proposed development would be appropriately conditioned by the North Valley Area Planning Commission to assure that the development is harmonious and compatible with the surrounding neighborhood. Furthermore, as a small lot subdivision, the map indicates the common vehicular access easements from the public right-of-ways for vehicular access.

The tract map was distributed to and reviewed by the various city agencies of the Subdivision Committee that have the authority to make dedication and/or improvement recommendations. The Bureau of Engineering (BOE) reviewed the tract map for compliance with the Street Design Standards. The Bureau of Engineering initially reported that the tract map layout was not satisfactory as submitted; however, in an email dated October 6, 2020, BOE stated that recommendations and improvements can be addressed and resolved prior to recordation of the final map. BOE recommends that the map be subject to conditions pertaining to dedications and improvements along Noble and Wisner

Avenues in a memo dated November 5, 2018. BOE recommendations are consistent with the standards of the Mobility Element. In addition, the Bureau of Engineering has recommended the construction of the necessary on-site mainline sewers and all necessary street improvements will be made to comply with the Americans with Disabilities Act (ADA) of 2010. The Bureau of Sanitation indicates that there is a proposed sewer that passes through the subject property that is subject to Department of Public Works approval. As conditioned herein, the proposed project is required to comply with any requirements deemed necessary by the Department of Building and Safety, Grading Division. The Los Angeles Department of Building and Safety, Zoning Division, will review the map for compliance with the Los Angeles Zoning Code. The parking area and driveway plan of the tract map will be required to comply with Los Angeles Department of Transportation (LADOT) requirements; furthermore, a two-way driveway apron width of $W=28$ feet is required and backing out onto Noble Avenue is prohibited herein. The tract map is subject to Los Angeles Fire Department (LAFD) review and approval. As conditioned herein, the existing protected California Black Walnut tree proposed to be removed will be replaced with four 24-inch box coast live oak trees and is subject to the review of the Bureau of Street Services, Urban Forestry Division. The existing protected California black walnut tree on the lot to the south of the subject site will be protected in place as conditioned herein. Furthermore, the 15 non-protected trees on site that are subject to removal are conditioned herein to be replaced at a 1:1 ratio with 48-inch box size trees. Any trees that are removed or replaced within the public right-of-way are subject to Urban Forestry review and approval. Finally, the proposed development is subject to Quimby in-lieu fees as regulated by the Department of Recreation and Parks.

Therefore, as conditioned, the design and improvements of the proposed subdivision are consistent with the applicable General Plan.

(c) THE SITE IS PHYSICALLY SUITABLE FOR THE TYPE OF DEVELOPMENT.

The subject site is a level, rectangular shaped lot consisting of 31,868 gross square feet of lot area. Currently, the subject site is improved with an approximately 1,770 square foot single-family residence developed in 1953. The existing single-family dwelling will be demolished to achieve the proposed project. There are 16 trees on the subject site, including one protected California black walnut tree, which will be replaced with four 24-inch box coast live oak trees. The project is also conditioned herein to replace the 15 non-protected trees on the subject site and to protect the existing protected California black walnut tree to the south of the subject site.

The applicant is proposing the construction, use, and maintenance of six approximately 3,111 square foot residential structures, two stories in height with a maximum height of 26.5 feet. Each 3,111 square foot structure will include a 2,077 square foot single-family dwelling and a 1,034 square foot attached accessory dwelling unit. Each structure is proposed to be constructed with a two-car garage for the single-family dwelling and a tandem parking space for the accessory dwelling unit. Accessory dwelling units (ADUs) are permitted under LAMC Section 12.22 A.33 consistent with California Government Code Sections 65852.2 and 65852.22. As regulated by the Los Angeles Department of Building and Safety (LADBS), ADUs are permitted through a ministerial process in all zones that allow residential uses and where there are existing or proposed dwelling units on a lot. ADUs may be permitted on a lot and developed with multi-family residential uses provided that specific development standards are met.

The surrounding area is developed with multi- and single-family residential uses. The

property to the north of the subject site is designated Low Medium I Residential, zoned (Q)RD5-1 and (Q)RD6-1, and is developed with two-story residential multi-family residential dwelling units. To the northwest and west, properties are also designated Low Medium I Residential, zoned (Q)RD3-1, and are developed with multi-family residential dwelling units. To the south and east, properties are zoned R1-1, designated Low Residential, and are developed with one- and two-story single-family dwellings.

Noble Avenue Elementary School is located at the northwest corner of Roscoe Boulevard and Noble Avenue approximately 0.2 miles south of the subject site. Vista Middle School is located approximately 0.4 miles south of the subject site at the intersection of Roscoe Boulevard and Noble Avenue.

The project site is located within a geographic area designated as ZI-2438 – Equine Keeping in the City of Los Angeles. ZI-2438 regulates distances between habitable rooms and horse keeping uses. No horse keeping was observed at the subject site or on neighboring properties. While the subject site is located within a Transit Oriented Community (TOC), the applicant has not requested incentives under the TOC program. The subject site is located within an Airport Hazard Horizontal Surface Area, which is generally defined as a horizontal plane 150 feet above the established airport elevation. The maximum height of the structures proposed herein is 26.5 feet, which will not create airport hazards. ZIMAS designates the subject site as an Urban Agriculture Incentive Zone, however, no agricultural uses are proposed herein. The project site is located 4.7 km (2.9 miles) from the Northridge Fault and is not located within the Alquist-Priolo Fault Zone. The site is not located within a designated hillside area or within the BOE Special Grading Area. The site is not located within a high fire hazard severity zone, flood zone, landslide, liquefaction, methane, or tsunami inundation zone. Prior to the issuance of any permits, the project would be required to be reviewed and approved by the Department of Building and Safety and the Fire Department. The site is not identified as having hazardous waste or past remediation. The site is within Flood Zone Type C, which denotes areas outside of a flood zone. The site is not subject to the Specific Plan for the Management of Flood Hazards (floodways, floodplains, mud prone areas, coastal high-hazard and flood-related erosion hazard areas). Finally, the tract map has been approved contingent upon the satisfaction of the Department of Building and Safety, Grading Division prior to the recordation of the map and issuance of any permits.

Therefore, the site will be physically suitable for the proposed type of development.

(d) THE SITE IS PHYSICALLY SUITABLE FOR THE PROPOSED DENSITY OF DEVELOPMENT.

The subject site is zoned RA-1 (single-family) and has a land use designation of Low Medium I Residential. The applicant has applied for a Zone Change to RD5-1 (multi-family), which corresponds to Medium I Residential land use designation. The subject site is surrounded by one- and two-story single- and multi-family residential uses. The property to the north of the subject site is designated Low Medium I Residential, zoned (Q)RD5-1 and (Q)RD6-1, and is developed with two-story residential multi-family residential dwelling units. To the northwest and west, properties are also designated Low Medium I Residential, zoned (Q)RD3-1, and are developed with multi-family residential dwelling units. To the south and east, properties are zoned R1-1, designated Low Residential, and are developed with single-family dwellings. The project site is comprised of one 31,868 gross square foot parcel improved with a single-family dwelling.

The project proposes to construct six small lot residential structures that would be two stories with a maximum height of 26.5 feet. Each residential structure is proposed to be approximately 3,111 square feet and will include a 2,077 square foot single-family dwelling and a 1,034 square foot attached accessory dwelling unit. Each structure is proposed to be constructed with a two-car garage for the single-family dwelling and a tandem parking space for the accessory dwelling unit. Pursuant to Assembly Bill (AB) 2097, the City of Los Angeles is prohibited from imposing or enforcing minimum parking requirements on any single-family residential development project that is located within a one-half mile radius of a Major Transit Stop. As shown on ZIMAS, the subject site is eligible for reduced parking under AB 2097. To date, no request to utilize AB 2097 has been made by the applicant.

As proposed, the density is consistent with the land use designation, but not the with existing zone. Small lot subdivisions are not permitted in the RA Zone; however, under incidental Case No. APCNV-2017-1102-ZC, the applicant is requesting a Zone Change to RD5-1. The density and height are consistent with the requested RD5-1 Zone, which would permit a maximum of six residential dwelling units and a height of 45 feet. Accessory dwelling units that meet specific development standards as regulated by LADBS are permitted by-right pursuant to LAMC Section 12.22 A.23 and California Government Code Sections 65852.2 and 65852.22.

Additionally, the tract map has been approved contingent upon the satisfaction of the Department of Building and Safety, Grading Division prior to the recordation of the map and issuance of any permits. Prior to the issuance of a demolition, grading, or building permit, the project would be required to comply with conditions herein and applicable requirements of the LAMC. As conditioned the proposed tract map is physically suitable for the proposed density of the development.

- (e) THE DESIGN OF THE SUBDIVISION OR THE PROPOSED IMPROVEMENTS ARE NOT LIKELY TO CAUSE SUBSTANTIAL ENVIRONMENTAL DAMAGE OR SUBSTANTIALLY AND AVOIDABLY INJURE FISH OR WILDLIFE OR THEIR HABITAT.

The project site is currently developed with a single-family residence. A Protected Tree Report dated April 9, 2017 prepared by James Komen, Class One Arboriculture Inc., (attached to the subject case) showed one protected California black walnut tree and 15 non-protected trees on the project site and adjacent to the public right-of-way. As a project design feature, the Protected Tree Report suggests replacing the one protected California black walnut tree on the site with four 24-inch box coast live oak trees. Additionally, the Protected Tree Report identifies a protected California black walnut tree on the abutting site to the south. The Protected Tree Report includes project design features to protect the California black walnut tree to the south. Furthermore, the applicant is conditioned herein to provide an updated Tree Report in compliance with Ordinance No. 186,873. As such, it has been determined that the project and the design of the subdivision and proposed improvements will not cause substantial environmental damage or injury to wildlife or their habitat.

- (f) THE DESIGN OF THE SUBDIVISION OR TYPE OF IMPROVEMENTS IS NOT LIKELY TO CAUSE SERIOUS PUBLIC HEALTH PROBLEMS.

There appears to be no potential public health problems caused by the design or improvement of the proposed subdivision.

The development is required to be connected to the City's sanitary sewer system, where the sewage will be directed to the LA Hyperion Treatment Plant, which has been upgraded to meet Statewide ocean discharge standards. The Bureau of Engineering has reported that the proposed subdivision does not violate the existing California Water Code because the subdivision will be connected to the public sewer system and will have only a minor incremental impact on the quality of the effluent from the Hyperion Treatment Plant.

- (g) THE DESIGN OF THE SUBDIVISION OR THE TYPE OF IMPROVEMENTS WILL NOT CONFLICT WITH EASEMENTS, ACQUIRED BY THE PUBLIC AT LARGE, FOR ACCESS THROUGH OR USE OF PROPERTY WITHIN THE PROPOSED SUBDIVISION.

As required by LAMC Section 12.03, the project site has a minimum of 20 feet of frontage along Noble Avenue, which is a public street. The project site consists of a parcel identified as Lot No. FR 11 (Arb 2) of Tract 2070 and is identified by the Assessor Parcel No. 2654023007. There is a proposed sewer easement within the proposed subdivision, as identified by LA Sanitation, Wastewater Collection Systems Division. As conditioned herein, review and approval must be obtained by the Department of Public Works, and if necessary, the Bureau of Sanitation and the Bureau of Engineering Valley District Office. Additionally, the project will provide a private easement for common/vehicular access purposes within the subdivision. Necessary easements for utilities will be acquired by the City prior to the recordation of the proposed tract map.

Therefore, the design of the subdivision and the proposed improvements would not conflict with easements acquired by the public at large for access through or use of the property within the proposed subdivision.

- (h) THE DESIGN OF THE PROPOSED SUBDIVISION SHALL PROVIDE, TO THE EXTENT FEASIBLE, FOR FUTURE PASSIVE OR NATURAL HEATING OR COOLING OPPORTUNITIES IN THE SUBDIVISION. (REF. SECTION 66473.1)

In assessing the feasibility of passive or natural heating or cooling opportunities in the proposed subdivision design, the applicant has prepared and submitted materials which consider the local climate, contours, configuration of the parcel to be subdivided and other design and improvement requirements.

Providing for passive or natural heating or cooling opportunities will not result in reducing allowable densities or the percentage of a lot which may be occupied by a building or structure under applicable planning and zoning in effect at the time the tentative map was filed.

The lot layout of the subdivision has taken into consideration the maximizing of the north/south orientation.

The topography of the site has been considered in the maximization of passive or natural heating and cooling opportunities.

In addition, prior to obtaining a building permit, the subdivider shall consider building construction techniques, such as overhanging eaves, location of windows, insulation, exhaust fans; planting of trees for shade purposes and the height of the buildings on the site in relation to adjacent development.

These findings shall apply to both the tentative and final maps for Vesting Tentative Tract No. VTT-74873-SL.

VINCENT P. BERTONI, AICP
Advisory Agency


Claudia Rodriguez
Deputy Advisory Agency

CR:LFS:ly

Note: If you wish to file an appeal, it must be filed within 10 calendar days from the decision date as noted in this letter. For an appeal to be valid to the City Planning Commission or Area Planning Commission, it must be accepted as complete by the City Planning Department and appeal fees paid, prior to expiration of the above 10-day time limit. Such appeal must be submitted on Master Appeal Form No. CP-7769 at the Department's Public Offices, located at:

Figueroa Plaza 201 North Figueroa Street, 4th Floor Los Angeles, CA 90012 (213) 482-7077	Marvin Braude San Fernando Valley Constituent Service Center 6262 Van Nuys Boulevard, Room 251 Van Nuys, CA 91401 (818) 374-5050	West Los Angeles Development Services Center 1828 Sawtelle Boulevard, 2nd Floor Los Angeles, CA 90025 (310) 231-2912
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Forms are also available on-line at <http://cityplanning.lacity.org>

The time in which a party may seek judicial review of this determination is governed by California Code of Civil Procedure Section 1094.6. Under that provision, a petitioner may seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, only if the petition for writ of mandate pursuant to that section is filed no later than the 90th day following the date on which the City's decision becomes final.

VESTING TENTATIVE TRACT MAP NO. 74873 - SL

Site Address : 8553 N. Noble Ave, North Hills. 91343

For Small Lot Subdivision Purpose

LEGAL DESCRIPTION:

BEING A SUBDIVISION OF FR 11, ARB 2 OF TR 2070 AS PER MAP RECORDED IN BOOK 26 PAGE 37/38 INCLUSIVE OF MAPS, IN THE OFFICE OF COUNTY RECORDED OF SAID COUNTY.

" Note: Small Lot Single Family Subdivision in the proposed (T)(Q) RD5-1 Zone, Pursuant to ordinance No. 176,354."

LOS ANGELES DEPT. OF CITY PLANNING
SUBMITTED FOR FILING
TENTATIVE TRACT

SEP 13 2019

REVISOR'S MAP
FINAL MAP UNIT
EXTENSION OF TIME
MODIFIED
DEPUTY ADVISORY AGENCY

Scale : 1" = 20'

Revised Date : 7-25-19

Indicates the border of the land being subdivided

Proposed Project:

Small Lot Subdivision, one lot to six single family lots each w/attached 2-car garages.

Zoning ;

Existing : RA-1

Proposed : (T)(Q) RD5-1

REVISED
MAP

General Notes :

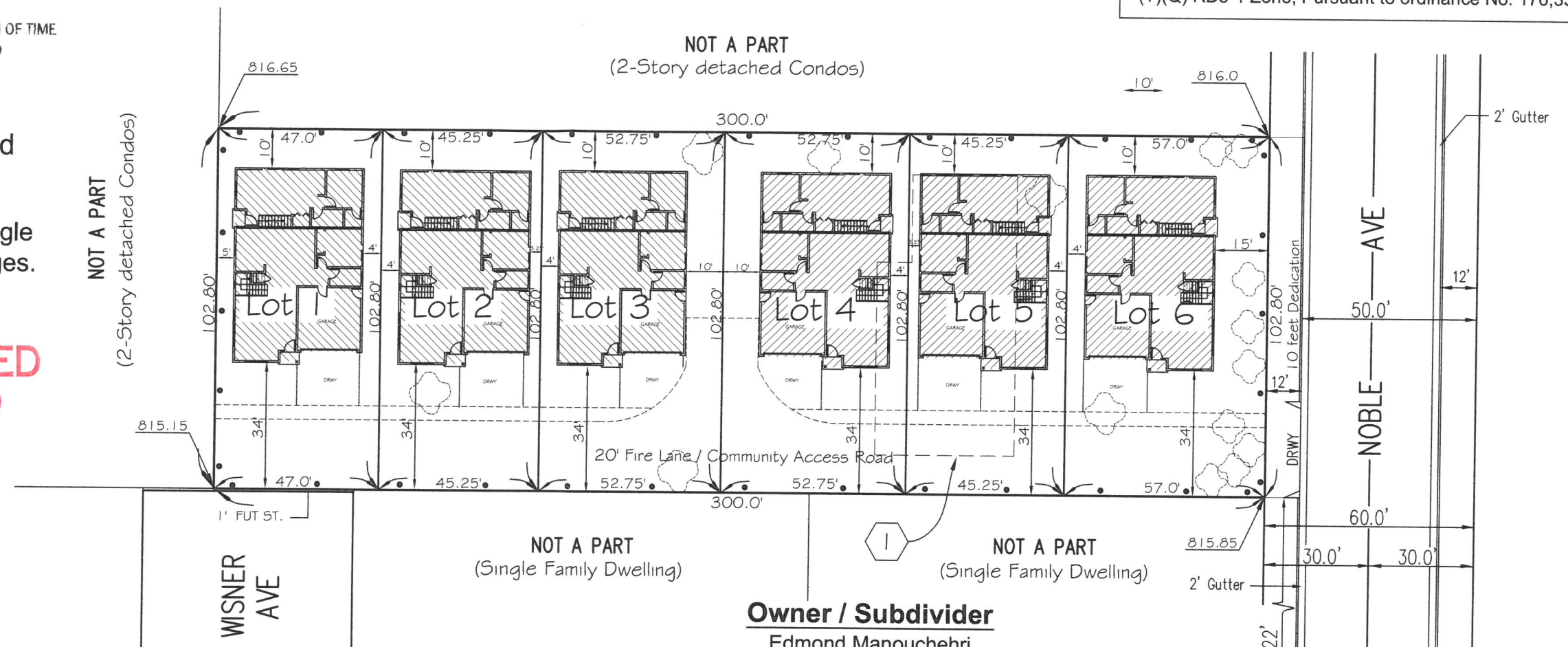
- Site is relatively level.
- There is no easement on the property except as shown.
- There is no hazard or hazardous material on the property.
- Surface & Contributory drain to be conveyed to the street .
- Sewer disposal by underground sewer system.
- The existing one story S.F.D with attached garage is subject for removal.
- Proposed future 2-story SFD & ADU with have 3,400 sq.ft floor area not including 2-car garage. and 27 feet building height.

AREA : VTT-74873

TOTAL GROSS AREA : 31,868 SQ-FT (0.73 ACRE)
TOTAL NET AREA : 30,840 SQ-FT (0.71 ACRE)

LOT 1 : 4,831.60 SQ-FT (0.110 ACRE)
LOT 2 : 4,651.70 SQ-FT (0.110 ACRE)
LOT 3 : 5,422.70 SQ-FT (0.125 ACRE)
LOT 4 : 5,422.70 SQ-FT (0.125 ACRE)
LOT 5 : 4,651.70 SQ-FT (0.110 ACRE)
LOT 6 : 5,859.60 SQ-FT (0.130 ACRE)

Indicates the future Six 2-story SFD & ADU w / attached garage.



Owner / Subdivider

Edmond Manouchehri
1317 N. San Fernando RD. #182
Burbank, Ca. 91504
(818) 554-4534

Land Use Consultant

Approved Plans Inc.
Oscar Ensafi
5121 Van Nuys Blvd. #203A
Sherman Oaks, CA. 91403
(818) 988-3242
E-mail : approvedplans@yahoo.com

Land Surveyor

Jack Little Company
17620 Sherman Way #218
Van Nuys, CA. 91406
(818) 342-3277
LIC. # 8571

Setbacks Matrix				
Lot	Front Yard	Rear Yard	Side Yard	Side Yard
1	(South) 34'-0"	(North) 10'-0"	(West) 5'-0"	(East) 4'-0"
2	(South) 34'-0"	(North) 10'-0"	(West) 4'-0"	(East) 3'-3"
3	(South) 34'-0"	(North) 10'-0"	(West) 4'-0"	(East) 10'-0"
4	(South) 34'-0"	(North) 10'-0"	(West) 10'-0"	(East) 4'-0"
5	(South) 34'-0"	(North) 10'-0"	(West) 3'-3"	(East) 4'-0"
6	(East) 15'-0"	(West) 4'-0"	(South) 34'-0"	(North) 10'-0"

Tree Notes:

- Indicates the variety of different size and different type of trees as shown on provided separate Tree Report including Plot Plan.

